



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Not Assigned Yet**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **NEC C Quail Run Road and 205**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-70**

CURRENT USE **Vacant**

PROPOSED ZONING **PD-70**

PROPOSED USE **Commercial retail**

ACREAGE **8.684**

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **DuWest Realty, LLC**

APPLICANT **ClayMoore Engineering**

CONTACT PERSON **Bowen Hendrix**

CONTACT PERSON **Lynn Rowland**

ADDRESS **4403 North Central Expressway  
Suite 200**

ADDRESS **1903 Central Drive  
Suite 406**

CITY, STATE & ZIP **Dallas, Tx 75025**

CITY, STATE & ZIP **Bedford, Tx**

PHONE **214-918-1804**

PHONE **817.281.0572**

E-MAIL **bowen@duwestrealty.com**

E-MAIL **Lynn@claymooreeng.com**

## NOTARY VERIFICATION [REQUIRED]

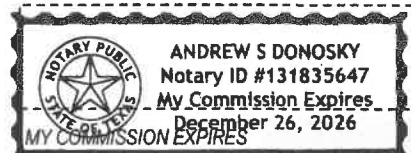
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





# CIVIL PLANS

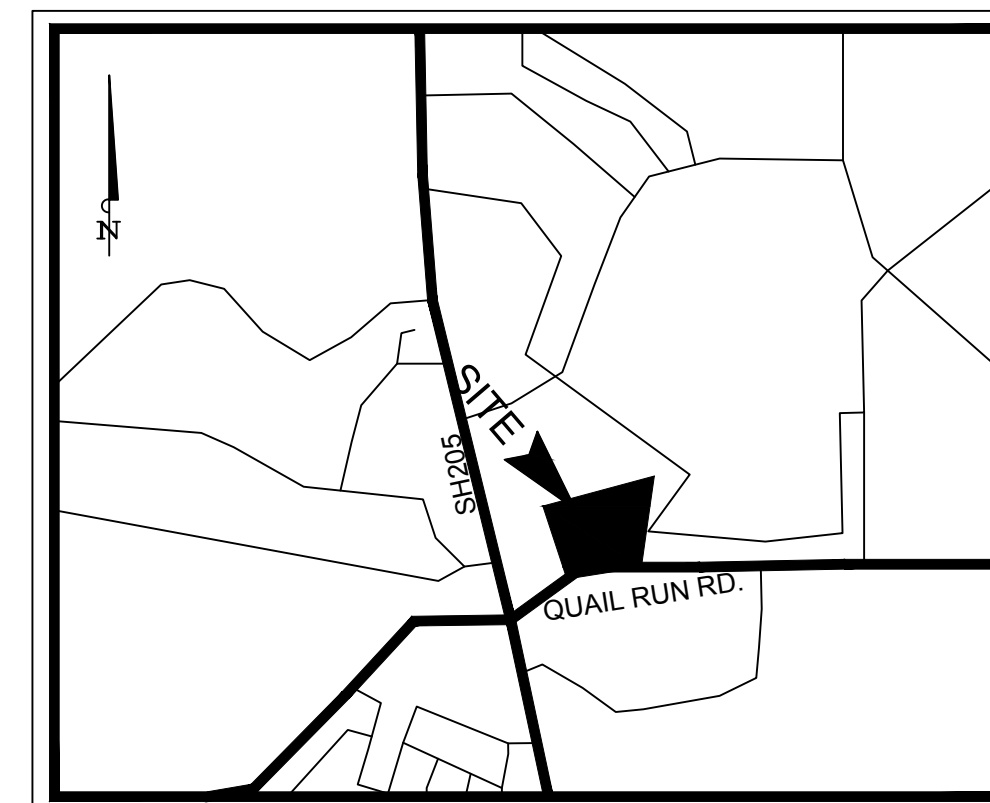
# DUWEST ROCKWALL

## SH 205 & QUAIL RD

## ROCKWALL, TX

(8.62 ACRES)

PLAN SUBMITTAL LOG	
DESCRIPTION	SUBMITTAL DATE
CIVIL PLANS	05/11/2022
CIVIL PLANS	06/29/2022
CIVIL PLANS	07/11/2022
CIVIL PLANS	08/15/2022
CIVIL PLANS	09/26/2022
CIVIL PLANS	10/19/2022
CIVIL PLANS	10/26/2022
CIVIL PLANS	8/17/23

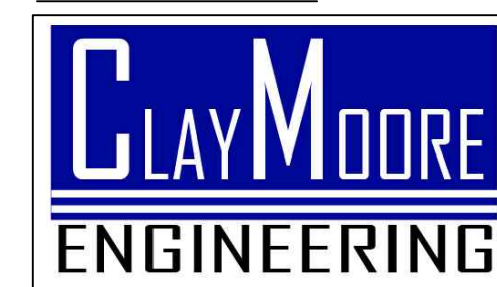


VICINITY MAP  
NTS

SHEET LIST TABLE		
SHEET NUMBER	SHEET TITLE	REVISION DATE
C-0	COVER	8/17/23
	SURVEY	8/17/23
	PLAT	8/17/23
SP-1	SITE PLAN (1 of 2)	8/17/23
SP-1	SITE PLAN (2 of 2)	8/17/23
C-1	CITY GENERAL NOTES	8/17/23
C-2	CITY GENERAL NOTES	8/17/23
C-3	GENERAL NOTES	8/17/23
C-4	EROSION CONTROL PLAN	8/17/23
C-5	EROSION CONTROL DETAILS	8/17/23
C-6	DIMENSIONAL CONTROL AND PAVING PLAN (1 OF 2)	8/17/23
C-7	DIMENSIONAL CONTROL AND PAVING PLAN (2 OF 2)	8/17/23
C-8	GRADING PLAN	8/17/23
C-9	EXISTING DRAINAGE AREA MAP	8/17/23
C-10	PROPOSED DRAINAGE AREA MAP	8/17/23
C-12	STORM DRAIN PLAN	8/17/23
C-13	STORM DRAIN PROFILE	8/17/23
C-14	STORM DRAIN PROFILE	8/17/23
C-15	STORM DRAIN PROFILE	8/17/23
C-16	STORM DRAIN CALCULATIONS	8/17/23
C-17	WATER PLAN	8/17/23
C-18	SEWER PLAN	8/17/23
C-19	UTILITY PROFILE ( 1 OF 3)	8/17/23
C-20	UTILITY PROFILE ( 2 OF 3)	8/17/23
C-21	UTILITY PROFILE ( 3 OF 3)	8/17/23
C-22	PRIVATE CONSTRUCTION DETAILS	8/17/23
C-23	PRIVATE CONSTRUCTION DETAILS	8/17/23
C-24	CITY CONSTRUCTION DETAILS	8/17/23
C-25	CITY CONSTRUCTION DETAILS	8/17/23
C-26	CITY CONSTRUCTION DETAILS	8/17/23
C-27	TXDOT CONSTRUCTION DETAILS	8/17/23
LP-1	LANDSCAPE PLANTING	8/17/23
LP-2	LANDSCAPE DETAILS AND SPECIFICATIONS	8/17/23
LP-3	LANDSCAPE DETAILS AND SPECIFICATIONS	8/17/23
TD-1	TREESCAPE PLAN	8/17/23
TD-2	TREESCAPE PLAN EXISTING TREE INVENTORY	8/17/23
TD-3	TREESCAPE PLAN DETAILS AND SPECIFICATIONS	8/17/23

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**ENGINEER**



TEXAS REGISTRATION #14199  
1903 CENTRAL DR  
SUITE 406  
BEDFORD, TX 76021  
PH. 817.281.0572  
FAX 817.281.0574  
CONTACT: DREW DONOSKY, PE

**SURVEYOR**

EAGLE SURVEYING  
210 SOUTH ELM ST.  
SUITE #104  
DENTON, TX 76201  
PH: (940) 222.3009  
CONTACT: TYLER RANK

**OWNER**

DUWEST REALTY  
4403 N. CENTRAL EXP WAY.  
SUITE #200  
DALLAS, TX 75025  
PH: (214) 918.1804  
CONTACT: BOWEN HENDRIX

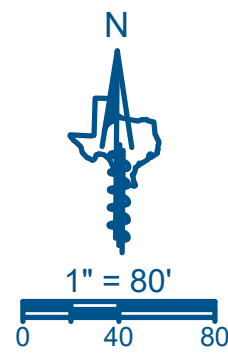
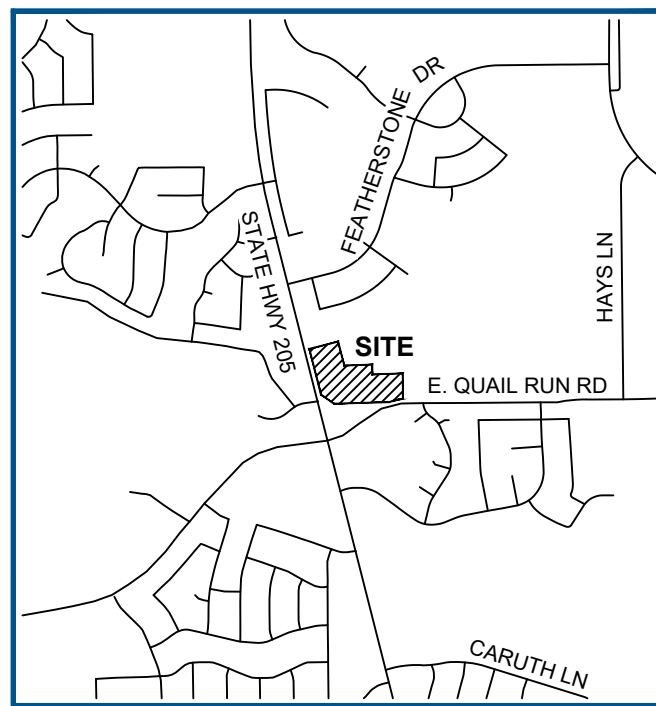
## AUGUST 2023

**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING  
CONSULTANTS  
DREW DONOSKY  
Engineer, P.E. No. 12565 Date: 8/17/2023

**STOP!**  
**CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(@ least 72 hours prior to digging)

DUWEST ROCKWALL- ROCKWALL, TX

**VICINITY MAP**  
(1" = 2,000')



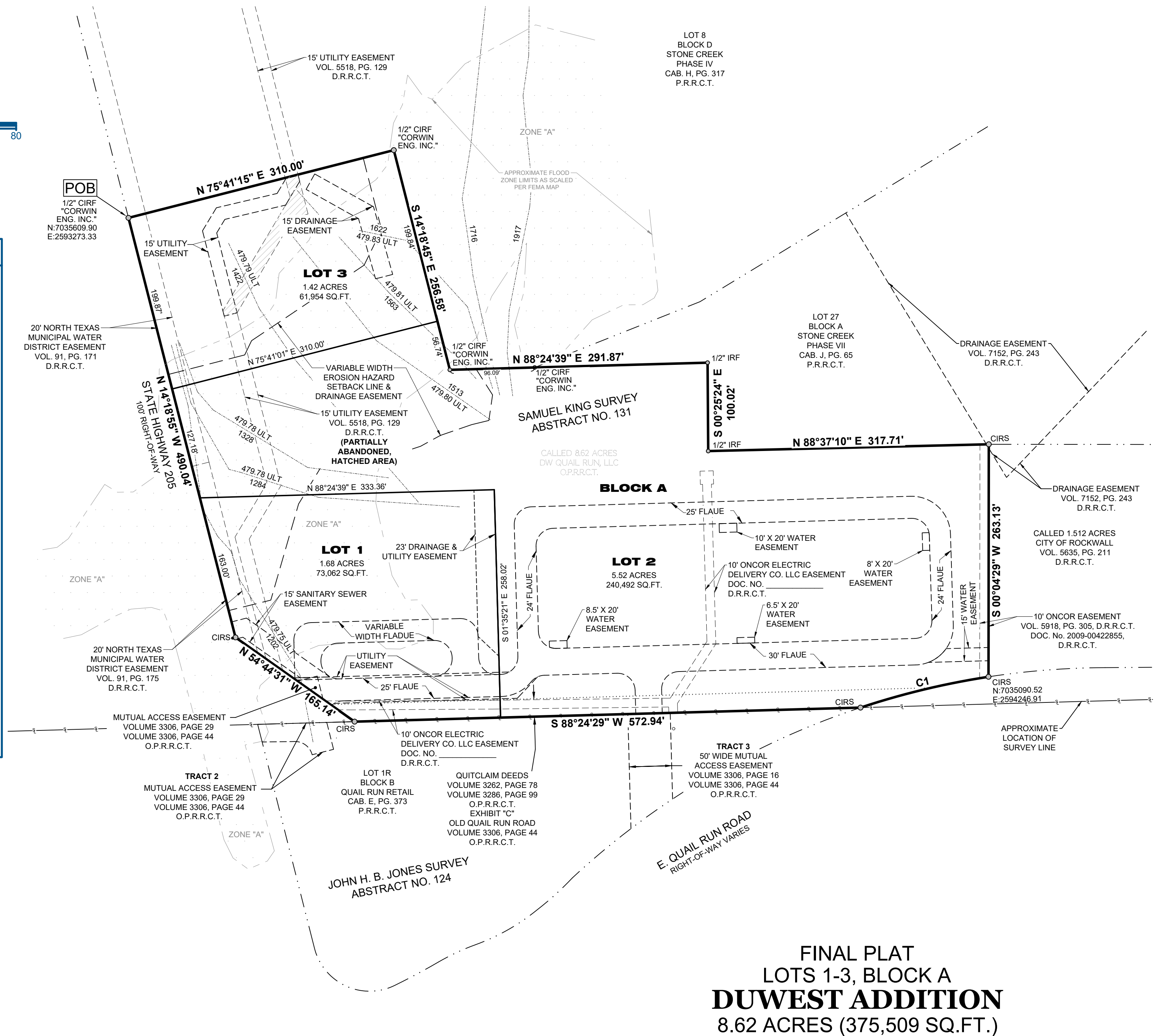
CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	149.16'	892.50'	9°34'32"	S 76°28'13" W	148.98'

**GENERAL NOTES**

- The purpose of this plat is to create three lots from an existing lot of record and to dedicate easements for site development.
- This property is located in **Zone "A" & Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26, 2008 and is located in Community Number 480547 as shown on Map Number 48397C0030L, as affected by Letter of Map Revision with Case Number 14-06-0263P, issued April 18, 2014, and effective August 29, 2014 for the City of Rockwall, Rockwall County, Texas, Community Number 480547. The location of the Flood Zone is approximate. For the exact Flood Zone designation, contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011).
- Property owner is responsible for repair, replacement, and maintenance off all detention and drainage systems in easements on-site.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Crosssection locations and ultimate flood elevations are shown hereon as scaled from the Flood Study dated October 17, 2022, prepared by Bannister Engineering, LLC for Stone Creek Retail Located in Rockwall, Rockwall County, Texas of Tributary D of Squabble Creek. Crosssection locations and ultimate flood elevation values are shown hereon for informational purposes only in their approximate locations and shall not be used or viewed or relied upon for design purposes.

**LEGEND**

- POB = POINT OF BEGINNING
- CIRS = CAPPED IRON ROD SET
- CIRF = CAPPED IRON ROD FOUND
- DOC. NO. = DOCUMENT NUMBER
- D.R.R.C.T. = DEED RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- FLAUE = FIRE LANE, ACCESS, & UTILITY EASEMENT
- FLADUE = FIRE LANE, ACCESS, DRAINAGE & UTILITY EASEMENT
- = SUBJECT BOUNDARY
- - - = ADJOINER BOUNDARY
- = EASEMENT
- - - - = ULTIMATE FLOOD CUT LINE
- xxx ULT = ULTIMATE FLOOD ELEVATION SECTION NUMBER



**FINAL PLAT**  
**LOTS 1-3, BLOCK A**  
**DUWEST ADDITION**  
8.62 ACRES (375,509 SQ.FT.)

BEING ALL OF A CALLED 8.62 ACRE TRACT TO DW QUAIL RUN, LLC RECORDED IN DOCUMENT NUMBER 20220000020290, O.P.R.R.C.T. SITUATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2201.023-03	<p><b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177</p>
Date	08/14/2023	
Drafter	BE	

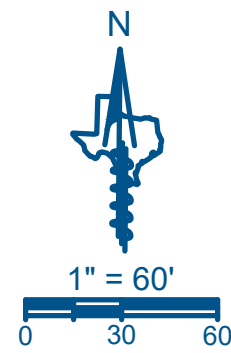
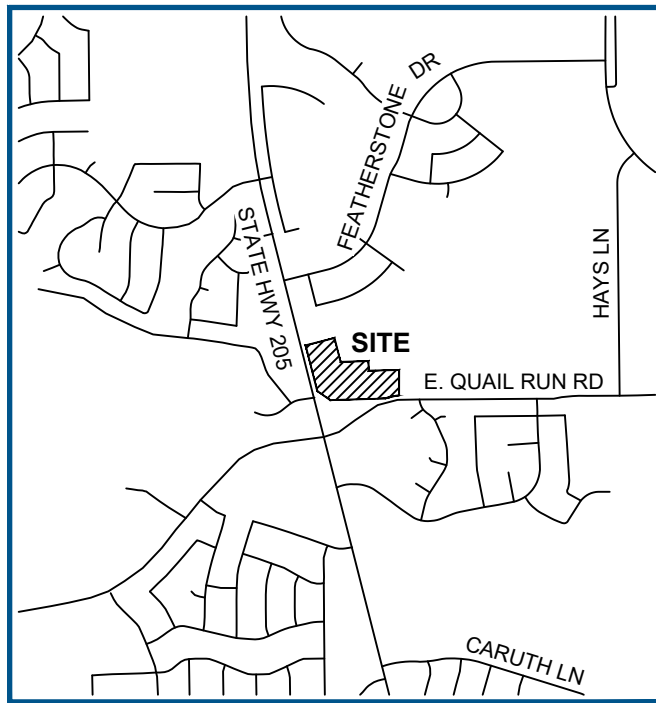
**SURVEYOR**  
Eagle Surveying, LLC  
Contact: Brad Eubanks  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Claymoore Engineering, Inc.  
Contact: Matt Moore  
301 S. Coleman, Suite 40  
Prosper, TX 75078  
(817) 281-0572

**OWNER**  
DW Quail Run, LLC  
Contact: Bowen Hendrix  
4403 N. Central Expressway, Suite 200  
Dallas, TX 75205  
(214) 918-1804



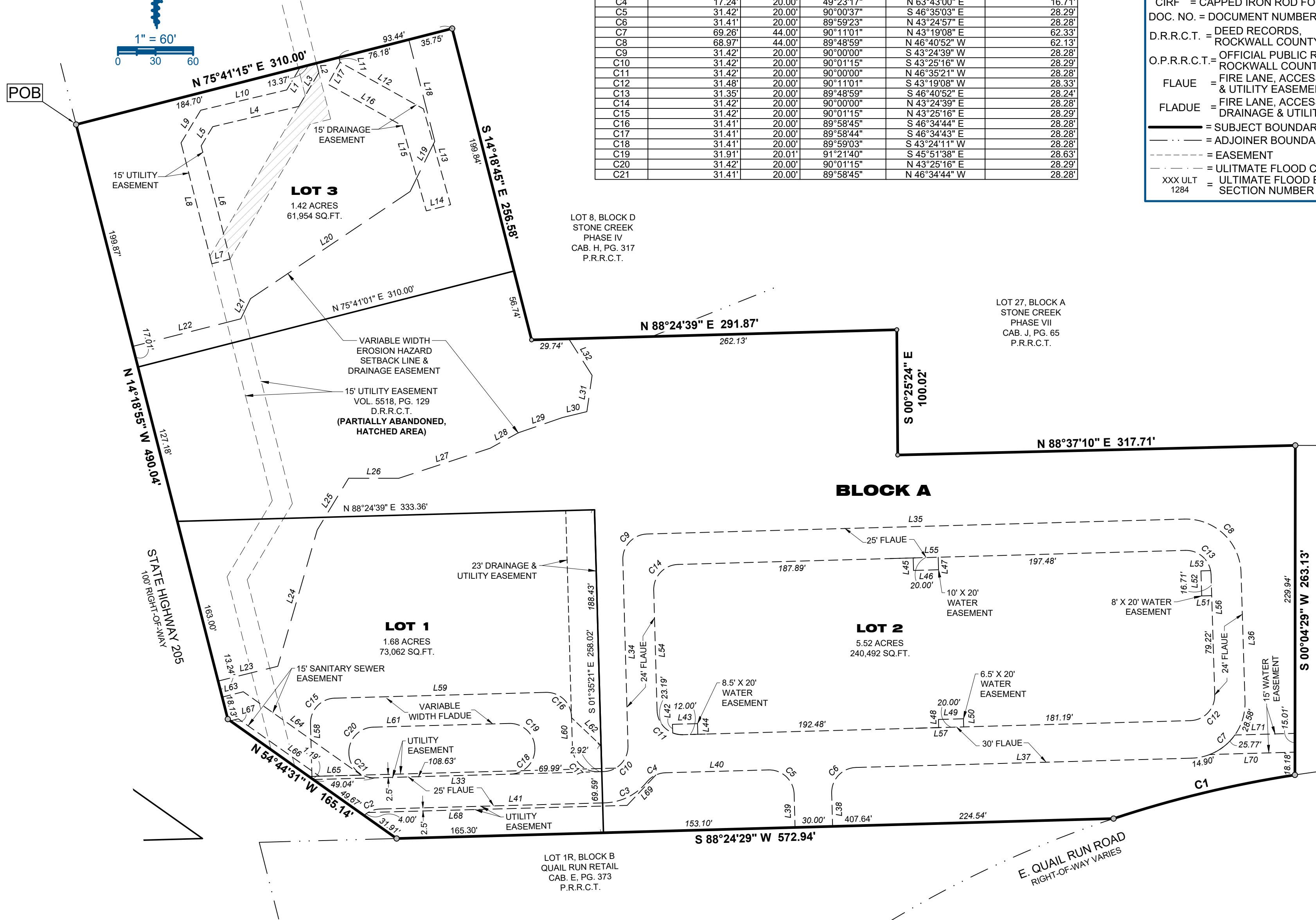
**VICINITY MAP**  
(1" = 2,000')



CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C2	14.11'	20.00'	40°25'22"	N 68°13'13" E	13.82'
C3	38.81'	45.00'	49°24'32"	N 63°43'38" E	37.61'
C4	17.24'	20.00'	49°23'17"	N 63°43'00" E	16.71'
C5	31.42'	20.00'	90°00'37"	S 46°35'03" E	28.29'
C6	31.41'	20.00'	89°59'23"	N 43°24'57" E	28.28'
C7	69.26'	44.00'	90°11'01"	N 43°19'08" E	62.33'
C8	68.97'	44.00'	89°48'59"	N 46°40'52" W	62.13'
C9	31.42'	20.00'	90°00'00"	S 43°24'39" W	28.28'
C10	31.42'	20.00'	90°01'15"	S 43°25'16" W	28.29'
C11	31.42'	20.00'	90°00'00"	N 46°35'21" W	28.28'
C12	31.48'	20.00'	90°11'01"	S 43°19'08" W	28.33'
C13	31.35'	20.00'	89°48'59"	S 46°40'52" E	28.24'
C14	31.42'	20.00'	90°00'00"	N 43°24'39" E	28.28'
C15	31.42'	20.00'	90°01'15"	N 43°25'16" E	28.29'
C16	31.41'	20.00'	89°58'45"	S 46°34'44" E	28.28'
C17	31.41'	20.00'	89°58'44"	S 46°34'43" E	28.28'
C18	31.41'	20.00'	89°59'03"	S 43°24'11" W	28.28'
C19	31.91'	20.01'	91°21'40"	S 45°51'38" E	28.63'
C20	31.42'	20.00'	90°01'15"	N 43°25'16" E	28.29'
C21	31.41'	20.00'	89°58'45"	N 46°34'44" W	28.28'

LEGEND	
POB	= POINT OF BEGINNING
CIRS	= CAPPED IRON ROD SET
CIRF	= CAPPED IRON ROD FOUND
DOC. NO.	= DOCUMENT NUMBER
D.R.R.C.T.	= DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	= OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
FLAUE	= FIRE LANE, ACCESS, & UTILITY EASEMENT
FLADUE	= FIRE LANE, ACCESS, DRAINAGE & UTILITY EASEMENT
---	= SUBJECT BOUNDARY
---	= ADJOINER BOUNDARY
---	= EASEMENT
---	= ULTIMATE FLOOD CUT LINE
XXX ULT	= ULTIMATE FLOOD ELEVATION SECTION NUMBER

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 30°41'35" E	20.99'
L2	S 14°18'25" E	7.84'
L3	S 30°41'35" W	31.28'
L4	S 76°44'35" W	70.67'
L5	S 31°07'07" W	17.86'
L6	S 14°18'25" E	93.35'
L7	S 75°41'25" W	15.00'
L8	N 14°18'25" W	99.63'
L9	N 31°07'07" E	30.45'
L10	N 76°44'35" E	70.60'
L11	N 14°18'45" W	3.98'
L12	N 60°50'54" W	76.21'
L13	N 15°50'54" W	79.59'
L14	N 75°41'15" E	20.01'
L15	S 15°50'54" E	70.77'
L16	S 60°50'54" E	67.93'
L17	S 29°09'06" W	20.00'
L18	N 14°18'59" W	83.85'
L19	N 26°10'28" W	44.63'
L20	N 56°08'35" E	153.47'
L21	N 25°42'27" E	17.91'
L22	N 75°40'51" E	89.13'
L23	S 76°05'16" W	49.15'
L24	S 16°07'20" W	113.31'
L25	S 31°18'12" W	48.31'
L26	N 89°58'35" W	40.03'
L27	S 71°47'27" W	76.84'
L28	S 61°15'45" W	25.61'
L29	S 71°00'10" W	37.37'
L30	S 76°20'17" W	20.05'
L31	S 08°14'55" W	29.23'
L32	S 32°34'06" E	34.63'
L33	S 88°25'54" W	232.08'
L34	S 01°35'21" E	148.69'
L35	S 88°24'39" W	429.36'
L36	N 01°46'22" W	103.00'
L37	N 88°24'39" E	268.09'
L38	N 01°34'44" W	26.52'
L39	S 01°34'44" E	26.51'
L40	N 88°24'39" E	82.21'
L41	N 88°25'54" E	179.40'
L42	S 01°35'21" E	6.83'
L43	S 88°24'39" W	20.00'
L44	N 01°35'21" W	8.50'
L45	S 01°35'21" E	10.00'
L46	N 88°24'39" E	20.00'
L47	N 01°35'21" W	10.00'
L48	S 01°35'21" E	6.50'
L49	N 88°24'39" E	20.00'
L50	N 01°35'21" W	6.50'
L51	S 88°24'39" E	8.00'
L52	S 01°35'21" E	20.00'
L53	N 88°24'39" E	7.67'
L54	N 01°35'21" W	96.00'
L55	N 88°24'39" E	405.36'
L56	S 01°46'22" E	96.00'
L57	S 88°24'39" W	405.67'
L58	N 01°35'21" W	43.79'
L59	N 88°25'54" E	168.63'
L60	S 01°35'21" E	24.52'
L61	N 88°25'54" E	108.63'
L62	S 46°35'21" E	32.53'
L63	N 75°41'05" E	17.40'
L64	S 54°44'31" E	115.29'
L65	S 88°25'54" W	33.37'
L66	N 54°44'31" W	79.34'
L67	S 75°41'05" W	6.57'
L68	N 88°25'54" E	207.05'
L69	N 43°24'39" E	33.41'
L70	S 88°24'39" W	68.11'
L71	N 88°24'39" E	48.04'



THE PURPOSE OF THIS PAGE (PAGE 2 OF 3) IS TO ANNOTATE PROPOSED EASEMENTS IN GREATER DETAIL

**FINAL PLAT**  
**LOTS 1-3, BLOCK A**  
**DUWEST ADDITION**  
**8.62 ACRES (375,509 SQ.FT.)**

BEING ALL OF A CALLED 8.62 ACRE TRACT TO DW QUAIL RUN, LLC RECORDED IN DOCUMENT NUMBER 2022000020290, O.P.R.R.C.T. SITUATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2201.023-03
Date	08/14/2023
Drafter	BE

**EAGLE SURVEYING, LLC**  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009  
TX Firm #10194177

**SURVEYOR**  
Eagle Surveying, LLC  
Contact: Brad Eubanks  
222 S. Elm Street, Suite: 200  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Claymoore Engineering, Inc.  
Contact: Matt Moore  
301 S. Coleman, Suite 40  
Prosper, TX 75078  
(817) 281-0572

**OWNER**  
DW Quail Run, LLC  
Contact: Bowen Hendrix  
4403 N. Central Expressway, Suite 200  
Dallas, TX 75205  
(214) 918-1804



**OWNER'S CERTIFICATE & DEDICATION**

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

**WHEREAS DW QUAIL RUN, LLC** is the sole owner of a an 8.62 acre tract or parcel of land situated in the Samuel King Survey, Abstract Number 131 in the City of Rockwall, Rockwall County, Texas and being all of a called 8.62 acre tract of land described in the deed to DW Quail Run, LLC recorded in Document Number 20220000020290, of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING**, at a capped 1/2" iron rod stamped "CORWIN ENG. INC." found at the Westerly Southwest corner of Lot 8, Block D of Stone Creek, Phase IV, an addition to the City of Rockwall, recorded in Cabinet H, Page 317 of the Plat Records of Rockwall County, Texas and being in the East right-of-way line of State Highway 205;

**THENCE**, North 75°41'15" East, with the South line of said Lot 8, a distance of 310.00 feet to a capped 1/2" iron rod stamped "CORWIN ENG. INC." found at an ell corner in the South line of said Lot 8;

**THENCE**, South 14°18'45" East, with the South line of said Lot 8, a distance of 256.58 feet to a capped 1/2" iron rod stamped "CORWIN ENG. INC." found at the Southerly Southwest corner of said Lot 8;

**THENCE**, North 88°24'39" East, with the South line of said Lot 8, passing at a distance of 96.09 feet a capped 1/2" iron rod stamped "CORWIN ENG. INC." found at the West corner of Lot 27, Block A of Stone Creek, Phase VII an addition to the City of Rockwall, recorded in Cabinet J, Page 65 of the Plat Records of Rockwall County, Texas, continuing on said Course and with the South line of said Lot 27, a total distance of 291.87 feet to a 1/2" iron rod found;

**THENCE**, South 00°25'24" East, with the South line of said Lot 27, a distance of 100.02 feet to a 1/2" iron rod found;

**THENCE**, North 88°37'10" East, with the South line of said Lot 27, a distance of 317.71 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set;

**THENCE** South 00°04'29" West, with the West line of a called 1.512 acre tract of land described in the deed to the City of Rockwall, recorded in Volume 5635, Page 211 of the Deed Records of Rockwall County, Texas, a distance of 263.13 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set at the Southwest corner of said 1.512 acre tract and being in the North right-of-way line of Quail Run Road;

**THENCE** with the North right-of-way line of said Quail Run Road and with a curve to the left having a radius of 892.50 feet, a delta angle of 09°34'32", a chord bearing and distance of South 76°28'13" West, 148.98 feet and an arc length of 149.16 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set at the Northeast corner of Lot 1R, Block B of Quail Run Retail an addition to the City of Rockwall, recorded in Cabinet E, Page 373 of the Plat Records of Rockwall County, Texas;

**THENCE** South 88°24'29" West, with the North line of said Lot 1R, a distance of 572.94 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set;

**THENCE**, along the East right-of-way line of said State Highway 205, being the common West line of said 266.364 acre tract, the following two (2) courses and distances:

1. North 54°44'31" West, a distance of 165.14 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set in the East right-of-way line of said State Highway 205;
2. North 14°18'55" West, a distance of 490.04 feet to the **POINT OF BEGINNING**, containing 8.62 acres of land more or less.

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT, **DW QUAIL RUN, LLC**, the undersigned owner of the land shown on this plat, and designated herein as **DUWEST ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DUWEST ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNERS: DW QUAIL RUN, LLC

BY: \_\_\_\_\_  
 Signature Date

BY: \_\_\_\_\_  
 Printed Name & Title

STATE OF TEXAS §  
 COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, \_\_\_\_\_ of **DW QUAIL RUN, LLC** known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
 Notary Public in and for the State of Texas

**CERTIFICATE OF SURVEYOR**

**NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:**

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

**PRELIMINARY**

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

\_\_\_\_\_  
 Matthew Raabe Date  
 Registered Professional Land Surveyor #6402

**CERTIFICATE OF APPROVAL**

\_\_\_\_\_  
 Chairman Date  
 Planning & Zoning Commission

**APPROVED:**

I hereby certify that the above and foregoing plat of **DUWEST ADDITION**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
 Mayor, City of Rockwall City Secretary, City of Rockwall

\_\_\_\_\_  
 City Engineer

**FINAL PLAT  
 LOTS 1-3, BLOCK A  
 DUWEST ADDITION  
 8.62 ACRES (375,509 SQ.FT.)**

BEING ALL OF A CALLED 8.62 ACRE TRACT TO  
 DW QUAIL RUN, LLC RECORDED IN  
 DOCUMENT NUMBER 20220000020290, O.P.R.R.C.T.  
 SITUATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO.

P \_\_\_\_\_

PAGE 3 OF 3

Project	2201.023-03	 <b>EAGLE SURVEYING, LLC</b> 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	08/14/2023	
Drafter	BE	

**SURVEYOR**  
 Eagle Surveying, LLC  
 Contact: Brad Eubanks  
 222 S. Elm Street, Suite: 200  
 Denton, TX 76201  
 (940) 222-3009

**ENGINEER**  
 Claymoore Engineering, Inc.  
 Contact: Matt Moore  
 301 S. Coleman, Suite 40  
 Prosper, TX 75078  
 (817) 281-0572

**OWNER**  
 DW Quail Run, LLC  
 Contact: Bowen Hendrix  
 4403 N. Central Expressway, Suite 200  
 Dallas, TX 75205  
 (214) 918-1804

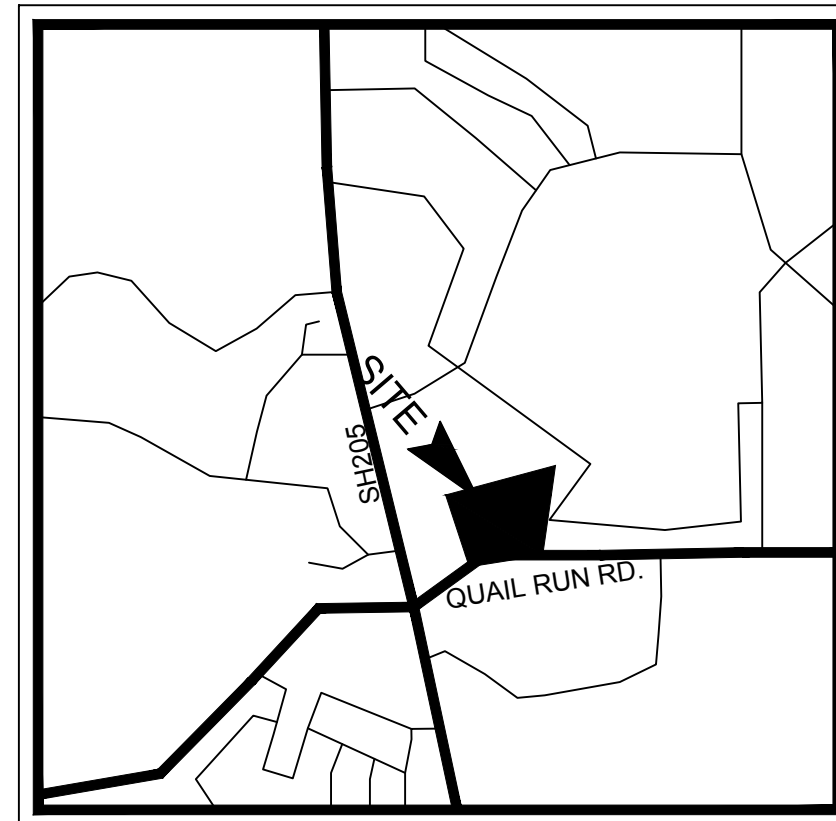
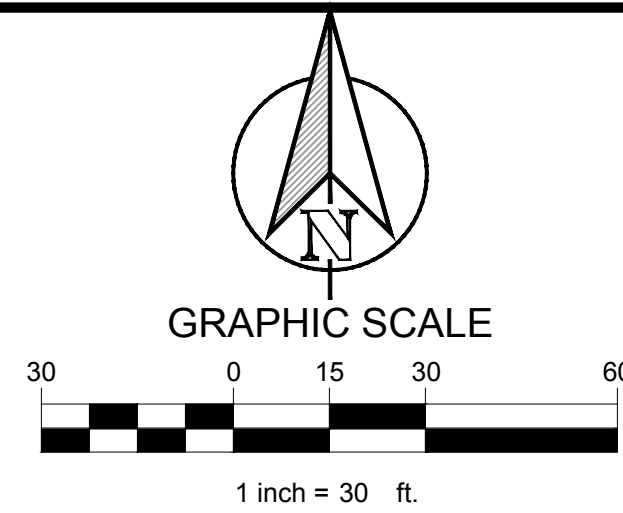


MATCHLINE- SEE NEXT PAGE

MATCHLINE- SEE NEXT PAGE

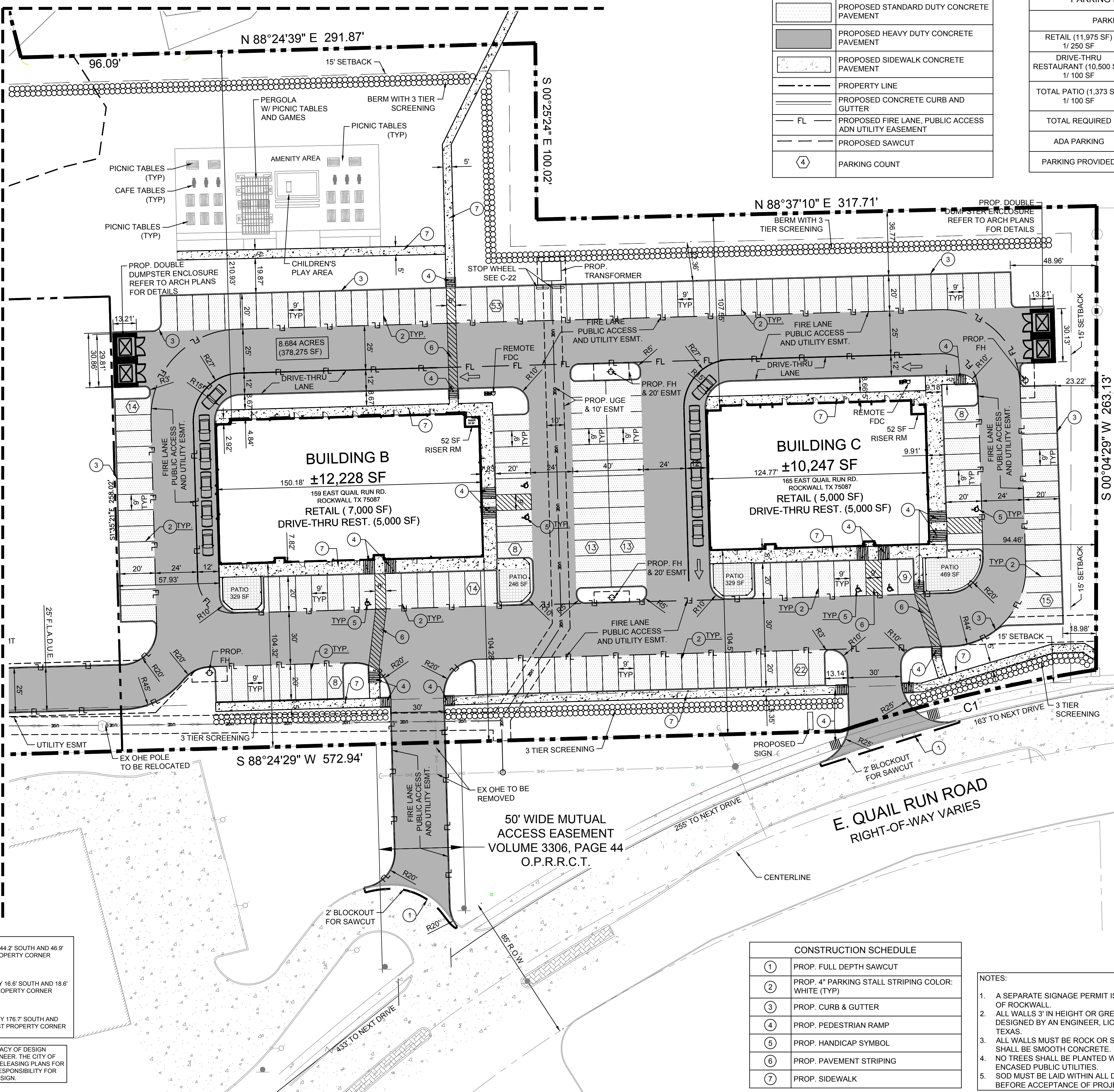
CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)



VICINITY MAP  
N.T.S.

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)



CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
- ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
- ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
- NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
- SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

TBM #1 - ELEV: 507.40  
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 499.60  
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4  
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PLOTTED BY: JAT, KRUIARUDDA  
 PLOT DATE: 8/17/2023 11:06 AM  
 LOCATION: Z:\PROJECTS\SPROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM



**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
CLAYMOORE ENGINEERING  
CONSULTANTS  
ENGINEER AND PLANNER  
CONSULTANT  
DREW DONOSKY  
Engineer  
P.E. No. 12565, Date 8/17/2023

**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

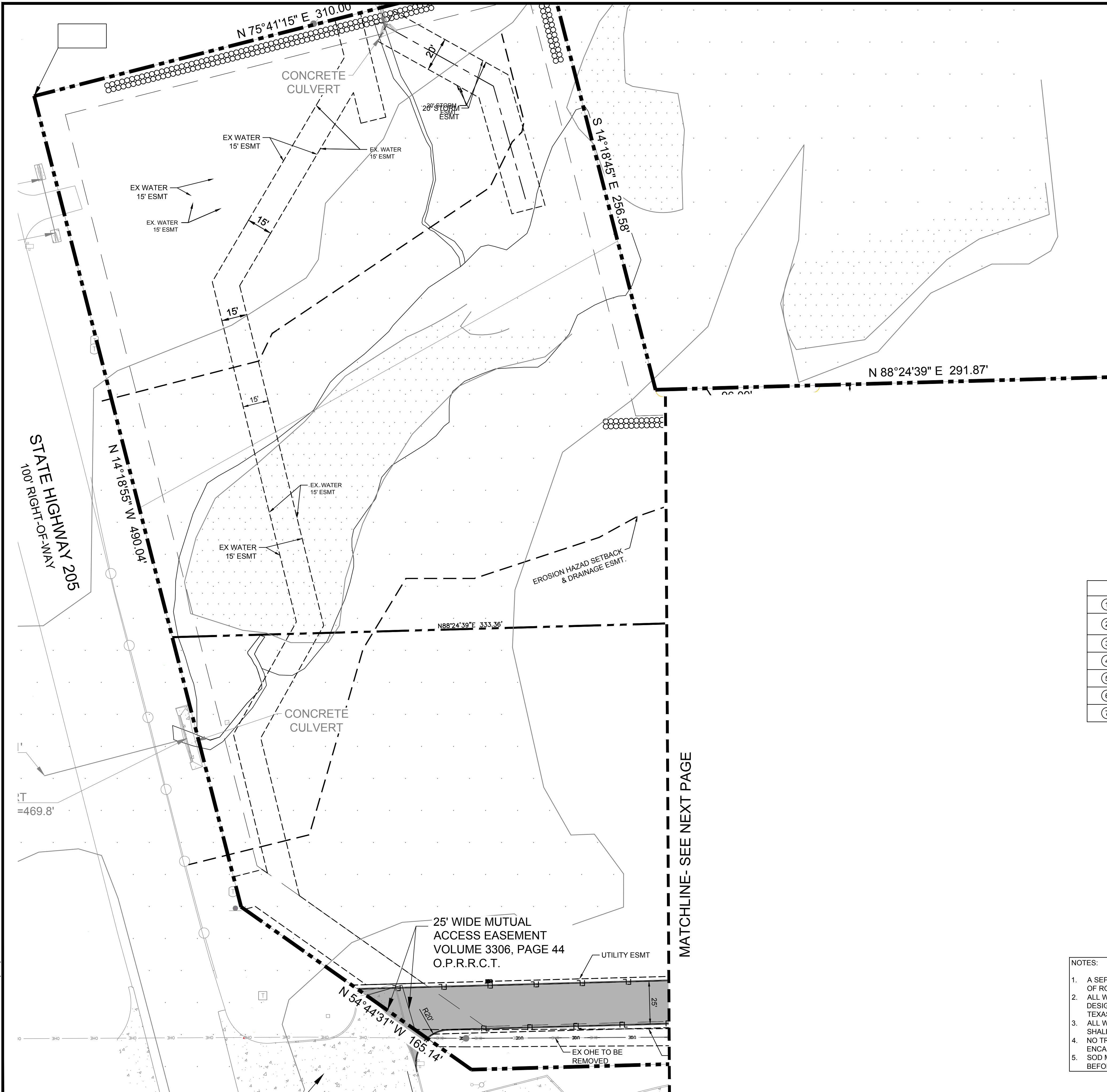
**SITE PLAN (1 OF 2)**

DUWEST ROCKWALL, TX	
LEGAL DESCRIPTION AND OR ADDRESS: STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)	
OWNER: DUWEST REALTY, LLC 4403 N. CENTRAL EXWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804	APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572
CASE NUMBER Z2022-003	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.	
WITNESS OUR HANDS THIS ____ DAY OF ____.	
DESIGN: LRR	DRAWN: LRR
CHECKED: CLC	DATE: 8/17/2023
PLANNING AND ZONING COMMISSION, CHAIRMAN	
DIRECTOR OF PLANNING AND ZONING	

SHEET  
**SP-1**  
 File No. 2022-002  
 CASE # SP2022-012



PLOTTED BY: JAT/KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM



MATCHLINE- SEE NEXT PAGE

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

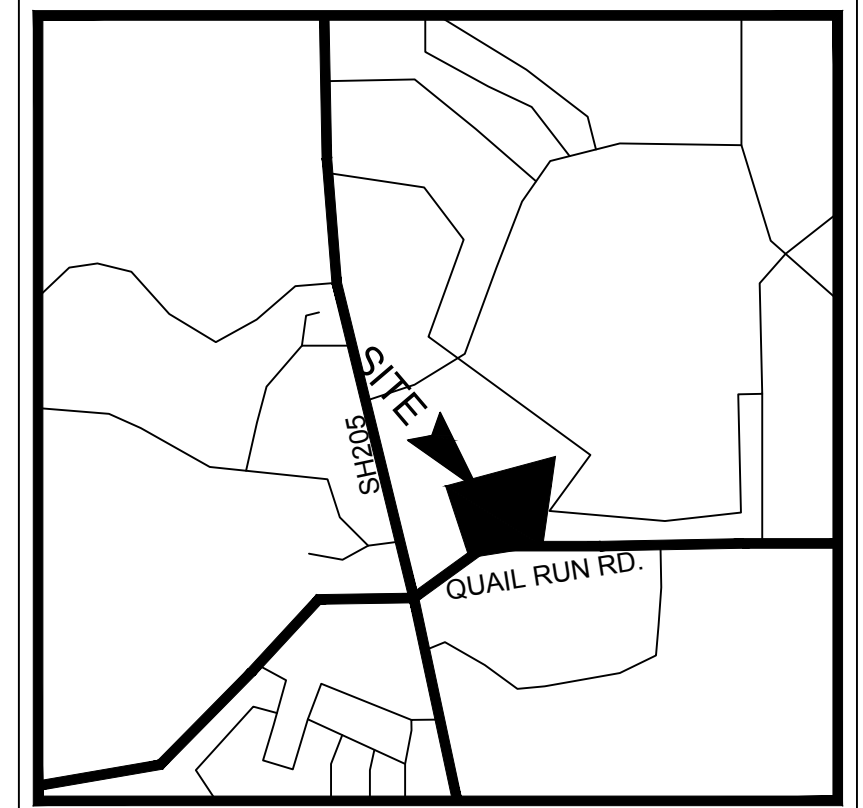
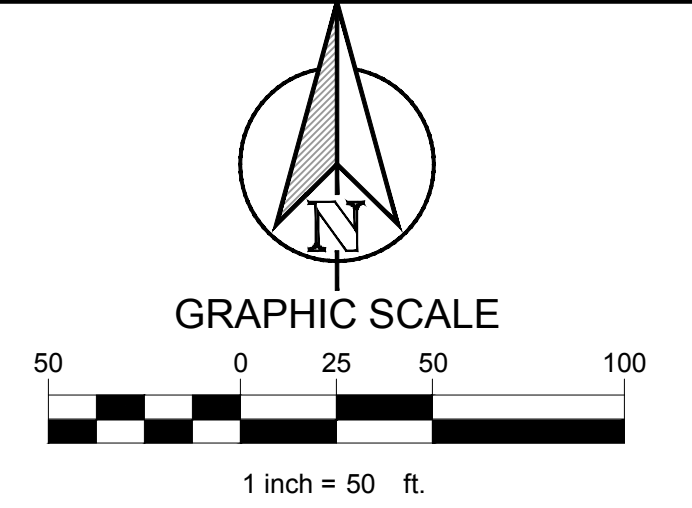
SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

**TBM #1 - ELEV. 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #2 - ELEV. 489.60**  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #3 - ELEV. 486.4**  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

<b>DUWEST ROCKWALL, TX</b>	
LEGAL DESCRIPTION AND OR ADDRESS: <b>STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)</b>	
OWNER: DUWEST REALTY, LLC 4403 N. CENTRAL EXHWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572	
CASE NUMBER Z2022-003	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.	
WITNESS OUR HANDS THIS _____ DAY OF _____.	
PLANNING AND ZONING COMMISSION, CHAIRMAN	_____ DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 WWW.CLAYMOOREENGINEERING.COM  
 PHONE: 817.281.0572

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565 License 8/17/2023

**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**SITE PLAN (2 OF 2)**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023
SHEET	
<b>SP-1</b>	



PLotted BY: JAT/KR/AB/UDA  
PLOT DATE: 8/17/2023 10:17 AM  
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-2 CITY GENERAL NOTES.DWG  
LAST SAVED: 7/11/2022 9:40 AM

**GENERAL ITEMS**

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
- Where any conflicting notes, details or specifications occur in the plans the City of Rockwall General Construction Notes, Standards, Details and Specifications shall govern unless detail or specification is more strict.
- The City of Rockwall Engineering Departments "Standards of Design and Construction" can be found online at: <http://www.rockwall.com/cnrg.asp>
- All communication between the City and the CONTRACTOR shall be through the Engineering Construction Inspector and City Engineer or designated representative only. It is the responsibility of the CONTRACTOR to contact the appropriate department for inspections that do not fall under this approved engineering plan set.
- Prior to construction, CONTRACTOR shall have in their possession all necessary permits, plans, licenses, etc.
- The CONTRACTOR shall have at least one original stamped and signed set of approved engineering plans and specifications on-site and in their possession at all times. A stop work order will be issued if items are not on-site. Copies of the approved plans will not be substituted for the required original "approved plans to be on-site".
- All material submittals, concrete batch designs and shop drawings required for City review and approval shall be submitted by the CONTRACTOR to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- All site dimensions are referenced to the face of curb or edge of pavement unless otherwise noted.
- The City requires ten (10%) percent-two (2) year maintenance bond for paving, paving improvements, water systems, wastewater systems, storm sewer systems including detention systems, and associated fixtures and structures which are located within the right-of-ways or defined easements. The two (2) year maintenance bond is to state "from date of City acceptance" as the starting time.
- A review of the site shall be conducted at twenty (20) months into the two (2) year maintenance period. The design engineer or their designated representative and the CONTRACTOR shall be present to walk the site with the City of Rockwall Engineering Inspection personnel.

**EROSION CONTROL & VEGETATION**

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed and approved by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials.
- CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water or other means as approved by the City Engineer.
- CONTRACTOR shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" (not winter rye or weeds) shall consist of 75% to 80% coverage of all disturbed areas and a minimum of one-inch (1") in height as determined by the City. No bare spots will be allowed. Re-seeding will be required in all washed areas and areas that don't grow.
- All City right-of-ways shall be sodded if disturbed. No artificial grass is allowed in any City right-of-way and/or easements.
- All adjacent streets/alleys shall be kept clean at all times
- CONTRACTOR shall keep construction site clean at all times, immediately contain all debris and trash, all debris and trash shall be removed at the end of each work day, and all vegetation on the construction site 10-inches or taller in height must be cut immediately.
- Suspension of all construction activities for the project will be enforced by the City if any erosion control requirements are not met. Work may commence after deficiency has been rectified.
- During construction of the project, all soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The CONTRACTOR is responsible for the temporary protection and permanent stabilization of all soil stockpiles on-site as well as borrow areas and soil intentionally transported from the project site.
- Where construction vehicles access routes intersect paved or public roads/alleys, construction entrances shall be installed to minimize the transport of sediment by vehicular tracking onto paved surfaces. Where sediment is transferred onto paved or public surfaces, the surface shall be immediately cleaned. Sediment shall be

removed from the surface by shoveling or sweeping and transported to a sediment disposal area. Pavement washing shall be allowed only after sediment is removed in this manner.

- All drainage inlets shall be protected from siltation, ineffective or unmaintained protection devices shall be immediately replaced and the inlet and storm system cleaned. Flushing is not an acceptable method of cleaning.
- During all dewatering operations, water shall be pumped into an approved filtering device prior to discharge into a receiving outlet.

**TRAFFIC CONTROL**

- All new Detouring or Traffic Control Plans are required to be submitted to the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
- When the normal function of the roadway is suspended through closure of any portion of the right-of-way, temporary construction work zone traffic control devices shall be installed to effectively guide the motoring public through the area. Consideration for road user safety, worker safety, and the efficiency of road user flow is an integral element of every traffic control zone.
- All traffic control plans shall be prepared and submitted to the Engineering Department in accordance with the standards identified in Part VI of the most recent edition of the TMUTCD. Lane closures will not occur on roadways without an approval from the Rockwall Engineering Department and an approved traffic control plan. Traffic control plans shall be required on all roadways as determined by the City Engineer or the designated representative.
- Lane closures on any major or minor arterial will not be permitted between the hours of 6:00 am to 9:00 am and 3:30 pm to 7:00 pm. Where lane closures are needed in a school area, they will not be permitted during peak hours of 7:00 am – 9:00 am and 3:00 pm to 5:00 pm. Closures may be adjusted according to the actual start-finish times of the actual school with approval by the City Engineer. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure.
- The CONTRACTOR executing the traffic control plan shall notify all affected property owners two (2) weeks prior to any the closures in writing and verbally.
- Any deviation from an approved traffic control plan must be reviewed by the City Engineer or the designated representative. If an approved traffic control plan is not adhered to, the CONTRACTOR will first receive a verbal warning and be required to correct the problem immediately. If the deviation is not corrected, all construction work will be suspended, the lane closure will be removed, and the roadway opened to traffic.
- All temporary traffic control devices shall be removed as soon as practical when they are no longer needed. When work is suspended for short periods of time at the end of the workday, all temporary traffic control devices that are no longer appropriate shall be removed or covered. The first violation of this provision will result in a verbal warning to the construction foreman. Subsequent violations will result in suspension of all work at the job site for a minimum of 48 hours. All contractors working on City funded projects will be charged one working day for each 24 hour closure of a roadway whether they are working or not.
- No traffic signs shall be taken down without permission from the City.
- No street/roadway will be allowed to be fully closed.

**UTILITY LINE LOCATES**

- It is the CONTRACTOR's responsibility to notify utility companies to arrange for utility locates at least 48 hours prior to beginning construction. The completeness and accuracy of the utility data shown on the plans is not guaranteed by the design engineer or the City. The CONTRACTOR is responsible for verifying the depth and location of existing underground utilities proper to excavating, trenching, or drilling and shall be required to take any precautionary measures to protect all lines shown and/or any other underground utilities not on record or not shown on the plans.
- The CONTRACTOR shall be responsible for damages to utilities
- CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
- All utilities shall be placed underground.
- CONTRACTOR shall be responsible for the protection of all existing main lines and service lines crossed or exposed by construction operations. Where existing mains or service lines are cut, broken or damaged, the CONTRACTOR shall immediately make repairs to or replace the entire service line with same type of original construction or better. The City of Rockwall can and will intervene to restore service if deemed necessary and charge the CONTRACTOR for labor, equipment, material and loss of water if repairs aren't made in a timely manner by the CONTRACTOR.
- The City of Rockwall (City utilities) is not part of the Dig Tess or Texas one Call – 811 – line locate system. All City of Rockwall utility line locates are to be scheduled with the City of Rockwall Service Center. 972-771-7730. A 48-hour advance notice is required for all non-emergency line locates.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
  - No more than 500 linear feet of trench may be opened at one time.
  - Material used for backfilling trenches shall be properly compacted to 95% standard density in order to minimize erosion, settlement, and promote stabilization that the geotechnical engineer recommends.
  - Applicable safety regulations shall be complied with.
- This plan details pipes up to 5 feet from the building. Refer to the building plans for building connections. CONTRACTOR shall supply and install pipe adapters as necessary.
- All underground lines shall be installed, inspected, and approved prior to backfilling.
- All concrete encasement shall have a minimum of 28 days compressive strength at 3,000 psi (min. 5.5 sack mix).

**WATER LINE NOTES**

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's engineering standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall Engineering Inspector and Water Department. The City shall operate all water valves. Allow 5 business days from the date of notice to allow City personnel time to schedule a shut down. Two additional days are required for the CONTRACTOR to notify residents in writing of the shut down after the impacted area has been identified. Water shut downs impacting businesses during their normal operation hours is not allowed. CONTRACTOR is required to coordinate with the Rockwall Fire Department regarding any fire watch requirements as well as any costs incurred when the loss of fire protection to a structure occurs.
- CONTRACTOR shall furnish and install gaskets on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall Municipal Service Center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- All water valve hardware and valve extensions, bolts, nuts and washers shall be 316 stainless steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 stainless steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete.
- All fire hydrants will have a minimum of 5 feet of clearance around the appurtenance including but not limited to parking spaces and landscaping.
- All joints are to be megalug joints with thrust blocking.
- Water and sewer mains shall be kept 10 feet apart (parallel) or when crossing 2 feet vertical clearance.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all water lines.
- All domestic and irrigation services are required to have a testable backflow device with a double check valve installed per the City of Rockwall regulations at the property line and shown on plans.

**WASTEWATER LINE NOTES**

- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC – SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover]. No services will be allowed on a sanitary sewer line deeper than 10 feet.
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's public works standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines prior to abandonment.
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades.
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal. Conshield must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the CONTRACTOR shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- If an existing wastewater main or trunk line is called out to be replaced in place a wastewater bypassing pump plan shall be required and submitted to the Engineering Construction Inspector and City Engineer for approval prior to implementation. Bypass pump shall be fitted with an auto dialer and conform to the City's Noise Ordinance. Plan shall be to the City sufficiently in advance of scheduled construction to allow no less than 10 business days for review and response by the City.
- CONTRACTOR shall maintain a minimum of 4 feet of cover on all wastewater lines.



**GENERAL CONSTRUCTION NOTES**  
Sheet 1 of 2  
October 2020

**CITY OF ROCKWALL  
ENGINEERING DEPARTMENT**

385 S. Goliad P (972) 771-7746  
Rockwall, Texas 75087 F (972) 771-7748



**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING  
CONSULTANTS  
Engineer: **DREW DONOSKY**  
P.E. No. 12565 Date: 8/17/2023

**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**CITY GENERAL NOTES**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 8/17/2023

SHEET

**C-1**



PLOTTED BY: JAT, KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:17 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-2 CITY GENERAL NOTES.DWG  
 LAST SAVED: 7/11/2022 9:40 AM

**DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES**

- All pavements to be removed and replaced shall be saw cut to full depth along neat squared lines shown in the plans.
- Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement.
- All public concrete pavement to be removed and replaced shall be full panel replacement, 1-inch thicker and on top of 6-inch thick compacted flexbase.
- No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. No excess excavation shall be deposited in the City Limits without a permit from the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, the CONTRACTOR will be responsible for all damages resulting from such fill and shall remove the material at their own cost.

**PAVING AND GRADING**

- All detention systems are to be installed and verified for design compliance along with the associated storm sewer and outflow structures, prior to the start of any paving operations (including building foundations). Erosion protection shall be placed at the pond outflow structures, silt fence along the perimeter of the pond along with any of the associated erosion BMPs noted on the erosion control plan, and the sides and bottom of the detention system shall have either sod or anchored seeded curlex installed prior to any concrete placement.
- All paving roadway, driveways, fire lanes, drive-isles, parking, dumpster pads, etc. sections shall have a minimum thickness, strength, reinforcement, joint type, joint spacing and subgrade treatment shall at a minimum conform to the City standards of Design and Construction and table below.

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-Day (psi)	Minimum Cement (sacks / CY)		Steel Reinforcement	
			Machine placed	Hand Placed	Bar #	Spacing (O.C.E.W.)
Arterial	10"	3,600	6.0	6.5	#4 bars	18"
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	6"	3,600	6.0	6.5	#3 bars	24"
Alley	7"-5"-7"	3,600	6.0	6.5	#3 bars	24"
Fire Lane	6"	3,600	6.0	6.5	#3 bars	24"
Driveways	6"	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive Aisles	5"	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

- Reinforcing steel shall be tied (100%). Reinforcing steel shall be set on plastic chairs. Bar laps shall be minimum 30 diameters. Sawed transverse dummy joints shall be spaced every 15 feet or 1.25 time longitudinal butt joint spacing whichever is less. Sawing shall occur within 5 to 12 hours after the pour, including sealing. Otherwise, the section shall be removed and longitudinal butt joint constructed.
- No sand shall be allowed under any paving.
- All concrete mix design shall be submitted to the City for review and approval prior to placement.
- Fly ash may be used in concrete pavement locations provided that the maximum cement reduction does not exceed 20% by weight per C.Y. of concrete. The fly ash replacement shall be 1.25 lbs. per 1.0 lb. cement reduction.
- All curb and gutter shall be integral (monolithic) with the pavement.
- All fill shall be compacted by sheep's foot roller to a minimum 95% standard proctor. Maximum loose lift for compaction shall be 8 inches. All lifts shall be tested for density by an independent laboratory. All laboratory compaction reports shall be submitted to the City Engineering Construction Inspector once results are received. All reports will be required prior to final acceptance.
- All concrete compression tests and soil compaction/density tests are required to be submitted to the City's Engineering Inspector immediately upon results.
- All proposed sidewalks shall include barrier free ramps at intersecting streets, alleys, etc. Barrier free ramps (truncated dome plate in Colonial or brick red color) shall meet current City and ADA requirements and be approved by the Texas Department of Licensing and Regulation (TDLR).
- All public sidewalks shall be doweled into pavement where it abuts curbs and driveways. Expansion joint material shall be used at these locations.
- All connection of proposed concrete pavement to existing concrete pavement shall include a longitudinal butt joint as the load transfer device. All longitudinal butt joints shall be clean, straight and smooth (not jagged in appearance)
- Cracks formed in concrete pavement shall be repaired or removed by the CONTRACTOR at the City's discretion. CONTRACTOR shall replace existing concrete curbs, sidewalk, paving, a gutters as indicated on the plans and as necessary to connect to the existing infrastructure, including any damage caused by the CONTRACTOR.
- All residential lots will require individual grading plans submitted during the building permit process that correspond with the engineered grading and drainage area plans.
- Approval of this plan is not an authorization to grade adjacent properties when the plans or field conditions warrant off-site grading. Written permission must be obtained and signed from the affected property owner(s) and temporary construction easements may be required. The written permission shall be provided to the City as verification of approval by the adjacent property owner(s). Violation of this requirement will result in suspension of all work at the job site until issue has been rectified.
- All cut or fill slopes of non-paved areas shall be a maximum of 4:1 and minimum of 1%.
- CONTRACTOR agrees to repair any damage to property and the public right-of-way in accordance with the City Standards of Design and Construction.
- CONTRACTOR shall protect all monuments, iron pins/rods, and property corners during construction.
- CONTRACTOR shall ensure positive drainage so that runoff will drain by gravity flow to new or existing drainage inlets or sheet flow per these approved plans.

**DRAINAGE / STORM SEWER NOTES**


- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.
- All structural concrete shall be 4200 psi compressive strength at 28 days minimum 7.0 sack mix, air entrained, unless noted otherwise. Fly ash shall not be allowed in any structural concrete.
- Proposed storm sewer embedment shall be NCTCOG Class 'B' as amended by the City of Rockwall's Engineering Department Standards of Design and Construction Manual.
- All public storm pipe shall be a minimum of 18-inch reinforced concrete pipe (RCP), Class III, unless otherwise noted.
- All storm pipe entering structures shall be grouted to assure connection at the structure is watertight.
- All storm structures shall have a smooth uniform poured mortar invert from invert in to invert out.
- All storm sewer manholes in paved areas shall be flush with the paving grade, and shall have traffic bearing ring and covers.
- All storm sewer pipes and laterals shall be inspected by photographic means (television and DVD) prior to final acceptance and after franchise utilities are installed. The CONTRACTOR shall furnish a DVD to the Engineering Construction Inspector for review. Pipes shall be cleaned prior to TV inspection of the pipes. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the CONTRACTOR at the CONTRACTOR's expense. A television survey will be performed as part of the final testing in the twentieth (20<sup>th</sup>) month of the maintenance period.

**RETAINING WALLS**

- All retaining walls, regardless of height, will be reviewed and approved by the City Engineering Department
- All retaining walls (including foundation stem walls), regardless of height, will be constructed of rock/stone/brick or rock/stone/brick faced. No smooth concrete walls are allowed. Wall materials shall be the same for all walls on the project.
- All portions, including footings, tie-backs, and drainage backfill, of the wall shall be on-site and not encroach into any public easements or right-of-way. The entire wall shall be in one lot and shall not be installed along a lot line.
- All walls 3 feet and taller will be designed and signed/sealed by a registered professional engineer in the State of Texas. The wall design engineer is required to inspect the wall construction and supply a signed/sealed letter of wall construction compliance to the City of Rockwall along with wall as-builts prior to City Engineering acceptance.
- No walls are allowed in detention easements. A variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.

**FINAL ACCEPTANCE AND RECORD DRAWINGS/AS-BUILTS**

- Final Acceptance shall occur when all the items on the Checklist for Final Acceptance have been completed and signed-off by the City. An example of the checklist for final acceptance has been included in the Appendix of the Standards of Design and Construction. Items on the checklist for final acceptance will vary per project and additional items not shown on the check list may be required.
- After improvements have been constructed, the developer shall be responsible for providing to the City "As Built" or "Record Drawings". The Design Engineer shall furnish all digital files of the project formatted in Auto Cad 14, or 2000 format or newer and Adobe Acrobat (.pdf) format with a CD-ROM disk or flash drive. The disk or drive shall include a full set of plans along with any landscaping, wall plans, and details sheets.
- Submit 1-set of printed drawings of the "Record Drawings" containing copies of all sheets to the Engineering Construction Inspector for the project. The printed sheets will be reviewed by the inspector PRIOR to producing the "Record Drawing" digital files on disk or flash drive. This will allow any revisions to be addressed prior to producing the digital files.
- Record Drawing Disk drawings shall have the Design Engineers seal, signature and must be stamped and dated as "Record Drawings" or "As Built Drawings" on all sheets.
- The City of Rockwall will not accept any Record Drawing disk drawings which include a disclaimer. A disclaimer shall not directly or indirectly state or indicate that the design engineer or the design engineer's surveyor/surveyors did not verify grades after construction, or that the Record Drawings were based solely on information provided by the construction contractor/contractors. Any Record Drawings which include like or similar disclaimer verbiage will not be accepted by the City of Rockwall.
- Example of Acceptable Disclaimer: "To the best of our knowledge ABC Engineering, Inc., hereby states that this plan is As-Built. This information provided is based on surveying at the site and information provided by the contractor."

	<b>GENERAL CONSTRUCTION NOTES</b> Sheet 2 of 2 October 2020
	<b>CITY OF ROCKWALL ENGINEERING DEPARTMENT</b>  385 S. Goliad P (972) 771-7746 Rockwall, Texas 75087 F (972) 771-7748

TEXAS REGISTRATION #14199  
1903 CENTRAL DR., SUITE 400  
ROCKWALL, TX 75087  
PHONE 972.781.0022  
WWW.CLAYMOOREENGINEERING.COM

CLAYMOORE  
ENGINEERING

**PRELIMINARY**

FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING  
CONSULTANTS  
Engineer: DREW DONOSKY  
P.E. No. 12565 Date: 8/17/2023

DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX


CITY GENERAL NOTES

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023
SHEET	
C-2	
File No.	2022-002



GENERAL NOTES

- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN STANDARDS. IF NO CITY STANDARD IS APPLICABLE, MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE "NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS, IF ANY, ARE CONCEPTUAL. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
- BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
- THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS. COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER AND CITY BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR, CITY ENGINEER INSPECTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL REVISIONS MUST BE APPROVED BY THE CITY DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
- CONTRACTOR SHALL CONTACT CITY TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH

REQUIREMENTS MAY EXIST AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.

PAVING AND STRIPING NOTES

- THE REINFORCED PORTLAND CEMENT CONCRETE SHOULD HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI MIN 5.5 SACK MIX AT 28 DAYS FOR STANDARD DUTY CONCRETE AND 3,600 PSI MIN 6.5 SACK MIX FOR MEDIUM DUTY CONCRETE AND DUMPSTER AREAS, AND A MINIMUM REINFORCING OF #3 BARS @ 18" O.C.E.W. AND SHALL STRICTLY ADHERE TO DETAILS INCLUDED IN THIS SET. A BASE SUB-GRADE PER THE GEOTECHNICAL REPORT IS REQUIRED BENEATH ALL PAVING.
  - TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
  - ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE OWNER PRIOR TO INSTALLATION.
  - SEE M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
  - ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE MOST RECENT VERSION OF THE AMERICANS WITH DISABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDUMS OR UPDATES.
  - CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
  - ANY EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
  - CONSTRUCTION JOINTS SHALL BE REQUIRED AT INTERRUPTIONS OF PAVING OPERATIONS SUCH AS THOSE OCCURRING AT THE END OF THE DAY OR DUE TO WEATHER OR EQUIPMENT BREAKDOWN. PLACE AT LONGITUDINAL CONSTRUCTION OR ISOLATION JOINT LOCATIONS.
  - CONTRACTOR TO INSTALL CONSTRUCTION JOINTS IN CONCRETE PAVEMENT AT ALL PC'S AND AS CONVENIENT TO PHASING OF POURS. CONCRETE PAVEMENT TO BE CONSTRUCTED WITH ISOLATION JOINTS AROUND THE PERIMETER OF ANY BLOCK OUT IN PAVEMENT AND SAWED DUMMY JOINTS EVERY 12' IN BOTH DIRECTIONS.
  - ALL JOINTS ARE TO CONTINUE THROUGH THE CURB.
  - RADIAL JOINTS SHALL BE NO SHORTER THAN 24".
  - ALL CONSTRUCTION JOINTS SHALL BE SAWED, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.
  - NO SAND ALLOWED UNDERNEATH PAVING.
- STORM SEWER NOTES**
- CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CONSTRUCTION MANAGER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
  - CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, DROP INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER. FLOW LINES AND RIMS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE PROPOSED GRADE PRIOR TO CONSTRUCTION.
  - THE END OF ALL STORM SEWER LATERALS THAT CONNECT TO WORK BY PLUMBER SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED 5.0 FEET OUTSIDE THE BUILDING UNTIL FINAL CONNECTIONS ARE MADE BY PLUMBING CONTRACTOR.
  - THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS.
  - THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
  - EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN. NO SEPARATE PAY ITEM.
  - ALL RCP SHALL BE CLASS 3 OR APPROVED EQUAL.

STORM SEWER DISCHARGE AUTHORIZATION

- IF THE TOTAL DISTURBED AREA EXCEEDS ONE (1) ACRE A NOTICE OF INTENT (N.O.I.) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE TCEQ NO LESS THAN 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
- A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
- A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE TCEQ BY THE CONTRACTOR WHEN THE SITE HAS 100% OF THE DISTURBED AREAS STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES

ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.

WATER NOTES

- EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE DEVELOPER AND THE ENGINEER OR THE CITY NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
- THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- HORIZONTAL AND VERTICAL BLOCKING FOR WATER LINES HAS BEEN OMITTED FOR CLARITY. HOWEVER, BLOCKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
- TRENCHES WHICH LAY OUTSIDE EXISTING OR FUTURE PAVEMENTS SHALL BE BACK FILLED ABOVE THE TOP OF THE EMBEDMENT WITH TYPE 'C' BACKFILL MATERIALS. WHEN TYPE 'C' BACKFILL MATERIAL IS NOT SUITABLE AND AT THE DIRECTION OF THE ENGINEER TYPE 'B' MATERIAL SHALL BE USED. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% PROCTOR DENSITY BY MEANS OF TAMPING ONLY. TRENCHES WHICH CROSS UNDER EXISTING OR FUTURE PAVEMENT SHALL BE BACK FILLED PER FIGURE 'A' WITH 95% PROCTOR STANDARD DENSITY OF -2.44 OF OPTIMUM MOISTURE CONTENT.
- TOP OF WATER LINES SHALL BE A MINIMUM OF 42" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
- FIRE HYDRANTS SHALL BE A MINIMUM 3' BEHIND THE FACE OF THE CURB UNLESS OTHERWISE DIRECTED BY THE CITY. FIRE HYDRANTS AND VALVES AS SHOWN ON THESE PLANS ARE SYMBOLIC ONLY. ALL FIRE HYDRANTS TO HAVE 5' CLEARANCE AROUND INCLUDING PARKING SPACES.
- CORPORATION STOPS SHALL BE TESTED FOR FULL FLOW WHEN THE SYSTEM IS PRESSURE TESTED.
- ALL NEW WATER MAINS SHALL BE FULLY PURGED.
- ALL 6", 8", 10" & 12" WATER MAINS SHALL BE PVC AWWA C900, DR-14. ALL WATER MAINS USING POLY-WRAPPED DUCTILE IRON PIPE SHALL BE CLASS 51.
- FITTINGS SHALL BE DUCTILE IRON AND MECHANICAL JOINT TYPE, WITH "COR-BLUE" BOLTS AND SHALL BE CLASS 250.

SANITARY SEWER NOTES

- EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE DEVELOPER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
- THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- TRENCHES WHICH LIE OUTSIDE EXISTING PAVEMENTS SHALL BE BACKFILLED ABOVE THE TOP OF THE EMBEDMENT WITH TYPE 'C' BACKFILL MATERIAL. WHEN TYPE 'C' BACKFILL MATERIAL IS NOT SUITABLE AND AT THE DIRECTION OF THE ENGINEER, TYPE 'B' MATERIAL SHALL BE USED. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY BY MEANS OF TAMPING ONLY. TRENCHES THAT CROSS UNDER EXISTING OR FUTURE PAVEMENT SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY WITH MOISTURE CONTENT-2 AND +4% OF OPTIMUM MOISTURE CONTENT.
- TYPICAL LOCATION OF SANITARY SEWER PIPE SHALL BE A MINIMUM OF 4'-0" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
- ALL FLEXIBLE SANITARY SEWER MAINS SHALL BE TESTED WITH STANDARD 5% DEFLECTION MANDREL.
- ALL SANITARY SEWER LINES SHALL BE CAPPED WITH AN APPROPRIATE CAP AT THE END OF EACH WORKDAY.
- WHEN EXISTING GRADES ARE LOWER THAN PROPOSED MAINS, THE FILL AREA OVER THE PIPE SHALL BE FILLED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY TO THE PROPOSED FINISHED GRADE PRIOR TO INSTALLING ANY MAIN.
- ALL SEWER SERVICES SHALL BE CONSTRUCTED OF SDR-35 PIPE.

TRAFFIC CONTROL NOTES

- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS TO THE OWNER, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY.
- ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
- THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS IN CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFLICT WITH THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND PERMANENT SOIL STABILIZATION IS ACHIEVED.
- CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED (OR SODDED), IRRIGATED, AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING.
- CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY AREAS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
- CONSTRUCTION ENTRANCE:
  - MINIMUM SIZE STONE: 4-6 INCHES DIAMETER
  - THICKNESS: NOT LESS THAN 12-INCHES
  - LENGTH: 50-FEET MINIMUM

- WIDTH: NOT LESS THAN 20-FEET MINIMUM OF ALL POINTS OF INGRESS AND EGRESS.
- MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS.

- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF-SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q. OR THE GOVERNING CITY.

GRADING NOTES

- IF A GRADING PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND PAYING ALL ASSOCIATED FEES.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE EXISTING AND PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
- ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, OFFSITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
- ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE GEOTECHNICAL REPORT.
- GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUTES (PER A.D.A. & T.A.S.) EXIST TO AND FROM EVERY DOOR. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. AND T.A.S. COMPLIANCE ISSUES.

PLOTTED BY: JAT, KRUBARUBIDA  
PLOT DATE: 8/17/2023 9:17 AM  
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-2 CITY GENERAL NOTES.DWG  
LAST SAVED: 7/11/2022 9:40 AM

TEXAS REGISTRATION #14199



PRELIMINARY

FOR REVIEW ONLY  
Not for construction purposes.

CLAYMOORE ENGINEERING

ENGINEERING AND PLANNING CONSULTANTS

Engineer: DREW DONOSKY

P.E. No. 12565, Issue 8/17/2023

DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX

GENERAL NOTES

DESIGN: LRR

DRAWN: LRR

CHECKED: CLC

DATE: 8/17/2023

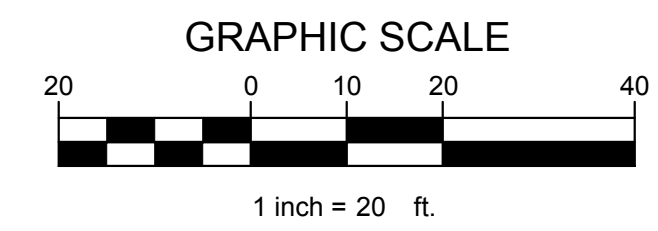
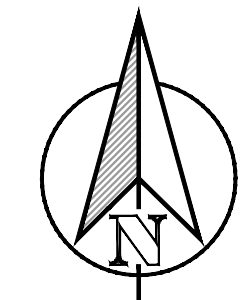
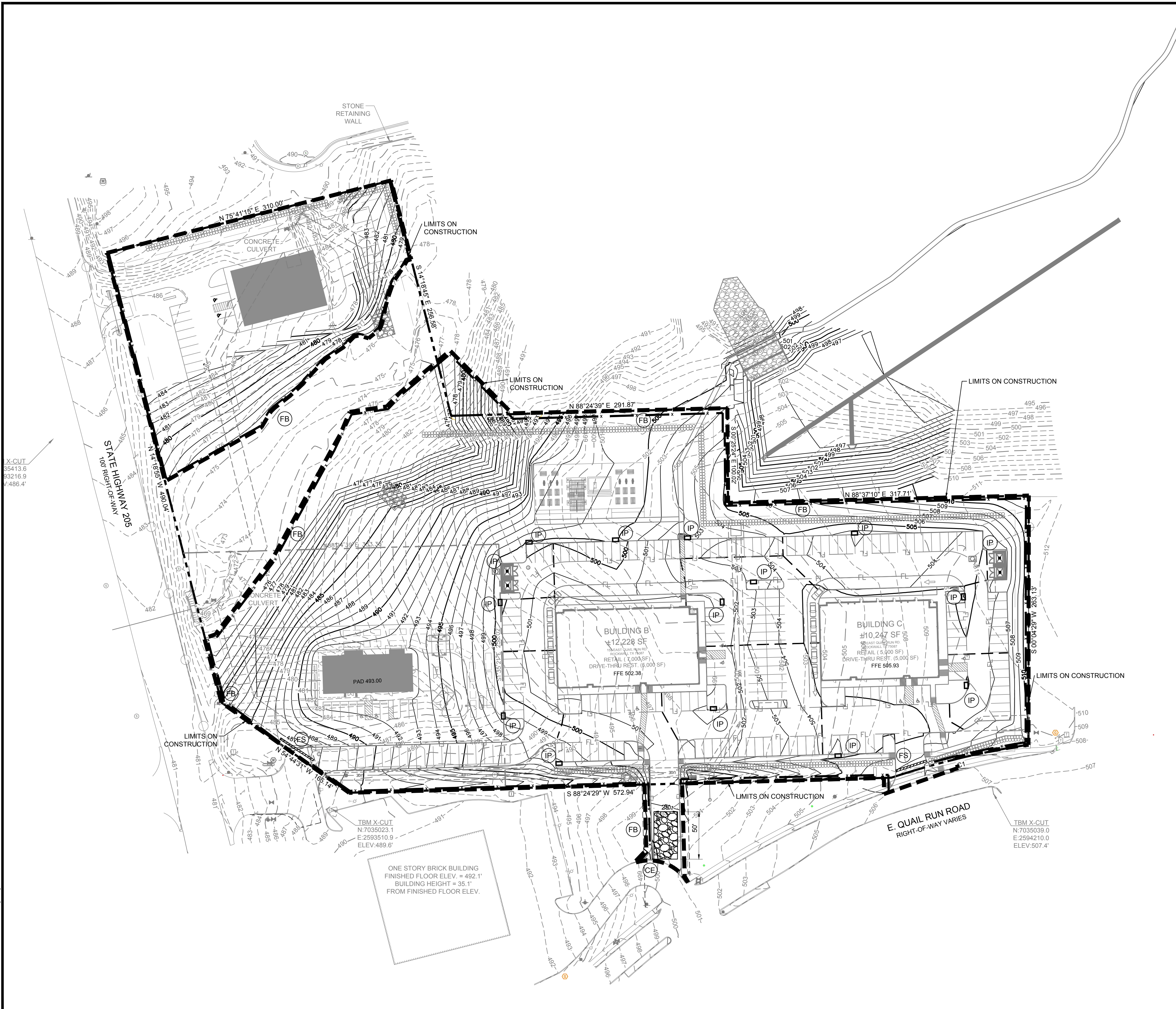
SHEET

C-3

File No. 2022-002



PLOTTED BY: JAT VRIJUBUDDA  
 PLOT DATE: 8/17/2023 11:17 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-4 EROSION CONTROL PLAN.DWG  
 LAST SAVED: 8/17/2023 9:40 AM



LEGEND	
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION
	FILTER BARRIER/SILT FENCE
	CONSTRUCTION ENTRANCE
	INLET PROTECTION
	FILTER SOCK

ACREAGE SUMMARY	
ONSITE DISTURBED AREA	7.83 AC
OFFSITE DISTURBED AREA	0.18 AC
TOTAL DISTURBED AREA	8.01 AC

- NOTES:**
- ANY DIRT, MUD, ROCKS, DEBRIS, ETC. THAT IS SPILLED, TRACKED, OR OTHERWISE DEPOSITED ON ANY EXISTING PAVED STREETS SHALL BE CLEANED UP IMMEDIATELY.
  - ALL DISTURBED AREAS SHALL BE REVEGETATED PER CITY OF ROUND ROCK STANDARDS PRIOR TO REMOVAL OF EROSION AND SEDIMENTATION CONTROL MEASURES.

TC  
PA  
(

TEXAS REGISTRATION #14199

**CLAY MOORE ENGINEERING**

1983 CENTRAL DR., SUITE #400  
 ROUND ROCK, TX 78681  
 PHONE: 817.261.0072  
 WWW.CLAYMOOREENR.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 DREW DONOSKY  
 Engineer  
 P.E. No. 12565, Date 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**EROSION CONTROL  
 PLAN**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023

SHEET  
**C-4**

File No. 2022-002

TBM #1 - ELEV: 507.40  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9'  
 WEST FROM THE SOUTHEAST PROPERTY CORNER  
 ALONG QUAIL RD.

TBM #2 - ELEV: 499.60  
 AN "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6'  
 WEST FROM THE SOUTHWEST PROPERTY CORNER  
 ALONG QUAIL RD.

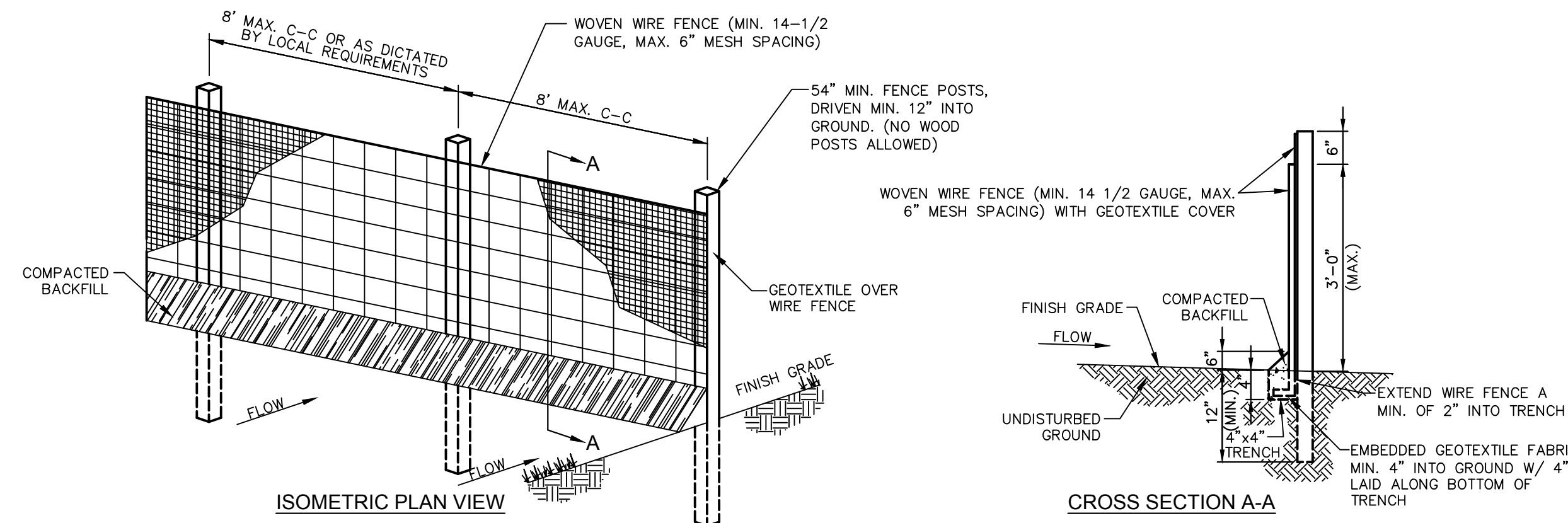
TBM #3 - ELEV: 486.4  
 AN "X" CUT SET APPROXIMATELY 176.7' SOUTH AND  
 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER  
 ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
 REMAINS WITH THE DESIGN ENGINEER. THE CITY OF  
 ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR  
 CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR  
 ADEQUACY OR ACCURACY OF DESIGN.



### STANDARD EROSION CONTROL GENERAL NOTES

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ROCKWALL.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
6. CONTRACTOR SHALL HAVE A COPY OF THE SWPPP ON SITE AT ALL TIMES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL T.C.E.Q. STORM WATER POLLUTION PREVENTION REQUIREMENTS.



- NOTE:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
  2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN.
  5. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  6. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE

SILT FENCE DETAIL (SF)  
N.T.S.

- POSTS: STEEL EITHER T OR U TYPE.  
FENCE: WOVEN WIRE, 14-1/2 GA.  
6" MAX. MESH OPENING
- FABRIC: 1. AMOCO 1198  
2. BELTECH 810  
3. MIRAFI 130X  
4. LING GF 190  
5. SI 915 SC

### EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:

#### PHASE 1 - DEMOLITION/GRADING

- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON GRADING AND EROSION CONTROL PLAN, NOTES, AND DETAIL SHEETS.
- B. BEGIN CLEARING AND GRADING OF SITE.
- C. SEED AND REVEGETATE SLOPES WHERE SHOWN.

#### PHASE 2 - UTILITIES

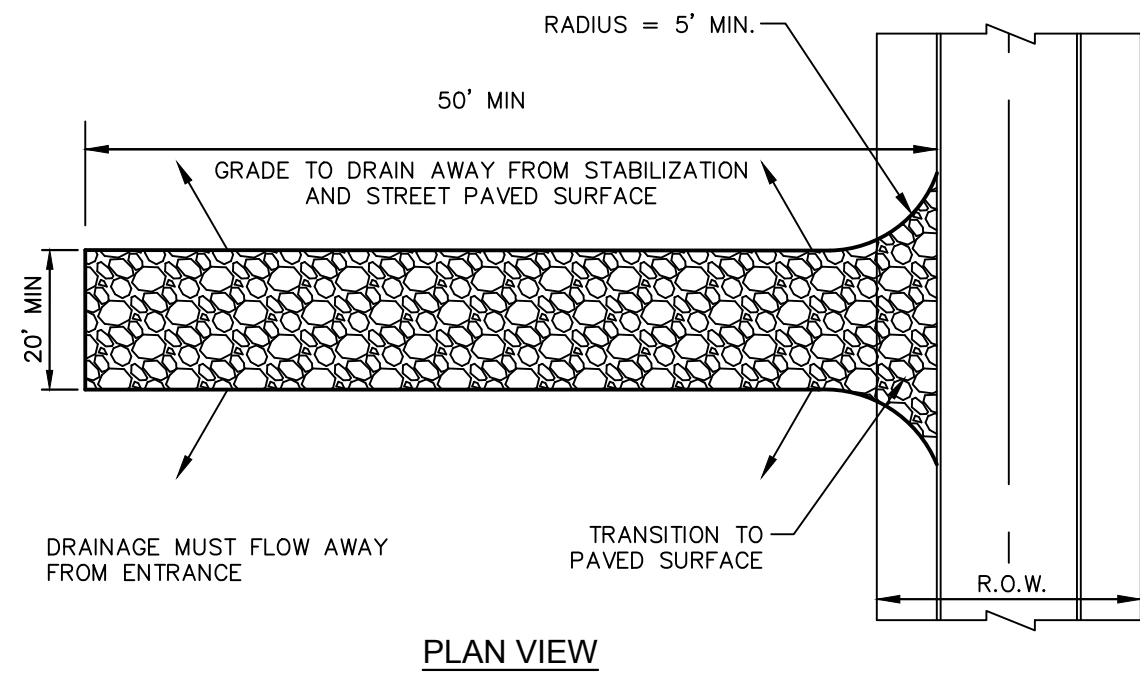
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- B. INSTALL STORM DRAINS AS SPECIFIED ON PLAN SHEETS.
- C. INSTALL INLET PROTECTION.

#### PHASE 3 - PAVING

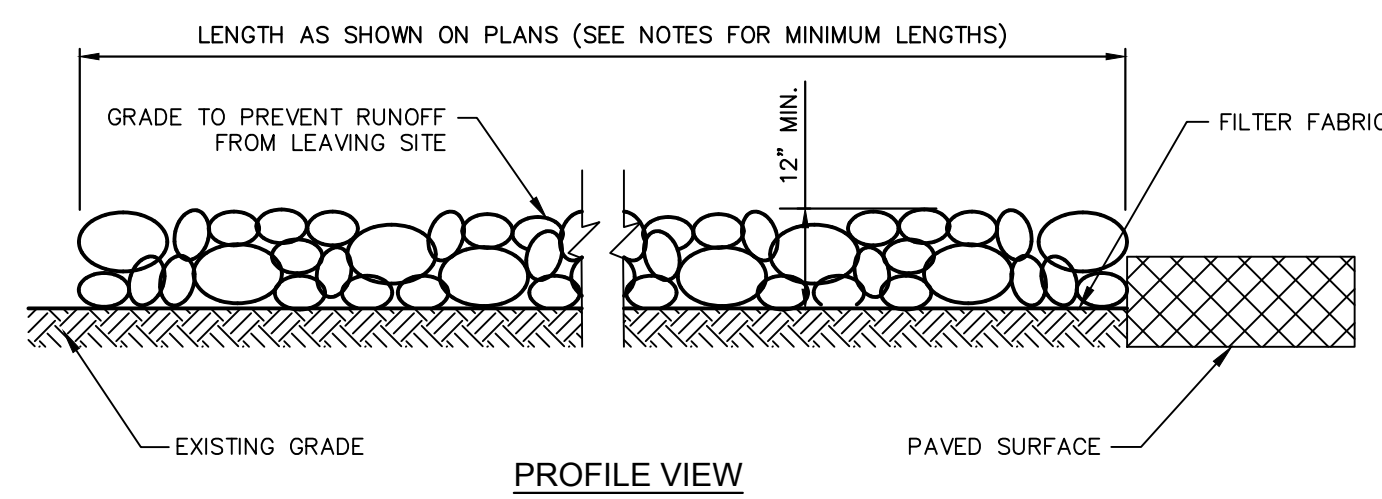
- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
- B. STABILIZE SUBGRADE.
- C. PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- D. REMOVE TEMPORARY CONSTRUCTION ENTRANCE.
- E. MAINTAIN INLET PROTECTION.

#### PHASE 4 - LANDSCAPING AND SOIL STABILIZATION

- A. REVEGETATE LOT AND PARKWAYS
- B. LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
- C. REMOVE EROSION CONTROL DEVICES WHEN GROUND COVER ESTABLISHED.



- NOTES:
1. STONE SHALL BE 4 TO 6 INCH DIAMETER CRUSHED ROCK, NO CRUSHED PORTLAND CEMENT CONCRETE ALLOWED.
  2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
  3. STONE LAYER THICKNESS SHALL NOT BE LESS THAN 12"
  4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, INCHES.
  5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
  6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
  7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



STABILIZED CONSTRUCTION ENTRANCE DETAIL (CE)  
N.T.S.

### B.M.P. MAINTENANCE SCHEDULE

#### TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT:

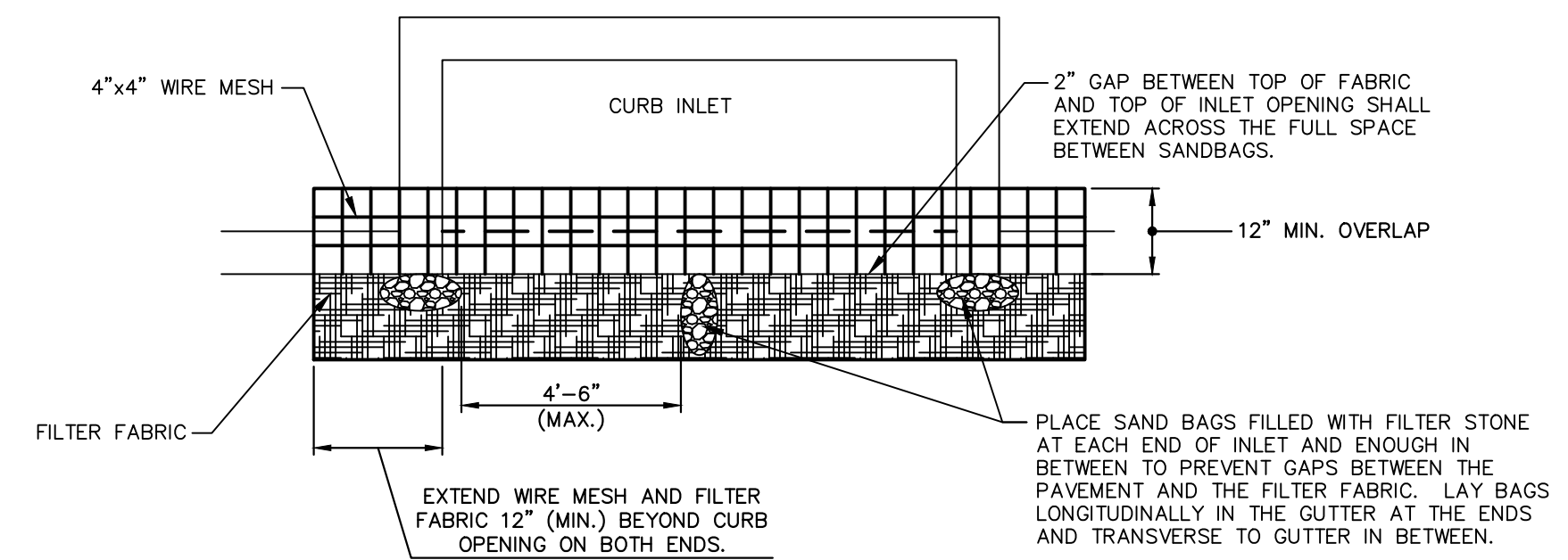
INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASH DOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.

#### SILT FENCE:

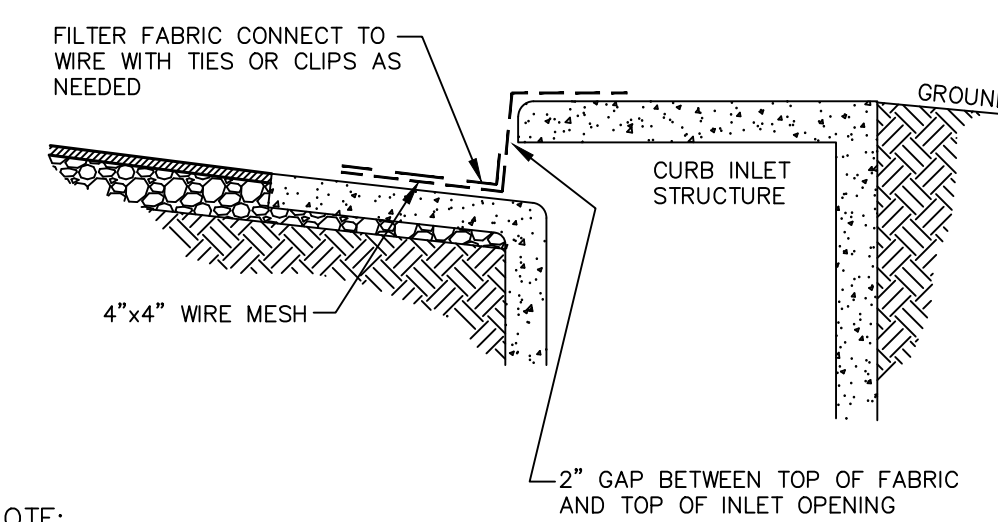
INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.

#### INLET PROTECTION:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE DESIGN DEPTH. IF DE-WATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE SURROUNDING THE INLET. CLEAN THE STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.



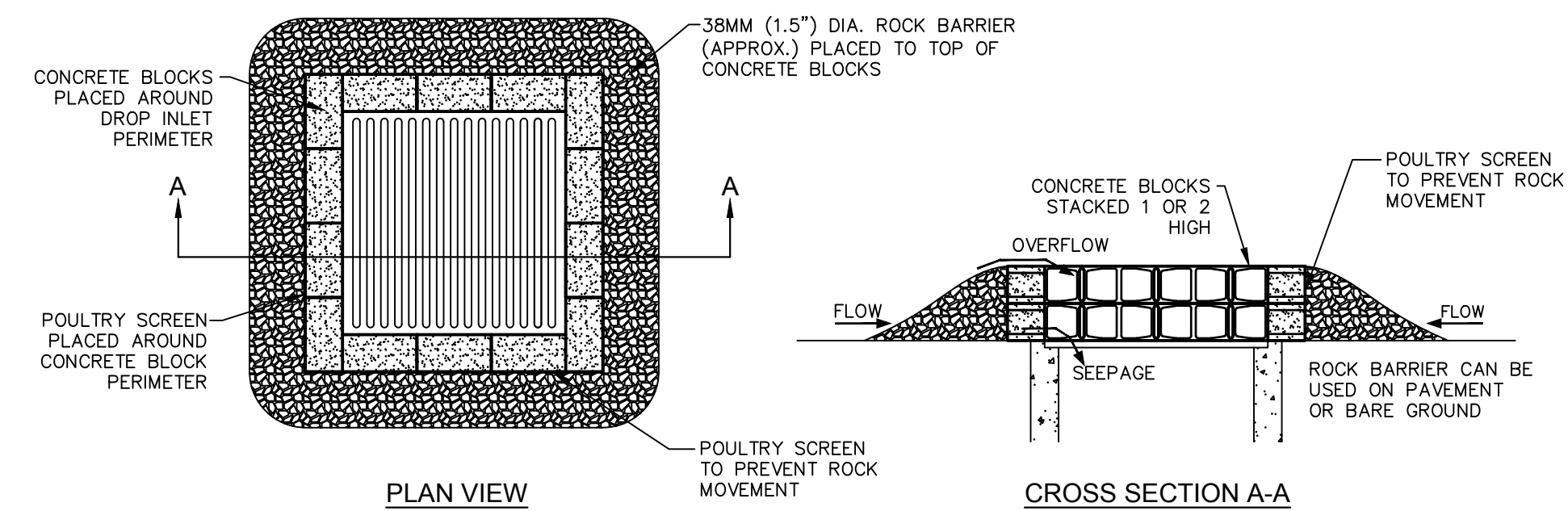
PLAN VIEW



CROSS SECTION

NOTE:  
VERTICAL PANEL BARRICADES TO BE PLACED WHEN LOCATED ON AN ACTIVE STREET.

CURB INLET PROTECTION DETAIL (IP)  
N.T.S.



PLAN VIEW

CROSS SECTION A-A

GRATE INLET PROTECTION DETAIL (IP)  
N.T.S.

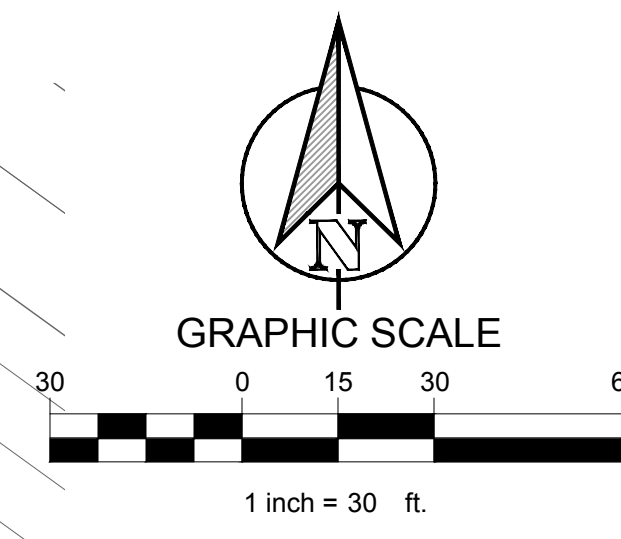
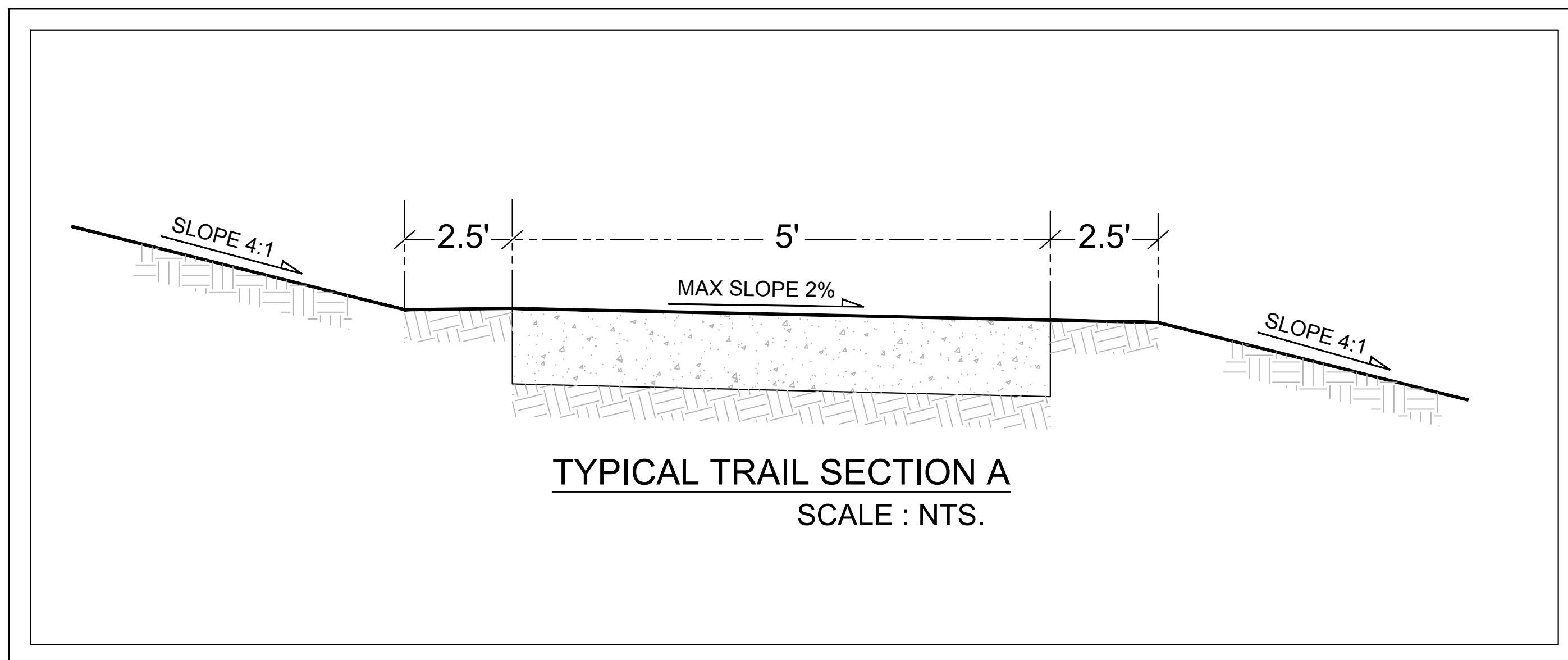
PLOTTED BY: JAT, KRUMHOLDA  
 PLOT DATE: 8/17/2023 10:17 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-5 EROSION CONTROL DETAILS.DWG  
 LAST SAVED: 8/16/2023 4:41 PM







PLOTTED BY: JAT, KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:18 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-7 DIMENSIONAL CONTROL AND PAVING PLAN (2 OF 2).DWG  
 LAST SAVED: 8/17/2023 9:31 AM



TEXAS REGISTRATION #14199

**CLAYMOORE ENGINEERING**

1983 CENTRAL DR., SUITE #400  
ROCKWALL, TX 75087  
PHONE: 972.961.0077  
WWW.CLAYMOOREENR.COM

**PRELIMINARY**

FOR REVIEW ONLY  
Not for construction purposes.

**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING  
CONSULTANTS  
Engineer: DREW DONOSKY  
P.E. No. 12565, Date: 8/17/2023

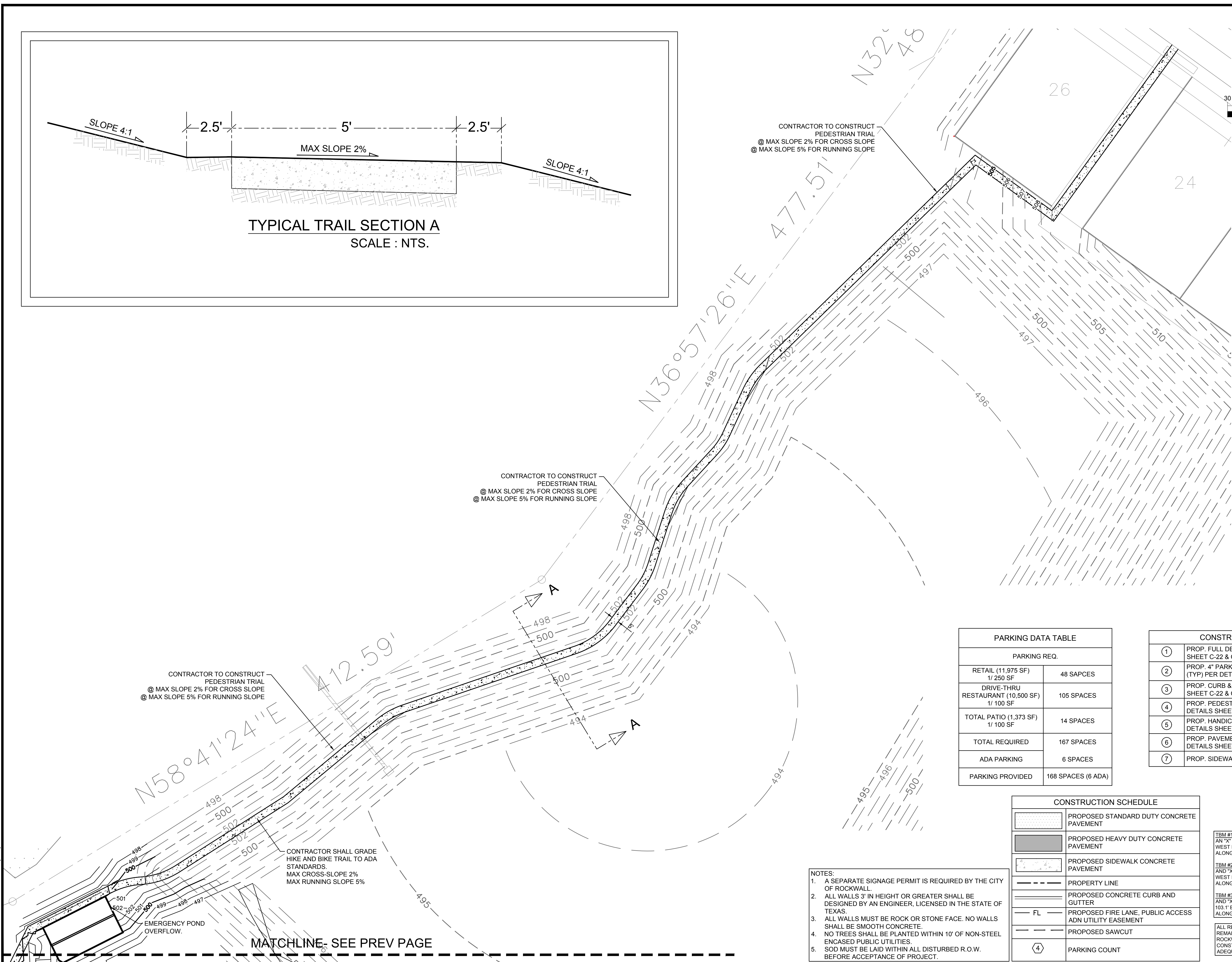
**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**DIMENSIONAL CONTROL AND  
PAVING PLAN (2 OF 2)**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 8/17/2023

SHEET  
**C-7**

File No. 2022-002



PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT PER DETAILS SHEET C-22 & C-24
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP) PER DETAILS SHEET C-22
③	PROP. CURB & GUTTER PER DETAILS SHEET C-22 & C-24
④	PROP. PEDESTRIAN RAMP PER DETAILS SHEET C-22
⑤	PROP. HANDICAP SYMBOL PER DETAILS SHEET C-22
⑥	PROP. PAVEMENT STRIPING PER DETAILS SHEET C-22
⑦	PROP. SIDEWALK PER DETAILS SHEET C-22

CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	FL PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	④ PARKING COUNT

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

TBM #1 - ELEV: 507.40  
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

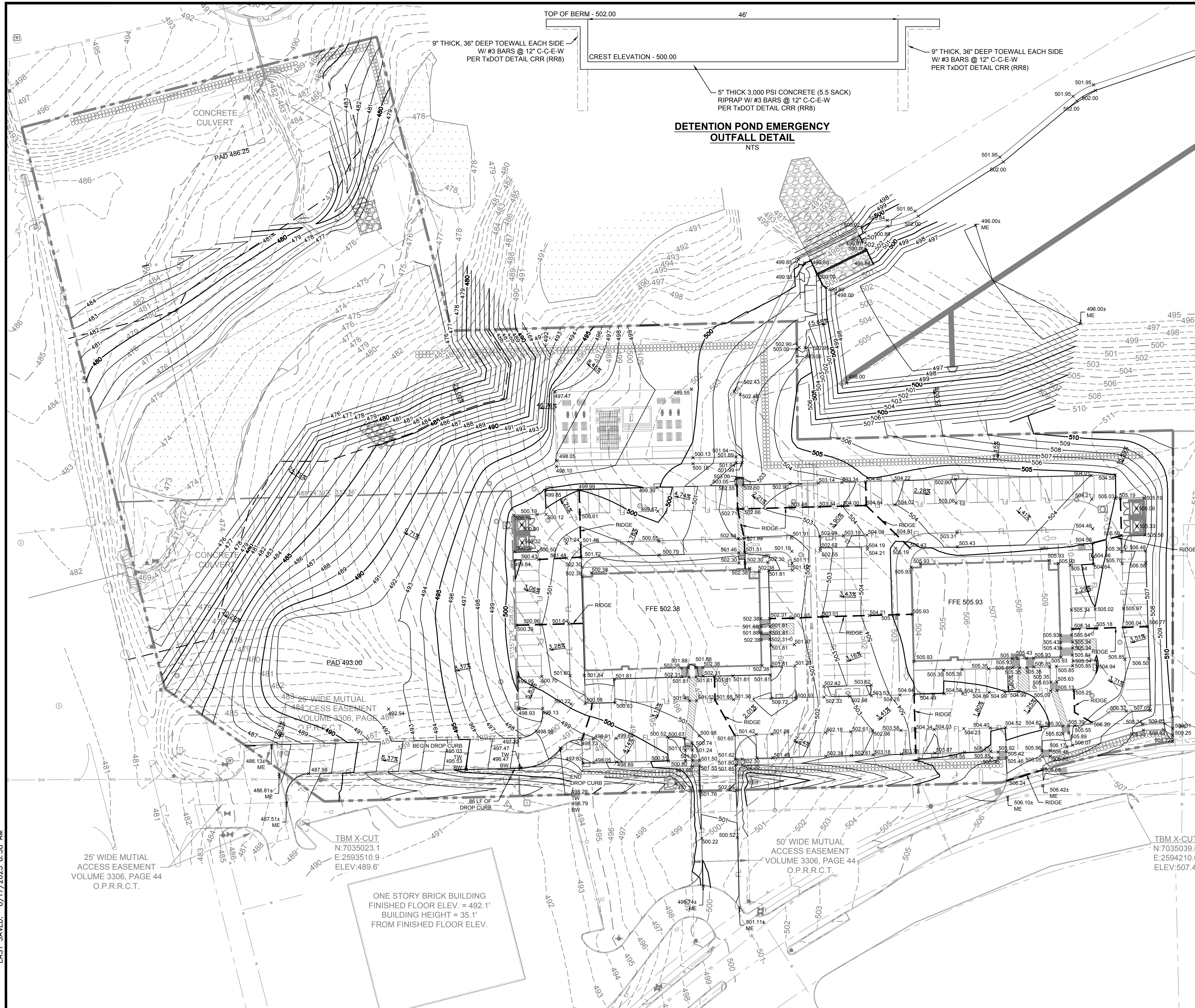
TBM #2 - ELEV: 489.60  
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4  
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 100.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



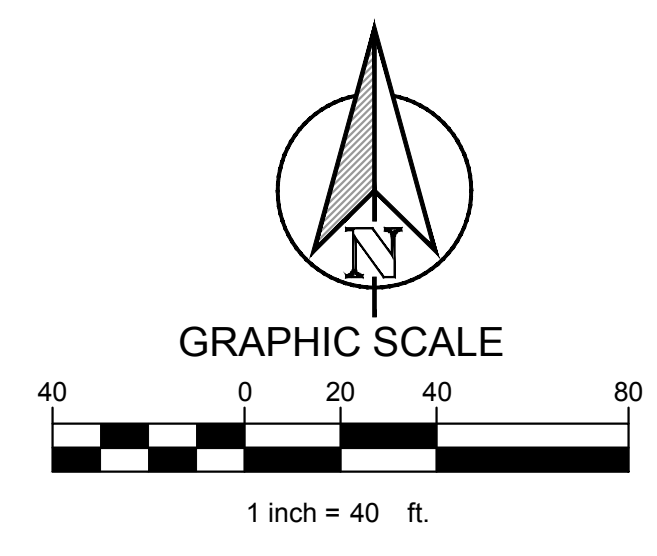
PLOTTED BY: JAT KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:18 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL CADD\SHEETS\C-8 GRADING PLAN.DWG  
 LAST SAVED: 8/17/2023 8:58 AM



**LEGEND**

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
x699.50	PROPOSED GRADE (TOP OF PAVEMENT)
ME	MATCH EXISTING
TR	TOP OF RAMP
BC	BACK OF CURB
⊗	DEPICTION OF 3-TIER SCREENING
TW	TOP OF WALL
BW	BOTTOM OF WALL

- NOTES:**
- ALL SPOT ELEVATIONS ARE TO TOP OF PAVING UNLESS OTHERWISE NOTED.
  - EXISTING UTILITIES WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER FOR ANY DISCREPANCIES WITH THIS PLAN.
  - MAXIMUM SLOPE IN LANDSCAPE AREAS ARE NOT TO EXCEED 4:1. MIN EARTH GRADE IS 1%. MIN PAVING GRADE IS 0.5%.
  - ALL CURB HEIGHTS ARE 6-INCHES UNLESS NOTED OTHERWISE.
  - REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
  - REF. STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD PREPARATION CRITERIA.
  - THE CONTRACTOR SHALL CONSTRUCT ALL BARRIER FREE RAMPS PER CITY OF ROCKWALL AND ADA STANDARDS.
  - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
  - GRADING OF ALL HANDICAPPED SPACES AND ROUTES IS TO CONFORM TO LOCAL, STATE, AND FEDERAL GUIDELINES. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
  - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM EXISTING & PROPOSED BUILDINGS.



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**GRADING PLAN**

**TBM #1 - ELEV: 507.40**  
 AND "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

**TBM #2 - ELEV: 489.60**  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

**TBM #3 - ELEV: 488.4**  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

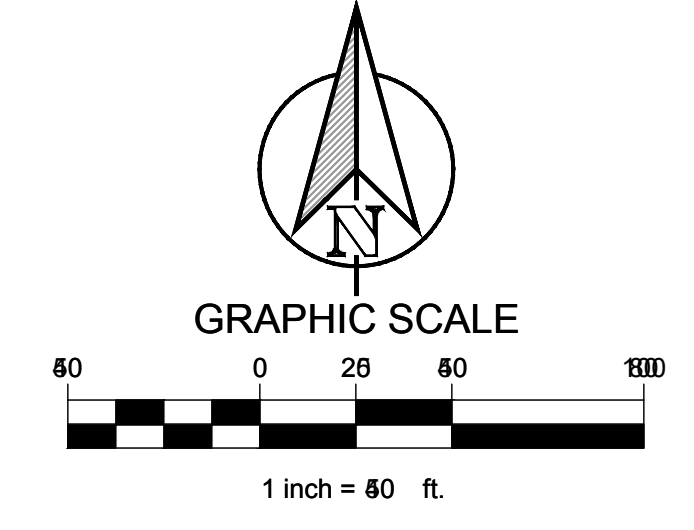
SHEET  
**C-8**

File No. 2022-002



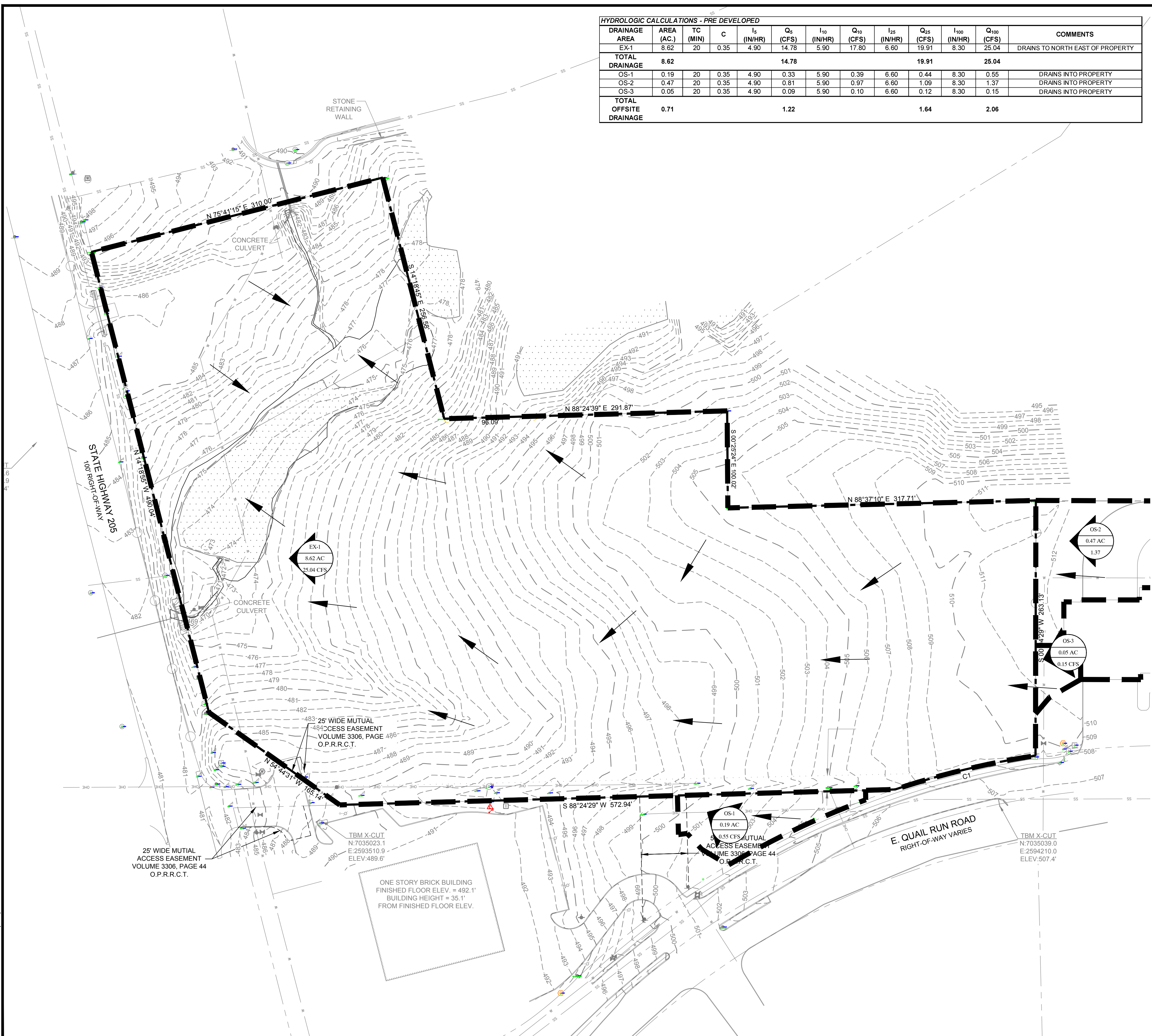
PLOTTED BY: JAT, KRUIARUDDA  
 PLOT DATE: 8/17/2023 11:18 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-9 EXISTING DRAINAGE AREA MAP.DWG  
 LAST SAVED: 8/16/2023 4:57 PM

HYDROLOGIC CALCULATIONS - PRE DEVELOPED												
DRAINAGE AREA	AREA (AC.)	TC (MIN)	C	I <sub>s</sub> (IN/HR)	Q <sub>c</sub> (CFS)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	I <sub>25</sub> (IN/HR)	Q <sub>25</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	COMMENTS
EX-1	8.62	20	0.35	4.90	14.78	5.90	17.80	6.60	19.91	8.30	25.04	DRAINS TO NORTH EAST OF PROPERTY
<b>TOTAL DRAINAGE</b>	<b>8.62</b>				<b>14.78</b>				<b>19.91</b>		<b>25.04</b>	
OS-1	0.19	20	0.35	4.90	0.33	5.90	0.39	6.60	0.44	8.30	0.55	DRAINS INTO PROPERTY
OS-2	0.47	20	0.35	4.90	0.81	5.90	0.97	6.60	1.09	8.30	1.37	DRAINS INTO PROPERTY
OS-3	0.05	20	0.35	4.90	0.09	5.90	0.10	6.60	0.12	8.30	0.15	DRAINS INTO PROPERTY
<b>TOTAL OFFSITE DRAINAGE</b>	<b>0.71</b>				<b>1.22</b>				<b>1.64</b>		<b>2.06</b>	



LEGEND	
	- DRAINAGE AREA - DRAINAGE AREA IN ACRES - 100 YR FLOW FOR DRAINAGE AREA
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

**FLOODPLAIN NOTE**  
 ACCORDING TO MAP NO. 48397C0030L, DATED SEPTEMBER 26, 2006 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "A" AND ZONE "X" WHICH IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.



TEXAS REGISTRATION #14199  
  
 1983 CENTRAL DR., SUITE #400  
 ROCKWALL, TX 75087  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 ENGINEER: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**EXISTING DRAINAGE  
 AREA MAP**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023

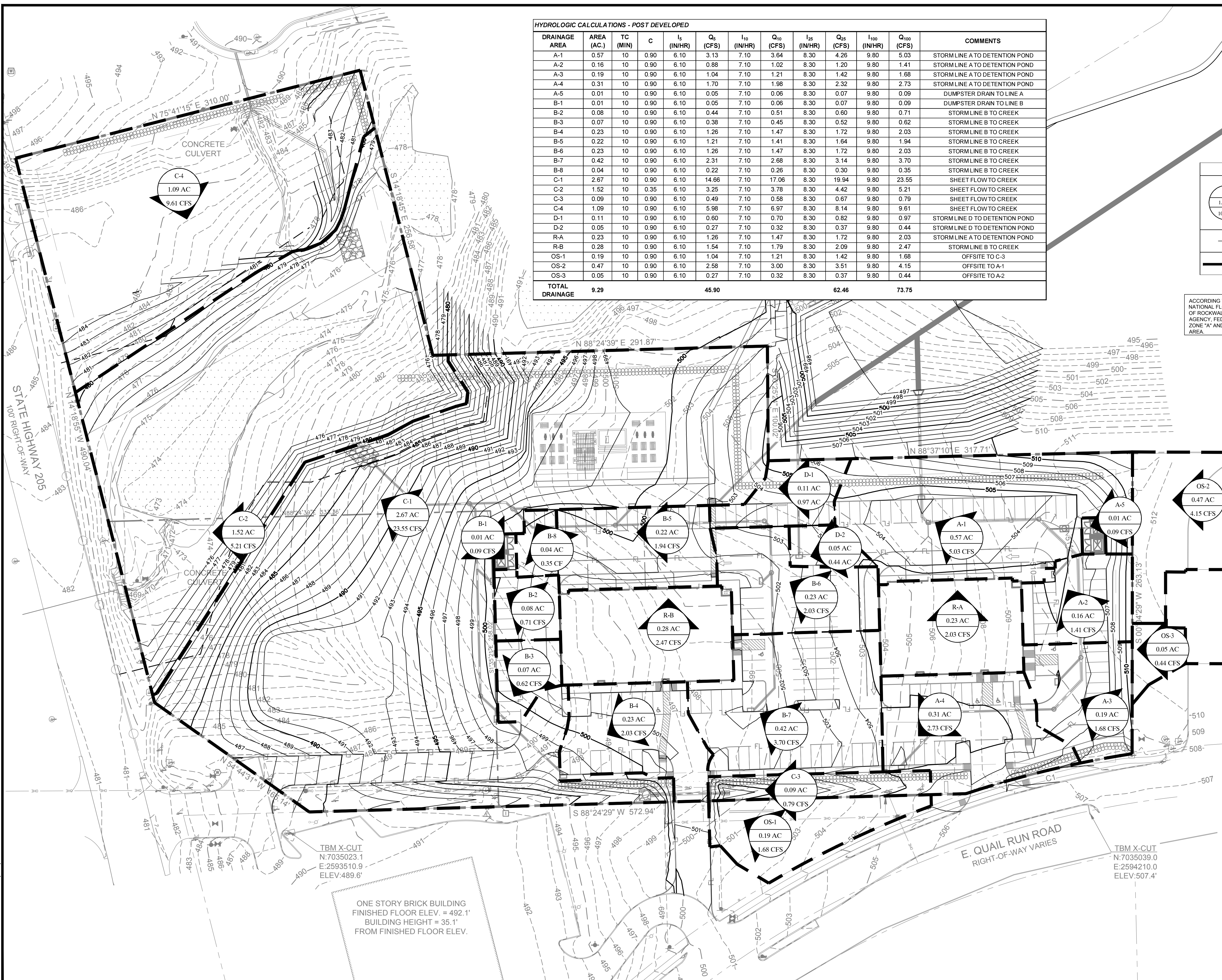
SHEET  
**C-9**

File No. 2022-002

TBM #1 - ELEV: 507.40  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9'  
 WEST FROM THE SOUTHEAST PROPERTY CORNER  
 ALONG QUAIL RD.  
 TBM #2 - ELEV: 489.60  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6'  
 WEST FROM THE SOUTHWEST PROPERTY CORNER  
 ALONG QUAIL RD.  
 TBM #3 - ELEV: 488.4  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND  
 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER  
 ALONG QUAIL RD.  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
 REMAINS WITH THE DESIGN ENGINEER. THE CITY OF  
 ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR  
 CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR  
 ADEQUACY OR ACCURACY OF DESIGN.

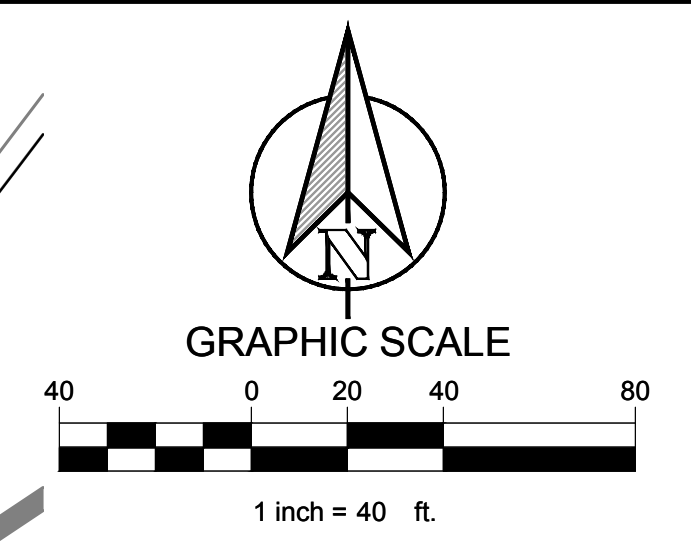


PLOTTED BY: JAT, KRUMHOLDA  
 PLOT DATE: 8/17/2023 8:38 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-10 PROPOSED DRAINAGE AREA MAP.DWG  
 LAST SAVED: 8/16/2023 4:50 PM



**HYDROLOGIC CALCULATIONS - POST DEVELOPED**

DRAINAGE AREA	AREA (AC.)	TC (MIN)	C	I <sub>s</sub> (IN/HR)	Q <sub>s</sub> (CFS)	I <sub>10</sub> (IN/HR)	Q <sub>10</sub> (CFS)	I <sub>25</sub> (IN/HR)	Q <sub>25</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	COMMENTS
A-1	0.57	10	0.90	6.10	3.13	7.10	3.64	8.30	4.26	9.80	5.03	STORMLINE A TO DETENTION POND
A-2	0.16	10	0.90	6.10	0.88	7.10	1.02	8.30	1.20	9.80	1.41	STORMLINE A TO DETENTION POND
A-3	0.19	10	0.90	6.10	1.04	7.10	1.21	8.30	1.42	9.80	1.68	STORMLINE A TO DETENTION POND
A-4	0.31	10	0.90	6.10	1.70	7.10	1.98	8.30	2.32	9.80	2.73	STORMLINE A TO DETENTION POND
A-5	0.01	10	0.90	6.10	0.05	7.10	0.06	8.30	0.07	9.80	0.09	DUMPSTER DRAIN TO LINE A
B-1	0.01	10	0.90	6.10	0.05	7.10	0.06	8.30	0.07	9.80	0.09	DUMPSTER DRAIN TO LINE B
B-2	0.08	10	0.90	6.10	0.44	7.10	0.51	8.30	0.60	9.80	0.71	STORMLINE B TO CREEK
B-3	0.07	10	0.90	6.10	0.38	7.10	0.45	8.30	0.52	9.80	0.62	STORMLINE B TO CREEK
B-4	0.23	10	0.90	6.10	1.26	7.10	1.47	8.30	1.72	9.80	2.03	STORMLINE B TO CREEK
B-5	0.22	10	0.90	6.10	1.21	7.10	1.41	8.30	1.64	9.80	1.94	STORMLINE B TO CREEK
B-6	0.23	10	0.90	6.10	1.26	7.10	1.47	8.30	1.72	9.80	2.03	STORMLINE B TO CREEK
B-7	0.42	10	0.90	6.10	2.31	7.10	2.68	8.30	3.14	9.80	3.70	STORMLINE B TO CREEK
B-8	0.04	10	0.90	6.10	0.22	7.10	0.26	8.30	0.30	9.80	0.35	STORMLINE B TO CREEK
C-1	2.67	10	0.90	6.10	14.66	7.10	17.06	8.30	19.94	9.80	23.55	SHEET FLOW TO CREEK
C-2	1.52	10	0.35	6.10	3.25	7.10	3.78	8.30	4.42	9.80	5.21	SHEET FLOW TO CREEK
C-3	0.09	10	0.90	6.10	0.49	7.10	0.58	8.30	0.67	9.80	0.79	SHEET FLOW TO CREEK
C-4	1.09	10	0.90	6.10	5.98	7.10	6.97	8.30	8.14	9.80	9.61	SHEET FLOW TO CREEK
D-1	0.11	10	0.90	6.10	0.60	7.10	0.70	8.30	0.82	9.80	0.97	STORMLINE D TO DETENTION POND
D-2	0.05	10	0.90	6.10	0.27	7.10	0.32	8.30	0.37	9.80	0.44	STORMLINE D TO DETENTION POND
R-A	0.23	10	0.90	6.10	1.26	7.10	1.47	8.30	1.72	9.80	2.03	STORMLINE A TO DETENTION POND
R-B	0.28	10	0.90	6.10	1.54	7.10	1.79	8.30	2.09	9.80	2.47	STORMLINE B TO CREEK
OS-1	0.19	10	0.90	6.10	1.04	7.10	1.21	8.30	1.42	9.80	1.68	OFFSITE TO C-3
OS-2	0.47	10	0.90	6.10	2.58	7.10	3.00	8.30	3.51	9.80	4.15	OFFSITE TO A-1
OS-3	0.05	10	0.90	6.10	0.27	7.10	0.32	8.30	0.37	9.80	0.44	OFFSITE TO A-2
<b>TOTAL DRAINAGE</b>	<b>9.29</b>				<b>45.90</b>				<b>62.46</b>		<b>73.75</b>	



**LEGEND**

	- DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- 100 YR FLOW FOR DRAINAGE AREA
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

**FLOODPLAIN NOTE**

ACCORDING TO MAP NO. 48397C0030L DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF ROCKWALL COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "A" AND ZONE "X" WHICH IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

TEXAS REGISTRATION #14199

**CLAY MOORE ENGINEERING**

1903 CENTRAL EXP. SUITE 800  
 ROCKWALL, TX 75087  
 PHONE: 972.961.0022  
 WWW.CLAYMOORE.COM

**PRELIMINARY**

FOR REVIEW ONLY  
 Not for construction purposes.

**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 ENGINEER: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**PROPOSED  
 DRAINAGE AREA  
 MAP**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**C-10**

File No. 2022-002

TBM X-CUT  
 N:7035023.1  
 E:2593510.9  
 ELEV:489.6'

ONE STORY BRICK BUILDING  
 FINISHED FLOOR ELEV. = 492.1'  
 BUILDING HEIGHT = 35.1'  
 FROM FINISHED FLOOR ELEV.

TBM X-CUT  
 N:7035039.0  
 E:2594210.0  
 ELEV:507.4'

TBM #1 - ELEV: 507.40  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60  
 AN "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 488.4  
 AN "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



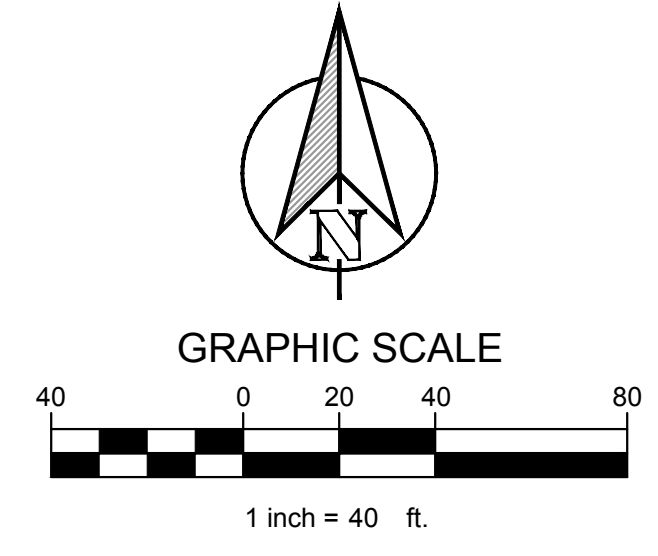
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

TBM #1 - ELEV. 507.40  
AND "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV. 489.60  
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV. 486.4  
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

LEGEND	
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	PROPOSED CURB INLET
	PROPOSED GRATE INLET
	PROPOSED HEADWALL
	PROPOSED RIP RAP
	12" ROOF DRAIN (TYP.)



TEXAS REGISTRATION #14199  
**CLAY MOORE ENGINEERING**  
 1903 CENTRAL DR., SUITE #400  
 ROCKWALL, TX 75087  
 PHONE: 972.967.0077  
 WWW.CLAYMOORE.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 DREW DONOSKY  
 Engineer  
 P.E. No. 12565, Date: 8/17/2023

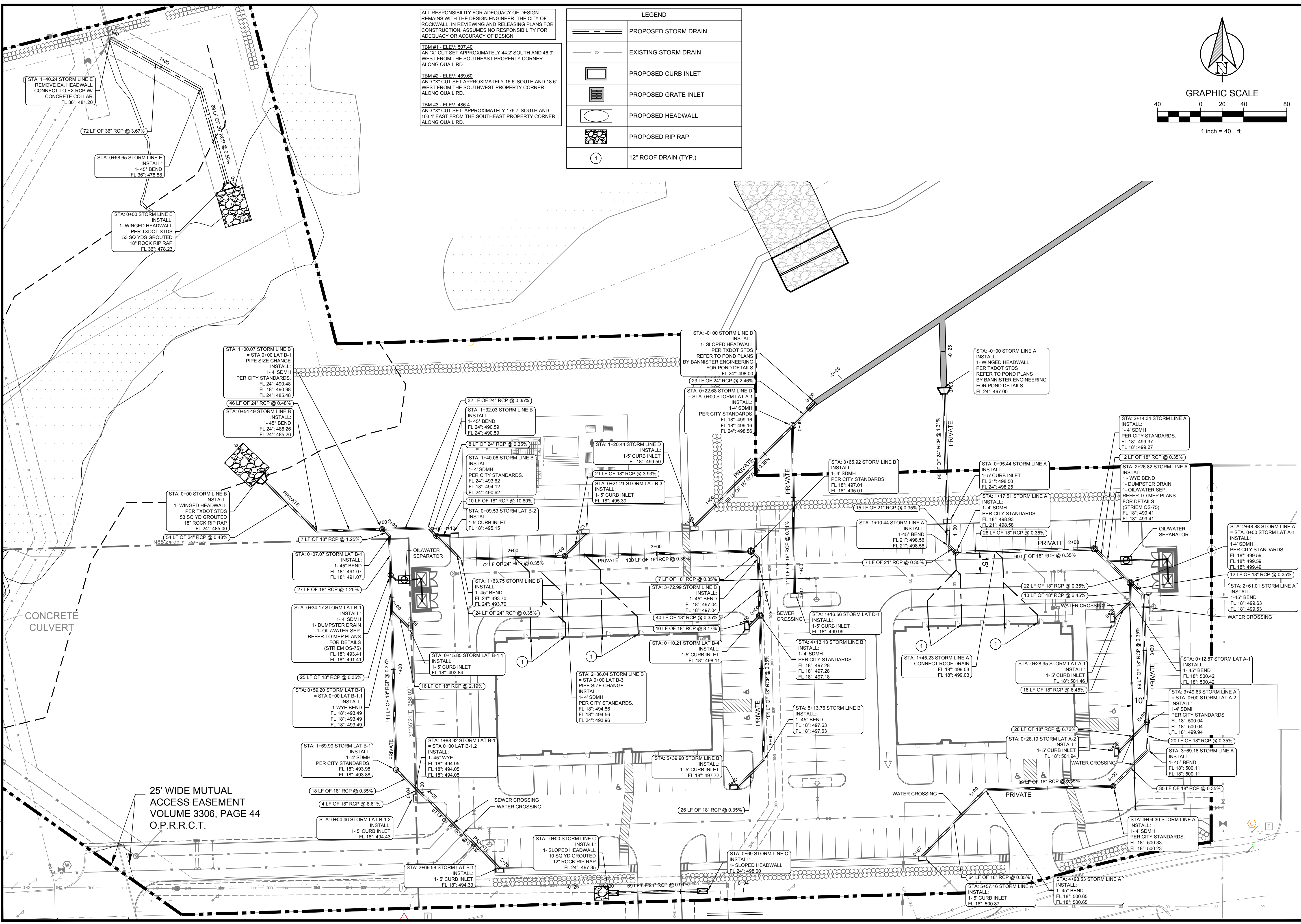
**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**STORM DRAIN PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023  
 SHEET  
**C-12**  
 File No. 2022-002

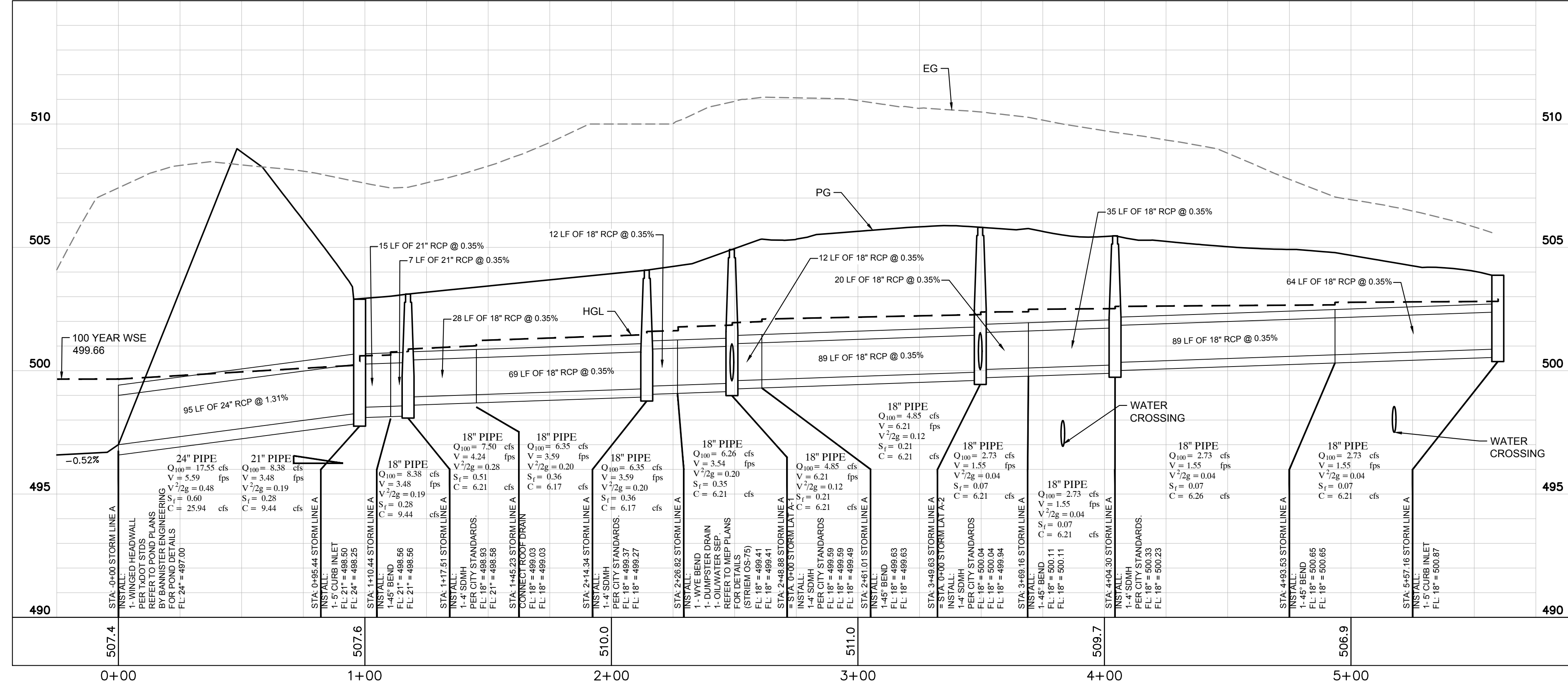
PLOTTED BY: LAT KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:19 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-12 STORM DRAIN PLAN.DWG  
 LAST SAVED: 8/16/2023 4:57 PM

25' WIDE MUTUAL  
 ACCESS EASEMENT  
 VOLUME 3306, PAGE 44  
 O.P.R.R.C.T.

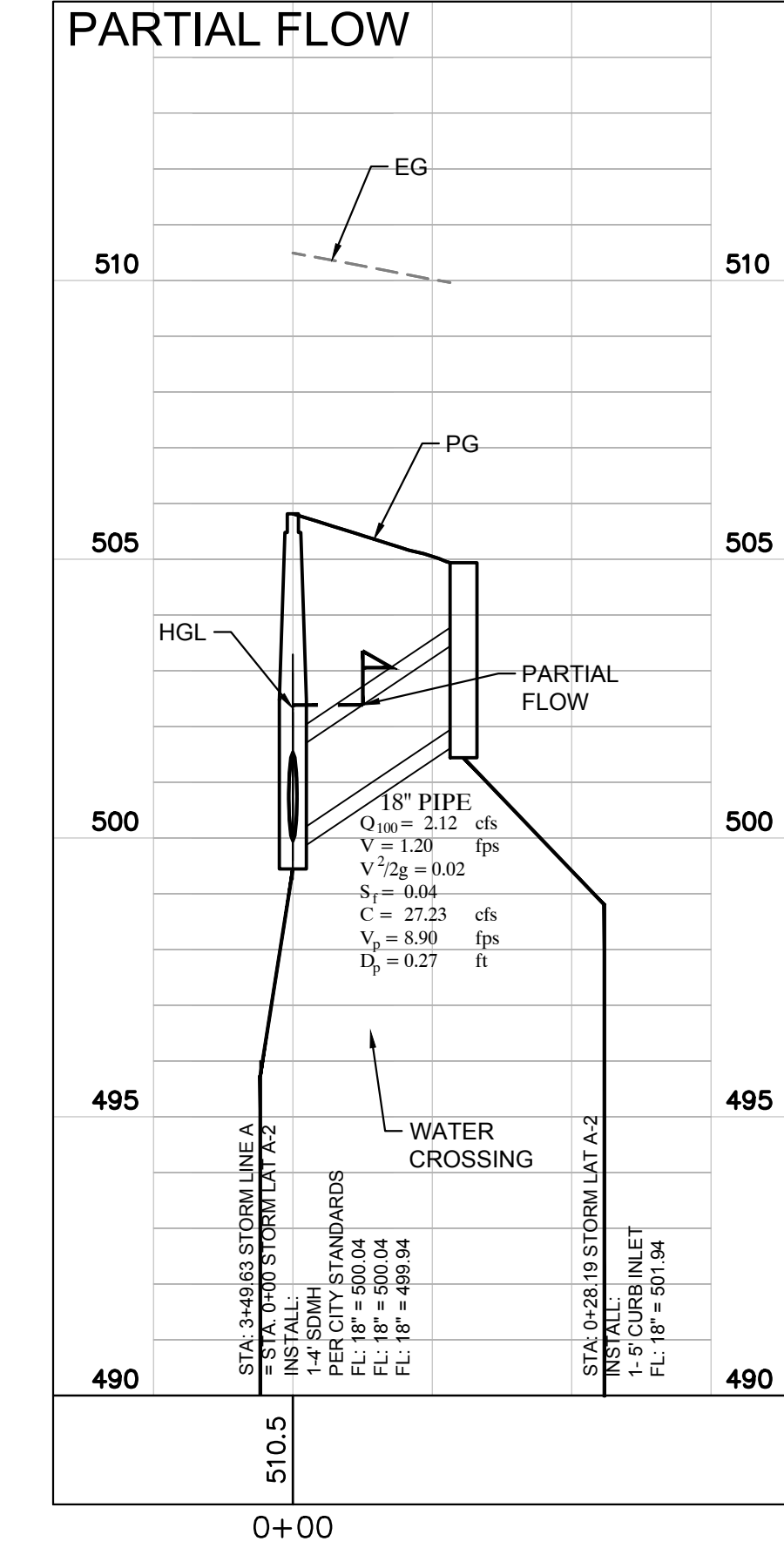




**STORM LINE A H: 1"=30' | V:1"=3'**

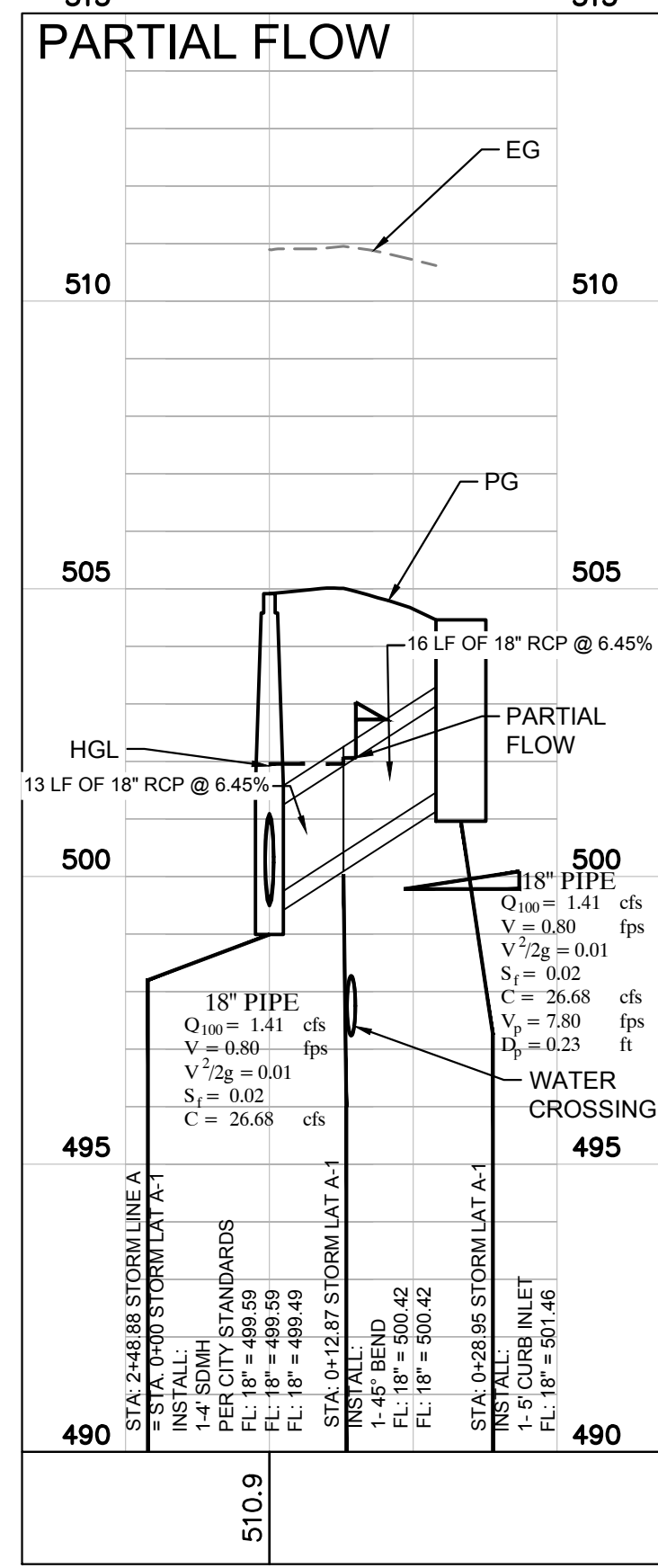


**STORM LAT A-2**



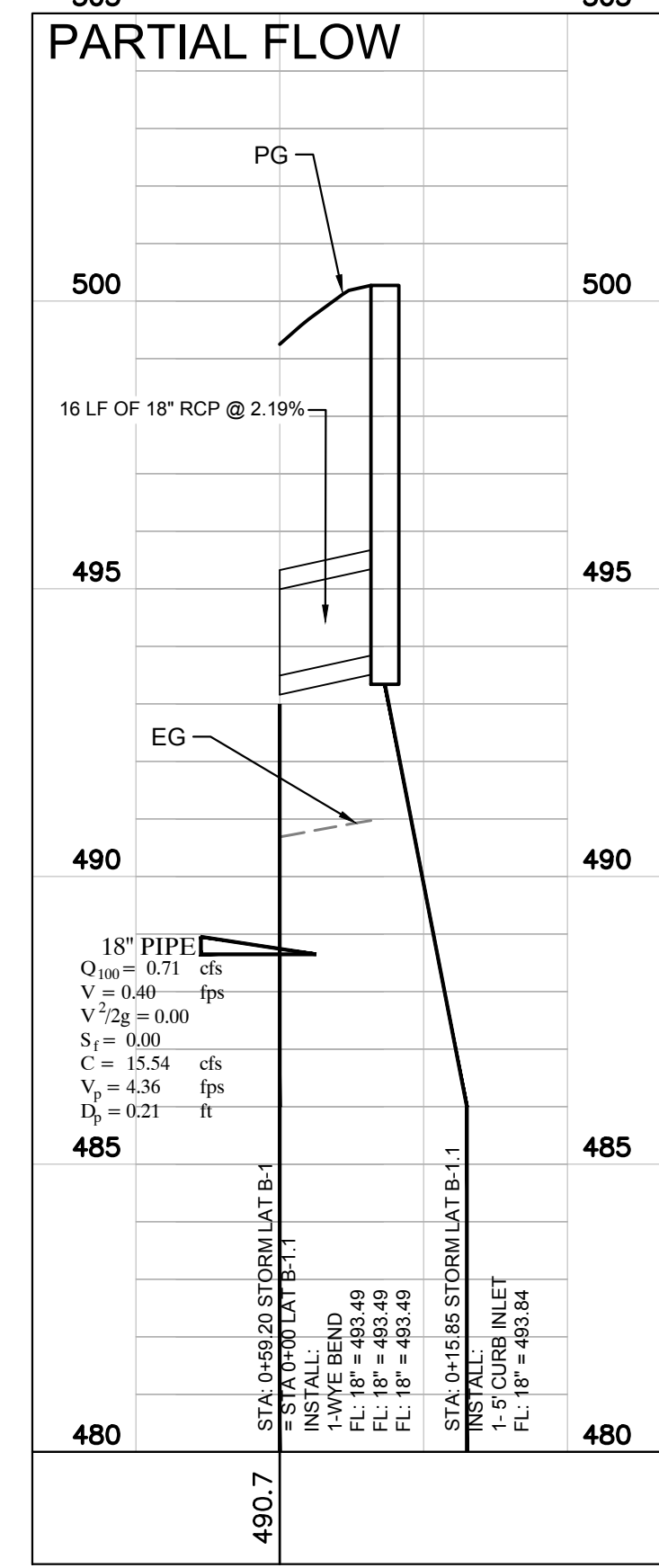
H: 1"=30' | V:1"=3'

**STORM LAT A-1**



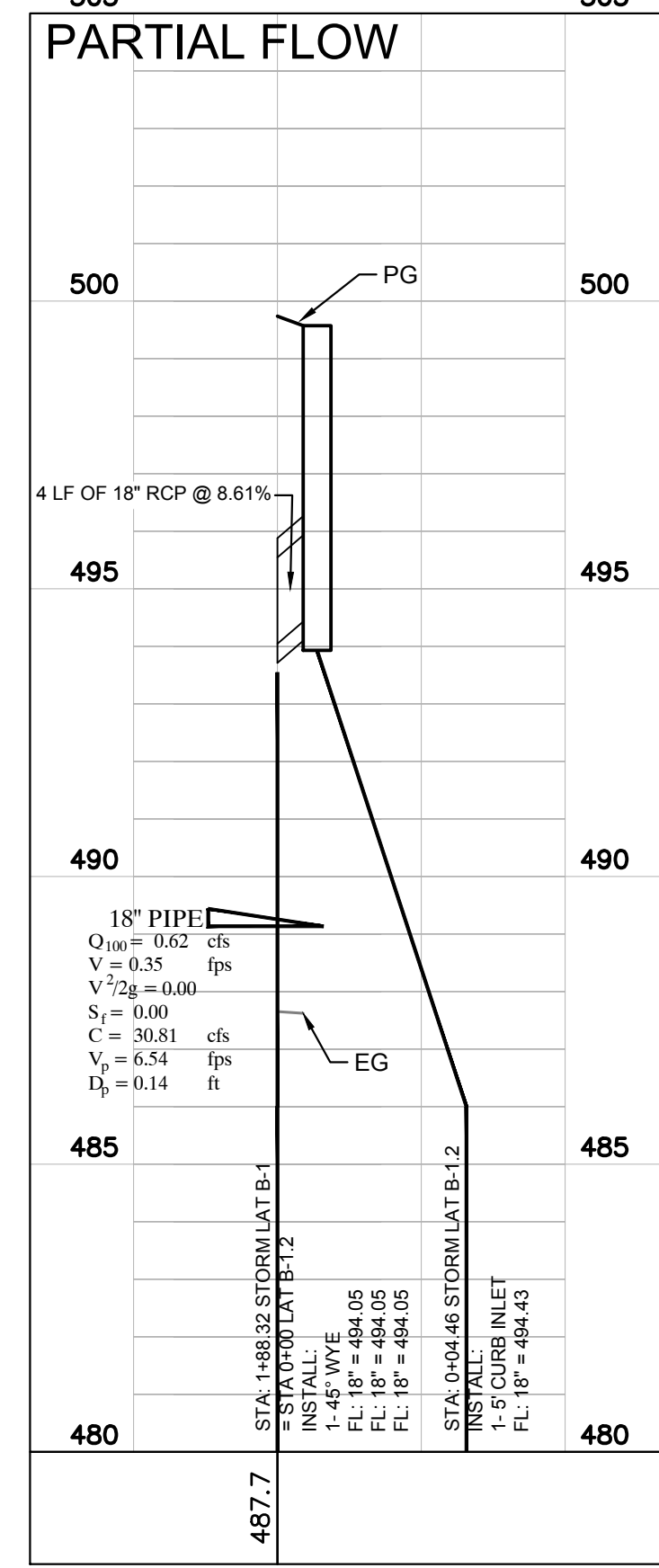
H: 1"=30' | V:1"=3'

**STORM LAT B-1.1**



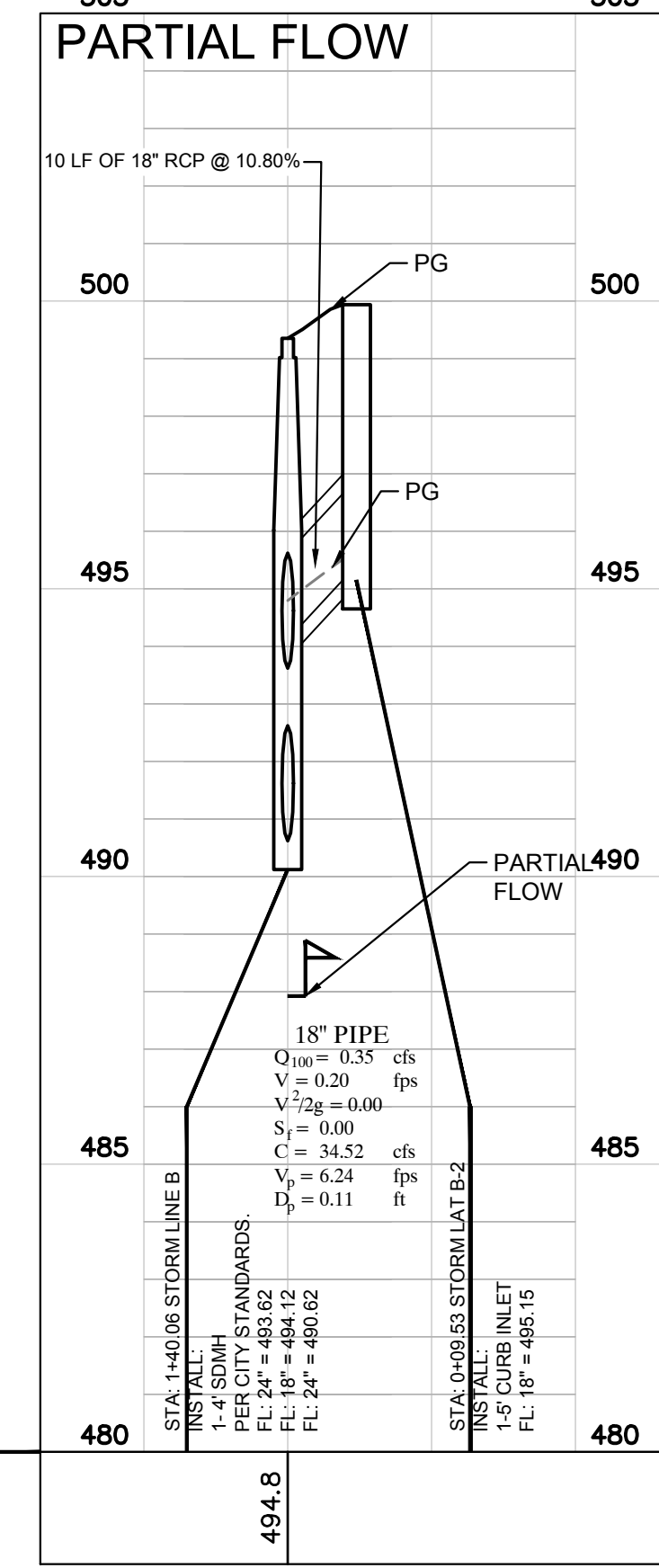
H: 1"=30' | V:1"=3'

**STORM LAT B-1.2**



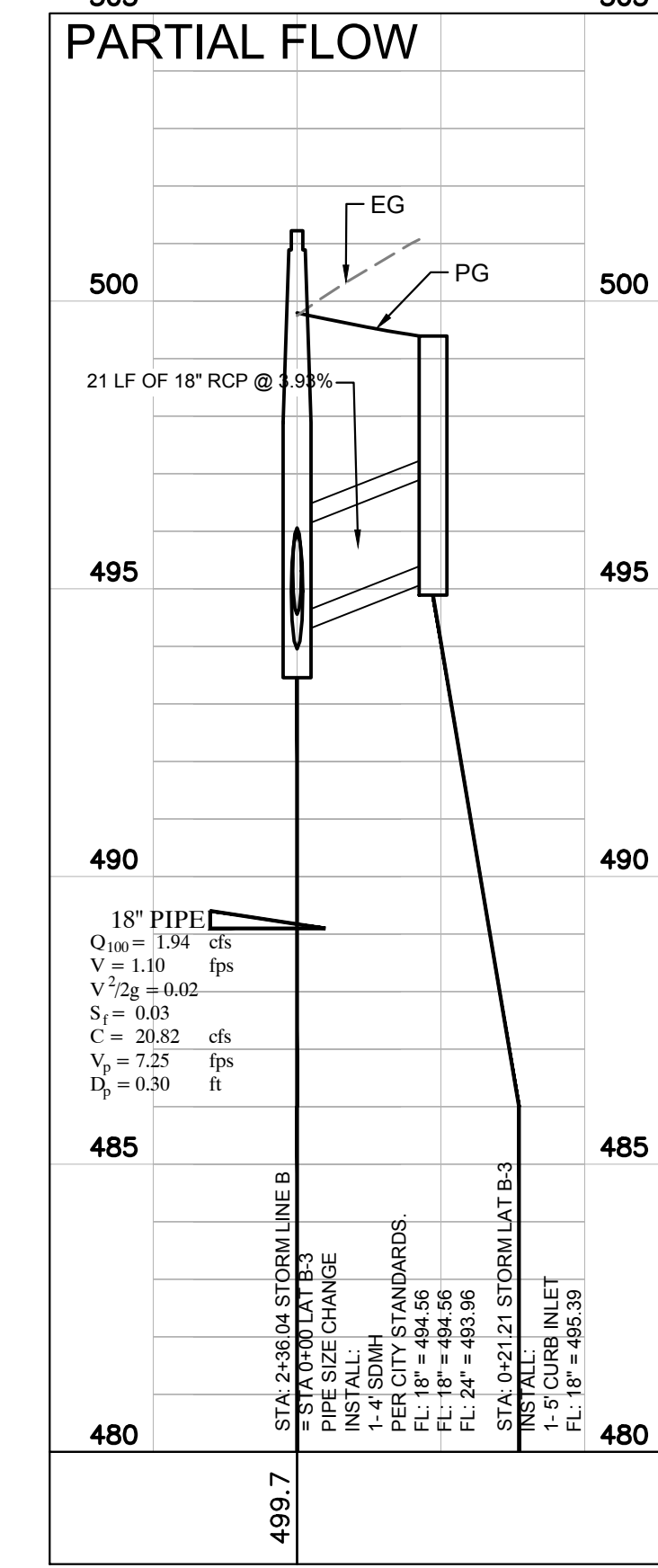
H: 1"=30' | V:1"=3'

**STORM LAT B-2**



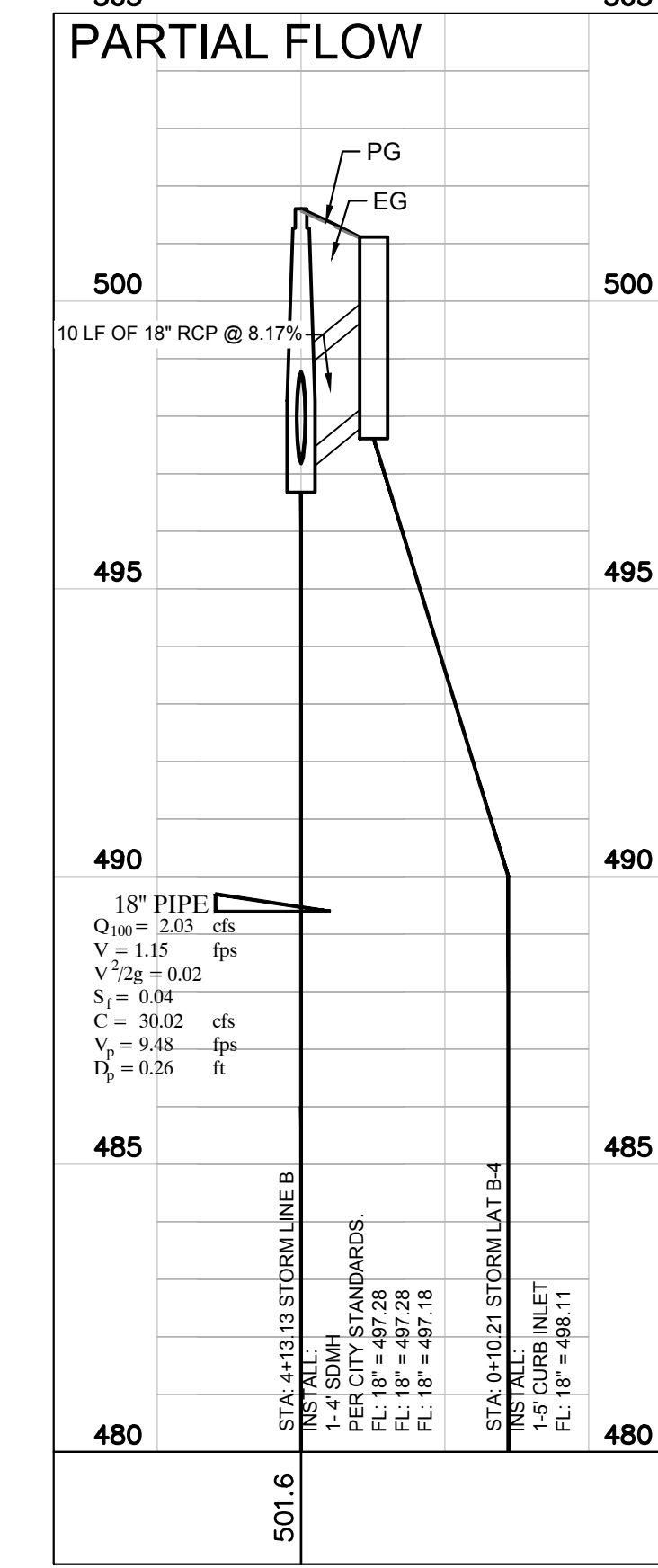
H: 1"=30' | V:1"=3'

**STORM LAT B-3**



H: 1"=30' | V:1"=3'

**STORM LAT B-4**



H: 1"=30' | V:1"=3'

PLOTTED BY: LAT VRIJUBUDDA  
 PLOT DATE: 8/17/2023 10:19 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-16 STORM DRAIN CALCULATIONS.DWG  
 LAST SAVED: 8/16/2023 5:14 PM



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

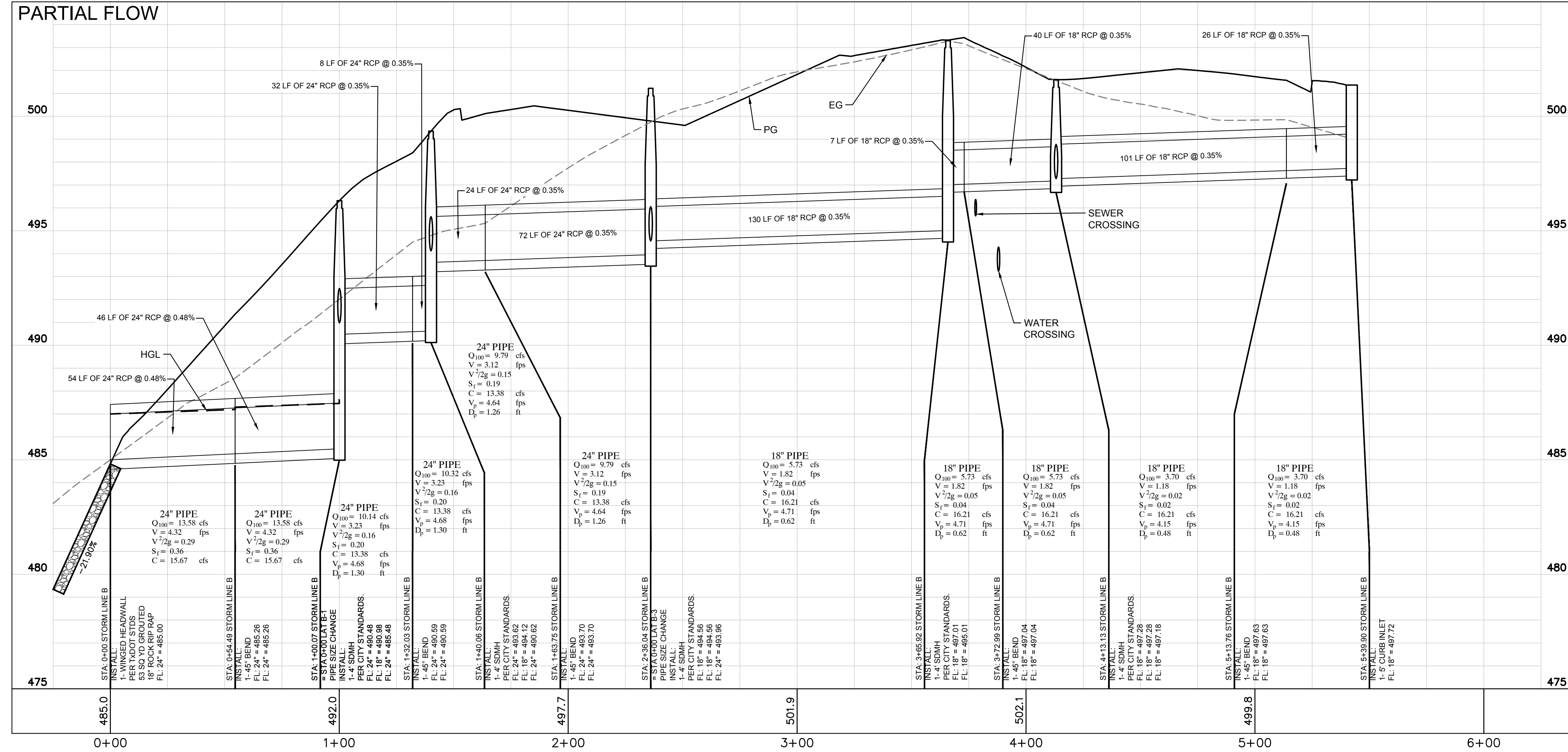
**STORM DRAIN PROFILE**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**C-13**

PLOTTED BY: JAT KRUMHOLDA  
 PLOT DATE: 8/17/2023 10:19 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-16 STORM DRAIN CALCULATIONS.DWG  
 LAST SAVED: 8/16/2023 5:14 PM

**STORM LINE B H: 1"=30' | V:1"=3'**  
 505



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**STORM DRAIN PROFILE**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**C-14**





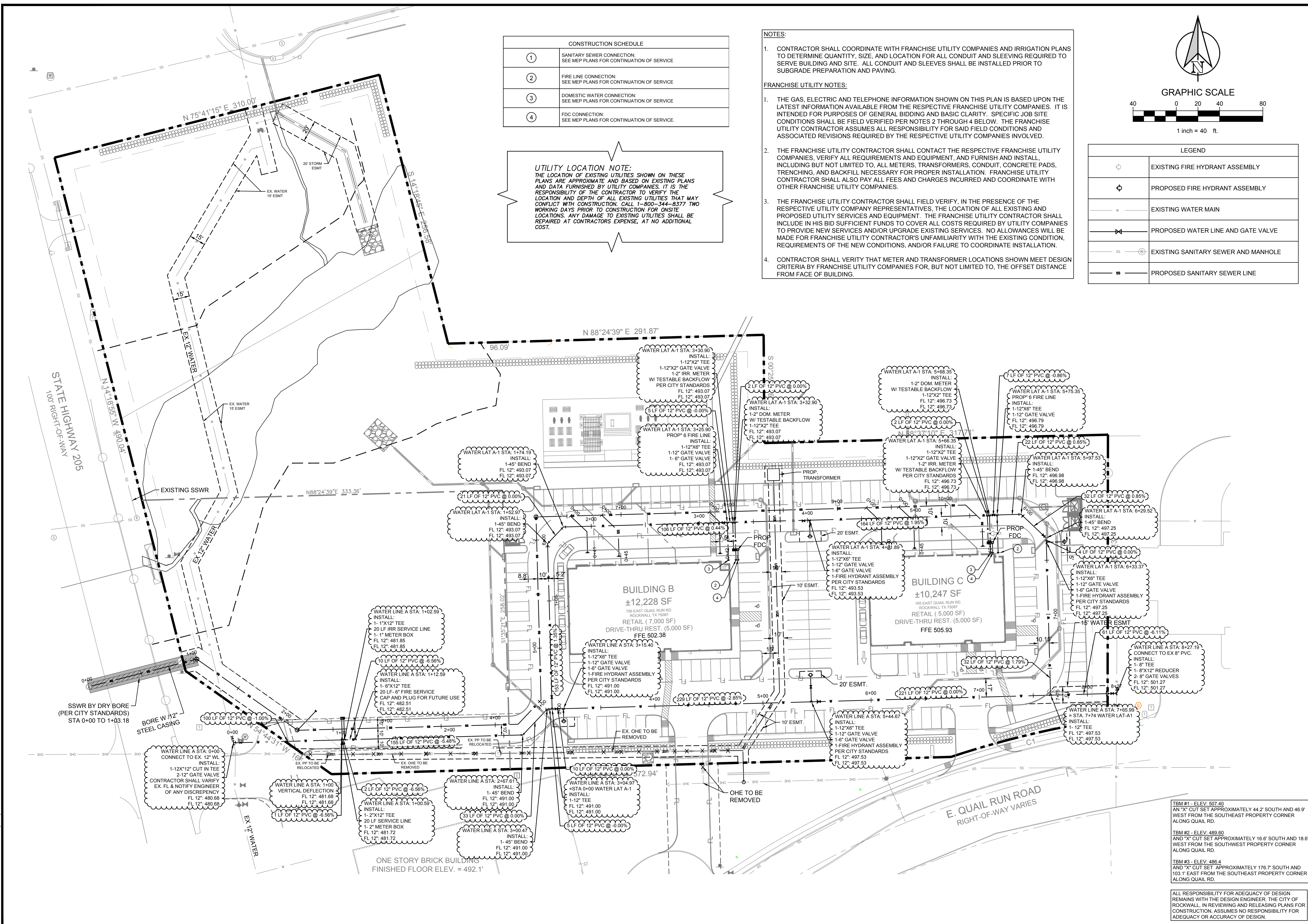


PLOTTED BY: LAT KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:19 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-16 STORM DRAIN CALCULATIONS.DWG  
 LAST SAVED: 8/16/2023 3:14 PM

LINE	STA.	INCREMENTAL AREA ACRES	CUMULATIVE AREA ACRES	RUNOFF COEFFICIENT	INCREMENTAL CA	CUMULATIVE CA	INLET TIME MIN	FLOW TIME IN PIPE MIN	TIME OF CONCENTRATION MIN	INTENSITY INHR	100 YR STORM DRAIN CALCULATIONS																K <sub>s</sub>	H <sub>1</sub> (MN&T) FT	HGL		INVERT					
											DIST FT	TOTAL FLOW Q <sub>100</sub> CFS	DIA. IN	SPAN FT	RISE FT	NUMBER	A Sq FT	R	ROUGHNESS n	PIPE SLOPE S <sub>0</sub> %	PIPE CAPACITY Q <sub>cap</sub> CFS	V <sub>design</sub> Q <sub>design</sub> /A	V <sub>full</sub> FPS	Q/Q <sub>cap</sub>	V <sub>full</sub> /V <sub>cap</sub>	d/D			Flow Depth FT	V <sub>partial</sub> FPS	FRICTION SLOPE S <sub>f</sub> %	H <sub>v</sub> V <sub>design</sub> *2/2g	FT	FT	FT	FT
<b>LINE A</b>	0+00.00								13.82		95.44	17.55	24	2	3.14	0.500	0.013	1.31%	25.94	5.59	8.26	0.677	1.07	0.60	2.00	8.85	0.60%	0.48			499.66		497.00			
	0+95.44	1.04	1.99	0.90	0.94	1.79	10.00	0.28	13.54	9.80	15.00	8.38	21	1.75	2.41	0.438	0.013	0.35%	9.44	3.48	3.93	0.888	1.13	0.73	1.75	4.43	0.28%	0.19	0.35	0.12	500.76	500.64	498.56	498.25		
	1+10.44	0.00	0.95	0.90	0.00	0.86	10.00	0.03	13.47	9.80	7.07	8.38	21	1.75	2.41	0.438	0.013	0.35%	9.44	3.48	3.93	0.888	1.13	0.73	1.75	4.43	0.28%	0.19	0.35	0.12	500.76	500.64	498.56	498.25		
	1+17.51	0.10	0.85	0.90	0.09	0.77	10.00	0.11	13.44	9.80	27.72	7.50	18	1.5	1.77	0.375	0.013	0.35%	6.21	4.24	3.52	1.206	1.00	1.00	1.50	3.52	0.51%	0.28	0.50	0.10	500.88	500.78	498.93	498.58		
	1+45.23	0.13	0.72	0.90	0.12	0.65	10.00	0.32	13.33	9.80	69.11	6.35	18	1.5	1.77	0.375	0.013	0.35%	6.17	3.59	3.49	1.029	1.14	0.84	1.50	3.98	0.36%	0.20	0.75	0.21	501.23	501.02	499.03	499.03		
	2+14.34	0.00	0.72	0.90	0.00	0.65	10.00	0.06	13.01	9.80	12.48	6.35	18	1.5	1.77	0.375	0.013	0.35%	6.17	3.59	3.49	1.029	1.14	0.84	1.50	3.98	0.36%	0.20	0.50	0.10	501.58	501.48	499.37	499.27		
	2+26.82	0.01	0.71	0.90	0.01	0.64	10.00	0.10	12.95	9.80	22.06	6.26	18	1.5	1.77	0.375	0.013	0.35%	6.21	3.54	3.52	1.008	1.14	0.82	1.50	4.01	0.35%	0.20	0.75	0.15	501.78	501.63	499.41	499.41		
	2+48.88	0.16	0.55	0.90	0.14	0.50	10.00	0.07	12.85	9.80	12.13	4.85	18	1.5	1.77	0.375	0.013	0.35%	6.21	2.75	3.52	0.781	1.10	0.66	1.50	3.88	0.21%	0.12	0.35	0.10	502.09	501.99	499.63	499.63		
	2+61.01	0.00	0.55	0.90	0.00	0.50	10.00	0.54	12.78	9.80	88.62	4.85	18	1.5	1.77	0.375	0.013	0.35%	6.21	2.75	3.52	0.781	1.10	0.66	1.50	3.88	0.21%	0.12	0.35	0.10	502.09	501.99	499.63	499.63		
	3+49.63	0.24	0.31	0.90	0.22	0.28	10.00	0.21	12.24	9.80	19.53	2.73	18	1.5	1.77	0.375	0.013	0.35%	6.21	1.55	3.52	0.440	0.96	0.46	1.50	3.39	0.07%	0.04	0.75	0.10	502.38	502.28	500.04	499.94		
	3+69.16	0.00	0.31	0.90	0.00	0.28	10.00	0.38	12.03	9.80	35.14	2.73	18	1.5	1.77	0.375	0.013	0.35%	6.21	1.55	3.52	0.440	0.96	0.46	1.50	3.39	0.07%	0.04	0.35	0.10	502.49	502.39	500.11	500.11		
	4+04.30	0.00	0.31	0.90	0.00	0.28	10.00	0.96	11.65	9.80	89.23	2.73	18	1.5	1.77	0.375	0.013	0.35%	6.26	1.55	3.54	0.437	0.96	0.46	1.50	3.41	0.07%	0.04	0.50	0.10	502.61	502.51	500.33	500.23		
	4+93.53	0.00	0.31	0.90	0.00	0.28	10.00	0.69	10.69	9.80	63.63	2.73	18	1.5	1.77	0.375	0.013	0.35%	6.21	1.55	3.52	0.440	0.96	0.46	1.50	3.39	0.07%	0.04	0.35	0.10	502.77	502.67	500.65	500.65		
	5+57.16	0.31	0.00	0.90	0.28	0.00	10.00	0.00	10.00	9.80																		1.25	0.10	502.92	502.82	500.87	500.87			
<b>LAT A-1</b>	0+00.00								10.30																							501.96		499.59		
	0+12.87	0.00	0.16	0.90	0.00	0.14	10.00	0.27	10.03	9.80	12.87	1.41	18	1.5	1.77	0.375	0.013	6.45%	26.68	0.80	15.10	0.053	0.52	0.15	1.50	7.80	0.02%	0.01	0.35	0.10	502.06	501.96	500.42	500.42		
	0+28.95	0.16	0.16	0.90	0.14	0.14	10.00	0.03	10.00	9.80	16.08	1.41	18	1.5	1.77	0.375	0.013	6.45%	26.68	0.80	15.10	0.053	0.52	0.15	0.23	7.80	0.02%	0.01	1.25	0.10	502.17	502.07		501.46		
<b>LAT A-2</b>	0+00.00		0.24			0.22			10.05		28.19	2.12	18	1.5	1.77	0.375	0.013	6.72%	27.23	1.20	15.41	0.078	0.58	0.18	0.27	8.90	0.04%	0.02			502.38		500.04			
	0+28.19	0.24	0.00	0.90	0.22	0.00	10.00	0.00	10.00	9.80																						502.49	502.39		501.94	
<b>LINE B</b>	0+00.00		1.54			1.39			12.02		54.49	13.58	24	2	3.14	0.500	0.013	0.48%	15.67	4.32	4.99	0.867	1.12	0.71	2.00	5.60	0.36%	0.29	0.35	0.10	487.30	487.20	485.26	485.26		
	0+54.49	0.00	1.54	0.90	0.00	1.39	10.00	0.18	11.81	9.80	45.58	13.58	24	2	3.14	0.500	0.013	0.48%	15.67	4.32	4.99	0.867	1.12	0.71	2.00	5.60	0.36%	0.29	0.75	0.17	487.63	487.46	490.48	485.48		
	1+00.07	0.39	1.15	0.90	0.35	1.04	10.00	0.11	11.52	9.80	31.96	10.14	24	2	3.14	0.500	0.013	0.35%	13.38	3.23	4.26	0.758	1.10	0.65	1.30	4.68	0.20%	0.16	0.35	0.10	487.79	487.69	490.59	490.59		
	1+32.03	0.00	1.15	0.90	0.00	1.04	10.00	0.03	11.52	9.80	8.03	10.14	24	2	3.14	0.500	0.013	0.35%	13.38	3.23	4.26	0.758	1.10	0.65	1.30	4.68	0.20%	0.16	0.35	0.10	487.79	487.69	490.59	490.59		
	1+40.06	0.04	1.11	0.90	0.04	1.00	10.00	0.09	11.49	9.80	23.69	9.79	24	2	3.14	0.500	0.013	0.35%	13.38	3.12	4.26	0.732	1.09	0.63	1.26	4.64	0.19%	0.15	0.75	0.10	487.91	487.81	493.62	490.62		
	1+63.75	0.00	1.11	0.90	0.00	1.00	10.00	0.26	11.40	9.80	72.29	9.79	24	2	3.14	0.500	0.013	0.35%	13.38	3.12	4.26	0.732	1.09	0.63	1.26	4.64	0.19%	0.15	0.35	0.10	488.05	487.95	493.70	493.70		
	2+36.04	0.46	0.65	0.90	0.41	0.59	10.00	0.46	11.14	9.80	129.87	5.73	18	1.5	3.14	0.667	0.013	0.35%	16.21	1.82	5.16	0.354	0.91	0.41	0.62	4.71	0.04%	0.05	0.75	0.11	488.30	488.19	494.56	493.96		
	3+65.91	0.00	0.65	0.90	0.00	0.59	10.00	0.03	10.68	9.80	7.08	5.73	18	1.5	3.14	0.667	0.013	0.35%	16.21	1.82	5.16	0.354	0.91	0.41	0.62	4.71	0.04%	0.05	0.50	0.10	488.46	488.36	497.01	495.01		
	3+72.99	0.00	0.65	0.90	0.00	0.59	10.00	0.14	10.65	9.80	40.14	5.73	18	1.5	3.14	0.667	0.013	0.35%	16.21	1.82	5.16	0.354	0.91	0.41	0.62	4.71	0.04%	0.05	0.35	0.10	488.56	488.46	497.04	497.04		
	4+13.13	0.23	0.42	0.90	0.21	0.38	10.00	0.40	10.51	9.80	100.63	3.70	18	1.5	3.14	0.667	0.013	0.35%	16.21	1.18	5.16	0.228	0.80	0.32	0.48	4.15	0.02%	0.02	0.35	0.10	488.80	488.70	497.63	497.63		
	5+13.76	0.00	0.42	0.90	0.00	0.38	10.00	0.11	10.11	9.80	26.14	3.70	18	1.5	3.14	0.667	0.013	0.35%	16.21	1.18	5.16	0.228	0.80	0.32	0.48	4.15	0.02%	0.02	1.25	0.10	488.90	488.80	497.72	497.72		
<b>LAT B-1</b>	0+00.00		0.39			0.35			11.29		7.07	3.44	18	1.5	1.77	0.375	0.013	1.25%	11.74	1.95	6.65	0.293	0.87	0.37	0.56	5.77	0.11%	0.06			487.63		490.96			
	0+07.07	0.00	0.39	0.90	0.00	0.35	10.00	0.08	11.27	9.80	27.10	3.44	18	1.5	1.77	0.375	0.013	1.25%	11.74	1.95	6.65	0.293	0.87	0.37	0.56	5.77	0.11%	0.06	0.35	0.10	487.74	487.64	491.07	491.07		
	0+34.17	0.01	0.38	0.90	0.01	0.34	10.00	0.12	11.19	9.80	25.03	3.35	18	1.5	1.77	0.375	0.013	0.35%	6.17	1.90	3.49	0.543	1.02	0.52												



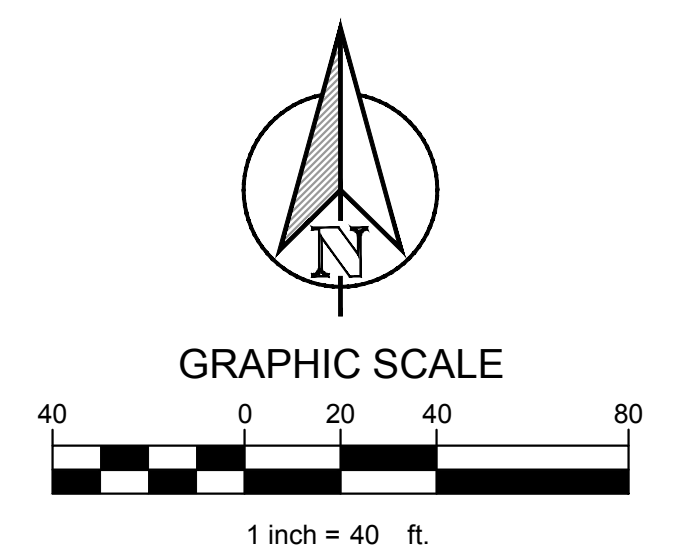
PLOTTED BY: JAT/KRUBARUDA  
 PLOT DATE: 8/17/2023 11:19 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-17 UTILITY PLANDWG  
 LAST SAVED: 8/17/2023 11:07 AM



CONSTRUCTION SCHEDULE	
①	SANITARY SEWER CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE.
②	FIRE LINE CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE.
③	DOMESTIC WATER CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE.
④	FDC CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE.

**UTILITY LOCATION NOTE:**  
 THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND BASED ON EXISTING PLANS AND DATA FURNISHED BY UTILITY COMPANIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES THAT MAY CONFLICT WITH CONSTRUCTION. CALL 1-800-344-8377 TWO WORKING DAYS PRIOR TO CONSTRUCTION FOR ON-SITE LOCATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE, AT NO ADDITIONAL COST.

- NOTES:**
- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
- FRANCHISE UTILITY NOTES:**
- THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
  - CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.



LEGEND	
⊕	EXISTING FIRE HYDRANT ASSEMBLY
⊕	PROPOSED FIRE HYDRANT ASSEMBLY
—	EXISTING WATER MAIN
—	PROPOSED WATER LINE AND GATE VALVE
—	EXISTING SANITARY SEWER AND MANHOLE
—	PROPOSED SANITARY SEWER LINE

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 1903 CENTRAL DR., SUITE 400  
 ROCKWALL, TX 75087  
 PHONE: 972.981.0072  
 WWW.CLAYMOOREENR.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**WATER PLAN**

**TBM #1 - ELEV: 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #2 - ELEV: 489.80**  
 AN "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #3 - ELEV: 486.4**  
 AN "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

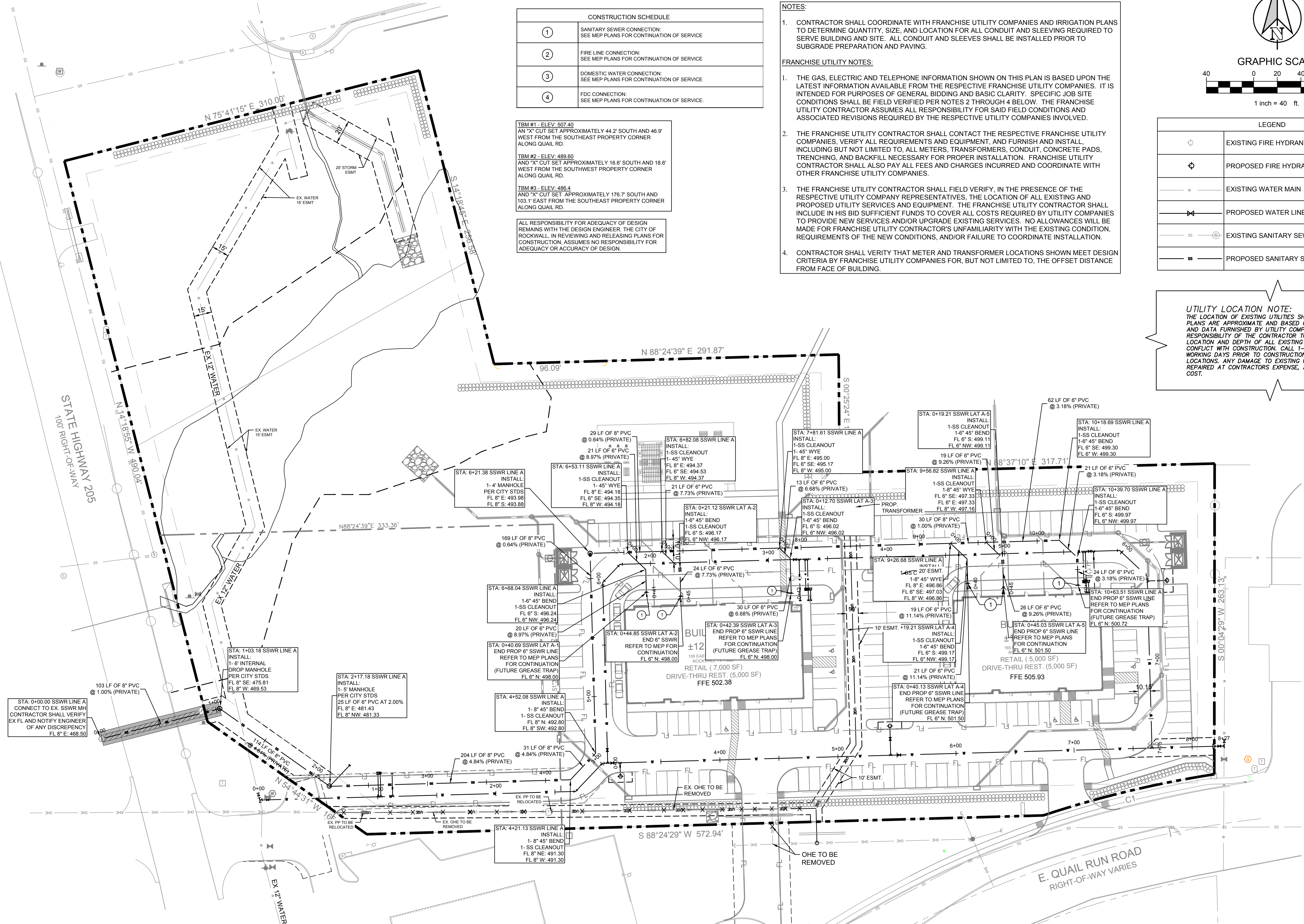
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**C-17**

File No. 2022-002



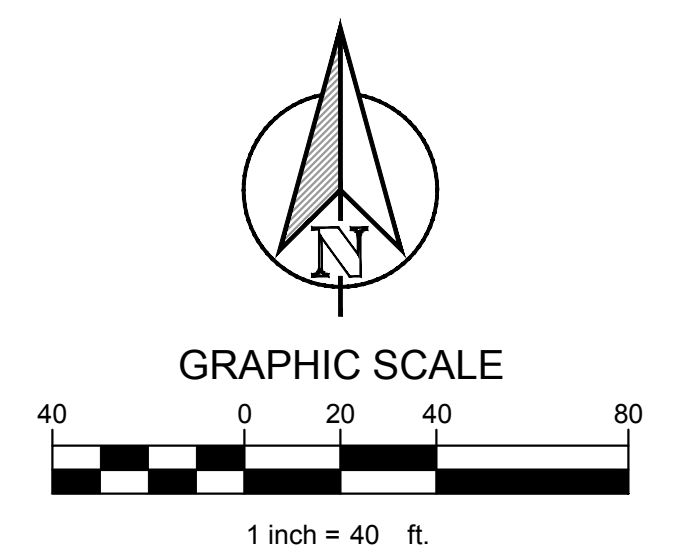
PLOTTED BY: JAT, KRUBARUDDA  
 PLOT DATE: 8/17/2023 11:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-17 UTILITY PLANDWG  
 LAST SAVED: 8/17/2023 11:07 AM



CONSTRUCTION SCHEDULE	
①	SANITARY SEWER CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE
②	FIRE LINE CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE
③	DOMESTIC WATER CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE
④	FDC CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE

**TBM #1 - ELEV. 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #2 - ELEV. 489.60**  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #3 - ELEV. 496.4**  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:**
- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
- FRANCHISE UTILITY NOTES:**
- THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAILURE WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
  - CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.



LEGEND	
	EXISTING FIRE HYDRANT ASSEMBLY
	PROPOSED FIRE HYDRANT ASSEMBLY
	EXISTING WATER MAIN
	PROPOSED WATER LINE AND GATE VALVE
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER LINE

**UTILITY LOCATION NOTE:**  
 THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND BASED ON EXISTING PLANS AND DATA FURNISHED BY UTILITY COMPANIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES THAT MAY CONFLICT WITH CONSTRUCTION. CALL 1-800-344-8377 TWO WORKING DAYS PRIOR TO CONSTRUCTION FOR ON-SITE LOCATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE, AT NO ADDITIONAL COST.

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DR., SUITE 400  
 ROCKWALL, TX 75087  
 PHONE: 972.972.0072  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

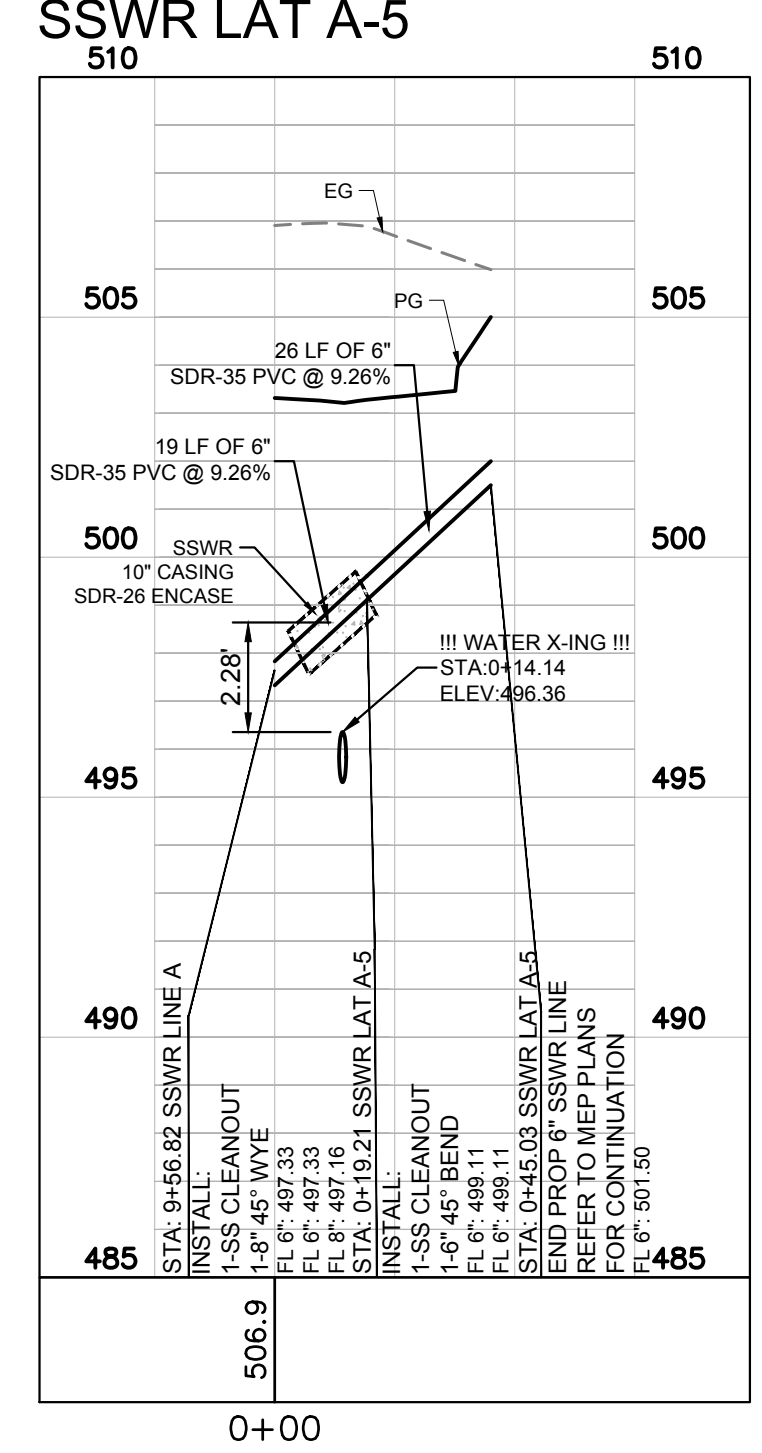
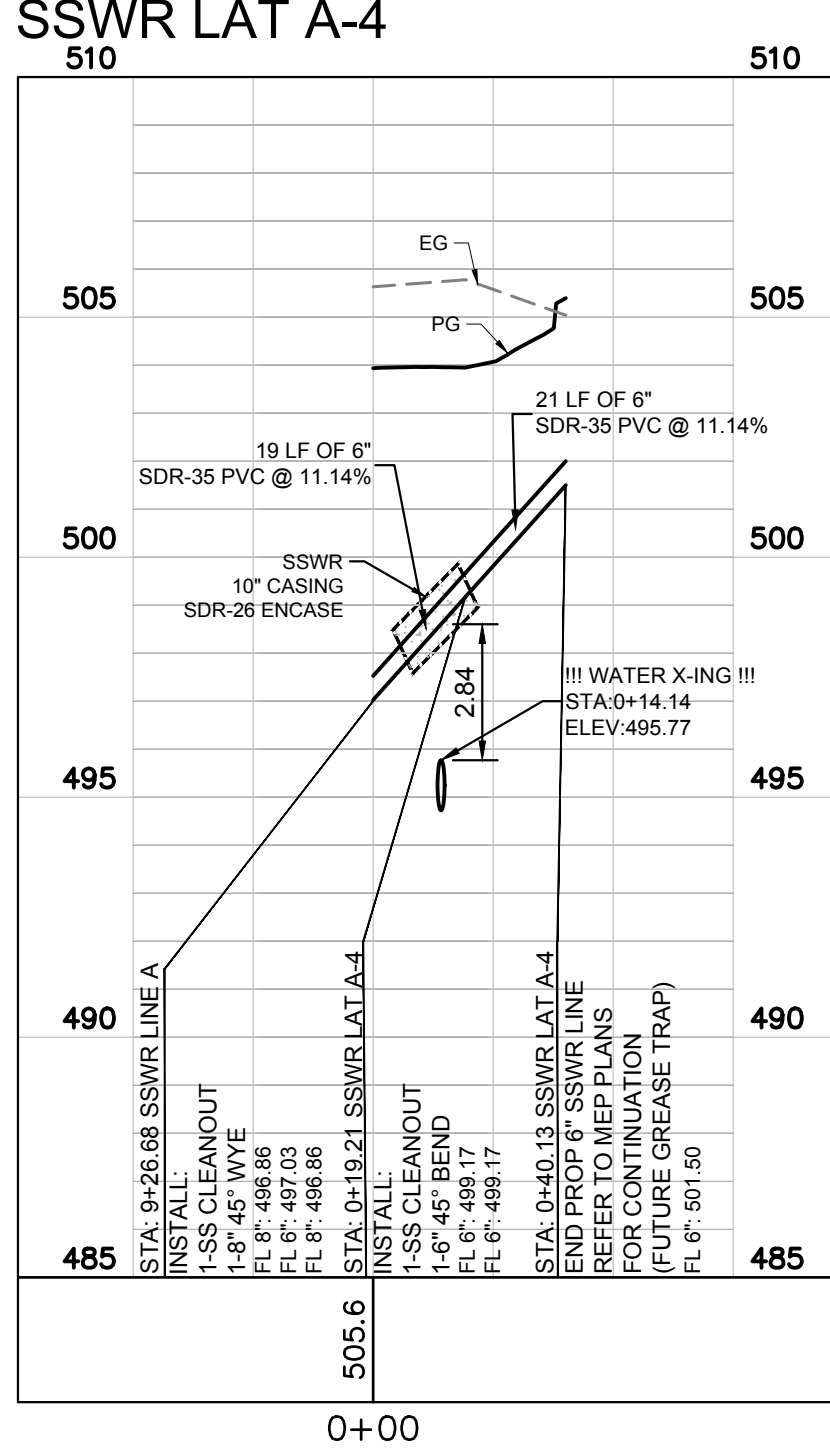
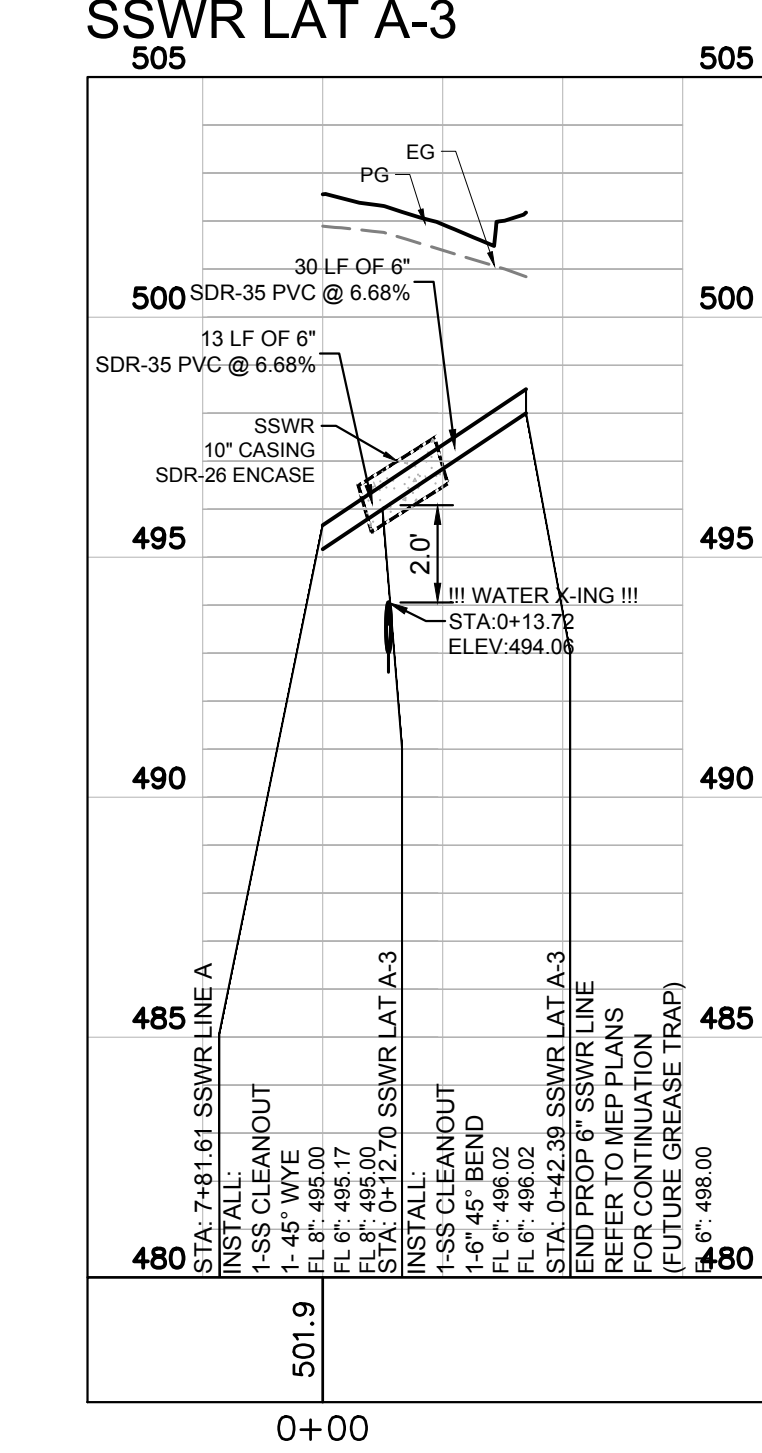
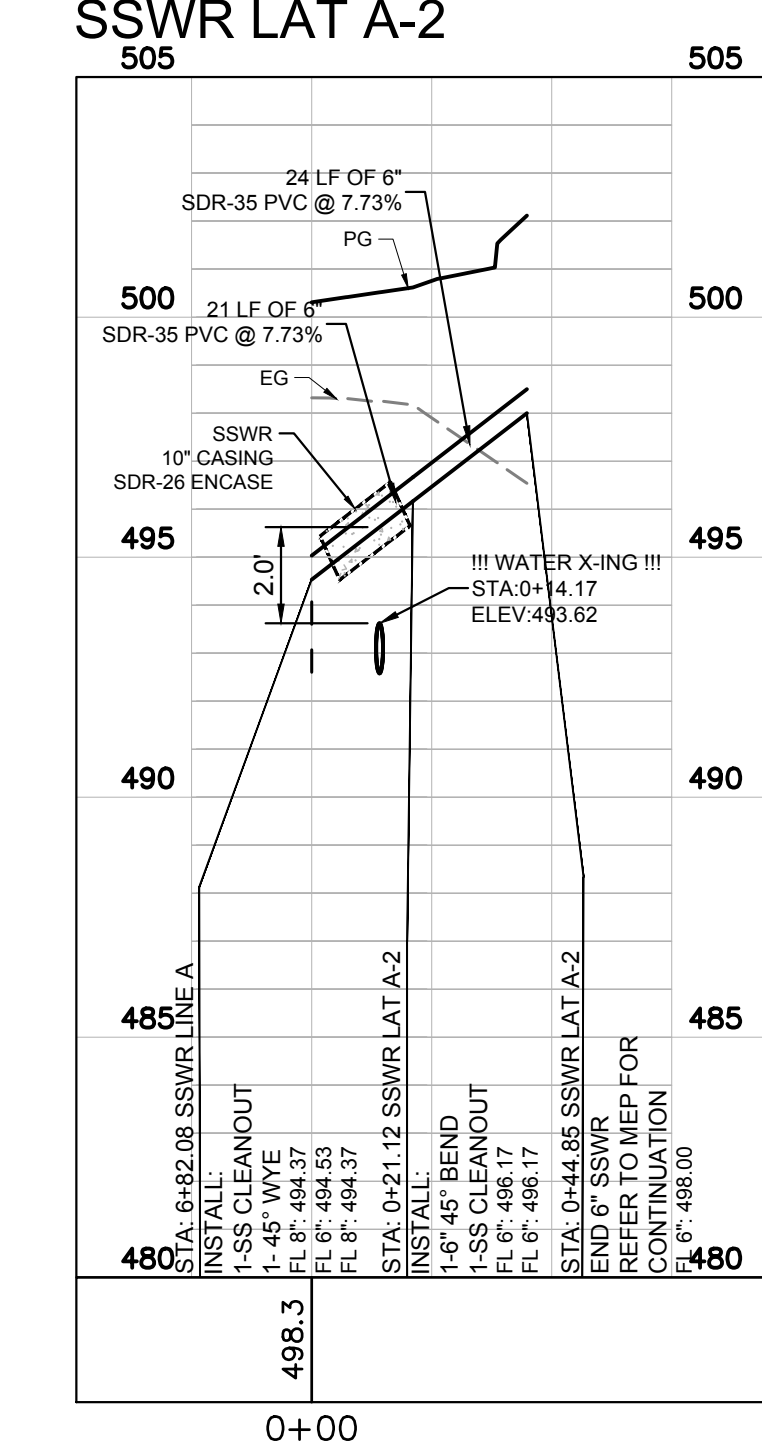
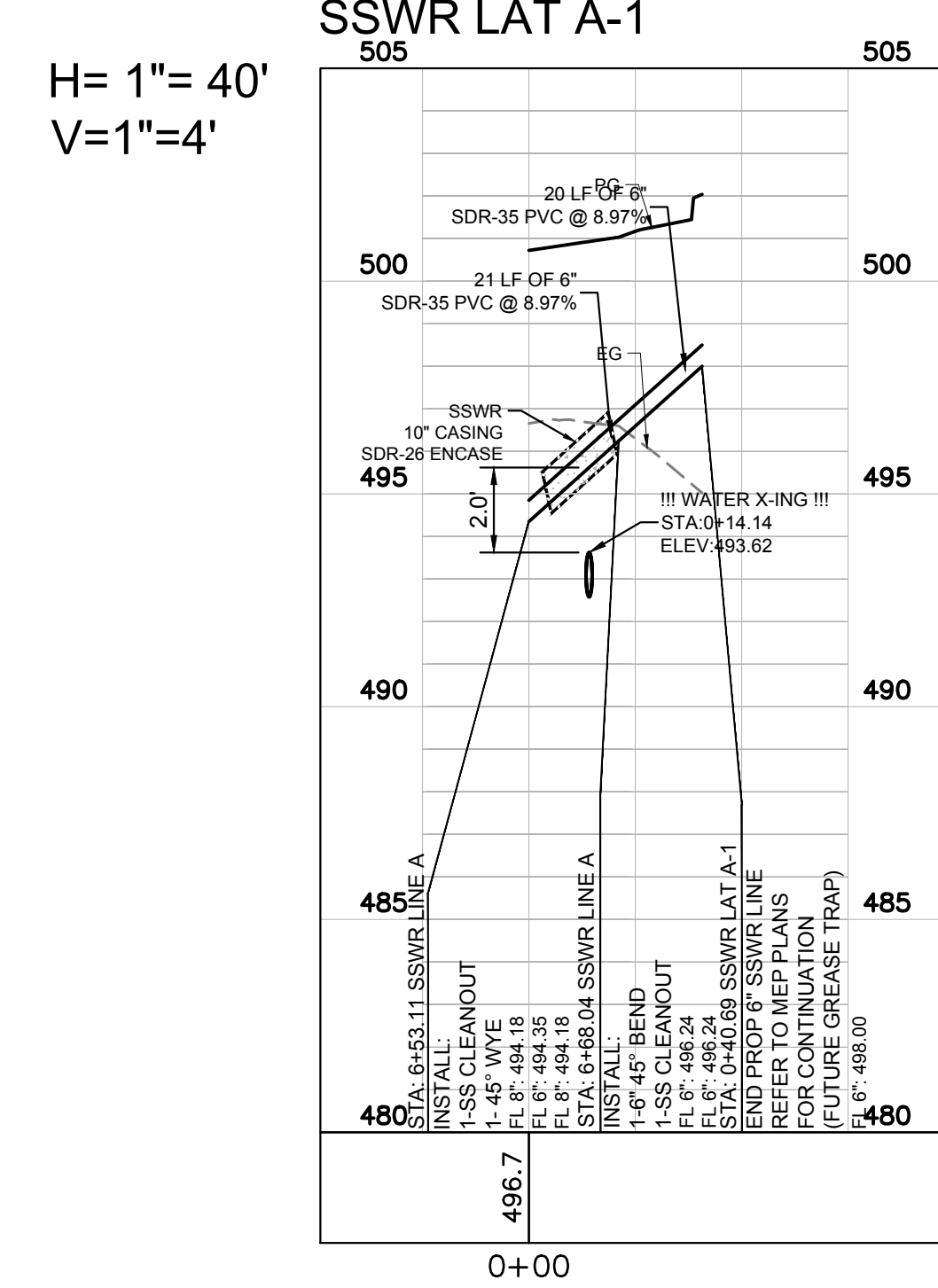
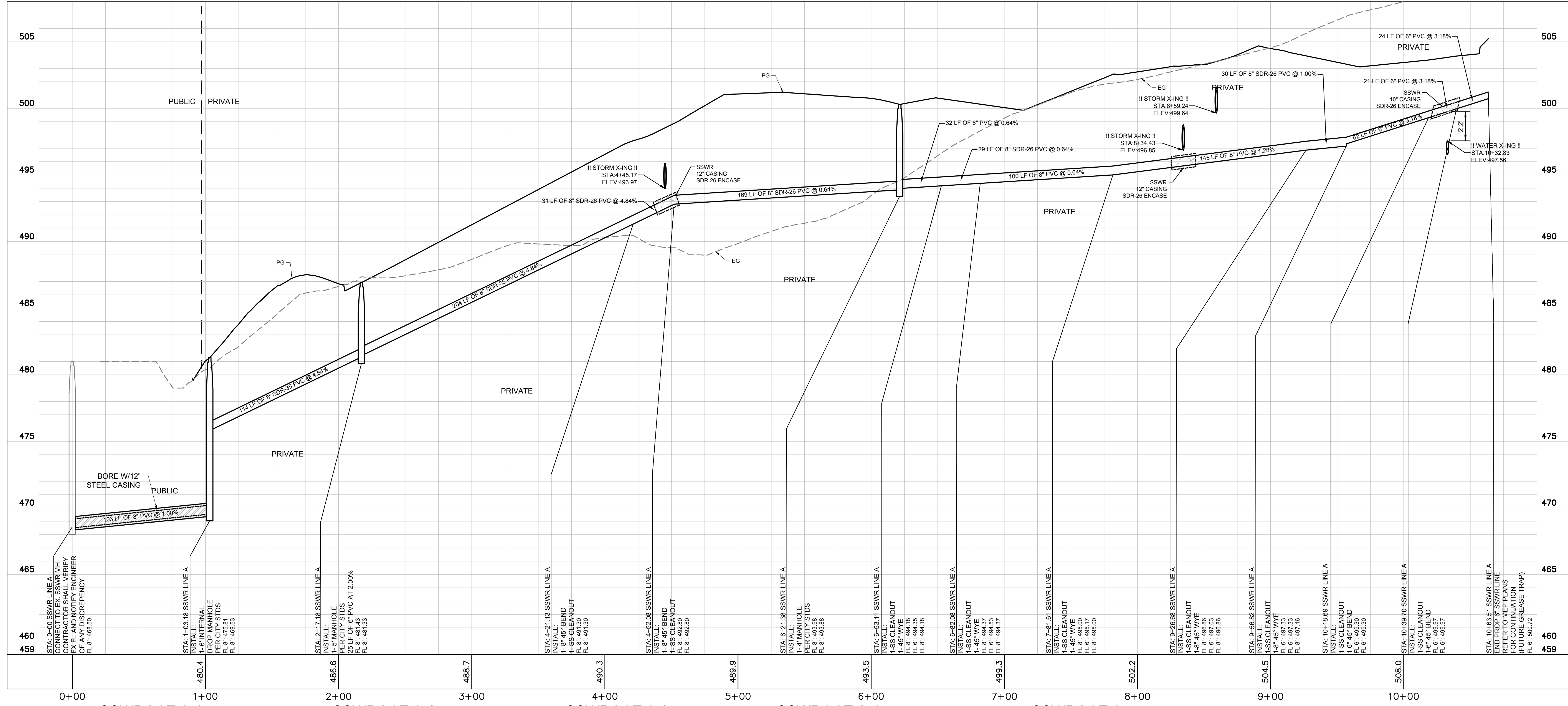
**SEWER PLAN**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023
SHEET	
<b>C-18</b>	
File No.	2022-002



SSWR LINE A

H = 1" = 40' V = 1" = 4'



**TBM #1 - ELEV. 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

**TBM #2 - ELEV. 489.60**  
 AN "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

**TBM #3 - ELEV. 486.4**  
 AN "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PLOTTED BY: LAT VRIJARIJUDA  
 PLOT DATE: 8/17/2023 11:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-21 UTILITY PROFILE ( 3 OF 3).DWG  
 LAST SAVED: 8/16/2023 2:19 PM



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 ENGINEER: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

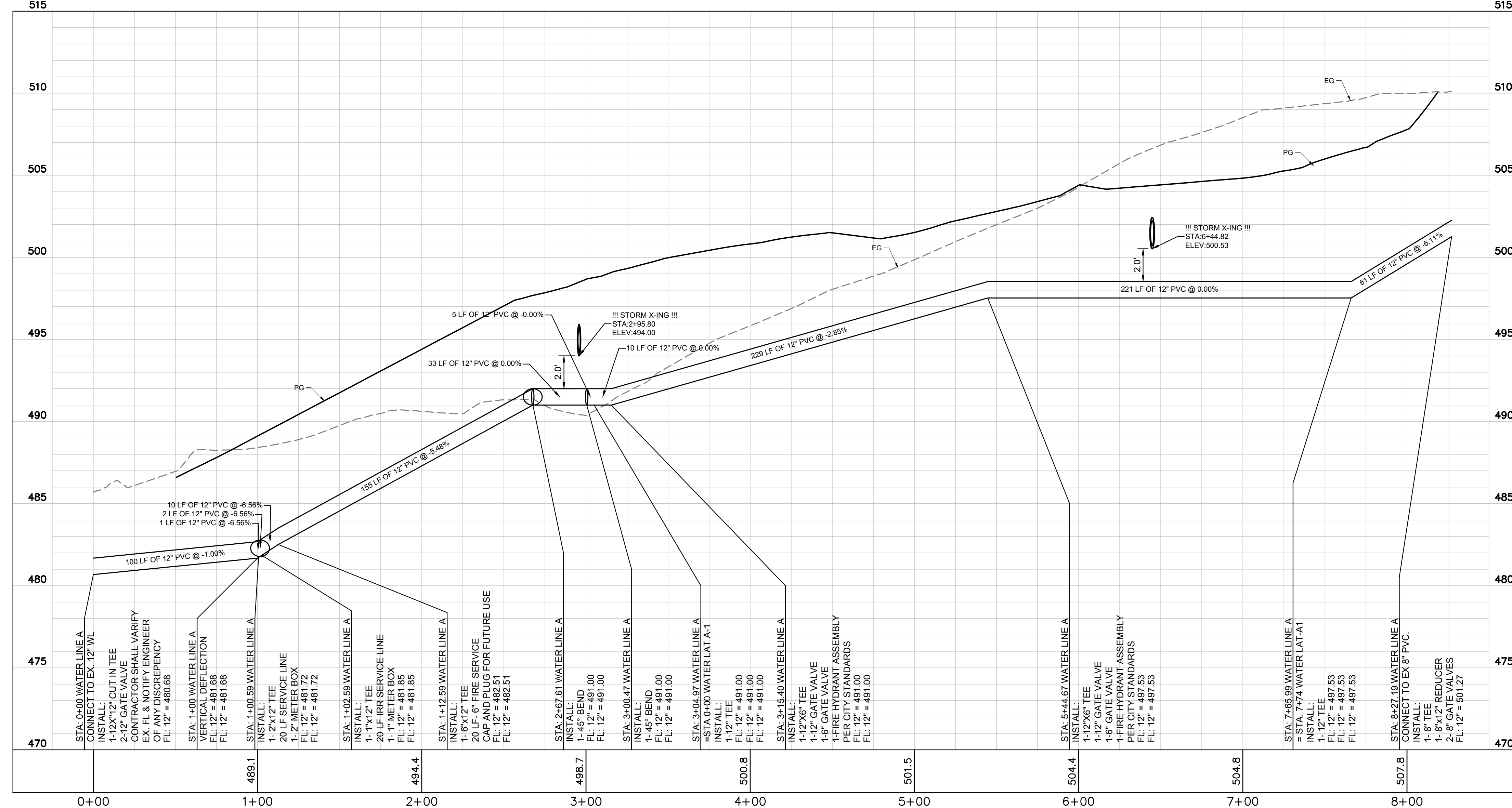
**UTILITY PROFILE ( 1 OF 3 )**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023  
**SHEET**  
**C-19**  
 File No. 2022-002



PLOTTED BY: JAT, KRUIARUDDA  
 PLOT DATE: 8/17/2023 11:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-21 UTILITY PROFILE ( 3 OF 3).DWG  
 LAST SAVED: 8/16/2023 2:19 PM

WATER LINE A H= 1"= 40' V=1"=4'



TBM #1 - ELEV: 507.40  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9'  
 WEST FROM THE SOTUH EAST PROPERTY CORNER  
 ALONG QUAL RD.

TBM #2 - ELEV: 499.60  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6'  
 WEST FROM THE SOTUH EAST PROPERTY CORNER ALONG  
 QUAL RD.

TBM #3 - ELEV: 486.4  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND  
 103.1' EAST FROM THE SOTUH EAST PROPERTY CORNER  
 ALONG QUAL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN  
 REMAINS WITH THE DESIGN ENGINEER. THE CITY OF  
 ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR  
 CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR  
 ADEQUACY OR ACCURACY OF DESIGN.



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 DREW DONOSKY  
 P.E. No. 12565 Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

UTILITY PROFILE ( 2 OF 3)

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

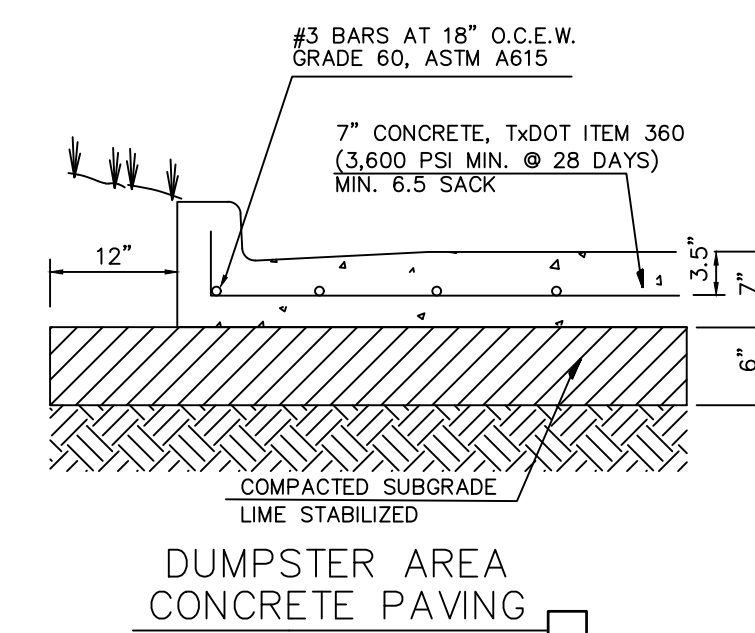
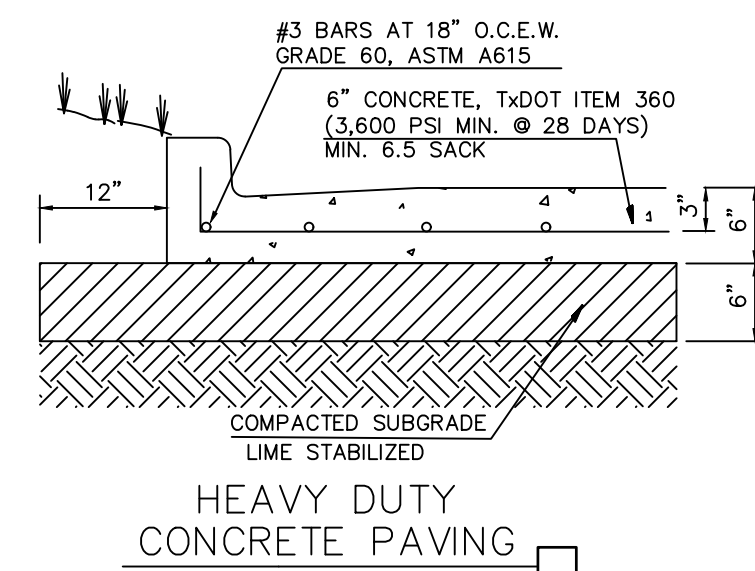
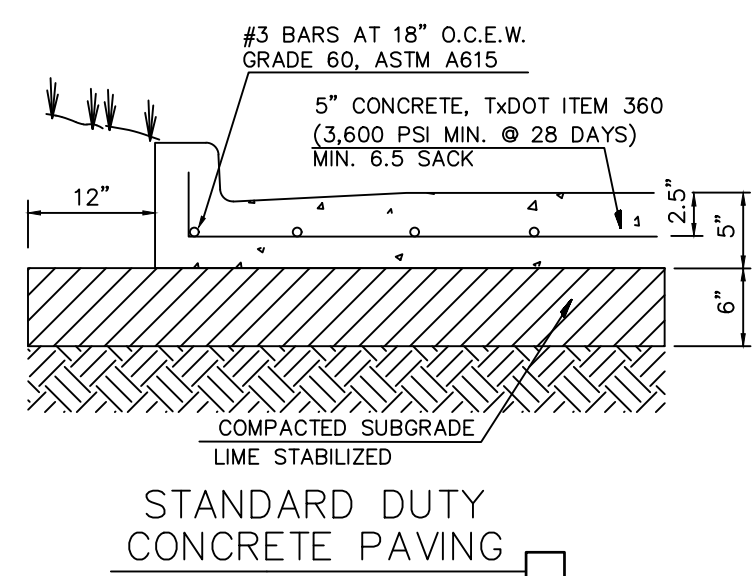
SHEET  
**C-20**

File No. 2022-002





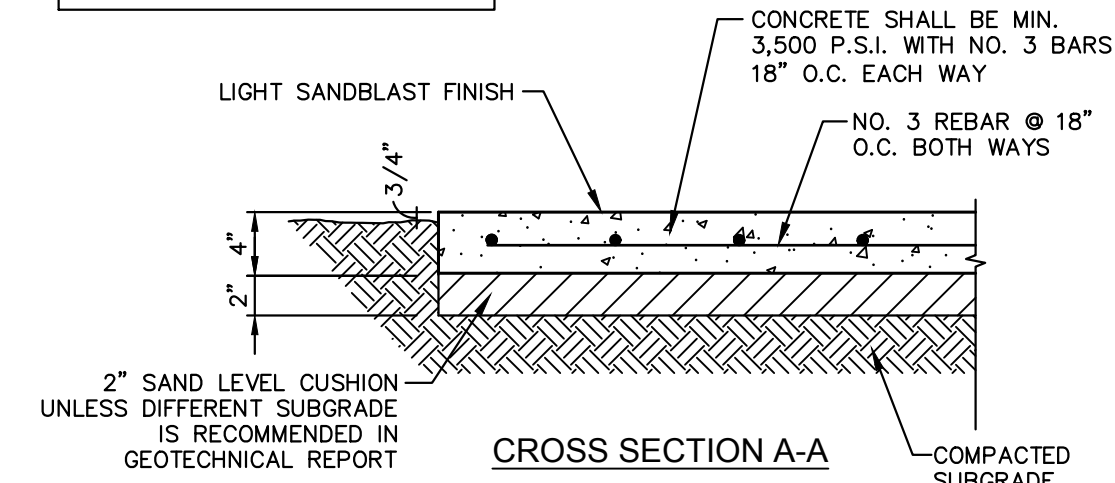
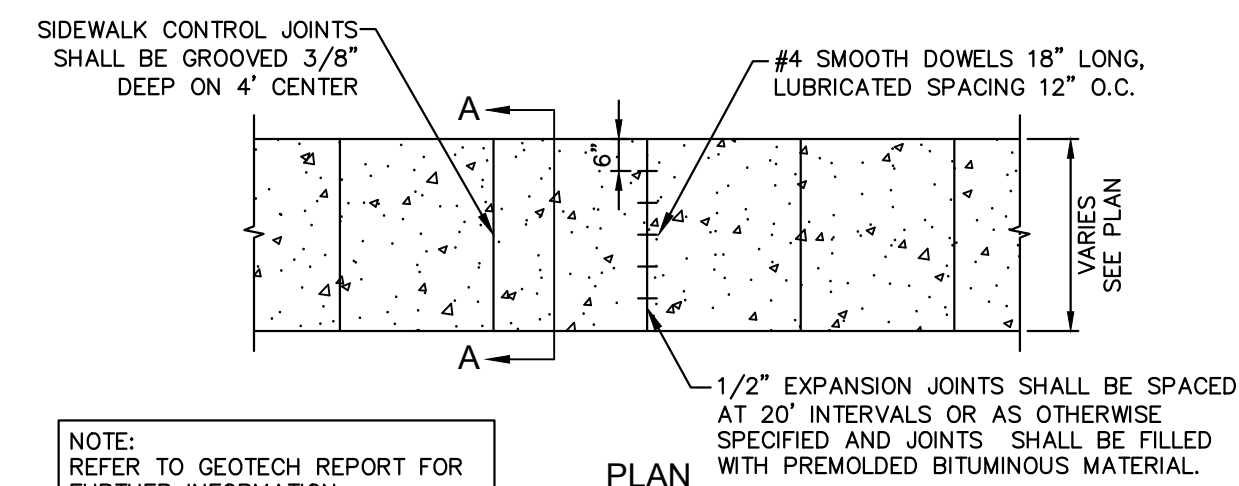




**GENERAL PAVING NOTES**

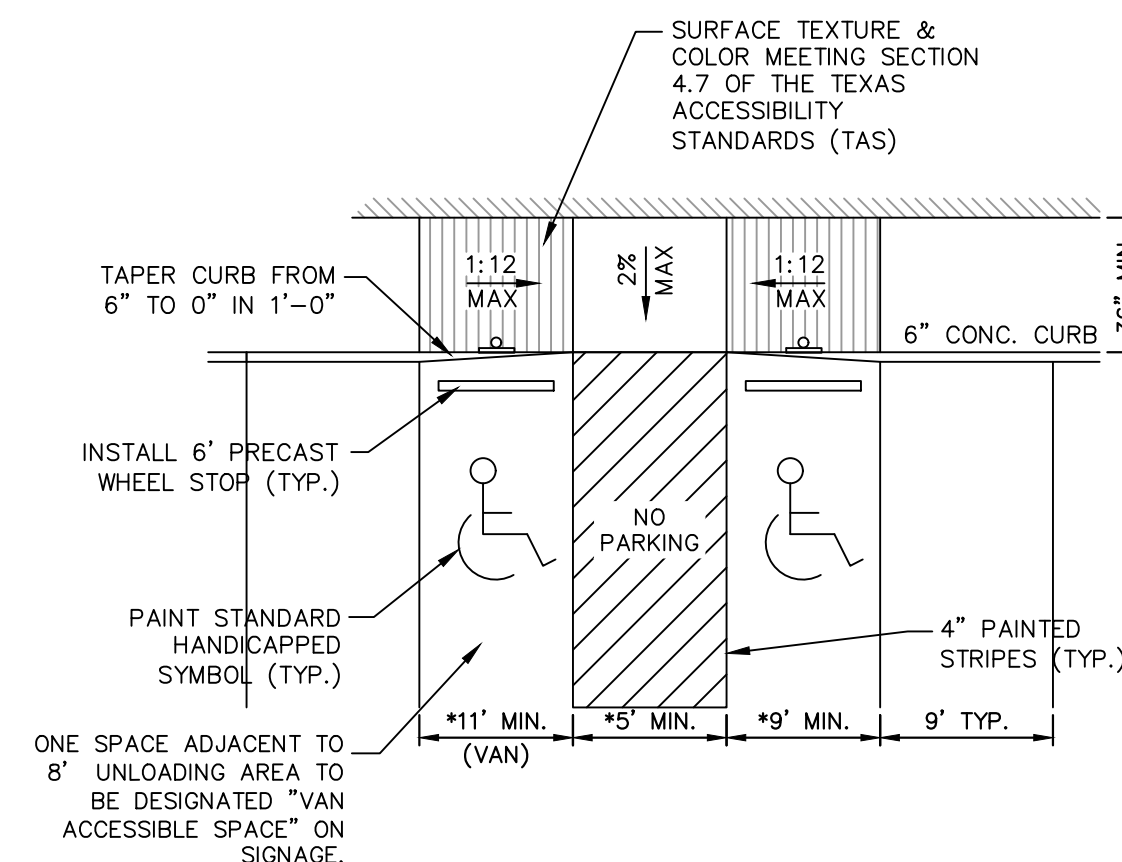
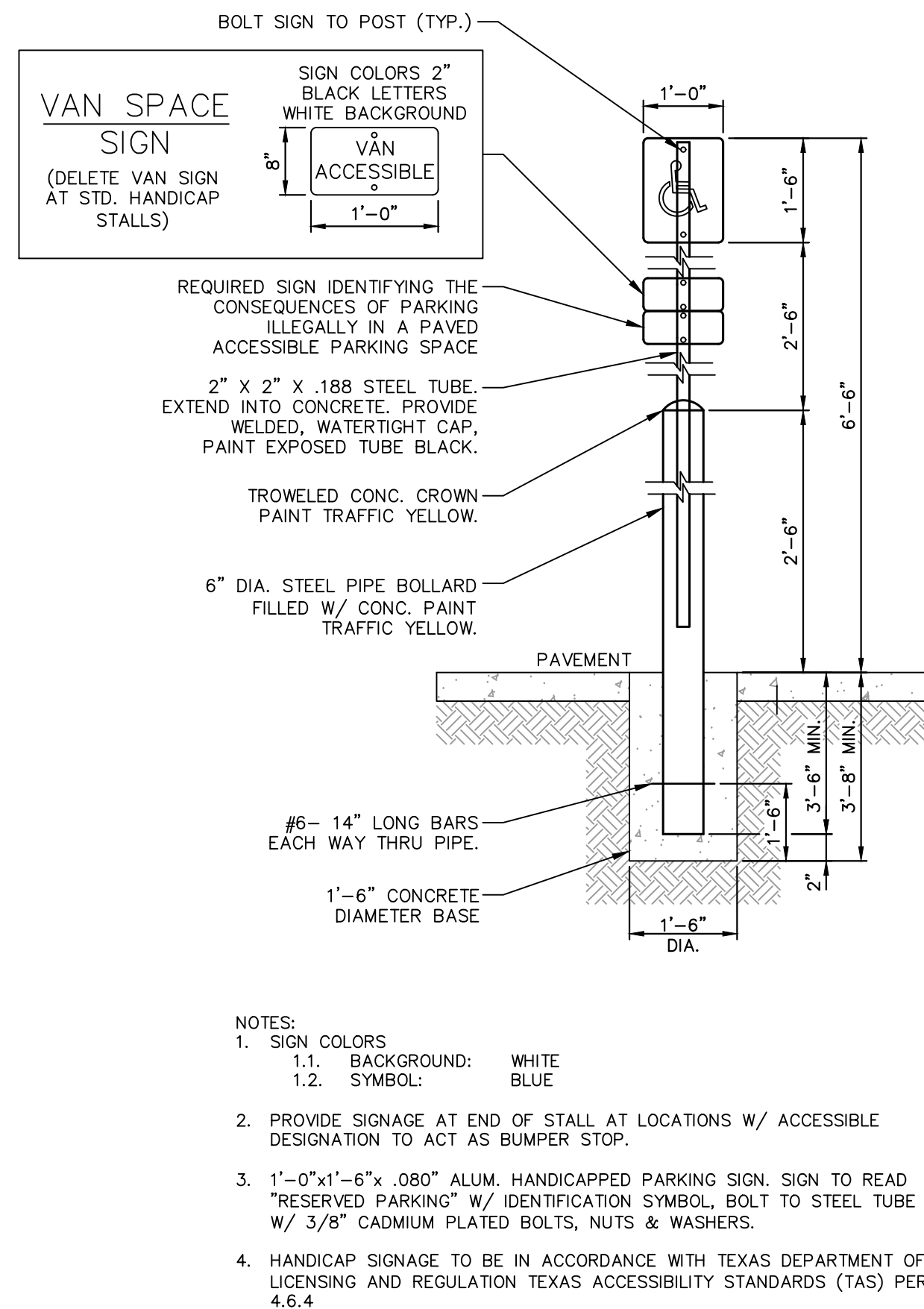
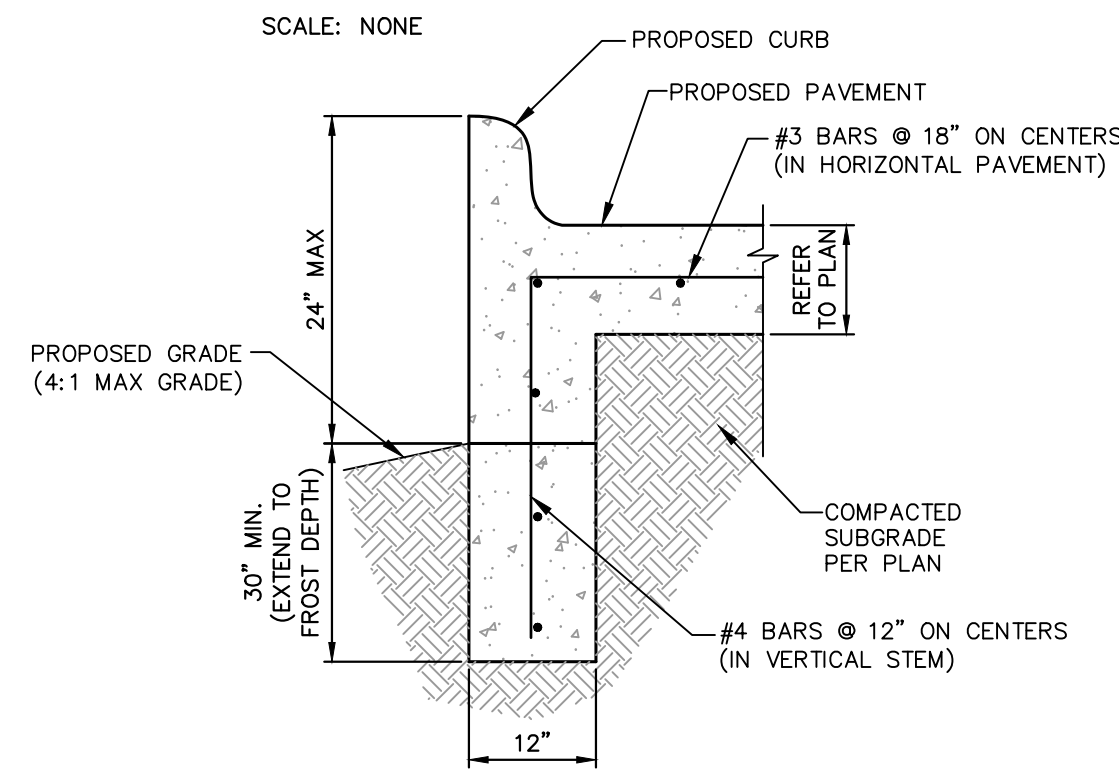
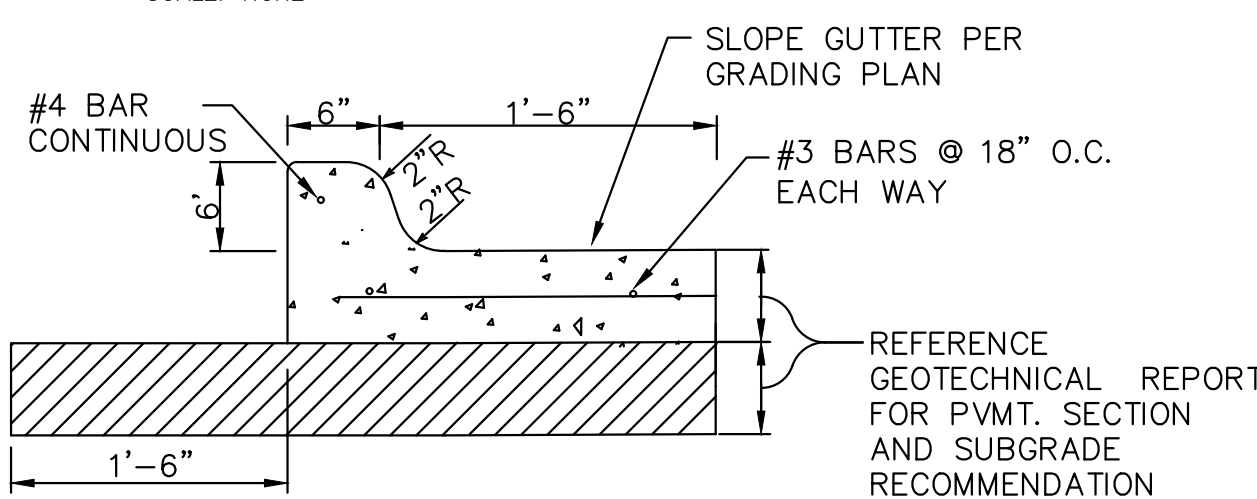
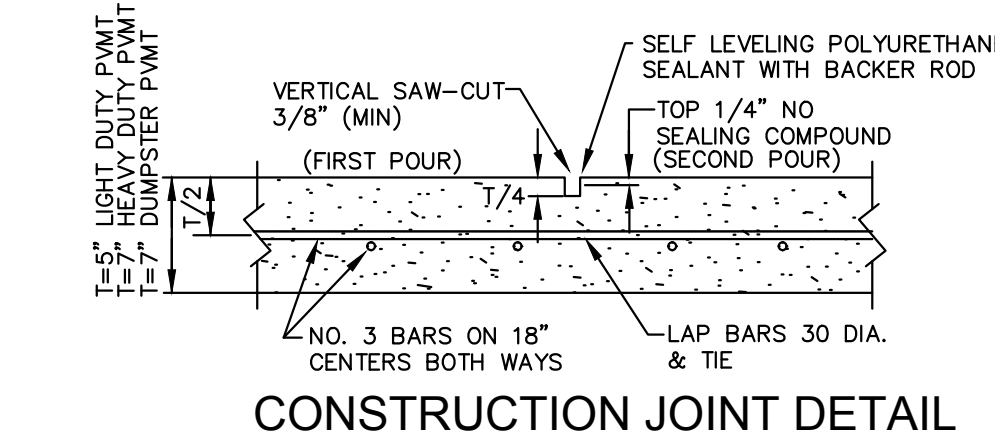
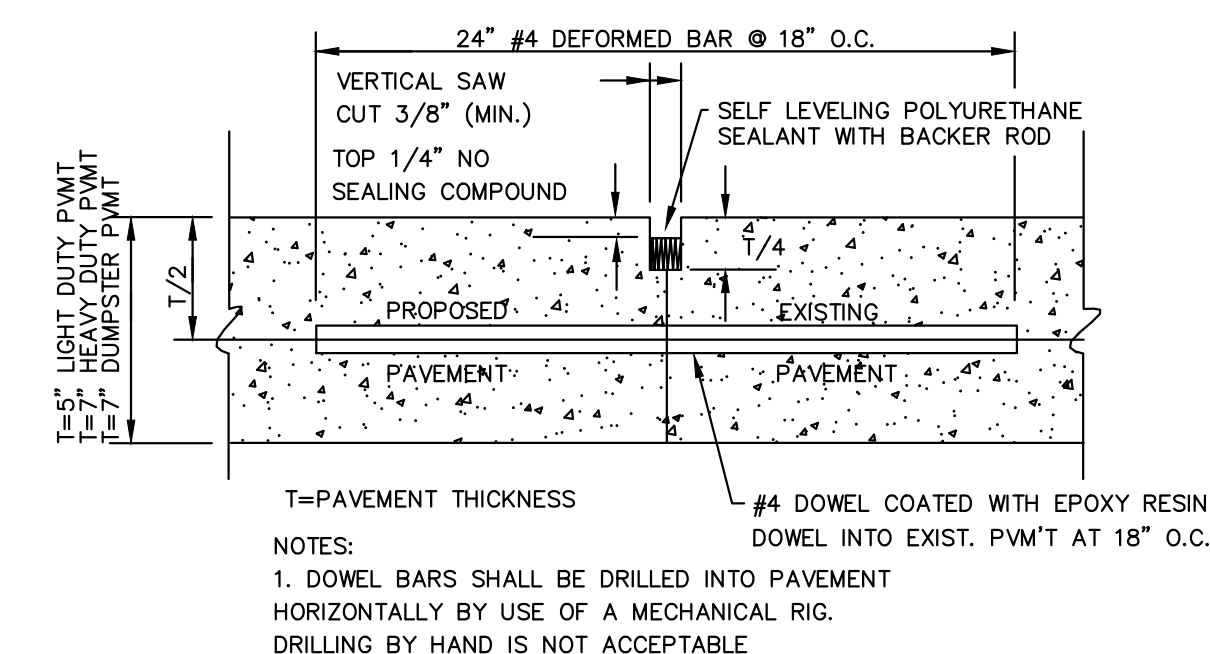
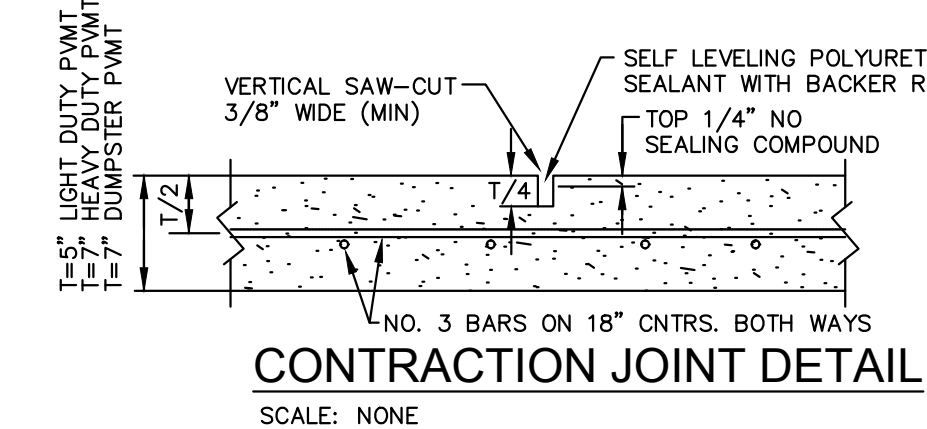
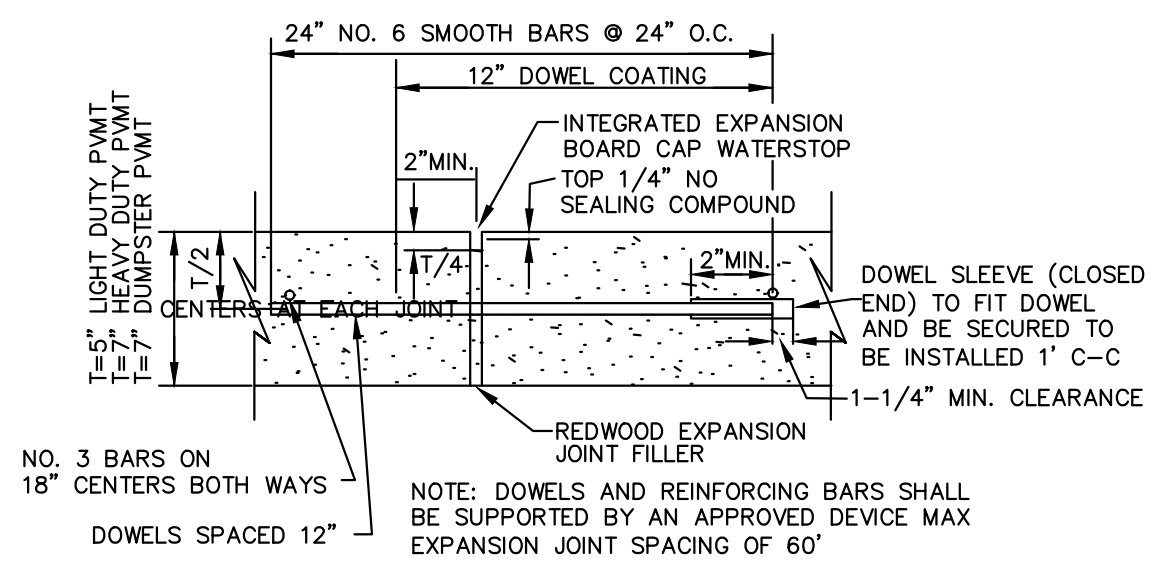
- REFER TO GEOTECHNICAL REPORT FOR ALL SUBGRADE SPECIFICATIONS AND REQUIREMENTS.
- FOR PREPARATION OF PAVEMENT SUBGRADE, FILL PLACED BELOW FINISHED SUBGRADE ELEVATION IN FILL AREAS IN ALL AREAS TO BE PAVED SHALL BE COMPACTED TO THE RANGE OF 92 TO 98 PERCENT OF ASTM D698 (STANDARD PROCTOR) MAXIMUM DENSITY AT A MOISTURE CONTENT AT LEAST 3% ABOVE OPTIMUM.
- CONCRETE SHALL HAVE A MINIMUM 3,600 PSI COMPRESSIVE STRENGTH FOR HEAVY DUTY AND DUMPSTER AREA AND 3,600 PSI FOR STANDARD DUTY AT 28 DAYS. JOINTS IN CONCRETE PAVING SHALL BE FORMED AT A MAXIMUM OF 15 FEET. CONCRETE SHALL INCLUDE AIR ENTRAINMENT OF 5.0±1.0 PERCENT. ALL OTHER JOINT SPACING SHALL BE INSTALLED PER PROJECT SPECIFICATIONS.
- JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING.
- NO SAND UNDER PAVING.

**PAVING DETAILS**  
SCALE: NONE



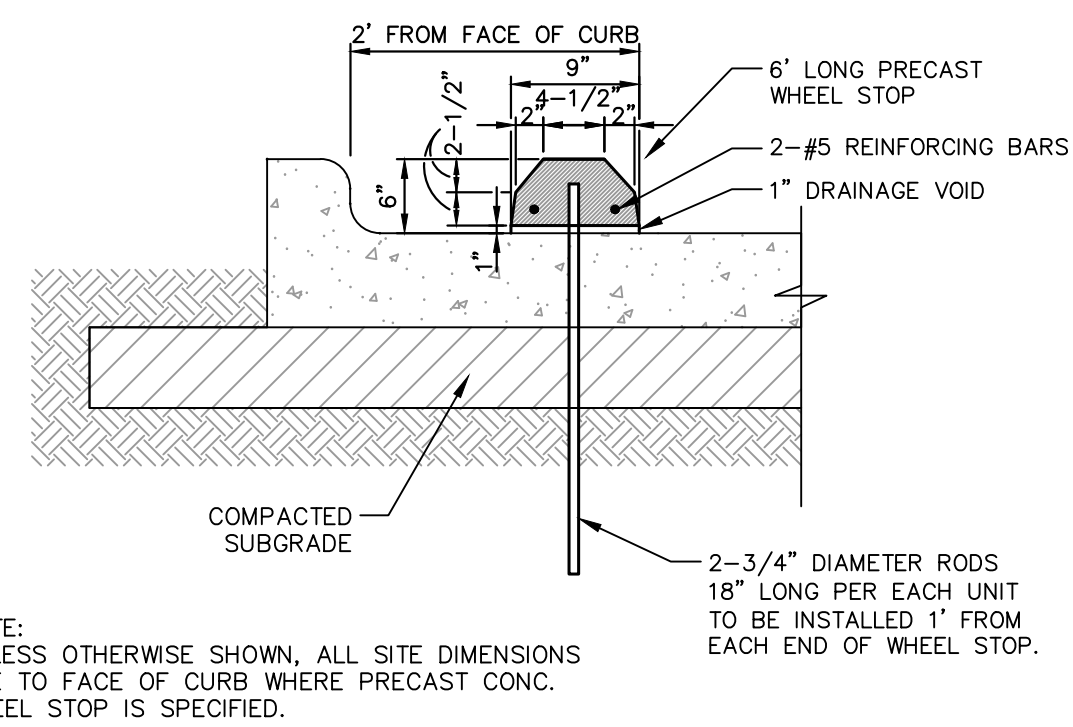
**PRIVATE CONCRETE SIDEWALK DETAIL**  
N.T.S.

NOTE: ALL SIDEWALKS IN COT ROW SHALL BE CONSTRUCTED OF PORTLAND CEMENT, CLASS A PER TEXAS DEPARTMENT OF TRANSPORTATION, STANDARDS AND SPECIFICATIONS, SECTION 610.

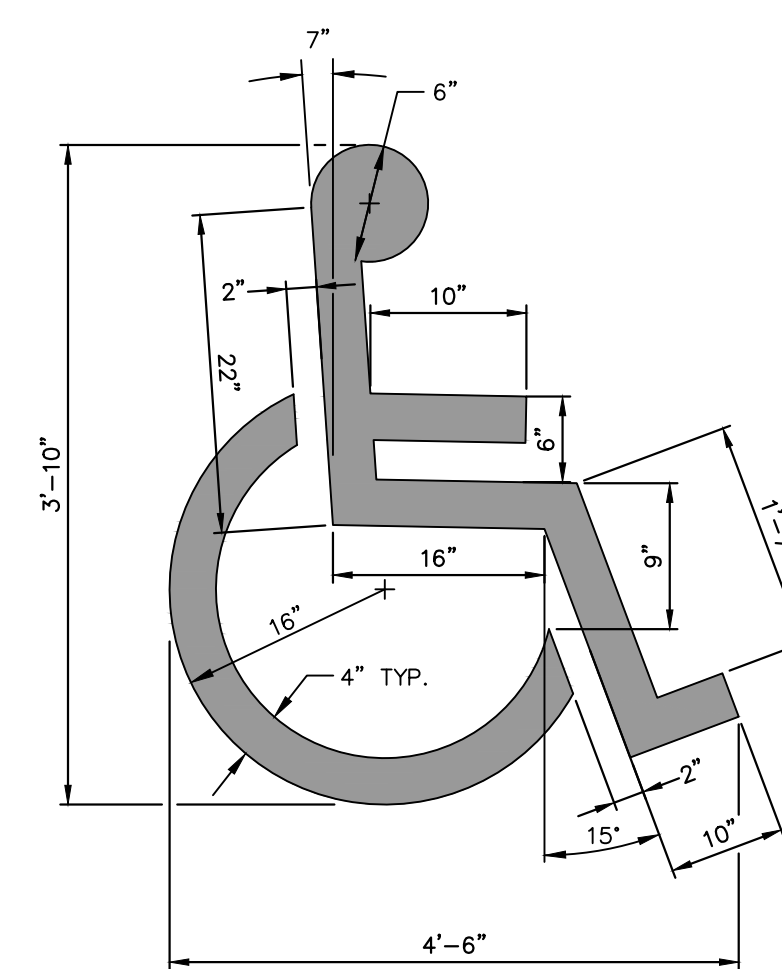


- NOTES:  
1. \* DIMENSIONS MAY VARY REFER TO DIMENSIONAL CONTROL PLAN  
2. SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL STATE AND LOCAL REGULATIONS.  
3. MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 5% WITH A MAXIMUM CROSS FALL SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.  
4. HANDICAPPED SIGNS, INSTALL 2" FROM BACK OF CURB (TYP. EACH SPACE). SIGNAGE TO BE IN ACCORDANCE WITH TEXAS DEPARTMENT OF LICENSING AND REGULATION TEXAS ACCESSIBILITY STANDARDS (TAS) PER 4.6.4  
5. THE WORDS "NO PARKING" ARE REQUIRED TO BE PAINTED ON ANY ACCESSIBLE AISLES ADJACENT TO THE PARKING SPACE. MINIMUM LETTER HEIGHT OF 12" AND MINIMUM STROKE WIDTH IS 2". CENTERED IN AISLES.

**HANDICAPPED PARKING DETAIL**  
N.T.S.

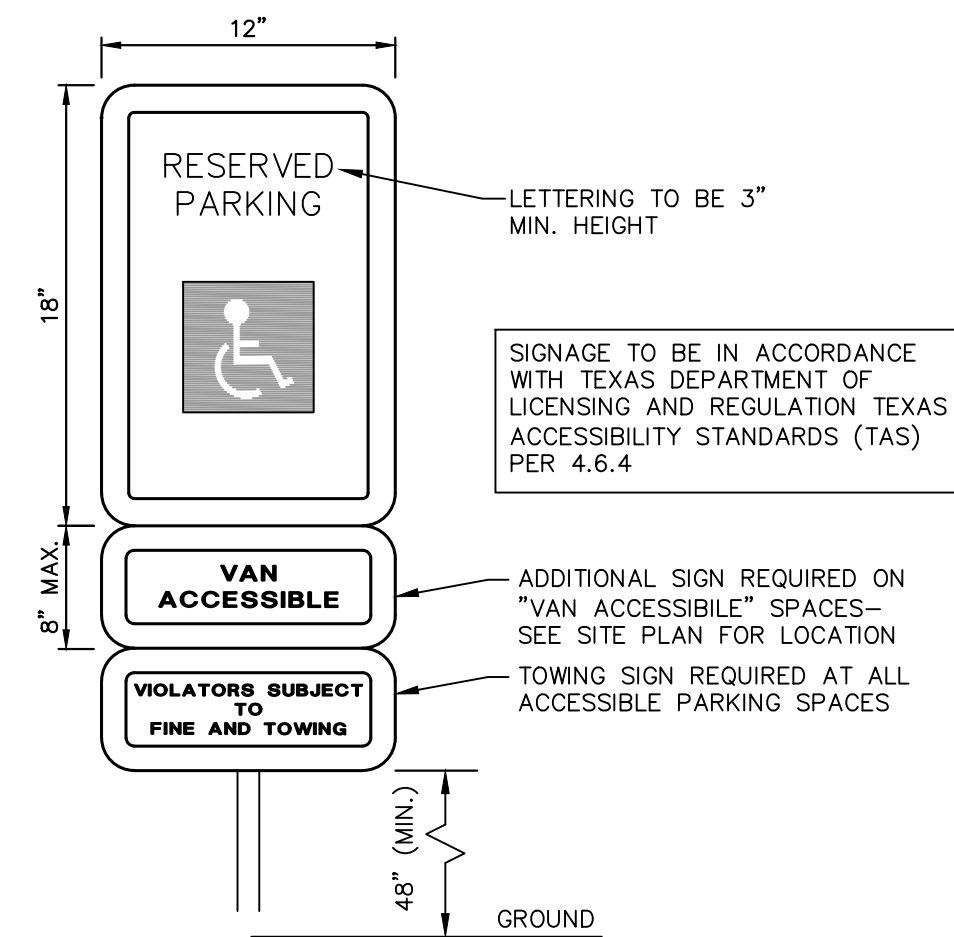


**PRECAST CONCRETE WHEEL STOP DETAIL**  
N.T.S.



- NOTE:  
1. ALL TRAFFIC MARKINGS TO BE THERMOPLASTIC AS PER DIMENSIONS SHOWN.

**HANDICAPPED PARKING SYMBOL DETAIL**  
N.T.S.



**HANDICAPPED SIGN DETAIL**  
N.T.S.

PLOTTED BY: JAT KRUBARUDDA  
 PLOT DATE: 8/17/2023 10:20 AM  
 PLOT LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-26 CITY CONSTRUCTION DETAILS.DWG  
 LAST SAVED: 8/16/2023 4:31 PM



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**PRIVATE CONSTRUCTION  
 DETAILS**

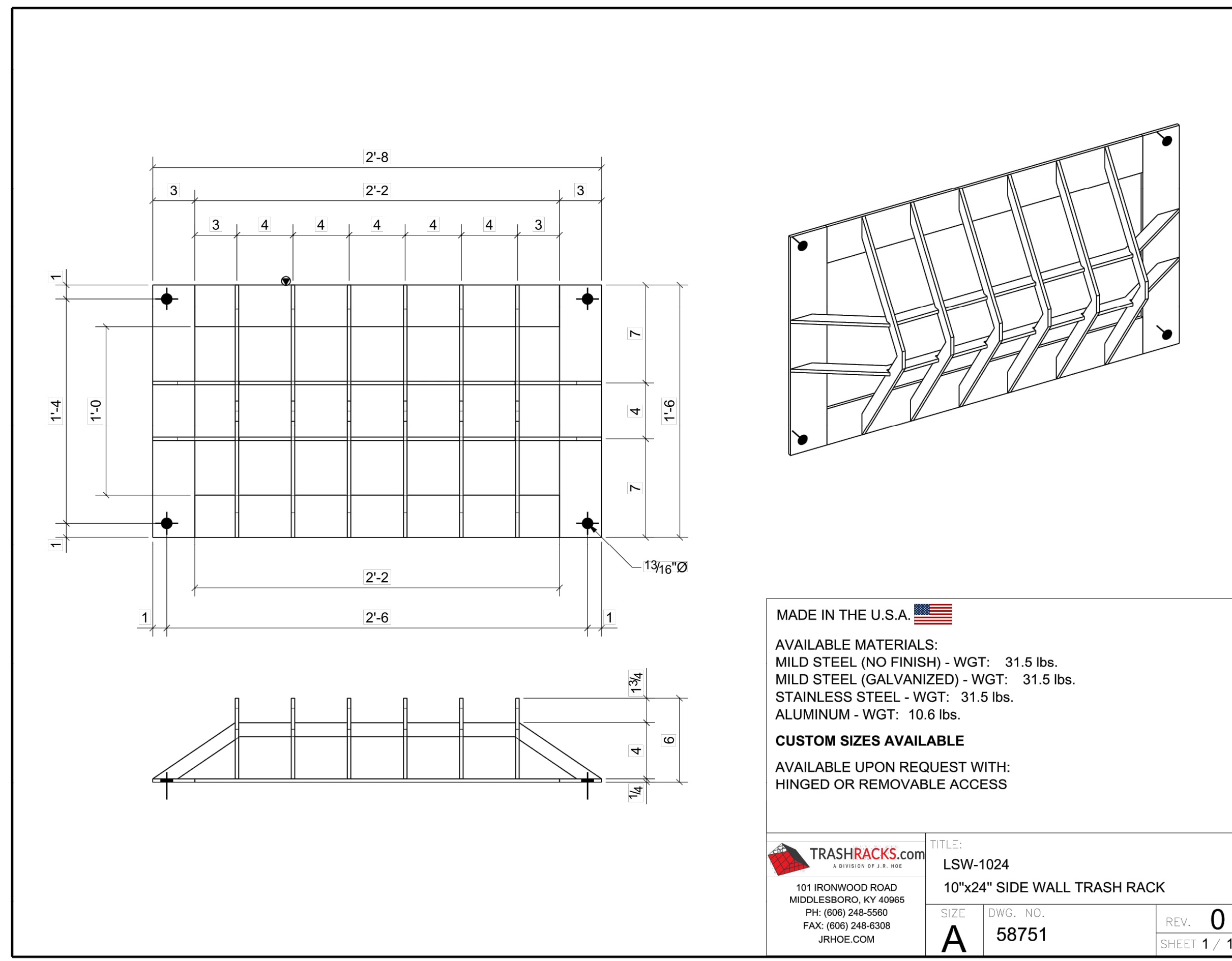
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET

**C-22**

File No. 2022-002

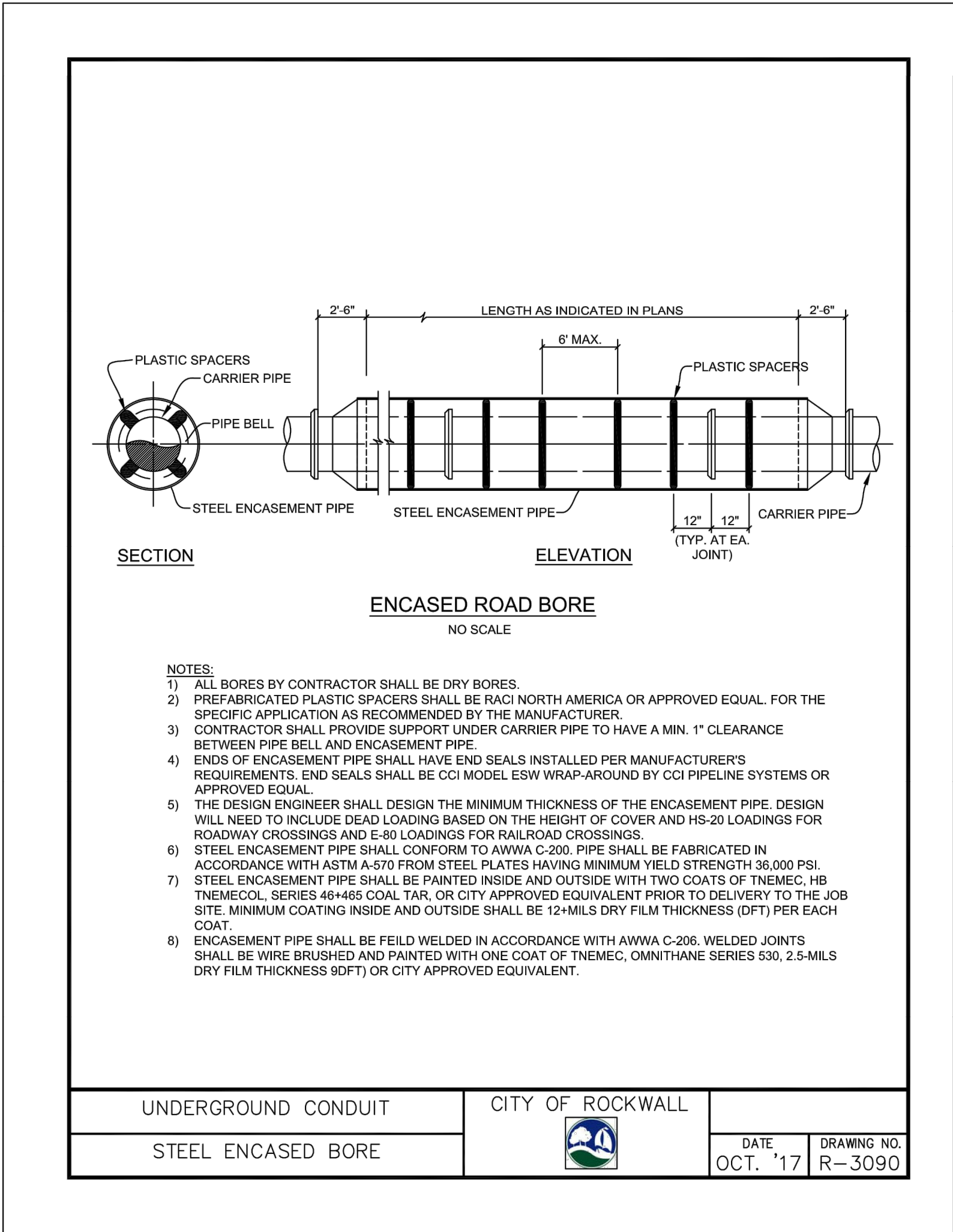
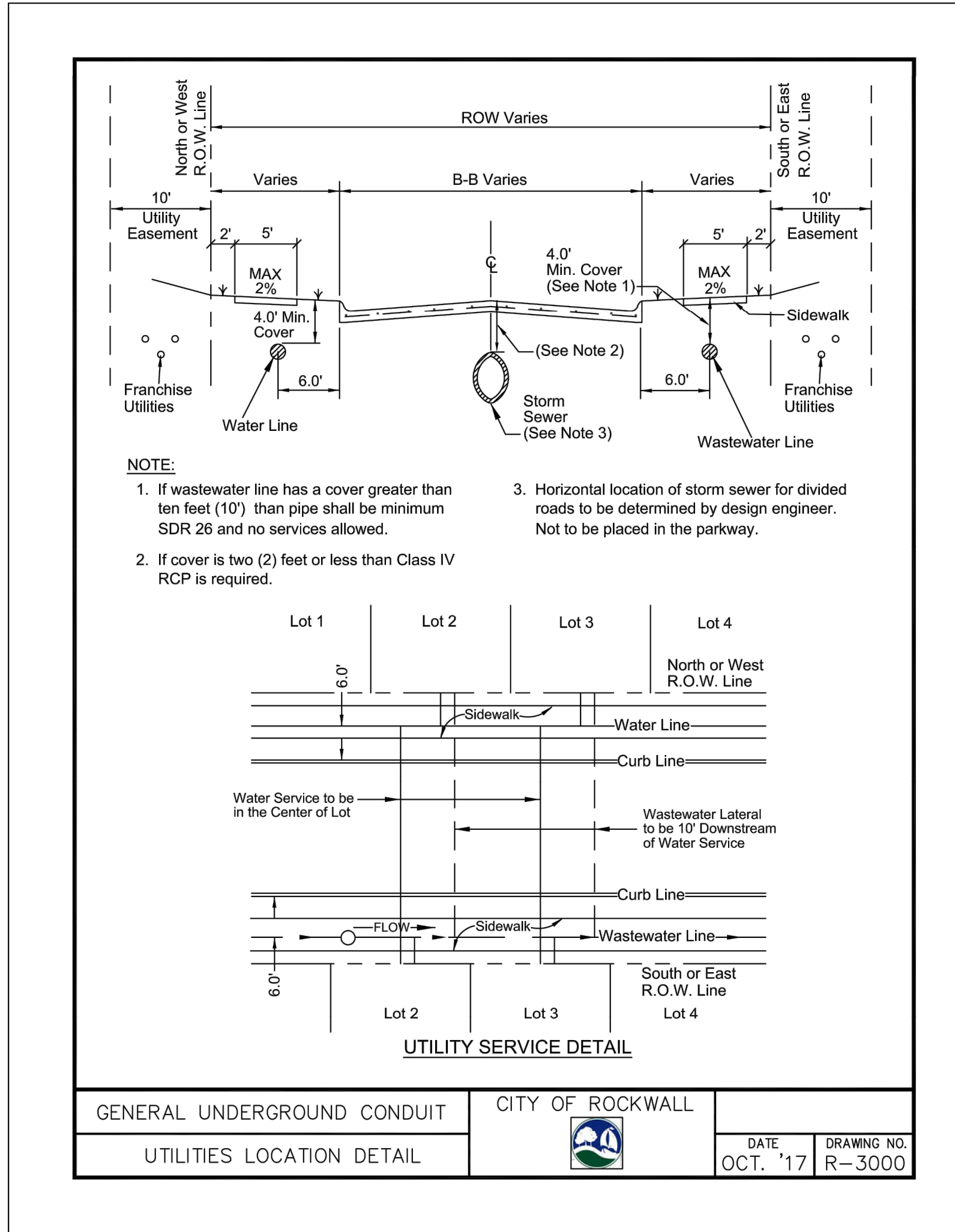




**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

PLOTTED BY: JAT, VRIJABUDDA  
 PLOT DATE: 8/17/2023 11:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-26 CITY CONSTRUCTION DETAILS.DWG  
 LAST SAVED: 8/16/2023 4:31 PM



**PRIVATE CONSTRUCTION  
 DETAILS**



PLOTTED BY: JAT, KRISHNABUDDA  
 PLOT DATE: 8/17/2023 10:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-26 CITY CONSTRUCTION DETAILS.DWG  
 LAST SAVED: 8/16/2023 4:31 PM

**24' Wide Fire Lane with Curbs**  
(Not to Scale)

① SAWED LONGITUDINAL CONTRACTION OR CONSTRUCTION JOINT

**24' Wide Fire Lane**  
(Not to Scale)

① SLOPE VARIES

6" THICK, NATIVE OR SELECT MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY

6" THICK 3600 P.S.I. REINF. CONC. PAVEMENT W/ #3 BARS @ 24" O.C.E.W. (GRADE 60 STEEL) (SEE NOTE 1)

6" THICK 3600 P.S.I. REINF. CONC. PAVEMENT W/ #3 BARS @ 24" O.C.E.W. (GRADE 60 STEEL) (SEE NOTE 1)

**24' Wide Fire Lane**  
(Not to Scale)

6" THICK, NATIVE OR SELECT MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY

6" THICK 3600 P.S.I. REINF. CONC. PAVEMENT W/ #3 BARS @ 24" O.C.E.W. (GRADE 60 STEEL) (SEE NOTE 1)

**NOTES:**

- Street pavement cement content to be no less than 6 sacks per cubic yard for machine placed and not less than 6.5 sacks per cubic yard for hand placed.
- Sidewalk Cement content of not less than 5.5 sack per cubic yard.
- No sand allowed under pavement or sidewalks.

REINFORCED CONCRETE PAVEMENT	CITY OF ROCKWALL	DATE	DRAWING NO.
FIRE LANE		AUG. '19	R-2041

**INTEGRAL WITH SIDEWALK**

REINFORCED CONCRETE RETAINING WALL

CITY OF ROCKWALL

DATE: AUG. '19

DRAWING NO.: R-2180

**NOTES:**

- FOR USE OF THIS STANDARD DETAIL, THE FOLLOWING GEOTECHNICAL SITE CONDITIONS MUST BE MET:
  - MINIMUM ALLOWABLE BEARING PRESSURE: 1,500 PSF
  - MINIMUM COEFFICIENT OF FRICTION: 0.3
  - MAXIMUM ACTIVE PRESSURE COEFFICIENT (Ka): 0.65
- ALL MATERIALS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.
- ALL REINFORCING STEEL SHALL BE GRADE 60.
- ALL CLEAR COVER SHALL BE 2" WHERE FORMED AND 3" WHERE CAST AGAINST EARTH.
- IF ANY SURCHARGE LOAD IS ANTICIPATED AN ENGINEERING DESIGN IS REQUIRED, SEALED BY A REGISTERED ENGINEER IN THE STATE OF TEXAS. THIS INCLUDES DEAD LOAD SURCHARGES AND LIVE LOAD SURCHARGES SUCH AS TRAFFIC LOADS.
- JOINT LOCATIONS SHALL MATCH ON SIDEWALK AND WALL. JOINT SPACING SHALL BE EVERY 30 FEET FOR CONTROL JOINTS AND EVERY 90 FEET FOR EXPANSION AND CONSTRUCTION JOINTS.
- WATERSTOP SHALL BE APPLIED ON THE FILL SIDE OF ALL EXPANSION AND CONSTRUCTION JOINTS.
- WALL FACE SHALL BE FORM LINER OR STONE VENEER WITH RANDOM ROCK ASHLAR PATTERN, NO SMOOTH CONCRETE SURFACE ALLOWED.

**JOINTS AND SPACING**

REINFORCED CONCRETE SIDEWALKS

CITY OF ROCKWALL

DATE: AUG. '19

DRAWING NO.: R-2170

**NOTES:**

- CROSS SLOPE OF SIDEWALK SHALL BE NO GREATER THAN 2%.
- SIDEWALK CONCRETE WITHIN CITY R.O.W. SHALL BE MINIMUM 3,000 PSI (5.5 SACK/CY) CONCRETE.
- ALL SIDEWALKS SHALL MAINTAIN POSITIVE DRAINAGE.
- ALL HONEYCOMB IN BACK OF CURB TO BE TROWEL-PLASTERED BEFORE POURING SIDEWALK.
- MINIMUM WIDTH OF 6" IF SIDEWALK ADJACENT TO CURB A LUGGED INTO THE CURB.
- STEEL WIRE MESH IS NOT ACCEPTABLE.

**STREET HEADERS**

REINFORCED CONCRETE PAVEMENT

CITY OF ROCKWALL

DATE: Mar. 2018

DRAWING NO.: R-2070

STANDARD SPECIFICATION REFERENCE: 305.4

**NOTES:**

- PAVEMENT BARS TO BE BENT DOWN INTO HEADER.
- HEADER AND PAVEMENT TO BE MONOLITHIC.
- BARS EQUAL SIZE OF BARS SPECIFIED IN PAVEMENT REINFORCEMENT.
- ALL WORK BETWEEN HEADERS TO BE DONE BY OTHERS UNLESS OTHERWISE SPECIFIED.
- PAVEMENT BAR
- ROUNDED TO 1/4" RAD.
- SYMMETRICAL ABOUT CENTER LINE.
- RAILROAD HEADER IS TO HAVE A TWO (2) INCH NOTCH INTO THE CONCRETE PAVEMENT FOR THE INSTALLATION OF A HMAC OVERLAY. THE CONCRETE UNDER THE HMAC IS TO BE THE FULL STREET THICKNESS. THE NOTCH SHOULD START AT THE END OF THE PAVEMENT AND GO TWENTY (20) FEET UP THE ROAD AWAY FROM THE CROSSING.

**LONGITUDINAL BUTT JOINT**

REINFORCED CONCRETE PAVEMENT

CITY OF ROCKWALL

DATE: OCT. '17

DRAWING NO.: R-2051

**NOTES:**

- LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
- DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
- DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.

**JOINTS**

REINFORCED CONCRETE PAVEMENT

CITY OF ROCKWALL

DATE: Mar. 2018

DRAWING NO.: R-2050

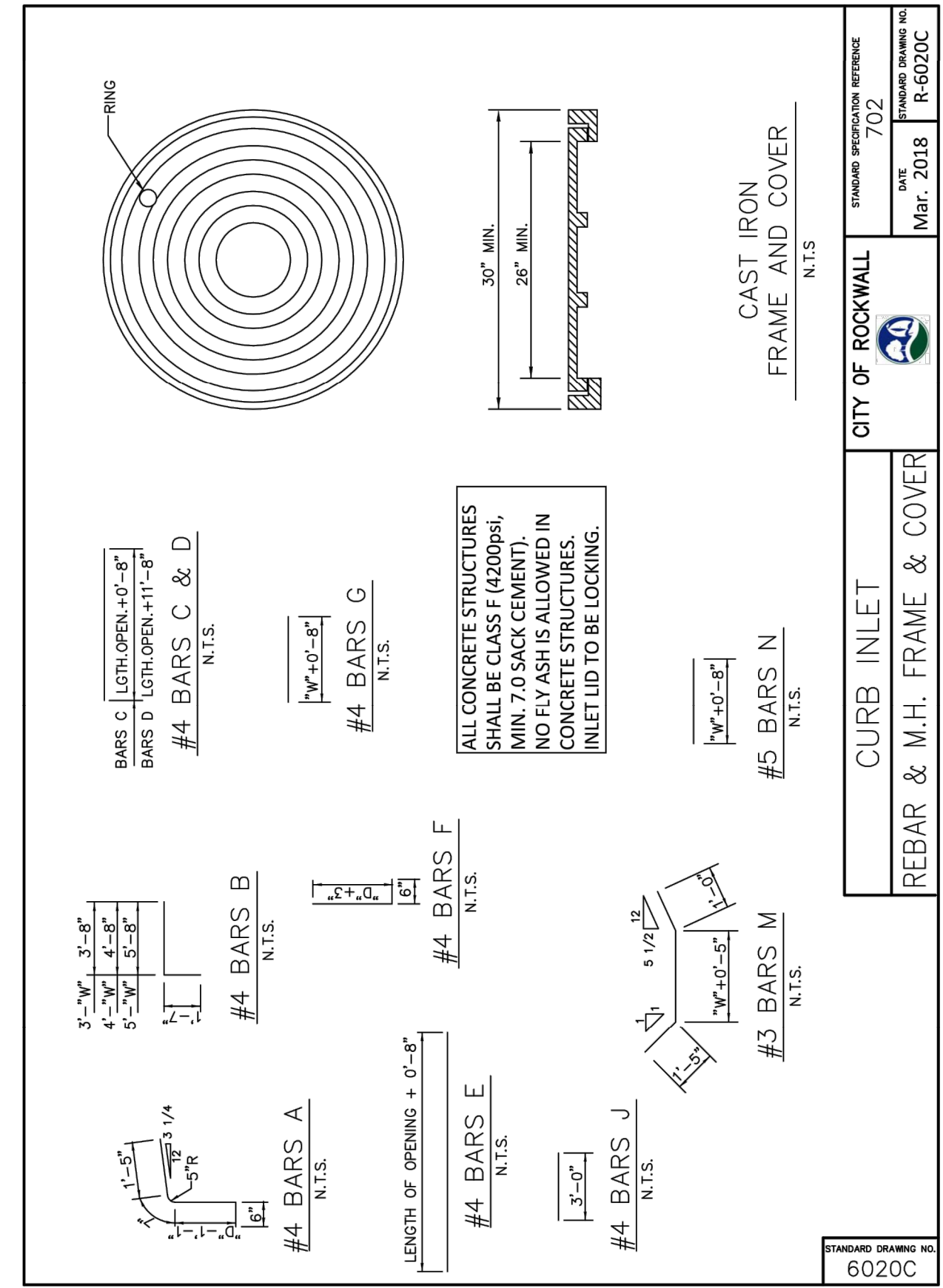
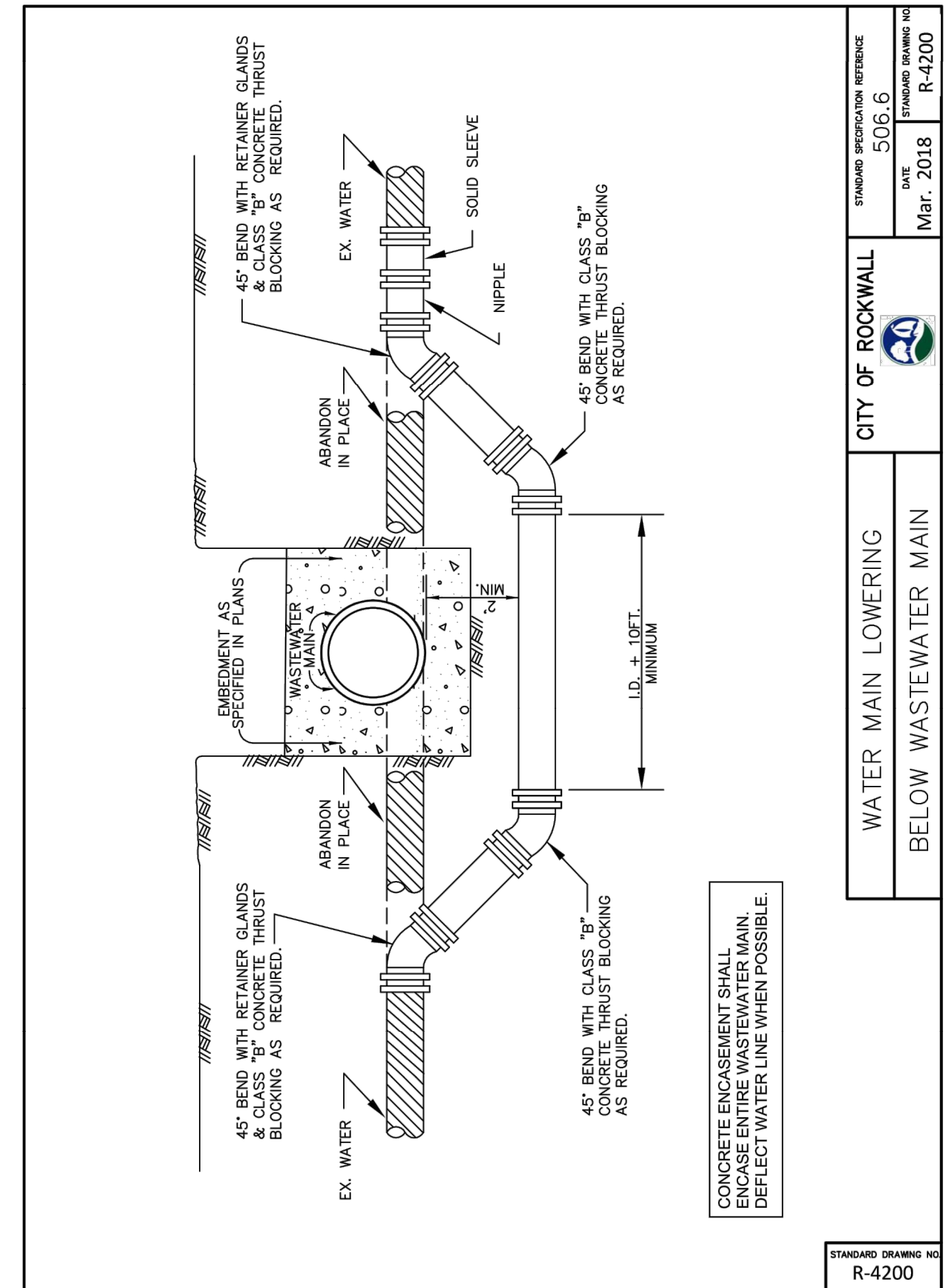
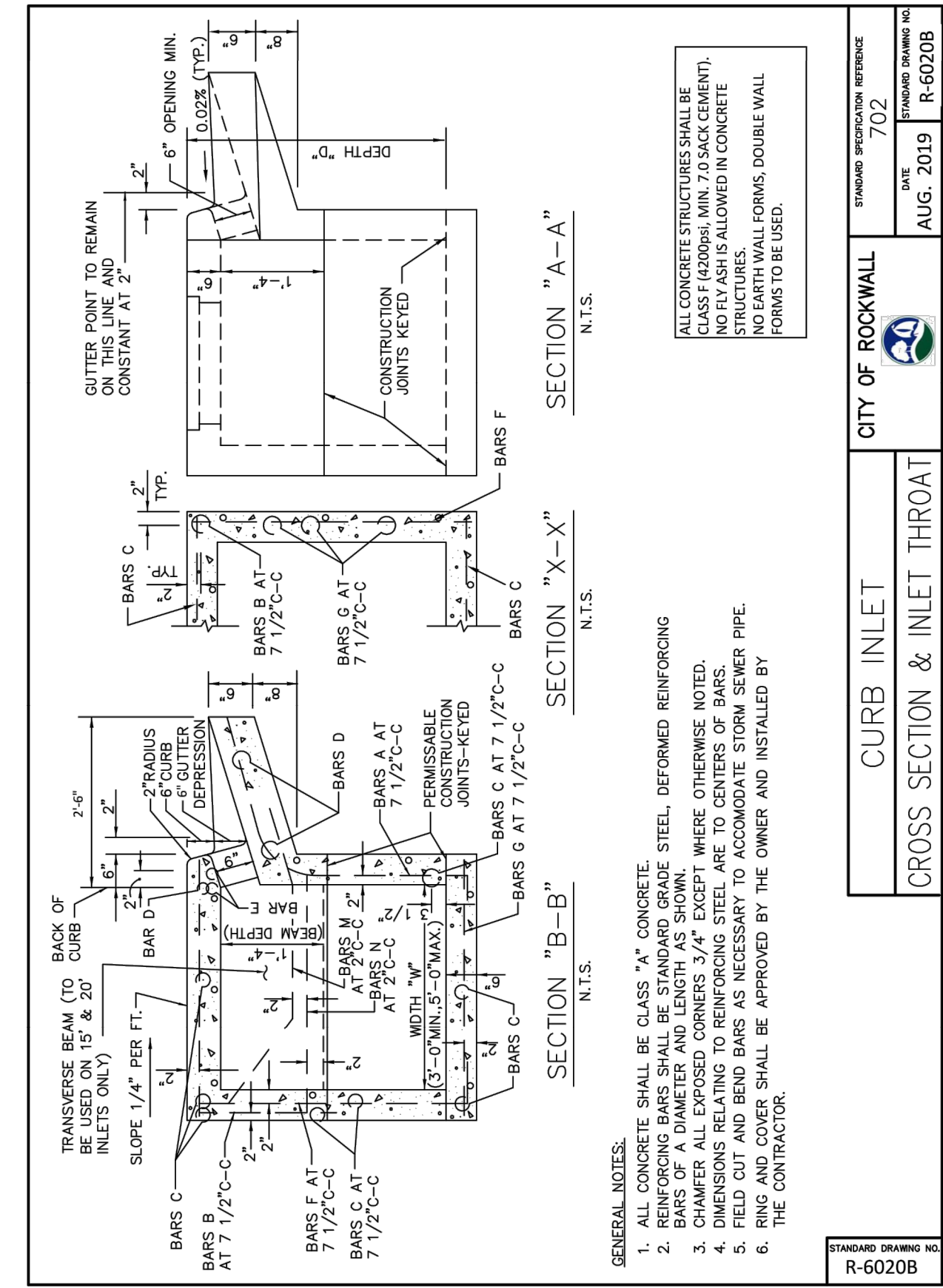
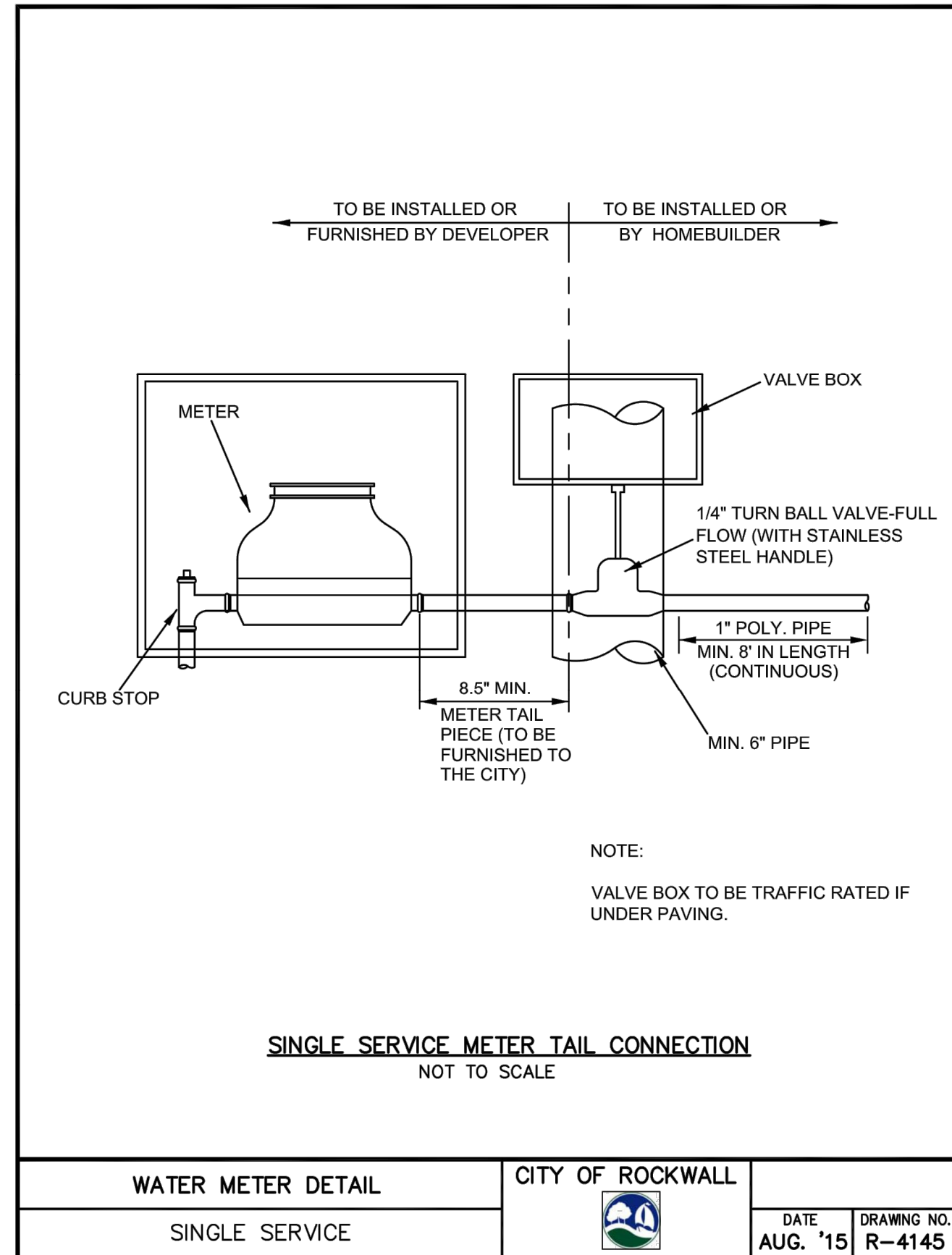
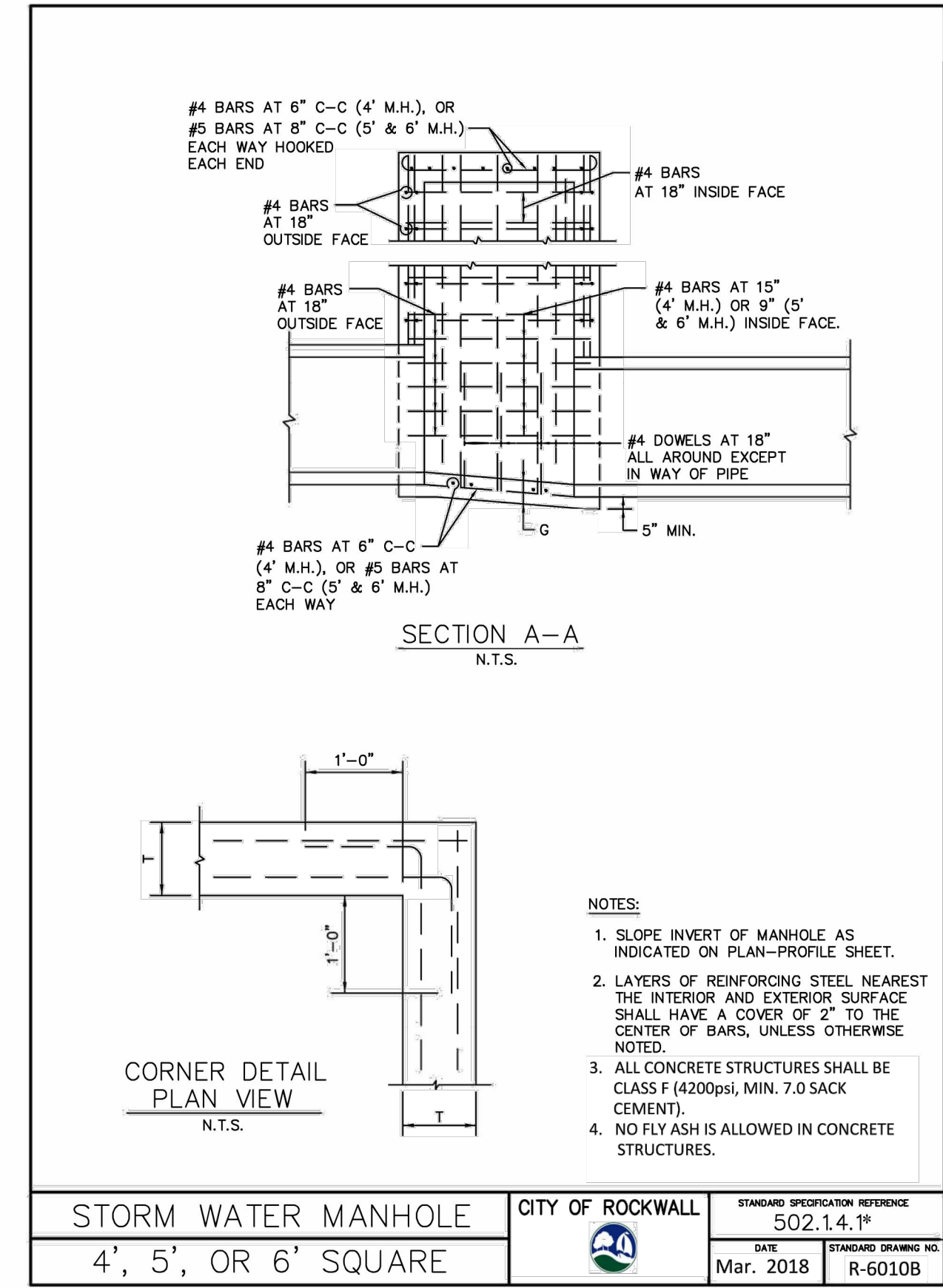
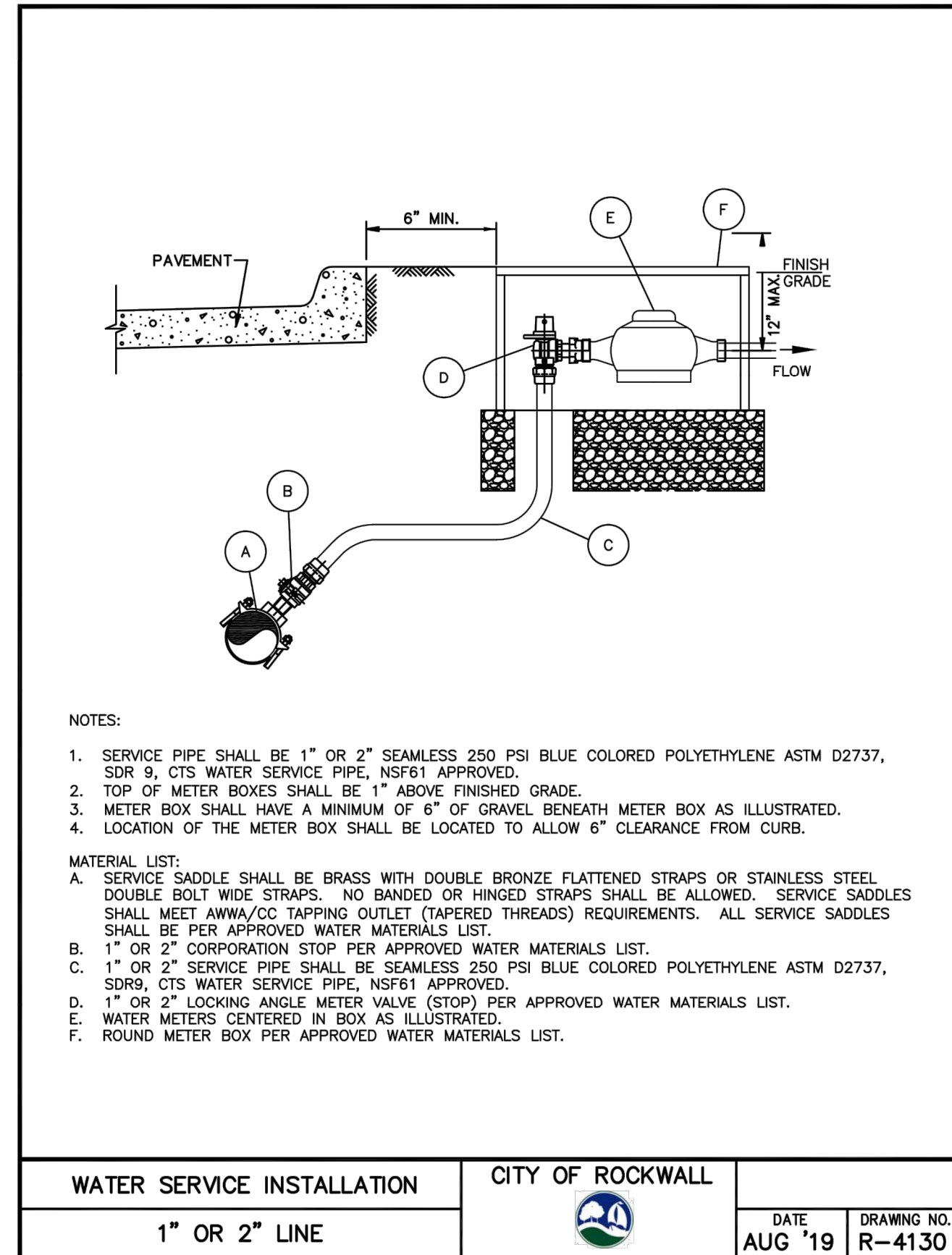
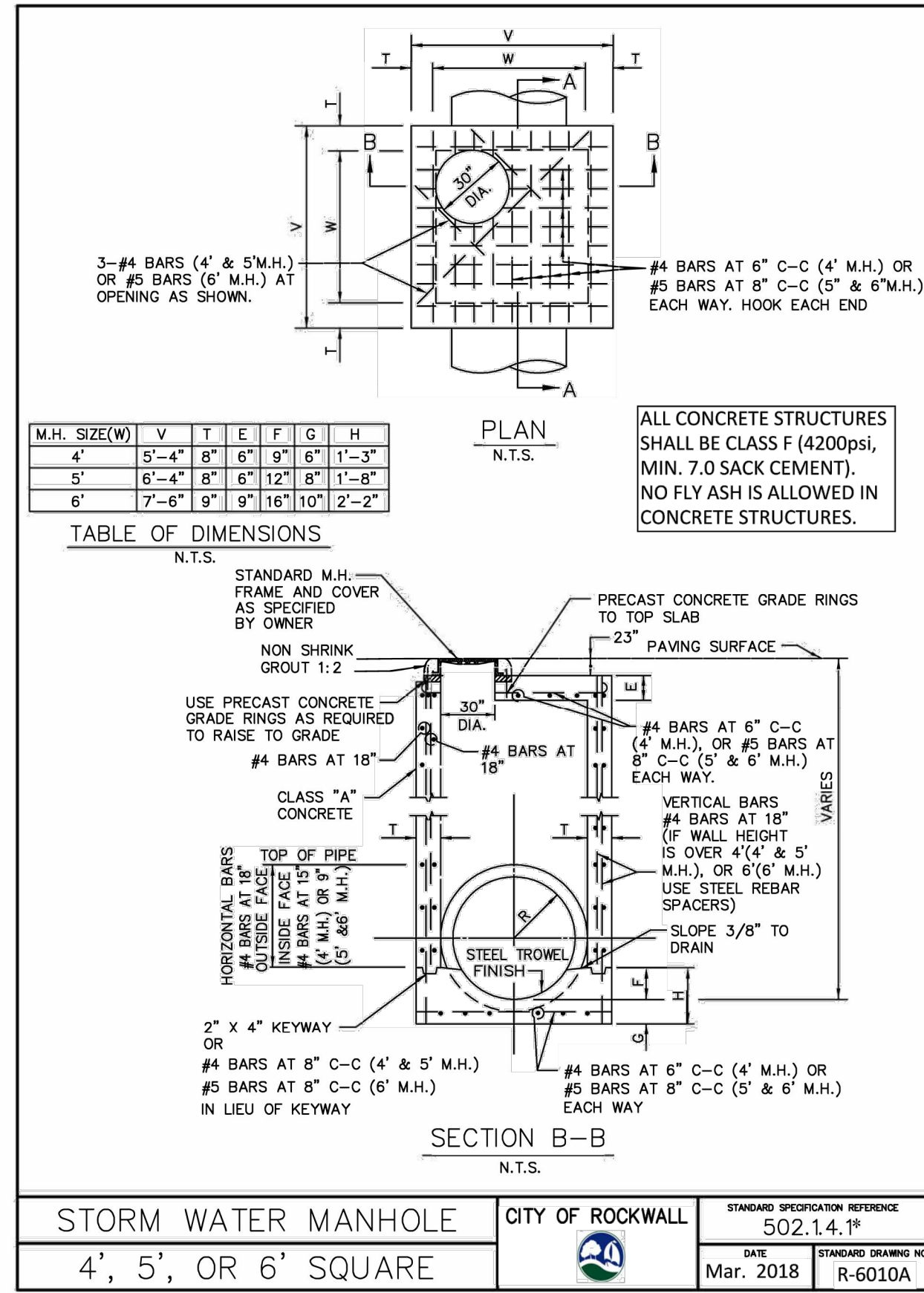
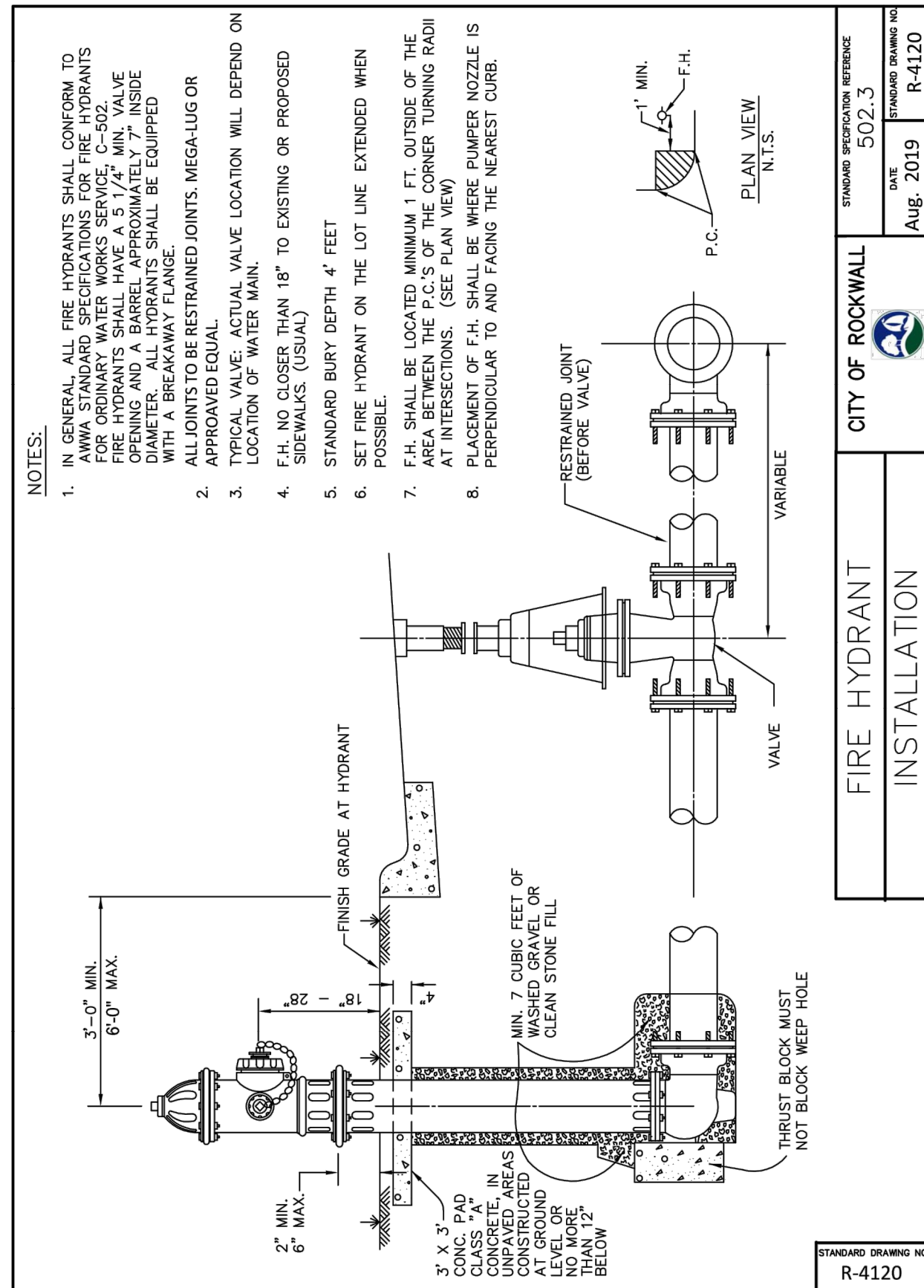
STANDARD SPECIFICATION REFERENCE: 303.5.4

**NOTE:**

REINFORCING SHALL BE - #3 BARS AT 24" FOR 6" THICK PAVEMENT AND LESS, #4 BARS AT 18" FOR 8" THICK PAVEMENT AND GREATER.



PLOTTED BY: JAT KRUBIARUDDA  
 PLOT DATE: 8/17/2023 12:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-26 CITY CONSTRUCTION DETAILS.DWG  
 LAST SAVED: 8/16/2023 4:31 PM



**CITY CONSTRUCTION DETAILS**

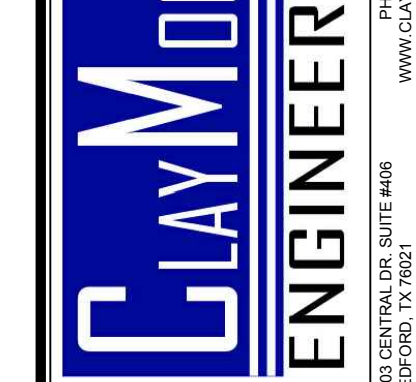
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

**SHEET**  
**C-25**

File No. 2022-002

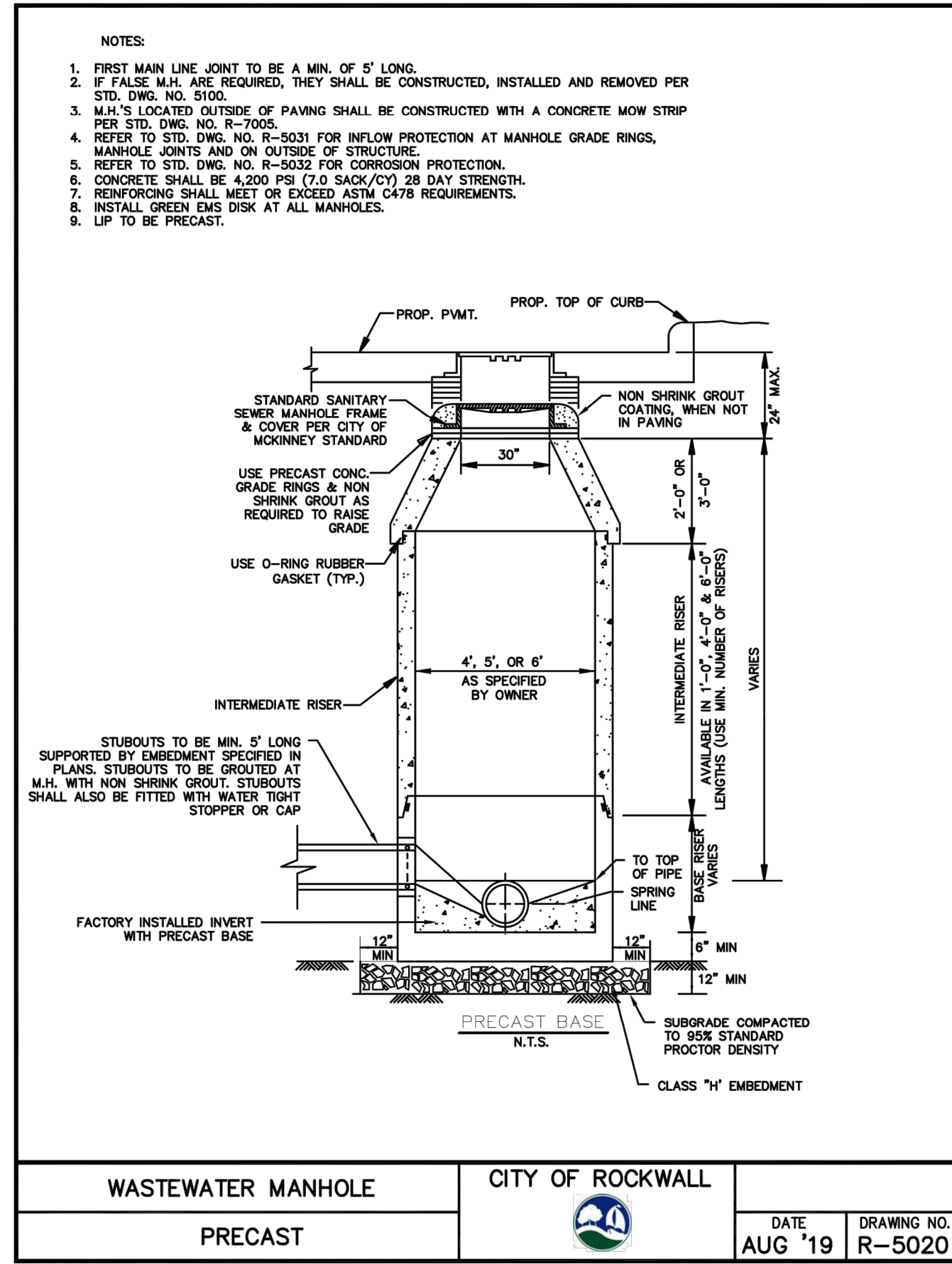
**DUWEST ROCKWALL**  
**SH 205 & QUAIL RUN RD**  
**ROCKWALL, TX**

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Exp. 8/17/2023

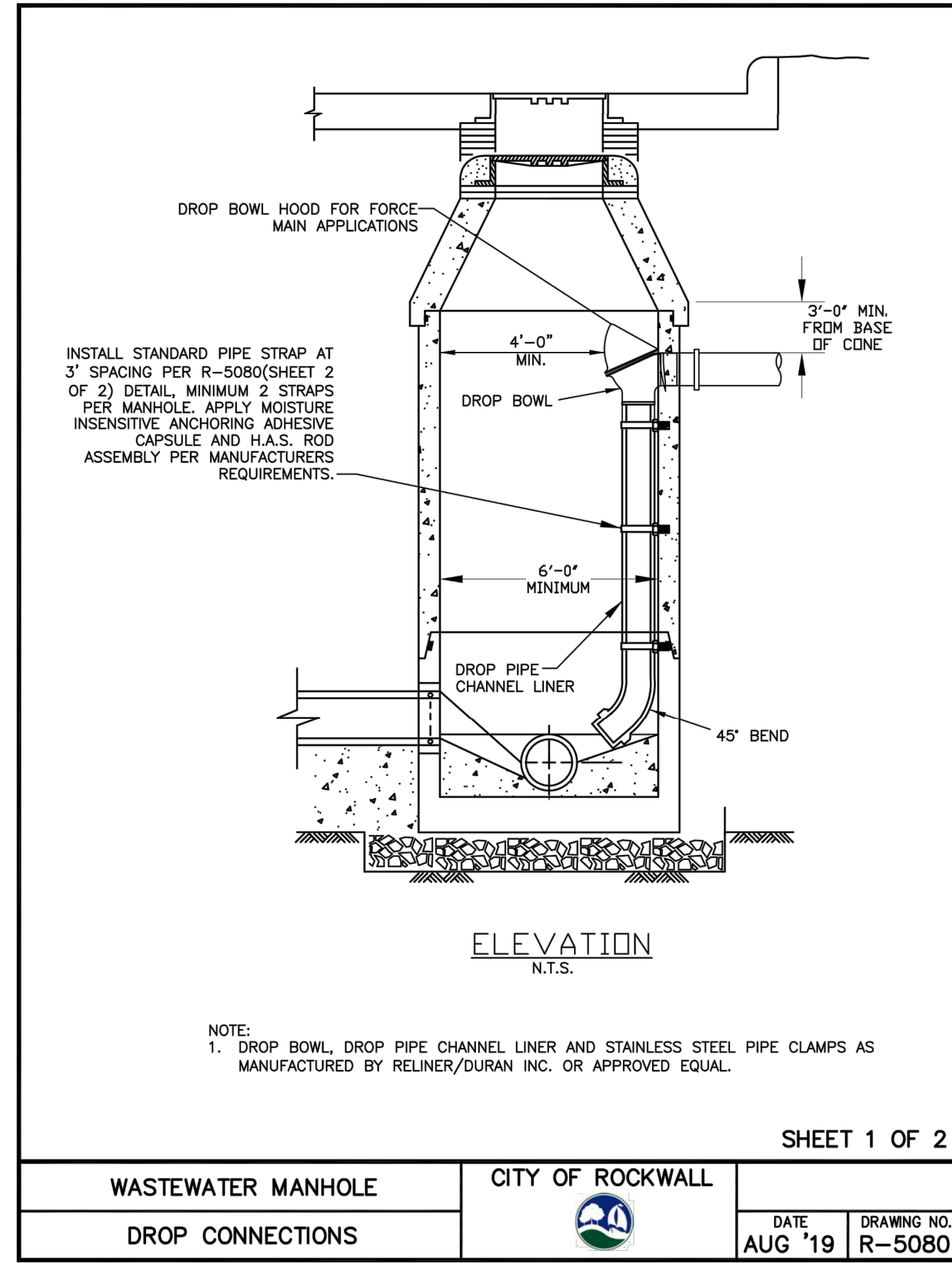




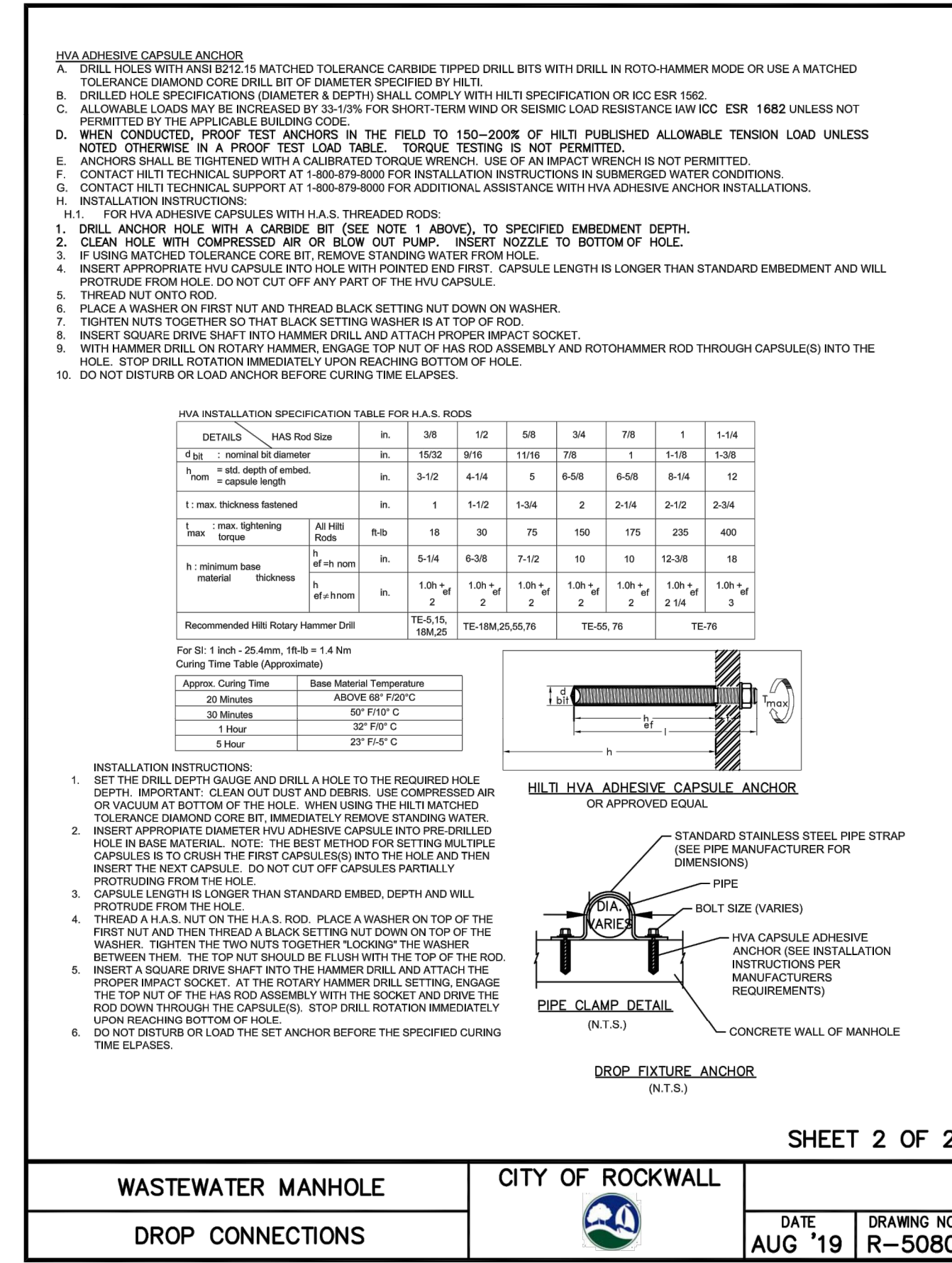
PLOTTED BY: IAT KRUBARUDDA  
 PLOT DATE: 8/17/2023 11:20 AM  
 PLOT LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\C-26 CITY CONSTRUCTION DETAILS.DWG  
 LAST SAVED: 8/16/2023 4:31 PM



WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE	DRAWING NO.
PRECAST		AUG '19	R-5020



WASTEWATER MANHOLE	CITY OF ROCKWALL	DATE	DRAWING NO.
DROP CONNECTIONS		AUG '19	R-5080

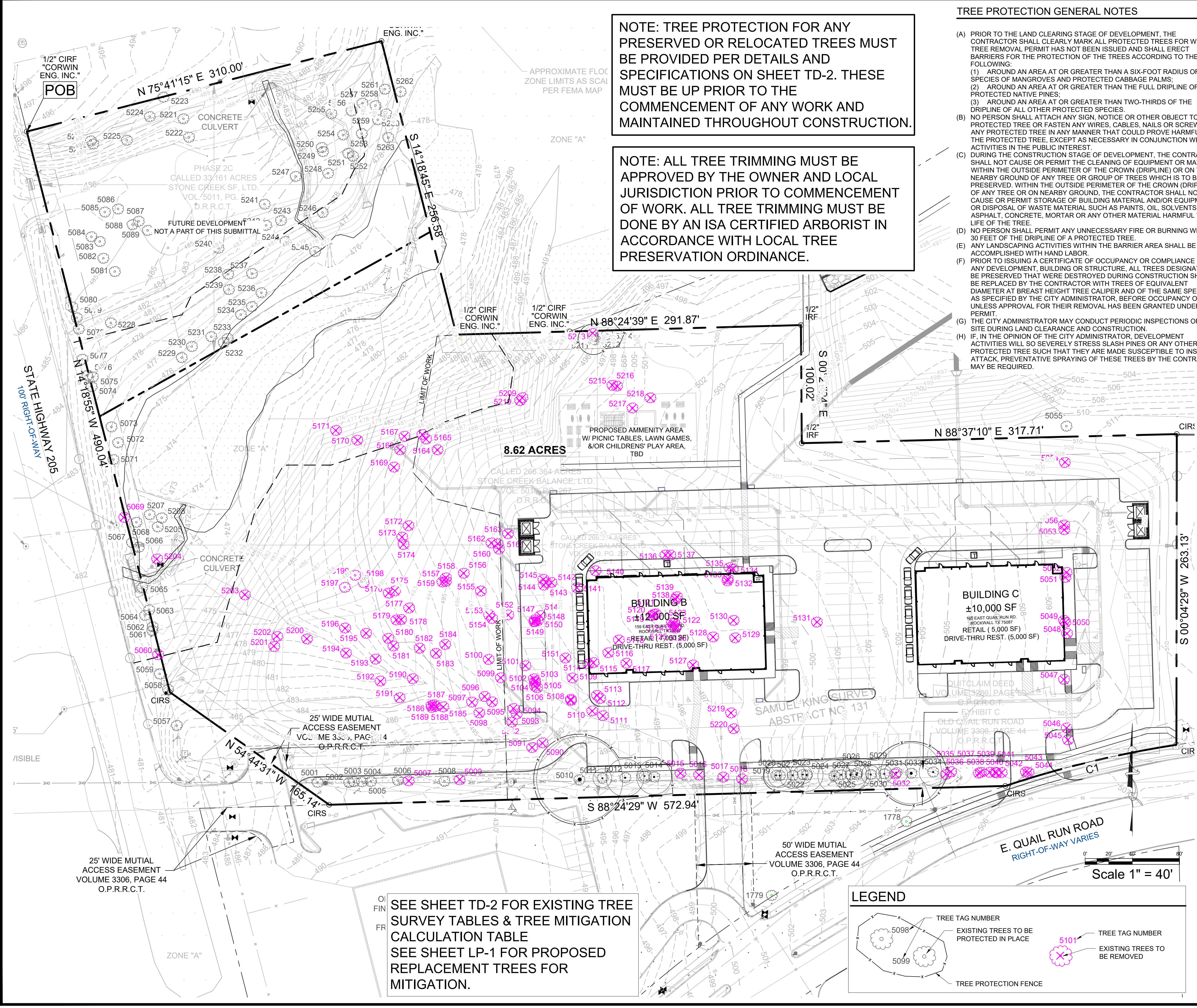








PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:53 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TD-2022-08-10.DWG  
 LOCATION: 8/11/2023 2:51 PM  
 LAST SAVED:



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**TREE PROTECTION GENERAL NOTES**

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

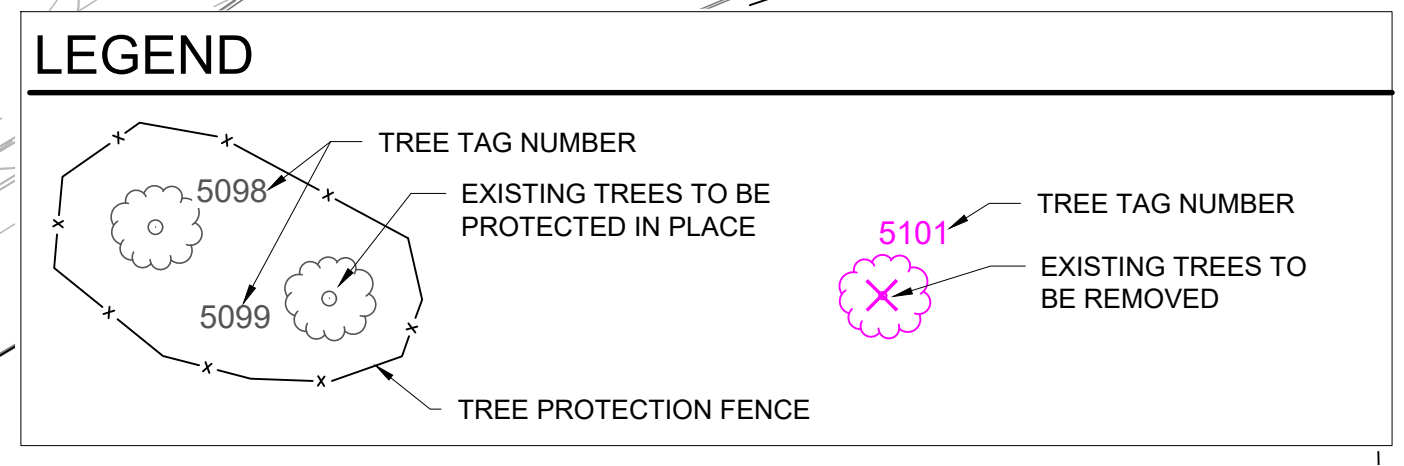
**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES
PARKING PROVIDED	
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
<b>TOTAL MITIGATION PROVIDED:</b>	<b>1044.5"</b>

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE  
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)**

**OWNER:**  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER**  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP  
 (800) 680-6630  
 15455 Dallas Pkwy., Ste 600  
 Addison, TX 75001  
 www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF TEXAS  
 3422  
 08/11/2022

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, Date: 8/11/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**TREESCAPE PLAN**

**TD-1**

SHEET  
 DATE: 04/05/2022  
 CHECKED: CLC  
 DRAWN: LRR  
 DESIGN: LRR

File No. 2022-002  
 CASE # SP2022-012



EXISTING TREE SURVEY

TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC**	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC**	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW**	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*
SHADED ROWS INDICATE TREES TO BE REMOVED		
* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES		
**NON-PROTECTED TREES		

TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC**	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251
SHADED ROWS INDICATE TREES TO BE REMOVED		
* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES		
**NON-PROTECTED TREES		

TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC**	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC**	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW**	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14
TOTAL CALIPER INCHES		1,599
CALIPER INCHES NON-PROTECTED		623
TOTAL CALIPER INCHES PROTECTED		1,165
TOTAL CAL. IN. DEAD OR POOR COND.		68
TOTAL CALIPER INCHES REMOVED*		716
TOTAL CALIPER INCHES PRESERVED		449
MITIGATION REQUIRED		1,058*
SHADED ROWS INDICATE TREES TO BE REMOVED		
* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES		
**NON-PROTECTED TREES		

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND (\$200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0							
REQUESTING ALTERNATIVE TREE MITIGATION SETTLEMENT (\$100 / CALIPER INCH)								

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD**  
 ABSTRACT. NO 131  
 8.684 AC (378,275 SF)

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN**

**EXISTING TREE INVENTORY**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

SHEET

**TD-2**

File No. 2022-002

CASE # SP2022-012



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, Date: 8/11/2023

**DUWEST ROCKWALL**  
**SH 205 & QUAIL RUN RD**  
**ROCKWALL, TX**

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:56 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TD-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

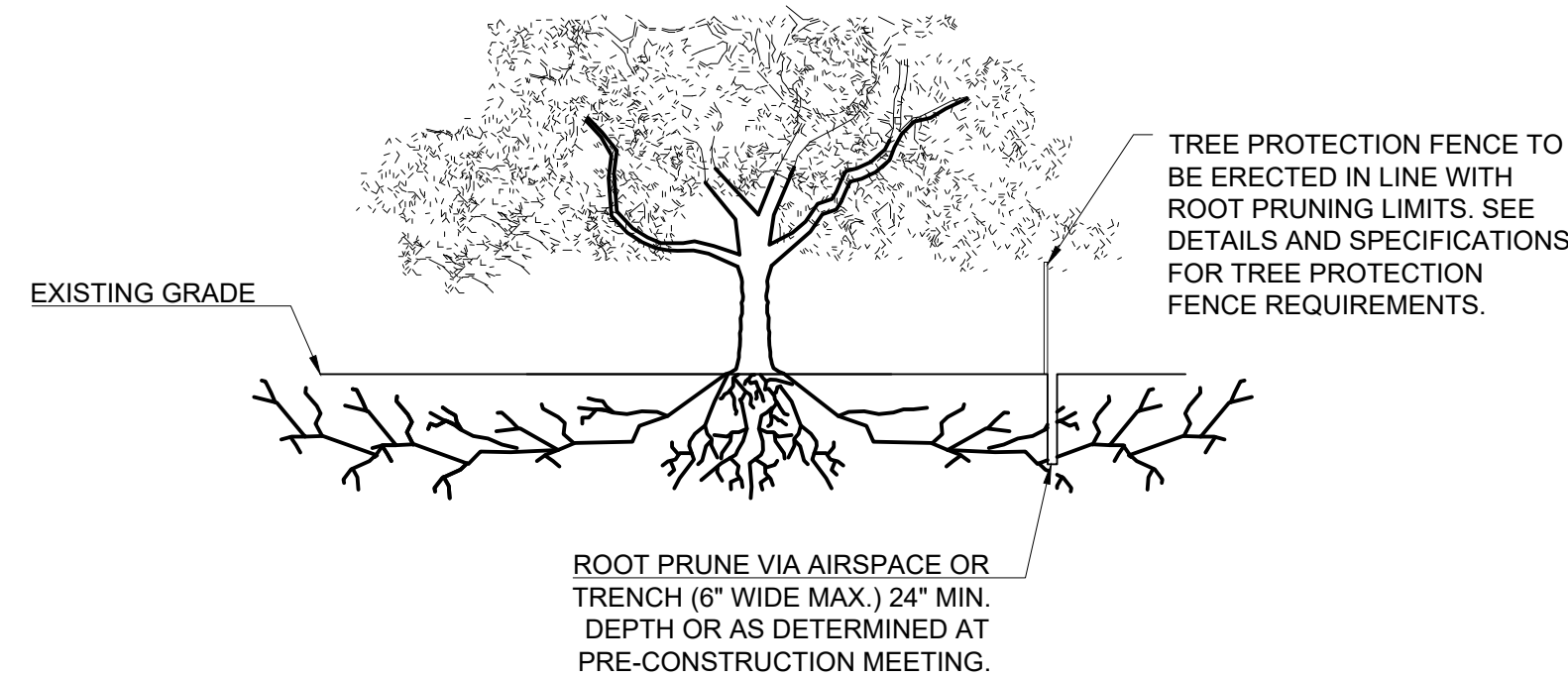
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

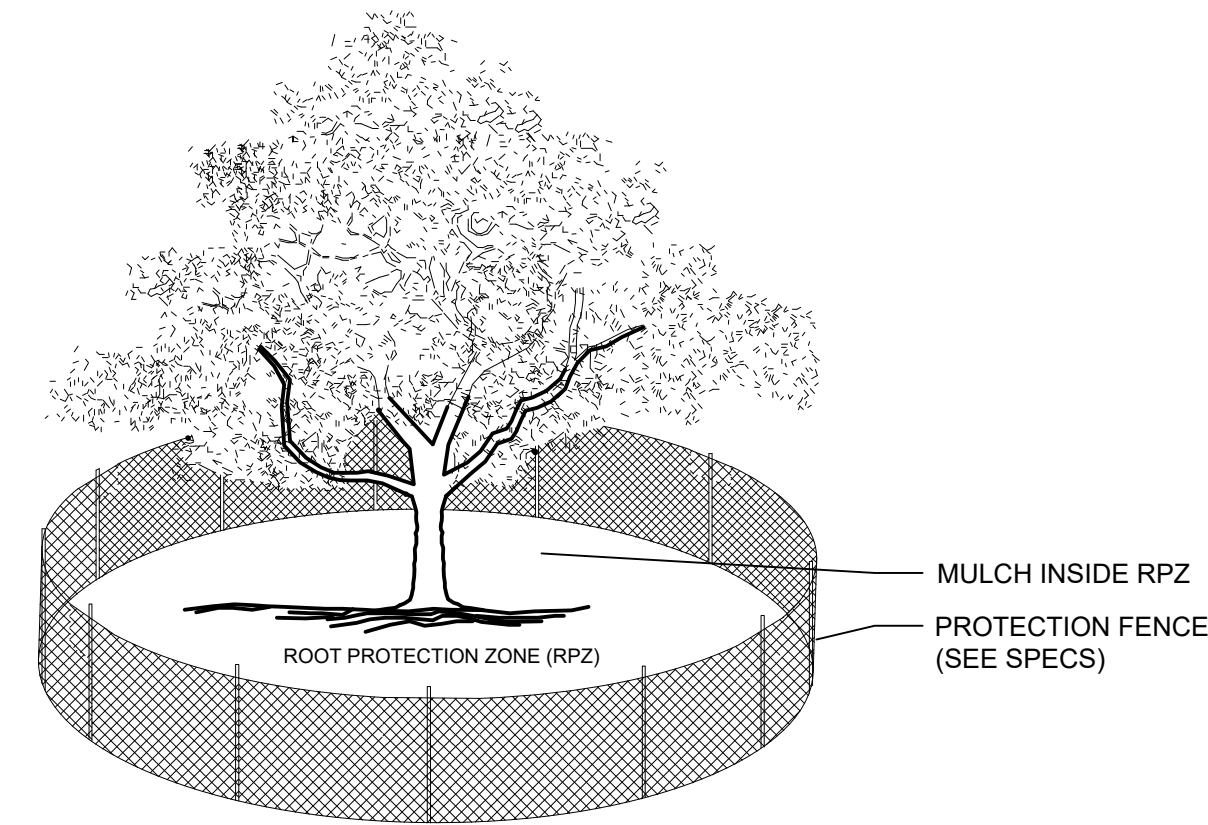
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



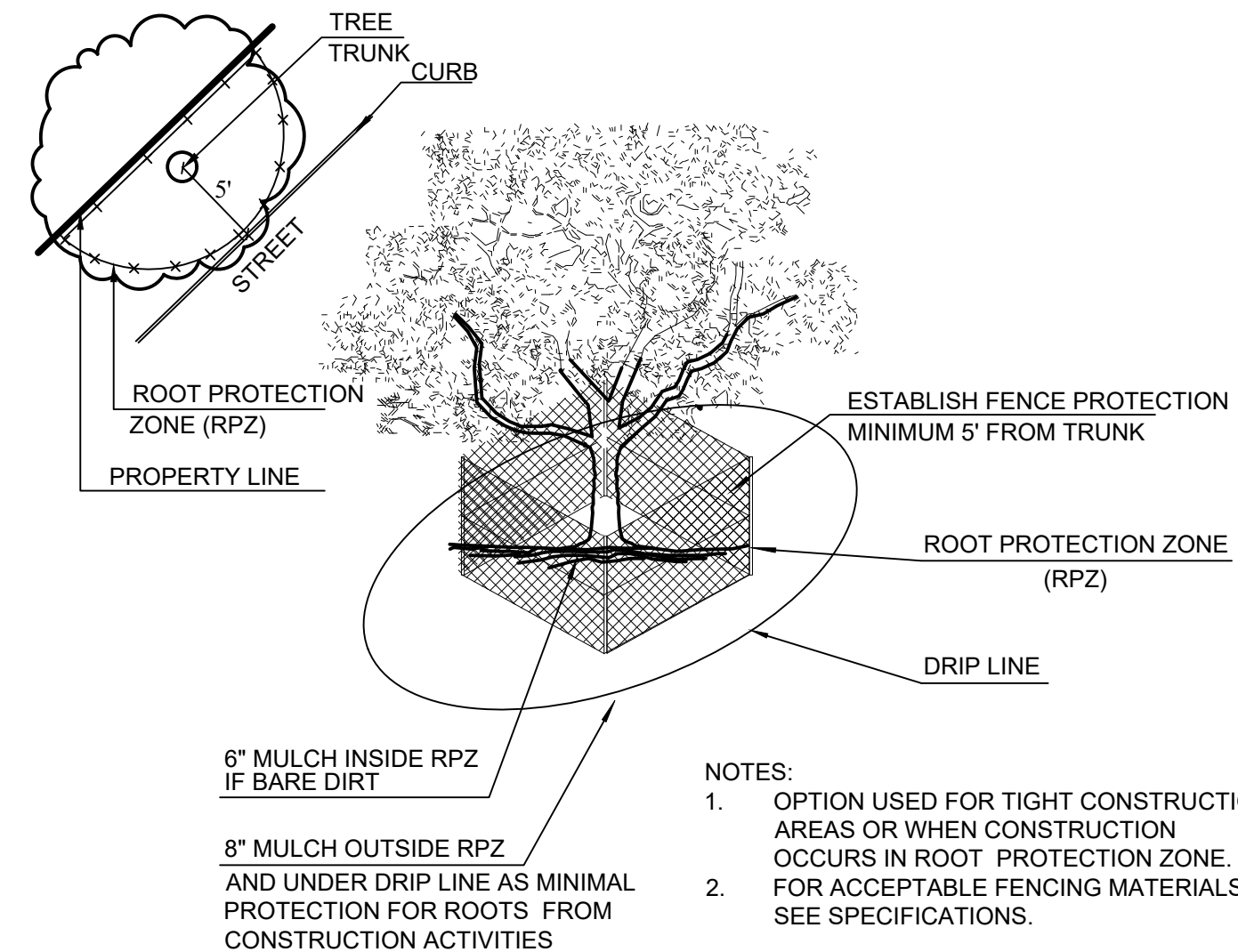
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



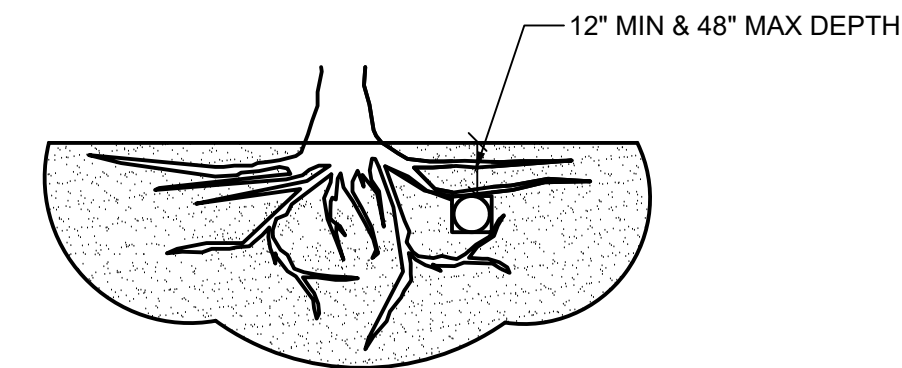
**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

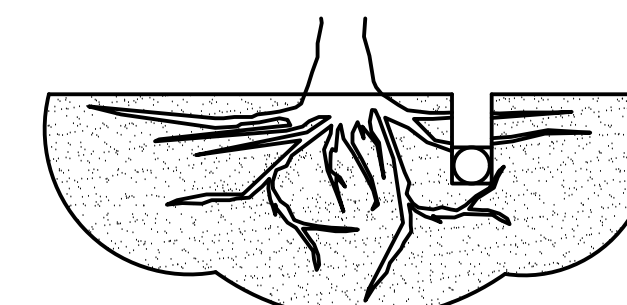
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

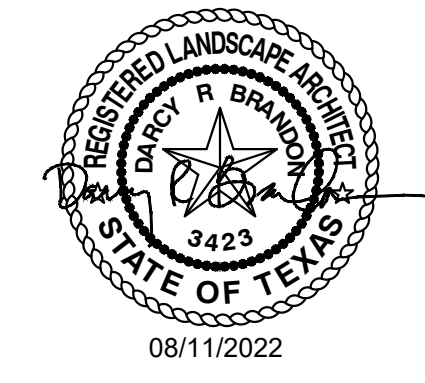


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE



**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS  
DREW DONOSKY  
Engineer, 125651, State, 8/11/2023  
P.E. No. 125651, State, 8/11/2023

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**DUWEST ROCKWALL, TX**

**LEGAL DESCRIPTION AND OR ADDRESS:**

STONE CREEK BALANCE LTD  
ABSTRACT, NO 131  
8.684 AC (378,275 SF)

**OWNER:**

DUWEST REALTY, LLC  
4403 N.CENTRAL EXWAY SUITE #200  
DALLAS, TX 75025  
CONTACT: BOWEN HENDRIX  
PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
CONTACT: DREW DONOSKY  
PH: 817.281.0572

**CASE NUMBER**

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**TREESCAPE PLAN  
DETAILS & SPECIFICATIONS**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022

SHEET

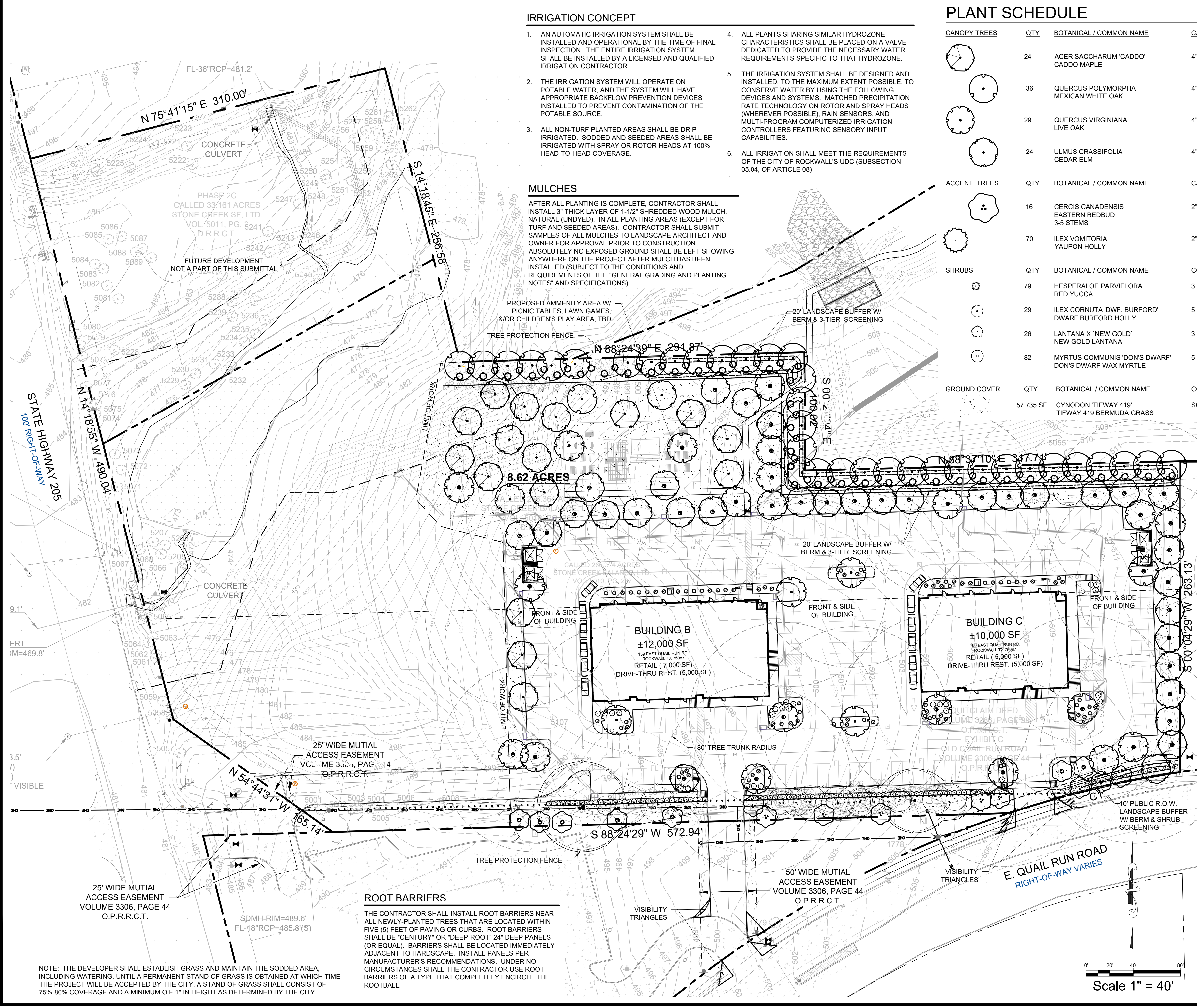
**TD-3**

File No. 2022-012  
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:57 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TD-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM



PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 4:20 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: 8/11/2023 4:20 PM  
 LAST SAVED: 8/11/2023 4:20 PM



**IRRIGATION CONCEPT**

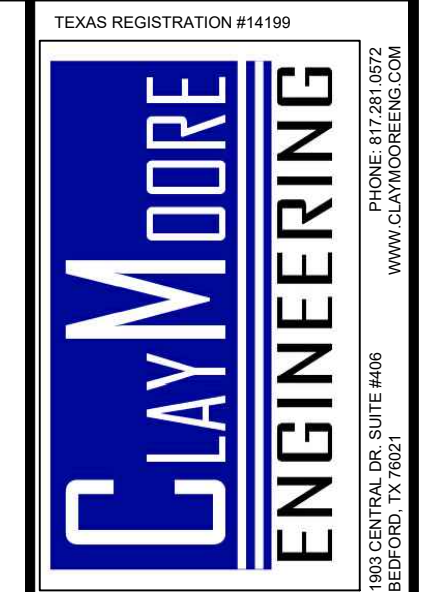
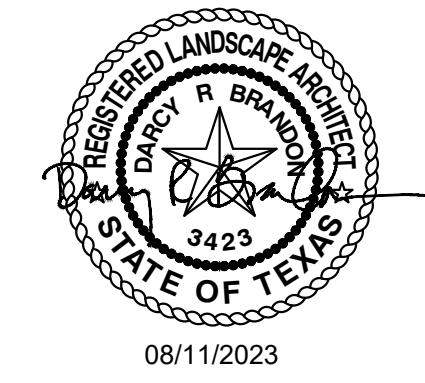
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**PLANT SCHEDULE**

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 P.E. No. 125651, Exp. 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

DUWEST ROCKWALL, TX  
 LEGAL DESCRIPTION AND OR ADDRESS:  
 STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)

**OWNER:**  
 DuWest Realty, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER:**  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

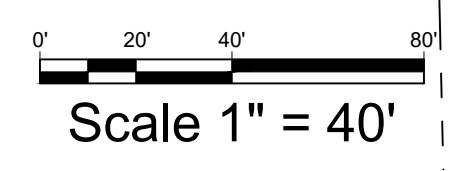
**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**LANDSCAPE PLANTING  
 PLAN**

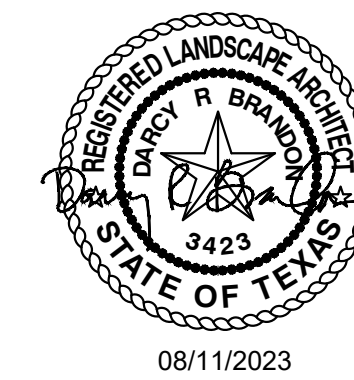
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

SHEET  
**LP-1**  
 File No. 2022-002  
 CASE # SP2022-012

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.





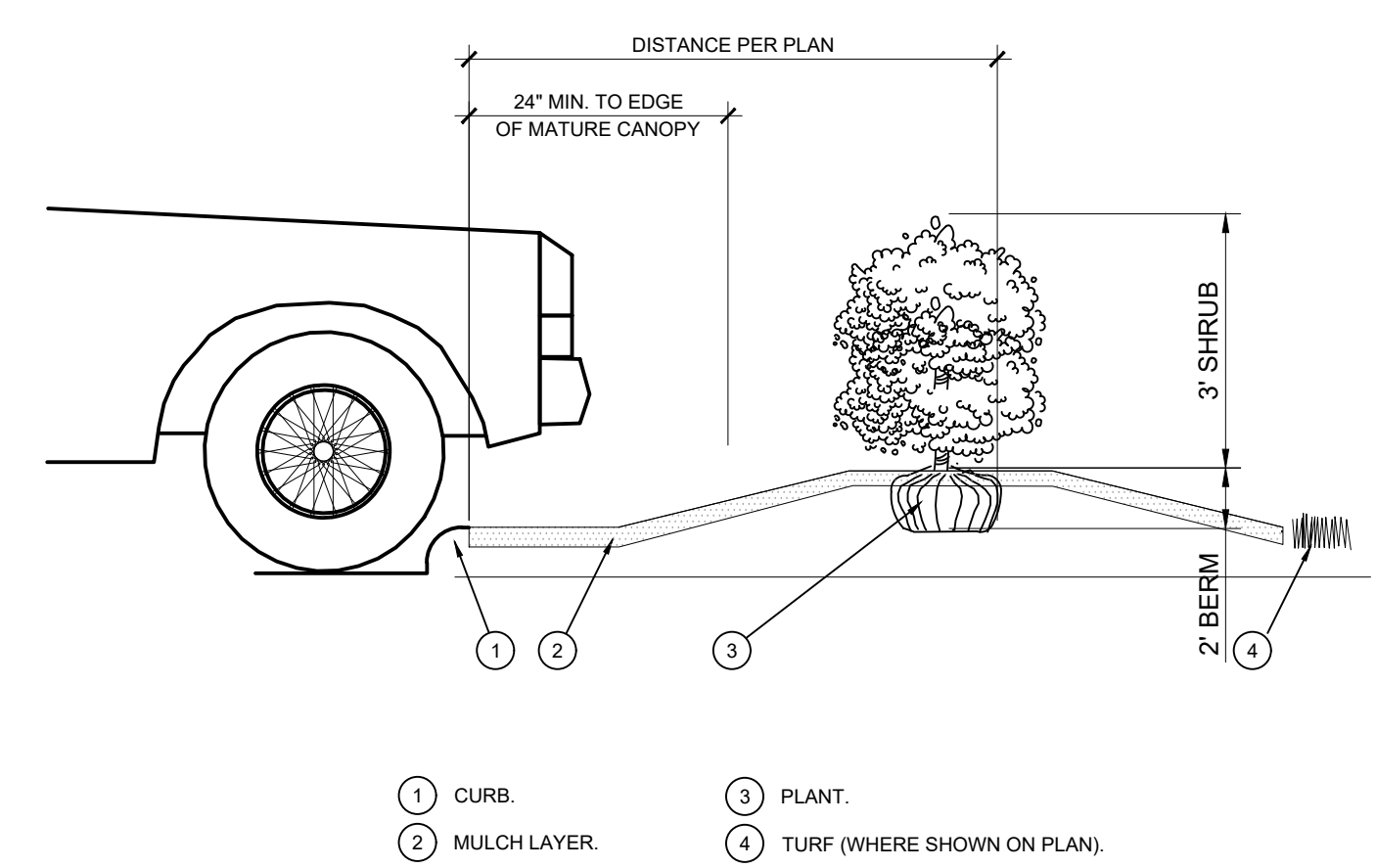


**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANT  
DREW DONOSKY  
Engineer, P.E. No. 125651, Date 8/11/2023

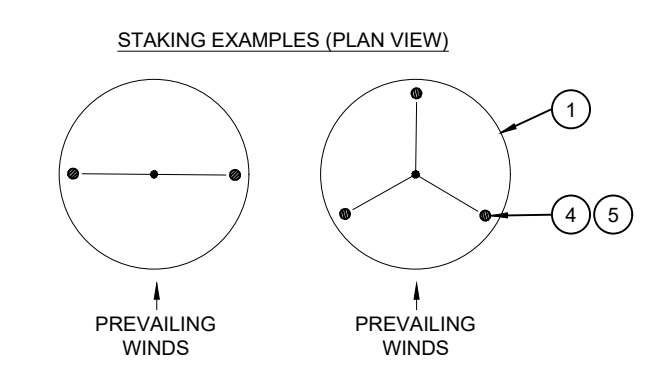
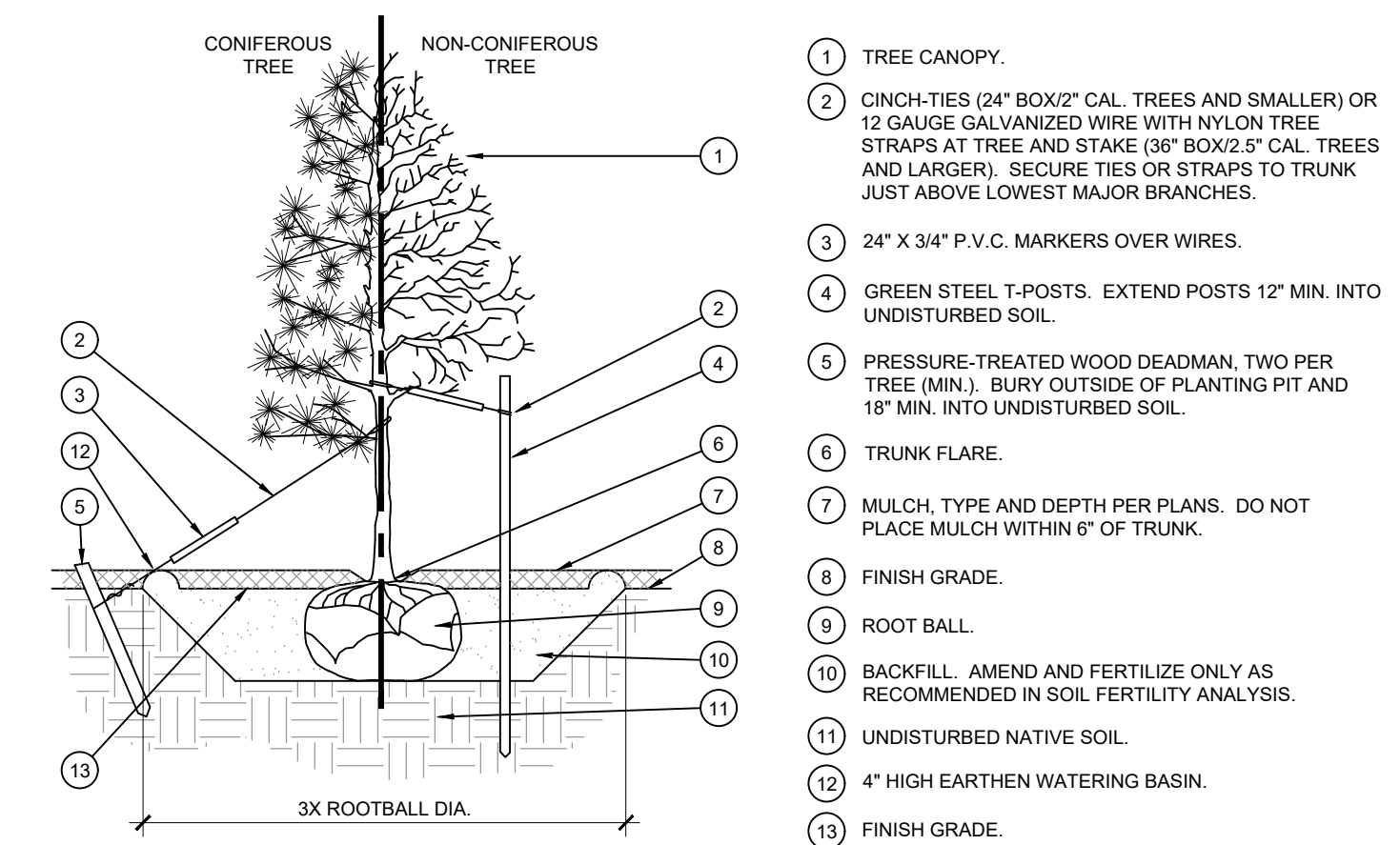
**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**LANDSCAPE STANDARDS  
PLANTING  
DETAILS & NOTES**

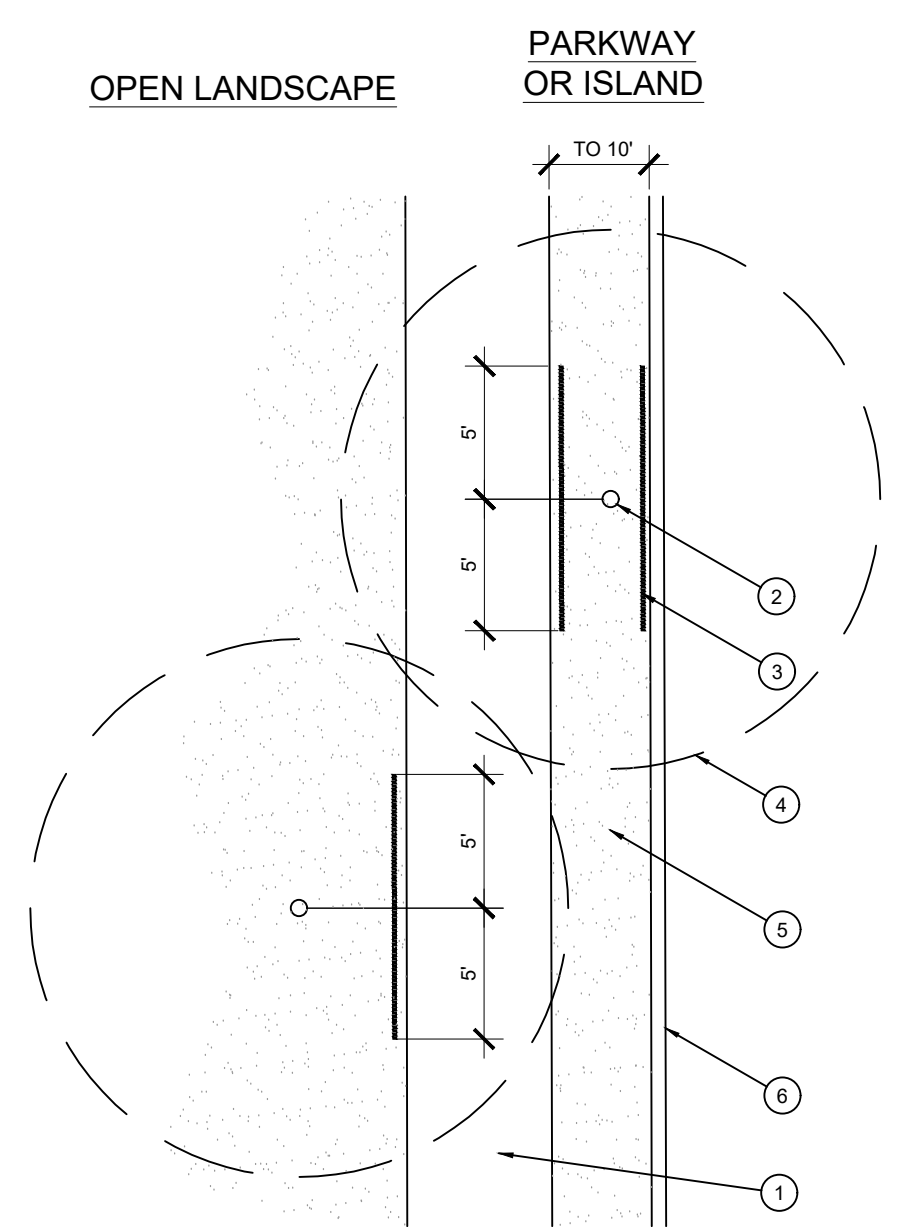
DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022  
SHEET  
**LP-2**  
File No. 2022-002  
CASE # SP2022-012



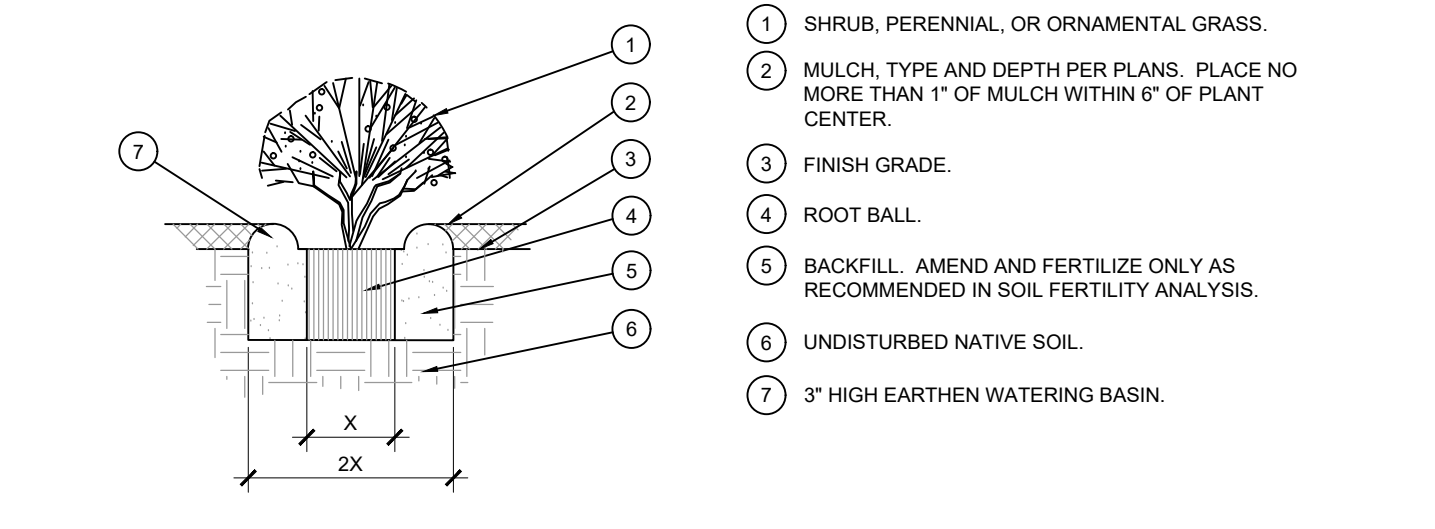
**D PLANTING AT PARKING AREA**  
SCALE: NOT TO SCALE



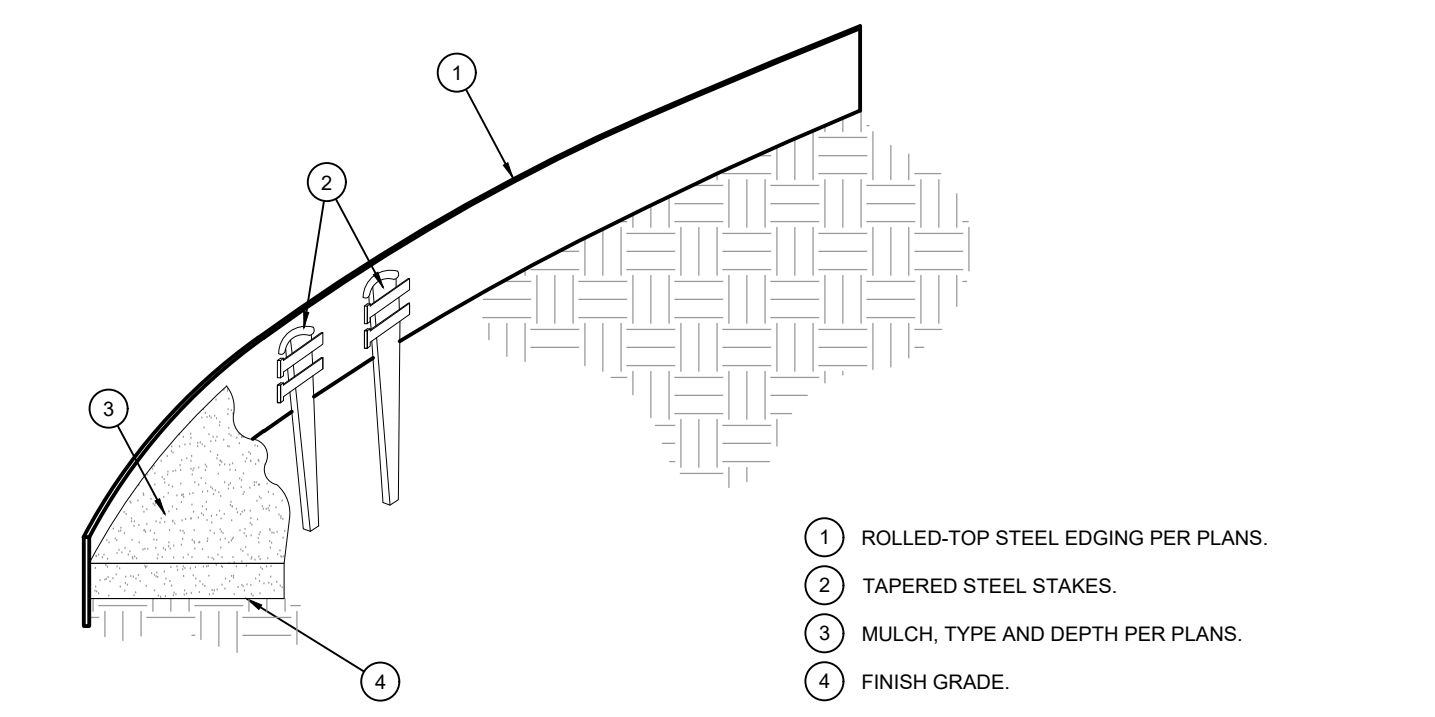
**A TREE PLANTING**  
SCALE: NOT TO SCALE



**E ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



**D STEEL EDGING**  
SCALE: NOT TO SCALE

LANDSCAPE STANDARDS	
<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
<b>E. QUAIL RUN RD.:</b> ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
<b>REQUIRED PLANTING:</b> PROVIDED 10' BUFFER:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS 2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS 3-TIERED BUFFER REQ.
<b>SOUTH PROPERTY LINE BUFFER:</b>	10 REDBUDS
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
<b>PROVIDED SCREENING</b>	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
<b>SCREENING FROM RESIDENTIAL</b>	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b> TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	4311,062 SF 62,212.4 SF (20%) ± 186,529 SF (60%)
<b>LOCATION OF LANDSCAPING:</b>	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
<b>LANDSCAPE AREAS IN FRONT &amp; SIDES OF BUILDINGS:</b>	61,293 SF (98.5%)
<b>MIN. SIZE OF AREAS</b>	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
<b>DETENTION BASINS</b>	NONE PROPOSED
<b>PARKING LOT LANDSCAPING</b>	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
<b>PROPOSED PARKING AREA:</b> <b>PROPOSED PARKING LOT LANDSCAPING:</b>	±5,011 SF ±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLOTTED BY: DARCY BRANDON 8/11/2023 4:19 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LAST SAVED: 8/11/2023 4:18 PM









# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Not Assigned Yet**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **NEC C Quail Run Road and 205**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-70**

CURRENT USE **Vacant**

PROPOSED ZONING **PD-70**

PROPOSED USE **Commercial retail**

ACREAGE **8.684**

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **DuWest Realty, LLC**

APPLICANT **ClayMoore Engineering**

CONTACT PERSON **Bowen Hendrix**

CONTACT PERSON **Lynn Rowland**

ADDRESS **4403 North Central Expressway  
Suite 200**

ADDRESS **1903 Central Drive  
Suite 406**

CITY, STATE & ZIP **Dallas, Tx 75025**

CITY, STATE & ZIP **Bedford, Tx**

PHONE **214-918-1804**

PHONE **817.281.0572**

E-MAIL **bowen@duwestrealty.com**

E-MAIL **Lynn@claymooreeng.com**

## NOTARY VERIFICATION [REQUIRED]

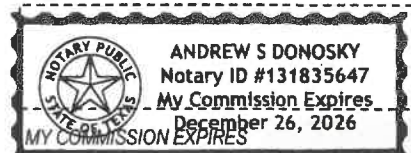
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023

OWNER'S SIGNATURE

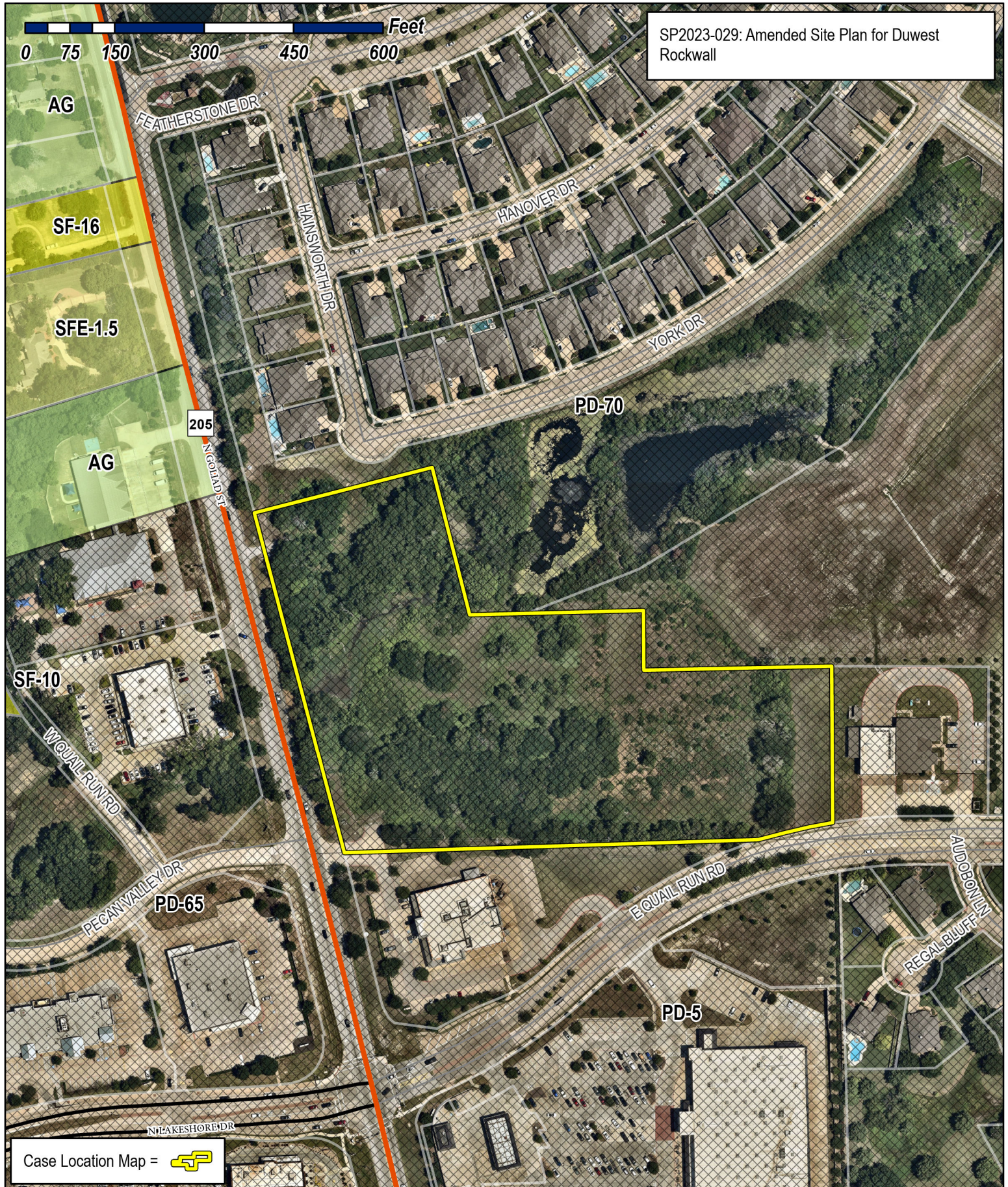
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







SP2023-029: Amended Site Plan for Duwest Rockwall



Case Location Map =



# City of Rockwall

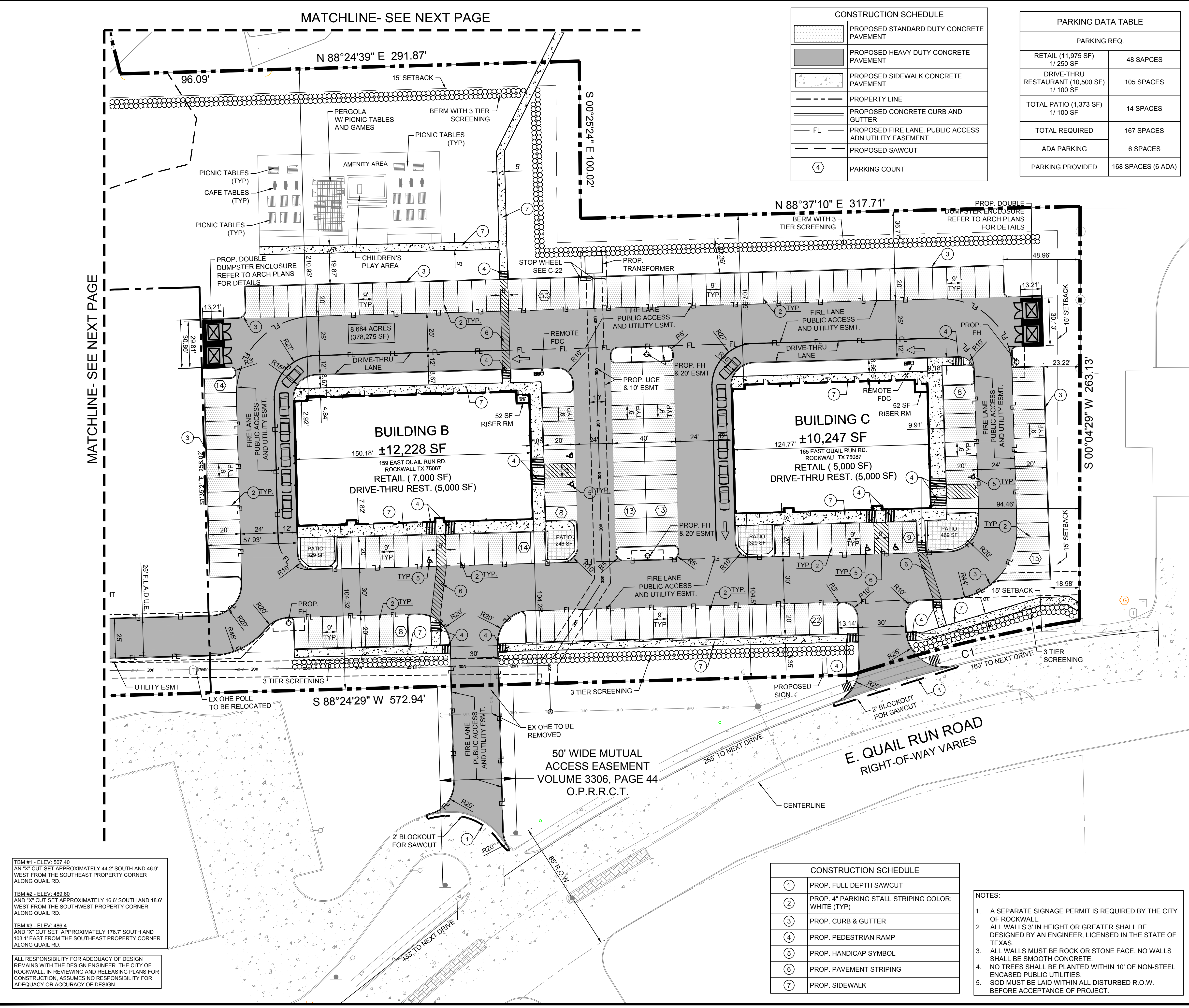
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



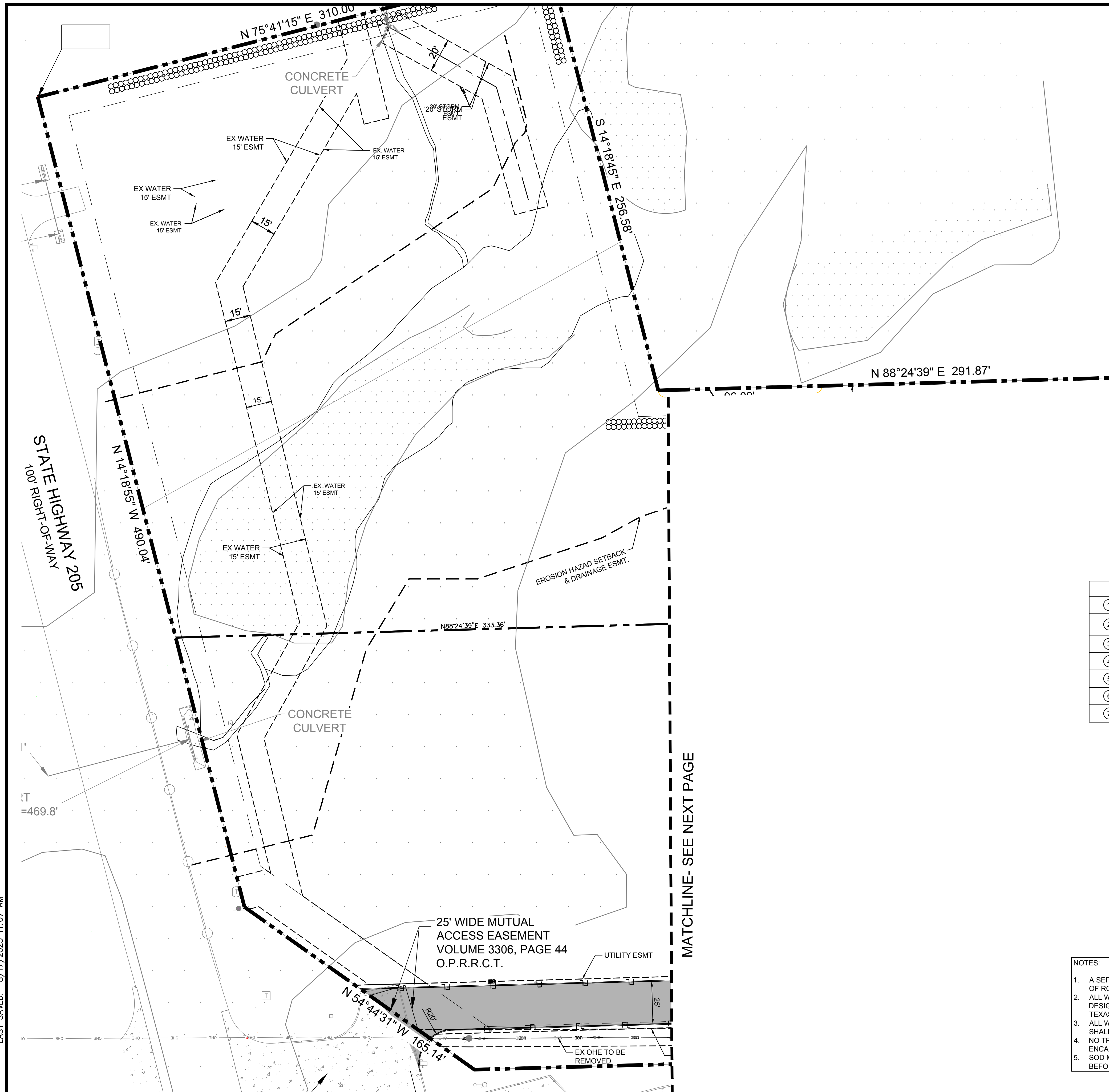


PLOTTED BY: JAT, KRUIARUDDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\SPROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM





PLOTTED BY: JAT/KRUBARUBIDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM



MATCHLINE- SEE NEXT PAGE

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

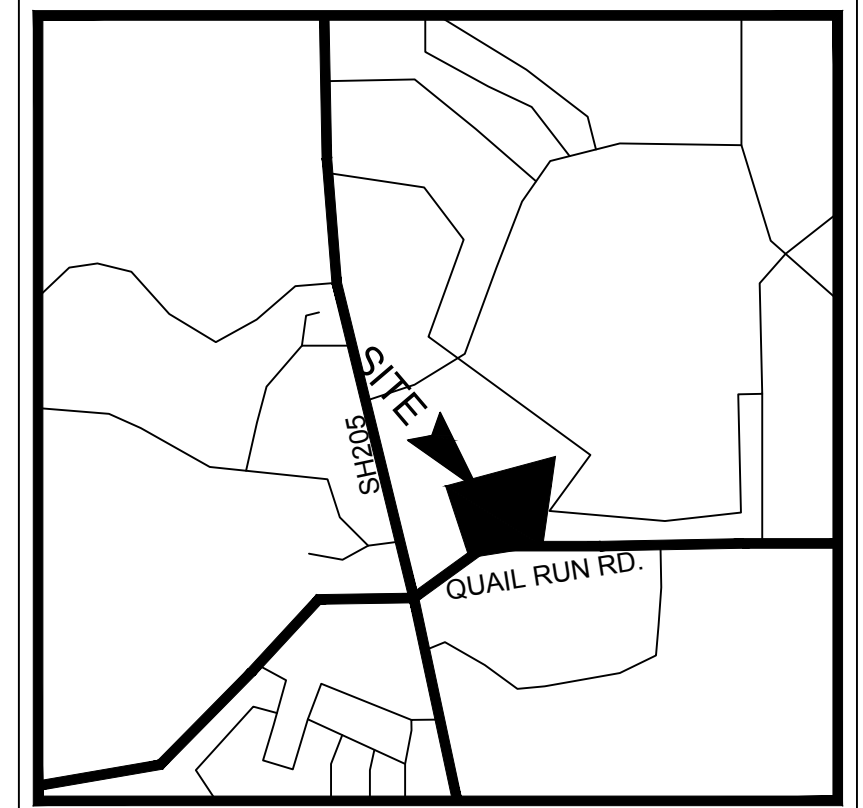
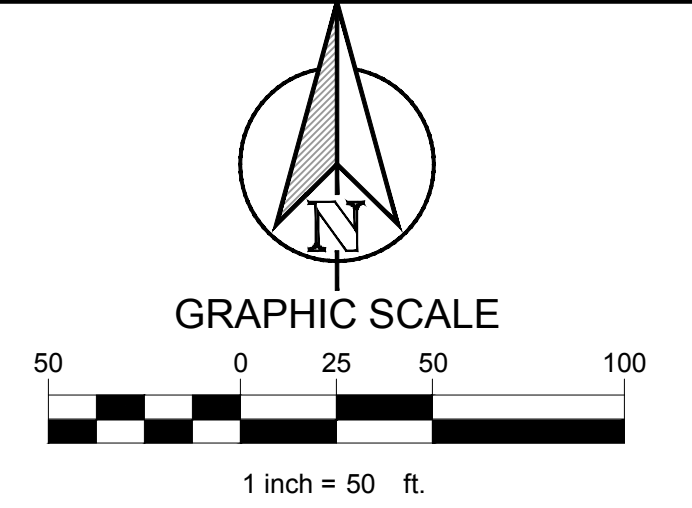
**TBM #1 - ELEV. 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

**TBM #2 - ELEV. 489.60**  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

**TBM #3 - ELEV. 486.4**  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PARKING COUNT

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD**  
 ABSTRACT, NO 131  
 8.684 AC (378,275 SF)

OWNER:  
 DuWEST REALTY, LLC  
 4403 N. CENTRAL EXHWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

**CLAYMOORE ENGINEERING**

1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**SITE PLAN (2 OF 2)**

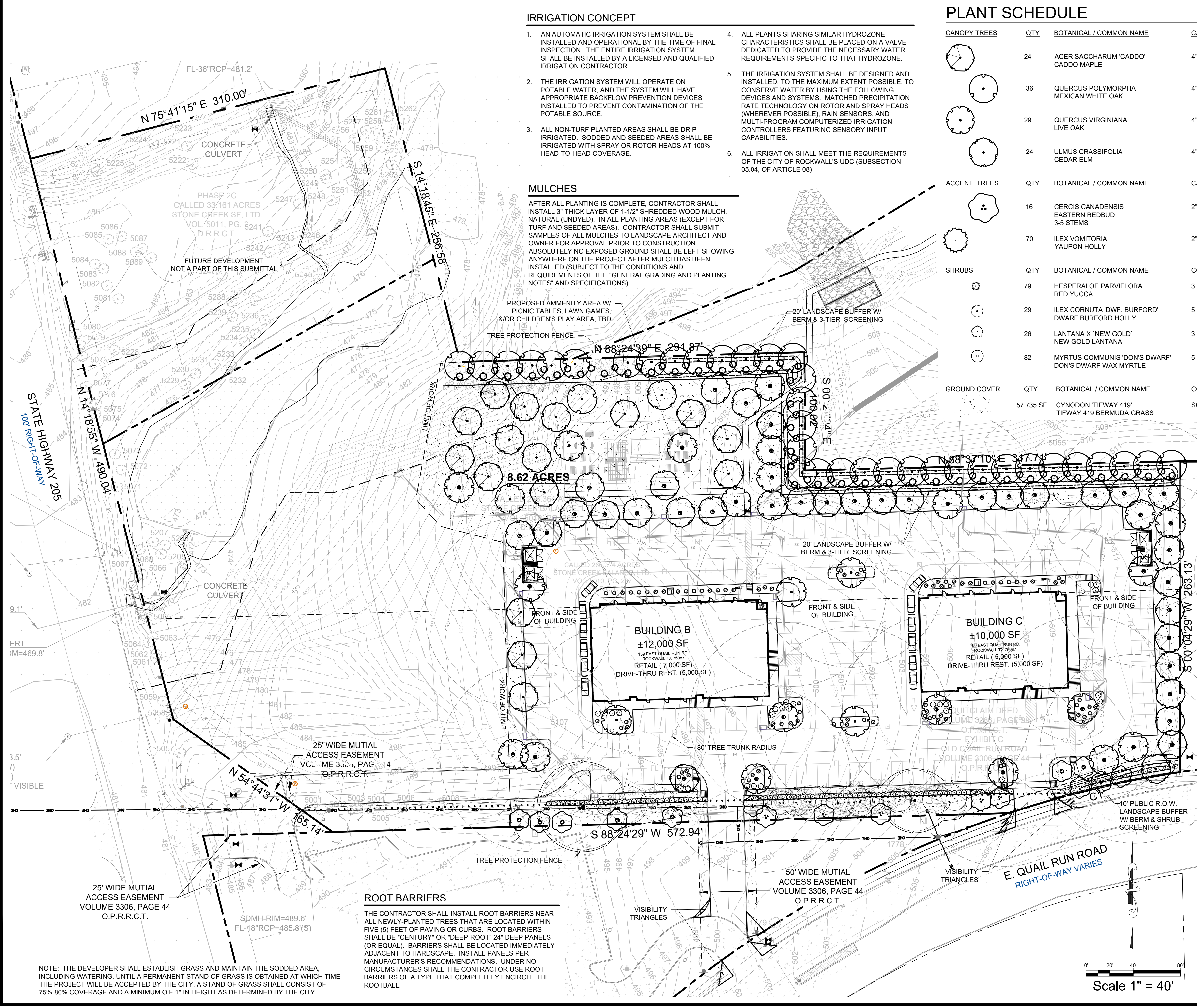
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**SP-1**

File No. 2022-002  
 CASE # SP2022-012



PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 4:20 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: 8/11/2023 4:20 PM  
 LAST SAVED: 8/11/2023 4:20 PM



**IRRIGATION CONCEPT**

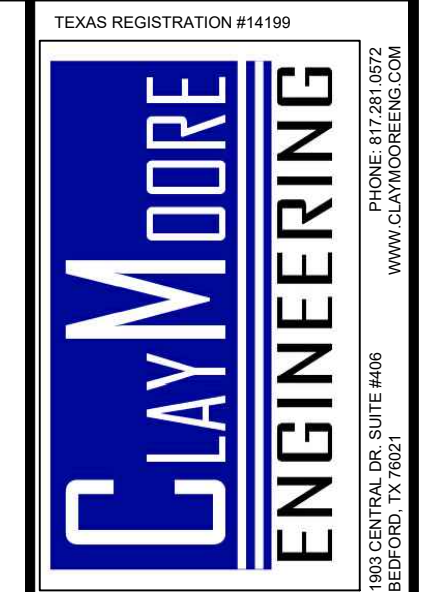
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**PLANT SCHEDULE**

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 P.E. No. 125651, State 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
 STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)

**OWNER:**

DuWest Realty, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER**

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

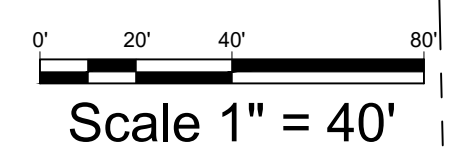
**LANDSCAPE PLANTING  
 PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

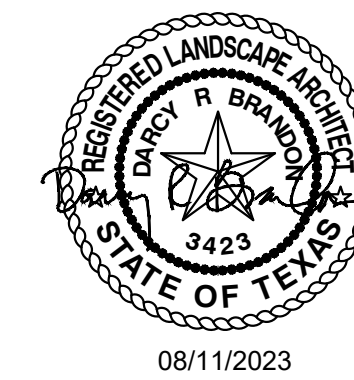
SHEET  
**LP-1**

File No. 2022-002  
CASE # SP2022-012

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.





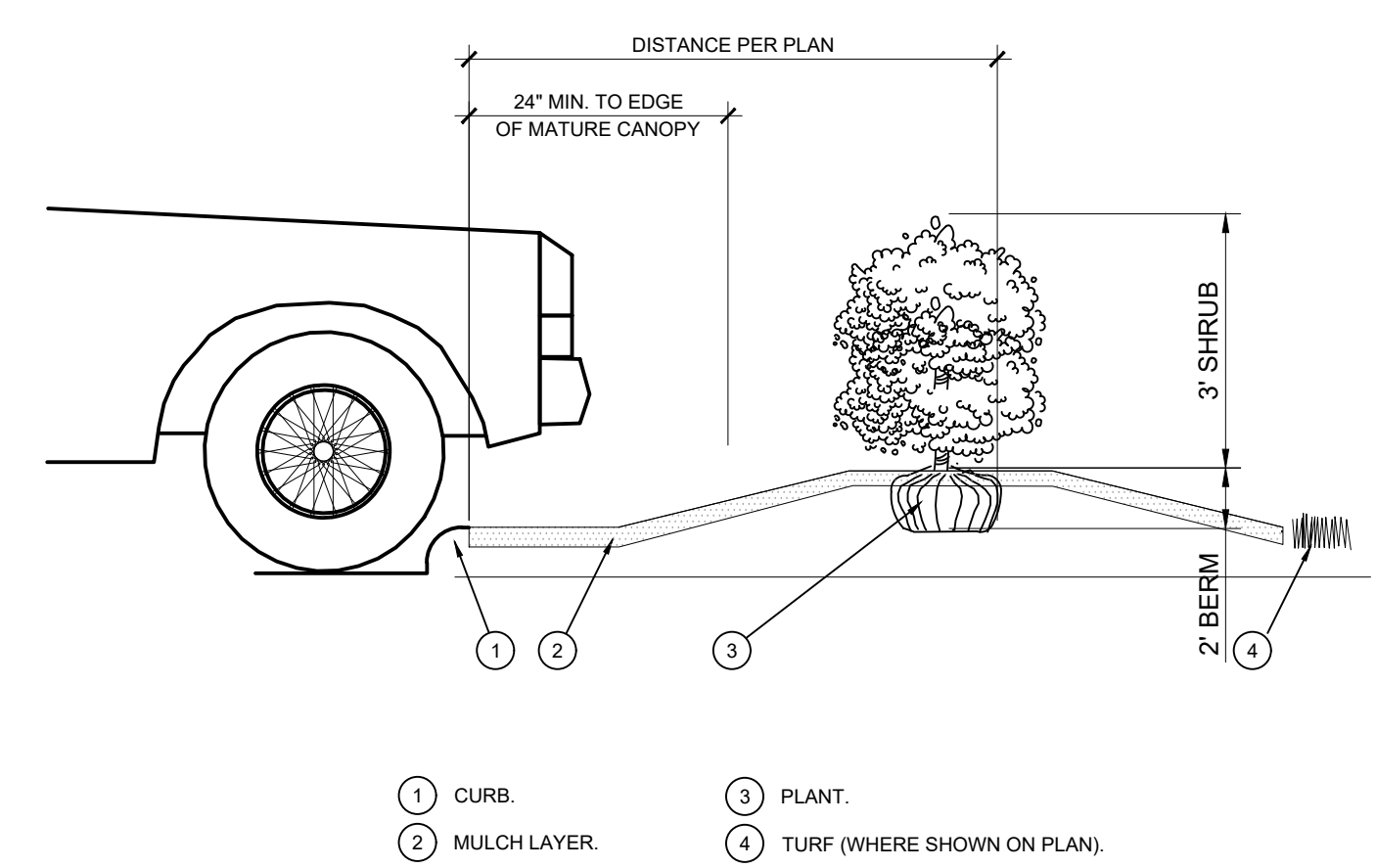


**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS  
DREW DONOSKY  
Engineer, P.E. No. 125651, Date 8/11/2023

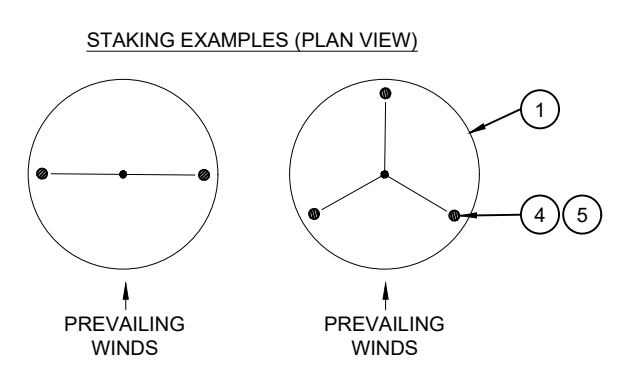
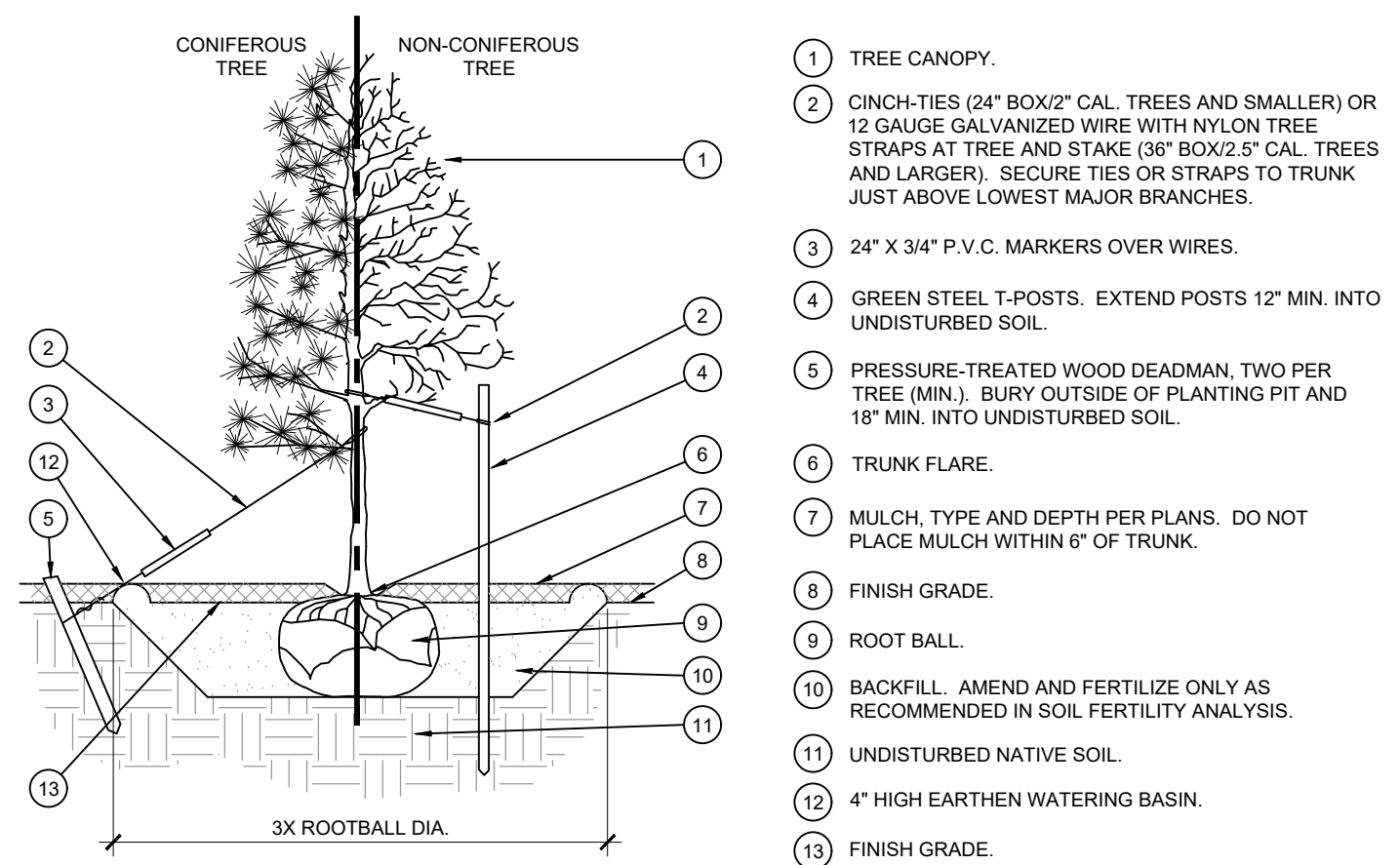
**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**LANDSCAPE STANDARDS  
PLANTING  
DETAILS & NOTES**

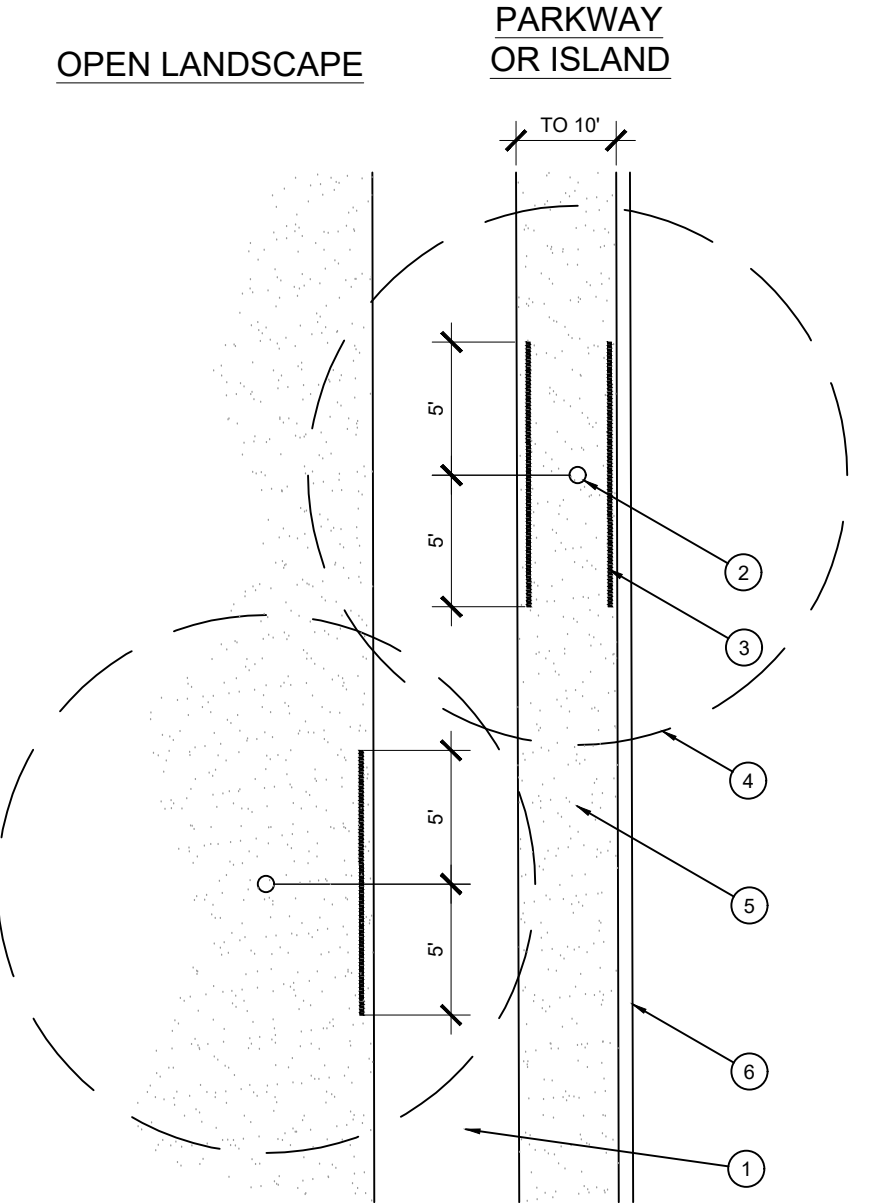
DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022  
SHEET  
**LP-2**  
File No. 2022-002  
CASE # SP2022-012



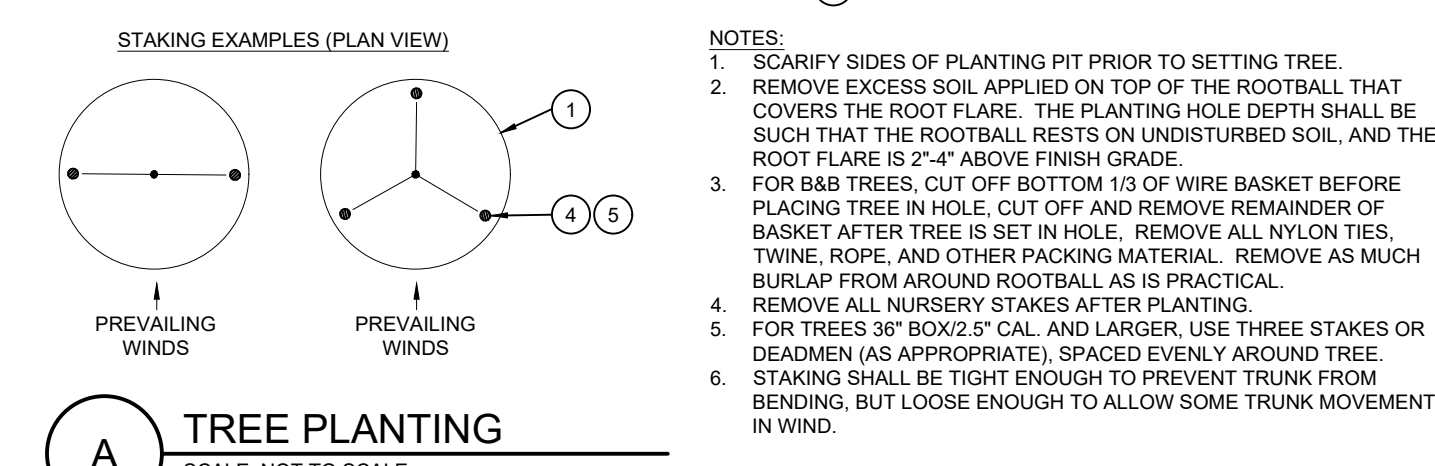
**D PLANTING AT PARKING AREA**  
SCALE: NOT TO SCALE



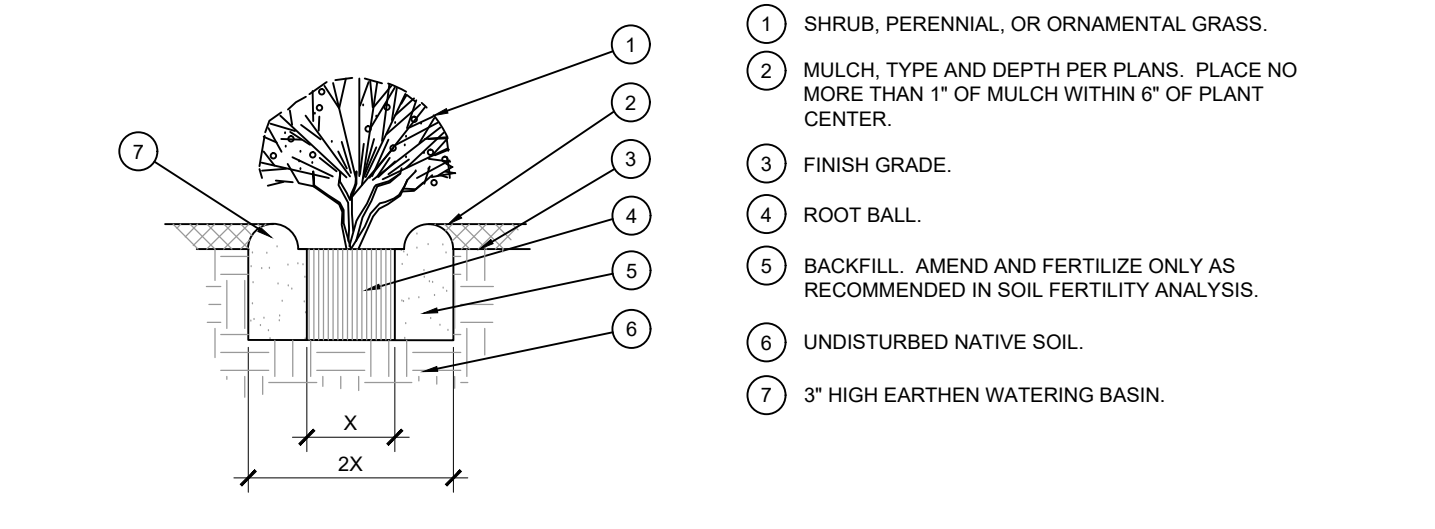
**A TREE PLANTING**  
SCALE: NOT TO SCALE



**E ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



**D STEEL EDGING**  
SCALE: NOT TO SCALE

LANDSCAPE STANDARDS	
<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
<b>E. QUAIL RUN RD.:</b> ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
<b>REQUIRED PLANTING:</b> PROVIDED 10' BUFFER:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS 2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS 3-TIERED BUFFER REQ.
<b>SOUTH PROPERTY LINE BUFFER:</b>	10 REDBUDS
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
<b>PROVIDED SCREENING</b>	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
<b>SCREENING FROM RESIDENTIAL</b>	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b> TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	4311,062 SF 62,212.4 SF (20%) ± 186,529 SF (60%)
<b>LOCATION OF LANDSCAPING:</b>	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
<b>LANDSCAPE AREAS IN FRONT &amp; SIDES OF BUILDINGS:</b>	61,293 SF (98.5%)
<b>MIN. SIZE OF AREAS</b>	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
<b>DETENTION BASINS</b>	NONE PROPOSED
<b>PARKING LOT LANDSCAPING</b>	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
<b>PROPOSED PARKING AREA:</b> <b>PROPOSED PARKING LOT LANDSCAPING:</b>	±5,011 SF ±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

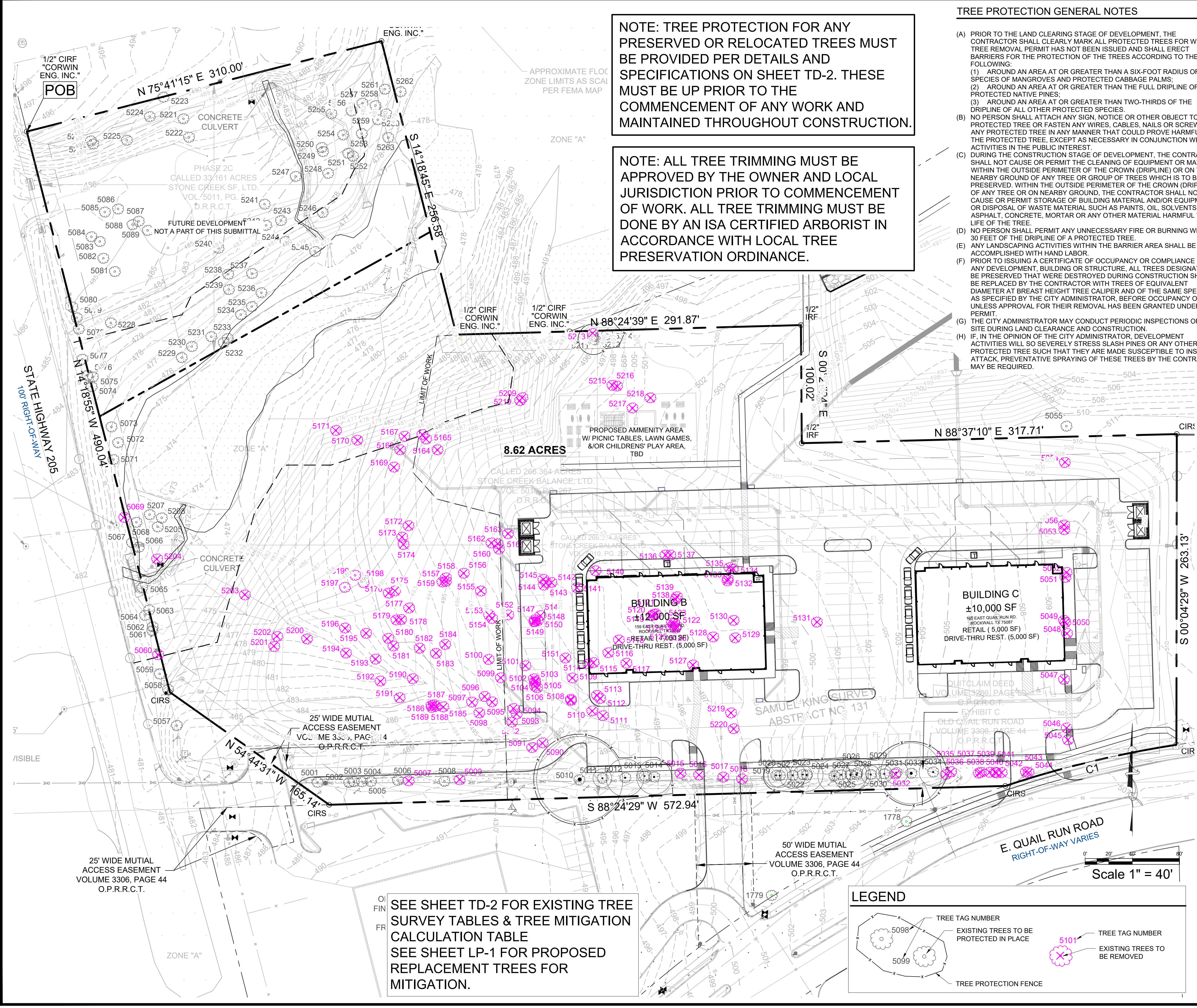
PLOTTED BY: DARCY BRANDON  
 8/11/2023 4:19 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION:  
 LAST SAVED: 8/11/2023 4:18 PM







PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:53 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TD-2022-08-10.DWG  
 LOCATION: 8/11/2023 2:51 PM  
 LAST SAVED:



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**TREE PROTECTION GENERAL NOTES**

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

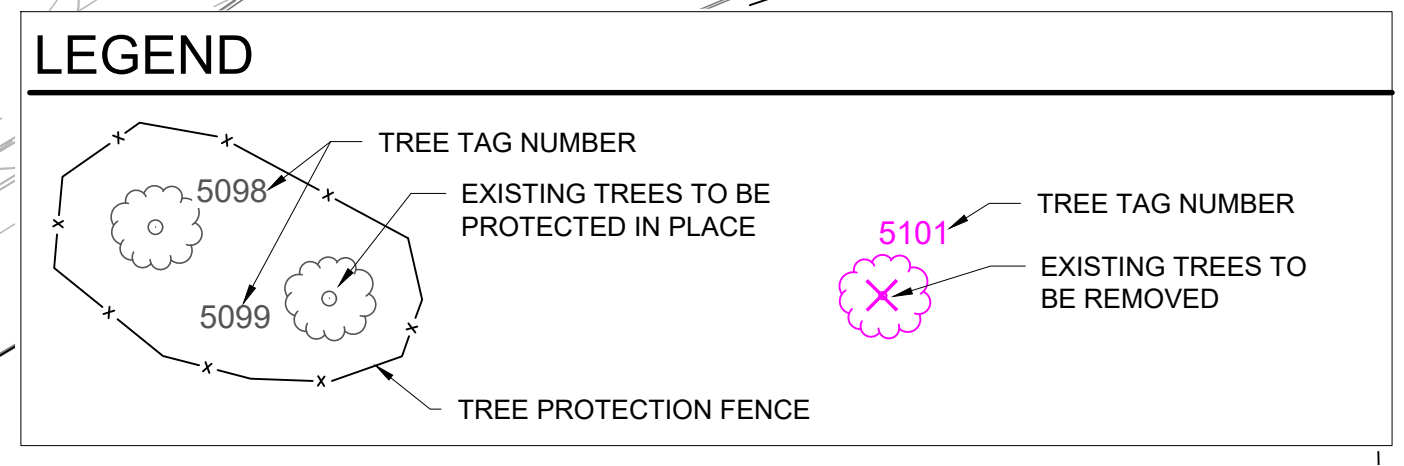
**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES
PARKING PROVIDED	
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
<b>TOTAL MITIGATION PROVIDED:</b>	<b>1044.5"</b>

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE  
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)**

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER:  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP  
 (800) 680-6630  
 15455 Dallas Pkwy., Ste 600  
 Addison, TX 75001  
 www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF TEXAS  
 08/11/2022

FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, Date: 8/11/2023

**PRELIMINARY**

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**TREESCAPE PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

**SHEET TD-1**

File No. 2022-002  
 CASE # SP2022-012



EXISTING TREE SURVEY

TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC**	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC**	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW**	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC**	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC**	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC**	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW**	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14

TOTAL CALIPER INCHES	1,599
CALIPER INCHES NON-PROTECTED	623
TOTAL CALIPER INCHES PROTECTED	1,165
TOTAL CAL. IN. DEAD OR POOR COND.	68
TOTAL CALIPER INCHES REMOVED*	716
TOTAL CALIPER INCHES PRESERVED	449
MITIGATION REQUIRED	1,058*

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND (\$200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0							

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD  
 ABSTRACT. NO 131  
 8.684 AC (378,275 SF)**

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

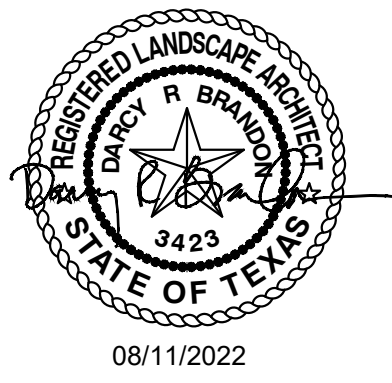
\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN  
EXISTING TREE INVENTORY**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

SHEET  
**TD-2**

File No. 2022-002  
 CASE # SP2022-012



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, License No. 125651, State of Texas, dated 8/11/2023.

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:56 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_Td-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM







# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-029  
PROJECT NAME: Site Plan for Duwest Rockwall  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-029) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

I.4 As long as none of the easements change, new ones are added, or lot lines change, then a plat will not need to be complete. That being said, there is still an outstanding Final Plat associated with the subject property that has never been filed.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



M.6 Site Plan:

- (1) Please indicate the front yard setback, which is 25-feet. It appears that the line is delineated but the label is not there. (Subsection 03.04. B, of Article 11, UDC)
- (2) Based on the parking indicated on the site plan, it appears there are 177 provided parking spaces. Please correct the parking table to reflect this. In addition, please correct the building square footages on the site plan to reflect what is shown in the parking table. (Subsection 05.01, of Article 06, UDC)
- (3) Please provide a full dumpster enclosure detail. In addition, please indicate that the dumpster enclosure gates will be self-latching (i.e. cane bolts do not satisfy this requirement). (Subsection 01.05. B, of Article 05, UDC)

M.7 Landscape Plan:

- (1) All ground mounted utility equipment must be screened with 5-gallon evergreen shrubs; this include transformers. Please correct the landscape plan to reflect this. (Subsection 01.05. C, of Article 05, UDC)
- (2) Based on the number of canopy trees indicated in the plant schedule, there are 452" being planted. Given this please update the mitigation table to reflect this. (Subsection 05.03. B, of Article 08, UDC)
- (3) All shrubs must be 5-gallon. (Subsection 05.03. B, of Article 08, UDC)

M.8 Treescap Plan:

- (1) Based on the treescap table, the follow changes need to be made: [1] there is a total of 1,659 inches being removed that must be mitigated, [2] a mitigation balance of 1,207 is remaining after subtracting the 452 caliper inches being removed, and [3] an alternative tree mitigation settlement agreement must be requested for a total of 1,207 caliper inches, for a fee of \$120,700. All that being said, the proposed Treescap Plan is double counting trees that the Chipotle site mitigated for, please correct the treescap table to remove trees that were already mitigated by Chipotle. In addition, there are trees that were to be saved on Chipotle's treescap table, but marked to be removed on this one and vice versa. Please correct the Treescap Plan to be consistent. This should provide substantial change to the mitigation balance, which may make the fee much less. (Subsection 01.05. C, of Article 05, UDC)

M.9 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
- (2) Please correct the light levels along the southeast portion of the subject property as they exceed the 0.2 FC at the property line. (Subsection 03.03. G. 2, of Article 07)
- (3) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations:

- (1) Please provide the material percentages for Building A; both tables are for Building B. (Subsection 06.02, Article 05, UDC)
- (2) Please provide a note that back side of the parapet will be finished in the same material as the outward facing façade. (Subsection 06.02, of Article 05, UDC)
- (3) Please ghost in the opposite side of the buildings in the elevations. (Subsection 04.01, of Article 05, UDC)
- (4) Please cross-hatch any proposed roof top units. (Subsection 04.01. C, of Article 05, UDC)
- (5) Based on the articulation requirements for a commercial building located within an overlay district, the following articulation standards are not met: [1] wall length exceeds on north sides (length = 3 x height), [2] wall projection under on south sides (projection = 25% x wall height), and [3] projection height under on north sides (projection height = 25% x wall height). These will be a variance to the articulation requirements. (Subsection 04.01. C. 1, of Article 05, UDC)

I.11 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] articulation. That being said, very similar buildings were approved previously. Please provide a variance letter that requests this variance; it would be important to note that very similar buildings were approved previously, and that the buildings are 100% masonry, with stone greater than the 20% requirement.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:



- 1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

- 08/25/2023:
1. Show both landscape buffer and building setbacks.
  2. Call out floodplain and elevations and easement.
  3. Suggest shifting dumpster location or orientation so a trash truck only has to pass through the site once.
  4. Dumpsters will need oil/water separators that outfall to the storm sewer system.
  5. Based on the landscape plan you are proposing trees outside of the site lot line - is this lot line accurate? Confirm there is no required landscape buffer for this side lot line.
  6. Monument sign will need proper setback and will need to be properly screened.
  7. What is this line? Is this a utility easement? Please label.
  8. Fix cut off.
  9. Call out drainage easements, floodplain and elevations minimum of every 300' with source information.
  10. Page 1, not next.
  11. Same as other page.
  12. Remove trees from erosion hazard setback area.
  13. This proposed tree appears to be in the way of the fire hydrant. Please coordinate the plans and confirm.
  14. Site Plan shows this as UGE - please clarify. Confirm trees are planted a minimum of 5' away from utilities.
  15. Why are all of these trees being removed if this is outside of the limit of work? Please clarify the true limit of work.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds, and floodplains a minimum of every 300'.
- FFE for all buildings must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)



- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved w/ Comments
08/21/2023: Building B will be: 159 E QUAIL RUN RD, ROCKWALL, TX 75087 Building C will be: 165 E QUAIL RUN RD, ROCKWALL, TX 75087			

\*Suite numbers can be looked at during permitting, otherwise they need to be in the 1XX range (i.e. 110,120,130 etc.) per our standards  
<http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

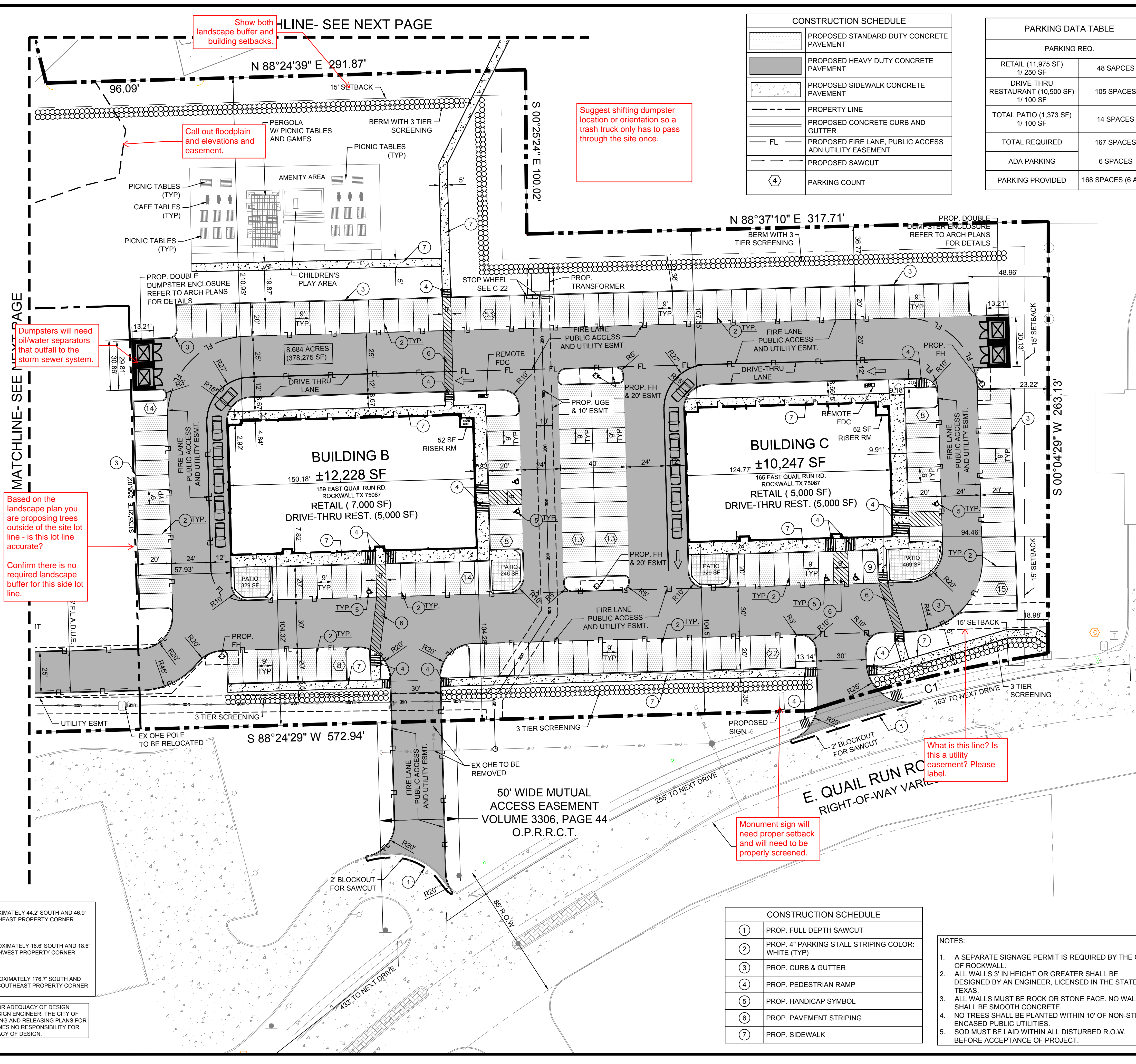
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments
08/21/2023: 1. Tifway 419 is a great turf there are (2) newer varieties that are more shade, wear, cold and drought tolerant. Tif Tuf and Tahoma 31 that you might look into			

2. You will probably find that Caddo Maples are no longer available. Autumn Blaze and October Glory are two additional varieties that do well in DFW. Make sure you wrap the trunk for first 12 to 18 months to prevent sun scald.

3. Please review our new tree mitigation ordinance.





Show both landscape buffer and building setbacks.

Call out floodplain and elevations and easement.

Suggest shifting dumpster location or orientation so a trash truck only has to pass through the site once.

Dumpsters will need oil/water separators that outfall to the storm sewer system.

Based on the landscape plan you are proposing trees outside of the site lot line - is this lot line accurate?

Confirm there is no required landscape buffer for this side lot line.

What is this line? Is this a utility easement? Please label.

Monument sign will need proper setback and will need to be properly screened.

CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
- ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
- ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
- NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
- SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

**General Items:**

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

**Drainage Items:**

- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds, and floodplains a minimum of every 300'.
- FFE for all buildings must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

**Water and Wastewater Items:**

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

**Roadway Paving Items:**

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

**Landscaping:**

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

TBM #1 - ELEV: 507.40  
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 499.60  
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4  
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**OWNER:**  
DuWEST REALTY, LLC  
4403 N. CENTRAL EXWAY SUITE #200  
DALLAS, TX 75025  
CONTACT: BOWEN HENDRIX  
PH: 214.918.1804

**APPLICANT:**  
CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
CONTACT: DREW DONOSKY  
PH: 817.281.0572

**CASE NUMBER:**  
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**SITE PLAN (1 OF 2)**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 8/17/2023

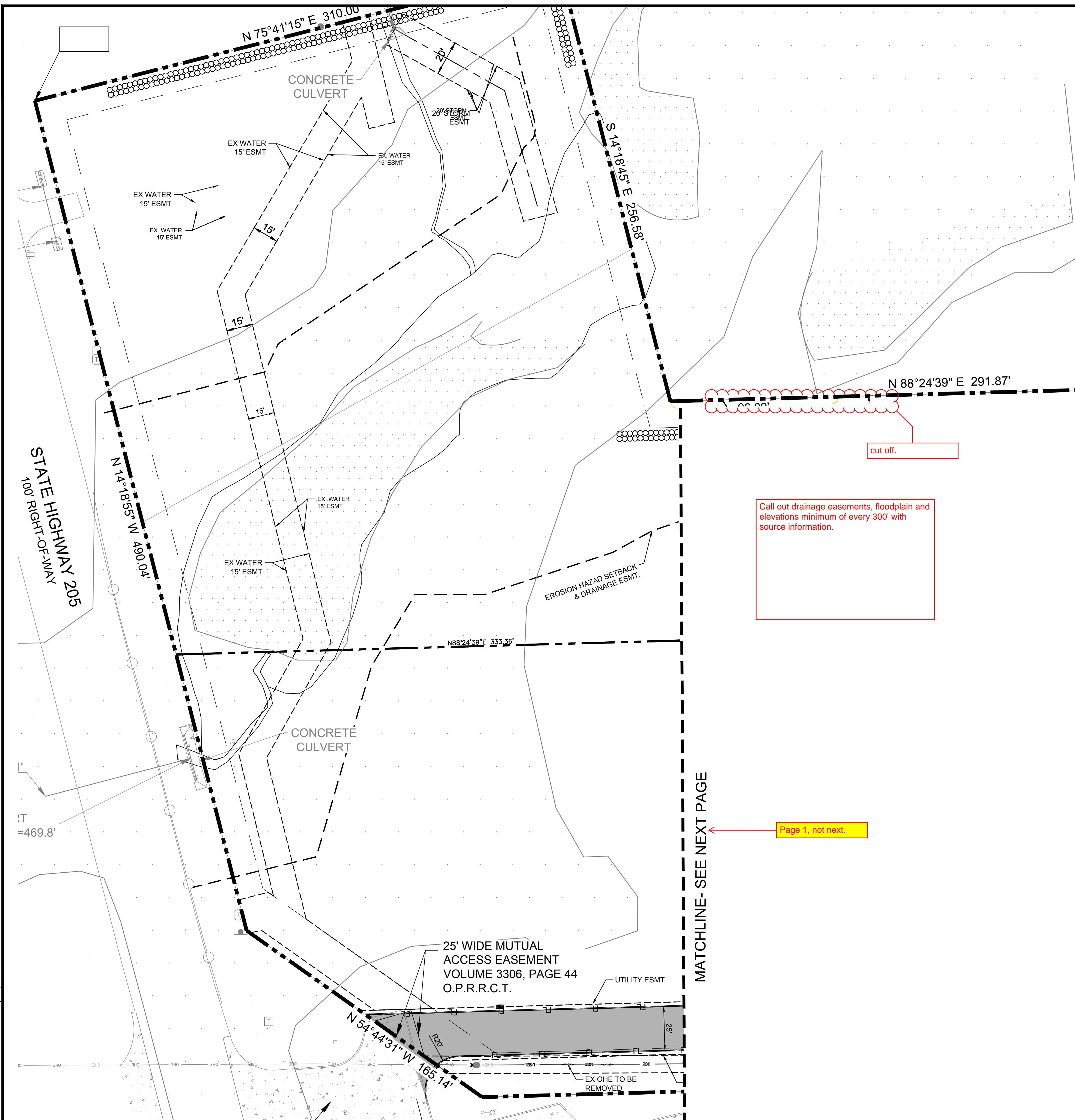
SHEET  
**SP-1**

File No. 2022-002  
CASE # SP2022-012

PLOTTED BY: JAT.VRUBARUDDA  
PLOT DATE: 8/17/2023 10:16 AM  
LOCATION: Z:\PROJECTS\SPROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
LAST SAVED: 8/17/2023 11:07 AM



PLOTTED BY: JAT/KRUBARUBDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM



MATCHLINE- SEE NEXT PAGE

Call out drainage easements, floodplain and elevations minimum of every 300' with source information.

Page 1, not next.

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

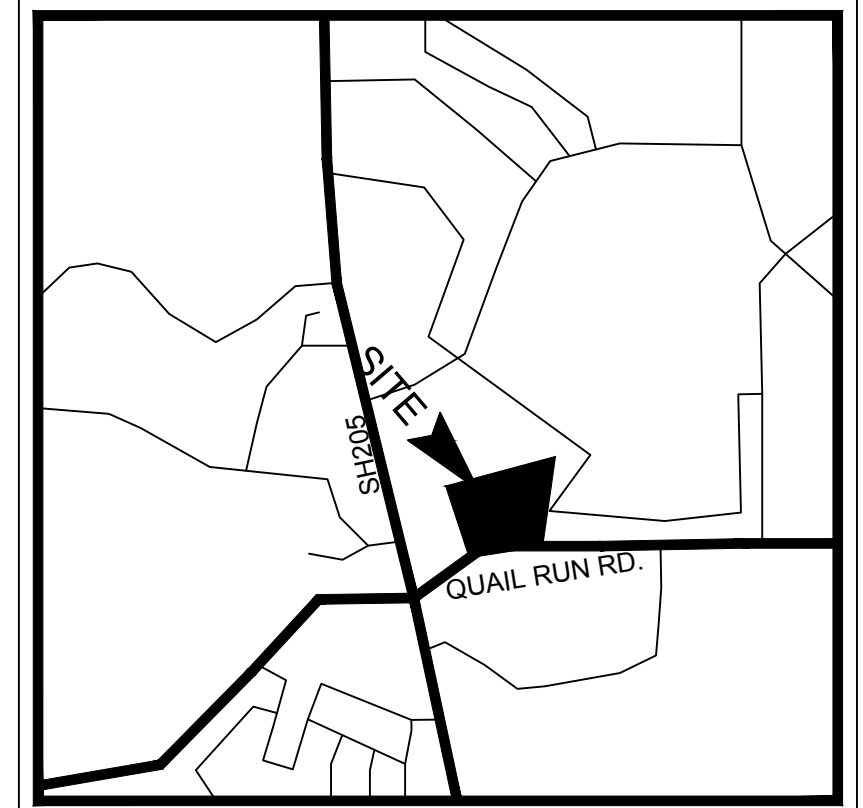
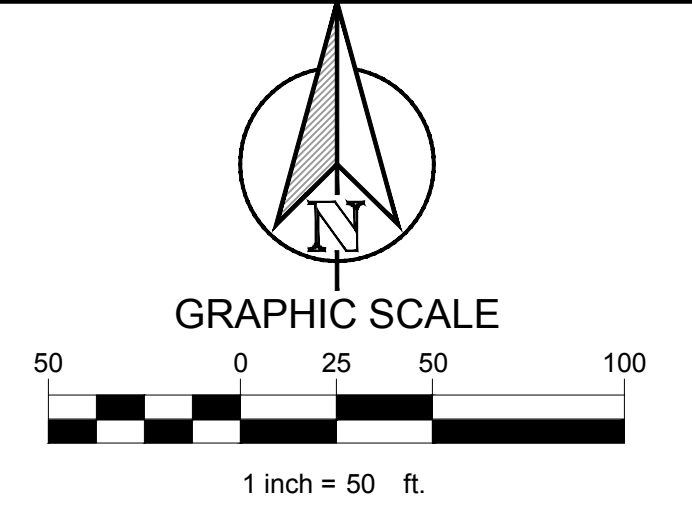
SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

TBM #1 - ELEV. 507.40  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.  
 TBM #2 - ELEV. 489.60  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.  
 TBM #3 - ELEV. 486.4  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD**  
 ABSTRACT, NO 131  
 8.684 AC (378,275 SF)

OWNER:  
 DuWEST REALTY, LLC  
 4403 N. CENTRAL EXHWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

**CLAYMOORE ENGINEERING**

1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

SITE PLAN (2 OF 2)

Same as other page.

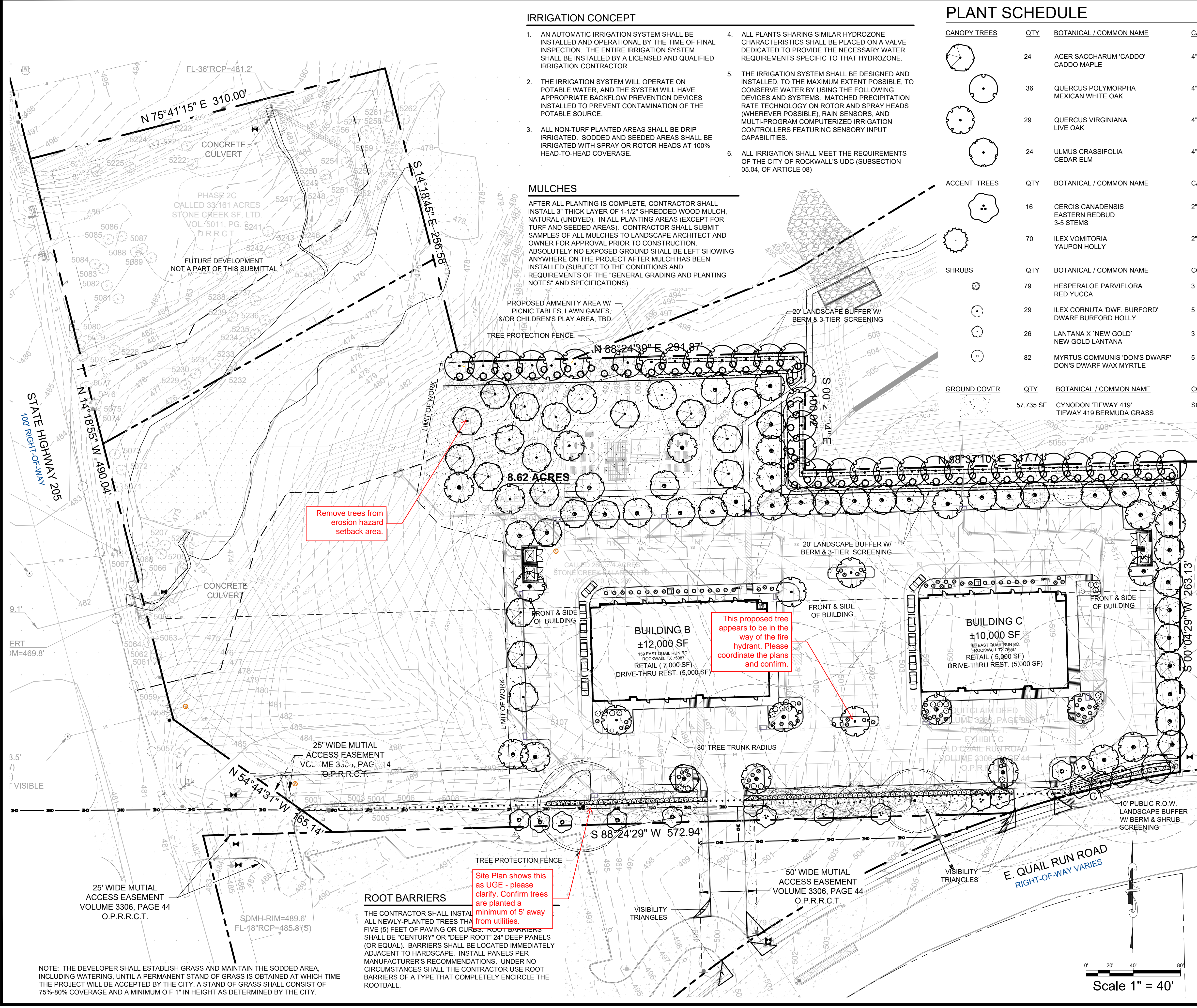
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**SP-1**

File No. 2022-002  
 CASE # SP2022-012



PLOTTED BY: DARCY BRANDON 8/11/2023 4:20 PM  
 PLOT DATE: 8/11/2023 4:20 PM  
 C:\USERS\DARCY\DOCUMENTS\DLA\\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: 8/11/2023 4:20 PM  
 LAST SAVED: 8/11/2023 4:20 PM



**IRRIGATION CONCEPT**

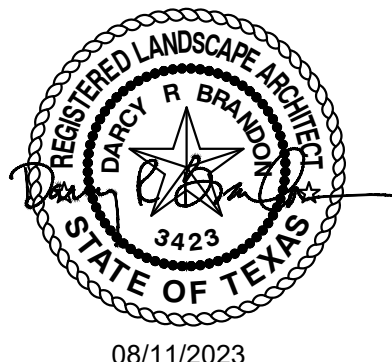
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**PLANT SCHEDULE**

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADD0' CADD0 MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 P.E. No. 125651, State 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
 STONE CREEK BALANCE LTD  
 ABSTRACT, NO 131  
 8.684 AC (378,275 SF)

**OWNER:**

DuWest Realty, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER**

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

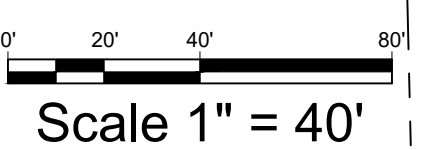
**LANDSCAPE PLANTING  
 PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

**SHEET LP-1**

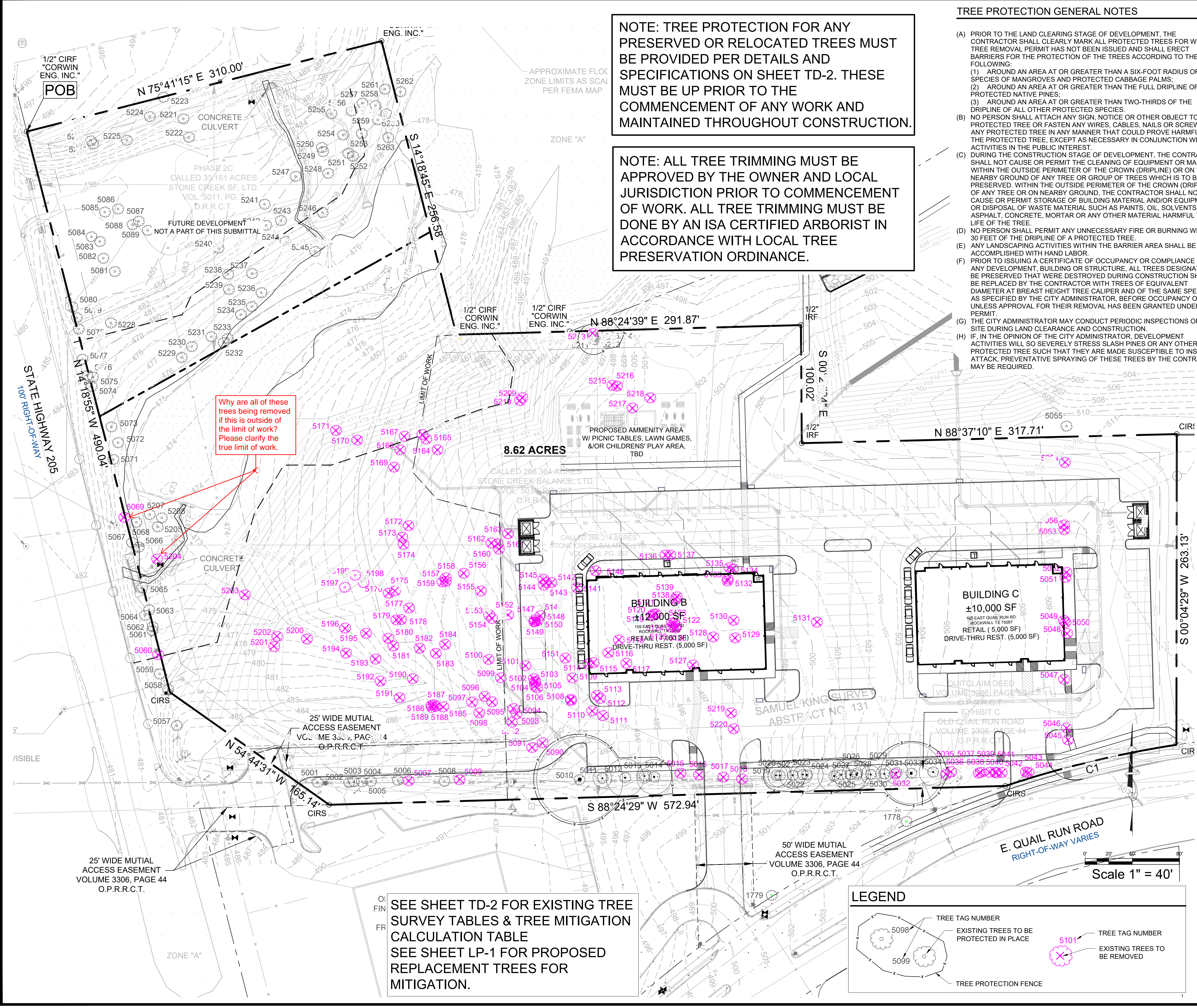
File No. 2022-002  
CASE # SP2022-012

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.





PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:53 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_Td-2022-08-10.DWG  
 LOCATION: 8/11/2023 2:51 PM  
 LAST SAVED:



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

Why are all of these trees being removed if this is outside of the limit of work? Please clarify the true limit of work.

**TREE PROTECTION GENERAL NOTES**

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES
PARKING PROVIDED	
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
<b>TOTAL MITIGATION PROVIDED:</b>	<b>1044.5"</b>

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)**

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

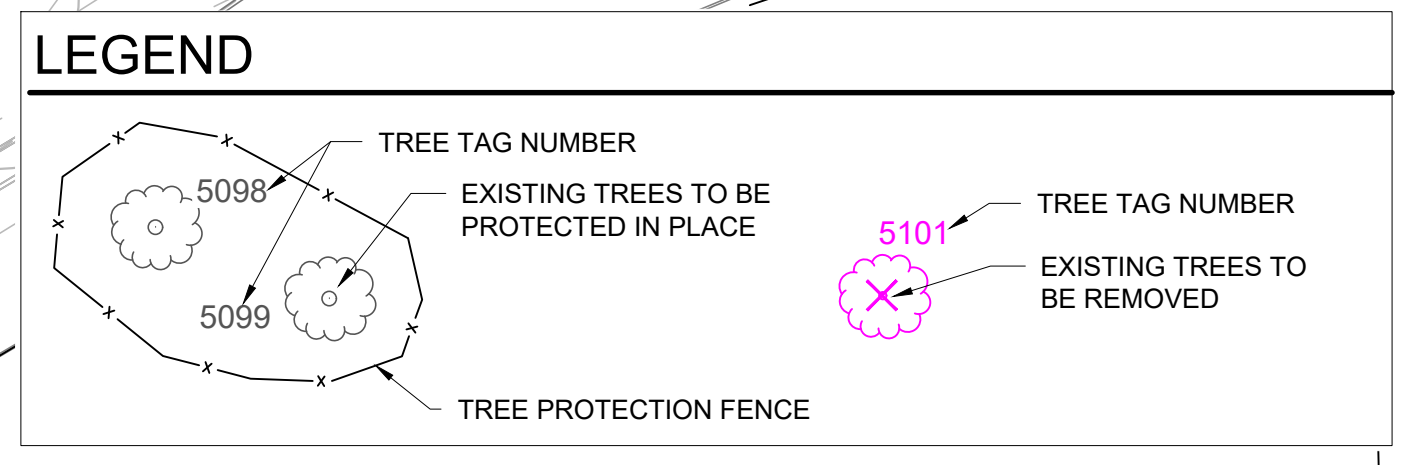
CASE NUMBER:  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

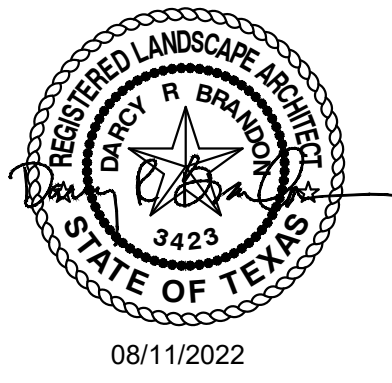
WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE  
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, Date: 8/11/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**TREESCAPE PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022  
 SHEET  
**TD-1**  
 File No. 2022-002  
 CASE # SP2022-012





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Not Assigned Yet**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **NEC C Quail Run Road and 205**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-70**

CURRENT USE **Vacant**

PROPOSED ZONING **PD-70**

PROPOSED USE **Commercial retail**

ACREAGE **8.684**

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **DuWest Realty, LLC**

APPLICANT **ClayMoore Engineering**

CONTACT PERSON **Bowen Hendrix**

CONTACT PERSON **Lynn Rowland**

ADDRESS **4403 North Central Expressway  
Suite 200**

ADDRESS **1903 Central Drive  
Suite 406**

CITY, STATE & ZIP **Dallas, Tx 75025**

CITY, STATE & ZIP **Bedford, Tx**

PHONE **214-918-1804**

PHONE **817.281.0572**

E-MAIL **bowen@duwestrealty.com**

E-MAIL **Lynn@claymooreeng.com**

## NOTARY VERIFICATION [REQUIRED]

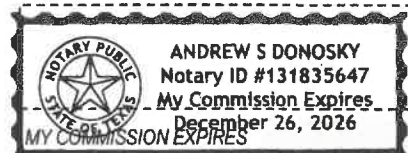
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023

OWNER'S SIGNATURE [Signature]

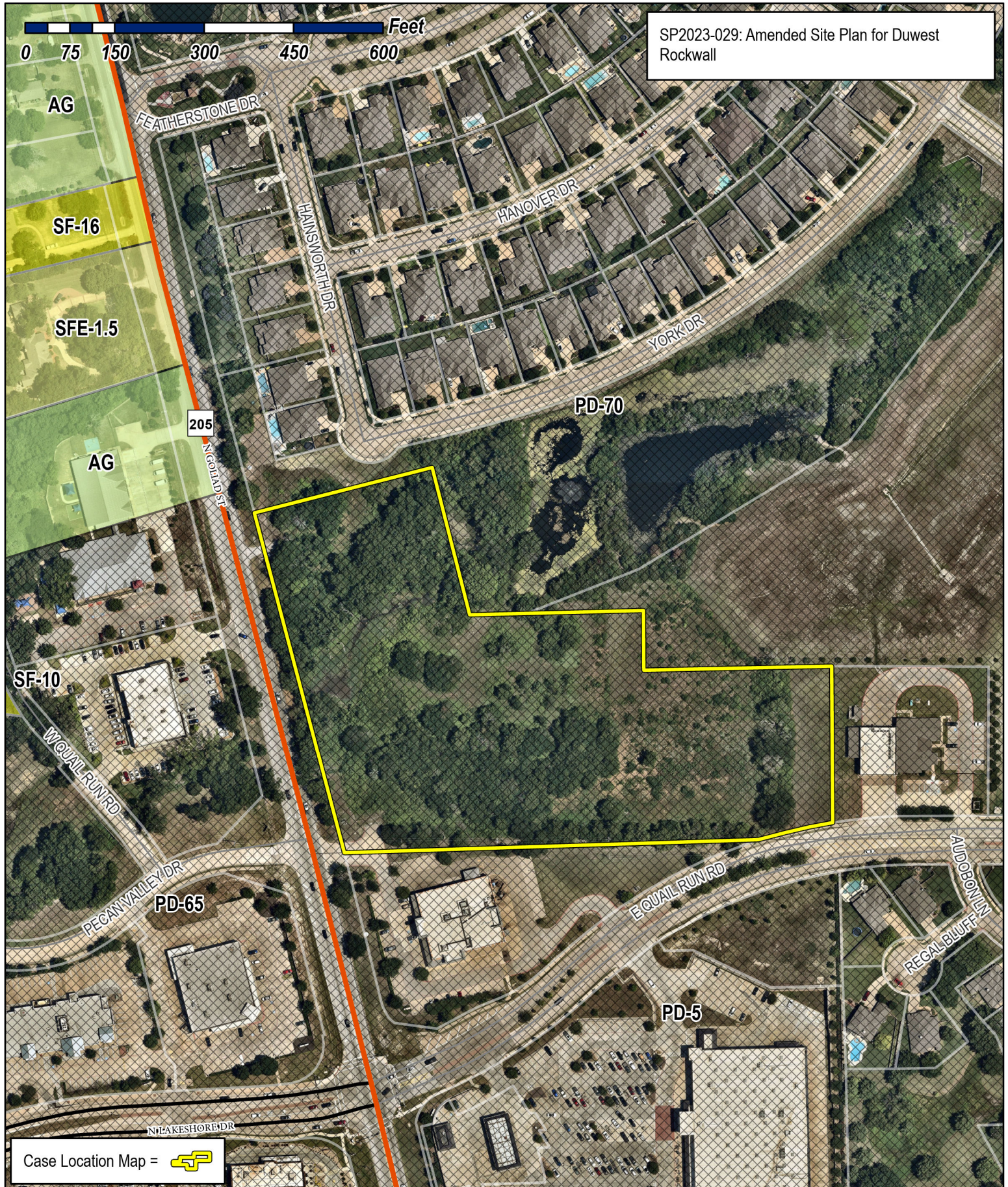
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]







SP2023-029: Amended Site Plan for Duwest Rockwall



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



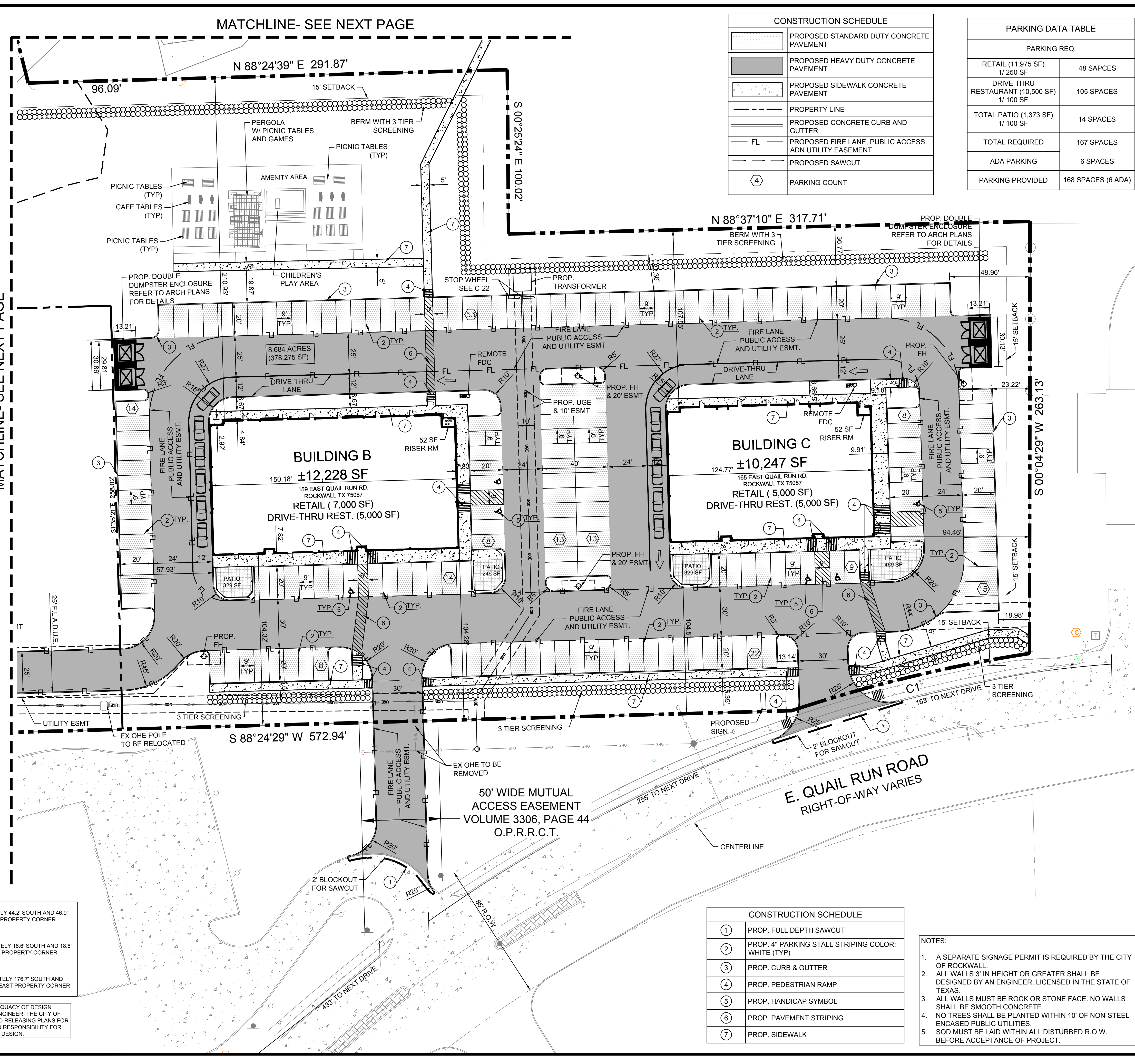


PLOTTED BY: JAT, KRUIARUDDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\SPROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM

**TBM #1 - ELEV: 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #2 - ELEV: 489.60**  
 AN "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.  
**TBM #3 - ELEV: 486.4**  
 AN "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.  
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

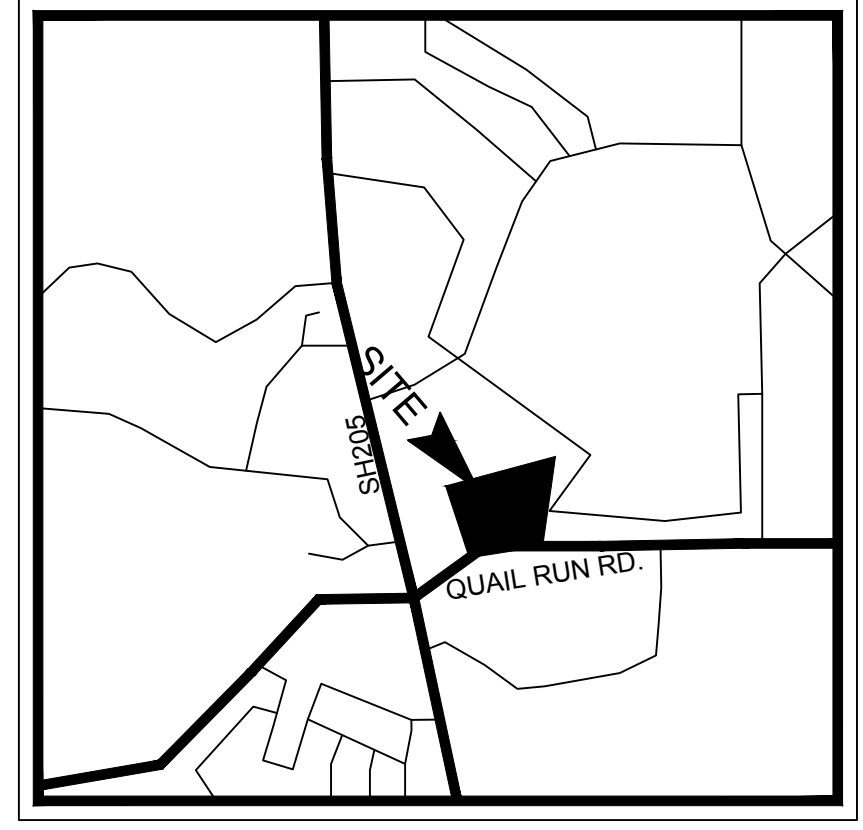
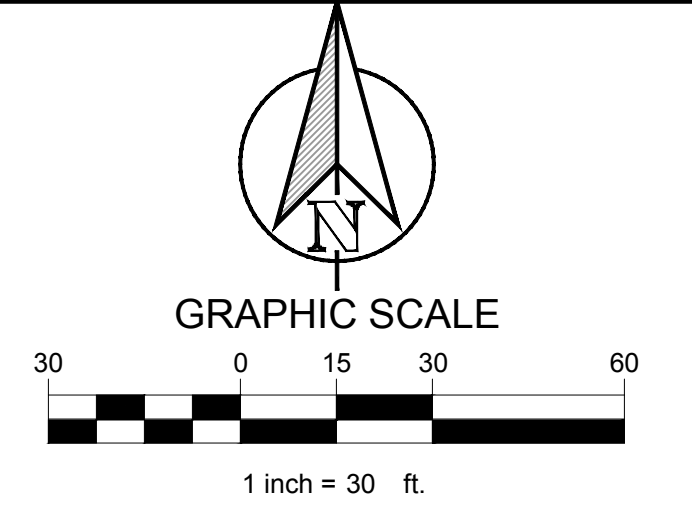
MATCHLINE- SEE NEXT PAGE

MATCHLINE- SEE NEXT PAGE



CONSTRUCTION SCHEDULE	
[Symbol]	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	PROPOSED SIDEWALK CONCRETE PAVEMENT
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	FL PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
[Symbol]	PROPOSED SAWCUT
[Symbol]	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SPACES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)



SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
- ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
- ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
- NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
- SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

**DUWEST ROCKWALL, TX**  
 LEGAL DESCRIPTION AND OR ADDRESS:  
 STONE CREEK BALANCE LTD  
 ABSTRACT, NO 131  
 8.684 AC (378,275 SF)

**OWNER:**  
 DuWEST REALTY, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER:**  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

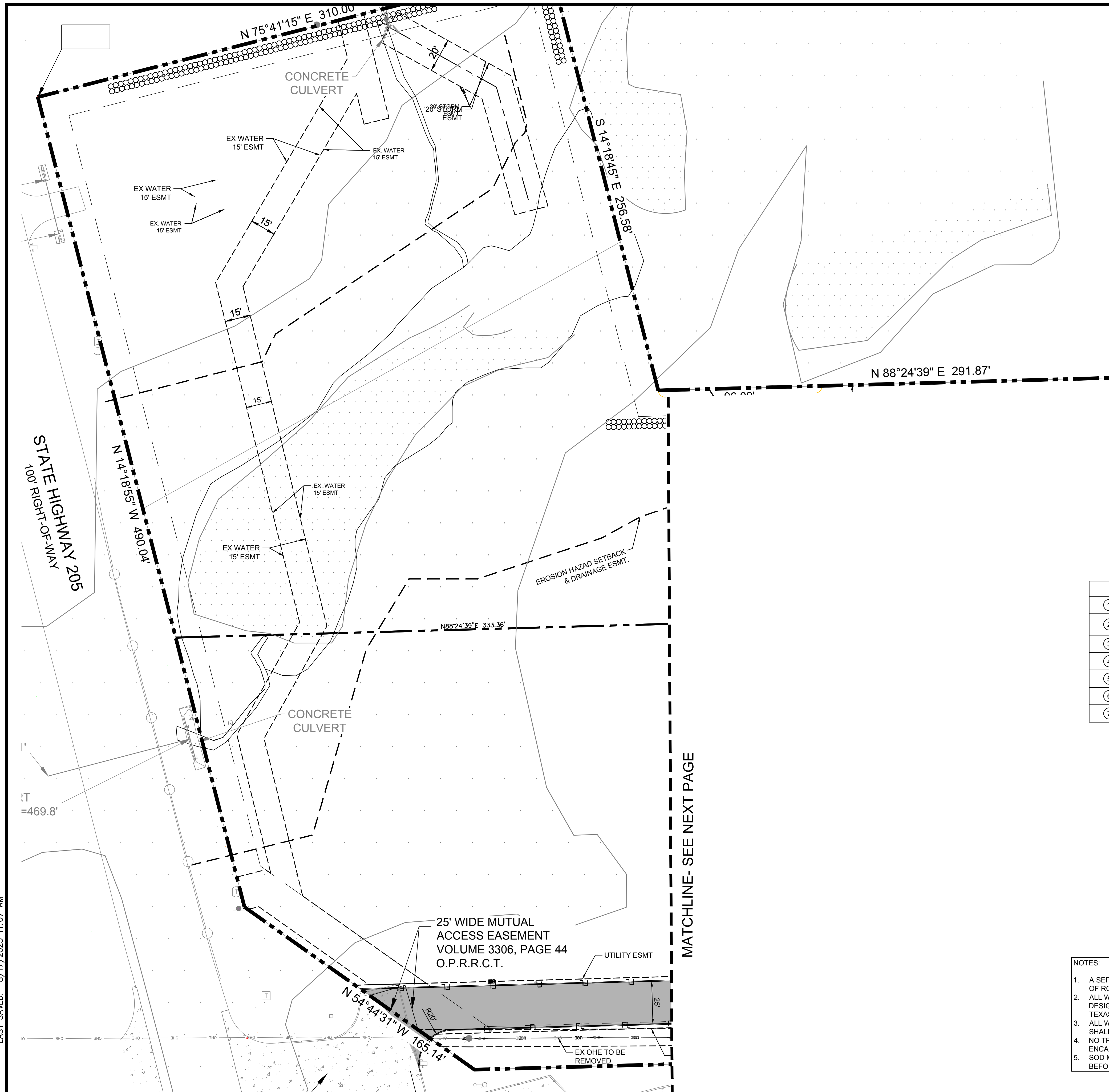
**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**SITE PLAN (1 OF 2)**

SHEET  
**SP-1**  
 File No. 2022-002  
 CASE # SP2022-012



PLOTTED BY: JAT/KRUBARUBIDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM



MATCHLINE- SEE NEXT PAGE

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

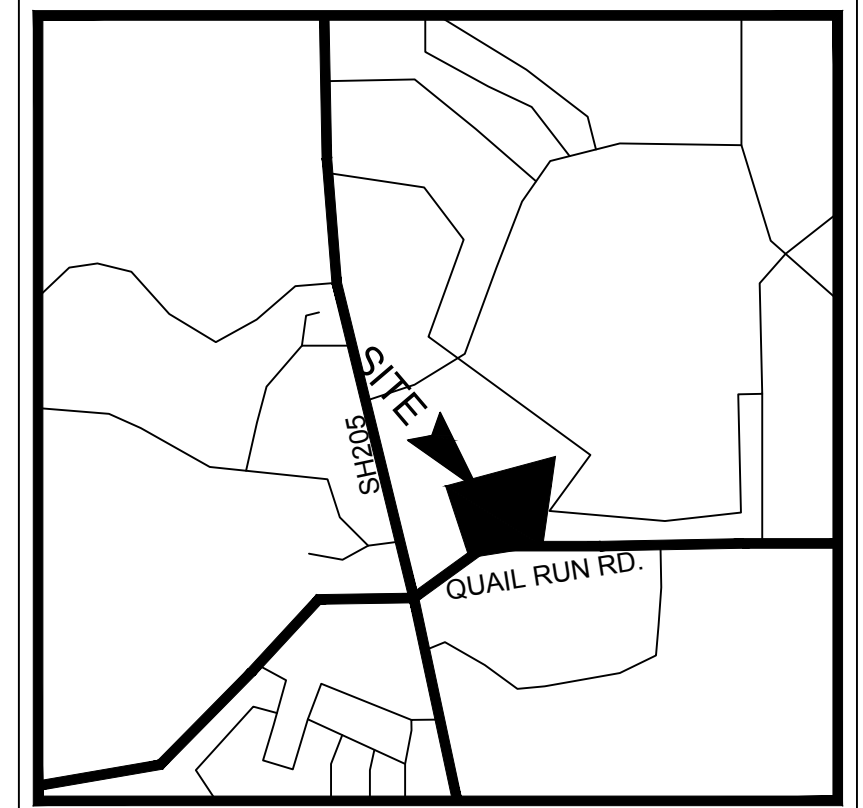
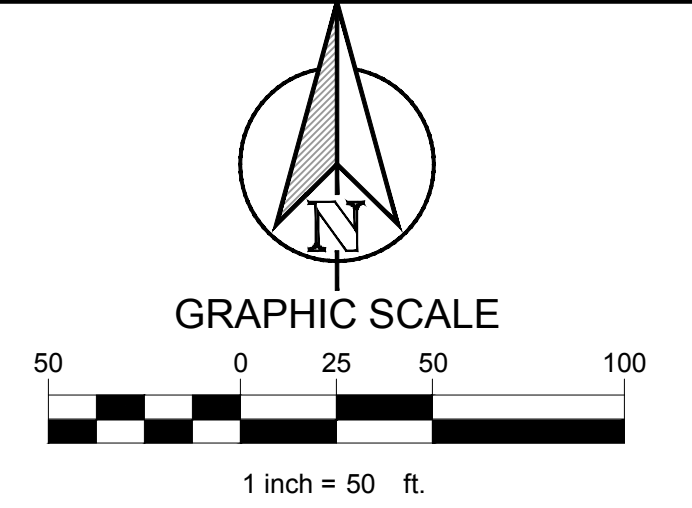
**TBM #1 - ELEV. 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

**TBM #2 - ELEV. 489.69**  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

**TBM #3 - ELEV. 486.4**  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

<b>DUWEST ROCKWALL, TX</b>	
LEGAL DESCRIPTION AND OR ADDRESS: STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)	
OWNER: DUWEST REALTY, LLC 4403 N. CENTRAL EXHWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572	
CASE NUMBER Z2022-003	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.	
WITNESS OUR HANDS THIS _____ DAY OF _____.	
PLANNING AND ZONING COMMISSION, CHAIRMAN	_____ DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 ENGINEER: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 ENGINEER: DREW DONOSKY  
 P.E. No. 12565, Date: 8/17/2023

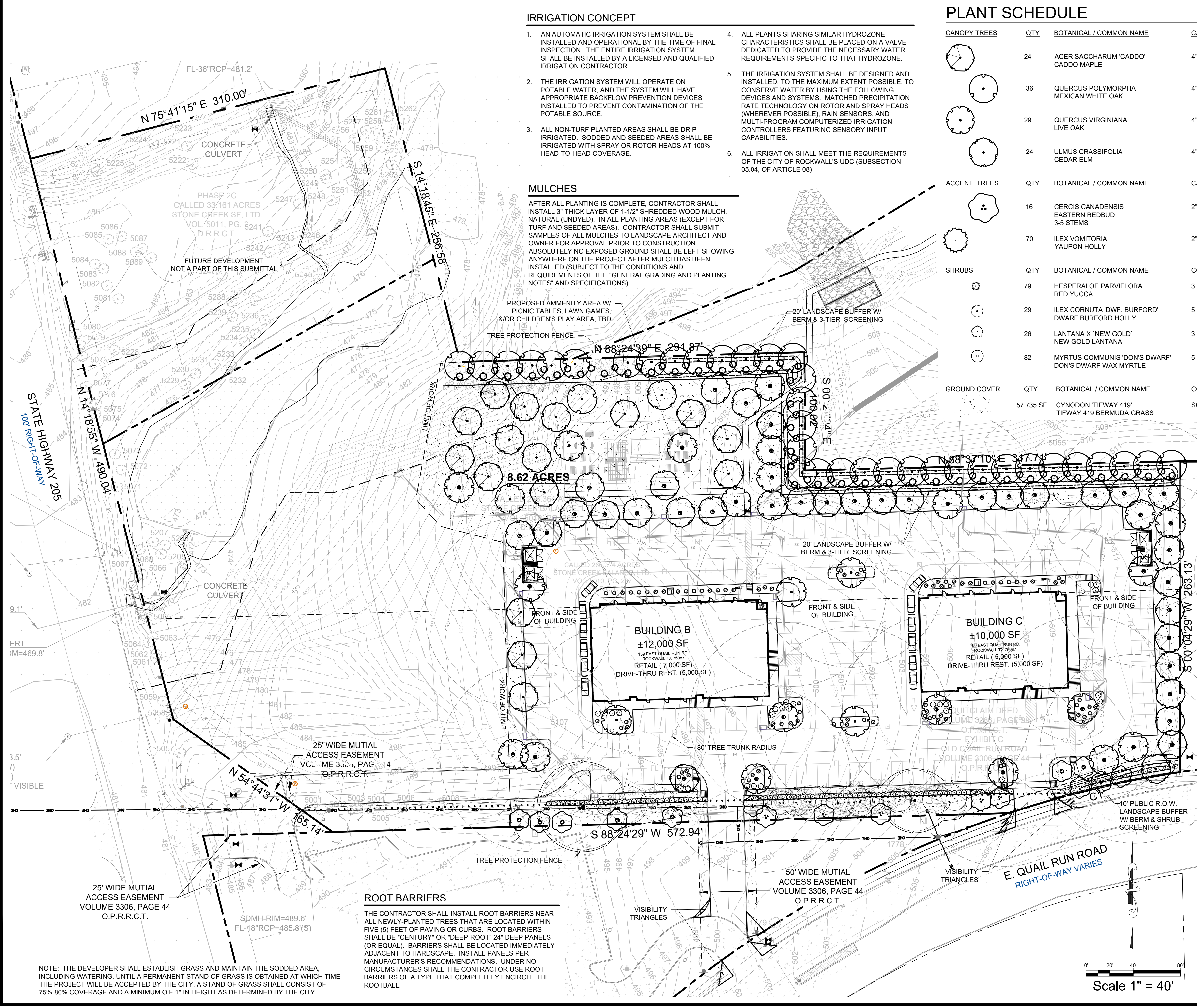
**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

SITE PLAN (2 OF 2)

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023  
 SHEET  
**SP-1**  
 File No. 2022-002  
 CASE # SP2022-012



PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 4:20 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: 8/11/2023 4:20 PM  
 LAST SAVED: 8/11/2023 4:20 PM



**IRRIGATION CONCEPT**

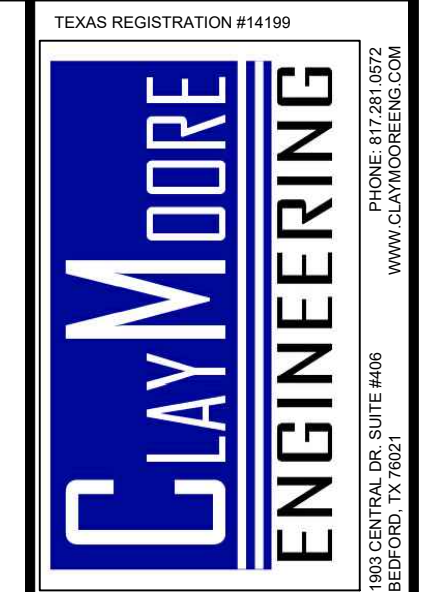
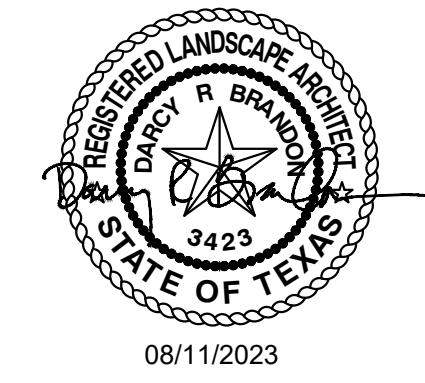
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**PLANT SCHEDULE**

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 P.E. No. 125651, State 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
 STONE CREEK BALANCE LTD  
 ABSTRACT, NO 131  
 8.684 AC (378,275 SF)

**OWNER:**

DuWest Realty, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER**

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

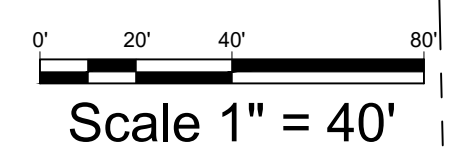
**LANDSCAPE PLANTING  
 PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

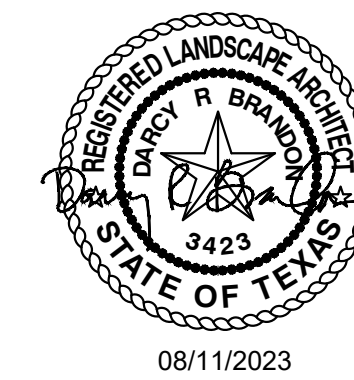
**LP-1**

File No. 2022-002  
CASE # SP2022-012

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.





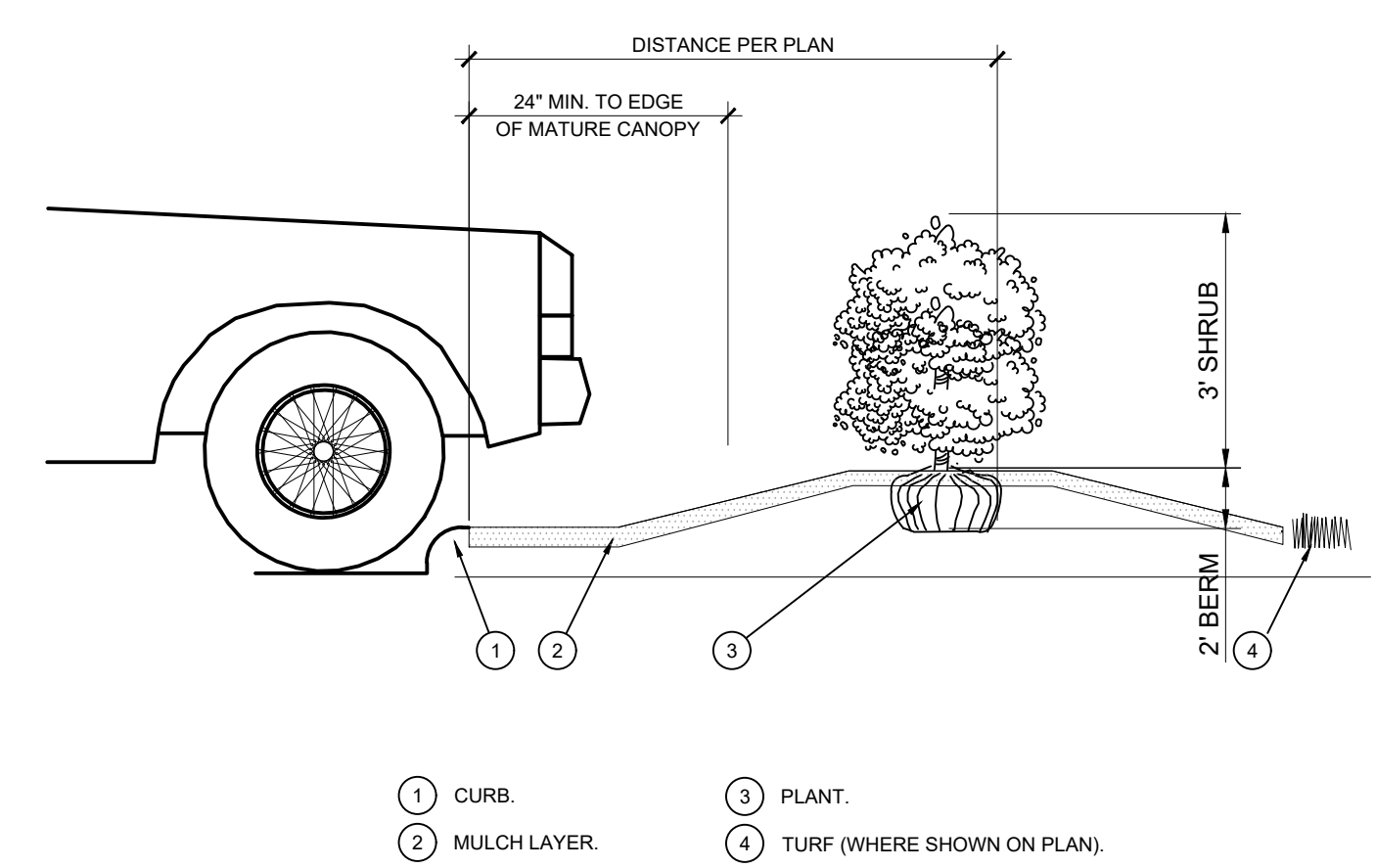


**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS  
DREW DONOSKY  
Engineer, P.E. No. 125651, Date 8/11/2023

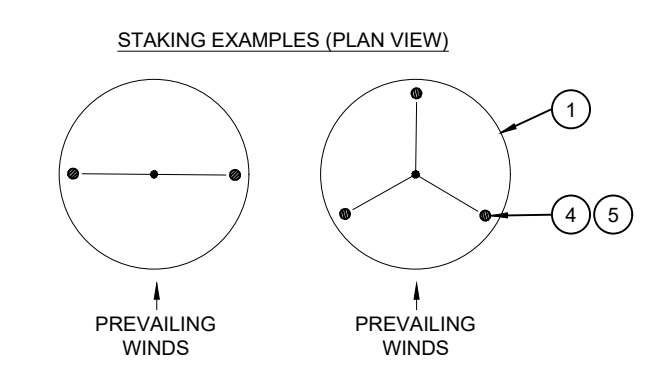
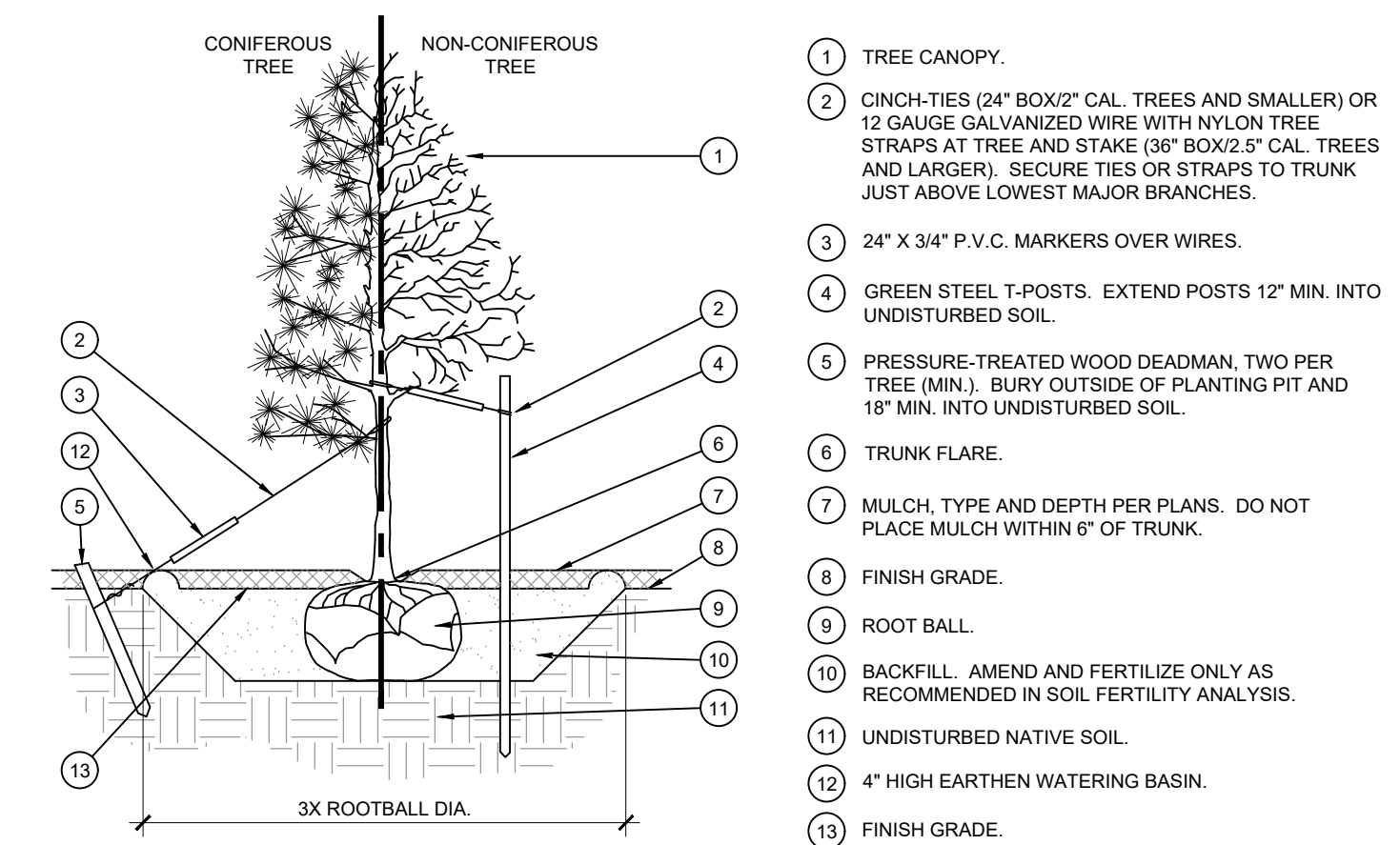
**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**LANDSCAPE STANDARDS  
PLANTING  
DETAILS & NOTES**

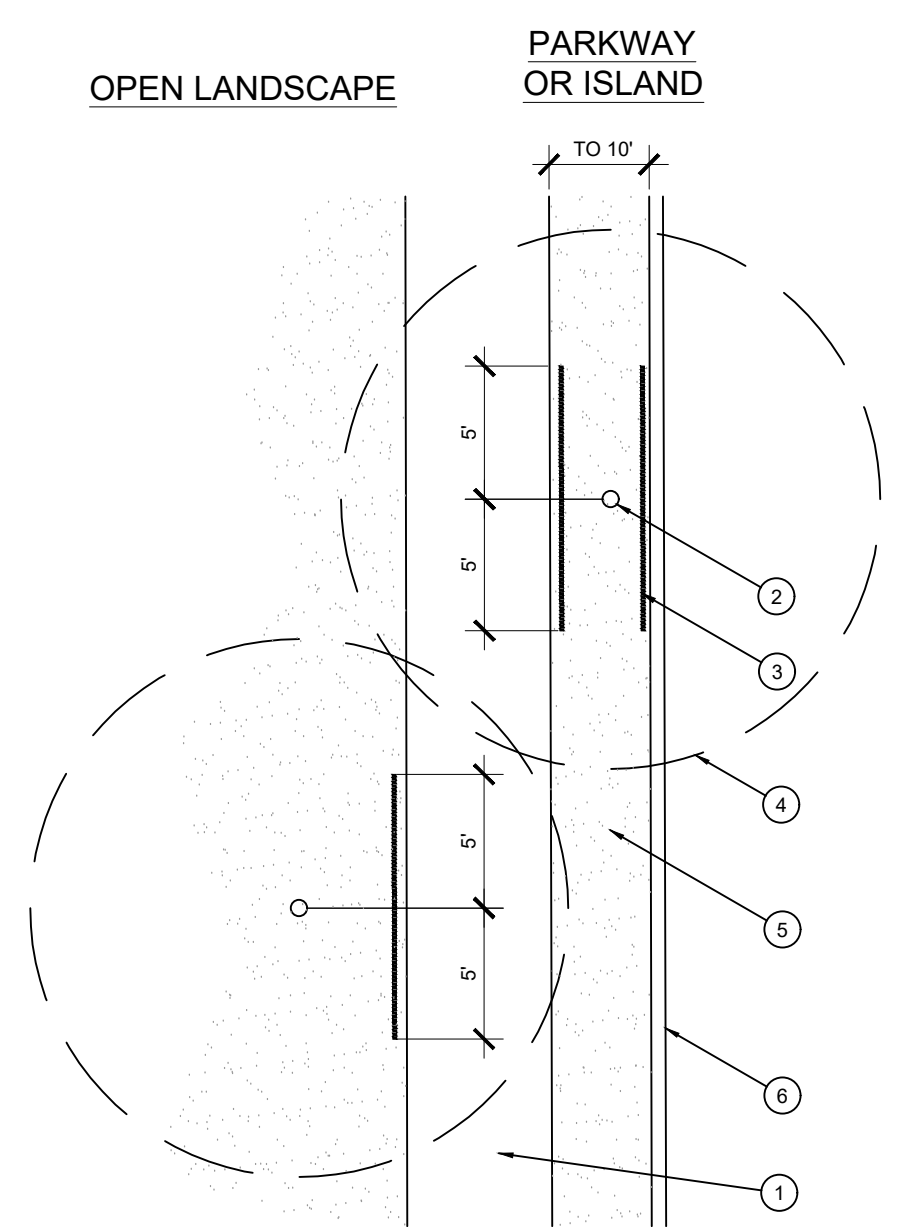
DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022  
SHEET  
**LP-2**  
File No. 2022-002  
CASE # SP2022-012



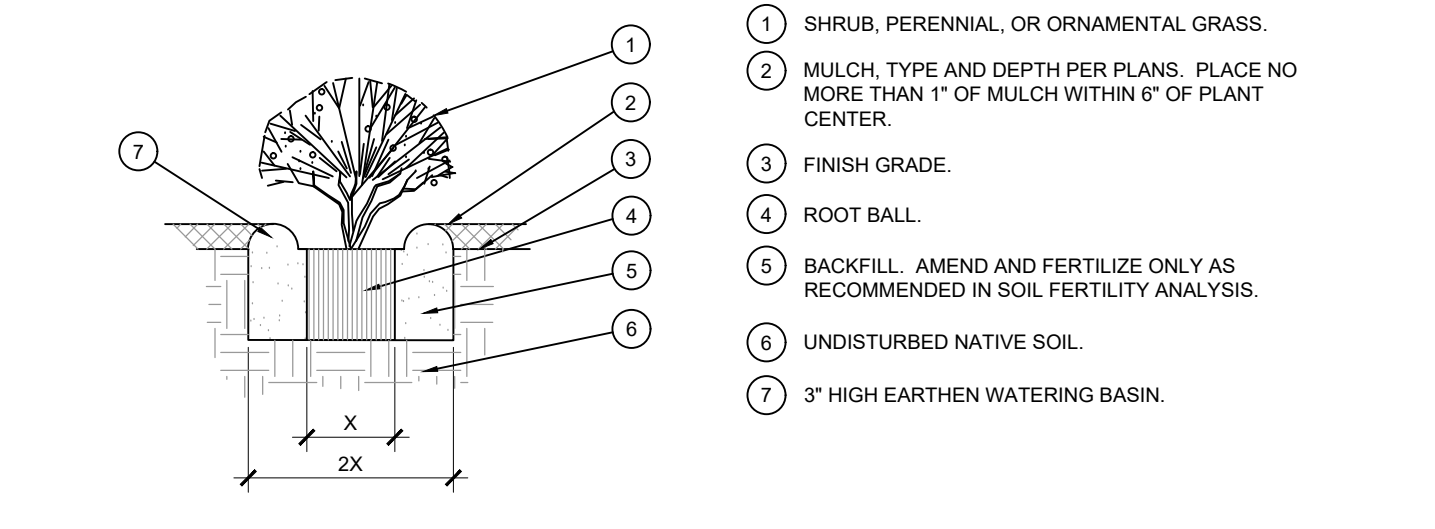
**D PLANTING AT PARKING AREA**  
SCALE: NOT TO SCALE



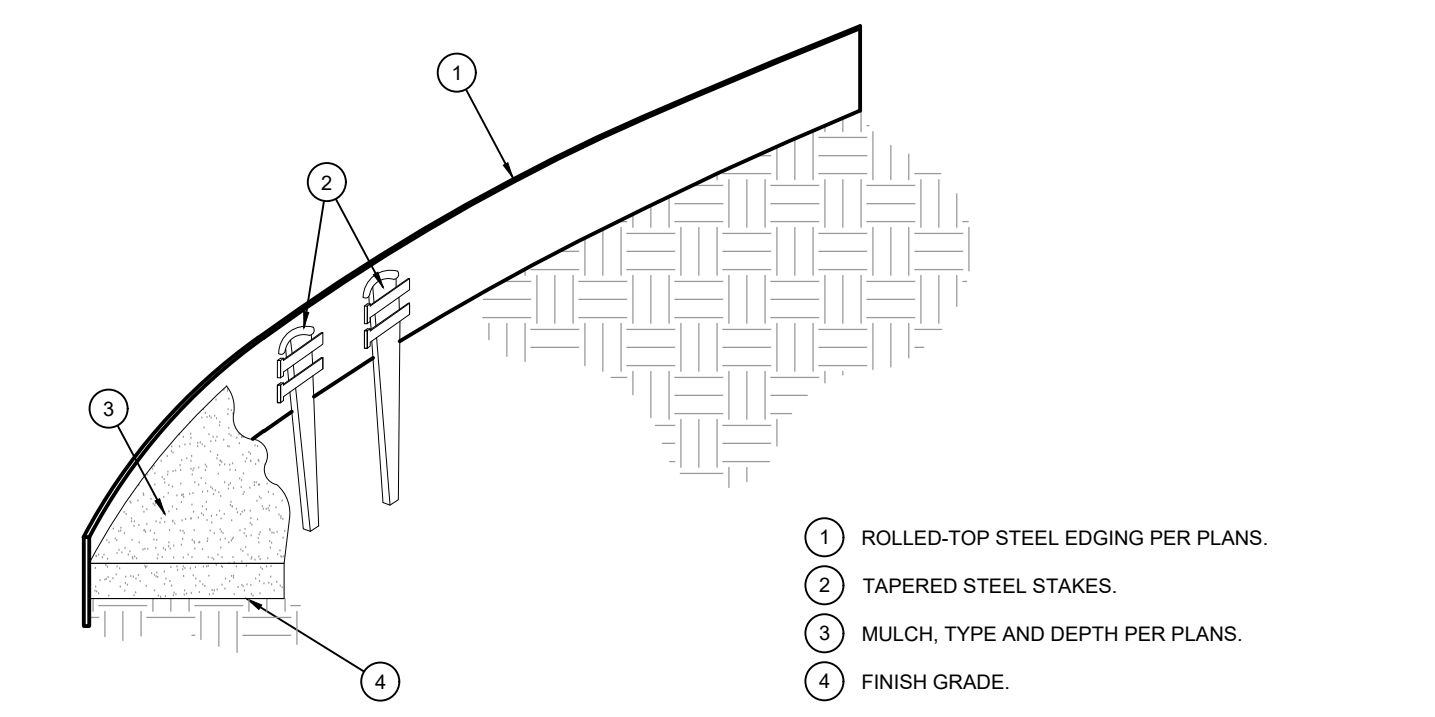
**A TREE PLANTING**  
SCALE: NOT TO SCALE



**E ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



**D STEEL EDGING**  
SCALE: NOT TO SCALE

LANDSCAPE STANDARDS	
<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
<b>E. QUAIL RUN RD.:</b> ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
<b>REQUIRED PLANTING:</b> PROVIDED 10' BUFFER:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS 2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS 3-TIERED BUFFER REQ.
<b>SOUTH PROPERTY LINE BUFFER:</b>	10 REDBUDS
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
<b>PROVIDED SCREENING</b>	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
<b>SCREENING FROM RESIDENTIAL</b>	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b> TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	4311,062 SF 62,212.4 SF (20%) ± 186,529 SF (60%)
<b>LOCATION OF LANDSCAPING:</b>	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
<b>LANDSCAPE AREAS IN FRONT &amp; SIDES OF BUILDINGS:</b>	61,293 SF (98.5%)
<b>MIN. SIZE OF AREAS</b>	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
<b>DETENTION BASINS</b>	NONE PROPOSED
<b>PARKING LOT LANDSCAPING</b>	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
<b>PROPOSED PARKING AREA:</b> <b>PROPOSED PARKING LOT LANDSCAPING:</b>	±5,011 SF ±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

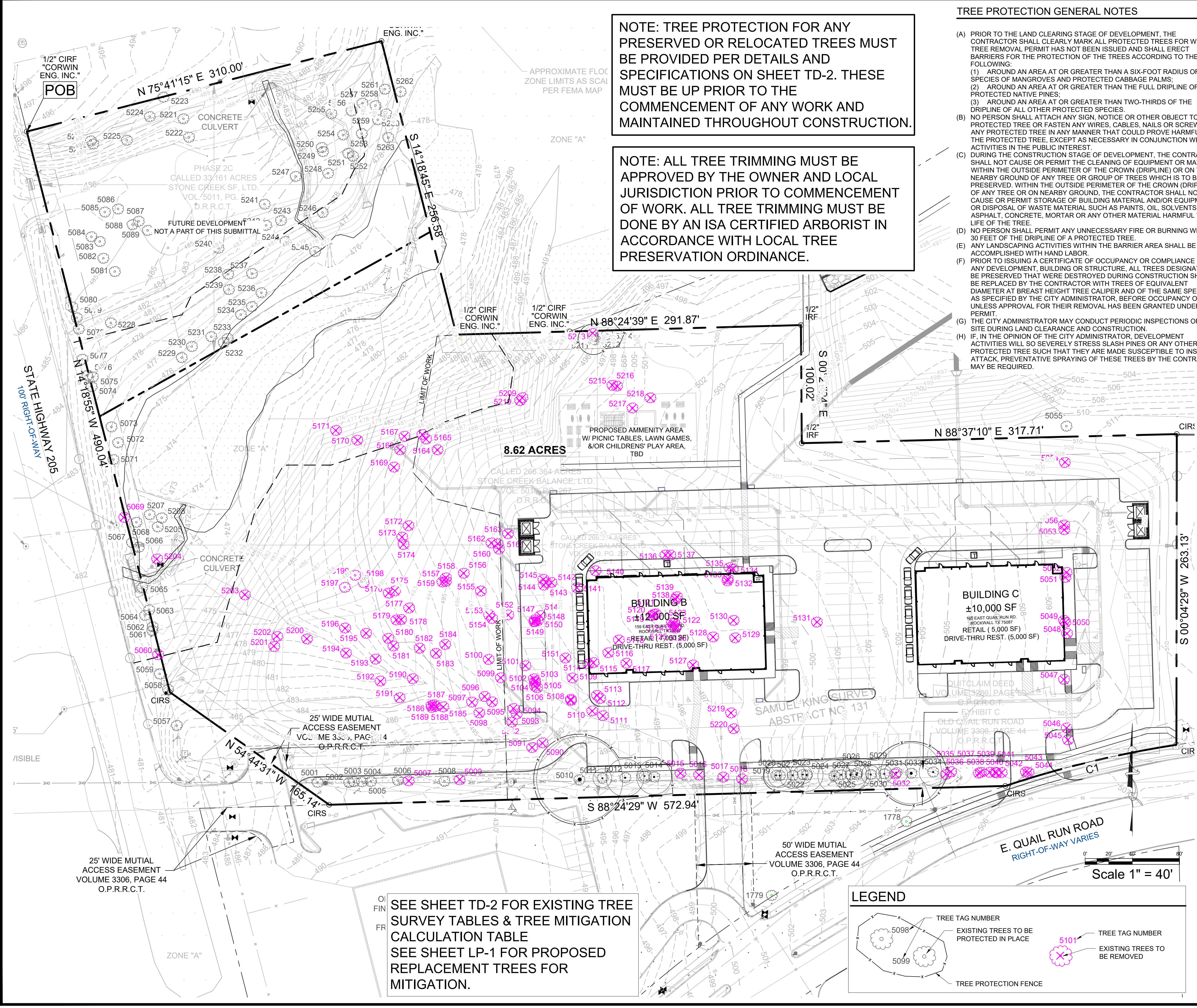
PLOTTED BY: DARCY BRANDON  
 8/11/2023 4:19 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION:  
 LAST SAVED: 8/11/2023 4:18 PM







PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:53 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TD-2022-08-10.DWG  
 LOCATION: 8/11/2023 2:51 PM  
 LAST SAVED:



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**TREE PROTECTION GENERAL NOTES**

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIFLINE OF ALL PROTECTED NATIVE PINES;
  - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIFLINE OF ALL OTHER PROTECTED SPECIES.
- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIFLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIFLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIFLINE OF A PROTECTED TREE.
- (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

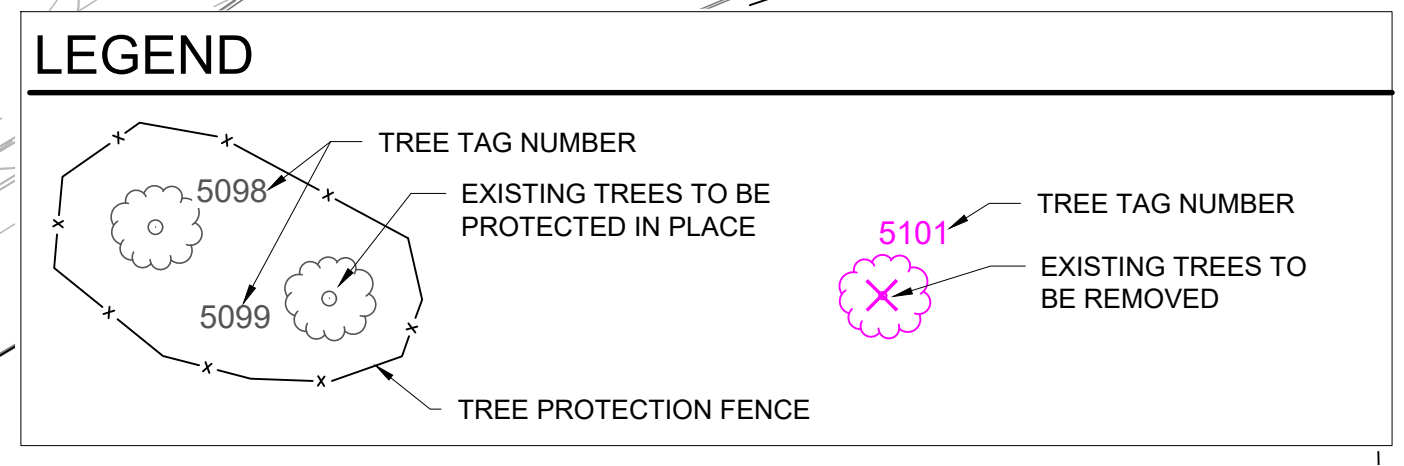
**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES
PARKING PROVIDED	
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
<b>TOTAL MITIGATION PROVIDED:</b>	<b>1044.5"</b>

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE  
 SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.



**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)**

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER:  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP  
 (800) 680-6630  
 15455 Dallas Pkwy., Ste 600  
 Addison, TX 75001  
 www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF TEXAS  
 3422  
 08/11/2022

FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, Date: 8/11/2023

**PRELIMINARY**

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**TREESCAPE PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

**SHEET TD-1**

File No. 2022-002  
 CASE # SP2022-012



EXISTING TREE SURVEY

TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC**	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC**	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW**	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC**	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC**	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC**	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW**	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14

TOTAL CALIPER INCHES 1,599  
 CALIPER INCHES NON-PROTECTED 623  
 TOTAL CALIPER INCHES PROTECTED 1,165  
 TOTAL CAL. IN. DEAD OR POOR COND. 68  
 TOTAL CALIPER INCHES REMOVED\* 716  
 TOTAL CALIPER INCHES PRESERVED 449  
 MITIGATION REQUIRED 1,058\*  
 SHADED ROWS INDICATE TREES TO BE REMOVED

\* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND (\$200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0							

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD**  
 ABSTRACT. NO 131  
 8.684 AC (378,275 SF)

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN**

**EXISTING TREE INVENTORY**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

SHEET

**TD-2**

File No. 2022-002



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, License No. 125651, State of Texas, dated 8/11/2023.

**DUWEST ROCKWALL**  
**SH 205 & QUAIL RUN RD**  
**ROCKWALL, TX**

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:56 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_Td-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

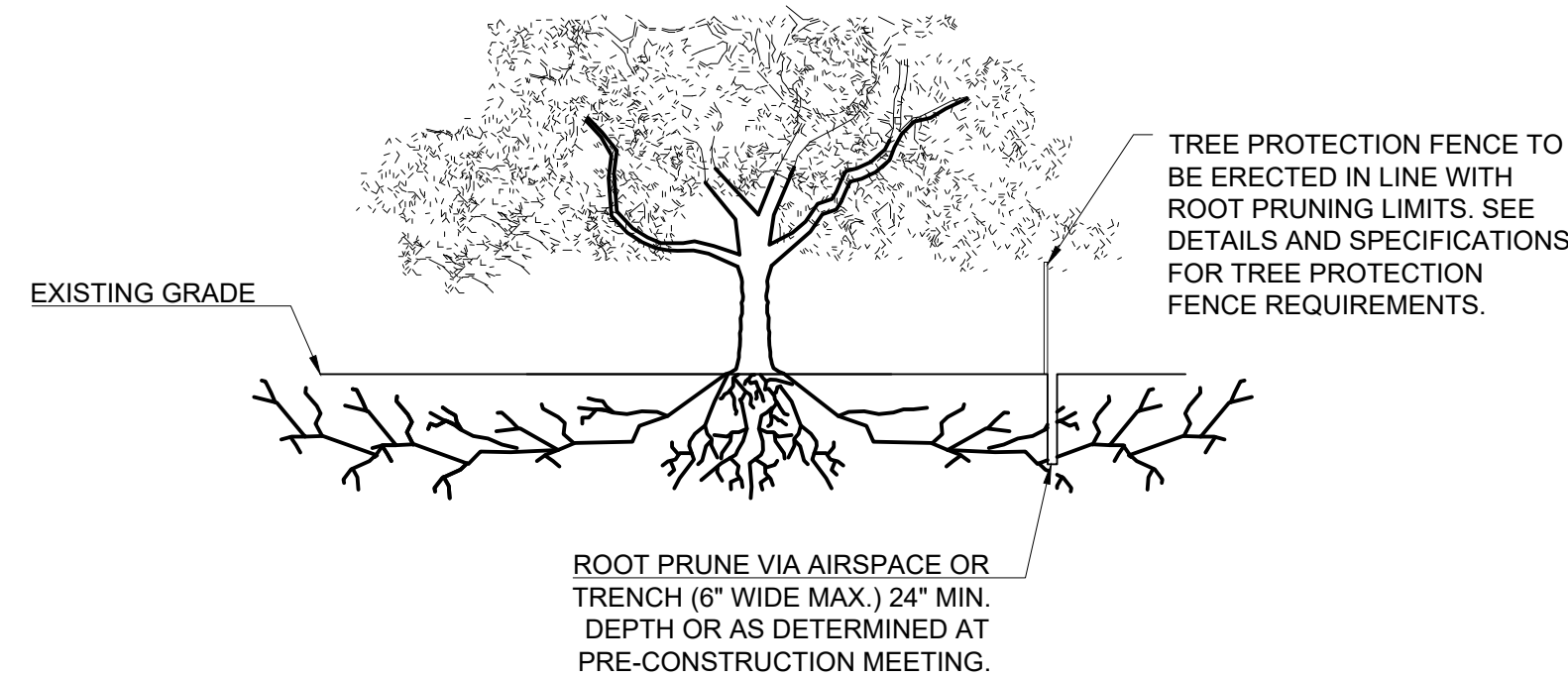
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

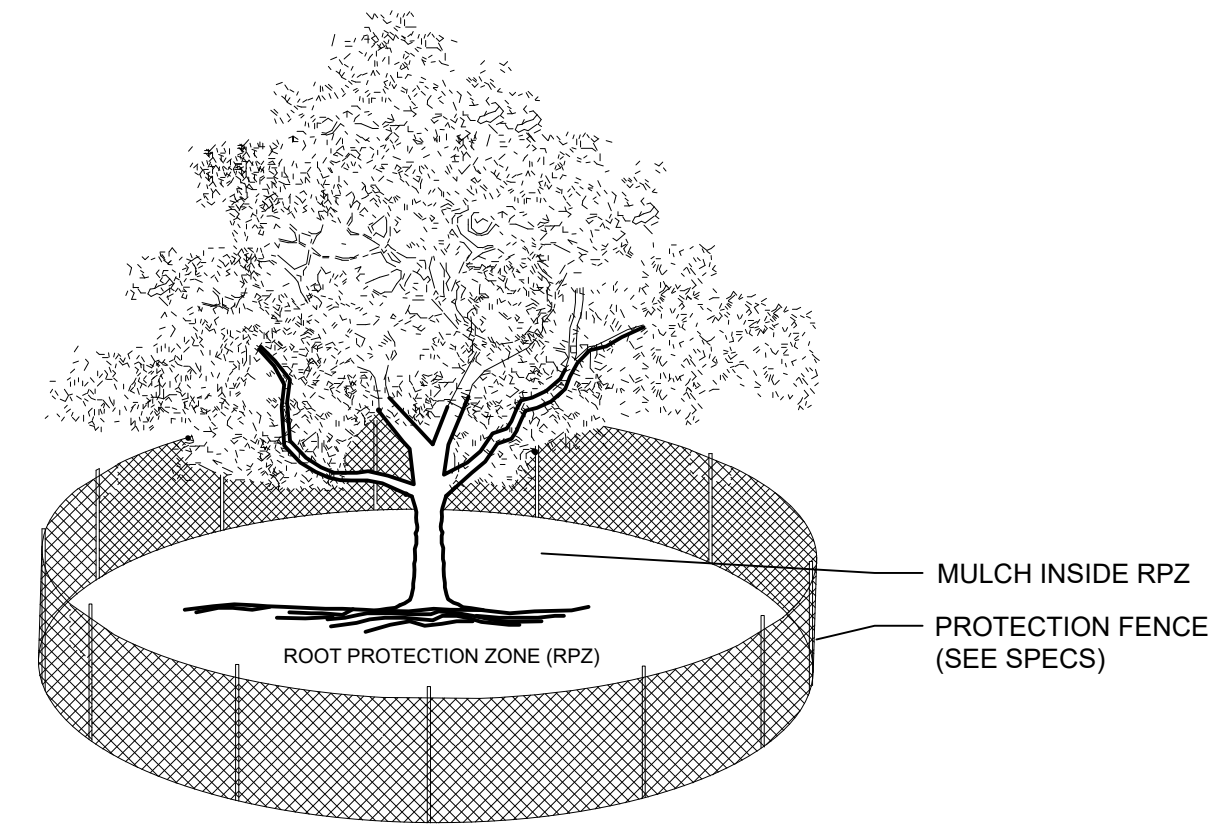
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



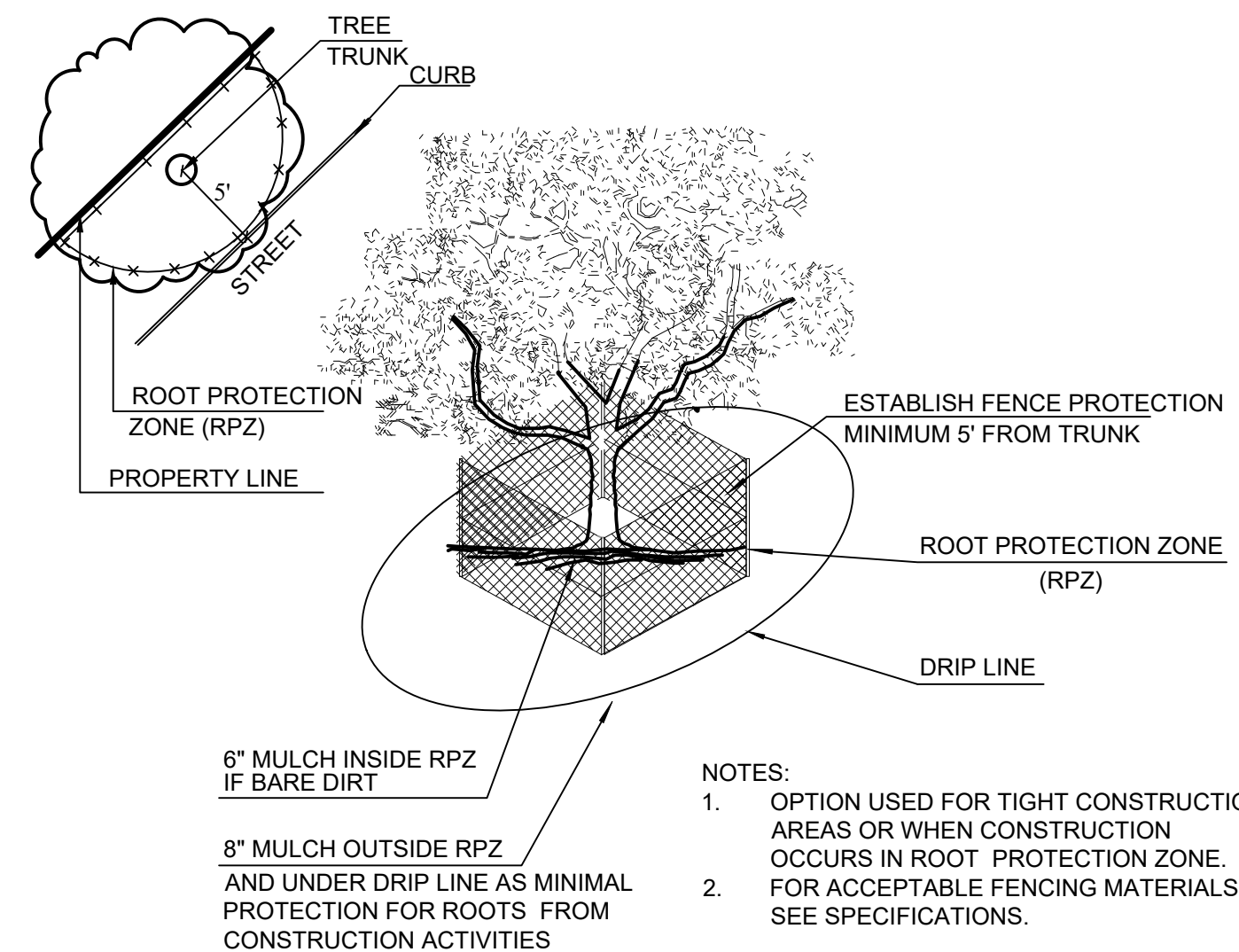
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



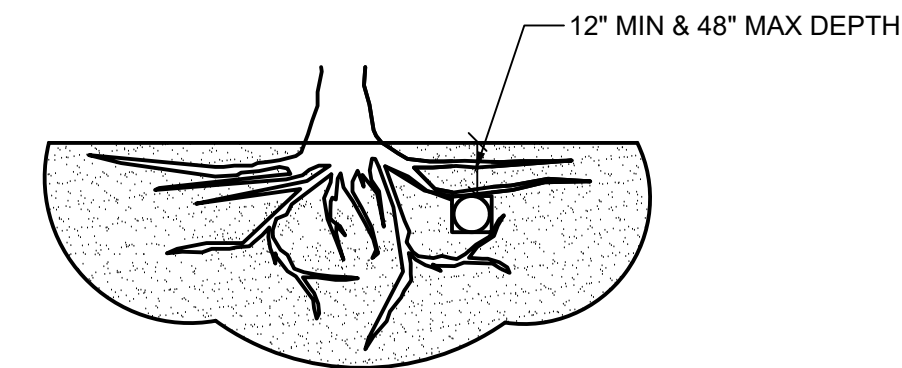
**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

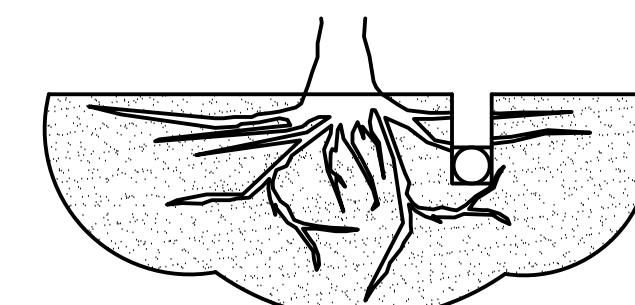
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

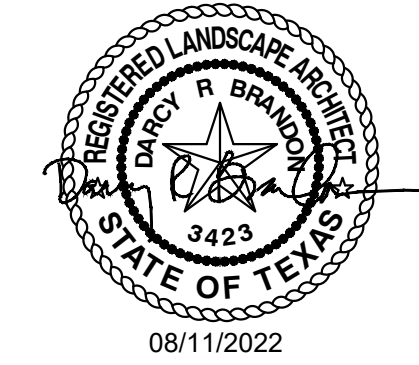


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE



**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS  
DREW DONOSKY  
Engineer, 125651, State, 8/11/2023  
P.E. No. 125651, State, 8/11/2023

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**DUWEST ROCKWALL, TX**

**LEGAL DESCRIPTION AND OR ADDRESS:**

**STONE CREEK BALANCE LTD  
ABSTRACT, NO 131  
8.684 AC (378,275 SF)**

**OWNER:**

DUWEST REALTY, LLC  
4403 N.CENTRAL EXWAY SUITE #200  
DALLAS, TX 75025  
CONTACT: BOWEN HENDRIX  
PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
CONTACT: DREW DONOSKY  
PH: 817.281.0572

**CASE NUMBER**

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**TREESCAPE PLAN  
DETAILS & SPECIFICATIONS**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022

SHEET  
**TD-3**

File No. 2022-012  
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:57 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TID-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 26, 2023  
**APPLICANT:** Bowen Hendrix; *DuWest Realty, LLC*  
**CASE NUMBER:** SP2023-029; *Amended Site Plan for DuWest Rockwall*

---

### **SUMMARY**

Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) *Restaurant/Retail Buildings* on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary..

### **BACKGROUND**

The subject property was annexed on February 6, 1961 by *Ordinance No. 61-02 [Case No. A1961-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council adopted *Ordinance No. 07-13 [Case No. Z2007-006]*, which rezoned a 395.075-acre tract of land -- *that included the subject property* -- from an Agricultural (AG) District to Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. The concept plan included with this Planned Development District designated the subject property for Single-Family 10 (SF-10) District land uses. On October 19, 2009, the City Council adopted *Ordinance No. 09-44 [Case No. Z2009-018]*, which amended the concept plan and development standards for Planned Development District 70 (PD-70). The amendment re-designated approximately seven (7) acres of the subject property to allow limited General Retail (GR) District land uses. This area was later expanded by *Ordinance No. 11-35 [Case No. Z2011-016]* to include the remainder of the subject property, re-designating the entire 8.63-acres for limited General Retail (GR) District land uses. On February 6, 2017, the City Council approved a PD Development Plan [*Ordinance No. 17-08; Case No. Z2016-049*] for the subject property in accordance with the requirements of Planned Development District 70 (PD-70). This development plan was for a proposed grocery store; however, the project was never pursued beyond the PD Development Plan. On January 3, 2021, the City Council approved a subsequent PD Development Plan [*Ordinance No. 22-01; Case No. Z2021-048*] to allow for a *General Retail Development/Shopping Center*. On March 7, 2022, the Planning and Zoning Commission approved a Specific Use Permit (SUP) [*Case No. Z2022-003; Ordinance No. 22-12*] allowing two (2) *Restaurants, 2,000 SF or Greater, with Drive-Through or Drive-In* within the proposed two (2), ~10,000 SF *Restaurant/Retail Buildings*. On April 12, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-012*] for the two (2) *Restaurant/Retail Buildings* on the subject property. On July 26, 2022, the Planning and Zoning Commission approved a variance [*Case No. MIS2022-016*] to the driveway spacing requirements to allow an additional driveway off of Quail Run Road. On November 7, 2022, the City Council approved a final plat [*Case No. P2022-054*] that establish the subject property as Lot 2, Block A, Duwest Addition.

### **PURPOSE**

On September 18, 2023, the applicant -- *Bowen Hendrix of DuWest Realty, LLC* -- submitted an application requesting the approval of an amended site plan for the purpose of constructing two (2) *Restaurant/Retail Buildings* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located north of the intersection of E. Quail Run Road and N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:



North: Directly north of the subject property is Phase 4 of the Stone Creek Subdivision, which was established on June 12, 2013 and consists of 59 single-family residential lots. Beyond this is Phase 1 of the Stone Creek Subdivision, which was established on August 28, 2008 and consists of 201 single-family residential lots. Both of these subdivisions are zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

South: Directly south of the subject property is a 2.519-acre parcel of land (i.e. Lot 1R, Block B, Quail Run Retail) with a pharmacy (i.e. CVS Pharmacy) situated on it. Beyond this is E. Quail Run Road, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 11.236-acre parcel of land (i.e. Lot 1, Block A, Kroger 205 Addition) with a grocery store and gas station (i.e. Kroger Grocery Store and Fuel Center) situated on it. These properties are zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses.

East: Directly east of the subject property is a 1.512-acre parcel of land owned by the City of Rockwall, and which is occupied with a fire station (i.e. Fire Station #3). Beyond this is Phase 7 of the Stone Creek Subdivision, which was established on July 13, 2016 and consists of 80 single-family residential homes. These properties are zoned Planned Development District 70 (PD-70) for Public and Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.174-acre parcel of land (i.e. Lot 1, Block A, Pecan Valley Retail Addition), which is occupied by a multi-tenant retail building.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and Ordinance No. 19-41 (i.e. *Planned Development District 70 [PD-70]*), a *General Retail Building* is permitted *by-right* in a General Retail (GR) District. In addition, *Specific Use Permit No. S-271* allows a *Restaurant, 2,000 SF or Greater, with Drive-Through or Drive-In* on the subject property in accordance with the requirements of *Ordinance No. 22-12*. Based on this and the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conforming to the technical requirements, this case appears to be in conformance with all applicable requirements stipulated by the Unified Development Code (UDC) and *Ordinance No. 19-41* for a property located within Planned Development District 70 (PD-70) and a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=8.684-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	X>60 -feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=263.13-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	36-Feet	X=28.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=0.06%; In Conformance
<i>Minimum Number of Parking Spaces</i>	168 Parking Spaces Required	X=168 Parking Spaces; In-Conformance
<i>Minimum Landscaping Percentage</i>	20%	69.2%; In Conformance
<i>Maximum Impervious Coverage</i>	85%-90%	X<85%; In Conformance

**TREESCAPE PLAN**

The *Treescape Plan* provided by the applicant indicates that the development will result in a total mitigation balance of 1,446 caliper inches of trees. This balance incorporates all trees being removed within the subdivision, which includes the subject property and the parcels to the west and north west of the subject property. As part of the proposed treescape plan the applicant is planting 484 caliper inches on the subject property, the adjacent property to the west is planting 312 caliper inches, and they are protecting 270 caliper inches of protected *Feature Trees* (i.e. *Oak, Elm, and Pecan trees over 25 caliper inches*). This reduces the total mitigation balance to 380 caliper inches. According to Article 09, *Tree Preservation*, of the



Unified Development Code (UDC), only 20% of the mitigation balance may be purchased at the rate of \$100.00 per caliper inch. In this case, the applicant is limited to purchasing 289.2 caliper inches; however, their remaining mitigation balance is 380 caliper inches. Based on this, the applicant has indicated to staff that they would like to request an *Alternative Tree Mitigation Settlement Agreement* in order to pay the remaining tree mitigation balance in full in accordance with Section 05(G), of Article 09, *Tree Preservation*, of the Unified Development Code (UDC). This would equate to a total of \$38,000.00 paid into the *Tree Fund* if approved. This has been added as a *Condition of Approval* for this case and -- if the Planning and Zoning Commission approves this case with the *Conditions of Approval* -- the Planning and Zoning Commission will be sending a recommendation for the approval of the requested *Alternative Tree Mitigation Settlement Agreement*.

### **CONFORMANCE WITH THE CITY'S CODES**

In reviewing of the applicant's request, staff has identified the following changes: [1] *Building B* is increasing in size by 2,228 SF (i.e. 22.3%), [2] *Building C* is increasing in size by 247 SF (i.e. 2.47%), and [3] each building façades surface area is increasing in size due to the increased building area. All other aspects of the applicant's request match what was approved with the original site plan [*Site Plan SP2022-012*]. Given this, the proposed amended site plan generally conforms to the requirements outlined in the Unified Development Code (UDC) and Planned Development District 70 (PD-70).

### **VARIANCES REQUESTED BY THE APPLICANT**

As part of the originally approved site plan [*Case No. SP2022-012*] for the two (2) *Restaurant/Retail Buildings*, the Planning and Zoning Commission approved a variance to the *Four (4) Sided Architecture* requirements. More specifically the proposed buildings [1] did not incorporate the same architectural finishes, and [2] they failed to meet the minimum articulation requirements. The new building elevations provided by the applicant depict the same variance to the *Four (4) Sided Architecture* requirements. Given this, the proposed buildings are in conformance with the previous approval.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Northwest Residential District*. The *Northwest Residential District* is "...characterized by the two (2) large master planned communities that make up the majority of the acreage in this district." In this case, the subject property is a part of one (1) of these two (2) large master planned communities (i.e. *the Stone Creek Subdivision*), and is designated for *Commercial/Retail* land uses. According to the *District Strategies* for the *Northwest Residential District*, "(t)he commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the proposed buildings are physically removed from the residential structures to the north and east, and are closer to the existing commercial land uses that are located on the north and south sides of the intersection of E. Quail Run Road and N. Goliad Street. The buildings being proposed by the applicant are complimentary in nature to these existing commercial buildings. Based on the proposed site plan's conformance with the *Land Use* goals and policies outlined in Chapter 01, *Land Use and Growth Management*, and the *Commercial* goals and policies outlined in Chapter 09, *Commercial*, the applicant's request conforms with the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on August 29, 2023, approved a motion to recommend approval of the proposed building elevations by a vote of 3-0, with Board Members Meyrat and Hudson absent, and two (2) vacant positions.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's *Amended Site Plan* for two (2) *Restaurant/Retail Buildings* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.



- (2) Before any Certificates of Occupancy (CO's) are issued for future tenants, documentation shall be provided indicating that any proposed *Roof Top Units (RTU's)* will meet the screening requirements and will not be visible from any adjacent property, open space, or public right-of-way.
- (3) A recommendation of approval will be forwarded to the City Council for an *Alternative Tree Mitigation Settlement Agreement* in the amount of \$38,000.00, which will satisfy the outstanding tree mitigation balance of 380 caliper inches of trees.
- (4) The proposed amenity area and pedestrian access points indicated on the site plan shall be constructed with the two (2) proposed *Restaurant/Retail Buildings*, and no Certificates of Occupancy (CO's) for either of these buildings will be issued until this construction of this area is complete.
- (5) Any construction resulting from the approval of this *Amended Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Not Assigned Yet**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **NEC C Quail Run Road and 205**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-70**

CURRENT USE **Vacant**

PROPOSED ZONING **PD-70**

PROPOSED USE **Commercial retail**

ACREAGE **8.684**

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **DuWest Realty, LLC**

APPLICANT **ClayMoore Engineering**

CONTACT PERSON **Bowen Hendrix**

CONTACT PERSON **Lynn Rowland**

ADDRESS **4403 North Central Expressway  
Suite 200**

ADDRESS **1903 Central Drive  
Suite 406**

CITY, STATE & ZIP **Dallas, Tx 75025**

CITY, STATE & ZIP **Bedford, Tx**

PHONE **214-918-1804**

PHONE **817.281.0572**

E-MAIL **bowen@duwestrealty.com**

E-MAIL **Lynn@claymooreeng.com**

## NOTARY VERIFICATION [REQUIRED]

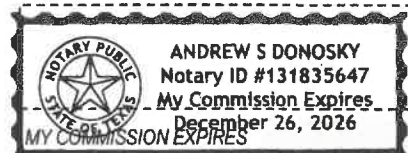
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 2023

OWNER'S SIGNATURE [Signature]

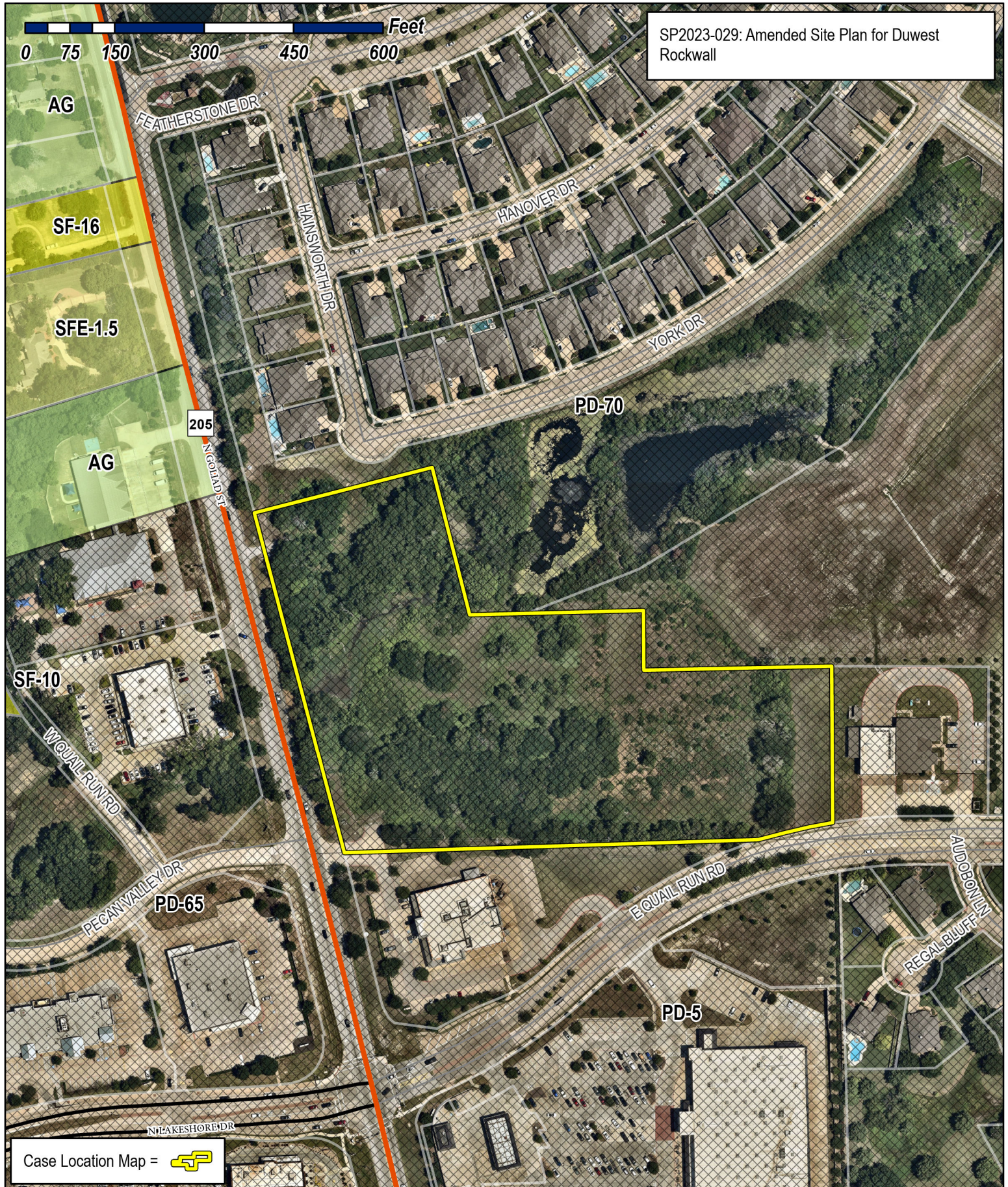
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]







SP2023-029: Amended Site Plan for Duwest Rockwall



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

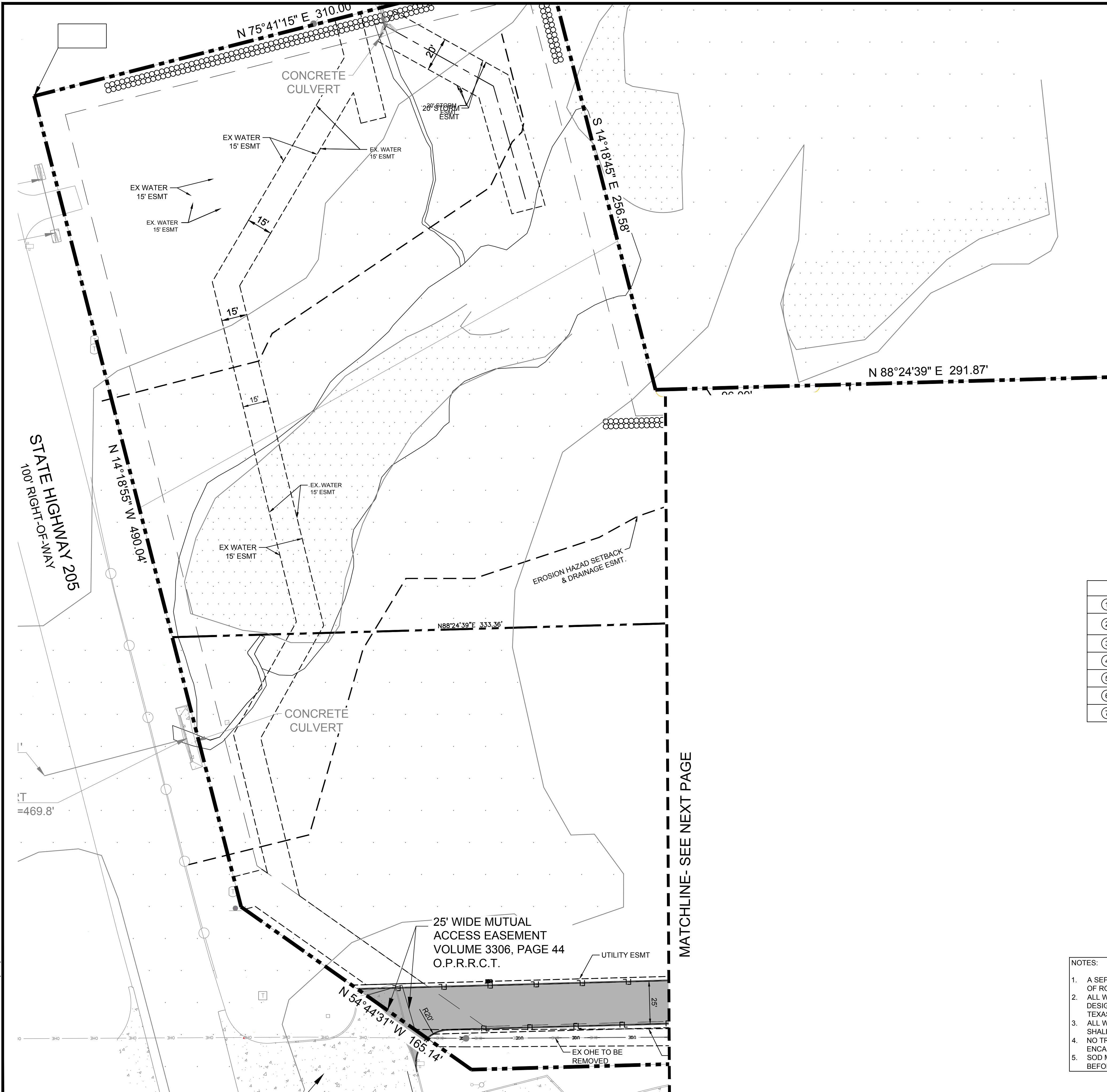








PLOTTED BY: JAT/KRUBARUBIDA  
 PLOT DATE: 8/17/2023 10:16 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG  
 LAST SAVED: 8/17/2023 11:07 AM



MATCHLINE- SEE NEXT PAGE

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
①	PROP. FULL DEPTH SAWCUT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CURB & GUTTER
④	PROP. PEDESTRIAN RAMP
⑤	PROP. HANDICAP SYMBOL
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. SIDEWALK

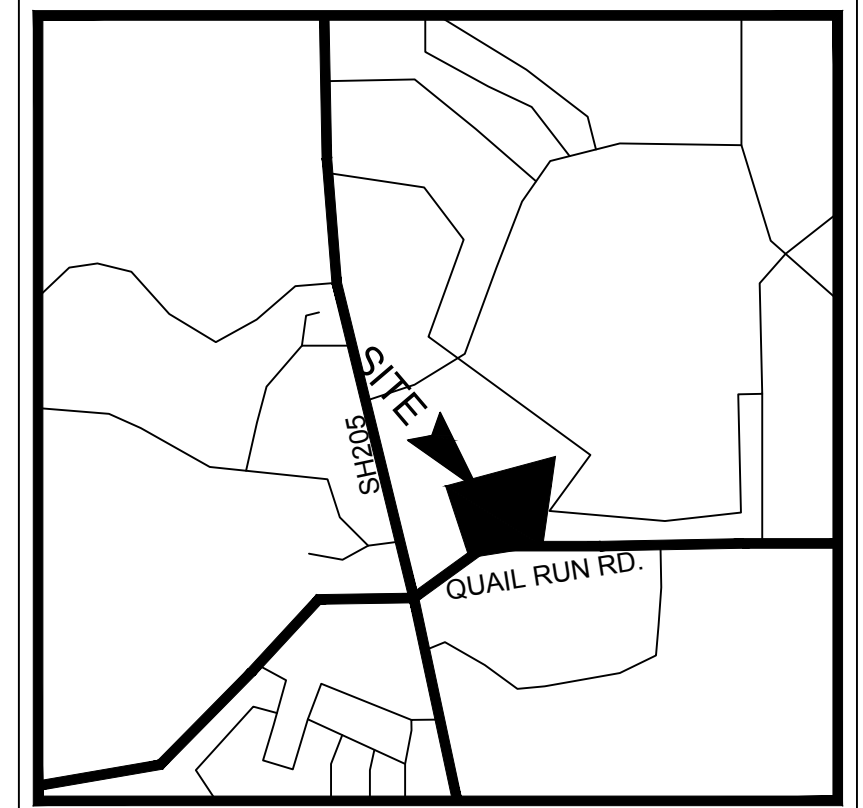
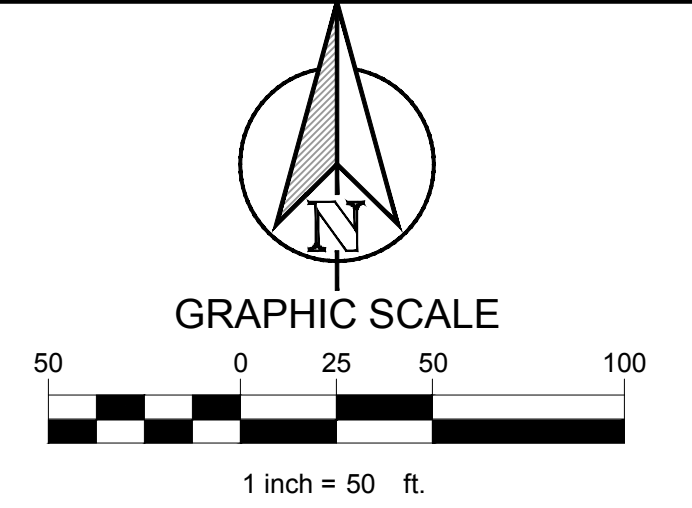
**TBM #1 - ELEV. 507.40**  
 AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

**TBM #2 - ELEV. 489.60**  
 AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

**TBM #3 - ELEV. 486.4**  
 AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE, PUBLIC ACCESS AND UTILITY EASEMENT
	PROPOSED SAWCUT
	PARKING COUNT

<b>DUWEST ROCKWALL, TX</b>	
LEGAL DESCRIPTION AND OR ADDRESS: STONE CREEK BALANCE LTD ABSTRACT, NO 131 8.684 AC (378,275 SF)	
OWNER: DUWEST REALTY, LLC 4403 N. CENTRAL EXHWAY SUITE #200 DALLAS, TX 75025 CONTACT: BOWEN HENDRIX PH: 214.918.1804	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 CONTACT: DREW DONOSKY PH: 817.281.0572	
CASE NUMBER Z2022-003	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.	
WITNESS OUR HANDS THIS _____ DAY OF _____.	
PLANNING AND ZONING COMMISSION, CHAIRMAN	_____ DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENGINEERING.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING  
 CONSULTANTS  
 Engineer: DREW DONOSKY  
 P.E. No. 12565 License 8/17/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**SITE PLAN (2 OF 2)**

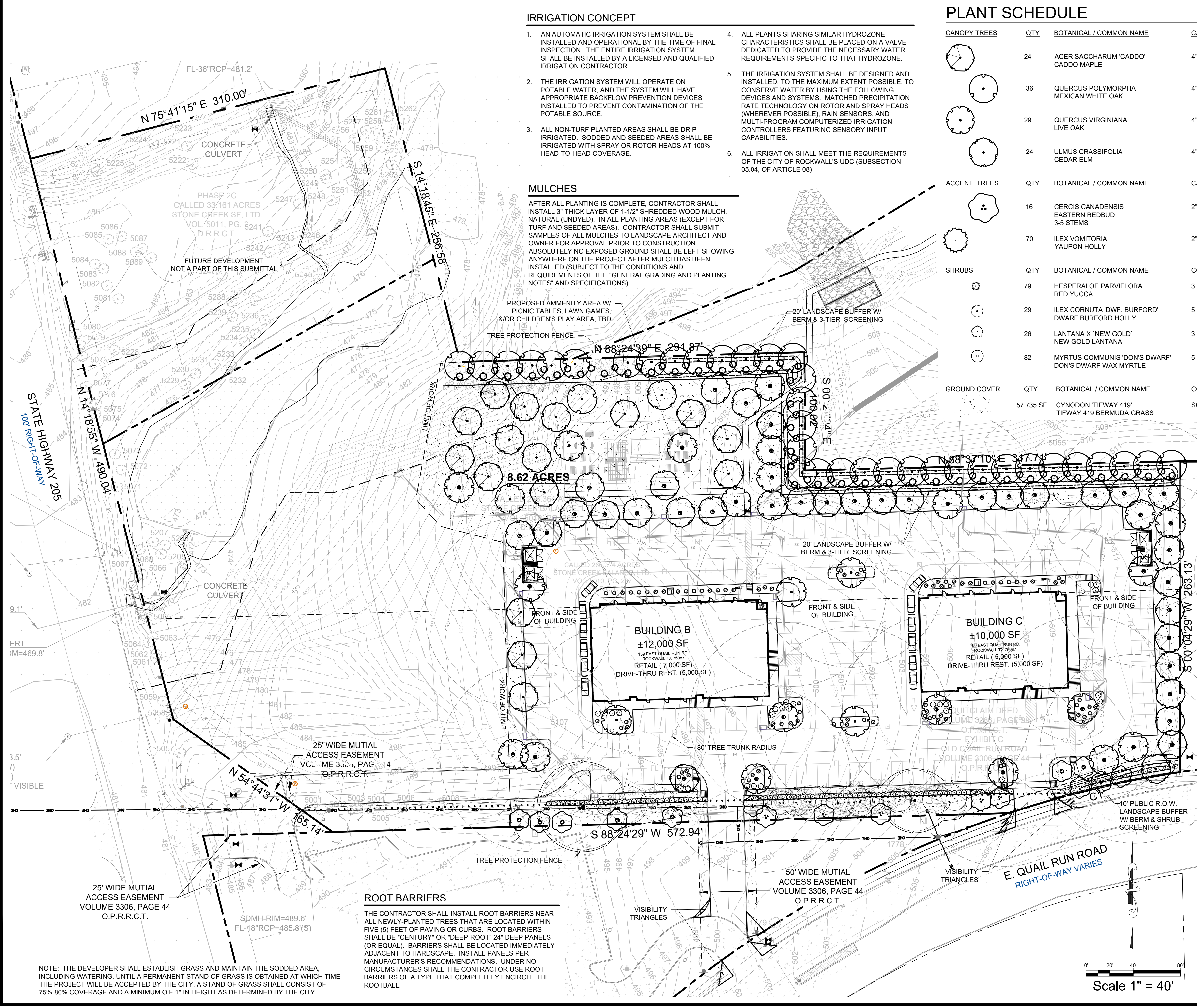
DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 8/17/2023

SHEET  
**SP-1**

File No. 2022-002  
 CASE # SP2022-012



PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 4:20 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: 8/11/2023 4:20 PM  
 LAST SAVED: 8/11/2023 4:20 PM



**IRRIGATION CONCEPT**

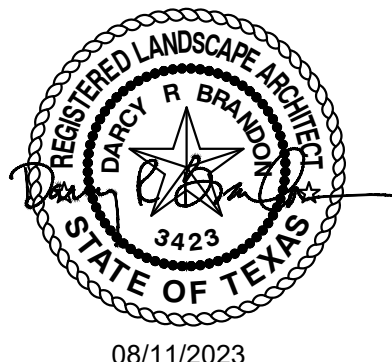
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**PLANT SCHEDULE**

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL	16'-18" HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14'-16" HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14'-16" HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL	16'-18" HT
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8' -10' HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8' -10' HT
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL	
	26	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	3 GAL	
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL	
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT	
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 P.E. No. 125651, State 8/11/2023

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1' x \$200 = \$34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4' x \$100 / IN = \$26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05-1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
 STONE CREEK BALANCE LTD  
 ABSTRACT, NO 131  
 8.684 AC (378,275 SF)

**OWNER:**

DuWest Realty, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER**

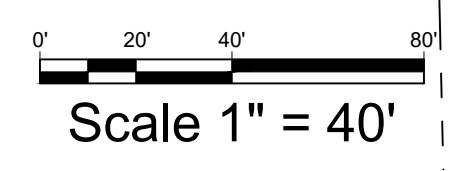
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

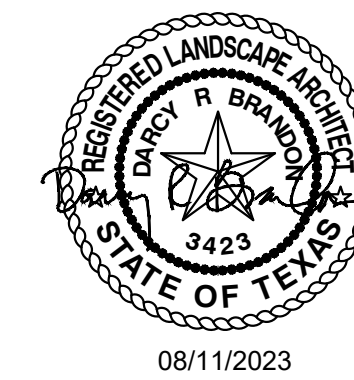
**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**LANDSCAPE PLANTING  
 PLAN**

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

**LP-1**



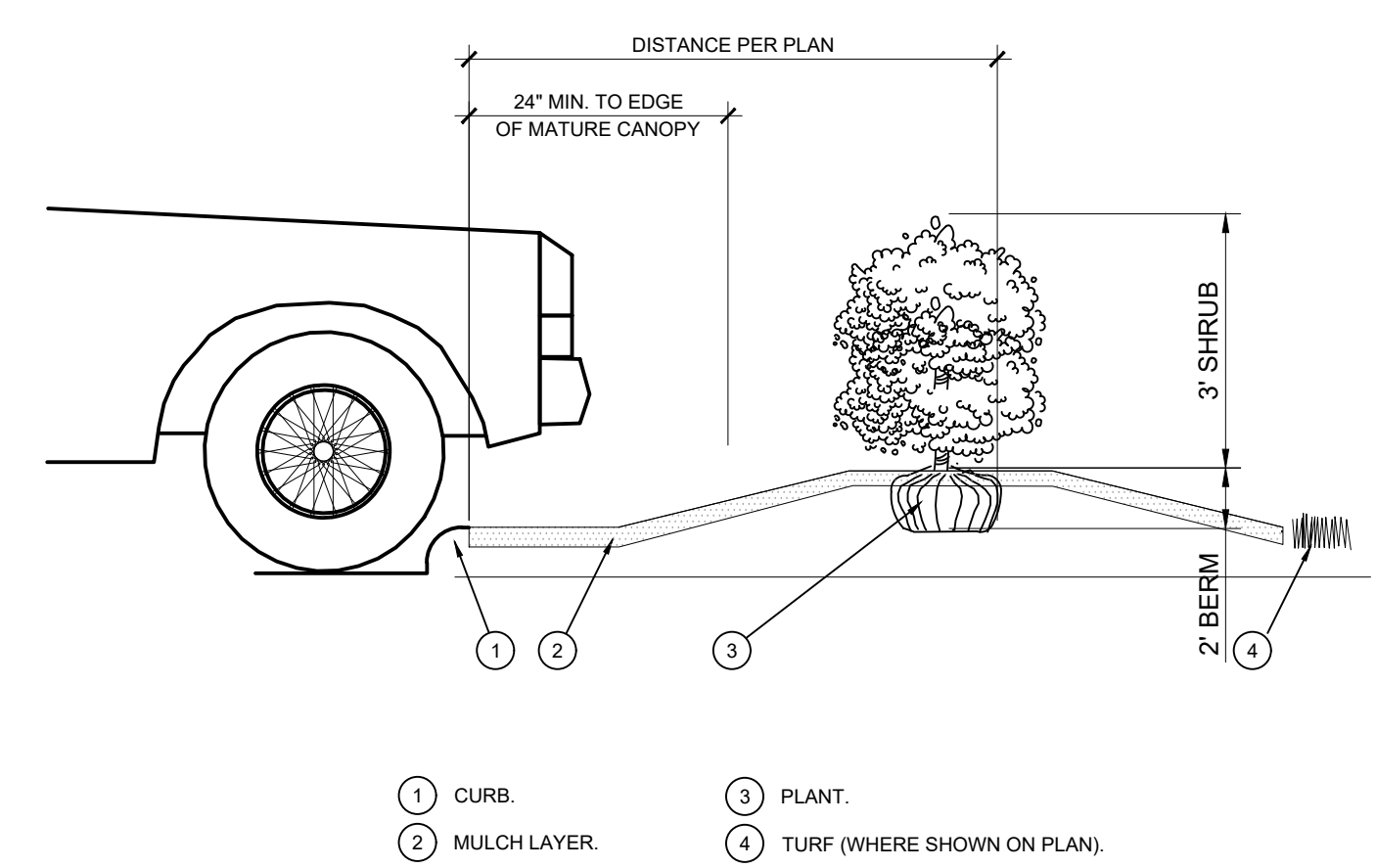


**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS  
DREW DONOSKY  
Engineer, P.E. No. 125651, Date 8/11/2023

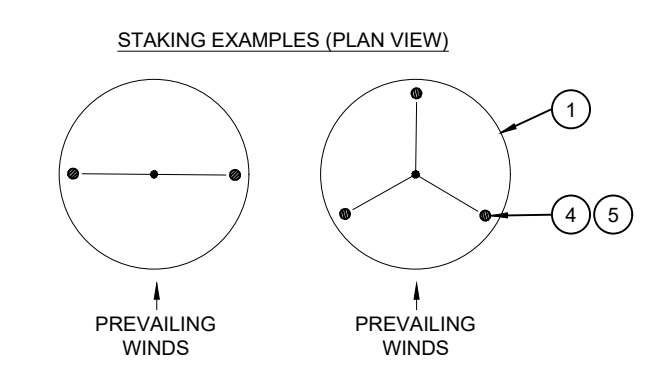
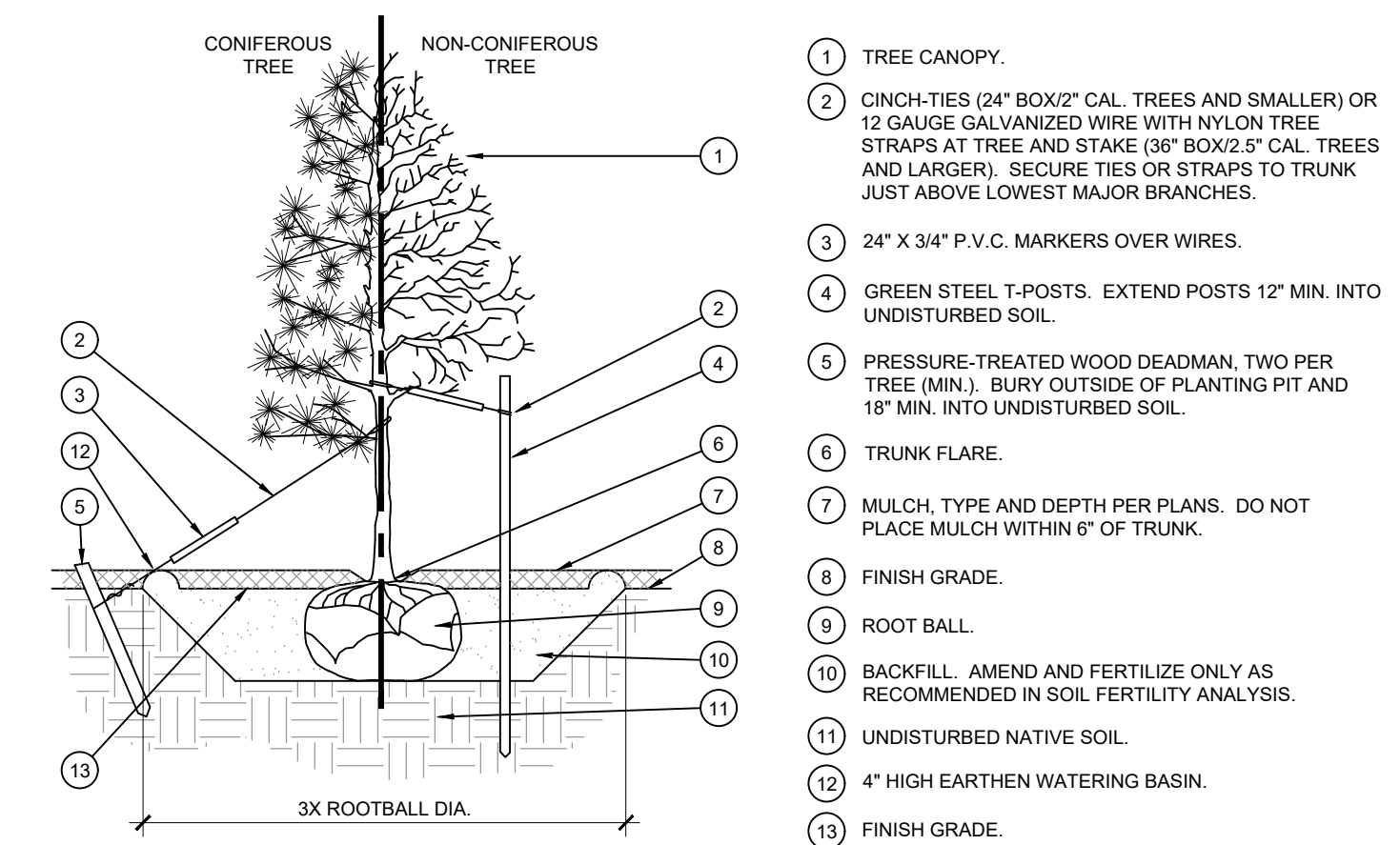
**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**LANDSCAPE STANDARDS  
PLANTING  
DETAILS & NOTES**

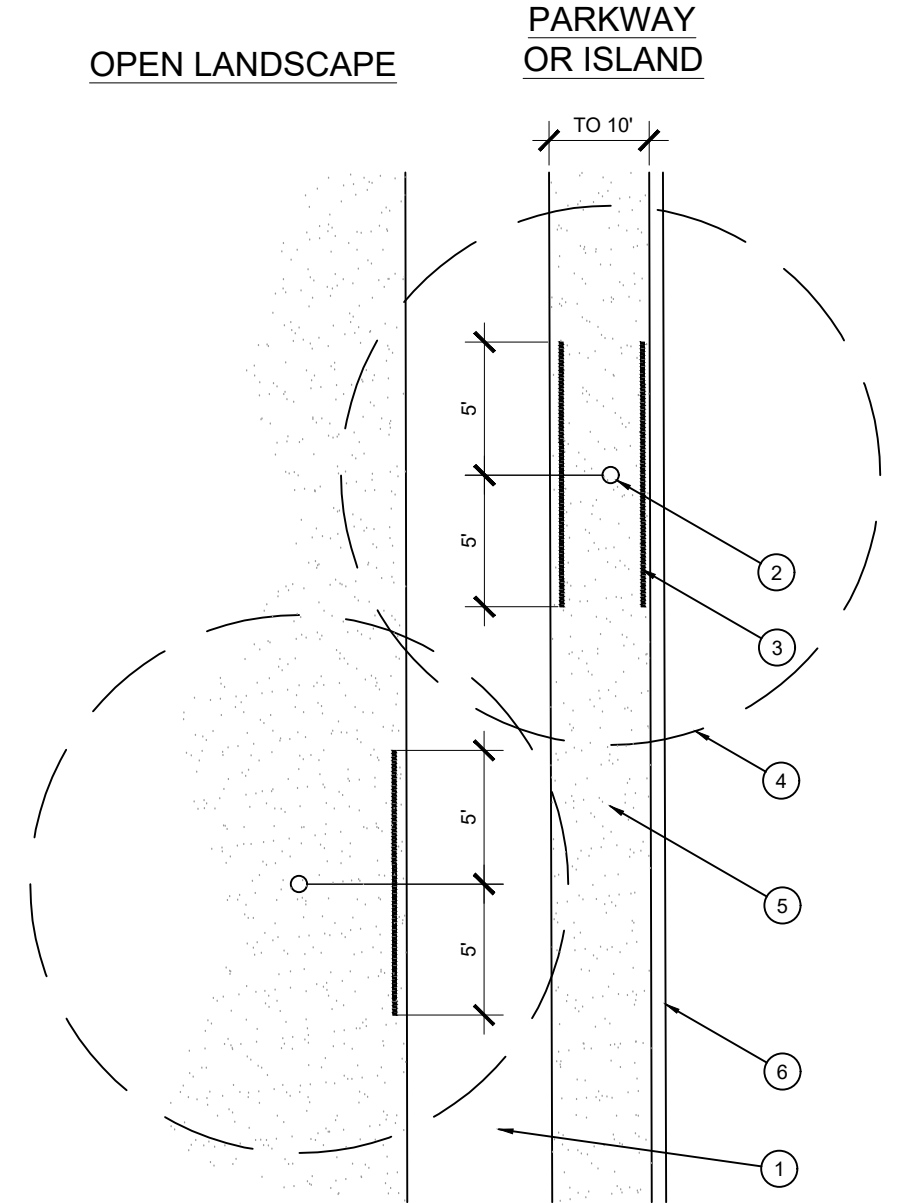
DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022  
SHEET  
**LP-2**  
File No. 2022-002  
CASE # SP2022-012



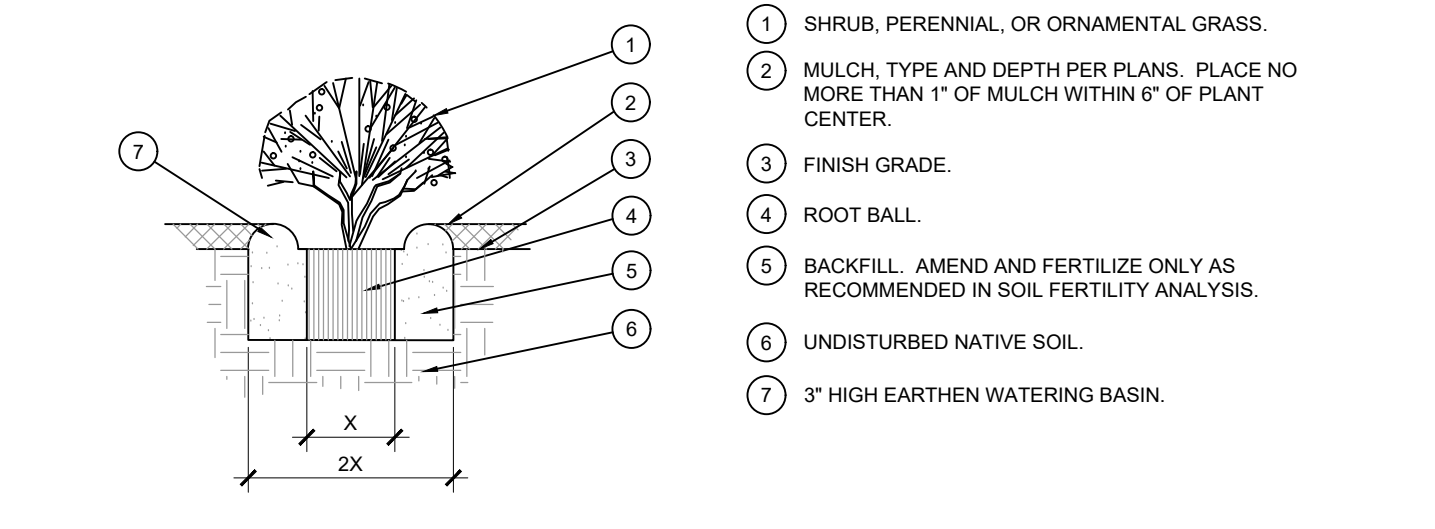
**D PLANTING AT PARKING AREA**  
SCALE: NOT TO SCALE



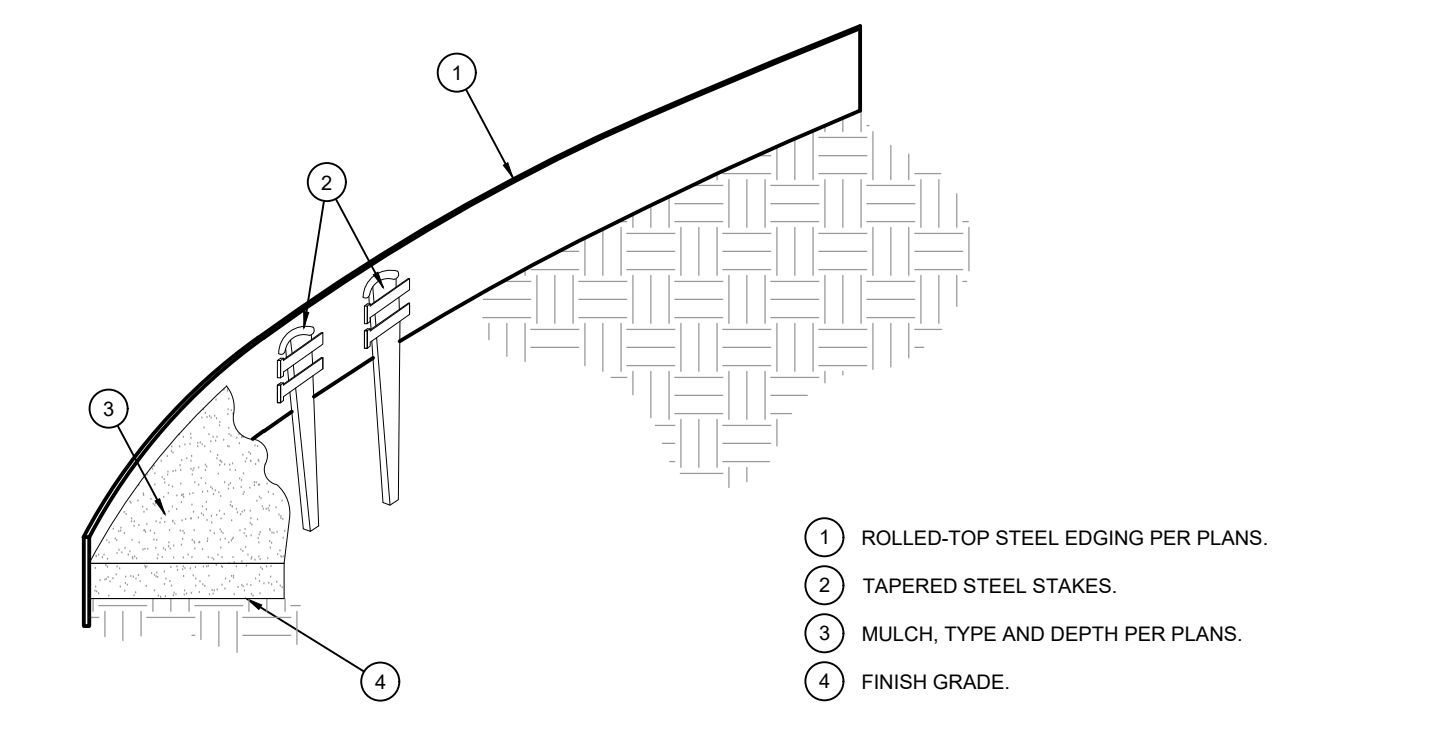
**A TREE PLANTING**  
SCALE: NOT TO SCALE



**E ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



**D STEEL EDGING**  
SCALE: NOT TO SCALE

LANDSCAPE STANDARDS	
<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b>	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
E. QUAIL RUN RD.: ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
REQUIRED PLANTING: PROVIDED 10' BUFFER:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS 2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS 3-TIERED BUFFER REQ.
SOUTH PROPERTY LINE BUFFER:	10 REDBUDS
<b>05.02 LANDSCAPE SCREENING</b>	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
SCREENING FROM RESIDENTIAL	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b>	
TOTAL SITE AREA:	4311,062 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	62,212.4 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	± 186,529 SF (60%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	61,293 SF (98.5%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±5,011 SF
PROPOSED PARKING LOT LANDSCAPING:	±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ±0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLOTTED BY: DARCY BRANDON  
 8/11/2023 4:19 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION:  
 LAST SAVED: 8/11/2023 4:18 PM



PLOTTED BY: DARCY BRANDON 8/11/2023 4:16 PM  
 PLOT DATE: 8/11/2023 4:16 PM  
 C:\USERS\DARCY\DOCUMENTS\2022\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_LP\_2023-08-10.DWG  
 LOCATION: 8/11/2023 4:16 PM  
 LAST SAVED: 8/11/2023 4:16 PM

# PLANTING SPECIFICATIONS

## GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUBVENDORS COMPLYING WITH THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHARPED ROOTS).
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE FINAL JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A SUPPLIER STATING THE COMPOSITION OF THE SOD.**
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.**
- E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 6, MOISTURE CONTENT 30 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/8" INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.**
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).**
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.**
- H. TREE STAKING AND GUYING**
- STAKES: 6" LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.**
- J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.**

## METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED. AS WELL AS RECOMMENDATIONS FOR THE APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. SUBMITTALS**
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR EXISTING TREES:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
  - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1-2" TREES: TWO STAKES PER TREE
    - 2-1/2"-4" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND TURF PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTTS OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
  - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  - SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**



**PRELIMINARY**

FOR REVIEW ONLY  
Not for construction purposes.

**CLAYMOORE ENGINEERING**  
ENGINEERING AND PLANNING CONSULTANTS

DREW DONOSKY  
Engineer, P.E. No. 125651, Date 8/11/2023

**DUWEST ROCKWALL**  
**SH 205 & QUAIL RUN RD**  
**ROCKWALL, TX**


**DUWEST ROCKWALL, TX**

**LEGAL DESCRIPTION AND OR ADDRESS:**

**STONE CREEK BALANCE LTD**  
**ABSTRACT, NO 131**  
**8.684 AC (378,275 SF)**

**OWNER:**  
 DUWEST REALTY, LLC  
 4403 N CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER**  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

SHEET

**LP-3**

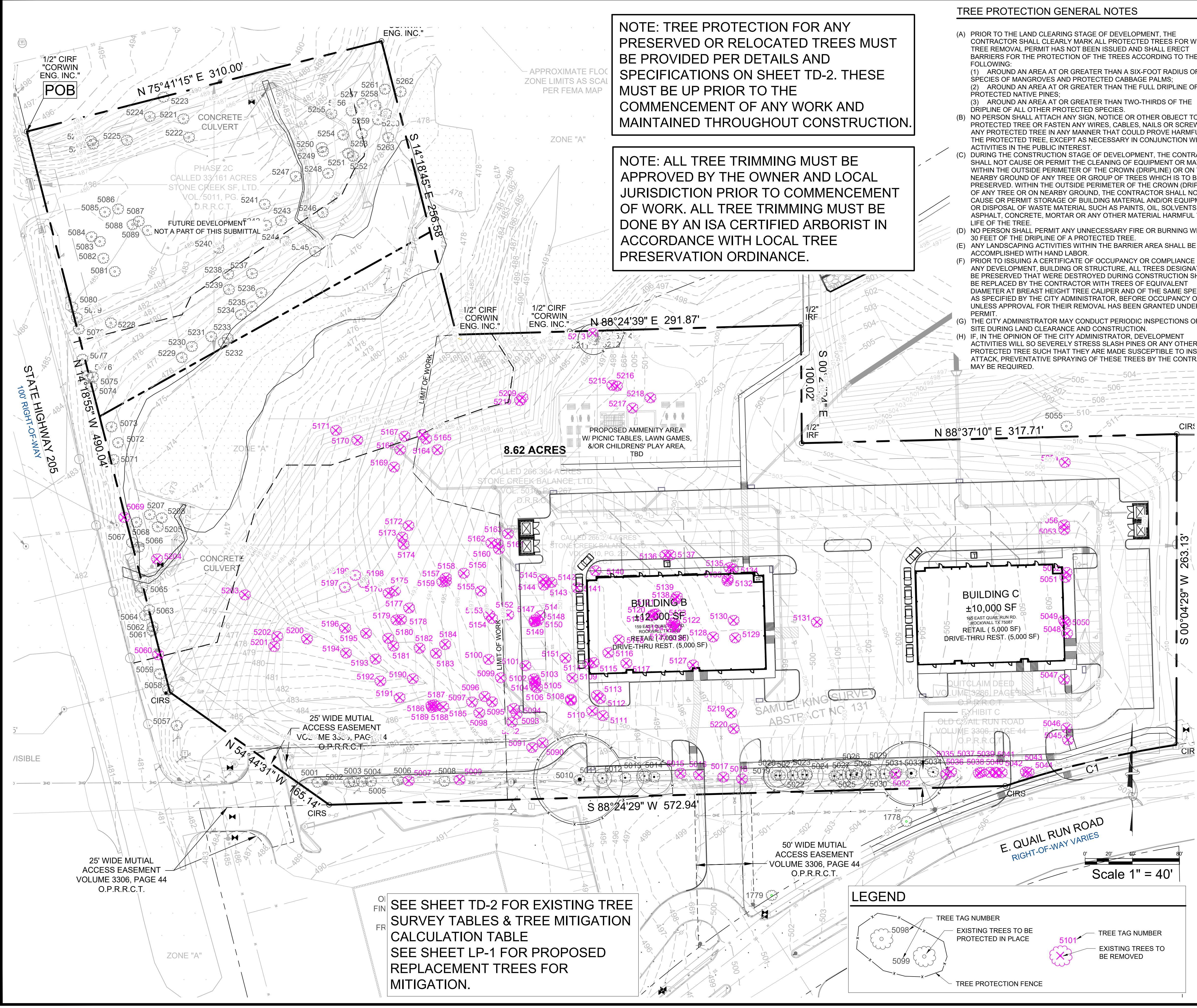
File No. 2022-002  
 CASE # SP2022-012

**LANDSCAPE PLANTING**  
**SPECIFICATIONS**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022



PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:53 PM  
 C:\USERS\DARCY\DOCUMENTS\DBLA\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TD-2022-08-10.DWG  
 LOCATION: 8/11/2023 2:51 PM  
 LAST SAVED:



**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

- TREE PROTECTION GENERAL NOTES**
- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
    - (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
    - (2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
    - (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
  - (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
  - (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
  - (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
  - (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
  - (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
  - (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
  - (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**SITE DATA TABLE**

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

**PARKING DATA TABLE**

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES
PARKING PROVIDED	
<b>TOTAL PARKING</b>	<b>168 SPACES</b>
ADA PARKING	6 SPACES

**TREE MITIGATION SUMMARY**

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x \$200 = \$41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x \$100 / IN = \$40,760):	407.6"
<b>TOTAL MITIGATION PROVIDED:</b>	<b>1044.5"</b>

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD  
 ABSTRACT NO 131  
 8.684 AC (378,275 SF)**

**OWNER:**  
 DuWest Realty, LLC  
 4403 N. CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

**CASE NUMBER:**  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP  
 (800) 680-6630  
 15455 Dallas Pkwy., Ste 600  
 Addison, TX 75001  
 www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF TEXAS  
 3422  
 08/11/2022

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
 CLAYMOORE ENGINEERING  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, Date: 8/11/2023

**DUWEST ROCKWALL  
 SH 205 & QUAIL RUN RD  
 ROCKWALL, TX**

**TREESCAPE PLAN**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022  
 SHEET  
**TD-1**  
 File No. 2022-002  
 CASE # SP2022-012



EXISTING TREE SURVEY

TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC**	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC**	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW**	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC**	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC**	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC**	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW**	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14

TOTAL CALIPER INCHES	1,599
CALIPER INCHES NON-PROTECTED	623
TOTAL CALIPER INCHES PROTECTED	1,165
TOTAL CAL. IN. DEAD OR POOR COND.	68
TOTAL CALIPER INCHES REMOVED*	716
TOTAL CALIPER INCHES PRESERVED	449
MITIGATION REQUIRED	1,058*

SHADED ROWS INDICATE TREES TO BE REMOVED  
 \* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES  
 \*\*NON-PROTECTED TREES

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND (\$200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0							

**DUWEST ROCKWALL, TX**

LEGAL DESCRIPTION AND OR ADDRESS:  
**STONE CREEK BALANCE LTD**  
 ABSTRACT. NO 131  
 8.684 AC (378,275 SF)

OWNER:  
 DuWEST REALTY, LLC  
 4403 N.CENTRAL EXWAY SUITE #200  
 DALLAS, TX 75025  
 CONTACT: BOWEN HENDRIX  
 PH: 214.918.1804

APPLICANT:  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 76021  
 CONTACT: DREW DONOSKY  
 PH: 817.281.0572

CASE NUMBER  
 Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

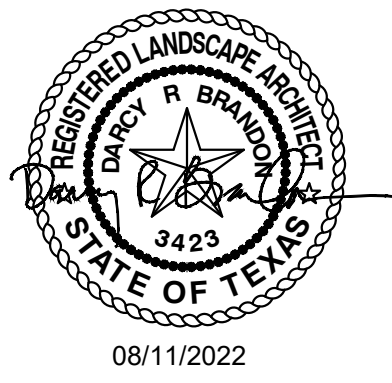
**TREESCAPE PLAN**

**EXISTING TREE INVENTORY**

DESIGN: LRR  
 DRAWN: LRR  
 CHECKED: CLC  
 DATE: 04/05/2022

SHEET  
**TD-2**

File No. 2022-002  
 CASE # SP2022-012



**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 DREW DONOSKY  
 Engineer, P.E. No. 125651, State 8/11/2023

**DUWEST ROCKWALL**  
**SH 205 & QUAIL RUN RD**  
**ROCKWALL, TX**

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:56 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\\_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_Td-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

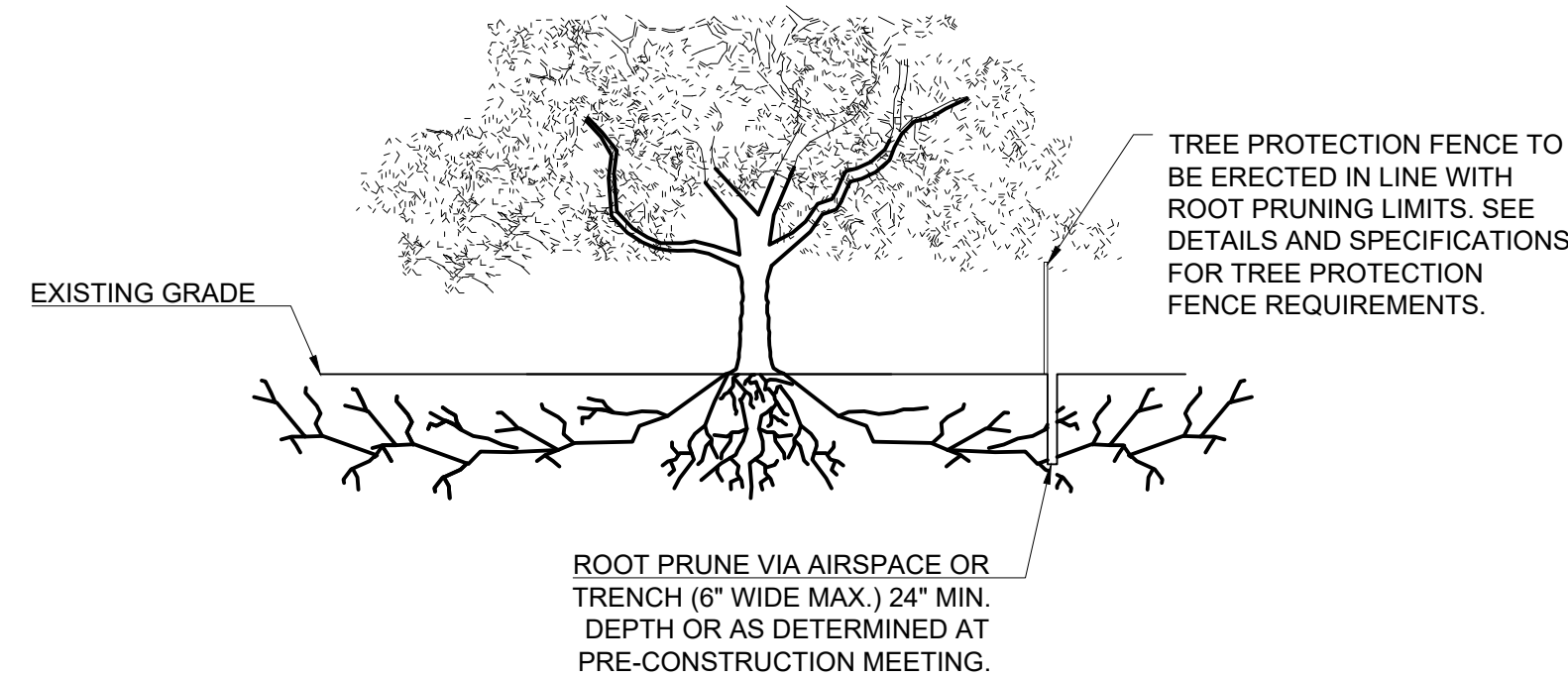
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

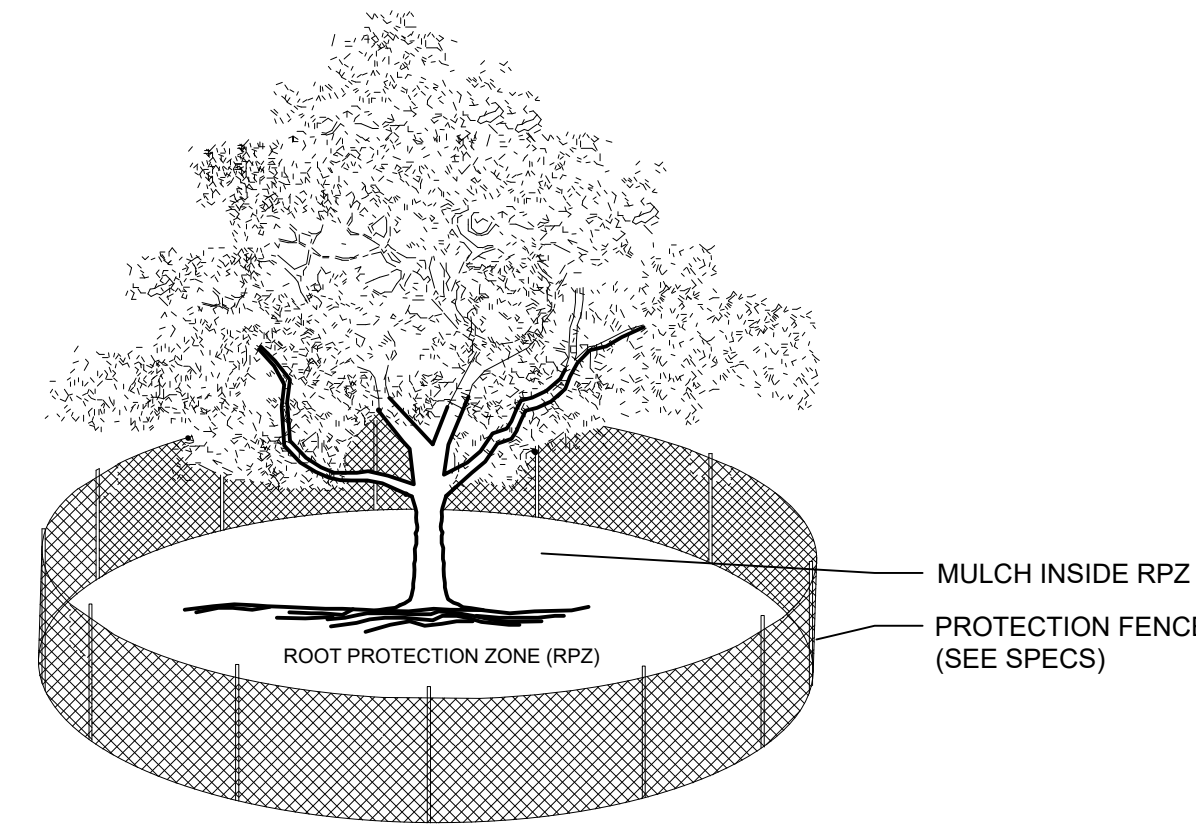
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



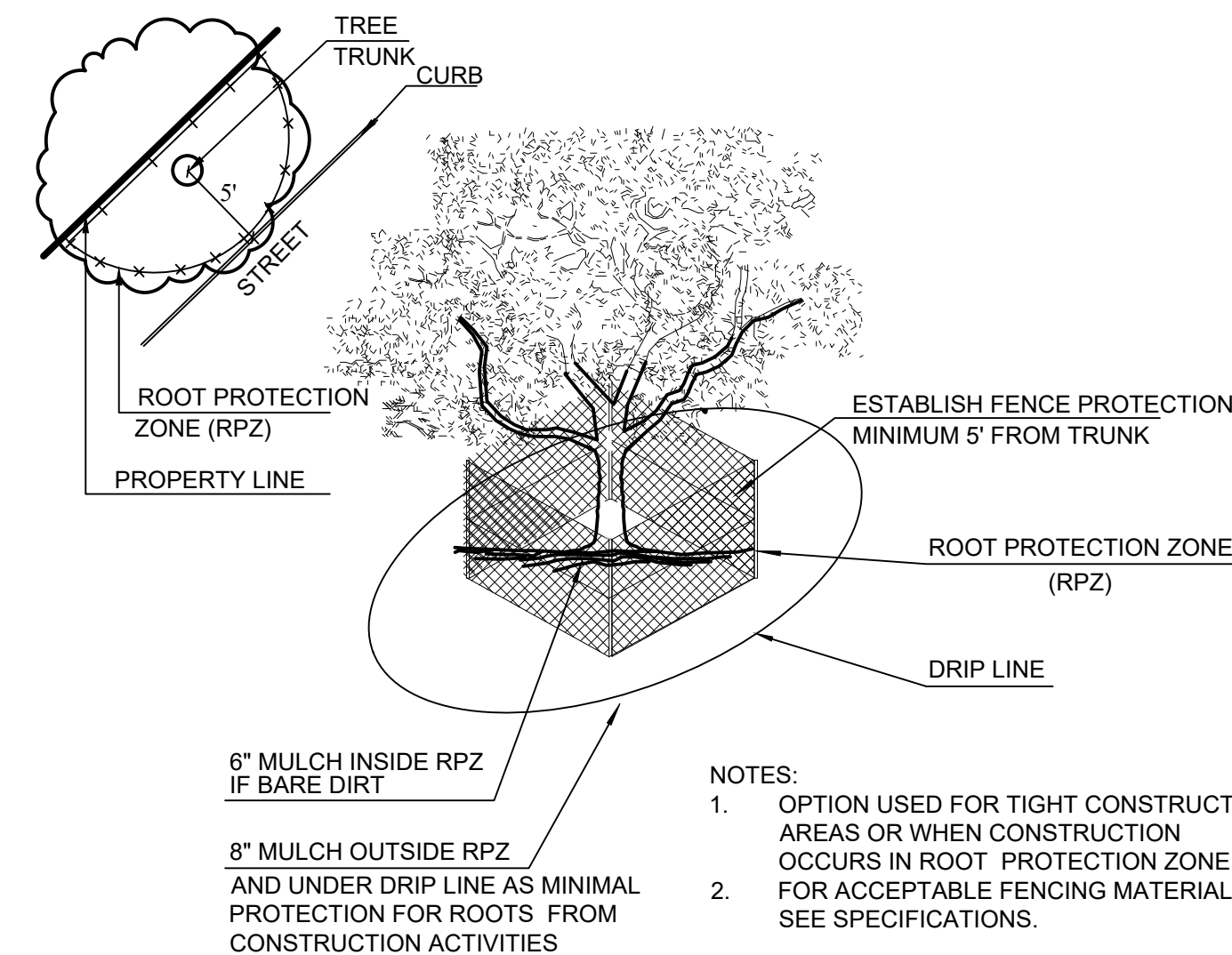
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



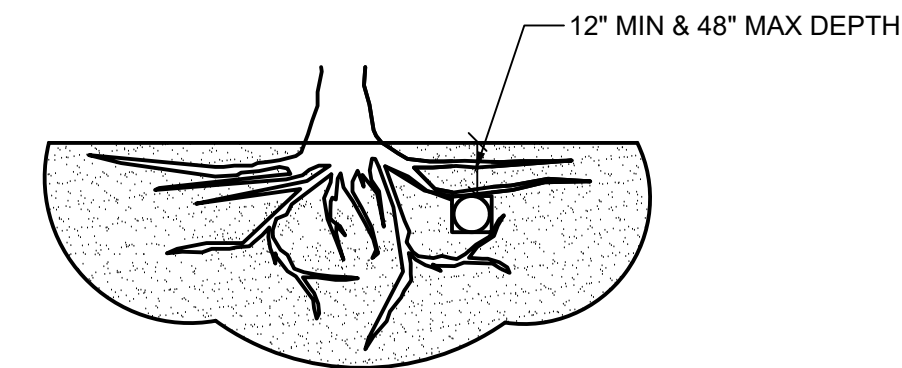
**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

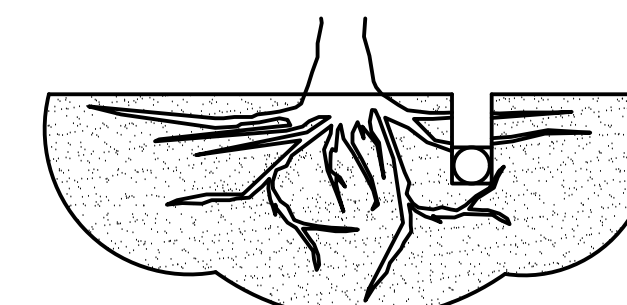
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

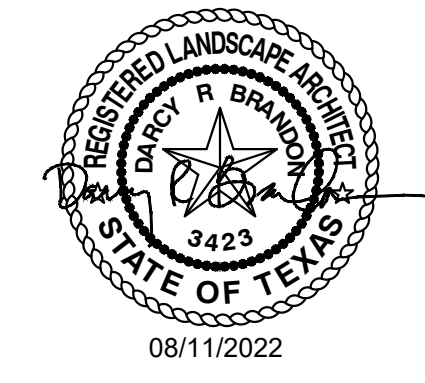


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE



**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction purposes.  
CLAYMOORE ENGINEERING  
ENGINEERING AND PLANNING CONSULTANTS  
DREW DONOSKY  
Engineer, 125651, State, 8/11/2023  
P.E. No. 125651, State, 8/11/2023

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**DUWEST ROCKWALL, TX**

**LEGAL DESCRIPTION AND OR ADDRESS:**

STONE CREEK BALANCE LTD  
ABSTRACT, NO 131  
8.684 AC (378,275 SF)

**OWNER:**

DUWEST REALTY, LLC  
4403 N.CENTRAL EXWAY SUITE #200  
DALLAS, TX 75025  
CONTACT: BOWEN HENDRIX  
PH: 214.918.1804

**APPLICANT:**

CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
CONTACT: DREW DONOSKY  
PH: 817.281.0572

**CASE NUMBER**

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

**DUWEST ROCKWALL  
SH 205 & QUAIL RUN RD  
ROCKWALL, TX**

**TREESCAPE PLAN  
DETAILS & SPECIFICATIONS**

DESIGN: LRR  
DRAWN: LRR  
CHECKED: CLC  
DATE: 04/05/2022

SHEET  
**TD-3**

File No. 2022-012  
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON  
 PLOT DATE: 8/11/2023 2:57 PM  
 LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA\PROJECTS\2022\VEDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL\_TID-2022-08-10.DWG  
 LAST SAVED: 8/11/2023 2:56 PM





October 5, 2023

TO: Lynn Rowland  
ClayMoore Engineering  
1903 Central Drive, Suite 406  
Bedford, TX 76021

FROM: Henry Lee, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2023-029; *Amended Site Plan for DuWest*

Lynn Rowland:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on September 26, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Before any Certificates of Occupancy (CO's) are issued for future tenants, documentation shall be provided indicating that any proposed Roof Top Units (RTU's) will meet the screening requirements and will not be visible from any adjacent property, open space, or public right-of-way; and,
- (3) A recommendation of approval will be forwarded to the City Council for an Alternative Tree Mitigation Settlement Agreement in the amount of \$37,300.00, which will satisfy the outstanding tree mitigation balance of 380 caliper inches of trees; and,
- (4) The proposed amenity area and pedestrian access points indicated on the site plan shall be constructed with the two (2) proposed Restaurant/Retail Buildings, and no Certificates of Occupancy (CO's) for either of these buildings will be issued until this construction of this area is complete.
- (5) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On September 26, 2023, the Planning and Zoning Commission approved a motion to approve the Site Plan and recommend approval of the Alternative Tree Mitigation Settlement Agreement by a vote of 6-0, with Commissioner Deckard absent.

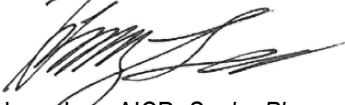
City Council

On October 2, 2023, the City Council approved a motion to approve the Alternative Tree Mitigation Settlement Agreement by a vote of 7-0.



Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee", written in a cursive style.

Henry Lee, AICP, *Senior Planner*  
City of Rockwall Planning and Zoning Department