



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive			
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant	
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant	
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069
PHONE	214-561-6522	PHONE	972-562-4409
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

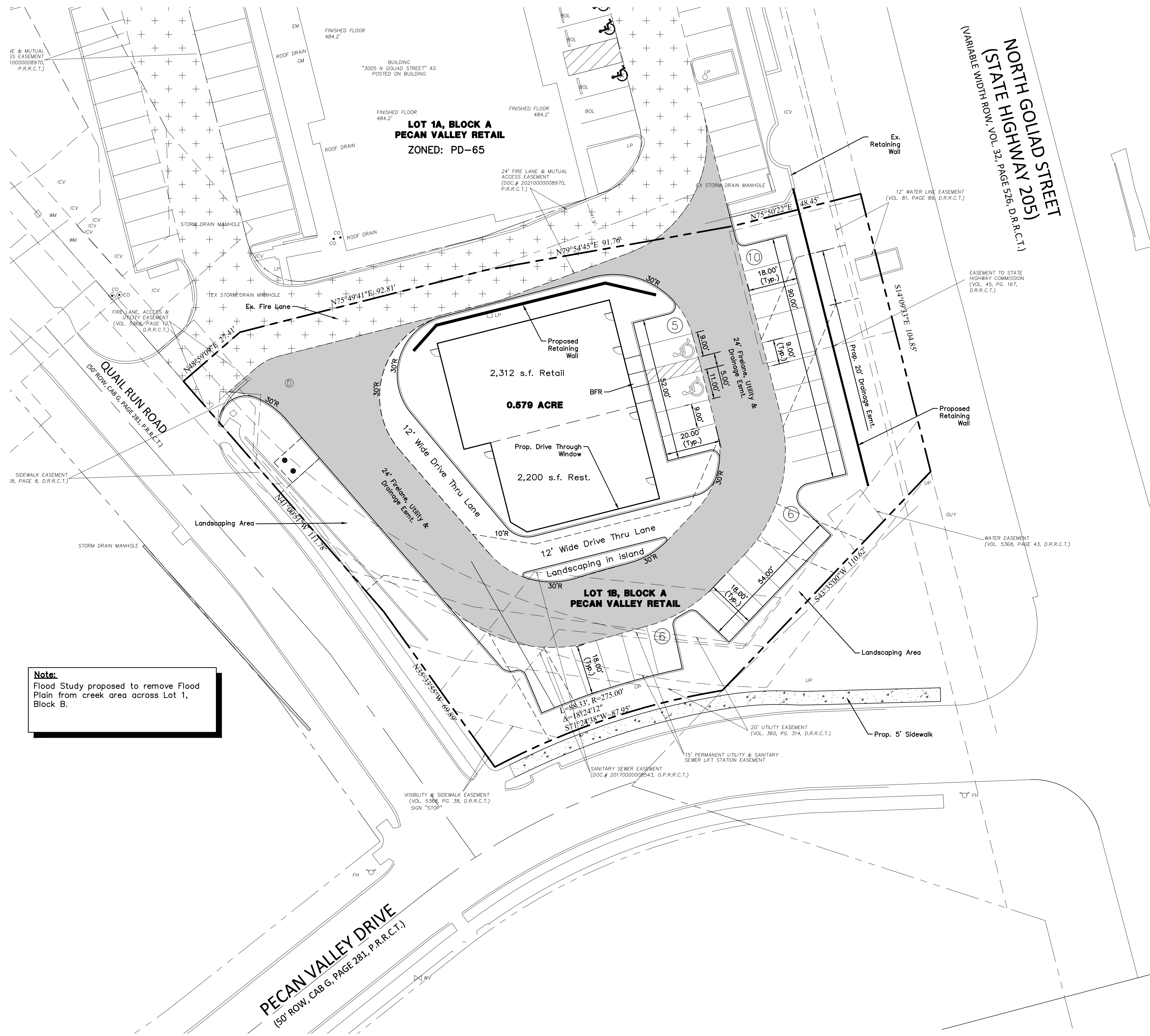
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

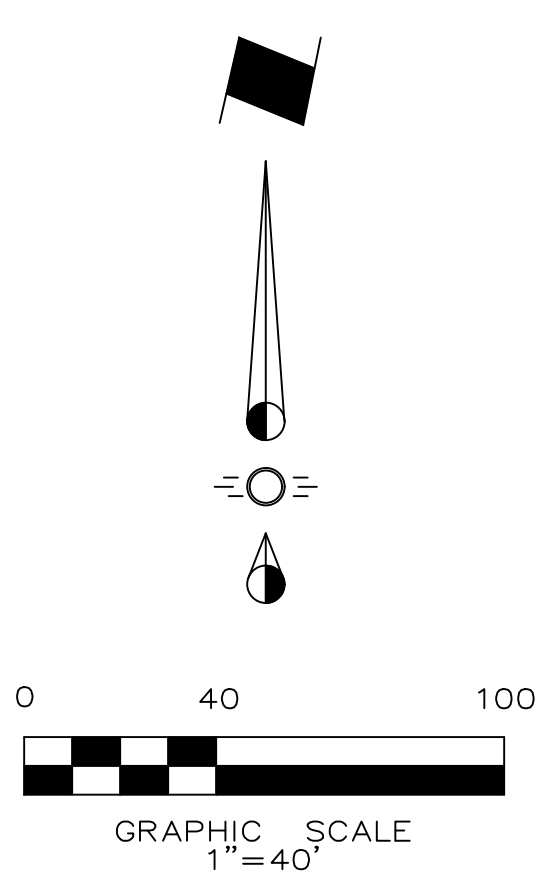
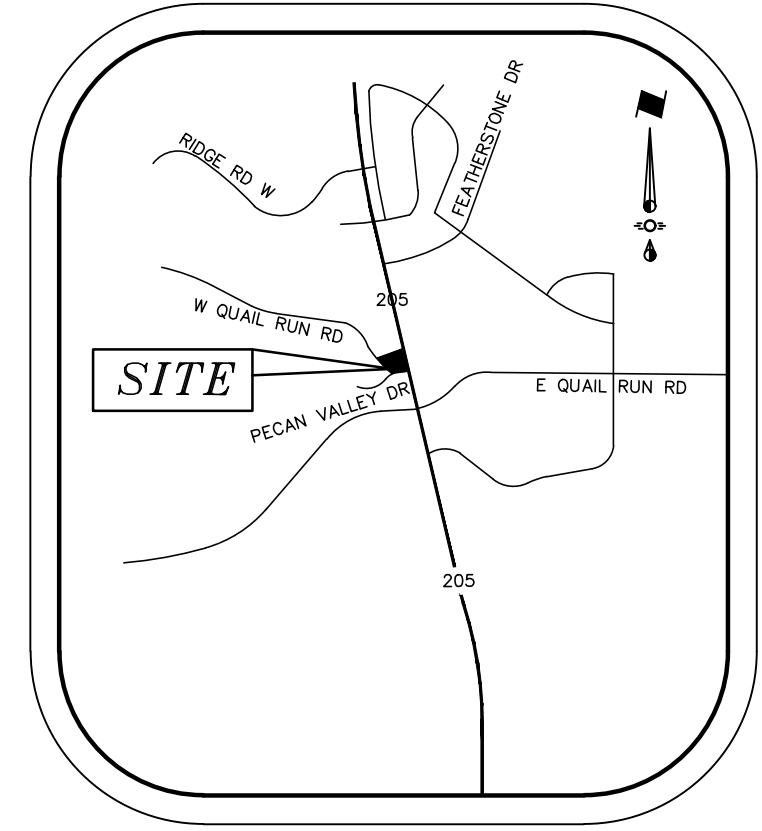
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]





Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



- LEGEND**
- Proposed Firelane
 - Proposed Sidewalk
 - Ex. Firelane
 - Proposed Retaining Wall
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - BFR

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs.

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

ENGINEER:
 Cross Engineering Consultants, Inc.
 1720 W. Virginia Street
 McKinney, Texas 75069
 Phone (972) 562-4409
 Fax (972) 562-4471
 Contact: Jon David Cross, P.E.

ARCHITECT:
 Matt King Architect
 4308 Cherry Lane
 Melissa, Tx 75454
 Phone (469) 742-0678
 Contact: Matt King

SURVEYOR:
 Barton Chapa Surveying
 5200 SH 121
 Colleyville, TX. 76034
 Phone (817) 864-1957
 Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
 THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS		
1720 W. Virginia Street		McKinney, Texas 75069
972.562.4409		Texas P.E. Firm No. F-5935
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=40'

SUP SITE PLAN
 SMOOTHIE KING ROCKWALL
 DA Goliad Partners, LP
 CITY OF ROCKWALL, TEXAS

Sheet No.
SUP
Project No.
20089

SMOOTHIE KING ROCKWALL

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSE TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES

(17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
106 INCHES

106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.

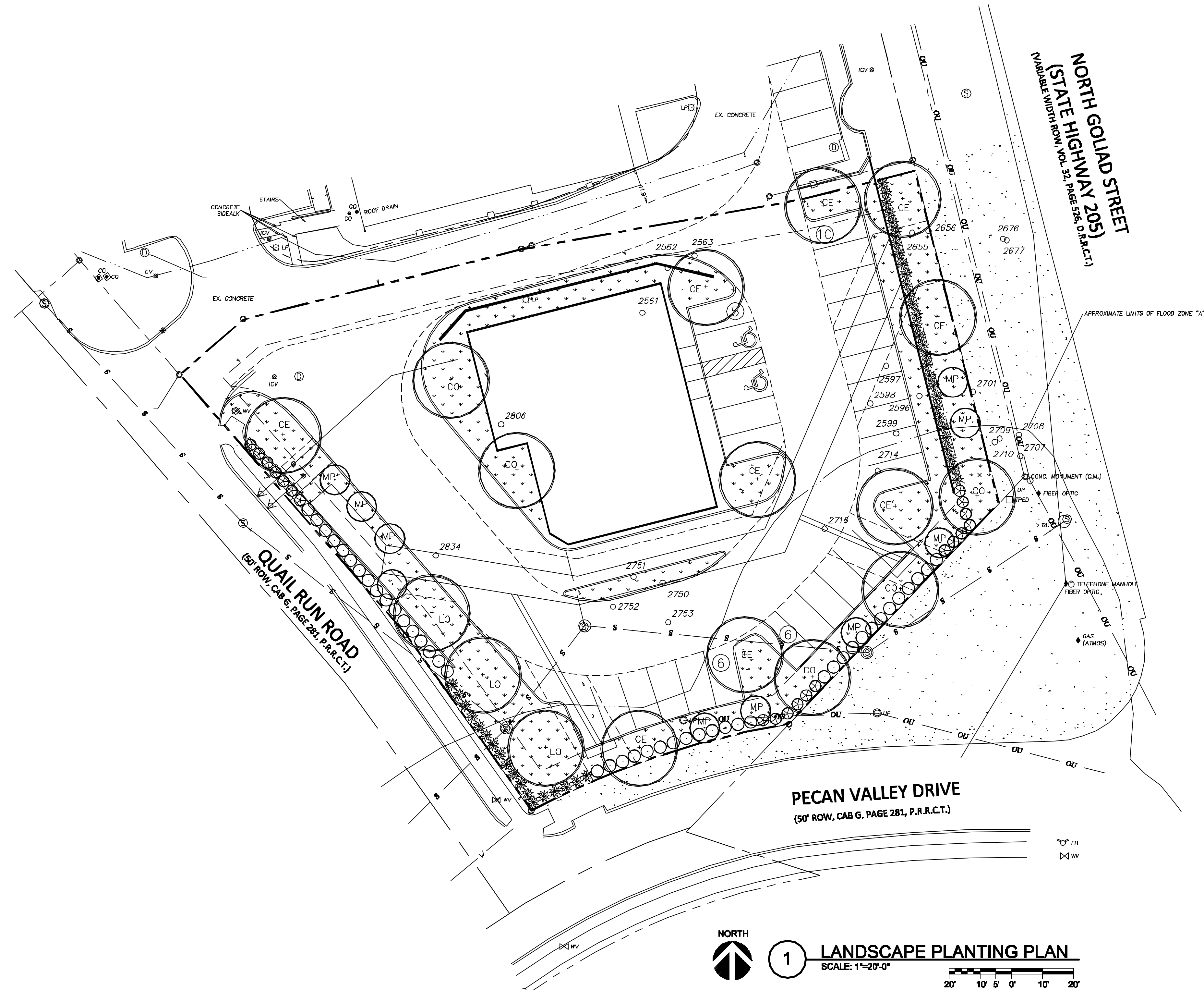
REMAINING INCHES TO MITIGATE = 85

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
LOT AREA = 32,676 SF
20% = 6,535 SF
LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
AND A ROW OF SHRUBS.
QUAIL RUN = 180' 180'/50' = 4+4
PECAN VALLEY = 185' 185'/50' = 4+4
N. GOLIAD ST. = 110' 110'/50' = 2+2

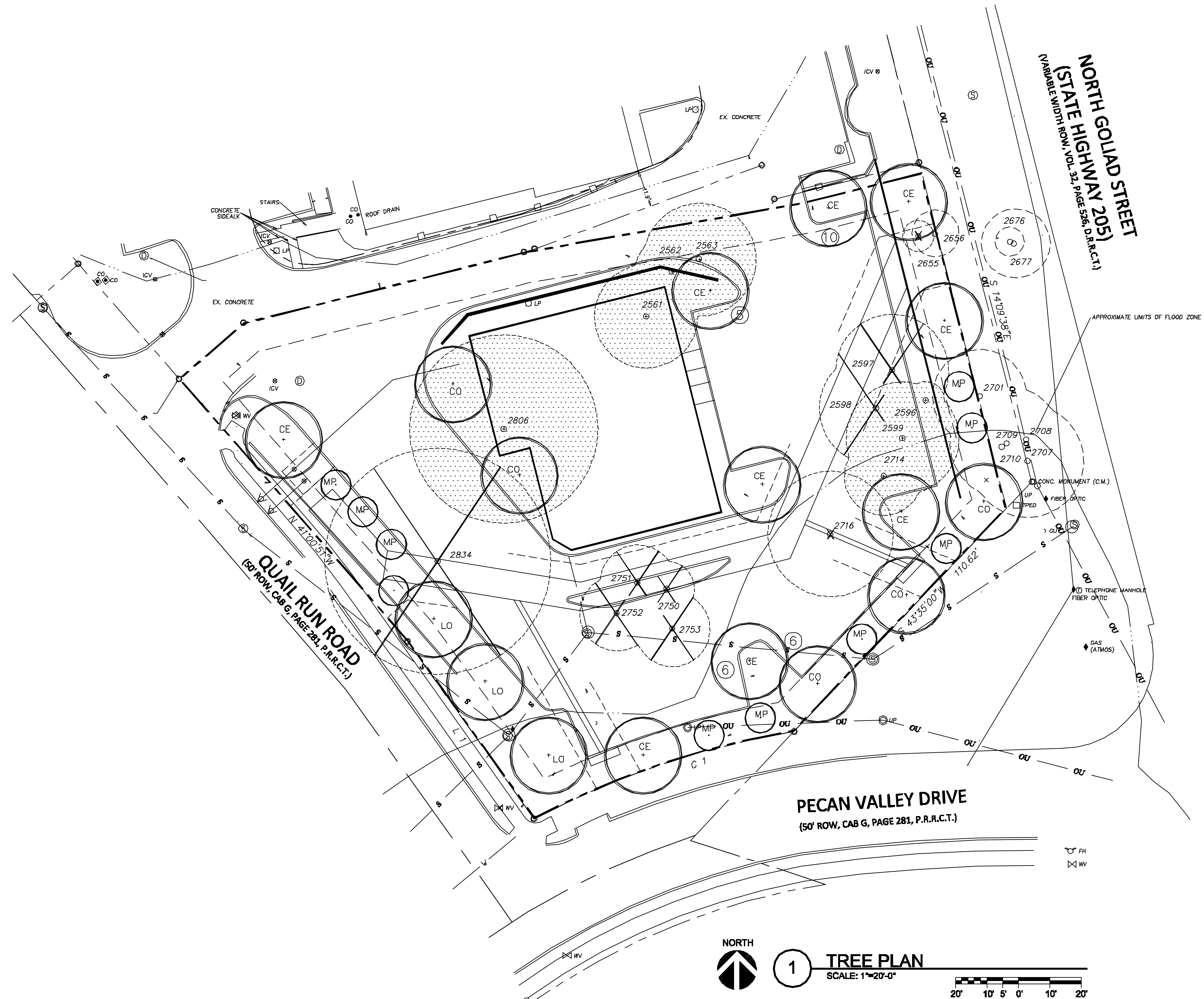
10 CANOPY TREES REQUIRED. 10-PROVIDED.
10 ACCENT TREES REQUIRED. 10-PROVIDED.
111 SHRUBS PROVIDED.
INTERIOR PARKING LOT LANDSCAPING:
4,374 SF PARKING LOT AREA
1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dcwla.com



TREE LEGEND

- EXISTING TREES (B) - (parkway tree)
- EXISTING TREES (NOT PROTECTED) TO BE REMOVED BUT NOT MITIGATED.
- 6" CHINABERRY - NOT PROTECTED
27" BOIS D'ARC - NOT PROTECTED
- EXISTING TREES (PROTECTED) TO BE REMOVED BUT NOT MITIGATED.-UTILITY CONFLICT
- TOTAL NOT PROTECTED - 33"
- EXISTING PROTECTED TREES TO BE REMOVED AND MITIGATED.
- 2561 22" PECAN
2562 16" PECAN
2563 24" PECAN
2596 8" PECAN
2599 24" PECAN
2714 17" PECAN
2806 40" ELM (MT)
- TOTAL PROTECTED TO MITIGATE - 191"
- NEW 5" TREES PLANTED = 17 = 85"
- (9) CEDAR ELM 'CE'
(5) CHINQUAPIN OAK 'CO'
(3) LIVE OAK 'LO'
- (10) MEXICAN PLUM 'MP'

EXISTING TREE SCHEDULE

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 (17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
 106 INCHES
 106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.
 REMAINING INCHES TO MITIGATE = 85

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Fort Worth, Texas 76147 Office 817.335.1405 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT TREE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>TP1</p>
<p>PROJECT NO. 2K22-45</p> <p>DATE: 11/15/22</p>						

TREE SURVEY BY: STOVALL & ASSOCIATES P.O. BOX 202 GREENVILLE, TEXAS 75403 PHONE (903) 450-1120 info@stovallassociates.com SEPT. 24, 2015	PLAN PREPARED BY: DON C. WHEELER, RLA PO BOX 470865 FT. WORTH, TX 76147 817.335.1405 don@dcwla.com
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PRELIMINARY NOT
 FOR REGULATORY APPROVAL,
 PERMITTING OR CONSTRUCTION.
 FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING
 ARCHITECT
 TX REGISTRATION
 NO. 17957
 9-15-22

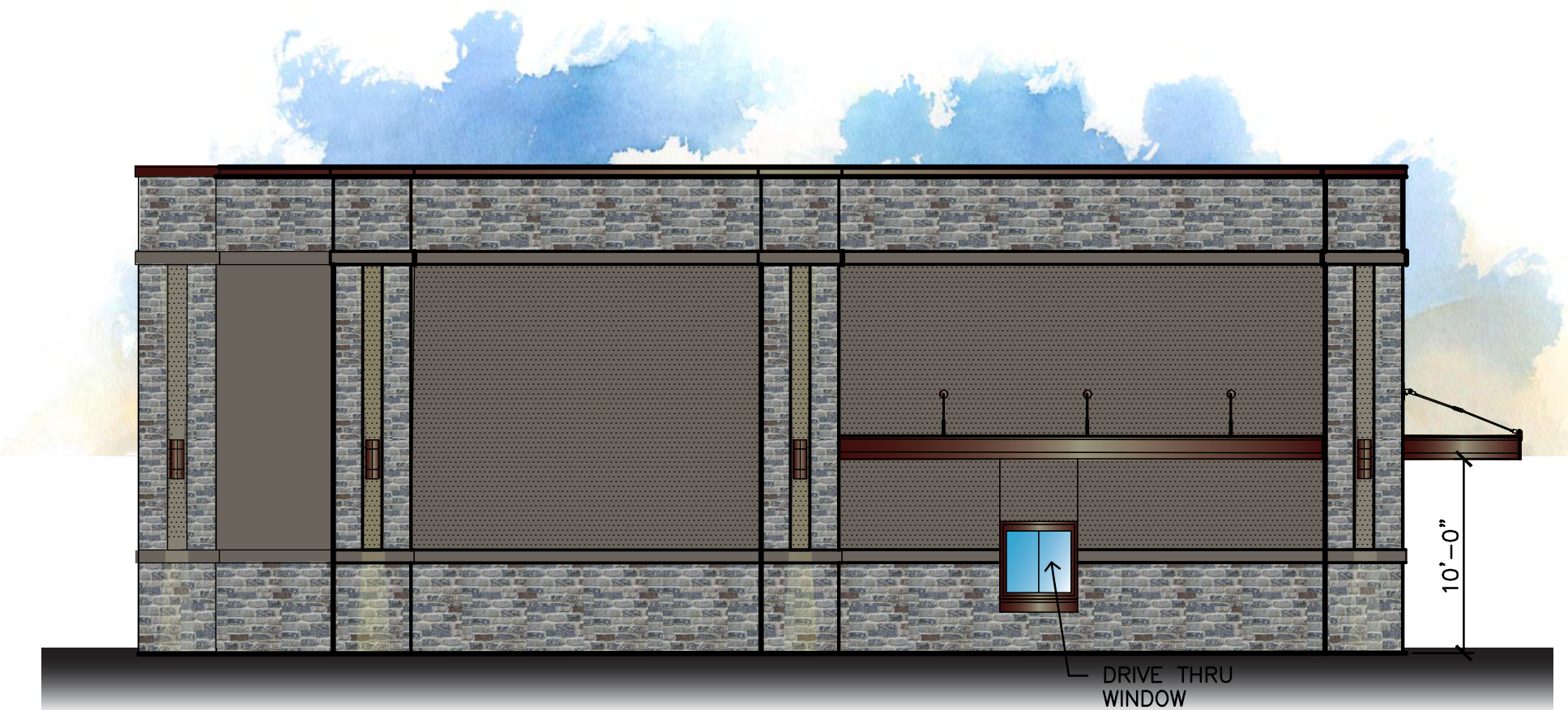
DO NOT SCALE
 THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



2 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

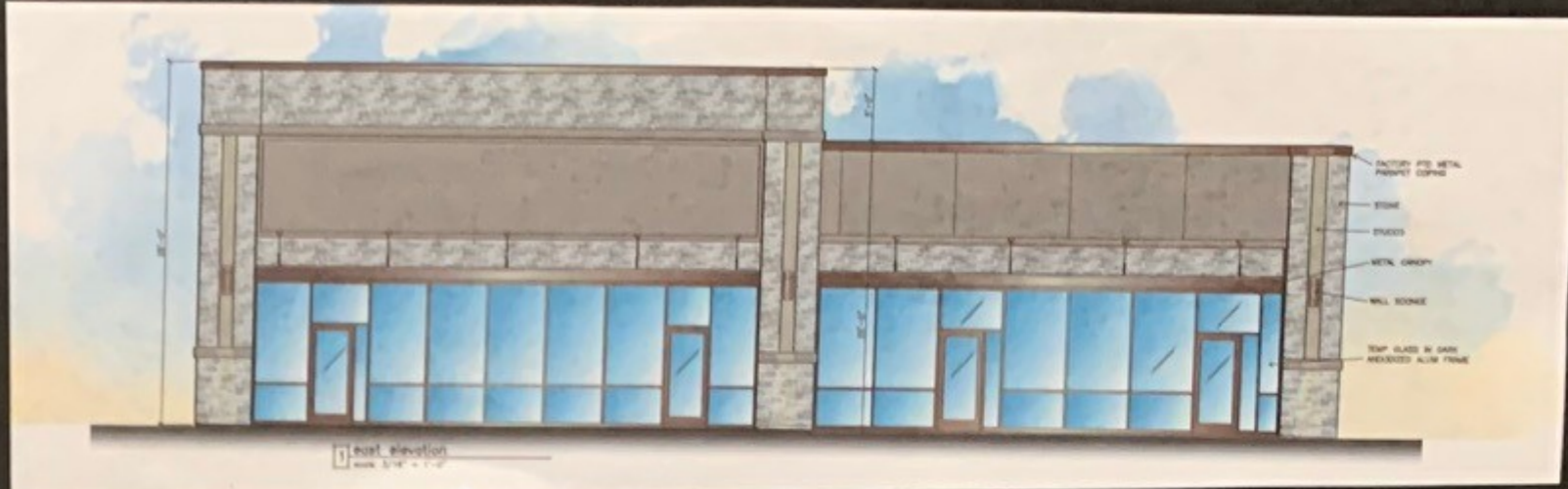
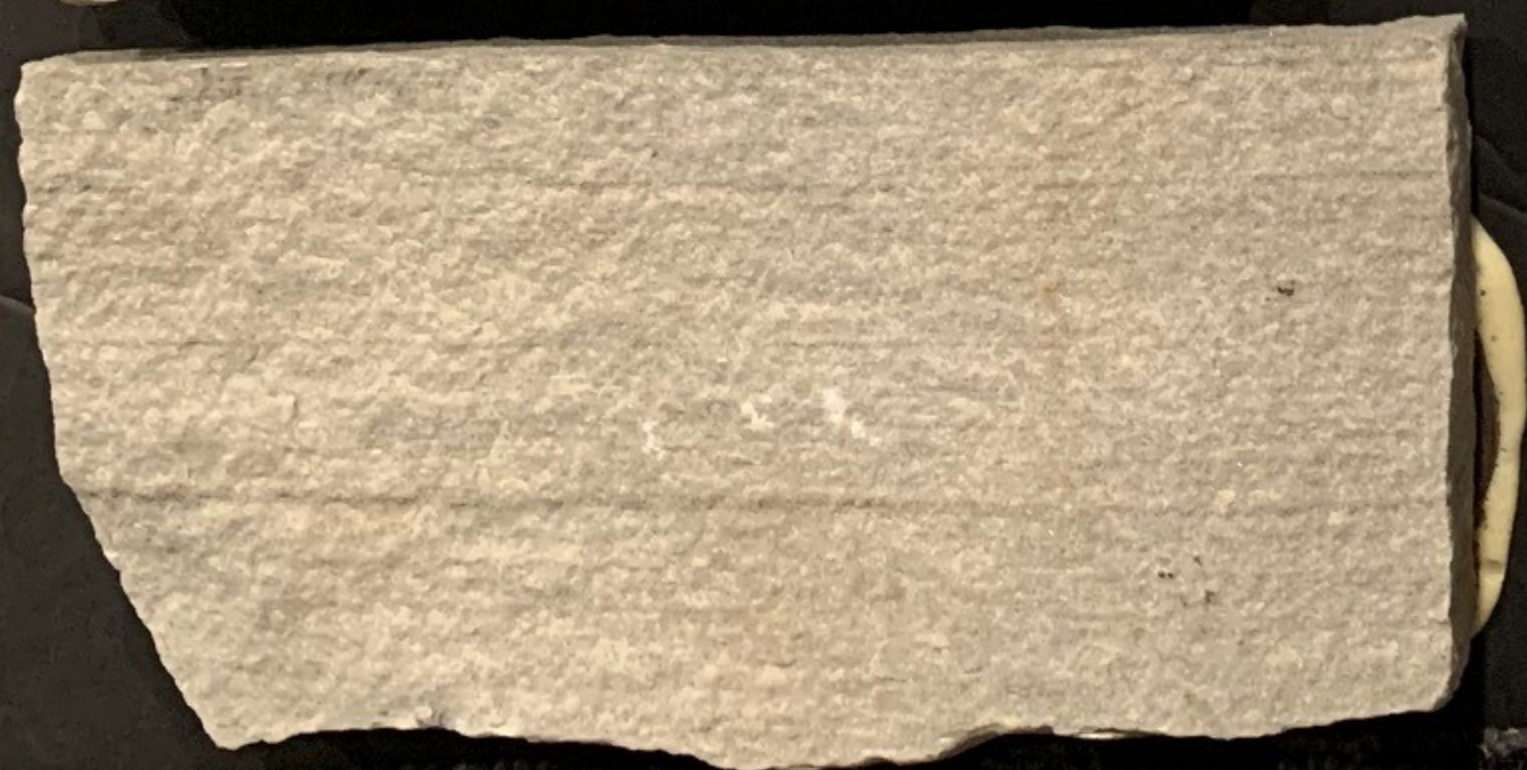
EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS
 MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

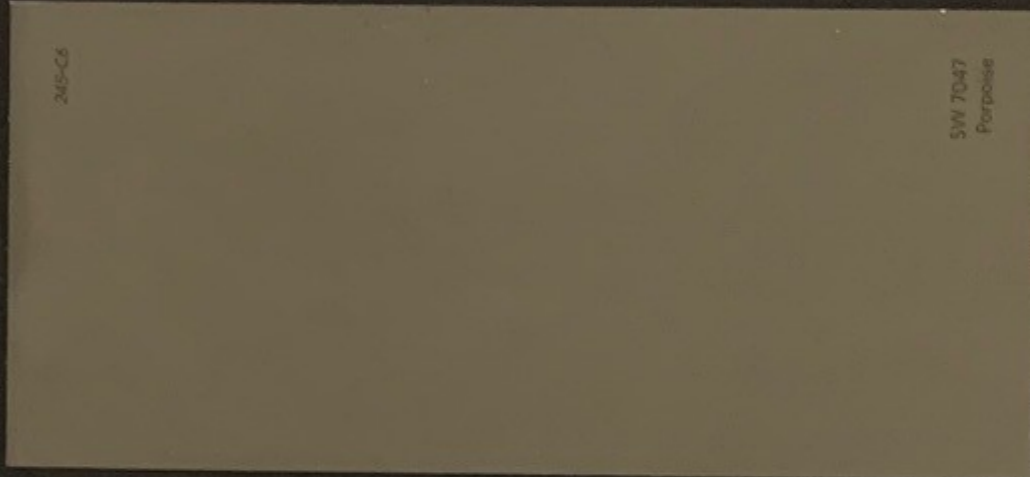
Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:
A1
 Exterior Elevations



East Elevation
Sherwin Williams 7047 Porpoise



Stone: Limestone Random
Ashlar pattern

Limestone Silver Mist

Matthew King Architect
ARCHITECTURE • PLANNING • REAL ESTATE

Office: 469-742-0678 Cell: 972-841-9678 Fax: 469-228-0551
www.mkingarchitect.com email: mking@mkingarchitect.com



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive			
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant	
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant	
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069
PHONE	214-561-6522	PHONE	972-562-4409
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz

NOTARY VERIFICATION [REQUIRED]

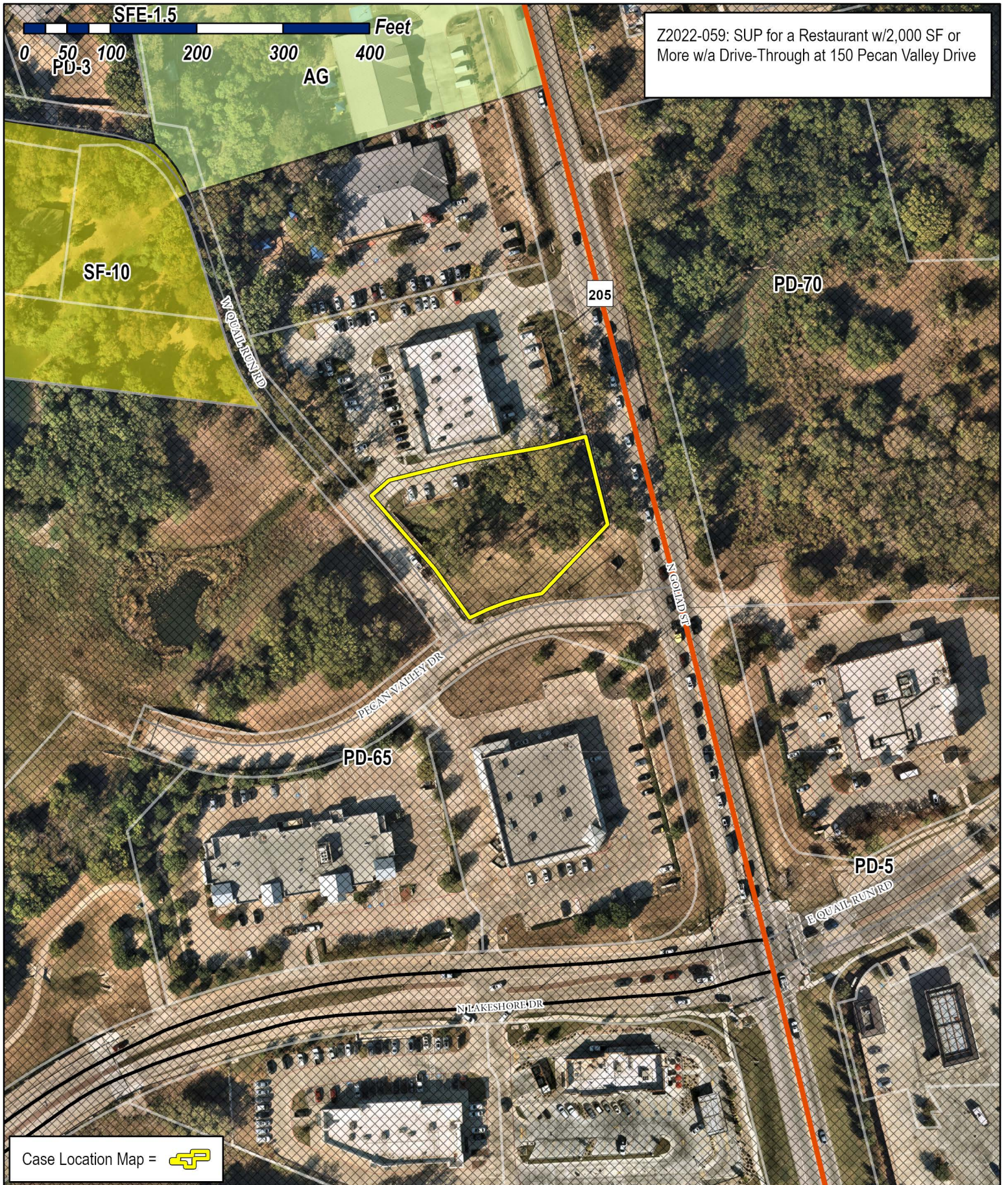
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through at 150 Pecan Valley Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

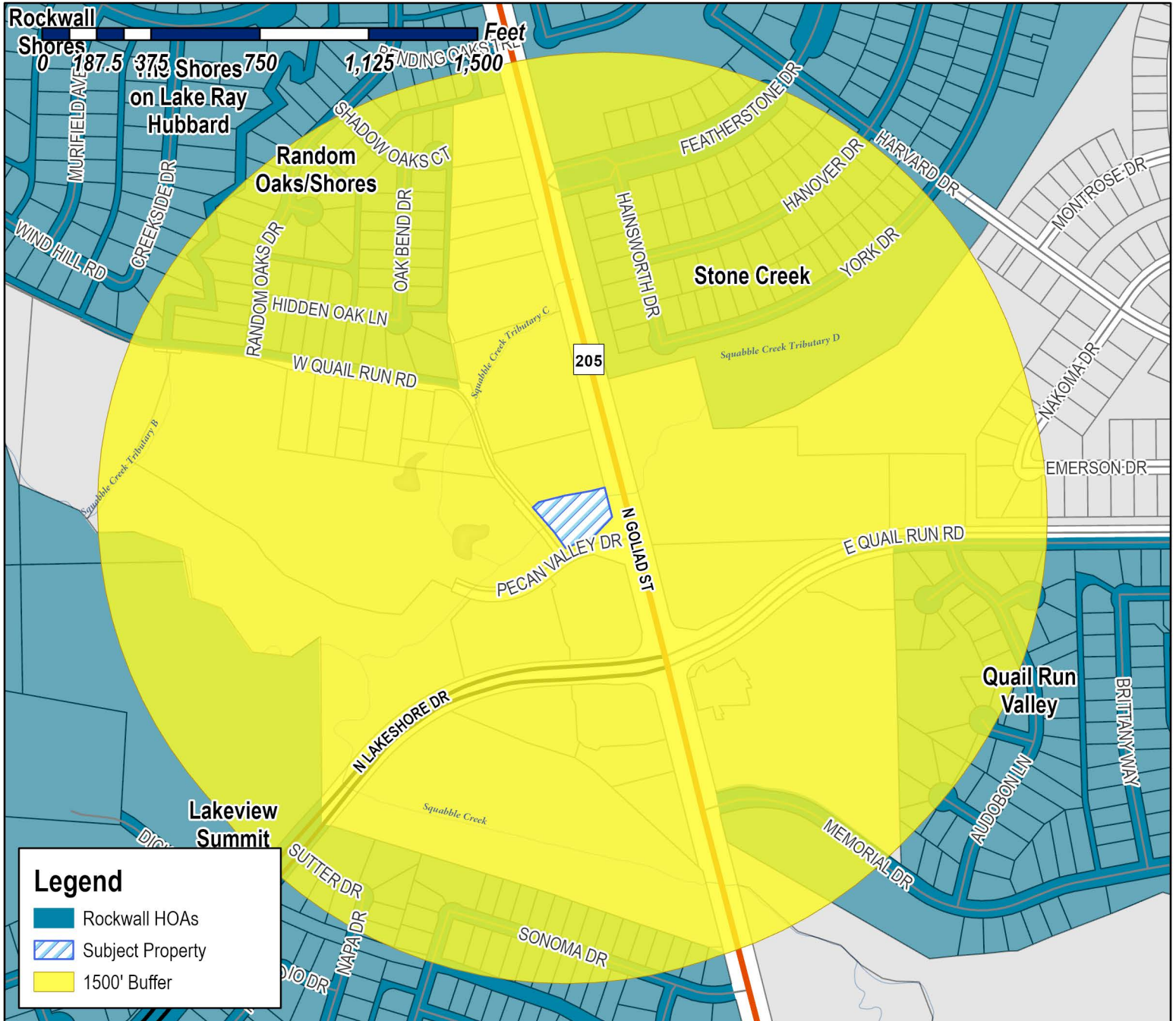




City of Rockwall

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385 S. Goliad Street
Rockwall, Texas 75087
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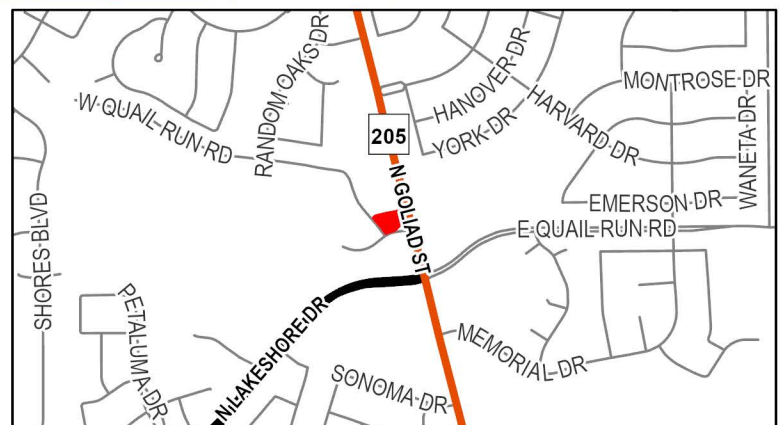
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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call (972) 771-7745

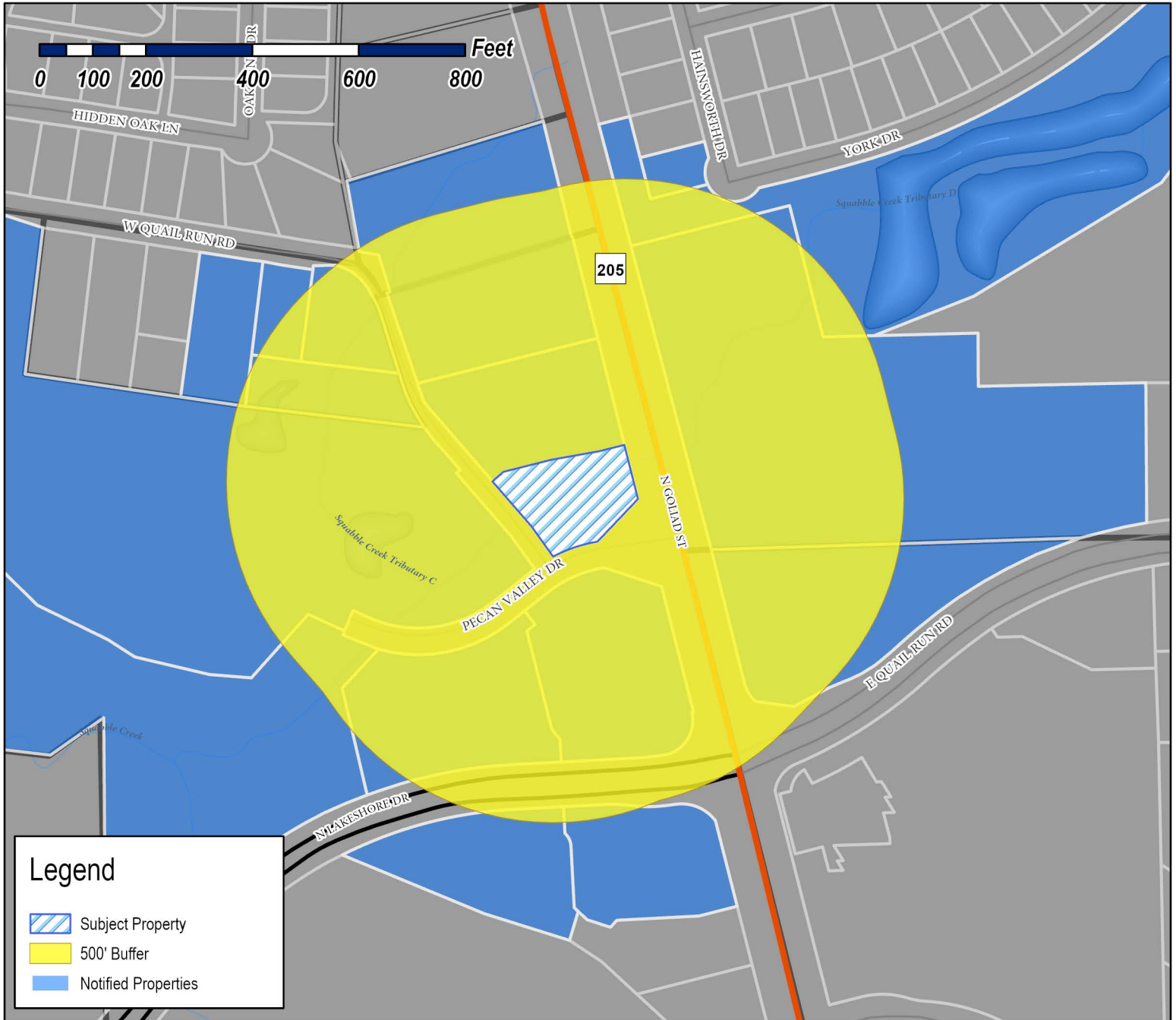




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

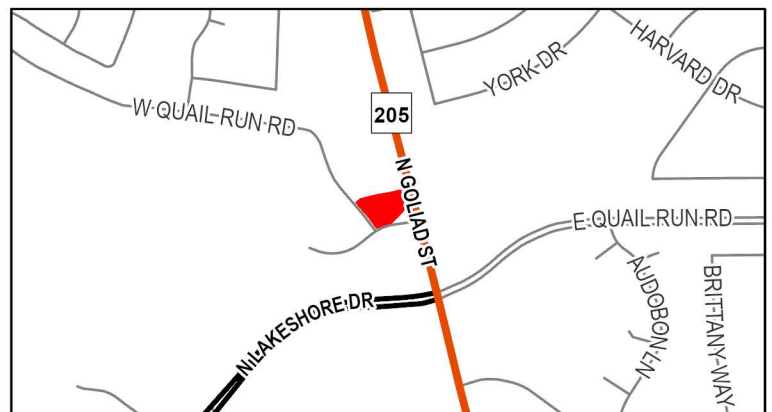
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Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive-Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
165 E QUAIL RUN RD
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

RESIDENT
1979 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
2268 N Lakeshore
ROCKWALL, TX 75087

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

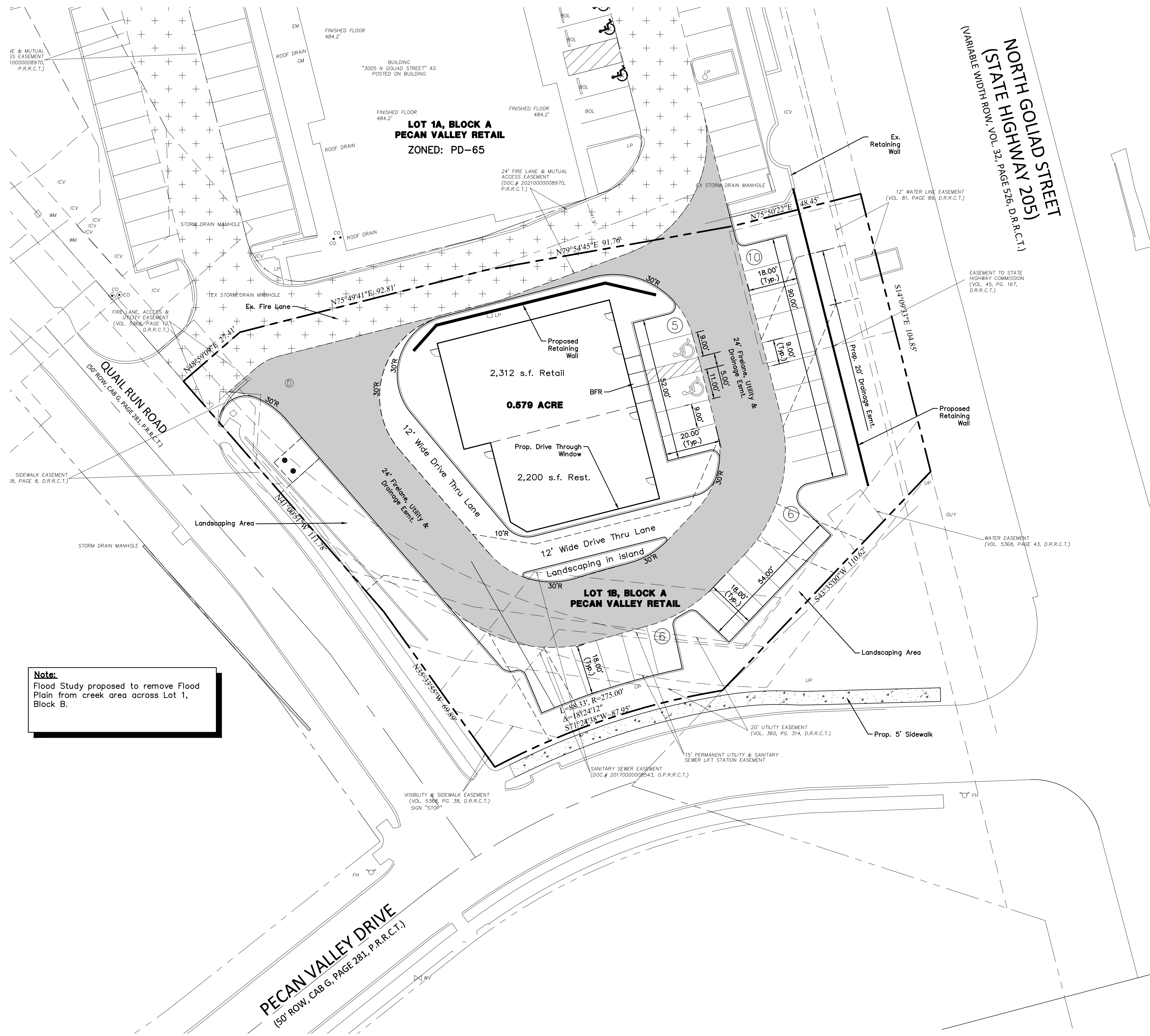
JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ROCKWALL BROXY LLC
C/O KABATECK LLP
633 WEST FIFTH STREET SUITE 3200
LOS ANGELES, CA 90071

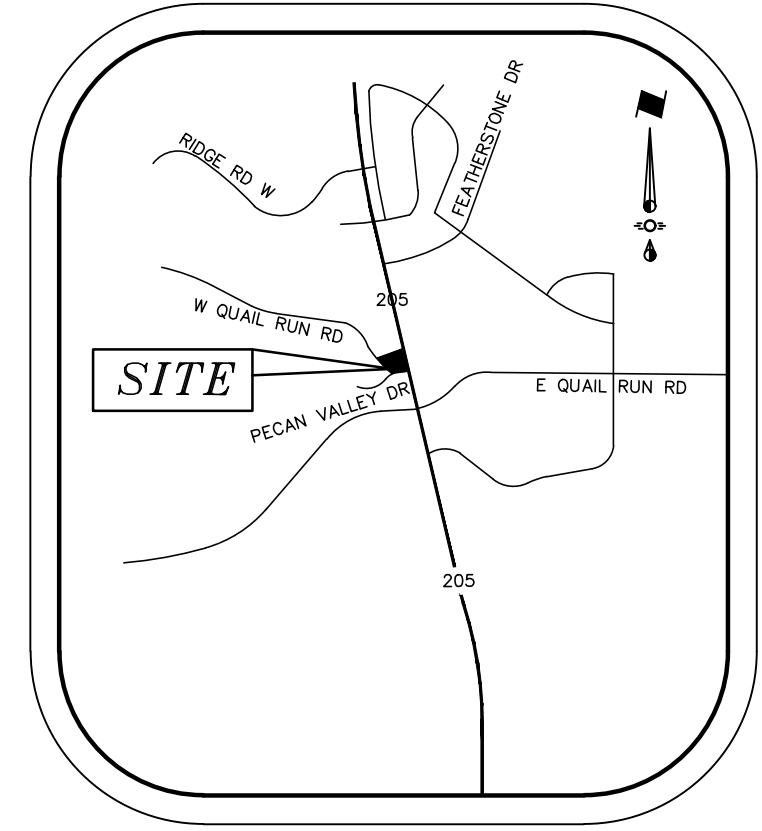
STONE CREEK BALANCE LTD
8214 WESTCHESTER STE 900
DALLAS, TX 75225

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

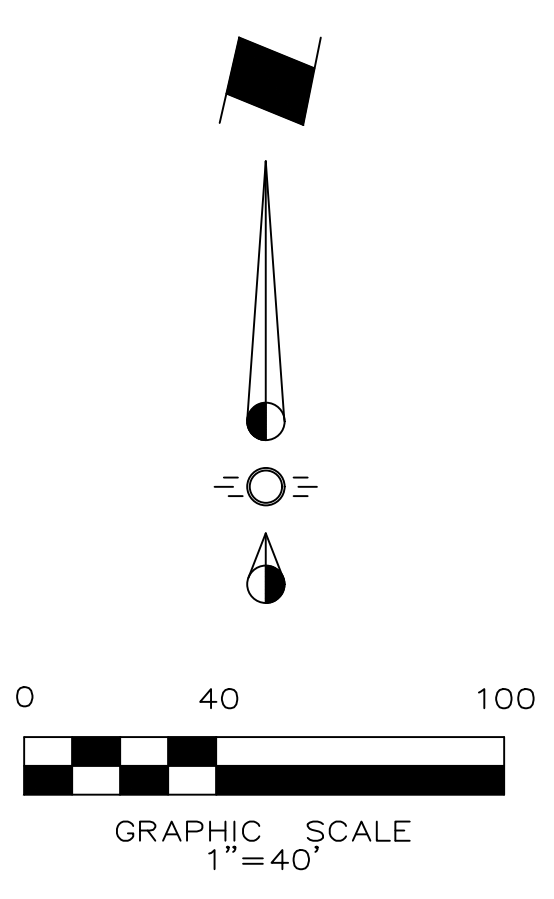
MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063



Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



VICINITY MAP
NTS



LEGEND

- Proposed Firelane
- Proposed Sidewalk
- Ex. Firelane
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

ENGINEER:
 Cross Engineering Consultants, Inc.
 1720 W. Virginia Street
 McKinney, Texas 75069
 Phone (972) 562-4409
 Fax (972) 562-4471
 Contact: Jon David Cross, P.E.

ARCHITECT:
 Matt King Architect
 4308 Cherry Lane
 Melissa, Tx 75454
 Phone (469) 742-0678
 Contact: Matt King

SURVEYOR:
 Barton Chapa Surveying
 5200 SH 121
 Colleyville, TX. 76034
 Phone (817) 864-1957
 Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
 THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS

1720 W. Virginia Street McKinney, Texas 75069
 972.562.4409 Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=40'

SUP SITE PLAN
 SMOOTHIE KING ROCKWALL
 DA Goliad Partners, LP
 CITY OF ROCKWALL, TEXAS

Sheet No.
SUP
 Project No.
 20089

SMOOTHIE KING ROCKWALL

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING ARCHITECT
 TX REGISTRATION NO. 17957
 9-15-22

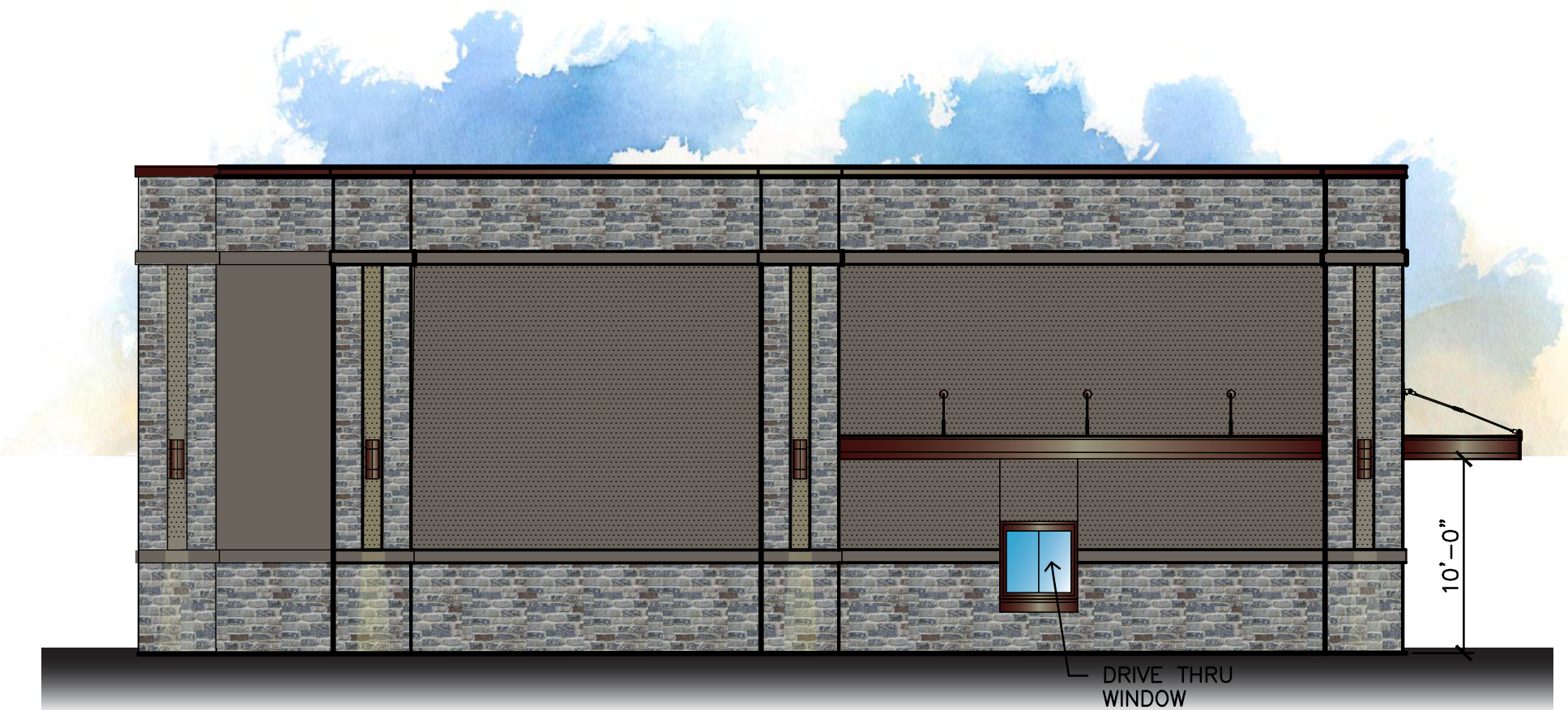
DO NOT SCALE THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



2 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:

A1

Exterior Elevations

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSE TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES

(17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES

106 INCHES

106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.

REMAINING INCHES TO MITIGATE = 85

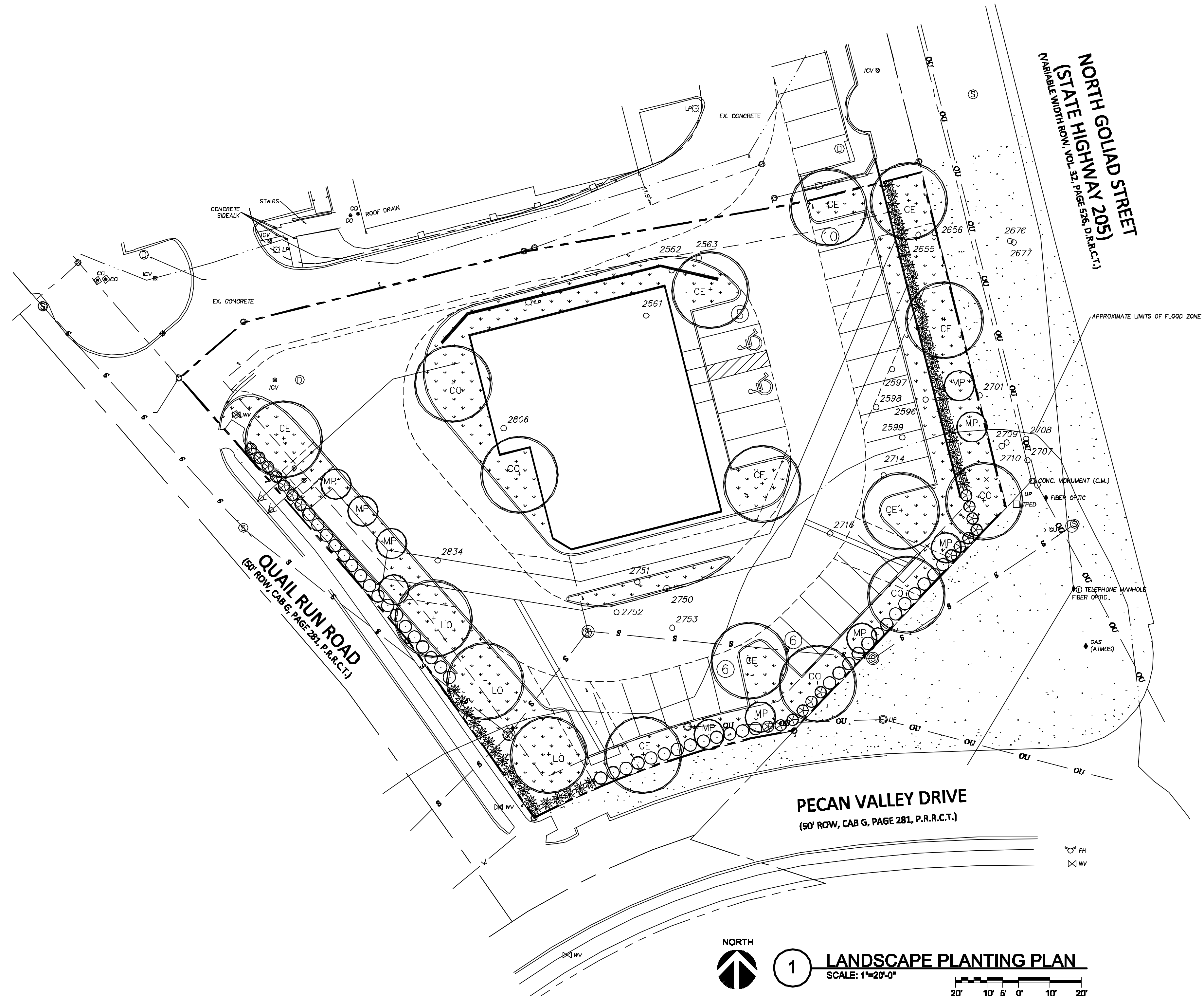
LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
 LOT AREA = 32,676 SF
 20% = 6,535 SF
 LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
 WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
 10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
 AND A ROW OF SHRUBS.
 QUAIL RUN = 180' 180'/50' = 4+4
 PECAN VALLEY = 185' 185'/50' = 4+4
 N. GOLIAD ST. = 110' 110'/50' = 2+2

10 CANOPY TREES REQUIRED. 10-PROVIDED.
 10 ACCENT TREES REQUIRED. 10-PROVIDED.
 111 SHRUBS PROVIDED.

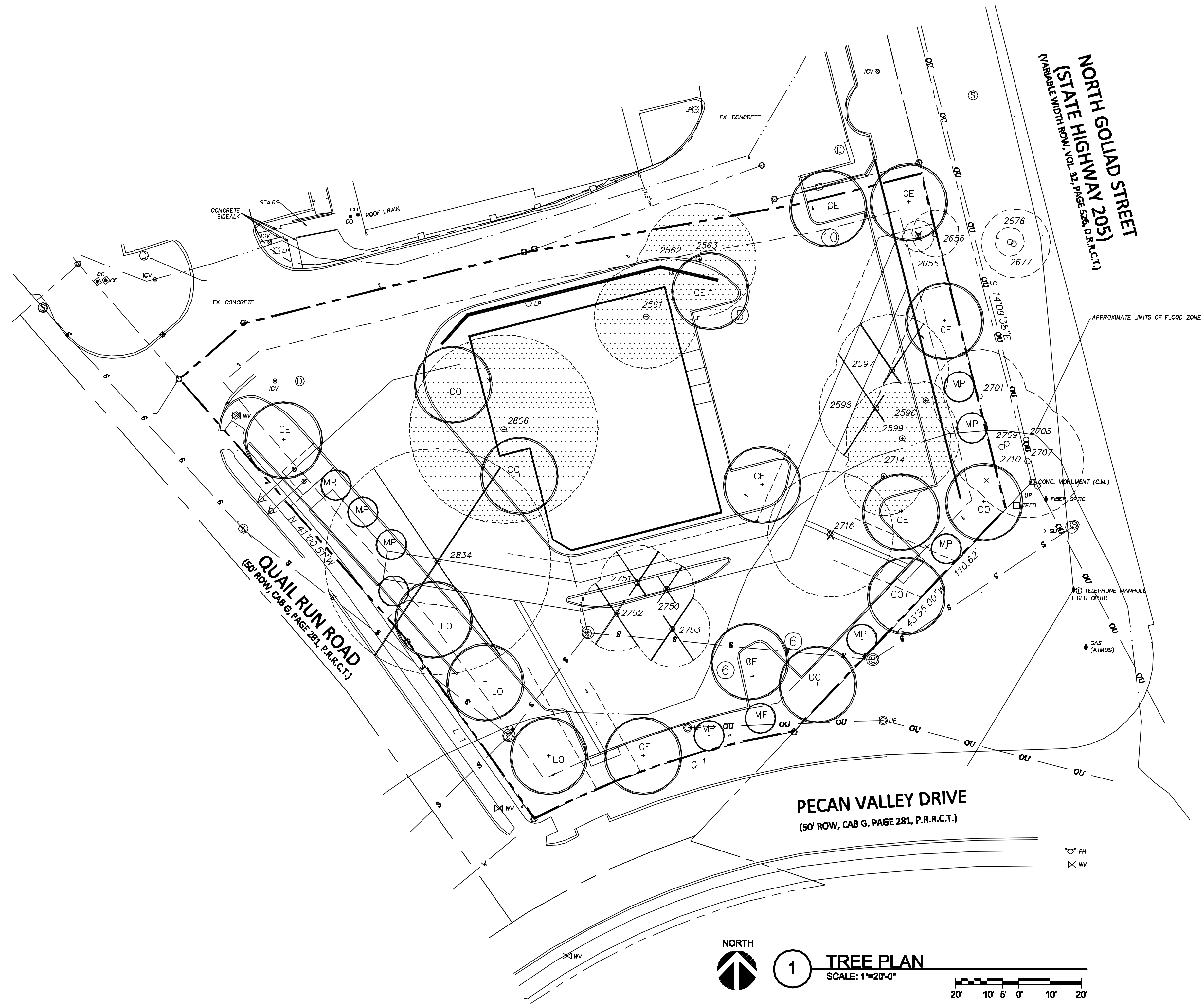
INTERIOR PARKING LOT LANDSCAPING:
 4,374 SF PARKING LOT AREA
 1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect</p> <p>Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

PLAN PREPARED BY:
 DON C. WHEELER, RLA
 PO BOX 470865
 FT. WORTH, TX 76147
 817.335.1405
 don@dcwla.com



TREE LEGEND

- (B) EXISTING TREES (B) - (parkway tree)
- (X) EXISTING TREES (NOT PROTECTED) TO BE REMOVED BUT NOT MITIGATED.
- 6" CHINABERRY - NOT PROTECTED
- 27" BOIS D'ARC - NOT PROTECTED
- (X) EXISTING TREES (PROTECTED) TO BE REMOVED BUT NOT MITIGATED.-UTILITY CONFLICT
- TOTAL NOT PROTECTED - 33"
- EXISTING PROTECTED TREES TO BE REMOVED AND MITIGATED.

2561	22" PECAN
2562	16" PECAN
2563	24" PECAN
2596	8" PECAN
2599	24" PECAN
2714	17" PECAN
2806	40" ELM (MT)

- ...TOTAL PROTECTED TO MITIGATE - 191"
- NEW 5" TREES PLANTED = 17 = 85"

(9) CEDAR ELM	'CE'
(5) CHINQUAPIN OAK	'CO'
(3) LIVE OAK	'LO'

- (10) MEXICAN PLUM 'MP'

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
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2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES
 (17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
 106 INCHES
 106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.
 REMAINING INCHES TO MITIGATE = 85

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Fort Worth, Texas 76147 Office 817.335.1405 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT TREE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>TP1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

TREE SURVEY BY: STOVALL & ASSOCIATES P.O. BOX 202 GREENVILLE, TEXAS 75403 PHONE (903) 450-1120 info@stovallassociates.com SEPT. 24, 2015	PLAN PREPARED BY: DON C. WHEELER, RLA PO BOX 470865 FT. WORTH, TX 76147 817.335.1405 don@dcwla.com
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DO NOT SCALE
 THESE PLANS

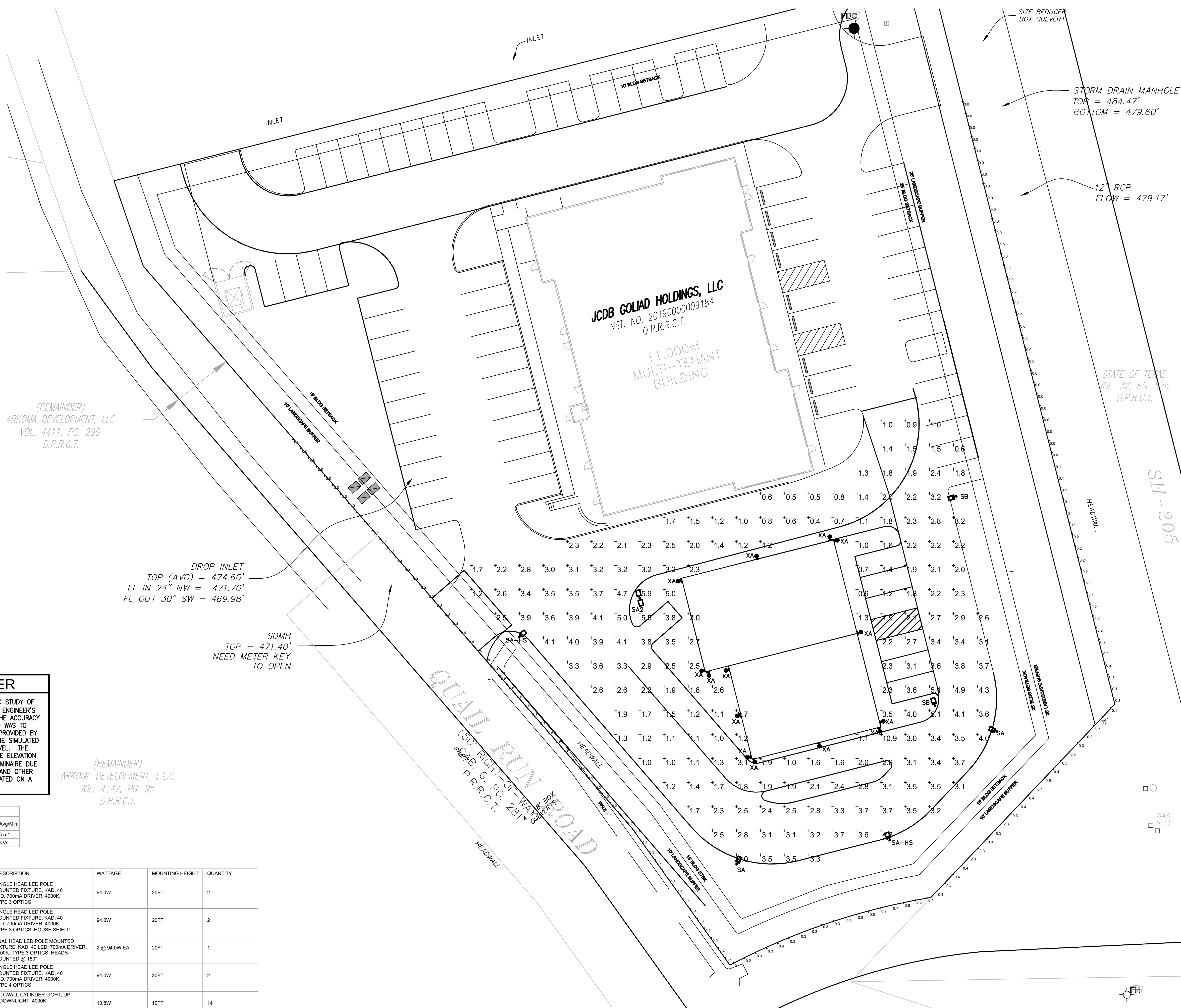


Owner:
 DA ENNIS 45 PARTNERS LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
 SOUTH BUILDING
 PHOTOMETRICS
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 Site Photometrics 10/26/2022

Sheet Number:
MEP1
 SITE
 PHOTOMETRIC
 PLAN



(REMAINDER)
 ARKOMA DEVELOPMENT, LLC
 VOL. 4411, PG. 290
 D.R.R.C.T.

DROP INLET
 TOP (AVG) = 474.60'
 FL IN 24" NW = 471.70'
 FL OUT 30" SW = 469.98'

SDMH
 TOP = 471.40'
 NEED METER KEY
 TO OPEN

(REMAINDER)
 ARKOMA DEVELOPMENT, L.L.C.
 VOL. 4247, PG. 95
 D.R.R.C.T.

PHOTOMETRIC DISCLAIMER


THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	2.6 fc	10.9 fc	0.4 fc	27.3:1	6.5:1
PROPERTY LINE	+	0.3 fc	0.9 fc	0.0 fc	N/A	N/A

TYPE	MAKE	MODEL	DESCRIPTION	WATTAGE	MOUNTING HEIGHT	QUANTITY
SA	LITHONIA LIGHTING	KAD LED 40C 700 40K R3 MVOLT	SINGLE HEAD LED POLE MOUNTED FIXTURE, KAD, 40 LED, 700mA DRIVER, 4000K, TYPE 3 OPTICS	94.0W	20FT	2
SA-HS	LITHONIA LIGHTING	KAD LED 40C 700 40K R3 MVOLT HS	SINGLE HEAD LED POLE MOUNTED FIXTURE, KAD, 40 LED, 700mA DRIVER, 4000K, TYPE 3 OPTICS, HOUSE SHIELD MOUNTED @ 180°	94.0W	20FT	2
SA2	LITHONIA LIGHTING	KAD LED 40C 700 40K R3 MVOLT	DUAL HEAD LED POLE MOUNTED FIXTURE, KAD, 40 LED, 700mA DRIVER, 4000K, TYPE 3 OPTICS, HEADS MOUNTED @ 180°	2 @ 94.0W EA.	20FT	1
SB	LITHONIA LIGHTING	KAD LED 40C 700 40K R4 MVOLT	SINGLE HEAD LED POLE MOUNTED FIXTURE, KAD, 40 LED, 700mA DRIVER, 4000K, TYPE 4 OPTICS	94.0W	20FT	2
XA	LITHONIA LIGHTING	OLLWU LED P1 40K 120 DBB	LED WALL CYLINDER LIGHT, UP & DOWNLIGHT, 4000K	13.8W	10FT	14

1 PHOTOMETRIC PLAN
 scale: 1" = 20'-0"

PRINTED BY: JONATHAN.HOFFMAN Oct 27, 2022 10:21am
DRAWING: 20240322.MK006 ROCKWALL SOUTH SHELL BUILDING - ROCKWALL, TX 03 DESIGN DRAWINGS\22.MK006-MEP1.DWG
DESIGNER: WASELUNG, EL-SHARAWI@EDEL



KAD LED Area Luminaire

Capable Luminaire

Specifications

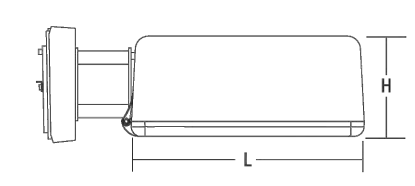
EPA: 1.2 E+ (0.11 W/ft²)

Length: 17.1/2" (43.8 cm)

Width: 17.1/2" (43.8 cm)

Height: 7.1/8" (18.8 mm)

Weight (max): 26.6 lbs (12.0 kg)



Ordering Information

EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SPD04 DBXBD

Series	LED	Color Cabinet	CU	Grid	Mounting	Notes	Shipped separately
KAD LED	20K, 30LBA, 510, 530 mA	40K, 4000K	R3	12 ft	MVOLT, 277V	SPD04, DBXBD	DBXBD, DBXBD
	20K, 30LBA, 700, 700 mA	40K, 4000K	R3	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD
	40C, 40LBA, 1000, 1000 mA	40K, 4000K	R4	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD

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	40C, 40LBA, 1000, 1000 mA	40K, 4000K	R4	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD

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	40C, 40LBA, 1000, 1000 mA	40K, 4000K	R4	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD

Ordering Information

Accessories

Capable Luminaire

This luminaire is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

This luminaire is A+ Certified when ordered with DTL controls marked by a **bladed background**.

DTL, DCL equipped luminaires meet the A+ specification for luminaire to photocell interoperability.

This luminaire is part of an A+ Certified solution for ROAM/P2 or Xpress™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **bladed background**.

To learn more about A+, visit www.acuitybrands.com/a+.

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam: [Link to DTL, DCL](#).

Ordering Information

EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SPD04 DBXBD

Series	LED	Color Cabinet	CU	Grid	Mounting	Notes	Shipped separately
KAD LED	20K, 30LBA, 510, 530 mA	40K, 4000K	R3	12 ft	MVOLT, 277V	SPD04, DBXBD	DBXBD, DBXBD
	20K, 30LBA, 700, 700 mA	40K, 4000K	R3	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD
	40C, 40LBA, 1000, 1000 mA	40K, 4000K	R4	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD

Performance Data

Lumen Output

Lumen values are based on photometric data taken in accordance with IESNA LM-79-02. Data is considered to be representative of the configurations shown, with the tolerances allowed by Lighting Facts. Contact factory for performance data on any configuration not shown.

Series	Power (W)	Beam Angle (deg)	Beam Diameter (ft)	Beam Diameter (m)	Beam Spread (ft)	Beam Spread (m)	Beam Spread (deg)	Beam Spread (m)	Beam Spread (ft)	Beam Spread (deg)	Beam Spread (m)	Beam Spread (ft)
1000A	35W	35	11.0	1.1	11.0	1.1	11.0	1.1	11.0	1.1	11.0	1.1
					11.0	1.1	11.0	1.1	11.0	1.1	11.0	1.1
300A	45W	45	15.0	1.5	15.0	1.5	15.0	1.5	15.0	1.5	15.0	1.5
					15.0	1.5	15.0	1.5	15.0	1.5	15.0	1.5
1000A	75W	75	15.0	1.5	15.0	1.5	15.0	1.5	15.0	1.5	15.0	1.5
					15.0	1.5	15.0	1.5	15.0	1.5	15.0	1.5

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine ambient temperature for average ambient temperature based on IESNA LM-79-02.

Temp (°C)	Temp (°F)	Temp (°C)	Temp (°F)	Temp (°C)	Temp (°F)	Temp (°C)	Temp (°F)
27C	81F	27C	81F	27C	81F	27C	81F
35C	95F	40C	104F	45C	113F	50C	122F
55C	132F	60C	140F	65C	149F	70C	158F
80C	176F	85C	185F	90C	194F	95C	203F

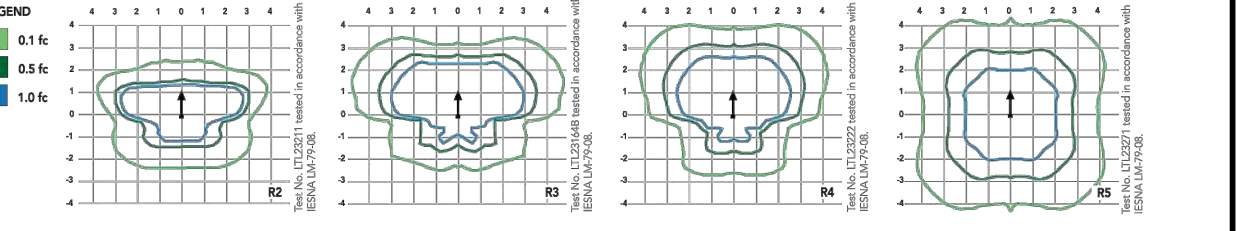
Projected LED Lumen Maintenance

Use the projected lumen maintenance curves for the KAD LED luminaire to determine the expected lumen output over the life of the luminaire.

Time (hrs)	1000A	300A	1000A	300A
0	100%	100%	100%	100%
1000	95%	95%	95%	95%
2000	90%	90%	90%	90%
3000	85%	85%	85%	85%
4000	80%	80%	80%	80%
5000	75%	75%	75%	75%
6000	70%	70%	70%	70%
7000	65%	65%	65%	65%
8000	60%	60%	60%	60%
9000	55%	55%	55%	55%
10000	50%	50%	50%	50%

Photometric Diagrams

Photometric diagrams for the KAD LED luminaire showing beam spread and illuminance distribution.



Ordering Information

EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SPD04 DBXBD

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KAD LED	20K, 30LBA, 510, 530 mA	40K, 4000K	R3	12 ft	MVOLT, 277V	SPD04, DBXBD	DBXBD, DBXBD
	20K, 30LBA, 700, 700 mA	40K, 4000K	R3	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD
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	40C, 40LBA, 1000, 1000 mA	40K, 4000K	R4	12 ft	120V	SPD04, DBXBD	DBXBD, DBXBD

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PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: Z2022-059
PROJECT NAME: SUP for Smoothie King Rockwall
SITE ADDRESS/LOCATIONS: 3003 N GOLIAD ST

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	12/19/2022	Approved w/ Comments

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and addressed as 150 Pecan Valley Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2022-059) in the lower right-hand corner of all pages on future submittals.

I.4 According to the conditional use standards for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "(d)rive-through lanes shall not have access to a local residential street."

M.5 Quail Run Road is identified as an R2 (residential, two {2} lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This will require discretionary approval from the City Council pending a recommendation from the Planning and Zoning Commission.

I.6 According to Subsection 06.02 (C)(7), Architectural Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings within a common retail, commercial or office development shall incorporate complementary architectural styles, materials, and colors.

I.7 According to Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "...these (trash enclosures) shall be located to the side or rear of the primary building and shall not front onto a public street."

I.8 According to the conditional use standards for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "...stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane."

M.9 Please show the stacking from the point of order to ensure compliance with the requirements of the Unified Development Code (UDC).

I.10 No trees are permitted within five (5) feet of an existing or proposed utility line. With the number of utility easements adjacent to Pecan Valley Drive and Quail Run Road it may be difficult for this property to meet the headlight screening requirements and the required landscaping along these roadways. This means that it may be necessary to provide a three (3) foot masonry wall adjacent to the drive-through to provide sufficient headlight screening and to cluster the trees on the site to meet the landscaping requirements. This will need to be done at the time of site plan, and has been added as an operational condition to the draft ordinance.

M.11 Please indicate how headlights will be screened from all adjacent roadways utilizing berms and evergreen shrubs.

I.12 Please review the attached Draft Ordinance prior to the December 27, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than January 3, 2023.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on December 27, 2022.

I.14 The projected City Council meeting dates for this case will be January 17, 2023 (1st Reading) and February 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Approved w/ Comments

12/16/2022: - Flood study is required to be approved to change the floodplain limits.

The following items are informational for the engineering design process.

General Items:

- 4% Engineering fees
- Impact fees
- Engineering Review fees apply.
- Retaining walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- No walls, structures in easements, including detention.
- Must meet all City Standards of Design and Construction.

Street/Paving Items:

- Parking against the building and nose-to-nose must be 20'x9'. Other parking must be 18'x9' with 2' clear overhang.
 - Minimum 25' Curb Return radius to street.
 - Dumpster area to drain to oil/water separator then storm lines.
 - Full panel replacement for water line taps in roadways.
 - Sidewalk along Pecan Valley required.
 - Parking to be 18'x9' with 2' clear overhang.
 - Drive isle must be 24' wide with 10' radius.
 - Driveway spacing to be 50' minimum from Pecan Valley Label on plans.
 - Run a turning radius analysis to verify that cars and fire trucks can make the turn without backing up.
- Review City's allowable running slopes for firelanes.

Drainage Items:

- Will need a Flood Study to change the floodplain. Review fees are required.
- Development may not raise floodplain water on any other site.

- Detention is required for the site.
- TxDOT permits required.
- Structures not allowed within drainage easements.
- Drainage easement for floodplain must be abandoned.
- Waters of the US and Wetland determination will be needed for site plan

Water & Wastewater Items:

- Water available in Pecan Valley
- Sewer available in Pecan Valley
- Minimum public utilities to be 8". Utilities to be located in an easement.
- Fire Hydrants will be required.

Landscaping Items:

- No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater.
- No trees within 5' of water line along SH 205, No trees with 10' from 18" sewer line.
- No trees or landscaping in easements along Pecan Valley.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved w/ Comments

12/13/2022: Assigned Address will be 3003 N Goliad St, Rockwall, TX 75087
Please use suite numbers 110, 120, 130 etc. (similar to next door at 3005).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	12/19/2022	N/A

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive				
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK	A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant		
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant		
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.		
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn		
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.		
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069		
PHONE	214-561-6522	PHONE	972-562-4409		
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz		

NOTARY VERIFICATION [REQUIRED]

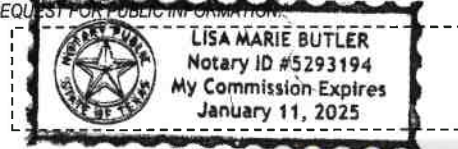
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

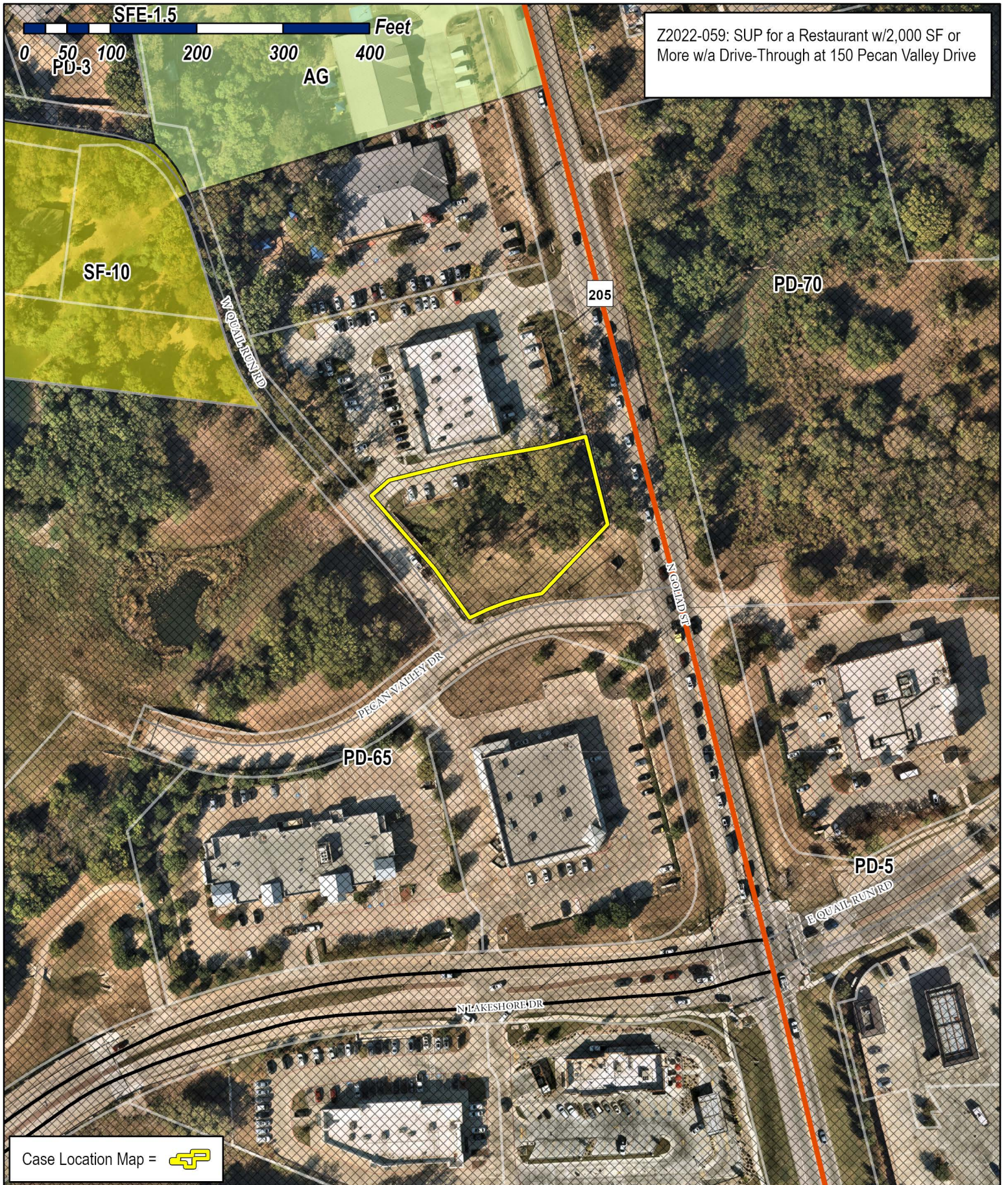
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


[Signature]



MY COMMISSION EXPIRES 1/11/25



Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through at 150 Pecan Valley Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

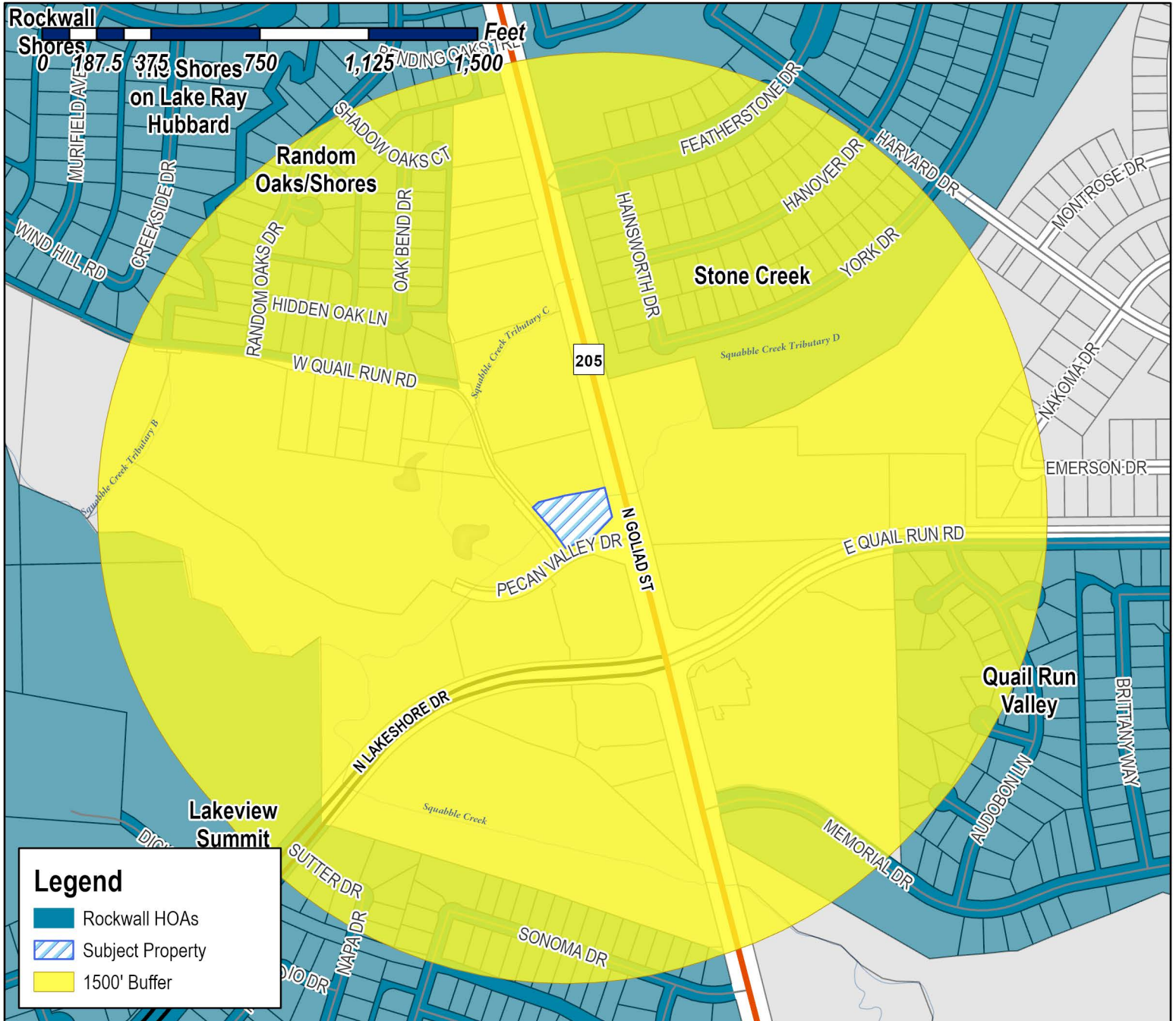




City of Rockwall

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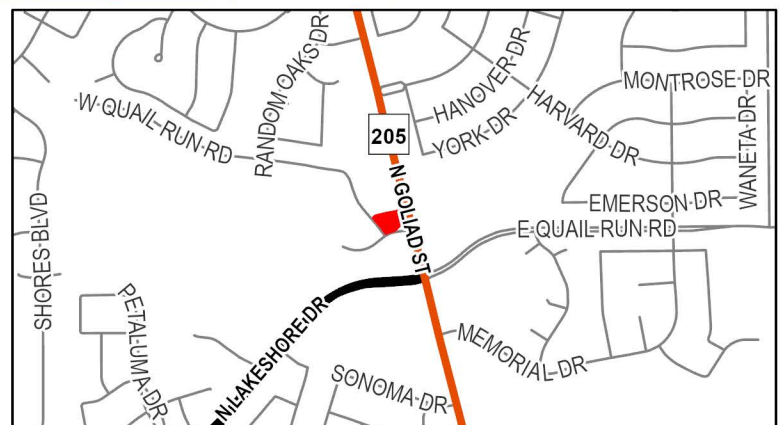
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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:03 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-059]
Attachments: Public Notice Z2022-059.pdf; HOA Map (12.13.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King)* on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Guevara

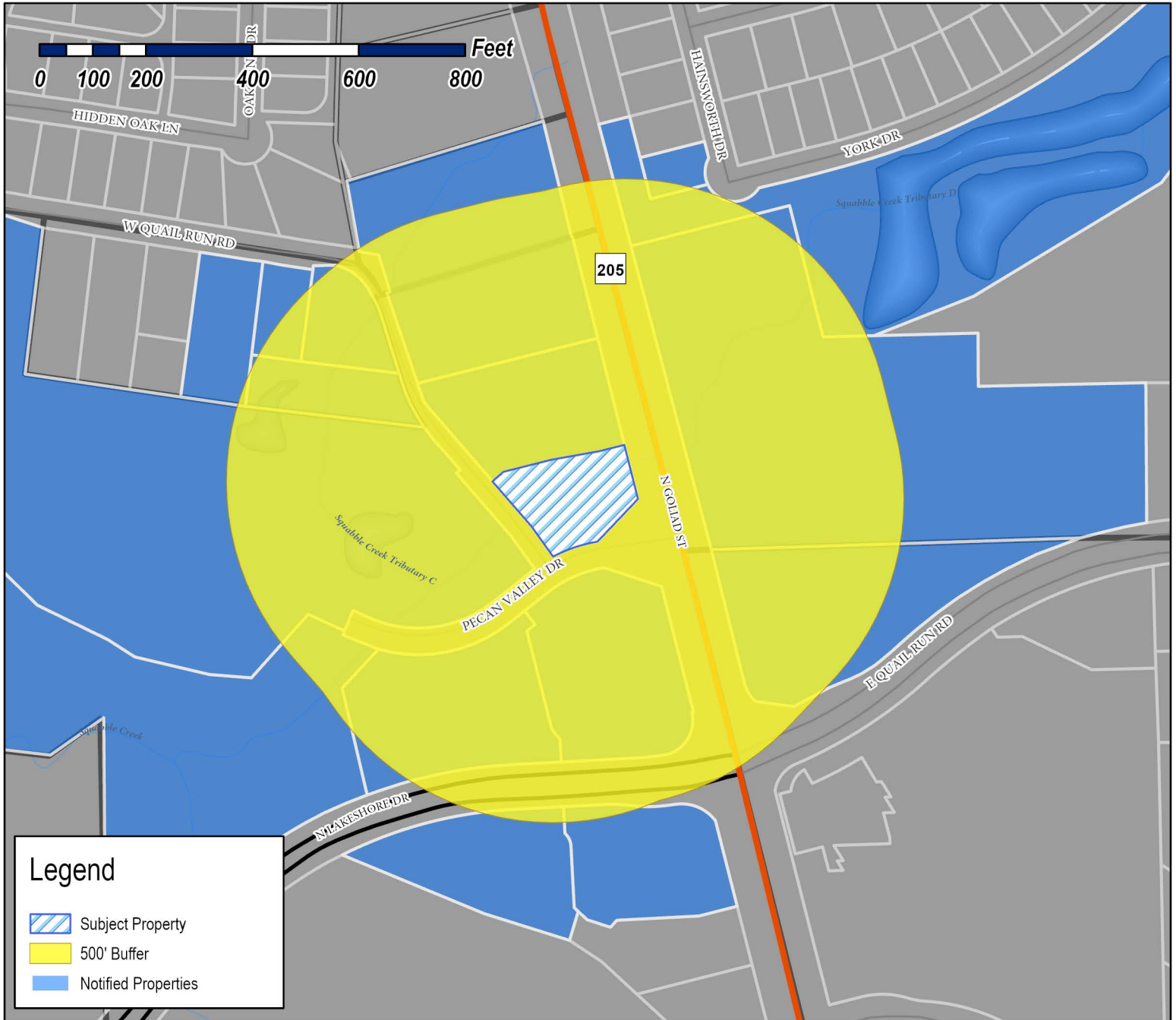
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive-Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
165 E QUAIL RUN RD
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

RESIDENT
1979 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
2268 N Lakeshore
ROCKWALL, TX 75087

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ROCKWALL BROXY LLC
C/O KABATECK LLP
633 WEST FIFTH STREET SUITE 3200
LOS ANGELES, CA 90071

STONE CREEK BALANCE LTD
8214 WESTCHESTER STE 900
DALLAS, TX 75225

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Please place a check mark on the appropriate line below:

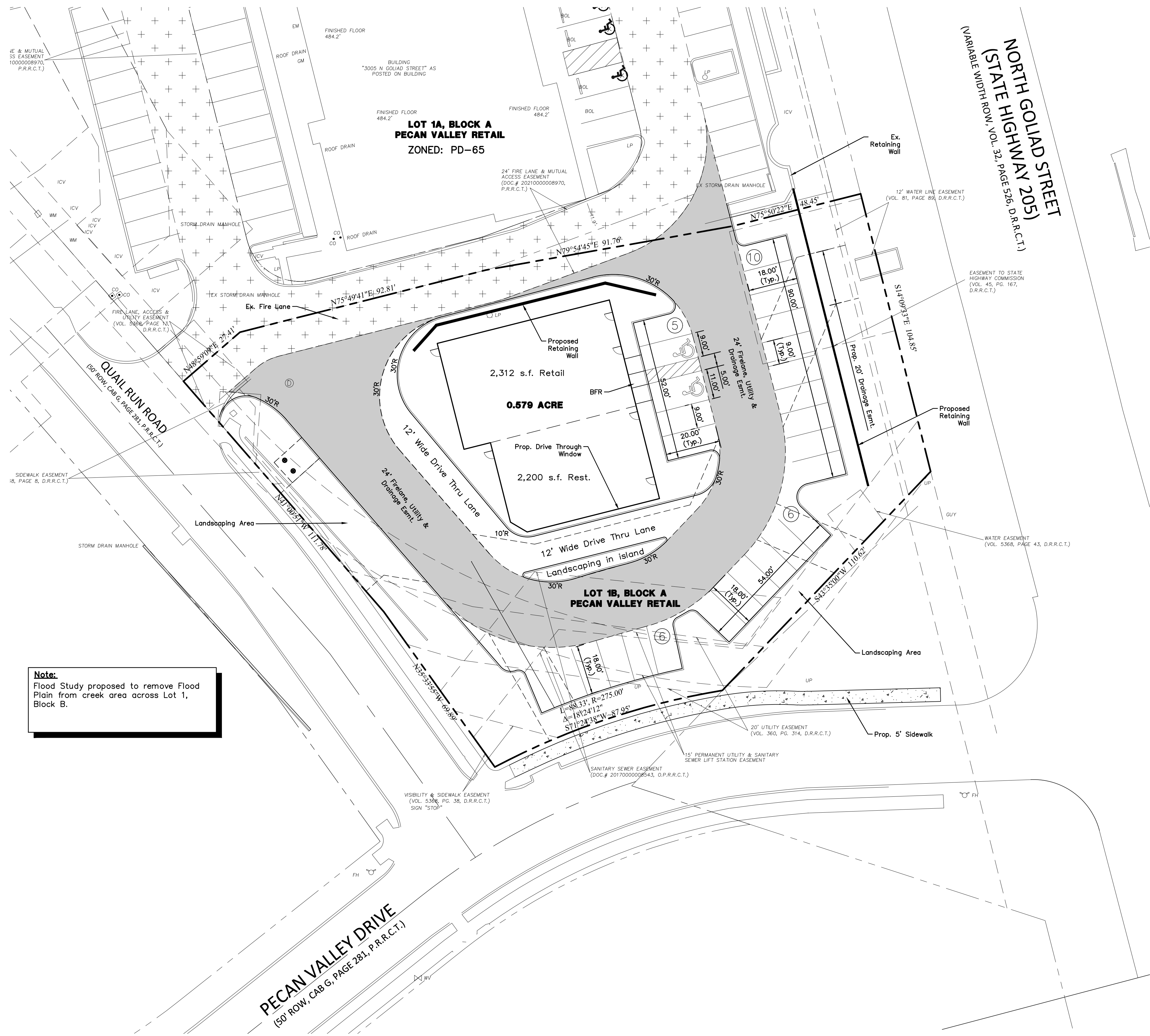
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

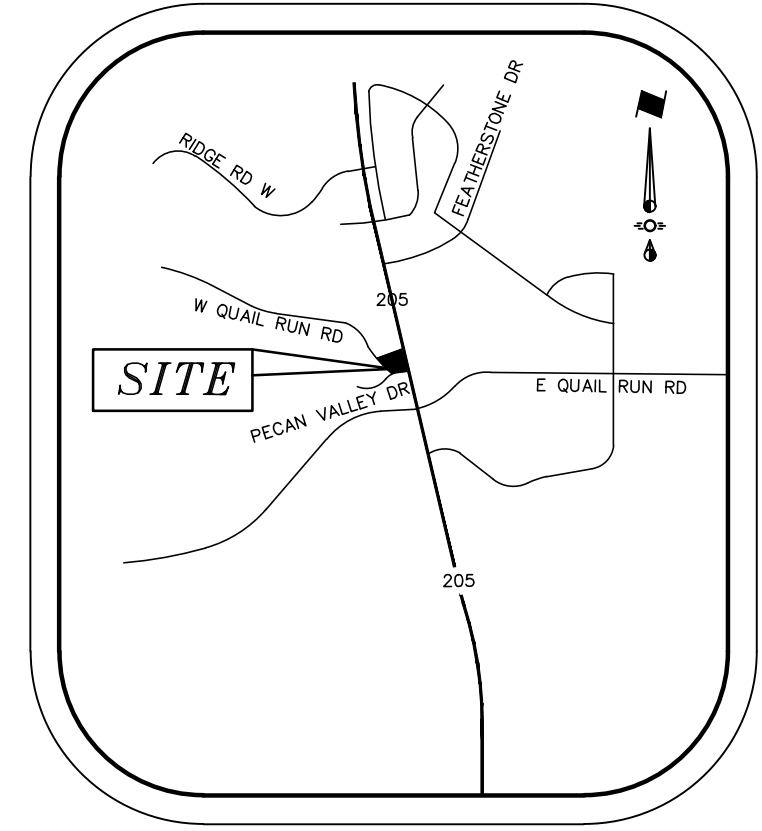
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

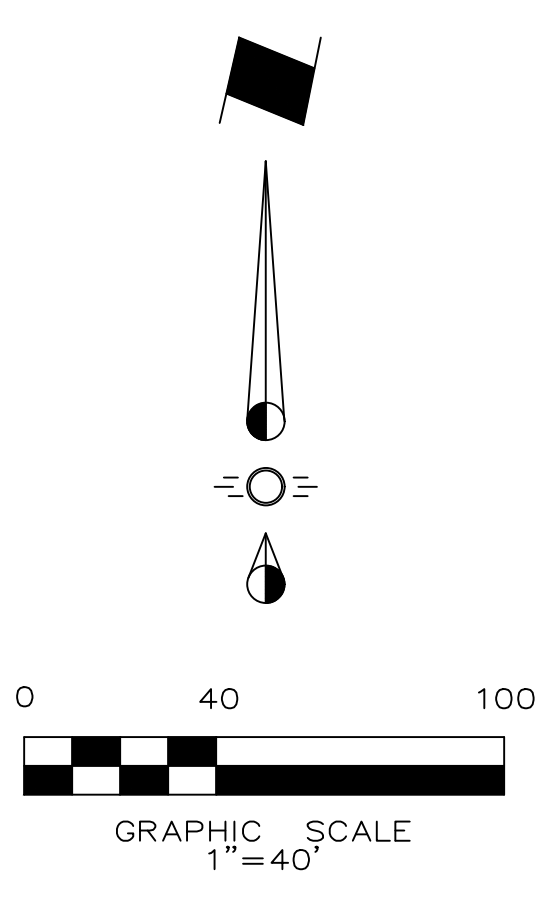
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



VICINITY MAP
NTS



LEGEND

- Proposed Firelane
- Proposed Sidewalk
- Ex. Firelane
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

ENGINEER:
 Cross Engineering Consultants, Inc.
 1720 W. Virginia Street
 McKinney, Texas 75069
 Phone (972) 562-4409
 Fax (972) 562-4471
 Contact: Jon David Cross, P.E.

ARCHITECT:
 Matt King Architect
 4308 Cherry Lane
 Melissa, Tx 75454
 Phone (469) 742-0678
 Contact: Matt King

SURVEYOR:
 Barton Chapa Surveying
 5200 SH 121
 Colleyville, TX. 76034
 Phone (817) 864-1957
 Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
 THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS

1720 W. Virginia Street
 McKinney, Texas 75069
 972.562.4409
 Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I.
 Checked By: C.E.C.I.
 Scale: 1"=40'

SUP SITE PLAN
 SMOOTHIE KING ROCKWALL
 DA Goliad Partners, LP
 CITY OF ROCKWALL, TEXAS

Sheet No.
SUP
 Project No.
 20089

SMOOTHIE KING ROCKWALL

PRELIMINARY NOT
 FOR REGULATORY APPROVAL,
 PERMITTING OR CONSTRUCTION.
 FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING
 ARCHITECT
 TX REGISTRATION
 NO. 17957
 9-15-22

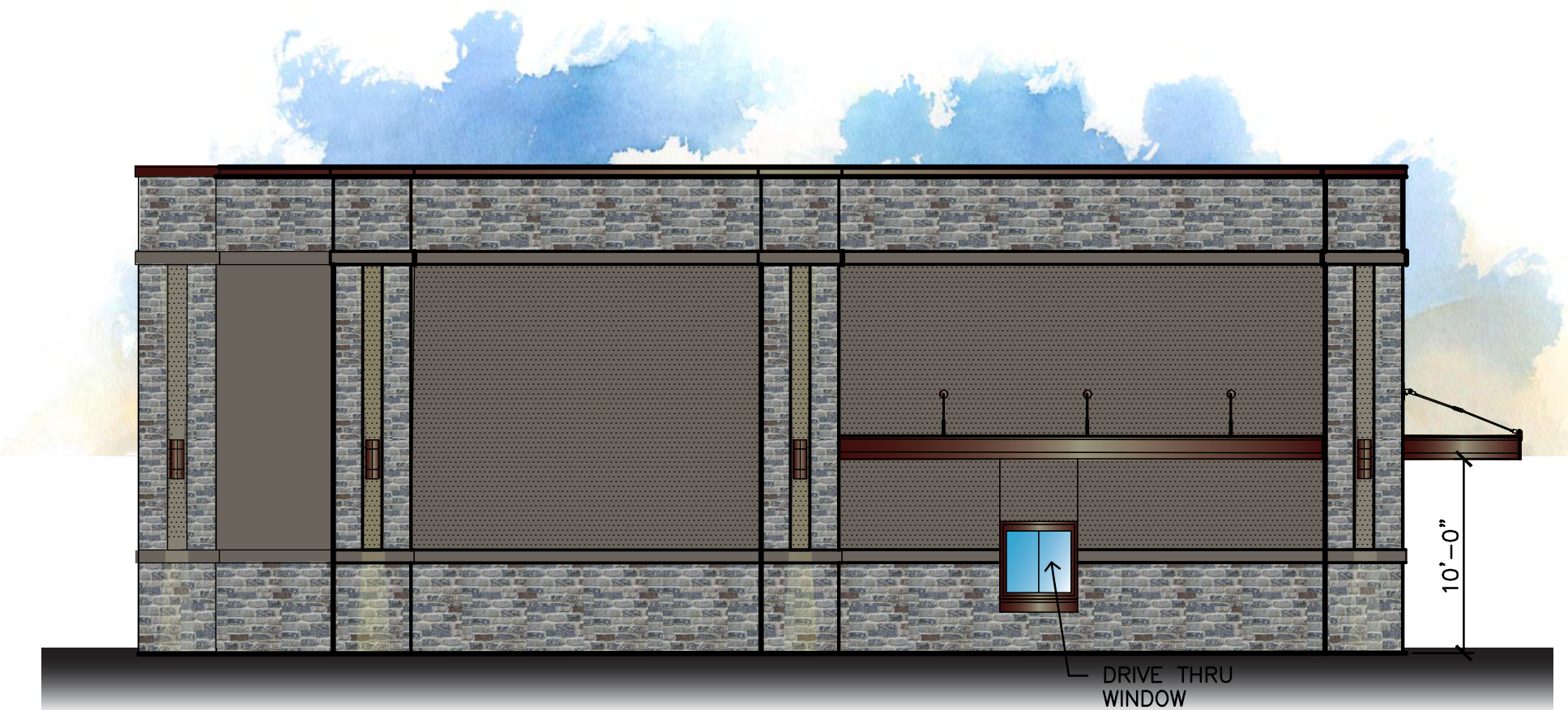
DO NOT SCALE
 THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



2 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS
 MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:

A1

Exterior Elevations

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSE TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES

(17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
106 INCHES

106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.

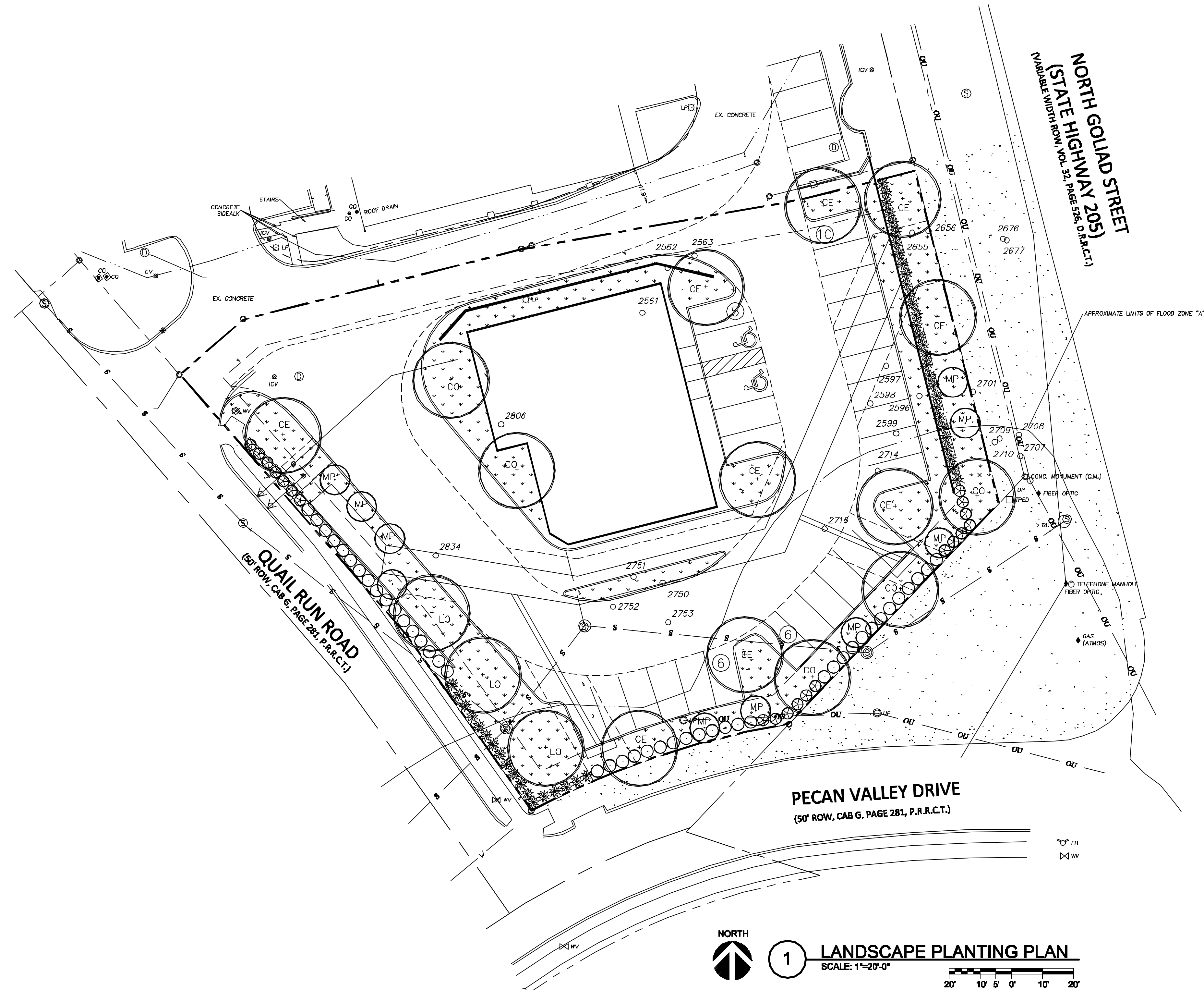
REMAINING INCHES TO MITIGATE = 85

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
LOT AREA = 32,676 SF
20% = 6,535 SF
LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
AND A ROW OF SHRUBS.
QUAIL RUN = 180' 180'/50' = 4+4
PECAN VALLEY = 185' 185'/50' = 4+4
N. GOLIAD ST. = 110' 110'/50' = 2+2

10 CANOPY TREES REQUIRED. 10-PROVIDED.
10 ACCENT TREES REQUIRED. 10-PROVIDED.
111 SHRUBS PROVIDED.
INTERIOR PARKING LOT LANDSCAPING:
4,374 SF PARKING LOT AREA
1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dcwla.com

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, PECAN VALLEY RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dewayne Zinn of Cross Engineering Consultants, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 150 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [*Ordinance No. 17-03*]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along *Pecan Valley Drive* and *N. Goliad Street* to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed restaurant.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF FEBRUARY, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 17, 2023

2nd Reading: February 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 150 Pecan Valley Drive

Legal Description: Lot 1, Block A, Pecan Valley Retail Addition

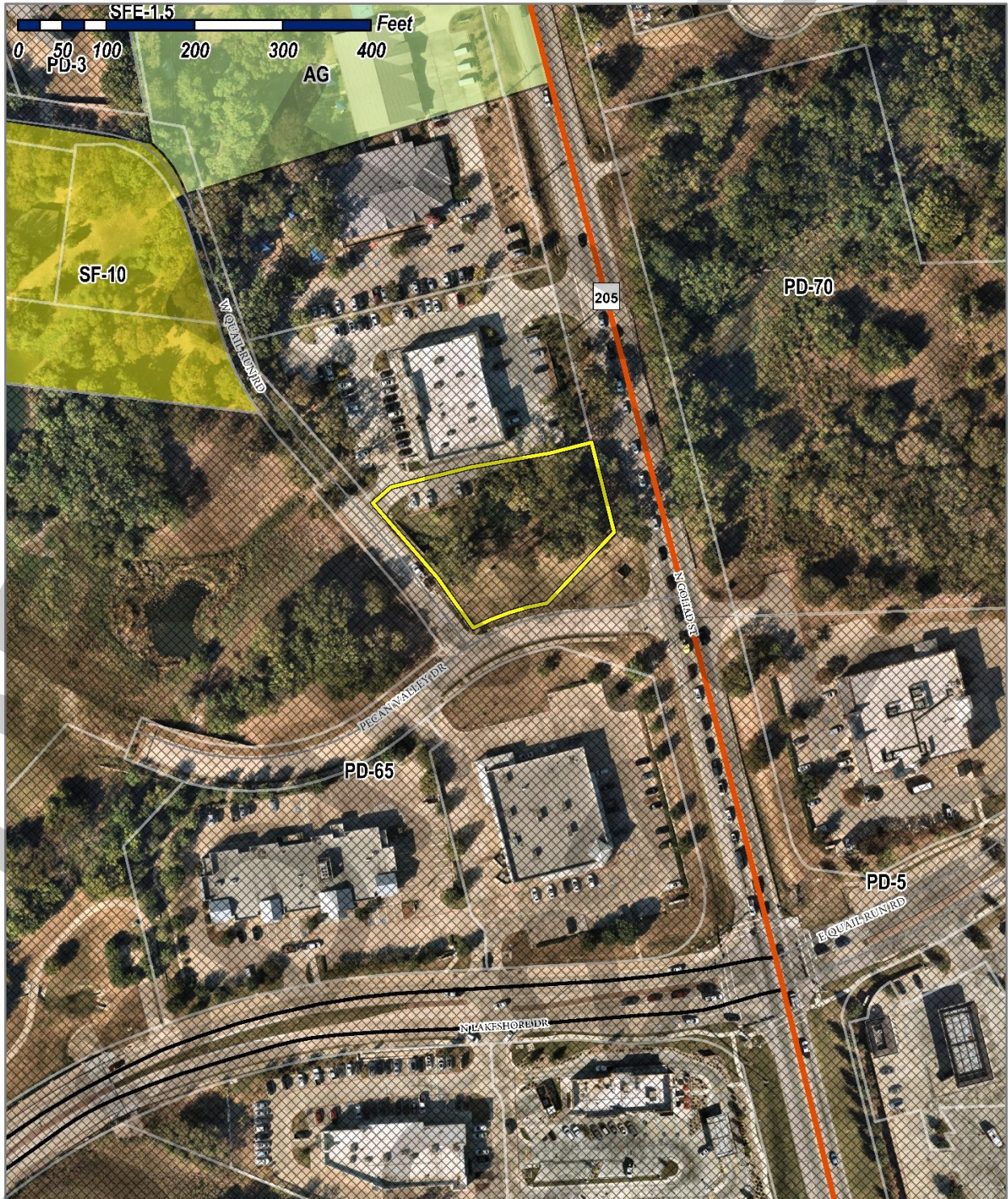


Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

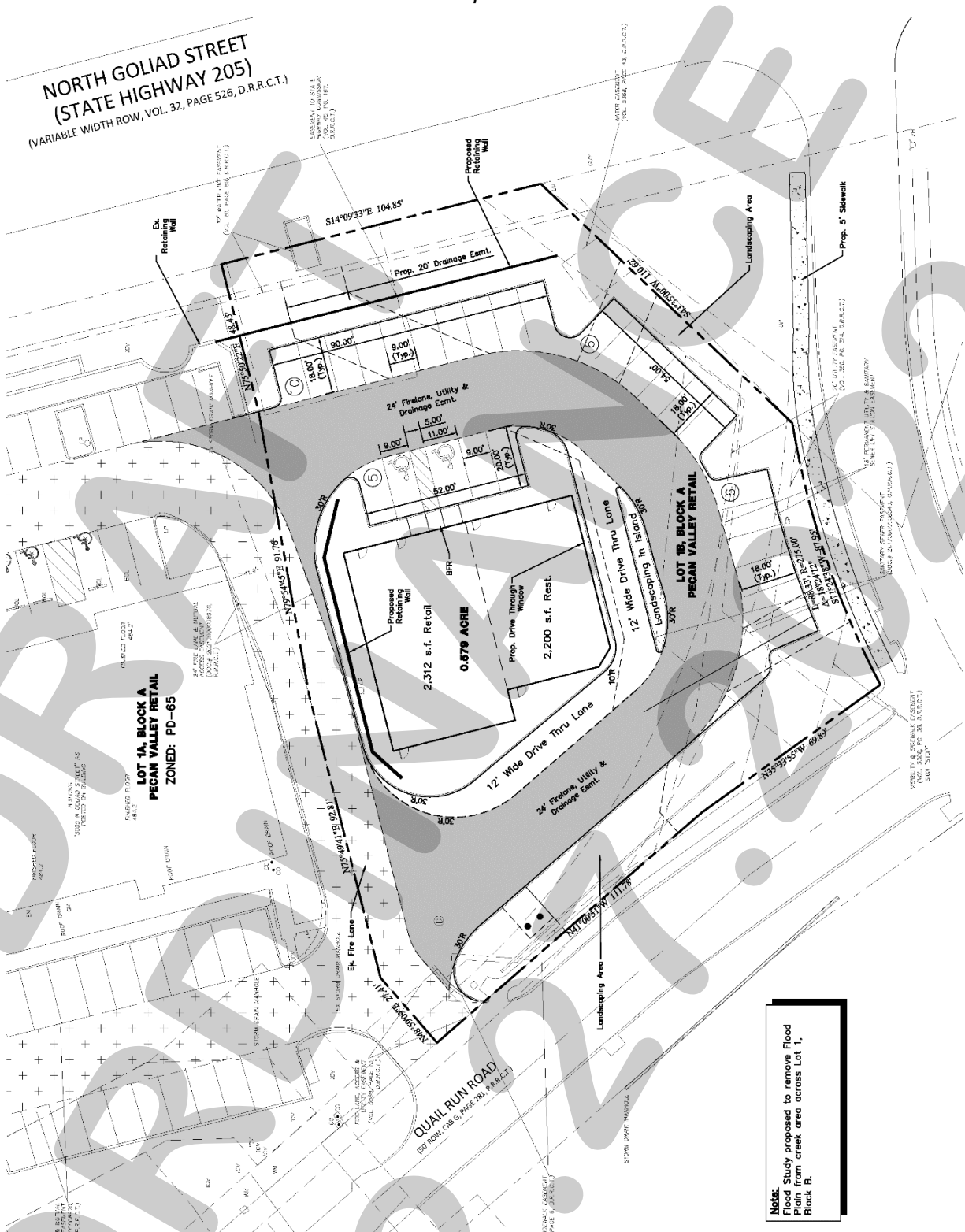
THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

Exhibit 'B':
Concept Plan

NORTH GOLIAD STREET
(STATE HIGHWAY 205)
(VARIABLE WIDTH ROW, VOL. 32, PAGE 526, D.R.R.C.T.)



LOT 1A, BLOCK A
PECAN VALLEY RETAIL
ZONED: PD-65

LOT 1B, BLOCK A
PECAN VALLEY RETAIL

Notes.
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: January 10, 2023

APPLICANT: Dwayne Zinn; *Cross Engineering Consultants, Inc.*

CASE NUMBER: Z2022-059; *Specific Use Permit for a Restaurant with Drive-Through or Drive-In at 150 Pecan Valley Drive*

On January 4, 2023, staff received a letter from the applicant requesting an extension for Case No. Z2022-059 until the February 14, 2023 Planning and Zoning Commission meeting. The reason for the request was the inability of the applicant to fully address staff's comments by the January 3, 2023 deadline. According to Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) public hearing may be continued by the Planning and Zoning Commission or City Council any time after the public hearing has commenced. The continuation of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing. A continued public hearing shall be presumed to be held in the same location as the initial public hearing, unless a different location is announced. The announcement of a continuation at a public hearing shall be sufficient notice and no additional notice is required." This means the Planning and Zoning Commission will need to announce the new public hearing date of February 14, 2023 and no further action or motions are required. Should the Planning and Zoning Commission have any questions, staff will be available at the January 10, 2023 City Council Meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Dwayne Zinn; Cross Engineering Consultants, Inc.
CASE NUMBER: Z2022-059; *SUP for a Smoothie King at 150 Pecan Valley Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed on February 3, 1961 by *Ordinance No. 61-02 [i.e. Case No. A1960-002]*. According to the City's historic zoning maps, the subject property was zoned Single-Family 10 (SF-10) District on May 16, 1983. On January 3, 2006, the subject property was rezoned to Planned Development District 65 (PD-65) for limited General Retail (GR) District land uses by *Ordinance No. 06-02*. Since the time of annexation the subject property has remained vacant.

Staff should note that the same request for a *Restaurant with a Drive-Through or Drive-In* has previously been submitted twice (2) by the owner of the subject property. On July 19, 2019, Jake Fears, PE of Weir & Associates, Inc., submit an application for a Specific Use Permit (SUP) [i.e. *Case No. Z2019-014*] for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In*. The applicant of this case ultimately requested to withdraw the request after failing to address staff comments. This withdraw request was granted by the Planning and Zoning Commission on August 13, 2019 by a vote of 7-0. Following this request, on June 19, 2020, Jake Fears, PE of Weir & Associates, Inc. submitted a subsequent application for a Specific Use Permit (SUP) [i.e. *Case No. Z2020-026*] for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In*. On July 14, 2020, the Planning and Zoning Commission recommended denial by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Moeller absent. The Planning and Zoning Commission based the recommendation for denial on: [1] traffic concerns, [2] concerns about access to the property, and [3] public opposition. Ultimately the applicant requested that the City Council withdraw the case, and the City Council granted this request on July 20, 2020.

PURPOSE

On December 12, 2022, the applicant -- *Dewayne Zinn of Cross Engineering Consultants, Inc.* -- submitted an application requesting approval of a Specific Use Permit (SUP) for the purpose of constructing a *Restaurant with a Drive-Through or Drive-In* on the subject property. The site is subject to the requirements and land uses stipulated for the General Retail (GR) District as stated in Planned Development District 65 (PD-65) and the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

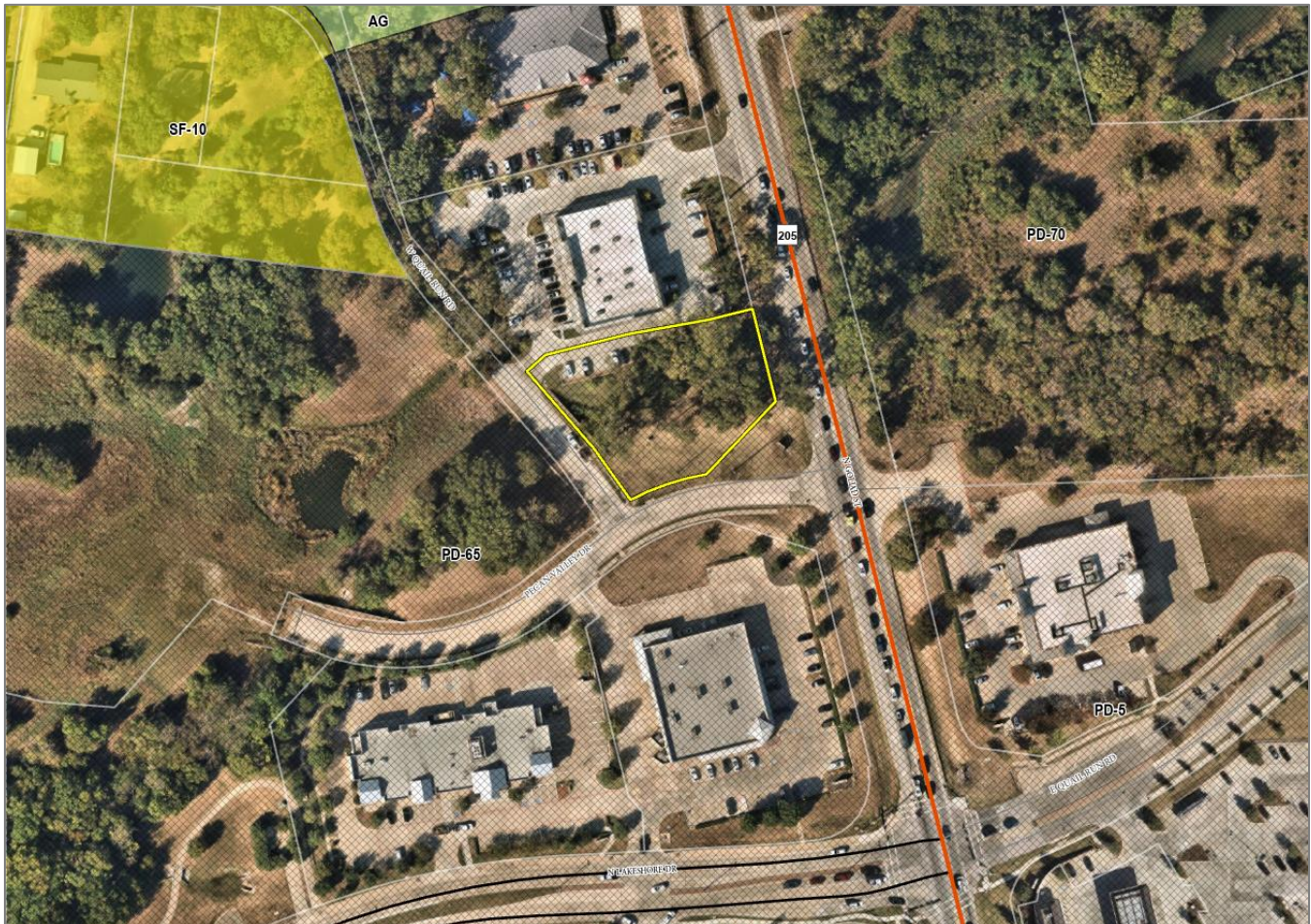
North: Directly north of the subject property is a ~10,900 SF multi-tenant retail facility on a ~1.96-acre parcel of land. Beyond this land use is the Children's Lighthouse Daycare, which is located on a 3.543-acre parcel of land. Both parcels are zoned Planned Development District 65 (PD-65), with a portion of the Children's Lighthouse being zoned Agricultural (AG) District. Continuing north from these properties are additional single-family residential homes zoned Single-Family Estate 1.5 (SFE-1.5) District, Single-Family 16 (SF-16) District, and Agricultural (AG) District.

South: Directly south of the subject property is Pecan Valley Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is Walgreens Pharmacy, which is situated on a 1.9894-acre parcel of land zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is North Lakeshore Drive, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is CVS Pharmacy, which is situated on a 2.519-acre parcel of land zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses. East of the pharmacy is a 62.484-acre vacant tract of land, which is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is W. Quail Run Road, which is designated as a R2U (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Follow this is an 11.723-acre vacant tract of land zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses. In addition, there are five (5) single-family homes zoned Single-Family 10 (SF-10) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow for *Restaurant with less than 2,000 SF with a Drive-Through or Drive-In* on a 0.579-acre portion of a larger 2.542-acre parcel of land. If approved, the development will be located on the northern portion of the parcel where the existing floodplain is located. The concept plan submitted by the applicant indicates that the floodplain on the subject property, that is part Squabble Creek tributary, will be piped across the property.

CONFORMANCE WITH THE CITY'S CODES AND STAFF ANALYSIS

According to Planned Development District 65 (PD-65) the subject property is subject to the land uses permitted for the General Retail (GR) District, and according to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Restaurant with less than 2,000 SF with a Drive-Through or Drive-In* requires a Specific Use Permit (SUP) in the General Retail (GR) District. In addition, the conditional use section of this article requires the following additional requirements for this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The concept plan provided by the applicant shows that the proposed drive-through lane will be able to accommodate exactly six (6) standard sized motor vehicles from the point of order, which conforms to the above requirements. To access the proposed development the applicant is proposing taking access off of an existing drive constructed with *retail center* located north of the subject property. The concept plan also indicates a landscape buffer along N Goliad Street, Pecan Valley Drive, and Quail Run Road, where a note indicates the proper headlight screening will be provided.

Looking at the City's parking requirements, the proposed land use would be considered a full-service restaurant (*i.e. provides indoor or on-site dining facilities*). Based on this designation, the minimum parking requirement would be one (1) parking space per 100 SF of building area, which would translate to a minimum parking requirement of 22 parking spaces. Currently, the concept plan also shows a retail tenant as well. According to the concept plan the retail tenant will require an additional nine (9) parking spaces; for a total of 31 required parking spaces. The proposed concept plan indicates that 27 parking spaces will be provided, with the note that a shared parking agreement will be acquired between the subject property and the retail center to the north. Staff reviewed the parking for the adjacent property to the north and determined that with the shared parking agreement both properties will meet the parking requirements.

With this being said, this request does require a Specific Use Permit (SUP), granting the City Council discretion pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 13, 2022, staff mailed 20 notices to property owners and residents within 500-feet of the subject property. Staff also notified The Shores on Lake Ray Hubbard, Random Oaks/Shores, Stone Creek, Quail Run Valley, and Lakeview Summit Homeowners Associations (HOA's), which are the only Homeowners Associations (HOA's) or Neighborhood Organizations located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to allow for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) That the development and operation of a *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* land use shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance; and,
 - (b) That the development and operation of the proposed drive-through restaurant meet the minimum staking lane requirement of six (6) vehicle for each lane from the service window; and,
 - (c) That the development and operation of the proposed drive-through restaurant provide additional landscape screening to impair the visibility of headlights from motor vehicles.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive				
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK	A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant		
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant		
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.		
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn		
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.		
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069		
PHONE	214-561-6522	PHONE	972-562-4409		
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz		

NOTARY VERIFICATION [REQUIRED]

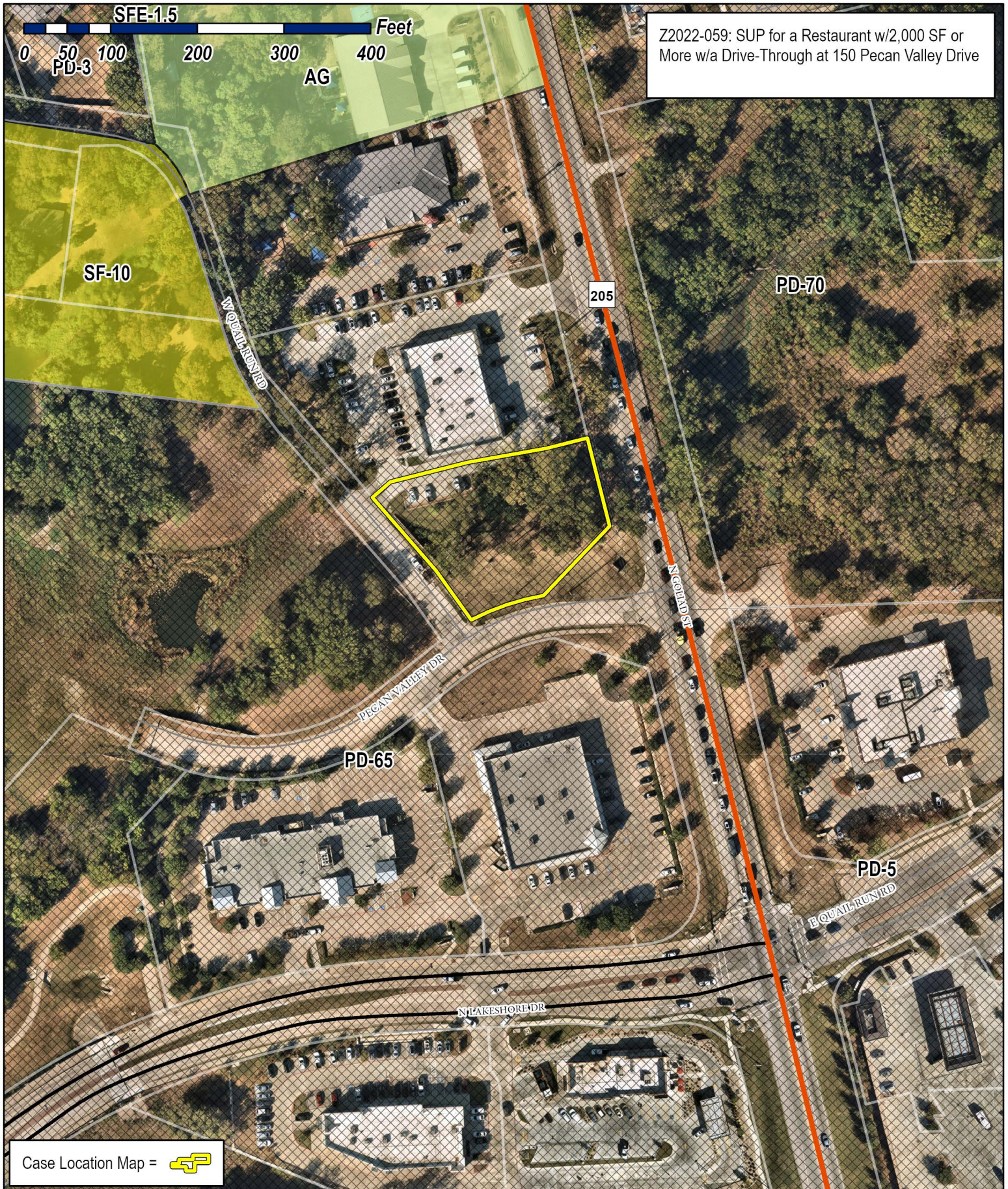
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through at 150 Pecan Valley Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

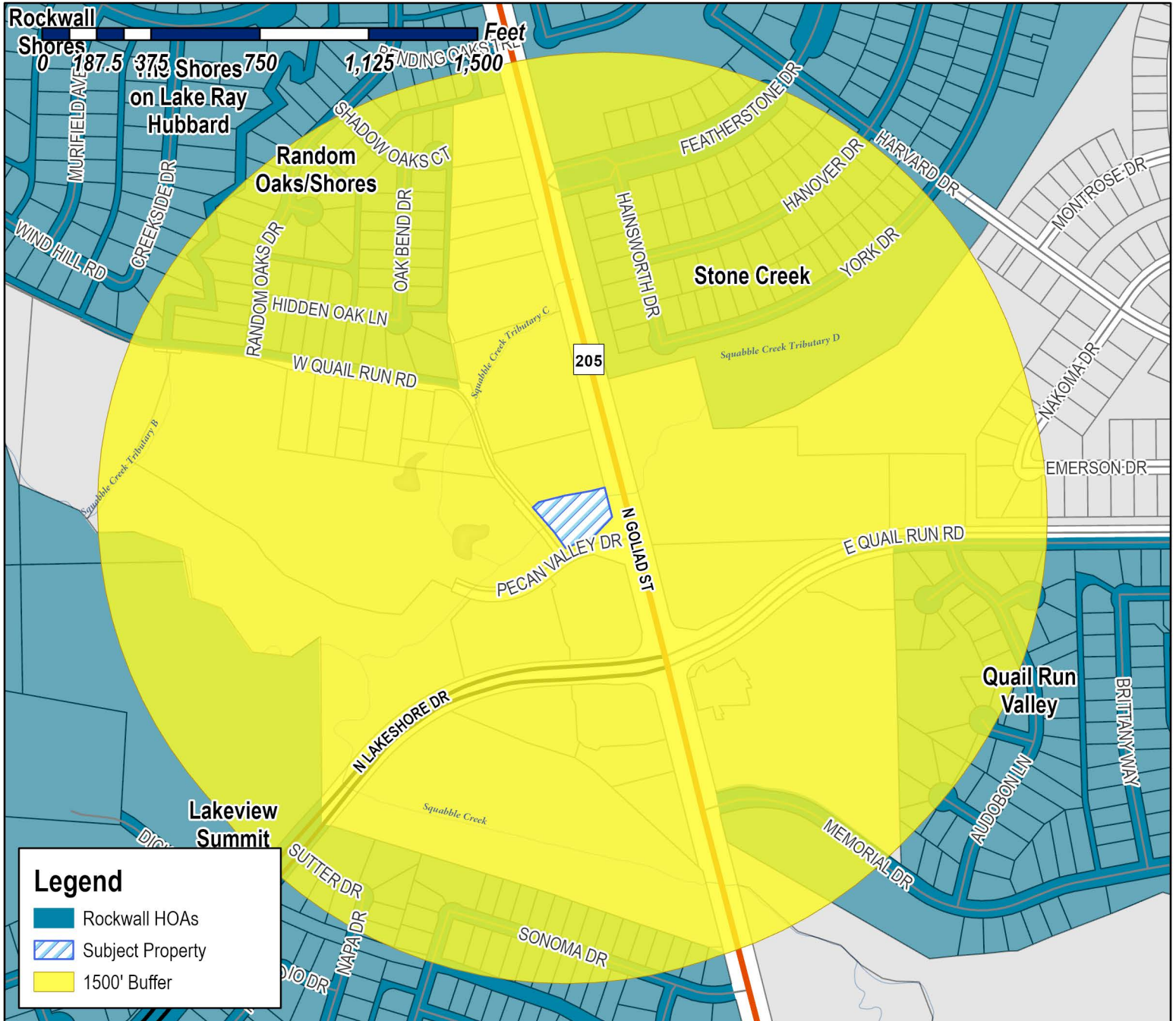




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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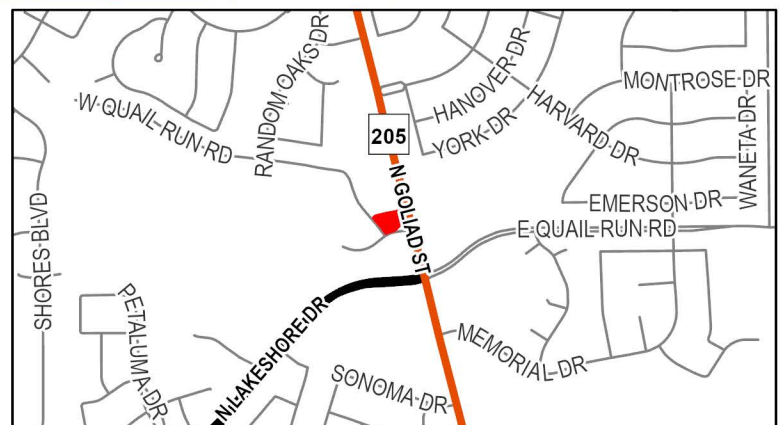
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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:03 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-059]
Attachments: Public Notice Z2022-059.pdf; HOA Map (12.13.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King)* on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Guevara

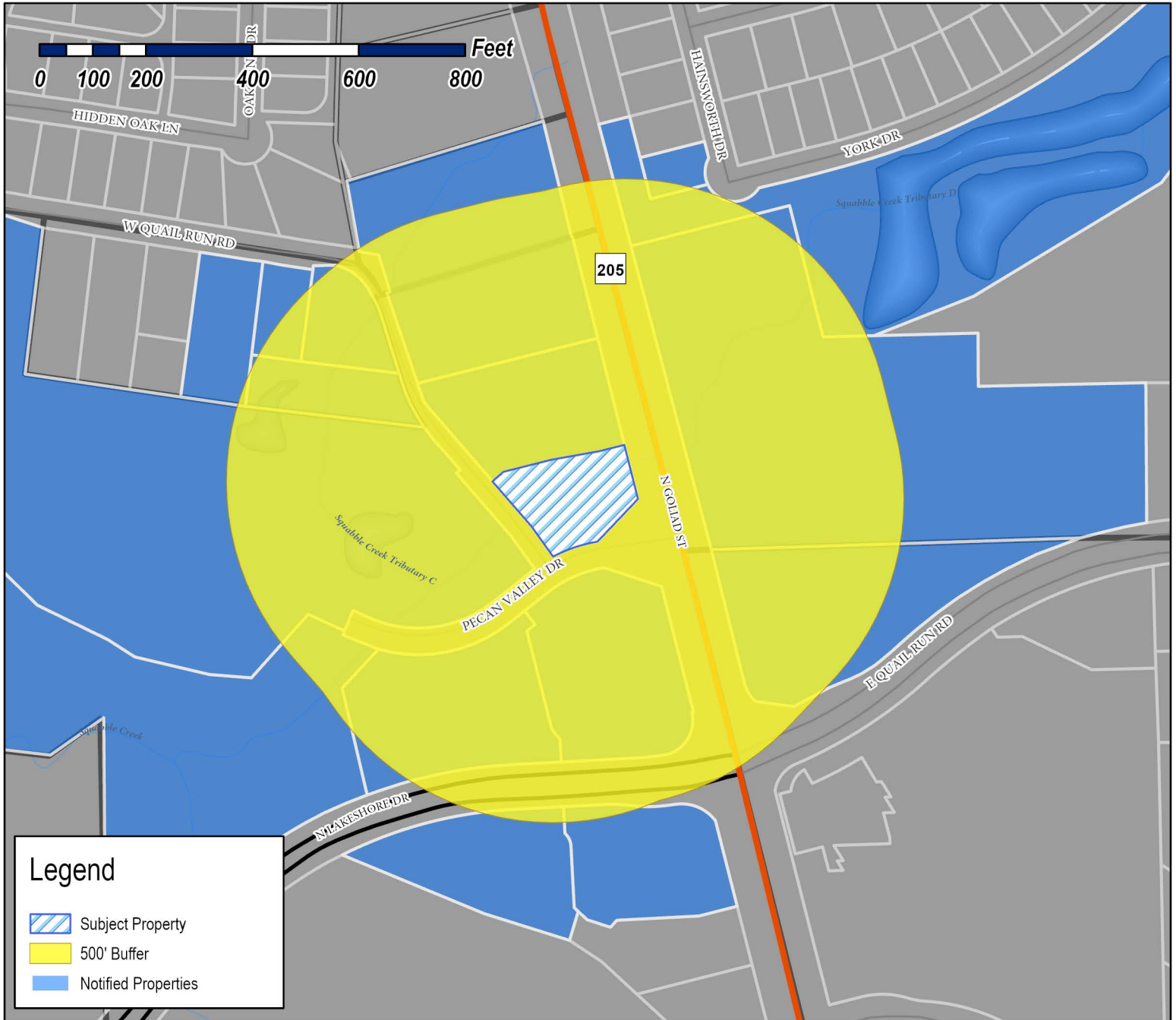
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive-Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
165 E QUAIL RUN RD
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

RESIDENT
1979 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
2268 N Lakeshore
ROCKWALL, TX 75087

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ROCKWALL BROXY LLC
C/O KABATECK LLP
633 WEST FIFTH STREET SUITE 3200
LOS ANGELES, CA 90071

STONE CREEK BALANCE LTD
8214 WESTCHESTER STE 900
DALLAS, TX 75225

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

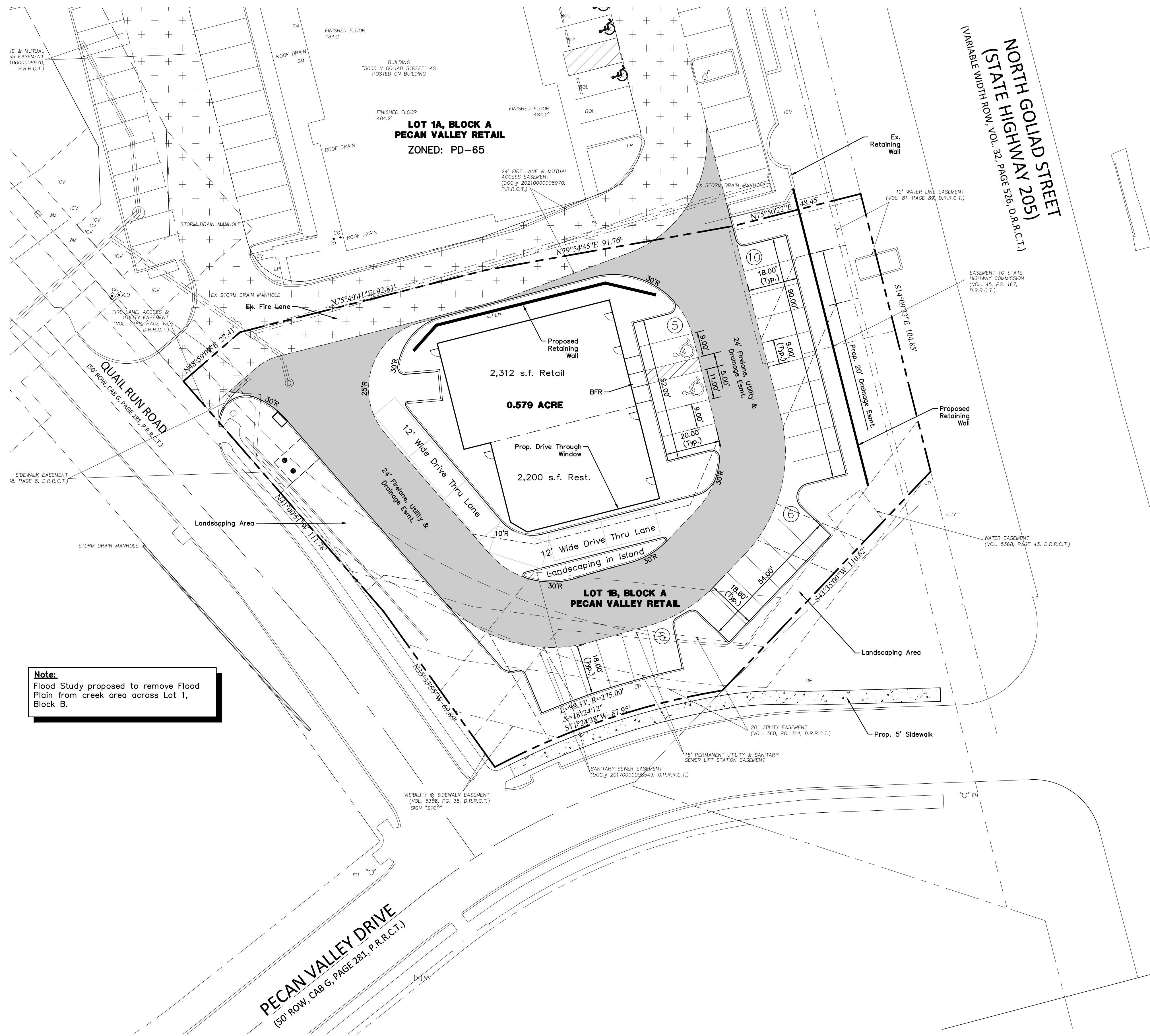
Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

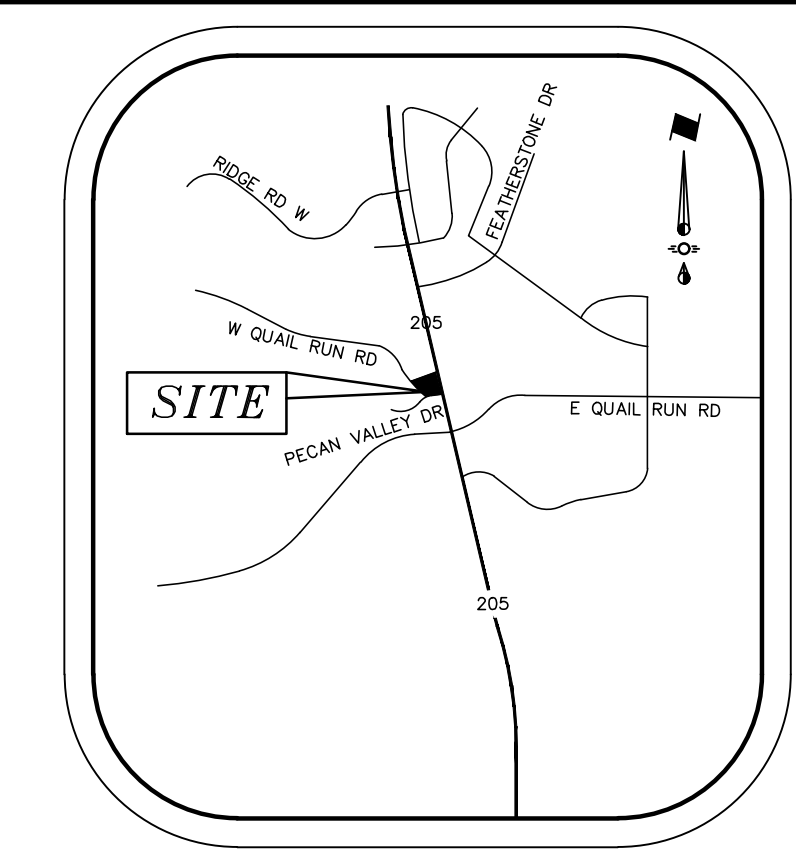
*too much traffic - dangerous! going in or coming out - will be dangerous!
not much green area left in Rockwall and this is a small lot that will destroy area*
Name: *MARY F. and LANTY DEAN*
Address: *216 W. Quail Run Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



VICINITY MAP
NTS

LEGEND

- Proposed Firelane
- Proposed Sidewalk
- Ex. Firelane
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

Note:
Proposed grades on site at location of parking stalls, facing the adjacent streets, will be on average 2-3 feet below the adjacent streets, except at the intersection of Pecan Valley and Quail Run. The areas that are lower will provide evergreen shrubs for screening headlights, with no berm needed. Where the parking is level with the adjacent grades, excess fill material to create a berm is not allowed by Engineering, due to the depth of the existing sanitary sewer. Evergreen shrubs will be planted as high as allowed, and planted as densely as feasible for proper growth.

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.

ARCHITECT:
Matt King Architect
4308 Cherry Lane
Melissa, Tx 75454
Phone (469) 742-0678
Contact: Matt King

SURVEYOR:
Barton Chapa Surveying
5200 SH 121
Colleyville, TX. 76034
Phone (817) 864-1957
Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

CASE NO. Z2022-059

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS

1720 W. Virginia Street
McKinney, Texas 75069
972.562.4409
Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=40'

Sheet No.	
SUP	
Project No. 20089	
CITY OF ROCKWALL, TEXAS	

SMOOTHIE KING ROCKWALL

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING ARCHITECT
 TX REGISTRATION NO. 17957
 9-15-22

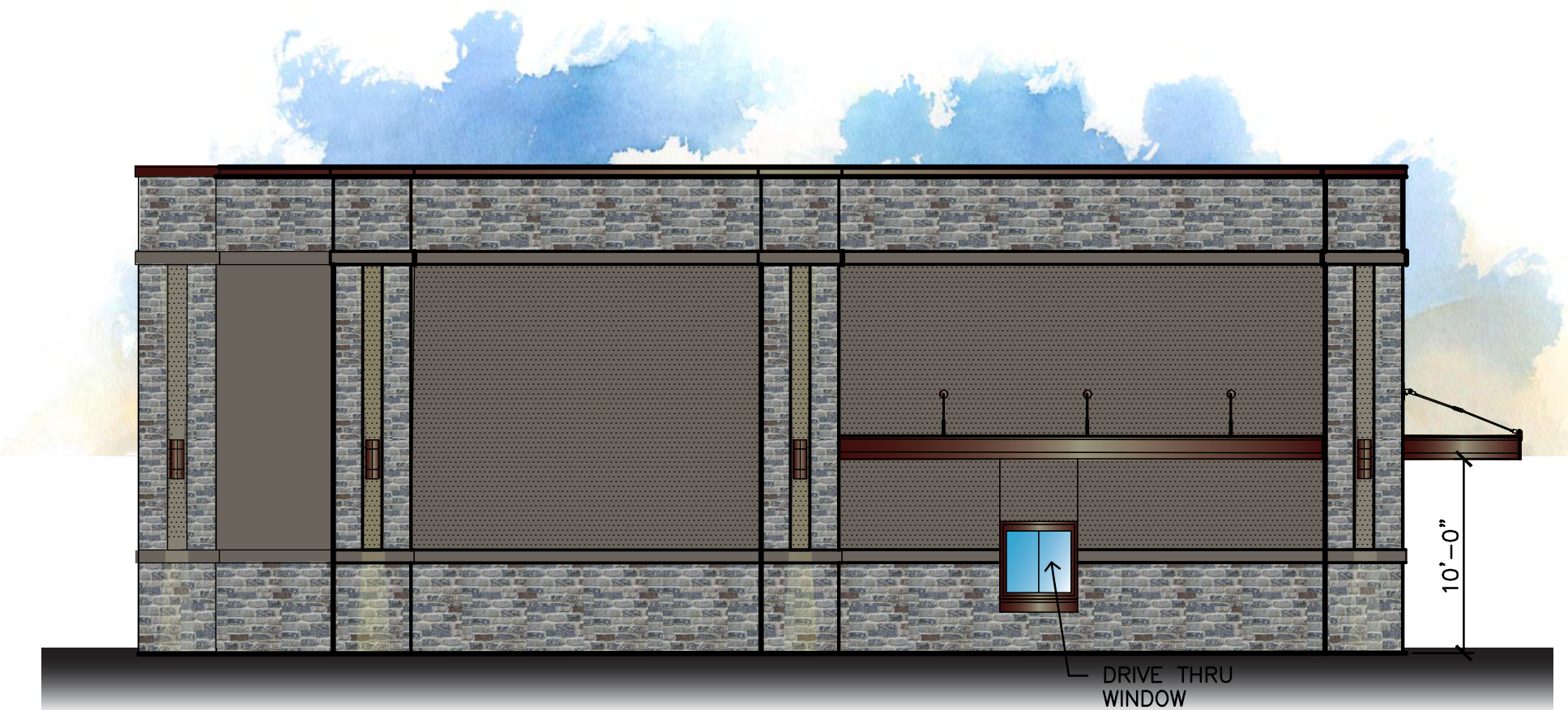
DO NOT SCALE THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



2 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:

A1

Exterior Elevations

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSE TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FLING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

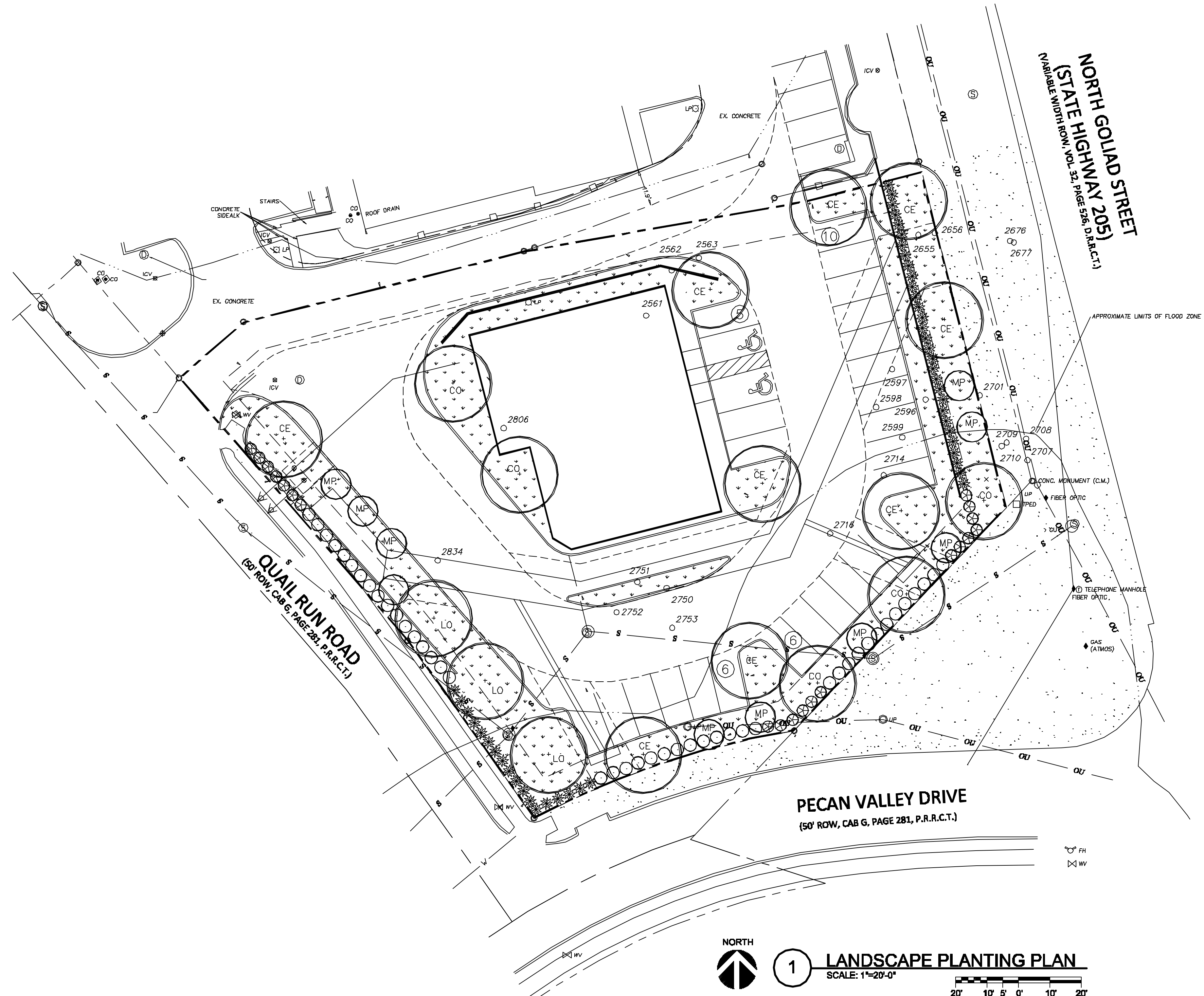
EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES
 (17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
 106 INCHES
 106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.
 REMAINING INCHES TO MITIGATE = 85

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
 LOT AREA = 32,676 SF
 20% = 6,535 SF
 LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
 WITH 7,513 SF = IN FRONT YARD.
 LANDSCAPE BUFFER AT STREET R.O.W. =
 10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
 AND A ROW OF SHRUBS.
 QUAIL RUN = 180' 180'/50' = 4+4
 PECAN VALLEY = 185' 185'/50' = 4+4
 N. GOLIAD ST. = 110' 110'/50' = 2+2
 10 CANOPY TREES REQUIRED. 10-PROVIDED.
 10 ACCENT TREES REQUIRED. 10-PROVIDED.
 111 SHRUBS PROVIDED.
 INTERIOR PARKING LOT LANDSCAPING:
 4,374 SF PARKING LOT AREA
 1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect</p> <p>Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

PLAN PREPARED BY:
 DON C. WHEELER, RLA
 PO BOX 470865
 FT. WORTH, TX 76147
 817.335.1405
 don@dcwla.com

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [*ORDINANCE NO. 17-03*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, PECAN VALLEY RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dewayne Zinn of Cross Engineering Consultants, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [*Ordinance No. 17-03*] for General Retail (GR) District land uses, addressed as 150 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 65 (PD-65) [*Ordinance No. 17-03*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [*Ordinance No. 17-03*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [*Ordinance No. 17-03*]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping and a berm or masonry wall shall be required along *Pecan Valley Drive* and *N. Goliad Street* at the time of site plan to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL,
TEXAS, THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 150 Pecan Valley Drive

Legal Description: Lot 1, Block A, Pecan Valley Retail Addition

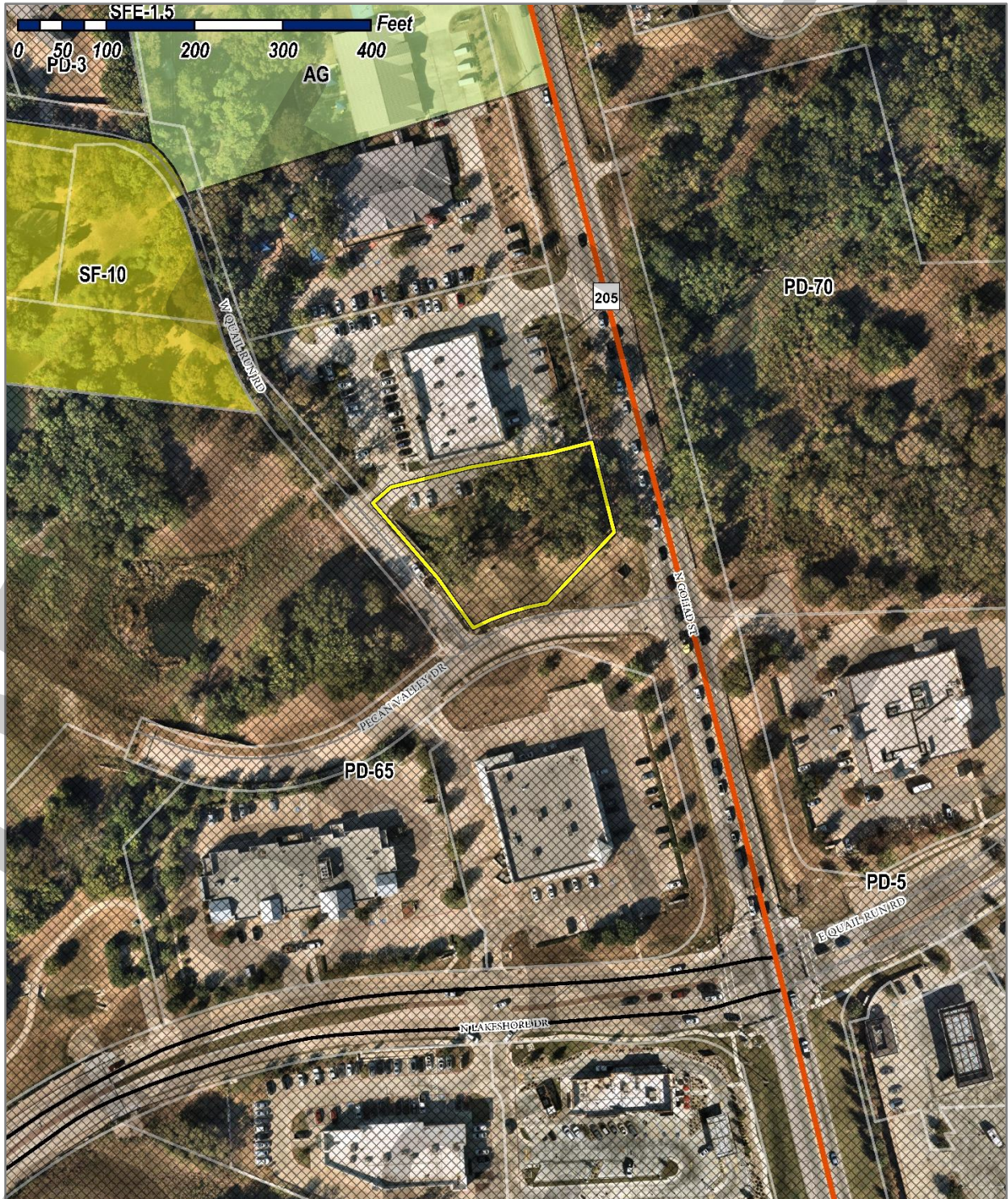


Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

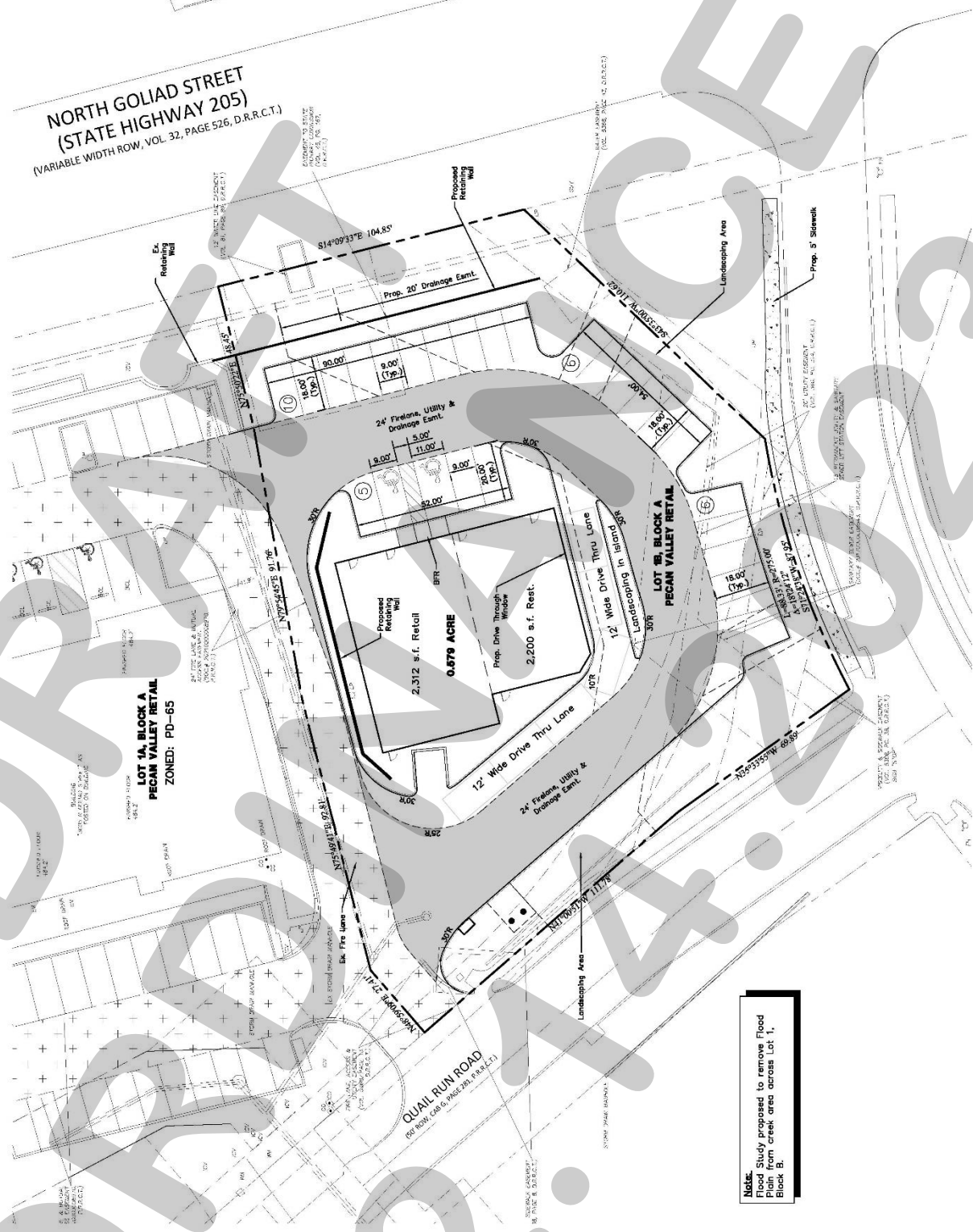
THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

**Exhibit 'B':
Concept Plan**

**NORTH GOLIAD STREET
(STATE HIGHWAY 205)**
(VARIABLE WIDTH ROW, VOL. 32, PAGE 526, D.R.R.C.T.)



**LOT 1A, BLOCK A
PECAN VALLEY RETAIL**
ZONED: PD-65

**LOT 1B, BLOCK A
PECAN VALLEY RETAIL**

Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: February 21, 2023
APPLICANT: Dwayne Zinn; Cross Engineering Consultants, Inc.
CASE NUMBER: Z2022-059; *SUP for a Smoothie King at 150 Pecan Valley Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed on February 3, 1961 by *Ordinance No. 61-02 [i.e. Case No. A1960-002]*. According to the City's historic zoning maps, the subject property was zoned Single-Family 10 (SF-10) District on May 16, 1983. On January 3, 2006, the subject property was rezoned to Planned Development District 65 (PD-65) for limited General Retail (GR) District land uses by *Ordinance No. 06-02*. Since the time of annexation the subject property has remained vacant.

Staff should note that the same request for a *Restaurant with a Drive-Through or Drive-In* has previously been submitted twice (2) by the owner of the subject property. On July 19, 2019, Jake Fears, PE of Weir & Associates, Inc., submit an application for a Specific Use Permit (SUP) [i.e. *Case No. Z2019-014*] for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In*. The applicant of this case ultimately requested to withdraw the request after failing to address staff comments. This withdraw request was granted by the Planning and Zoning Commission on August 13, 2019 by a vote of 7-0. Following this request, on June 19, 2020, Jake Fears, PE of Weir & Associates, Inc. submitted a subsequent application for a Specific Use Permit (SUP) [i.e. *Case No. Z2020-026*] for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In*. On July 14, 2020, the Planning and Zoning Commission recommended denial by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Moeller absent. The Planning and Zoning Commission based the recommendation for denial on: [1] traffic concerns, [2] concerns about access to the property, and [3] public opposition. Ultimately the applicant requested that the City Council withdraw the case, and the City Council granted this request on July 20, 2020.

PURPOSE

On December 12, 2022, the applicant -- *Dewayne Zinn of Cross Engineering Consultants, Inc.* -- submitted an application requesting approval of a Specific Use Permit (SUP) for the purpose of constructing a *Restaurant with a Drive-Through or Drive-In* on the subject property. The site is subject to the requirements and land uses stipulated for the General Retail (GR) District as stated in Planned Development District 65 (PD-65) and the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

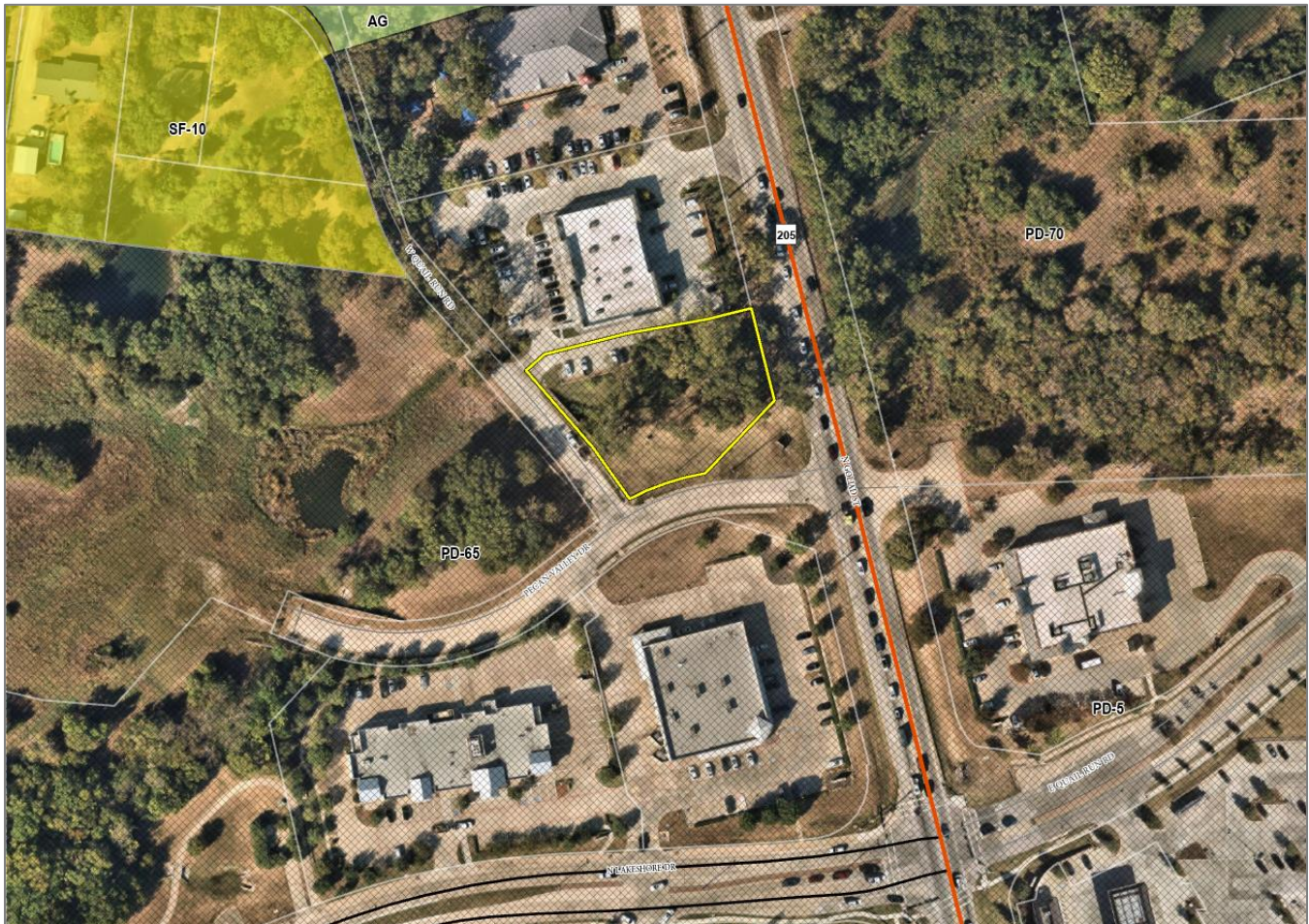
North: Directly north of the subject property is a ~10,900 SF multi-tenant retail facility on a ~1.96-acre parcel of land. Beyond this land use is the Children's Lighthouse Daycare, which is located on a 3.543-acre parcel of land. Both parcels are zoned Planned Development District 65 (PD-65), with a portion of the Children's Lighthouse being zoned Agricultural (AG) District. Continuing north from these properties are additional single-family residential homes zoned Single-Family Estate 1.5 (SFE-1.5) District, Single-Family 16 (SF-16) District, and Agricultural (AG) District.

South: Directly south of the subject property is Pecan Valley Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is Walgreens Pharmacy, which is situated on a 1.9894-acre parcel of land zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is North Lakeshore Drive, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is CVS Pharmacy, which is situated on a 2.519-acre parcel of land zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses. East of the pharmacy is a 62.484-acre vacant tract of land, which is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is W. Quail Run Road, which is designated as a R2U (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Follow this is an 11.723-acre vacant tract of land zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses. In addition, there are five (5) single-family homes zoned Single-Family 10 (SF-10) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow for *Restaurant with less than 2,000 SF with a Drive-Through or Drive-In* on a 0.579-acre portion of a larger 2.542-acre parcel of land. If approved, the development will be located on the northern portion of the parcel where the existing floodplain is located. The concept plan submitted by the applicant indicates that the floodplain on the subject property, that is part Squabble Creek tributary, will be piped across the property.

CONFORMANCE WITH THE CITY'S CODES AND STAFF ANALYSIS

According to Planned Development District 65 (PD-65) the subject property is subject to the land uses permitted for the General Retail (GR) District, and according to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Restaurant with less than 2,000 SF with a Drive-Through or Drive-In* requires a Specific Use Permit (SUP) in the General Retail (GR) District. In addition, the conditional use section of this article requires the following additional requirements for this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The concept plan provided by the applicant shows that the proposed drive-through lane will be able to accommodate exactly six (6) standard sized motor vehicles from the point of order, which conforms to the above requirements. To access the proposed development the applicant is proposing taking access off of an existing drive constructed with *retail center* located north of the subject property. The concept plan also indicates a landscape buffer along N Goliad Street, Pecan Valley Drive, and Quail Run Road, where a note indicates the proper headlight screening will be provided.

Looking at the City's parking requirements, the proposed land use would be considered a full-service restaurant (*i.e. provides indoor or on-site dining facilities*). Based on this designation, the minimum parking requirement would be one (1) parking space per 100 SF of building area, which would translate to a minimum parking requirement of 22 parking spaces. Currently, the concept plan also shows a retail tenant as well. According to the concept plan the retail tenant will require an additional nine (9) parking spaces; for a total of 31 required parking spaces. The proposed concept plan indicates that 27 parking spaces will be provided, with the note that a shared parking agreement will be acquired between the subject property and the retail center to the north. Staff reviewed the parking for the adjacent property to the north and determined that with the shared parking agreement both properties will meet the parking requirements.

With this being said, this request does require a Specific Use Permit (SUP), granting the City Council discretion pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 13, 2022, staff mailed 20 notices to property owners and residents within 500-feet of the subject property. Staff also notified The Shores on Lake Ray Hubbard, Random Oaks/Shores, Stone Creek, Quail Run Valley, and Lakeview Summit Homeowners Associations (HOA's), which are the only Homeowners Associations (HOA's) or Neighborhood Organizations located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to allow for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) That the development and operation of a *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* land use shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance; and,
 - (b) That the development and operation of the proposed drive-through restaurant meet the minimum staking lane requirement of six (6) vehicle for each lane from the service window; and,
 - (c) That the development and operation of the proposed drive-through restaurant provide additional landscape screening to impair the visibility of headlights from motor vehicles.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On February 14, 2023, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Deckard and Hustings dissenting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive				
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK	A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant		
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant		
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.		
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn		
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.		
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069		
PHONE	214-561-6522	PHONE	972-562-4409		
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz		

NOTARY VERIFICATION [REQUIRED]

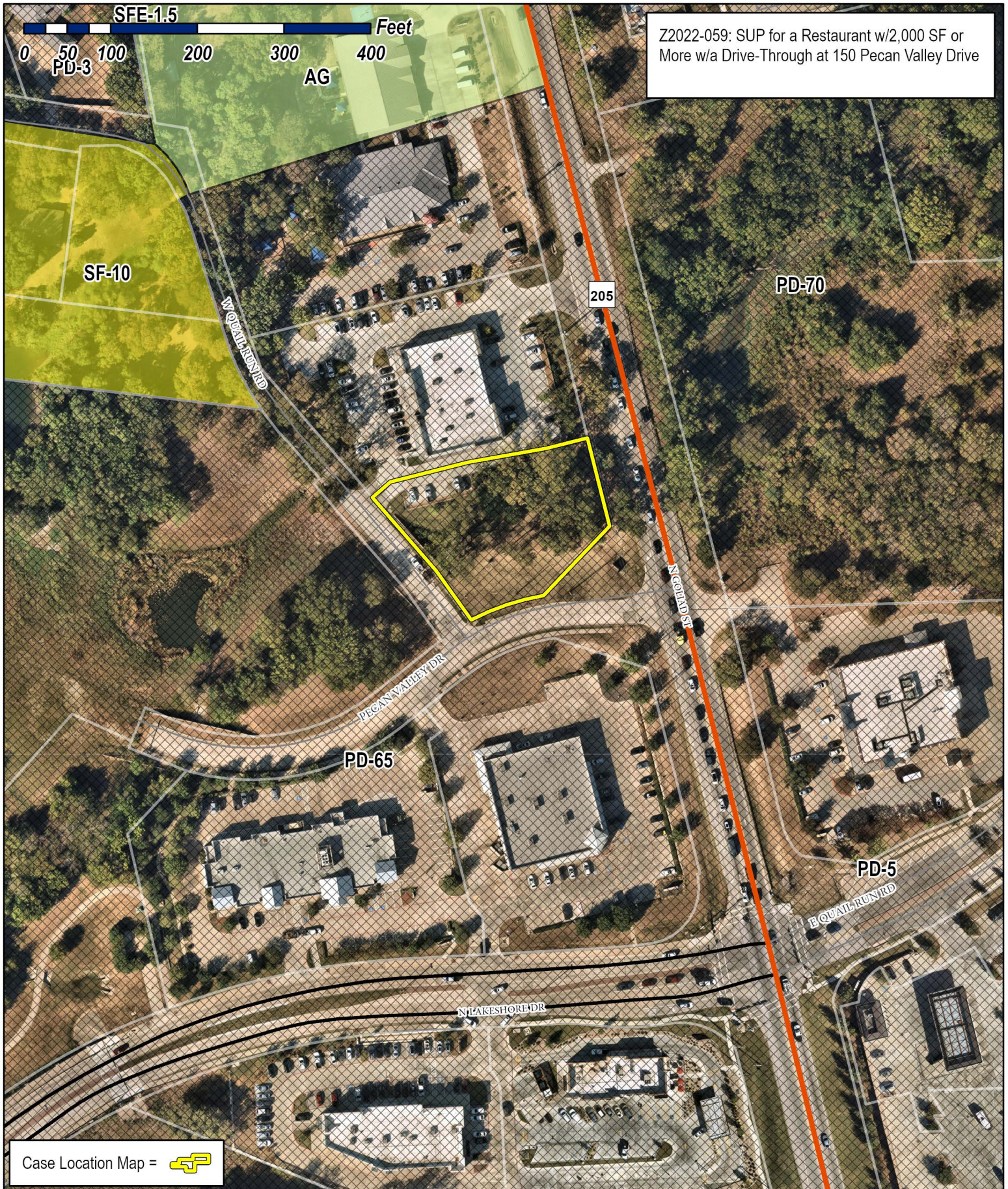
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through at 150 Pecan Valley Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

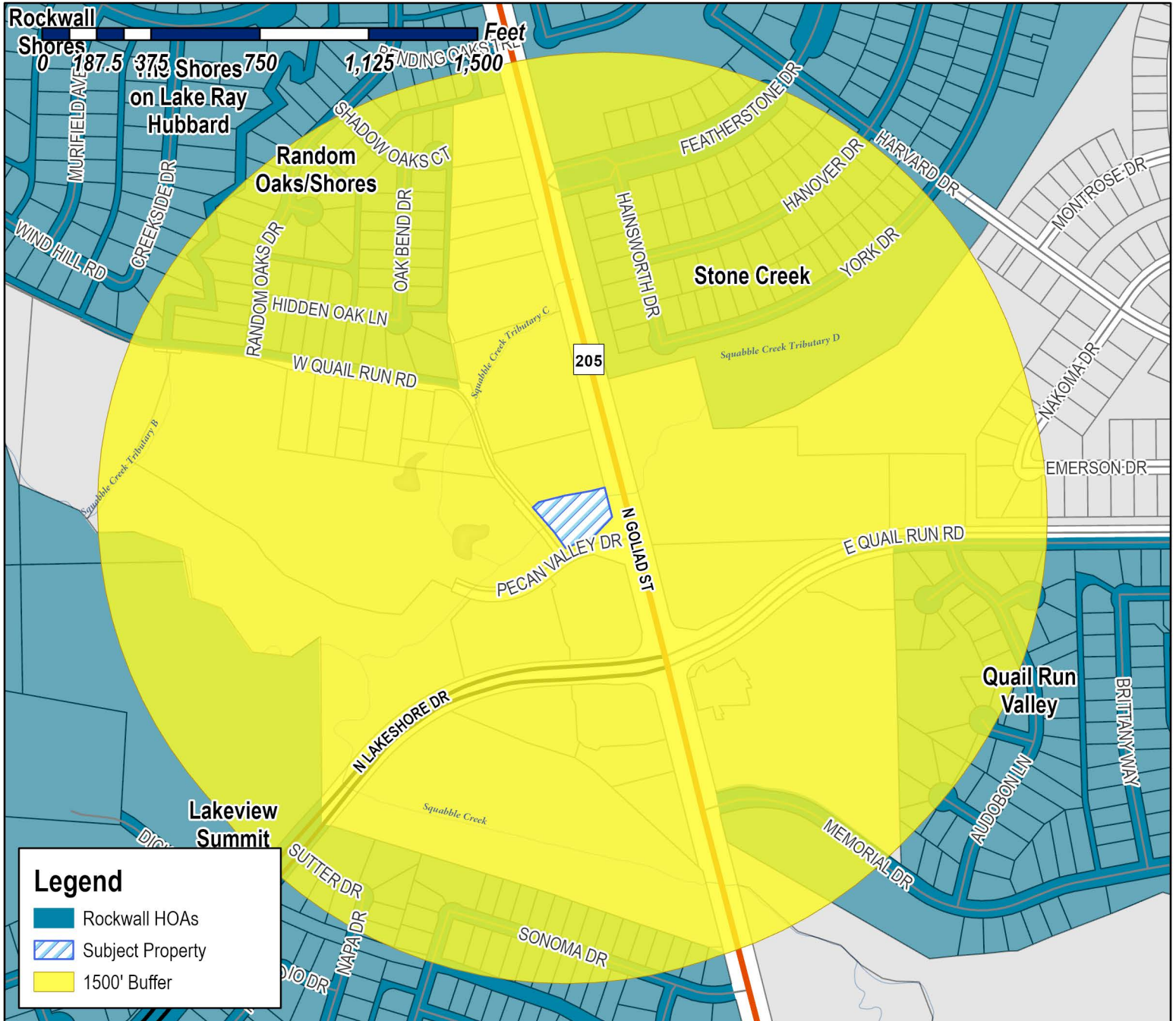




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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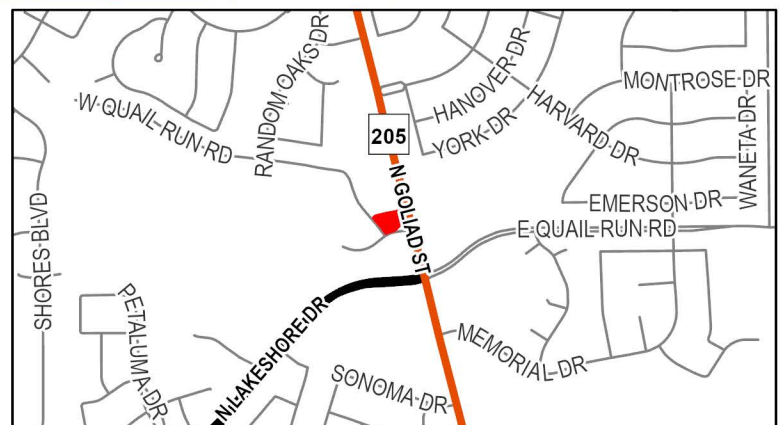
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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:03 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-059]
Attachments: Public Notice Z2022-059.pdf; HOA Map (12.13.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King)* on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Guevara

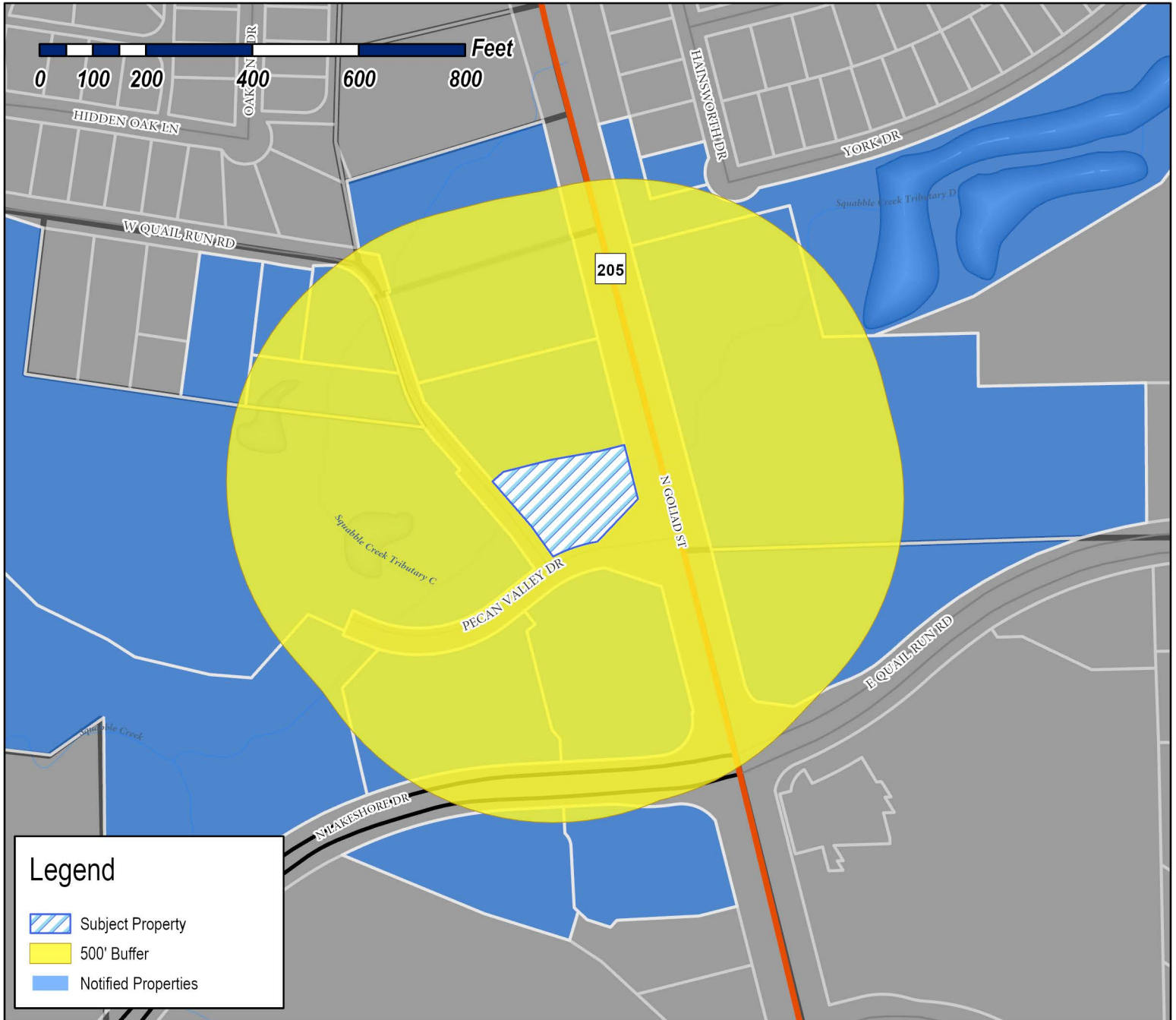
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive-Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
165 E QUAIL RUN RD
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

RESIDENT
1979 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
2268 N Lakeshore
ROCKWALL, TX 75087

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ROCKWALL BROXY LLC
C/O KABATECK LLP
633 WEST FIFTH STREET SUITE 3200
LOS ANGELES, CA 90071

STONE CREEK BALANCE LTD
8214 WESTCHESTER STE 900
DALLAS, TX 75225

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Please place a check mark on the appropriate line below:

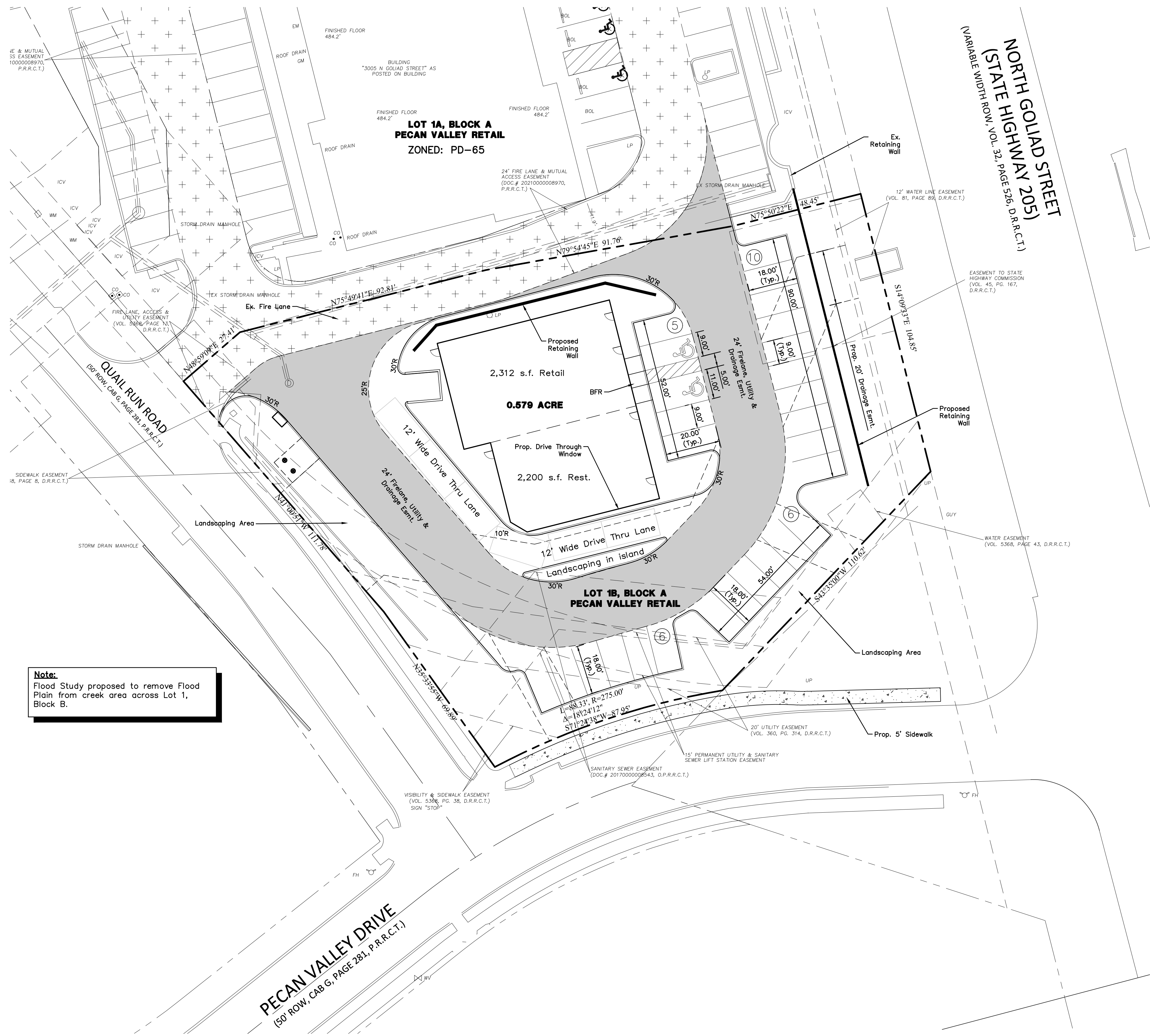
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

too much traffic - dangerous! going in or coming out - will be dangerous!
not much green area left in Rockwall and this is a small lot that will destroy area

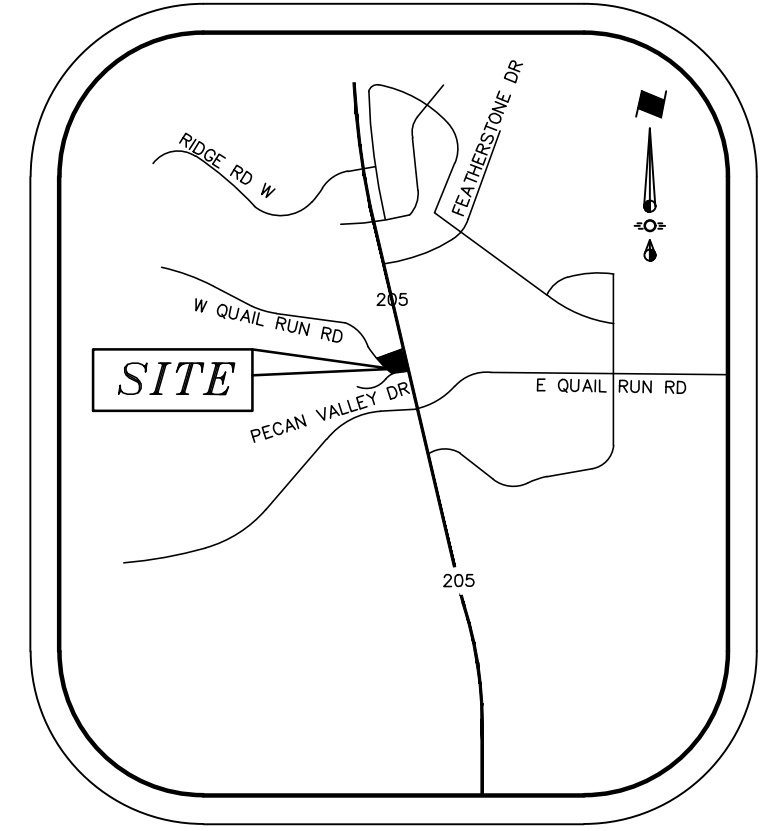
Name: *MARY F. and LANTY DEAN*
 Address: *216 W. Quail Run Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

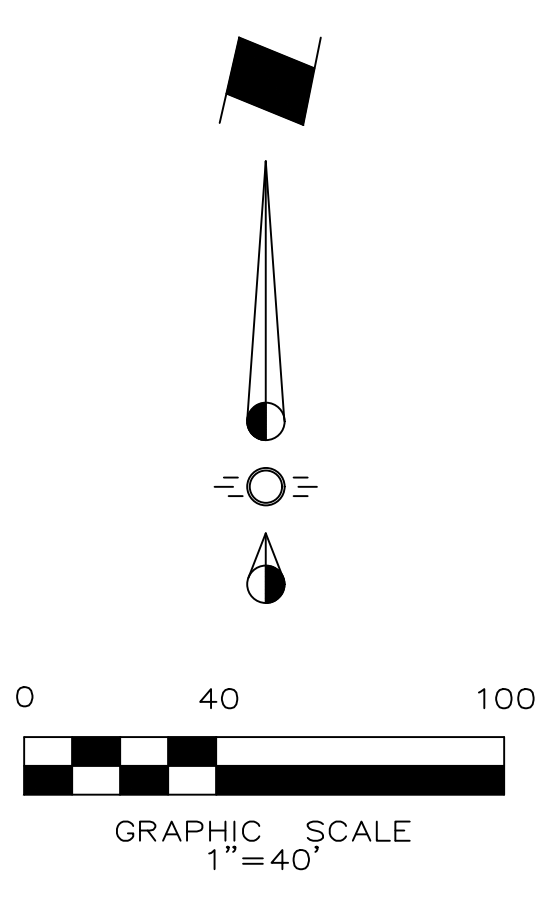
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



VICINITY MAP
NTS



LEGEND

- Proposed Firelane
- Proposed Sidewalk
- Ex. Firelane
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- BFR Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

Note:
Proposed grades on site at location of parking stalls, facing the adjacent streets, will be on average 2-3 feet below the adjacent streets, except at the intersection of Pecan Valley and Quail Run. The areas that are lower will provide evergreen shrubs for screening headlights, with no berm needed. Where the parking is level with the adjacent grades, excess fill material to create a berm is not allowed by Engineering, due to the depth of the existing sanitary sewer. Evergreen shrubs will be planted as high as allowed, and planted as densely as feasible for proper growth.

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.

ARCHITECT:
Matt King Architect
4308 Cherry Lane
Melissa, Tx 75454
Phone (469) 742-0678
Contact: Matt King

SURVEYOR:
Barton Chapa Surveying
5200 SH 121
Colleyville, TX. 76034
Phone (817) 864-1957
Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

CASE NO. Z2022-059

Issue Dates:	Revision & Date:	CROSS ENGINEERING CONSULTANTS		
1	1	1720 W. Virginia Street McKinney, Texas 75069 972.562.4409		
2	2	McKinney, Texas 75069 Texas P.E. Firm No. F-5935		
3	3	Drawn By:	Checked By:	Scale:
4	4	C.E.C.I.	C.E.C.I.	1"=40'
5	5			
6	6			

SUP SITE PLAN	Sheet No.
SMOOTHIE KING ROCKWALL	SUP
DA Goliad Partners, LP	Project No.
CITY OF ROCKWALL, TEXAS	20089

SMOOTHIE KING ROCKWALL

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING ARCHITECT
 TX REGISTRATION NO. 17957
 9-15-22

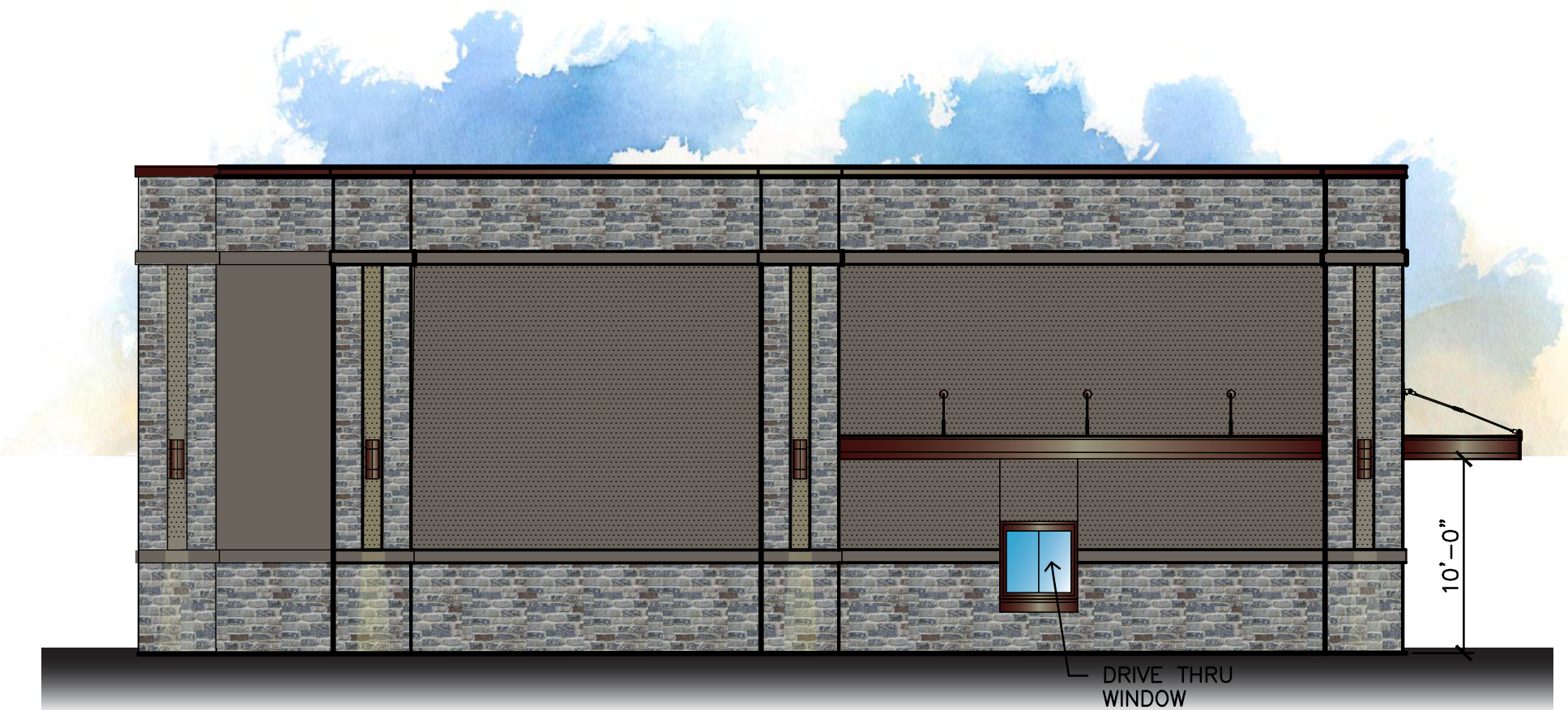
DO NOT SCALE THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



3 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:

A1

Exterior Elevations

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSE TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES

(17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
106 INCHES

106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.

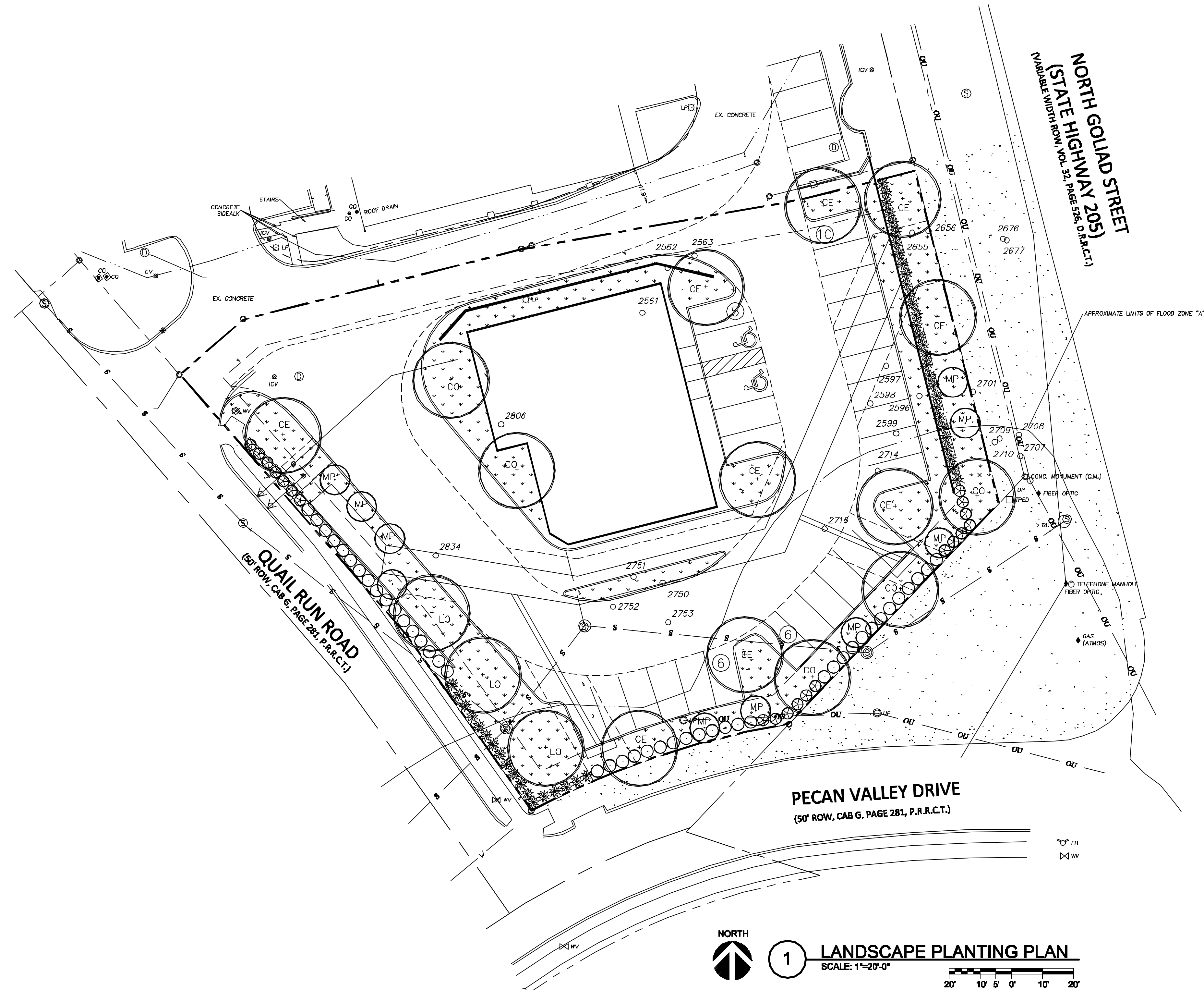
REMAINING INCHES TO MITIGATE = 85

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
LOT AREA = 32,676 SF
20% = 6,535 SF
LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
AND A ROW OF SHRUBS.
QUAIL RUN = 180' 180'/50' = 4+4
PECAN VALLEY = 185' 185'/50' = 4+4
N. GOLIAD ST. = 110' 110'/50' = 2+2

10 CANOPY TREES REQUIRED. 10-PROVIDED.
10 ACCENT TREES REQUIRED. 10-PROVIDED.
111 SHRUBS PROVIDED.
INTERIOR PARKING LOT LANDSCAPING:
4,374 SF PARKING LOT AREA
1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:					
2K22-45	11/15/22					

PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dcwla.com

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, PECAN VALLEY RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dewayne Zinn of Cross Engineering Consultants, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 150 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [Ordinance No. 17-03]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping and a berm or masonry wall shall be required along *Pecan Valley Drive* and *N. Goliad Street* at the time of site plan to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL,
TEXAS, THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 150 Pecan Valley Drive

Legal Description: Lot 1, Block A, Pecan Valley Retail Addition

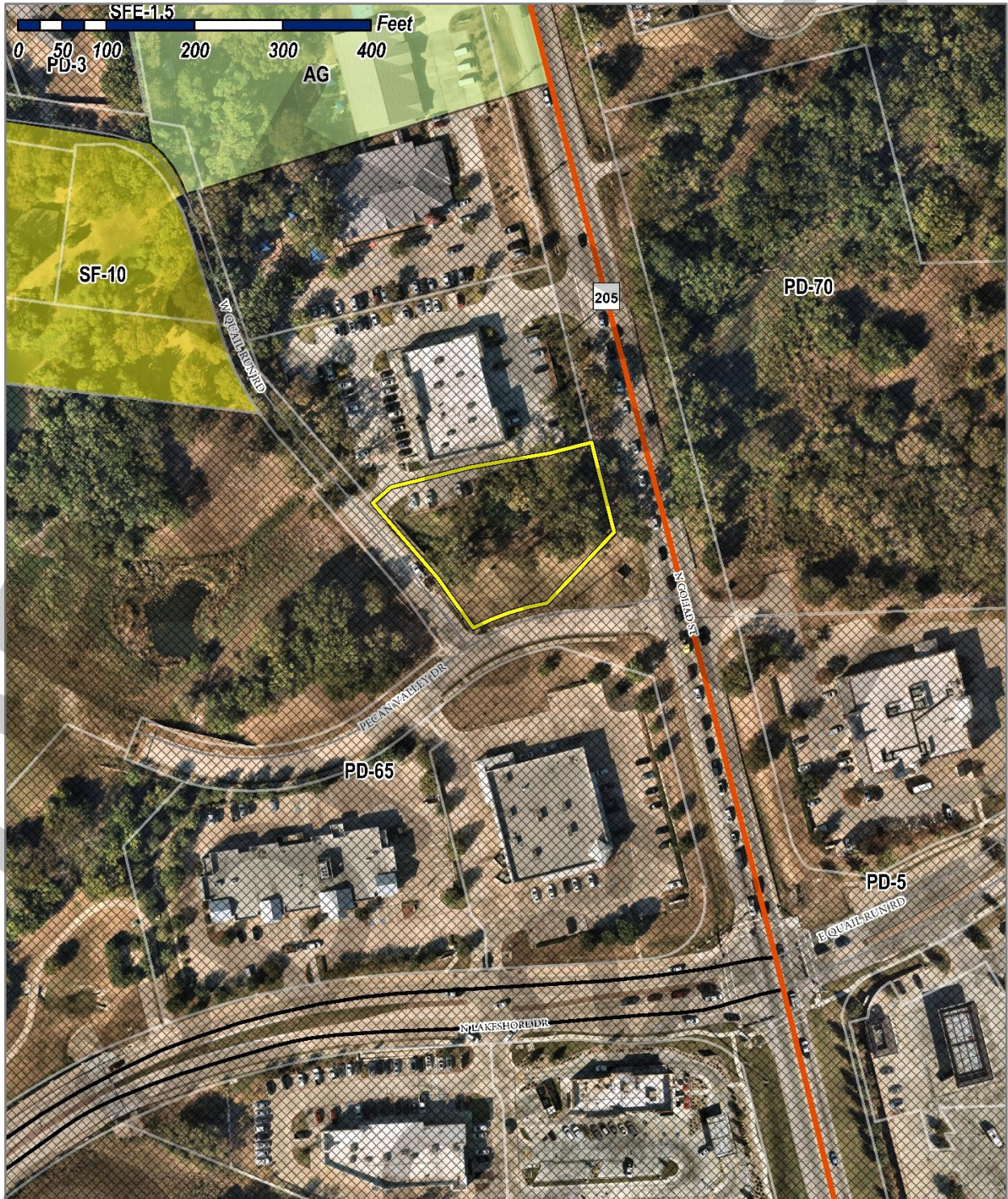


Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

(1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";

(2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.



DATE: March 16, 2023

TO: Dwayne Zinn
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, TX 75069

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2022-059; SUP for a Restaurant with Drive Through or Drive-In at 150 Pecan Valley Drive

Dewayne Zinn:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on March 6, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) That the development and operation of a Restaurant with 2,000 SF or more with Drive-Through or Drive-In land use shall generally conform to the Concept Plan as depicted in Exhibit 'B' of the draft ordinance; and,
 - (b) That the development and operation of the proposed drive-through restaurant meet the minimum staking lane requirement of six (6) vehicle for each lane from the service window; and,
 - (c) That the development and operation of the proposed drive-through restaurant provide additional landscape screening to impair the visibility of headlights from motor vehicles.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On February 14, 2023, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Deckard and Hustings dissenting.

City Council

On March 6, 2023, the City Council approved the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-07, S-293*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,



Henry Lee, AICP, *Planner*
Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 23-08

SPECIFIC USE PERMIT NO. S-293

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, PECAN VALLEY RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dewayne Zinn of Cross Engineering Consultants, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 150 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [Ordinance No. 17-03]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping and a berm or masonry wall shall be required along *Pecan Valley Drive* and *N. Goliad Street* at the time of site plan to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

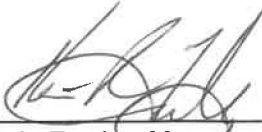
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**



Kevin Fowler, Mayor

ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 150 Pecan Valley Drive

Legal Description: Lot 1, Block A, Pecan Valley Retail Addition

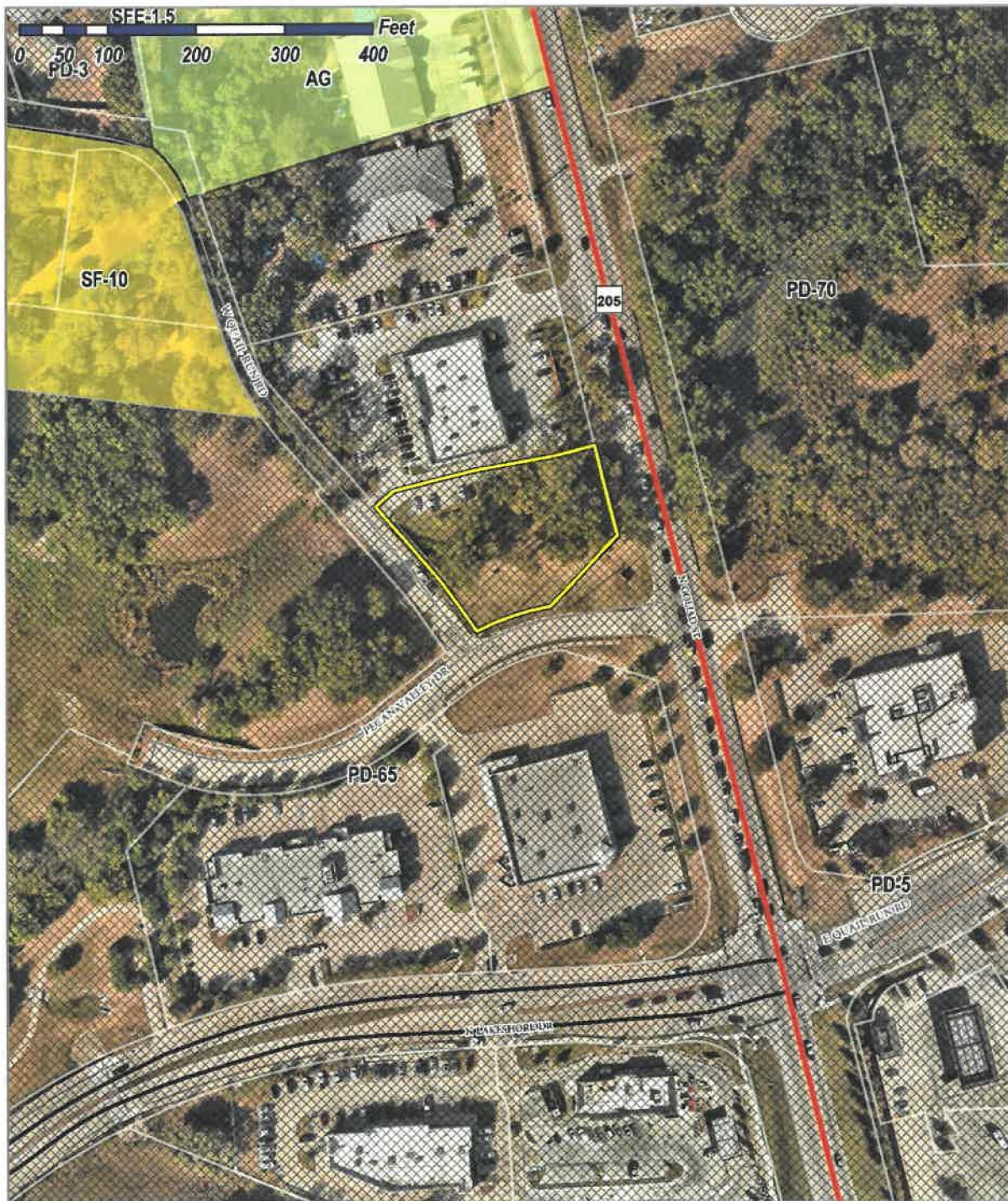


Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 2019000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

(1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";

(2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

Lee, Henry

From: Lee, Henry
Sent: Tuesday, December 20, 2022 2:13 PM
To: [REDACTED]
Cc: [REDACTED]
Subject: Project Comments Z2022-059
Attachments: Project Comments (12.19.2022).pdf; Draft Ordinance (12.27.2022).pdf

Good Afternoon,

Attached are the project comments and draft ordinance for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: December 27, 2022
Planning and Zoning Commission Public Hearing: January 10, 2023
City Council: January 17, 2023 [1st reading], February 6, 2023 [2nd reading]

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Dwayne Zinn <[REDACTED]>
Sent: Monday, January 23, 2023 3:29 PM
To: Lee, Henry
Subject: Project Z2022-059
Attachments: 20089 SUP-Site Plan.pdf; Elevations-1 copy.pdf; MEP1.pdf; MEP2.pdf; S_KING-LS.pdf; S_KING-TREE.pdf; Sample Board.pdf

Importance: High

Henry,

Please see attached revisions to the SUP submittal for Project Z2022-059. Please let me know if you need hard copies as well and I will get them over to you tomorrow morning early.

The SUP Site Plan has the revisions on it. The only revision per the comments on the other sheets was adding the zoning case number.

Thank you,

Dwayne Zinn, R.A.S.
Project Manager



Cross Engineering Consultants, Inc.

1720 W. Virginia Street
McKinney, Texas 75069
[REDACTED]

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.