



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeysterarchitects.com

## NOTARY VERIFICATION [REQUIRED]

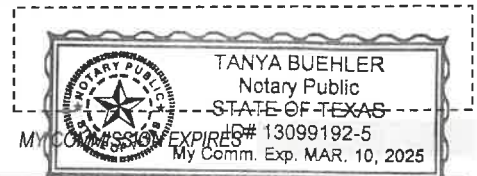
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

OWNER'S SIGNATURE

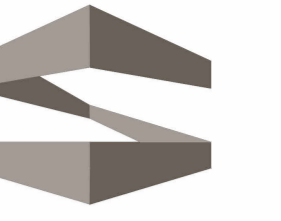
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Service Road  
30 SERVICE ROAD

**LEGEND**

- PLANTING POTS
- ⊗ SHRUB  
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING  
DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- PATIO TABLES



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA

PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR  
HEIGHTS**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale: As indicated

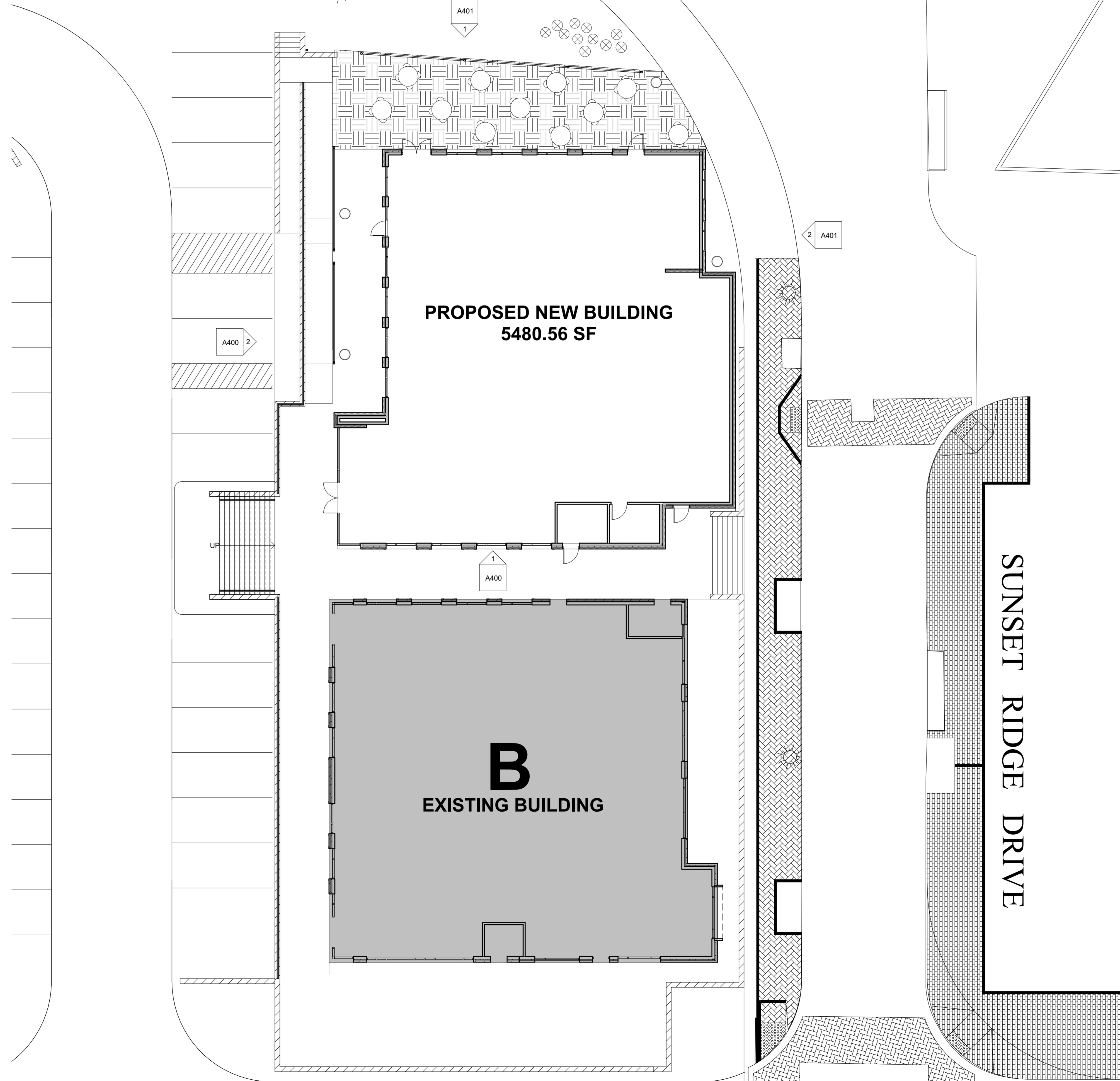
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Revisions:  
# Revision Date Revision Description

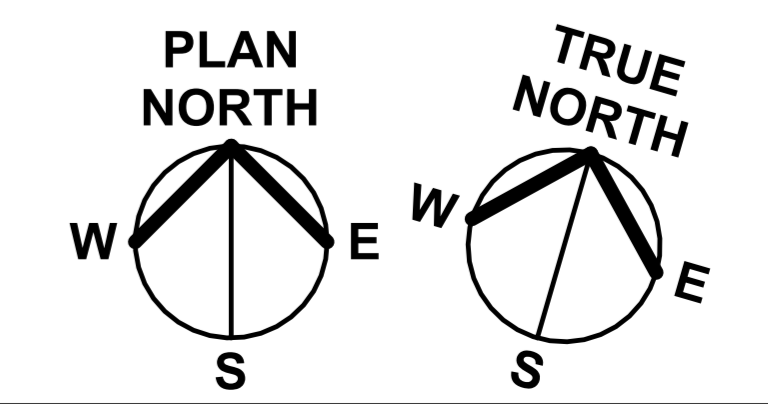
Sheet Title:

**OVERALL SITE  
PLAN**

A101 A



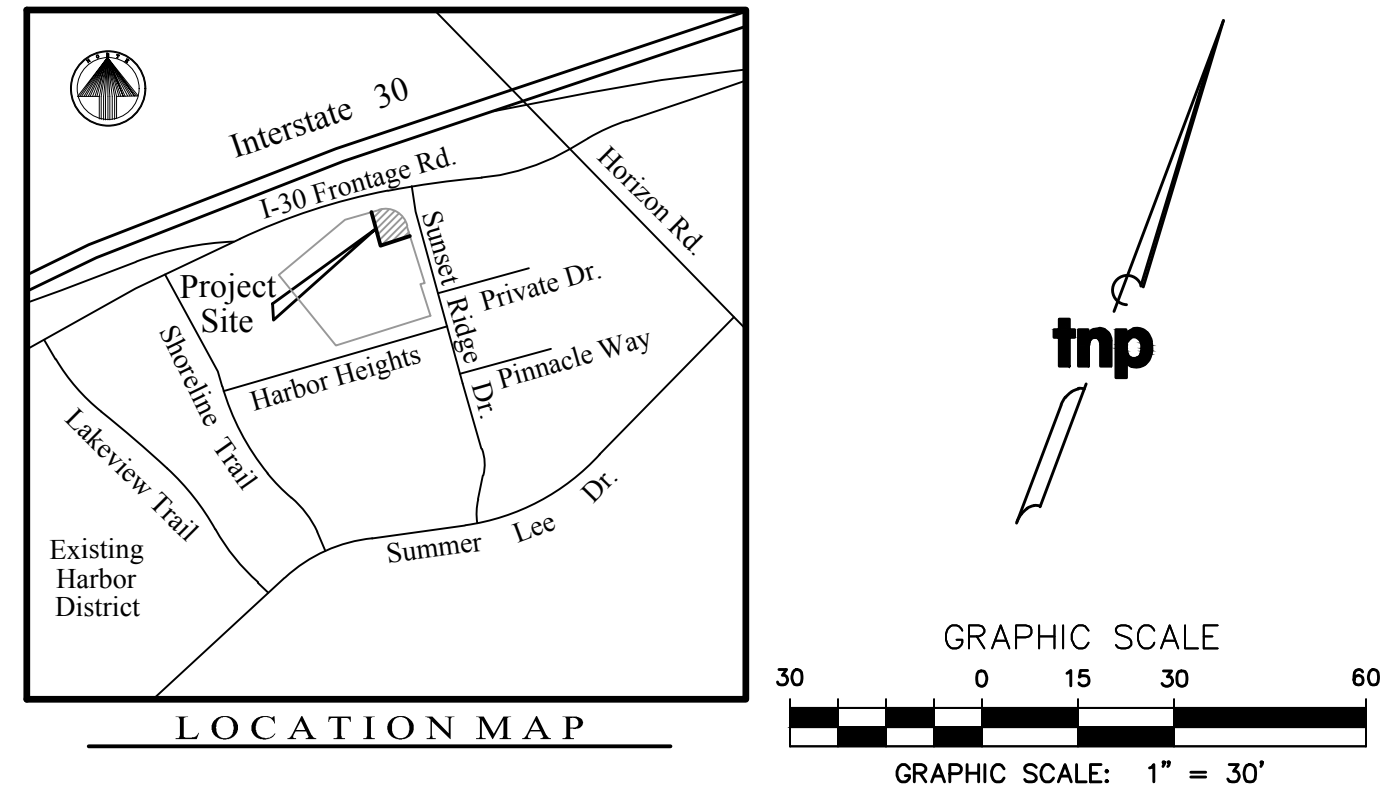
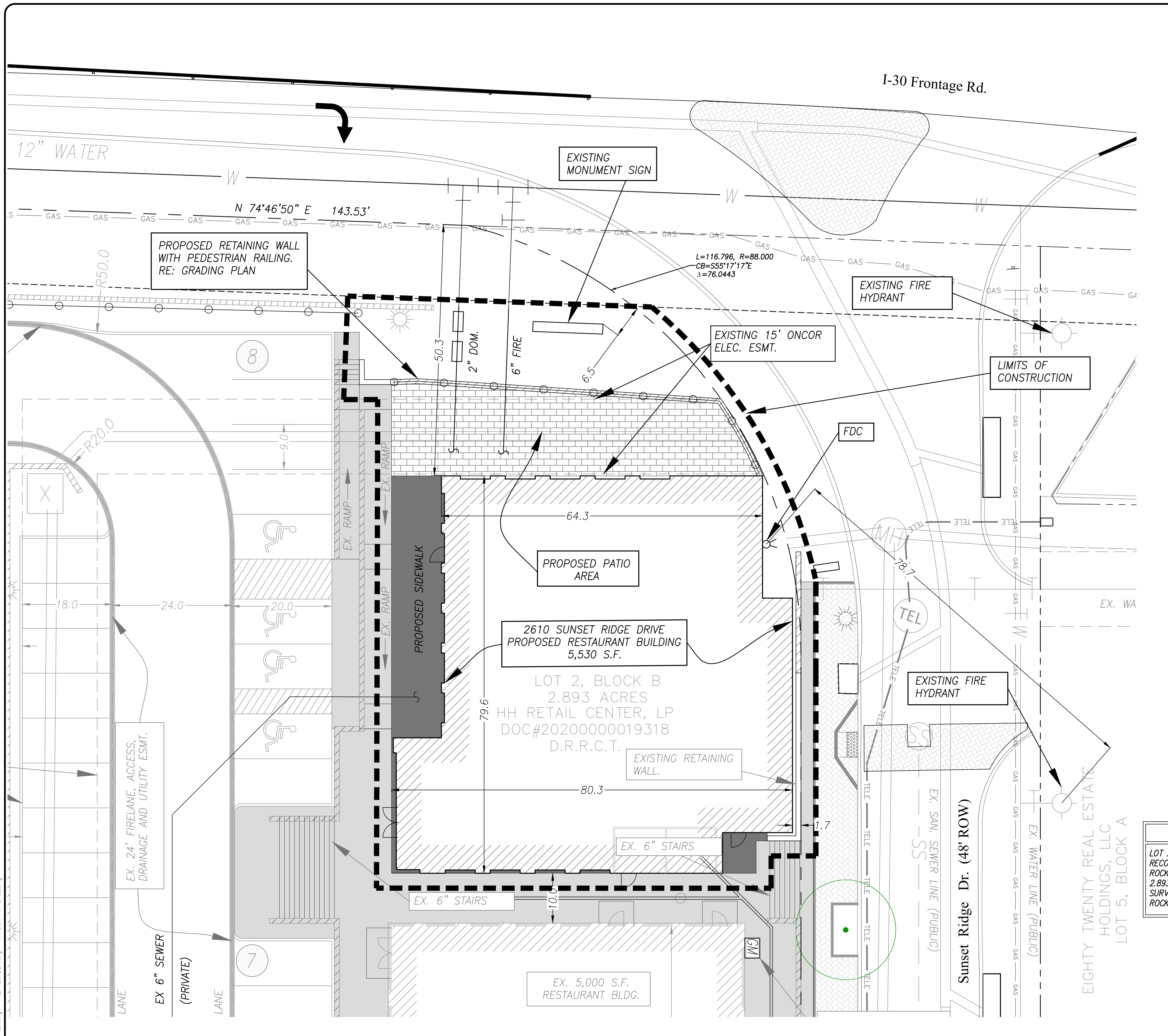
**1 OVERALL SITE PLAN**  
3/32" = 1'-0"



Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

4/13/2023 3:02:25 PM

Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at Apr 13, 2023 - 8:45pm by calson  
 Layout: SITE PLAN - X SURVEY.dwg - PRE-BORDER.dwg - HARBOR-RR-BASE.dwg



**SITE INFORMATION:**

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
  - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**LEGEND**

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

**LEGAL DESCRIPTION**

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

**OWNER INFORMATION**

HH RETAIL CENTER, LP,  
2701 SUNSET RIDGE DRIVE  
ROCKWALL, TX 75032

**ENGINEER INFORMATION**

CAMERON SLOWN, P.E.  
TEAGUE, NALL AND PERKINS, INC.  
825 WATTERS CREEK BLVD, SUITE M300  
ALLEN, TX 75013

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.  
Witness our hands this \_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

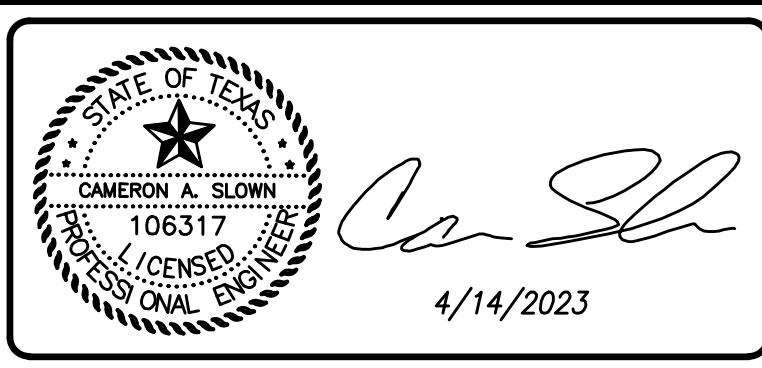
\_\_\_\_\_  
Director of Planning & Zoning

CASE NUMBER: SP2023- NOT FOR CONSTRUCTION

no.	revision	by	date



**teague nall and perkins, inc**  
825 Watters Creek Blvd., Suite M300  
Allen, Texas 75013  
214.461.9867 ph 214.461.9864 fx  
www.tnppinc.com  
TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale  
when bar is 1 inch long  
horiz 1"=30'  
vert N/A  
APR 2023

**HH RETAIL CENTER, LP.**

ROCKWALL, Texas  
Improvements for  
**2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING**  
SITE PLAN

tnp project  
OZO20505  
sheet  
**C1.04**

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

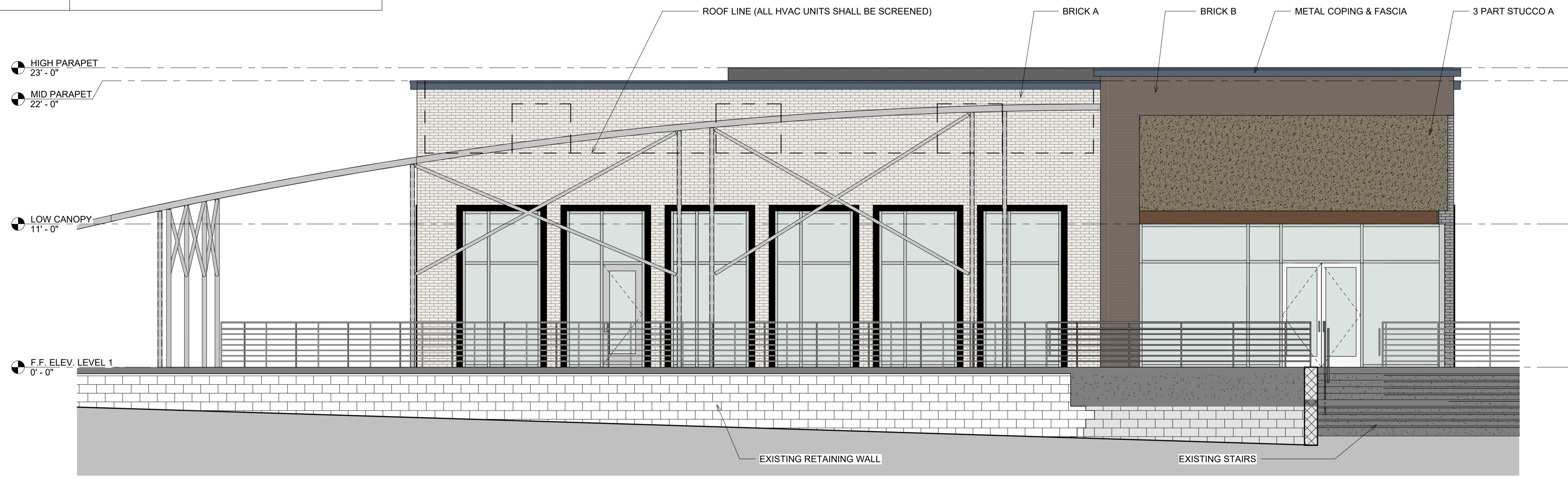
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 Planning & Zoning Commission, Chairman      \_\_\_\_\_  
 Director of Planning and Zoning

**STROHMEYER**  
 ARCHITECTS INC.

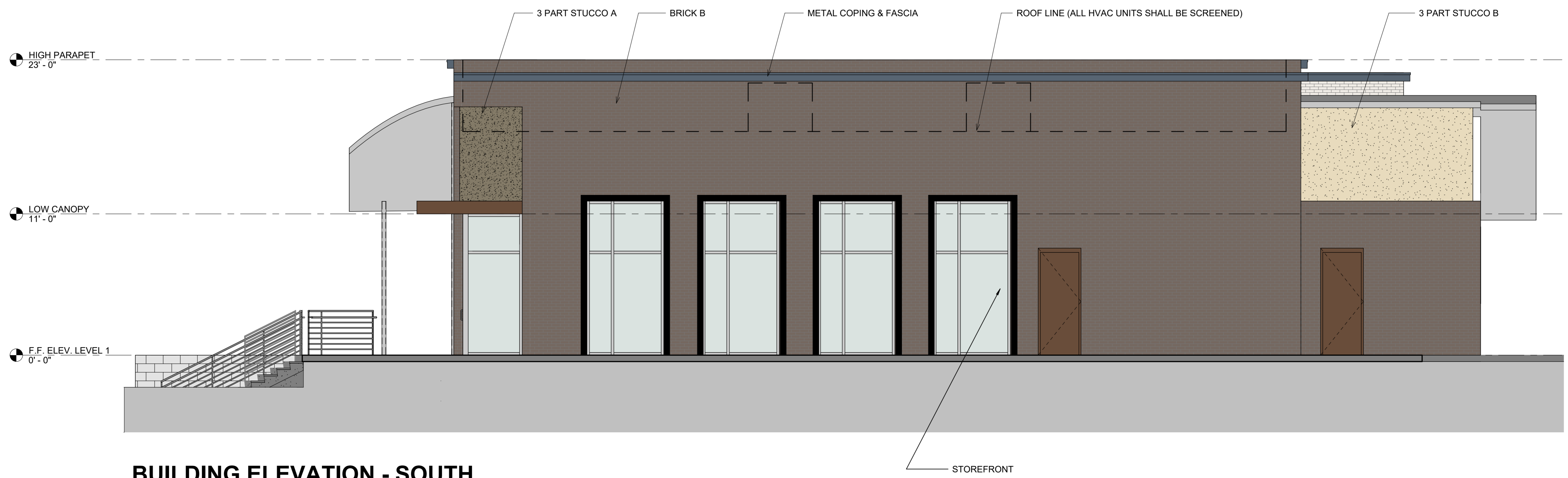
ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
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 825 WATTERS CREEK BLVD.  
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 ALLEN, TEXAS 75013

STRUCTURAL  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - WEST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - SOUTH**  
 1/4" = 1'-0"

JIMMY STROHMEYER, AIA  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR  
 HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: PC  
 Checked: JS  
 Scale: As indicated

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Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR  
 ELEVATIONS**

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
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EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

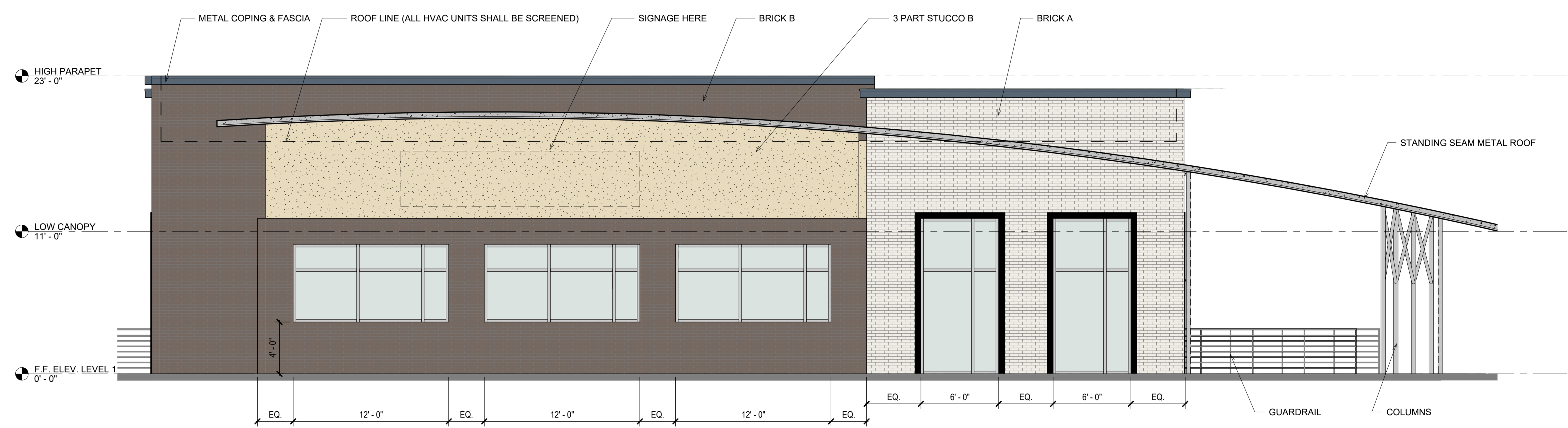
\_\_\_\_\_  
Director of Planning and Zoning



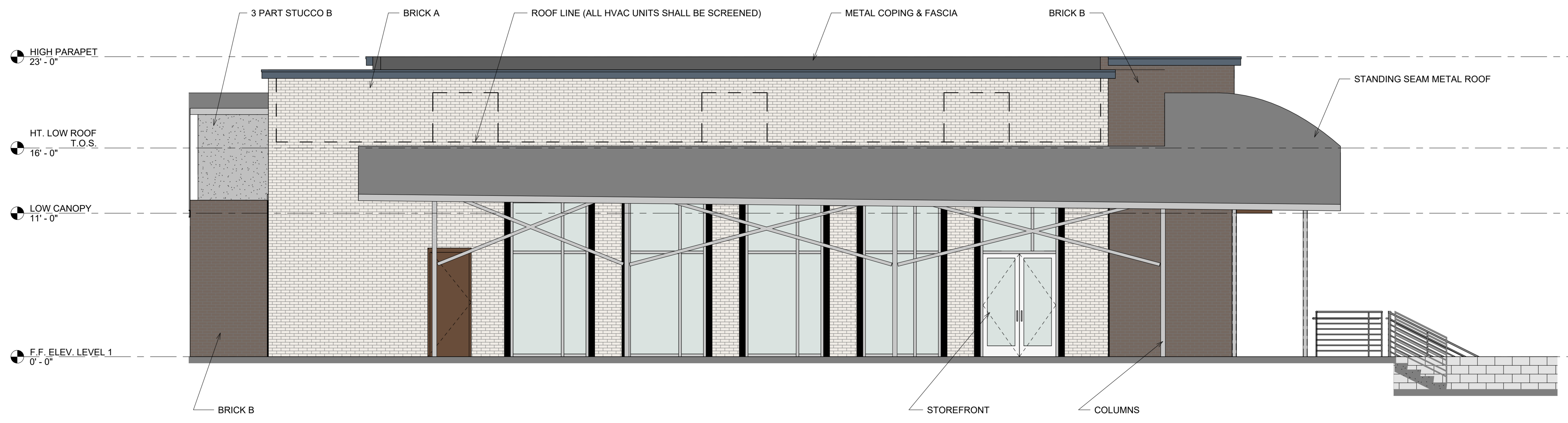
**ARCHITECT**  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
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ALLEN, TEXAS 75013

**STRUCTURAL**  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - EAST**  
1/4" = 1'-0"



**1 BUILDING ELEVATION - NORTH**  
1/4" = 1'-0"

**JIMMY STROHMEYER, AIA**  
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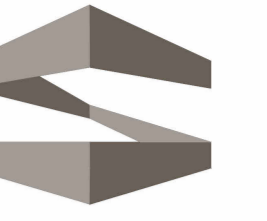
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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**EXTERIOR ELEVATIONS**

Autodesk Docs://HRRR\_FINCH/HRRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

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**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
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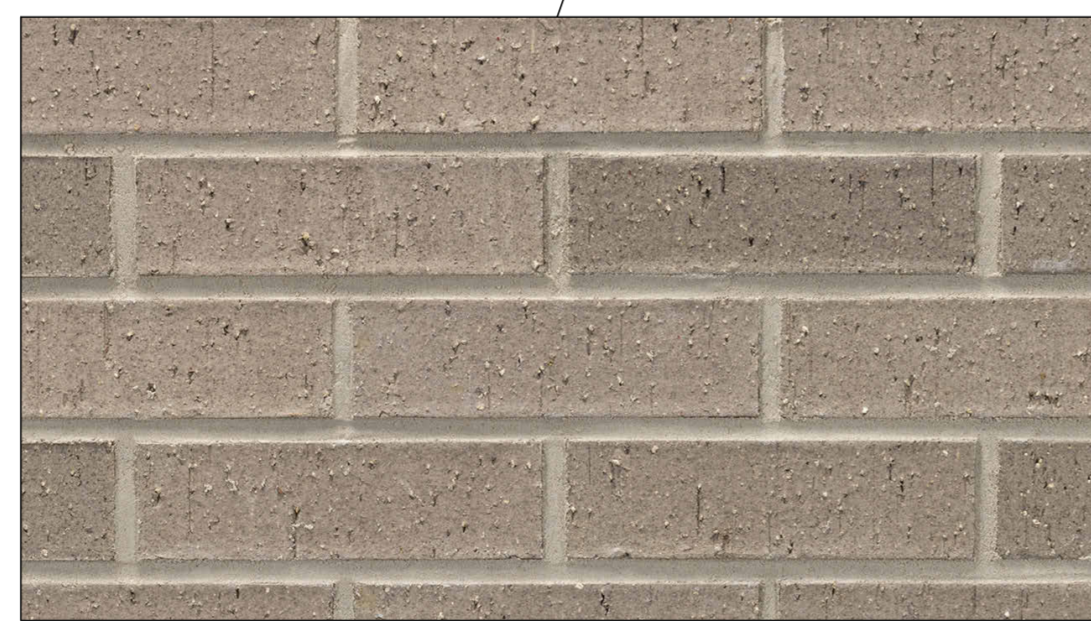
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Revisions:  
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Sheet Title:  
**COLOR BOARD**



**ACME BRICK  
GLACIER WHITE**



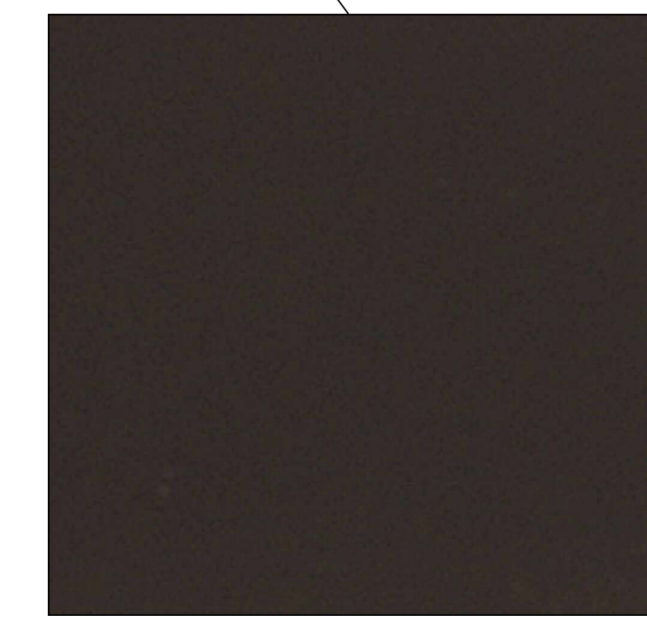
**ACME BRICK  
MARBLE GRAY**



**SENERGY  
SAHARA MAXI - SAGE**



**SENERGY  
SAHARA MAXI - GRAY MORTAR**

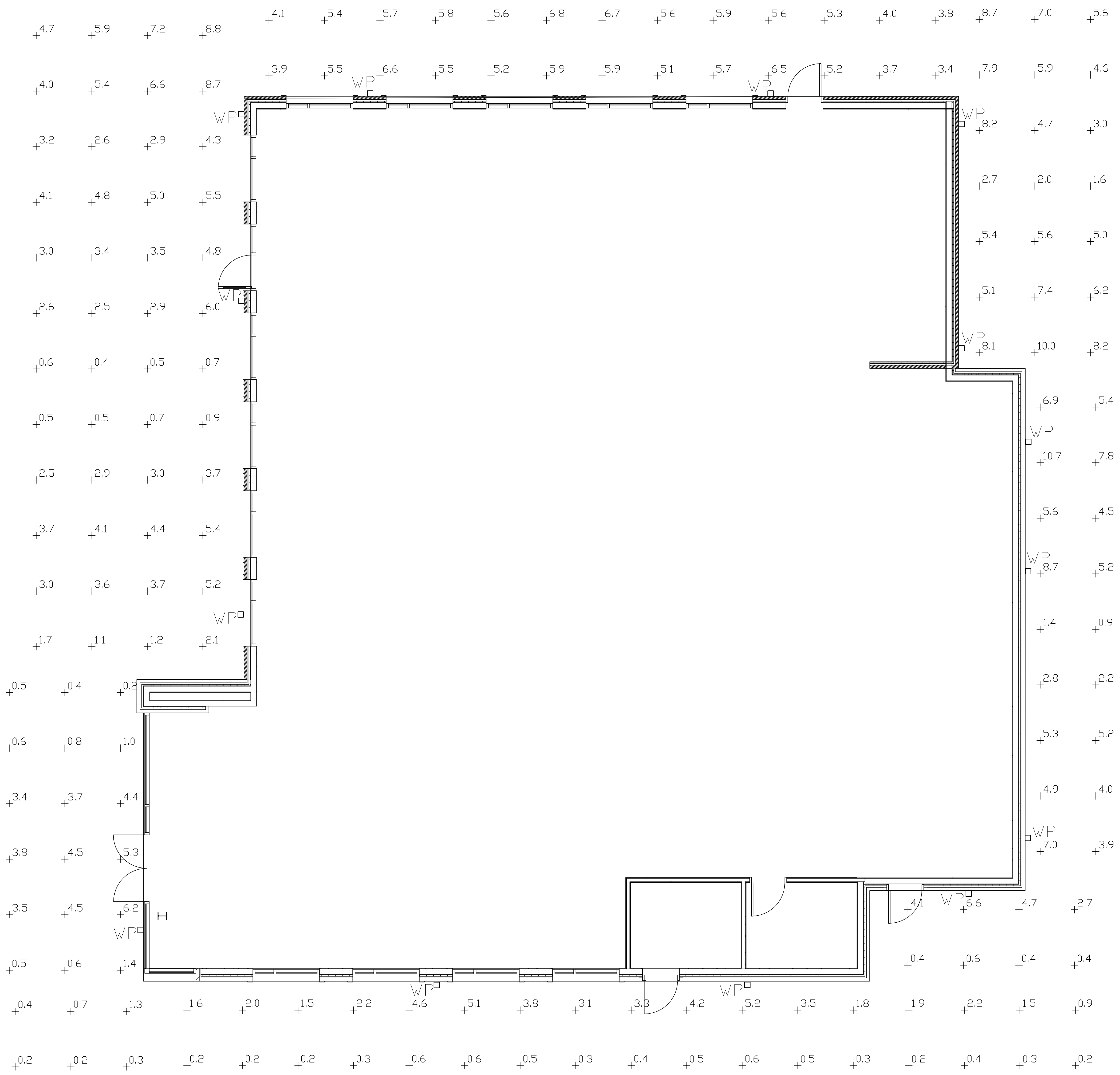


**DARK BRONZE**

Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.rvt

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LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHELDING	COOPER EATON	IST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
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CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE 500  
 ALLEN, TEXAS 75013

MEP ENGINEERING  
 C1S GROUP  
 4231 SIGMA ROAD, SUITE 110,  
 DALLAS, TEXAS 75244

PROFESSIONAL SEALS  
 LECHTENBERG ENGINEERING, PLLC  
 TEXAS REGISTERED ENGINEERING FIRM  
 F-15918

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PATRICK A. LECHTENBERG, P.E. #91377 ON THE DATE INDICATED. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. THE SEAL IS NOT VALID WITHOUT SIGNATURE.

04/14/23

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Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: AUTHOR  
 Checked: CHECKER  
 Scale: NONE

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Revisions:  
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Sheet Title:  
**PHOTOMETRIC  
 SITE PLAN**

# 1 PHOTMETRIC FLOOR PLAN - LEVEL 1

NONE

\\CIS-FS01C1S\Projects\2-DESIGN\2023\55 Strohmeier\HRRR\Finch MEP\4\_DESIGN\REV\HRRR\_FINCH\_4.12.23.rvt 4/14/2023 12:39:04 PM





# DEVELOPMENT APPLICATION

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Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

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- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeierarchitects.com

## NOTARY VERIFICATION [REQUIRED]

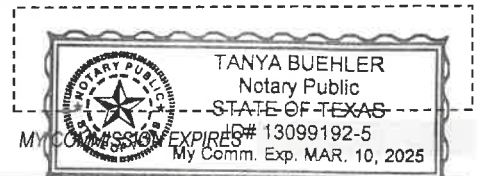
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

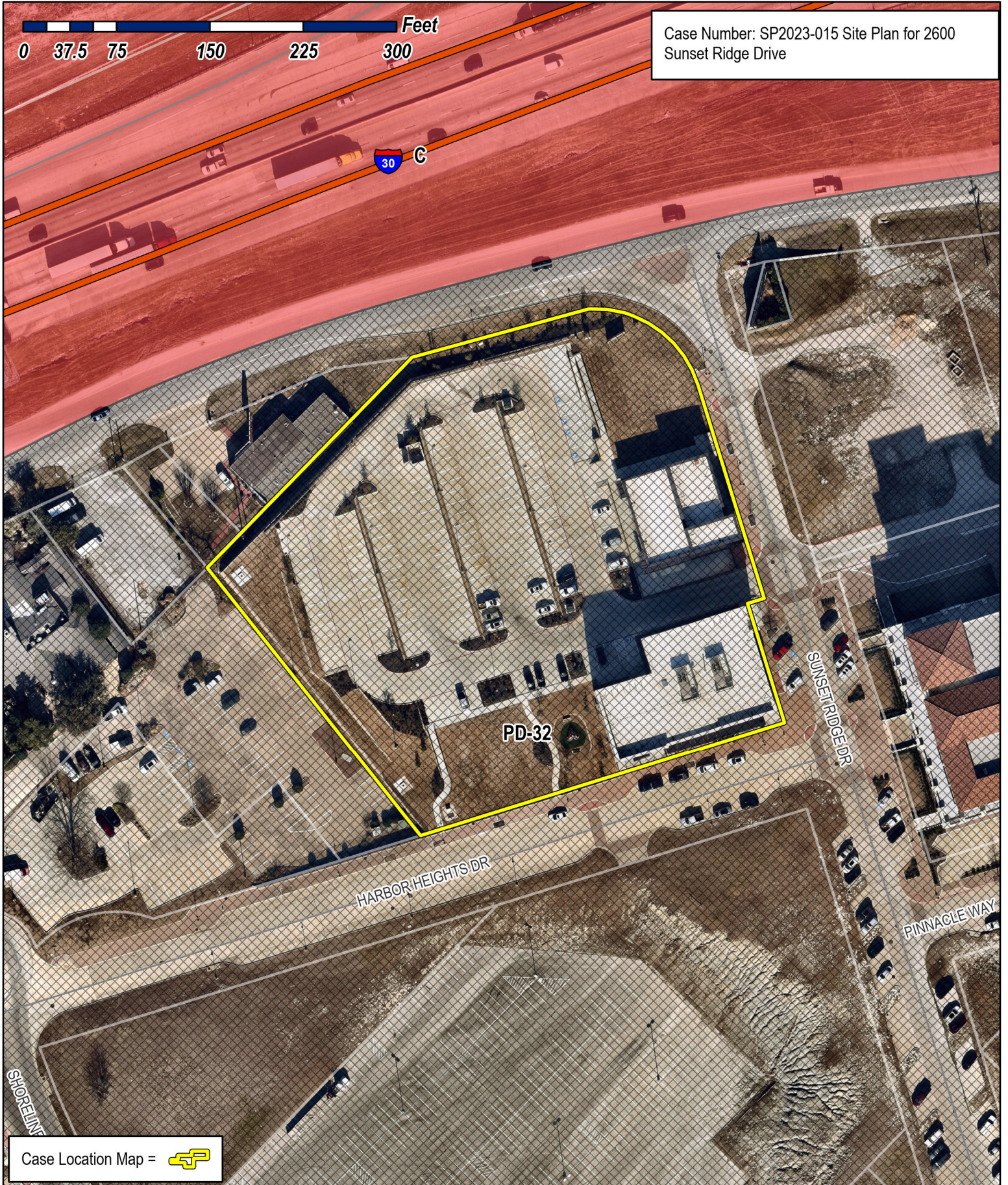
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 37.5 75 150 225 300 Feet

Case Number: SP2023-015 Site Plan for 2600  
Sunset Ridge Drive



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

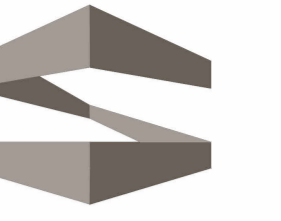
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Service Road  
30 SERVICE ROAD

**LEGEND**

- PLANTING POTS
- ⊗ SHRUB  
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING  
DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- PATIO TABLES



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA

PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR  
HEIGHTS**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale: As indicated

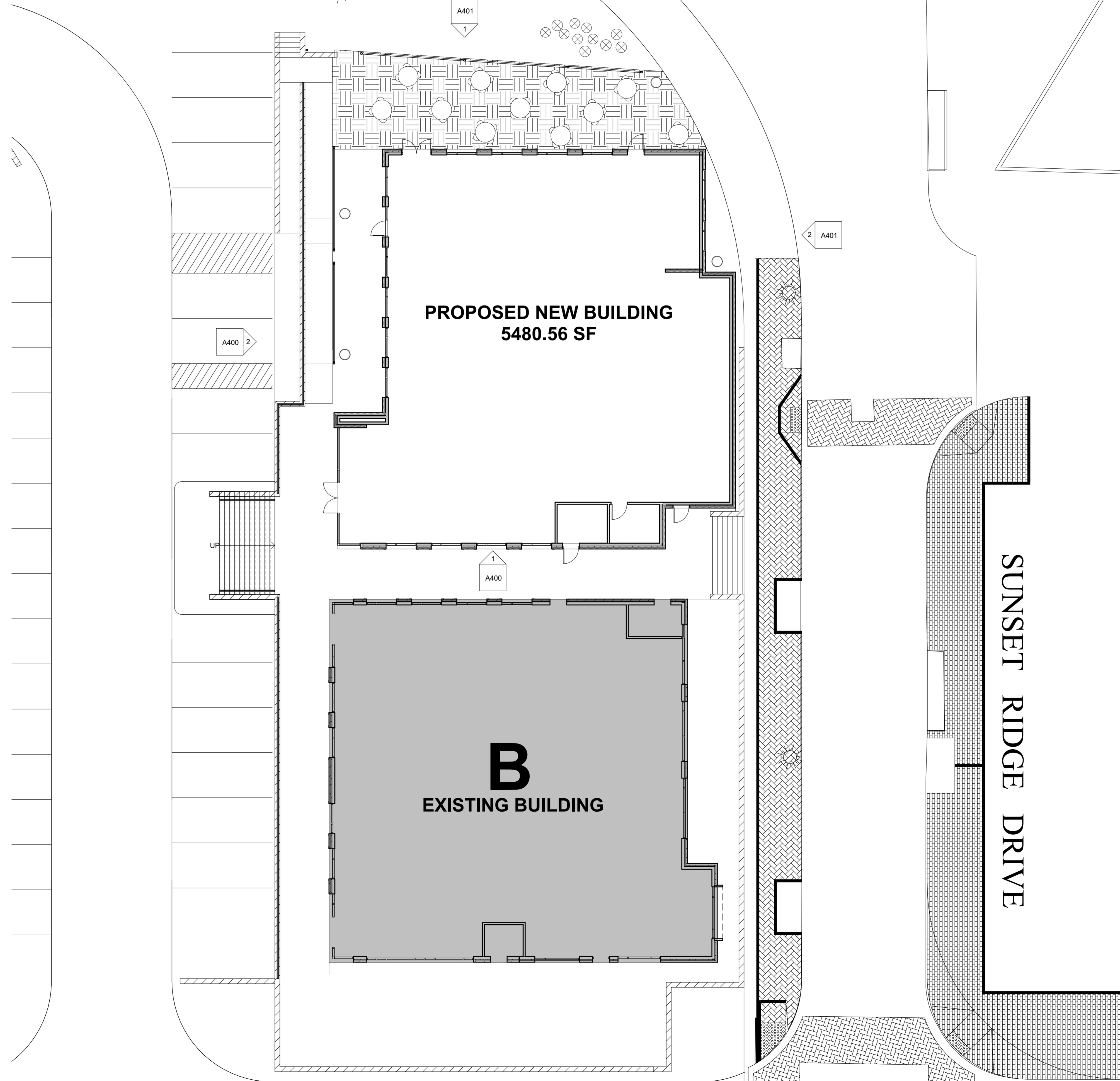
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Revisions:  
# Revision Date Revision Description

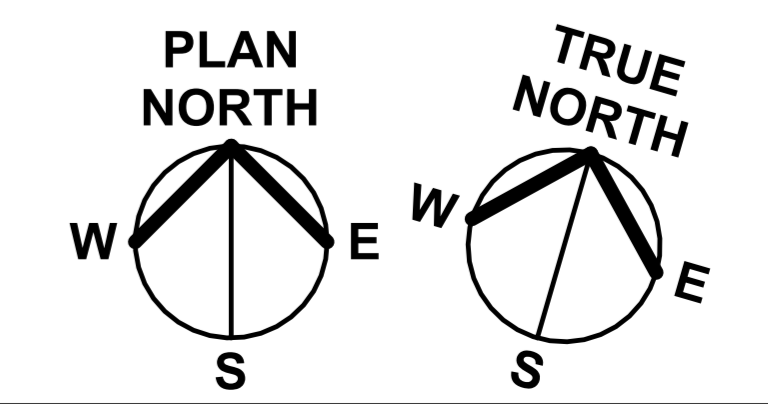
Sheet Title:

**OVERALL SITE  
PLAN**

A101 A



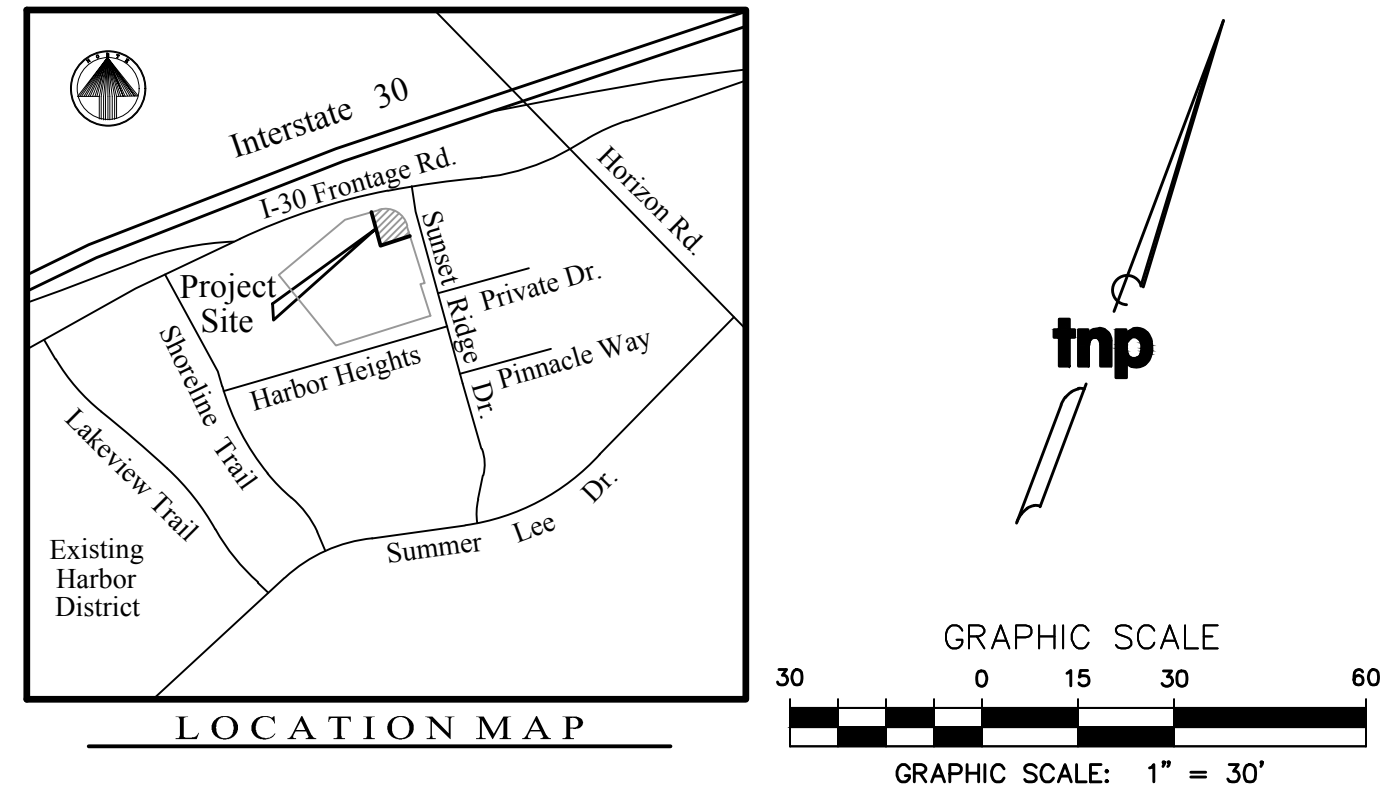
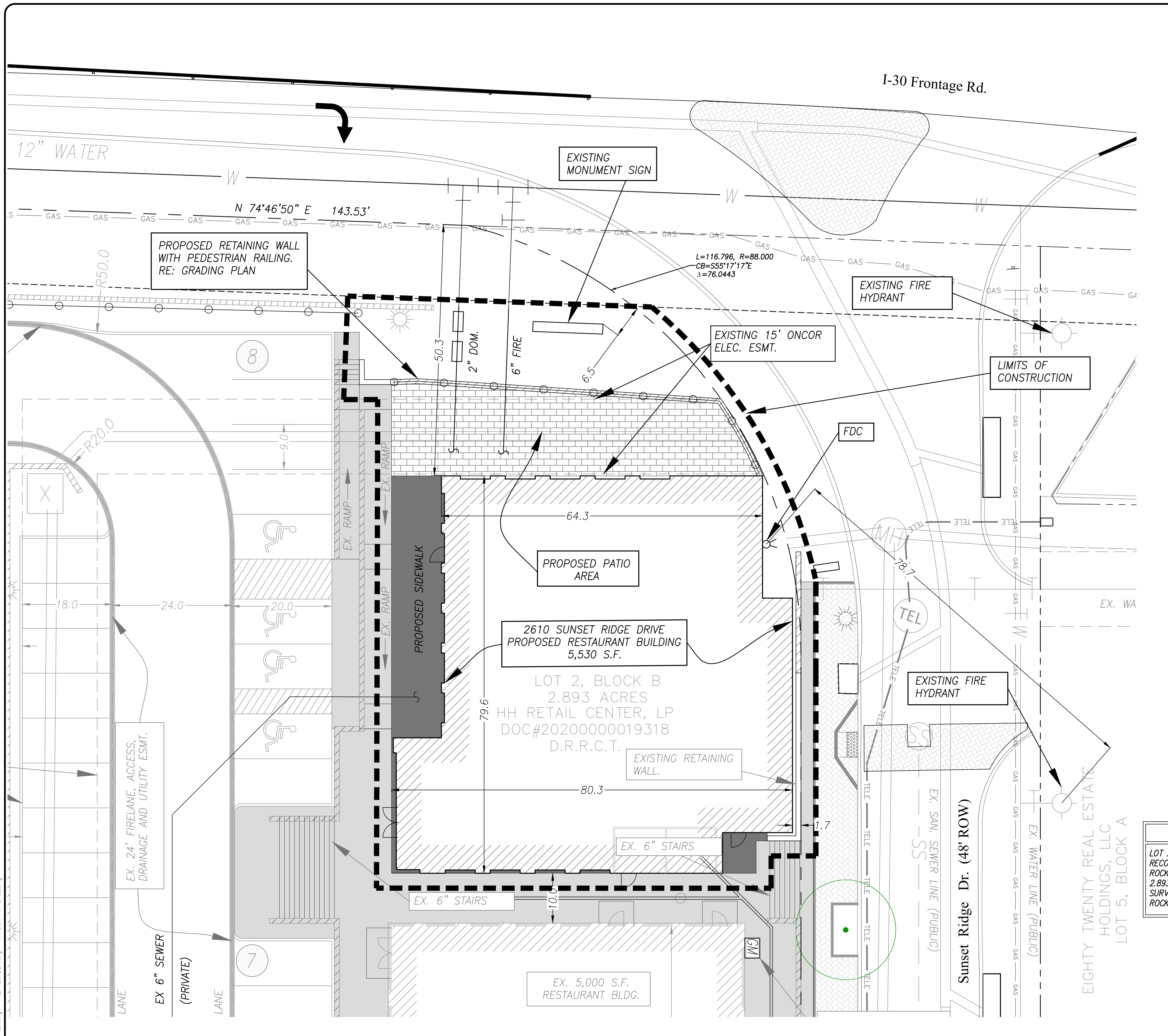
**1 OVERALL SITE PLAN**  
3/32" = 1'-0"



Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

4/13/2023 3:02:25 PM

Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at Apr 13, 2023 - 8:45pm by cslown  
 Layout: SITE PLAN - X SURVEY.dwg - PRE-BORDER.dwg - HARBOR-RR-BASE.dwg



**SITE INFORMATION:**

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 -> 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
  - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**LEGEND**

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

**LEGAL DESCRIPTION**  
 LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

**OWNER INFORMATION**  
 HH RETAIL CENTER, LP,  
 2701 SUNSET RIDGE DRIVE  
 ROCKWALL, TX 75032

**ENGINEER INFORMATION**  
 CAMERON SLOWN, P.E.  
 TEAGUE, NALL AND PERKINS, INC.  
 825 WATTERS CREEK BLVD, SUITE M300  
 ALLEN, TX 75013

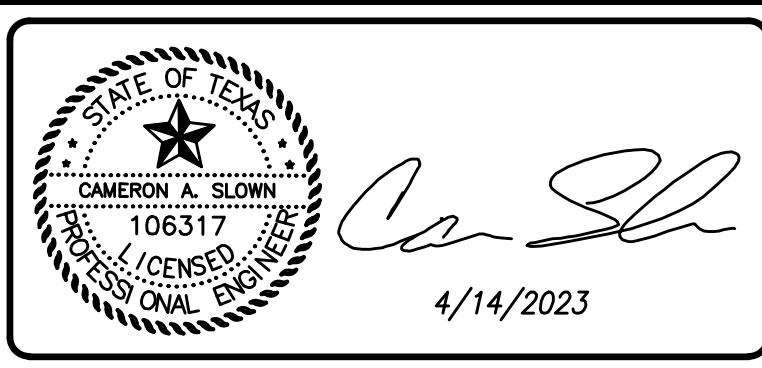
APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.  
 Witness our hands this \_\_\_\_ day of \_\_\_\_\_, 2023.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman  
 \_\_\_\_\_  
 Director of Planning & Zoning

CASE NUMBER: SP2023- NOT FOR CONSTRUCTION

no.	revision	by	date



**teague nall and perkins, inc**  
 825 Watters Creek Blvd., Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 www.tnppinc.com  
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale  
 when bar is 1 inch long  
 horiz 1"=30'  
 vert N/A  
 APR 2023

**HH RETAIL CENTER, LP.**

ROCKWALL, Texas  
 Improvements for  
**2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING**  
**SITE PLAN**

tnp project  
**OZO20505**  
 sheet  
**C1.04**

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

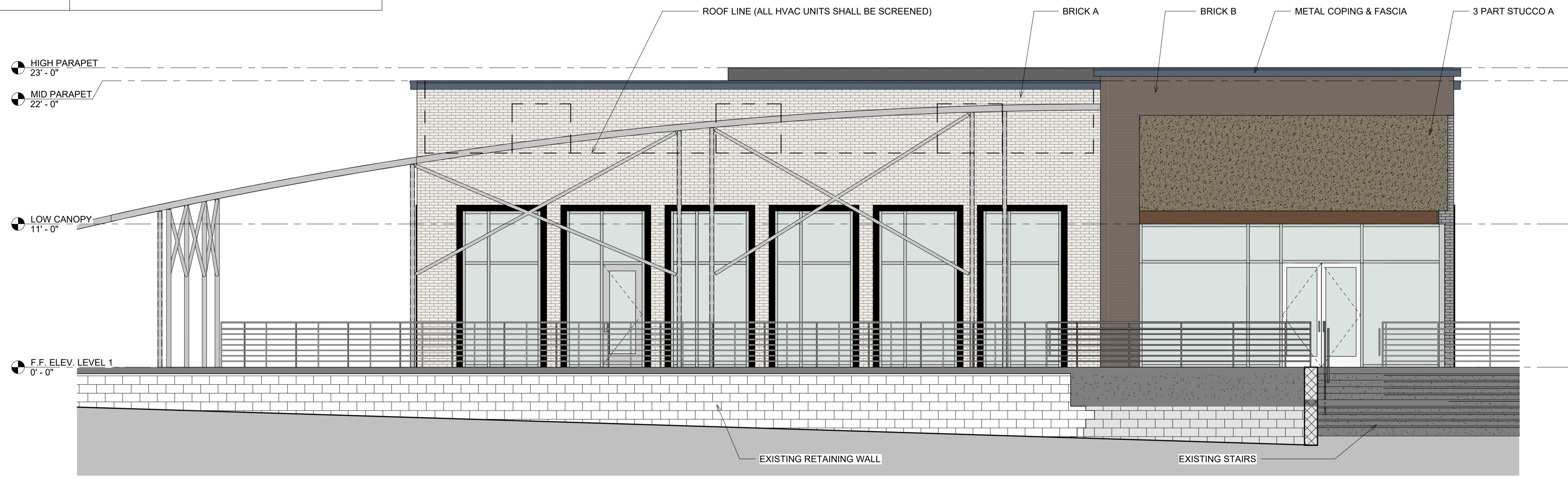
**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      \_\_\_\_\_  
 Director of Planning and Zoning

**STROHMEYER**  
 ARCHITECTS INC.

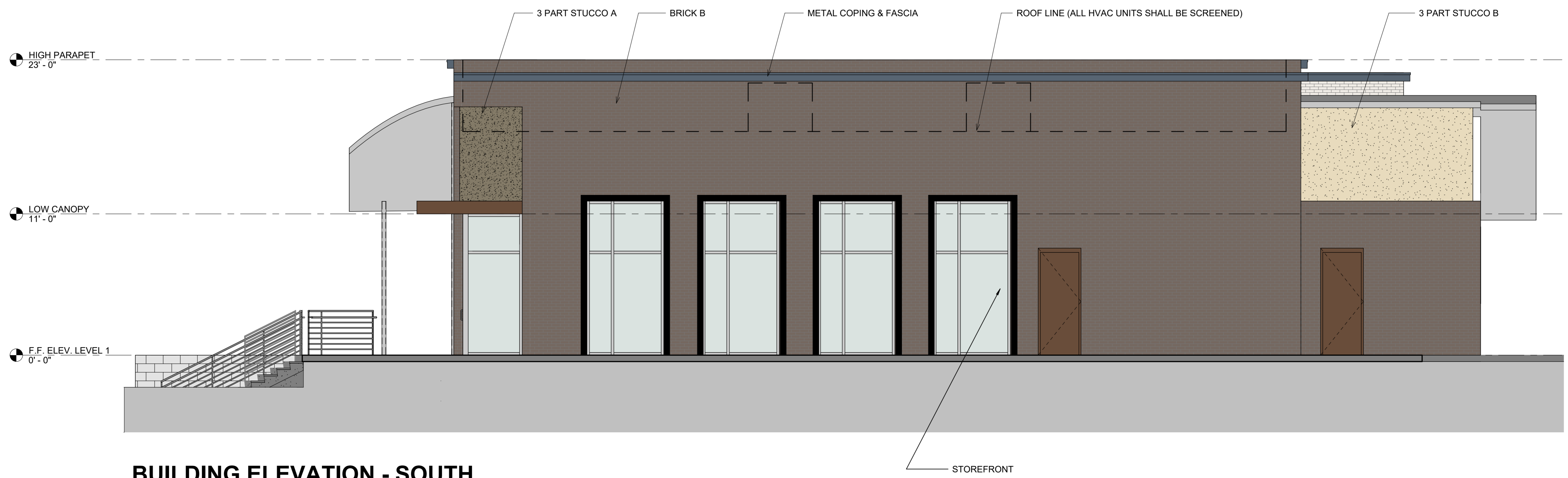
ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE M300  
 ALLEN, TEXAS 75013

STRUCTURAL  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - WEST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - SOUTH**  
 1/4" = 1'-0"

JIMMY STROHMEYER, AIA  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR  
 HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: PC  
 Checked: JS  
 Scale: As indicated

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Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR  
 ELEVATIONS**

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
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	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
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**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.

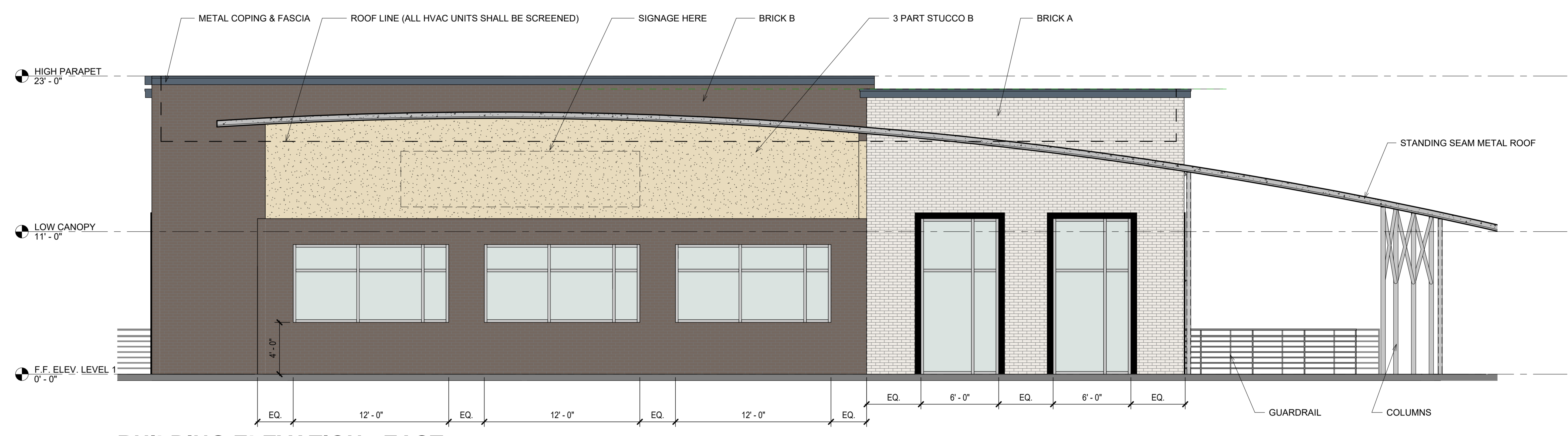
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**STROHMEYER**  
ARCHITECTS INC.

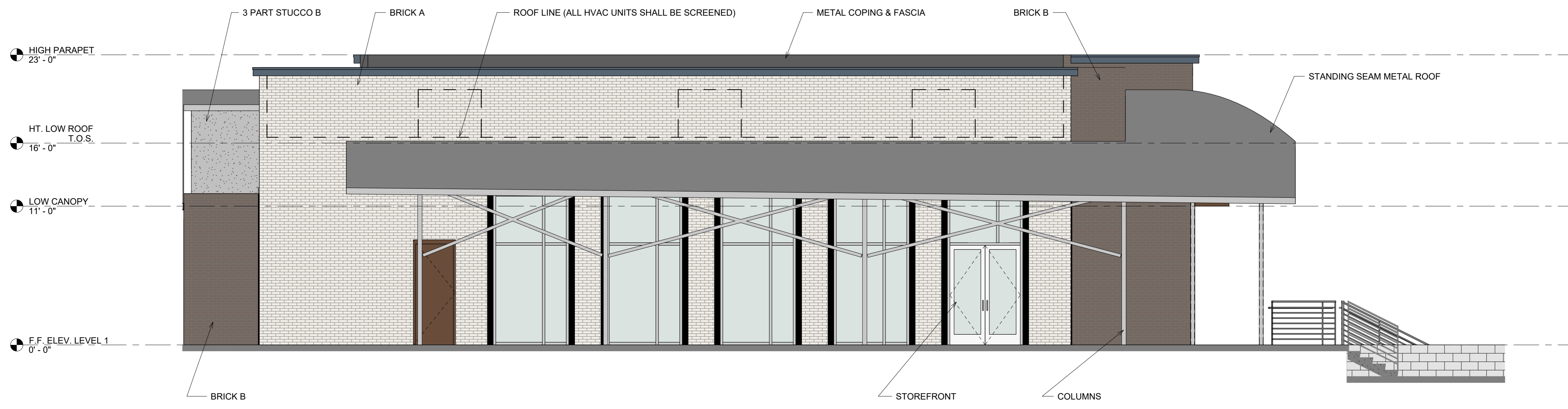
ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - EAST**  
1/4" = 1'-0"



**1 BUILDING ELEVATION - NORTH**  
1/4" = 1'-0"

**JIMMY STROHMEYER, AIA**  
PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR HEIGHTS**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale: As indicated

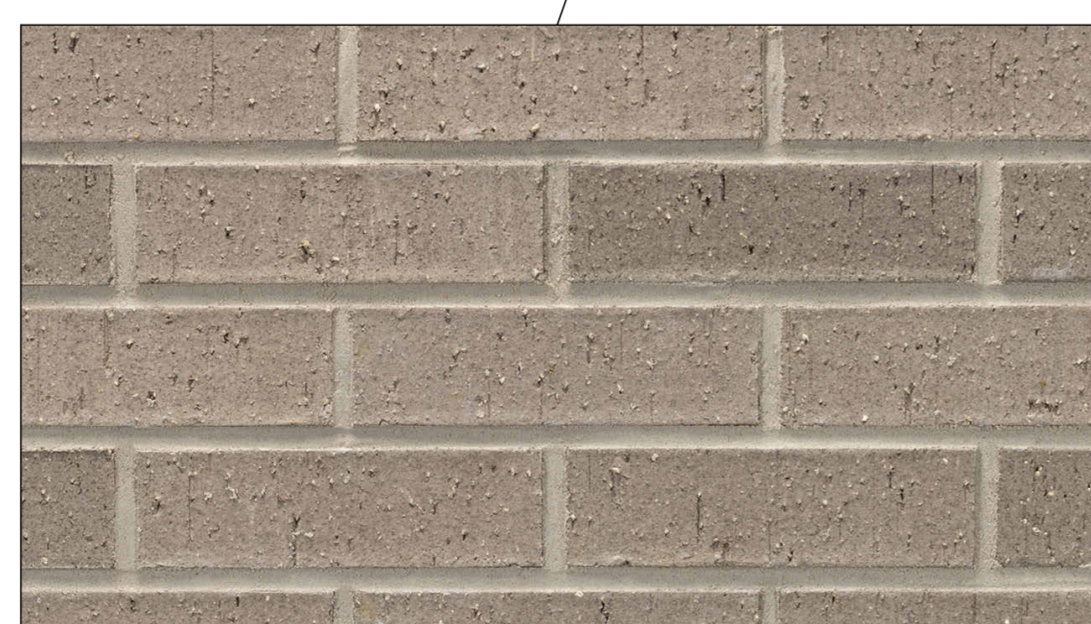
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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**EXTERIOR ELEVATIONS**



**ACME BRICK  
GLACIER WHITE**



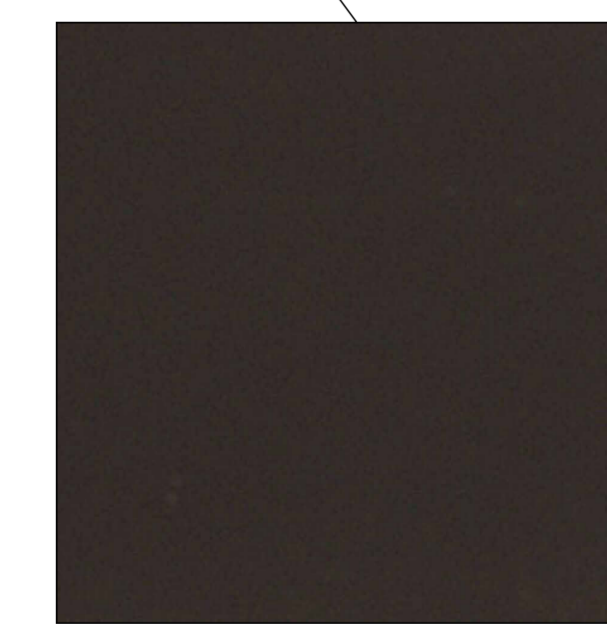
**ACME BRICK  
MARBLE GRAY**



**SENERGY  
SAHARA MAXI - SAGE**



**SENERGY  
SAHARA MAXI - GRAY MORTAR**



**DARK BRONZE**



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244

**JIMMY STROHMEYER, AIA**  
PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
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APPROVAL

**HARBOR  
HEIGHTS**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

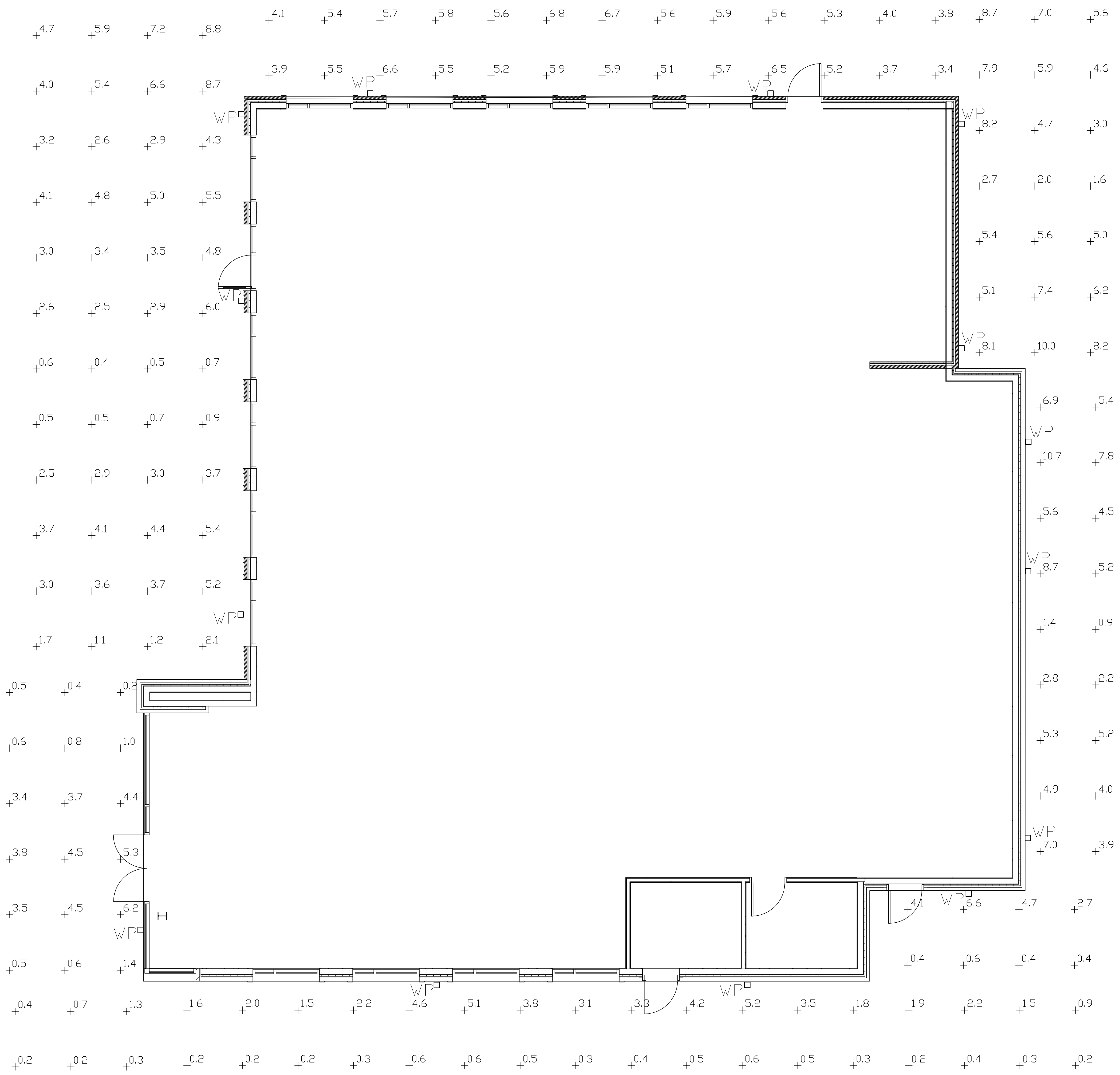
Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale:

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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**COLOR BOARD**

LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHELDDING	COOPER EATON	IST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

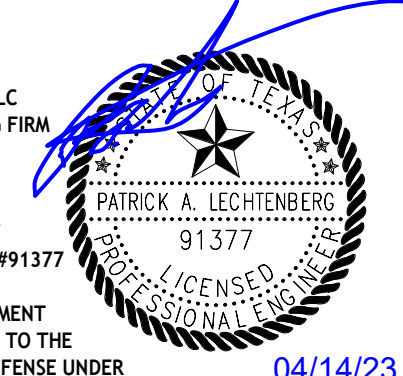
CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE 500  
 ALLEN, TEXAS 75013

MEP ENGINEERING  
 C1S GROUP  
 4231 SIGMA ROAD, SUITE 110,  
 DALLAS, TEXAS 75244

PROFESSIONAL SEALS  
 LECHTENBERG ENGINEERING, PLLC  
 TEXAS REGISTERED ENGINEERING FIRM  
 F-15918

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PATRICK A. LECHTENBERG, P.E. #91377 ON THE DATE INDICATED. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. THE SEAL IS NOT VALID WITHOUT SIGNATURE.

04/14/23



PRELIMINARY - NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL

## HARBOR HEIGHTS

THE FINCH  
 2600 SUNSET RIDGE DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: AUTHOR  
 Checked: CHECKER  
 Scale: NONE

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Revisions:

#	Revision Date	Revision Description
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Sheet Title:  
**PHOTOMETRIC SITE PLAN**

# 1 PHOTMETRIC FLOOR PLAN - LEVEL 1

NONE

\\CIS-FS01C1S\Projects\2-DESIGN\REV\HRRR\_Finch MEP\4\_DESIGN\REV\HRRR\_FINCH\_4.12.23.rvt 4/14/2023 12:39:04 PM



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-015  
PROJECT NAME: Site Plan for The Finch  
SITE ADDRESS/LOCATIONS: 2610 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-015; Site Plan for 2610 Sunset Ridge Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2023-015) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, of the UDC)

M.5 Site Plan

(1) Extend the sidewalk along Sunset Ridge Drive up to the right-of-way for IH-30.

(2) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

M.6 Photometric Plan

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, of the UDC)

(2) Please provide lighting cut sheets that indicate the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03.A, of Article 07, of the UDC)

M.7 Building Elevations

(1) Indicate exterior elevations adjacent to public right-of-way.

- (2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, of the UDC)
- (3) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing walls. (Subsection 04.01, of Article 05, of the UDC)
- (4) A minimum of 20% natural or quarried stone is required on all building façades in an Overlay District. (Subsection 06.02.C.1(a)(1), of Article 05, of the UDC). This will require a variance from the Planning and Zoning Commission.
- (5) The proposed buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (6) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (7) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. (Subsection 06.02.5, of Article 05, of the UDC and Planned Development District 32 [Ordinance 19-25]). This will require a variance from the Planning and Zoning Commission. For compensatory, dress up the South elevation with a couple architectural elements (i.e. an arcade) and varying materials as this elevation will be visible from Sunset Ridge.

#### M.8 Landscape Plan

- 1) Provide a landscape plan indicating a line of shrubs (24" tall, 36" on center) along IH-30 for an added noise barrier for the patio.
- 2) The four-sided architecture requirement also incorporates the requirement of a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) that shall be planted along perimeter of the subject property to the rear of the building. Staff suggests adding four (4) accent trees along the north side of the property to provide an added noise barrier for the patio.
- 3) Provide an exhibit of landscape pots.

#### M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

- (1) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet the articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property.
- (2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building has a flat roof and therefore does not meet this standard.
- (3) 20% Stone Requirement: According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the proposed building elevations do not incorporate any stone.

M. 10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11, of the UDC). Compensatory measures to consider:

- (1) Additional landscaping.
- (2) Increased building articulation.
- (3) Increased architectural elements.

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 25, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Approved

04/20/2023: - New construction to meet the utility, drainage, and grading requirements as constructed with the Harbor Heights Restaurant and Retail as-built plans. Please see as-built drawings attached.

The following items are informational for the design process.

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Dumpsters must have an oil/water separator installed.

Water and Wastewater Items:

- Water and fire sprinkler line must be 10' apart.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments

04/17/2023: The FDC location shall be reviewed. The FDC location shall allow hose lines to be readily and conveniently attached without interference from nearby objects, including retaining walls, fences, posts, or other obstructions. The FDC shall be 1.5–4 ft above the grade of the fire lane.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved w/ Comments

04/18/2023: Address will be 2610 Sunset Ridge, Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

04/17/2023: Please provide landscape plan for the new addition only



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeysterarchitects.com

## NOTARY VERIFICATION [REQUIRED]

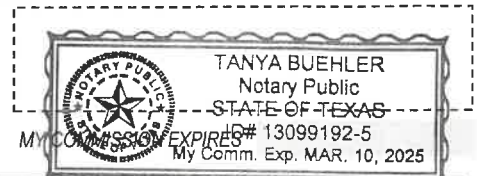
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

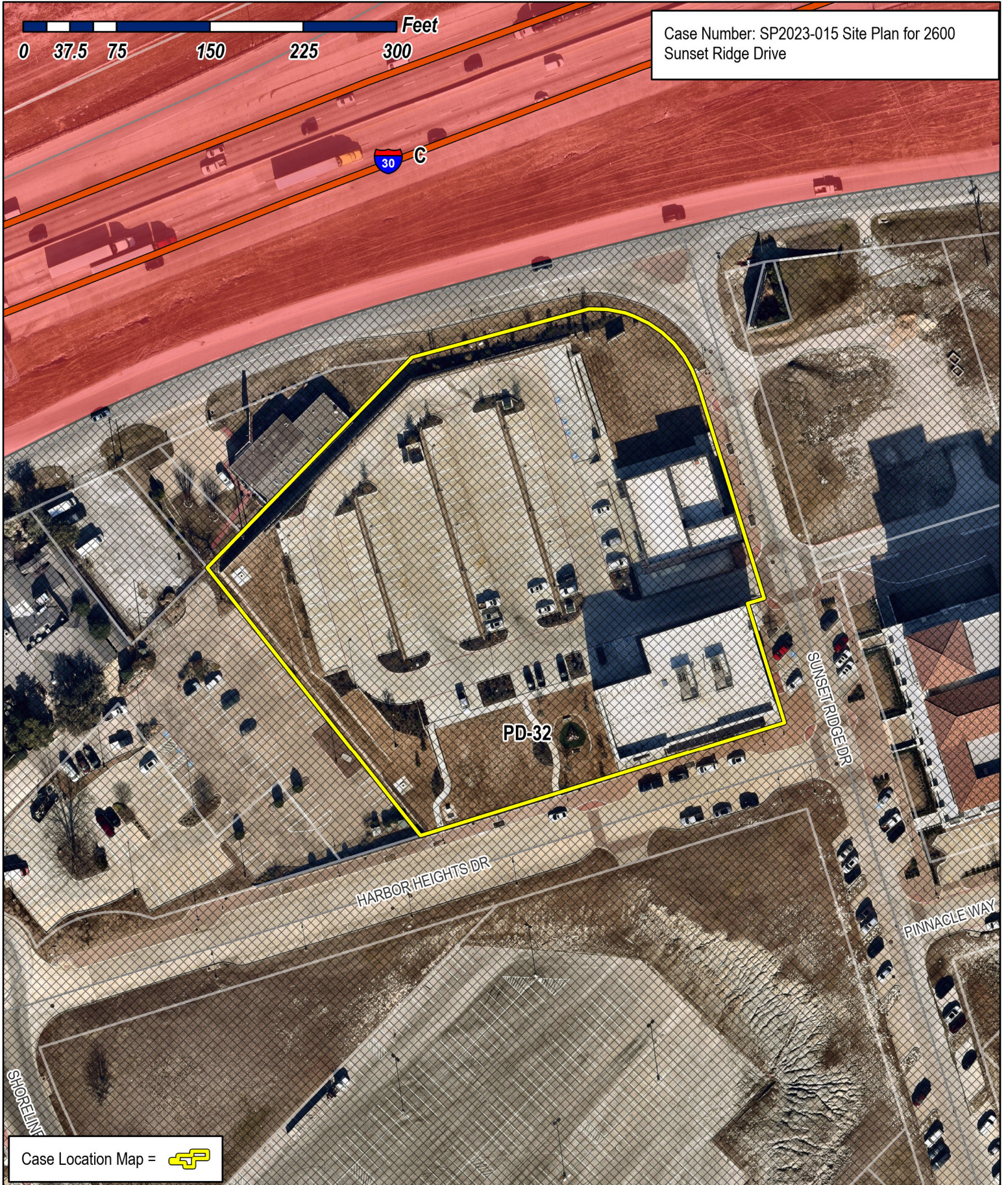
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 37.5 75 150 225 300 Feet

Case Number: SP2023-015 Site Plan for 2600  
Sunset Ridge Drive



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

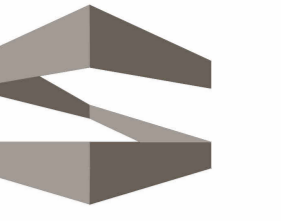
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Service Road  
30 SERVICE ROAD

**LEGEND**

- PLANTING POTS
- ⊗ SHRUB  
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING  
DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- PATIO TABLES



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA

PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR  
HEIGHTS**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale: As indicated

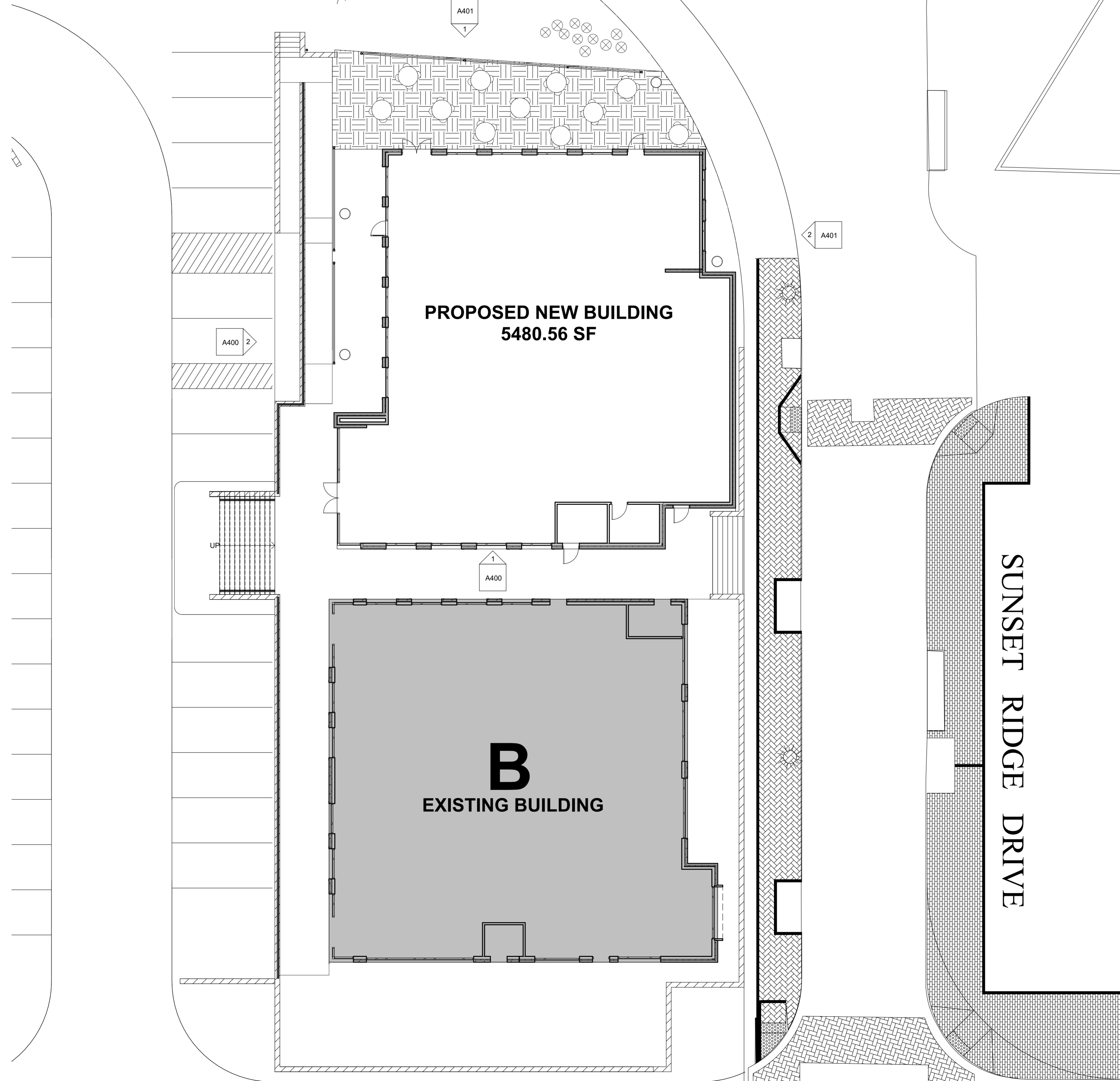
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Revisions:  
# Revision Date Revision Description

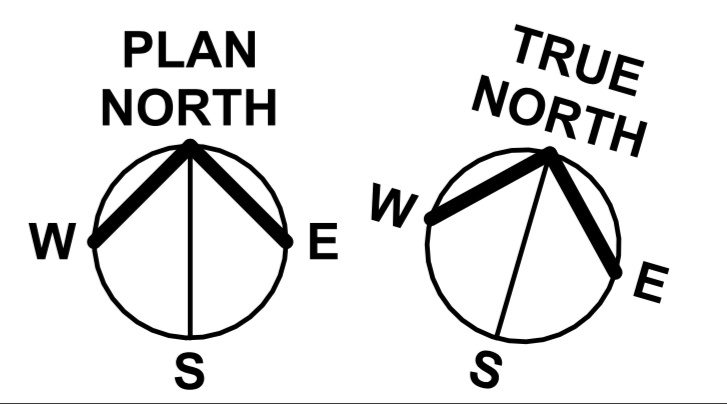
Sheet Title:

**OVERALL SITE  
PLAN**

A101 A



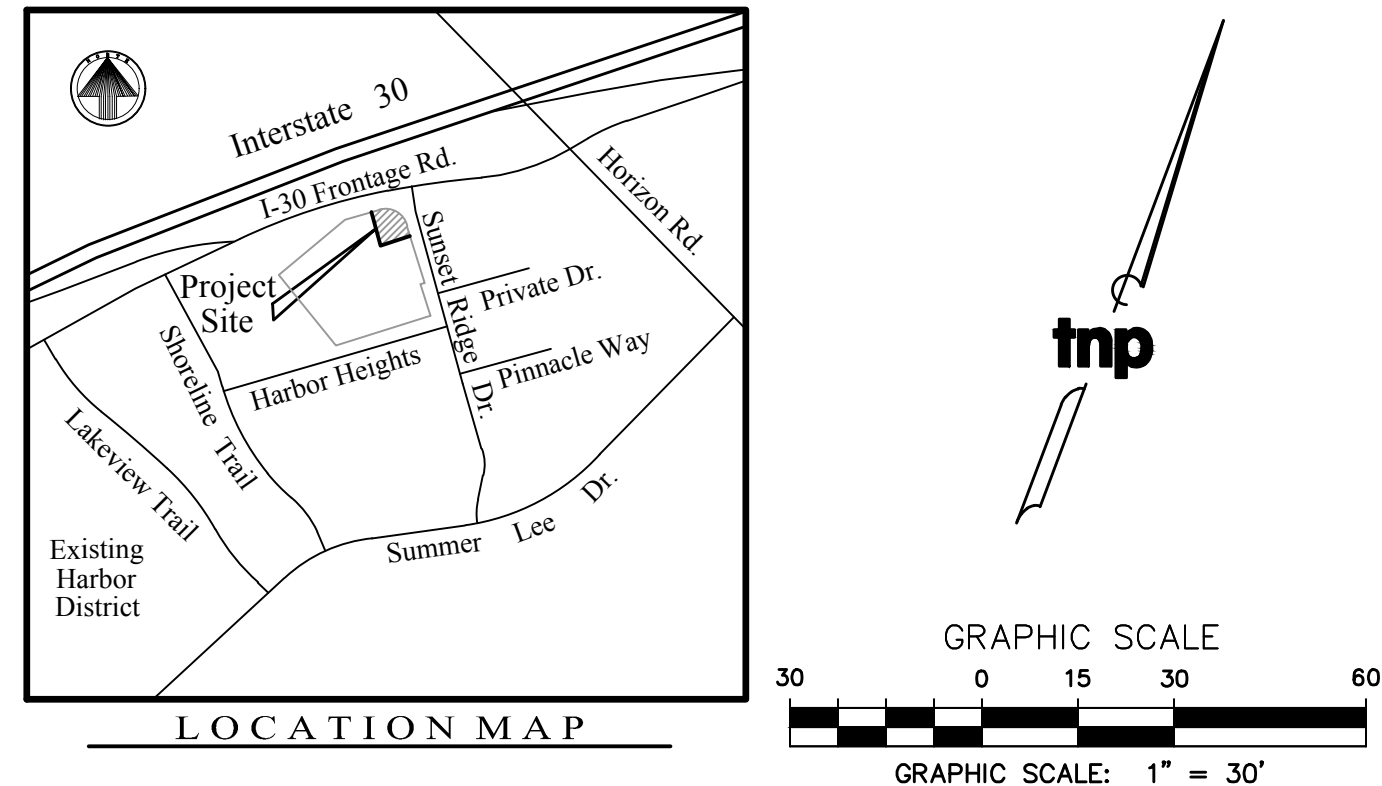
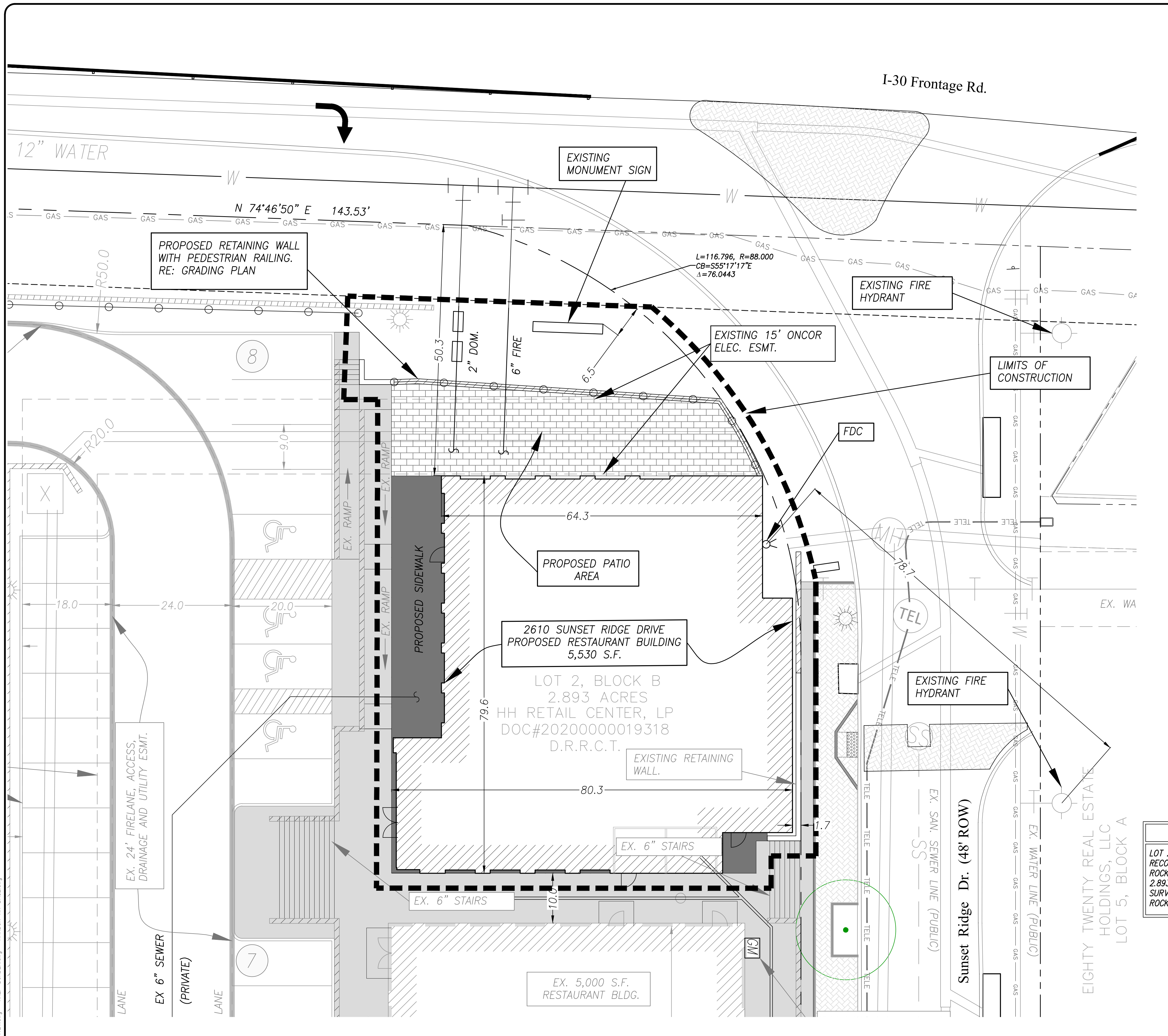
**1 OVERALL SITE PLAN**  
3/32" = 1'-0"



Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

4/13/2023 3:02:25 PM

Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at Apr 13, 2023 - 8:45pm by calson  
 Layout: SITE PLAN - X SURVEY.dwg - PRE-BORDER.dwg - HARBOR-RR-BASE.dwg



**SITE INFORMATION:**

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
  - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
  - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**LEGEND**

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

**LEGAL DESCRIPTION**  
 LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

**OWNER INFORMATION**  
 HH RETAIL CENTER, LP,  
 2701 SUNSET RIDGE DRIVE  
 ROCKWALL, TX 75032

**ENGINEER INFORMATION**  
 CAMERON SLOWN, P.E.  
 TEAGUE, NALL AND PERKINS, INC.  
 825 WATTERS CREEK BLVD, SUITE M300  
 ALLEN, TX 75013

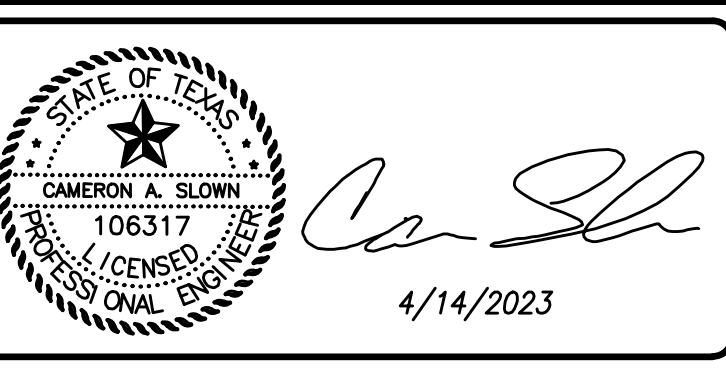
APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.  
 Witness our hands this \_\_\_\_ day of \_\_\_\_\_, 2023.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman  
 \_\_\_\_\_  
 Director of Planning & Zoning

CASE NUMBER: SP2023- NOT FOR CONSTRUCTION

no.	revision	by	date



**teague nall and perkins, inc**  
 825 Watters Creek Blvd., Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 www.tnppinc.com  
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale  
 when bar is  
 1 inch long  
 horiz  
 1"=30'  
 vert  
 N/A  
 APR 2023

**HH RETAIL CENTER, LP.**

**ROCKWALL, Texas**  
 Improvements for  
**2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING**  
**SITE PLAN**

tnp project  
**OZO20505**  
 sheet  
**C1.04**

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

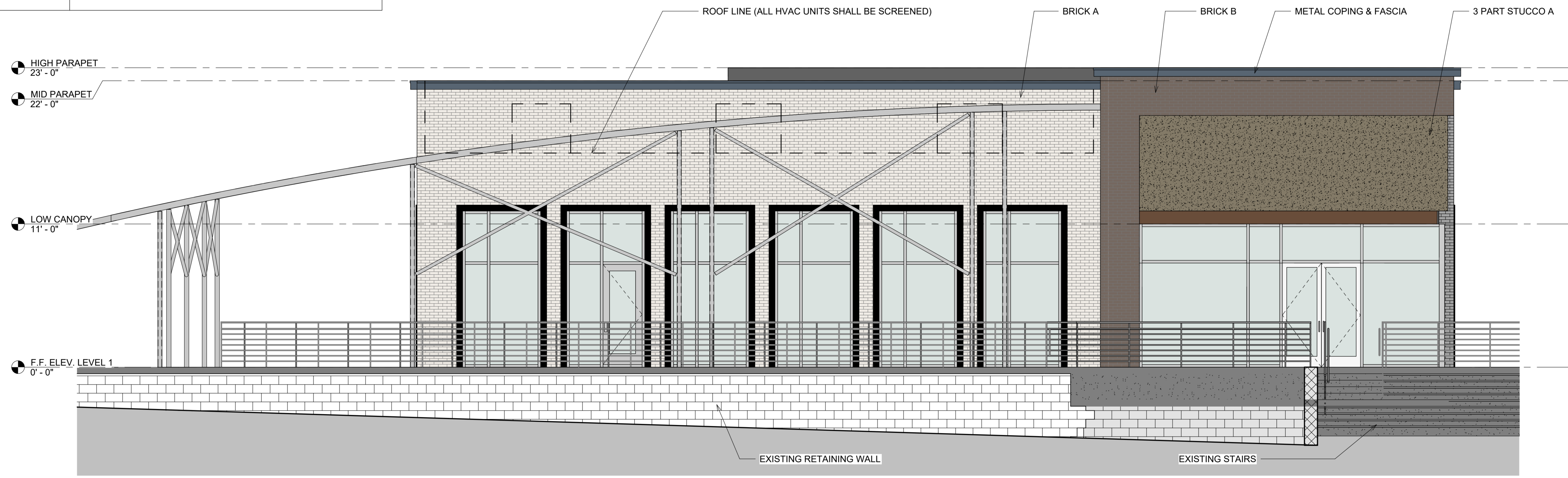
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 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      \_\_\_\_\_  
 Director of Planning and Zoning

**STROHMEYER**  
 ARCHITECTS INC.

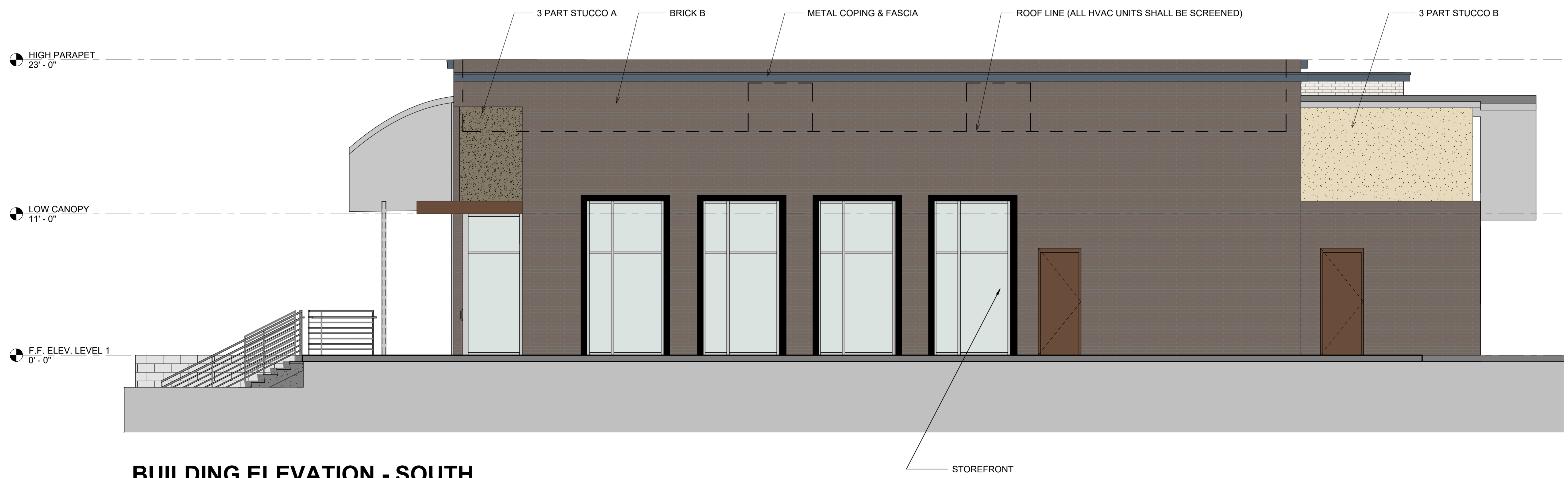
ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE M300  
 ALLEN, TEXAS 75013

STRUCTURAL  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - WEST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - SOUTH**  
 1/4" = 1'-0"

JIMMY STROHMEYER, AIA  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR  
 HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: PC  
 Checked: JS  
 Scale: As indicated

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Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR  
 ELEVATIONS**



MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
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	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	
				STUCCO B - SAHARA MAXI - GRAY MORTAR

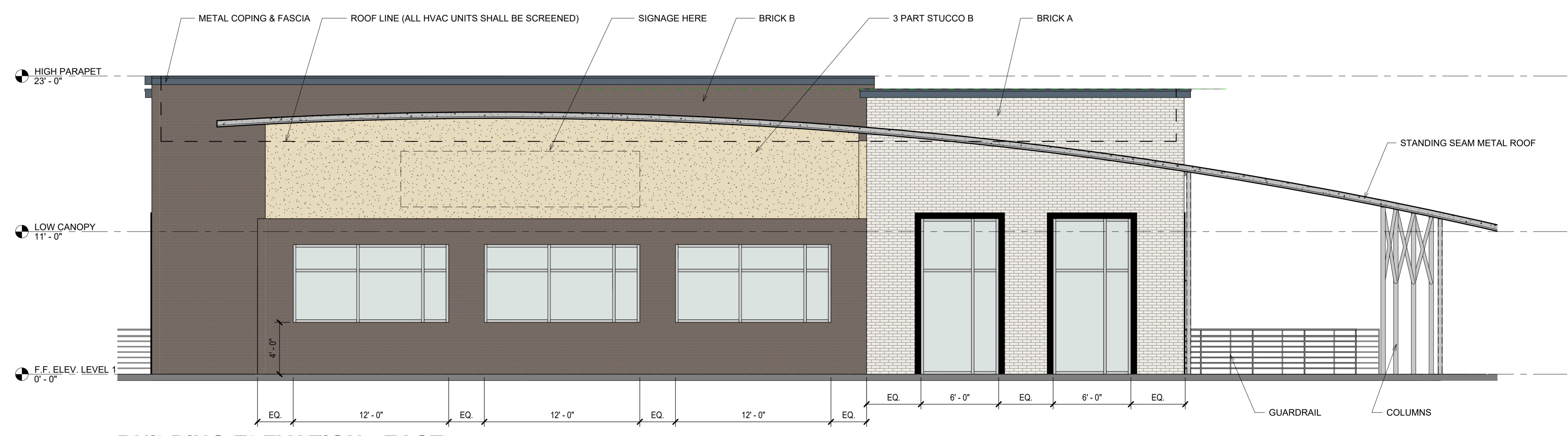
**APPROVED:**  
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 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**STROHMEYER**  
 ARCHITECTS INC.

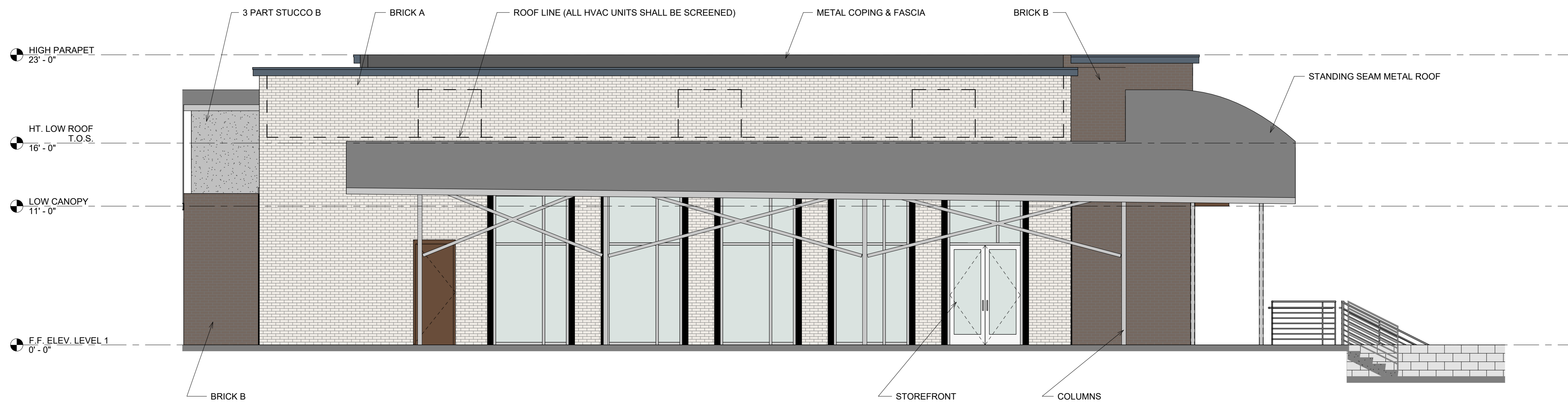
ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE M300  
 ALLEN, TEXAS 75013

STRUCTURAL  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - EAST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - NORTH**  
 1/4" = 1'-0"

**JIMMY STROHMEYER, AIA**  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: Author  
 Checked: Checker  
 Scale: As indicated

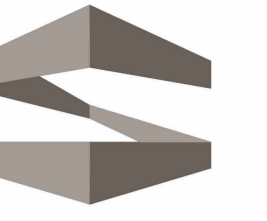
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Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR ELEVATIONS**

Autodesk Docs://HRRR\_FINCH/HRRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

4/13/2023 3:03:34 PM



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244



JIMMY STROHMEYER, AIA  
PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

## HARBOR HEIGHTS

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale:

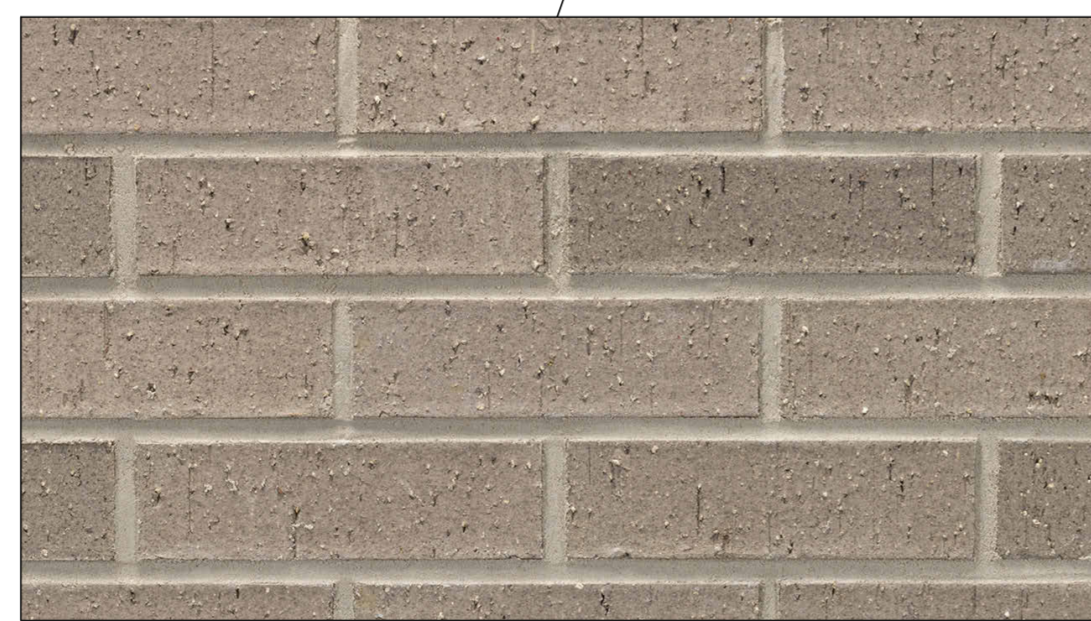
© 2020 Strohmeier Architects, Inc.

Revisions:  
# Revision Date Revision Description

Sheet Title:  
**COLOR BOARD**



**ACME BRICK  
GLACIER WHITE**



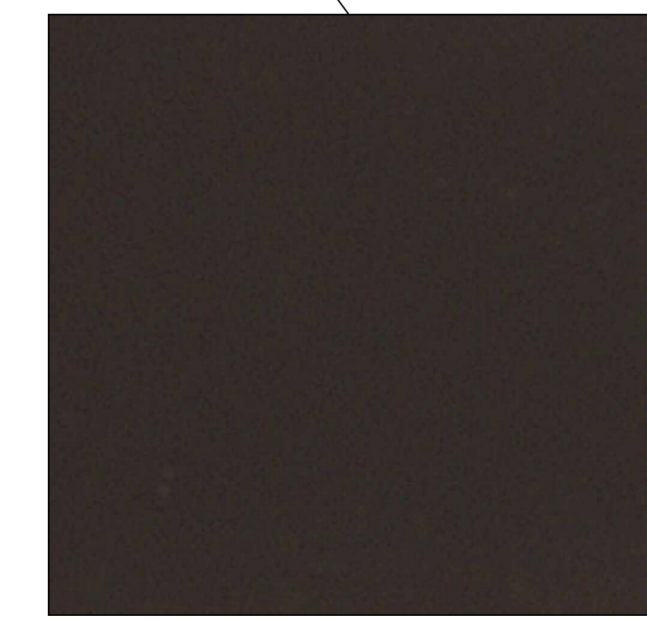
**ACME BRICK  
MARBLE GRAY**



**SENERGY  
SAHARA MAXI - SAGE**



**SENERGY  
SAHARA MAXI - GRAY MORTAR**

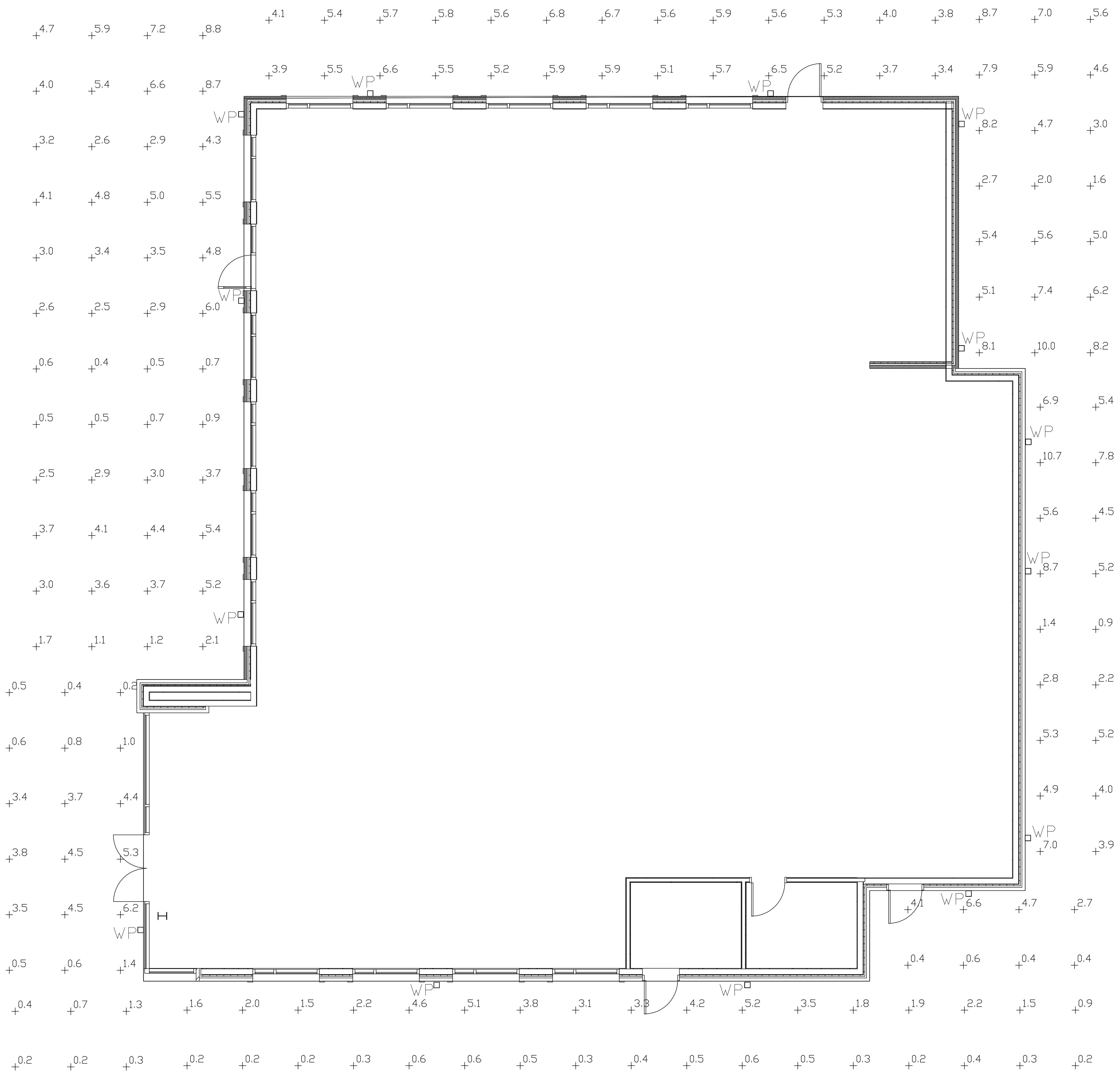


**DARK BRONZE**

Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.rvt

4/13/2023 3:03:35 PM

LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHELDDING	COOPER EATON	IST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



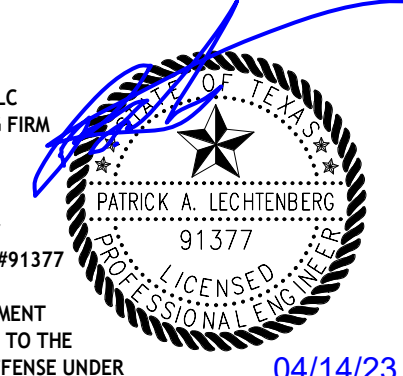
**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE 500  
ALLEN, TEXAS 75013

MEP ENGINEERING  
C1S GROUP  
4231 SIGMA ROAD, SUITE 110,  
DALLAS, TEXAS 75244

PROFESSIONAL SEALS  
LECHTENBERG ENGINEERING, PLLC  
TEXAS REGISTERED ENGINEERING FIRM  
F-15918



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PATRICK A. LECHTENBERG, P.E. #91377 ON THE DATE INDICATED. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. THE SEAL IS NOT VALID WITHOUT SIGNATURE.

04/14/23

**PRELIMINARY - NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL**

## HARBOR HEIGHTS

THE FINCH  
2600 SUNSET RIDGE DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: AUTHOR  
Checked: CHECKER  
Scale: NONE

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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**PHOTOMETRIC SITE PLAN**

# 1 PHOTMETRIC FLOOR PLAN - LEVEL 1

NONE

E101

\\CIS-FS01C1S\Projects\2-DESIGN\REV\HRRR\_Finch MEP\4\_DESIGN\REV\HRRR\_FINCH\_4.12.23.rvt 4/14/2023 12:39:04 PM



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** May 9, 2023  
**APPLICANT:** Jimmy Stohmeyer; *Strohmeier Architects, Inc.*  
**CASE NUMBER:** SP2023-015: *Site Plan for 2610 Sunset Ridge Drive*

---

### **SUMMARY**

Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive, and take any action necessary.

### **BACKGROUND**

The subject property was annexed into the city on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between September 5, 1960 and January 3, 1972, the zoning changed from Agricultural (AG) District to Commercial (C) District. On September 20, 2010, the City Council passed *Ordinance No. 10-21 [Planned Development District 32 (PD-32)]*, which established a concept plan and development standards for the approximate 78.89-acre tract of land commonly referred to as PD-32 or the *Harbor District*. Within the approved concept plan, PD-32 was divided into ten (10) subdistricts that contained individual development and land use standards. On November 17, 2014, the City Council adopted *Ordinance No. 14-51*, which contained a PD Development Plan for a 2.893-acre tract of land located in the *Hillside Subdistrict (i.e. the subject property)*. This PD Development Plan showed a series of buildings would be constructed along Harbor Heights Drive and Sunset Ridge Drive in conformance to the requirements of *Ordinance No. 10-21*. With the approval of *Ordinance No. 14-51*, the City Council also approved waivers to the building placement requirements and pedestrian access requirements to allow retaining walls ranging from seven (7) to nine (9) feet in height to be established along Harbor Heights Drive. The approval of these walls was tied to building elevations submitted by the applicant and which were tied down as a part of the City Council's approval. On May 1, 2017, the City Council adopted *Ordinance No. 17-22*, which amended *Ordinance No. 10-21* to update various exhibits in the ordinance; however, no changes were made to the requirements of the *Hillside Subdistrict* or for the subject property.

On May 15, 2019, the applicant -- *Jimmy Strohmeier of Strohmeier Architects, Inc.* -- submitted an application requesting to amend *Ordinance No. 14-51* to change the PD Development Plan approved for the subject property (*i.e. Case No. Z2019-013*). The new PD Development Plan showed additional buildings being added along Sunset Ridge Drive and a central green space being incorporated adjacent to Harbor Heights Drive. This request was approved on July 1, 2019 by *Ordinance No. 19-25*. On September 10, 2019, the Planning and Zoning Commission approved a site plan [*SP2019-033*] for a retail and restaurant development on the subject property, which included all areas with the exception of the subject property.

### **PURPOSE**

The applicant -- *Jimmy Strohmeier of Strohmeier Architects, Inc.* -- is requesting the approval of a Site Plan for a *Restaurant with 2,000 SF or more without Drive-Through or Drive-in*.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive and addressed as 2610 Sunset Ridge. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the eastbound frontage road for IH-30, followed by the main lanes of IH-30, and the westbound frontage road for IH-30. IH-30 is identified as a TXDOT 6D (i.e. Texas Department of Transportation, six (6) lane, principal arterial roadway).

South: Directly south of the subject property is Harbor Heights Drive, which is classified as a Street Type 'D' according to Planned Development District 32 (PD-32) [Ordinance No. 17-22] which is defined as "...a primary connector to the existing harbor development with adjacent subdistricts". Beyond this is a 6.1978-acre tract of land owned by the City of Rockwall, and which currently has a parking lot that serves the greater Harbor District. This property is zoned Planned Development District 32 (PD-32) and is located within the Hillside Mixed-Use Subdistrict.

East: Directly east of the subject property is Sunset Ridge Drive, which is identified as a Street Type 'B' and 'E' according to Planned Development District 32 (PD-32) [Ordinance No. 17-22]. East of this roadway is a 0.900-acre parcel of land (i.e. lot 5, block A, Harbor District Addition), which is currently vacant but was approved for a site plan on April 13, 2021 (SP2021-005) for a restaurant on the subject property. This property is zoned Planned Development District 32 (PD-32) and is located within the Summit Mixed-Use Subdistrict.

West: Directly west of the subject property is a 0.2930-acre tract of land (i.e. Tract 17, of the M.J. Barksdale Survey, Abstract No. 11) zoned Planned Development District 32 (PD-32) and is located within the Hillside Subdistrict. Beyond this is a restaurant (i.e. Culpepper Steakhouse), which is situated on a 1.40-acre parcel of land that is located within the Hillside Subdistrict. Beyond this is Shoreline Trail, which is identified as a Street Type 'A' according to Planned Development District 32 (PD-32) [Ordinance No. 17-22], which is defined as "...a primary entry in to the Harbor District from the Eastbound Interstate 30 off ramp." Beyond this is a restaurant (i.e. the Oar House), which is situated on a 0.65-acre parcel of land that is located within the Freeway Frontage Subdistrict.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Exhibit D, Subdistrict Land Use Chart, of Planned Development District 32 (PD-32) [Ordinance No. 10-21], a Restaurant with 2,000 SF or more without Drive-Through or Drive-In is permitted by-right within the Hillside Subdistrict of Planned Development District 32 (PD-32). With the exception of the variances being requested, the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the PD Development Plan approved with Ordinance No. 19-25, the design guidelines contained in Resolution No. 10-40, the technical requirements contained within Ordinance No. 17-22, and the UDC for a property located within the Hillside Subdistrict of Planned Development District 32 (PD-32). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Build-To-Line (Distance from ROW Line)</i>	8' (Harbor Heights Drive) 4' (Sunset Ridge Drive)	Approved Per Ord. 19-25; In Conformance
<i>Minimum Setback from ROW</i>	250' (IH-30 Frontage Road) 5' (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
<i>Minimum Building Façade along ROW</i>	85% (Harbor Heights) 100% (Harbor Heights & Sunset Ridge)	Approved Per Ord. 19-25; In Conformance
<i>Maximum Lot Coverage</i>	30%	27.5%; In Conformance
<i>Maximum Building Height</i>	2 Stories or 35'	X=23'; In Conformance
<i>Surface Parking Setbacks</i>	20' (IH-30 Frontage Road) 10' (All Other Roads)	x>20'/x>10'; In Conformance
<i>Surface Parking</i>	100% <sup>1</sup>	100%; In Conformance
<i>Minimum Pedestrian Ways</i>	2	2; In Conformance
<i>Minimum Stone Requirement</i>	20%	X=0%; Variance Requested

**NOTES:**

<sup>1</sup>: PARKING WAS ESTABLISHED THROUGH THE APPROVAL OF THE SITE PLAN [SP2019-033], THE DEVELOPER PROVIDED A SHARED PARKING CALCULATION FOR RETAIL, RESTAURANT, AND OFFICE PARKING.

## CONFORMANCE WITH THE CITY'S CODES

Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], provides flexibility in order to create high quality projects for the *Harbor District*. Non-residentially zoned projects are to generally conform to the Commercial (C) District standards. In this case, the subject property is located in the *Hillside Subdistrict* and is within the IH-30 Overlay (IH-30 OV) District, which is more restrictive than the *Design Guidelines* [*Resolution No. 10-40*] required by PD-32. With this being said, the standards of the IH-30 OV (i.e. *Subsection 06.02, Art. 05, UDC*) shall apply to the development of the subject property. The *Hillside Subdistrict* is intended to provide a cluster of restaurant anchors that contribute to the creation of a vibrant, pedestrian oriented character within the *Harbor District*. This district also takes advantage of existing slopes, which adds to the characteristics of the *Hillside Subdistrict*. In this case, the applicant's proposal is adjacent to the IH-30 Frontage Road and is accessible from Sunset Ridge Drive. Additionally, by virtue of being in Planned Development District 32 (PD-32) and generally conforming to *Ordinance No. 19-25*, the proposed site plan appears to be in conformance to the majority of the requirements intended for properties within the *Hillside Subdistrict*.

## VARIANCE BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance:

### Variances:

- (1) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), *Four (4) Sided Architecture*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, four-sided architecture is also listed as a requirement in the PD Development Plan recorded in *Ordinance No. 19-25*. The applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations, the applicant does not meet the wall projection requirements. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Roof Design Standards. According to Article 05, *General Overlay District Development Standards*, of the *Unified Development Code (UDC)*, "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building does not meet this standard; *however, this is not atypical for buildings situated within the IH-30 corridor, and the proposed building matches the existing development on the remainder of the subject property*. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (3) 20% Stone Requirement. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the proposed building elevations do not incorporate any stone; *however, the design scheme matches the buildings approved on the remainder of the subject property*. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] increased architectural elements on the north elevation and [2] additional landscaping beyond what is required. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out

of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

By virtue of being in Planned Development District 32 (PD-32), generally conforming to *Ordinance No. 17-22* and the approved PD Development Plan (i.e. *Ordinance No. 19-25*), the proposed site plan conforms to the majority of the district strategies intended for properties in the *Harbor District* as stipulated by the *Land Use Plan* outlined in the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On April 25, 2023, the Architecture Review Board (ARB) reviewed the proposed building elevations provided by the applicant on April 14, 2023 and recommended updated elevations that reflect staff's comments. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the May 9, 2023 Planning and Zoning Commission meeting.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Restaurant with 2,000 SF or more without Drive-Through or Drive-in* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeysterarchitects.com

## NOTARY VERIFICATION [REQUIRED]

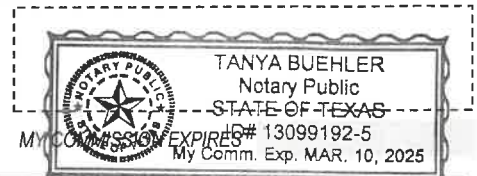
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

OWNER'S SIGNATURE

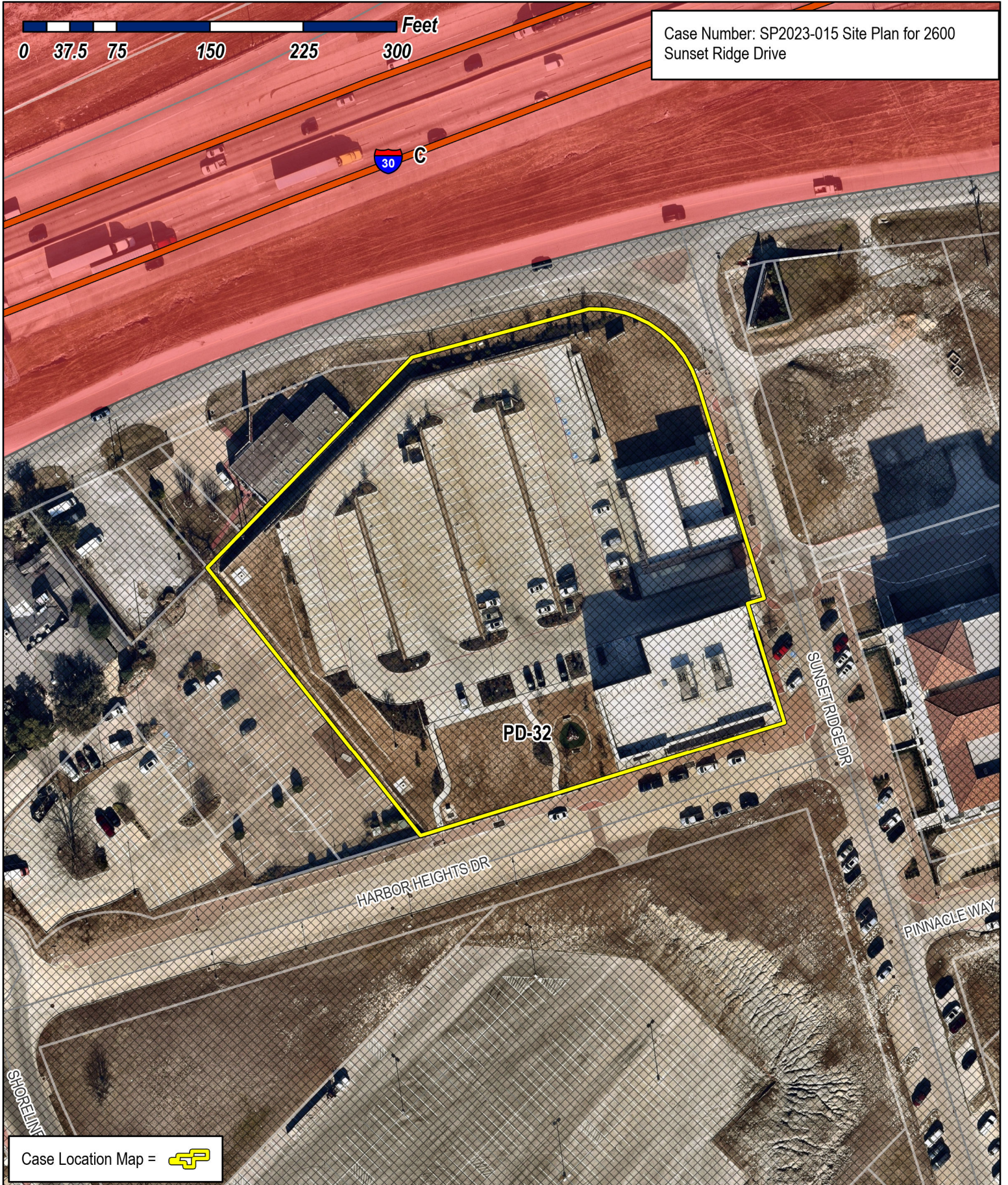
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





0 37.5 75 150 225 300 Feet

Case Number: SP2023-015 Site Plan for 2600  
Sunset Ridge Drive



Case Location Map = 

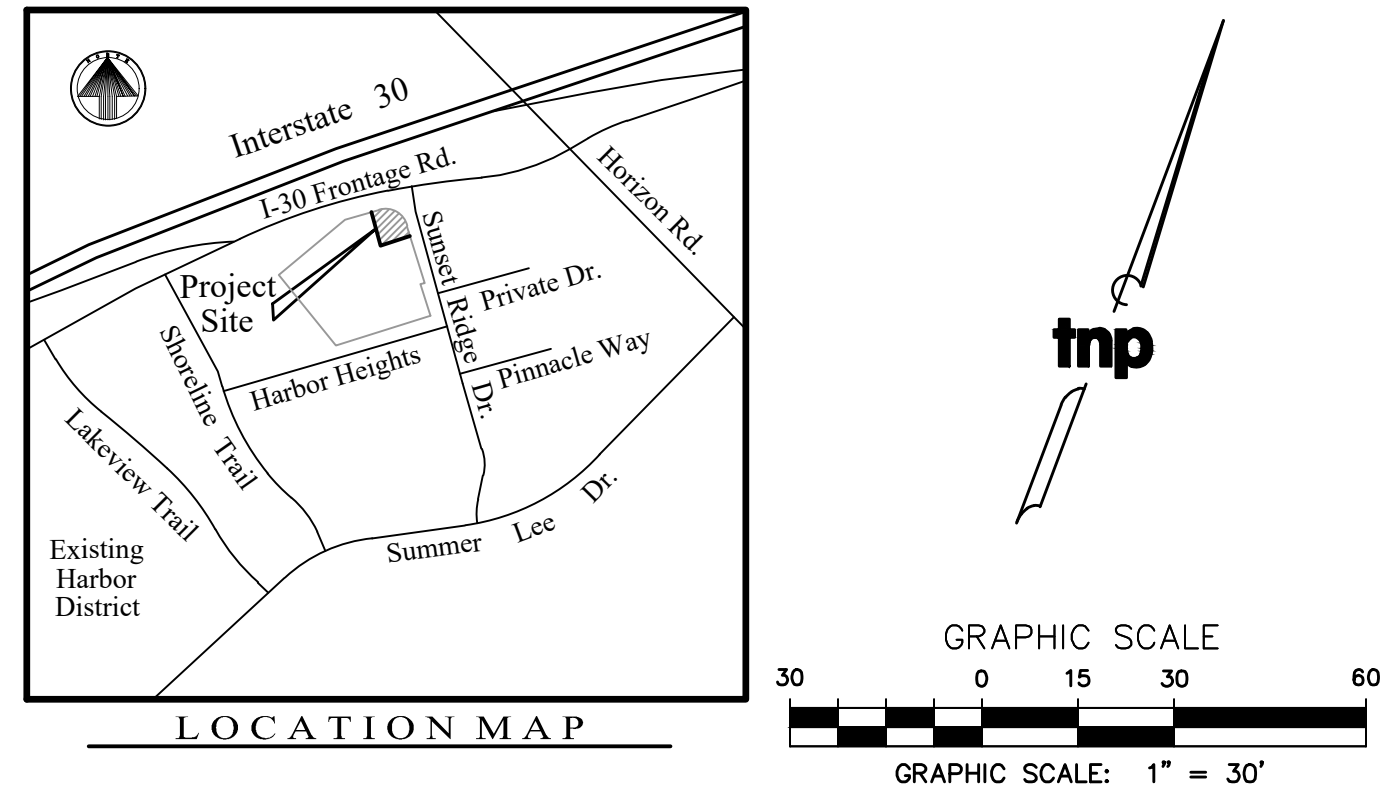


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**SITE INFORMATION:**

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 → 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

\* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

**SITE NOTES:**

- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

**LEGEND**

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

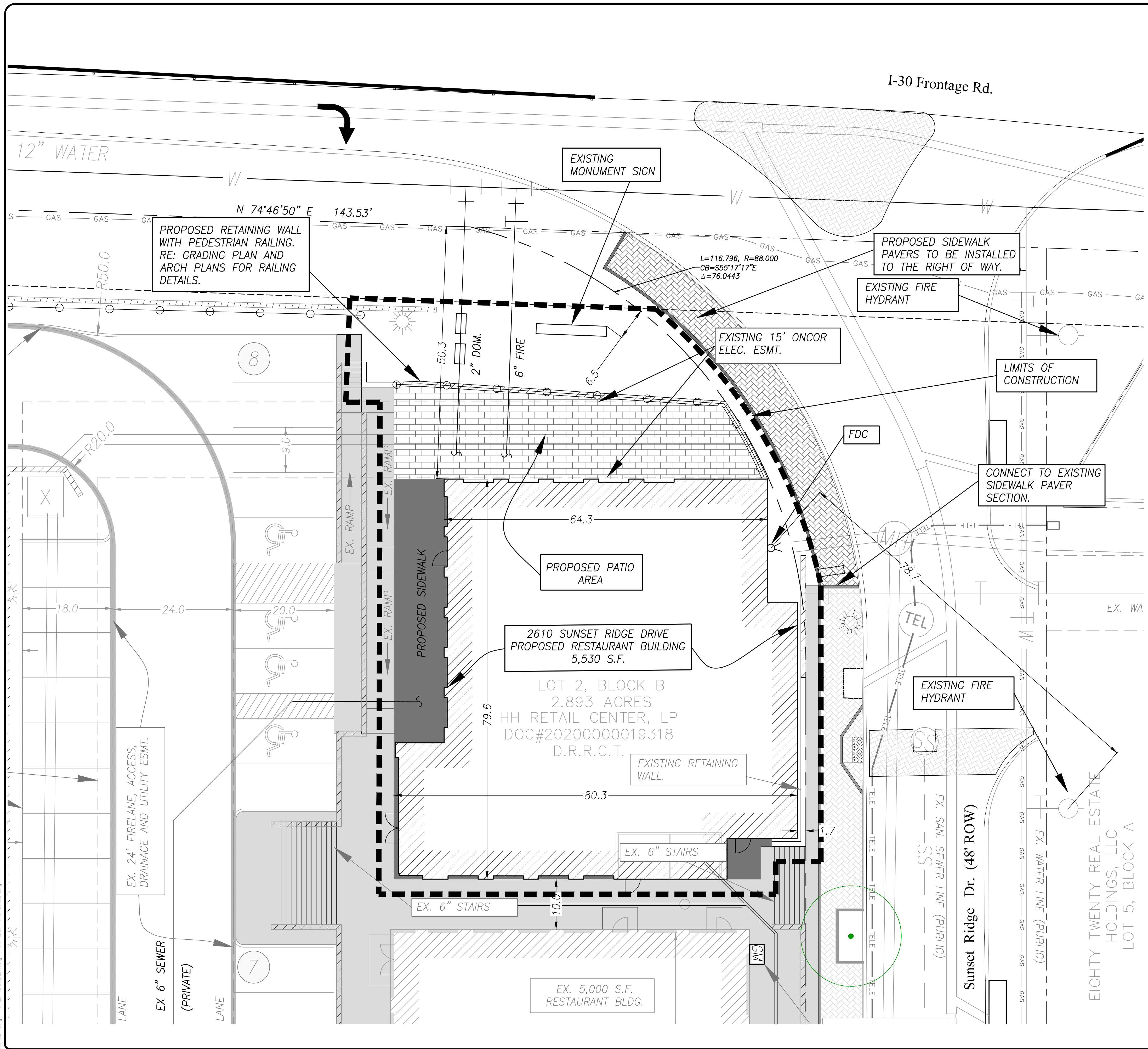
**LEGAL DESCRIPTION**  
 LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

**OWNER INFORMATION**  
 HH RETAIL CENTER, LP,  
 2701 SUNSET RIDGE DRIVE  
 ROCKWALL, TX 75032

**ENGINEER INFORMATION**  
 CAMERON SLOWN, P.E.  
 TEAGUE, NALL AND PERKINS, INC.  
 825 WATTERS CREEK BLVD, SUITE M300  
 ALLEN, TX 75013

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2023.  
 Witness our hands this \_\_\_\_ day of \_\_\_\_\_, 2023.  
 Planning & Zoning Commission, Chairman \_\_\_\_\_ Director of Planning & Zoning \_\_\_\_\_

CASE NUMBER: SP2023-015 NOT FOR CONSTRUCTION

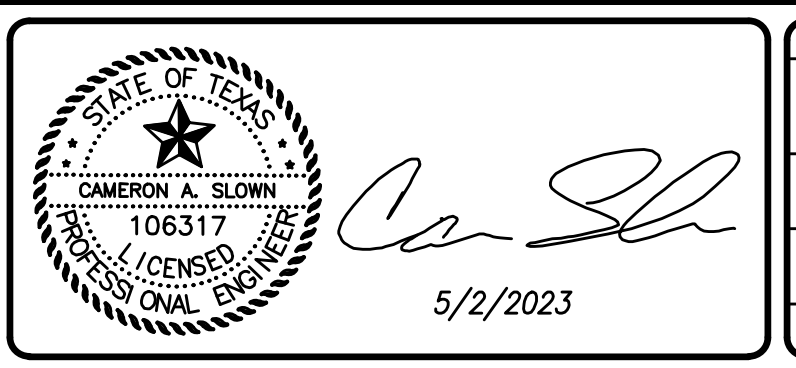


Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at May 02, 2023 - 9:58am by cslown  
 Layout: SITE PLAN - xrefs: X SURVEY.dwg - REF - BORDERS.dwg - HARBOR-RR-BASE.dwg

no.	revision	by	date



**teague nall and perkins, inc**  
 825 Walters Creek Blvd., Suite M300  
 Allen, Texas 75013  
 214.461.9867 ph 214.461.9864 fx  
 www.tnppinc.com  
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale  
 when bar is 1 inch long  
 horiz 1"=30'  
 vert N/A  
 MAY 2023

**HH RETAIL CENTER, LP.**

**ROCKWALL, Texas**  
 Improvements for  
**2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING**  
**SITE PLAN**

tnp project  
**OZO20505**  
 sheet  
**C1.04**

**LEGEND**

- ☐ STONWARE GRECIAN SERIES - EQUAL PLANTING POT
- ⊗ SHRUB
- ⊗ DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING
- ⊗ DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
- ☐ PATIO TABLES
- ⊗ CANOPY TREE
- ⊗ LIVE OAK, "LC" 100 GAL. 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT.
- ⊗ CEDAR ELM "CA" 100 GAL. 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

MEP  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA  
PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR  
HEIGHTS  
FINCH  
SHELL ONLY**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 5/2/23  
Drawn: Author  
Checked: Checker  
Scale: As indicated

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Revisions:

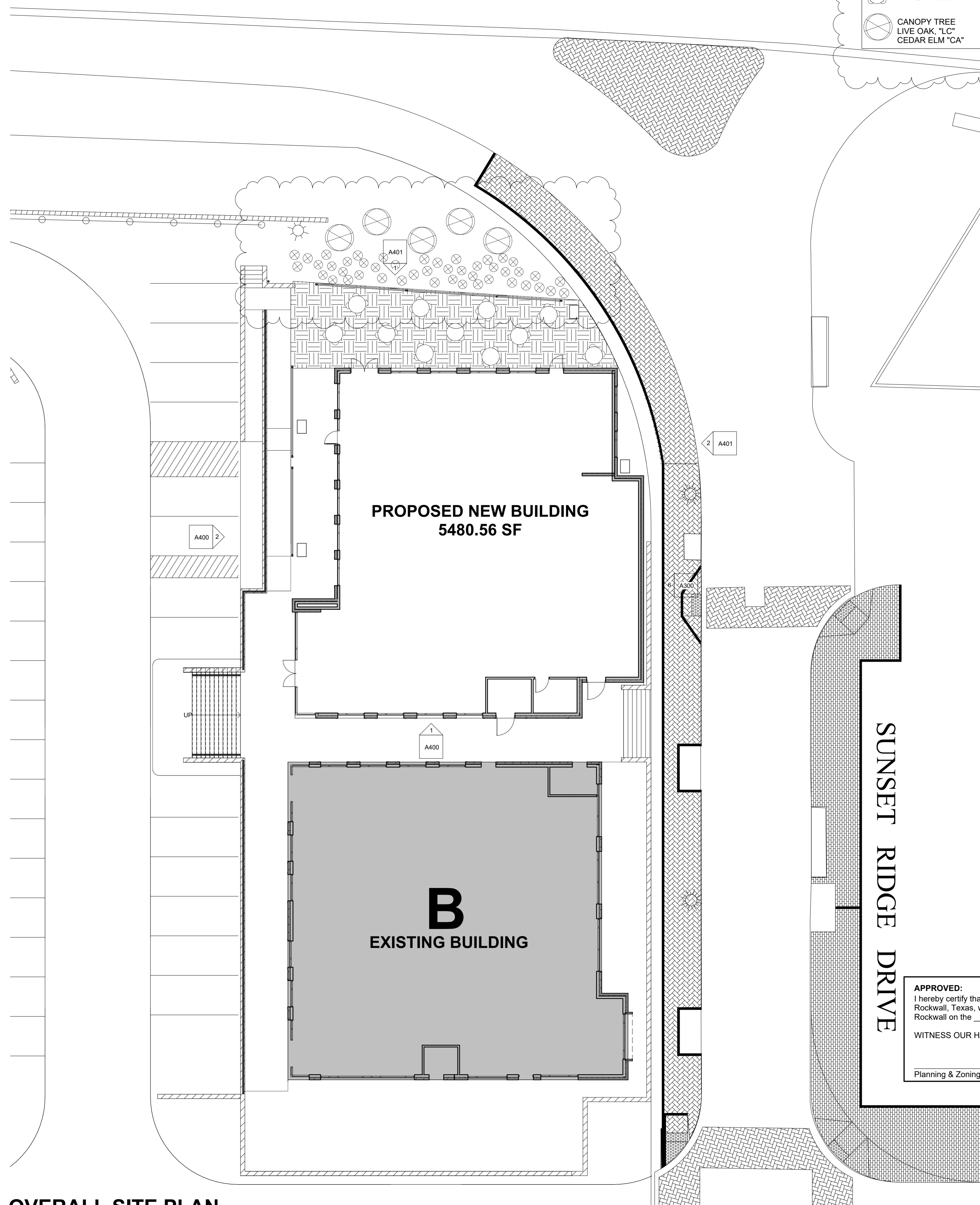
#	Revision Date	Revision Description
4	10/4/2020	ADDENDUM #4

Sheet Title:  
**ARCHITECTURAL  
LANDSCAPE PLAN**

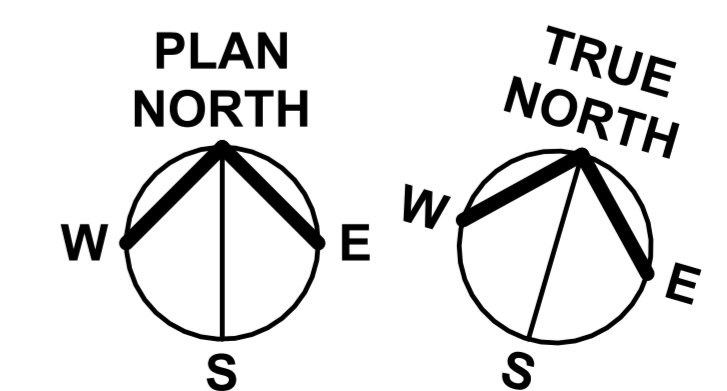
**Service Road**  
30 SERVICE ROAD



PLANTER POT EXAMPLE



**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**1 OVERALL SITE PLAN**  
3/32" = 1'-0"

**SP2023-015**

**A101**

Autodesk Docs://HRRR\_FINCH/HRRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

5/2/2023 1:07:08 PM

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

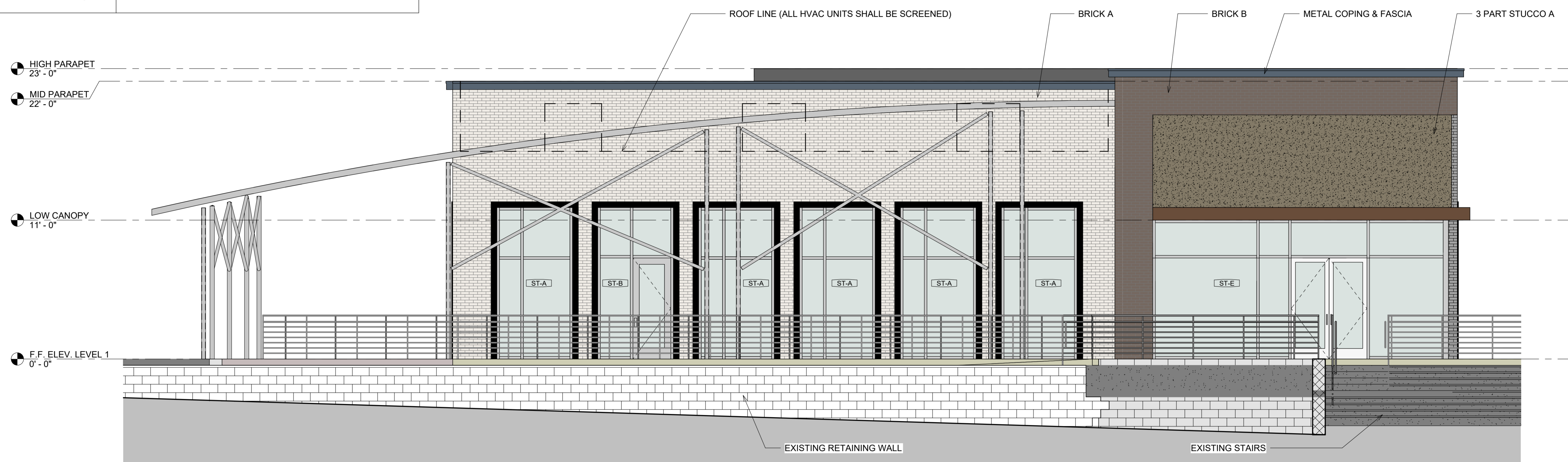
\_\_\_\_\_  
Director of Planning and Zoning

**STROHMEYER ARCHITECTS INC.**

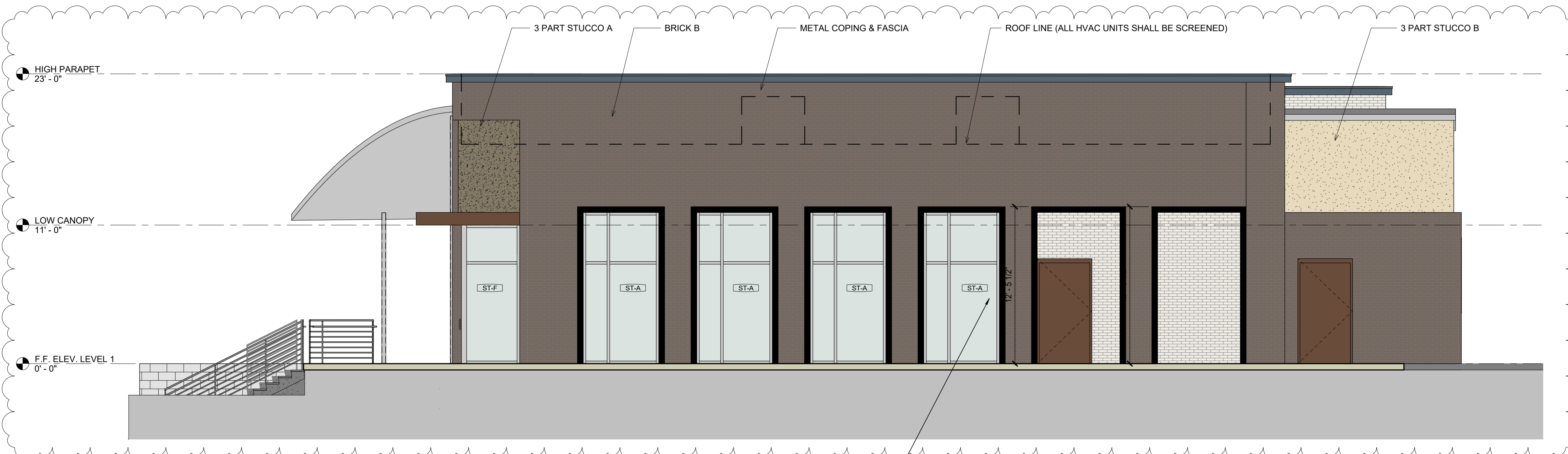
ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

MEP  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - WEST**  
1/4" = 1'-0"



**1 BUILDING ELEVATION - SOUTH**  
1/4" = 1'-0"

JIMMY STROHMEYER, AIA  
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NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

**HARBOR  
HEIGHTS  
FINCH  
SHELL ONLY**

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 5/2/23  
Drawn: PC  
Checked: JS  
Scale: As indicated

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Revisions:

#	Revision Date	Revision Description
4	10/4/2023	ADDENDUM #4

Sheet Title:  
**EXTERIOR  
ELEVATIONS**

**SP2023-015**

**A400**

Autodesk Docs://HRRR\_FINCH/HRRR\_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

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MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
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	STUCCO	173 SF	10.1%	
				STUCCO B - SAHARA MAXI - GRAY MORTAR

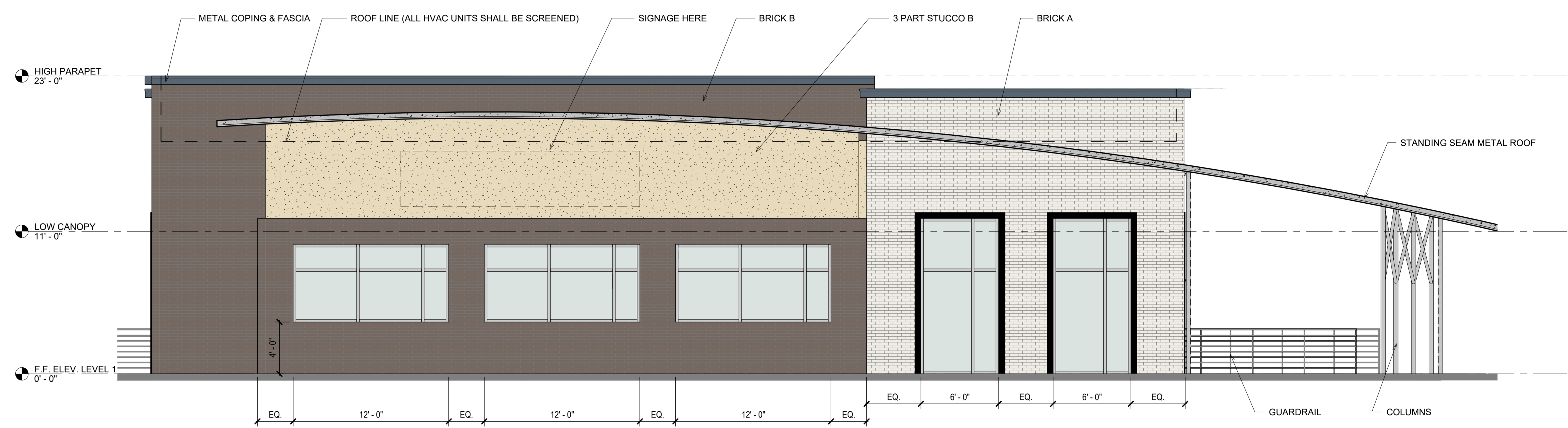
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 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**STROHMEYER**  
 ARCHITECTS INC.

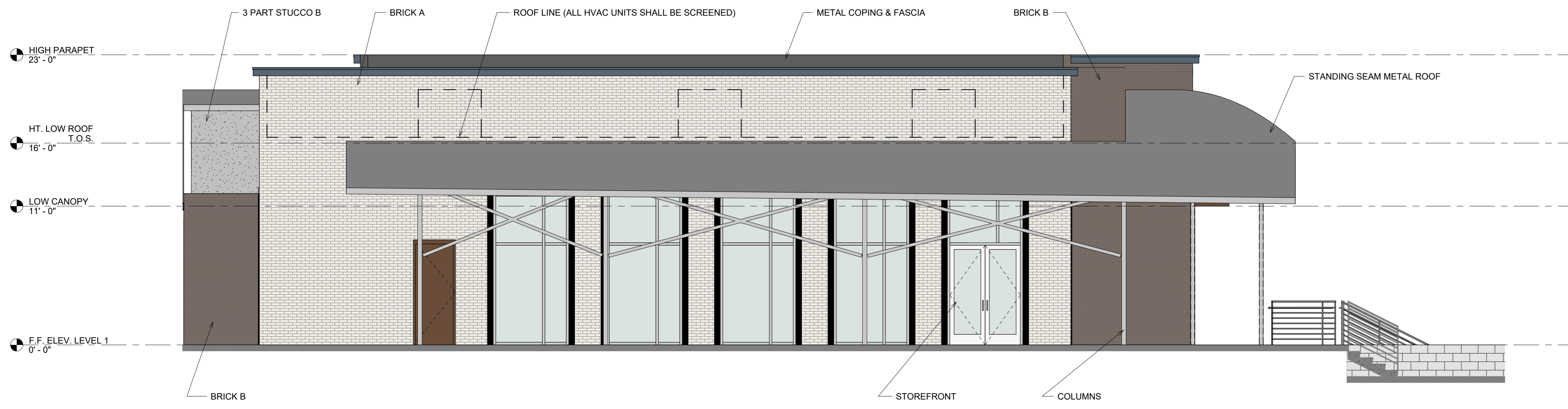
ARCHITECT  
 STROHMEYER ARCHITECTS, INC.  
 2701 SUNSET RIDGE DR.  
 SUITE 607  
 ROCKWALL, TEXAS 75032

CIVIL  
 TNP, INC.  
 825 WATTERS CREEK BLVD.  
 SUITE M300  
 ALLEN, TEXAS 75013

STRUCTURAL  
 C1S GROUP, INC.  
 4231 SIGMA RD  
 DALLAS, TEXAS 75244



**2 BUILDING ELEVATION - EAST**  
 1/4" = 1'-0"



**1 BUILDING ELEVATION - NORTH**  
 1/4" = 1'-0"

**JIMMY STROHMEYER, AIA**  
 PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION,  
 PERMITTING, OR  
 REGULATORY  
 APPROVAL

**HARBOR  
 HEIGHTS**

THE FINCH  
 2600 SUNSET RIDGE  
 DR.  
 ROCKWALL, TX 75132

Project Number: 52219  
 Drawing Date: 4/14/23  
 Drawn: Author  
 Checked: Checker  
 Scale: As indicated

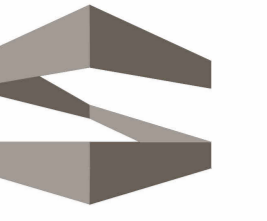
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Revisions:  
 # Revision Date Revision Description

Sheet Title:  
**EXTERIOR  
 ELEVATIONS**

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4/13/2023 3:03:34 PM



**STROHMEYER**  
ARCHITECTS INC.

ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE M300  
ALLEN, TEXAS 75013

STRUCTURAL  
C1S GROUP, INC.  
4231 SIGMA RD  
DALLAS, TEXAS 75244



JIMMY STROHMEYER, AIA  
PRELIMINARY -  
NOT FOR  
CONSTRUCTION,  
PERMITTING, OR  
REGULATORY  
APPROVAL

## HARBOR HEIGHTS

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/14/23  
Drawn: Author  
Checked: Checker  
Scale:

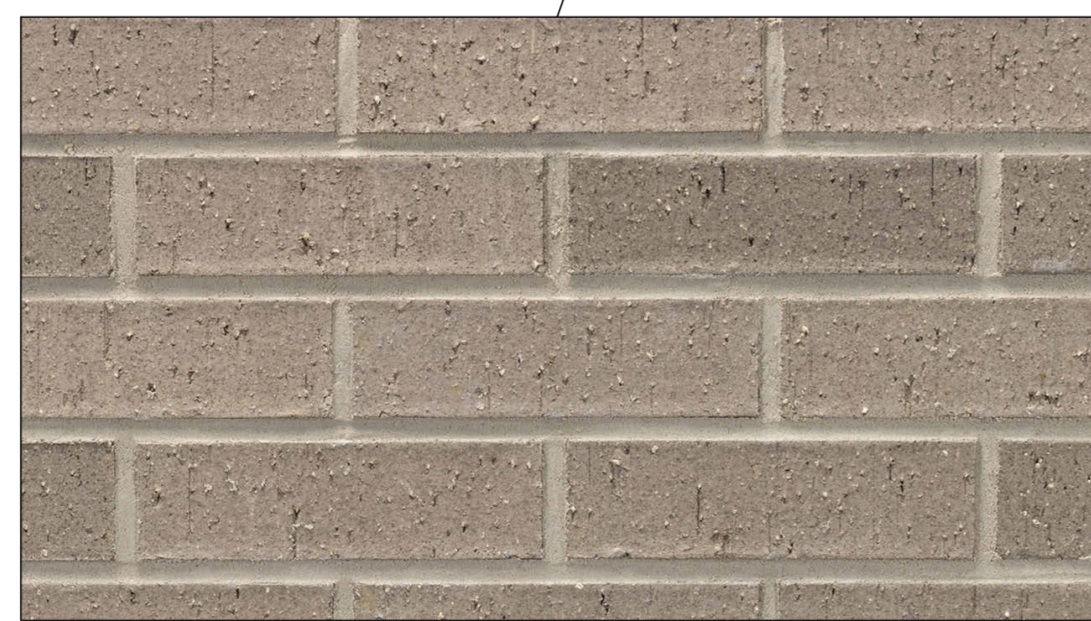
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Revisions:  
# Revision Date Revision Description

Sheet Title:  
**COLOR BOARD**



**ACME BRICK  
GLACIER WHITE**



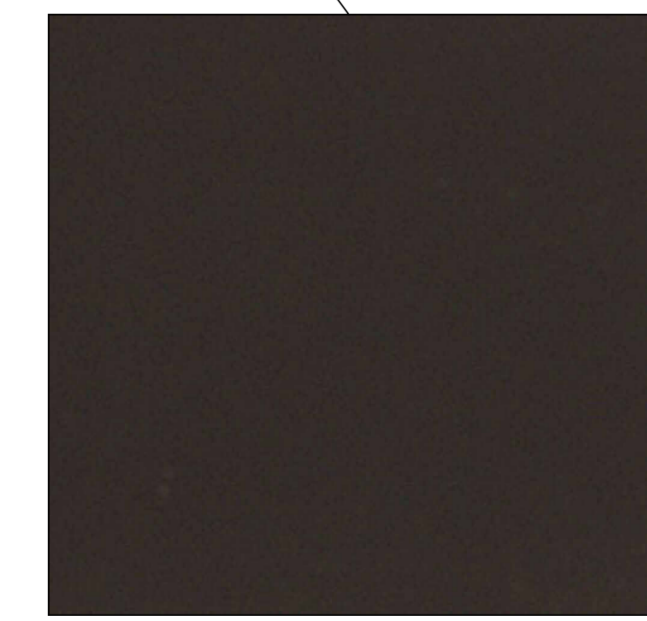
**ACME BRICK  
MARBLE GRAY**



**SENERGY  
SAHARA MAXI - SAGE**



**SENERGY  
SAHARA MAXI - GRAY MORTAR**

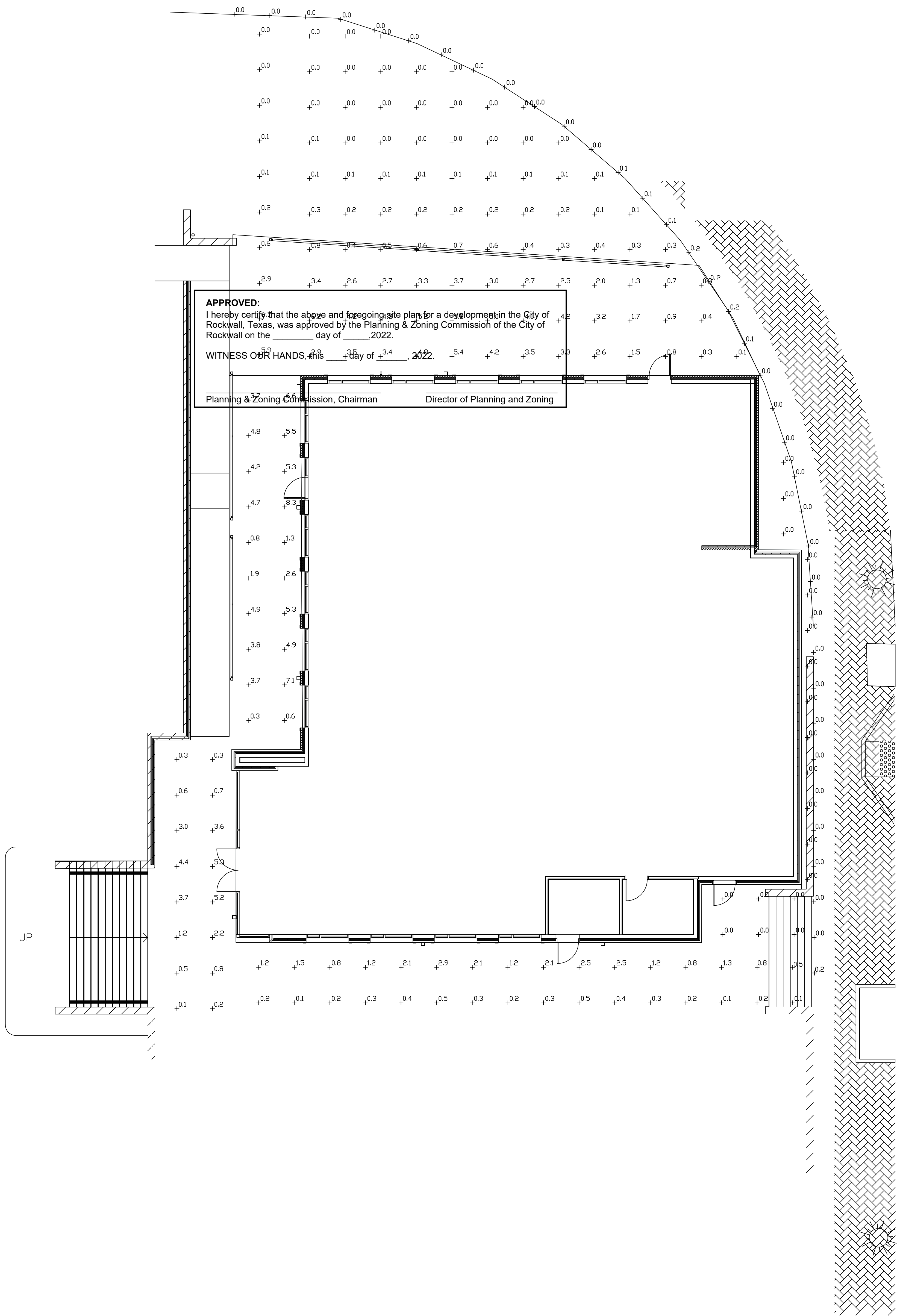


**DARK BRONZE**

Autodesk Docs://HHRR\_FINCH/HHRR\_RESTBLDG WITH LINKED OFFICES AND SITE.rvt

4/13/2023 3:03:35 PM

LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	COOPER EATON	1ST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



ARCHITECT  
STROHMEYER ARCHITECTS, INC.  
2701 SUNSET RIDGE DR.  
SUITE 607  
ROCKWALL, TEXAS 75032

CIVIL  
TNP, INC.  
825 WATTERS CREEK BLVD.  
SUITE 500  
ALLEN, TEXAS 75013

MEP ENGINEERING  
C1S GROUP  
4231 SIGMA ROAD, SUITE 110,  
DALLAS, TEXAS 75244

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2022.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2022.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

PROFESSIONAL SEALS  
LECHTENBERG ENGINEERING, PLLC  
TEXAS REGISTERED ENGINEERING FIRM  
F-15918

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PATRICK A. LECHTENBERG, P.E. #91377 ON THE DATE INDICATED. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. THE SEAL IS NOT VALID WITHOUT SIGNATURE.

04/20/23

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REGULATORY  
APPROVAL

## HARBOR HEIGHTS

THE FINCH  
2600 SUNSET RIDGE  
DR.  
ROCKWALL, TX 75132

Project Number: 52219  
Drawing Date: 4/20/23  
Drawn: AUTHOR  
Checked: CHECKER  
Scale: NONE

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Revisions:  
#      Revision Date      Revision Description

Sheet Title:  
PHOTOMETRIC  
SITE PLAN

SP2023-015

1 PHOTMETRIC FLOOR PLAN - LEVEL 1  
NONE

E101

C:\Users\abbey.elakodical\Documents\HRR\_FINCH\_4\_12\_23\_abbey.elakodical.rvt  
4/20/2023 8:49:25 AM



May 11, 2023

TO: Jimmy Strohmeyer  
Strohmeyer Architects, Inc.  
2701 Sunset Ridge  
Suite 601  
Rockwall, Texas 75032

CC: Dan Bobst  
HH Retail Center, LP  
2701 Sunset Ridge  
Suite 610  
Rockwall, Texas 75032

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2023-015; *Site Plan for 2610 Sunset Ridge Drive*

Jimmy:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on May 9, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On May 9, 2023 the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 7-0.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in black ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross, *Planner*  
City of Rockwall Planning and Zoning Department