



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING CASE NO. SP2023-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 FM 1141, Rockwall, 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-93

CURRENT USE Planned Development PD-93

PROPOSED ZONING

PROPOSED USE

ACREAGE 94.144

LOTS [CURRENT] 181

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

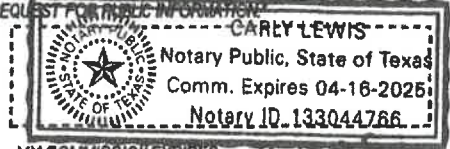
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bret Pedigo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2132.87 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF MARCH 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

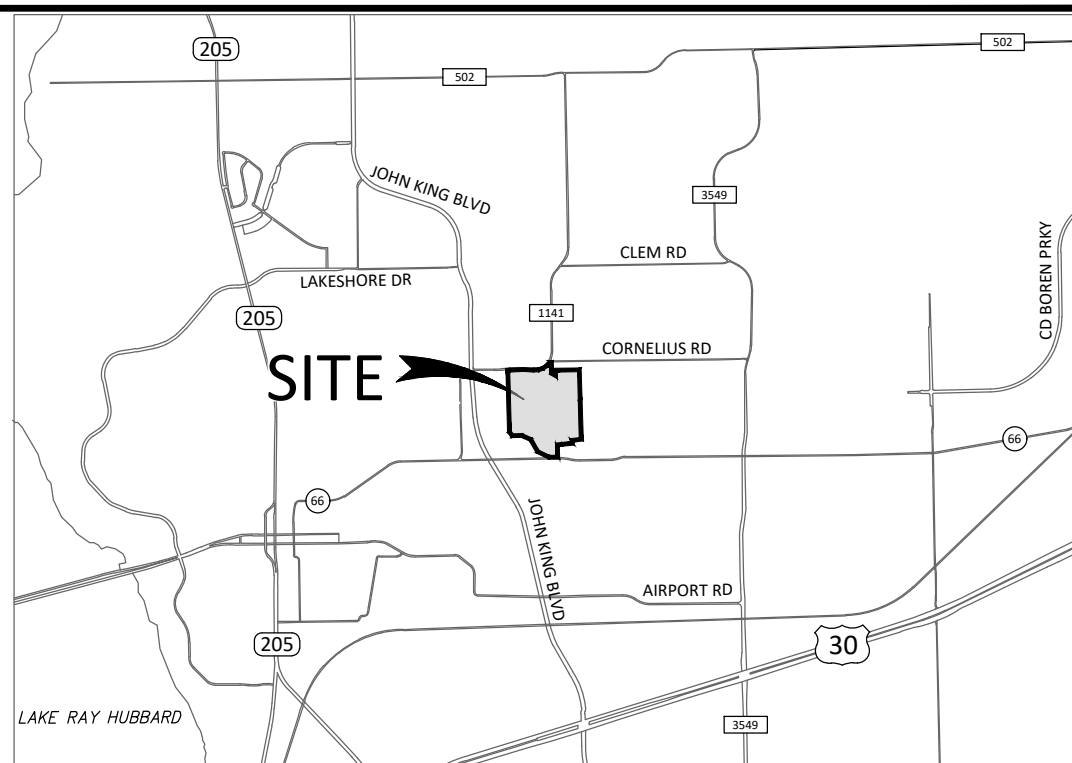
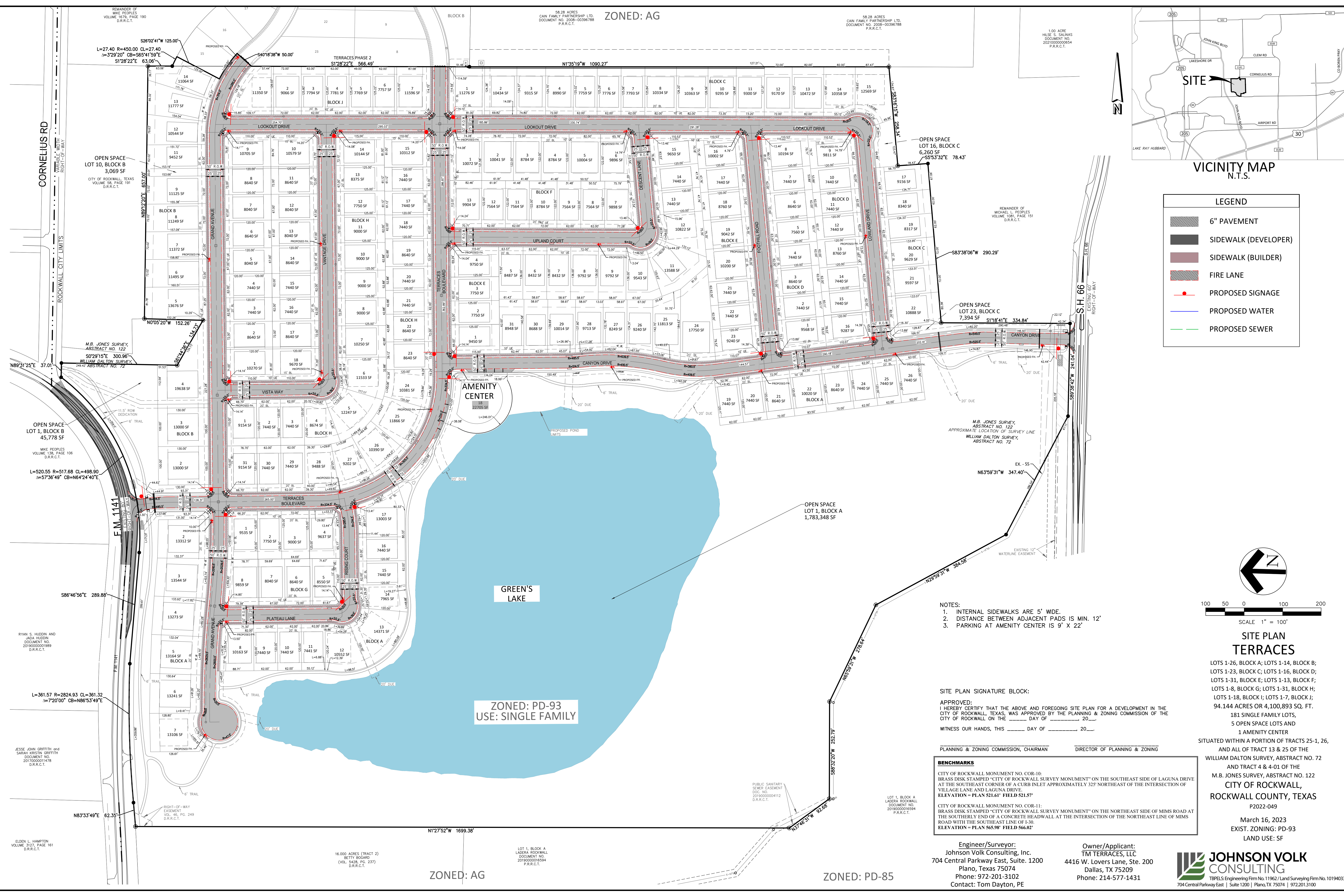
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

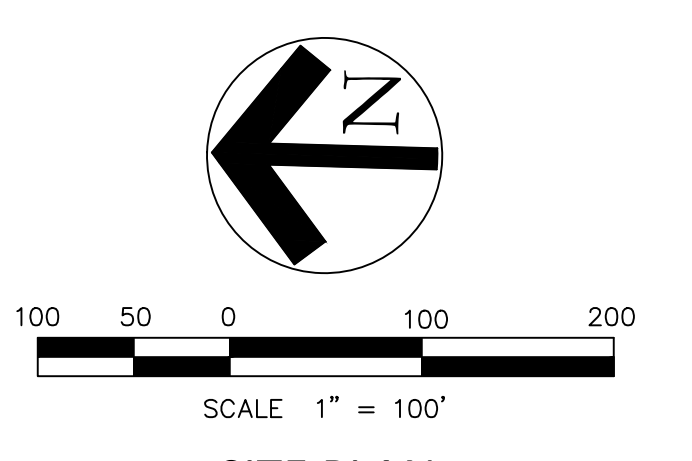


MY COMMISSION EXPIRES 4-16-25



LEGEND

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)
- FIRE LANE
- PROPOSED SIGNAGE
- PROPOSED WATER
- PROPOSED SEWER



- NOTES:**
- INTERNAL SIDEWALKS ARE 5' WIDE.
 - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'
 - PARKING AT AMENITY CENTER IS 9' X 22'

SITE PLAN SIGNATURE BLOCK:
 APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20__
 WITNESS OUR HANDS, THIS ____ DAY OF ____ 20__

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

BENCHMARKS
 CITY OF ROCKWALL MONUMENT NO. COR-10: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'
 CITY OF ROCKWALL MONUMENT NO. COR-11: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-59. ELEVATION = PLAN 565.98' FIELD 566.02'

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

Owner/Applicant:
 TM TERRACES, LLC
 4416 W. Lovers Lane, Ste. 200
 Dallas, TX 75209
 Phone: 214-577-1431

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

ZONED: AG (top center)

ZONED: PD-93 USE: SINGLE FAMILY (center bottom)

ZONED: AG (bottom center)

ZONED: PD-85 (bottom right)

REMAINDER OF MIKE PEOPLES VOLUME 1679, PAGE 190 D.R.R.C.T.

REMAINDER OF MICHAEL L. PEOPLES VOLUME 1081, PAGE 151 D.R.R.C.T.

REMAINDER OF M.B. JONES SURVEY, ABSTRACT NO. 122 WILLIAM DALTON SURVEY, ABSTRACT NO. 72

RYAN S. HUDDIN AND JADA HUDDIN DOCUMENT NO. 2019000001989 D.R.R.C.T.

JESSE JOHN GRIFFITH and SARAH KRISTIN GRIFFITH DOCUMENT NO. 20170000011478 D.R.R.C.T.

ELDEN L. HAMPTON VOLUME 3127, PAGE 161 D.R.R.C.T.

16.000 ACRES (TRACT 2) BETTY BOSGARD (VOL. 5428, PG. 237) D.R.R.C.T.

LOT 1, BLOCK A LADERA ROCKWALL DOCUMENT NO. 20190000016594 P.R.R.C.T.

LOT 1, BLOCK A CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'

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PUBLIC SANITARY SEWER EASEMENT DOC. NO. 2019000004112 D.R.R.C.T.

LOT 1, BLOCK A LADERA ROCKWALL DOCUMENT NO. 20190000016594 P.R.R.C.T.

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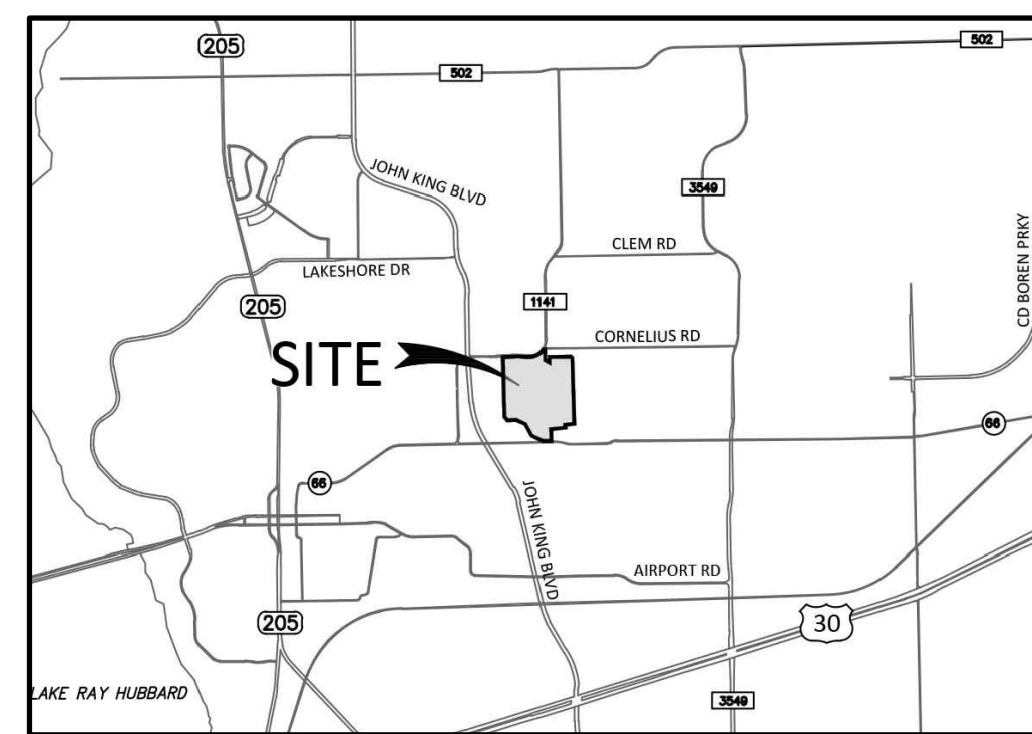
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~TERRACES~
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: March 10, 2023



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
HS1	OVERALL LAYOUT PLAN
HS2-HS10	HARDSCAPE PLANS
HS11-HS13	HARDSCAPE DETAILS
EX1	ENTRY LIGHTING EXHIBIT
L1-L9	LANDSCAPE PLANS
L110-L10	LANDSCAPE DETAILS

OWNER / DEVELOPER:

TM TERRACES, LLC
4416 W. LOVERS LANE
SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431

CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY
EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

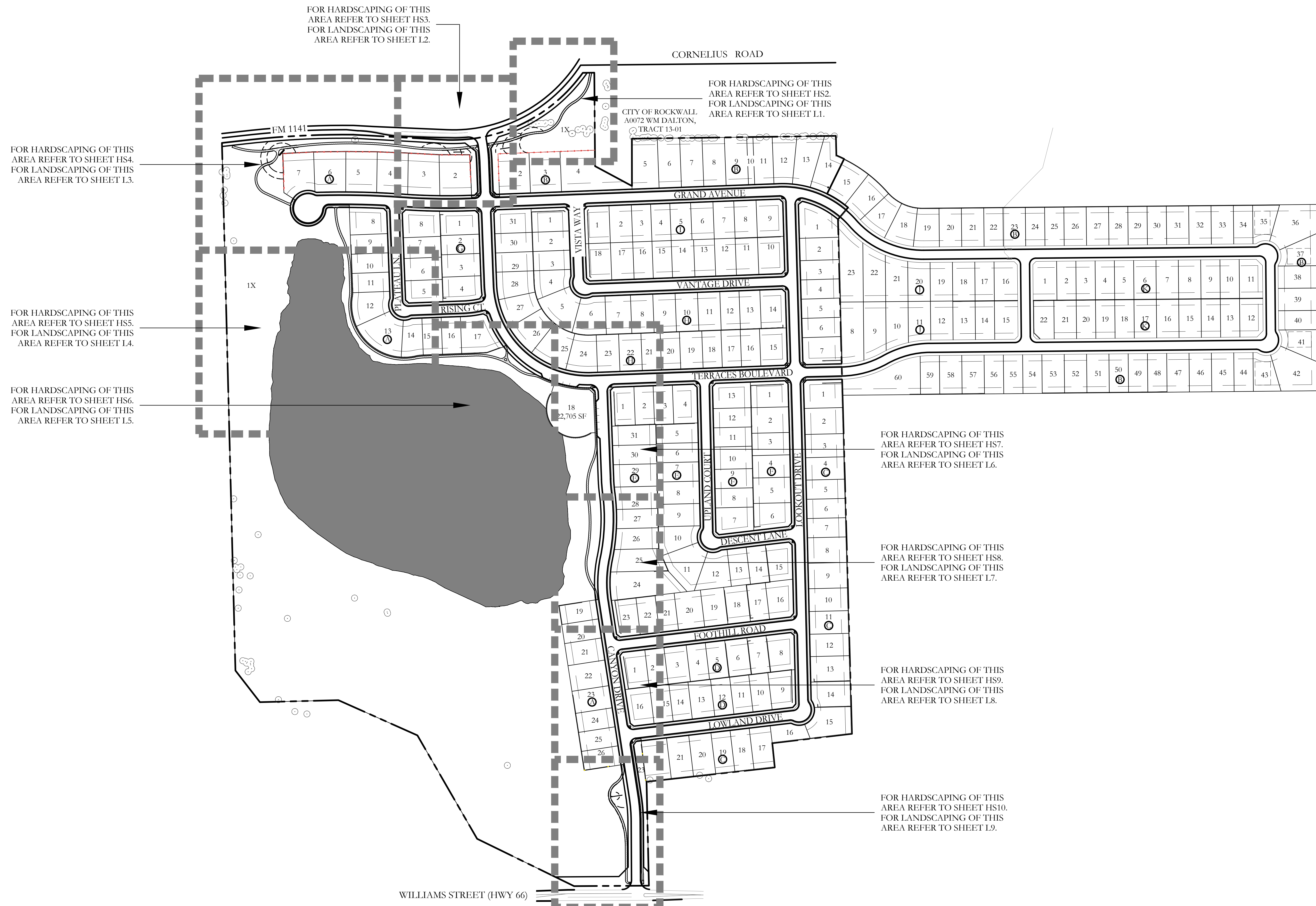
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

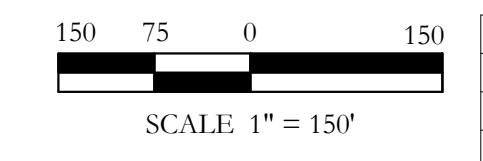
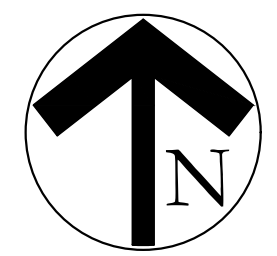
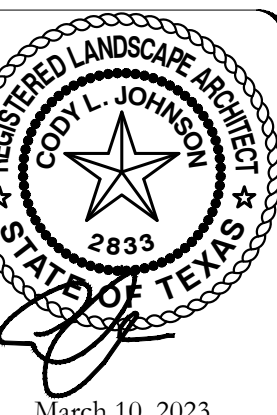
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HULDED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



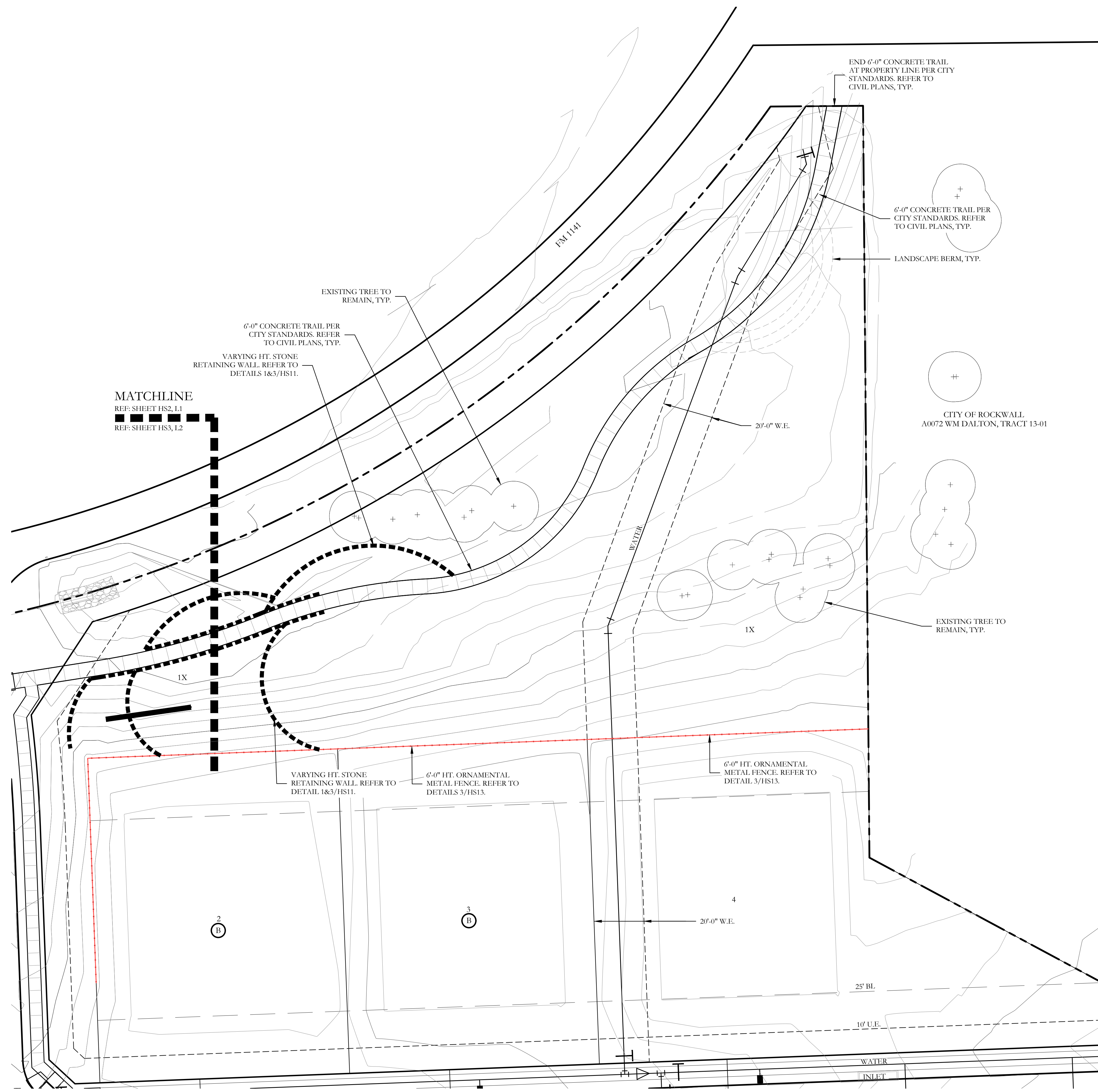
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CITY OF ROCKWALL
A0072 WM DALTON,
TRACT 13-01



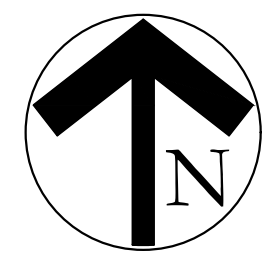
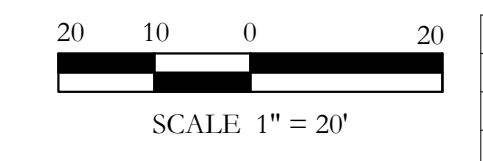
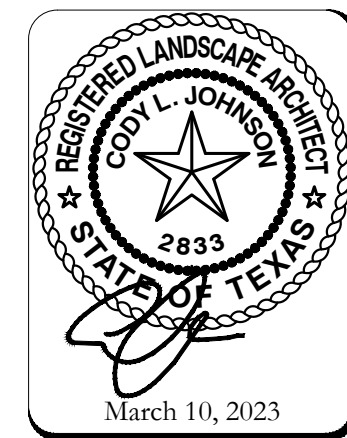
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HARDSCAPE LEGEND

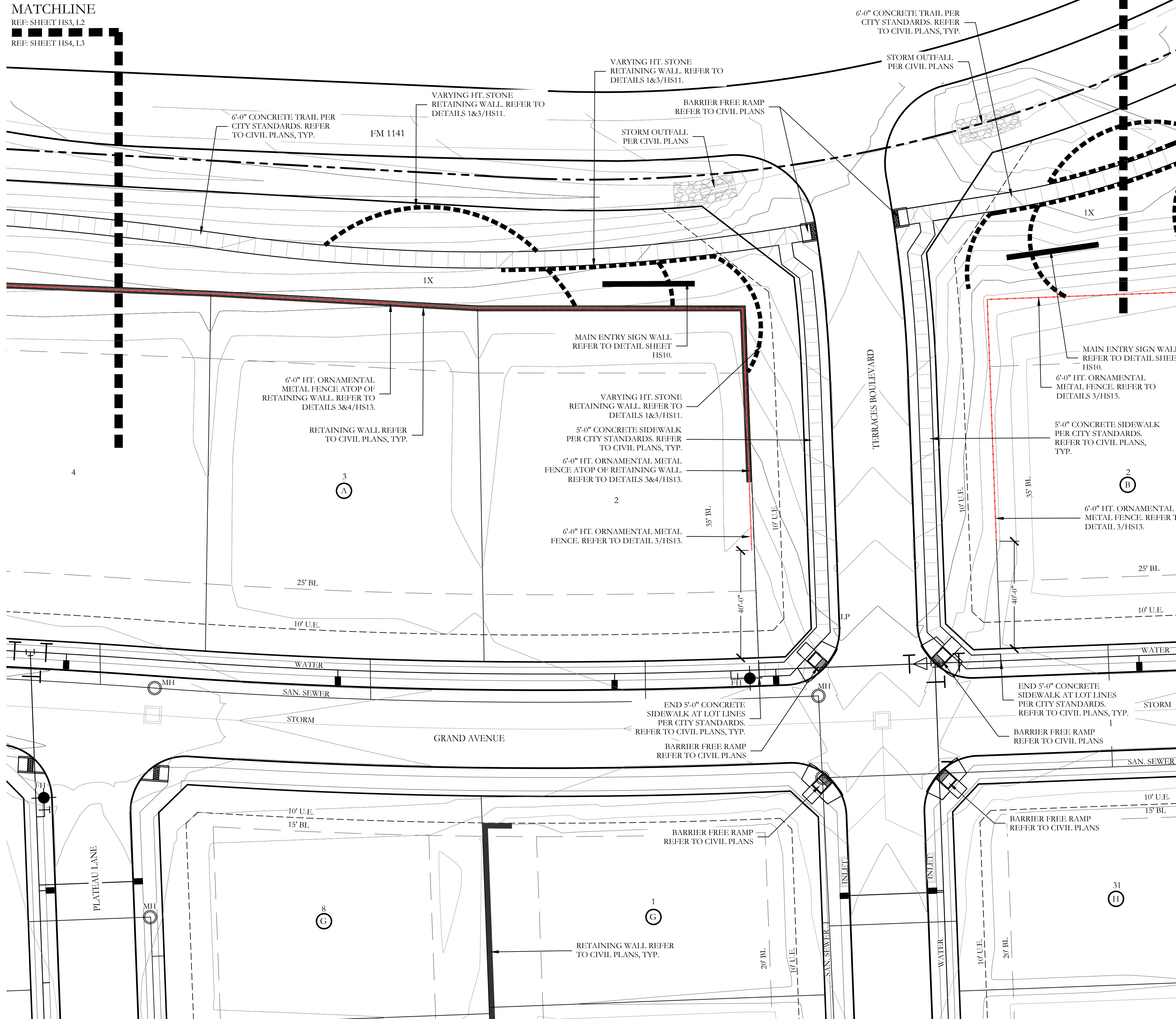
	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
	8'-6" HT. STONE LOGO COLUMN ATOP OF RETAINING WALL. REFER TO DETAILS 4&5/HS12.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAIL 1&2/HS13.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 3/HS11.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 3&4/HS13.
	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



MATCHLINE
REF: SHEET HS3, L2
REF: SHEET HS4, L3

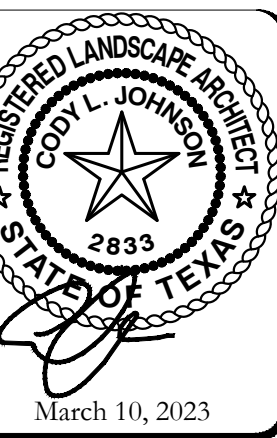
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REF: SHEET HS3, L2



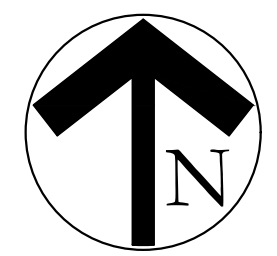
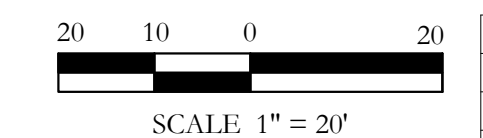
HARDSCAPE LEGEND

- MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET HS11.
- 8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
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- 6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
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NOTE:
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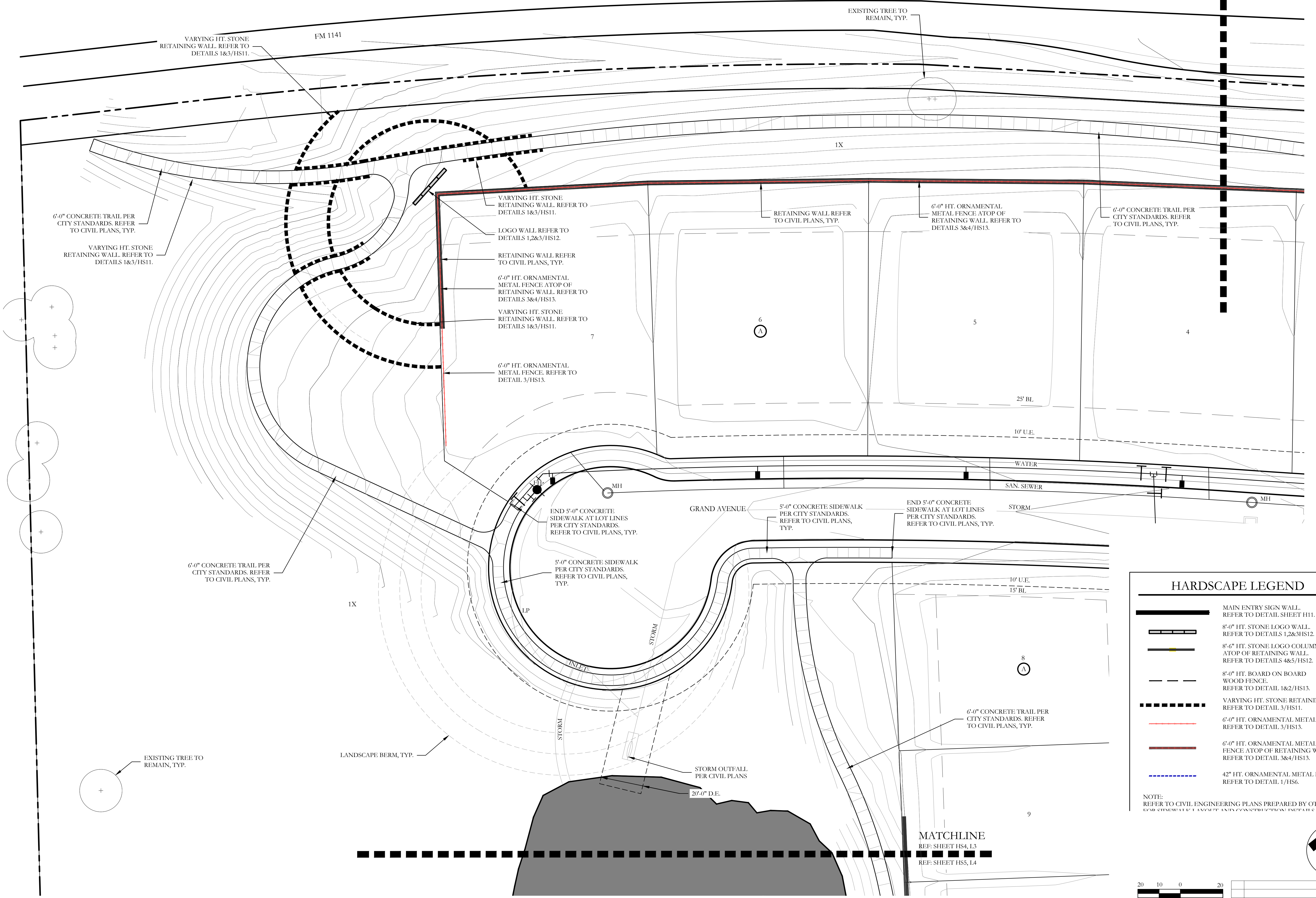
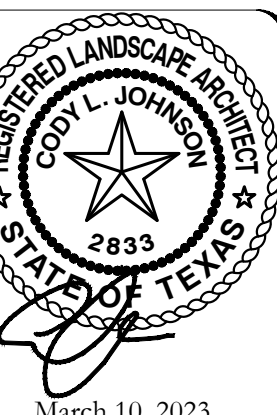
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One Inch
JVC No 2215



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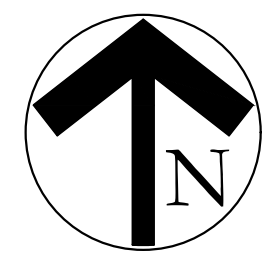
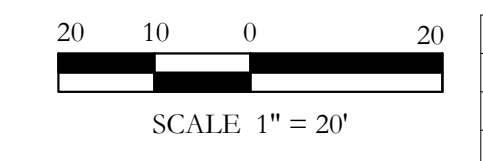
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MATCHLINE
REF: SHEET HS3, L2
REF: SHEET HS4, L3



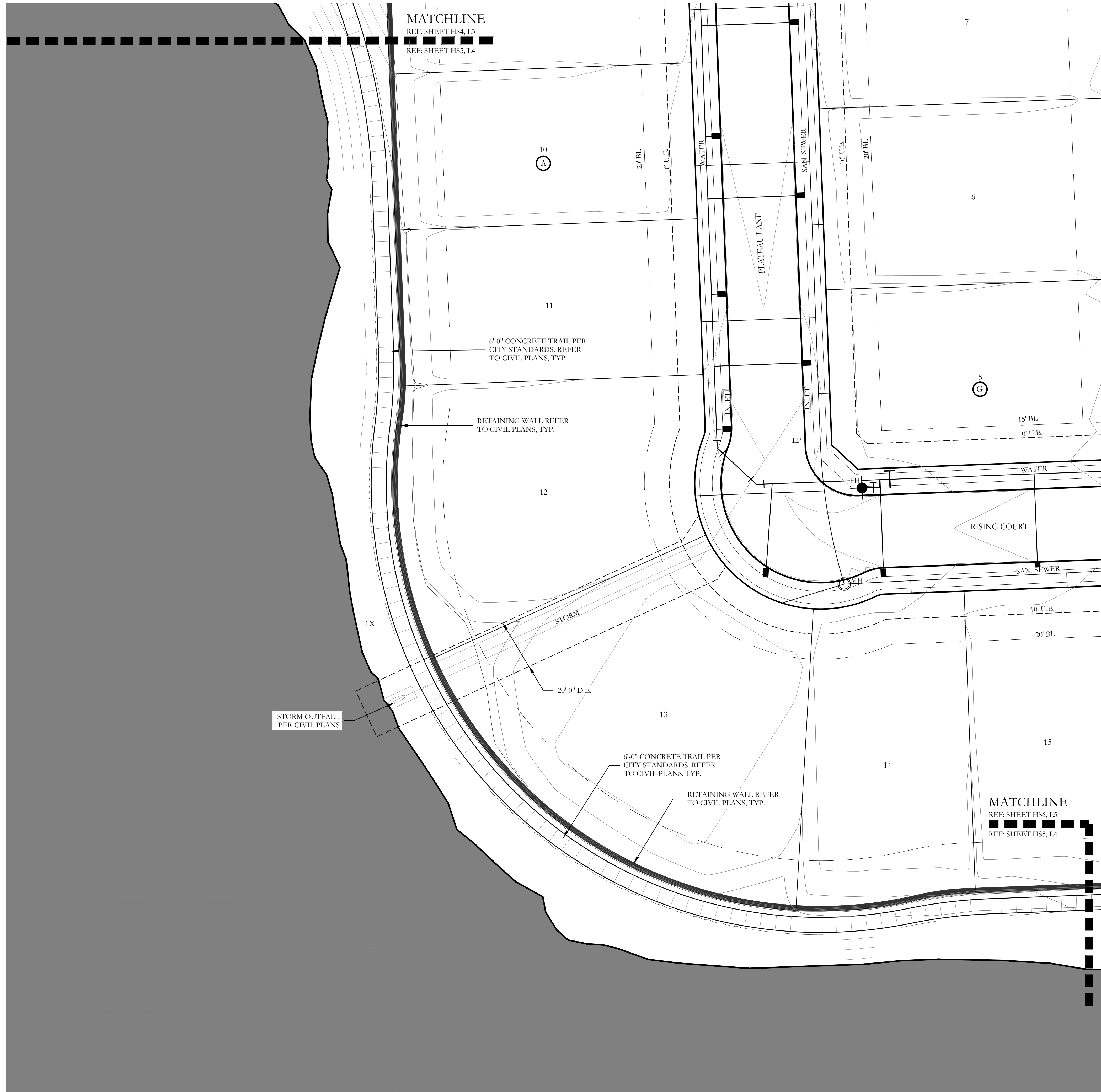
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	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR GENERAL UTILITIES AND CONSTRUCTION DETAILS.



MATCHLINE
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REF: SHEET HS5, L4

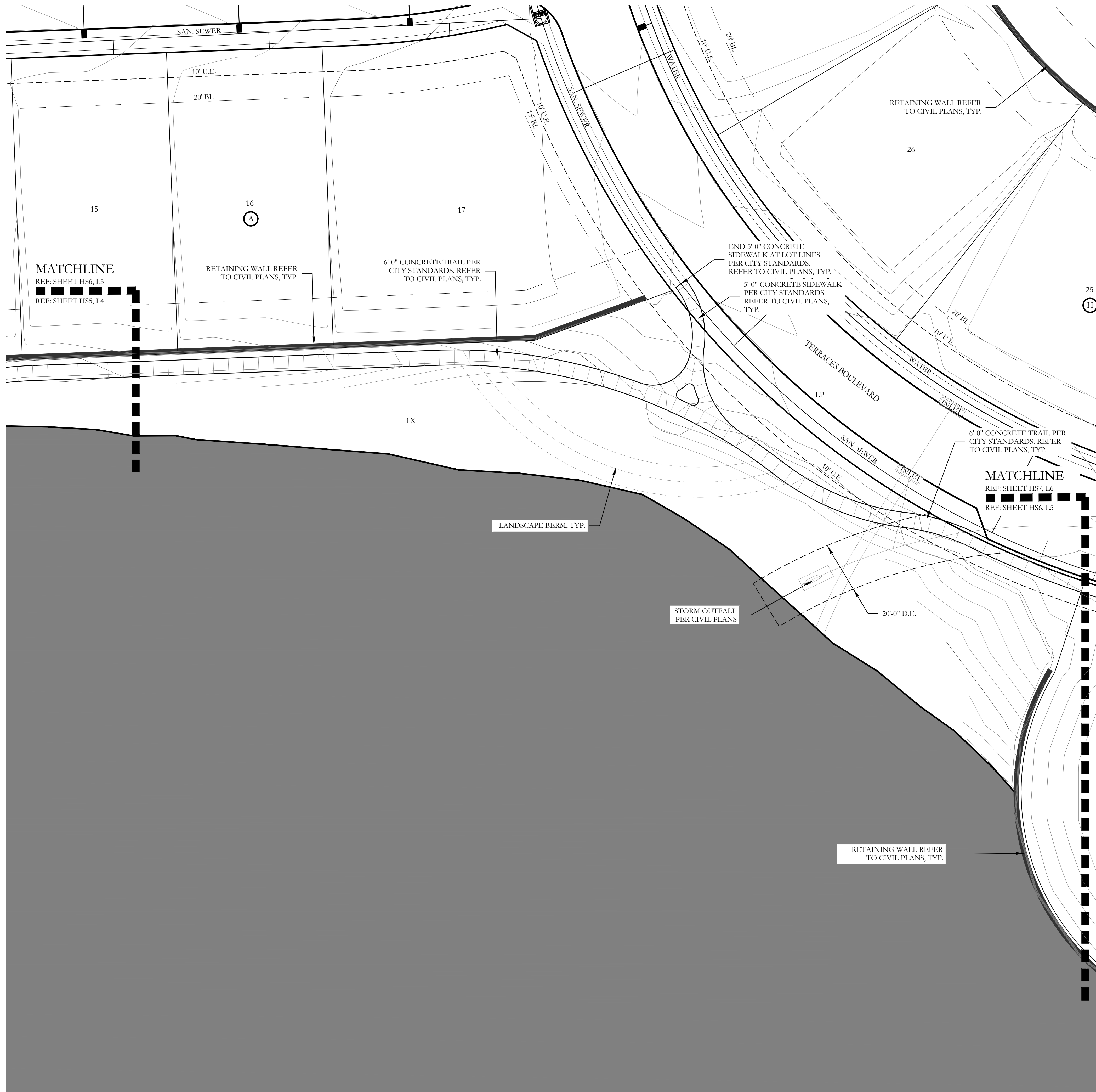
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HARDSCAPE LEGEND

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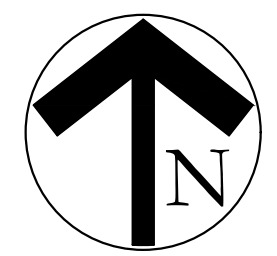
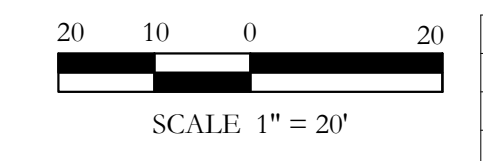
NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS
FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



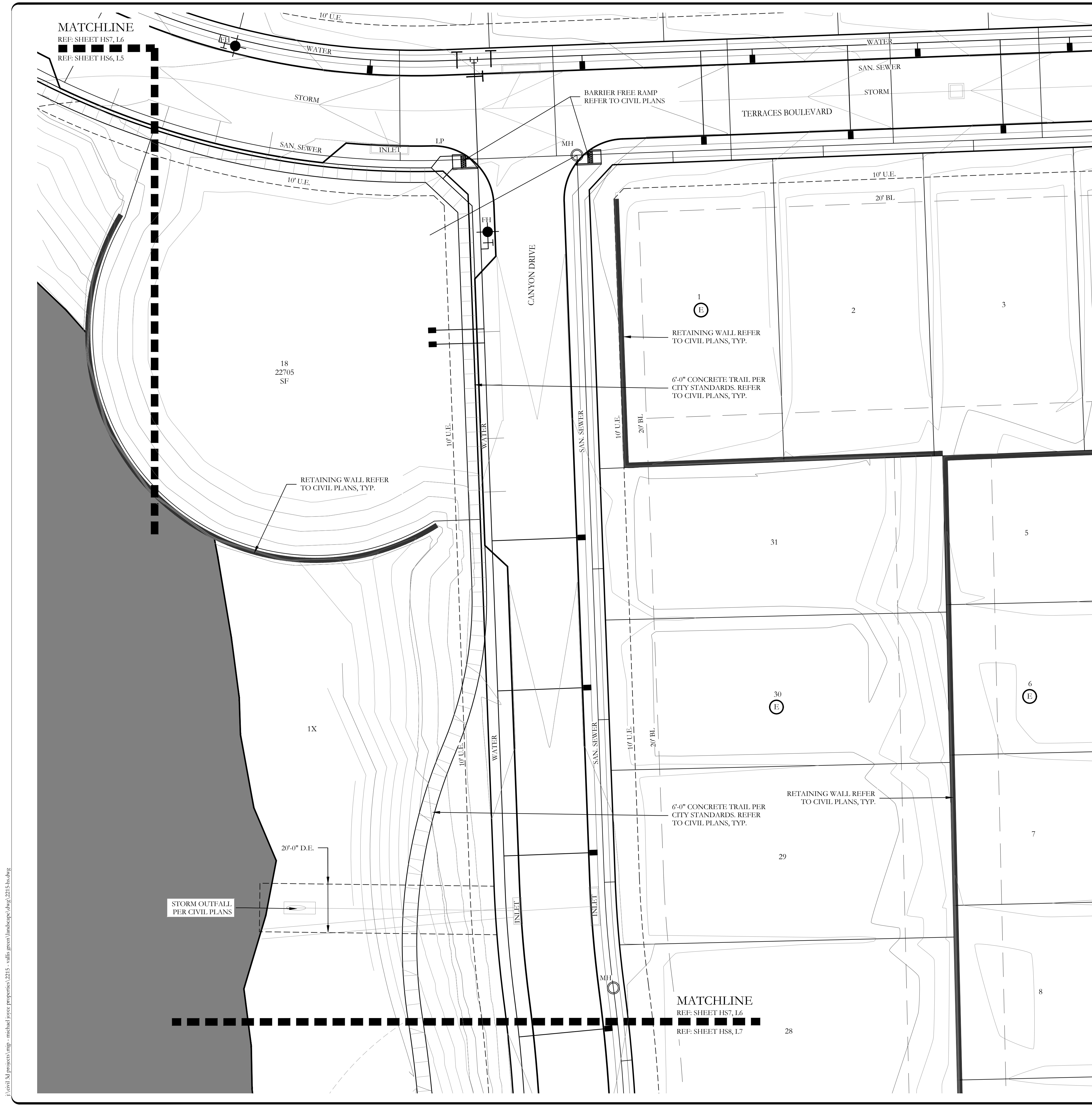
HARDSCAPE LEGEND

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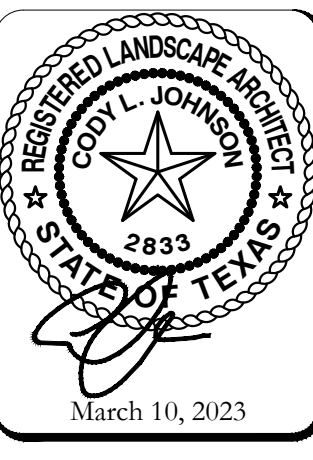
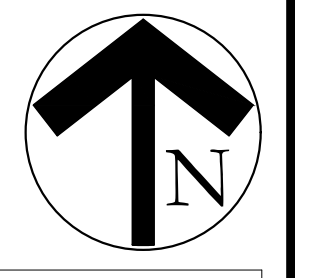
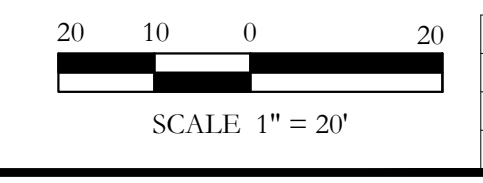
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HARDSCAPE LEGEND

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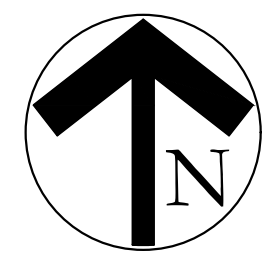
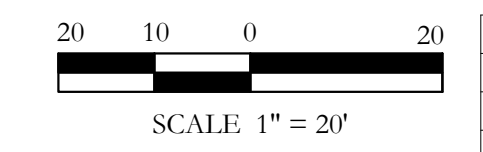


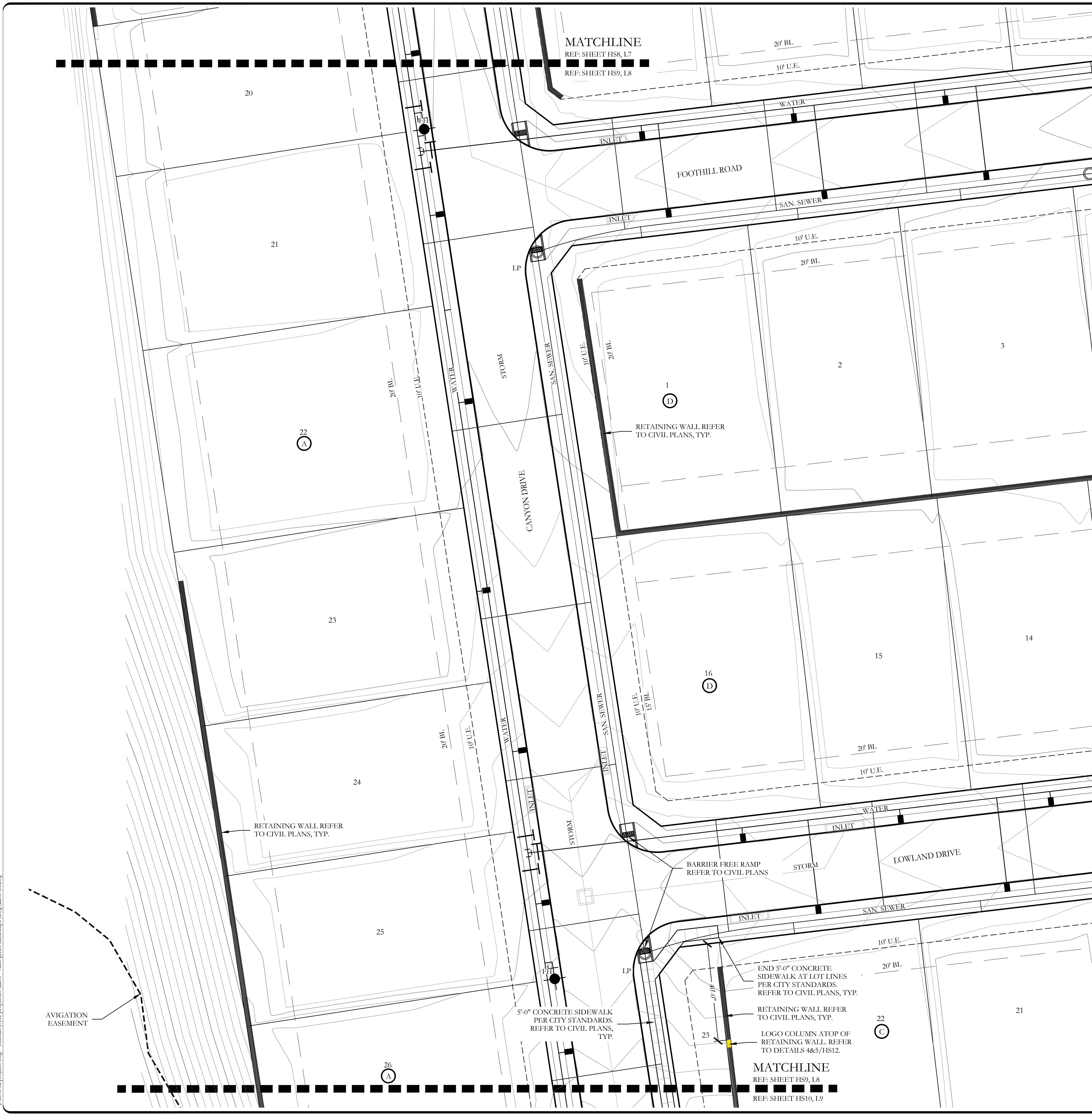
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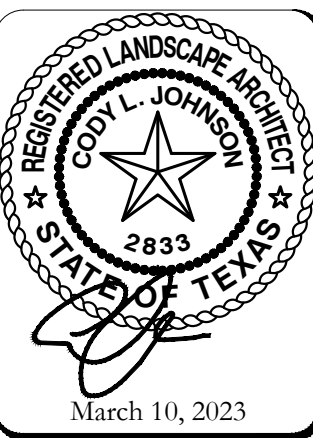
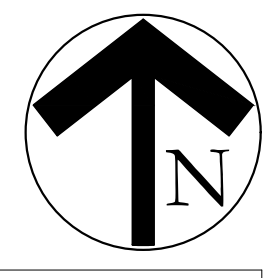
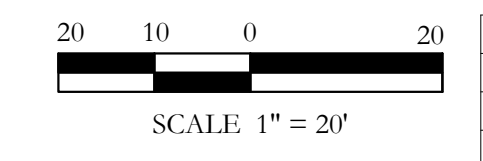




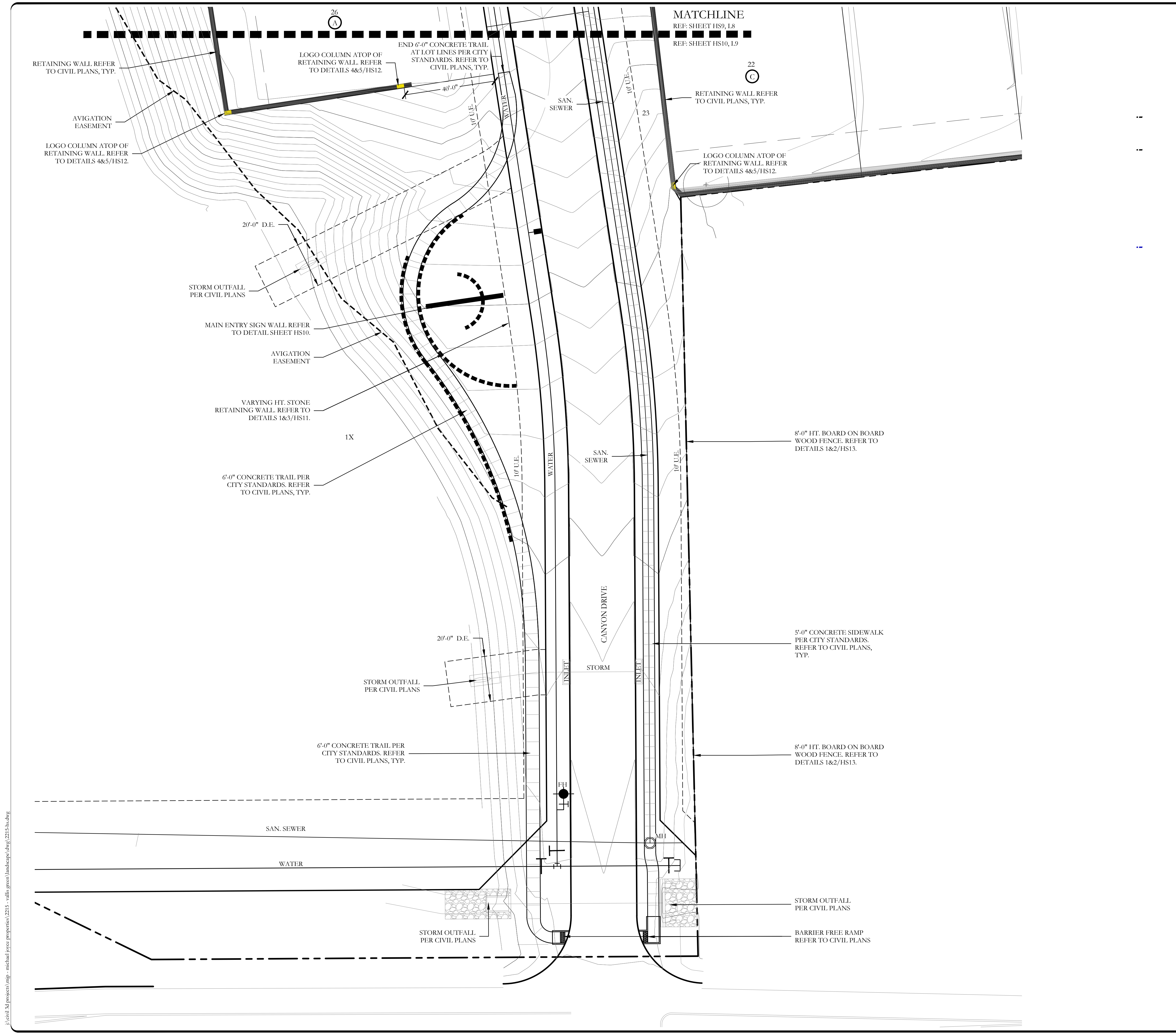
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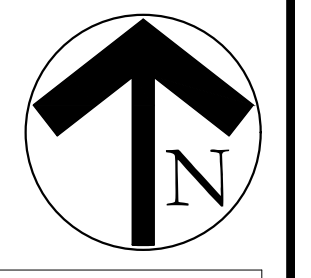
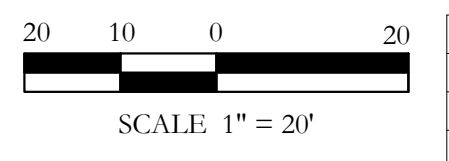
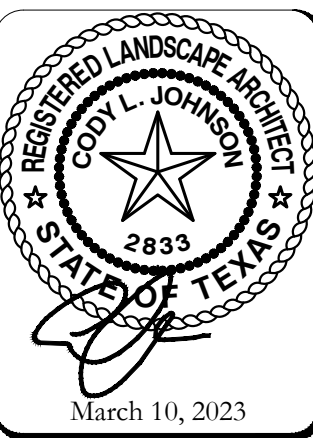
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HARDSCAPE LEGEND

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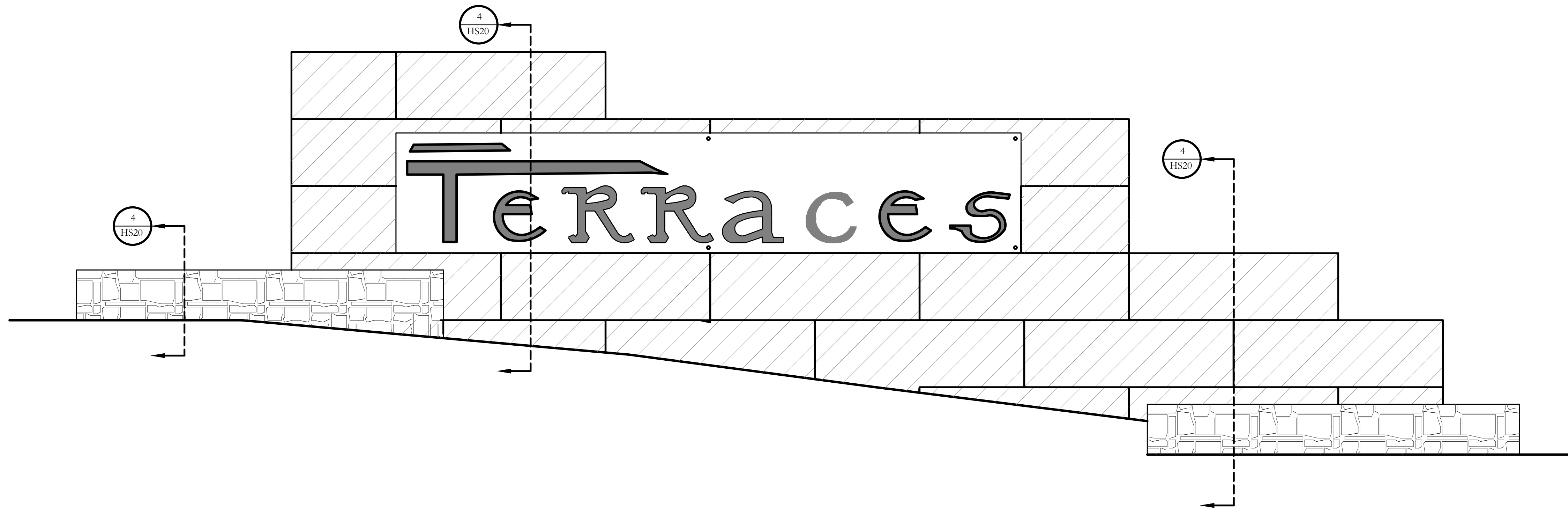
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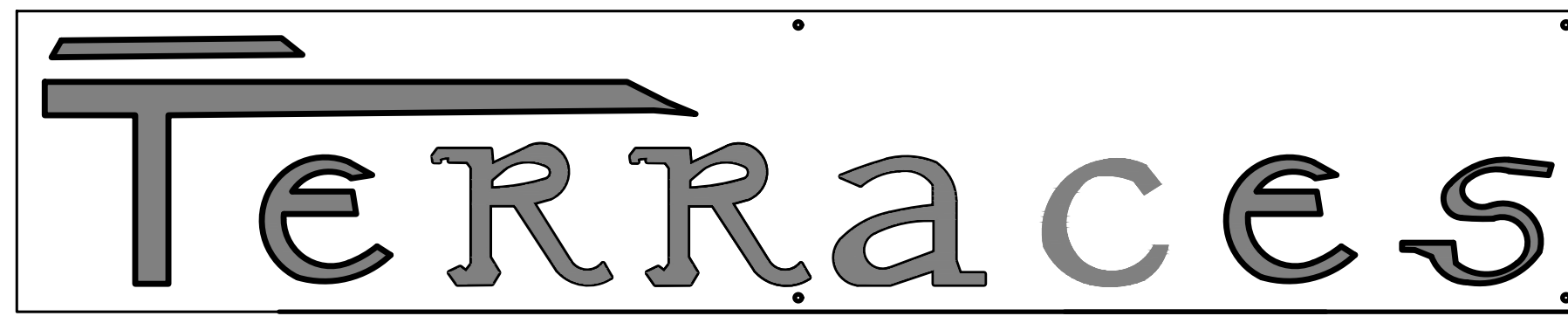
WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A615, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
13. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
14. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
15. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
17. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.



1 MAIN ENTRY SIGN WALL
ELEVATION

SCALE: 1/2" = 1'-0"



2 CORTEN SIGN PANEL
ELEVATION

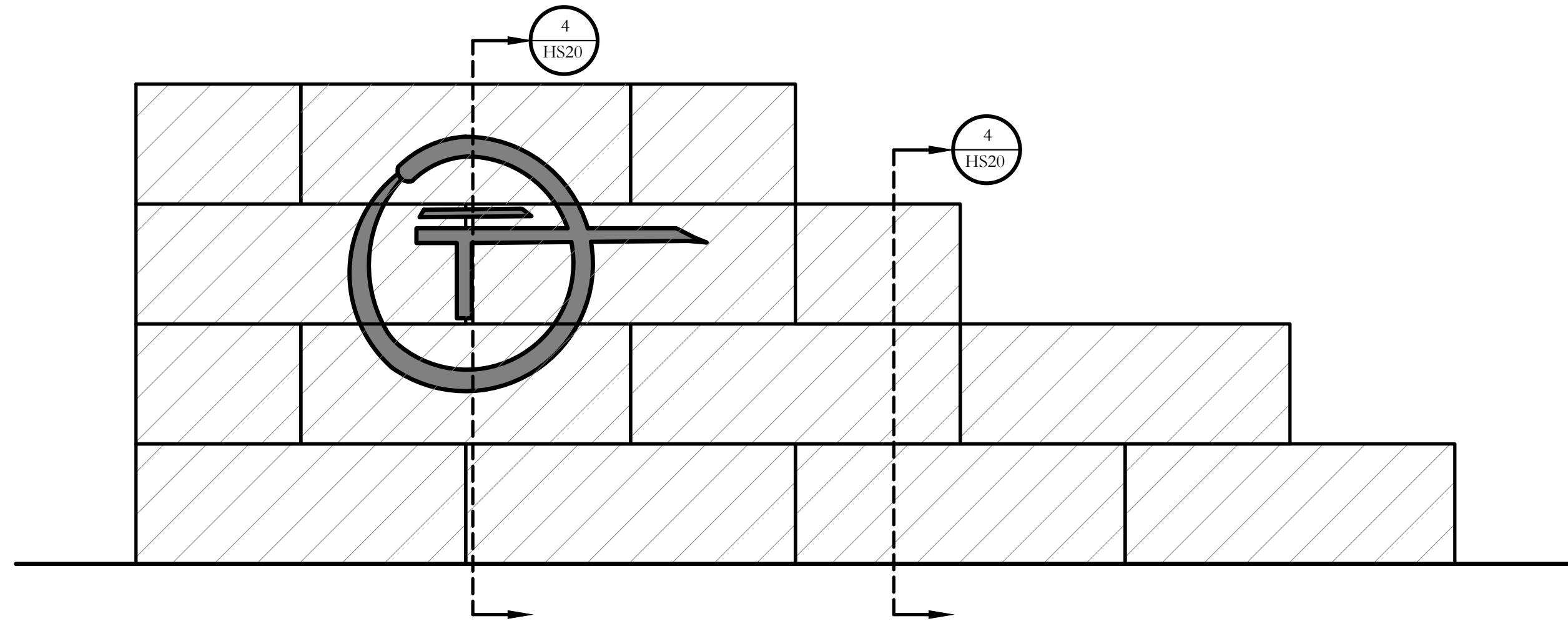
SCALE: 1/2" = 1'-0"

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

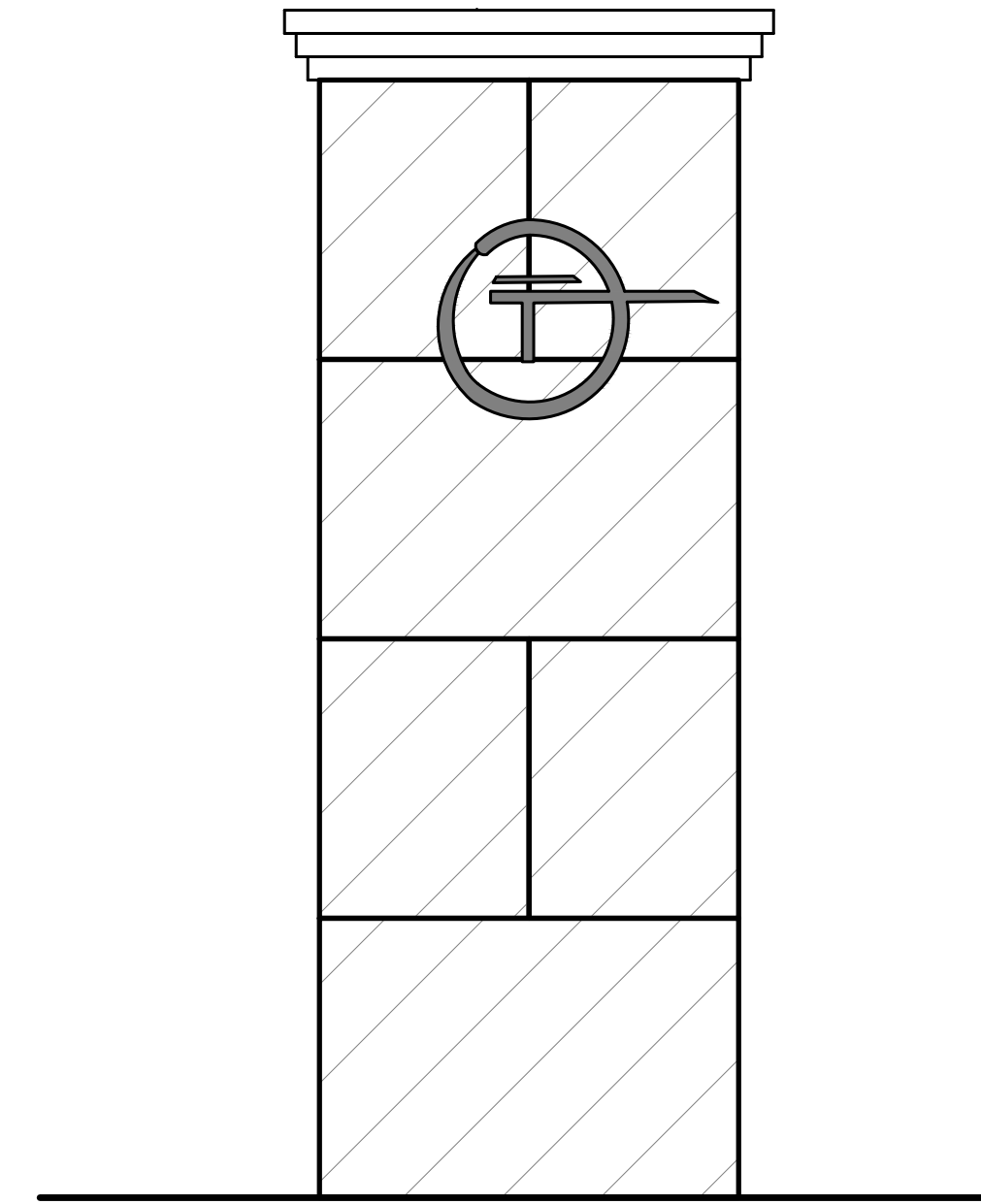
03-10-2023

SCALE:
REFER TO
DETAILS
One Inch
JVC No 2215

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1 LOGO WALL
ELEVATION
SCALE: 1/2" = 1'-0"



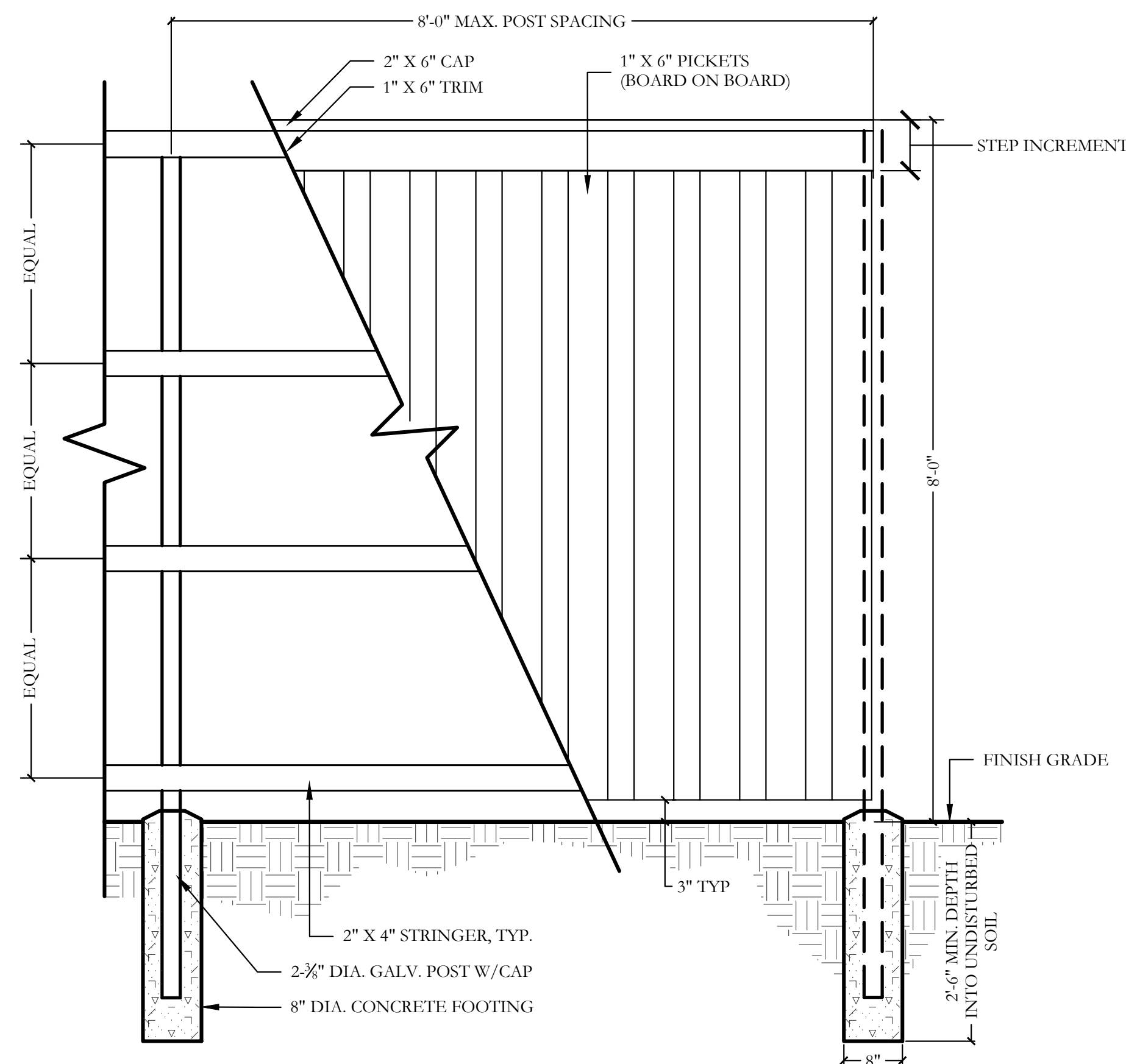
4 LOGO COLUMN ATOP OF RETAINING WALL
ELEVATION
SCALE: 3/4" = 1'-0"

5 LOGO COLUMN ATOP OF RETAINING WALL
SECTION
SCALE: 3/4" = 1'-0"

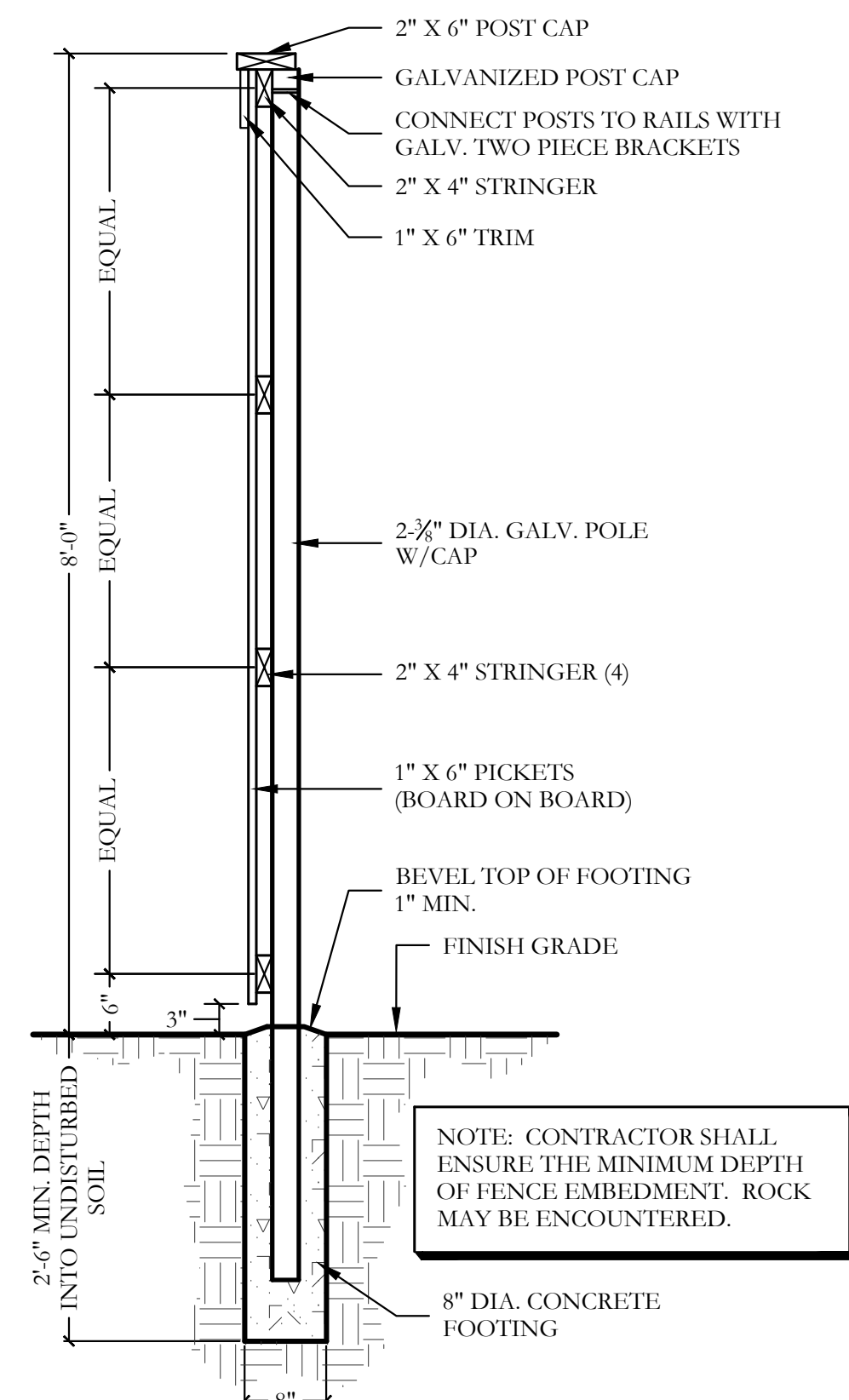
2 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"

3 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"

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1 PARTIAL 8'-0" HT. WOOD FENCE ELEVATION SCALE: 3/4"=1'-0"



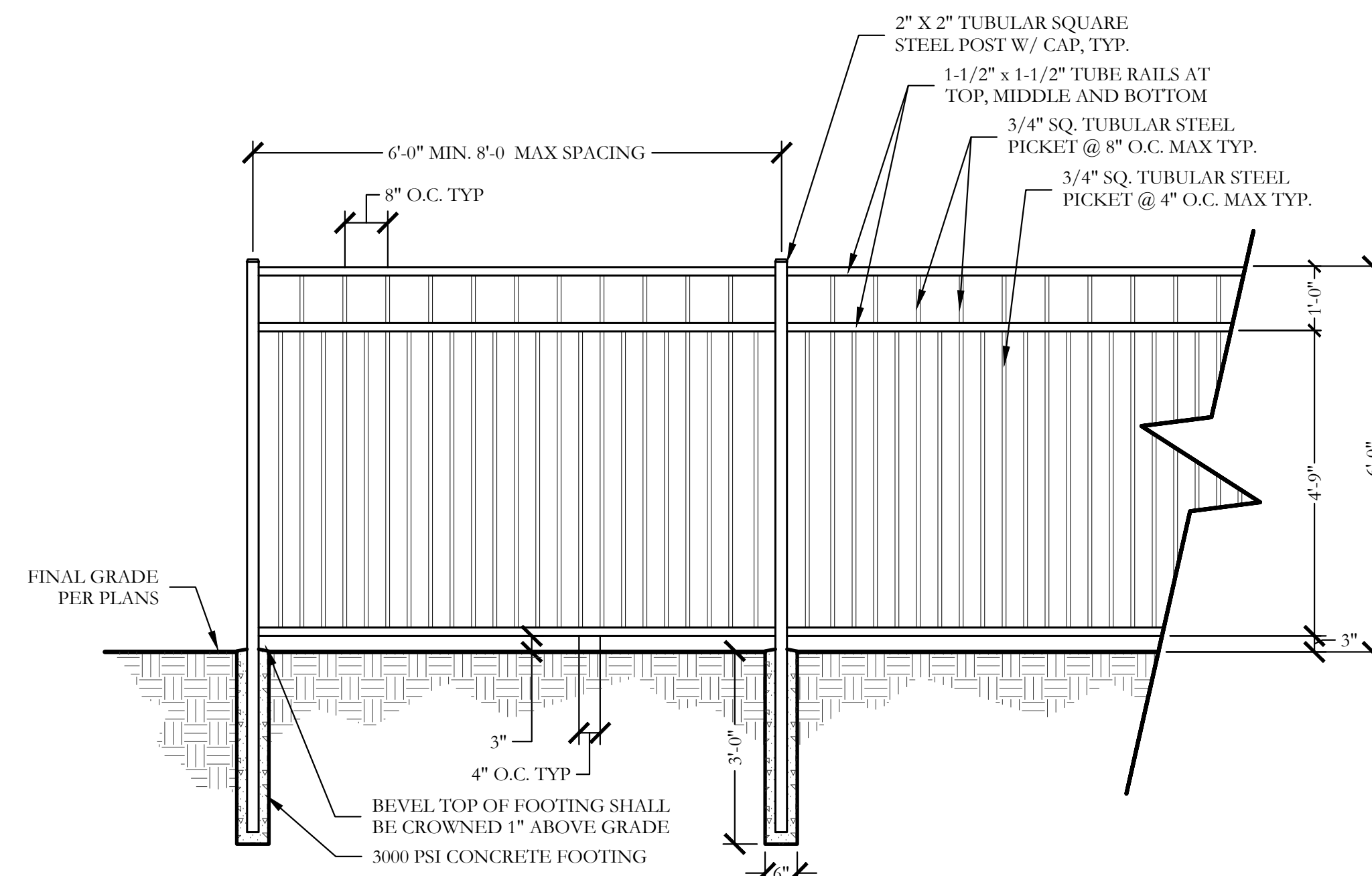
2 8'-0" HT. WOOD FENCE SECTION SCALE: 3/4"=1'-0"

WOOD FENCE NOTES

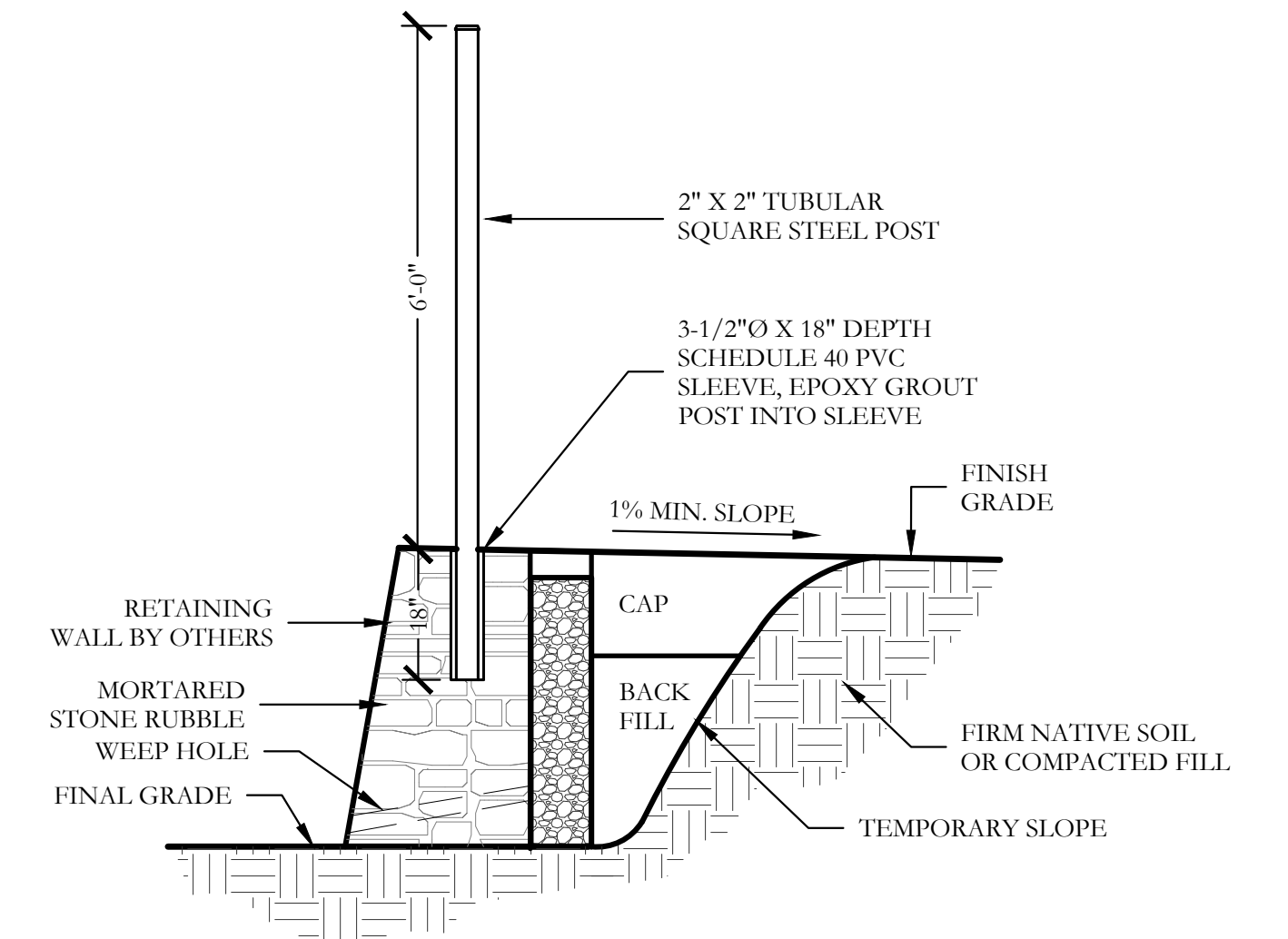
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES. VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
 - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER.
 - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER.
 - 4.3. CAPS- CEDAR, #2 GRADE OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL WOOD FENCE MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.
12. WHERE REQUIRED BY GRADE THE FENCE SHALL BE STEPPED IN INCREMENTS EQUAL TO THE FINISH DIMENSION OF THE TOP TRIM AND CAP.

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



3 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2"=1'-0"



4 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2"=1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

CAST-IN-PLACE CONCRETE

1. ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
3. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
4. CHLORIDES SHALL NOT BE USED.
5. MAXIMUM AGGREGATE SIZE = 1".

CONCRETE REINFORCING STEEL

1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
2. PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - 2.1. CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - 2.2. CONCRETE EXPOSED TO EARTH OR WEATHER:
 - 2.2.1. (A) BARS LARGER THAN NO. 5: 2 INCHES
 - 2.2.2. (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - 2.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - 2.3.1. SLABS, WALLS AND JOISTS
 - 2.3.1.1. (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
 - 2.3.3. SHELLS AND FOLDED PLATES
 - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
3. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.

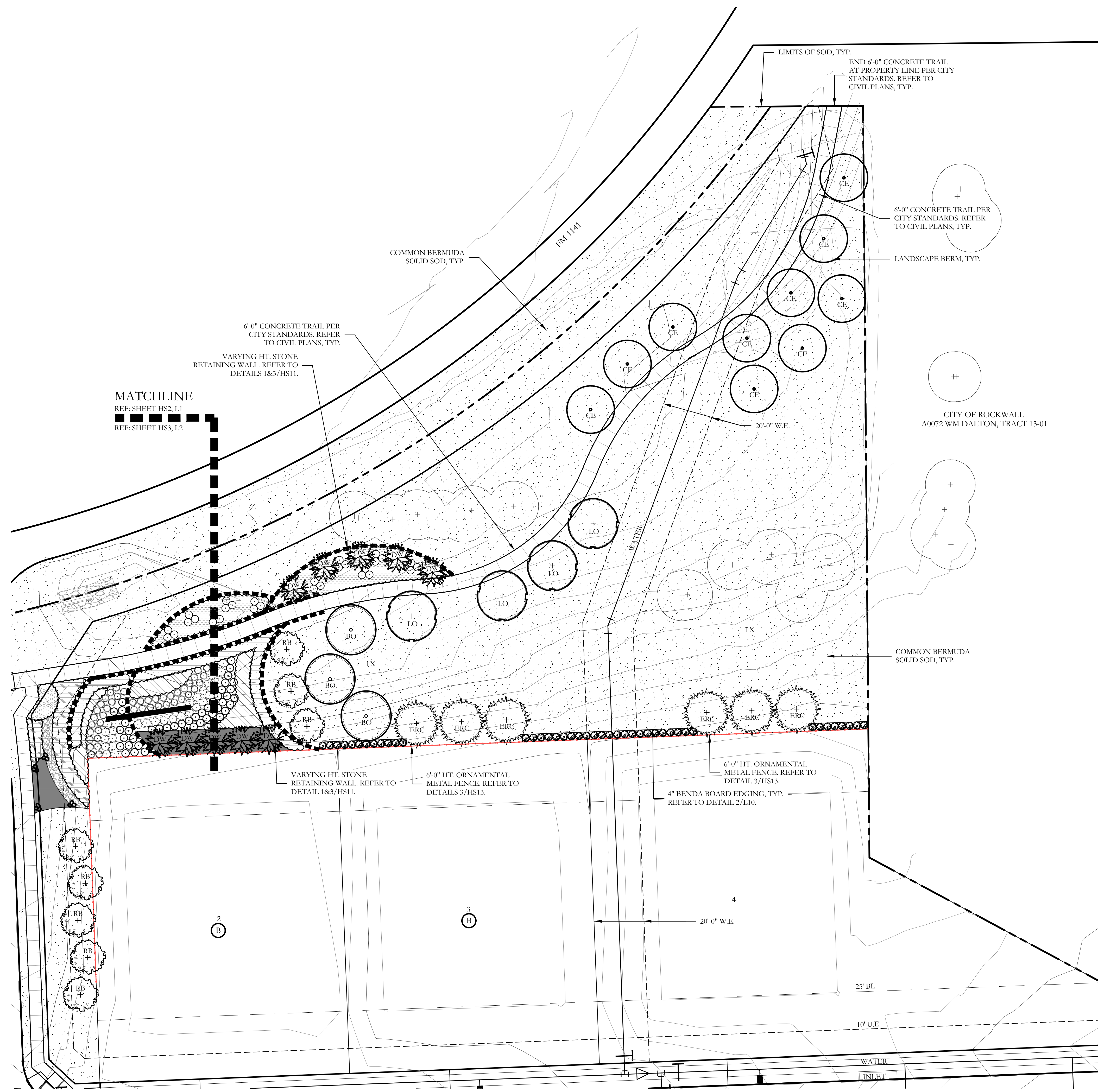
DRILLED PIERS

1. PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
2. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
3. STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
5. PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.

STRUCTURAL CONCRETE MASONRY UNIT

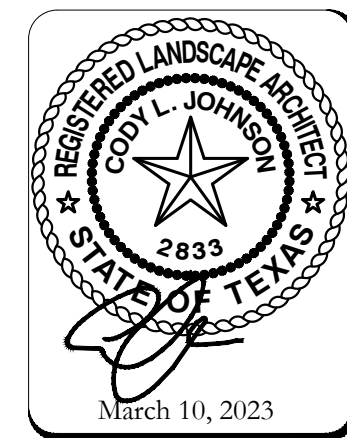
1. CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 3/4" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
5. REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
6. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
7. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
8. LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
10. PLACE GROUT USING LOW-LIFT METHOD, 6-8" MAXIMUM LIFTS.

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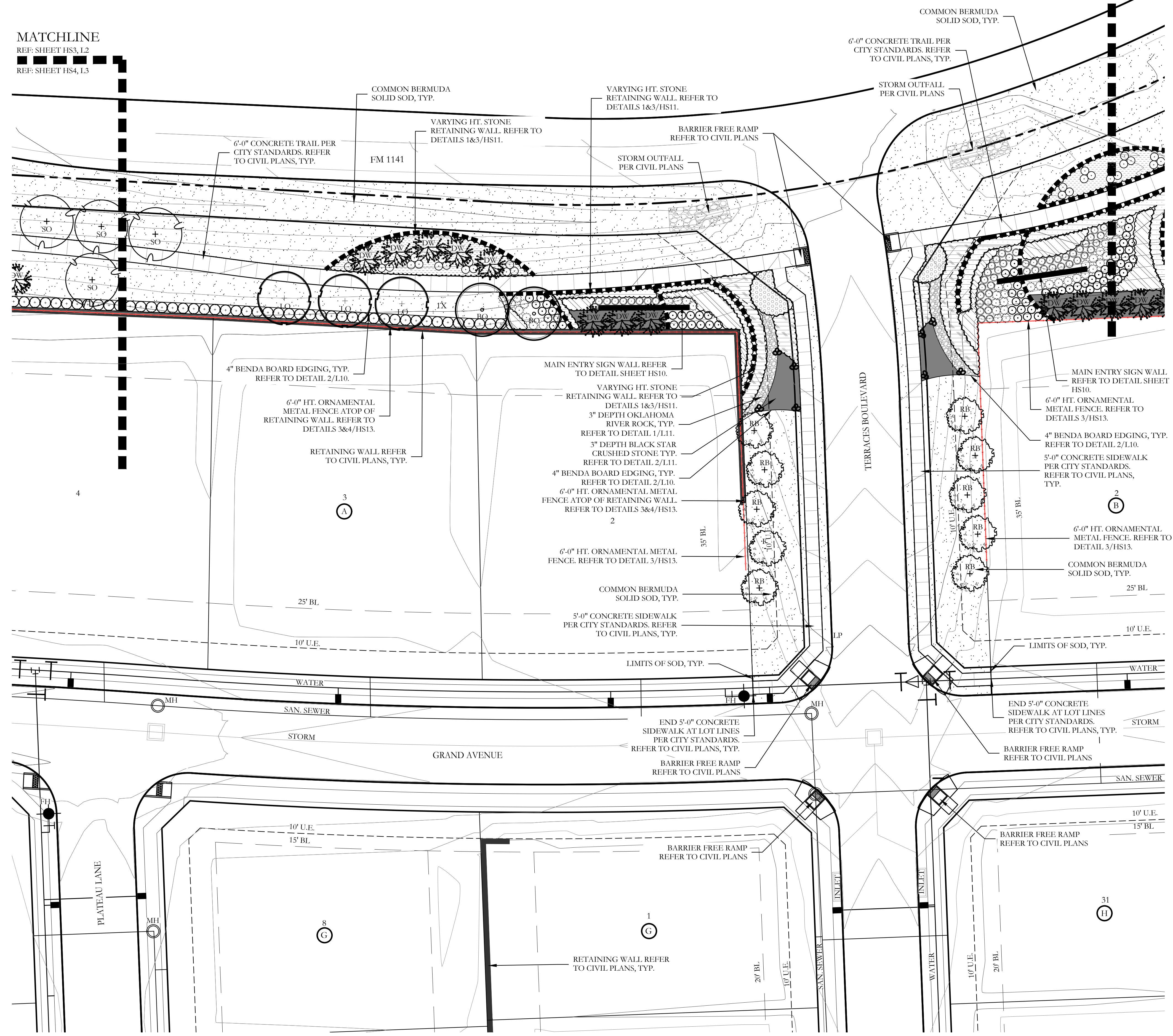
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
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		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
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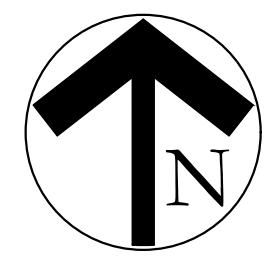
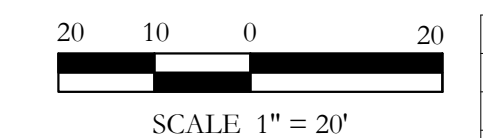
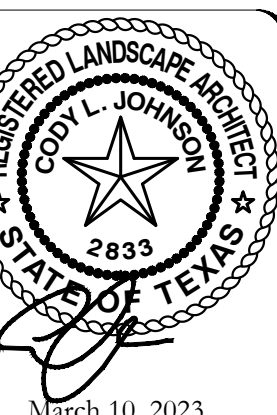
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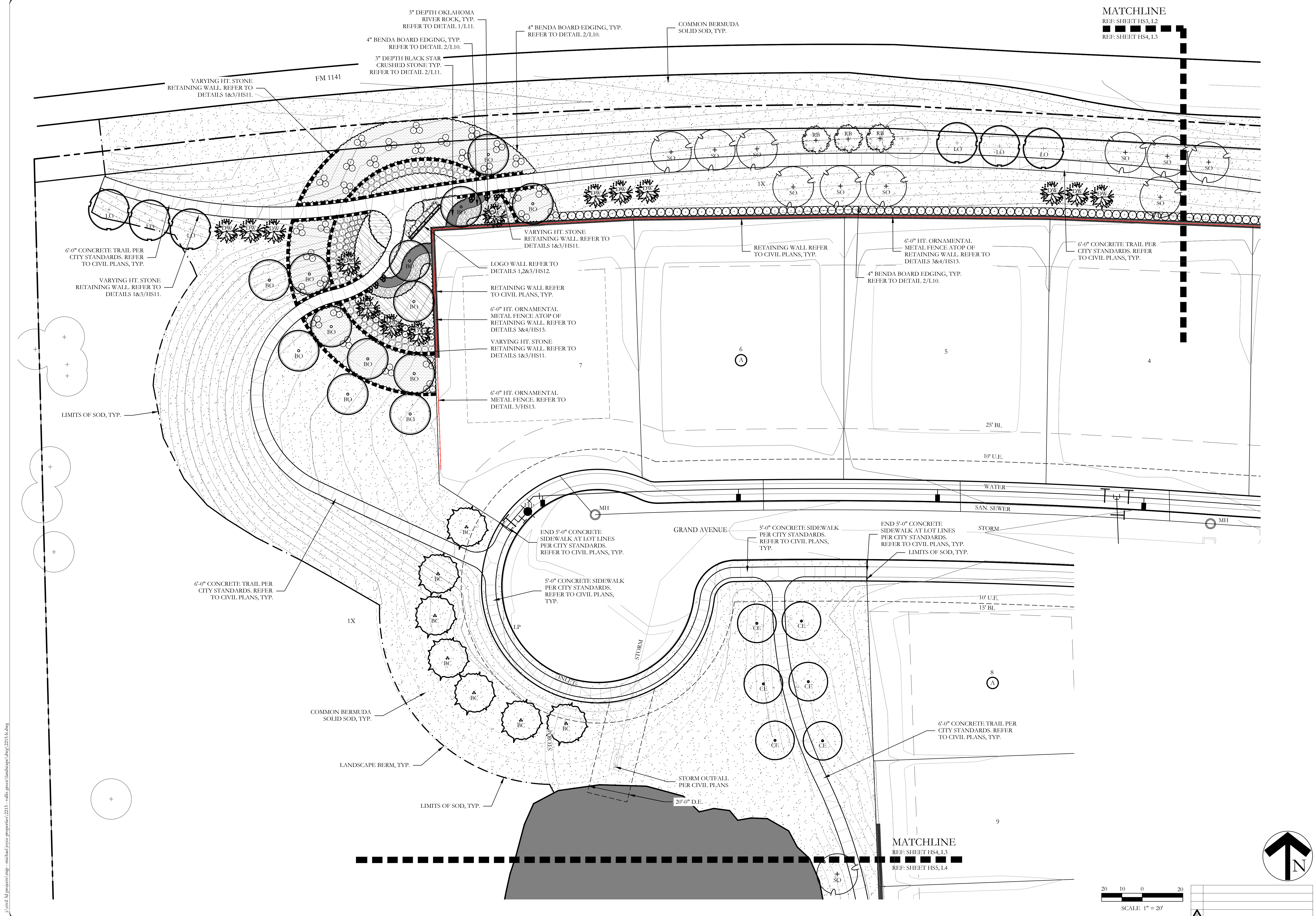
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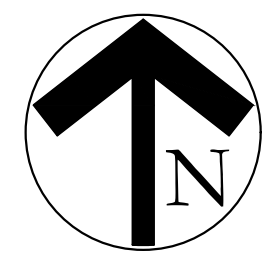
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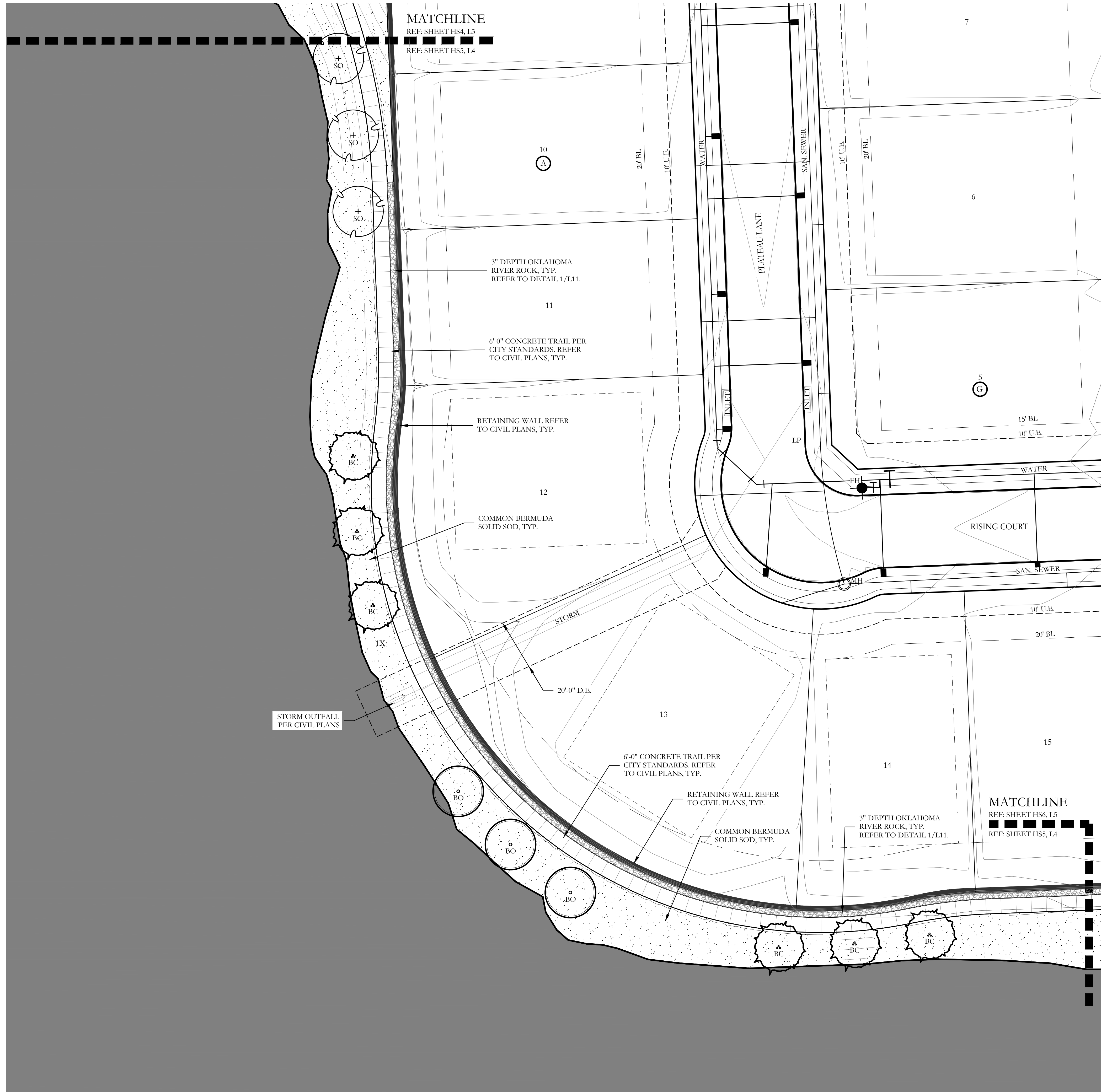
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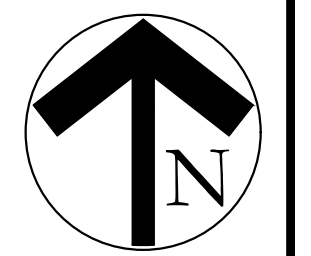
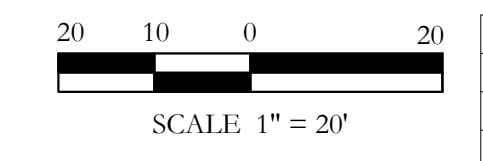
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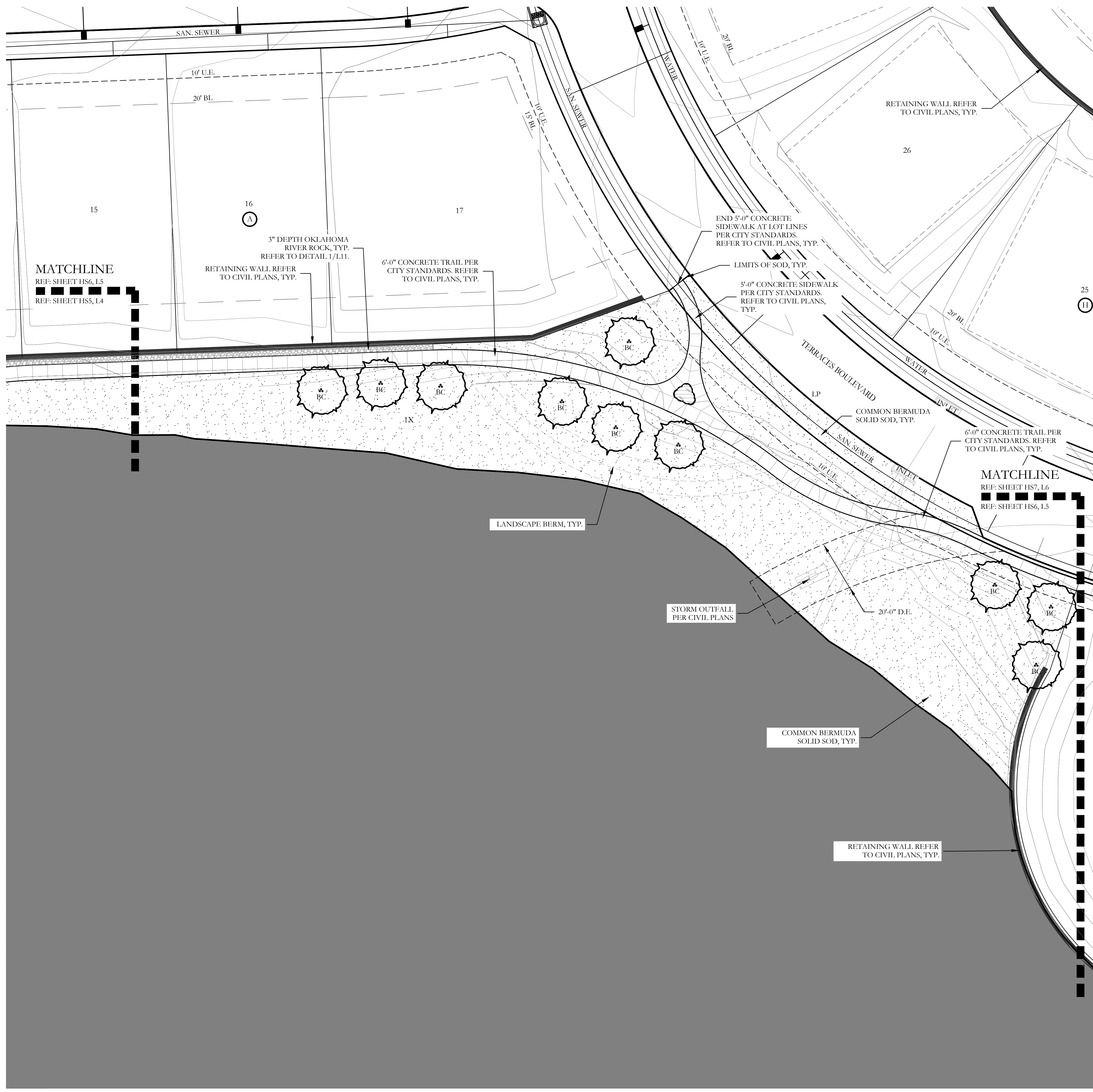


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March 10, 2023

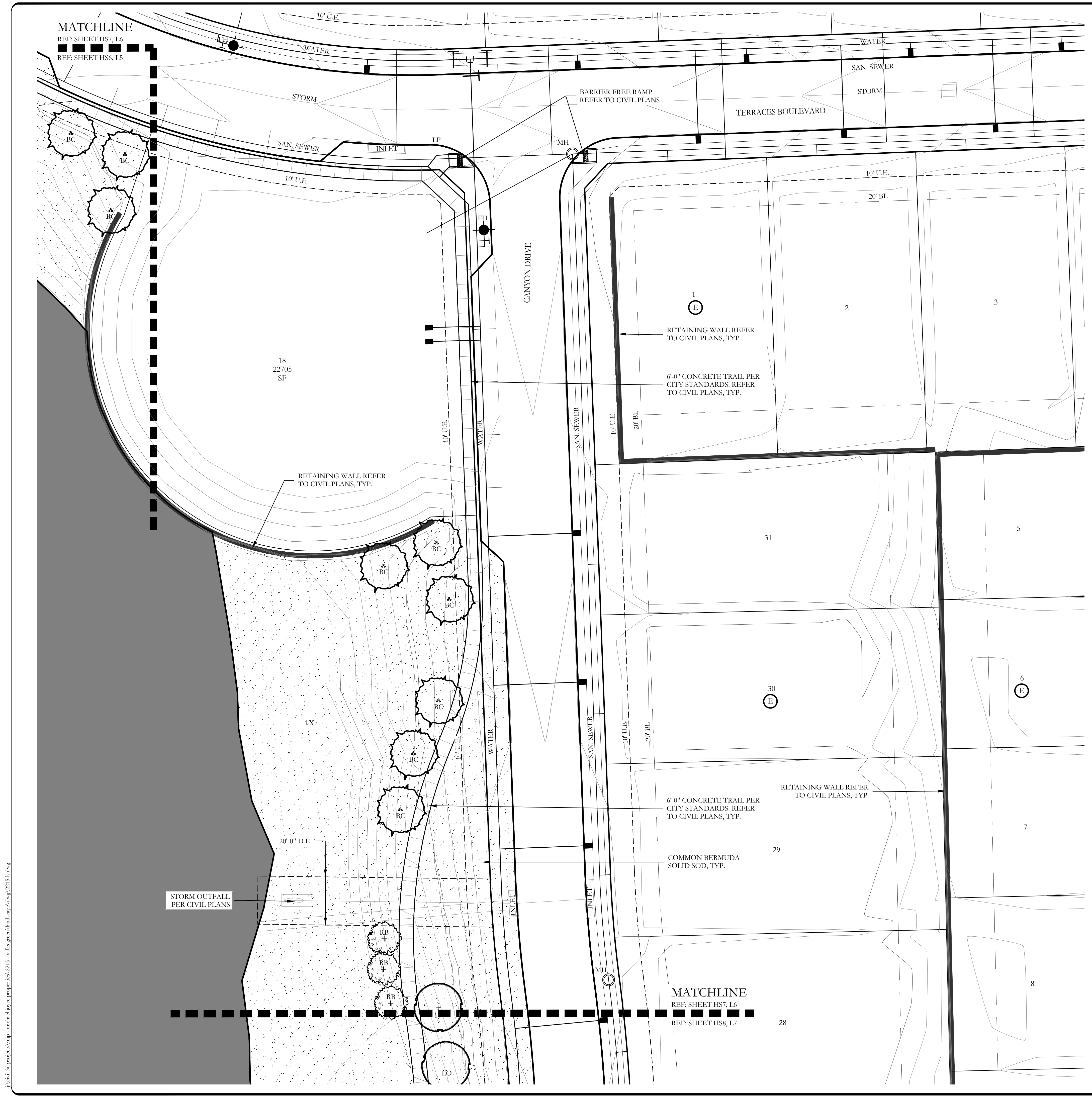
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		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON-SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	



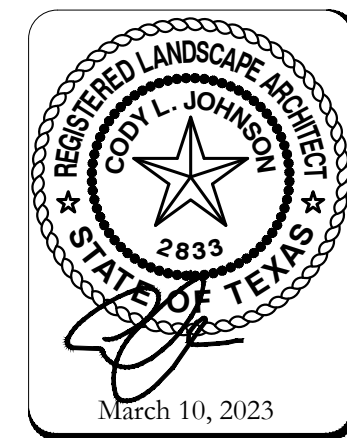
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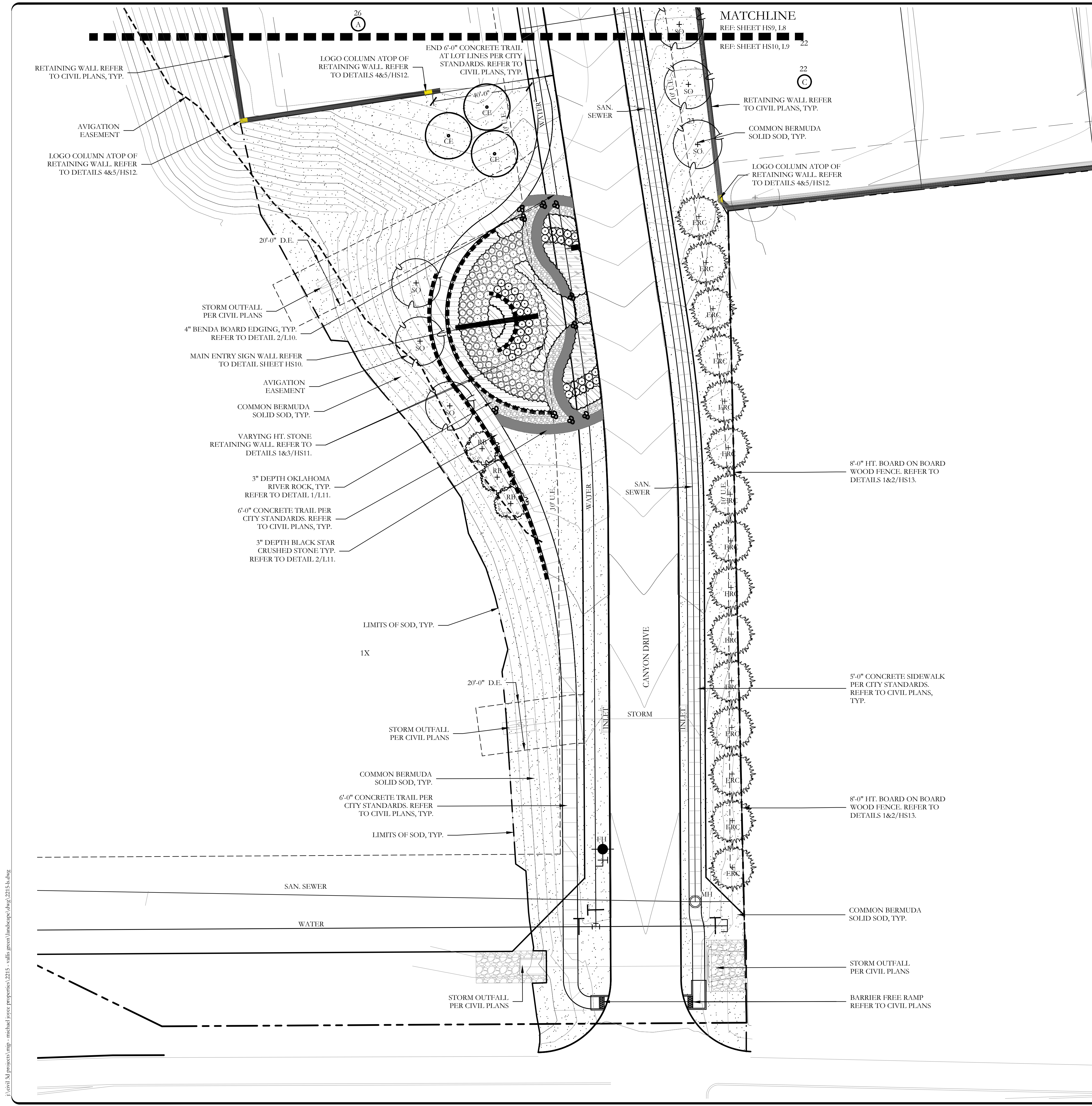
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PLANT LEGEND

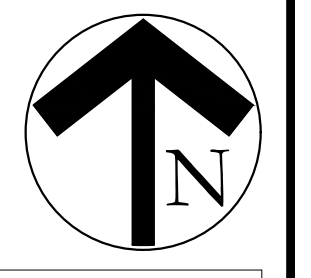
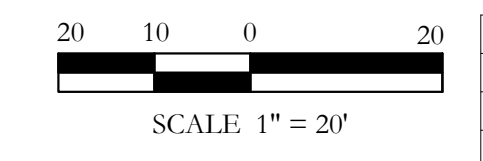
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
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		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
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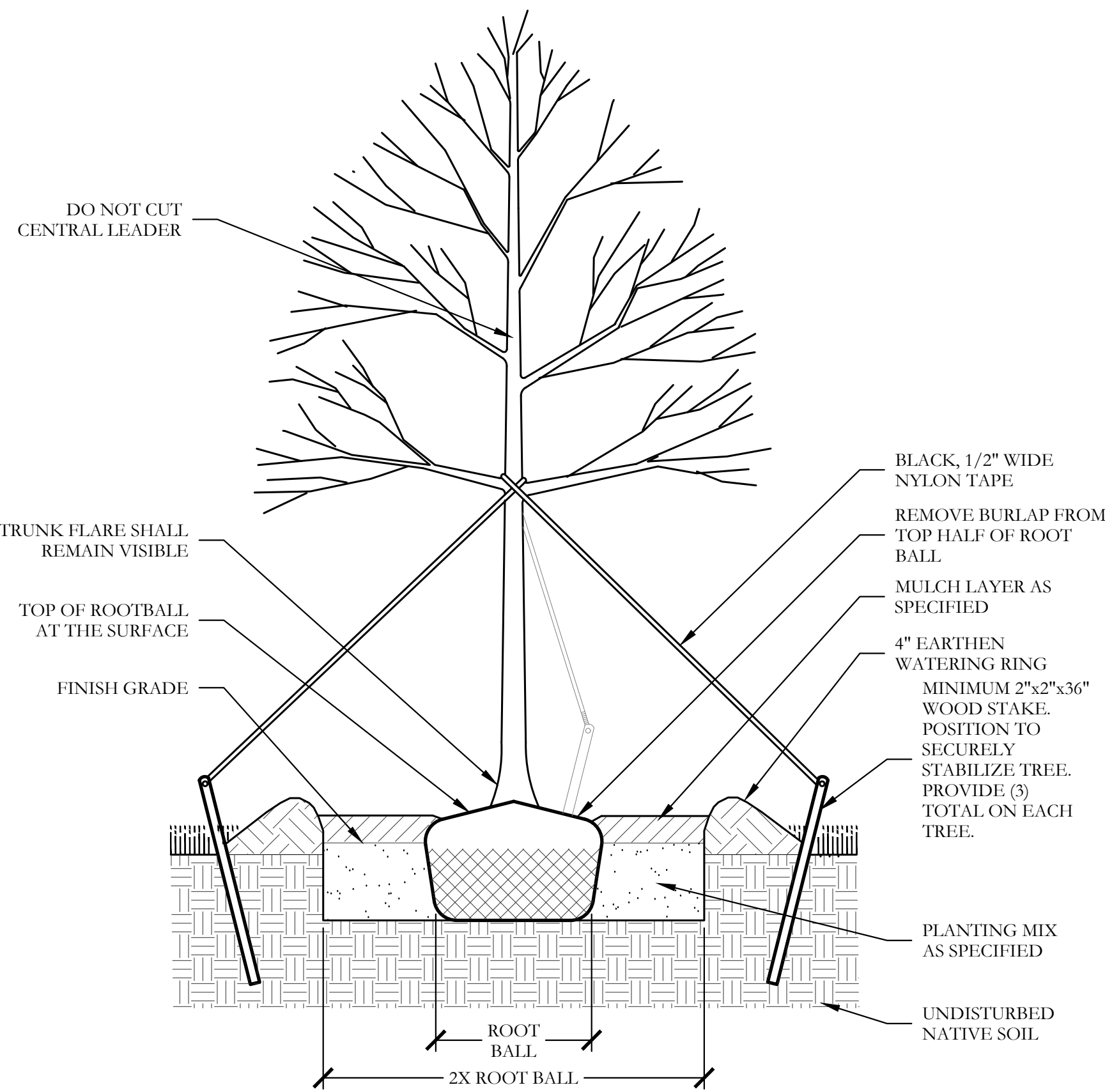




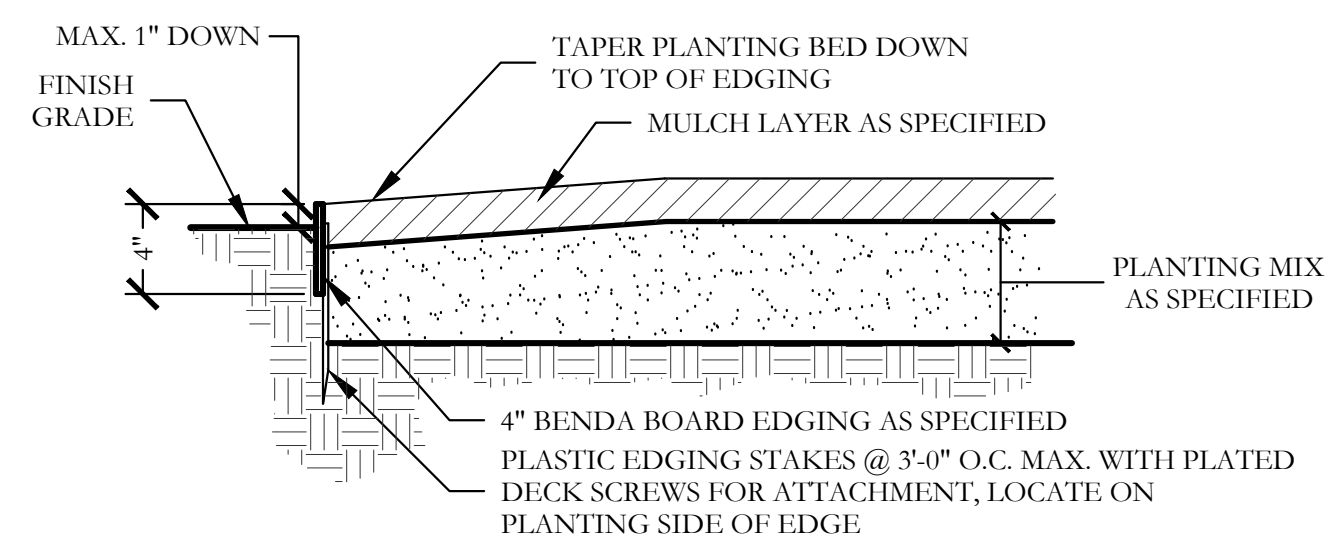
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
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		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
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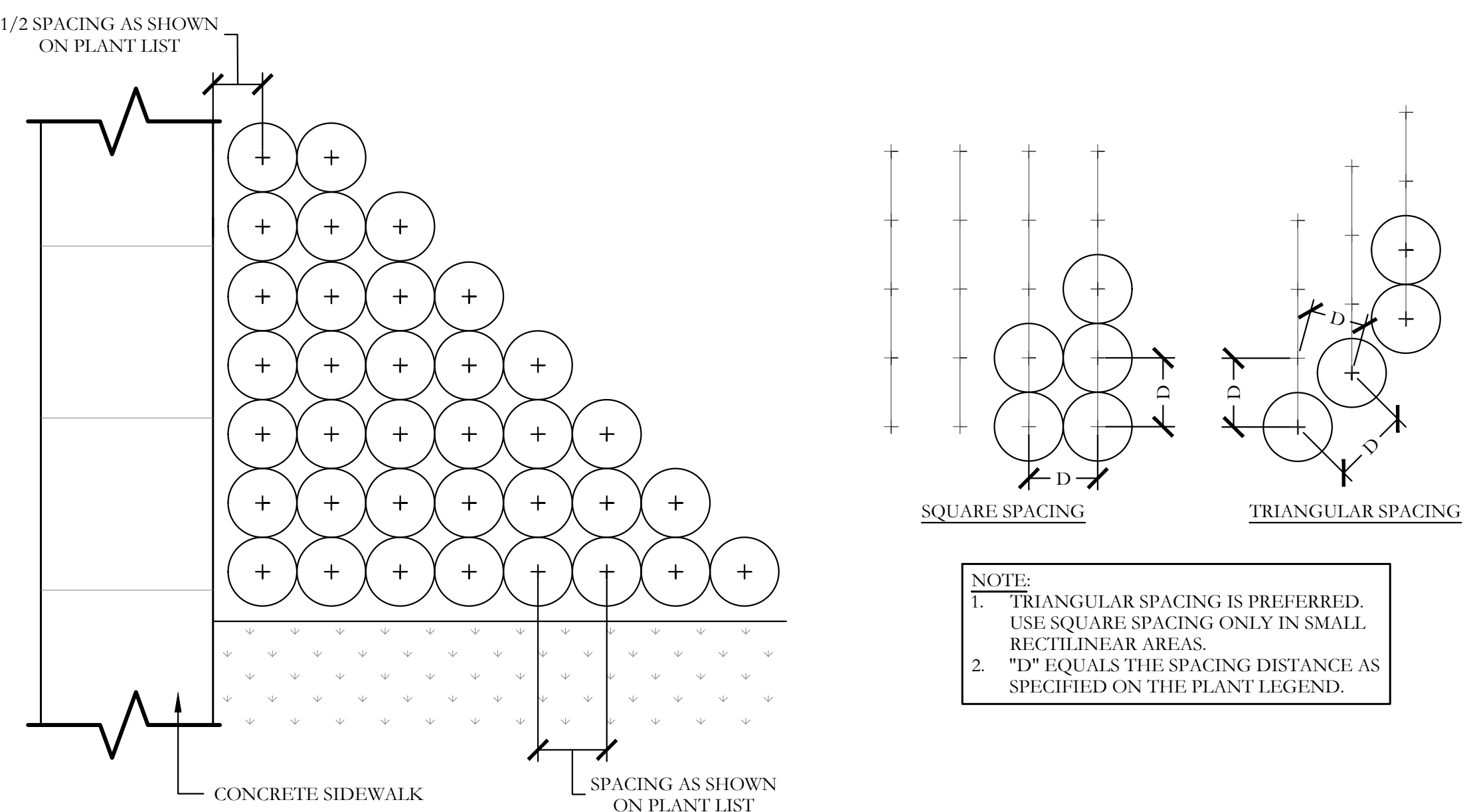




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	22	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	20	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	21	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	19	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	34	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
ERC	21	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	32	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	25	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	113	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	43	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	132	DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	214	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	133	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	135	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	660	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,380	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	3,320	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,820	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	1,005	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	242,700	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	2,045	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 3/4" - 1" DIAMETER IN SIZE.
	2,755	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	5.5	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE. BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

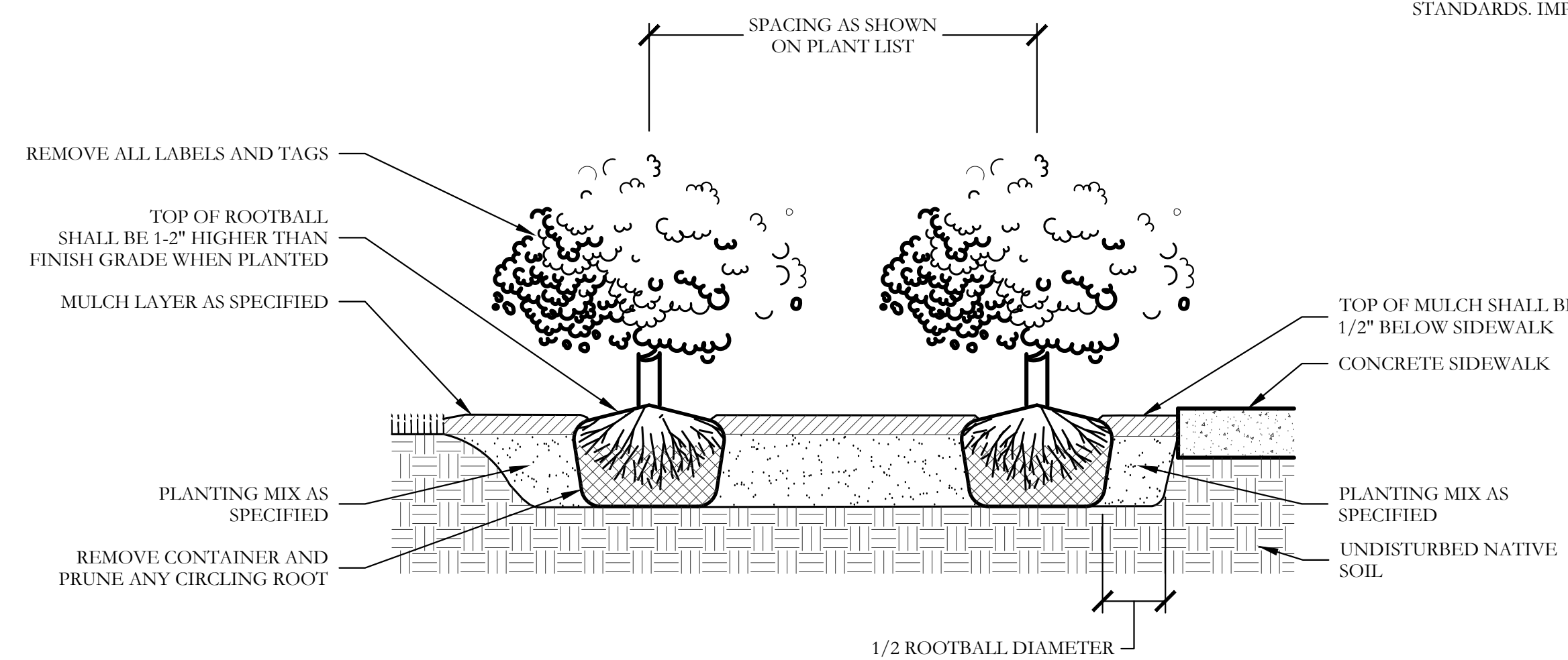
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

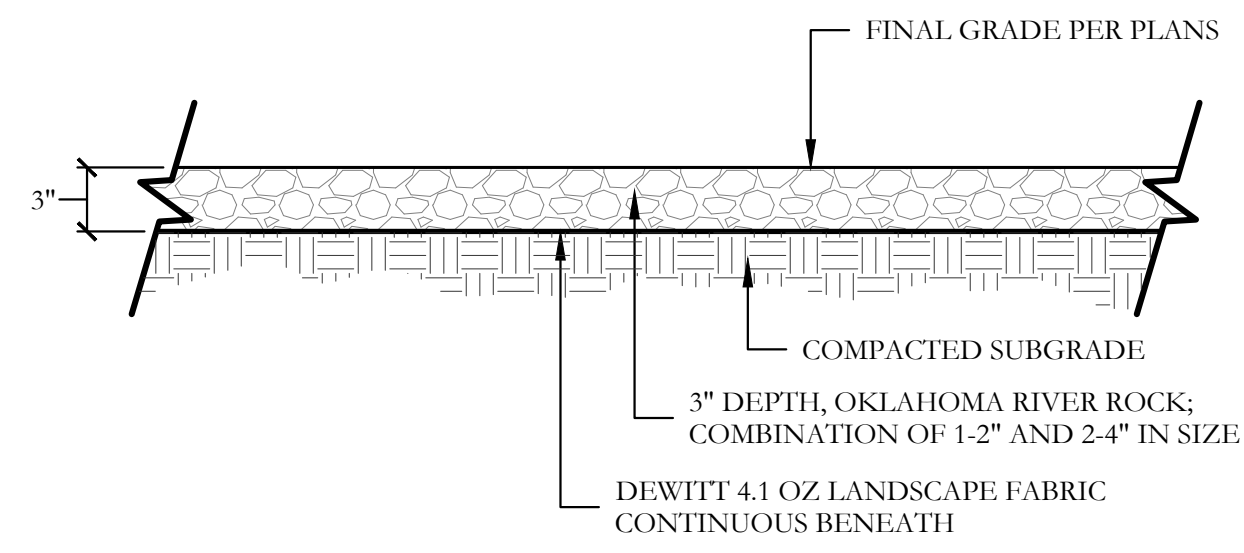
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

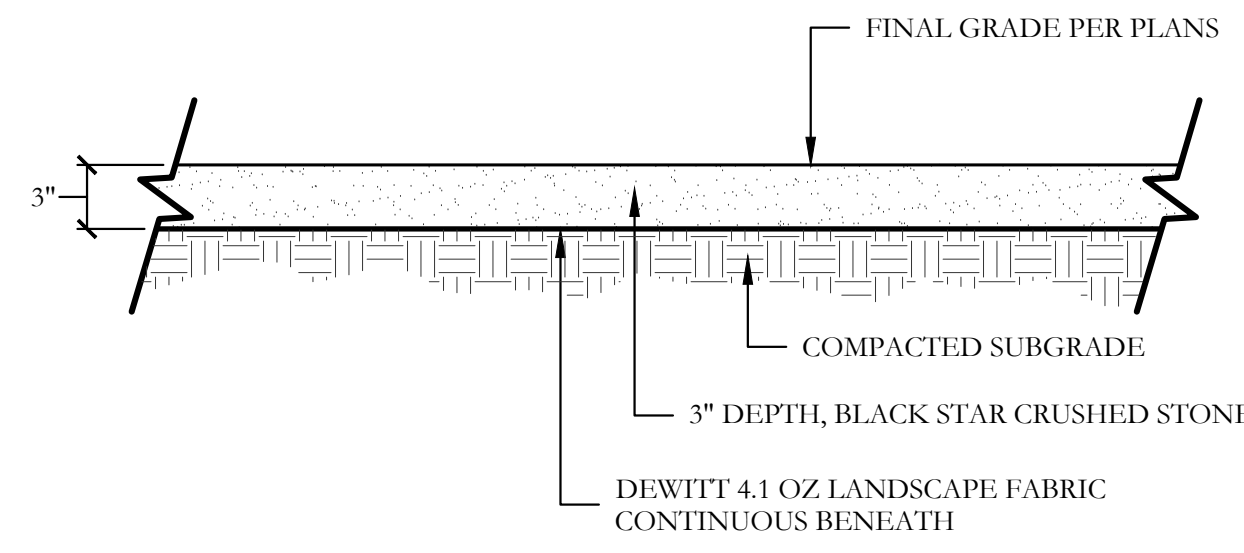
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



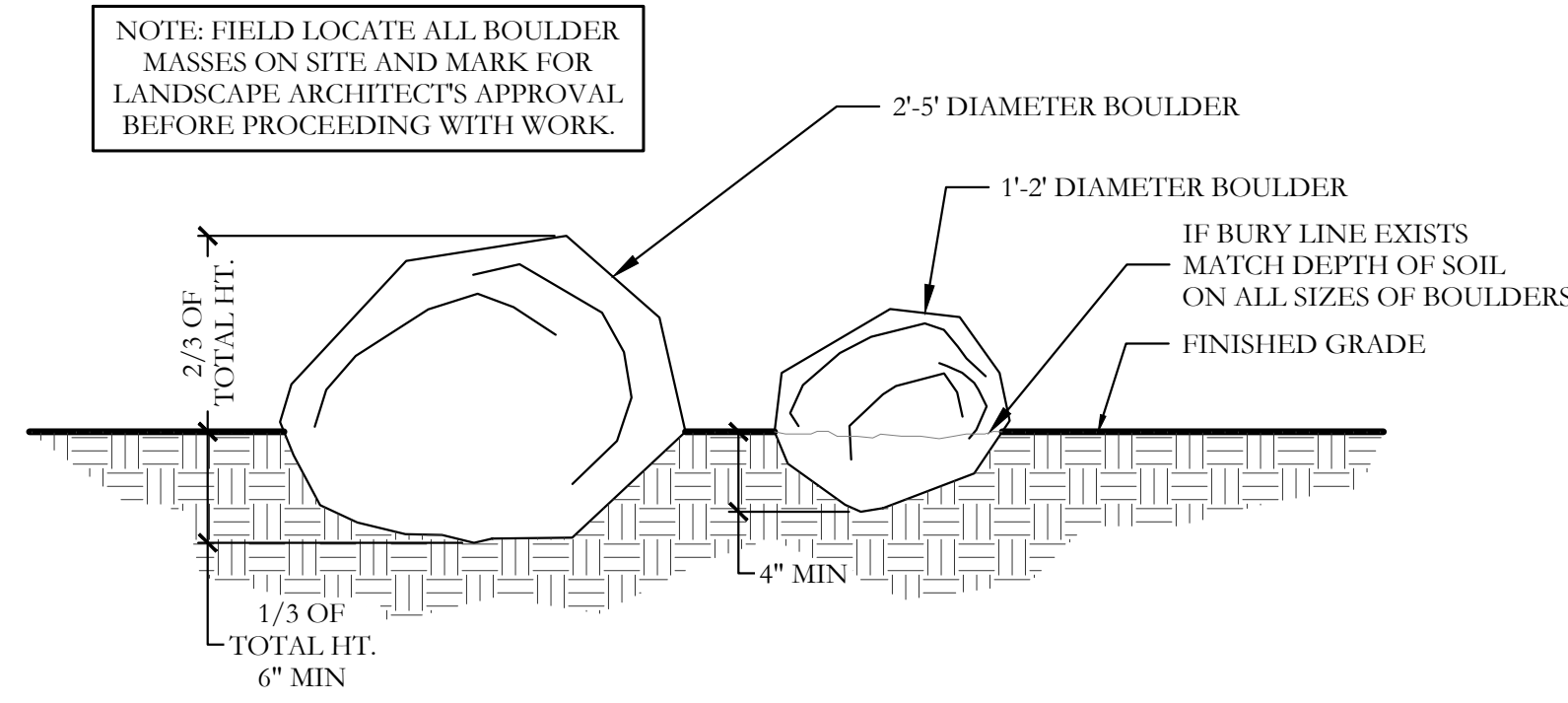
3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE



1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

NOTE: FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

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SCALE:
 REFER TO
 DETAILS
 One Inch
 JVC No 2215



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING CASE NO. SP2023-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²</p> <p>NOTES:</p> <p>¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1649 FM 1141, Rockwall, 75087**

SUBDIVISION **ABS A0122, MB Jones, Tract 4-01** LOT BLOCK

GENERAL LOCATION **Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Planned Development PD-93** CURRENT USE **Planned Development PD-93**

PROPOSED ZONING PROPOSED USE

ACREAGE **94.144** LOTS [CURRENT] **181** LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER TM Terraces, LLC	<input checked="" type="checkbox"/> APPLICANT Michael Joyce Properties
CONTACT PERSON Bret Pedigo	CONTACT PERSON Ryan Joyce
ADDRESS 4416 W. Lovers Lane, Suite 200	ADDRESS 767 Justin Road
CITY, STATE & ZIP Dallas, TX 76209	CITY, STATE & ZIP Rockwall, TX 75087
PHONE	PHONE 512-965-6280
E-MAIL	E-MAIL ryan@michaeljoyceproperties.com

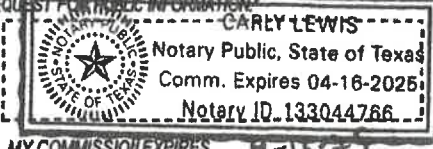
NOTARY VERIFICATION [REQUIRED]

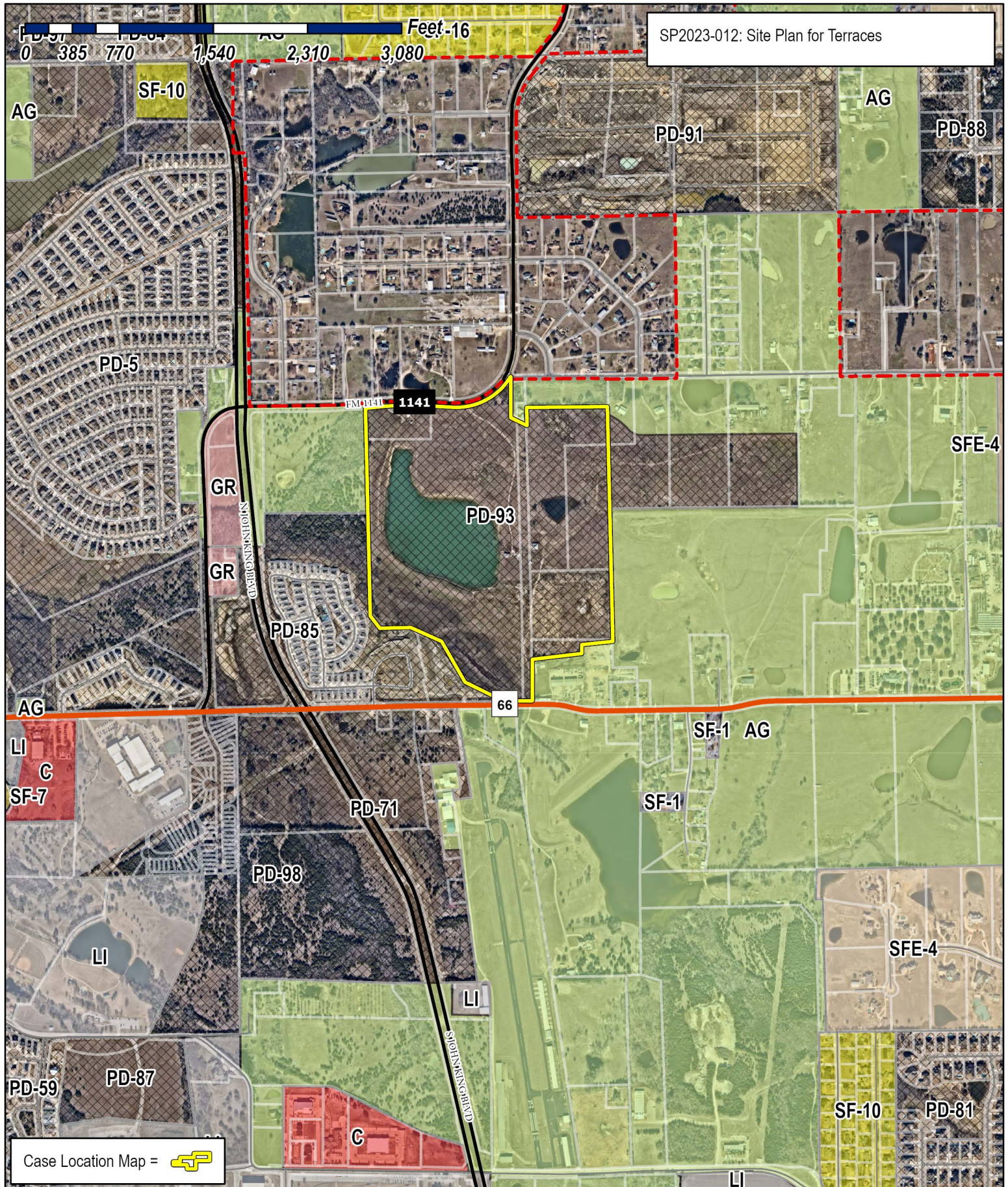
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bret Pedigo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2132.87 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF MARCH 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March 2023

OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2023-012: Site Plan for Terraces

Case Location Map =

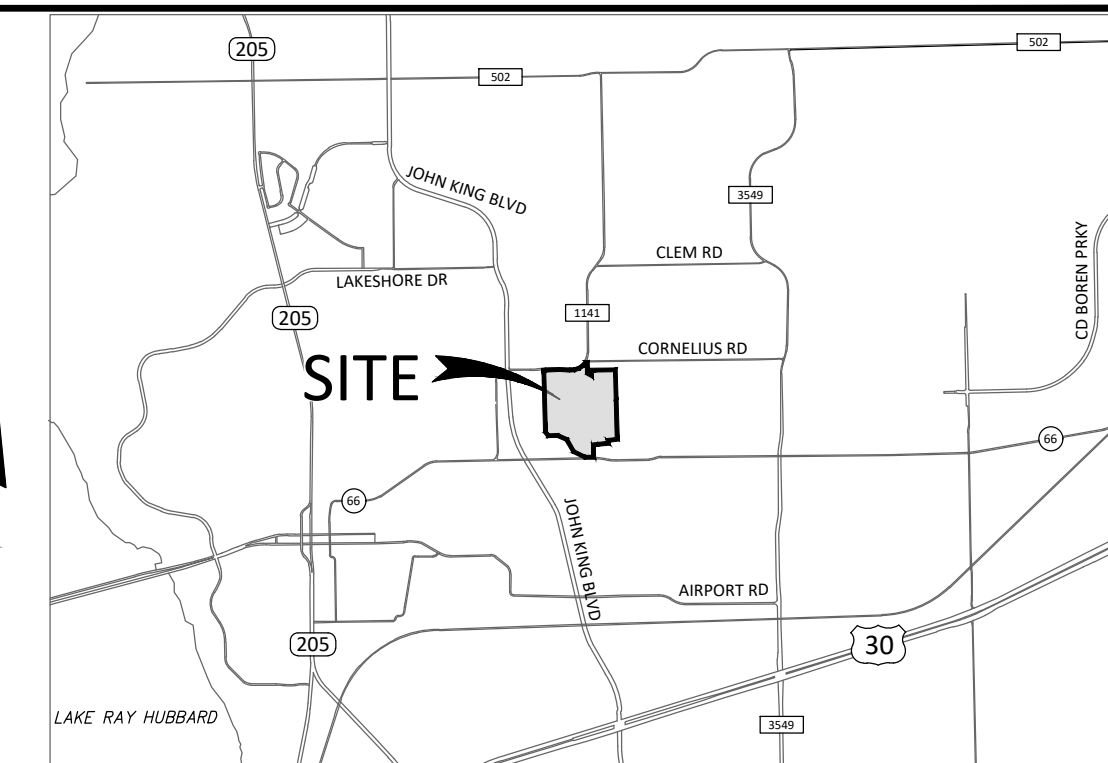
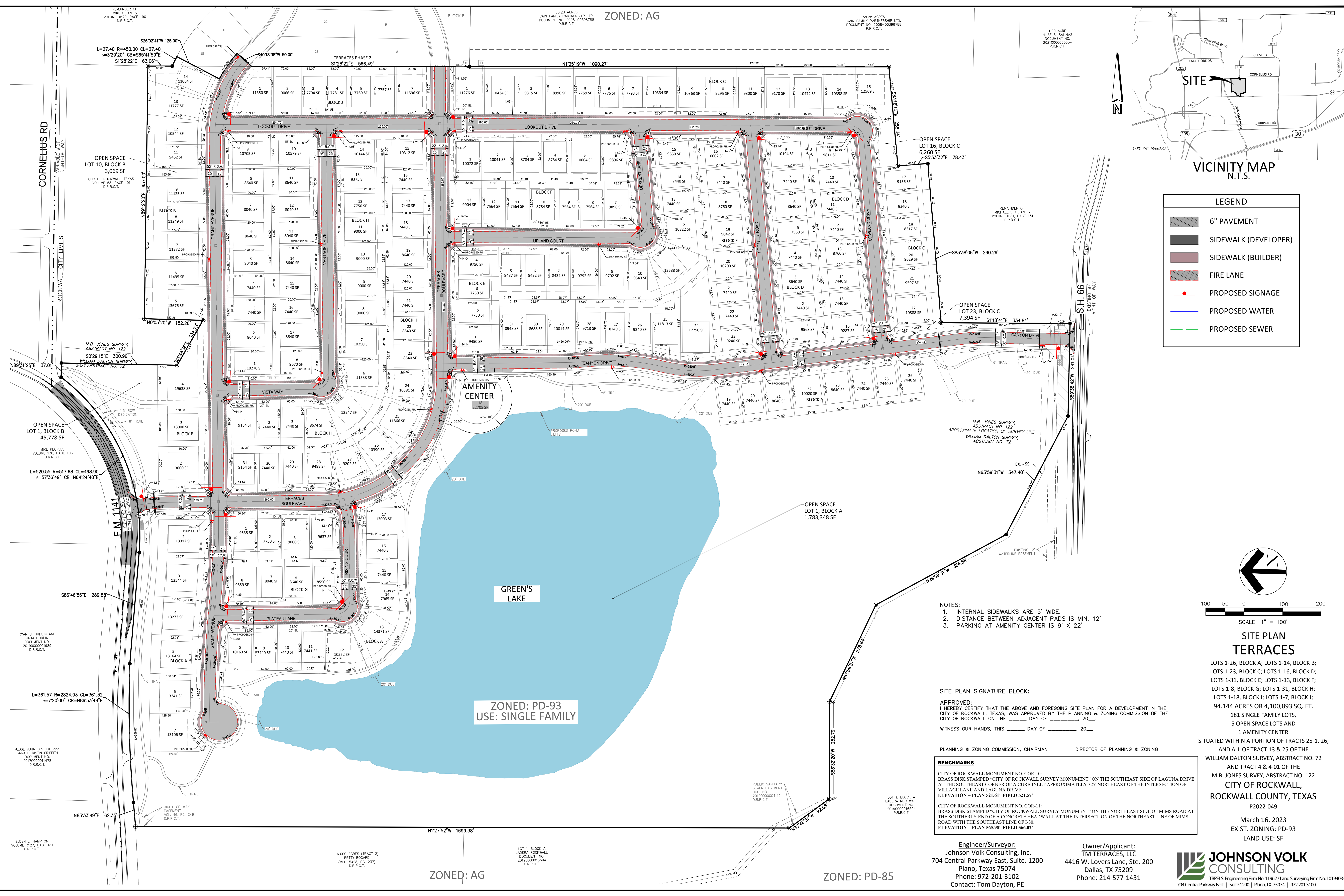


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

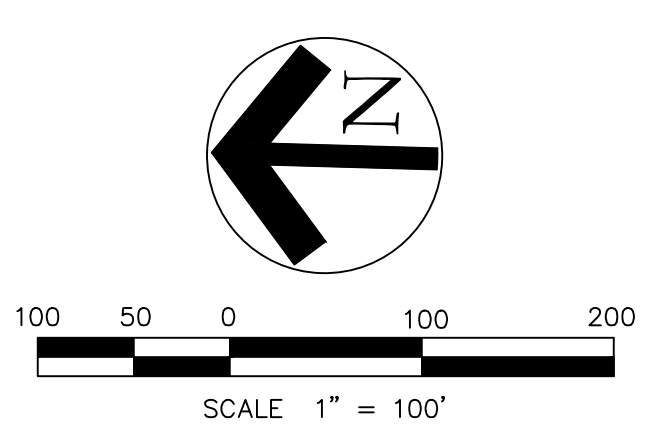
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)
- FIRE LANE
- PROPOSED SIGNAGE
- PROPOSED WATER
- PROPOSED SEWER



- NOTES:**
- INTERNAL SIDEWALKS ARE 5' WIDE.
 - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'
 - PARKING AT AMENITY CENTER IS 9' X 22'

SITE PLAN SIGNATURE BLOCK:
 APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20__
 WITNESS OUR HANDS, THIS ____ DAY OF ____ 20__

BENCHMARKS
 CITY OF ROCKWALL MONUMENT NO. COR-10: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'
 CITY OF ROCKWALL MONUMENT NO. COR-11: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30. ELEVATION = PLAN 565.98' FIELD 566.02'

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

Owner/Applicant:
 TM TERRACES, LLC
 4416 W. Lovers Lane, Ste. 200
 Dallas, TX 75209
 Phone: 214-577-1431

PLANNING & ZONING COMMISSION, CHAIRMAN _____ **DIRECTOR OF PLANNING & ZONING** _____

CITY OF ROCKWALL, TEXAS
 P2022-049
 March 16, 2023
 EXIST. ZONING: PD-93
 LAND USE: SF

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

ZONED: AG

**ZONED: PD-93
 USE: SINGLE FAMILY**

ZONED: AG

ZONED: PD-85

REMAINDER OF MIKE PEOPLES VOLUME 1679, PAGE 190 D.R.R.C.T.

REMAINDER OF MICHAEL L. PEOPLES VOLUME 1081, PAGE 151 D.R.R.C.T.

REMAINDER OF M.B. JONES SURVEY, ABSTRACT NO. 122 WILLIAM DALTON SURVEY, ABSTRACT NO. 72

RYAN S. HUDDIN AND JADA HUDDIN DOCUMENT NO. 2019000001989 D.R.R.C.T.

ESSE JOHN GRIFFITH and SARAH KRISTIN GRIFFITH DOCUMENT NO. 2017000011478 D.R.R.C.T.

ELDEN L. HAMPTON VOLUME 3107, PAGE 161 D.R.R.C.T.

16.000 ACRES (TRACT 2) BETTY BOSKARD (VOL. 5428, PG. 237) D.R.R.C.T.

LOT 1, BLOCK A LADERA ROCKWALL DOCUMENT NO. 2019000016594 P.R.R.C.T.

LOT 1, BLOCK A CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'

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PUBLIC SANITARY SEWER EASEMENT DOC. NO. 2019000004112 D.R.R.C.T.

LOT 1, BLOCK A LADERA ROCKWALL DOCUMENT NO. 2019000016594 P.R.R.C.T.

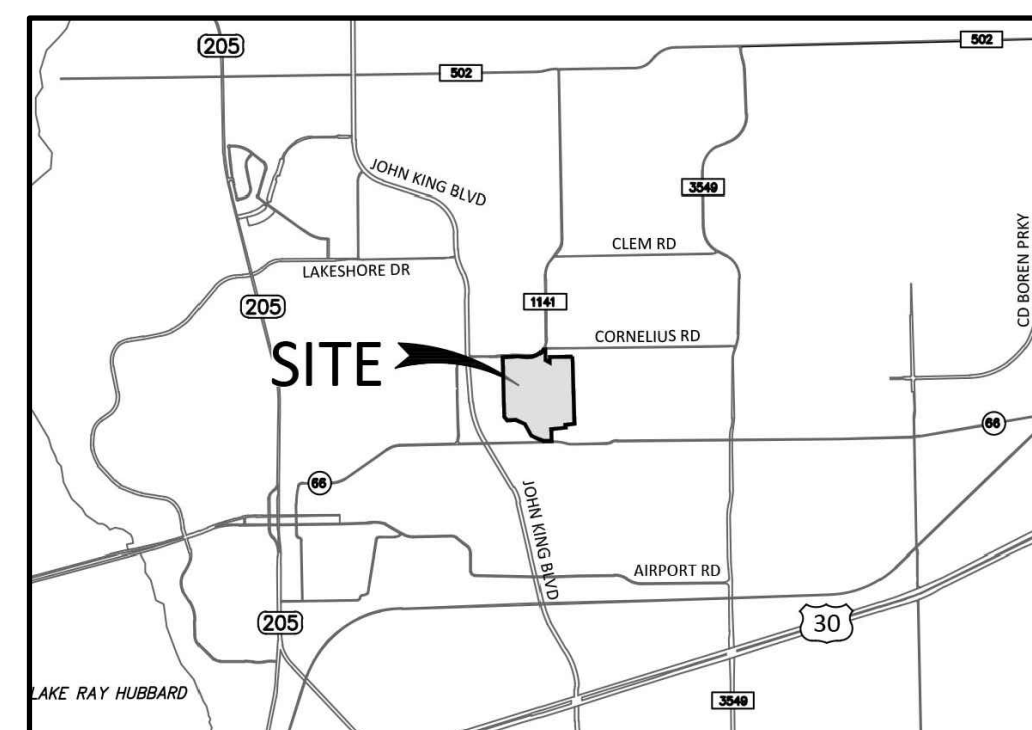
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~TERRACES~
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: March 10, 2023



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
HS1	OVERALL LAYOUT PLAN
HS2-HS10	HARDSCAPE PLANS
HS11-HS13	HARDSCAPE DETAILS
EX1	ENTRY LIGHTING EXHIBIT
L1-L9	LANDSCAPE PLANS
L110-L10	LANDSCAPE DETAILS

OWNER / DEVELOPER:

TM TERRACES, LLC
4416 W. LOVERS LANE
SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431

CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY
EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

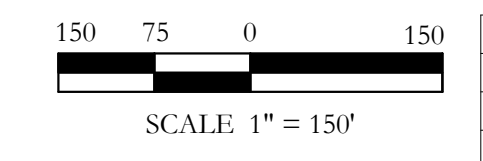
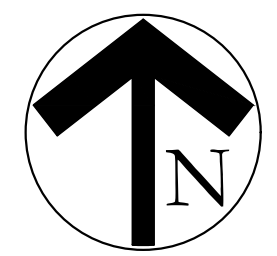
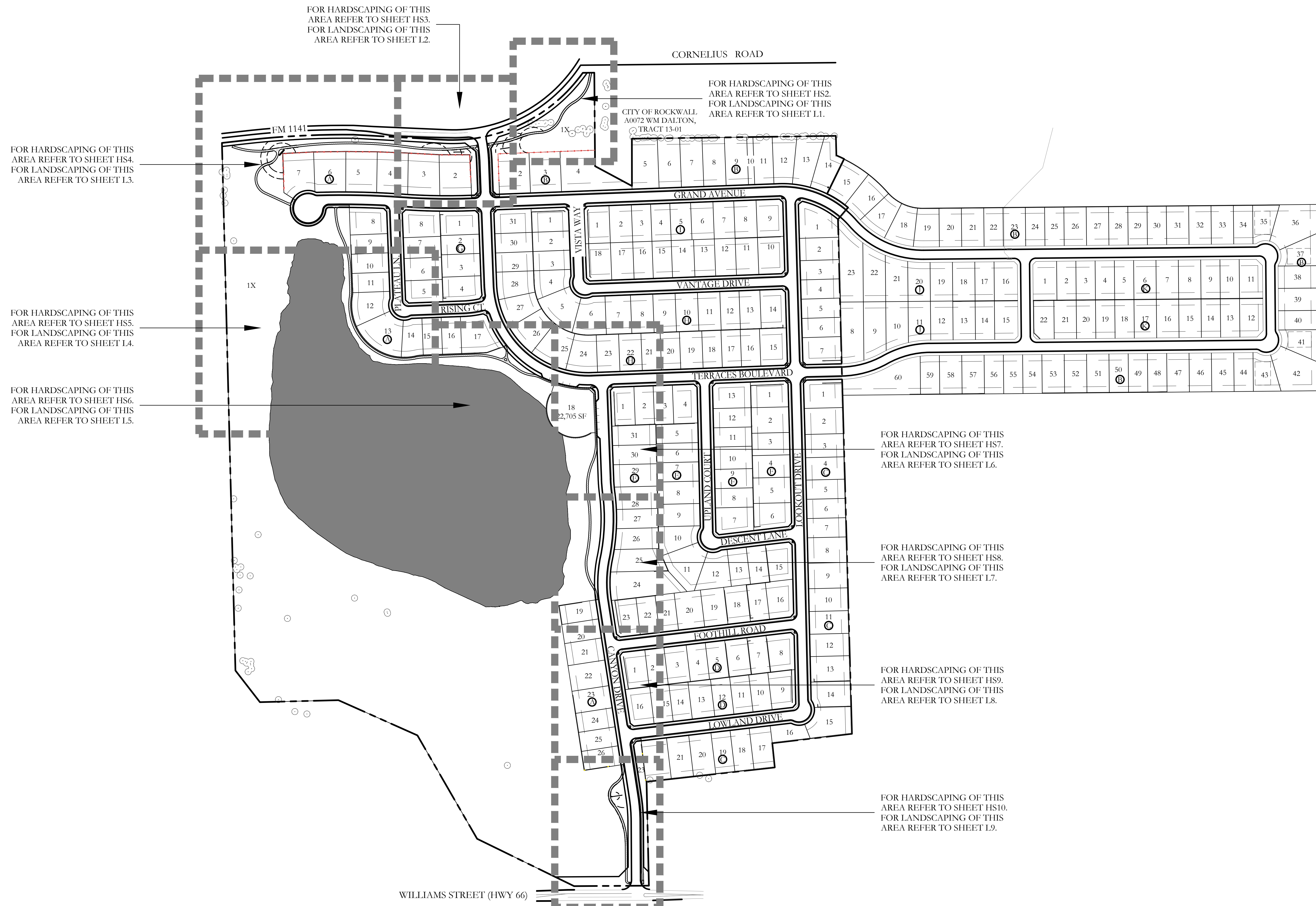
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

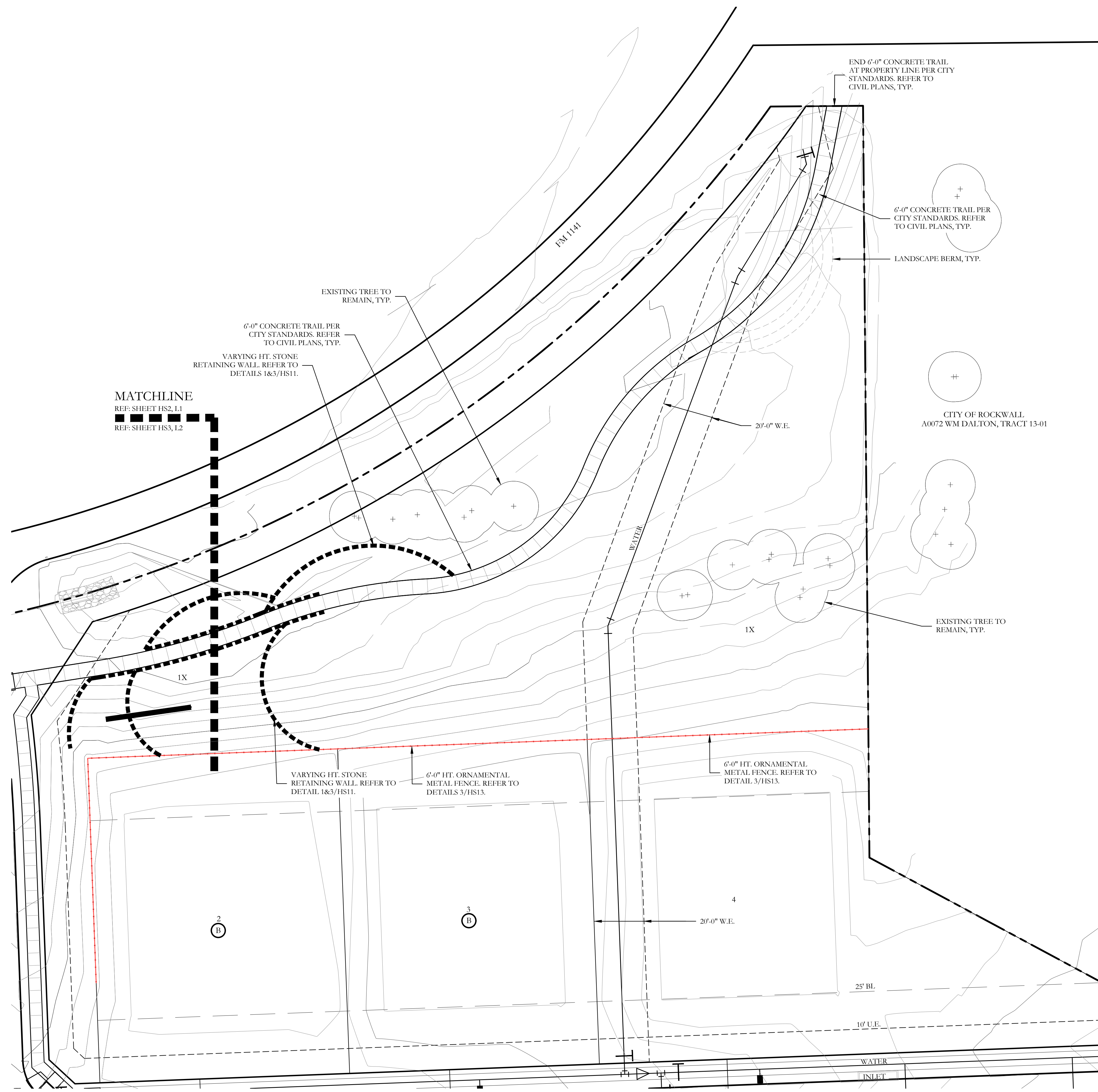
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HULDED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



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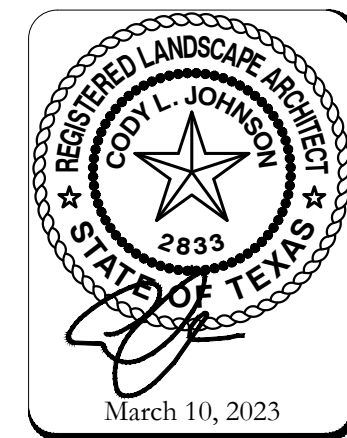
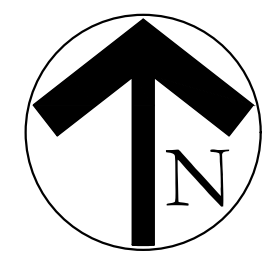
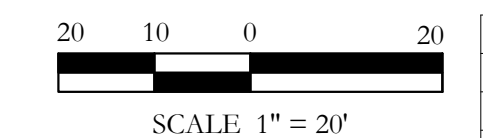
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MATCHLINE
 REF: SHEET HS2, L1
 REF: SHEET HS3, L2

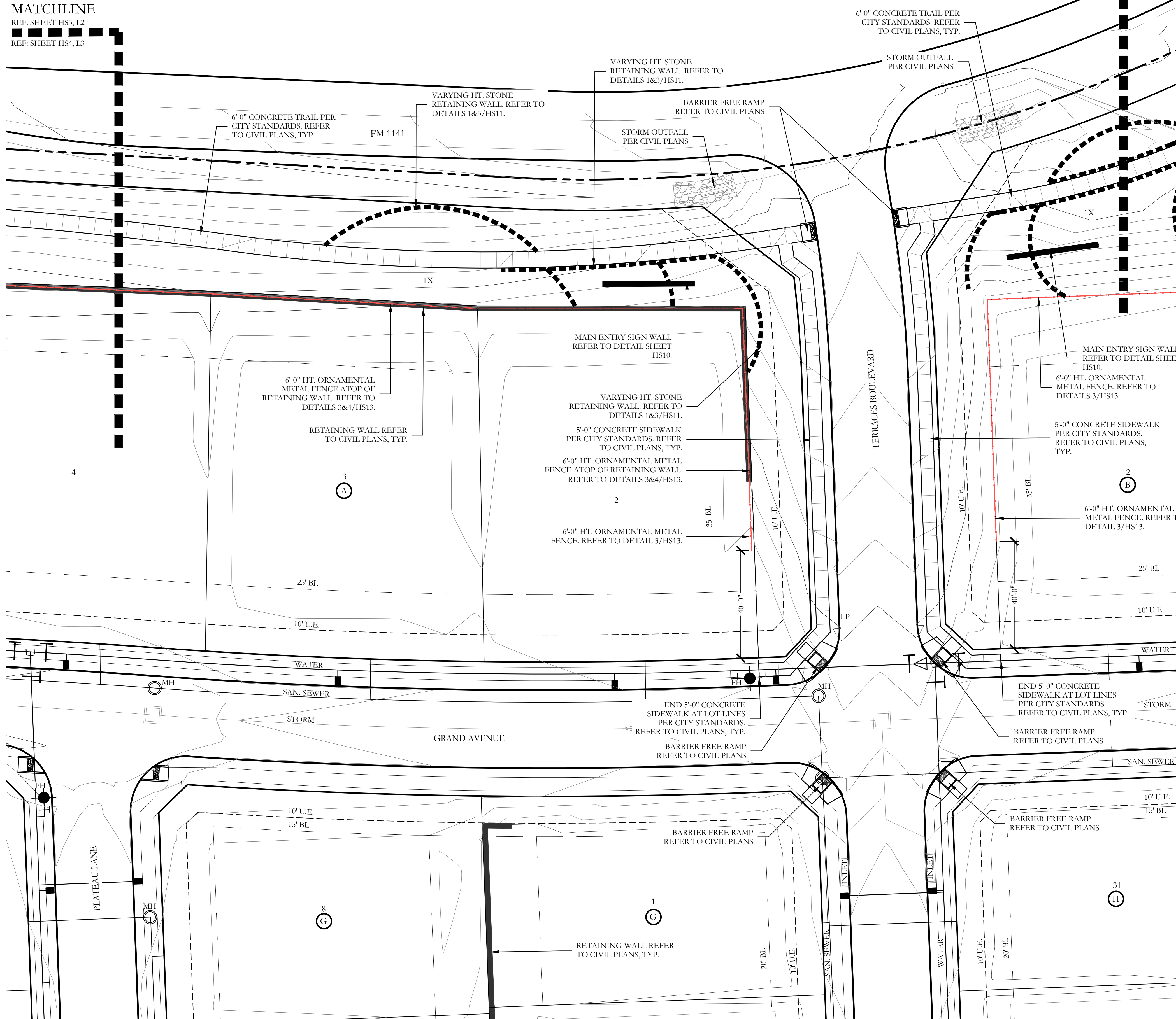
HARDSCAPE LEGEND	
	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
	8'-6" HT. STONE LOGO COLUMN ATOP OF RETAINING WALL. REFER TO DETAILS 4&5/HS12.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAIL 1&2/HS13.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 3/HS11.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 3&4/HS13.
	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
 REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



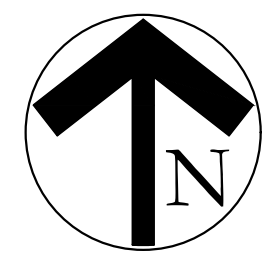
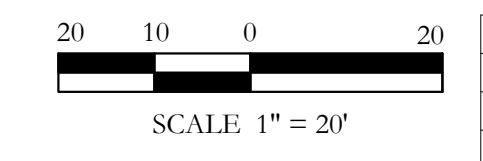
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REF: SHEET HS3, L2
REF: SHEET HS4, L3

MATCHLINE
REF: SHEET HS2, L1
REF: SHEET HS3, L2



HARDSCAPE LEGEND	
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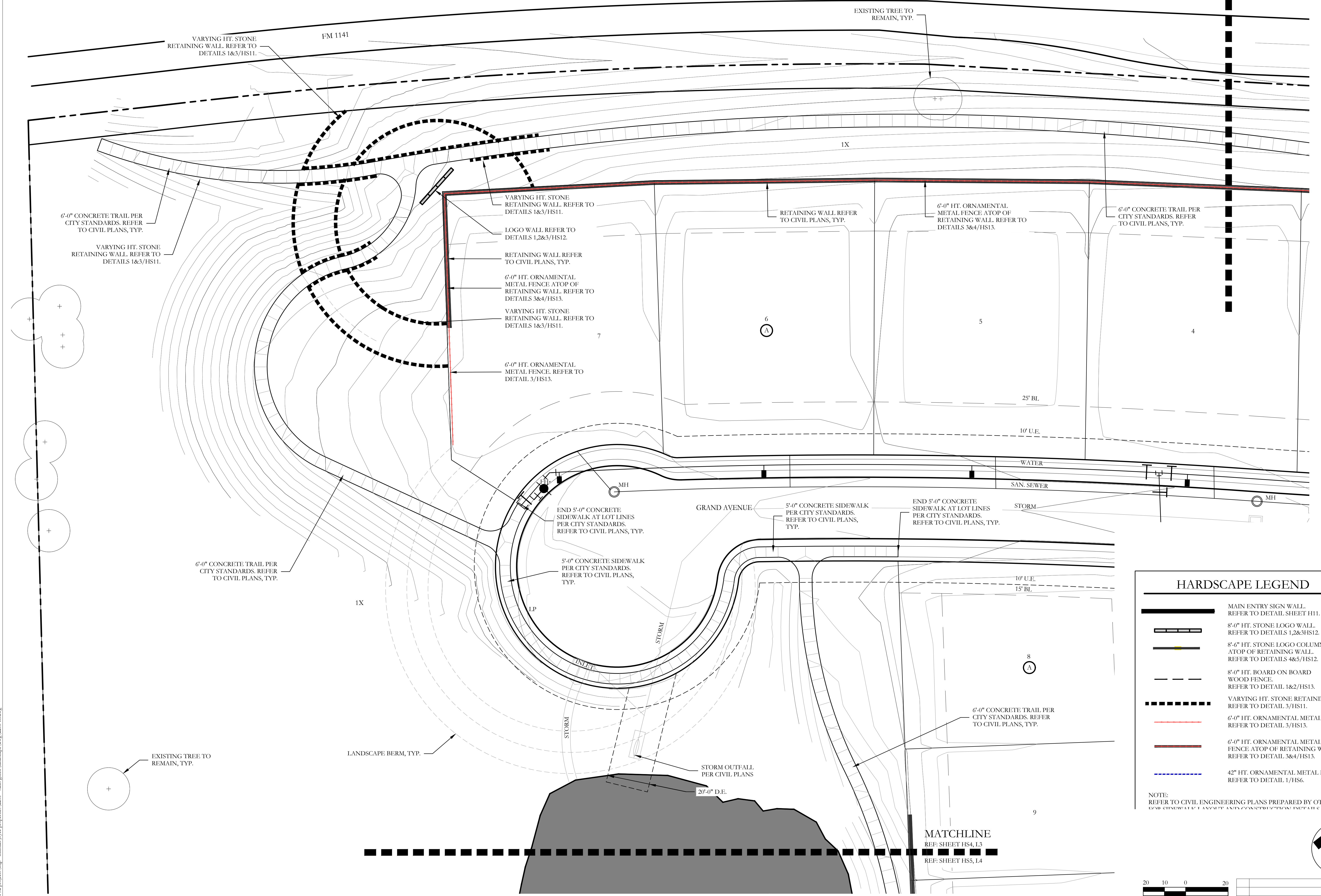
NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



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MATCHLINE
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REF: SHEET HS4, L3



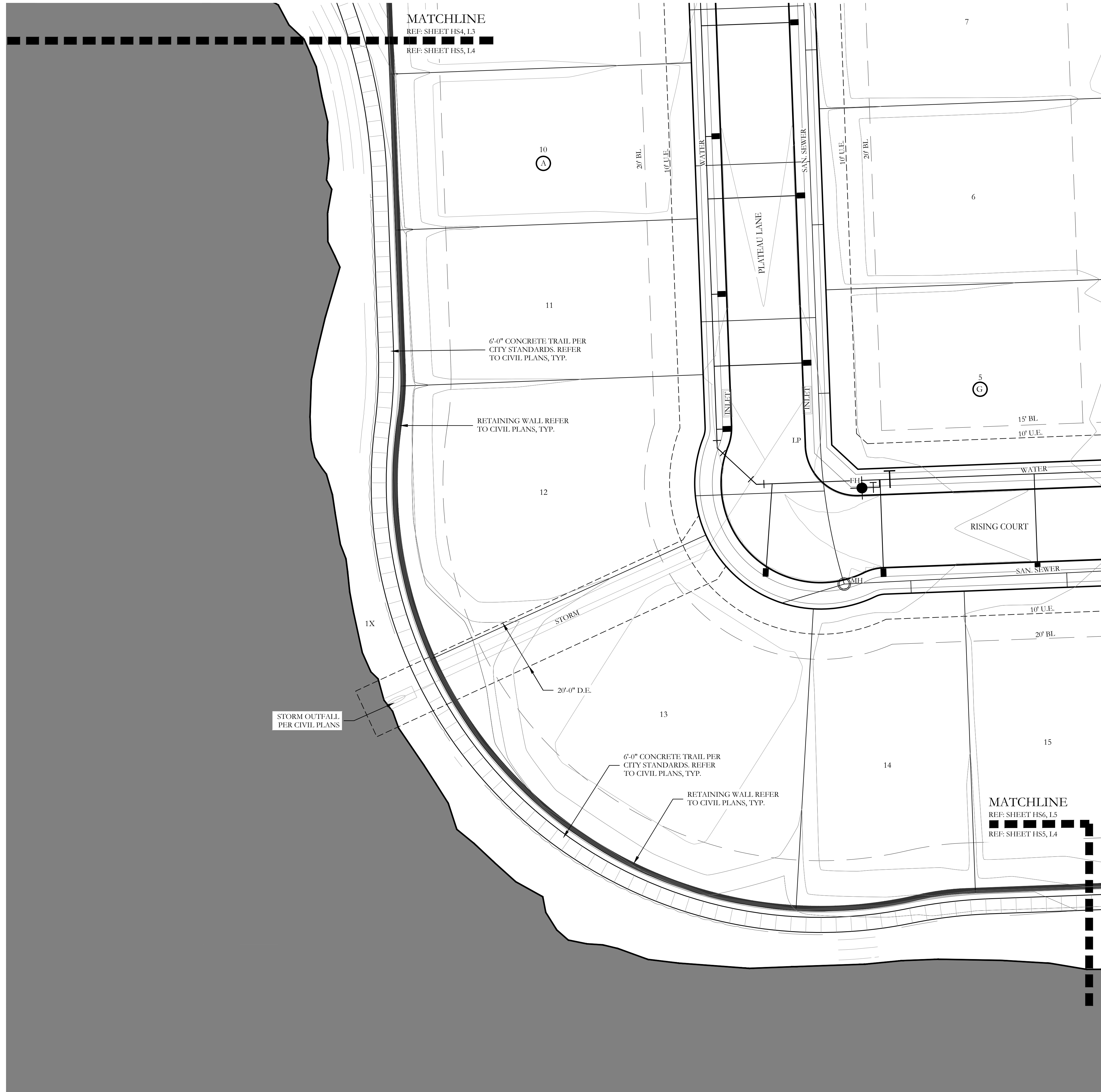
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	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR GENERAL UTILITY AND CONSTRUCTION DETAILS.

MATCHLINE
REF: SHEET HS4, L3
REF: SHEET HS5, L4

SCALE: 1" = 20'

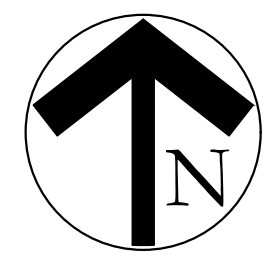
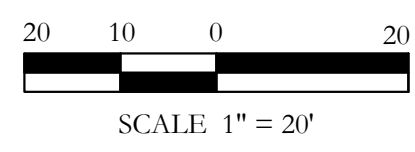
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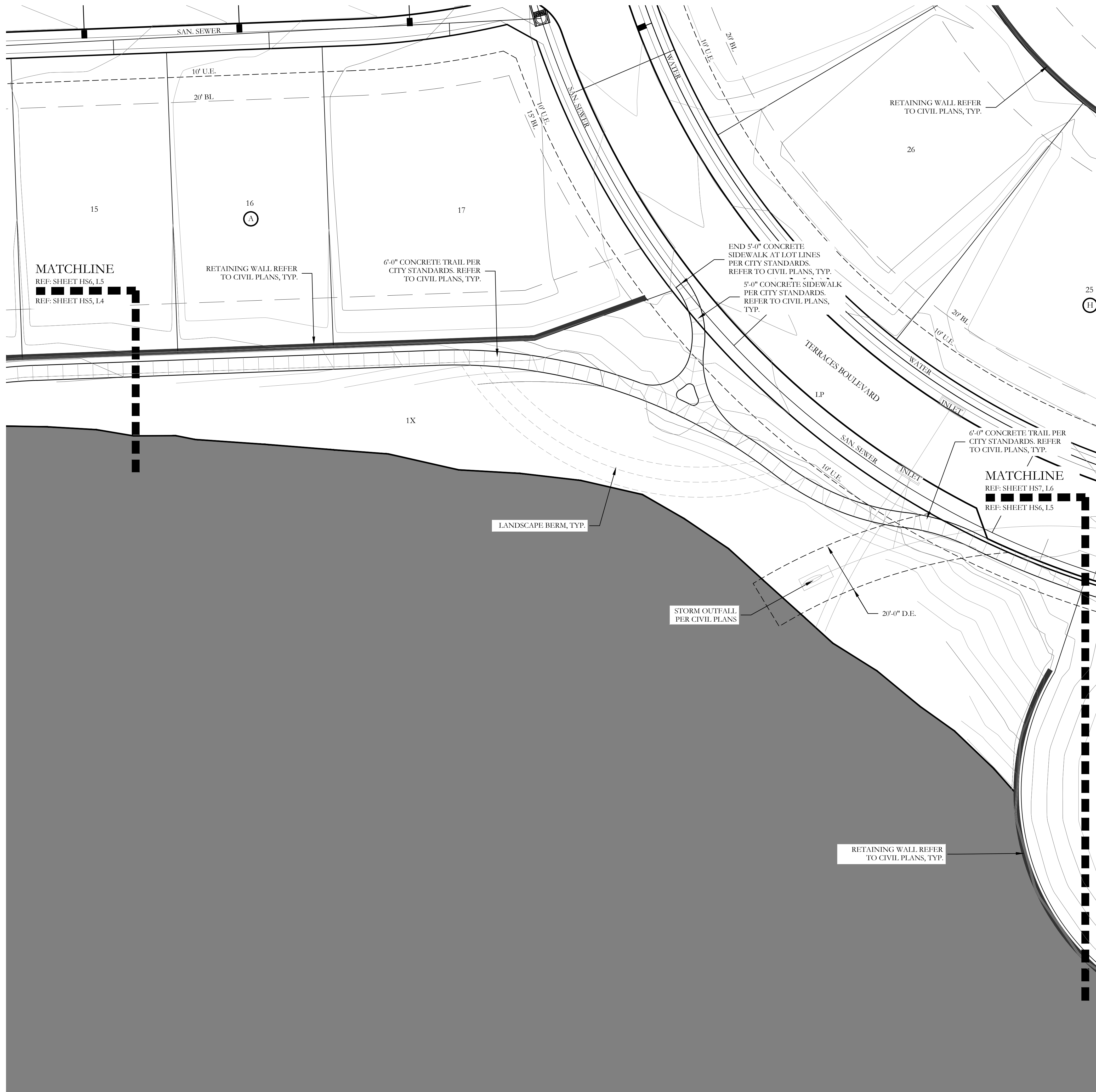


HARDSCAPE LEGEND

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	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
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FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.

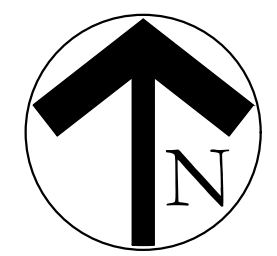
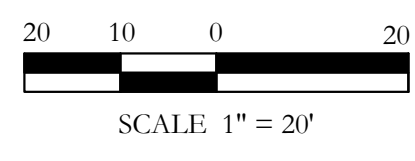




HARDSCAPE LEGEND

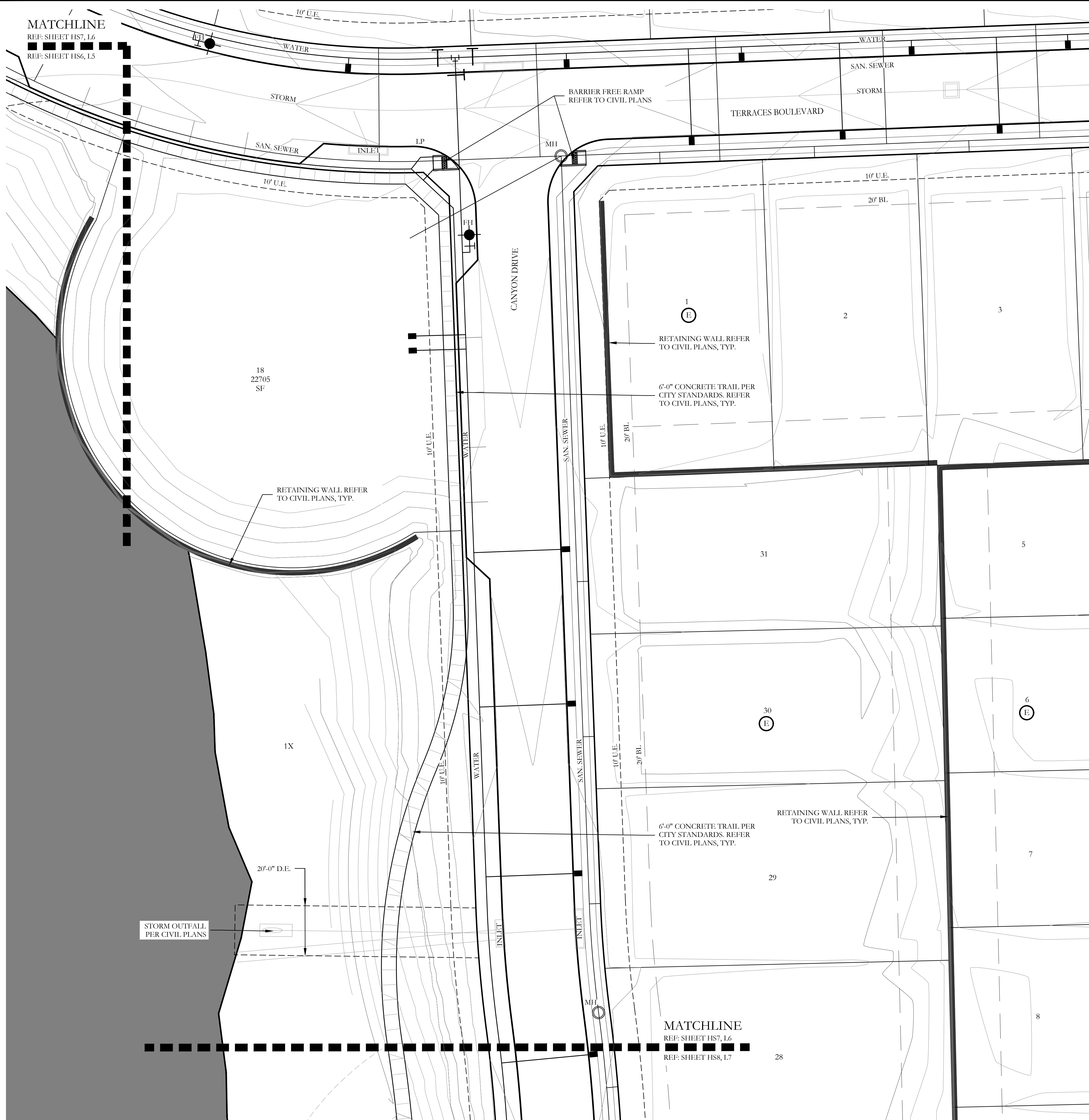
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NOTE:
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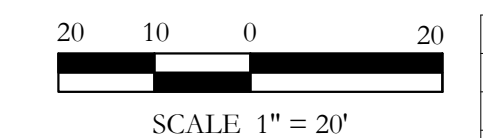
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REF: SHEET HS6, L5



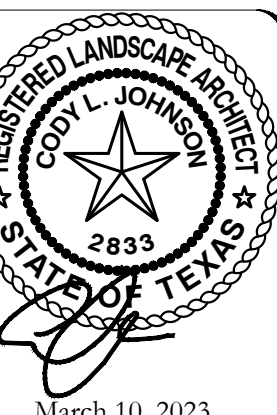
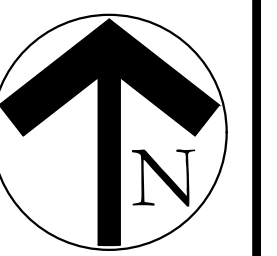
HARDSCAPE LEGEND

- MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
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NOTE:
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SCALE 1" = 20'



March 10, 2023

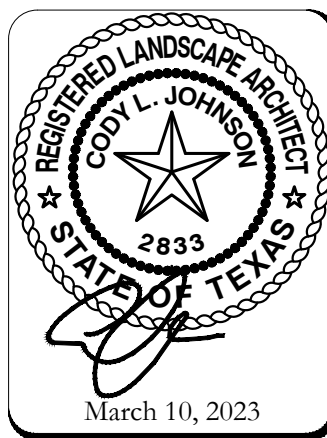
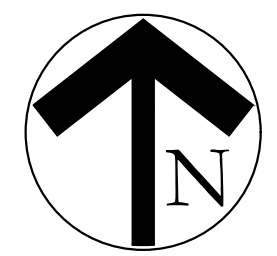
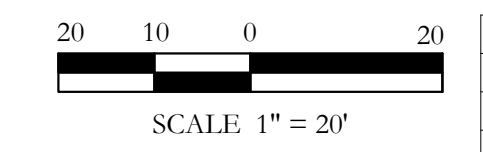
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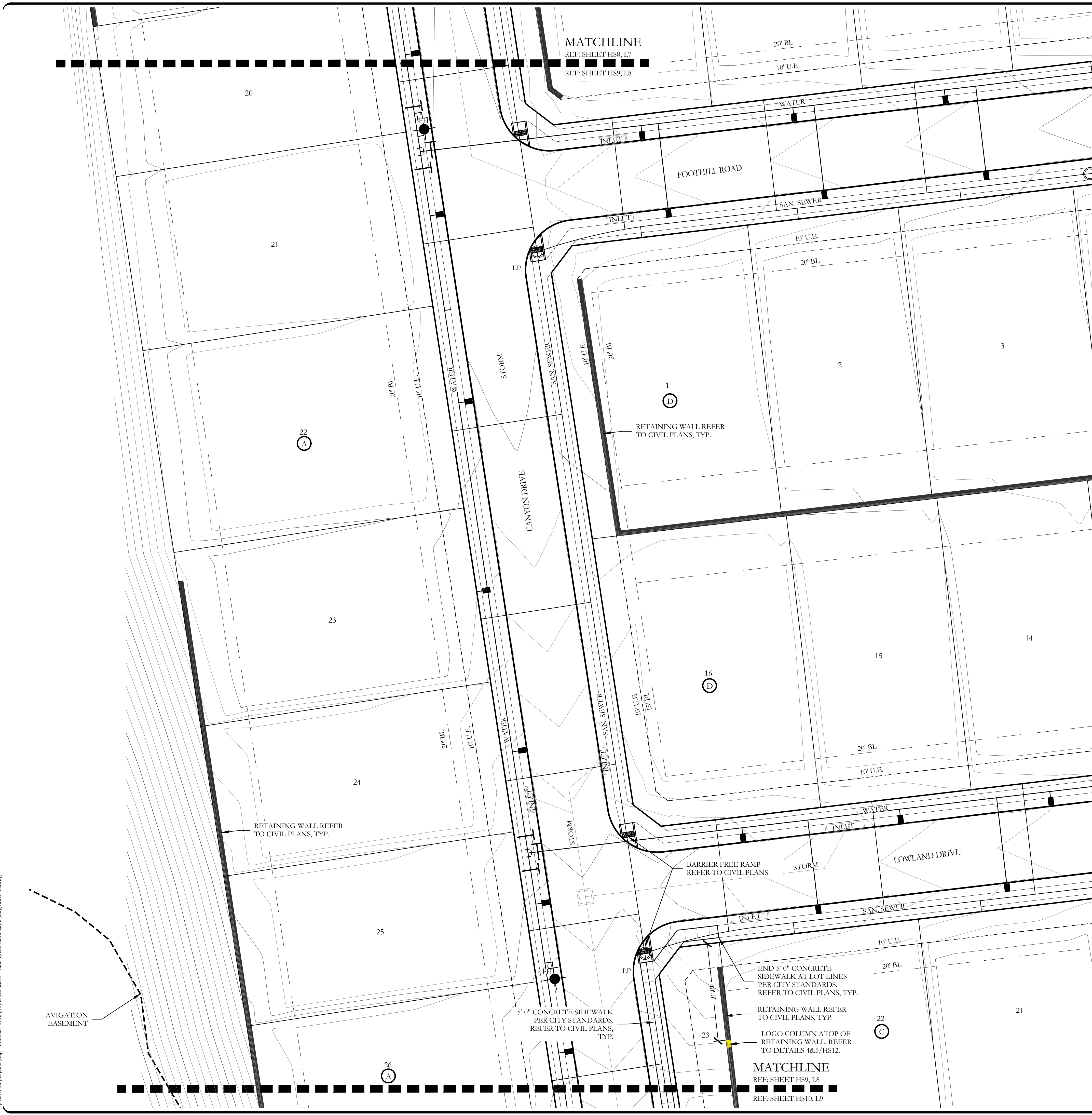
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HARDSCAPE LEGEND	
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	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
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NOTE:
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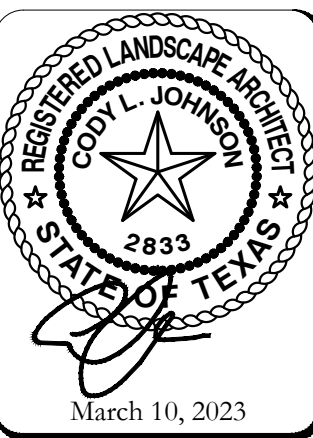
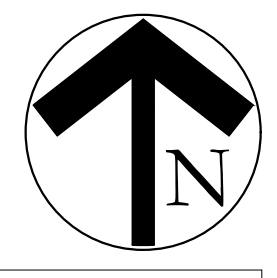
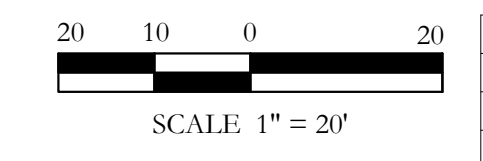




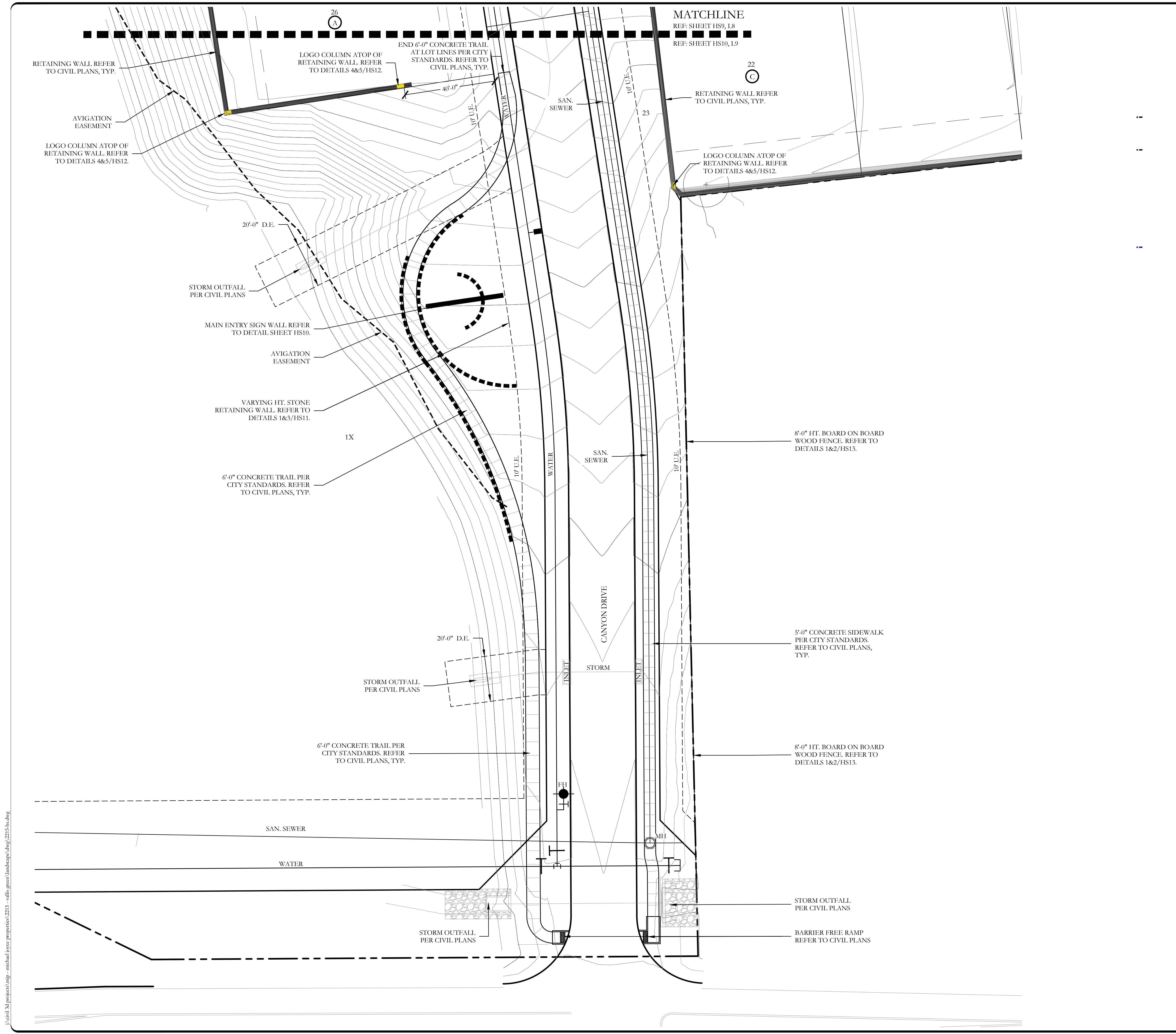
HARDSCAPE LEGEND

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NOTE:
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FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



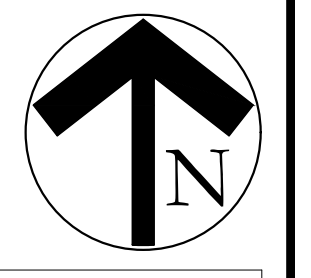
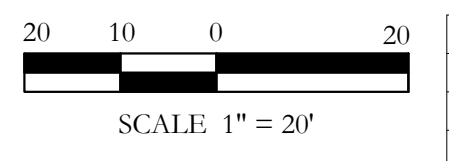
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HARDSCAPE LEGEND

	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
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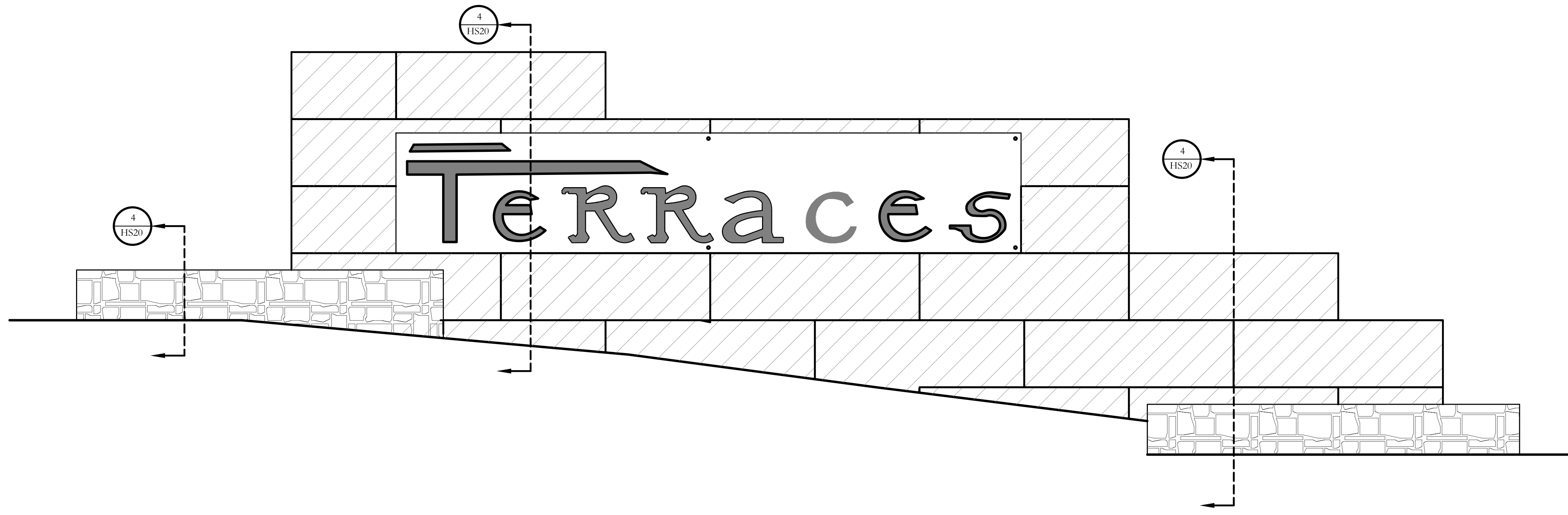
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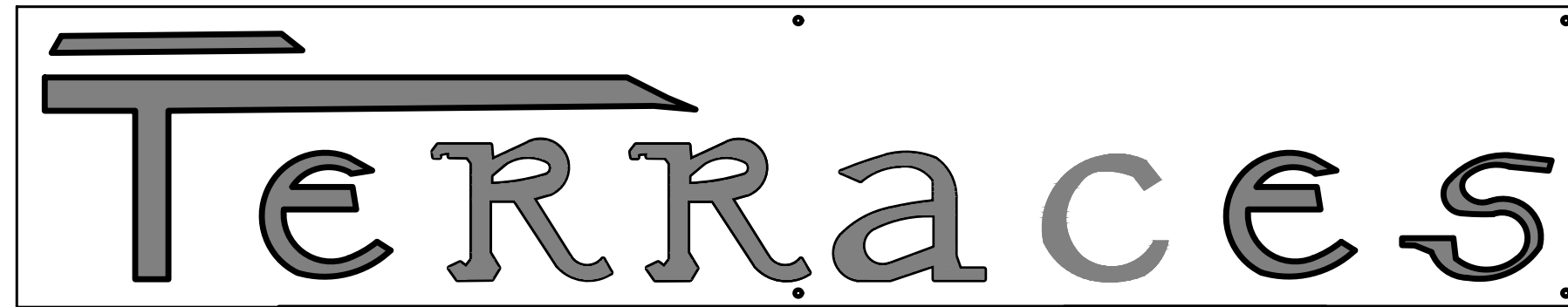
WALL NOTES

- THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
- PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
- ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A615, GRADE 60.
- CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
- REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
- ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
- ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
- STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
- LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
- CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
- THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.



1 MAIN ENTRY SIGN WALL ELEVATION

SCALE: 1/2" = 1'-0"



2 CORTEN SIGN PANEL ELEVATION

SCALE: 1/2" = 1'-0"

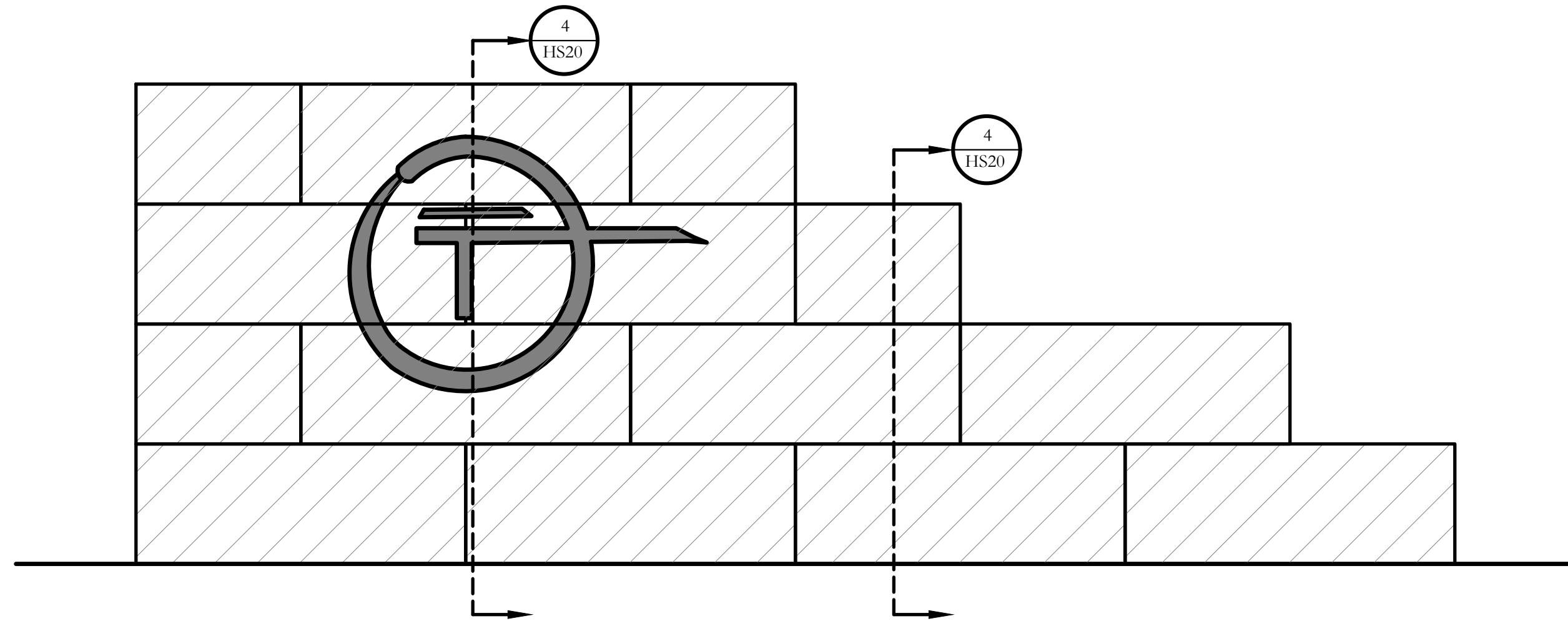
THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

03-10-2023

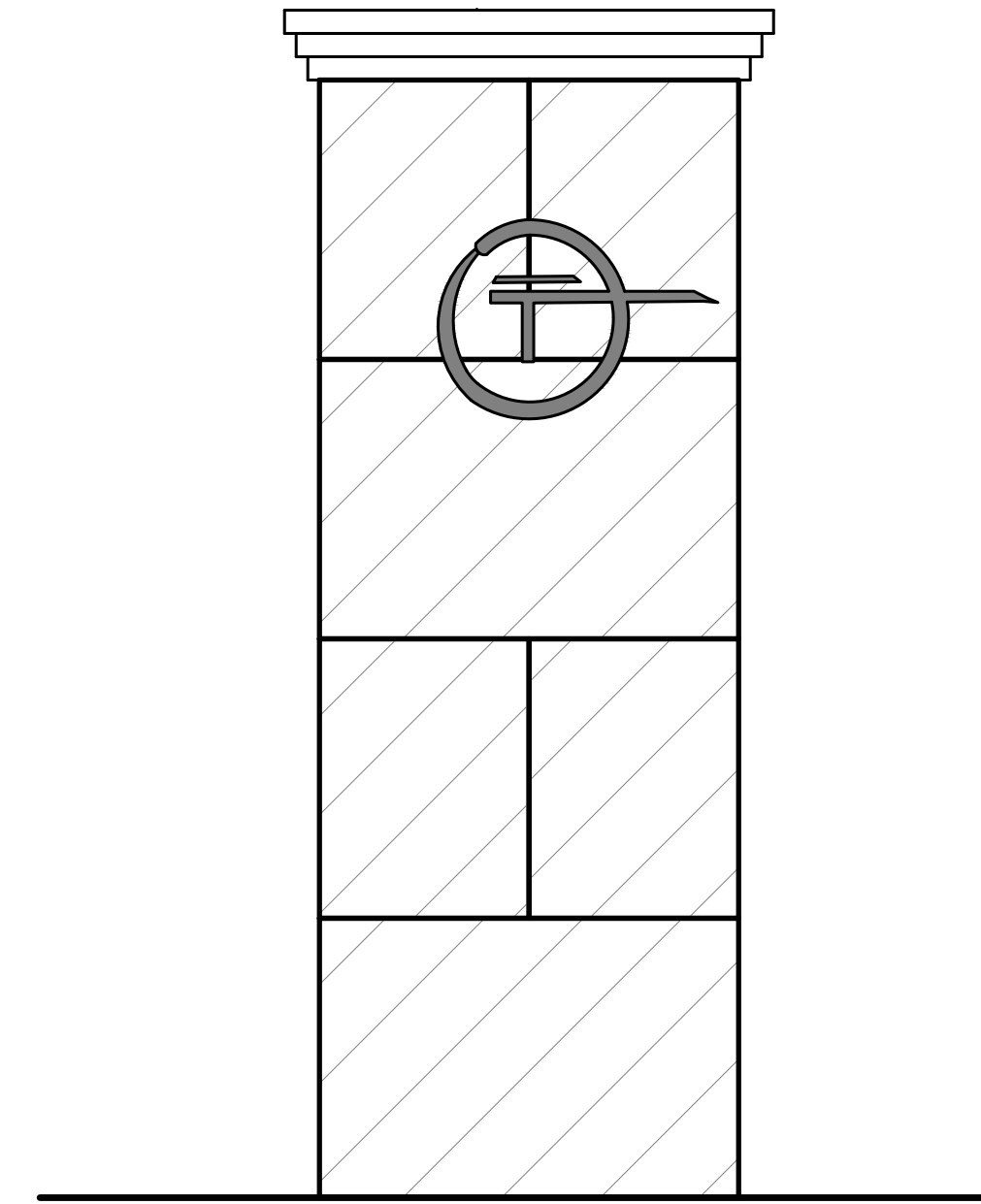
SCALE:
 REFER TO DETAILS

One Inch

JVC No 2215



1 LOGO WALL
ELEVATION
SCALE: 1/2" = 1'-0"

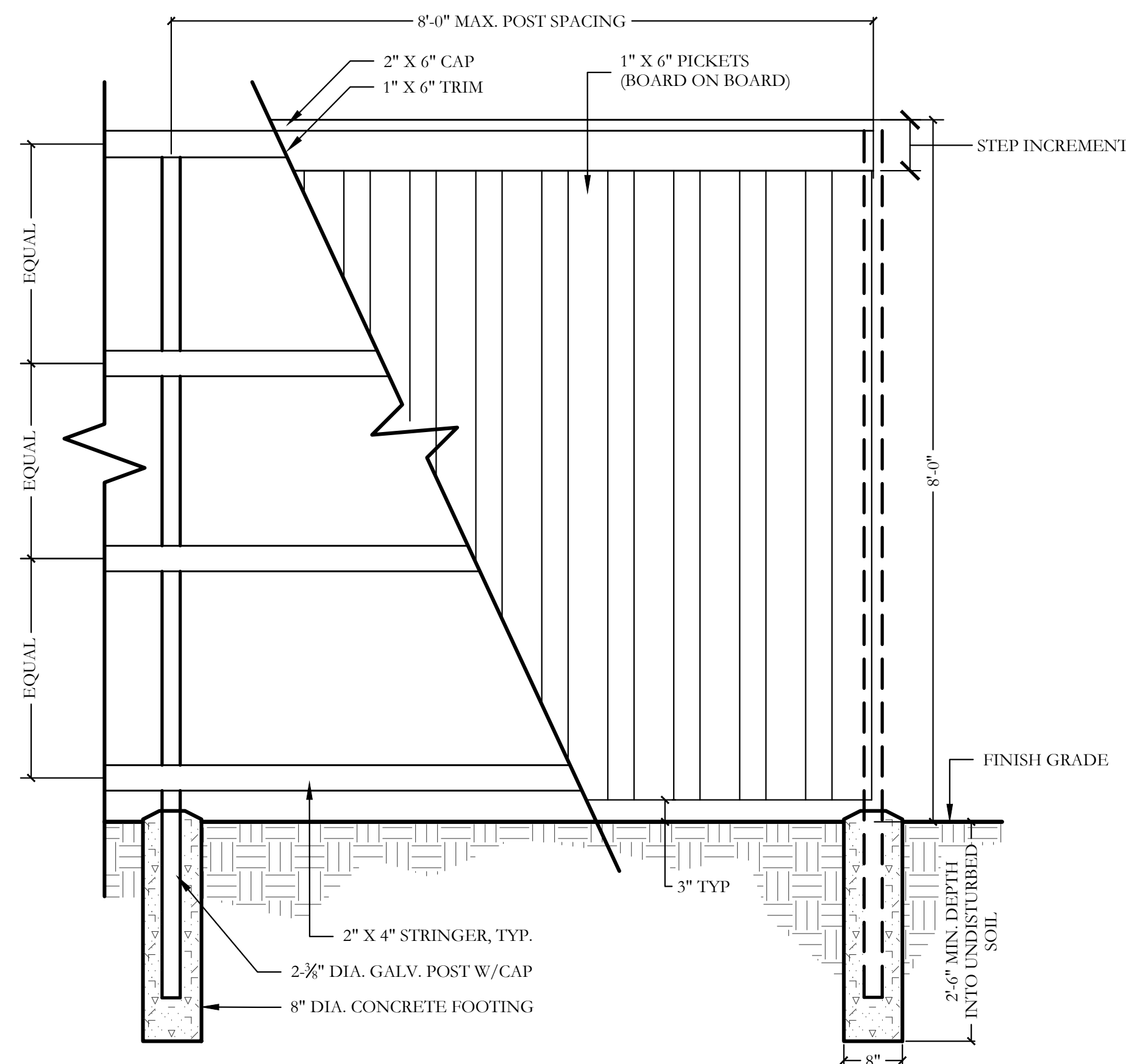


4 LOGO COLUMN ATOP OF RETAINING WALL
ELEVATION
SCALE: 3/4" = 1'-0"

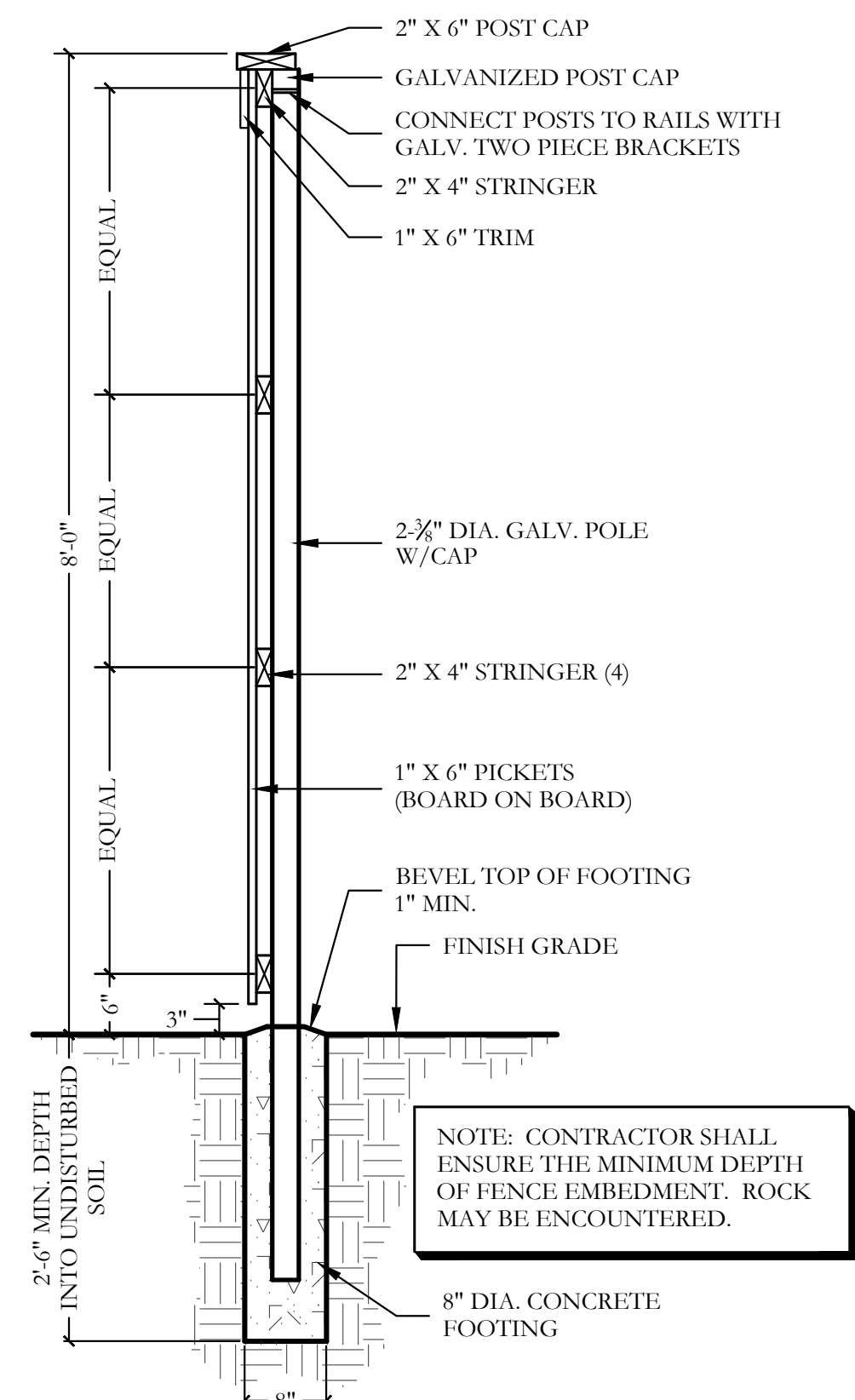
5 LOGO COLUMN ATOP OF RETAINING WALL
SECTION
SCALE: 3/4" = 1'-0"

2 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"

3 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"



1 PARTIAL 8'-0" HT. WOOD FENCE ELEVATION SCALE: 3/4"=1'-0"



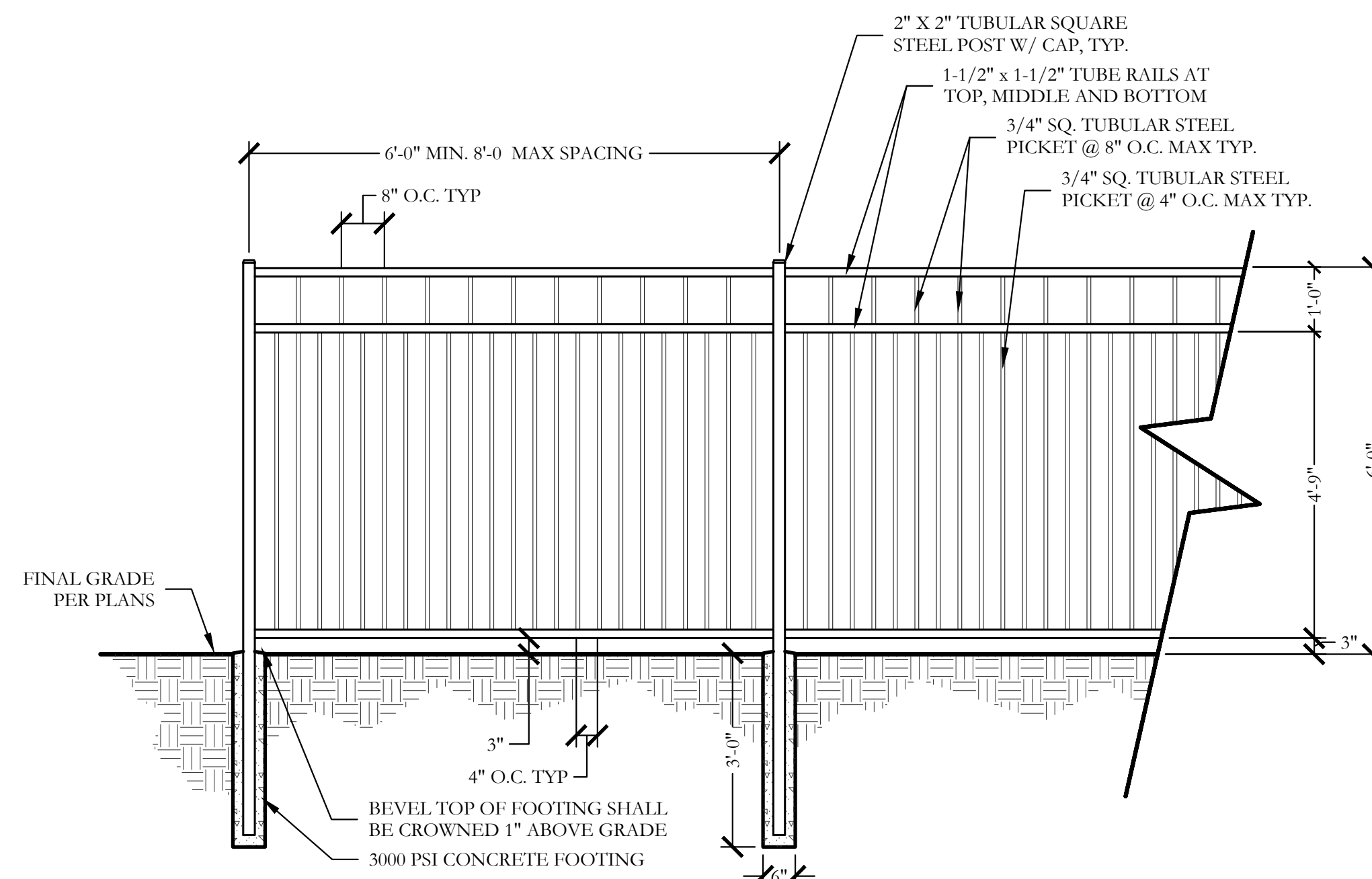
2 8'-0" HT. WOOD FENCE SECTION SCALE: 3/4"=1'-0"

WOOD FENCE NOTES

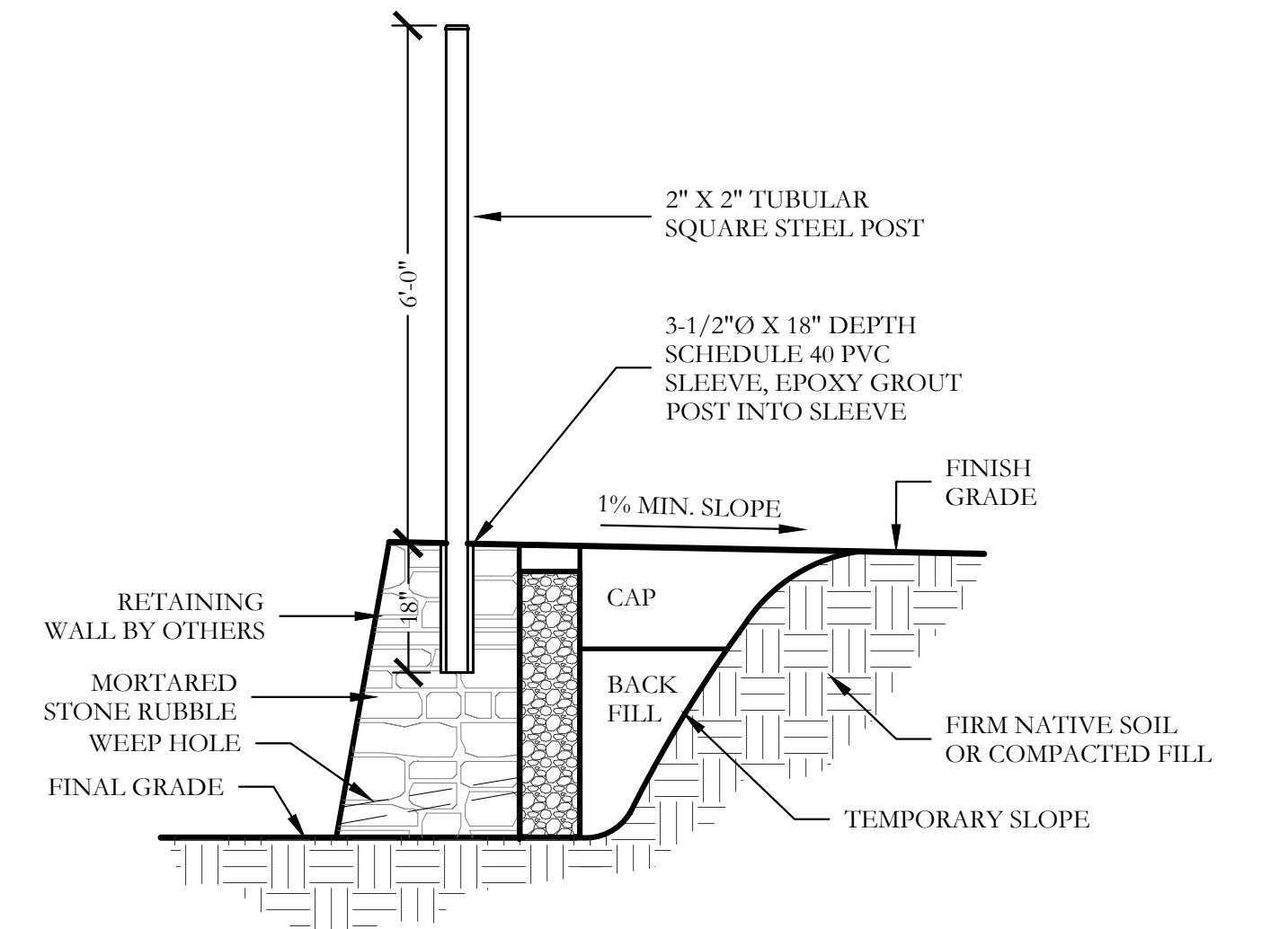
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES. VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
 - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER.
 - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER.
 - 4.3. CAPS- CEDAR, #2 GRADE OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL WOOD FENCE MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.
12. WHERE REQUIRED BY GRADE THE FENCE SHALL BE STEPPED IN INCREMENTS EQUAL TO THE FINISH DIMENSION OF THE TOP TRIM AND CAP.

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



3 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2"=1'-0"



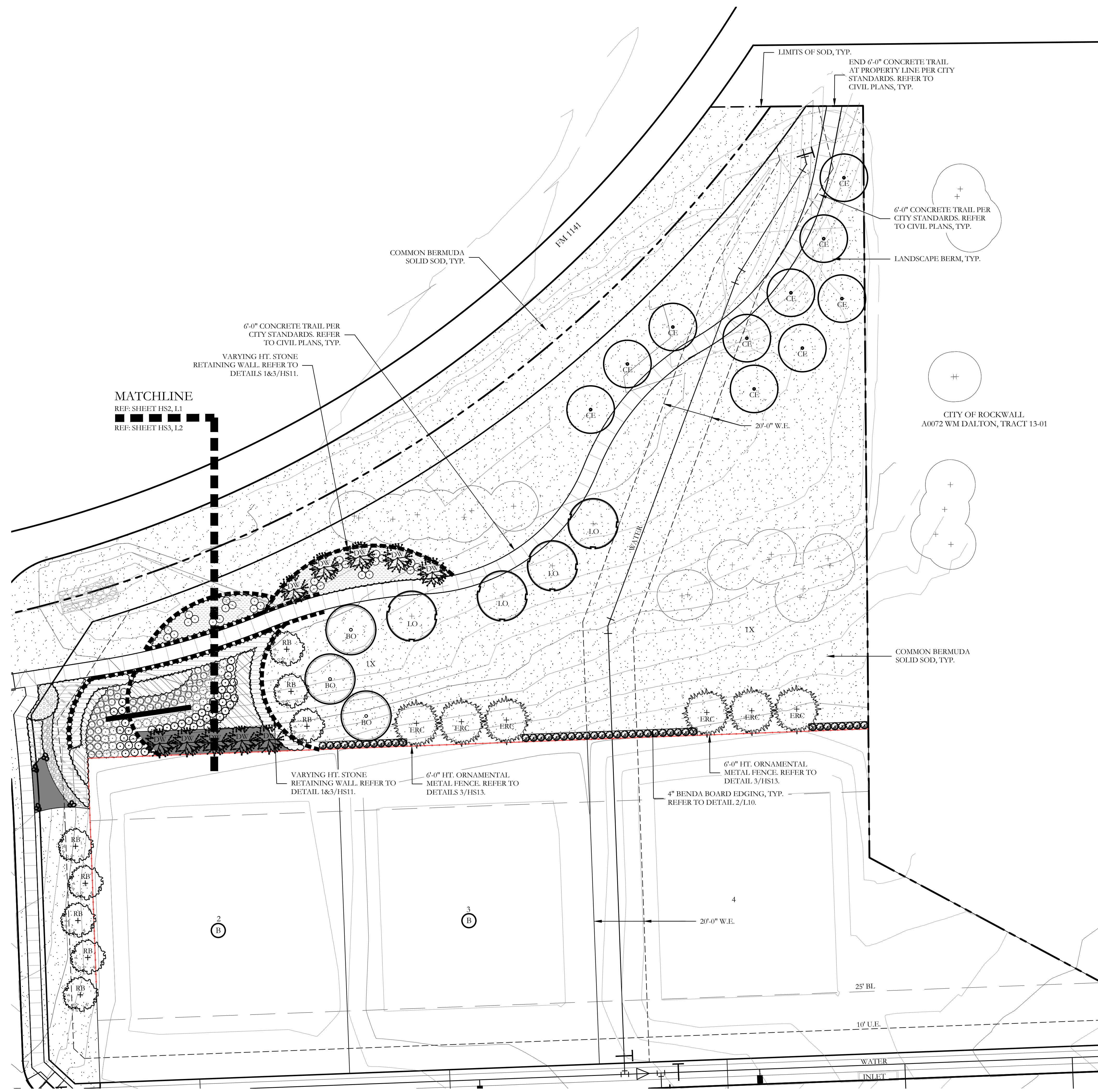
4 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2"=1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
1. ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 3. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 4. CHLORIDES SHALL NOT BE USED.
 5. MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 2. PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - 2.1. CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - 2.2. CONCRETE EXPOSED TO EARTH OR WEATHER:
 - 2.2.1. (A) BARS LARGER THAN NO. 5: 2 INCHES
 - 2.2.2. (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - 2.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - 2.3.1. SLABS, WALLS AND JOISTS
 - 2.3.1.1. (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
 - 2.3.3. SHELLS AND FOLDED PLATES
 - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 3. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
1. PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 2. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 3. STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED
 5. PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
1. CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 3/8" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 5. REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 6. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 7. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 8. LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 10. PLACE GROUT USING LOW-LIFT METHOD, 6-8" MAXIMUM LIFTS.

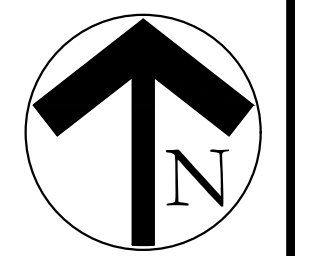
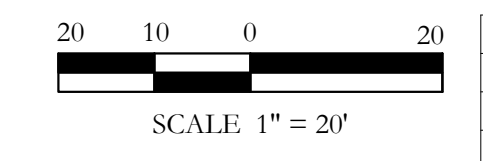
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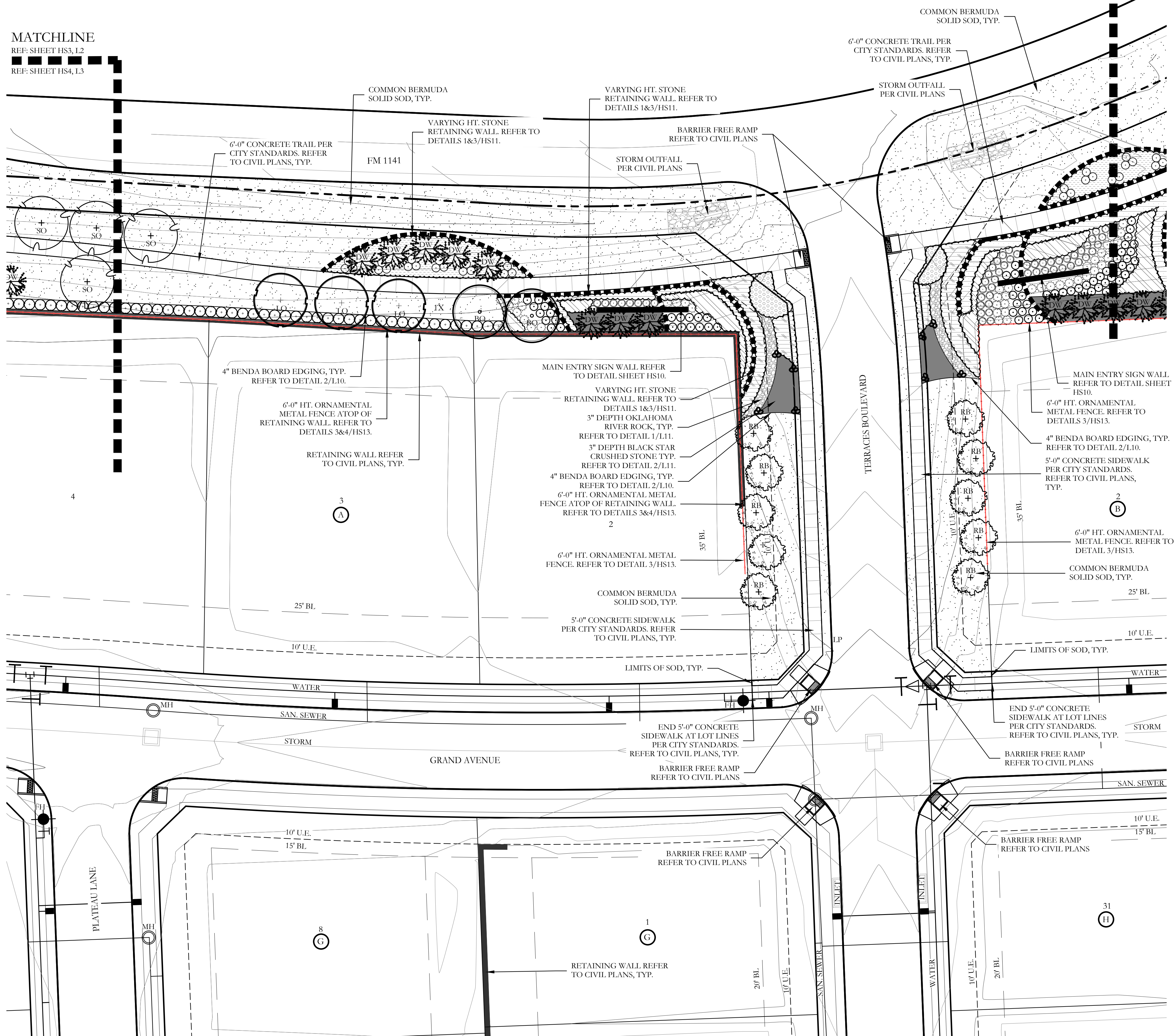
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
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		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
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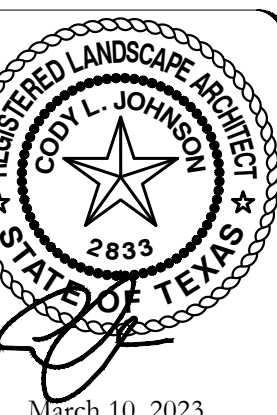
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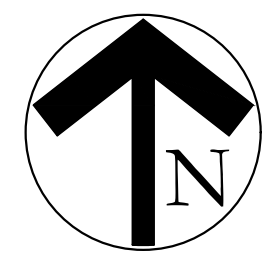
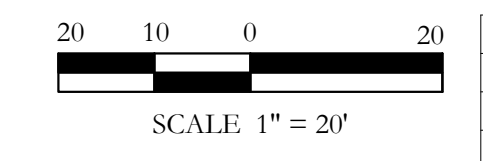


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	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
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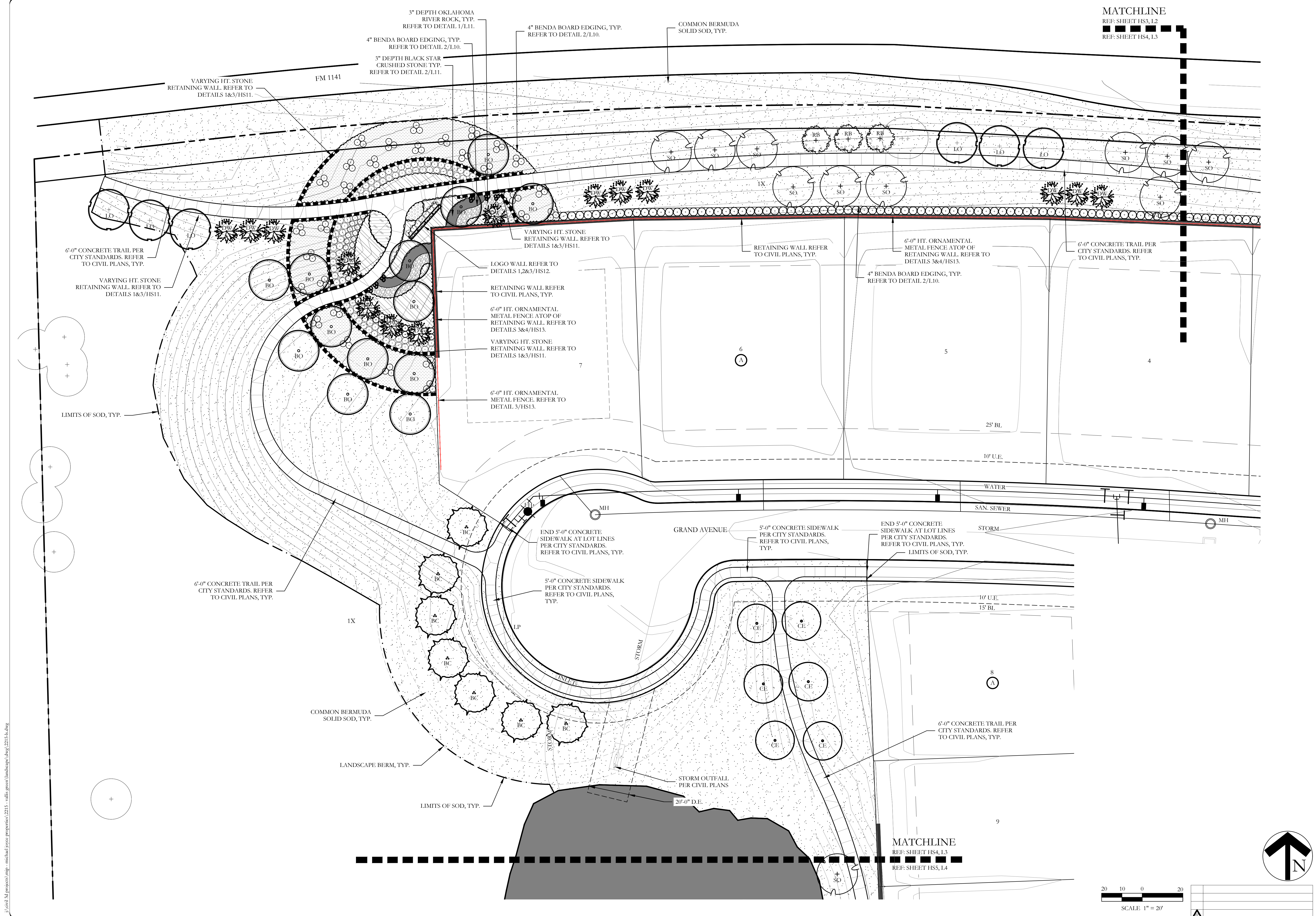


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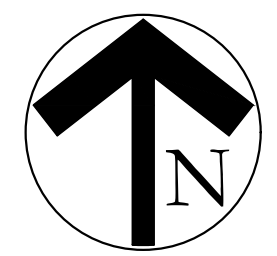
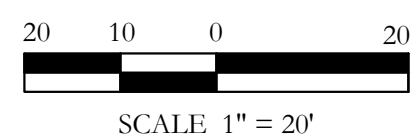
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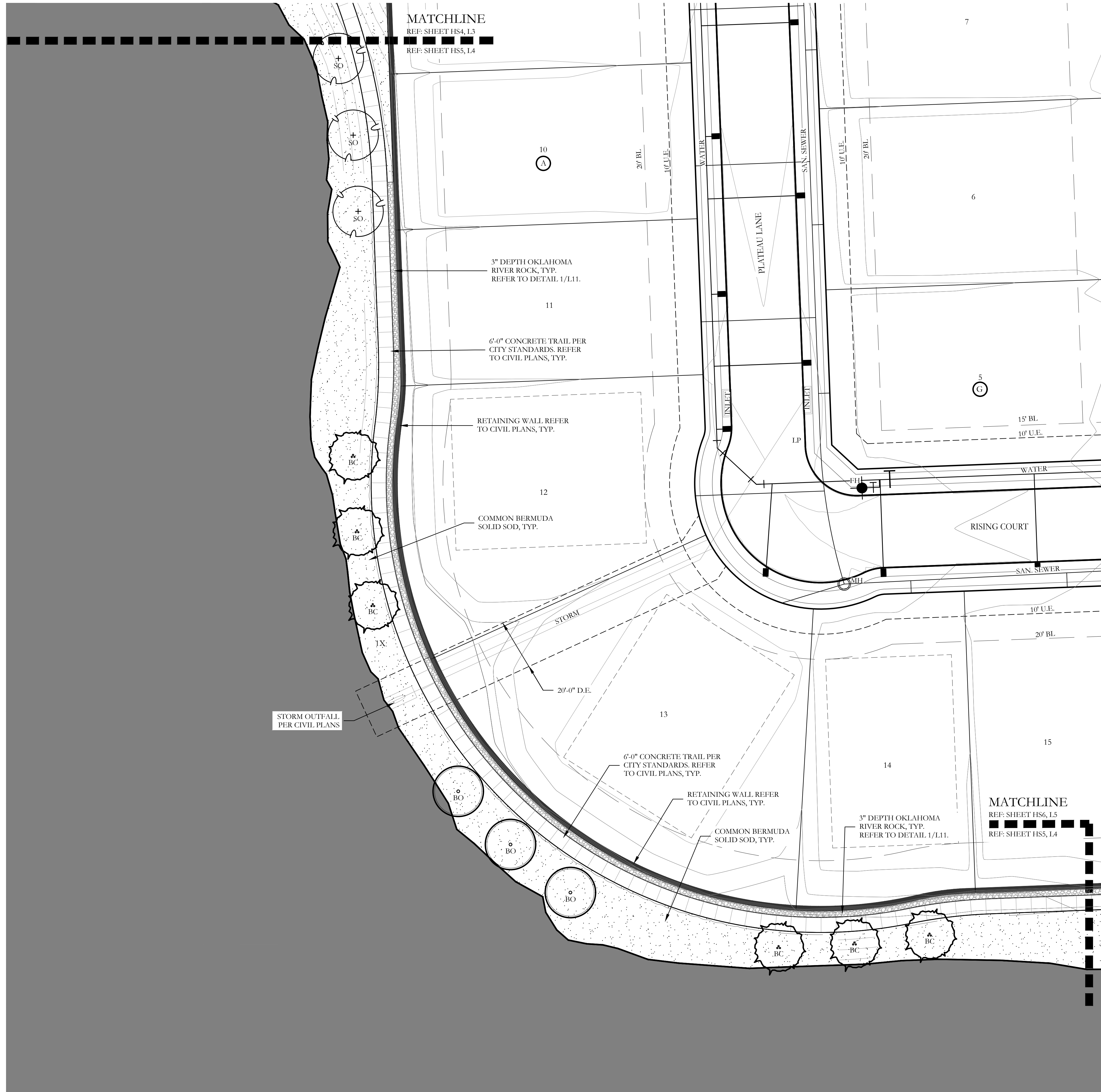


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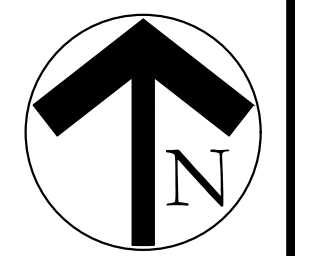
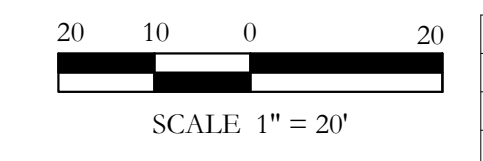
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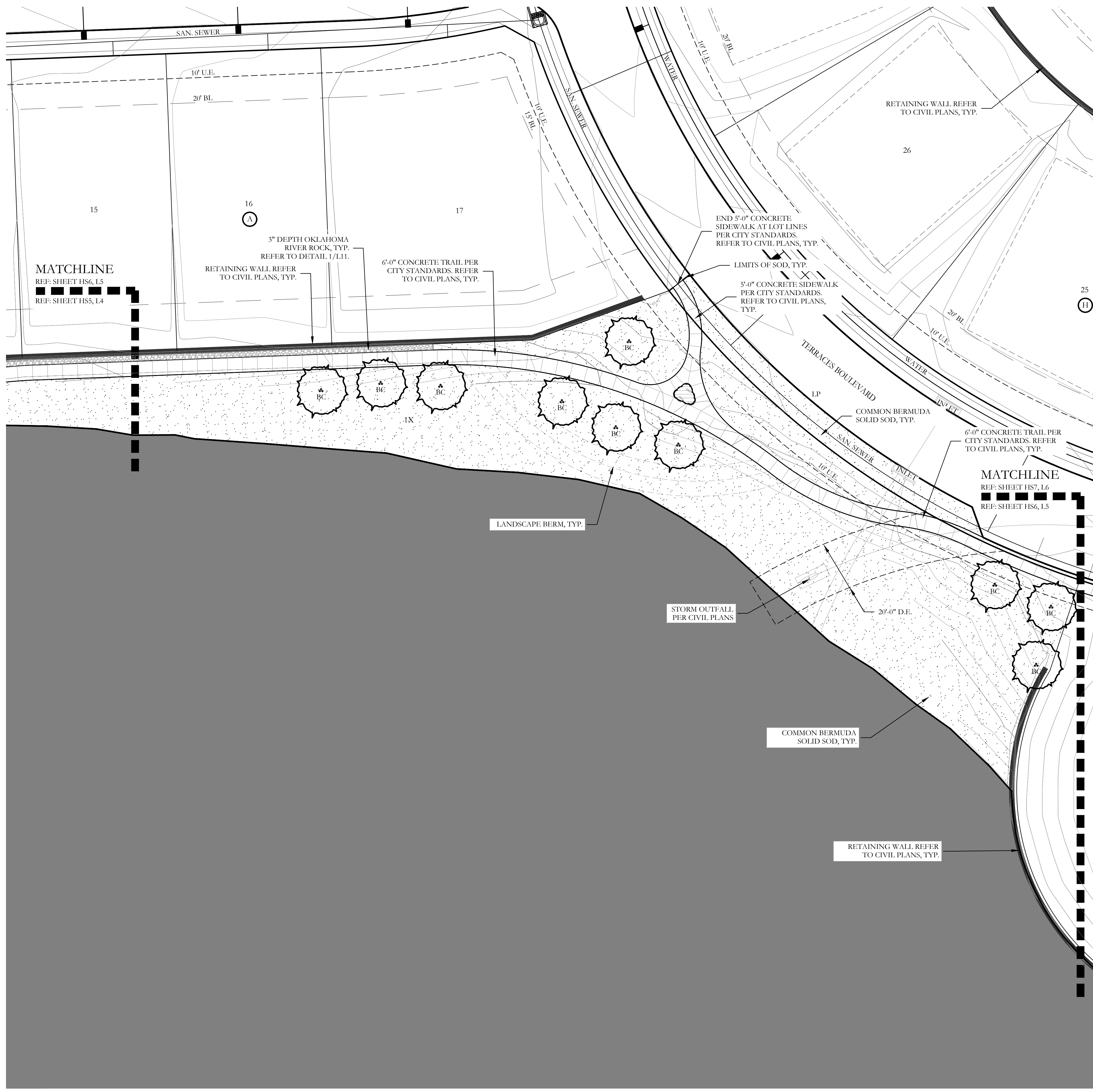


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March 10, 2023

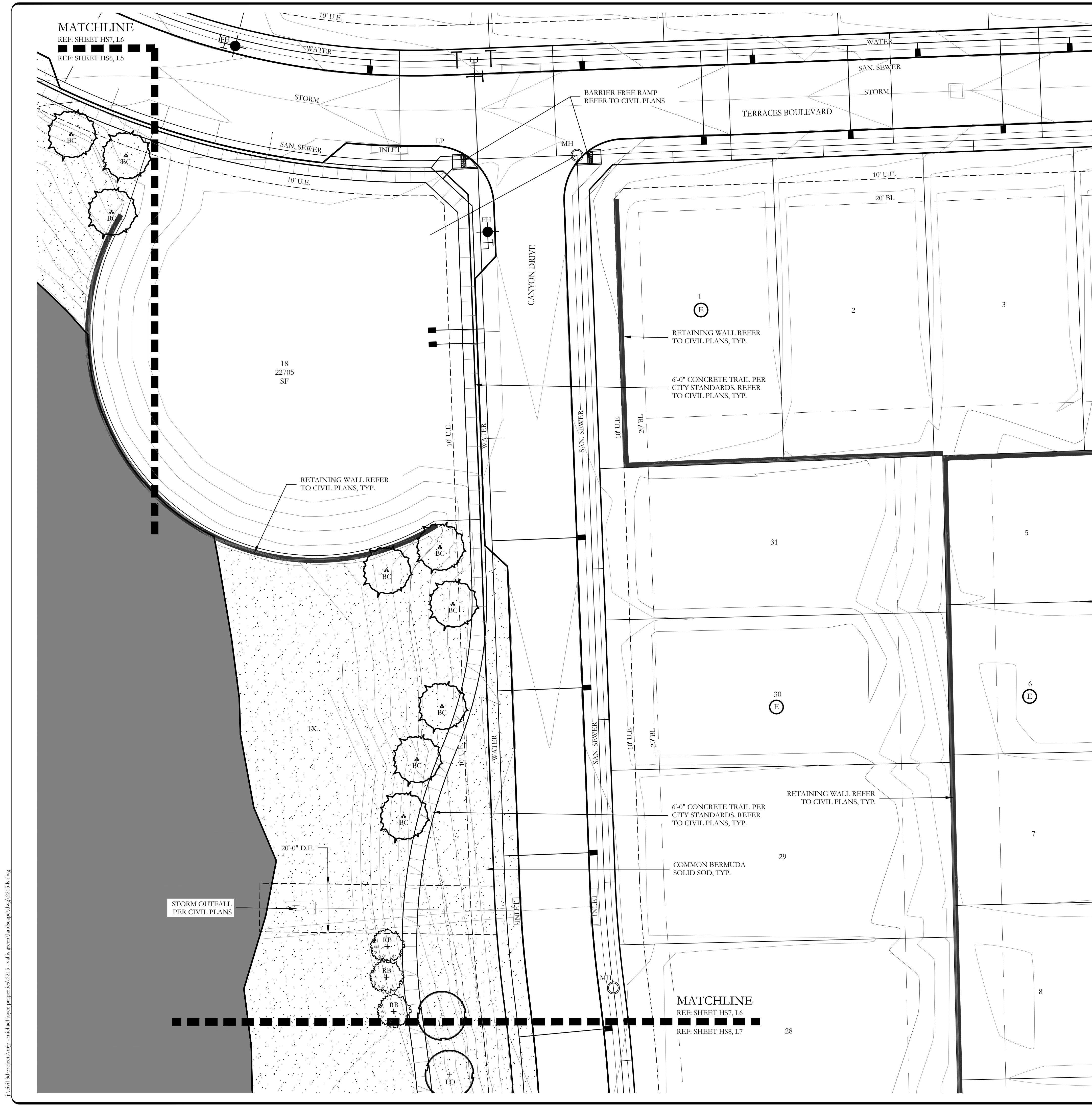
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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	



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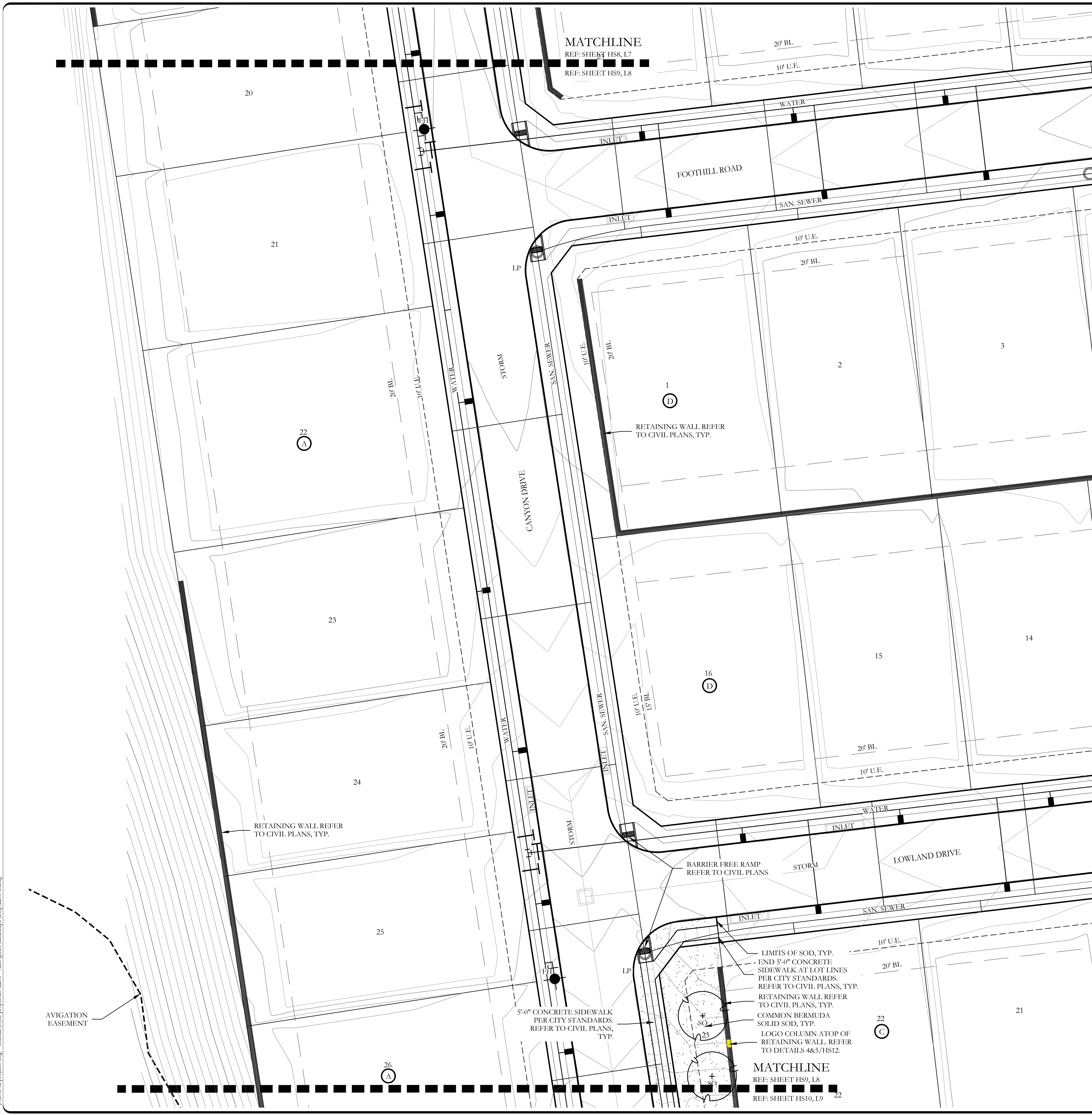


PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

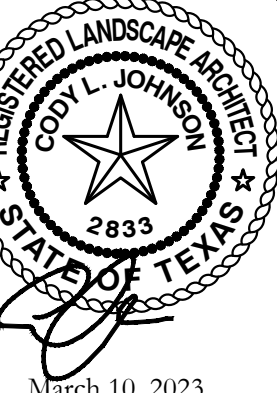


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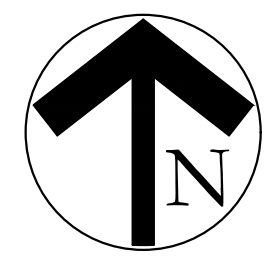
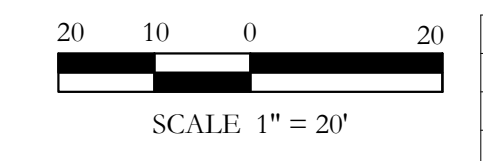


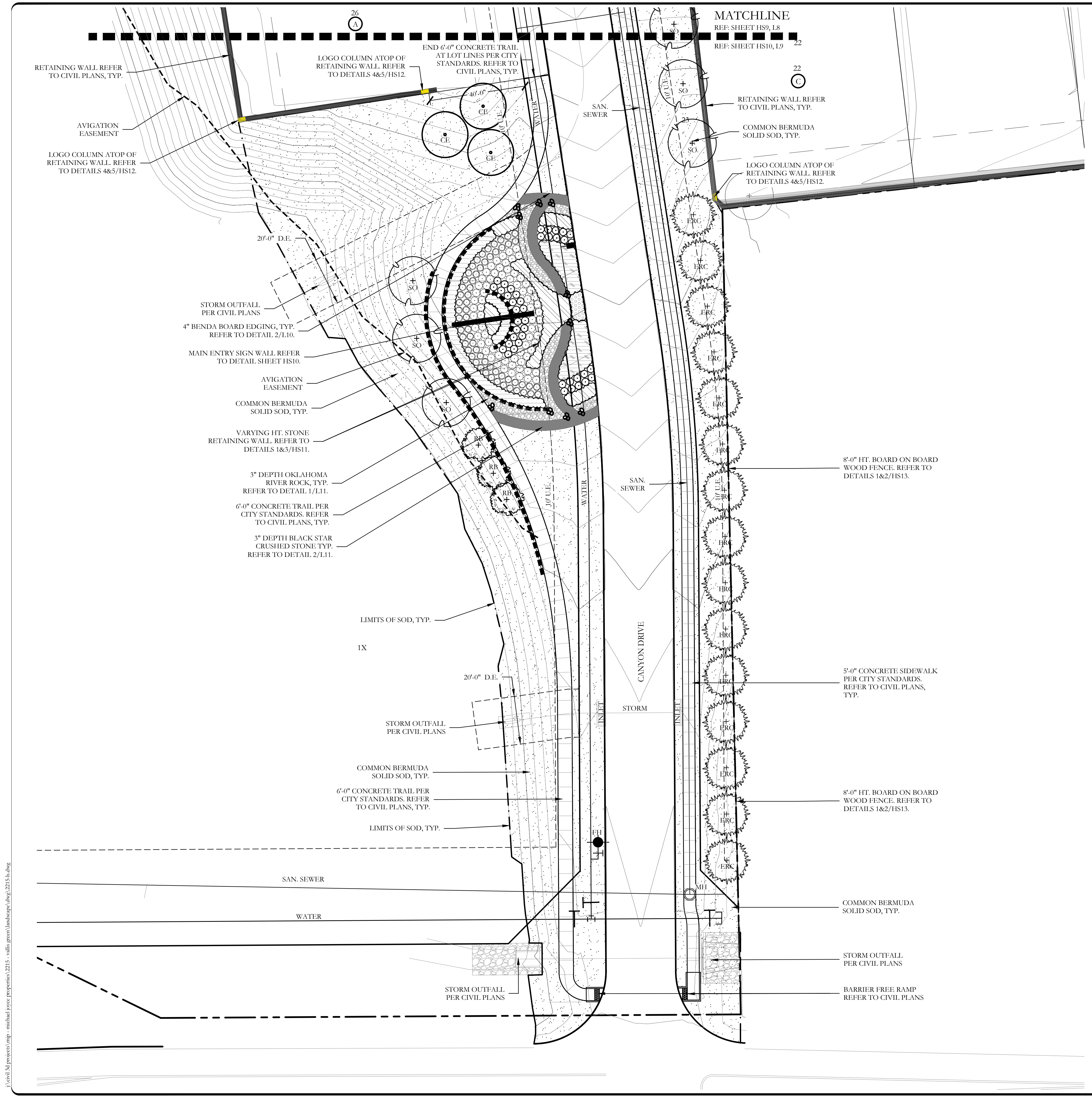
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	



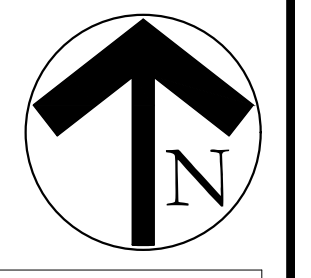
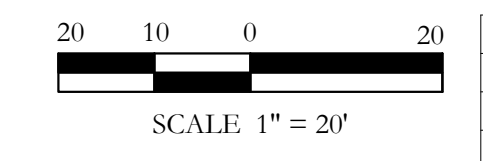
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 One Inch
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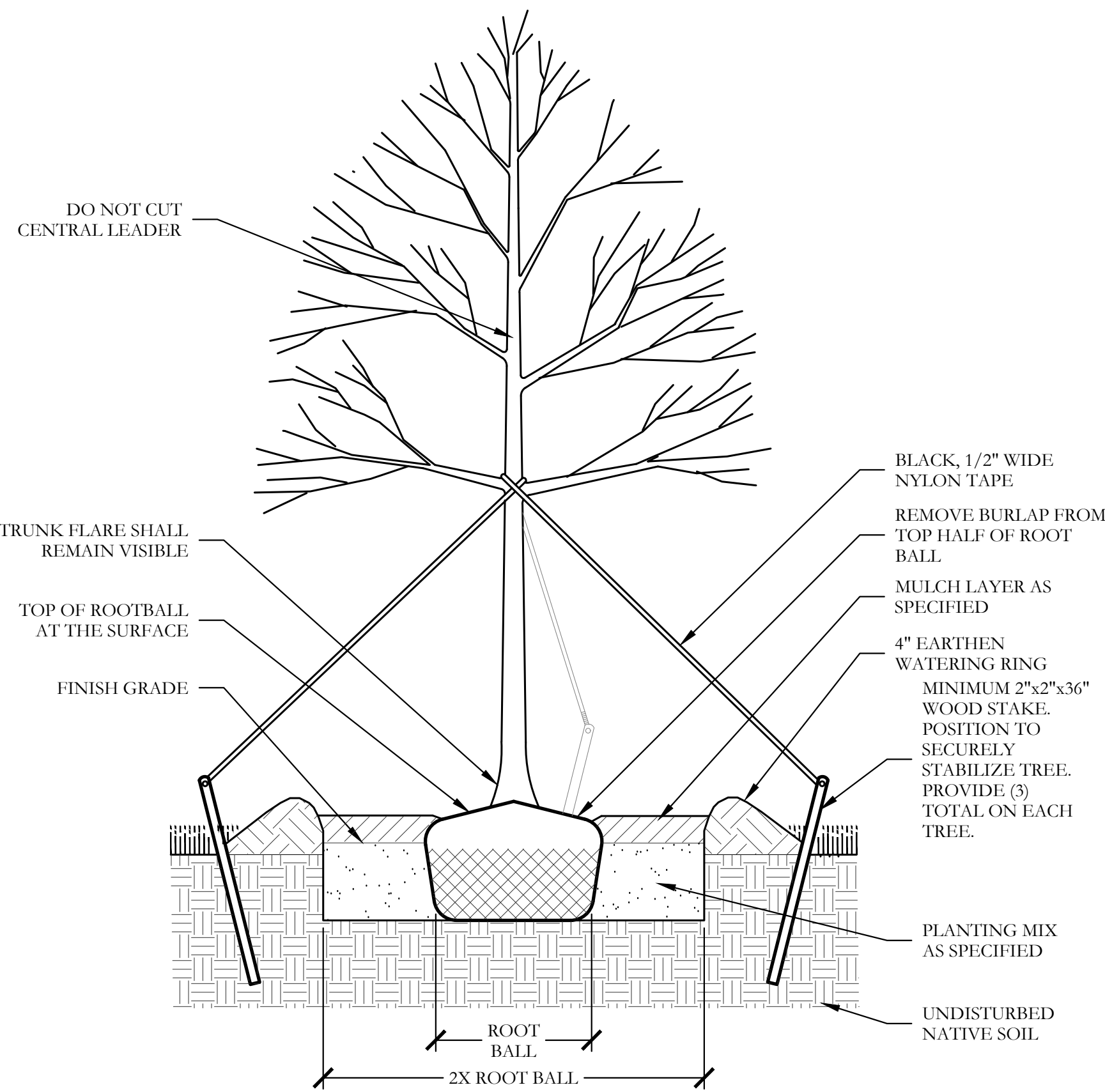




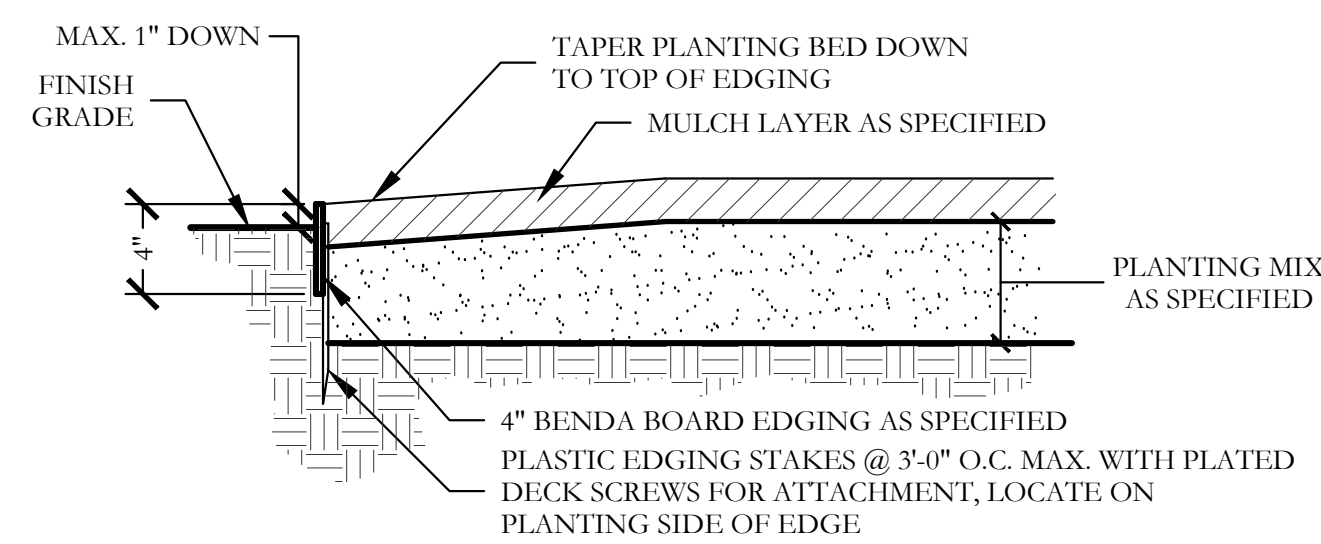
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

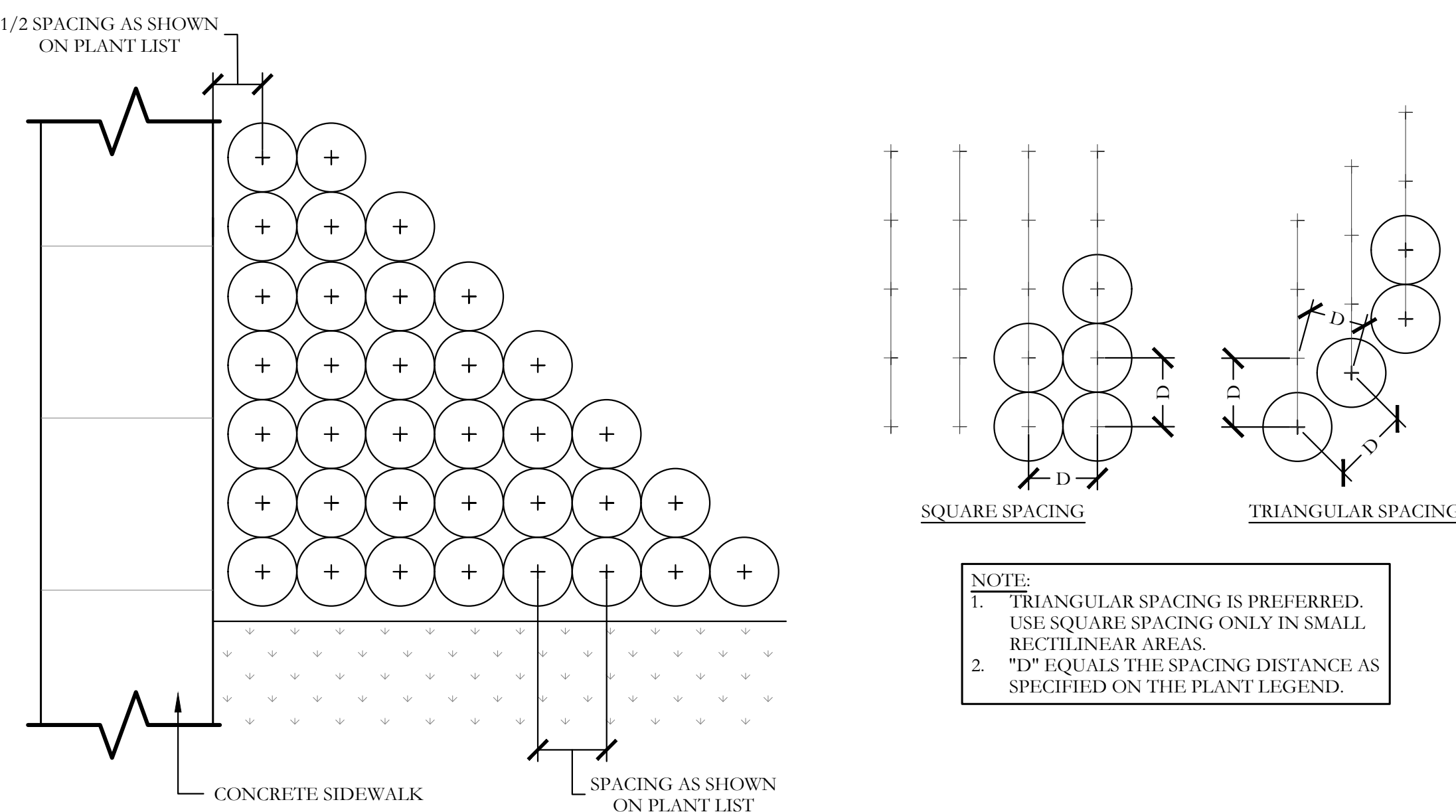




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	22	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	20	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	21	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	19	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	34	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
ERC	21	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	32	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	25	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	113	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	43	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	132	DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	214	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	133	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	135	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	660	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,380	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	3,320	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,820	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	1,005	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	242,700	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	2,045	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	2,755	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	5.5	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE. BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

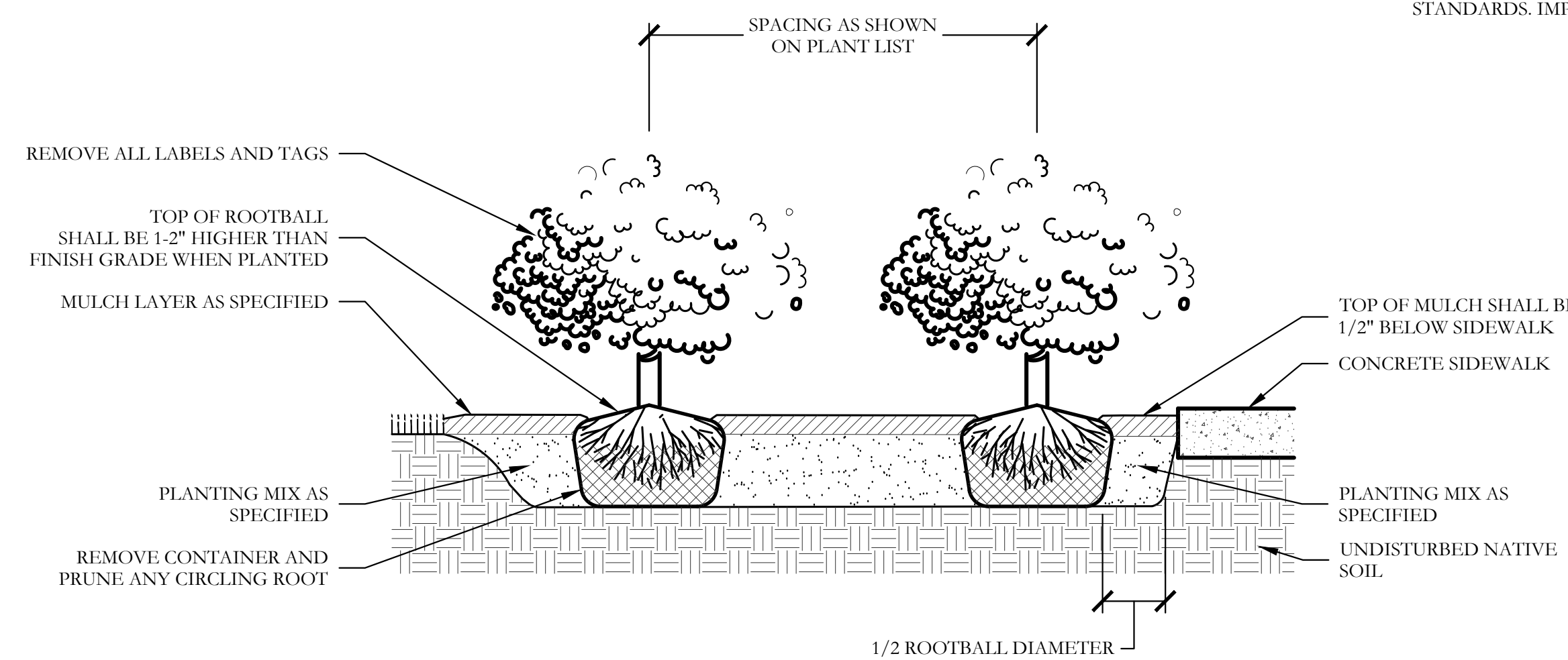
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

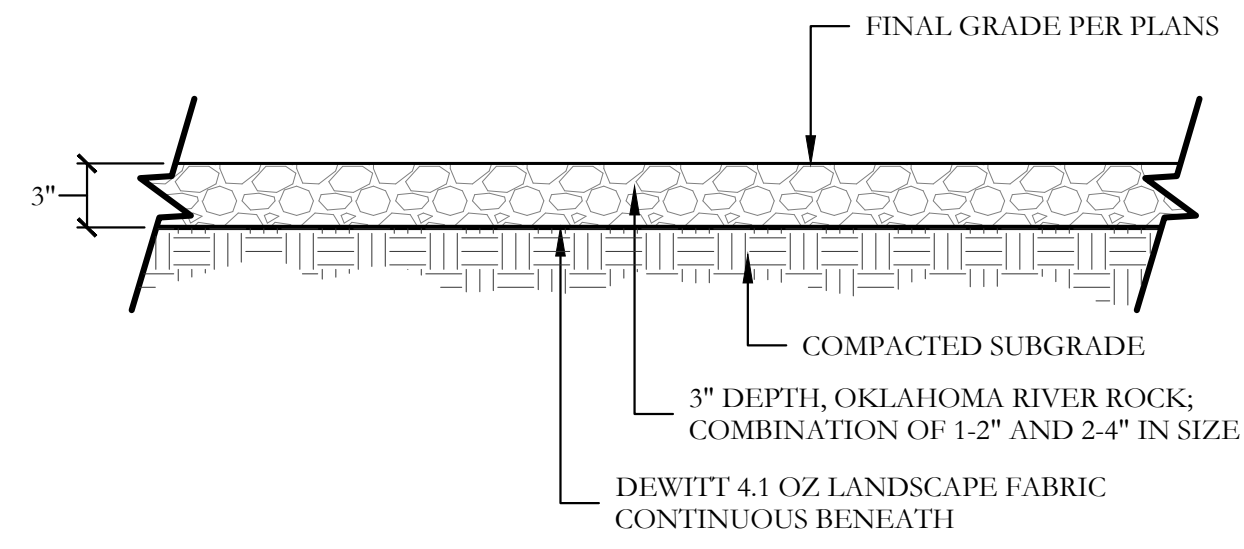
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

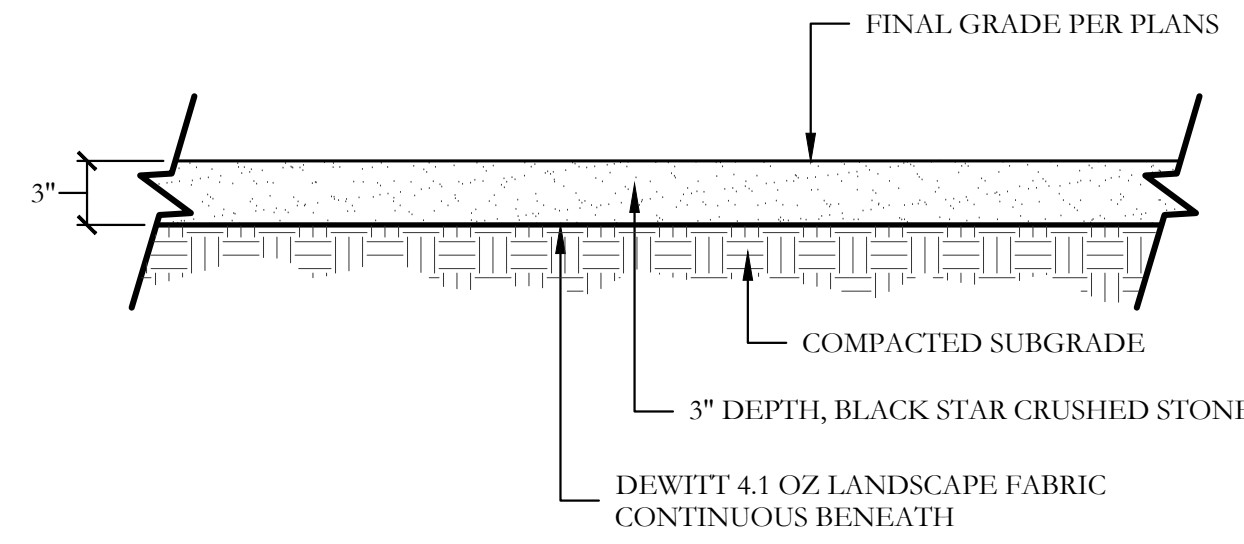
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



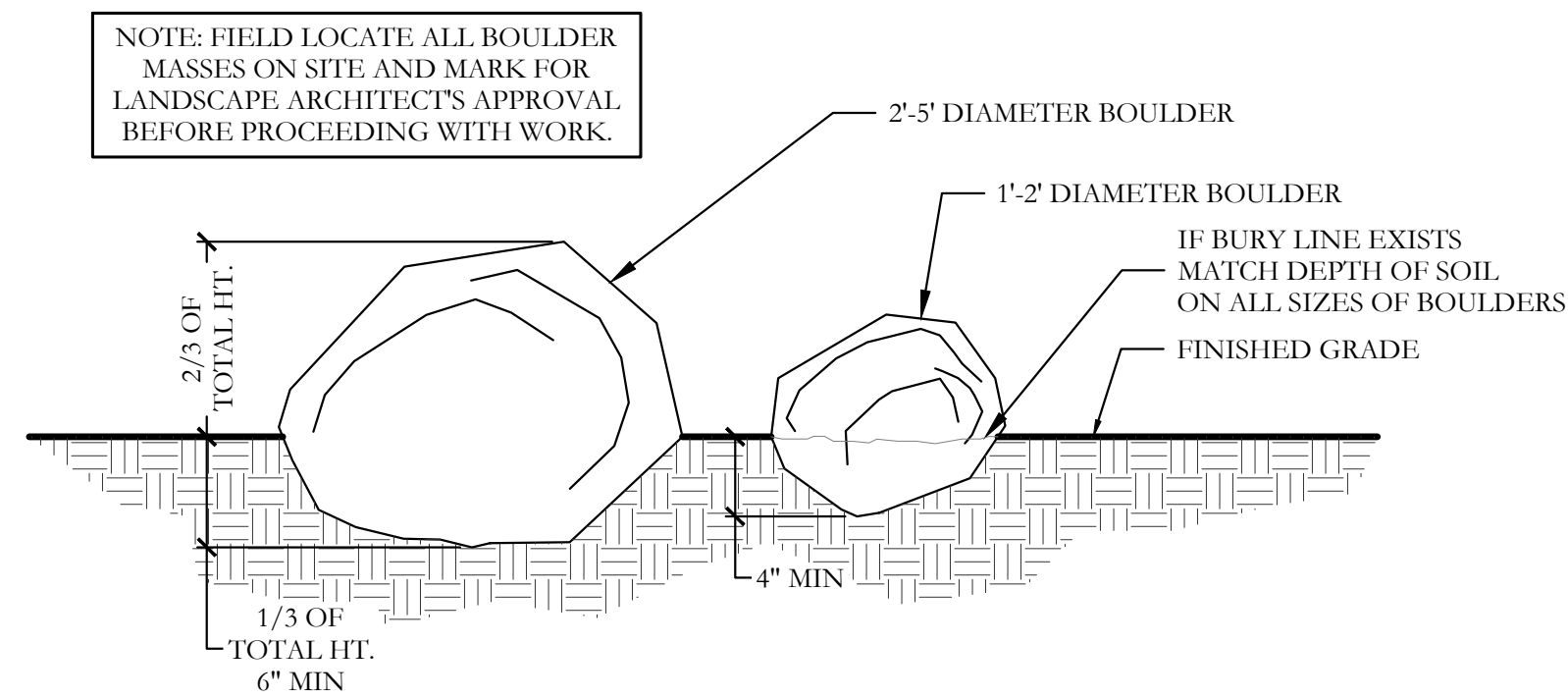
NOT TO SCALE



1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

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SCALE:
 REFER TO
 DETAILS
 One Inch
 JVC No 2215

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/24/2023

PROJECT NUMBER: SP2023-012
PROJECT NAME: PD Site Plan for Terraces
SITE ADDRESS/LOCATIONS: 1649 FM 1141

CASE CAPTION: Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Site Plan for the Terraces Subdivision consisting of 181 single-family residential lots on a 94.144-acre tract of land being identified as a portion of Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/24/2023	Approved w/ Comments

03/24/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the Terraces Subdivision consisting of 181 single-family residential lots on a 94.144-acre tract of land being identified as a portion of Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 93 (PD-93).

I.5 Please consider a uniform font for the proposed signage.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.7 Site Plan:

- (1) Please delineate the RPZ on the site plan. (PD-93; Ordinance No. 22-47)
- (2) Per the PD Concept Plan the trail should have a loop behind Lots 19-21, Block A. (PD-93; Ordinance No. 22-47)
- (3) The final plat that was submitted concurrently with the site plan has changes that need to be made to numerous lots. These changes should be carried onto the site plans. (PD-93; Ordinance No. 22-47)

M.8 Landscape Plan:

- (1) Please include approved tree mitigation plan; if there have been changes it must be updated for review with the site plan. (PD-93; Ordinance No. 22-47)
- (2) All canopy trees shall be 4-inch caliper, all accent trees shall be a minimum of 4-feet tall, and all shrubs shall be a minimum of 5-gallon. (PD-93; Ordinance No. 22-47)
- (3) Please delineate all landscape buffers. The landscape buffer along FM-1141 shall be 30-feet, SH-66 shall be 30-feet, and there shall be a 10-foot buffer along streets that have frontage along open space. The landscape buffer plantings shall be within the buffer or close to it depending on utilities and grading. (PD-93; Ordinance No. 22-47)
- (4) There shall be 37 canopy and 50 accent trees in the landscape buffer along FM-1141. There shall be 8 canopy and 10 accent trees in the landscape buffer along SH-66. There shall be 1 canopy and 1 accent tree per 50-linear feet within the street adjacent landscape buffer. (PD-93; Ordinance No. 22-47)
- (5) Provide a note that each residential lot shall have 2 4-inch caliper canopy trees. (PD-93; Ordinance No. 22-47)

M.9 Hardscape Plan:

- (1) On the Overall Site Sheet, grey out and delineate phase 2. (PD-93; Ordinance No. 22-47)
- (2) Please provide details on the materials proposed for the signage. (PD-93; Ordinance No. 22-47)
- (3) Please provide a detail of a fence stone column. (PD-93; Ordinance No. 22-47)
- (4) Please provide an Overall Site fence type exhibit and remove from individual pages. Use the Overall Site Sheet and color code each residential lot rear and side property lines. (PD-93; Ordinance No. 22-47)
- (5) Please indicate the mounting height for the light fixtures as they shall not exceed 20-feet in height. (PD-93; Ordinance No. 22-47)
- (6) Please provide a Park plan for the proposed park. (PD-93; Ordinance No. 22-47)

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on April 4, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 4, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 11, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on March 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on April 11, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Henry Lee	03/24/2023	Needs Review
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/24/2023	Approved

03/24/2023: note fenceing will be difficult

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/20/2023	Approved w/ Comments

03/20/2023: Please submit cad file (.dwg) of lot lines and road centerlines to lsingleton@rockwall.com so addressing can begin.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/20/2023	Approved

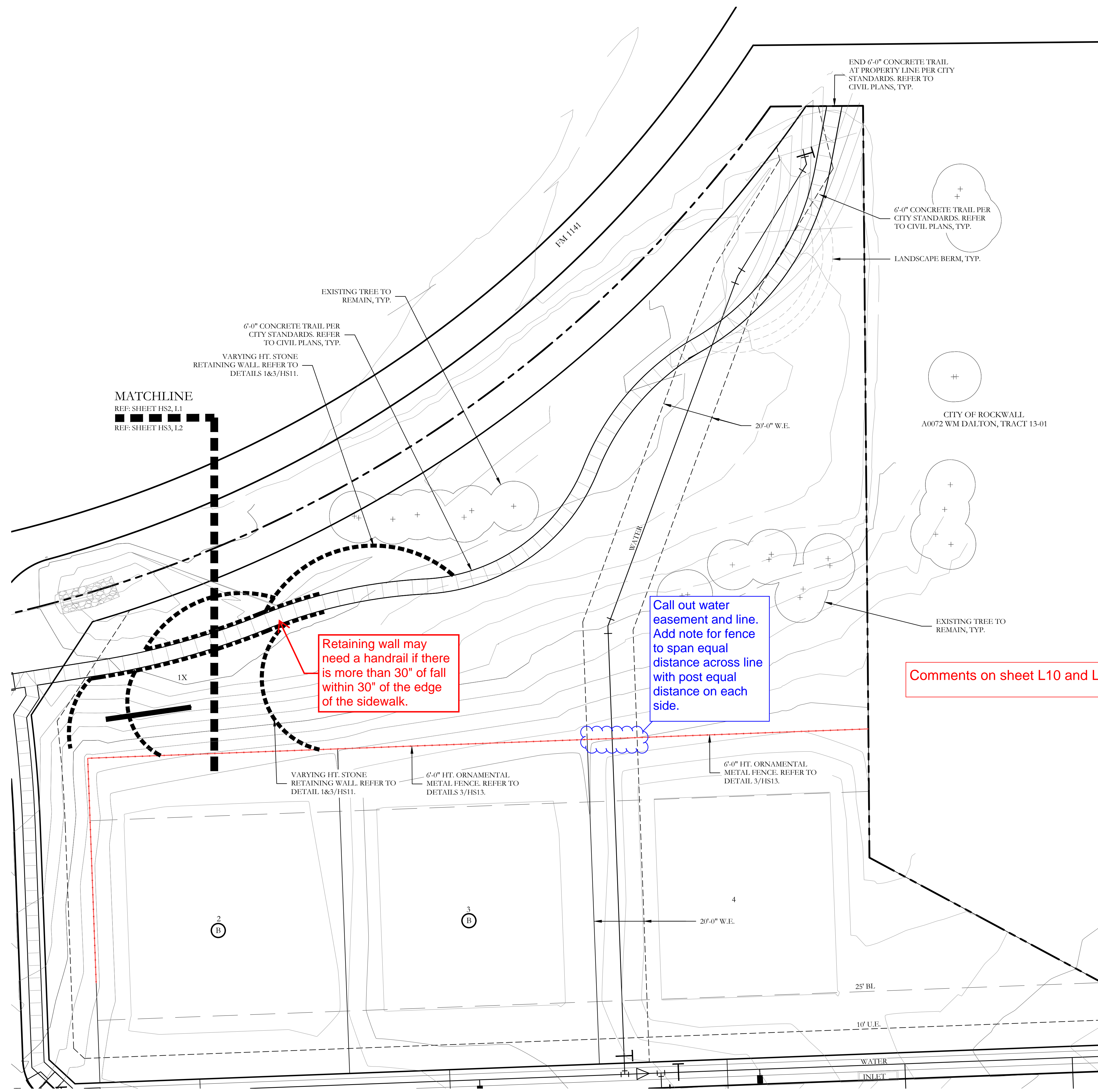
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/20/2023	Approved

03/20/2023: Landscape Plan: All canopy trees shall be 4" minimum

Should plan be submitted for the city park along Cornelius or noted on the plans about the City Park development with this development .

F:\proj\3d_projects\imp - michael jones\properties\2215 - walls green landscape\dwg\2215-hs.dwg



MATCHLINE
REF: SHEET HS2, L1
REF: SHEET HS3, L2

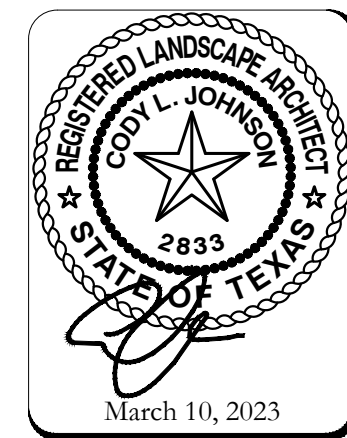
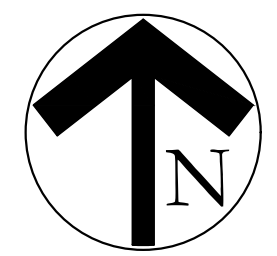
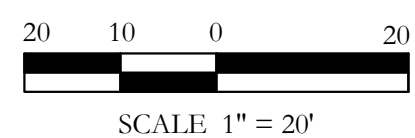
Retaining wall may need a handrail if there is more than 30" of fall within 30" of the edge of the sidewalk.

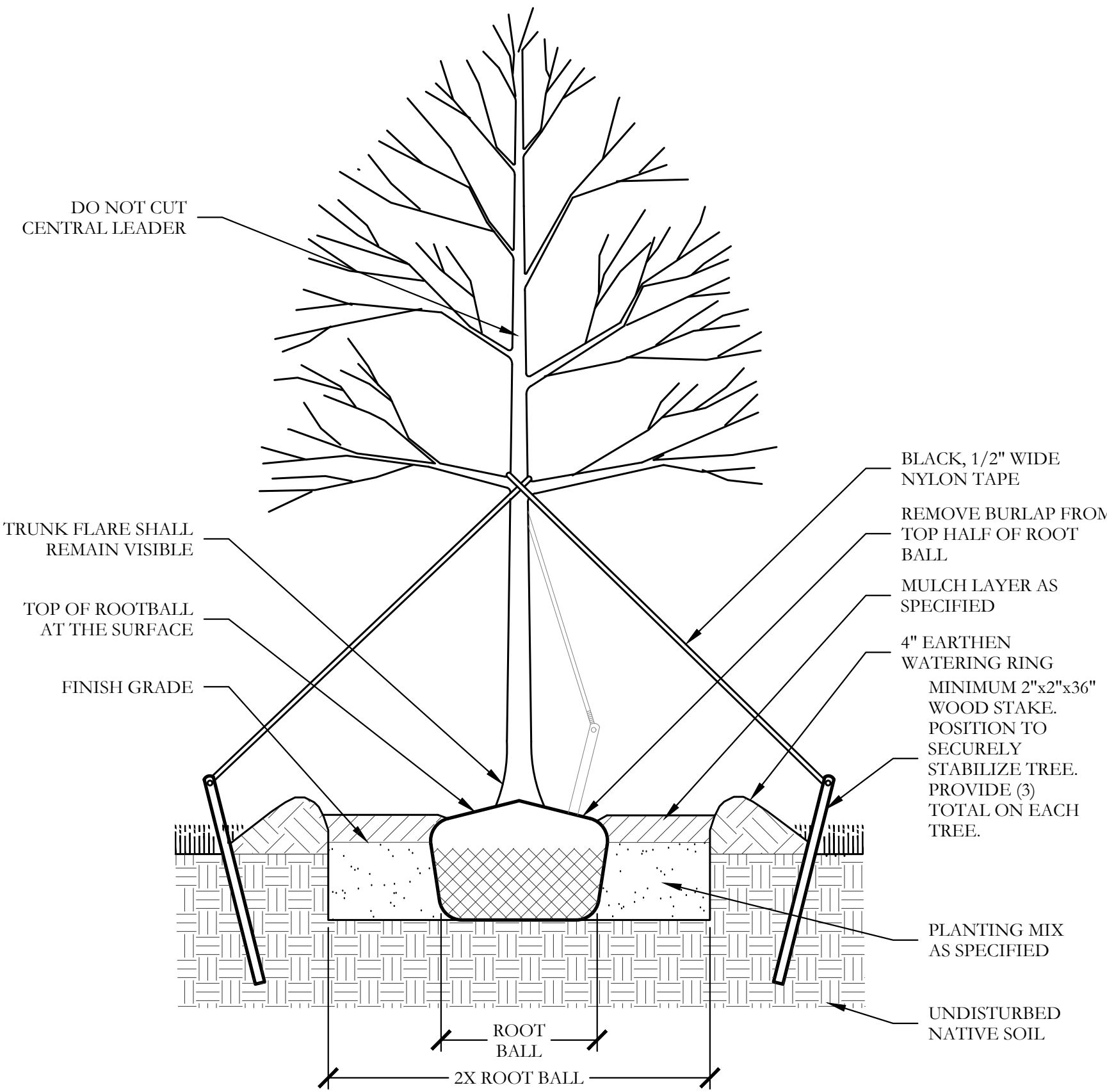
Call out water easement and line. Add note for fence to span equal distance across line with post equal distance on each side.

Comments on sheet L10 and L11

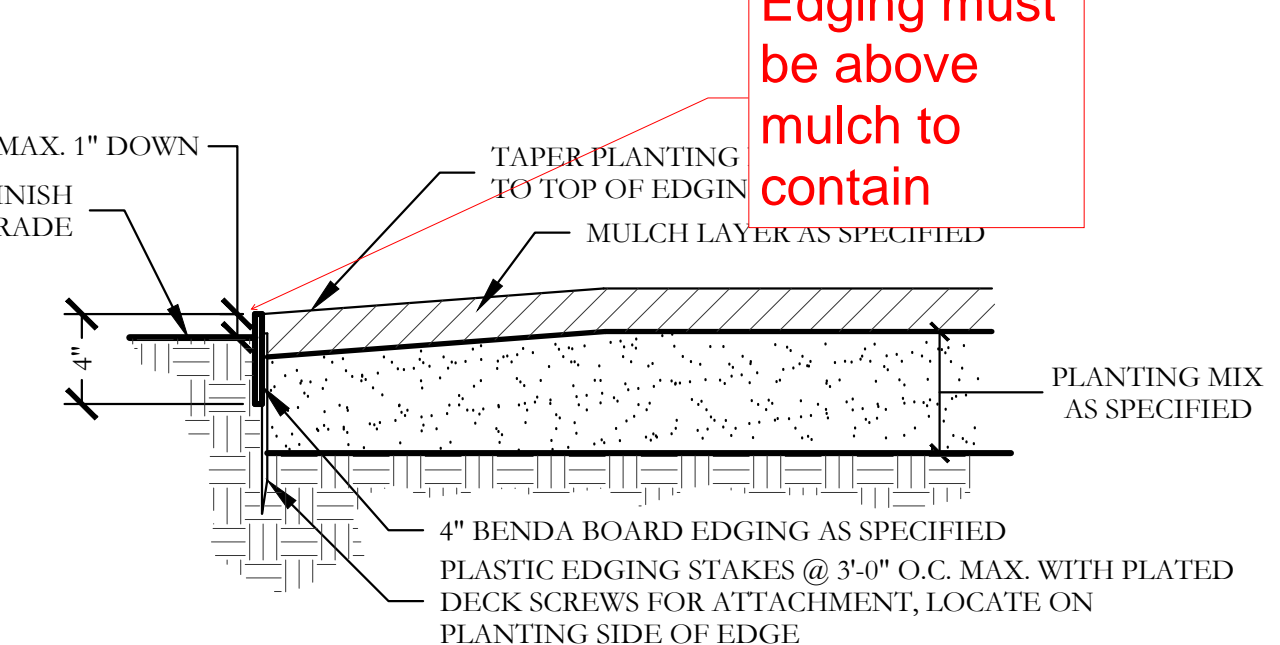
HARDSCAPE LEGEND	
	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
	8'-6" HT. STONE LOGO COLUMN ATOP OF RETAINING WALL. REFER TO DETAILS 4&5/HS12.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAIL 1&2/HS13.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 3/HS11.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 3&4/HS13.
	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.

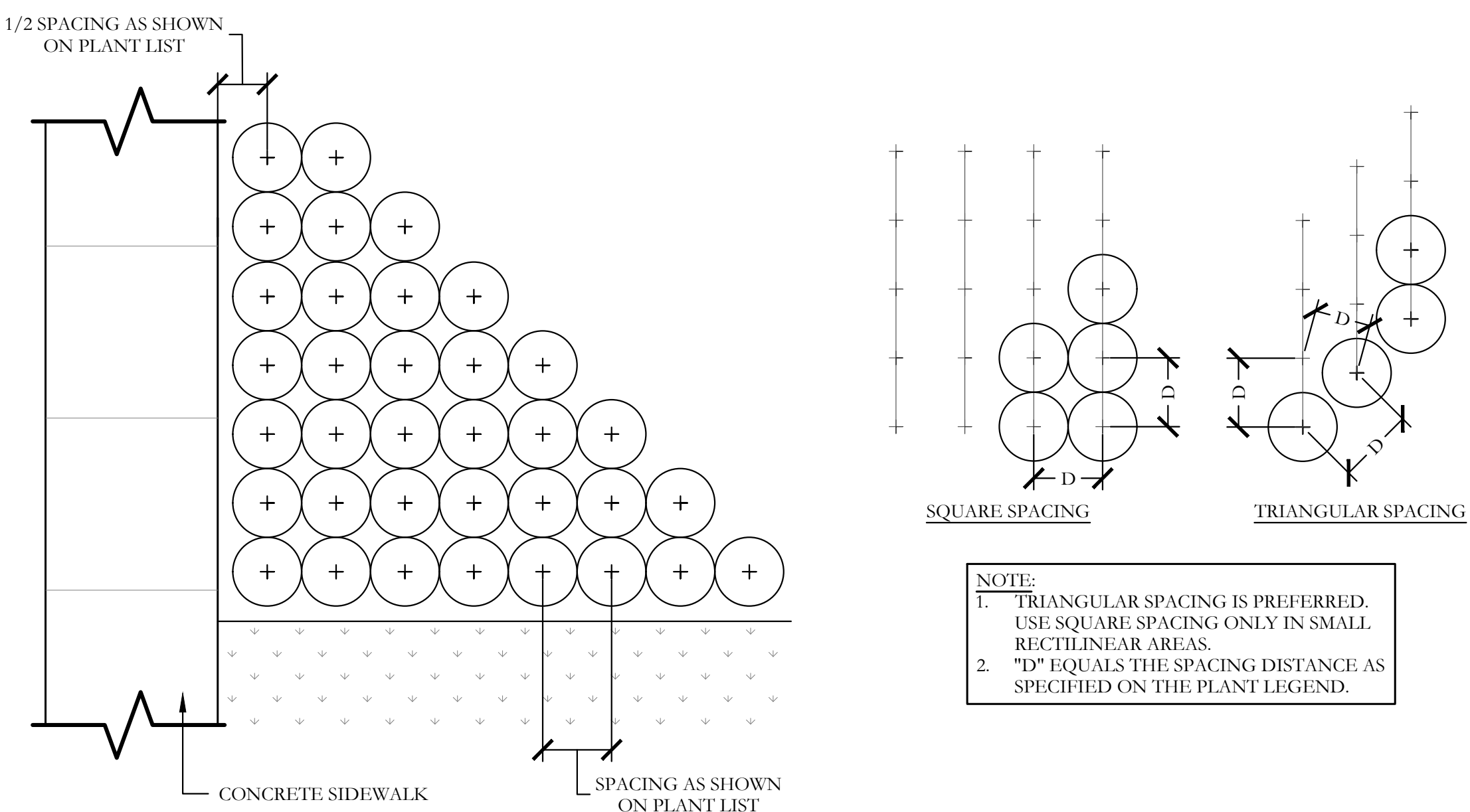




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	22	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	20	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	21	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	19	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	34	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
ERC	21	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	32	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	25	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	113	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	43	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	132	DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	214	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	133	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	135	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	660	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,380	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	3,320	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,820	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	1,005	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	242,700	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	2,045	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 3/4" - 1" DIAMETER IN SIZE.
	2,755	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	5.5	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE. BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

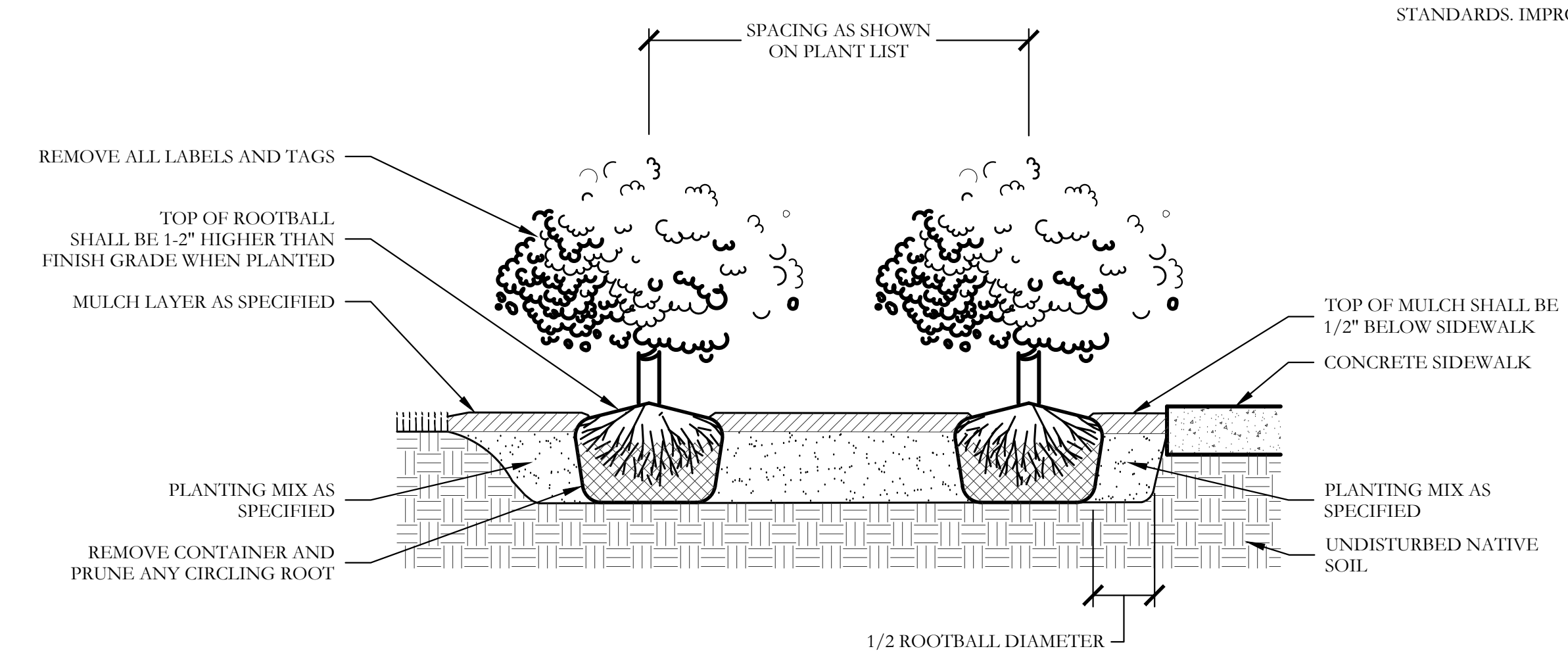
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

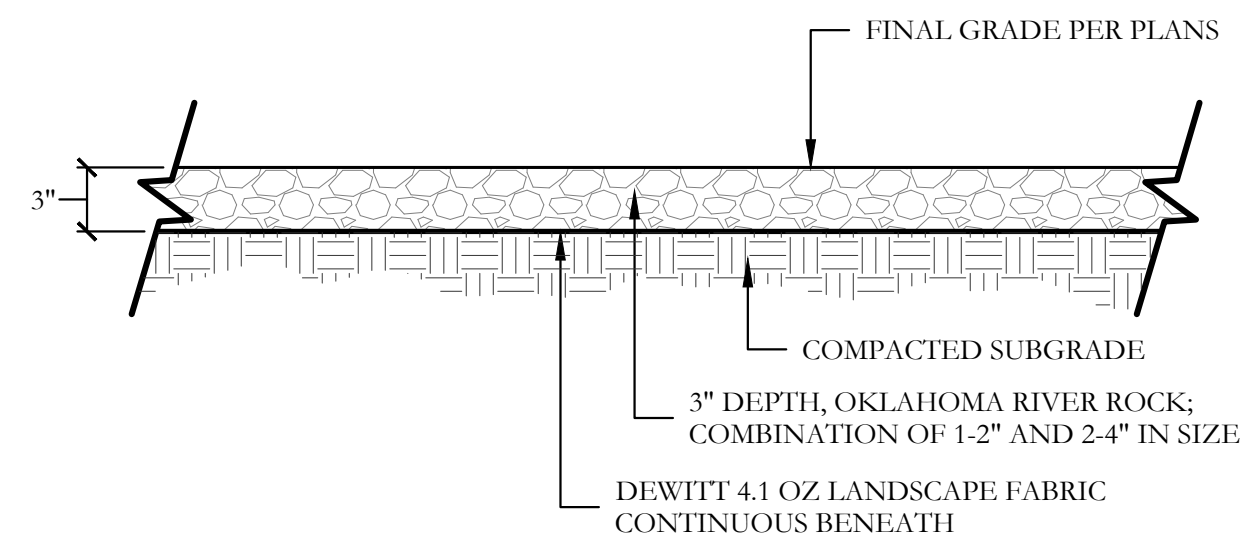
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

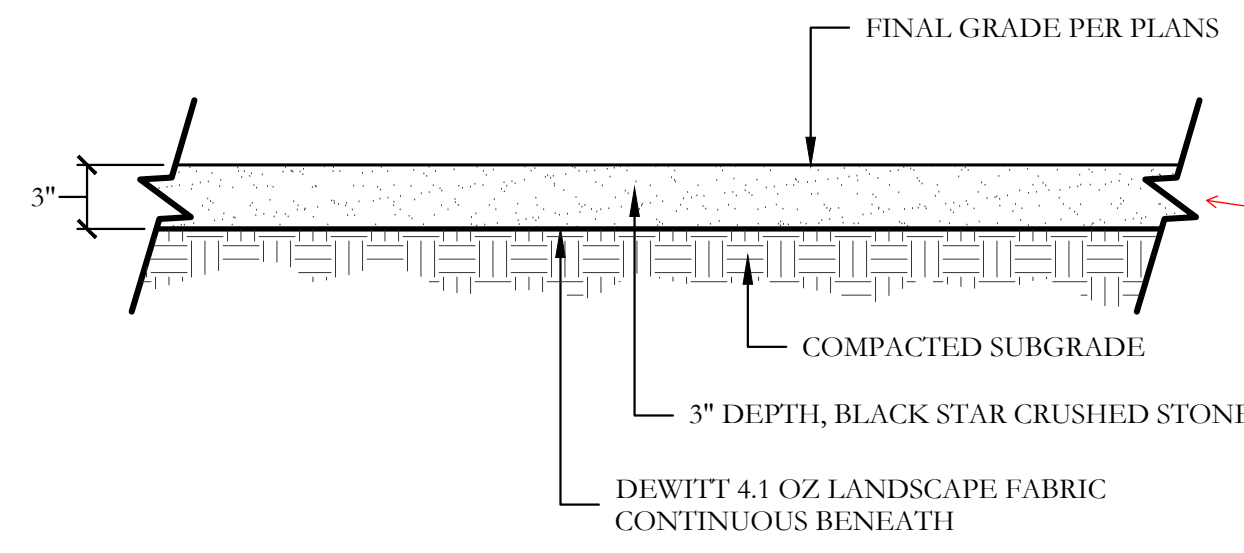
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



NOT TO SCALE

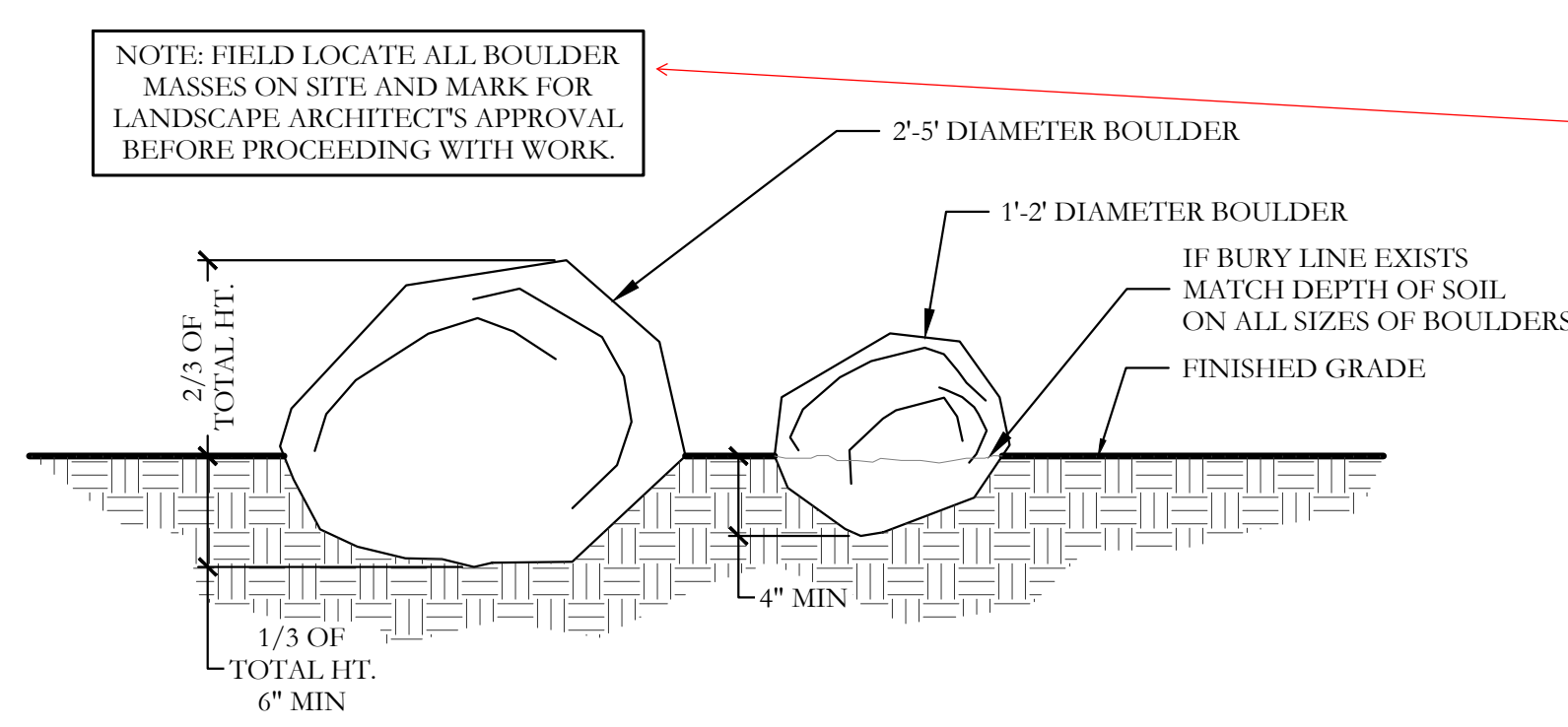


1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"

Need to show how crushed stone will be contained within it's footprint



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

No boulders in utility or drainage easements



March 10, 2023

SCALE:
 REFER TO
 DETAILS
 One Inch
 JVC No 2215



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING CASE NO. SP2023-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 FM 1141, Rockwall, 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-93

CURRENT USE Planned Development PD-93

PROPOSED ZONING

PROPOSED USE

ACREAGE 94.144

LOTS [CURRENT] 181

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

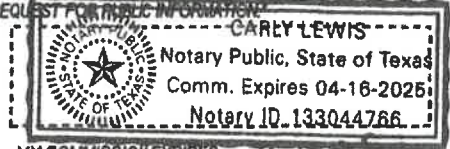
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bret Pedigo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2132.87 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF MARCH 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

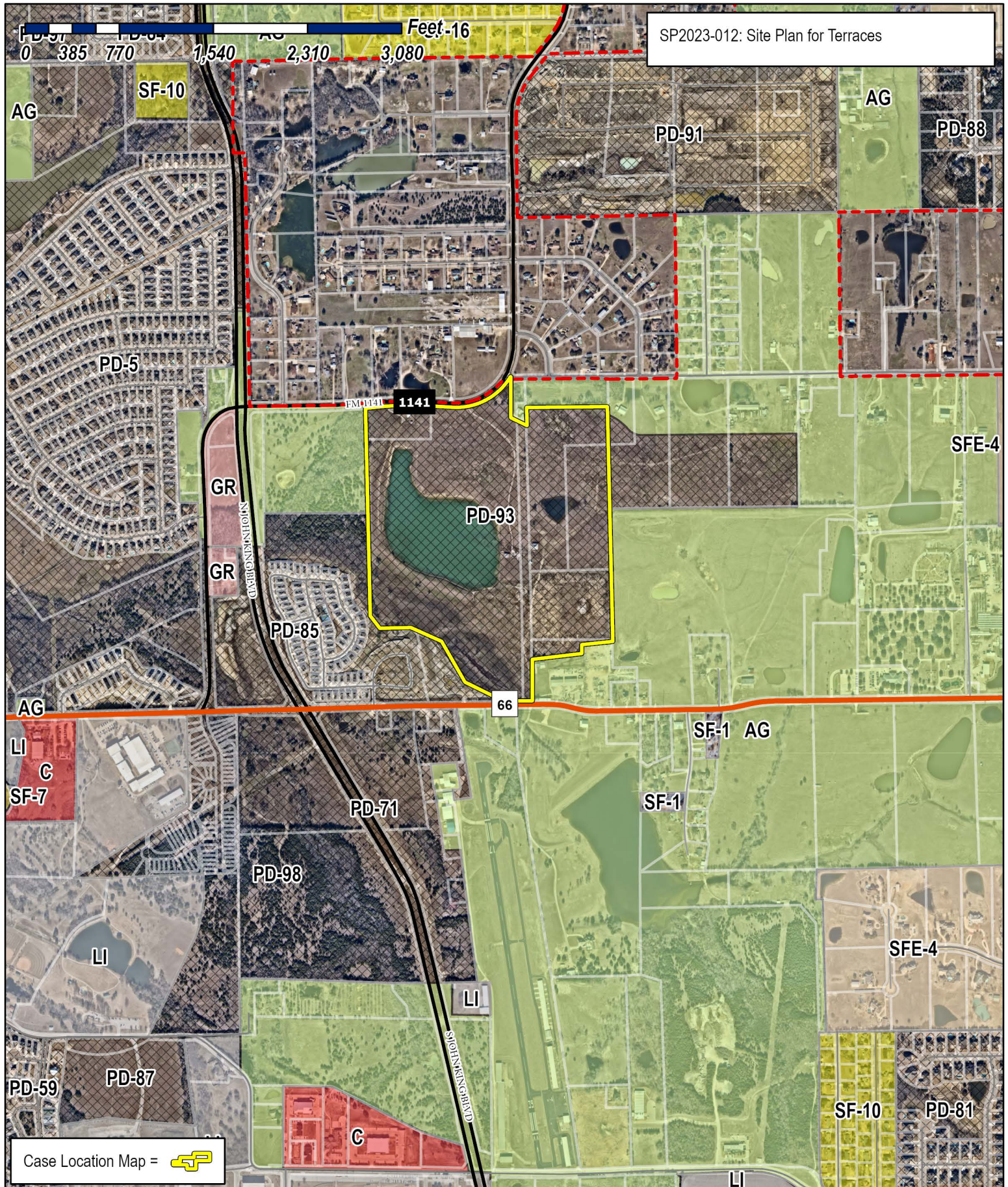
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March 2023

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4-16-25



SP2023-012: Site Plan for Terraces

Case Location Map = 

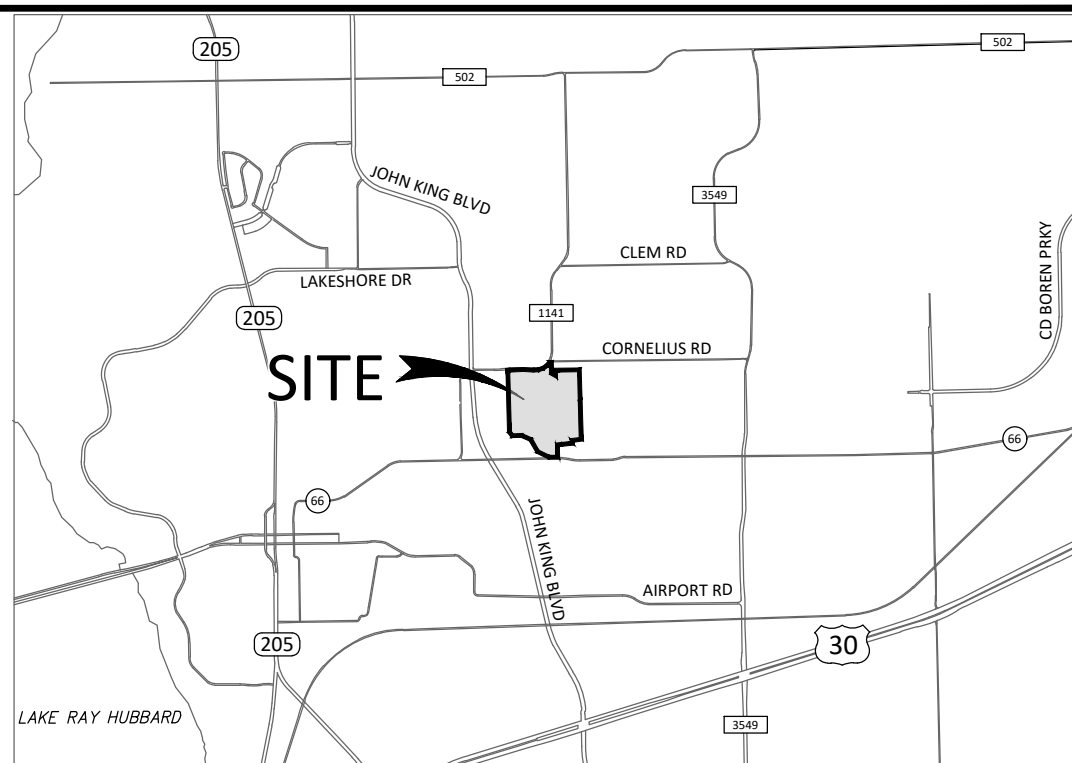
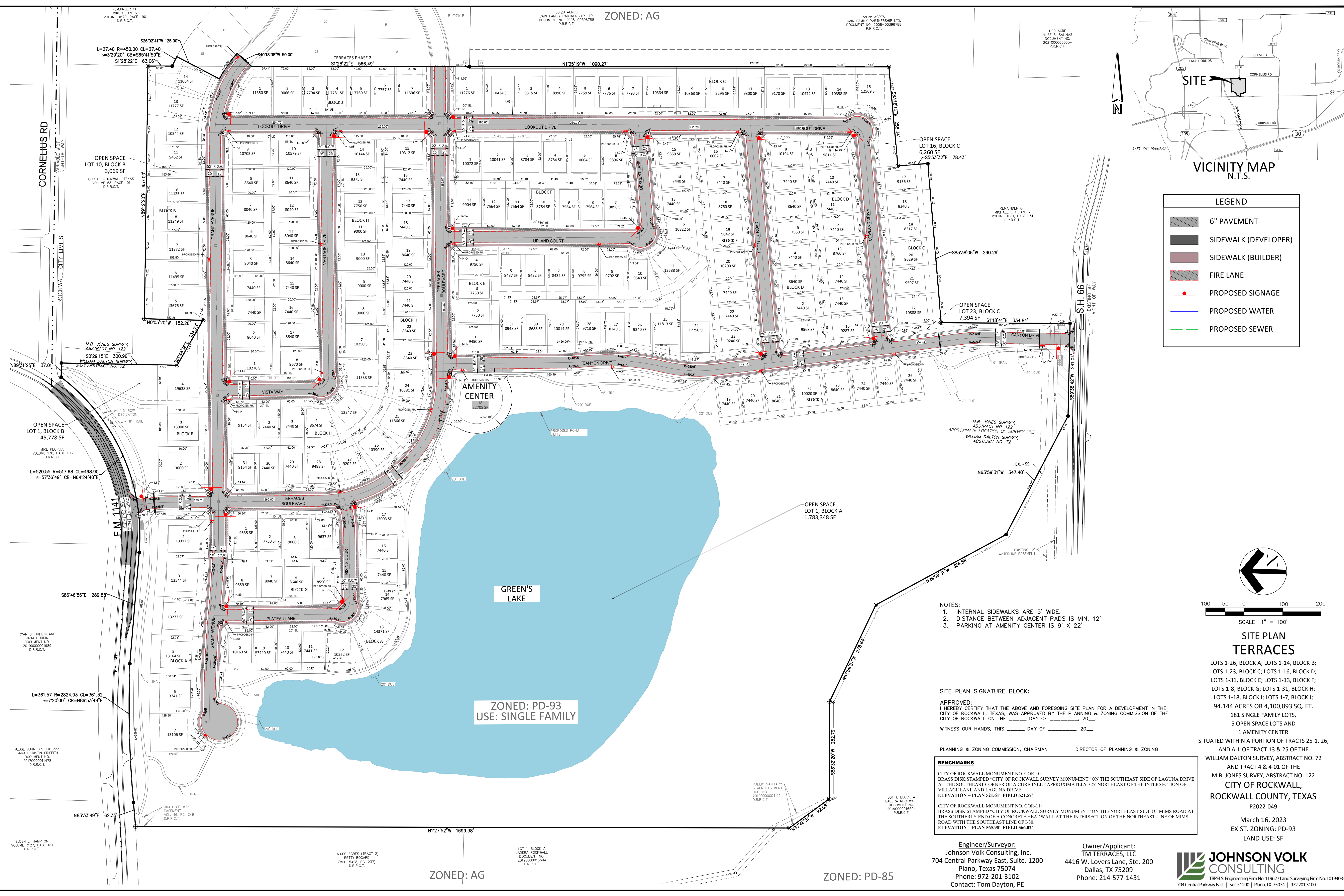


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

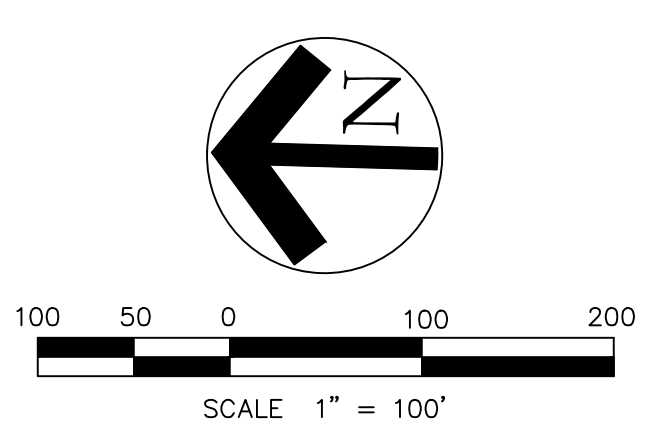
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)
- FIRE LANE
- PROPOSED SIGNAGE
- PROPOSED WATER
- PROPOSED SEWER



- NOTES:**
- INTERNAL SIDEWALKS ARE 5' WIDE.
 - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'
 - PARKING AT AMENITY CENTER IS 9' X 22'

SITE PLAN SIGNATURE BLOCK:
 APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20__
 WITNESS OUR HANDS, THIS ____ DAY OF ____ 20__

BENCHMARKS
 CITY OF ROCKWALL MONUMENT NO. COR-10: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'
 CITY OF ROCKWALL MONUMENT NO. COR-11: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30. ELEVATION = PLAN 565.98' FIELD 566.02'

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

Owner/Applicant:
 TM TERRACES, LLC
 4416 W. Lovers Lane, Ste. 200
 Dallas, TX 75209
 Phone: 214-577-1431

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

ZONED: AG (top center)

ZONED: PD-93 USE: SINGLE FAMILY (center bottom)

ZONED: AG (bottom left)

ZONED: PD-85 (bottom right)

REMAINDER OF MIKE PEOPLES VOLUME 1679, PAGE 190 D.R.R.C.T.

REMAINDER OF MICHAEL L. PEOPLES VOLUME 1081, PAGE 151 D.R.R.C.T.

REMAINDER OF M.B. JONES SURVEY, ABSTRACT NO. 122 WILLIAM DALTON SURVEY, ABSTRACT NO. 72

RYAN S. HUDDIN AND JADA HUDDIN DOCUMENT NO. 2019000001989 D.R.R.C.T.

JESSE JOHN GRIFFITH and SARAH KRISTIN GRIFFITH DOCUMENT NO. 20170000011478 D.R.R.C.T.

ELDEN L. HAMPTON VOLUME 3127, PAGE 161 D.R.R.C.T.

16.000 ACRES (TRACT 2) BETTY BOSGARD (VOL. 5428, PG. 237) D.R.R.C.T.

LOT 1, BLOCK A LADERA ROCKWALL DOCUMENT NO. 20190000016594 P.R.R.C.T.

LOT 1, BLOCK A CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'

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PUBLIC SANITARY SEWER EASEMENT DOC. NO. 2019000004112 D.R.R.C.T.

LOT 1, BLOCK A LADERA ROCKWALL DOCUMENT NO. 20190000016594 P.R.R.C.T.

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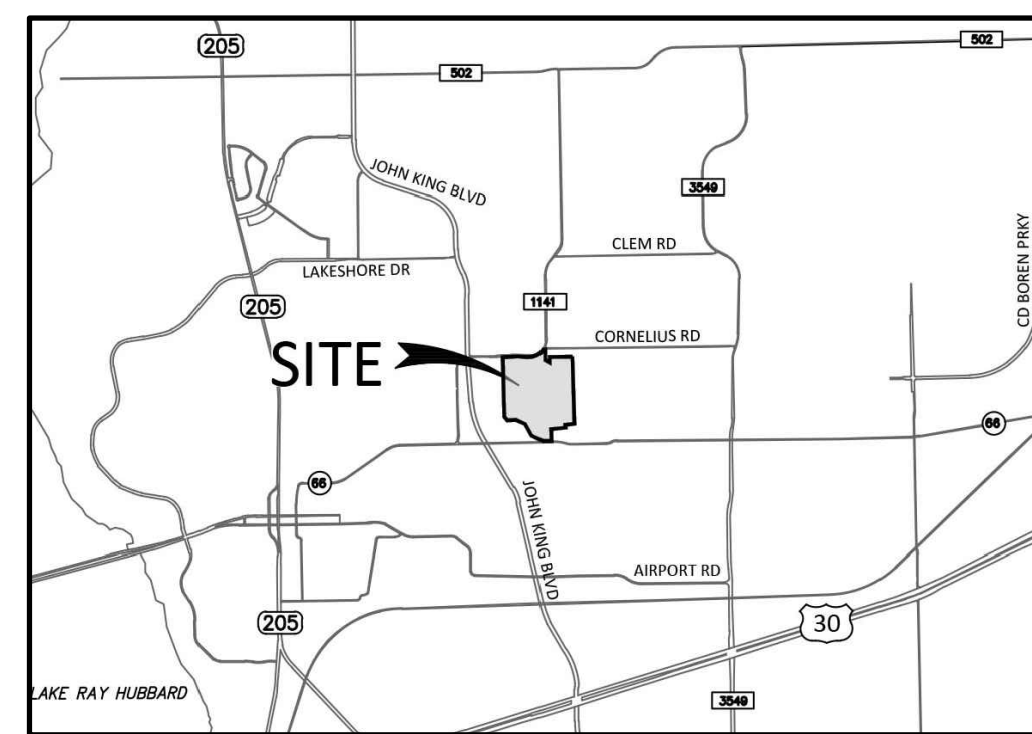
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~TERRACES~
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: March 10, 2023



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
HS1	OVERALL LAYOUT PLAN
HS2-HS10	HARDSCAPE PLANS
HS11-HS13	HARDSCAPE DETAILS
EX1	ENTRY LIGHTING EXHIBIT
L1-L9	LANDSCAPE PLANS
L110-L10	LANDSCAPE DETAILS

OWNER / DEVELOPER:

TM TERRACES, LLC
4416 W. LOVERS LANE
SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431

CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY
EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

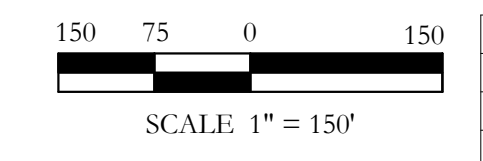
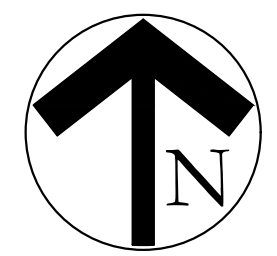
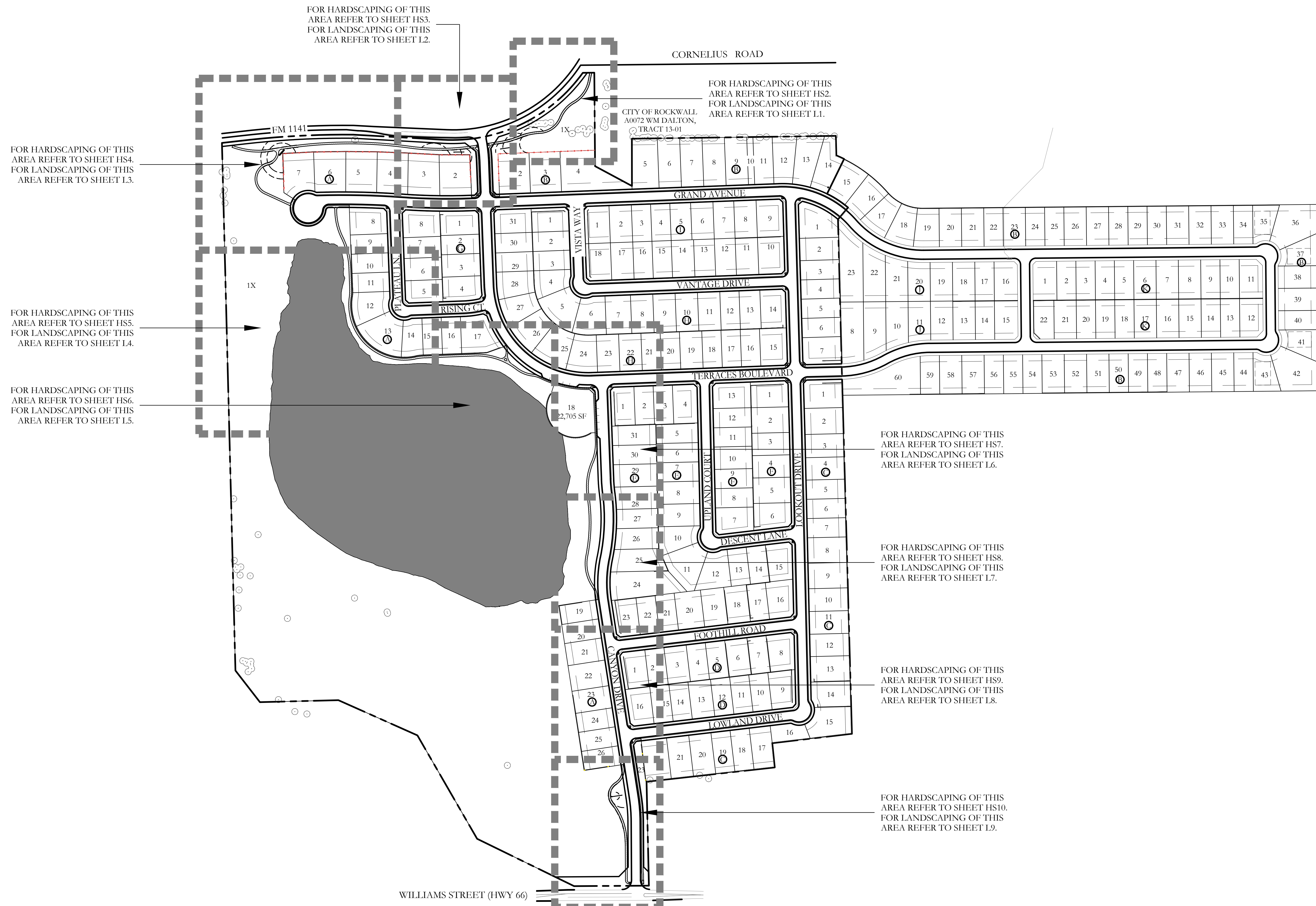
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

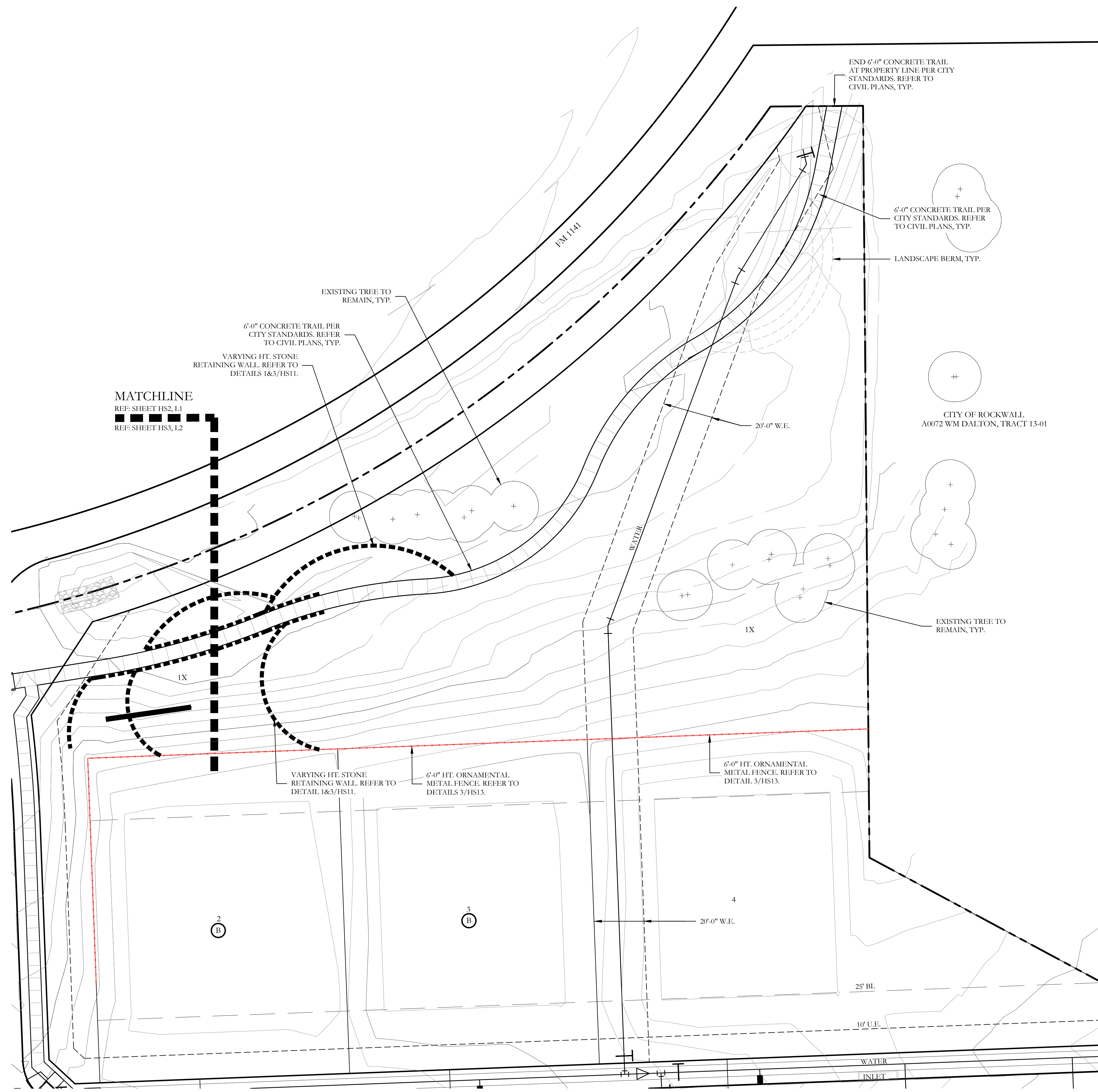
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HULDED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



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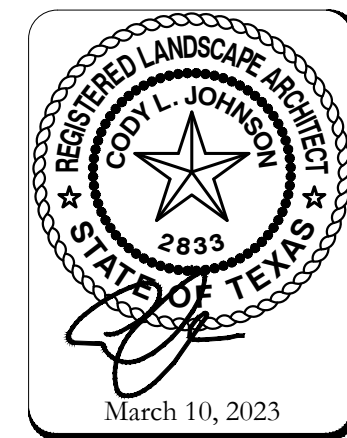
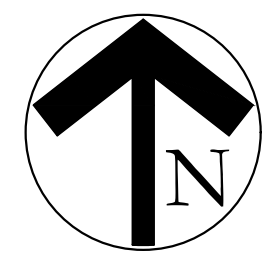
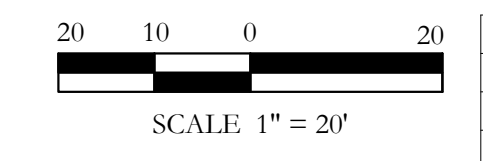
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HARDSCAPE LEGEND

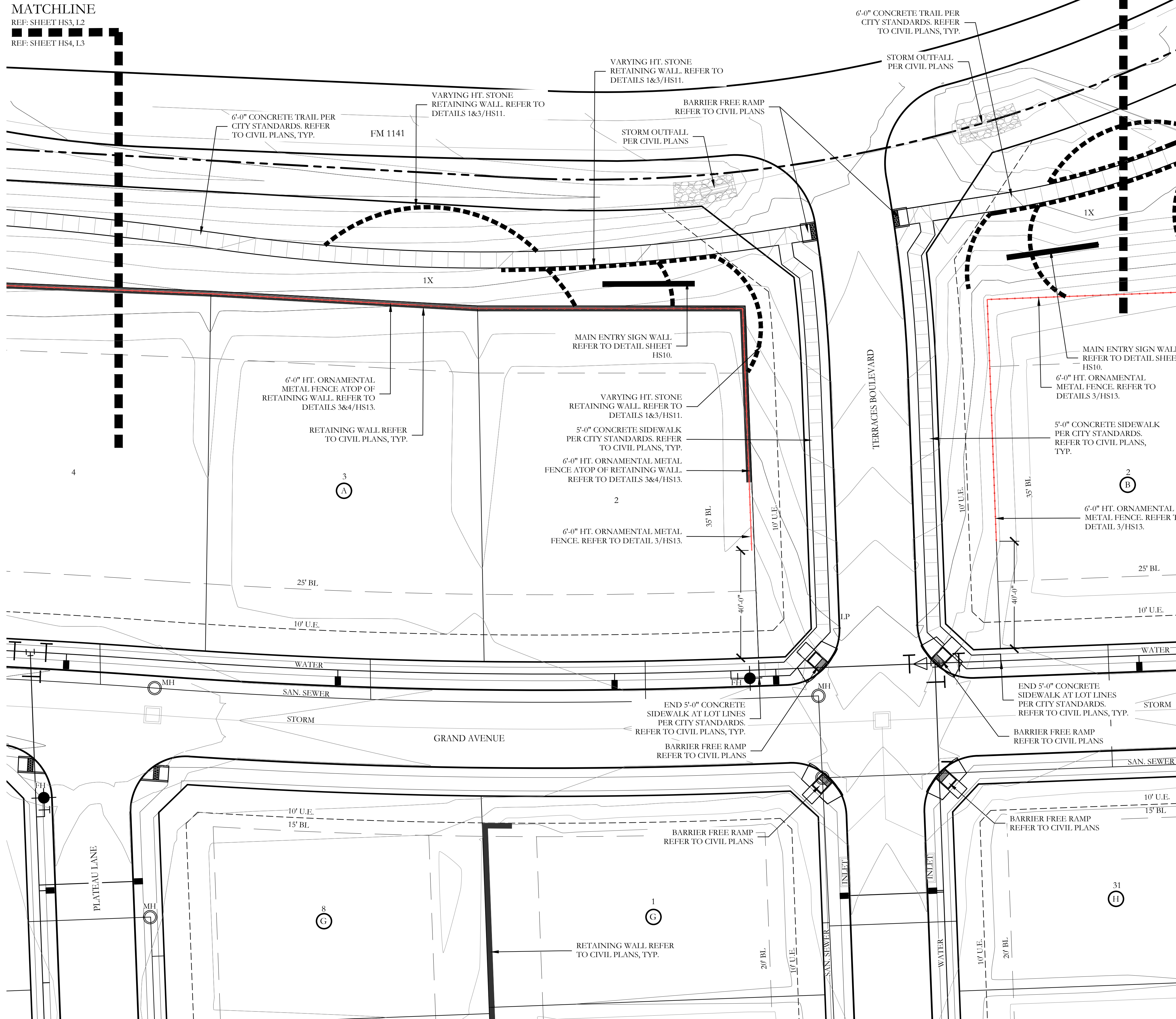
	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
	8'-6" HT. STONE LOGO COLUMN ATOP OF RETAINING WALL. REFER TO DETAILS 4&5/HS12.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAIL 1&2/HS13.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 3/HS11.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 3&4/HS13.
	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



MATCHLINE
REF: SHEET HS3, L2
REF: SHEET HS4, L3

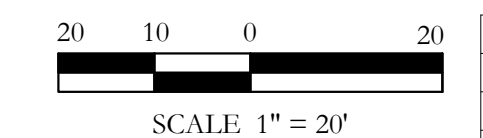
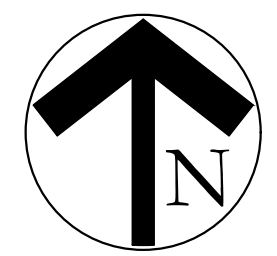
MATCHLINE
REF: SHEET HS2, L1
REF: SHEET HS3, L2



HARDSCAPE LEGEND

- MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET HS11.
- 8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
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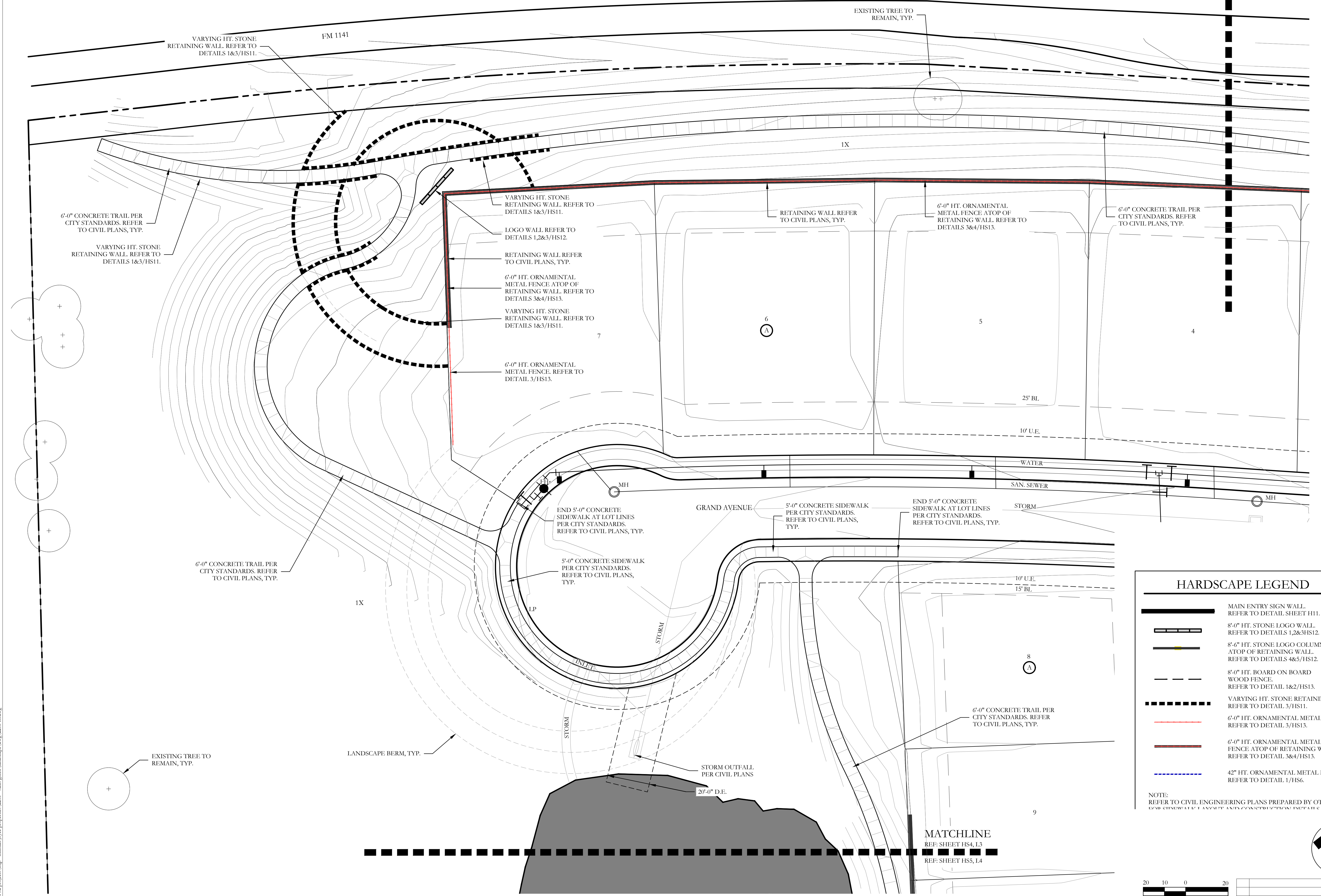
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MATCHLINE
REF: SHEET HS3, L2
REF: SHEET HS4, L3



HARDSCAPE LEGEND

	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
	8'-6" HT. STONE LOGO COLUMN ATOP OF RETAINING WALL. REFER TO DETAILS 4&5/HS12.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAIL 1&2/HS13.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 3/HS11.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 3&4/HS13.
	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
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FOR GENERAL UTILITY AND CONSTRUCTION DETAILS

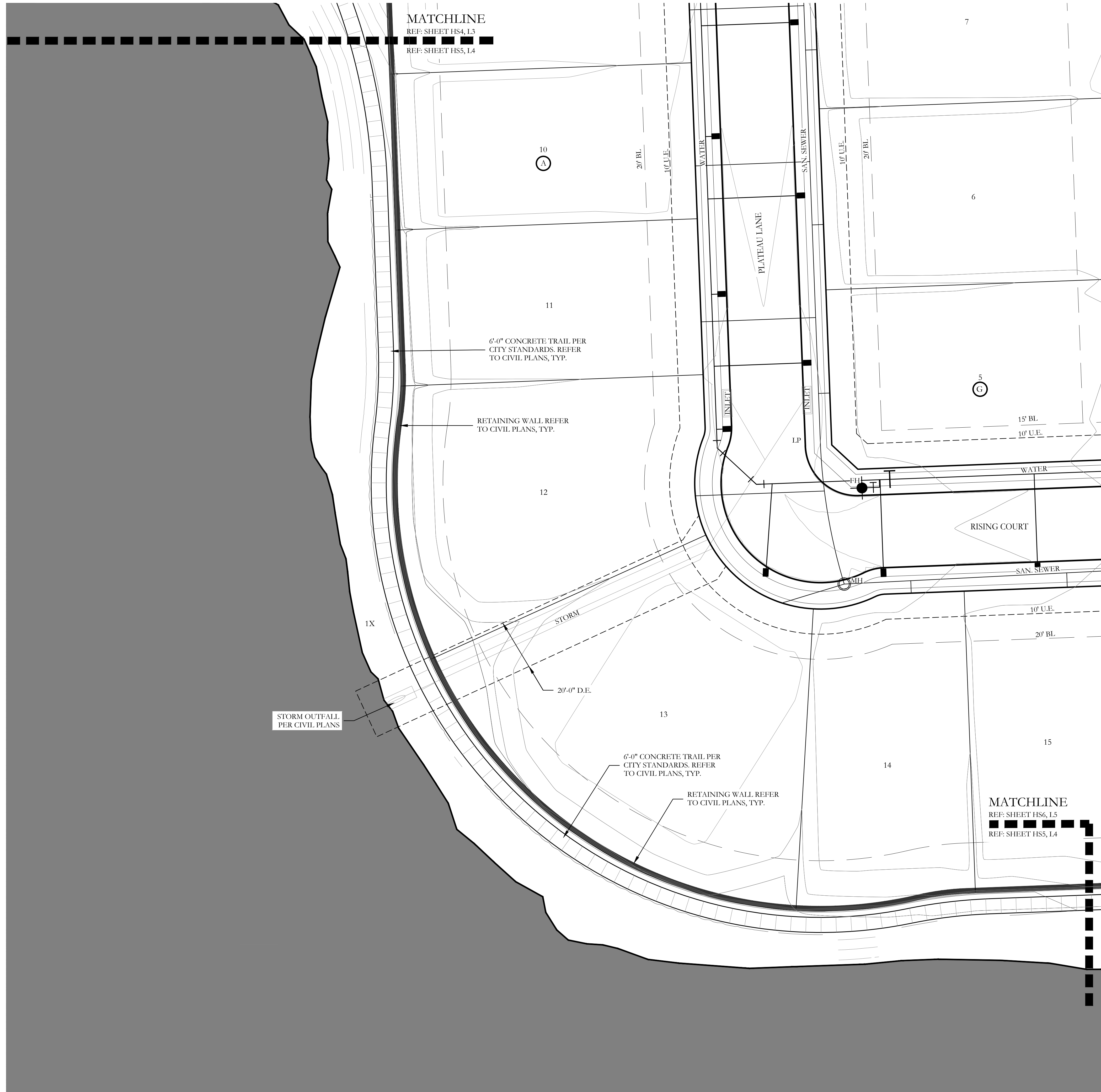
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One Inch

JVC No 2215

SCALE 1" = 20'

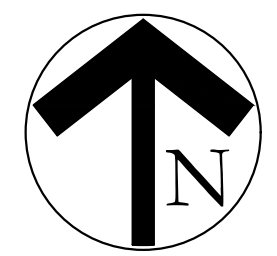
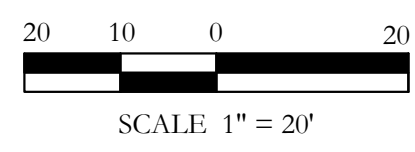
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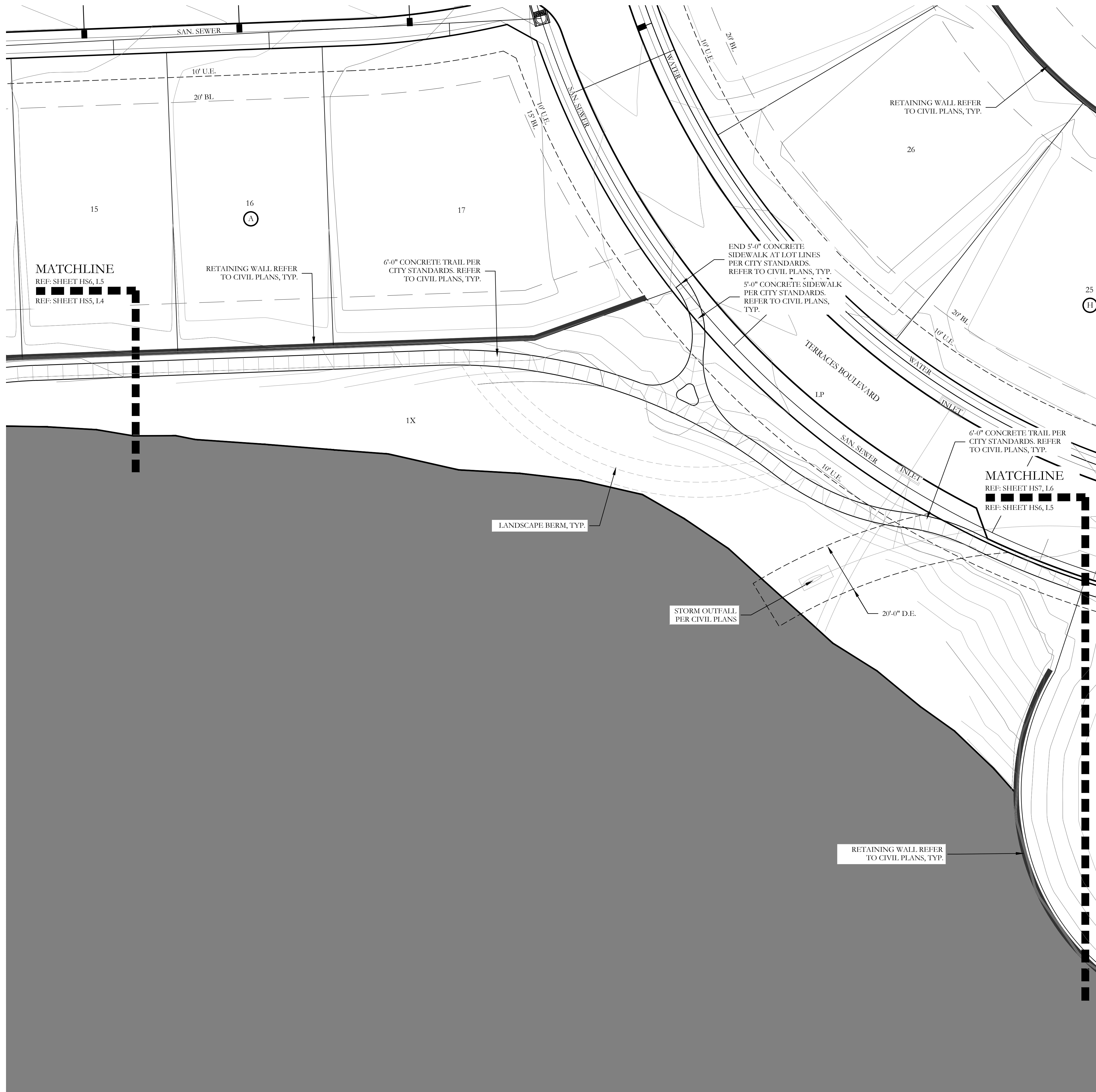


HARDSCAPE LEGEND

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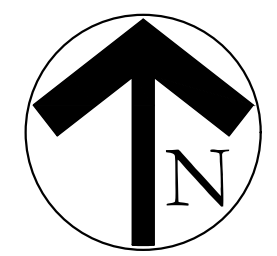
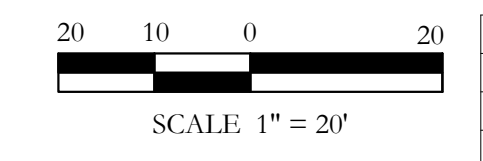
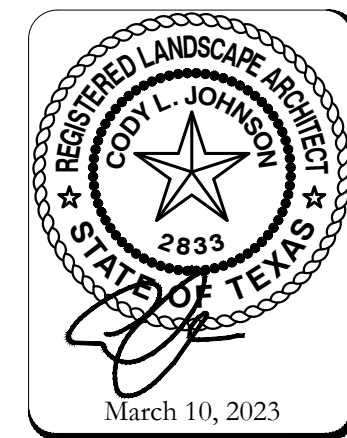




HARDSCAPE LEGEND

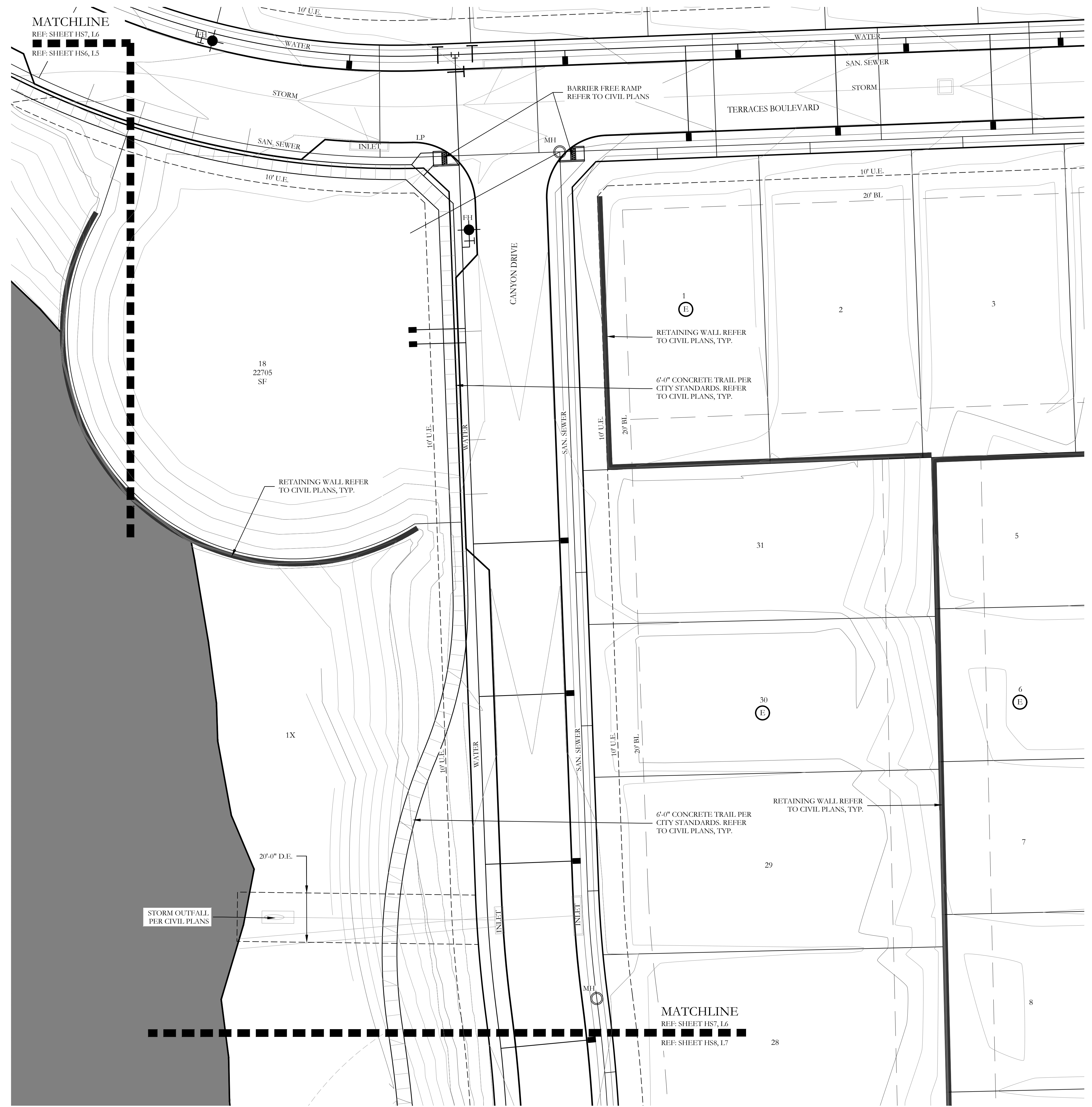
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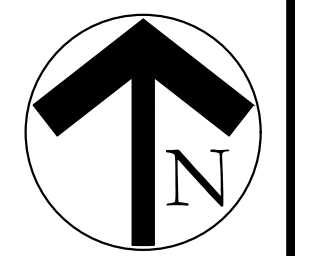
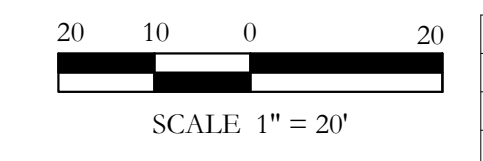
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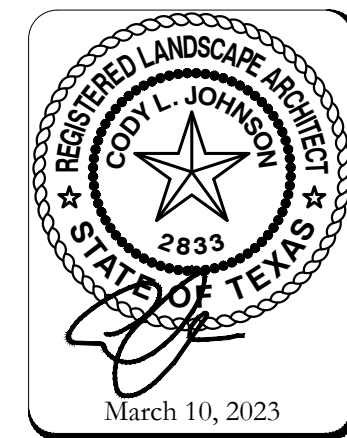
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JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 204 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

TERRACES
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING
 HARDSCAPE PLANS



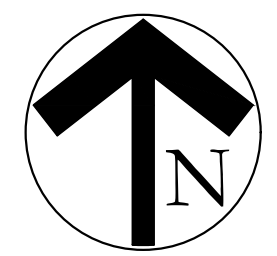
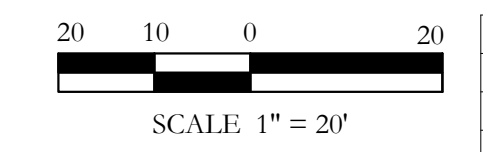
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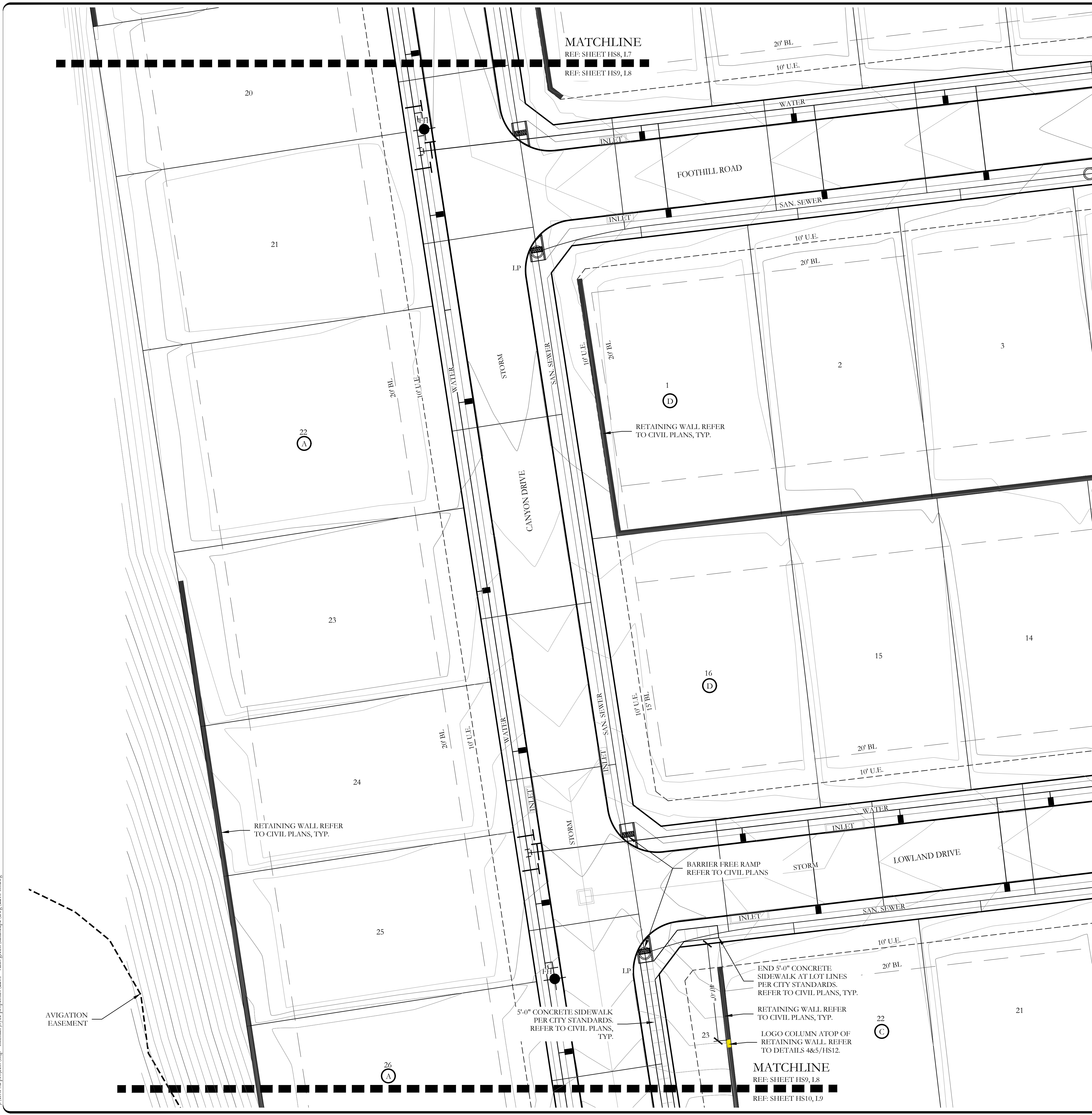
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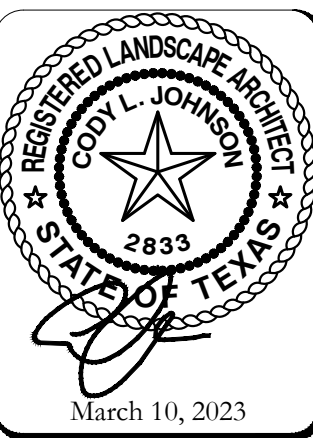
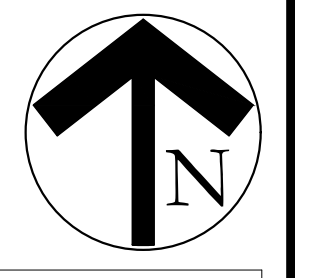
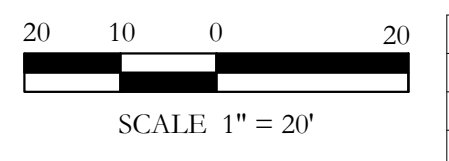




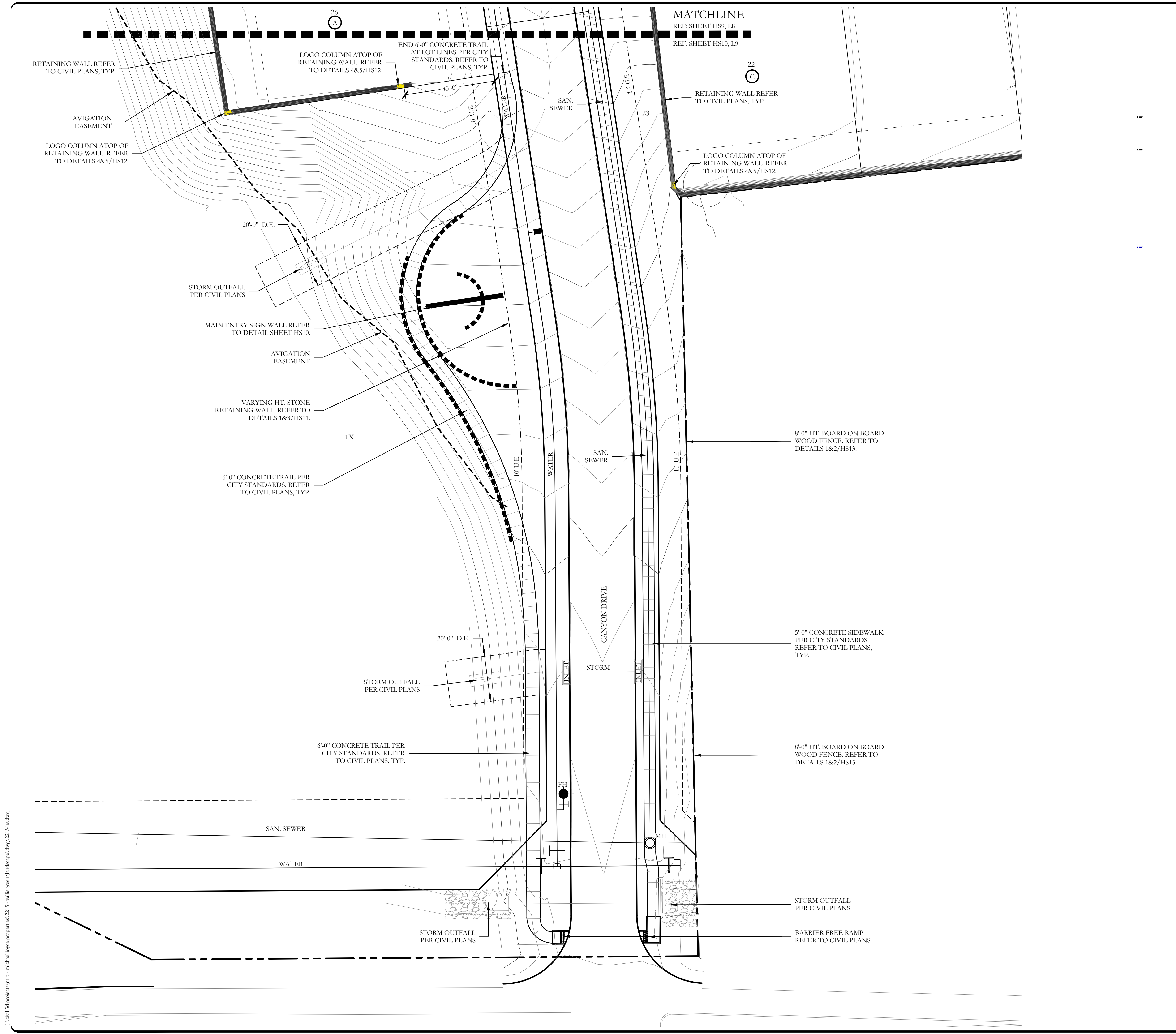
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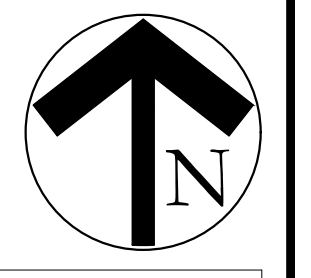
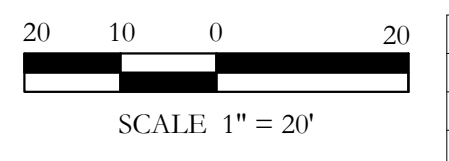
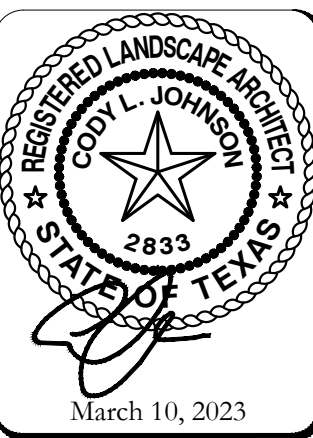
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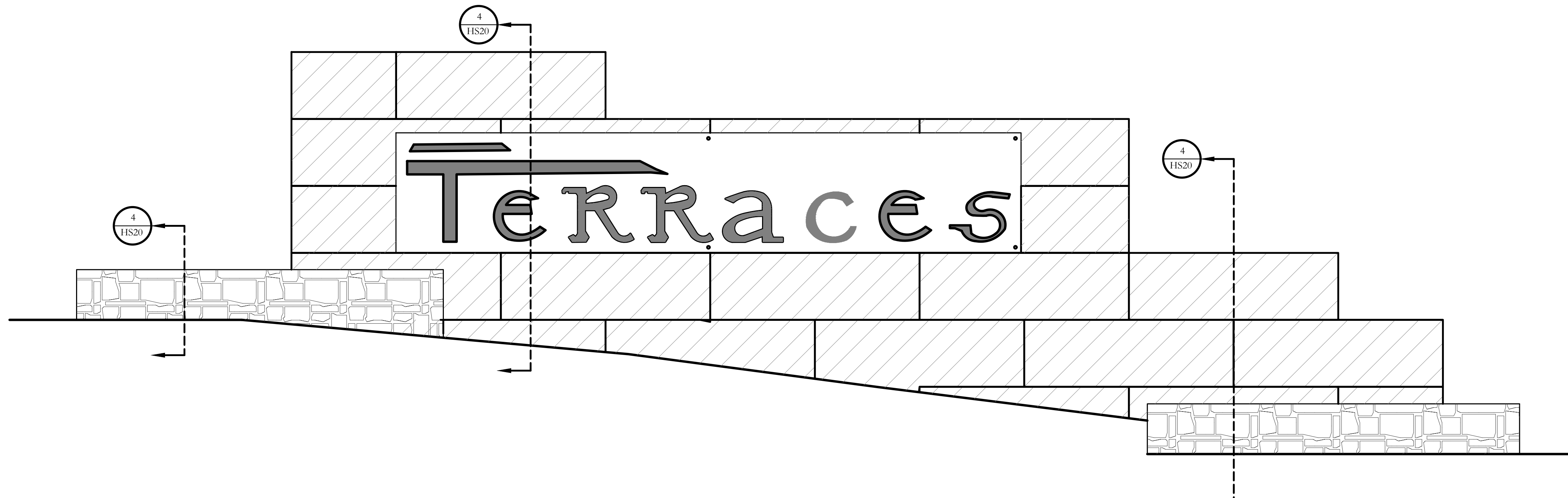
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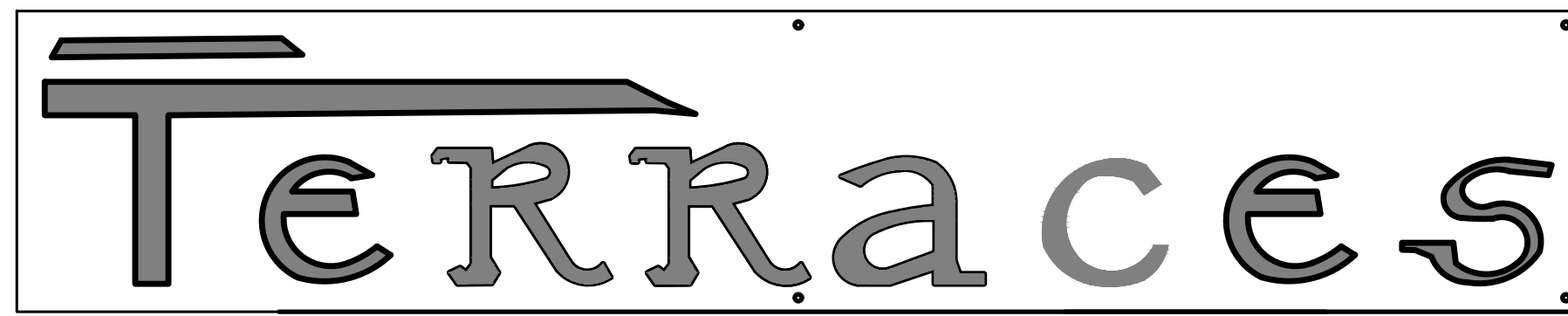
WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A615, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 5/8" CONCAVE TOOLED JOINTS.
11. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
13. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
14. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
15. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNER'S REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
17. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.



1 MAIN ENTRY SIGN WALL
ELEVATION

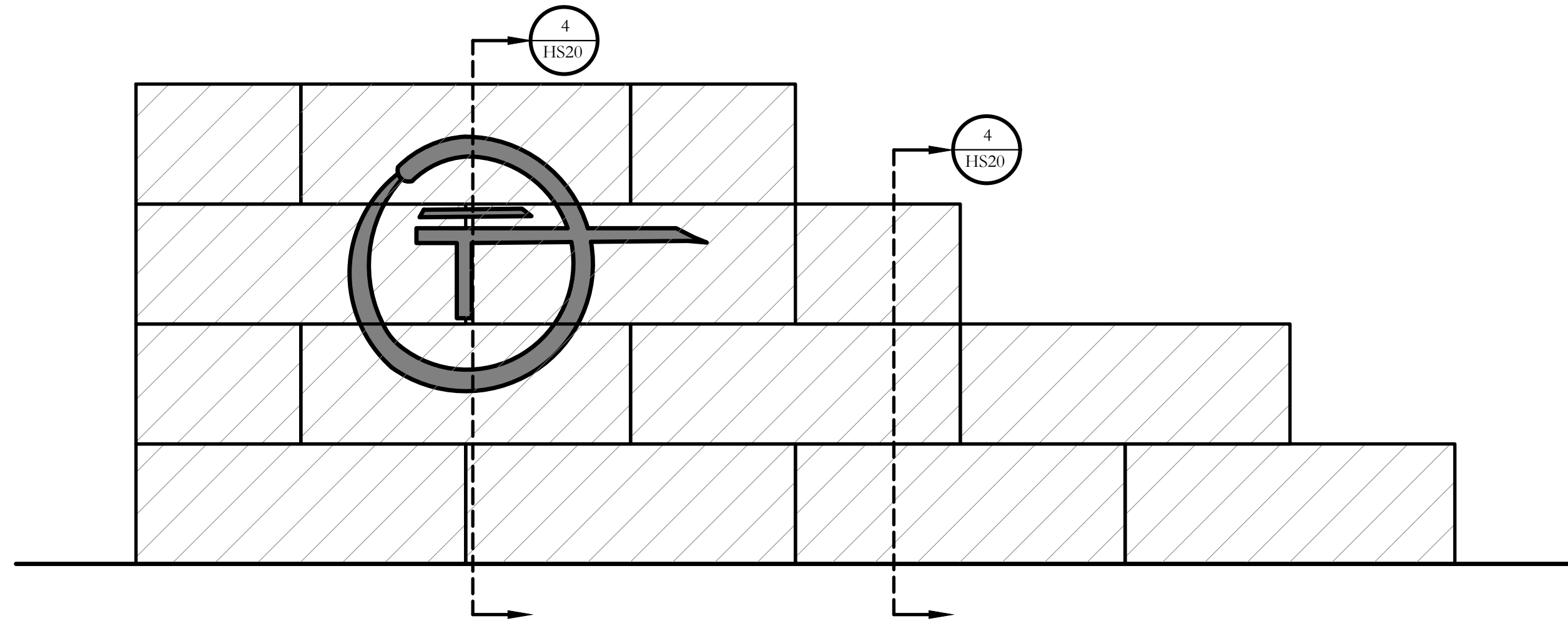
SCALE: 1/2" = 1'-0"



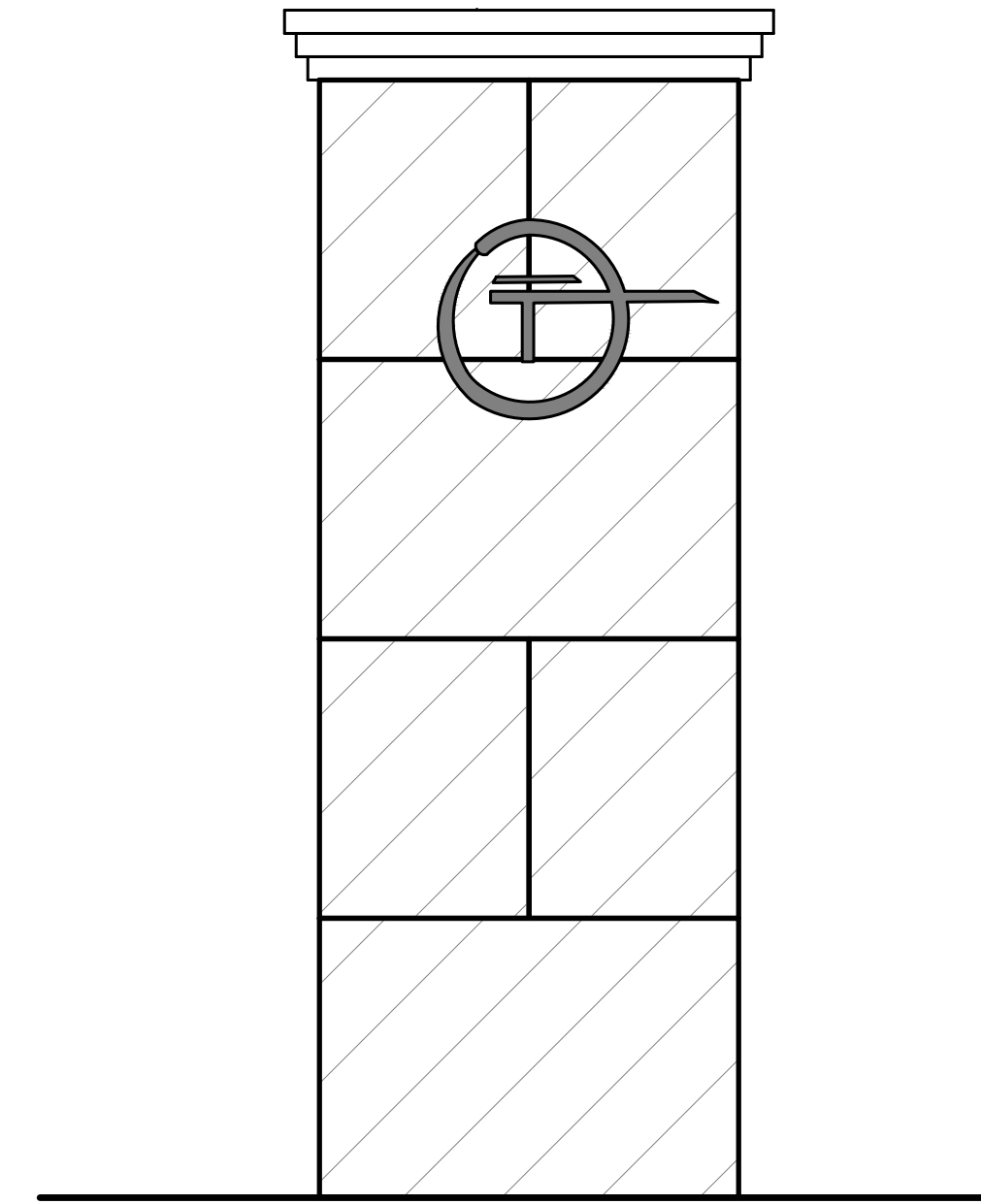
2 CORTEN SIGN PANEL
ELEVATION

SCALE: 1/2" = 1'-0"

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1 LOGO WALL
ELEVATION
SCALE: 1/2" = 1'-0"

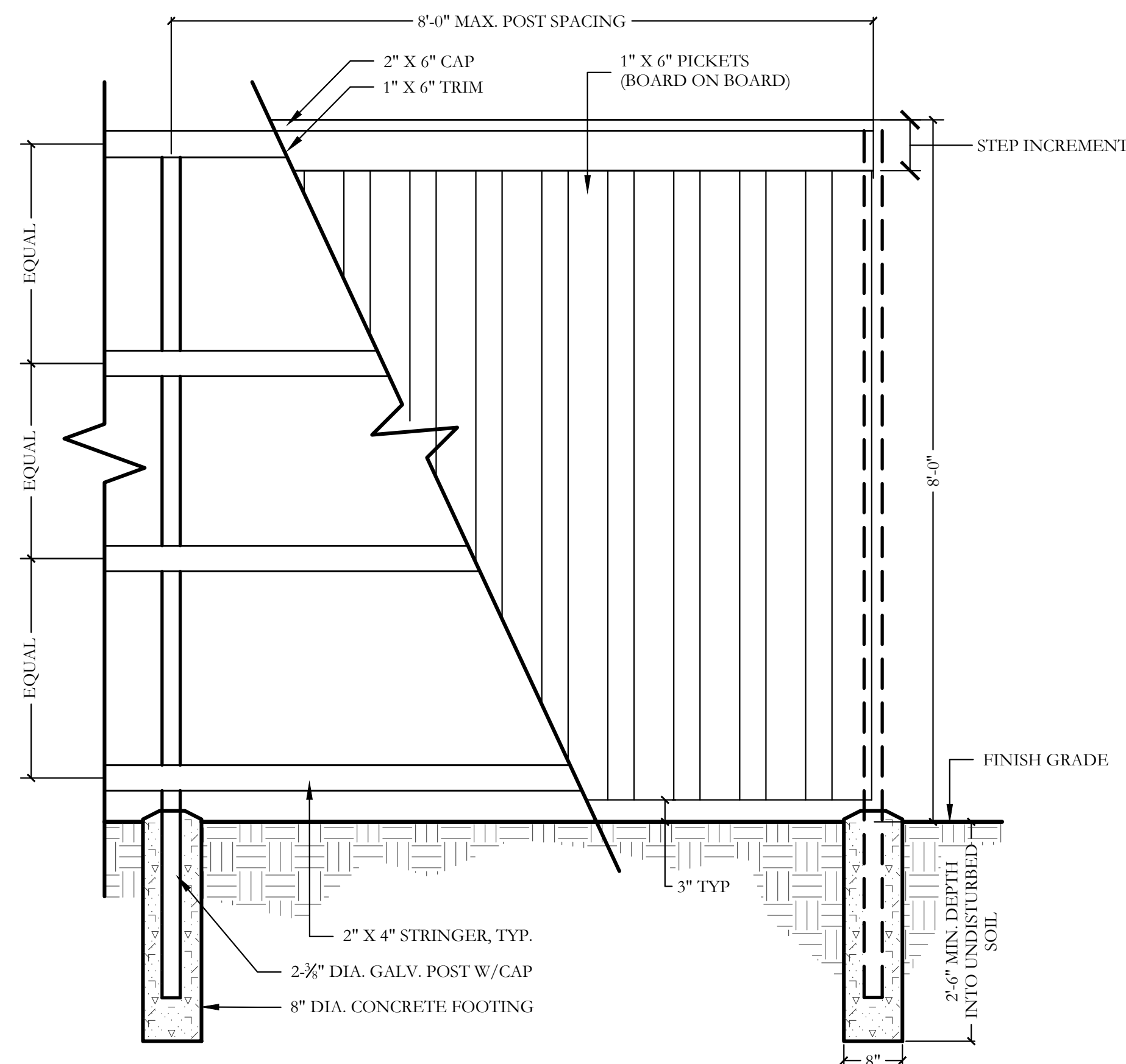


4 LOGO COLUMN ATOP OF RETAINING WALL
ELEVATION
SCALE: 3/4" = 1'-0"

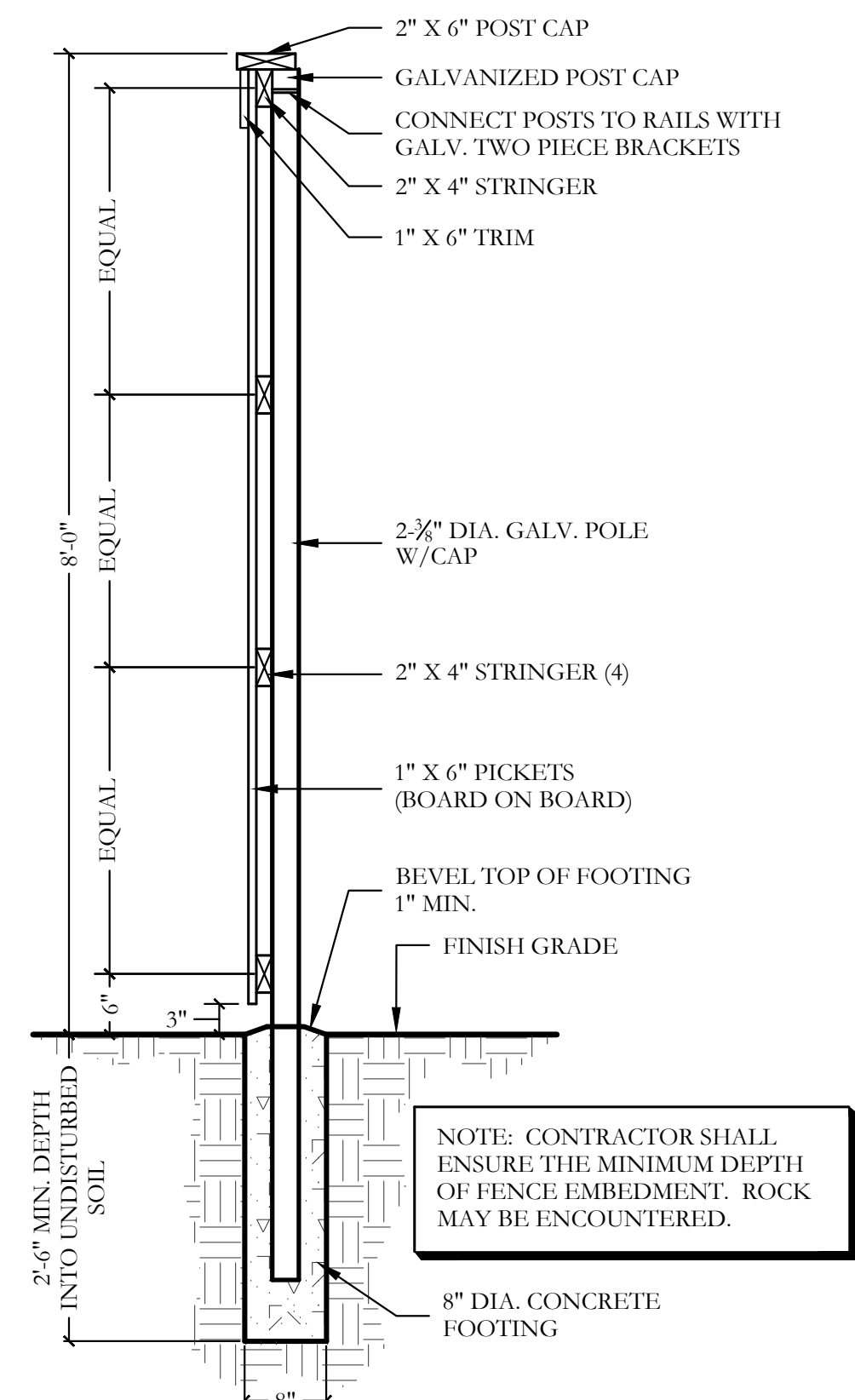
5 LOGO COLUMN ATOP OF RETAINING WALL
SECTION
SCALE: 3/4" = 1'-0"

2 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"

3 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"



1 PARTIAL 8'-0" HT. WOOD FENCE ELEVATION SCALE: 3/4"=1'-0"



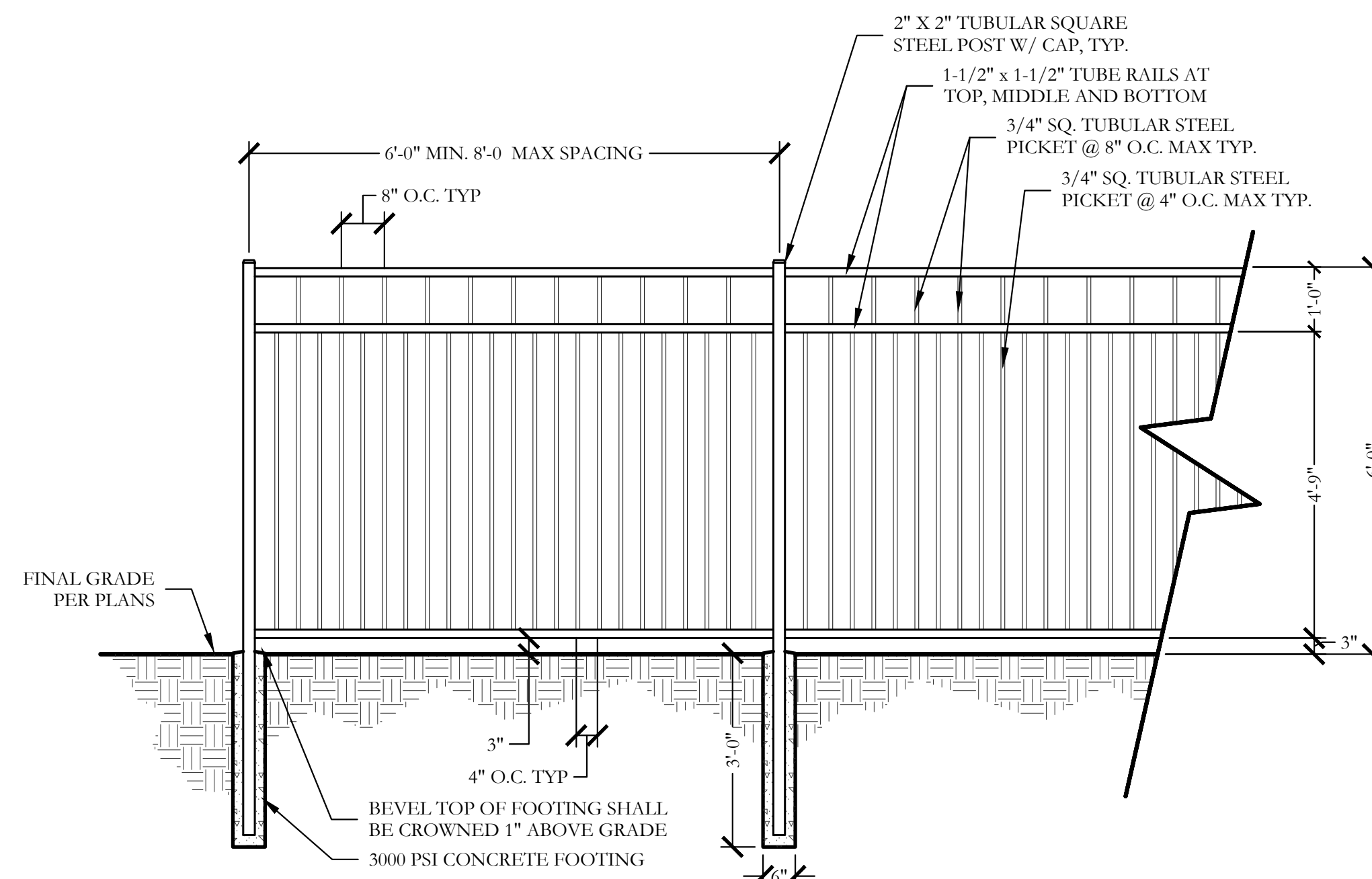
2 8'-0" HT. WOOD FENCE SECTION SCALE: 3/4"=1'-0"

WOOD FENCE NOTES

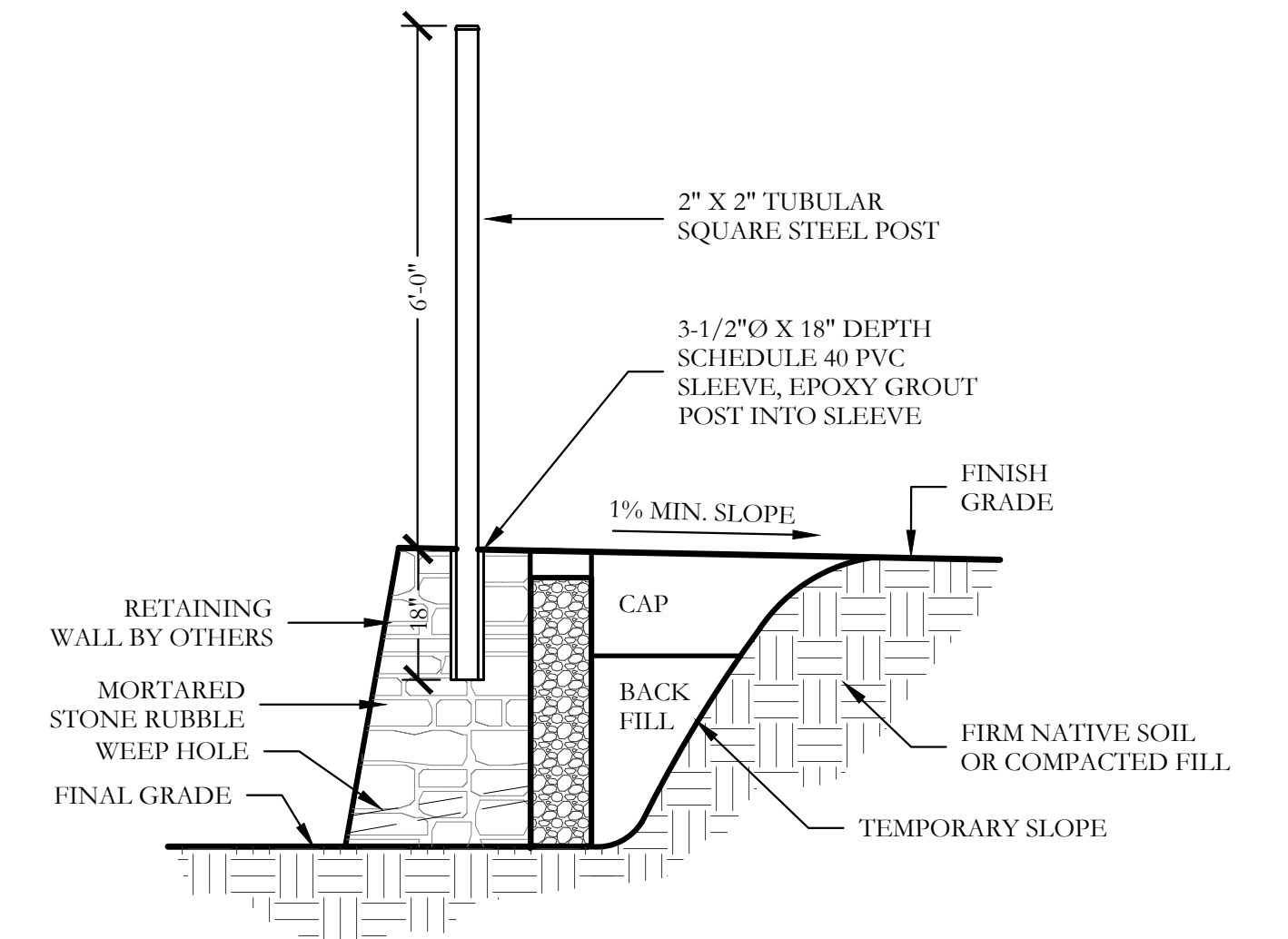
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2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
 - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER.
 - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER.
 - 4.3. CAPS- CEDAR, #2 GRADE OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL WOOD FENCE MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.
12. WHERE REQUIRED BY GRADE THE FENCE SHALL BE STEPPED IN INCREMENTS EQUAL TO THE FINISH DIMENSION OF THE TOP TRIM AND CAP.

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



3 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2"=1'-0"

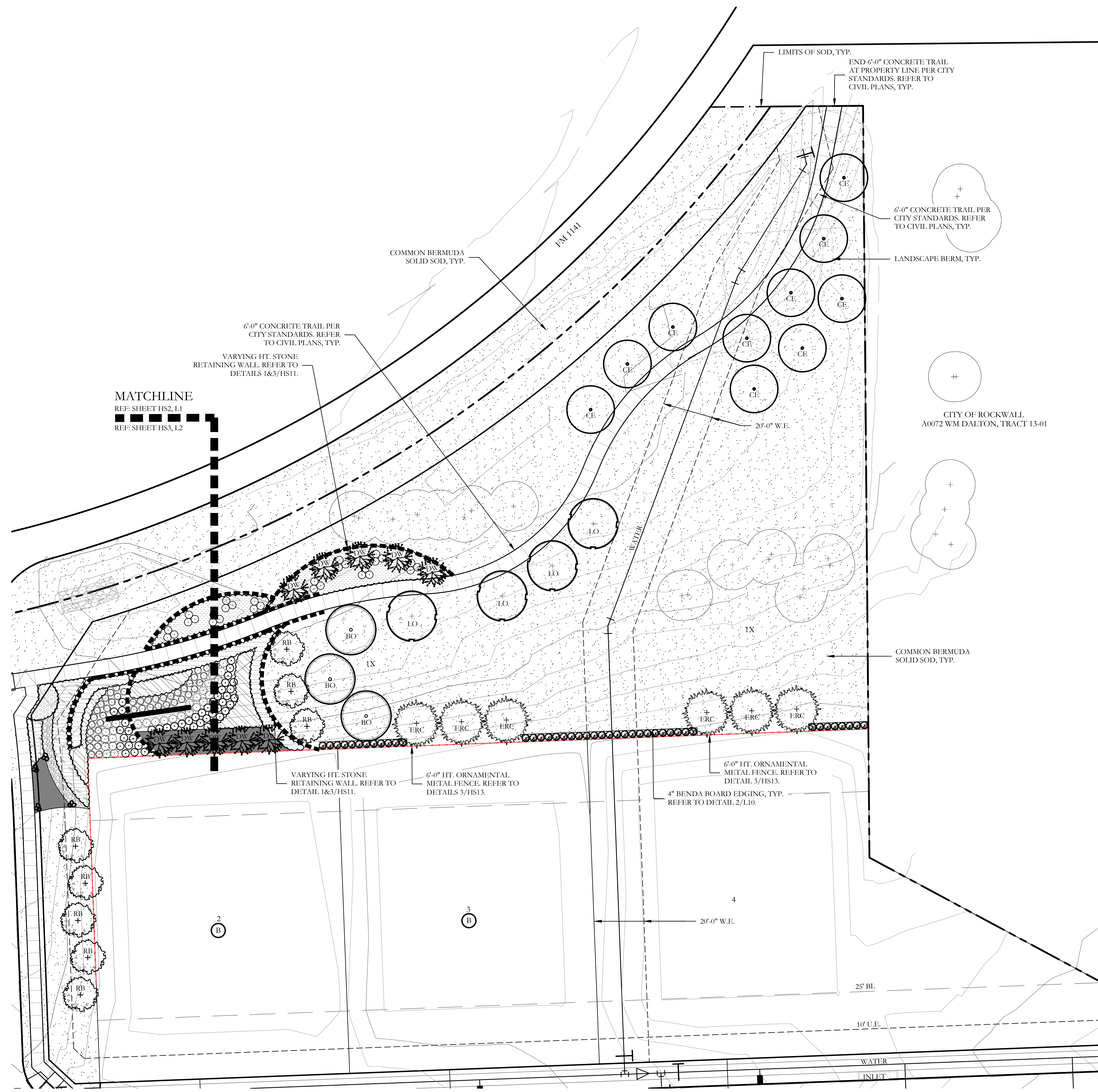


4 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2"=1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

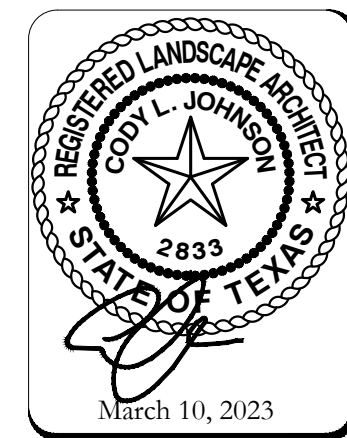
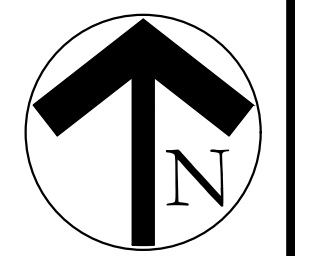
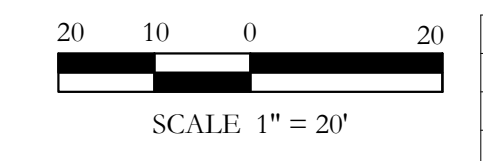
- CAST-IN-PLACE CONCRETE**
1. ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 3. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 4. CHLORIDES SHALL NOT BE USED.
 5. MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 2. PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - 2.1. CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - 2.2. CONCRETE EXPOSED TO EARTH OR WEATHER:
 - 2.2.1. (A) BARS LARGER THAN NO. 5: 2 INCHES
 - 2.2.2. (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - 2.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - 2.3.1. SLABS, WALLS AND JOISTS
 - 2.3.1.1. (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
 - 2.3.3. SHELLS AND FOLDED PLATES
 - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 3. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
1. PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 2. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 3. STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED
 5. PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
1. CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 3/8" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 5. REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 6. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 7. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 8. LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 10. PLACE GROUT USING LOW-LIFT METHOD, 6-8" MAXIMUM LIFTS.

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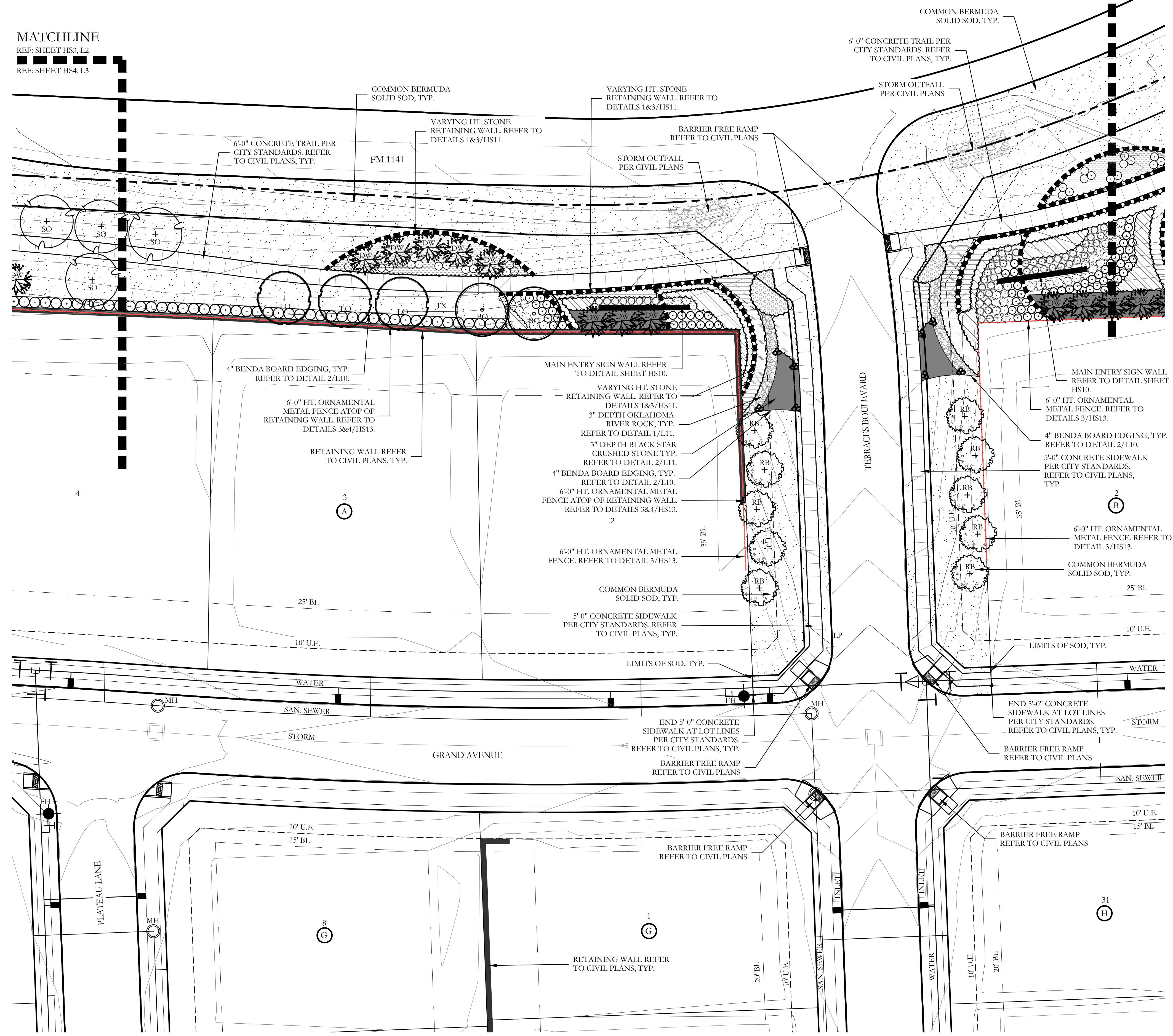
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
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		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
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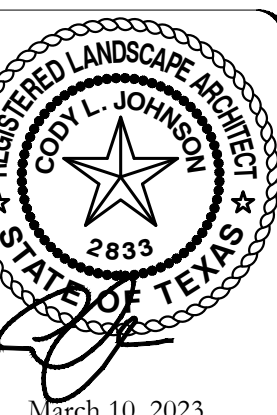
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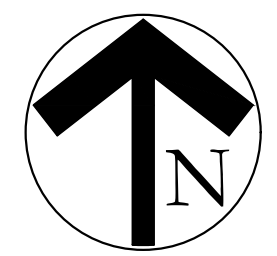
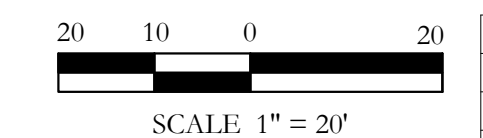


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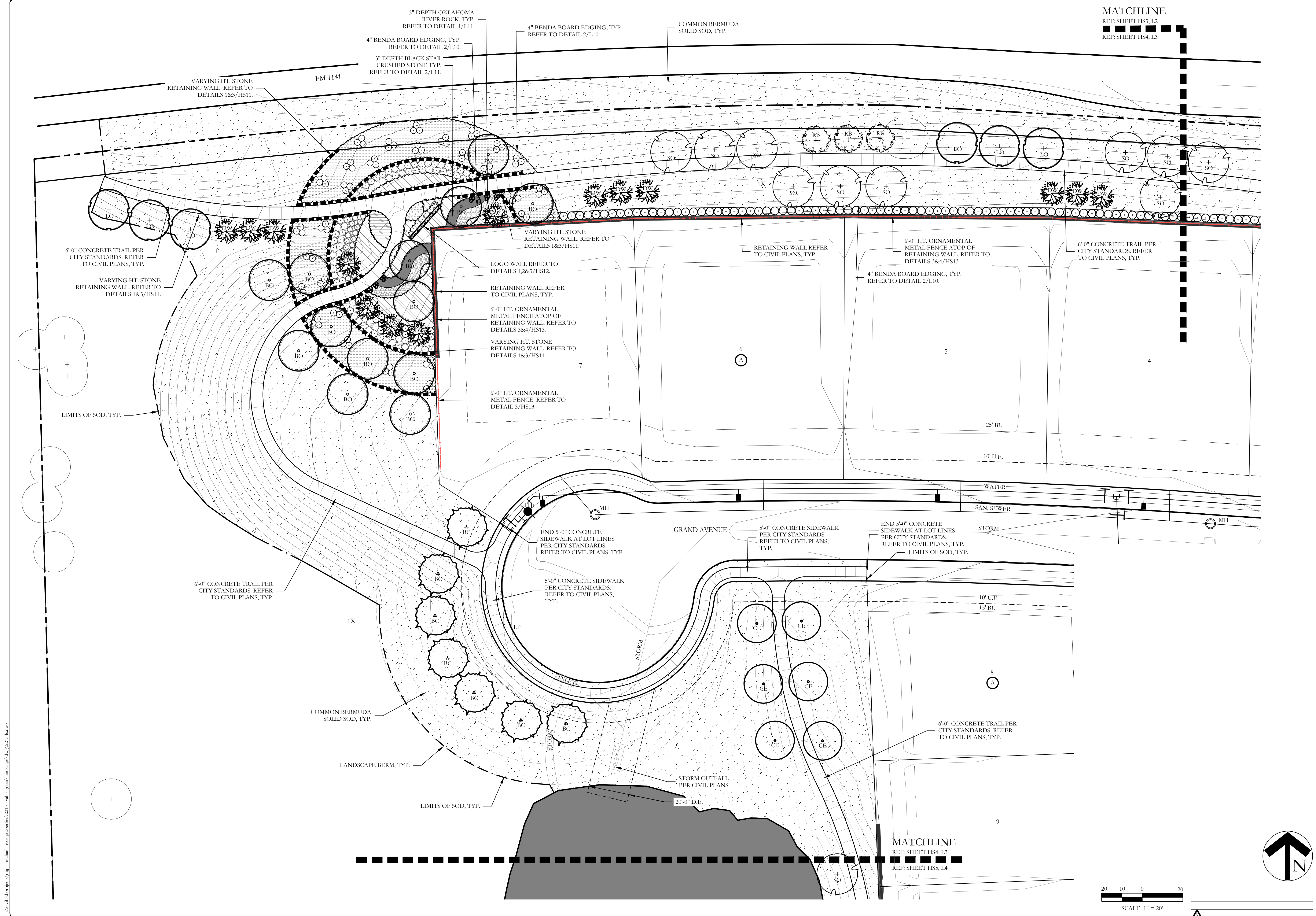


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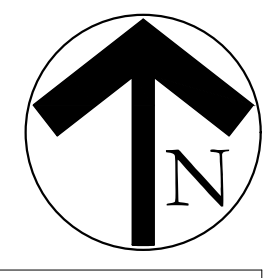
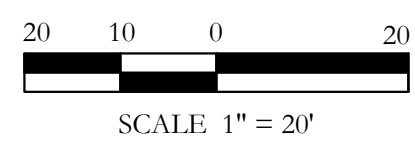
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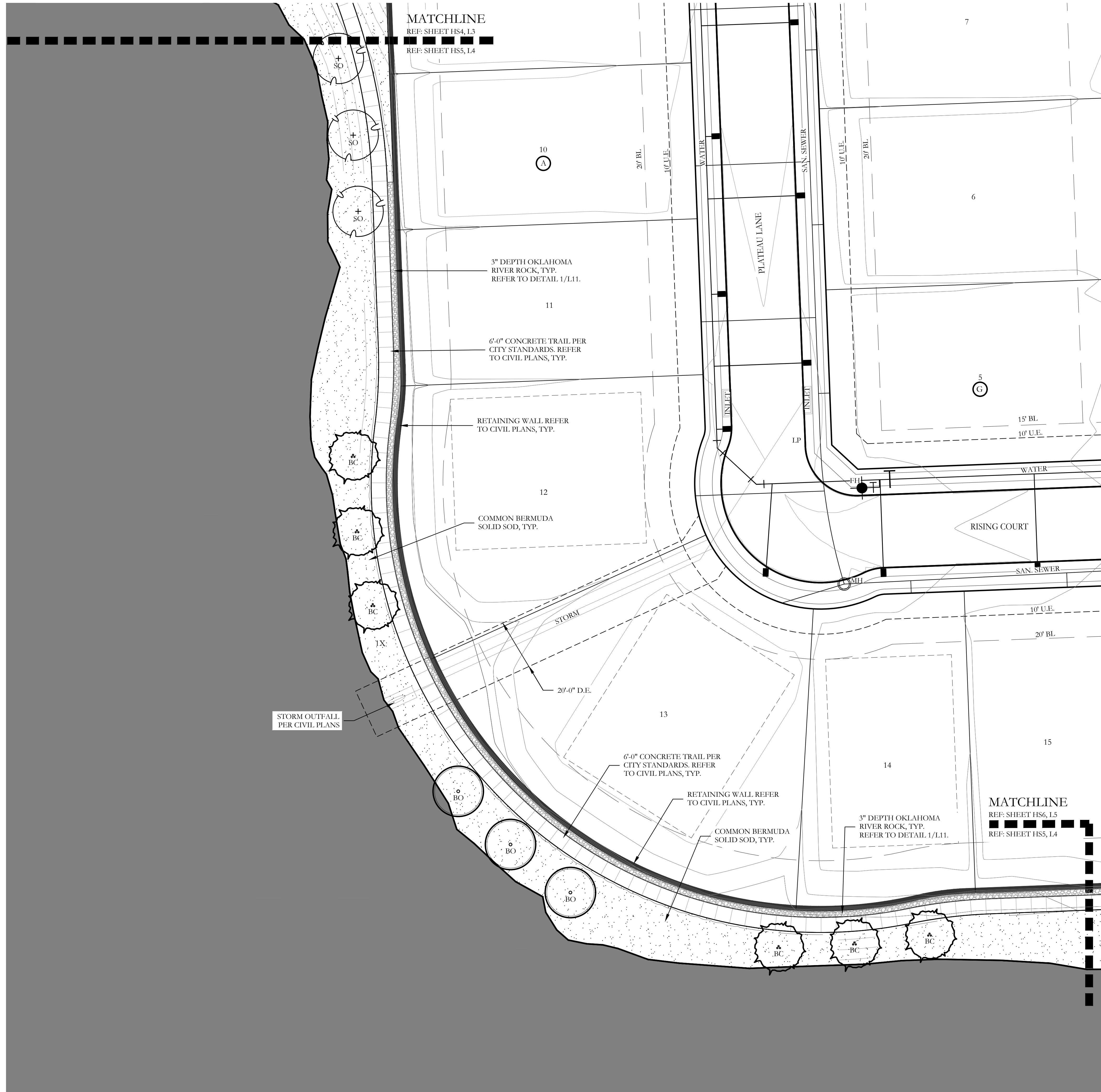
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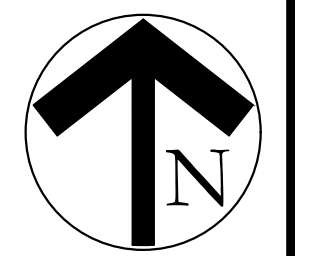
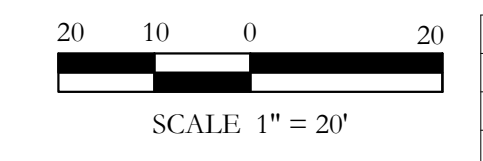
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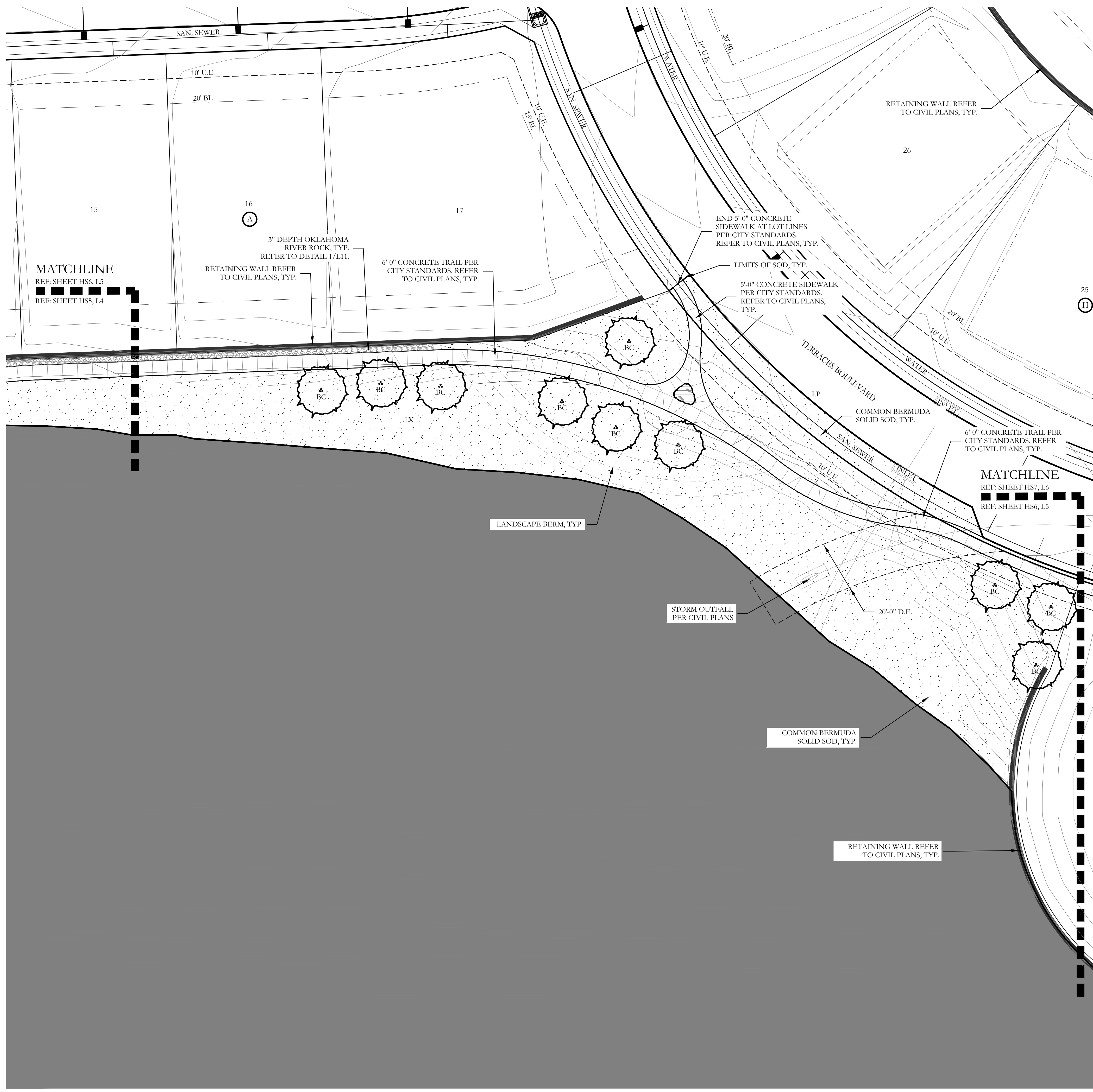


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March 10, 2023

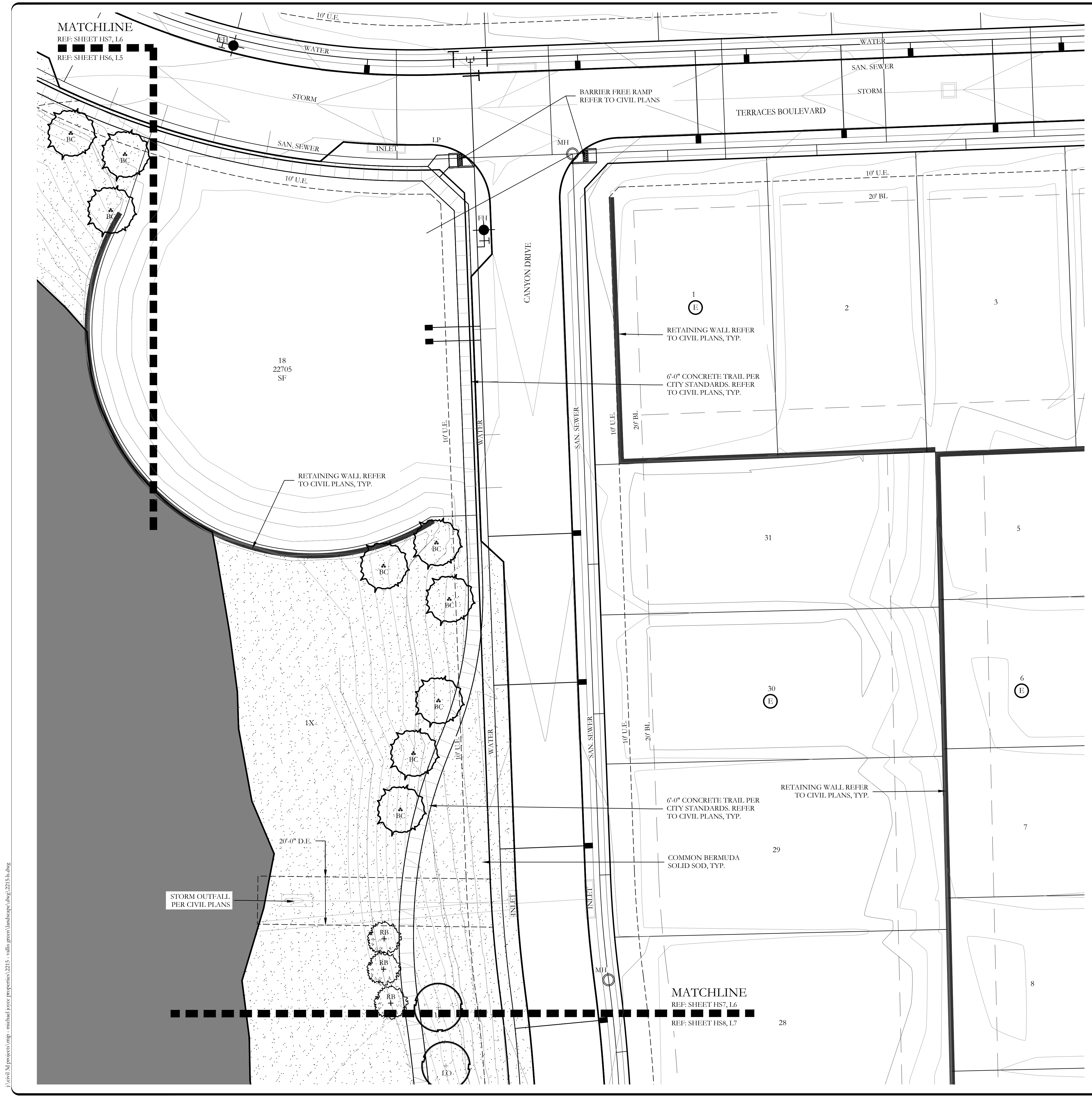
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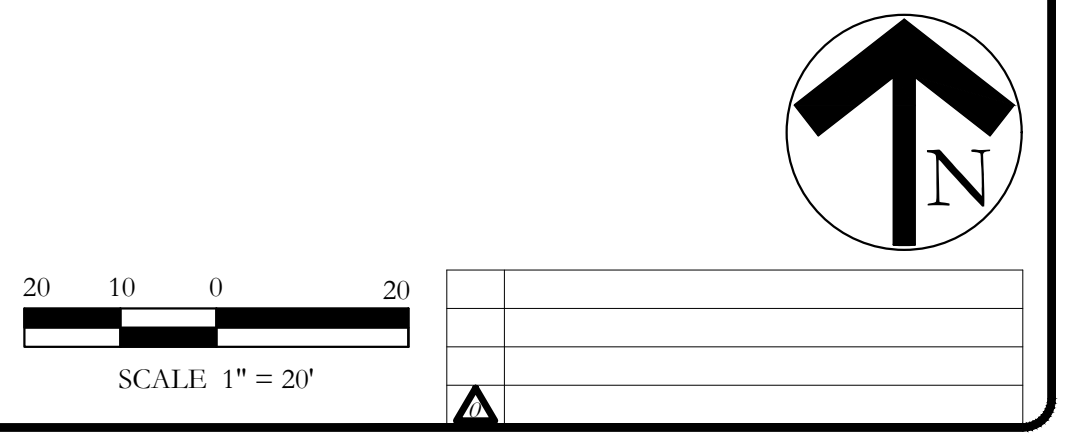


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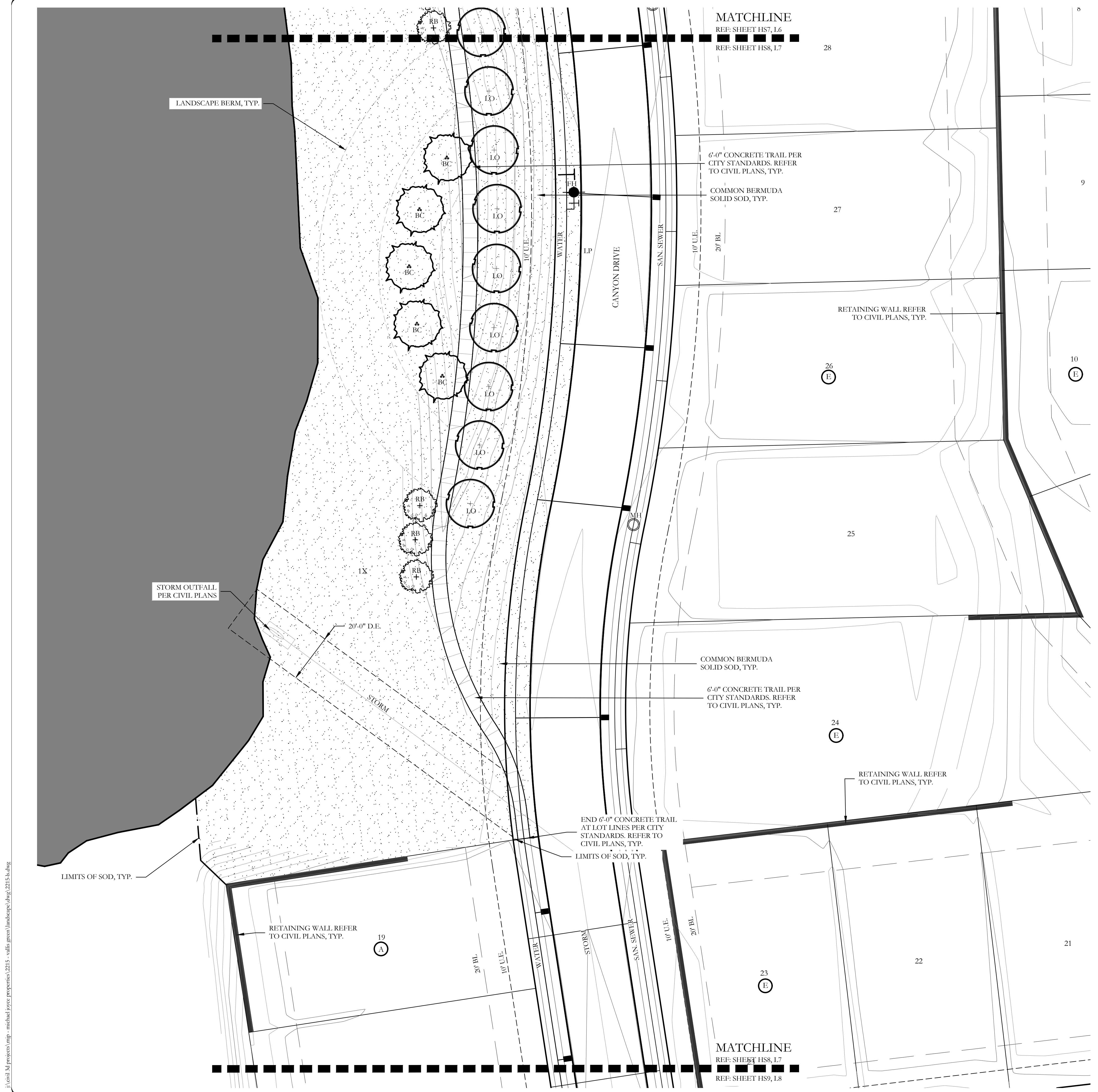


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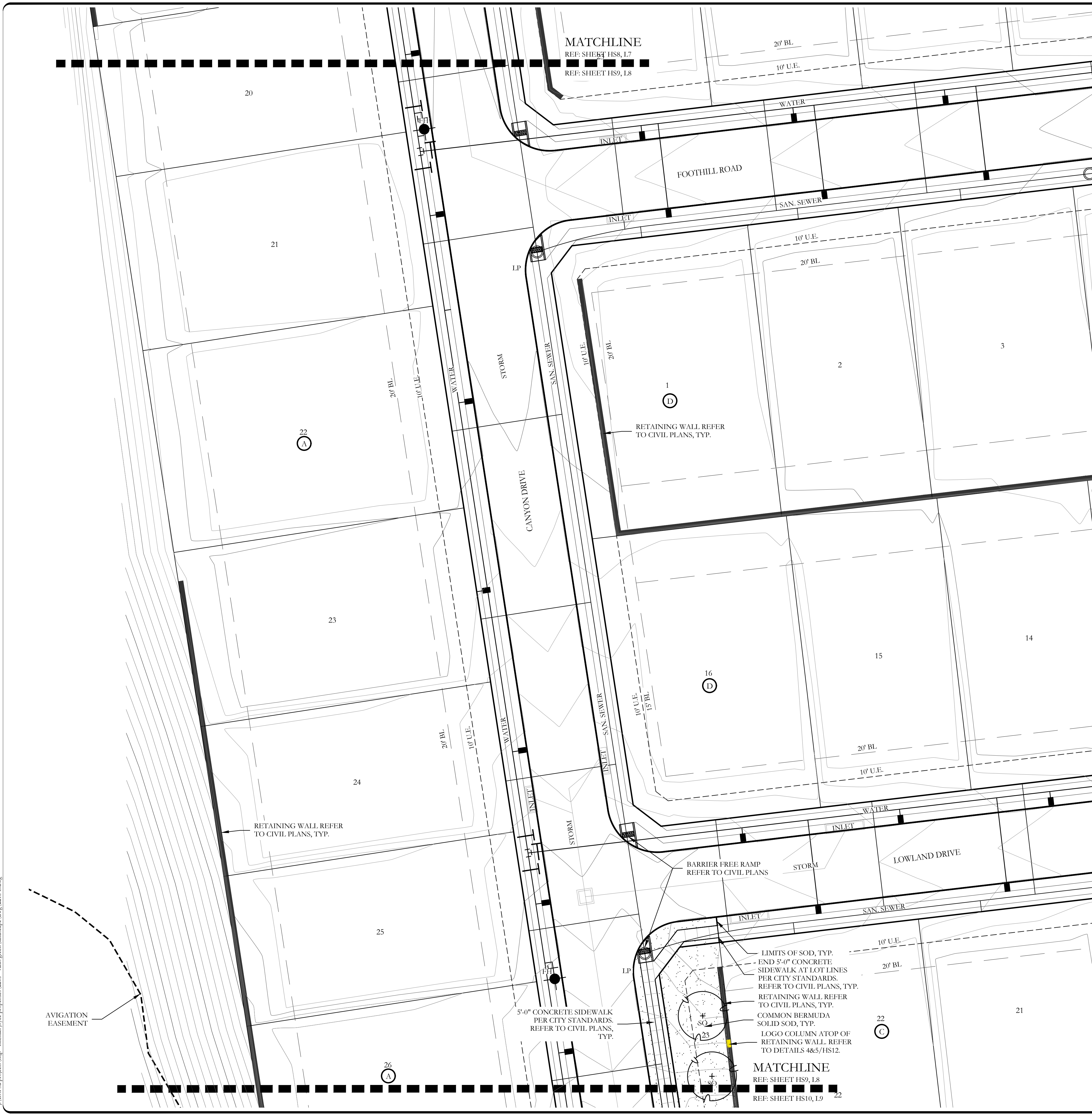
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	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

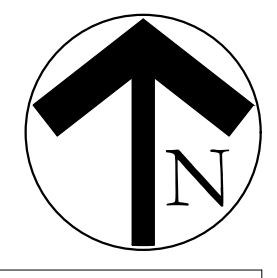
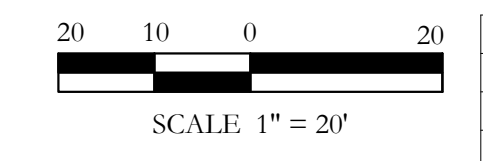


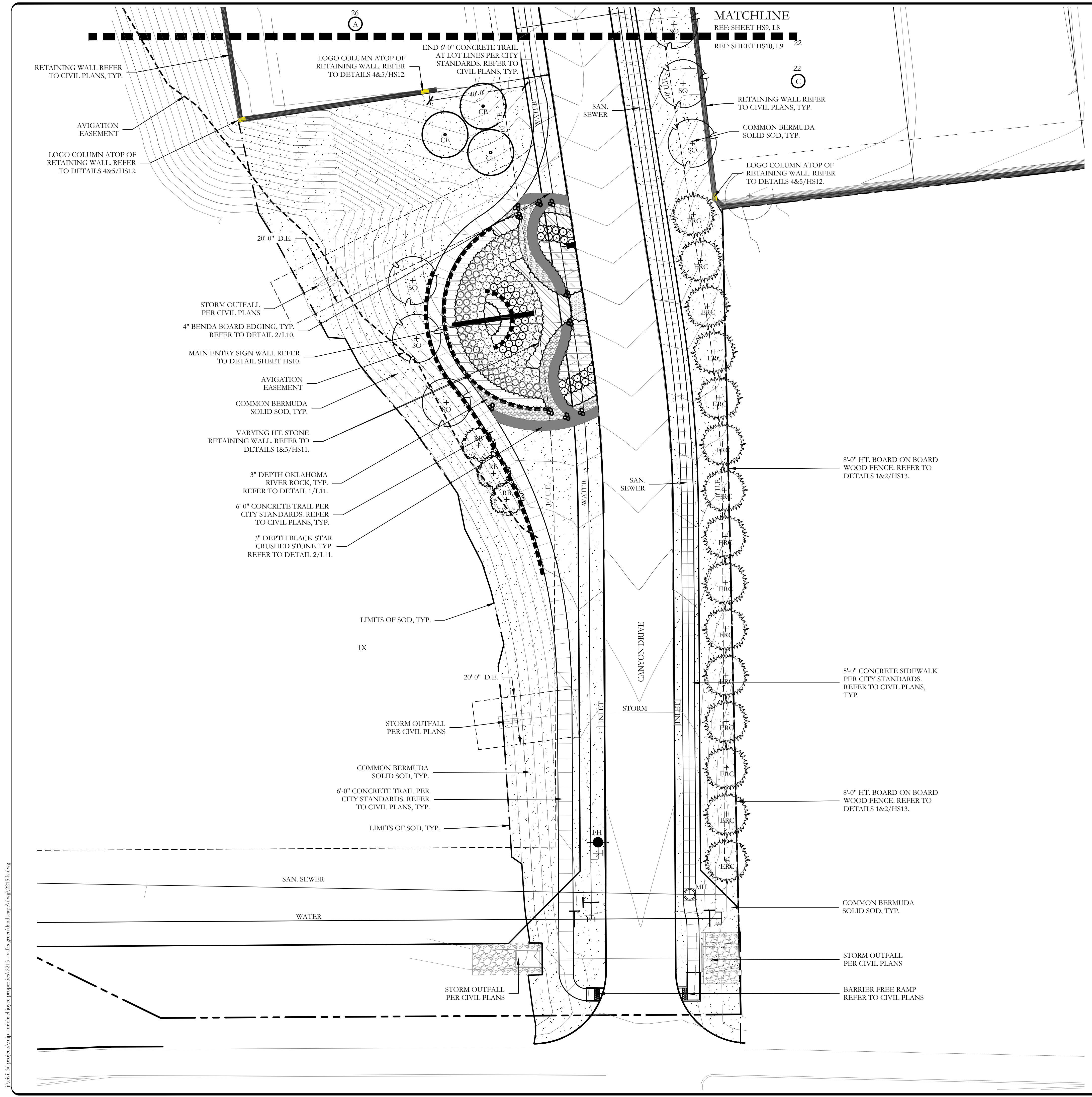
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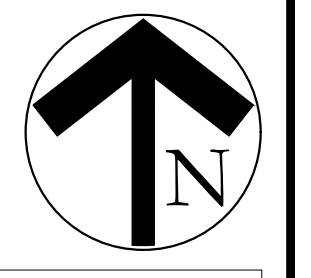
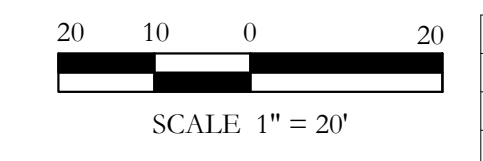
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
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		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	





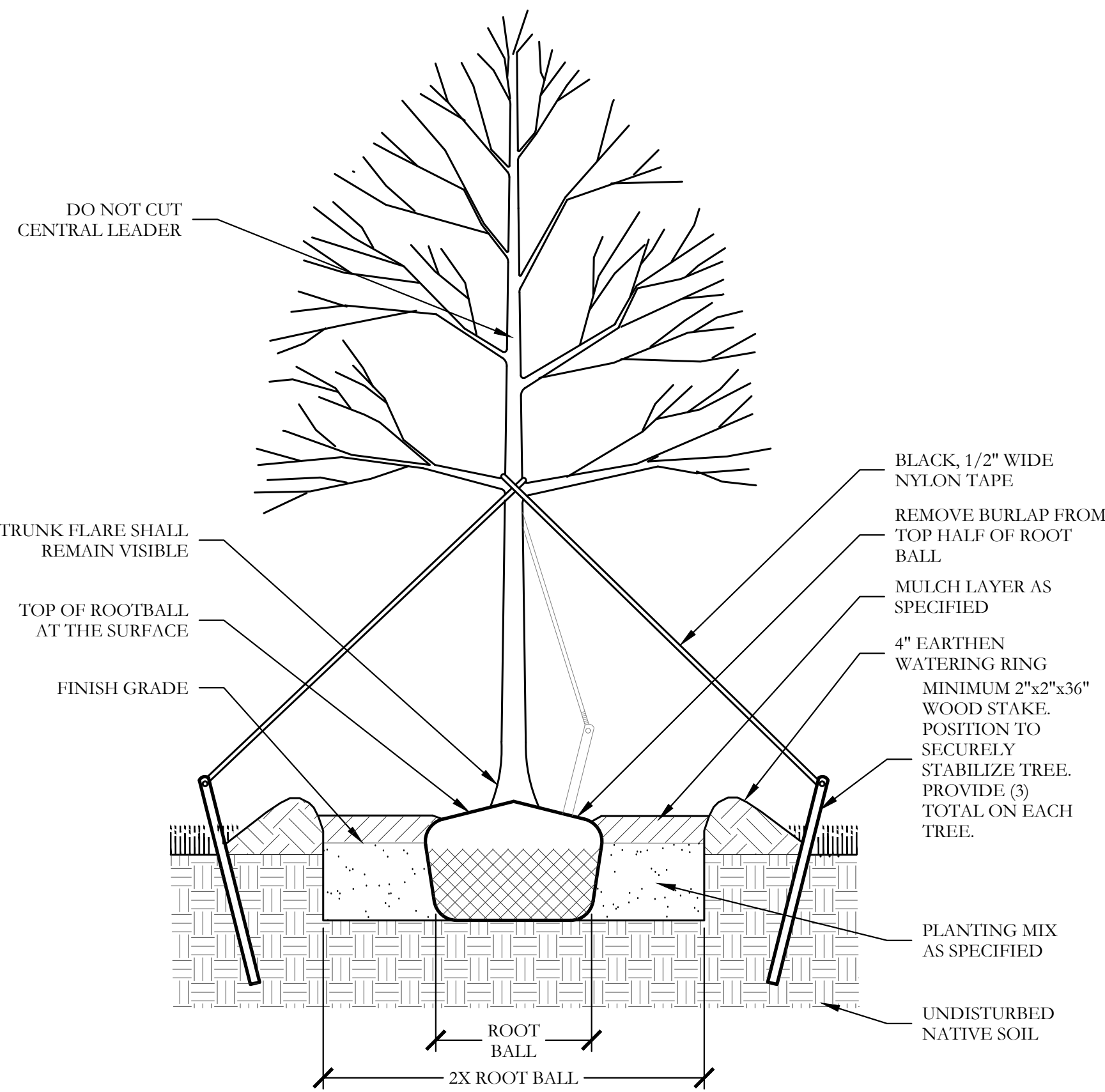
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
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		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

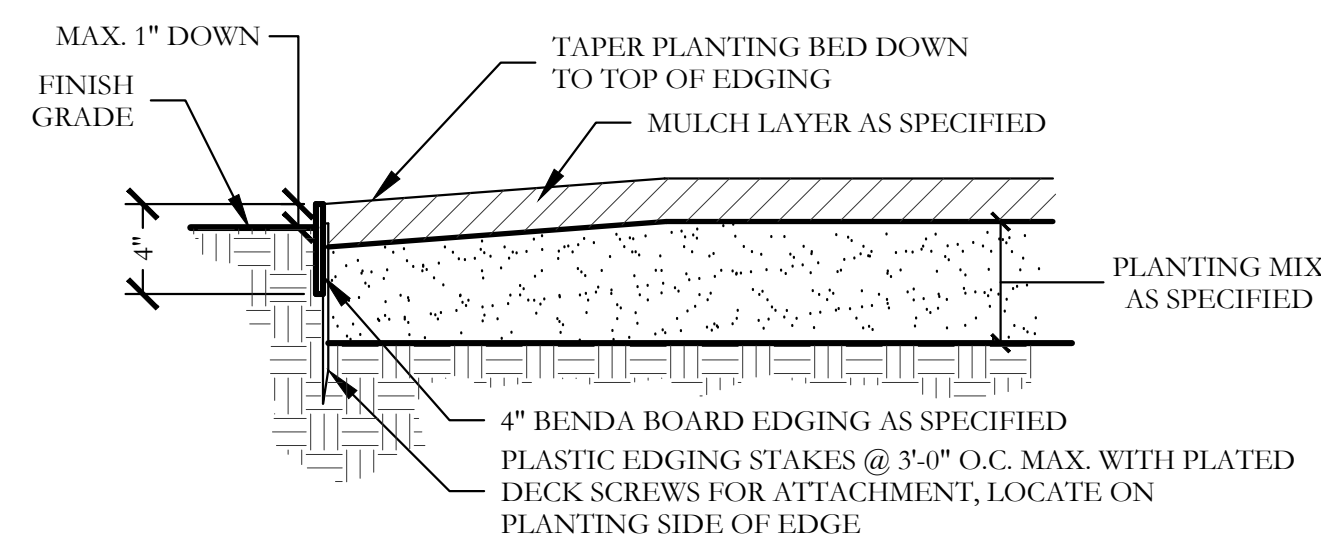


March 10, 2023

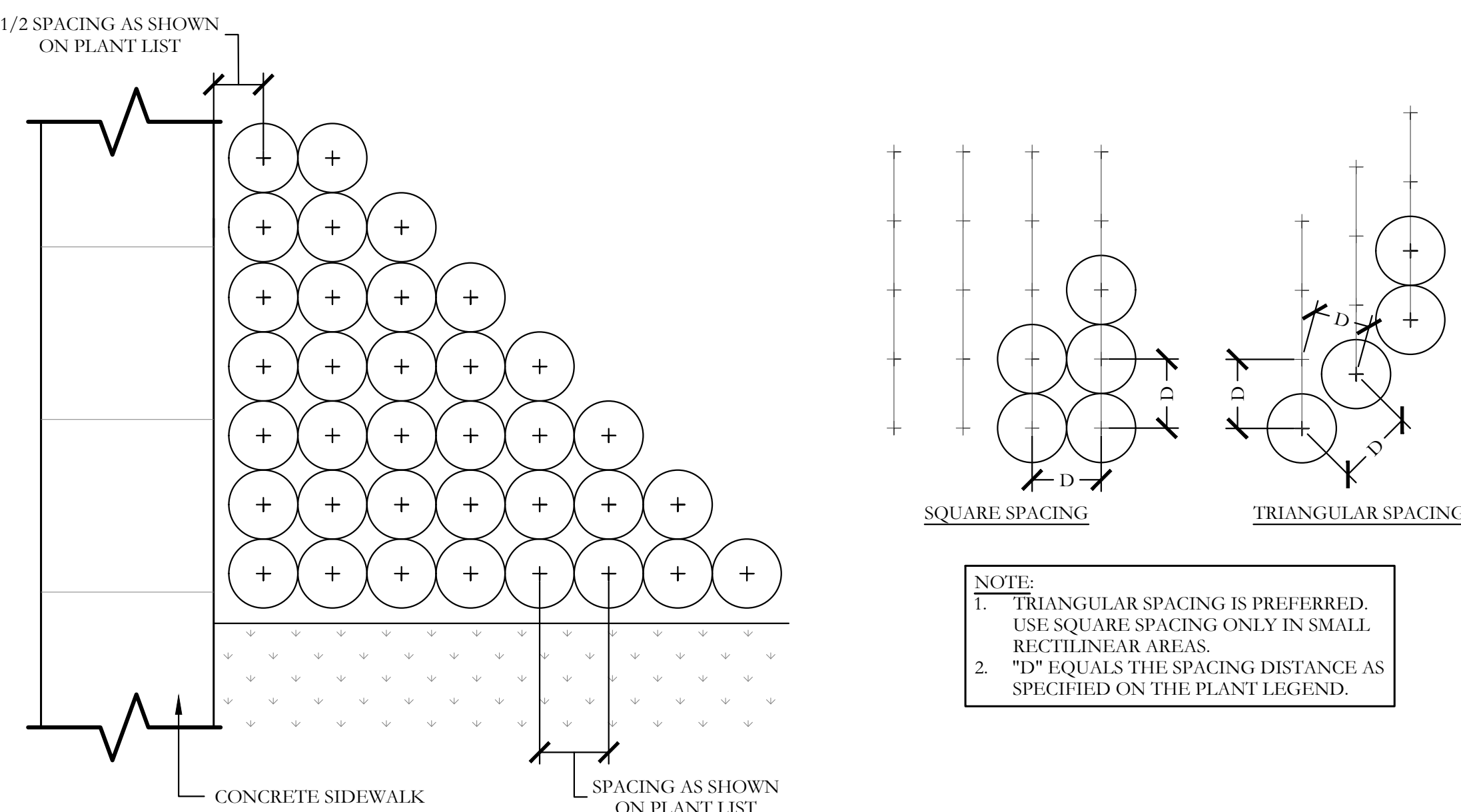
SCALE: 1" = 20'
 One Inch
 JVC No 2215



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	22	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	20	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	21	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	19	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	34	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
ERC	21	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	32	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	25	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	113	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	43	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	132	DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	214	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	133	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	135	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	660	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,380	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	3,320	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,820	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	1,005	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	242,700	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	2,045	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	2,755	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	5.5	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE. BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

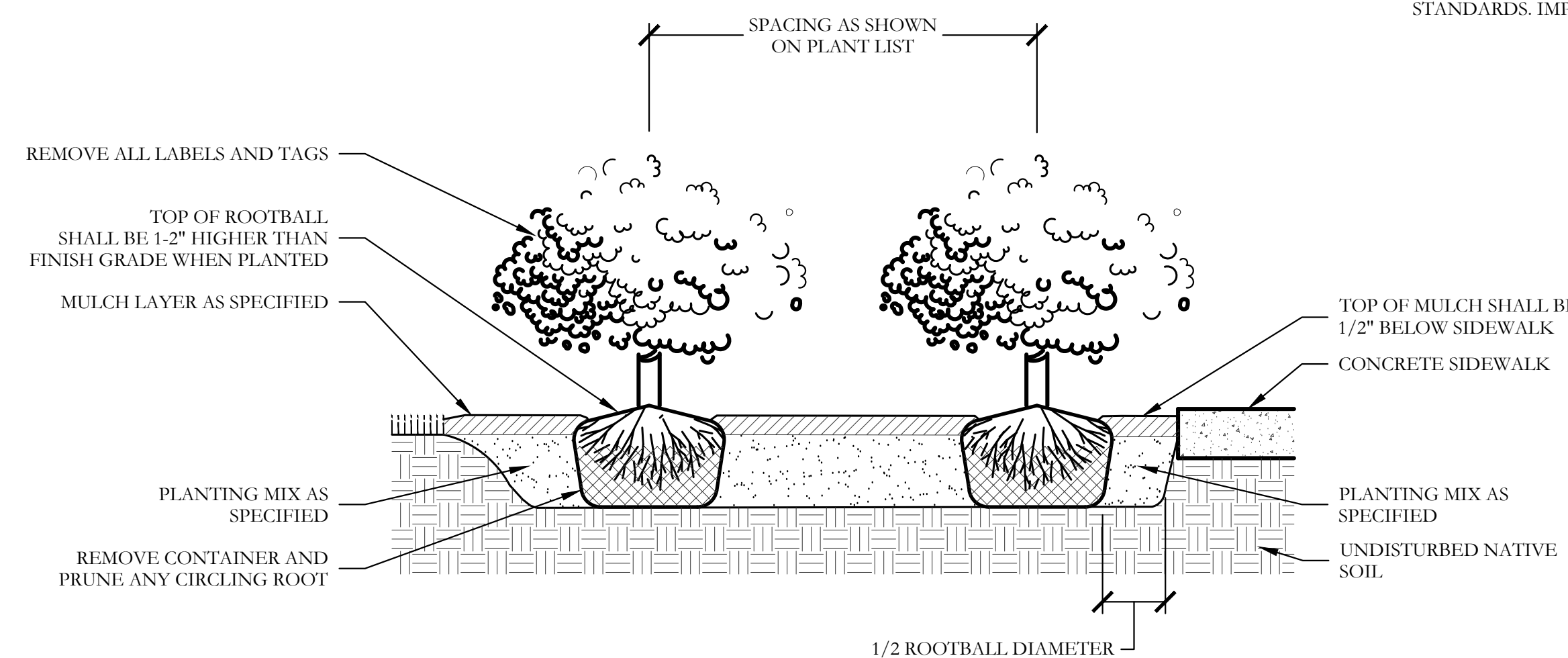
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

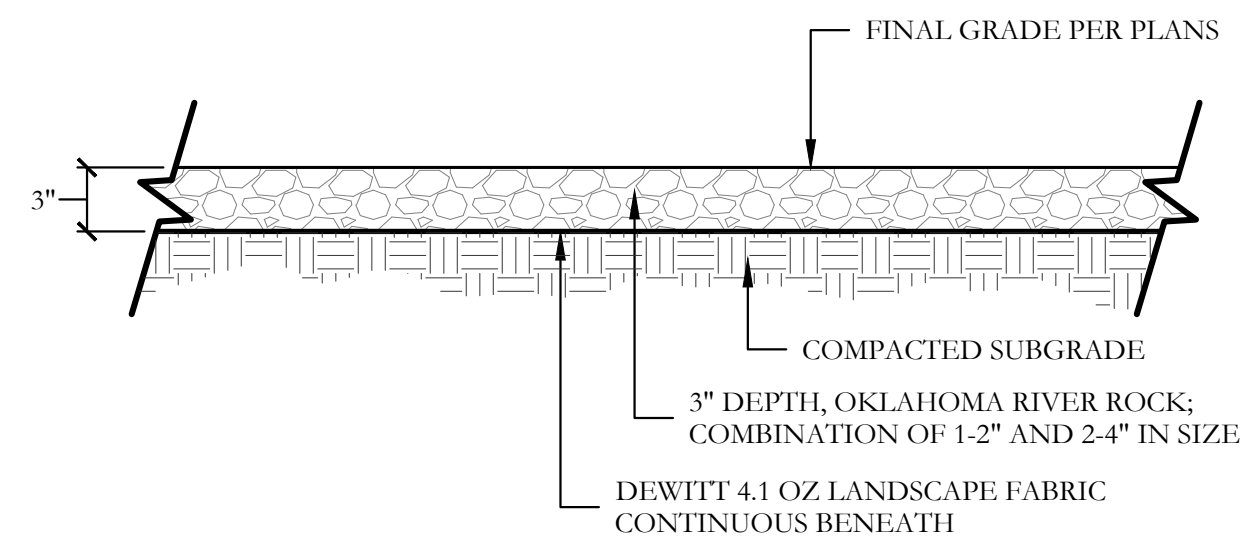
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

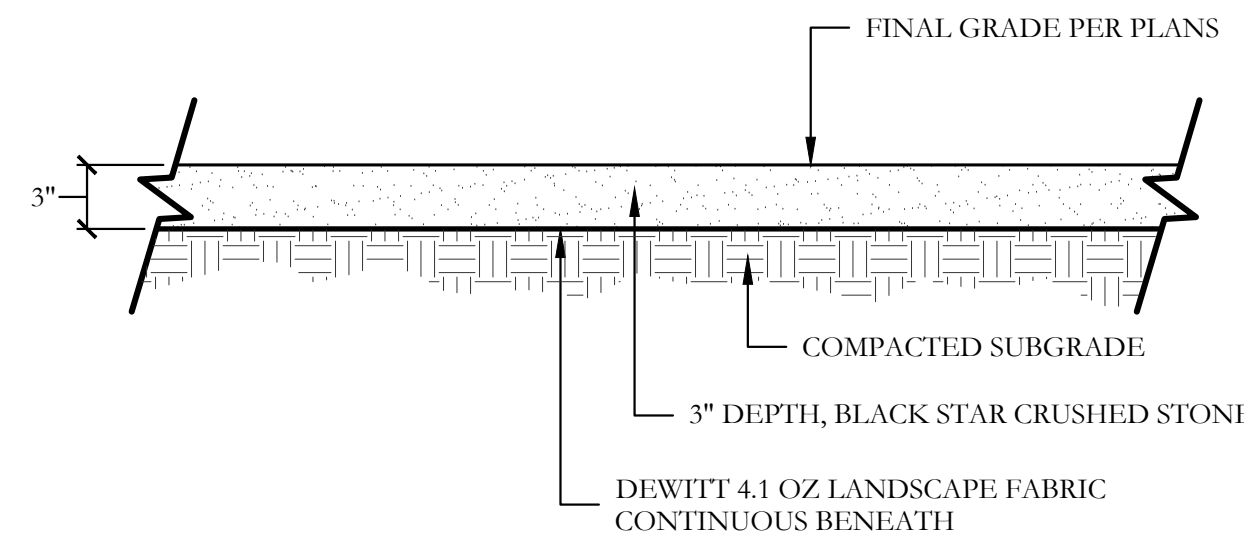
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



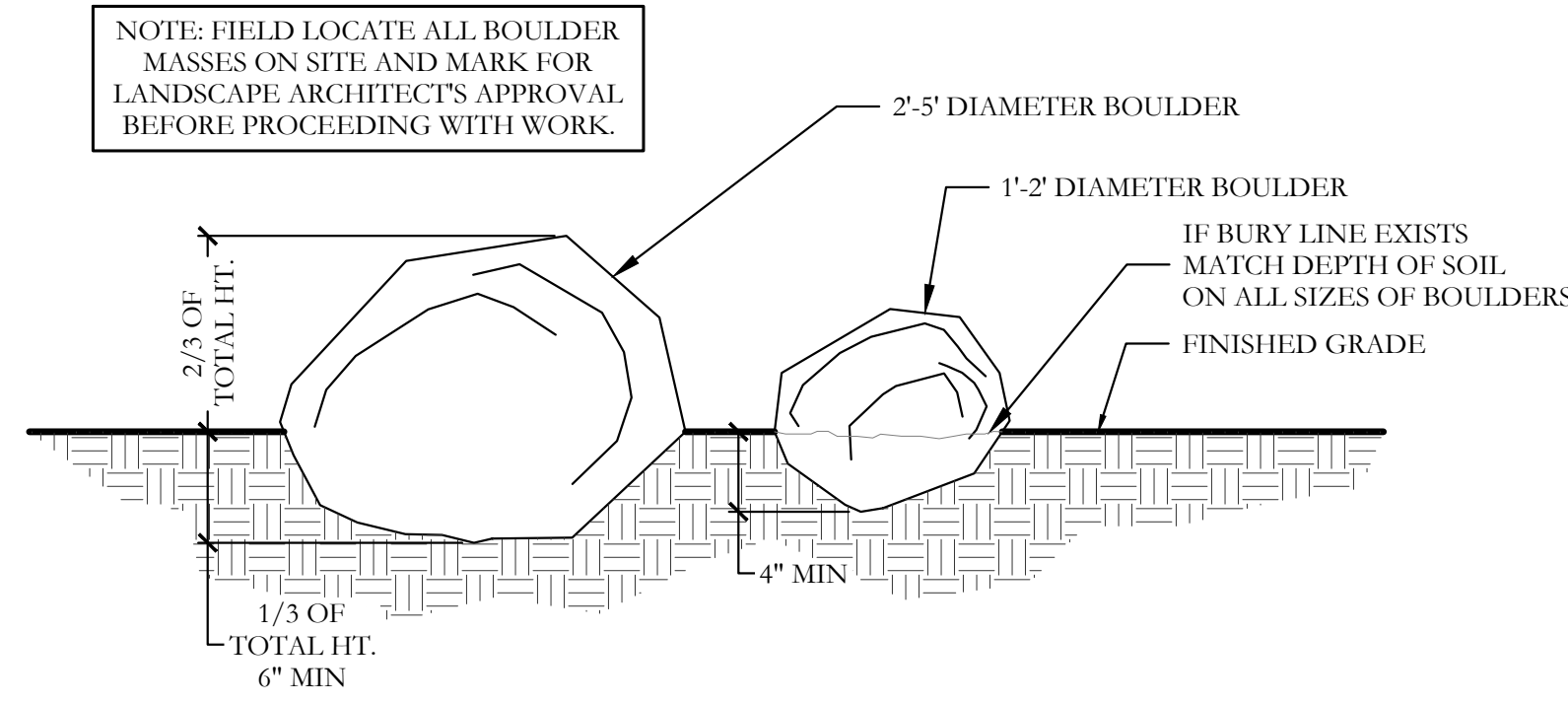
NOT TO SCALE



1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

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SCALE:
 REFER TO
 DETAILS
 One Inch
 JVC No 2215



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMORANDUM
PLANNING AND ZONING DEPARTMENT
 385 S. GOLIAD STREET • ROCKWALL, TX 75087
 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: April 11, 2023
SUBJECT: SP2023-012; *PD Site Plan for Phase 1 of the Terraces Subdivision*

The applicant, Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC, is requesting the approval of a Site Plan for Phase 1 of the Terraces Subdivision. The subject property is a 94.144-acre tract of land (*i.e. a portion of Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) generally located south of the intersection of Cornelius Road and FM-1141. Concurrently with this *Site Plan*, the applicant has submitted a *Final Plat* [Case No. P2023-007].

The subject property is zoned Planned Development District 93 (PD-93) [Ordinance No. 22-47] for Single-Family 10 (SF-10) District land uses. Based on this Planned Development District, the proposed subdivision will consist of five (5) lots sizes (*i.e. [Type A Lots] 9, 100' x 130' lots; [Type B Lots] 26, 82' x 120' lots; [Type C Lots] 86, 72' x 110' lots; [Type D Lots] 34, 72' x 110' lots; and [Type E Lots] 108, 62' x 110'*), and be subject to the following density and dimensional requirements:

Lot Type (see Concept Plan) ►	A	B	C	D	E
Minimum Lot Width ⁽¹⁾	100'	82'	72'	72'	62'
Minimum Lot Depth	130'	120'	115'	110'	110'
Minimum Lot Area	13,000 SF	10,000 SF	9,000 SF	8,400 SF	7,200 SF
Minimum Front Yard Setback ^{(2), (5) & (6)}	25'	20'	20'	20'	20'
Minimum Side Yard Setback	15'	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2), (5) & (7)}	15'	15'	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'	20'	20'
Maximum Height ⁽³⁾	35'	35'	35'	35'	35'
Minimum Rear Yard Setback ⁽⁴⁾	25'	20'	20'	20'	20'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,400 SF	2,200 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	45'	45'	45'	65'	65'

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE *FRONT YARD BUILDING SETBACK*. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE *FRONT YARD BUILDING SETBACK* AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE *MAXIMUM HEIGHT* SHALL BE MEASURED TO THE EAVE OR TOP PLATE (*WHICHEVER IS GREATER*) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE *REAR YARD BUILDING SETBACK* AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE *FRONT YARD BUILDING SETBACK* AND *SIDE YARD BUILDING SETBACK* BY UP TO FIVE (5) FEET FOR ANY PROPERTY. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: *J-SWING* OR *TRADITIONAL SWING GARAGES* ARE PERMITTED TO ENCROACH INTO THE *FRONT YARD BUILDING SETBACK* A MINIMUM OF FIVE (5) FEET.
- 7: ALL *CORNER LOTS* THAT BACK TO A LOT THAT FRONTS ONTO THE SAME STREET THAT THE *CORNER LOT SIDES* TO (*I.E. A KEYSTONE LOT*), SHALL HAVE A SETBACK THAT IS EQUAL TO THE FRONT SETBACK OF THE FRONTING LOT. IN ADDITION, NO SOLID FENCE SHALL BE SITUATED WITHIN THIS SETBACK.

The proposed *Site Plan* appears to conform to all requirements stipulated by *Ordinance No. 22-47*. In addition, the submitted *Treescape Plan* and *Landscape Plan* show that the tree mitigation balance will be satisfied by the required landscape plantings, and the additional requirement for two (2) canopy trees per residential lot (*four [4] canopy trees for corner lots*). Staff should note, that as part of the zoning process, the applicant agreed to amenitize a 4.0-acre tract of land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract No. 72*) in instead of paying the cash in lieu of land fees (*i.e. \$609.00 x 181 lots = \$110,229.00*) and pro-rata equipment fees (*i.e. \$577.00 x 181 Lots*). The *Hardscape Plan* shows the proposed entry monumentation signage, sidewalks, and trails. With this being said, since the request generally conforms to the requirements of Planned Development District 93 (PD-93) [Ordinance No. 22-47] and the Unified Development Code (UDC), this case is

being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the April 11, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING CASE NO. SP2023-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²</p> <p>NOTES:</p> <p>¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1649 FM 1141, Rockwall, 75087**

SUBDIVISION **ABS A0122, MB Jones, Tract 4-01** LOT BLOCK

GENERAL LOCATION **Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Planned Development PD-93** CURRENT USE **Planned Development PD-93**

PROPOSED ZONING PROPOSED USE

ACREAGE **94.144** LOTS [CURRENT] **181** LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER TM Terraces, LLC	<input checked="" type="checkbox"/> APPLICANT Michael Joyce Properties
CONTACT PERSON Bret Pedigo	CONTACT PERSON Ryan Joyce
ADDRESS 4416 W. Lovers Lane, Suite 200	ADDRESS 767 Justin Road
CITY, STATE & ZIP Dallas, TX 76209	CITY, STATE & ZIP Rockwall, TX 75087
PHONE	PHONE 512-965-6280
E-MAIL	E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bret Pedigo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

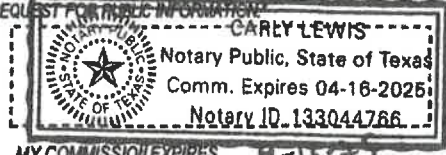
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2132.87 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF MARCH 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

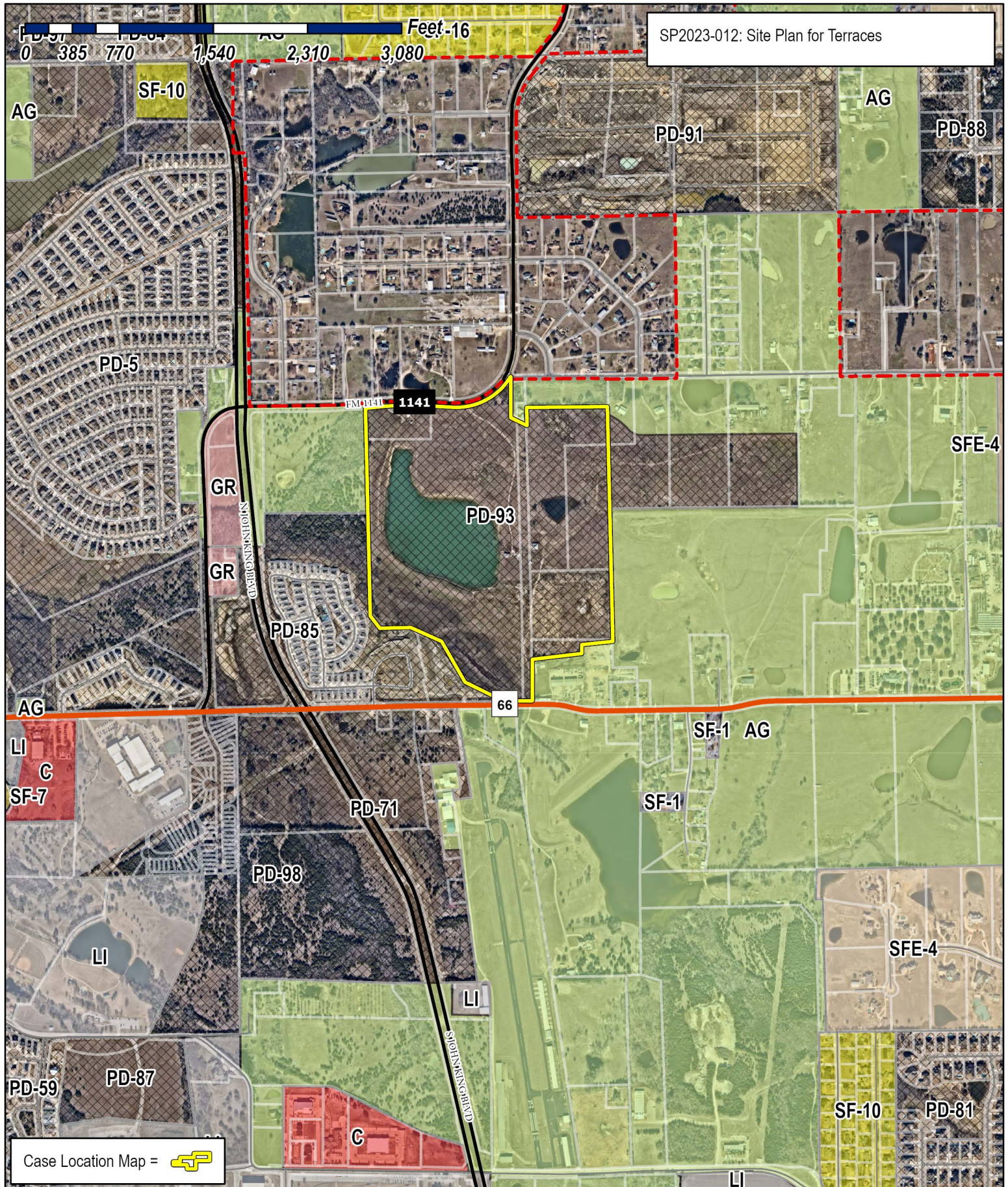
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March 2023

OWNER'S SIGNATURE

Bret Pedigo
Cary Lewis


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2023-012: Site Plan for Terraces

Feet-16
0 385 770 1,540 2,310 3,080

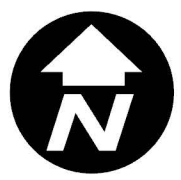
Case Location Map = 

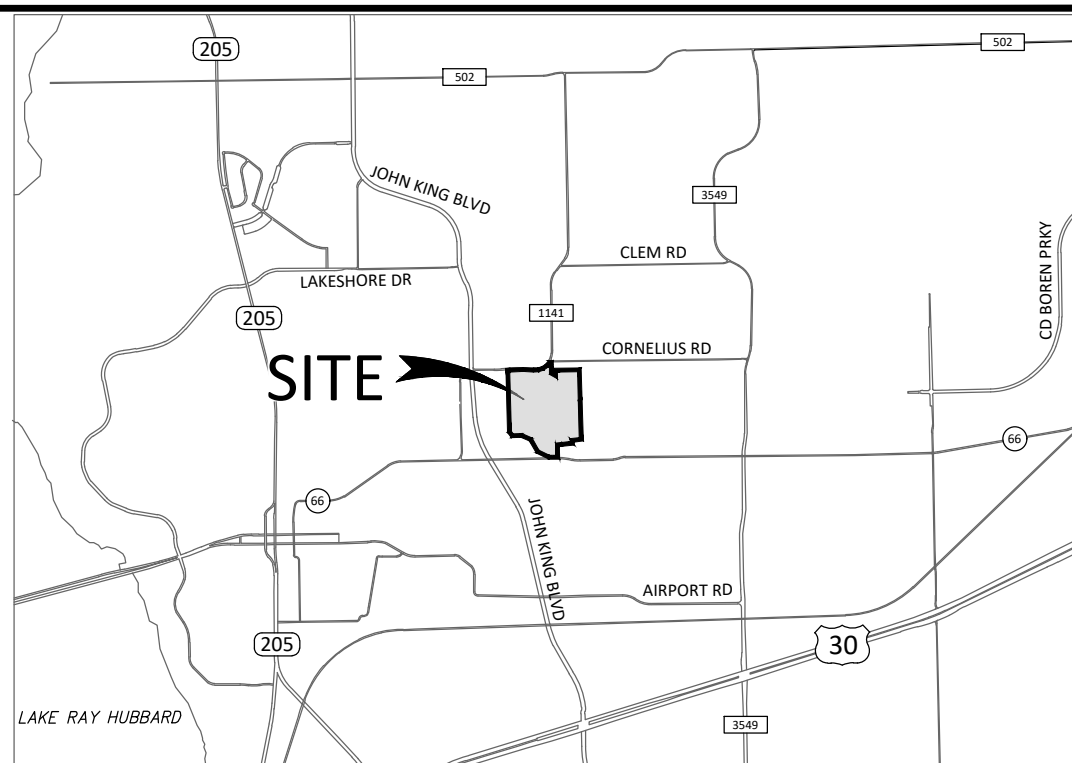
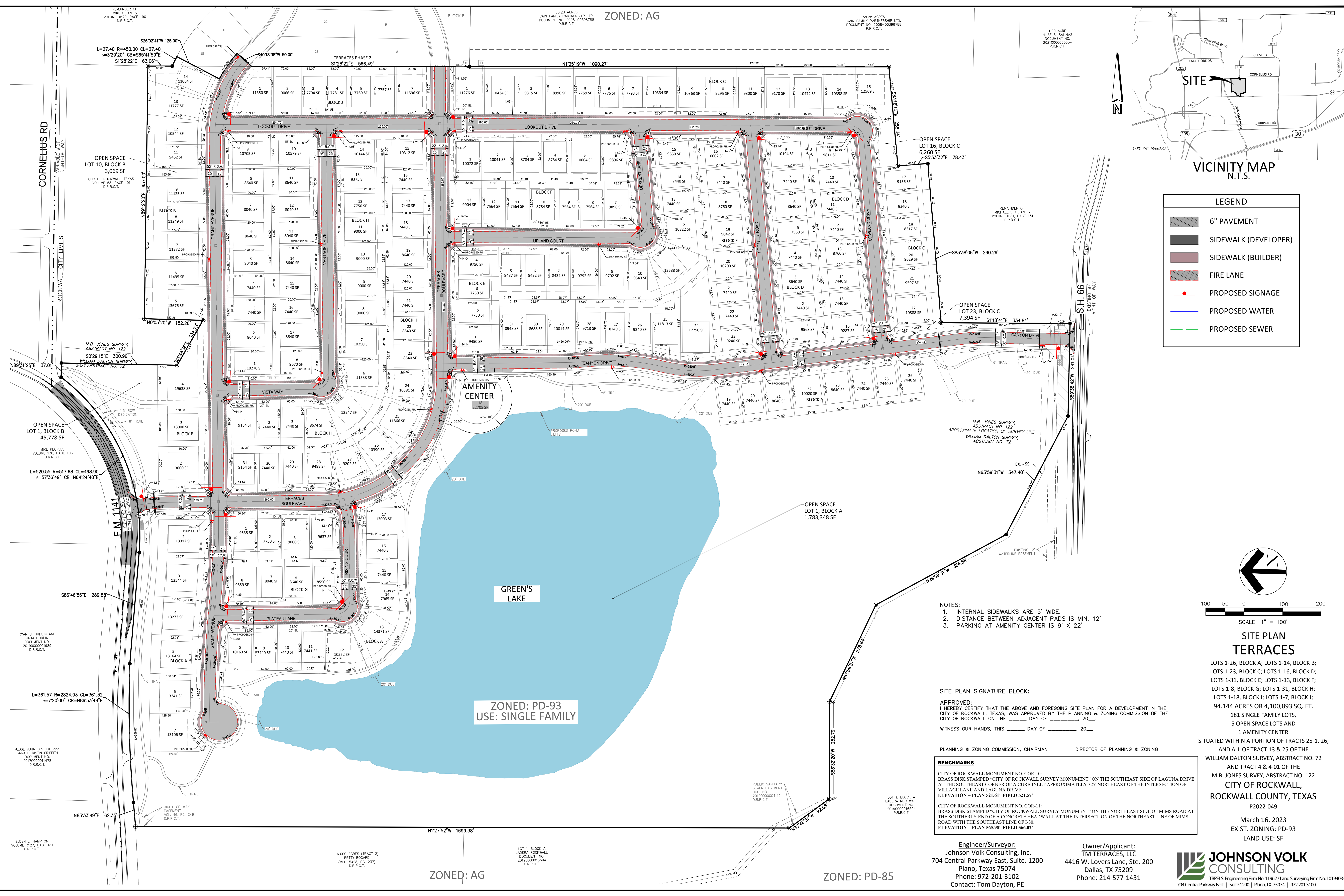


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

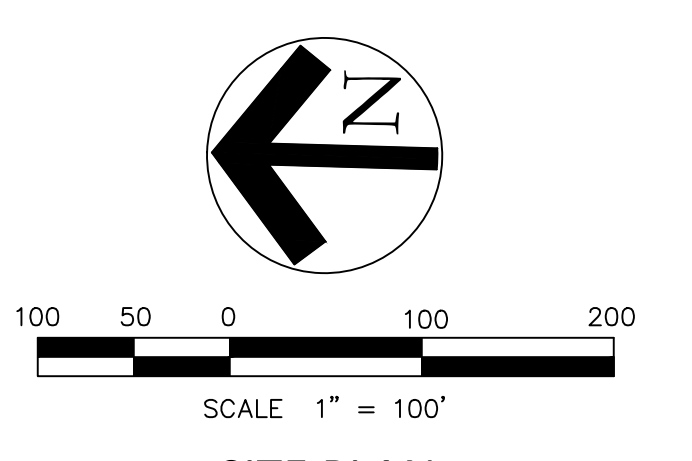
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)
- FIRE LANE
- PROPOSED SIGNAGE
- PROPOSED WATER
- PROPOSED SEWER



- NOTES:**
- INTERNAL SIDEWALKS ARE 5' WIDE.
 - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'
 - PARKING AT AMENITY CENTER IS 9' X 22'

SITE PLAN SIGNATURE BLOCK:

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20__

WITNESS OUR HANDS, THIS ____ DAY OF ____ 20__

BENCHMARKS

CITY OF ROCKWALL MONUMENT NO. COR-10: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE. ELEVATION = PLAN 521.61' FIELD 521.57'

CITY OF ROCKWALL MONUMENT NO. COR-11: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30. ELEVATION = PLAN 565.98' FIELD 566.02'

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

Owner/Applicant:
 TM TERRACES, LLC
 4416 W. Lovers Lane, Ste. 200
 Dallas, TX 75209
 Phone: 214-577-1431

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

REMANINDER OF MIKE PEOPLES VOLUME 1679, PAGE 190 D.R.R.C.T.

REMANINDER OF MICHAEL L. PEOPLES VOLUME 1081, PAGE 151 D.R.R.C.T.

REMANINDER OF M.B. JONES SURVEY, ABSTRACT NO. 122 WILLIAM DALTON SURVEY, ABSTRACT NO. 72

MIKE PEOPLES VOLUME 138, PAGE 106 D.R.R.C.T.

RYAN S. HUDDIN AND JADA HUDDIN DOCUMENT NO. 2019000001989 D.R.R.C.T.

JESSE JOHN GRIFFITH and SARAH KRISTIN GRIFFITH DOCUMENT NO. 20170000011478 D.R.R.C.T.

ELDEN L. HAMPTON VOLUME 3107, PAGE 161 D.R.R.C.T.

ZONED: AG

08.28 ACRES
 CAIN FAMILY PARTNERSHIP LTD.
 DOCUMENT NO. 2008-00396788
 P.R.R.C.T.

58.28 ACRES
 CAIN FAMILY PARTNERSHIP LTD.
 DOCUMENT NO. 2008-00396788
 P.R.R.C.T.

1.00 ACRE
 HILSE S. SALINAS
 DOCUMENT NO. 20210000000454
 P.R.R.C.T.

**ZONED: PD-93
 USE: SINGLE FAMILY**

16.000 ACRES (TRACT 2)
 BETTY BOSGARD
 (VOL. 5428, PG. 237)
 D.R.R.C.T.

LOT 1, BLOCK A
 LADERA ROCKWALL
 DOCUMENT NO. 20190000016594
 P.R.R.C.T.

LOT 1, BLOCK A
 LADERA ROCKWALL
 DOCUMENT NO. 20190000016594
 P.R.R.C.T.

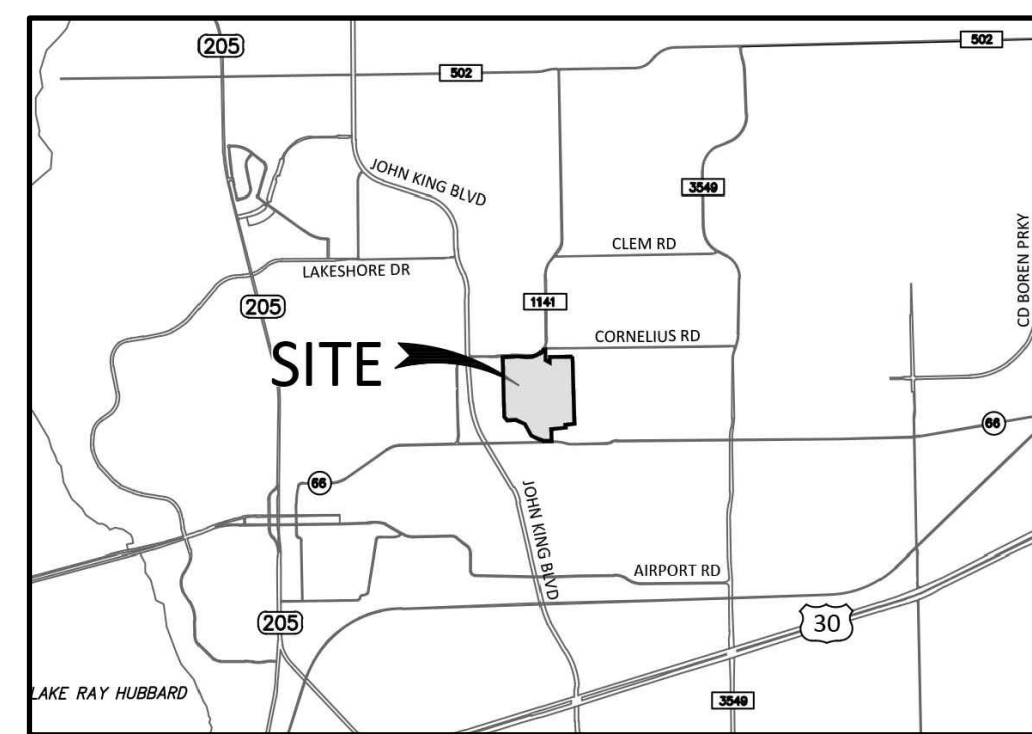
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~TERRACES~
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: March 10, 2023



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
HS1	OVERALL LAYOUT PLAN
HS2-HS10	HARDSCAPE PLANS
HS11-HS13	HARDSCAPE DETAILS
EX1	ENTRY LIGHTING EXHIBIT
L1-L9	LANDSCAPE PLANS
L110-L10	LANDSCAPE DETAILS

OWNER / DEVELOPER:

TM TERRACES, LLC
4416 W. LOVERS LANE
SUITE 200
DALLAS, TEXAS 75209
PH. 214-577-1431

CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY
EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

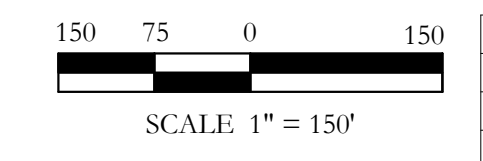
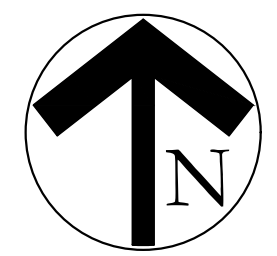
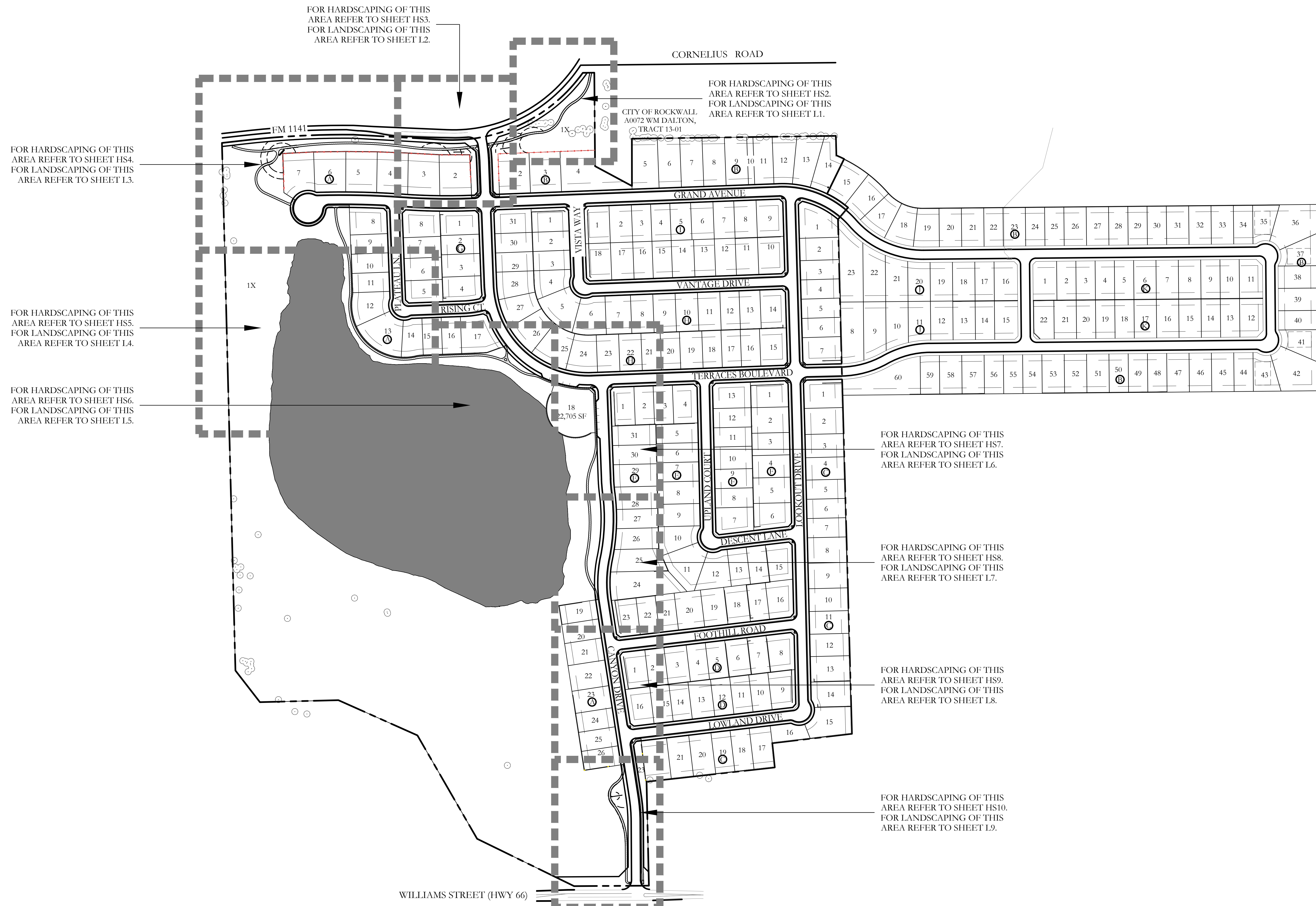
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

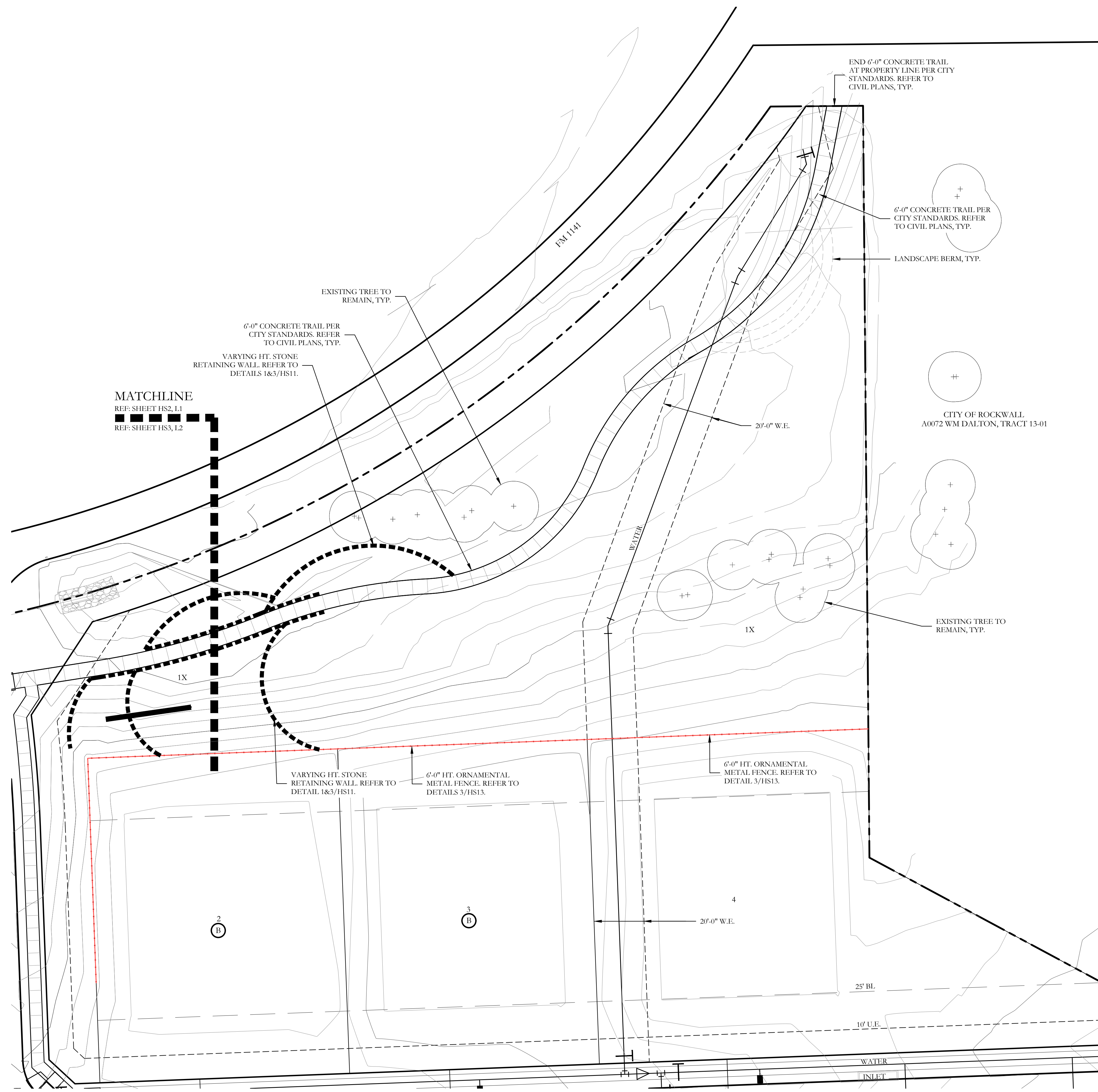
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HULDED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



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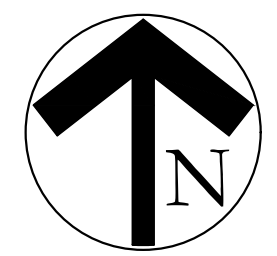
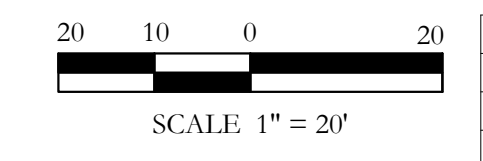
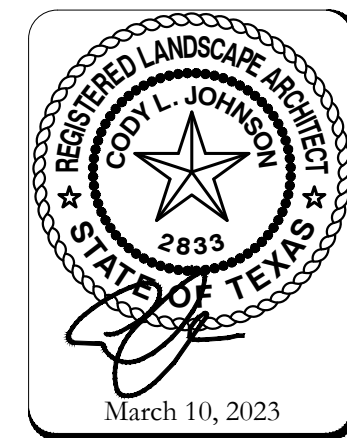
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HARDSCAPE LEGEND

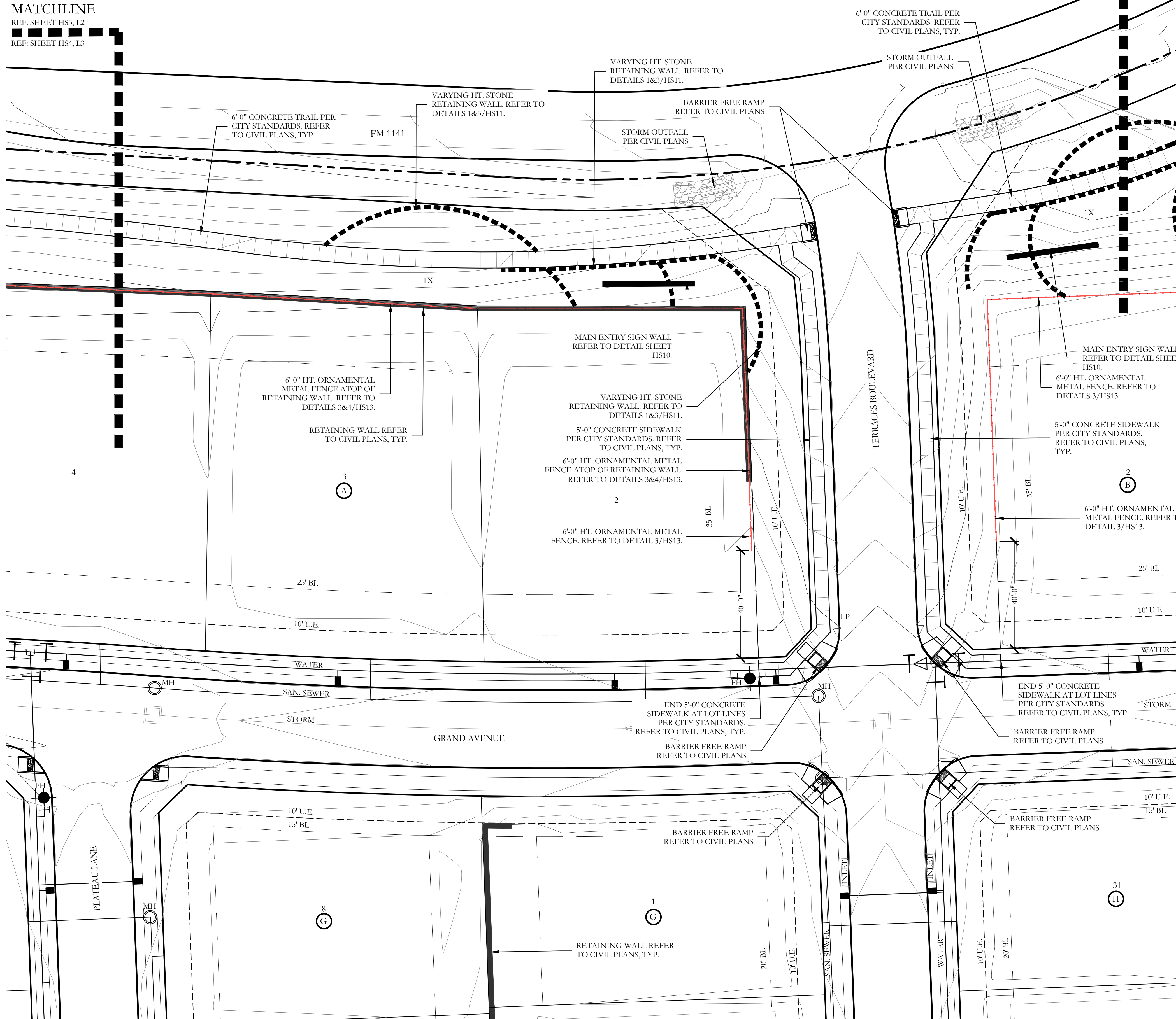
	MAIN ENTRY SIGN WALL. REFER TO DETAIL SHEET H11.
	8'-0" HT. STONE LOGO WALL. REFER TO DETAILS 1,2&3/HS12.
	8'-6" HT. STONE LOGO COLUMN ATOP OF RETAINING WALL. REFER TO DETAILS 4&5/HS12.
	8'-0" HT. BOARD ON BOARD WOOD FENCE. REFER TO DETAIL 1&2/HS13.
	VARYING HT. STONE RETAINING WALL. REFER TO DETAIL 3/HS11.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAIL 3/HS13.
	6'-0" HT. ORNAMENTAL METAL FENCE ATOP OF RETAINING WALL. REFER TO DETAIL 3&4/HS13.
	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
REFER TO CIVIL ENGINEERING PLANS PREPARED BY OTHERS FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



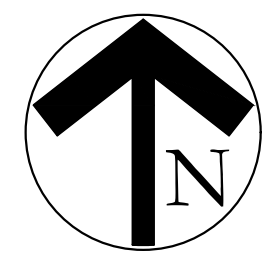
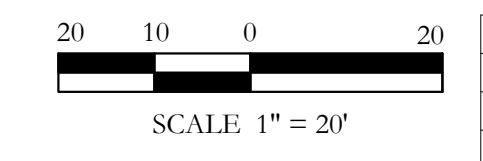
MATCHLINE
REF: SHEET HS3, L2
REF: SHEET HS4, L3

MATCHLINE
REF: SHEET HS2, L1
REF: SHEET HS3, L2



HARDSCAPE LEGEND	
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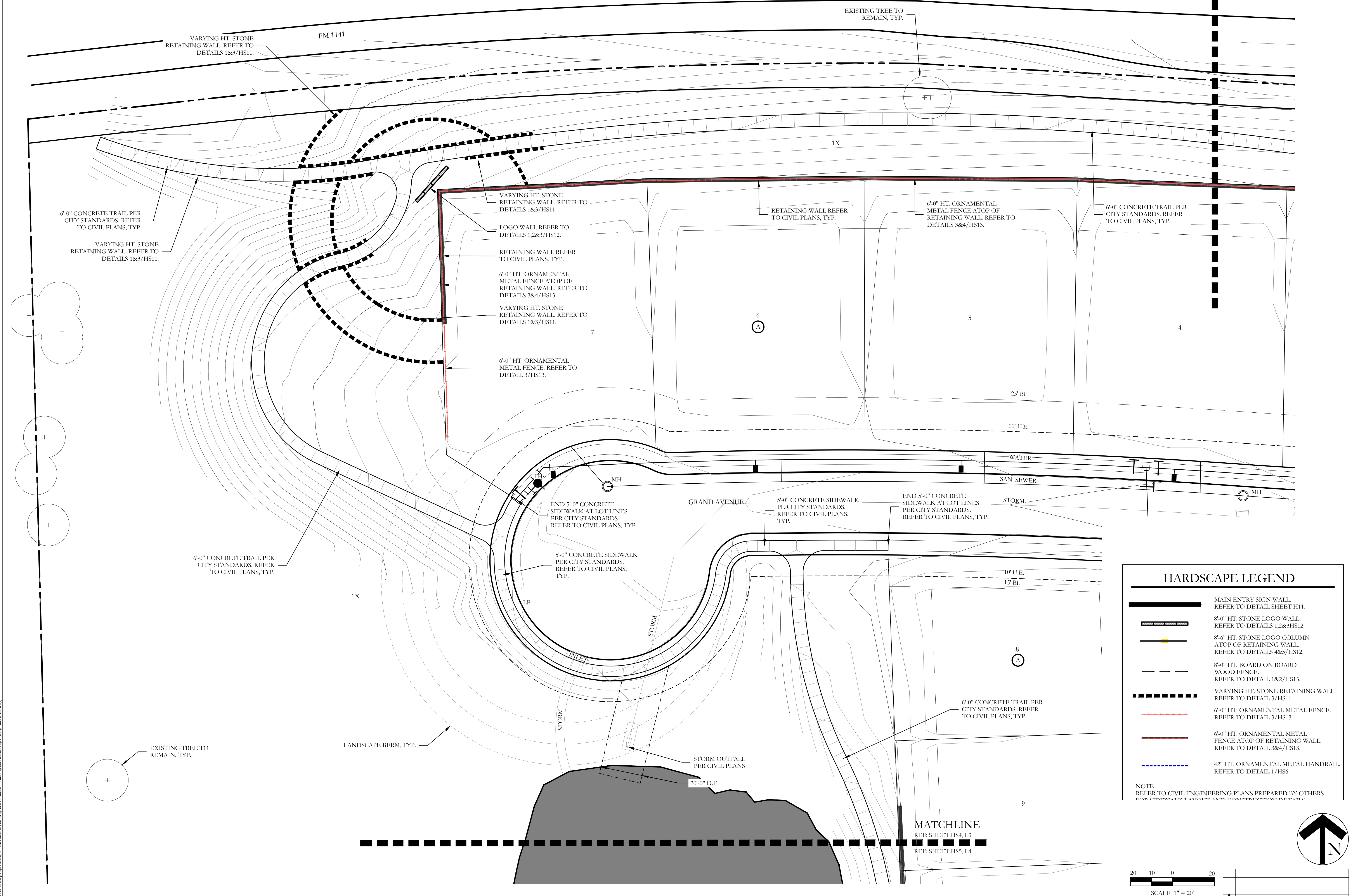
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MATCHLINE
REF: SHEET HS3, L2
REF: SHEET HS4, L3



HARDSCAPE LEGEND	
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	42" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1/HS6.

NOTE:
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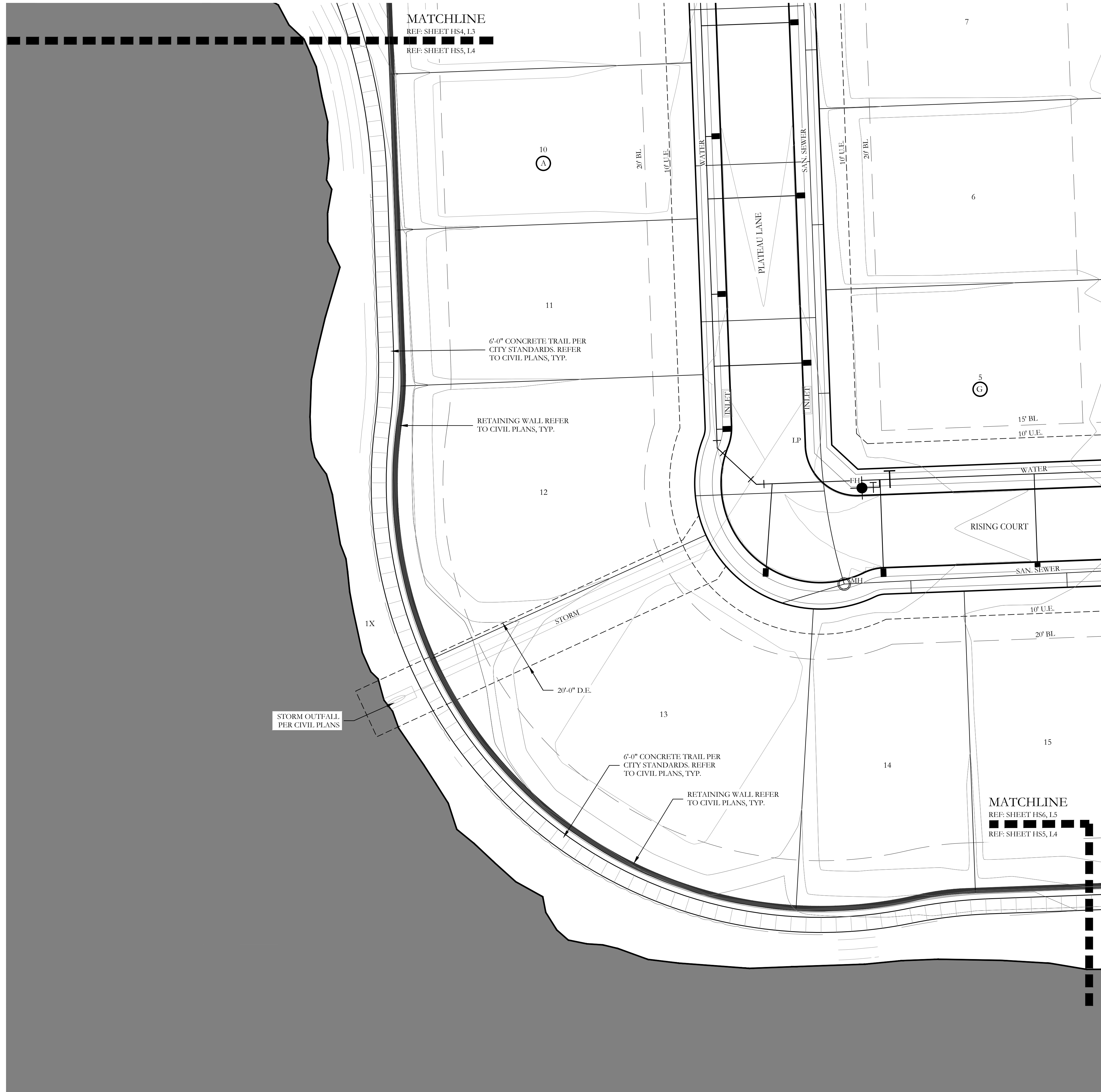
SCALE: 1" = 20'

One Inch

JVC No 2215

SCALE 1" = 20'

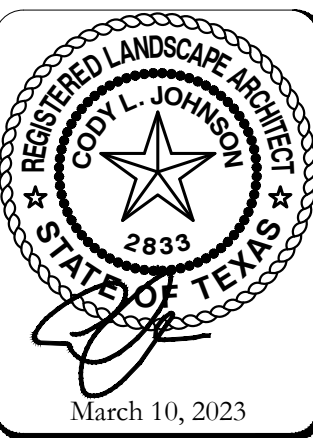
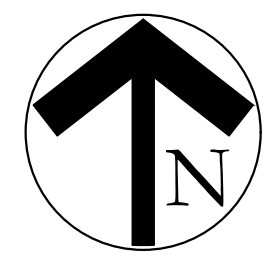
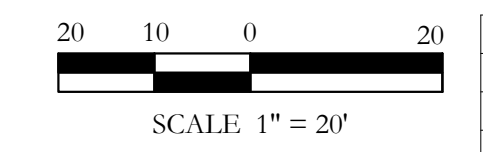
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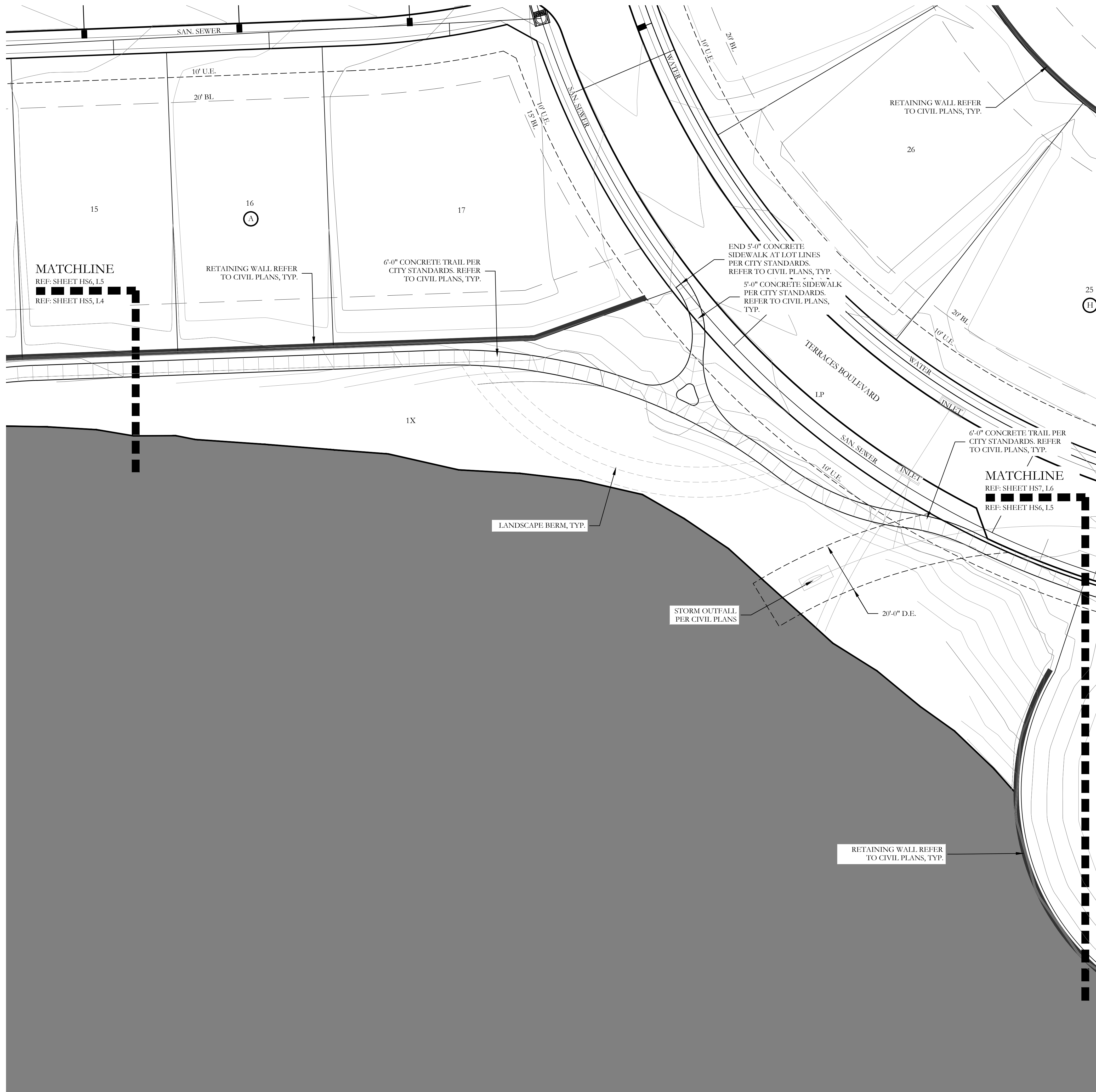


HARDSCAPE LEGEND

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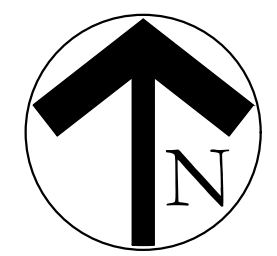
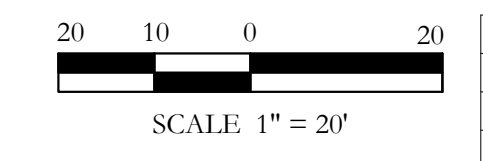




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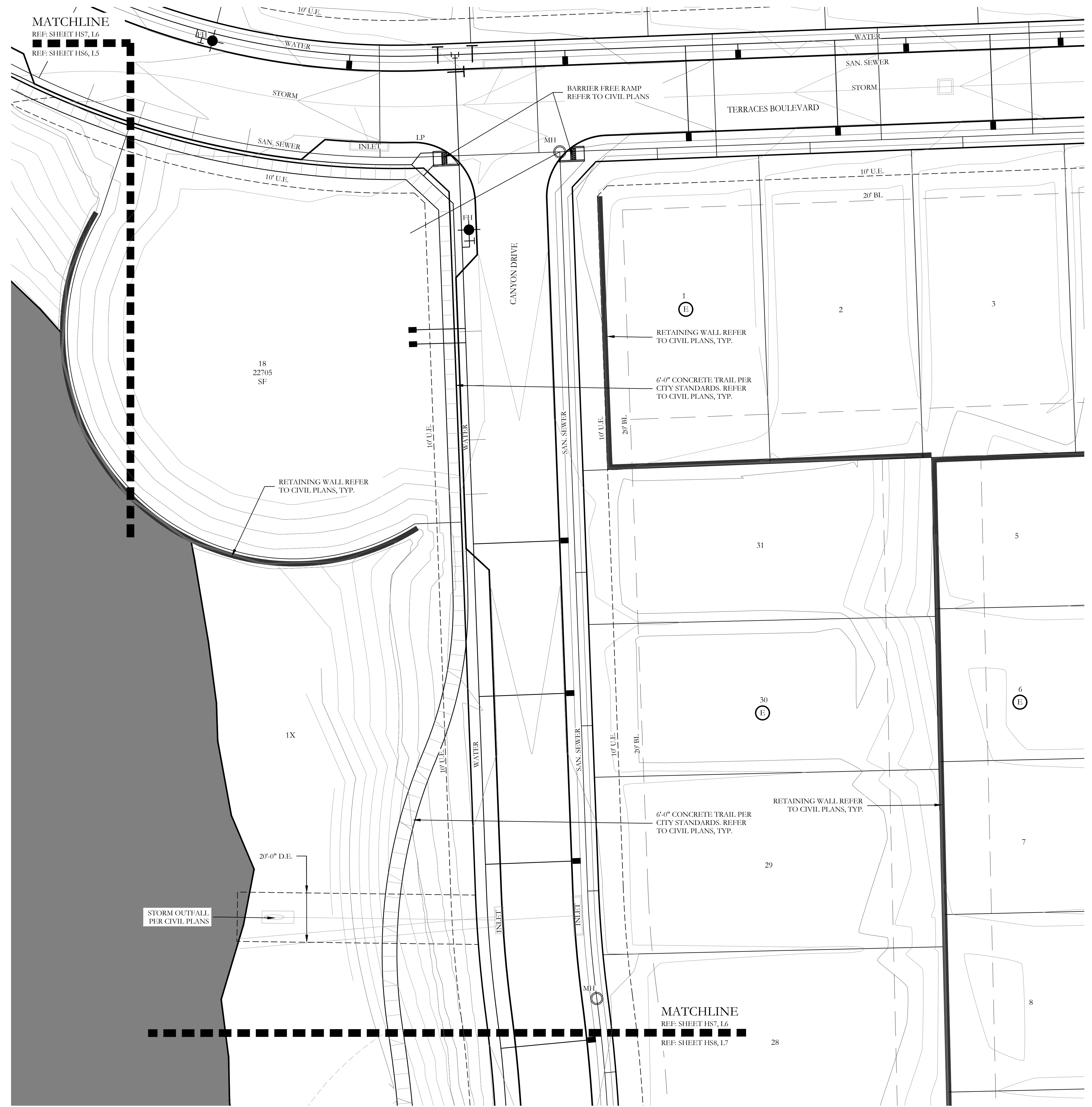
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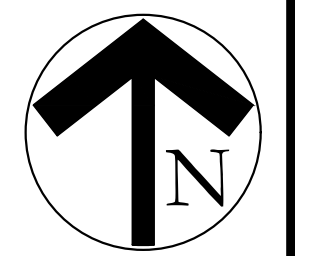
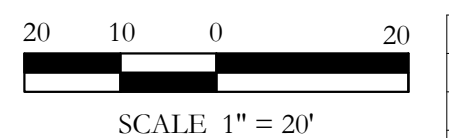
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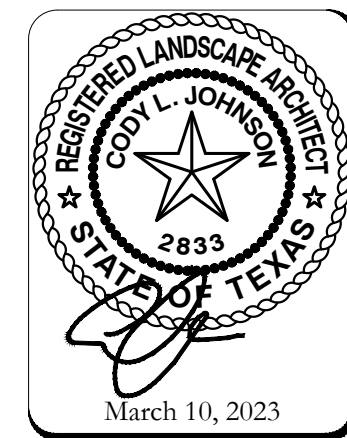
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JOHNSON VOLK CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 204 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

TERRACES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SCREENING AND BUFFERING
HARDSCAPE PLANS



SCALE: 1" = 20'
One Inch
JVC No 2215

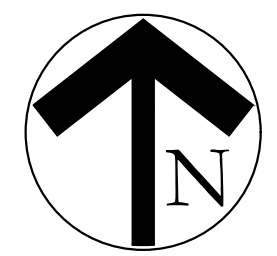
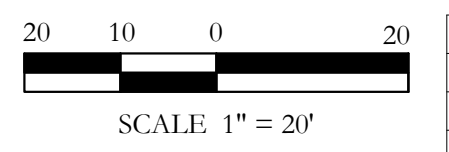
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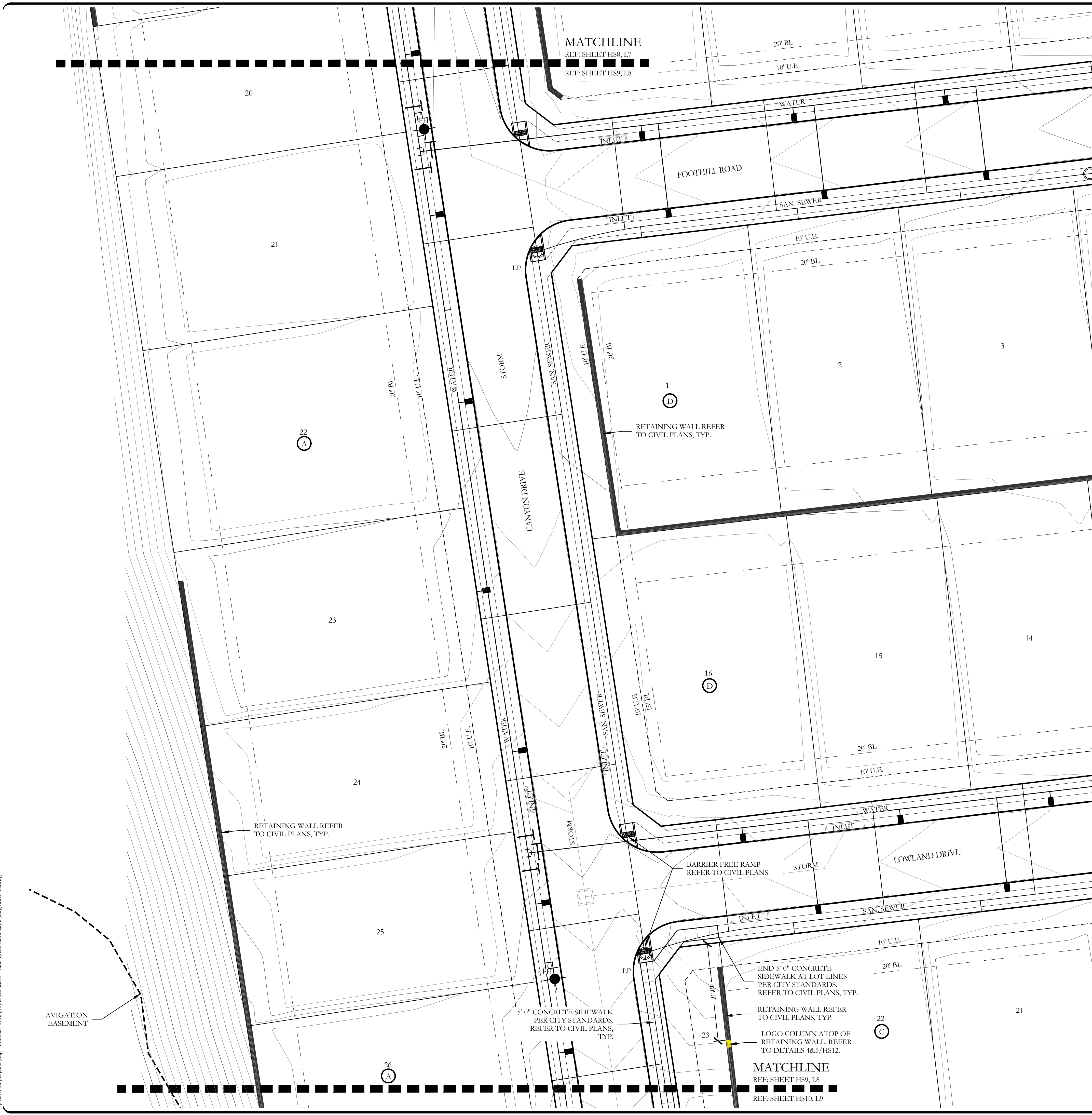


HARDSCAPE LEGEND

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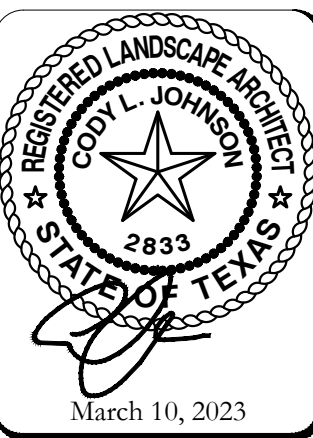
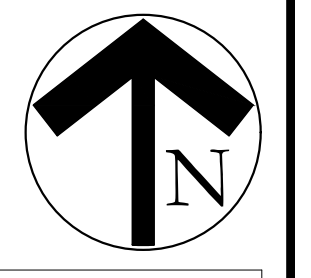
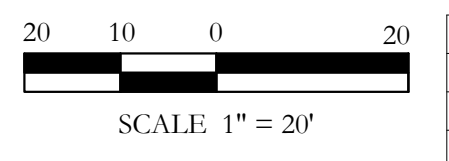




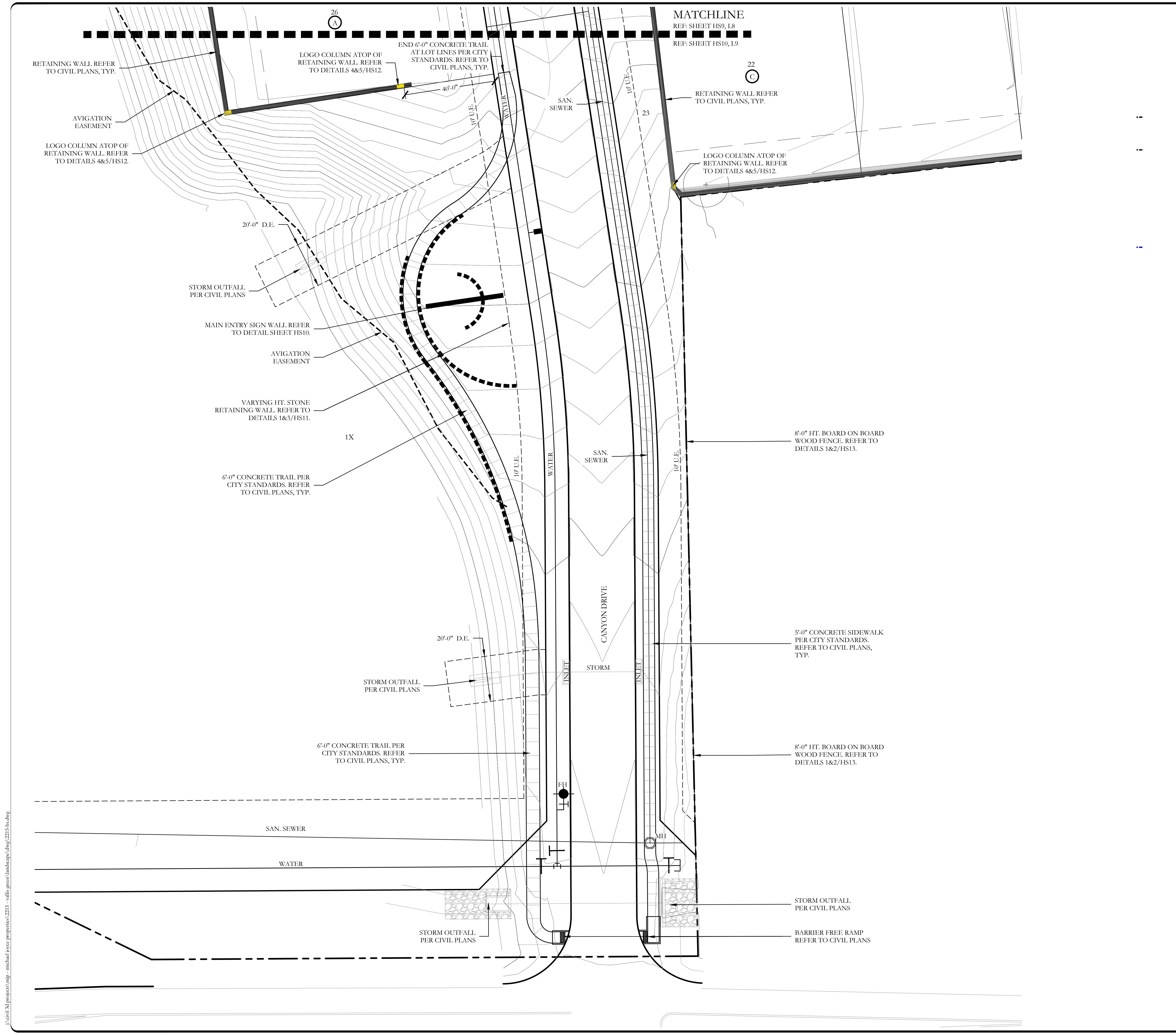
HARDSCAPE LEGEND

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NOTE:
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FOR SIDEWALK LAYOUT AND CONSTRUCTION DETAILS.



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HARDSCAPE LEGEND

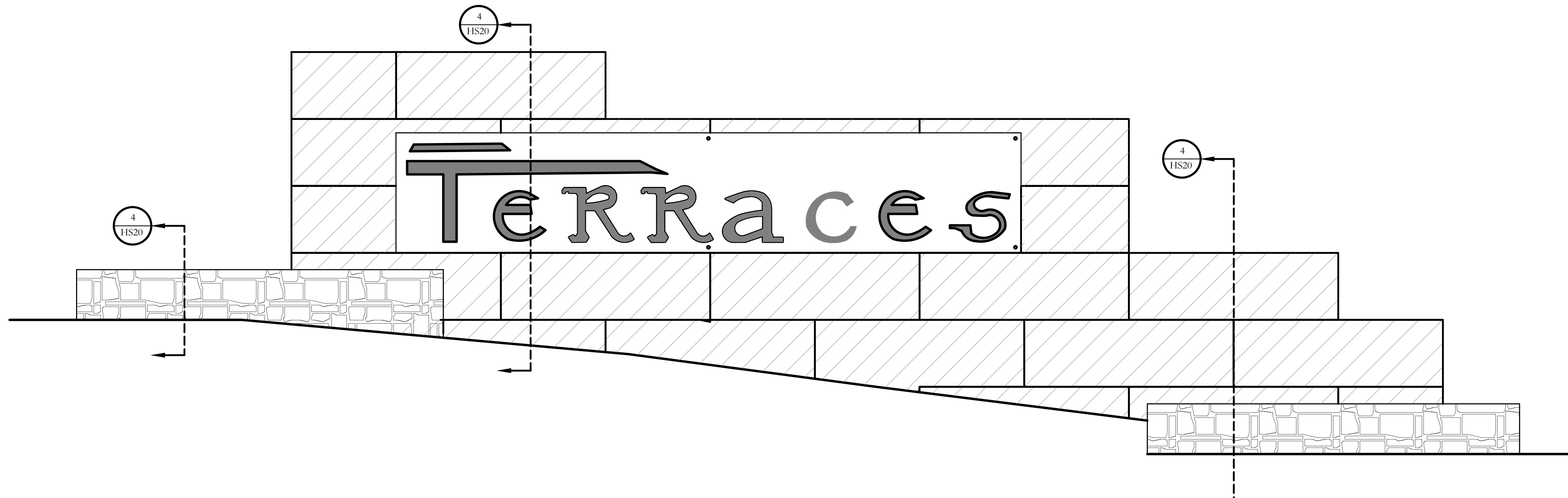
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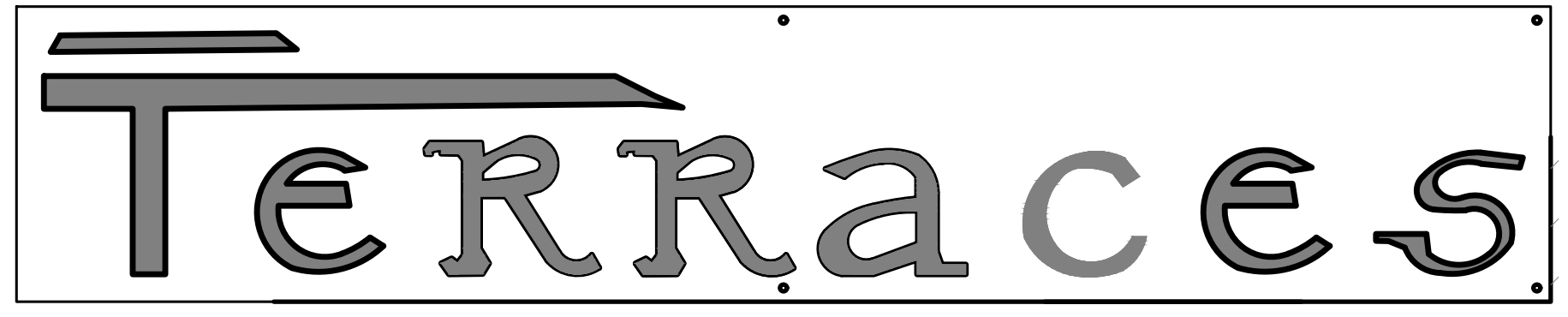
WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A615, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
13. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
14. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
15. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
16. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
17. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.



1 MAIN ENTRY SIGN WALL
ELEVATION

SCALE: 1/2" = 1'-0"



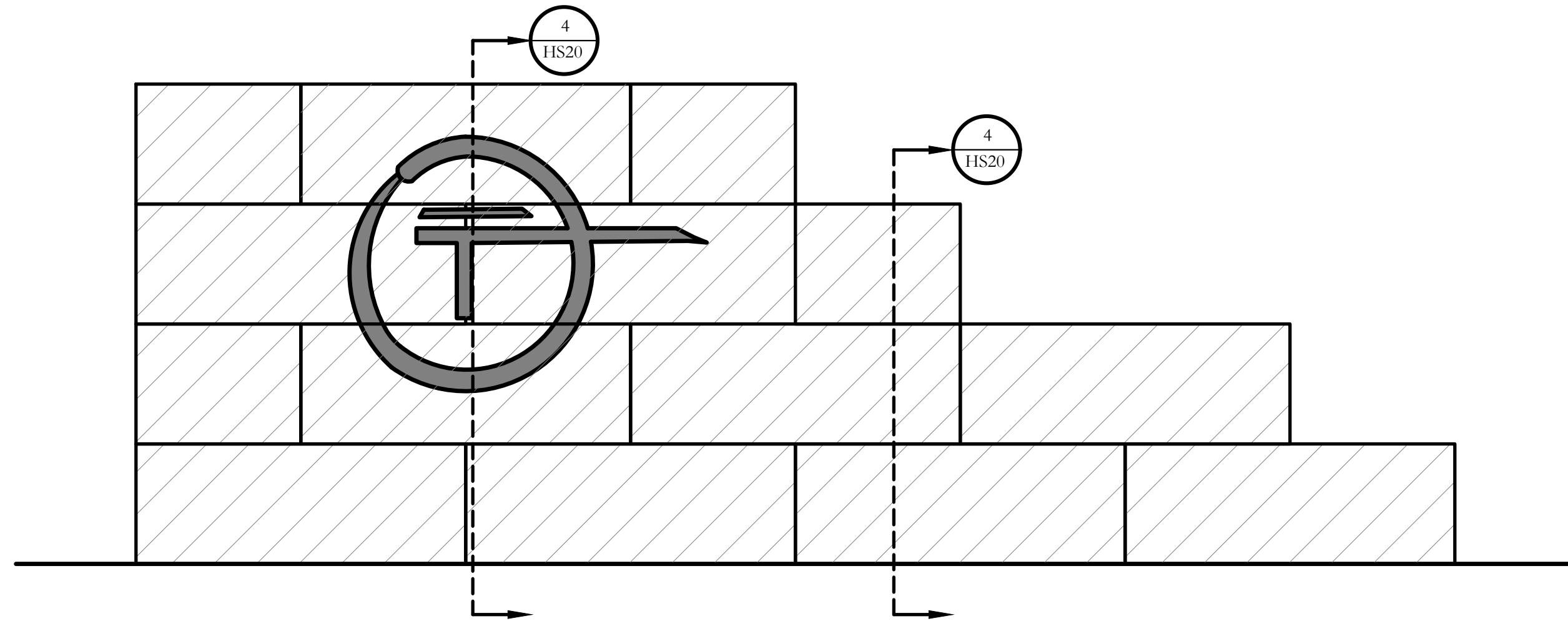
2 CORTEN SIGN PANEL
ELEVATION

SCALE: 1/2" = 1'-0"

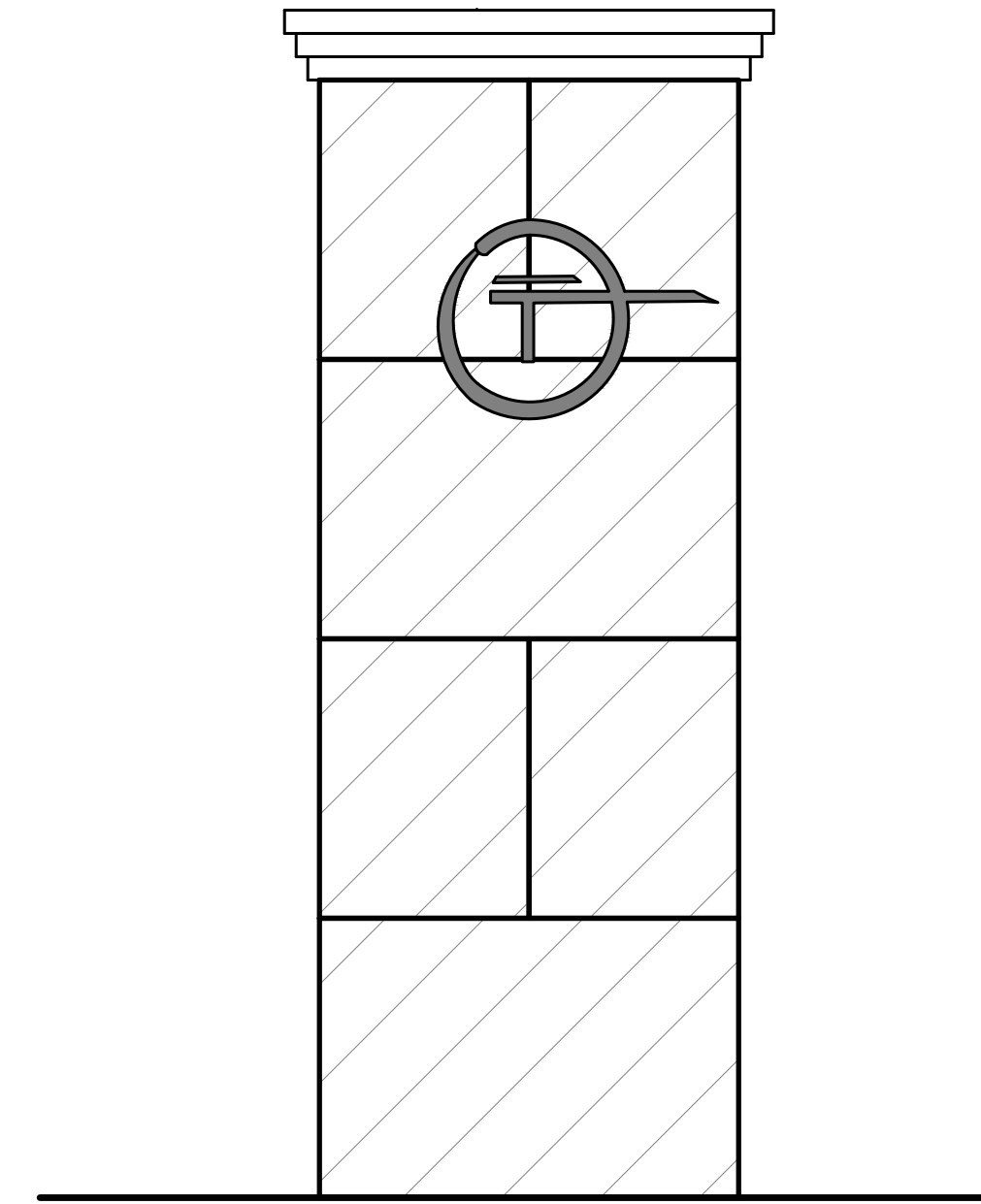
THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.
 03-10-2023

SCALE:
 REFER TO DETAILS
 One Inch
 JVC No 2215

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1 LOGO WALL
ELEVATION
SCALE: 1/2" = 1'-0"



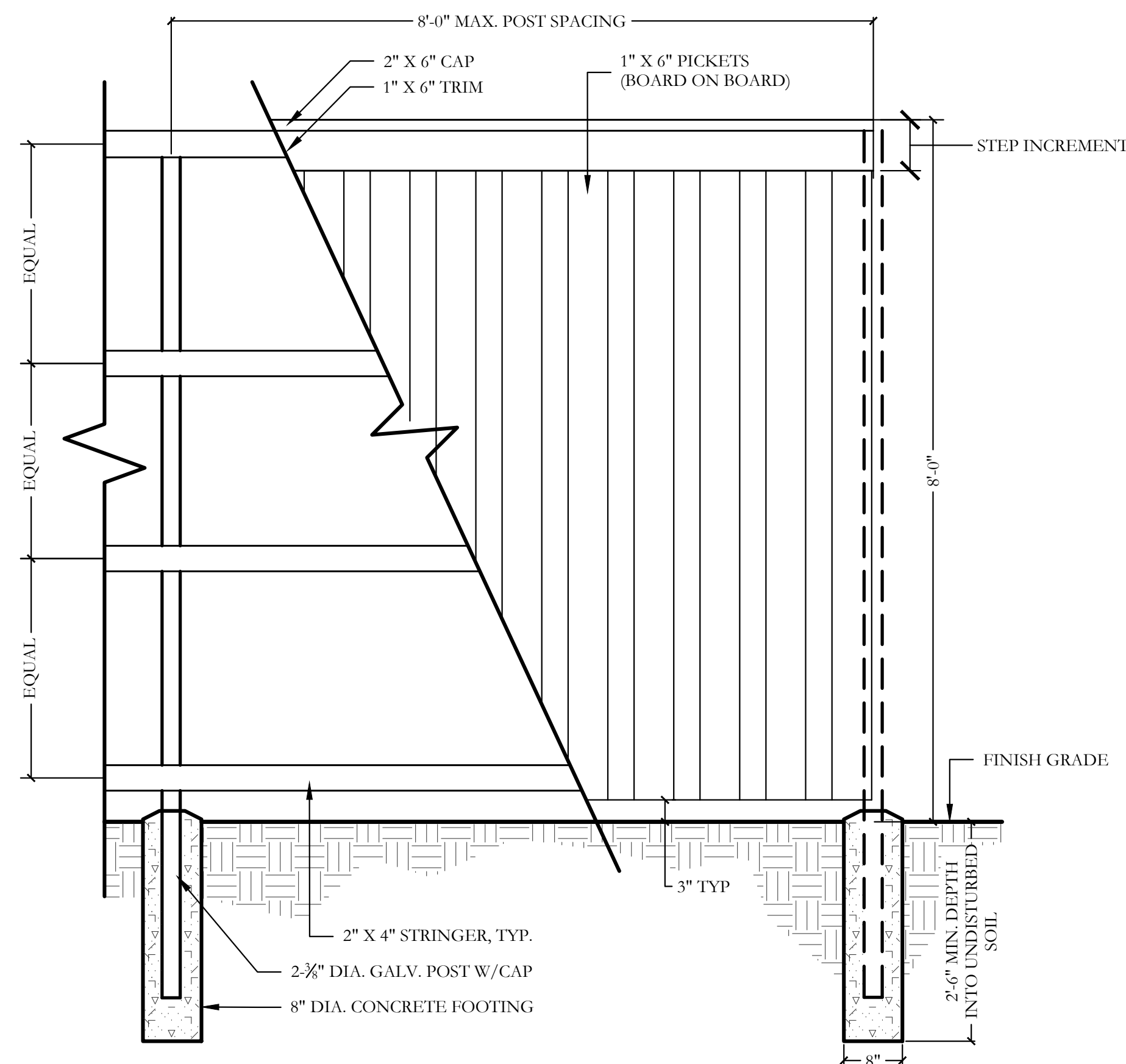
4 LOGO COLUMN ATOP OF RETAINING WALL
ELEVATION
SCALE: 3/4" = 1'-0"

5 LOGO COLUMN ATOP OF RETAINING WALL
SECTION
SCALE: 3/4" = 1'-0"

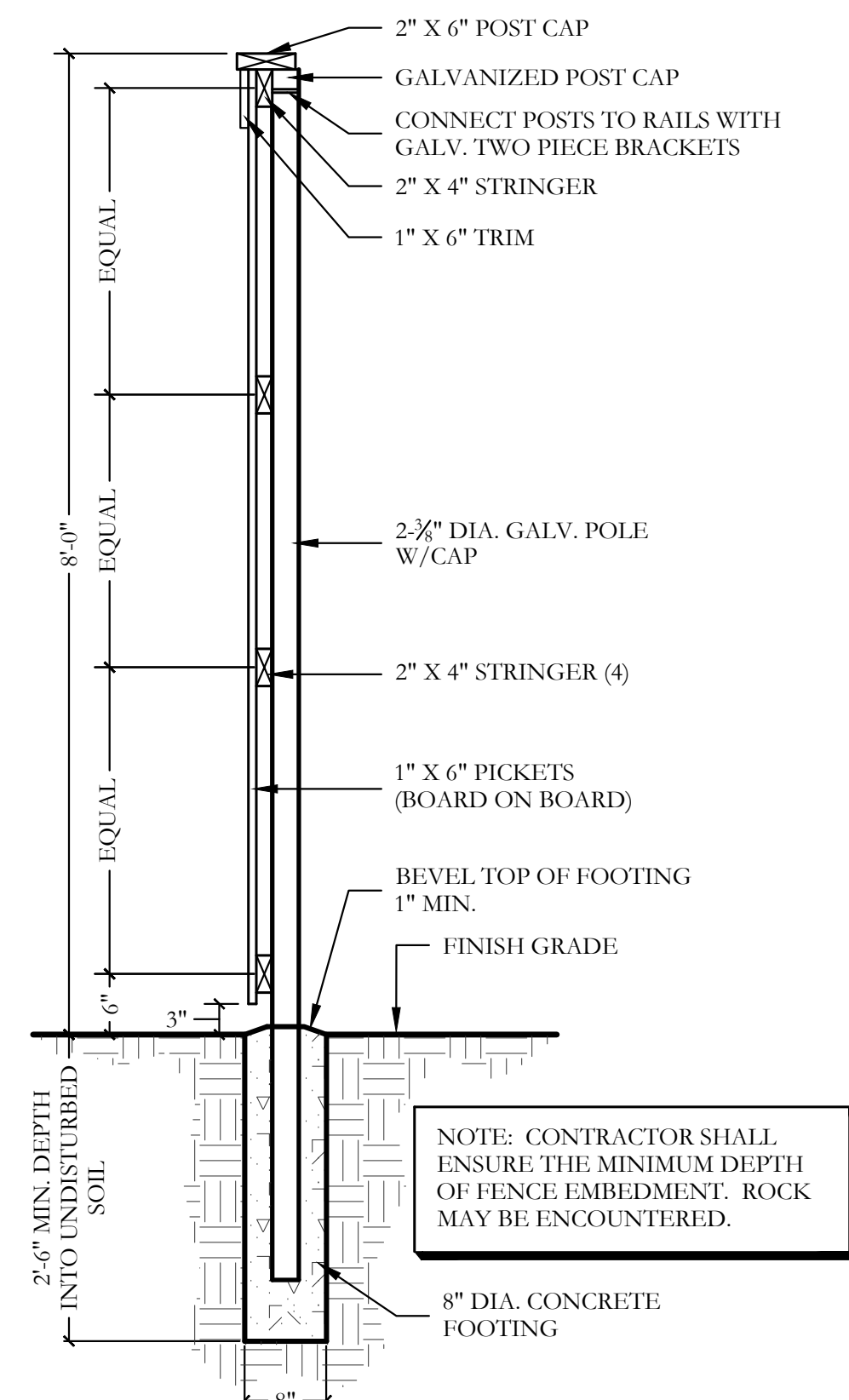
2 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"

3 VARYING HT. STONE LOGO WALL
ELEVATION
SCALE: 3/4" = 1'-0"

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1 PARTIAL 8'-0" HT. WOOD FENCE ELEVATION SCALE: 3/4"=1'-0"



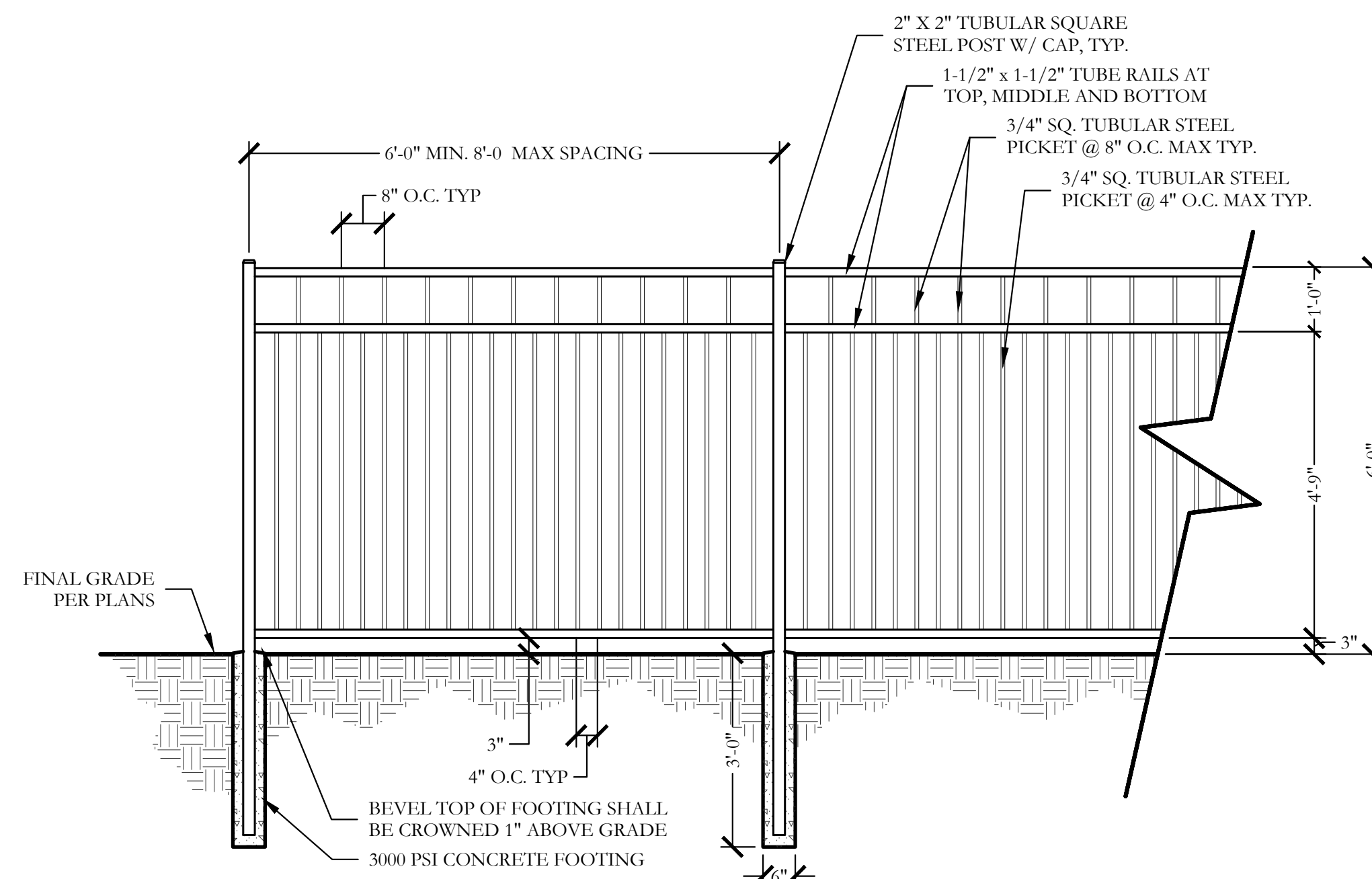
2 8'-0" HT. WOOD FENCE SECTION SCALE: 3/4"=1'-0"

WOOD FENCE NOTES

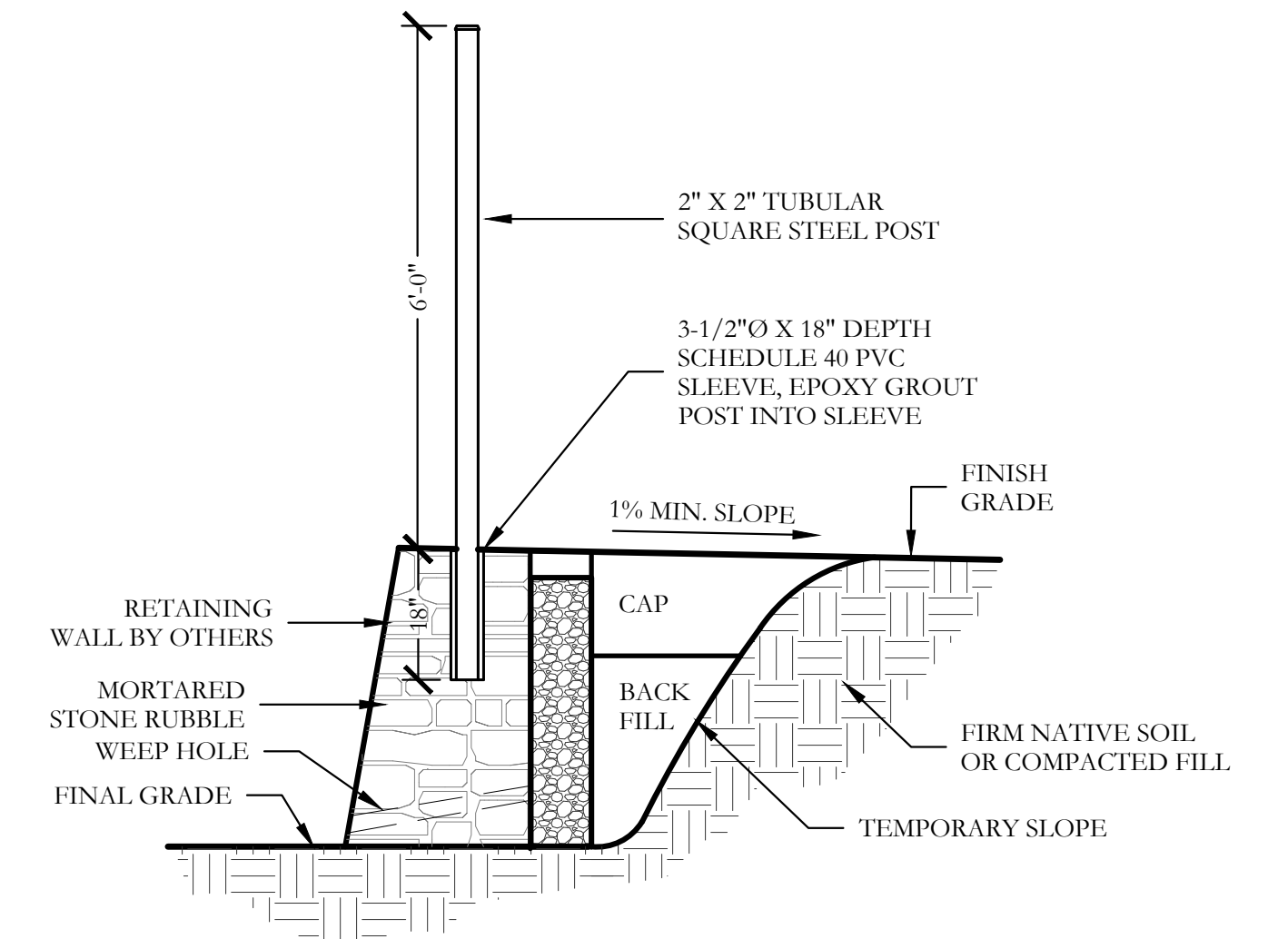
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES. VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
 - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER.
 - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER.
 - 4.3. CAPS- CEDAR, #2 GRADE OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL WOOD FENCE MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.
12. WHERE REQUIRED BY GRADE THE FENCE SHALL BE STEPPED IN INCREMENTS EQUAL TO THE FINISH DIMENSION OF THE TOP TRIM AND CAP.

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



3 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2"=1'-0"

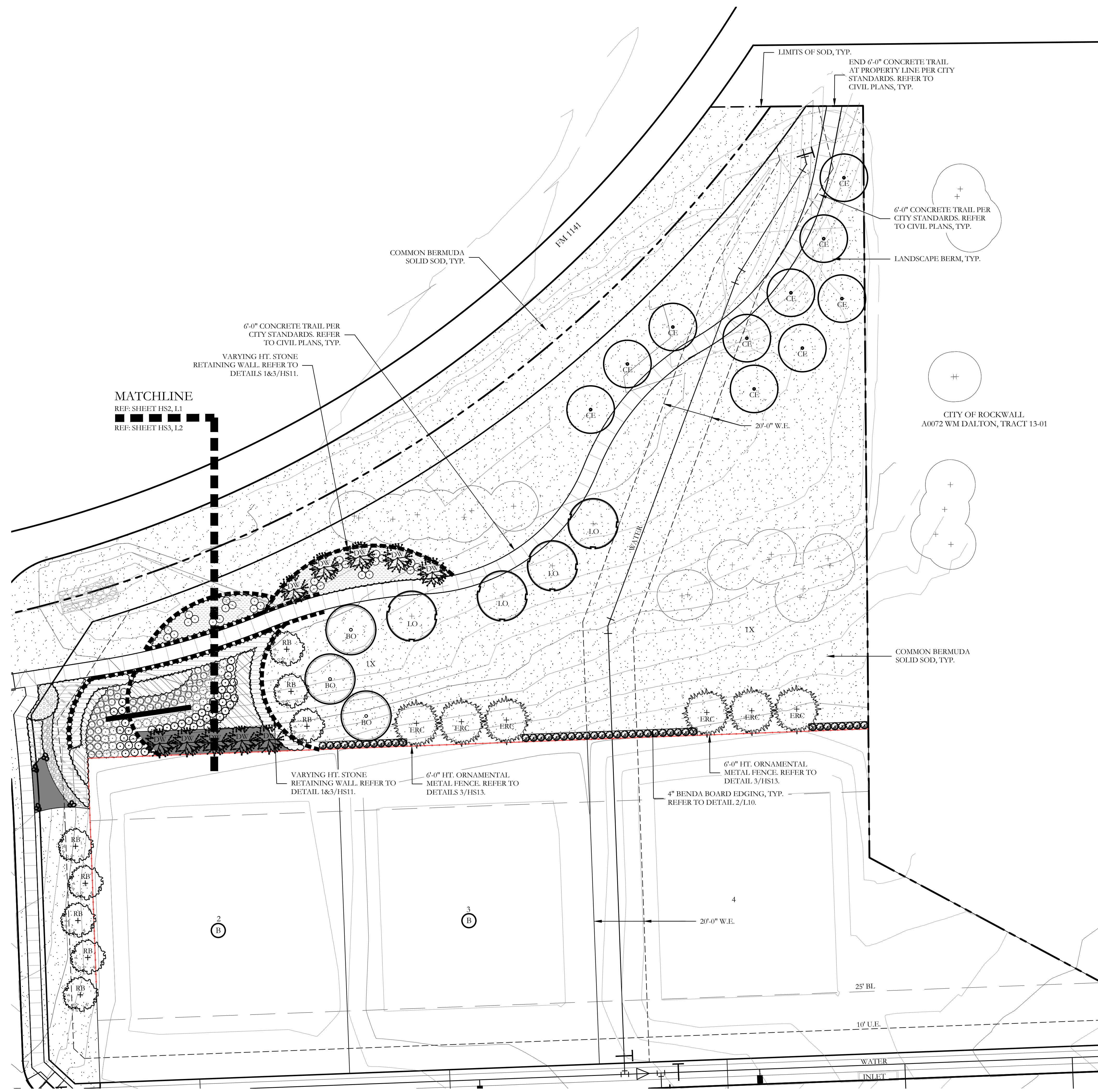


4 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2"=1'-0"

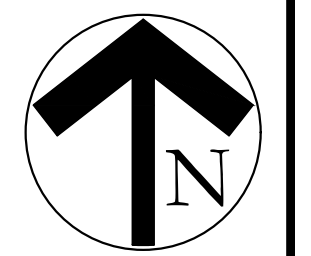
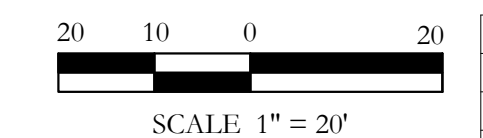
GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
1. ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 3. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 4. CHLORIDES SHALL NOT BE USED.
 5. MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
1. ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 2. PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - 2.1. CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - 2.2. CONCRETE EXPOSED TO EARTH OR WEATHER:
 - 2.2.1. (A) BARS LARGER THAN NO. 5: 2 INCHES
 - 2.2.2. (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - 2.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - 2.3.1. SLABS, WALLS AND JOISTS
 - 2.3.1.1. (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
 - 2.3.3. SHELLS AND FOLDED PLATES
 - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 3. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
1. PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 2. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 3. STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED
 5. PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
1. CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 3/4" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 5. REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 6. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 7. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 8. LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 10. PLACE GROUT USING LOW-LIFT METHOD, 6-8" MAXIMUM LIFTS.

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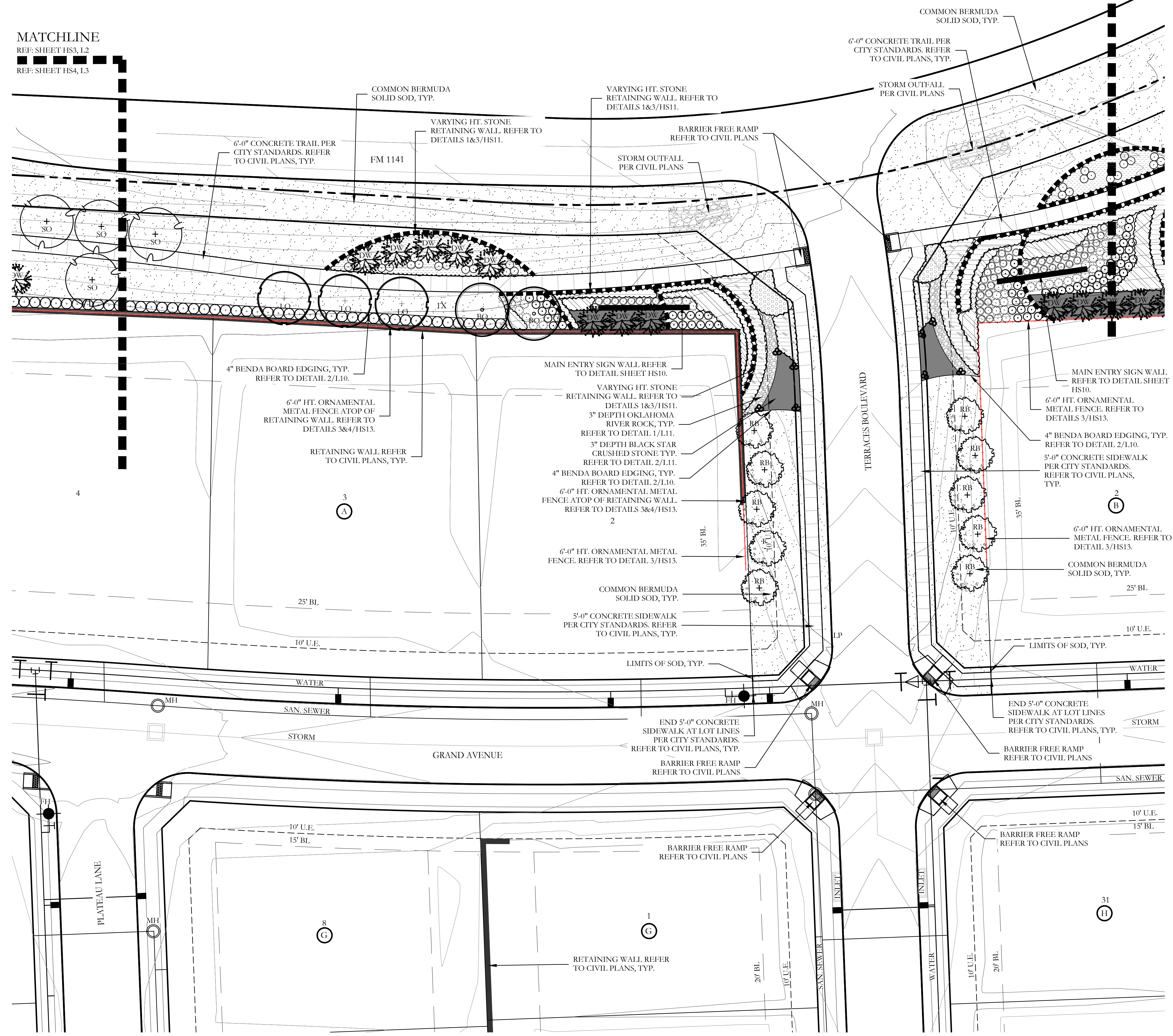


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
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	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
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	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
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		CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
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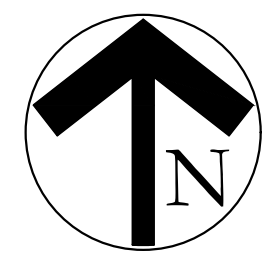
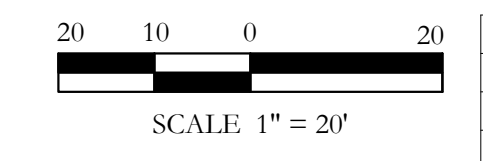
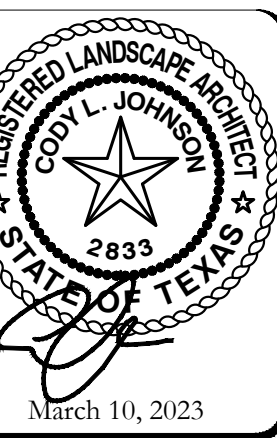
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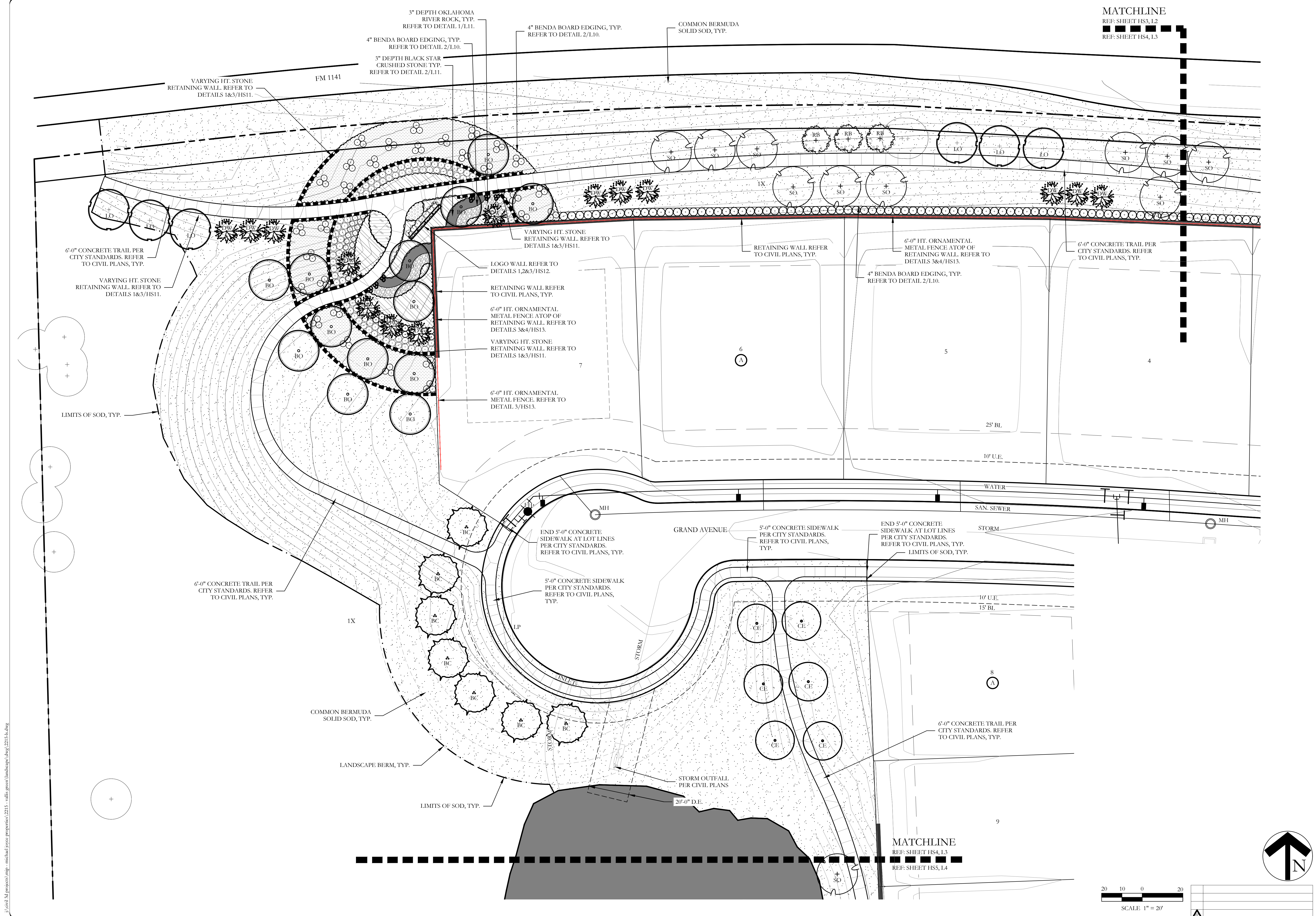
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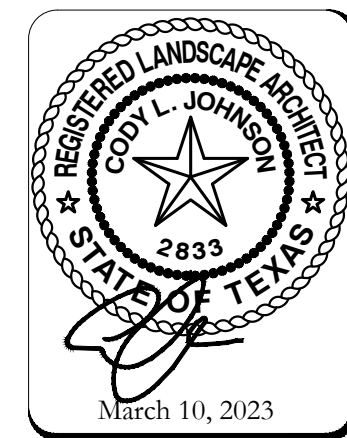
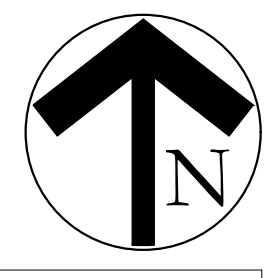
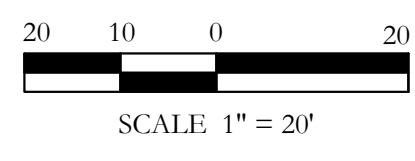
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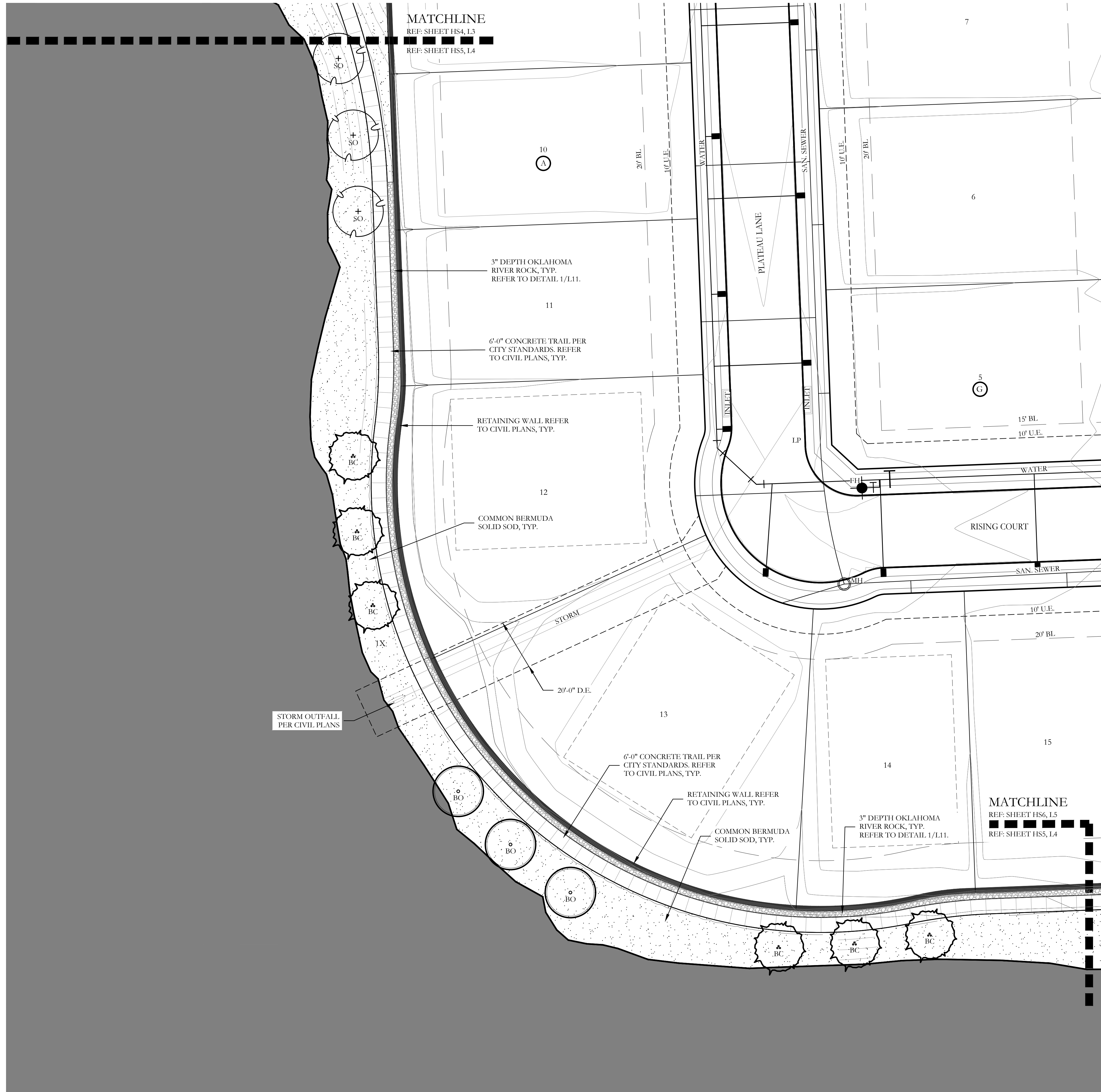


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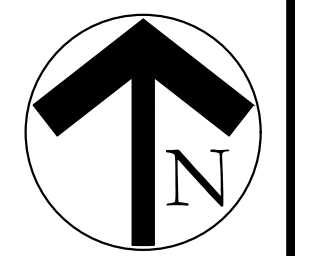
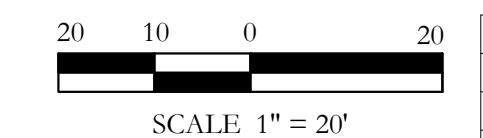
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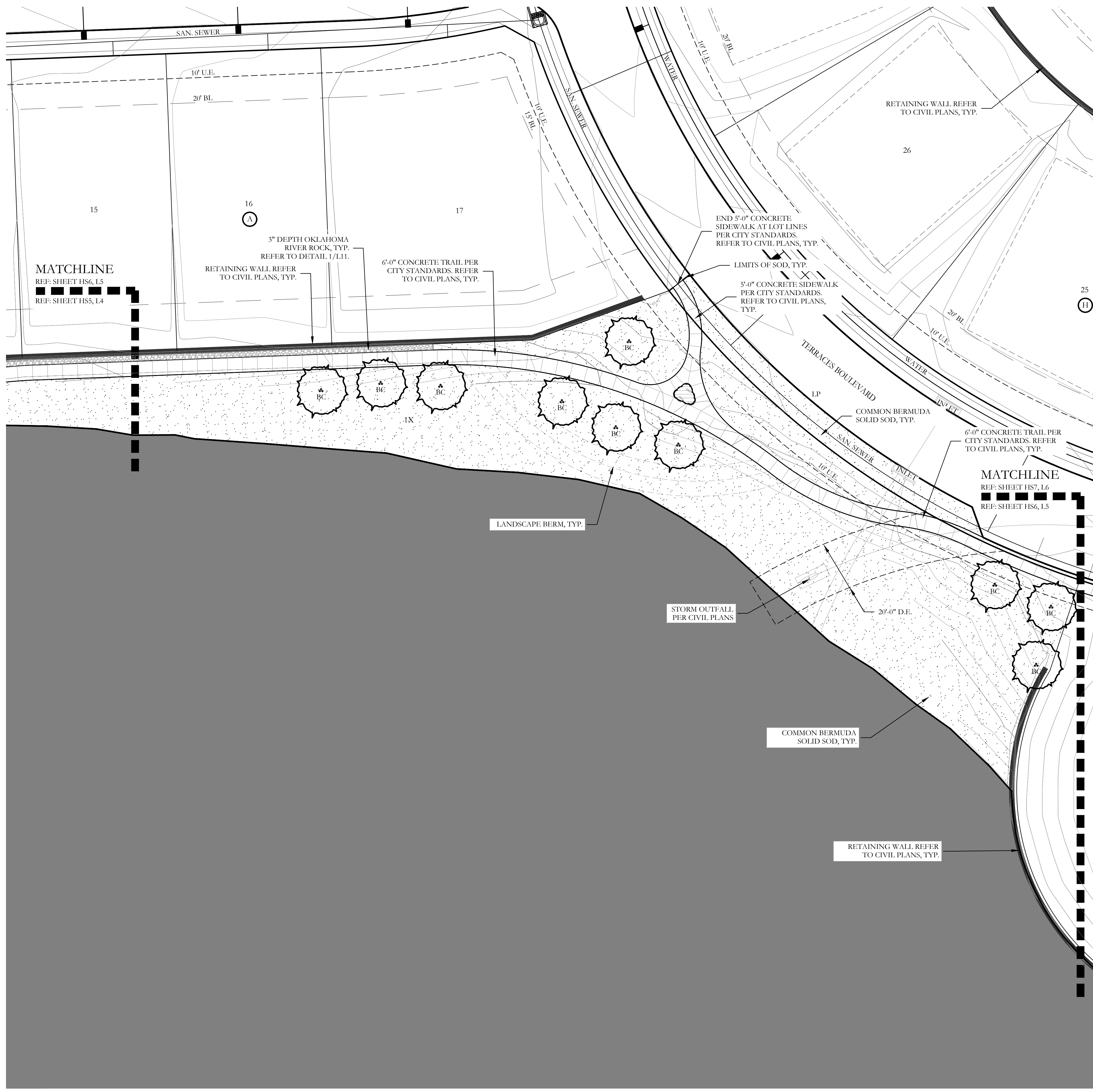


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March 10, 2023

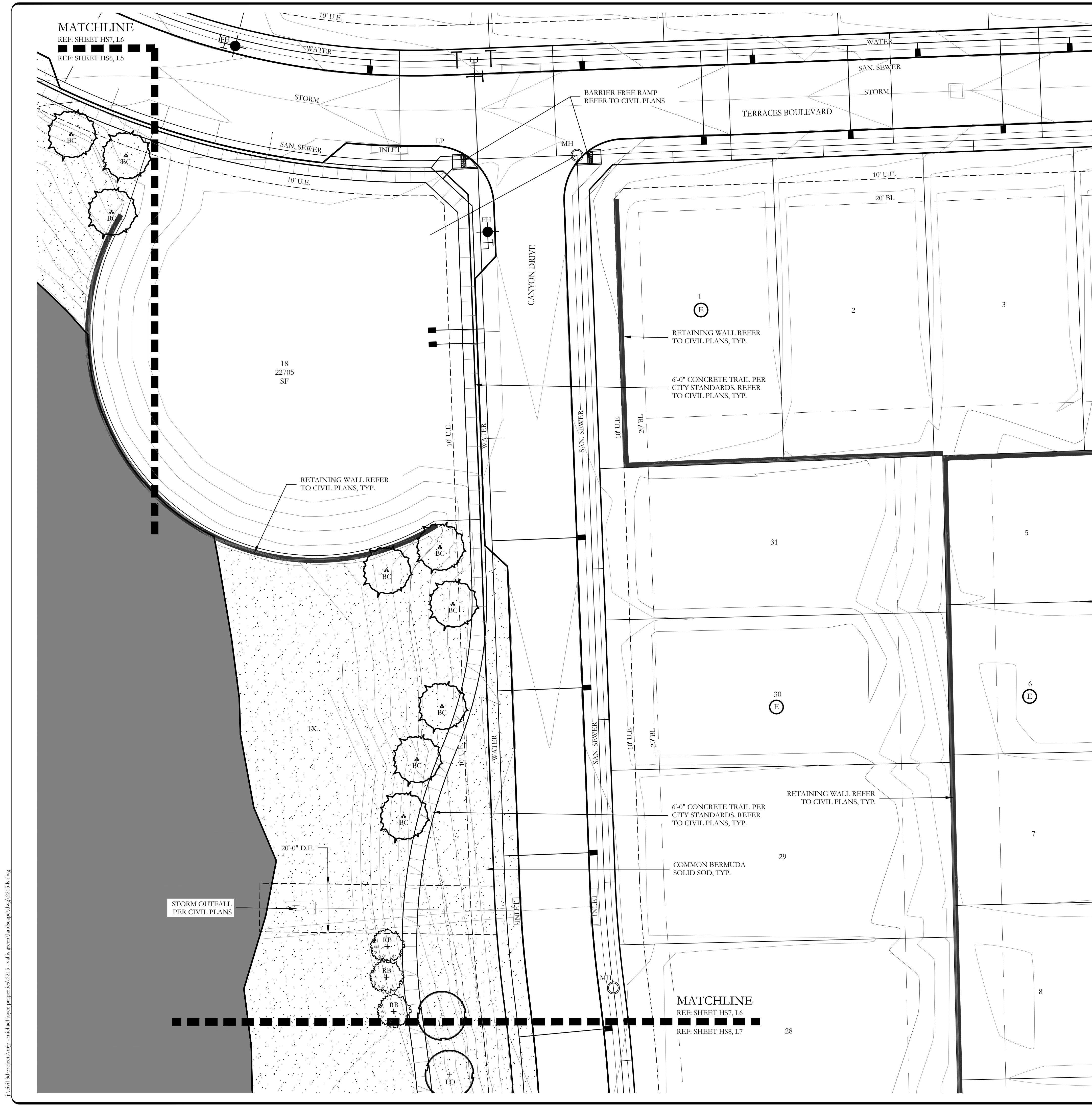
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		CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
	B	OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	BO	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
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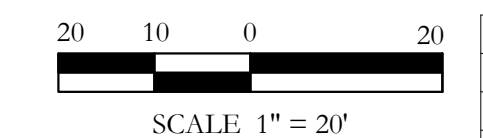
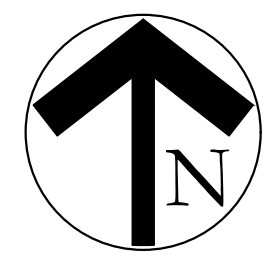


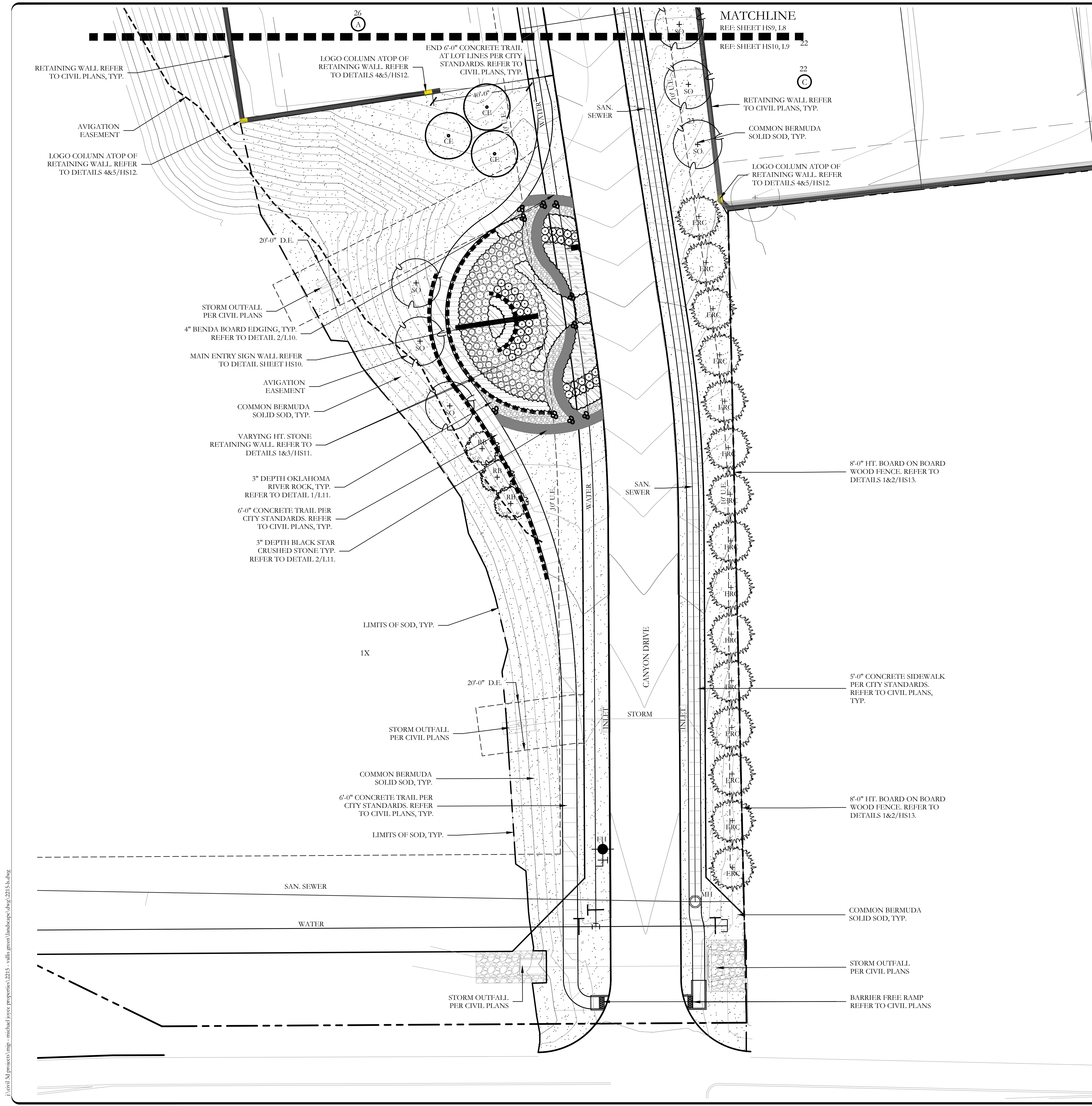
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PLANT LEGEND

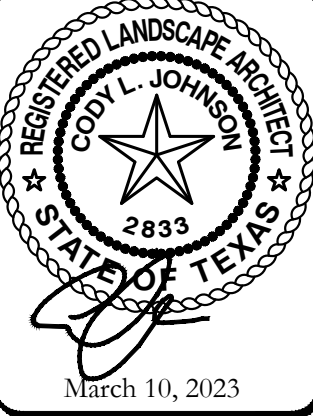
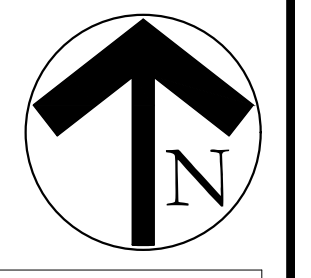
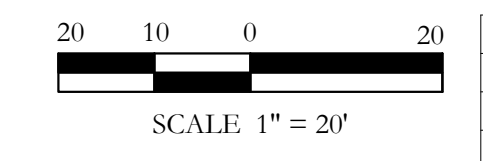
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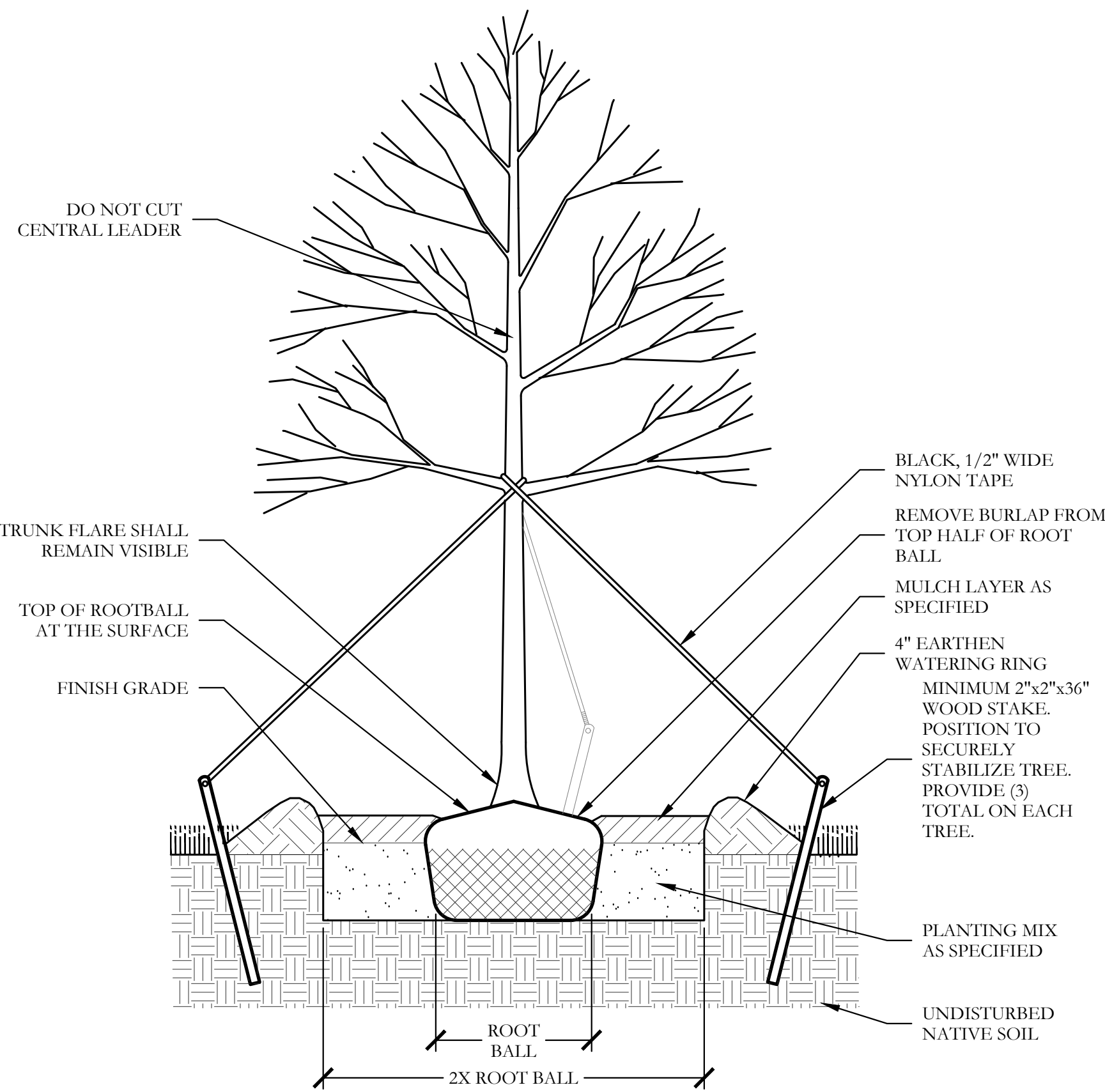




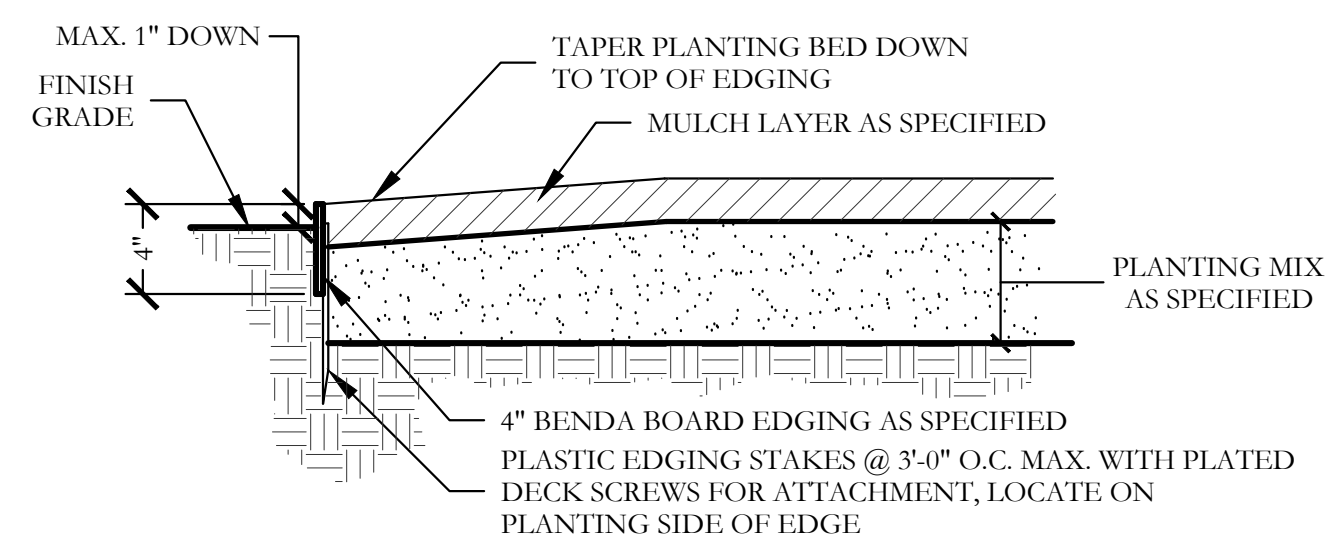
PLANT LEGEND

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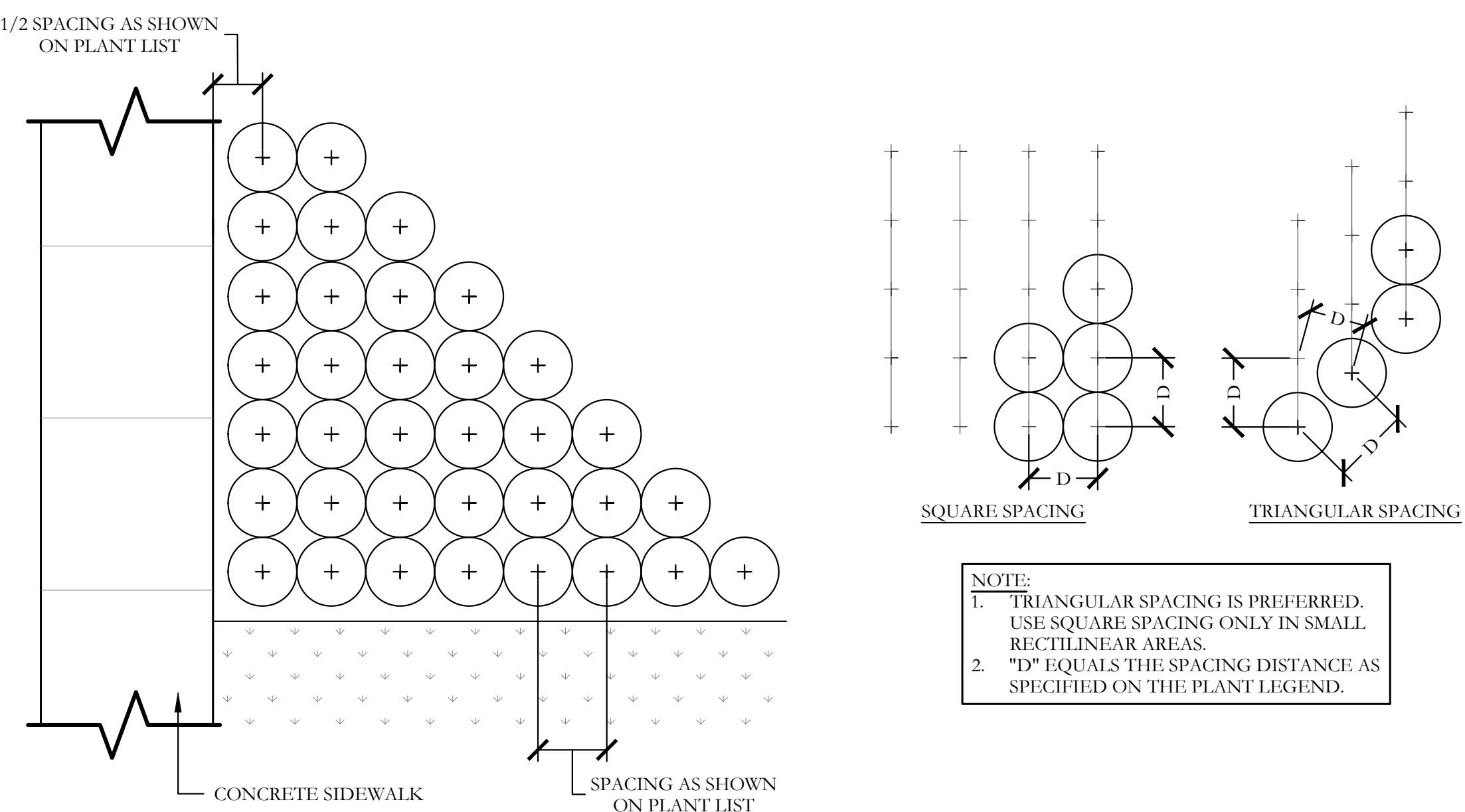




1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	22	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	20	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	21	BUR OAK	QUERCUS MACROCARPA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	19	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	34	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
ERC	21	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	32	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	25	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	113	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	43	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	132	DWARF WAXMYRTLE	MYRICA PUSILLA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	214	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	133	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	135	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	660	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,380	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	3,320	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	1,820	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	1,005	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	242,700	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	2,045	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	2,755	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	5.5	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE. BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

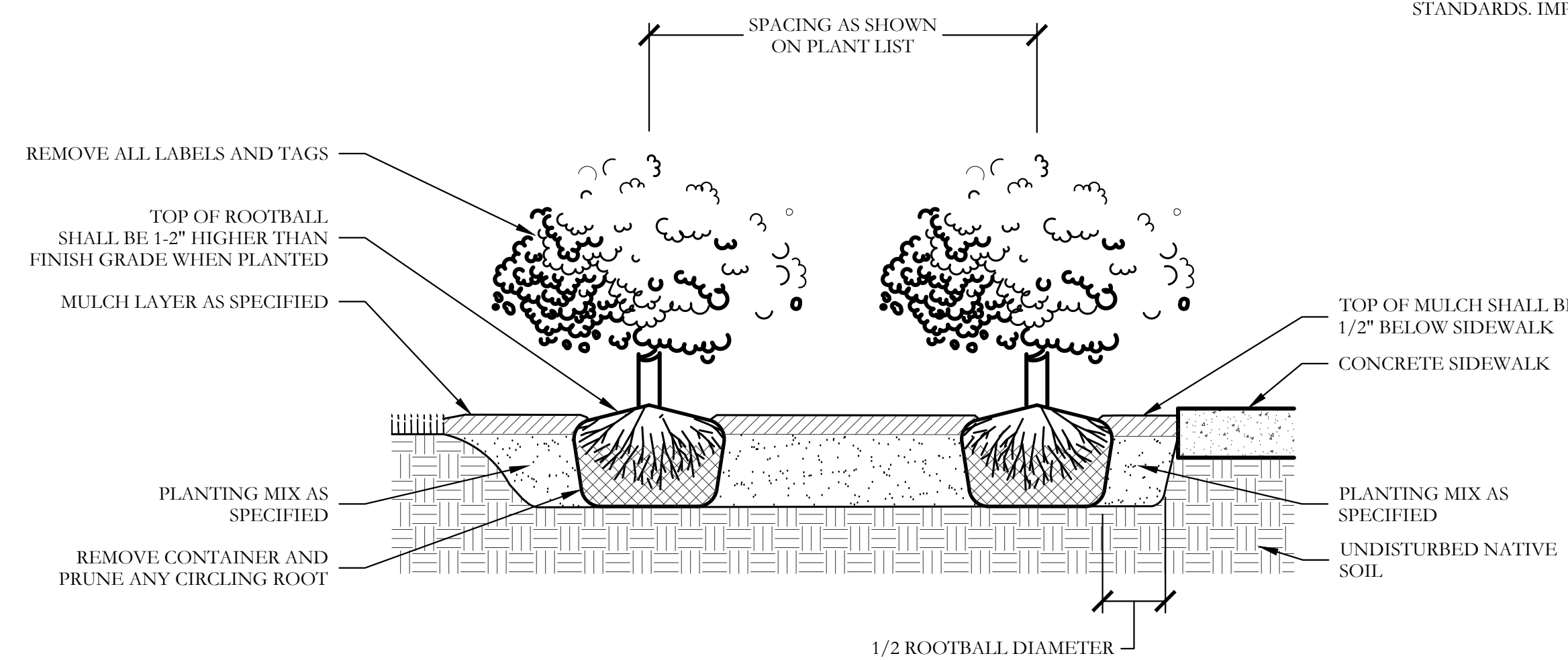
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



NOT TO SCALE

Lee, Henry

From: Lee, Henry
Sent: Monday, March 27, 2023 8:20 AM
To: Ryan Joyce
Subject: Project Comments P2023-007 & SP2023-012
Attachments: Project Comments (03.24.2023).pdf; Project Comments (03.24.2023).pdf; Engineering Markups (03.21.2023).pdf; Engineering Mark-Ups (03.24.2023).pdf

Good Morning,

Attached are the project comments for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: March 28, 2023
Planning and Zoning Commission Public Hearing: April 11, 2023
City Council (Plat): April 17, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Lee, Henry
Sent: Wednesday, April 12, 2023 3:32 PM
To: 'Tom Dayton'
Cc: Ryan Joyce
Subject: Remaining Planning Comments SP2023-012
Attachments: Development Comments (04.12.2023).docx; City Fence Mark-Up (04.12.2023).pdf

Good Afternoon,

Attached are the remaining Planning Department comments for the Terraces Site Plan (SP2023-012). The Engineering Department is still reviewing the revisions. Once I hear back I will forward any comments. Let me know if you have any questions.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



May 23, 2023

TO: Ryan Joyce
Michael Joyce Properties
767 Justin Road
Rockwall, TX 75087

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2023-012; *Site Plan for the Terraces Subdivision*

Ryan Joyce:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on April 11, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 11, 2023, the Planning and Zoning Commission approved a motion to approve the site plan by a vote of 6-0, with Commissioner Womble absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee", is written over a faint, larger version of the same signature.

Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department