



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2023-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
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ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	FM 740			
SUBDIVISION	SKY RIDGE ADDITION LOTS 2-7	LOT	3&4	BLOCK A
GENERAL LOCATION	NORTH SIDE OF FM 740			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL	CURRENT USE	COMMERCIAL/FAST FOOD		
PROPOSED ZONING	SAME	PROPOSED USE	SAME		
ACREAGE	PART OF 2.293 AC.	LOTS [CURRENT]	3	LOTS [PROPOSED]	3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	7.1 RIDGE, LLC	<input checked="" type="checkbox"/> APPLICANT	SAME AS OWNER
CONTACT PERSON	Josh Swiercinsky	CONTACT PERSON	
ADDRESS	106 E. RUSK STREET, STE 200	ADDRESS	
CITY, STATE & ZIP	ROCKWALL, TX 75032	CITY, STATE & ZIP	
PHONE	972-771-7577	PHONE	
E-MAIL	joshua@skyrei.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Swiercinsky [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

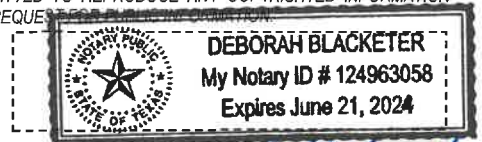
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 345.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF March, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC RECORDS INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF March, 2023.

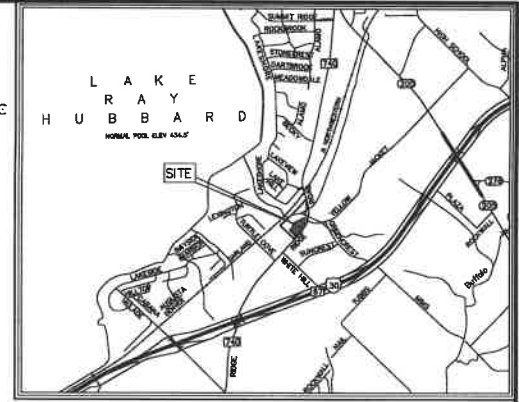
OWNER'S SIGNATURE

Michael Swiercinsky
Deborah Blacketer

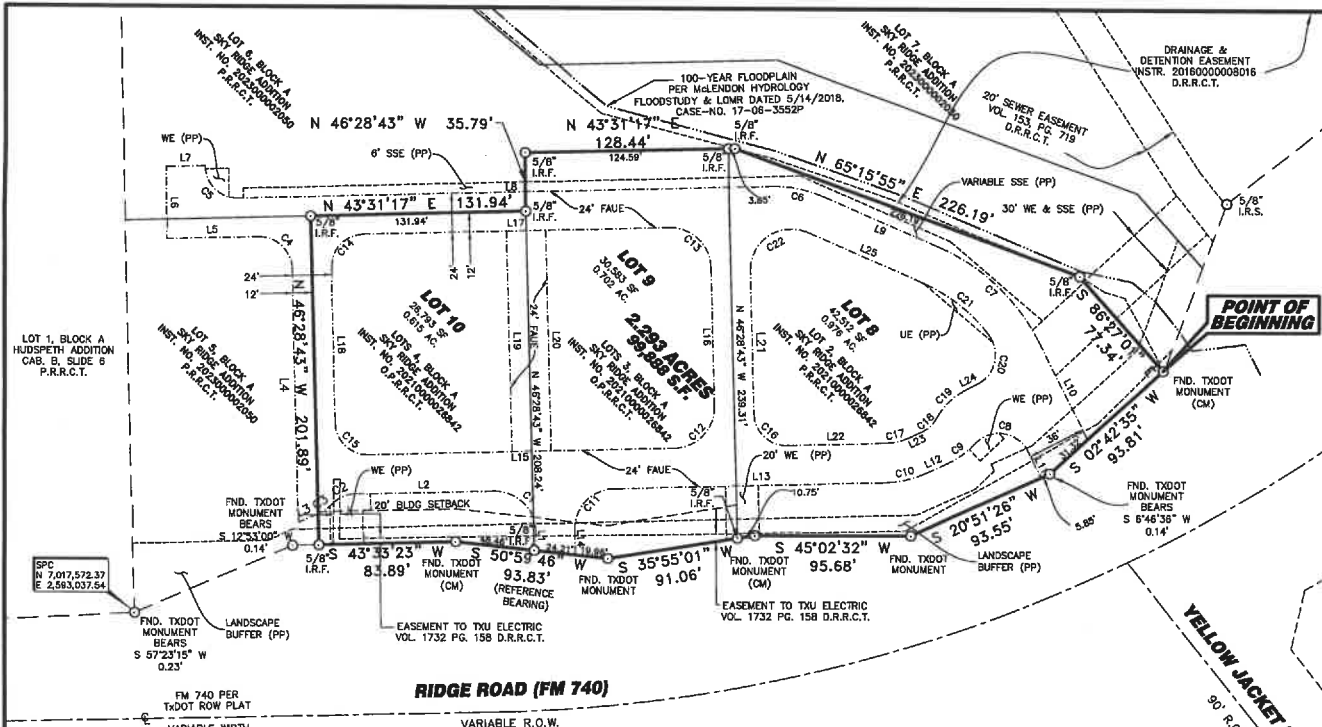
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 6/21/2024



VICINITY MAP
N.T.S.



LEGEND

5/8" I.R.S. 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3983"

I.R.F. IRON ROD FOUND

FAUE FIRE LANE, ACCESS & UTILITY EASEMENT

SSE SANITARY SEWER EASEMENT

WE WATER LINE EASEMENT

CM CONTROL MONUMENT

SPC STATE PLANE COORDINATES

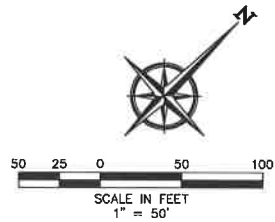
WS WATER SURFACE ELEVATION

UE UTILITY EASEMENT

P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS

D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00	39.27	35.36	N 88°31'17" E	90°00'00"
C2	20.00	15.13	14.77	N 21°51'18" E	43°19'57"
C3	34.00	12.83	12.59	N 10°49'50" E	21°17'02"
C4	20.00	31.42	28.39	N 88°31'10" E	90°00'14"
C5	20.00	31.45	28.31	S 88°34'23" W	90°08'40"
C6	74.00	32.31	32.06	N 58°01'38" E	25°01'10"
C7	124.00	86.03	84.92	N 88°24'49" E	38°45'12"
C8	20.00	38.30	32.71	N 53°29'04" E	108°42'40"
C9	58.00	21.83	21.70	N 08°24'43" E	21°33'57"
C10	64.00	26.06	25.95	N 31°51'29" E	23°19'36"
C11	25.00	39.27	35.36	N 01°28'43" W	90°00'00"
C12	25.00	39.27	35.36	S 01°28'43" E	90°00'00"
C13	25.00	39.27	35.36	N 88°31'10" E	90°00'14"
C14	20.00	31.38	28.28	N 01°26'32" W	89°55'11"
C15	20.00	31.44	28.30	S 88°34'25" W	90°04'35"
C16	20.00	31.42	28.28	N 88°31'22" E	90°00'10"
C17	40.00	18.28	18.17	S 31°51'29" W	23°19'36"
C18	20.00	12.81	12.69	N 01°41'58" E	36°58'33"
C19	41.75	25.57	25.17	S 00°44'42" W	35°05'17"
C20	20.00	34.81	33.66	S 31°44'48" E	100°04'22"
C21	100.00	51.80	51.23	N 83°22'38" E	29°40'50"
C22	25.00	50.19	42.17	N 11°01'45" E	115°00'56"

LINE	BEARING	DISTANCE
L1	S 46°28'43" E	12.00
L2	N 43°31'17" E	68.12
L3	N 21°28'21" E	11.56
L4	S 46°28'43" E	156.97
L5	N 43°31'03" E	55.81
L6	N 46°22'12" W	44.02
L7	S 43°27'59" W	23.86
L8	S 43°31'17" W	325.98
L9	S 48°28'43" E	78.20
L10	S 71°42'35" E	67.01
L11	S 71°39'36" E	18.26
L12	N 20°11'42" W	13.50
L13	N 43°31'17" E	185.93
L14	N 46°28'43" W	15.15
L15	S 43°31'17" W	187.54
L16	S 46°28'43" E	85.41
L17	N 43°31'03" E	187.41
L18	N 46°24'08" W	95.40
L19	S 46°28'43" E	135.41
L20	S 46°28'43" E	135.41
L21	S 46°28'43" E	88.07
L22	S 43°31'17" W	59.54
L23	S 20°11'42" W	7.73
L24	S 18°17'25" W	7.73
L25	N 88°32'13" E	77.59

- GENERAL NOTES:**
- Basis of bearing being S 50°59'48" W for a south line of deed recorded in Instr. 20160000018015, D.R.R.C.T.
 - Surveyor has made no investigation or independent search for assessments of record, restrictive covenants, ownership, title evidence or any other facts that an abstract of title would disclose.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - Property owners shall be responsible for all maintenance, repair, and reconstruction of all systems within drainages and detention easements on site.
 - (PP) Indicates building lines, easements, right-of-ways, dimensions, etc. are per a previous plat recorded as Instrument Number 2021000028842.

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3508 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
2021000028842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS 7.1 RIDGE, LLC and BEAUTY LEGACY, LLC BEING THE OWNERS of a 2.293 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being all of Lots 2, 3, and 4, Block A, of Sky Ridge Addition, an addition to the city of Rockwall, Rockwall County Texas, recorded in instrument 20210000026842, Official Public Records, Rockwall County, Texas, and this tract being more particularly described by metes and bounds as follows:

BEGINNING at a TXDOT Monument with an Aluminum Disk found for corner at the southeast corner of Lot 7 of said Sky Ridge Addition, common to the most eastern corner of said Lot 2, said point being in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way;

THENCE Southwesterly, along the northwest right-of-way line of said FM 740 and the southeast lines of said Lots 2, 3, and 4, the following courses:

- 5 02 degrees 42 minutes 35 seconds W, a distance of 93.81 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears S 06 degrees 46 minutes 36 seconds W, a distance of 0.14 feet;
5 20 degrees 51 minutes 26 seconds W, a distance of 93.55 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 45 degrees 02 minutes 32 seconds W, a distance of 95.68 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 35 degrees 55 minutes 01 seconds W, at 10.75 feet, passing the common corner of said Lots 2 and 3, and continuing for a total distance of 91.06 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 50 degrees 59 minutes 46 seconds W, at 45.37 feet passing the common corner of said Lots 3 and 4, and continuing for a total distance of 93.83 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 43 degrees 33 minutes 23 seconds W, a distance of 83.89 feet to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most southern corner of said Lot 4, common the most eastern corner of said Lot 5;

THENCE N 46 degrees 28 minutes 43 seconds W, along the common line of Lots 4 and 5 of said Sky Ridge Addition, a distance of 201.89 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the common northerly corner thereof and also being in a southeast line of Lot 6;

Thence along the southeasterly lines of said Lot 6 and Lot 7 of said Addition, and the northwesterly lines of said Lots 4, 3, and 2, respectively, the following courses:

- N 43 degrees 31 minutes 17 seconds E, a distance of 131.94 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most northern corner of said Lot 4;
N 46 degrees 28 minutes 43 seconds W, a distance of 35.79 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most western corner of said Lot 3;
N 43 degrees 31 minutes 17 seconds E, at 124.59, feet passing the common northerly corner of said Lots 3 and 2, respectively, and continuing for a total distance of 128.44 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
N 65 degrees 15 minutes 55 seconds E, a distance of 226.19 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
S 86 degrees 27 minutes 01 seconds E, a distance of 77.34 feet, to the POINT OF BEGINNING and containing 99,888 square feet or 2.293 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this replat, and designated herein as the SKY RIDGE ADDITION, LOTS 2-4, an Addition to the City of Rockwall, Texas, and whose names are subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in SKY RIDGE ADDITION, LOTS 2-4, subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owners, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposits may be used by the owners and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owners files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

FOR: 7.1 RIDGE, LLC

FOR: BEAUTY LEGACY, LLC

BY:

BY:

Name:

Name:

Title:

Title:

Signature of Michael Swierczynski, President

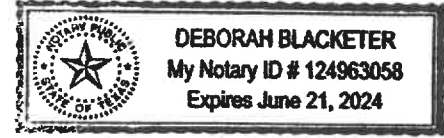
STATE OF TEXAS
COUNTY OF

Rockwall

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this 21 day of March, 2023.

Signature of Deborah Blacketer, Notary Public in and for the State of Texas, My Commission Expires: 6/21/2024



STATE OF TEXAS
COUNTY OF

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this ___ day of ___, 2023.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

PRELIMINARY - FOR REVIEW ONLY
NOT TO BE RECORDED FOR ANY PURPOSE
RELEASED 03/13/2023
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963

STATE OF TEXAS
COUNTY OF

BEFORE ME, the undersigned authority, on this date personally appeared Robert C. Myers, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission, Chairman Date

APPROVED

I hereby certify that the above and foregoing replat of RAINBO ACRES, LOT 24, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of ___, 20__.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of ___, 20__.

Mayor, City of Rockwall City Secretary City Engineer

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
LOT 2-4, BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
20210000026842 O.P.R.R.C.T.
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3 LOTS AND CONTAINING

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3509 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2023-005

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DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

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²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	FM 740			
SUBDIVISION	SKY RIDGE ADDITION LOTS 2-7	LOT	3&4	BLOCK A
GENERAL LOCATION	NORTH SIDE OF FM 740			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL	CURRENT USE	COMMERCIAL/FAST FOOD	
PROPOSED ZONING	SAME	PROPOSED USE	SAME	
ACREAGE	PART OF 2.293 AC.	LOTS [CURRENT]	3	LOTS [PROPOSED] 3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

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<input checked="" type="checkbox"/> OWNER	7.1 RIDGE, LLC	<input checked="" type="checkbox"/> APPLICANT	SAME AS OWNER	
CONTACT PERSON	Josh Swiercinsky	CONTACT PERSON		
ADDRESS	106 E. RUSK STREET, STE 200	ADDRESS		
CITY, STATE & ZIP	ROCKWALL, TX 75032	CITY, STATE & ZIP		
PHONE	972-771-7577	PHONE		
E-MAIL	joshua@skyrei.com	E-MAIL		

NOTARY VERIFICATION [REQUIRED]

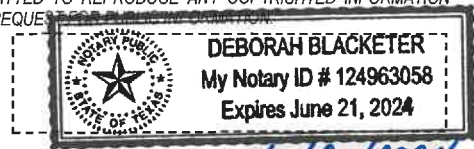
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Swiercinsky [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 345.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF March, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION SUBMITTED TO A REQUESTOR."

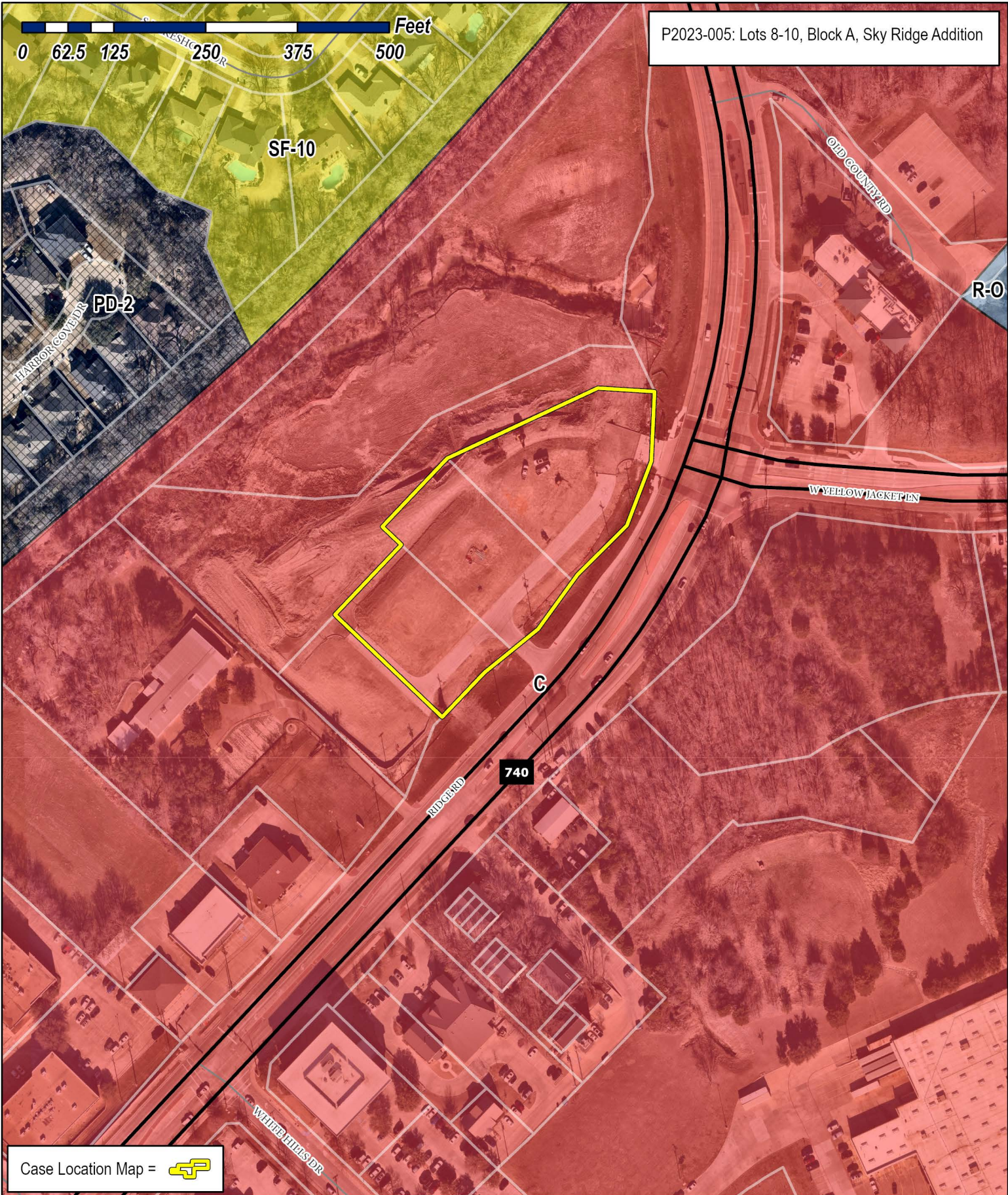
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF March, 2023.

OWNER'S SIGNATURE Michael Swiercinsky

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Deborah Blacketer



MY COMMISSION EXPIRES 6/21/2024



P2023-005: Lots 8-10, Block A, Sky Ridge Addition

Case Location Map = 

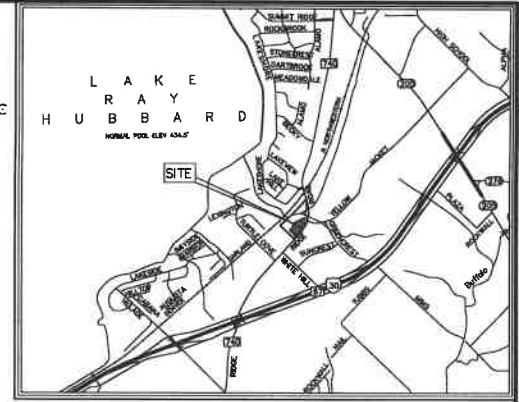


City of Rockwall

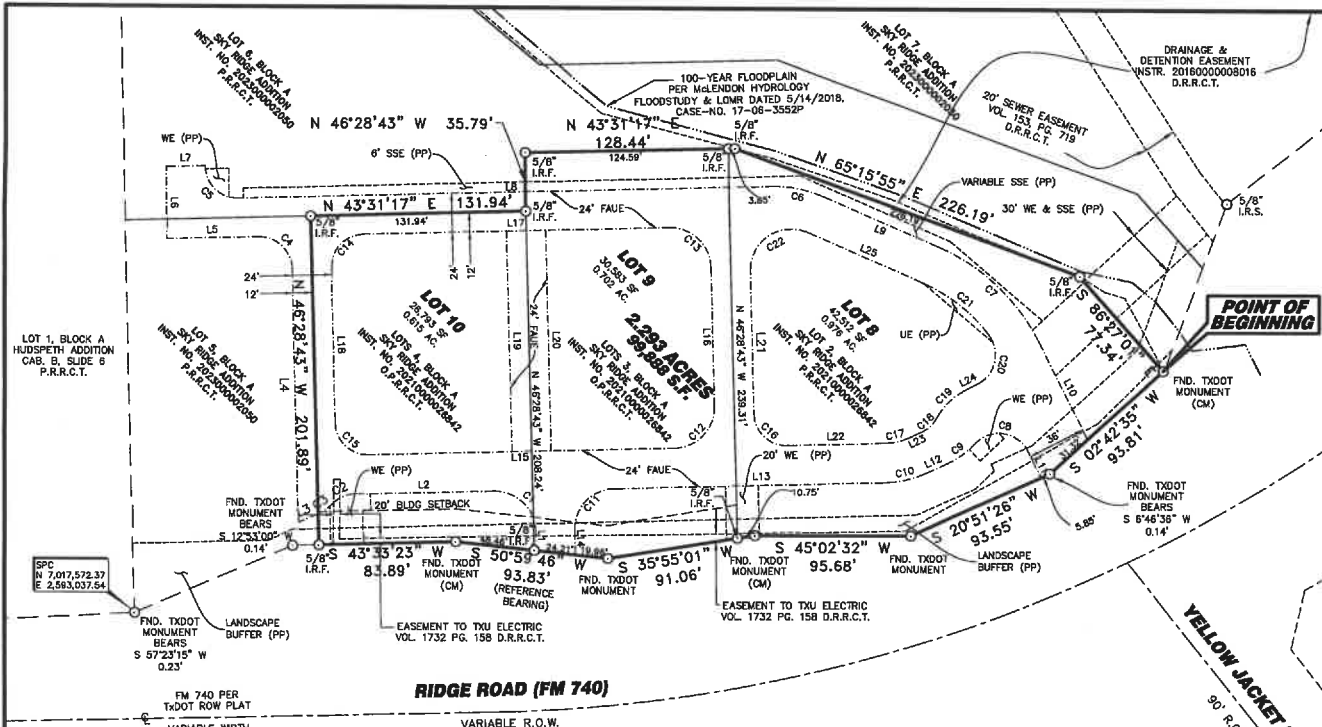
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LEGEND

5/8" I.R.S. 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3983"

I.R.F. IRON ROD FOUND

FAUE FIRE LANE, ACCESS & UTILITY EASEMENT

SSE SANITARY SEWER EASEMENT

WE WATER LINE EASEMENT

CM CONTROL MONUMENT

SPC STATE PLANE COORDINATES

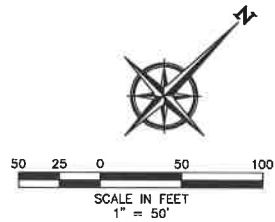
WS WATER SURFACE ELEVATION

UE UTILITY EASEMENT

P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS

D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00	39.27	35.36	N 88°31'17" E	90°00'00"
C2	20.00	15.13	14.77	N 21°51'18" E	43°19'57"
C3	34.00	12.83	12.59	N 10°49'50" E	21°17'02"
C4	20.00	31.42	28.39	N 88°31'10" E	90°00'14"
C5	20.00	31.45	28.31	S 88°34'23" W	90°08'40"
C6	74.00	32.31	32.06	N 58°01'38" E	25°01'10"
C7	124.00	86.03	84.92	N 88°24'49" E	38°45'12"
C8	20.00	38.30	32.71	N 53°29'04" E	108°42'40"
C9	58.00	21.83	21.70	N 08°24'43" E	21°33'57"
C10	64.00	26.06	25.95	N 31°51'29" E	23°19'36"
C11	25.00	39.27	35.36	N 01°28'43" W	90°00'00"
C12	25.00	39.27	35.36	S 01°28'43" E	90°00'00"
C13	25.00	39.27	35.36	N 88°31'10" E	90°00'14"
C14	20.00	31.38	28.28	N 01°26'32" W	89°55'11"
C15	20.00	31.44	28.30	S 88°34'25" W	90°04'35"
C16	20.00	31.42	28.28	N 88°31'22" E	90°00'10"
C17	40.00	18.28	18.17	S 31°51'29" W	23°19'36"
C18	20.00	12.81	12.69	N 01°41'58" E	36°58'33"
C19	41.75	25.57	25.17	S 00°44'42" W	35°05'17"
C20	20.00	34.81	33.66	S 31°44'48" E	100°04'22"
C21	100.00	51.80	51.23	N 83°22'38" E	29°40'50"
C22	25.00	50.19	42.17	N 11°01'45" E	115°00'56"

LINE	BEARING	DISTANCE
L1	S 46°28'43" E	12.00
L2	N 43°31'17" E	68.12
L3	N 21°28'21" E	11.56
L4	S 46°28'43" E	156.97
L5	N 43°31'03" E	55.81
L6	N 46°22'12" W	44.02
L7	S 43°27'59" W	23.86
L8	S 43°31'17" W	325.98
L9	S 48°28'43" E	78.20
L10	S 71°42'35" E	67.01
L11	S 71°39'36" E	18.26
L12	N 20°11'42" E	13.50
L13	N 43°31'17" E	185.93
L14	N 46°28'43" W	15.15
L15	S 43°31'17" W	187.54
L16	S 48°28'43" E	85.41
L17	N 43°31'03" E	187.41
L18	N 46°24'08" W	95.40
L19	S 48°28'43" E	135.41
L20	S 46°28'43" E	135.43
L21	S 46°28'43" E	88.07
L22	S 43°31'17" W	59.54
L23	S 20°11'42" W	7.73
L24	S 18°17'25" W	7.73
L25	N 88°32'13" E	77.59

- GENERAL NOTES:**
- Basis of bearing being S 50°59'48" W for a south line of deed recorded in Instr. 20160000018015, D.R.R.C.T.
 - Surveyor has made no investigation or independent search for assessments of record, restrictive covenants, ownership, title evidence or any other facts that an abstract of title would disclose.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - Property owners shall be responsible for all maintenance, repair, and reconstruction of all systems within drainages and detention easements on site.
 - (PP) Indicates building lines, easements, right-of-ways, dimensions, etc. are per a previous plat recorded as Instrument Number 2021000028842.

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3508 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
2021000028842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS 7.1 RIDGE, LLC and BEAUTY LEGACY, LLC BEING THE OWNERS of a 2.293 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being all of Lots 2, 3, and 4, Block A, of Sky Ridge Addition, an addition to the city of Rockwall, Rockwall County Texas, recorded in instrument 20210000026842, Official Public Records, Rockwall County, Texas, and this tract being more particularly described by metes and bounds as follows:

BEGINNING at a TXDOT Monument with an Aluminum Disk found for corner at the southeast corner of Lot 7 of said Sky Ridge Addition, common to the most eastern corner of said Lot 2, said point being in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way;

THENCE Southwesterly, along the northwest right-of-way line of said FM 740 and the southeast lines of said Lots 2, 3, and 4, the following courses:

- 5 02 degrees 42 minutes 35 seconds W, a distance of 93.81 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears S 06 degrees 46 minutes 36 seconds W, a distance of 0.14 feet;
5 20 degrees 51 minutes 26 seconds W, a distance of 93.55 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 45 degrees 02 minutes 32 seconds W, a distance of 95.68 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 35 degrees 55 minutes 01 seconds W, at 10.75 feet, passing the common corner of said Lots 2 and 3, and continuing for a total distance of 91.06 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 50 degrees 59 minutes 46 seconds W, at 45.37 feet passing the common corner of said Lots 3 and 4, and continuing for a total distance of 93.83 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 43 degrees 33 minutes 23 seconds W, a distance of 83.89 feet to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most southern corner of said Lot 4, common the most eastern corner of said Lot 5;

THENCE N 46 degrees 28 minutes 43 seconds W, along the common line of Lots 4 and 5 of said Sky Ridge Addition, a distance of 201.89 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the common northerly corner thereof and also being in a southeast line of Lot 6;

Thence along the southeasterly lines of said Lot 6 and Lot 7 of said Addition, and the northwesterly lines of said Lots 4, 3, and 2, respectively, the following courses:

- N 43 degrees 31 minutes 17 seconds E, a distance of 131.94 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most northern corner of said Lot 4;
N 46 degrees 28 minutes 43 seconds W, a distance of 35.79 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most western corner of said Lot 3;
N 43 degrees 31 minutes 17 seconds E, at 124.59, feet passing the common northerly corner of said Lots 3 and 2, respectively, and continuing for a total distance of 128.44 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
N 65 degrees 15 minutes 55 seconds E, a distance of 226.19 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
S 86 degrees 27 minutes 01 seconds E, a distance of 77.34 feet, to the POINT OF BEGINNING and containing 99,888 square feet or 2.293 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this replat, and designated herein as the SKY RIDGE ADDITION, LOTS 2-4, an Addition to the City of Rockwall, Texas, and whose names are subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in SKY RIDGE ADDITION, LOTS 2-4, subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owners, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposits may be used by the owners and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owners files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

FOR: 7.1 RIDGE, LLC

FOR: BEAUTY LEGACY, LLC

BY:

BY:

Name:

Name:

Title:

Title:

Signature of Michael Swierczynski, President

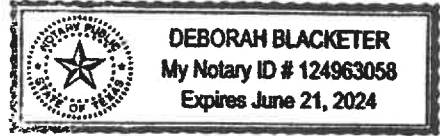
STATE OF TEXAS
COUNTY OF

Rockwall

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this 21 day of March, 2023.

Signature of Deborah Blacketer, Notary Public in and for the State of Texas, My Commission Expires: 6/21/2024



STATE OF TEXAS
COUNTY OF

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this ___ day of ___, 2023.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

PRELIMINARY - FOR REVIEW ONLY
NOT TO BE RECORDED FOR ANY PURPOSE
RELEASED 03/13/2023
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963

STATE OF TEXAS
COUNTY OF

BEFORE ME, the undersigned authority, on this date personally appeared Robert C. Myers, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission, Chairman Date

APPROVED

I hereby certify that the above and foregoing replat of RAINBO ACRES, LOT 24, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of ___, 20__.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of ___, 20__.

Mayor, City of Rockwall City Secretary City Engineer

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
LOT 2-4, BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
20210000026842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3509 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 28, 2023
APPLICANT: Josh Swiercinsky, 7.1 Ridge, LLC
CASE NUMBER: P2023-005; *Replat for Lots 8-10, Block A, Sky Ridge Addition*

SUMMARY

Consider a request by Josh Swiercinsky of 7.1 Ridge, LLC for the approval of a Replat for Lots 8-10, Block A, Sky Ridge Addition being a 2.293-acre tract of land identified as Lots 2-4, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the southwest corner of the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Replat a 2.293-acre tract of land (*i.e. Lots 2-4, Block A, Sky Ridge Addition*) into three (3) lots (*i.e. Lots 8-10, Block A, Sky Ridge Addition*) for the purpose of establishing access, fire lane, and utility easements for future infrastructure improvements. The subject property is located directly west of the intersection of Ridge Road and W. Yellowjacket Lane, and is zoned Commercial (C) District.
- The subject property was annexed into the City of Rockwall by *Ordinance No. 60-02* and *Ordinance No. 60-04*. The subject property was zoned Commercial (C) District according to the January 3, 1972 zoning map. On January 20, 2015, the City Council approved a tree mitigation plan (*Case No. 2014-018*) to allow for future development of the subject property. On August 7, 2017, the City Council approved a final plat (*Case No. P2017-037*) to establish the subject property as Lot 1, Block A, Sky Ridge Addition. On January 26, 2021, the Planning and Zoning Commission approved a variance to the minimum 20-foot landscape buffer requirement (*Case No. MIS2021-001*) stipulated by Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to allow a variable width landscape buffer ranging between five (5) feet and 22-feet along the front of the subject property adjacent to Ridge Road. On August 2, 2021, the City Council approved a replat (*i.e. Case No. P2021-038*) to establish the subject property as Lots 2-4, Block A, Sky Ridge Addition. On June 14, 2022, the Planning and Zoning Commission approved two (2) site plans (*i.e. Case No. SP2022-025 & SP2022-026*) to allow the construction of two (2) *Restaurants with 2,000 SF or more with Drive-Through or Drive-In* on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for *Lots 8-10, Block A, Sky Ridge Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/24/2023

PROJECT NUMBER: P2023-005
PROJECT NAME: Lots 8-10, Block A, Sky Ridge Addition
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Consider a request by Josh Swiercinsky of 7.1 Ridge, LLC for the approval of a Replat for Lots 8-10, Block A, Sky Ridge Addition being a 2.293-acre tract of land identified as Lots 2-4, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the southwest corner of the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/24/2023	Approved w/ Comments

03/24/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 Consider a request by Josh Swiercinsky of 7.1 Ridge, LLC for the approval of a Replat for Lots 8-10, Block A, Sky Ridge Addition being a 2.293-acre tract of land identified as Lots 2-4, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the southwest corner of the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-005) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Please provide two (2) corners that are tied to the State Plane Coordinates. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.6 Please provide the centerline for Ridge Road. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.7 The surveyor does not need a notary; their seal is all that is needed. Also, remove the preliminary language from the surveyor's signature block. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

M.8 The City signature block has the wrong subdivision name. (Subsection 10, of Chapter 38, City of Rockwall Municipal Code of Ordinances)

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval. The Planning and Zoning Commission Meeting for this case will be held on March 28, 2023.

1.10 Although this agenda item may be on the consent agenda, staff recommends that a representative be present for all meetings.

1.11 The projected City Council Meeting date for this case will be April 3, 2023.

1.12 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/21/2023	Needs Review

03/21/2023: - Label easement type. FAUE?

- Need 20' radius on all fire lanes.
- What is this area?
- Drainage easement needed for both culverts and bar ditch along Ridge Road.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/24/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2023	Approved

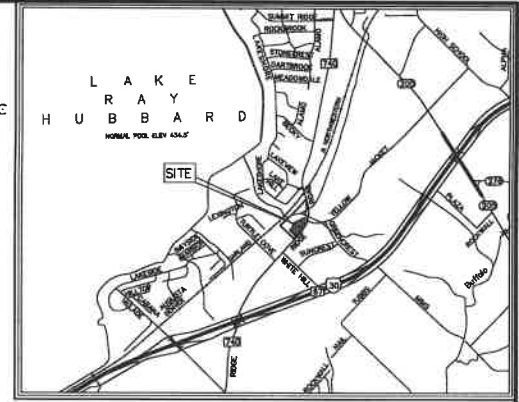
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2023	Approved

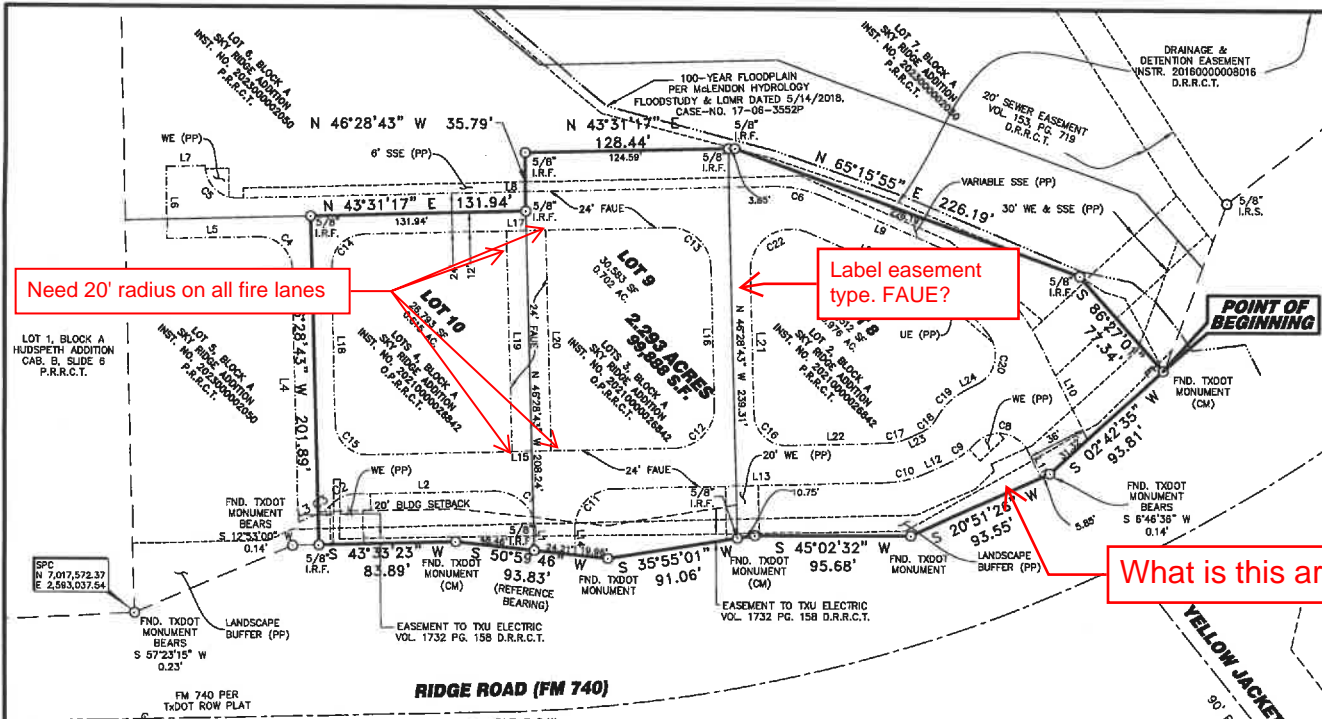
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/20/2023	Approved

No Comments



VICINITY MAP
N.T.S.



LEGEND

5/8" I.R.S. 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3983"

I.R.F. IRON ROD FOUND

FAUE FIRE LANE, ACCESS & UTILITY EASEMENT

SSE SANITARY SEWER EASEMENT

WE WATER LINE EASEMENT

CM CONTROL MONUMENT

SPC STATE PLANE COORDINATES

WS WATER SURFACE ELEVATION

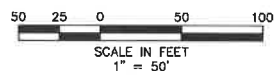
UE UTILITY EASEMENT

P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS

D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
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C4	20.00	31.42	28.30	N 88°31'10" E	90°00'14"
C5	20.00	31.45	28.31	S 88°34'23" W	90°08'40"
C6	74.00	32.31	32.06	N 58°01'38" E	25°01'10"
C7	124.00	86.03	84.92	N 88°24'49" E	38°45'12"
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C18	20.00	12.81	12.69	N 01°41'58" E	36°58'33"
C19	41.75	25.57	25.17	S 00°44'42" W	35°05'17"
C20	20.00	34.81	33.66	S 31°44'48" E	100°04'22"
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C22	25.00	50.19	42.17	N 11°01'45" E	115°00'56"



LINE	BEARING	DISTANCE
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L2	N 43°31'17" E	68.12
L3	N 21°28'21" E	11.56
L4	S 46°28'43" E	156.97
L5	N 43°31'03" E	55.61
L6	N 46°22'12" W	44.02
L7	S 32°27'59" W	23.86
L8	S 43°31'17" W	325.98
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L24	S 18°17'25" W	7.73
L25	N 88°32'13" E	77.59

- GENERAL NOTES:**
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 2. Surveyor has made no investigation or independent search for easements of record, restrictive covenants, ownership, title evidence or any other facts that an abstract of title would disclose.
 3. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any recording within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 4. Property owners shall be responsible for all maintenance, repair, and reconstruction of all systems within drainages and detention easements on site.
 5. (PP) Indicates building lines, easements, right-of-ways, dimensions, etc. are per a previous plat recorded as Instrument Number 2021000028842.

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3508 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
2021000028842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING
2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE
E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2023-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	FM 740			
SUBDIVISION	SKY RIDGE ADDITION LOTS 2-7	LOT	3&4	BLOCK A
GENERAL LOCATION	NORTH SIDE OF FM 740			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL	CURRENT USE	COMMERCIAL/FAST FOOD	
PROPOSED ZONING	SAME	PROPOSED USE	SAME	
ACREAGE	PART OF 2.293 AC.	LOTS [CURRENT]	3	LOTS [PROPOSED] 3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	7.1 RIDGE, LLC	<input checked="" type="checkbox"/> APPLICANT	SAME AS OWNER
CONTACT PERSON	Josh Swiercinsky	CONTACT PERSON	
ADDRESS	106 E. RUSK STREET, STE 200	ADDRESS	
CITY, STATE & ZIP	ROCKWALL, TX 75032	CITY, STATE & ZIP	
PHONE	972-771-7577	PHONE	
E-MAIL	joshua@skyrei.com	E-MAIL	

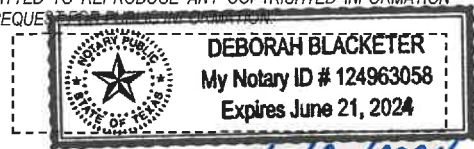
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Swiercinsky [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

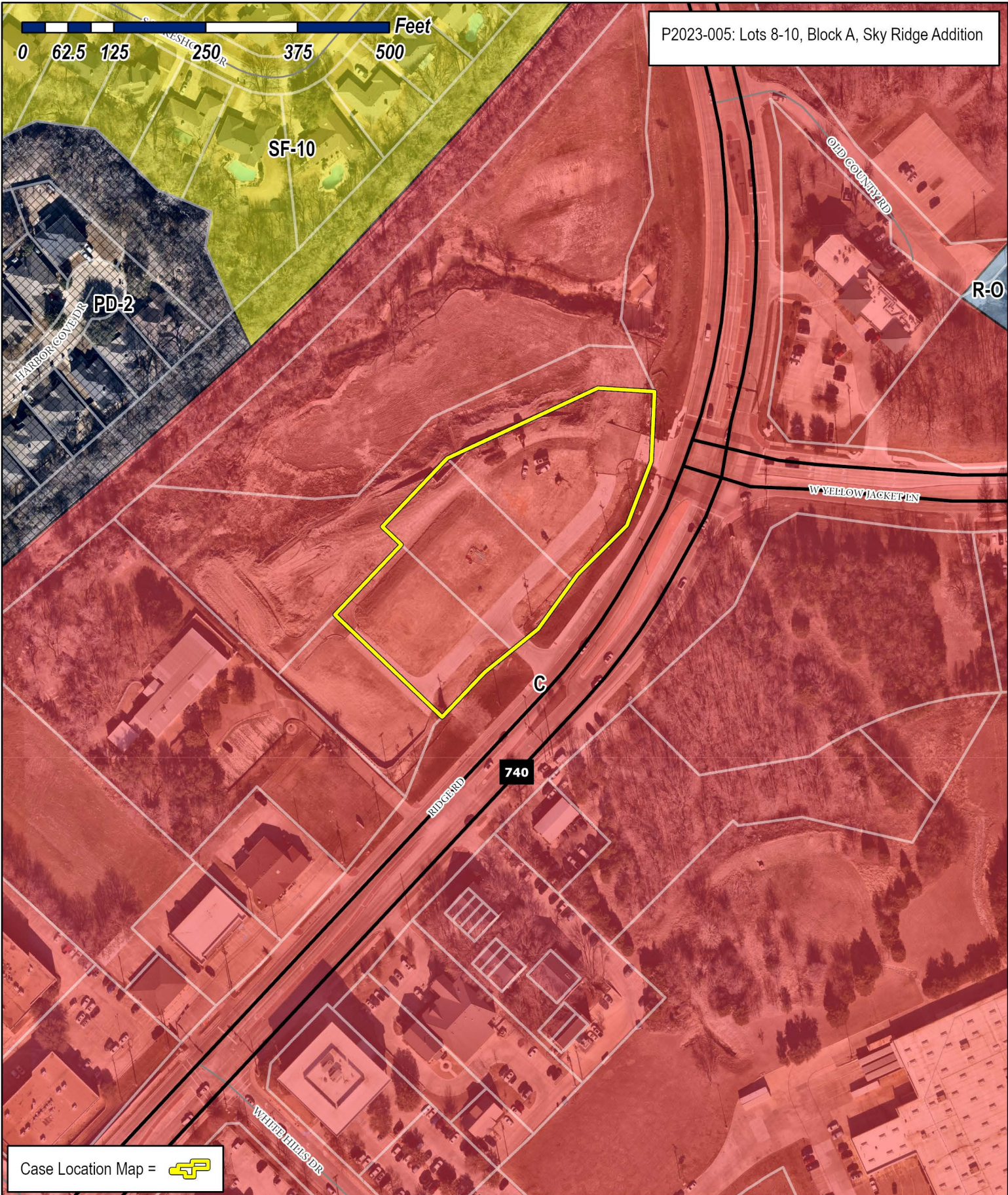
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 345.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF March, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC RECORDS INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF March, 2023
OWNER'S SIGNATURE Michael Swiercinsky

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Deborah Blacketer



MY COMMISSION EXPIRES 6/21/2024



P2023-005: Lots 8-10, Block A, Sky Ridge Addition

Case Location Map = 

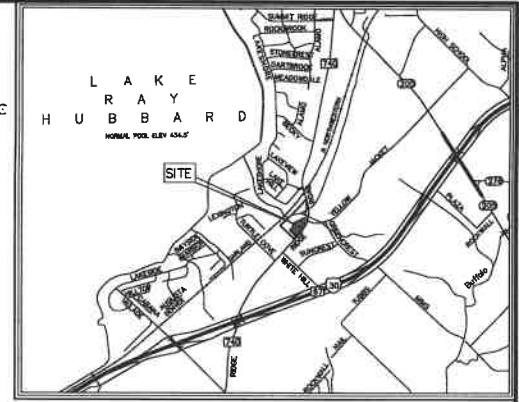


City of Rockwall

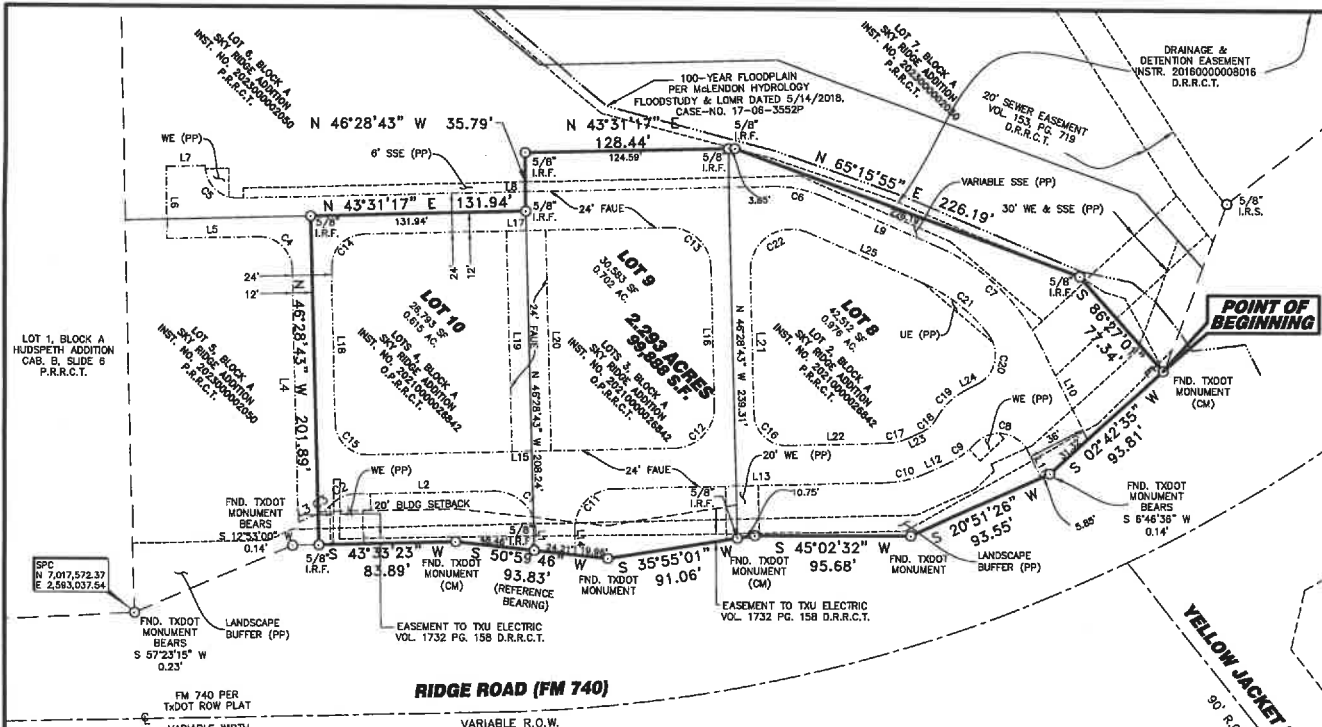
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



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I.R.F. IRON ROD FOUND

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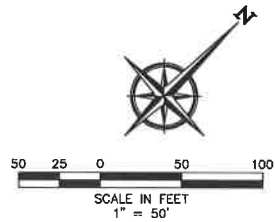
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FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
2021000028842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS 7.1 RIDGE, LLC and BEAUTY LEGACY, LLC BEING THE OWNERS of a 2.293 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being all of Lots 2, 3, and 4, Block A, of Sky Ridge Addition, an addition to the city of Rockwall, Rockwall County Texas, recorded in instrument 20210000026842, Official Public Records, Rockwall County, Texas, and this tract being more particularly described by metes and bounds as follows:

BEGINNING at a TXDOT Monument with an Aluminum Disk found for corner at the southeast corner of Lot 7 of said Sky Ridge Addition, common to the most eastern corner of said Lot 2, said point being in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way;

THENCE Southwesterly, along the northwest right-of-way line of said FM 740 and the southeast lines of said Lots 2, 3, and 4, the following courses:

- 5 02 degrees 42 minutes 35 seconds W, a distance of 93.81 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears S 06 degrees 46 minutes 36 seconds W, a distance of 0.14 feet;
5 20 degrees 51 minutes 26 seconds W, a distance of 93.55 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 45 degrees 02 minutes 32 seconds W, a distance of 95.68 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 35 degrees 55 minutes 01 seconds W, at 10.75 feet, passing the common corner of said Lots 2 and 3, and continuing for a total distance of 91.06 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 50 degrees 59 minutes 46 seconds W, at 45.37 feet passing the common corner of said Lots 3 and 4, and continuing for a total distance of 93.83 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 43 degrees 33 minutes 23 seconds W, a distance of 83.89 feet to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most southern corner of said Lot 4, common the most eastern corner of said Lot 5;

THENCE N 46 degrees 28 minutes 43 seconds W, along the common line of Lots 4 and 5 of said Sky Ridge Addition, a distance of 201.89 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the common northerly corner thereof and also being in a southeast line of Lot 6;

Thence along the southeasterly lines of said Lot 6 and Lot 7 of said Addition, and the northwesterly lines of said Lots 4, 3, and 2, respectively, the following courses:

- N 43 degrees 31 minutes 17 seconds E, a distance of 131.94 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most northern corner of said Lot 4;
N 46 degrees 28 minutes 43 seconds W, a distance of 35.79 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most western corner of said Lot 3;
N 43 degrees 31 minutes 17 seconds E, at 124.59, feet passing the common northerly corner of said Lots 3 and 2, respectively, and continuing for a total distance of 128.44 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
N 65 degrees 15 minutes 55 seconds E, a distance of 226.19 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
S 86 degrees 27 minutes 01 seconds E, a distance of 77.34 feet, to the POINT OF BEGINNING and containing 99,888 square feet or 2.293 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this replat, and designated herein as the SKY RIDGE ADDITION, LOTS 2-4, an Addition to the City of Rockwall, Texas, and whose names are subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in SKY RIDGE ADDITION, LOTS 2-4, subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owners, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposits may be used by the owners and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owners files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

FOR: 7.1 RIDGE, LLC

FOR: BEAUTY LEGACY, LLC

BY:

BY:

Name:

Name:

Title:

Title:

Signature of Michael Swierczynski, President

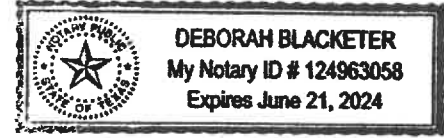
STATE OF TEXAS
COUNTY OF

Rockwall

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this 21 day of March, 2023.

Signature of Deborah Blacketer, Notary Public in and for the State of Texas, My Commission Expires: 6/21/2024



STATE OF TEXAS
COUNTY OF

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this ___ day of ___, 2023.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

PRELIMINARY - FOR REVIEW ONLY
NOT TO BE RECORDED FOR ANY PURPOSE
RELEASED 03/13/2023
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963

STATE OF TEXAS
COUNTY OF

BEFORE ME, the undersigned authority, on this date personally appeared Robert C. Myers, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

RECOMMENDED FOR FINAL APPROVAL
Planning and Zoning Commission, Chairman Date
APPROVED
I hereby certify that the above and foregoing replat of RAINBO ACRES, LOT 24, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of ___, 20__.

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3509 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
LOT 2-4, BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
20210000026842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: April 11, 2023
APPLICANT: Josh Swiercinsky, 7.1 Ridge, LLC
CASE NUMBER: P2023-005; *Replat for Lots 8-10, Block A, Sky Ridge Addition*

SUMMARY

Consider a request by Josh Swiercinsky of 7.1 Ridge, LLC for the approval of a Replat for Lots 8-10, Block A, Sky Ridge Addition being a 2.293-acre tract of land identified as Lots 2-4, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, generally located at the southwest corner of the intersection of Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Replat a 2.293-acre tract of land (*i.e. Lots 2-4, Block A, Sky Ridge Addition*) into three (3) lots (*i.e. Lots 8-10, Block A, Sky Ridge Addition*) for the purpose of establishing access, fire lane, and utility easements for future infrastructure improvements. The subject property is located directly west of the intersection of Ridge Road and W. Yellowjacket Lane, and is zoned Commercial (C) District.
- The subject property was annexed into the City of Rockwall by *Ordinance No. 60-02* and *Ordinance No. 60-04*. The subject property was zoned Commercial (C) District according to the January 3, 1972 zoning map. On January 20, 2015, the City Council approved a tree mitigation plan (*Case No. 2014-018*) to allow for future development of the subject property. On August 7, 2017, the City Council approved a final plat (*Case No. P2017-037*) to establish the subject property as Lot 1, Block A, Sky Ridge Addition. On January 26, 2021, the Planning and Zoning Commission approved a variance to the minimum 20-foot landscape buffer requirement (*Case No. MIS2021-001*) stipulated by Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to allow a variable width landscape buffer ranging between five (5) feet and 22-feet along the front of the subject property adjacent to Ridge Road. On August 2, 2021, the City Council approved a replat (*i.e. Case No. P2021-038*) to establish the subject property as Lots 2-4, Block A, Sky Ridge Addition. On June 14, 2022, the Planning and Zoning Commission approved two (2) site plans (*i.e. Case No. SP2022-025 & SP2022-026*) to allow the construction of two (2) *Restaurants with 2,000 SF or more with Drive-Through or Drive-In* on the subject property.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Replat for *Lots 8-10, Block A, Sky Ridge Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On March 28, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Replat by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2023-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	FM 740				
SUBDIVISION	SKY RIDGE ADDITION LOTS 2-7	LOT	3&4	BLOCK	A
GENERAL LOCATION	NORTH SIDE OF FM 740				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL	CURRENT USE	COMMERCIAL/FAST FOOD		
PROPOSED ZONING	SAME	PROPOSED USE	SAME		
ACREAGE	PART OF 2.293 AC.	LOTS [CURRENT]	3	LOTS [PROPOSED]	3

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	7.1 RIDGE, LLC	<input checked="" type="checkbox"/> APPLICANT	SAME AS OWNER
CONTACT PERSON	Josh Swiercinsky	CONTACT PERSON	
ADDRESS	106 E. RUSK STREET, STE 200	ADDRESS	
CITY, STATE & ZIP	ROCKWALL, TX 75032	CITY, STATE & ZIP	
PHONE	972-771-7577	PHONE	
E-MAIL	joshua@skyrei.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

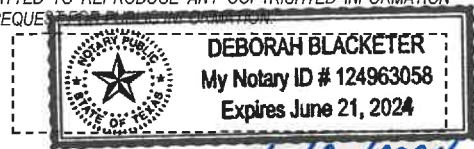
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Swiercinsky [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 345.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF March, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC RECORDS INFORMATION."

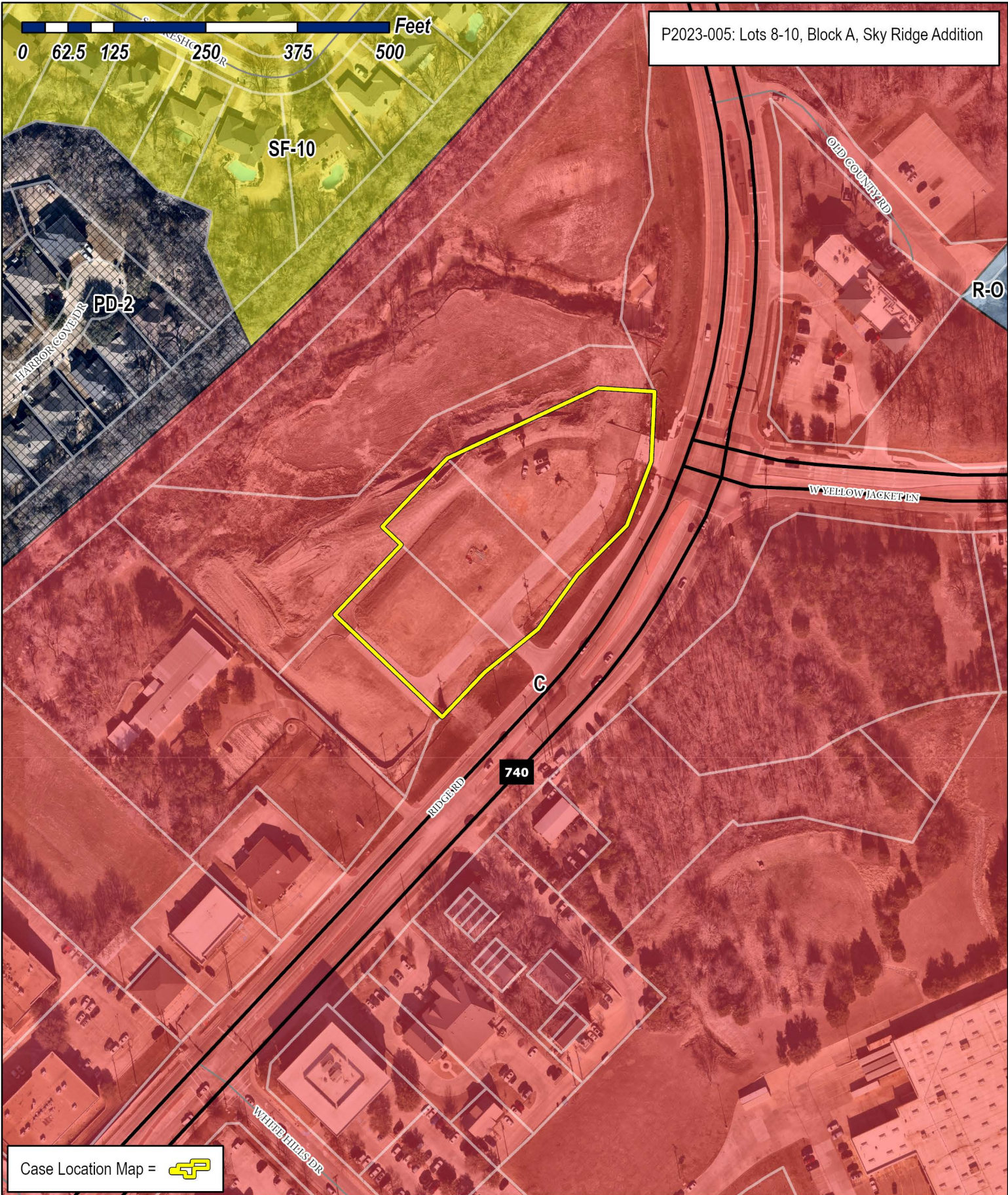
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF March, 2023.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 6/21/2024



P2023-005: Lots 8-10, Block A, Sky Ridge Addition

Case Location Map = 

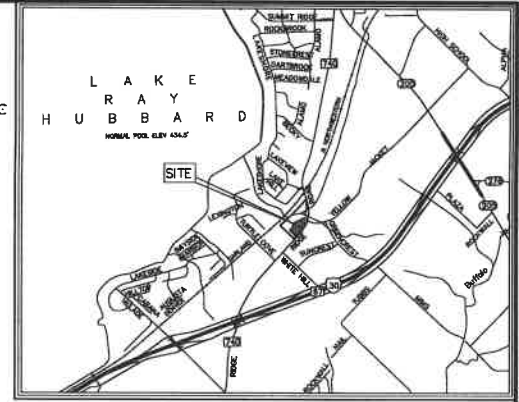


City of Rockwall

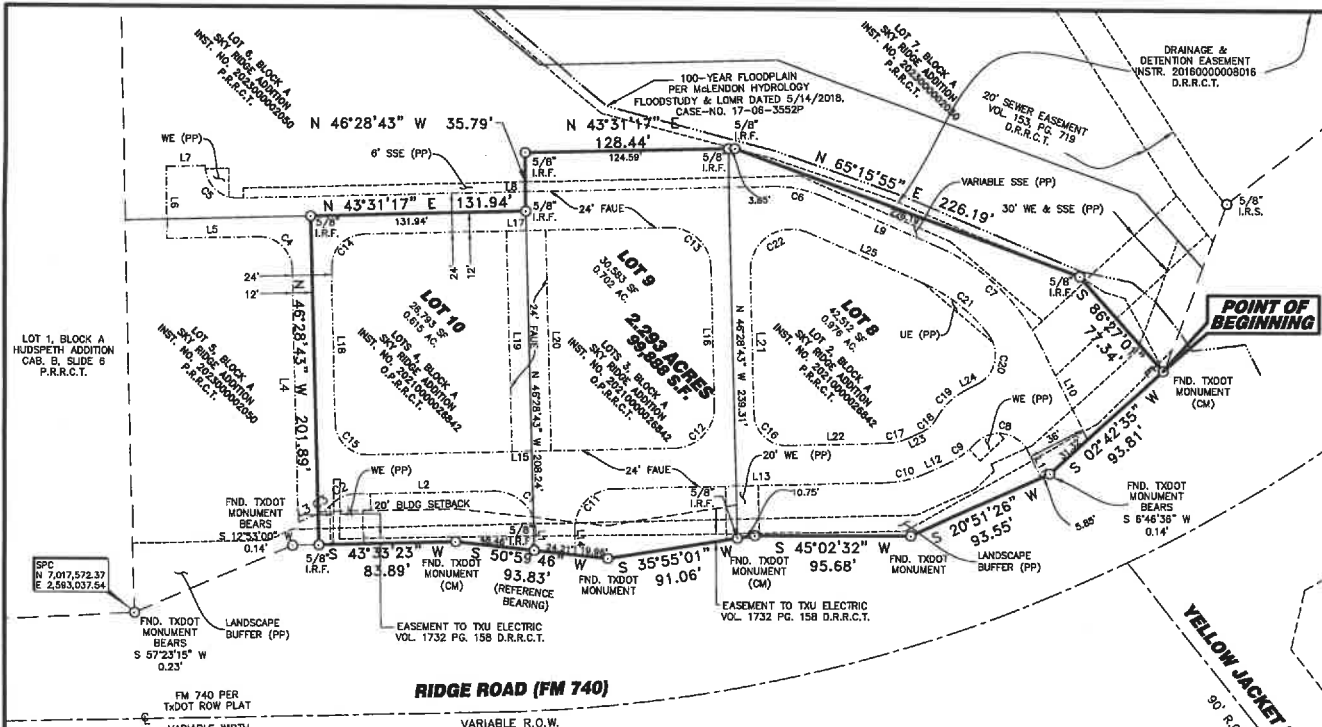
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LEGEND

5/8" I.R.S. 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3983"

I.R.F. IRON ROD FOUND

FAUE FIRE LANE, ACCESS & UTILITY EASEMENT

SSE SANITARY SEWER EASEMENT

WE WATER LINE EASEMENT

CM CONTROL MONUMENT

SPC STATE PLANE COORDINATES

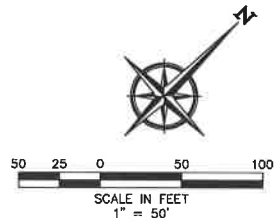
WS WATER SURFACE ELEVATION

UE UTILITY EASEMENT

P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS

D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00	39.27	35.36	N 88°31'17" E	90°00'00"
C2	20.00	15.13	14.77	N 21°51'18" E	43°19'57"
C3	34.00	12.83	12.59	N 10°49'50" E	21°17'02"
C4	20.00	31.42	28.39	N 88°31'10" E	90°00'14"
C5	20.00	31.45	28.31	S 88°34'23" W	90°08'40"
C6	74.00	32.31	32.06	N 58°01'38" E	25°01'10"
C7	124.00	86.03	84.92	N 88°24'49" E	38°45'12"
C8	20.00	38.30	32.71	N 53°29'04" E	108°42'40"
C9	58.00	21.83	21.70	N 08°24'43" E	21°33'57"
C10	64.00	26.06	25.95	N 31°51'29" E	23°19'36"
C11	25.00	39.27	35.36	N 01°28'43" W	90°00'00"
C12	25.00	39.27	35.36	S 01°28'43" E	90°00'00"
C13	25.00	39.27	35.36	N 88°31'10" E	90°00'14"
C14	20.00	31.42	28.28	N 01°26'32" W	89°55'11"
C15	20.00	31.44	28.30	S 88°34'25" W	90°04'35"
C16	20.00	31.42	28.28	N 88°31'22" E	90°00'10"
C17	40.00	18.28	18.17	S 31°51'29" W	23°19'36"
C18	20.00	12.81	12.69	N 01°41'58" E	36°58'33"
C19	41.75	25.57	25.17	S 00°44'42" W	35°05'17"
C20	20.00	34.81	33.66	S 31°44'48" E	100°04'22"
C21	100.00	51.80	51.23	N 83°22'38" E	29°40'50"
C22	25.00	50.19	42.17	N 11°01'45" E	115°00'56"

LINE	BEARING	DISTANCE
L1	S 46°28'43" E	12.00
L2	N 43°31'17" E	68.12
L3	N 21°28'21" E	11.56
L4	S 46°28'43" E	156.97
L5	N 43°31'03" E	55.81
L6	N 46°22'12" W	44.02
L7	S 43°27'59" W	23.86
L8	S 43°31'17" W	325.98
L9	S 48°28'43" E	78.20
L10	S 71°42'35" E	67.01
L11	S 71°39'36" E	18.26
L12	N 20°11'42" W	13.50
L13	N 43°31'17" E	185.93
L14	N 46°28'43" W	15.15
L15	S 43°31'17" W	187.54
L16	S 46°28'43" E	85.41
L17	N 43°31'03" E	187.41
L18	N 46°24'08" W	95.40
L19	S 46°28'43" E	135.41
L20	S 46°28'43" E	135.41
L21	S 46°28'43" E	88.07
L22	S 43°31'17" W	59.54
L23	S 20°11'42" W	7.73
L24	S 18°17'25" W	7.73
L25	N 88°32'13" E	77.59

- GENERAL NOTES:**
- Basis of bearing being S 50°59'48" W for a south line of deed recorded in Instr. 20160000018015, D.R.R.C.T.
 - Surveyor has made no investigation or independent search for assessments of record, restrictive covenants, ownership, title evidence or any other facts that an abstract of title would disclose.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - Property owners shall be responsible for all maintenance, repair, and reconstruction of all systems within drainages and detention easements on site.
 - (PP) Indicates building lines, easements, right-of-ways, dimensions, etc. are per a previous plat recorded as Instrument Number 2021000028842.

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3508 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
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(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
2021000028842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS 7.1 RIDGE, LLC and BEAUTY LEGACY, LLC BEING THE OWNERS of a 2.293 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being all of Lots 2, 3, and 4, Block A, of Sky Ridge Addition, an addition to the city of Rockwall, Rockwall County Texas, recorded in instrument 20210000026842, Official Public Records, Rockwall County, Texas, and this tract being more particularly described by metes and bounds as follows:

BEGINNING at a TXDOT Monument with an Aluminum Disk found for corner at the southeast corner of Lot 7 of said Sky Ridge Addition, common to the most eastern corner of said Lot 2, said point being in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way;

THENCE Southwesterly, along the northwest right-of-way line of said FM 740 and the southeast lines of said Lots 2, 3, and 4, the following courses:

- 5 02 degrees 42 minutes 35 seconds W, a distance of 93.81 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears S 06 degrees 46 minutes 36 seconds W, a distance of 0.14 feet;
5 20 degrees 51 minutes 26 seconds W, a distance of 93.55 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 45 degrees 02 minutes 32 seconds W, a distance of 95.68 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 35 degrees 55 minutes 01 seconds W, at 10.75 feet, passing the common corner of said Lots 2 and 3, and continuing for a total distance of 91.06 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 50 degrees 59 minutes 46 seconds W, at 45.37 feet passing the common corner of said Lots 3 and 4, and continuing for a total distance of 93.83 feet to a TXDOT Monument with an Aluminum Disk found for corner;
5 43 degrees 33 minutes 23 seconds W, a distance of 83.89 feet to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most southern corner of said Lot 4, common the most eastern corner of said Lot 5;

THENCE N 46 degrees 28 minutes 43 seconds W, along the common line of Lots 4 and 5 of said Sky Ridge Addition, a distance of 201.89 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the common northerly corner thereof and also being in a southeast line of Lot 6;

Thence along the southeasterly lines of said Lot 6 and Lot 7 of said Addition, and the northwesterly lines of said Lots 4, 3, and 2, respectively, the following courses:

- N 43 degrees 31 minutes 17 seconds E, a distance of 131.94 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most northern corner of said Lot 4;
N 46 degrees 28 minutes 43 seconds W, a distance of 35.79 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner at the most western corner of said Lot 3;
N 43 degrees 31 minutes 17 seconds E, at 124.59, feet passing the common northerly corner of said Lots 3 and 2, respectively, and continuing for a total distance of 128.44 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
N 65 degrees 15 minutes 55 seconds E, a distance of 226.19 feet, to a 5/8" Iron rod with a yellow cap stamped "RPLS 3963" found for corner;
S 86 degrees 27 minutes 01 seconds E, a distance of 77.34 feet, to the POINT OF BEGINNING and containing 99,888 square feet or 2.293 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this replat, and designated herein as the SKY RIDGE ADDITION, LOTS 2-4, an Addition to the City of Rockwall, Texas, and whose names are subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in SKY RIDGE ADDITION, LOTS 2-4, subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owners, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposits may be used by the owners and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owners files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

FOR: 7.1 RIDGE, LLC

FOR: BEAUTY LEGACY, LLC

BY:

BY:

Name:

Name:

Title:

Title:

Signature of Michael Swierinsky, President

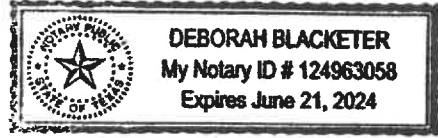
STATE OF TEXAS
COUNTY OF

Rockwall

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this 21 day of March, 2023.

Signature of Deborah Blacketer, Notary Public in and for the State of Texas, My Commission Expires: 6/21/2024



STATE OF TEXAS
COUNTY OF

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this ___ day of ___, 2023.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

PRELIMINARY - FOR REVIEW ONLY
NOT TO BE RECORDED FOR ANY PURPOSE
RELEASED 03/13/2023
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963

STATE OF TEXAS
COUNTY OF

BEFORE ME, the undersigned authority, on this date personally appeared Robert C. Myers, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein stated.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ___ DAY OF ___, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission, Chairman Date

APPROVED

I hereby certify that the above and foregoing replat of RAINBO ACRES, LOT 24, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of ___, 20__.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of ___, 20__.

Mayor, City of Rockwall City Secretary City Engineer

OWNER/DEVELOPER
BEAUTY LEGACY, LLC
3509 RIM FIRE DRIVE
GARLAND, TX 75044

OWNER/DEVELOPER
7.1 RIDGE, LLC
106 E. RUSK STREET, STE 200
ROCKWALL, TX 75087
(972) 771-7577

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 377

FINAL PLAT
SKY RIDGE ADDITION
LOTS 8-10, BLOCK A

BEING A REPLAT OF
LOT 2-4, BLOCK A, SKY RIDGE ADDITION
INSTRUMENT NUMBER
20210000026842 O.P.R.R.C.T.
BEING
3 LOTS AND CONTAINING

2.293 ACRES (99,888 S.F.)
AND SITUATED IN THE

E.P. GAINES CHISUM SURVEY, A-64
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Lee, Henry

From: Lee, Henry
Sent: Monday, March 27, 2023 8:22 AM
To: 'joshua@skyrei.com'
Subject: Project Comments P2023-005
Attachments: Engineering Mark-Ups (03.24.2023).pdf; Project Comments (03.24.2023).pdf

Good Morning,

Attached are the project comments for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: March 28, 2023
City Council (Plat): April 3, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: David Gregory <david@dcgengineering.com>
Sent: Tuesday, March 28, 2023 11:29 AM
To: Lee, Henry
Subject: FW: Project Comments P2023-005
Attachments: 377E RePlat Rev 3-28-23 (P2).pdf; 377E RePlat Rev 3-28-23 (P1).pdf; 377E RePlat Rev_3-28-23.dwg

Please find attached the updated replat. See below on the question about the drainage easement as culvert are in ROW or on edge.

David Gregory, P.E.

//DCG ENGINEERING

1668 Keller Parkway, Suite 100

Keller, TX 76248

(817) 874-2941

david@dcgengineering.com

www.dcgengineering.com

From: Robert Myers <rcmsurveying@gmail.com>
Sent: Tuesday, March 28, 2023 8:49 AM
To: David Gregory <david@dcgengineering.com>
Subject: Re: Project Comments P2023-005

Good morning David, Please see revised comments addressed. Please note the planner requested that we add an easement for the bar ditch/culverts but they are either in the ROW or within the Landscape Buffer easement as it now stands.

On Mon, Mar 27, 2023 at 12:29 PM David Gregory <david@dcgengineering.com> wrote:

See attached. City did not send to me

Sent from my iPhone

Begin forwarded message:

From: Jason Claunch <jason@catalystcommercial.net>
Date: March 27, 2023 at 12:25:43 PM CDT
To: "David Gregory (david@dcgengineering.com)" <david@dcgengineering.com>, Robert Myers <rcmsurveying@gmail.com>
Cc: Umar Ibrahim - IICORP <umar@iicorp.org>
Subject: Fwd: Fw: Project Comments P2023-005

David:

FYI - please see comments on the plat. looks like the P&Z meeting is tomorrow. When are the revisions due to make tomorrow's meeting?

Do you have approval/comments on the building permit?

Jason

----- Forwarded message -----

From: **Josh Swiercinsky** <joshua@skyrei.com>
Date: Mon, Mar 27, 2023 at 8:48 AM
Subject: Fw: Project Comments P2023-005
To: Jason Claunch <jason@catalystcommercial.net>

Good morning Jason,

Please refer to the email below and attachments I received from the City. It does not appear that anyone else is included in this email. Can you make sure David and his team have this?

Thanks,

Joshua Swiercinsky

106 E. Rusk, Suite 200
Rockwall, TX 75087

Joshua@SkyREI.com

Ph: 972-771-7577

Cell: 214-542-2373

Fax: 972-924-0107

From: Lee, Henry <HLee@rockwall.com>
Sent: Monday, March 27, 2023 8:21 AM
To: Josh Swiercinsky <joshua@skyrei.com>
Subject: Project Comments P2023-005

Good Morning,

Attached are the project comments for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: March 28, 2023

City Council (Plat): April 3, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,

--

Jason Claunch
President
(972) 275-6137
jason@catalystcommercial.net
www.catalystcommercial.net

--

Thank you,

Calvin Myers
RPLS No. 3963

R.C. Myers Surveying, LLC
488 Arroyo Court
Sunnyvale, Texas 75182
214.532.0636 Cell

rcmsurveying@gmail.com

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lee, Henry

From: Robert Myers <rcmsurveying@gmail.com>
Sent: Thursday, May 18, 2023 5:54 AM
To: Lee, Henry
Cc: David Gregory; Josh Swiercinsky; Umar Ibrahim; Justin J. Dertinger; Holly Powers; Jason Claunch
Subject: Re: Sky Ridge Plat P2023-005
Attachments: 377E RePlat Rev 5-18-23 (P1).pdf; 377E RePlat Rev 5-18-23 (P2).pdf

Good morning Henry, could you take a look at these prints and make sure we have everything you need, thanks.

On Wed, May 17, 2023 at 4:46 PM Jason Claunch <jason@catalystcommercial.net> wrote:

Calvin:

Got you message. If you want, please send Henry Lee a copy of the plat before you print makes sense. I would like to get these signed again tomorrow, but no later than Friday. I assume these comments are comprehensive. I have added him for a heads up.

Jason

On May 17, 2023, at 3:50 PM, David Gregory <david@dcgengineering.com> wrote:

Calvin

Can you please look at the comments. It appears to be very minor

Sent from my iPhone

On May 17, 2023, at 3:27 PM, Jason Claunch <jason@catalystcommercial.net> wrote:

<Development Comments (03.30.2023).docx>

David:

After meeting with the Buyers for lot 2 yesterday without the plat and then reprinting and getting signatures again today, it appears that the city comments were not addressed. We will need to get new sets printed per Henry Lee's comments (see attached). Can you have Myers reprint and do this again for delivery and signature tomorrow?

Did you address/satisfy the C02 information today as discussed?

Please acknowledge receipt.

On May 17, 2023, at 3:21 PM, Josh Swiercinsky <joshua@skyrei.com> wrote:

Joshua Swiercinsky
Sky Interests
214-542-2373

From: Lee, Henry <HLee@rockwall.com>
Sent: Wednesday, May 17, 2023 3:19 PM
To: Josh Swiercinsky <joshua@skyrei.com>
Subject: Sky Ridge Plat P2023-005

Good Afternoon,

After reviewing the mylars received it appears that the attached comments were not addressed. We will need a revised plat that addresses these comments. In addition, we will need the tax certificates and check for the filing fees. Let me know if you have any questions.

Thank you,

<image003.jpg>

<Development Comments (03.30.2023).docx>

--

Thank you,

Calvin Myers
RPLS No. 3963

R.C. Myers Surveying, LLC
488 Arroyo Court
Sunnyvale, Texas 75182
214.532.0636 Cell

rcmsurveying@gmail.com

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



May 23, 2023

TO: Josh Swiercinsky
7.1 Ridge, LLC
106 E. Rusk Street, Suite 200
Rockwall, TX 75032

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2023-005: *Replat for Lots 8-10, Block A, Sky Ridge Addition*

Josh Swiercinsky:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on April 3, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 28, 2023, the Planning and Zoning Commission approved a motion to recommend approval the Replat by a vote of 7-0.

City Council

On April 3, 2023, the City Council approved a motion to approve the Final Plat by a vote of 6-0, with Council Member Johannesen absent.

Prior to submitting the required materials for filing, please send or submit a physical or digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- *at a minimum* -- the following:

- (1) One (1) set(s) of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for the filing fees (See below) made out to the *Rockwall County Clerk's Office*.

FILING FEES:

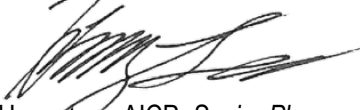
Mylars: \$50.00 per page for the 1st set only (*No charge for additional sets*).

Tax Certificates: \$30.00 for the 1st certificate and \$4.00 for each additional certificate.

Please note that the filling fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the *Rockwall County Clerk's Office*. In addition, if you are submitting mylars between September 1st and December 31st, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the property being platted, a statement/letter from the *Rockwall Central Appraisal District (RCAD)* and an additional \$4.00 filing fee will be required to be submitted to staff.

All plats must be submitted to the City with the required filing fees and tax certificates a minimum of 180-days from the approval date. Failure to adhere to this deadline, will result in the plat being expired in accordance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 772-6434.

Sincerely,



Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department