



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 405 Ranch Trail

SUBDIVISION Rainbo Acres

LOT 18 BLOCK

GENERAL LOCATION 600 feet south from the intersection of County Line Road and Ranch Trail

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C Commercial

CURRENT USE Vacant Property

PROPOSED ZONING C Commercial

PROPOSED USE Office Building

ACREAGE 1.798

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER M&J Ranch Trail Holdings, LLC

APPLICANT BroadStone Design Group

CONTACT PERSON John McKinney / Michael Daul

CONTACT PERSON Dan Whalen II

ADDRESS 315 Ranch Trail

ADDRESS 401 Pinson Road

CITY, STATE & ZIP Rockwall, TX 75023

CITY, STATE & ZIP Forney, TX 75126

PHONE (214) 304-2979

PHONE (214) 295-5280

E-MAIL JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

E-MAIL DWHALEN@BROADSTONEDG.COM

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

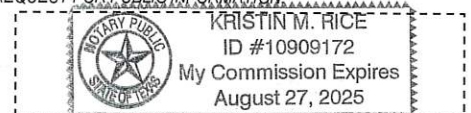
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

OWNER'S SIGNATURE

*John McKinney*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



MY COMMISSION EXPIRES





# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

**CASE NUMBER:**

**OVERLAY DISTRICT:**

**REVIEWED BY:**

**REVIEW DATE:**

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.A, of Art. 11
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	§05.03.C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				



Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	§06.02.F, of Art. 05
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## 2.4 SITE PLAN: SCREENING

Requirements	√= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	§01.06, of Art. 05

## 3.1 LANDSCAPE PLAN

Requirements	√= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	§05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.
Protected Trees (That Will Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.
Landscape Buffer - Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.
Hydro mulch (or non-sod option)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.
Rights-of-Way & Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).

## 4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.01.C, of Art. 09



Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

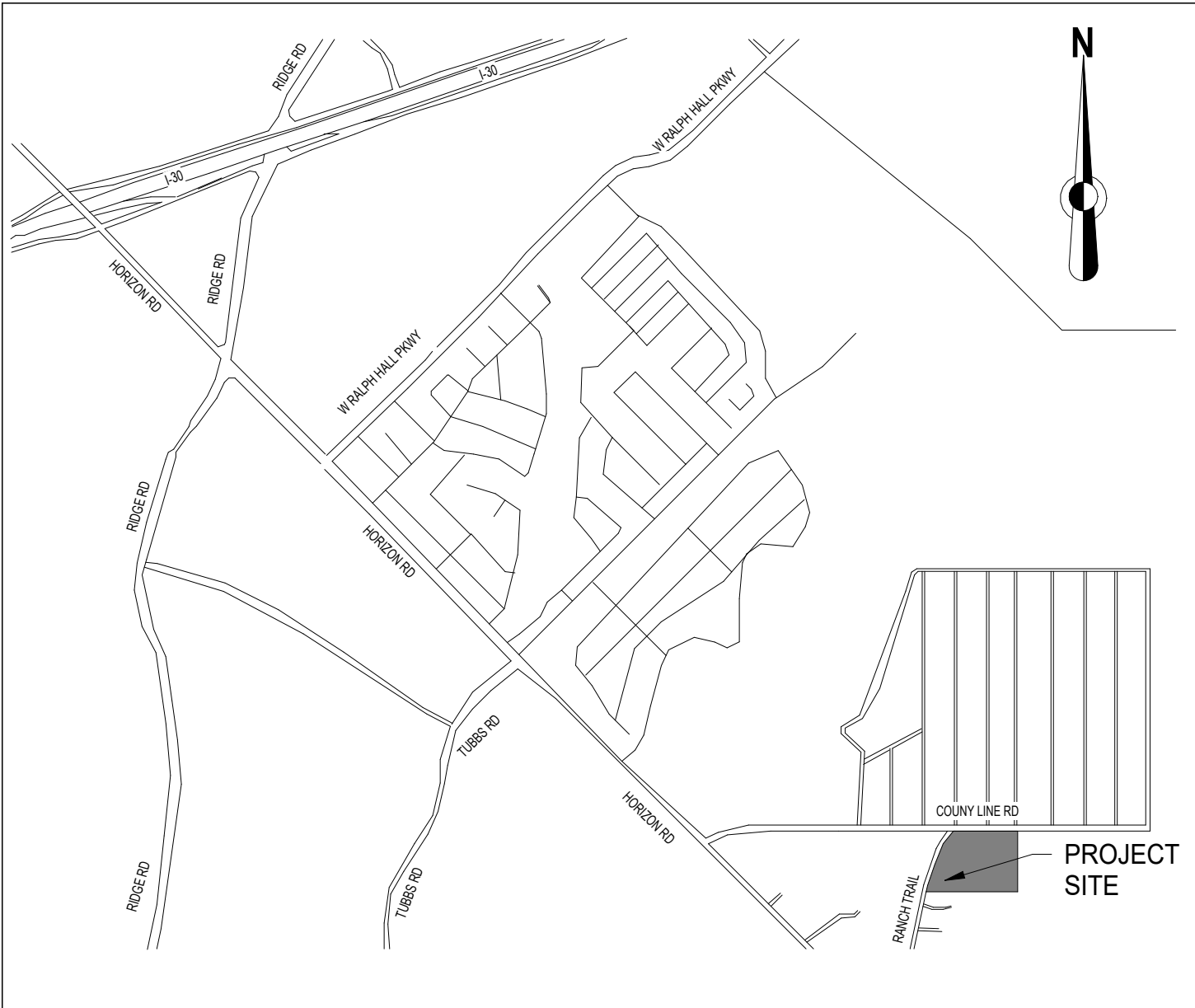
Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§04.01.C.2, of Art. 05

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§05.01.C.2, of Art. 05





VICINITY MAP N.T.S.

LEGEND	
IRF	Iron Rod Found
IRIS	Iron Rod Set
PP	Power Pole
GW	Gas Wire
FH	Fire Hydrant
WV	Water Valve
WM	Water Meter
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EM	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Clean Out
GL	Ground Light
SP	Signal Pole
TSB	Traffic Signal Box
TB	Telephone Box
GV	Gas Valve
WMH	Water Manhole
MW	Monitoring Well
DRRCT	Deed Records Rockwall County, Texas

CPIV-354 RANCH TRAIL LLC MAVERICK RANCH BLOCK A, LOT 2 ACRES 1.360

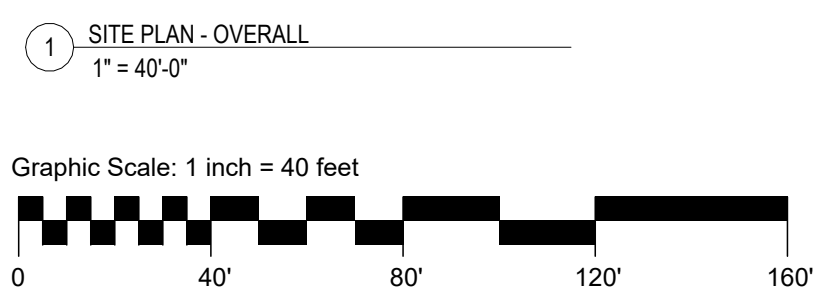
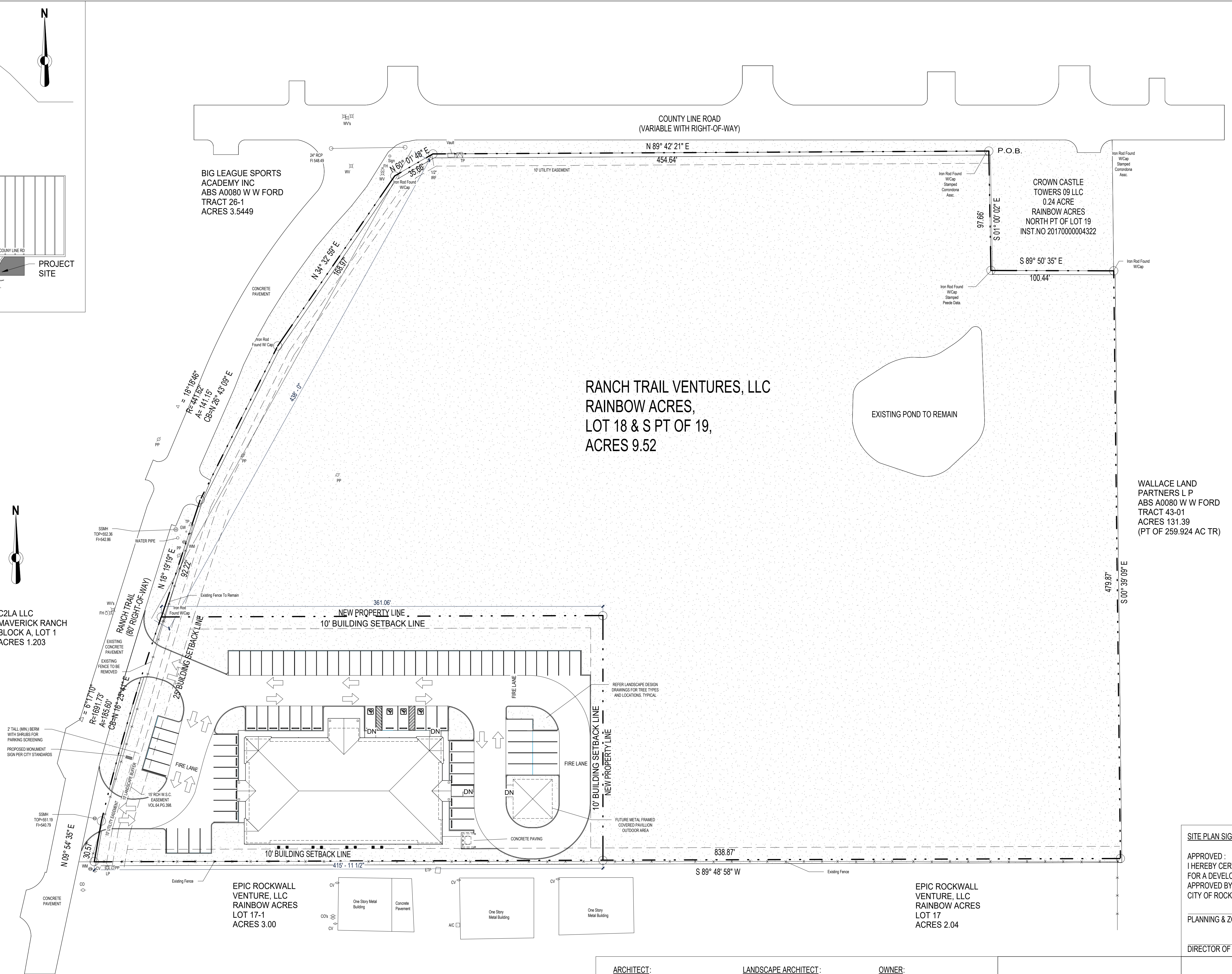
C2LA LLC MAVERICK RANCH BLOCK A, LOT 1 ACRES 1.203

BIG LEAGUE SPORTS ACADEMY INC ABS A0080 W W FORD TRACT 26-1 ACRES 3.5449

RANCH TRAIL VENTURES, LLC RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

WALLACE LAND PARTNERS L P ABS A0080 W W FORD TRACT 43-01 ACRES 131.39 (PT OF 259.924 AC TR)

CROWN CASTLE TOWERS 09 LLC 0.24 ACRE RAINBOW ACRES NORTH PT OF LOT 19 INST. NO 2017000004322



**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_

DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

**ARCHITECT:**  
BROADSTONE DESIGN GROUP  
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DAN WAHLEN II  
(214) 295-5280  
DWAHLEN@ELDENGEERING.COM

**LANDSCAPE ARCHITECT:**  
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15455 DALLAS PKWY, STE 600  
ADDISON, TX 75001  
ERIC SHEPLEY  
(800) 680-6630 X 11  
ERIC@EVERGREENDESIGNGROUP.COM

**OWNER:**  
M & J RANCH TRAIL HOLDINGS, LLC.  
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ROCKWALL, TX 75023  
JOHN MCKINNEY / MICHAEL DAUL  
(214) 304-2979  
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MDAUL@SNAPMGA.COM

**CIVIL ENGINEER:**  
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**MEP ENGINEER:**  
APE ENGINEERING  
1340 DOVE DRIVE  
MIDLOTHIAN, TX 78065  
RUSSELL LAQUEY  
(972) 351-7550  
RUSLAQUEY@YAHOO.COM

**REGISTERED ARCHITECT**  
ERIC L. DAVIS  
STATE OF TEXAS  
18972

02-17-2023

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214.295.5280  
www.broadstonedg.com

**Eric L. Davis Engineering, Inc.**  
401 Pinson Road  
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www.eldengineering.com

**SITE PLAN - OVERALL**

**MCKINNEY BUILDING**  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & S PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.0

CASE NUMBER \_\_\_\_\_

02-17-2023



# PROJECT SITE PLAN DATA

**GENERAL**  
 EXISTING USE: VACANT PROPERTY  
 PROPOSED USE: OFFICE BUILDING  
 EXISTING ZONING DISTRICT: C COMMERCIAL  
 PROPOSED ZONING DISTRICT: C COMMERCIAL  
 APPLICABLE ZONING OVERLAYS: N/A  
 ROCKWALL COUNTY APPRAISAL DISTRICT  
 ACCOUNT NUMBER: 87534

**OVERALL SITE**  
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES  
 SITE FRONTAGE: 216 FT  
 SITE WIDTH: 200 FEET  
 SITE DEPTH: VARIES 361 FEET TO 416 FEET  
 IMPERVIOUS SURFACE AREA: 54,505 SF  
 PERVIOUS SURFACE AREA: 23,809 SF

**BUILDING**  
 TOTAL GROSS INTENSITY (FAR): 0.16:1  
 TOTAL SQUARE FOOTAGE: 13,080 SF  
 COMMERCIAL (SF): 13,080 SF  
 INDUSTRIAL (SF): N/A  
 OTHER (SF): N/A

**PROPERTY DEVELOPMENT REGULATIONS**  
 MAXIMUM BUILDING COVERAGE PERMITTED: 60%  
 MAXIMUM BUILDING COVERAGE PROPOSED: 16.7%  
 MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF  
 MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET  
 MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

**SETBACKS (REQUIRED & PROPOSED):**  
 FRONT SETBACK: 25 FEET / 25 FEET  
 SIDE SETBACK: 10 FEET / 10 FEET  
 REAR SETBACK: 10 FEET / 10 FEET  
 MAX STRUCTURE HEIGHT PERMITTED: 60 FEET  
 MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

## FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

## PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE  
 OFFICE AREA: 13,080 SF

REQUIRED PARKING: 44  
 PROVIDED PARKING: 78

REQUIRED ADA PARKING: 4  
 PROVIDED ADA PARKING: 4

PARKING SPACE: 9' X 20'  
 ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE  
 ADA STANDARD: 9' X 20'

### SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13468 SF
GROSS PARKING AREA	IMPERVIOUS	37622 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	937 SF
SIDEWALK	IMPERVIOUS	164 SF
SIDEWALK	IMPERVIOUS	956 SF
SIDEWALK	IMPERVIOUS	364 SF
SIDEWALK	IMPERVIOUS	95 SF
IMPERVIOUS		54505 SF

LANDSCAPE (GENERAL)	PERVIOUS	17652 SF
LANDSCAPE BUFFER	PERVIOUS	1647 SF
LANDSCAPE BUFFER	PERVIOUS	456 SF
LANDSCAPE BUFFER	PERVIOUS	356 SF
INTERIOR LANDSCAPE	PERVIOUS	435 SF
INTERIOR LANDSCAPE	PERVIOUS	787 SF
INTERIOR LANDSCAPE	PERVIOUS	498 SF
INTERIOR LANDSCAPE	PERVIOUS	1536 SF
PERVIOUS		23809 SF
Grand total		78315 SF

### SITE PLAN SIGNATURE BLOCK

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PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

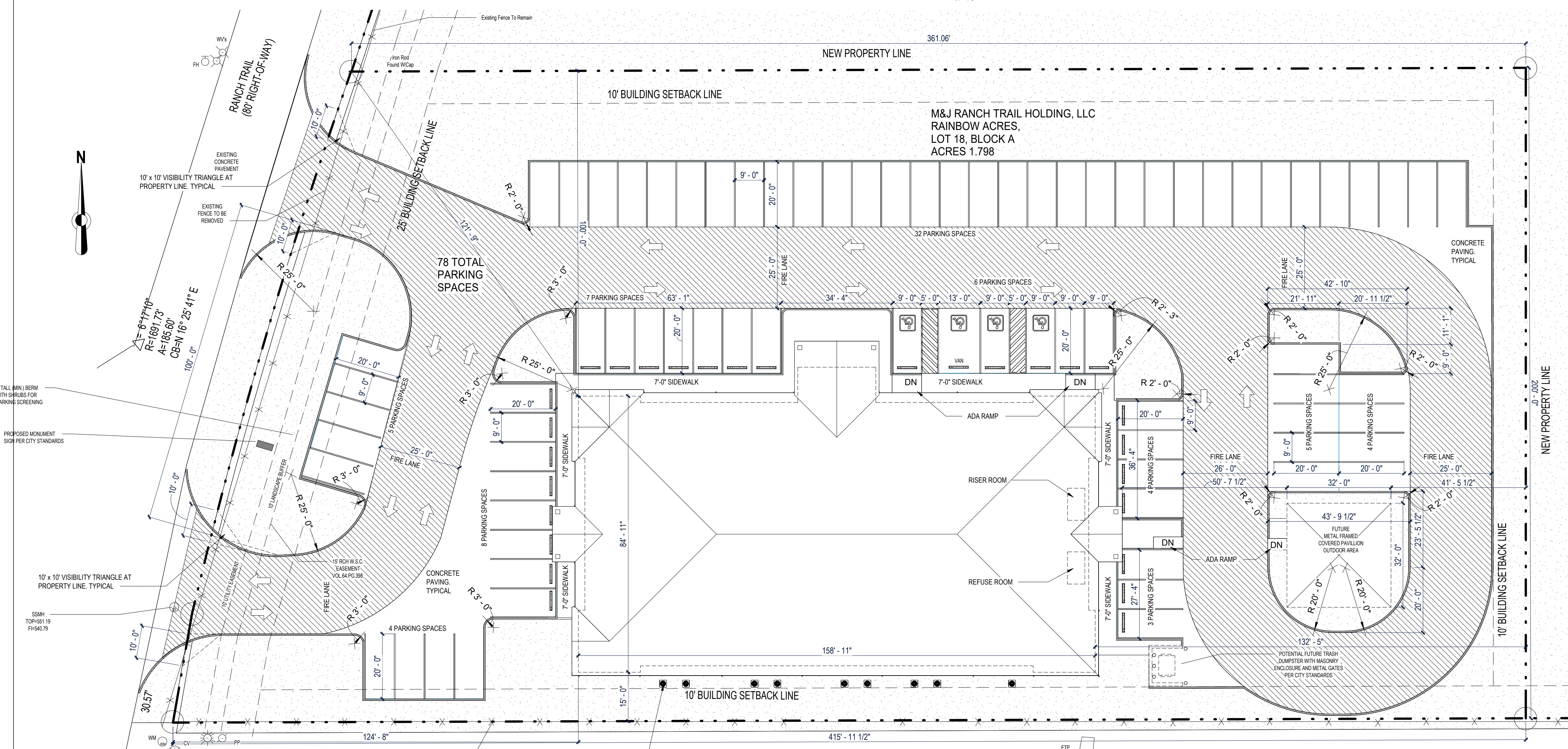
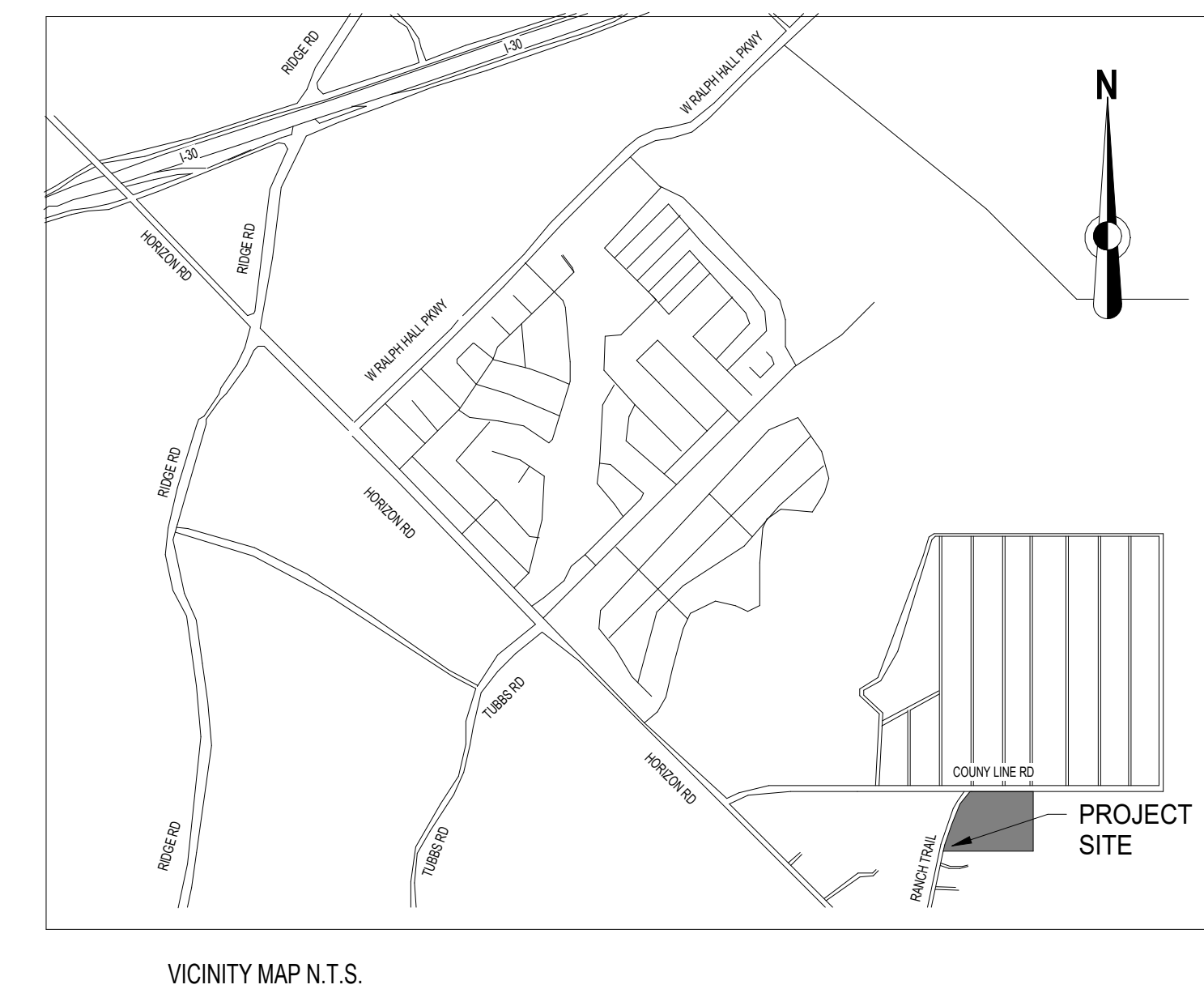
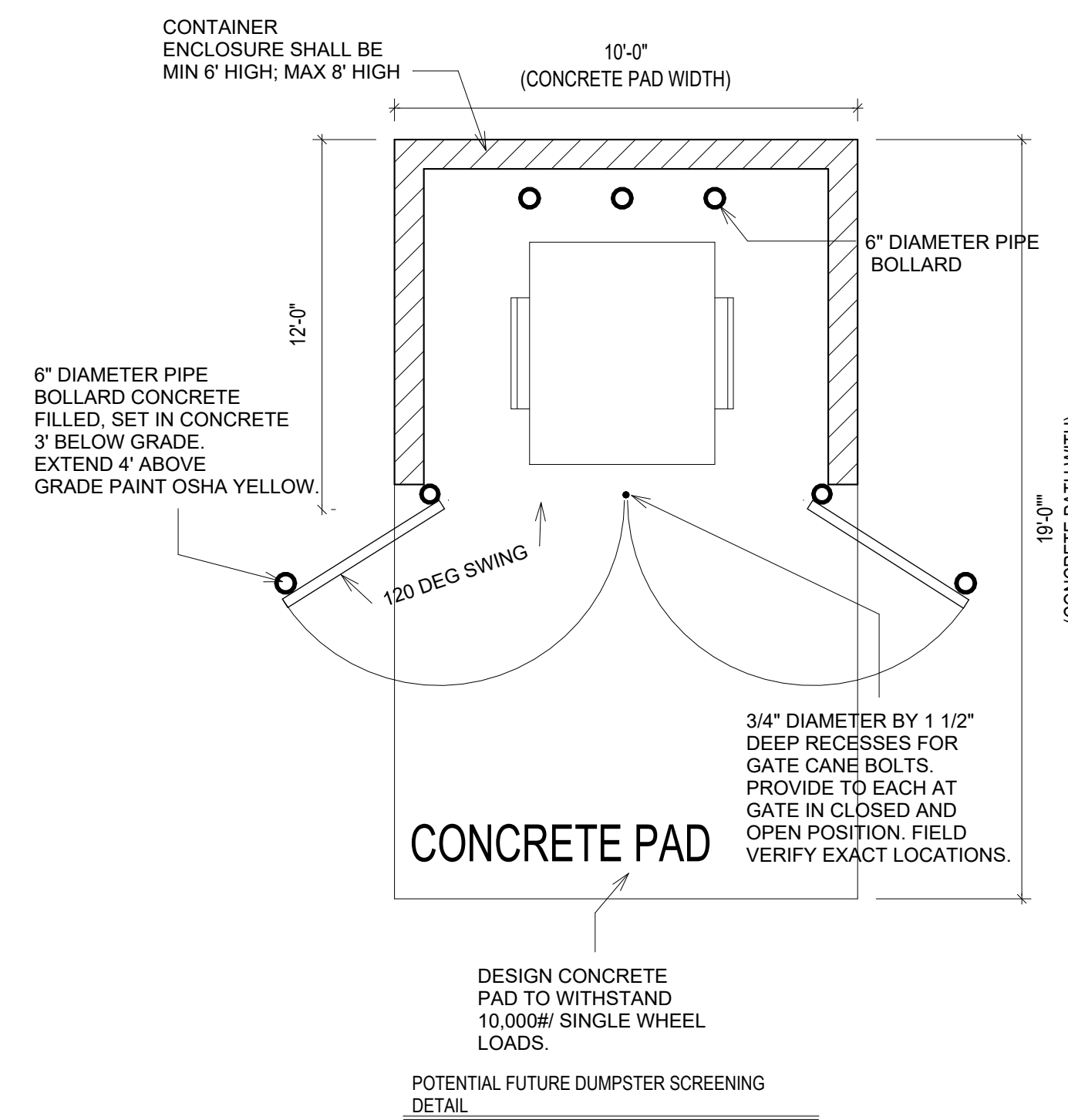
## SITE PLAN - DETAIL

**MCKINNEY BUILDING**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & S PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

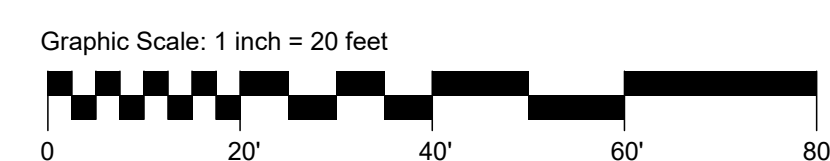
SP-1.1

CASE NUMBER \_\_\_\_\_

02-17-2023



1 SITE PLAN - DETAIL  
 1" = 20'-0"



**ARCHITECT:**  
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**LANDSCAPE ARCHITECT:**  
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**OWNER:**  
 M & J RANCH TRAIL HOLDINGS, LLC.  
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 JOHN MCKINNEY / MICHAEL DAUL  
 (214) 304-2979  
 JMCINNEY@SNAPMGA.COM  
 MDAUL@SNAPMGA.COM

**REGISTERED ARCHITECT**  
 ERIC L. DAVIS  
 STATE OF TEXAS  
 18972

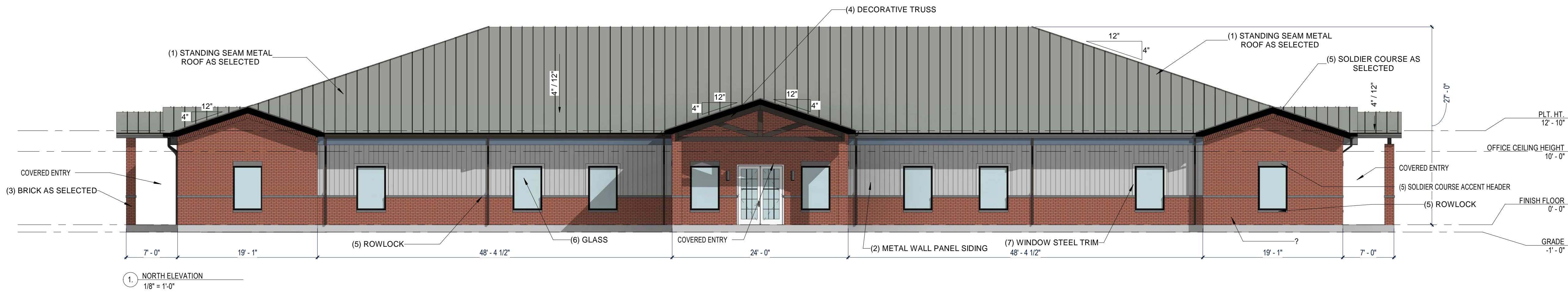
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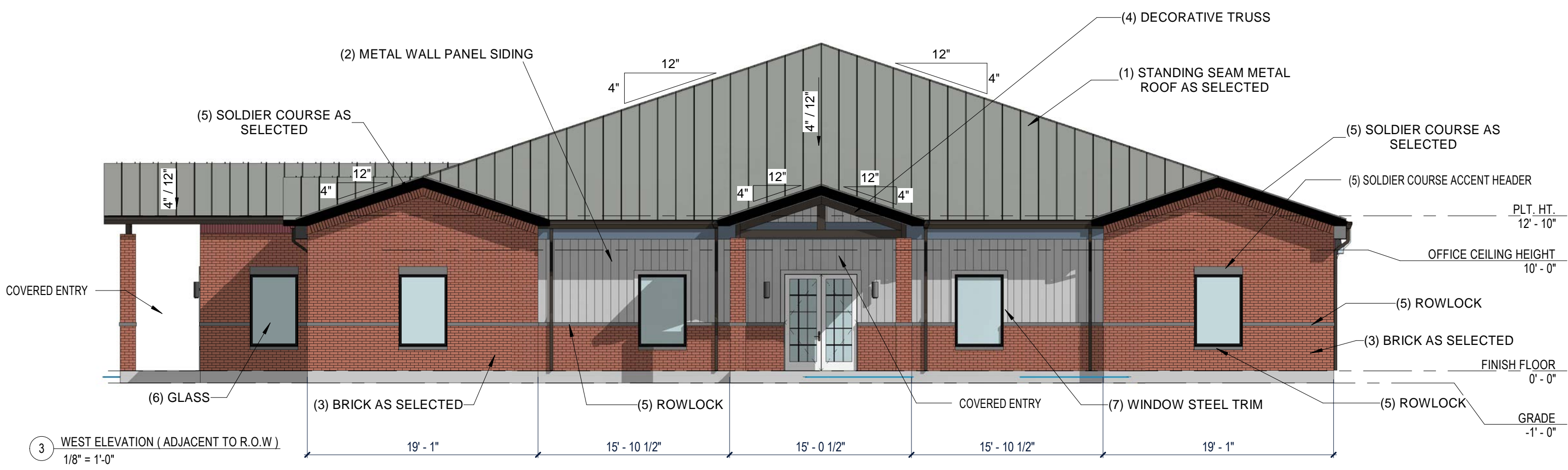
MATERIAL INFORMATION - NORTH ELEVATION		
Material Name	Material Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	1394 SF	44%
(MC) Glass	1054 SF	33%
(MC) Metal Siding	707 SF	22%
	3155 SF	100%

1 NORTH ELEVATION  
1/8" = 1'-0"



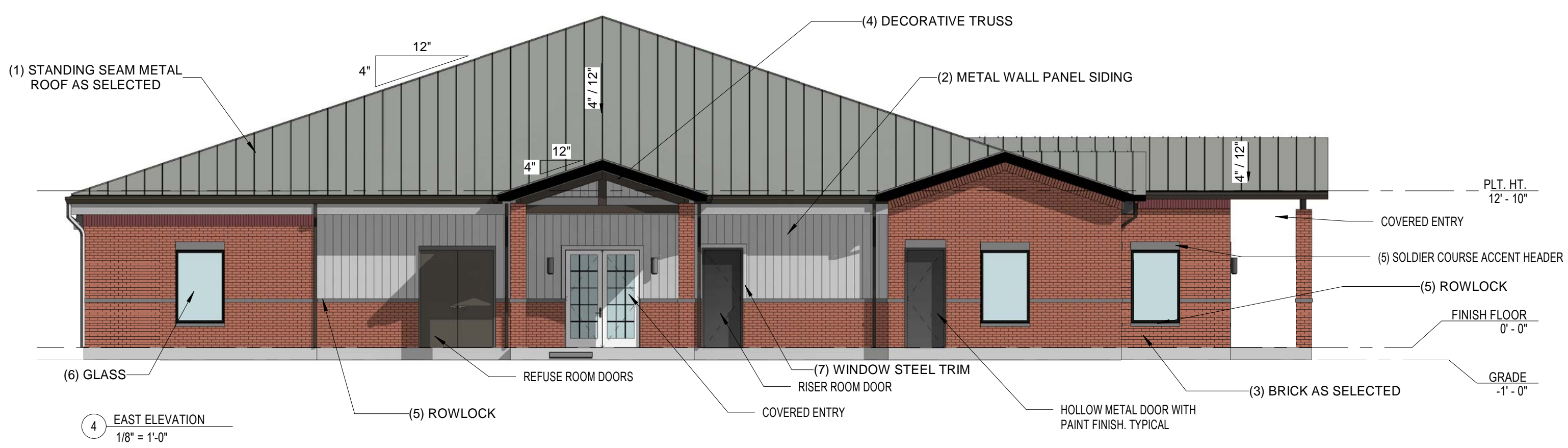
MATERIAL INFORMATION - SOUTH ELEVATION		
Material Name	Material Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	918 SF	40%
(MC) Glass	647 SF	28%
(MC) Metal Siding	738 SF	32%
Grand total:	2303 SF	100%

2 SOUTH ELEVATION  
1/8" = 1'-0"



MATERIAL INFORMATION - WEST ELEVATION		
Material Name	Material Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	743 SF	51%
(MC) Glass	392 SF	27%
(MC) Metal Siding	322 SF	22%
	1457 SF	100%

3 WEST ELEVATION (ADJACENT TO R.O.W.)  
1/8" = 1'-0"



MATERIAL INFORMATION - EAST ELEVATION		
Material Name	Material Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	669 SF	55%
(MC) Glass	227 SF	19%
(MC) Metal Siding	310 SF	26%
	1207 SF	100%

4 EAST ELEVATION  
1/8" = 1'-0"

FACADE FINISH MATERIALS SCHEDULE				
ID	TYPE	MANUFACTURER	MODEL	COLOR
1	STANDING SEAM METAL ROOF	MCBI	-	-
2	METAL WALL PANEL	MCBI	-	-
3	BRICK	ACME	-	-
4	DECORATIVE TRUSS	-	-	-
5	ACCENT BRICK	ACME	-	-
6	GLASS	-	-	-
7	WINDOW TRIM	-	-	-

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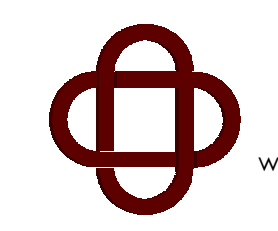
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01/20/2023



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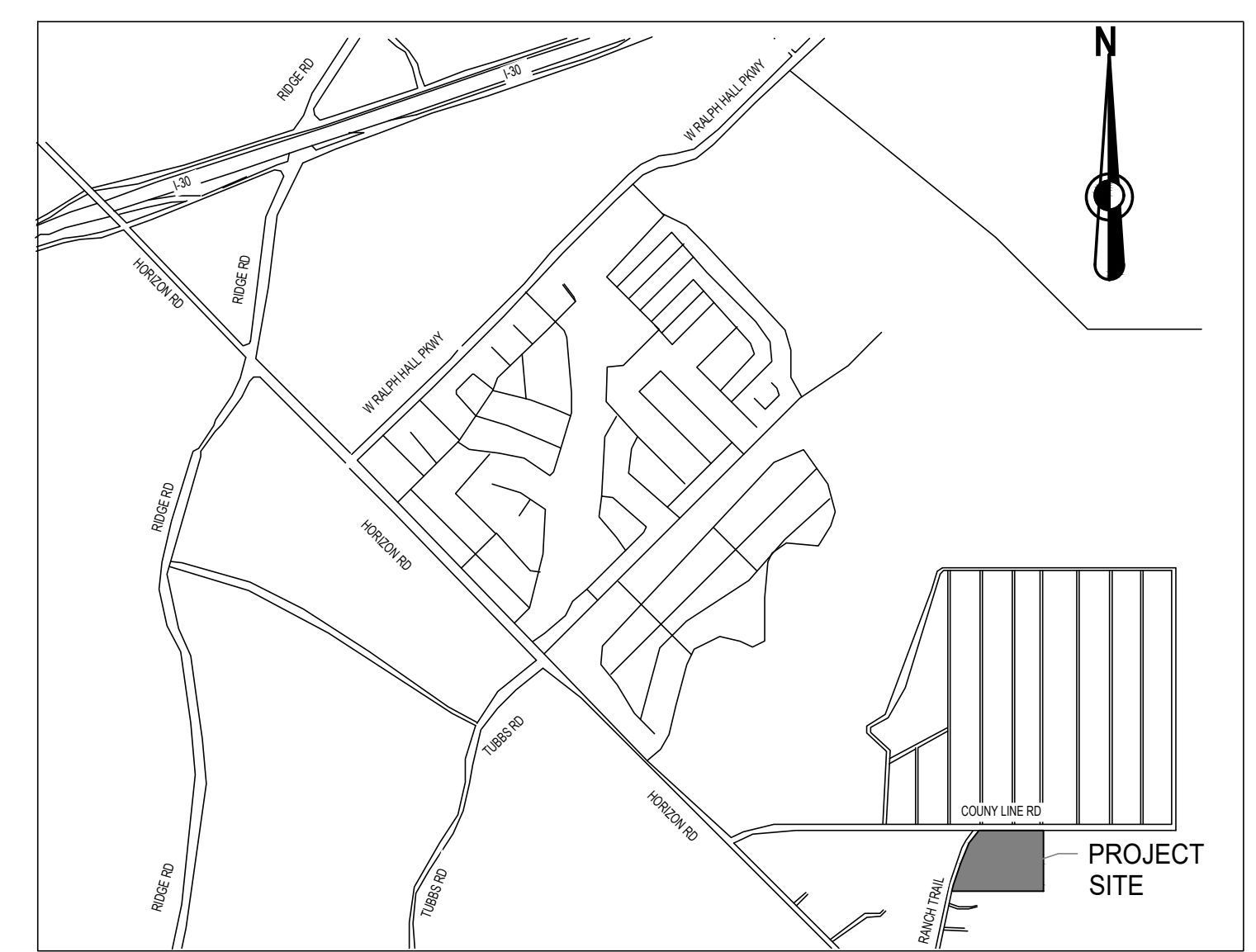
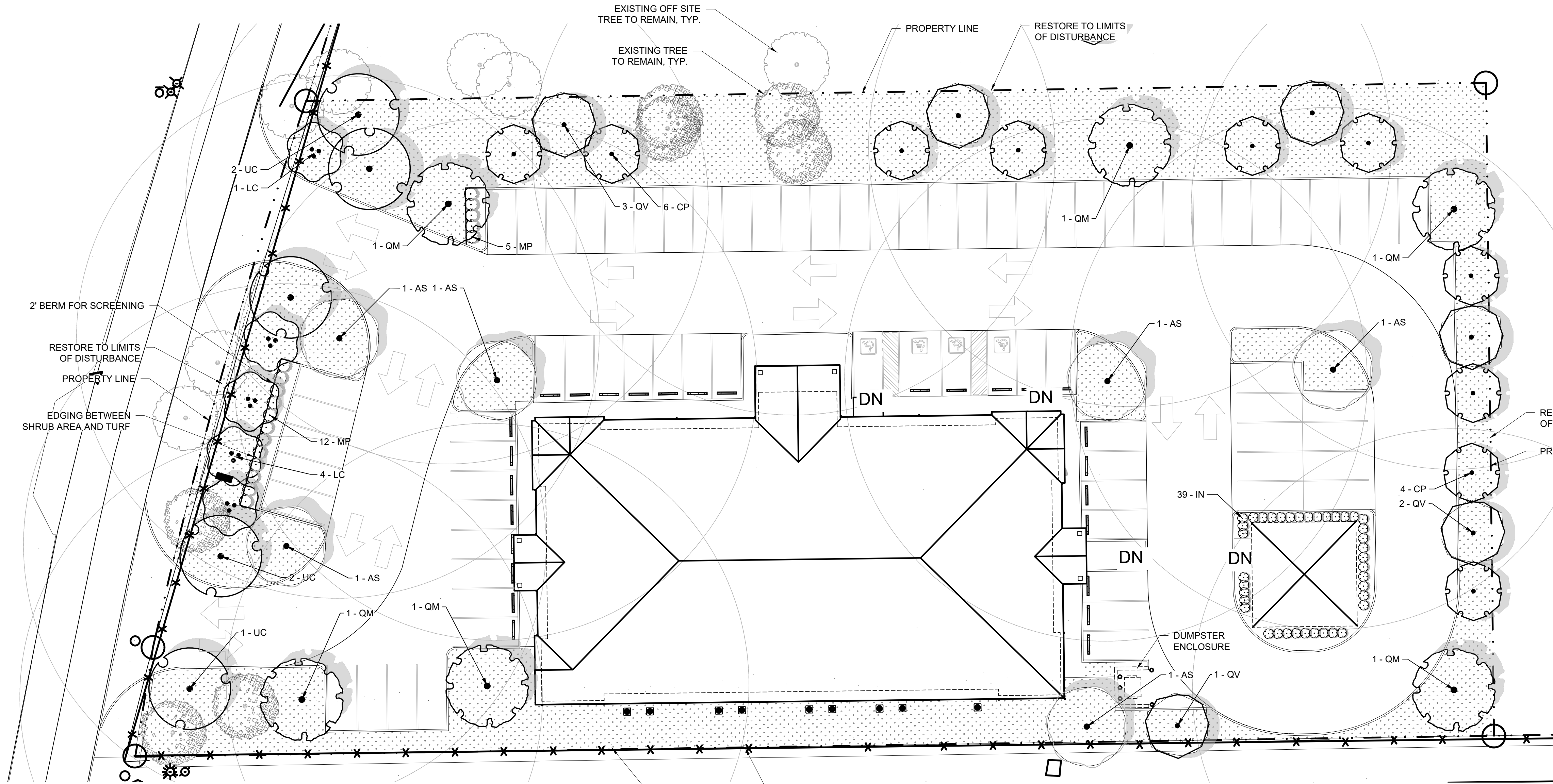
**BUILDING ELEVATIONS**  
**McKINNEY BUILDING**  
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RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.2  
CASE NUMBER \_\_\_\_\_

01/20/2023

\\10.01.2252\g\Shares\Arch\Jobs\John McKinney\1M & J Ranch Trail\2022\ARC22-0022-McKinney\_Rockwall\_2023-01-20.rvt





LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
RANCH TRAIL: ±207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS 2' BERM WITH EVERGREEN SHRUBS N/A
SCREENING PROVIDED: SCREENING FROM RESIDENTIAL:	
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±78,309 SF 15,661 SF (20%) ± 23,809 SF (30.4%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE. 15,661 x 50% = 7,830 SF
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	12,710 SF (81.1%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±37,622 SF 37,622 x 5% = 1,881 ±4,598 SF (12.2%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK 78 SPACES 8 TREES (1 PER 10 SPACES) 12 TREES
PARKING SPACES: TREES REQUIRED: TREES PROVIDED:	

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.  
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.  
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.  
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).  
a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.  
b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).  
c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.  
d. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.  
e. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.  
f. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**PLANT SCHEDULE**

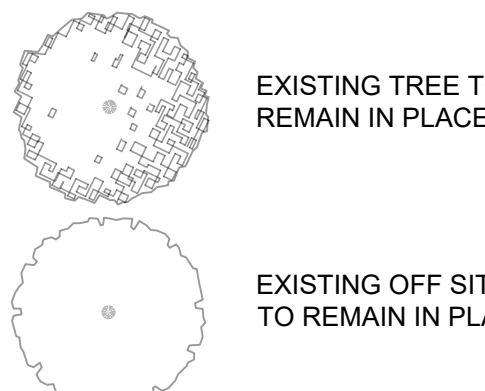
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AS	6	Acer saccharum 'Caddo' Caddo Maple	4" Cal.	Cont.	12' min.
	CP	10	Pistacia chinensis Chinese Pistache	4" Cal.	Cont.	12' min.
	QM	6	Quercus muehlenbergii Chinkapin Oak	4" Cal.	Cont.	12' min.
	QV	7	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12' min.
	UC	5	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12' min.

ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	LC	5	Lagerstroemia indica 'Cherokee' Cherokee Crape Myrtle	CONT.	3-5 CANES, 2" CAL OVERALL	8' -10' HT

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	IN	39	Ilex vomitoria 'Nana' Dwarf Yaupon	5 gal.	36" OC	24" Min.
	MP	17	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" Min.

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CD	22,382 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

**EXISTING TREE LEGEND**



**EVERGREEN DESIGN GROUP**  
(800) 680-6630  
15455 Dallas Pkwy., Ste 600  
Addicks, TX 75001  
www.EvergreenDesignGroup.com



Scale 1" = 20'

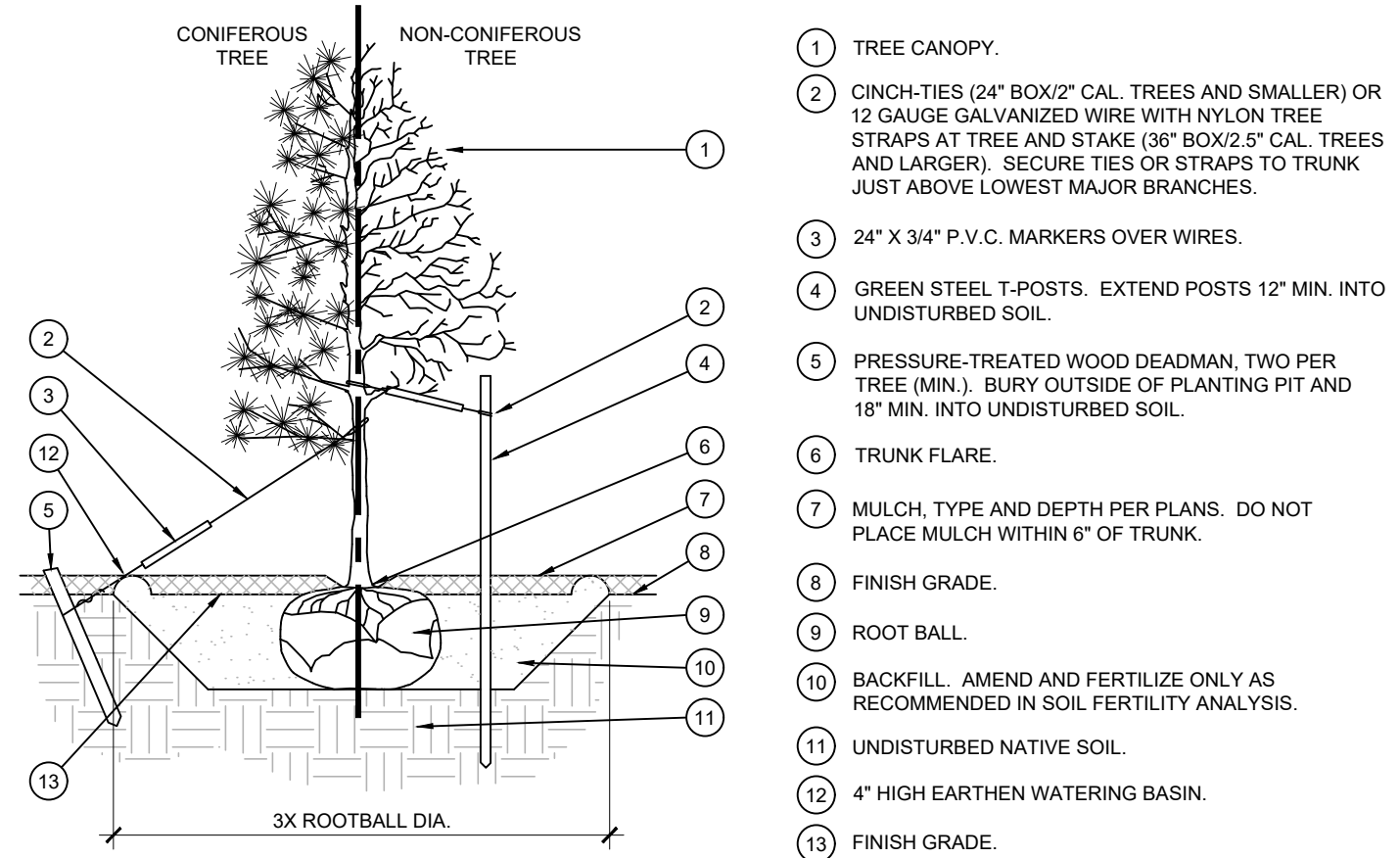
**BSDG**  
401 Pinson Road  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**Eric L. Davis Engineering, Inc.**  
401 Pinson Road  
Forney, TX 75126  
972.564.0592  
www.eldengineering.com

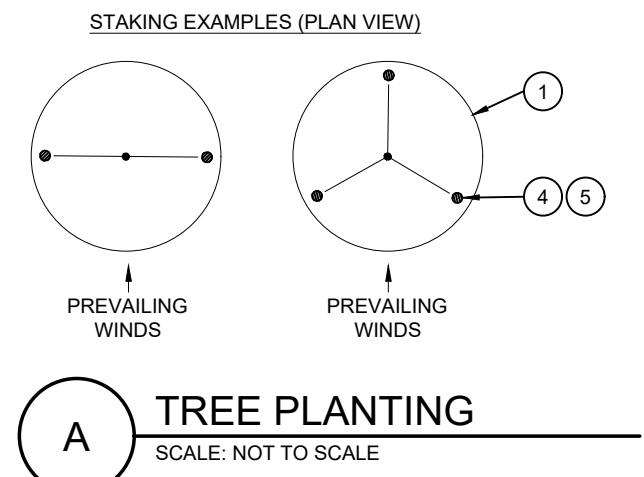
**LANDSCAPE PLANTING PLAN**  
**McKINNEY BUILDING**  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**LP-1**

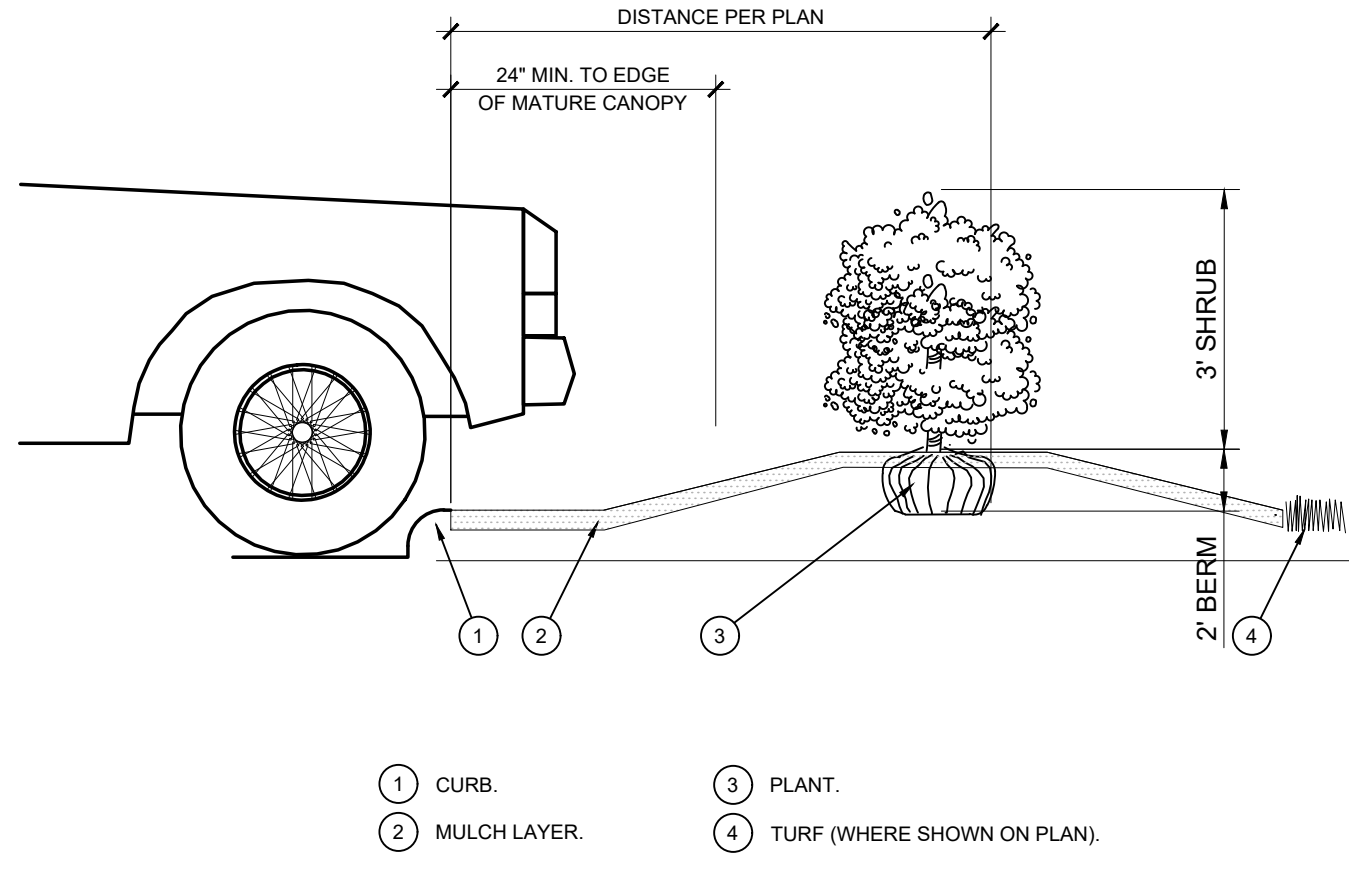




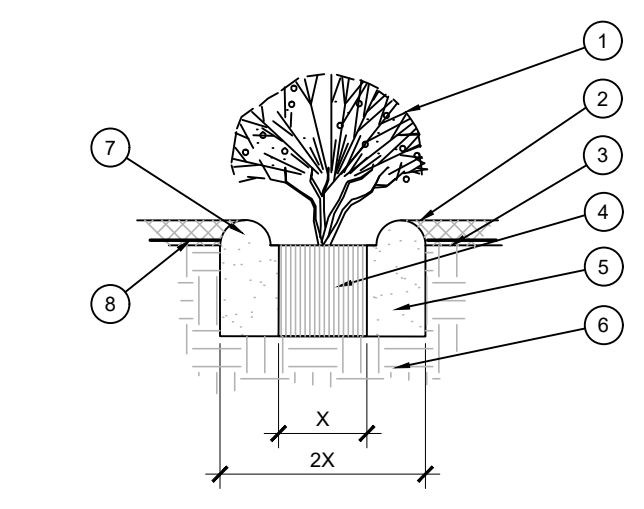
- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
  - FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  - REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.



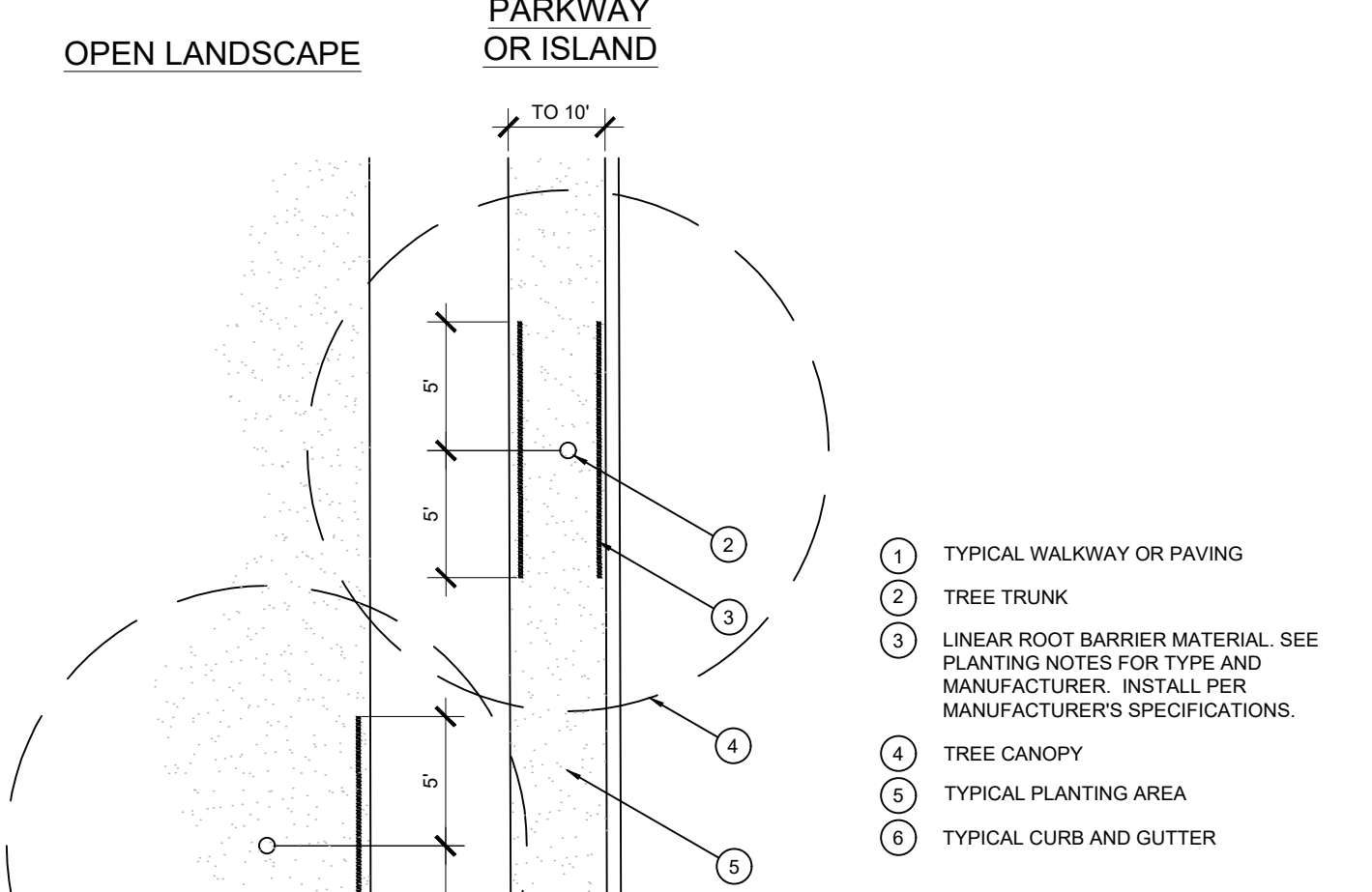
**A TREE PLANTING**  
SCALE: NOT TO SCALE



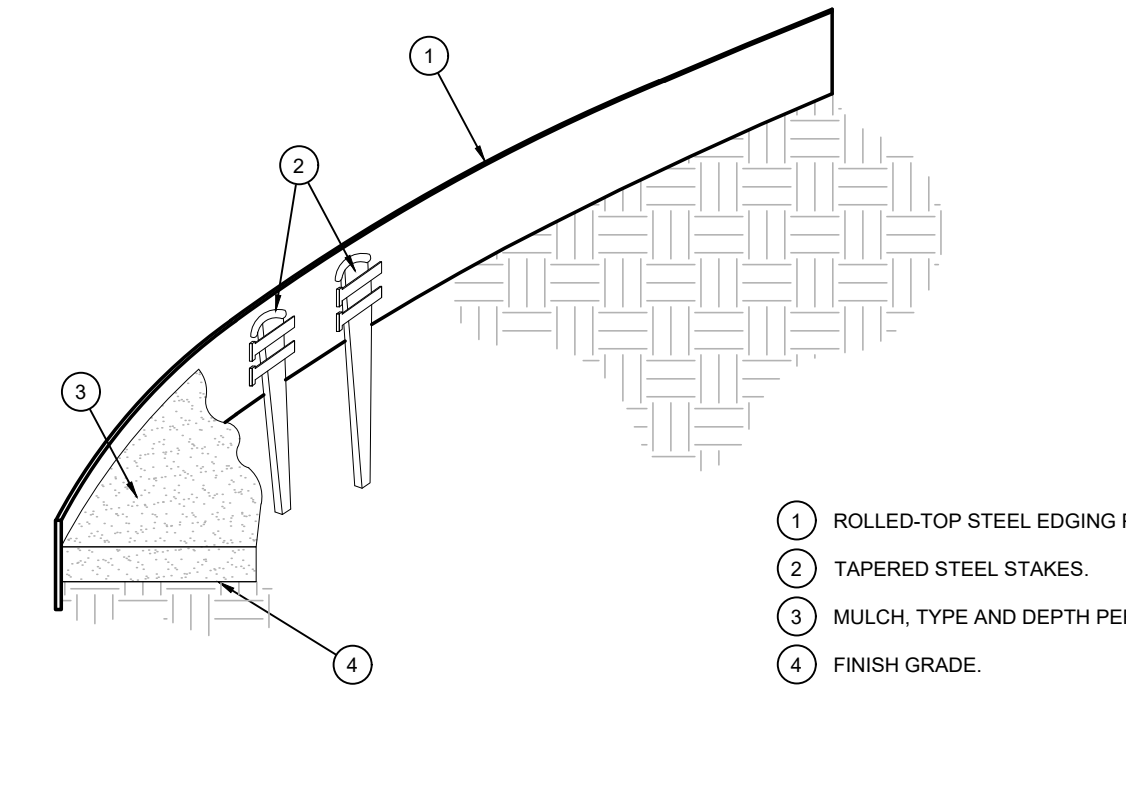
**D PLANTING AT PARKING AREA**  
SCALE: NOT TO SCALE



**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



**F ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



**D STEEL EDGING**  
SCALE: NOT TO SCALE

**PLANTING SPECIFICATIONS**

- GENERAL**
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- PRODUCTS**
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BAB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTED.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF (1/2) OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEEB-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8, MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
  - GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAIRING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 1/4 INCH THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- METHODS**
- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROB PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS. PER 1,000 S.F.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
- B. FINISH GRADE:** THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- C. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.**
- D. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.**
- E. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3' BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- F. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- G. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND THE ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.**
- H. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.**
- GENERAL PLANTING**
- A. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.**
- B. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.**
- C. TRENCHING OR EXISTING TRENCHING:**
- CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE TRUNKS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
  - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
  - FOR CONTAINER AND BAB TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE FIELD TO THE EXISTING TOPSOIL.
  - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUM LISTED BELOW) SHALL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1"-2" TREES: TWO STAKES PER TREE
    - 2-1/2"-4" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" DEEP DEER THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER JOINTS AND BUTT ENDS OF ADJACENT COURSES.
  - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CURBS, WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - DISPOSE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPAIR OR CORRECT THE DEFECTIVE WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  - SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE SPOTS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023

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RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

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## PLANTING SPECIFICATIONS

### GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

### PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL OF THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER POT DEFECTS (SUCH AS J-SHAPED ROOTS).
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 PERCENT; NOT EXCEEDING 0.5 PERCENT HEAVY METAL CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROOVETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

### METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIMC, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING AS APPROPRIATE: SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
  - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

### B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR EXISTING TREES:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

### D. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE FOR CONTAINER AND BOX TREES. TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOILS SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
  - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1"-2" TREES: TWO STAKES PER TREE
    - 2"-12" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
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  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE, COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO FORM JOINTS IN ADJACENT COURSES.
  - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

### G. MULCH

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
- DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 1" LOWER THAN THE TOP OF WALL.

### H. CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

### I. INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

### J. LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

### K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE AT THAT TIME OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

### L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023



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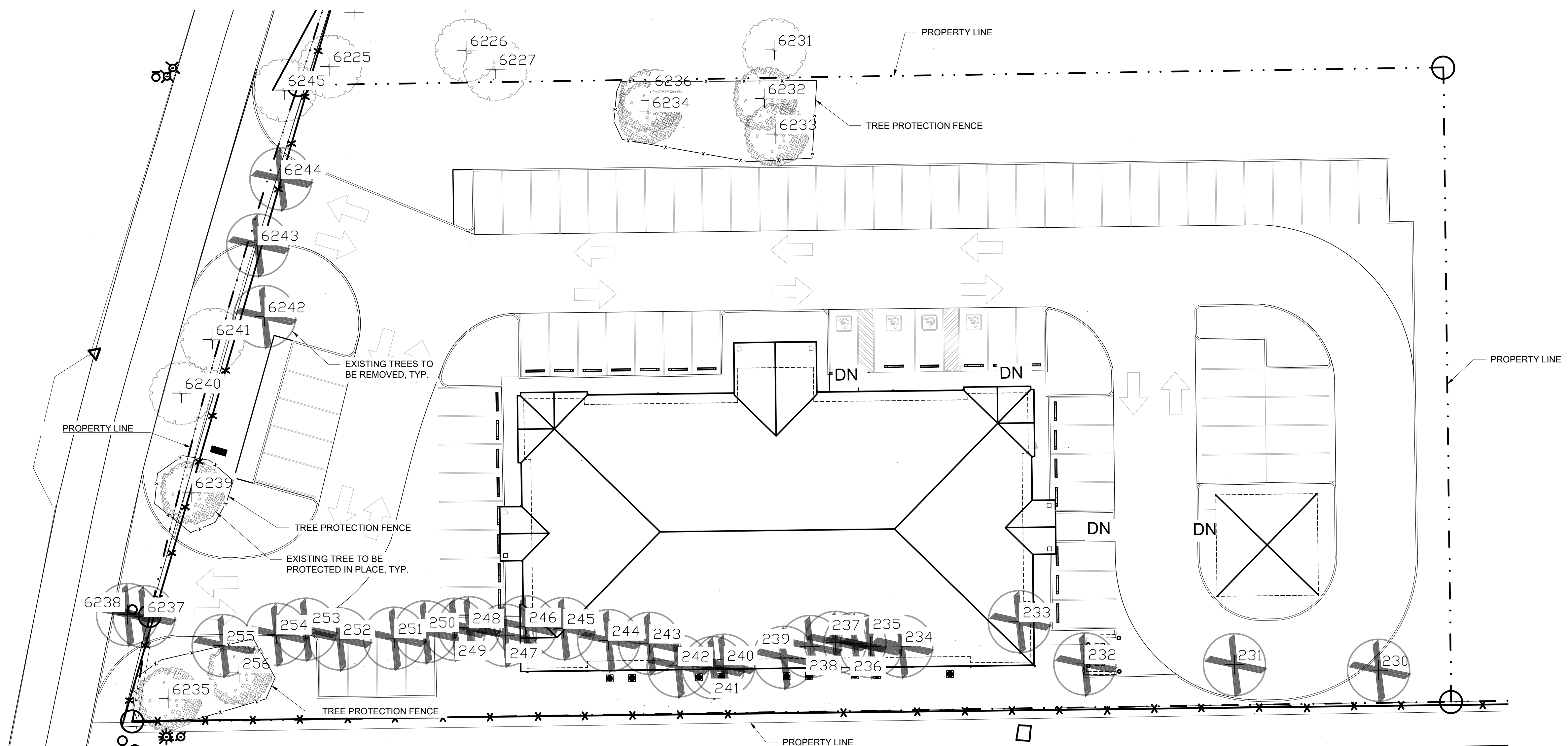
## LANDSCAPE PLANTING SPECIFICATIONS

**McKINNEY BUILDING**

405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**LP-3**

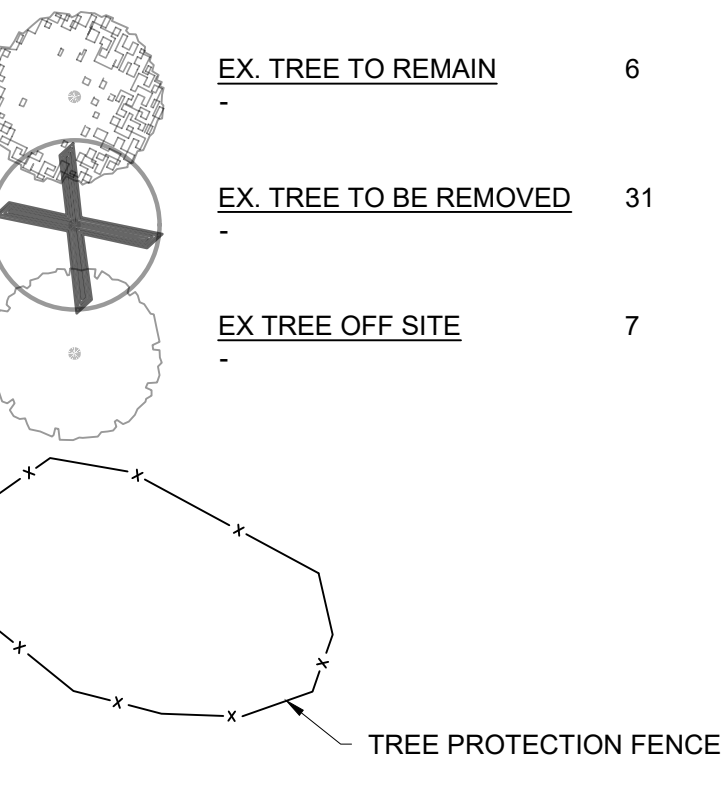




**EXISTING TREE INVENTORY**

TREE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	DISEASE	INSECT	STRUCTURAL	PRESERVE/REMOVE	MITIGATION REQ'D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED				REMOVE	4
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED			Y	REMOVE	4
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED			Y	REMOVE	4
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	PRESERVE	4
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	OFF-SITE	4
6226	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED				OFF-SITE	4
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	OFF-SITE	4
6231	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED			Y	OFF-SITE	4
6232	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED			Y	PRESERVE	4
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED			Y	PRESERVE	4
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED			Y	PRESERVE	4
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6236	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	REMOVE	4
6238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
6239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	OFF-SITE	4
6241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	GOOD	4	PROTECTED			Y	OFF-SITE	4
6242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
6243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	REMOVE	4
6244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22	19	GOOD	4	PROTECTED			Y	REMOVE	4
6245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y	Y	Y	OFF-SITE	4

**EXISTING TREE LEGEND**



TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	120"
PROPOSED CODE REQUIRED TREES:	58"
BALANCE OF MITIGATION:	42"
4" CAL. MITIGATION TREES (11) ONSITE:	64"

**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**TREESCAPE PLAN**

**McKINNEY BUILDING**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

**TD-1**

11-22-2022



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

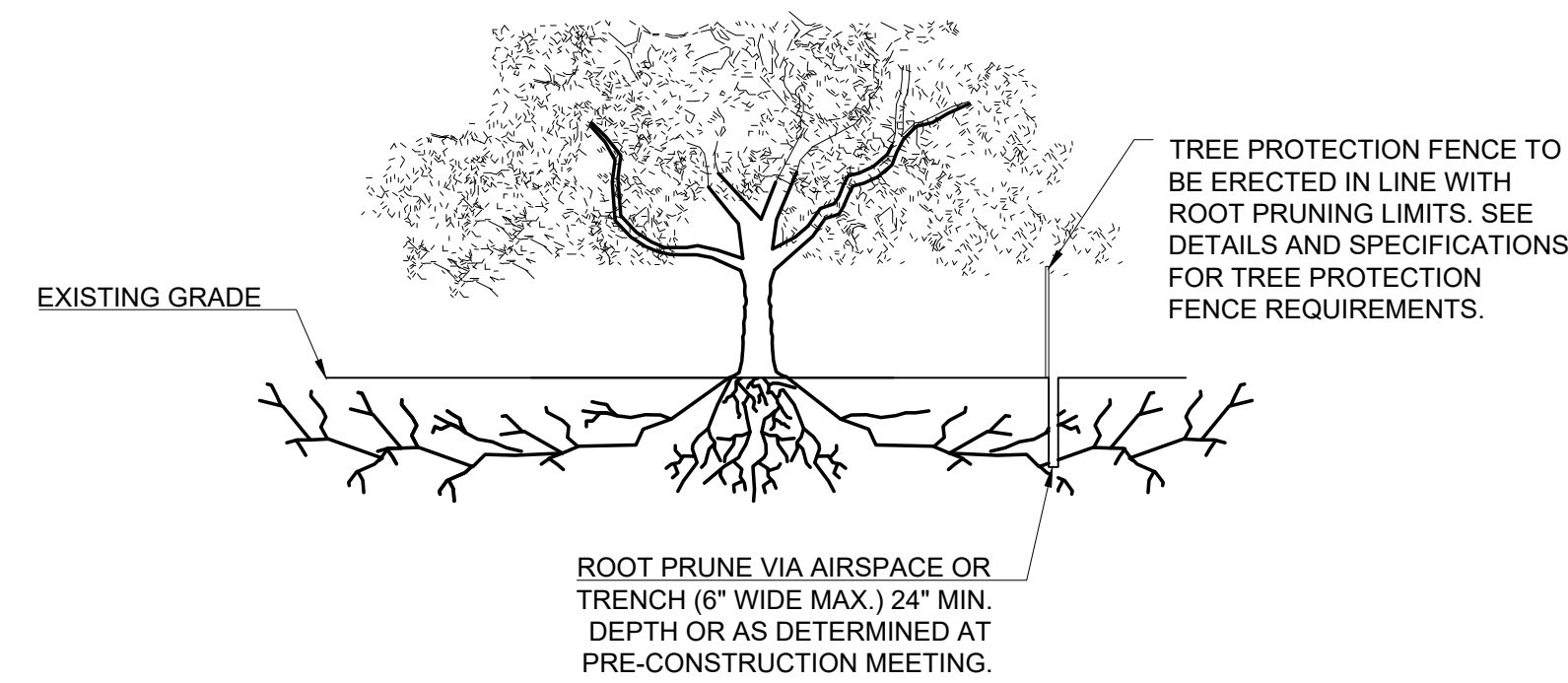
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

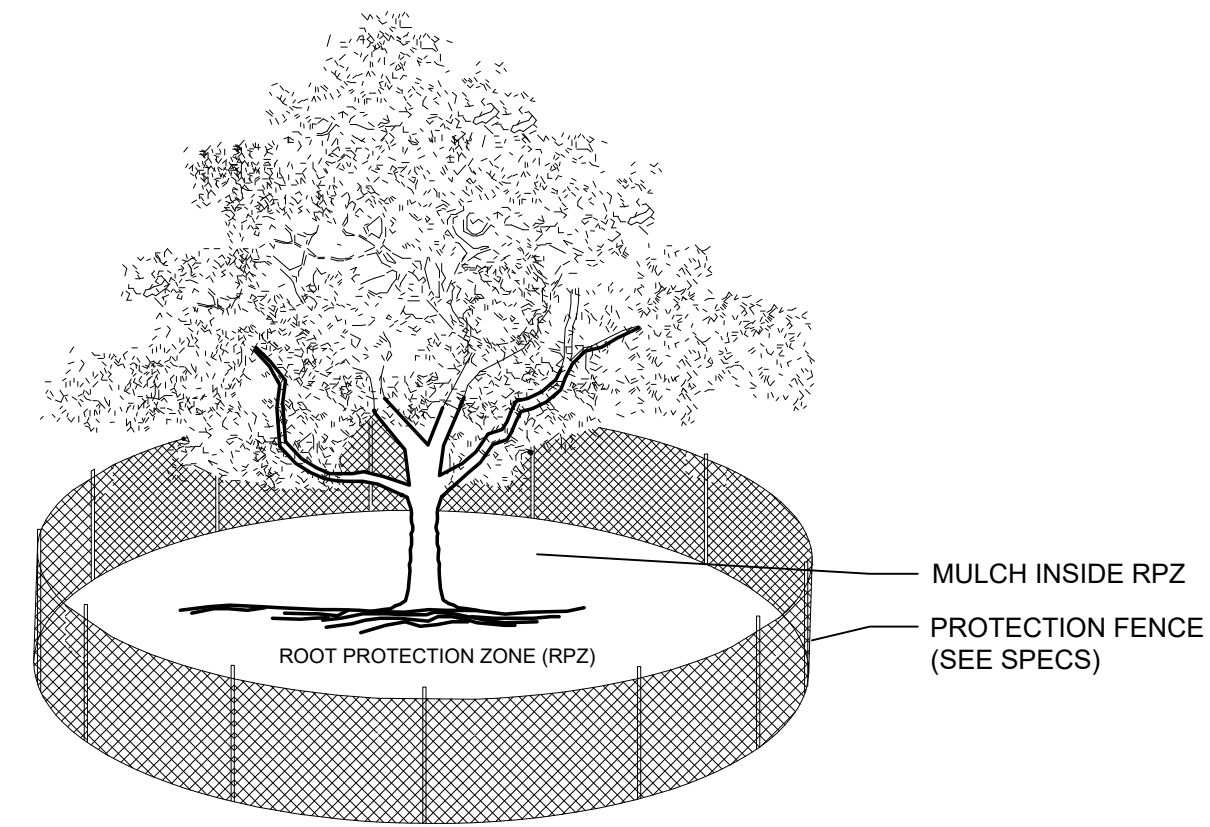
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN IN PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



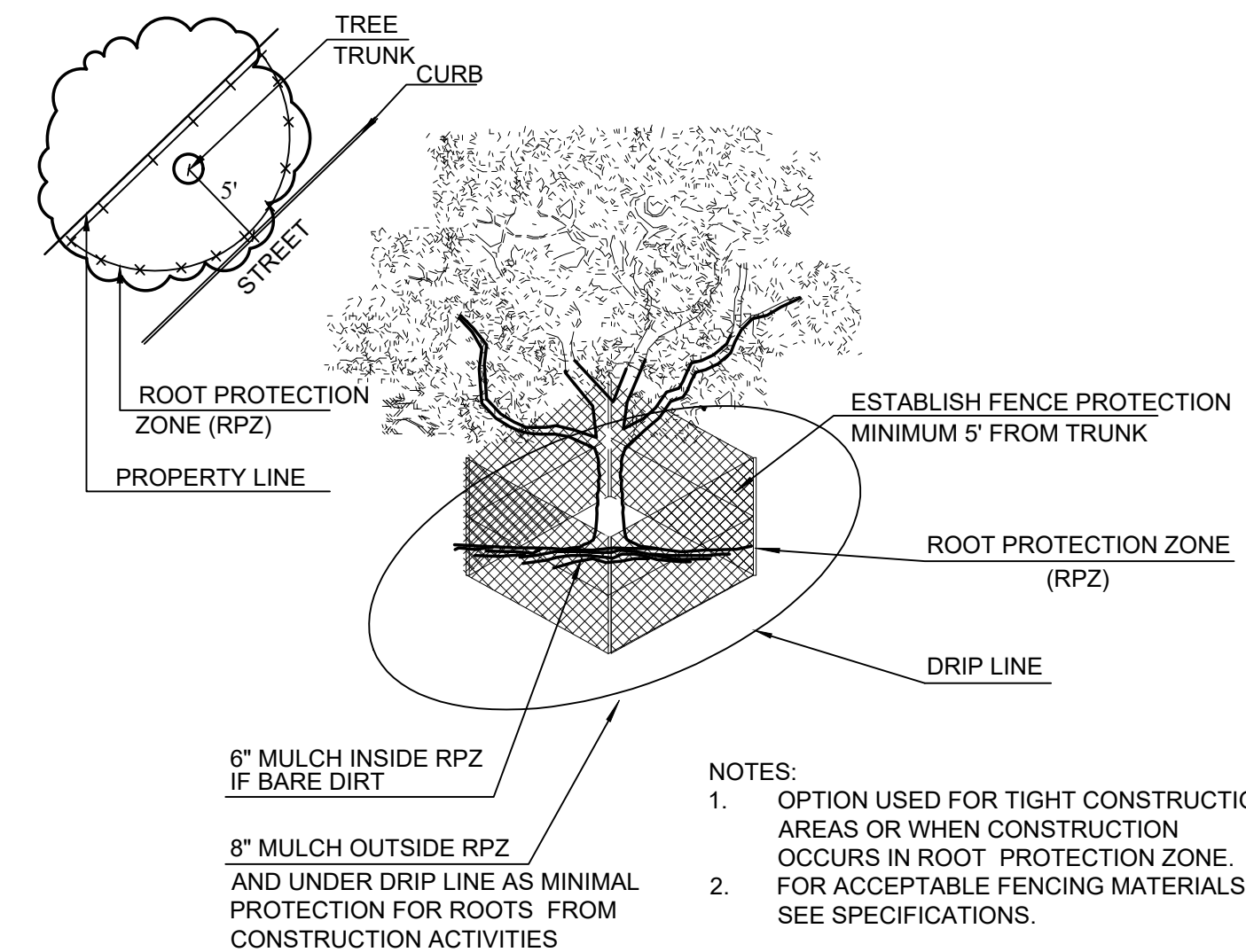
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



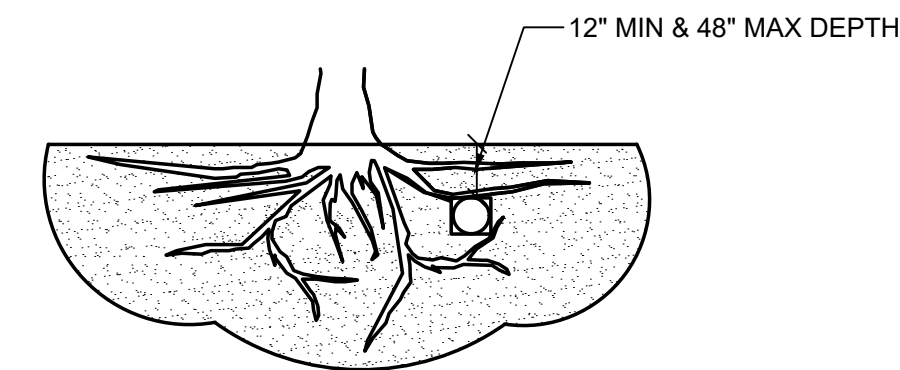
**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

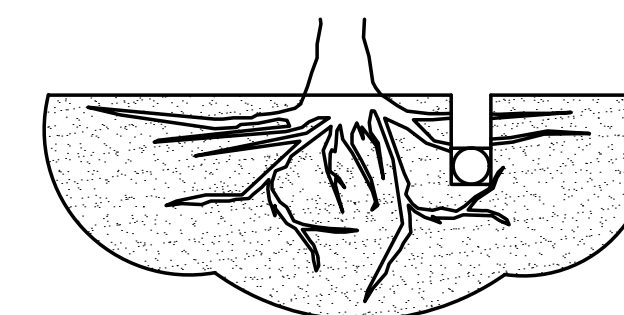
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



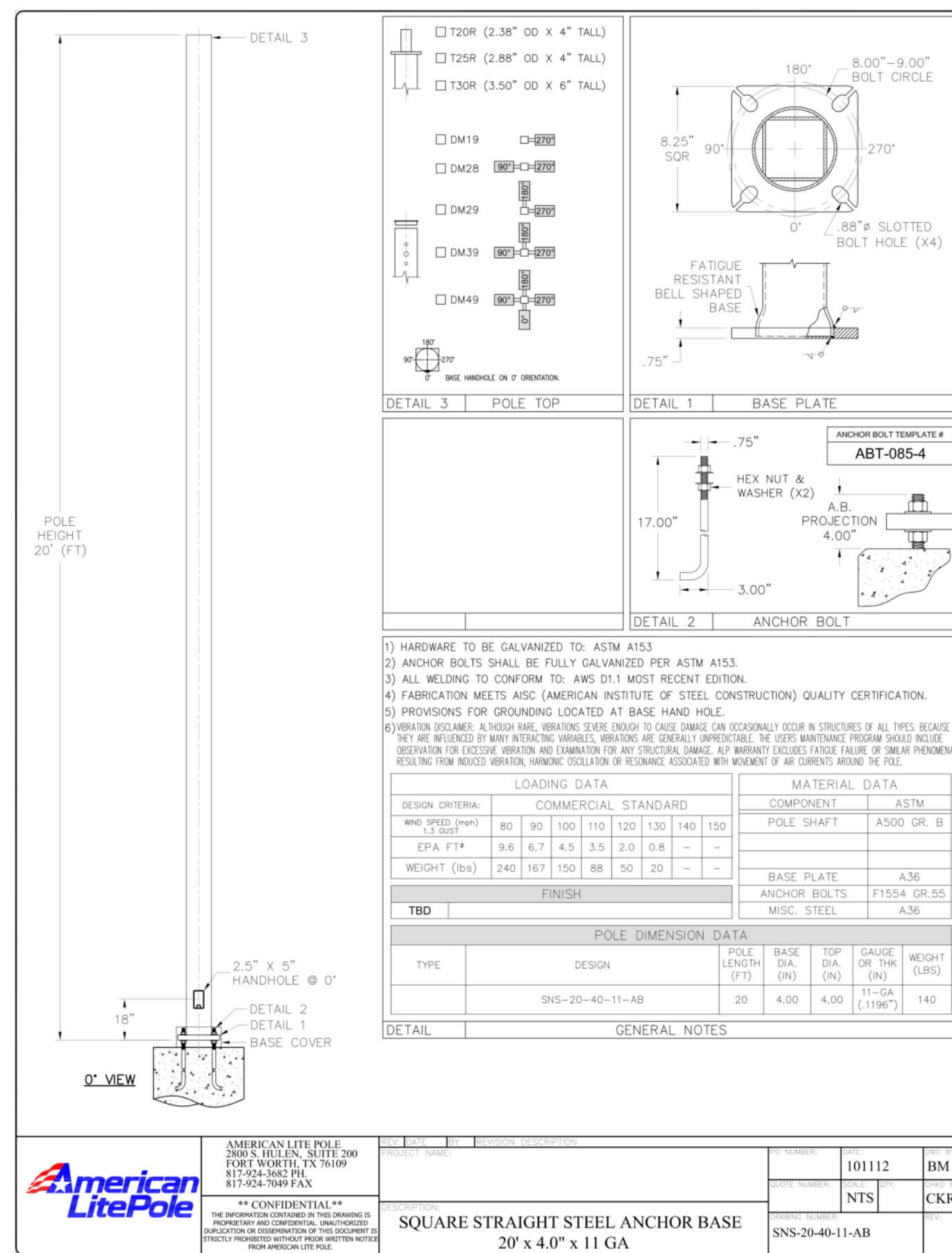
**BSDG**  
401 Pinson Road  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**Eric L. Davis Engineering, Inc.**  
401 Pinson Road  
Forney, TX 75126  
972.564.0592  
www.eldengineering.com

**TREESCAPE DETAILS & SPECIFICATIONS**  
McKINNEY BUILDING  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**TD-2**



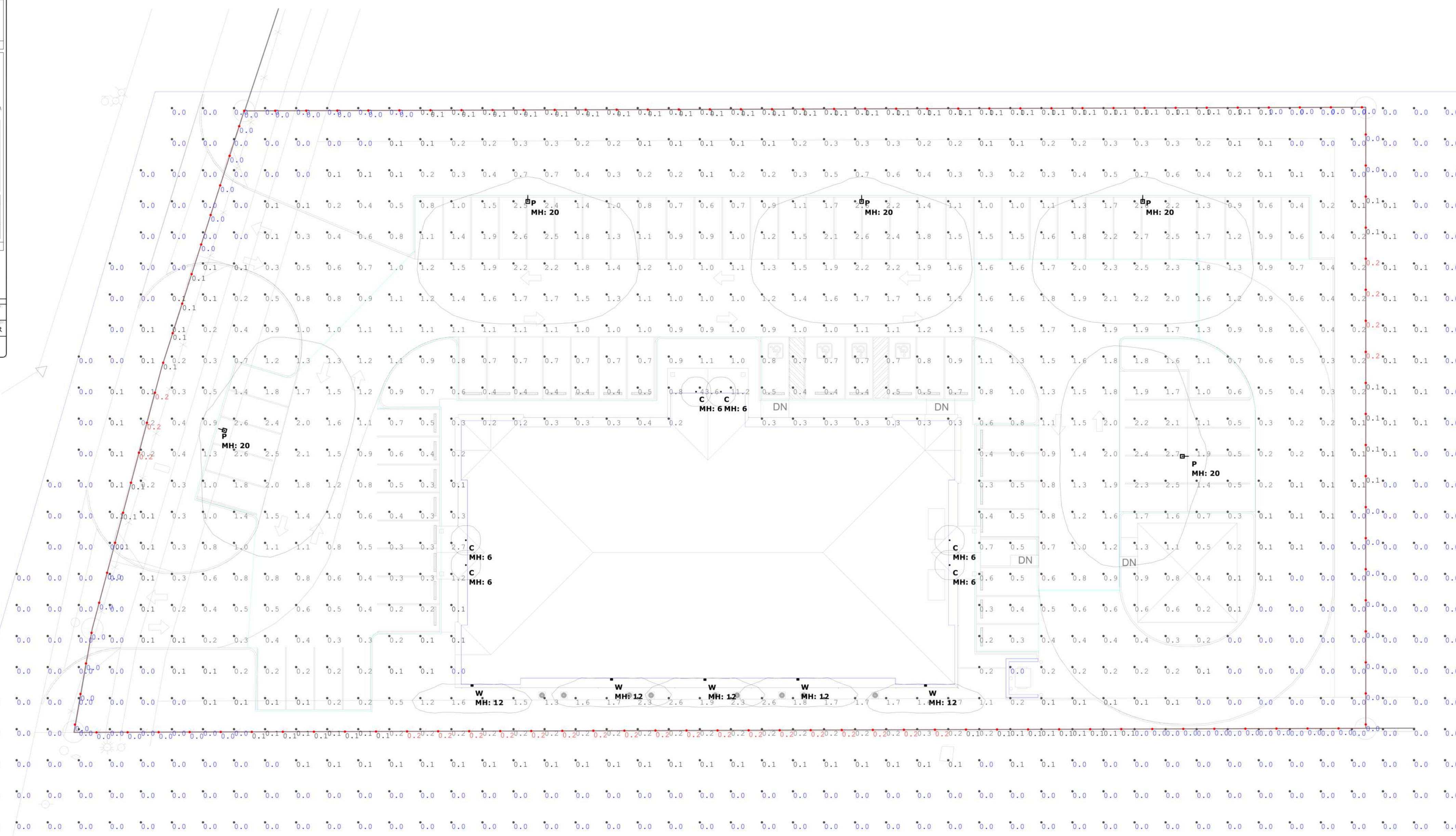


1) HARDWARE TO BE GALVANIZED TO ASTM A153  
 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153  
 3) ALL WELDING TO CONFORM TO AWS D11 MOST RECENT EDITION  
 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION  
 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE  
 6) DESIGNER PROVIDES ALL NECESSARY INFORMATION TO THE CONTRACTOR TO VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS.

LOADING DATA		MATERIAL DATA	
DESIGN (WIND)	COMMERICAL STANDARD	COMPONENT	ASTM
WIND SPEED (MPH)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FT*	9.6 6.7 4.5 3.5 2.0 0.8 -- --		
WEIGHT (lbs)	240 167 150 88 50 20 -- --	BASE PLATE	A36
		ANCHOR BOLTS	F1554 GR.55
		MISC. STEEL	A36

POLE DIMENSION DATA			
TYPE	DESIGN	POLE LENGTH (FT.)	SAUCE HEIGHT (LBS)
	SNS-20-40-11-AB	20 4.00 4.00	11-GA (11995) 140

GENERAL NOTES



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	C	6	LUMINIS SY660-L115-R30 VOLT FINISH	1600	15.3	1.000	0.850	1.000
□	P	5	LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DDBXD DM19AS 20' POLE	11025	102.1727	1.000	0.850	1.000
□	W	5	LITHONIA WDG2Z LED P1 40K 80CRI T15 MVOLT MOUNT	1215	11.1658	1.000	0.850	1.000

Calculation Summary	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.08	0.2	0.0	N.A.
SITE 1 - Planar		Fc	0.58	43.6	0.0	N.A.
PARKING LOT		Fc	1.14	2.7	0.1	11.40

- Notes:
- Surface reflectances: Vertical/Horizontal - 50/20.
  - Calculation values are at height indicated in summary table.
  - Mounting heights are designated on drawing with "MH".
  - Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
  - Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
  - Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
  - For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

2023-02-15



Plan/Spec Agreement  
 By signing these plans, Contractor/Owner agrees to the following:  
 These plans are the property of Lowery Design Group Inc. and are not to be reproduced, stored, or used for construction without the written permission of Lowery Design Group Inc. These plans are intended to provide the necessary information to build this structure. Contractor/Owner shall verify and approve all aspects prior to construction. Copyright © 2021 Lowery Design Group

DRAWN BY:	LDG	
DATE:	2/09/2023	
CHECKED BY:	LDG	
DATE:	2/13/2023	
FINAL REVIEW BY:	BSDG	
DATE:	2/15/2023	
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL

**RANCH TRAIL PARTNERS**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032

SITE PHOTOMETRICS















# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 405 Ranch Trail

SUBDIVISION Rainbo Acres

LOT 18 BLOCK

GENERAL LOCATION 600 feet south from the intersection of County Line Road and Ranch Trail

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C Commercial

CURRENT USE Vacant Property

PROPOSED ZONING C Commercial

PROPOSED USE Office Building

ACREAGE 1.798

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER M&J Ranch Trail Holdings, LLC

APPLICANT BroadStone Design Group

CONTACT PERSON John McKinney / Michael Daul

CONTACT PERSON Dan Whalen II

ADDRESS 315 Ranch Trail

ADDRESS 401 Pinson Road

CITY, STATE & ZIP Rockwall, TX 75023

CITY, STATE & ZIP Forney, TX 75126

PHONE (214) 304-2979

PHONE (214) 295-5280

E-MAIL JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

E-MAIL DWHALEN@BROADSTONEDG.COM

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

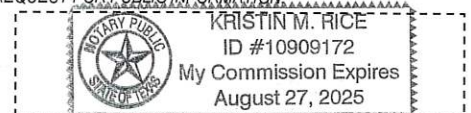
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

OWNER'S SIGNATURE

*John McKinney*

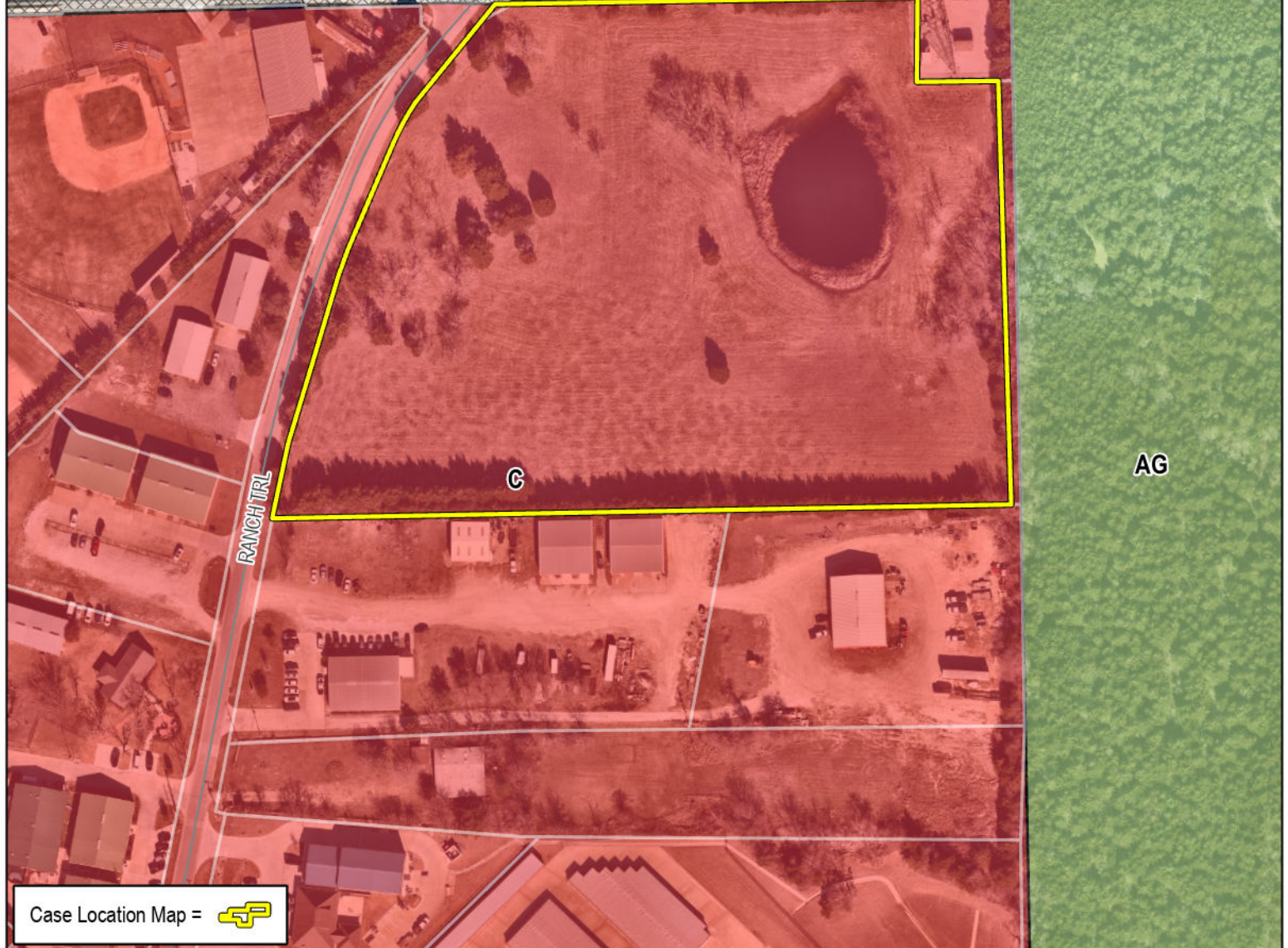
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



MY COMMISSION EXPIRES





Case Location Map = 



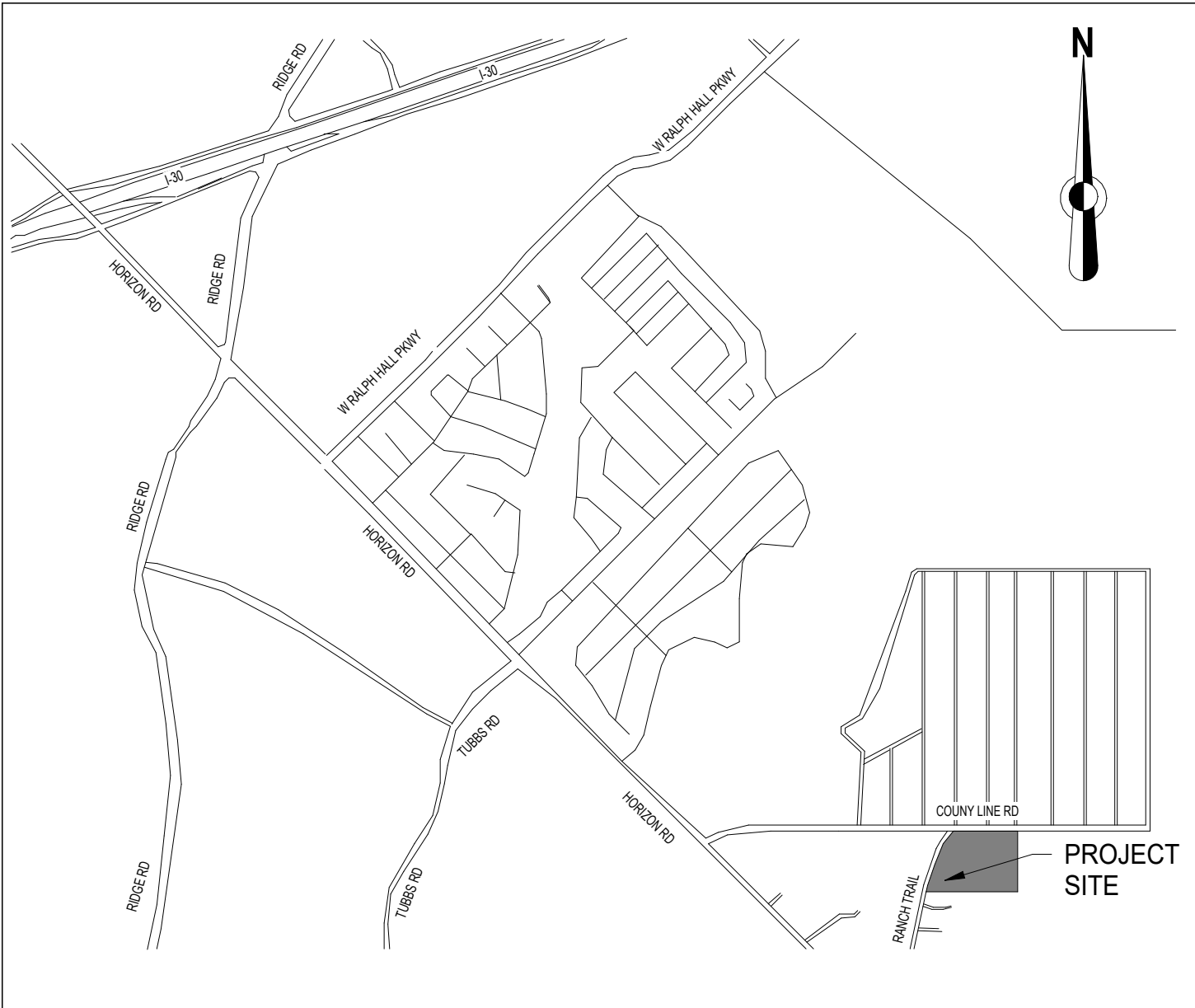
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







VICINITY MAP N.T.S.

LEGEND	
IRF	Iron Rod Found
IRS	Iron Rod Set
PP	Power Pole
GW	Gas Wire
FH	Fire Hydrant
WV	Water Valve
WM	Water Meter
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EM	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Clean Out
GL	Ground Light
SP	Signal Pole
TSB	Traffic Signal Box
TB	Telephone Box
GV	Gas Valve
WMH	Water Manhole
MW	Monitoring Well
DRRCT	Deed Records Rockwall County, Texas

CPIV-354 RANCH TRAIL LLC MAVERICK RANCH BLOCK A, LOT 2 ACRES 1.360

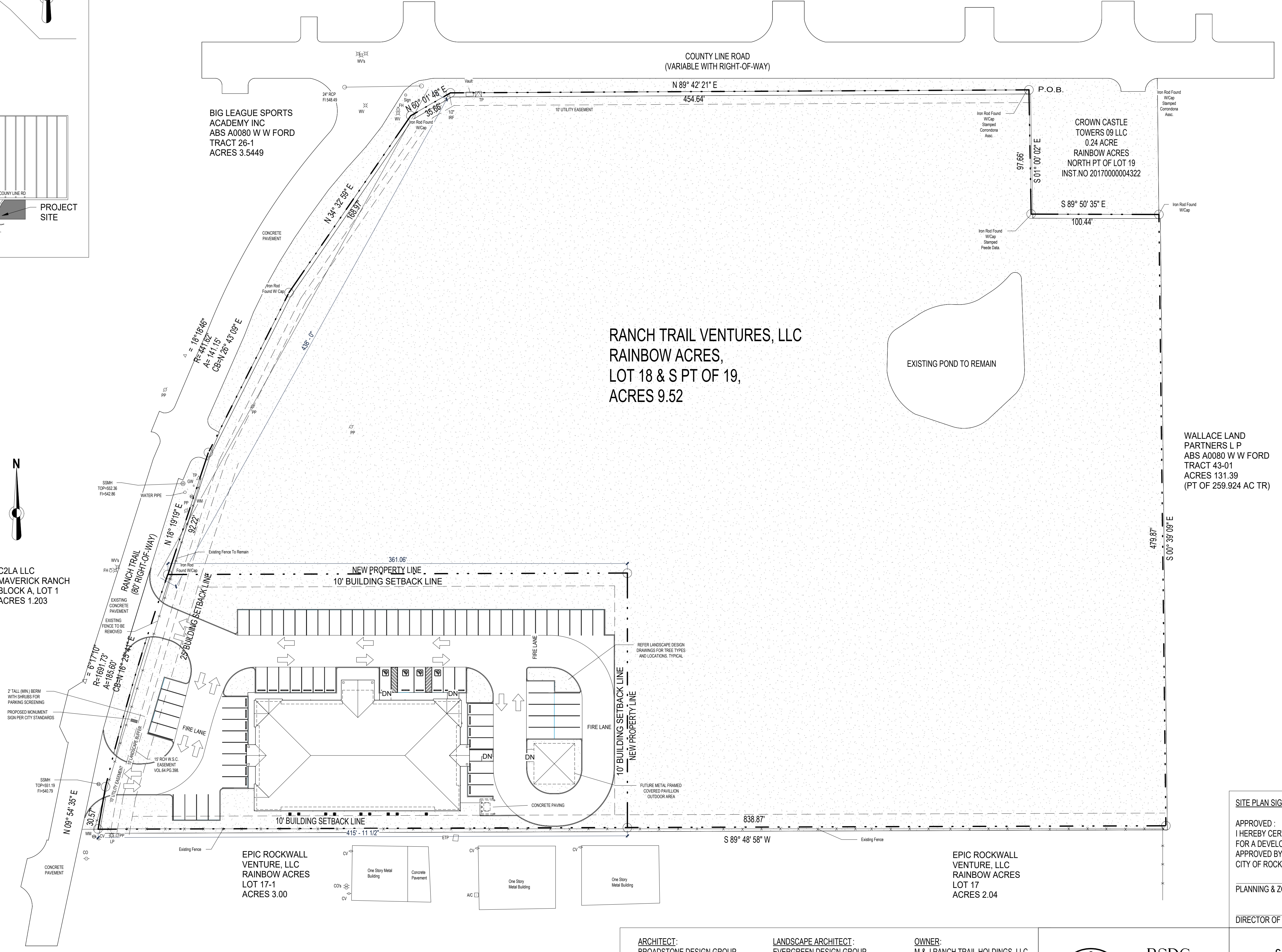
C2LA LLC MAVERICK RANCH BLOCK A, LOT 1 ACRES 1.203

BIG LEAGUE SPORTS ACADEMY INC ABS A0080 W W FORD TRACT 26-1 ACRES 3.5449

RANCH TRAIL VENTURES, LLC RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

WALLACE LAND PARTNERS L P ABS A0080 W W FORD TRACT 43-01 ACRES 131.39 (PT OF 259.924 AC TR)

CROWN CASTLE TOWERS 09 LLC 0.24 ACRE RAINBOW ACRES NORTH PT OF LOT 19 INST. NO 2017000004322

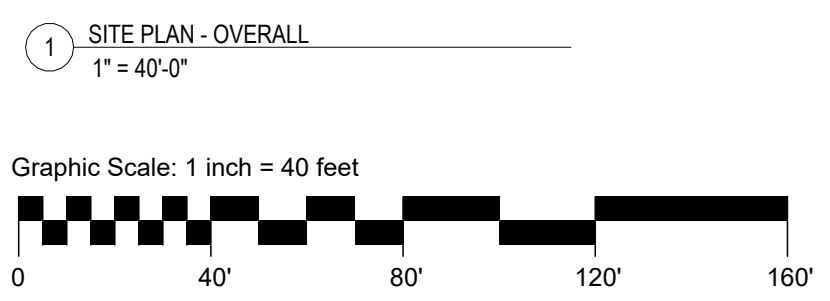


**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_

DIRECTOR OF PLANNING & ZONING \_\_\_\_\_



**ARCHITECT:**  
BROADSTONE DESIGN GROUP  
401 PINSON ROAD  
FORNEY, TX 75126  
DAN WHALEN II  
(214) 295-5280  
DWHALEN@ELDENGEERING.COM

**LANDSCAPE ARCHITECT:**  
EVERGREEN DESIGN GROUP  
15455 DALLAS PKWY, STE 600  
ADDISON, TX 75001  
ERIC SHEPLEY  
(800) 680-6630 X 11  
ERIC@EVERGREENDESIGNGROUP.COM

**OWNER:**  
M & J RANCH TRAIL HOLDINGS, LLC.  
315 RANCH TRAIL  
ROCKWALL, TX 75023  
JOHN MCKINNEY / MICHAEL DAUL  
(214) 304-2979  
JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

**CIVIL ENGINEER:**  
ERIC L. DAVIS ENGINEERING, INC.  
401 PINSON ROAD  
FORNEY, TX 75126  
MITCH LENAMOND  
(972) 564-0592  
MLENAMOND@ELDENGEERING.COM

**MEP ENGINEER:**  
APE ENGINEERING  
1340 DOVE DRIVE  
MIDLOTHIAN, TX 78065  
RUSSELL LAQUEY  
(972) 351-7550  
RUSLAQUEY@YAHOO.COM

**REGISTERED ARCHITECT**  
ERIC L. DAVIS  
STATE OF TEXAS  
18972

02-17-2023

**BSDG**  
401 Pinson Road  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**Eric L. Davis Engineering, Inc.**  
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972.564.0592  
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**SITE PLAN - OVERALL**

**MCKINNEY BUILDING**  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & S PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.0

CASE NUMBER \_\_\_\_\_

02-17-2023



# PROJECT SITE PLAN DATA

**GENERAL**  
 EXISTING USE: VACANT PROPERTY  
 PROPOSED USE: OFFICE BUILDING  
 EXISTING ZONING DISTRICT: C COMMERCIAL  
 PROPOSED ZONING DISTRICT: C COMMERCIAL  
 APPLICABLE ZONING OVERLAYS: N/A  
 ROCKWALL COUNTY APPRAISAL DISTRICT  
 ACCOUNT NUMBER: 87534

**OVERALL SITE**  
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES  
 SITE FRONTAGE: 216 FT  
 SITE WIDTH: 200 FEET  
 SITE DEPTH: VARIES 361 FEET TO 416 FEET  
 IMPERVIOUS SURFACE AREA: 54,505 SF  
 PERVIOUS SURFACE AREA: 23,809 SF

**BUILDING**  
 TOTAL GROSS INTENSITY (FAR): 0.16:1  
 TOTAL SQUARE FOOTAGE: 13,080 SF  
 COMMERCIAL (SF): 13,080 SF  
 INDUSTRIAL (SF): N/A  
 OTHER (SF): N/A

**PROPERTY DEVELOPMENT REGULATIONS**  
 MAXIMUM BUILDING COVERAGE PERMITTED: 60%  
 MAXIMUM BUILDING COVERAGE PROPOSED: 16.7%  
 MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF  
 MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET  
 MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

**SETBACKS (REQUIRED & PROPOSED):**  
 FRONT SETBACK: 25 FEET / 25 FEET  
 SIDE SETBACK: 10 FEET / 10 FEET  
 REAR SETBACK: 10 FEET / 10 FEET  
 MAX STRUCTURE HEIGHT PERMITTED: 60 FEET  
 MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

## FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

## PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE  
 OFFICE AREA: 13,080 SF

REQUIRED PARKING: 44  
 PROVIDED PARKING: 78

REQUIRED ADA PARKING: 4  
 PROVIDED ADA PARKING: 4

PARKING SPACE: 9' X 20'  
 ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE  
 ADA STANDARD: 9' X 20'

### SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13468 SF
GROSS PARKING AREA	IMPERVIOUS	37622 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	937 SF
SIDEWALK	IMPERVIOUS	164 SF
SIDEWALK	IMPERVIOUS	956 SF
SIDEWALK	IMPERVIOUS	364 SF
SIDEWALK	IMPERVIOUS	95 SF
IMPERVIOUS		54505 SF

LANDSCAPE (GENERAL)	PERVIOUS	17652 SF
LANDSCAPE BUFFER	PERVIOUS	1647 SF
LANDSCAPE BUFFER	PERVIOUS	456 SF
LANDSCAPE BUFFER	PERVIOUS	356 SF
INTERIOR LANDSCAPE	PERVIOUS	435 SF
INTERIOR LANDSCAPE	PERVIOUS	787 SF
INTERIOR LANDSCAPE	PERVIOUS	498 SF
INTERIOR LANDSCAPE	PERVIOUS	1536 SF
PERVIOUS		23809 SF
Grand total		78315 SF

### SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

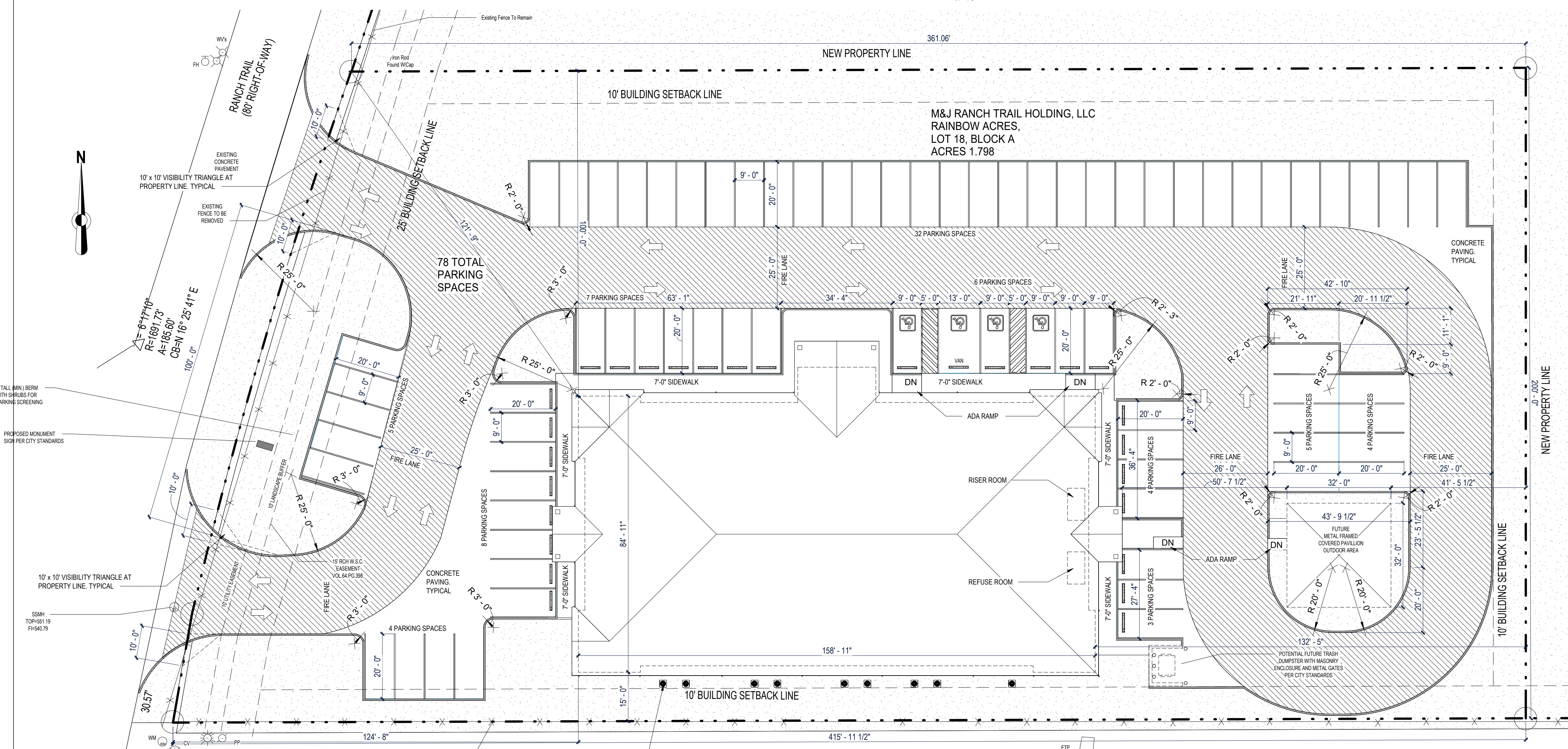
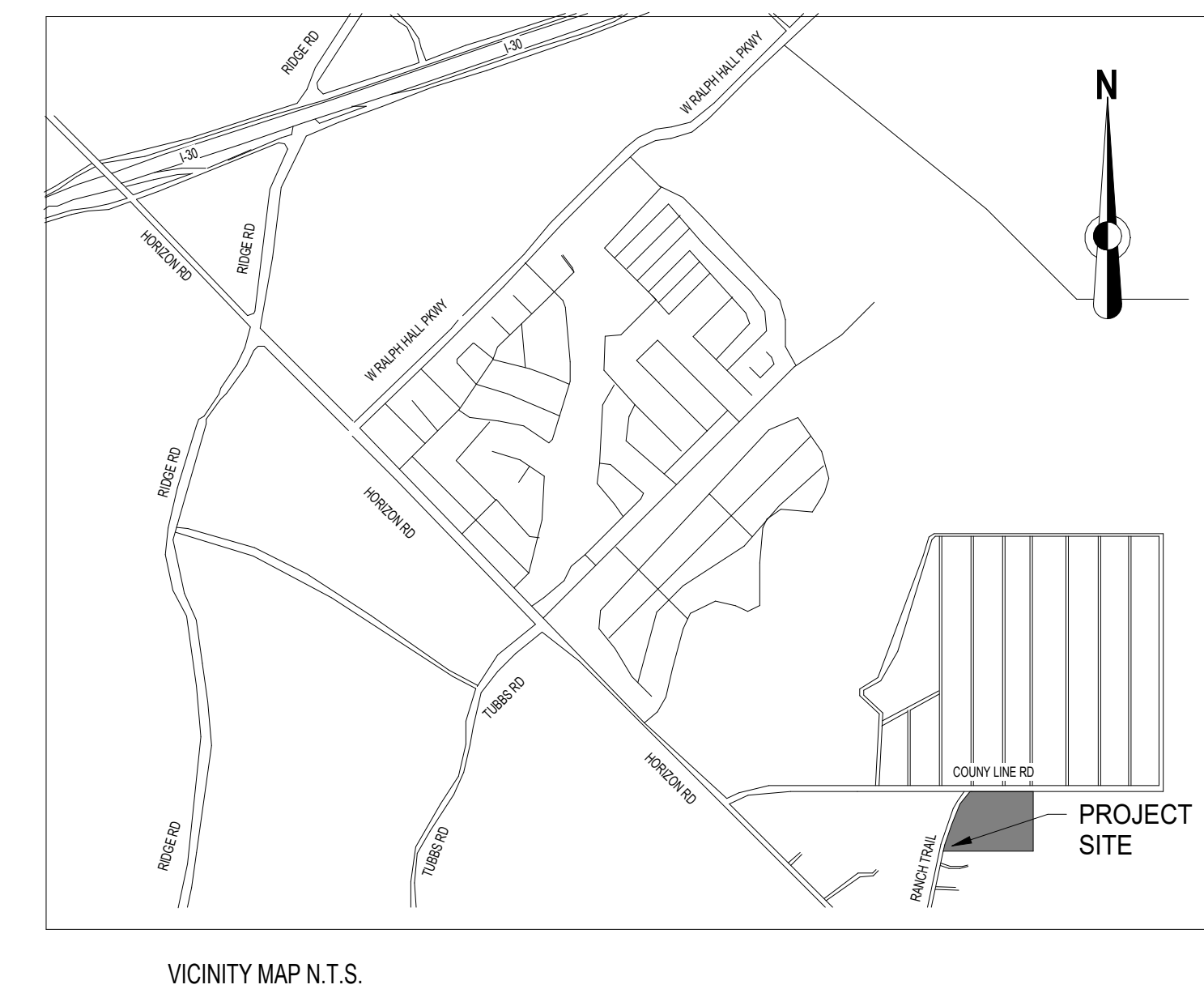
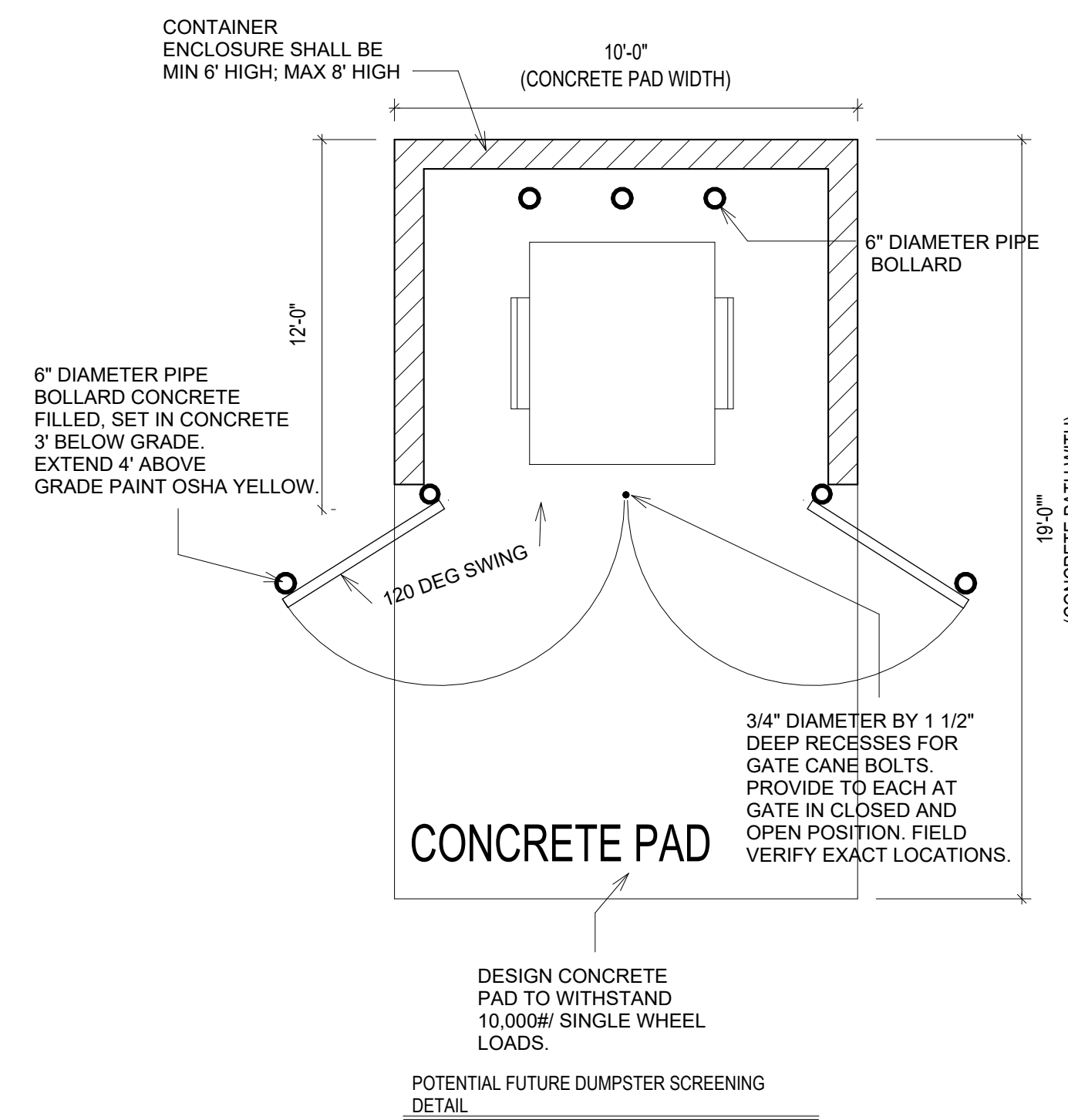
## SITE PLAN - DETAIL

**MCKINNEY BUILDING**  
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 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & S PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

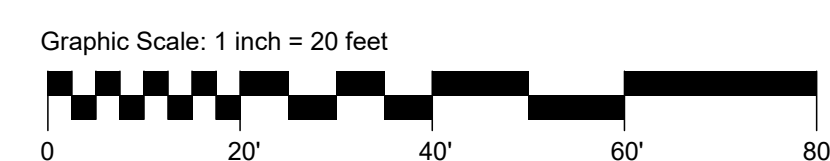
SP-1.1

CASE NUMBER \_\_\_\_\_

02-17-2023



1 SITE PLAN - DETAIL  
 1" = 20'-0"



**ARCHITECT:**  
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 FORNEY, TX 75126  
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 (214) 295-5280  
 DWHALEN@ELDENGEERING.COM

**LANDSCAPE ARCHITECT:**  
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 ADDISON, TX 75001  
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 ERIC@EVERGREENDESIGNGROUP.COM

**CIVIL ENGINEER:**  
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 MLENAMOND@ELDENGEERING.COM

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 1340 DOVE DRIVE  
 MIDLOTHIAN, TX 76065  
 RUSSELL LAQUEY  
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 RUSLAQUEY@YAHOO.COM

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 315 RANCH TRAIL  
 ROCKWALL, TX 75023  
 JOHN MCKINNEY / MICHAEL DAUL  
 (214) 304-2979  
 JMCINNEY@SNAPMGA.COM  
 MDAUL@SNAPMGA.COM

**REGISTERED ARCHITECT**  
 ERIC L. DAVIS  
 STATE OF TEXAS  
 18972

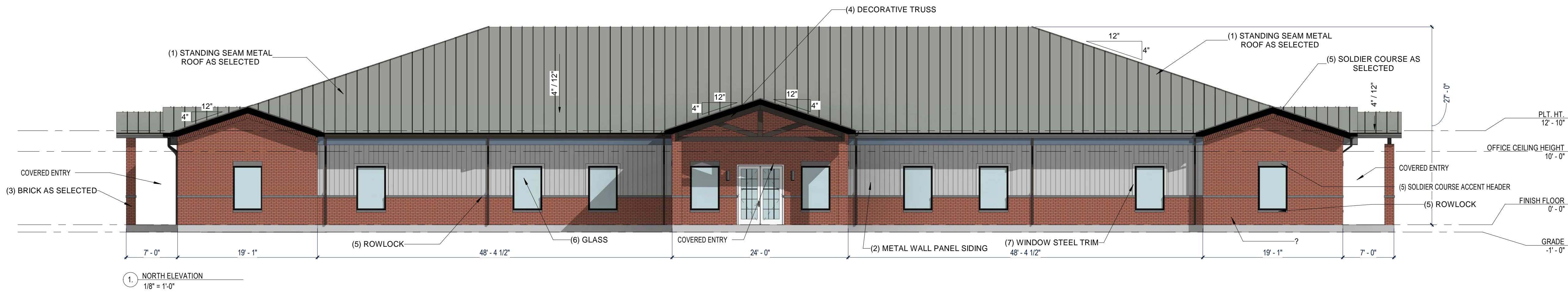
02-17-2023

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\\0.01.1232.g\Shares\Arch\Jobs\John\_McKinney\_ILM & J Ranch Trail\2022\ARC22-0022\03-CD IN PROGRESS\ARC22-0022-McKinney\_Rockwall\_2023-02-03.rvt





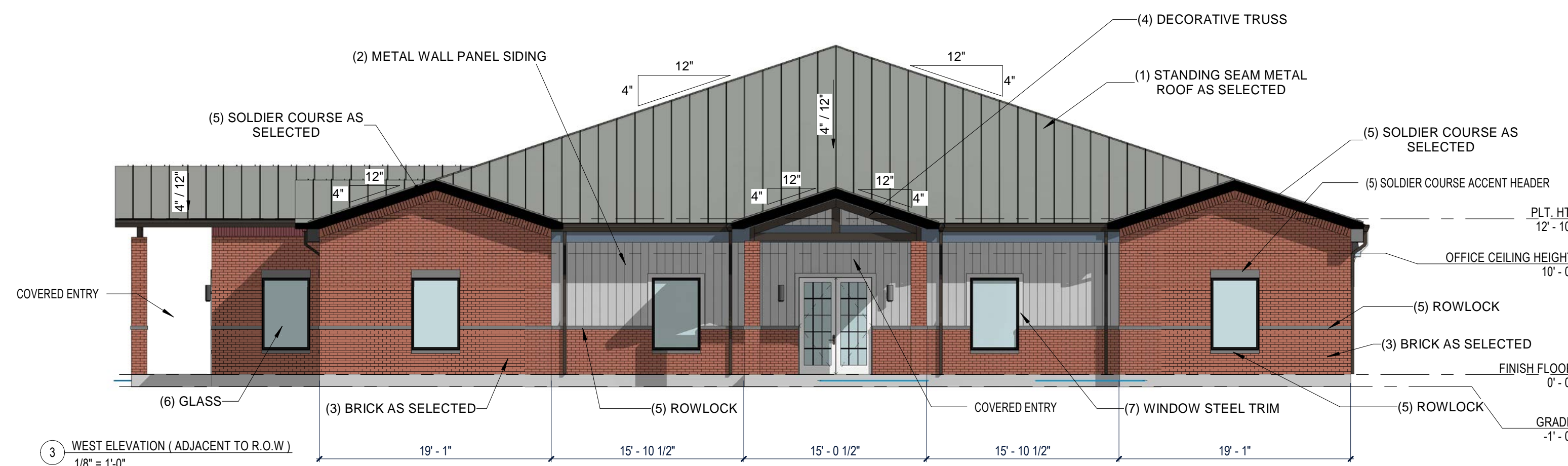
MATERIAL INFORMATION - NORTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	1394 SF	44%
(MC) Glass	1054 SF	33%
(MC) Metal Siding	707 SF	22%
	3155 SF	100%

1 NORTH ELEVATION  
1/8" = 1'-0"



MATERIAL INFORMATION - SOUTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	918 SF	40%
(MC) Glass	647 SF	28%
(MC) Metal Siding	738 SF	32%
Grand total: 17	2303 SF	100%

2 SOUTH ELEVATION  
1/8" = 1'-0"



MATERIAL INFORMATION - WEST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	743 SF	51%
(MC) Glass	392 SF	27%
(MC) Metal Siding	322 SF	22%
	1457 SF	100%

3 WEST ELEVATION (ADJACENT TO R.O.W.)  
1/8" = 1'-0"



MATERIAL INFORMATION - EAST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	669 SF	55%
(MC) Glass	227 SF	19%
(MC) Metal Siding	310 SF	26%
	1207 SF	100%

4 EAST ELEVATION  
1/8" = 1'-0"

FACADE FINISH MATERIALS SCHEDULE				
ID	TYPE	MANUFACTURER	MODEL	COLOR
1	STANDING SEAM METAL ROOF	MCBI	-	-
2	METAL WALL PANEL	MCBI	-	-
3	BRICK	ACME	-	-
4	DECORATIVE TRUSS	-	-	-
5	ACCENT BRICK	ACME	-	-
6	GLASS	-	-	-
7	WINDOW TRIM	-	-	-

**ARCHITECT:**  
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FORNEY, TX 75126  
DAN WHALEN II  
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**LANDSCAPE ARCHITECT:**  
EVERGREEN DESIGN GROUP  
15455 DALLAS PKWY, STE 600  
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01/20/2023



**Eric L. Davis Engineering, Inc.**  
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**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

**BUILDING ELEVATIONS**

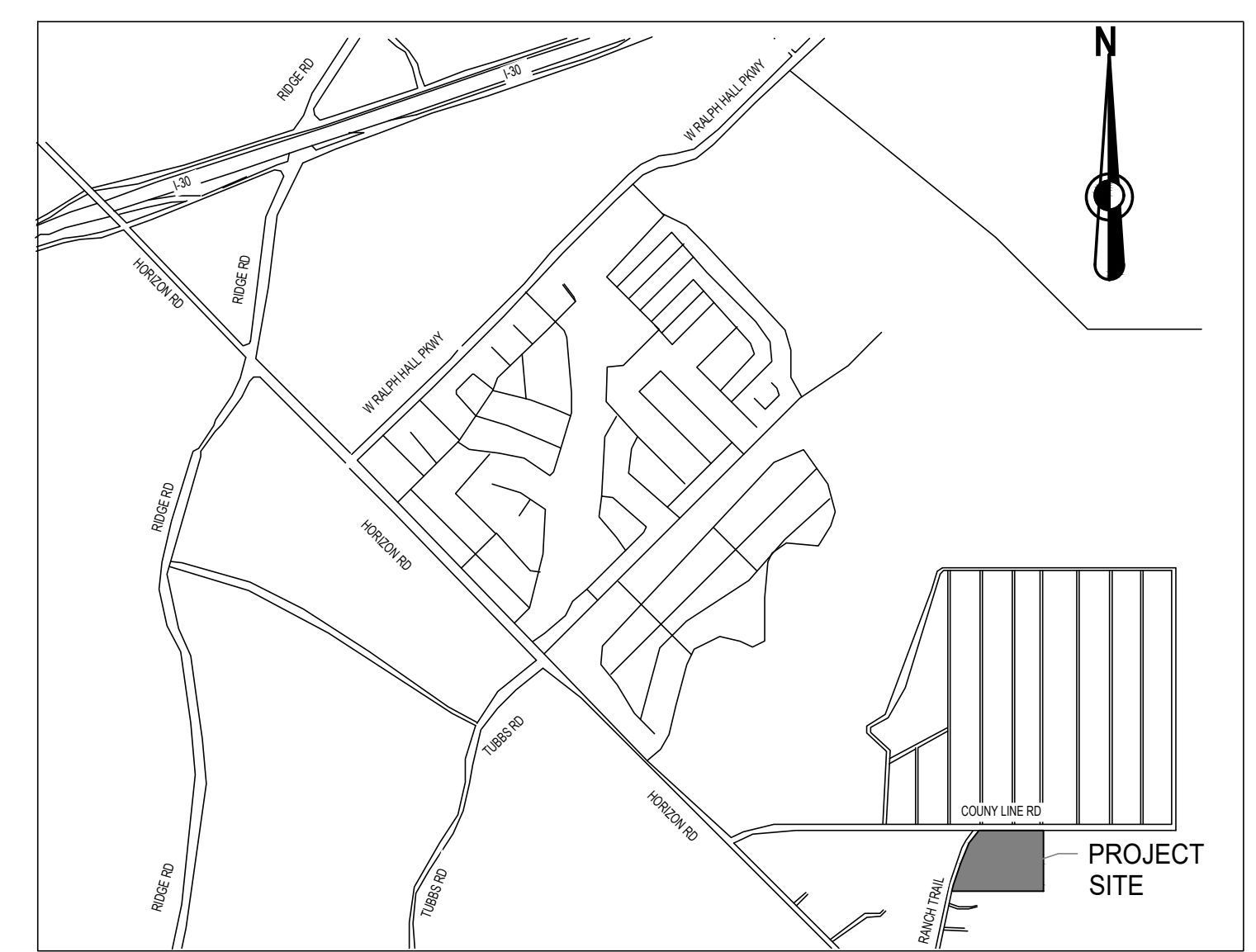
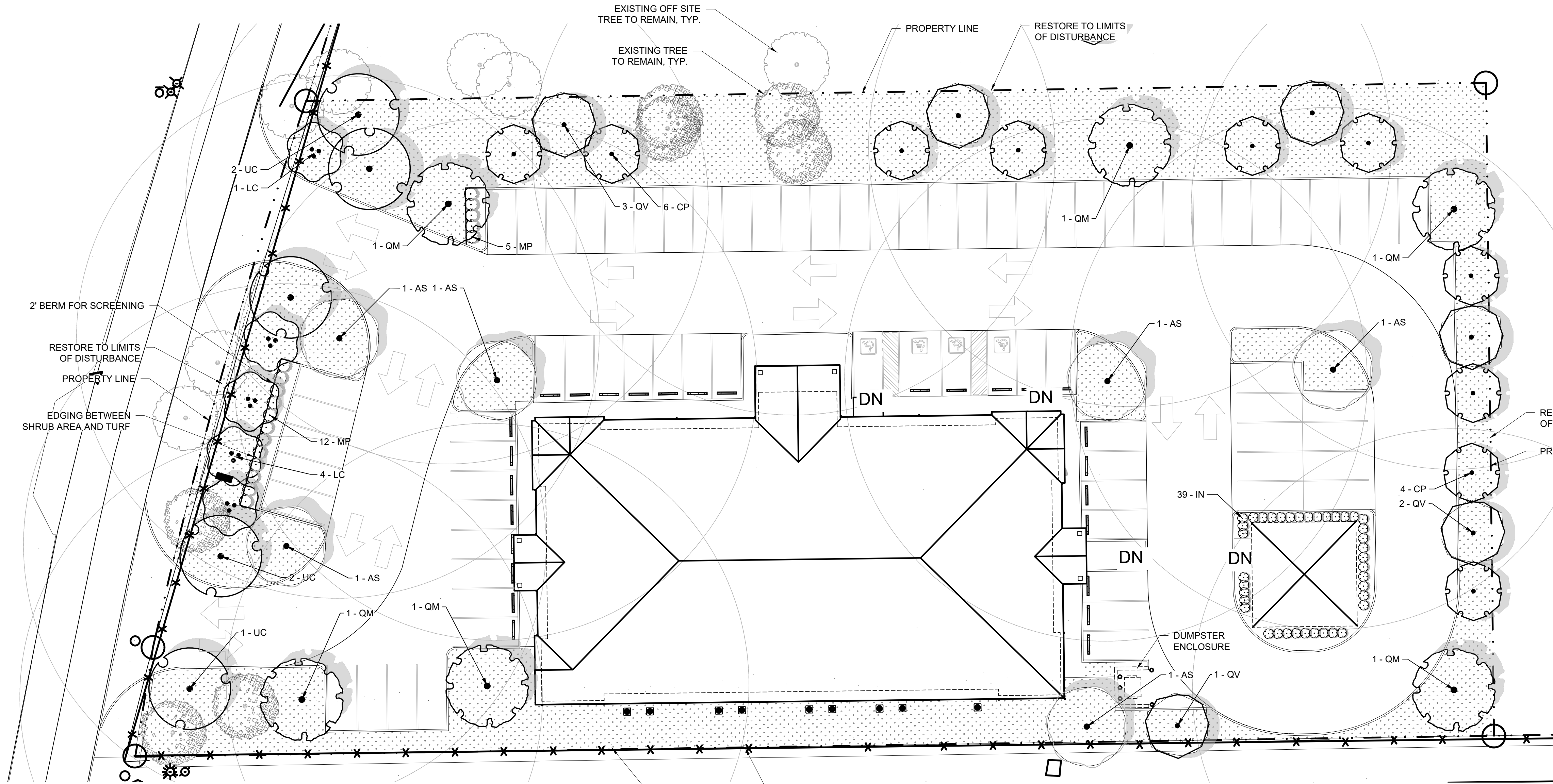
**McKINNEY BUILDING**  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.2

CASE NUMBER \_\_\_\_\_

01/20/2023





LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
RANCH TRAIL: ±207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS 2' BERM WITH EVERGREEN SHRUBS N/A
SCREENING PROVIDED: SCREENING FROM RESIDENTIAL:	
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±78,309 SF 15,661 SF (20%) ± 23,809 SF (30.4%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE. 15,661 x 50% = 7,830 SF
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	12,710 SF (81.1%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±37,622 SF 37,622 x 5% = 1,881 ±4,598 SF (12.2%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK 78 SPACES 8 TREES (1 PER 10 SPACES) 12 TREES
PARKING SPACES: TREES REQUIRED: TREES PROVIDED:	

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.  
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.  
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.  
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).  
a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.  
b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).  
c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.  
d. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.  
e. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.  
f. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AS	6	Acer saccharum 'Caddo' Caddo Maple	4" Cal.	Cont.	12' min.
	CP	10	Pistacia chinensis Chinese Pistache	4" Cal.	Cont.	12' min.
	QM	6	Quercus muehlenbergii Chinkapin Oak	4" Cal.	Cont.	12' min.
	QV	7	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12' min.
	UC	5	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12' min.

**ORNAMENTAL TREES**

CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
LC	5	Lagerstroemia indica 'Cherokee' Cherokee Crape Myrtle	CONT.	3-5 CANES, 2" CAL OVERALL	8' -10' HT

**SHRUBS**

CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
IN	39	Ilex vomitoria 'Nana' Dwarf Yaupon	5 gal.	36" OC	24" Min.
MP	17	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" Min.

**GROUND COVERS**

CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CD	22,382 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

**EXISTING TREE LEGEND**

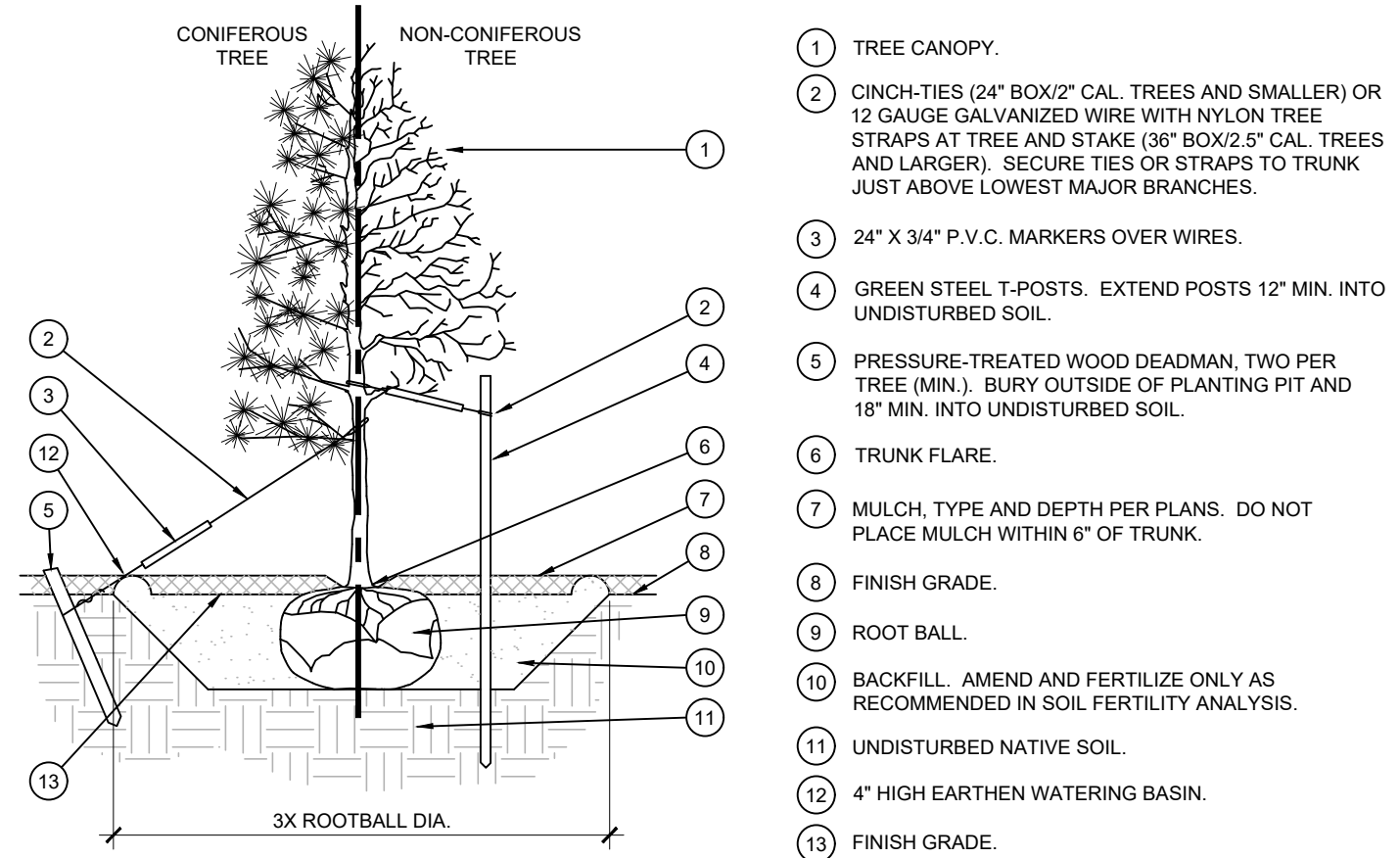



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**LANDSCAPE PLANTING PLAN**  
MCKINNEY BUILDING  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

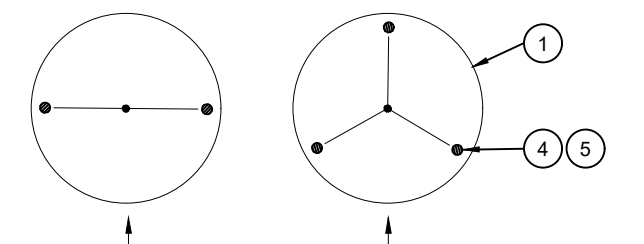
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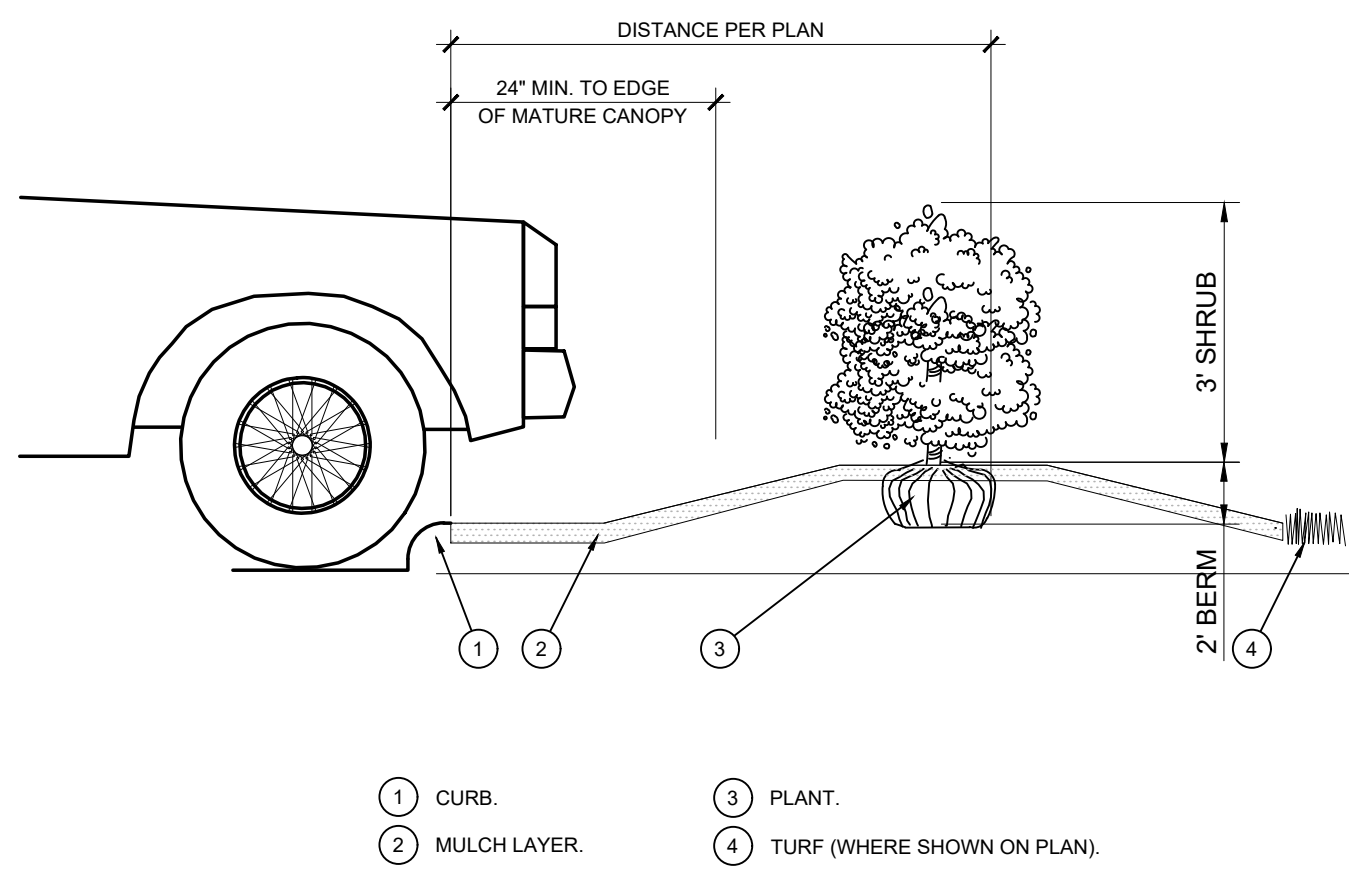
- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKES (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)

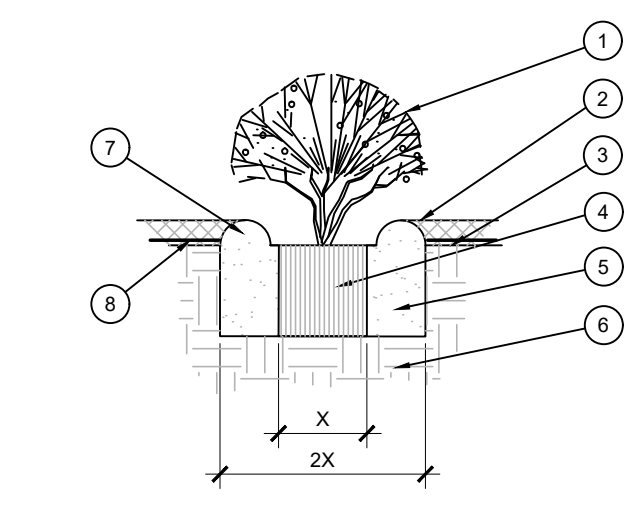


- NOTES:
1. SCARIIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
  3. FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

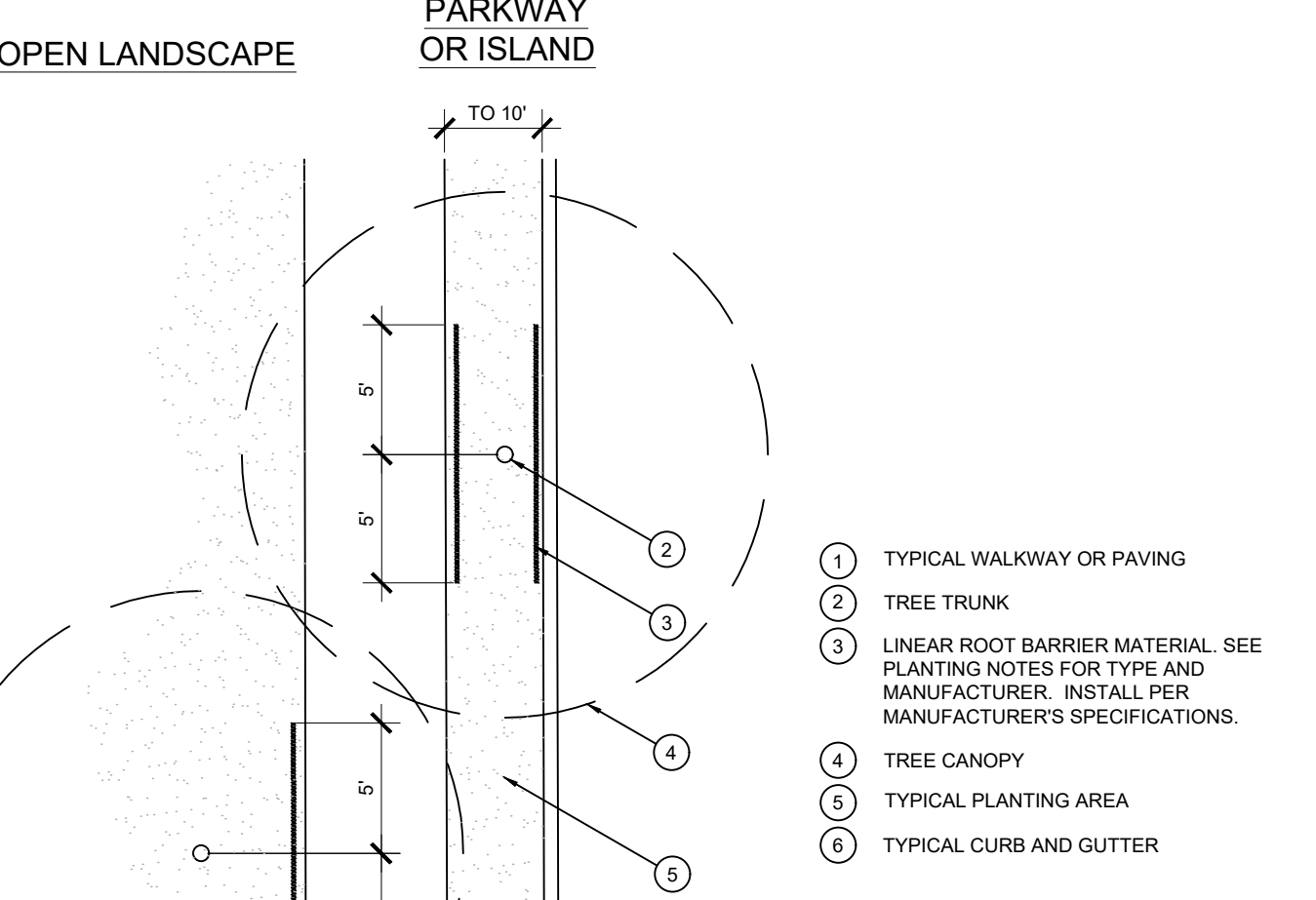
A TREE PLANTING  
SCALE: NOT TO SCALE



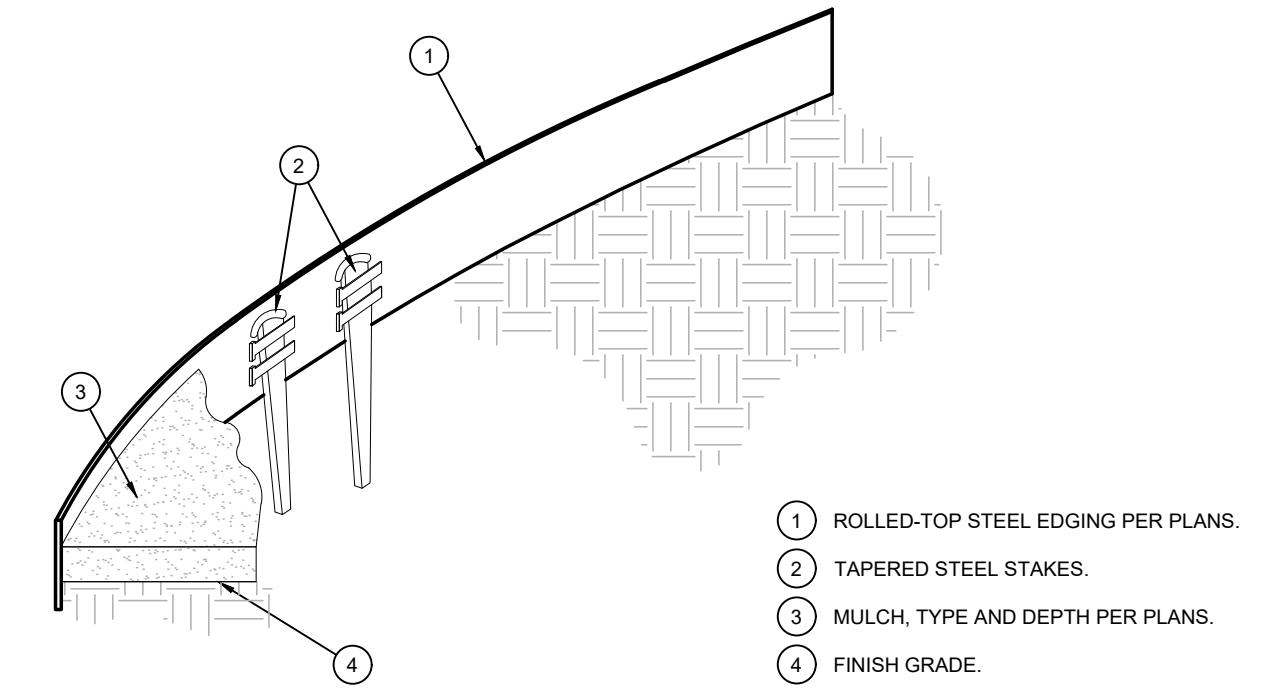
D PLANTING AT PARKING AREA  
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING  
SCALE: NTS



F ROOT BARRIER - PLAN VIEW  
SCALE: NOT TO SCALE



D STEEL EDGING  
SCALE: NOT TO SCALE

- NOTES:
- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
  - 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

- NOTES:
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  - 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
  - 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

PLANTING SPECIFICATIONS

- GENERAL
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  3. TRENCHING OR EXISTING TRENCHING SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE TRUNKS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
  4. TREE PLANTING
    - a. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
    - b. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
    - c. FOR CONTAINER GROWN TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
    - d. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
    - e. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE TOP FOUR INCHES OF THE SOIL.
    - f. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUM LISTED BELOW) SHALL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
      - a. 1"-2" TREES: TWO STAKES PER TREE
      - b. 2-1/2"-4" TREES: THREE STAKES PER TREE
      - c. TREES OVER 4" CALIPER: GUY AS NEEDED
      - d. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
      - e. MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- D. SHRUB, PERENNIAL, AND GROUND COVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" DEEP DEER THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- E. SOODING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER JOINTS AND BUTT ENDS OF ADJACENT COURSES.
  4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- F. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CURBS, WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- G. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  2. DISPOSE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- H. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- I. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE SPOTS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDING A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDUM, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023



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RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
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LP-2



## PLANTING SPECIFICATIONS

### GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

### PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL OF THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER POT DEFECTS (SUCH AS J-SHAPED ROOTS).
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 PERCENT; NOT EXCEEDING 0.5 PERCENT HEAVY METAL CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROOVETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

### METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIMC, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING AS APPROPRIATE: SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
  - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

### B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR EXISTING TREES:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

### D. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE FOR CONTAINER AND BOX TREES. TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOILS SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
  - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1"-2" TREES: TWO STAKES PER TREE
    - 2"-12" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
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  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE, COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO FORM JOINTS IN ADJACENT COURSES.
  - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

### G. MULCH

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 1" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

### I. INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

### J. LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

### K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE AT THAT TIME OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

### L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023



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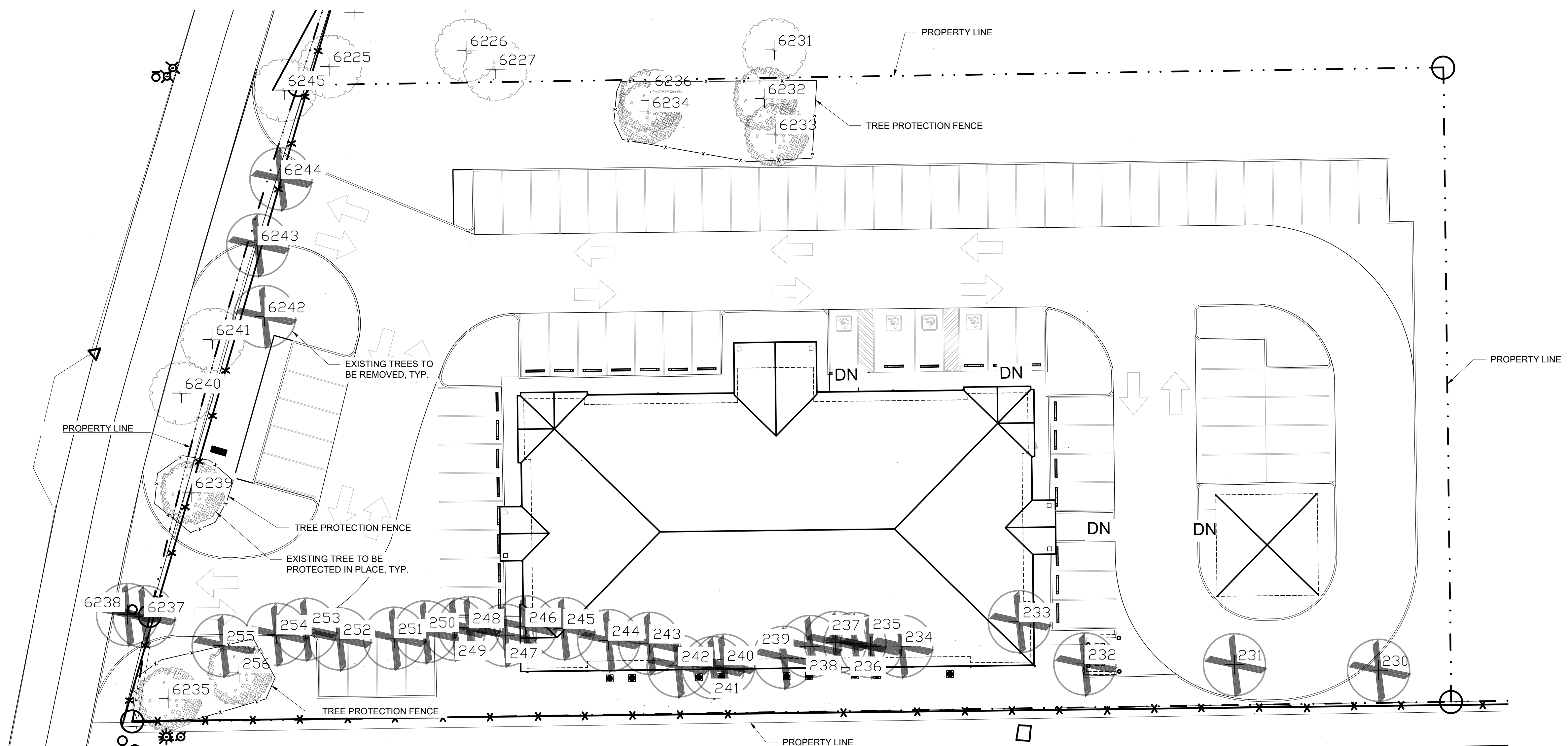
## LANDSCAPE PLANTING SPECIFICATIONS

**McKINNEY BUILDING**

405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**LP-3**

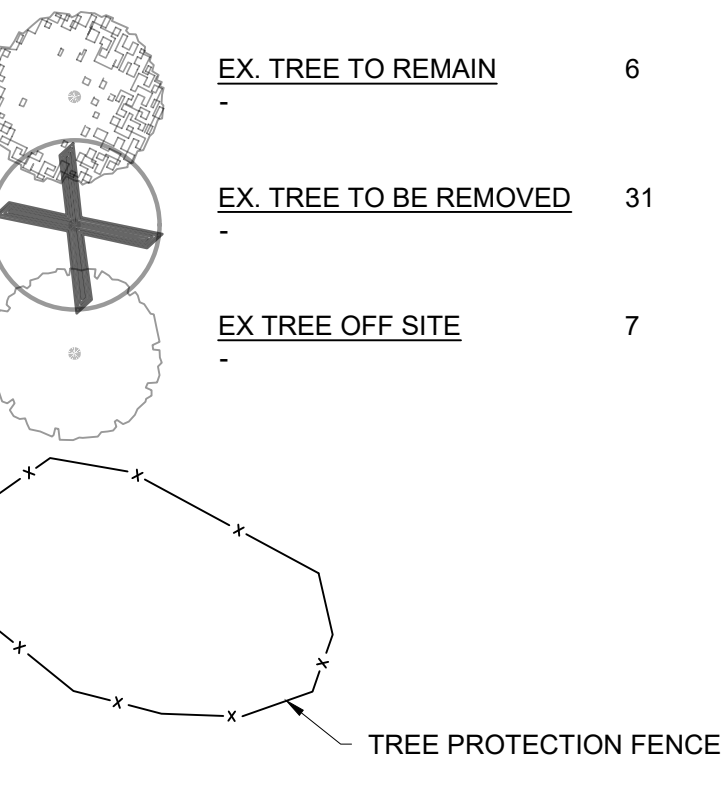




**EXISTING TREE INVENTORY**

TREE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	DISEASE	INSECT	STRUCTURAL	PRESERVE/REMOVE	MITIGATION REQ'D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED				REMOVE	4
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED			Y	REMOVE	4
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED			Y	REMOVE	4
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	PRESERVE	4
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	OFF-SITE	4
6226	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED				OFF-SITE	4
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	OFF-SITE	4
6231	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED			Y	OFF-SITE	4
6232	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED			Y	PRESERVE	4
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED			Y	PRESERVE	4
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED			Y	PRESERVE	4
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6236	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	REMOVE	4
6238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
6239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	OFF-SITE	4
6241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	GOOD	4	PROTECTED			Y	OFF-SITE	4
6242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
6243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	REMOVE	4
6244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22	19	GOOD	4	PROTECTED			Y	REMOVE	4
6245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y	Y	Y	OFF-SITE	4

**EXISTING TREE LEGEND**



TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	120"
PROPOSED CODE REQUIRED TREES:	58"
BALANCE OF MITIGATION:	42"
4" CAL. MITIGATION TREES (11) ONSITE:	64"

**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**TREESCAPE PLAN**

**McKINNEY BUILDING**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

**TD-1**

11-22-2022



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

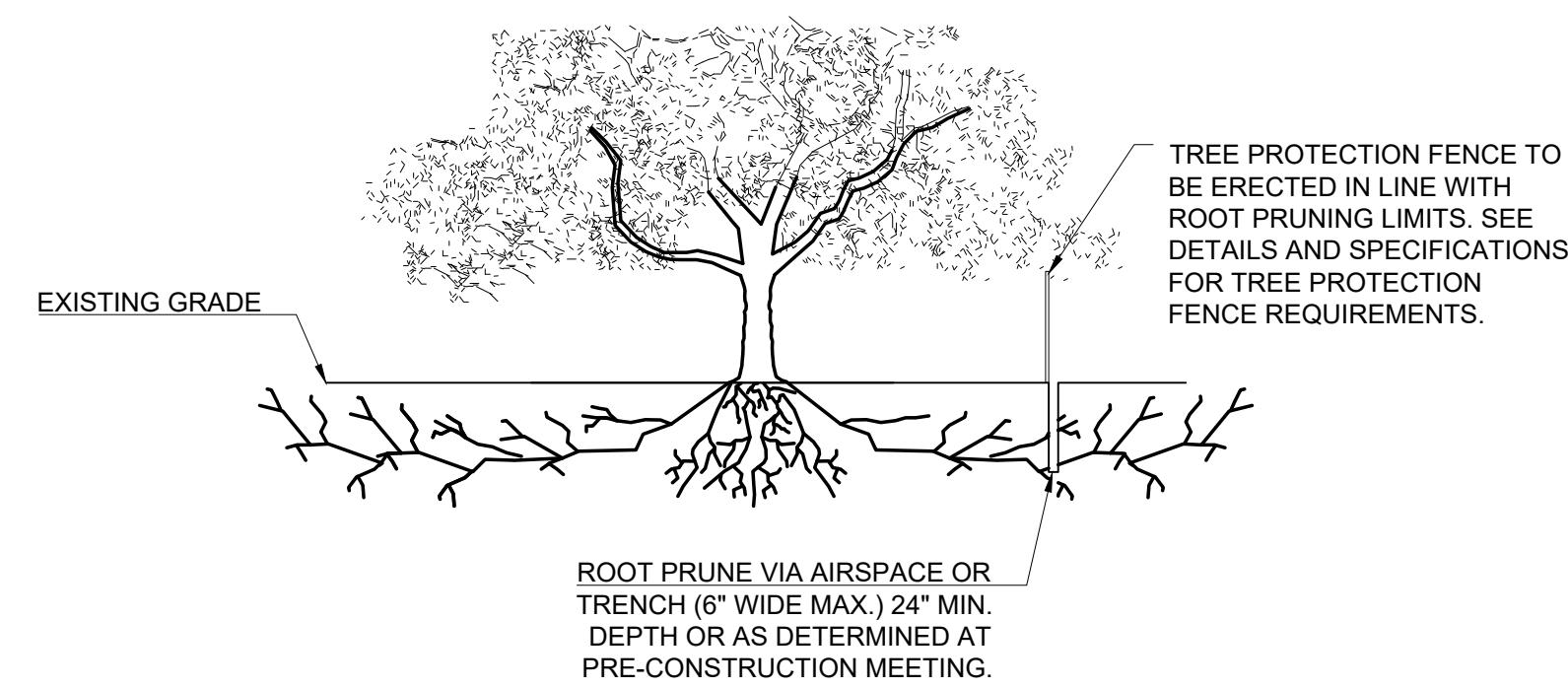
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

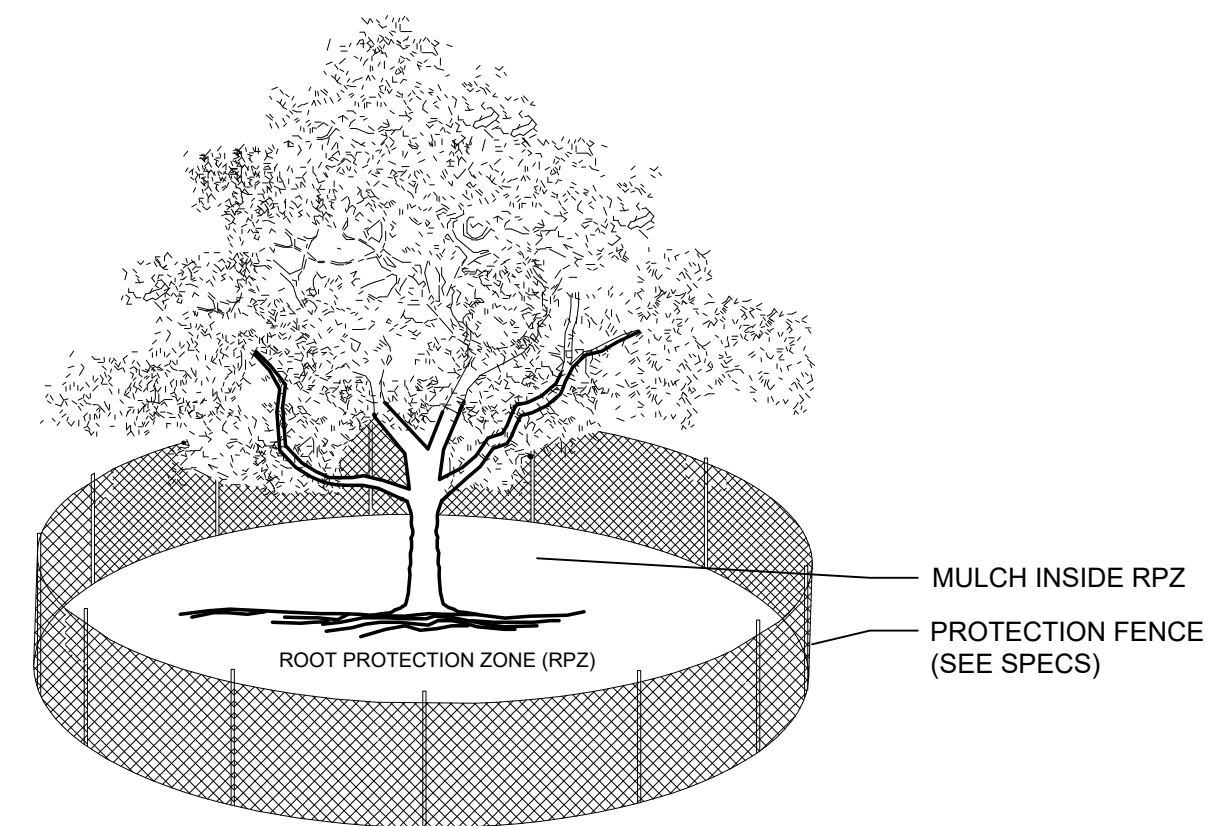
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN IN PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE

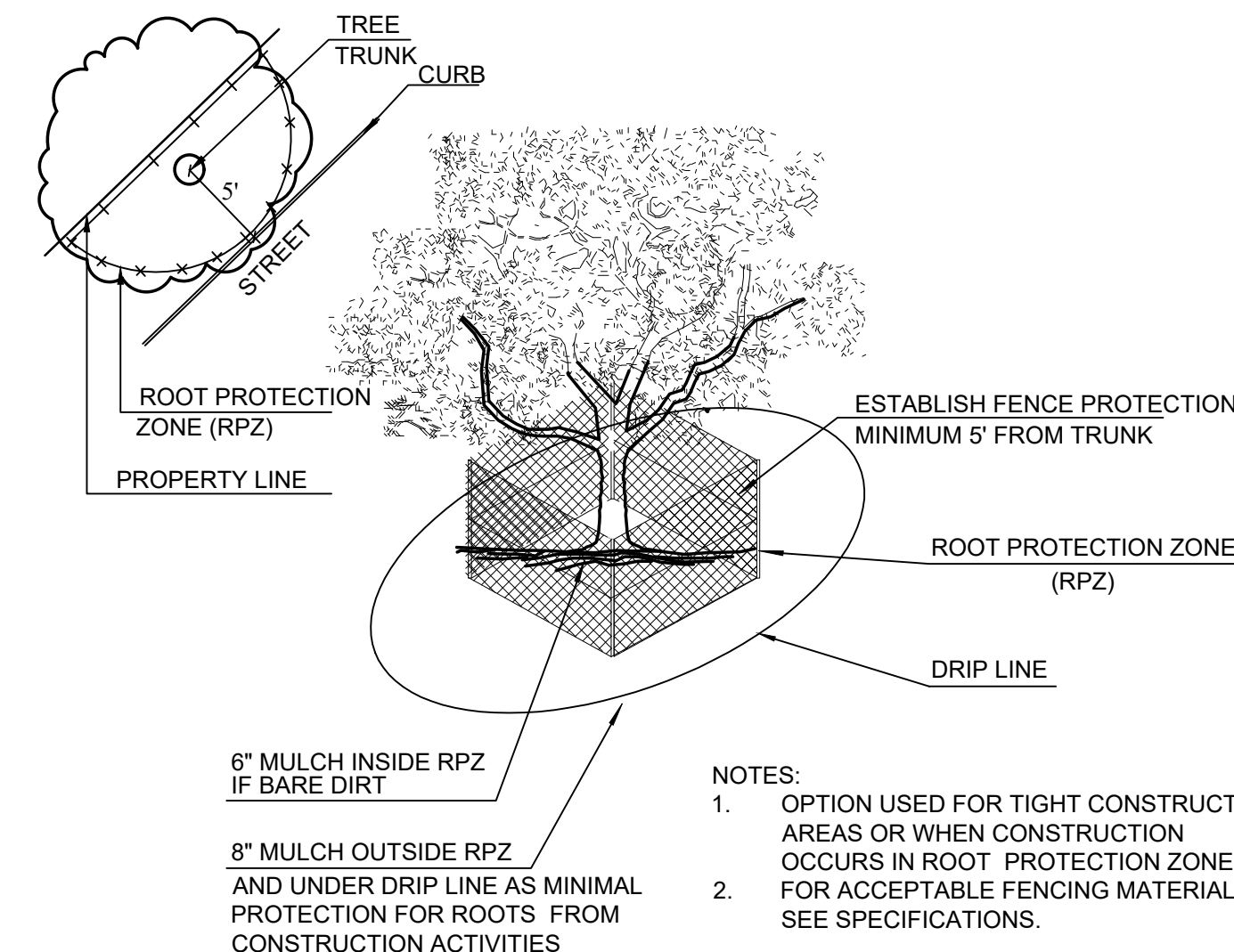


**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**

SCALE: NOT TO SCALE



**NOTES:**

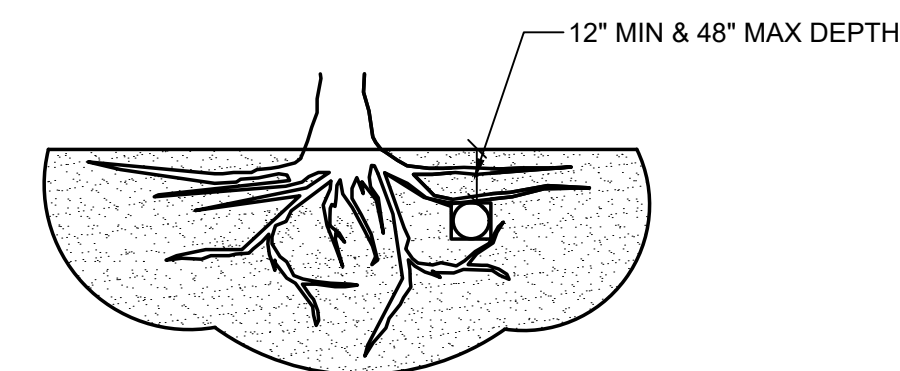
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**

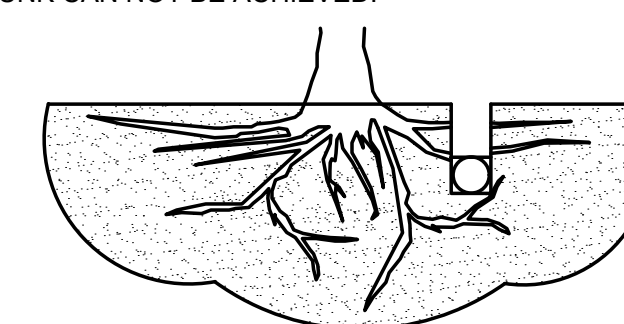
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



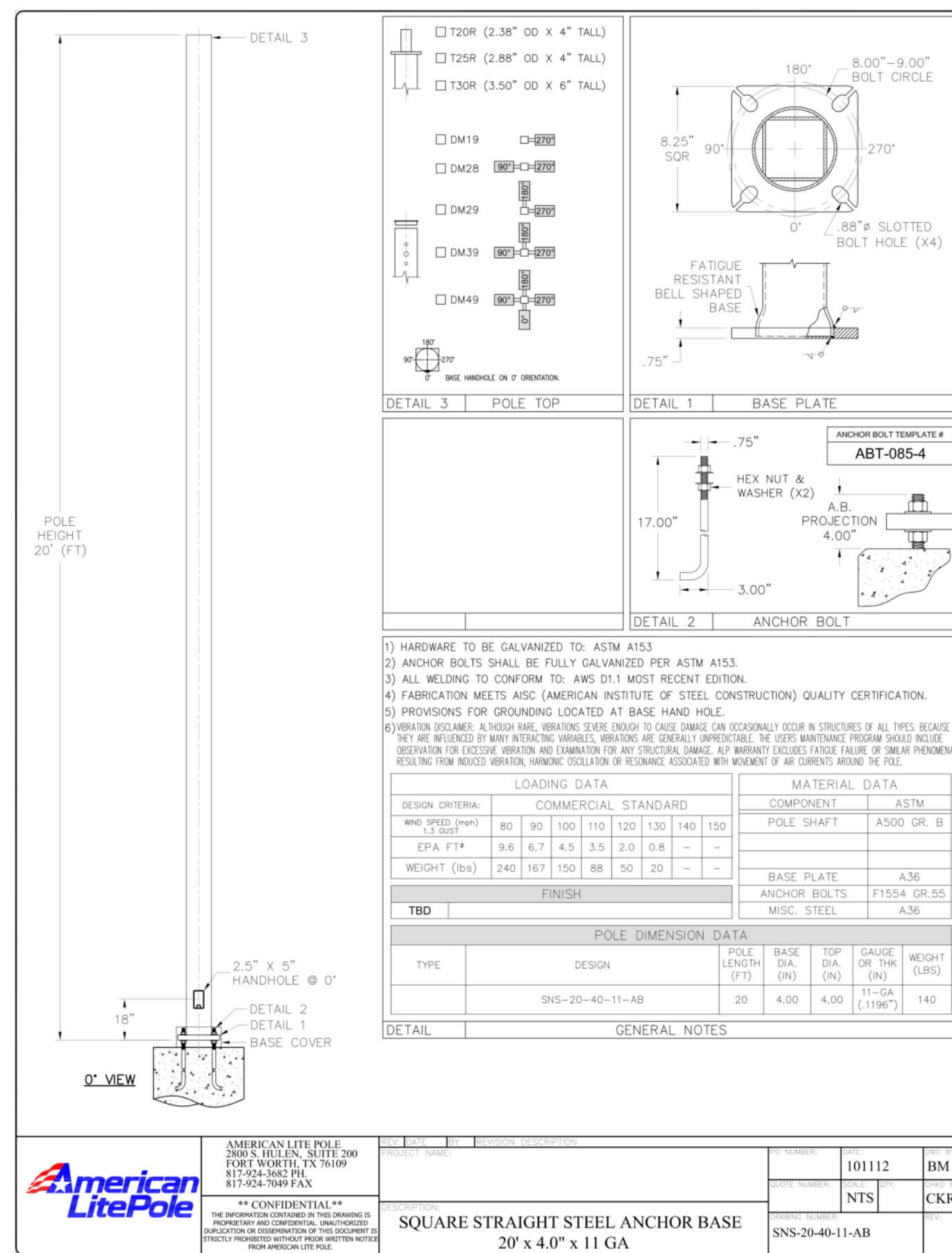
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**TREESCAPE DETAILS & SPECIFICATIONS**  
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**TD-2**



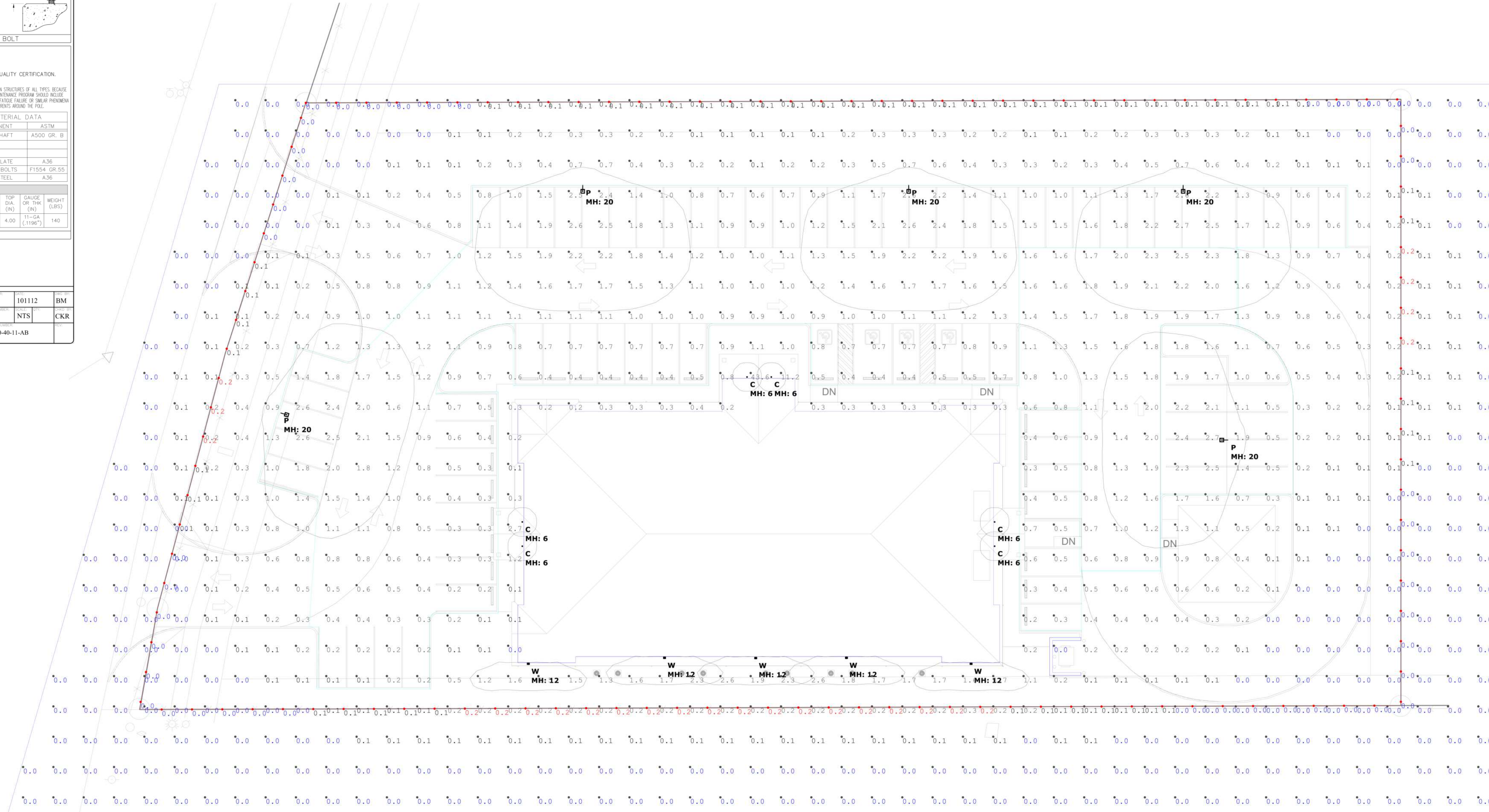


1) HARDWARE TO BE GALVANIZED TO ASTM A153  
 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153  
 3) ALL WELDING TO CONFORM TO AWS D11 MOST RECENT EDITION  
 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION  
 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE  
 6) DESIGNER PROVIDES ALL NECESSARY INFORMATION TO THE CONTRACTOR TO VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE STRUCTURE IS AS SHOWN IN THESE DRAWINGS.

LOADING DATA		MATERIAL DATA	
DESIGN (WIND)	COMMERICAL STANDARD	COMPONENT	ASTM
WIND SPEED (MPH)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FT*	9.6 6.7 4.5 3.5 2.0 0.8 -- --		
WEIGHT (lbs)	240 167 150 88 50 20 -- --	BASE PLATE	A36
		ANCHOR BOLTS	F1554 GR.55
		MISC. STEEL	A36

POLE DIMENSION DATA			
TYPE	DESIGN	POLE LENGTH (FT)	SAUCE HEIGHT (LBS)
	SNS-20-40-11-AB	20 4.00 4.00	11-GA (11995) 140

AMERICAN LITE POLE		101112		BM	
AMERICAN LITE POLE 2000 W. WILSON ST. FORT WORTH, TX 76109 817-952-7000 FAX 817-952-7000 FAX		NTS		CKR	
SQUARE STRAIGHT STEEL ANCHOR BASE 20' x 4.0' x 11 GA		SNS-20-40-11-AB			



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	C	6	LUMINIS SY660-L115-R30 VOLT FINISH	1600	15.3	1.000	0.850	1.000
□	P	5	LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DDBXD DM19AS 20' POLE	11025	102.1727	1.000	0.850	1.000
□	W	5	LITHONIA WDG2Z LED P1 40K 80CRI T15 MVOLT MOUNT	1215	11.1658	1.000	0.850	1.000

Calculation Summary	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.08	0.2	0.0	N.A.
SITE 1 - Planar		Fc	0.58	43.6	0.0	N.A.
PARKING LOT		Fc	1.14	2.7	0.1	11.40

- Notes:
- Surface reflectances: Vertical/Horizontal - 50/20.
  - Calculation values are at height indicated in summary table.
  - Mounting heights are designated on drawing with "MH".
  - Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
  - Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
  - Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
  - For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

2023-02-15



**BSDG**  
 120 E. Main Street  
 Forney, TX 75126  
 214.295.5280  
 www.broadstonedg.com



**LDG**  
 HEARTLAND TX, 75126  
 Robert Lowery  
 robert@lowerydesigngroup.net  
 806-789-7902

Plan/Spec Agreement  
 By signing these plans, Contractor/Owner agrees to the following:  
 These plans are the property of Lowery Design Group Inc. and are not to be reproduced, stored, or used for construction without the written permission of Lowery Design Group Inc. These plans are intended to provide the necessary information to build this structure. Contractor/Owner shall verify and approve all aspects prior to construction. Copyright © 2021 Lowery Design Group

DRAWN BY:	LDG	
DATE:	2/09/2023	
CHECKED BY:	LDG	
DATE:	2/13/2023	
FINAL REVIEW BY:	BSDG	
DATE:	2/15/2023	
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL

**RANCH TRAIL PARTNERS**

**405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032**

SITE PHOTOMETRICS

E-0.1













# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2023

PROJECT NUMBER: SP2023-007  
PROJECT NAME: Site Plan for the McKinney Building  
SITE ADDRESS/LOCATIONS: 365 RANCH TRL

CASE CAPTION: Discuss and consider a request by Dan Whalen II of BradStone Design Group on behalf of John McKinney and Michael Daul of M & J Ranch Trail Holdings, LLC for the approval of a Site Plan for an office building on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2023	Needs Review

02/23/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for an office building on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2023-007) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 Please remove all proposed signage from the site plan. All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)
- I.5 The subject property will be required to be Final Plat, to establish the new lot lines and new easements.
- M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**M.7 Site Plan:**

- (1) Please provide a detail of the covered pavilion that includes an elevation. (Subsection 03.04, of Article 11)



- (2) The front building setback is 15-feet and not 25-feet. (Subsection 03.04. B, of Article 11)
- (3) Label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
- (4) There shall be no parking between the building and the Ranch Trail. (Subsection 07.03, of Article 05)
- (5) Please clarify if there is any proposed fencing. If so, please provide an exhibit of the proposed fence. All existing fencing may remain, but call them out on the site plan. Also, as a note, wrought iron would be the permitted fence type. (Subsection 08.02. F, of Article 08)
- (6) All pad mounted equipment must be screened with 5-gallon evergreen shrubs. (Subsection 01.05. C, of Article 05)
- (7) Please provide a dumpster detail that addresses the dumpster enclosure requirements, which are as follows. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards (Subsection 01.05. B, of Article 05)
- (8) Please clarify that there will be no outside storage.

#### M.8 Landscape Plan:

- (1) Please propose a different accent tree as Crape Myrtles are not permitted as an accent tree. (Subsection 05.03. B, of Article 08)
- (2) Please delineate the landscape buffer along Ranch Trail. (Subsection 05.01, of Article 08)

#### M.9 Treescape Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)

#### M.10 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 of the site plan checklist (See Section 2.1 of the site plan checklist)

#### M.11 Building Elevations:

1. Please remove the windows from the material percentages. Doors and windows do not count toward the total percentage. (Subsection 04.01, of Article 05)
2. The wall projection articulation requirement on the primary façade does not meet the requirements (Wall Projection = 25% of Building Height). The wall length requirement on the secondary façade does not meet the requirements (Wall Length = 3 x Building Height). In this case, these will require an exception request. (Subsection 04.01. C, of Article 05)

I.12 Staff has identified the following exceptions and variances associated with the proposed request: [1] primary articulation, and [2] secondary articulation. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 14, 2023 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 14, 2023.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.



DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/22/2023	Needs Review

- 02/22/2023: - Fire lane to have a minimum of 20' radius.  
- Must show existing and proposed utilities including detention.  
- Remove signage from plans. Must have a separate permit through Building Department.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- Need to indicate that the dimensions shown on SP-1.1 are face of curb and edge of paving.

Drainage Items:

- Detention is required. Manning's c-value is determined by land use.
- Must have a WOTUS and wetland study to fill in the pond or using it as detention.
- If using the pond as detention, must expand the pond above existing conditions for detention volume.
- Dumpster areas to drain to oil/water separator and then to the storm lines.
- Drainage must exit the site in a sheet flow condition, or off-site sewer extension and easements to the creek to the east.

Water and Wastewater Items:

- Looping of 8" water line on site may be required depending on hydrant location and other utilities.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- Sewer Pro-rata of \$432.74/acre
- Water and sewer must be 10' apart.
- Sanitary sewer will need to be extended to north property line along Ranch Trail Road if not already constructed.
- Utility crossings of Ranch Trail Road must be by bore or full panel replacement 2" thicker than existing.

Roadway Paving Items:

- Parking to be 20'x9'
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Driveways must be 200' away from the intersection of Ranch Trail and County Line.
- Minimum driveway spacing from other driveways is 100' (existing and proposed).
- ROW dedication along Ranch Trail will most likely be required.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/23/2023	Approved



No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2023	Needs Review

02/23/2023: Fire Department Connection (FDC) shall be facing and visible from the fire lane.  
FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from the fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2023	Approved w/ Comments

02/21/2023: Address Assignment will be 365 RANCH TRAIL, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/22/2023	Approved

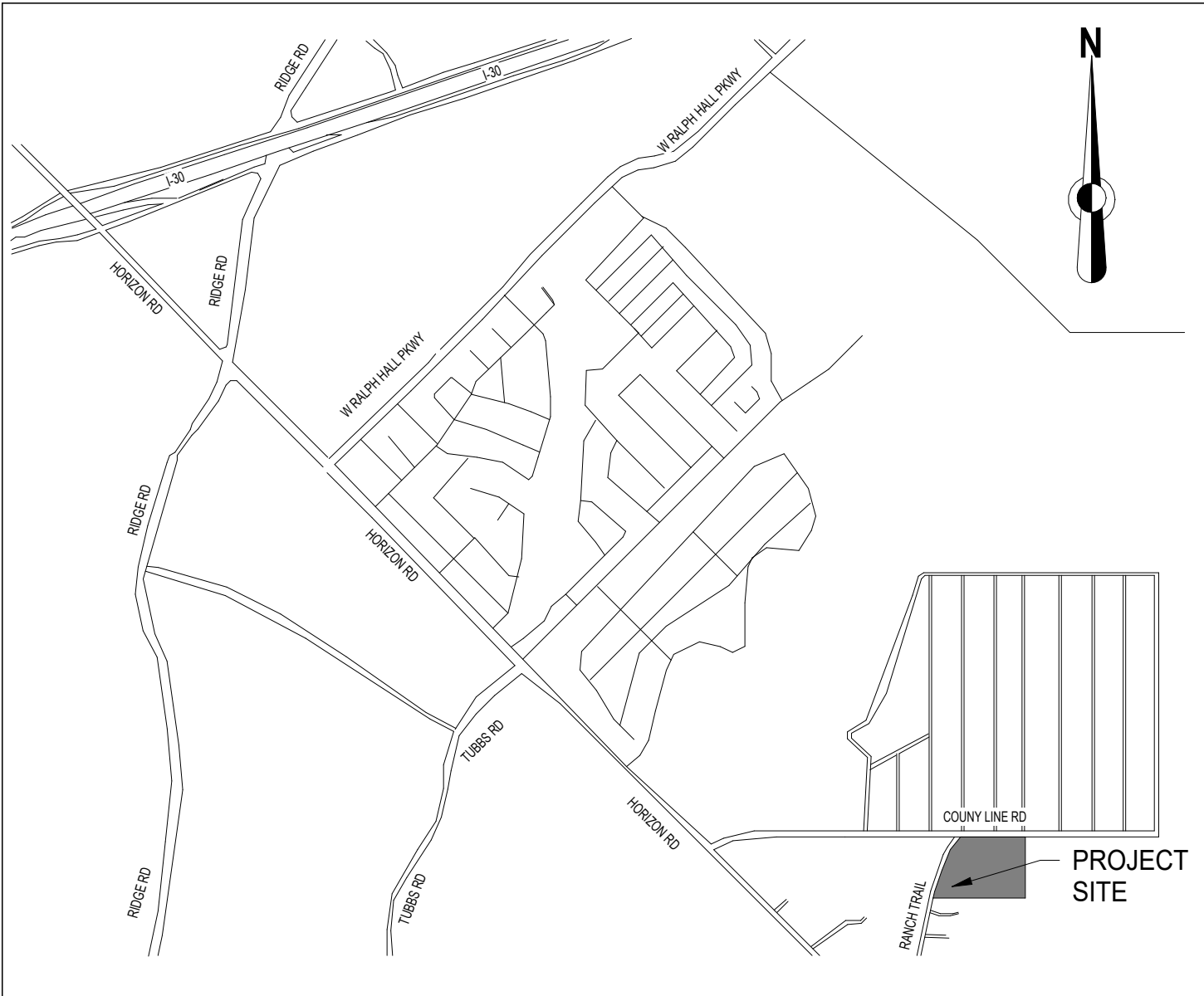
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/21/2023	Approved w/ Comments

02/21/2023: 1. Landscape Plan approved

2. Tree Mitigation Plan approved





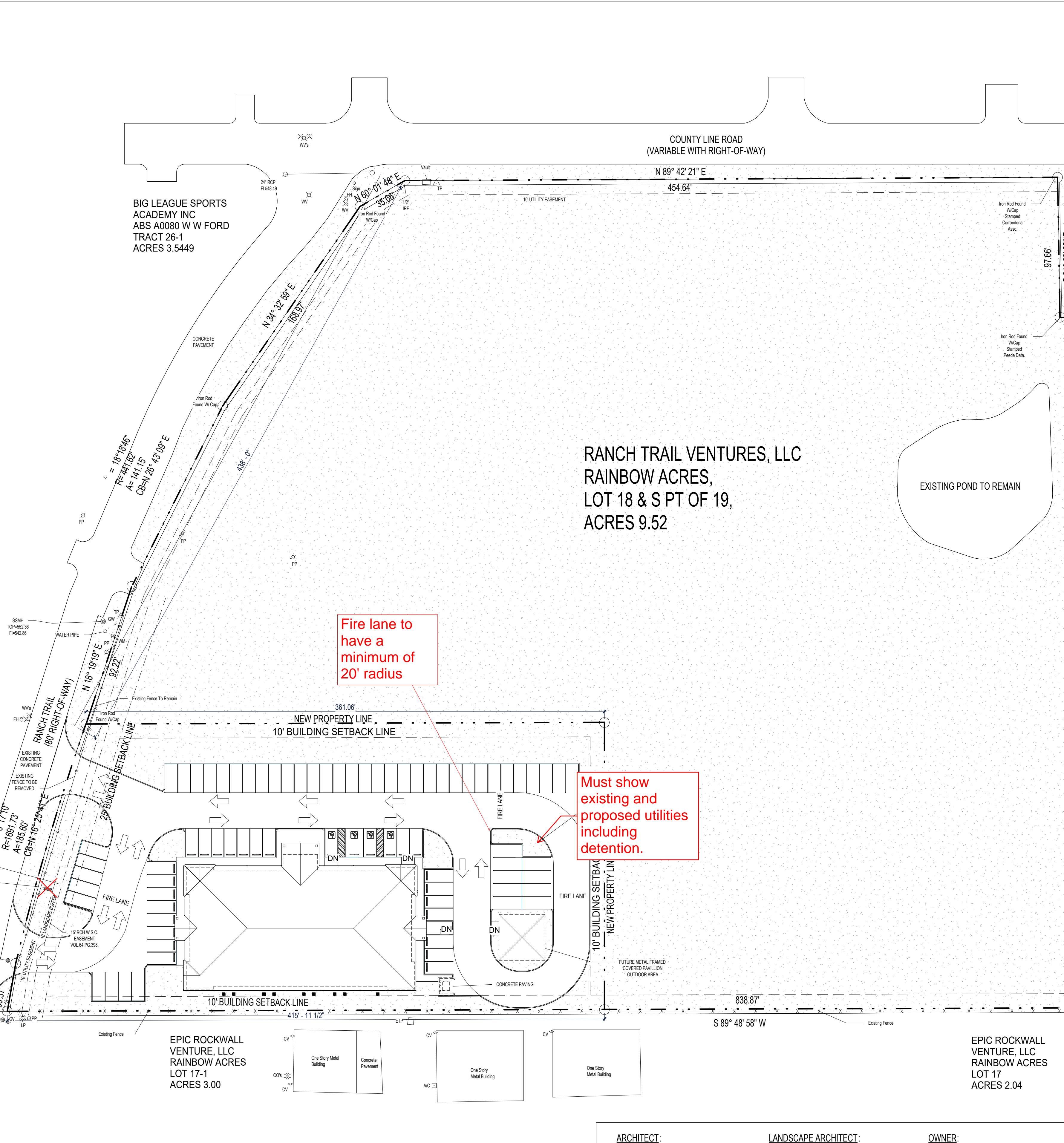
VICINITY MAP N.T.S.

LEGEND	
IRF	Iron Rod Found
IRIS	Iron Rod Set
PP	Power Pole
GW	Gas Wire
FH	Fire Hydrant
WV	Water Valve
WM	Water Meter
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EB	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Clean Out
GL	Ground Light
SP	Signal Pole
TSB	Traffic Signal Box
TB	Telephone Box
GV	Gas Valve
WMH	Water Manhole
MW	Monitoring Well
DRRCT	Deed Records Rockwall County, Texas

C2LA LLC MAVERICK RANCH BLOCK A, LOT 1 ACRES 1.203

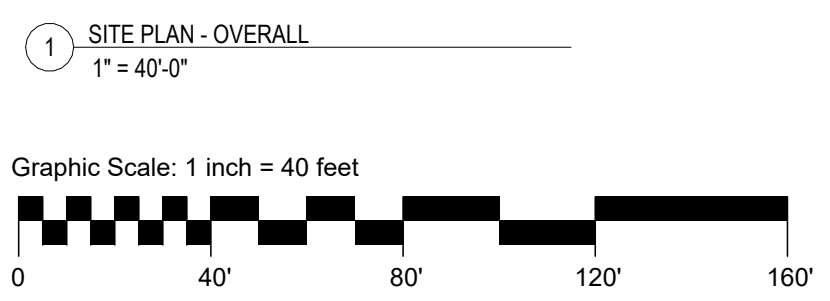
Remove signage from plans. Must have a separate permit through Building Department

CPV-354 RANCH TRAIL LLC MAVERICK RANCH BLOCK A, LOT 2 ACRES 1.360



Fire lane to have a minimum of 20' radius

Must show existing and proposed utilities including detention.



1 - SITE PLAN - OVERALL  
1" = 40'-0"

**ARCHITECT:**  
BROADSTONE DESIGN GROUP  
401 PINSON ROAD  
FORNEY, TX 75126  
DAN WHALEN II  
(214) 295-5280  
DWHALEN@ELDENGEINER.COM

**LANDSCAPE ARCHITECT:**  
EVERGREEN DESIGN GROUP  
15455 DALLAS PKWY, STE 600  
ADDISON, TX 75001  
ERIC SHEPLEY  
(800) 680-6630 X 11  
ERIC@EVERGREENDESIGNGROUP.COM

**CIVIL ENGINEER:**  
ERIC L. DAVIS ENGINEERING, INC.  
401 PINSON ROAD  
FORNEY, TX 75126  
MITCH LENAMOND  
(972) 564-0592  
MLENAMOND@ELDENGEINER.COM

**MEP ENGINEER:**  
APE ENGINEERING  
1340 DOVE DRIVE  
MIDLOTHIAN, TX 78065  
RUSSELL LAQUEY  
(972) 351-7550  
RUSLAQUEY@YAHOO.COM

**OWNER:**  
M & J RANCH TRAIL HOLDINGS, LLC.  
315 RANCH TRAIL  
ROCKWALL, TX 75023  
JOHN MCKINNEY / MICHAEL DAUL  
(214) 304-2979  
JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

**REGISTERED ARCHITECT**  
ERIC L. DAVIS  
STATE OF TEXAS  
18972

02-17-2023

- General Items:**
- Must meet City Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Impact Fees (Water, Wastewater & Roadway)
  - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
  - Retaining walls 3' and over must be engineered.
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  - Need to indicate that the dimensions shown on SP-1.1 are face of curb and edge of paving.

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- Looping of 8" water line on site may be required depending on hydrant location and other utilities.
  - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
  - Minimum public sewer is 8".
  - Sewer Pro-rata of \$432.74/acre
  - Water and sewer must be 10' apart.
  - Sanitary sewer will need to be extended to north property line along Ranch Trail Road if not already constructed.
  - Utility crossings of Ranch Trail Road must be by bore or full panel replacement 2" thicker than existing.

- Roadway Paving Items:**
- Parking to be 20'x9'
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  - Driveways must be 200' away from the intersection of Ranch Trail and County Line.
  - Minimum driveway spacing from other driveways is 100' (existing and proposed).
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- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
  - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

**BROADSTONE DESIGN GROUP**

**DDDU**  
401 Pinson Road  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**ERIC L. DAVIS ENGINEERING, Inc.**  
401 Pinson Road  
Forney, TX 75126  
772.564.0592  
www.eldengineering.com

**MCKINNEY BUILDING**  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & S PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.0  
CASE NUMBER \_\_\_\_\_

02-17-2023





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 405 Ranch Trail

SUBDIVISION Rainbo Acres

LOT 18 BLOCK

GENERAL LOCATION 600 feet south from the intersection of County Line Road and Ranch Trail

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C Commercial

CURRENT USE Vacant Property

PROPOSED ZONING C Commercial

PROPOSED USE Office Building

ACREAGE 1.798

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER M&J Ranch Trail Holdings, LLC

APPLICANT BroadStone Design Group

CONTACT PERSON John McKinney / Michael Daul

CONTACT PERSON Dan Whalen II

ADDRESS 315 Ranch Trail

ADDRESS 401 Pinson Road

CITY, STATE & ZIP Rockwall, TX 75023

CITY, STATE & ZIP Forney, TX 75126

PHONE (214) 304-2979

PHONE (214) 295-5280

E-MAIL JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

E-MAIL DWHALEN@BROADSTONEDG.COM

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

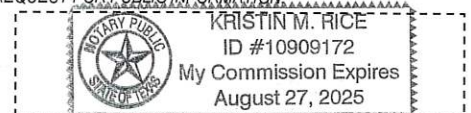
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

OWNER'S SIGNATURE

*John McKinney*

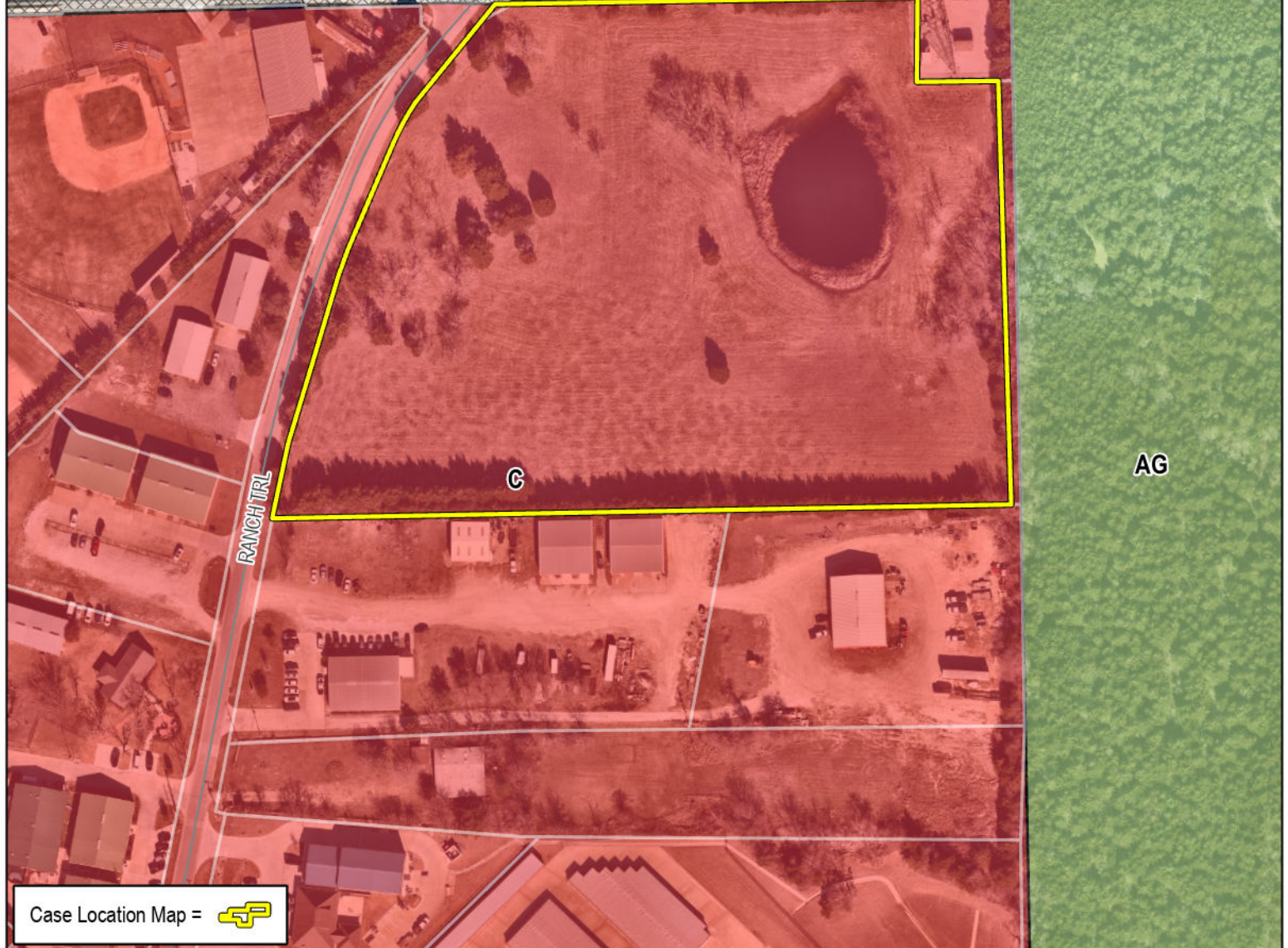
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



MY COMMISSION EXPIRES





Case Location Map = 



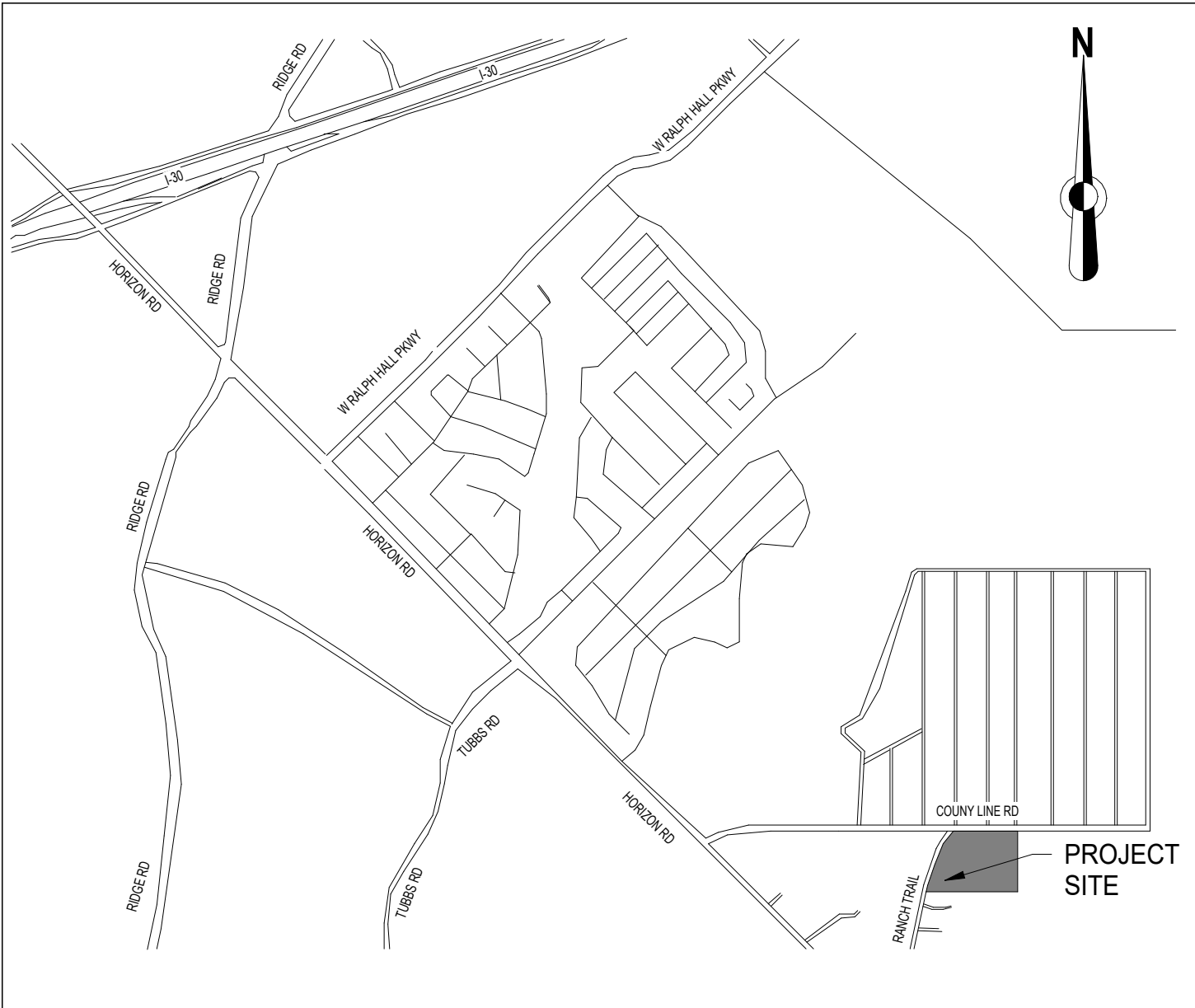
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







VICINITY MAP N.T.S.

LEGEND	
IRF	Iron Rod Found
IRS	Iron Rod Set
PP	Power Pole
GW	Gas Wire
FH	Fire Hydrant
WV	Water Valve
WM	Water Meter
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EB	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Clean Out
GL	Ground Light
SP	Signal Pole
TSB	Traffic Signal Box
TB	Telephone Box
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CPIV-354 RANCH TRAIL LLC MAVERICK RANCH BLOCK A, LOT 2 ACRES 1.360

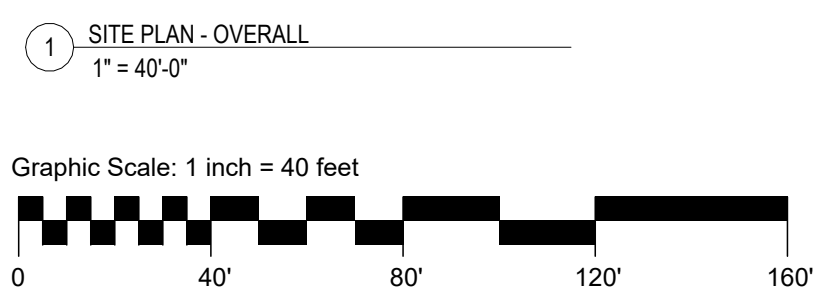
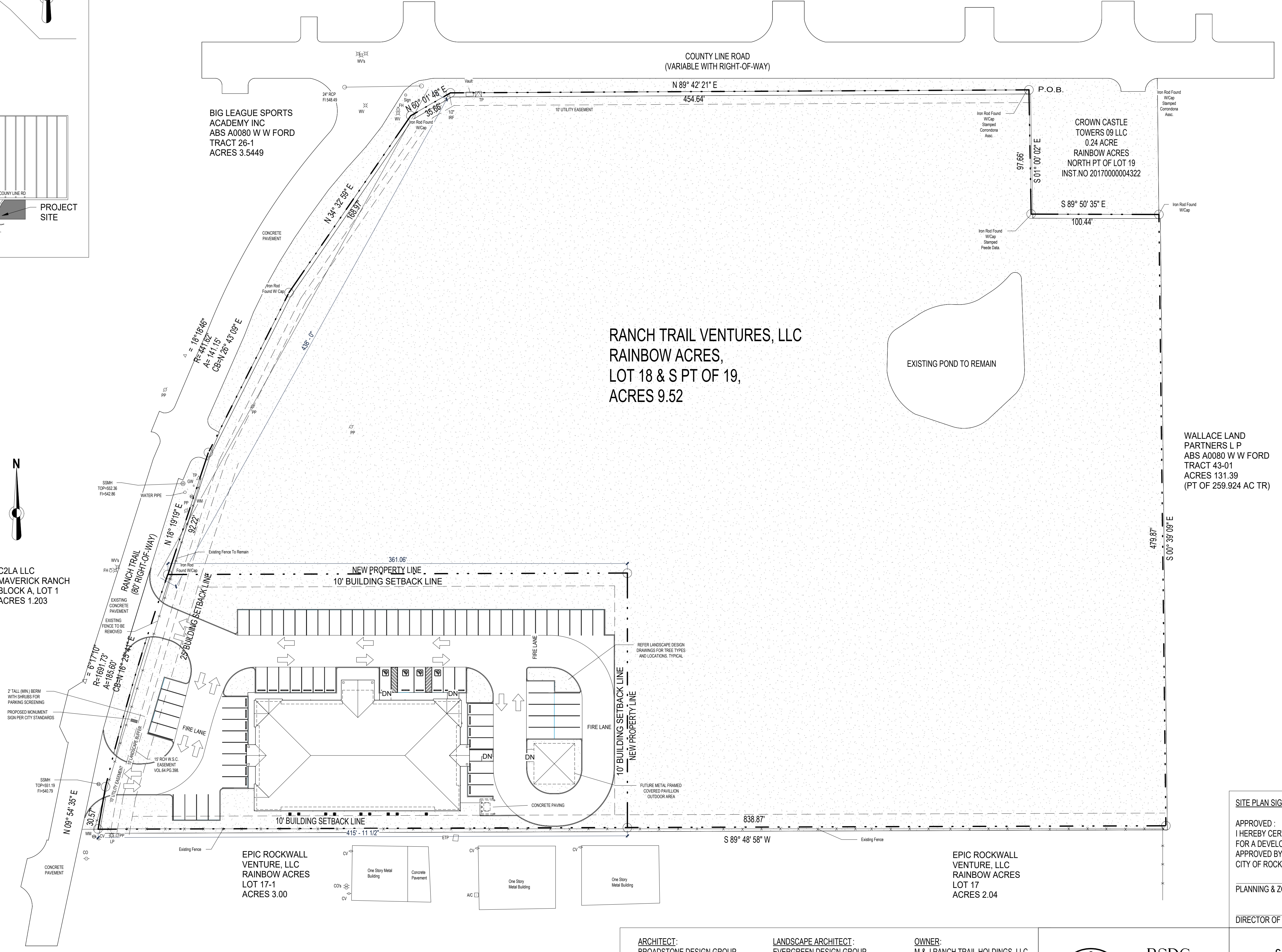
C2LA LLC MAVERICK RANCH BLOCK A, LOT 1 ACRES 1.203

BIG LEAGUE SPORTS ACADEMY INC ABS A0080 W W FORD TRACT 26-1 ACRES 3.5449

RANCH TRAIL VENTURES, LLC RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52

WALLACE LAND PARTNERS L P ABS A0080 W W FORD TRACT 43-01 ACRES 131.39 (PT OF 259.924 AC TR)

CROWN CASTLE TOWERS 09 LLC 0.24 ACRE RAINBOW ACRES NORTH PT OF LOT 19 INST. NO 2017000004322



**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_

DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

**ARCHITECT:**  
BROADSTONE DESIGN GROUP  
401 PINSON ROAD  
FORNEY, TX 75126  
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**LANDSCAPE ARCHITECT:**  
EVERGREEN DESIGN GROUP  
15455 DALLAS PKWY, STE 600  
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ERIC SHEPLEY  
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**CIVIL ENGINEER:**  
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**MEP ENGINEER:**  
APE ENGINEERING  
1340 DOVE DRIVE  
MIDLOTHIAN, TX 78065  
RUSSELL LAQUEY  
(972) 351-7550  
RUSLAQUEY@YAHOO.COM

**OWNER:**  
M & J RANCH TRAIL HOLDINGS, LLC.  
315 RANCH TRAIL  
ROCKWALL, TX 75023  
JOHN MCKINNEY / MICHAEL DAUL  
(214) 304-2979  
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MDAUL@SNAPMGA.COM

**REGISTERED ARCHITECT**  
ERIC L. DAVIS  
STATE OF TEXAS  
18972

02-17-2023

**BSDG**  
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**SITE PLAN - OVERALL**

**MCKINNEY BUILDING**  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & S PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.0

CASE NUMBER \_\_\_\_\_

02-17-2023



# PROJECT SITE PLAN DATA

**GENERAL**  
 EXISTING USE: VACANT PROPERTY  
 PROPOSED USE: OFFICE BUILDING  
 EXISTING ZONING DISTRICT: C COMMERCIAL  
 PROPOSED ZONING DISTRICT: C COMMERCIAL  
 APPLICABLE ZONING OVERLAYS: N/A  
 ROCKWALL COUNTY APPRAISAL DISTRICT  
 ACCOUNT NUMBER: 87534

**OVERALL SITE**  
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES  
 SITE FRONTAGE: 216 FT  
 SITE WIDTH: 200 FEET  
 SITE DEPTH: VARIES 361 FEET TO 416 FEET  
 IMPERVIOUS SURFACE AREA: 54,505 SF  
 PERVIOUS SURFACE AREA: 23,809 SF

**BUILDING**  
 TOTAL GROSS INTENSITY (FAR): 0.16:1  
 TOTAL SQUARE FOOTAGE: 13,080 SF  
 COMMERCIAL (SF): 13,080 SF  
 INDUSTRIAL (SF): N/A  
 OTHER (SF): N/A

**PROPERTY DEVELOPMENT REGULATIONS**  
 MAXIMUM BUILDING COVERAGE PERMITTED: 60%  
 MAXIMUM BUILDING COVERAGE PROPOSED: 16.7%  
 MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF  
 MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET  
 MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

**SETBACKS (REQUIRED & PROPOSED):**  
 FRONT SETBACK: 25 FEET / 25 FEET  
 SIDE SETBACK: 10 FEET / 10 FEET  
 REAR SETBACK: 10 FEET / 10 FEET  
 MAX STRUCTURE HEIGHT PERMITTED: 60 FEET  
 MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

## FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

## PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE  
 OFFICE AREA: 13,080 SF

REQUIRED PARKING: 44  
 PROVIDED PARKING: 78

REQUIRED ADA PARKING: 4  
 PROVIDED ADA PARKING: 4

PARKING SPACE: 9' X 20'  
 ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE  
 ADA STANDARD: 9' X 20'

### SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13468 SF
GROSS PARKING AREA	IMPERVIOUS	37622 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	937 SF
SIDEWALK	IMPERVIOUS	164 SF
SIDEWALK	IMPERVIOUS	956 SF
SIDEWALK	IMPERVIOUS	364 SF
SIDEWALK	IMPERVIOUS	95 SF
IMPERVIOUS		54505 SF

LANDSCAPE (GENERAL)	PERVIOUS	17652 SF
LANDSCAPE BUFFER	PERVIOUS	1647 SF
LANDSCAPE BUFFER	PERVIOUS	456 SF
LANDSCAPE BUFFER	PERVIOUS	356 SF
INTERIOR LANDSCAPE	PERVIOUS	435 SF
INTERIOR LANDSCAPE	PERVIOUS	787 SF
INTERIOR LANDSCAPE	PERVIOUS	498 SF
INTERIOR LANDSCAPE	PERVIOUS	1536 SF
PERVIOUS		23809 SF
Grand total		78315 SF

### SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

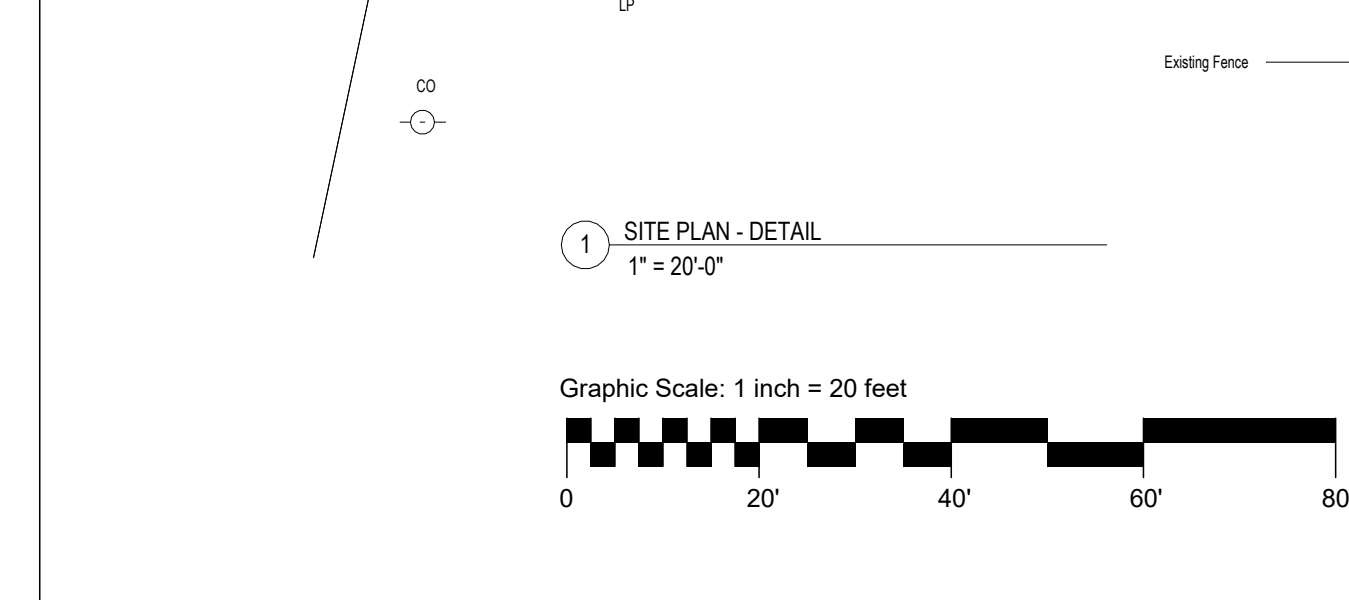
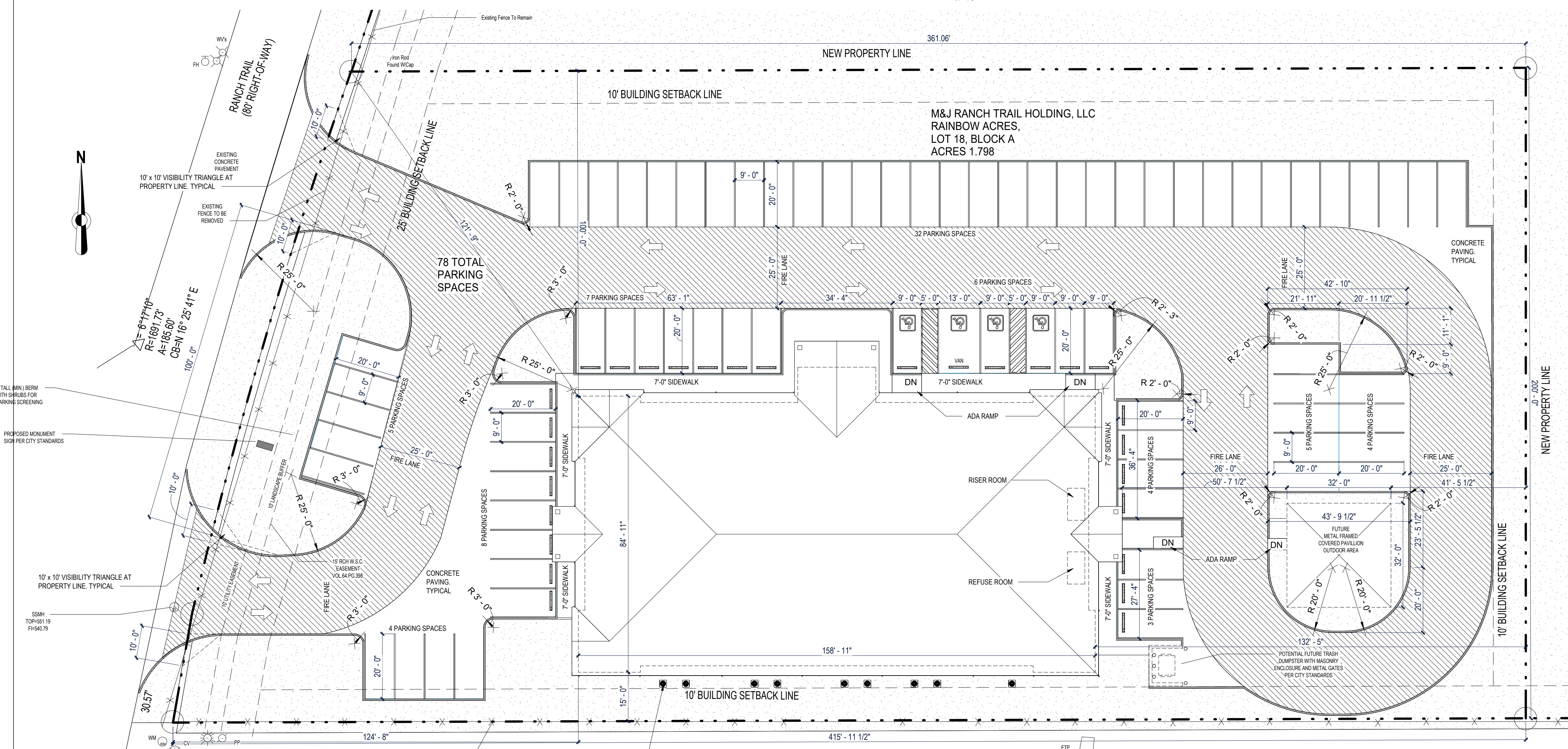
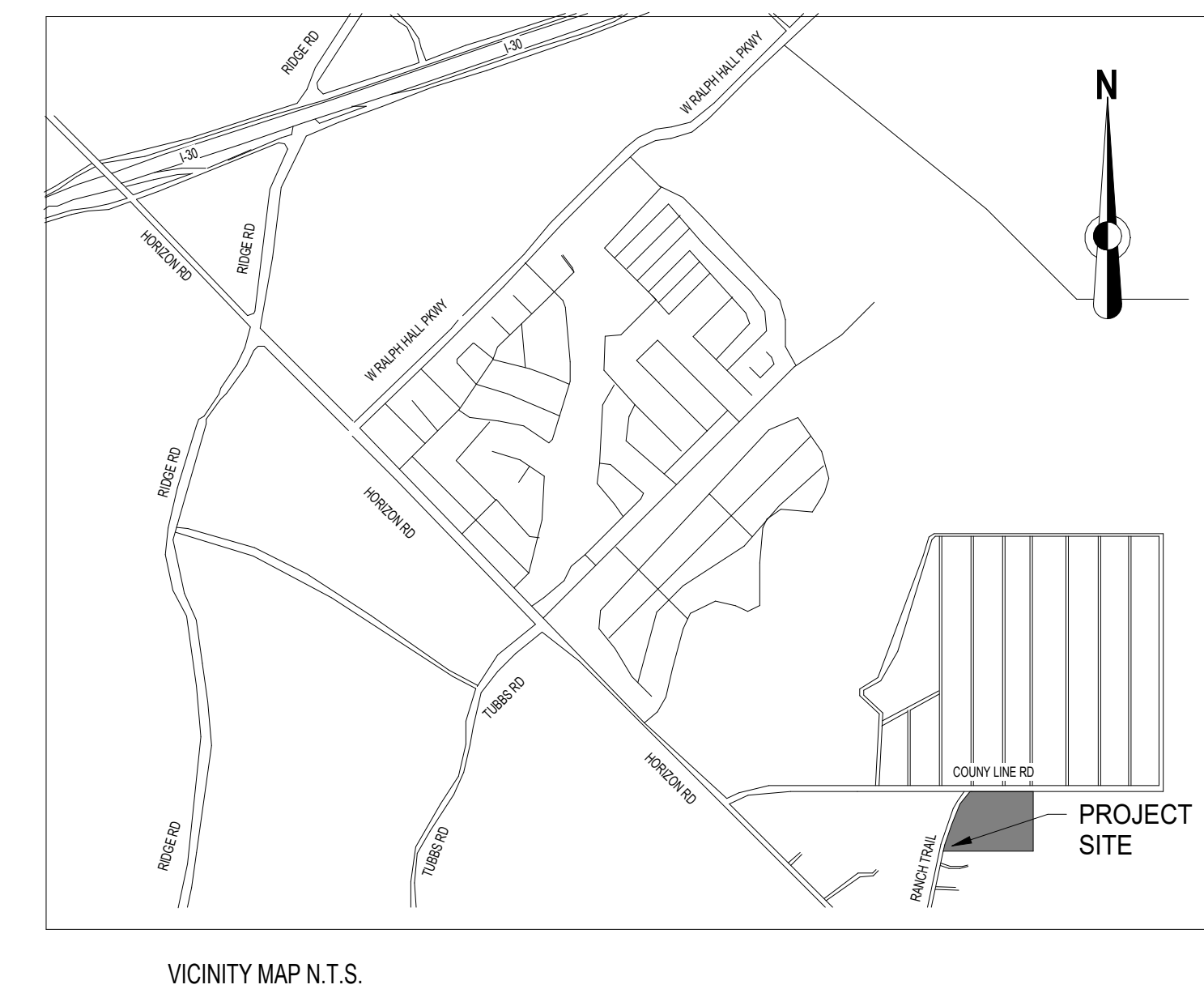
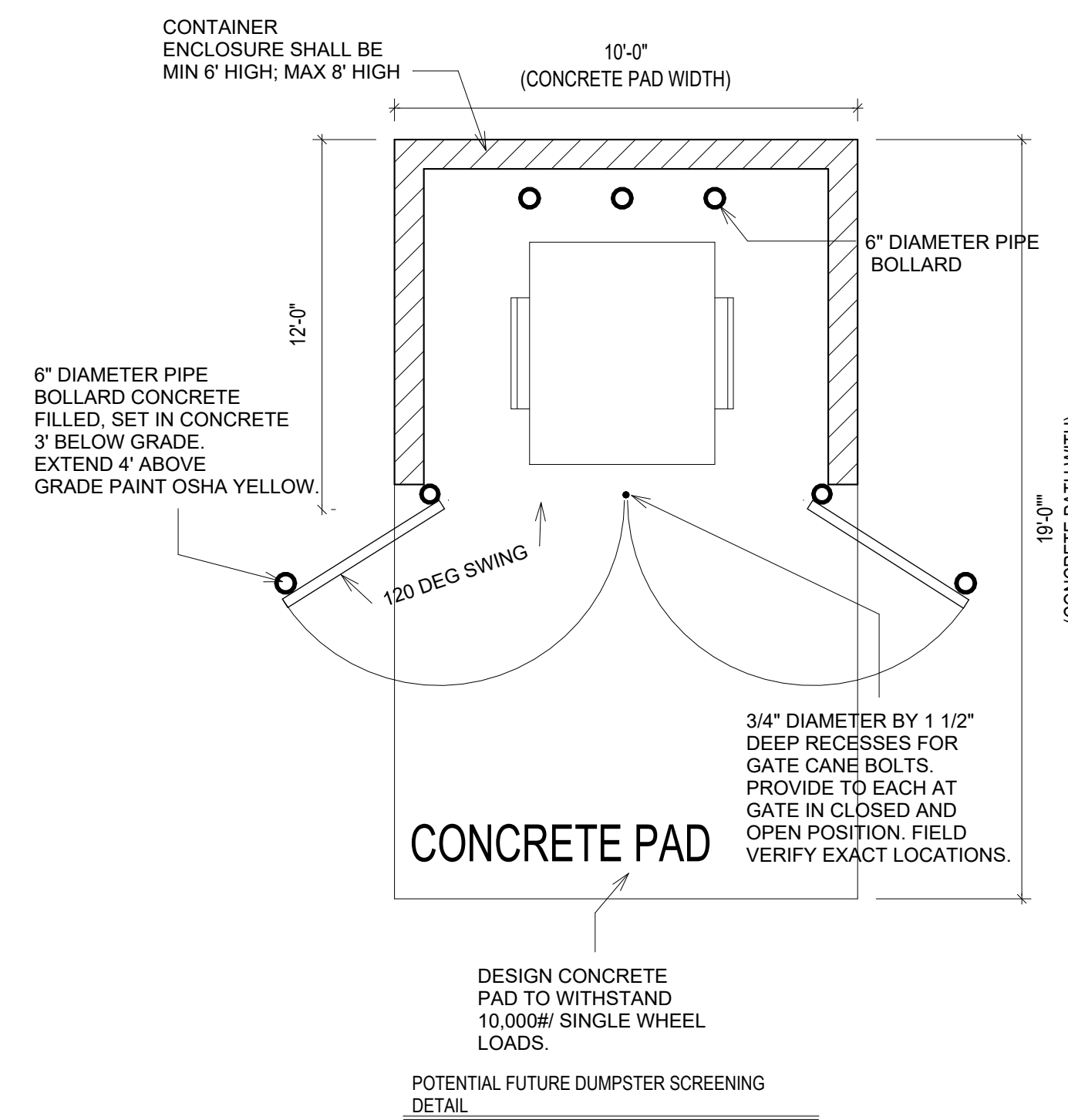
## SITE PLAN - DETAIL

**McKINNEY BUILDING**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & S PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

SP-1.1

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**REGISTERED ARCHITECT**  
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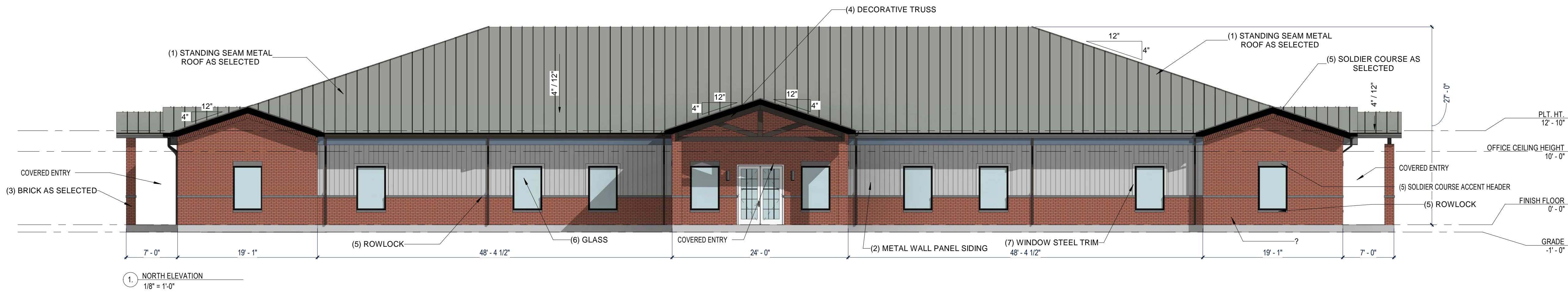
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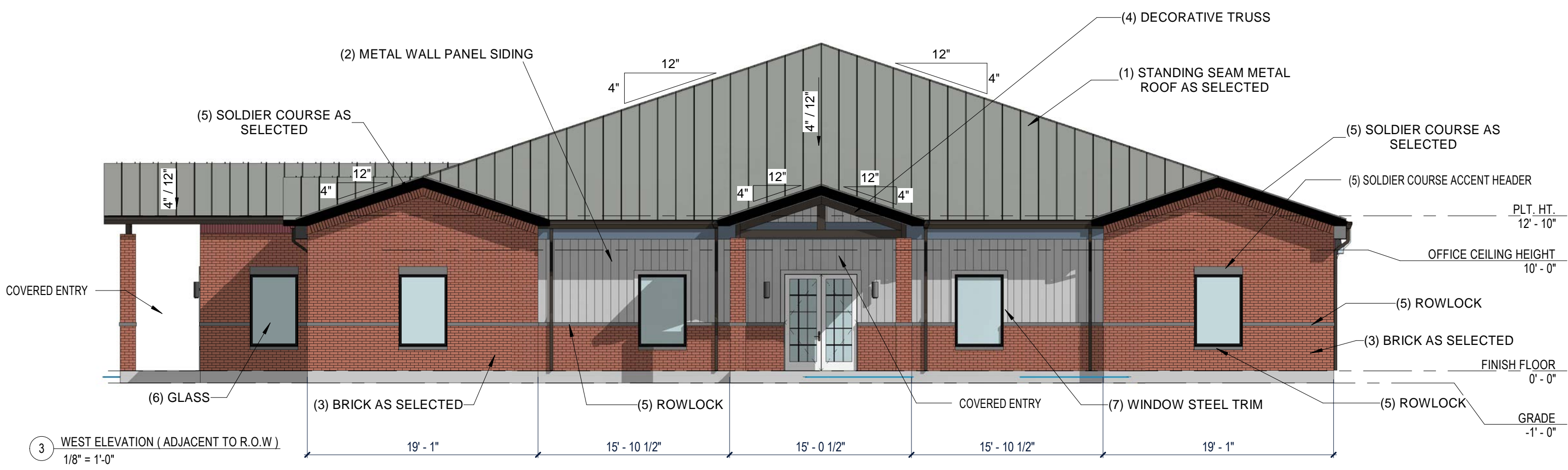
MATERIAL INFORMATION - NORTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	1394 SF	44%
(MC) Glass	1054 SF	33%
(MC) Metal Siding	707 SF	22%
	3155 SF	100%

1 NORTH ELEVATION  
1/8" = 1'-0"



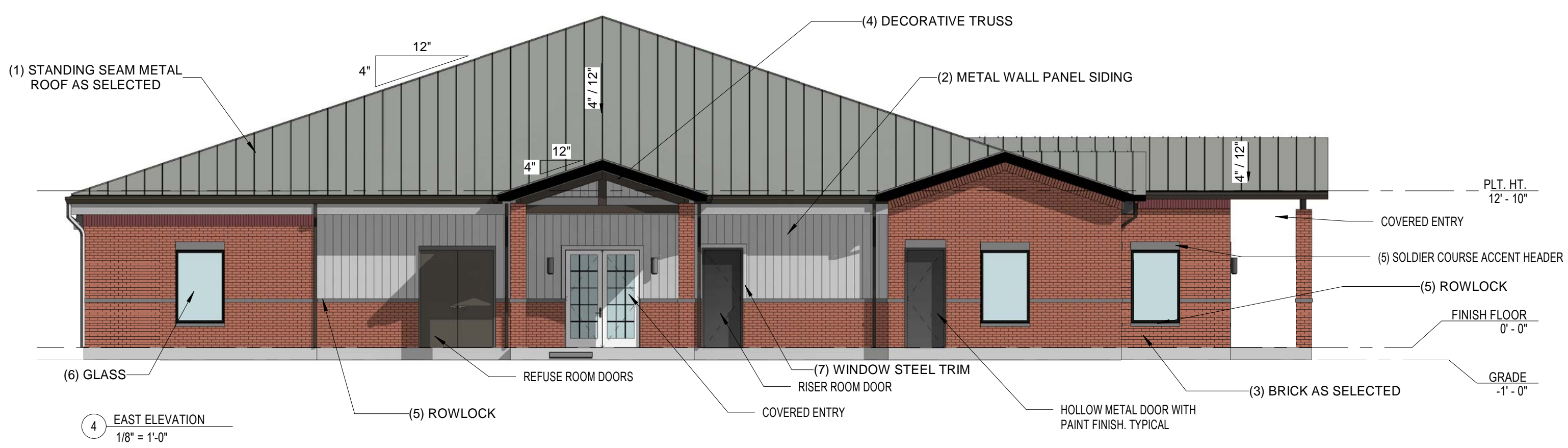
MATERIAL INFORMATION - SOUTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	918 SF	40%
(MC) Glass	647 SF	28%
(MC) Metal Siding	738 SF	32%
Grand total: 17	2303 SF	100%

2 SOUTH ELEVATION  
1/8" = 1'-0"



MATERIAL INFORMATION - WEST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	743 SF	51%
(MC) Glass	392 SF	27%
(MC) Metal Siding	322 SF	22%
	1457 SF	100%

3 WEST ELEVATION (ADJACENT TO R.O.W.)  
1/8" = 1'-0"



MATERIAL INFORMATION - EAST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	669 SF	55%
(MC) Glass	227 SF	19%
(MC) Metal Siding	310 SF	26%
	1207 SF	100%

4 EAST ELEVATION  
1/8" = 1'-0"

FACADE FINISH MATERIALS SCHEDULE				
ID	TYPE	MANUFACTURER	MODEL	COLOR
1	STANDING SEAM METAL ROOF	MCBI	-	-
2	METAL WALL PANEL	MCBI	-	-
3	BRICK	ACME	-	-
4	DECORATIVE TRUSS	-	-	-
5	ACCENT BRICK	ACME	-	-
6	GLASS	-	-	-
7	WINDOW TRIM	-	-	-

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DIRECTOR OF PLANNING & ZONING

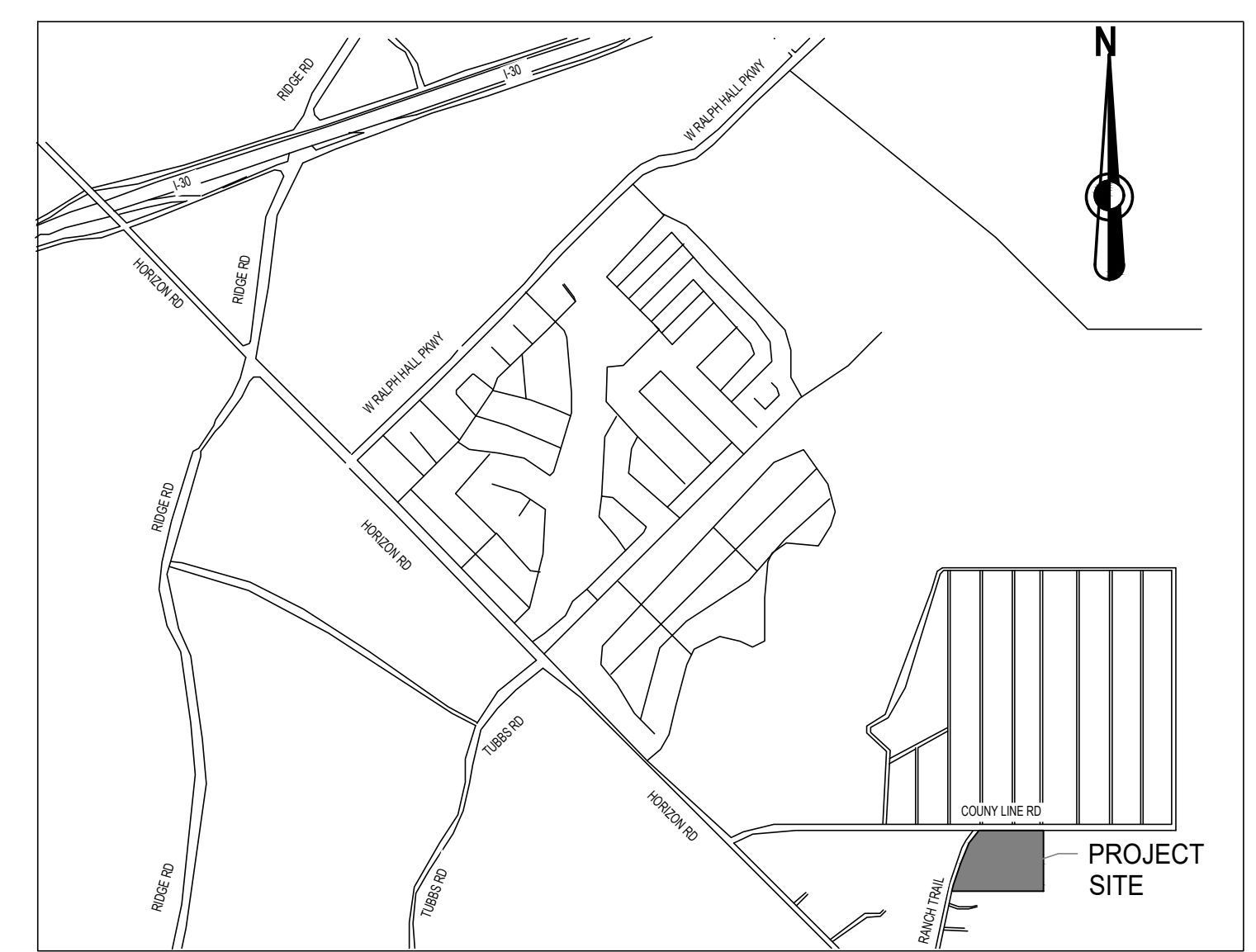
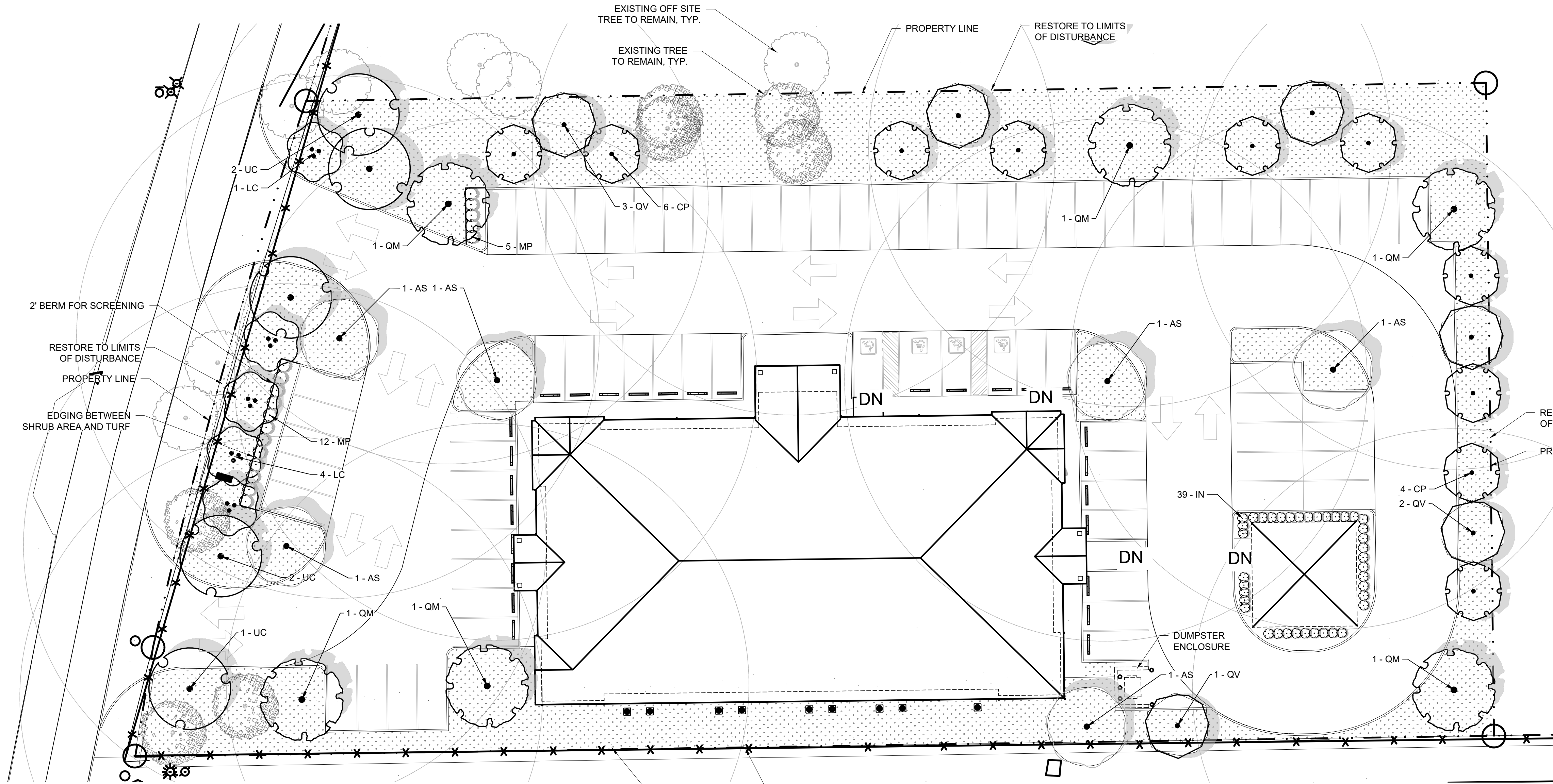
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RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.2  
CASE NUMBER \_\_\_\_\_

01/20/2023

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LANDSCAPE STANDARDS	
05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
RANCH TRAIL: ±207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS
05.02 LANDSCAPE SCREENING REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS 2' BERM WITH EVERGREEN SHRUBS N/A
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±78,309 SF 15,661 SF (20%) ± 23,809 SF (30.4%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE. 15,661 x 50% = 7,830 SF
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	12,710 SF (81.1%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA: REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±37,622 SF 37,622 x 5% = 1,881 ±4,598 SF (12.2%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK 78 SPACES 8 TREES (1 PER 10 SPACES) 12 TREES
PARKING SPACES: TREES REQUIRED: TREES PROVIDED:	78 SPACES 8 TREES (1 PER 10 SPACES) 12 TREES

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.  
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.  
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.  
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).  
a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.  
b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).  
c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.  
d. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.  
e. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.  
f. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AS	6	Acer saccharum 'Caddo' Caddo Maple	4" Cal.	Cont.	12' min.
	CP	10	Pistacia chinensis Chinese Pistache	4" Cal.	Cont.	12' min.
	QM	6	Quercus muehlenbergii Chinkapin Oak	4" Cal.	Cont.	12' min.
	QV	7	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12' min.
	UC	5	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12' min.

**ORNAMENTAL TREES**

CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
LC	5	Lagerstroemia indica 'Cherokee' Cherokee Crape Myrtle	CONT.	3-5 CANES, 2" CAL OVERALL	8' -10' HT

**SHRUBS**

CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
IN	39	Ilex vomitoria 'Nana' Dwarf Yaupon	5 gal.	36" OC	24" Min.
MP	17	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" Min.

**GROUND COVERS**

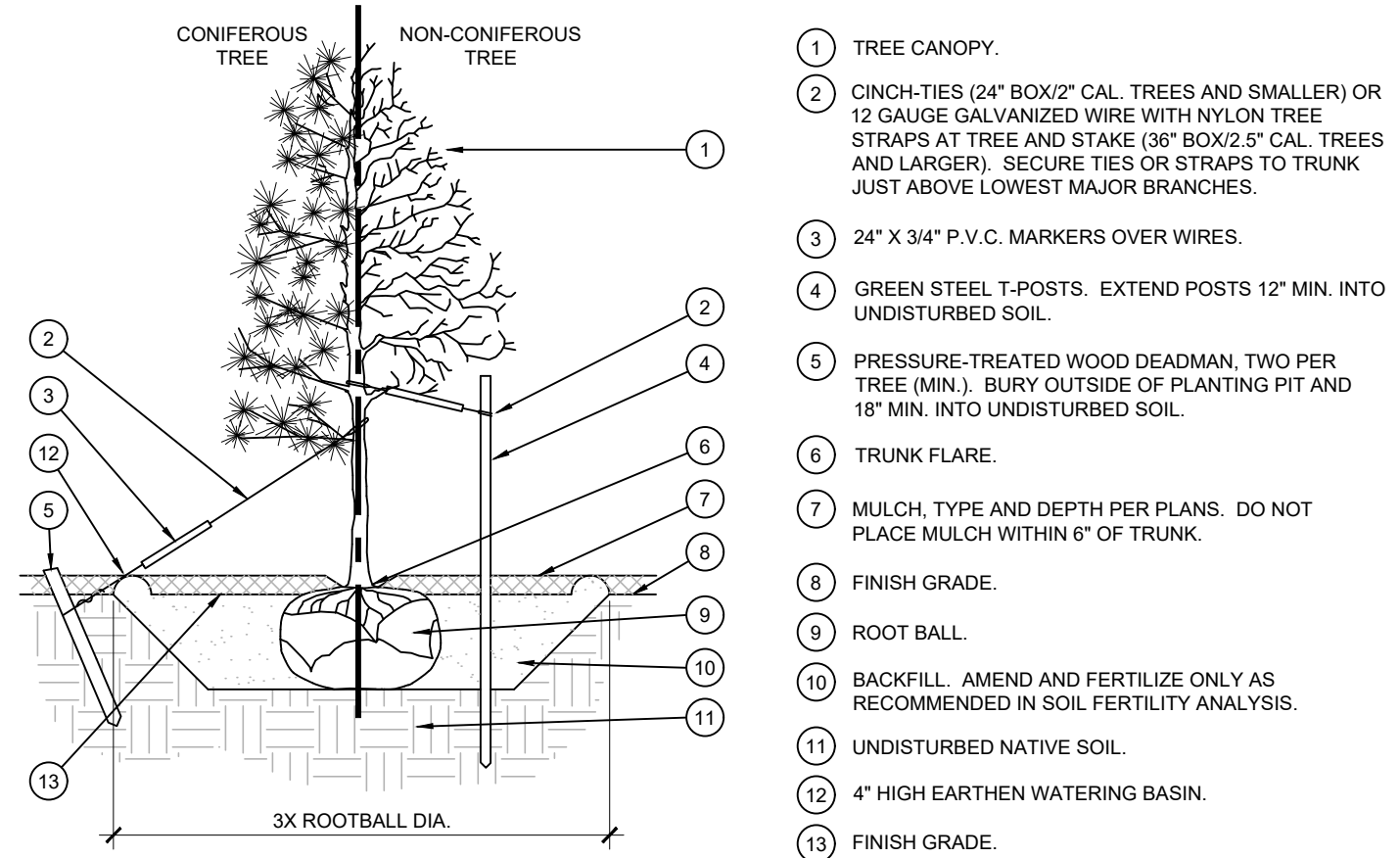
CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
CD	22,382 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		

**EXISTING TREE LEGEND**



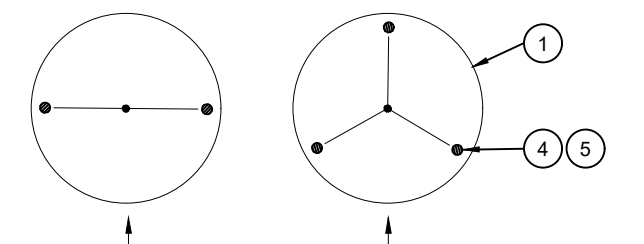

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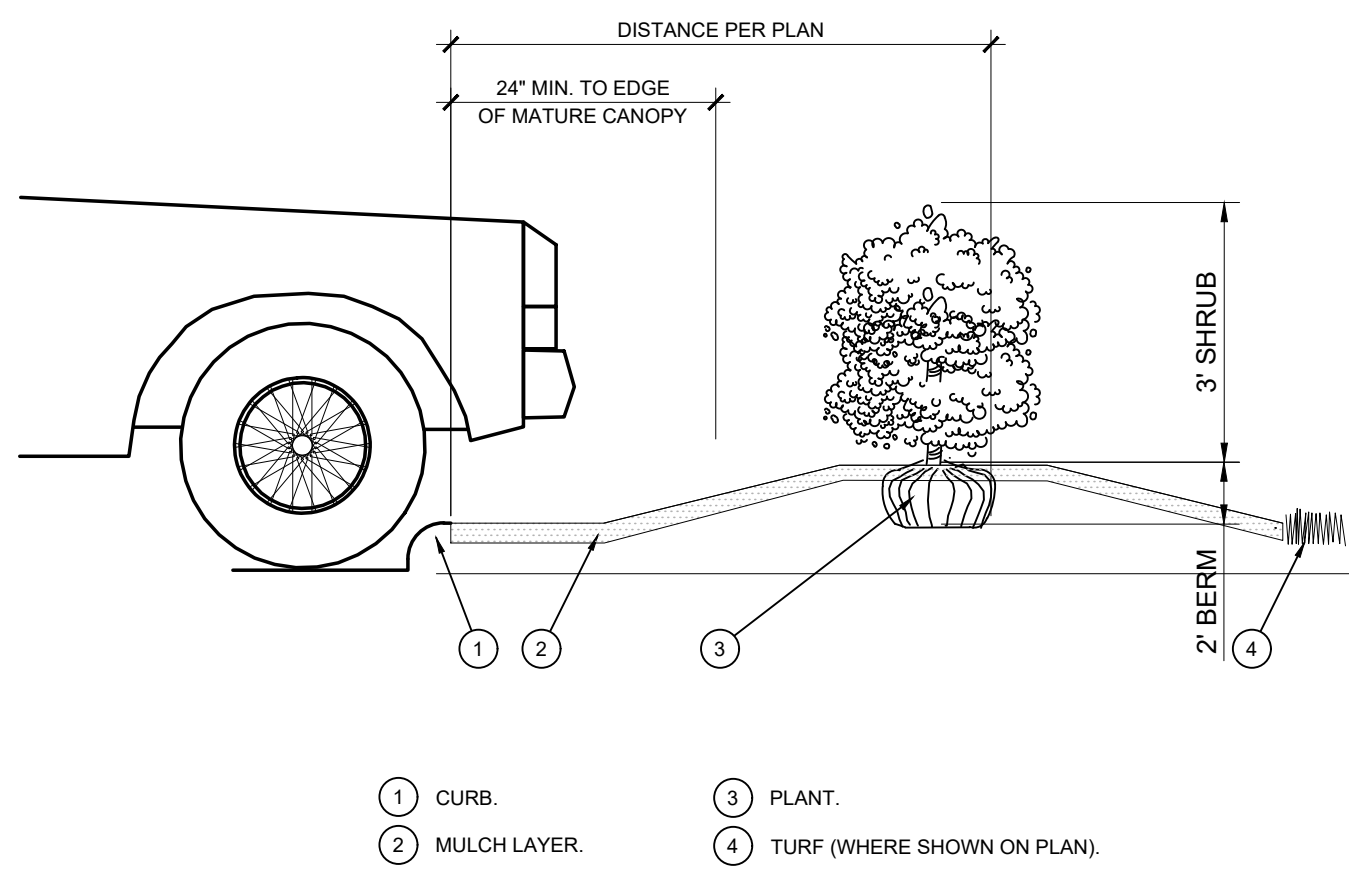
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- 2 CINCH-TIES (24\"/>
- 3 24\"/>
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12\"/>
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18\"/>
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6\"/>
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4\"/>
- 13 FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)

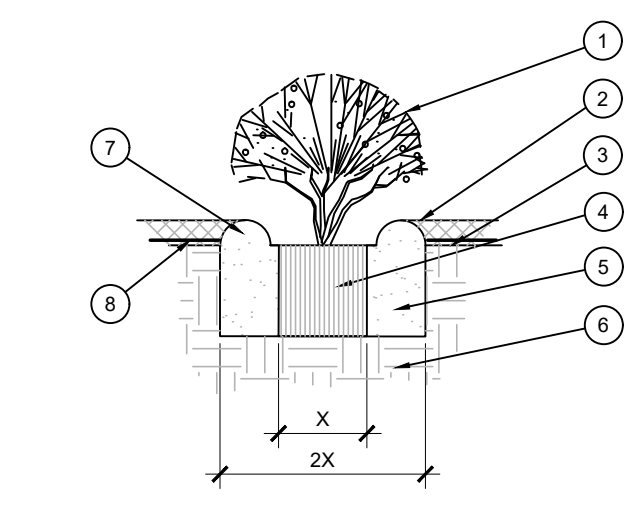


- NOTES:
1. SCARIIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2\"/>
  - 3. FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  - 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - 5. FOR TREES 36\"/>
  - 6. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - 7. FOR TREES 36\"/>
  - 8. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - 9. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - 10. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - 11. REMOVE ALL NURSERY STAKES AFTER PLANTING.
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  - 13. REMOVE ALL NURSERY STAKES AFTER PLANTING.

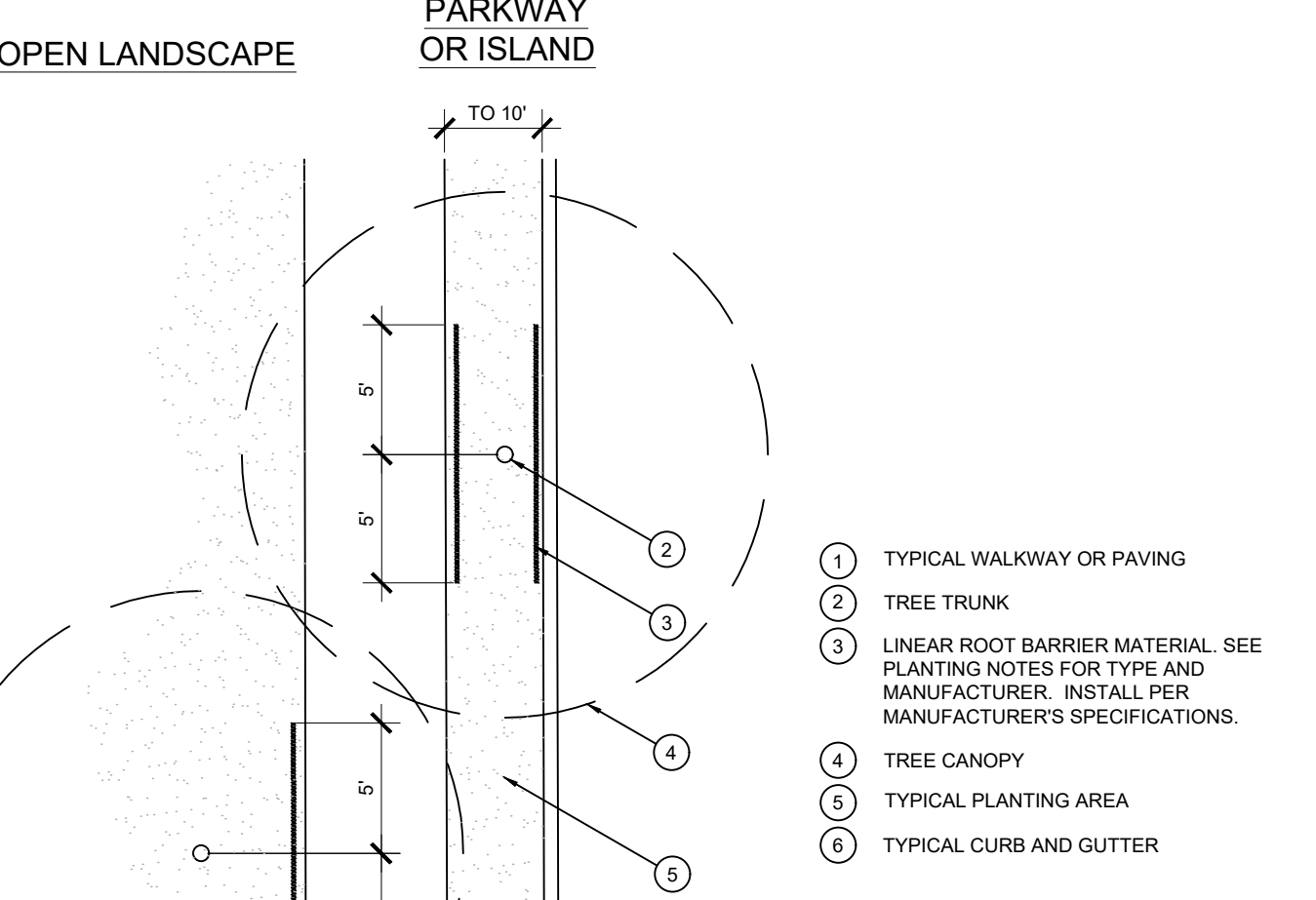
A TREE PLANTING  
SCALE: NOT TO SCALE



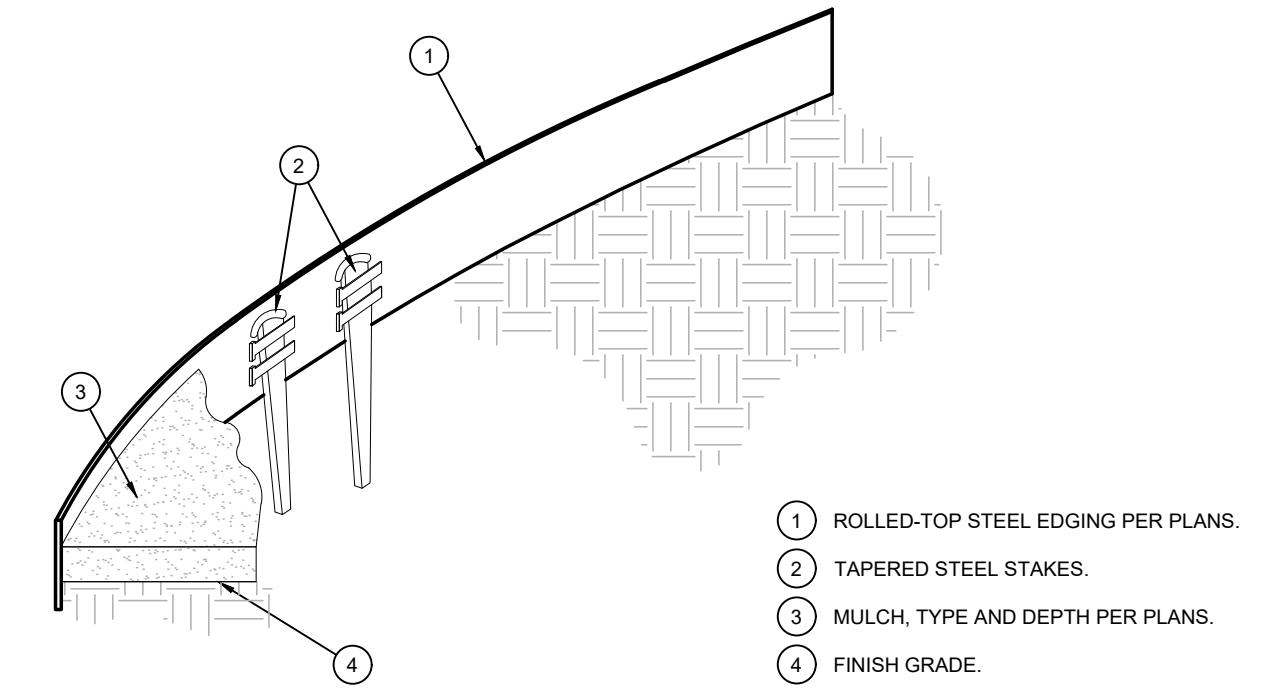
D PLANTING AT PARKING AREA  
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING  
SCALE: NOT TO SCALE



F ROOT BARRIER - PLAN VIEW  
SCALE: NOT TO SCALE



D STEEL EDGING  
SCALE: NOT TO SCALE

PLANTING SPECIFICATIONS

- GENERAL
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- C. PRODUCTS
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BAB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTED.
  4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF (1/2) OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD. PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4\"/>

D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.

E. COMPOST: WELL-COMPOSTED, STABLE, AND WEEB-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.

F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).

G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.

H. TREE STAKING AND GUYING

  1. STAKES: 6\"/>
  - 2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - 3. STRAP: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN.

J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION

  1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1\"/>
  - 2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6\"/>
    - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROB PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8\"/>
    - b. AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS. PER 1,000 S.F.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - c. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8\"/>
    - d. AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
  - 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1\"/>
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3\"/>
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1\"/>
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND THE ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1\"/>

- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  3. TRENCHING OR EXISTING TRENCHING:
    - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2\"/>
    - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2\"/>
    - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
  4. TREE PLANTING
    - a. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
    - b. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
    - c. FOR CONTAINER AND BAB TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1\"/>
    - d. BEFORE PLACING INTO THE PLANTING PIT, DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
    - e. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
    - f. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1\"/>
    - g. ALL OTHER DEBRIS SHALL BE REMOVED FROM THE FIELD, TUNNEL, UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - h. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
  5. TREE STAKING
    - a. 1-2\"/>
    - b. 2-1/2\"/>
    - c. TREES OVER 4\"/>
    - d. MULTI-TRUNK TREES SHALL BE STAKED PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
    - e. MULTI-TRUNK TREES SHALL BE STAKED PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
  6. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
  7. SHRUB, PERENNIAL, AND GROUND COVER PLANTING
    1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2\"/>
    - 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
    - 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
  8. SODDING
    1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
    2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
    3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER JOINTS AND BUTT ENDS OF ADJACENT COURSES.
    4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
    5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
  9. MULCH
    1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
    2. DO NOT INSTALL MULCH WITHIN 6\"/>
- D. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  2. DISPOSE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- E. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPAIR OR CORRECT THE DEFECTIVE WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- F. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  2. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE SPOTS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- G. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDING A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023

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**LANDSCAPE PLANTING  
DETAILS & NOTES**

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RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
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## PLANTING SPECIFICATIONS

### GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

### PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL OF THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER POT DEFECTS (SUCH AS J-SHAPED ROOTS).
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 PERCENT; NOT EXCEEDING 0.5 PERCENT HEAVY METAL CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 6' LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROOVETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- J. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

### METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIMC, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING AS APPROPRIATE: SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
  - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

### B. SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR EXISTING TREES:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2' AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2' AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2' AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

### D. TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARP THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE FOR CONTAINER AND BOX TREES. TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
  - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOILS SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
  - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1"-2" TREES: TWO STAKES PER TREE
    - 2"-12" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
    - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE, COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
  - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO FORM JOINTS IN ADJACENT COURSES.
  - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

### G. MULCH

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 1" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

### I. INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

### J. LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

### K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE AT THAT TIME OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

### L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



02-07-2023



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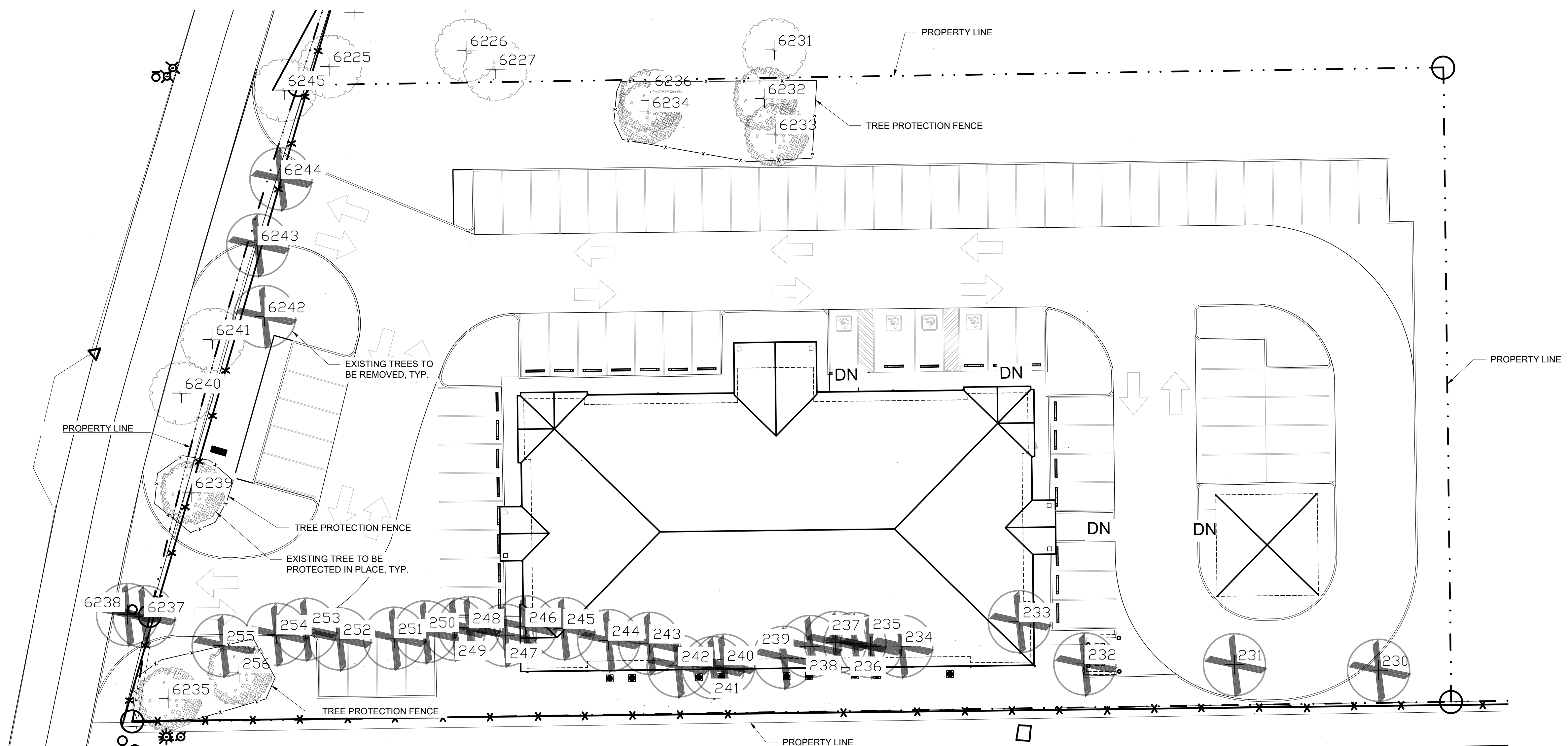
## LANDSCAPE PLANTING SPECIFICATIONS

**McKINNEY BUILDING**

405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**LP-3**

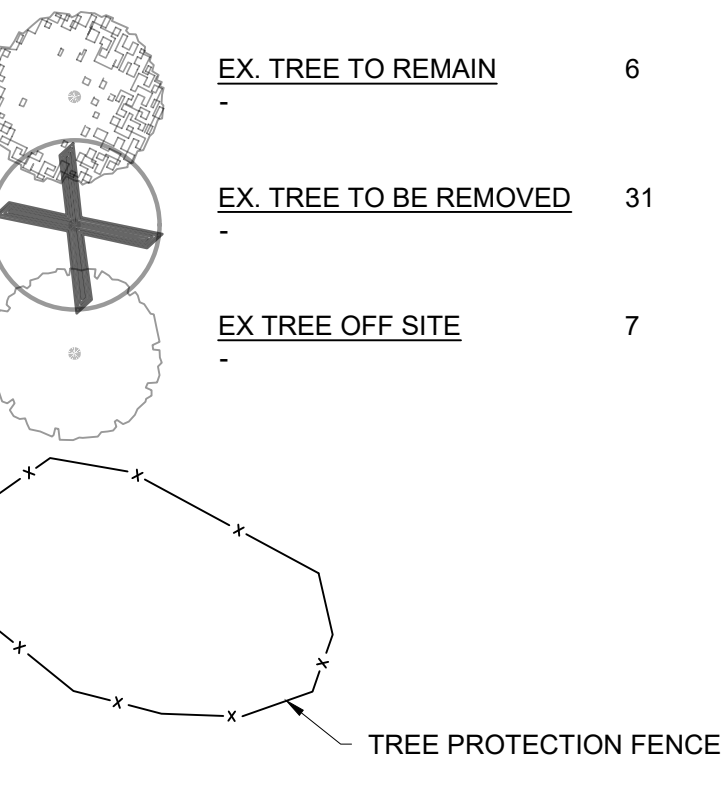




**EXISTING TREE INVENTORY**

TREE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	DISEASE	INSECT	STRUCTURAL	PRESERVE/REMOVE	MITIGATION REQ'D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED				REMOVE	4
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED			Y	REMOVE	4
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED			Y	REMOVE	4
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	PRESERVE	4
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	OFF-SITE	4
6226	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED				OFF-SITE	4
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	OFF-SITE	4
6231	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED			Y	OFF-SITE	4
6232	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED			Y	PRESERVE	4
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED			Y	PRESERVE	4
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED			Y	PRESERVE	4
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6236	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	REMOVE	4
6238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
6239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	OFF-SITE	4
6241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	GOOD	4	PROTECTED				OFF-SITE	4
6242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
6243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED				REMOVE	4
6244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22	19	GOOD	4	PROTECTED				REMOVE	4
6245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y	Y	Y	OFF-SITE	4

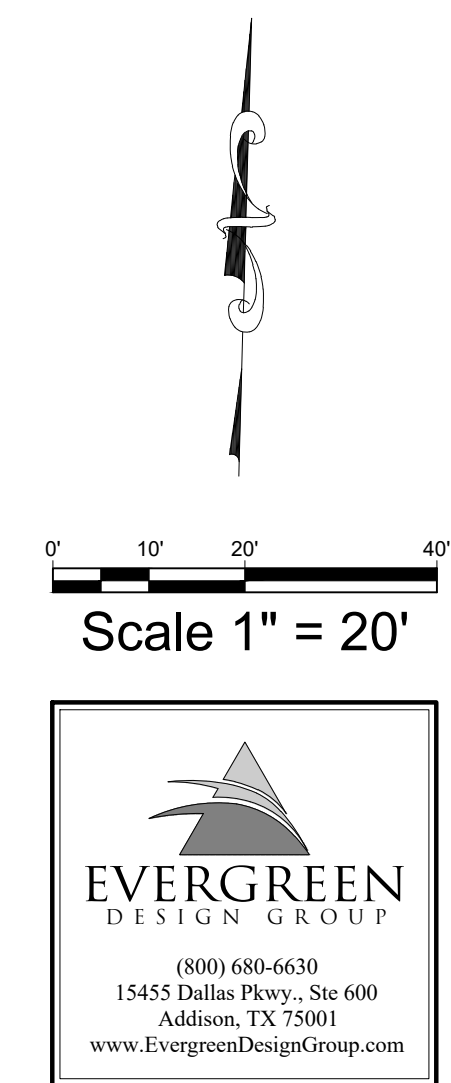
**EXISTING TREE LEGEND**



TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	120"
PROPOSED CODE REQUIRED TREES:	58"
BALANCE OF MITIGATION:	42"
4" CAL. MITIGATION TREES (11) ONSITE:	64"

**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**



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 972.564.0592  
 www.eldengineering.com

**TREESCAPE PLAN**

**McKINNEY BUILDING**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

**TD-1**

11-22-2022



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

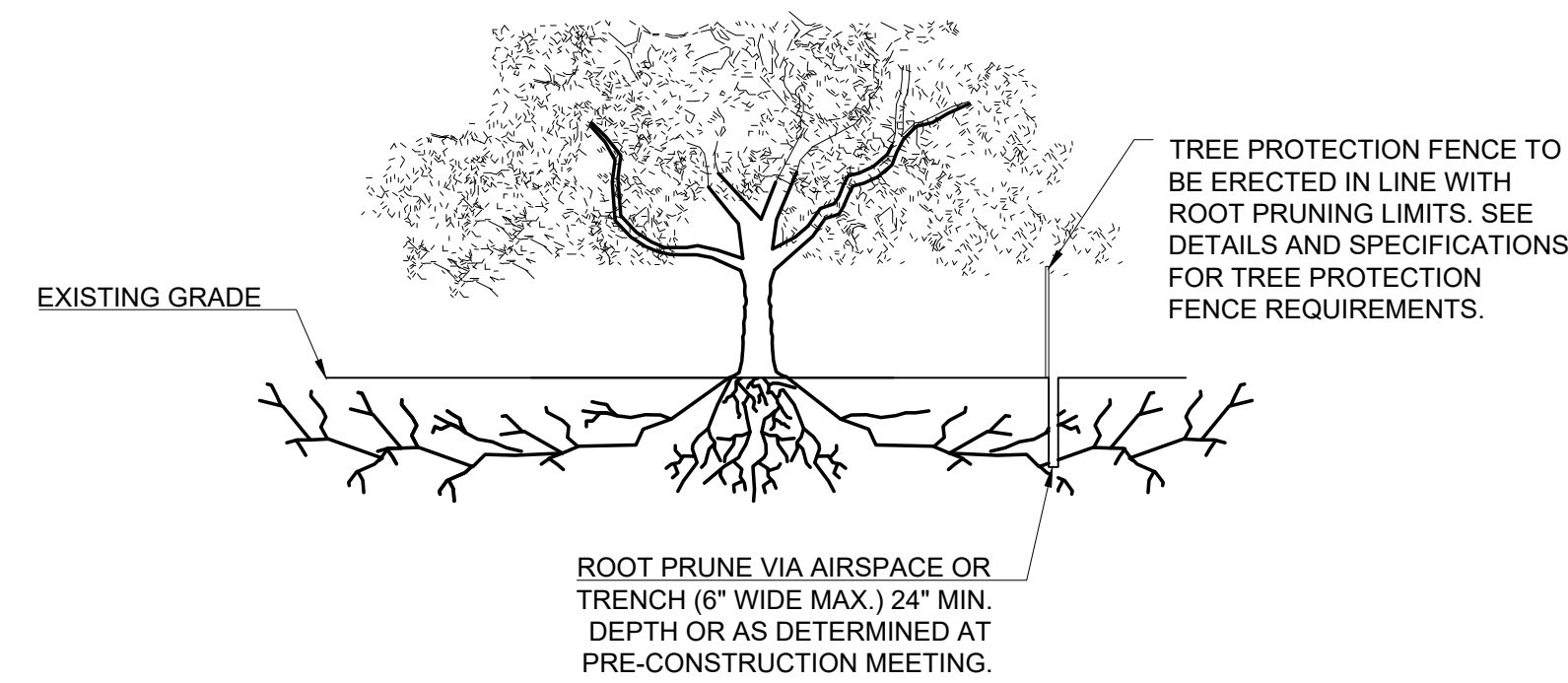
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

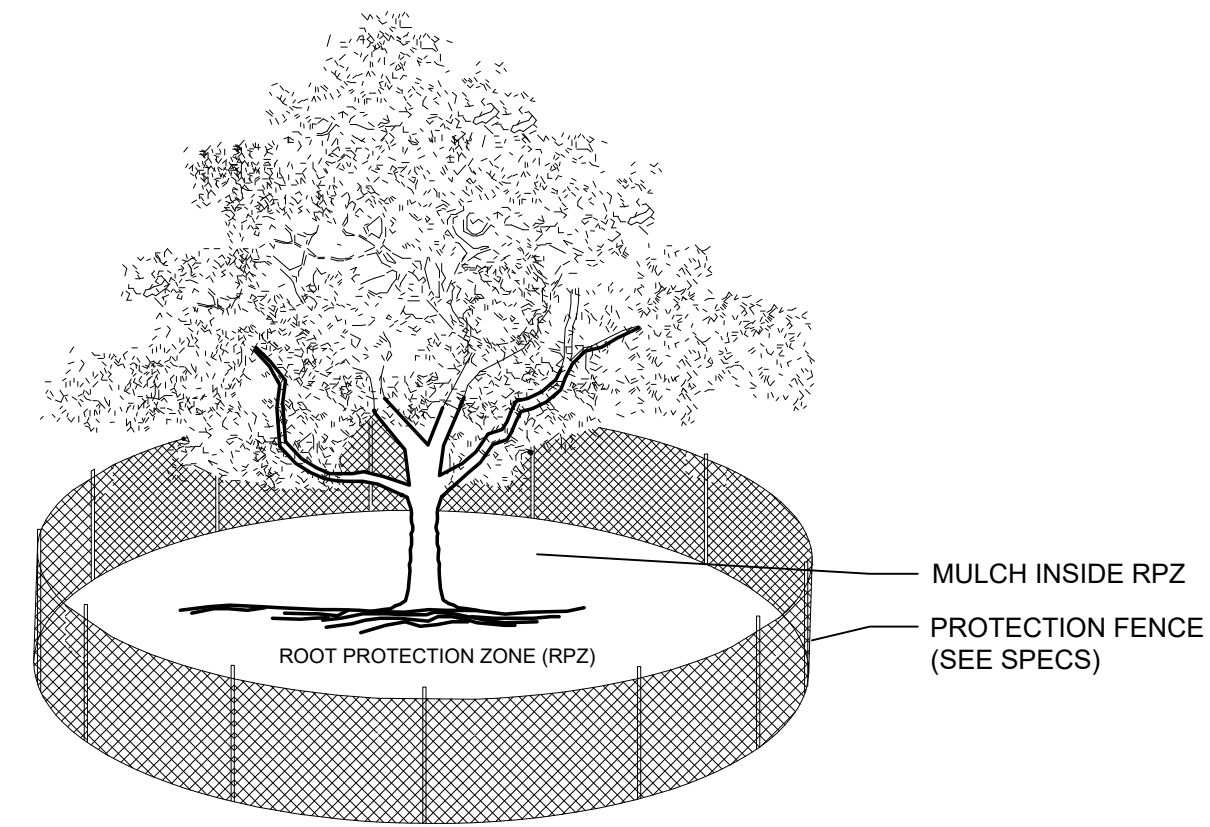
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN IN PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



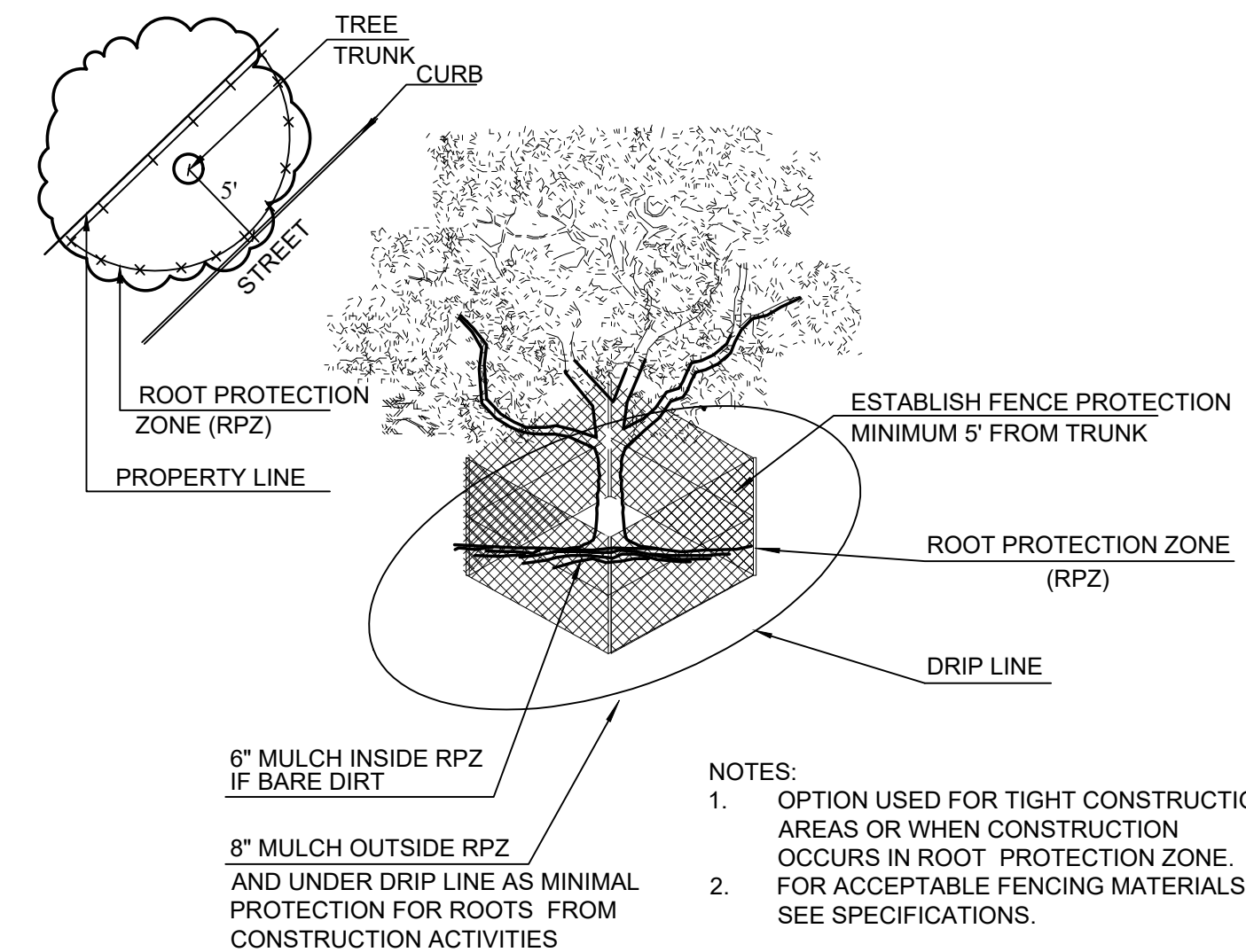
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



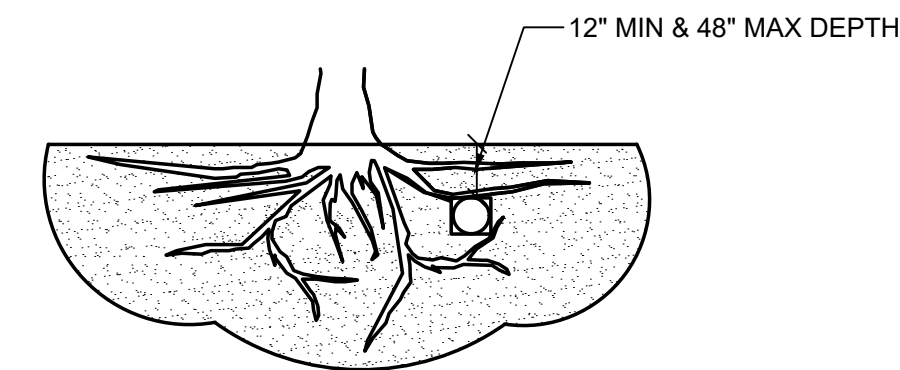
**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

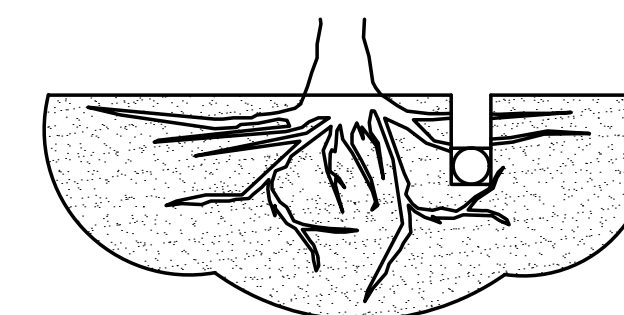
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



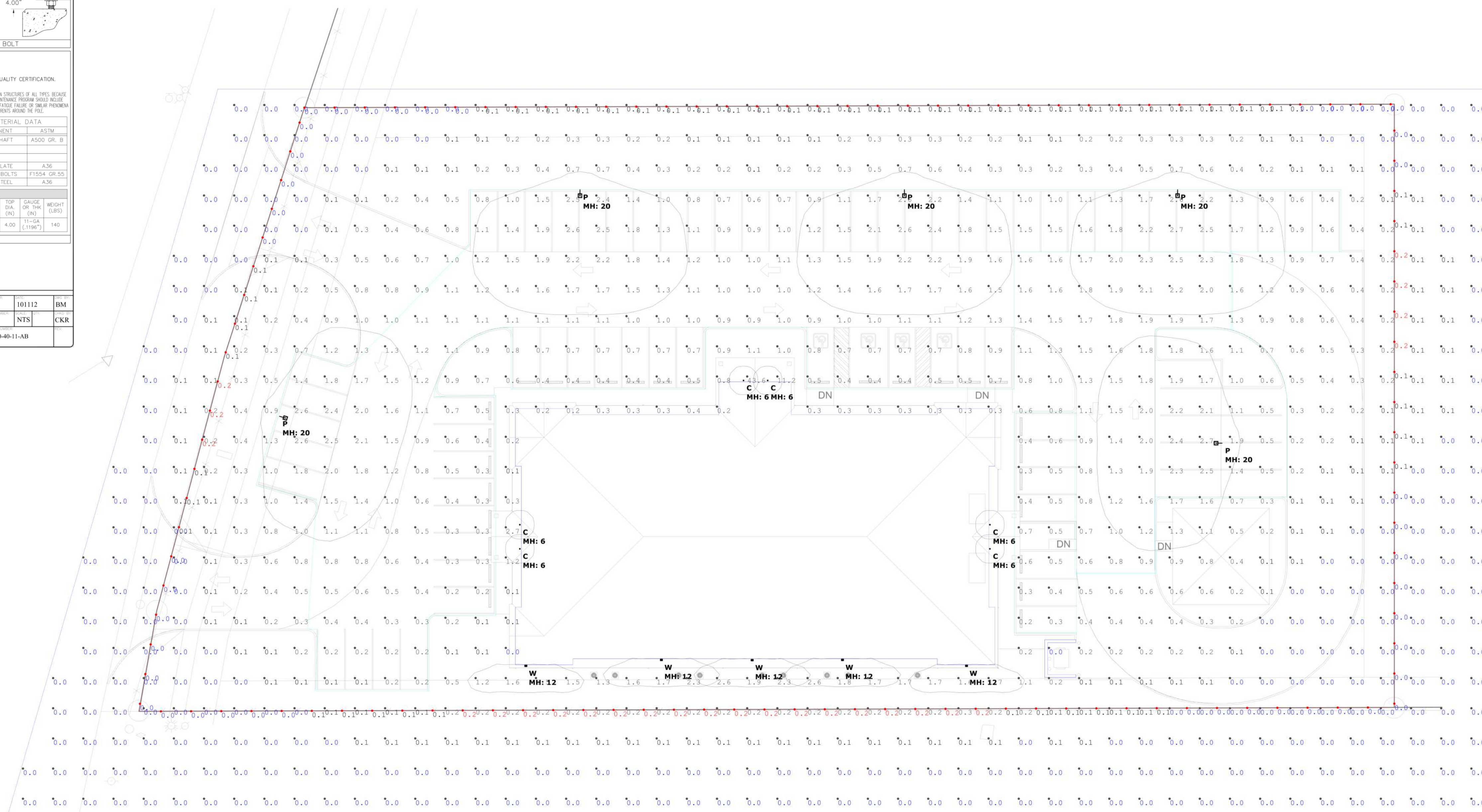
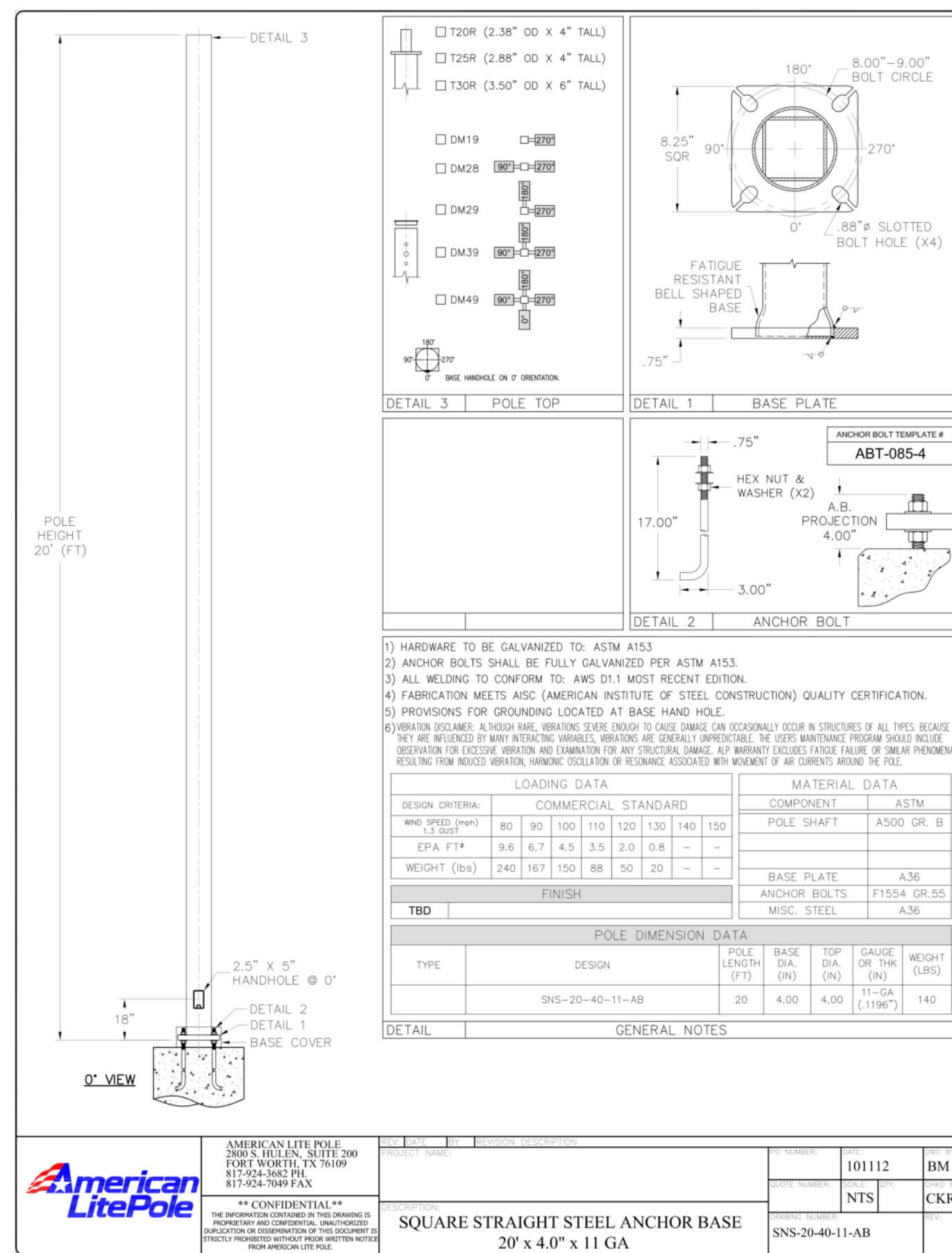
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**TREESCAPE DETAILS & SPECIFICATIONS**  
McKinney Building  
405 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**TD-2**





Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	C	6	LUMINIS SY660-L115-R30 VOLT FINISH	1600	15.3	1.000	0.850	1.000
□	P	5	LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DDBXD DM19AS 20' POLE	11025	102.1727	1.000	0.850	1.000
□	W	5	LITHONIA WDG2Z LED P1 40K 80CRI T15 MVOLT MOUNT	1215	11.1658	1.000	0.850	1.000

Calculation Summary	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.08	0.2	0.0	N.A.
SITE 1 - Planar		Fc	0.58	43.6	0.0	N.A.
PARKING LOT		Fc	1.14	2.7	0.1	11.40

- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
  2. Calculation values are at height indicated in summary table.
  3. Mounting heights are designated on drawing with "MH".
  4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
  5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
  6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
  7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

2023-02-15



Plan/Spec Agreement  
 By signing these plans, Contractor/Owner agrees to the following:  
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DRAWN BY:	LDG	
DATE:	2/09/2023	
CHECKED BY:	LDG	
DATE:	2/13/2023	
FINAL REVIEW BY:	BSDG	
DATE:	2/15/2023	
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL

**RANCH TRAIL PARTNERS**  
 405 RANCH TRAIL  
 ROCKWALL, TEXAS 75032

SITE PHOTOMETRICS





TYPE: QUANTITY: PROJECT:

CATALOG NUMBER	FIXTURE	SUFFIX	REFLECTOR	VOLTAGE	FINISH	OPTION	OPTION	OPTION
----------------	---------	--------	-----------	---------	--------	--------	--------	--------

- Cast aluminum driver housing, includes galvanized steel wall mount pressure plate.
- Cast aluminum ventilated top cover.
- Seamless extruded aluminum cylindrical housing.
- Fully sealed cast aluminum light assembly.
- Sealed cast aluminum lens frame.
- Clear tempered glass lens.
- Faceted specular aluminum reflector.
- Optional 360° adjustable rotation.

All stainless steel hardware.

Syrios light module is designed with a tilting mechanism allowing forward and back light adjustability. The 330° directional module allows to aim the light beam in the desired direction, without disturbing the luminaire mounting. The module can be secured using the built in locking mechanism.

Fully adjustable 360° rotation also available, see option A360.

Other adjustment factory set positions are available. Please consult factory.

**MATERIALS**  
Syrios is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%. The main housing is made of seamless extruded aluminum, with an integrally sealed LED light module designed for optimal heat dissipation, and lighting performance.

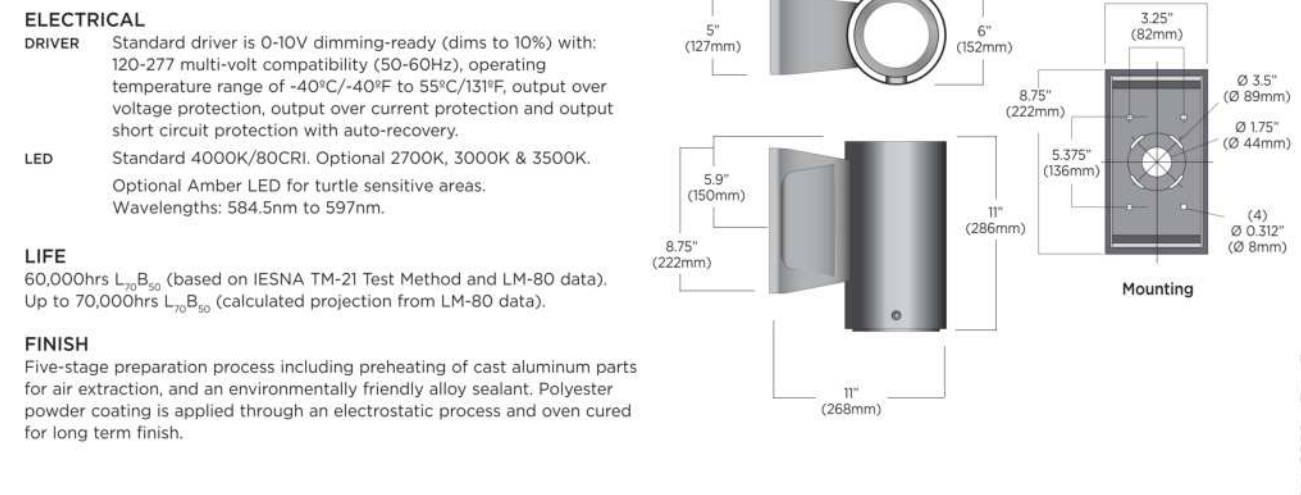
Syrios is standard with a unique proprietary design allowing the sealed LED module to fit within the cylindrical housing.

The top cast aluminum cover includes ventilation slots allowing air circulation and cooling of assembly.

Syrios SY600 series is standard with 30° option. See options section for alternate selection.

**MOUNTING**  
Maximum weight: 8 lbs (4kg)  
The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3.5" (89mm) C/C mounting holes. An additional sealed LED light module designs are provided as per site requirements, and lighting performance.

**CERTIFICATION**  
Certified and approved as per CSA C22.2 No. 250.0 standard and ANSI/UL 1598 standard, for wall location. Rated IP66.



LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com 260 Labrosse, Pointe-Clare (QC) Canada H9R 5L5 LUMINIS.COM

Luminaires may be altered for design improvement or discontinued without prior notice.

**LUMINAIRE SELECTION**

**MODEL**  
SY600

**LED LIGHT SELECTION**  
SUFFIX DELIVERED LUMENS INPUT WATTS CRI CCT K  
LL15 1599 15W 80 4000  
LL25 2543 26W 80 4000  
LL40 4142 48W 80 4000

**REFLECTORS\***  
R15 Narrow optics 15°  
R30 Flood optics 30°  
R55 Wide flood optics 52°  
\*Depending on direction fixture is mounted side of cabinet or in the downlight hole, R15 will reflect down above, R30 to 120° (up length)

**VOLTAGE**  
120V  
227V  
Optional 347V\*

**FINISH**  
WH1 Snow white  
BK1 Jet black  
BZ1 Bronze  
MS1 Matte silver  
GR1 Titanium gray  
DM1 Gun metal  
CH1 Champagne  
ST1 Steel gray  
BL1 English cream

**STANDARD COLORS\***  
RAL RAL color  
CS Custom color  
RAL RAL color

**NATURALUM SUITED COLORS**  
NW1 White  
NK1 Black  
\*Refer to color chart

**OPTIONAL COLORS\***  
MPL Maple  
OPL Oak  
CPL Chestnut  
RPL Rosewood  
CPL Cherry  
TK1 Teak  
WLN Walnut

**FAUX WOOD COLORS\***  
ADG American douglas  
BRC Birch  
CHN Chestnut  
CPL Oak  
CRY Cherry  
KMP Kinky pine

**ACCESSORIES**  
HL Hecell louver  
SL Solite lens (light loss factor [LLF]: 0.9)  
LSP Option required for upright installation  
UH Uniform height matching SY602\*

**ELECTRICAL**  
PS Photoacoustic  
PH Photocell  
MS PIR motion sensor (Device is located at bottom of luminaire wall box)  
REML2-50 7W remote emergency battery backup for LED, 90 min. Remote mount 50" x 12" (305mm) square enclosure with access cover

**FAUX WOOD COLORS\***  
MPL Maple  
OPL Oak  
CPL Chestnut  
RPL Rosewood  
CPL Cherry  
TK1 Teak  
WLN Walnut

**ACCESSORIES**  
HL Hecell louver  
SL Solite lens (light loss factor [LLF]: 0.9)  
LSP Option required for upright installation  
UH Uniform height matching SY602\*

**LIGHT & OPTICS**  
Alternate CCT 'K' LED (LCF: Lumen conversion factor)  
K27 2700K CCT 80 CRI (LCF: 0.91)\* NOTE: Other CCT & higher CRI available, please consult factory.  
K35 3500K CCT 80 CRI (LCF: 0.983)  
K55 5000K CCT 80 CRI (LCF: 1.0)  
A360 360° adjustable rotation  
R9 Very narrow optics 9° Field angle 18° (46/151 candela)

**NOTES**  
1. Photoacoustic (PH) not available with REML2-50 option.  
2. The remote enclosure must be interior.  
3. Cylindrical housing extended by 7" (25.4mm) for increased cut-off.  
4. PIR motion sensor (MS) not available with REML2-50 option.  
5. 347V not compatible with Amber LED LL362A.  
6. K27 and K35 options not available with the R9 option.  
7. Faux wood finish not applied to driver housing, lens frame or accessories.  
8. For use with A360 and/or R9 consult factory.

For IGA certification compliance, luminaire must be ordered with 3000K or warmer.

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2. The remote enclosure must be interior.  
3. Cylindrical housing extended by 7" (25.4mm) for increased cut-off.  
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7. Faux wood finish not applied to driver housing, lens frame or accessories.  
8. For use with A360 and/or R9 consult factory.

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Luminaires may be altered for design improvement or discontinued without prior notice.

**TYPICAL PHOTOMETRY SUMMARY**

**Descriptive Information**  
SY600-LL40-R15  
Total Lm: 3998 lumens  
Total input watts: 48 W  
Efficacy: 83 Lumens/Watt  
BUG: BS-UO-GO  
CCT/CRI: 4000K/80  
Maximum candela: 2543 @ 0°

**Descriptive Information**  
SY600-LL40-R30  
Total Lm: 4102 lumens  
Total input watts: 48 W  
Efficacy: 85 Lumens/Watt  
BUG: BS-UO-GO  
CCT/CRI: 4000K/80  
Maximum candela: 1846 @ 0°

**Descriptive Information**  
SY600-LL40-R55  
Total Lm: 4369 lumens  
Total input watts: 48 W  
Efficacy: 91 Lumens/Watt  
BUG: BS-UO-GO  
CCT/CRI: 4000K/80  
Maximum candela: 653 @ 0°

**Descriptive Information**  
SY600-LL20R-R9  
Total Lm: 1690 lumens  
Total input watts: 31 W  
Efficacy: 55 Lumens/Watt  
BUG: BS-UO-GO  
CCT/CRI: 4000K/80  
Maximum candela: 4651 @ 0°

Please visit our web site www.luminis.com for complete I.E.S. formatted download data.

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Luminaires may be altered for design improvement or discontinued without prior notice.

**Specifications**  
Depth (D1): 7"  
Depth (D2): 1.5"  
Height: 9"  
Width: 11.5"  
Weight (without options): 13.5 lbs

**WDGE2 LED Family Overview**

Luminaire	Optics	Standard ILM, P°C	Cold ILM, 20°C	Sensor	P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W	—	—	750	1,200	2,000	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / Height	—	1,200	2,000	3,000	4,500	6,000	—
WDGE2 LED	Precision Refractive	10W	18W	Standalone / Height	700	1,200	2,000	3,000	4,500	12,000	—
WDGE3 LED	Precision Refractive	15W	18W	Standalone / Height	—	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	Precision Refractive	—	—	Standalone / Height	—	12,000	16,000	18,000	20,000	22,000	25,000

**WDGE2 LED Family Overview**

**Ordering Information**

**EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE2 LED	P0*	27K	2700K	100CR	T15	Type I Short	MVOLT SRM	3/8" Black structural wall spacer
	P1*	30K	3000K	80CRI	T2M	Type II Medium	SRM	Surface mounting bracket
	P2*	40K	4000K	LW Limited Wavelength	T3M	Type III Medium	KW	Indirect Canopy Ceiling Mounter (not included)
	P4*	50K	5000K	—	T4M	Type IV Medium	PBBW	Surface-mounted back box (top left, right corner only, see when there is no junction box available)

**Options**

**EWNB** Emergency battery backup, Certified in CA Title 20 MAR05 (C00K, 5°C max)

**EWOW** Emergency battery backup, Certified in CA Title 20 MAR05 (C00K, 0°C max)

**PE\*** Photoacoustic, Button Type

**DMC\*** 0-10V dimming wires pulled outside fixture (for use with external control, ordered separately)

**KCE** Bottom condensation entry for back box (PBBW). Total of 4 entry points.

**BA** Bay Area/CA Act Compliant

**Standalone Sensors/Controls**  
PIR 8x-level (100/25%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.  
PIRH 8x-level (100/100%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.  
PIRHCYV 8x-level (100/100%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.  
PIRHCYCW 8x-level (100/100%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

**Networked Sensors/Controls**  
NLTAR2 PIR 8x-level (100/100%) motion sensor for 8-15' mounting heights.  
NLTAR2 PIRH 8x-level (100/100%) motion sensor for 8-15' mounting heights.  
NLTAR2 PIRH 8x-level (100/100%) motion sensor for 8-15' mounting heights.  
NLTAR2 PIRH 8x-level (100/100%) motion sensor for 8-15' mounting heights.

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WDGE2 LED Rev. 11/21/22

**Accessories**

WDGE2PBBW 0000D WDGE2 Surface-mounted back box (top left)

WDGE2SRM 0000D WDGE2 Surface-mounted back box (top right)

WDGE2KCE 0000D WDGE2 Bottom condensation entry for back box (PBBW)

WDGE2BA 0000D WDGE2 Bay Area/CA Act Compliant

**NOTES**  
1. PE option not available with sensors/controls.  
2. P1-P4 not available with AMB and LW.  
3. AMB and LW always go together.  
4. 100CR only available with T3M and T4M.  
5. MCV and MBV not available with EYOW or EYOWC.  
6. Not qualified for DLC. Not available with emergency battery backup or sensors/controls.  
7. PE not available in 400V or with sensor/controls.  
8. DMCS option not available with sensors/controls.

**Performance Data**

**Lumen Output**  
Lumen values from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 90 CRI)				30K (3000K, 90 CRI)				40K (4000K, 90 CRI)				50K (5000K, 90 CRI)				Amber Limited-Wavelength											
			Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G								
P0	7W	T3M	715	102	14.6	0.8	866	123	17.6	0.8	899	128	18.3	0.8	891	126	17.9	0.8	798	112	16.0	0.8	798	112	16.0	0.8	798	112	16.0	0.8
			726	104	14.9	0.8	881	125	17.9	0.8	914	130	18.6	0.8	906	128	18.3	0.8	809	114	16.3	0.8	809	114	16.3	0.8	809	114	16.3	0.8
			737	106	15.2	0.8	896	127	18.2	0.8	929	132	19.0	0.8	921	130	18.7	0.8	820	116	16.6	0.8	820	116	16.6	0.8	820	116	16.6	0.8
			748	108	15.5	0.8	911	129	18.5	0.8	944	134	19.3	0.8	936	132	19.0	0.8	831	118	16.9	0.8	831	118	16.9	0.8	831	118	16.9	0.8
P1	11W	T3M	1115	155	21.8	0.8	1127	158	22.2	0.8	1139	161	22.6	0.8	1151	164	23.0	0.8	1040	147	20.7	0.8	1040	147	20.7	0.8	1040	147	20.7	0.8
			1126	157	22.1	0.8	1138	160	22.5	0.8	1150	163	22.9	0.8	1162	166	23.3	0.8	1051	149	21.0	0.8	1051	149	21.0	0.8	1051	149	21.0	0.8
			1137	159	22.4	0.8	1149	162	22.8	0.8	1161	165	23.2	0.8	1173	168	23.6	0.8	1062	151	21.3	0.8	1062	151	21.3	0.8	1062	151	21.3	0.8
			1148	161	22.7	0.8	1160	164	23.1	0.8	1172	167	23.5	0.8	1184	170	23.9	0.8	1073	153	21.6	0.8	1073	153	21.6	0.8	1073	153	21.6	0.8
P2	15W	T3M	1515	202	30.3	0.8	1527	205	30.7	0.8	1539	208	31.1	0.8	1551	211	31.5	0.8	1440	162	26.7	0.8	1440	162	26.7	0.8	1440	162	26.7	0.8
			1526	204	30.6	0.8	1538	207	31.0	0.8	1550	210	31.4	0.8	1562	213	31.8	0.8	1451	164	27.0	0.8	1451	164	27.0	0.8	1451	164	27.0	0.8
			1537	206	30.9	0.8	1549	209	31.3	0.8	1561	212	31.7	0.8	1573	215	32.1	0.8	1462	166	27.3	0.8	1462	166	27.3	0.8	1462	166	27.3	0.8
			1548	208	31.2	0.8	1560	211	31.6	0.8	1572	214	32.0	0.8	1584	217	32.4	0.8	1473	168	27.6	0.8	1473	168	27.6	0.8	1473	168	27.6	0.8
P3	21W	T3M	2115	287	42.9	0.8	2127	290	43.3	0.8	2139	293	43.7	0.8	2151	296	44.1	0.8	2040	227	35.3	0.8	2040	227	35.3	0.8	2040	227	35.3	0.8
			2126	289	43.2	0.8	2138	292	43.6	0.8	2150	295	44.0	0.8	2162	298	44.4	0.8	2051	229	35.6	0.8	2051	229	35.6	0.8	2051	229	35.6	0.8
			2137	291	43.5	0.8	2149	294	44.0	0.8	2161	297	44.4	0.8	2173	300	44.8	0.8	2062	231	35.9	0.8	2062	231	35.9	0.8	2062	231	35.9	0.8
			2148	293	43.8	0.8	2160	296	44.3	0.8	2172	299	44.7	0.8	2184	302	45.1	0.8	2073	233	36.2	0.8	2073	233	36.2	0.8	2073	233	36.2	0.8
P4	47W	T3M	4715	631	13.4	0.8	4727	634	13.4	0.8	4739	637	13.4	0.8	4751	640	13.4	0.8	4640	316	6.7	0.8	4640	316	6.7	0.8	4640	316	6.7	0.8
			4726	633	13.4	0.8	4738	636	13.4	0.8	4750	639	13.4	0.8	4762	642	13.4	0.8	4651	318	6.7	0.8	4651	318	6.7	0.8	4651	318	6.7	0.8
			4737	635	13.4	0.8	4749	638	13.4	0.8	4761	641	13.4	0.8	4773	644	13.4	0.8	4662	320	6.7	0.8	4662	320	6.7	0.8	4662	320	6.7	0.8
			4748	637	13.4	0.8	4760	640	13.4	0.8	4772	643	13.4	0.8	4784	646	13.4	0.8	4673	322	6.7	0.8	4673	322	6.7	0.8	4673	322	6.7	0.8

**Emergency Egress Options**

**Emergency Battery Backup**  
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC — section 700.16, NFPA 101 Life Safety Code Section 7.9

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WDGE2 LED Rev. 11/21/22

**Electrical Load**

Performance Factor	System Watts	2700K	3000K	4000K	5000K	347V	400V



### D-Series Size 1 LED Area Luminaire

**Specifications:**  
 Efficacy: 120 lm/W  
 Length: 32.1" (816 mm)  
 Width: 14.2" (361 mm)  
 Height: 7.8" (198 mm)  
 Height H2: 2.7" (69 mm)  
 Weight: 34 lbs (15 kg)

**Introduction:**  
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance listed in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

#### Ordering Information

**EXAMPLE: DSX1 LED P7 40K 70CR1 3TM MVOLT S3A NLAIR2 PIRHN DDXX**

Series	SKU	Color Temperature	LED Technology	Beam Spread	TM	PM	PMVOLT	SHIELD	PIRHN	DDXX
DSX1 LED	P7	40K	70CR1	3TM	3TM	3TM	S3A	NLAIR2	PIRHN	DDXX

Series	SKU	Color Temperature	LED Technology	Beam Spread	TM	PM	PMVOLT	SHIELD	PIRHN	DDXX
DSX1 LED	P7	40K	70CR1	3TM	3TM	3TM	S3A	NLAIR2	PIRHN	DDXX

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#### Performance Data

##### Lumen Output

Lumen output is from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Site Name	Performance Package	Series Code	Distribution Code	Site Code											
					100	110	120	130	140	150	160	170	180	190	200	210
SI	120	P	120R	120R	100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210

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#### Ordering Information

##### Accessories

Shield Accessories

External Glare Shield (EGS)  
 House Side Shield (HS)

Drilling

HANDLE ORIENTATION

Top of Pole

#### Tanon Mounting Slipfitter

Slipfitter Size	Slipfitter Length	Slipfitter Width	Slipfitter Height	Slipfitter Weight
1.5"	1.5"	1.5"	1.5"	1.5"
2.0"	2.0"	2.0"	2.0"	2.0"
2.5"	2.5"	2.5"	2.5"	2.5"
3.0"	3.0"	3.0"	3.0"	3.0"
3.5"	3.5"	3.5"	3.5"	3.5"
4.0"	4.0"	4.0"	4.0"	4.0"

#### DSX1 Area Luminaire - EPA

Series	SKU	Color Temperature	LED Technology	Beam Spread	TM	PM	PMVOLT	SHIELD	PIRHN	DDXX
DSX1 LED	P7	40K	70CR1	3TM	3TM	3TM	S3A	NLAIR2	PIRHN	DDXX

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#### Performance Data

##### Lumen Output

Lumen output is from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Site Name	Performance Package	Series Code	Distribution Code	Site Code											
					100	110	120	130	140	150	160	170	180	190	200	210
SI	120	P	120R	120R	100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210

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#### Photometric Diagrams

Photometric diagrams showing beam spread and light distribution for various configurations.

#### Performance Data

##### Lumen Output

Lumen output is from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Site Name	Performance Package	Series Code	Distribution Code	Site Code											
					100	110	120	130	140	150	160	170	180	190	200	210
SI	120	P	120R	120R	100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210

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#### Performance Data

##### Lumen Output

Lumen output is from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Site Name	Performance Package	Series Code	Distribution Code	Site Code											
					100	110	120	130	140	150	160	170	180	190	200	210
SI	120	P	120R	120R	100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210
					100	110	120	130	140	150	160	170	180	190	200	210

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#### Performance Data

##### Lumen Ambient Temperature (LAT) Multipliers

Temperature (°F)	Multiplier
50	1.00
60	0.95
70	0.90
80	0.85
90	0.80
100	0.75
110	0.70
120	0.65
130	0.60
140	0.55
150	0.50
160	0.45
170	0.40
180	0.35
190	0.30
200	0.25
210	0.20
220	0.15
230	0.10
240	0.05
250	0.00

#### Performance Data

##### Projected LED Lumen Maintenance

Time (Hours)	Lumen Maintenance (%)
1000	95
2000	90
3000	85
4000	80
5000	75
6000	70
7000	65
8000	60
9000	55
10000	50

#### Performance Data

##### FAO Dimming Settings

Dimming Level	Power Factor	THD (%)	Efficiency (%)
100%	0.95	15	95
75%	0.95	15	95
50%	0.95	15	95
25%	0.95	15	95
10%	0.95	15	95

#### Performance Data

##### Motion Sensor Default Settings

Setting	Value
On/Off	On
Delay	30s
Light Level	100 lux
Temperature	65°F
Sound	75 dB
Range	30m
Beam	10m

#### Performance Data

##### Controls Options

Option	Description	Availability	Notes
0	Standard	Available	
1	0-10V	Available	
2	1-10V	Available	
3	0-10V with DALI	Available	
4	0-10V with DALI and DALI-2	Available	
5	0-10V with DALI and DALI-2 and DALI-2	Available	
6	0-10V with DALI and DALI-2 and DALI-2 and DALI-2	Available	
7	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
8	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
9	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
10	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
11	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
12	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
13	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
14	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
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16	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
17	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
18	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
19	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
20	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
21	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2	Available	
22	0-10V with DALI and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-2 and DALI-		





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 14, 2023  
**APPLICANT:** Dan Whalen II; *BradStone Design Group*  
**CASE NUMBER:** SP2023-007; *Site Plan for the McKinney Building*

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### **SUMMARY**

Discuss and consider a request by Dan Whalen II of BradStone Design Group on behalf of John McKinney and Michael Daul of M & J Ranch Trail Holdings, LLC for the approval of a Site Plan for an *office building* on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any action necessary.

### **BACKGROUND**

On October 25, 1962, a final plat was filed with Rockwall County that establish the subject property as Lot 18 and the south portion of Lot 19, of the Rainbo Acres Addition. The subject property was annexed into the City of Rockwall on May 17, 2004 [Case No. A2004-001] by Ordinance No. 04-34. At the time of annexation the subject property was zoned Agricultural (AG) District. On December 2, 2013, the City Council approved a rezoning request [Case No. Z2013-030] for the subject property changing the zoning from an Agricultural (AG) District to a Commercial (C) District. The Planning and Zoning Commission has previously approved two (2) site plans [Case No. SP2019-003 & SP2019-043], however the subject property has remained vacant since the time of annexation.

### **PURPOSE**

On February 17, 2023, the applicant -- *Dan Whalen II of BradStone Design Group* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office Building* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located at the southeast corner of County Line Road and Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Lake Rockwall Estates residential subdivision, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property are several parcels of land that make up the remainder of the Rainbo Acres Subdivision. These properties are developed with a range of commercial land uses (*i.e. Office, Mini-Warehouse, Retail/Showroom*) and are zoned Commercial (C) District. Beyond this is Horizon Road, which is classified as a TXDOT4D (*i.e. a Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 131.39-acre tract of land (*i.e. Tract 43-01, of the W. W. Ford Survey, Abstract No. 80*) zoned Agricultural (AG) District.



West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.203-acre parcel of land (i.e. Lot 1, Block A, Maverick Ranch Addition) developed with two (2) commercial buildings. Following this are several tracts of land (i.e. Tracts 20 – 20-02, 20-01 - 20-07, & 26-1 - 26-6, of the W. W. Ford Survey, Abstract No. 80) developed with a range of commercial land uses (i.e. Sports Arena, Office, Mini-Warehouse, Retail). All of these properties are zoned Commercial (C) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* is a permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=1.798-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 216-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=361-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=27-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=16.7%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (44 Required)	X=78; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=30.4%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=69.6%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates a total of 31 Eastern Red Cedars greater than eight (8) feet in height are to be removed from the site. Given this, the required tree mitigation for this site equals 124-caliper inches (i.e. 31 Eastern Red Cedars x 4 caliper inches of mitigation = 124 caliper inches). The applicant is providing approximately 136-caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

**CONFORMANCE WITH THE CITY’S CODES**

The applicant is requesting to construct an *Office Building* on the subject property. According to Subsection 02.02(C)(9), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “facility that provides executive, management, administrative, or professional services...but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the applicant’s request for the *Office Building* is permitted by right.

The subject property is not located within an Overlay District and is therefore only subject to the *General Commercial District Standards*. Given this, the proposed *Office Building* is not subject to any building material requirements. That being said, the applicant has provided building elevations that include 55%-70% masonry material. The use of masonry material is *like-in-kind* with the new development along Ranch Trail. Currently this area is designated as a *Transitional Area* per the OURHometown Vision 2040 Comprehensive Plan. This *Transitional Area* should be transitioning “from interim land uses and building types to more permanent structures with conforming land uses.” In this case, the applicant is providing a permanent structure, a conforming land use, and incorporating building materials that are similar to recent development along Ranch Trail. The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the *Exception* being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.



## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exception:

(1) Building Articulation.

- (a) Secondary Building Facades. According to Subsection 04.01. (C)(2), of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the wall length requirement is not met on the south side of the building. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] increased landscaped area, [2] increased open space, [3] provided four (4) sided architecture, and [4] increased architectural elements. Compensatory measures 1-3 go beyond what the code requires for the property. Compensatory measure 1 provides 68.5% landscaped area along Ranch Trail, where only 50% of Ranch Trail is required. In addition, the applicant is proposing 37.3% of the total site be landscaped. The minimum for the Commercial (C) District is 20.00%. The applicant has also incorporated four (4) sided architecture, which is a requirement only within the *General Overlay District Standards*. The applicant's variance letter indicates that the increased architectural elements are shown as increased depth to the roof overhangs and entry porticos "...to provide additional interest and depth to the building facades." Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Southwest Residential District. The Southwest Residential District "...contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses...and commercial land uses." *Strategy #3* in the Southwest Residential District indicates Ranch Trail and the subject property as a *Transitional Area*. The Transitional Area is described as "currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, the proposed *Office Building* is a permanent structure and a conforming land use. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On February 28, 2023 the Architecture Review Board reviewed the building elevations provided by the applicant and approved a motion to recommend approval by a vote of 6-0, with Board Member Miller absent.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.



- (2) The applicant must provide staff a Photometric Plan that addresses all of staff's comments before Engineering/Civils Plans are submitted.
  
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 405 Ranch Trail

SUBDIVISION Rainbo Acres

LOT 18 BLOCK

GENERAL LOCATION 600 feet south from the intersection of County Line Road and Ranch Trail

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C Commercial

CURRENT USE Vacant Property

PROPOSED ZONING C Commercial

PROPOSED USE Office Building

ACREAGE 1.798

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER M&J Ranch Trail Holdings, LLC

APPLICANT BroadStone Design Group

CONTACT PERSON John McKinney / Michael Daul

CONTACT PERSON Dan Whalen II

ADDRESS 315 Ranch Trail

ADDRESS 401 Pinson Road

CITY, STATE & ZIP Rockwall, TX 75023

CITY, STATE & ZIP Forney, TX 75126

PHONE (214) 304-2979

PHONE (214) 295-5280

E-MAIL JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

E-MAIL DWHALEN@BROADSTONEDG.COM

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

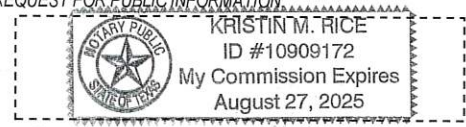
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

OWNER'S SIGNATURE

*John McKinney*

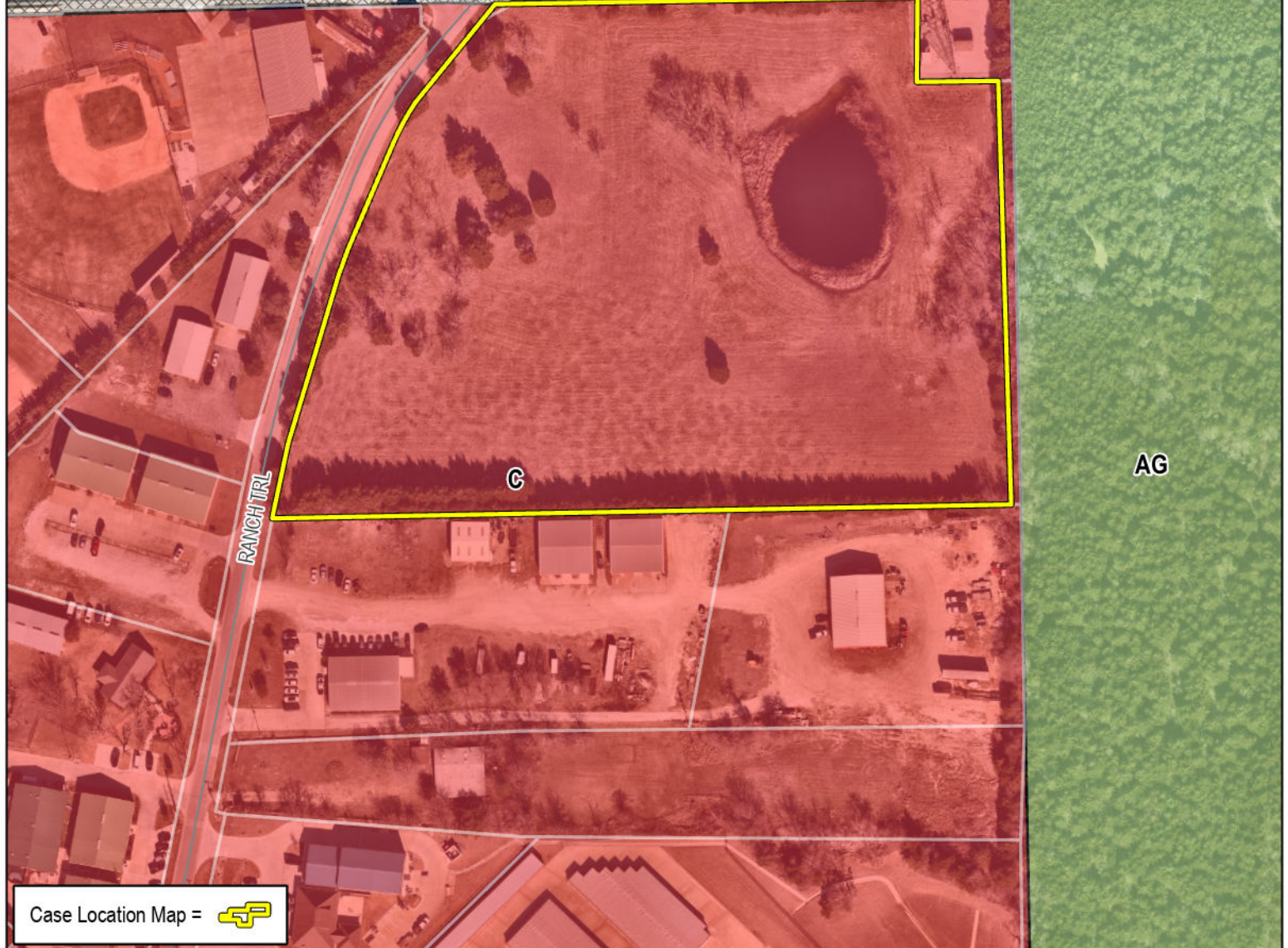
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



MY COMMISSION EXPIRES





Case Location Map = 



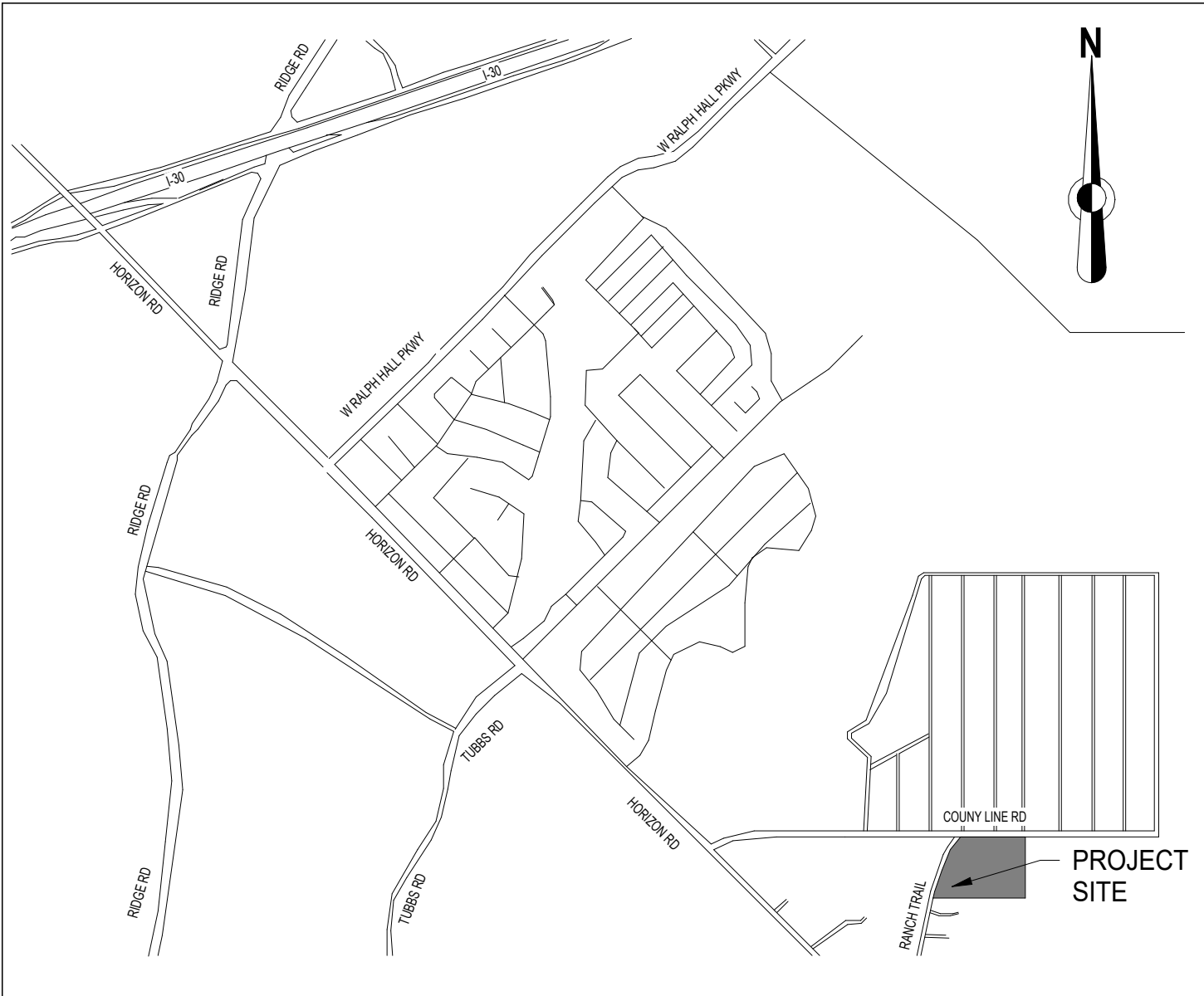
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





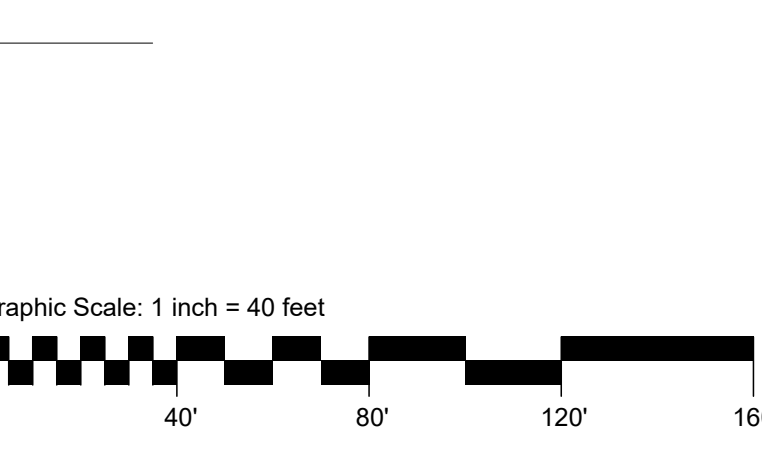
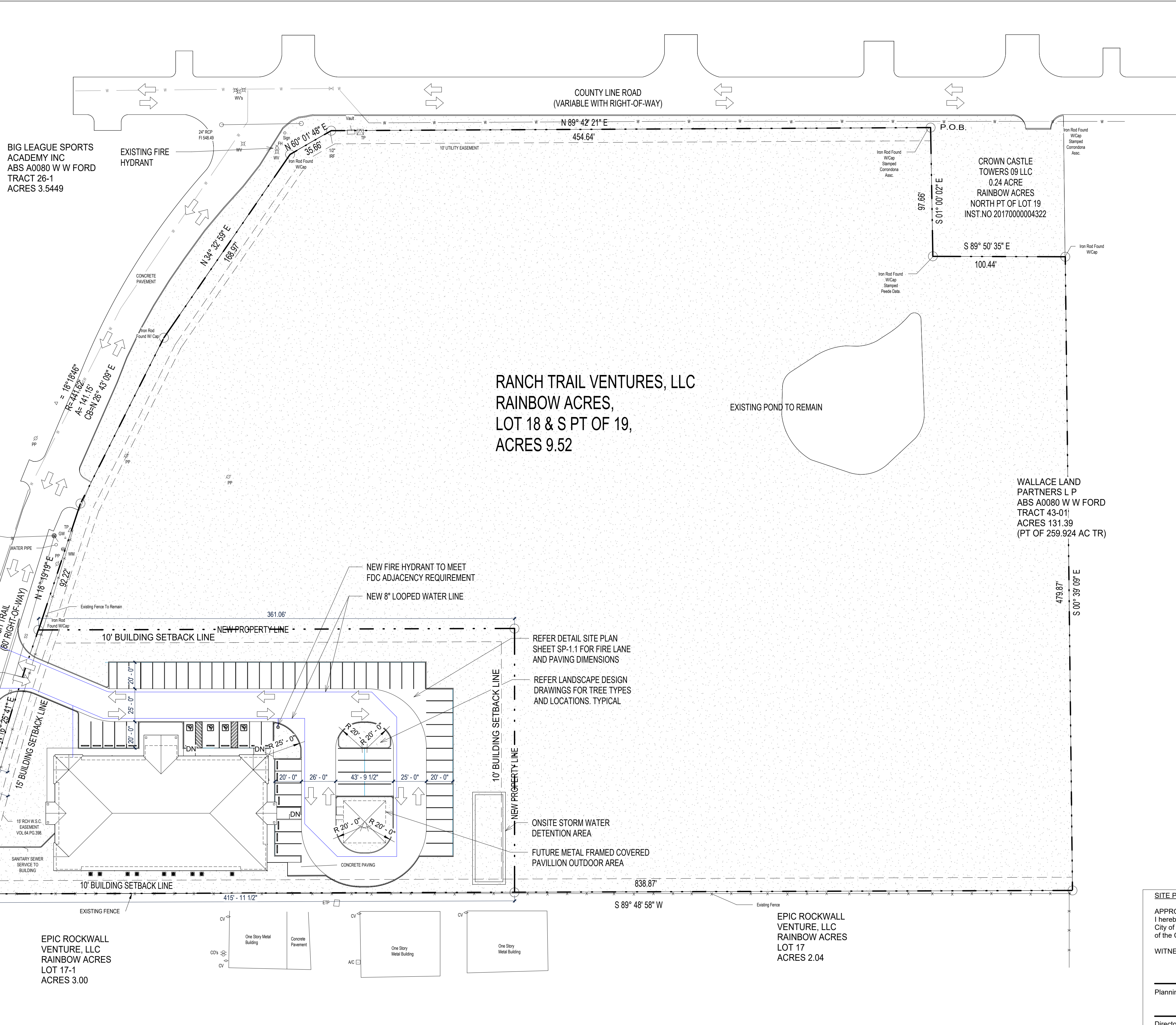


**LEGEND**

IRF	Iron Rod Found
IRS	Iron Rod Set
PP	Power Pole
GW	Gas Valve
FH	Fire Hydrant
WV	Water Valve
WM	Water Meter
SSMH	Sanitary Sewer Manhole
STRMH	Storm Sewer Manhole
TMH	Telephone Manhole
EMH	Electrical Manhole
GMH	Gas Manhole
AC	Air Conditioner
TP	Telephone Pedestal
EM	Electric Meter
GM	Gas Meter
EW	Electric Box
LP	Light Pole
MB	Mailbox
TV	Cable Television Box
CV	Control Valve
FP	Flag Pole
CO	Chain Out
GL	Ground Light
SP	Signal Pole
TSS	Traffic Signal Box
TB	Telephone Box
GV	Gas Valve
WMH	Water Manhole
MW	Monitoring Well
DRRECT	Deed Records Rockwall County, Texas

C2L LLC  
MAVERICK RANCH  
BLOCK A, LOT 1  
ACRES 1.203

CPIV-354 RANCH  
TRAIL LLC  
MAVERICK RANCH  
BLOCK A, LOT 2  
ACRES 1.360



**SITE PLAN SIGNATURE BLOCK**

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning & Zoning

**ARCHITECT:**  
EVERGREEN DESIGN GROUP  
401 PINSON ROAD  
FORNEY, TX 75126  
DAN WHALEN II  
(214) 295-5280  
DWHALEN@ELDENGEERING.COM

**LANDSCAPE ARCHITECT:**  
EVERGREEN DESIGN GROUP  
15455 DALLAS PKWY, STE 600  
ADDISON, TX 75001  
ERIC SHEPLEY  
(800) 680-6630 X 11  
ERIC@EVERGREENDESIGNGROUP.COM

**CIVIL ENGINEER:**  
ERIC L. DAVIS ENGINEERING, INC.  
401 PINSON ROAD  
FORNEY, TX 75126  
MITCH LENAMOND  
(972) 564-0592  
MLENAMOND@ELDENGEERING.COM

**MEP ENGINEER:**  
APE ENGINEERING  
1340 DOVE DRIVE  
MIDLOTHIAN, TX 76065  
RUSSELL LAQUEY  
(972) 351-7550  
RUSLAQUEY@YAHOO.COM

**OWNER:**  
M & J RANCH TRAIL HOLDINGS, LLC.  
315 RANCH TRAIL  
ROCKWALL, TX 75023  
JOHN MCKINNEY / MICHAEL DAUL  
(214) 304-2979  
JMCKINNEY@SNAPMGA.COM  
MDAUL@SNAPMGA.COM

**REGISTERED ARCHITECT**  
ERIC L. DAVIS  
STATE OF TEXAS  
19972  
03-08-2023

**BROADSTONE DESIGN**

**BSDG**  
401 Pinson Road  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**Eric L. Davis Engineering, Inc.**  
401 Pinson Road  
Forney, TX 75126  
972.564.0592  
www.eldengineering.com

**SITE PLAN - OVERALL**

**MCKINNEY BUILDING**  
365 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & S PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

SP-1.0  
CASE NUMBER: SP2023-007  
03-08-2023



# PROJECT SITE PLAN DATA

**GENERAL**  
 EXISTING USE: VACANT PROPERTY  
 PROPOSED USE: OFFICE BUILDING  
 EXISTING ZONING DISTRICT: C COMMERCIAL  
 PROPOSED ZONING DISTRICT: C COMMERCIAL  
 APPLICABLE ZONING OVERLAYS: N/A  
 ROCKWALL COUNTY APPRAISAL DISTRICT  
 ACCOUNT NUMBER: 87534

**OVERALL SITE**  
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES  
 SITE FRONTAGE: 216 FT  
 SITE WIDTH: 200 FEET  
 SITE DEPTH: VARIES 361 FEET TO 416 FEET  
 IMPERVIOUS SURFACE AREA: 45,529 SF  
 PERVIOUS SURFACE AREA: 32,777 SF

**BUILDING**  
 TOTAL GROSS INTENSITY (FAR): 0.16: 1  
 TOTAL SQUARE FOOTAGE: 13,080 SF  
 COMMERCIAL (SF): 13,080 SF  
 INDUSTRIAL (SF): N/A  
 OTHER (SF): N/A

**PROPERTY DEVELOPMENT REGULATIONS**  
 MAXIMUM BUILDING COVERAGE PERMITTED: 60%  
 MAXIMUM BUILDING COVERAGE PROPOSED: 16.7%  
 MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF  
 MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET  
 MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

**SETBACKS (REQUIRED & PROPOSED):**  
 FRONT SETBACK: 15 FEET / 42'-5"  
 SIDE SETBACK: 10 FEET / 18'-5" SOUTH & 96'-7" NORTH  
 REAR SETBACK: 10 FEET / 188'-8"  
 MAX STRUCTURE HEIGHT PERMITTED: 60 FEET  
 MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

## FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

## PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE  
 OFFICE AREA: 13,080 SF

REQUIRED PARKING: 44  
 PROVIDED PARKING: 70

REQUIRED ADA PARKING: 4  
 PROVIDED ADA PARKING: 4

PARKING SPACE: 9' X 20'  
 ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE  
 ADA STANDARD: 9' X 20'

### SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13516 SF
GROSS PARKING AREA	IMPERVIOUS	28840 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	939 SF
SIDEWALK	IMPERVIOUS	932 SF
SIDEWALK	IMPERVIOUS	339 SF
SIDEWALK	IMPERVIOUS	62 SF
IMPERVIOUS		45529 SF

LANDSCAPE (GENERAL)	PERVIOUS	29218 SF
LANDSCAPE BUFFER	PERVIOUS	1582 SF
LANDSCAPE BUFFER	PERVIOUS	219 SF
INTERIOR LANDSCAPE	PERVIOUS	435 SF
INTERIOR LANDSCAPE	PERVIOUS	692 SF
INTERIOR LANDSCAPE	PERVIOUS	631 SF
PERVIOUS		32777 SF
Grand Total		78366 SF

### SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning & Zoning

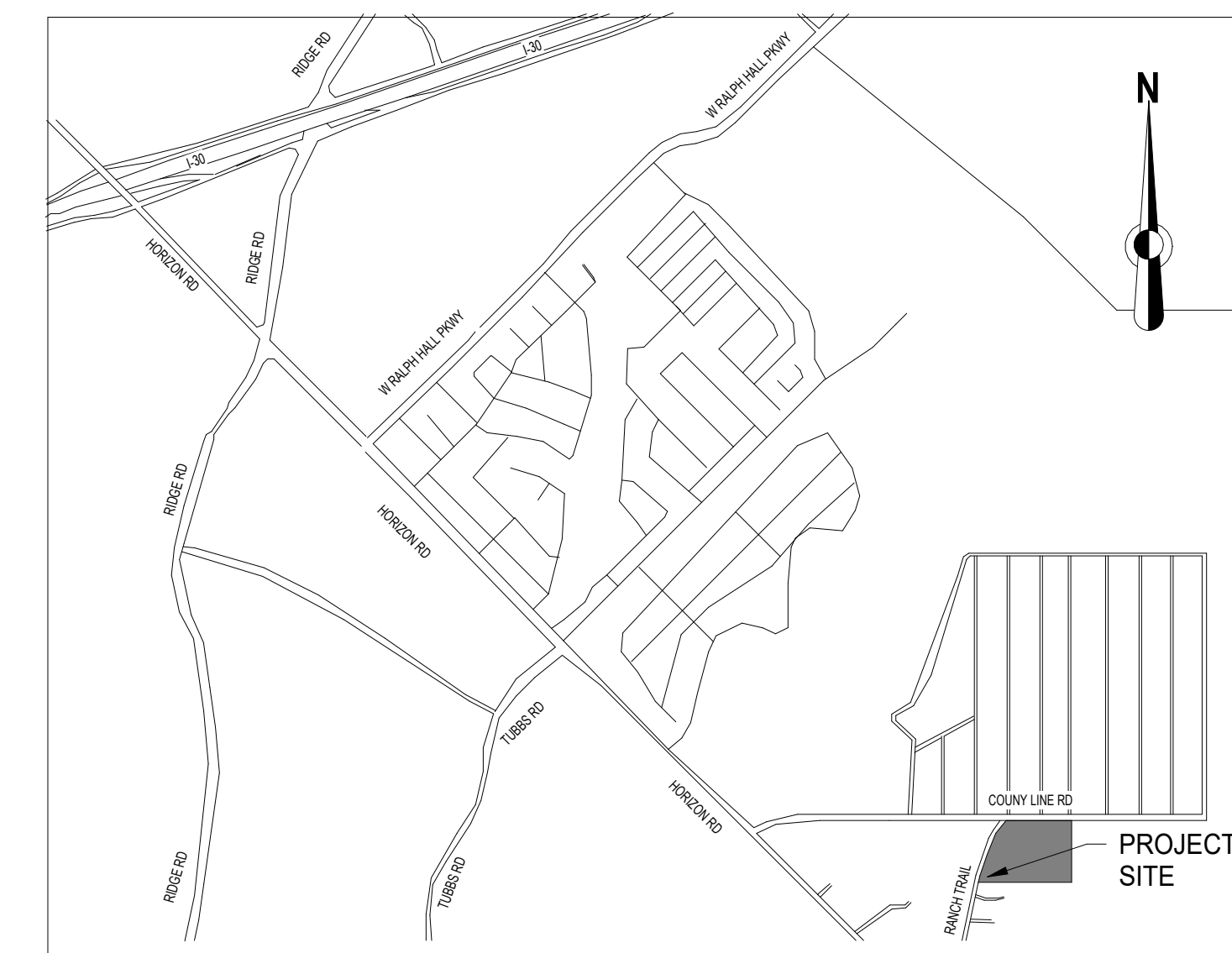
## SITE PLAN - DETAIL

**MCKINNEY BUILDING**  
 365 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

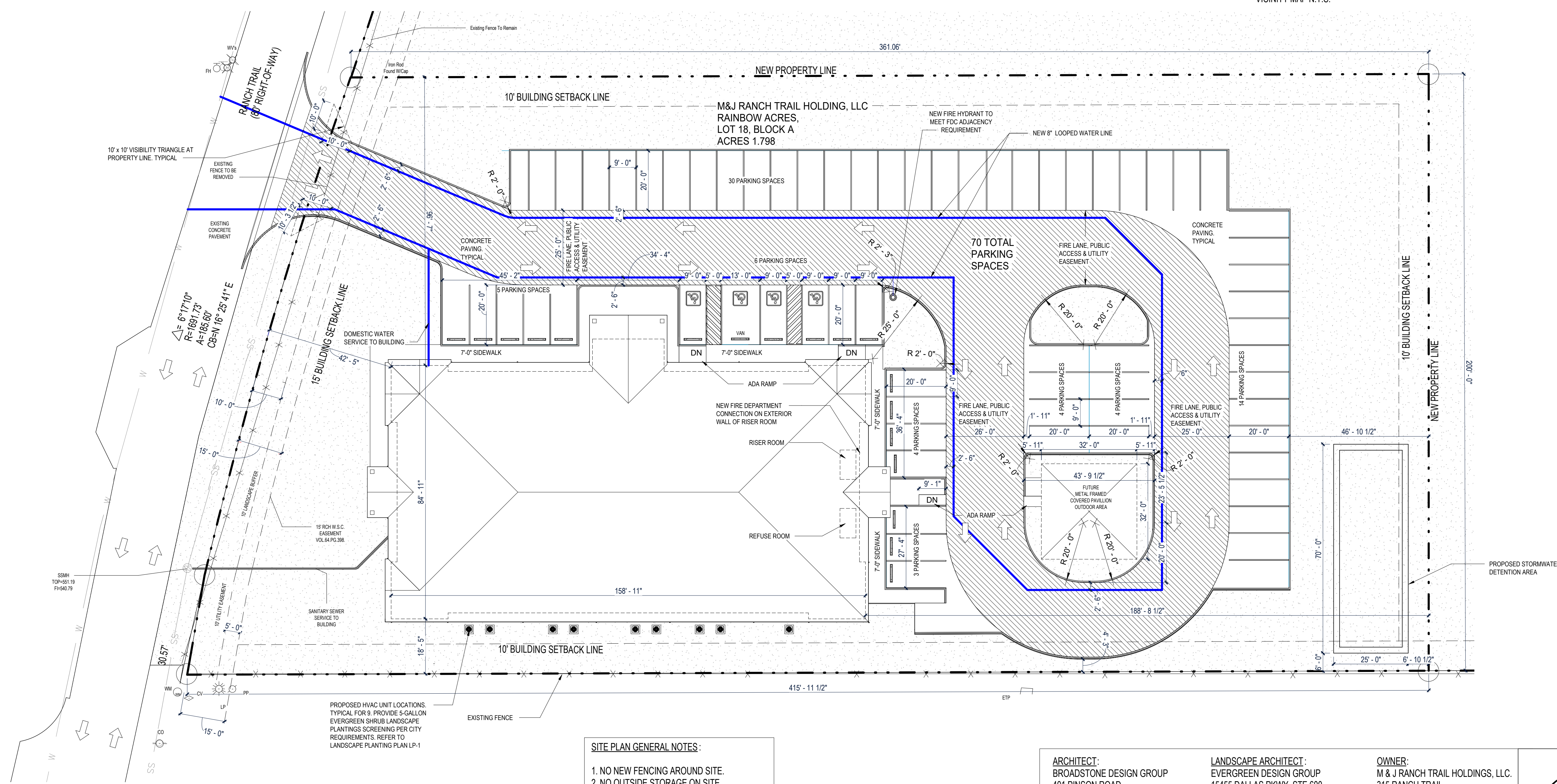
SP-1.1

CASE NUMBER: SP2023-007

03-08-2023



VICINITY MAP N.T.S.



- SITE PLAN GENERAL NOTES:**
1. NO NEW FENCING AROUND SITE.
  2. NO OUTSIDE STORAGE ON SITE.
  3. TRASH RECEPTACLES SHALL BE ROLL-OUT DOLLY CARTS STORED INSIDE REFUSE ROOM. DUMPSTER NOT REQUIRED.

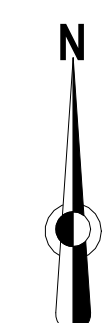
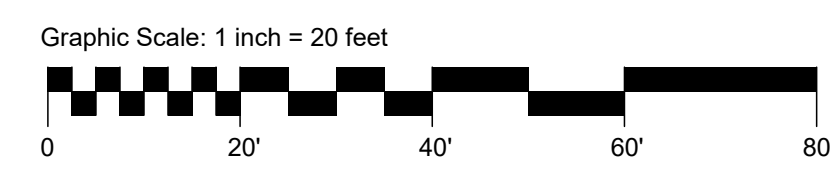
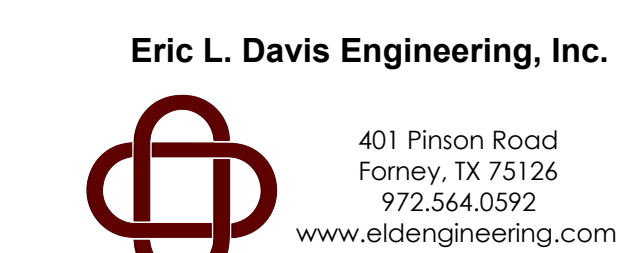
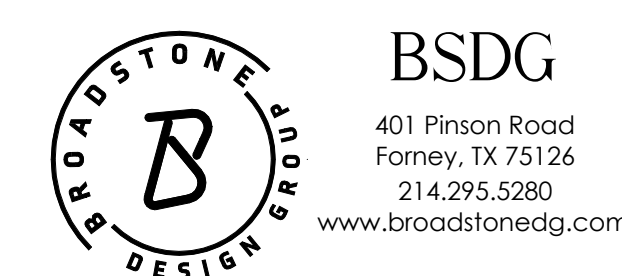
**ARCHITECT:**  
 BROADSTONE DESIGN GROUP  
 401 PINSON ROAD  
 FORNEY, TX 75126  
 DAN WHALEN II  
 (214) 295-5280  
 DWHALEN@ELDENGEINER.COM

**LANDSCAPE ARCHITECT:**  
 EVERGREEN DESIGN GROUP  
 15455 DALLAS PKWY, STE 600  
 ADDISON, TX 75001  
 ERIC SHEPLEY  
 (800) 680-6630 X 11  
 ERIC@EVERGREENDESIGNGROUP.COM

**OWNER:**  
 M & J RANCH TRAIL HOLDINGS, LLC.  
 315 RANCH TRAIL  
 ROCKWALL, TX 75023  
 JOHN MCKINNEY / MICHAEL DAUL  
 (214) 304-2979  
 JMCINNEY@SNAPMGA.COM  
 MDAUL@SNAPMGA.COM

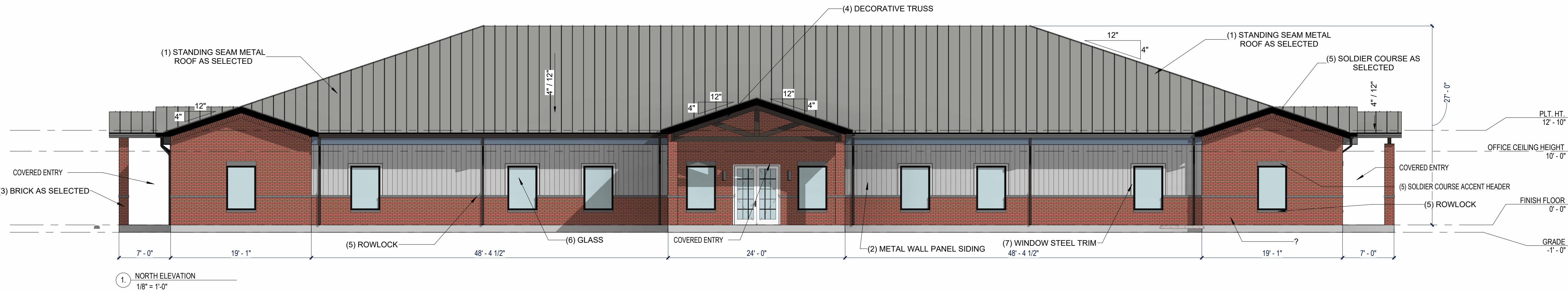
**CIVIL ENGINEER:**  
 ERIC L. DAVIS ENGINEERING, INC.  
 401 PINSON ROAD  
 FORNEY, TX 75126  
 MITCH LENAMOND  
 (972) 564-0592  
 MLENAMOND@ELDENGEINER.COM

**MEP ENGINEER:**  
 APE ENGINEERING  
 1340 DOVE DRIVE  
 MIDLOTHIAN, TX 76065  
 RUSSELL LAQUEY  
 (872) 351-7550  
 RUSLAQUEY@YAHOO.COM



I:\0.0.1.2023\G:\Shares\Arch\Jobs\John\_McKinney\18 & 5 Ranch Trail\2023\ARC22-0022\03-CD IN PROGRESS\ARC22-0022-McKinney\_Rockwall\_REVISED SITE PLAN 03-09-23.rvt

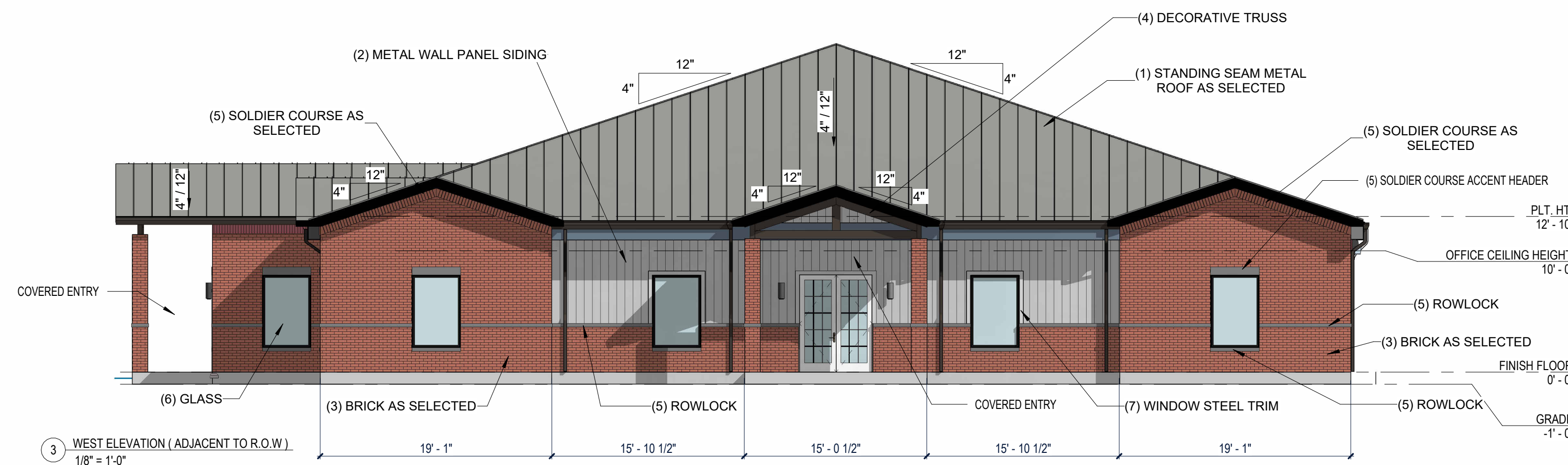




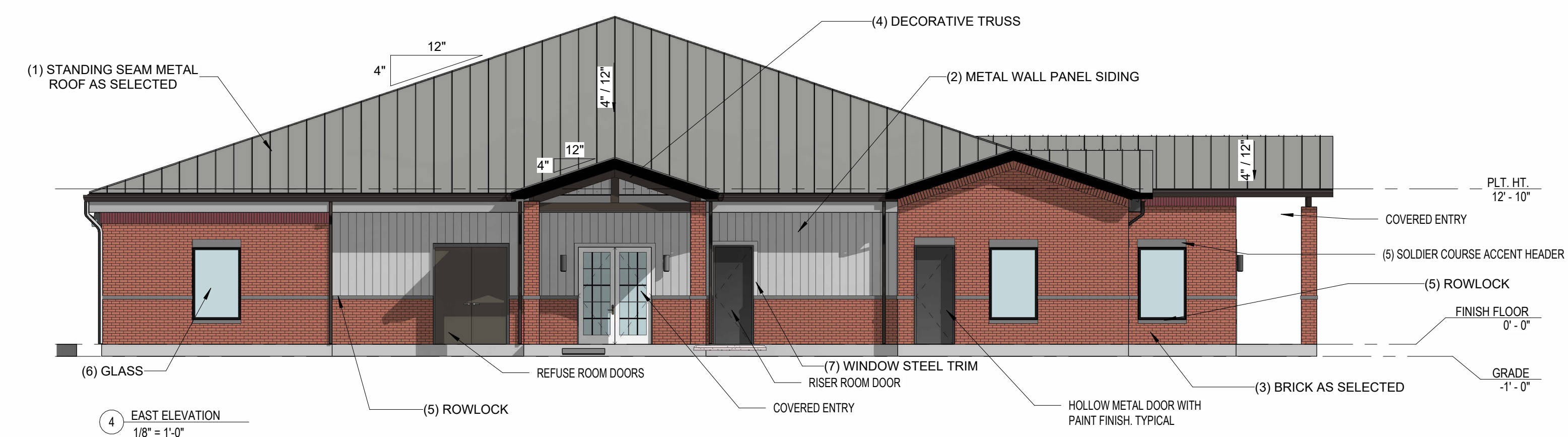
MATERIAL INFORMATION - NORTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	1394 SF	66%
(MC) Metal Siding	707 SF	34%
	2101 SF	100%



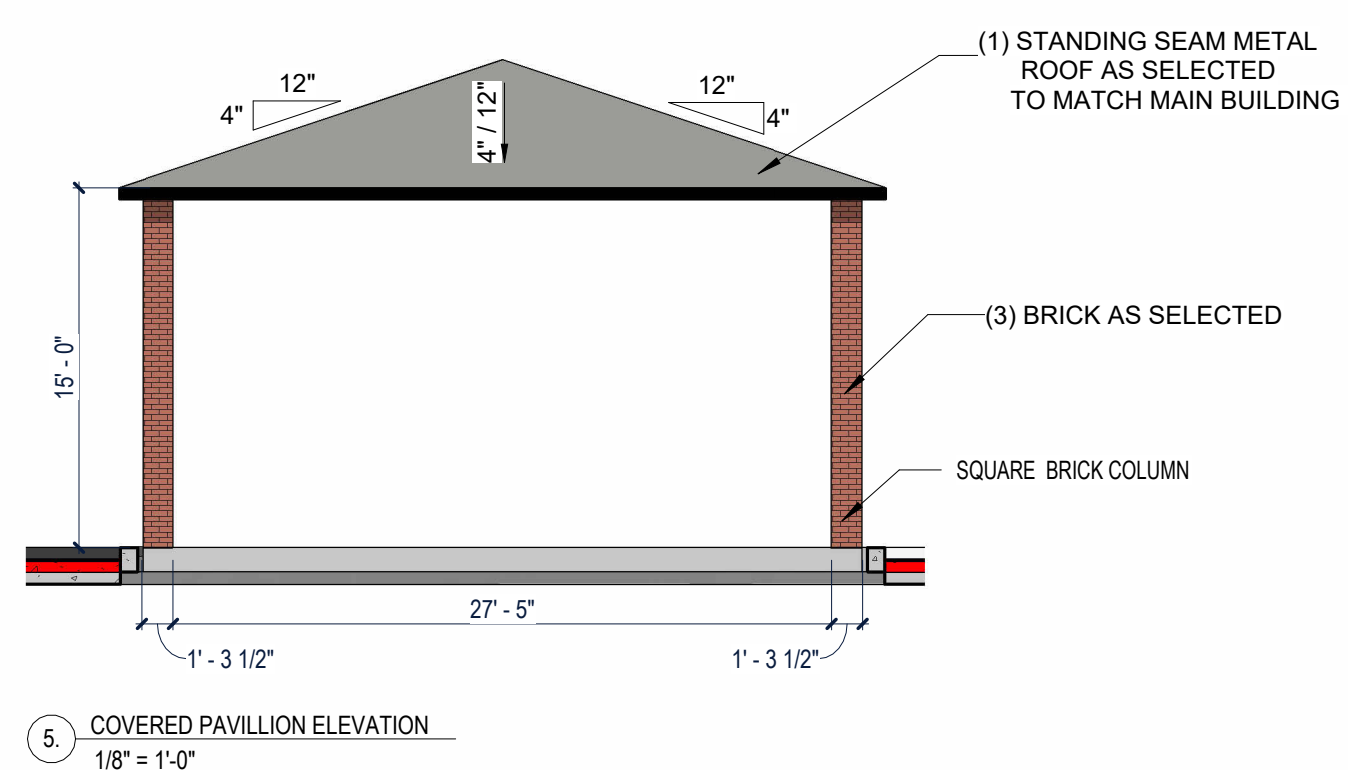
MATERIAL INFORMATION - SOUTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	918 SF	55%
(MC) Metal Siding	738 SF	45%
Grand total: 6	1656 SF	100%



MATERIAL INFORMATION - WEST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	743 SF	70%
(MC) Metal Siding	322 SF	30%
	1064 SF	100%



MATERIAL INFORMATION - EAST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	669 SF	68%
(MC) Metal Siding	310 SF	32%
	980 SF	100%



FACADE FINISH MATERIALS SCHEDULE				
ID	TYPE	MANUFACTURER	MODEL	COLOR
1	STANDING SEAM METAL ROOF	BERRIDGE	ZEE-LOCK	ZINC GREY
2	METAL WALL PANEL	BERRIDGE	FW-12	PARCHMENT
3	BRICK	ACME	DTP157	ROXBURY
4	DECORATIVE TRUSS	-	-	CHARCOAL GREY
5	ACCENT BRICK	ACME	DTP157	ROXBURY
6	GLASS	VITRO	SOLARBAN 60 (2)	SOLARBLUE
7	WINDOW TRIM	-	-	CHARCOAL GREY

**ARCHITECT:**  
 BROADSTONE DESIGN GROUP  
 401 PINSON ROAD  
 FORNEY, TX 75126  
 (214) 295-5280  
 DWHALEN@ELDENGEERING.COM

**LANDSCAPE ARCHITECT:**  
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**BROADSTONE DESIGN**  
 BSDG  
 401 Pinson Road  
 Forney, TX 75126  
 214.295.5280  
 www.broadstongedg.com

**Eric L. Davis Engineering, Inc.**  
 401 Pinson Road  
 Forney, TX 75126  
 972.564.0592  
 www.eldengineering.com

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning & Zoning

**BUILDING ELEVATIONS**

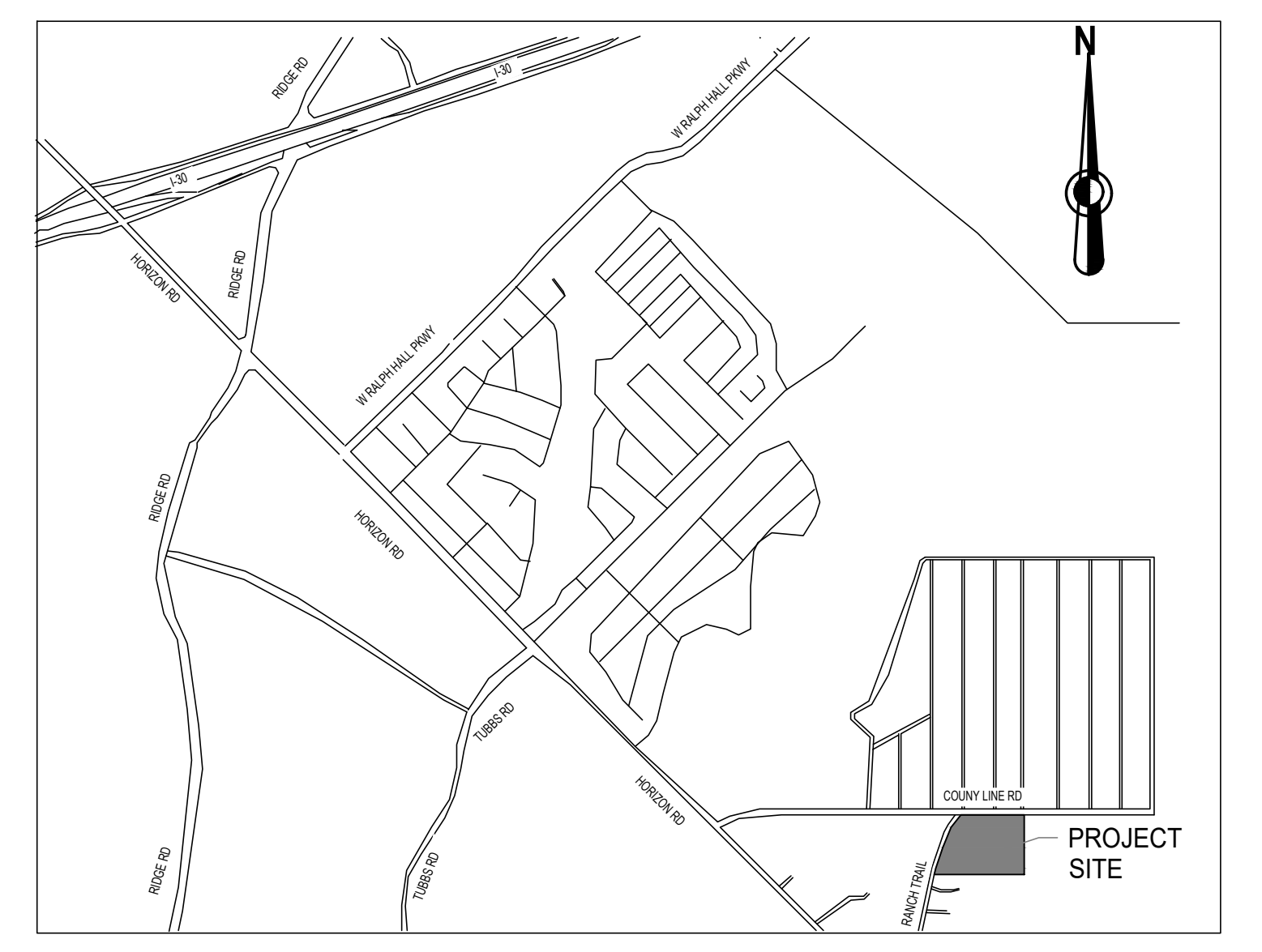
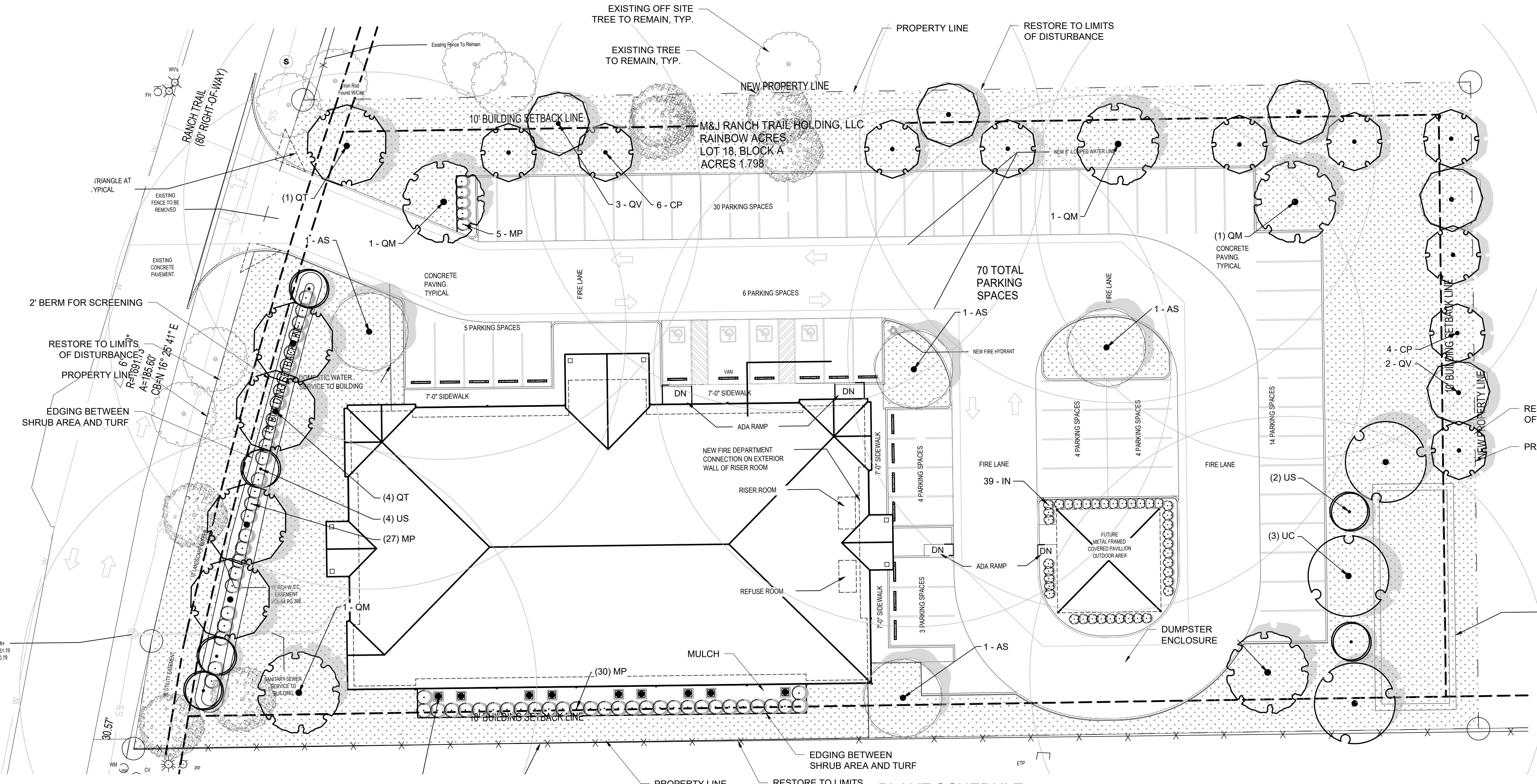
**McKINNEY BUILDING**  
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 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & S PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

SP-1.2

CASE NUMBER: SP2023-007

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LANDSCAPE STANDARDS	
<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
<b>RANCH TRAIL:</b> ±207' STREET FRONTAGE REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS	5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b> TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±78,309 SF 15,661 SF (20%) ± 29,218 SF (37.3%)
<b>LOCATION OF LANDSCAPING:</b>	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE. 15,661 x 50% = 7,830 SF
<b>LANDSCAPE AREAS IN FRONT &amp; SIDES OF BUILDINGS:</b>	10,738 SF (68.5.1%)
<b>MIN. SIZE OF AREAS</b>	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
<b>DETENTION BASIN:</b>	ONE (1) CANOPY TREE PER 750 SF ONE (1) ACCENT TREE PER 1,500 SF 1,750 SF
<b>PROPOSED DETENTION BASIN:</b> CANOPY TREES PROVIDED: CANOPY TREES REQUIRED: ACCENT TREES PROVIDED: ACCENT TREES REQUIRED:	1,750 SF / 750 = 3 CANOPY TREES 3 TREES 1,750 SF / 1,500 = 2 ACCENT TREES 2 TREES
<b>PARKING LOT LANDSCAPING</b>	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA. ±28,840 SF
<b>PROPOSED PARKING AREA:</b> REQ. PARKING AREA LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±1,571 SF (5.4%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK 70 SPACES 7 TREES (1 PER 10 SPACES) 7 TREES
<b>PARKING SPACES:</b> TREES REQUIRED: TREES PROVIDED:	70 SPACES 7 TREES (1 PER 10 SPACES) 7 TREES

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**IRRIGATION CONCEPT**

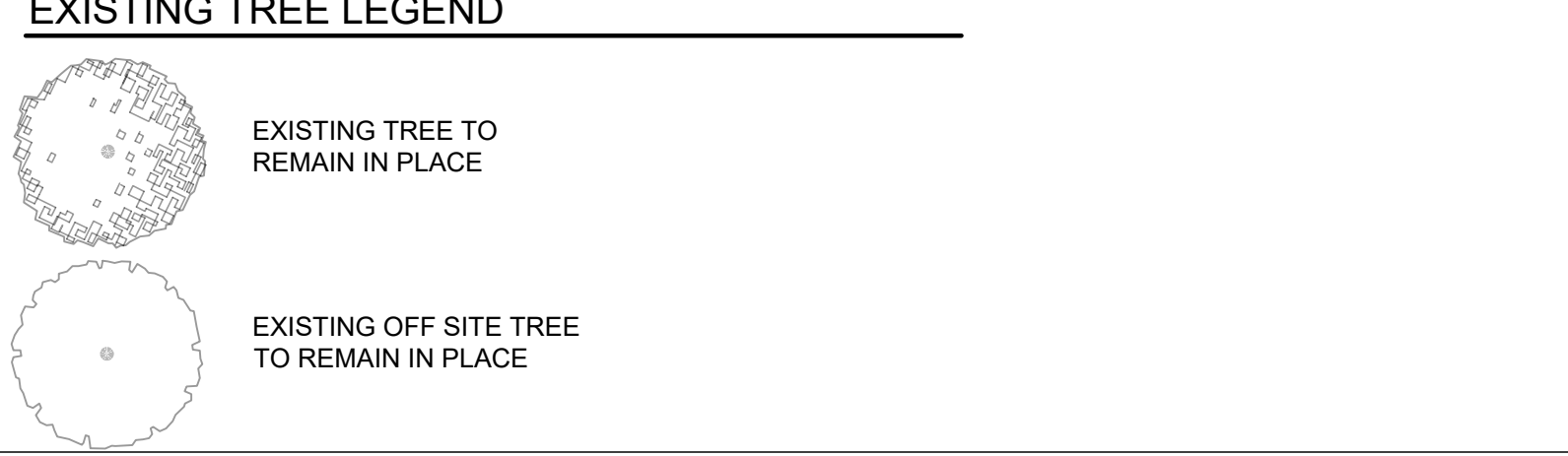
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.  
b. CONSTRUCT AND MAINTAIN FINISH GRADIES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.  
c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADIES TO BE ESTABLISHED.  
d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.  
f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).  
a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.  
b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).  
c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.  
d. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.  
e. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.  
f. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AS	4	Acer saccharum 'Caddo' Caddo Maple	4" Cal.	Cont.	12' min.
	CP	10	Pistacia chinensis Chinese Pistache	4" Cal.	Cont.	12' min.
	QM	5	Quercus muehlenbergii Chinkapin Oak	4" Cal.	Cont.	12' min.
	QT	5	Quercus texana Texas Red Oak	3" Cal.	Cont.	12'-14' HT
	QV	5	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12' min.
	UC	3	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12' min.
	US	6	Ungadia speciosa Mexican Buckeye	2" Cal.	Cont.	8' HT MIN
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	IN	39	Ilex vomitoria 'Nana' Dwarf Yaupon	5 gal.	36" OC	24" Min.
	MP	62	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" Min.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CD	29,535 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		



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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning & Zoning



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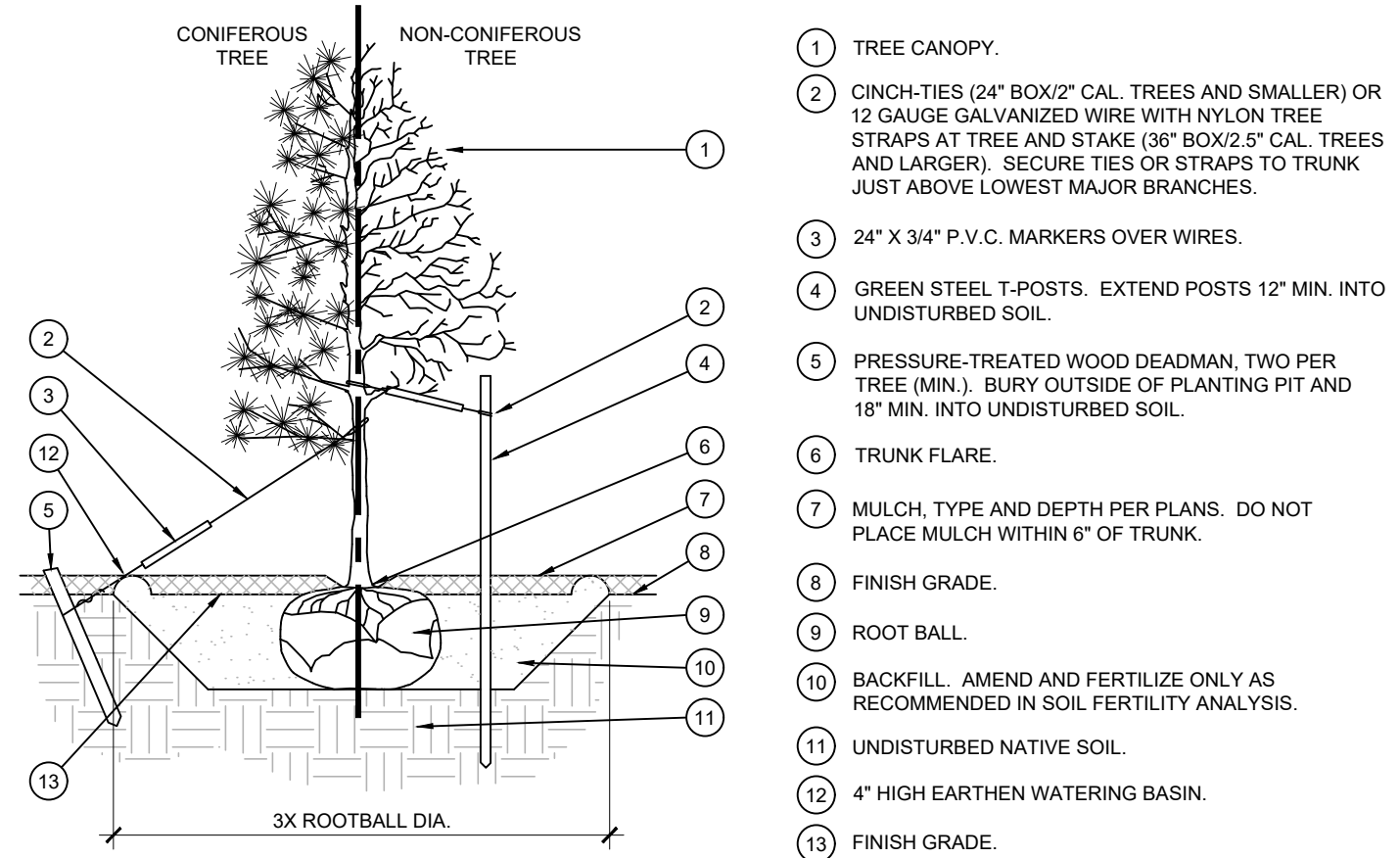
**LANDSCAPE PLANTING PLAN**  
**McKINNEY BUILDING**

365 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**LP-1**

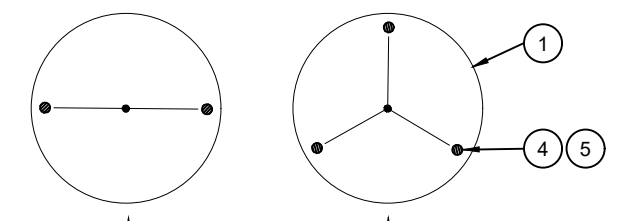
11-22-2022





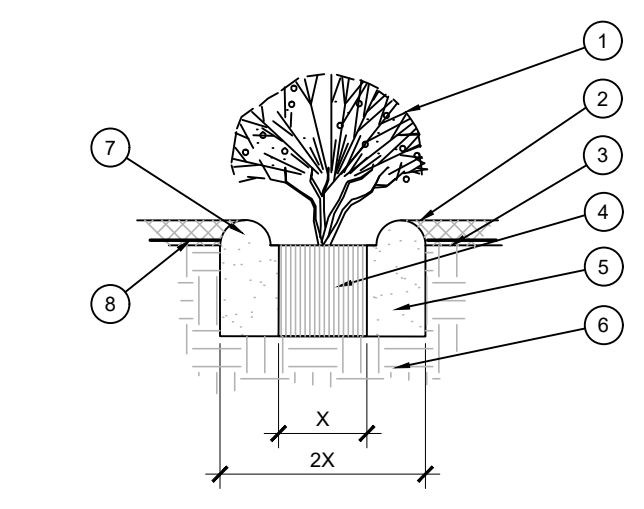
- 1 TREE CANOPY.
- 2 CINCH-TIES (24\"/>

STAKING EXAMPLES (PLAN VIEW)



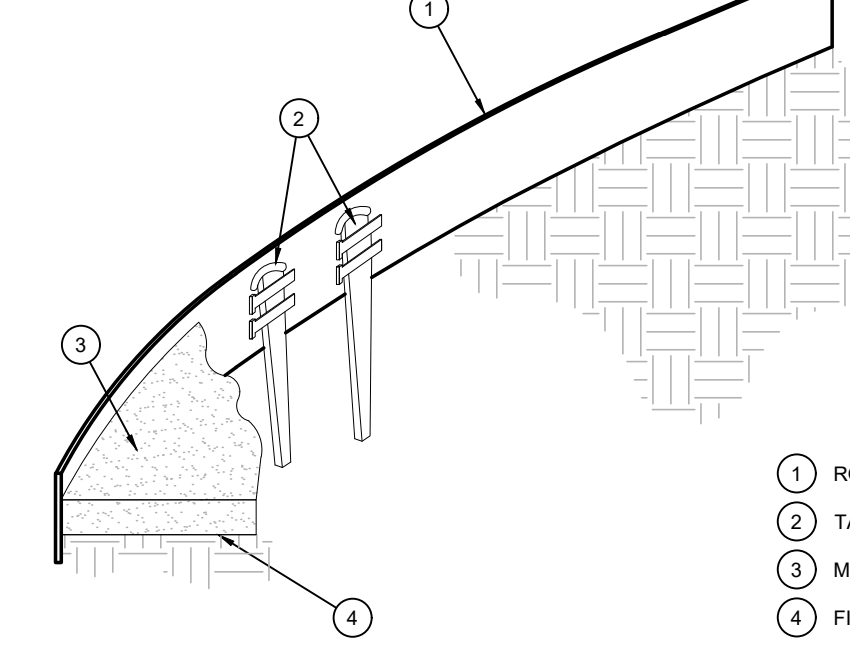
- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2\"/>

A TREE PLANTING  
SCALE: NOT TO SCALE



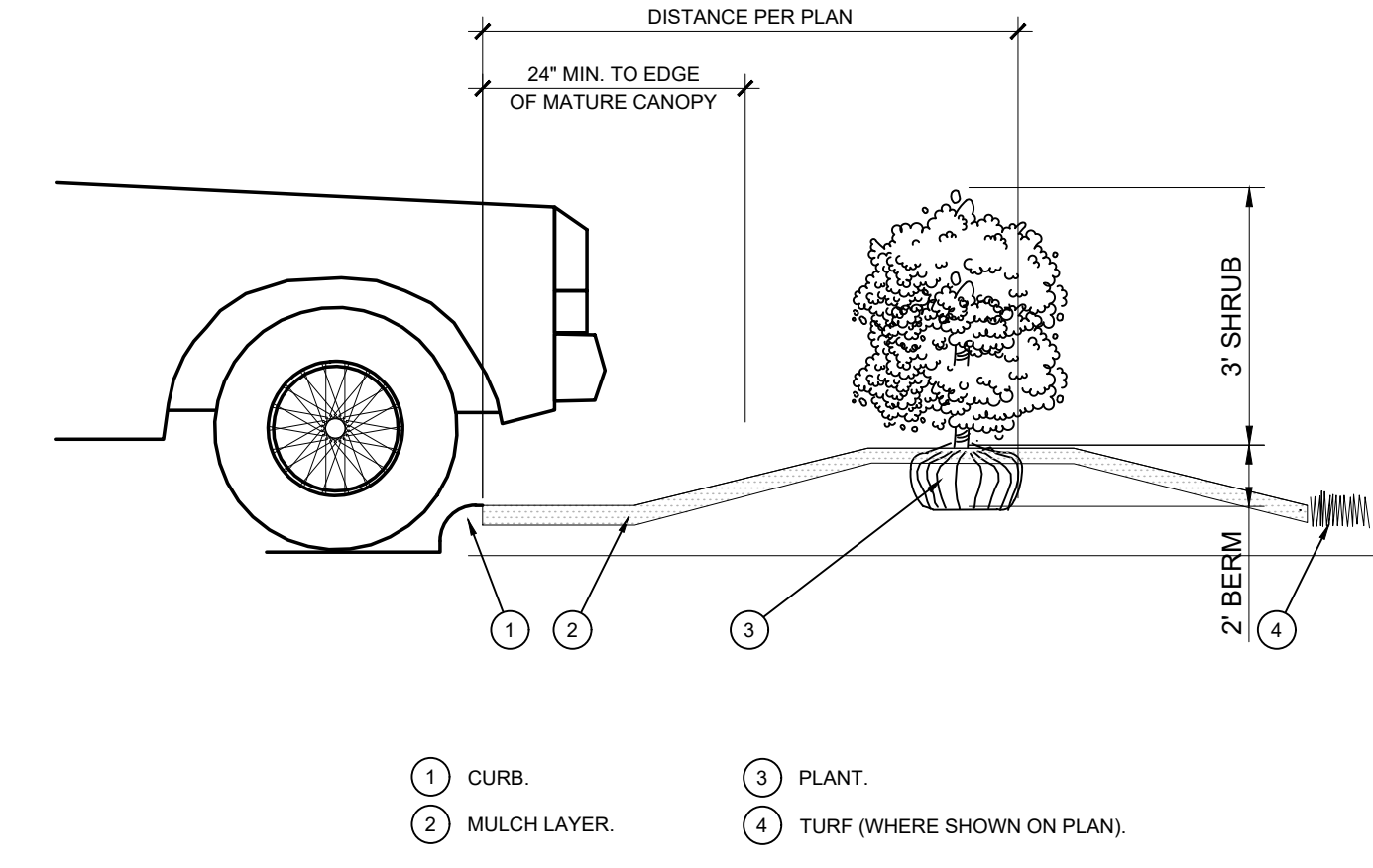
- 1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1\"/>

B SHRUB AND PERENNIAL PLANTING  
SCALE: NTS

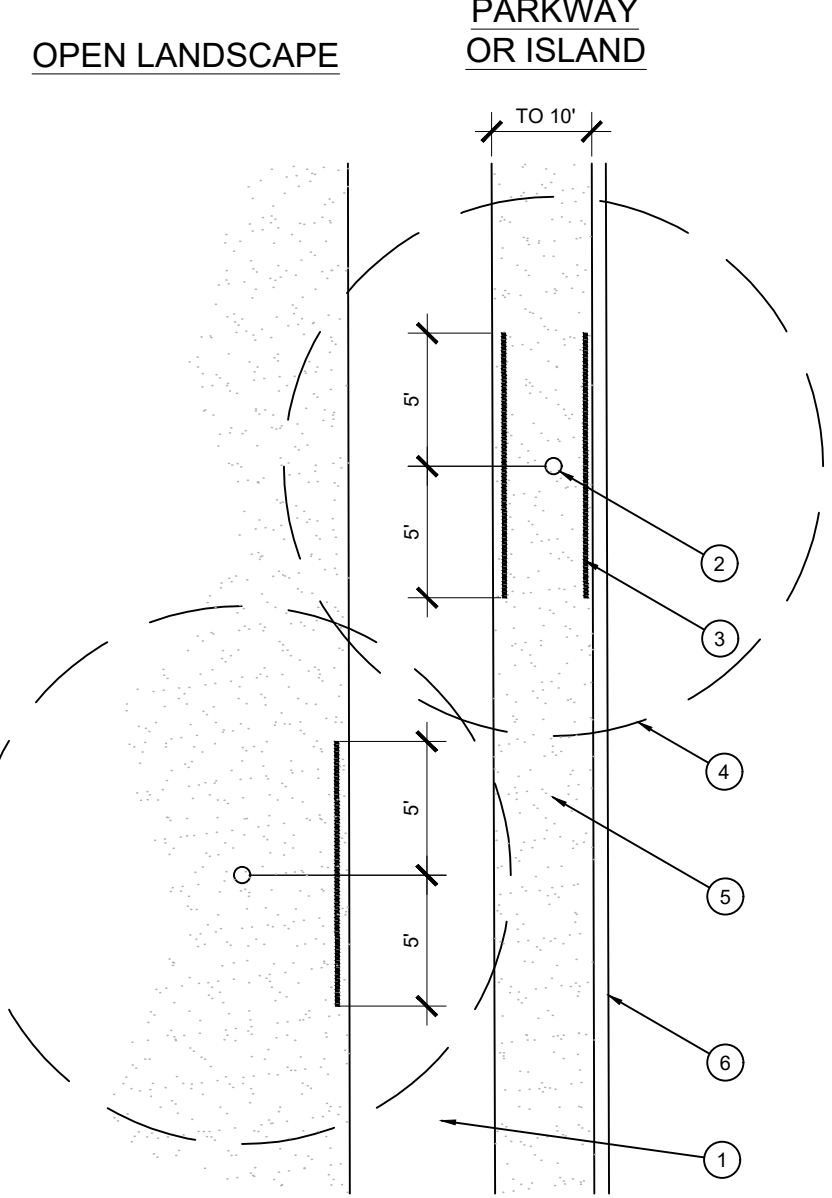


- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED STEEL STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

D STEEL EDGING  
SCALE: NOT TO SCALE



D PLANTING AT PARKING AREA  
SCALE: NOT TO SCALE



F ROOT BARRIER - PLAN VIEW  
SCALE: NOT TO SCALE

PLANTING SPECIFICATIONS

- GENERAL**
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
    1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
    2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
    3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
  - B. SUBMITTALS
    1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
    2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREESHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
    3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
    4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
  - C. GENERAL PLANTING
    1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
    2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
    3. TRENCHING OR EXISTING TRENCHING SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
      - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2\"/>
    4. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
  - D. TREE PLANTING
    1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL, LESS TWO TO FOUR INCHES.
    2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE HOLE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
    3. FOR CONTAINER GROWN TREES: TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1\"/>
  - E. SOODING
    1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
    2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
    3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGING SHOULD BE USED FOR ADJACENT COURSES.
    4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
    5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
  - F. MULCH
    1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
    2. DO NOT INSTALL MULCH WITHIN 6\"/>
  - G. CLEAN UP
    1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
    2. DISPOSE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
  - H. INSPECTION AND ACCEPTANCE
    1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
    2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL CORRECT THE DEFECTIVE WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
    3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
  - I. LANDSCAPE MAINTENANCE
    1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
    2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
    3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
      - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
      - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
      - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE PATCHES LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
  - J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
    1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
    2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDING A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
  - K. SOIL PREPARATION
    1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1\"/>
  - L. METHODS
    - A. SOIL PREPARATION
      1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1\"/>
    2. SOIL TESTING
      - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6\"/>
    3. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
      - a. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
      - b. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROBIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
    4. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
    5. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
      - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8\"/>
    6. AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - iv. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - v. IRON SULPHATE - 2 LBS. PER CU. YD.
      - vi. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - vii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    7. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    8. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1\"/>
  - M. INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - a. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - b. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
    - c. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3\"/>
  - N. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1\"/>
  - O. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ANY LOCAL ORDINANCES, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - P. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1\"/>



SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning & Zoning



**BSDG**  
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Eric L. Davis Engineering, Inc.



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**LANDSCAPE PLANTING  
DETAILS & NOTES**  
McKINNEY BUILDING  
365 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**LP-2**



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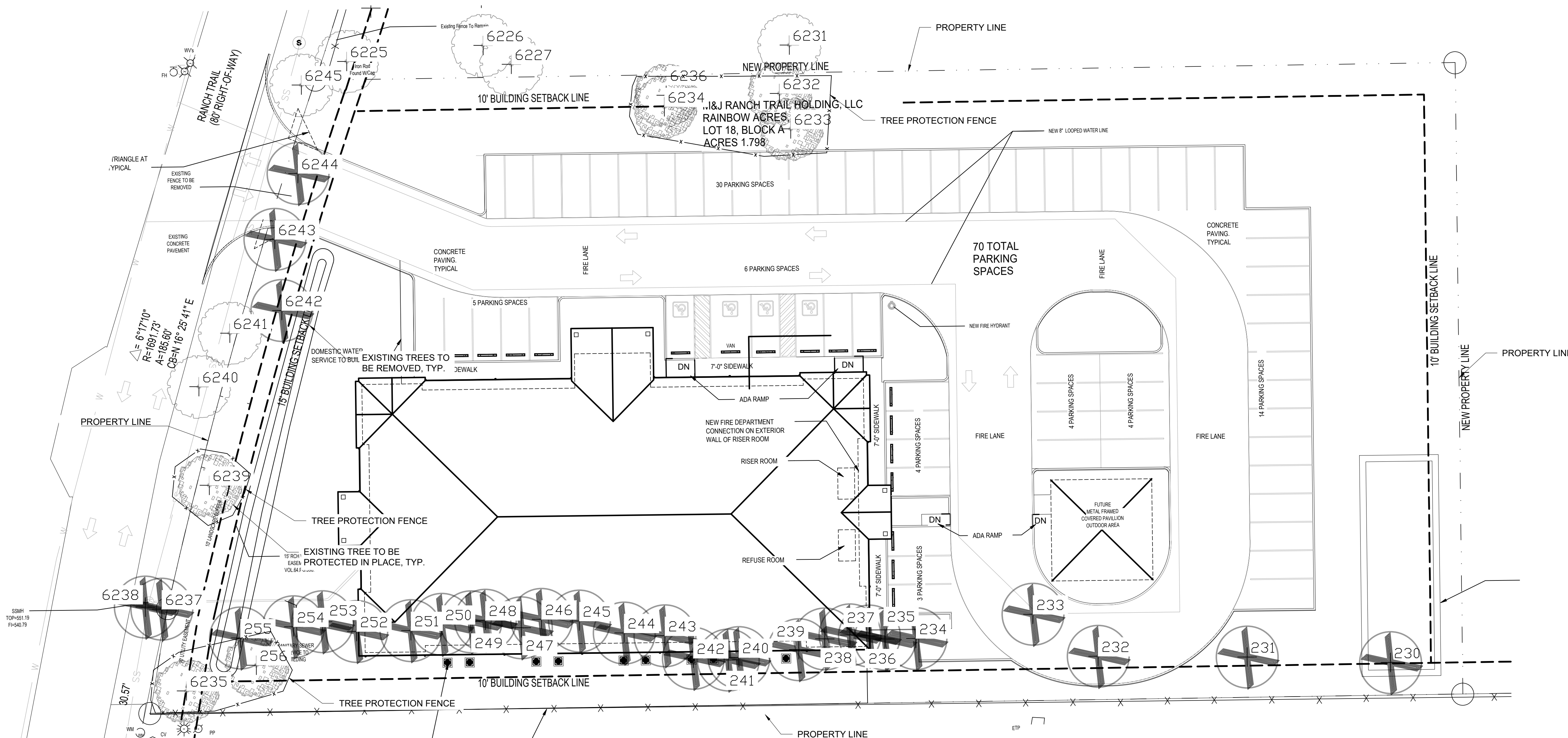


**PROJECT SITE PLAN DATA**

**GENERAL**  
 EXISTING USE: VACANT PROPERTY  
 PROPOSED USE: OFFICE BUILDING  
 EXISTING ZONING DISTRICT: C COMMERCIAL  
 PROPOSED ZONING DISTRICT: C COMMERCIAL  
 APPLICABLE ZONING OVERLAYS: N/A  
 ROCKWALL COUNTY APPRAISAL DISTRICT  
 ACCOUNT NUMBER: 87534

**OVERALL SITE**  
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES  
 SITE FRONTAGE: 216 FT  
 SITE WIDTH: 200 FEET  
 SITE DEPTH: VARIES 361 FEET TO 416 FEET  
 IMPERVIOUS SURFACE AREA: 45,529 SF  
 PERVIOUS SURFACE AREA: 32,777 SF

**BUILDING**  
 TOTAL GROSS INTENSITY (FAR): 0.16:1  
 TOTAL SQUARE FOOTAGE: 13,080 SF  
 COMMERCIAL (SF): 13,080 SF  
 INDUSTRIAL (SF): N/A  
 OTHER (SF): N/A



**EXISTING TREE INVENTORY**

TREE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	DISEASE	INSECT	STRUCTURAL	PRESERVE/REMOVE	MITIGATION REQ'D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED				REMOVE	4
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED			Y	REMOVE	4
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED			Y	REMOVE	4
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	PRESERVE	4
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	OFF-SITE	
6226	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED				OFF-SITE	
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	OFF-SITE	
6231	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED			Y	OFF-SITE	
6232	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED			Y	PRESERVE	
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED			Y	PRESERVE	
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED			Y	PRESERVE	
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	
6236	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	REMOVE	
6238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
6239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED				OFF-SITE	
6241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	GOOD	4	PROTECTED				OFF-SITE	
6242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
6243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED				REMOVE	4
6244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22	19	GOOD	4	PROTECTED				REMOVE	4
6245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y	Y	Y	OFF-SITE	

**EXISTING TREE LEGEND**

**TREE MITIGATION SUMMARY**  
 TOTAL MITIGATION REQUIRED: 120"  
 PROPOSED CODE REQUIRED TREES: 58"  
 BALANCE OF MITIGATION: 42"  
 4" CAL. MITIGATION TREES (11) ONSITE: 64"

EX. TREE TO REMAIN 7  
 EX. TREE TO BE REMOVED 31  
 EX. TREE OFF SITE 7

TREE PROTECTION FENCE

**NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

Scale 1" = 20'

**EVERGREEN DESIGN GROUP**  
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 972.564.0392  
 www.eldengineering.com

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning & Zoning

**TREESCAPE PLAN**

**McKINNEY BUILDING**  
 365 RANCH TRAIL  
 ROCKWALL, TEXAS 75032  
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
 ROCKWALL COUNTY  
 MCKINNEY BUILDING

**TD-1**

11-22-2022



**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

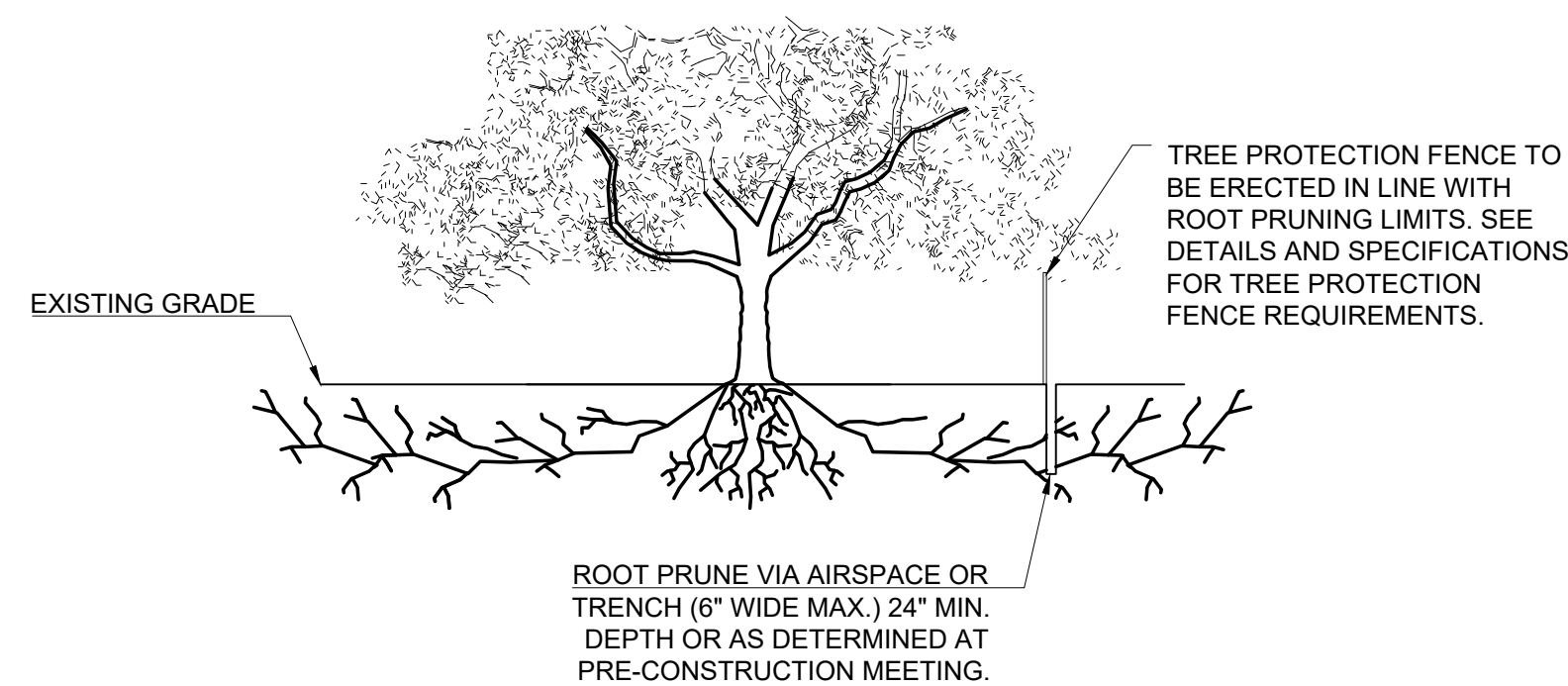
**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

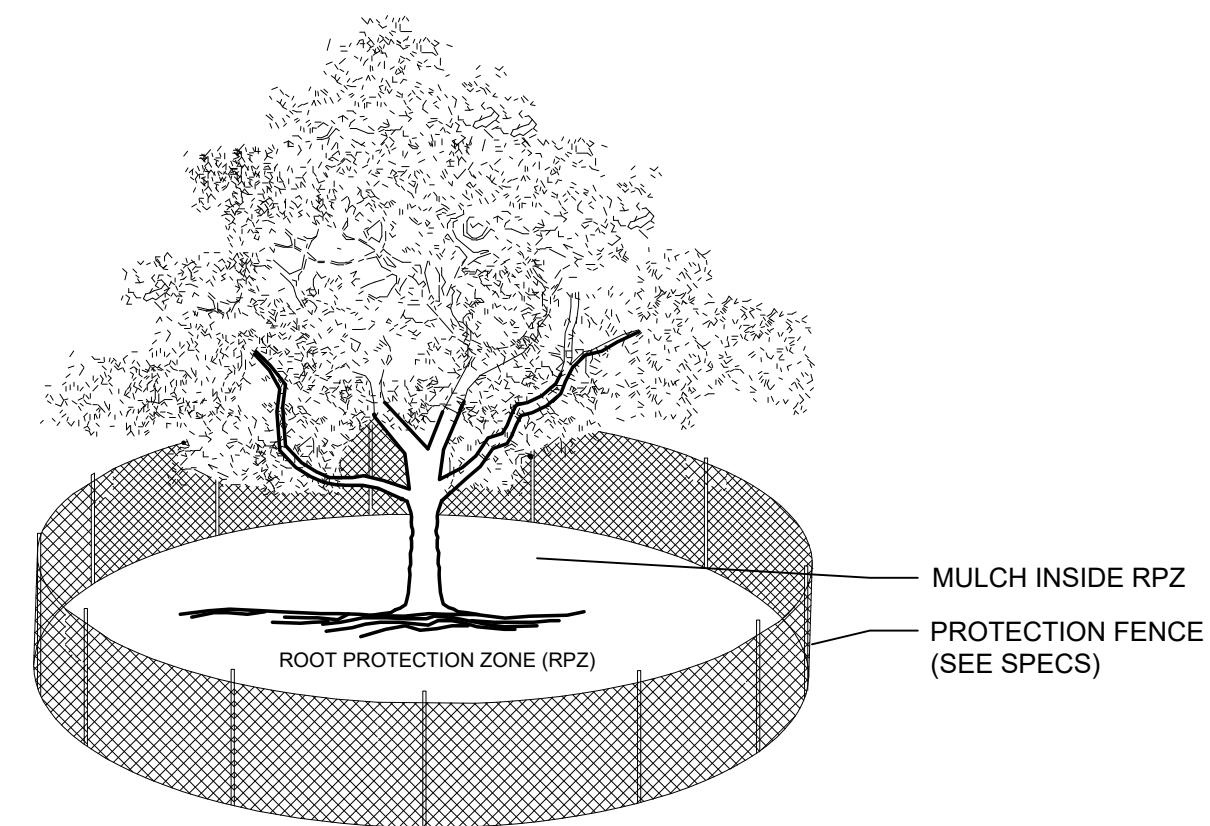
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

**NOTES**

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



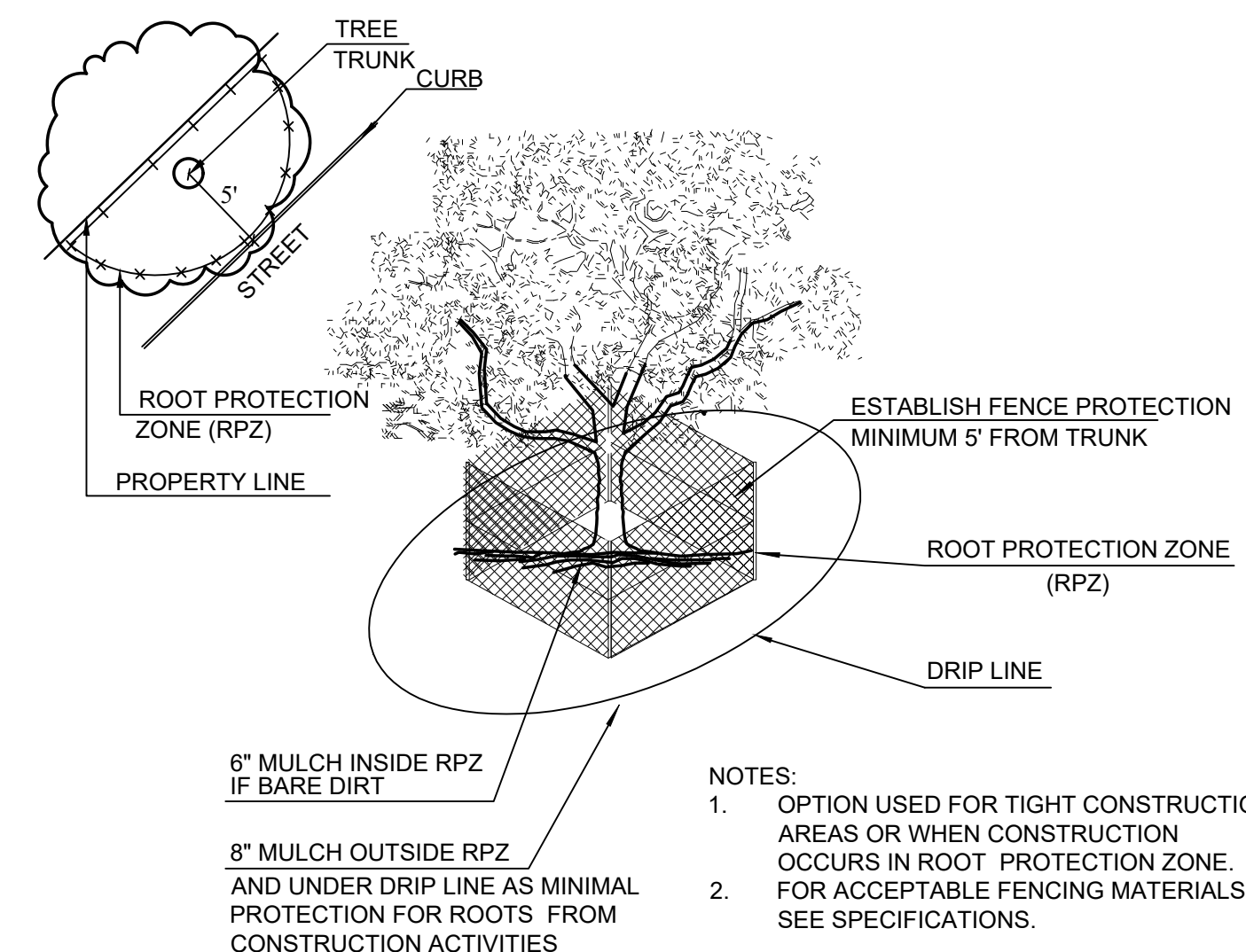
**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE



**NOTES:**

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



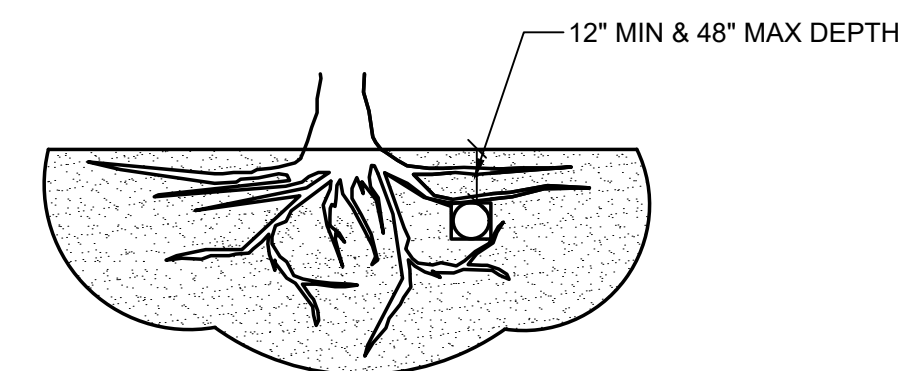
**NOTES:**

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

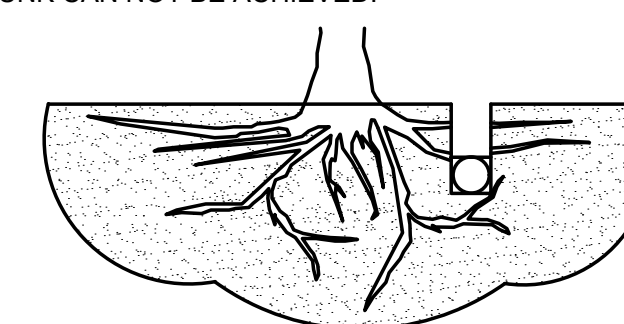
**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

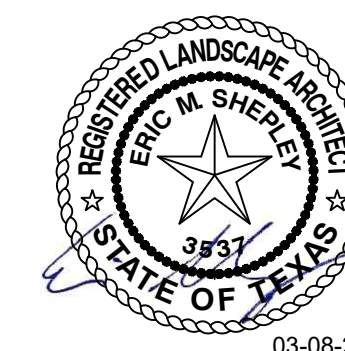
**SITE PLAN SIGNATURE BLOCK**

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning & Zoning



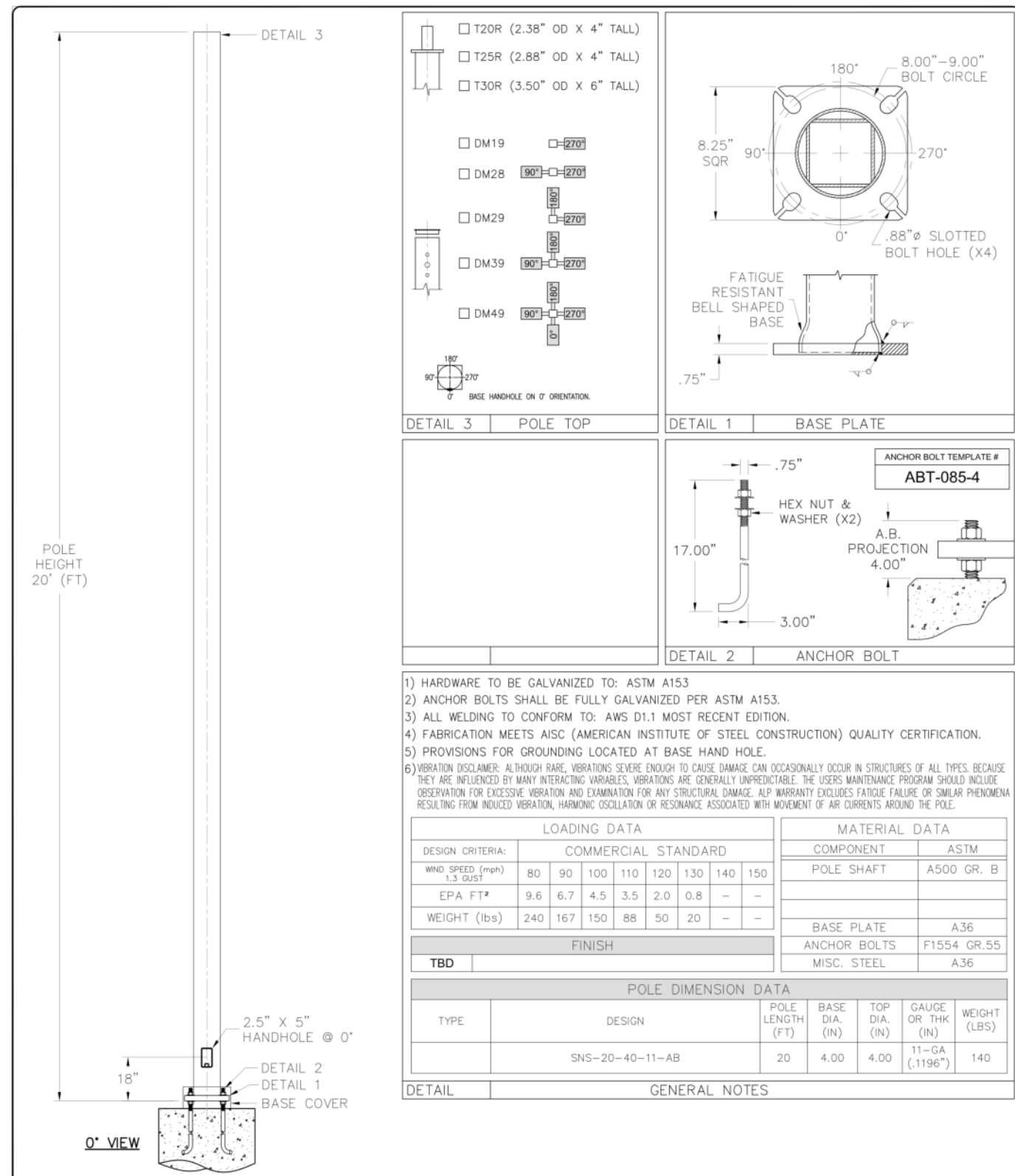
**BROADSTONE DESIGN**  
BSDG  
401 Pinson Road  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**Eric L. Davis Engineering, Inc.**  
401 Pinson Road  
Forney, TX 75126  
972-564-0592  
www.eldengineering.com

**TREESCAPE DETAILS & SPECIFICATIONS**  
MCKINNEY BUILDING  
365 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
RAINBOW ACRES, LOTS 18 & 5 PART OF 19  
ROCKWALL COUNTY  
MCKINNEY BUILDING

**TD-2**





- HARDWARE TO BE GALVANIZED TO ASTM A153
- ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153
- ALL WELDING TO CONFORM TO AWS D11 MOST RECENT EDITION
- FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE
- DESIGNER PROVIDES A TRADE NAME, MANUFACTURER, SIZE, TYPE, OR OTHERWISE IDENTIFY ALL ITEMS SUBJECT TO BE REVIEWED BY ANY REGULATORY AGENCIES, AGENCIES, OR AGENCIES. THE USER ASSUMES RESPONSIBILITY FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR ANY STRUCTURE, CHANGE, OR MODIFICATION TO THIS DESIGN. THE USER ASSUMES RESPONSIBILITY FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR ANY STRUCTURE, CHANGE, OR MODIFICATION TO THIS DESIGN.

LOADING DATA		MATERIAL DATA	
DESIGN CRITERIA	COMMERCIAL STANDARD	COMPONENT	ASTM
WIND SPEED (MPH)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FTT	0.6 0.7 0.8 0.9 1.0 1.1 1.2 1.3	BASE PLATE	A36
HEIGHT (FT)	240 180 150 120 90 60 30 20	ANCHOR BOLTS	F1554 GR.50
		MISC. STEEL	A36

POLE DIMENSION DATA	
TYPE	DESIGN
SHS-20-40-11-AB	20 4.00 4.00 11/32 (1196)
SHS-20-40-11-AB	20 4.00 4.00 11/32 (1196)

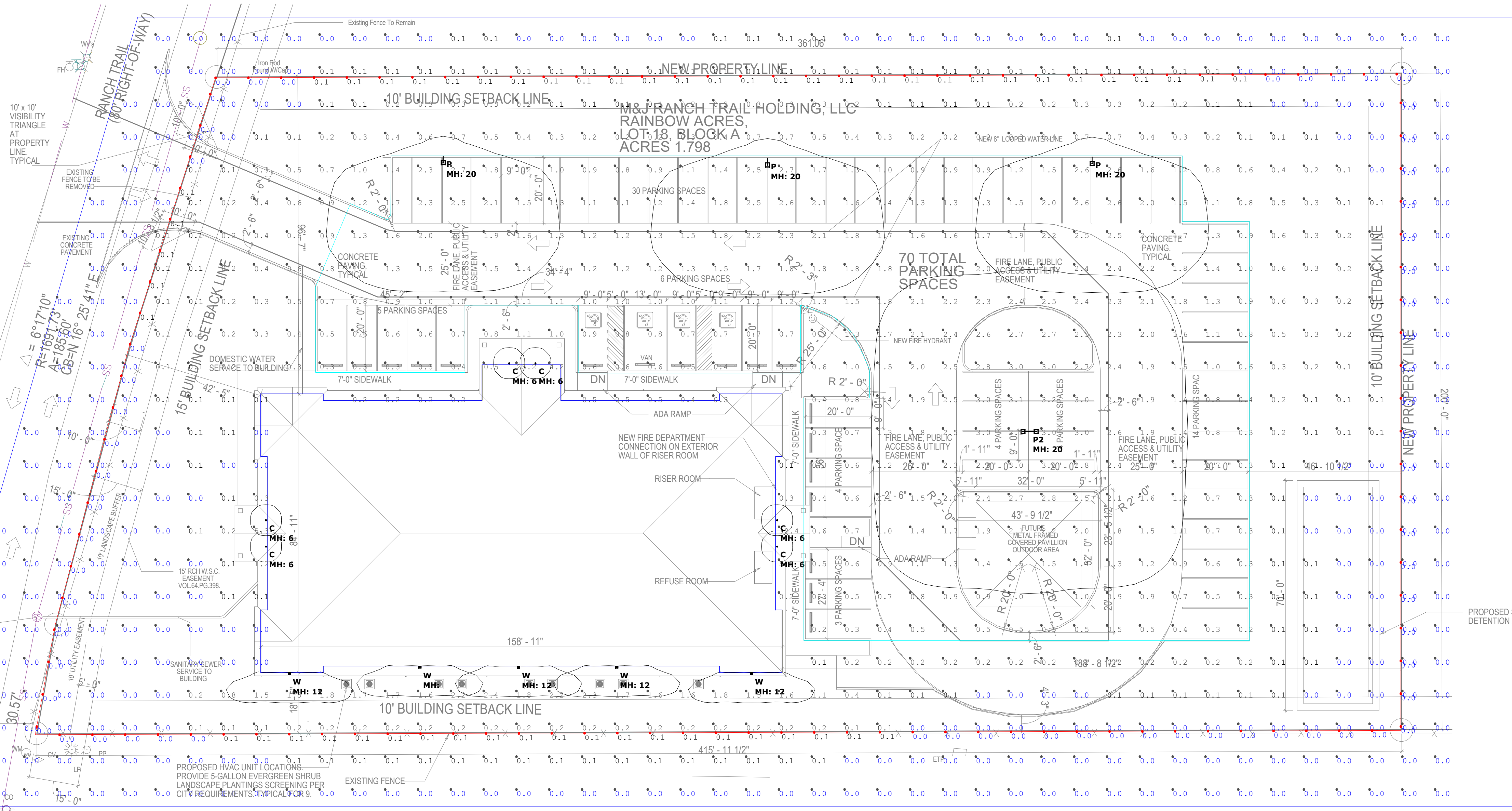
**American Lite Pole**

AMERICAN LITE POLE  
3900 S. HUNTER LANE SUITE 200  
FORT WORTH, TX 76109  
817-924-3462 FAX  
817-924-3999 FAX

101112 BM  
NTS  
CKR

**SQUARE STRAIGHT STEEL ANCHOR BASE**  
20" x 40" x 11 GA

SNS-20-40-11-AB



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	C	6	LUMINIS SY660-11L5-430 VOLT FINISH	1600	15.3	1.000	0.850	1.000
⊙	P	3	LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DBBXD DM19AS 20\"/>					

Calculation Summary	
Calculation Grid Location	Calc. Height (Ft.)
GRADE Planar	0
PROPERTY LINE	N.A.
PARKING LOT	N.A.

- Notes:
- Surface reflectances: Vertical/Horizontal - 50/20.
  - Calculation values are at height indicated in summary table.
  - Mounting heights are designated on drawing with "MH".
  - Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
  - Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
  - Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
  - For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT: 405 RANCH TRAIL  
SALESPERSON: BRYAN JOHNSON  
SCALE: 1" = 20'-0"  
CALC BY: AK  
FILE: 230309\_405 RANCH TRAIL\_V2

2023-03-09

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning & Zoning

**BROADSTONE DESIGN**

BSDG  
120 E. Main Street  
Forney, TX 75126  
214.295.5280  
www.broadstonedg.com

**LDG**  
LOWERY DESIGN GROUP  
HEARTLAND TX, 75126  
Robert Lowery  
robert@lowerydesigngroup.net  
806-789-7902

Plan/Spec Agreement  
By signing these plans, Contractor/Owner agrees to the following:  
These plans are the property of Lowery Design Group Inc. and are not to be reproduced, copied, or used for construction without the written permission of Lowery Design Group Inc. These plans are intended to provide the necessary information to build this structure. Contractor/Owner shall verify and approve all aspects prior to construction. Copyright © 2021 Lowery Design Group.

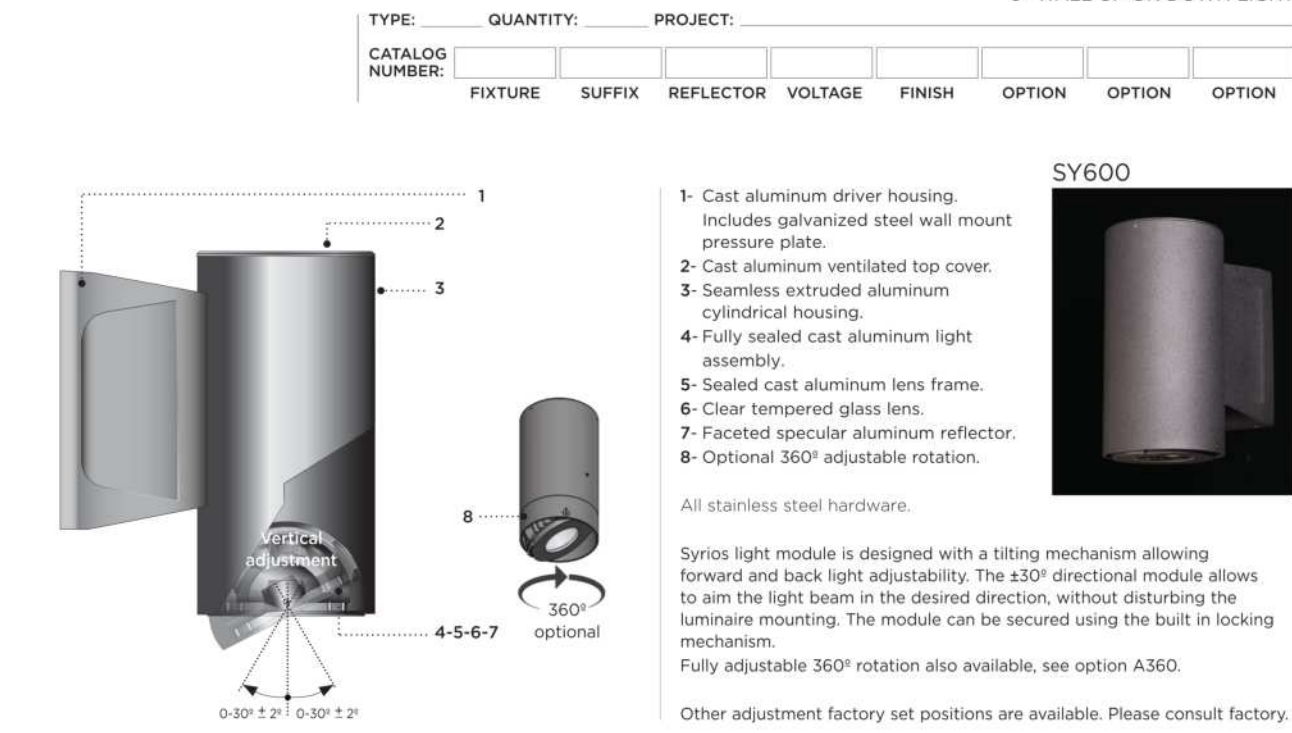
DRAWN BY:	LDG	
DATE:	2/09/2023	
CHECKED BY:	LDG	
DATE:	2/13/2023	
FINAL REVIEW BY:	BSDG	
DATE:	2/15/2023	
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL
2	03/09/2023	REVISED PHOTOMETRIC

**RANCH TRAIL PARTNERS**

405 RANCH TRAIL  
ROCKWALL, TEXAS 75032







- Cast aluminum driver housing. Includes galvanized steel wall mount pressure plate.
- Cast aluminum ventilated top cover.
- Seamless extruded aluminum cylindrical housing.
- Fully sealed cast aluminum light assembly.
- Sealed cast aluminum lens frame.
- Clear tempered glass lens.
- Faceted specular aluminum reflector.
- Optional 360° adjustable rotation.

**MATERIALS**  
Syrios is made of corrosion resistant 356 aluminum alloy with a copper (Cu) content of less than 0.1%. The main housing is made of seamless extruded aluminum, with an integrally sealed LED light module design that provides per-site requirements, and lighting performance.

**FINISH**  
Syrios is standard with a unique proprietary design allowing the sealed LED module to fit within the cylindrical housing. The top cast aluminum cover includes ventilation slots allowing air circulation and cooling of assembly. Syrios SY600 series is standard with 30° option. See options section for alternate selection.



LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com  
260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5  
LUMINIS.COM

- LUMINAIRE SELECTION**
- MODEL**
    - SY600
  - LED LIGHT SELECTION**
    - SUFFIX**
      - LL15 1599 15W 80 4000
      - LL25 2543 26W 80 4000
      - LL40 4142 48W 80 4000
    - AMBER LED**
      - LL32KA 263 17W AMBER
    - VERY NARROW DISTRIBUTION**
      - LL20NR 1690 31W 80 4000
  - REFLECTORS**
    - R15 Narrow optics 15°
    - R30 Flood optics 30°
    - R55 Wide flood optics 52°
    - R9 Very narrow optics 9°
  - VOLTAGE**
    - 120V
    - 277V
    - Optional 347V
  - FINISH**
    - WH1 Snow white
    - BK1 Jet black
    - BZ1 Bronze
    - MS1 Matte silver
    - GR1 Titanium gray
    - DT1 Gun metal
    - CH1 Champagne
    - ST1 Steel gray
    - BL1 English cream
  - STANDARD COLORS**
    - CS Custom color
    - RAL RAL color
    - NATUMON SUITED COLORS
    - NW1 Navy white
    - NK1 Black
- OPTIONS**
- ELECTRICAL**
    - FS Fuse
    - PH Photocell
    - MS PIR motion sensor (Device is located at bottom of luminaire wall box)
    - REML2-50 7W remote emergency battery backup for LED, 90 min. Remote mount 50" x 12" (305mm) square enclosure with access cover
  - FAUX WOOD COLORS**
    - ADN American douglas
    - BBC Birch
    - CHG Chestnut
    - CRF Cherry
    - KNP Knotty pine
    - MPL Maple
    - OPL Oak
    - RSW Rosewood
    - TRK Teak
    - WLN Walnut
  - ACCESSORIES**
    - HL Hecell louver
    - SL Solite lens (light loss factor [LLF]: 0.9)
    - LSP Option required for upright installation
    - SWK Adaptor box for surface 3/4" conduit feed (4 sides plus back entry)
    - LIP Option required for upright installation
    - UH Uniform height matching SY602
  - LIGHT & OPTICS**
    - Alternate CCT 'K' LED (LCP: Lumen conversion factor)
    - K27 2700K CCT 80 CRI (LCP: 0.91) NOTE: Other CCT & higher CRI available.
    - K35 3500K CCT 80 CRI (LCP: 0.983) NOTE: Other CCT & higher CRI available. please consult factory.
    - K55 5000K CCT 80 CRI (LCP: 0.983) NOTE: Other CCT & higher CRI available. please consult factory.
    - A360 360° adjustable rotation
    - R90 Regressed light module

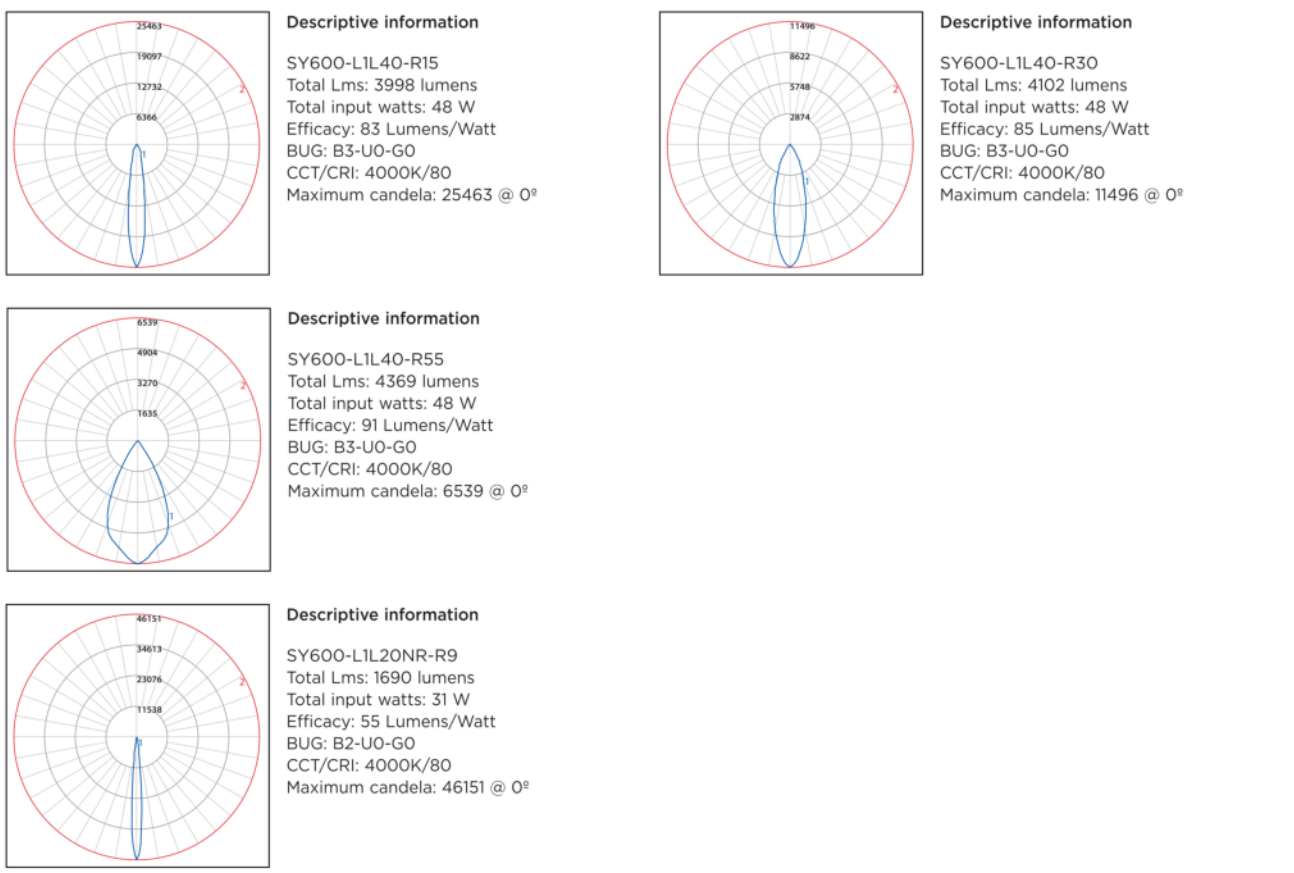
**NOTES**

- Photocell (PH) not available with REML2-50 option.
- The remote enclosure must be interior.
- Cylindrical housing extended by 7" (23.4mm) for increased cut-off.
- PIR motion sensor (MS) not available with REML2-50 option.
- 347V not compatible with Amber LED LL32KA.
- K27 and K35 options not available with the R9 option.
- Faux wood finish not applied to driver housing, lens frame or accessories.
- For use with A360 and/or R90 consult factory.

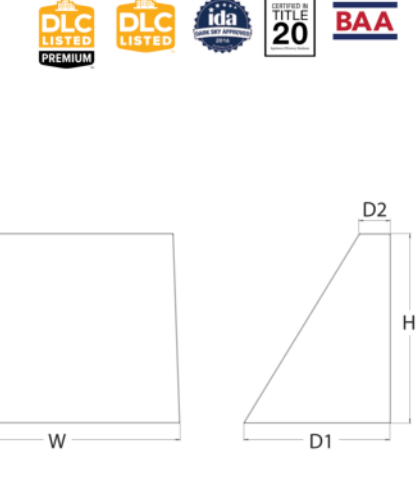


LUMINIS Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com  
260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5  
LUMINIS.COM

**TYPICAL PHOTOMETRY SUMMARY**



Please visit our web site www.luminis.com for complete I.E.S. formatted download data.



**Specifications**  
Depth (D1): 7"  
Depth (D2): 1.5"  
Height: 9"  
Width: 11.5"  
Weight: 13.5 lbs (without options)

**WDGE LED Family Overview**

Luminaire	Optics	Standard ILM, P/C	Cold ILM, 20°C	Sensor	P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W	—	—	750	1,200	2,000	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / Height	—	1,200	2,000	3,000	4,500	6,000	—
WDGE2 LED	Precision Refractive	10W	18W	Standalone / Height	700	1,200	2,000	3,200	4,500	12,000	—
WDGE3 LED	Precision Refractive	15W	18W	Standalone / Height	—	7,500	8,500	10,000	20,000	—	—
WDGE4 LED	Precision Refractive	—	—	Standalone / Height	—	12,000	16,000	18,000	20,000	22,000	25,000

**Ordering Information**

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	Shipped Included	Shipped Separately
WDGE2 LED	P0	27K 2700K	80CR	T15 Type II Short	MVOLT	SRM	ANSI 3/8" rectangular wall spacer	—
	P1	30K 3000K	80CR	T2M Type II Medium	347V	—	ANSI 3/8" rectangular wall spacer	—
	P2	40K 4000K	LW Limited Wavelength	T3M Type II Medium	480V	—	ANSI 3/8" rectangular wall spacer	—
	P4	50K 5000K	—	T4M Type II Medium	—	—	ANSI 3/8" rectangular wall spacer	—

**Options**

Option	Description	Finish
E10WH	Emergency battery backup, Certified in CA Title 20 MAR05 (C00K 5% max)	Dark bronze
E20W	Emergency battery backup, Certified in CA Title 20 MAR05 (C00K 5% max)	Black
EM1	Photocell, Button Type	Natural aluminum
PE	0-10V dimming wires pulled outside fixture (for use with external control, ordered separately)	White
KE	Bottom condant entry for back box (PB88). Total of entry points.	Sandstone
BAA	Buy American! Act Compliant	Textured dark bronze
NR1	Networked Control (NLTARZ)	Textured black
NR2	Networked Control (NLTARZ)	Textured natural aluminum
NR3	Networked Control (NLTARZ)	Textured sandstone

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (3738) • www.lithonia.com  
© 2019-2022 Acuity Brands Lighting, Inc. All rights reserved. WEDGE LED Rev. 11/21/22

**Accessories**

WDGE1-5000 WDGE 1 5/8" Back Architectural Wall Spacer (Specify finish)  
WDGE2-5000 WDGE2 Surface mounted back box (Specify finish)

**NOTES**

- PE option not available with sensor/control.
- PIR not available with AMB and LW.
- AMB and LW always go together.
- 70CR only available with T3M and T4M.
- 50V and 480V not available with E10WH or E20W.
- Not qualified for DLC. Not available with emergency battery backup or sensor/control.
- PE not available in 480V or with sensor/control.
- DMX option not available with sensor/control.

**Performance Data**

**Lumen Output**  
Lumen values from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watt	Dist. Type	27K (2700K, 90 CRI)				30K (3000K, 90 CRI)				40K (4000K, 90 CRI)				50K (5000K, 90 CRI)				Amber Limited Wavelength				
			Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	Lumens	L/W	U	G	
P0	7W	T3M	715	102	8.8	0.8	866	107	0.8	0.8	899	101	0.8	0.8	891	100	0.8	0.8	712	47	0.8	0.8	
			T3M	662	96	0.8	0.8	699	101	0.8	0.8	728	106	0.8	0.8	779	104	0.8	0.8	741	48	0.8	0.8
			T3M	668	94	0.8	0.8	679	103	0.8	0.8	712	103	0.8	0.8	794	102	0.8	0.8	728	47	0.8	0.8
P1	11W	T3M	1151	105	0.8	0.8	1137	104	0.8	0.8	1215	109	0.8	0.8	1209	107	0.8	0.8	—	—	—	—	
			T3M	1192	103	0.8	0.8	1264	108	0.8	0.8	1264	113	0.8	0.8	1249	112	0.8	0.8	—	—	—	—
			T3M	1198	101	0.8	0.8	1205	108	0.8	0.8	1263	113	0.8	0.8	1250	112	0.8	0.8	—	—	—	—
P2	19W	T3M	1875	109	0.8	0.8	1861	109	0.8	0.8	1961	109	0.8	0.8	1961	107	0.8	0.8	—	—	—	—	
			T3M	1878	99	1.0	1.0	1864	103	1.0	1.0	1962	109	1.0	1.0	1962	107	1.0	1.0	—	—	—	—
			T3M	1878	97	1.0	1.0	1874	102	1.0	1.0	1962	107	1.0	1.0	1966	106	1.0	1.0	—	—	—	—
P3	32W	T3M	2490	107	1.0	1.0	2462	102	1.0	1.0	2609	106	1.0	1.0	2602	107	1.0	1.0	—	—	—	—	
			T3M	2494	97	1.0	1.0	2462	95	1.0	1.0	2726	108	1.0	1.0	2726	99	1.0	1.0	—	—	—	—
			T3M	2525	91	1.0	1.0	2463	95	1.0	1.0	2726	100	1.0	1.0	2727	99	1.0	1.0	—	—	—	—
P4	47W	T3M	3282	101	1.0	1.0	3240	97	1.0	1.0	3447	98	1.0	1.0	3447	97	1.0	1.0	—	—	—	—	
			T3M	3282	99	1.0	1.0	3275	94	1.0	1.0	3466	99	1.0	1.0	3466	97	1.0	1.0	—	—	—	—
			T3M	3279	90	1.0	1.0	3264	84	1.0	1.0	3499	88	1.0	1.0	3499	87	1.0	1.0	—	—	—	—

**Electrical Load**

Performance Package	System Watt	27K (2700K)	30K (3000K)	40K (4000K)	50K (5000K)	347V (347V)	480V (480V)
P0	7.0	0.001	0.041	0.041	0.039	—	—
P1	11.0	0.100	0.064	0.059	0.054	—	0.031
P2	19.0	0.168	0.106	0.095	0.083	—	—
P3	32.0	0.284	0.163	0.144	0.131	—	0.067
P4	47.0	0.412	0.234	0.207	0.185	—	0.107
P4	53.5	—	—	—	—	—	0.153

**Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)**

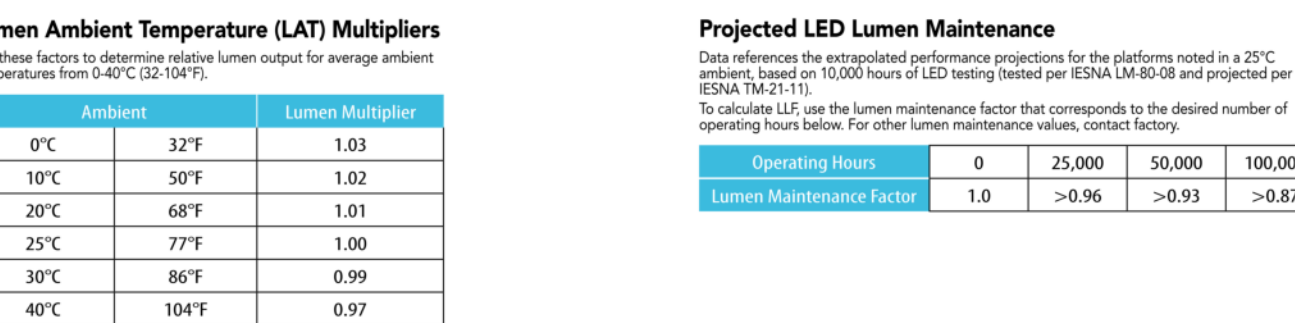
Option	Lumens
E10WH	1,158
E20W	2,230

**Lumen Ambient Temperature (LAT) Multipliers**

Ambient	27°K	30°K	40°K	50°K
0°C	1.03	1.02	1.01	1.00
10°C	0.97	0.97	0.97	0.97
20°C	0.97	0.97	0.97	0.97
25°C	0.99	0.99	0.99	0.99
30°C	0.99	0.99	0.99	0.99
40°C	1.04*	0.97	—	—

**Projected LED Lumen Maintenance**  
Data references the extrapolated performance projections for the platforms noted in a 25°C environment over 10,000 hours of LED testing based per IESNA LM-80-08 and projected per IESNA TM-21-11. To calculate L70, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

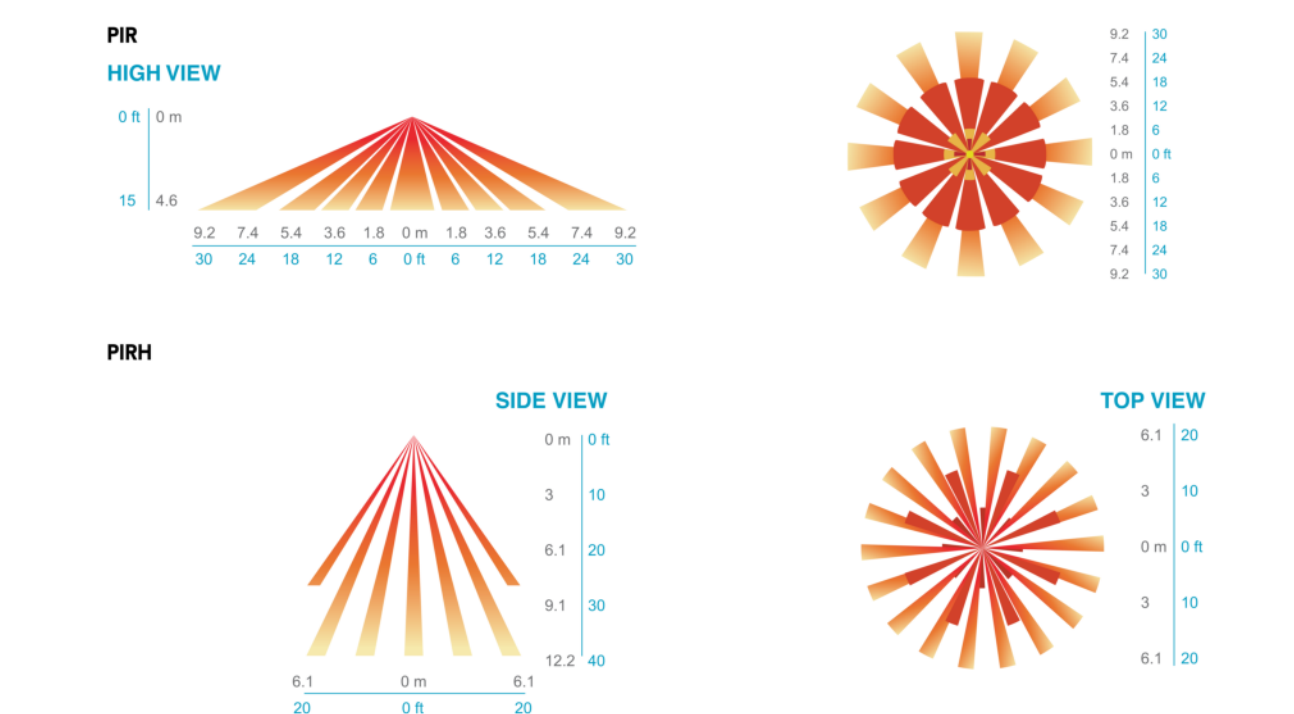
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>=0.96	>=0.93	>=0.87



**Control / Sensor Options**

**Motion/Ambient Sensor (PIR, PIRH)**  
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false triggering from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

**Networked Control (NLTARZ)**  
nLight AR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRTYM Pro) based configurability combined together make nLight AR a secure, reliable and easy to use platform.



**Mounting, Options & Accessories**

**Motion/Ambient Sensor**  
D = 7"  
H = 9" (Standalone controls)  
11" (nLight AR controls, 2" antenna will be pointing down behind the sensor)  
W = 11.5"

**PBBW - Surface-Mounted Back Box**  
Use when there is no junction box available.  
D = 1.75"  
H = 9"  
W = 11.5"

**ANS - 3/8" Architectural Wall Spacer**  
D = 0.38"  
H = 4.4"  
W = 7.5"

**FEATURES & SPECIFICATIONS**

**INTENDED USE**  
Common residential look, with clean rectangular shape, of the WDGE LED was designed to blend with any type of construction, whether it be brick, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

**CONSTRUCTION**  
The single piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

**FINISH**  
Exterior painted parts are protected by a zinc-inflated Super Durable TOG thermoseal powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that will withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

**OPTICS**  
Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it's most needed. The WDGE LED has zero spillage and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Glaze™ criteria for eliminating wasteful lighting.

**ELECTRICAL**  
Light engine consists of high-efficacy LEDs mounted to metal core circuit boards to maximize heat dissipation and promote long life up to 100,000 hours at 25°C. The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built-in surge protection, which meets a minimum Category C low exposure per ANSI/IEEE C62.41.2. Fixture ships standard with 0-10V dimmable driver.

**INSTALLATION**  
A universal mounting plate with integral mounting support arms allows the fixture to bring down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The COW option can be used to mount the luminaire intended for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

**LISTINGS**  
CSA certified to US and Canadian standards. Luminaire is PAB rated. PIR options are listed for wet location. Rated for 0°C minimum ambient. Design Light Consortium (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlightconsortium.com for additional information.

**FINISH**  
Exterior painted parts are protected by a zinc-inflated Super Durable TOG thermoseal powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that will withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

**BUY AMERICAN ACT**  
Product with this Back option is assembled in the USA and meets the Buy American government procurement requirements under FAR, DFARS and DOD regulations. Please refer to www.lithonia.com for additional information.

**WARRANTY**  
3-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.lithonia.com/warranty.

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

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**BROADSTONE DESIGN**  
**BSDG**  
120 E. Main Street  
Foley, TX 75126  
214.295.5280  
www.broadstonedesign.com

**LDG**



### D-Series Size 1 LED Area Luminaire

**Specifications:**

- Beam Angle: 60° or 90°
- Length: 32.1" (816mm)
- Width: 14.26" (362mm)
- Height H1: 7.88" (200mm)
- Height H2: 2.27" (58mm)
- Weight: 34 lbs (15kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance listed in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

#### Ordering Information

**EXAMPLE: DSX1 LED P7 40K 70CR1 3TM MVOLT S3A NLAIR2 PIRHN DDXB**

Series	SKU	Color Temperature	LED Technology	Beam Angle	TM	Mounting	Shipping/Included
DSX1 LED	P7	40K	70CR1	3TM	MVOLT	S3A	NLAIR2 PIRHN DDXB

Series	SKU	Color Temperature	LED Technology	Beam Angle	TM	Mounting	Shipping/Included
DSX1 LED	P7	40K	70CR1	3TM	MVOLT	S3A	NLAIR2 PIRHN DDXB
	P7	40K	70CR1	3TM	MVOLT	S3A	NLAIR2 PIRHN DDXB
	P7	40K	70CR1	3TM	MVOLT	S3A	NLAIR2 PIRHN DDXB
	P7	40K	70CR1	3TM	MVOLT	S3A	NLAIR2 PIRHN DDXB

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#### Performance Data

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Size (mm)	Performance Package	Series Code	Distribution Type	Site 1				Site 2				Site 3				
					100	150	200	250	100	150	200	250	100	150	200	250	
S1	120	P1	120R	S1R	TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
	180	P1	180R	S1R	TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4

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#### Ordering Information

**Accessories**

Shield Accessories

External Glare Shield (EGS)

House Side Shield (HS)

#### Drilling

**HANDHOLD ORIENTATION**

Top of Pole

#### Tanon Mounting Slipfitter

Slipfitter Size	Slipfitter Length	Slipfitter Width	Slipfitter Height	Slipfitter Depth
1.5"	1.5"	1.5"	1.5"	1.5"
2.0"	2.0"	2.0"	2.0"	2.0"
2.5"	2.5"	2.5"	2.5"	2.5"
3.0"	3.0"	3.0"	3.0"	3.0"

#### DSX1 Area Luminaire - EPA

Mounting Type	Mounting Height	Mounting Spacing	Mounting Spacing	Mounting Spacing	Mounting Spacing
DSX1 with S3A	1.5"	1.5"	1.5"	1.5"	1.5"
DSX1 with S3A	1.5"	1.5"	1.5"	1.5"	1.5"
DSX1 with S3A	1.5"	1.5"	1.5"	1.5"	1.5"
DSX1 with S3A	1.5"	1.5"	1.5"	1.5"	1.5"

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#### Performance Data

**Lumen Output**

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Site Code	Size (mm)	Performance Package	Series Code	Distribution Type	Site 1				Site 2				Site 3				
					100	150	200	250	100	150	200	250	100	150	200	250	
S1	120	P1	120R	S1R	TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
	180	P1	180R	S1R	TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4

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#### Photometric Diagrams

For complete photometric reports or download files for this product, visit [www.lithonia.com](http://www.lithonia.com)

#### Performance Data

**Lumen Ambient Temperature (LAT) Multipliers**

Temperature	Multiplier
15°C	1.00
20°C	0.95
25°C	0.90
30°C	0.85
35°C	0.80
40°C	0.75
45°C	0.70
50°C	0.65

#### Projected LED Lumen Maintenance

Estimated lumen maintenance over time based on LED lumen depreciation curves.

Time (Hours)	Lumen Maintenance (%)
10,000	95%
20,000	90%
30,000	85%
40,000	80%
50,000	75%
60,000	70%
70,000	65%
80,000	60%
90,000	55%
100,000	50%

#### FAO Dimming Settings

Dimming Level	Power Factor	THD (%)	Efficiency (%)
100%	0.95	20%	95%
75%	0.92	25%	92%
50%	0.88	30%	88%
25%	0.82	35%	82%
10%	0.75	40%	75%

#### Motion Sensor Default Settings

Setting	Value
Delay	30s
Timeout	30s
Threshold	10%
Beam Type	PIR
Beam Range	15m
Beam Width	3m
Beam Height	5m

#### Controls Options

Option	Description	Availability	Notes
0	Standard	Available	Standard configuration.
1	Dimming	Available	Requires dimming control.
2	Occupancy	Available	Requires occupancy sensor.
3	Photocell	Available	Requires photocell sensor.

#### Dimensions

#### Performance Data

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Size (mm)	Performance Package	Series Code	Distribution Type	Site 1				Site 2				Site 3				
					100	150	200	250	100	150	200	250	100	150	200	250	
S1	120	P1	120R	S1R	TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
					TS	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5	15.0	22.5	30.0	37.5
	180	P1	180R	S1R	TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4
					TS	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4	22.5	33.8	45.1	56.4

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#### Performance Data

**Lumen Ambient Temperature (LAT) Multipliers**

Temperature	Multiplier
15°C	1.00
20°C	0.95
25°C	0.90
30°C	0.85
35°C	0.80
40°C	0.75
45°C	0.70
50°C	0.65

#### Projected LED Lumen Maintenance

Estimated lumen maintenance over time based on LED lumen depreciation curves.

Time (Hours)	Lumen Maintenance (%)
10,000	95%
20,000	90%
30,000	85%
40,000	80%
50,000	75%
60,000	70%
70,000	65%
80,000	60%
90,000	55%
100,000	50%

#### FAO Dimming Settings

Dimming Level	Power Factor	THD (%)	Efficiency (%)
100%	0.95	20%	95%
75%	0.92	25%	92%
50%	0.88	30%	88%
25%	0.82	35%	82%
10%	0.75	40%	75%

#### Motion Sensor Default Settings

Setting	Value
Delay	30s
Timeout	30s
Threshold	10%
Beam Type	PIR
Beam Range	15m
Beam Width	3m
Beam Height	5m

#### Controls Options

Option	Description	Availability	Notes
0	Standard	Available	Standard configuration.
1	Dimming	Available	Requires dimming control.
2	Occupancy	Available	Requires occupancy sensor.
3	Photocell	Available	Requires photocell sensor.

#### Dimensions

#### Performance Data

**Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configuration not shown here.

Site Code	Size (mm)	Performance Package	Series Code	Distribution Type	Site 1				Site 2				Site 3			
					100	1										





March 17, 2023

TO: Dan Whalen II  
Broadstone Design Group  
401 Pinson Road  
Forney, TX 75126

FROM: Henry Lee, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2023-007; *Site Plan for the McKinney Building*

Dan Whalen:

This letter serves to notify you that the above referenced case (*i.e. PD Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on March 14, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the acceptance of site/civil permit.
- (2) The applicant must provide staff a Photometric Plan that addresses all of staff's comments before Engineering/Civils Plans are submitted.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 14, 2023, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 6-0, with Commissioner Welch absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a faint, larger version of the same signature.

Henry Lee, AICP, Planner  
City of Rockwall Planning and Zoning Department



## Lee, Henry

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**From:** Lee, Henry  
**Sent:** Friday, February 24, 2023 3:01 PM  
**To:** [REDACTED]; [REDACTED]; [REDACTED]  
**Subject:** Project Comments SP2023-007  
**Attachments:** Project Comments (02.23.2023).pdf; Engineering Mark-Ups (02.23.2023).pdf

Good Afternoon,

Attached are the project comments for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: February 28, 2023

Planning and Zoning Commission Public Hearing: March 14, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087



## Lee, Henry

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**From:** John Robinson [REDACTED]  
**Sent:** Thursday, March 9, 2023 1:08 PM  
**To:** Lee, Henry  
**Cc:** Dan Whalen  
**Subject:** RE: Project Comments SP2023-007  
**Attachments:** SP2023-007\_Revised Drawings\_2023-03-09.pdf

Good afternoon Henry,

Attached is a PDF of the site plan application drawings for your use and review. The drawings have been revised to address the Second Round of Review Comments that were received.

Please contact us if there are any questions or if any additional information is needed.

Thank you.

**John W Robinson, NCARB**  
**BroadStone Design Group**

Architecture Services: [REDACTED]

web: [www.broadstonedg.com/](http://www.broadstonedg.com/)

email [REDACTED]

\*Broadstone Design Group is part of Eric L. Davis Engineering, Inc.

**Eric L. Davis Engineering, Inc.**

401 Pinson Road, Forney, TX 75126

**Mail Sent To: P.O. Box 2637, Forney, TX 75126**

Engineering Services: [REDACTED]

web: [www.eldengineering.com/](http://www.eldengineering.com/)

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**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Wednesday, March 8, 2023 9:44 AM  
**To:** 'John Robinson' [REDACTED]  
**Cc:** Dan Whalen [REDACTED]  
**Subject:** RE: Project Comments SP2023-007

Good Morning,

Please send an email with the digitals first. Once I give you the green light, a hard copy can be sent to me for signatures. Also, attached are the remaining comments from Engineering; they appear to be looking for clarification on a couple items. Let me know if you have any questions.

Thank you,





Henry Lee, AICP  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

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**From:** John Robinson [REDACTED]  
**Sent:** Wednesday, March 8, 2023 9:33 AM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Cc:** Dan Whalen [REDACTED]  
**Subject:** RE: Project Comments SP2023-007

Good morning Henry,

Comments have been received. Are the revisions to be returned via email by Thursday 3:00 PM?

Thank you.

**John W Robinson, NCARB**  
**BroadStone Design Group**

Architecture Services: [REDACTED]  
web: [www.broadstonedg.com/](http://www.broadstonedg.com/)  
email: [REDACTED]

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401 Pinson Road, Forney, TX 75126  
**Mail Sent To: P.O. Box 2637, Forney, TX 75126**  
Engineering Services [REDACTED]  
web: [www.eldengineering.com/](http://www.eldengineering.com/)

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**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Tuesday, March 7, 2023 6:18 PM  
**To:** 'John Robinson' [REDACTED] >  
**Cc:** Dan Whalen [REDACTED] >  
**Subject:** RE: Project Comments SP2023-007

Good Afternoon,

Attached are the remaining comments from the Planning Department. There are only a few and they are minor. I have not heard back from Engineering Department yet, but I forward over any remaining comments if they have any. I will need the revisions by Thursday at 3:00pm. Let me know if you have any questions.

Thank you,





Henry Lee, AICP  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

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**From:** John Robinson [REDACTED] >  
**Sent:** Tuesday, March 7, 2023 2:57 PM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Cc:** Dan Whalen [REDACTED] >  
**Subject:** RE: Project Comments SP2023-007

Good afternoon Henry,

Attached is a PDF of the site plan application drawings that have been revised to address the Review Comments. Also attached is the variance request letter.

Please contact us if there are any questions or if any additional information is needed.

Thank you.

**John W Robinson, NCARB**  
**BroadStone Design Group**

Architecture Services: [REDACTED]

web: [www.broadstonedg.com/](http://www.broadstonedg.com/)

email: [bsdgteam@broadstonedg.com](mailto:bsdgteam@broadstonedg.com)

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401 Pinson Road, Forney, TX 75126

**Mail Sent To: P.O. Box 2637, Forney, TX 75126**

Engineering Services: [REDACTED]

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