



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

02223-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 4, 7}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
⁴ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT _____ BLOCK _____

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 2,307.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

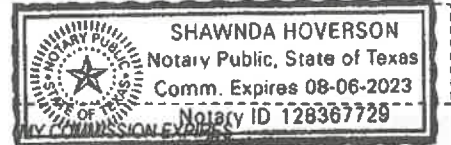
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June, 2023

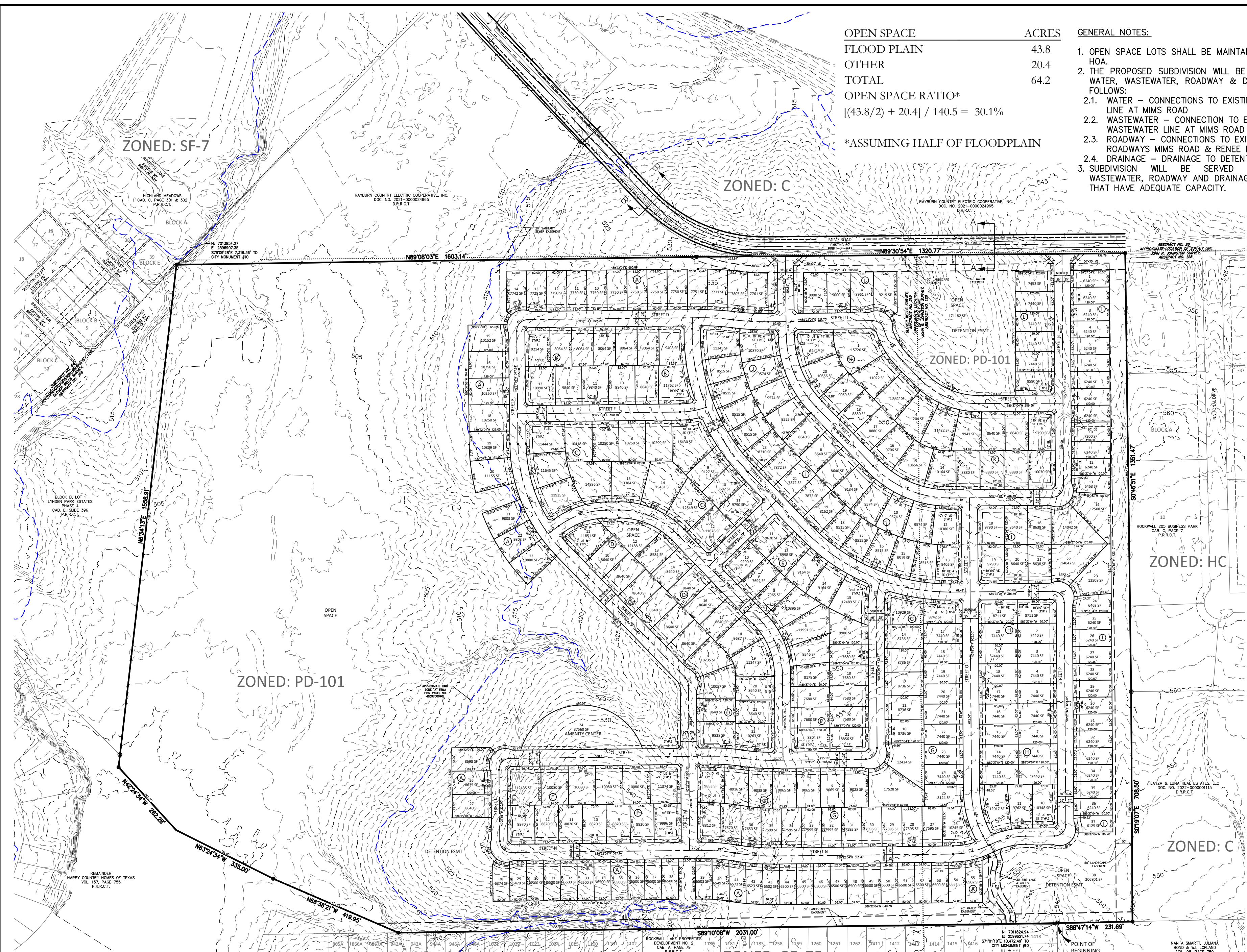
OWNER'S SIGNATURE

John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

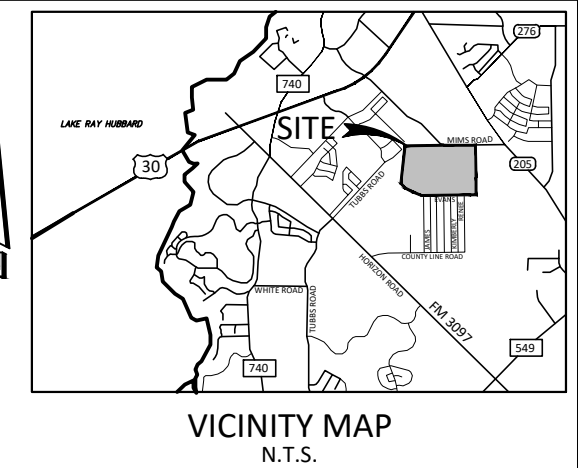
Shawnda Hoiverson



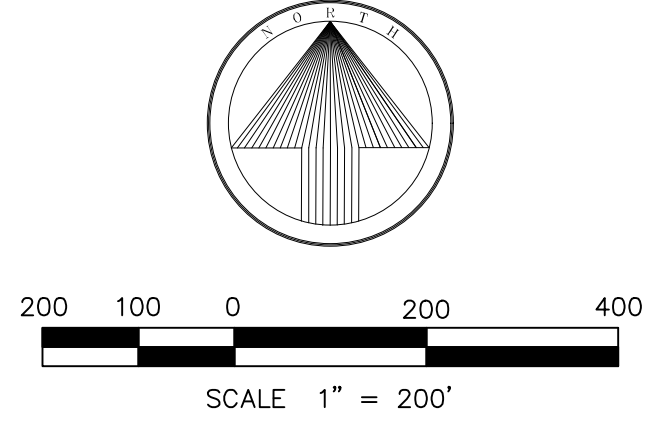


OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	
[(43.8/2) + 20.4] / 140.5 = 30.1%	
*ASSUMING HALF OF FLOODPLAIN	

- GENERAL NOTES:**
- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
 - THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER - CONNECTIONS TO EXISTING WATER LINE AT MIMS ROAD
 - WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
 - ROADWAY - CONNECTIONS TO EXISTING ROADWAYS MIMS ROAD & RENEE DRIVE
 - DRAINAGE - DRAINAGE TO DETENTION PONDS
 - SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY AND DRAINAGE FACILITIES THAT HAVE ADEQUATE CAPACITY.



- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
- D.R.R.C.T. = Deed Records of Rockwall County, Texas
P.R.R.C.T. = Plat Records of Rockwall County, Texas



PRELIMINARY PLAT PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
SITUATED WITHIN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2023-xxx

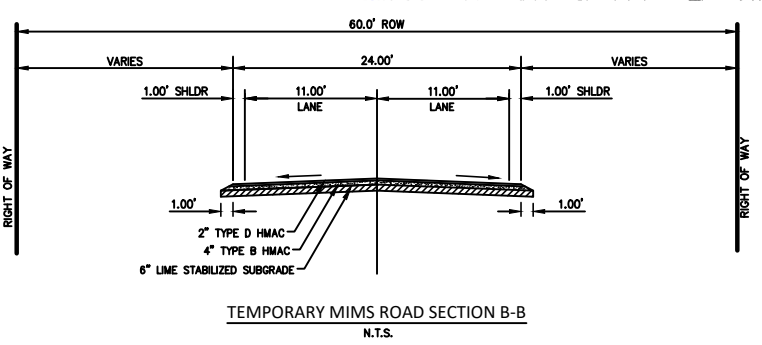
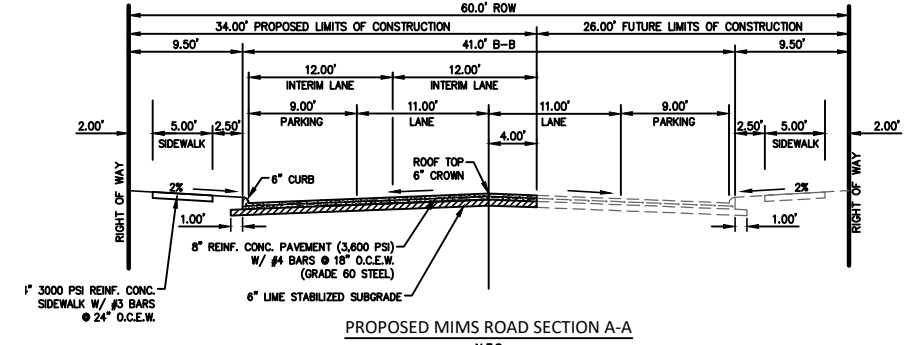
June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF
SHEET 1 OF 2

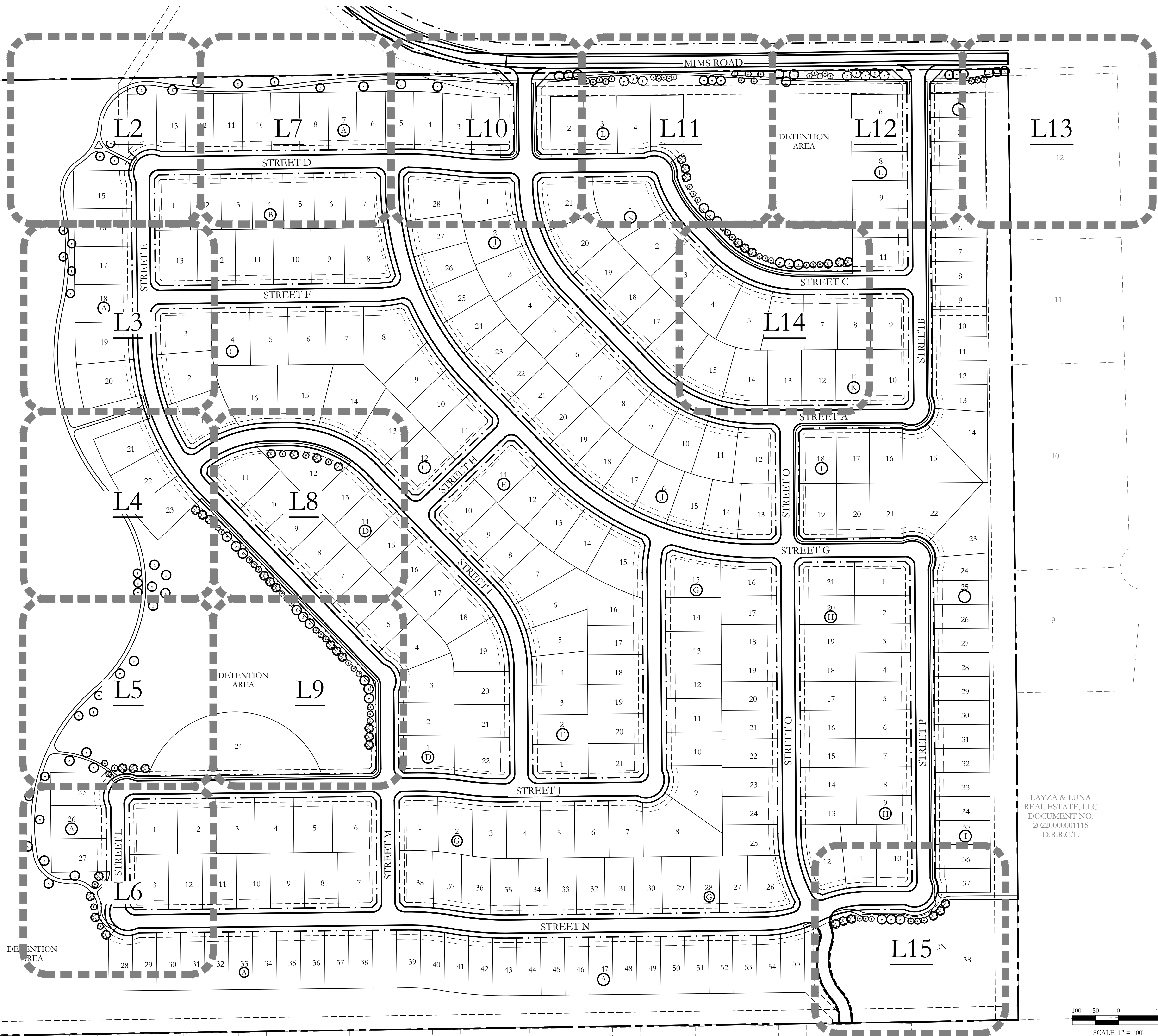
Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

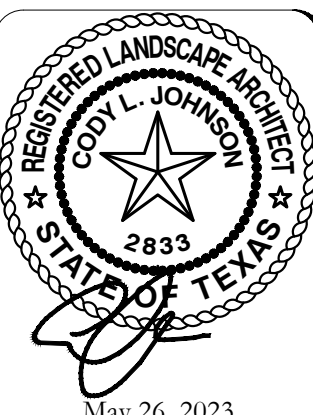
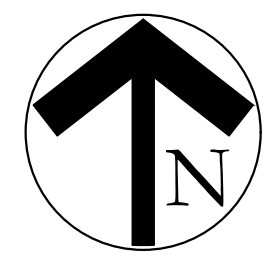
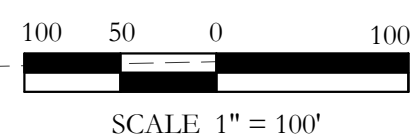
**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



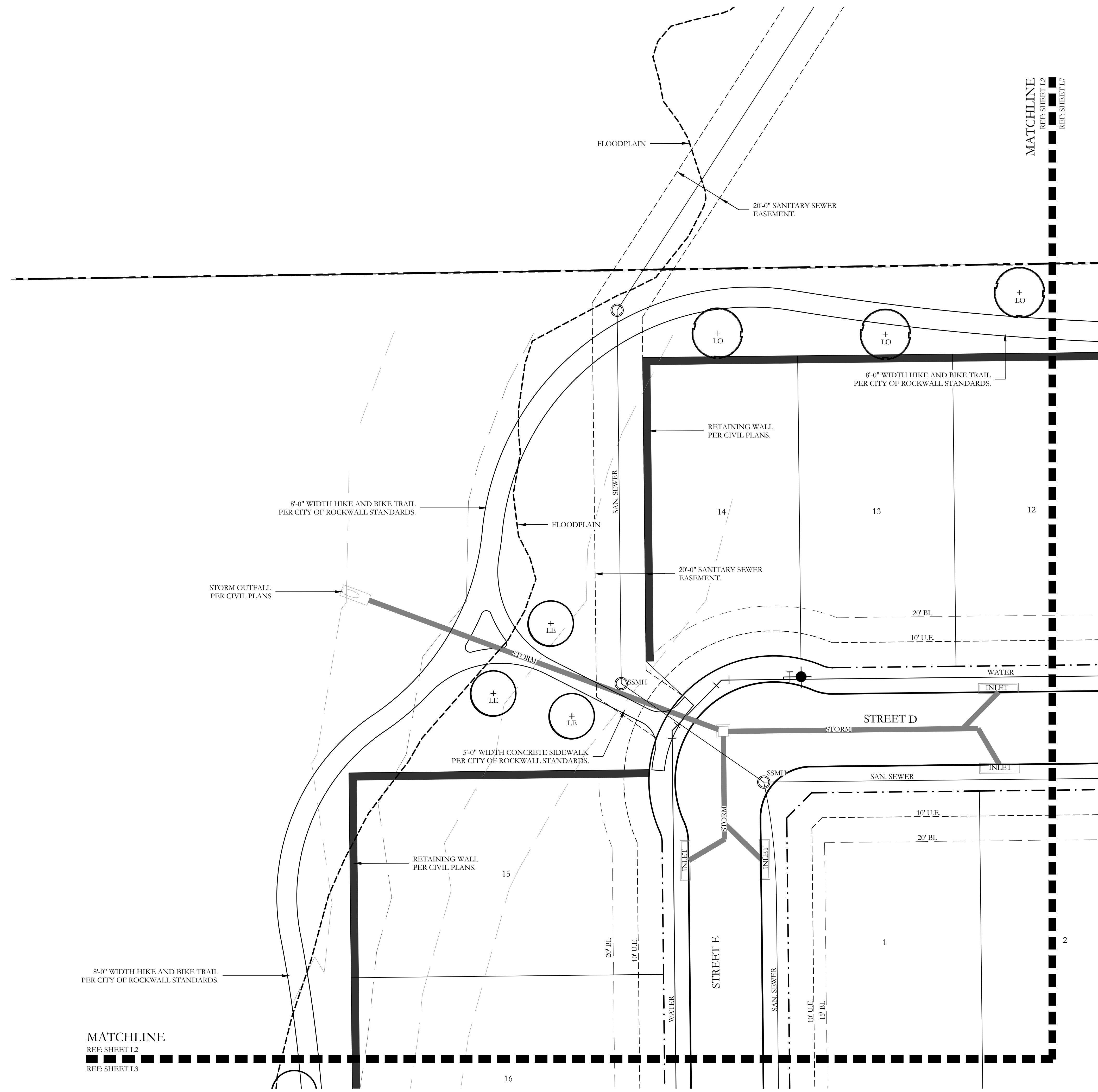
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LAYZA & LUNA
REAL ESTATE, LLC
DOCUMENT NO.
2022000001115
D.R.R.C.T.



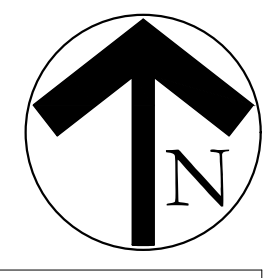
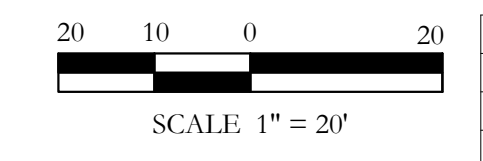
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE
REF: SHEET L2
REF: SHEET L3

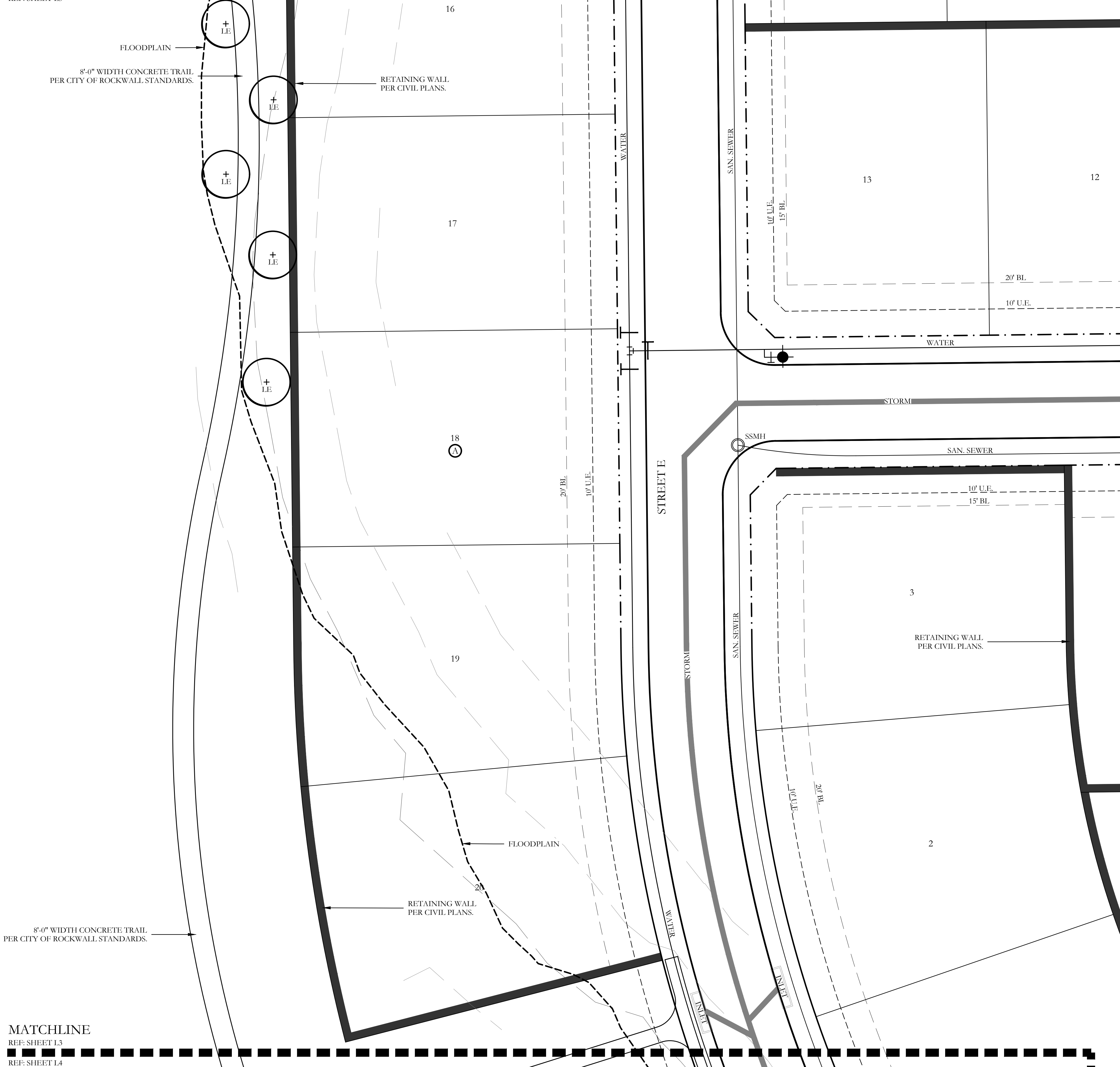
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REF: SHEET L7



MATCHLINE

REF: SHEET L2

REF: SHEET L3



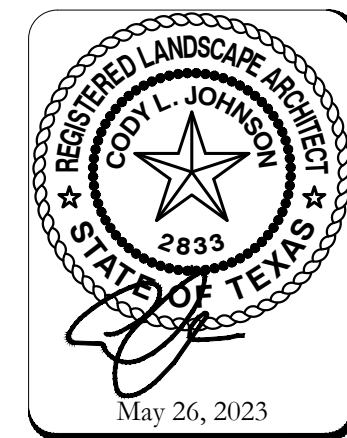
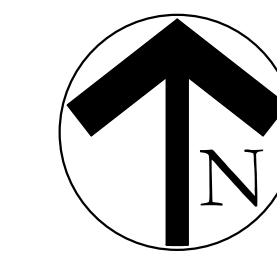
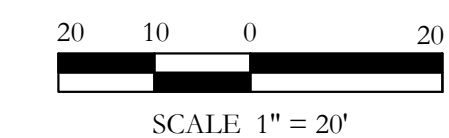
PLANT LEGEND

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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE

REF: SHEET L3

REF: SHEET L4



MATCHLINE

REF: SHEET L3

REF: SHEET L4

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

21

22

23

FLOODPLAIN

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

POND EDGE

DETENTION POND

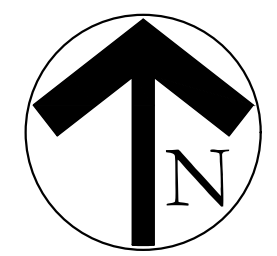
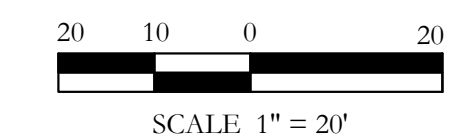
MATCHLINE

REF: SHEET L4

REF: SHEET L5

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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MATCHLINE

REF: SHEET L4

REF: SHEET L5

M

REF

REF

MATCHLINE
REF: SHEET L5
REF: SHEET L9

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

POND EDGE

DETENTION
POND

POND EDGE

FUTURE AMENITY
CENTER

STORM OUTFALL PER
CIVIL PLANS.

STORM
INLET

WATER

INLET

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

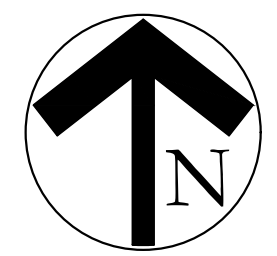
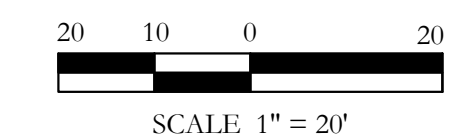
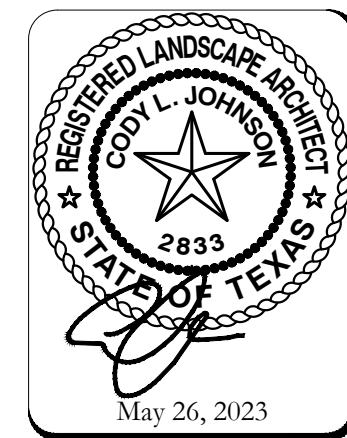
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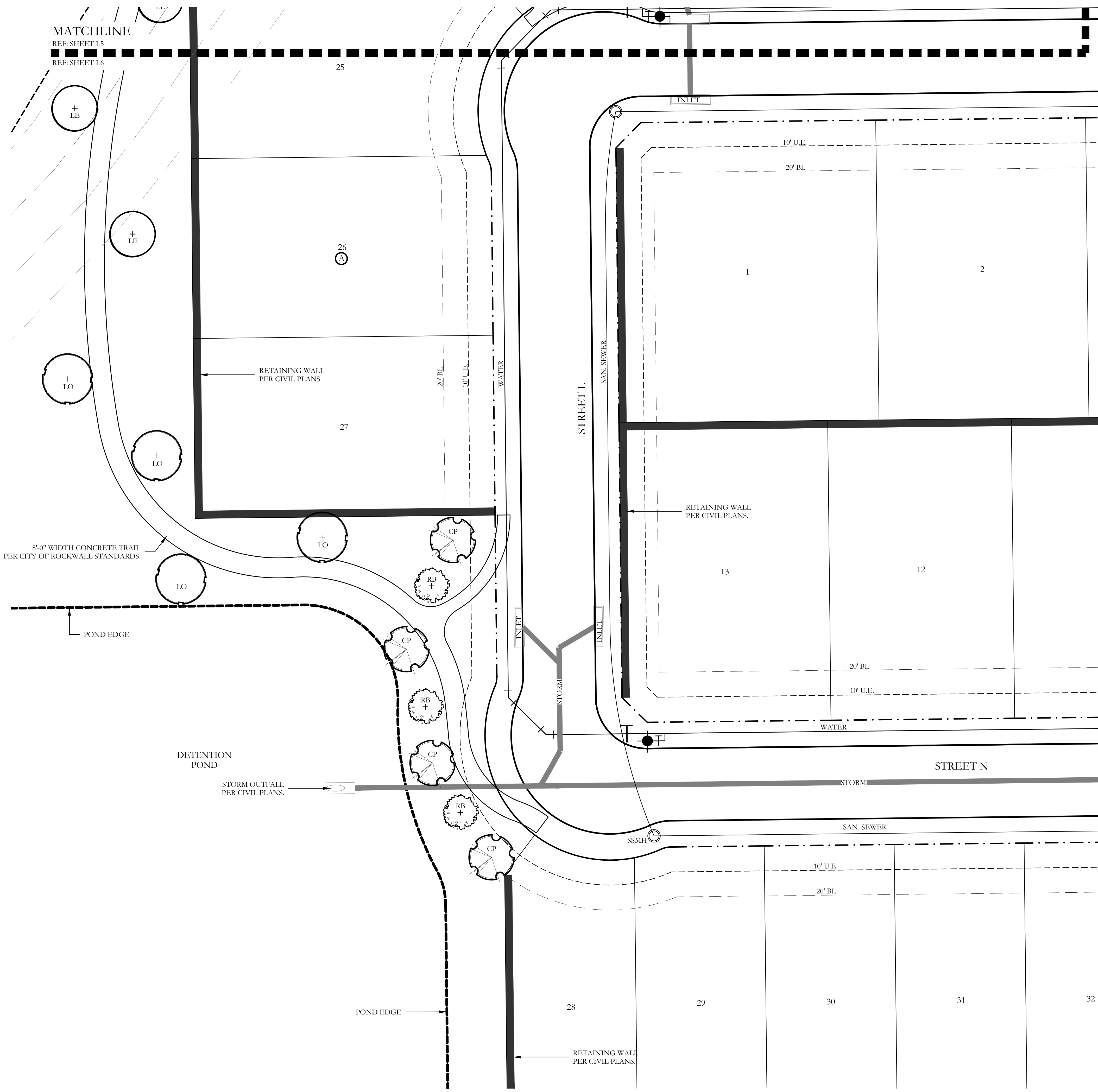
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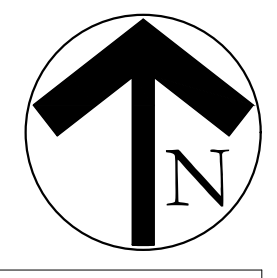
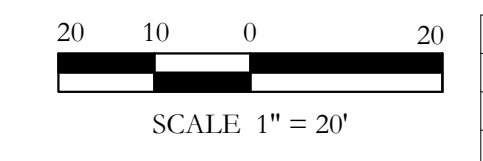
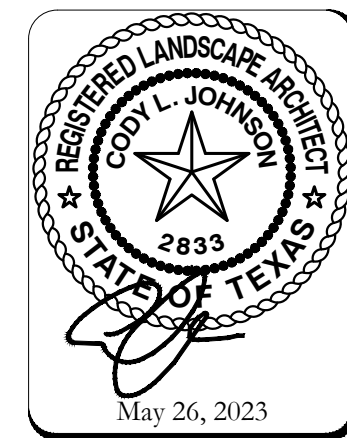
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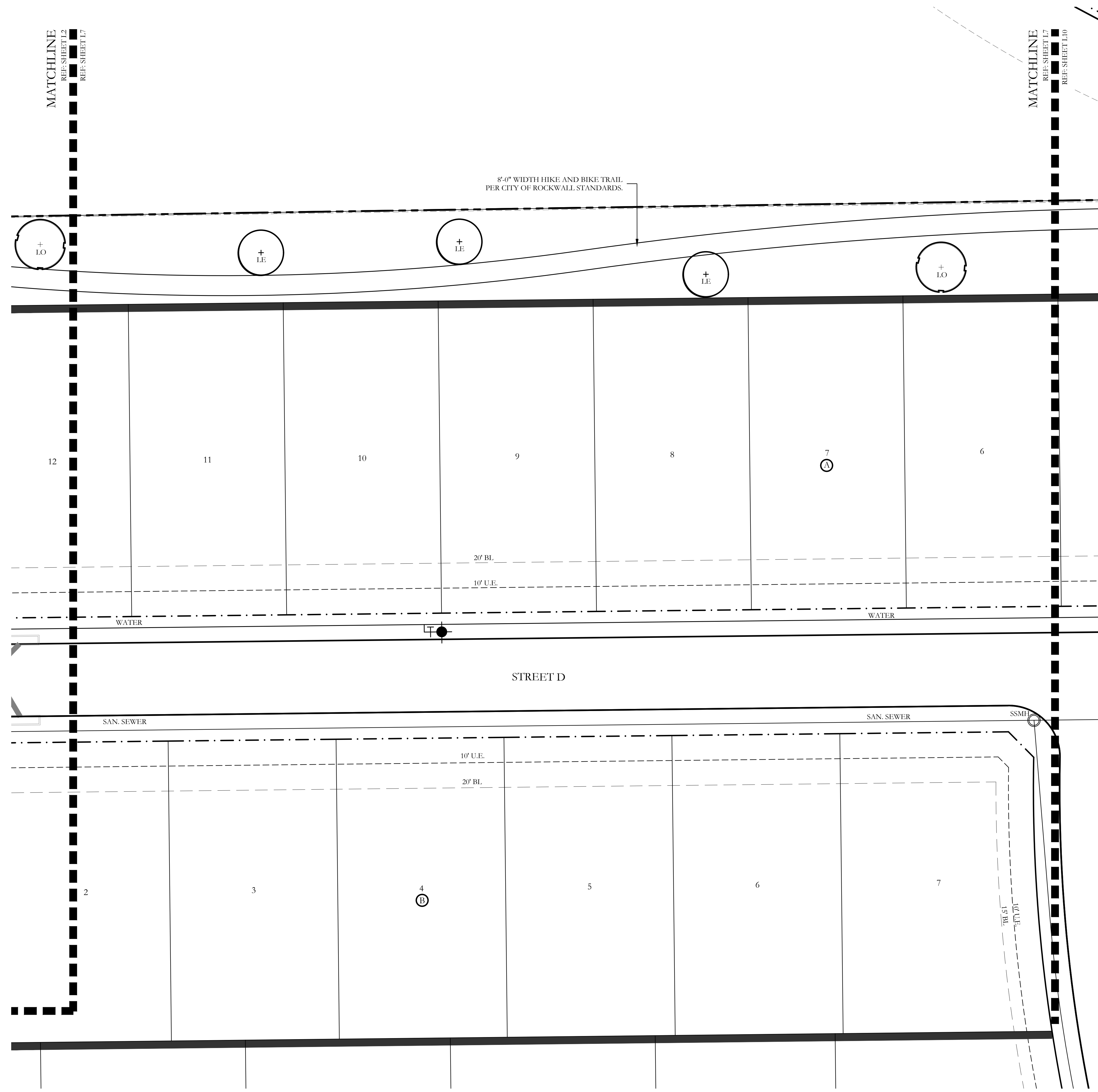


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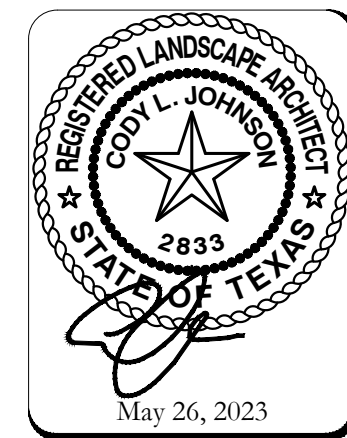
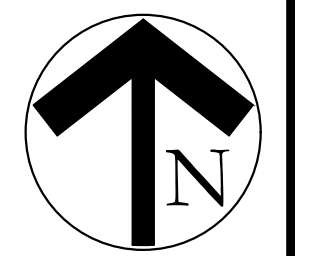
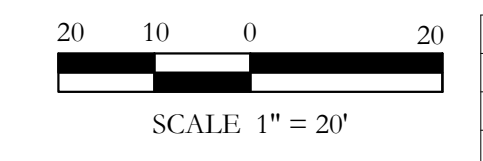


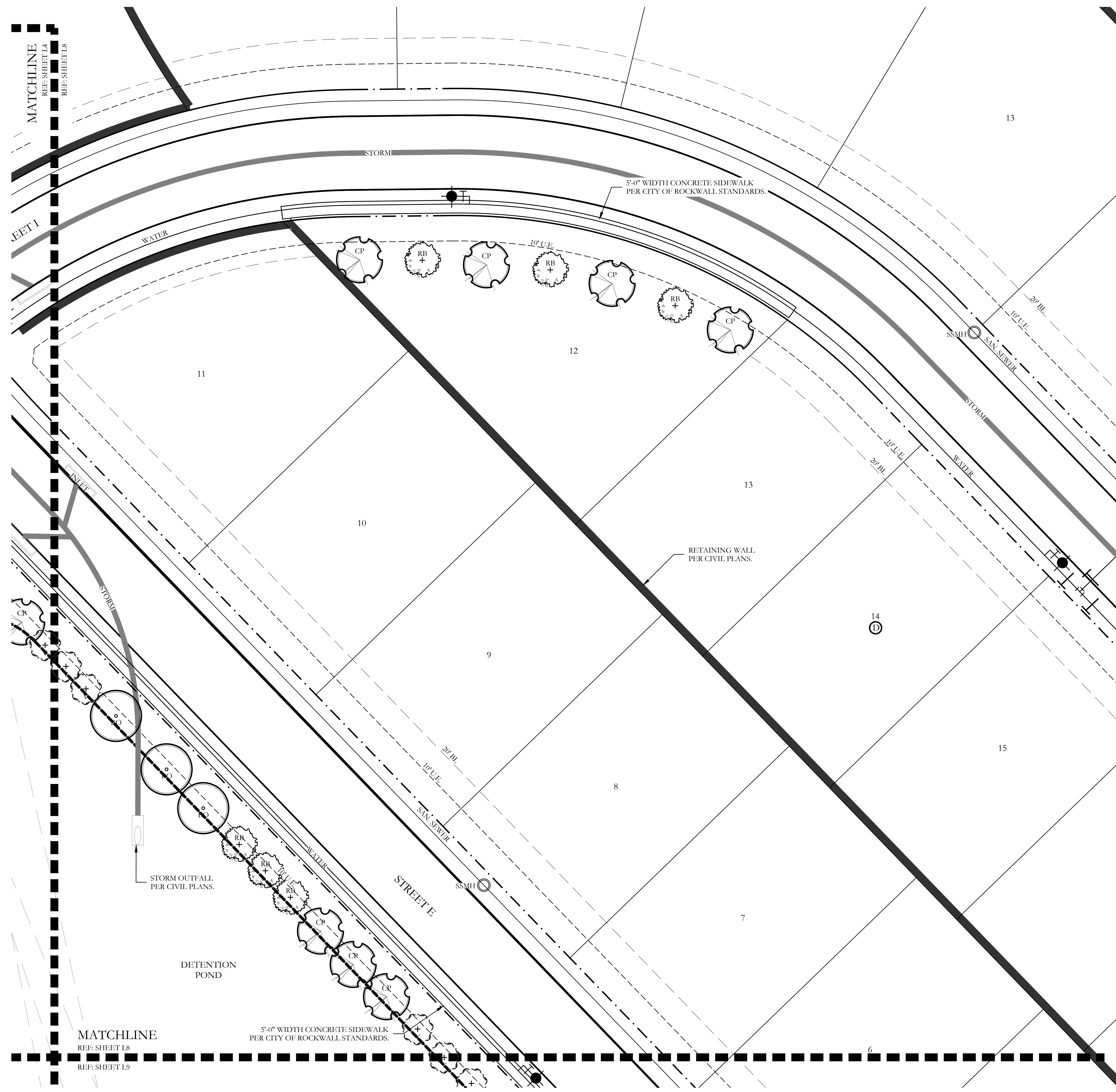
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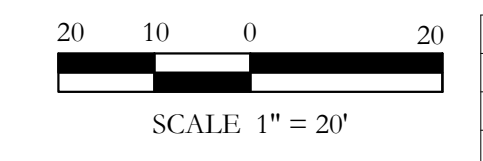
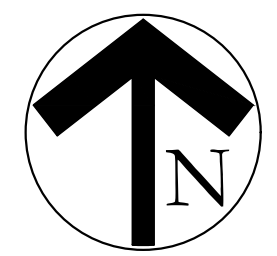
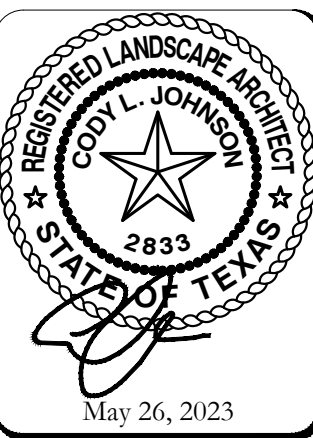


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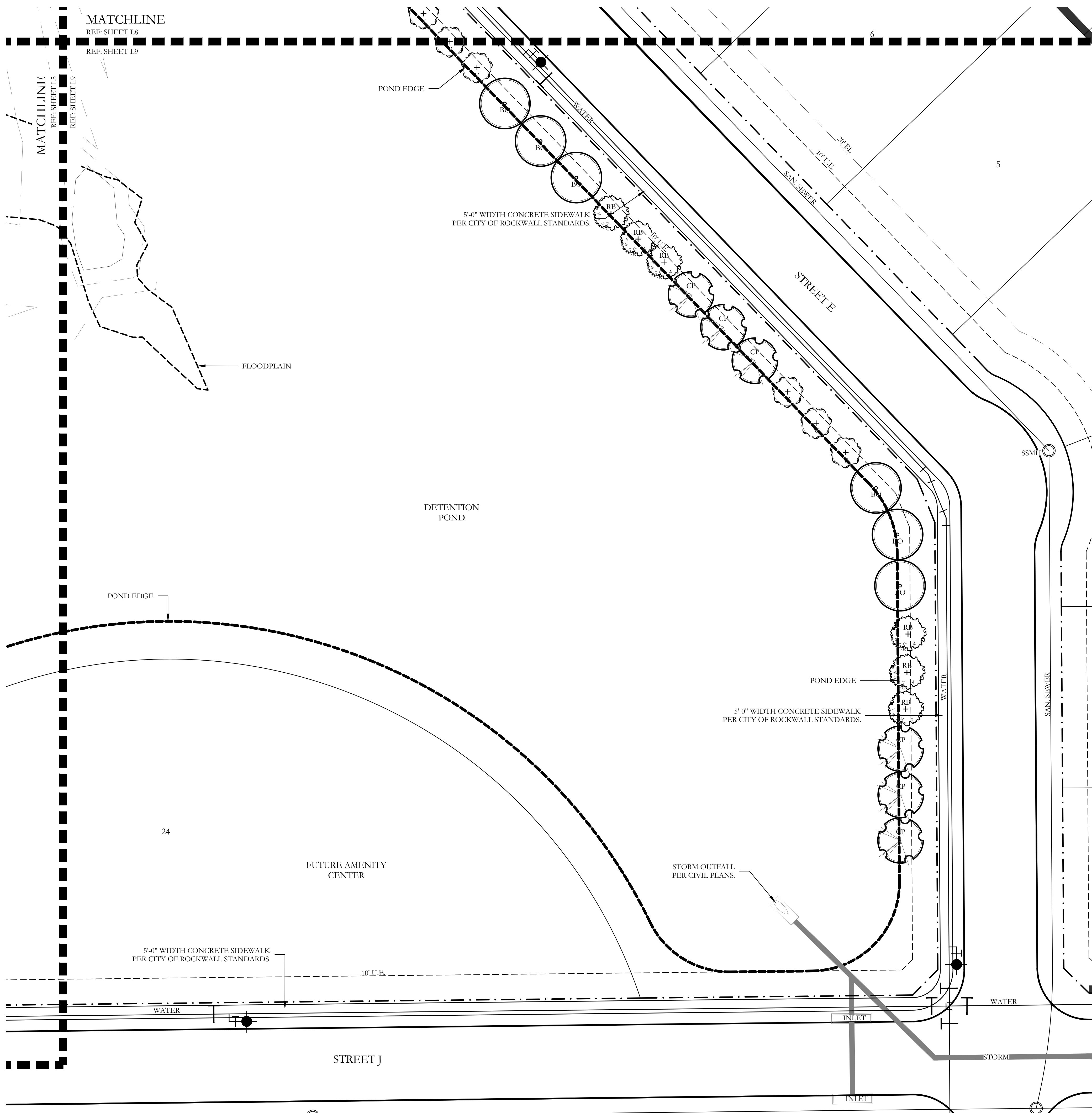




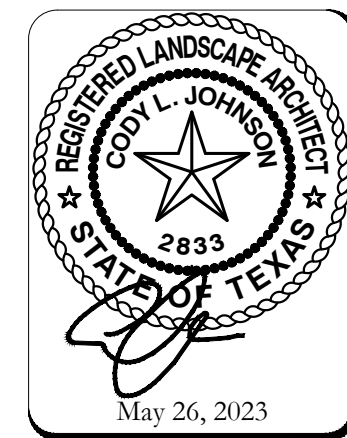
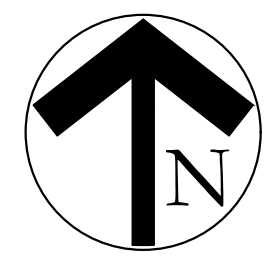
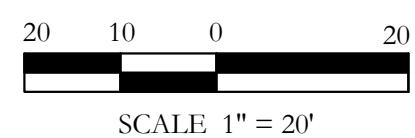
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



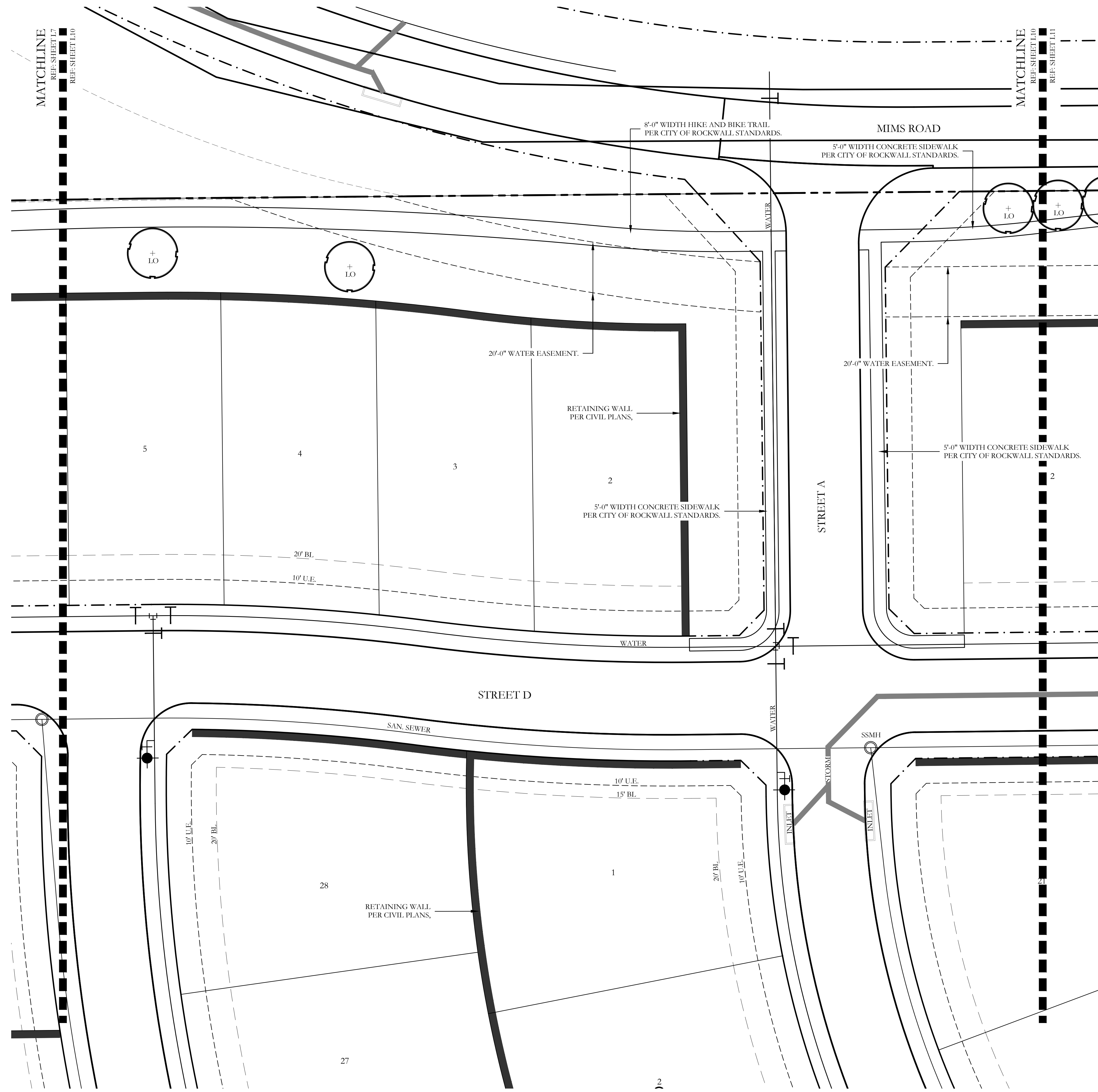
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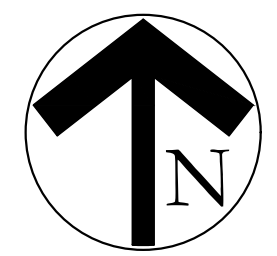
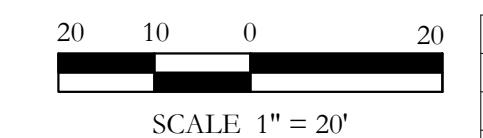
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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
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	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

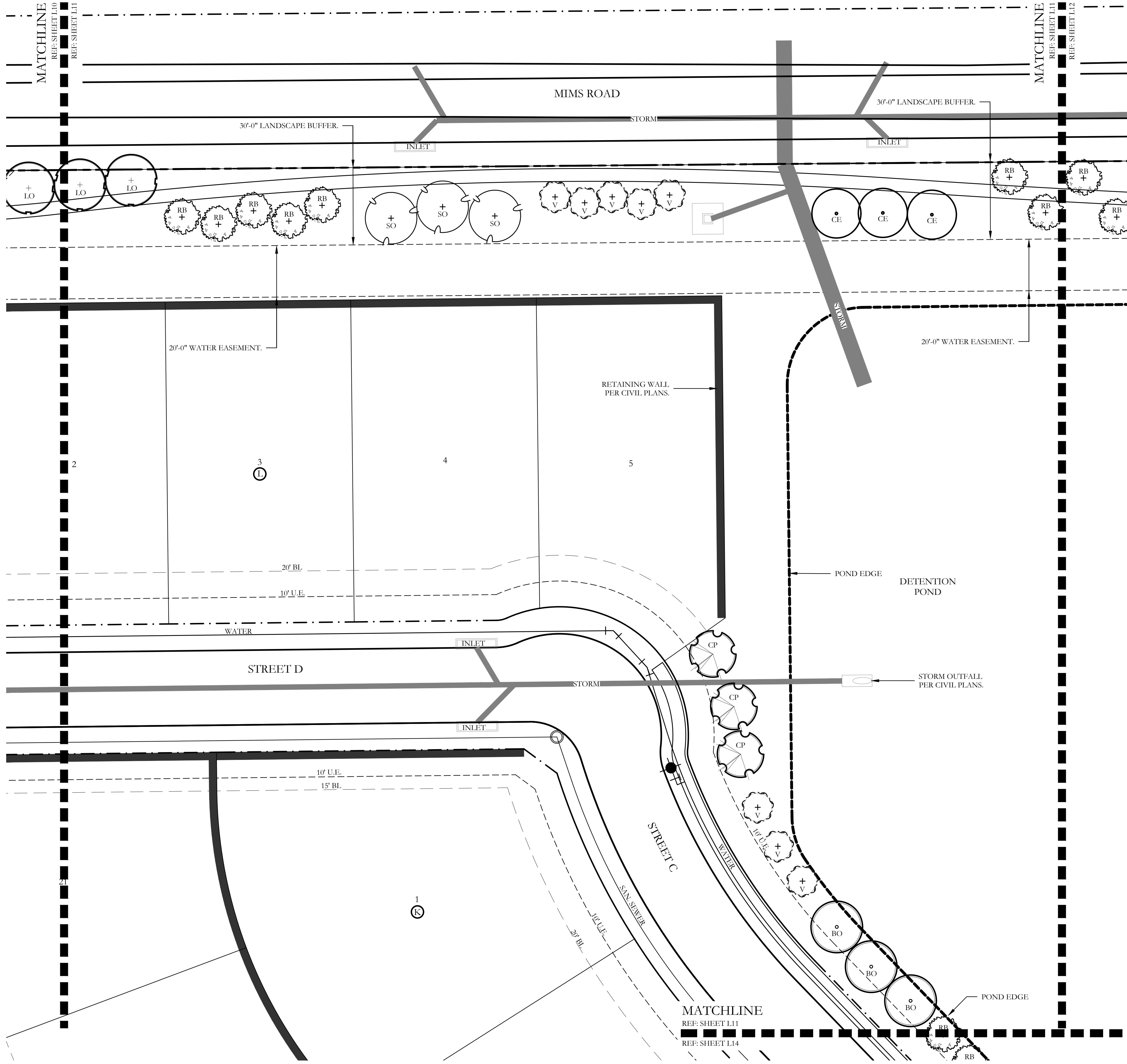


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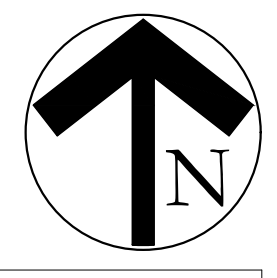
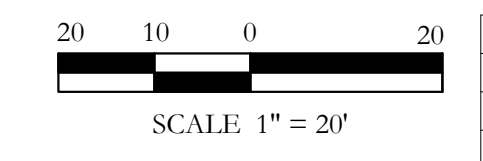
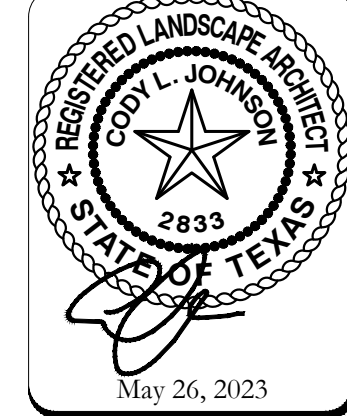
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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
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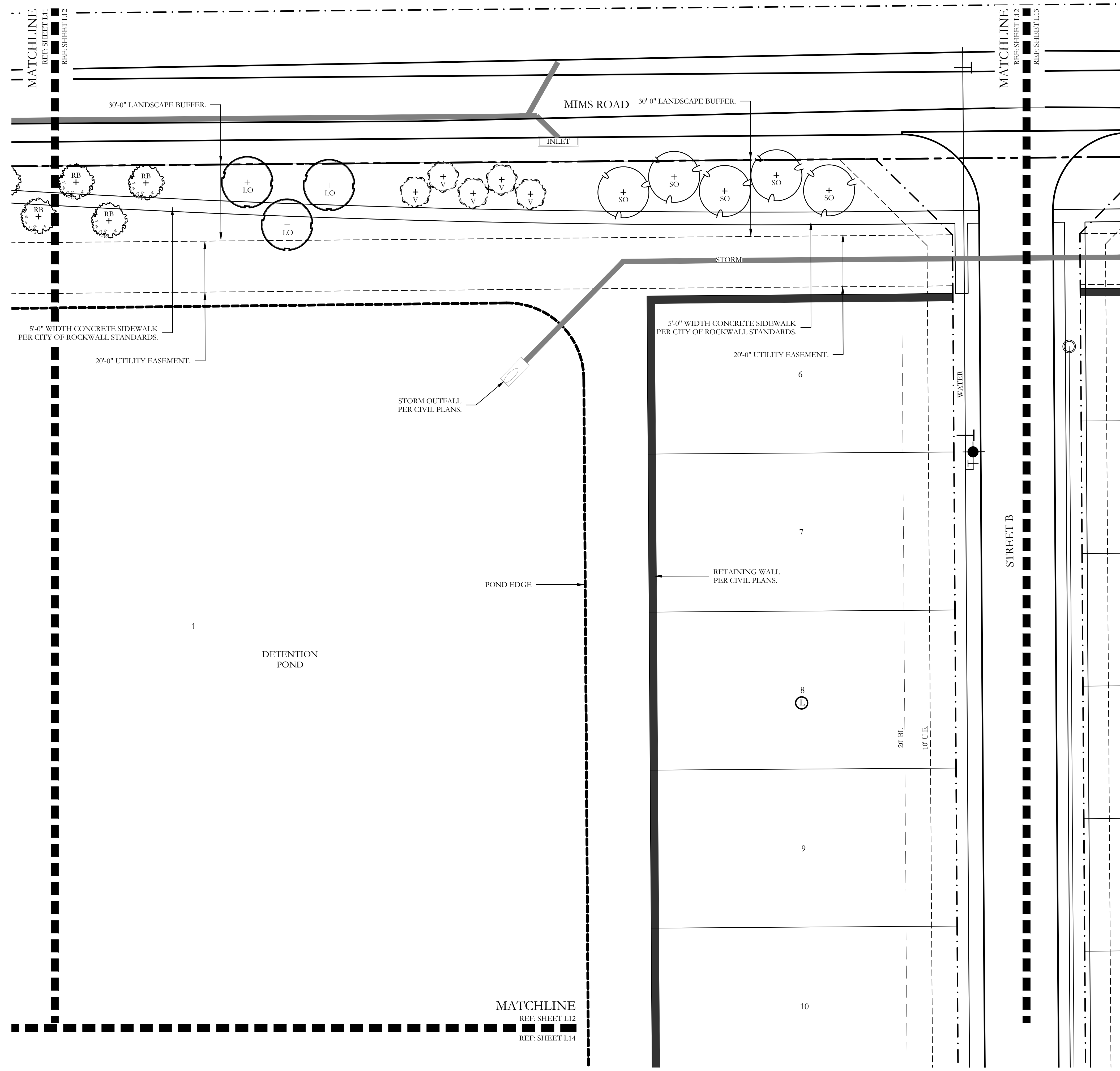


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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

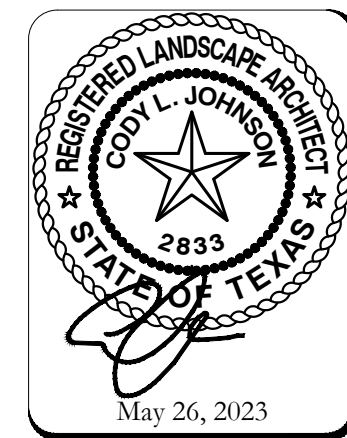
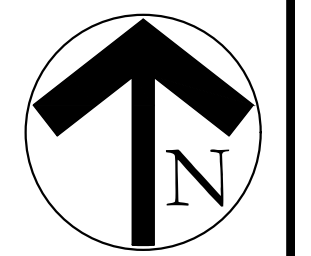
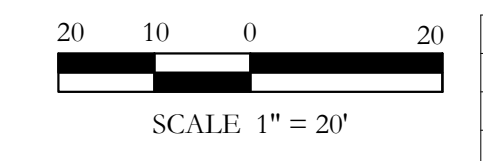
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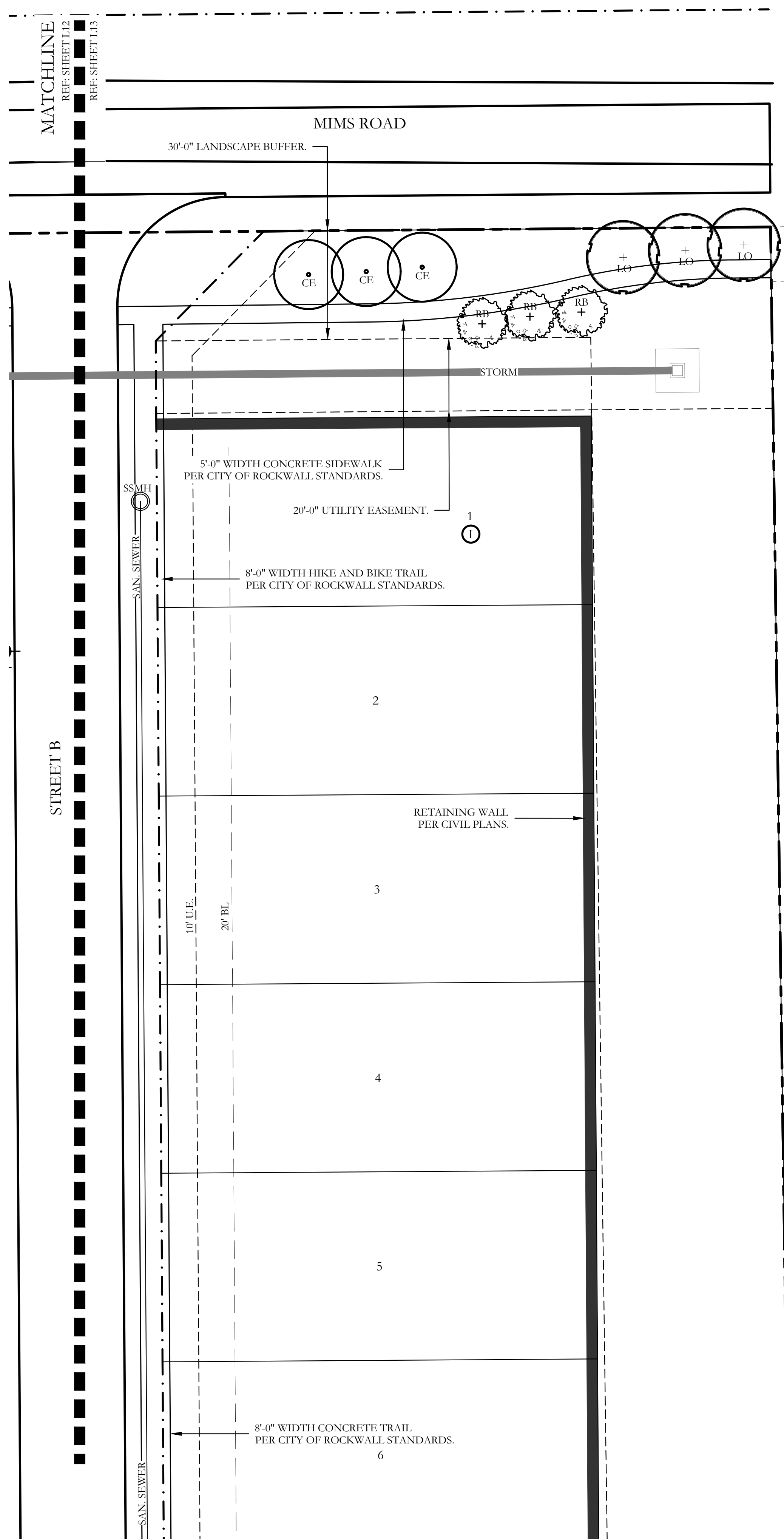
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SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	STORM ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	CE	5'-0" WIDTH CONCRETE SIDEWALK PER CITY OF ROCKWALL STANDARDS.		4" CALIPER	AS SHOWN
	U	20'-0" UTILITY EASEMENT.			

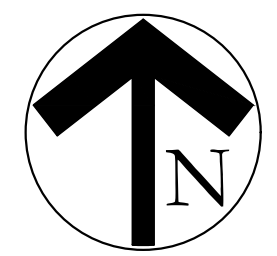
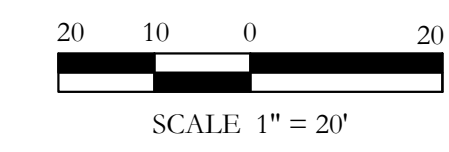


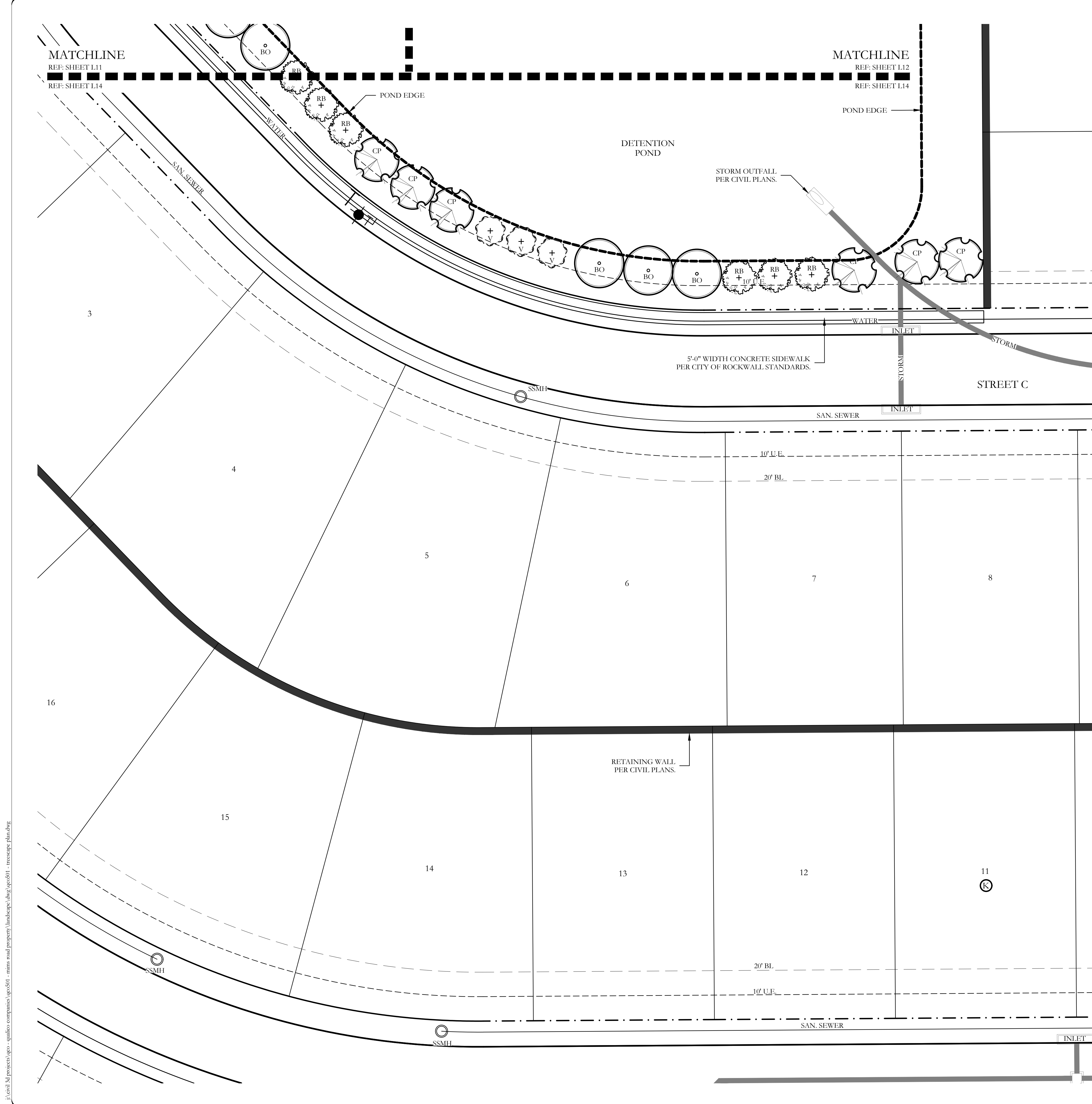
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

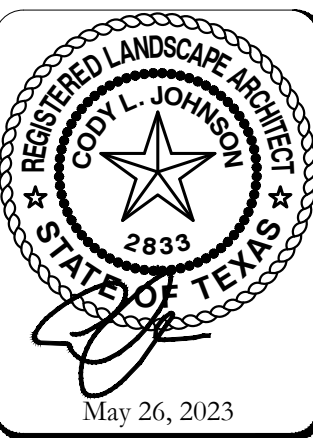
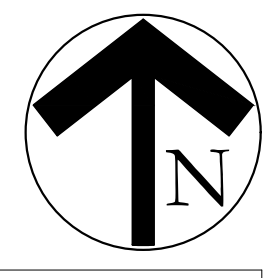
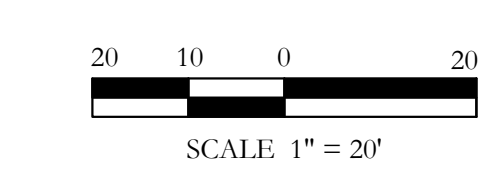


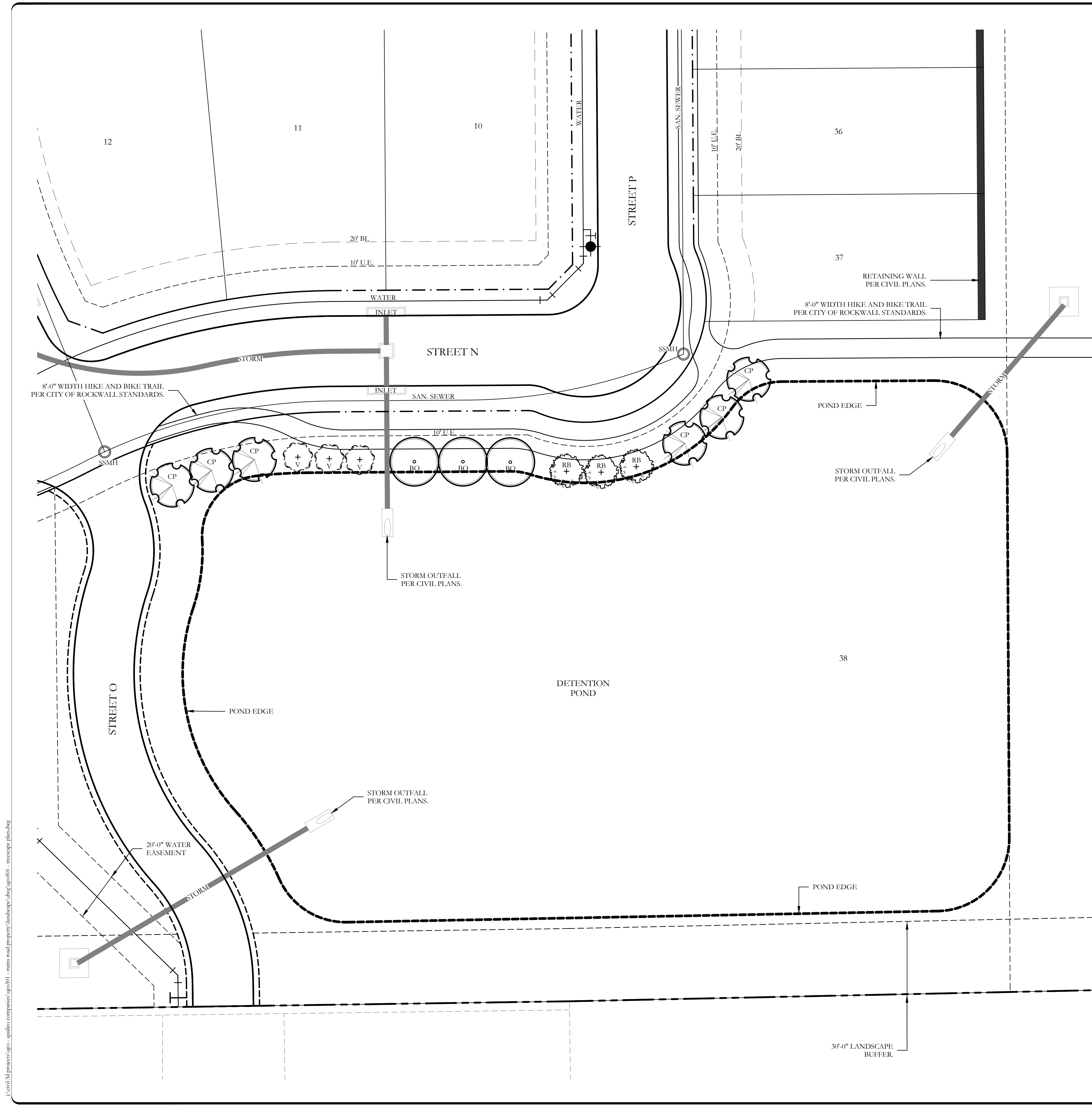


GENERAL LANDSCAPE NOTES PLANT LEGEND

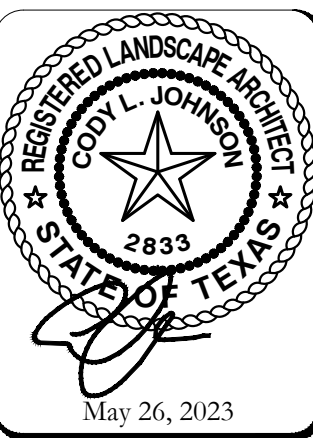
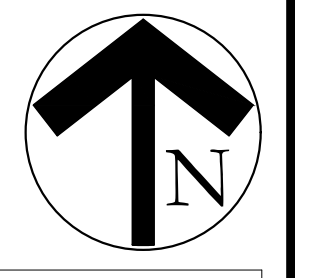
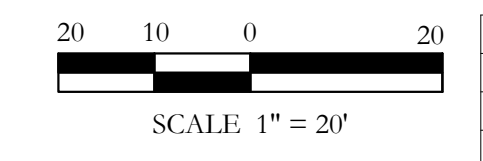
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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LANDSCAPE PROVIDED

MIMS ROAD

- A. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 4" CAL. TREES REQUIRED.
PROVIDED: 23 - 4" CALIPER AND GREATER CANOPY TREES PROVIDED
- A. 1-2" CAL. ACCENT TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 2" CAL. TREES REQUIRED.
PROVIDED: 23 - 2" CALIPER AND GREATER CANOPY TREES PROVIDED

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	20	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	38	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	28	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	40	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
2. IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
3. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
4. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
5. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
6. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
7. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
8. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



PEACHTREE MEADOWS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

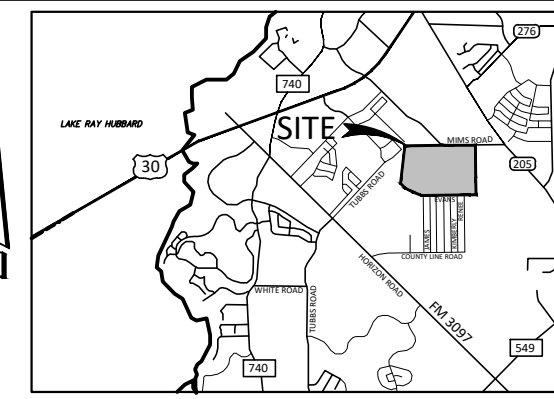
TREESCAPE PLAN
LANDSCAPE SCHEDULE & DETAILS



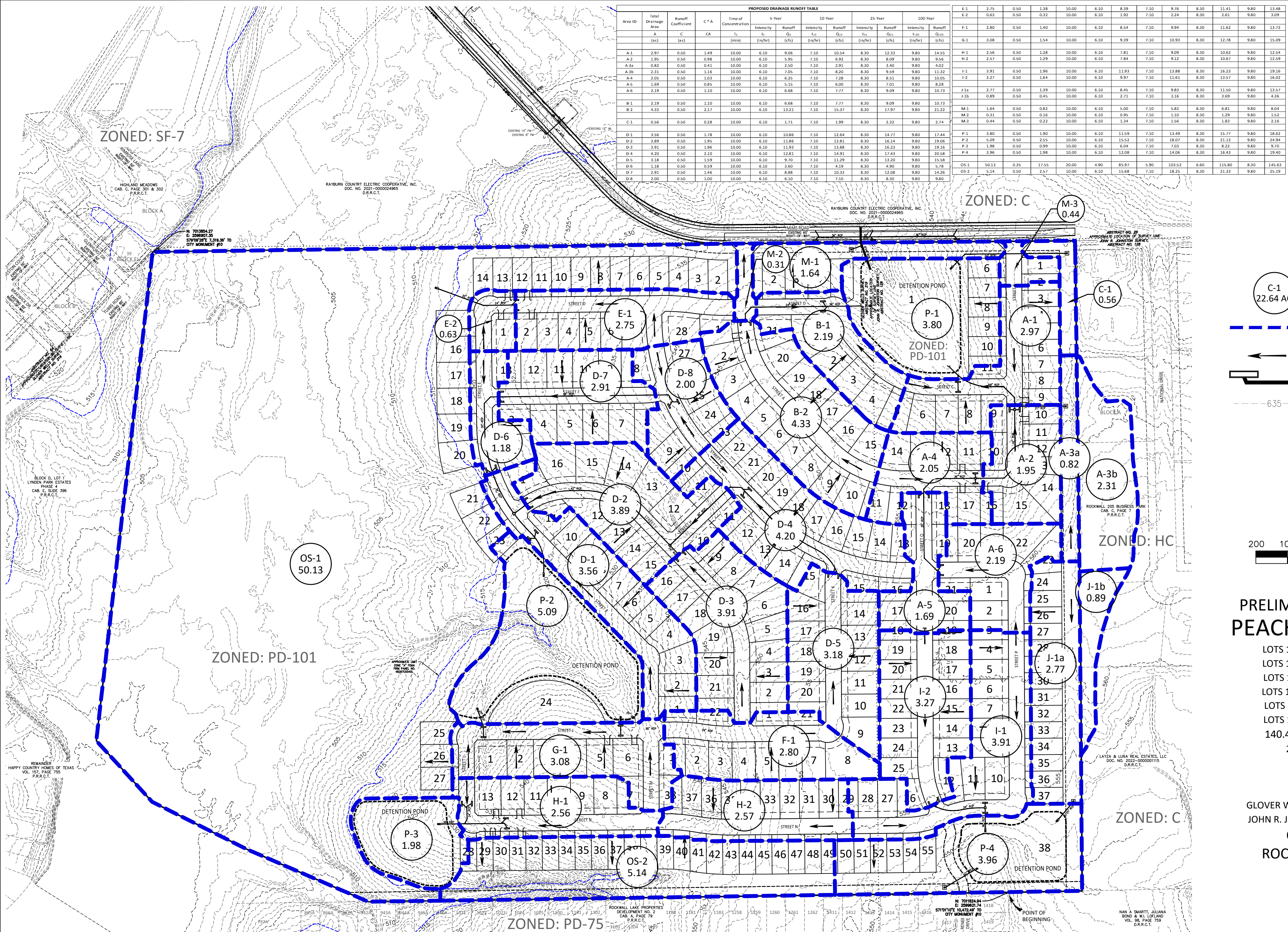
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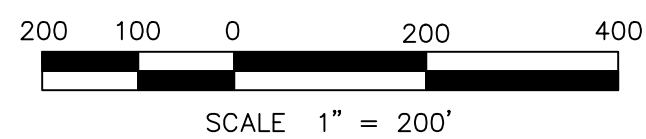
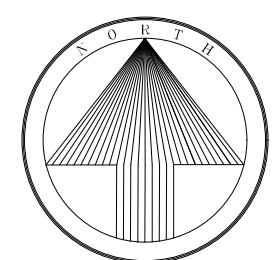
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					5-Year Intensity (in/hr)	5-Year Runoff (cfs)	10-Year Intensity (in/hr)	10-Year Runoff (cfs)	25-Year Intensity (in/hr)	25-Year Runoff (cfs)	100-Year Intensity (in/hr)	100-Year Runoff (cfs)
A-1	2.97	0.50	1.49	10.00	6.10	9.06	7.10	10.54	8.30	12.33	9.80	14.55
A-2	1.95	0.50	0.98	10.00	6.10	5.95	7.10	6.92	8.30	8.09	9.80	9.56
A-3a	0.82	0.50	0.41	10.00	6.10	2.50	7.10	2.91	8.30	3.40	9.80	4.02
A-3b	2.31	0.50	1.16	10.00	6.10	7.05	7.10	8.20	8.30	9.59	9.80	11.32
A-4	2.05	0.50	1.03	10.00	6.10	6.25	7.10	7.28	8.30	8.51	9.80	10.05
A-5	1.69	0.50	0.85	10.00	6.10	5.15	7.10	6.00	8.30	7.01	9.80	8.28
A-6	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-1	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-2	4.33	0.50	2.17	10.00	6.10	13.21	7.10	15.37	8.30	17.97	9.80	21.22
C-1	0.56	0.50	0.28	10.00	6.10	1.71	7.10	1.99	8.30	2.32	9.80	2.74
D-1	3.56	0.50	1.78	10.00	6.10	10.86	7.10	12.64	8.30	14.77	9.80	17.44
D-2	3.89	0.50	1.95	10.00	6.10	11.86	7.10	13.81	8.30	16.14	9.80	19.06
D-3	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
D-4	4.20	0.50	2.10	10.00	6.10	12.81	7.10	14.91	8.30	17.43	9.80	20.58
D-5	3.18	0.50	1.59	10.00	6.10	9.70	7.10	11.29	8.30	13.20	9.80	15.58
D-6	1.18	0.50	0.59	10.00	6.10	3.60	7.10	4.19	8.30	4.90	9.80	5.78
D-7	2.91	0.50	1.46	10.00	6.10	8.88	7.10	10.33	8.30	12.08	9.80	14.26
D-8	2.00	0.50	1.00	10.00	6.10	6.10	7.10	7.10	8.30	8.30	9.80	9.80
E-1	2.75	0.50	1.38	10.00	6.10	8.39	7.10	9.76	8.30	11.41	9.80	13.48
E-2	0.63	0.50	0.32	10.00	6.10	1.92	7.10	2.24	8.30	2.61	9.80	3.09
F-1	2.80	0.50	1.40	10.00	6.10	8.54	7.10	9.94	8.30	11.62	9.80	13.72
G-1	3.08	0.50	1.54	10.00	6.10	9.39	7.10	10.93	8.30	12.78	9.80	15.09
H-1	2.56	0.50	1.28	10.00	6.10	7.81	7.10	9.09	8.30	10.62	9.80	12.54
H-2	2.57	0.50	1.29	10.00	6.10	7.84	7.10	9.12	8.30	10.67	9.80	12.59
I-1	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
I-2	3.27	0.50	1.64	10.00	6.10	9.97	7.10	11.61	8.30	13.57	9.80	16.02
J-1a	2.77	0.50	1.39	10.00	6.10	8.45	7.10	9.83	8.30	11.50	9.80	13.57
J-1b	0.89	0.50	0.45	10.00	6.10	2.71	7.10	3.16	8.30	3.69	9.80	4.36
M-1	1.64	0.50	0.82	10.00	6.10	5.00	7.10	5.83	8.30	6.81	9.80	8.04
M-2	0.31	0.50	0.16	10.00	6.10	0.95	7.10	1.10	8.30	1.29	9.80	1.52
M-3	0.44	0.50	0.22	10.00	6.10	1.34	7.10	1.56	8.30	1.83	9.80	2.16
P-1	3.80	0.50	1.90	10.00	6.10	11.59	7.10	13.49	8.30	15.77	9.80	18.62
P-2	5.09	0.50	2.55	10.00	6.10	15.52	7.10	18.07	8.30	21.12	9.80	24.94
P-3	1.98	0.50	0.99	10.00	6.10	6.04	7.10	7.03	8.30	8.22	9.80	9.70
P-4	3.96	0.50	1.98	10.00	6.10	12.08	7.10	14.06	8.30	16.43	9.80	19.40
OS-1	50.13	0.35	17.55	20.00	4.90	85.97	5.90	103.52	6.60	115.80	8.30	145.63
OS-2	5.14	0.50	2.57	10.00	6.10	15.68	7.10	18.25	8.30	21.33	9.80	25.19



VICINITY MAP N.T.S.



- DRAINAGE AREA DESIGNATION
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



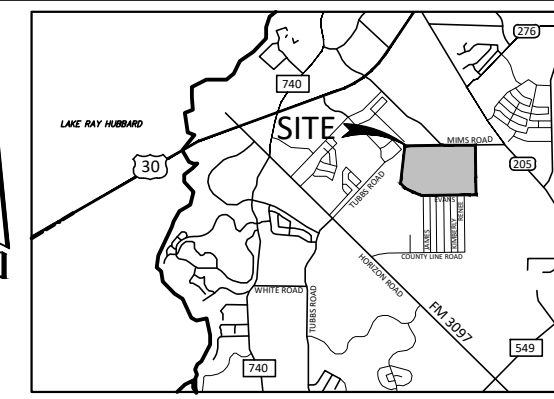
PRELIMINARY DRAINAGE PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
 140.494 ACRES OR 6,119,939 SQ. FT.
 292 SINGLE FAMILY LOTS AND
 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 SITUATED WITHIN THE
 GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
 JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2023-xxx
 June 12, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

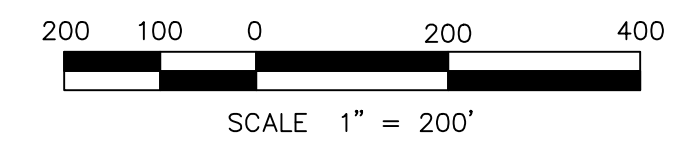
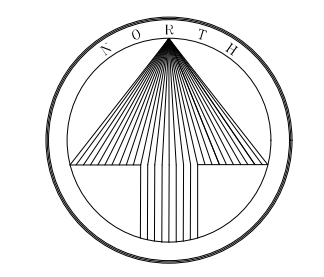
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
- D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas

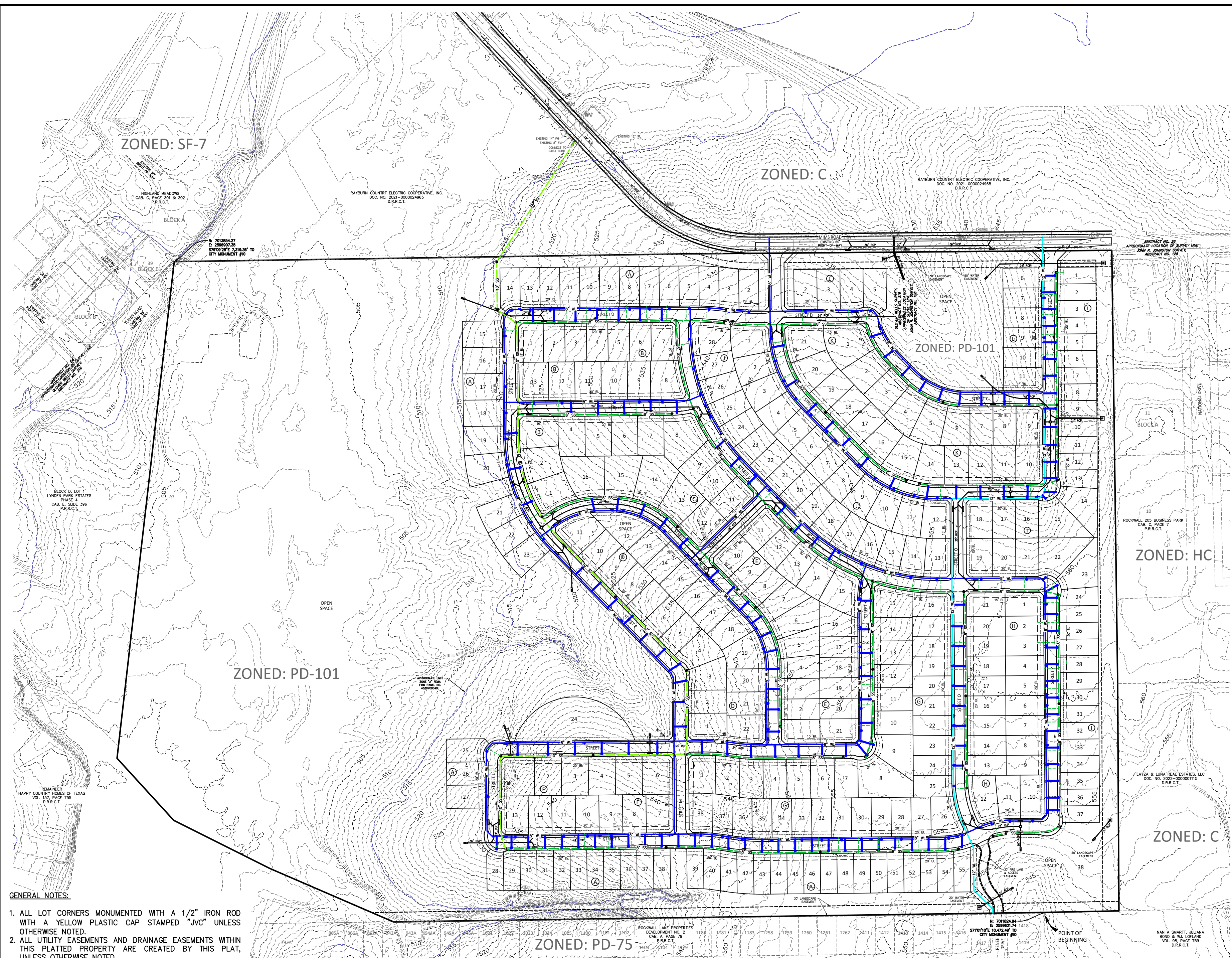


**PRELIMINARY UTILITY PLAN
PEACHTREE MEADOWS**

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
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**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF



- GENERAL NOTES:**
1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0040L, DATED SEPTEMBER 26, 2008.
 5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
 7. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

02223-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 4, 7}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
⁴ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT _____ BLOCK _____

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 2,307.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

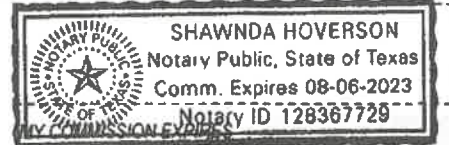
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2023

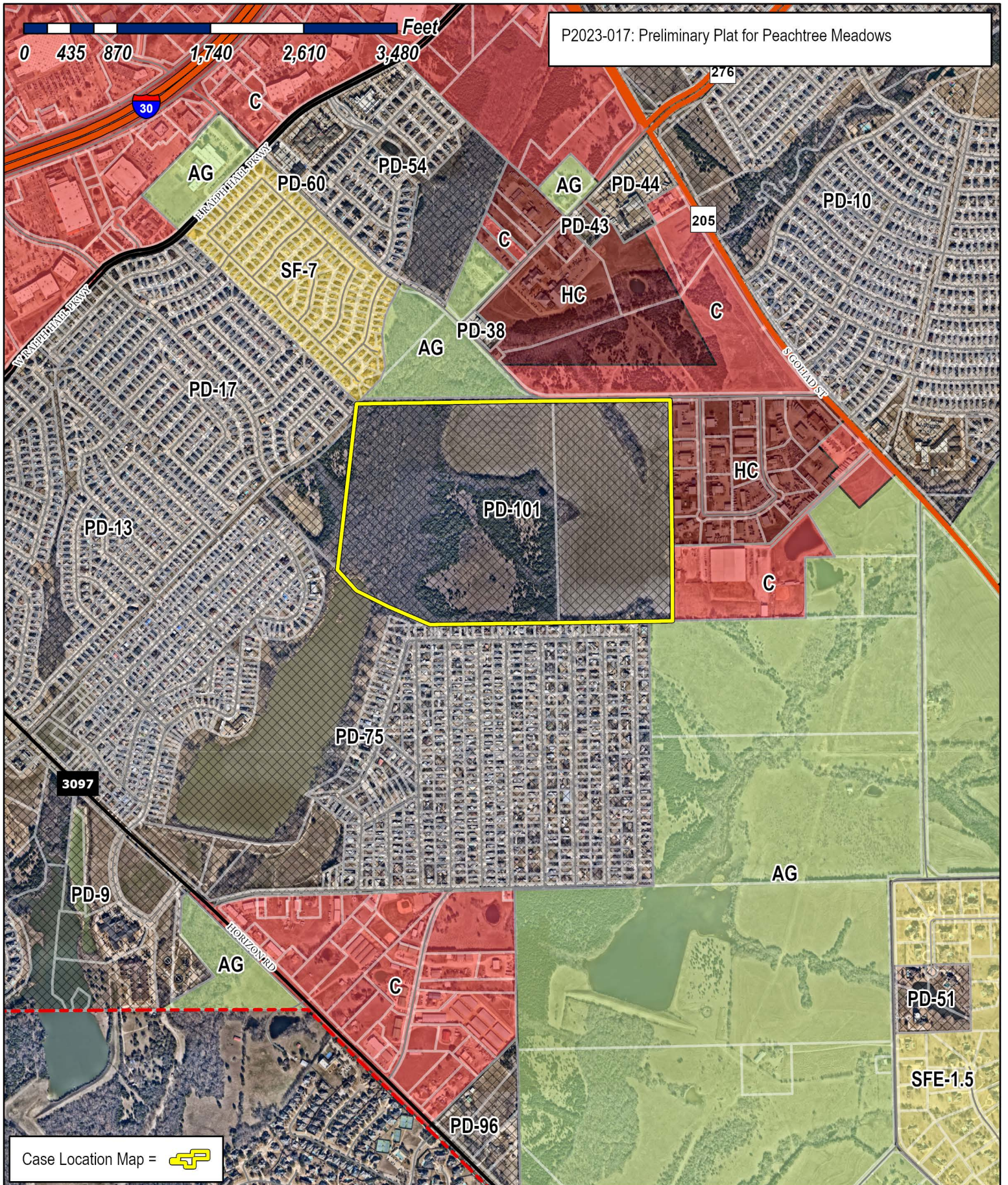
OWNER'S SIGNATURE

John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shawnda Hoiverson





P2023-017: Preliminary Plat for Peachtree Meadows

Case Location Map =

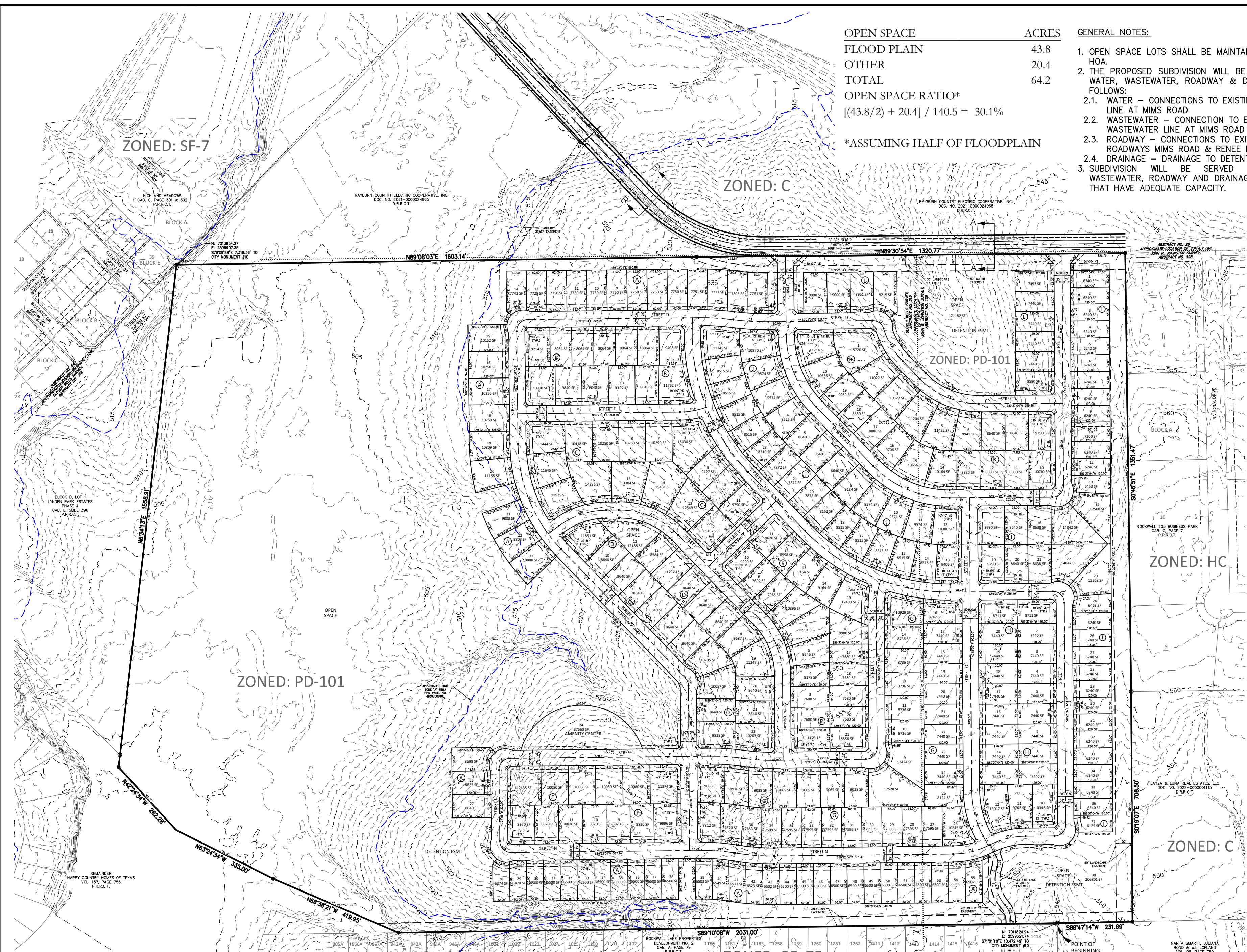


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



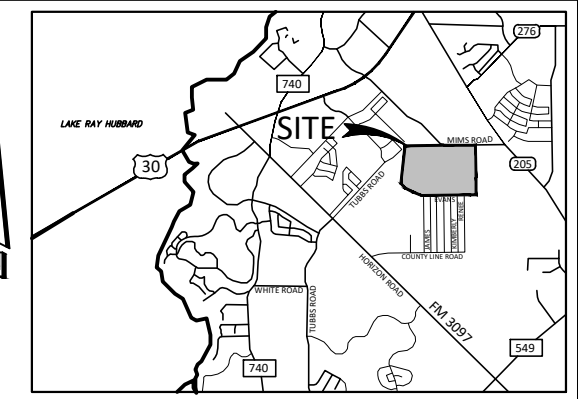


OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	$[(43.8/2) + 20.4] / 140.5 = 30.1\%$

*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER - CONNECTIONS TO EXISTING WATER LINE AT MIMS ROAD
 - WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
 - ROADWAY - CONNECTIONS TO EXISTING ROADWAYS MIMS ROAD & RENEE DRIVE
 - DRAINAGE - DRAINAGE TO DETENTION PONDS
- SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY AND DRAINAGE FACILITIES THAT HAVE ADEQUATE CAPACITY.



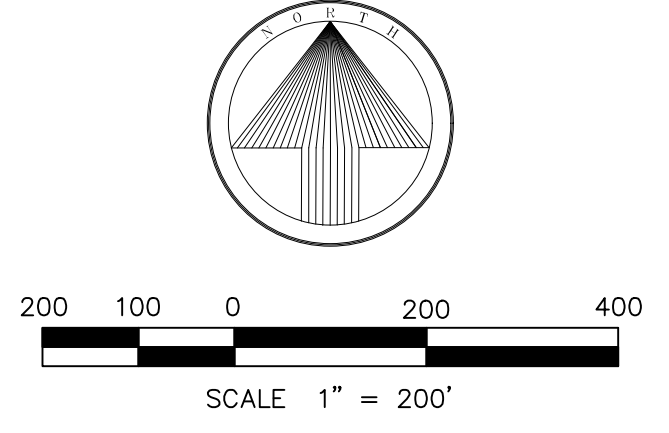
VICINITY MAP
N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- 1/2" IRF (unless otherwise noted)

AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement

D.R.R.C.T. = Deed Records of Rockwall County, Texas
P.R.R.C.T. = Plat Records of Rockwall County, Texas



PRELIMINARY PLAT
PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
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LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
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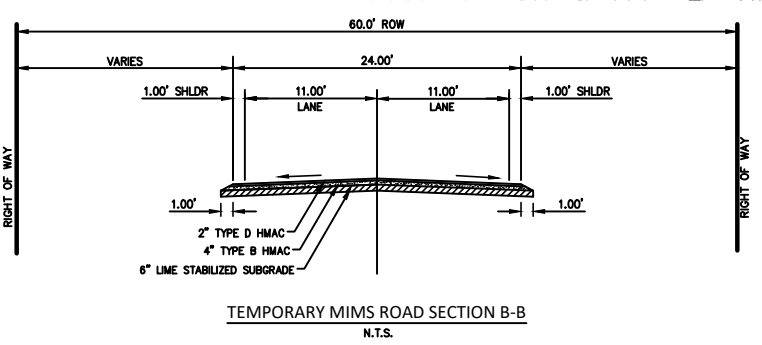
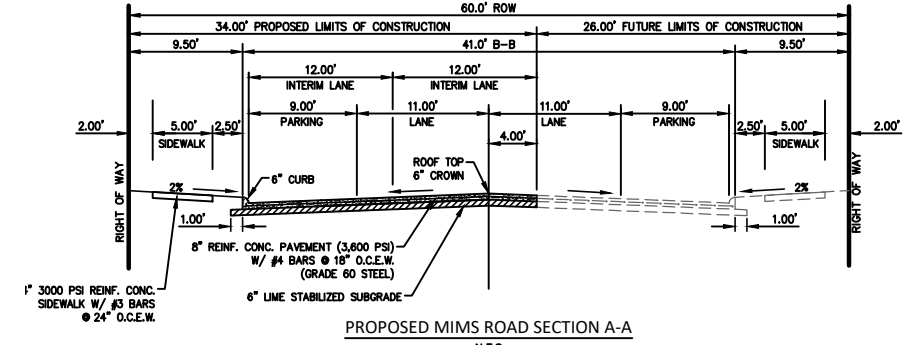
June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF
SHEET 1 OF 2

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

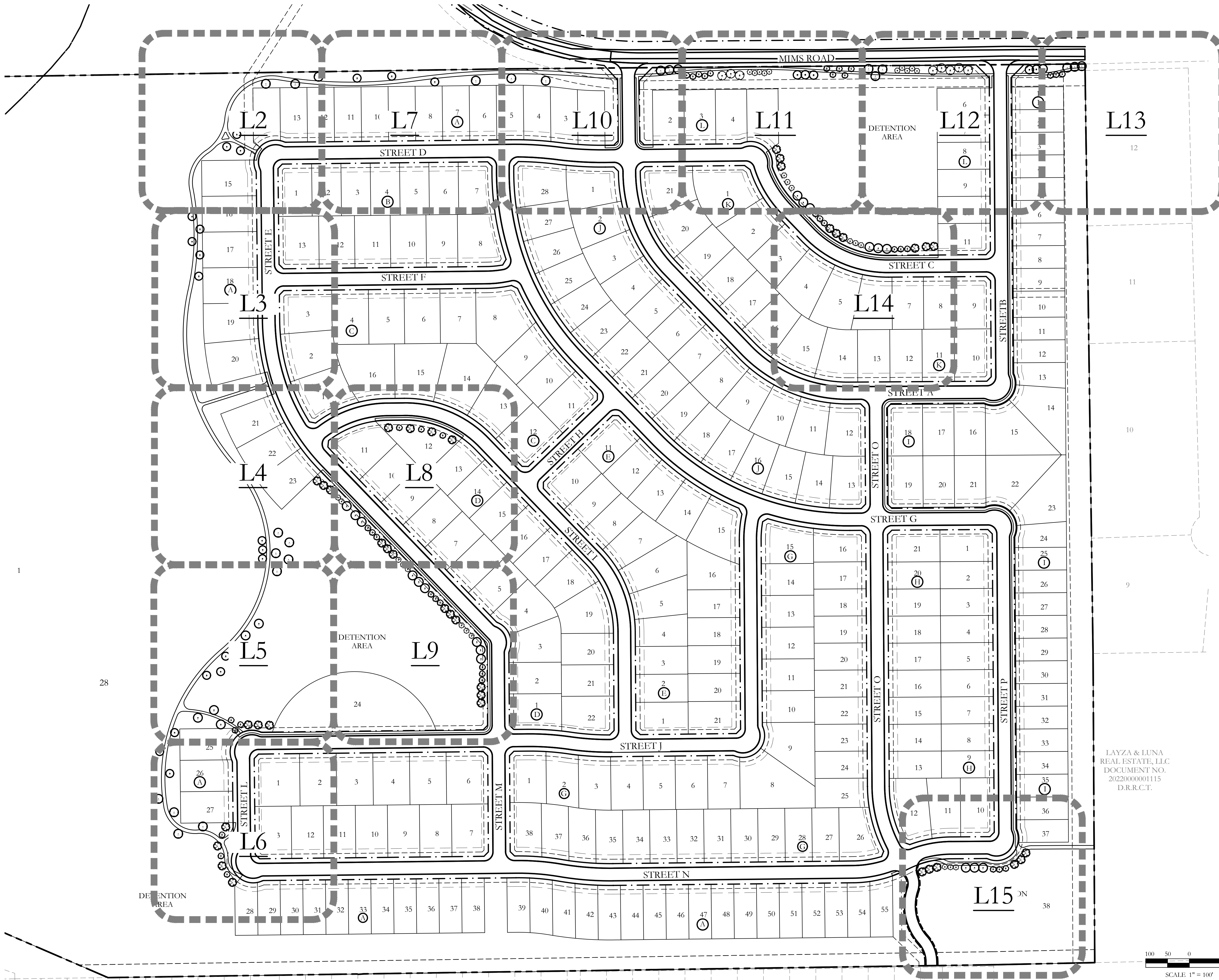
Engineer/Surveyor:
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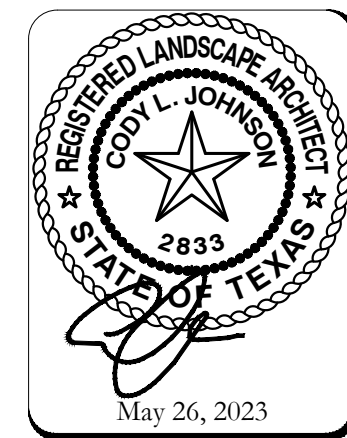
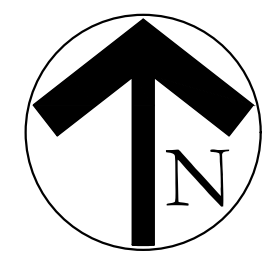
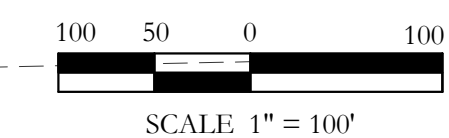


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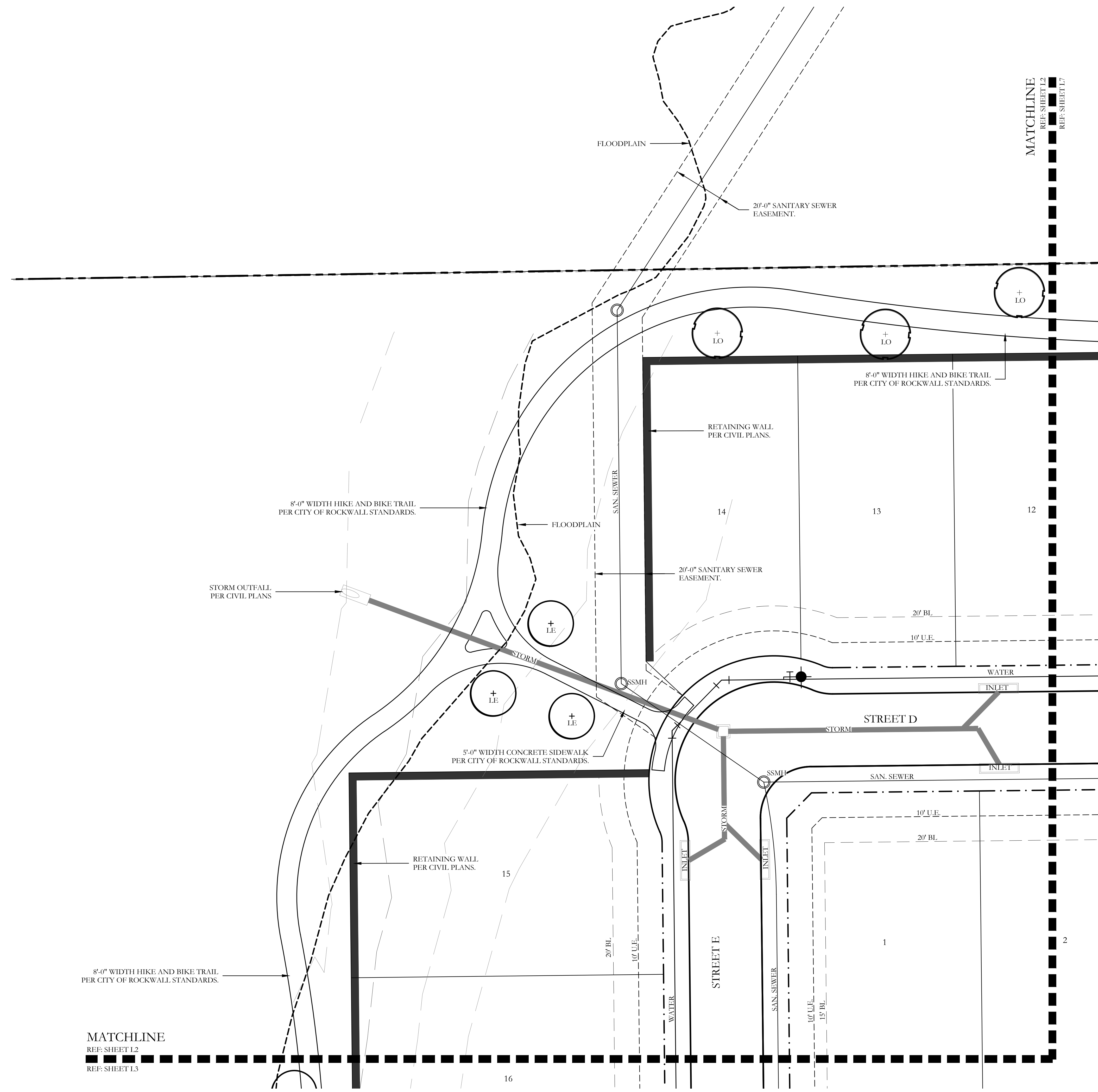
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LAYZA & LUNA
 REAL ESTATE, LLC
 DOCUMENT NO.
 2022000001115
 D.R.R.C.T.



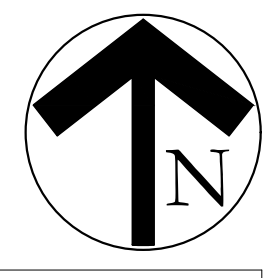
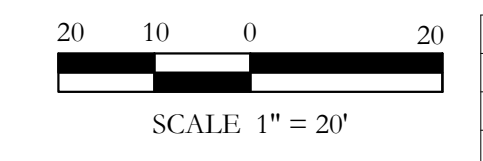
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE
REF: SHEET L2
REF: SHEET L3

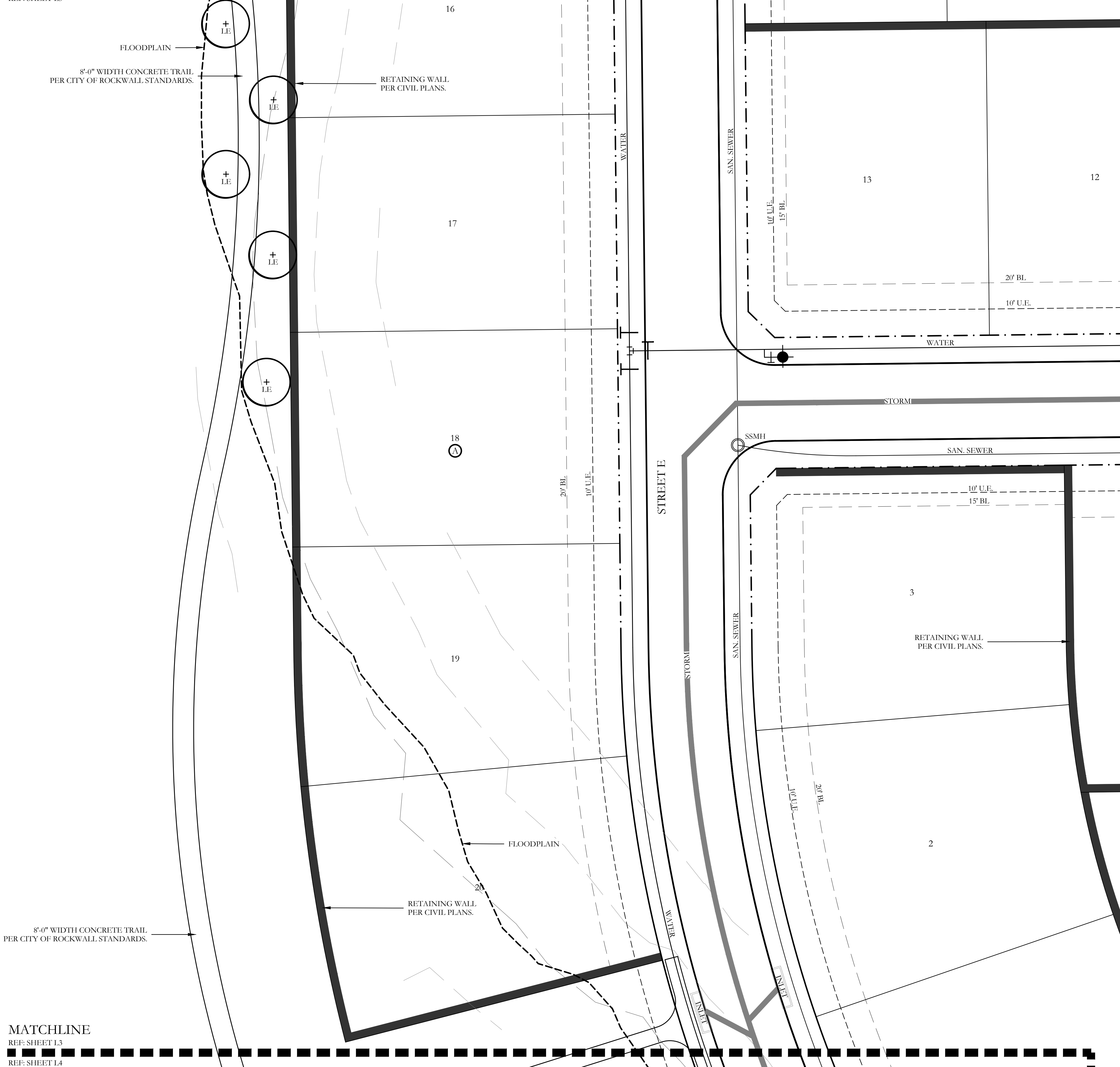
MATCHLINE
REF: SHEET L2
REF: SHEET L7



MATCHLINE

REF: SHEET L2

REF: SHEET L3



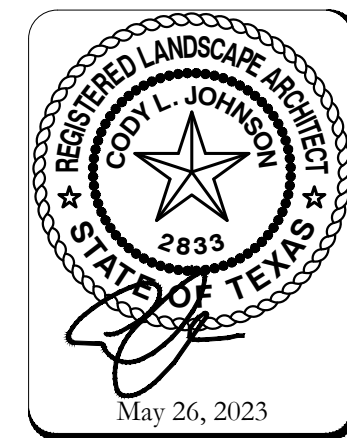
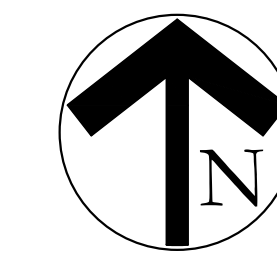
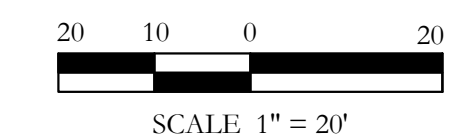
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE

REF: SHEET L3

REF: SHEET L4



MATCHLINE

REF: SHEET L3

REF: SHEET L4

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

21

22

23

FLOODPLAIN

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

POND EDGE

DETENTION POND

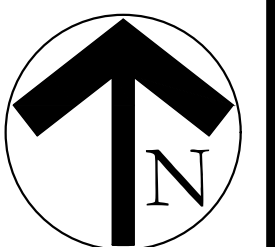
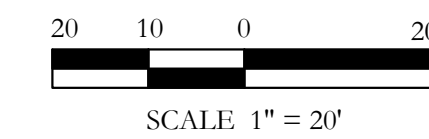
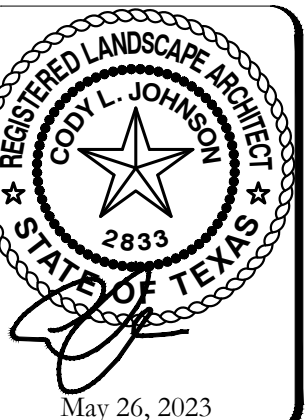
MATCHLINE

REF: SHEET L4

REF: SHEET L5

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



MATCHLINE

REF: SHEET L4

REF: SHEET L5

M

REF

REF

MATCHLINE
REF: SHEET L5
REF: SHEET L9

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

POND EDGE

DETENTION
POND

POND EDGE

FUTURE AMENITY
CENTER

STORM OUTFALL PER
CIVIL PLANS.

POND EDGE

FLOODPLAIN

WATER

INLET

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

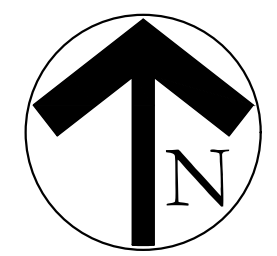
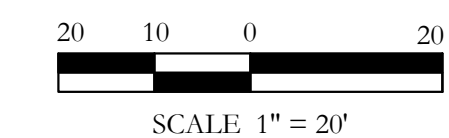
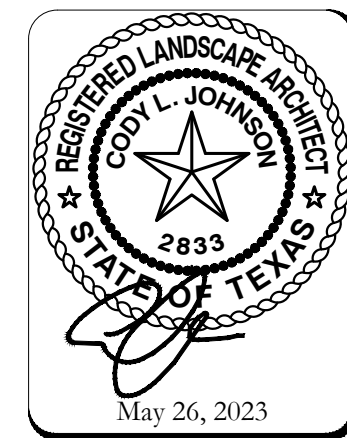
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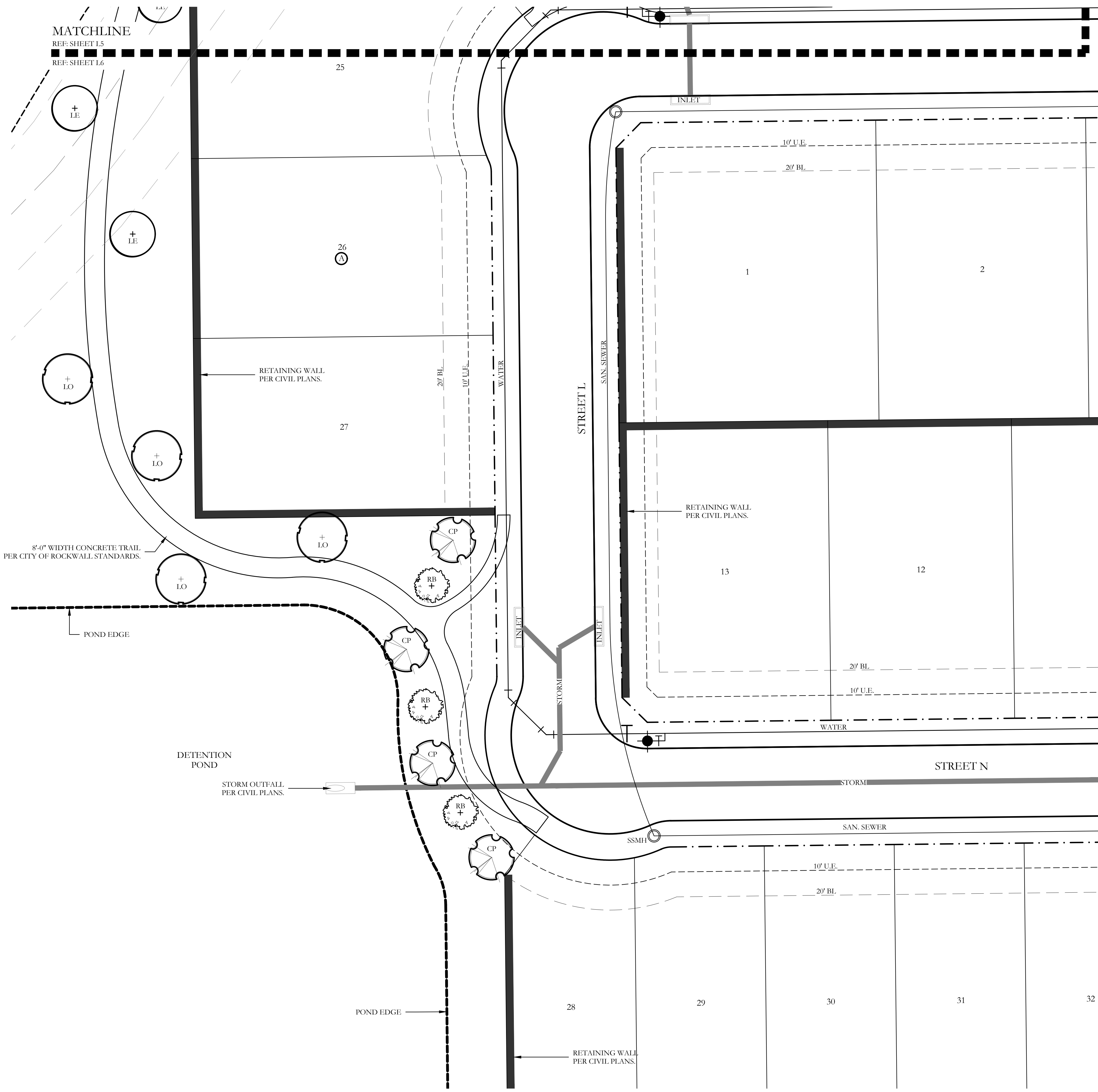
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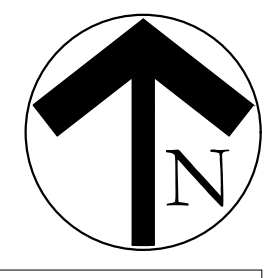
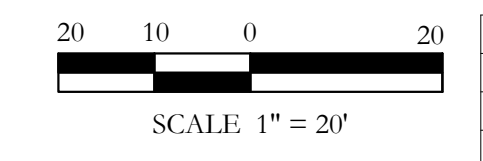
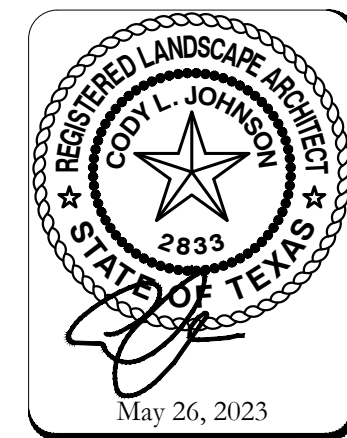
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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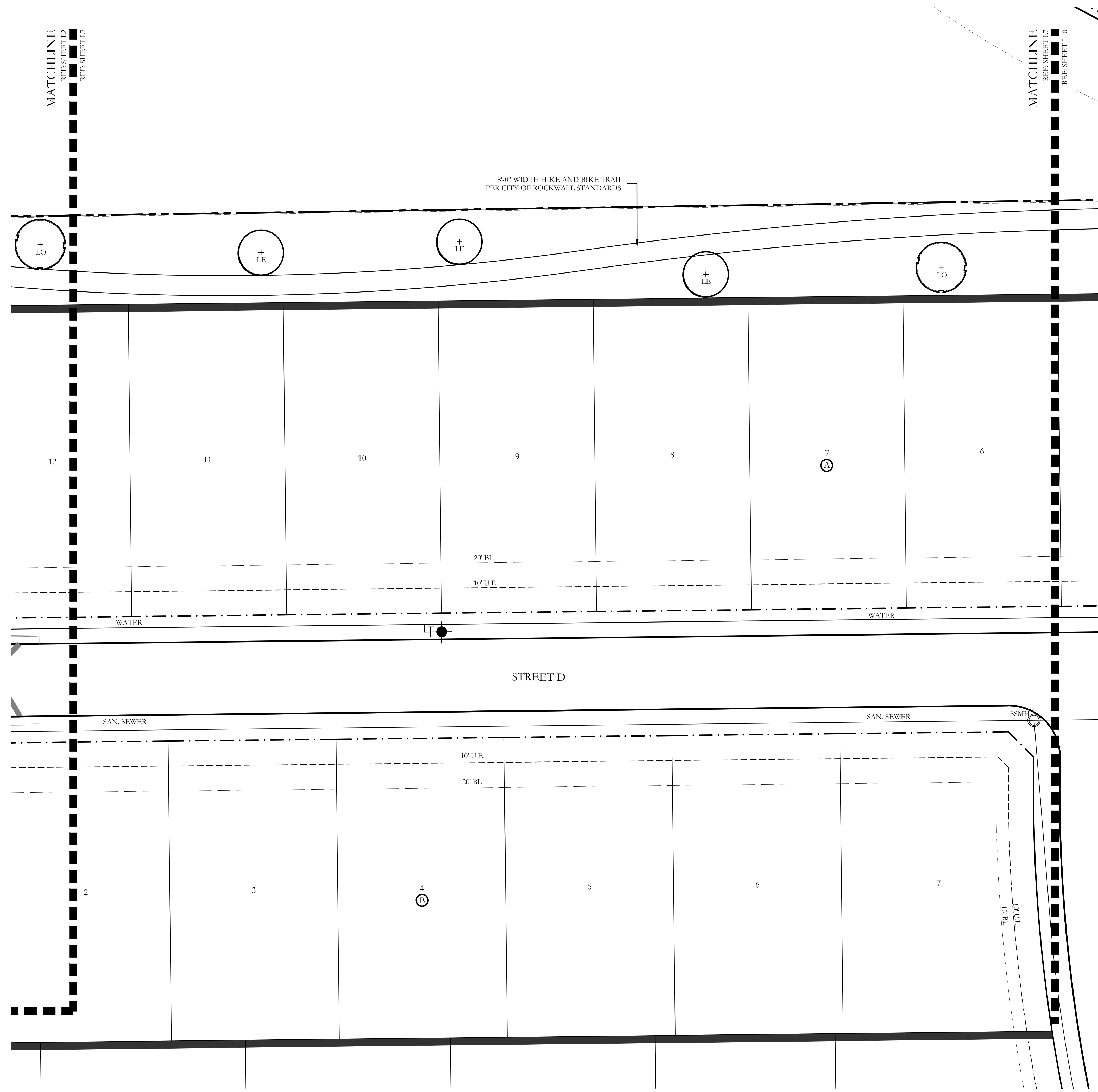


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

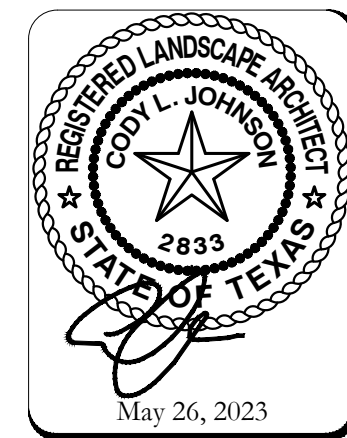
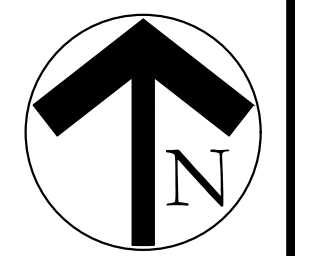
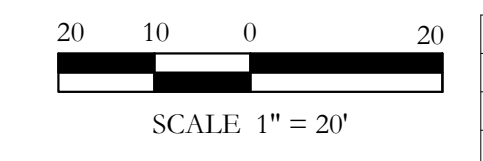


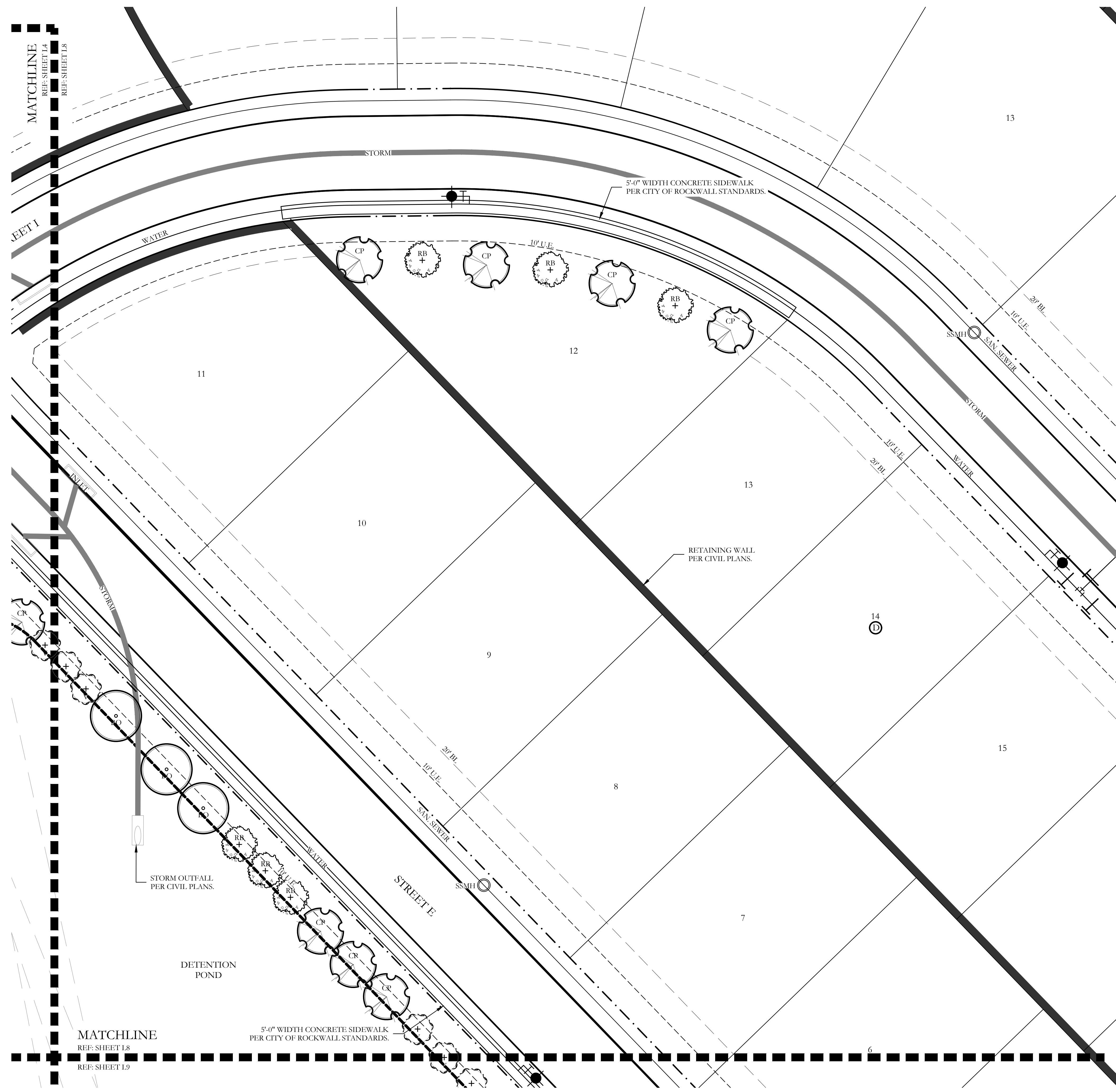
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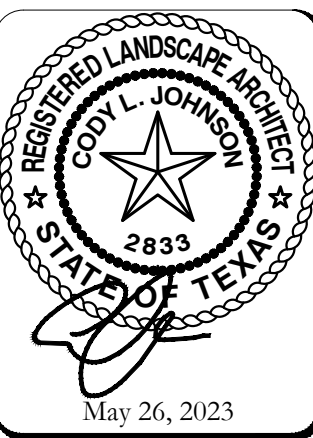
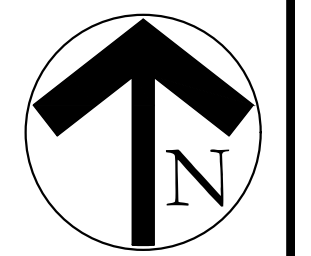
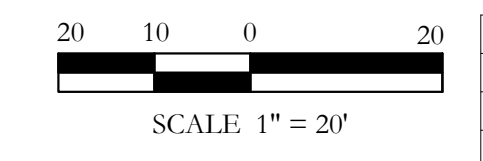


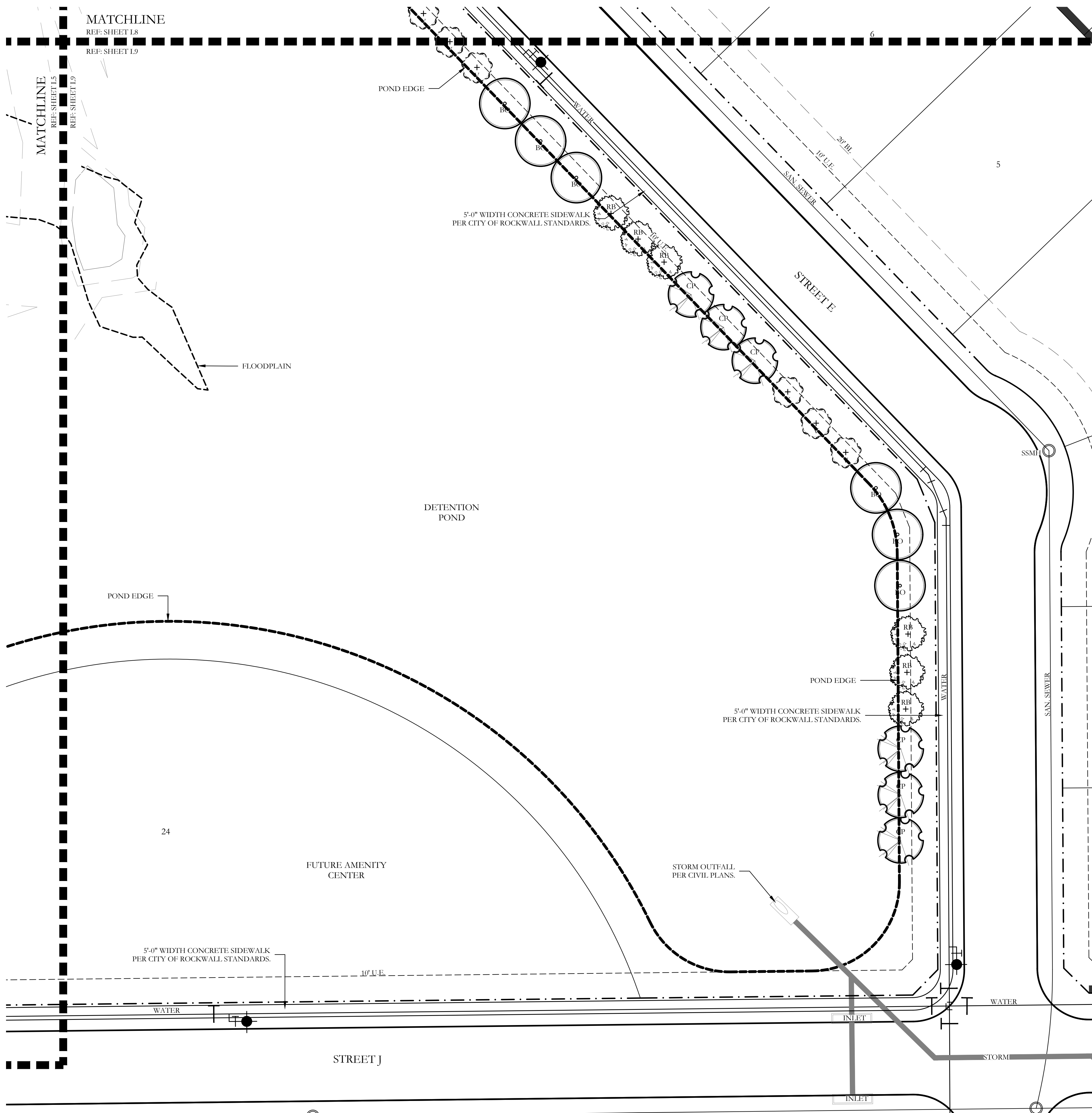
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



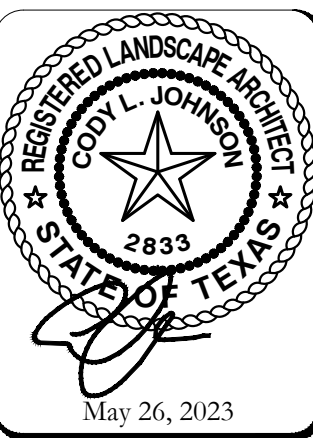
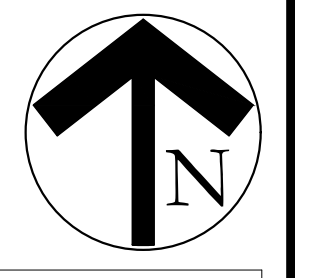
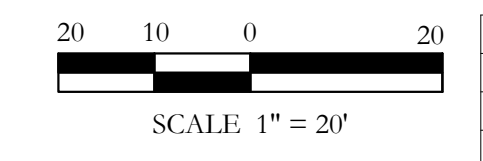


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



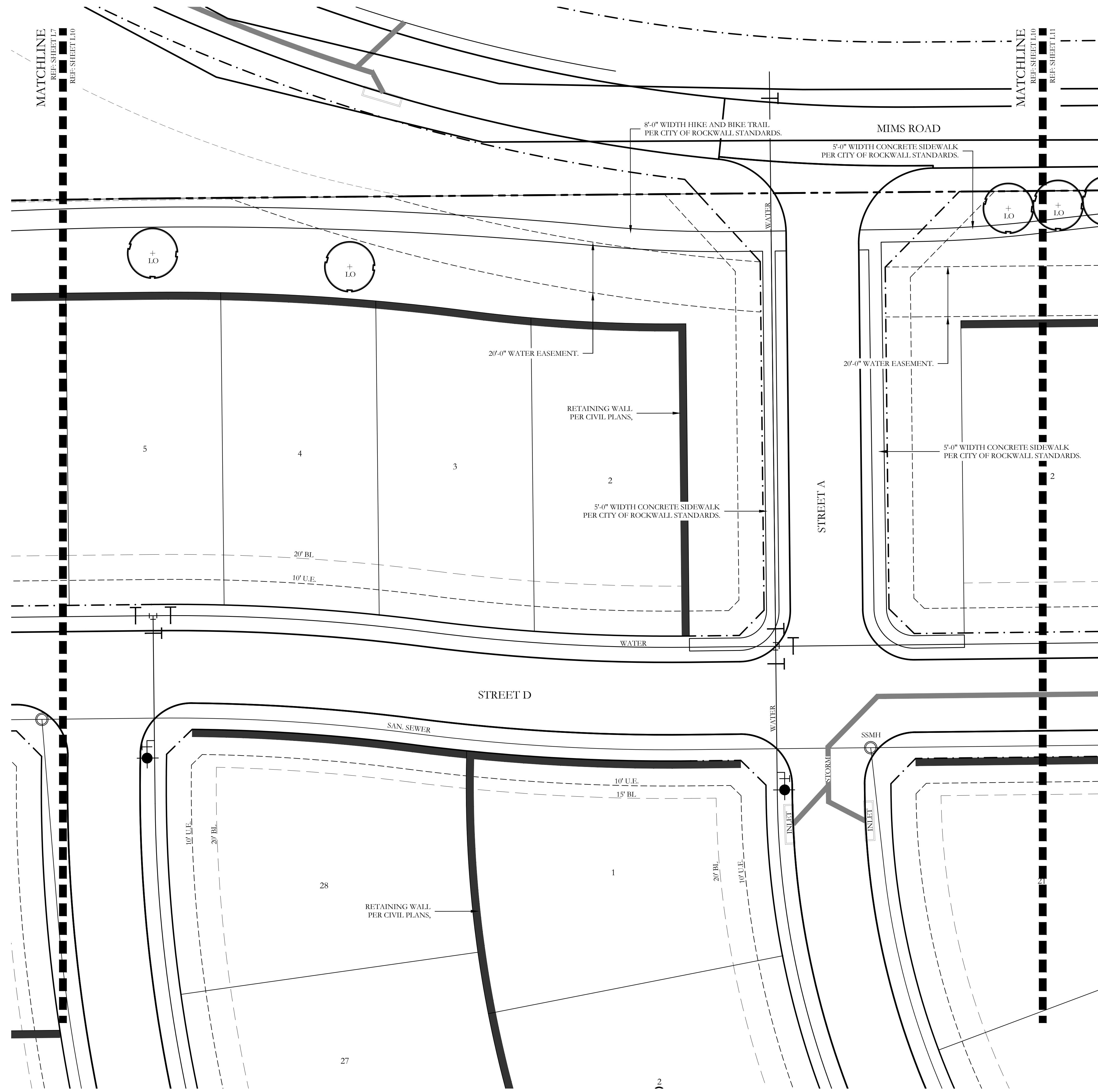


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

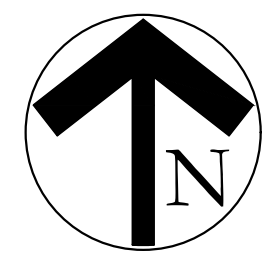
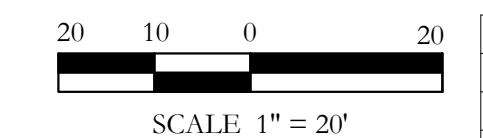


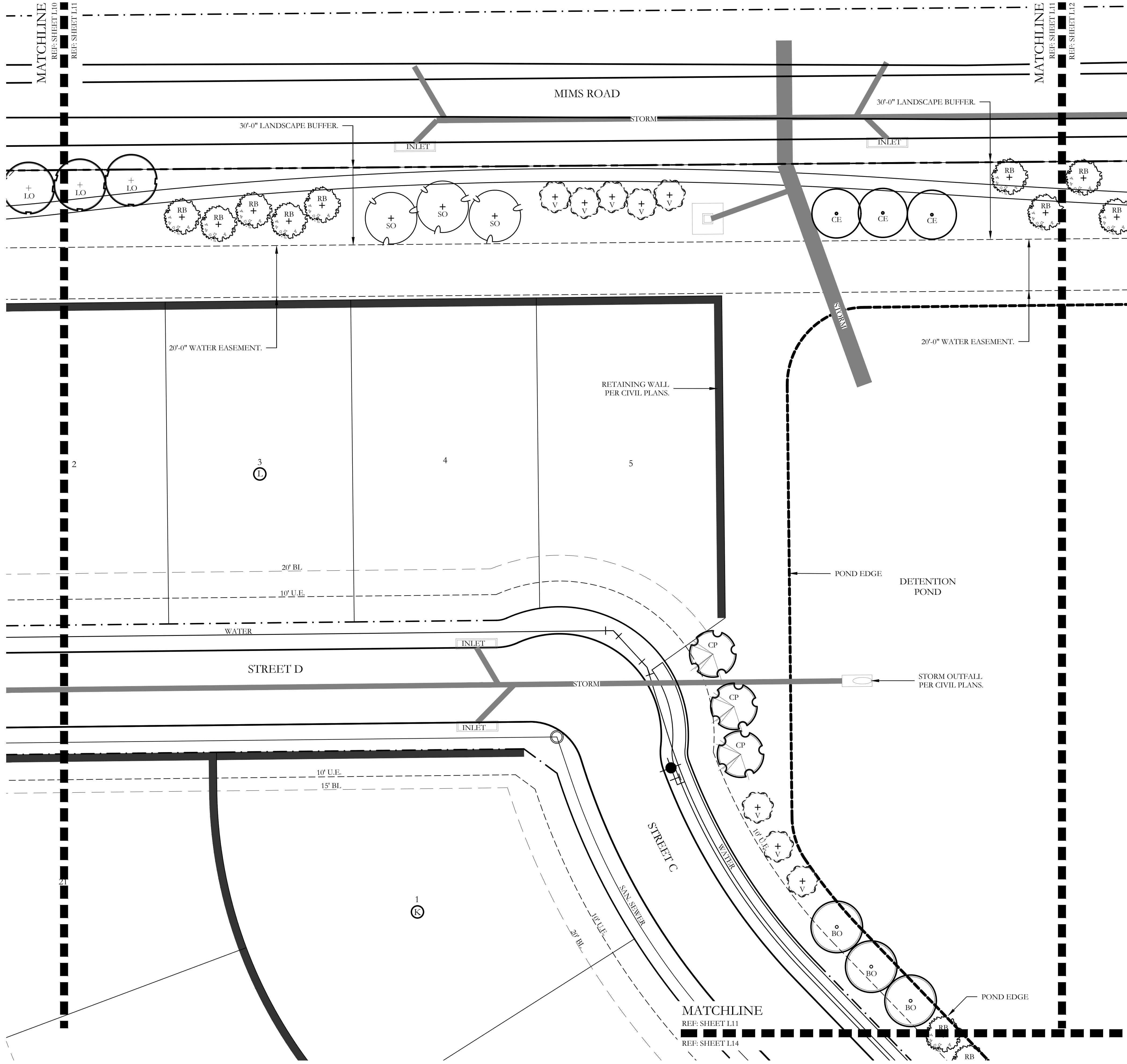
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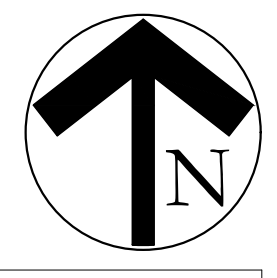
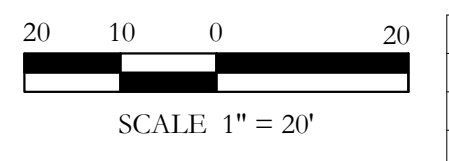


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



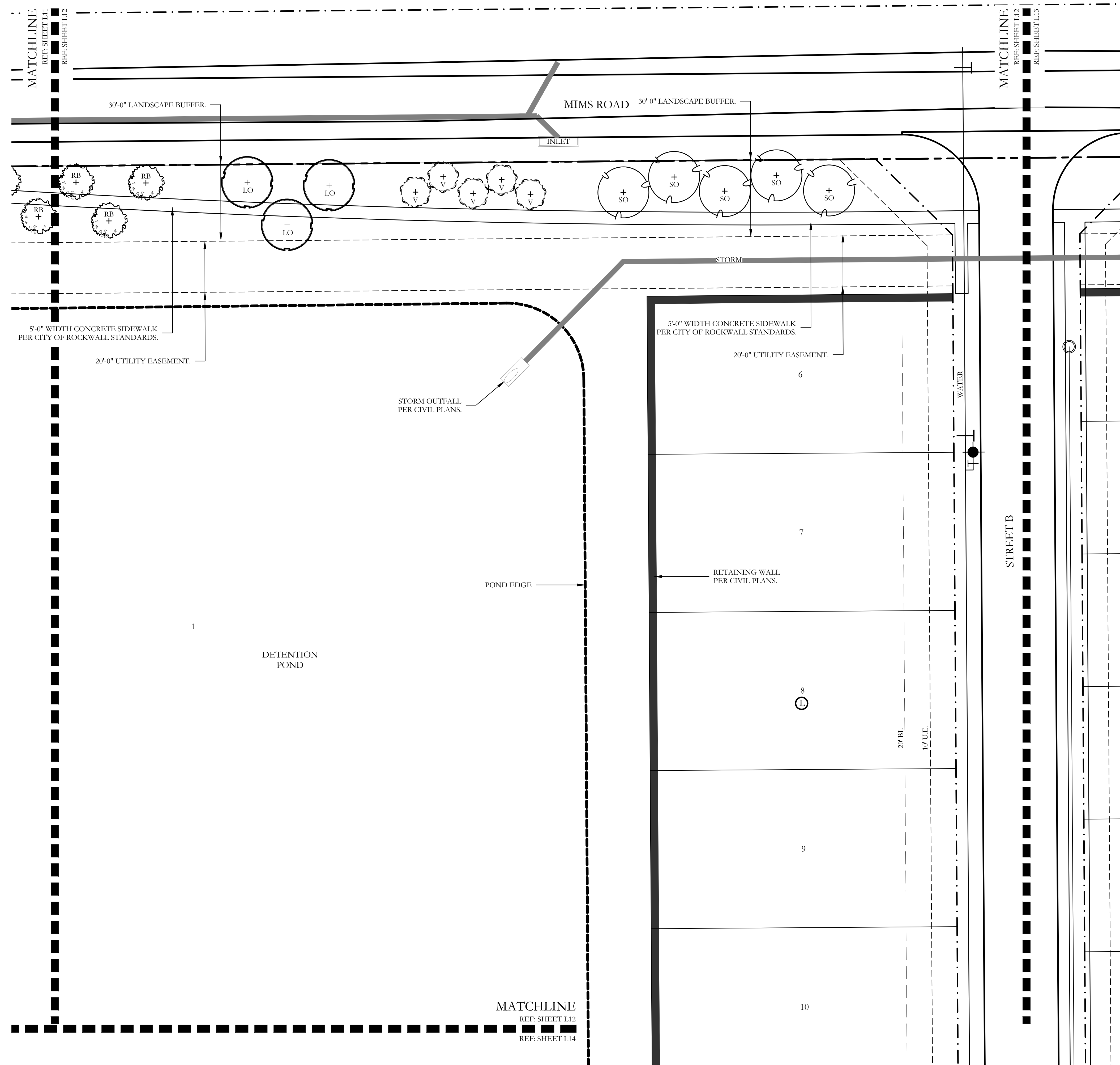


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

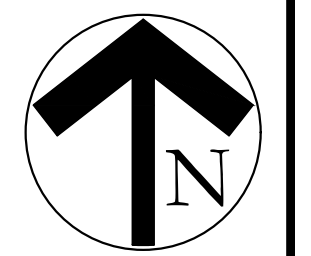
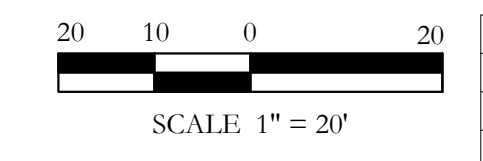


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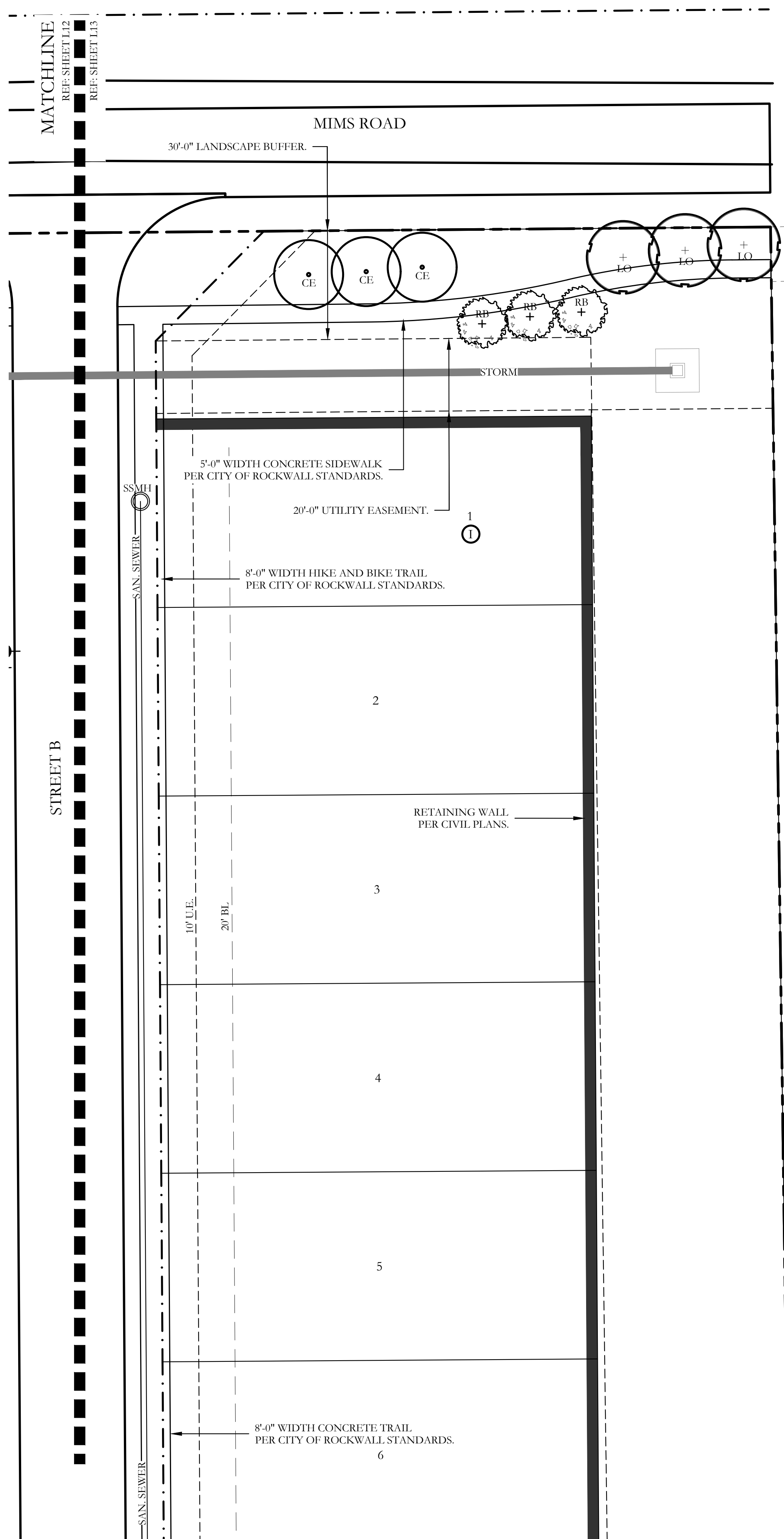
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	STORM ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	CE	5'-0" WIDTH CONCRETE SIDEWALK PER CITY OF ROCKWALL STANDARDS.		4" CALIPER	AS SHOWN
	UE	20'-0" UTILITY EASEMENT.			

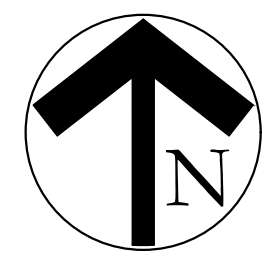
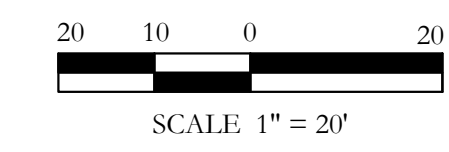


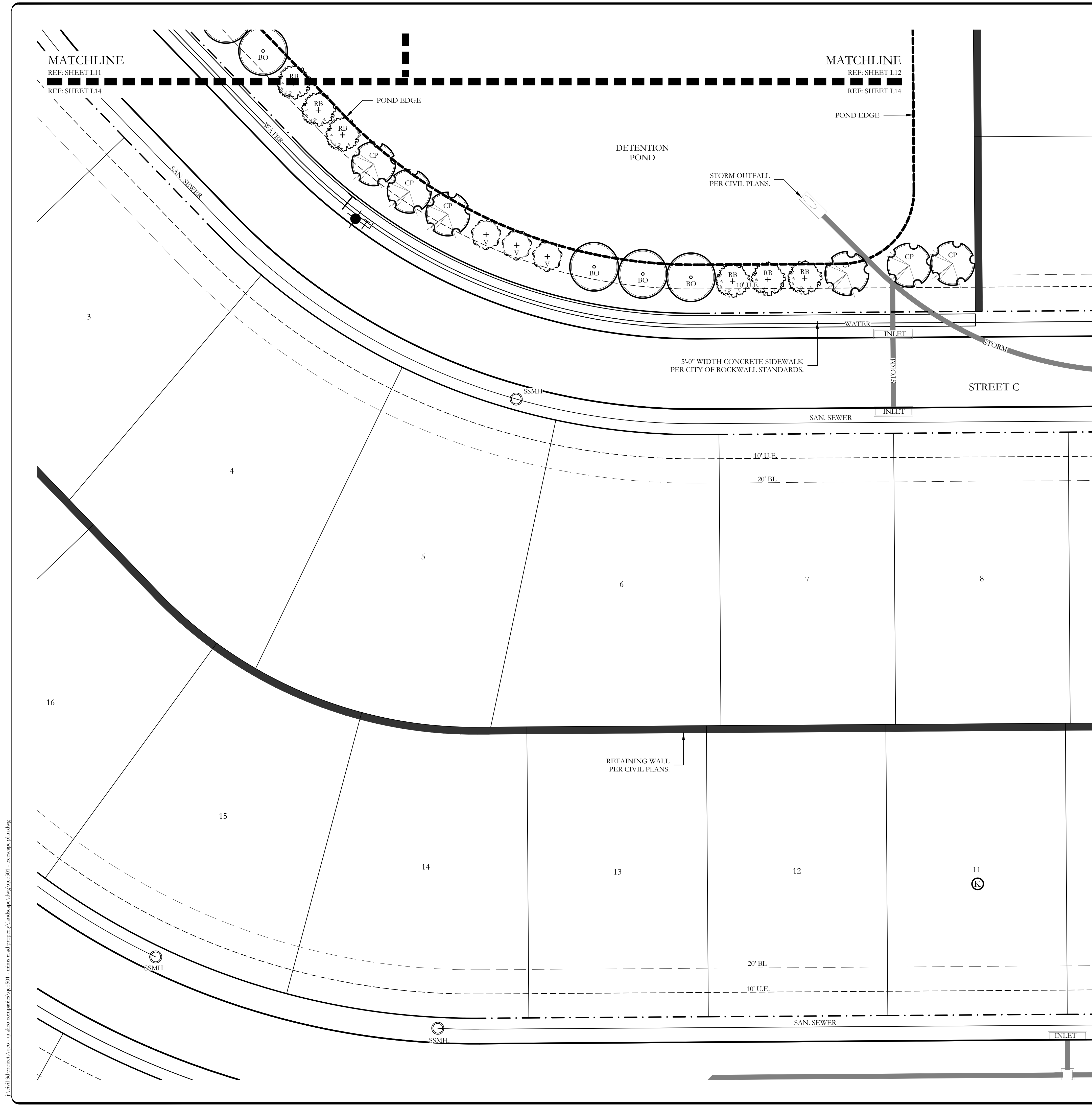
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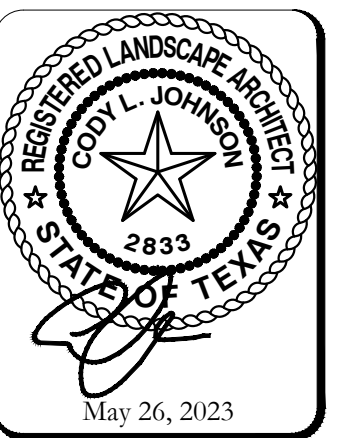
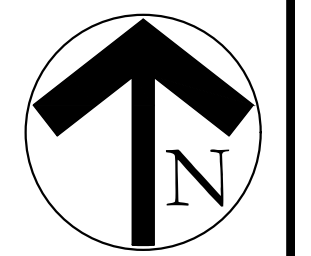
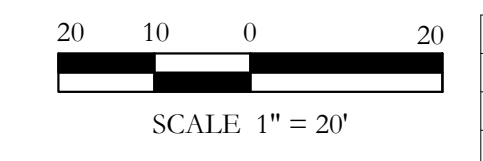
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
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	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



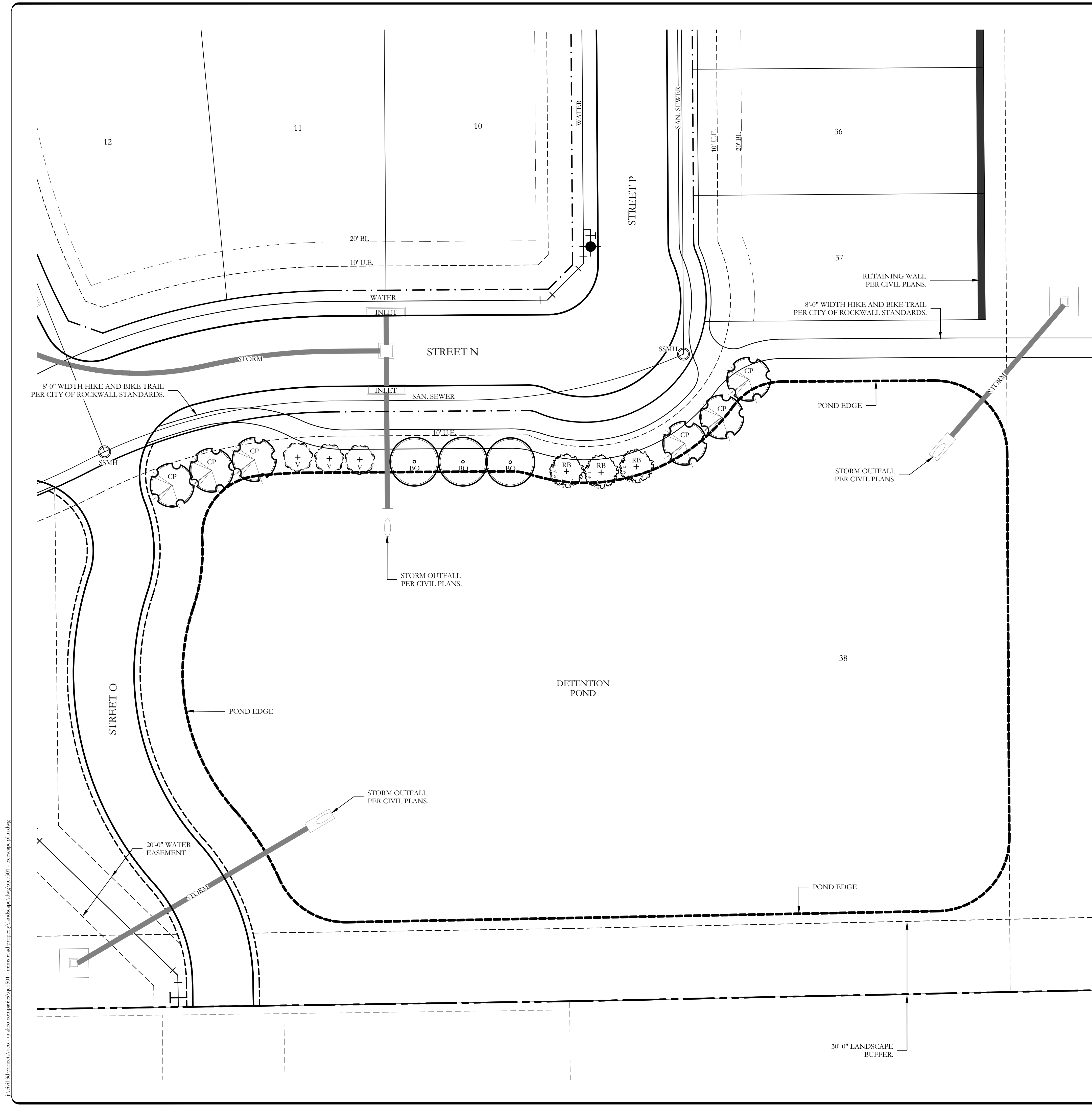


GENERAL LANDSCAPE NOTES PLANT LEGEND

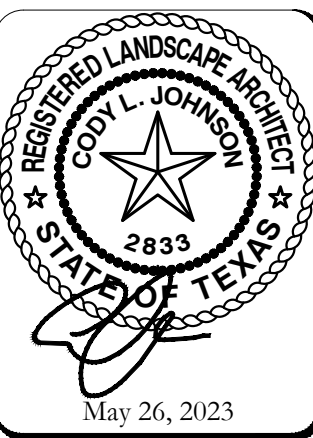
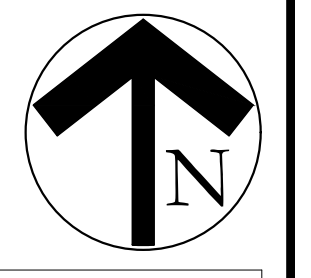
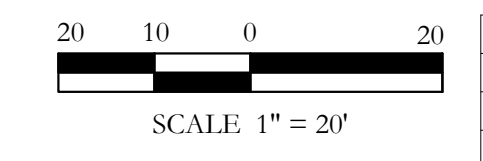
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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LANDSCAPE PROVIDED

MIMS ROAD

- A. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 4" CAL. TREES REQUIRED.
PROVIDED: 23 - 4" CALIPER AND GREATER CANOPY TREES PROVIDED
- A. 1-2" CAL. ACCENT TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 2" CAL. TREES REQUIRED.
PROVIDED: 23 - 2" CALIPER AND GREATER CANOPY TREES PROVIDED

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	20	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	38	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	28	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	40	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

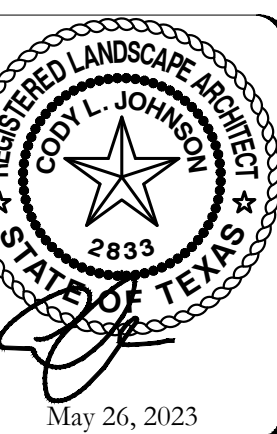
TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



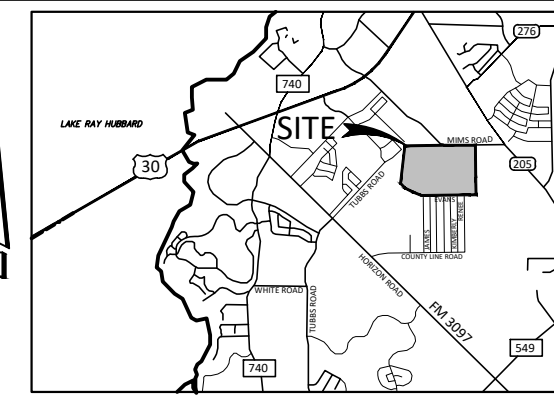
PEACHTREE MEADOWS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN
LANDSCAPE SCHEDULE & DETAILS

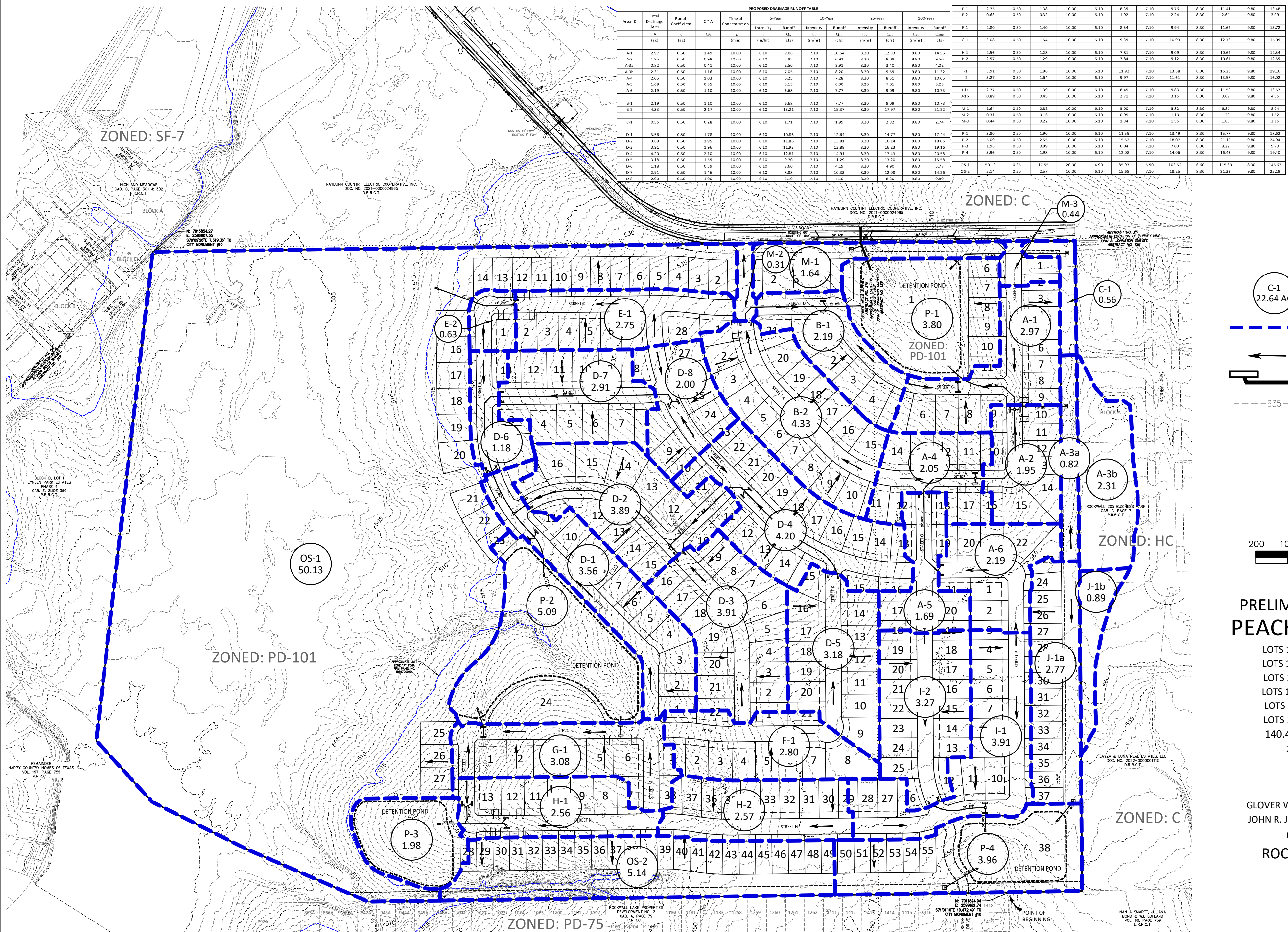


SCALE:
REFER TO
DETAILS
One Inch
JVC No QCO501

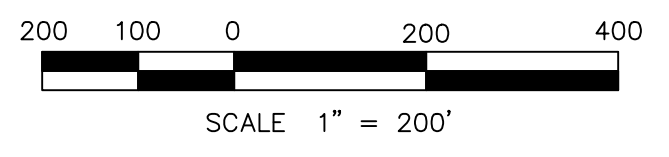
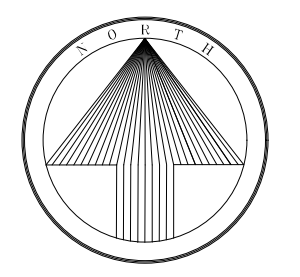
Area ID	Total Drainage Area (ac)	Runoff Coefficient	C * A	Time of Concentration (min)	PROPOSED DRAINAGE RUNOFF TABLE							
					5-Year Intensity (in/hr)	5-Year Runoff (cfs)	10-Year Intensity (in/hr)	10-Year Runoff (cfs)	25-Year Intensity (in/hr)	25-Year Runoff (cfs)	100-Year Intensity (in/hr)	100-Year Runoff (cfs)
A-1	2.97	0.50	1.49	10.00	6.10	9.06	7.10	10.54	8.30	12.33	9.80	14.55
A-2	1.95	0.50	0.98	10.00	6.10	5.95	7.10	6.92	8.30	8.09	9.80	9.56
A-3a	0.82	0.50	0.41	10.00	6.10	2.50	7.10	2.91	8.30	3.40	9.80	4.02
A-3b	2.31	0.50	1.16	10.00	6.10	7.05	7.10	8.20	8.30	9.59	9.80	11.32
A-4	2.05	0.50	1.03	10.00	6.10	6.25	7.10	7.28	8.30	8.51	9.80	10.05
A-5	1.69	0.50	0.85	10.00	6.10	5.15	7.10	6.00	8.30	7.01	9.80	8.28
A-6	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-1	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-2	4.33	0.50	2.17	10.00	6.10	13.21	7.10	15.37	8.30	17.97	9.80	21.22
C-1	0.56	0.50	0.28	10.00	6.10	1.71	7.10	1.99	8.30	2.32	9.80	2.74
D-1	3.56	0.50	1.78	10.00	6.10	10.86	7.10	12.64	8.30	14.77	9.80	17.44
D-2	3.89	0.50	1.95	10.00	6.10	11.86	7.10	13.81	8.30	16.14	9.80	19.06
D-3	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
D-4	4.20	0.50	2.10	10.00	6.10	12.81	7.10	14.91	8.30	17.43	9.80	20.58
D-5	3.18	0.50	1.59	10.00	6.10	9.70	7.10	11.29	8.30	13.20	9.80	15.58
D-6	1.18	0.50	0.59	10.00	6.10	3.60	7.10	4.19	8.30	4.90	9.80	5.78
D-7	2.91	0.50	1.46	10.00	6.10	8.88	7.10	10.33	8.30	12.08	9.80	14.26
D-8	2.00	0.50	1.00	10.00	6.10	6.10	7.10	7.10	8.30	8.30	9.80	9.80
E-1	2.75	0.50	1.38	10.00	6.10	8.39	7.10	9.76	8.30	11.41	9.80	13.48
E-2	0.63	0.50	0.32	10.00	6.10	1.92	7.10	2.24	8.30	2.61	9.80	3.09
F-1	2.80	0.50	1.40	10.00	6.10	8.54	7.10	9.94	8.30	11.62	9.80	13.72
G-1	3.08	0.50	1.54	10.00	6.10	9.39	7.10	10.93	8.30	12.78	9.80	15.09
H-1	2.56	0.50	1.28	10.00	6.10	7.81	7.10	9.09	8.30	10.62	9.80	12.54
H-2	2.57	0.50	1.29	10.00	6.10	7.84	7.10	9.12	8.30	10.67	9.80	12.59
I-1	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
I-2	3.27	0.50	1.64	10.00	6.10	10.97	7.10	11.61	8.30	13.57	9.80	16.02
J-1a	2.77	0.50	1.39	10.00	6.10	8.45	7.10	9.83	8.30	11.50	9.80	13.57
J-1b	0.89	0.50	0.45	10.00	6.10	2.71	7.10	3.16	8.30	3.69	9.80	4.36
M-1	1.64	0.50	0.82	10.00	6.10	5.00	7.10	5.83	8.30	6.81	9.80	8.04
M-2	0.31	0.50	0.16	10.00	6.10	0.96	7.10	1.10	8.30	1.29	9.80	1.52
M-3	0.44	0.50	0.22	10.00	6.10	1.34	7.10	1.56	8.30	1.83	9.80	2.16
P-1	3.80	0.50	1.90	10.00	6.10	11.59	7.10	13.49	8.30	15.77	9.80	18.62
P-2	5.09	0.50	2.55	10.00	6.10	15.52	7.10	18.07	8.30	21.12	9.80	24.94
P-3	1.98	0.50	0.99	10.00	6.10	6.04	7.10	7.03	8.30	8.22	9.80	9.70
P-4	3.96	0.50	1.98	10.00	6.10	12.08	7.10	14.06	8.30	16.43	9.80	19.40
OS-1	50.13	0.35	17.55	20.00	4.90	85.97	5.90	103.52	6.60	115.80	8.30	145.63
OS-2	5.14	0.50	2.57	10.00	6.10	15.68	7.10	18.25	8.30	21.33	9.80	25.19



VICINITY MAP N.T.S.



- DRAINAGE AREA DESIGNATION
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



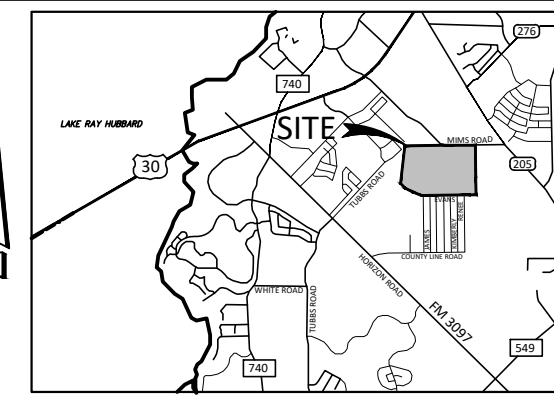
PRELIMINARY DRAINAGE PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
 140.494 ACRES OR 6,119,939 SQ. FT.
 292 SINGLE FAMILY LOTS AND
 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 SITUATED WITHIN THE
 GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
 JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2023-xxx
 June 12, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

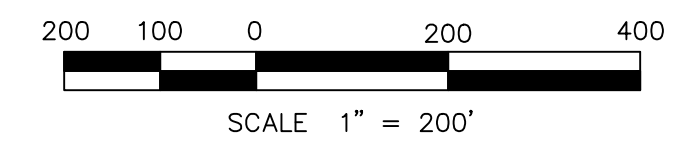
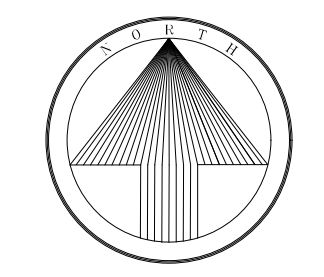
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas

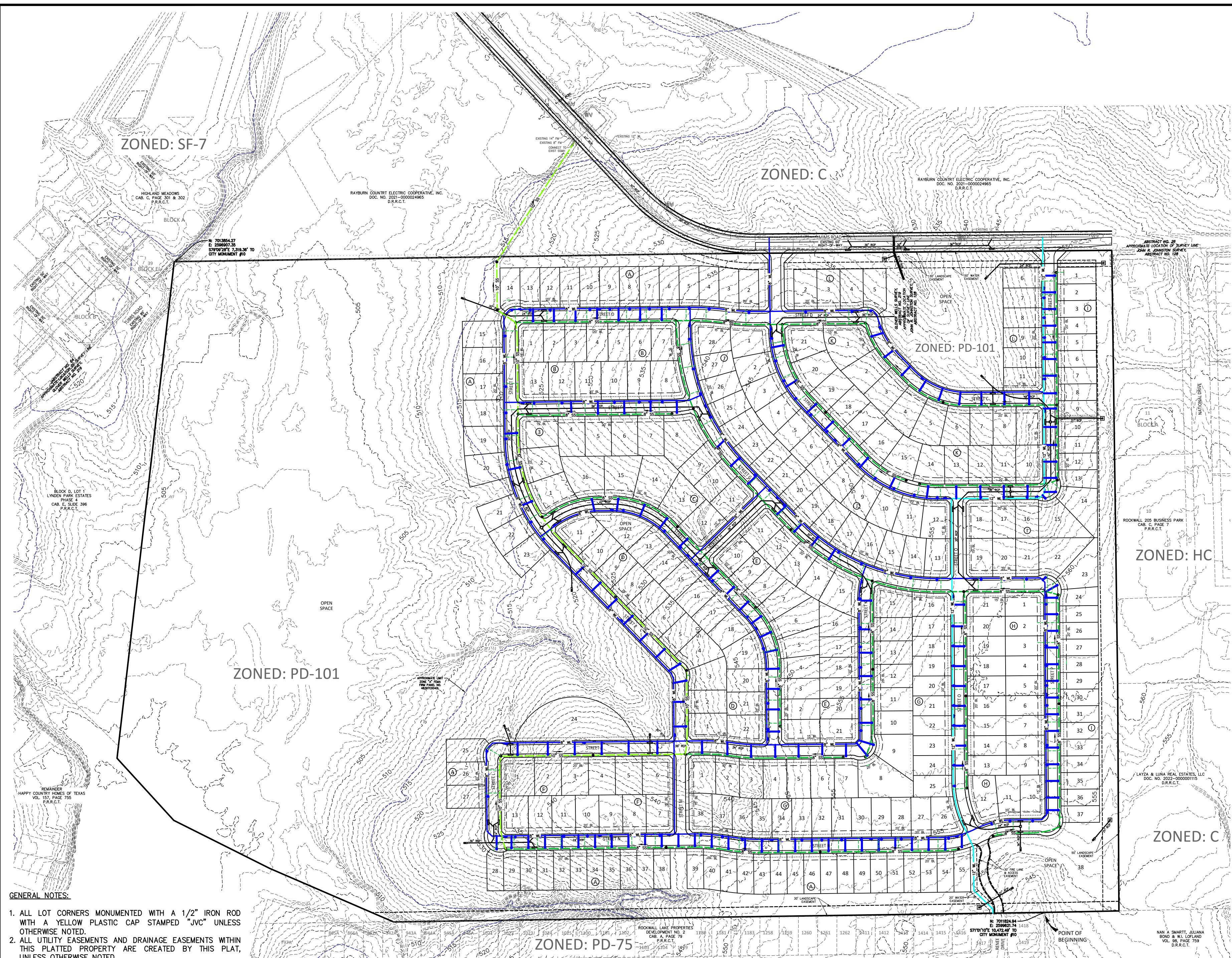


**PRELIMINARY UTILITY PLAN
PEACHTREE MEADOWS**

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
SITUATED WITHIN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0040L, DATED SEPTEMBER 26, 2008.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
 - OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/22/2023

PROJECT NUMBER: P2023-017
PROJECT NAME: Preliminary Plat for Peachtree Meadows
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Meredith Joyce on Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	06/22/2023	Needs Review

06/22/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23- 11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-017) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Preliminary Plat

Lots 1-55, Block A; Lots 1-13, Block B;

Lots 1-16, Block C; Lots 1-22, Block D;

Lots 1-21, Block E; Lots 1-13, Block F;

Lots 1-38, Block G; Lots 1-21, Block H;

Lots 1-38, Block I; Lots 1-28, Block J;

Lots 1-21, Block K; Lots 1-11, Block L

Peachtree Meadows Subdivision

Being

292 Residential Lots, 4 Open Space Lots, & 1 Amenity Lot

140.494 Acres or 6,119,939 SF

Situated in the

G. Wells Survey, Abstract No. 219 &

- M.5 Please provide the lot width at the building setback for Lots 8 & 9, Block G; they must have a lot width of at least 62-feet. (Ordinance No. 23-11)
- M.6 Please correct Lot 8, Block C, as the minimum lot width is not met at the rear of the lot; the lot width must be at least 62-feet. (Ordinance 23-11)
- M.7 Please correct all corner lots to have a front yard setback of 20-feet on both sides adjacent to the street. (Ordinance No. 23-11)
- M.8 Please provide the street names. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.9 Please provide the 50-year and 100-year flood elevations, and indicate the wooded areas. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.10 Please indicate the land use as Single-Family 10 (SF-10) District. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.11 The subdivision ordinance has been updated, which has caused changes to the platting language required on the plat. Please review the subdivision ordinance attached to the provided email. Please review Sections 38-7 and 38-9 to ensure all of the platting information is correct. Information to review is the Owner's Certification, all signature blocks, public improvement statement, and the storm drainage improvement statement. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- I.12 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: June 27, 2023
 Planning and Zoning Public Hearing: July 11, 2023
 City Council: July 17, 2023

I.13 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/22/2023	Approved

06/22/2023: Informational comments for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures (fencing, gates, signage, etc.) allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- No vertical walls allowed in detention easements.
- Additional easements or other comments may come once engineering plans are submitted and reviewed.

Drainage Items:

- Detention is required. Stormwater cannot increase off the property. Detention and flood study are required.
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds, and floodplains a minimum of every 300'.
- FFE for all lots must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

- Fences are not allowed within drainage easements.
 - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
 - Manning's C-value is per zoning type cannot use Open Space or Detention Area as C=0.35 only flood plain can have a C factor of 0.35
 - Flood Study is required. Review fees apply. See the City Standards of Design for flood study requirements.
 - Must get a Wetlands/WOTUS study for all ponds, creeks, and wetland areas.
 - Detention ponds and storm system must outfall maximum 60 degrees with flow line of creeks/channels. May not discharge at any point of floodplain, must be at an existing flow line.
 - LOMR will be required.
 - Drainage from the east must be collected in a separate HOA owned and maintained lot. Must be platted as a drainage easement.
 - Drainage pipes may not be located on a residential lot. They may be installed in a HOA lot.
 - Floodplain and easement may not be on a residential lot.
 - Drainage not fully reviewed until Engineering submittal
- Water and Wastewater Items:
- Must loop min 8" water line on site.
 - \$401.89/acre sewer pro-rata
 - Must install water lines per master plans. Master plan calls for a 12-inch water main along east property line.
 - 20-inch water to be installed in Mims along frontage but a 20' wide water line easement along a portion of Mims will suffice unless infrastructure study requires the 20-inch.
 - Must install sanitary sewer main lines per master plans. Master plan calls for a 30-inch sanitary sewer main along west property line. A 50' easement must be dedicated.
 - Off-site sanitary sewer improvements may be required.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Must compete an Infrastructure study to determine the off-site Master Plan water and wastewater improvements needed.
 - City owned utilities may not cross through a residential lot. They may cross through a HOA within an easement.
 - Utility easement widths are based on size and depth of the utility.
 - Utilities not fully reviewed until Engineering submittal
- Roadway Paving Items:
- All streets to be concrete. 50' ROW, 29' back-to-back paving minimum. Streets must be curb and gutter style. No asphalt or rock streets. Parabolic crown cross section not allowed. Roll over curb not allowed.
 - Must install alleys at the back of the lots.
 - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
 - Mims is a collector street, 60' ROW and 41' B-B. ROW dedication will be required, and 24' of pavement at minimum must be placed including storm system.
 - Sidewalk to be built along Mims
 - Traffic Impact Analysis required
 - Remove driveways from plat,
- Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/20/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Henry Lee	06/22/2023	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/19/2023	Approved w/ Comments

06/19/2023: Please submit CAD (.dwg) file of road centerlines, lot lines, and proposed street names list to lsingleton@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	06/22/2023	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/19/2023	Approved w/ Comments

06/19/2023: 1. Park District 14

Cash in Lieu of Land \$338.16 x 292 lots = \$98,742.72

Pro Rata Equipment Fees \$317.36 x 292 lots = \$92,669.12

Total per lot (1) Lot \$655.52 x 292 lots = \$191,411.84

2. Sidewalks along Mims Road need to be 8' hike and bike trails. Currently the west end of Mims is 8' and the east end of Mims is 5'

3. Please show tree preservation bubbles on this plan

4. Please double check your detention pond calculations on L15

General Items:

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- 4% Engineering Inspection Fees
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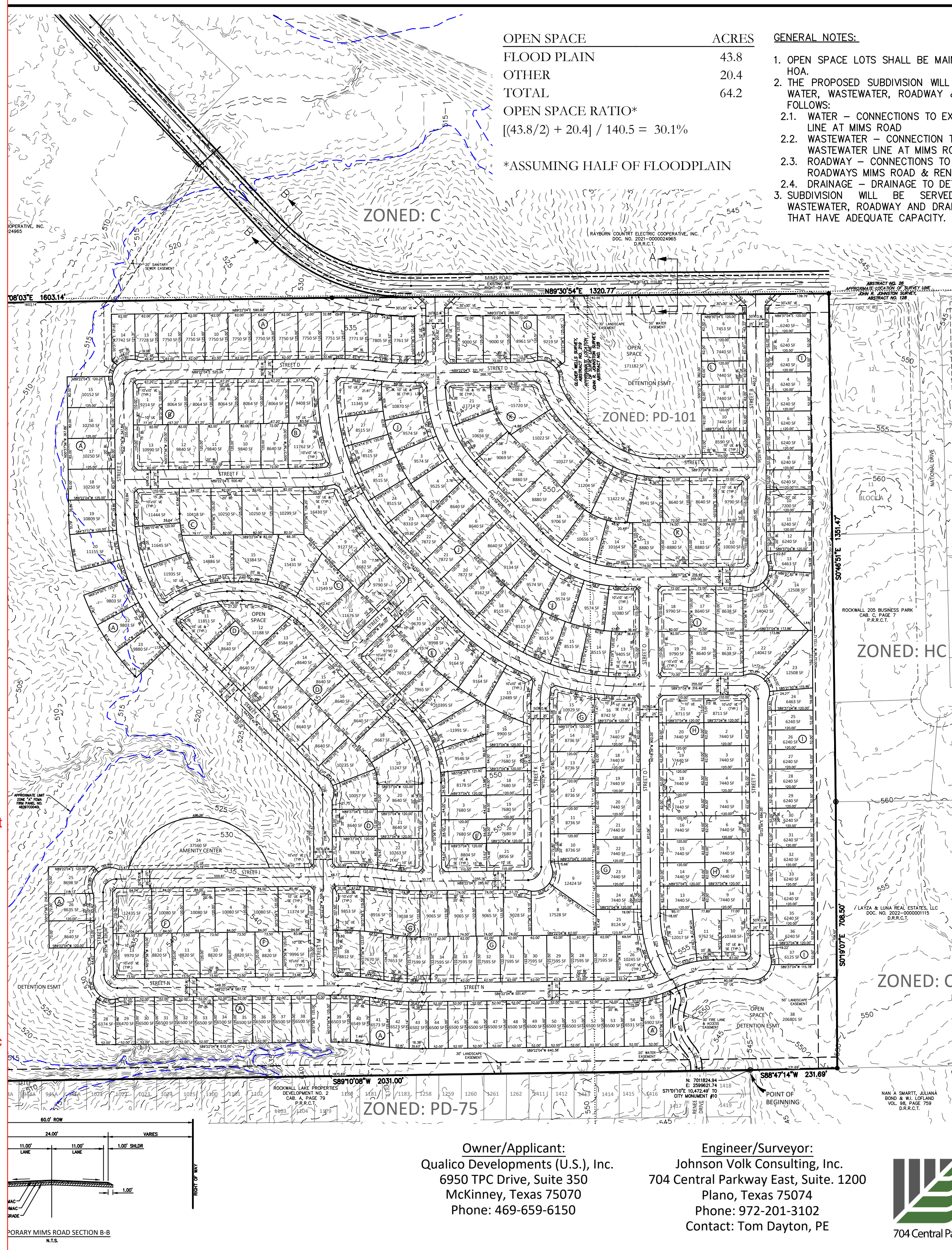
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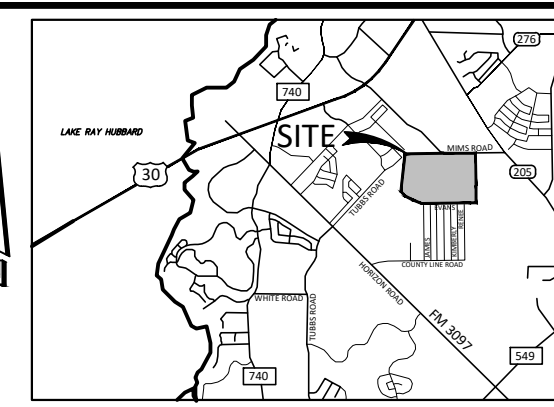
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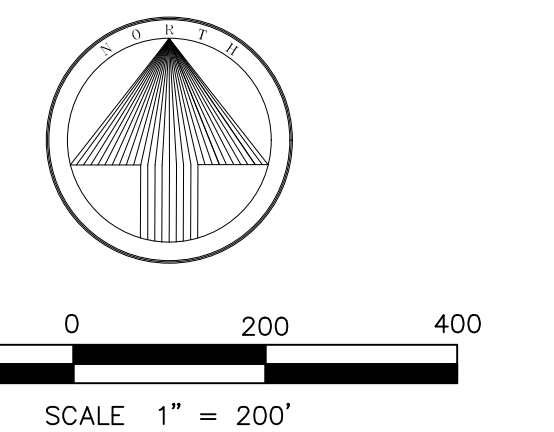
GENERAL NOTES:

1. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
2. THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
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 - 2.2. WASTEWATER – CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
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 - 2.4. DRAINAGE – DRAINAGE TO DETENTION PONDS
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VICINITY MAP N.T.S.

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 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
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DUE Drainage Utility Easement
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D.R.R.C.T.= Deed Records of Rockwall County, Texas
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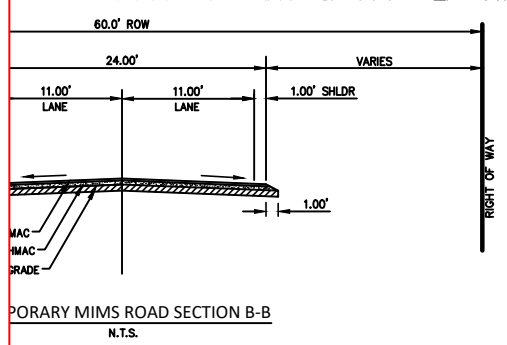
PRELIMINARY PLAT PEACHTREE MEADOWS

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140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
SITUATED WITHIN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023
EXIST. ZONING: PD-101
LAND USE: SF
SHEET 1 OF 2

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

02223-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 4, 7}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
⁴ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT _____ BLOCK _____

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 2,307.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

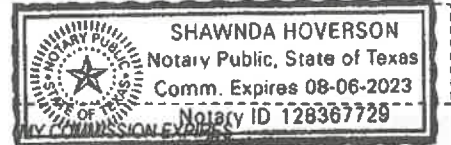
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2023

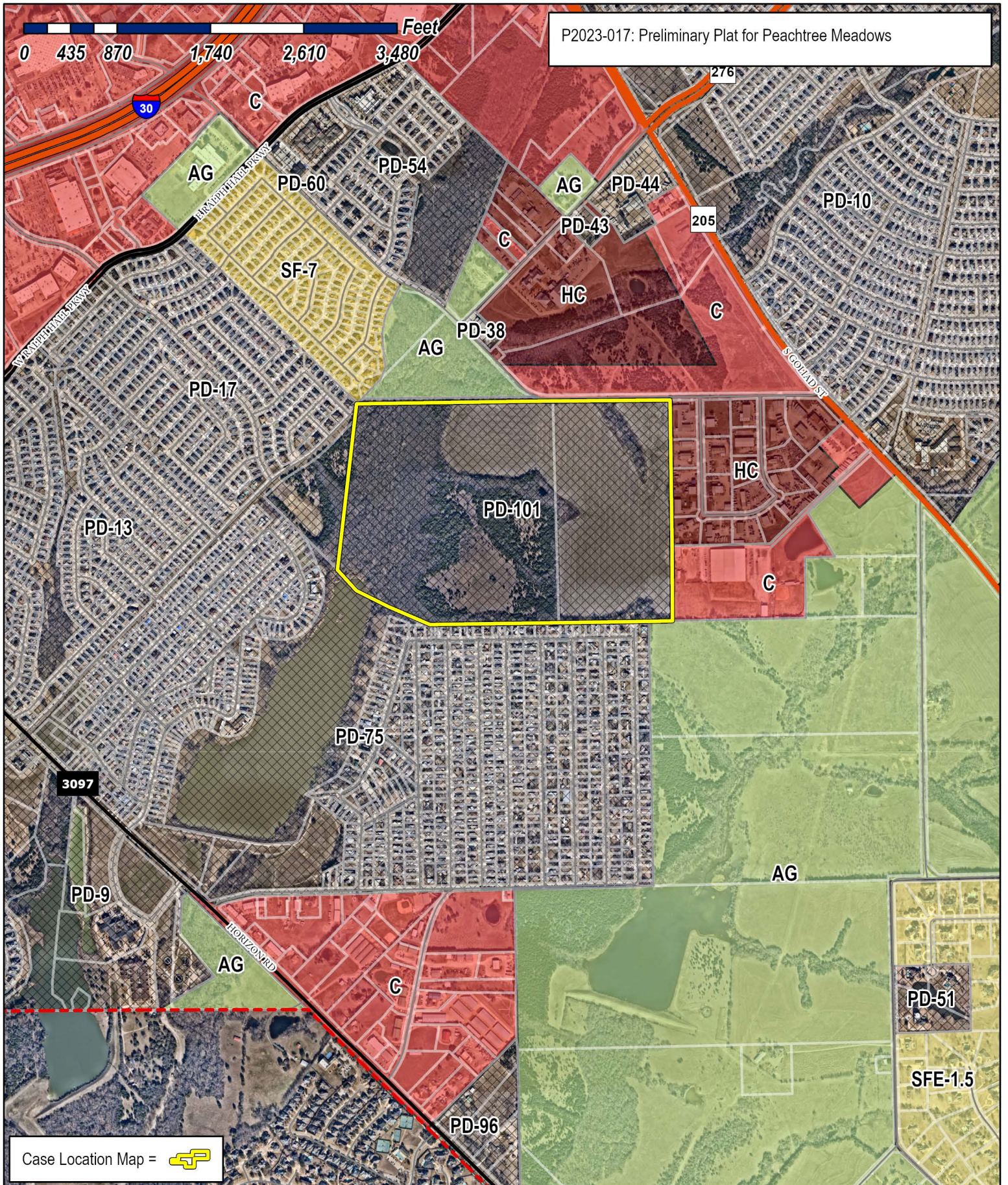
OWNER'S SIGNATURE

John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shawnda Hoiverson





P2023-017: Preliminary Plat for Peachtree Meadows

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

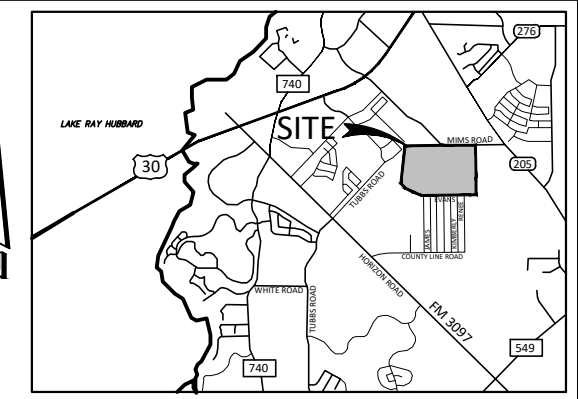


OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	
[(43.8/2) + 20.4] / 140.5 = 30.1%	

*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

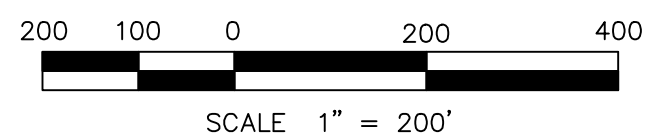
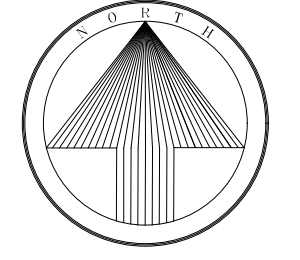
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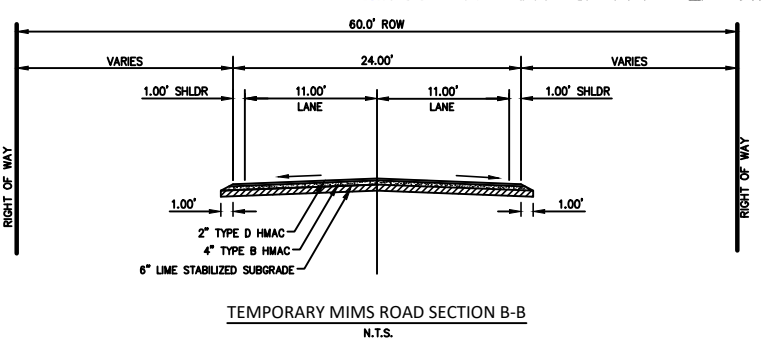
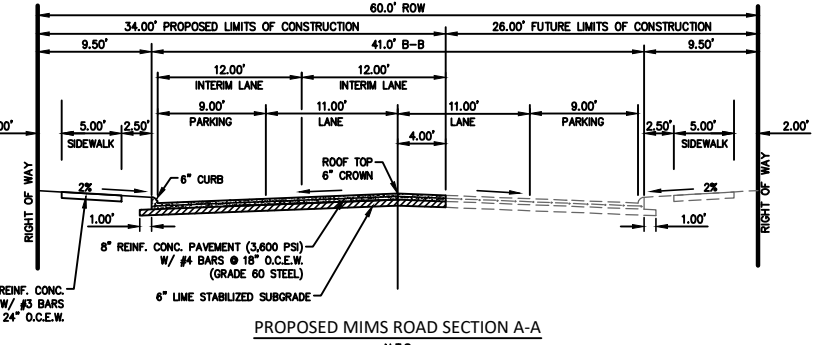
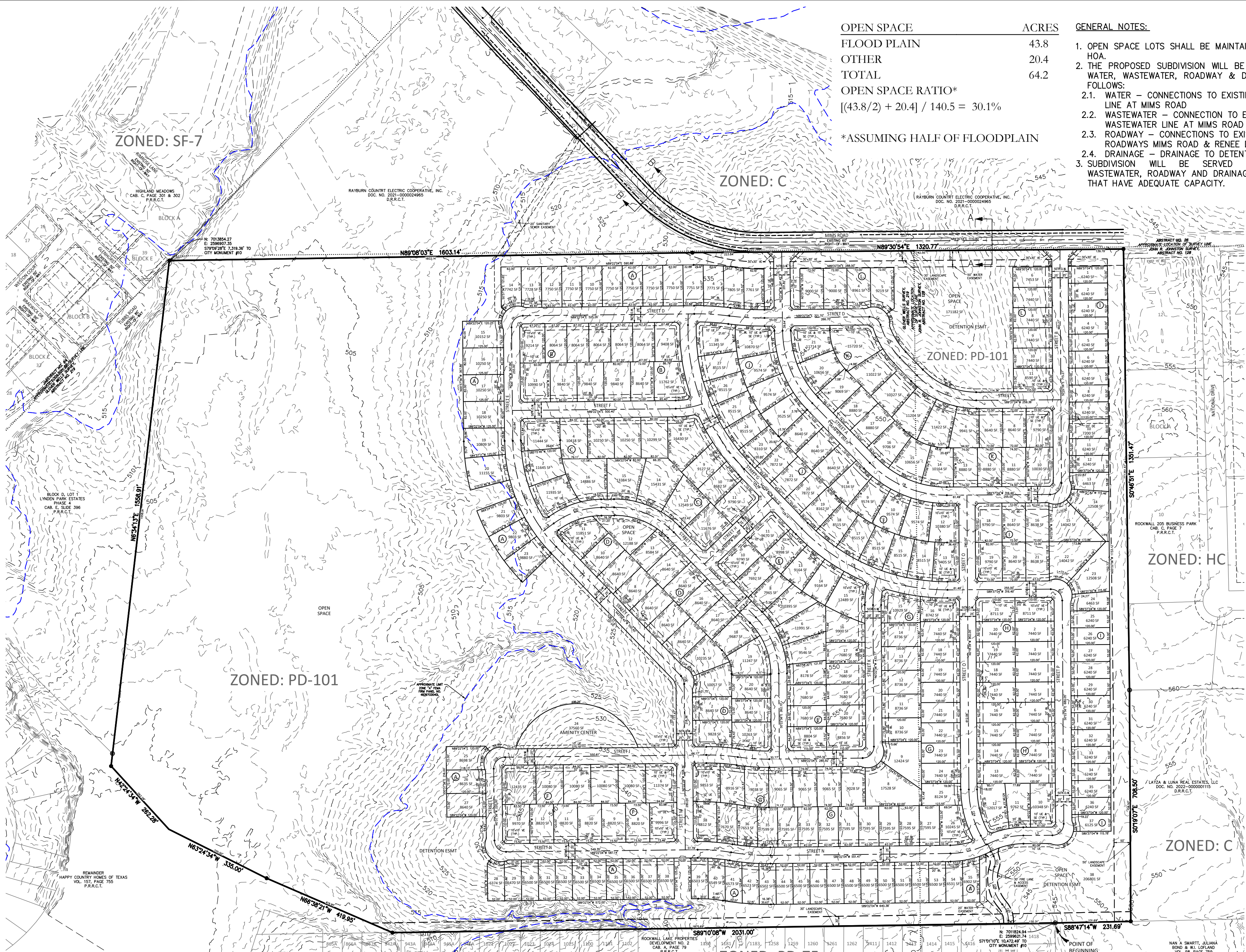
June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF
SHEET 1 OF 2

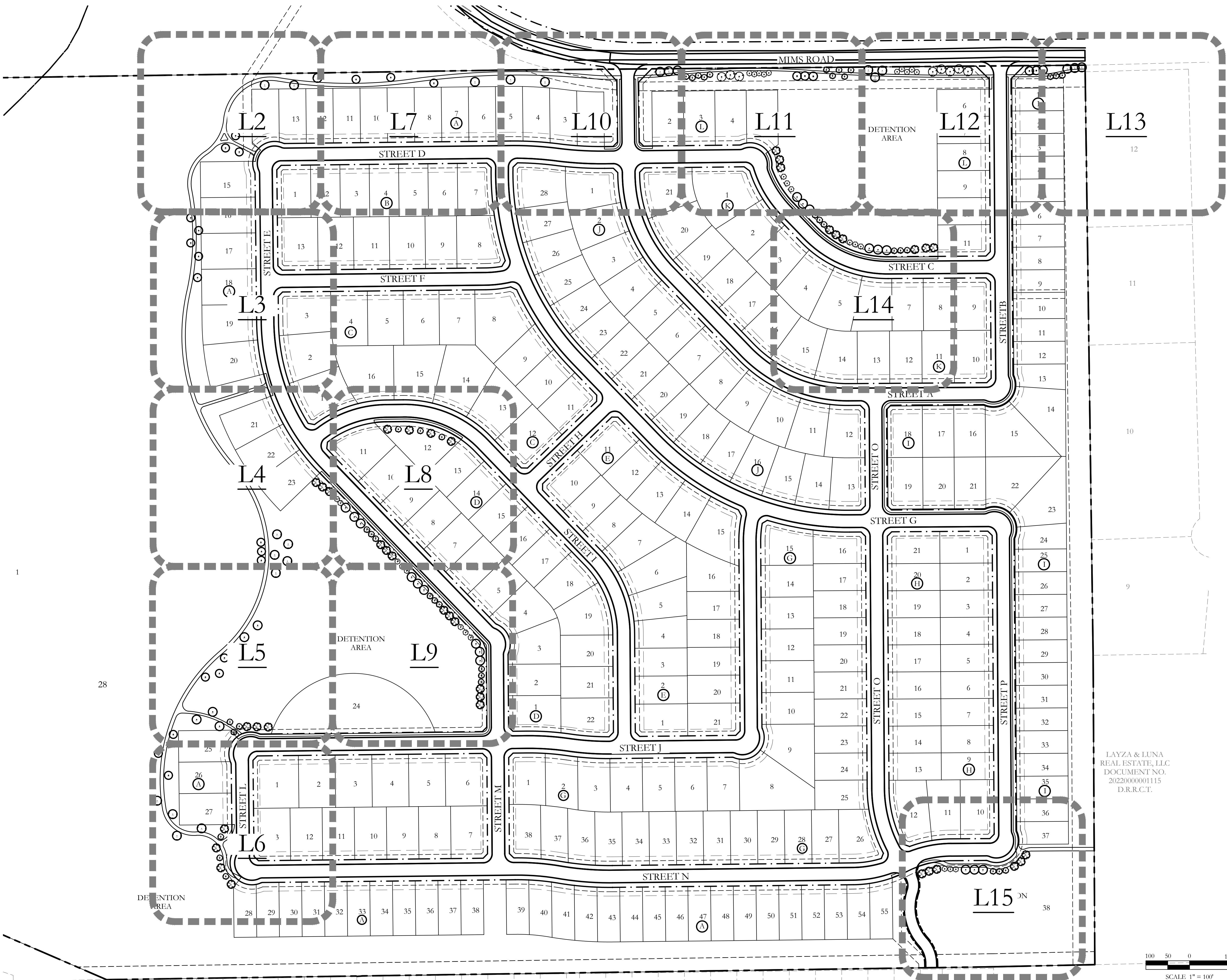
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6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

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Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

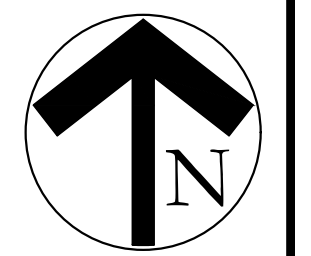
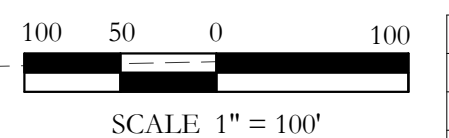
**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



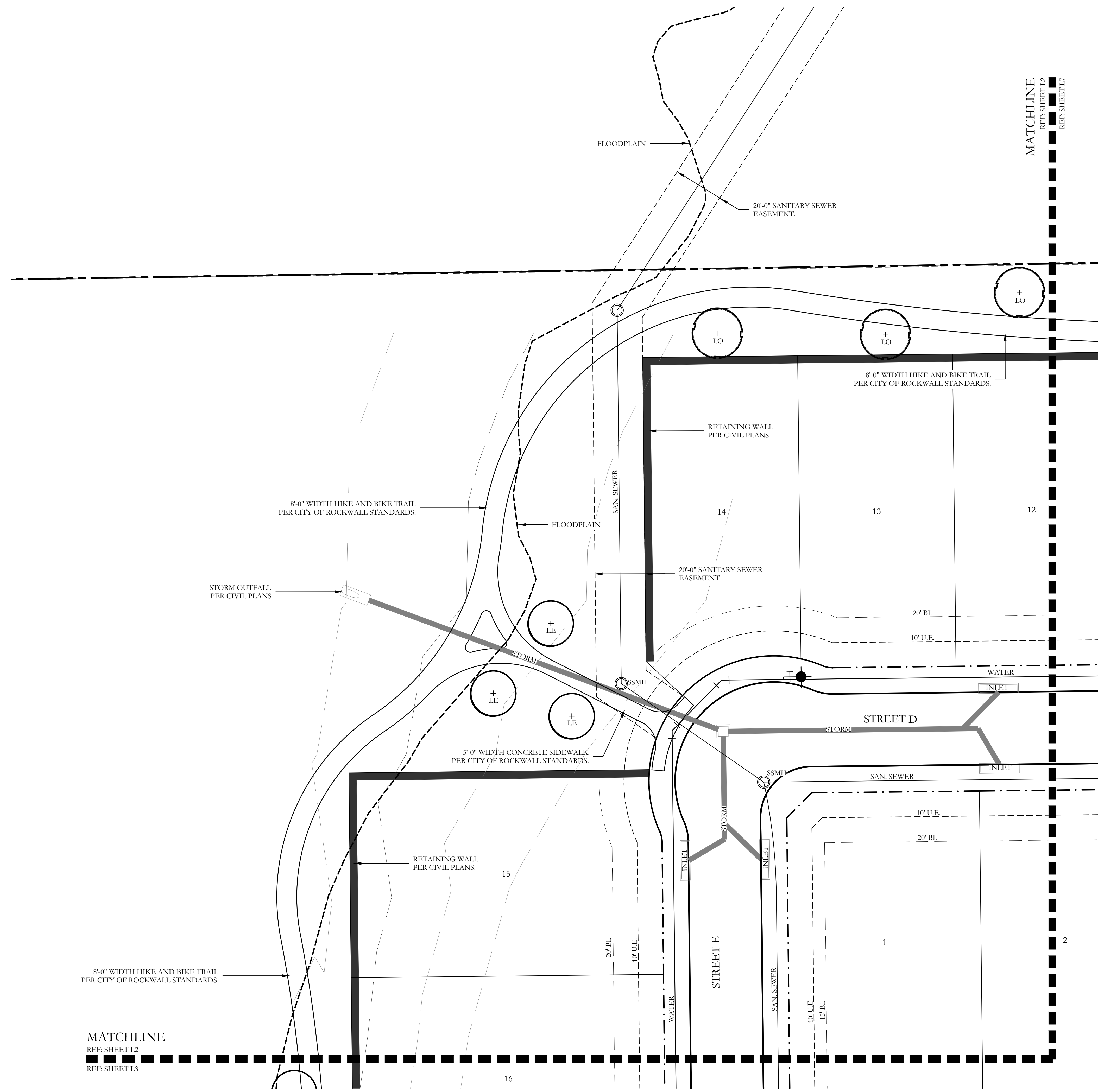
\\c:\projects\geo_spatial\company\ygc\01 - mims road property\landscape\dwg\ygc01 - treescape plan.dwg



LAYZA & LUNA
REAL ESTATE, LLC
DOCUMENT NO.
2022000001115
D.R.R.C.T.



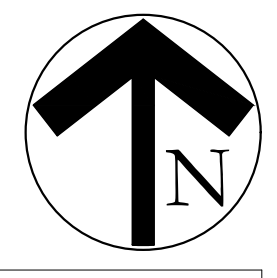
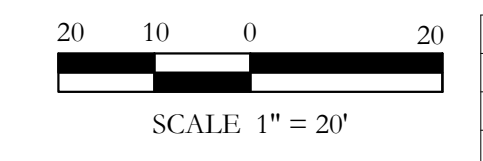
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE
 REF: SHEET L2
 REF: SHEET L3

MATCHLINE
 REF: SHEET L2
 REF: SHEET L7



MATCHLINE

REF: SHEET L2

REF: SHEET L3

FLOODPLAIN
8'-0" WIDTH CONCRETE TRAIL
PER CITY OF ROCKWALL STANDARDS.

RETAINING WALL
PER CIVIL PLANS.

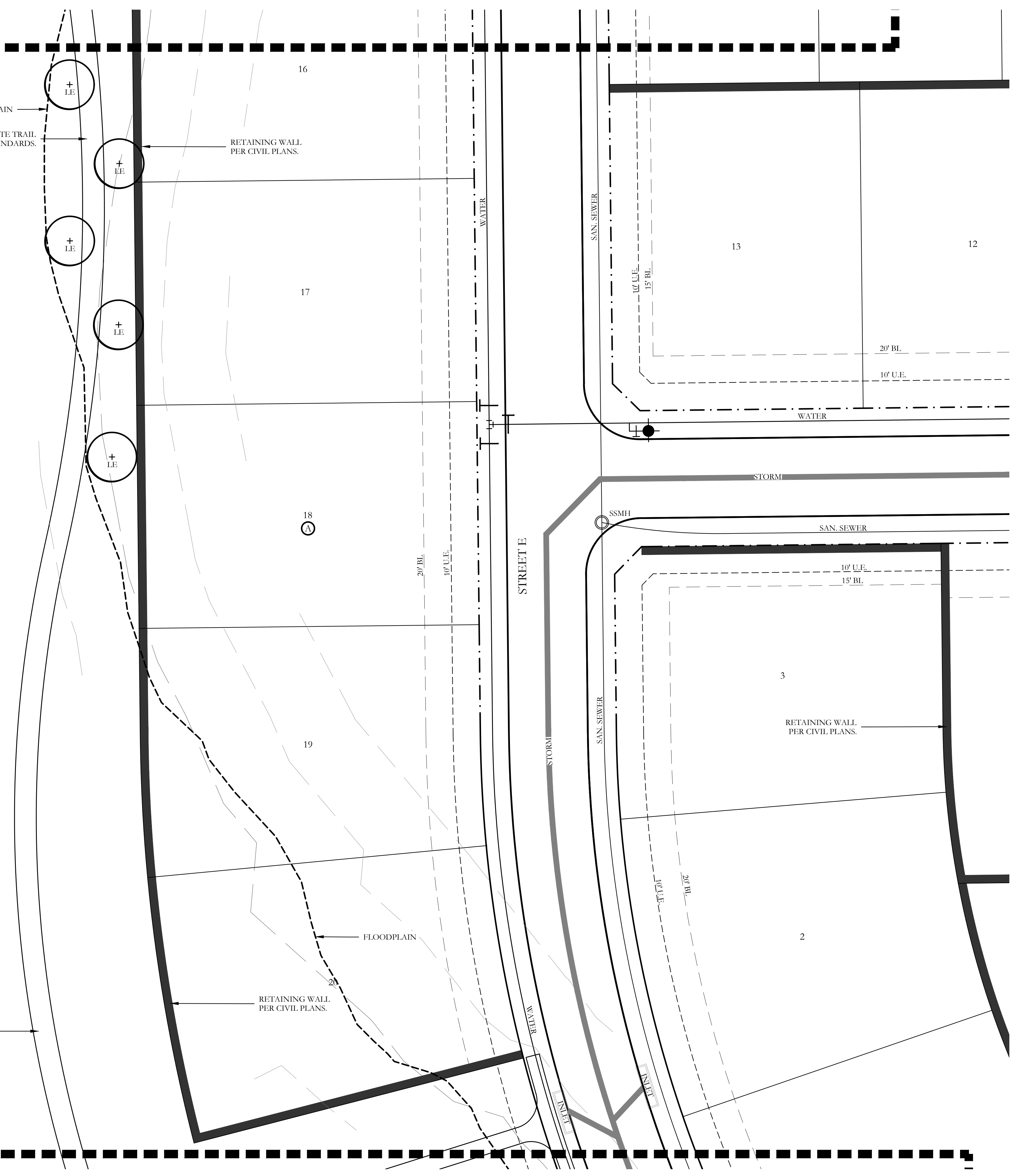
8'-0" WIDTH CONCRETE TRAIL
PER CITY OF ROCKWALL STANDARDS.

RETAINING WALL
PER CIVIL PLANS.

MATCHLINE

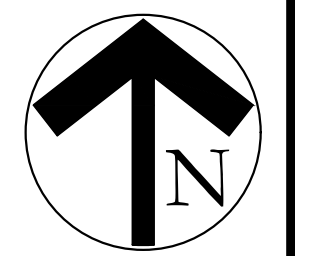
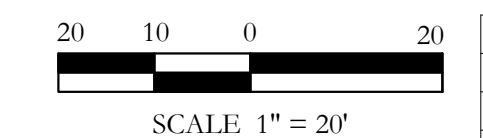
REF: SHEET L3

REF: SHEET L4



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



MATCHLINE

REF: SHEET L3

REF: SHEET L4

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

21

22

23

FLOODPLAIN

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

POND EDGE

DETENTION POND

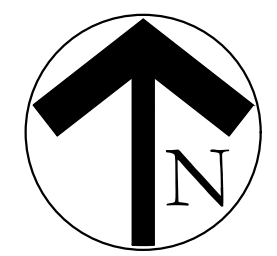
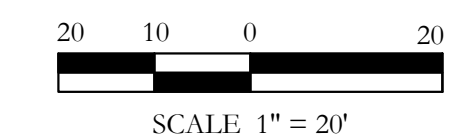
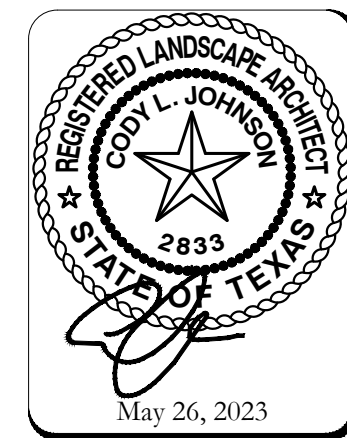
MATCHLINE

REF: SHEET L4

REF: SHEET L5

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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MATCHLINE

REF: SHEET L4

REF: SHEET L5

M

REF

REF

MATCHLINE
REF: SHEET L5
REF: SHEET L9

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

POND EDGE

DETENTION
POND

POND EDGE

FUTURE AMENITY
CENTER

STORM OUTFALL PER
CIVIL PLANS.

POND EDGE

FLOODPLAIN

WATER

INLET

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

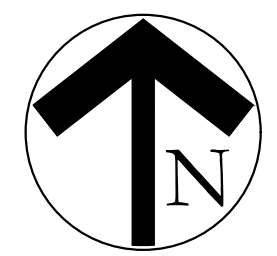
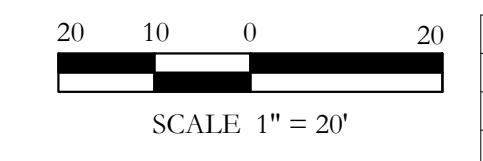
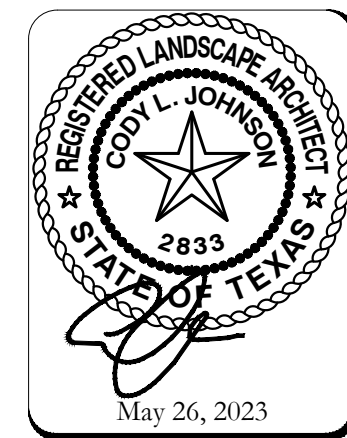
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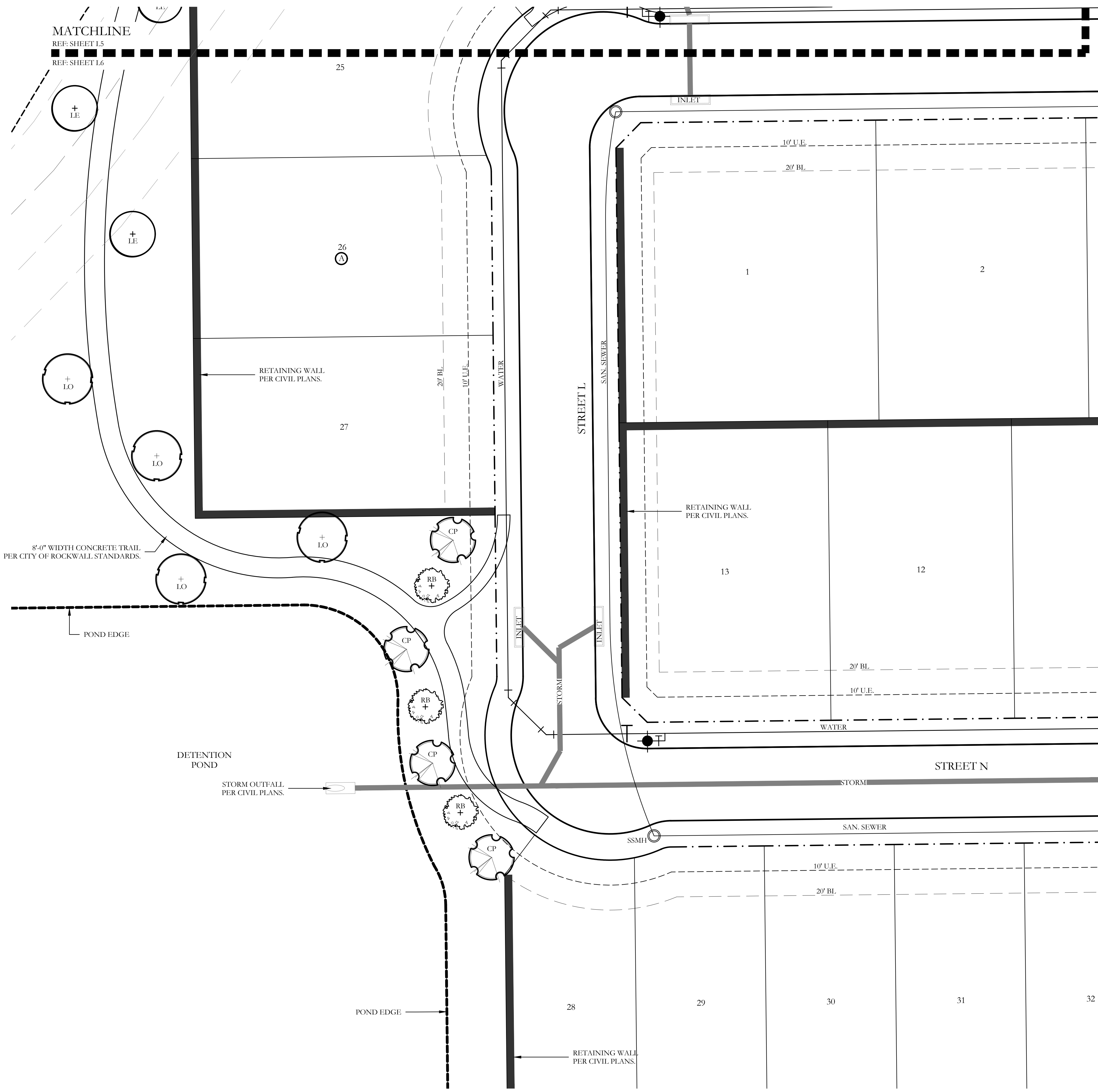
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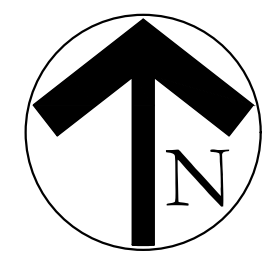
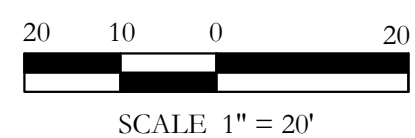
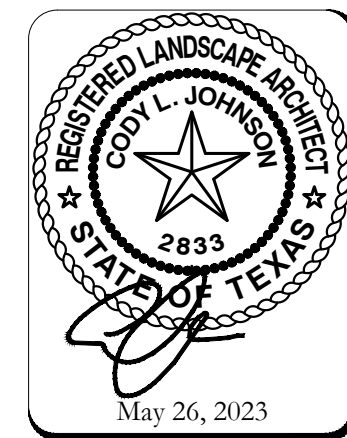
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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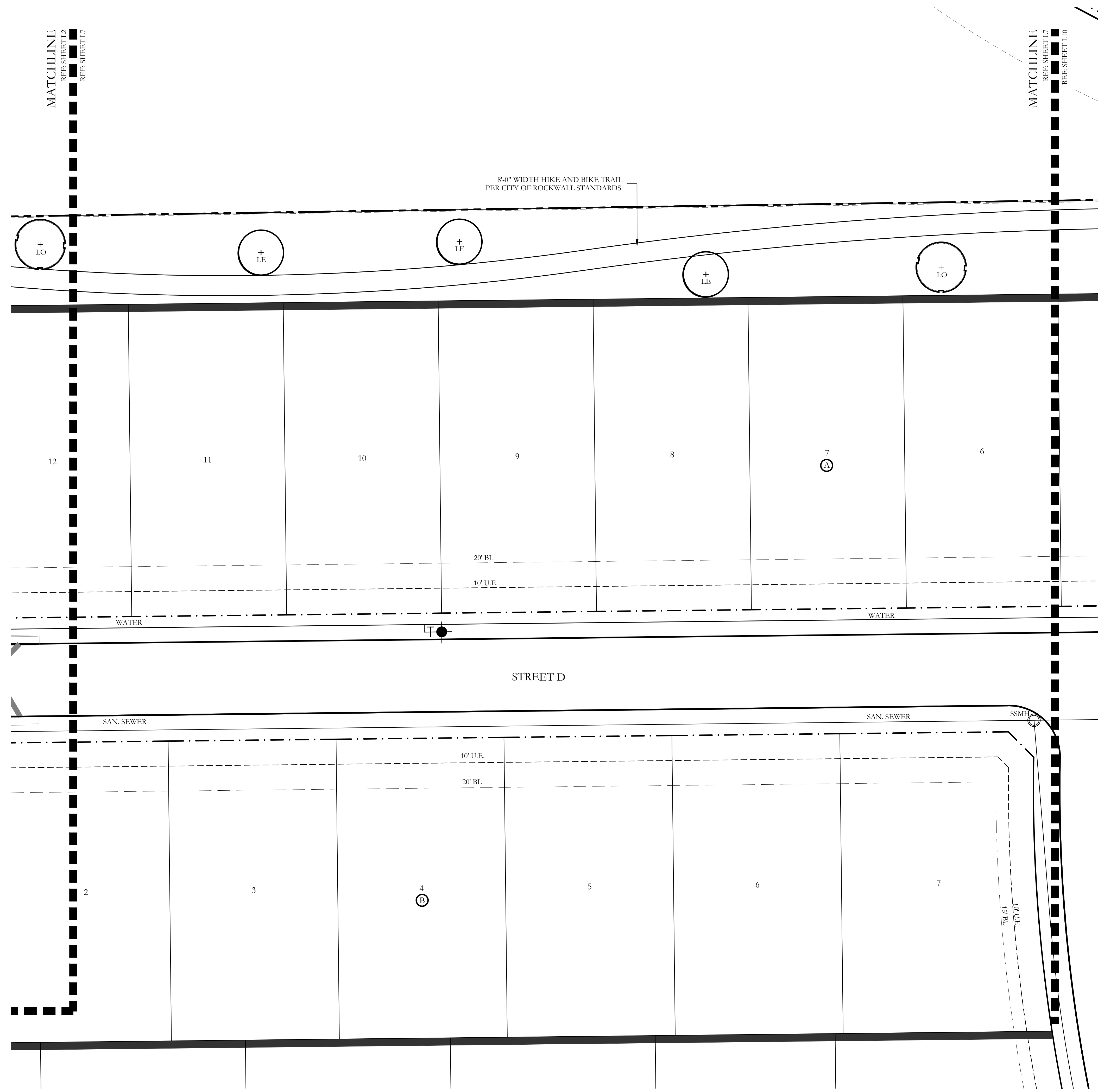


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

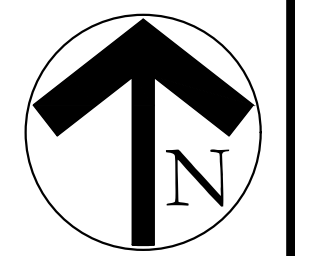
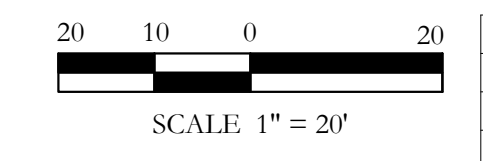


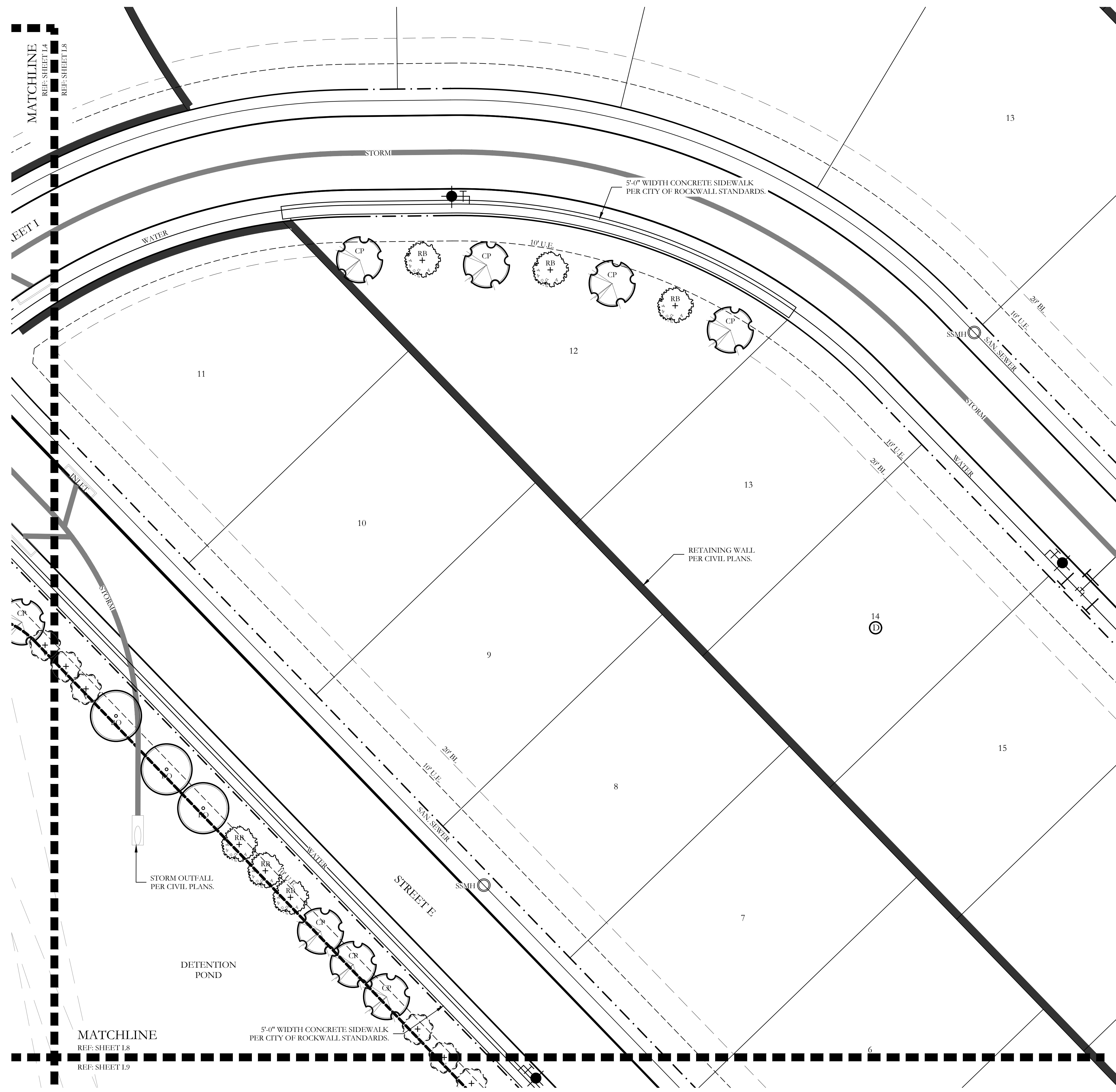
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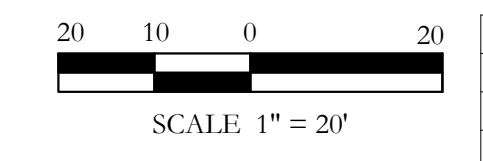
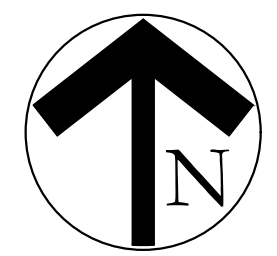
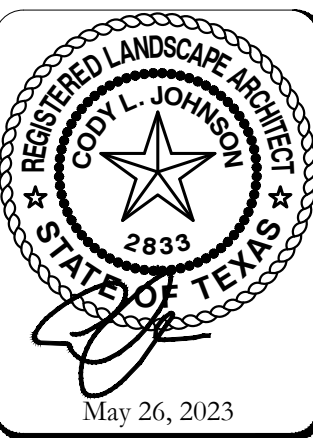


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

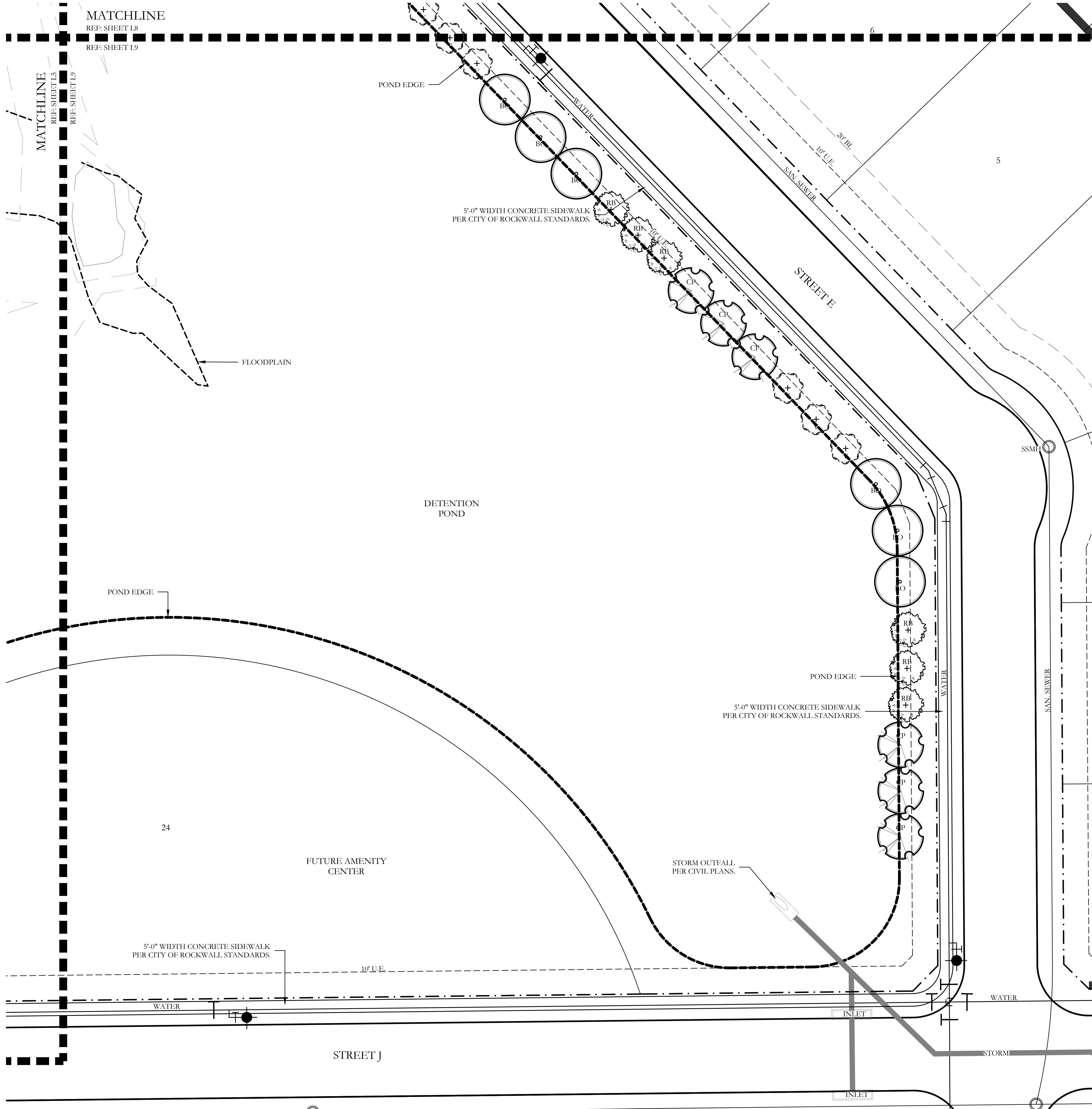




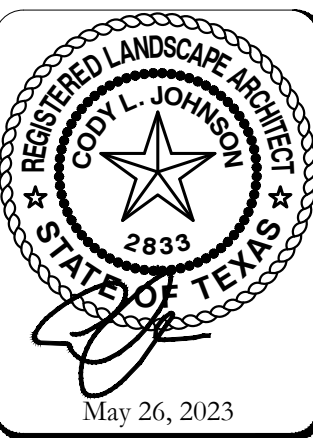
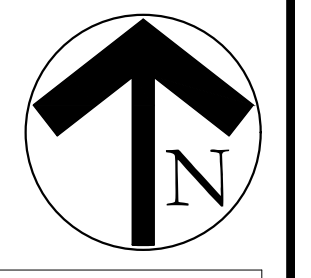
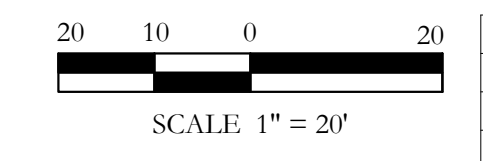
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



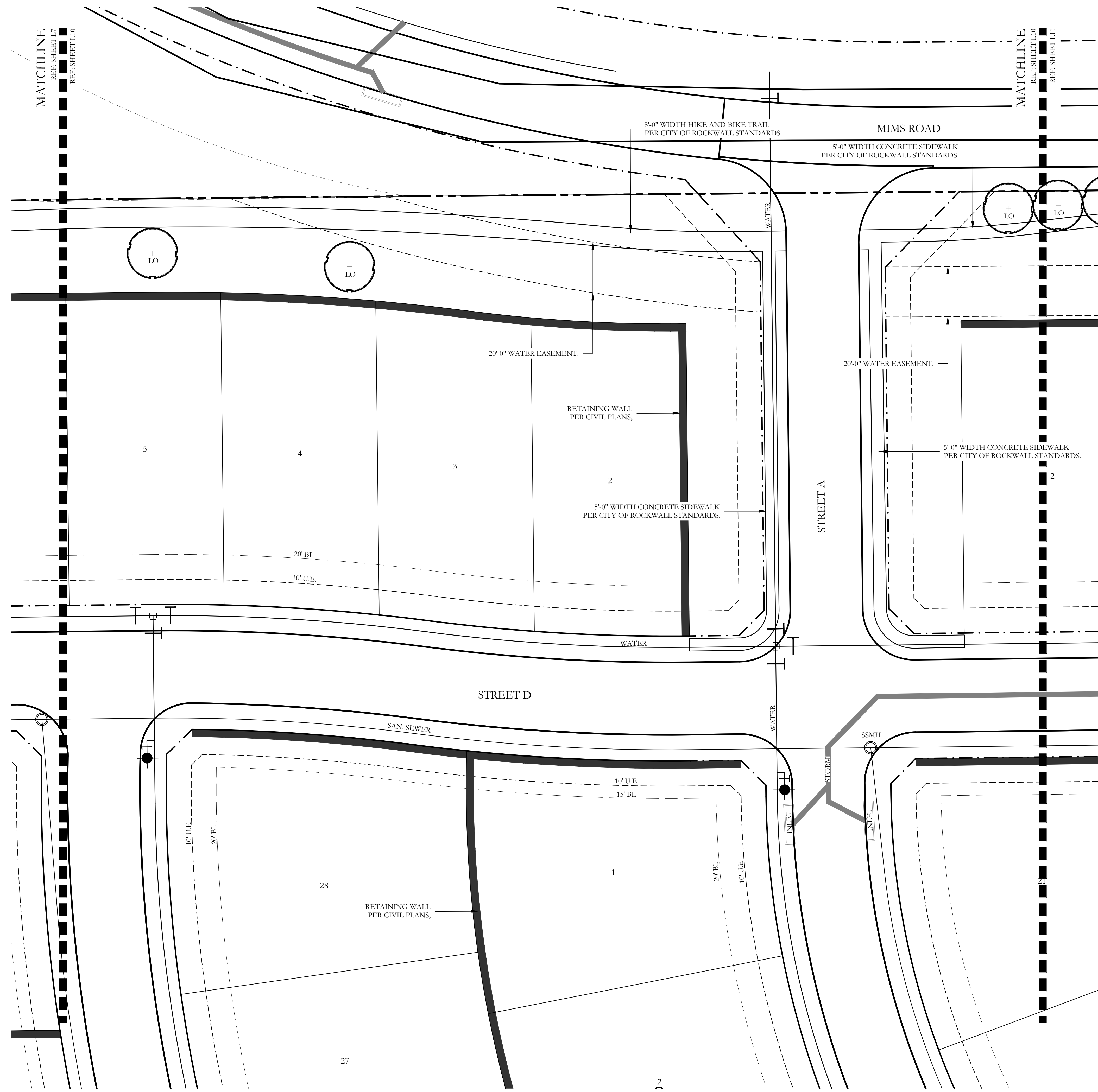
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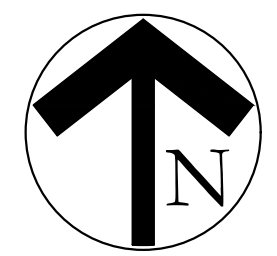
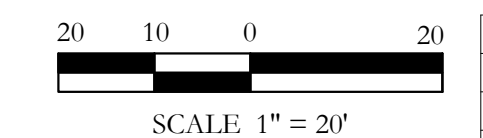
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

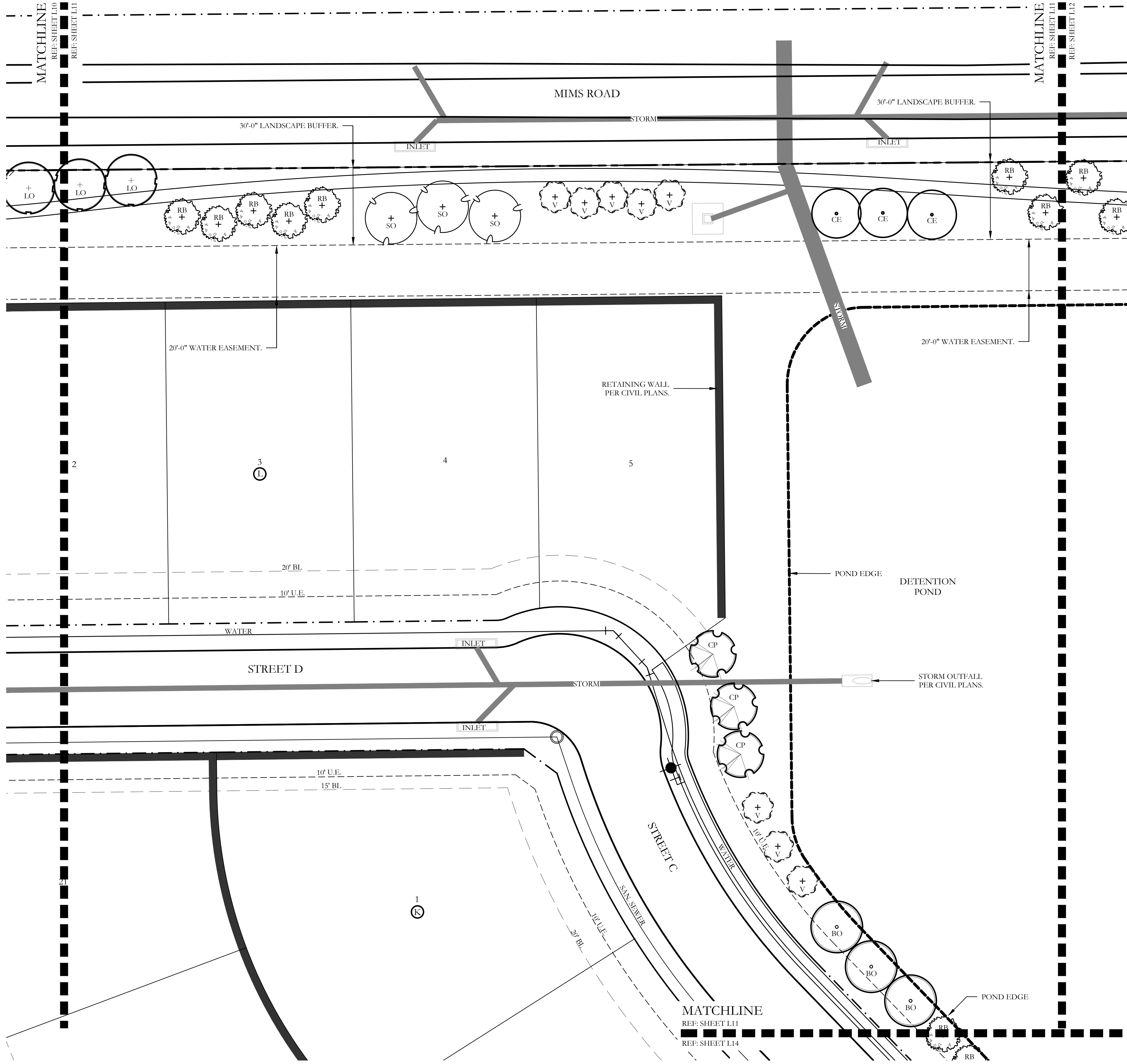


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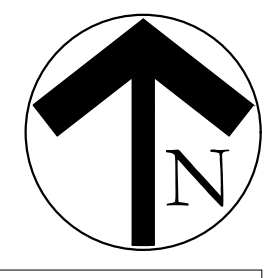
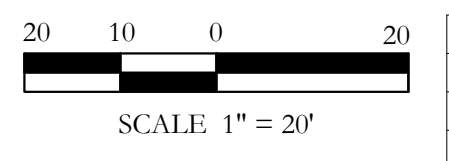


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



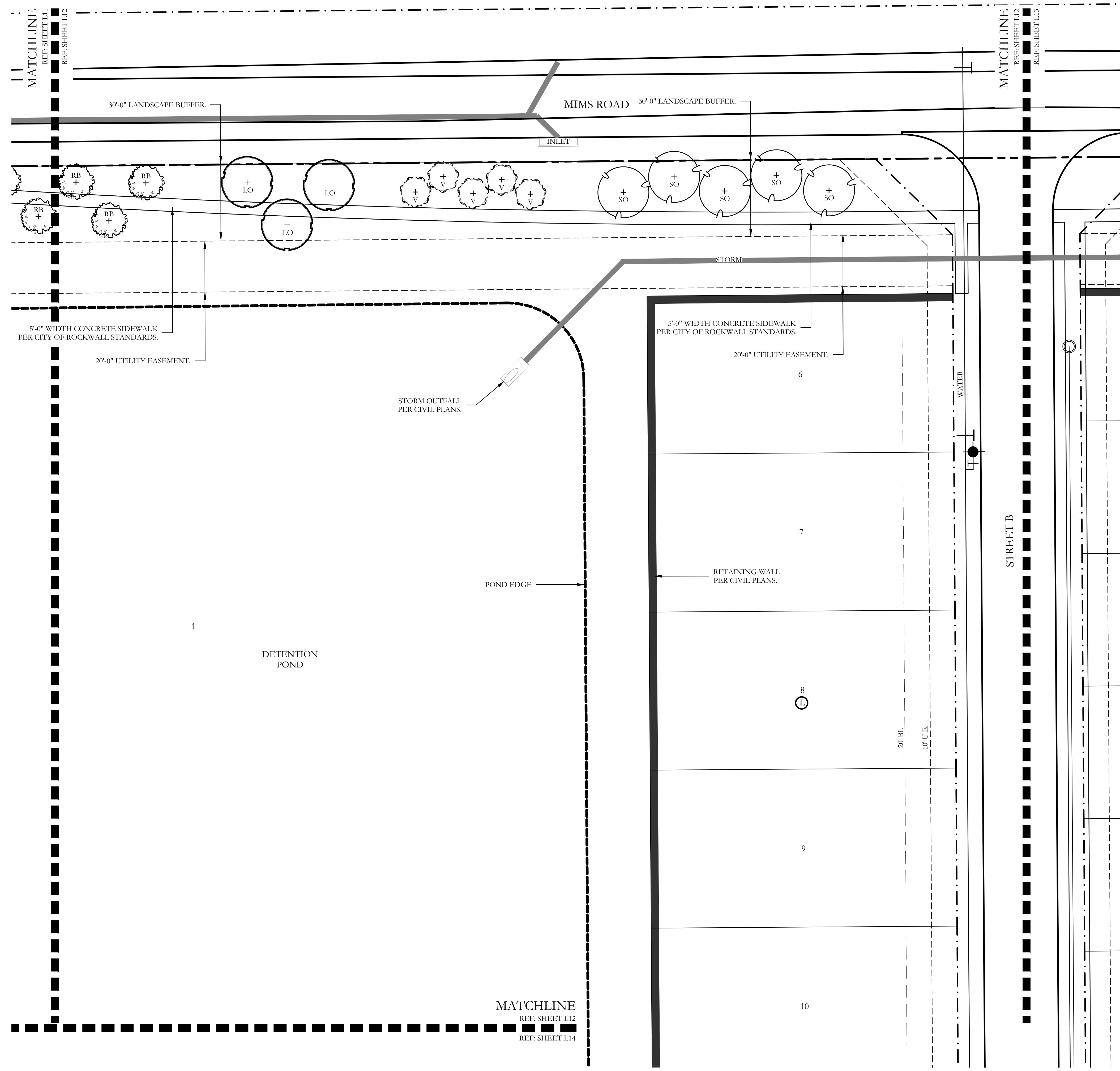


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN INLET
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

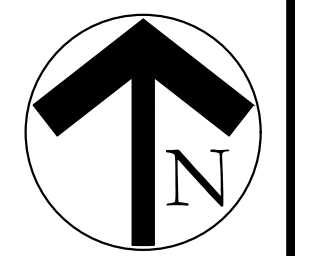
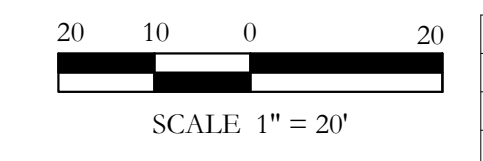


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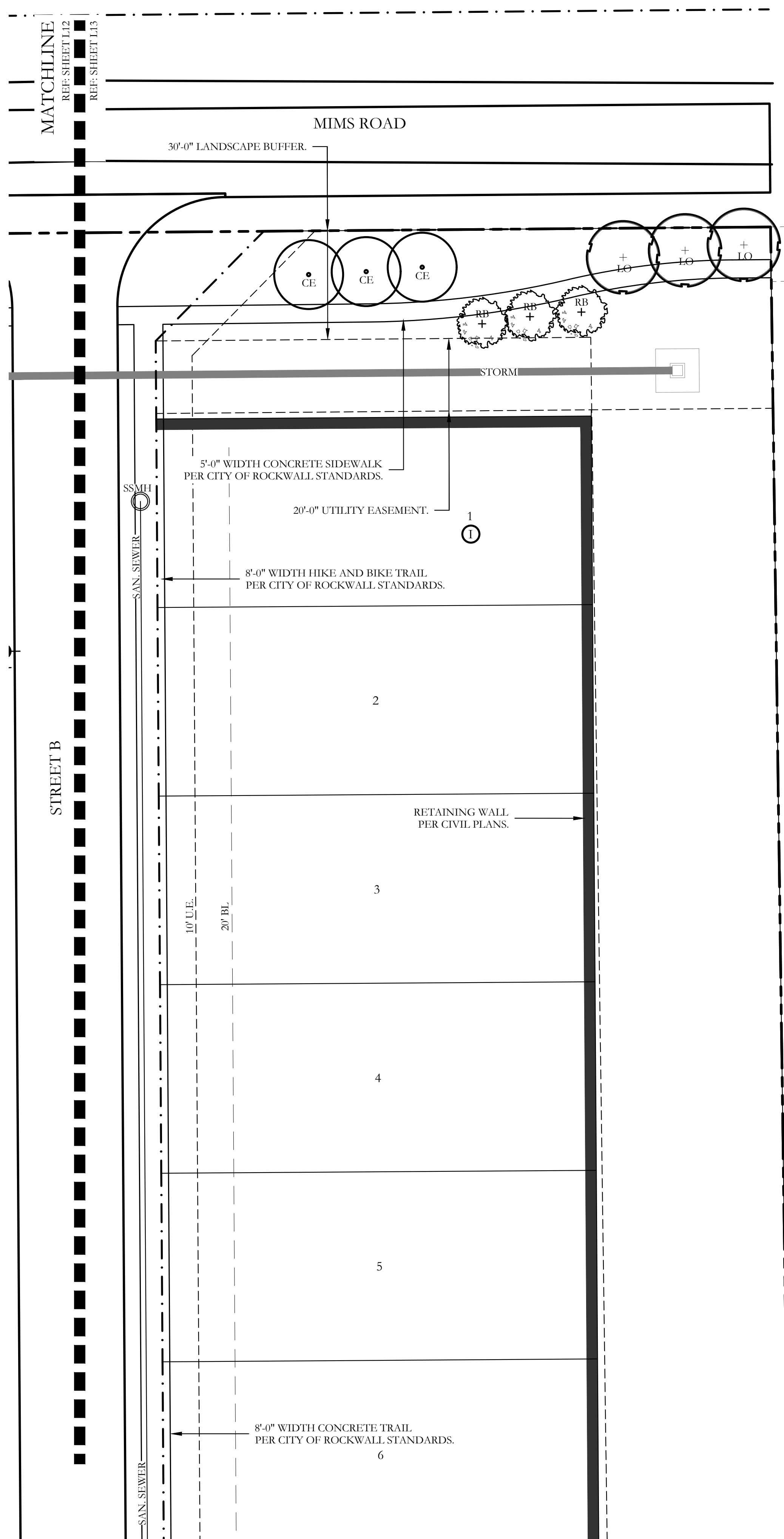
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	STORM ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	5'-0" WIDTH CONCRETE SIDEWALK PER CITY OF ROCKWALL STANDARDS.	CONCRETE	4" CALIPER	AS SHOWN
	U.E.	20'-0" UTILITY EASEMENT.			
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

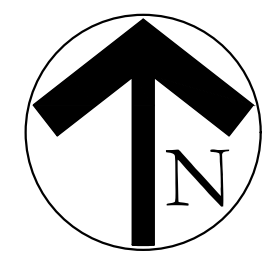
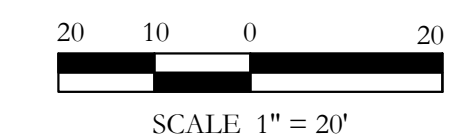


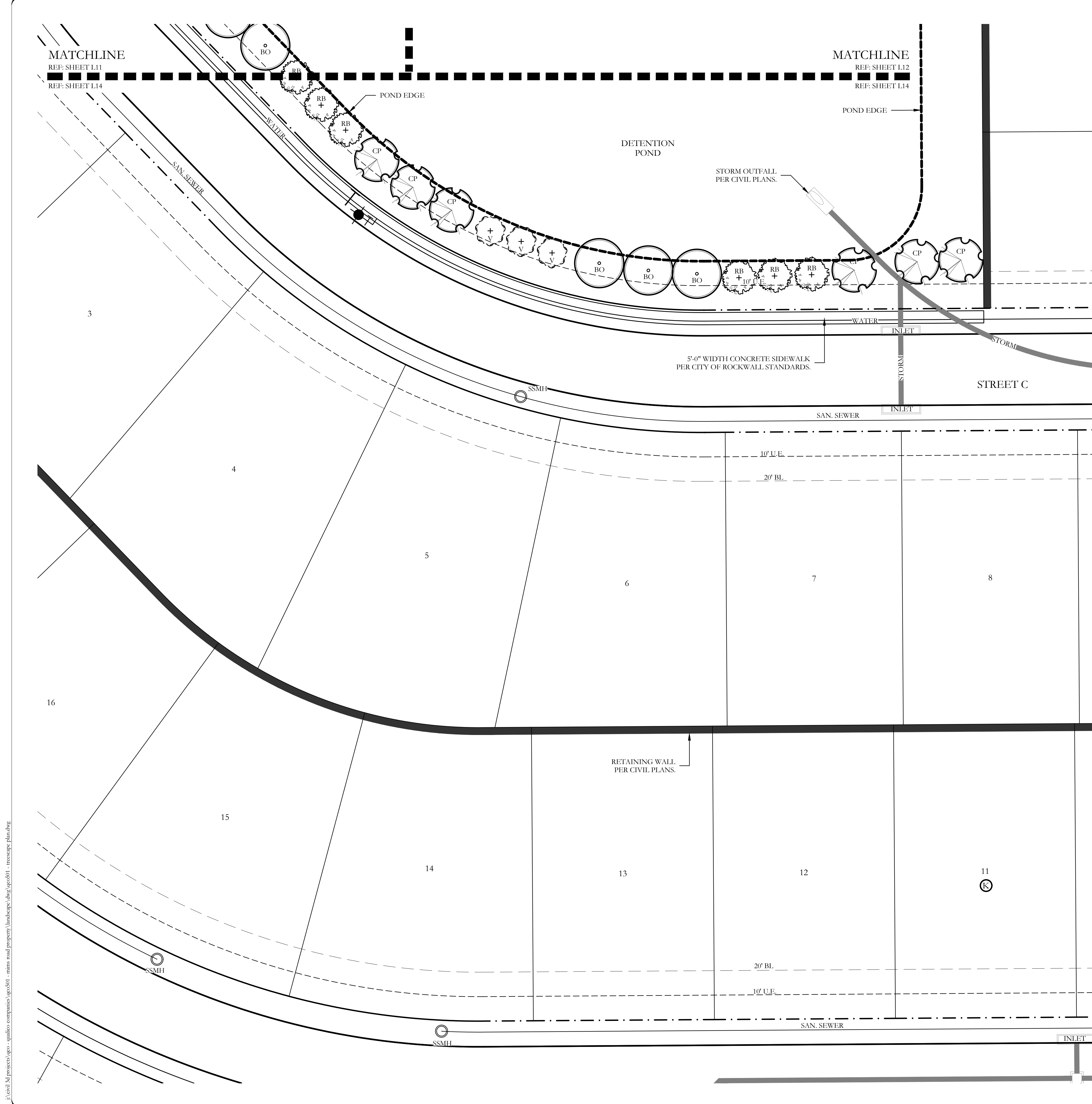
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12

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

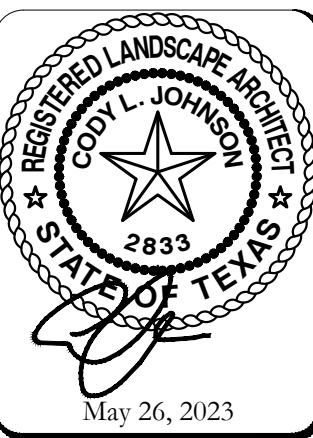
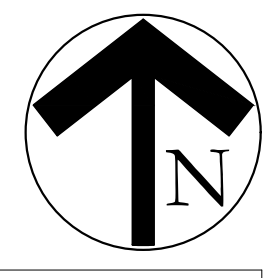
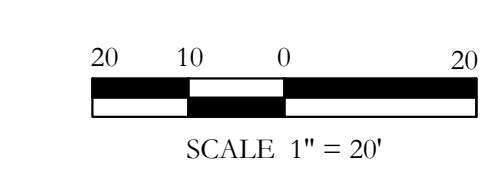


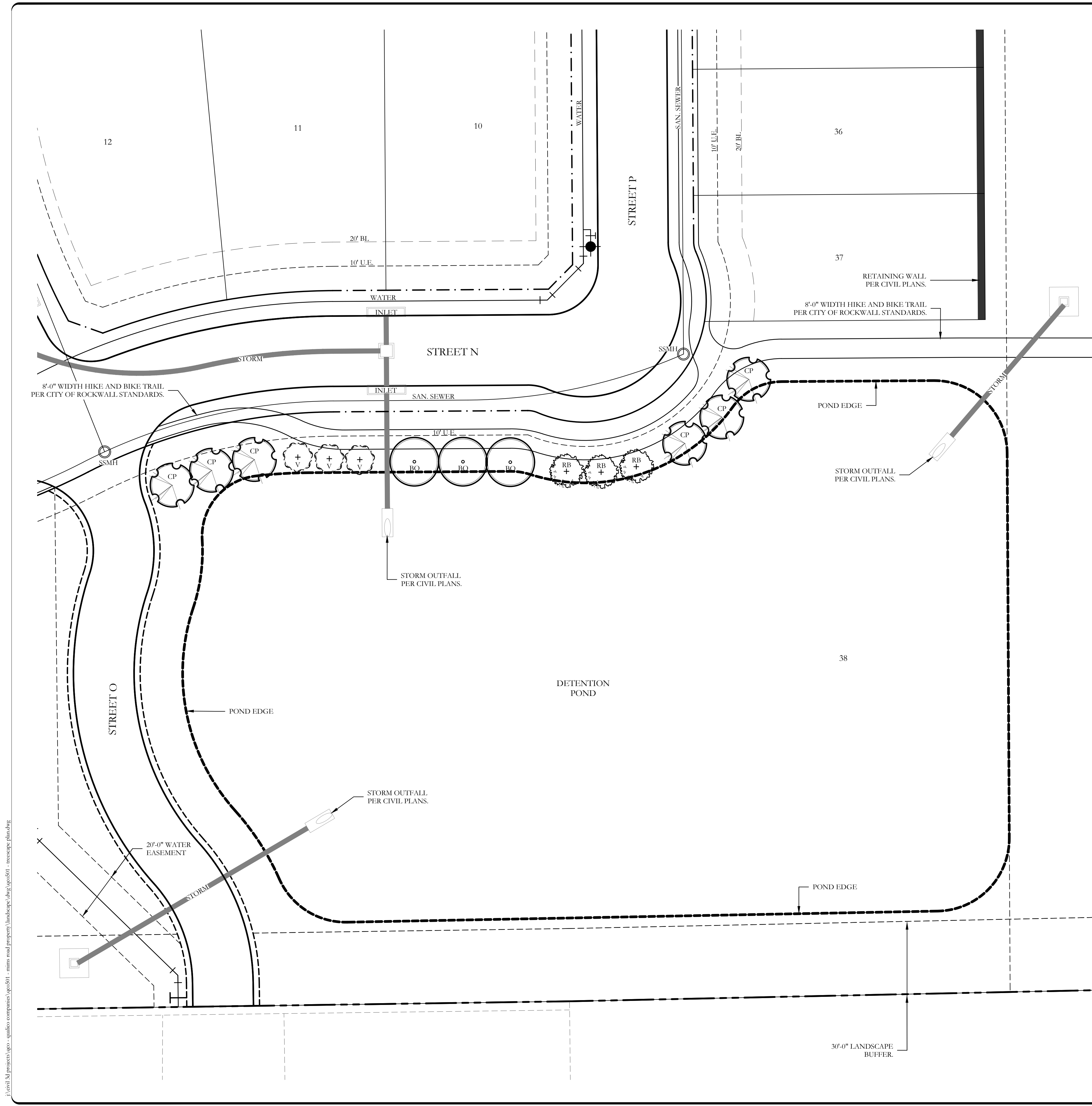


GENERAL LANDSCAPE NOTES PLANT LEGEND

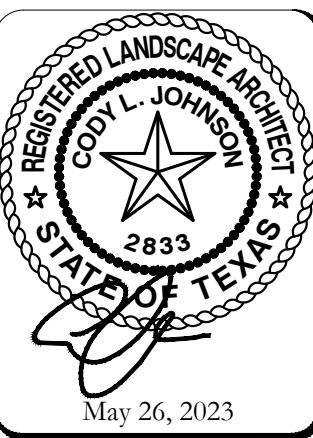
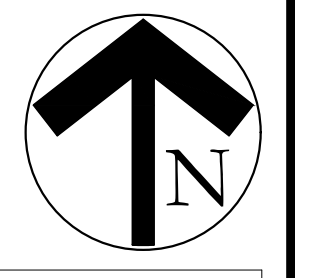
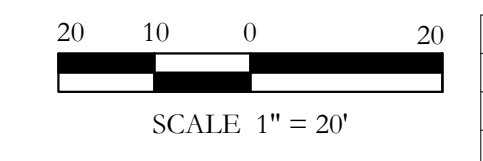
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



[\\c:\projects\jvc\spalido\company\jvc\0501 - mms road property\landscape\dwg\jvc01 - treescape plan.dwg]

LANDSCAPE PROVIDED

MIMS ROAD

- A. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 4" CAL. TREES REQUIRED.
PROVIDED: 23 - 4" CALIPER AND GREATER CANOPY TREES PROVIDED
- A. 1-2" CAL. ACCENT TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 2" CAL. TREES REQUIRED.
PROVIDED: 23 - 2" CALIPER AND GREATER CANOPY TREES PROVIDED

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	20	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	38	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	28	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	40	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
2. IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
3. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
4. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
5. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
6. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
7. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
8. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

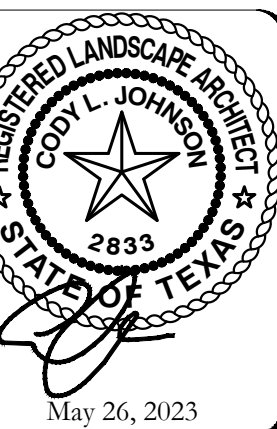
TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



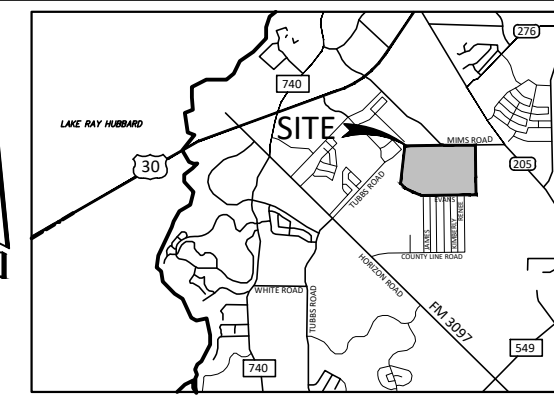
PEACHTREE MEADOWS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN
LANDSCAPE SCHEDULE & DETAILS

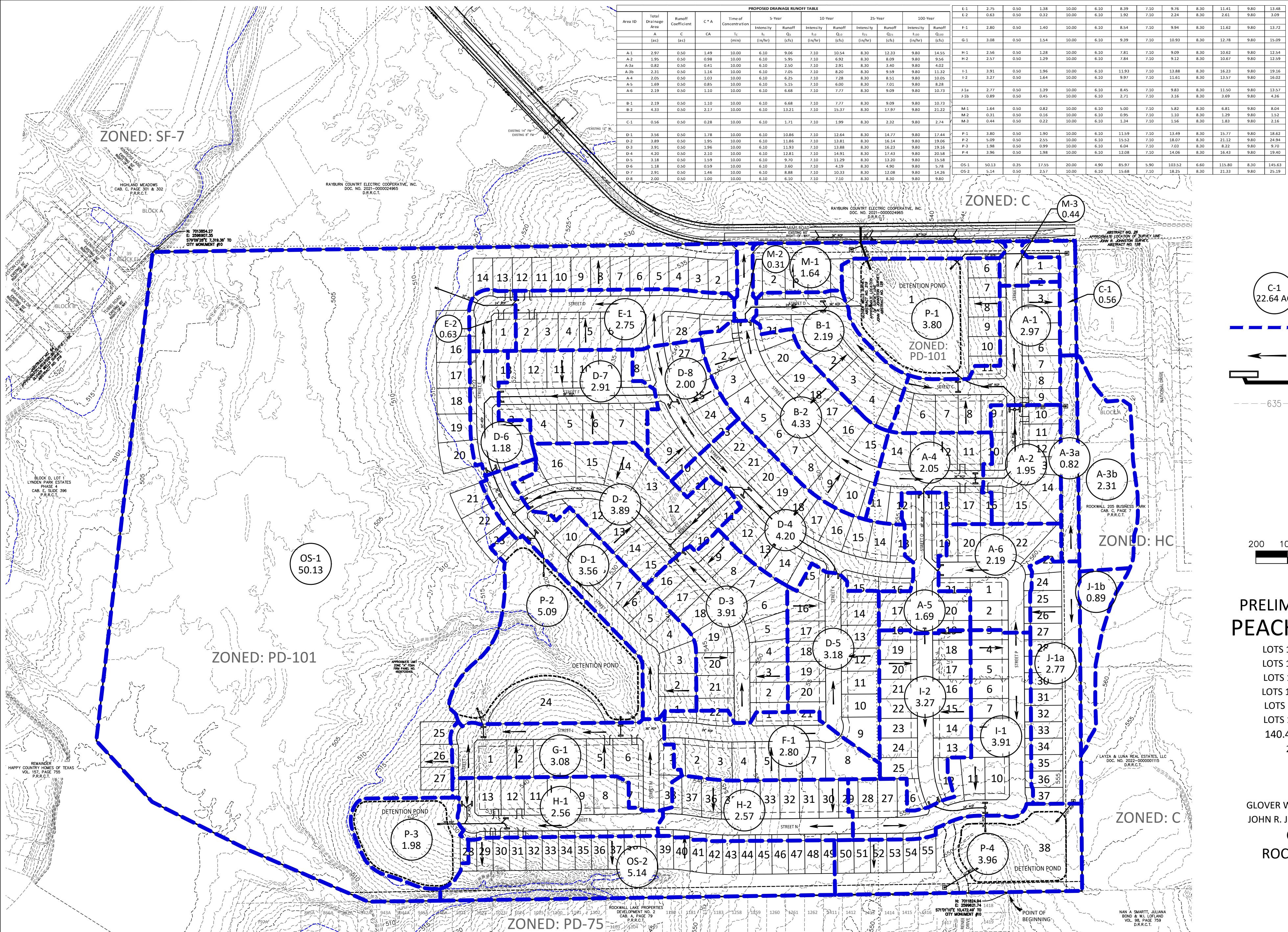


SCALE:
REFER TO
DETAILS
One Inch
JVC No QCO501

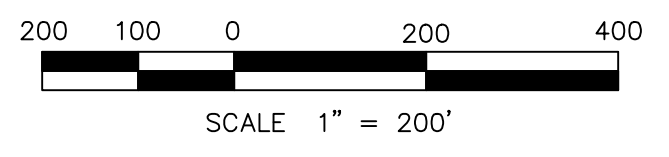
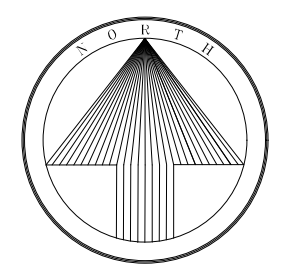
Area ID	Total Drainage Area (ac)	Runoff Coefficient	C * A	Time of Concentration (min)	PROPOSED DRAINAGE RUNOFF TABLE							
					5-Year Intensity (in/hr)	5-Year Runoff (cfs)	10-Year Intensity (in/hr)	10-Year Runoff (cfs)	25-Year Intensity (in/hr)	25-Year Runoff (cfs)	100-Year Intensity (in/hr)	100-Year Runoff (cfs)
A-1	2.97	0.50	1.49	10.00	6.10	9.06	7.10	10.54	8.30	12.33	9.80	14.55
A-2	1.95	0.50	0.98	10.00	6.10	5.95	7.10	6.92	8.30	8.09	9.80	9.56
A-3a	0.82	0.50	0.41	10.00	6.10	2.50	7.10	2.91	8.30	3.40	9.80	4.02
A-3b	2.31	0.50	1.16	10.00	6.10	7.05	7.10	8.20	8.30	9.59	9.80	11.32
A-4	2.05	0.50	1.03	10.00	6.10	6.25	7.10	7.28	8.30	8.51	9.80	10.05
A-5	1.69	0.50	0.85	10.00	6.10	5.15	7.10	6.00	8.30	7.01	9.80	8.28
A-6	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-1	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-2	4.33	0.50	2.17	10.00	6.10	13.21	7.10	15.37	8.30	17.97	9.80	21.22
C-1	0.56	0.50	0.28	10.00	6.10	1.71	7.10	1.99	8.30	2.32	9.80	2.74
D-1	3.56	0.50	1.78	10.00	6.10	10.86	7.10	12.64	8.30	14.77	9.80	17.44
D-2	3.89	0.50	1.95	10.00	6.10	11.86	7.10	13.81	8.30	16.14	9.80	19.06
D-3	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
D-4	4.20	0.50	2.10	10.00	6.10	12.81	7.10	14.91	8.30	17.43	9.80	20.58
D-5	3.18	0.50	1.59	10.00	6.10	9.70	7.10	11.29	8.30	13.20	9.80	15.58
D-6	1.18	0.50	0.59	10.00	6.10	3.60	7.10	4.19	8.30	4.90	9.80	5.78
D-7	2.91	0.50	1.46	10.00	6.10	8.88	7.10	10.33	8.30	12.08	9.80	14.26
D-8	2.00	0.50	1.00	10.00	6.10	6.10	7.10	7.10	8.30	8.30	9.80	9.80
E-1	2.75	0.50	1.38	10.00	6.10	8.39	7.10	9.76	8.30	11.41	9.80	13.48
E-2	0.63	0.50	0.32	10.00	6.10	1.92	7.10	2.24	8.30	2.61	9.80	3.09
F-1	2.80	0.50	1.40	10.00	6.10	8.54	7.10	9.94	8.30	11.62	9.80	13.72
G-1	3.08	0.50	1.54	10.00	6.10	9.39	7.10	10.93	8.30	12.78	9.80	15.09
H-1	2.56	0.50	1.28	10.00	6.10	7.81	7.10	9.09	8.30	10.62	9.80	12.54
H-2	2.57	0.50	1.29	10.00	6.10	7.84	7.10	9.12	8.30	10.67	9.80	12.59
I-1	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
I-2	3.27	0.50	1.64	10.00	6.10	9.97	7.10	11.61	8.30	13.57	9.80	16.02
J-1a	2.77	0.50	1.39	10.00	6.10	8.45	7.10	9.83	8.30	11.50	9.80	13.57
J-1b	0.89	0.50	0.45	10.00	6.10	2.71	7.10	3.16	8.30	3.69	9.80	4.36
M-1	1.64	0.50	0.82	10.00	6.10	5.00	7.10	5.83	8.30	6.81	9.80	8.04
M-2	0.31	0.50	0.16	10.00	6.10	0.95	7.10	1.10	8.30	1.29	9.80	1.52
M-3	0.44	0.50	0.22	10.00	6.10	1.34	7.10	1.56	8.30	1.83	9.80	2.16
P-1	3.80	0.50	1.90	10.00	6.10	11.59	7.10	13.49	8.30	15.77	9.80	18.62
P-2	5.09	0.50	2.55	10.00	6.10	15.52	7.10	18.07	8.30	21.12	9.80	24.94
P-3	1.98	0.50	0.99	10.00	6.10	6.04	7.10	7.03	8.30	8.22	9.80	9.70
P-4	3.96	0.50	1.98	10.00	6.10	12.08	7.10	14.06	8.30	16.43	9.80	19.40
OS-1	50.13	0.35	17.55	20.00	4.90	85.97	5.90	103.52	6.60	115.80	8.30	145.63
OS-2	5.14	0.50	2.57	10.00	6.10	15.68	7.10	18.25	8.30	21.33	9.80	25.19



VICINITY MAP
N.T.S.



- DRAINAGE AREA DESIGNATION
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



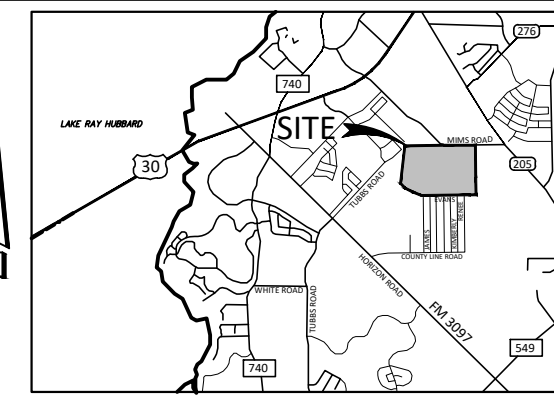
PRELIMINARY DRAINAGE PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
 140.494 ACRES OR 6,119,939 SQ. FT.
 292 SINGLE FAMILY LOTS AND
 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 SITUATED WITHIN THE
 GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
 JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2023-xxx
 June 12, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

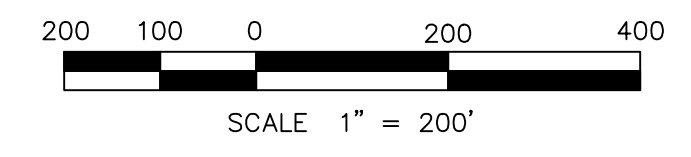
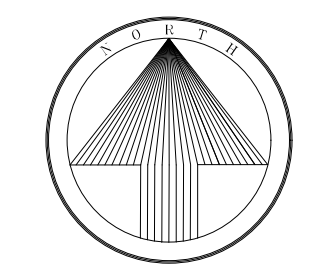
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas

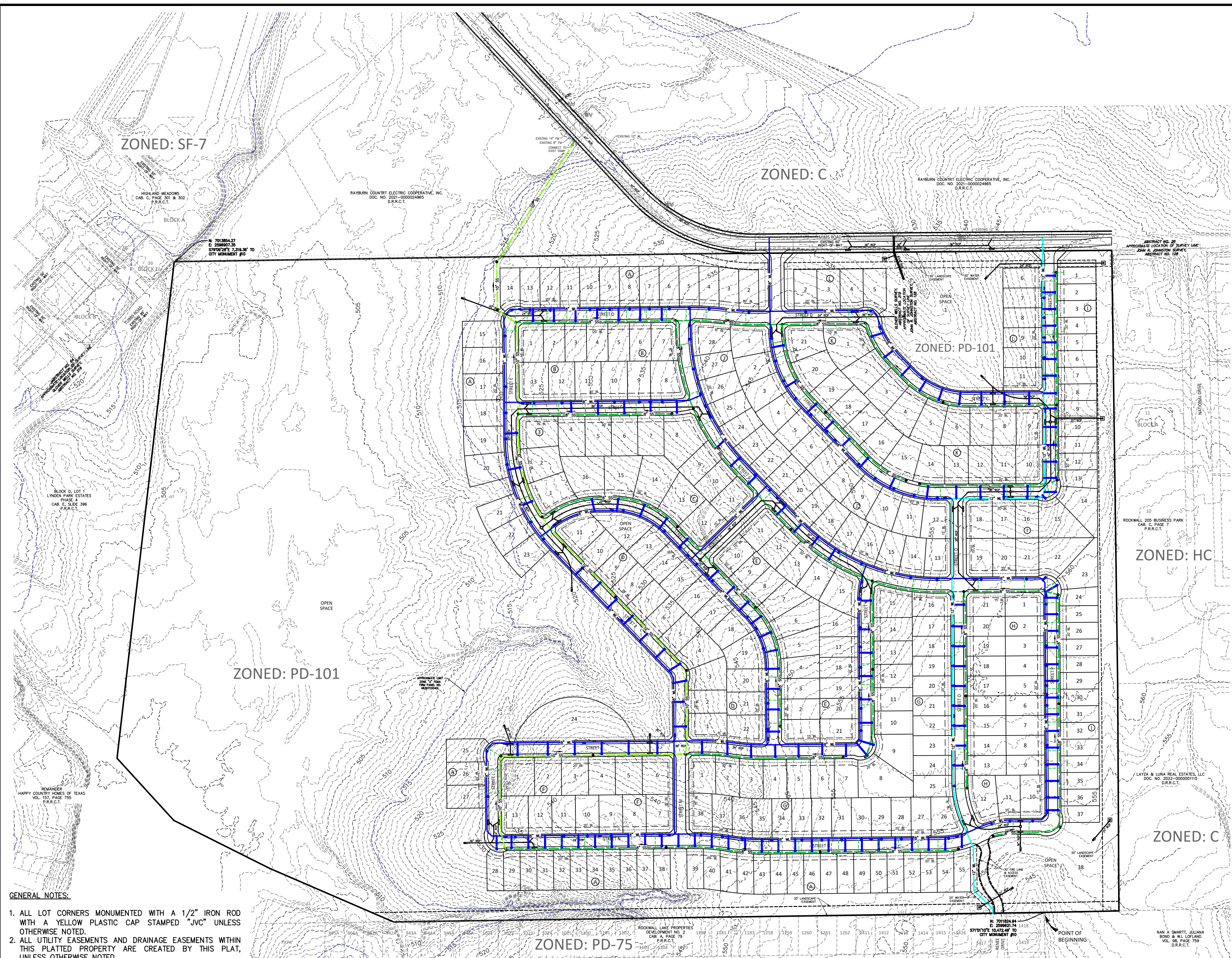


**PRELIMINARY UTILITY PLAN
PEACHTREE MEADOWS**

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
SITUATED WITHIN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF



- GENERAL NOTES:**
1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0040L, DATED SEPTEMBER 26, 2008.
 5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
 7. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 11, 2023

APPLICANT: Meredith Joyce; *Michael Joyce Properties*

CASE NUMBER: P2023-017; *Preliminary Plat for the Peachtree Meadows Subdivision*

SUMMARY

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50- acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

PLAT INFORMATION

Purpose. The purpose of the applicant’s request is to Preliminary Plat a 140.50-acre parcel of land (i.e. *Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219*) to show the future establishment of 292 single-family residential lots and four (4) open space lots (i.e. *Lots 1-55, Block A; Lots 1-13, Block B; Lots 1-16, Block C; Lots 1-22, Block D; Lots 1-21, Block E; Lots 1-13, Block F; Lots 1-38, Block G; Lots 1-21, Block H; Lots 1-38, Block I; Lots 1-28, Block J; Lots 1-21, Block K; Lots 1-11, Block L, Park Hills Subdivision*). The proposed Preliminary Plat also lays out the necessary easements (e.g. *fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the residential subdivision. Staff should note that in conjunction with the submittal of this Preliminary Plat, the applicant has also submitted a Master Plat [*Case No. P2023-016*] for the Peachtree Meadows Subdivision.

Background. The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 6, 2023, the City Council approved a zoning case [*Case No. Z2023-003*] that changed the zoning designation of the subject property from Agricultural (AG) District to Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses. Under this Planned Development District ordinance, the subject property was permitted to be developed with a total of 292 single-family residential lots (or a density of 2.08 dwelling units per acre) and a minimum of 65.90-acres of open space (i.e. 31.28% open space on the gross). The following is a summary of the lot composition and density and dimensional standards contained within Planned Development District 101 (PD-101):

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width</i> (*)		82'	72'	62'	52'
<i>Minimum Lot Depth</i>		120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>		9,000 SF	8,400 SF	7,200 SF	6,000 SF

Minimum Front Yard Setback (2), (5) & (6)	20'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) (2) & (5)	20'	20'	20'	20'
Minimum Length of Driveway Pavement (7)	20'	20'	20'	20'
Maximum Height (3)	35'	35'	35'	35'
Minimum Rear Yard Setback (4)	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	65%	65%	65%	65%

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE FRONT YARD BUILDING SETBACK. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE FRONT YARD BUILDING SETBACK AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE MAXIMUM HEIGHT SHALL BE MEASURED TO THE EAVE OR TOP PLATE (WHICHEVER IS GREATER) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE REAR YARD BUILDING SETBACK AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE FRONT YARD BUILDING SETBACK BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON SIDE YARD SETBACKS. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: J-SWING OR TRADITIONAL SWING GARAGES ARE PERMITTED TO ENCROACH INTO THE FRONT YARD BUILDING SETBACK A MAXIMUM OF FIVE (5) FEET.

Parks Board. On July 10, 2023, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:

- (1) The property owner shall pay pro-rata equipment fees of \$92,669.12 (i.e. \$317.36 x 292 Lots).
- (2) The property owner shall pay cash-in-lieu of land fees of \$98,742.72 (i.e. \$338.16 x 292 Lots).

Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the *Peachtree Meadows Subdivision* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

02223-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 4, 7}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
⁴ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT _____ BLOCK _____

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 2,307.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

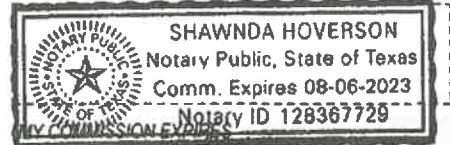
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2023

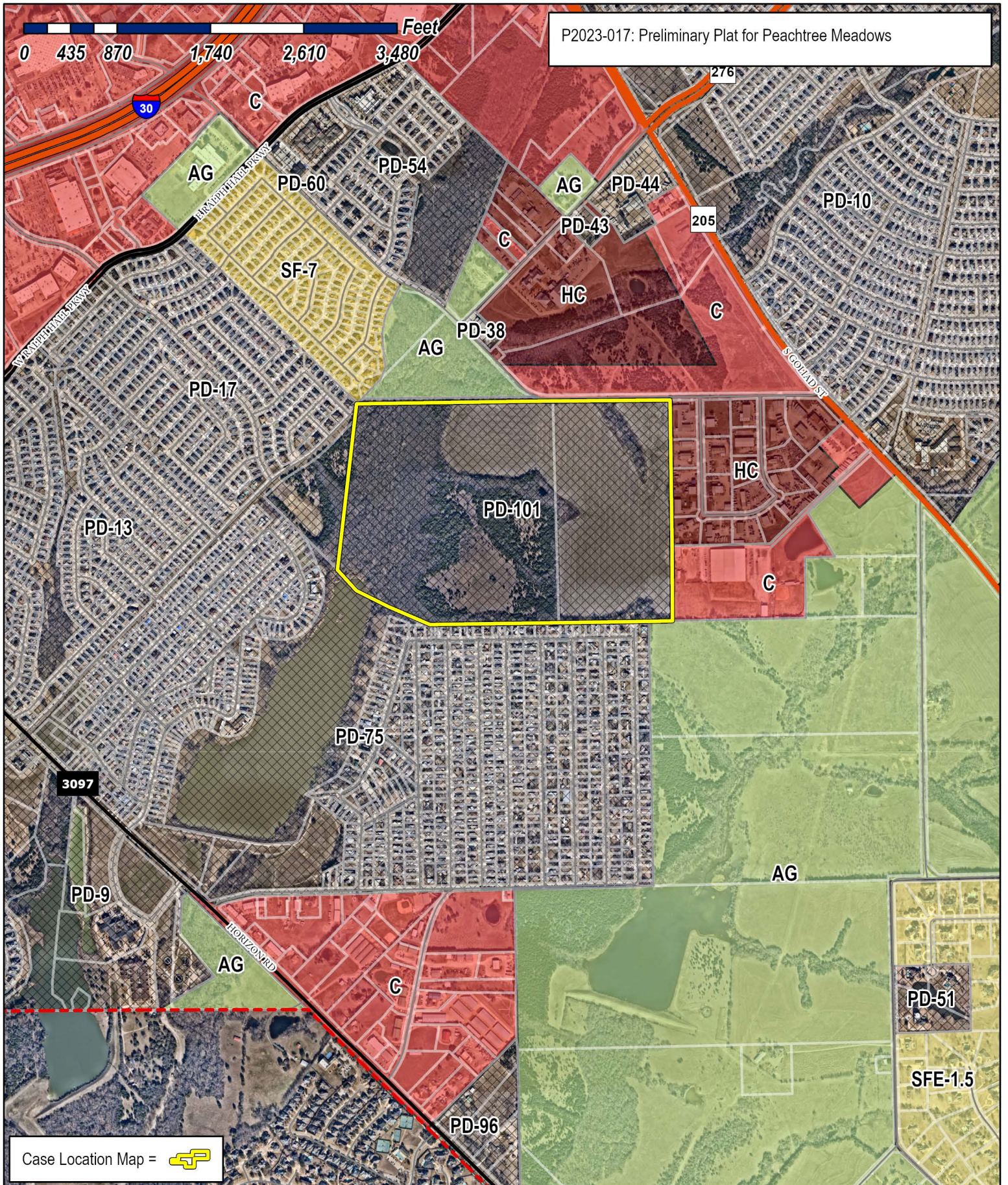
OWNER'S SIGNATURE

John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shawnda Hoiverson



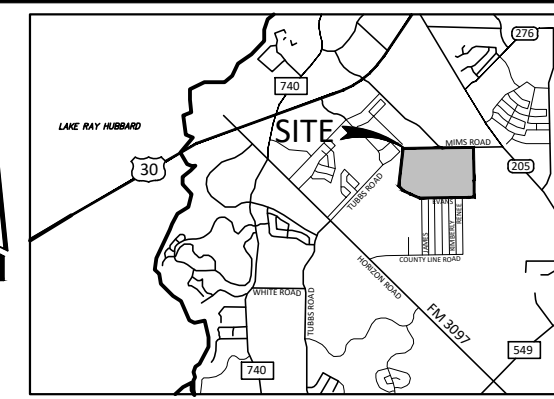


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

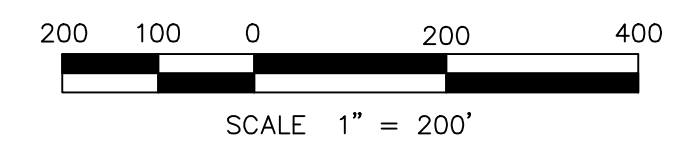
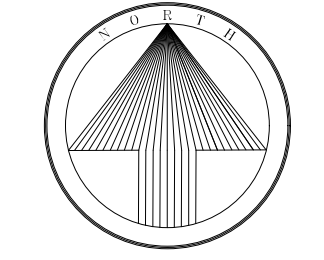
OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	$[(43.8/2) + 20.4] / 140.5 = 30.1\%$

*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER - CONNECTIONS TO EXISTING WATER LINE AT MIMS ROAD
 - WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
 - ROADWAY - CONNECTIONS TO EXISTING ROADWAYS MIMS ROAD & RENEE DRIVE
 - DRAINAGE - DRAINAGE TO DETENTION PONDS
- SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY AND DRAINAGE FACILITIES THAT HAVE ADEQUATE CAPACITY.

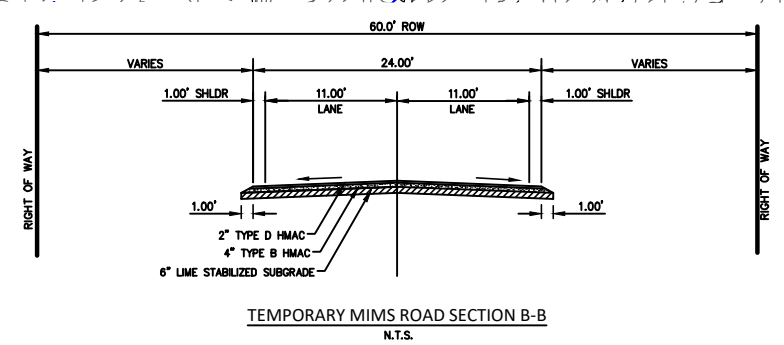
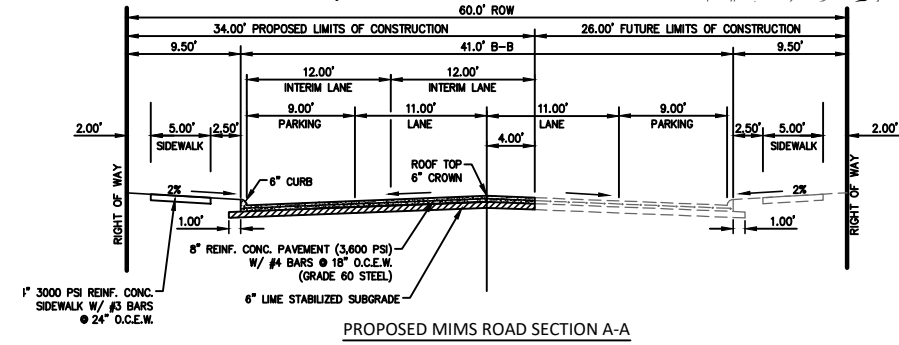
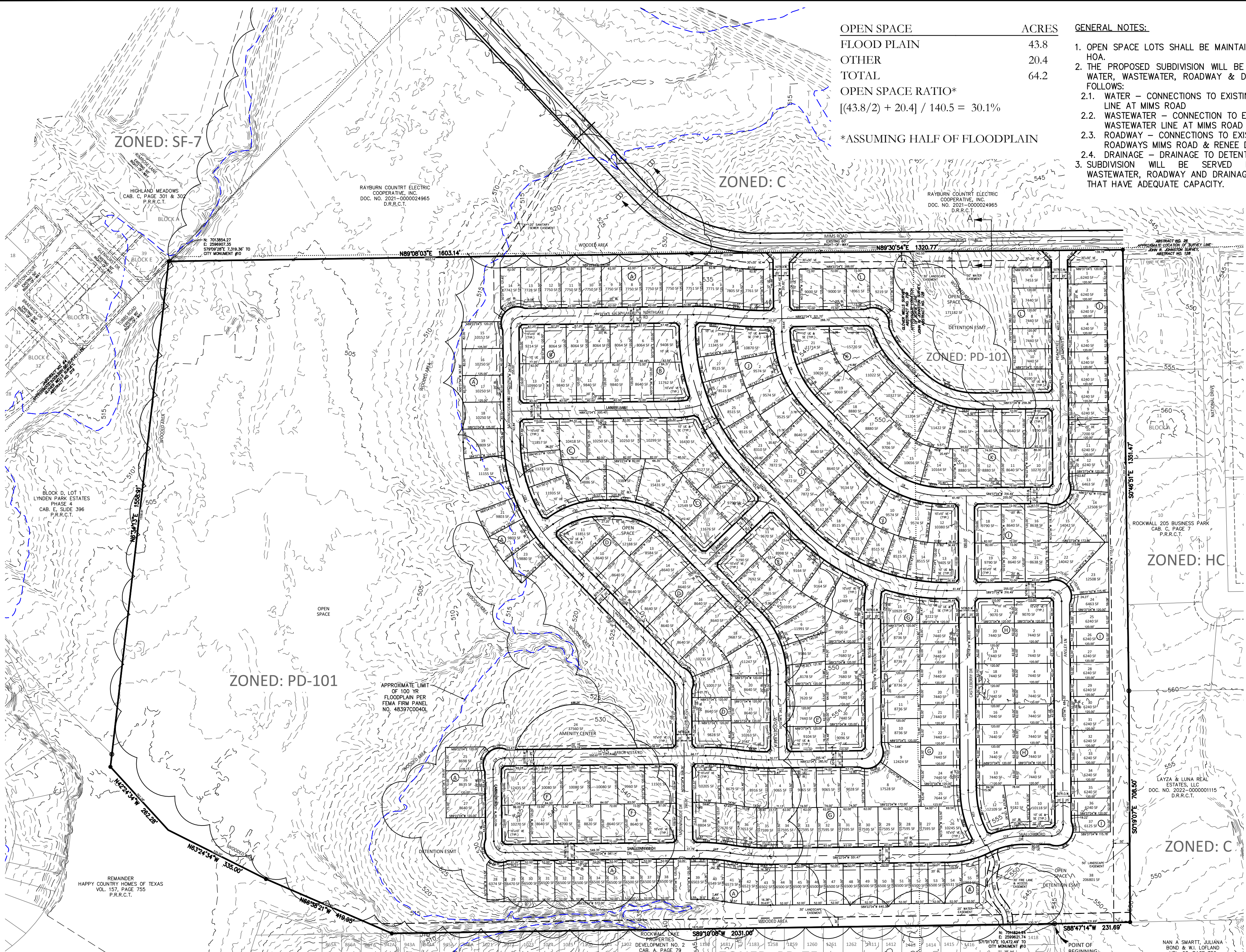
- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas



PRELIMINARY PLAT
LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;

**PEACHTREE MEADOWS
SUBDIVISION**

BEING
292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
1 AMENITY CENTER
140.494 ACRES OR 6,119,939 SQ. FT.
SITUATED IN THE
G. WELLS SURVEY, ABSTRACT NO. 219 AND
J. R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-017
June 30, 2023
EXIST. ZONING: PD-101
LAND USE: SF-10
SHEET 1 OF 3



Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**LEGAL DESCRIPTION:
140.494 ACRES**

BEING a 140.494 acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.)and being more particularly described as follows:

BEGINNING at a 1” iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10’ 08” W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

- N 66° 38’ 21” W, a distance of 419.95 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a corner of this tract;
- N 63° 24’ 34” W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;
- N 42° 24’ 34” W, a distance of 262.28 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a corner of this tract;

THENCE N 06° 34’ 13” E, passing at a distance of 40.96 feet a 1/2” iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08’ 03” E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a common corner of said tract and this tract, from which a found 60–D Nail found for a reference to said corner bears S 31° 40’ 24” E, 0.71 feet, also from said corner, a 5/8” iron rod found for reference to said corner bears S 43° 21’ 16” E, 28.37 feet;

THENCE N 89° 30’ 54” E, continuing with said common line, for a distance of 1320.77 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for the northeast corner of this tract, from which a 3/8” iron rod found for reference to said corner bears S 82° 16’ 02” E, 3.04 feet;

THENCE S 00° 46’ 51” E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a 1/2” iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 20220000001115 (D.R.R.C.T.) and common corner of this tract;

THENCE S 00° 19’ 07” E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of 708.50 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set in the north line of the above–mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

THENCE S 88° 47’ 14” W, with said north line, a distance of 231.69 feet to the POINT OF BEGINNING and containing 6,119,939 square feet or 140.494 acres of land.

GENERAL NOTES:

1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
2. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
3. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
4. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON–SITE AND OFF–SITE FIRE LANE IMPROVEMENTS.
5. ALL DECORATIVE SIGNAGE, POSTS OR LIGHTS INSTALLED IN PUBLIC RIGHT–OR–WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED AND REPLACED BY THE HOMEOWNER’S ASSOCIATION (HOA).

OWNER’S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PEACHTREE MEADOWS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PEACHTREE MEADOWS subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of these respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city’s engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary public in and for the State of Texas

My Commission Expires

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary public in and for the State of Texas

My Commission Expires

SURVEYOR’S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS::

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

APPROVED:

I hereby certify that the above and foregoing Preliminary Plat was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall for the preparation of a Final Plat on ____ day of _____, 2023.

Mayor, City of Rockwall

Planning & Zoning Commission Chairman

PRELIMINARY PLAT
LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
PEACHTREE MEADOWS
SUBDIVISION

BEING
292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
1 AMENITY CENTER
140.494 ACRES OR 6.119,939 SQ. FT.
SITUATED IN THE
G. WELLS SURVEY, ABSTRACT NO. 219 AND
J. R. JOHNSTON SURVEY, ABSTRACT NO. 128
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2023-017
June 30, 2023
EXIST. ZONING: PD-101
LAND USE: SF-10
SHEET 2 OF 3



Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

Line Table		
Line	Length	Direction
L1	34.00	S1° 17' 33"W
L2	76.12	N43° 59' 40"W
L3	88.96	N89° 37' 04"E
L4	32.43	N28° 31' 41"W
L5	16.94	N26° 21' 17"W
L6	10.02	S0° 49' 52"E
L7	39.38	N89° 22' 04"E
L8	40.36	S53° 31' 39"W
L9	14.69	S6° 14' 46"W
L10	3.96	S53° 31' 39"W
L11	3.96	S53° 31' 39"W
L12	14.69	N79° 11' 29"W
L13	6.08	N43° 59' 40"W
L14	6.08	S43° 59' 40"E
L15	14.14	N88° 59' 40"W
L16	14.14	S1° 00' 20"W
L17	14.14	N88° 59' 40"W
L18	14.14	S1° 00' 20"W
L19	15.39	S63° 57' 28"E
L20	15.11	N30° 45' 11"E
L21	14.14	S44° 22' 04"W
L22	14.14	S45° 37' 56"E
L23	14.14	S44° 22' 04"W
L24	20.00	N46° 56' 47"W
L25	14.35	N44° 45' 59"W

Line Table		
Line	Length	Direction
L26	14.28	S45° 44' 30"W
L27	20.00	N89° 22' 04"E
L28	14.14	S44° 22' 04"W
L29	14.14	S45° 37' 56"E
L30	20.00	S89° 22' 04"W
L31	14.14	S44° 22' 04"W
L32	4.64	N0° 37' 56"W
L33	4.64	S0° 37' 56"E
L34	14.14	S45° 37' 56"E
L35	20.00	N89° 22' 04"E
L36	14.64	S0° 37' 56"E
L37	15.97	S53° 37' 04"E
L38	28.93	S54° 36' 39"W
L39	23.00	S0° 22' 56"E
L40	21.50	S0° 22' 56"E
L41	14.14	S44° 37' 04"W
L42	14.14	S45° 22' 56"E
L43	14.14	S44° 37' 04"W
L44	10.14	N89° 37' 04"E
L45	14.14	S44° 37' 04"W
L46	14.14	S45° 22' 56"E
L47	14.14	S44° 37' 04"W
L48	14.14	S45° 22' 56"E
L49	14.14	S44° 37' 04"W
L50	14.14	S45° 22' 56"E

Line Table		
Line	Length	Direction
L51	14.14	S45° 22' 56"E
L52	14.14	S44° 37' 04"W
L53	15.06	S70° 28' 23"E
L54	12.86	S21° 27' 06"W
L55	20.91	S89° 22' 04"W
L56	20.91	S89° 22' 04"W
L57	2.68	S89° 22' 04"W
L58	14.02	S45° 30' 26"E
L59	14.27	S44° 29' 34"W
L60	12.08	S89° 22' 04"W
L61	20.00	N37° 01' 42"E
L62	14.14	S45° 37' 56"E
L63	20.75	N40° 07' 35"W
L64	14.14	S44° 22' 04"W
L65	14.20	S45° 30' 26"E
L66	14.17	S44° 29' 34"W
L67	14.11	S45° 30' 26"E
L68	14.08	S44° 29' 34"W
L69	14.16	S44° 41' 27"W
L70	14.11	S45° 30' 26"E
L71	18.57	S22° 11' 18"E
L72	14.17	S44° 29' 34"W
L73	13.43	S59° 20' 12"W
L74	15.27	S27° 12' 21"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	54.98	35.00	090°00'00"	49.50	S44° 22' 04"W
C2	107.91	775.00	007°58'39"	107.82	N86° 38' 36"W
C3	107.91	775.00	007°58'39"	107.82	S86° 38' 36"E
C4	44.91	35.00	073°31'21"	41.89	N53° 52' 15"W
C5	117.31	250.00	026°53'05"	116.23	S30° 33' 08"E
C6	202.40	250.00	046°23'15"	196.92	S67° 11' 18"E
C7	54.98	35.00	090°00'00"	49.50	N44° 37' 04"E
C8	263.13	325.00	046°23'15"	256.00	S67° 11' 18"E
C9	245.97	325.00	043°21'45"	240.14	S22° 18' 48"E
C10	486.10	615.00	045°17'13"	473.54	S21° 21' 04"E
C11	497.91	615.00	046°23'15"	484.43	S67° 11' 18"E
C12	54.98	35.00	090°00'00"	49.50	N45° 22' 56"W
C13	54.98	35.00	090°00'00"	49.50	N44° 37' 04"E
C14	116.77	250.00	026°45'44"	115.71	S76° 14' 12"W
C15	82.21	250.00	018°50'30"	81.84	N79° 56' 49"E
C16	120.91	675.00	010°15'47"	120.75	S85° 30' 02"E
C17	103.00	575.00	010°15'47"	102.86	N85° 30' 02"W
C18	54.98	35.00	090°00'00"	49.50	S45° 37' 56"E
C19	54.98	35.00	090°00'00"	49.50	S44° 22' 04"W
C22	54.83	35.00	089°45'00"	49.39	N44° 29' 34"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C23	85.13	250.00	019°30'36"	84.72	S09° 22' 22"W
C24	147.37	300.00	028°08'46"	145.90	S14° 27' 18"E
C25	32.85	42.00	044°48'48"	32.02	S03° 56' 53"E
C26	123.66	117.50	060°18'03"	118.03	S11° 41' 31"E
C27	53.68	75.00	041°00'40"	52.54	S21° 20' 12"E
C28	26.64	35.00	043°36'45"	26.00	N22° 11' 18"W
C29	359.49	475.00	043°21'45"	350.97	S22° 18' 48"E
C30	156.38	250.00	035°50'26"	153.85	S71° 26' 51"W
C31	203.49	250.00	046°38'15"	197.92	N67° 18' 48"W
C32	190.30	250.00	043°36'45"	185.73	N22° 11' 18"W
C33	82.86	250.00	018°59'27"	82.48	N79° 52' 21"E

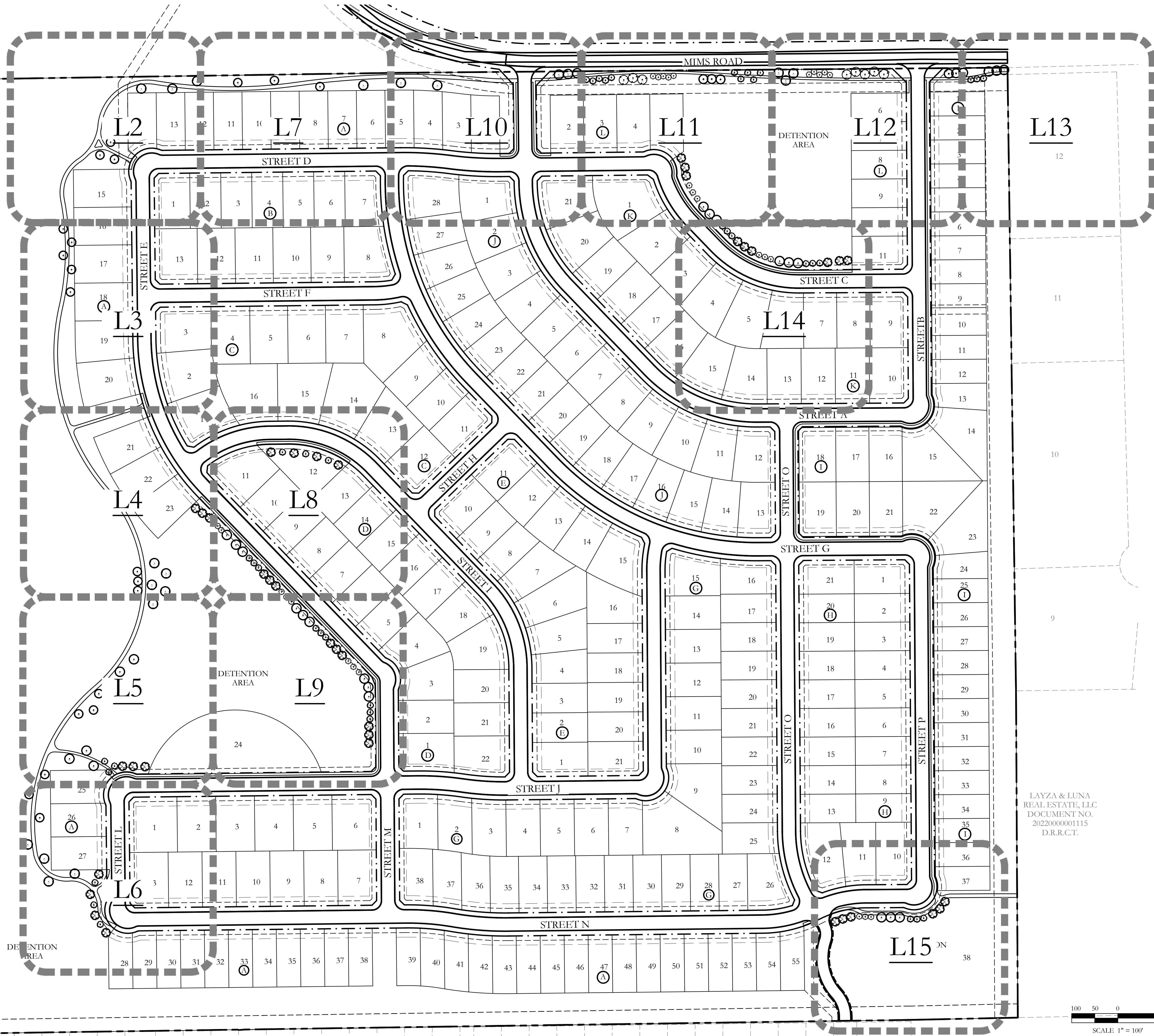
PRELIMINARY PLAT
 LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
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 P2023-017
 June 30, 2023
 EXIST. ZONING: PD-101
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 SHEET 3 OF 3

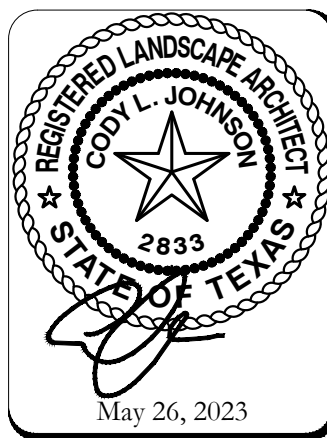
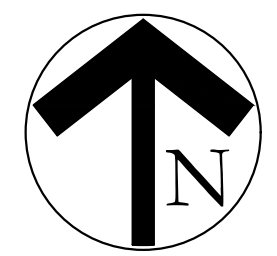
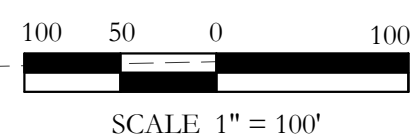
Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

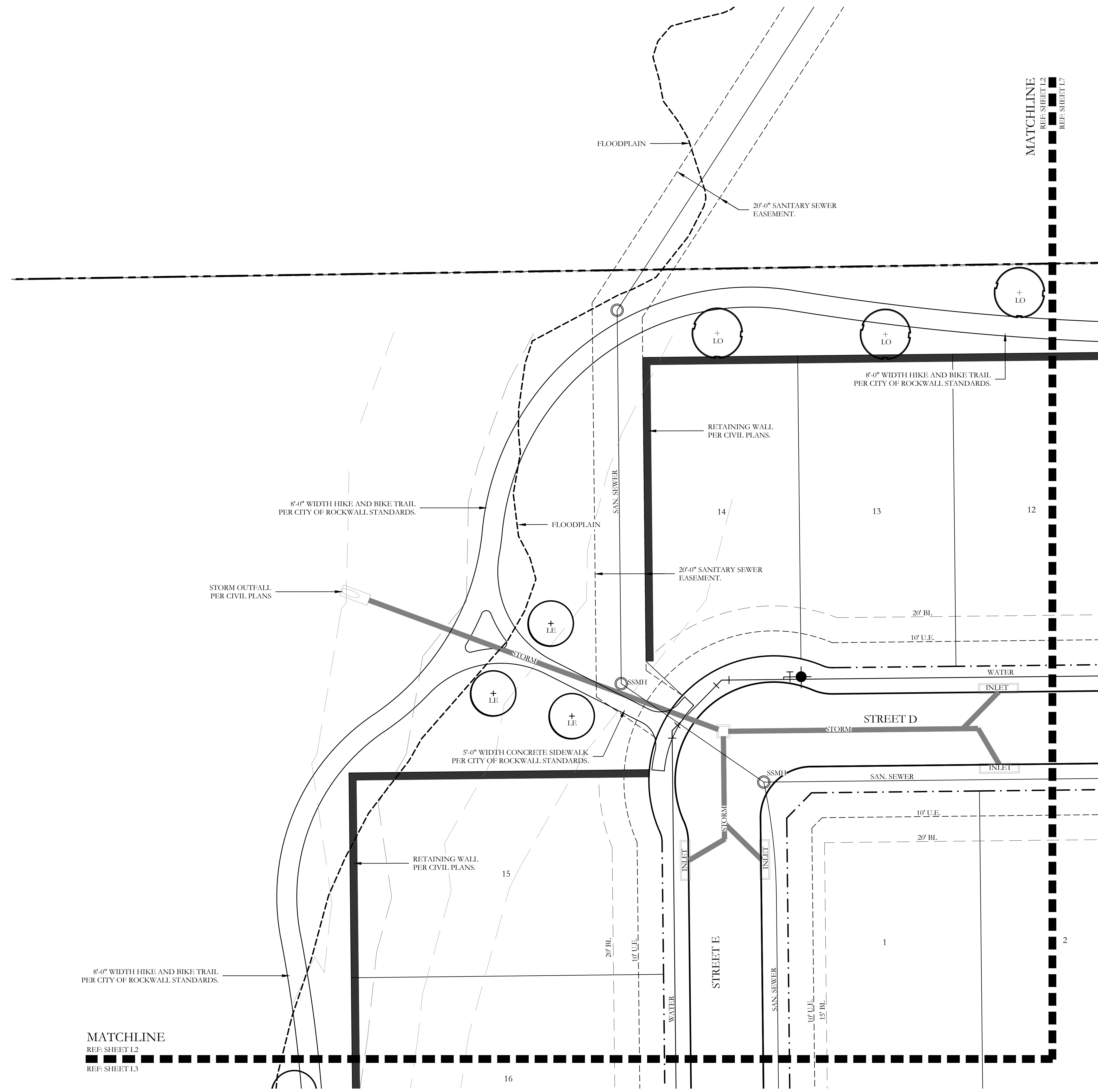




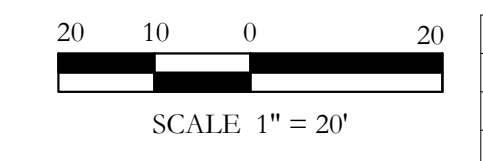
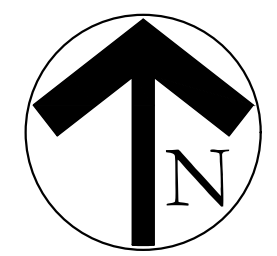
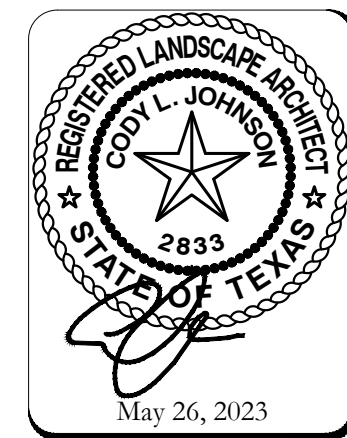
LAYZA & LUNA
 REAL ESTATE, LLC
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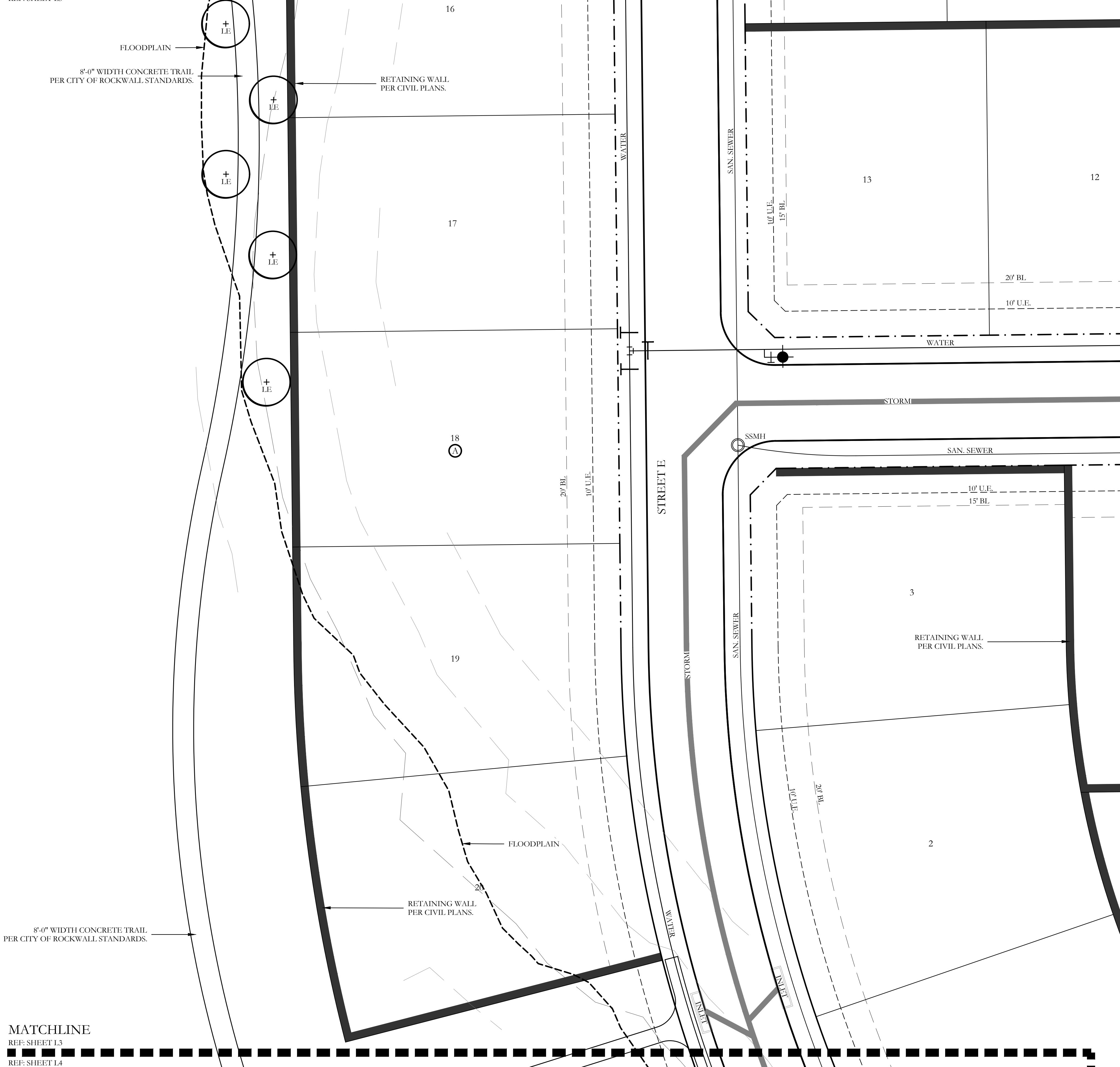
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



MATCHLINE

REF: SHEET L2

REF: SHEET L3



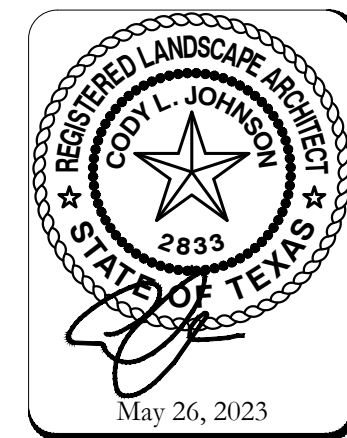
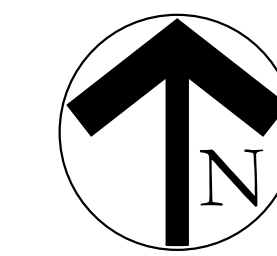
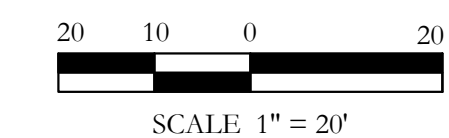
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE

REF: SHEET L3

REF: SHEET L4



MATCHLINE

REF: SHEET L3

REF: SHEET L4

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

21

22

23

FLOODPLAIN

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

POND EDGE

DETENTION POND

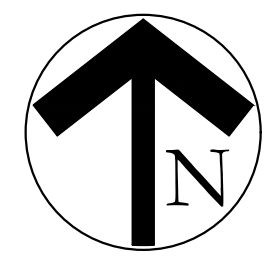
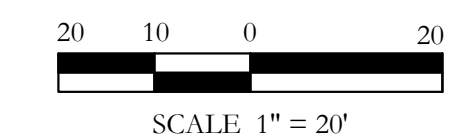
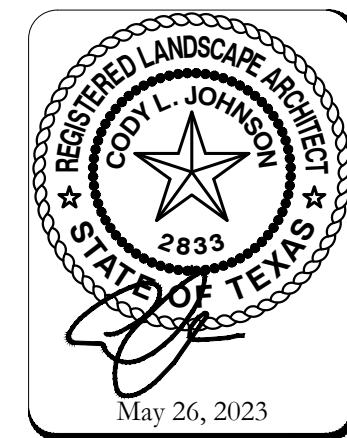
MATCHLINE

REF: SHEET L4

REF: SHEET L5

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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MATCHLINE

REF: SHEET L4

REF: SHEET L5

M

REF

REF

MATCHLINE
REF: SHEET L5
REF: SHEET L9

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

POND EDGE

DETENTION
POND

POND EDGE

FUTURE AMENITY
CENTER

STORM OUTFALL PER
CIVIL PLANS.

POND EDGE

FLOODPLAIN

WATER

INLET

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

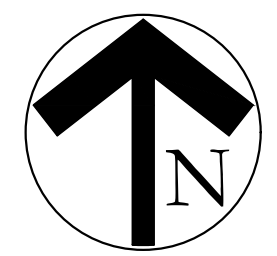
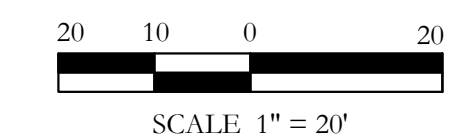
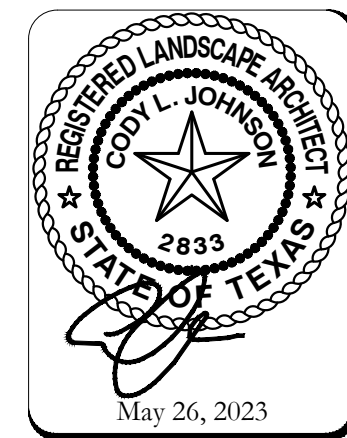
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REF: SHEET L5

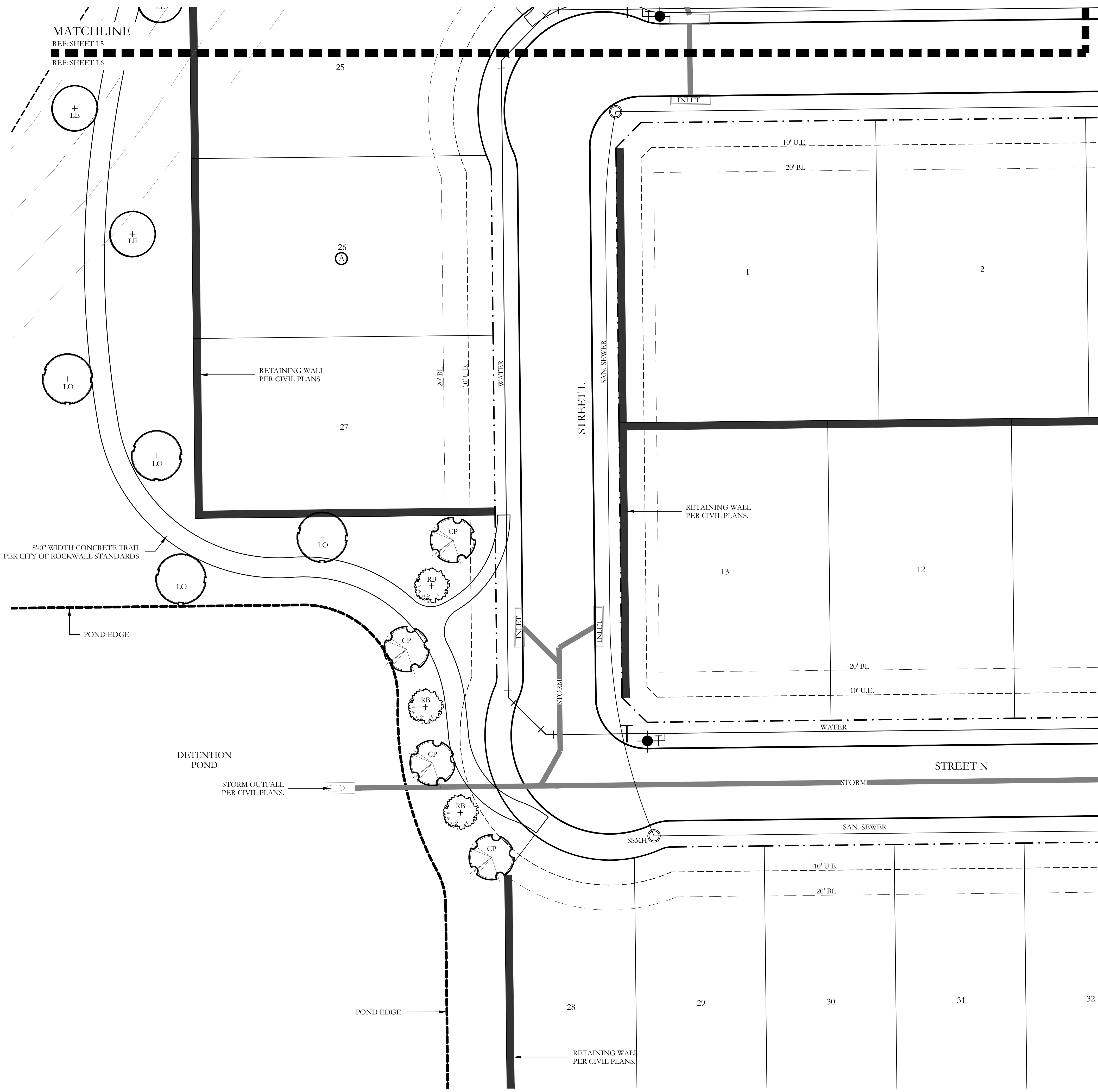
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25

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



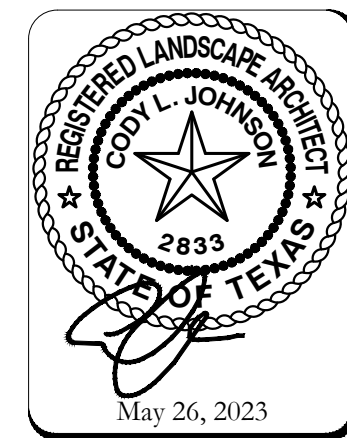
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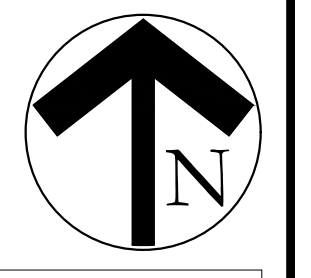
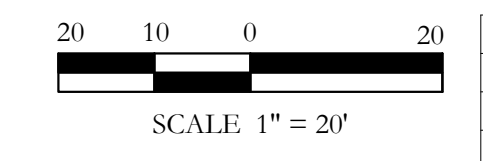
MATCHLINE
 REF: SHEET L5
 REF: SHEET L6

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

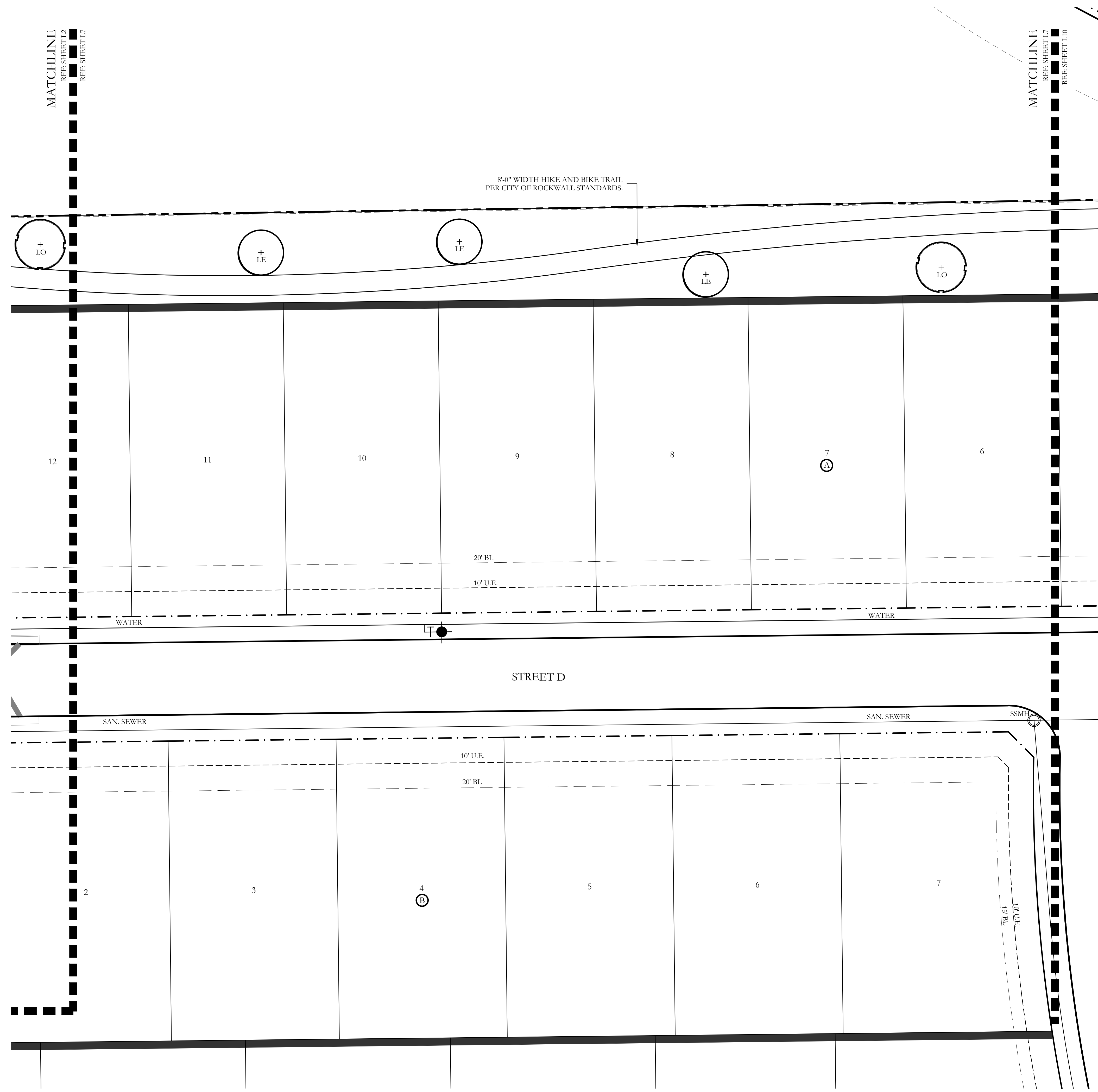


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 One Inch
 JVC No QCO501

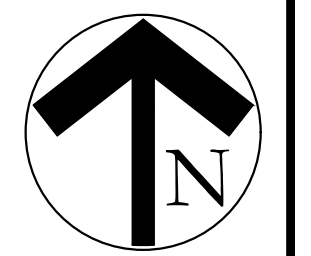
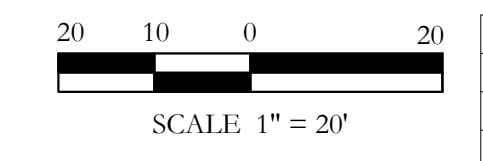


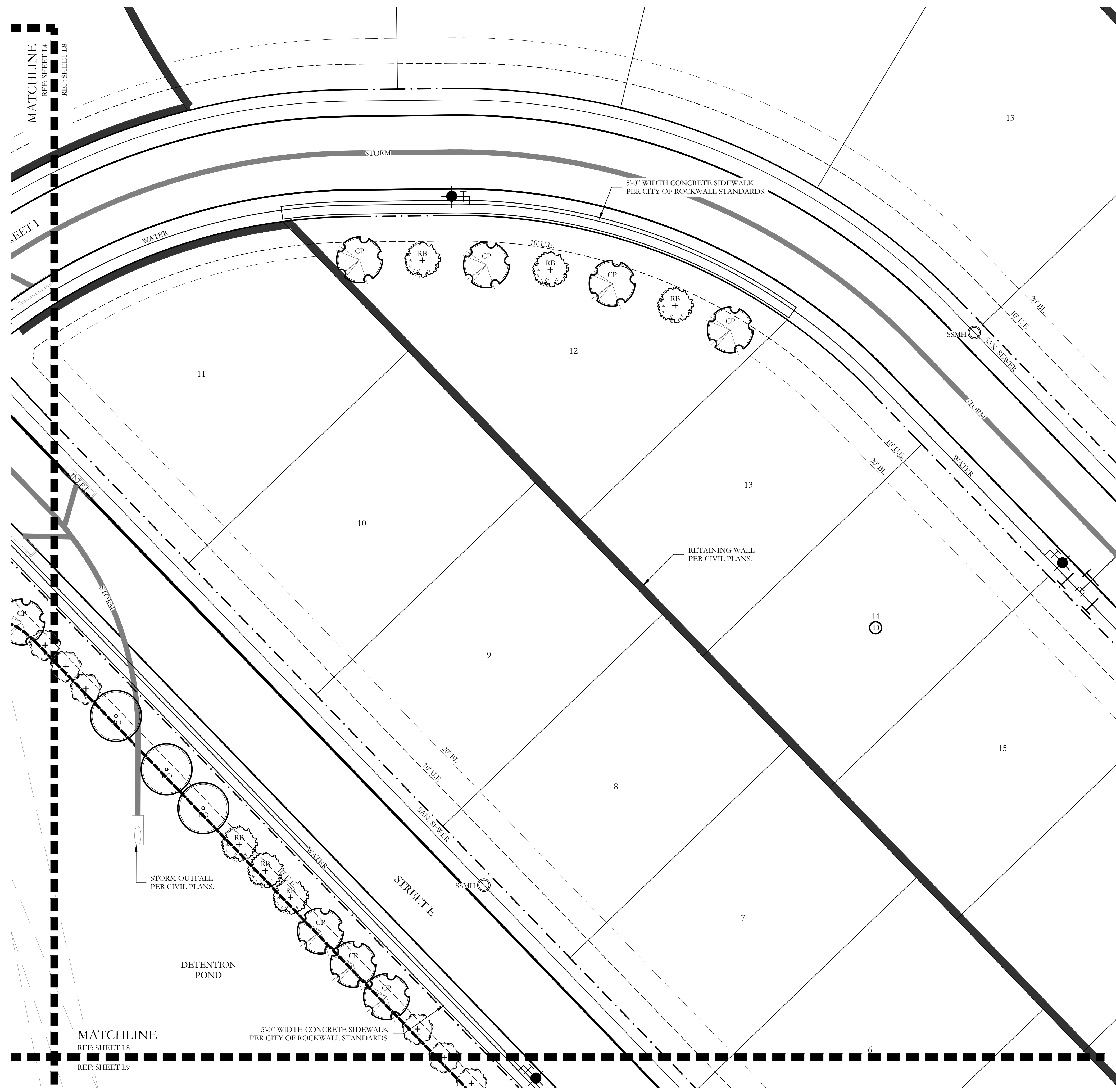
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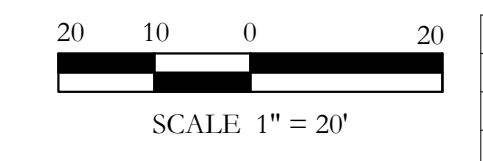
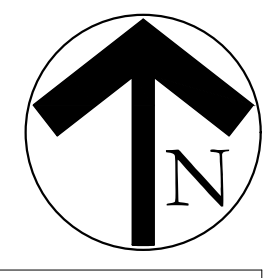
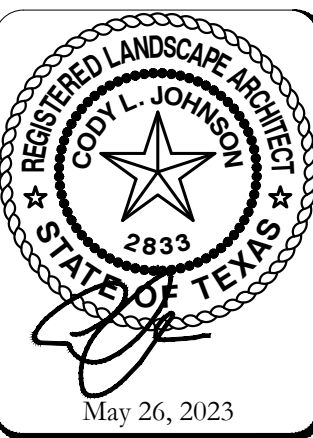


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

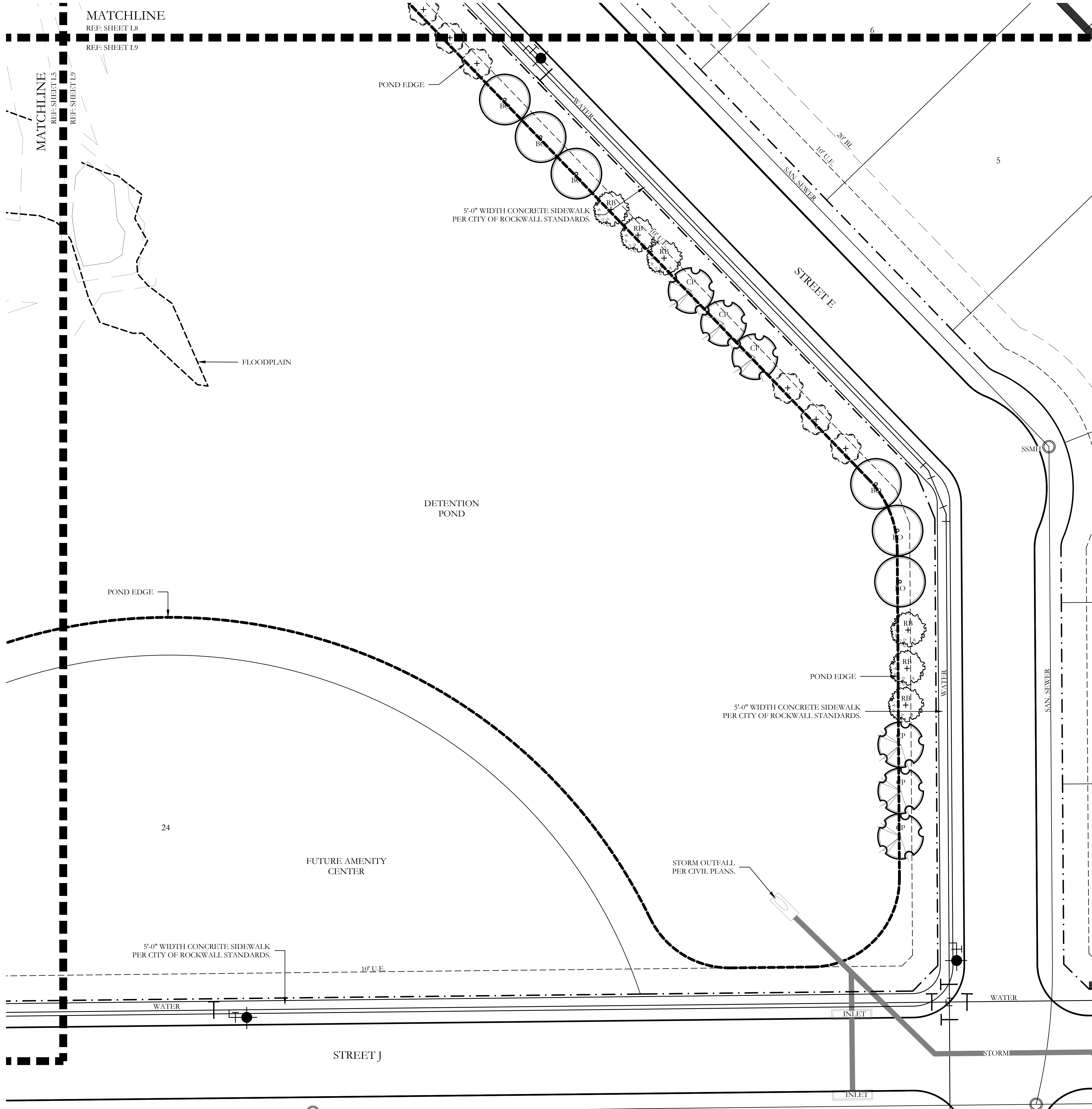




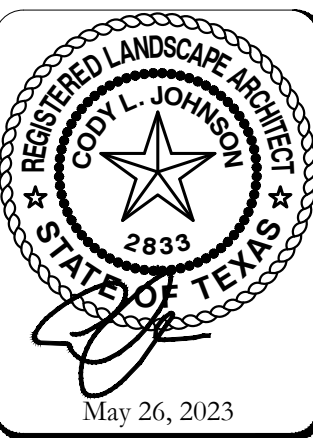
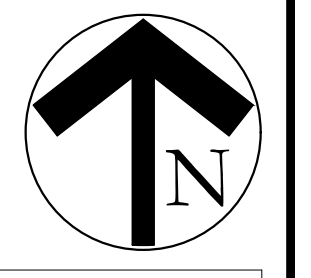
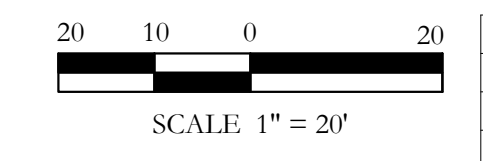
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SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



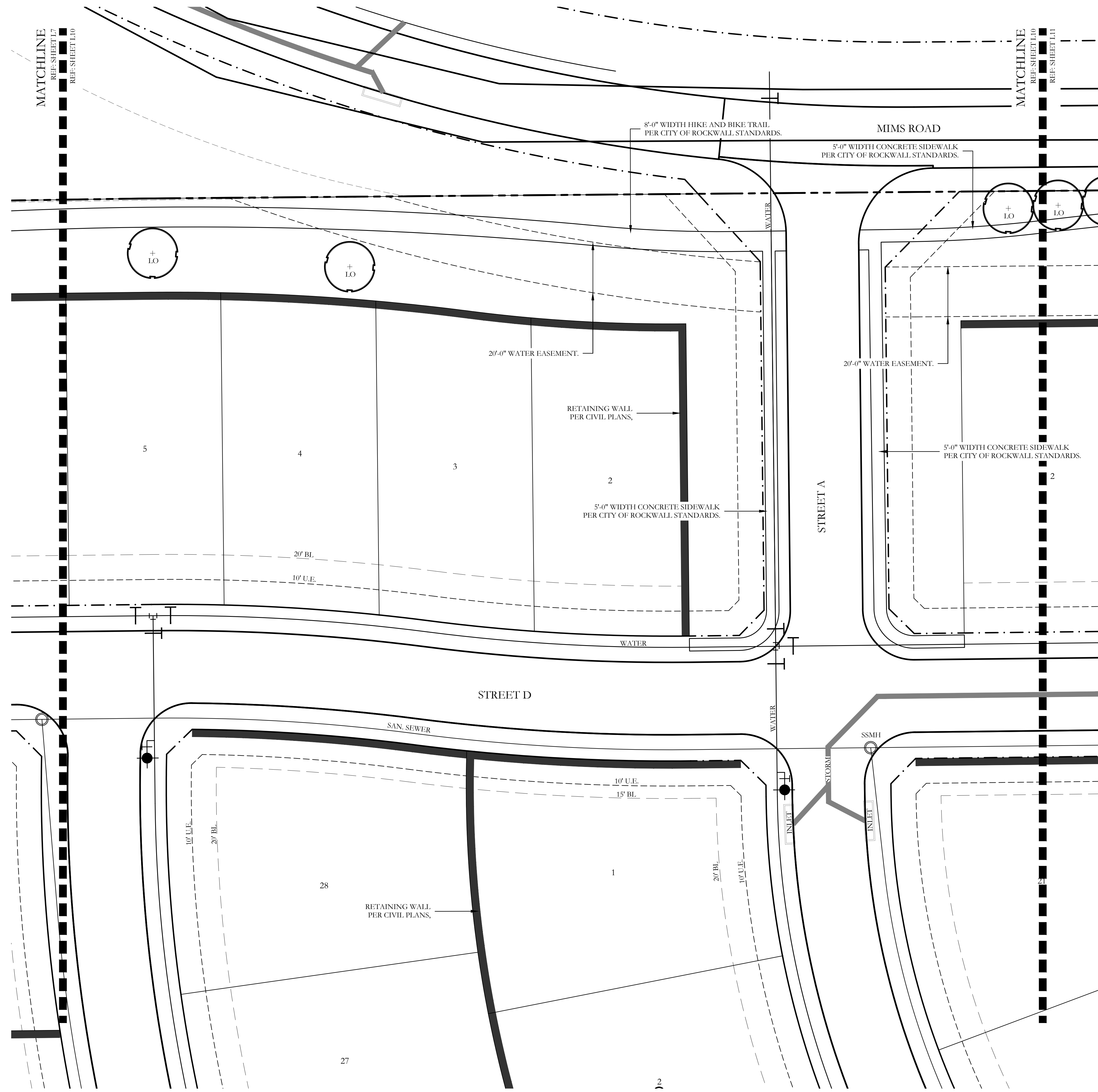
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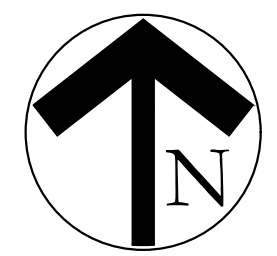
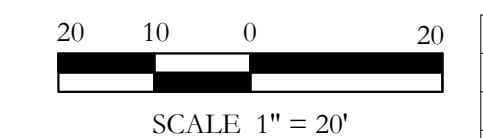
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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
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	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

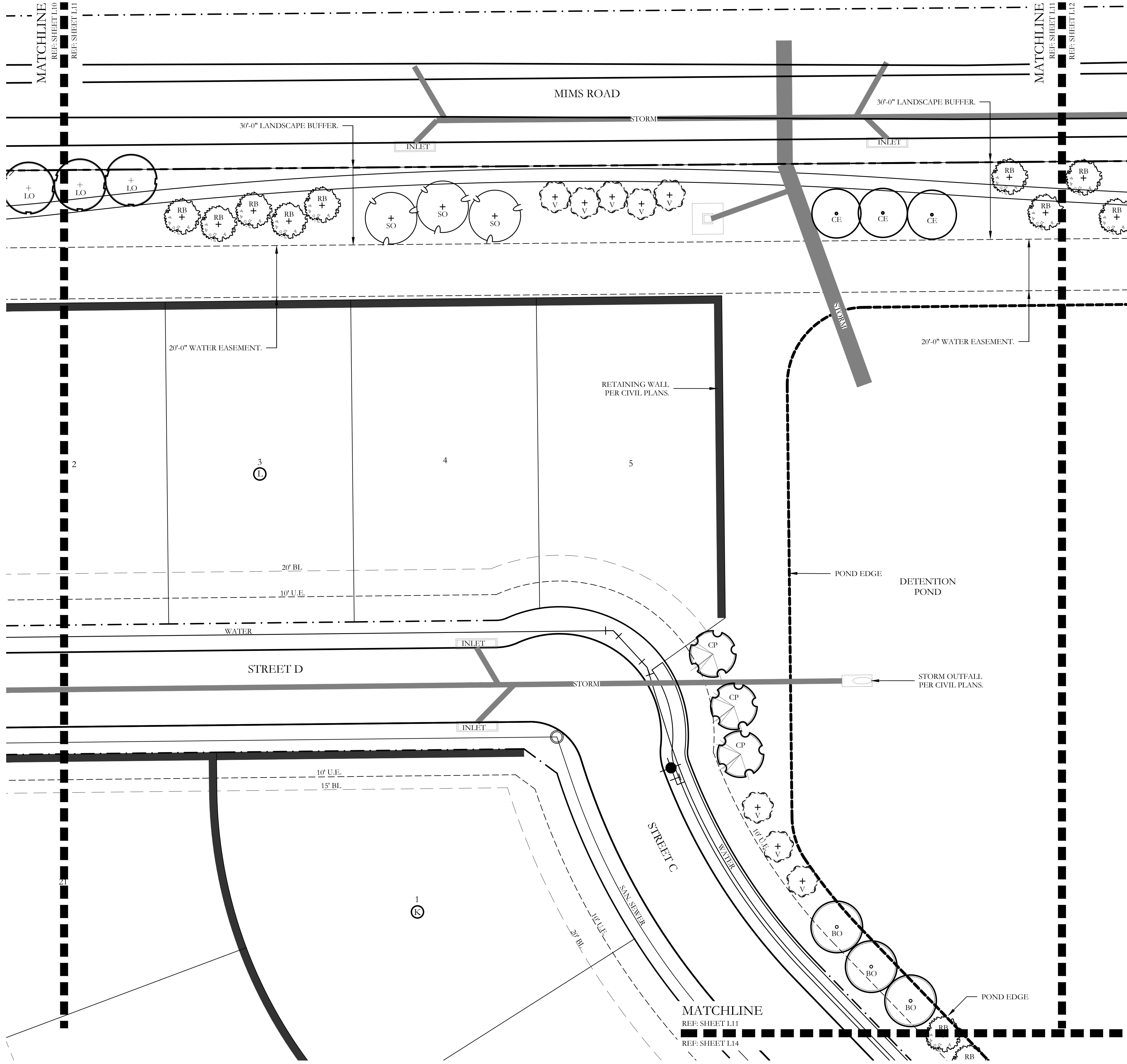


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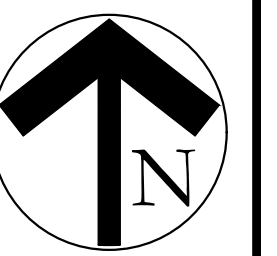
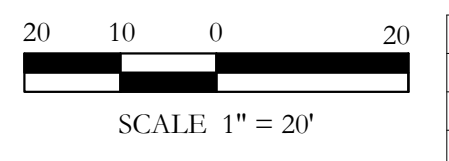


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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



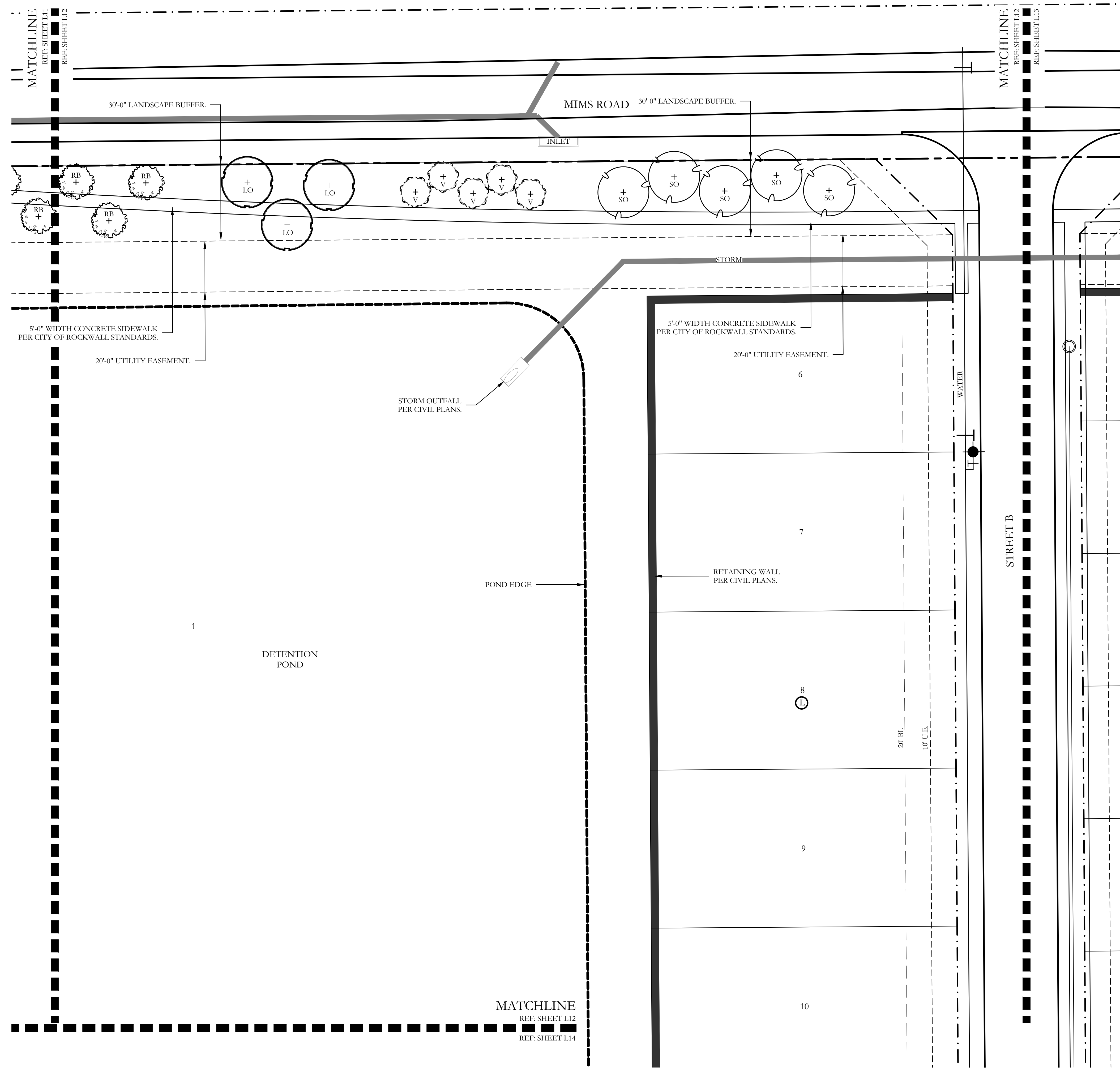


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	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
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	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

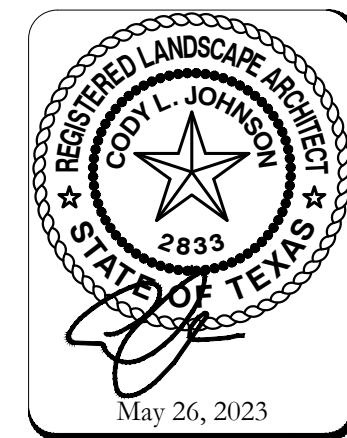
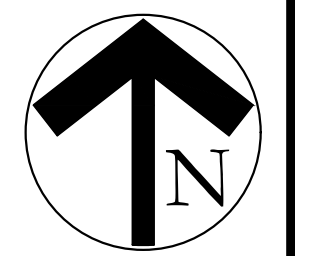
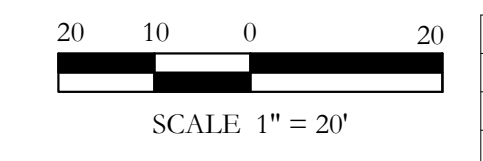


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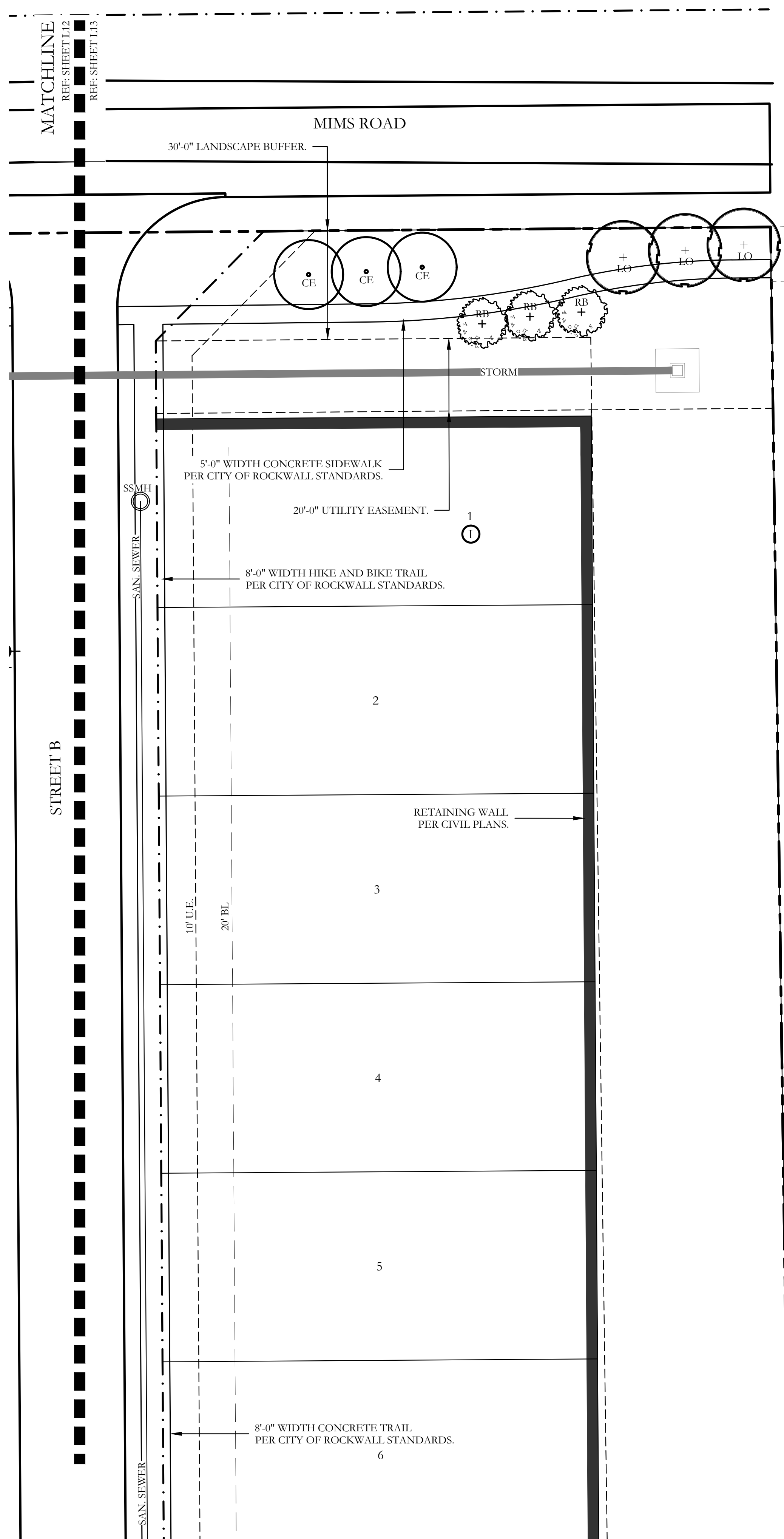
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	STORM ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	CE	5'-0" WIDTH CONCRETE SIDEWALK PER CITY OF ROCKWALL STANDARDS.		4" CALIPER	AS SHOWN
	UE	20'-0" UTILITY EASEMENT.			

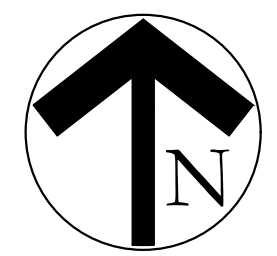
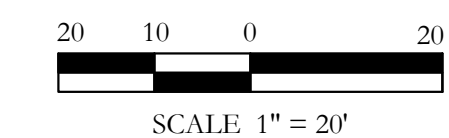


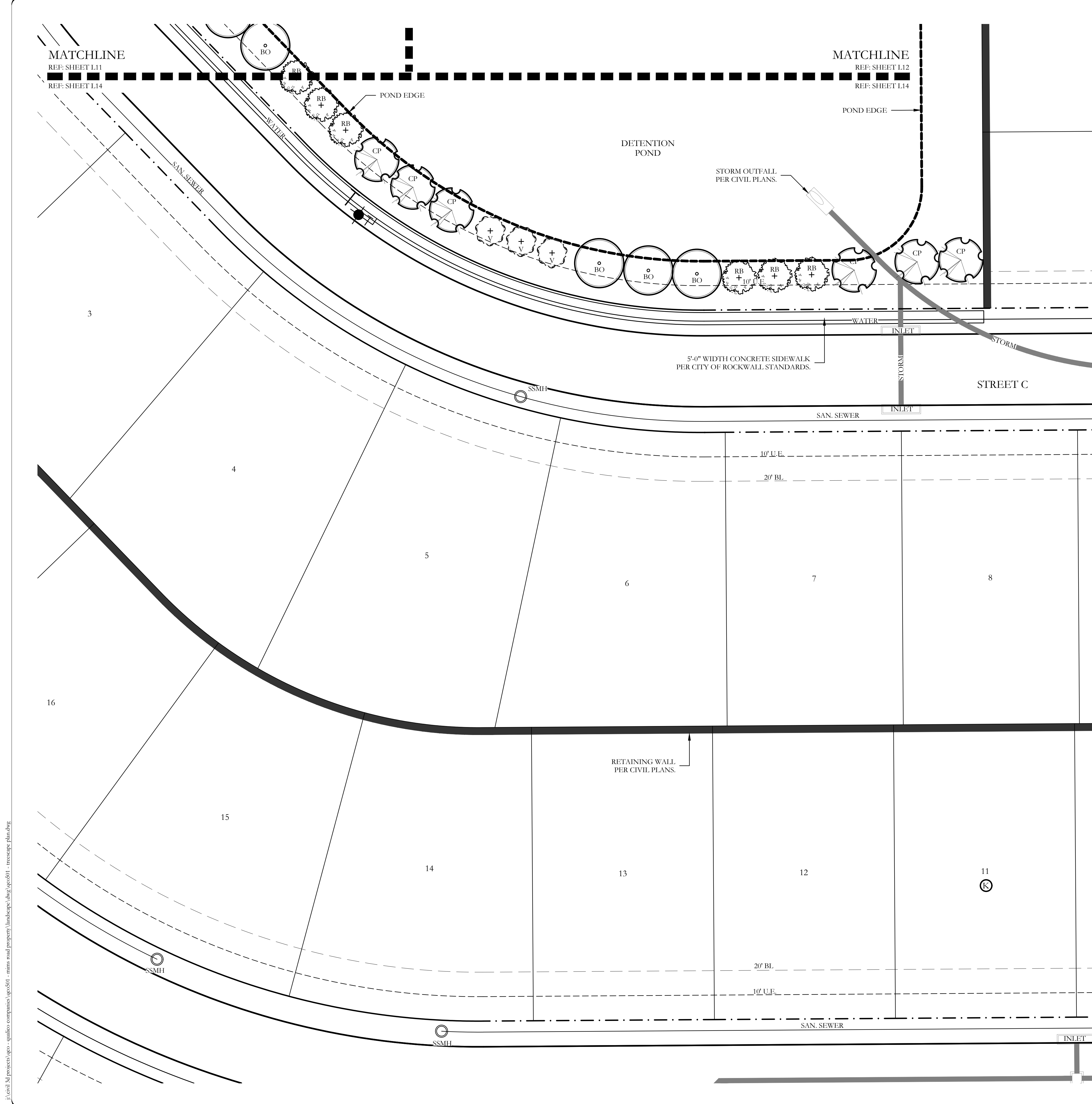
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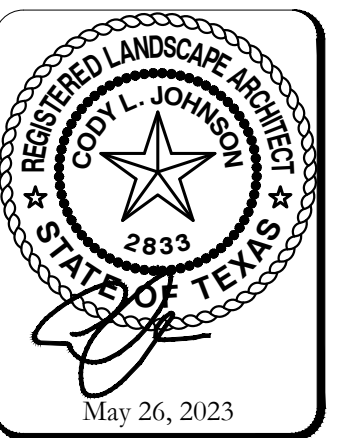
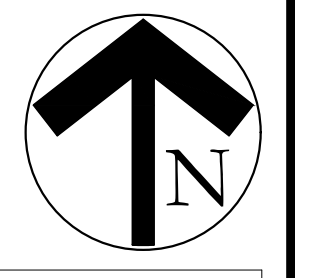
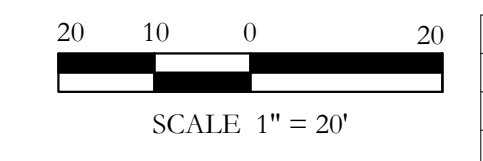
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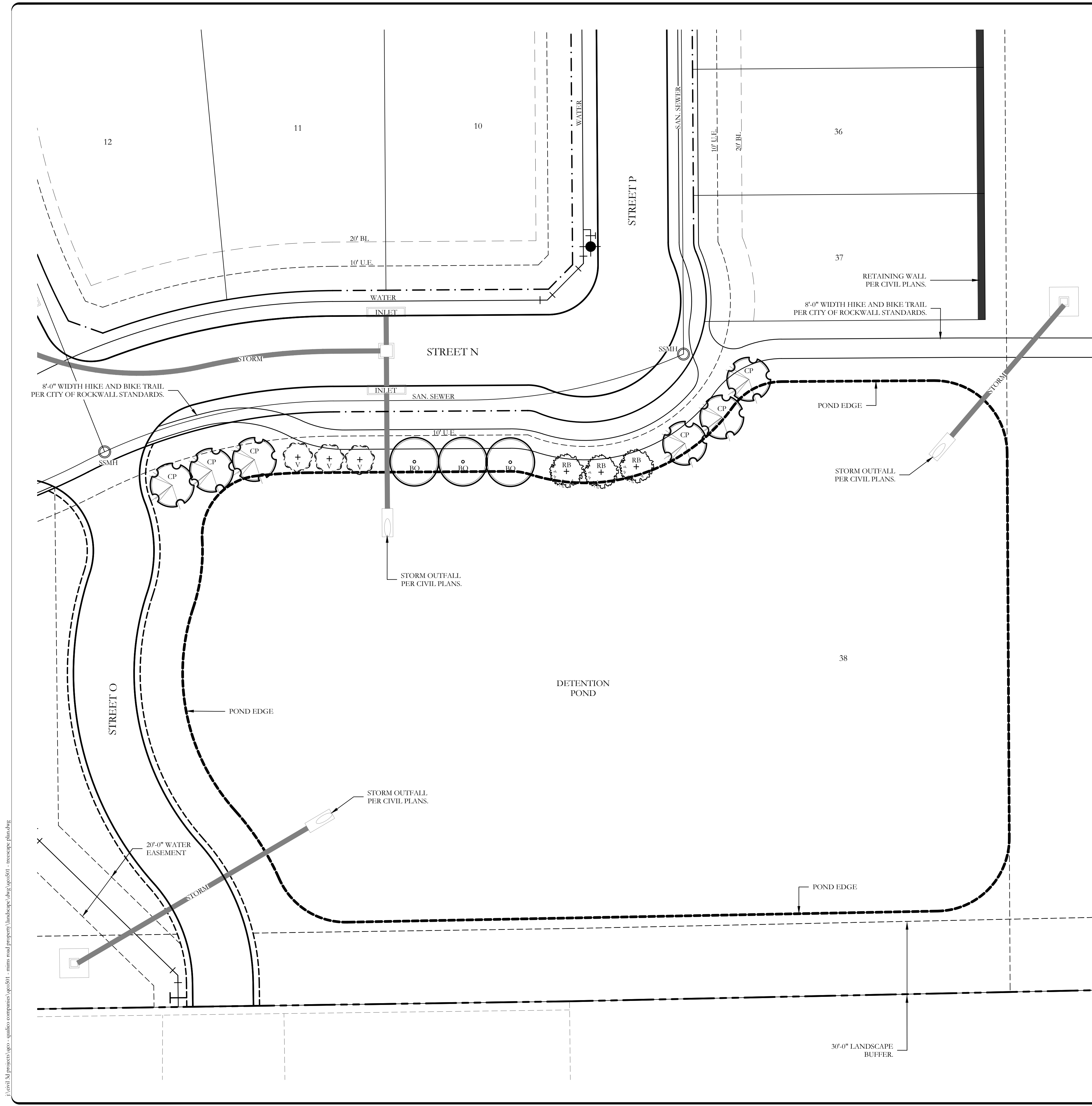


**GENERAL LANDSCAPE NOTES
PLANT LEGEND**

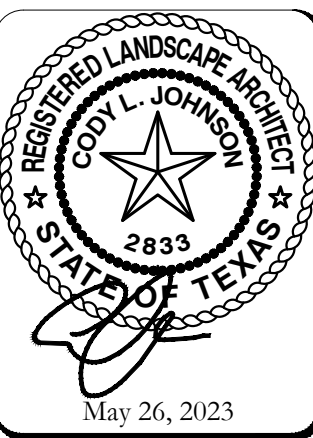
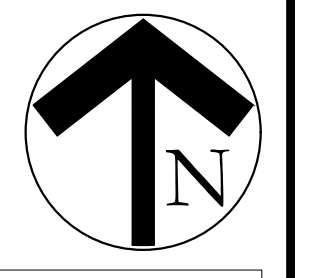
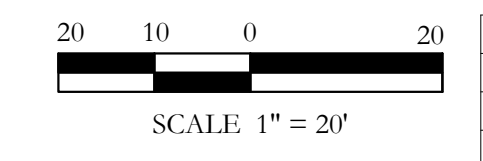
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB +	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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LANDSCAPE PROVIDED

MIMS ROAD

- A. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 4" CAL. TREES REQUIRED.
PROVIDED: 23 - 4" CALIPER AND GREATER CANOPY TREES PROVIDED
- A. 1-2" CAL. ACCENT TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 2" CAL. TREES REQUIRED.
PROVIDED: 23 - 2" CALIPER AND GREATER CANOPY TREES PROVIDED

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	20	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	38	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	28	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	40	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
2. IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
3. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
4. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
5. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
6. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
7. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
8. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



PEACHTREE MEADOWS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

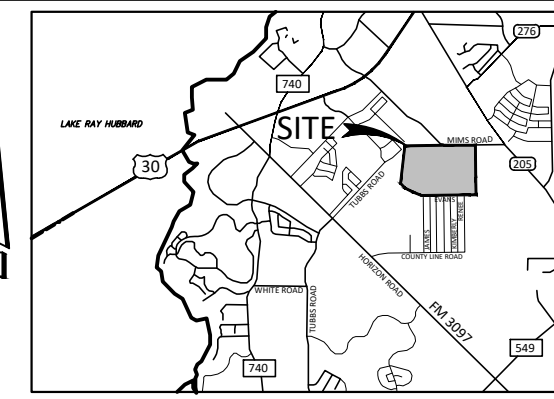
TREESCAPE PLAN
LANDSCAPE SCHEDULE & DETAILS



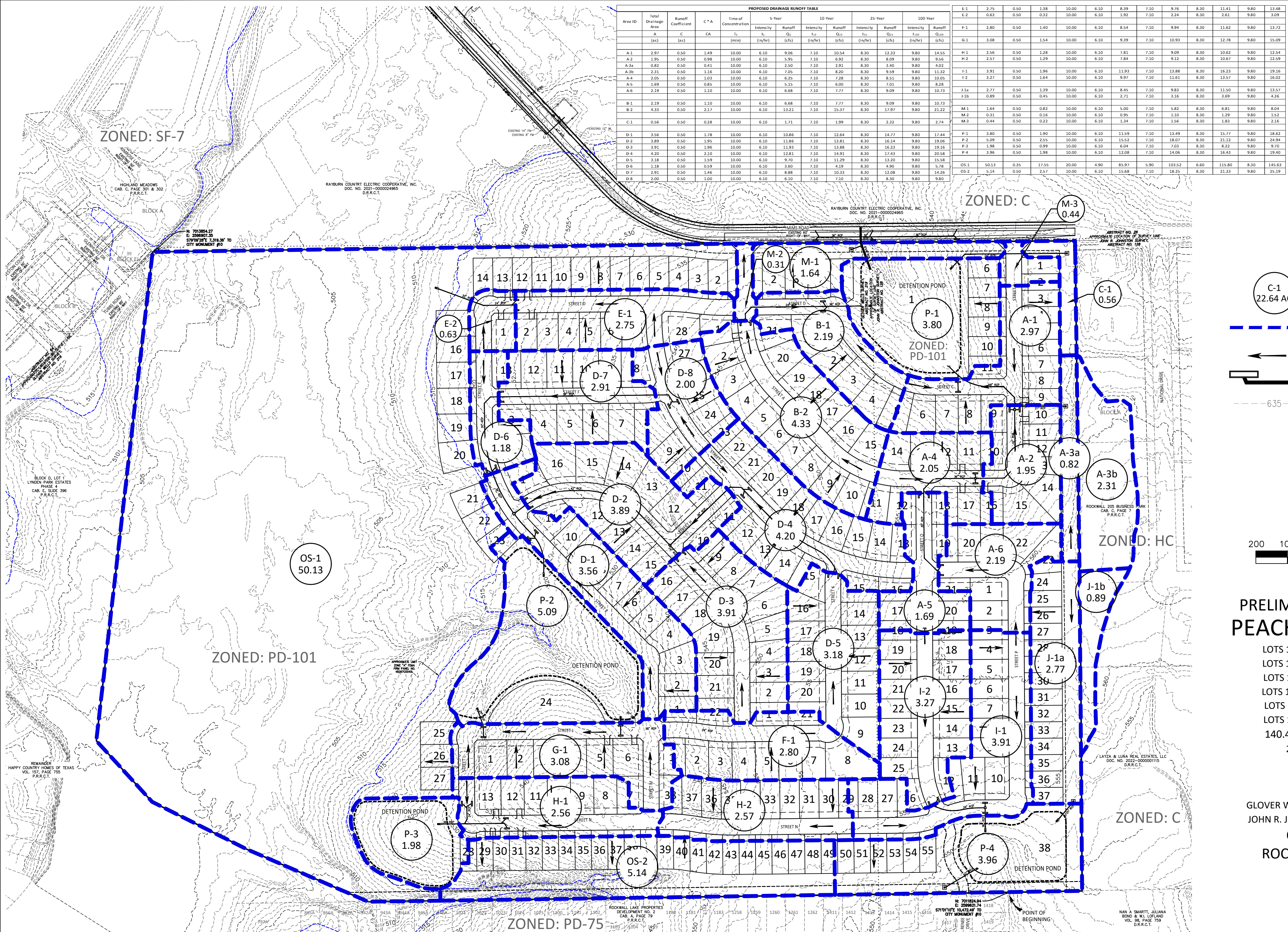
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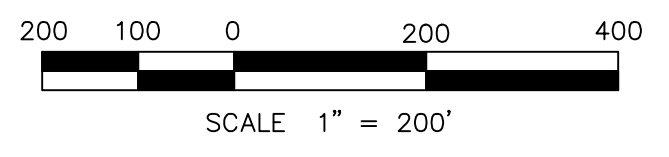
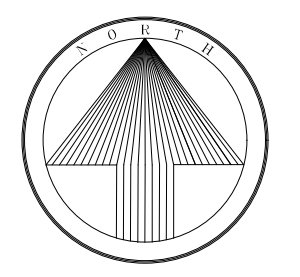
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					5-Year Intensity (in/hr)	5-Year Runoff (cfs)	10-Year Intensity (in/hr)	10-Year Runoff (cfs)	25-Year Intensity (in/hr)	25-Year Runoff (cfs)	100-Year Intensity (in/hr)	100-Year Runoff (cfs)
A-1	2.97	0.50	1.49	10.00	6.10	9.06	7.10	10.54	8.30	12.33	9.80	14.55
A-2	1.95	0.50	0.98	10.00	6.10	5.95	7.10	6.92	8.30	8.09	9.80	9.56
A-3a	0.82	0.50	0.41	10.00	6.10	2.50	7.10	2.91	8.30	3.40	9.80	4.02
A-3b	2.31	0.50	1.16	10.00	6.10	7.05	7.10	8.20	8.30	9.59	9.80	11.32
A-4	2.05	0.50	1.03	10.00	6.10	6.25	7.10	7.28	8.30	8.51	9.80	10.05
A-5	1.69	0.50	0.85	10.00	6.10	5.15	7.10	6.00	8.30	7.01	9.80	8.28
A-6	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-1	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-2	4.33	0.50	2.17	10.00	6.10	13.21	7.10	15.37	8.30	17.97	9.80	21.22
C-1	0.56	0.50	0.28	10.00	6.10	1.71	7.10	1.99	8.30	2.32	9.80	2.74
D-1	3.56	0.50	1.78	10.00	6.10	10.86	7.10	12.64	8.30	14.77	9.80	17.44
D-2	3.89	0.50	1.95	10.00	6.10	11.86	7.10	13.81	8.30	16.14	9.80	19.06
D-3	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
D-4	4.20	0.50	2.10	10.00	6.10	12.81	7.10	14.91	8.30	17.43	9.80	20.58
D-5	3.18	0.50	1.59	10.00	6.10	9.70	7.10	11.29	8.30	13.20	9.80	15.58
D-6	1.18	0.50	0.59	10.00	6.10	3.60	7.10	4.19	8.30	4.90	9.80	5.78
D-7	2.91	0.50	1.46	10.00	6.10	8.88	7.10	10.33	8.30	12.08	9.80	14.26
D-8	2.00	0.50	1.00	10.00	6.10	6.10	7.10	7.10	8.30	8.30	9.80	9.80
E-1	2.75	0.50	1.38	10.00	6.10	8.39	7.10	9.76	8.30	11.41	9.80	13.48
E-2	0.63	0.50	0.32	10.00	6.10	1.92	7.10	2.24	8.30	2.61	9.80	3.09
F-1	2.80	0.50	1.40	10.00	6.10	8.54	7.10	9.94	8.30	11.62	9.80	13.72
G-1	3.08	0.50	1.54	10.00	6.10	9.39	7.10	10.93	8.30	12.78	9.80	15.09
H-1	2.56	0.50	1.28	10.00	6.10	7.81	7.10	9.09	8.30	10.62	9.80	12.54
H-2	2.57	0.50	1.29	10.00	6.10	7.84	7.10	9.12	8.30	10.67	9.80	12.59
I-1	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
I-2	3.27	0.50	1.64	10.00	6.10	9.97	7.10	11.61	8.30	13.57	9.80	16.02
J-1a	2.77	0.50	1.39	10.00	6.10	8.45	7.10	9.83	8.30	11.50	9.80	13.57
J-1b	0.89	0.50	0.45	10.00	6.10	2.71	7.10	3.16	8.30	3.69	9.80	4.36
M-1	1.64	0.50	0.82	10.00	6.10	5.00	7.10	5.83	8.30	6.81	9.80	8.04
M-2	0.31	0.50	0.16	10.00	6.10	0.95	7.10	1.10	8.30	1.29	9.80	1.52
M-3	0.44	0.50	0.22	10.00	6.10	1.34	7.10	1.56	8.30	1.83	9.80	2.16
P-1	3.80	0.50	1.90	10.00	6.10	11.59	7.10	13.49	8.30	15.77	9.80	18.62
P-2	5.09	0.50	2.55	10.00	6.10	15.52	7.10	18.07	8.30	21.12	9.80	24.94
P-3	1.98	0.50	0.99	10.00	6.10	6.04	7.10	7.03	8.30	8.22	9.80	9.70
P-4	3.96	0.50	1.98	10.00	6.10	12.08	7.10	14.06	8.30	16.43	9.80	19.40
OS-1	50.13	0.35	17.55	20.00	4.90	85.97	5.90	103.52	6.60	115.80	8.30	145.63
OS-2	5.14	0.50	2.57	10.00	6.10	15.68	7.10	18.25	8.30	21.33	9.80	25.19



VICINITY MAP N.T.S.



- DRAINAGE AREA DESIGNATION
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



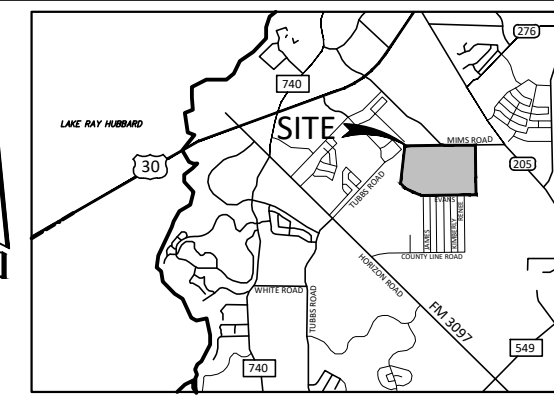
PRELIMINARY DRAINAGE PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
 140.494 ACRES OR 6,119,939 SQ. FT.
 292 SINGLE FAMILY LOTS AND
 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 SITUATED WITHIN THE
 GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
 JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2023-xxx
 June 12, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

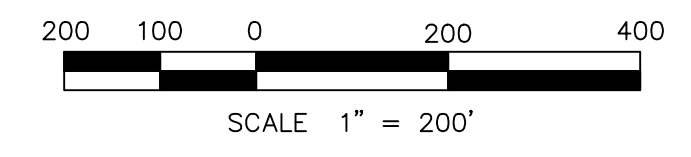
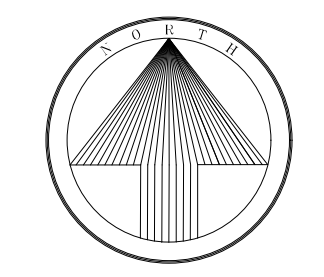
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas

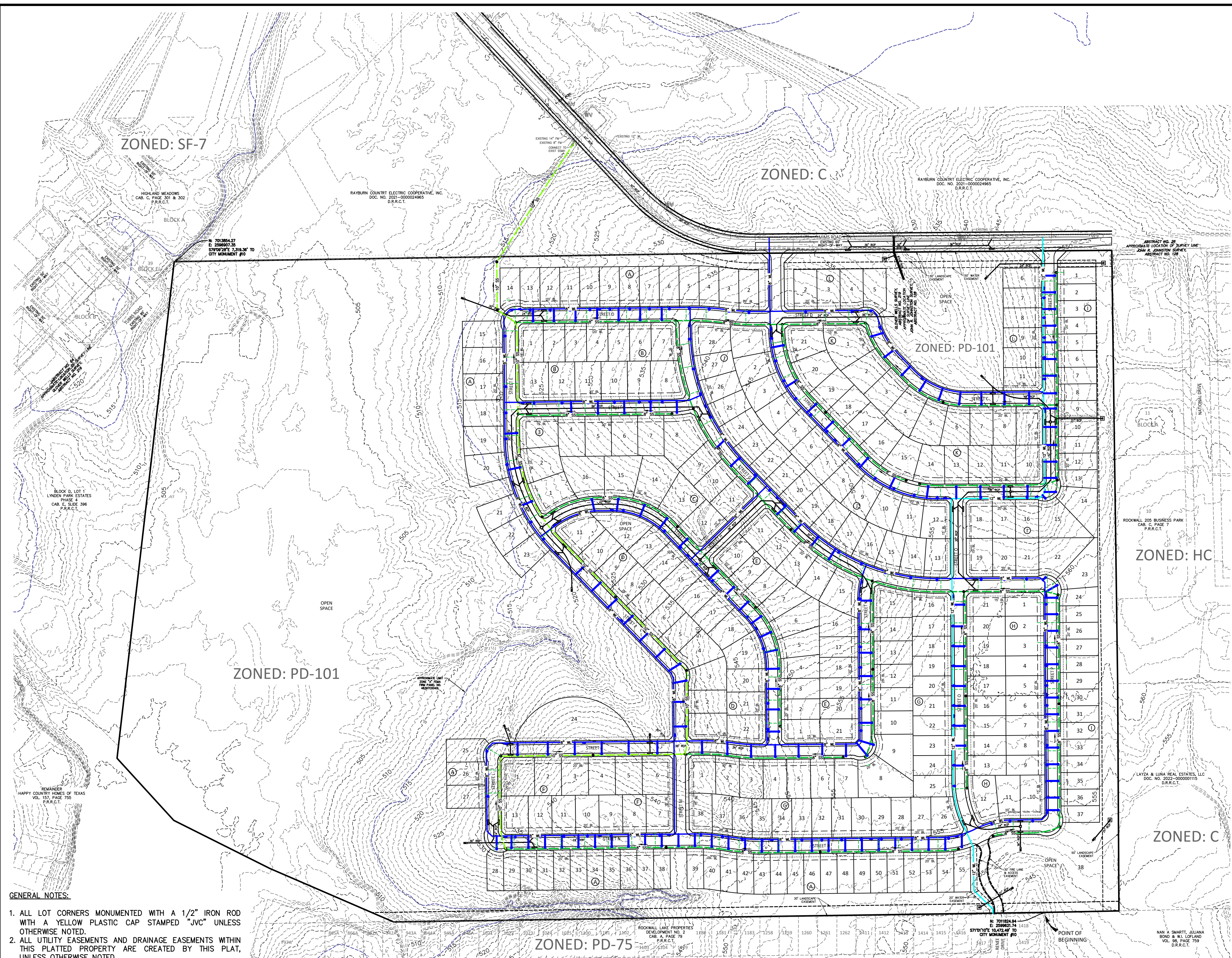


**PRELIMINARY UTILITY PLAN
PEACHTREE MEADOWS**

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
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140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
SITUATED WITHIN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0040L, DATED SEPTEMBER 26, 2008.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
 - OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: July 17, 2023

APPLICANT: Meredith Joyce; *Michael Joyce Properties*

CASE NUMBER: P2023-017; *Preliminary Plat for the Peachtree Meadows Subdivision*

SUMMARY

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50- acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

PLAT INFORMATION

Purpose. The purpose of the applicant’s request is to Preliminary Plat a 140.50-acre parcel of land (i.e. *Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219*) to show the future establishment of 292 single-family residential lots and four (4) open space lots (i.e. *Lots 1-55, Block A; Lots 1-13, Block B; Lots 1-16, Block C; Lots 1-22, Block D; Lots 1-21, Block E; Lots 1-13, Block F; Lots 1-38, Block G; Lots 1-21, Block H; Lots 1-38, Block I; Lots 1-28, Block J; Lots 1-21, Block K; Lots 1-11, Block L, Park Hills Subdivision*). The proposed Preliminary Plat also lays out the necessary easements (e.g. *fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the residential subdivision. Staff should note that in conjunction with the submittal of this Preliminary Plat, the applicant has also submitted a *Master Plat* [Case No. P2023-016] for the Peachtree Meadows Subdivision.

Background. The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 6, 2023, the City Council approved a zoning case [Case No. Z2023-003] that changed the zoning designation of the subject property from Agricultural (AG) District to Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses. Under this Planned Development District ordinance, the subject property was permitted to be developed with a total of 292 single-family residential lots (or a density of 2.08 dwelling units per acre) and a minimum of 65.90-acres of open space (i.e. 31.28% open space on the gross). The following is a summary of the lot composition and density and dimensional standards contained within Planned Development District 101 (PD-101):

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾		82'	72'	62'	52'
<i>Minimum Lot Depth</i>		120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>		9,000 SF	8,400 SF	7,200 SF	6,000 SF

Minimum Front Yard Setback (2), (5) & (6)	20'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) (2) & (5)	20'	20'	20'	20'
Minimum Length of Driveway Pavement (7)	20'	20'	20'	20'
Maximum Height (3)	35'	35'	35'	35'
Minimum Rear Yard Setback (4)	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	65%	65%	65%	65%

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE FRONT YARD BUILDING SETBACK. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE FRONT YARD BUILDING SETBACK AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE MAXIMUM HEIGHT SHALL BE MEASURED TO THE EAVE OR TOP PLATE (WHICHEVER IS GREATER) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE REAR YARD BUILDING SETBACK AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE FRONT YARD BUILDING SETBACK BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON SIDE YARD SETBACKS. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: J-SWING OR TRADITIONAL SWING GARAGES ARE PERMITTED TO ENCROACH INTO THE FRONT YARD BUILDING SETBACK A MAXIMUM OF FIVE (5) FEET.

Parks Board. On July 10, 2023, the Parks and Recreation Board failed to reach a quorum. Based on this, the Parks and Recreation Board has not provided a recommendation to the City Council; however, staff has calculated the following fees associated with this project for the City Council’s consideration, and approval of this Preliminary Plat constitutes approval of the proposed fees:

- (1) The property owner shall pay pro-rata equipment fees of \$92,669.12 (i.e. \$317.36 x 292 Lots).
- (2) The property owner shall pay cash-in-lieu of land fees of \$98,742.72 (i.e. \$338.16 x 292 Lots).

Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Preliminary Plat for the *Peachtree Meadows Subdivision* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 11, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Preliminary Plat by a vote of 6-0, with Commissioner Conway absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

02223-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 4, 7}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
⁴ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT _____ BLOCK _____

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 2,307.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

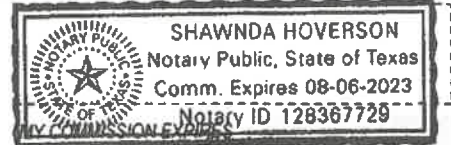
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2023

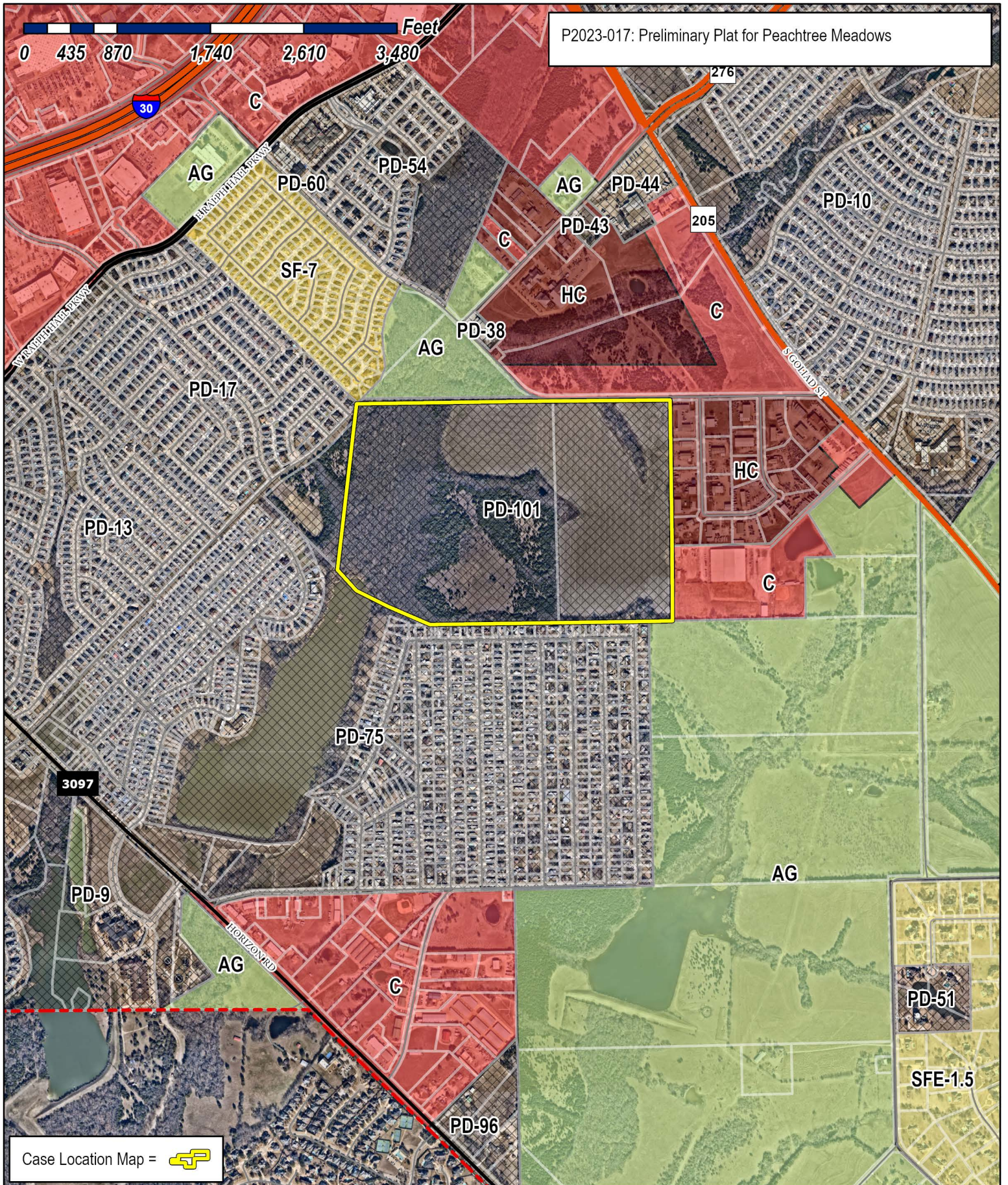
OWNER'S SIGNATURE

John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shawnda Hoiverson



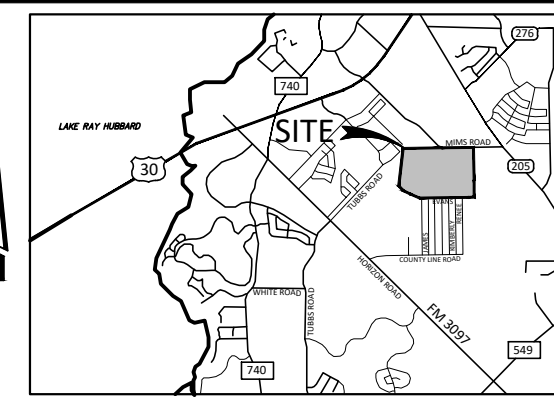


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

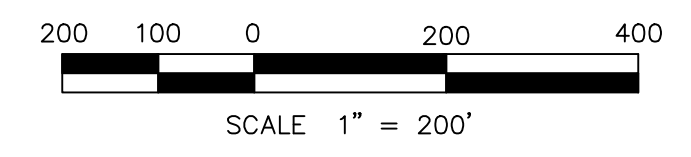
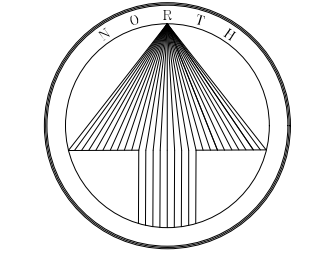
OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	$[(43.8/2) + 20.4] / 140.5 = 30.1\%$

*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER - CONNECTIONS TO EXISTING WATER LINE AT MIMS ROAD
 - WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
 - ROADWAY - CONNECTIONS TO EXISTING ROADWAYS MIMS ROAD & RENEE DRIVE
 - DRAINAGE - DRAINAGE TO DETENTION PONDS
- SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY AND DRAINAGE FACILITIES THAT HAVE ADEQUATE CAPACITY.

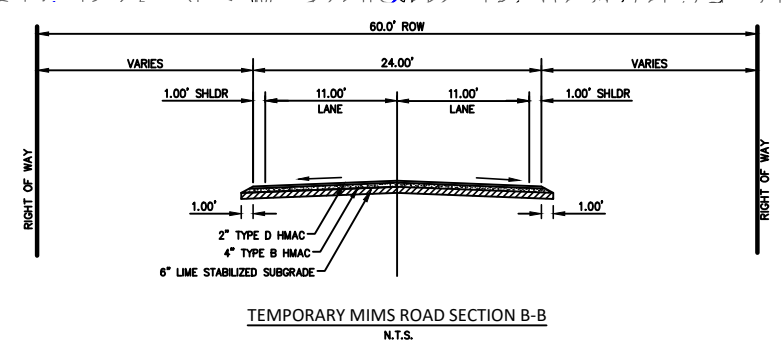
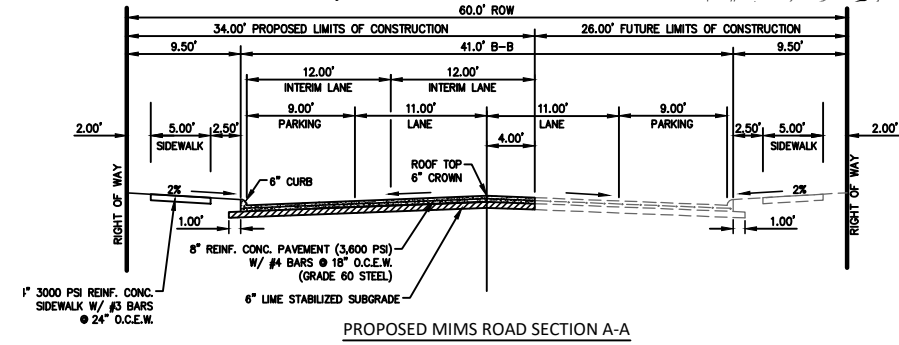
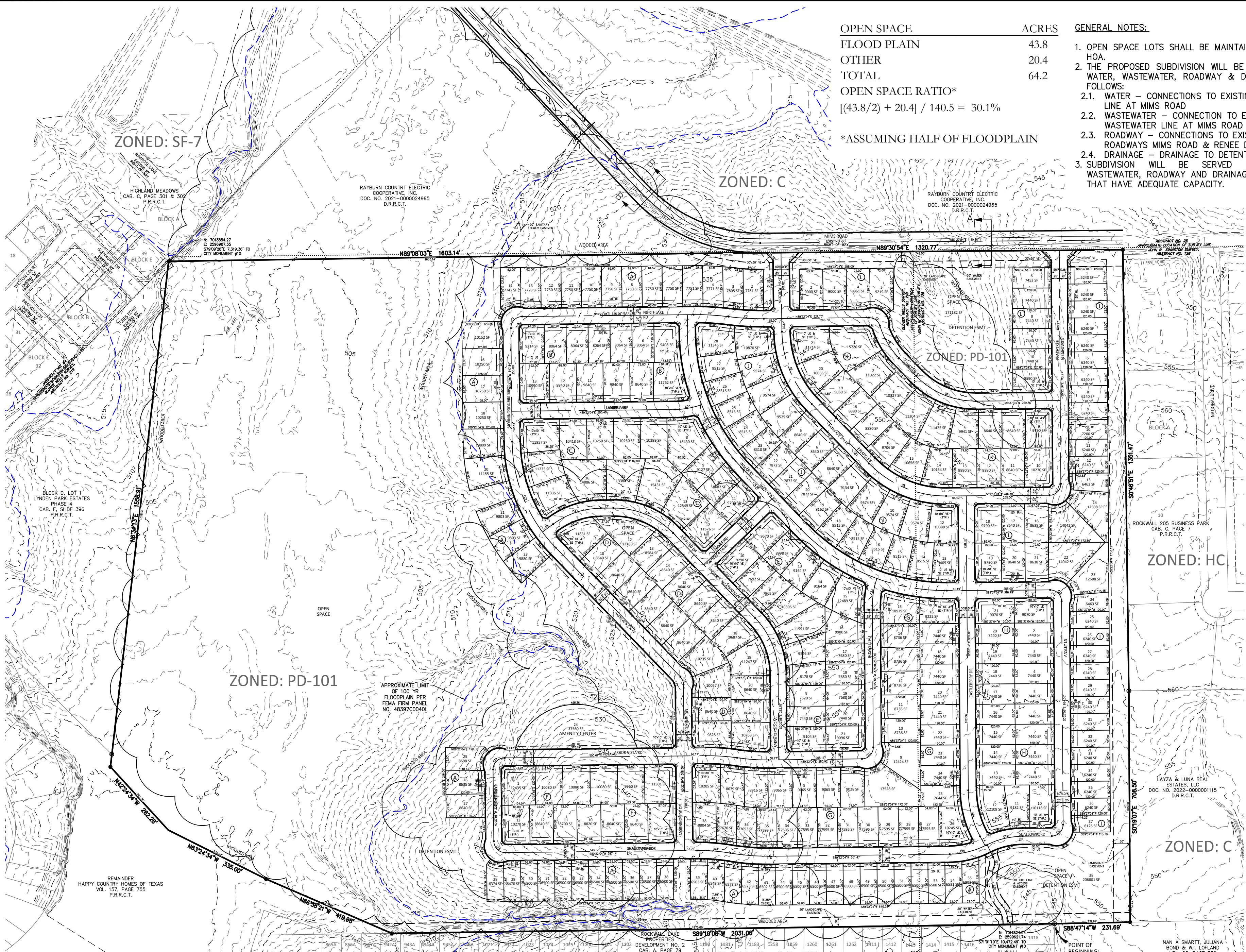
- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas



PRELIMINARY PLAT
LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;

**PEACHTREE MEADOWS
SUBDIVISION**

BEING
292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
1 AMENITY CENTER
140.494 ACRES OR 6,119,939 SQ. FT.
SITUATED IN THE
G. WELLS SURVEY, ABSTRACT NO. 219 AND
J. R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-017
June 30, 2023
EXIST. ZONING: PD-101
LAND USE: SF-10
SHEET 1 OF 3



Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**LEGAL DESCRIPTION:
140.494 ACRES**

BEING a 140.494 acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.)and being more particularly described as follows:

BEGINNING at a 1" iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

- N 66° 38' 21" W, a distance of 419.95 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;
- N 63° 24' 34" W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;
- N 42° 24' 34" W, a distance of 262.28 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE N 06° 34' 13" E, passing at a distance of 40.96 feet a 1/2" iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08' 03" E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set for a common corner of said tract and this tract, from which a found 60-D Nail found for a reference to said corner bears S 31° 40' 24" E, 0.71 feet, also from said corner, a 5/8" iron rod found for reference to said corner bears S 43° 21' 16" E, 28.37 feet;

THENCE N 89° 30' 54" E, continuing with said common line, for a distance of 1320.77 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of this tract, from which a 3/8" iron rod found for reference to said corner bears S 82° 16' 02" E, 3.04 feet;

THENCE S 00° 46' 51" E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a 1/2" iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 20220000001115 (D.R.R.C.T.) and common corner of this tract;

THENCE S 00° 19' 07" E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of 708.50 feet to a 1/2" iron rod with yellow plastic cap stamped "JVC" set in the north line of the above-mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

THENCE S 88° 47' 14" W, with said north line, a distance of 231.69 feet to the POINT OF BEGINNING and containing 6,119,939 square feet or 140.494 acres of land.

GENERAL NOTES:

1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
2. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
3. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
4. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE FIRE LANE IMPROVEMENTS.
5. ALL DECORATIVE SIGNAGE, POSTS OR LIGHTS INSTALLED IN PUBLIC RIGHT-OR-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).

OWNER'S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PEACHTREE MEADOWS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PEACHTREE MEADOWS subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary public in and for the State of Texas

My Commission Expires

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

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Notary public in and for the State of Texas

My Commission Expires

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE



SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS::

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

APPROVED:

I hereby certify that the above and foregoing Preliminary Plat was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall for the preparation of a Final Plat on ____ day of _____, 2023.

Mayor, City of Rockwall

Planning & Zoning Commission Chairman

PRELIMINARY PLAT

- LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
- LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
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**PEACHTREE MEADOWS
SUBDIVISION**

BEING

292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
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140.494 ACRES OR 6.119,939 SQ. FT.

SITUATED IN THE

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**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**

P2023-017

June 30, 2023

EXIST. ZONING: PD-101
LAND USE: SF-10
SHEET 2 OF 3

Line Table		
Line	Length	Direction
L1	34.00	S1° 17' 33"W
L2	76.12	N43° 59' 40"W
L3	88.96	N89° 37' 04"E
L4	32.43	N28° 31' 41"W
L5	16.94	N26° 21' 17"W
L6	10.02	S0° 49' 52"E
L7	39.38	N89° 22' 04"E
L8	40.36	S53° 31' 39"W
L9	14.69	S6° 14' 46"W
L10	3.96	S53° 31' 39"W
L11	3.96	S53° 31' 39"W
L12	14.69	N79° 11' 29"W
L13	6.08	N43° 59' 40"W
L14	6.08	S43° 59' 40"E
L15	14.14	N88° 59' 40"W
L16	14.14	S1° 00' 20"W
L17	14.14	N88° 59' 40"W
L18	14.14	S1° 00' 20"W
L19	15.39	S63° 57' 28"E
L20	15.11	N30° 45' 11"E
L21	14.14	S44° 22' 04"W
L22	14.14	S45° 37' 56"E
L23	14.14	S44° 22' 04"W
L24	20.00	N46° 56' 47"W
L25	14.35	N44° 45' 59"W

Line Table		
Line	Length	Direction
L26	14.28	S45° 44' 30"W
L27	20.00	N89° 22' 04"E
L28	14.14	S44° 22' 04"W
L29	14.14	S45° 37' 56"E
L30	20.00	S89° 22' 04"W
L31	14.14	S44° 22' 04"W
L32	4.64	N0° 37' 56"W
L33	4.64	S0° 37' 56"E
L34	14.14	S45° 37' 56"E
L35	20.00	N89° 22' 04"E
L36	14.64	S0° 37' 56"E
L37	15.97	S53° 37' 04"E
L38	28.93	S54° 36' 39"W
L39	23.00	S0° 22' 56"E
L40	21.50	S0° 22' 56"E
L41	14.14	S44° 37' 04"W
L42	14.14	S45° 22' 56"E
L43	14.14	S44° 37' 04"W
L44	10.14	N89° 37' 04"E
L45	14.14	S44° 37' 04"W
L46	14.14	S45° 22' 56"E
L47	14.14	S44° 37' 04"W
L48	14.14	S45° 22' 56"E
L49	14.14	S44° 37' 04"W
L50	14.14	S45° 22' 56"E

Line Table		
Line	Length	Direction
L51	14.14	S45° 22' 56"E
L52	14.14	S44° 37' 04"W
L53	15.06	S70° 28' 23"E
L54	12.86	S21° 27' 06"W
L55	20.91	S89° 22' 04"W
L56	20.91	S89° 22' 04"W
L57	2.68	S89° 22' 04"W
L58	14.02	S45° 30' 26"E
L59	14.27	S44° 29' 34"W
L60	12.08	S89° 22' 04"W
L61	20.00	N37° 01' 42"E
L62	14.14	S45° 37' 56"E
L63	20.75	N40° 07' 35"W
L64	14.14	S44° 22' 04"W
L65	14.20	S45° 30' 26"E
L66	14.17	S44° 29' 34"W
L67	14.11	S45° 30' 26"E
L68	14.08	S44° 29' 34"W
L69	14.16	S44° 41' 27"W
L70	14.11	S45° 30' 26"E
L71	18.57	S22° 11' 18"E
L72	14.17	S44° 29' 34"W
L73	13.43	S59° 20' 12"W
L74	15.27	S27° 12' 21"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	54.98	35.00	090°00'00"	49.50	S44° 22' 04"W
C2	107.91	775.00	007°58'39"	107.82	N86° 38' 36"W
C3	107.91	775.00	007°58'39"	107.82	S86° 38' 36"E
C4	44.91	35.00	073°31'21"	41.89	N53° 52' 15"W
C5	117.31	250.00	026°53'05"	116.23	S30° 33' 08"E
C6	202.40	250.00	046°23'15"	196.92	S67° 11' 18"E
C7	54.98	35.00	090°00'00"	49.50	N44° 37' 04"E
C8	263.13	325.00	046°23'15"	256.00	S67° 11' 18"E
C9	245.97	325.00	043°21'45"	240.14	S22° 18' 48"E
C10	486.10	615.00	045°17'13"	473.54	S21° 21' 04"E
C11	497.91	615.00	046°23'15"	484.43	S67° 11' 18"E
C12	54.98	35.00	090°00'00"	49.50	N45° 22' 56"W
C13	54.98	35.00	090°00'00"	49.50	N44° 37' 04"E
C14	116.77	250.00	026°45'44"	115.71	S76° 14' 12"W
C15	82.21	250.00	018°50'30"	81.84	N79° 56' 49"E
C16	120.91	675.00	010°15'47"	120.75	S85° 30' 02"E
C17	103.00	575.00	010°15'47"	102.86	N85° 30' 02"W
C18	54.98	35.00	090°00'00"	49.50	S45° 37' 56"E
C19	54.98	35.00	090°00'00"	49.50	S44° 22' 04"W
C22	54.83	35.00	089°45'00"	49.39	N44° 29' 34"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C23	85.13	250.00	019°30'36"	84.72	S09° 22' 22"W
C24	147.37	300.00	028°08'46"	145.90	S14° 27' 18"E
C25	32.85	42.00	044°48'48"	32.02	S03° 56' 53"E
C26	123.66	117.50	060°18'03"	118.03	S11° 41' 31"E
C27	53.68	75.00	041°00'40"	52.54	S21° 20' 12"E
C28	26.64	35.00	043°36'45"	26.00	N22° 11' 18"W
C29	359.49	475.00	043°21'45"	350.97	S22° 18' 48"E
C30	156.38	250.00	035°50'26"	153.85	S71° 26' 51"W
C31	203.49	250.00	046°38'15"	197.92	N67° 18' 48"W
C32	190.30	250.00	043°36'45"	185.73	N22° 11' 18"W
C33	82.86	250.00	018°59'27"	82.48	N79° 52' 21"E

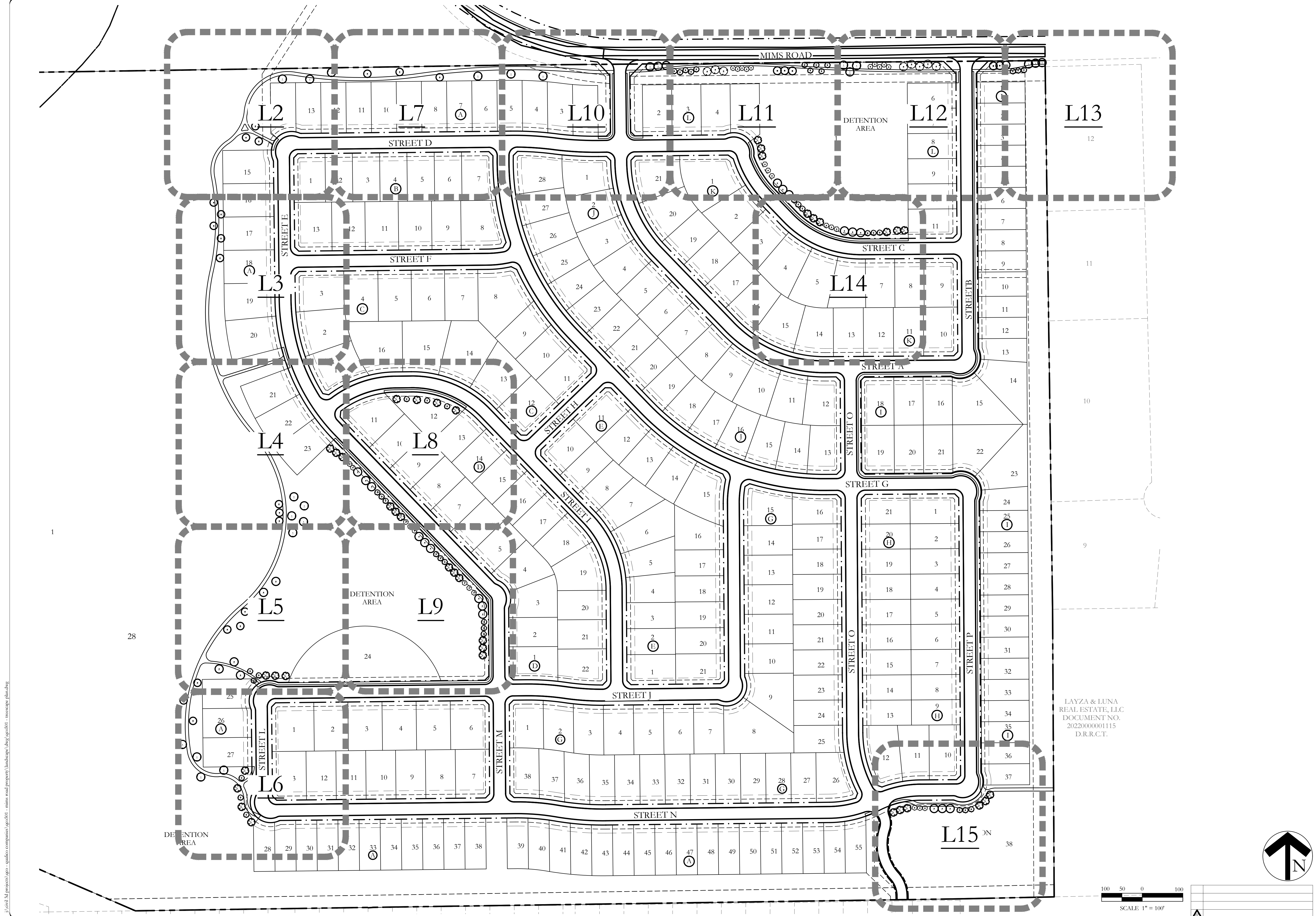
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 SHEET 3 OF 3

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 Phone: 469-659-6150

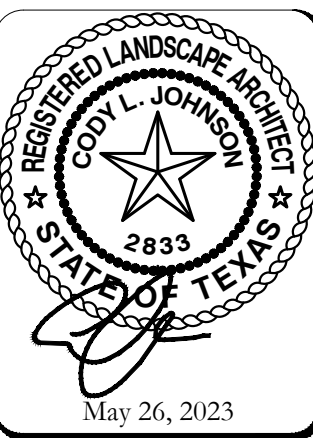
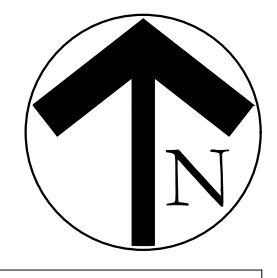
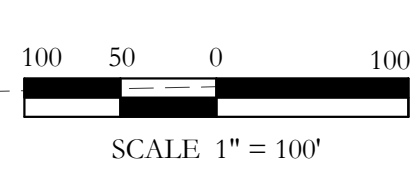
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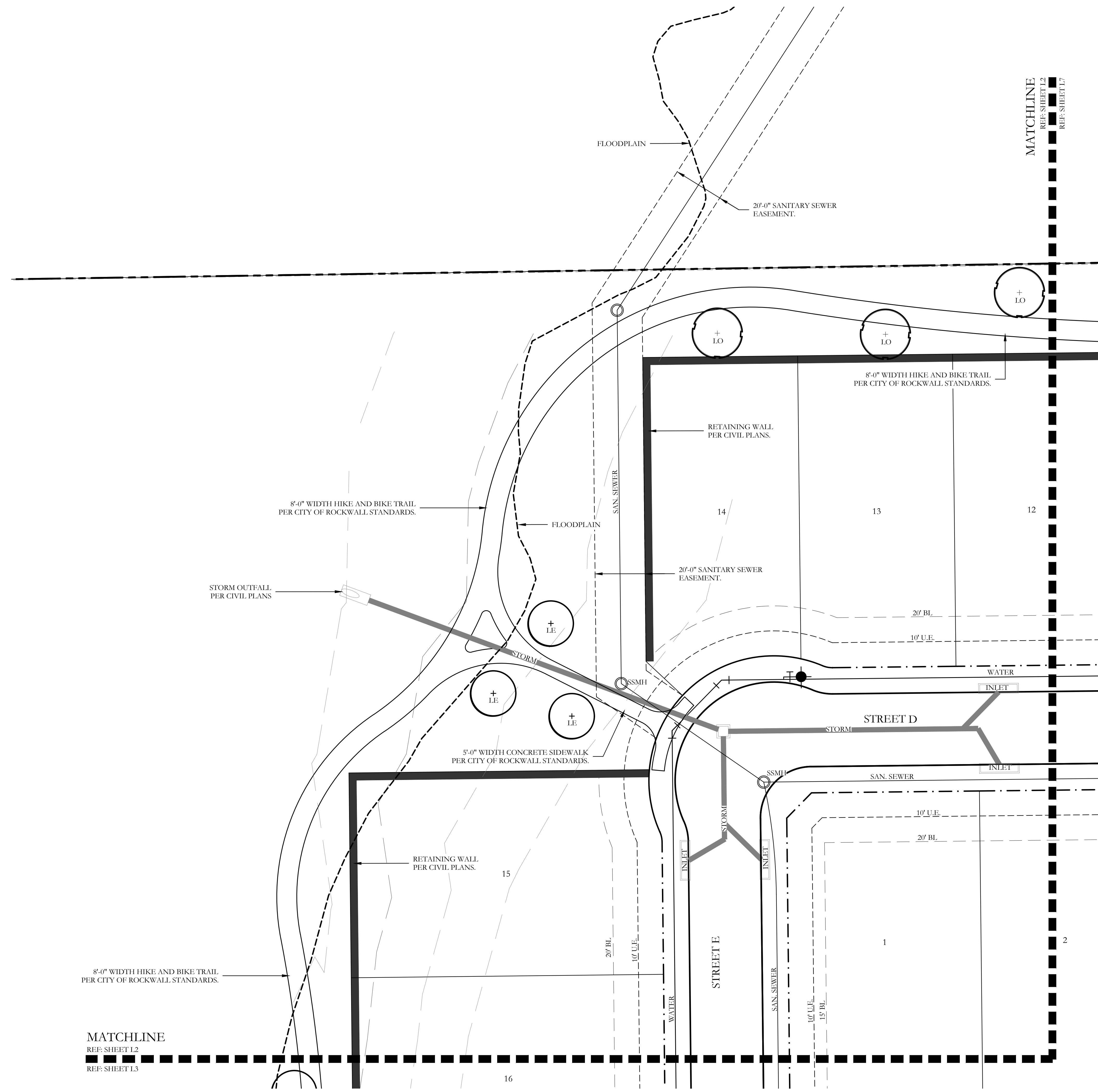


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LAYZA & LUNA
 REAL ESTATE, LLC
 DOCUMENT NO.
 2022000001115
 D.R.R.C.T.



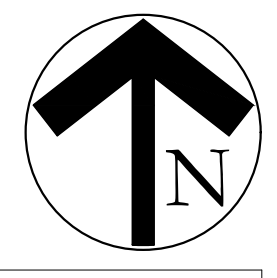
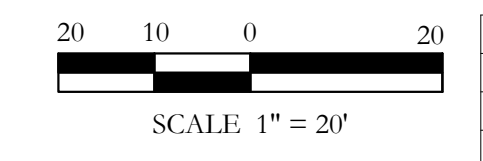
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE
REF: SHEET L2
REF: SHEET L3

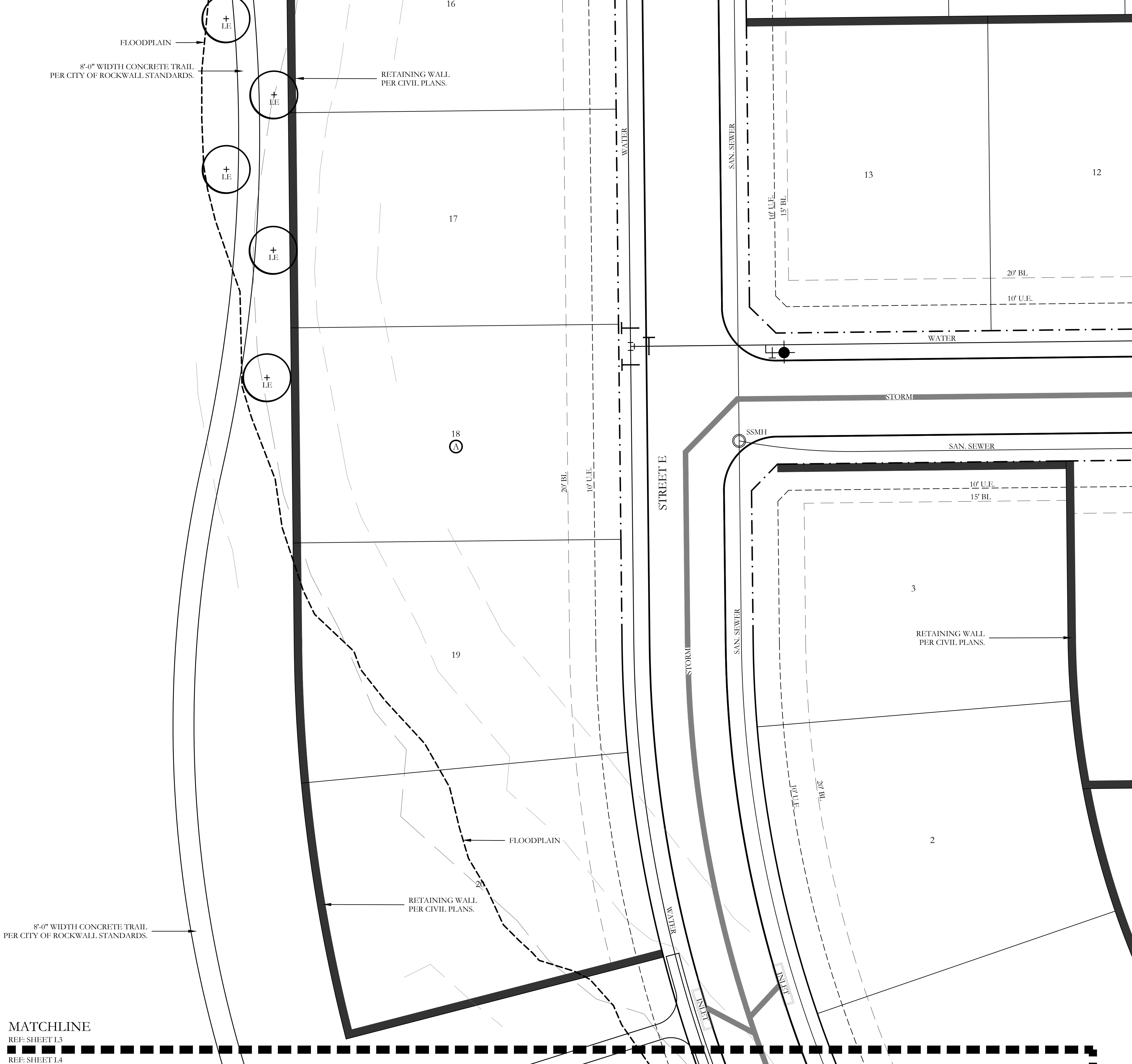
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MATCHLINE

REF: SHEET L2

REF: SHEET L3



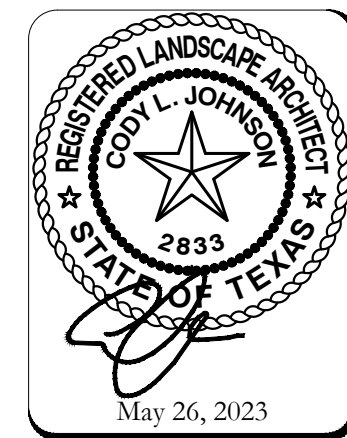
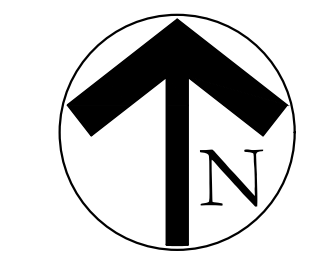
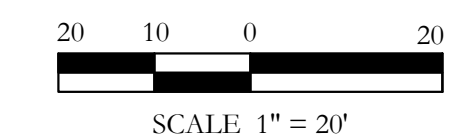
MATCHLINE

REF: SHEET L3

REF: SHEET L4

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



MATCHLINE

REF: SHEET L3

REF: SHEET L4

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

21

22

23

FLOODPLAIN

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

POND EDGE

DETENTION POND

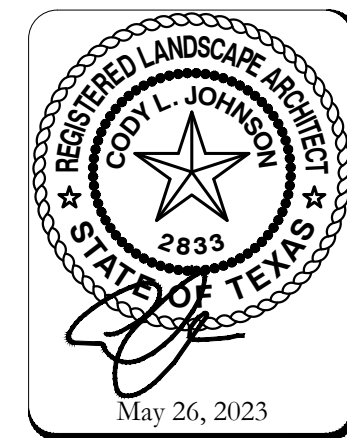
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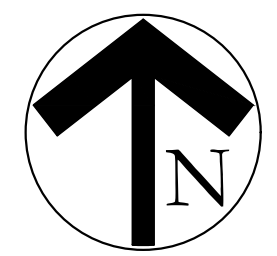
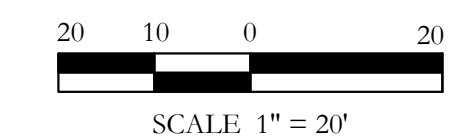
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PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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MATCHLINE

REF: SHEET L4

REF: SHEET L5

M

REF

REF

MATCHLINE
REF: SHEET L5
REF: SHEET L9

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

POND EDGE

DETENTION
POND

POND EDGE

FUTURE AMENITY
CENTER

STORM OUTFALL PER
CIVIL PLANS.

POND EDGE

FLOODPLAIN

WATER

INLET

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

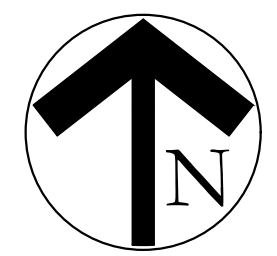
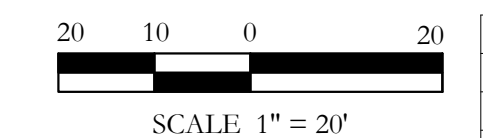
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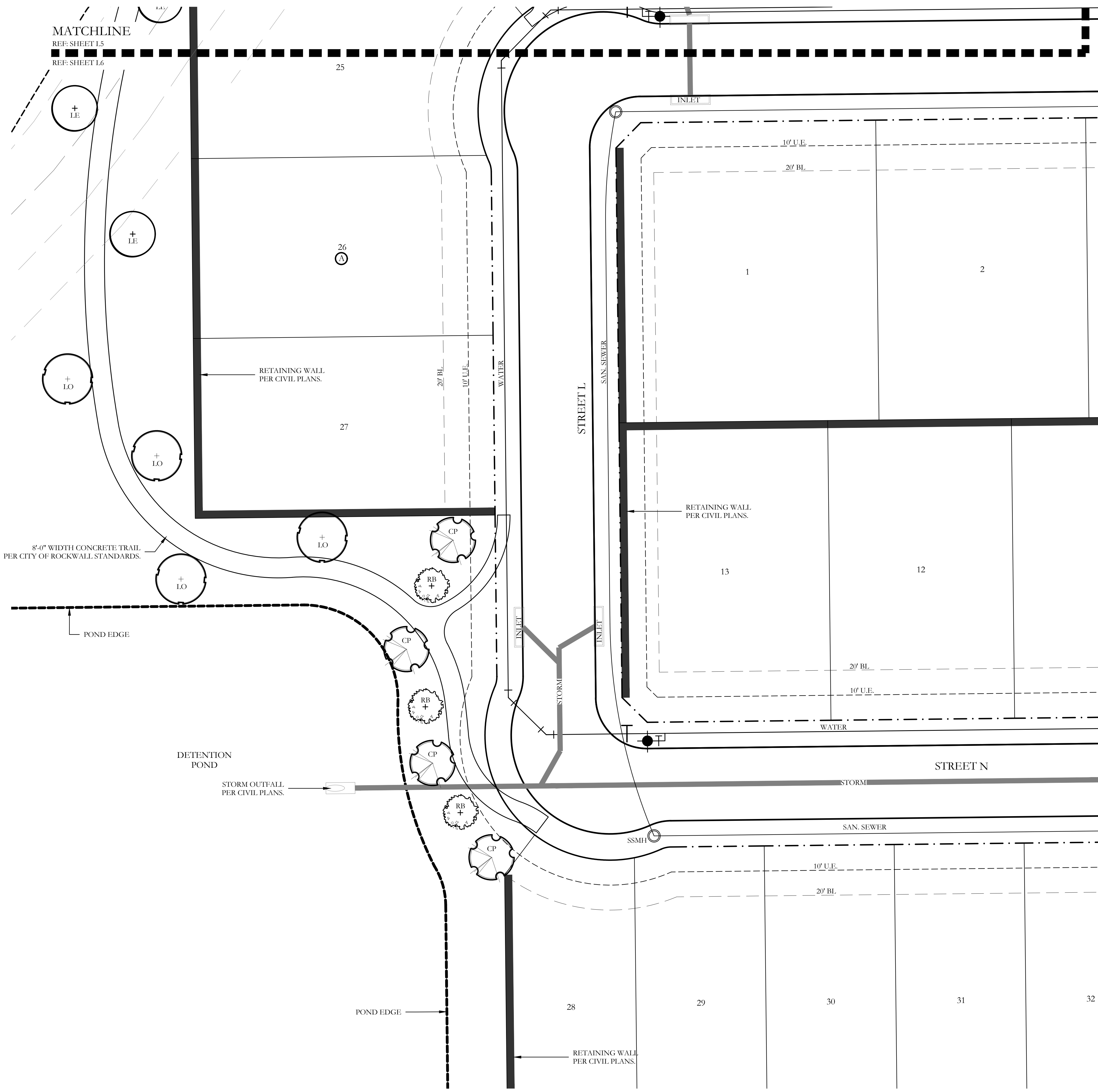
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25

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



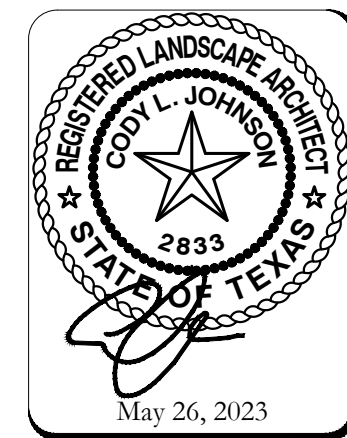
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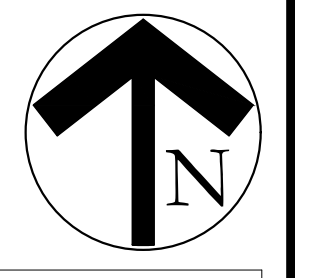
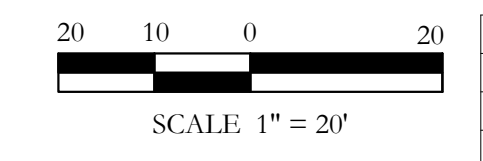
MATCHLINE
 REF: SHEET L5
 REF: SHEET L6

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

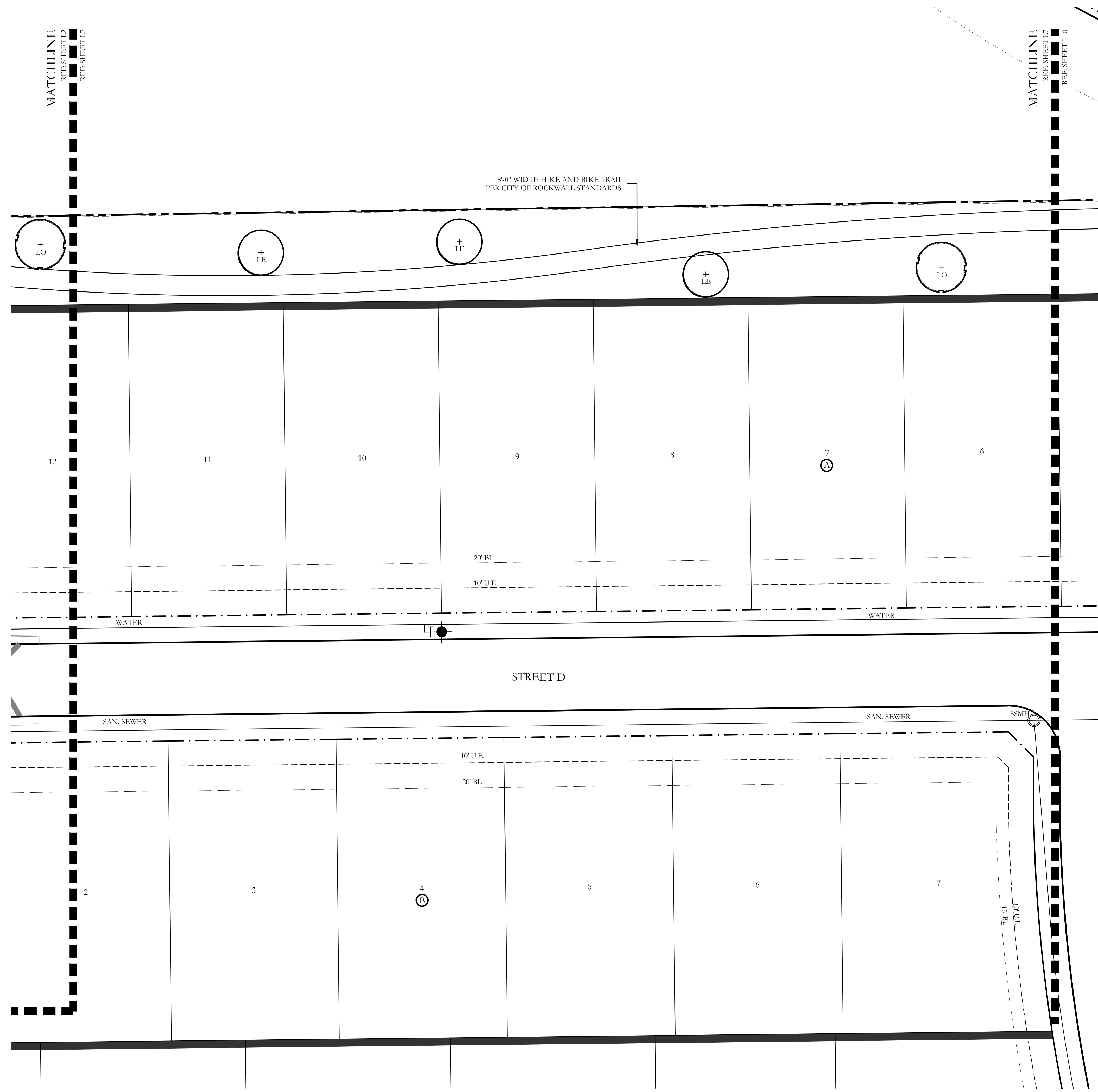


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 One Inch
 JVC No QCO501

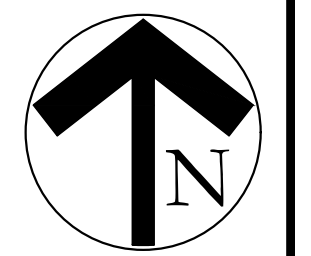
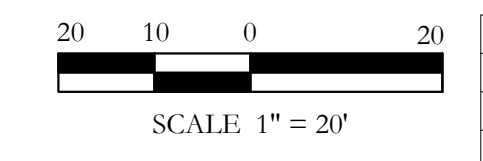


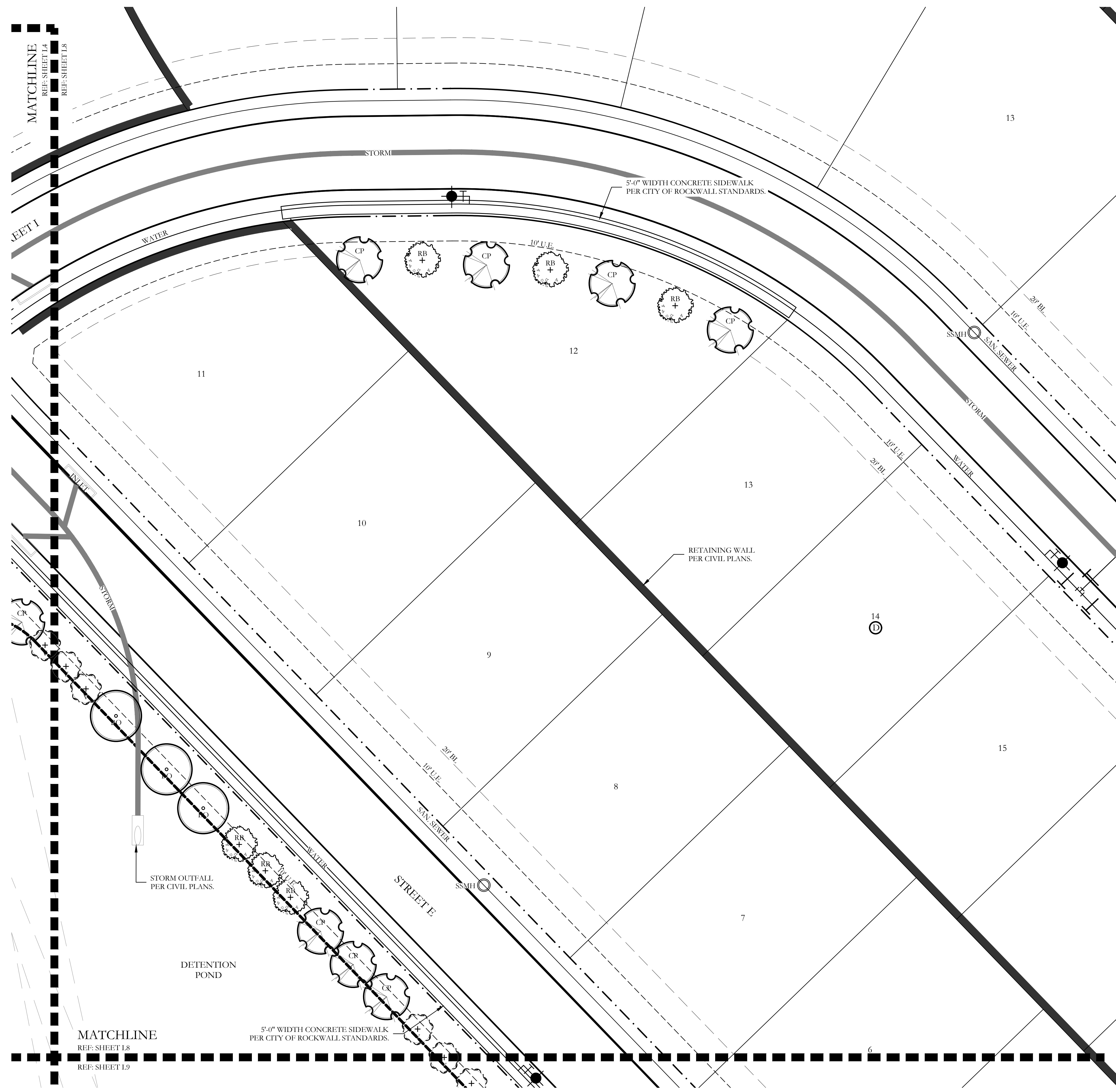
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

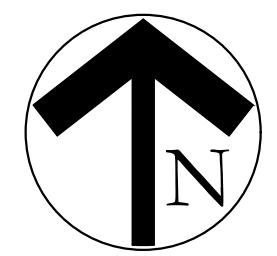
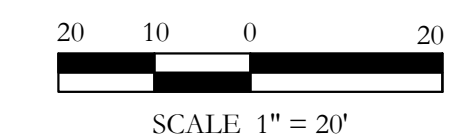
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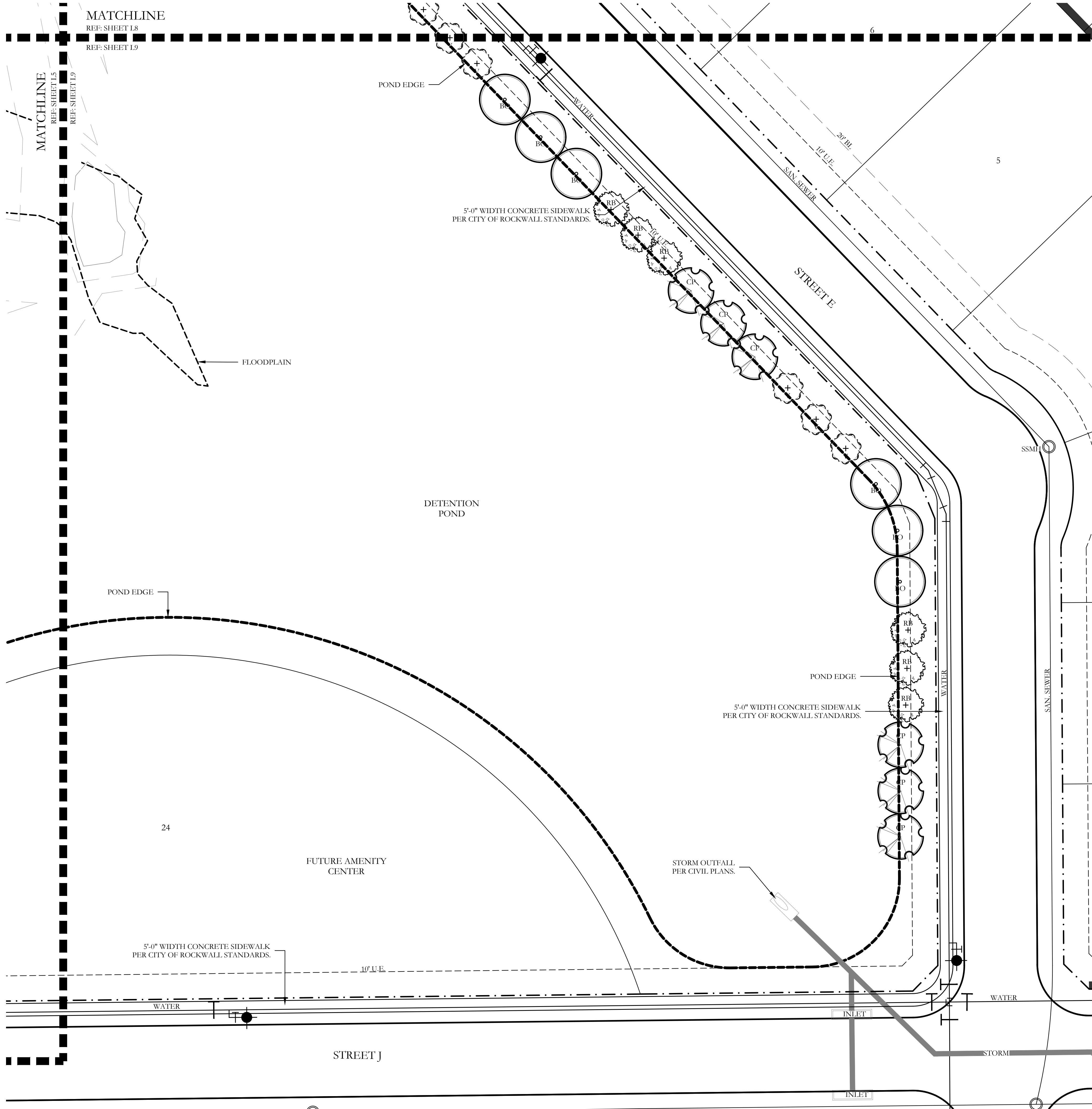
MATCHLINE
 REF: SHEET L8
 REF: SHEET L9

5'-0" WIDTH CONCRETE SIDEWALK
 PER CITY OF ROCKWALL STANDARDS.

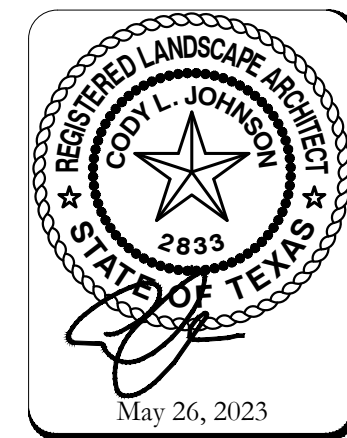
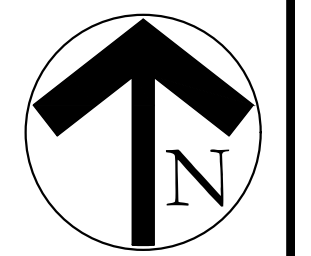
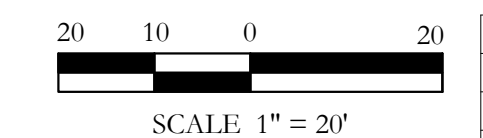
RETAINING WALL
 PER CIVIL PLANS.

5'-0" WIDTH CONCRETE SIDEWALK
 PER CITY OF ROCKWALL STANDARDS.

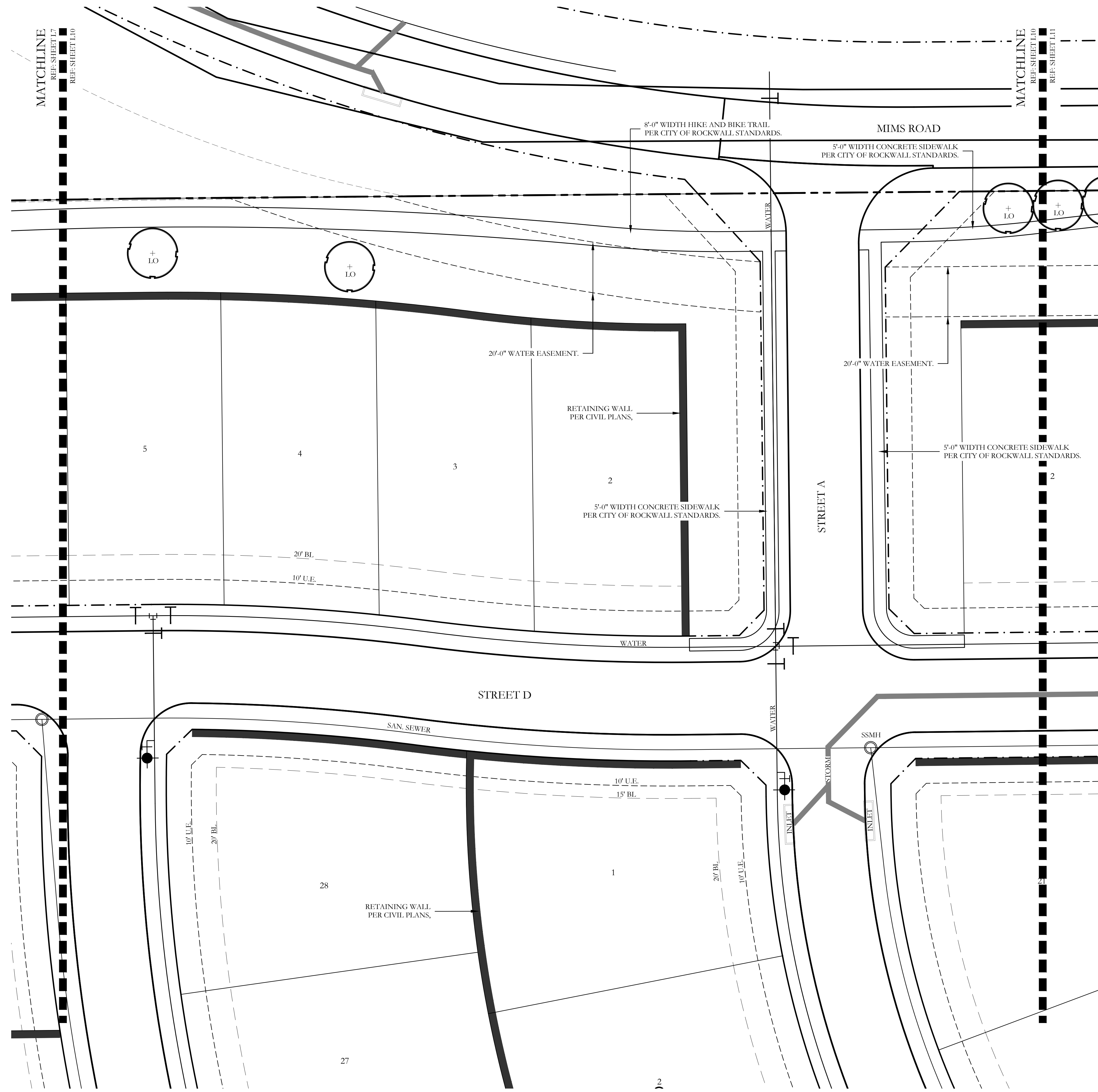




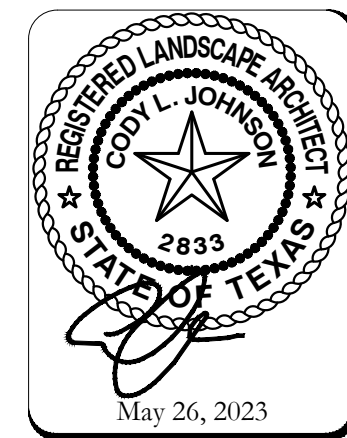
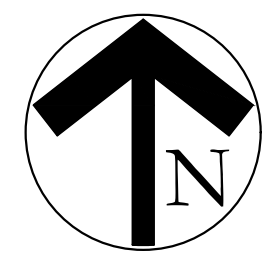
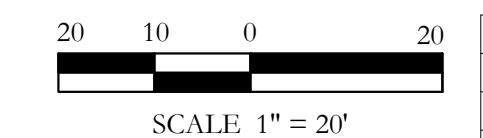
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

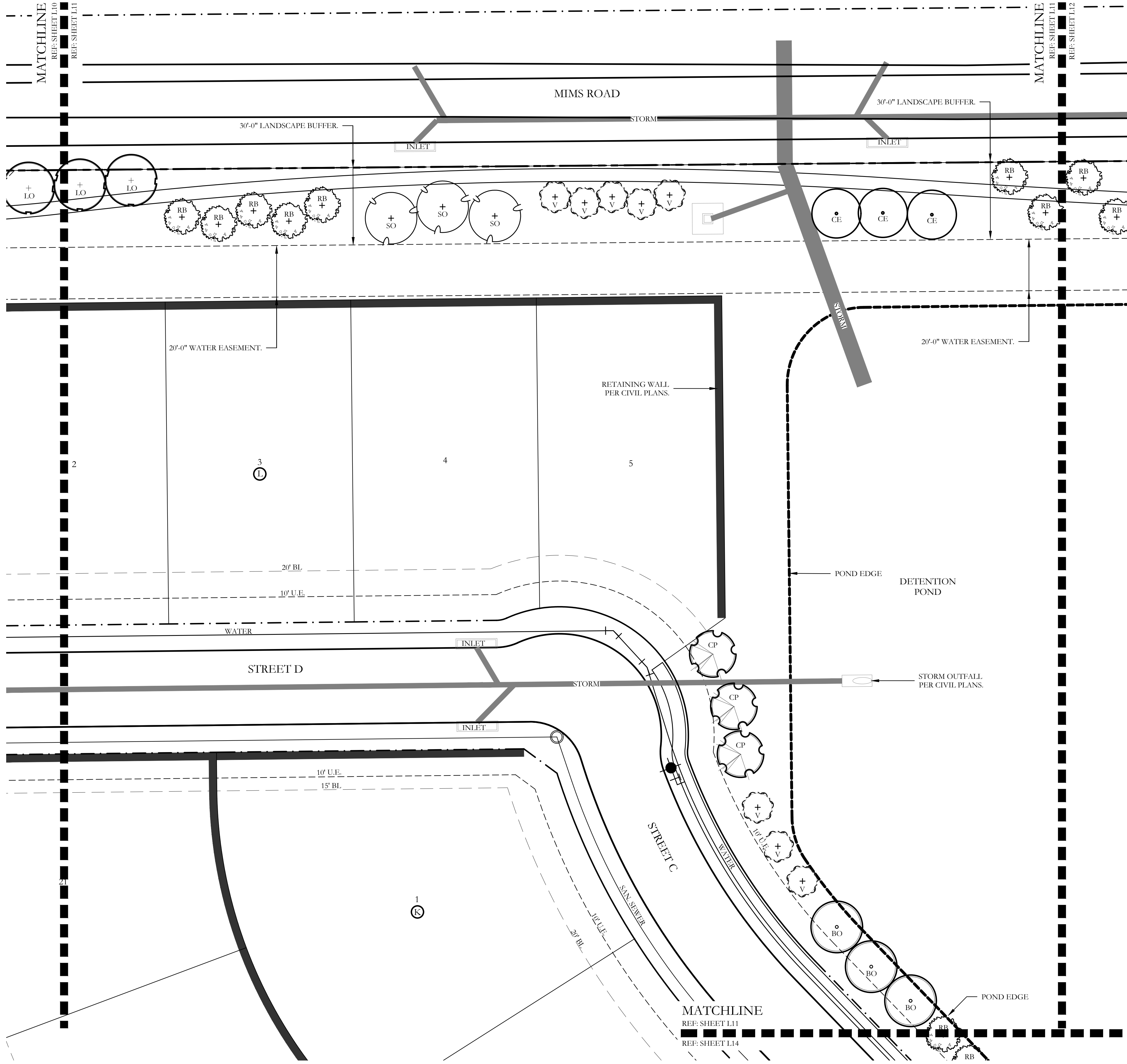


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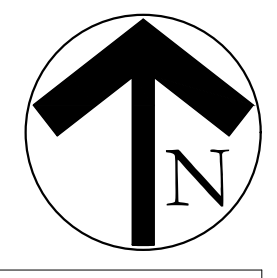
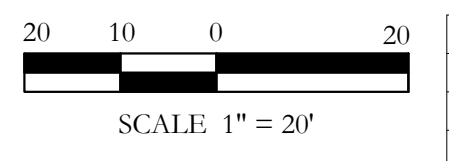
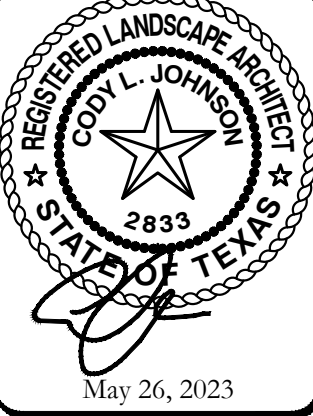


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



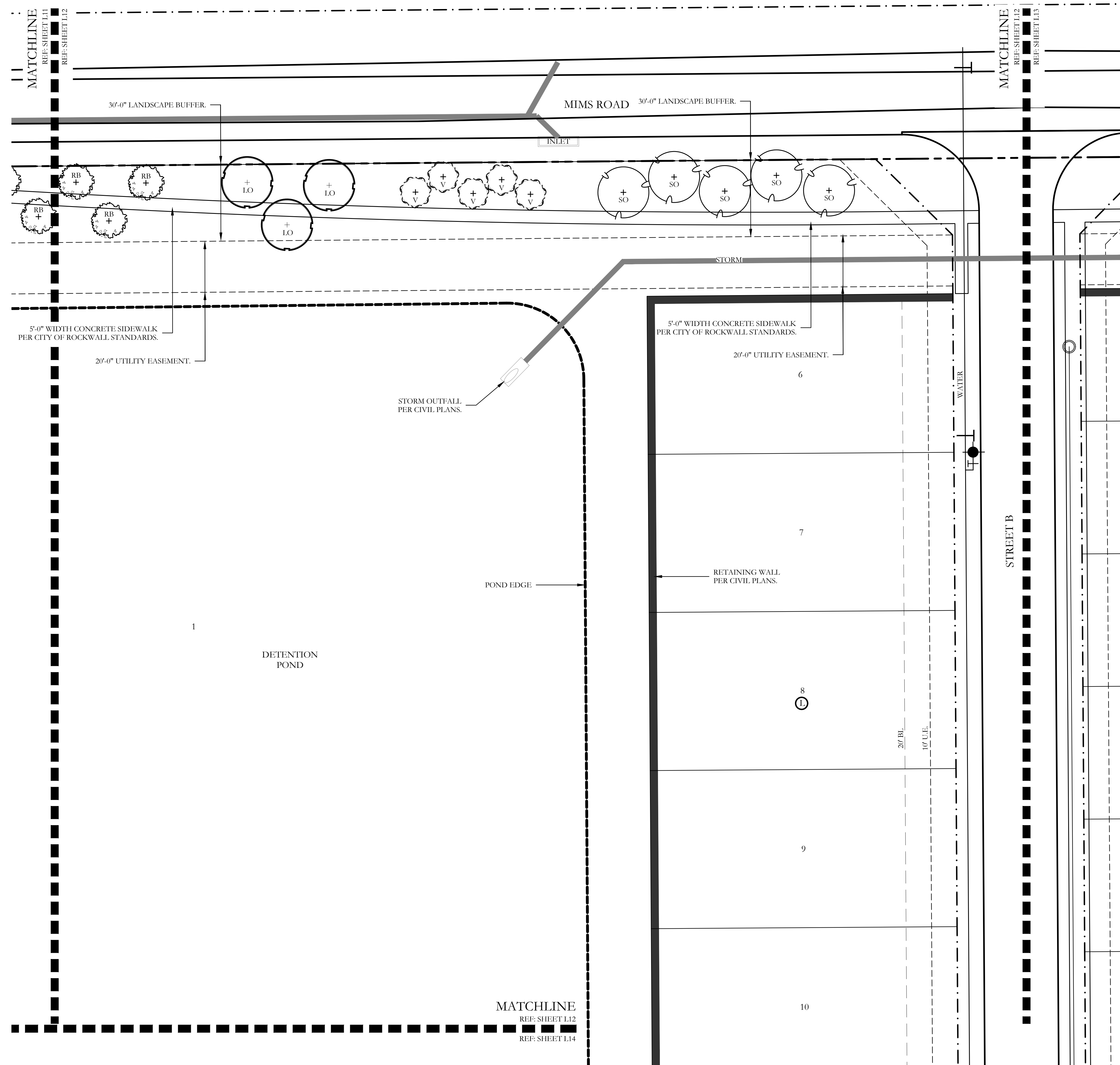


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

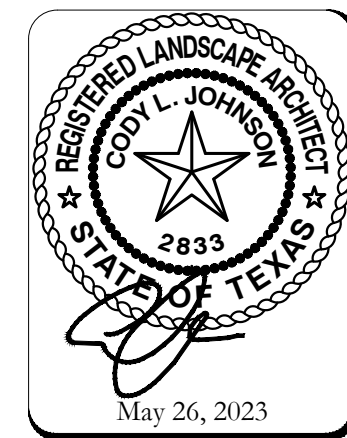
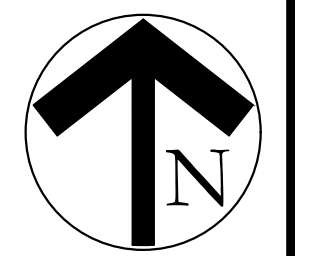
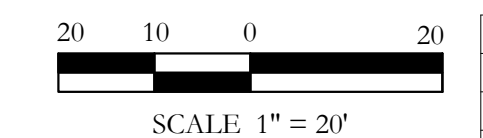


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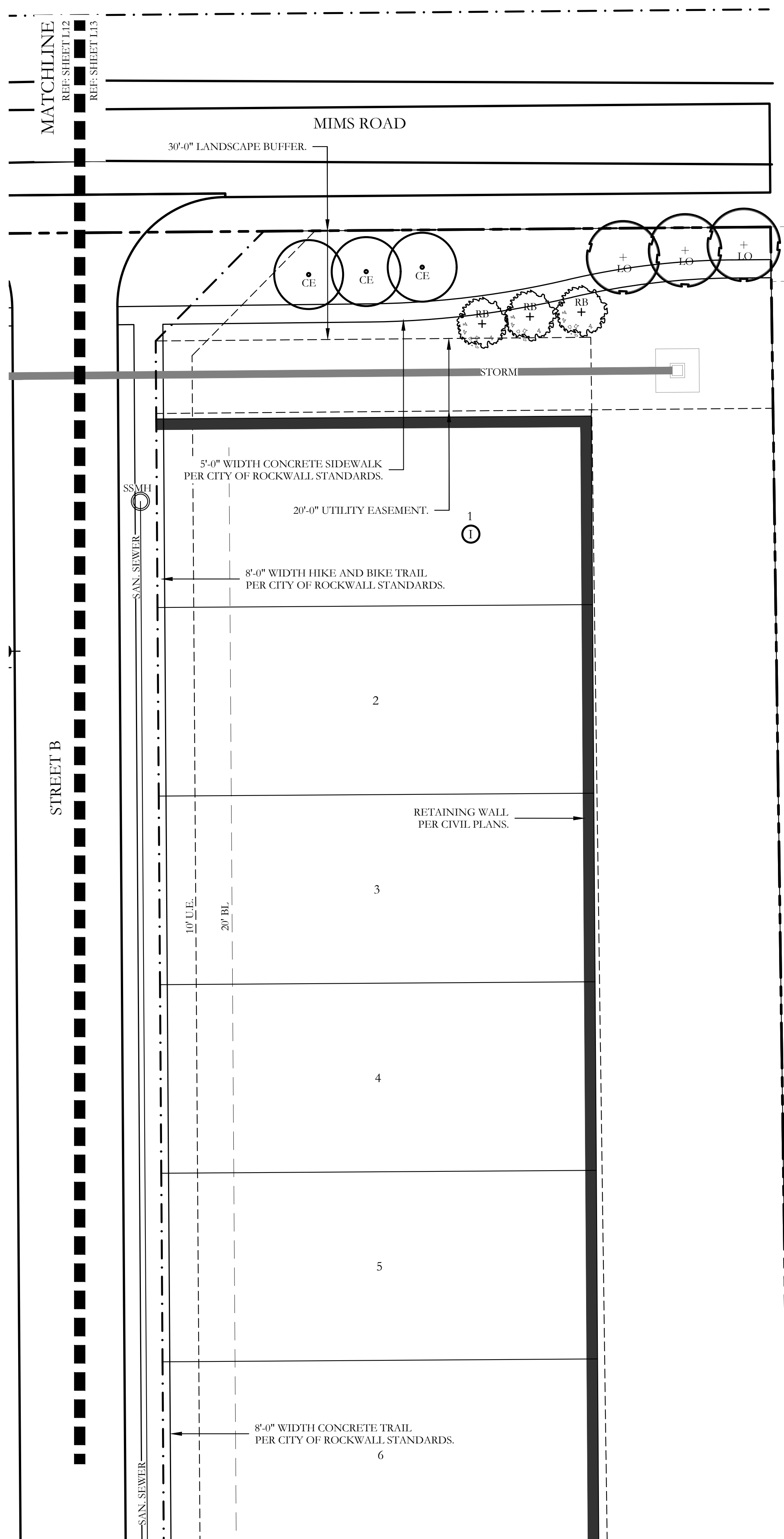
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	STORM ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	CE	5'-0" WIDTH CONCRETE SIDEWALK PER CITY OF ROCKWALL STANDARDS.		4" CALIPER	AS SHOWN
	UE	20'-0" UTILITY EASEMENT.			

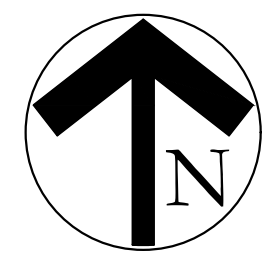
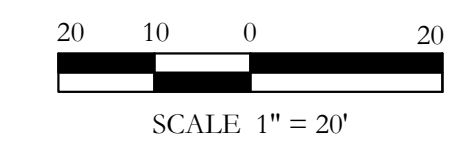


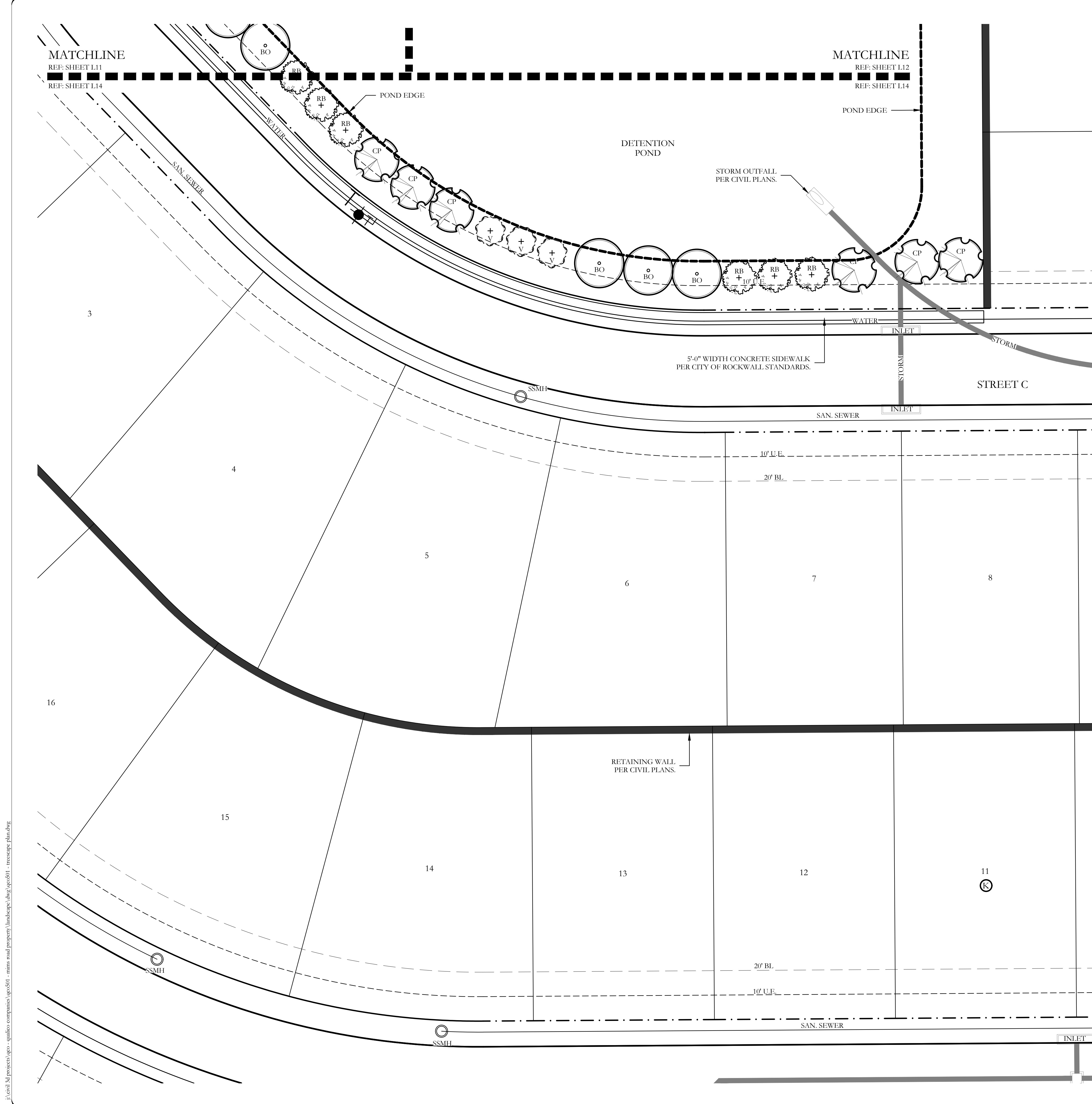
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

12

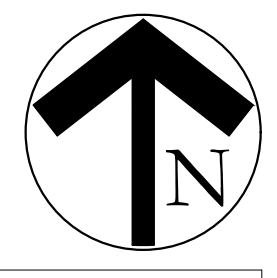
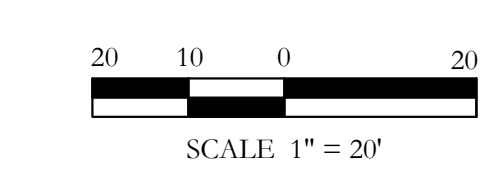


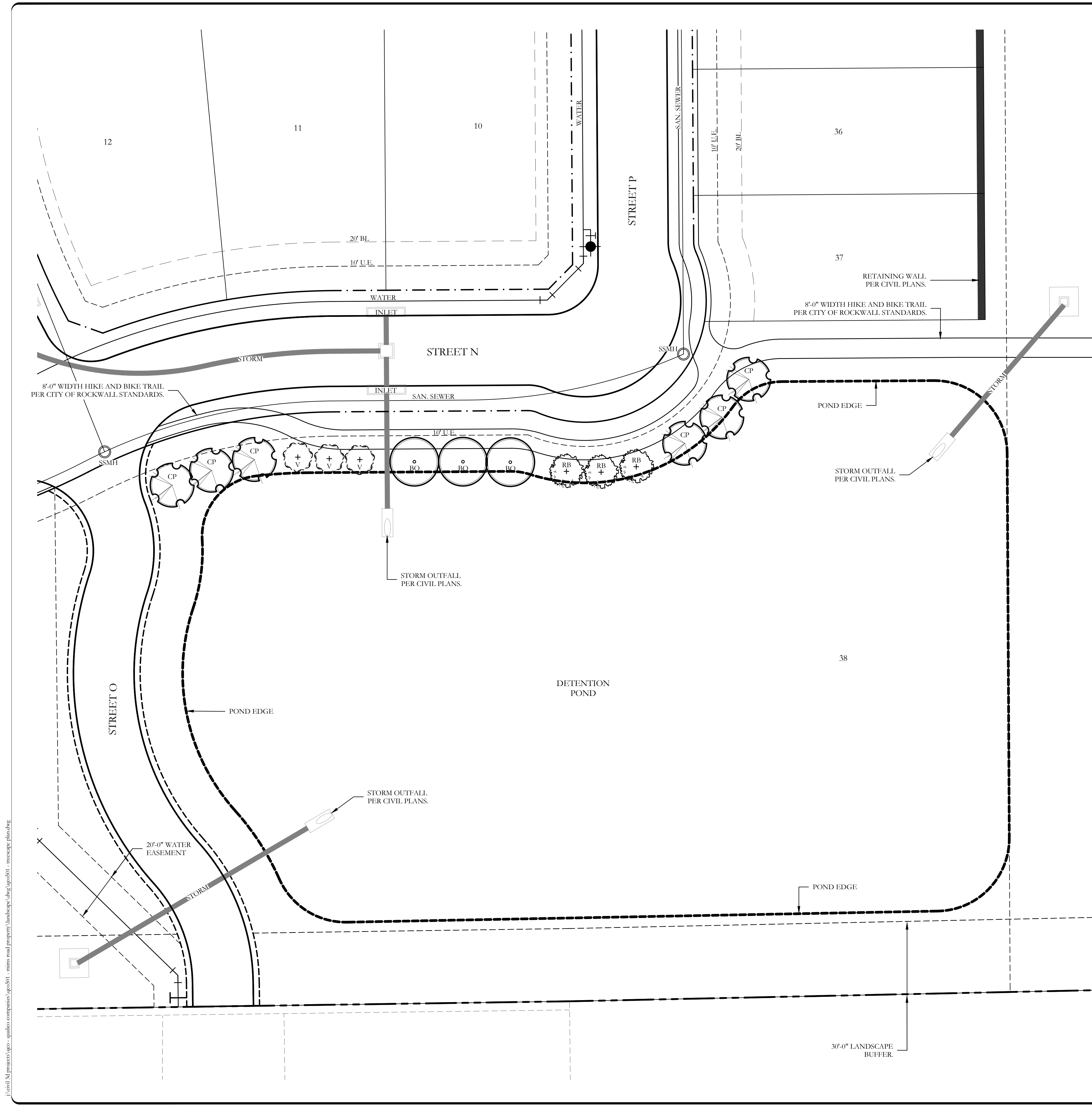


GENERAL LANDSCAPE NOTES PLANT LEGEND

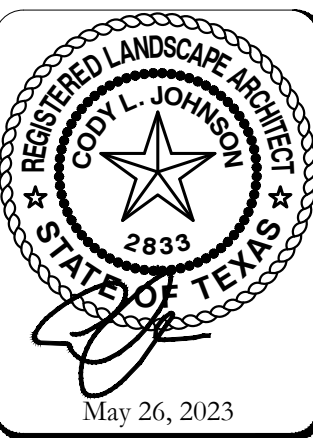
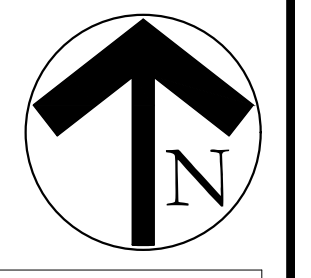
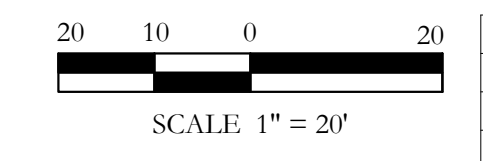
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

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 5/26/23 10:58 AM





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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LANDSCAPE PROVIDED

MIMS ROAD

- A. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 4" CAL. TREES REQUIRED.
PROVIDED: 23 - 4" CALIPER AND GREATER CANOPY TREES PROVIDED
- A. 1-2" CAL. ACCENT TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 2" CAL. TREES REQUIRED.
PROVIDED: 23 - 2" CALIPER AND GREATER CANOPY TREES PROVIDED

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	20	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	38	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	28	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	40	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
2. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
3. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
4. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
5. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
6. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
7. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
8. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

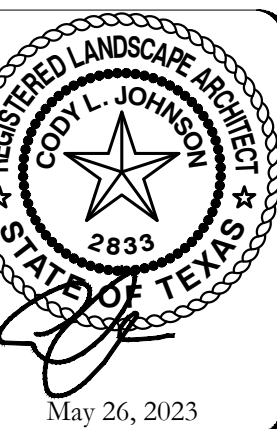
TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



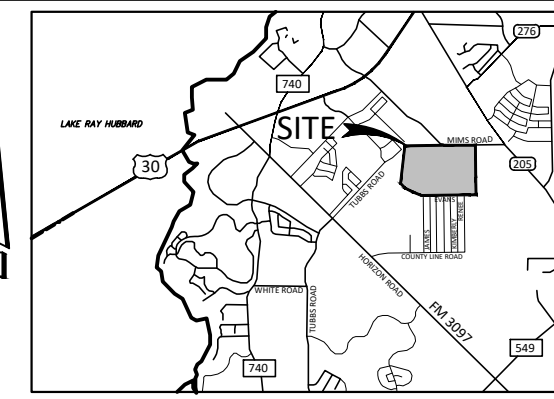
PEACHTREE MEADOWS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN
LANDSCAPE SCHEDULE & DETAILS

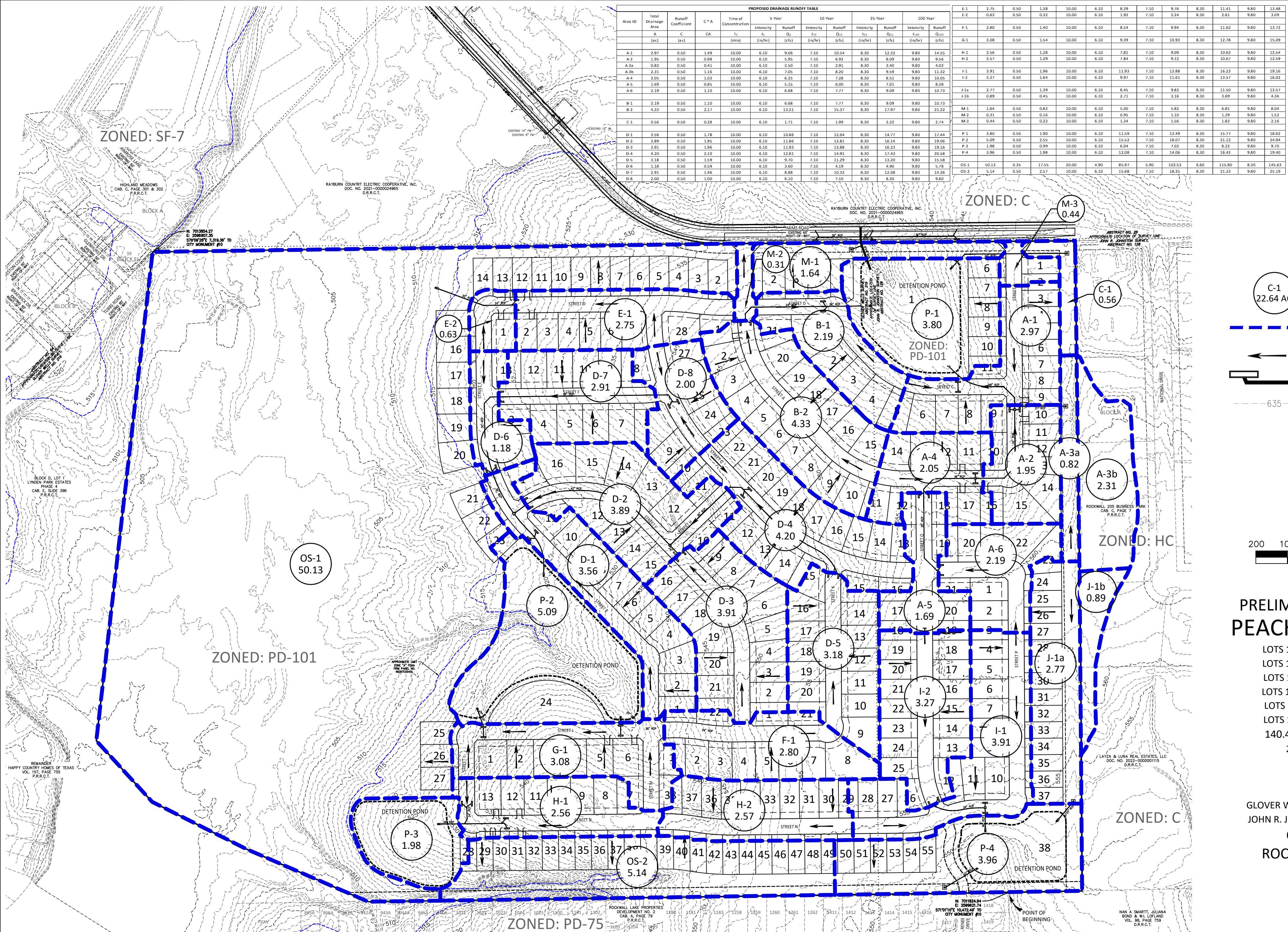


SCALE:
REFER TO
DETAILS
One Inch
JVC No QCO501

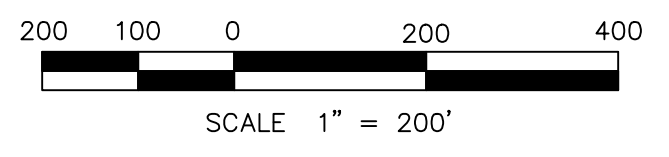
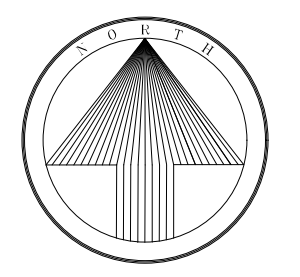
Area ID	Total Drainage Area (ac)	Runoff Coefficient	C * A	Time of Concentration (min)	PROPOSED DRAINAGE RUNOFF TABLE							
					5-Year		10-Year		25-Year		100-Year	
					Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)
A-1	2.97	0.50	1.49	10.00	6.10	9.06	7.10	10.54	8.30	12.33	9.80	14.55
A-2	1.95	0.50	0.98	10.00	6.10	5.95	7.10	6.92	8.30	8.09	9.80	9.56
A-3a	0.82	0.50	0.41	10.00	6.10	2.50	7.10	2.91	8.30	3.40	9.80	4.02
A-3b	2.31	0.50	1.16	10.00	6.10	7.05	7.10	8.20	8.30	9.59	9.80	11.32
A-4	2.05	0.50	1.03	10.00	6.10	6.25	7.10	7.28	8.30	8.51	9.80	10.05
A-5	1.69	0.50	0.85	10.00	6.10	5.15	7.10	6.00	8.30	7.01	9.80	8.28
A-6	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-1	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-2	4.33	0.50	2.17	10.00	6.10	13.21	7.10	15.37	8.30	17.97	9.80	21.22
C-1	0.56	0.50	0.28	10.00	6.10	1.71	7.10	1.99	8.30	2.32	9.80	2.74
D-1	3.56	0.50	1.78	10.00	6.10	10.86	7.10	12.64	8.30	14.77	9.80	17.44
D-2	3.89	0.50	1.95	10.00	6.10	11.86	7.10	13.81	8.30	16.14	9.80	19.06
D-3	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
D-4	4.20	0.50	2.10	10.00	6.10	12.81	7.10	14.91	8.30	17.43	9.80	20.58
D-5	3.18	0.50	1.59	10.00	6.10	9.70	7.10	11.29	8.30	13.20	9.80	15.58
D-6	1.18	0.50	0.59	10.00	6.10	3.60	7.10	4.19	8.30	4.90	9.80	5.78
D-7	2.91	0.50	1.46	10.00	6.10	8.88	7.10	10.33	8.30	12.08	9.80	14.26
D-8	2.00	0.50	1.00	10.00	6.10	6.10	7.10	7.10	8.30	8.30	9.80	9.80
E-1	2.75	0.50	1.38	10.00	6.10	8.39	7.10	9.76	8.30	11.41	9.80	13.48
E-2	0.63	0.50	0.32	10.00	6.10	1.92	7.10	2.24	8.30	2.61	9.80	3.09
F-1	2.80	0.50	1.40	10.00	6.10	8.54	7.10	9.94	8.30	11.62	9.80	13.72
G-1	3.08	0.50	1.54	10.00	6.10	9.39	7.10	10.93	8.30	12.78	9.80	15.09
H-1	2.56	0.50	1.28	10.00	6.10	7.81	7.10	9.09	8.30	10.62	9.80	12.54
H-2	2.57	0.50	1.29	10.00	6.10	7.84	7.10	9.12	8.30	10.67	9.80	12.59
I-1	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
I-2	3.27	0.50	1.64	10.00	6.10	9.97	7.10	11.61	8.30	13.57	9.80	16.02
J-1a	2.77	0.50	1.39	10.00	6.10	8.45	7.10	9.83	8.30	11.50	9.80	13.57
J-1b	0.89	0.50	0.45	10.00	6.10	2.71	7.10	3.16	8.30	3.69	9.80	4.36
M-1	1.64	0.50	0.82	10.00	6.10	5.00	7.10	5.83	8.30	6.81	9.80	8.04
M-2	0.31	0.50	0.16	10.00	6.10	0.95	7.10	1.10	8.30	1.29	9.80	1.52
M-3	0.44	0.50	0.22	10.00	6.10	1.34	7.10	1.56	8.30	1.83	9.80	2.16
P-1	3.80	0.50	1.90	10.00	6.10	11.59	7.10	13.49	8.30	15.77	9.80	18.62
P-2	5.09	0.50	2.55	10.00	6.10	15.52	7.10	18.07	8.30	21.12	9.80	24.94
P-3	1.98	0.50	0.99	10.00	6.10	6.04	7.10	7.03	8.30	8.22	9.80	9.70
P-4	3.96	0.50	1.98	10.00	6.10	12.08	7.10	14.06	8.30	16.43	9.80	19.40
OS-1	50.13	0.35	17.55	20.00	4.90	85.97	5.90	103.52	6.60	115.80	8.30	145.63
OS-2	5.14	0.50	2.57	10.00	6.10	15.68	7.10	18.25	8.30	21.33	9.80	25.19



VICINITY MAP
N.T.S.



- DRAINAGE AREA DESIGNATION
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



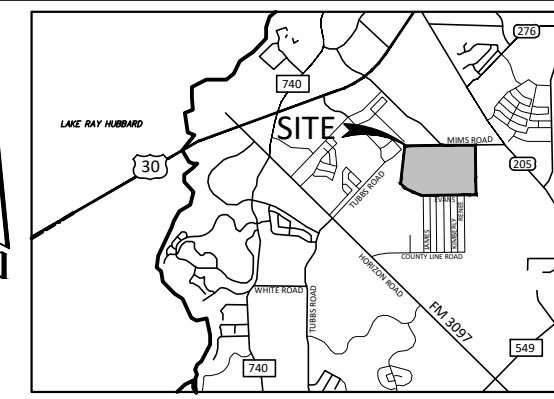
PRELIMINARY DRAINAGE PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
 140.494 ACRES OR 6,119,939 SQ. FT.
 292 SINGLE FAMILY LOTS AND
 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 SITUATED WITHIN THE
 GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
 JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2023-xxx
 June 12, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

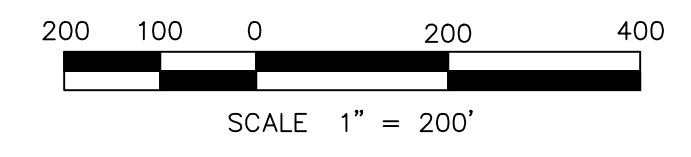
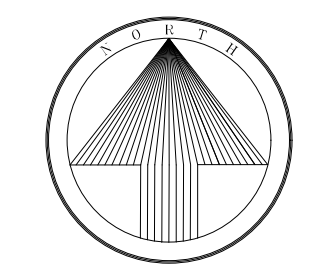
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
- D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas

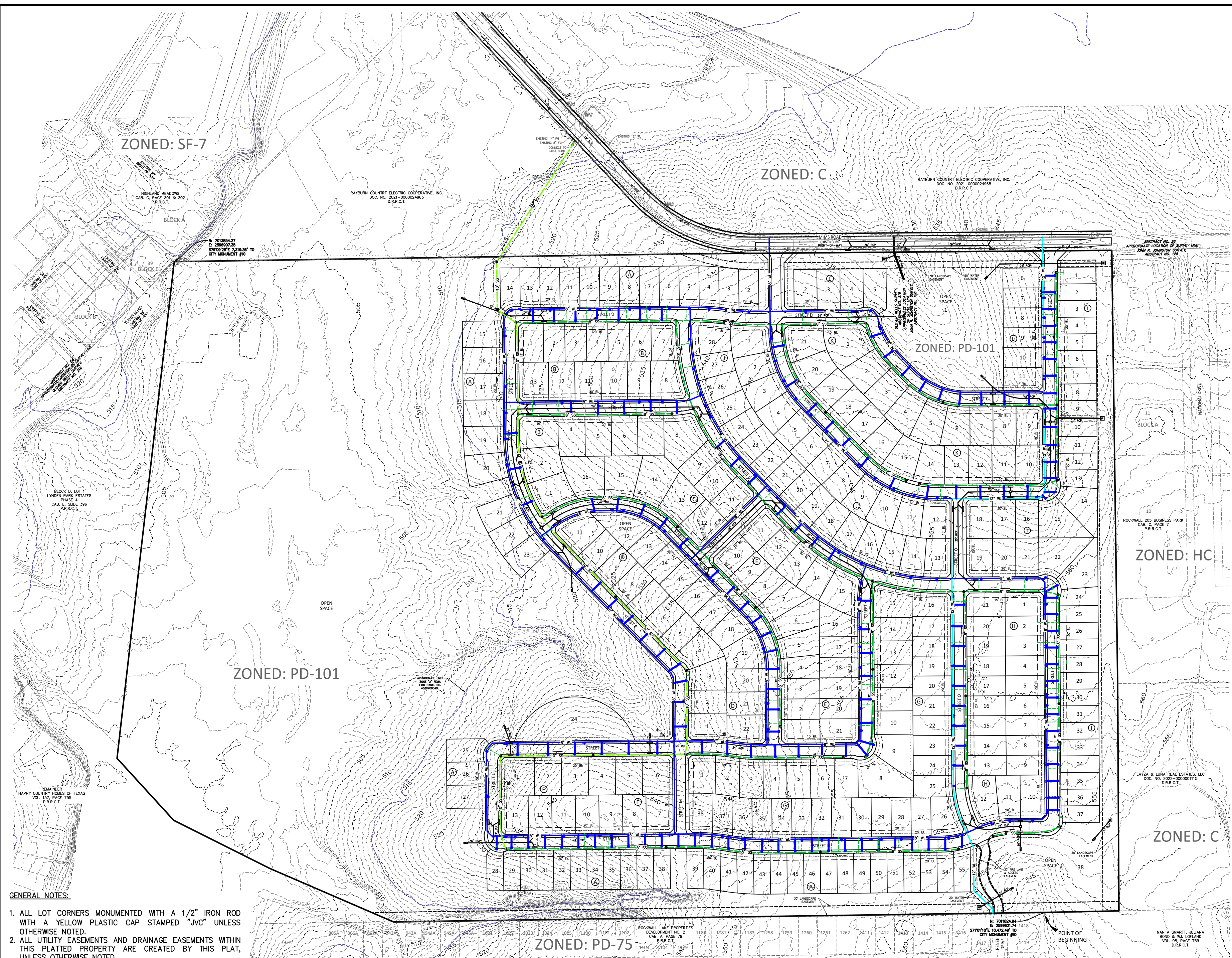


**PRELIMINARY UTILITY PLAN
PEACHTREE MEADOWS**

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
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140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
SITUATED WITHIN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0040L, DATED SEPTEMBER 26, 2008.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
 - OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Lee, Henry

From: Tom Dayton <tom.dayton@johnsonvolk.com>
Sent: Wednesday, July 5, 2023 9:57 AM
To: Lee, Henry
Cc: Meredith Joyce
Subject: RE: Project Comments P2023-017
Attachments: QCO501 - Preliminary Plat.pdf

Henry

Please see updated submittal addressing the comments for the prelim. Plat on Peachtree Meadows

thanks

Tom Dayton, PE | Vice President



704 Central Parkway East | Suite 1200 | Plano | TX 75074
972-201-3100 ext. 202 (office)
682-225-7189 (mobile)
972-201-3099 (fax)
www.johnsonvolk.com

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From: Meredith Joyce <Meredith@michaeljoyceproperties.com>
Sent: Friday, June 23, 2023 3:21 PM
To: Tom Dayton <tom.dayton@johnsonvolk.com>
Subject: FW: Project Comments P2023-017

Meredith Joyce, PE



Michael Joyce Properties
767 Justin Rd.
Rockwall, TX 75087
512-694-6394
www.michaeljoyceproperties.com

From: Lee, Henry <HLee@rockwall.com>
Sent: Friday, June 23, 2023 12:00 PM
To: Meredith Joyce <Meredith@michaeljoyceproperties.com>
Cc: john.vick@qualico.com
Subject: Project Comments P2023-017

Good Morning,

Attached are the project comments for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: June 27, 2023
Planning and Zoning Commission: July 11, 2023
City Council: July 17, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP
Senior Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

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August 2, 2023

TO: Meredith Joyce
Michael Joyce Properties
767 Justin Road
Rockwall, TX, 75087

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2023-017; *Preliminary Plat for Peachtree Meadows*

Meredith Joyce:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 17, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 11, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Preliminary Plat by a vote of 6-0, with Commissioner Conway absent.

City Council

On July 17, 2023, the City Council approved a motion to approve the Preliminary Plat by a vote of 6-1, with Council Member McCallum dissenting.

Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-6434.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee".

Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department