



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

2023-009

NO. THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
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- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
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- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *108 Saint Mary St.*

SUBDIVISION *BP Boydston Addition*

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *R-0*

CURRENT USE *vacant*

PROPOSED ZONING *R-0*

PROPOSED USE *medical office*

ACREAGE *0.51*

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Ashley Egan*

APPLICANT *same*

CONTACT PERSON *Justine Jones*

CONTACT PERSON

ADDRESS *109 Saint Mary St.*

ADDRESS

CITY, STATE & ZIP *Rockwall, TX 75087*

CITY, STATE & ZIP

PHONE *(509) 630-1392*

PHONE

E-MAIL *justine@rebornskinandbeauty.com*

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

Justine Jones & Ashley Egan
109 Saint Mary St.
Rockwall, TX 75087
justine@rebornskinandbeauty.com

April 5, 2023

Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S. Goliad St.
Rockwall, TX 75087

Dear Ryan, et al.

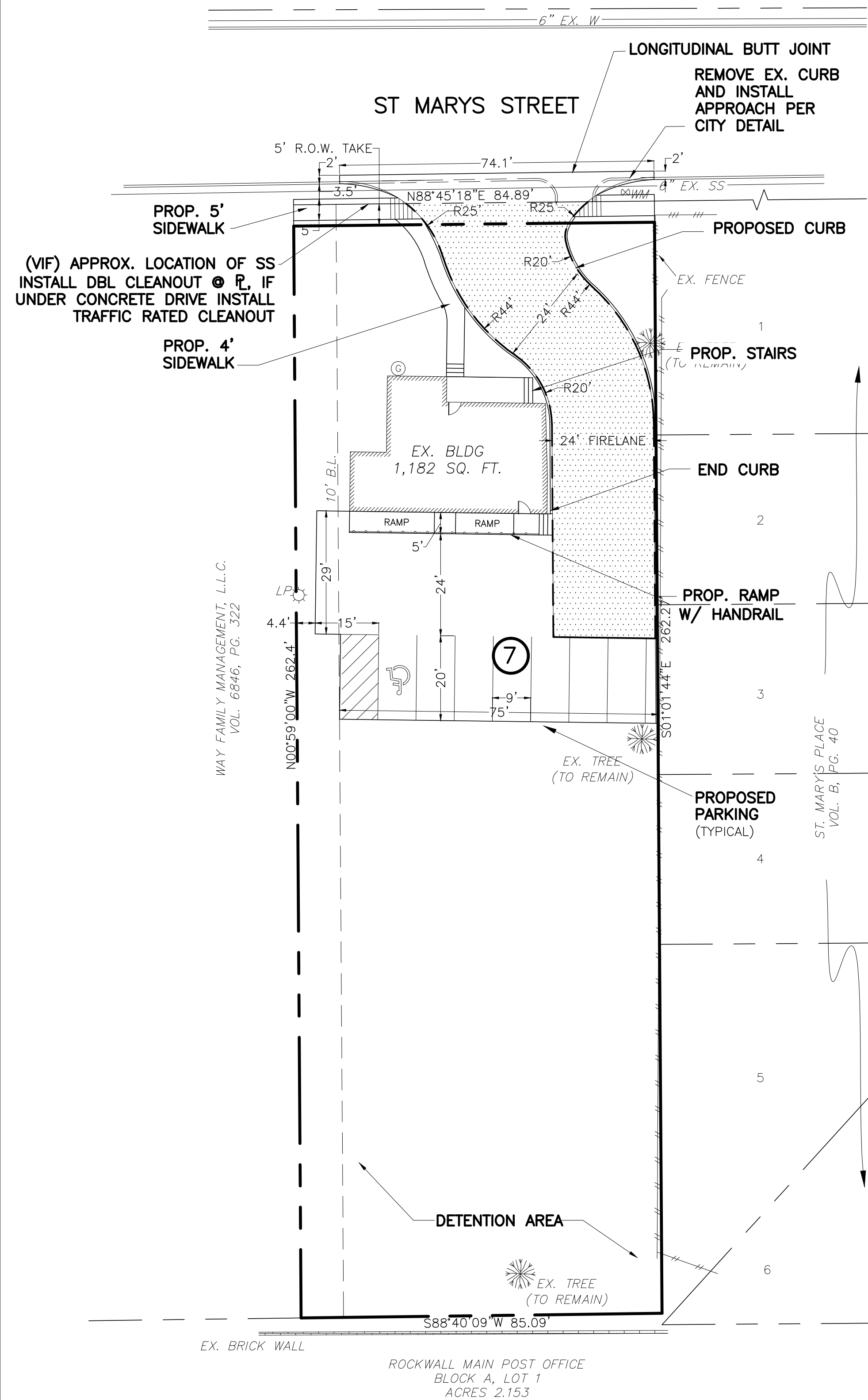
This letter is intended to supplement our Developmental Application for the lot and plat at 108 Saint Mary St. in Rockwall, TX. Our application is for an Amended Plat.

We purchased this building and lot with the intention of converting the space into a medical office where we will provide treatments, counseling, and coaching to clients who seek a variety of services that are deemed medical by the State of Texas. We will not be using anesthesia for any treatments. Some treatments include injectables and skin treatments. We will not be offering traditional salon-type or manicurists/nail treatments.

We are hopeful that the approval to redesign the lot will bring the neighborhood, surrounding businesses, and neighbors a fresh view. The current structure and lot are unfinished and have been for almost three years. As is, the property is an eye sore. We are invested in our community and neighborhood and are excited to move forward with this project.

Respectfully,

Justine Jones & Ashley Egan



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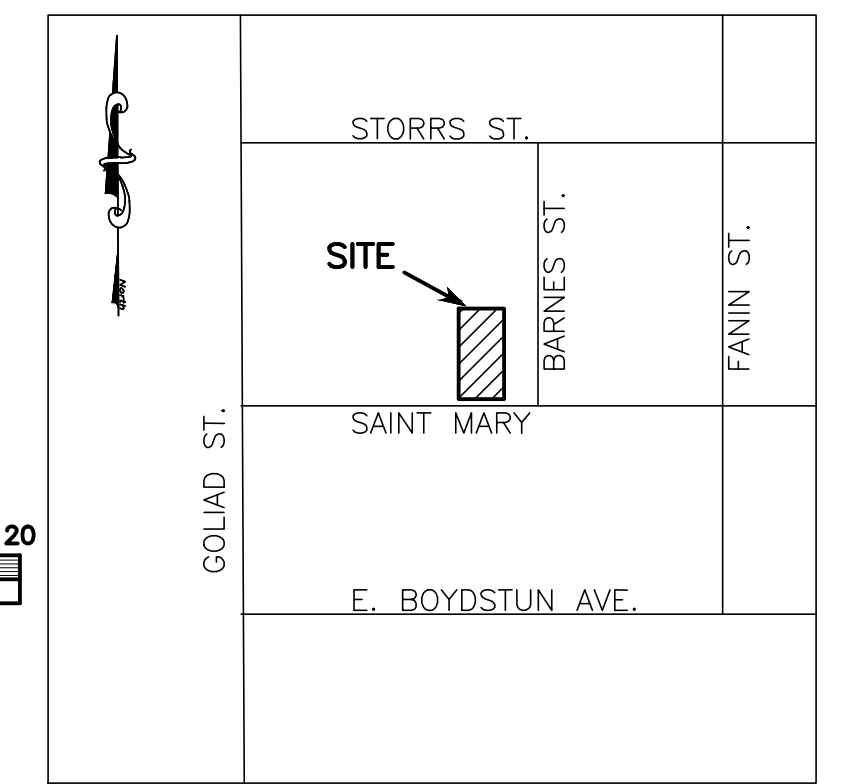
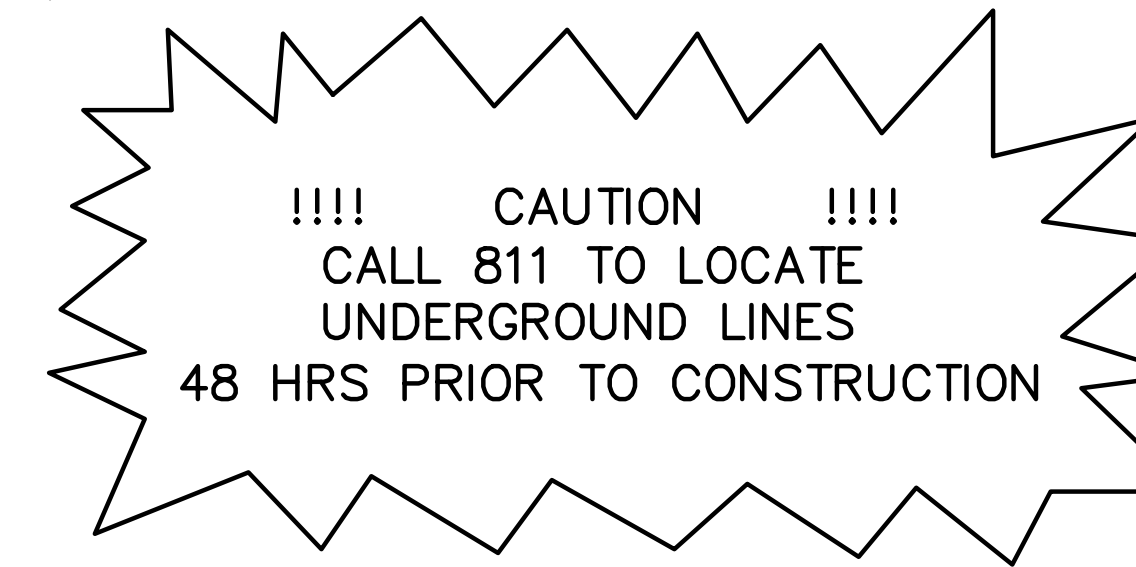
LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required: (1 space/300) = 4
Provided:
Standard = 6
Handicapped = 1
Total Provided = 7
LANDSCAPE AREA:
Required: (10%) 2,228 sq.ft.
Provided: (67%) 14,964 sq.ft.

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
- 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
- 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

PAVING NOTES:

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

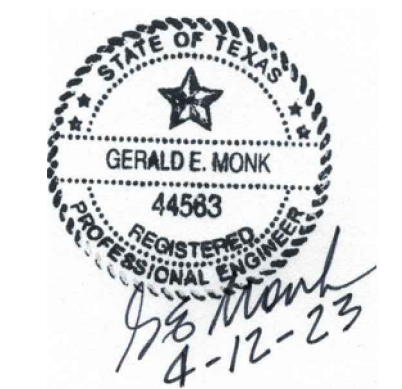


LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 --- = EXISTING CONTOURS
- 460--- = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
ep = EDGE OF PAVEMENT
tw = TOP OF WALL
bw = BOTTOM OF WALL
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- ⊙ WM = EXISTING WATER METER
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- EXIST. or EX. = EXISTING
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- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
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ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

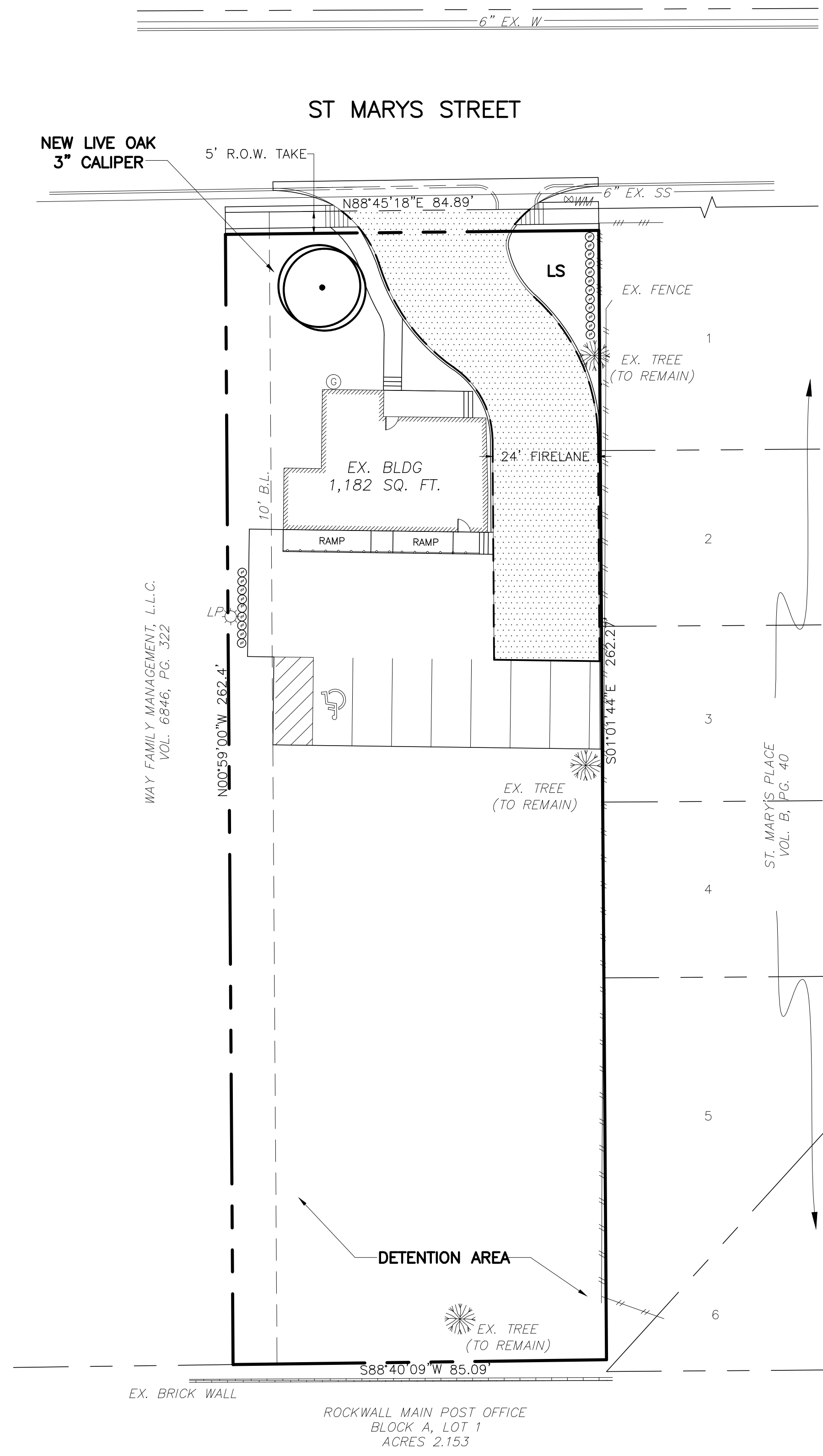
CASE #: SP
SITE PLAN
108 SAINT MARY STREET
City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
I & O23 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: C101



NO TREE WITHIN 5' OF UTILITIES

SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required: (1 space/300) = 4
Provided:
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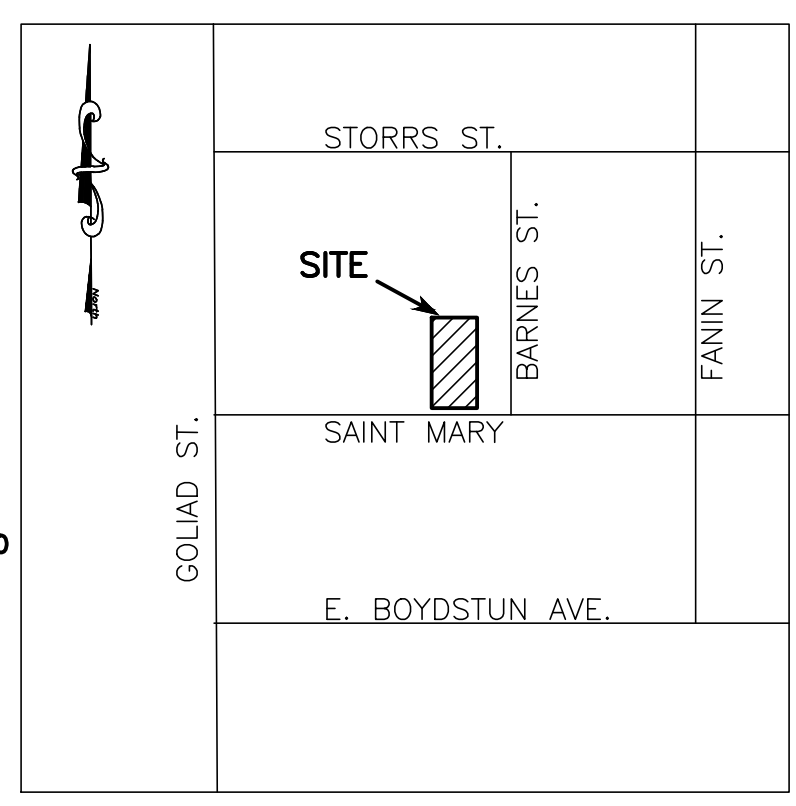
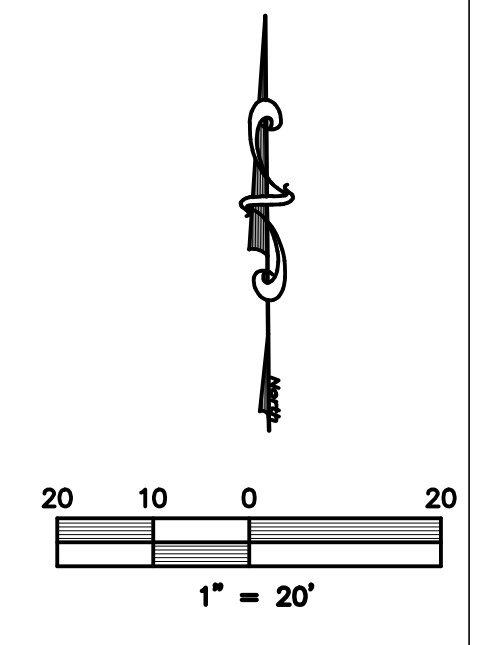
LANDSCAPE TABULATION:

GROSS AREA:	0.51 ACRES	=	22,279 SF
REQUIRED LS AREA:	10%	=	2,228 SF
PROVIDED LS AREA:	67%	=	14,964 SF

DESCRIPTION OF LS MATERIAL:

FRONTAGE 60 LF (NIC DRIVES) = 1 TREE (LIVE OAK, 4" CALIPER (CANOPY))

SHRUBS FOR HEADLIGHT SCREENING: AT PLANTING SHOULD BE 24" TALL 36" O.C.



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owner
Reborn Skin & Beauty
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date: 4/12/23 scale: 1" = 20' sheet: L101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
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Rockwall, Texas 75087

STAFF USE ONLY

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LOTS [CURRENT]

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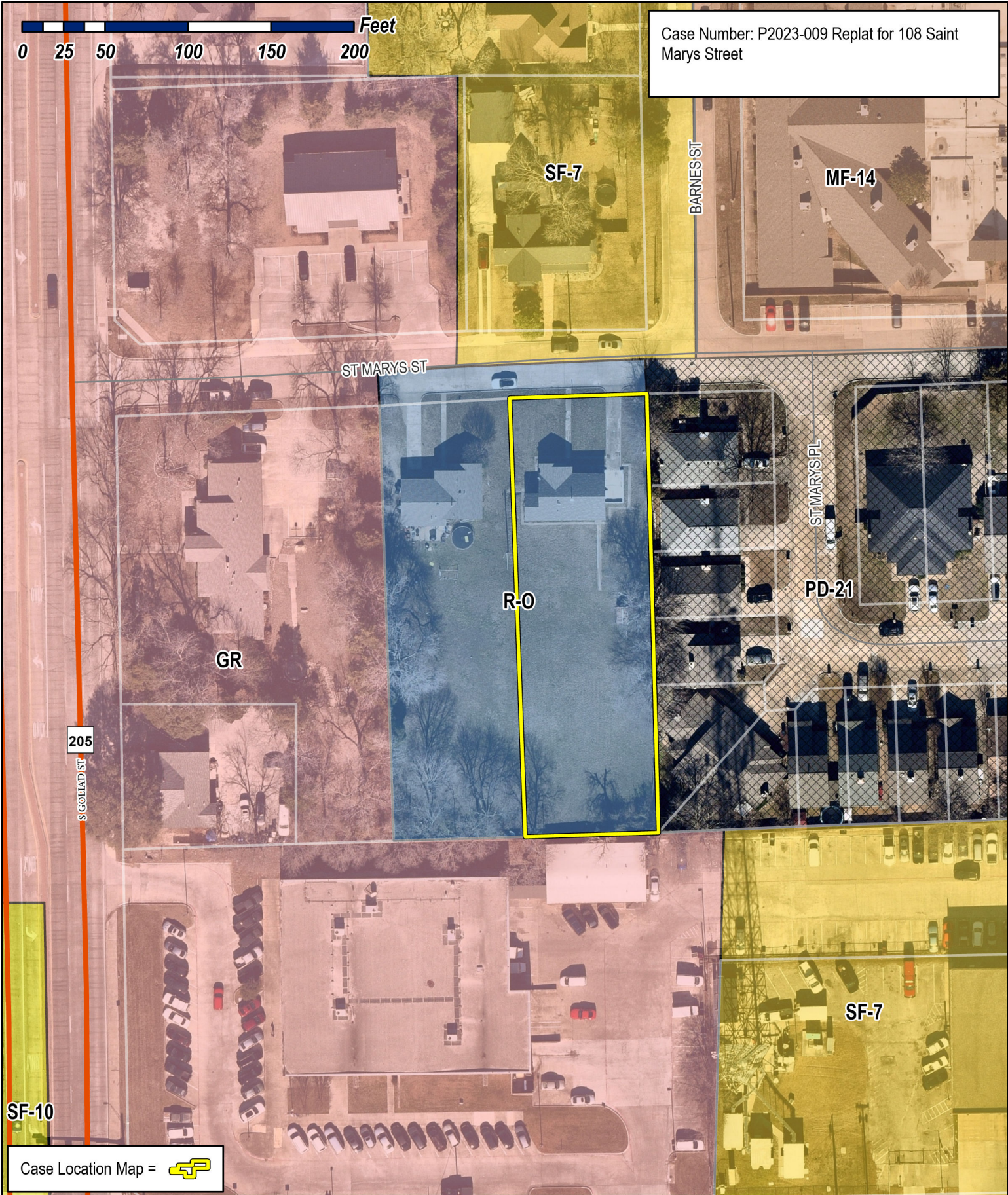


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



Case Number: P2023-009 Replat for 108 Saint Marys Street



Case Location Map =



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Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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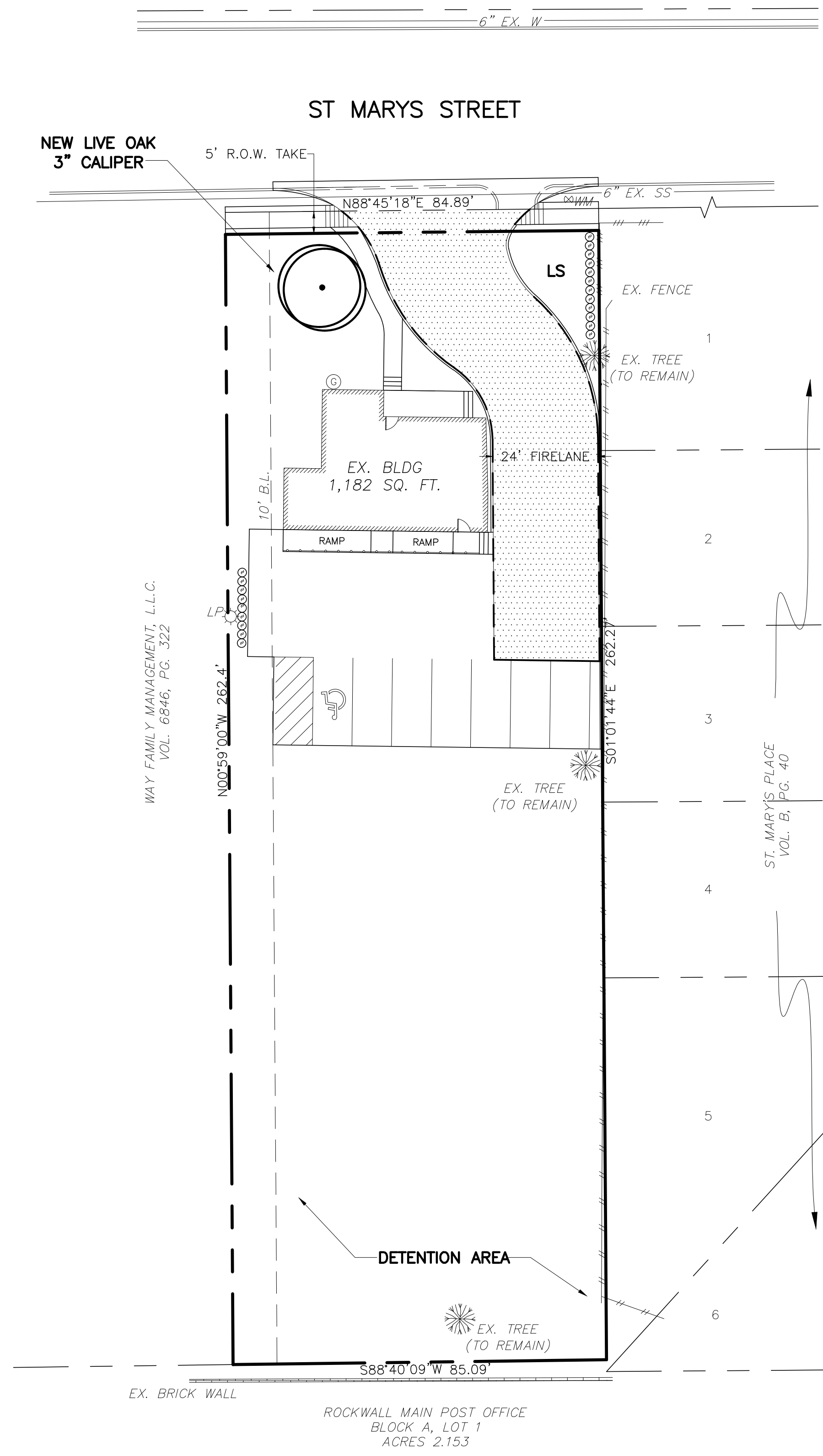
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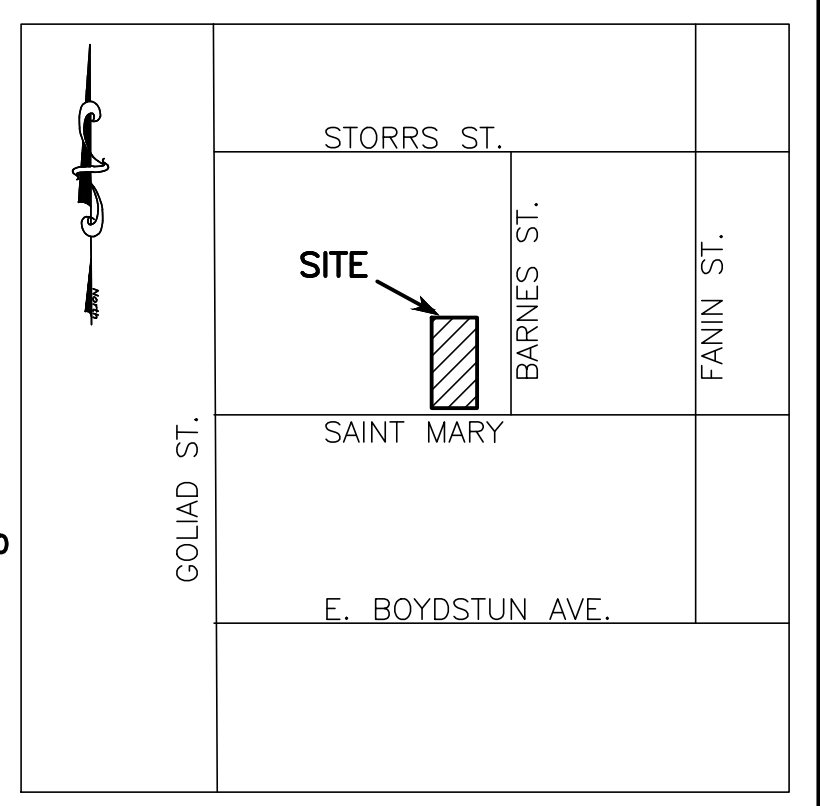
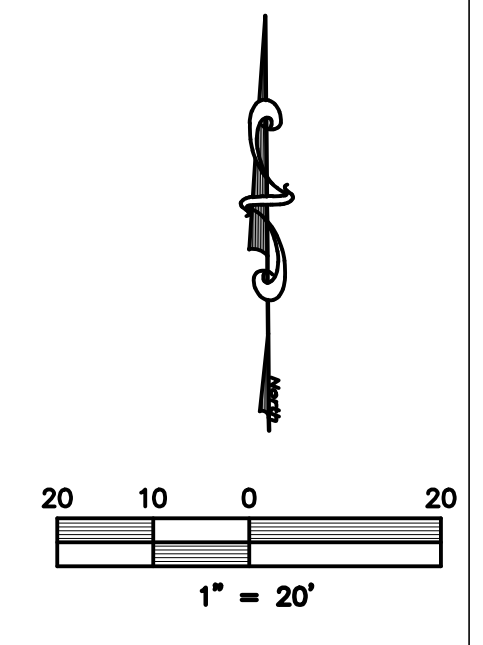
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- LS = LANDSCAPE
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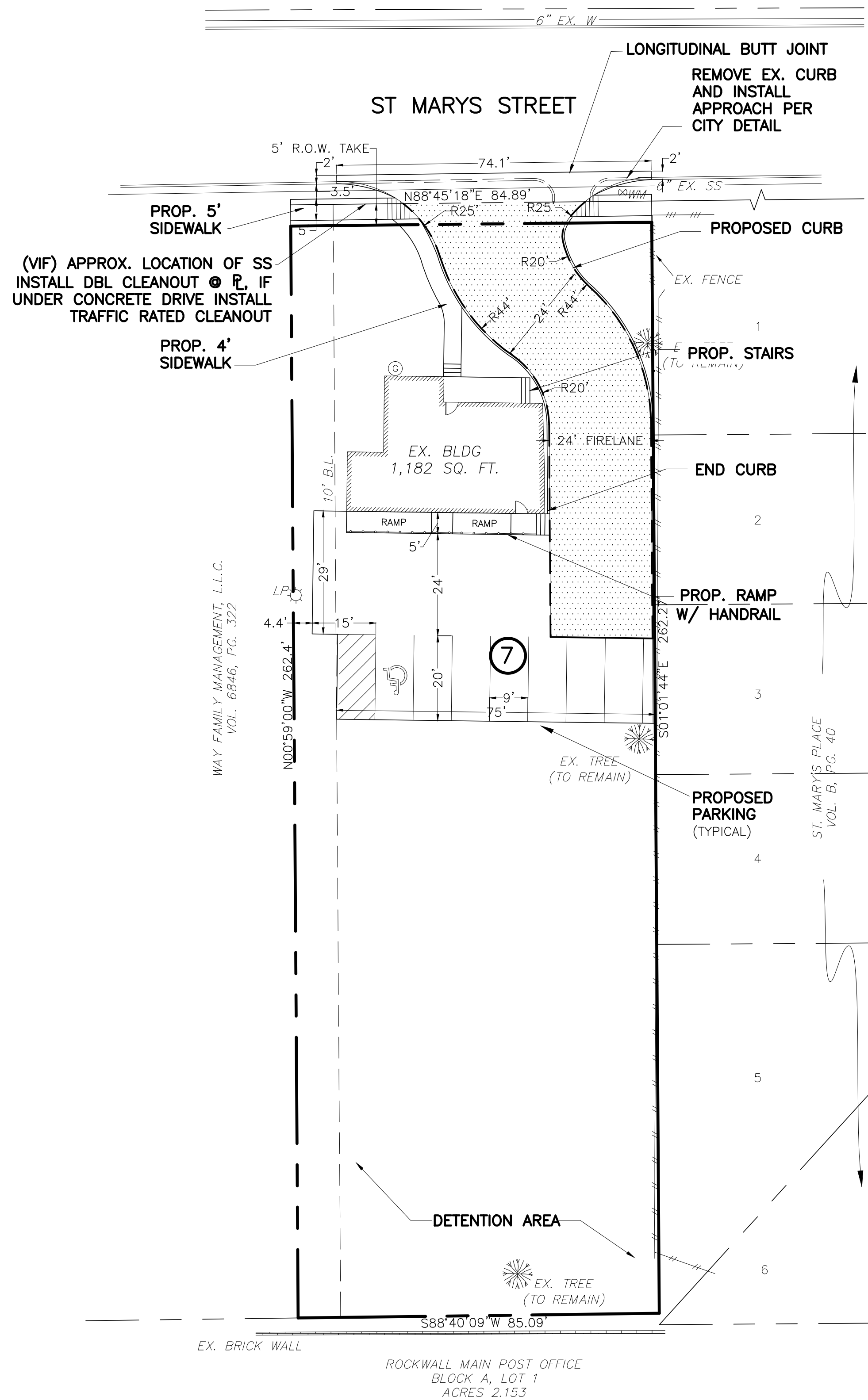
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CASE #: SP
LANDSCAPE PLAN
108 SAINT MARY STREET
City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

date: 4/12/23 scale: 1" = 20' sheet: L101



SITE DATA:

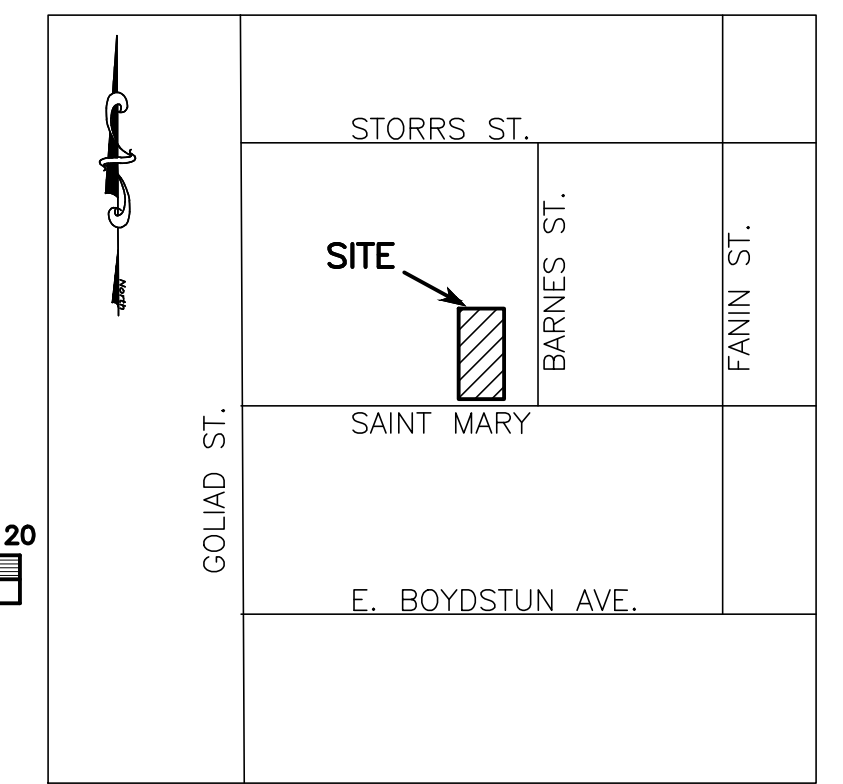
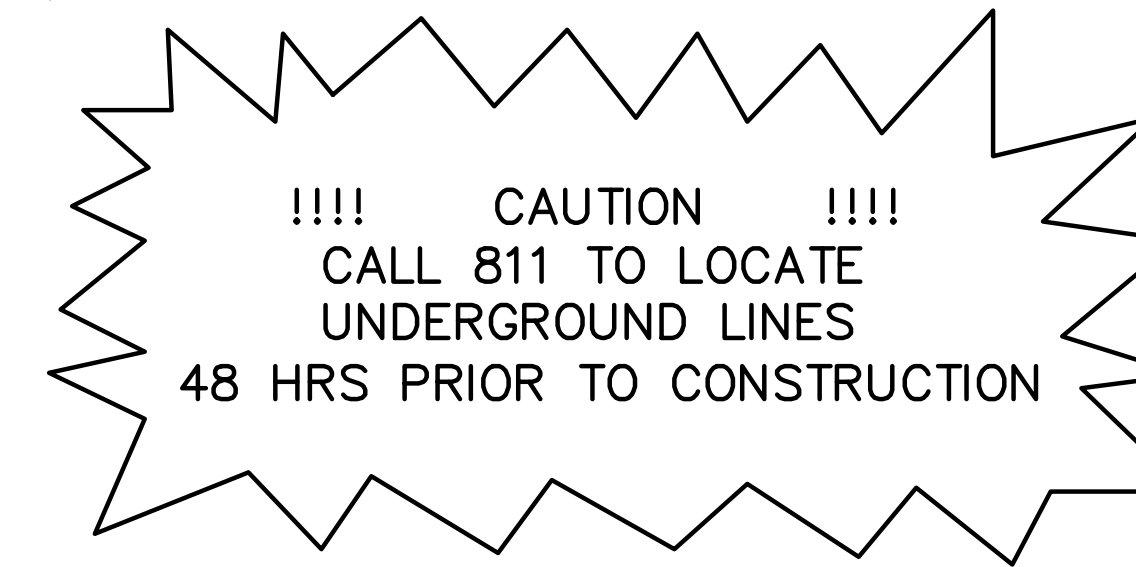
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IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required: (1 space/300) = 4
Provided:
Standard = 6
Handicapped = 1
Total Provided = 7
LANDSCAPE AREA:
Required: (10%) 2,228 sq.ft.
Provided: (67%) 14,964 sq.ft.

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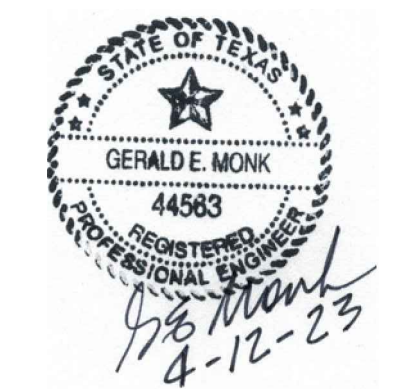


LOCATION MAP (NOT TO SCALE)

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**CASE #: SP
SITE PLAN**

108 SAINT MARY STREET

City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
I & O23 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: C101

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-014
PROJECT NAME: Amended Site Plan for 108 St. Marys
SITE ADDRESS/LOCATIONS: 108 ST MARYS ST

CASE CAPTION: Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-014; Amended Site Plan for 108 St. Mary's Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2023-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Residential Office (RO) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Site Plan:

1. The site will need to be platted after site plan approval to establish new easements.
2. Please check Vicinity map. The subject property should be located on the south side of St. Mary's Street not the north side. (Subsection 03.04.A, of Article 11, of the UDC)

M.6 Landscape Plan:

1. One (1) canopy tree and one (1) accent tree is required in the landscape buffer along St. Mary's Street. (Subsection 05.01(B), of Article 05, of the UDC)
2. Canopy trees shall be a minimum of four (4) inch caliper. The Landscape plan currently shows a three (3) inch caliper canopy tree in front. (Subsection 07.01, of Article 09, of the UDC)
3. All parking spaces shall be within 80' of a canopy tree. (Subsection 05.03.E, Article 08, UDC)
4. Provide four (4)-inch canopy trees 20' foot on center and 24" shrubs planted on 36" centers along the east side of the property for residential adjacency screening. (Subsection 05.02.B, of Article 08, of the UDC)
5. Delineate a rough boundary of detention area and provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08, UDC)

6. Provide shrub screening around the A/C units on the west side of the property. (Subsection 01.05.C, of Article 05, of the UDC)
7. Indicate the type and size of every existing and proposed landscape items. (Subsection 05.03.B, of Article 08, of the UDC)
8. The landscape plan provided does not provide indication of trees being removed. Please provide indication of which trees are being removed and the tree mitigation required. (Section 5, of Article 09, of the UDC)

I.7 Please note that failure to address all comments provided by staff by 3:00 PM on April 4, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - 10' utility easement to be dedicated
 - Must have a 15x24' turnaround striped and signed as no parking.

The following items are informational for the engineering design process.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking, without approved turn around area.
- Driveway spacing must be labeled on Site Plan.
- Must have detention for added impervious area. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.
- Will need fire hydrant installed at corner of Barnes and St. Marys
- Add note: No dumpster will be used.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments

04/17/2023: Note: A fire lane is not required unless an addition/expansion of the existing building is done or a new building is added to the property.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/17/2023	Approved

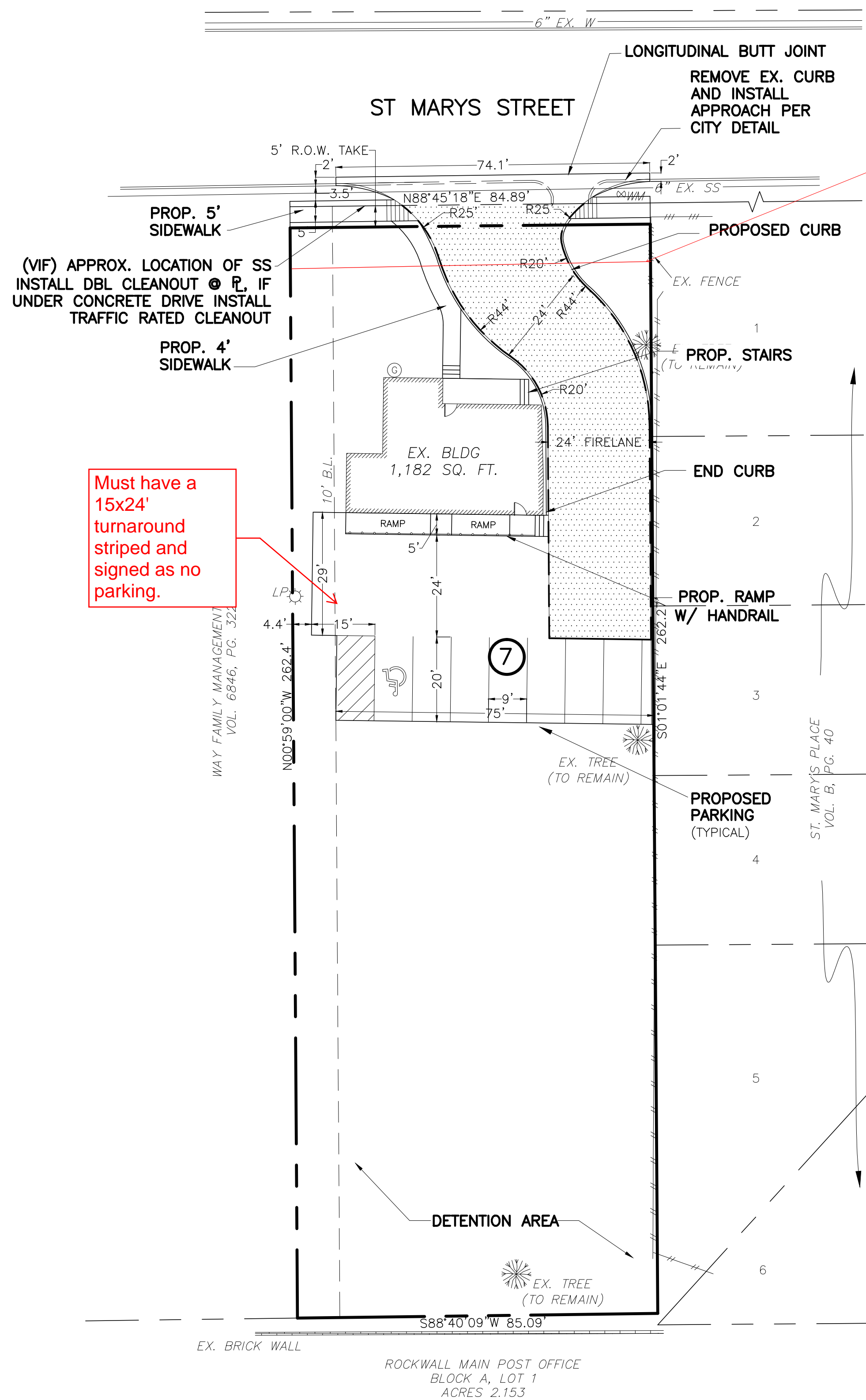
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

No Comments



10' utility easement to be dedicated

Must have a 15x24' turnaround striped and signed as no parking.

- 4% Engineering Inspection Fees
- Impact fees.
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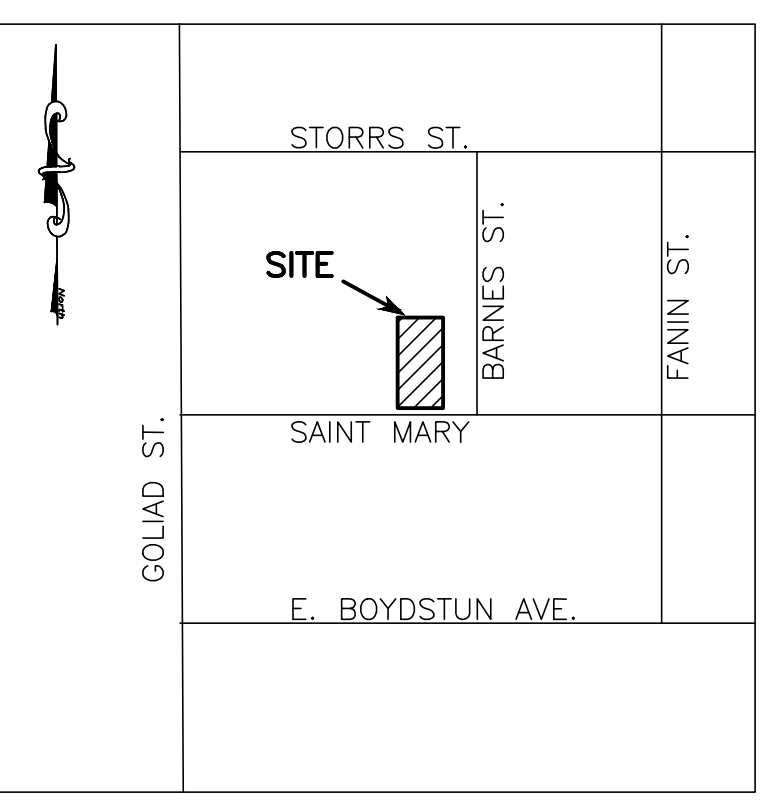
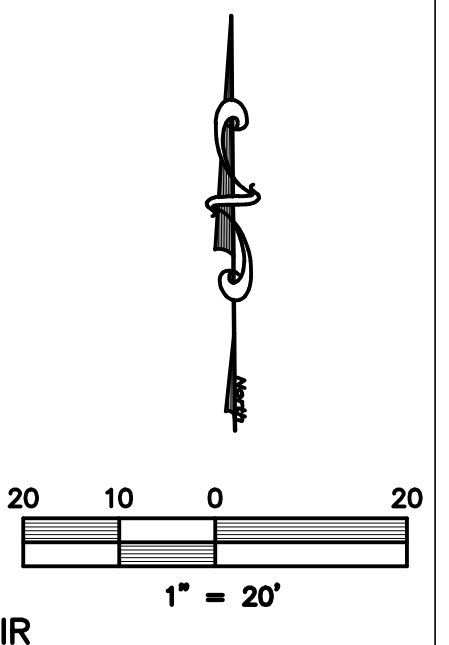
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48 HRS PRIOR TO CONSTRUCTION



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SITE PLAN
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City of Rockwall, Rockwall County, Texas 75087

OWNER
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 4/12/23 scale: 1" = 20' sheet: **C101**



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

2023-009

NO. THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *108 Saint Mary St.*

SUBDIVISION *BP Boydston Addition*

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *R-0*

CURRENT USE *vacant*

PROPOSED ZONING *R-0*

PROPOSED USE *medical office*

ACREAGE *0.51*

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Ashley Egan*

APPLICANT *same*

CONTACT PERSON *Justine Jones*

CONTACT PERSON

ADDRESS *109 Saint Mary St.*

ADDRESS

CITY, STATE & ZIP *Rockwall, TX 75087*

CITY, STATE & ZIP

PHONE *(509) 630-1392*

PHONE

E-MAIL *justine@rebornskinandbeauty.com*

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

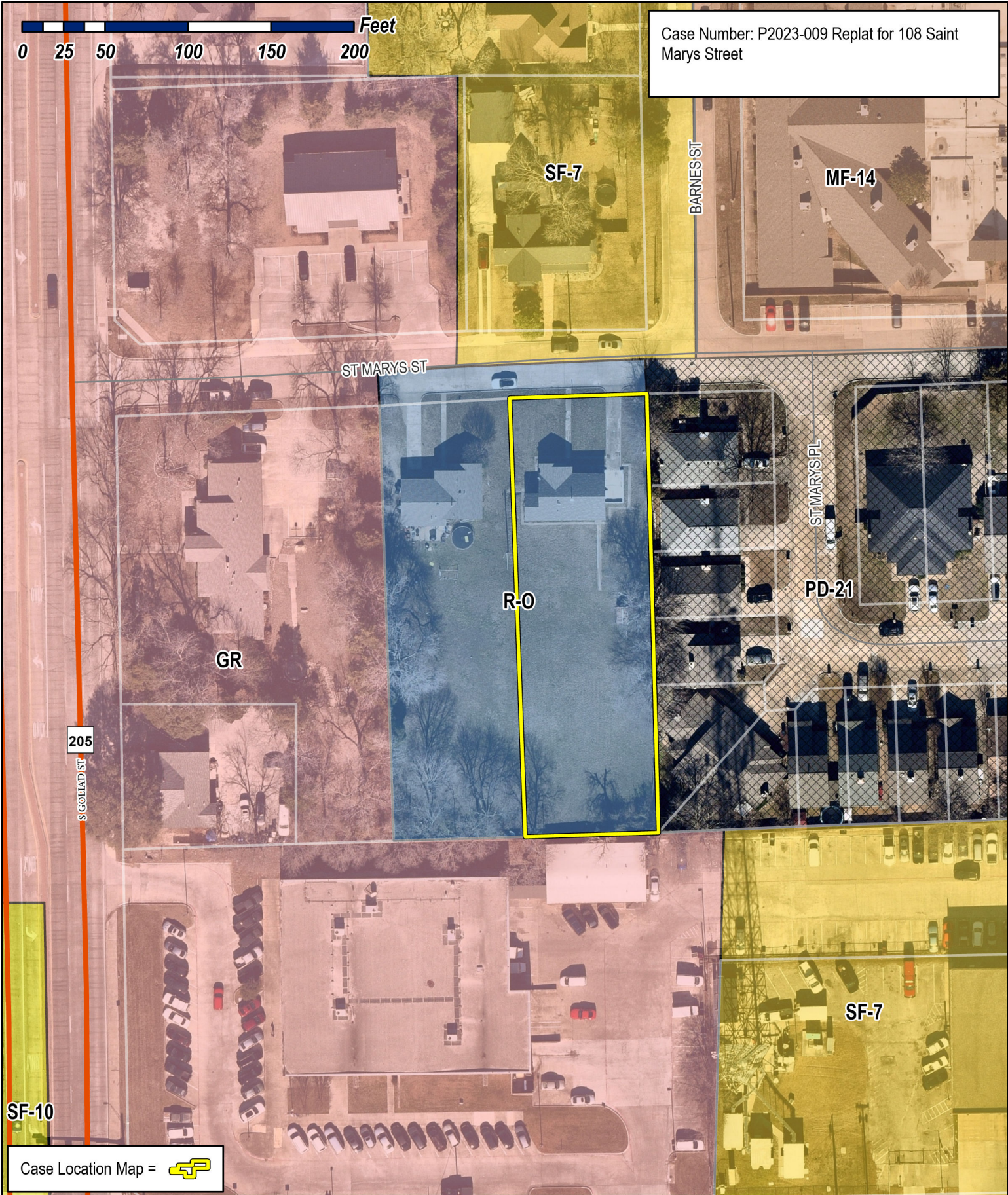
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



Case Number: P2023-009 Replat for 108 Saint Marys Street



Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Justine Jones & Ashley Egan
109 Saint Mary St.
Rockwall, TX 75087
justine@rebornskinandbeauty.com

April 5, 2023

Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S. Goliad St.
Rockwall, TX 75087

Dear Ryan, et al.

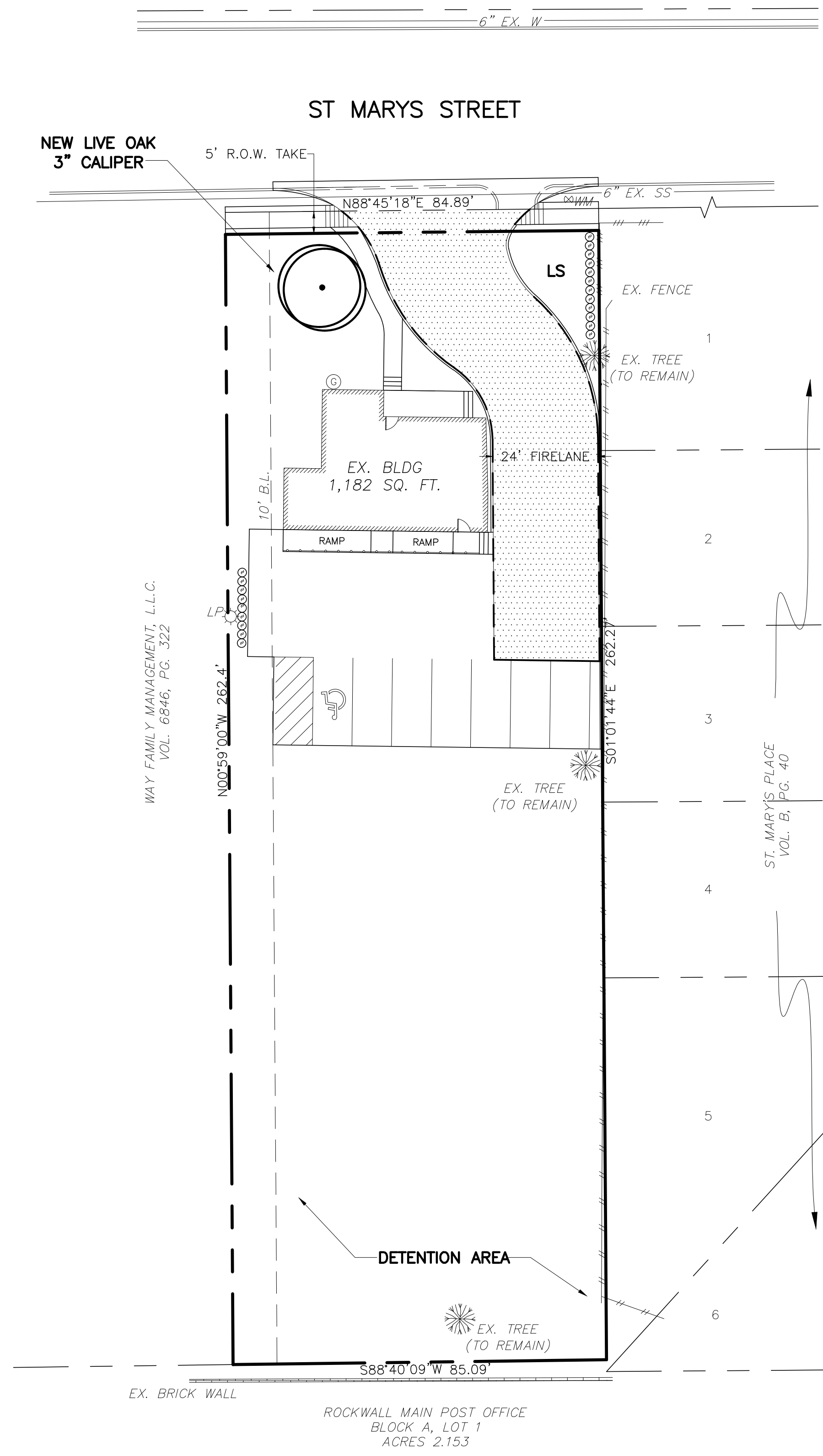
This letter is intended to supplement our Developmental Application for the lot and plat at 108 Saint Mary St. in Rockwall, TX. Our application is for an Amended Plat.

We purchased this building and lot with the intention of converting the space into a medical office where we will provide treatments, counseling, and coaching to clients who seek a variety of services that are deemed medical by the State of Texas. We will not be using anesthesia for any treatments. Some treatments include injectables and skin treatments. We will not be offering traditional salon-type or manicurists/nail treatments.

We are hopeful that the approval to redesign the lot will bring the neighborhood, surrounding businesses, and neighbors a fresh view. The current structure and lot are unfinished and have been for almost three years. As is, the property is an eye sore. We are invested in our community and neighborhood and are excited to move forward with this project.

Respectfully,

Justine Jones & Ashley Egan



NO TREE WITHIN 5' OF UTILITIES

SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required:(1 space/300) = 4
Provided:
Standard= 6
Handicapped = 1
Total Provided = 7
LANDSCAPE AREA:
Required: (10%) 2,228 sq.ft.
Provided: (67%)14,964 sq.ft.

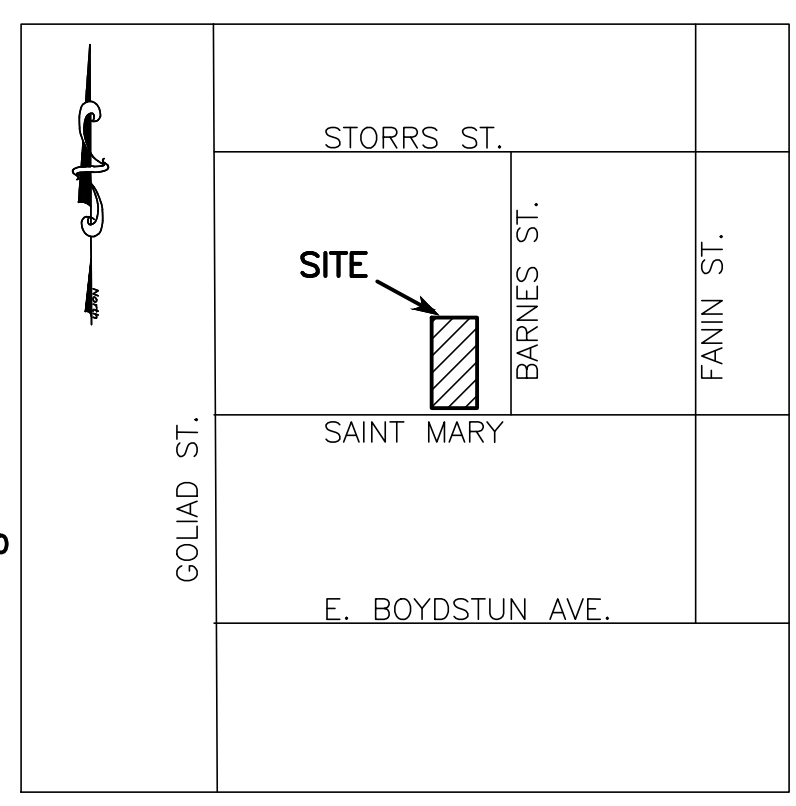
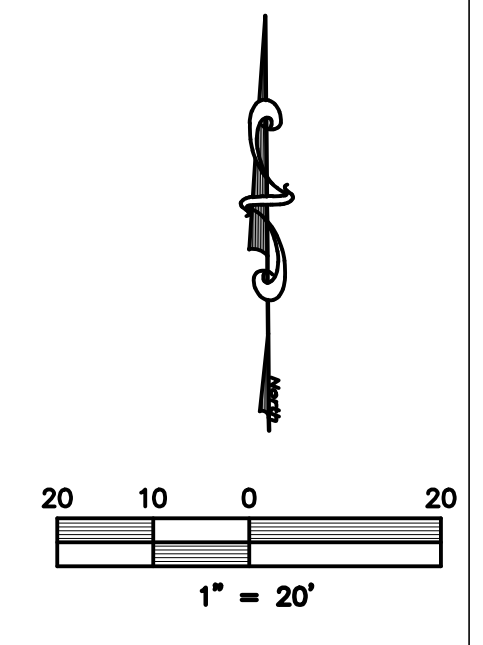
LANDSCAPE TABULATION:

GROSS AREA:	0.51 ACRES	=	22,279 SF
REQUIRED LS AREA:	10%	=	2,228 SF
PROVIDED LS AREA:	67%	=	14,964 SF

DESCRIPTION OF LS MATERIAL:

FRONTAGE 60 LF (NIC DRIVES) = 1 TREE (LIVE OAK, 4" CALIPER (CANOPY))

SHRUBS FOR HEADLIGHT SCREENING: AT PLANTING SHOULD BE 24" TALL 36" O.C.



LOCATION MAP (NOT TO SCALE)

LEGEND

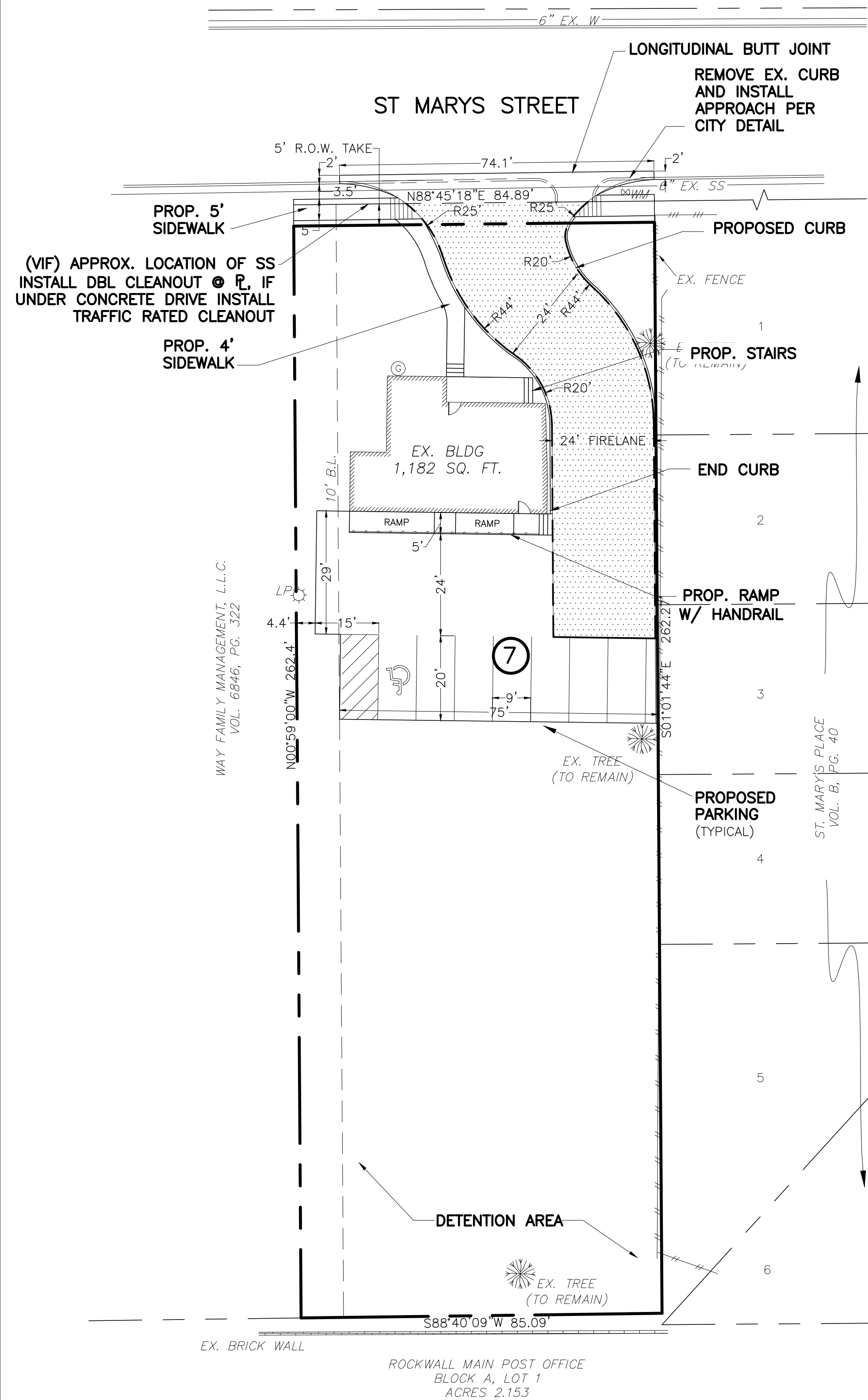
- = PROPERTY LINE
- 460 --- = EXISTING CONTOURS
- 460 --- = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
ep = EDGE OF PAVEMENT
tw = TOP OF WALL
bw = BOTTOM OF WALL
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- ⊙ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
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- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ FH = PROPOSED FIRE HYDRANT

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CASE #: SP		
LANDSCAPE PLAN		
108 SAINT MARY STREET		
City of Rockwall, Rockwall County, Texas 75087		
owner Reborn Skin & Beauty 6705 Heritage Pkwy, Ste. 104 Rockwall, TX 75087		
date:	scale:	sheet:
4/12/23	1" = 20'	L101



SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required: (1 space/300) = 4
Provided:
Standard = 6
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Total Provided = 7
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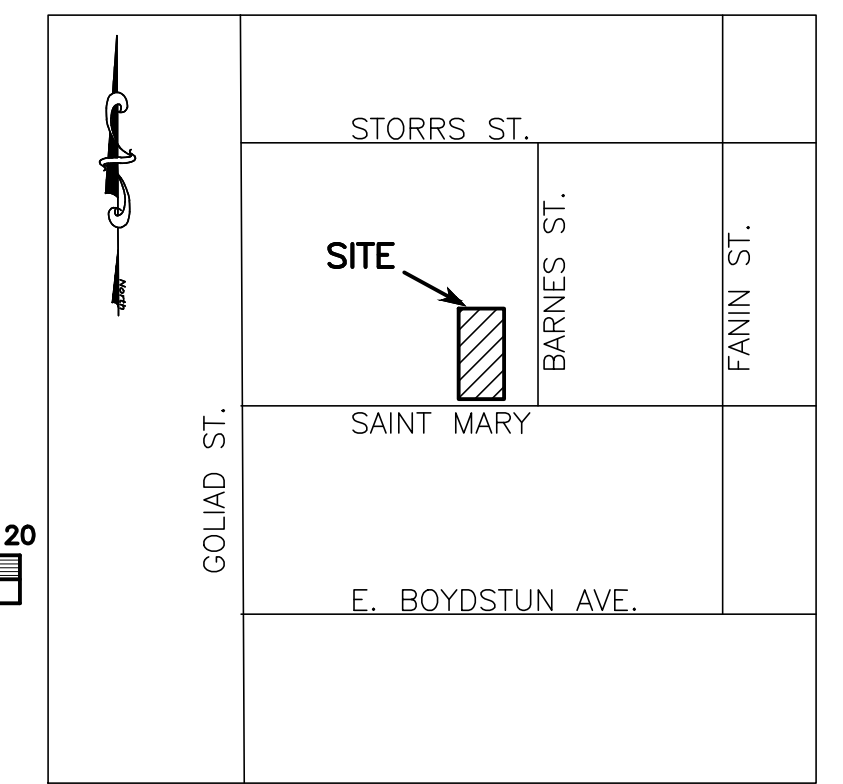
NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
- 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
- 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

PAVING NOTES:

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

!!! CAUTION !!!
CALL 811 TO LOCATE
UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

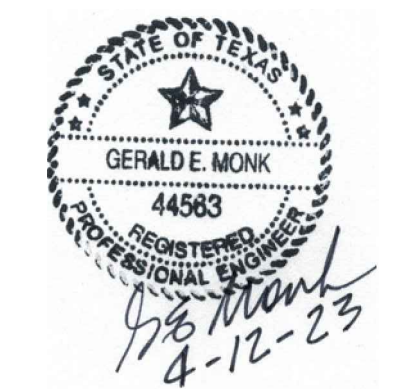


LOCATION MAP
(NOT TO SCALE)

LEGEND

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**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**CASE #: SP
SITE PLAN**

108 SAINT MARY STREET

City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
I & O23 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: C101



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 9, 2023
APPLICANT: Ashely Egan
CASE NUMBER: SP2023-014; *Amended Site Plan for 108 Saint Mary's Street*

SUMMARY

Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. At some point after August 25, 1934 the subject property was platted as Block 80B, B. F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to a Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. According to the Rockwall Central Appraisal District (RCAD), the 1,280 SF single-family home situated on the subject property was constructed in 1980. On April 2, 2018, the City Council approved a zoning change [Case No. Z2018-007] for the subject property from Single-Family (SF-7) District to Residential Office (RO) District. On February 12, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-002] to allow the conversion of the existing single-family home into a 1,182 SF office building. On June 15, 2021, the Planning and Zoning Commission approved an amended site plan [Case No. SP2021-014]; however, the applicant of this case did not make the improvements required by the approved site plan, and no changes have been made to the subject property since it was originally utilized as a single-family home.

PURPOSE

On April 14, 2023, the applicant -- *Ashley Egan* -- submitted an application requesting the approval of an Amended Site Plan for the purpose of converting the existing single-family homes into an *Office Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as *108 St. Mary's Street*. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is St. Mary Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a single-family home, which is identified as a *Landmarked Property (i.e. the Underwood House)* on the *2017 Historic Resource Survey*. Adjacent to the *Underwood House* is another single-family home, which is also identified as a *Landmarked Property (i.e. the Barnes House)*. Both of these properties are zoned Single-Family 7 (SF-7) District and situated within the Historic Overlay (HO) District.

South: Directly south of the subject property is a 2.153-acre parcel of land developed with a post-office and zoned General Retail (GR) District. Beyond this is E. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a residential housing development, which is zoned Planned Development District 30 (PD-30) for Two-Family (2F) District land uses.

East: Directly east of the subject property are seven (7) residential lots (*i.e.* 202, 204, 206, 208, 210, 212, & 214 St. Mary's Place) developed with single-family homes and zoned Planned Development District 21 (PD-21) for single-family attached and single-family detached land uses. Beyond this is St. Mary's Place, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is S. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This is followed by several single-family homes that are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is a 0.509-acre parcel of land zoned Residential Office (RO) District. Beyond this are two (2) parcels of land (*i.e.* 603 & 607 S. Goliad Street) of land zoned General Retail (GR) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 9.43-acre tract of land developed with a *House of Worship* (*i.e. First Baptist Church*) and zoned General Retail (GR) District and Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office* is a permitted *by-right* land use in a Residential Office (RO) District. The submitted site plan generally conforms to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Residential Office (RO) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X= 0.5090-Acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 80.5-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=262.27-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	30-Feet	X>30-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X=10; In Conformance
<i>Maximum Building Height</i>	36-Feet	X<36-feet; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=32.8%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (4 Required)	X=7; In Conformance
<i>Minimum Landscaping Percentage</i>	30%	X=67%; In Conformance
<i>Maximum Impervious Coverage</i>	75-80%	X<75%; In Conformance

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) an *Office Building* is defined as "(a) facility that provides executive, management, administrative, or professional services... but not involving the sale of merchandise except as incidental to a permitted use." In this case, the applicant is requesting to convert one (1) existing single-family home into an *Office Building*, which is permitted *by-right* according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The proposed site plan also conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC).

VARIANCES AND/OR EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exception:

- (1) Residential Screening Standards. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative the code does allow the Planning and Zoning Commission to consider the use of three (3) tiered landscaping along the adjacency. In this case,

the applicant is not able to place the required three (3) tiered screening along a portion of the eastern property line due to placement of the required 24-foot driveway leading to the parking lot at the rear of the property. Currently, there are existing six (6) foot wood fences along the entire eastern property line, and the applicant is proposing to provide one row of shrubs -- spaced on 24-inch centers -- and three (3) canopy trees. While this does not meet the requirements, the code does allow the Planning and Zoning Commission to grant an exception to the screening requirements.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Downtown District and as being designated for Live/Work land uses. The Downtown District is "... the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall ..." and "... is significantly developed and contains the City's oldest and residential and commercial buildings". The Live/Work designation in this district is intended "...to allow for adaptive reuse of the existing housing stock". In this case, the applicant is proposing an *Office Building* that adaptively reuses the existing single-family home. Based on this the applicant's proposal appears to conform to the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 25, 2023, the Architecture Review Board reviewed the proposed site plan provided by the applicant on April 14, 2023 and made a motion to recommend approval of the building elevations by a vote of 3-0, with Board Members Phillips, Lefere, Hudson and Miller absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of an *Office Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

2023-009

NO. THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *108 Saint Mary St.*

SUBDIVISION *BP Boydston Addition*

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *R-0*

CURRENT USE *vacant*

PROPOSED ZONING *R-0*

PROPOSED USE *medical office*

ACREAGE *0.51*

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Ashley Egan*

APPLICANT *same*

CONTACT PERSON *Justine Jones*

CONTACT PERSON

ADDRESS *109 Saint Mary St.*

ADDRESS

CITY, STATE & ZIP *Rockwall, TX 75087*

CITY, STATE & ZIP

PHONE *(509) 630-1392*

PHONE

E-MAIL *justine@rebornskinandbeauty.com*

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

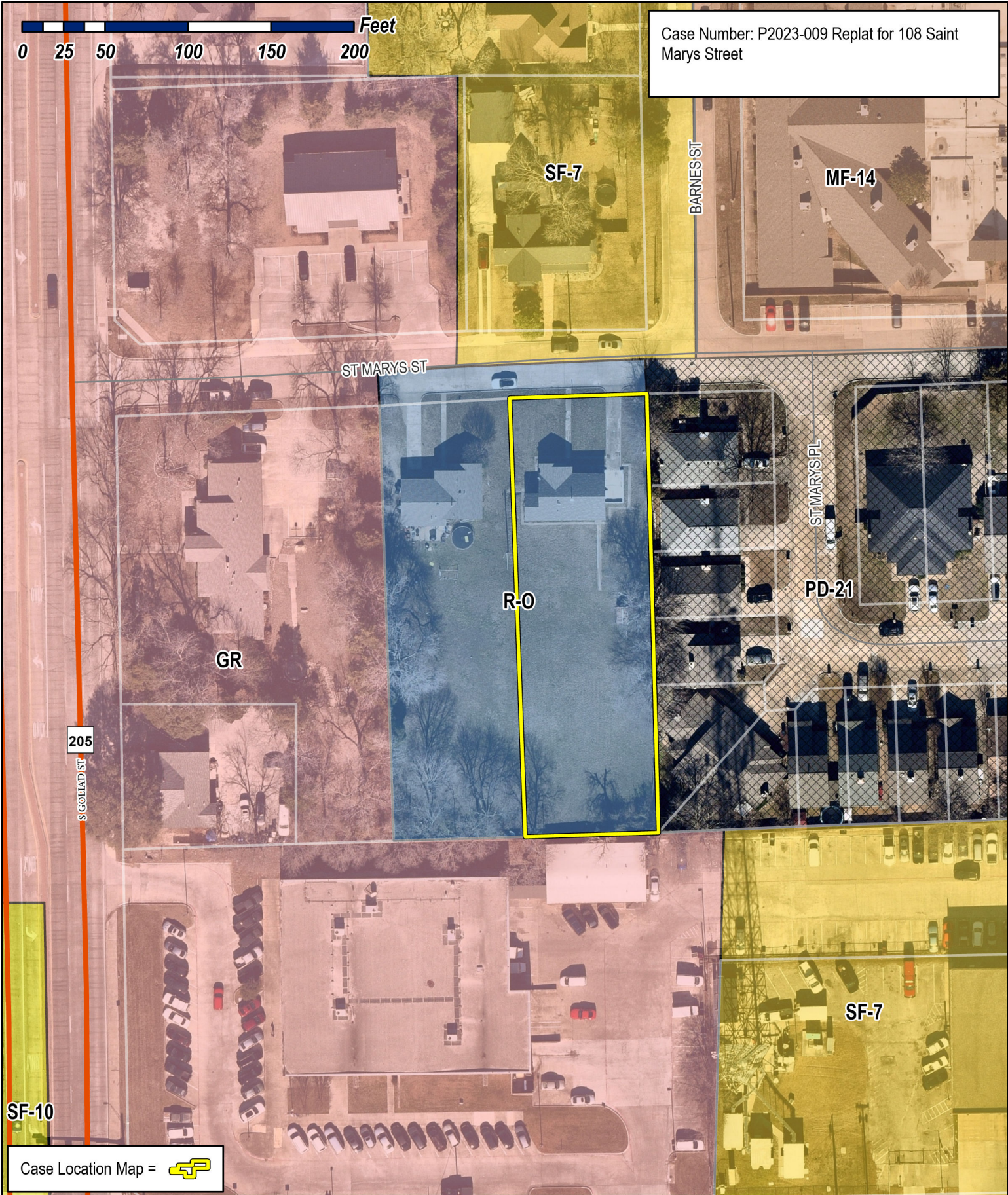



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



Case Number: P2023-009 Replat for 108 Saint Marys Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Justine Jones & Ashley Egan
109 Saint Mary St.
Rockwall, TX 75087
justine@rebornskinandbeauty.com

April 5, 2023

Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S. Goliad St.
Rockwall, TX 75087

Dear Ryan, et al.

This letter is intended to supplement our Developmental Application for the lot and plat at 108 Saint Mary St. in Rockwall, TX. Our application is for an Amended Plat.

We purchased this building and lot with the intention of converting the space into a medical office where we will provide treatments, counseling, and coaching to clients who seek a variety of services that are deemed medical by the State of Texas. We will not be using anesthesia for any treatments. Some treatments include injectables and skin treatments. We will not be offering traditional salon-type or manicurists/nail treatments.

We are hopeful that the approval to redesign the lot will bring the neighborhood, surrounding businesses, and neighbors a fresh view. The current structure and lot are unfinished and have been for almost three years. As is, the property is an eye sore. We are invested in our community and neighborhood and are excited to move forward with this project.

Respectfully,

Justine Jones & Ashley Egan

Ashley Egan & Justine Jones
109 Saint Mary St.
Rockwall, TX 75087
justine@rebornskinandbeauty.com

April 27, 2023

Mr. Ryan Miller
City of Rockwall
Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087

Dear Mr. Miller,

We are writing to request a Variance for the site plan for the property located at 108 St. Mary's St. in Rockwall. Current plans and project comments for "M.6 Landscape Plan" state the need to provide four (4)-inch canopy trees and 24" shrubs along the east side of the property for residential screening. The driveway was previously expanded from 12' to 24' wide to accommodate two lanes of traffic. The width of the driveway starting at the structure and ending at the east side fence is only wide enough to accommodate the new driveway dimensions. Due to this, we will not be able to plant/provide the requested adjacency screening.

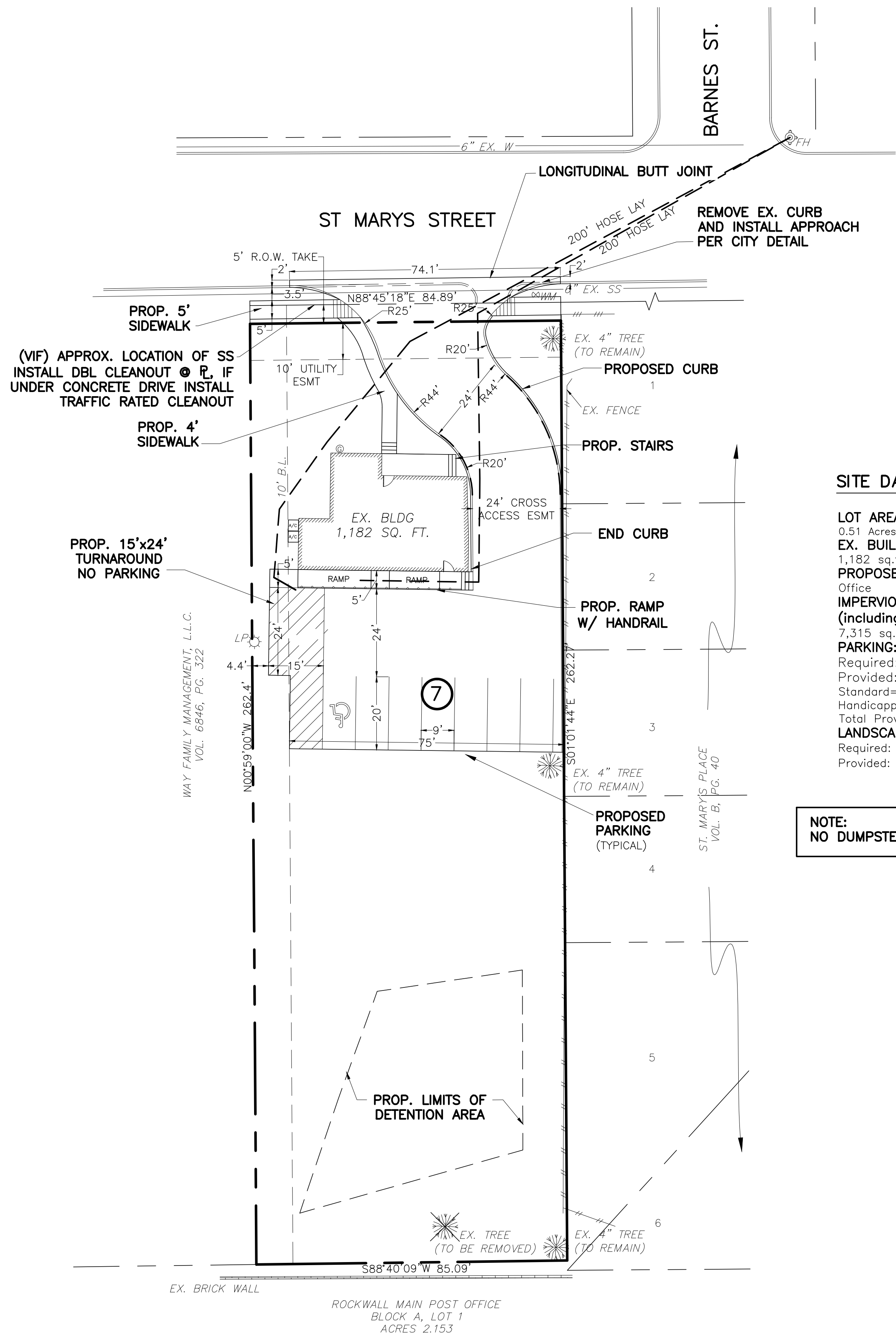
The two compensatory measures we will incorporate in lieu of an adjacency screening are:

- A. Shrubs in flower beds along the front of the building
- B. Planters along the front side of the building

We respectfully request a Variance to M.6 Landscape Plan #6 (subsection 05.02.B, of Article 08, of the UDC).

Sincerely,

Ashley Egan & Justine Jones
(509) 630 – 1392
justine@rebornskinandbeauty.com



**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **RHODES SURVEYING OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.

EX. BUILDING AREA:
1,182 sq.ft.

PROPOSED USE:
Office

IMPERVIOUS AREA
(including buildings):
7,315 sq.ft.

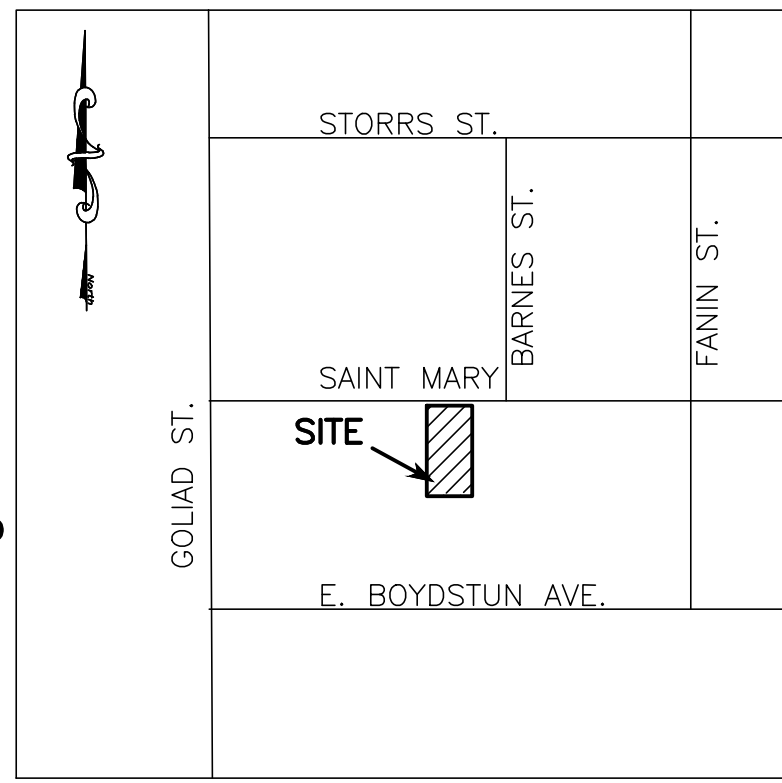
PARKING:
Required: (1 space/300) = 4
Provided:
Standard = 6
Handicapped = 1
Total Provided = 7

LANDSCAPE AREA:
Required: (10%) 2,228 sq.ft.
Provided: (67%) 14,964 sq.ft.

NOTE:
NO DUMPSTER WILL BE USED

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
 - 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
 - 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.
- PAVING NOTES:**
- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

!!!! CAUTION !!!!
CALL 811 TO LOCATE UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

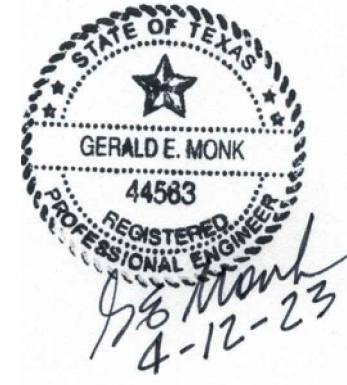


LOCATION MAP (NOT TO SCALE)

LEGEND

---	= PROPERTY LINE
460	= EXISTING CONTOURS
460	= PROPOSED CONTOURS
* 463.00 TC	= PROPOSED SPOT GRADES
or	tc = TOP OF CURB
* 462.50	ep = EDGE OF PAVEMENT
	tw = TOP OF WALL
	bw = BOTTOM OF WALL
	(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
---	= EXISTING SANITARY SEWER LINE
---	= EXISTING WATER LINE
⊕	= EXISTING FIRE HYDRANT
⊕	= EXISTING WATER METER
⊕	= EXISTING POWER POLE
⊕	= EXISTING LIGHT POLE
T	= EX. WATER VALVE
⊙	= EXISTING STORM MANHOLE
⊙	= EXISTING GAS METER
EXIST. or EX.	= EXISTING
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #: SP2023-014

SITE PLAN

108 SAINT MARY STREET

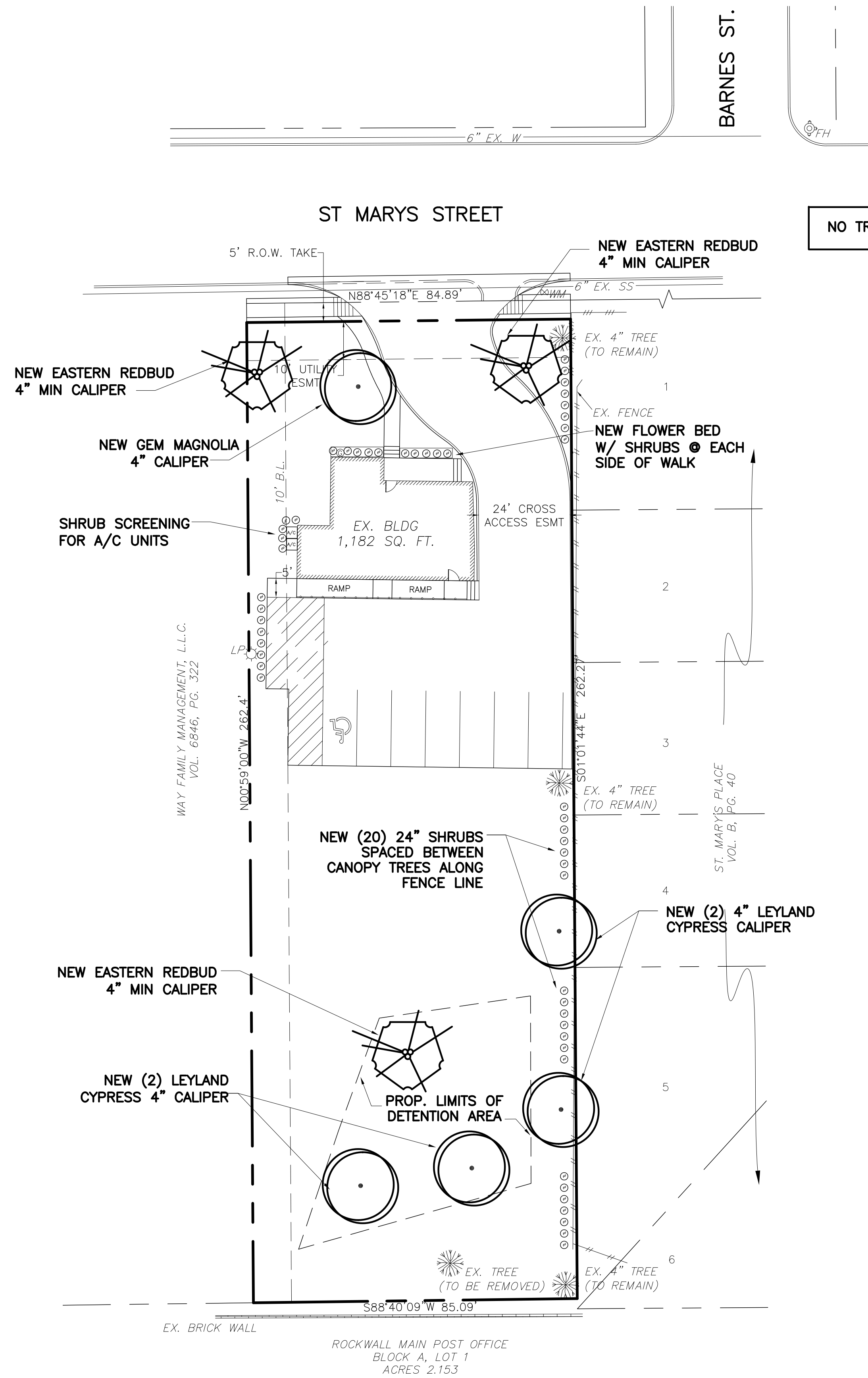
City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
I & O23 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: C101



NO TREE WITHIN 5' OF UTILITIES

SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA
(including buildings):
7,315 sq.ft.
PARKING:
Required:(1 space/300) = 4
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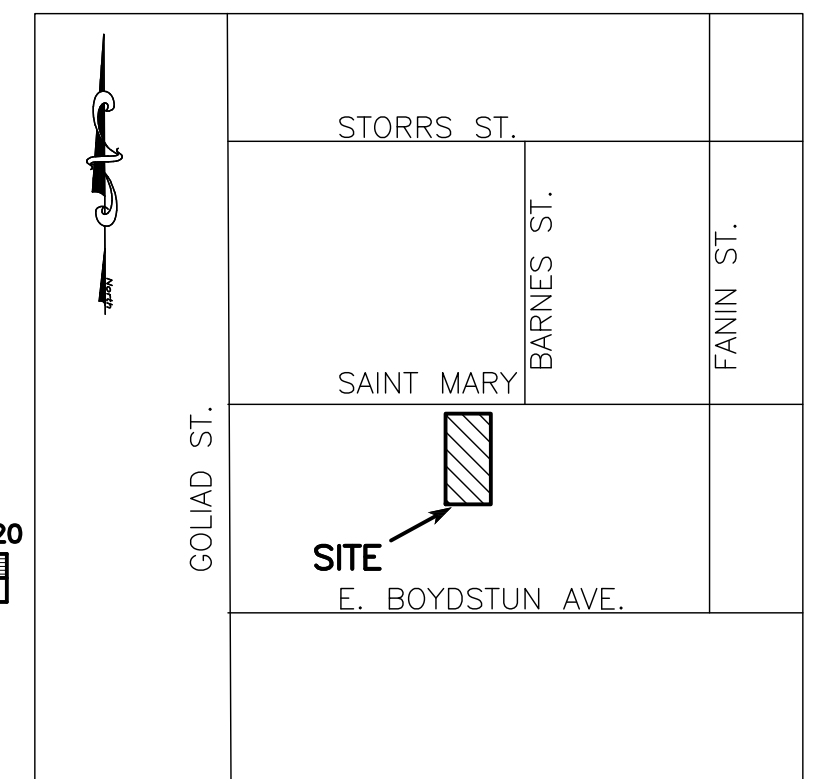
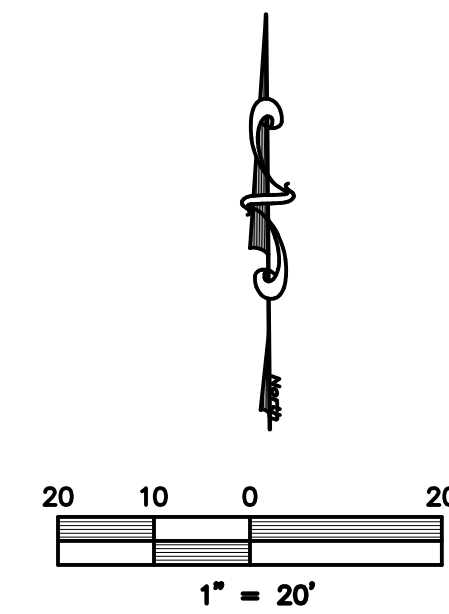
LANDSCAPE TABULATION:

GROSS AREA: 0.51 ACRES = 22,279 SF
REQUIRED LS AREA: 10% = 2,228 SF
PROVIDED LS AREA: 67% = 14,964 SF

DESCRIPTION OF LS MATERIAL:

LEYLAND CYPRESS = 4" MIN. CALIPER (CANOPY)
EASTERN REDBUD = 4" MIN. CALIPER (ACCENT TREE)
BUFORD HOLLY = 5 GALLON, 24"H (SHRUB)

SHRUBS FOR HEADLIGHT SCREENING: AT PLANTING SHOULD BE 24" TALL 36" O.C.



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 --- = EXISTING CONTOURS
- 460--- = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
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- EX. W --- = EXISTING WATER LINE
- ⊙ FH = EXISTING FIRE HYDRANT
- ⊙ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM

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CASE #: SP2023-014

LANDSCAPE PLAN

108 SAINT MARY STREET

City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

date: 4/27/23 scale: 1" = 20' sheet: L101



May 11, 2023

TO: Ashley Egan
109 St. Mary's Street
Rockwall, Texas 75087

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2023-014; *Site Plan for 108 St. Mary's Street*

Ashley:

This letter serves to notify you that the above referenced case (*i.e. Amended Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on May 9, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On May 9, 2023 the Planning and Zoning Commission approved a motion to approve the Amended Site Plan by a vote of 7-0.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in black ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross, *Planner*
City of Rockwall Planning and Zoning Department