



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

## NOTARY VERIFICATION [REQUIRED]

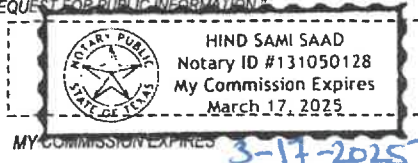
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Boy Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

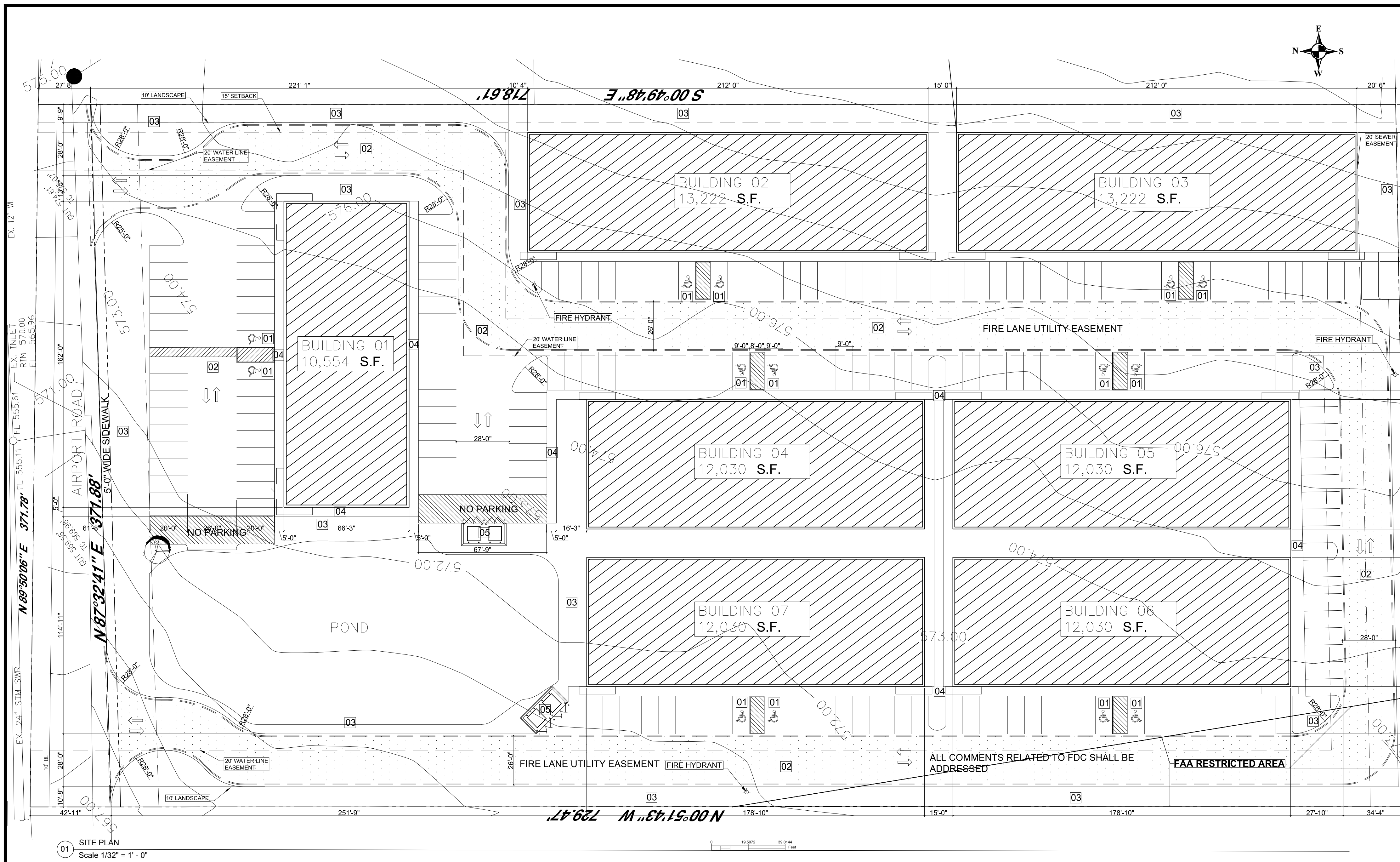
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





**ADA & TAS**

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

**FIRE LANE NOTES**

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLOR CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH
- WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

**FIRE LANE**

**FIRE LANE**  
PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

**NOTE PARKING**

- NOTE 1:  
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.  
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.  
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:  
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).  
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.  
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.  
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

**PARKING REQUIREMENT**

WAREHOUSE TOTAL AREA: 85,118 SF  
OFFICES: 9,852 / 300 : 33 SPACES  
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN  
Scale 1/32" = 1' - 0"

**WATER SUPPLY (FOR FIREFIGHTING)**

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

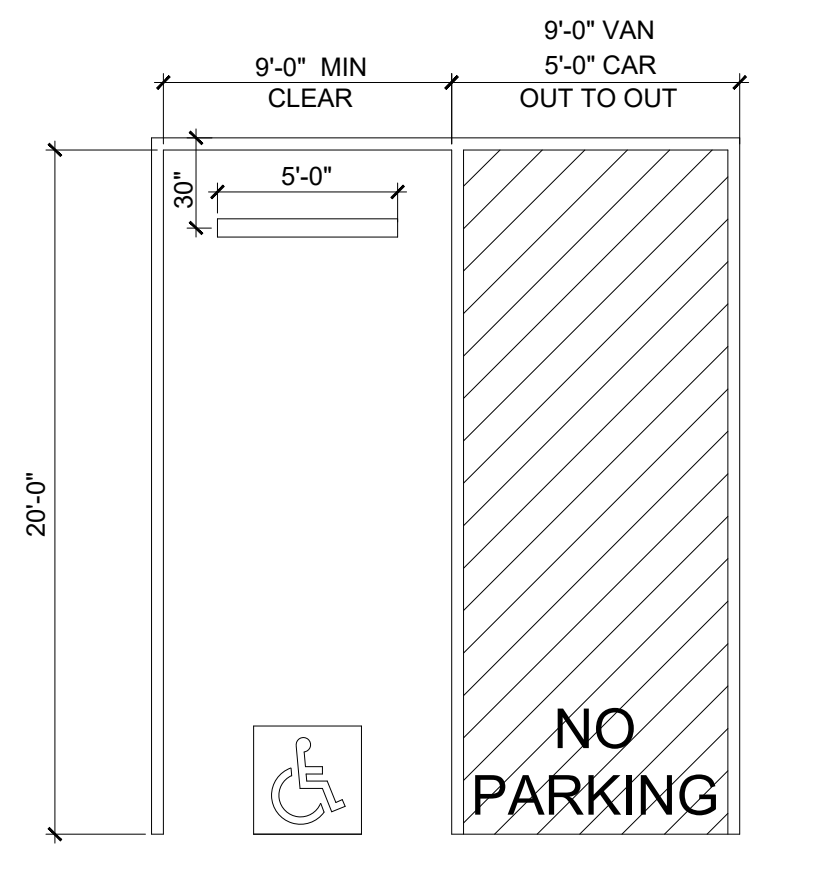
SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

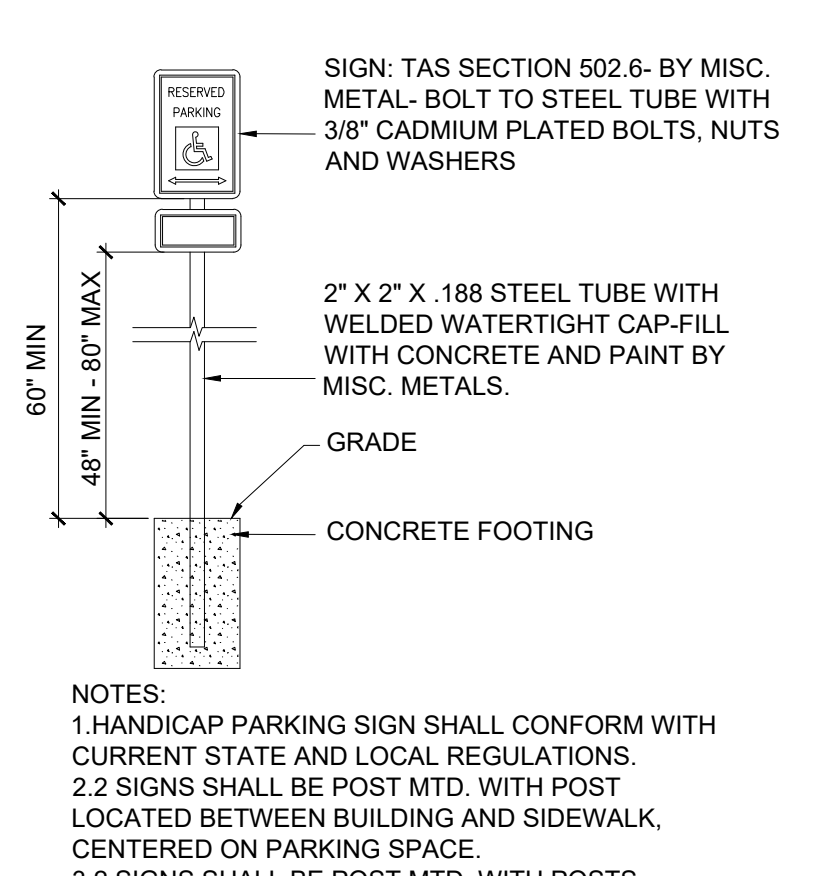
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

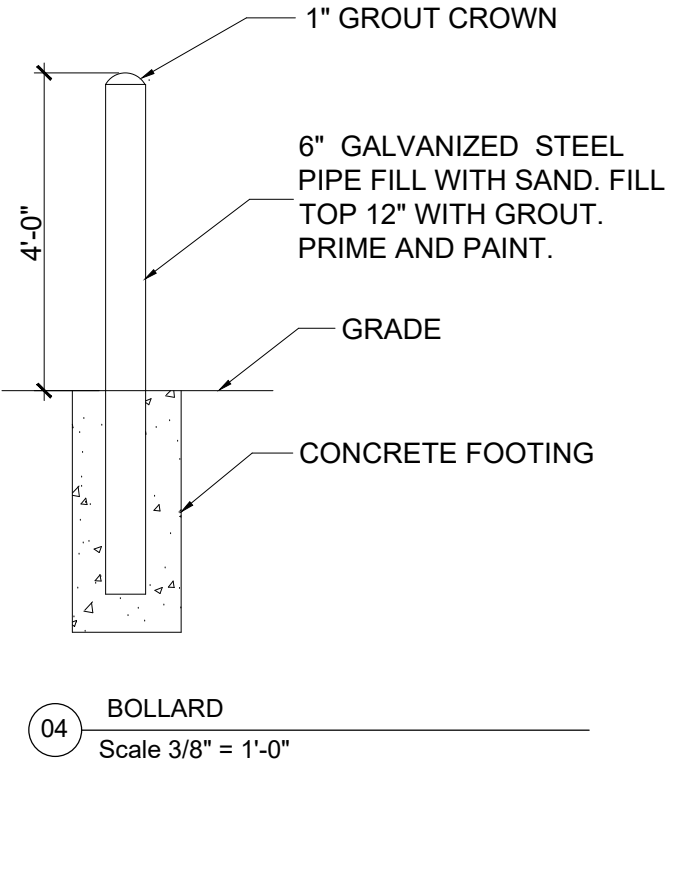
\_\_\_\_\_  
Director of Planning and Zoning



02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"



04 BOLLARD  
Scale 3/8" = 1'-0"

**RS&G ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
**0 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

REVISIONS

ISSUE DATE: 08/17/23

05/19/2023

SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission: Chairman  
Director of Planning and Zoning

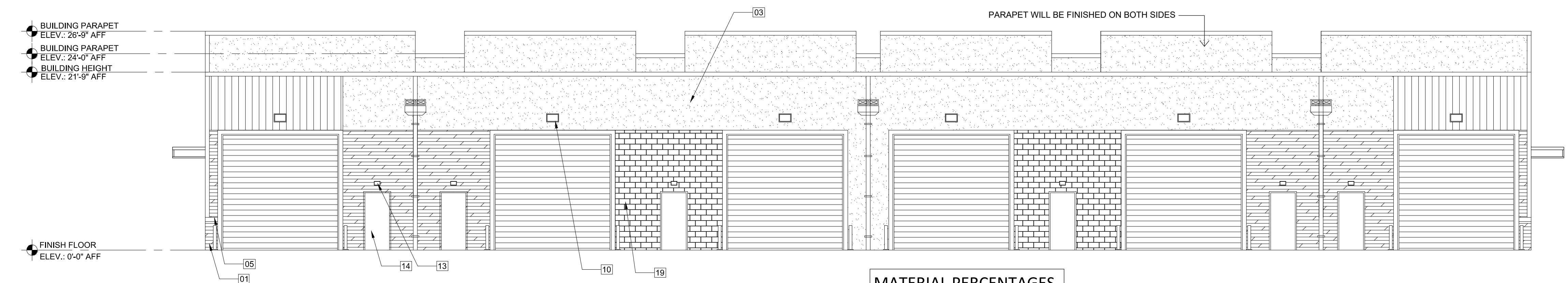
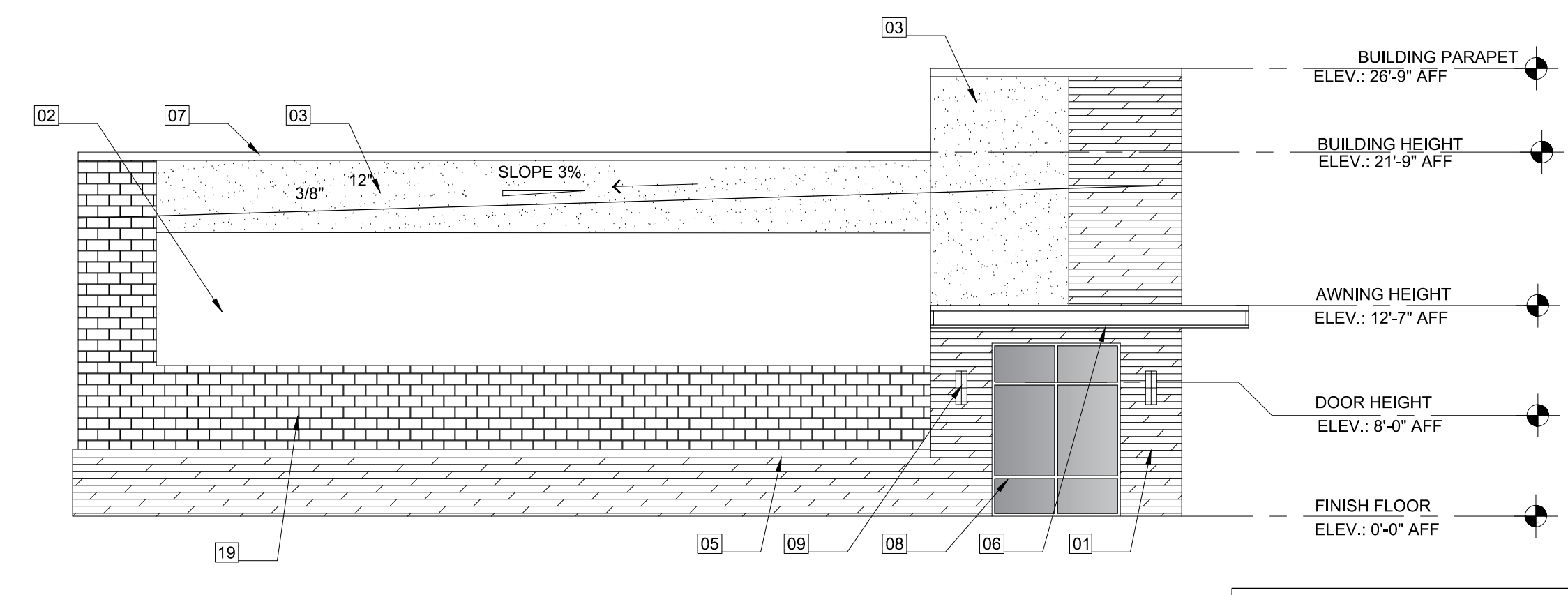
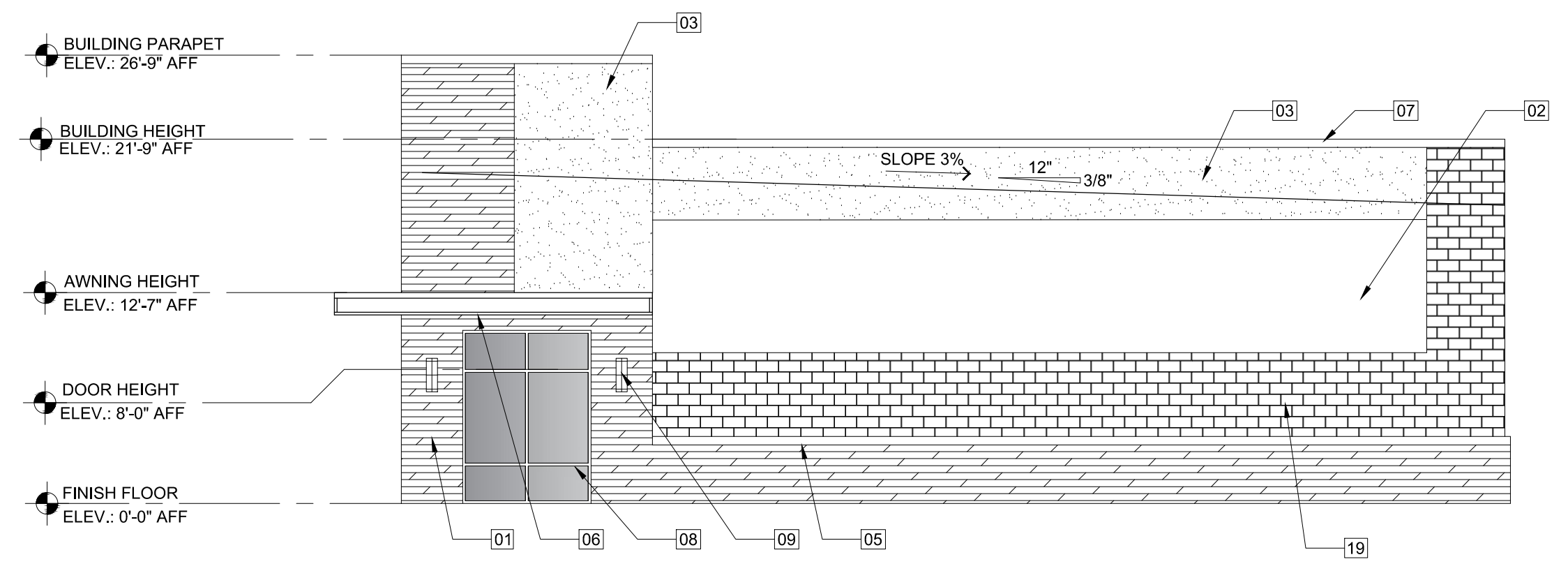
HVAC UNITS TO BE PLACED ON ROOF  
SCREENED BY PARAPET ON ALL FOUR SIDES

GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.



WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS



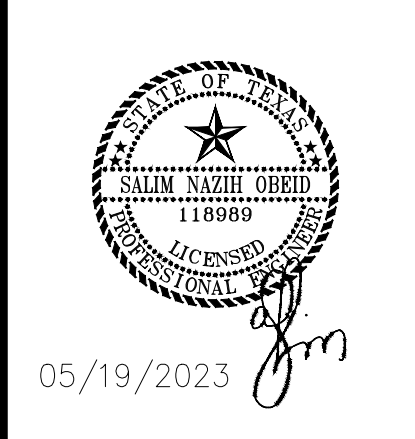
EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSNE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)

REVISIONS


ISSUE DATE: 08/17/23

BUILDING 01



EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

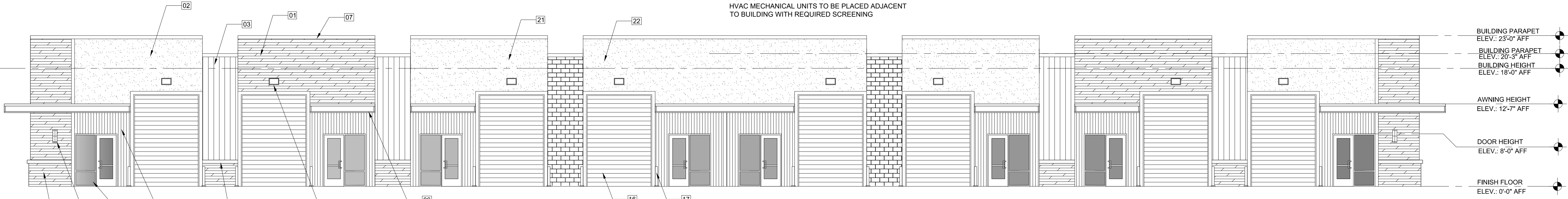
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



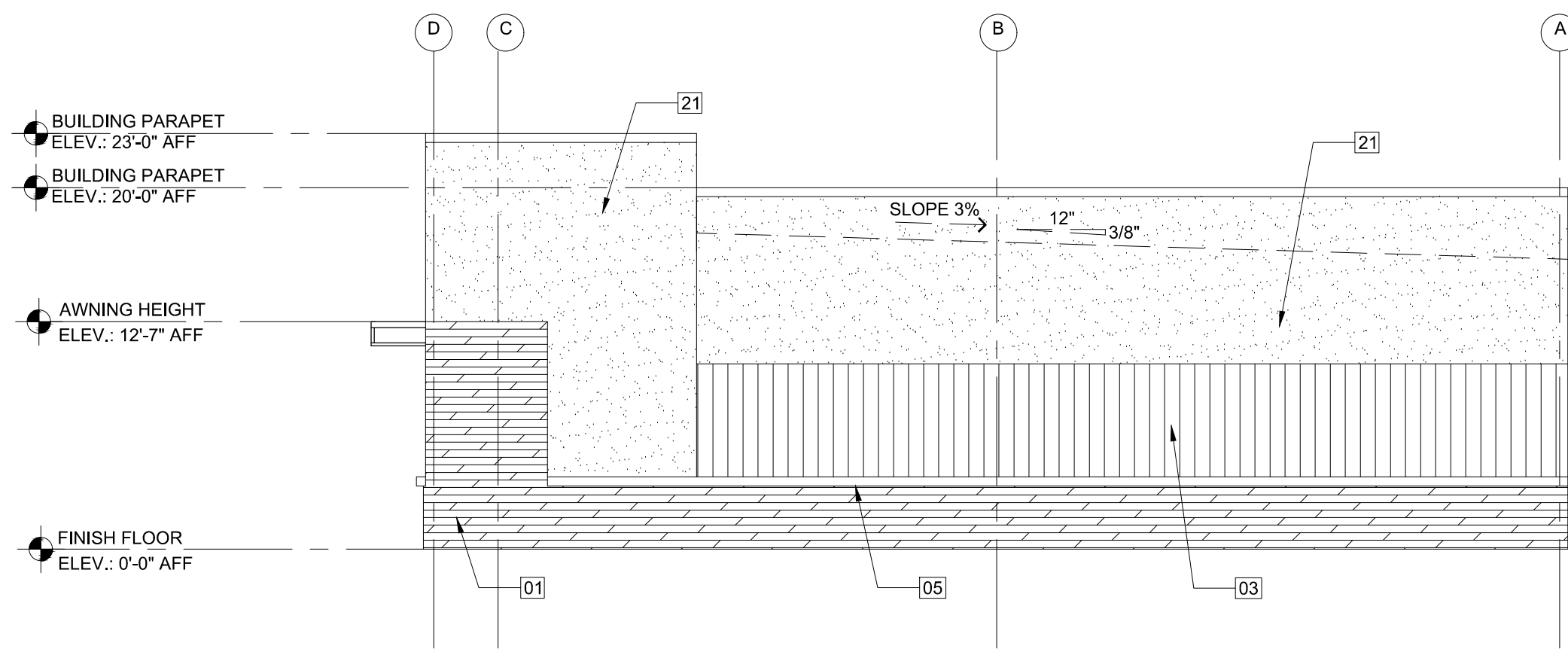
NO ROOF MOUNTED HVAC UNITS.  
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%

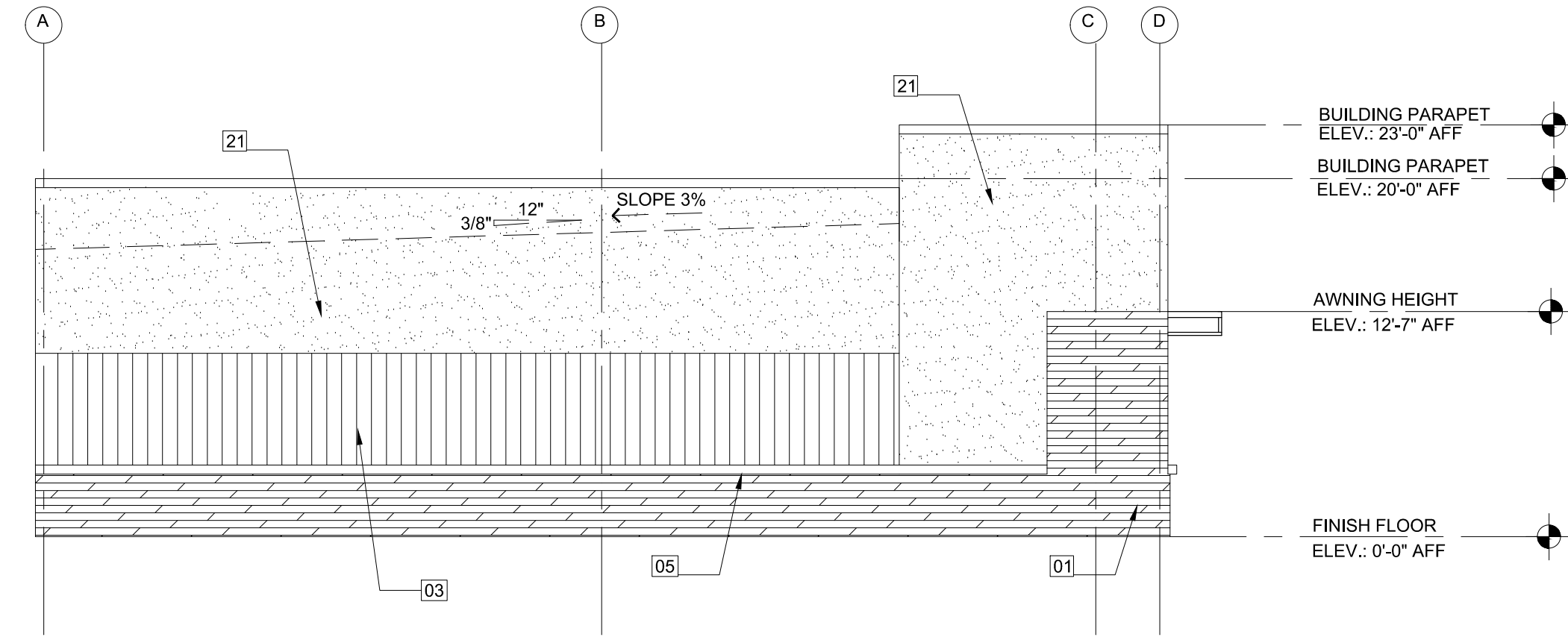
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

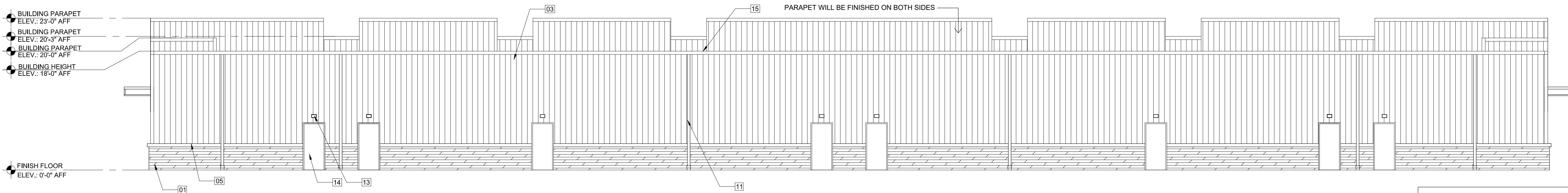
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

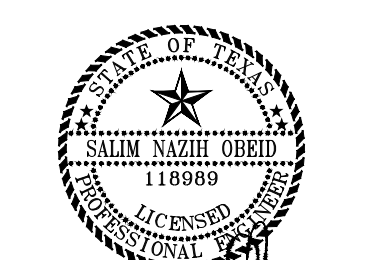
**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBRALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO. COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK. COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

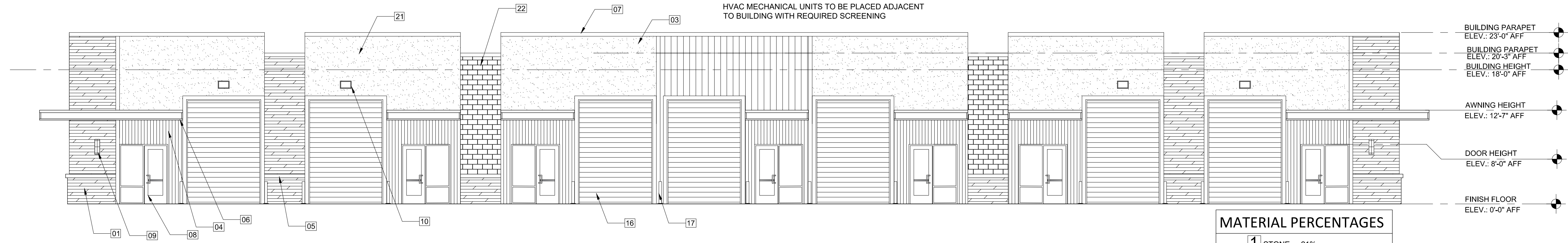
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



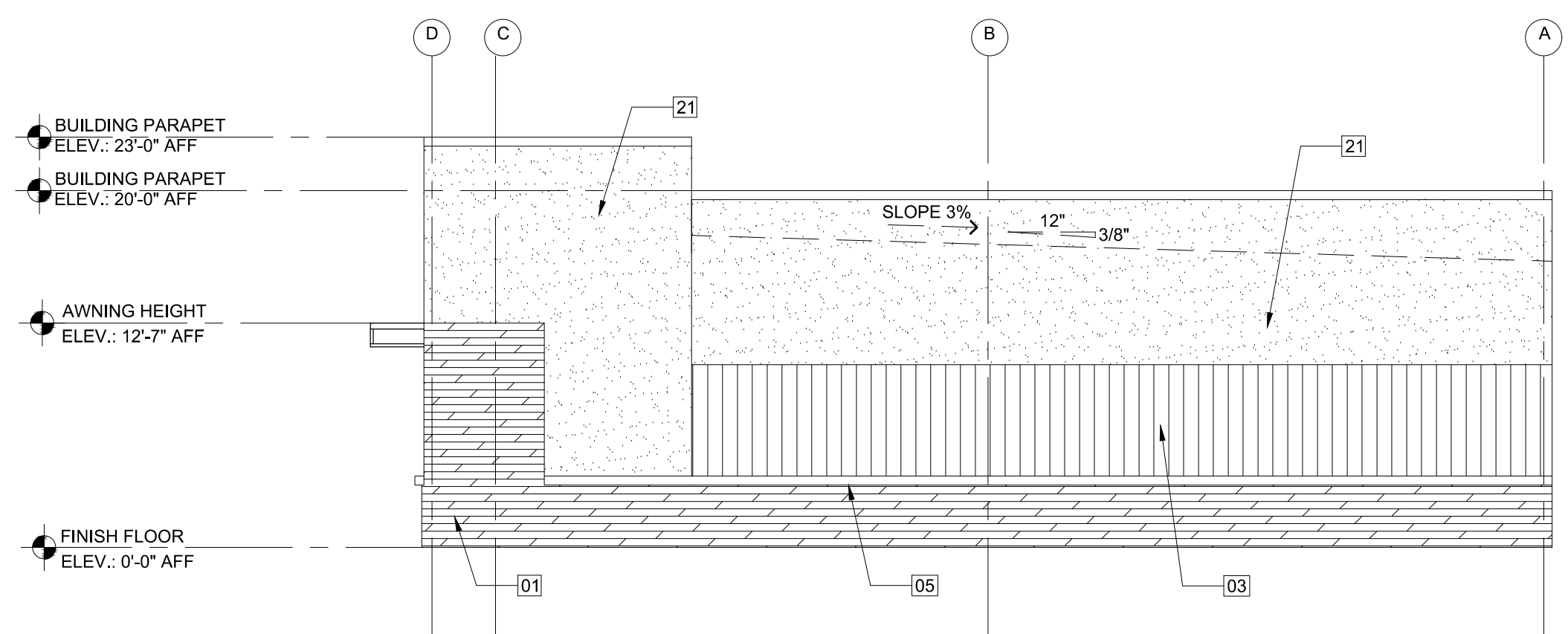
- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

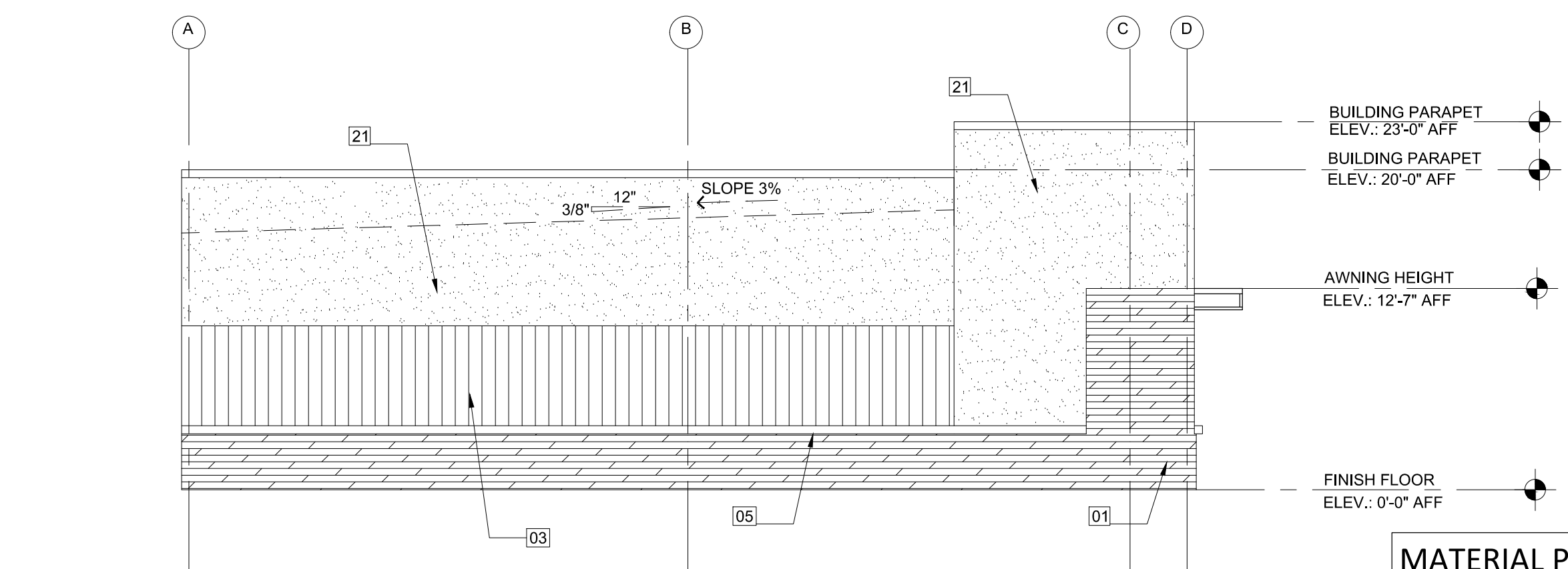
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%

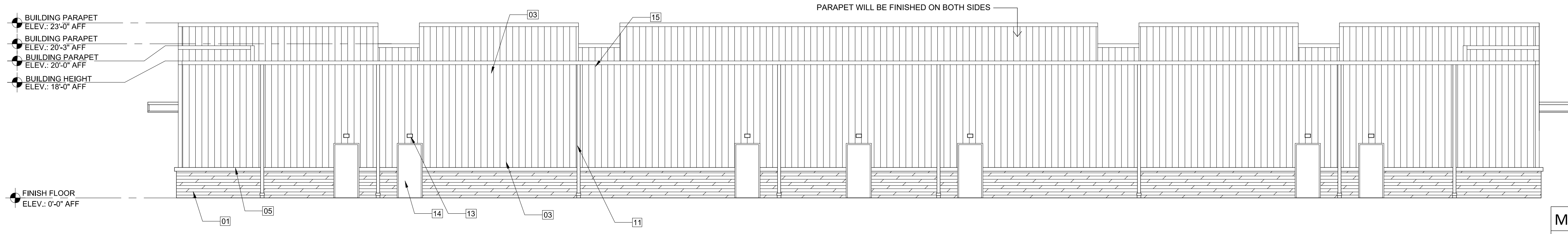
02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"



**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%

03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"



**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBP FIRM #: 15498

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS	NO.	DESCRIPTION

ISSUE DATE: 08/17/23

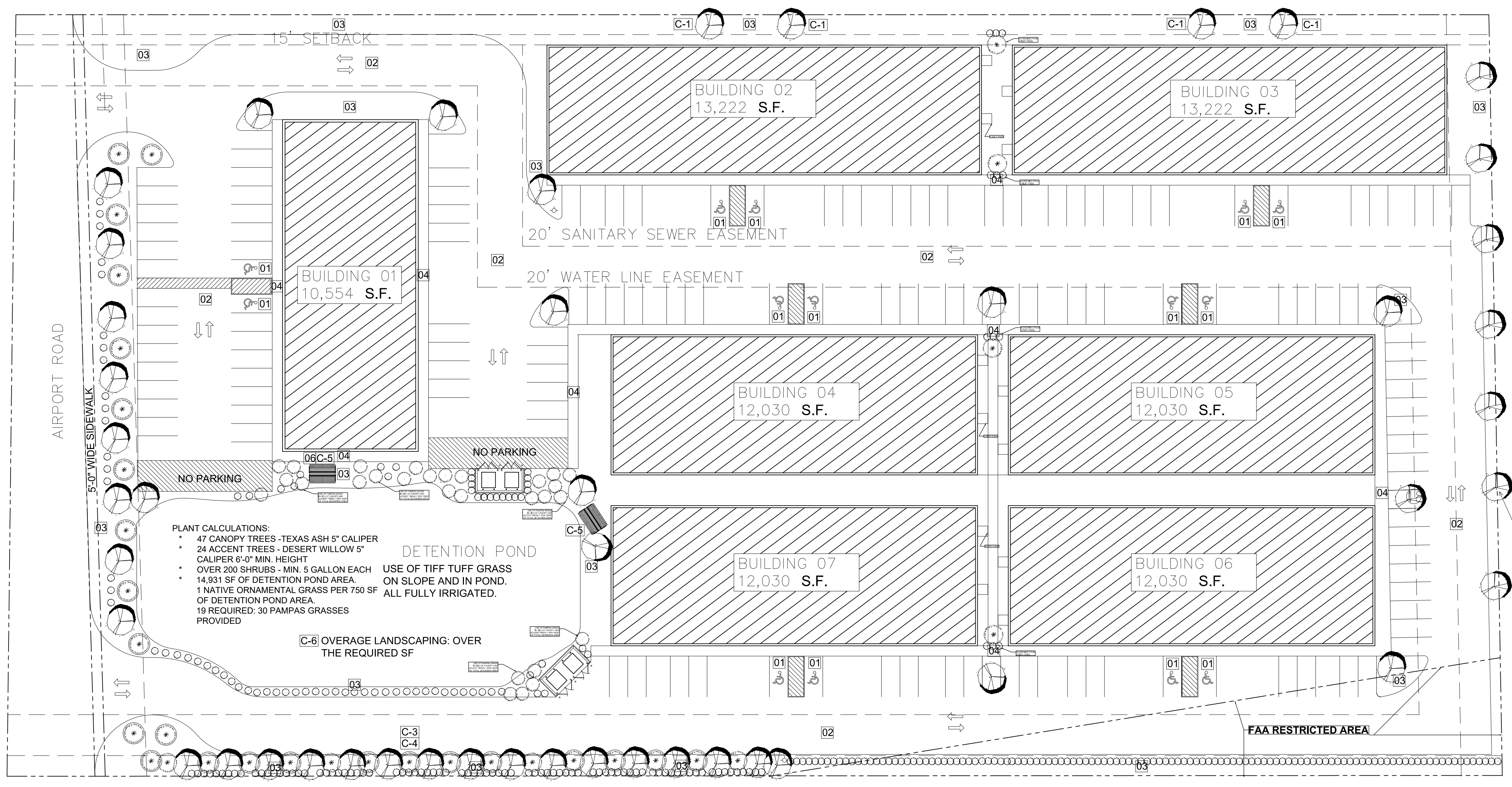
BUILDINGS  
04, 05, 06 & 07

05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A2.0



### SYMBOL LEGEND

	CANOPY TREE - TEXAS ASH
	ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
	PAMPAS GRASS
	SHRUB
	PUBLIC BENCH

- ### KEYED NOTES
- 01 - HANDICAP SYMBOL & SIGN
  - 02 - PAVING
  - 03 - LANDSCAPING
  - 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
  - 05 - DUMPSTER
  - C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
  - C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
  - C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
  - C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
  - C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
  - C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

### IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA:	269,076 SF
TOTAL IMPERVIOUS COVER:	205,736 SF
TOTAL PERVIOUS COVER:	63,340 SF
TOTAL % OF IMPERVIOUS COVER:	76.46%

- ### NOTES
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR TO ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
  - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- ### GENERAL LANDSCAPE NOTES
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
  - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

### LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"

87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION

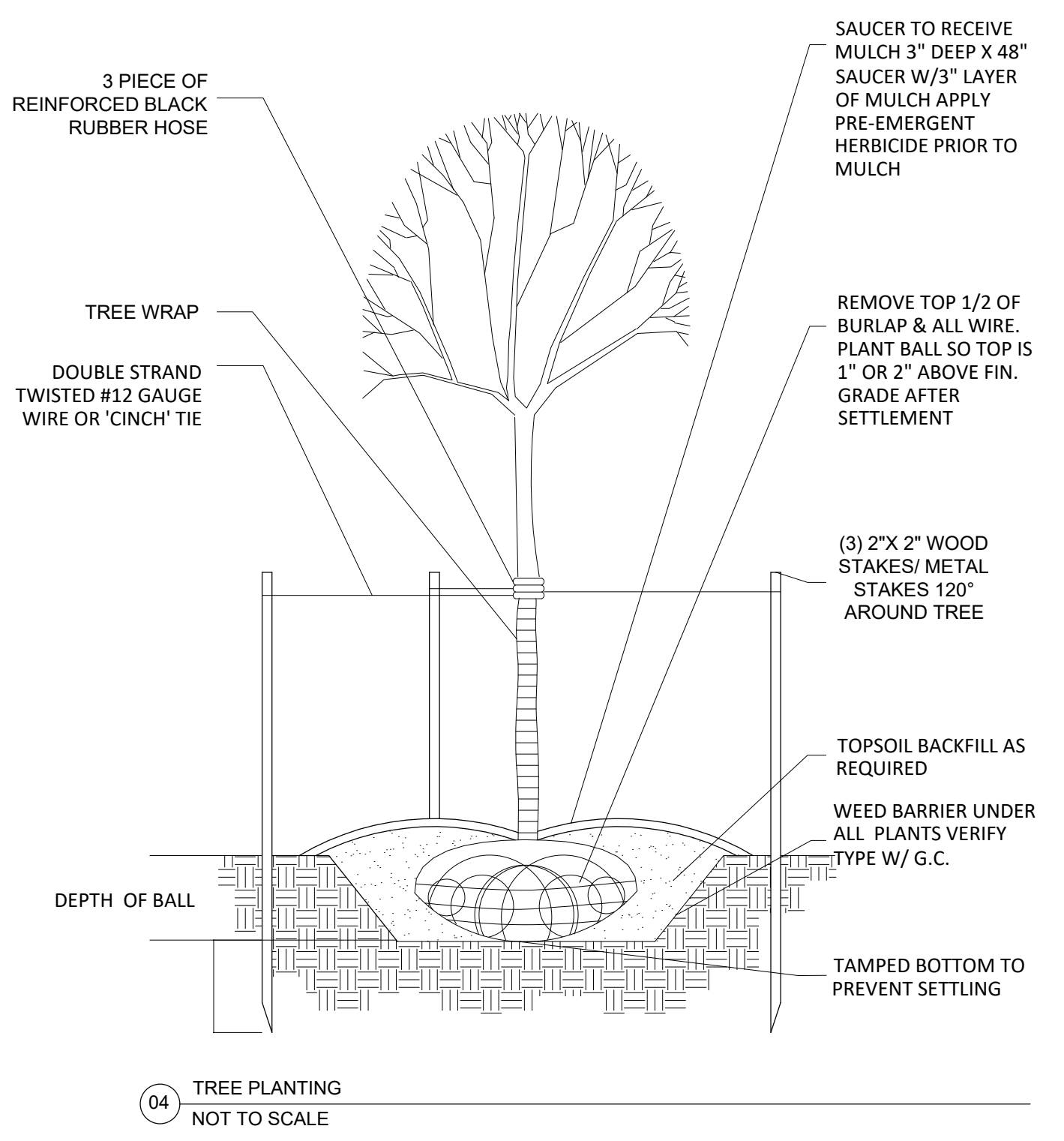
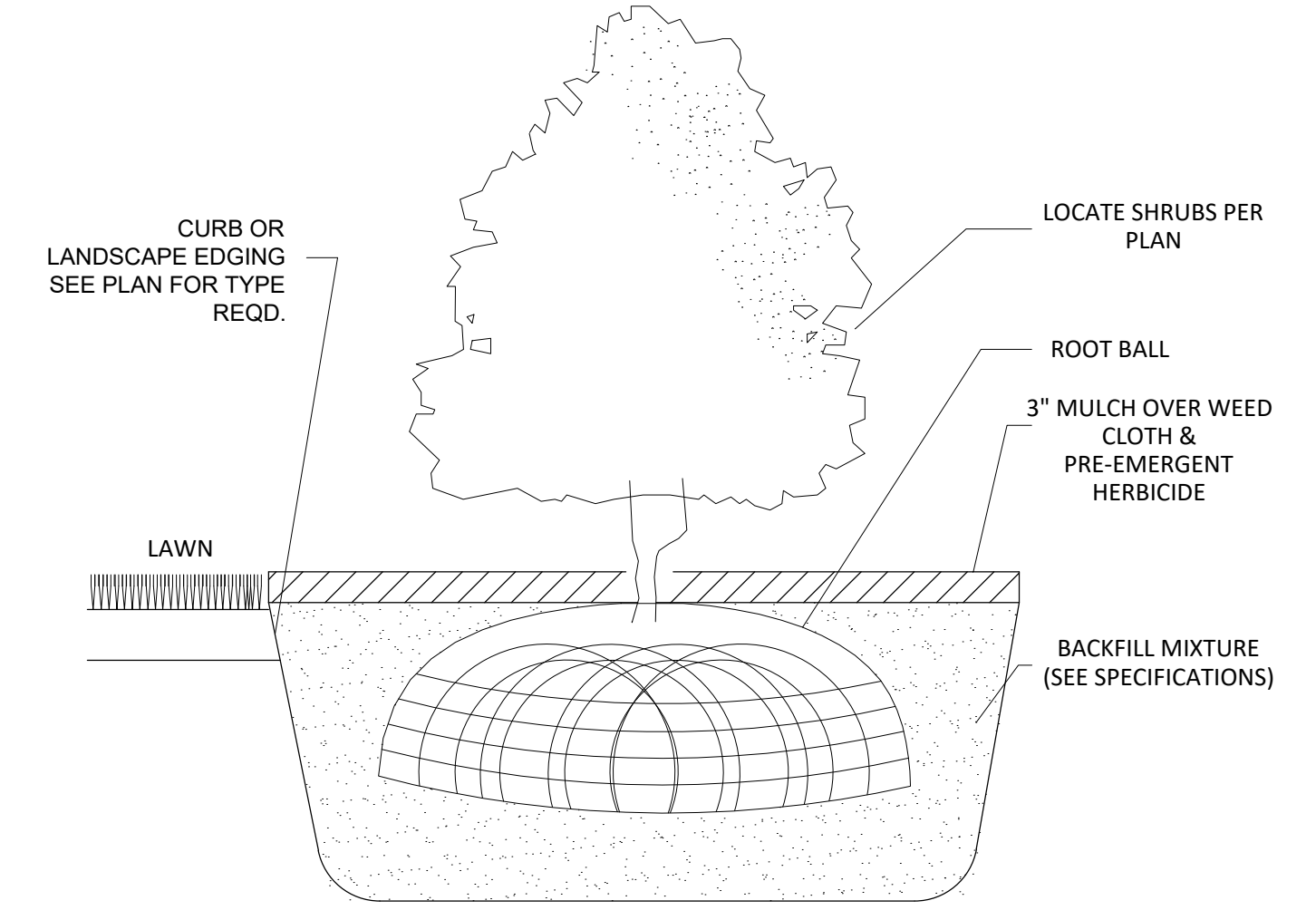
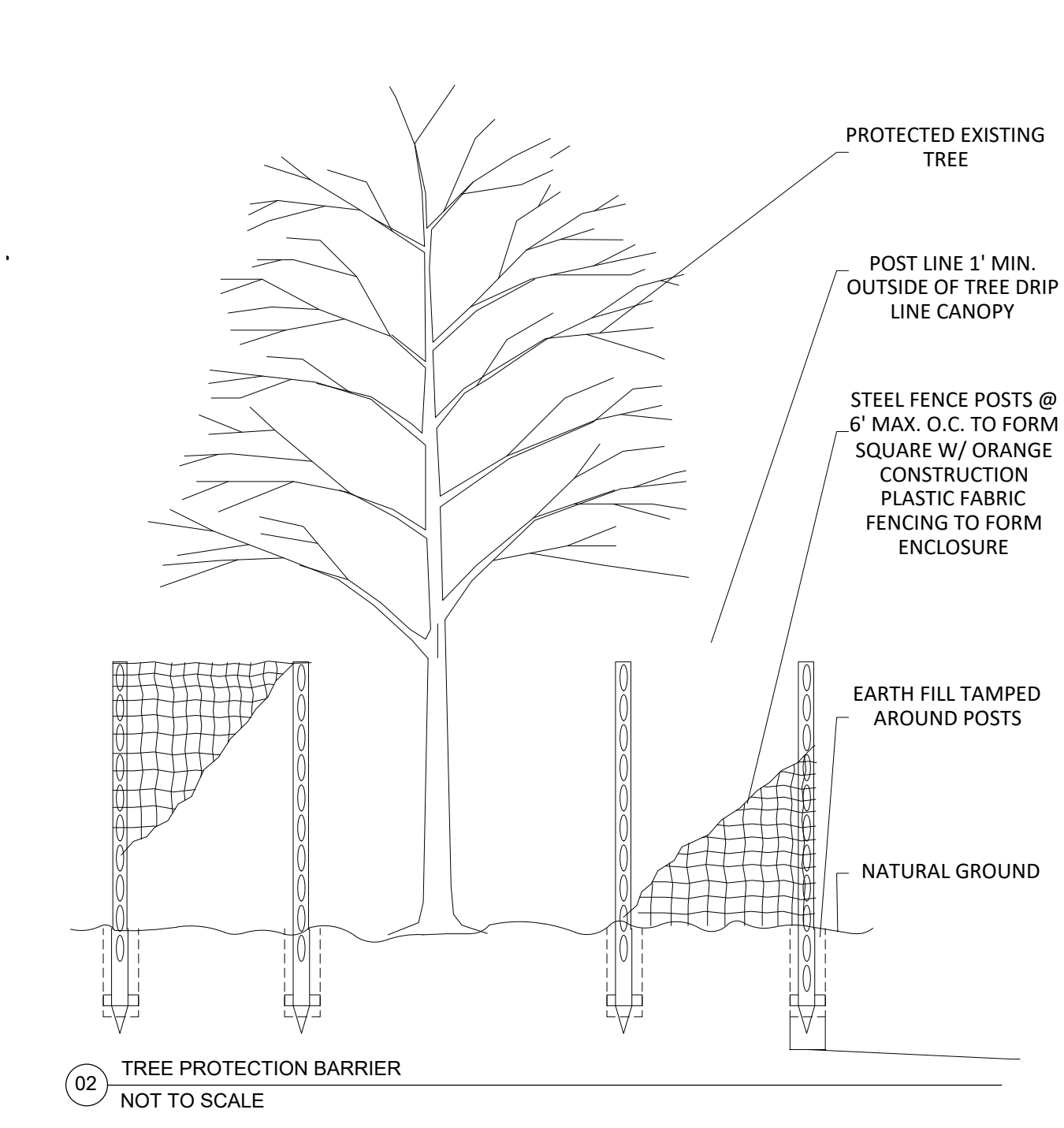
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS
-----------------------	-------------------

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"

CANOPY TREE	22 STREET TREES
-------------	-----------------

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**RS&G ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBPE FIRM #. 15498

project

ROCKWALL OFFICES WAREHOUSES

at

0 AIRPORT ROAD

ROCKWALL, TX 75087

REVISIONS	NO.	DESCRIPTION

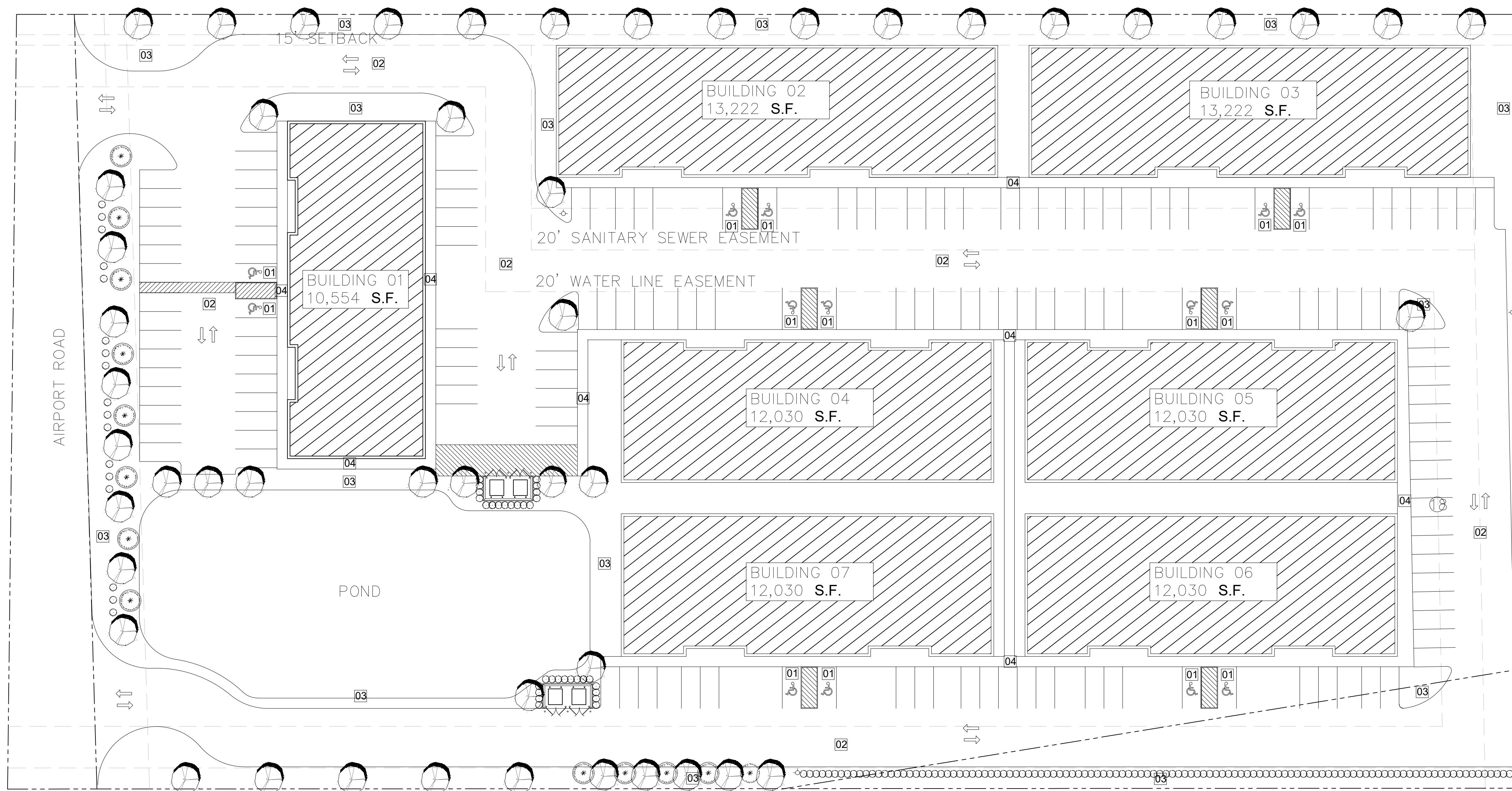
ISSUE DATE: 08/17/23

05/19/2023

LANDSCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No. 23420.02 SHEET No. A0.3



01 SITE PLAN  
Scale 1/32" = 1' - 0"

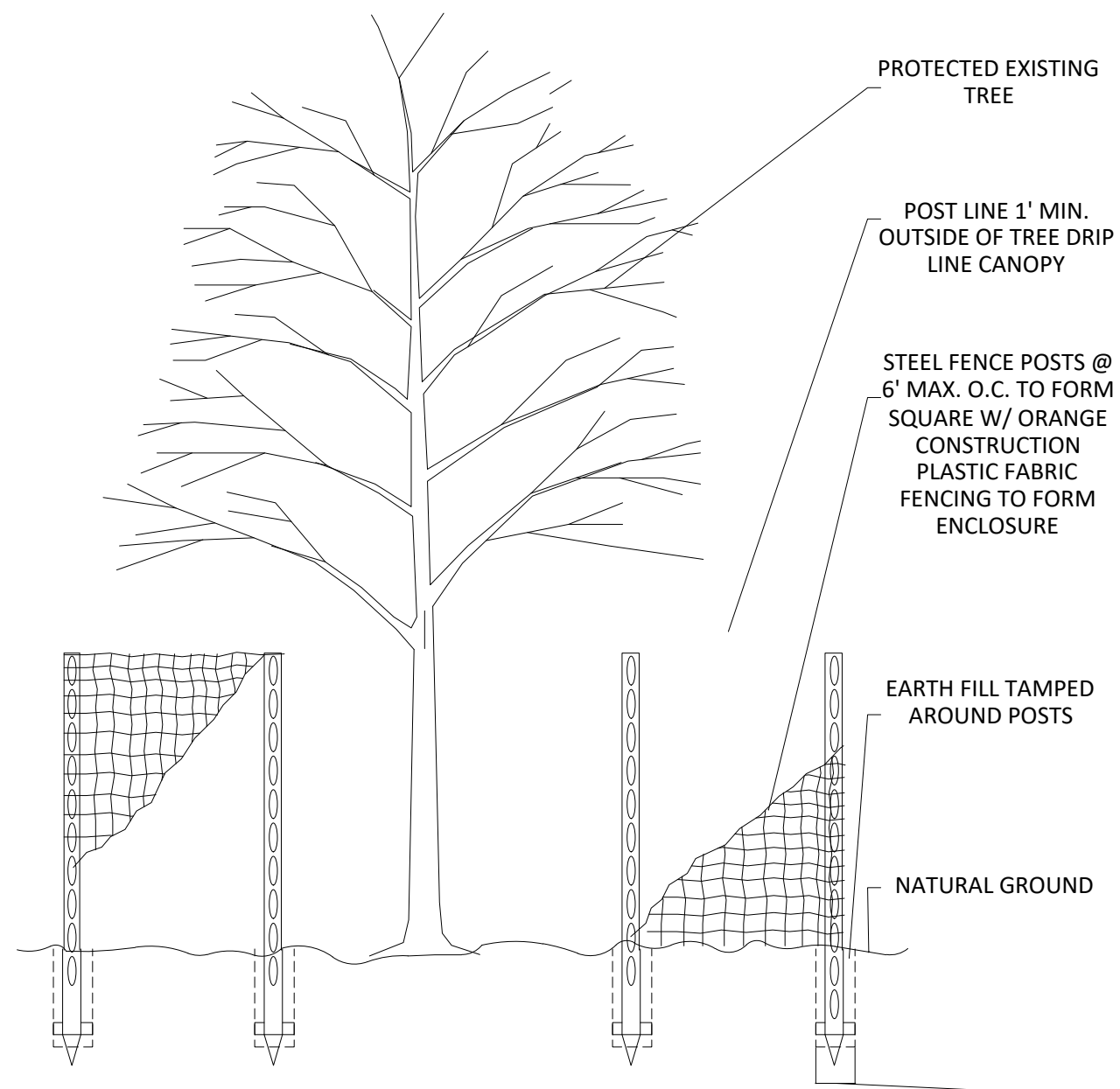
**SITE PLAN SIGNATURE BLOCK**

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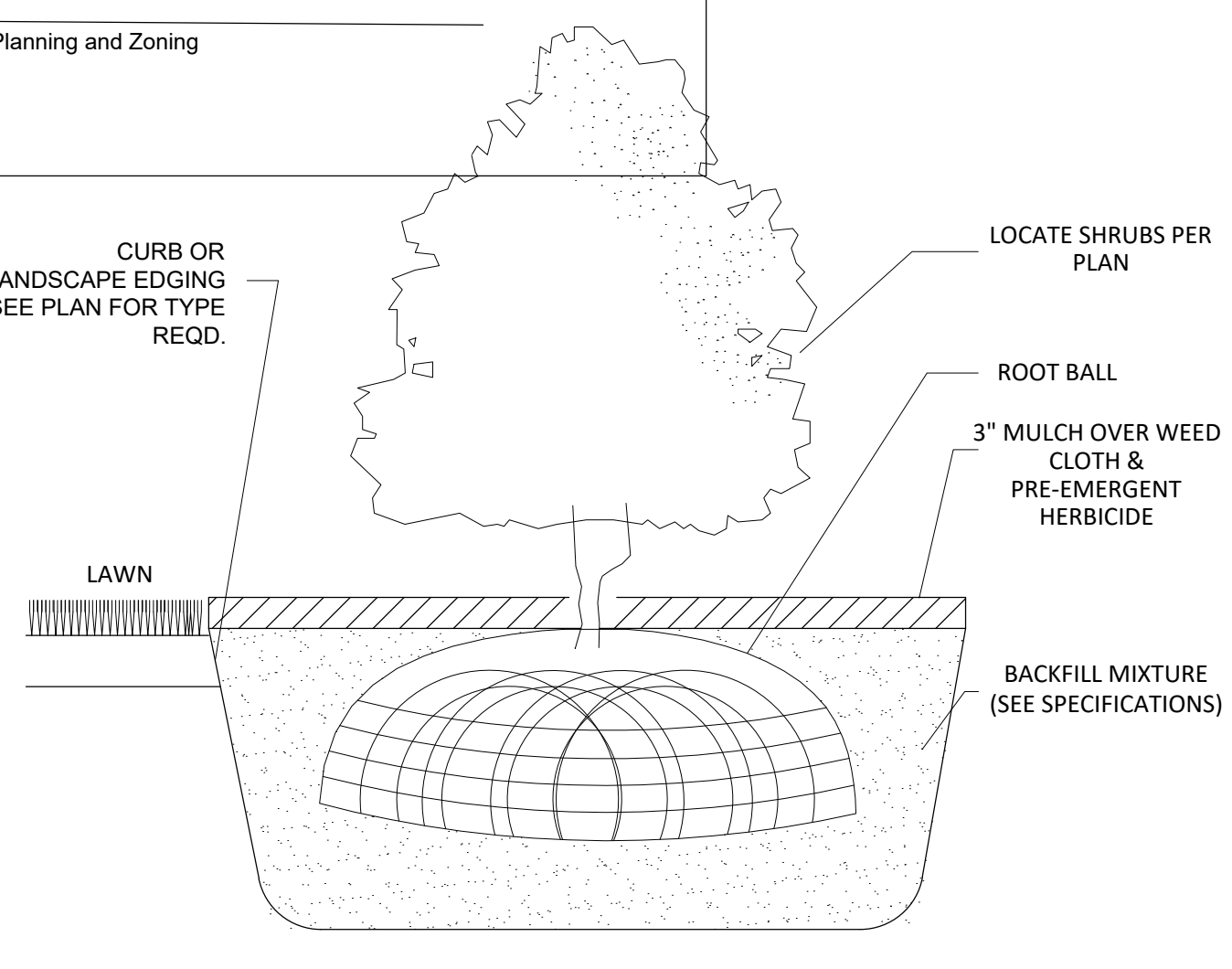
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

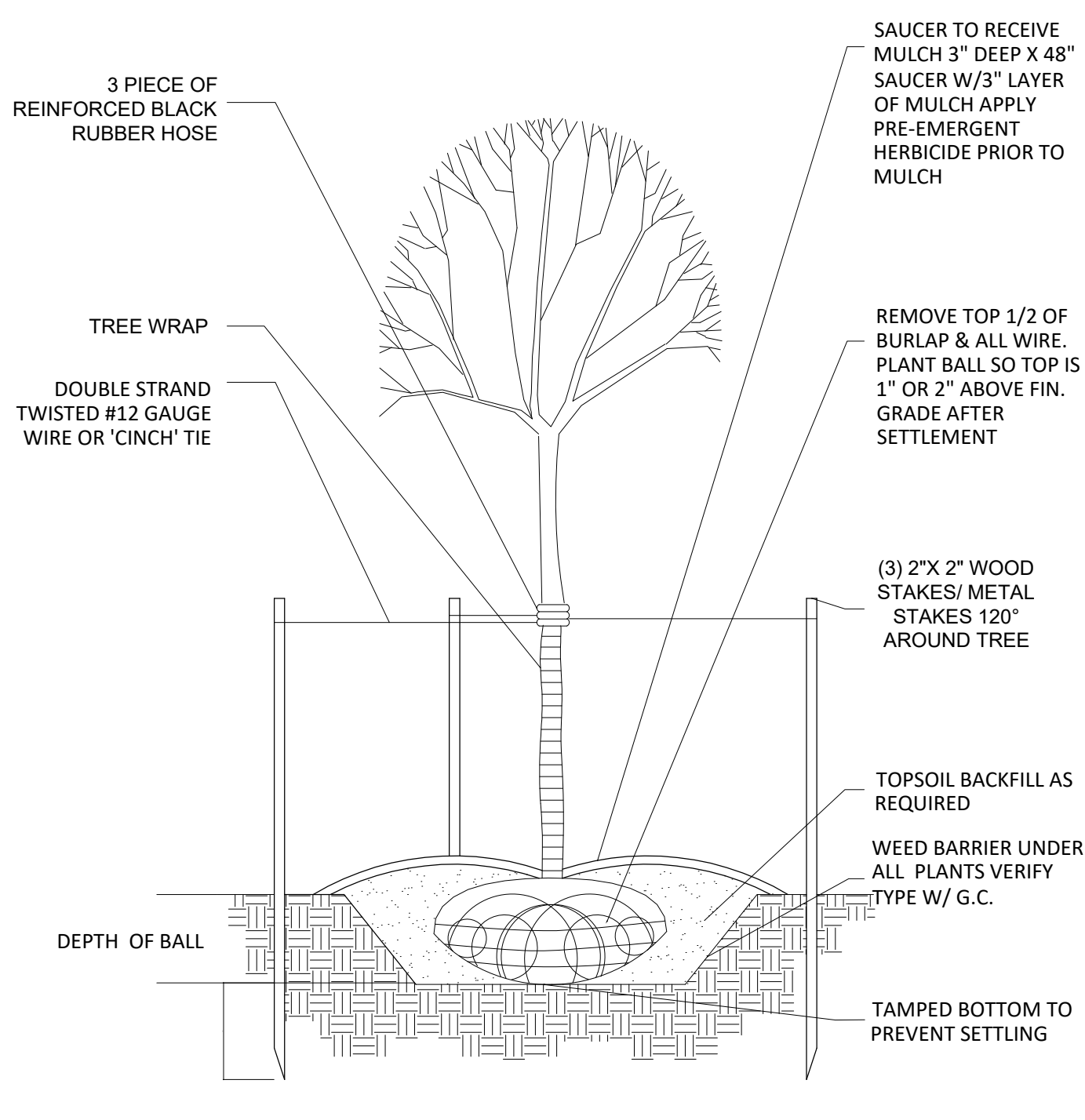
\_\_\_\_\_  
Director of Planning and Zoning



02 TREE PROTECTION BARRIER  
NOT TO SCALE



03 SHRUB PLANTING  
NOT TO SCALE



04 TREE PLANTING  
NOT TO SCALE

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

**NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES**

- NOTES**
- 1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - 2- CONTRACTOR SHALL LOCATE ALL L UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
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  - 6- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

- GENERAL LANDSCAPE NOTES**
- 1 - ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - 2 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - 3 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - 4 - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY REGULATIONS.
  - 5 - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - 6 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - 7 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - 8 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - 9 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - 10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**Treescape CALCULATIONS**

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

REVISIONS


ISSUE DATE: 05/19/23

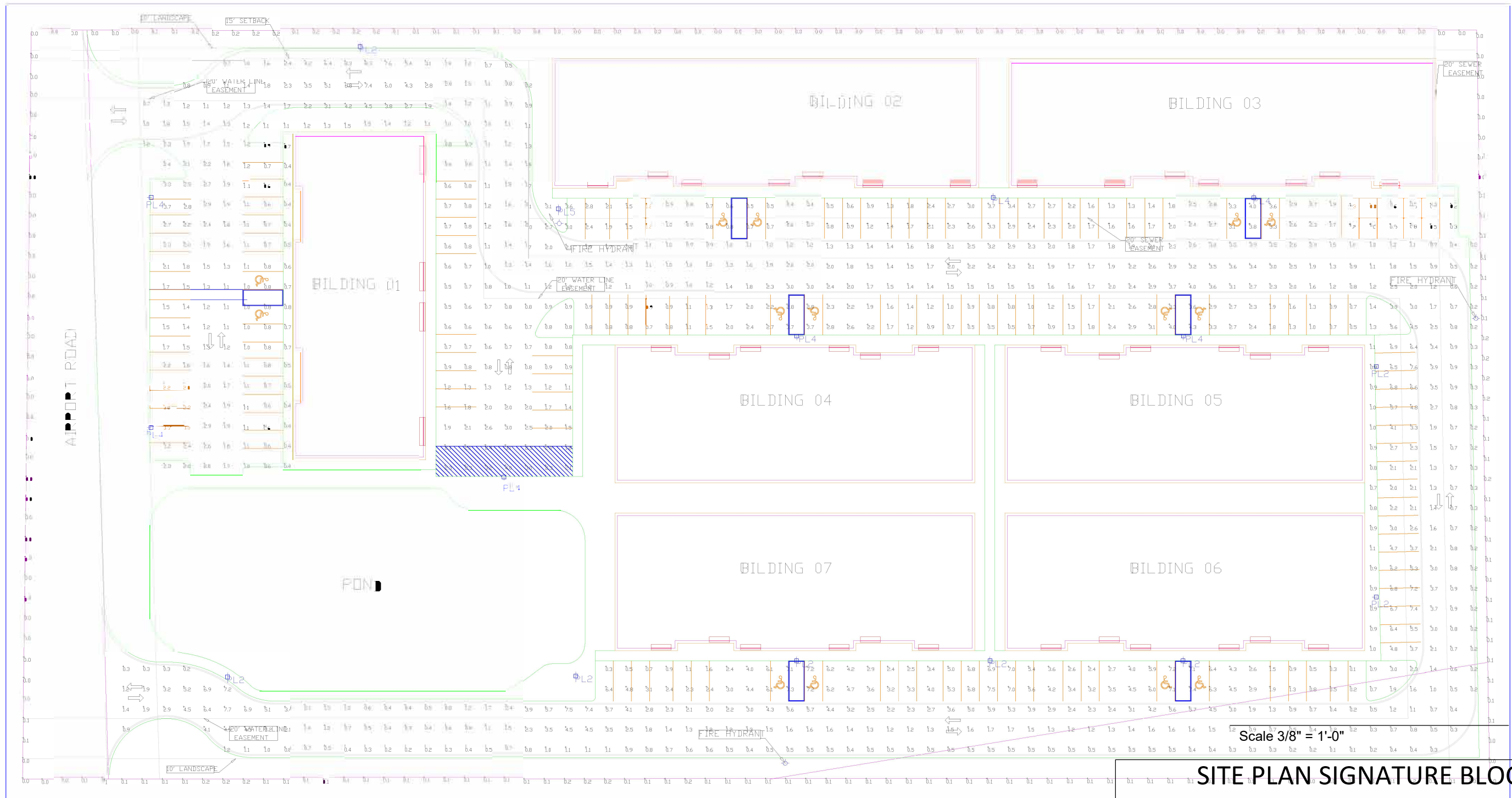
05/19/2023

TREESCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.3





**SITE PLAN SIGNATURE BLOCK**

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

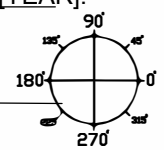
Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

**APPROVED:**  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

**WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].**  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning



**Peterson, Scharck & Associates, Inc.**  
10855 Tanner Rd.  
Houston, TX 77041  
applications@psa-lighting.com

XXX  
XXX

Rockwall  
Flexspace Center  
- Site Ltg

07-11-23  
SR



REVISIONS	

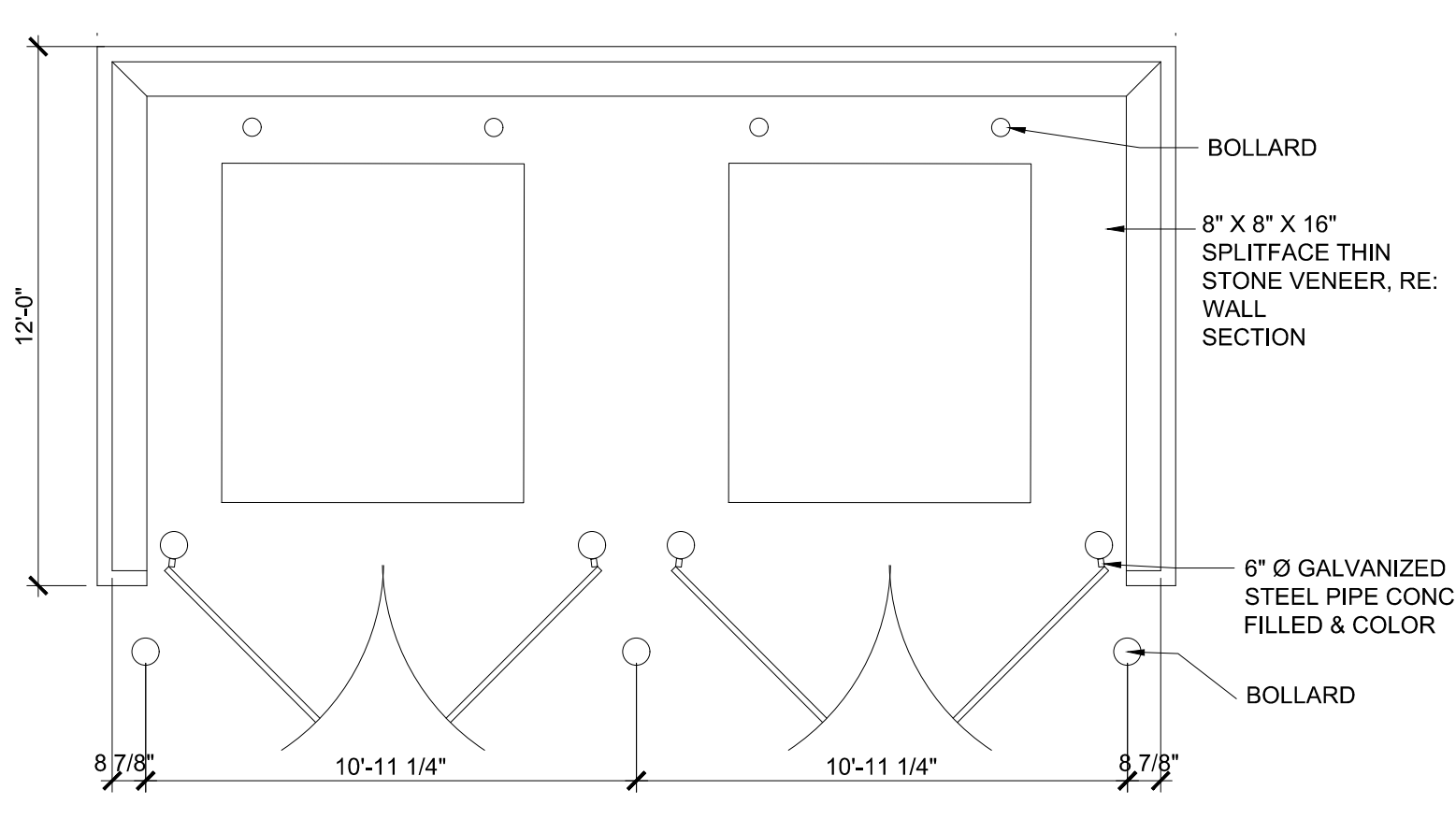
ISSUE DATE: 07/11/23

05/19/2023

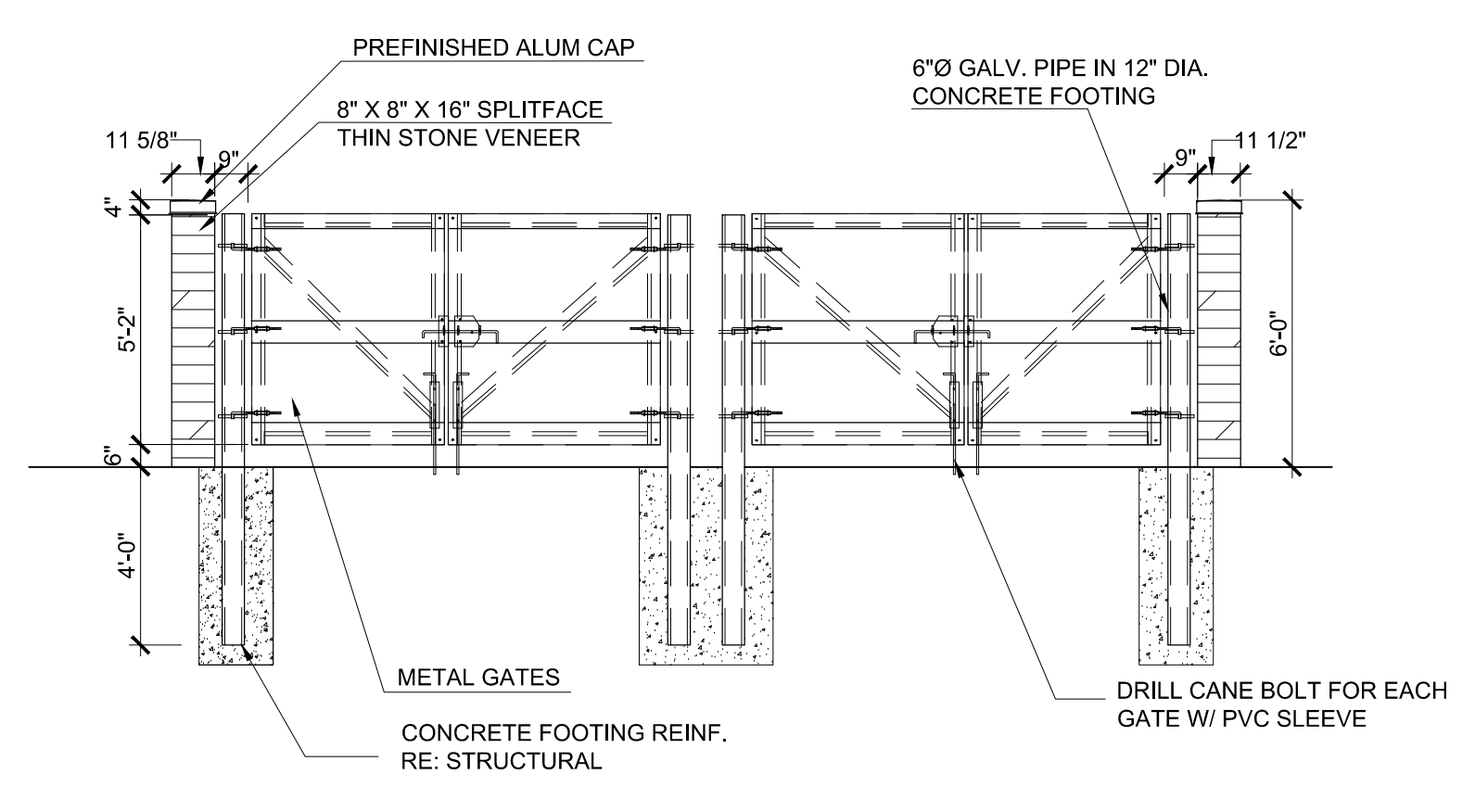
DUMPSTER DETAIL

DRAWN BY: CHECKED:

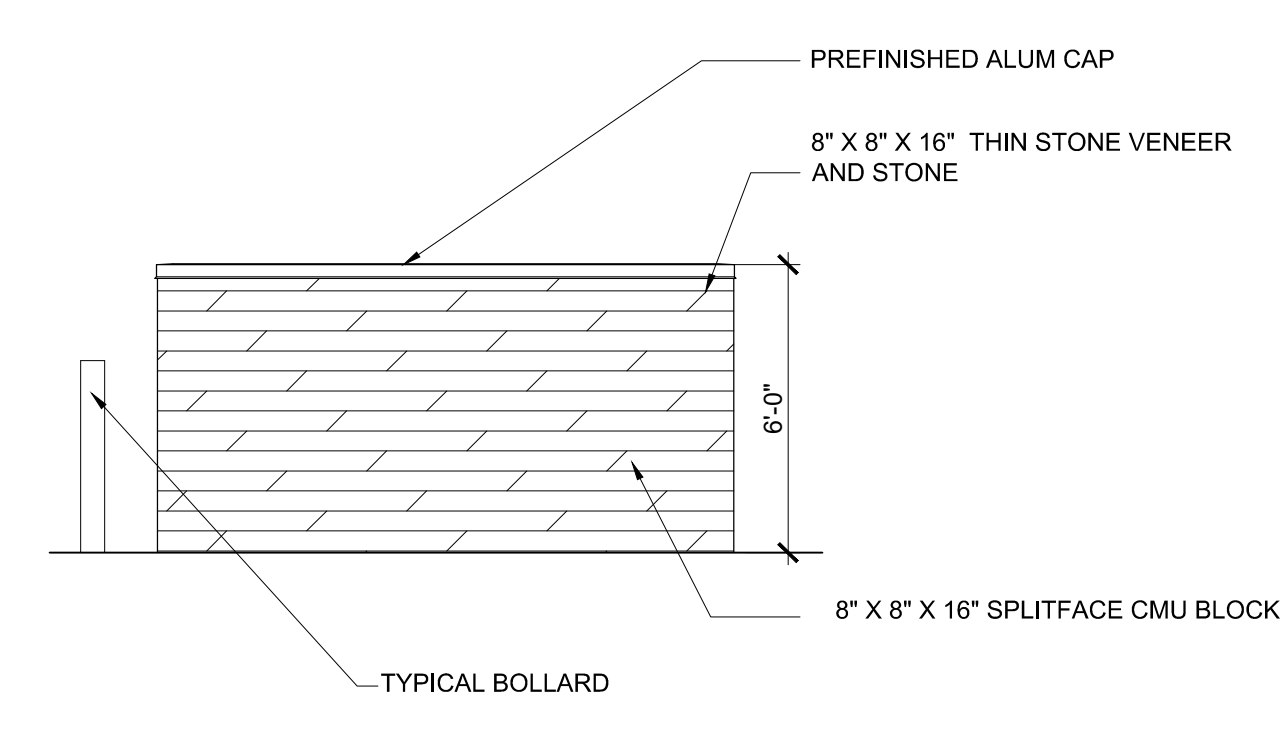
PROJECT No: SHEET No:  
23420.02 A0.2



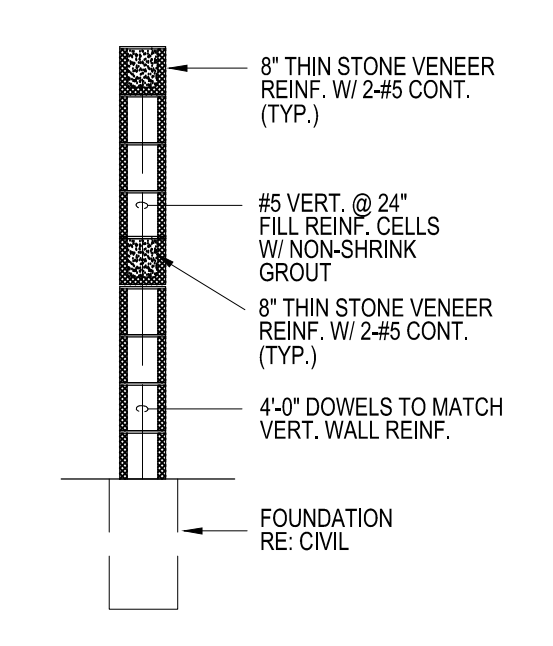
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

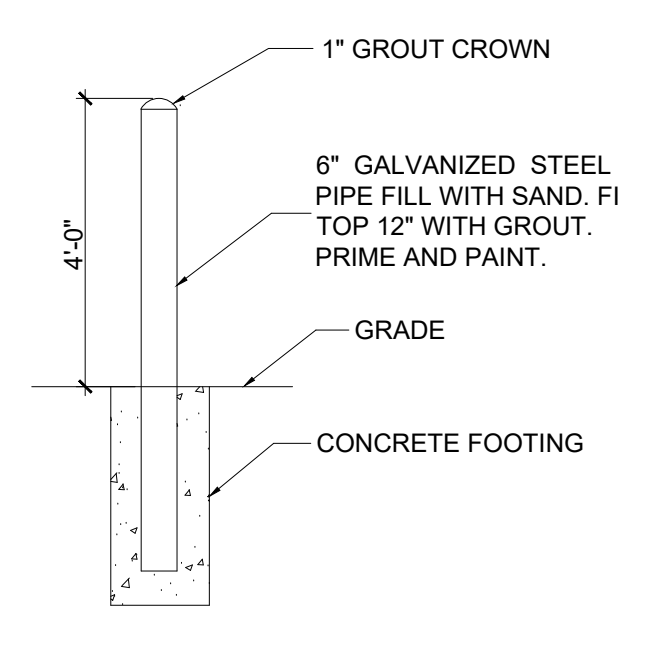
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

## NOTARY VERIFICATION [REQUIRED]

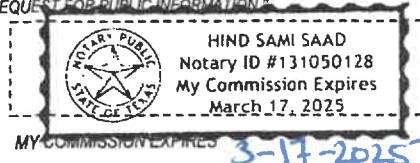
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Boy Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

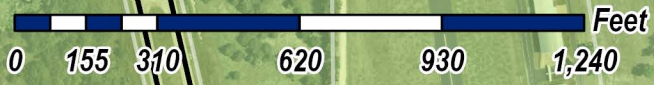
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August 2023

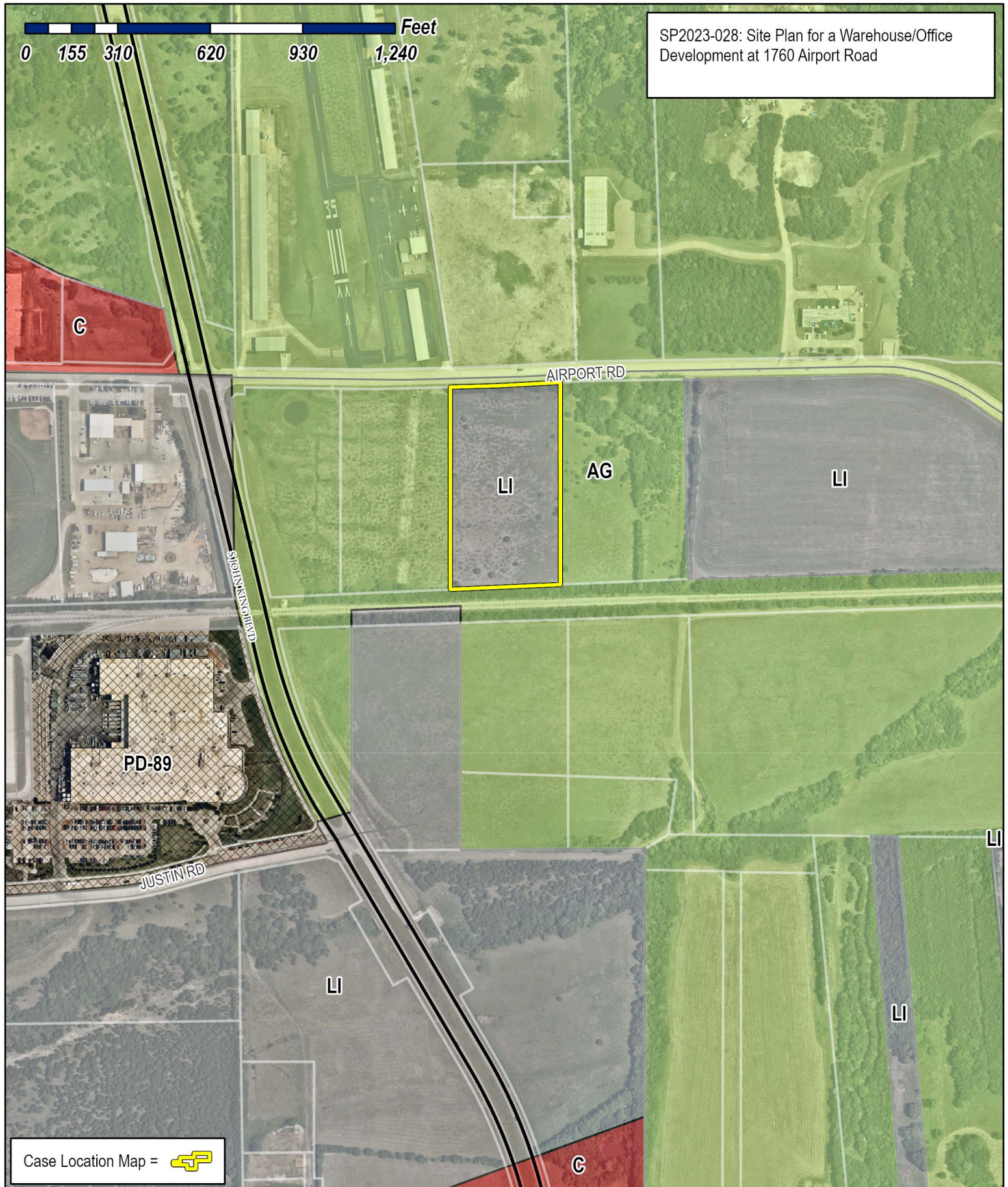
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2023-028: Site Plan for a Warehouse/Office Development at 1760 Airport Road



Case Location Map = 

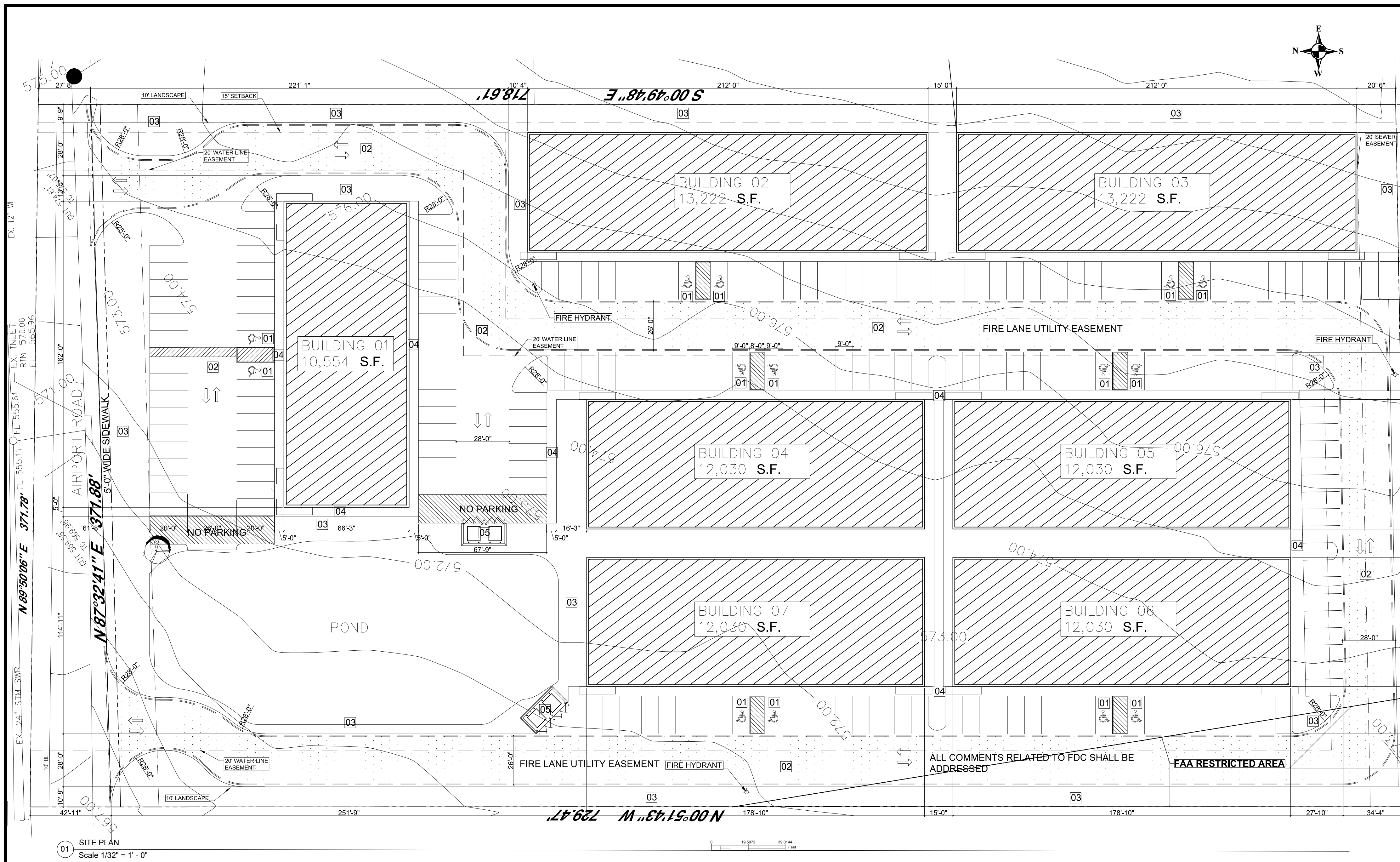


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**ADA & TAS**

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

**FIRE LANE NOTES**

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLOR CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH
- WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

**FIRE LANE**

**FIRE LANE**  
PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

**NOTE PARKING**

- NOTE 1:  
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.  
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.  
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:  
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).  
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.  
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.  
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

**PARKING REQUIREMENT**

WAREHOUSE TOTAL AREA: 85,118 SF  
OFFICES: 9,852 / 300 : 33 SPACES  
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE". ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN  
Scale 1/32" = 1' - 0"

**WATER SUPPLY (FOR FIREFIGHTING)**

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

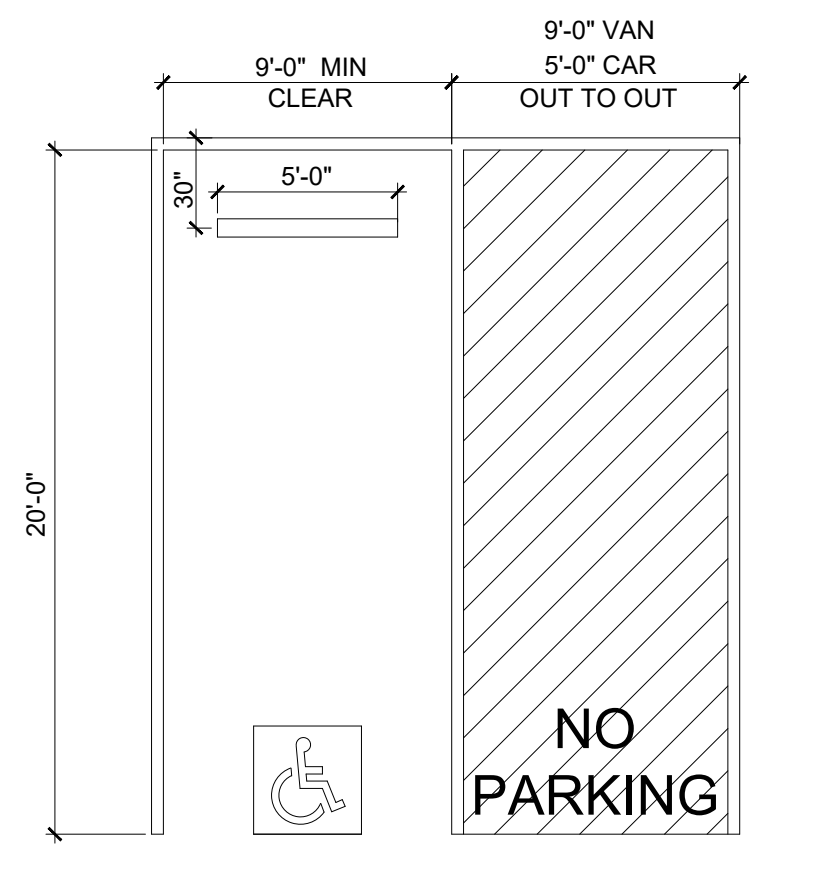
SITE PLAN SIGNATURE BLOCK

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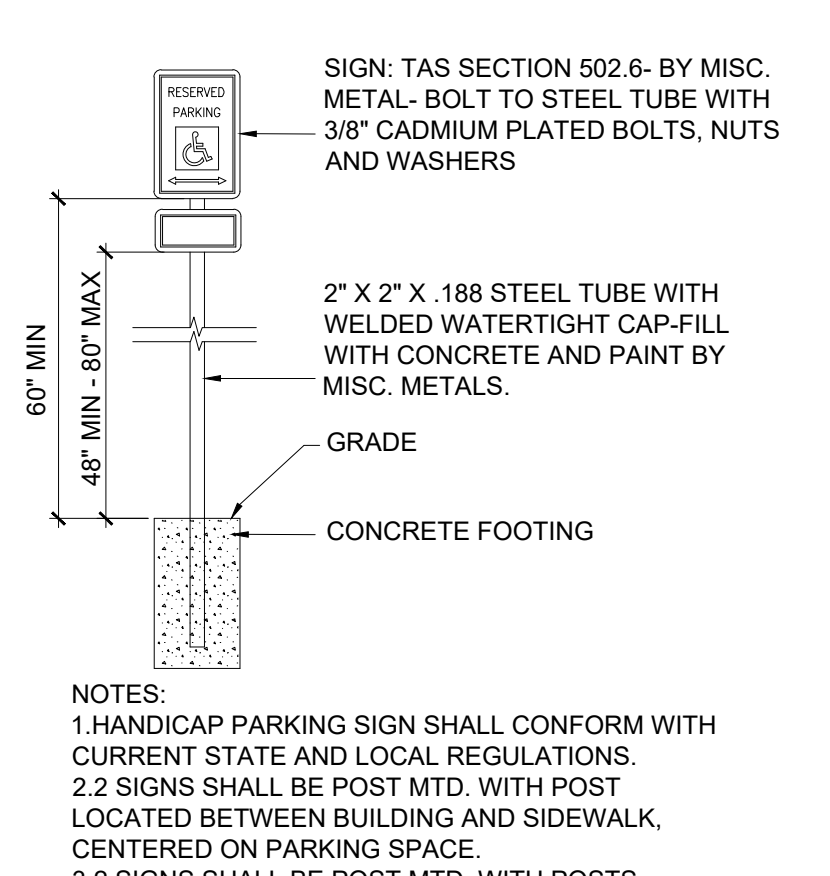
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

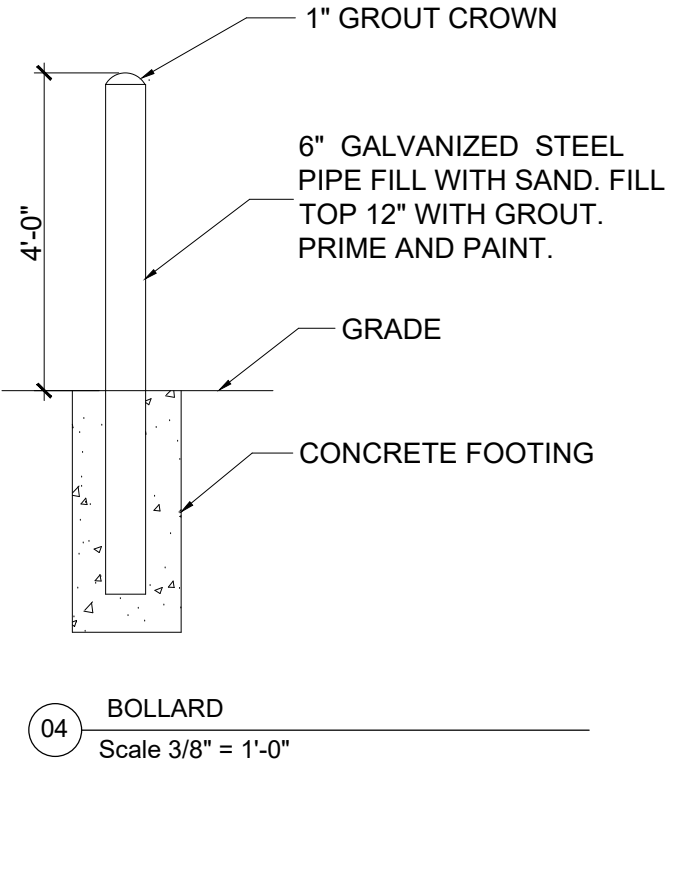
\_\_\_\_\_  
Director of Planning and Zoning



02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"



04 BOLLARD  
Scale 3/8" = 1'-0"

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

TYPE FIRM #: 15498

---

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
**0 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

---

REVISIONS


ISSUE DATE: 08/17/23

---

05/19/2023

SHEET NO. 118989

---

SITE PLAN

---

DRAWN BY:	CHECKED:
PROJECT No.	SHEET No.:
23420.02	A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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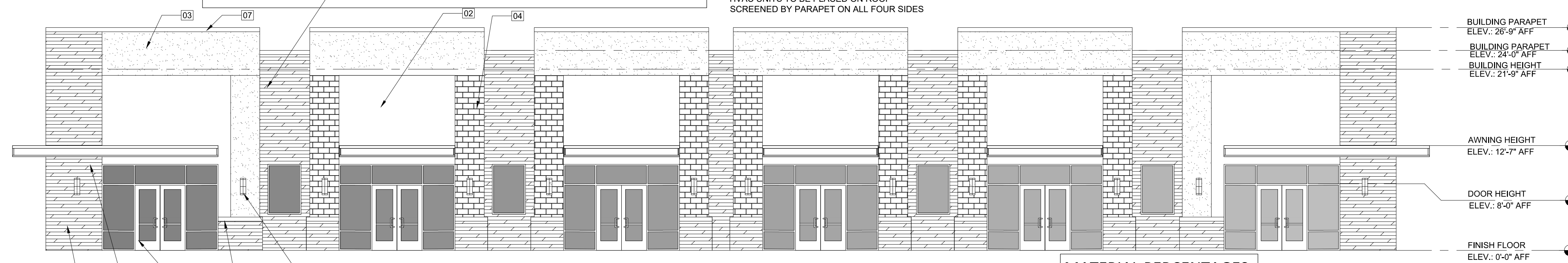
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission: Chairman  
Director of Planning and Zoning

HVAC UNITS TO BE PLACED ON ROOF  
SCREENED BY PARAPET ON ALL FOUR SIDES

GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.

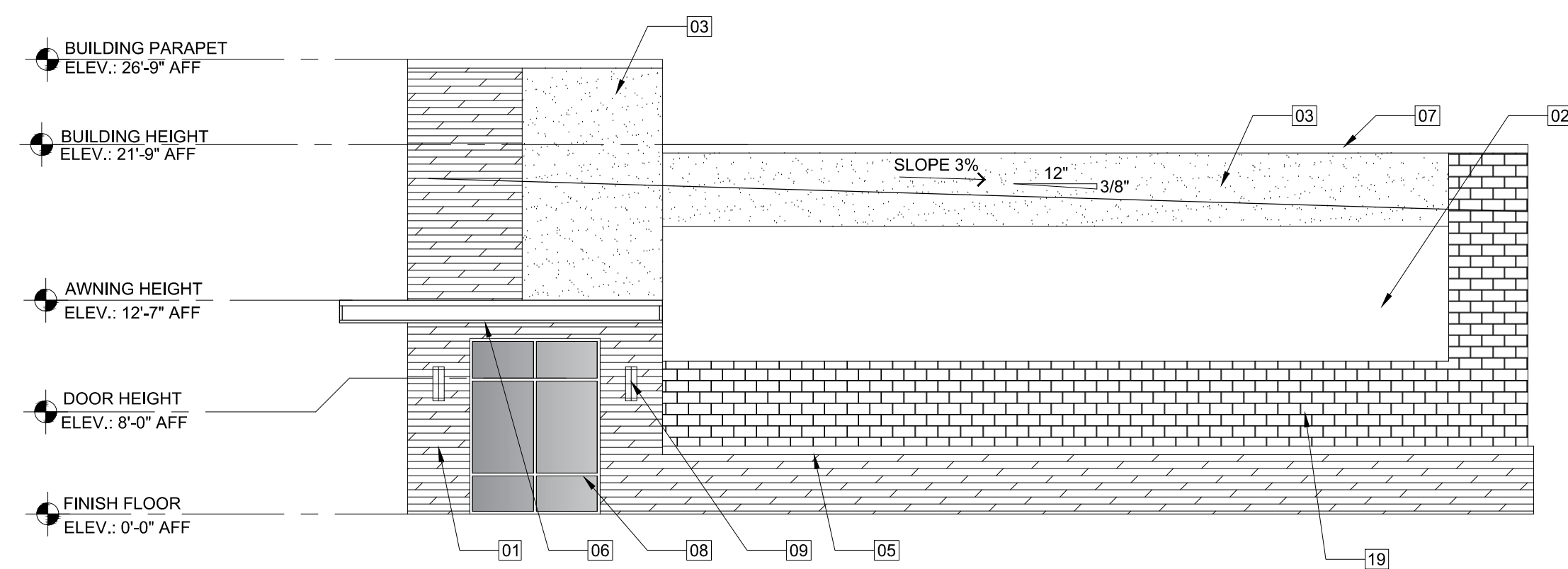


**MATERIAL PERCENTAGES**

1	STONE = 22%
2, 3, 4	STUCCO = 50%
19	BRICK = 28%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

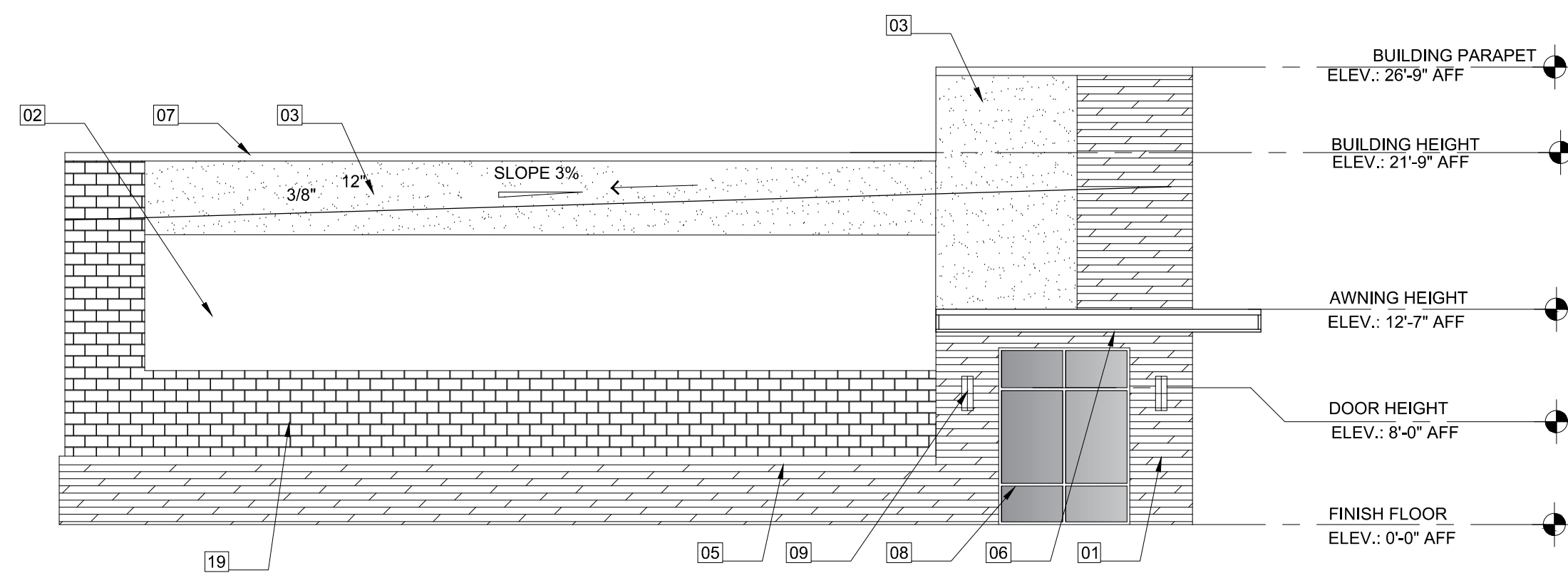
WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS



**MATERIAL PERCENTAGES**

1	STONE = 24%
2, 3	STUCCO = 50%
19	BRICK = 26%

02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"



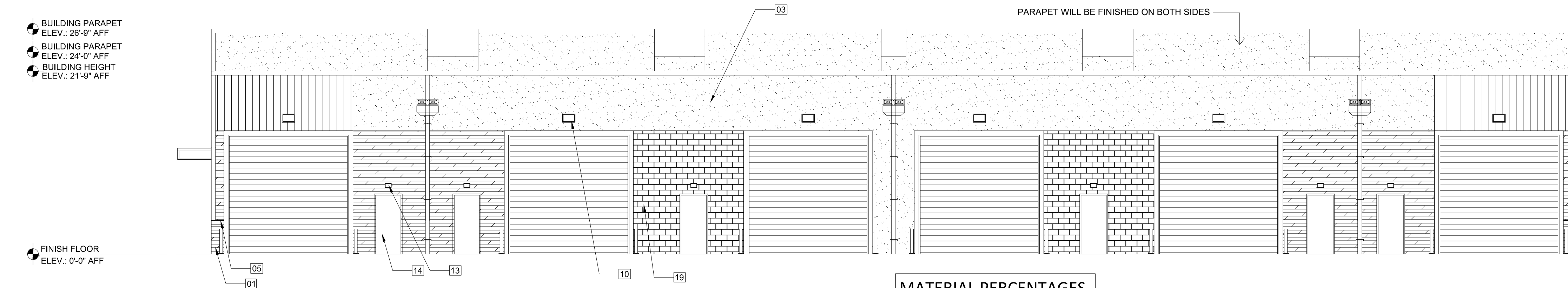
**MATERIAL PERCENTAGES**

1	STONE = 24%
2, 3	STUCCO = 50%
19	BRICK = 26%

03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSNE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)



**MATERIAL PERCENTAGES**

1	STONE = 21%
3	STUCCO = 50%
19	BRICK = 20%
18	METAL = 9%

04 REAR ELEVATION  
Scale 1/8" = 1' - 0"



**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15", COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

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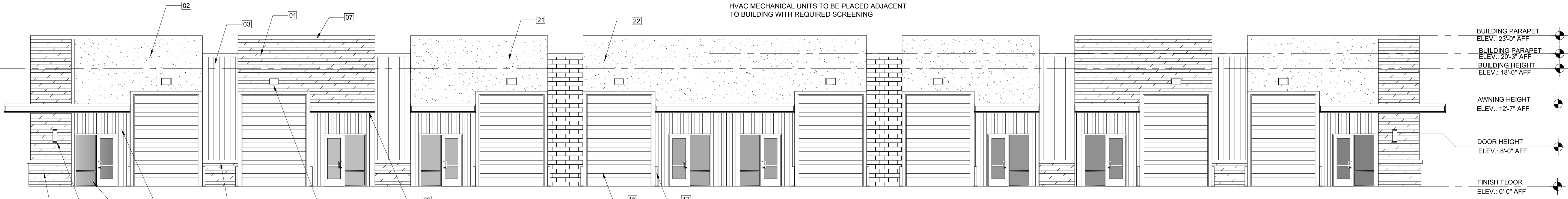
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

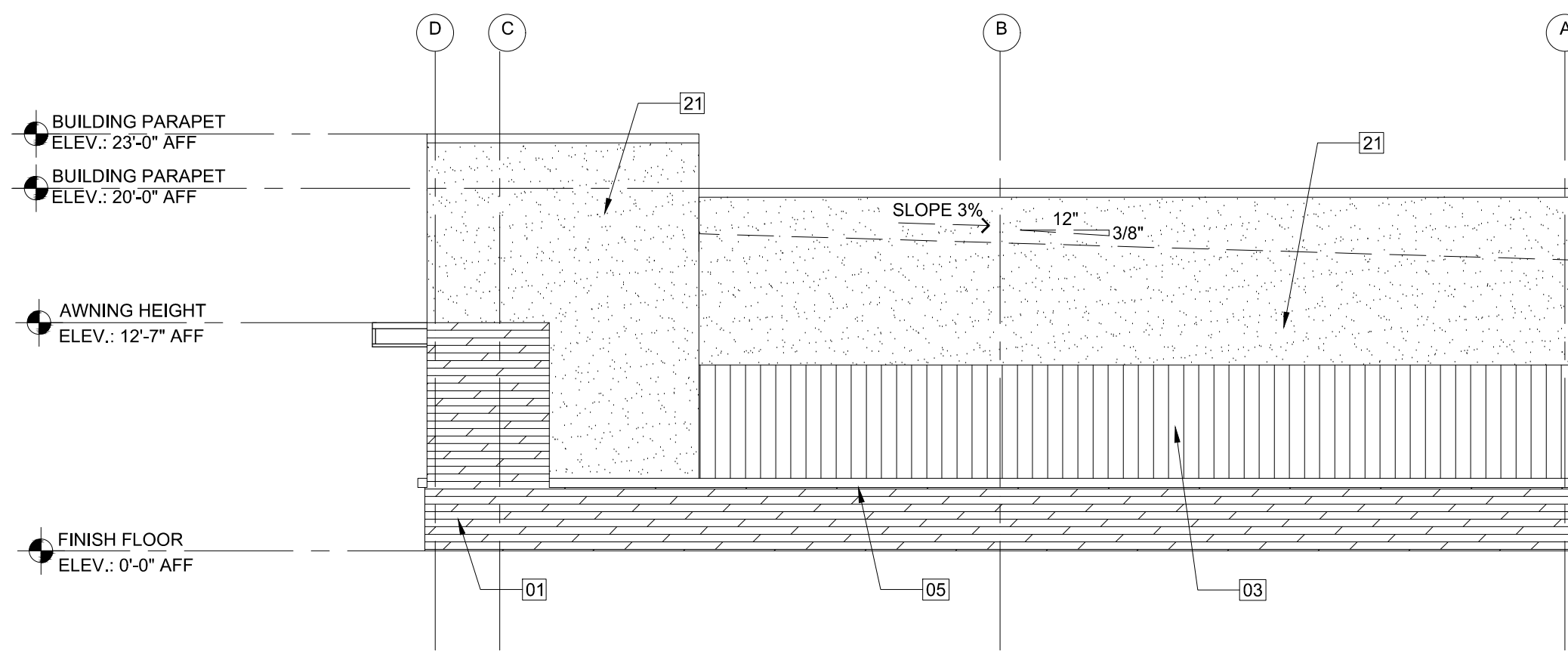


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%

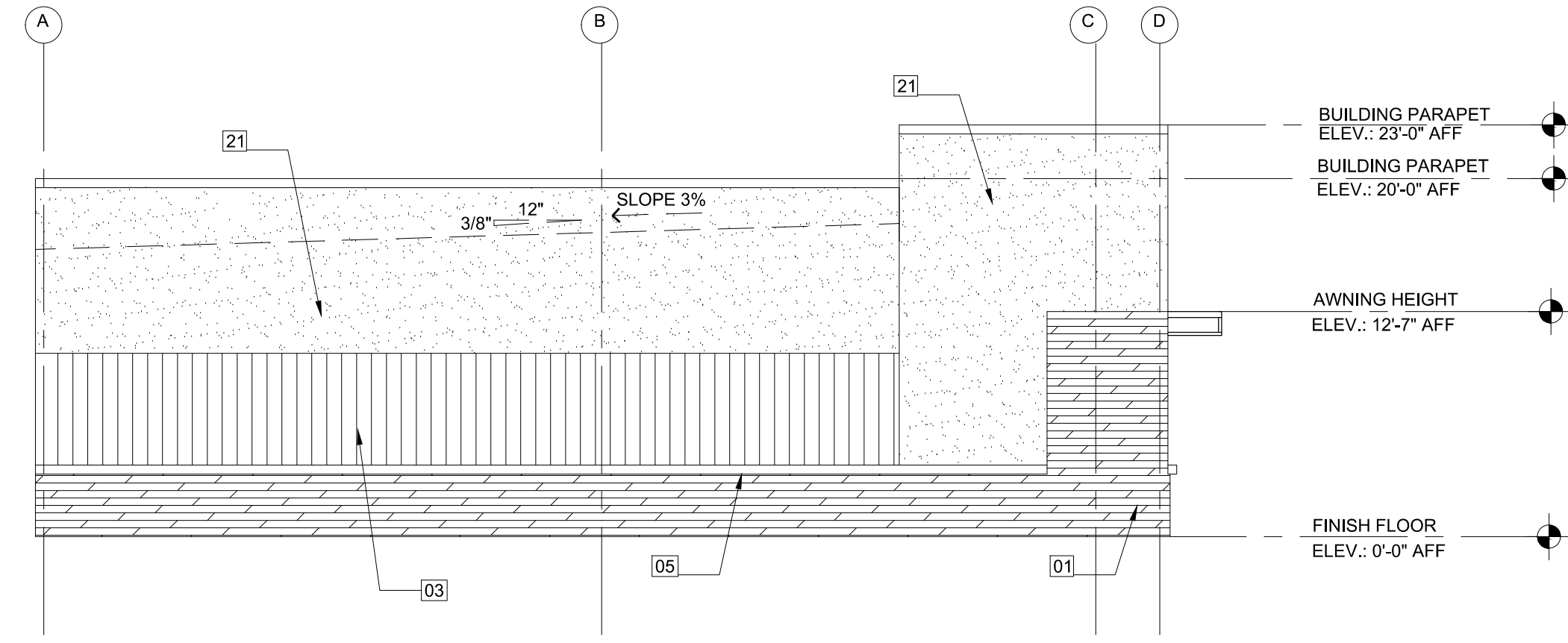
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

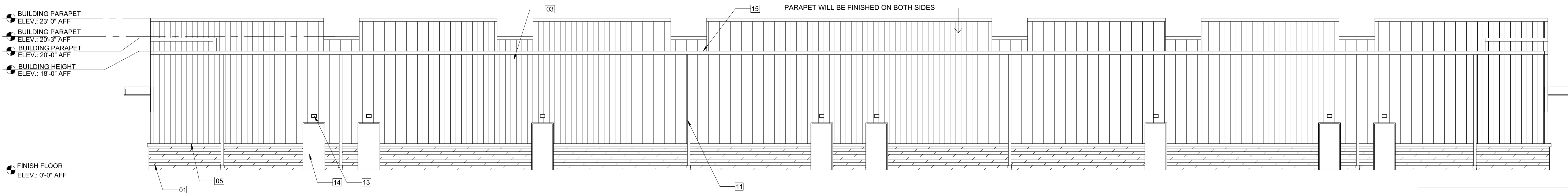
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15", COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

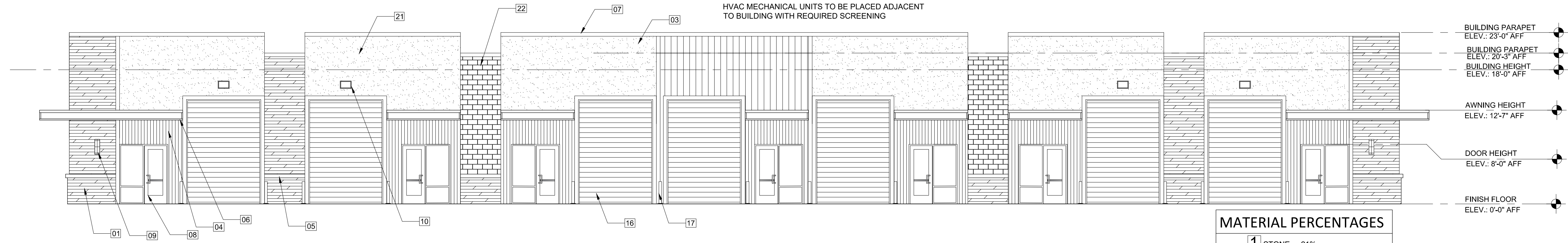
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



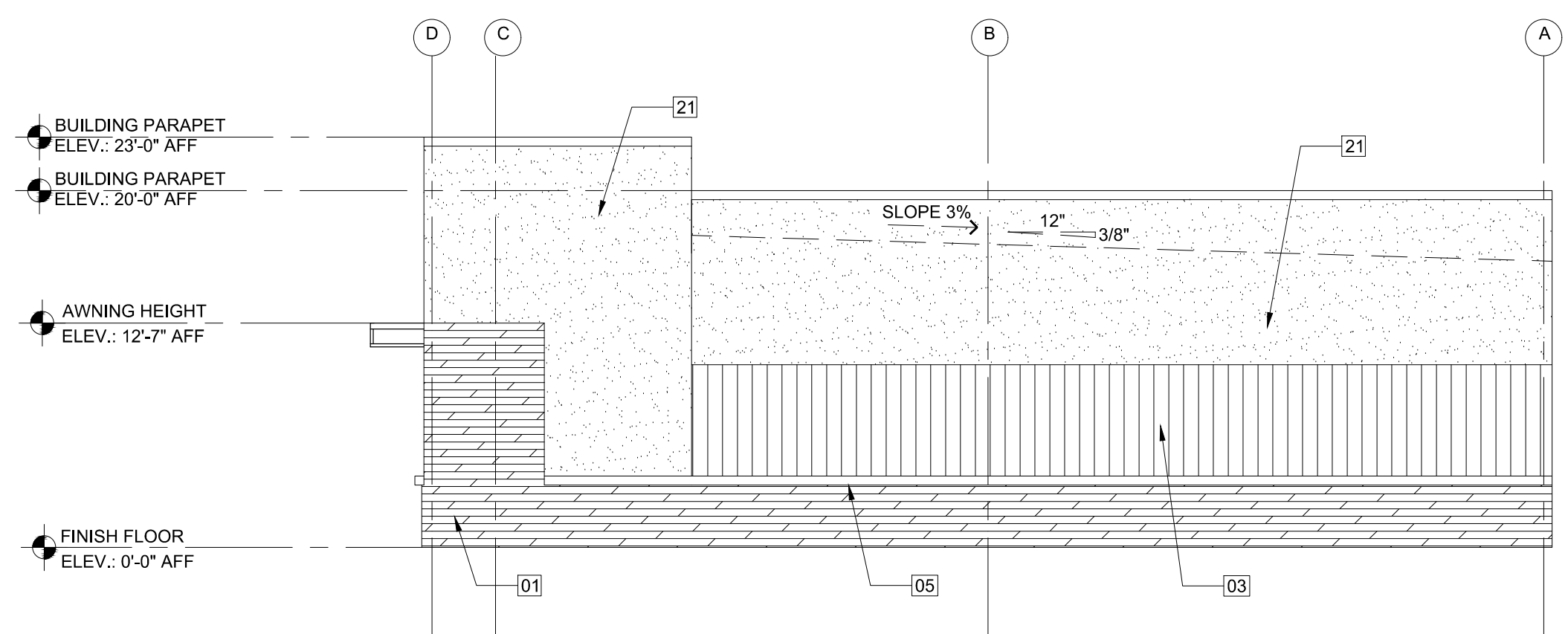
- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

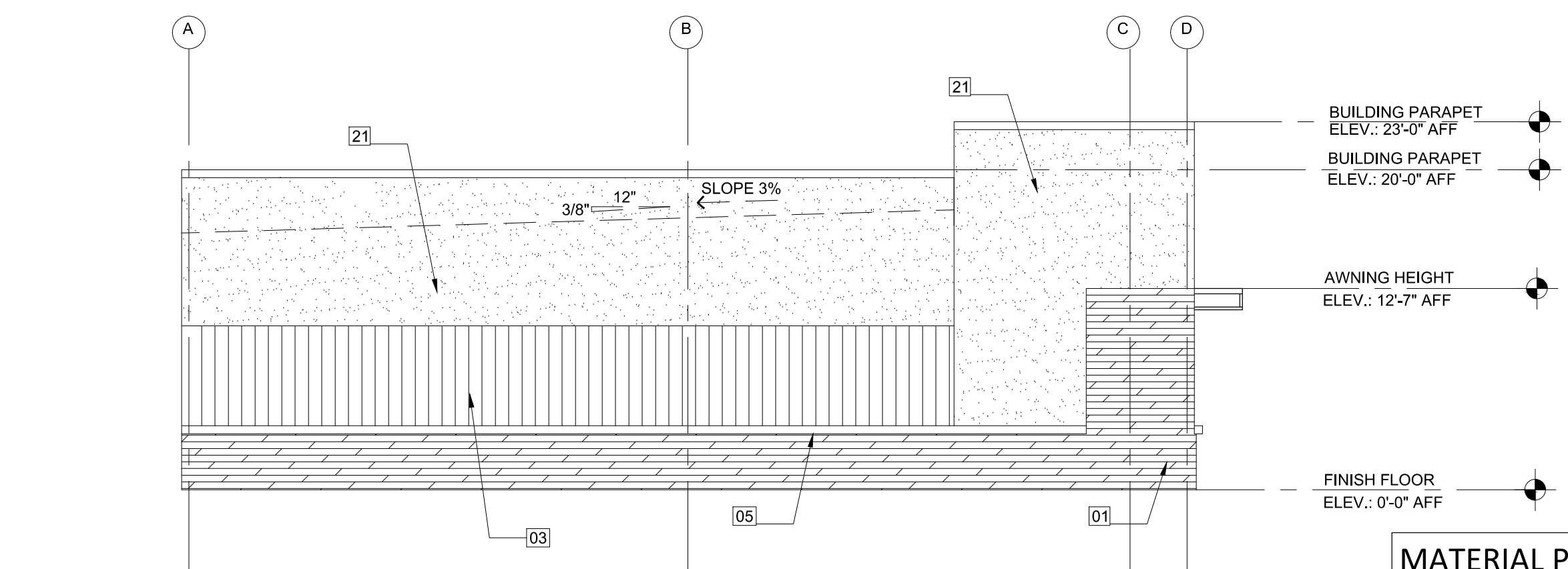
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

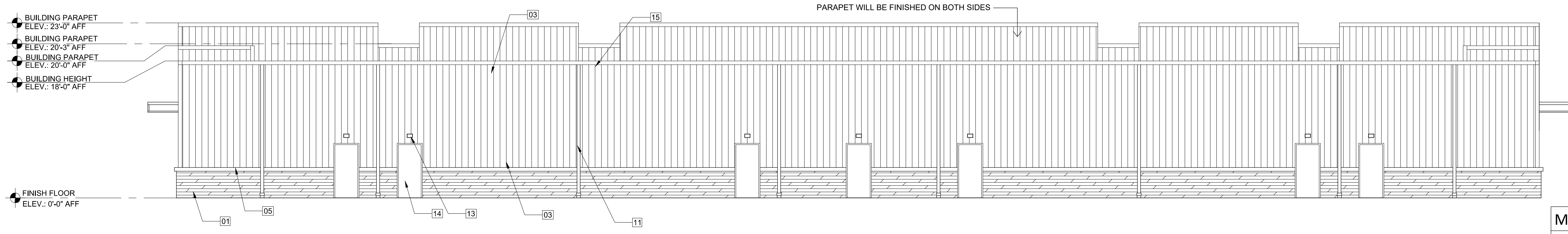
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBP FIRM #: 15498

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS  
04, 05, 06 & 07

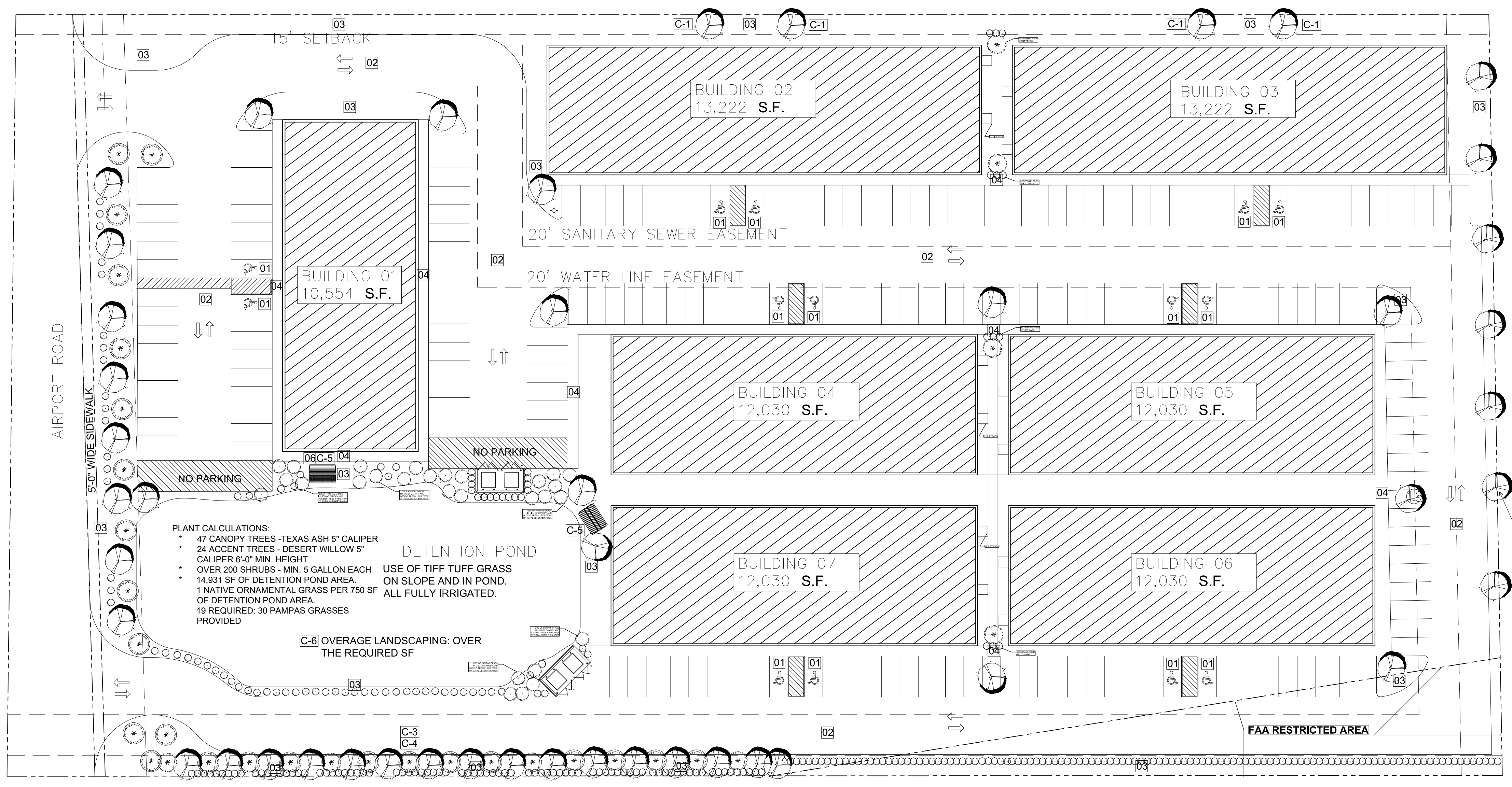
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A2.0





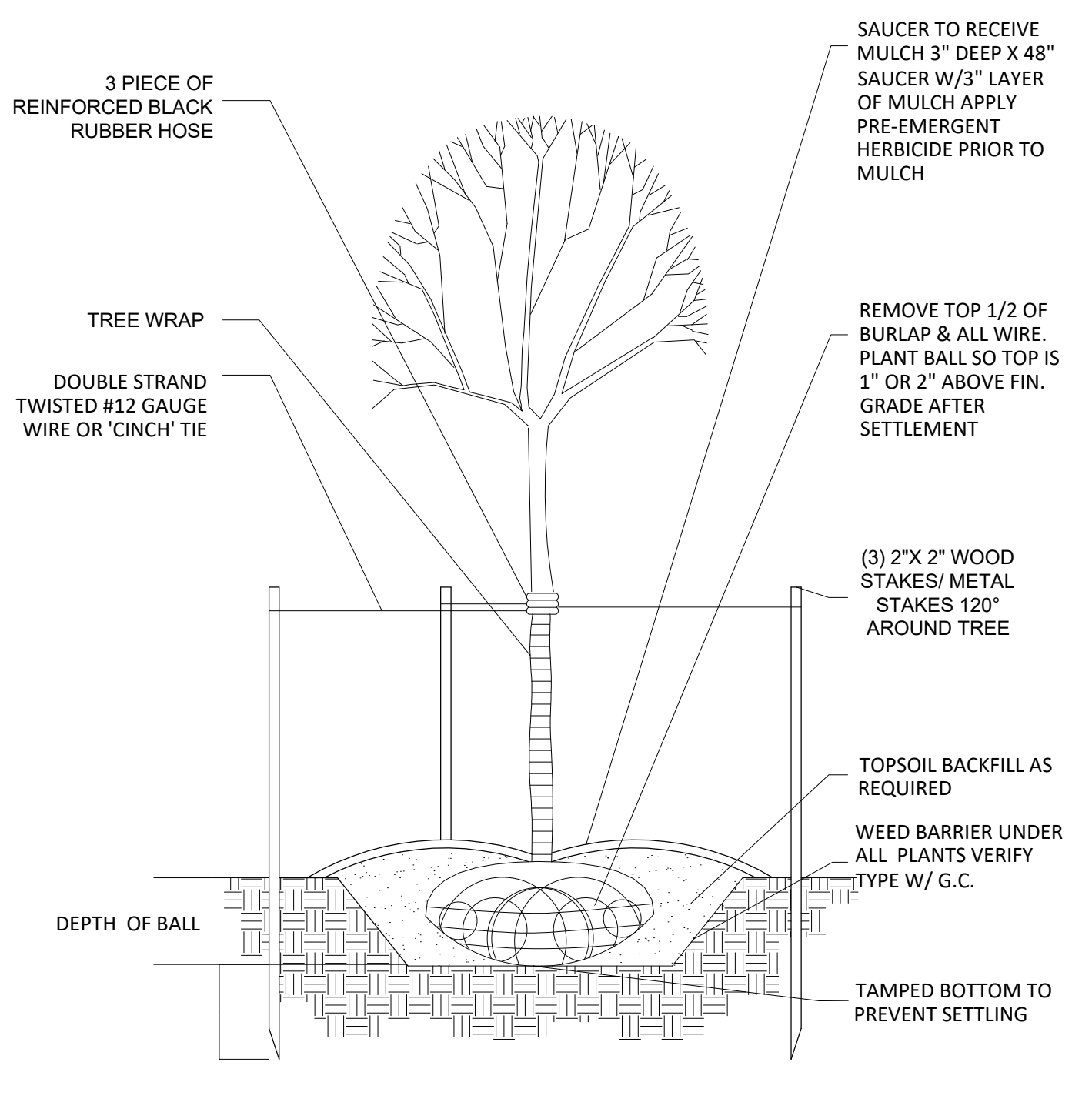
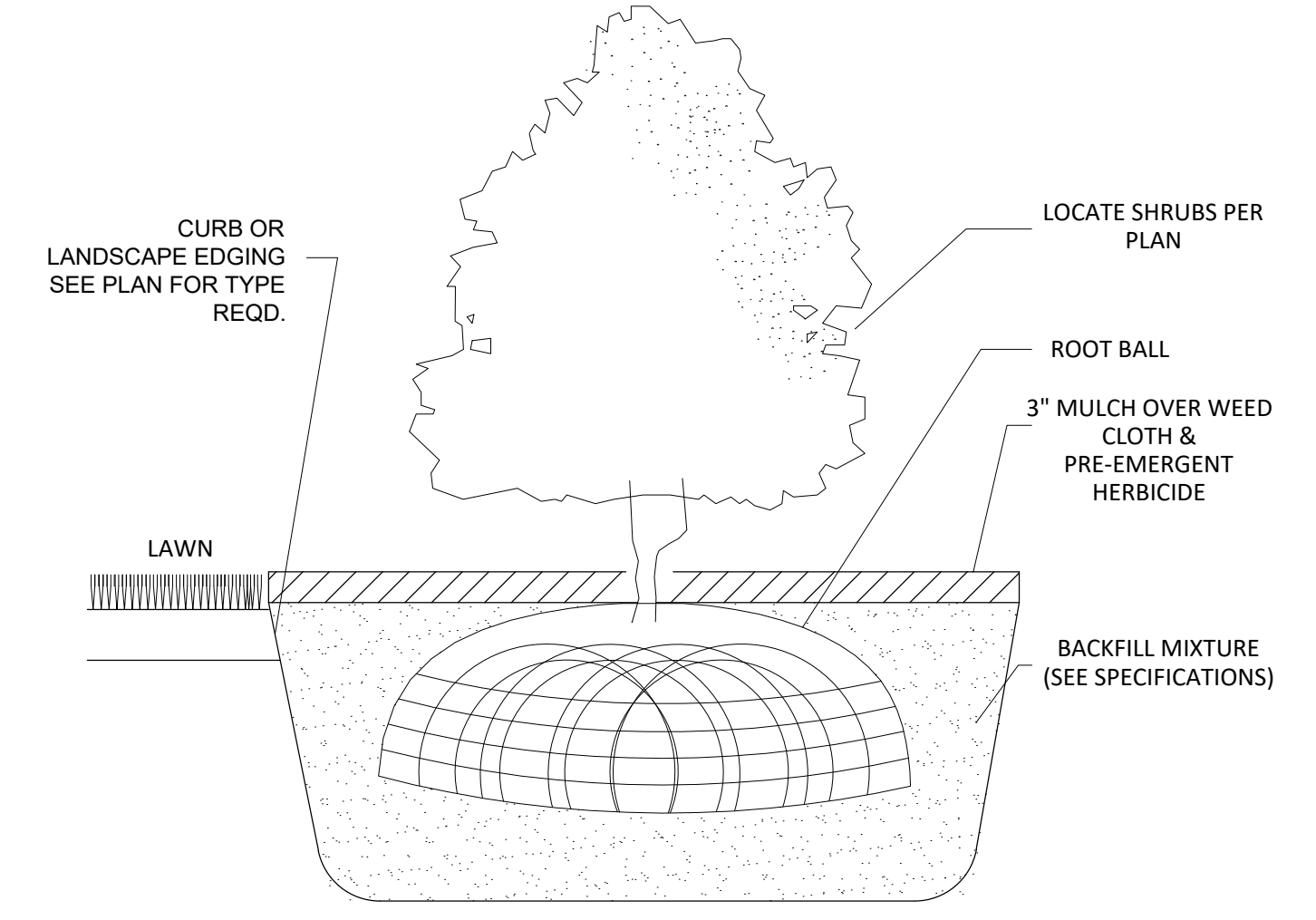
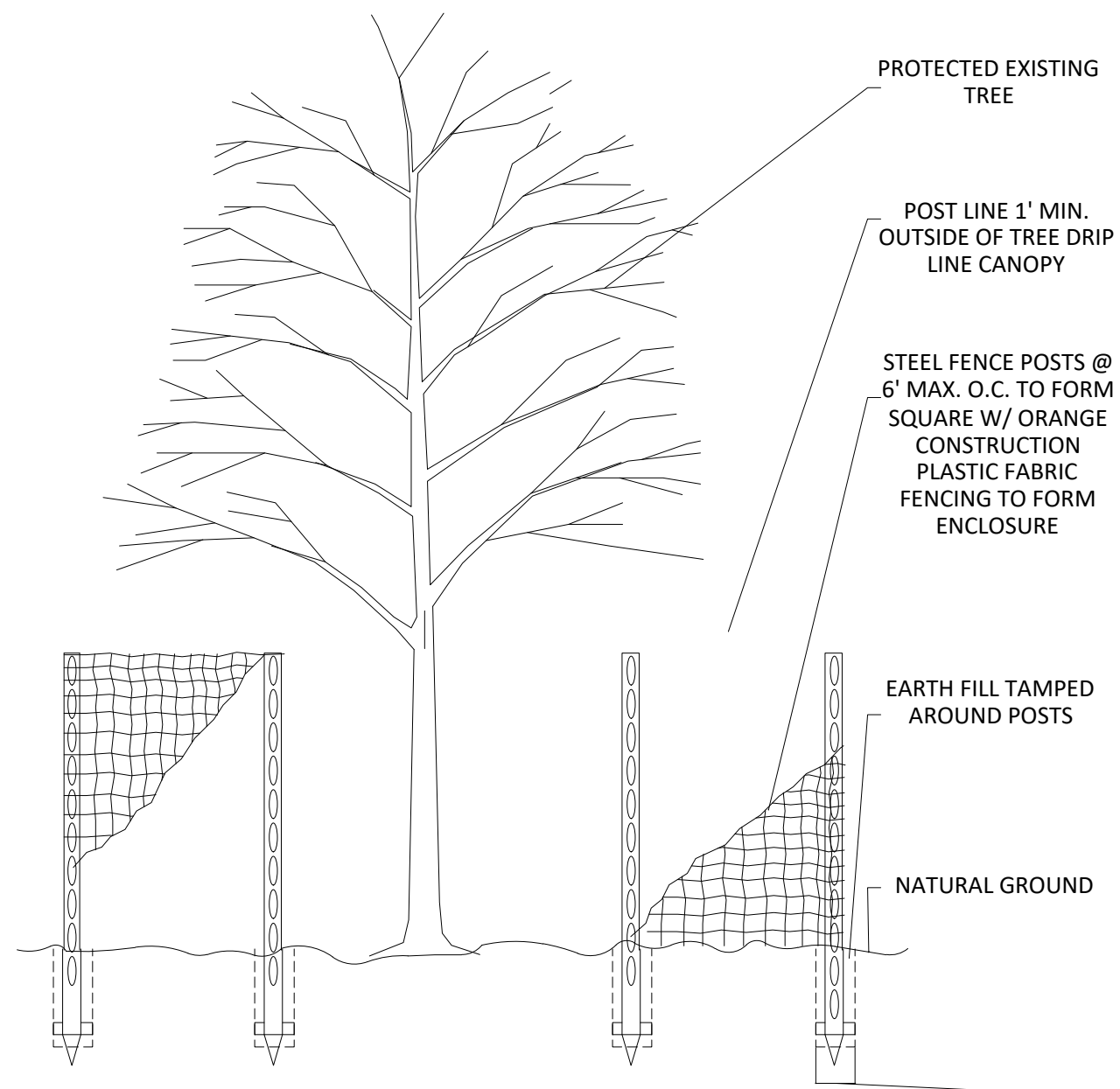
**PLANT CALCULATIONS:**

- 47 CANOPY TREES - TEXAS ASH 5" CALIPER
- 24 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 14,931 SF OF DETENTION POND AREA
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.

C-6 OVERAGE LANDSCAPING: OVER THE REQUIRED SF

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

### SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

### KEYED NOTES

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER
- C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
- C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
- C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
- C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
- C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
- C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

### IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA: 269,076 SF  
 TOTAL IMPERVIOUS COVER: 205,736 SF  
 TOTAL PERVIOUS COVER: 63,340 SF  
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- ### NOTES
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
  - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- ### GENERAL LANDSCAPE NOTES
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
  - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

### LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.  
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RSG ENGINEERING  
 13501 KATY FREEWAY  
 SUITE 3180  
 HOUSTON, TEXAS 77079  
 PH. 713-783-7777  
 TPPE FIRM #. 15498

project  
 ROCKWALL OFFICES WAREHOUSES  
 at  
 0 AIRPORT ROAD  
 ROCKWALL, TX 75087

REVISIONS

NO.	DESCRIPTION	DATE

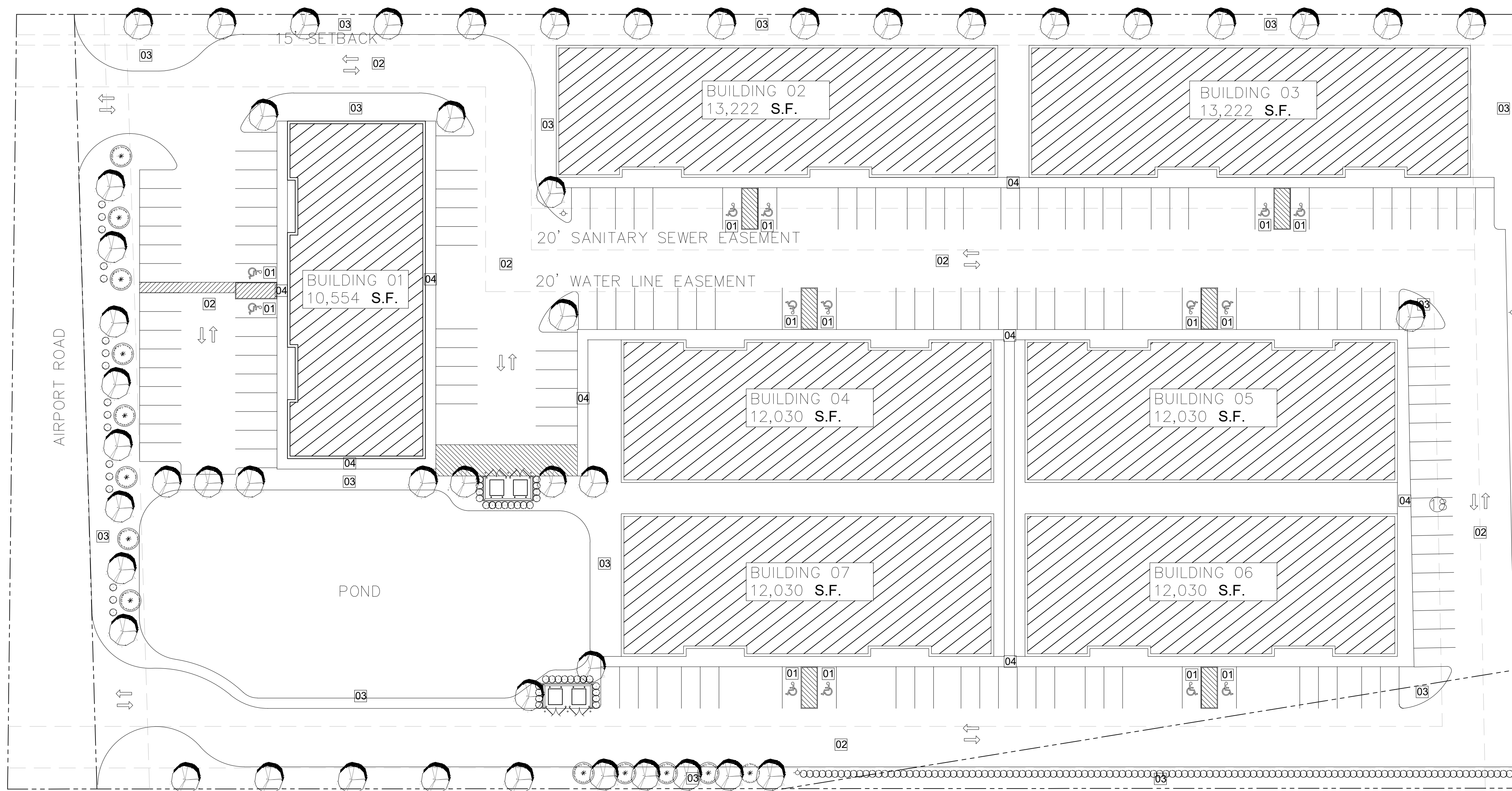
ISSUE DATE: 08/17/23

05/19/2023

LANDSCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No. 23420.02 SHEET No. A0.3



01 SITE PLAN  
Scale 1/32" = 1' - 0"

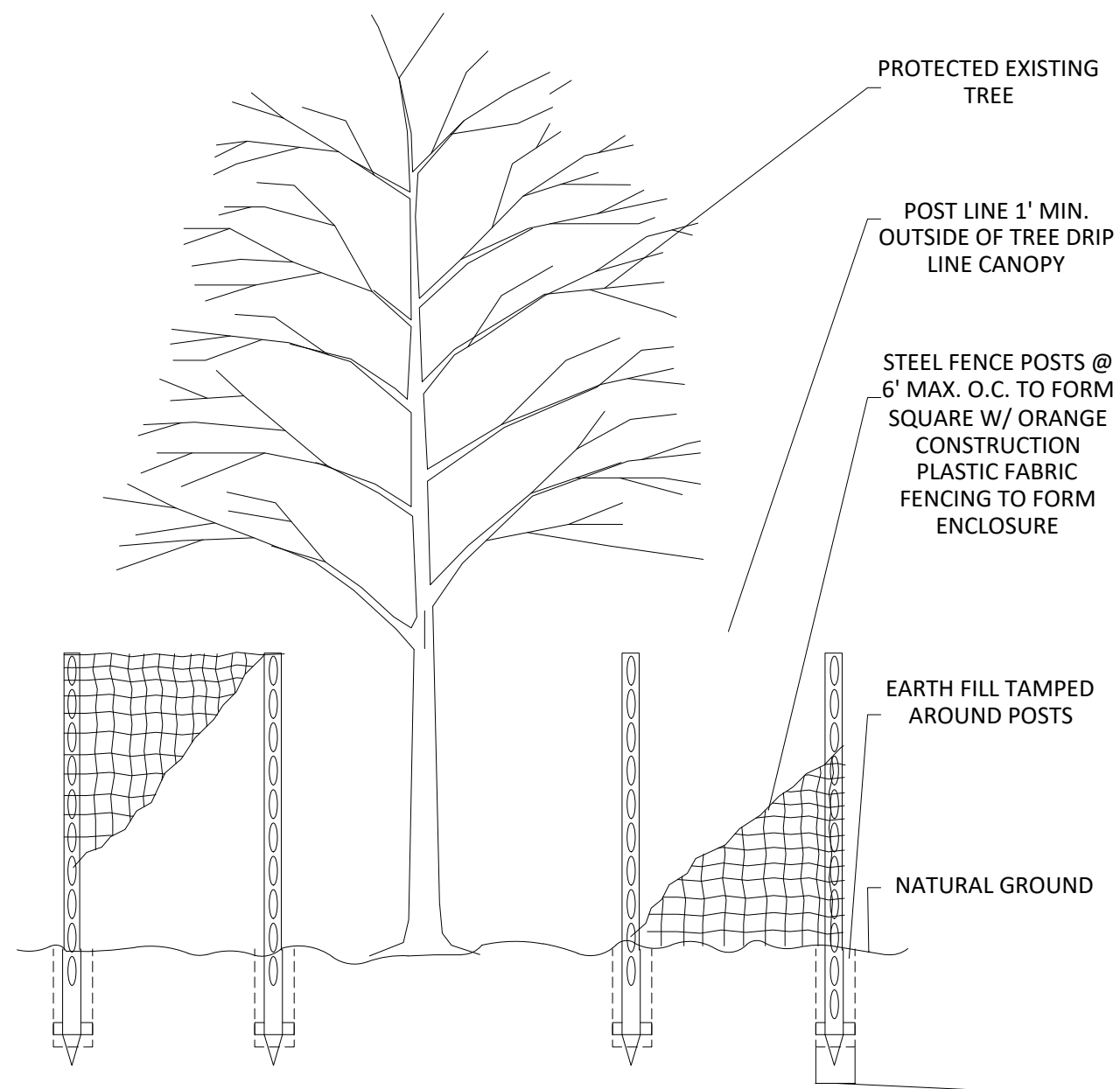
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

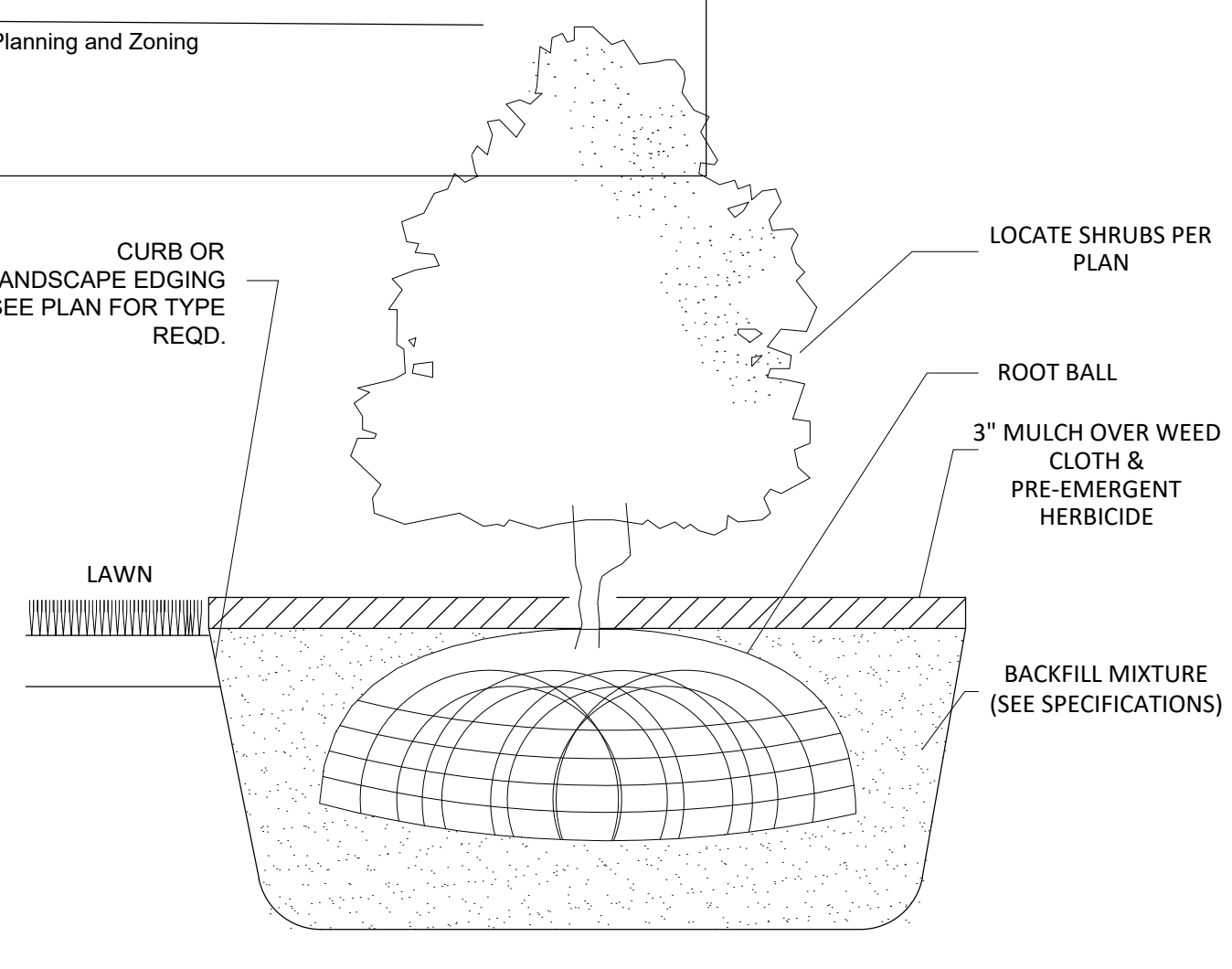
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

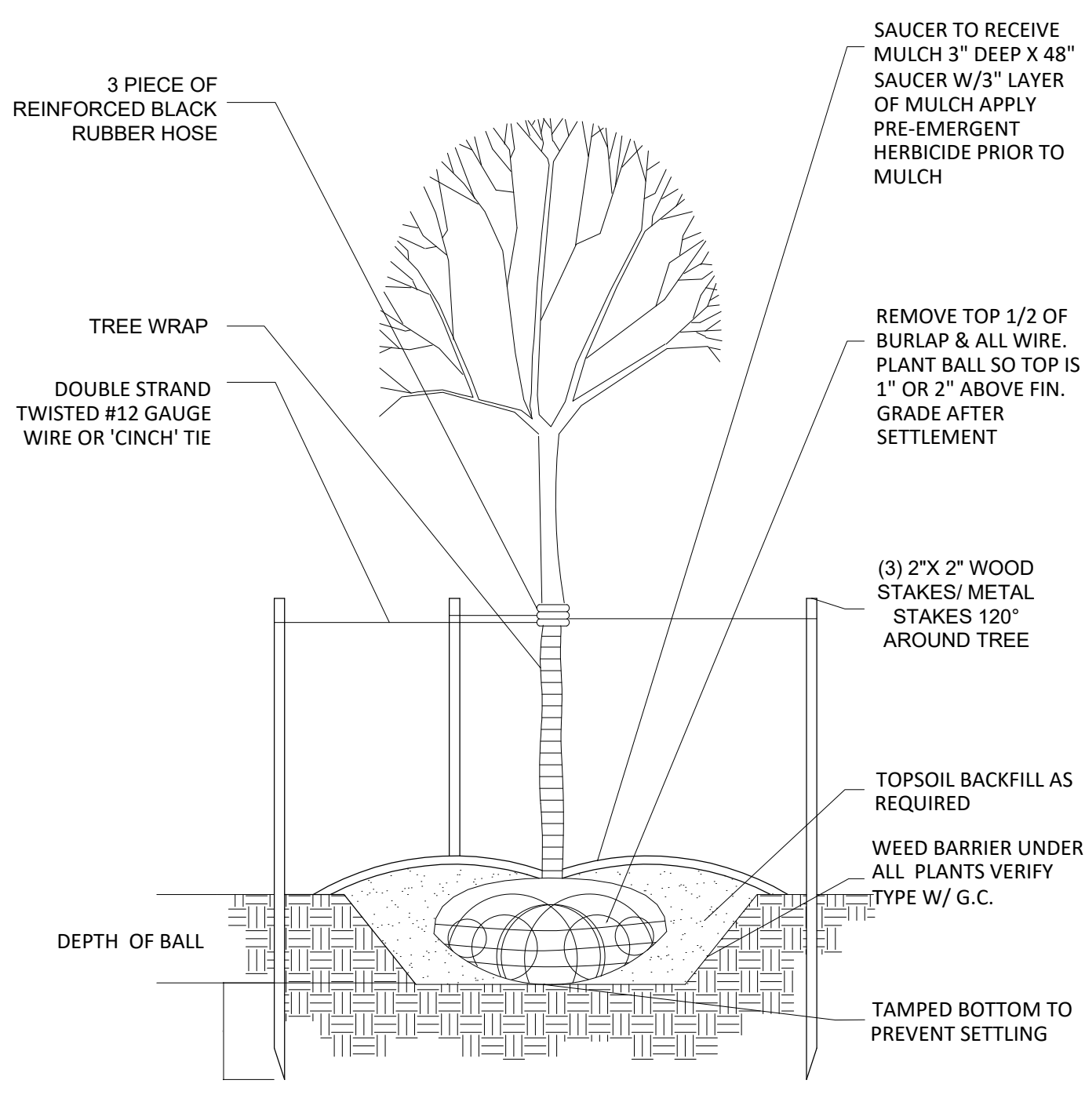
\_\_\_\_\_  
Director of Planning and Zoning



02 TREE PROTECTION BARRIER  
NOT TO SCALE



03 SHRUB PLANTING  
NOT TO SCALE



04 TREE PLANTING  
NOT TO SCALE

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

**NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES**

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
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  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY REGULATIONS.
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  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**Treescape CALCULATIONS**

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

REVISIONS

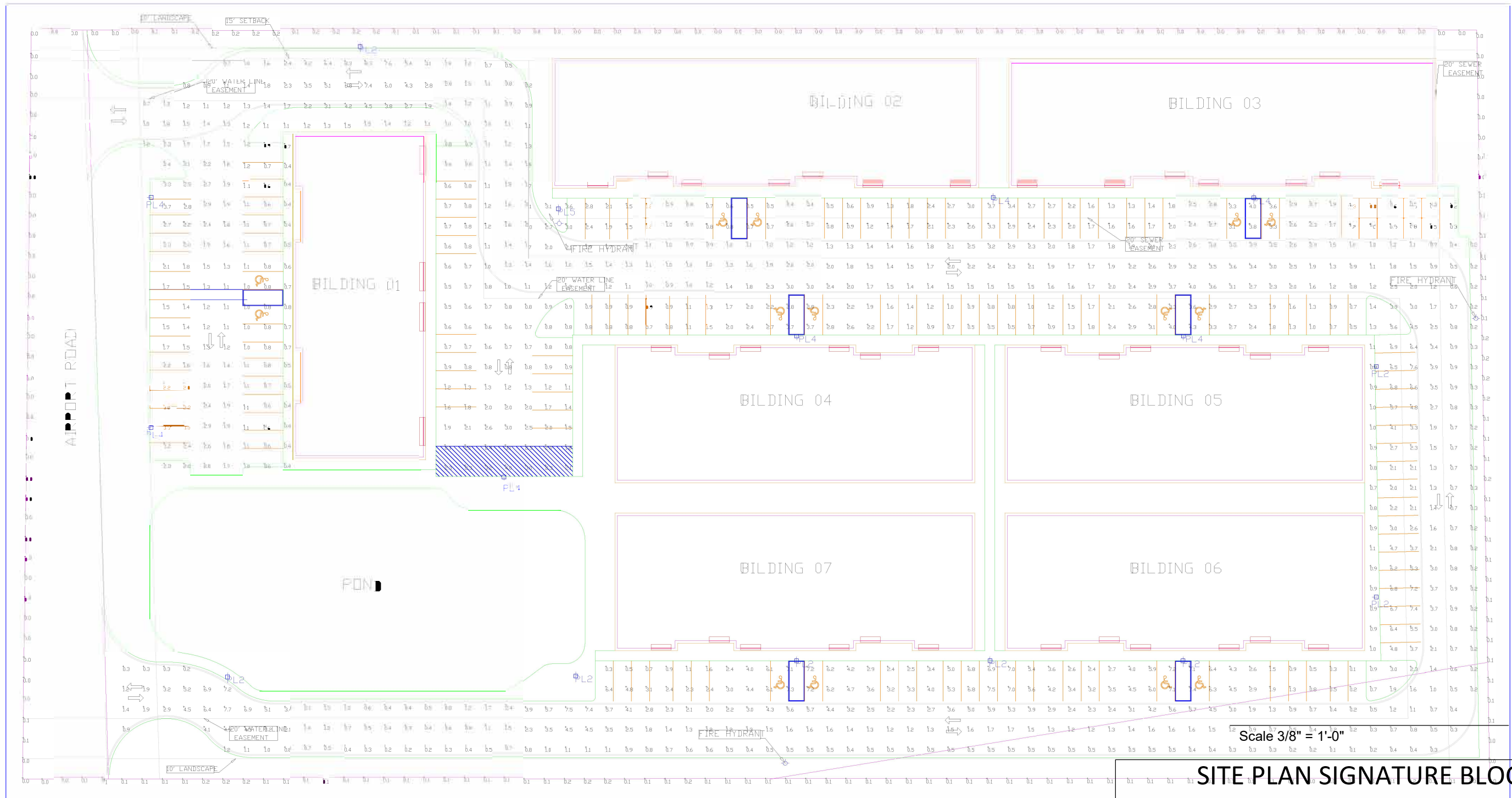

ISSUE DATE: 05/19/23

05/19/2023

TREESCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.3



### SITE PLAN SIGNATURE BLOCK

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

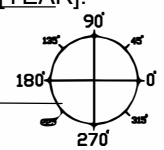
Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

**APPROVED:**  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning



**Peterson, Scharck & Associates, Inc.**  
10855 Tanner Rd.  
Houston, TX 77041  
applications@psa-lighting.com

XXX  
XXX

Rockwall  
Flexspace Center  
- Site Ltg

07-11-23  
SR



REVISIONS	

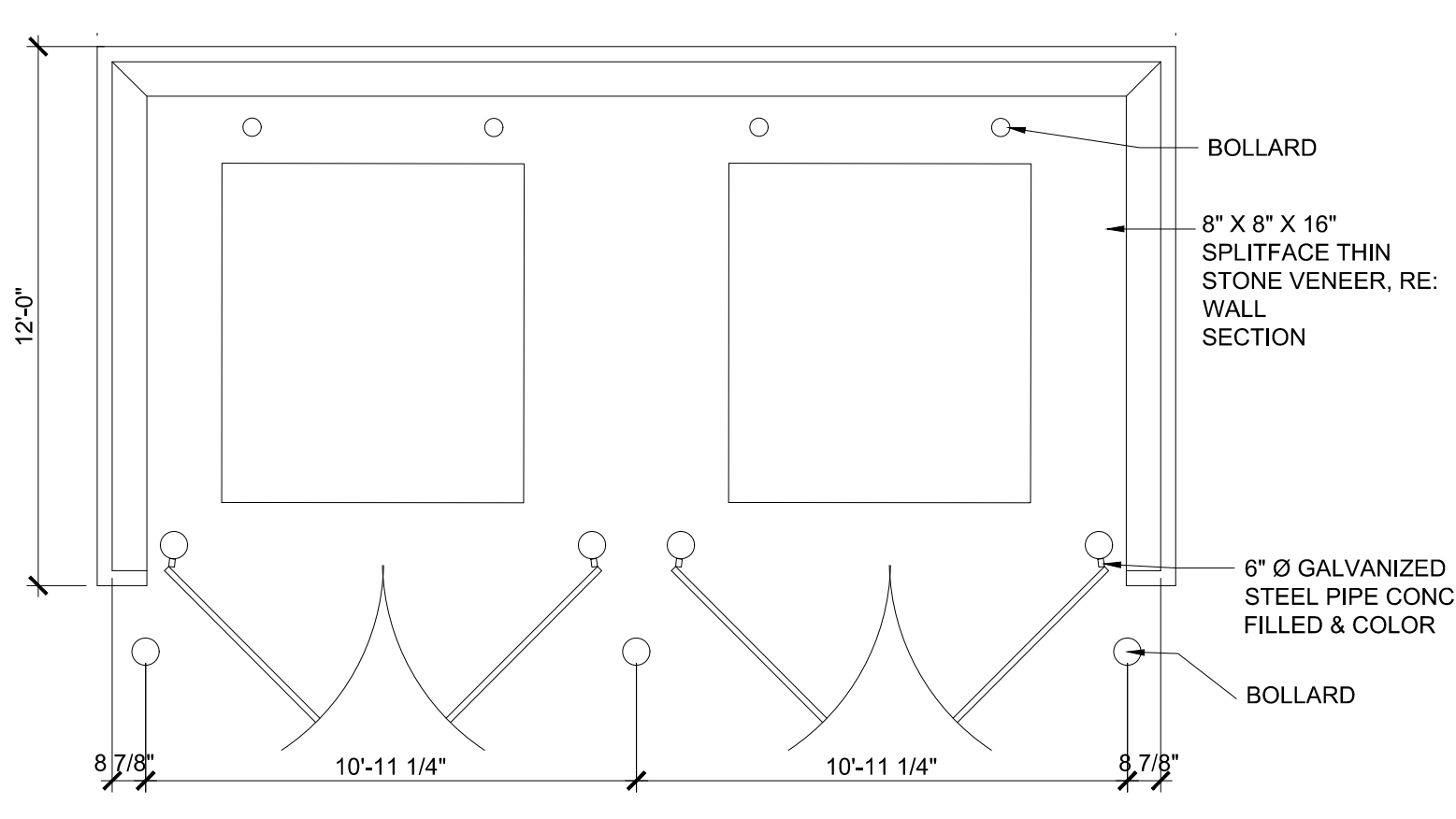
ISSUE DATE: 07/11/23

05/19/2023

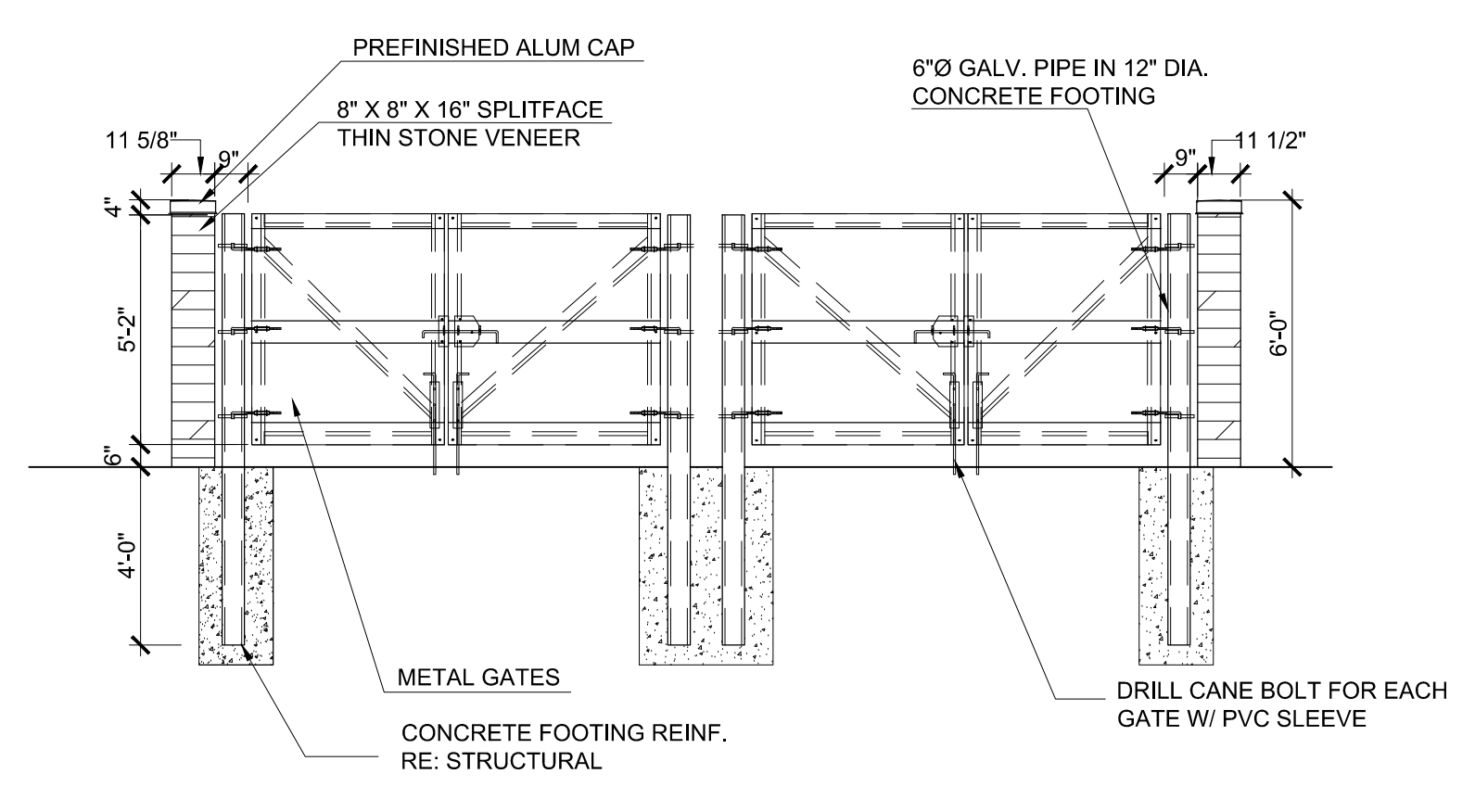
DUMPSTER DETAIL

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

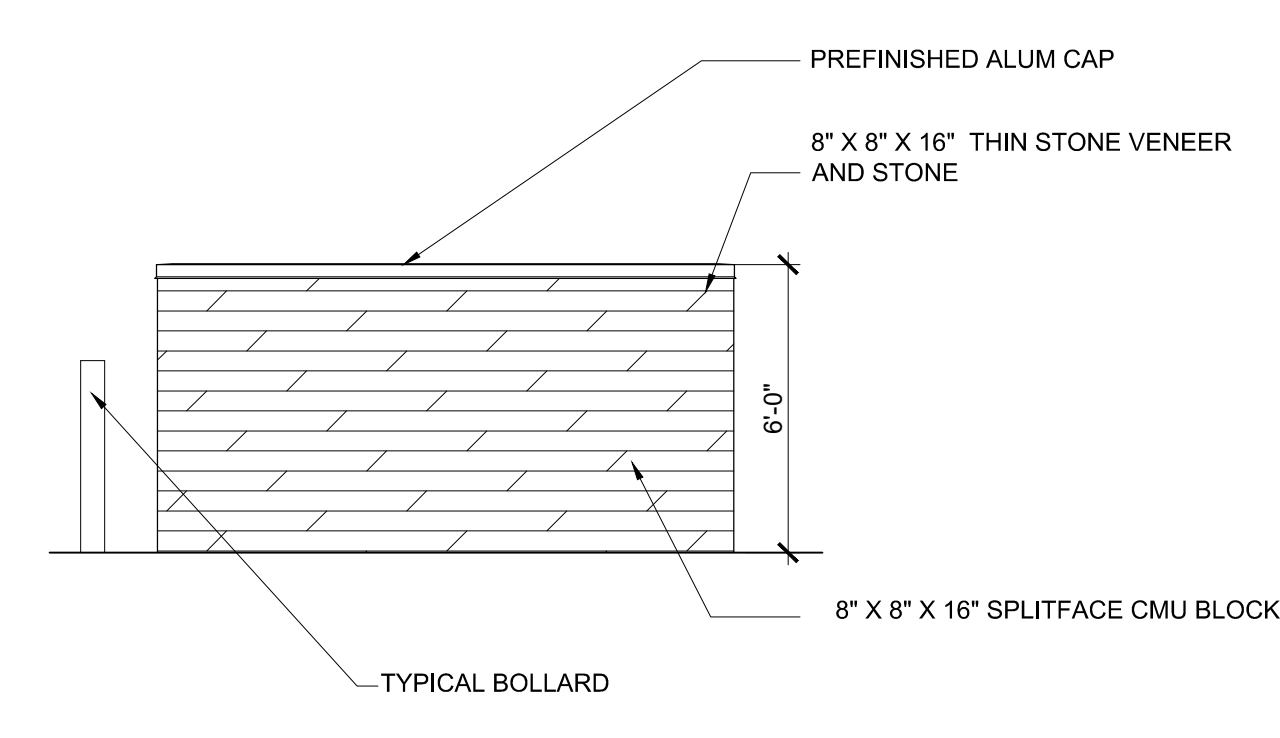
PROJECT No: 23420.02 SHEET No: A0.2



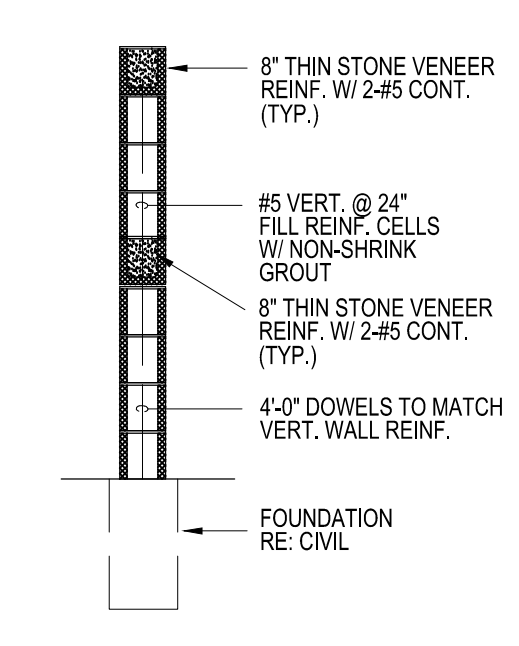
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

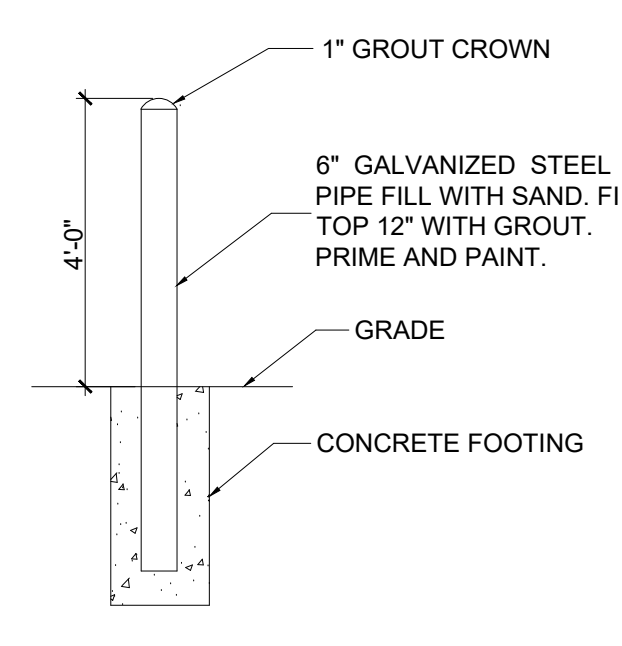
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-028  
PROJECT NAME: Site Plan for 1760 Airport Road  
SITE ADDRESS/LOCATIONS: 1760 AIRPORT RD

CASE CAPTION: Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	08/23/2023	Approved w/ Comments

08/23/2023: SP2023-028; Site Plan for 1760 Airport Road

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, and addressed as 1760 Airport Road.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email [rmiller@rockwall.com](mailto:rmiller@rockwall.com).

M.3 For reference, include the case number (SP2023-028) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property will be need to be platted after the Engineering Department approves the 80.00% engineering/civil plans and approves the subdivision plat to be submitted.

M.5 Provide the City standard Site Plan Signature Block on all sheets of the plans. Please remove the bracketed wording and leave a blank space for the date.

I.6 If the project is intended to be phased, please submit a phasing plan showing the proposed phasing and timing of each phase of the project.

M.7 Site Plan. Please make the following changes to the Site Plan:

- 1) Please add a numeric and graphic scale. [Subsection 03.04(A) of Article 11, UDC]
- 2) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Please provide a detail showing conformance to these requirements. [Subsection 01.05(B) of Article 05, UDC]
- 3) Indicate the location and proposed screening for all pad mounted equipment (including the AC units for each building and any transformer boxes). [Subsection 01.05(C) of Article 05, UDC]
- 4) Indicate all easements on the property. There is an easement adjacent to the eastern property line that is not depicted on the Site Plan.

M.8 Landscape Plan. Please make the following changes to the Landscape Plan:

- 1) All parking spaces shall be within 80-feet of a canopy tree. Please provide an exhibit showing conformance to this requirement [Subsection 05.03(E) of Article 08, UDC]
- 2) According to the Residential Adjacency Standards any property line adjacent to a residentially zoned -- including the Agricultural (AG) District -- or used property shall be required to be screened. This can include a masonry wall with canopy trees planted on 20-foot centers or three (3) tiered screening (if approved by the Planning and Zoning Commission). Currently, the western and southern property lines all have this adjacency; however, the southern property line is adjacent to an existing railroad right-of-way. Based

on this staff recommends adding a single row of trees along the southern property line and meeting the screening requirements along the western property line (mostly due to the visibility of the bay doors for the proposed building from John King Boulevard). [Subsection 05.02(B) of Article 08, UDC]

M.9 Photometric Plan:

1) The maximum allowable light intensity as measured at a property line of a non-residential property shall be 0.2 of one (1) foot candle adjacent to rights-of-way and non-residential properties and 0.0 of one (1) foot candle at residential property lines. Please indicate the light levels at the property line adjacent to Airport Road. These light levels appear to exceed the maximum allowable light levels. [Subsection 3.03(C) of Article 07, UDC]

M.10 Building Elevations:

- 1) Provide a numeric and graphic scale. [Subsection 03.04(A) of Article 11, UDC]
- 2) The garage bay doors for Buildings 6 & 7 are visible from John King Boulevard and require three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees). Portions of this area are located within the Airport Overlay (AP OV) District, and proper screening cannot be added. Based on this staff recommends that these bay doors be of an upgraded material or appearance to off-set the visibility.
- 3) The Light Industrial (LI) District requires the use of 90.00% masonry materials, and only allows ten (10) percent secondary materials. In this case, the proposed building elevations do not meet this requirement. [Subsection 06.02(C) of Article 05, UDC]
- 4) The use of 20% natural or quarried stone is required on each building façade. In this case, the proposed building elevations do not meet this requirement. [Subsection 06.02(C) of Article 05, UDC]
- 5) The proposed buildings do not meet the primary and secondary articulation standards. [Subsection 05.01(C)(1) of Article 05, UDC]
- 6) Please show that the parapets will be finished with the same materials on both sides. Currently, the building elevations show metal panel on the back sides of the parapets for all Buildings except Building 1. [Subsection 04.01 of Article 05, UDC]

M.11 Exceptions. Based on the plans submitted, staff has identified the following exceptions for this project:

(1) Building Articulation.

- a) Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01(C)(1). In this case the two (2) primary facades do not meet these standards.
- b) Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01(C)(2). In this case the two (2) secondary facades do not meet these standards.

(2) Primary/Secondary Materials. According to Subsection 05.01.A.1(a) of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90.00% masonry materials and ten (10) percent secondary materials. In this case, the proposed building exceeds the permitted secondary materials and is composed of less than 90.00% primary materials.

(3) Stone. According to Article 05, General Industrial District Standards, of the Unified Development Code (UDC), a minimum of 20.00% natural or quarried stone is required on all building façades.

(4) Screening of Loading Docks. According to Subsection 05.02(A), Loading Docks and Outside Storage Areas, of Article 08, Landscape and Fence Standards, of the of the Unified Development Code (UDC), three (3) tiered screening is required to screen loading docks from adjacent properties.

I.12 In this case, staff has reviewed the proposal and would make the following recommendations: [1] provided upgraded garage bay doors for the garage bay doors facing John King Boulevard, and [2] provide 100.00% primary materials on the northern and southern building façades of Buildings 2-7.

M.13 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance [Subsection 09.02 of Article 11]. Compensatory measures to consider:

- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.

- (4) Increased architectural elements.
- (5) Building materials conforming to the General Overlay District requirements.

M.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on August 29, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Please label this 20' drainage easement.

2. Please show the existing 20' water easement, instrument number 20190000018520. You can either:

- 1) Abandon the 20' water easement and propose a new one throughout your site with the construction of the 12" water main that will stub to the adjacent property.
- 2)Or - adjust your site to avoid the 20' water easement.
- 3. Must be 20' to be outside ex. easement.
- 4. Dimension all parking spaces. Ensure parking is 9'x20'.
- 5. Make a fire lane/water easement. Sanitary sewer will be private.
- 6. Show water easements for Fire Hydrants, Domestic and Irrigation Meters.
- 7. No trees in 20' water line easement.

General Library Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

Drainage Items:

- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:

- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- 12" water main to be constructed from Airport Road to the rail road track if abandoning the ex. 20' water line easement along eastern property line.
- Required to show ex. and proposed water and sewer on site plan

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape plan A0.3 remove all trees from ex. 20' water line easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Angelica Guevara	08/25/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Needs Review
08/22/2023: Show location of all fire department connections (FDCs) FDC shall be within 50 feet of, facing, and visible from the fire lane. FDC must be within 100 feet of a fire hydrant. The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access			

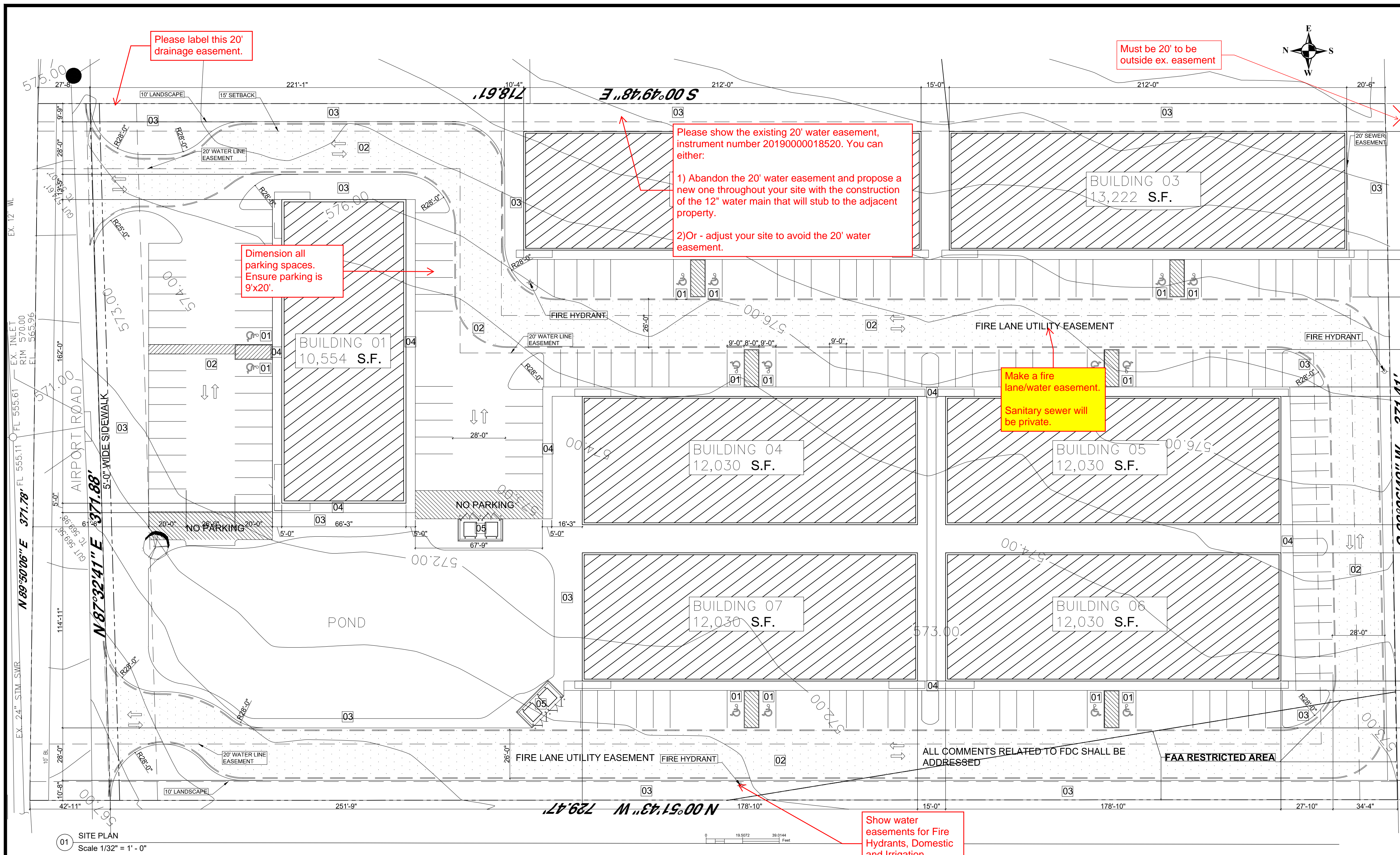
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments
08/21/2023: 1. Texas Ash / Fraxnis albicans is a great variety of Ash, but with Emerald Ash Borer / Agrilus planipennis becoming a major issue in the western part of the DFW Metroplex and migrating in all directions you might consider a different tree variety.			

2. Please provide a head light glare screen on parking along front of Airport Road. This is evergreen shrubs 24" tall at time of planting and planted 36" on center.





**ADA & TAS**  
 FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
 FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

**FIRE LANE NOTES**  
 CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE

**General Items:**

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- The property will need to be platted.

**Drainage Items:**

- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

**Water and Wastewater Items:**

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- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
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- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

**Landscaping:**

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape plan A0.3 remove all trees from ex. 20' water line easement

17. ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.  
 18. FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.  
 19. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

**WATER SUPPLY (FOR FIREFIGHTING)**

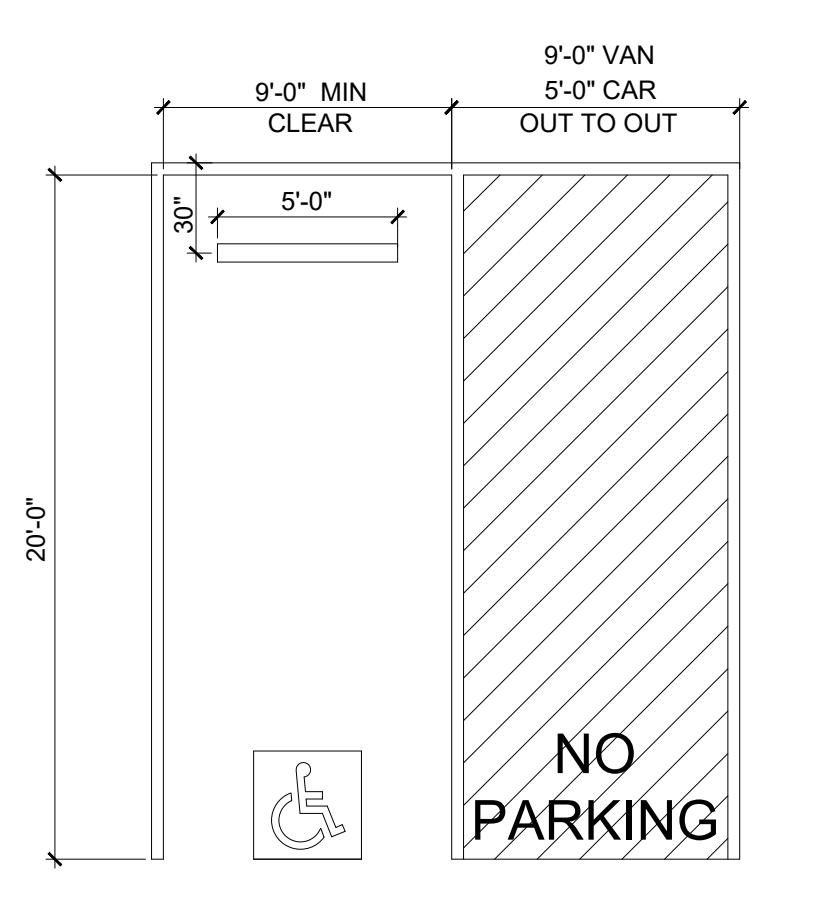
BUILDING 01	
REQUIRED GPM:	2,250
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

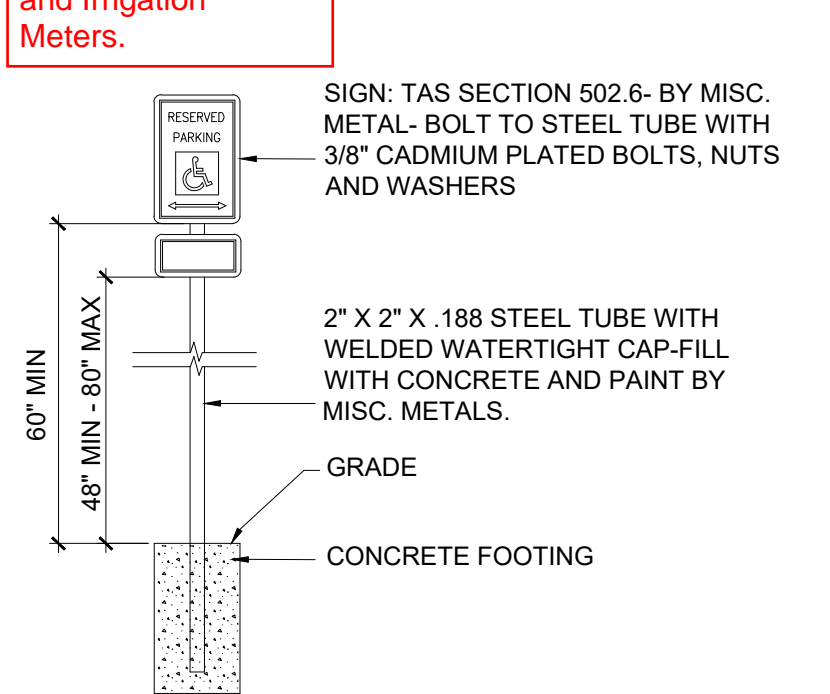
BUILDING 02 & 03	
REQUIRED GPM:	2,500
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

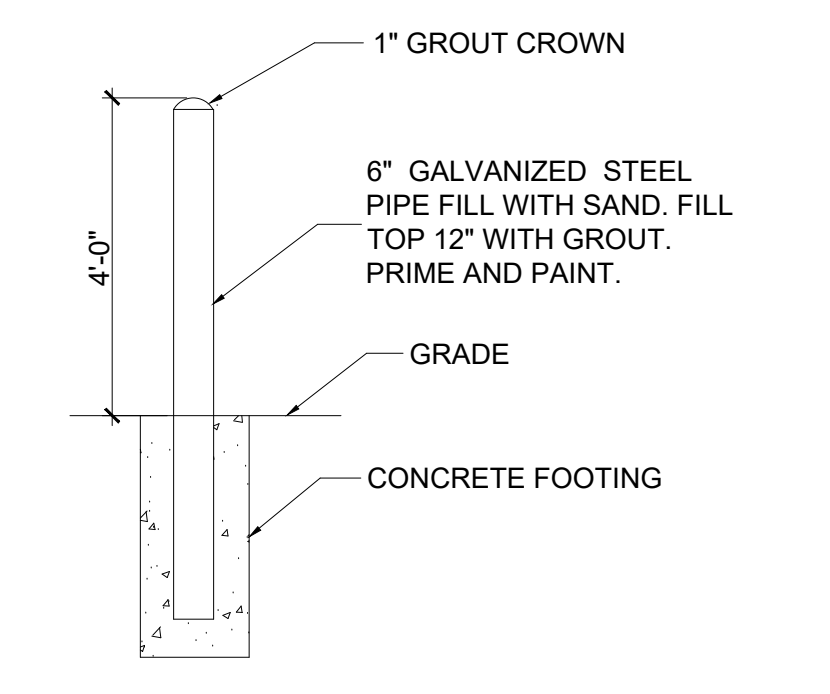
BUILDING 04, 05, 06 & 07	
REQUIRED GPM:	2,500
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO



02 HANDICAP SPACE & AISLE  
 Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST  
 Scale 3/8" = 1'-0"



04 BOLLARD  
 Scale 3/8" = 1'-0"

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**RS&G ENGINEERING**

13501 KATY FREEWAY  
 SUITE 3180  
 HOUSTON, TEXAS 77079  
 PH. 713-763-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
 at  
**0 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

REVISIONS

ISSUE DATE: 08/17/23

05/19/2023

SITE PLAN

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
 23420.02 A0.1

TYPE FIRM #: 15498

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission: Chairman  
Director of Planning and Zoning

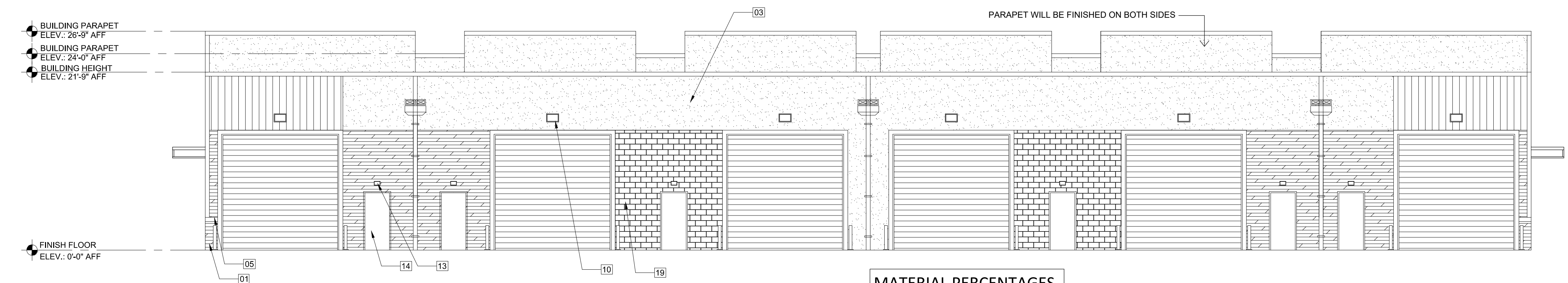
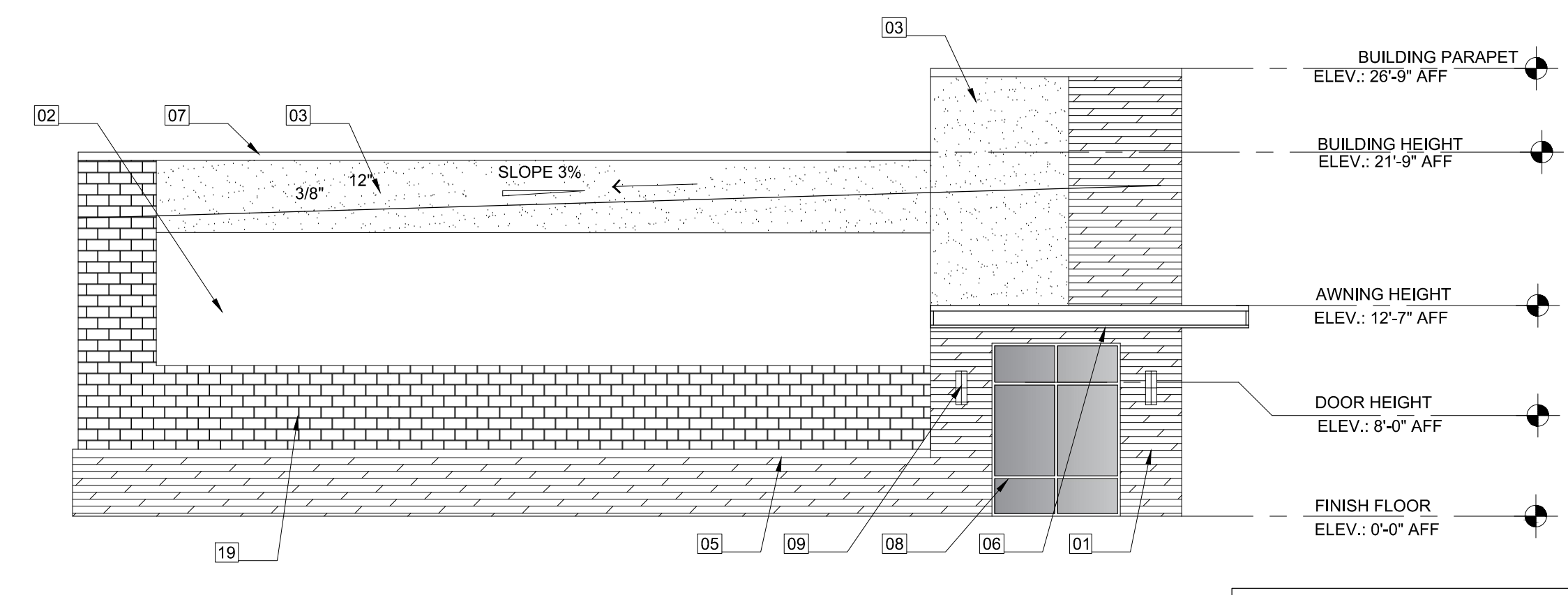
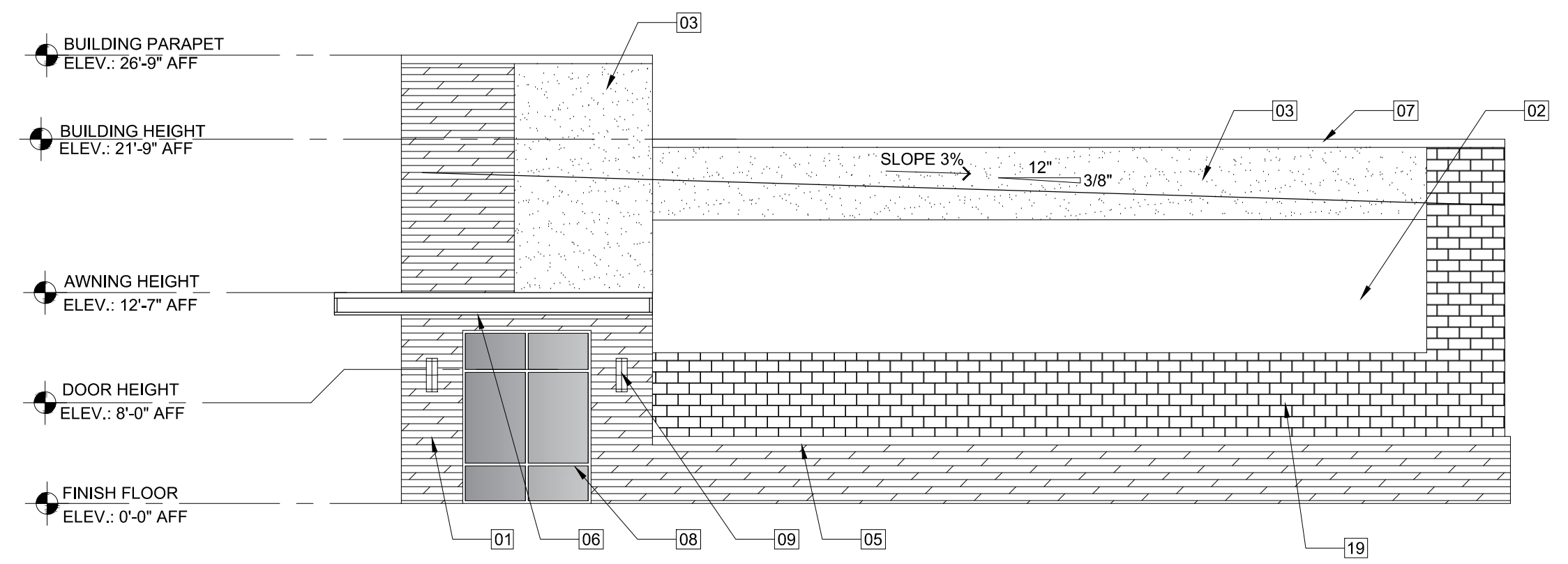
HVAC UNITS TO BE PLACED ON ROOF  
SCREENED BY PARAPET ON ALL FOUR SIDES

GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.



WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS



EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSNE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)

REVISIONS


ISSUE DATE: 08/17/23

BUILDING 01



EXTERIOR ELEVATIONS

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

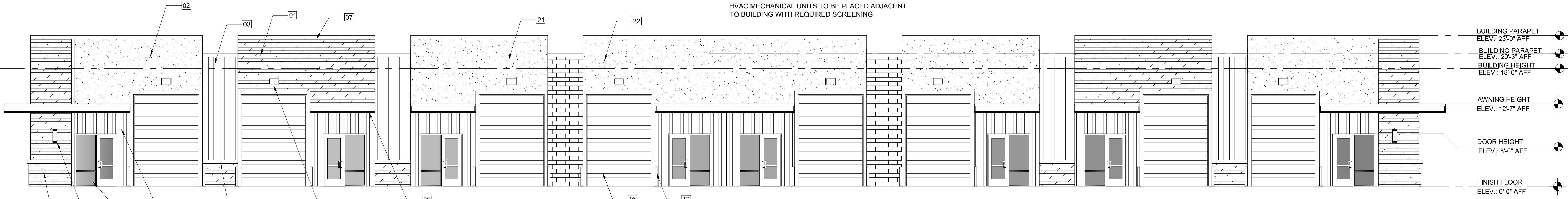
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
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6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

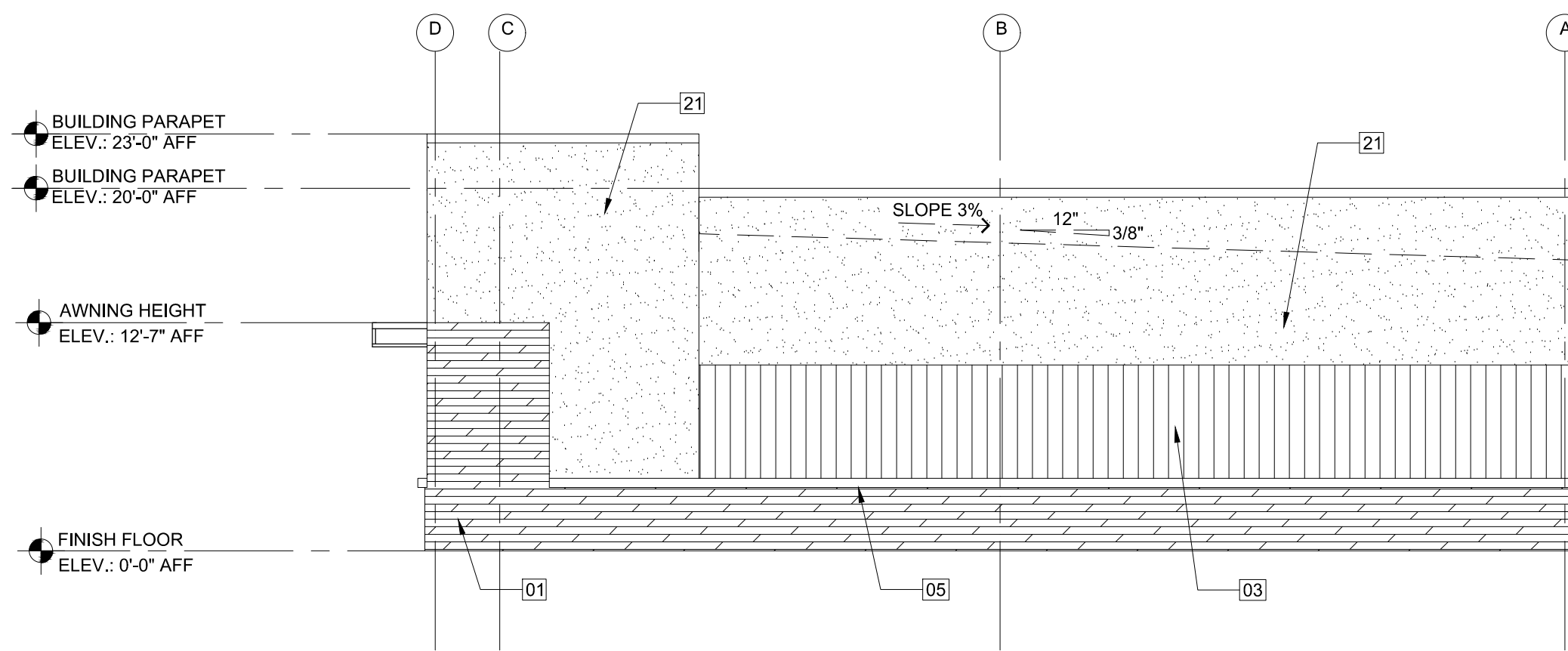


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%

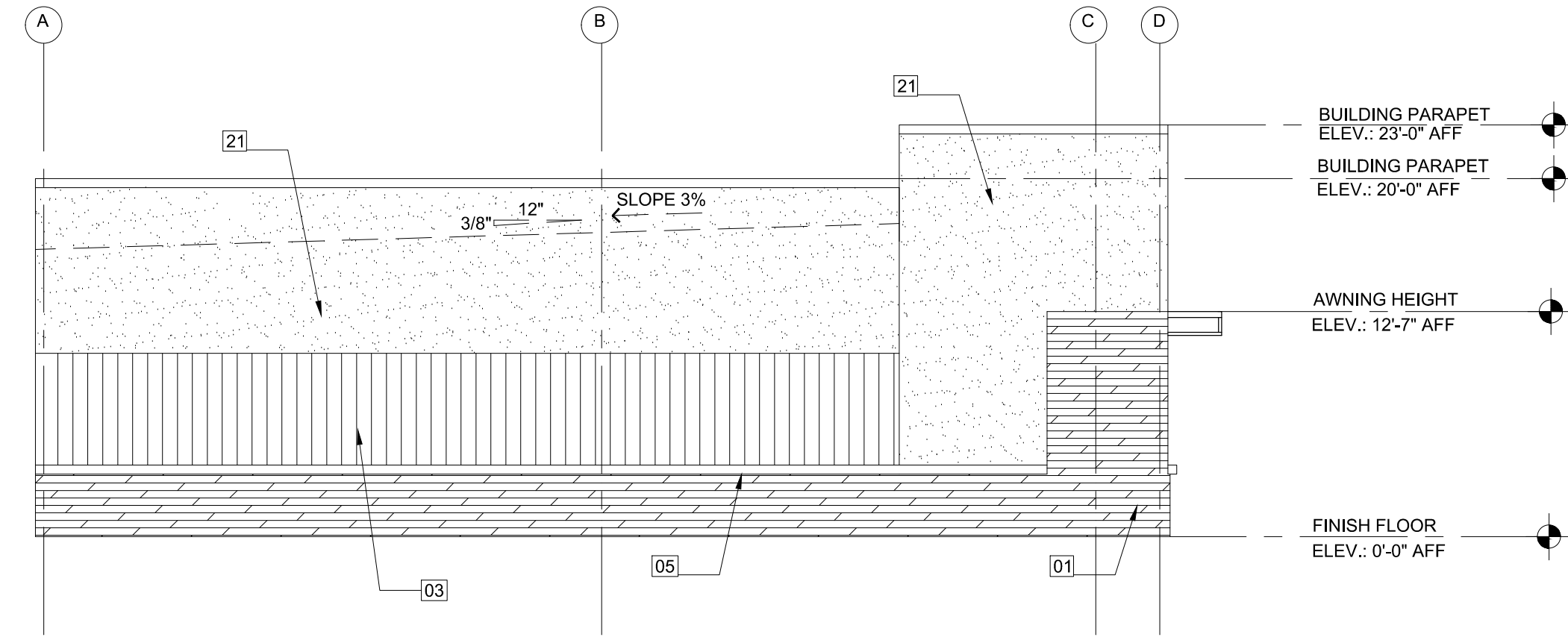
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

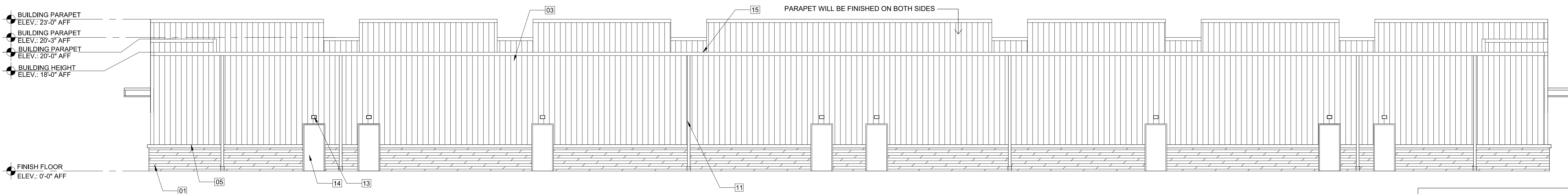
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

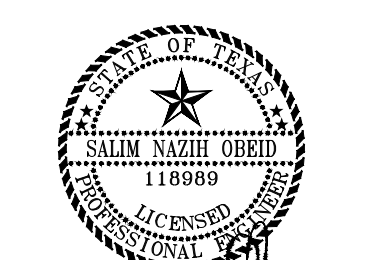
**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15", COLOR: SW 7074 (SOFTWARE)
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GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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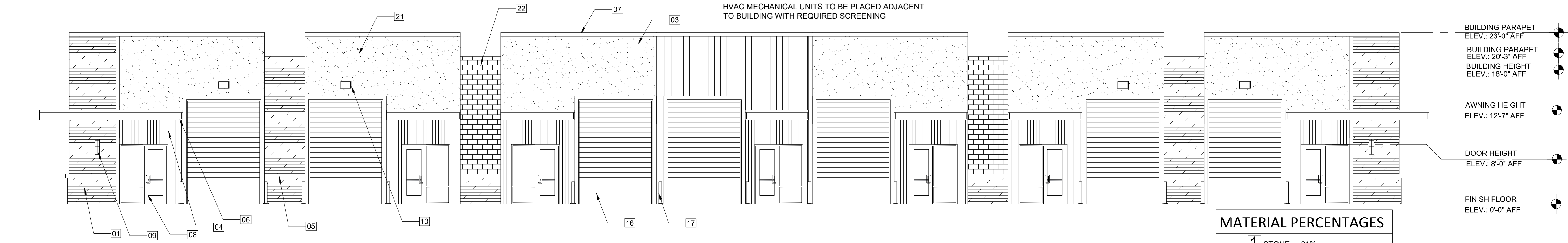
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

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- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
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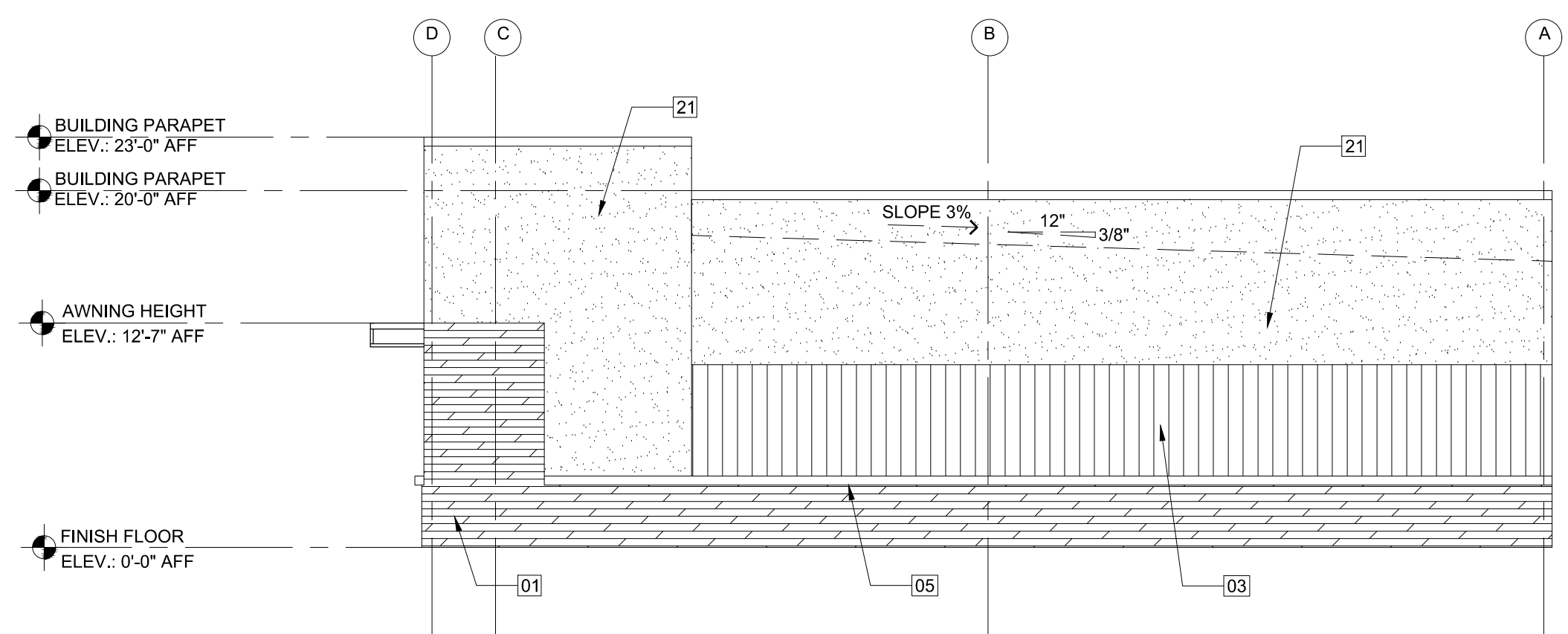
**MATERIAL PERCENTAGES**

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

NO ROOF MOUNTED HVAC UNITS.  
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

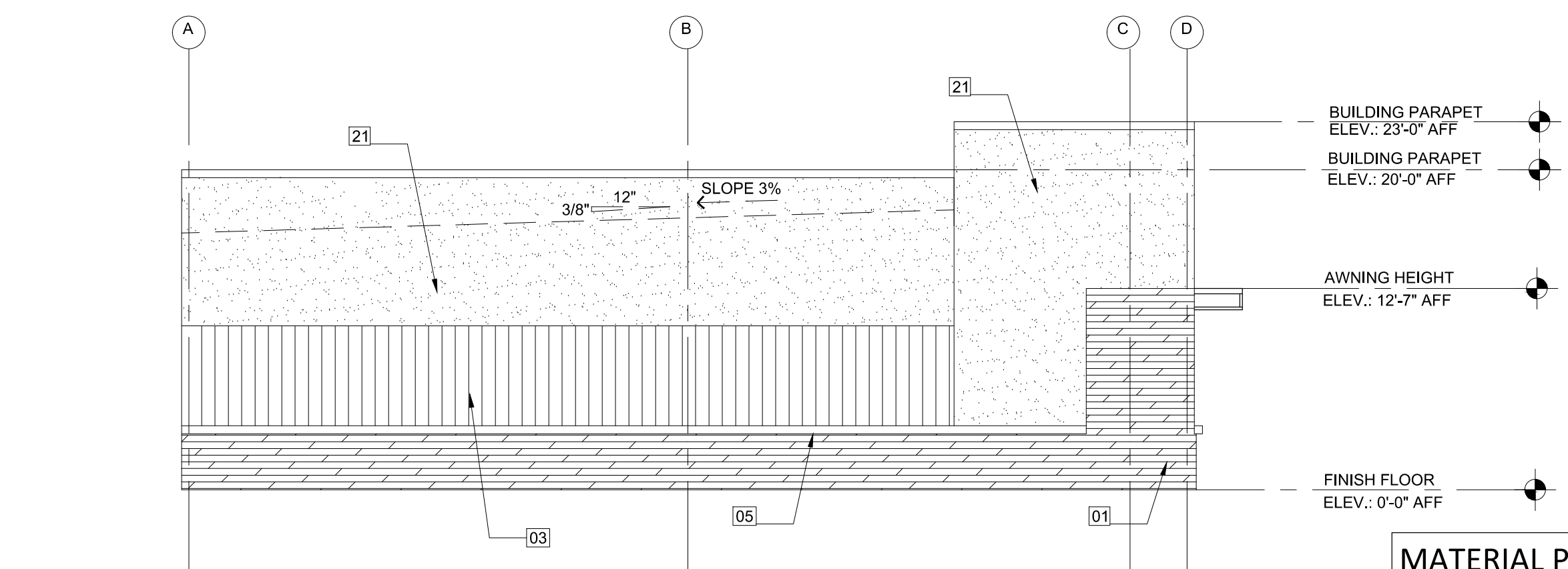
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%

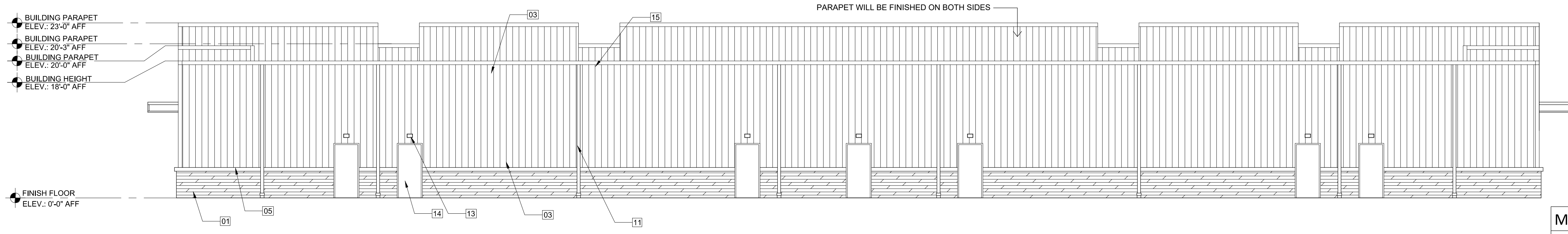
02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"



**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%

03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"



**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS  
04, 05, 06 & 07

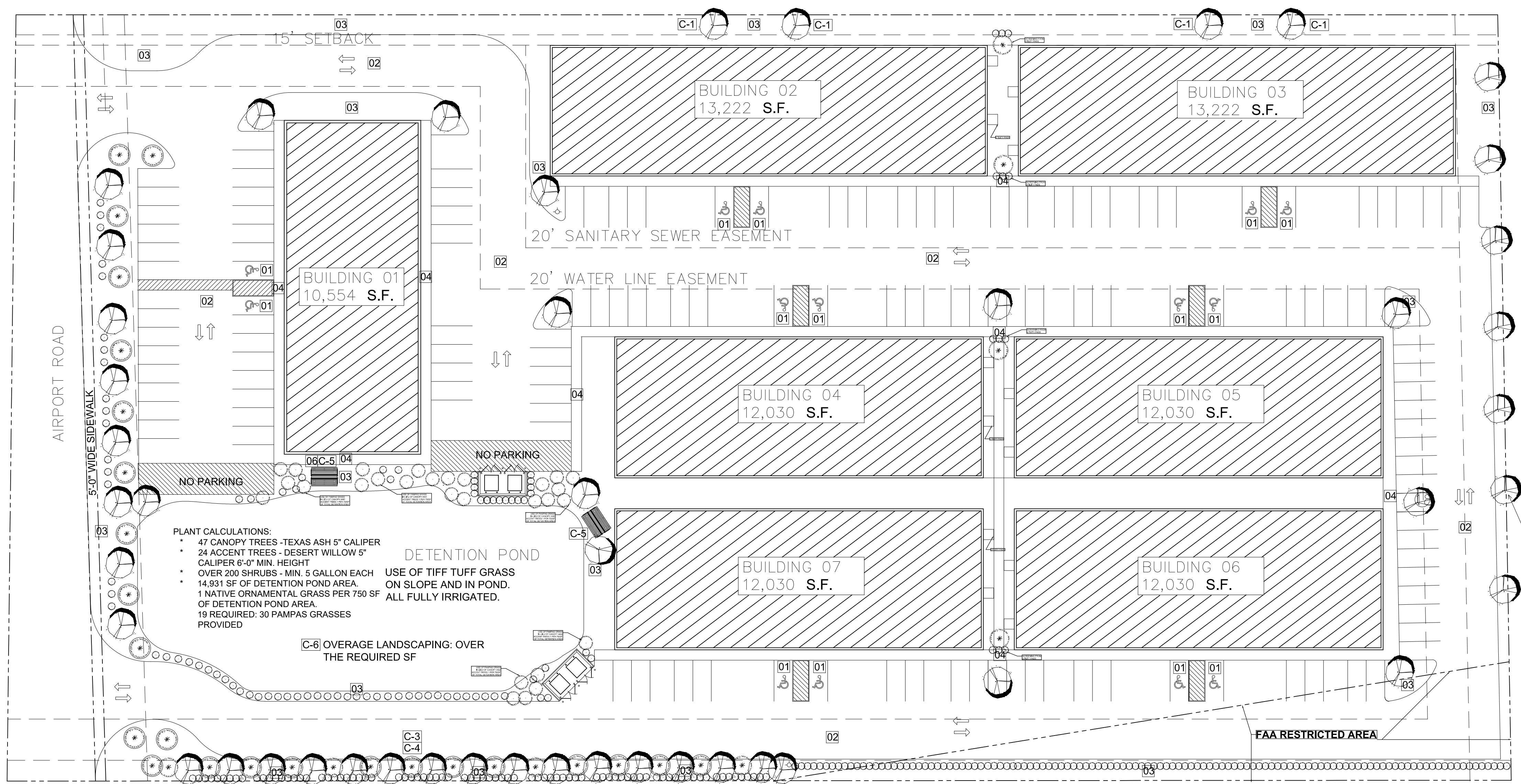
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A2.0

TBP FIRM #: 15498



**PLANT CALCULATIONS:**

- 47 CANOPY TREES - TEXAS ASH 5" CALIPER
- 24 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA.
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

**USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.**

**DETENTION POND**

**C-6 OVERAGE LANDSCAPING: OVER THE REQUIRED SF**

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

- KEYED NOTES**
- 01 - HANDICAP SYMBOL & SIGN
  - 02 - PAVING
  - 03 - LANDSCAPING
  - 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
  - 05 - DUMPSTER
  - C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
  - C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
  - C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
  - C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
  - C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
  - C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

**IMPERVIOUS COVERAGE**

TOTAL PROPERTY AREA: 269,076 SF  
 TOTAL IMPERVIOUS COVER: 205,736 SF  
 TOTAL PERVIOUS COVER: 63,340 SF  
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR TO ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
  - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
  - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**LANDSCAPE CALCULATIONS**

SITE AREA: 6.18 A.C.  
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

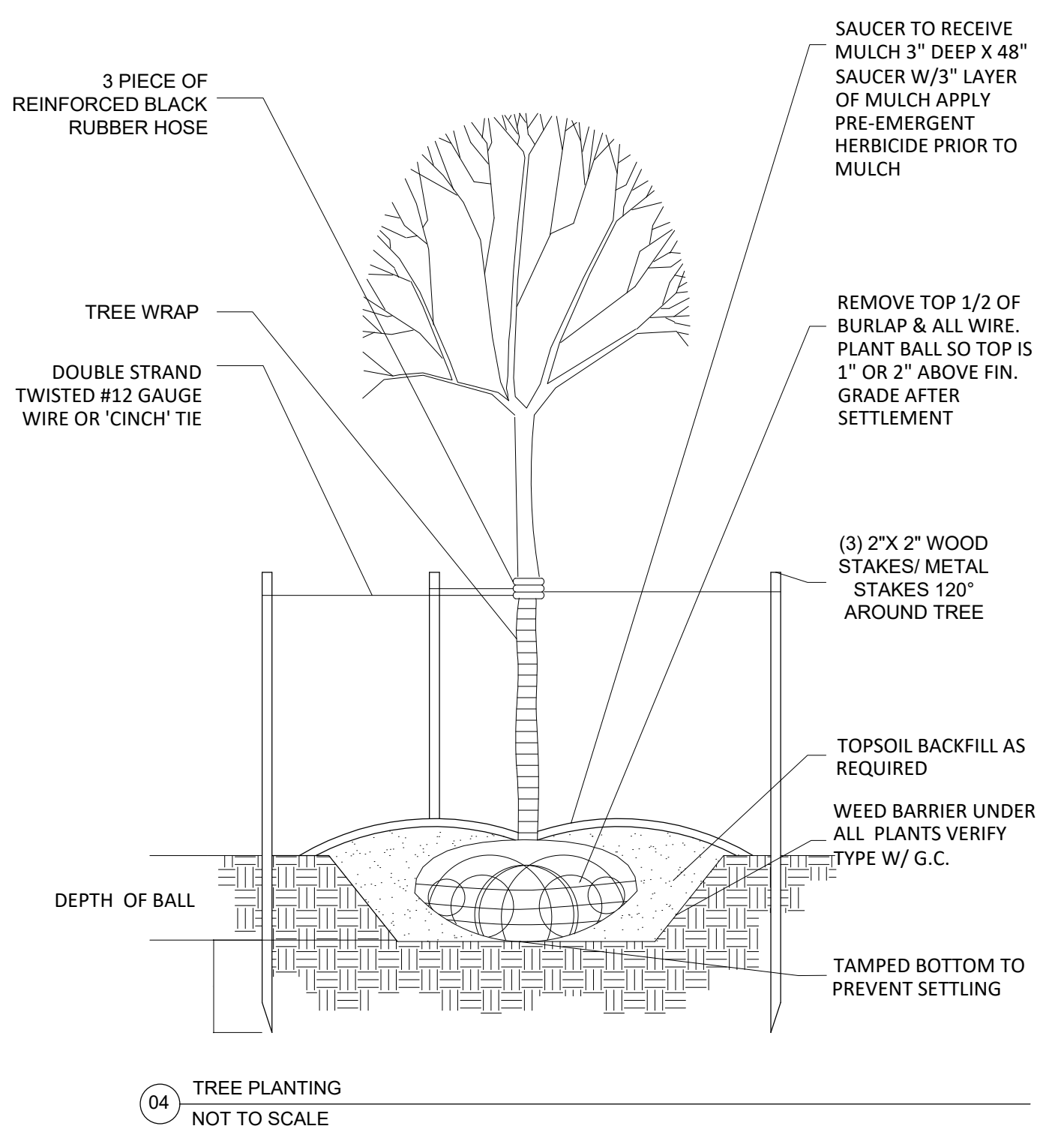
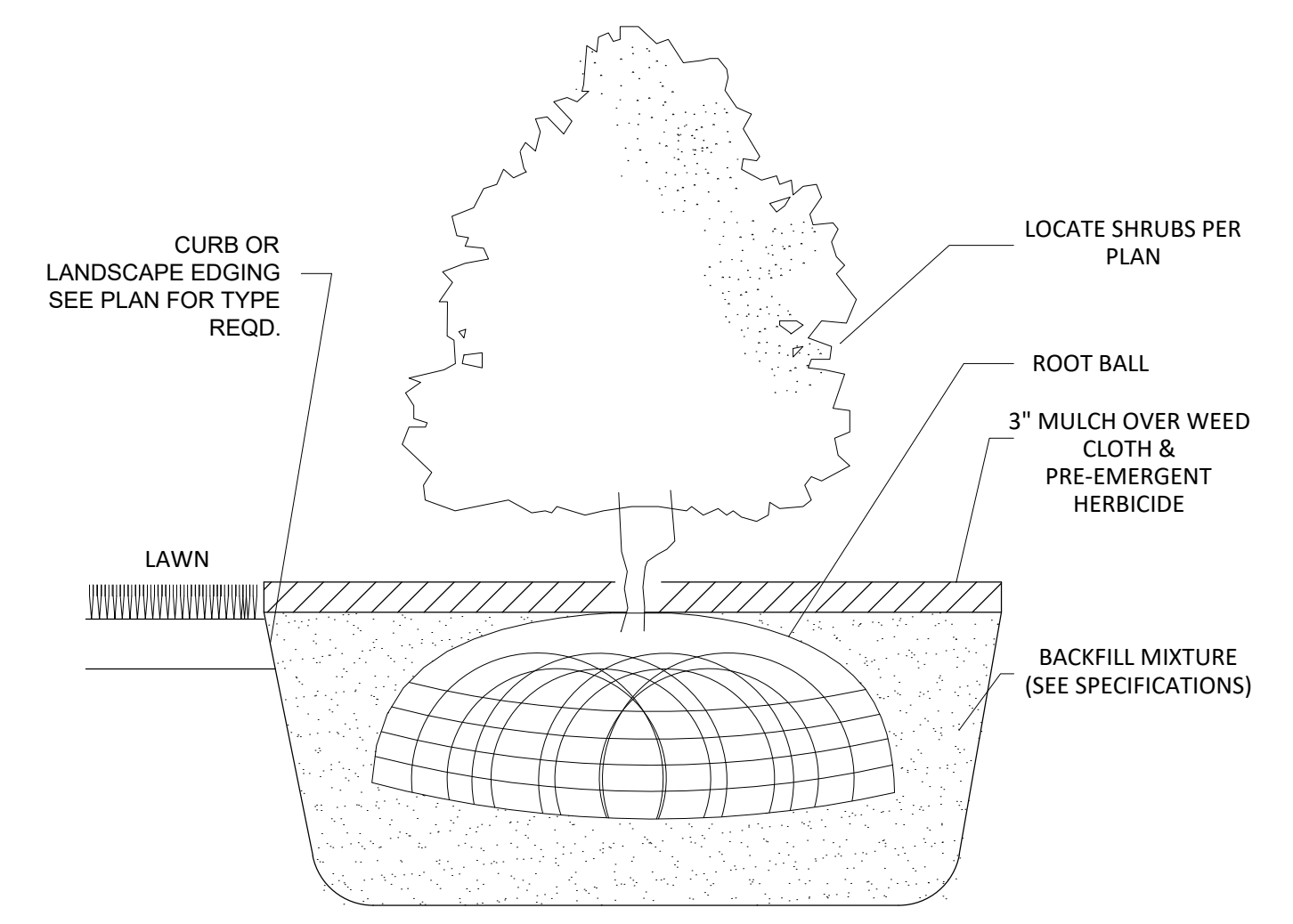
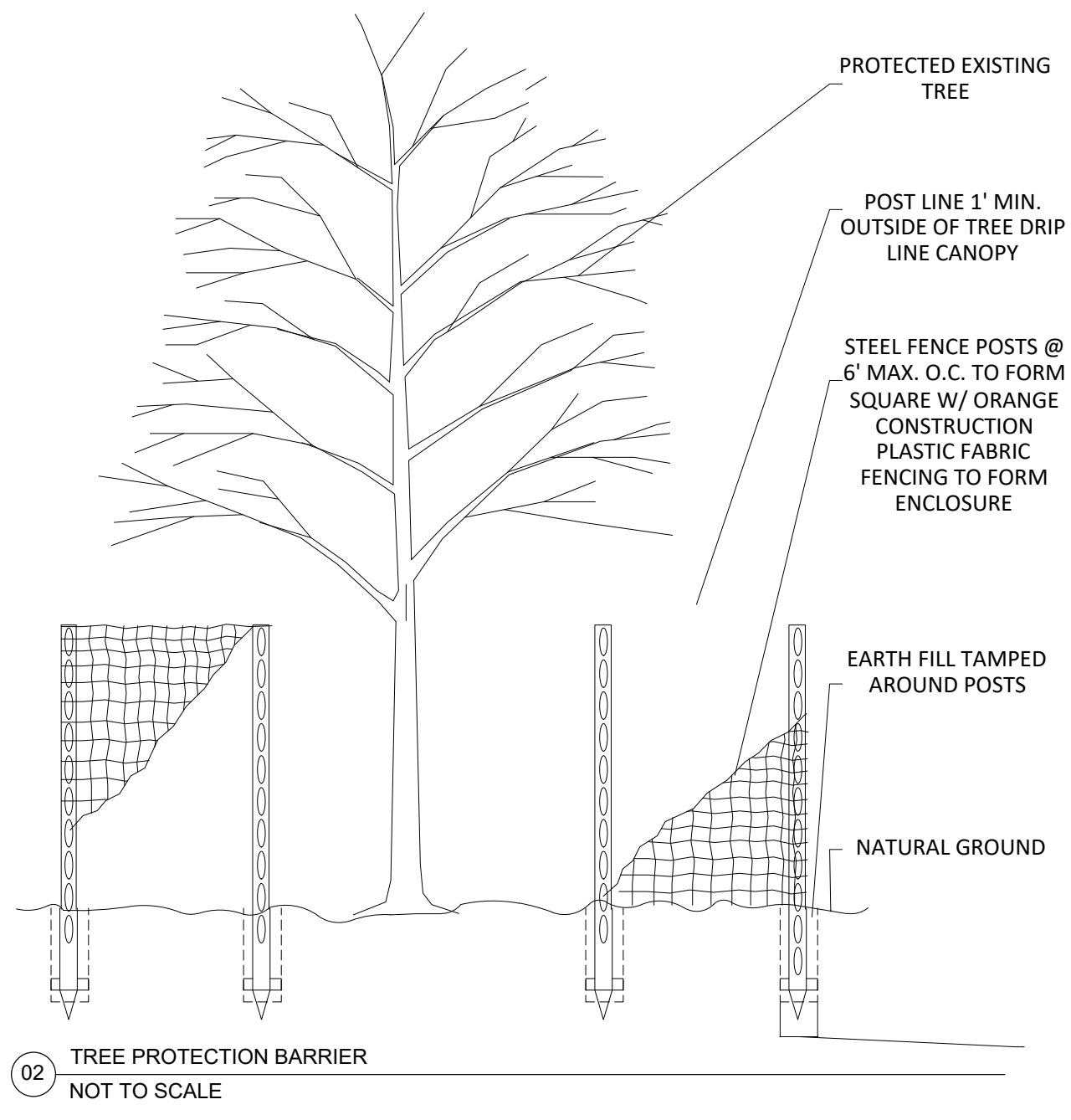
SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

01 SITE PLAN  
 Scale 1/32" = 1' - 0"

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**RS&G ENGINEERING**

project  
 ROCKWALL OFFICES WAREHOUSES  
 at  
 0 AIRPORT ROAD  
 ROCKWALL, TX 75087

13501 KATY FREEWAY  
 SUITE 3180  
 HOUSTON, TEXAS 77079  
 PH. 713-783-7777

TBPE FIRM #: 15498

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 08/17/23

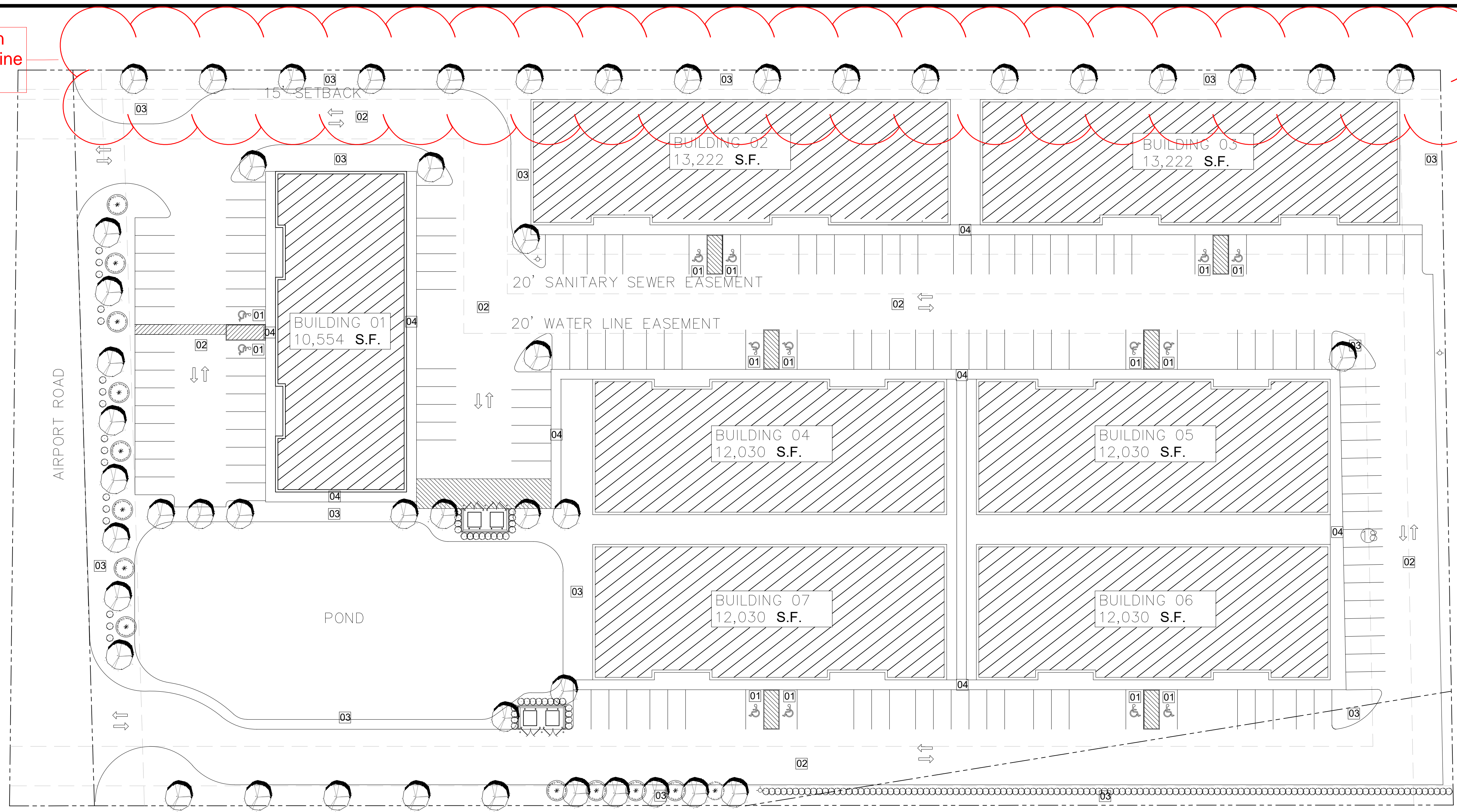
05/19/2023

LANDSCAPE

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT No: 23420.02 SHEET No: A0.3

No trees in 20' water line easement



01 SITE PLAN  
Scale 1/32" = 1' - 0"

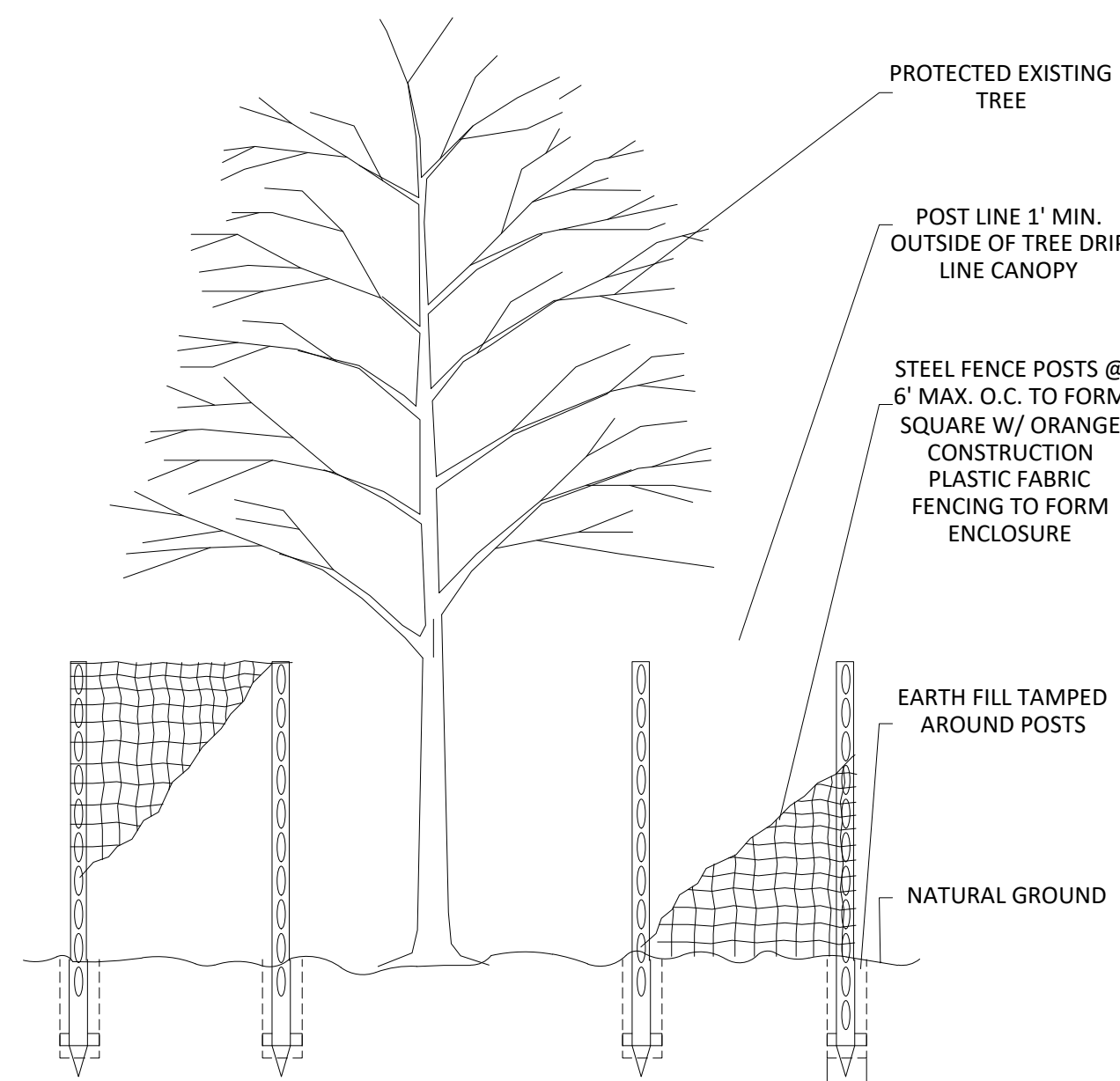
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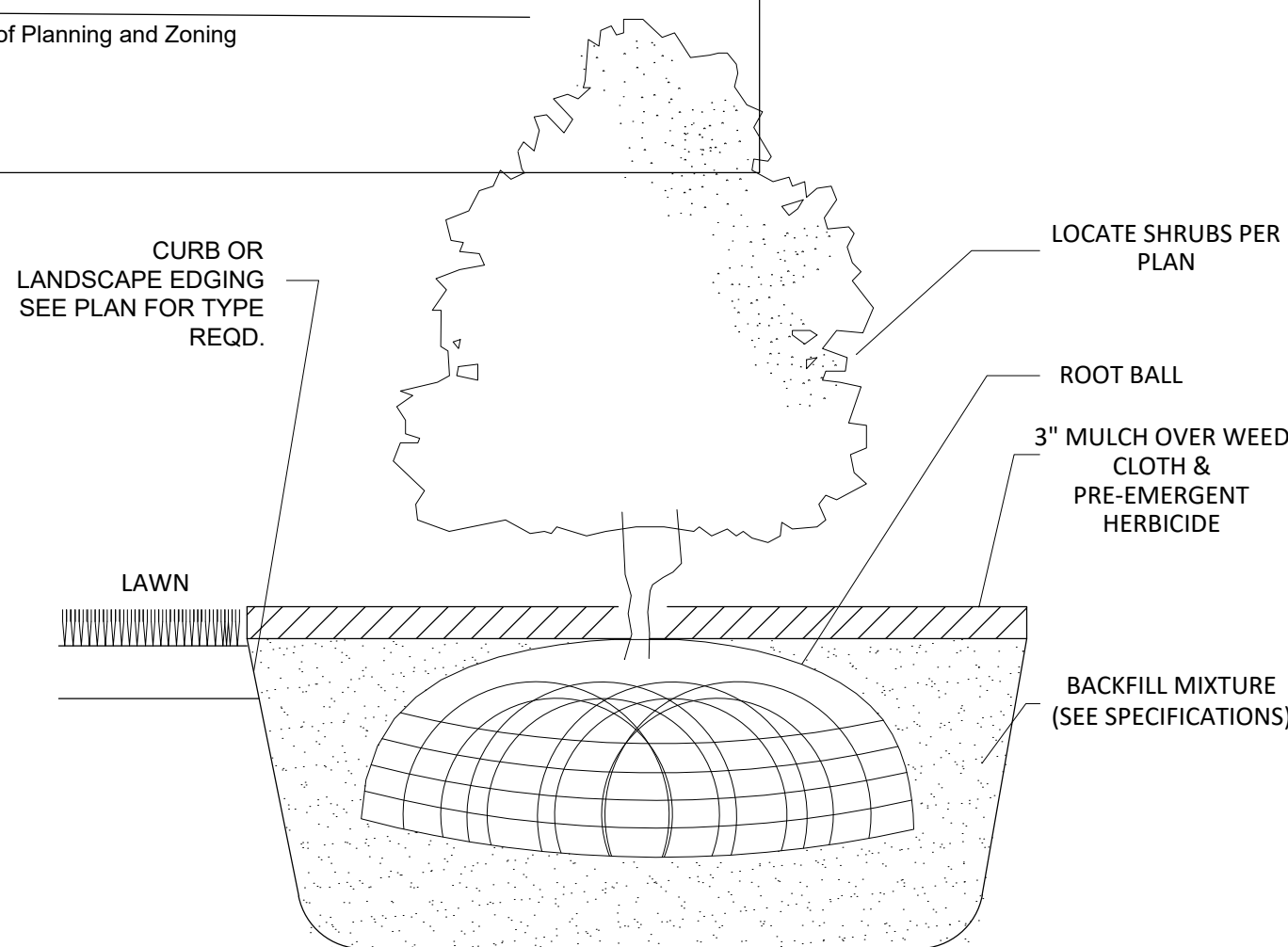
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

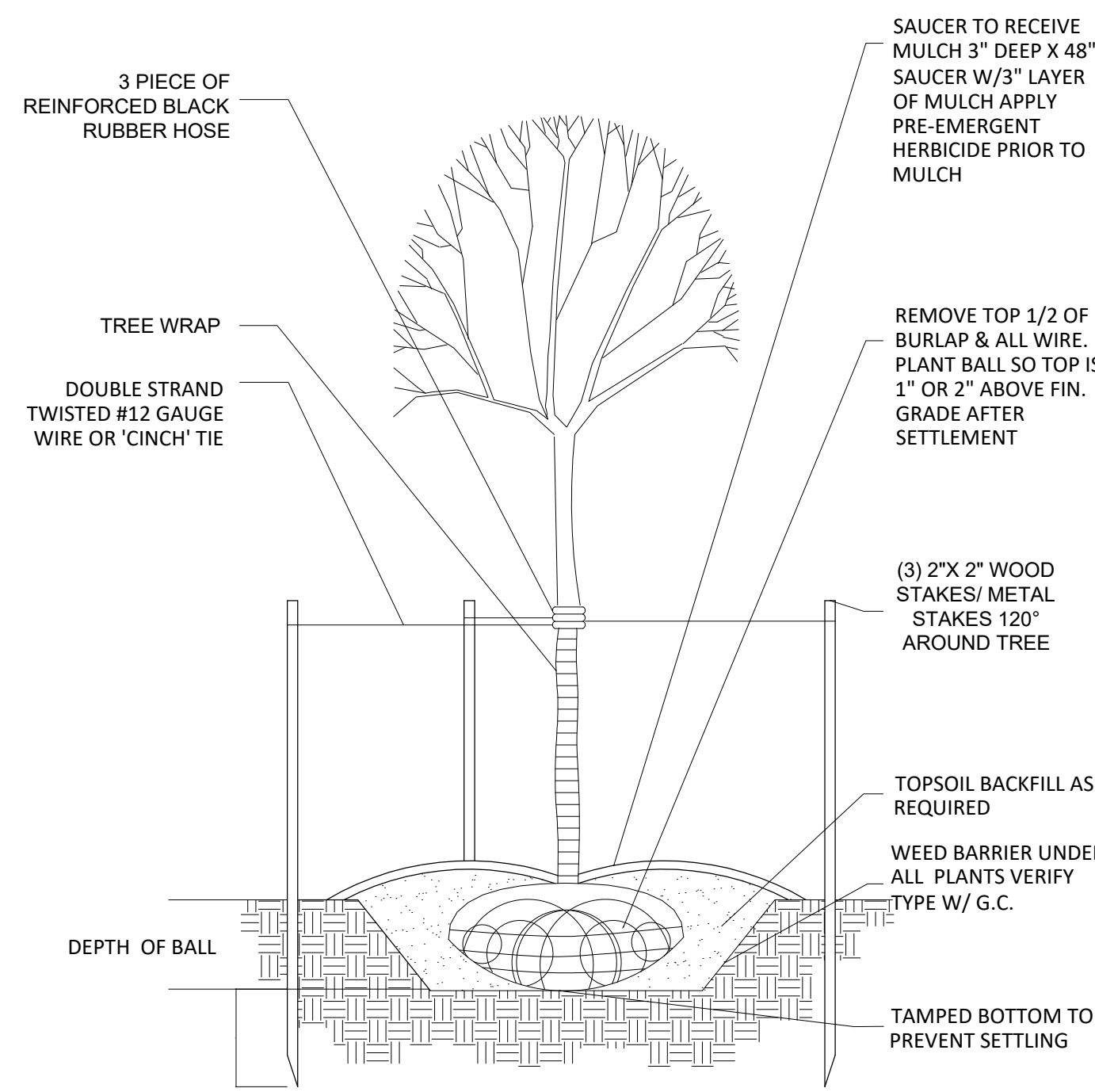
\_\_\_\_\_  
Director of Planning and Zoning



02 TREE PROTECTION BARRIER  
NOT TO SCALE



03 SHRUB PLANTING  
NOT TO SCALE



04 TREE PLANTING  
NOT TO SCALE

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

**NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES**

**NOTES**

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- 7 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
- 8 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
- 9 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
- 10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**Treescape CALCULATIONS**

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS
Berms and shrubbery shall have a total minimum height of 30-inches.	
PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS
Berms and shrubbery shall have a total minimum height of 30-inches.	

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

REVISIONS

ISSUE DATE: 05/19/23

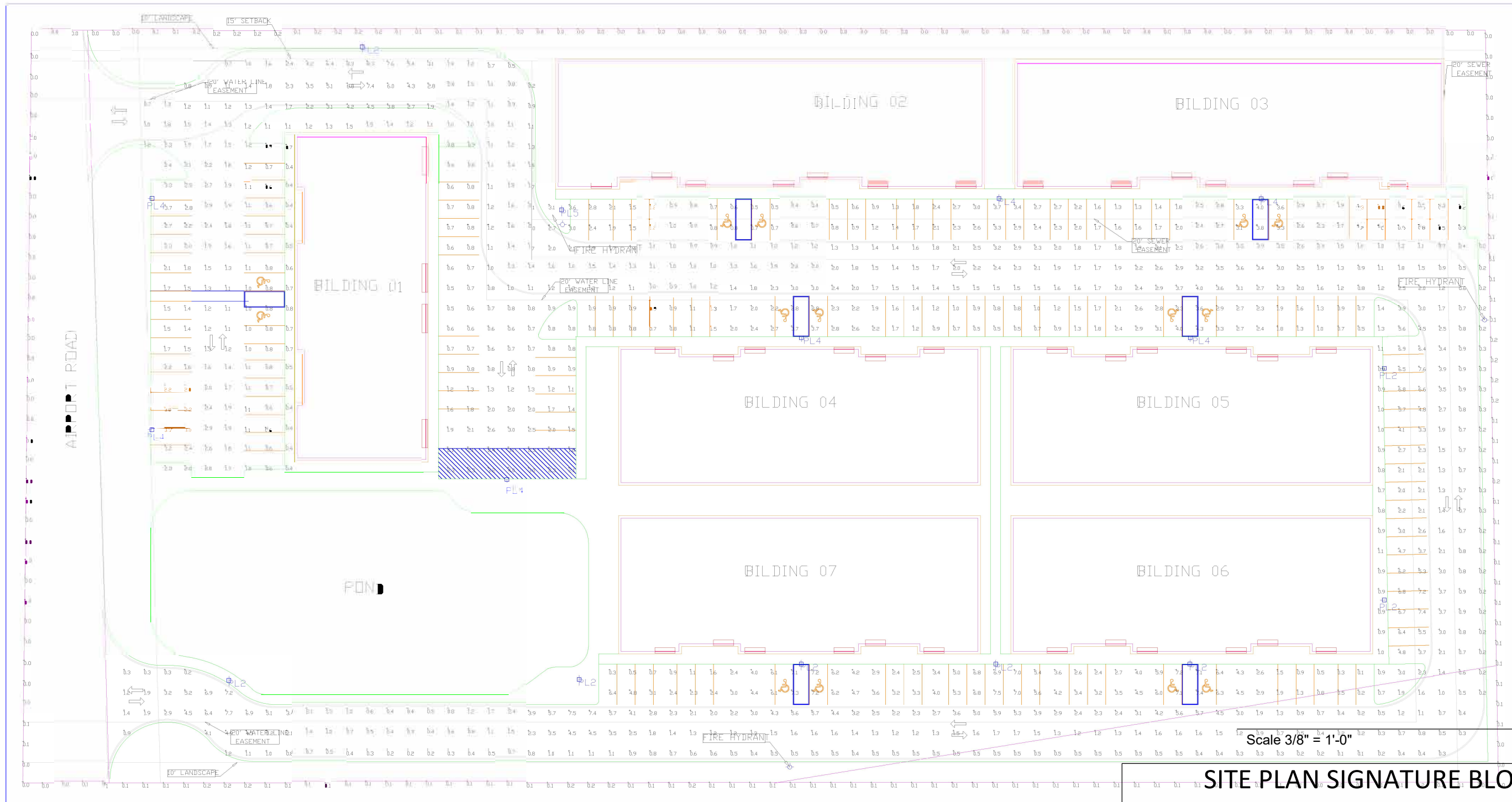


05/19/2023

TREESCAPE

DRAWN BY: CHECKED:

PROJECT No: SHEET No:  
23420.02 A0.3



### SITE PLAN SIGNATURE BLOCK

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

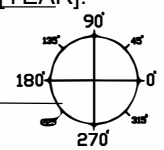
Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

**APPROVED:**  
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning



**Peterson, Scharck & Associates, Inc.**  
10855 Tanner Rd.  
Houston, TX 77041  
applications@psa-lighting.com

XXX  
XXX

Rockwall  
Flexspace Center  
- Site Ltg

07-11-23  
SR



REVISIONS
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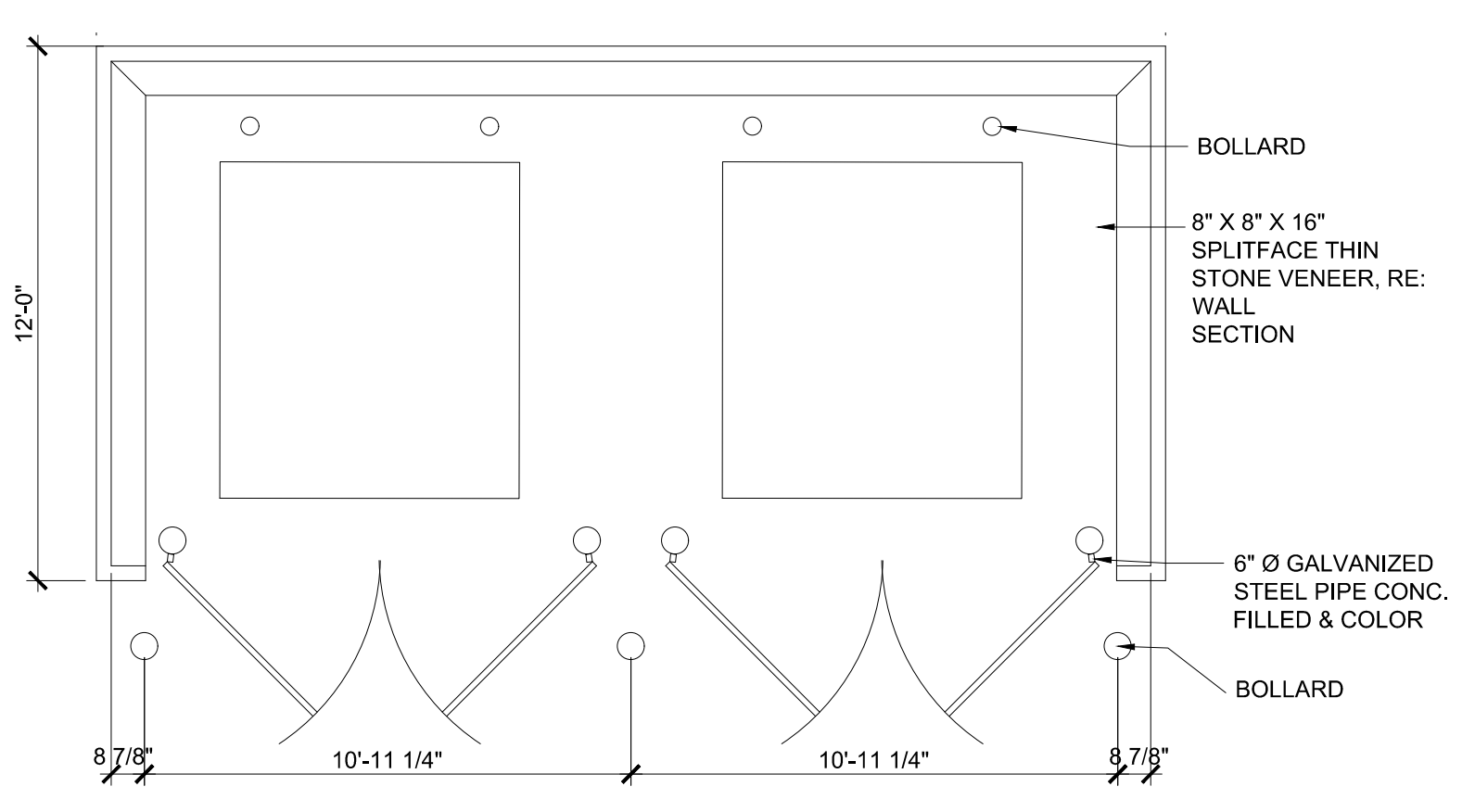
ISSUE DATE: 07/11/23

05/19/2023 *jm*

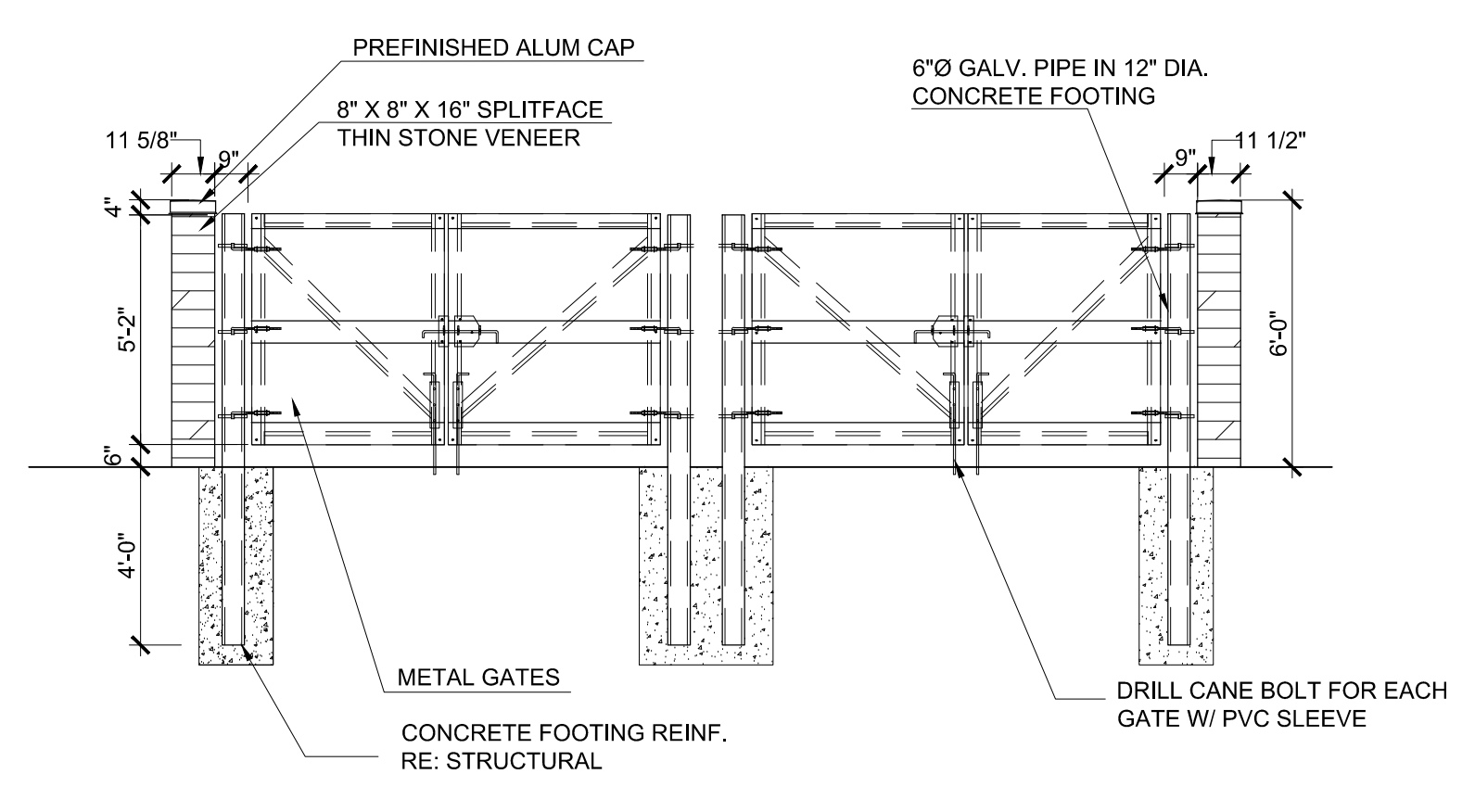
DUMPSTER DETAIL

DRAWN BY: CHECKED:

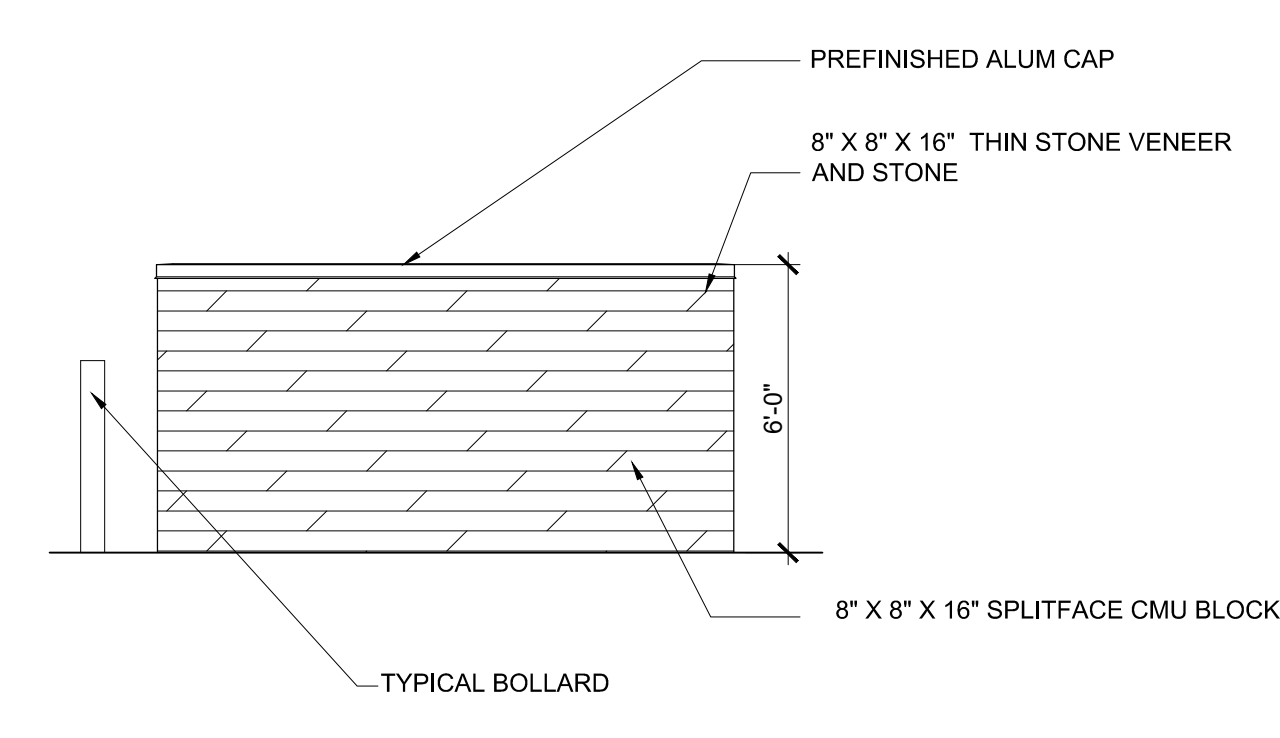
PROJECT No: SHEET No:  
23420.02 A0.2



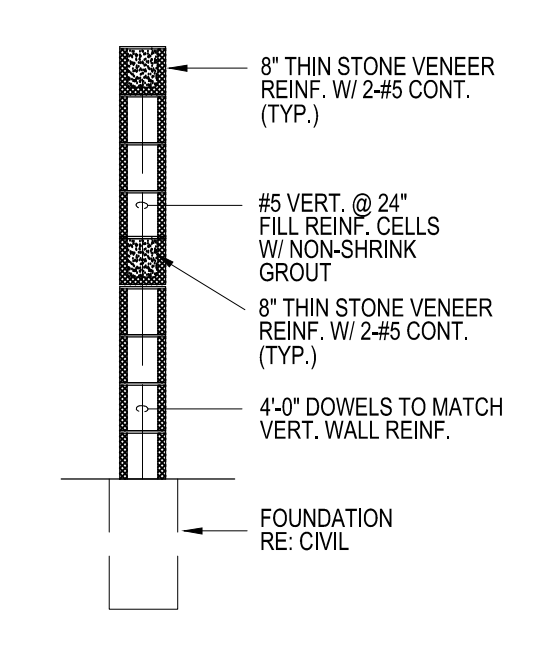
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

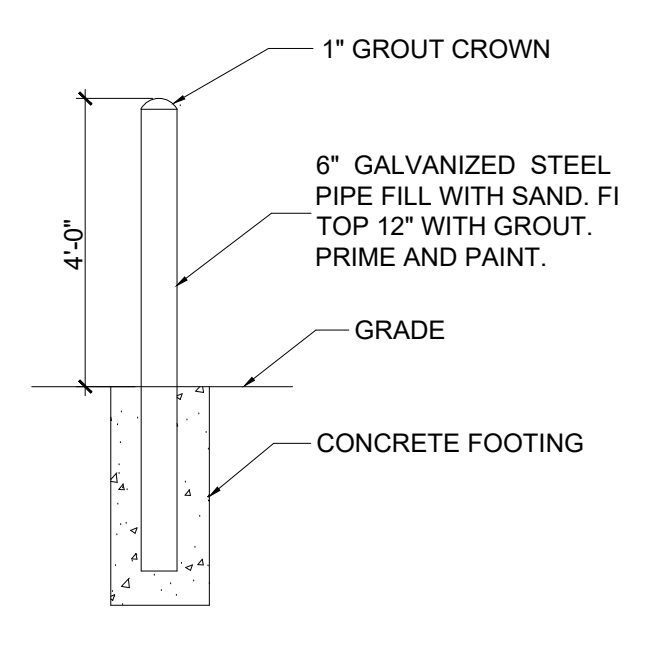
**SITE PLAN SIGNATURE BLOCK**

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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Boy Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

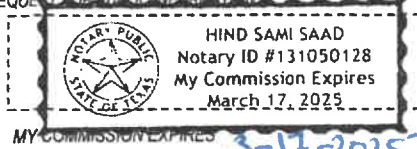
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August 2023

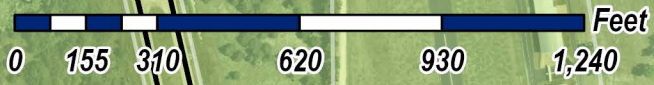
OWNER'S SIGNATURE

*[Signature]*

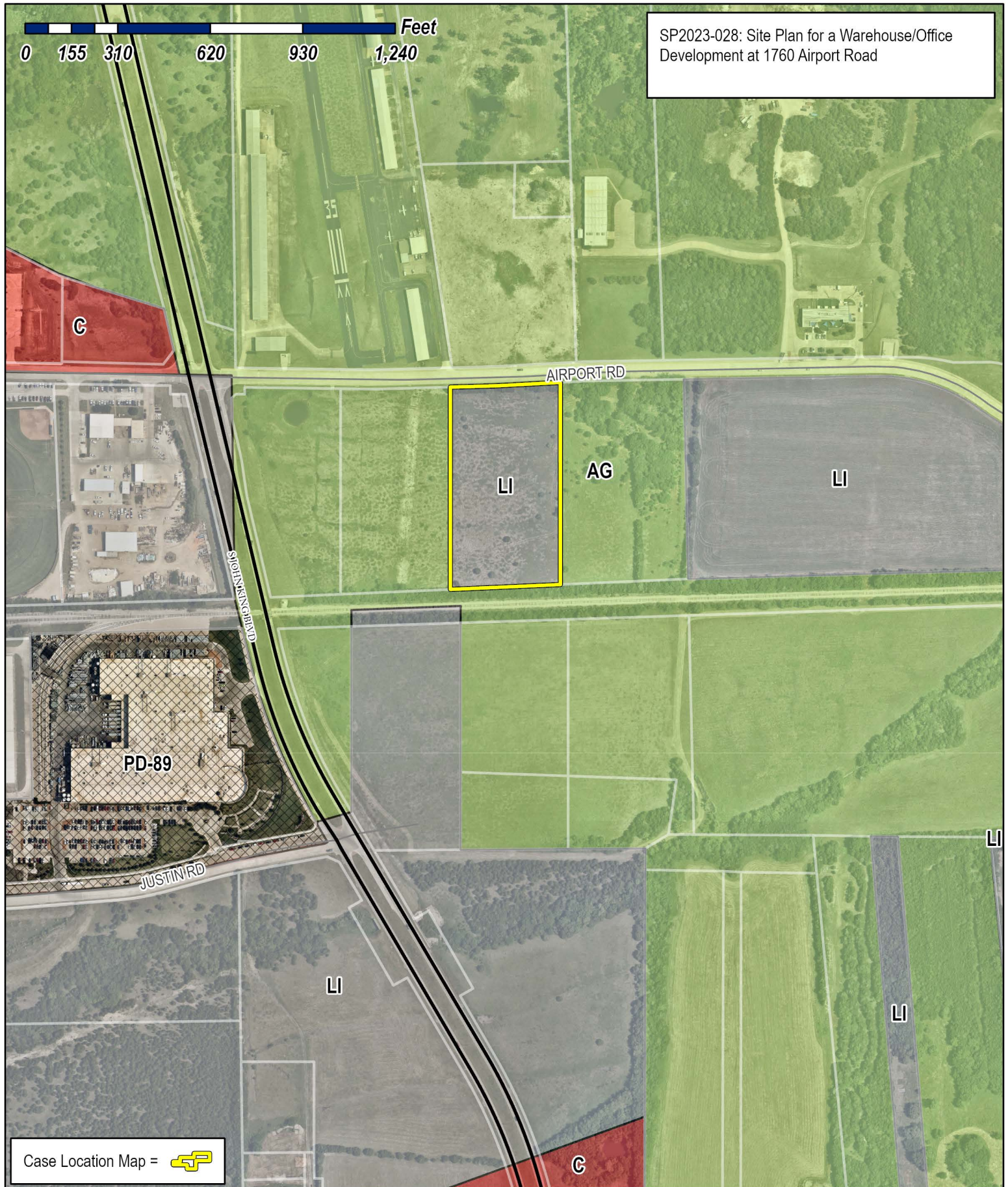
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 3-17-2025



SP2023-028: Site Plan for a Warehouse/Office Development at 1760 Airport Road



Case Location Map = 

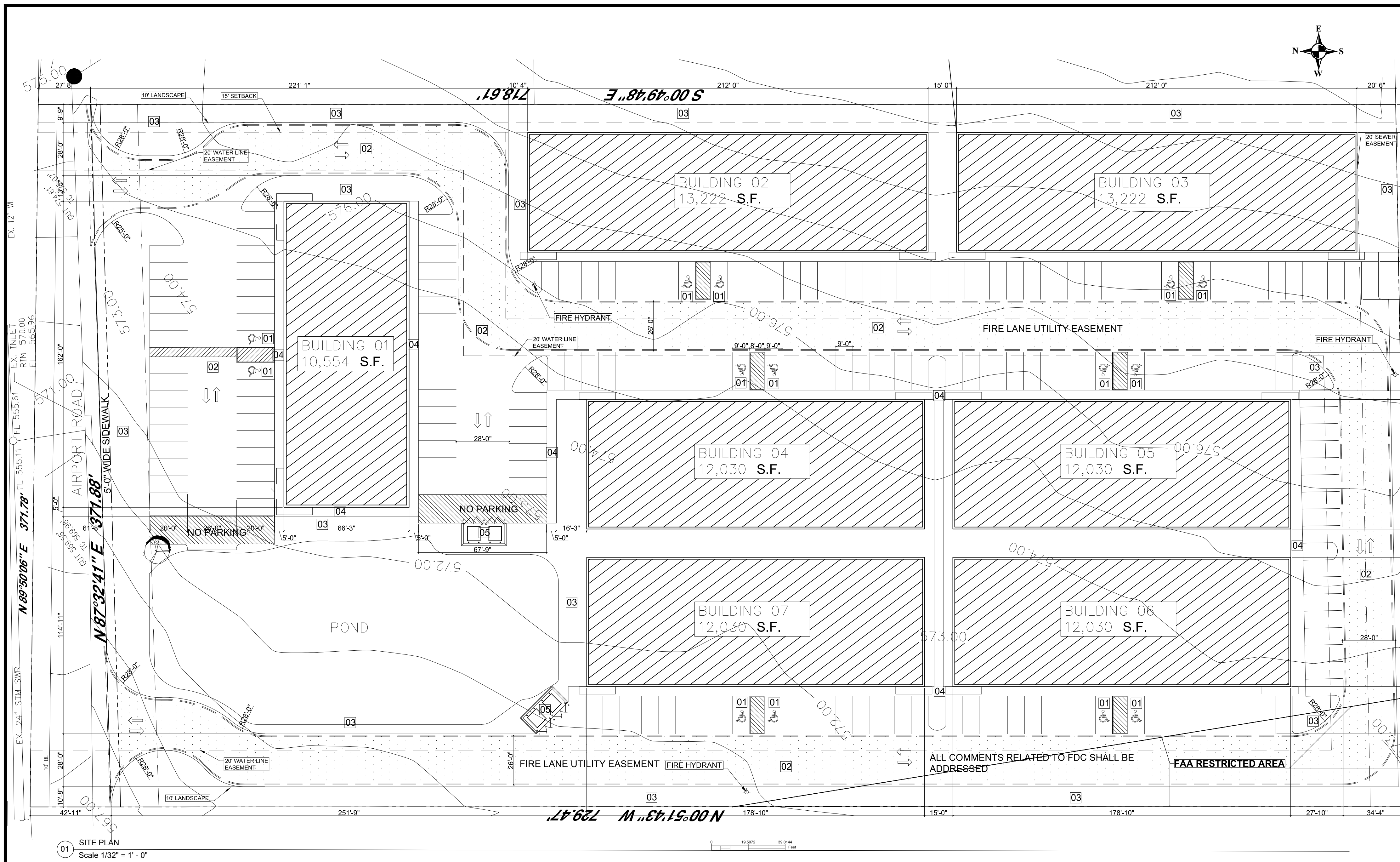


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**ADA & TAS**

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

**FIRE LANE NOTES**

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLOR CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH
- WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

**FIRE LANE**

**FIRE LANE**  
PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

**NOTE PARKING**

- NOTE 1:  
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.  
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.  
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:  
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).  
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.  
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.  
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

**PARKING REQUIREMENT**

WAREHOUSE TOTAL AREA: 85,118 SF  
OFFICES: 9,852 / 300 : 33 SPACES  
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE". ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN  
Scale 1/32" = 1' - 0"

**WATER SUPPLY (FOR FIREFIGHTING)**

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

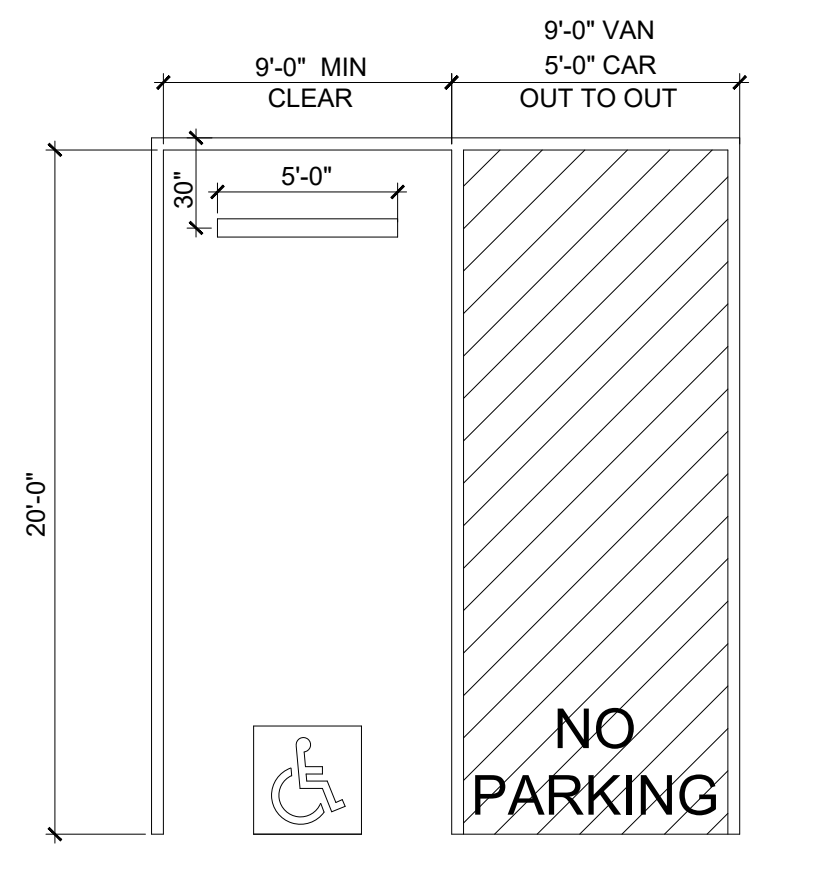
SITE PLAN SIGNATURE BLOCK

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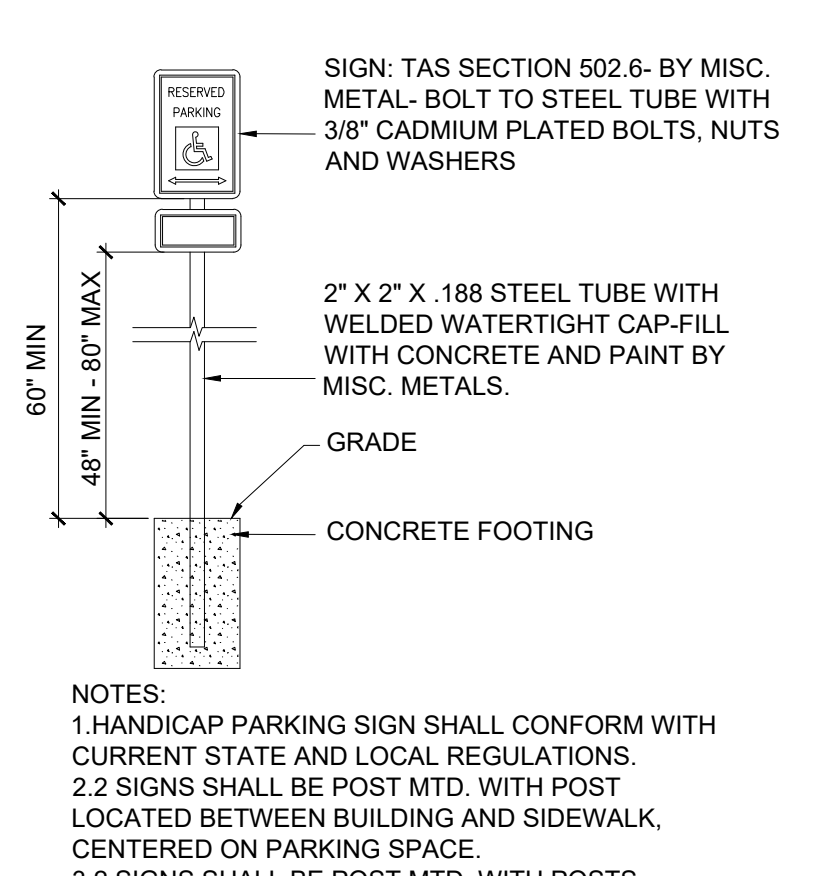
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

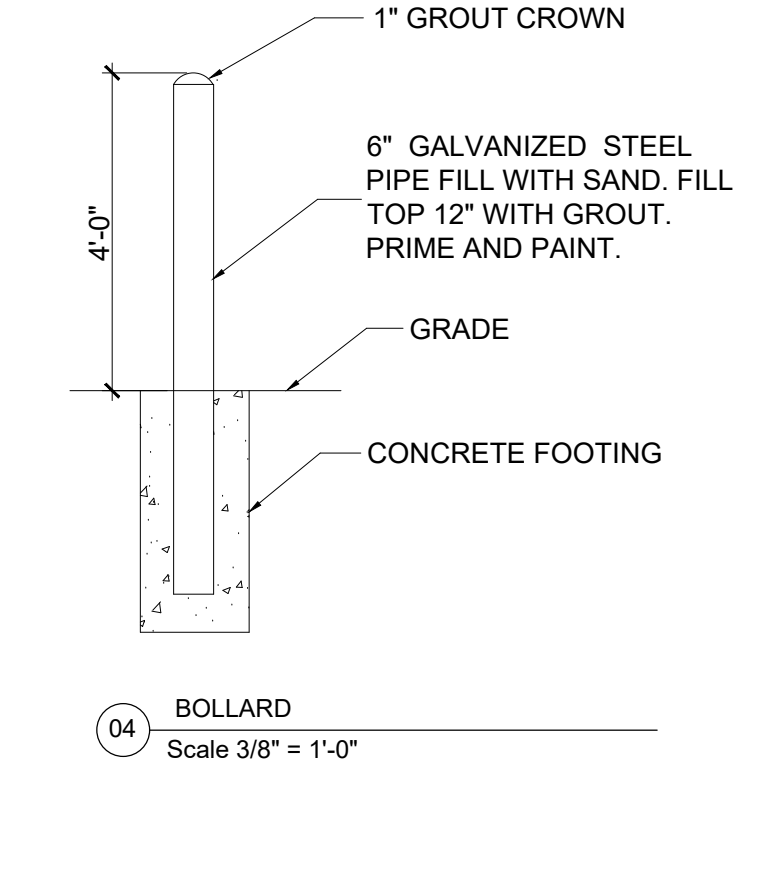
\_\_\_\_\_  
Director of Planning and Zoning



02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"



04 BOLLARD  
Scale 3/8" = 1'-0"

REVISIONS


ISSUE DATE: 08/17/23



05/19/2023

SITE PLAN

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A0.1

TYPE FIRM #: 15498

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

Planning & Zoning Commission: Chairman  
Director of Planning and Zoning

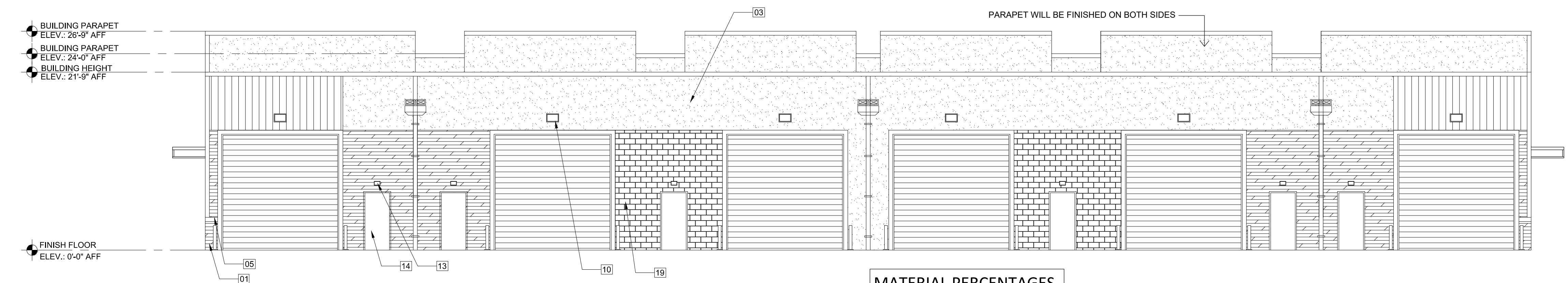
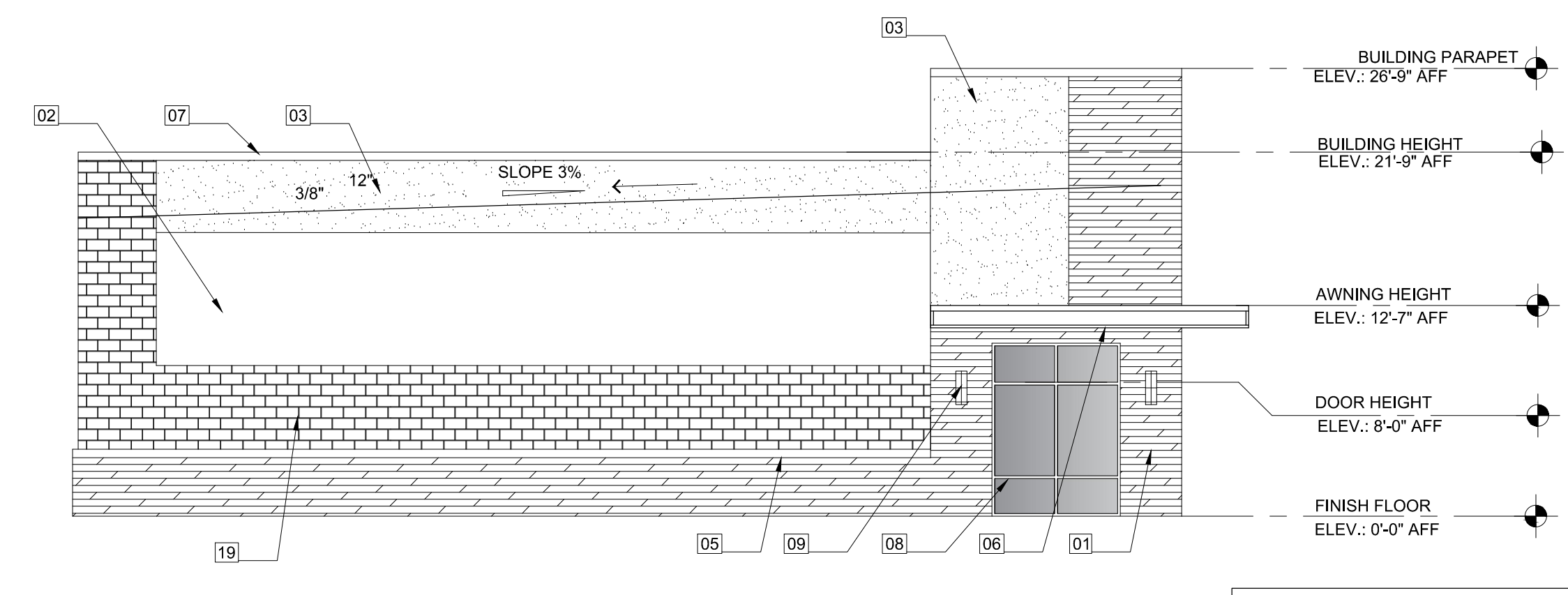
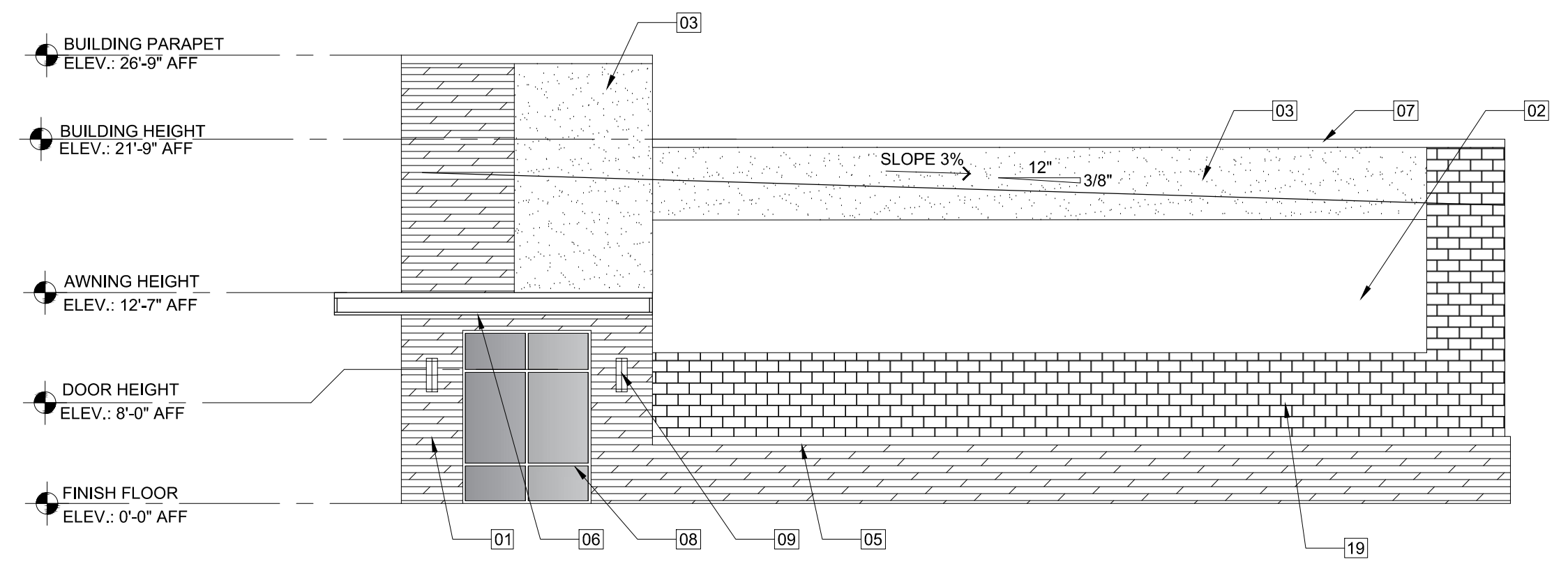
HVAC UNITS TO BE PLACED ON ROOF  
SCREENED BY PARAPET ON ALL FOUR SIDES

GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
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- CONTROL JOINT. NOT TO EXCEED 144 S.F.



WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS



EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCONCE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)

REVISIONS


ISSUE DATE: 08/17/23

BUILDING 01



EXTERIOR ELEVATIONS

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A2.0

**EXTERIOR ELEVATION KEY NOTES**

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15", COLOR: SW 7074 (SOFTWARE)
- 3 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS
- 21 STUCCO, COLOR: SW 7074 (SOFTWARE)
- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

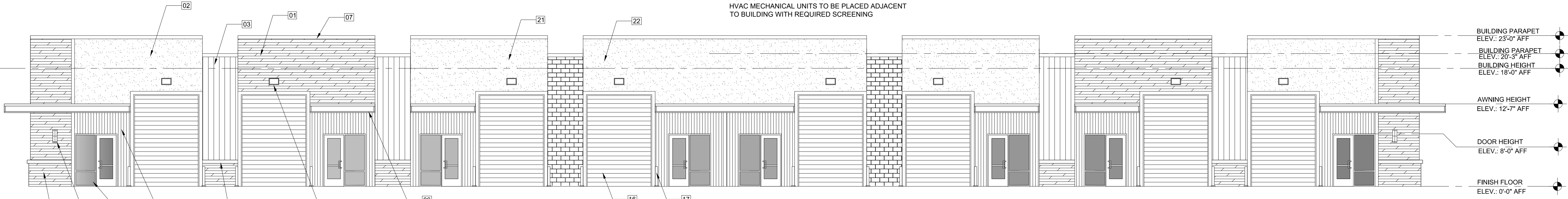
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

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6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

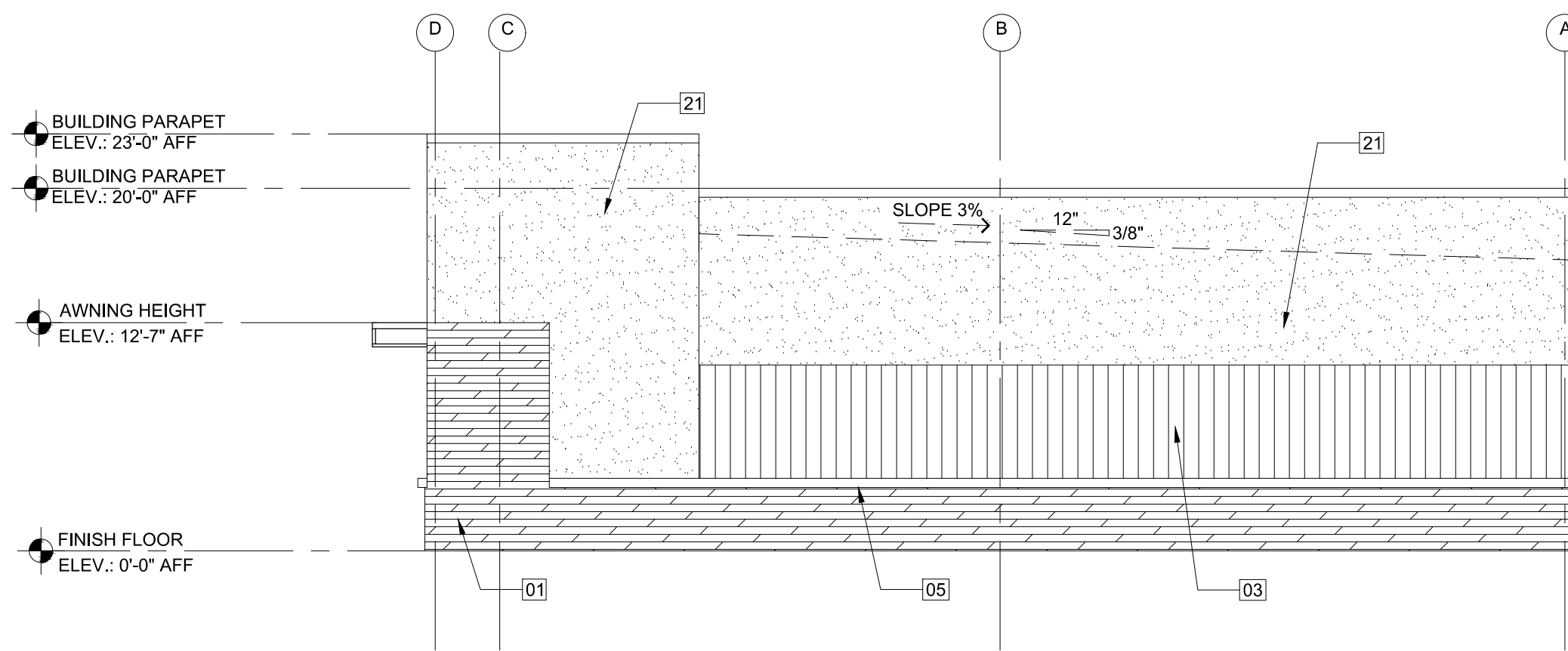


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%

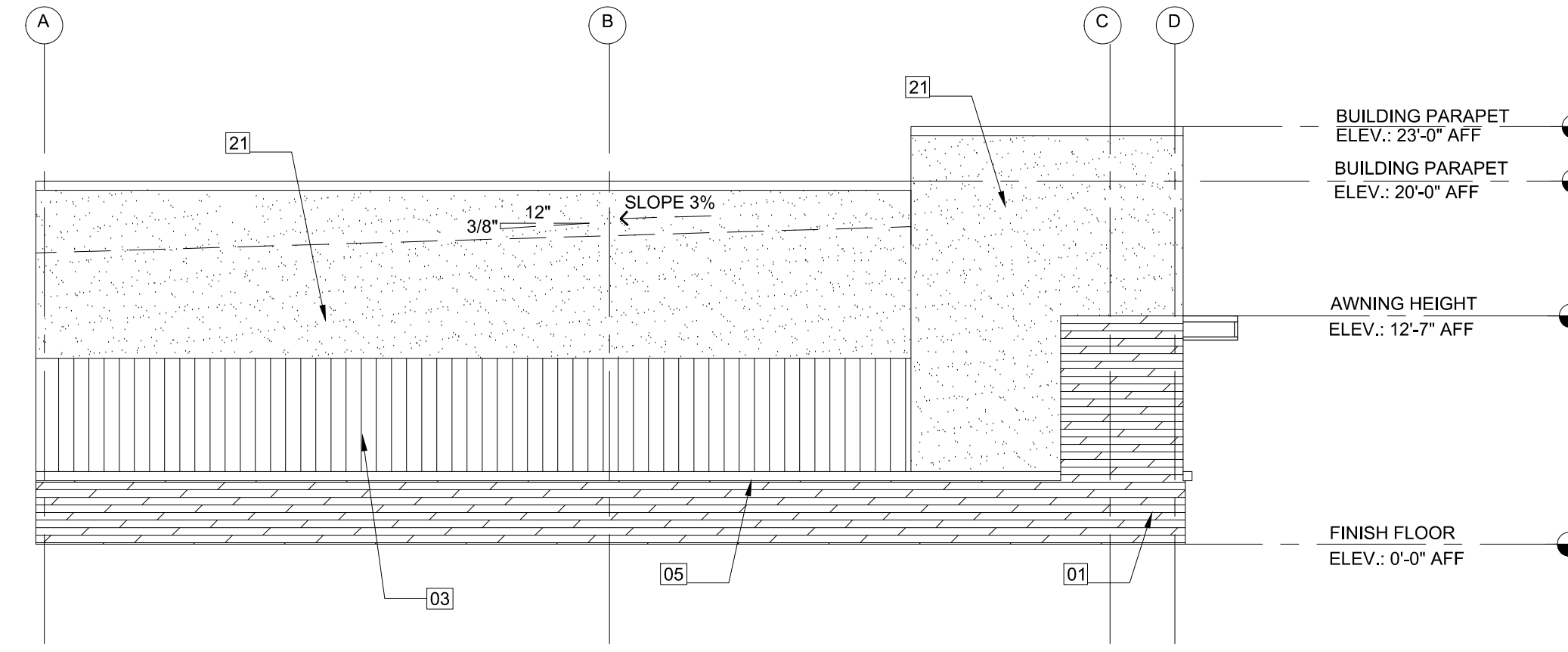
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

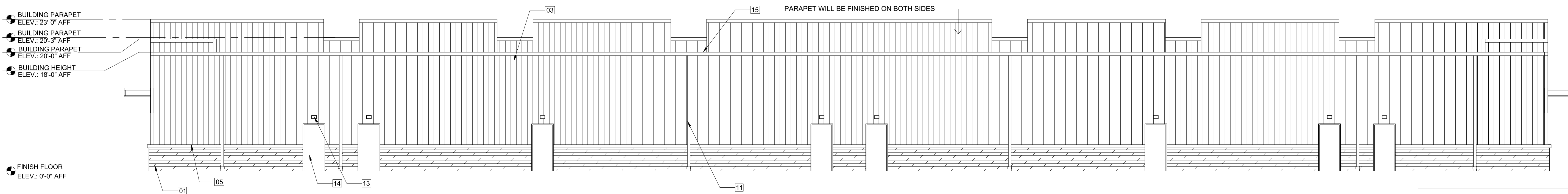
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

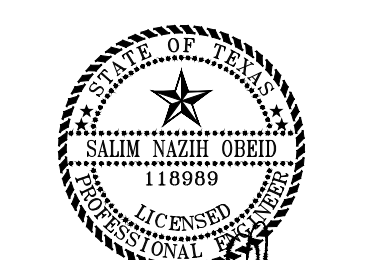
TBP FIRM #: 15498

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

**EXTERIOR ELEVATION KEY NOTES**

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- 19 WALL SUPPORT
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- 22 ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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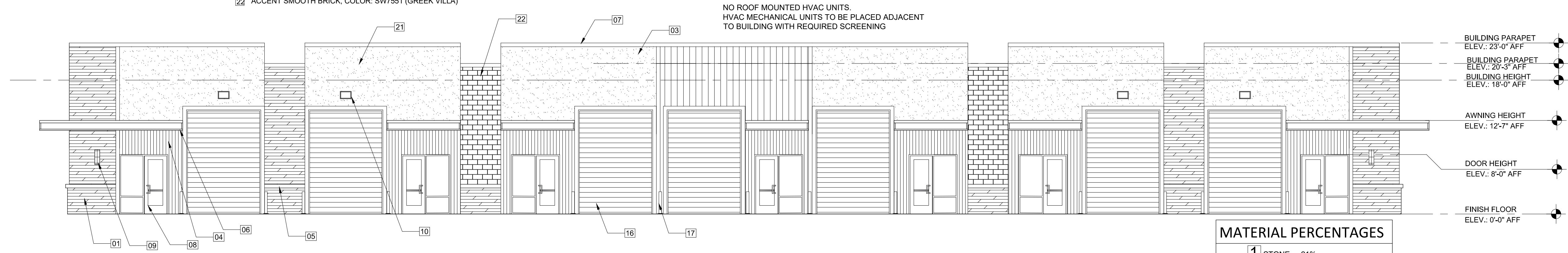
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**GENERAL NOTES**

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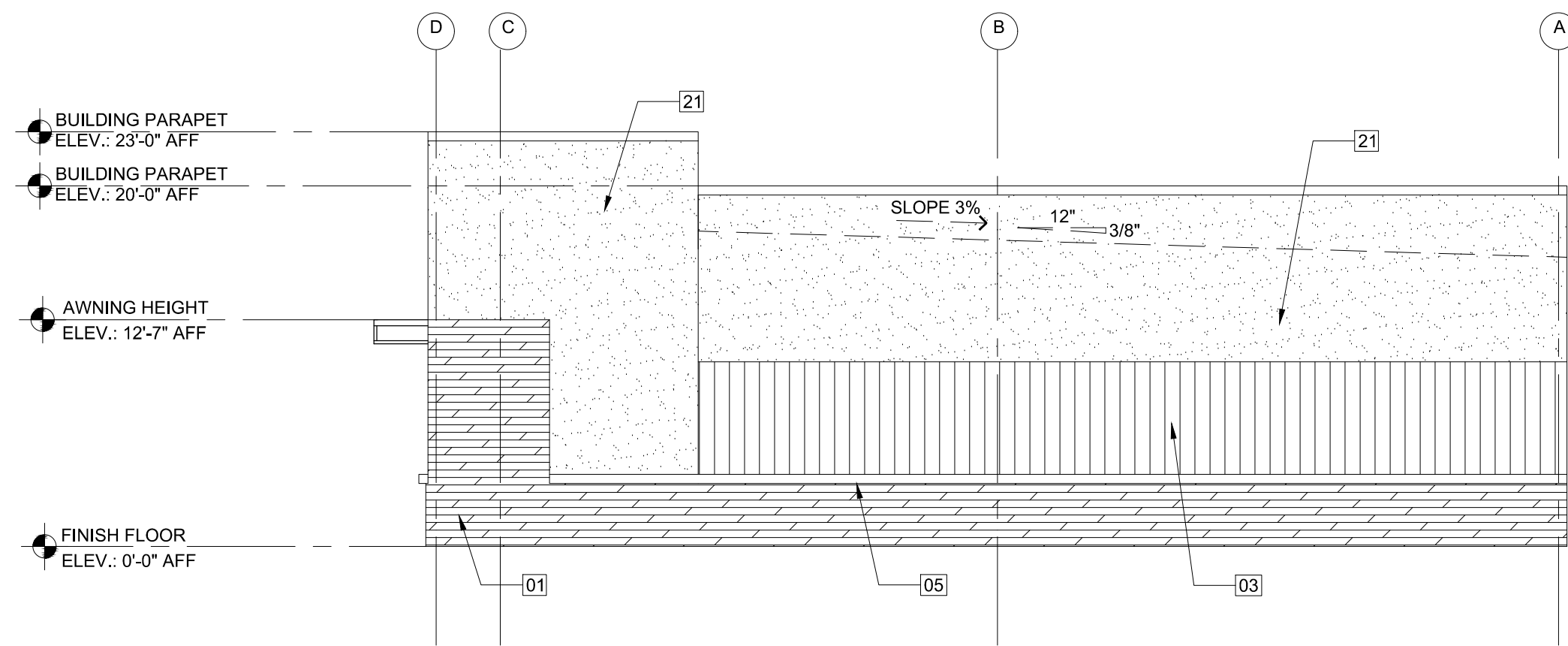
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- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

**MATERIAL PERCENTAGES**

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

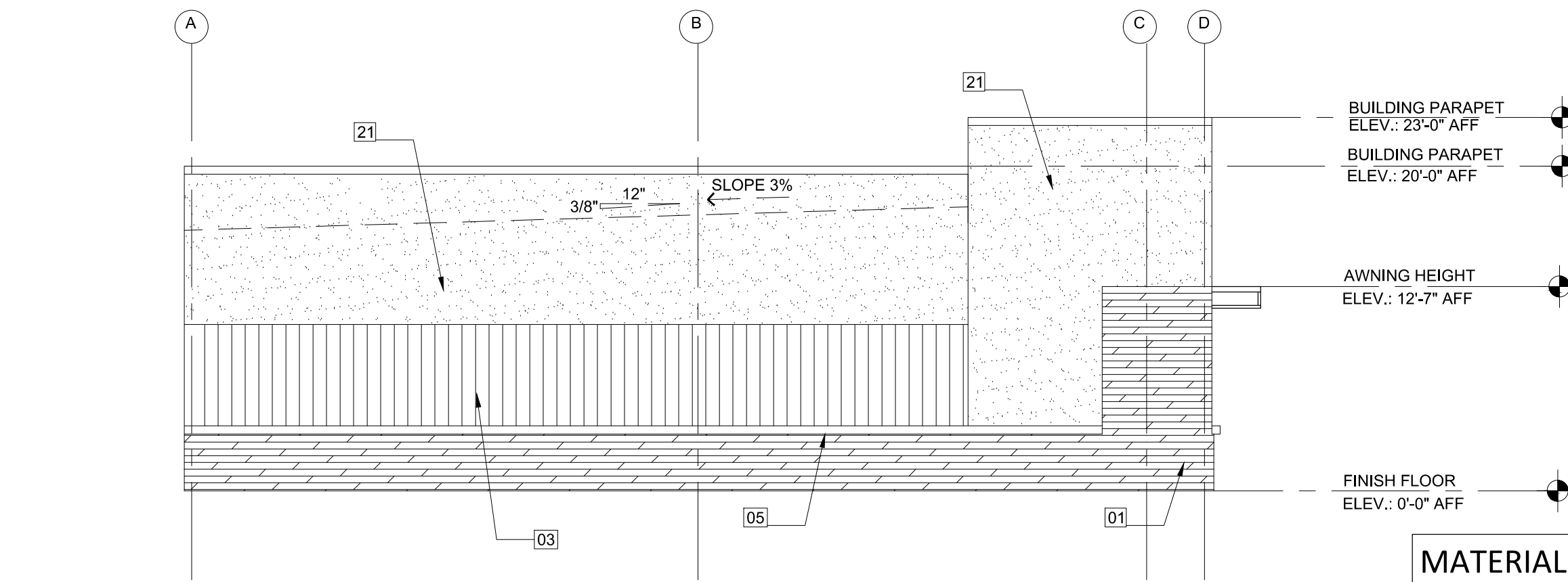
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

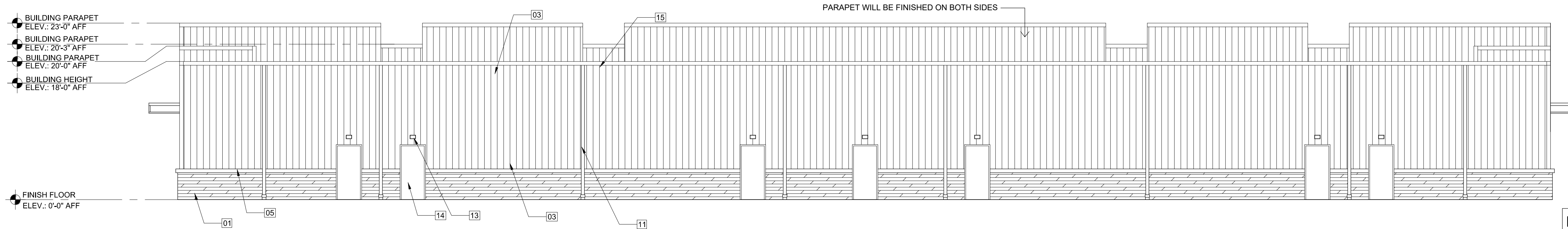
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

**MATERIAL PERCENTAGES**

- 1 STONE: = 22%
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- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

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**RSG ENGINEERING**

13501 KATY FREEWAY  
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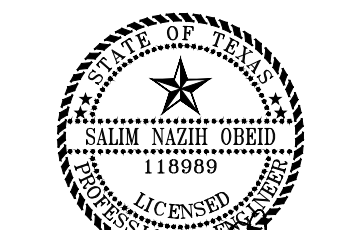
project  
**ROCKWALL OFFICES WAREHOUSES**

at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/17/23

BUILDINGS  
04, 05, 06 & 07



05/19/2023

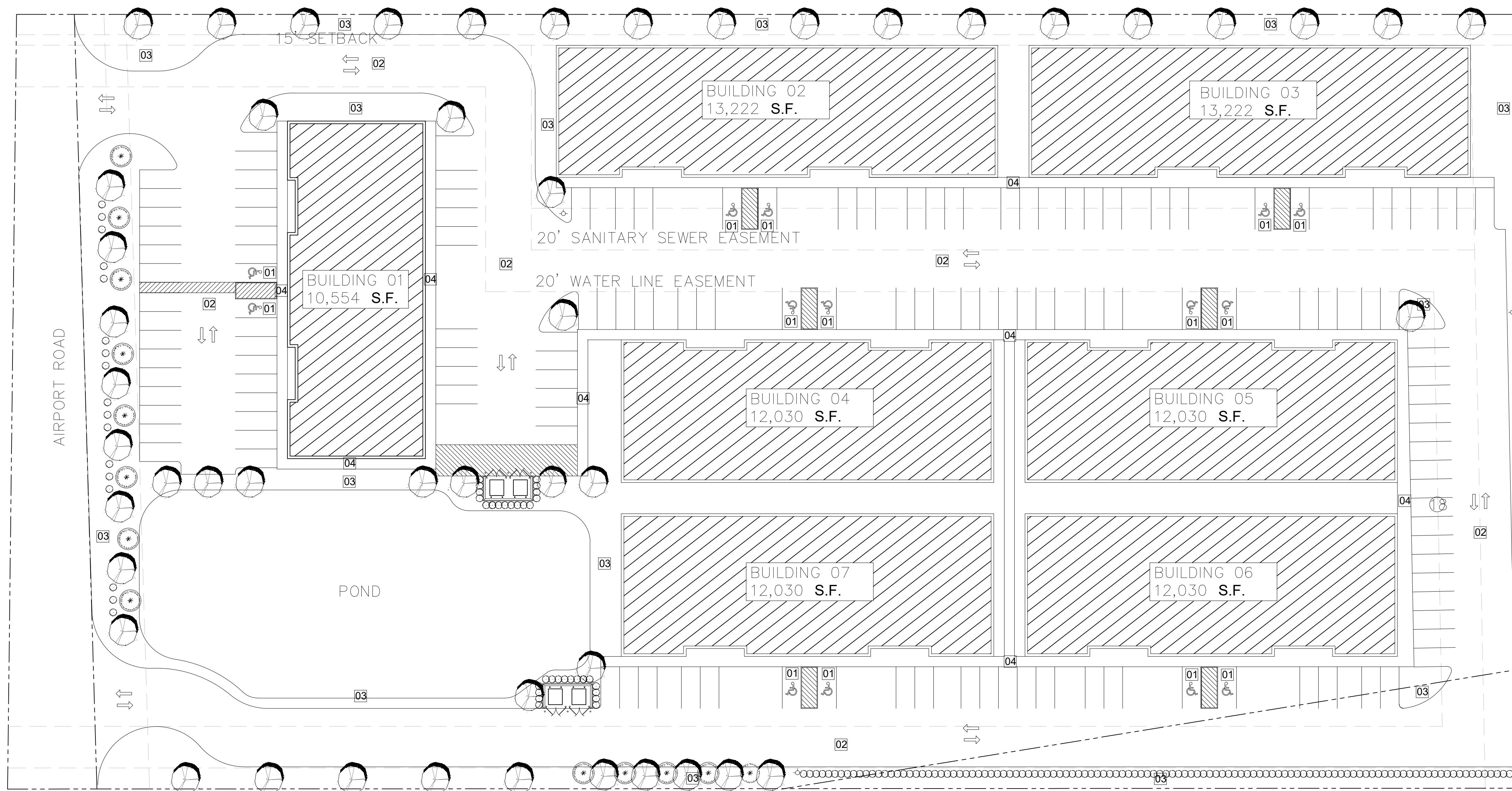
EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0





01 SITE PLAN  
Scale 1/32" = 1' - 0"

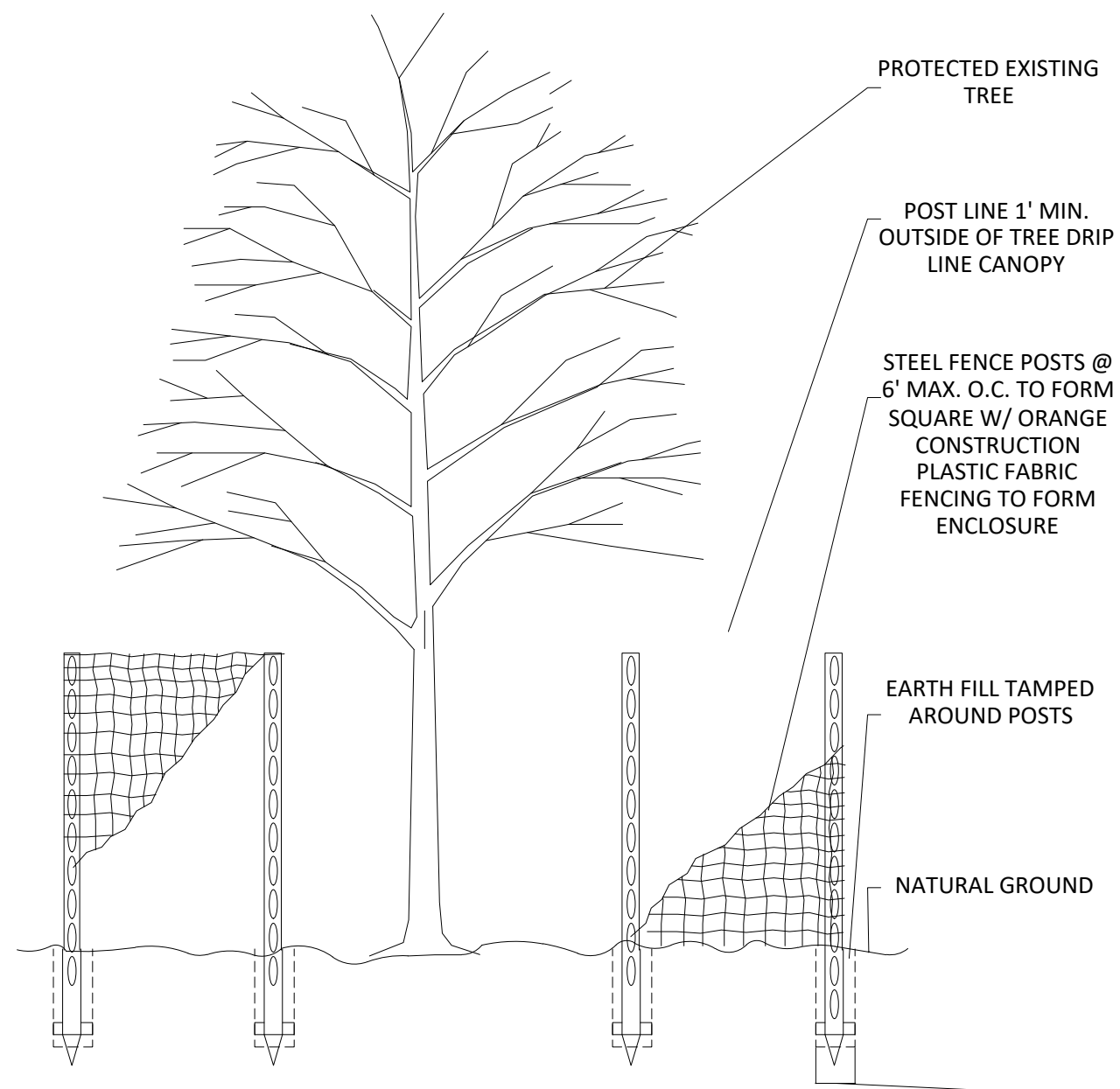
**SITE PLAN SIGNATURE BLOCK**

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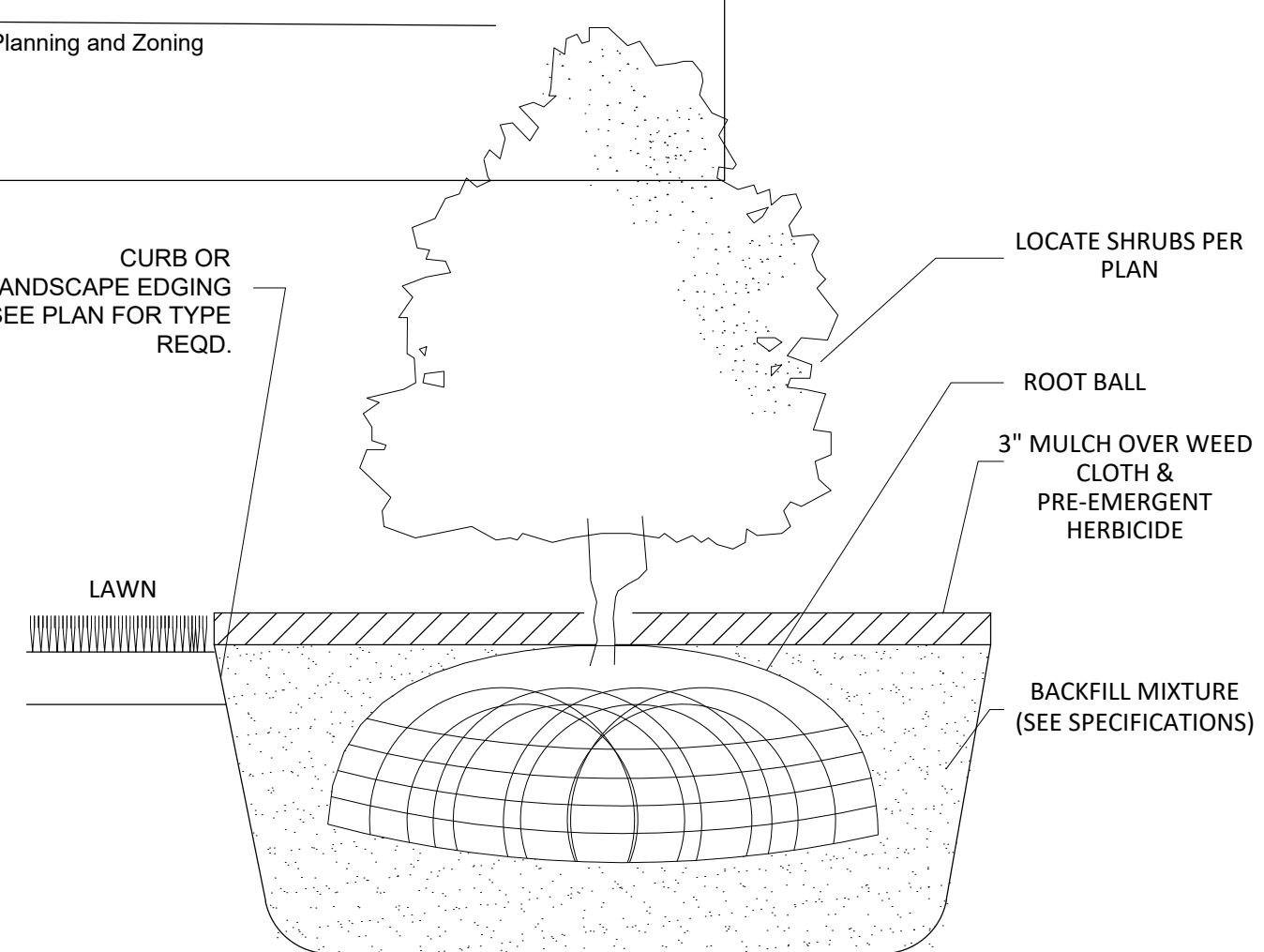
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

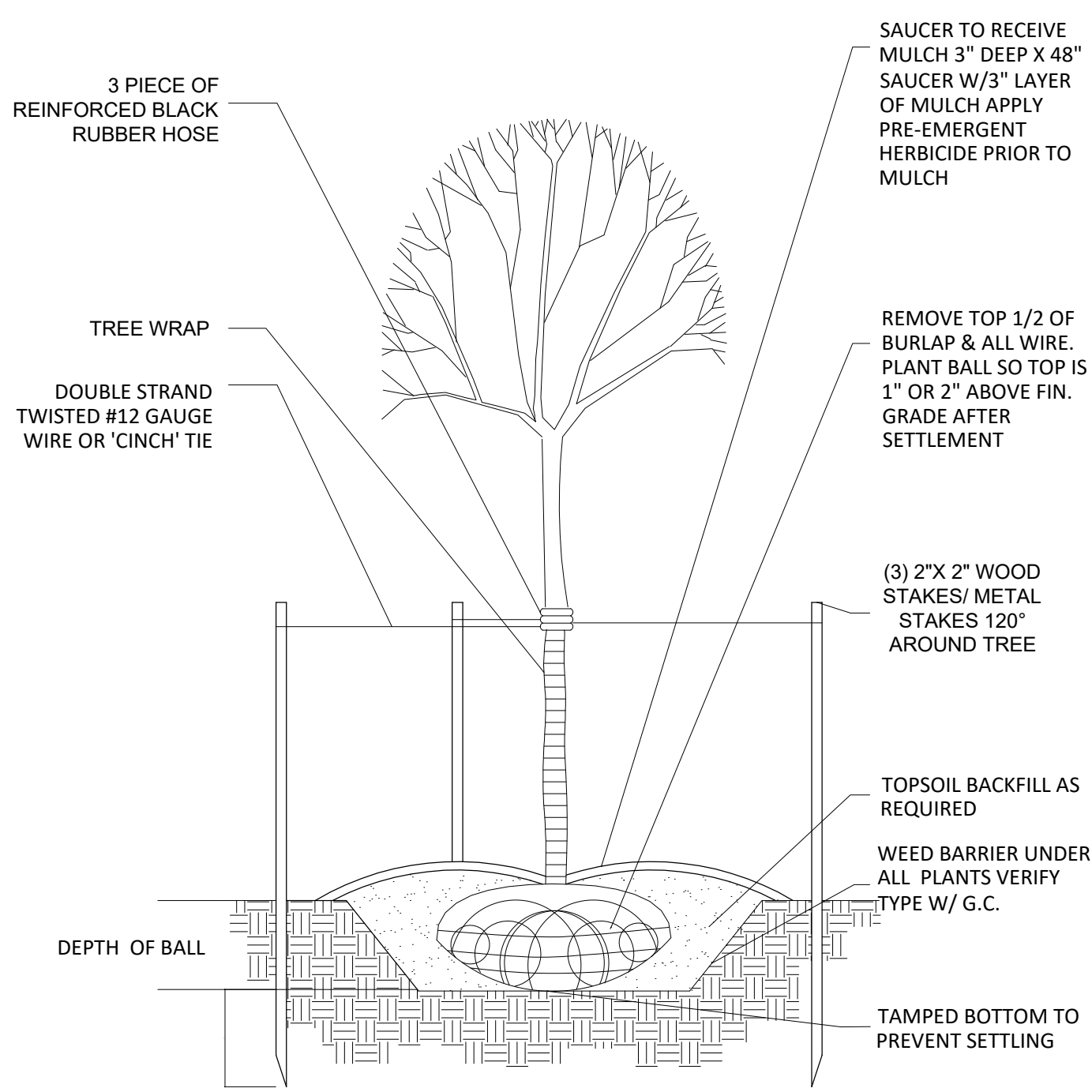
\_\_\_\_\_  
Director of Planning and Zoning



02 TREE PROTECTION BARRIER  
NOT TO SCALE



03 SHRUB PLANTING  
NOT TO SCALE



04 TREE PLANTING  
NOT TO SCALE

**SYMBOL LEGEND**

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

**NOTE: NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES**

- NOTES**
- 1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - 2- CONTRACTOR SHALL LOCATE ALL L UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - 3- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - 4- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - 5- CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - 6- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

- GENERAL LANDSCAPE NOTES**
- 1 - ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - 2- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - 3- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - 4- CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY REGULATIONS.
  - 5- ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - 6- ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - 7- LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - 8- GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - 9- ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - 10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**Treescape CALCULATIONS**

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

REVISIONS

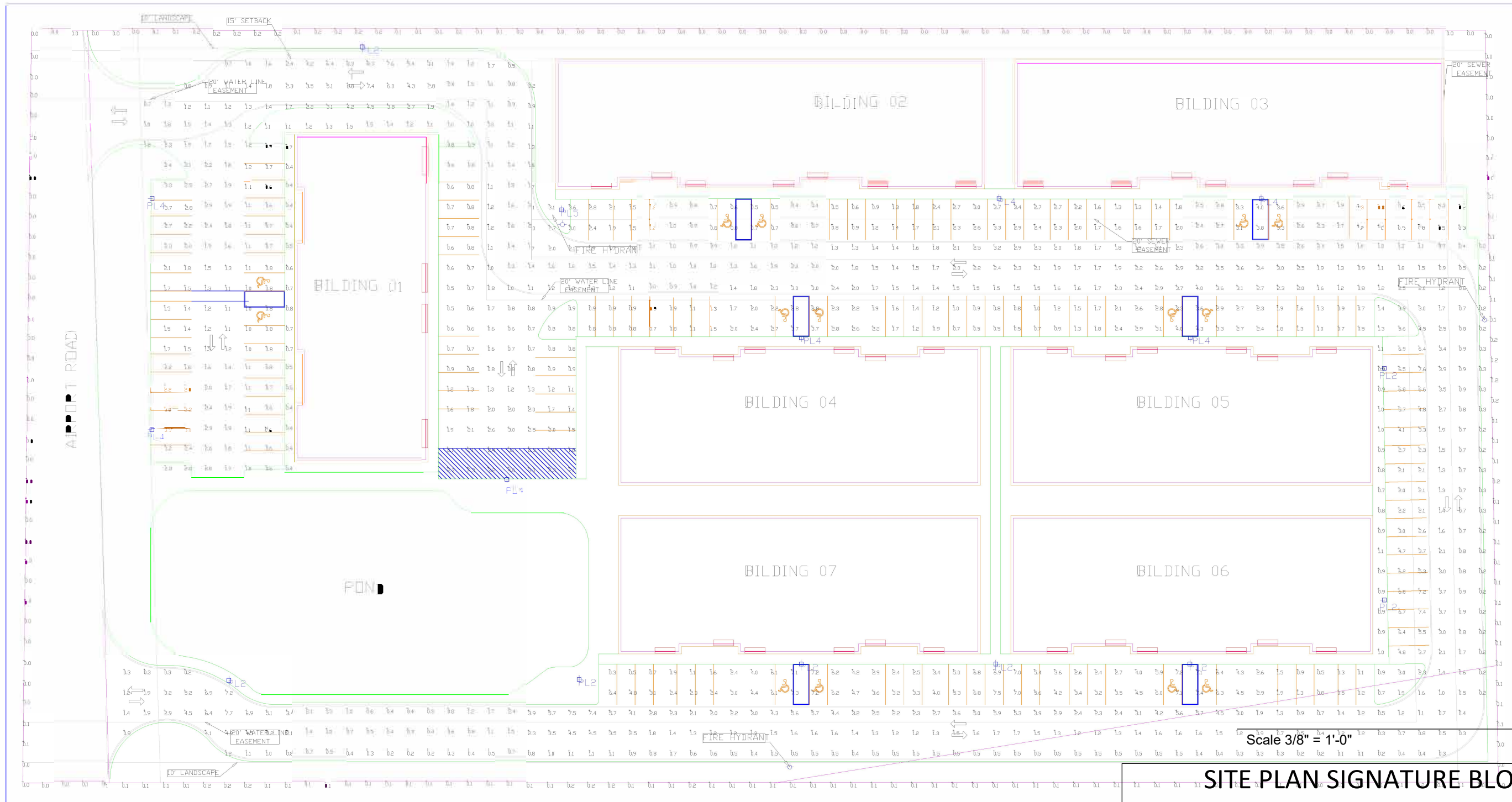

ISSUE DATE: 05/19/23

05/19/2023

TREESCAPE

DRAWN BY:	CHECKED:
PROJECT No	SHEET No:
23420.02	A0.3





**SITE PLAN SIGNATURE BLOCK**

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

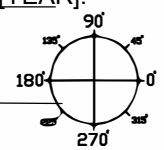
Peterson, Scharck & Assoc / Keith Peterson / 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



**Peterson, Scharck & Associates, Inc.**  
10855 Tanner Rd.  
Houston, TX 77041  
applications@psa-lighting.com

\_\_\_\_\_  
XXX  
XXX

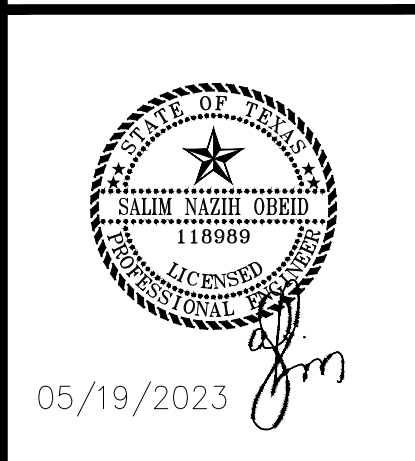
\_\_\_\_\_  
Rockwall  
Flexspace Center  
- Site Ltg

\_\_\_\_\_  
07-11-23  
SR



REVISIONS	

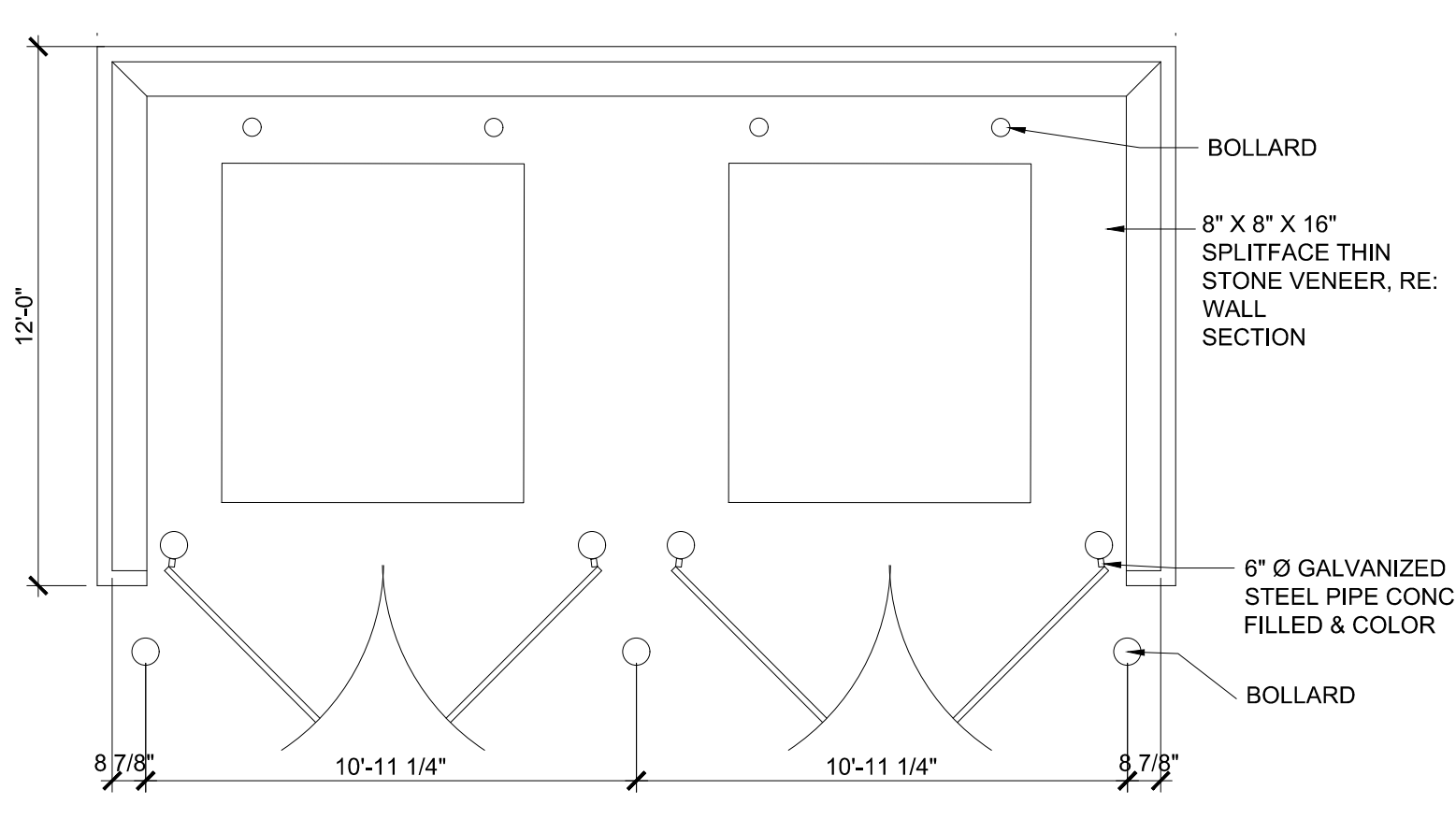
ISSUE DATE: 07/11/23



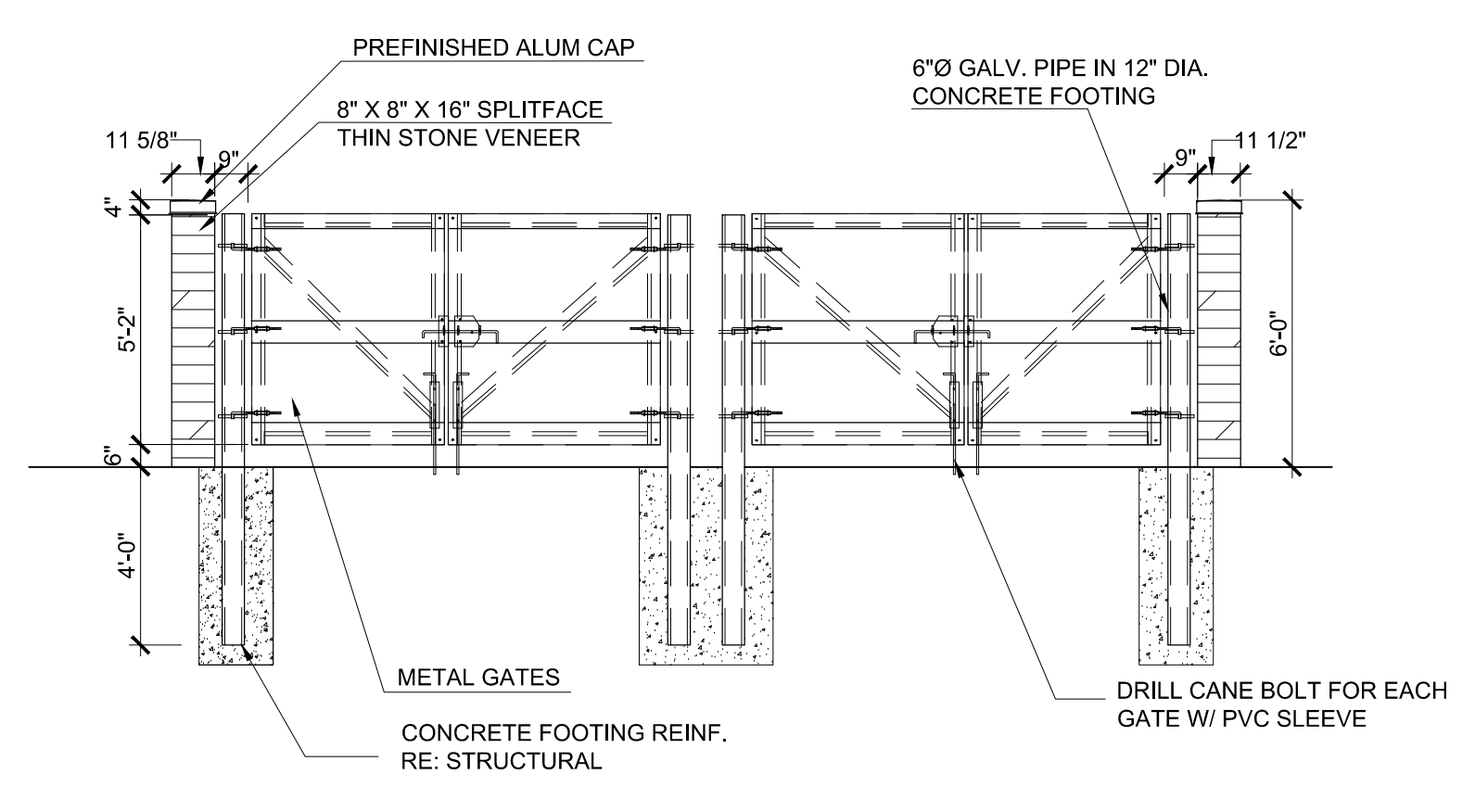
DUMPSTER DETAIL

DRAWN BY: \_\_\_\_\_ CHECKED: \_\_\_\_\_

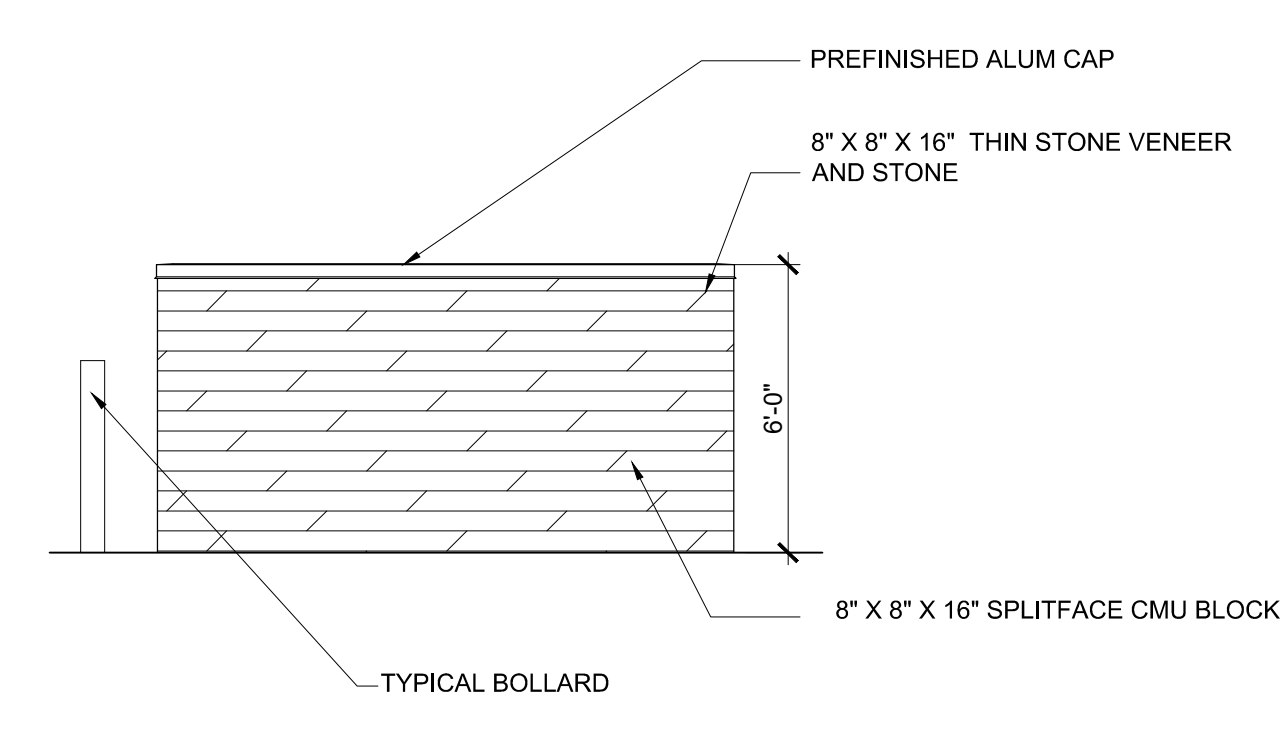
PROJECT No: 23420.02 SHEET No: A0.2



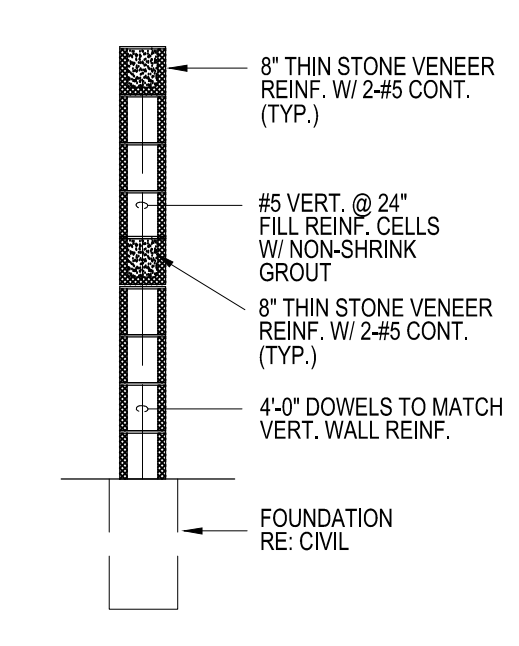
01 DUMPSTER PLAN  
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION  
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION  
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION  
Scale 3/8" = 1'-0"

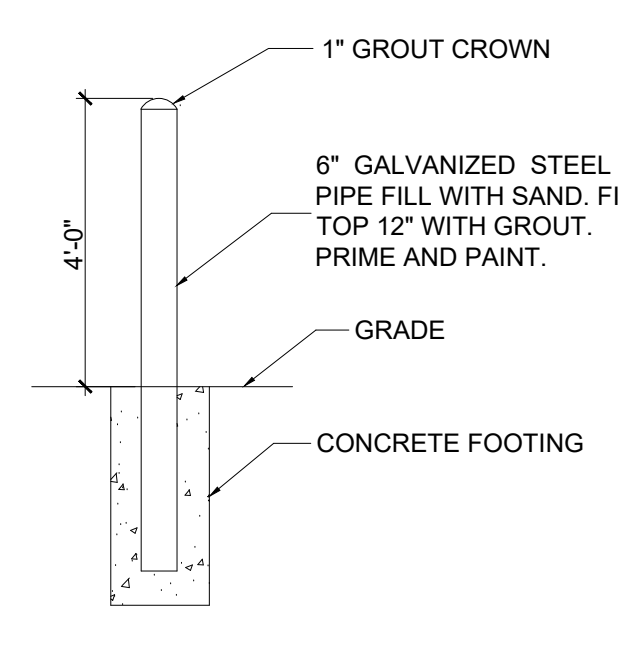
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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD  
Scale 3/8" = 1'-0"

**GENERAL NOTES**

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

## Zavala, Melanie

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**From:** Roy Bhavi <roy.bhavi@flexspacebusinessparks.co>  
**Sent:** Wednesday, October 4, 2023 1:43 PM  
**To:** Ross, Bethany  
**Subject:** Withdrawal of Application


Bethany,


Per our phone conversation, I am writing to formally withdraw my latest site plan application. I will resubmit once I have the FAA approval.


Regards

Roy Bhavi

Founder | Principal | FlexSpace Business Parks

 [roy.bhavi@flexspacebusinessparks.co](mailto:roy.bhavi@flexspacebusinessparks.co)

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