



# PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET  
ROCKWALL, TX 75087

P&Z CASE # Z2022-034 P&Z DATE July 12, 2022 CC DATE July 18, 2022 Approved/Denied

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### Zoning Application

- Specific Use Permit
- Zoning Change
- PD Concept Plan
- PD Development Plan

### Site Plan Application

- Site Plan
- Landscape Plan
- Treescape Plan
- Photometric Plan
- Building Elevations
- Material Samples
- Color Rendering

### Platting Application

- Master Plat
- Preliminary Plat
- Final Plat
- Replat
- Administrative/Minor Plat
- Vacation Plat
- Landscape Plan
- Treescape Plan

### HPAB Application

- Exhibit

- Copy of Ordinance (ORD# \_\_\_\_\_)
- Applications
- Receipt
- Location Map
- HOA Map
- PON Map
- FLU Map
- Newspaper Public Notice
- 500-foot Buffer Public Notice
- Project Review
- Staff Report
- Correspondence
- Copy-all Plans Required
- Copy-Mark-Ups
- City Council Minutes – Laserfiche
- Minutes-Laserfiche
- Plat Filled Date \_\_\_\_\_
  - Cabinet # \_\_\_\_\_
  - Slide # \_\_\_\_\_

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Zoning Map Updated \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1244 E Quail Run Rd

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION SEC of N John King Blvd and Hays Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG - Agricultural District

CURRENT USE Vacant Ag Land

PROPOSED ZONING PD - SF - 10

PROPOSED USE Single Family Residential

ACREAGE 85.63

LOTS [CURRENT]

N/A

LOTS [PROPOSED]

255

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER R & R Hance Investments

APPLICANT Skorburg Company

CONTACT PERSON Larry Hance

CONTACT PERSON Kevin Harrell

ADDRESS 6946 Sperry St

ADDRESS 8214 Westchester Dr

STE 900

CITY, STATE & ZIP Dallas, TX 75214

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-207-4362

PHONE 214-888-8859

E-MAIL larryhance@gmail.com

E-MAIL kharrell@skorburgcompany.com

## NOTARY VERIFICATION [REQUIRED]

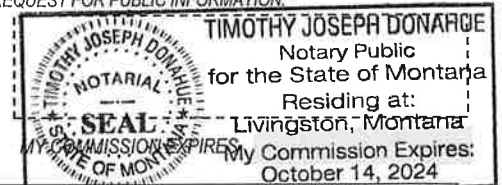
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Larry Hance [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

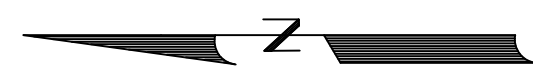
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





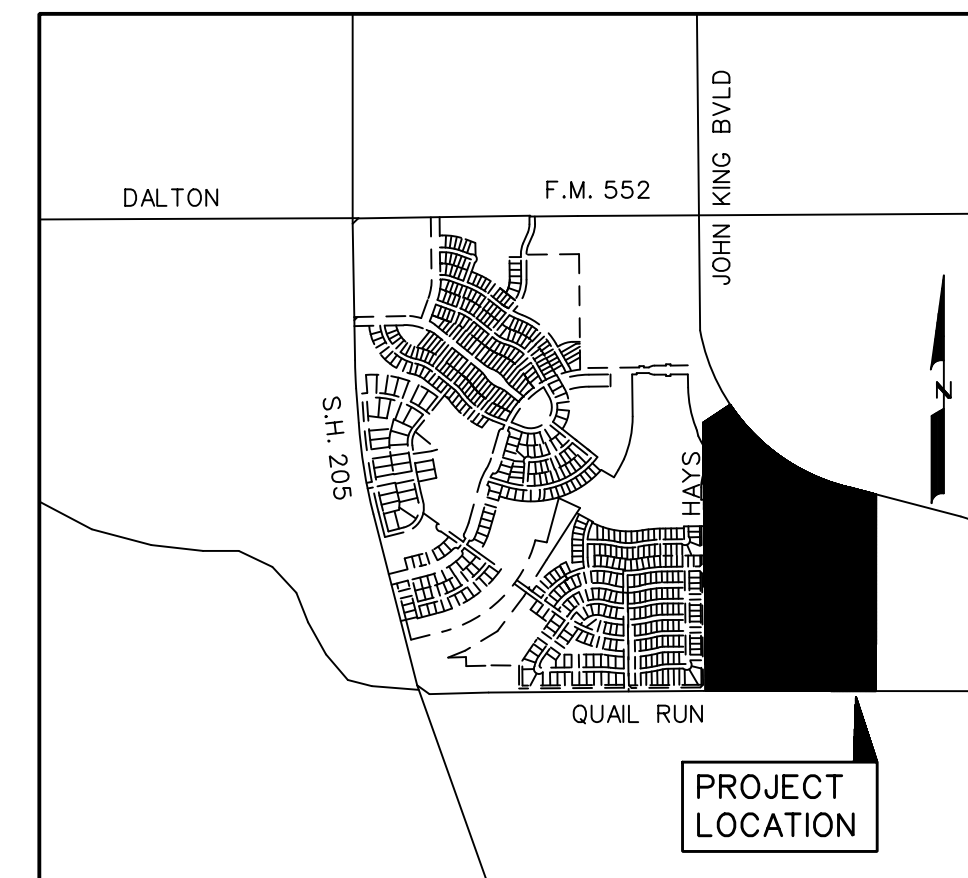


0 50 100 200  
SCALE: 1" = 100'

**LEGEND**

TYPICAL LOT SIZES

- 82' X 125' - 18 LOTS
- 72' X 125' - 79 LOTS
- 62' X 125' - 159 LOTS
- OPEN SPACE - 10.99 Ac.
- AMENITY CENTER - 4.8 Ac.

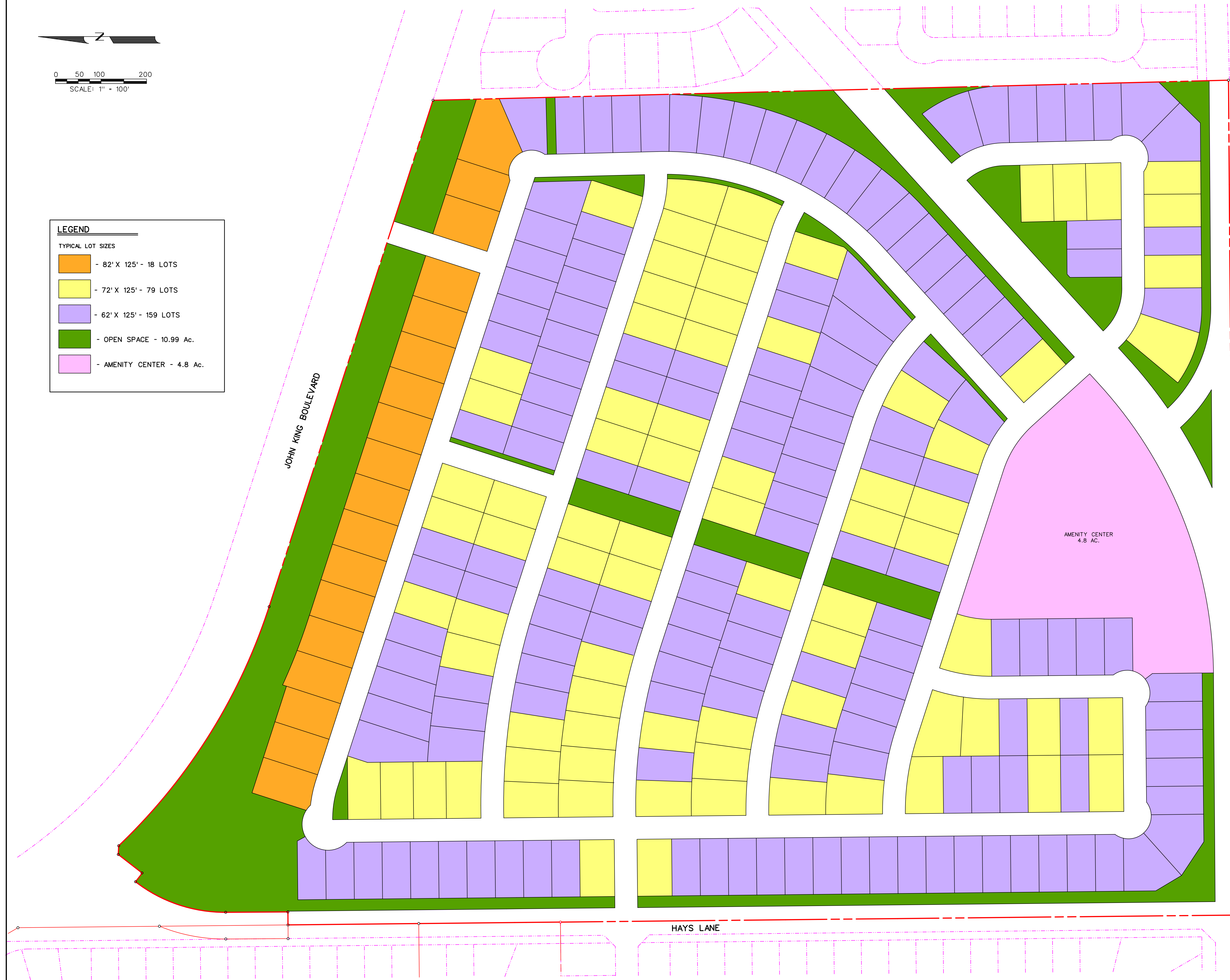


LOCATION MAP  
N.T.S.

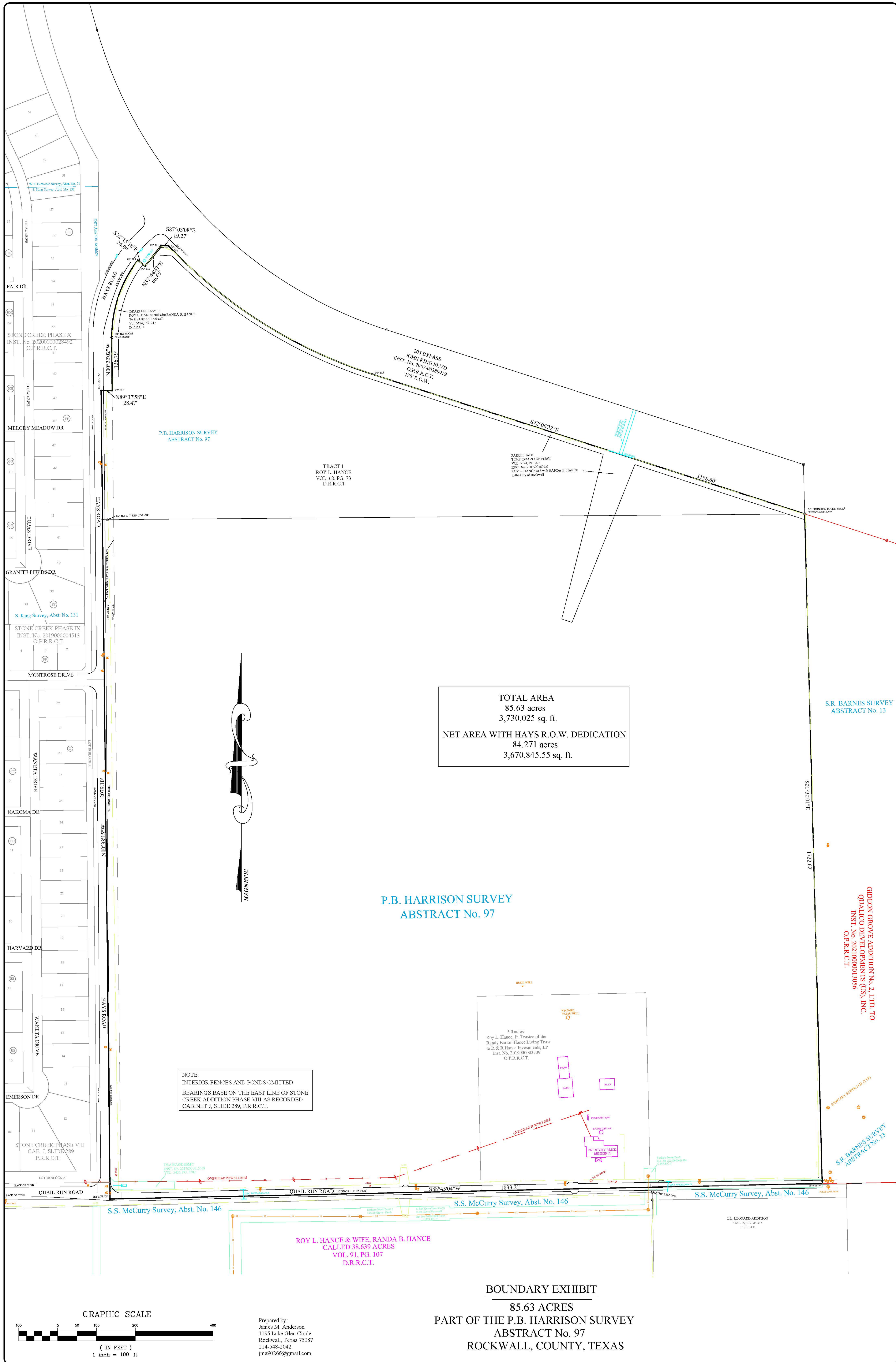
TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	256
RESIDENTIAL DENSITY	2.99
OPEN SPACE PERCENTAGE	18.44%

CONCEPT PLAN  
OF  
**HANCE TRACT**  
SITUATED IN THE  
P.B. HARRISON SURVEY, ABSTRACT NO. 97  
IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200  
JUNE 2022 SCALE 1" = 100'

CASE NO. XXXX





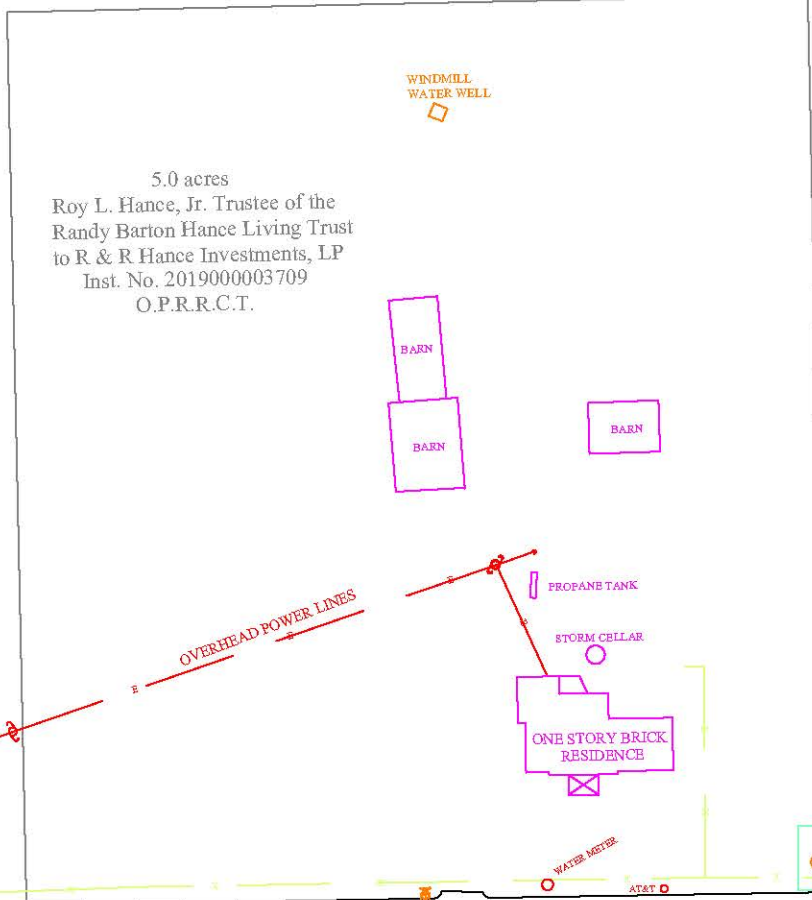


TOTAL AREA  
85.63 acres  
3,730,025 sq. ft.

NET AREA WITH HAYS R.O.W. DEDICATION  
84.271 acres  
3,670,845.55 sq. ft.

P.B. HARRISON SURVEY  
ABSTRACT No. 97

NOTE:  
INTERIOR FENCES AND PONDS OMITTED  
BEARINGS BASE ON THE EAST LINE OF STONE  
CREEK ADDITION PHASE VIII AS RECORDED  
CABINET J, SLIDE 289, P.R.R.C.T.



ROY L. HANCE & WIFE, RANDA B. HANCE  
CALLED 38.639 ACRES  
VOL. 91, PG. 107  
D.R.R.C.T.

**BOUNDARY EXHIBIT**

85.63 ACRES  
PART OF THE P.B. HARRISON SURVEY  
ABSTRACT No. 97  
ROCKWALL, COUNTY, TEXAS

GRAPHIC SCALE



( IN FEET )  
1 inch = 100 ft.

Prepared by:  
James M. Anderson  
1195 Lake Glen Circle  
Rockwall, Texas 75087  
214-548-2042  
jma90266@gmail.com



CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-01, 2-04, 2-05, 2-06 of the P.B. HARRISON SURVEY, ABSTRACT 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Co. on behalf of Larry Hance of the R & R Hance Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tract 2-01, 2-04, 2-05, 2-06 of the P.B. Harrison Survey, Abstract 97 City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading:

2<sup>nd</sup> Reading:

**Exhibit 'A':**  
*Legal Description*

BEING an 85.629 acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00 acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

BEGINNING at a 1/2" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

THENCE South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

THENCE South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

THENCE North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

THENCE North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

THENCE North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

THENCE along said right-of-way an arc distance of 212.86' to a 1/2" iron rod set for a corner with a plastic cap stamped "RLS 5664";

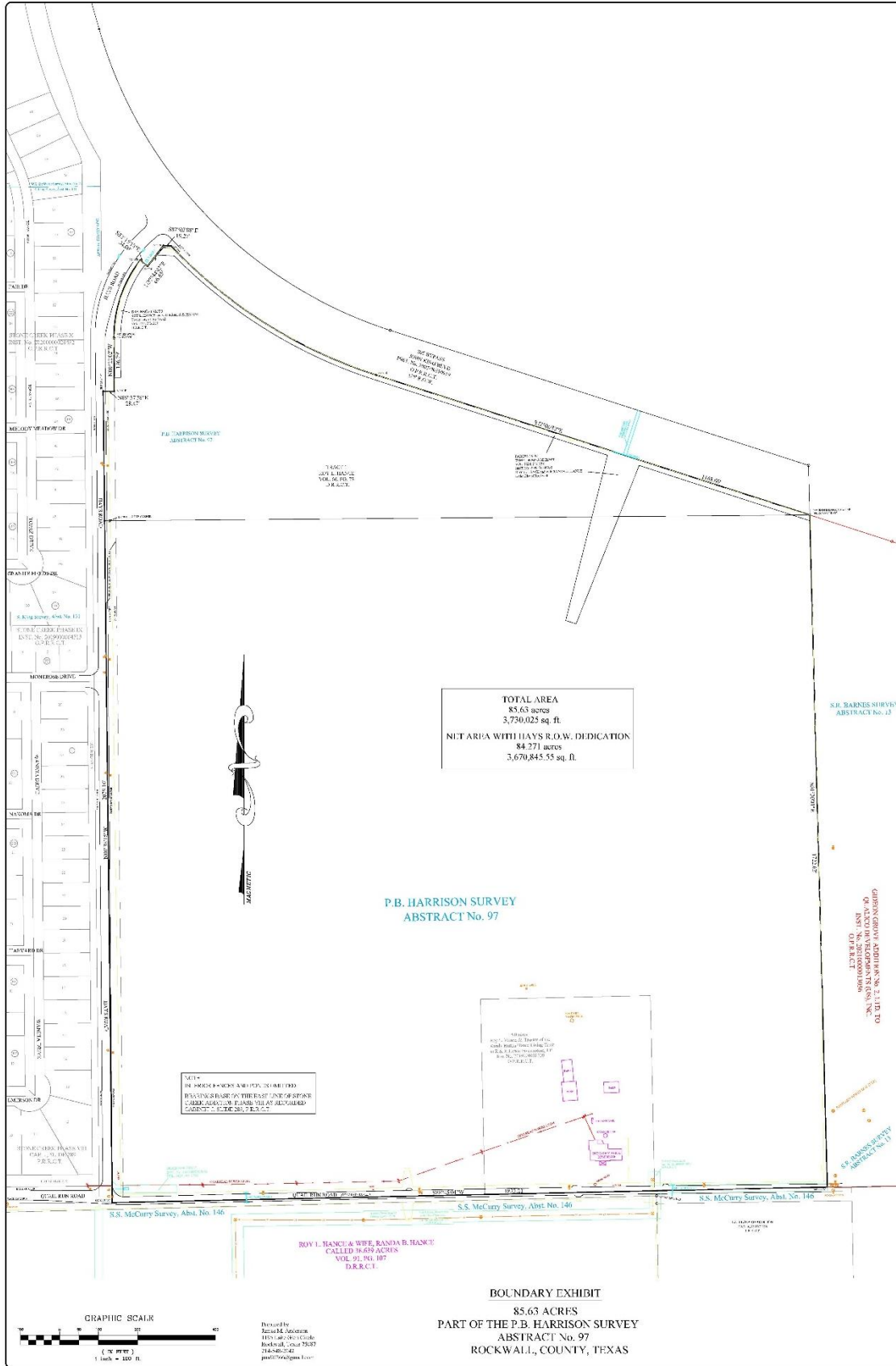
THENCE South 52°15'18" East a distance of 24.00' to a 1/2" iron rod set for a corner with a plastic cap stamped "RLS 5664";

THENCE North 37°44'42" East a distance of 66.65' to a 1/2" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16'; THENCE South 87°03'08" East along said corner clip, a distance of 19.27' to a 1/2" iron rod set with a plastic cap stamped "RLS 5664";

THENCE along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a 1/2" iron rod set with a plastic cap stamped "RLS 5664";

THENCE South 72°06'32" East a distance of 1168.60' to the POINT OF BEGINNING and containing 85.629 acres or 3,730,025 square feet of land.

# Exhibit 'B': Survey



[R MILLER TO INSERT CASE #]: Hance Tract (AG to PD)

Ordinance No. 21-XX; PD-XX

**Exhibit 'C':**  
*Concept Plan*



**Exhibit 'D':  
Density and Development Standards**

**Density and Development Standards.**

(1) Permitted Uses.

- a. *Residential Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the residential zoned portions of the *Subject Property*.
- b. *Non-residential uses.* Non-residential uses shall be allowed only within the area designated as Commercial on the approved Concept Plan for the District, and are limited to those uses permitted of right or by special use permit for the (C) Commercial District subject to approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations, Article X, Section 2 of the Unified Development Code, and subject to approval of a Special Use Permit if required by the C District Regulations.

(2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	159	62.1%
B	72' x 120'	8,640 SF	79	30.9%
C	82' x 125'	10,250 SF	18	7.0%
<i>Maximum Permitted Units:</i>			256	100.00%

(3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 3.0 dwelling units per gross acre of land; however, in no case should the proposed development exceed 256 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2) &amp; (5)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

**Exhibit 'D':**  
**Density and Development Standards**

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *Type 'A' Lots* that incorporate a *flat-front entry* garage configuration shall be required to have a minimum setback of 25-feet.

(4) Building Standards. All development shall adhere to the following building standards:

- (a) Masonry Requirement. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, Stucco, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement.

Examples of Cementitious Fiberboard



- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements
- (1) Type 'A' Lots. The *Type 'A' Lots* (*i.e. the purple lots depicted in Exhibit 'C'*) may be oriented in a *traditional swing* (*or j-swing*) garage configuration -- *where the two (2) car garage is stated facing the side property line and the driveway swings*

**Exhibit 'D':**  
*Density and Development Standards*

*into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration. A maximum of 32.1% of these lots (i.e. 51 Lots or 20.00% of the total lots) shall be permitted to be oriented in a flat-front entry configuration -- allowing the garage to be flush with the front façade of the primary structure -- pending the front yard setback is increased to a minimum setback of 25-feet.*

- (2) Type 'B' & 'C' Lots. *The Type 'B' & 'C' Lots (i.e. yellow and orange colored lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.*

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Wood Garage Door



- (5) Anti-Monotony Restrictions. *The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 3 & 4 below).*

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)



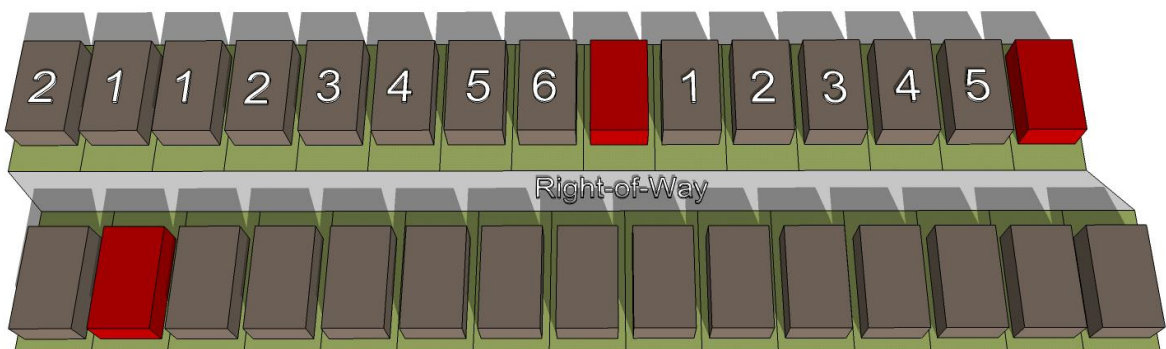
**Exhibit 'D':**  
*Density and Development Standards*

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or FM-549 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



**Exhibit 'D':**  
*Density and Development Standards*

- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. N. John King Blvd, Hays Ln and E Quail Rn Rd*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
  - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
  - (f) Masonry Screening Walls. If masonry screening walls are required by the City to be installed along a common boundary line shared with any portion of the residential zoned property, such walls shall be constructed by the commercial developer when the commercial tract is developed. If any portion of the residential zoned property develops before an adjoining commercial zoned tract, the builders shall install either a temporary 6' tall wood fence or tubular steel fence along the common property line (subject to the City's preference) as homes are constructed which shall be replaced with a masonry screening wall (subject to City requirements) when the adjoining commercial tract is developed.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a

**Exhibit 'D':**  
*Density and Development Standards*

minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required landscape buffer (*i.e. on the Homeowner's Associations' [HOAs]' property*). These shrubs shall be maintained by the Homeowner's Association (HOA).

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (N. John King Blvd). A minimum of a 67-foot landscape buffer shall be provided along N.. John King Blvd (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
- (2) Landscape Buffers (Hays Ln and future E. Quail Run Rd). A minimum of a 10-foot landscape buffer shall be provided along Hays Ln and along future E. Quail Run Rd. This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning --*, a minimum of four (4) caliper inches in size, that will be planted on 10-foot centers along the entire northern property boundary. An alternative screening plan proposing the use of existing trees, for the area directly adjacent to northern property line, may be submitted by the developer with the PD Site Plan. This alternative plan can be approved at the discretion of the Planning and Zoning Commission upon a finding that the proposed plan will provide adequate screening that is equal to or exceeds the standards stated in this section.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

**Exhibit 'D':**  
*Density and Development Standards*

- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 18.00% open space (*or a minimum of 15.4-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the Concept Plan contained in *Exhibit 'C'* of this ordinance. In addition, the following shall apply to the proposed open space and public park areas:
- (a) Open Space. All open space areas not dedicated as part of the public park (*including landscape buffers*) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).
- (13) Amenity Centers. One (1) amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*.
- (14) Trails. A concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity to the proposed park.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. In addition, the HOA shall be responsible for maintaining any drainage

**Exhibit 'D':**  
*Density and Development Standards*

areas on the public park that are necessary to provide sufficient stormwater detention for the residential lots. These areas are required to be delineated on the *PD Site Plan*.

- (17) Variations. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variations to this ordinance.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1244 E Quail Run Rd

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION SEC of N John King Blvd and Hays Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG - Agricultural District

CURRENT USE Vacant Ag Land

PROPOSED ZONING PD - SF - 10

PROPOSED USE Single Family Residential

ACREAGE 85.63

LOTS [CURRENT]

N/A

LOTS [PROPOSED]

255

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER R & R Hance Investments

APPLICANT Skorburg Company

CONTACT PERSON Larry Hance

CONTACT PERSON Kevin Harrell

ADDRESS 6946 Sperry St

ADDRESS 8214 Westchester Dr

STE 900

CITY, STATE & ZIP Dallas, TX 75214

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-207-4362

PHONE 214-888-8859

E-MAIL larryhance@gmail.com

E-MAIL kharrell@skorburgcompany.com

## NOTARY VERIFICATION [REQUIRED]

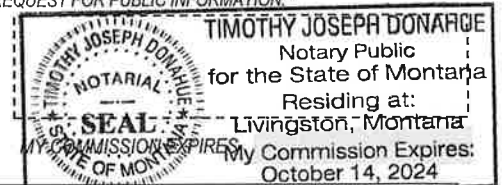
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Larry Hance [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

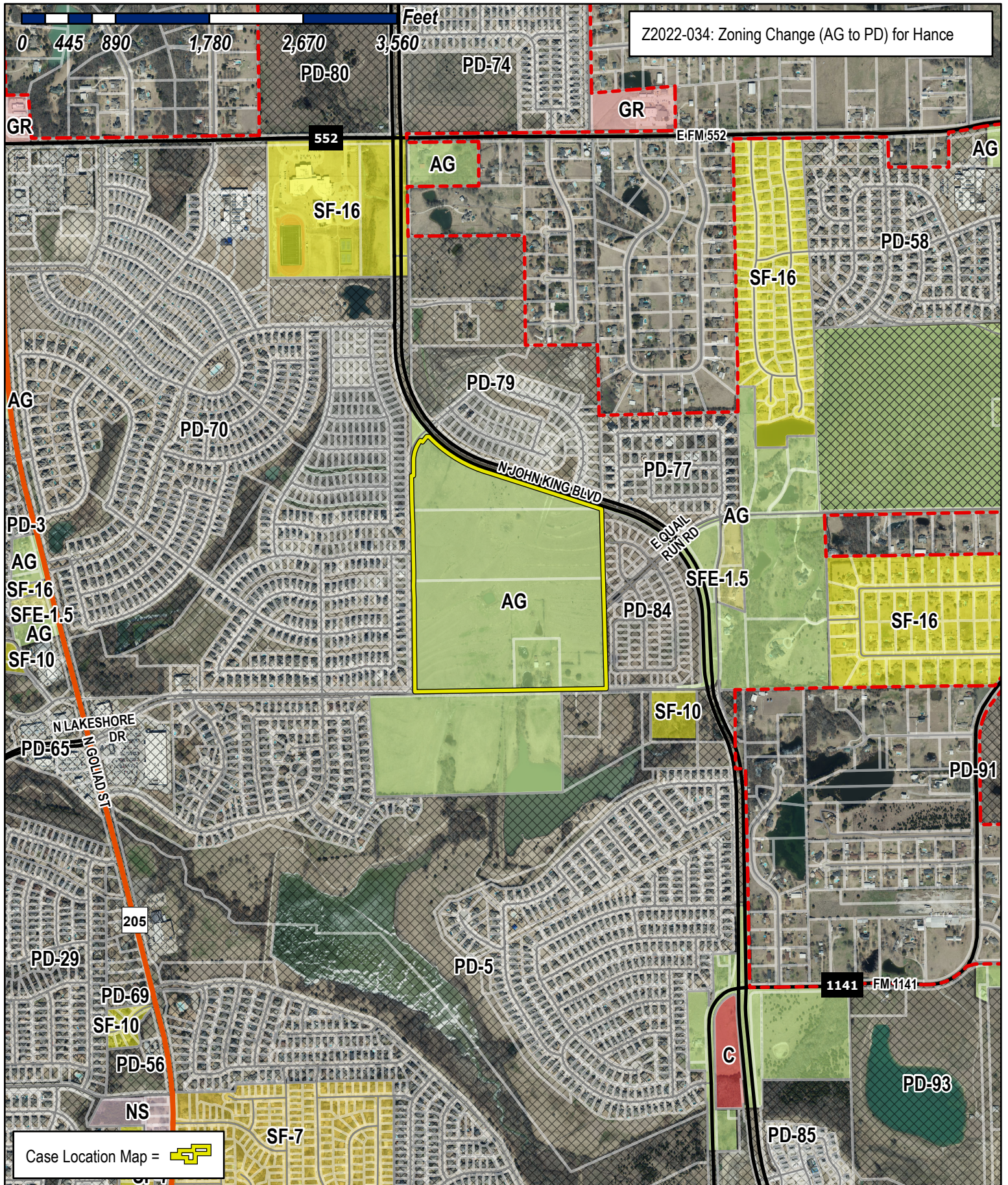
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



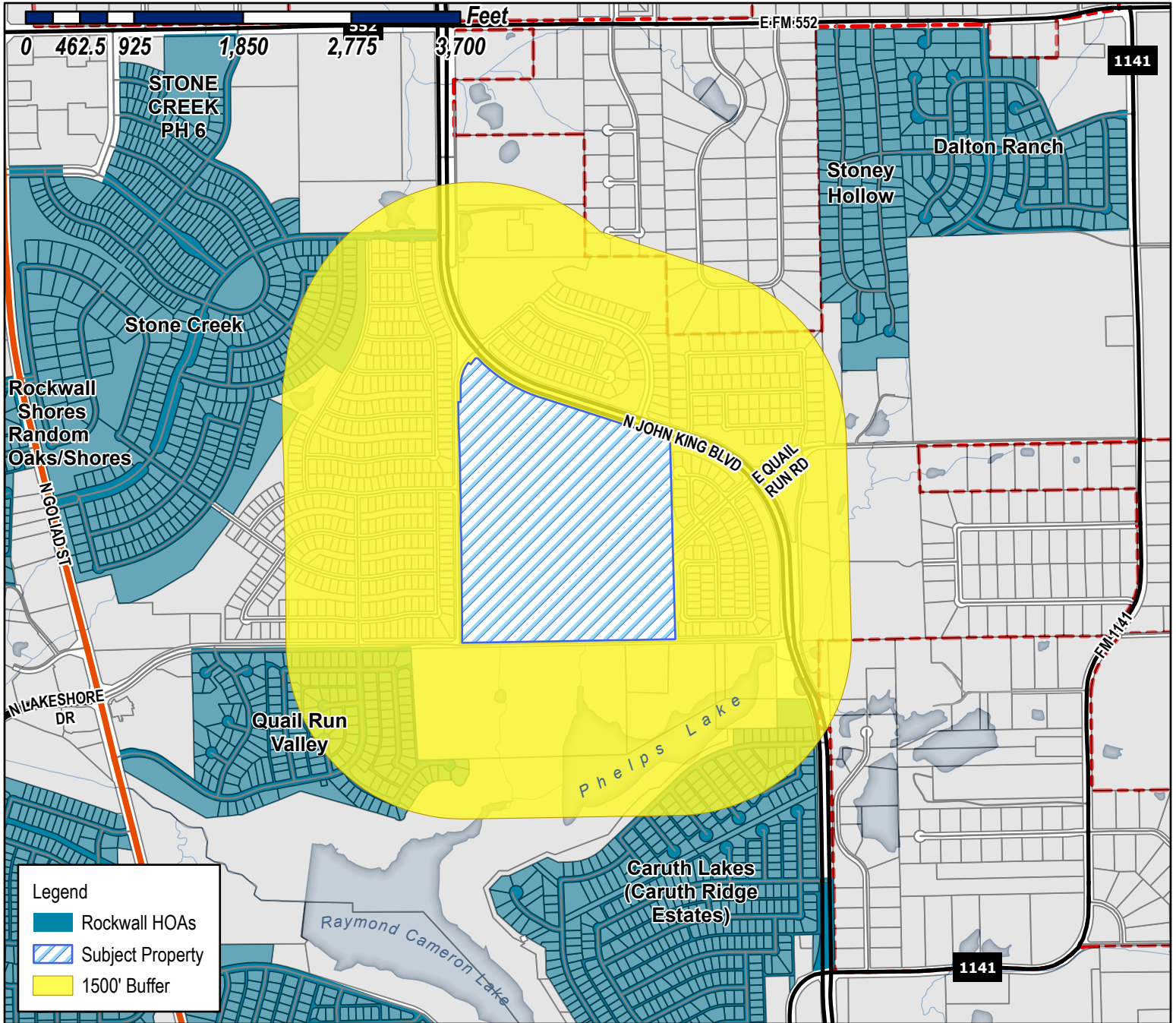
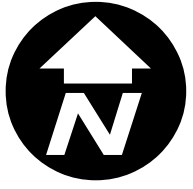




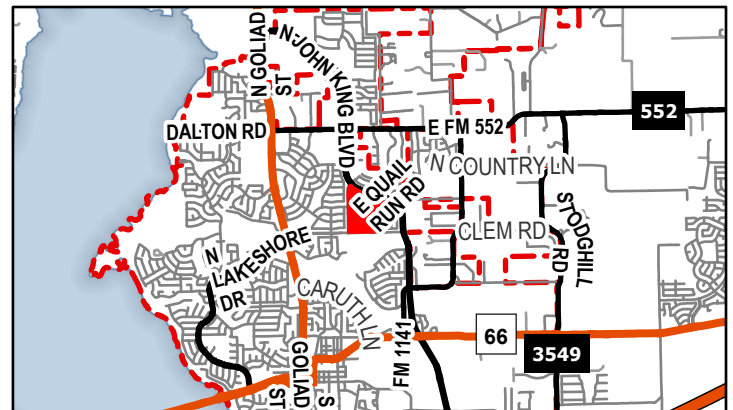
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.



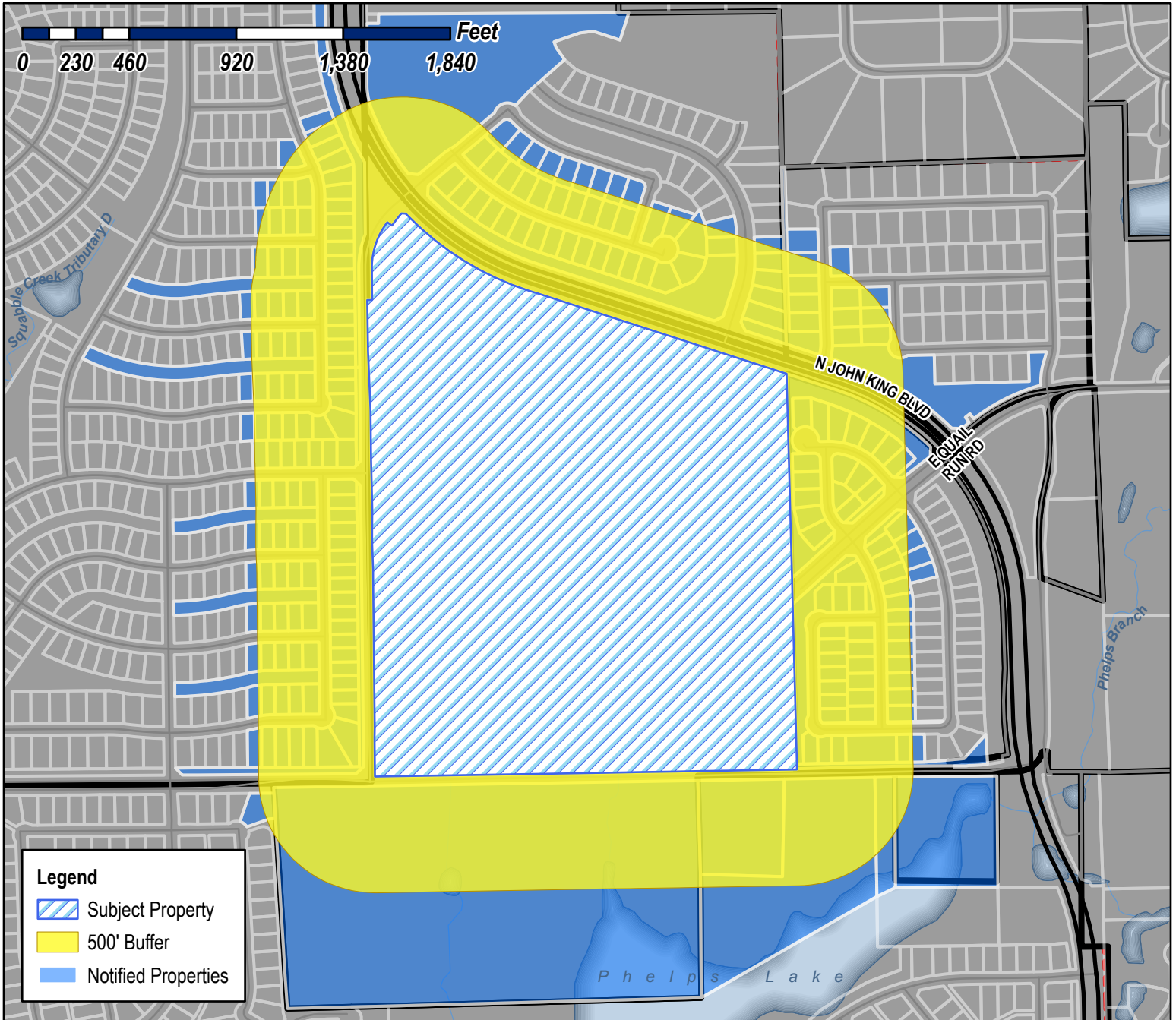
**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745



# City of Rockwall

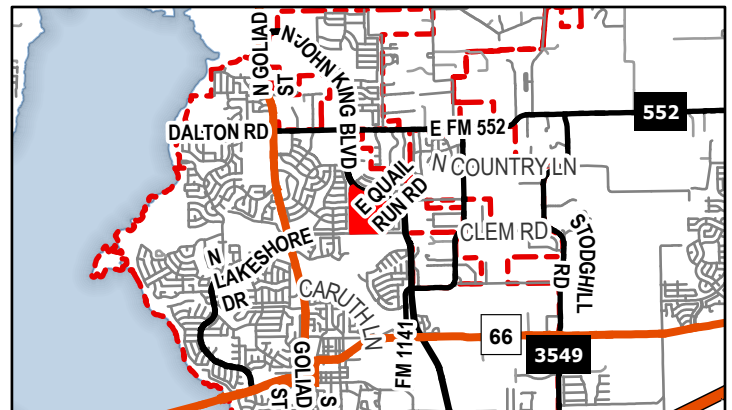
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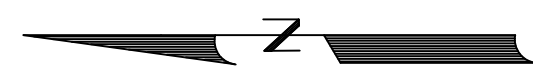


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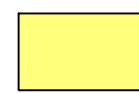





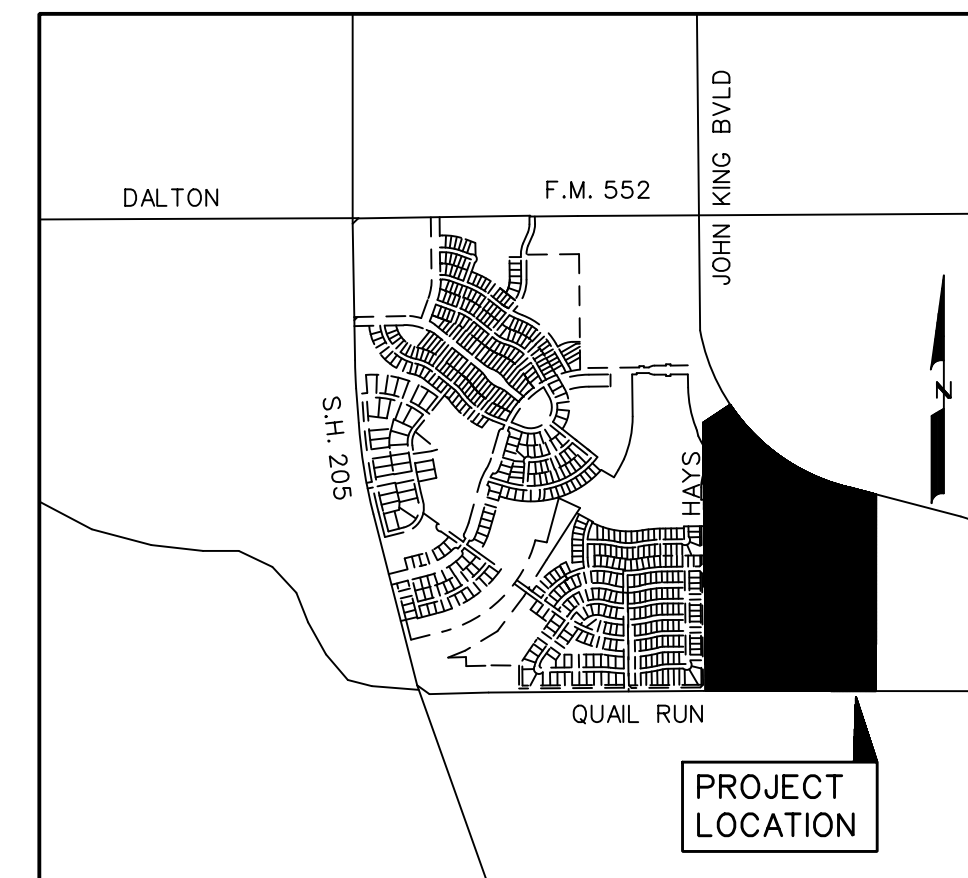


0 50 100 200  
SCALE: 1" = 100'

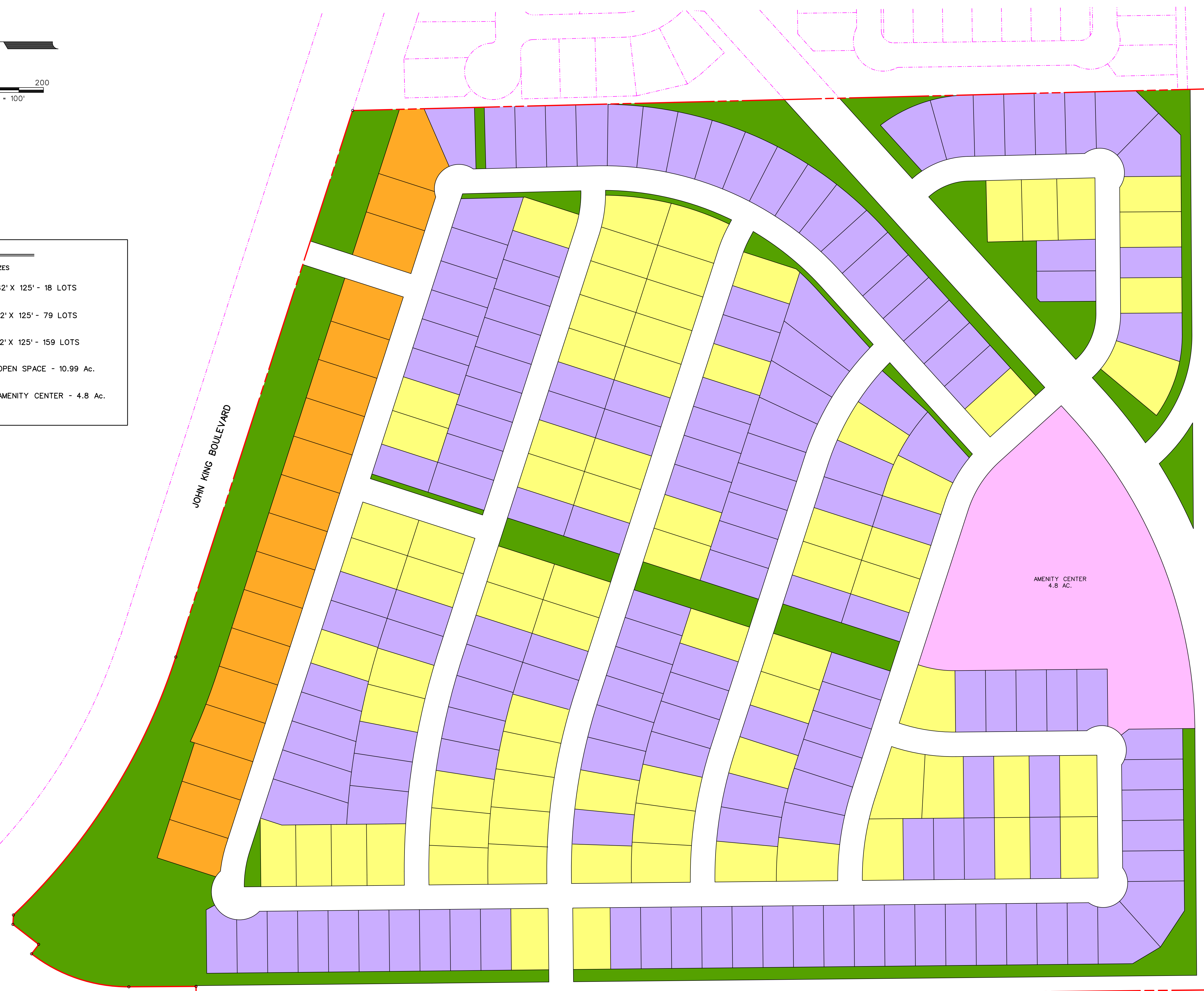
**LEGEND**

TYPICAL LOT SIZES

-  - 82' X 125' - 18 LOTS
-  - 72' X 125' - 79 LOTS
-  - 62' X 125' - 159 LOTS
-  - OPEN SPACE - 10.99 Ac.
-  - AMENITY CENTER - 4.8 Ac.



LOCATION MAP  
N.T.S.



TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	256
RESIDENTIAL DENSITY	2.99
OPEN SPACE PERCENTAGE	18.44%

CONCEPT PLAN  
OF  
**HANCE TRACT**  
SITUATED IN THE  
P.B. HARRISON SURVEY, ABSTRACT NO. 97  
IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200

JUNE 2022 SCALE 1" = 100'

CASE NO. XXXX







CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-01, 2-04, 2-05, 2-06 of the P.B. HARRISON SURVEY, ABSTRACT 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Co. on behalf of Larry Hance of the R & R Hance Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tract 2-01, 2-04, 2-05, 2-06 of the P.B. Harrison Survey, Abstract 97 City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.



(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE \_\_\_ DAY OF \_\_\_\_\_, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading:

2<sup>nd</sup> Reading:

**Exhibit 'A':**  
*Legal Description*

BEING an 85.629 acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00 acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

BEGINNING at a 1/2" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

THENCE South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

THENCE South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

THENCE North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

THENCE North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

THENCE North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

THENCE along said right-of-way an arc distance of 212.86' to a 1/2" iron rod set for a corner with a plastic cap stamped "RLS 5664";

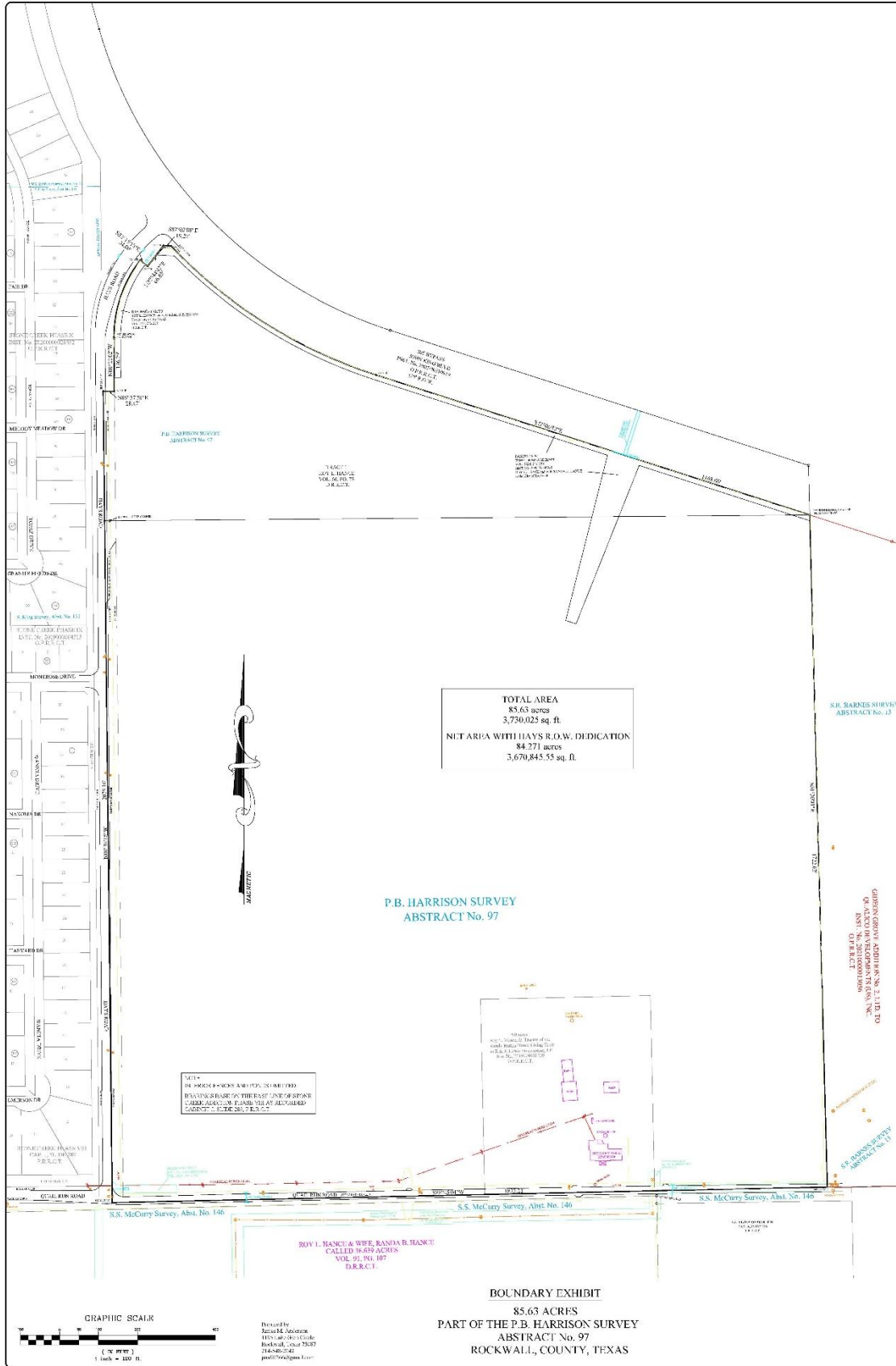
THENCE South 52°15'18" East a distance of 24.00' to a 1/2" iron rod set for a corner with a plastic cap stamped "RLS 5664";

THENCE North 37°44'42" East a distance of 66.65' to a 1/2" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16'; THENCE South 87°03'08" East along said corner clip, a distance of 19.27' to a 1/2" iron rod set with a plastic cap stamped "RLS 5664";

THENCE along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a 1/2" iron rod set with a plastic cap stamped "RLS 5664";

THENCE South 72°06'32" East a distance of 1168.60' to the POINT OF BEGINNING and containing 85.629 acres or 3,730,025 square feet of land.

# Exhibit 'B': Survey



[R MILLER TO INSERT CASE #]: Hance Tract (AG to PD)

Ordinance No. 21-XX; PD-XX

**Exhibit 'C':**  
*Concept Plan*

**Exhibit 'D':  
Density and Development Standards**

**Density and Development Standards.**

(1) Permitted Uses.

- a. *Residential Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the residential zoned portions of the *Subject Property*.
- b. *Non-residential uses.* Non-residential uses shall be allowed only within the area designated as Commercial on the approved Concept Plan for the District, and are limited to those uses permitted of right or by special use permit for the (C) Commercial District subject to approval of a PD Development Plan and PD Site Plan in accordance with the Planned Development District regulations, Article X, Section 2 of the Unified Development Code, and subject to approval of a Special Use Permit if required by the C District Regulations.

(2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	159	62.1%
B	72' x 120'	8,640 SF	79	30.9%
C	82' x 125'	10,250 SF	18	7.0%
<i>Maximum Permitted Units:</i>			256	100.00%

(3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 3.0 dwelling units per gross acre of land; however, in no case should the proposed development exceed 256 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2) &amp; (5)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

**Exhibit 'D':**  
**Density and Development Standards**

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *Type 'A' Lots* that incorporate a *flat-front entry* garage configuration shall be required to have a minimum setback of 25-feet.

(4) Building Standards. All development shall adhere to the following building standards:

- (a) Masonry Requirement. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, Stucco, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50% of the masonry requirement; however, a Specific Use Permit (SUP) may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement.

Examples of Cementitious Fiberboard



- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements
- (1) Type 'A' Lots. The *Type 'A' Lots* (*i.e. the purple lots depicted in Exhibit 'C'*) may be oriented in a *traditional swing* (*or j-swing*) garage configuration -- *where the two (2) car garage is stated facing the side property line and the driveway swings*



**Exhibit 'D':**  
*Density and Development Standards*

into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration. A maximum of 32.1% of these lots (i.e. 51 Lots or 20.00% of the total lots) shall be permitted to be oriented in a flat-front entry configuration -- allowing the garage to be flush with the front façade of the primary structure -- pending the front yard setback is increased to a minimum setback of 25-feet.

- (2) Type 'B' & 'C' Lots. The Type 'B' & 'C' Lots (i.e. yellow and orange colored lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Wood Garage Door



- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)

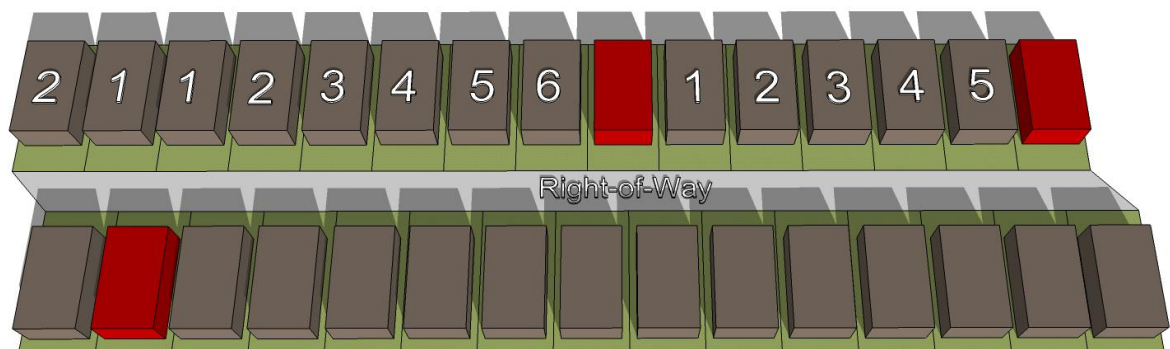
**Exhibit 'D':**  
*Density and Development Standards*

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or FM-549 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.





**Exhibit 'D':**  
*Density and Development Standards*

- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. N. John King Blvd, Hays Ln and E Quail Rn Rd*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
  - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
  - (f) Masonry Screening Walls. If masonry screening walls are required by the City to be installed along a common boundary line shared with any portion of the residential zoned property, such walls shall be constructed by the commercial developer when the commercial tract is developed. If any portion of the residential zoned property develops before an adjoining commercial zoned tract, the builders shall install either a temporary 6' tall wood fence or tubular steel fence along the common property line (subject to the City's preference) as homes are constructed which shall be replaced with a masonry screening wall (subject to City requirements) when the adjoining commercial tract is developed.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a

**Exhibit 'D':**  
*Density and Development Standards*

minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required landscape buffer (*i.e. on the Homeowner's Associations' [HOAs]' property*). These shrubs shall be maintained by the Homeowner's Association (HOA).

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (N. John King Blvd). A minimum of a 67-foot landscape buffer shall be provided along N.. John King Blvd (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
- (2) Landscape Buffers (Hays Ln and future E. Quail Run Rd). A minimum of a 10-foot landscape buffer shall be provided along Hays Ln and along future E. Quail Run Rd. This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning --*, a minimum of four (4) caliper inches in size, that will be planted on 10-foot centers along the entire northern property boundary. An alternative screening plan proposing the use of existing trees, for the area directly adjacent to northern property line, may be submitted by the developer with the PD Site Plan. This alternative plan can be approved at the discretion of the Planning and Zoning Commission upon a finding that the proposed plan will provide adequate screening that is equal to or exceeds the standards stated in this section.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

**Exhibit 'D':**  
*Density and Development Standards*

- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 18.00% open space (*or a minimum of 15.4-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the Concept Plan contained in *Exhibit 'C'* of this ordinance. In addition, the following shall apply to the proposed open space and public park areas:
- (a) Open Space. All open space areas not dedicated as part of the public park (*including landscape buffers*) shall be included in the open space calculation, and maintained by the Homeowner's Association (HOA).
- (13) Amenity Centers. One (1) amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*.
- (14) Trails. A concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity to the proposed park.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. In addition, the HOA shall be responsible for maintaining any drainage

**Exhibit 'D':**  
*Density and Development Standards*

areas on the public park that are necessary to provide sufficient stormwater detention for the residential lots. These areas are required to be delineated on the *PD Site Plan*.

- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 6/24/2022

PROJECT NUMBER: Z2022-034  
PROJECT NAME: Zoning Change (AG to PD) for SF-10  
SITE ADDRESS/LOCATIONS: 1244 E QUAIL RUN RD

CASE MANAGER: Ryan Miller  
CASE MANAGER PHONE: 972-772-6441  
CASE MANAGER EMAIL: miller@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	06/23/2022	Approved w/ Comments

06/23/2022: Z2022-034; Zoning Change (AG to PD) for the Hance Tract  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, and generally located at the southwest corner of the intersection of Hays Road and John King Boulevard.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email [rcmiller@rockwall.com](mailto:rcmiller@rockwall.com).

M.3 For reference, include the case number (Z2022-034) in the lower right-hand corner of all pages on future submittals.

I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Northwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Medium Density Residential land uses. The proposed zoning request does conform to this designation and appears to conform to the district strategies for the Northwest Residential District.

I.5 While the District Strategies Map for the Northwest Residential District does not show a Rest Stop/Trailblazer Pylon element being designated for this property, the open space area on the concept plan at the corner of Hays Road and John King Boulevard appears to be an ideal place for a trailhead. Consider incorporating this with the primary neighborhood entry signage (e.g. similar to Breezy Hill, Saddle Star, or Rockwall Downes).

I.6 Based on the submitted draft ordinance the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:

(1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." (Page 14; Section 2.11 of the Standards of Design and Construction Manual)

(2) Garage Configuration. Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a J-Swing (or traditional swing) garage where the garage door is perpendicular to the street."



(3) Open Space. The General Residential Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC) stipulate that "...all new subdivisions, ten (10) lots or greater ... the following open space requirements shall be applied: (1) Unless otherwise provided by this Unified Development Code (UDC), a minimum of 20.00% of the gross land area within a residential subdivision that is five (5) acres or greater shall be devoted to open space."

I.8 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's plan, and could be revised -- per staff's recommendations below the guidelines -- to bring the project closer to conformance with the plan:

(1) CH. 1; Section 2.02; Goal #2 | Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.

(2) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff's Response: The lots south of the subject property are either undeveloped or estate lots. Additional Type 'C' Lots (i.e. the 82' x 125' Lots) should be incorporated into the concept plan along E. Quail Run Road to better conform to this requirement.

(3) CH. 7; Goal #2 | Policy #3 (Page 7-1). Continue to develop and plan for an interconnected trail and sidewalk system that promotes connectivity and access to all areas of the City.

Staff's Response: The proposed trail connections required within the proposed Planned Development District ordinance should be shown on the concept plan. In addition, trails connecting residents to the amenity center and adjacent residential subdivisions should be shown on the concept plan.

(4) CH. 8; Section 2.02; Goal #3 | Policy #1 (Page 8-2). All residential development -- five (5) acres or greater -- should consist of a minimum of 20% open space as calculated by the gross land area. Floodplain should be counted at a rate of 1/2-acre for every acre provided (e.g. ten (10) acres of floodplain dedicated as open space would count as five (5) acres of open space).

Staff's Response: Currently, the proposed development has less than 20.00% open space. This should be correct to bring the development into conformance with the Comprehensive Plan.

M.8 Based on the submitted Concept Plan, please make the following corrections and resubmit the updated plan by July 6, 2022:

(1) Open Space. The minimum open space required for this development is 17.126-acres (i.e. 85.63 (Gross Acreage) x 20.00%). Currently, the plan shows the provision of 15.740384-acres of open spaces or 18.44%. Please adjust the open space to incorporate an addition 1.385616-acres to meet the 20.00% requirement.

(2) Trails. Please show all required and proposed trails on the proposed concept plan.

M.9 Please review the attached draft ordinance prior to the June 28, 2022 Planning & Zoning Commission meeting, and provide staff with your markups by July 6, 2022.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 12, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 31, 2022.

I.11 The projected City Council meeting dates for this case will be July 18, 2022 (1st Reading) and August 1, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2022	Approved

06/23/2022: - Line up driveway with Randas Way across John King  
 - Driveways along Quail run to have 200' spacing or a variances is needed.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Flood and Detention Study required (must pay retainer to City before review).
- Waters of the US and Wetlands Determination for all creeks and ponds.
- Erosion setback required along creeks.
- No detention in 100yr flood plain.
- Detention is required. Post-Development C value is by zoning. No walls allowed in detention easement. Maximum slope is 4:1.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Water and Wastewater Items:

- Loop 8-inch Water Line on site
- Public sewer to be 8" minimum.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Gideon Grove Sewer Pro-rata \$361.54/acre

Roadway Paving Items:

Need roadway spacing variance

- Sidewalk to be installed along all roadways.
- No dead-end parking.
- Must construct Hays Road 60' ROW total and 14.5' paving with sidewalk
- Must construct E Quail Run Road (85' ROW, 2-25' paving with raised median) & min 24.5' along existing roadway from Hays to new E. Quail
- Internal streets to be 50' ROW with 29' B-B paving min.
- Must build the left turn lane on John King.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	06/23/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/23/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/21/2022	Approved
No Comments			

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	06/20/2022	Approved

---

No Comments

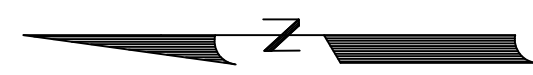
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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/20/2022	Approved w/ Comments

---

06/20/2022: Tree Mitigation Plan:  
please provide in future submittals

Landscape Plan:  
Please provide in future submittals for common areas and rights of way



0 50 100 200  
SCALE: 1" = 100'

**LEGEND**

TYPICAL LOT SIZES

- 82' X 125' - 18 LOTS
- 72' X 125' - 79 LOTS
- 62' X 125' - 159 LOTS
- OPEN SPACE - 10.99 Ac.
- AMENITY CENTER - 4.8 Ac.

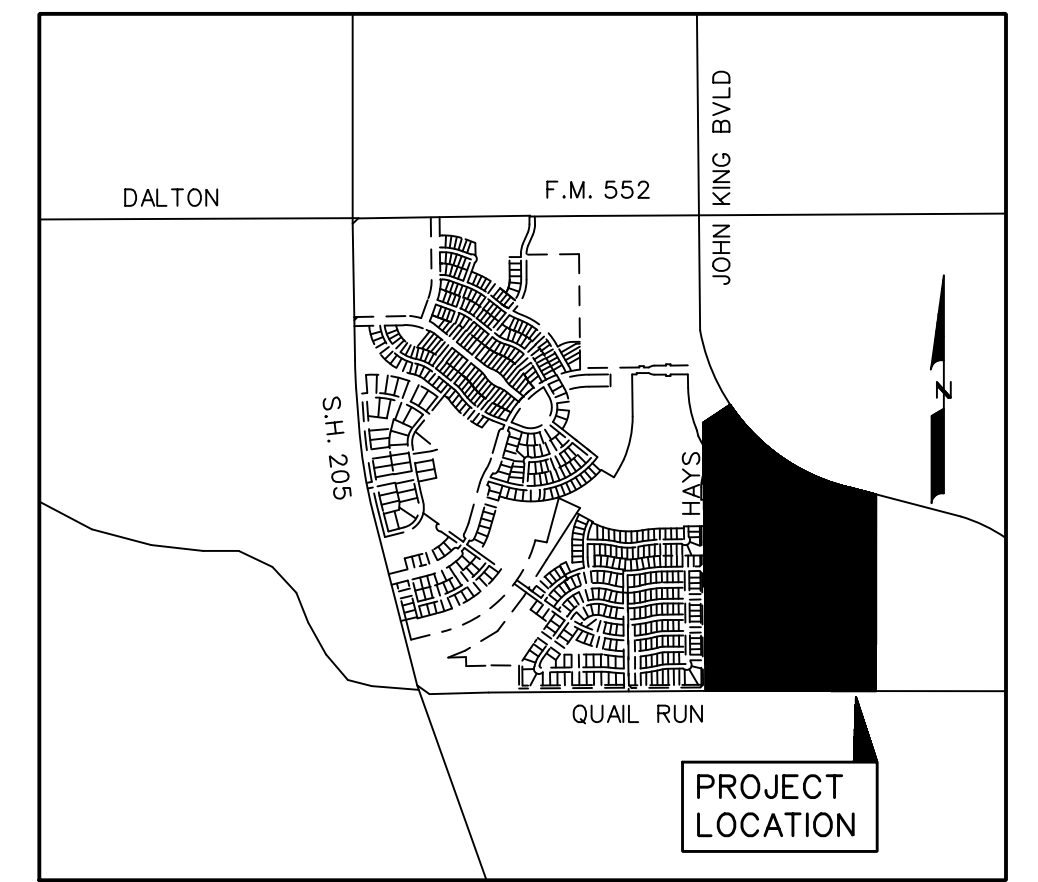
Line up driveway with Randas Way across John King

JOHN KING BOULEVARD

HAYS LANE

QUAIL RUN ROAD

AMENITY CENTER  
4.8 AC.



LOCATION MAP

**General Items:**

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- Sidewalk to be installed along all roadways.
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- Must construct E Quail Run Road (85' ROW, 2-25' paving with raised median) & min 24.5' along existing roadway from Hays to new E. Quail
- Internal streets to be 50' ROW with 29' B-B paving min.
- Must build the left turn lane on John King.

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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200

JUNE 2022 SCALE 1" = 100'

CASE NO. XXXX



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1244 E Quail Run Rd

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION SEC of N John King Blvd and Hays Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG - Agricultural District

CURRENT USE Vacant Ag Land

PROPOSED ZONING PD - SF - 10

PROPOSED USE Single Family Residential

ACREAGE 85.63

LOTS [CURRENT]

N/A

LOTS [PROPOSED]

255

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER R & R Hance Investments

APPLICANT Skorburg Company

CONTACT PERSON Larry Hance

CONTACT PERSON Kevin Harrell

ADDRESS 6946 Sperry St

ADDRESS 8214 Westchester Dr

STE 900

CITY, STATE & ZIP Dallas, TX 75214

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-207-4362

PHONE 214-888-8859

E-MAIL larryhance@gmail.com

E-MAIL kharrell@skorburgcompany.com

## NOTARY VERIFICATION [REQUIRED]

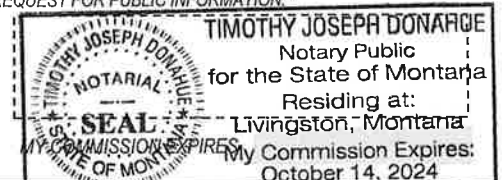
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Larry Hance [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

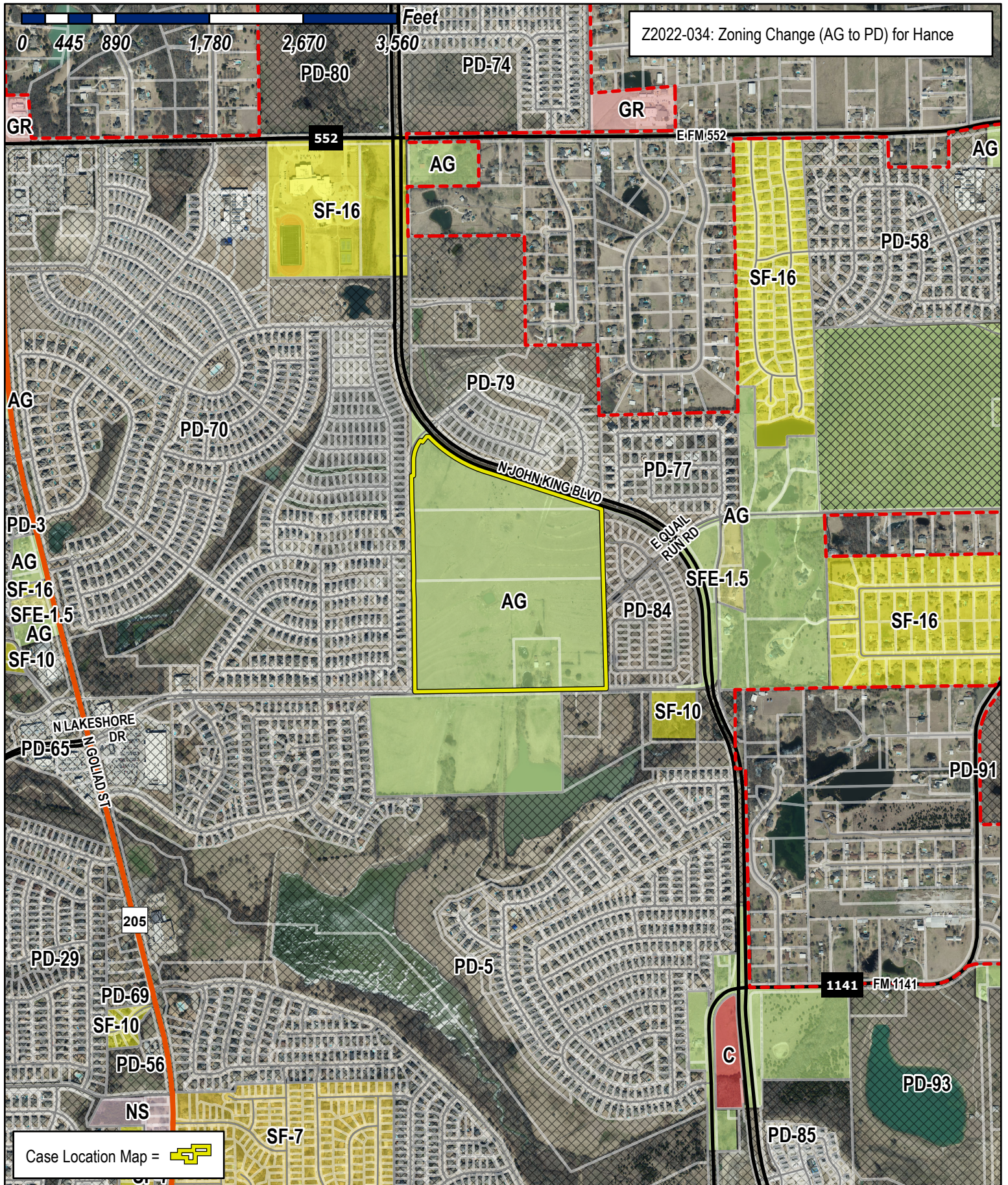
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



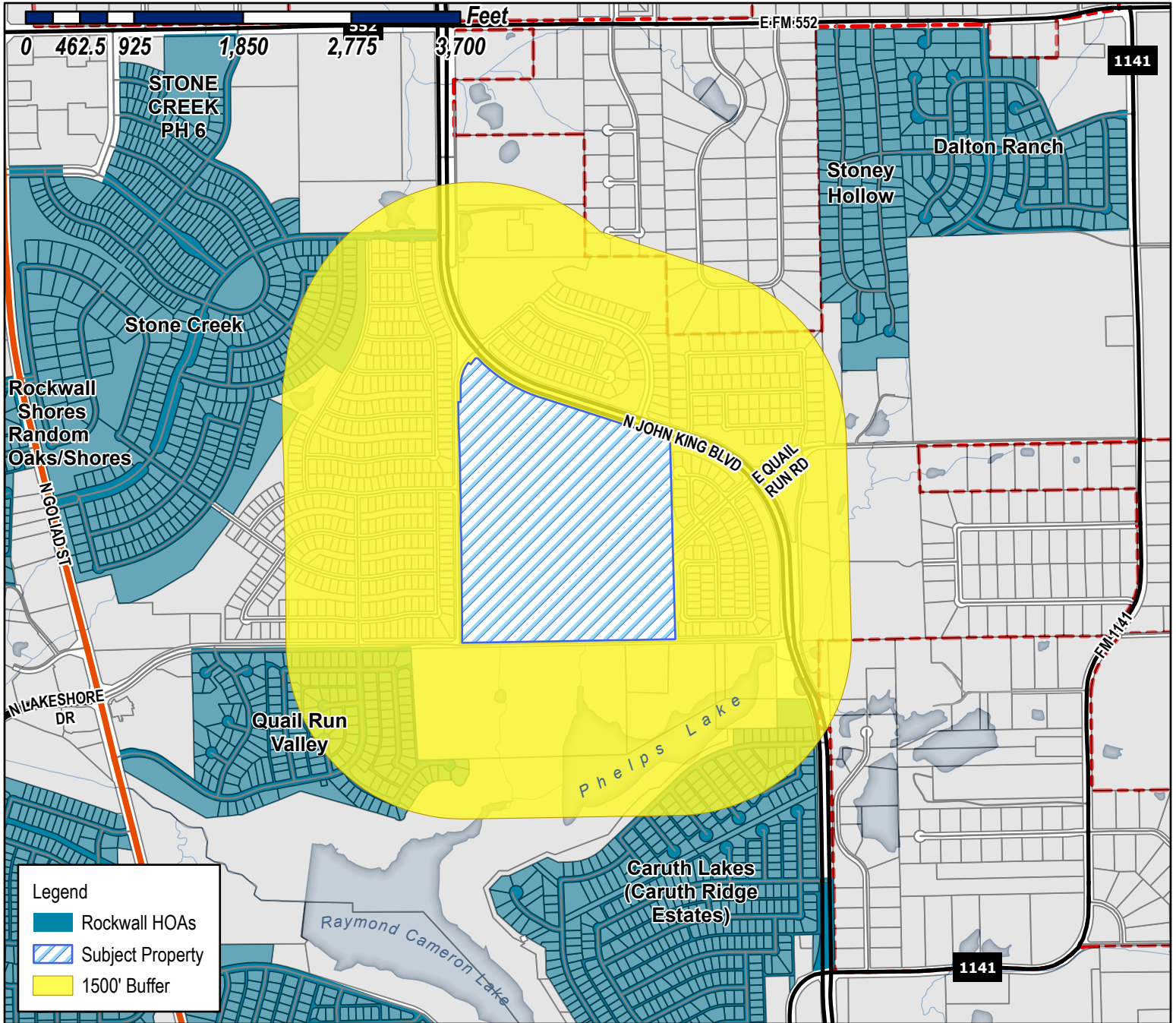




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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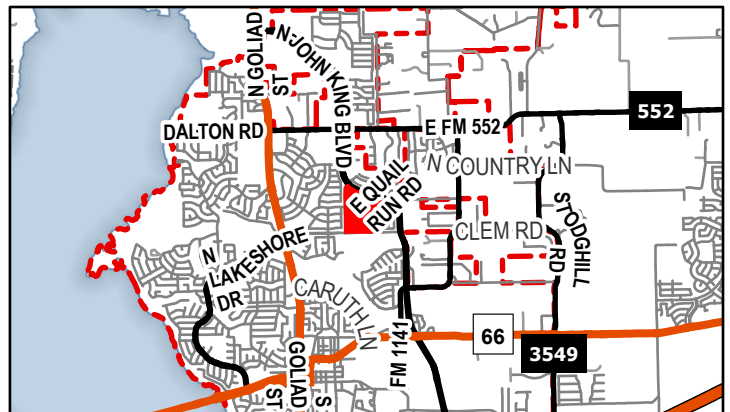
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**Legend**

- Rockwall HOAs
- Subject Property
- 1500' Buffer

**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.



**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745

## Miller, Ryan

---

**From:** Gamez, Angelica  
**Sent:** Tuesday, June 21, 2022 4:44 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2022-034]  
**Attachments:** Public Notice (06.20.2022).pdf; HOA Map (06.17.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *June 24, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 18, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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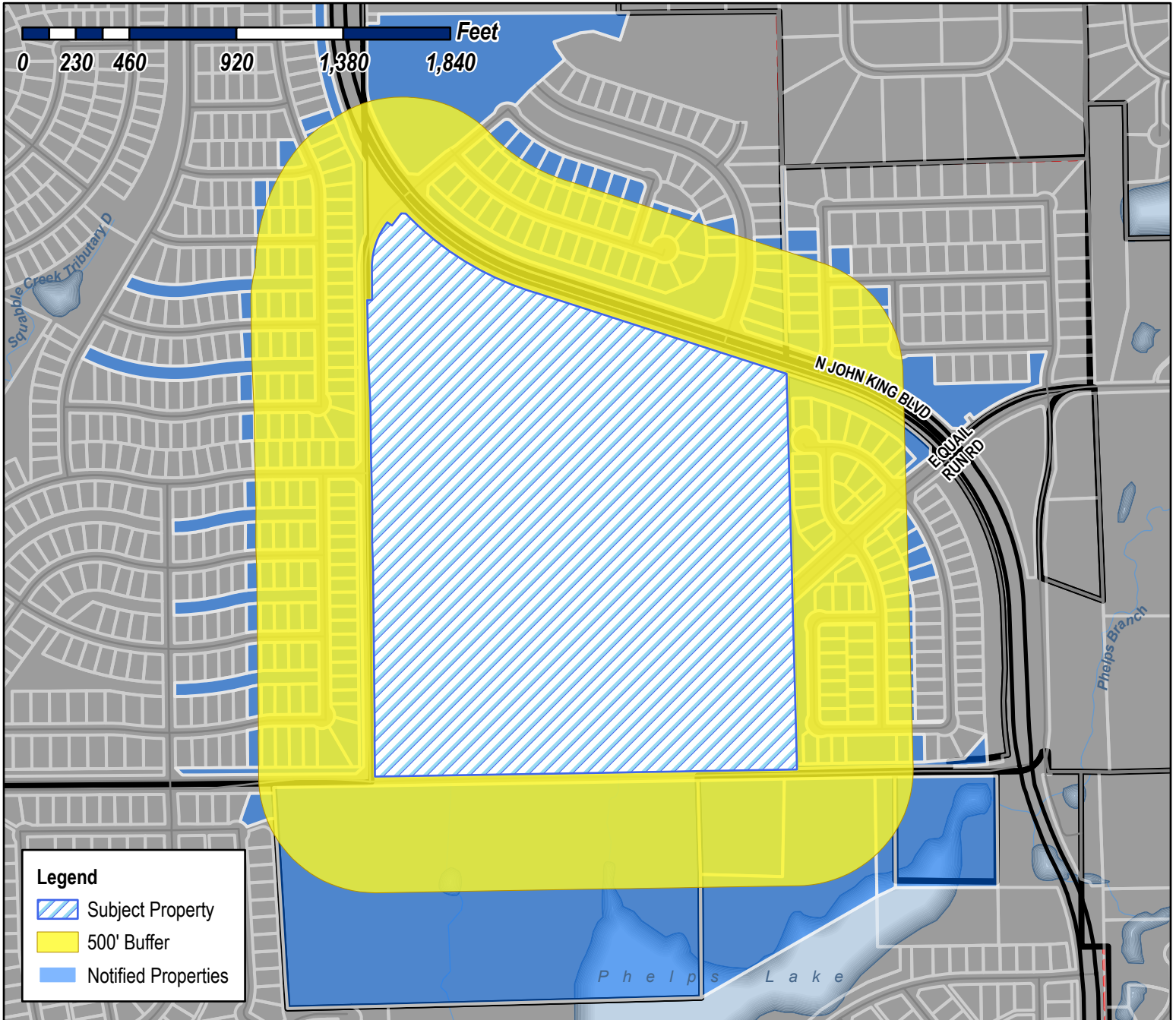
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# City of Rockwall

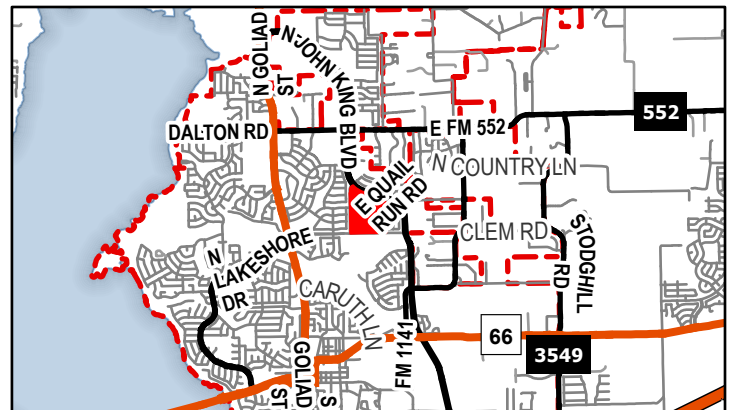
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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.

**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION  
INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

STONE CREEK HOMEOWNERS ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

QUALICO DEVELOPMENTS (US), INC.  
1201 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1202 JASPER ST  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
1204 MIDDLETON DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1207 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1208 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1213 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1214 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1239 OPAL DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
1244 QUAIL RUN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1245 OPA LDR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
1309 MORaine PL  
HEATH, TX 75032

BROWN CHARLES O AND KAREN E  
1401 HARVARD DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1402 HARVARD DR  
ROCKWALL, TX 75087

MAKIDON MICHAEL AND GINA  
1405 HARVARD DRIVE  
ROCKWALL, TX 75087

MANEY DREW DANIEL  
1406 HARVARD DRIVE  
ROCKWALL, TX 75087

PHILLIPS LARRY GLENN AND DEBORAH ANN  
1408 HARVARD DR  
ROCKWALL, TX 75087

HOBBS ANTWAUN AND JADE  
1409 HARVARD DRIVE  
ROCKWALL, TX 75087

SMITH ROBERT AND SUSAN  
1410 HARVARD DRIVE  
ROCKWALL, TX 75087

BARRIENTOS RUBEN AND IDA  
1411 HARVARD DRIVE  
ROCKWALL, TX 75087

DEHART KYLE J AND JOCELYN L  
1414 HARVARD DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1415 HARVARD DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

QUALICO DEVELOPMENTS (US), INC.  
14400 THE LAKES BLVD  
PFLUGERVILLE, TX 78660

DFH COVENTRY LLC  
14701 PHILIPS HIGHWAY SUITE 300  
JACKSONVILLE, FL 75248

REMEDIZ TYLER AND CELESTE  
1600 WANETA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1604 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1608 WANETA DR  
ROCKWALL, TX 75087

BORG RICHARD AND  
MEGAN WOOD  
1612 WANETA DR  
ROCKWALL, TX 75087



WINDSOR HOMES CUMBERLAND LLC  
1616 WANETA DR  
ROCKWALL, TX 75087

ALEXANDER MATHEW AND MARYALICE  
1620 WANETA DR  
ROCKWALL, TX 75230

TODD WILLIAM BRACKEN JR AND LAUREN  
ELIZABETH  
1624 WANETA DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
16980 NORTH DALLAS PARKWAY SUITE 100  
DALLAS, TX 75248

GORDON STEVEN JR AND JENNIFER  
1702 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1704 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1705 SAPPHIRE RD  
ROCKWALL, TX 75087

SUNDSTROM KENNETH AND AVA  
1706 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1706 RUBY WAY  
ROCKWALL, TX 75087

HUNT ROBERT WILBURN AND MARY  
RICHARDSON HUNT  
1710 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1710 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1711 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1712 RUBY WAY  
ROCKWALL, TX 75087

MCCLURE MATTHEW AND JIYEON  
1714 WANETA DR  
ROCKWALL, TX 75225

QUALICO DEVELOPMENTS (US), INC.  
1716 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1717 SAPPHIRE RD  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DRIVE  
ROCKWALL, TX 75230

QUALICO DEVELOPMENTS (US), INC.  
1718 RUBY WAY  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DR  
ROCKWALL, TX 75087

STEERE VLADISLAV AND  
LEAH STOCKSTILL  
1722 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1722 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1723 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1724 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1728 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1729 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1730 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1734 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1735 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1736 RUBYWAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1742 RUBYWAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1802 SAPPHIRE RD  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1804 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1808 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1808 WANETA DR  
ROCKWALL, TX 75087

SCHMIDT DEBRA SUE  
1812 WANETA DRIVE  
ROCKWALL, TX 75201

QUALICO DEVELOPMENTS (US), INC.  
1814 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1816 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1820 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1820 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1823 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1825 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1826 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1831 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1832 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1837 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1845 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1902 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1903 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1906 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1907 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1909 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1910 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1912 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1913 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1915 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1918 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1919 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1921 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1924 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1927 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1930 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1936JADEDR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1942 JADE DR  
ROCKWALL, TX 75087

FORMBY KAYLA RILEY & JONATHAN  
CHRISTOPHER  
2002 TOPAZ DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2004 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2005 EVERT WAY  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2006 TOPAZ DRIVE  
ROCKWALL, TX 75087

GERENA PRISCILLA SCHAR- AND  
JONATHAN M ELDER  
2007 GROVER LANE  
ROCKWALL, TX 75087

SCHAR ROY  
2008 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2009 EVERT WAY  
ROCKWALL, TX 75087

HOLLIDAY MALESSA R AND COURTNEY  
2010 TOPAZ DRIVE  
ROCKWALL, TX 75087

WOLSTENCROFT LISA AND BRIAN  
2011 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2012 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2013 EVERT WAY  
ROCKWALL, TX 75087

GILBY TYLER AND TAYLOR  
2014 TOPAZ DRIVE  
ROCKWALL, TX 75087

IVEY JOSHUA LUKE & SAMANTHA  
2015 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2018 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2022 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2024 TOPAZ DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
2101 CEDAR SPRINGS RD STE 700  
DALLAS, TX 75201

HIGHLAND HOMES- DALLAS LLC  
2104 TOPAZ DR  
ROCKWALL, TX 75087

WHITE WALTER AND SHRONDA  
2105 GROVER LANE  
ROCKWALL, TX 75225

STONE CREEK PHASE X LTD  
2108 TOPAZ DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2109 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2112 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2116 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2120 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2120 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2121 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2124 TOPAZ DR  
ROCKWALL, TX 75087



DFH COVENTRY LLC  
2125 RANDAS WAY  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2200 ROSS AVE SUITE 4200W  
DALLAS, TX 75201

DFH COVENTRY LLC  
2201 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2202 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2202 TOPAZ DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2203 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2204 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2206 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2207 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2208 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2210 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2211 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2214 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2218 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2220 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2301 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2303 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2304 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2304 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2305 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2307 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2308 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2308 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2309 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2311 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2312 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2312 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2313 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2315 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2316 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2317 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2319 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2320 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2321 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2323 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2324 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2325 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2325 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2327 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2328 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2329 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2331 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2332 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2333 ROCKING H TRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2335 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2336 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2339 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2340 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2341 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
480 WILDWOOD FOREST DR STE 801  
SPRING, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

STONE CREEK PHASE X LTD  
537 FAIR DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
538 ALBATROSS DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
541 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
541 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 ALBATROSS DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
543 FAIR DR  
ROCKWALL, TX 75087

JACOB JOFFY & JERIN JOSE  
544 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
544 MELODY MEADOW DR  
ROCKWALL, TX 75087

PIERCE KAYNE JEREMY AND BETH ANN  
545 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
545 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
545 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
546 ALBATROSS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
547 FAIR DR  
ROCKWALL, TX 75087

OBERA FRANCISCO AND DEBRA  
548 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 PETREL DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
549 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
549 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
549 PETREL DR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
550 E QUAIL RUN RD  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
550 MELODY MEADOW DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
551 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 PETREL DR  
ROCKWALL, TX 75087

JEFFUS LARRY & CAROL  
552 GRANITE FIELDS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
552 ALBATROSS DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
553 FAIR DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
554 MELODY MEADOW DR  
ROCKWALL, TX 75087

BABALOLA OWOLABI AND RASHIDAT ABIODUN  
555 GRANITE FIELDS DR <Null>  
ROCKWALL, TX 78660

CHESMAR HOMES LLC  
555 MELODY MEADOW DR  
ROCKWALL, TX 75087

CANTU SHEA M AND OSCAR J  
556 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
559 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

MAJKA ALYSSA  
560 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
5601 DEMOCRACY DRIVE SUITE 300  
PLANO, TX 75024

PACESETTER HOMES LLC  
563 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

YINGLING JOHN R  
570 EAST QUAIL RUN DR  
ROCKWALL, TX 75087

HOTCHKISS AMANDA  
618 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
618 NAKOMA DR  
ROCKWALL, TX 75087



RADICIONI WADE AND LISA  
621 EMERSON DR  
ROCKWALL, TX 75087

DUBOIS WESLEY GRANT & SARAH E  
621 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
621 NAKOMA DR  
ROCKWALL, TX 75087

BAGACEAN MICHAEL A AND JENNIFER  
622 EMERSON DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
622 NAKOMA DR  
ROCKWALL, TX 75087

CONFIDENTIAL  
624 MONTROSE DR  
ROCKWALL, TX 75087

ANDERSON KEVIN AND KRISTINE  
625 EMERSON DR  
ROCKWALL, TX 75087

MALLIK THOMAS ARTHUR AND TERI LYNN  
625 MONTROSE DR  
ROCKWALL, TX 75087

HAMILTON LUCAS C AND BRENDA C  
625 NAKOMA DR  
ROCKWALL, TX 75087

HASEGAWA TETSUYA & PATRICIA EMY AOKI  
626 COVEY TRL  
ROCKWALL, TX 75087

KEFFER MICHAEL RYAN AND JENNIFER  
626 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
626 NAKOMA DR  
ROCKWALL, TX 75087

BRISENO MARCO A  
628 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOLLENBECK DARREN SCOTT AND  
WEIYA TSENG  
629 EMERSON DRIVE  
ROCKWALL, TX 75201

AWANO ELSABET LEGESSE AND  
FEKADU GHEBREMSKEL HALEFOM  
629 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
629 NAKOMA DR  
ROCKWALL, TX 75087

BROWN CARI MELISSA AND  
NANCY BAER  
630 EMERSON DRIVE  
ROCKWALL, TX 75087

WHEELIS NICHOLAS ADAM AND  
YOMAIRA NAVARRETTE  
630 NAKOMA DRIVE  
ROCKWALL, TX 75201

MEGATEL HOMES LLC  
632 MONTROSE DR  
ROCKWALL, TX 75087

GREMILLION REBECCA BROWN & JAMES E JR  
633 EMERSON DRIVE  
ROCKWALL, TX 75201

USMANI MUHAMMAD & SUBUK  
633 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOBBS AUTAVIUS SR AND  
TANGELA GREEN  
633 NAKOMA DR <Null>  
ROCKWALL, TX 75087

CARBONE LISA AND JOHN  
634 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
634 NAKOMA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
636 MONTROSE DR  
ROCKWALL, TX 75087

MORRIS SHANNON AND JAMIE  
637 EMERSON DR  
ROCKWALL, TX 75087

COOK FAMILY REVOCABLE TRUST  
BRONWYN P COOK- TRUSTEE  
637 NAKOMA DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
637 MONTROSE DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
640 MONTROSE DR  
ROCKWALL, TX 75087

MILLS RYAN MATTHEW & LACY FERRELL  
641 EMERSON DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
6946 SPERRY ST  
DALLAS, TX 75214

WINDSOR HOMES CUMBERLAND LLC  
700 MONTROSE DR  
ROCKWALL, TX 75087

THOMPSON JACOB KEITH & SARAH ELISABETH  
704 MONTROSE DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
8214 WESTCHESTER DR STE 710  
DALLAS, TX 75225

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 12, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

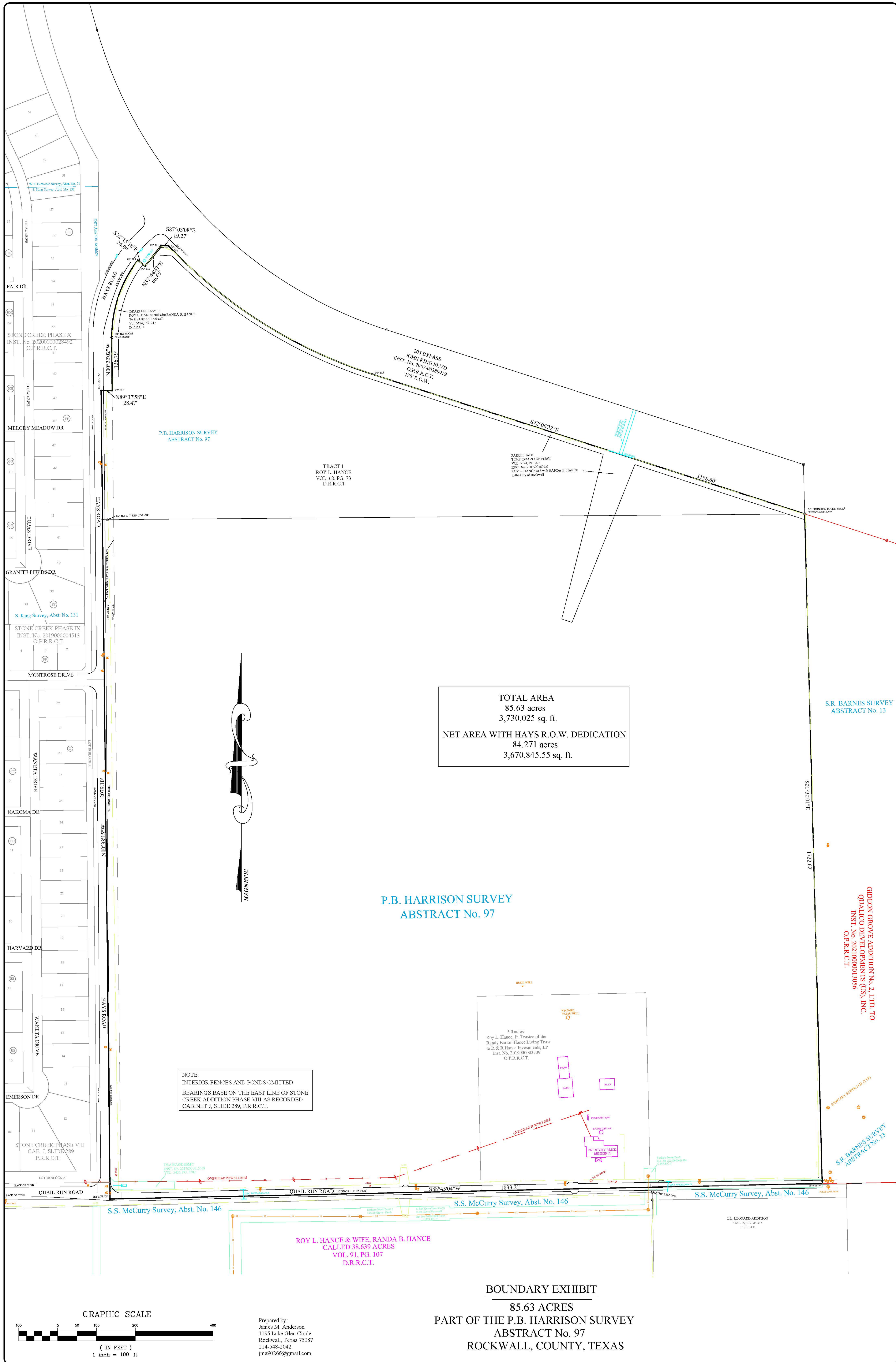
Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



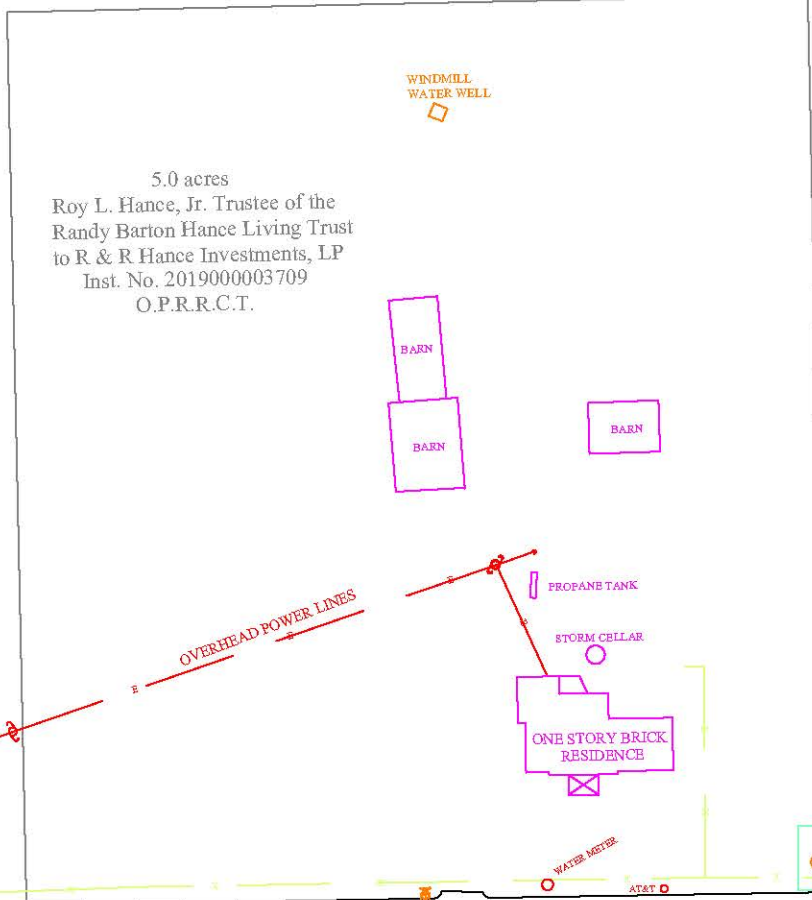


TOTAL AREA  
85.63 acres  
3,730,025 sq. ft.

NET AREA WITH HAYS R.O.W. DEDICATION  
84.271 acres  
3,670,845.55 sq. ft.

P.B. HARRISON SURVEY  
ABSTRACT No. 97

NOTE:  
INTERIOR FENCES AND PONDS OMITTED  
BEARINGS BASE ON THE EAST LINE OF STONE  
CREEK ADDITION PHASE VIII AS RECORDED  
CABINET J, SLIDE 289, P.R.R.C.T.

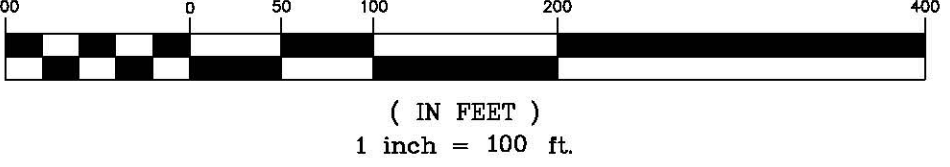


ROY L. HANCE & WIFE, RANDA B. HANCE  
CALLED 38.639 ACRES  
VOL. 91, PG. 107  
D.R.R.C.T.

**BOUNDARY EXHIBIT**

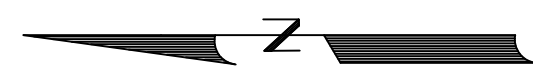
85.63 ACRES  
PART OF THE P.B. HARRISON SURVEY  
ABSTRACT No. 97  
ROCKWALL, COUNTY, TEXAS

GRAPHIC SCALE



Prepared by:  
James M. Anderson  
1195 Lake Glen Circle  
Rockwall, Texas 75087  
214-548-2042  
jma90266@gmail.com



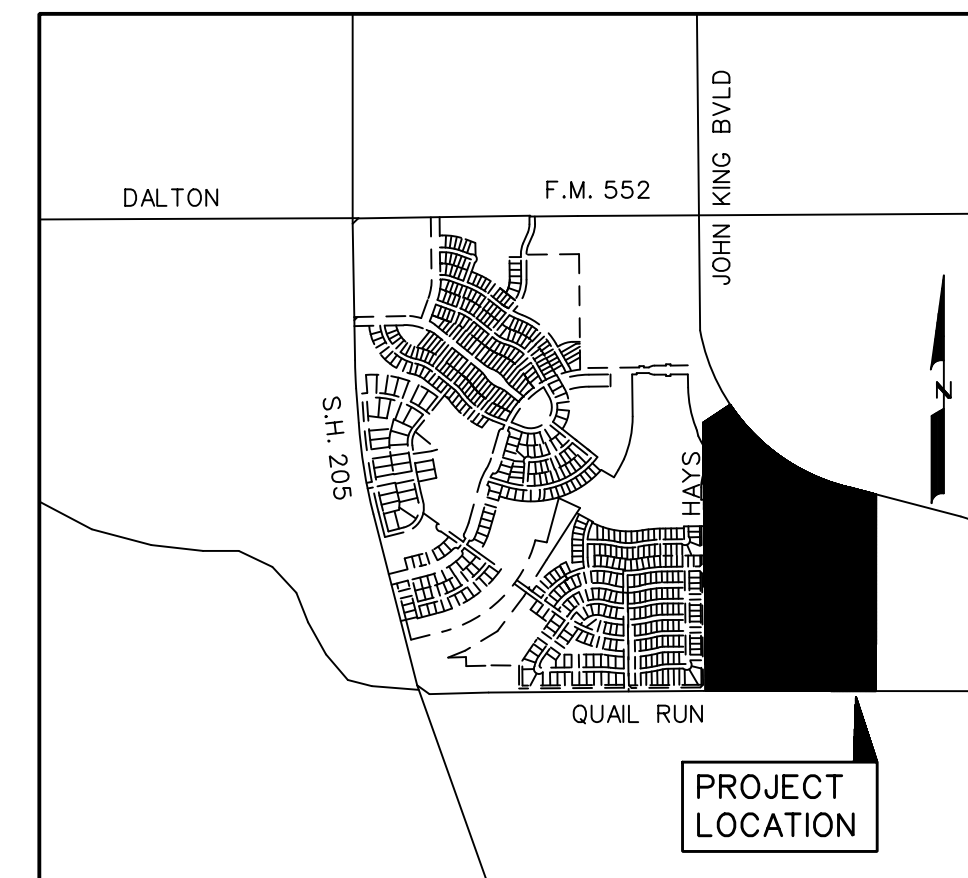


0 50 100 200  
SCALE: 1" = 100'

**LEGEND**

TYPICAL LOT SIZES

- 82' X 125' - 18 LOTS
- 72' X 125' - 79 LOTS
- 62' X 125' - 159 LOTS
- OPEN SPACE - 10.99 Ac.
- AMENITY CENTER - 4.8 Ac.

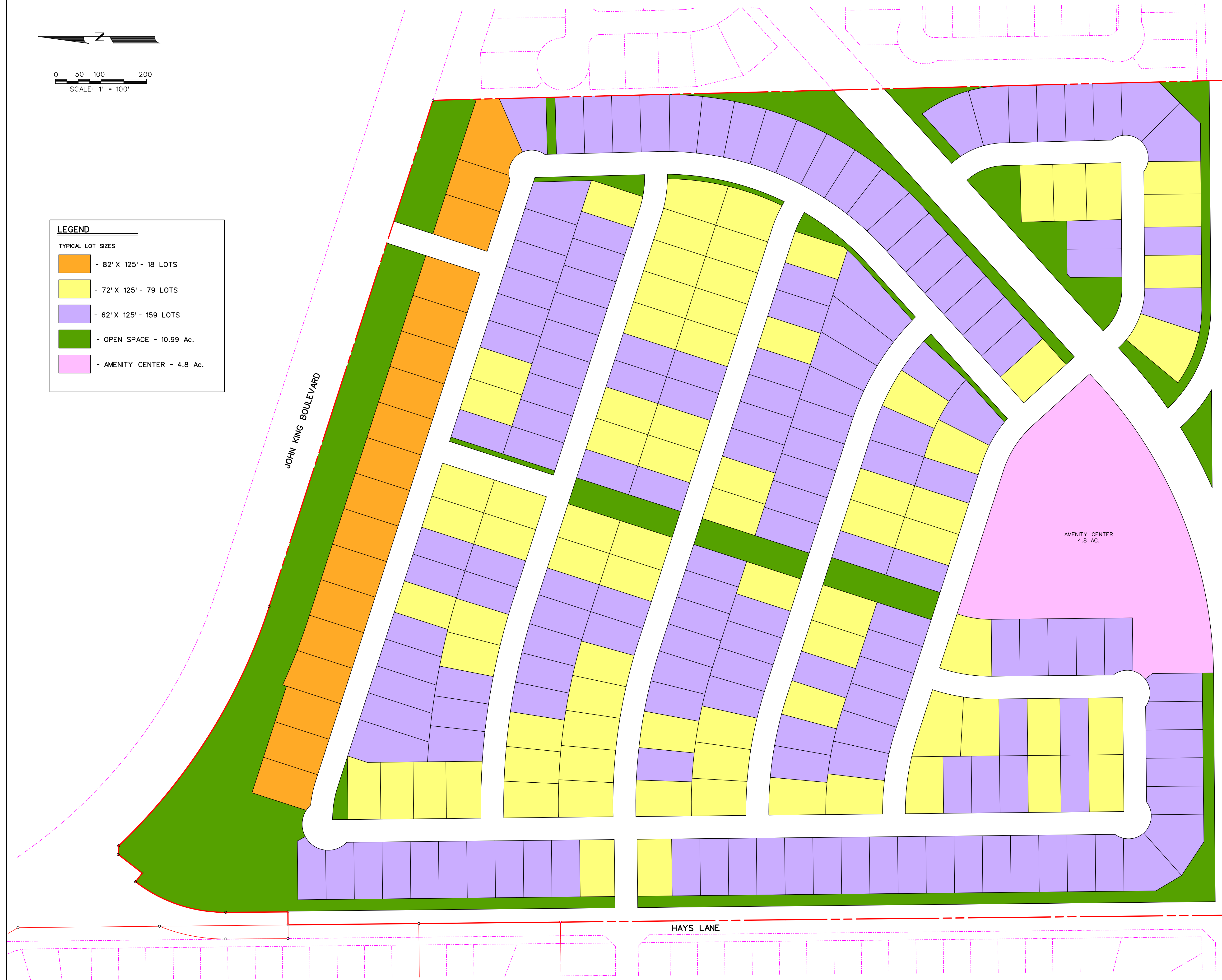


LOCATION MAP  
N.T.S.

TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	256
RESIDENTIAL DENSITY	2.99
OPEN SPACE PERCENTAGE	18.44%

CONCEPT PLAN  
OF  
**HANCE TRACT**  
SITUATED IN THE  
P.B. HARRISON SURVEY, ABSTRACT NO. 97  
IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200  
JUNE 2022 SCALE 1" = 100'

CASE NO. XXXX



# 05 FUTURE LAND USE PLAN

## 01 LAND USE PLAN DESIGNATIONS

### 01.01 RESIDENTIAL ● ● ●

#### ● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

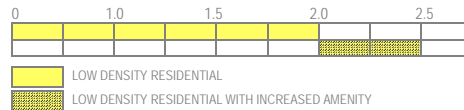
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

##### EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

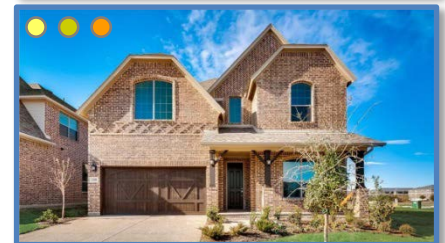
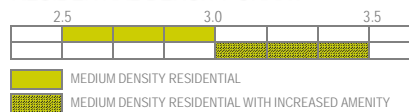
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

##### EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

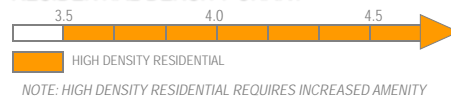
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

##### EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

##### RESIDENTIAL DENSITY CHART





# 13 NORTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The Northwest Residential District is characterized by the two (2) large master planned communities that make up the majority of the acreage in this district. These developments are the Caruth Lakes and Stone Creek Subdivisions. The remainder of this district is expected to develop with similar medium density residential housing product.

## DISTRICT STRATEGIES

The Northwest Residential District is expected to continue to provide master planned suburban neighborhoods in the future and has no areas that are thought to be transitioning. Based on these assumptions the strategies for this district are as follows:

- 1 Suburban Residential.** Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision.
- 2 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the Neighborhood/Convenience Centers and the Suburban Residential developments.
- 3 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.

## POINTS OF REFERENCE

- A. J. W. Williams Middle School
- B. The Park at Stone Creek
- C. Stone Creek Subdivision
- D. Fire Station #3
- E. The Parks at Squabble Creek
- F. Caruth Lakes Subdivision

## LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon



2 Shops at Stone Creek



1 Current Suburban Residential



2 Kroger Shopping Center



1 Current Suburban Residential

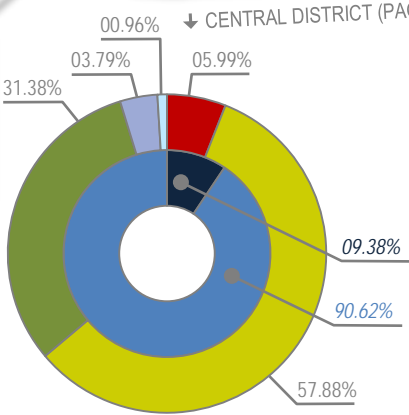


2 Future Neighborhood/Convenience Center

**BUILD OUT**  
 2,347  
 7,018

**% OF ROCKWALL**  
 8.91%  
 1.38%  
 8.95%

**CURRENT**  
 1,782  
 25  
 5,328



TXDOT 4D	COMMERCIAL	9.38%
MINOR COLLECTOR	RESIDENTIAL	90.62%
M4U	MIXED USE	0.00%
M4D	COMMERCIAL/RETAIL (CR)	60.20-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	581.3-ACRES
	PARKS AND OPEN SPACE (OS)	315.22-ACRES
	PUBLIC (P)	38.11-ACRES
	QUASI-PUBLIC (QP)	9.66-ACRES

CITY OF ROCKWALL

ORDINANCE NO. **22-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 2-01, 2-04, 2-05 & 2-06 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.



(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF AUGUST, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: July 18, 2022

2<sup>nd</sup> Reading: August 1, 2022



**Exhibit 'A':**  
**Legal Description**

*BEING* an 85.629-acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00-acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

*BEGINNING* at a ½" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

*THENCE* South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

*THENCE* South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

*THENCE* North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

*THENCE* North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

*THENCE* North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

*THENCE* along said right-of-way an arc distance of 212.86' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* South 52°15'18" East a distance of 24.00' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

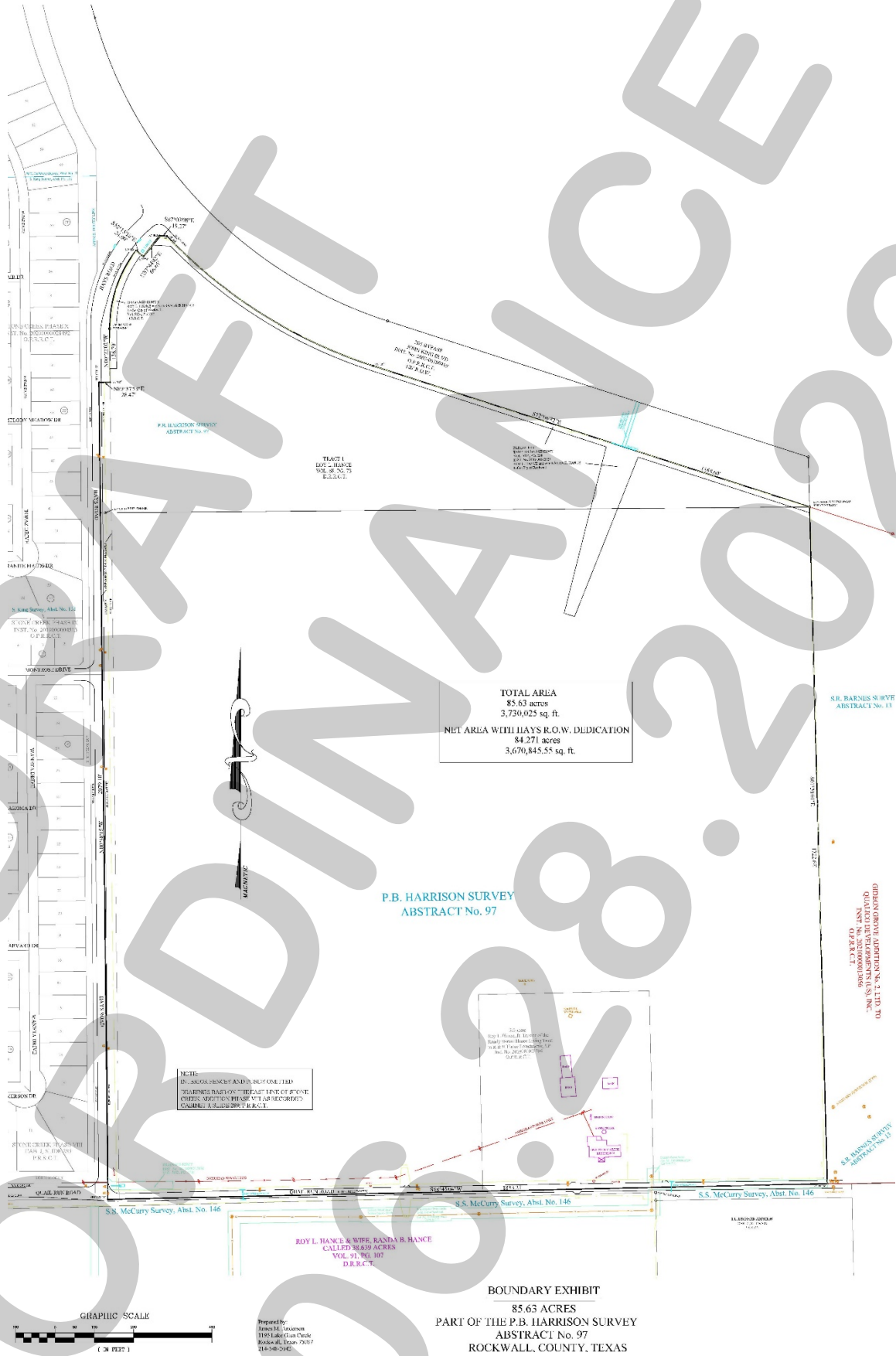
*THENCE* North 37°44'42" East a distance of 66.65' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16';

*THENCE* South 87°03'08" East along said corner clip, a distance of 19.27' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

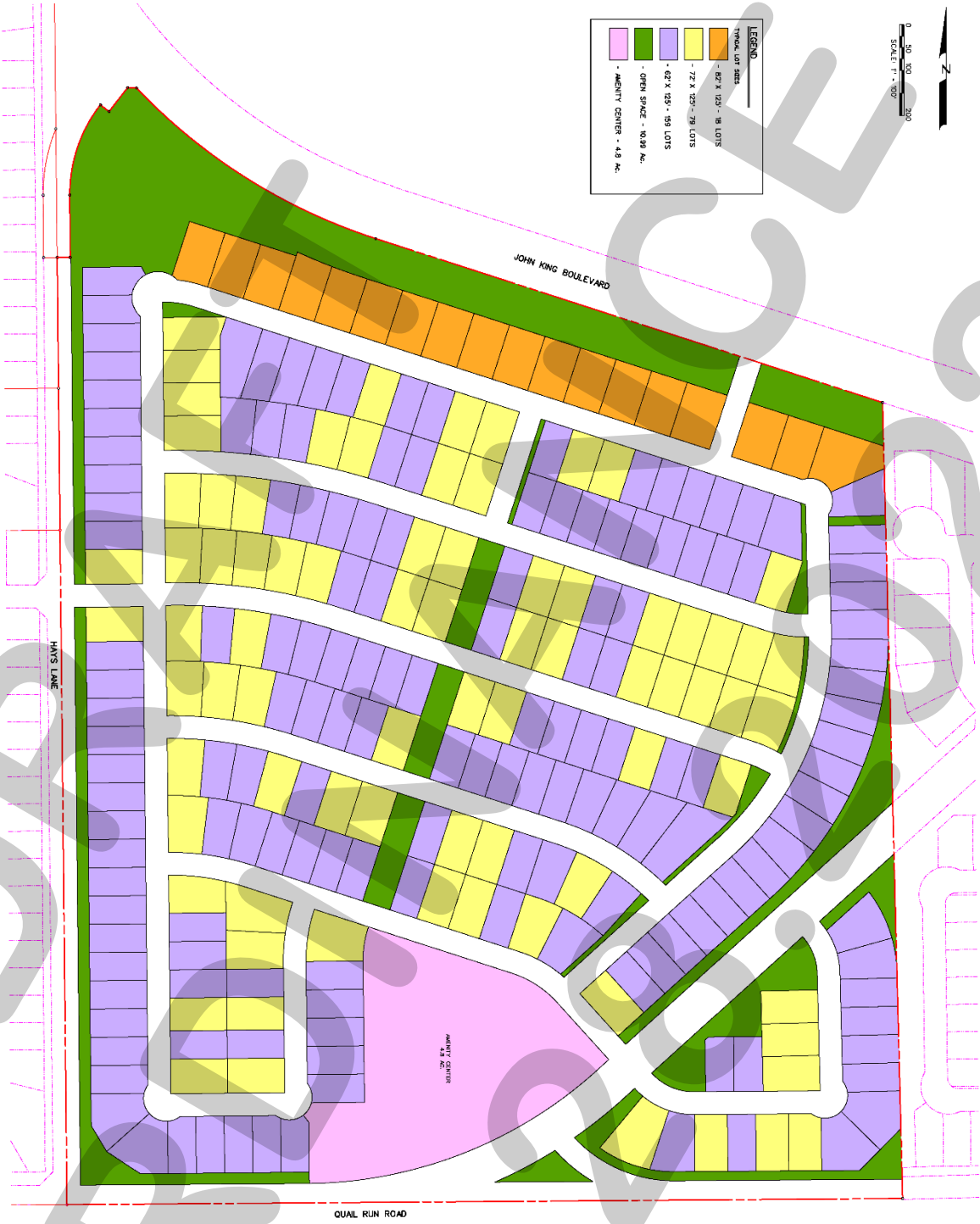
*THENCE* along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* South 72°06'32" East a distance of 1168.60' to the *POINT OF BEGINNING* and containing 85.629-acres or 3,730,025 square feet of land.

**Exhibit 'B':  
Survey**

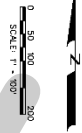


# Exhibit 'C': Concept Plan

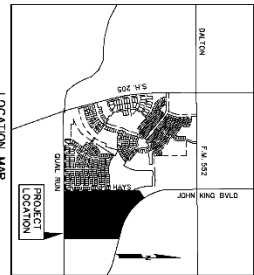


**LEGEND**

[Green Box]	- OPEN SPACE - 10.99 AC.
[Purple Box]	- 62' X 125' - 159 LOTS
[Yellow Box]	- 72' X 125' - 79 LOTS
[Orange Box]	- 62' X 125' - 18 LOTS
[Pink Box]	- AMENITY CENTER - 4.8 AC.



TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	256
RESIDENTIAL DENSITY	2.99
OPEN SPACE PERCENTAGE	18.44%



CONCEPT PLAN  
**HANCE TRACT**  
 P.B. HARRISON SURVEY, ABSTRACT NO. 97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS  
 OWNER  
 R & R HANCE INVESTMENTS LP  
 6044 SPURWAY STREET  
 ROCKWALL, TEXAS 75087  
 PREPARED BY  
 CORWIN ENGINEERING, INC.  
 2615 W. STATE STREET  
 ALLEN, TEXAS 75013 &  
 JUNE 2022 SCALE: 1" = 100'  
 CASE NO. XXXX

**Exhibit 'D':**  
*Density and Development Standards*

**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

**TABLE 1: LOT COMPOSITION**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	159	62.11%
B	72' x 120'	8,640 SF	79	30.86%
C	82' x 125'	10,250 SF	18	07.03%
<i>Maximum Permitted Units:</i>			256	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 3.00 dwelling units per gross acre of land; however, in no case should the proposed development exceed 256 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

Lot Type (see Concept Plan) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

**General Notes:**

- <sup>1:</sup> Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5:</sup> Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6:</sup> *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7:</sup> All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.



**Exhibit 'D':**  
*Density and Development Standards*

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) may be used for up to 50% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



**Exhibit 'D':**  
*Density and Development Standards*

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:
- (1) Type 'A' Lots. The Type 'A' Lots (i.e. the purple lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional (or j-swing) configuration. A maximum of 32.10% of the Type 'A' Lots (i.e. 51 lots or 20.00% of all lots) shall be permitted to be oriented in a flat-front entry configuration -- allowing the garage door to be flush with the front façade of the primary structure -- pending the front yard building setback is increased to a minimum setback of 25-feet.
  - (2) Type 'B' & 'C' Lots. The Type 'B' & 'C' Lots (i.e. the yellow and orange lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional (or j-swing) configuration.
  - (3) Requirements for all Lot Types. All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see Figures 4-6 for examples of upgraded or enhanced finishes].

*Continued on Next Page ...*



**Exhibit 'D':**  
*Density and Development Standards*

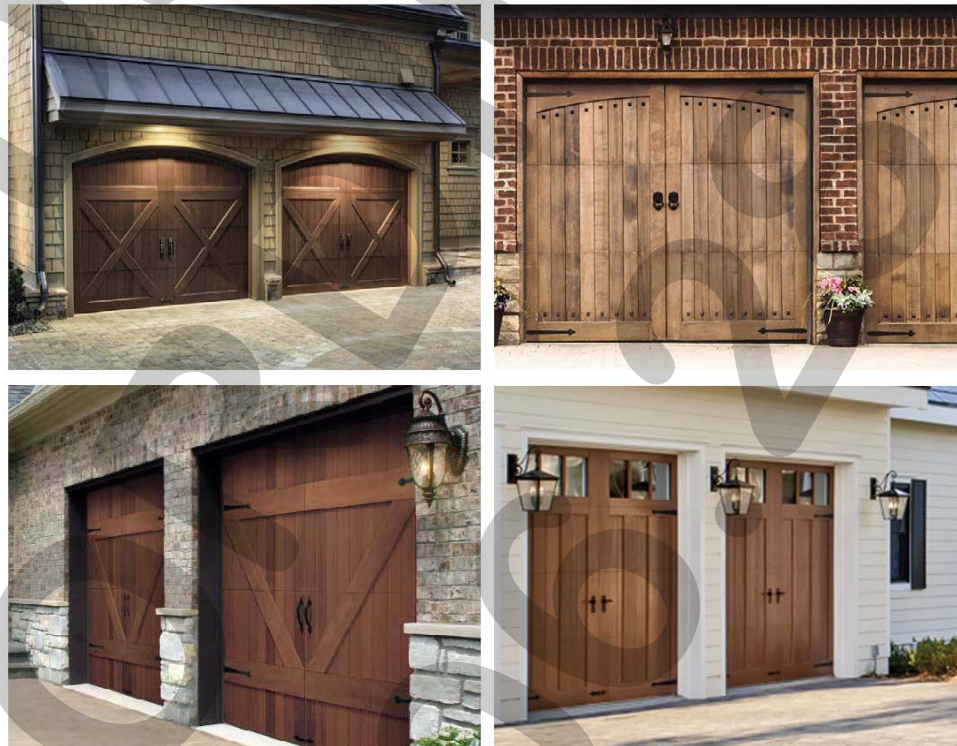
**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**





**Exhibit 'D':**  
*Density and Development Standards*

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, John King Boulevard, Hays Road, E. Quail Run Road, or Old E. Quail Run Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

*Continued on Next Page ...*

**Exhibit 'D':**  
*Density and Development Standards*

*FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.*



*FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.*



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. E. Quail Run Road [Old E. Quail Run Road], Hays Road, and John King Boulevard*), abutting open spaces, the amenity center, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

**Exhibit 'D':**  
*Density and Development Standards*

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 90-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 90-foot landscape buffer.
- (2) Landscape Buffer and Sidewalks (Hays Road and E. Quail Run Road -- and Old Quail Run Road). A minimum of a ten (10) foot landscape buffer shall be provided along Hays Road, E. Quail Run Road, and Old E. Quail Run Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, one (1) canopy tree and one (1) accent tree are required per 50-linear feet of frontage along these roadways. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.



**Exhibit 'D':**  
*Density and Development Standards*

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 17.126-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (14) Amenity Center. An amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*.

**Exhibit 'D':**  
*Density and Development Standards*

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** July 12, 2022  
**APPLICANT:** Kevin Harrell; *Skorburg Company*  
**CASE NUMBER:** Z2022-034; *Zoning Change (AG to PD) for the Hance Tract*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is: [1] a 2,236 SF single-family home, [2] a 64 SF storage building, [3] a 2,400 SF metal storage building, [4] a 2,208 SF barn, [5] a 897 SF storage shed, and [6] a 864 SF storage building. All of these improvements were constructed in 1975. Beyond these structures, the subject property has remained largely undeveloped and the zoning designation has not changed since annexation.

### PURPOSE

On June 17, 2022, the applicant -- *Kevin Harrell of the Skorburg Company* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 252-lot single-family, residential subdivision that will consists of three (3) lot sizes (*i.e. [A] 157, 62' x 120' lots; [B] 78, 72' x 120' lots; and [C] 17, 82' x 125' lots*).

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of Hays Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare is Phase 1 of the Saddle Star Estates Subdivision, which consists of 66 single-family residential lots on 26.41-acres. This phase of the subdivision was filed with Rockwall County on November 23, 2020, and is zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses.

South: Directly south of the subject property is E. Quail Run Road. Portions of this roadway are designated as an M4D (*i.e. major collector, four [4] lane, divided roadway*) and a R2U (*i.e. residential, two [2] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) tracts of land (*i.e. Tract 19-2 and 22 of the S. S. McCurry Survey, Abstract No. 146 and Lot 1 of the L. L. Leonard*).

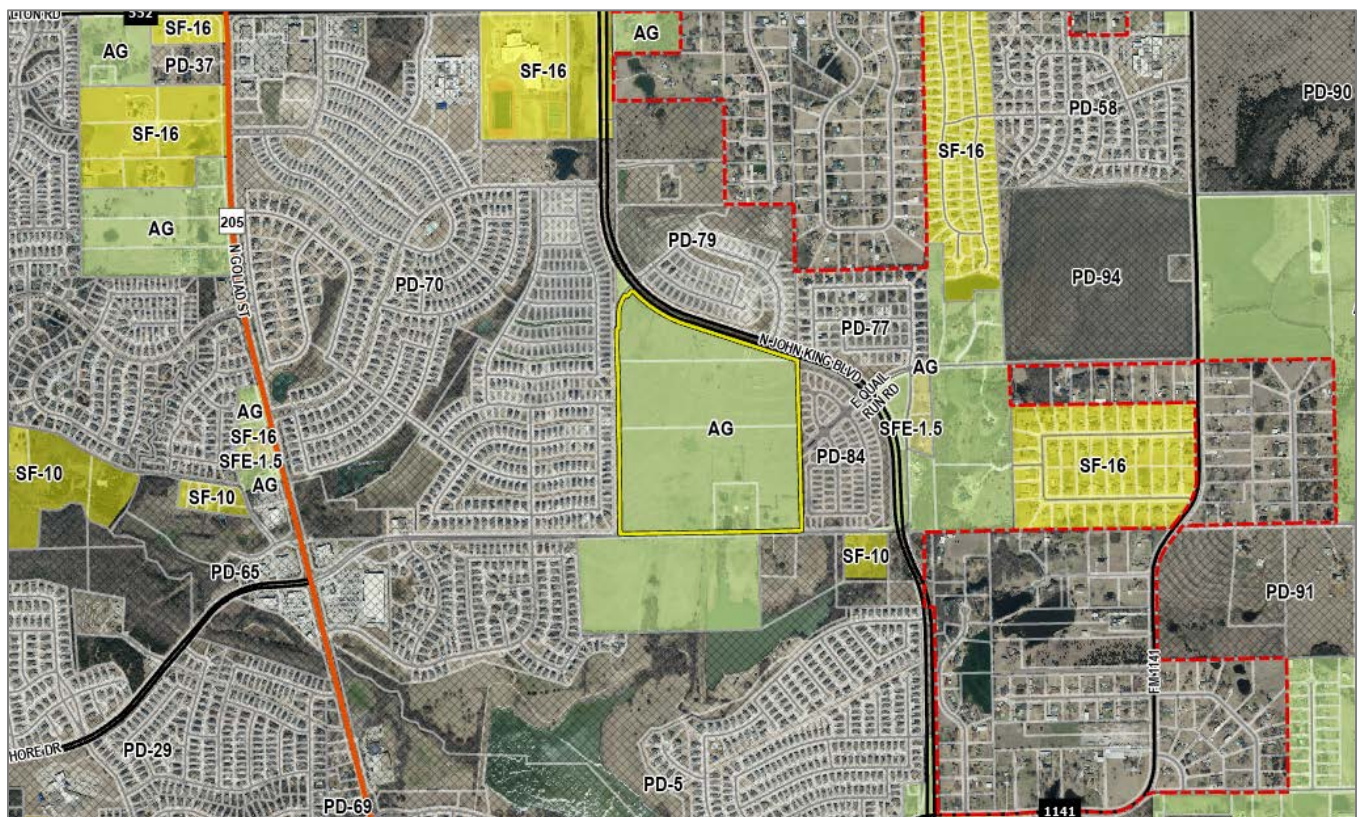


*Addition*) that are currently vacant and zoned Agricultural (AG) District and Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses.

East: Directly east of the subject property is the Gideon Grove Subdivision, which consists of 84 single-family residential lots on 30.06-acres. This subdivision was filed with Rockwall County on March 22, 2022, and is zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Hays Road, which is identified as a *Minor Collector* on the City Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 8 of the Stone Creek Subdivision, which consists of 102 single-family residential lots on 28.66-acres. This phase of the subdivision was filed with Rockwall County on March 6, 2018, and is zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 85.63-acre subject property will consist of 252 residential lots. These lots will consist of three (3) lot types: [1] 157 Type 'A' lots that are a minimum of 62' x 120' (or 7,440 SF), [2] 78 Type 'B' lots that are a minimum of 72' x 120' (or 8,640 SF), and [3] 17 Type 'C' lots that are a minimum of 82' x 125' (or 10,250 SF). This translates to a gross density of 2.94 dwelling units per gross acre (*i.e. 252 lots/85.63-acres = 2.9428 dwelling units per gross acre*). The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,200 SF to 2,800 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 50% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a variation of materials throughout the subdivision.

Looking at the garage orientation proposed for the development, the applicant is requesting to allow a total of 32.10% of the *Type 'A' Lots (51 lots or 20% of all the garages)* to be orientated toward the street in a *Flat Front Entry* garage configuration; however, the applicant is proposing to require a 25-foot front yard building setback for all garages oriented in a *Flat Front Entry* garage configuration. The remaining garage doors will be oriented in a *J-Swing (or a Traditional Swing)* configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of the upgrades required in the Planned Development District ordinance:

IMAGES 1, 2 & 3: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	157	62.30%
B	72' x 120'	8,640 SF	78	30.95%
C	82' x 125'	10,250 SF	17	06.75%
<i>Maximum Permitted Units:</i>			252	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area (SF)</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

General Notes:

- <sup>1:</sup> Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> The location of the *Rear Yard Building Setback* as measured from the rear property line.



- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- 7: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (i.e. a *Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

The proposed concept plan shows that the development will consist of a total of 17.2288-acres open space that includes a 4.80-acre amenity center. This translates to an open space percentage of 20.12% (i.e. 17.2288-acres of open space/85.63-acres gross = 20.12%). In addition, the applicant has incorporated a ten (10) foot hike/bike trail along John King Boulevard and five (5) foot walking trails throughout the subdivision.

## INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, E. Quail Run Road is required to be a M4D (i.e. *major collector, four [4] lane, divided roadway*), which requires an 85-foot right-of-way with two (2), 25-foot *back-to-back* concrete streets with a 14-foot median. This roadway will need to be fully constructed from the existing E. Quail Run Road -- *constructed with Phase 2 of the Gideon Grove Subdivision* -- to where the future alignment ties into the existing E. Quail Run Road. From this point, to the western property line, the applicant will be responsible for constructing a minimum of 24½-feet of the existing E. Quail Run Road. Hays Road is a *Minor Collector* according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This means the applicant will be required to dedicate the remaining right-of-way to ensure that the full right-of-way width of 60-feet is provided, and construct the remaining 16½-feet of paving. In addition, the applicant will be required to construct a left turn lane on John King Boulevard to the City's standards.
- (2) Water. The applicant will be required to construct an eight (8) inch water line that loops through the subject property.
- (3) Wastewater. The applicant will be required to construct an eight (8) inch wastewater line that connects to the existing wastewater system, and pay a \$361.54 per acre sewer pro-rata.
- (4) Drainage. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property.

## CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80% *J-Swing (or Traditional Swing)* or *Recessed Front Entry* (i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home) garages and 20% *Flat Front Entry* garages with a minimum of a 25-foot building setback. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage configurations:



[A] coach lighting, [B] decorative wood doors or wood overlays on insulated metal doors, [C] driveways constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished. The following are examples of some of the upgraded finishes depicted in the Planned Development District ordinance:

IMAGES 4, 5, 6, & 7: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

- (3) Roadway Spacing. The Engineering Department's *Standards of Design and Construction Manual* stipulates a minimum driveway spacing of 200-feet between a local (*i.e. a residential street*) and an arterial (*i.e. Quail Run Road*). Currently, the concept plan does not appear to meet the minimum spacing requirements for the roadways in the southeast corner of the subject property. Should the City Council choose to approve this Planned Development District, they would essentially be approving a variance to the minimum driveway spacing requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northwest Residential District and is designated for Medium Density Residential land uses. The plan defines Medium Density Residential land uses as "... residential subdivisions that are greater than two (2) and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In this case the applicant is proposing a total density of 2.94 dwelling units per acre. In addition, the applicant is proposing to incorporate walking trails and 20.12% open space, and a 4.80-acre amenity center. Based on this the applicant's request is in conformance with the Medium Density Residential designation indicated for the subject property.

According to the *District Strategies for Suburban Residential* in the Northwest Residential District, "... Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision." In this case, the subject property is directly adjacent to Phase 2 of the Gideon Grove Subdivision and Phases 8, 9, & 10 of the Stone Creek Subdivision. Contained within these phases of these subdivisions are lot sizes that range from 60' x 120' (*or a minimum of 7,000 SF*) to 70' x 120' (*or a minimum of 8,400 SF*). This means that the applicant is proposing lots that are equal to or larger than the lots in the adjacent subdivisions. Based on this the applicant's request appears to be in conformance with the *District Strategies* for the Northwest Residential District.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (*e.g. minimum of six [6] side yard setbacks on all lot types, fronting of homes on to a park/open space, etc.*); however, staff has identified the following non-conformities on the concept plan and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 08 | Section 02.03 | Goal 01; Policy 5: Design neighborhoods utilizing the *Housing Tree Model* ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff Response: Staff requested that the *Type 'C' Lots (i.e. 82' x 125' Lots)* be incorporated into the concept plan along E. Quail Run Road to better conform to the *Housing Tree Model*. The applicant has chosen not to incorporate this request into the concept plan.

- (2) [CH. 07 | Goal 02; Policy 3](#): Continue to develop and plan for an interconnected trail and sidewalk system that promotes connectivity and access to all areas of the City.

Staff Response: Staff request the applicant label and show an interconnected trail and sidewalk system on the concept plan. [The applicant has shown a ten \(10\) foot hike/bike trail along John King Boulevard on the concept plan and additional five \(5\) foot trails that traverse the proposed subdivision.](#)

- (3) [CH. 08 | Section 02.02 | Goal 03; Policy 1](#): All residential development -- five (5) acres or greater -- should consist of a minimum of 20% open space as calculated by the gross land area. Floodplain should be counted at a rate of ½-acre for every acre provided (e.g. ten [10] acres of floodplain dedicated as open space would count as five [5] acres of open space).

Staff Response: The original concept plan had less than 20.00% open space. Based on this staff requested that the applicant change the concept plan to incorporate at least 20.00%. [The applicant has changed the concept plan to incorporate 20.12%.](#)

Taking into account the applicant's concept plan, proposed density, and development standards, the request does appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, as with all zoning cases, this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On June 17, 2022, staff mailed 275 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stone Creek, Quail Run Valley, and Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Associations (HOA's), which are the only HOA's within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) response from the City's online *Zoning and Specific Use Input Form* from one (1) property owner outside of the 500-foot notification buffer in favor of the applicant's request.
- (2) One (1) response from the City's online *Zoning and Specific Use Input Form* from one (1) property owner outside of the 500-foot notification buffer in opposition of the applicant's request.
- (3) One (1) email from one (1) property owner outside of the 500-foot notification buffer in opposition to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1244 E Quail Run Rd

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION SEC of N John King Blvd and Hays Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG - Agricultural District

CURRENT USE Vacant Ag Land

PROPOSED ZONING PD - SF - 10

PROPOSED USE Single Family Residential

ACREAGE 85.63

LOTS [CURRENT]

N/A

LOTS [PROPOSED]

255

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER R & R Hance Investments

APPLICANT Skorburg Company

CONTACT PERSON Larry Hance

CONTACT PERSON Kevin Harrell

ADDRESS 6946 Sperry St

ADDRESS 8214 Westchester Dr

STE 900

CITY, STATE & ZIP Dallas, TX 75214

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-207-4362

PHONE 214-888-8859

E-MAIL larryhance@gmail.com

E-MAIL kharrell@skorburgcompany.com

## NOTARY VERIFICATION [REQUIRED]

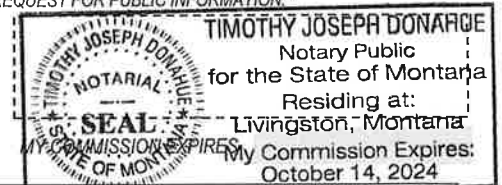
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Larry Hance [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

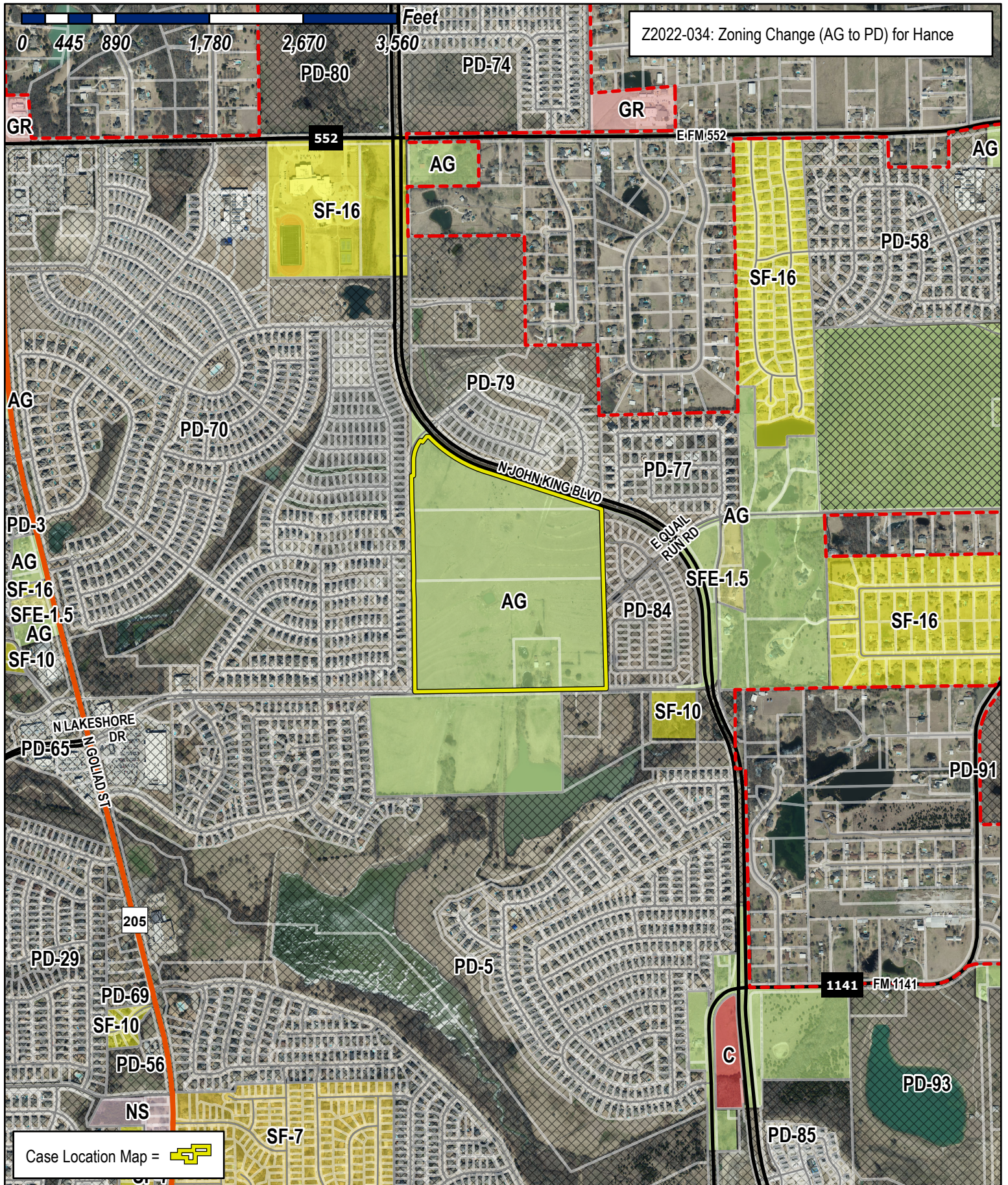
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



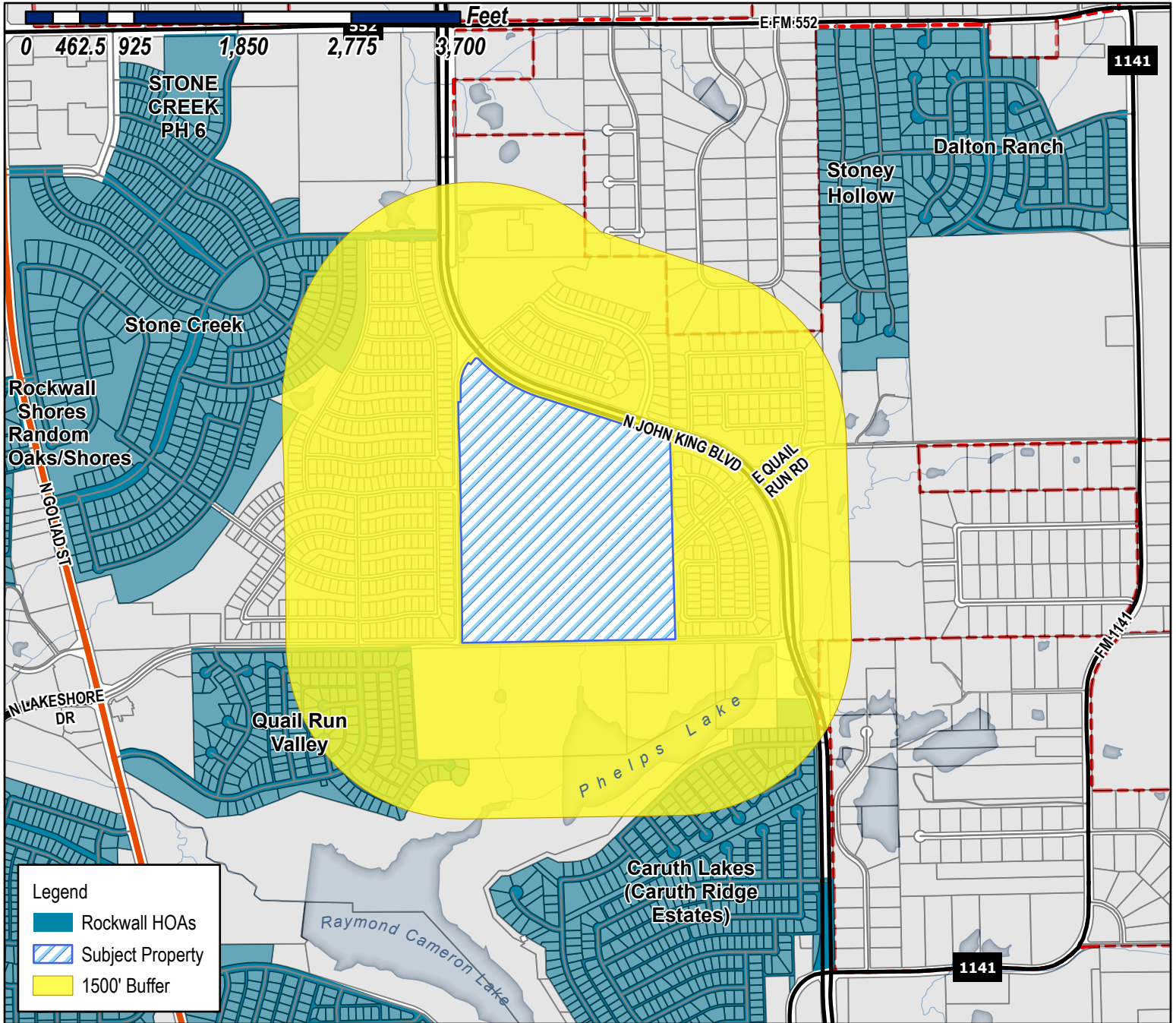




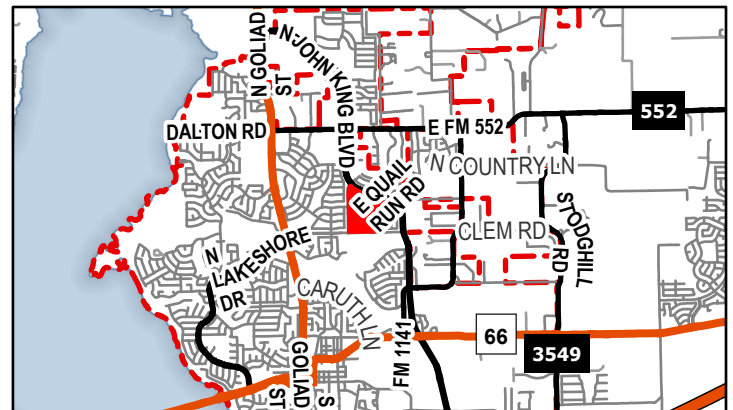
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.



**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745

## Miller, Ryan

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**From:** Gamez, Angelica  
**Sent:** Tuesday, June 21, 2022 4:44 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2022-034]  
**Attachments:** Public Notice (06.20.2022).pdf; HOA Map (06.17.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *June 24, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 18, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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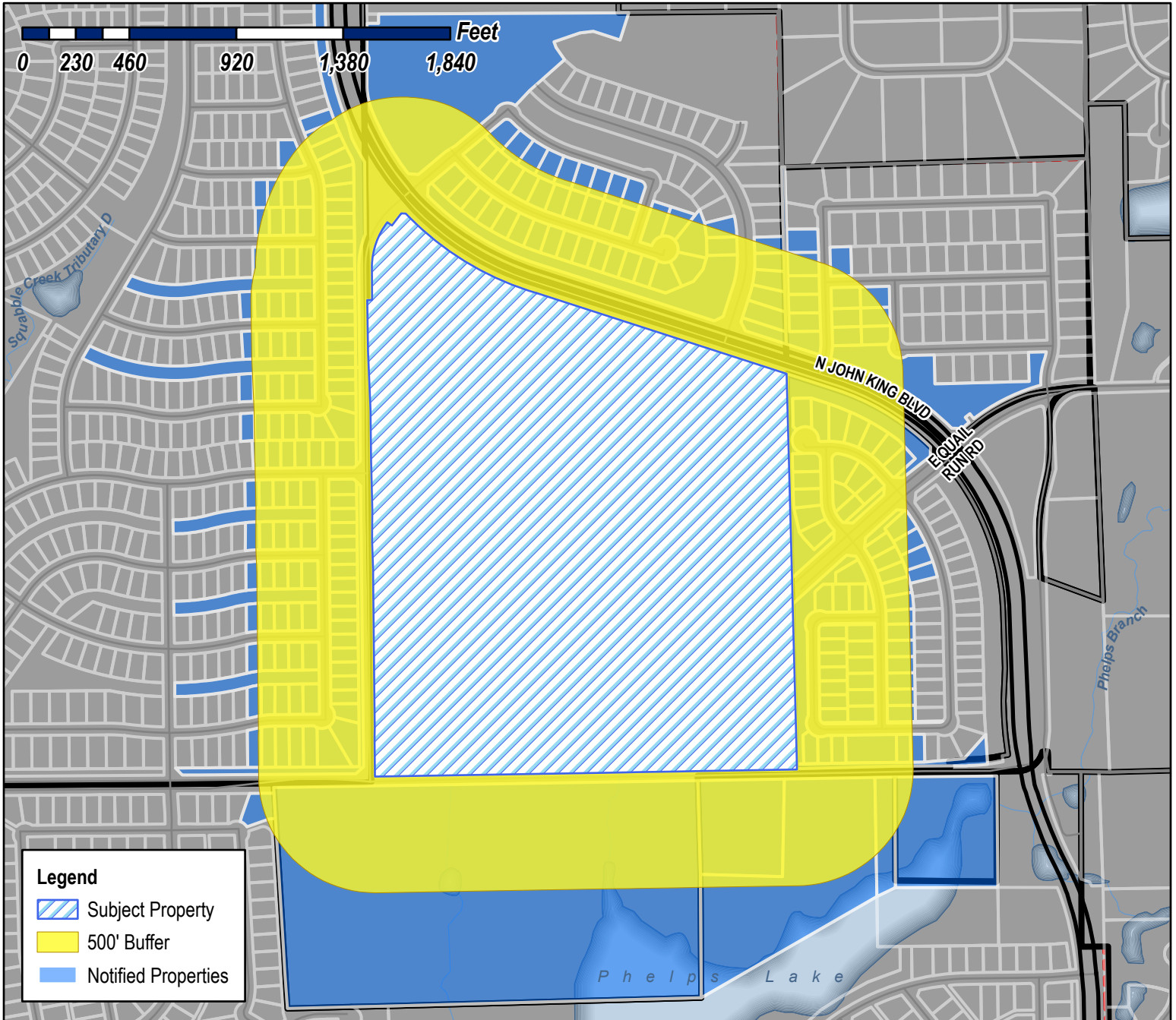




# City of Rockwall

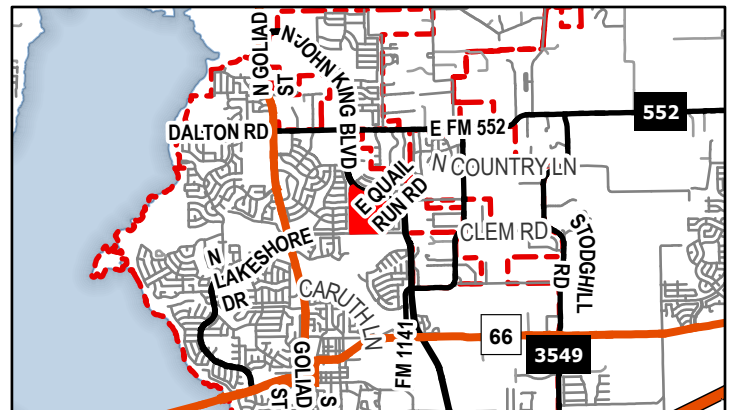
Planning & Zoning Department  
385 S. Goliad Street  
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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.

**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION  
INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

STONE CREEK HOMEOWNERS ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

QUALICO DEVELOPMENTS (US), INC.  
1201 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1202 JASPER ST  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
1204 MIDDLETON DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1207 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1208 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1213 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1214 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1239 OPAL DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
1244 QUAIL RUN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1245 OPA LDR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
1309 MORaine PL  
HEATH, TX 75032

BROWN CHARLES O AND KAREN E  
1401 HARVARD DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1402 HARVARD DR  
ROCKWALL, TX 75087

MAKIDON MICHAEL AND GINA  
1405 HARVARD DRIVE  
ROCKWALL, TX 75087

MANEY DREW DANIEL  
1406 HARVARD DRIVE  
ROCKWALL, TX 75087

PHILLIPS LARRY GLENN AND DEBORAH ANN  
1408 HARVARD DR  
ROCKWALL, TX 75087

HOBBS ANTWAUN AND JADE  
1409 HARVARD DRIVE  
ROCKWALL, TX 75087

SMITH ROBERT AND SUSAN  
1410 HARVARD DRIVE  
ROCKWALL, TX 75087

BARRIENTOS RUBEN AND IDA  
1411 HARVARD DRIVE  
ROCKWALL, TX 75087

DEHART KYLE J AND JOCELYN L  
1414 HARVARD DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1415 HARVARD DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

QUALICO DEVELOPMENTS (US), INC.  
14400 THE LAKES BLVD  
PFLUGERVILLE, TX 78660

DFH COVENTRY LLC  
14701 PHILIPS HIGHWAY SUITE 300  
JACKSONVILLE, FL 75248

REMEDIZ TYLER AND CELESTE  
1600 WANETA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1604 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1608 WANETA DR  
ROCKWALL, TX 75087

BORG RICHARD AND  
MEGAN WOOD  
1612 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1616 WANETA DR  
ROCKWALL, TX 75087

ALEXANDER MATHEW AND MARYALICE  
1620 WANETA DR  
ROCKWALL, TX 75230

TODD WILLIAM BRACKEN JR AND LAUREN  
ELIZABETH  
1624 WANETA DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
16980 NORTH DALLAS PARKWAY SUITE 100  
DALLAS, TX 75248

GORDON STEVEN JR AND JENNIFER  
1702 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1704 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1705 SAPPHERE RD  
ROCKWALL, TX 75087

SUNDSTROM KENNETH AND AVA  
1706 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1706 RUBY WAY  
ROCKWALL, TX 75087

HUNT ROBERT WILBURN AND MARY  
RICHARDSON HUNT  
1710 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1710 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1711 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1712 RUBY WAY  
ROCKWALL, TX 75087

MCCLURE MATTHEW AND JIYEON  
1714 WANETA DR  
ROCKWALL, TX 75225

QUALICO DEVELOPMENTS (US), INC.  
1716 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1717 SAPPHERE RD  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DRIVE  
ROCKWALL, TX 75230

QUALICO DEVELOPMENTS (US), INC.  
1718 RUBY WAY  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DR  
ROCKWALL, TX 75087

STEERE VLADISLAV AND  
LEAH STOCKSTILL  
1722 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1722 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1723 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1724 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1728 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1729 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1730 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1734 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1735 SAPPHERE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1736 RUBYWAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1742 RUBYWAY  
ROCKWALL, TX 75087



QUALICO DEVELOPMENTS (US), INC.  
1802 SAPPHIRE RD  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1804 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1808 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1808 WANETA DR  
ROCKWALL, TX 75087

SCHMIDT DEBRA SUE  
1812 WANETA DRIVE  
ROCKWALL, TX 75201

QUALICO DEVELOPMENTS (US), INC.  
1814 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1816 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1820 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1820 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1823 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1825 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1826 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1831 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1832 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1837 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1845 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1902 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1903 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1906 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1907 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1909 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1910 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1912 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1913 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1915 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1918 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1919 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1921 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1924 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1927 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1930 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1936JADEDR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1942 JADE DR  
ROCKWALL, TX 75087

FORMBY KAYLA RILEY & JONATHAN  
CHRISTOPHER  
2002 TOPAZ DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2004 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2005 EVERT WAY  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2006 TOPAZ DRIVE  
ROCKWALL, TX 75087

GERENA PRISCILLA SCHAR- AND  
JONATHAN M ELDER  
2007 GROVER LANE  
ROCKWALL, TX 75087

SCHAR ROY  
2008 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2009 EVERT WAY  
ROCKWALL, TX 75087

HOLLIDAY MALESSA R AND COURTNEY  
2010 TOPAZ DRIVE  
ROCKWALL, TX 75087

WOLSTENCROFT LISA AND BRIAN  
2011 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2012 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2013 EVERT WAY  
ROCKWALL, TX 75087

GILBY TYLER AND TAYLOR  
2014 TOPAZ DRIVE  
ROCKWALL, TX 75087

IVEY JOSHUA LUKE & SAMANTHA  
2015 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2018 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2022 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2024 TOPAZ DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
2101 CEDAR SPRINGS RD STE 700  
DALLAS, TX 75201

HIGHLAND HOMES- DALLAS LLC  
2104 TOPAZ DR  
ROCKWALL, TX 75087

WHITE WALTER AND SHRONDA  
2105 GROVER LANE  
ROCKWALL, TX 75225

STONE CREEK PHASE X LTD  
2108 TOPAZ DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2109 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2112 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2116 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2120 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2120 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2121 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2124 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2125 RANDAS WAY  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2200 ROSS AVE SUITE 4200W  
DALLAS, TX 75201

DFH COVENTRY LLC  
2201 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2202 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2202 TOPAZ DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2203 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2204 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2206 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2207 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2208 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2210 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2211 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2214 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2218 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2220 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2301 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2303 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2304 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2304 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2305 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2307 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2308 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2308 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2309 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2311 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2312 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2312 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2313 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2315 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2316 MIRANDA LN  
ROCKWALL, TX 75087



HIGHLAND HOMES- DALLAS LLC  
2317 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2319 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2320 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2321 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2323 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2324 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2325 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2325 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2327 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2328 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2329 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2331 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2332 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2333 ROCKING H TRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2335 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2336 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2339 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2340 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2341 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
480 WILDWOOD FOREST DR STE 801  
SPRING, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

STONE CREEK PHASE X LTD  
537 FAIR DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
538 ALBATROSS DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
541 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
541 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 ALBATROSS DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
543 FAIR DR  
ROCKWALL, TX 75087

JACOB JOFFY & JERIN JOSE  
544 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
544 MELODY MEADOW DR  
ROCKWALL, TX 75087

PIERCE KAYNE JEREMY AND BETH ANN  
545 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
545 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
545 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
546 ALBATROSS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
547 FAIR DR  
ROCKWALL, TX 75087

OBERA FRANCISCO AND DEBRA  
548 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 PETREL DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
549 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
549 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
549 PETREL DR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
550 E QUAIL RUN RD  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
550 MELODY MEADOW DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
551 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 PETREL DR  
ROCKWALL, TX 75087

JEFFUS LARRY & CAROL  
552 GRANITE FIELDS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
552 ALBATROSS DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
553 FAIR DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
554 MELODY MEADOW DR  
ROCKWALL, TX 75087

BABALOLA OWOLABI AND RASHIDAT ABIODUN  
555 GRANITE FIELDS DR <Null>  
ROCKWALL, TX 78660

CHESMAR HOMES LLC  
555 MELODY MEADOW DR  
ROCKWALL, TX 75087

CANTU SHEA M AND OSCAR J  
556 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
559 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

MAJKA ALYSSA  
560 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
5601 DEMOCRACY DRIVE SUITE 300  
PLANO, TX 75024

PACESETTER HOMES LLC  
563 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

YINGLING JOHN R  
570 EAST QUAIL RUN DR  
ROCKWALL, TX 75087

HOTCHKISS AMANDA  
618 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
618 NAKOMA DR  
ROCKWALL, TX 75087

RADICIONI WADE AND LISA  
621 EMERSON DR  
ROCKWALL, TX 75087

DUBOIS WESLEY GRANT & SARAH E  
621 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
621 NAKOMA DR  
ROCKWALL, TX 75087

BAGACEAN MICHAEL A AND JENNIFER  
622 EMERSON DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
622 NAKOMA DR  
ROCKWALL, TX 75087

CONFIDENTIAL  
624 MONTROSE DR  
ROCKWALL, TX 75087

ANDERSON KEVIN AND KRISTINE  
625 EMERSON DR  
ROCKWALL, TX 75087

MALLIK THOMAS ARTHUR AND TERI LYNN  
625 MONTROSE DR  
ROCKWALL, TX 75087

HAMILTON LUCAS C AND BRENDA C  
625 NAKOMA DR  
ROCKWALL, TX 75087

HASEGAWA TETSUYA & PATRICIA EMY AOKI  
626 COVEY TRL  
ROCKWALL, TX 75087

KEFFER MICHAEL RYAN AND JENNIFER  
626 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
626 NAKOMA DR  
ROCKWALL, TX 75087

BRISENO MARCO A  
628 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOLLENBECK DARREN SCOTT AND  
WEIYA TSENG  
629 EMERSON DRIVE  
ROCKWALL, TX 75201

AWANO ELSABET LEGESSE AND  
FEKADU GHEBREMSKEL HALEFOM  
629 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
629 NAKOMA DR  
ROCKWALL, TX 75087

BROWN CARI MELISSA AND  
NANCY BAER  
630 EMERSON DRIVE  
ROCKWALL, TX 75087

WHEELIS NICHOLAS ADAM AND  
YOMAIRA NAVARRETTE  
630 NAKOMA DRIVE  
ROCKWALL, TX 75201

MEGATEL HOMES LLC  
632 MONTROSE DR  
ROCKWALL, TX 75087

GREMILLION REBECCA BROWN & JAMES E JR  
633 EMERSON DRIVE  
ROCKWALL, TX 75201

USMANI MUHAMMAD & SUBUK  
633 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOBBS AUTAVIUS SR AND  
TANGELA GREEN  
633 NAKOMA DR <Null>  
ROCKWALL, TX 75087

CARBONE LISA AND JOHN  
634 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
634 NAKOMA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
636 MONTROSE DR  
ROCKWALL, TX 75087

MORRIS SHANNON AND JAMIE  
637 EMERSON DR  
ROCKWALL, TX 75087

COOK FAMILY REVOCABLE TRUST  
BRONWYN P COOK- TRUSTEE  
637 NAKOMA DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
637 MONTROSE DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
640 MONTROSE DR  
ROCKWALL, TX 75087

MILLS RYAN MATTHEW & LACY FERRELL  
641 EMERSON DR  
ROCKWALL, TX 75087



R & R HANCE INVESTMENTS LP  
6946 SPERRY ST  
DALLAS, TX 75214

WINDSOR HOMES CUMBERLAND LLC  
700 MONTROSE DR  
ROCKWALL, TX 75087

THOMPSON JACOB KEITH & SARAH ELISABETH  
704 MONTROSE DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
8214 WESTCHESTER DR STE 710  
DALLAS, TX 75225

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 12, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [elaine albritton](#)  
**To:** [Planning](#)  
**Cc:** [Elaine Albritton](#); [Kate Wilke](#)  
**Date:** Saturday, July 2, 2022 10:35:18 PM

---

Once again Dick Skorborg is doing a non stop dance with the planning commission and the city council, as he has done this many times before. He is an unscrupulous developer that tries to pack as many residences in an area that he can. We, in Stone Creek have been able several times to stop him from building public housing, condos. etc. into our neighborhoods. Stone Creek that still has several lots under his control does not have an owner HOA, but is still under his control of his management company which he advises on how to control the owners and their property. A semi serfdom regimen that he still has control over! If this development is allowed to proceed without widening of Quail Creek RD. from Hays Road to John King then the only problem the City will have is to make enough white crosses to mark the anticipated death toll on this road. Mr. Dick Skorborg is like the railroad barons of old. If he decides to build an addition without extensive study then he will build it regardless of anything negative or any system in his way.

He has been a very successful developer because of his skill and the lack of political will to stop or restrain him from doing exactly what he wants with only minor adjustments to show the city is paying attention.

The City of Rockwall shares in his greed as the water pressure decreases each time more homes are built and so does the VOLUNTEER FIRE DEPT and THE EMS service. It has only been in this last year or so when I got the City Council and Mayor Pruitt to see that at least 70% of the fire calls are medical in nature and must be responded to by the Rockwall FD., which they now run on and there event count has greatly increased. This will only get worse until the uneducated City Council makes the FD a full time entity with a crew of 3 members on board and reserves to fill in for them. Up to now this has been an ancient way of thinking not allowed by cities around Rockwall such as Rowlette and Garland. It would be a major win for the city to ONCE think all of these issues thoroughly through before they let another rubber stamp of Dick Skorborg's enterprises continue!

Michael H. Albritton Retired Captain Austin Texas Fire dept.  
791 Hanover Drive, Rockwall Texas 75087-7150

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



## Zoning & Specific Use Permit Input Form

### Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-034

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

### Respondent Information

Please provide your information.

### First Name \*

Richard

Last Name \*

Borg

Address \*

Rchrdborg@yahoo.com

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-034

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am in opposition until Quail Run and Hayes Roads are widened. The roads cannot currently handle the traffic we have. This many homes will further exacerbate the traffic problem.

## Respondent Information

Please provide your information.

## First Name \*

Ryan



Last Name \*

Mills

Address \*

641 Emerson Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

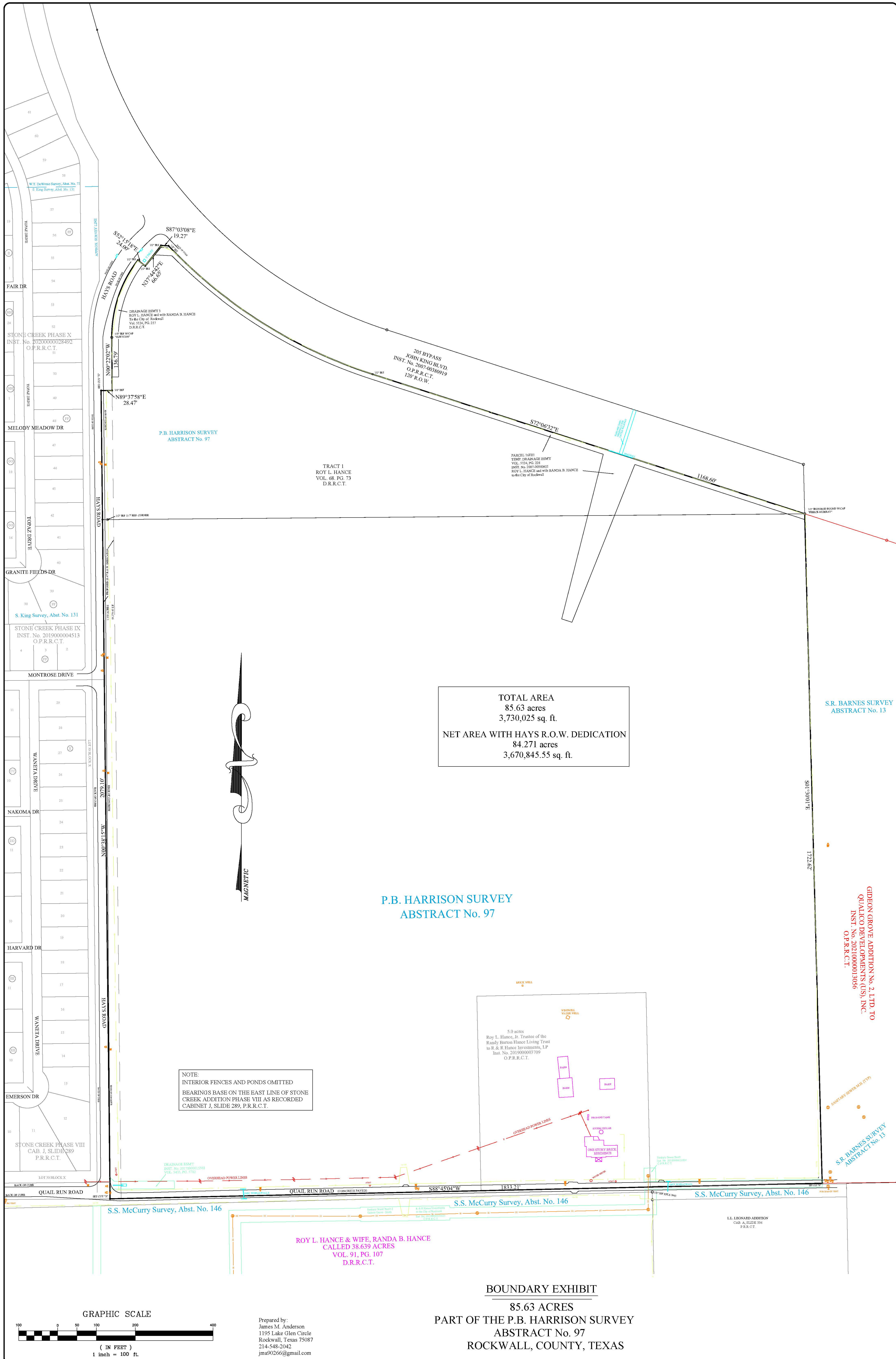
- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

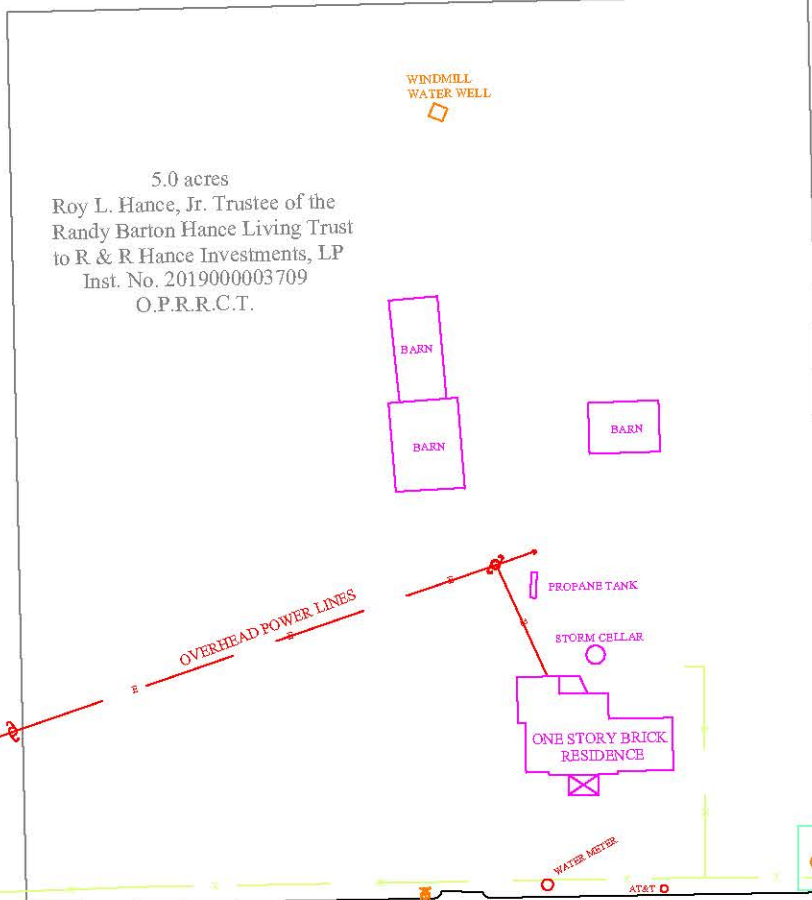


TOTAL AREA  
85.63 acres  
3,730,025 sq. ft.

NET AREA WITH HAYS R.O.W. DEDICATION  
84.271 acres  
3,670,845.55 sq. ft.

P.B. HARRISON SURVEY  
ABSTRACT No. 97

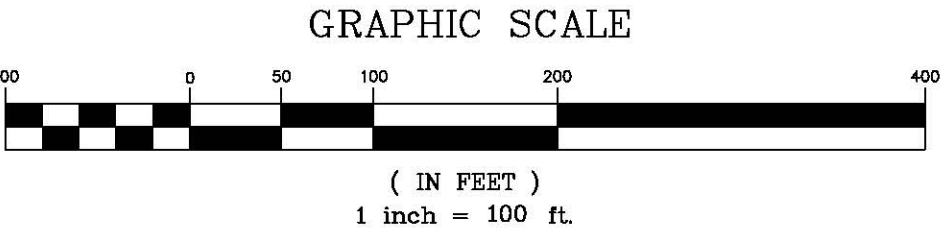
NOTE:  
INTERIOR FENCES AND PONDS OMITTED  
BEARINGS BASE ON THE EAST LINE OF STONE  
CREEK ADDITION PHASE VIII AS RECORDED  
CABINET J, SLIDE 289, P.R.R.C.T.



ROY L. HANCE & WIFE, RANDA B. HANCE  
CALLED 38.639 ACRES  
VOL. 91, PG. 107  
D.R.R.C.T.

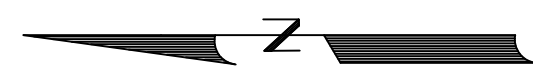
**BOUNDARY EXHIBIT**

85.63 ACRES  
PART OF THE P.B. HARRISON SURVEY  
ABSTRACT No. 97  
ROCKWALL, COUNTY, TEXAS



Prepared by:  
James M. Anderson  
1195 Lake Glen Circle  
Rockwall, Texas 75087  
214-548-2042  
jma90266@gmail.com


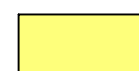
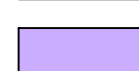




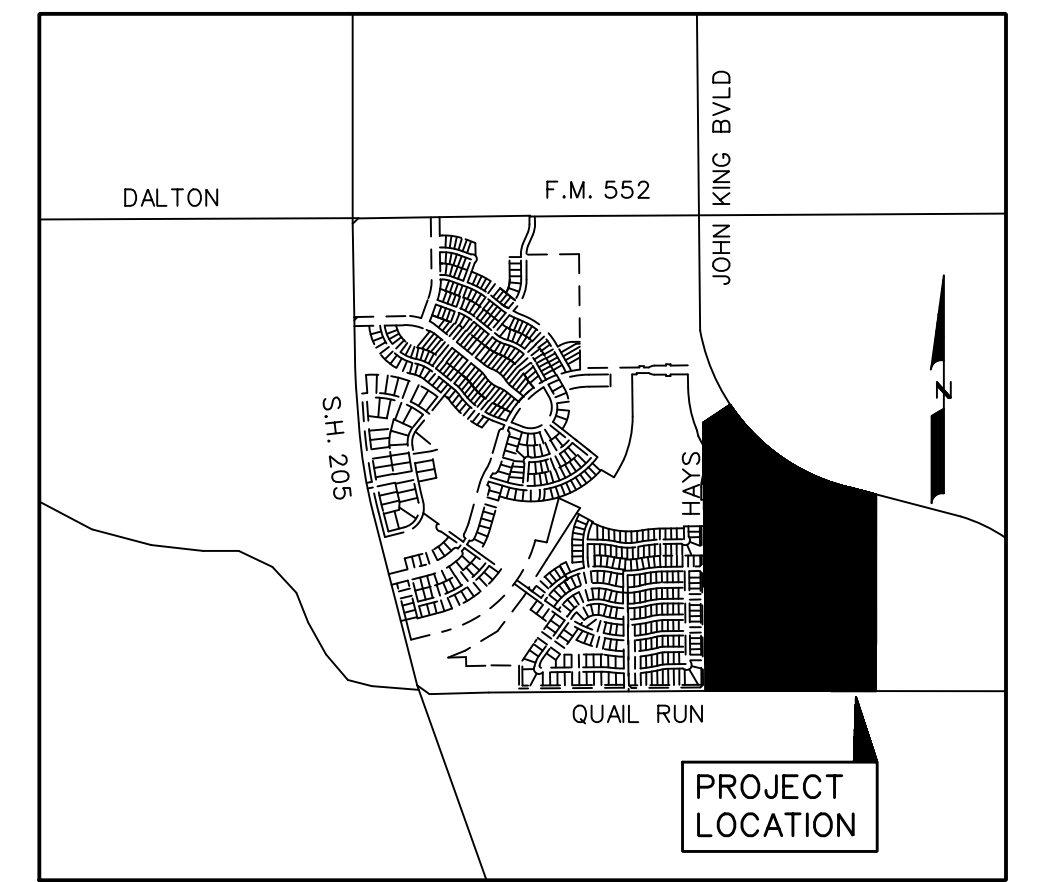


0 50 100 200  
SCALE: 1" = 100'

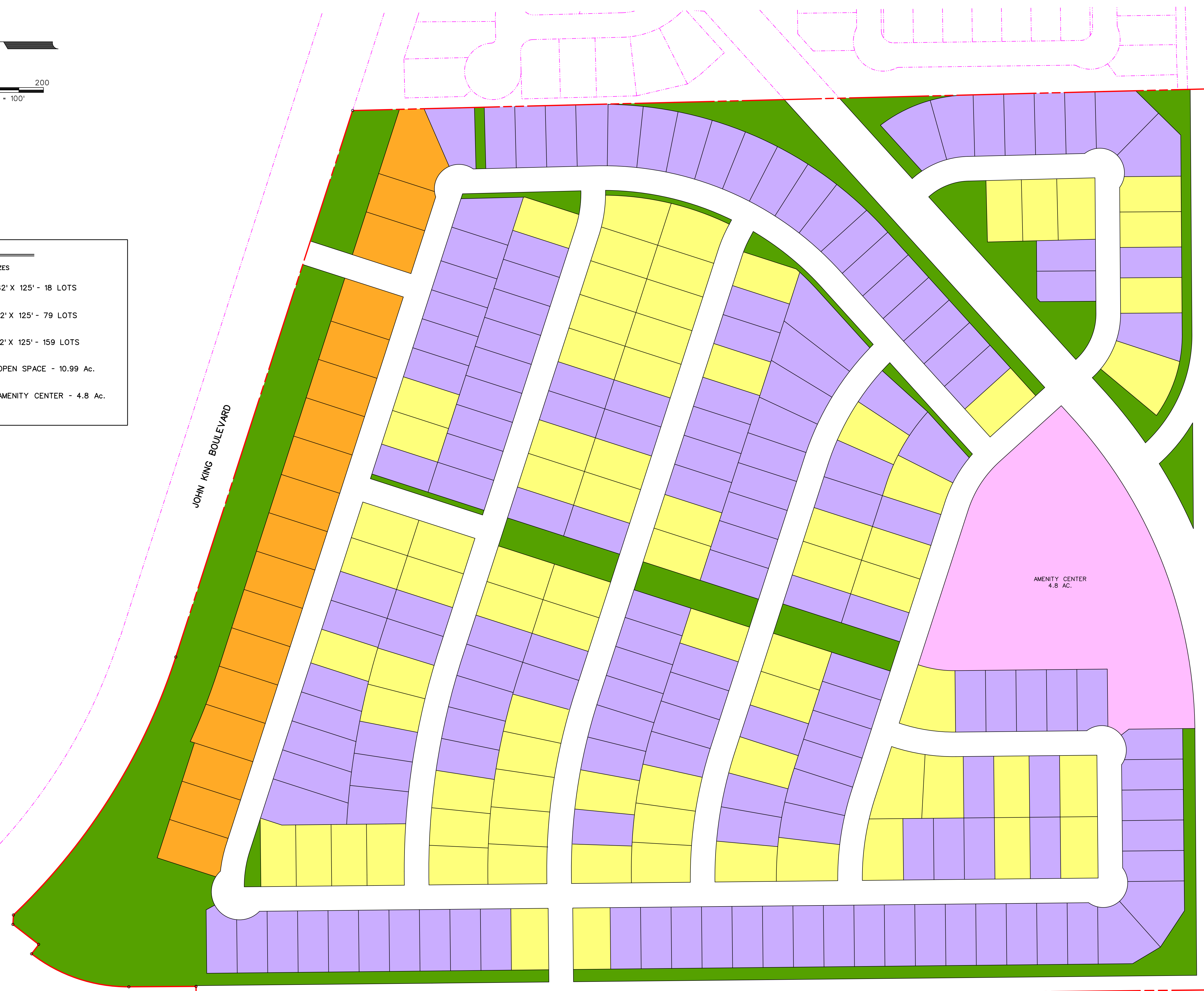
**LEGEND**

TYPICAL LOT SIZES

-  - 82' X 125' - 18 LOTS
-  - 72' X 125' - 79 LOTS
-  - 62' X 125' - 159 LOTS
-  - OPEN SPACE - 10.99 Ac.
-  - AMENITY CENTER - 4.8 Ac.



LOCATION MAP  
N.T.S.



TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	256
RESIDENTIAL DENSITY	2.99
OPEN SPACE PERCENTAGE	18.44%

CONCEPT PLAN  
OF  
**HANCE TRACT**  
SITUATED IN THE  
P.B. HARRISON SURVEY, ABSTRACT NO. 97  
IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200

JUNE 2022 SCALE 1" = 100'

CASE NO. XXXX



# 05 FUTURE LAND USE PLAN

## 01 LAND USE PLAN DESIGNATIONS

### 01.01 RESIDENTIAL ● ● ●

#### ● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

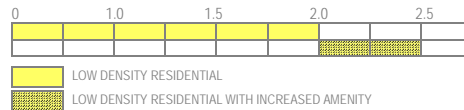
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

##### EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

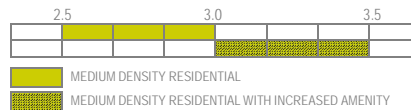
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

##### EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

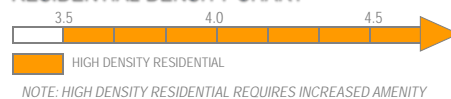
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

##### EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

##### RESIDENTIAL DENSITY CHART



# 13 NORTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The Northwest Residential District is characterized by the two (2) large master planned communities that make up the majority of the acreage in this district. These developments are the Caruth Lakes and Stone Creek Subdivisions. The remainder of this district is expected to develop with similar medium density residential housing product.

## DISTRICT STRATEGIES

The Northwest Residential District is expected to continue to provide master planned suburban neighborhoods in the future and has no areas that are thought to be transitioning. Based on these assumptions the strategies for this district are as follows:

- 1 Suburban Residential.** Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision.
- 2 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the Neighborhood/Convenience Centers and the Suburban Residential developments.
- 3 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.

## POINTS OF REFERENCE

- A. J. W. Williams Middle School
- B. The Park at Stone Creek
- C. Stone Creek Subdivision
- D. Fire Station #3
- E. The Parks at Squabble Creek
- F. Caruth Lakes Subdivision

## LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon



2 Shops at Stone Creek



1 Current Suburban Residential



2 Kroger Shopping Center



1 Current Suburban Residential

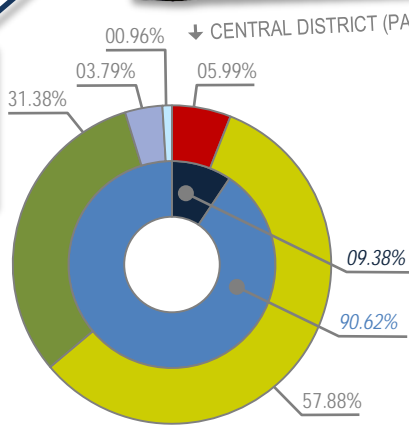


2 Future Neighborhood/Convenience Center

**BUILD OUT**  
 2,347  
 7,018

**% OF ROCKWALL**  
 8.91%  
 1.38%  
 8.95%

**CURRENT**  
 1,782  
 25  
 5,328



TXDOT 4D	COMMERCIAL	9.38%
MINOR COLLECTOR	RESIDENTIAL	90.62%
M4U	MIXED USE	0.00%
M4D	COMMERCIAL/RETAIL (CR)	60.20-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	581.3-ACRES
	PARKS AND OPEN SPACE (OS)	315.22-ACRES
	PUBLIC (P)	38.11-ACRES
	QUASI-PUBLIC (QP)	9.66-ACRES



CITY OF ROCKWALL

ORDINANCE NO. **22-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 2-01, 2-04, 2-05 & 2-06 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.



(g) Final Plat. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF AUGUST, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: July 18, 2022

2<sup>nd</sup> Reading: August 1, 2022

**Exhibit 'A':**  
**Legal Description**

*BEING* an 85.629-acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00-acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

*BEGINNING* at a ½" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

*THENCE* South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

*THENCE* South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

*THENCE* North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

*THENCE* North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

*THENCE* North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

*THENCE* along said right-of-way an arc distance of 212.86' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* South 52°15'18" East a distance of 24.00' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

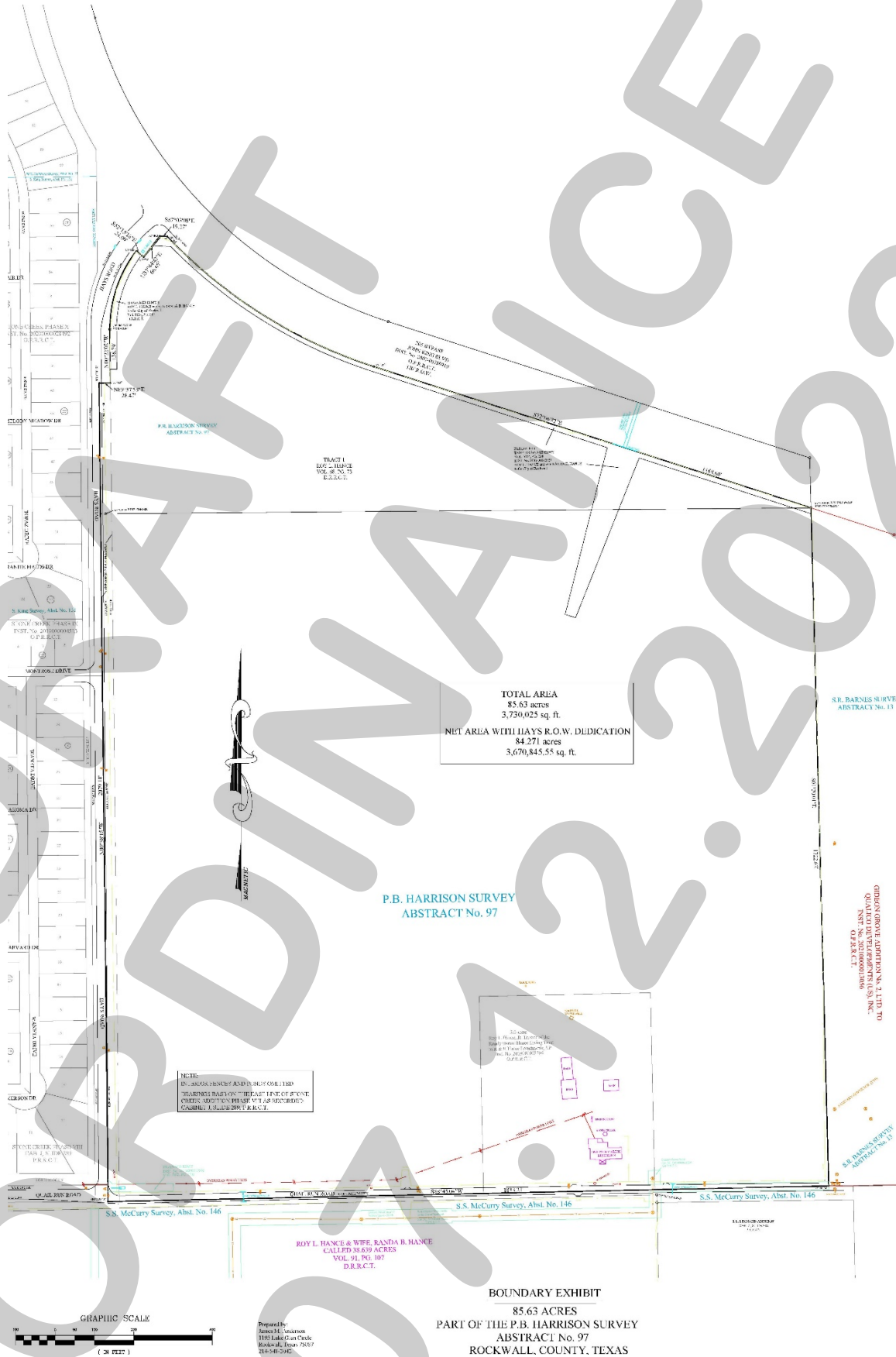
*THENCE* North 37°44'42" East a distance of 66.65' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16';

*THENCE* South 87°03'08" East along said corner clip, a distance of 19.27' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

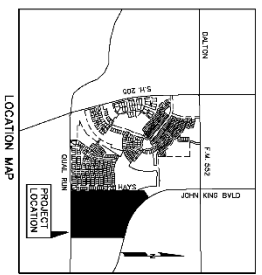
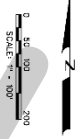
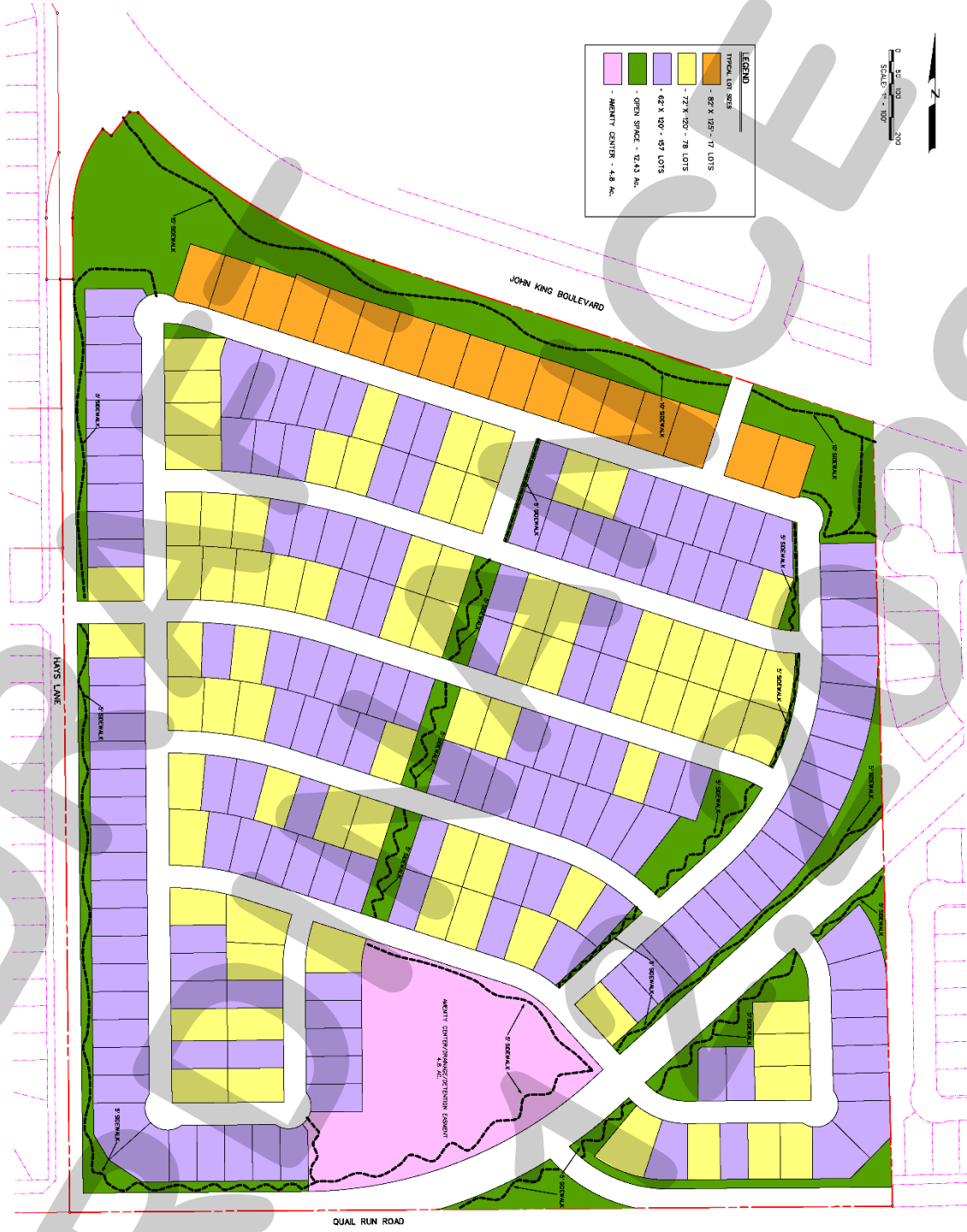
*THENCE* along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* South 72°06'32" East a distance of 1168.60' to the *POINT OF BEGINNING* and containing 85.629-acres or 3,730,025 square feet of land.

# Exhibit 'B': Survey



# Exhibit 'C': Concept Plan



TOTAL ACRES	55.63
TOTAL RESIDENTIAL LOTS	292
RESIDENTIAL DENSITY	2.84
OPEN SPACE PERCENTAGE	20.82%

CONCEPT PLAN  
**HANCE TRACT**  
 SITUATED IN THE  
 P.B. HARRISON SURVEY, ABSTRACT NO. 97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS  
 R & R HANCE INVESTMENTS LP  
 OWNER  
 6048 SPERRY STREET  
 ROCKWALL, TEXAS 75087  
 PREPARED BY  
 CORWIN ENGINEERING, INC.  
 200 N. HILTON SOURCE E  
 ROCKWALL, TEXAS 75087  
 972-985-1000  
 JUNE 2022 SCALE: 1" = 300'  
 CASE NO. Z2022-034



**Exhibit 'D':**  
*Density and Development Standards*

**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

**TABLE 1: LOT COMPOSITION**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	157	62.30%
B	72' x 120'	8,640 SF	78	30.95%
C	82' x 125'	10,250 SF	17	06.75%
<i>Maximum Permitted Units:</i>			256	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.94 dwelling units per gross acre of land; however, in no case should the proposed development exceed 252 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

Lot Type (see <i>Concept Plan</i> ) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

**General Notes:**

- <sup>1</sup>: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5</sup>: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6</sup>: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7</sup>: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

- (4) Building Standards. All development shall adhere to the following building standards:

**Exhibit 'D':**  
*Density and Development Standards*

- (a) ***Masonry Requirement.*** The minimum masonry requirement for the exterior façade of all buildings shall be 90% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see examples below) may be used for up to 50% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement on a *case-by-case* basis.

**FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD**



**FIGURE 2: EXAMPLES OF BOARD AND BATTEN**



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**



**Exhibit 'D':**  
*Density and Development Standards*

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:
- (1) Type 'A' Lots. The Type 'A' Lots (i.e. the purple lots depicted in Exhibit 'C') may be oriented in a *traditional swing (or j-swing)* garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing (or j-swing)* garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional (or j-swing)* configuration. A maximum of 32.85% of the Type 'A' Lots (i.e. 50 lots or 20.00% of all lots) shall be permitted to be oriented in a *flat-front entry configuration* -- allowing the garage door to be flush with the front façade of the primary structure -- pending the front yard building setback is increased to a minimum setback of 25-feet.
  - (2) Type 'B' & 'C' Lots. The Type 'B' & 'C' Lots (i.e. the yellow and orange lots depicted in Exhibit 'C') may be oriented in a *traditional swing (or j-swing)* garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing (or j-swing)* garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional (or j-swing)* configuration.
  - (3) Requirements for all Lot Types. All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see Figures 4-6 for examples of upgraded or enhanced finishes].

*Continued on Next Page ...*



**Exhibit 'D':**  
*Density and Development Standards*

**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



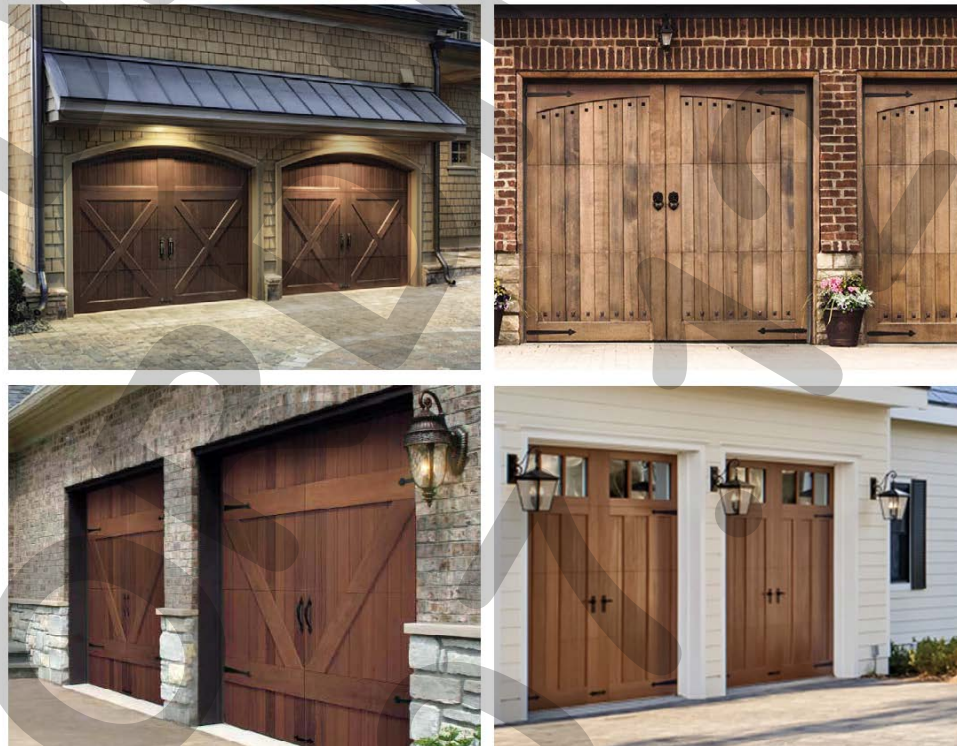
**DIVIDED BAYS**

**CARRIAGE HARDWARE**

**CEDAR CLADDING**

**ORNAMENTAL PAVING**

**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**





**Exhibit 'D':**  
*Density and Development Standards*

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, John King Boulevard, Hays Road, E. Quail Run Road, or Old E. Quail Run Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

*Continued on Next Page ...*

**Exhibit 'D':**  
*Density and Development Standards*

*FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.*



*FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.*



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. E. Quail Run Road [Old E. Quail Run Road], Hays Road, and John King Boulevard*), abutting open spaces, the amenity center, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

**Exhibit 'D':**  
*Density and Development Standards*

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 90-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 90-foot landscape buffer.
- (2) Landscape Buffer and Sidewalks (Hays Road and E. Quail Run Road -- and Old Quail Run Road). A minimum of a ten (10) foot landscape buffer shall be provided along Hays Road, E. Quail Run Road, and Old E. Quail Run Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, one (1) canopy tree and one (1) accent tree are required per 50-linear feet of frontage along these roadways. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.



**Exhibit 'D':**  
*Density and Development Standards*

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 17.126-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (14) Amenity Center. An amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*. The amenities will feature at least one (1) of the following: [1] a pavilion, [2] a playground, and/or [3] a multi-use court (e.g. a pickle ball court and basketball court).

**Exhibit 'D':**  
*Density and Development Standards*

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** July 18, 2022  
**APPLICANT:** Kevin Harrell; *Skorburg Company*  
**CASE NUMBER:** Z2022-034; *Zoning Change (AG to PD) for the Hance Tract*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is: [1] a 2,236 SF single-family home, [2] a 64 SF storage building, [3] a 2,400 SF metal storage building, [4] a 2,208 SF barn, [5] an 897 SF storage shed, and [6] an 864 SF storage building. All of these improvements were constructed in 1975. Beyond these structures, the subject property has remained largely undeveloped and the zoning designation has not changed since annexation.

### PURPOSE

On June 17, 2022, the applicant -- *Kevin Harrell of the Skorburg Company* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 252-lot single-family, residential subdivision that will consists of three (3) lot sizes (*i.e. [A] 157, 62' x 120' lots; [B] 78, 72' x 120' lots; and [C] 17, 82' x 125' lots*).

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of Hays Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare is Phase 1 of the Saddle Star Estates Subdivision, which consists of 66 single-family residential lots on 26.41-acres. This phase of the subdivision was filed with Rockwall County on November 23, 2020, and is zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses.

South: Directly south of the subject property is E. Quail Run Road. Portions of this roadway are designated as an M4D (*i.e. major collector, four [4] lane, divided roadway*) and a R2U (*i.e. residential, two [2] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) tracts of land (*i.e. Tract 19-2 and 22 of the S. S. McCurry Survey, Abstract No. 146 and Lot 1 of the L. L.*



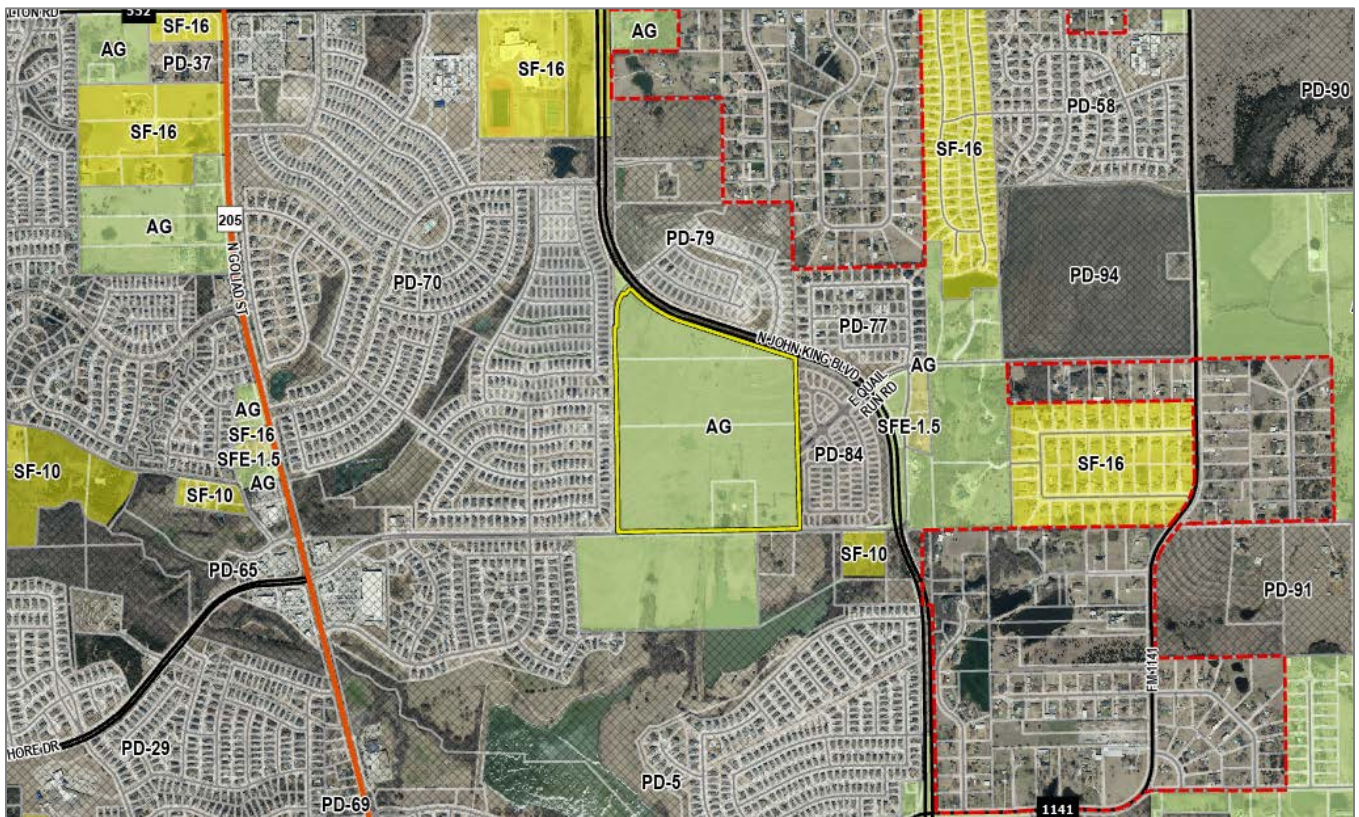
*Leonard Addition*) that are currently vacant and zoned Agricultural (AG) District and Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses.

East: Directly east of the subject property is the Gideon Grove Subdivision, which consists of 84 single-family residential lots on 30.06-acres. This subdivision was filed with Rockwall County on March 22, 2022, and is zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Hays Road, which is identified as a *Minor Collector* on the City Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 8 of the Stone Creek Subdivision, which consists of 102 single-family residential lots on 28.66-acres. This phase of the subdivision was filed with Rockwall County on March 6, 2018, and is zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

### MAP 1: LOCATION MAP

**YELLOW:** SUBJECT PROPERTY



### CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 85.63-acre subject property will consist of 252 residential lots. These lots will consist of three (3) lot types: [1] 157 Type 'A' lots that are a minimum of 62' x 120' (or 7,440 SF), [2] 78 Type 'B' lots that are a minimum of 72' x 120' (or 8,640 SF), and [3] 17 Type 'C' lots that are a minimum of 82' x 125' (or 10,250 SF). This translates to a gross density of 2.94 dwelling units per gross acre (*i.e. 252 lots/85.63-acres = 2.9428 dwelling units per gross acre*). The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,200 SF to 2,800 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 50% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a variation of materials throughout the subdivision.

Looking at the garage orientation proposed for the development, the applicant is requesting to allow a total of 32.10% of the *Type 'A' Lots (51 lots or 20% of all the garages)* to be orientated toward the street in a *Flat Front Entry* garage configuration; however, the applicant is proposing to require a 25-foot front yard building setback for all garages oriented in a *Flat Front Entry* garage configuration. The remaining garage doors will be oriented in a *J-Swing (or a Traditional Swing)* configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of the upgrades required in the Planned Development District ordinance:

IMAGES 1, 2 & 3: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	157	62.30%
B	72' x 120'	8,640 SF	78	30.95%
C	82' x 125'	10,250 SF	17	06.75%
<i>Maximum Permitted Units:</i>			252	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area (SF)</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

General Notes:

- <sup>1:</sup> Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> The location of the *Rear Yard Building Setback* as measured from the rear property line.



- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- 7: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (i.e. a *Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

The proposed concept plan shows that the development will consist of a total of 17.2288-acres open space that includes a 4.80-acre amenity center. This translates to an open space percentage of 20.12% (i.e. 17.2288-acres of open space/85.63-acres gross = 20.12%). In addition, the applicant has incorporated a ten (10) foot hike/bike trail along John King Boulevard and five (5) foot walking trails throughout the subdivision.

## INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, E. Quail Run Road is required to be a M4D (i.e. *major collector, four [4] lane, divided roadway*), which requires an 85-foot right-of-way with two (2), 25-foot *back-to-back* concrete streets with a 14-foot median. This roadway will need to be fully constructed from the existing E. Quail Run Road -- *constructed with Phase 2 of the Gideon Grove Subdivision* -- to where the future alignment ties into the existing E. Quail Run Road. From this point, to the western property line, the applicant will be responsible for constructing a minimum of 24½-feet of the existing E. Quail Run Road. Hays Road is a *Minor Collector* according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This means the applicant will be required to dedicate the remaining right-of-way to ensure that the full right-of-way width of 60-feet is provided, and construct the remaining 16½-feet of paving. In addition, the applicant will be required to construct a left turn lane on John King Boulevard to the City's standards.
- (2) Water. The applicant will be required to construct an eight (8) inch water line that loops through the subject property.
- (3) Wastewater. The applicant will be required to construct an eight (8) inch wastewater line that connects to the existing wastewater system, and pay a \$361.54 per acre sewer pro-rata.
- (4) Drainage. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property.

## CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80% *J-Swing (or Traditional Swing)* or *Recessed Front Entry* (i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home) garages and 20% *Flat Front Entry* garages with a minimum of a 25-foot building setback. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage

configurations: [A] coach lighting, [B] decorative wood doors or wood overlays on insulated metal doors, [C] driveways constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished. The following are examples of some of the upgraded finishes depicted in the Planned Development District ordinance:

IMAGES 4, 5, 6, & 7: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

- (3) Roadway Spacing. The Engineering Department's *Standards of Design and Construction Manual* stipulates a minimum driveway spacing of 200-feet between a local (*i.e. a residential street*) and an arterial (*i.e. Quail Run Road*). Currently, the concept plan does not appear to meet the minimum spacing requirements for the roadways in the southeast corner of the subject property. Should the City Council choose to approve this Planned Development District, they would essentially be approving a variance to the minimum driveway spacing requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northwest Residential District and is designated for Medium Density Residential land uses. The plan defines Medium Density Residential land uses as "... residential subdivisions that are greater than two (2) and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In this case the applicant is proposing a total density of 2.94 dwelling units per acre. In addition, the applicant is proposing to incorporate walking trails and 20.12% open space, and a 4.80-acre amenity center. Based on this the applicant's request is in conformance with the Medium Density Residential designation indicated for the subject property.

According to the *District Strategies for Suburban Residential* in the Northwest Residential District, "... Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision." In this case, the subject property is directly adjacent to Phase 2 of the Gideon Grove Subdivision and Phases 8, 9, & 10 of the Stone Creek Subdivision. Contained within these phases of these subdivisions are lot sizes that range from 60' x 120' (*or a minimum of 7,000 SF*) to 70' x 120' (*or a minimum of 8,400 SF*). This means that the applicant is proposing lots that are equal to or larger than the lots in the adjacent subdivisions. Based on this the applicant's request appears to be in conformance with the *District Strategies* for the Northwest Residential District.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (*e.g. minimum of six [6] side yard setbacks on all lot types, fronting of homes on to a park/open space, etc.*); however, staff has identified the following non-conformities on the concept plan and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 08 | Section 02.03 | Goal 01; Policy 5: Design neighborhoods utilizing the *Housing Tree Model* ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff Response: Staff requested that the *Type 'C' Lots (i.e. 82' x 125' Lots)* be incorporated into the concept plan along E. Quail Run Road to better conform to the *Housing Tree Model*. The applicant has chosen not to incorporate this request into the concept plan.



- (2) [CH. 07 | Goal 02; Policy 3](#): Continue to develop and plan for an interconnected trail and sidewalk system that promotes connectivity and access to all areas of the City.

Staff Response: Staff request the applicant label and show an interconnected trail and sidewalk system on the concept plan. [The applicant has shown a ten \(10\) foot hike/bike trail along John King Boulevard on the concept plan and additional five \(5\) foot trails that traverse the proposed subdivision.](#)

- (3) [CH. 08 | Section 02.02 | Goal 03; Policy 1](#): All residential development -- five (5) acres or greater -- should consist of a minimum of 20% open space as calculated by the gross land area. Floodplain should be counted at a rate of ½-acre for every acre provided (e.g. ten [10] acres of floodplain dedicated as open space would count as five [5] acres of open space).

Staff Response: The original concept plan had less than 20.00% open space. Based on this staff requested that the applicant change the concept plan to incorporate at least 20.00%. [The applicant has changed the concept plan to incorporate 20.12%.](#)

Taking into account the applicant's concept plan, proposed density, and development standards, the request does appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, as with all zoning cases, this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On June 17, 2022, staff mailed 275 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stone Creek, Quail Run Valley, and Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Associations (HOA's), which are the only HOA's within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) response from the City's online *Zoning and Specific Use Input Form* from one (1) property owner outside of the 500-foot notification buffer in favor of the applicant's request.
- (2) One (1) response from the City's online *Zoning and Specific Use Input Form* from one (1) property owner outside of the 500-foot notification buffer in opposition of the applicant's request.
- (3) Two (2) emails from two (2) property owners outside of the 500-foot notification buffer in opposition to the applicant's request.
- (4) One (1) email from one (1) property owner outside of the 500-foot notification buffer in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this [Zoning Change](#) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On July 12, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 6-0, with Commissioner Llewellyn absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1244 E Quail Run Rd

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION SEC of N John King Blvd and Hays Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG - Agricultural District

CURRENT USE Vacant Ag Land

PROPOSED ZONING PD - SF - 10

PROPOSED USE Single Family Residential

ACREAGE 85.63

LOTS [CURRENT]

N/A

LOTS [PROPOSED]

255

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER R & R Hance Investments

APPLICANT Skorburg Company

CONTACT PERSON Larry Hance

CONTACT PERSON Kevin Harrell

ADDRESS 6946 Sperry St

ADDRESS 8214 Westchester Dr

STE 900

CITY, STATE & ZIP Dallas, TX 75214

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-207-4362

PHONE 214-888-8859

E-MAIL larryhance@gmail.com

E-MAIL kharrell@skorburgcompany.com

## NOTARY VERIFICATION [REQUIRED]

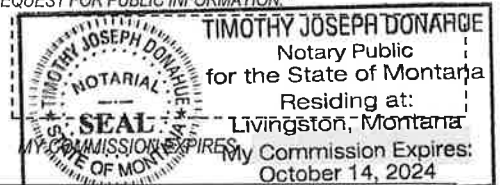
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Larry Hance [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

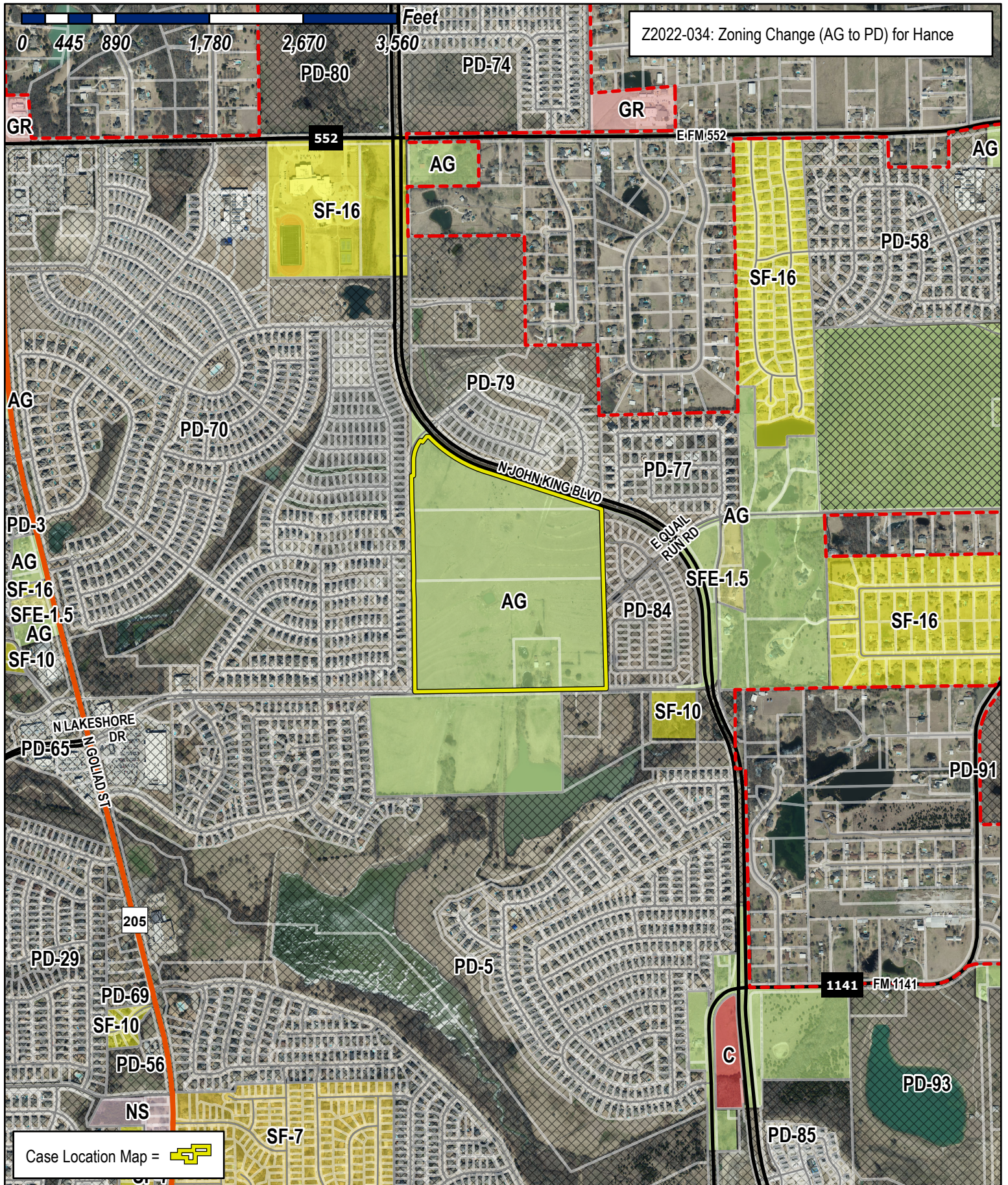
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



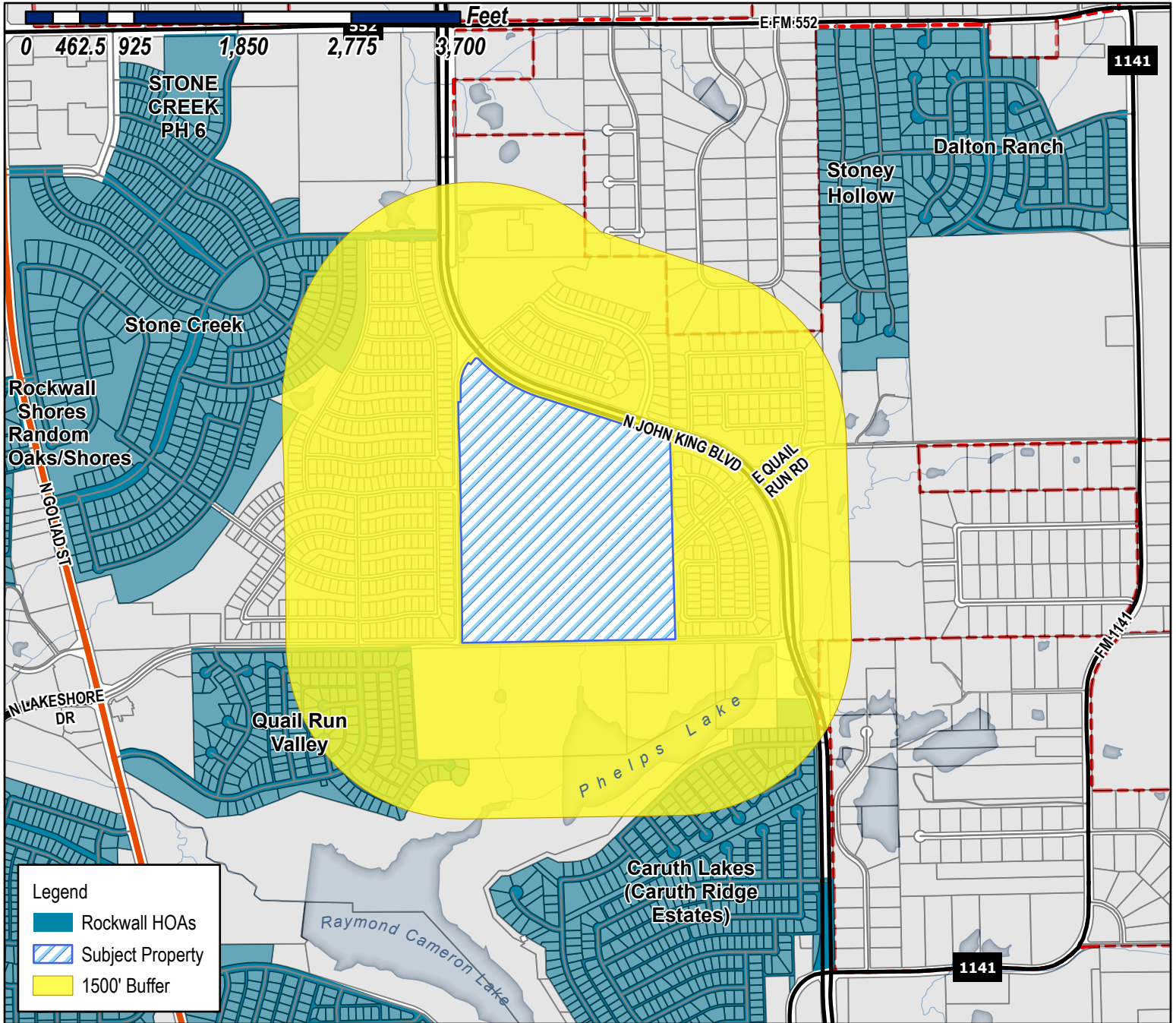
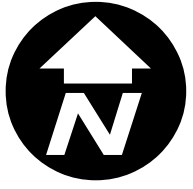




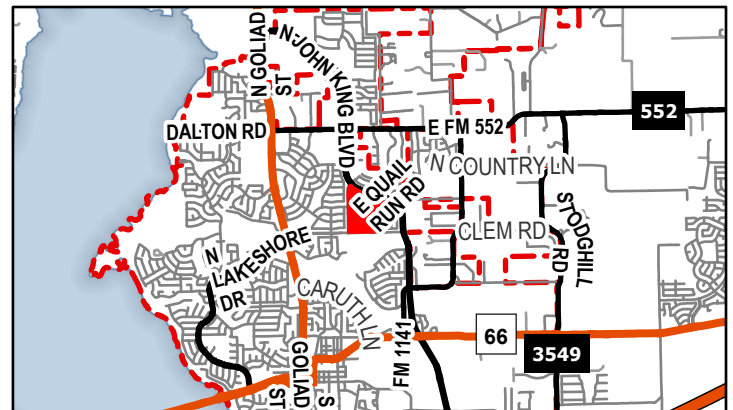
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.



**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745

## Miller, Ryan

---

**From:** Gamez, Angelica  
**Sent:** Tuesday, June 21, 2022 4:44 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2022-034]  
**Attachments:** Public Notice (06.20.2022).pdf; HOA Map (06.17.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *June 24, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 18, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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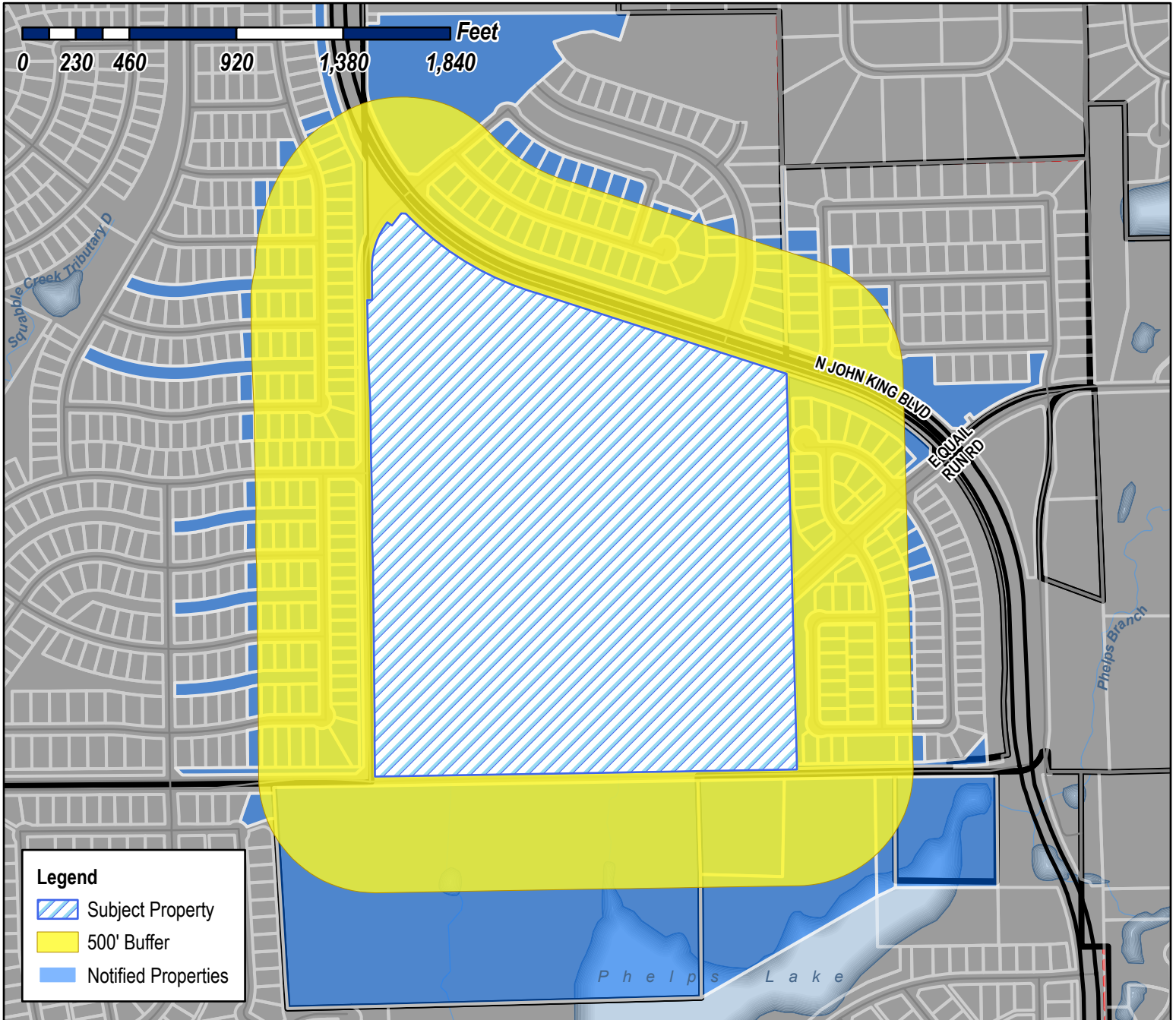
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# City of Rockwall

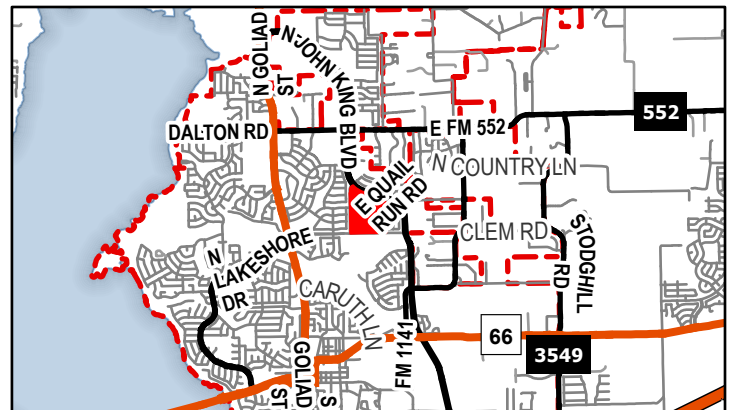
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.

**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745





GIDEON GROVE HOMEOWNERS ASSOCIATION  
INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

STONE CREEK HOMEOWNERS ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

QUALICO DEVELOPMENTS (US), INC.  
1201 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1202 JASPER ST  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
1204 MIDDLETON DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1207 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1208 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1213 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1214 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1239 OPAL DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
1244 QUAIL RUN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1245 OPA LDR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
1309 MORaine PL  
HEATH, TX 75032

BROWN CHARLES O AND KAREN E  
1401 HARVARD DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1402 HARVARD DR  
ROCKWALL, TX 75087

MAKIDON MICHAEL AND GINA  
1405 HARVARD DRIVE  
ROCKWALL, TX 75087

MANEY DREW DANIEL  
1406 HARVARD DRIVE  
ROCKWALL, TX 75087

PHILLIPS LARRY GLENN AND DEBORAH ANN  
1408 HARVARD DR  
ROCKWALL, TX 75087

HOBBS ANTWAUN AND JADE  
1409 HARVARD DRIVE  
ROCKWALL, TX 75087

SMITH ROBERT AND SUSAN  
1410 HARVARD DRIVE  
ROCKWALL, TX 75087

BARRIENTOS RUBEN AND IDA  
1411 HARVARD DRIVE  
ROCKWALL, TX 75087

DEHART KYLE J AND JOCELYN L  
1414 HARVARD DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1415 HARVARD DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

QUALICO DEVELOPMENTS (US), INC.  
14400 THE LAKES BLVD  
PFLUGERVILLE, TX 78660

DFH COVENTRY LLC  
14701 PHILIPS HIGHWAY SUITE 300  
JACKSONVILLE, FL 75248

REMEDIZ TYLER AND CELESTE  
1600 WANETA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1604 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1608 WANETA DR  
ROCKWALL, TX 75087

BORG RICHARD AND  
MEGAN WOOD  
1612 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1616 WANETA DR  
ROCKWALL, TX 75087

ALEXANDER MATHEW AND MARYALICE  
1620 WANETA DR  
ROCKWALL, TX 75230

TODD WILLIAM BRACKEN JR AND LAUREN  
ELIZABETH  
1624 WANETA DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
16980 NORTH DALLAS PARKWAY SUITE 100  
DALLAS, TX 75248

GORDON STEVEN JR AND JENNIFER  
1702 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1704 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1705 SAPPHIRE RD  
ROCKWALL, TX 75087

SUNDSTROM KENNETH AND AVA  
1706 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1706 RUBY WAY  
ROCKWALL, TX 75087

HUNT ROBERT WILBURN AND MARY  
RICHARDSON HUNT  
1710 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1710 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1711 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1712 RUBY WAY  
ROCKWALL, TX 75087

MCCLURE MATTHEW AND JIYEON  
1714 WANETA DR  
ROCKWALL, TX 75225

QUALICO DEVELOPMENTS (US), INC.  
1716 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1717 SAPPHIRE RD  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DRIVE  
ROCKWALL, TX 75230

QUALICO DEVELOPMENTS (US), INC.  
1718 RUBY WAY  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DR  
ROCKWALL, TX 75087

STEERE VLADISLAV AND  
LEAH STOCKSTILL  
1722 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1722 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1723 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1724 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1728 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1729 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1730 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1734 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1735 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1736 RUBYWAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1742 RUBYWAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1802 SAPPHIRE RD  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1804 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1808 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1808 WANETA DR  
ROCKWALL, TX 75087

SCHMIDT DEBRA SUE  
1812 WANETA DRIVE  
ROCKWALL, TX 75201

QUALICO DEVELOPMENTS (US), INC.  
1814 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1816 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1820 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1820 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1823 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1825 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1826 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1831 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1832 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1837 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1845 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1902 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1903 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1906 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1907 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1909 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1910 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1912 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1913 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1915 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1918 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1919 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1921 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1924 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1927 PEBBLE LN  
ROCKWALL, TX 75087



QUALICO DEVELOPMENTS (US), INC.  
1930 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1936JADEDR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1942 JADE DR  
ROCKWALL, TX 75087

FORMBY KAYLA RILEY & JONATHAN  
CHRISTOPHER  
2002 TOPAZ DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2004 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2005 EVERT WAY  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2006 TOPAZ DRIVE  
ROCKWALL, TX 75087

GERENA PRISCILLA SCHAR- AND  
JONATHAN M ELDER  
2007 GROVER LANE  
ROCKWALL, TX 75087

SCHAR ROY  
2008 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2009 EVERT WAY  
ROCKWALL, TX 75087

HOLLIDAY MALESSA R AND COURTNEY  
2010 TOPAZ DRIVE  
ROCKWALL, TX 75087

WOLSTENCROFT LISA AND BRIAN  
2011 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2012 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2013 EVERT WAY  
ROCKWALL, TX 75087

GILBY TYLER AND TAYLOR  
2014 TOPAZ DRIVE  
ROCKWALL, TX 75087

IVEY JOSHUA LUKE & SAMANTHA  
2015 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2018 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2022 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2024 TOPAZ DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
2101 CEDAR SPRINGS RD STE 700  
DALLAS, TX 75201

HIGHLAND HOMES- DALLAS LLC  
2104 TOPAZ DR  
ROCKWALL, TX 75087

WHITE WALTER AND SHRONDA  
2105 GROVER LANE  
ROCKWALL, TX 75225

STONE CREEK PHASE X LTD  
2108 TOPAZ DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2109 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2112 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2116 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2120 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2120 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2121 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2124 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2125 RANDAS WAY  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2200 ROSS AVE SUITE 4200W  
DALLAS, TX 75201

DFH COVENTRY LLC  
2201 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2202 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2202 TOPAZ DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2203 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2204 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2206 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2207 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2208 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2210 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2211 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2214 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2218 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2220 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2301 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2303 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2304 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2304 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2305 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2307 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2308 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2308 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2309 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2311 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2312 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2312 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2313 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2315 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2316 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2317 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2319 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2320 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2321 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2323 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2324 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2325 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2325 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2327 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2328 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2329 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2331 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2332 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2333 ROCKING H TRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2335 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2336 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2339 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2340 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2341 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
480 WILDWOOD FOREST DR STE 801  
SPRING, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

STONE CREEK PHASE X LTD  
537 FAIR DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
538 ALBATROSS DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
541 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
541 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 ALBATROSS DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
543 FAIR DR  
ROCKWALL, TX 75087

JACOB JOFFY & JERIN JOSE  
544 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
544 MELODY MEADOW DR  
ROCKWALL, TX 75087



PIERCE KAYNE JEREMY AND BETH ANN  
545 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
545 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
545 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
546 ALBATROSS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
547 FAIR DR  
ROCKWALL, TX 75087

OBERA FRANCISCO AND DEBRA  
548 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 PETREL DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
549 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
549 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
549 PETREL DR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
550 E QUAIL RUN RD  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
550 MELODY MEADOW DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
551 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 PETREL DR  
ROCKWALL, TX 75087

JEFFUS LARRY & CAROL  
552 GRANITE FIELDS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
552 ALBATROSS DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
553 FAIR DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
554 MELODY MEADOW DR  
ROCKWALL, TX 75087

BABALOLA OWOLABI AND RASHIDAT ABIODUN  
555 GRANITE FIELDS DR <Null>  
ROCKWALL, TX 78660

CHESMAR HOMES LLC  
555 MELODY MEADOW DR  
ROCKWALL, TX 75087

CANTU SHEA M AND OSCAR J  
556 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
559 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

MAJKA ALYSSA  
560 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
5601 DEMOCRACY DRIVE SUITE 300  
PLANO, TX 75024

PACESETTER HOMES LLC  
563 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

YINGLING JOHN R  
570 EAST QUAIL RUN DR  
ROCKWALL, TX 75087

HOTCHKISS AMANDA  
618 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
618 NAKOMA DR  
ROCKWALL, TX 75087

RADICIONI WADE AND LISA  
621 EMERSON DR  
ROCKWALL, TX 75087

DUBOIS WESLEY GRANT & SARAH E  
621 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
621 NAKOMA DR  
ROCKWALL, TX 75087

BAGACEAN MICHAEL A AND JENNIFER  
622 EMERSON DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
622 NAKOMA DR  
ROCKWALL, TX 75087

CONFIDENTIAL  
624 MONTROSE DR  
ROCKWALL, TX 75087

ANDERSON KEVIN AND KRISTINE  
625 EMERSON DR  
ROCKWALL, TX 75087

MALLIK THOMAS ARTHUR AND TERI LYNN  
625 MONTROSE DR  
ROCKWALL, TX 75087

HAMILTON LUCAS C AND BRENDA C  
625 NAKOMA DR  
ROCKWALL, TX 75087

HASEGAWA TETSUYA & PATRICIA EMY AOKI  
626 COVEY TRL  
ROCKWALL, TX 75087

KEFFER MICHAEL RYAN AND JENNIFER  
626 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
626 NAKOMA DR  
ROCKWALL, TX 75087

BRISENO MARCO A  
628 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOLLENBECK DARREN SCOTT AND  
WEIYA TSENG  
629 EMERSON DRIVE  
ROCKWALL, TX 75201

AWANO ELSABET LEGESSE AND  
FEKADU GHEBREMSKEL HALEFOM  
629 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
629 NAKOMA DR  
ROCKWALL, TX 75087

BROWN CARI MELISSA AND  
NANCY BAER  
630 EMERSON DRIVE  
ROCKWALL, TX 75087

WHEELIS NICHOLAS ADAM AND  
YOMAIRA NAVARRETTE  
630 NAKOMA DRIVE  
ROCKWALL, TX 75201

MEGATEL HOMES LLC  
632 MONTROSE DR  
ROCKWALL, TX 75087

GREMILLION REBECCA BROWN & JAMES E JR  
633 EMERSON DRIVE  
ROCKWALL, TX 75201

USMANI MUHAMMAD & SUBUK  
633 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOBBS AUTAVIUS SR AND  
TANGELA GREEN  
633 NAKOMA DR <Null>  
ROCKWALL, TX 75087

CARBONE LISA AND JOHN  
634 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
634 NAKOMA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
636 MONTROSE DR  
ROCKWALL, TX 75087

MORRIS SHANNON AND JAMIE  
637 EMERSON DR  
ROCKWALL, TX 75087

COOK FAMILY REVOCABLE TRUST  
BRONWYN P COOK- TRUSTEE  
637 NAKOMA DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
637 MONTROSE DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
640 MONTROSE DR  
ROCKWALL, TX 75087

MILLS RYAN MATTHEW & LACY FERRELL  
641 EMERSON DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
6946 SPERRY ST  
DALLAS, TX 75214

WINDSOR HOMES CUMBERLAND LLC  
700 MONTROSE DR  
ROCKWALL, TX 75087

THOMPSON JACOB KEITH & SARAH ELISABETH  
704 MONTROSE DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
8214 WESTCHESTER DR STE 710  
DALLAS, TX 75225

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 12, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



**From:** [elaine albritton](#)  
**To:** [Planning](#)  
**Cc:** [Elaine Albritton](#); [Kate Wilke](#)  
**Date:** Saturday, July 2, 2022 10:35:18 PM

---

Once again Dick Skorburg is doing a non stop dance with the planning commission and the city council, as he has done this many times before. He is an unscrupulous developer that tries to pack as many residences in an area that he can. We, in Stone Creek have been able several times to stop him from building public housing, condos. etc. into our neighborhoods. Stone Creek that still has several lots under his control does not have an owner HOA, but is still under his control of his management company which he advises on how to control the owners and their property. A semi serfdom regimen that he still has control over! If this development is allowed to proceed without widening of Quail Creek RD. from Hays Road to John King then the only problem the City will have is to make enough white crosses to mark the anticipated death toll on this road. Mr. Dick Skorburg is like the railroad barons of old. If he decides to build an addition without extensive study then he will build it regardless of anything negative or any system in his way.

He has been a very successful developer because of his skill and the lack of political will to stop or restrain him from doing exactly what he wants with only minor adjustments to show the city is paying attention.

The City of Rockwall shares in his greed as the water pressure decreases each time more homes are built and so does the VOLUNTEER FIRE DEPT and THE EMS service. It has only been in this last year or so when I got the City Council and Mayor Pruitt to see that at least 70% of the fire calls are medical in nature and must be responded to by the Rockwall FD., which they now run on and there event count has greatly increased. This will only get worse until the uneducated City Council makes the FD a full time entity with a crew of 3 members on board and reserves to fill in for them. Up to now this has been an ancient way of thinking not allowed by cities around Rockwall such as Rowlette and Garland. It would be a major win for the city to ONCE think all of these issues thoroughly through before they let another rubber stamp of Dick Skorburg's enterprises continue!

Michael H. Albritton Retired Captain Austin Texas Fire dept.  
791 Hanover Drive, Rockwall Texas 75087-7150

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Zoning & Specific Use Permit Input Form

### Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-034

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

### Respondent Information

Please provide your information.

### First Name \*

Richard

Last Name \*

Borg

Address \*

Rchrdborg@yahoo.com

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms



# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-034

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am in opposition until Quail Run and Hayes Roads are widened. The roads cannot currently handle the traffic we have. This many homes will further exacerbate the traffic problem.

## Respondent Information

Please provide your information.

## First Name \*

Ryan

Last Name \*

Mills

Address \*

641 Emerson Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

## Miller, Ryan

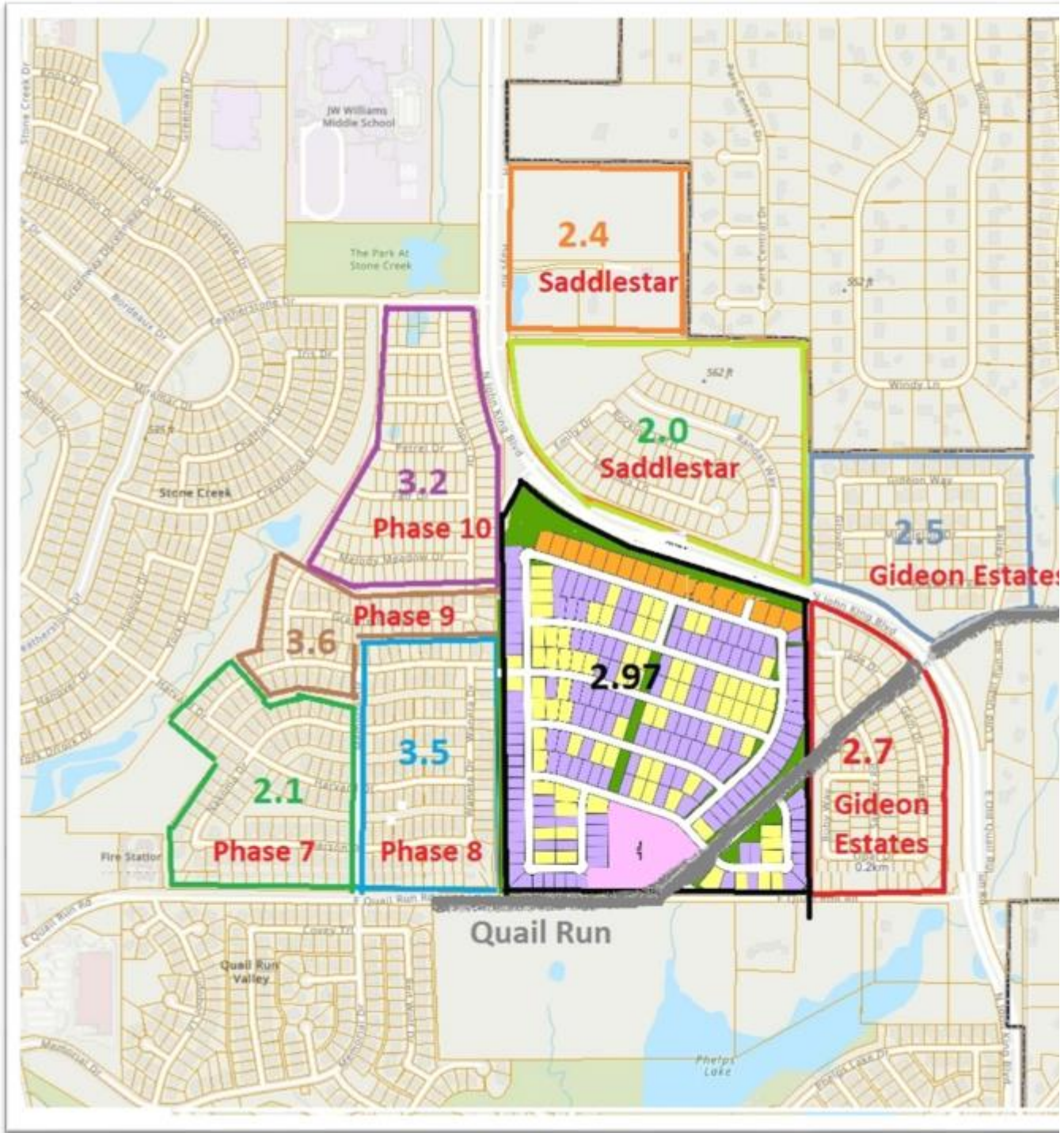
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**From:** Bob Wacker <bobwacker@att.net>  
**Sent:** Monday, July 11, 2022 8:55 AM  
**To:** Miller, Ryan  
**Cc:** Planning  
**Subject:** Z2022-034 Hance / Skorburg Development

I am in favor of this zoning change.

1. The density is comparable to the last couple of phases of Stone Creek. (see drawing below)
2. Widening Hayes Road will help the traffic flow.
3. Having the same developer for these three adjacent properties will ensure consistency of home types and quality.





Regards,  
 Bob Wacker  
 309 Featherstone Drive  
 Rockwall, TX 75087

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

**From:** [C Lopez](#)  
**To:** [Planning](#)  
**Date:** Monday, July 11, 2022 8:57:58 PM

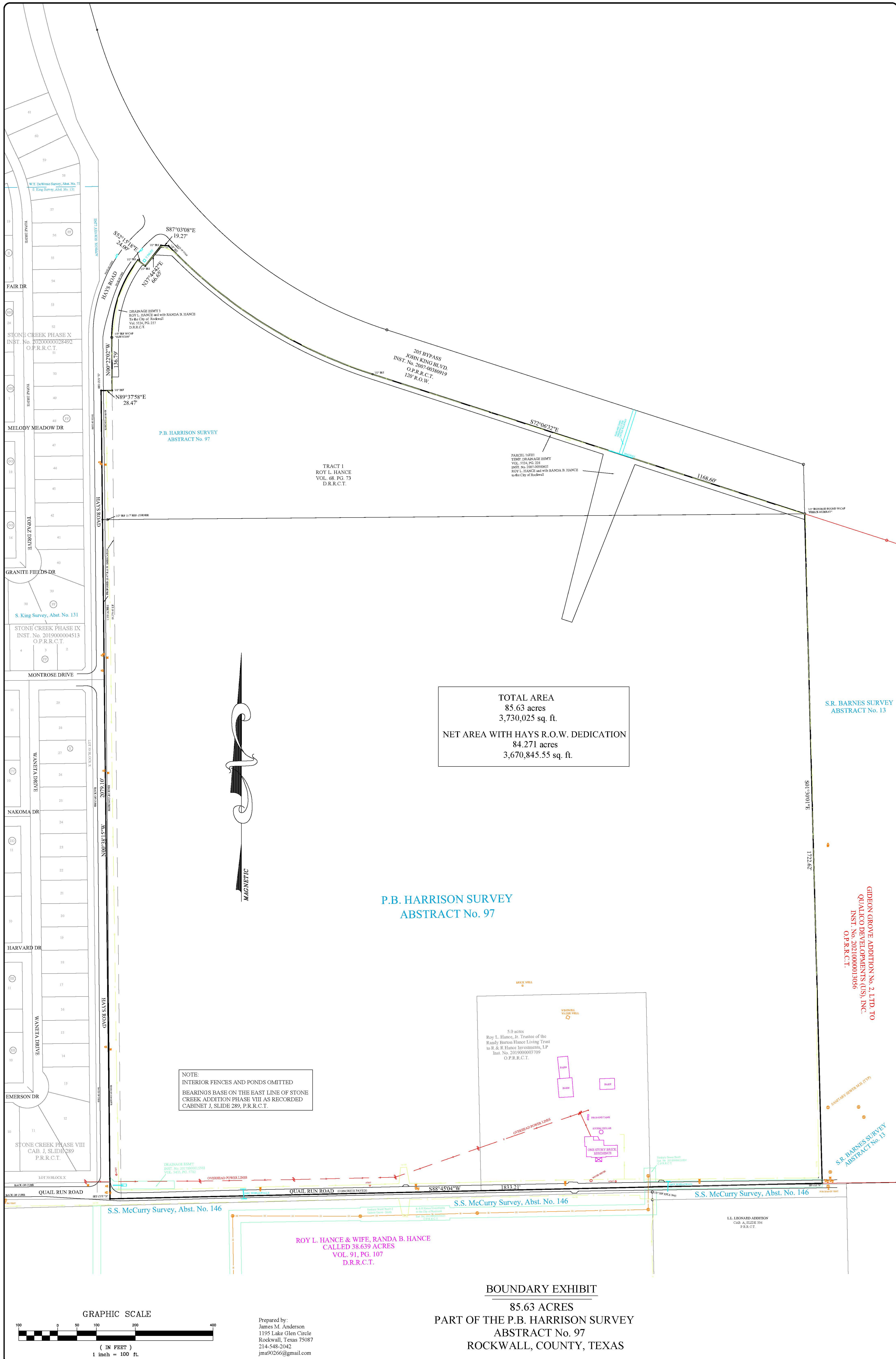
---

We do not need anymore homes in Rockwall. You are allowing everyone square inch of this cute small town to turn into homes, plus we don't have the infrastructure for all these people coming in. All this growth is ruining our small town.

Cheri Lopez

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



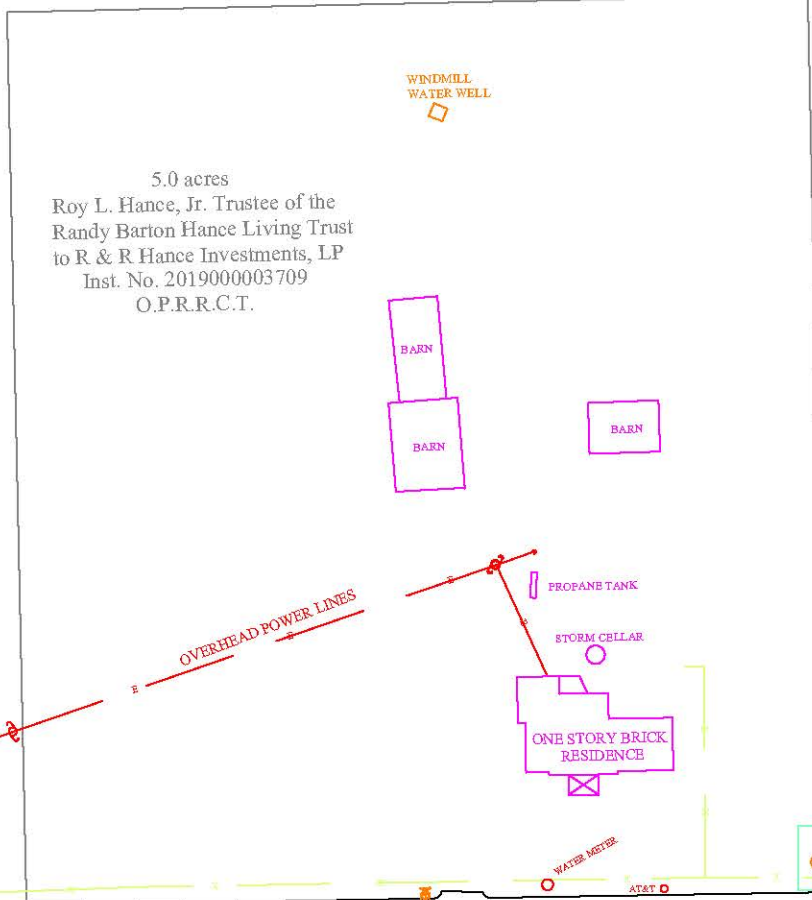


TOTAL AREA  
85.63 acres  
3,730,025 sq. ft.

NET AREA WITH HAYS R.O.W. DEDICATION  
84.271 acres  
3,670,845.55 sq. ft.

P.B. HARRISON SURVEY  
ABSTRACT No. 97

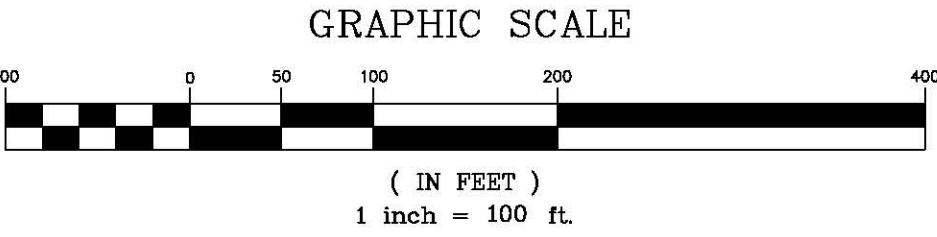
NOTE:  
INTERIOR FENCES AND PONDS OMITTED  
BEARINGS BASE ON THE EAST LINE OF STONE  
CREEK ADDITION PHASE VIII AS RECORDED  
CABINET J, SLIDE 289, P.R.R.C.T.



ROY L. HANCE & WIFE, RANDA B. HANCE  
CALLED 38.639 ACRES  
VOL. 91, PG. 107  
D.R.R.C.T.

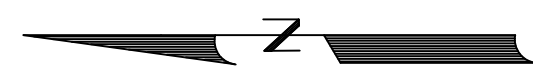
**BOUNDARY EXHIBIT**

85.63 ACRES  
PART OF THE P.B. HARRISON SURVEY  
ABSTRACT No. 97  
ROCKWALL, COUNTY, TEXAS



Prepared by:  
James M. Anderson  
1195 Lake Glen Circle  
Rockwall, Texas 75087  
214-548-2042  
jma90266@gmail.com



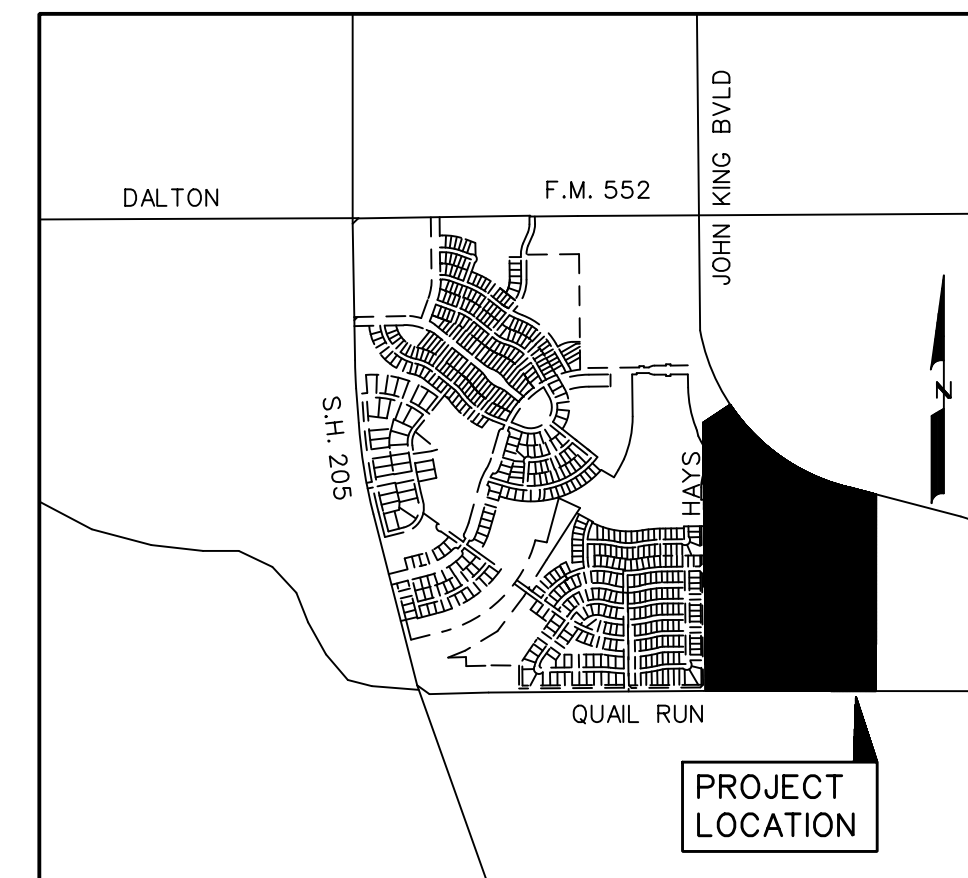


0 50 100 200  
SCALE: 1" = 100'

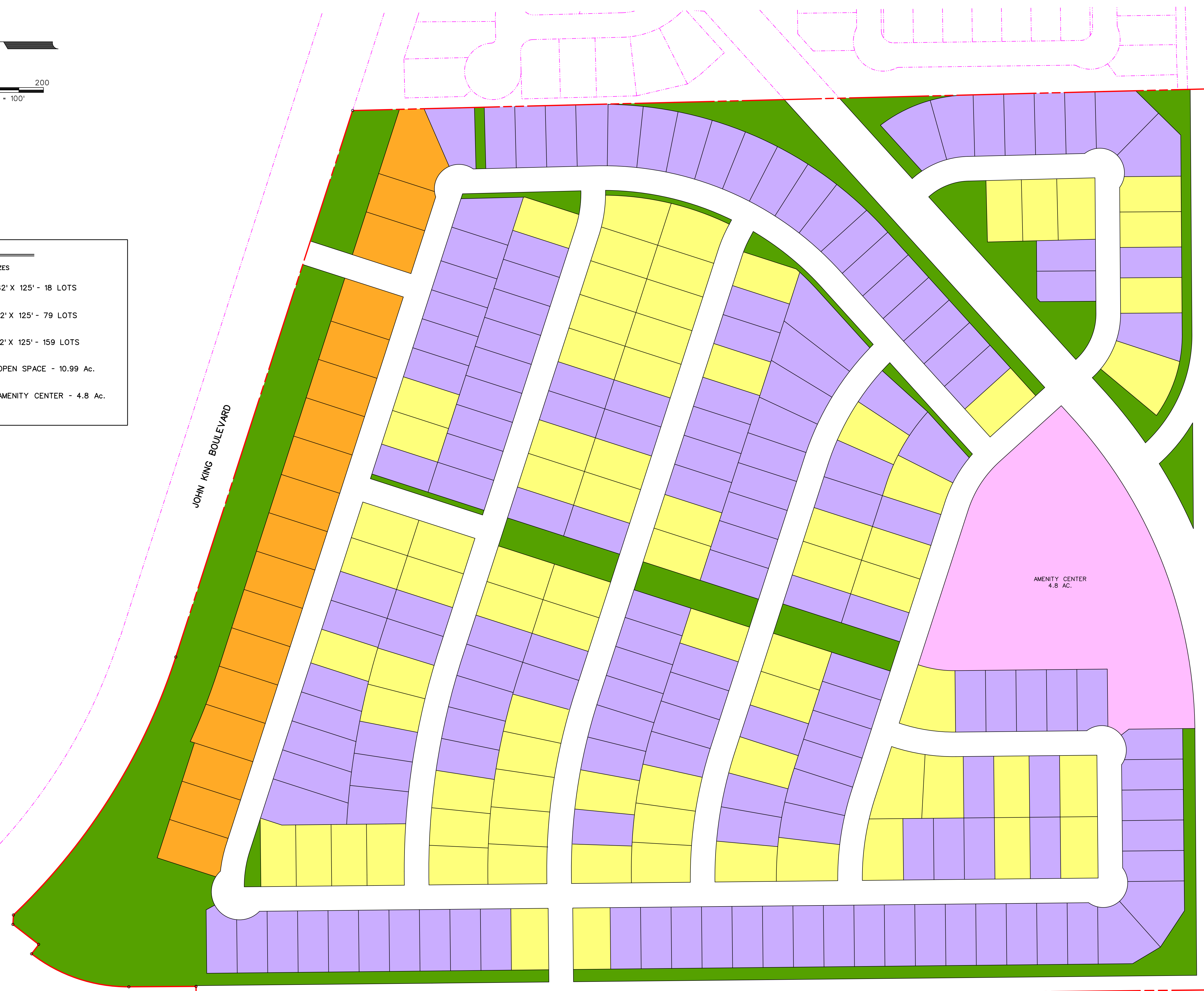
**LEGEND**

TYPICAL LOT SIZES

- 82' X 125' - 18 LOTS
- 72' X 125' - 79 LOTS
- 62' X 125' - 159 LOTS
- OPEN SPACE - 10.99 Ac.
- AMENITY CENTER - 4.8 Ac.



LOCATION MAP  
N.T.S.



TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	256
RESIDENTIAL DENSITY	2.99
OPEN SPACE PERCENTAGE	18.44%

CONCEPT PLAN  
OF  
**HANCE TRACT**  
SITUATED IN THE  
P.B. HARRISON SURVEY, ABSTRACT NO. 97  
IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200

JUNE 2022 SCALE 1" = 100'

CASE NO. XXXX



# 05 FUTURE LAND USE PLAN

## 01 LAND USE PLAN DESIGNATIONS

### 01.01 RESIDENTIAL ● ● ●

#### ● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

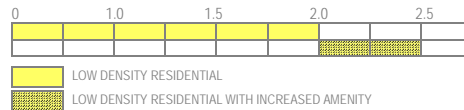
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

##### EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

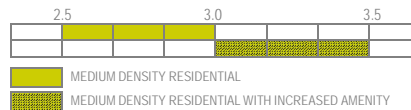
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

##### EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

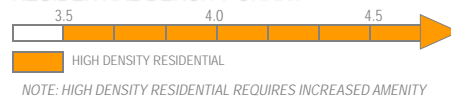
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

##### EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

##### RESIDENTIAL DENSITY CHART



# 13 NORTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The Northwest Residential District is characterized by the two (2) large master planned communities that make up the majority of the acreage in this district. These developments are the Caruth Lakes and Stone Creek Subdivisions. The remainder of this district is expected to develop with similar medium density residential housing product.

## DISTRICT STRATEGIES

The Northwest Residential District is expected to continue to provide master planned suburban neighborhoods in the future and has no areas that are thought to be transitioning. Based on these assumptions the strategies for this district are as follows:

- 1 Suburban Residential.** Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision.
- 2 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the Neighborhood/Convenience Centers and the Suburban Residential developments.
- 3 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.

## POINTS OF REFERENCE

- A. J. W. Williams Middle School
- B. The Park at Stone Creek
- C. Stone Creek Subdivision
- D. Fire Station #3
- E. The Parks at Squabble Creek
- F. Caruth Lakes Subdivision

## LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon



2 Shops at Stone Creek



1 Current Suburban Residential



2 Kroger Shopping Center



1 Current Suburban Residential

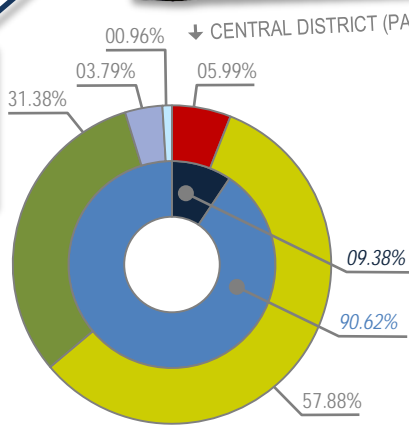


2 Future Neighborhood/Convenience Center

**BUILD OUT**  
 2,347  
 7,018

**% OF ROCKWALL**  
 8.91%  
 1.38%  
 8.95%

**CURRENT**  
 1,782  
 25  
 5,328



Land Use Category	Percentage
COMMERCIAL	9.38%
RESIDENTIAL	90.62%
MIXED USE	0.00%
COMMERCIAL/RETAIL (CR)	60.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	581.3-ACRES
PARKS AND OPEN SPACE (OS)	315.22-ACRES
PUBLIC (P)	38.11-ACRES
QUASI-PUBLIC (QP)	9.66-ACRES



CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 2-01, 2-04, 2-05 & 2-06 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.



(g) Final Plat. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF AUGUST, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: July 18, 2022

2<sup>nd</sup> Reading: August 1, 2022

**Exhibit 'A':**  
**Legal Description**

*BEING* an 85.629-acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00-acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

*BEGINNING* at a ½" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

*THENCE* South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

*THENCE* South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

*THENCE* North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

*THENCE* North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

*THENCE* North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

*THENCE* along said right-of-way an arc distance of 212.86' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* South 52°15'18" East a distance of 24.00' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* North 37°44'42" East a distance of 66.65' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16';

*THENCE* South 87°03'08" East along said corner clip, a distance of 19.27' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* South 72°06'32" East a distance of 1168.60' to the *POINT OF BEGINNING* and containing 85.629-acres or 3,730,025 square feet of land.







**Exhibit 'D':  
Density and Development Standards**

**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

**TABLE 1: LOT COMPOSITION**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	157	62.30%
B	72' x 120'	8,640 SF	78	30.95%
C	82' x 125'	10,250 SF	17	06.75%
<i>Maximum Permitted Units:</i>			256	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.94 dwelling units per gross acre of land; however, in no case should the proposed development exceed 252 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

Lot Type (see <i>Concept Plan</i> ) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

**General Notes:**

- <sup>1</sup>: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5</sup>: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6</sup>: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7</sup>: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

- (4) Building Standards. All development shall adhere to the following building standards:

**Exhibit 'D':**  
*Density and Development Standards*

- (a) ***Masonry Requirement.*** The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 50% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 50% of the masonry requirement on a *case-by-case* basis.

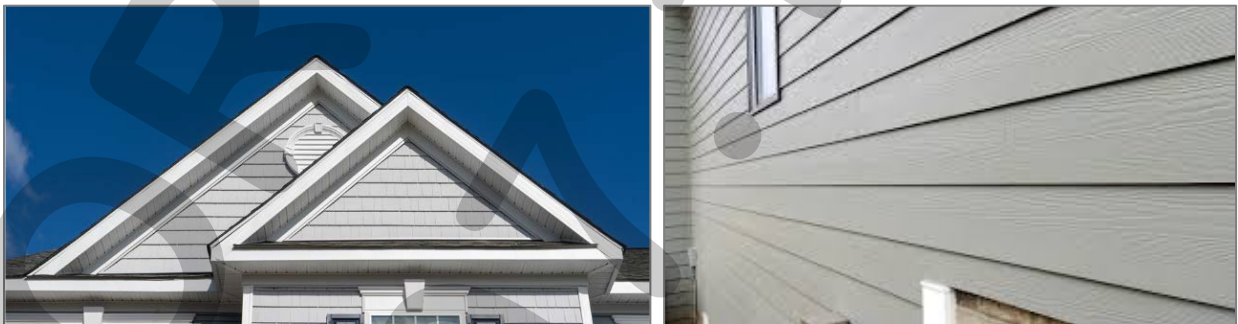
**FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD**



**FIGURE 2: EXAMPLES OF BOARD AND BATTEN**



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**



**Exhibit 'D':**  
*Density and Development Standards*

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:
- (1) Type 'A' Lots. The Type 'A' Lots (i.e. the purple lots depicted in Exhibit 'C') may be oriented in a *traditional swing (or j-swing)* garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing (or j-swing)* garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional (or j-swing)* configuration. A maximum of 32.85% of the Type 'A' Lots (i.e. 50 lots or 20.00% of all lots) shall be permitted to be oriented in a *flat-front entry configuration* -- allowing the garage door to be flush with the front façade of the primary structure -- pending the front yard building setback is increased to a minimum setback of 25-feet.
  - (2) Type 'B' & 'C' Lots. The Type 'B' & 'C' Lots (i.e. the yellow and orange lots depicted in Exhibit 'C') may be oriented in a *traditional swing (or j-swing)* garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing (or j-swing)* garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional (or j-swing)* configuration.
  - (3) Requirements for all Lot Types. All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see Figures 4-6 for examples of upgraded or enhanced finishes].

Continued on Next Page ...



**Exhibit 'D':**  
*Density and Development Standards*

**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



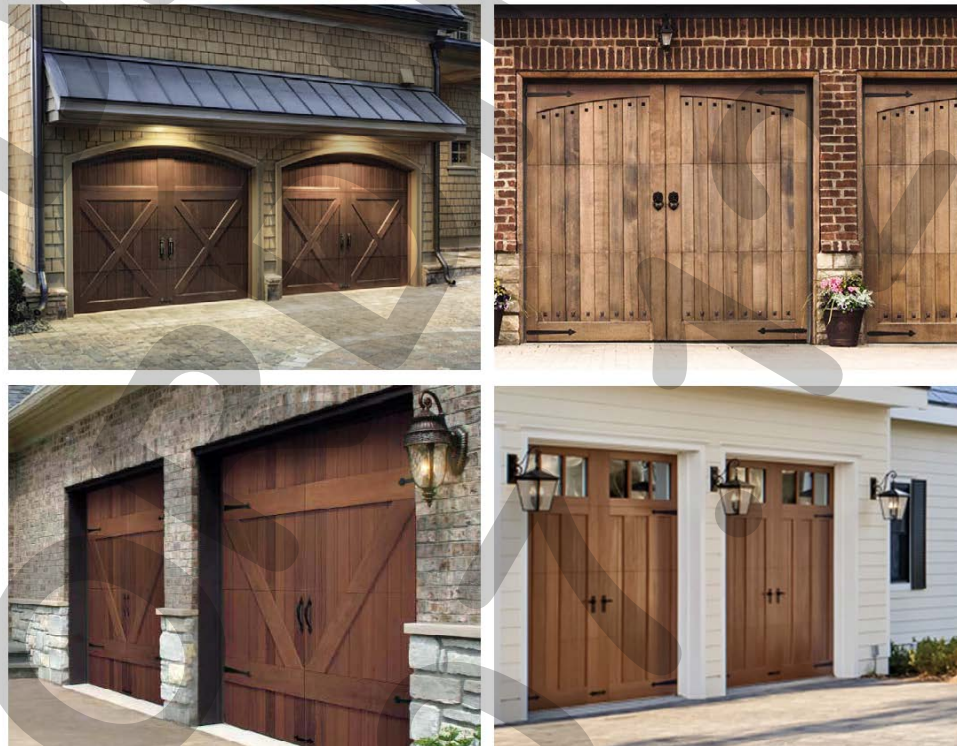
**DIVIDED BAYS**

**CARRIAGE HARDWARE**

**CEDAR CLADDING**

**ORNAMENTAL PAVING**

**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**





**Exhibit 'D':**  
*Density and Development Standards*

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, John King Boulevard, Hays Road, E. Quail Run Road, or Old E. Quail Run Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

*Continued on Next Page ...*

**Exhibit 'D':**  
*Density and Development Standards*

*FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.*



*FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.*



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
  - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. E. Quail Run Road [Old E. Quail Run Road], Hays Road, and John King Boulevard*), abutting open spaces, the amenity center, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

**Exhibit 'D':**  
*Density and Development Standards*

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
  - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
    - (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 90-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 90-foot landscape buffer.
    - (2) Landscape Buffer and Sidewalks (Hays Road and E. Quail Run Road -- and Old Quail Run Road). A minimum of a ten (10) foot landscape buffer shall be provided along Hays Road, E. Quail Run Road, and Old E. Quail Run Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, one (1) canopy tree and one (1) accent tree are required per 50-linear feet of frontage along these roadways. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
  - (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

**Exhibit 'D':**  
*Density and Development Standards*

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 17.126-acres -- as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (14) Amenity Center. An amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*. The amenities will feature at least one (1) of the following: [1] a pavilion, [2] a playground, and/or [3] a multi-use court (e.g. a pickle ball court and basketball court).



**Exhibit 'D':**  
*Density and Development Standards*

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## CITY COUNCIL MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council

**CC:** Mary Smith, *City Manager*  
Joey Boyd, *Assistant City Manager*

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** August 1, 2022

**SUBJECT:** Z2022-034; *Zoning Change (AG to PD) for the Hance Tract*

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On July 18, 2022, the City Council approved a motion to table *Case No. Z2022-034* by a vote of 5-0, with Council Members Jorif and Johannesen absent. The City Council tabled this case, requesting that the applicant provide the larger *Type 'C'* lots (*i.e. the 82' x 125' lots*) along the existing portion of E. Quail Run Road. In response to the City Council request and subsequent tabling of the case, the applicant has submitted a new concept plan showing the *Type 'C'* lots being incorporated along both the existing portion of E. Quail Run Road and the new portion of E. Quail Run Road. Based on this, staff has updated the proposed draft ordinance and case memo reflecting the applicant's proposed changes. No other substantial changes were made to the plan. Should the City Council have any questions, staff and the applicant will be available at the August 1, 2022 City Council meeting.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** August 1, 2022  
**APPLICANT:** Kevin Harrell; *Skorburg Company*  
**CASE NUMBER:** Z2022-034; *Zoning Change (AG to PD) for the Hance Tract*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is: [1] a 2,236 SF single-family home, [2] a 64 SF storage building, [3] a 2,400 SF metal storage building, [4] a 2,208 SF barn, [5] an 897 SF storage shed, and [6] an 864 SF storage building. All of these improvements were constructed in 1975. Beyond these structures, the subject property has remained largely undeveloped and the zoning designation has not changed since annexation.

### PURPOSE

On June 17, 2022, the applicant -- *Kevin Harrell of the Skorburg Company* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 250-lot single-family, residential subdivision that will consists of three (3) lot sizes (*i.e. [A] 150, 62' x 120' lots; [B] 74, 72' x 120' lots; and [C] 26, 82' x 125' lots*).

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of Hays Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare is Phase 1 of the Saddle Star Estates Subdivision, which consists of 66 single-family residential lots on 26.41-acres. This phase of the subdivision was filed with Rockwall County on November 23, 2020, and is zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses.

South: Directly south of the subject property is E. Quail Run Road. Portions of this roadway are designated as an M4D (*i.e. major collector, four [4] lane, divided roadway*) and a R2U (*i.e. residential, two [2] lane, roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) tracts of land (*i.e. Tract 19-2 and 22 of the S. S. McCurry Survey, Abstract No. 146 and Lot 1 of the L. L.*

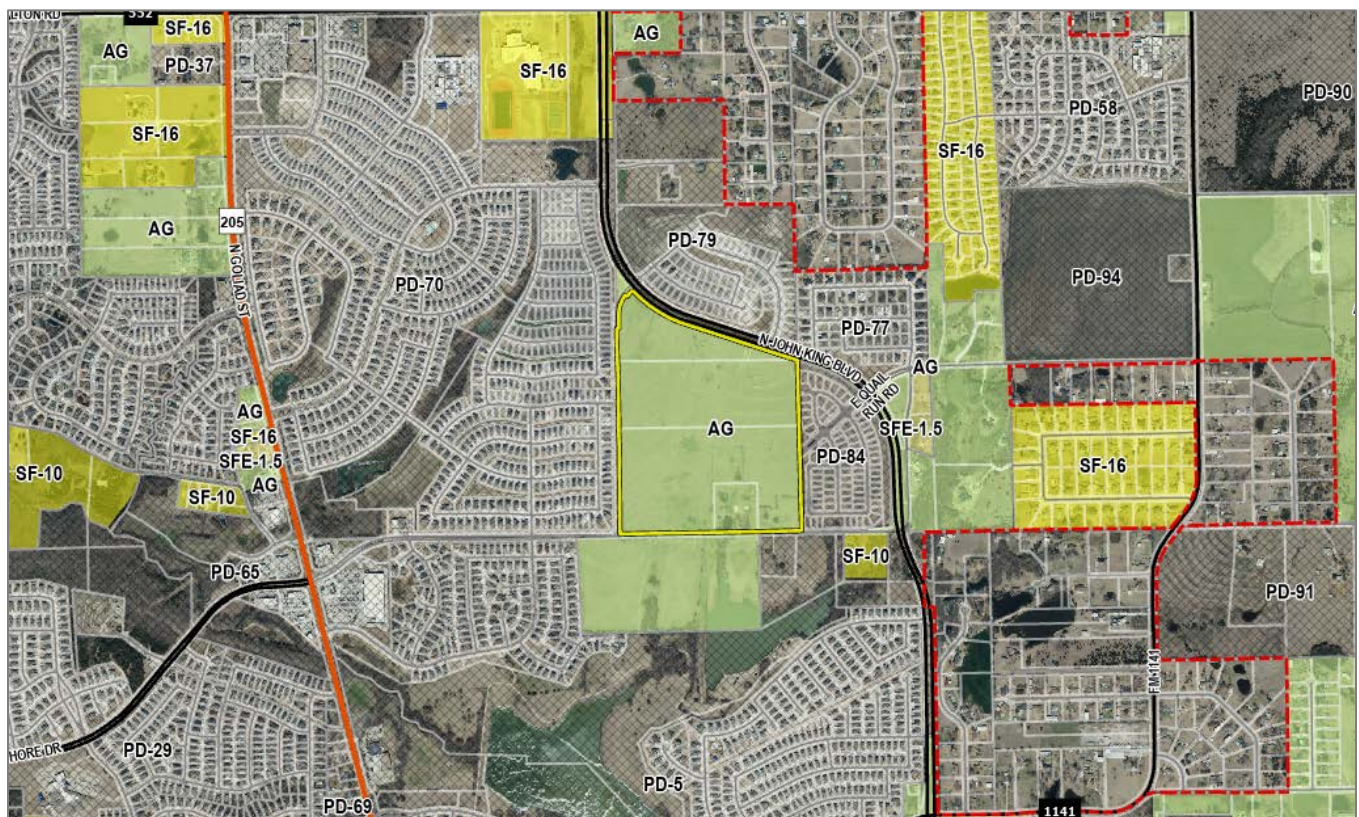
*Leonard Addition*) that are currently vacant and zoned Agricultural (AG) District and Planned Development District 5 (PD-5) for Single-Family 8.4 (SF-8.4) District land uses.

East: Directly east of the subject property is the Gideon Grove Subdivision, which consists of 84 single-family residential lots on 30.06-acres. This subdivision was filed with Rockwall County on March 22, 2022, and is zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Hays Road, which is identified as a *Minor Collector* on the City Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 8 of the Stone Creek Subdivision, which consists of 102 single-family residential lots on 28.66-acres. This phase of the subdivision was filed with Rockwall County on March 6, 2018, and is zoned Planned Development District 70 (PD-70) for Single-Family 10 (SF-10) District land uses.

### MAP 1: LOCATION MAP

**YELLOW:** SUBJECT PROPERTY



### CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 85.63-acre subject property will consist of 250 residential lots. These lots will consist of three (3) lot types: [1] 150 *Type 'A'* lots that are a minimum of 62' x 120' (*or 7,440 SF*), [2] 74 *Type 'B'* lots that are a minimum of 72' x 120' (*or 8,640 SF*), and [3] 26 *Type 'C'* lots that are a minimum of 82' x 125' (*or 10,250 SF*). This translates to a gross density of 2.92 dwelling units per gross acre (*i.e. 252 lots/85.63-acres = 2.919 dwelling units per gross acre*). The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,200 SF to 2,800 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 50% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a variation of materials throughout the subdivision.



Looking at the garage orientation proposed for the development, the applicant is requesting to allow a total of 32.10% of the *Type 'A' Lots (51 lots or 20% of all the garages)* to be orientated toward the street in a *Flat Front Entry* garage configuration; however, the applicant is proposing to require a 25-foot front yard building setback for all garages oriented in a *Flat Front Entry* garage configuration. The remaining garage doors will be oriented in a *J-Swing (or a Traditional Swing)* configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of the upgrades required in the Planned Development District ordinance:

IMAGES 1, 2 & 3: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	150	60.00%
B	72' x 120'	8,640 SF	74	29.60%
C	82' x 125'	10,250 SF	26	10.40%
<i>Maximum Permitted Units:</i>			250	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area (SF)</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

General Notes:

- <sup>1:</sup> Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2:</sup> The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3:</sup> The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4:</sup> The location of the *Rear Yard Building Setback* as measured from the rear property line.

- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- 7: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (i.e. a *Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

The proposed concept plan shows that the development will consist of a total of 17.2288-acres open space that includes a 4.80-acre amenity center. This translates to an open space percentage of 20.09% (i.e. 17.203067-acres of open space/85.63-acres gross = 20.09%). In addition, the applicant has incorporated a ten (10) foot hike/bike trail along John King Boulevard and five (5) foot walking trails throughout the subdivision.

## INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, E. Quail Run Road is required to be a M4D (i.e. *major collector, four [4] lane, divided roadway*), which requires an 85-foot right-of-way with two (2), 25-foot *back-to-back* concrete streets with a 14-foot median. This roadway will need to be fully constructed from the existing E. Quail Run Road -- *constructed with Phase 2 of the Gideon Grove Subdivision* -- to where the future alignment ties into the existing E. Quail Run Road. From this point, to the western property line, the applicant will be responsible for constructing a minimum of 24½-feet of the existing E. Quail Run Road. Hays Road is a *Minor Collector* according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This means the applicant will be required to dedicate the remaining right-of-way to ensure that the full right-of-way width of 60-feet is provided, and construct the remaining 16½-feet of paving. In addition, the applicant will be required to construct a left turn lane on John King Boulevard to the City's standards.
- (2) Water. The applicant will be required to construct an eight (8) inch water line that loops through the subject property.
- (3) Wastewater. The applicant will be required to construct an eight (8) inch wastewater line that connects to the existing wastewater system, and pay a \$361.54 per acre sewer pro-rata.
- (4) Drainage. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property.

## CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80% *J-Swing (or Traditional Swing)* or *Recessed Front Entry* (i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home) garages and 20% *Flat Front Entry* garages with a minimum of a 25-foot building setback. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage

configurations: [A] coach lighting, [B] decorative wood doors or wood overlays on insulated metal doors, [C] driveways constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished. The following are examples of some of the upgraded finishes depicted in the Planned Development District ordinance:

IMAGES 4, 5, 6, & 7: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

- (3) Roadway Spacing. The Engineering Department's *Standards of Design and Construction Manual* stipulates a minimum driveway spacing of 200-feet between a local (*i.e. a residential street*) and an arterial (*i.e. Quail Run Road*). Currently, the concept plan does not appear to meet the minimum spacing requirements for the roadways in the southeast corner of the subject property. Should the City Council choose to approve this Planned Development District, they would essentially be approving a variance to the minimum driveway spacing requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northwest Residential District and is designated for Medium Density Residential land uses. The plan defines Medium Density Residential land uses as "... residential subdivisions that are greater than two (2) and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In this case the applicant is proposing a total density of 2.92 dwelling units per acre. In addition, the applicant is proposing to incorporate walking trails and 20.09% open space, and a 4.80-acre amenity center. Based on this the applicant's request is in conformance with the Medium Density Residential designation indicated for the subject property.

According to the *District Strategies for Suburban Residential* in the Northwest Residential District, "... Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision." In this case, the subject property is directly adjacent to Phase 2 of the Gideon Grove Subdivision and Phases 8, 9, & 10 of the Stone Creek Subdivision. Contained within these phases of these subdivisions are lot sizes that range from 60' x 120' (*or a minimum of 7,000 SF*) to 70' x 120' (*or a minimum of 8,400 SF*). This means that the applicant is proposing lots that are equal to or larger than the lots in the adjacent subdivisions. Based on this the applicant's request appears to be in conformance with the *District Strategies* for the Northwest Residential District.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (*e.g. minimum of six [6] side yard setbacks on all lot types, fronting of homes on to a park/open space, etc.*); however, staff has identified the following non-conformities on the concept plan and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 08 | Section 02.03 | Goal 01; Policy 5: Design neighborhoods utilizing the *Housing Tree Model* ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff Response: Staff requested that the *Type 'C' Lots (i.e. 82' x 125' Lots)* be incorporated into the concept plan along E. Quail Run Road to better conform to the *Housing Tree Model*. The applicant has incorporated larger Type 'C' (i.e. 82' x 125' lots) adjacent to Quail Run Road.

- (2) [CH. 07 | Goal 02; Policy 3](#): Continue to develop and plan for an interconnected trail and sidewalk system that promotes connectivity and access to all areas of the City.

Staff Response: Staff request the applicant label and show an interconnected trail and sidewalk system on the concept plan. [The applicant has shown a ten \(10\) foot hike/bike trail along John King Boulevard on the concept plan and additional five \(5\) foot trails that traverse the proposed subdivision.](#)

- (3) [CH. 08 | Section 02.02 | Goal 03; Policy 1](#): All residential development -- five (5) acres or greater -- should consist of a minimum of 20% open space as calculated by the gross land area. Floodplain should be counted at a rate of ½-acre for every acre provided (e.g. ten [10] acres of floodplain dedicated as open space would count as five [5] acres of open space).

Staff Response: The original concept plan had less than 20.00% open space. Based on this staff requested that the applicant change the concept plan to incorporate at least 20.00%. [The applicant has changed the concept plan to incorporate 20.09%.](#)

Taking into account the applicant's concept plan, proposed density, and development standards, the request does appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, as with all zoning cases, this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On June 17, 2022, staff mailed 275 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stone Creek, Quail Run Valley, and Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Associations (HOA's), which are the only HOA's within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) response from the City's online *Zoning and Specific Use Input Form* from one (1) property owner outside of the 500-foot notification buffer in favor of the applicant's request.
- (2) One (1) response from the City's online *Zoning and Specific Use Input Form* from one (1) property owner outside of the 500-foot notification buffer in opposition of the applicant's request.
- (3) Three (3) emails from three (3) property owners outside of the 500-foot notification buffer in opposition to the applicant's request.
- (4) One (1) email from one (1) property owner outside of the 500-foot notification buffer in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this [Zoning Change](#) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



**PLANNING AND ZONING COMMISSION**

On July 12, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 6-0, with Commissioner Llewellyn absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1244 E Quail Run Rd

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION SEC of N John King Blvd and Hays Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG - Agricultural District

CURRENT USE Vacant Ag Land

PROPOSED ZONING PD - SF - 10

PROPOSED USE Single Family Residential

ACREAGE 85.63

LOTS [CURRENT]

N/A

LOTS [PROPOSED]

255

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER R & R Hance Investments

APPLICANT Skorburg Company

CONTACT PERSON Larry Hance

CONTACT PERSON Kevin Harrell

ADDRESS 6946 Sperry St

ADDRESS 8214 Westchester Dr

STE 900

CITY, STATE & ZIP Dallas, TX 75214

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-207-4362

PHONE 214-888-8859

E-MAIL larryhance@gmail.com

E-MAIL kharrell@skorburgcompany.com

## NOTARY VERIFICATION [REQUIRED]

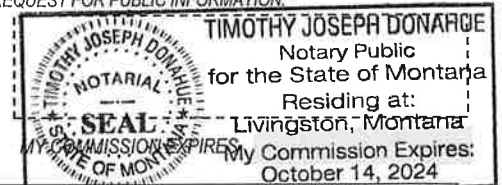
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Larry Hance [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







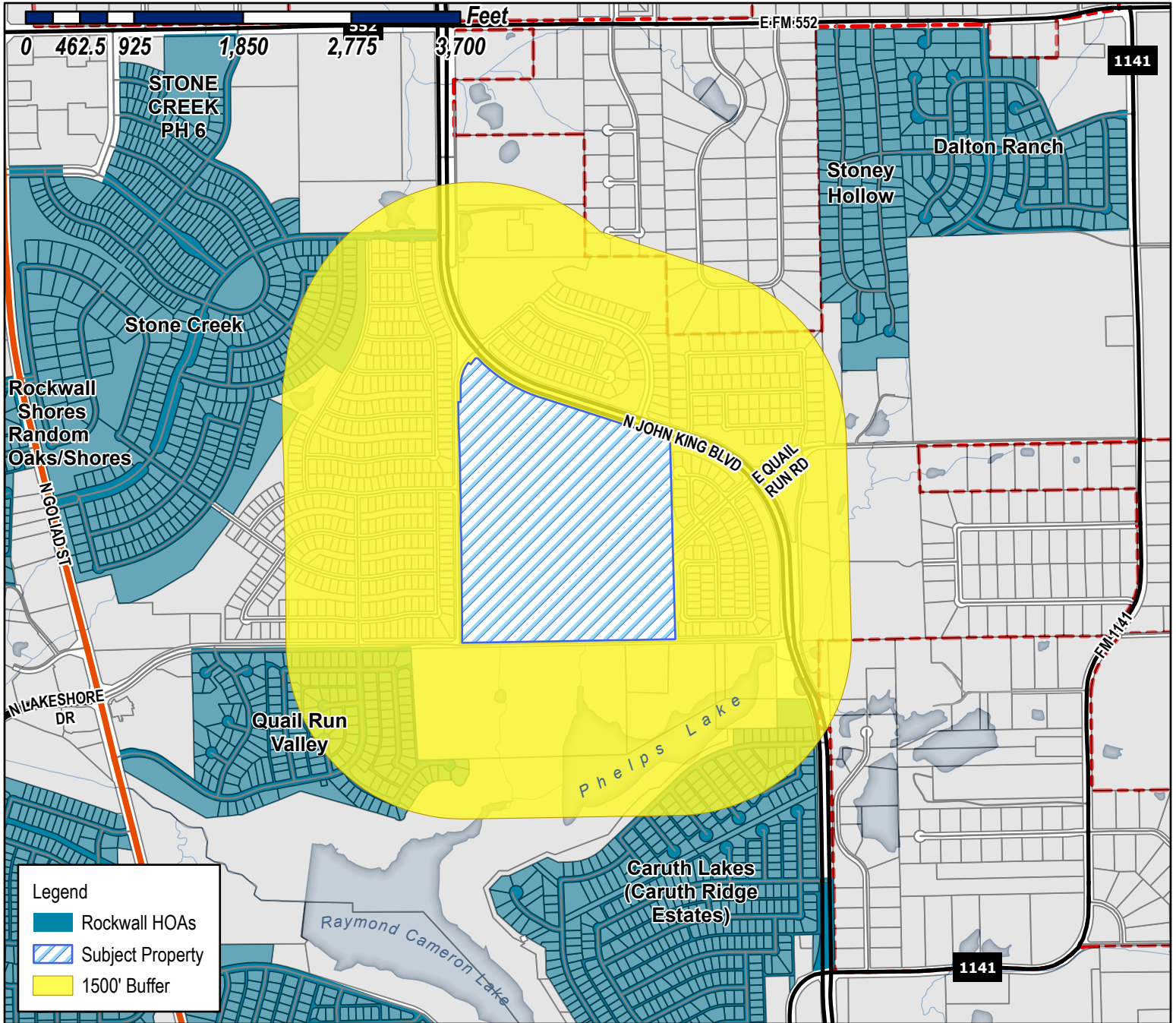




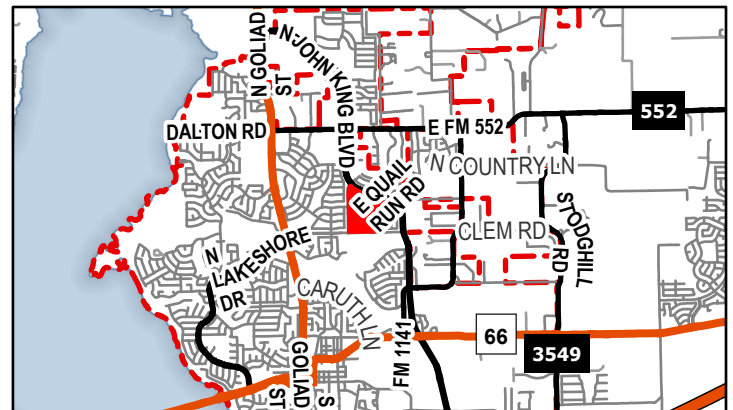
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.



**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745



## Miller, Ryan

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**From:** Gamez, Angelica  
**Sent:** Tuesday, June 21, 2022 4:44 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2022-034]  
**Attachments:** Public Notice (06.20.2022).pdf; HOA Map (06.17.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *June 24, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 18, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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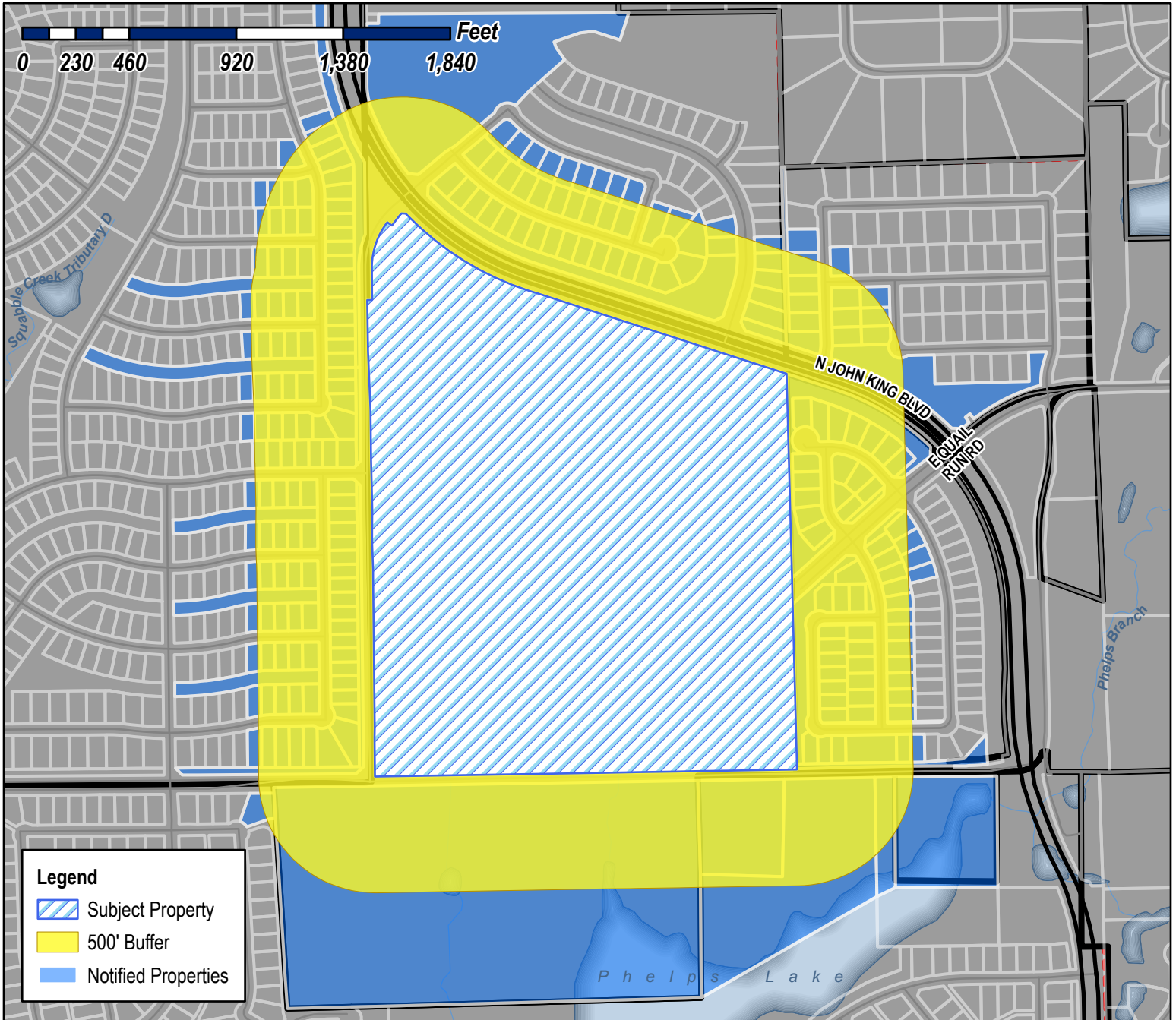
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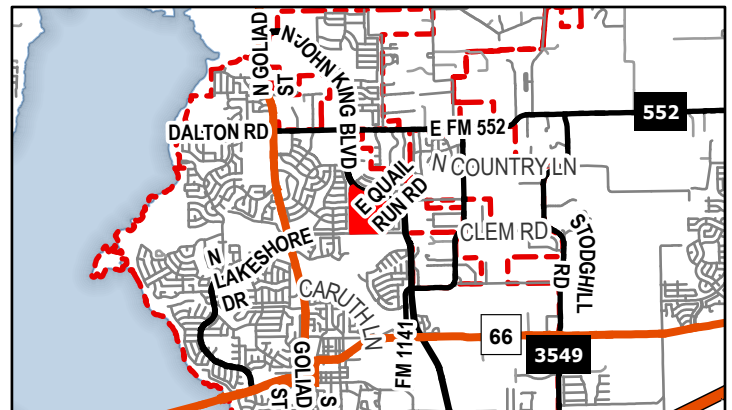
# City of Rockwall

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**Case Number:** Z2022-034  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SEC Hays Road & John King Blvd.



**Date Saved:** 6/18/2022  
 For Questions on this Case Call (972) 771-7745

GIDEON GROVE HOMEOWNERS ASSOCIATION  
INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

STONE CREEK HOMEOWNERS ASSOCIATION INC  
1024 S GREENVILLE AVE #230  
ALLEN, TX 75002

QUALICO DEVELOPMENTS (US), INC.  
1201 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1202 JASPER ST  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
1204 MIDDLETON DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1207 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1208 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1213 OPAL DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1214 JASPER ST  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1239 OPAL DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
1244 QUAIL RUN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1245 OPA LDR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
1309 MORaine PL  
HEATH, TX 75032

BROWN CHARLES O AND KAREN E  
1401 HARVARD DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1402 HARVARD DR  
ROCKWALL, TX 75087

MAKIDON MICHAEL AND GINA  
1405 HARVARD DRIVE  
ROCKWALL, TX 75087

MANEY DREW DANIEL  
1406 HARVARD DRIVE  
ROCKWALL, TX 75087

PHILLIPS LARRY GLENN AND DEBORAH ANN  
1408 HARVARD DR  
ROCKWALL, TX 75087

HOBBS ANTWAUN AND JADE  
1409 HARVARD DRIVE  
ROCKWALL, TX 75087

SMITH ROBERT AND SUSAN  
1410 HARVARD DRIVE  
ROCKWALL, TX 75087

BARRIENTOS RUBEN AND IDA  
1411 HARVARD DRIVE  
ROCKWALL, TX 75087

DEHART KYLE J AND JOCELYN L  
1414 HARVARD DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1415 HARVARD DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

QUALICO DEVELOPMENTS (US), INC.  
14400 THE LAKES BLVD  
PFLUGERVILLE, TX 78660

DFH COVENTRY LLC  
14701 PHILIPS HIGHWAY SUITE 300  
JACKSONVILLE, FL 75248

REMEDIZ TYLER AND CELESTE  
1600 WANETA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1604 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1608 WANETA DR  
ROCKWALL, TX 75087

BORG RICHARD AND  
MEGAN WOOD  
1612 WANETA DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1616 WANETA DR  
ROCKWALL, TX 75087

ALEXANDER MATHEW AND MARYALICE  
1620 WANETA DR  
ROCKWALL, TX 75230

TODD WILLIAM BRACKEN JR AND LAUREN  
ELIZABETH  
1624 WANETA DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
16980 NORTH DALLAS PARKWAY SUITE 100  
DALLAS, TX 75248

GORDON STEVEN JR AND JENNIFER  
1702 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1704 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1705 SAPPHIRE RD  
ROCKWALL, TX 75087

SUNDSTROM KENNETH AND AVA  
1706 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1706 RUBY WAY  
ROCKWALL, TX 75087

HUNT ROBERT WILBURN AND MARY  
RICHARDSON HUNT  
1710 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1710 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1711 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1712 RUBY WAY  
ROCKWALL, TX 75087

MCCLURE MATTHEW AND JIYEON  
1714 WANETA DR  
ROCKWALL, TX 75225

QUALICO DEVELOPMENTS (US), INC.  
1716 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1717 SAPPHIRE RD  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DRIVE  
ROCKWALL, TX 75230

QUALICO DEVELOPMENTS (US), INC.  
1718 RUBY WAY  
ROCKWALL, TX 75087

MATLOCK THERON  
1718 WANETA DR  
ROCKWALL, TX 75087

STEERE VLADISLAV AND  
LEAH STOCKSTILL  
1722 WANETA DRIVE  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1722 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1723 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1724 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1728 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1729 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1730 RUBY WAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1734 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1735 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1736 RUBYWAY  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1742 RUBYWAY  
ROCKWALL, TX 75087



QUALICO DEVELOPMENTS (US), INC.  
1802 SAPPHIRE RD  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
1804 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1808 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1808 WANETA DR  
ROCKWALL, TX 75087

SCHMIDT DEBRA SUE  
1812 WANETA DRIVE  
ROCKWALL, TX 75201

QUALICO DEVELOPMENTS (US), INC.  
1814 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1816 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1820 SAPPHIRE RD  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
1820 WANETA DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1823 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1825 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1826 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1831 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1832 SAPPHIRE RD  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1837 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1845 GEM DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1902 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1903 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1906 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1907 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1909 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1910 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1912 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1913 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1915 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1918 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1919 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1921 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1924 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1927 PEBBLE LN  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1930 JADE DR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1936JADEDR  
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC.  
1942 JADE DR  
ROCKWALL, TX 75087

FORMBY KAYLA RILEY & JONATHAN  
CHRISTOPHER  
2002 TOPAZ DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2004 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2005 EVERT WAY  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2006 TOPAZ DRIVE  
ROCKWALL, TX 75087

GERENA PRISCILLA SCHAR- AND  
JONATHAN M ELDER  
2007 GROVER LANE  
ROCKWALL, TX 75087

SCHAR ROY  
2008 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2009 EVERT WAY  
ROCKWALL, TX 75087

HOLLIDAY MALESSA R AND COURTNEY  
2010 TOPAZ DRIVE  
ROCKWALL, TX 75087

WOLSTENCROFT LISA AND BRIAN  
2011 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2012 GROVER LANE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
2013 EVERT WAY  
ROCKWALL, TX 75087

GILBY TYLER AND TAYLOR  
2014 TOPAZ DRIVE  
ROCKWALL, TX 75087

IVEY JOSHUA LUKE & SAMANTHA  
2015 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2018 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2022 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2024 TOPAZ DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
2101 CEDAR SPRINGS RD STE 700  
DALLAS, TX 75201

HIGHLAND HOMES- DALLAS LLC  
2104 TOPAZ DR  
ROCKWALL, TX 75087

WHITE WALTER AND SHRONDA  
2105 GROVER LANE  
ROCKWALL, TX 75225

STONE CREEK PHASE X LTD  
2108 TOPAZ DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2109 GROVER LANE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2112 TOPAZ DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2116 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2120 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2120 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2121 RANDAS WAY  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2124 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2125 RANDAS WAY  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2200 ROSS AVE SUITE 4200W  
DALLAS, TX 75201

DFH COVENTRY LLC  
2201 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2202 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2202 TOPAZ DR  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2203 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2204 MIRANDA LN  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
2206 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2207 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2208 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2210 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2211 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2214 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2218 TOPAZ DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
2220 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2301 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2303 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2304 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2304 TOPAZ DR  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2305 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2307 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2308 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2308 TOPAZ DR  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2309 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2311 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2312 MIRANDA LN  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
2312 TOPAZ DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2313 ROCKING HTRL  
ROCKWALL, TX 75087

MHI PARTNERSHIP LTD  
2315 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2316 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2317 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2319 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2320 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2321 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2323 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2324 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2325 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2325 ROCKING HTRL  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2327 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2328 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2329 ROCKING HTRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2331 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2332 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2333 ROCKING H TRL  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2335 MIRANDA LN  
ROCKWALL, TX 75087

DFH COVENTRY LLC  
2336 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2339 MIRANDA LN  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
2340 MIRANDA LN  
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC  
2341 MIRANDA LN  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
480 WILDWOOD FOREST DR STE 801  
SPRING, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
5310 HARVEST HILL RD SUITE 162  
DALLAS, TX 75230

STONE CREEK PHASE X LTD  
537 FAIR DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
538 ALBATROSS DR  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
541 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
541 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 ALBATROSS DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
542 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
543 FAIR DR  
ROCKWALL, TX 75087

JACOB JOFFY & JERIN JOSE  
544 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
544 MELODY MEADOW DR  
ROCKWALL, TX 75087



PIERCE KAYNE JEREMY AND BETH ANN  
545 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
545 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
545 PETREL DR  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
546 ALBATROSS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
547 FAIR DR  
ROCKWALL, TX 75087

OBERA FRANCISCO AND DEBRA  
548 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
548 PETREL DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
549 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

CHESMAR HOMES LLC  
549 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
549 PETREL DR  
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER  
550 E QUAIL RUN RD  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
550 MELODY MEADOW DR  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
551 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 MELODY MEADOW DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
551 PETREL DR  
ROCKWALL, TX 75087

JEFFUS LARRY & CAROL  
552 GRANITE FIELDS DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
552 ALBATROSS DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
553 FAIR DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
554 MELODY MEADOW DR  
ROCKWALL, TX 75087

BABALOLA OWOLABI AND RASHIDAT ABIODUN  
555 GRANITE FIELDS DR <Null>  
ROCKWALL, TX 78660

CHESMAR HOMES LLC  
555 MELODY MEADOW DR  
ROCKWALL, TX 75087

CANTU SHEA M AND OSCAR J  
556 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
559 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

MAJKA ALYSSA  
560 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

HIGHLAND HOMES- DALLAS LLC  
5601 DEMOCRACY DRIVE SUITE 300  
PLANO, TX 75024

PACESETTER HOMES LLC  
563 GRANITE FIELDS DRIVE  
ROCKWALL, TX 75087

YINGLING JOHN R  
570 EAST QUAIL RUN DR  
ROCKWALL, TX 75087

HOTCHKISS AMANDA  
618 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
618 NAKOMA DR  
ROCKWALL, TX 75087

RADICIONI WADE AND LISA  
621 EMERSON DR  
ROCKWALL, TX 75087

DUBOIS WESLEY GRANT & SARAH E  
621 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
621 NAKOMA DR  
ROCKWALL, TX 75087

BAGACEAN MICHAEL A AND JENNIFER  
622 EMERSON DRIVE  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
622 NAKOMA DR  
ROCKWALL, TX 75087

CONFIDENTIAL  
624 MONTROSE DR  
ROCKWALL, TX 75087

ANDERSON KEVIN AND KRISTINE  
625 EMERSON DR  
ROCKWALL, TX 75087

MALLIK THOMAS ARTHUR AND TERI LYNN  
625 MONTROSE DR  
ROCKWALL, TX 75087

HAMILTON LUCAS C AND BRENDA C  
625 NAKOMA DR  
ROCKWALL, TX 75087

HASEGAWA TETSUYA & PATRICIA EMY AOKI  
626 COVEY TRL  
ROCKWALL, TX 75087

KEFFER MICHAEL RYAN AND JENNIFER  
626 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
626 NAKOMA DR  
ROCKWALL, TX 75087

BRISENO MARCO A  
628 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOLLENBECK DARREN SCOTT AND  
WEIYA TSENG  
629 EMERSON DRIVE  
ROCKWALL, TX 75201

AWANO ELSABET LEGESSE AND  
FEKADU GHEBREMSKEL HALEFOM  
629 MONTROSE DRIVE  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
629 NAKOMA DR  
ROCKWALL, TX 75087

BROWN CARI MELISSA AND  
NANCY BAER  
630 EMERSON DRIVE  
ROCKWALL, TX 75087

WHEELIS NICHOLAS ADAM AND  
YOMAIRA NAVARRETTE  
630 NAKOMA DRIVE  
ROCKWALL, TX 75201

MEGATEL HOMES LLC  
632 MONTROSE DR  
ROCKWALL, TX 75087

GREMILLION REBECCA BROWN & JAMES E JR  
633 EMERSON DRIVE  
ROCKWALL, TX 75201

USMANI MUHAMMAD & SUBUK  
633 MONTROSE DRIVE  
ROCKWALL, TX 75087

HOBBS AUTAVIUS SR AND  
TANGELA GREEN  
633 NAKOMA DR <Null>  
ROCKWALL, TX 75087

CARBONE LISA AND JOHN  
634 EMERSON DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
634 NAKOMA DR  
ROCKWALL, TX 75087

MEGATEL HOMES LLC  
636 MONTROSE DR  
ROCKWALL, TX 75087

MORRIS SHANNON AND JAMIE  
637 EMERSON DR  
ROCKWALL, TX 75087

COOK FAMILY REVOCABLE TRUST  
BRONWYN P COOK- TRUSTEE  
637 NAKOMA DRIVE  
ROCKWALL, TX 75087

PACESETTER HOMES LLC  
637 MONTROSE DR  
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC  
640 MONTROSE DR  
ROCKWALL, TX 75087

MILLS RYAN MATTHEW & LACY FERRELL  
641 EMERSON DR  
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP  
6946 SPERRY ST  
DALLAS, TX 75214

WINDSOR HOMES CUMBERLAND LLC  
700 MONTROSE DR  
ROCKWALL, TX 75087

THOMPSON JACOB KEITH & SARAH ELISABETH  
704 MONTROSE DR  
ROCKWALL, TX 75087

STONE CREEK PHASE X LTD  
8214 WESTCHESTER DRIVE SUITE 900  
DALLAS, TX 75225

WINDSOR HOMES CUMBERLAND LLC  
8214 WESTCHESTER DR STE 710  
DALLAS, TX 75225

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 12, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2022-034: Zoning Change from AG to PD for SF-10 District land uses**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area for comments]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



**From:** [elaine albritton](#)  
**To:** [Planning](#)  
**Cc:** [Elaine Albritton](#); [Kate Wilke](#)  
**Date:** Saturday, July 2, 2022 10:35:18 PM

---

Once again Dick Skorburg is doing a non stop dance with the planning commission and the city council, as he has done this many times before. He is an unscrupulous developer that tries to pack as many residences in an area that he can. We, in Stone Creek have been able several times to stop him from building public housing, condos. etc. into our neighborhoods. Stone Creek that still has several lots under his control does not have an owner HOA, but is still under his control of his management company which he advises on how to control the owners and their property. A semi serfdom regimen that he still has control over! If this development is allowed to proceed without widening of Quail Creek RD. from Hays Road to John King then the only problem the City will have is to make enough white crosses to mark the anticipated death toll on this road. Mr. Dick Skorburg is like the railroad barons of old. If he decides to build an addition without extensive study then he will build it regardless of anything negative or any system in his way.

He has been a very successful developer because of his skill and the lack of political will to stop or restrain him from doing exactly what he wants with only minor adjustments to show the city is paying attention.

The City of Rockwall shares in his greed as the water pressure decreases each time more homes are built and so does the VOLUNTEER FIRE DEPT and THE EMS service. It has only been in this last year or so when I got the City Council and Mayor Pruitt to see that at least 70% of the fire calls are medical in nature and must be responded to by the Rockwall FD., which they now run on and there event count has greatly increased. This will only get worse until the uneducated City Council makes the FD a full time entity with a crew of 3 members on board and reserves to fill in for them. Up to now this has been an ancient way of thinking not allowed by cities around Rockwall such as Rowlette and Garland. It would be a major win for the city to ONCE think all of these issues thoroughly through before they let another rubber stamp of Dick Skorburg's enterprises continue!

Michael H. Albritton Retired Captain Austin Texas Fire dept.  
791 Hanover Drive, Rockwall Texas 75087-7150

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Zoning & Specific Use Permit Input Form

### Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-034

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

### Respondent Information

Please provide your information.

### First Name \*

Richard

Last Name \*

Borg

Address \*

Rchrdborg@yahoo.com

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms



# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-034

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I am in opposition until Quail Run and Hayes Roads are widened. The roads cannot currently handle the traffic we have. This many homes will further exacerbate the traffic problem.

## Respondent Information

Please provide your information.

## First Name \*

Ryan

Last Name \*

Mills

Address \*

641 Emerson Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

## Miller, Ryan

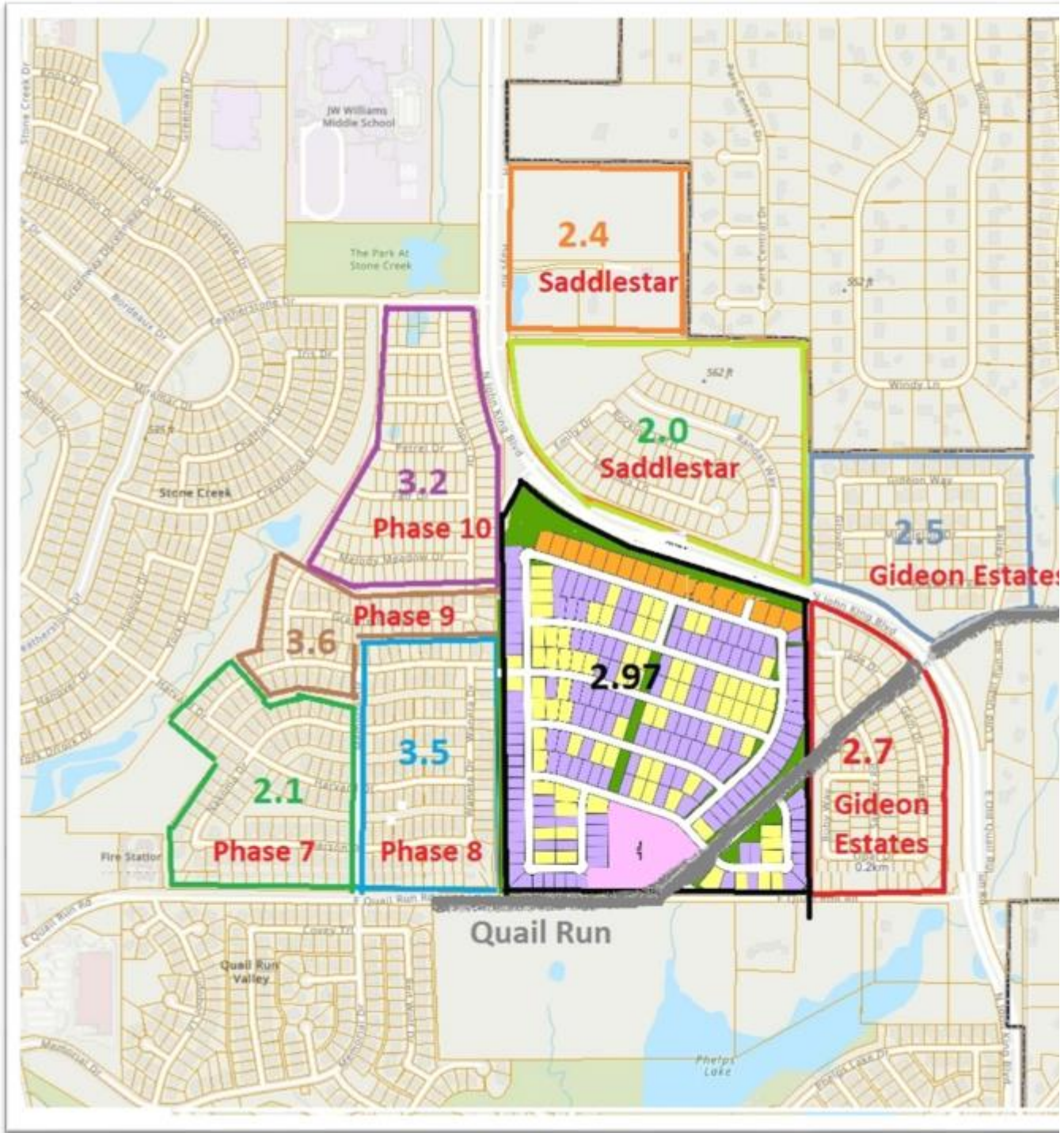
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**From:** Bob Wacker <bobwacker@att.net>  
**Sent:** Monday, July 11, 2022 8:55 AM  
**To:** Miller, Ryan  
**Cc:** Planning  
**Subject:** Z2022-034 Hance / Skorburg Development

I am in favor of this zoning change.

1. The density is comparable to the last couple of phases of Stone Creek. (see drawing below)
2. Widening Hayes Road will help the traffic flow.
3. Having the same developer for these three adjacent properties will ensure consistency of home types and quality.





Regards,  
 Bob Wacker  
 309 Featherstone Drive  
 Rockwall, TX 75087

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

**From:** [C Lopez](#)  
**To:** [Planning](#)  
**Date:** Monday, July 11, 2022 8:57:58 PM

---

We do not need anymore homes in Rockwall. You are allowing everyone square inch of this cute small town to turn into homes, plus we don't have the infrastructure for all these people coming in. All this growth is ruining our small town.

Cheri Lopez

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

**From:** [Harry Green](#)  
**To:** [Planning](#)  
**Date:** Wednesday, July 13, 2022 11:25:14 AM

---

When is the planning commission and the city council going to stop making Rockwall solid housing? It appears what will stop you is when there is no longer any open space. Sad indeed!

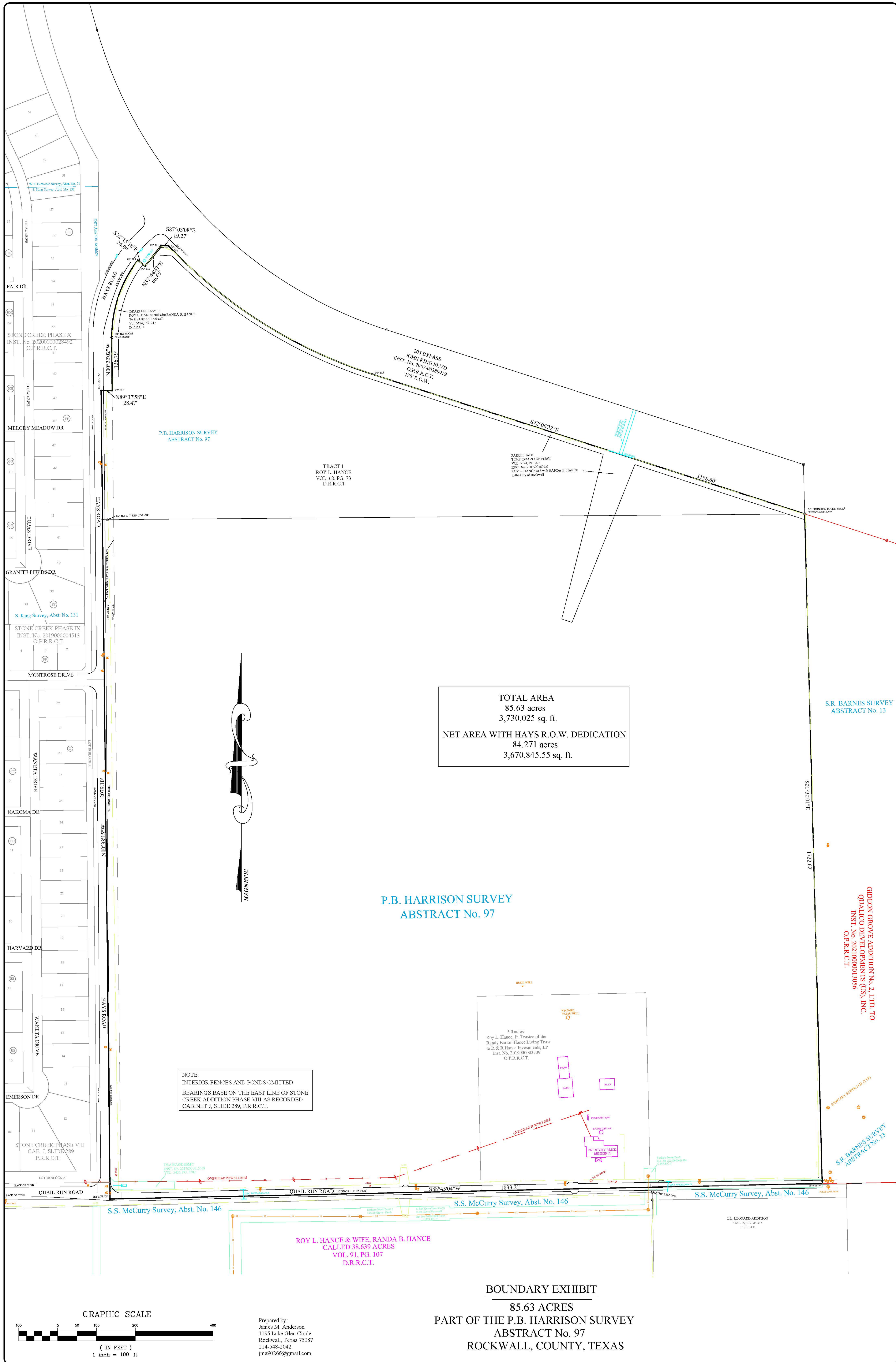
Do not tell me you cannot stop building. A moratorium on building can be done and it is about time. If cities in CA can do so, so can you. I would like to think you are smarter than the liberals in CA.

Harry Green  
1235 Waters Edge Dr  
75087

Sent from my iPhone

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



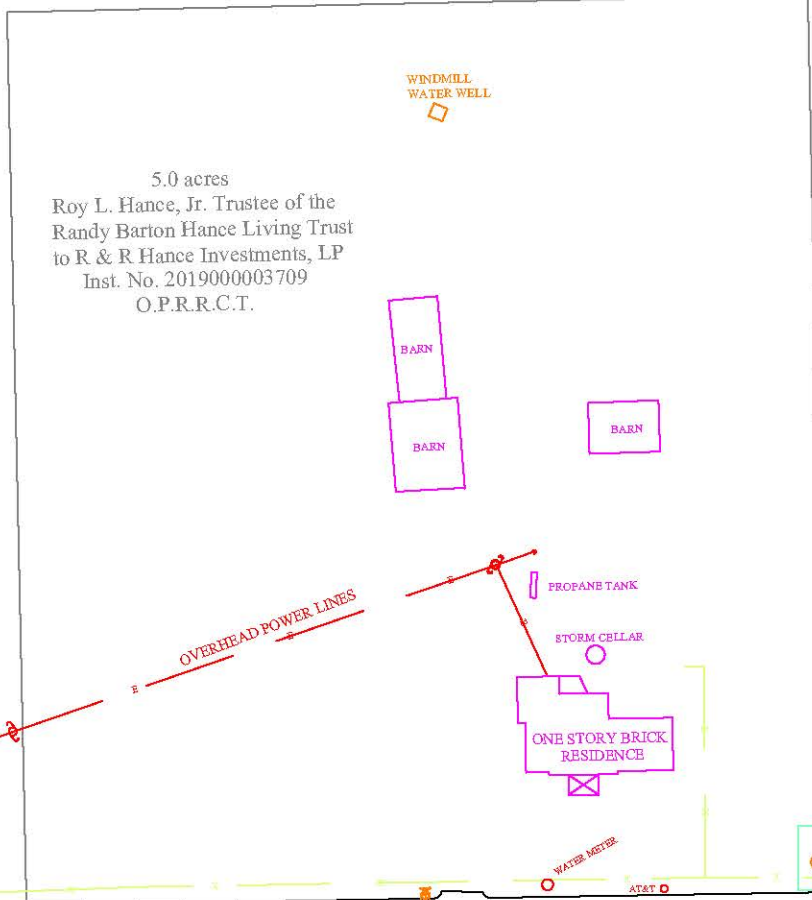


TOTAL AREA  
85.63 acres  
3,730,025 sq. ft.

NET AREA WITH HAYS R.O.W. DEDICATION  
84.271 acres  
3,670,845.55 sq. ft.

P.B. HARRISON SURVEY  
ABSTRACT No. 97

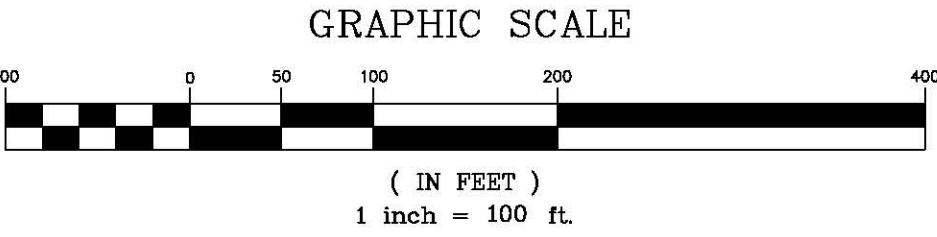
NOTE:  
INTERIOR FENCES AND PONDS OMITTED  
BEARINGS BASE ON THE EAST LINE OF STONE  
CREEK ADDITION PHASE VIII AS RECORDED  
CABINET J, SLIDE 289, P.R.R.C.T.



ROY L. HANCE & WIFE, RANDA B. HANCE  
CALLED 38.639 ACRES  
VOL. 91, PG. 107  
D.R.R.C.T.

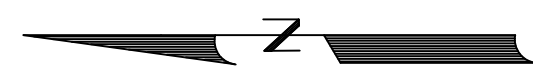
**BOUNDARY EXHIBIT**

85.63 ACRES  
PART OF THE P.B. HARRISON SURVEY  
ABSTRACT No. 97  
ROCKWALL, COUNTY, TEXAS



Prepared by:  
James M. Anderson  
1195 Lake Glen Circle  
Rockwall, Texas 75087  
214-548-2042  
jma90266@gmail.com



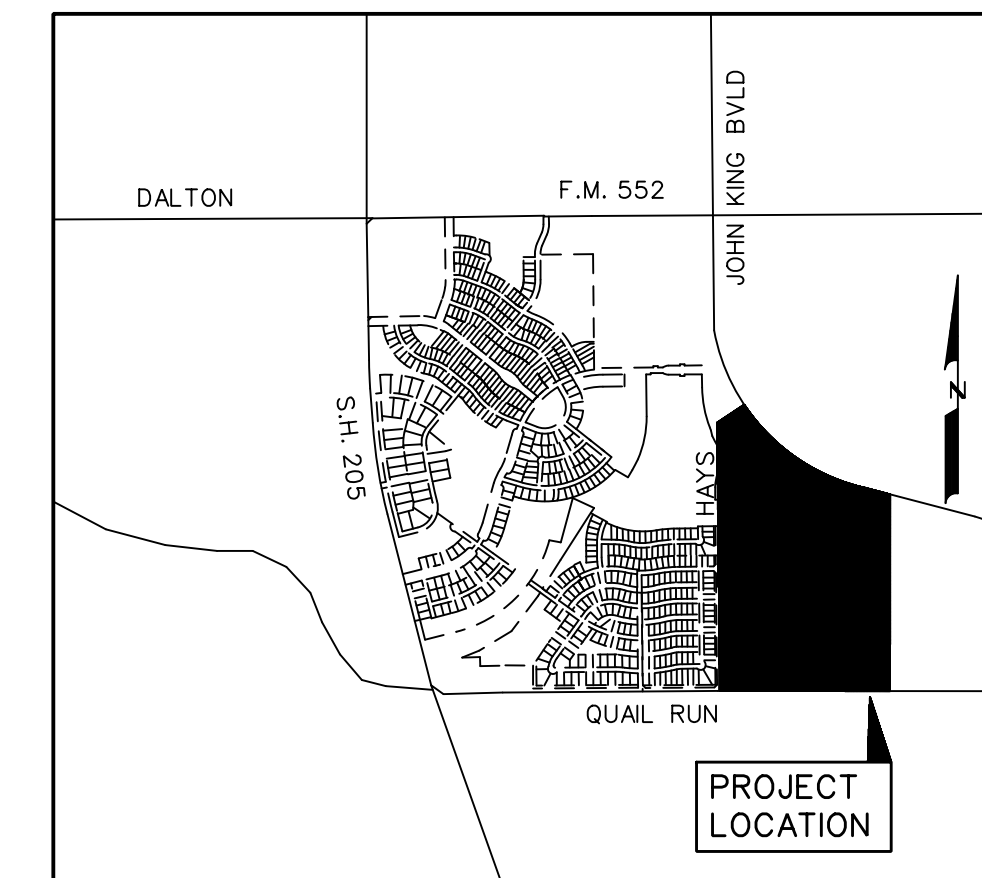
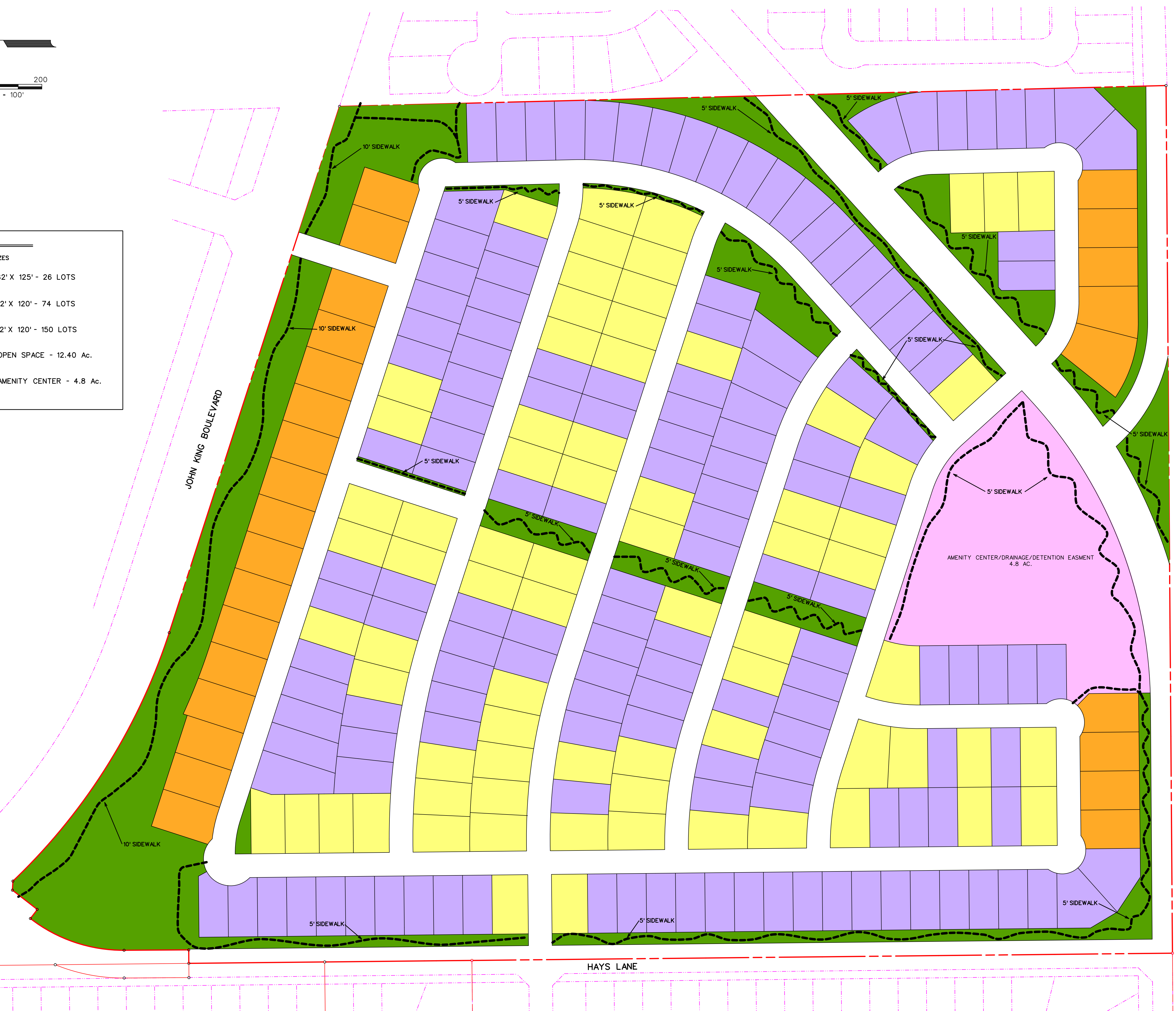


0 50 100 200  
SCALE: 1" = 100'

**LEGEND**

TYPICAL LOT SIZES

- 82' X 125' - 26 LOTS
- 72' X 120' - 74 LOTS
- 62' X 120' - 150 LOTS
- OPEN SPACE - 12.40 Ac.
- AMENITY CENTER - 4.8 Ac.



LOCATION MAP  
N.T.S.

TOTAL ACRES	85.63
TOTAL RESIDENTIAL LOTS	250
RESIDENTIAL DENSITY	2.92
OPEN SPACE PERCENTAGE	20.09%

CONCEPT PLAN  
OF  
**HANCE TRACT**  
SITUATED IN THE  
P.B. HARRISON SURVEY, ABSTRACT NO. 97  
IN THE  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
OWNER  
R & R HANCE INVESTMENTS LP  
6946 SPERRY STREET  
DALLAS, TEXAS 75214  
PREPARED BY  
CORWIN ENGINEERING, INC.  
200 W. BELMONT, SUITE E  
ALLEN, TEXAS 75013  
972-396-1200  
JUNE 2022 SCALE 1" = 100'



# 05 FUTURE LAND USE PLAN

## 01 LAND USE PLAN DESIGNATIONS

### 01.01 RESIDENTIAL ● ● ●

#### ● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

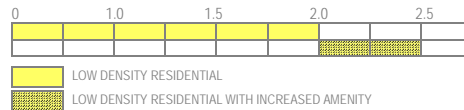
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

##### EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, Residential Developments, of this Comprehensive Plan).

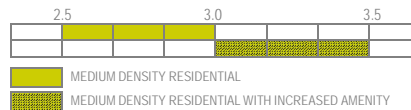
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. Single-Family Detached Homes)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

##### EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

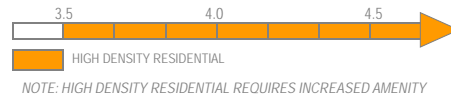
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

##### EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

##### RESIDENTIAL DENSITY CHART



# 13 NORTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The Northwest Residential District is characterized by the two (2) large master planned communities that make up the majority of the acreage in this district. These developments are the Caruth Lakes and Stone Creek Subdivisions. The remainder of this district is expected to develop with similar medium density residential housing product.

## DISTRICT STRATEGIES

The Northwest Residential District is expected to continue to provide master planned suburban neighborhoods in the future and has no areas that are thought to be transitioning. Based on these assumptions the strategies for this district are as follows:

- 1 Suburban Residential.** Many of the remaining tracts of land in this area have been entitled with planned development districts that are targeted at bringing similar Suburban Residential products as those that currently exist in the Caruth Lakes and Stone Creek Subdivisions. Any new residential development in these areas should be highly amenitized and include a mixture of lots similar to the lot mixture in the Stone Creek Subdivision.
- 2 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the Neighborhood/Convenience Centers and the Suburban Residential developments.
- 3 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.

## POINTS OF REFERENCE

- A. J. W. Williams Middle School
- B. The Park at Stone Creek
- C. Stone Creek Subdivision
- D. Fire Station #3
- E. The Parks at Squabble Creek
- F. Caruth Lakes Subdivision

## LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon



2 Shops at Stone Creek



1 Current Suburban Residential



2 Kroger Shopping Center



1 Current Suburban Residential

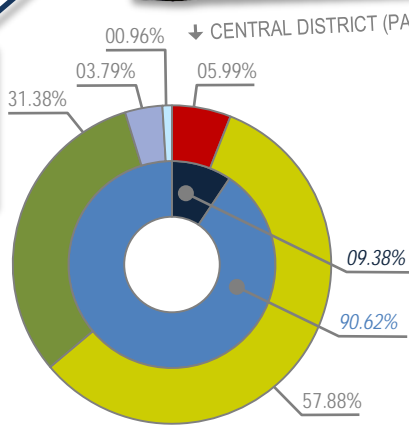


2 Future Neighborhood/Convenience Center

**BUILD OUT**  
 2,347  
 7,018

**% OF ROCKWALL**  
 8.91%  
 1.38%  
 8.95%

**CURRENT**  
 1,782  
 25  
 5,328



Land Use Type	Percentage
COMMERCIAL	9.38%
RESIDENTIAL	90.62%
MIXED USE	0.00%
COMMERCIAL/RETAIL (CR)	60.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	581.3-ACRES
PARKS AND OPEN SPACE (OS)	315.22-ACRES
PUBLIC (P)	38.11-ACRES
QUASI-PUBLIC (QP)	9.66-ACRES



CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 2-01, 2-04, 2-05 & 2-06 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with



the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) Final Plat. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 15<sup>TH</sup> DAY OF AUGUST, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 1, 2022

2<sup>nd</sup> Reading: August 15, 2022

**Exhibit 'A':**  
**Legal Description**

*BEING* an 85.629-acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00-acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

*BEGINNING* at a ½" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

*THENCE* South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

*THENCE* South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

*THENCE* North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

*THENCE* North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

*THENCE* North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

*THENCE* along said right-of-way an arc distance of 212.86' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* South 52°15'18" East a distance of 24.00' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* North 37°44'42" East a distance of 66.65' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16';

*THENCE* South 87°03'08" East along said corner clip, a distance of 19.27' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* South 72°06'32" East a distance of 1168.60' to the *POINT OF BEGINNING* and containing 85.629-acres or 3,730,025 square feet of land.







**Exhibit 'D':  
Density and Development Standards**

**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

**TABLE 1: LOT COMPOSITION**

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	150	60.00%
B	72' x 120'	8,640 SF	74	29.60%
C	82' x 125'	10,250 SF	26	10.40%
<i>Maximum Permitted Units:</i>			250	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.92 dwelling units per gross acre of land; however, in no case should the proposed development exceed 250 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

Lot Type (see <i>Concept Plan</i> ) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

**General Notes:**

- <sup>1</sup>: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5</sup>: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6</sup>: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7</sup>: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

- (4) Building Standards. All development shall adhere to the following building standards:

**Exhibit 'D':**  
*Density and Development Standards*

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see examples below) may be used for up to 50.00% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement on a *case-by-case* basis.

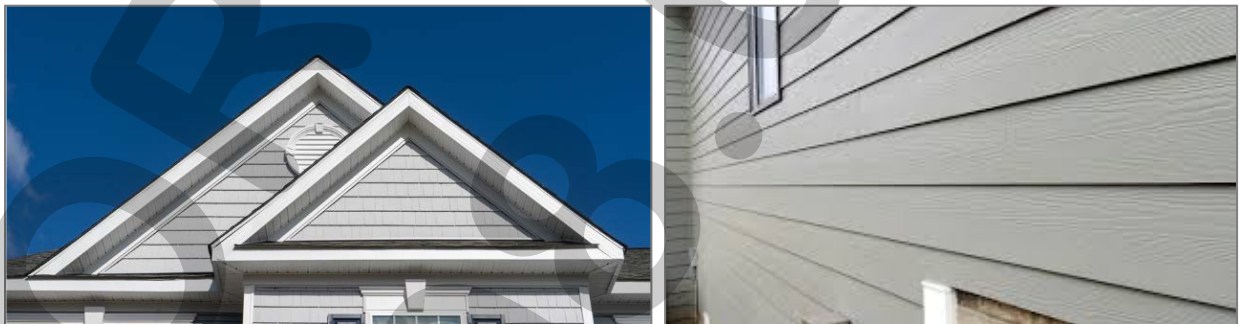
**FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD**



**FIGURE 2: EXAMPLES OF BOARD AND BATTEN**



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**





**Exhibit 'D':**  
*Density and Development Standards*

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:
- (1) Type 'A' Lots. The Type 'A' Lots (i.e. the purple lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional (or j-swing) configuration. A maximum of 33.33% of the Type 'A' Lots (i.e. 50 lots or 20.00% of all lots) shall be permitted to be oriented in a flat-front entry configuration -- allowing the garage door to be flush with the front façade of the primary structure -- pending the front yard building setback is increased to a minimum setback of 25-feet.
  - (2) Type 'B' & 'C' Lots. The Type 'B' & 'C' Lots (i.e. the yellow and orange lots depicted in Exhibit 'C') may be oriented in a traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional (or j-swing) configuration.
  - (3) Requirements for all Lot Types. All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see Figures 4-6 for examples of upgraded or enhanced finishes].

*Continued on Next Page ...*



**Exhibit 'D':**  
*Density and Development Standards*

**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



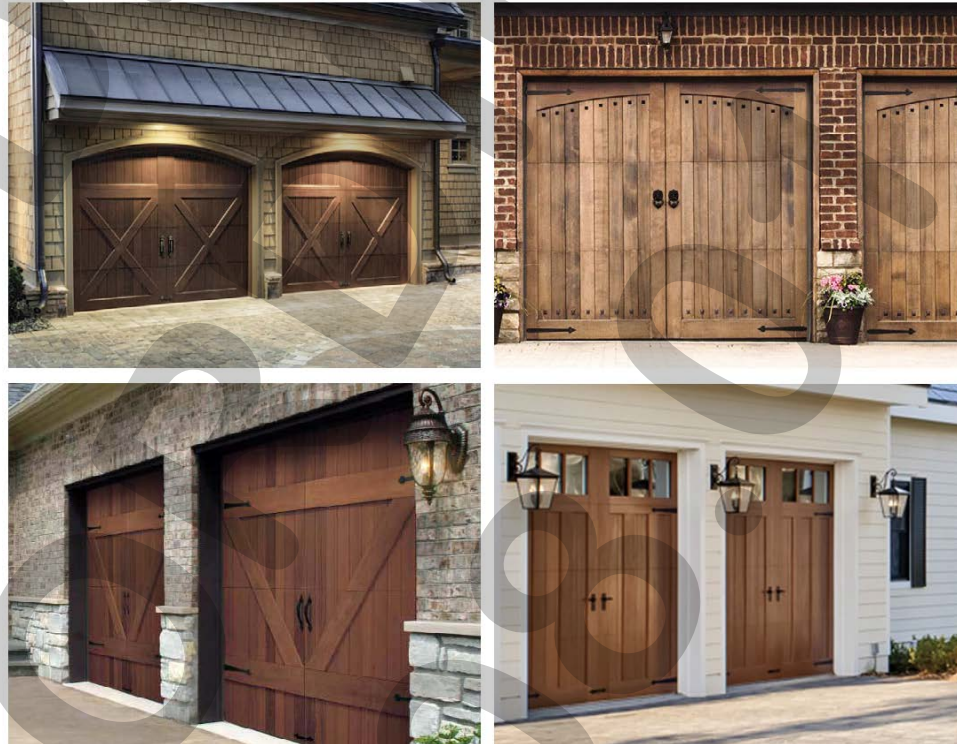
**DIVIDED BAYS**

**CARRIAGE HARDWARE**

**CEDAR CLADDING**

**ORNAMENTAL PAVING**

**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**



**Exhibit 'D':**  
*Density and Development Standards*

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, John King Boulevard, Hays Road, E. Quail Run Road, or Old E. Quail Run Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

*Continued on Next Page ...*

**Exhibit 'D':**  
*Density and Development Standards*

*FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.*



*FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.*



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
  - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways (*i.e. E. Quail Run Road [Old E. Quail Run Road], Hays Road, and John King Boulevard*), abutting open spaces, the amenity center, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.



**Exhibit 'D':**  
*Density and Development Standards*

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 90-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 90-foot landscape buffer.
- (2) Landscape Buffer and Sidewalks (Hays Road and E. Quail Run Road -- and Old Quail Run Road). A minimum of a ten (10) foot landscape buffer shall be provided along Hays Road, E. Quail Run Road, and Old E. Quail Run Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, one (1) canopy tree and one (1) accent tree are required per 50-linear feet of frontage along these roadways. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.



**Exhibit 'D':**  
*Density and Development Standards*

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 17.126-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (14) Amenity Center. An amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*. The amenities will feature at least one (1) of the following: [1] a pavilion, [2] a playground, and/or [3] a multi-use court (e.g. a pickle ball court and basketball court).

**Exhibit 'D':**  
*Density and Development Standards*

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

## Miller, Ryan

---

**From:** Kevin Harrell <kharrell@skorburgcompany.com>  
**Sent:** Thursday, June 23, 2022 11:18 AM  
**To:** Miller, Ryan  
**Cc:** Adam Buczek; Bryan Holland; Mike Gavin; Williams, Amy; John Arnold  
**Subject:** RE: Quail Run ROW  
**Attachments:** Hance Concept Plan - updated 06-23-2022.pdf

Ryan,

In reference to the Hance submittal, we have been working with our engineer to refine the layout in order to provide a min 20% open space. Please see the attached revised concept plan with 252 lots (2.94 upa) with 20.12% open space.

Will you be able to include this in the staff packet as well or will the previous plan be included? In either case, we will have this concept plan included in our presentation at the work session on Tuesday.

Best regards,

Kevin Harrell | Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225  
O: 214.888.8859 | C: 214.403.3664

---

**From:** Miller, Ryan <RMiller@rockwall.com>  
**Sent:** Wednesday, June 22, 2022 8:31 AM  
**To:** John Arnold <jarnold@skorburgcompany.com>; Williams, Amy <AWilliams@rockwall.com>  
**Cc:** Adam Buczek <abuczek@skorburgcompany.com>; Kevin Harrell <kharrell@skorburgcompany.com>; Bryan Holland <bholland@skorburgcompany.com>; Chase Finch - Corwin Engineering (cfinch@corwinengineering.com) <cfinch@corwinengineering.com>; Warren Corwin - Corwin Engineering, Inc. (WCorwin@corwinengineering.com) <wcorwin@corwinengineering.com>; Mike Gavin <mgavin@skorburgcompany.com>  
**Subject:** RE: Quail Run ROW

Yes ... You can use this area towards your open space requirement; however, the caveat here would be that it is subject to City Council abandonment/approval. Let me know if you have any additional questions. Thanks.



**Ryan C. Miller, AICP**  
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
RMILLER@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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### NOTES

1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.

## Miller, Ryan

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**From:** Kevin Harrell <kharrell@skorburgcompany.com>  
**Sent:** Wednesday, July 6, 2022 11:16 AM  
**To:** Miller, Ryan  
**Subject:** RE: Z2022-034: Project Comments

Ryan,

The only changes I made to the P.D. were:

1. updated the Survey to the new signed and sealed version.
2. Updated Concept Plan with the new lot count/mix and showing trails.
3. Updated lot count and mix and corresponding percentages.
4. Updated the flat front entry garage percentage based on the new lot count.
5. Revised Section 14 regarding Amenities to read:

*"Amenities.* Amenities shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenities shall be approved with the *PD Site Plan*. The amenities will feature at least one (1) of the following: a pavilion, a playground, a multi-use court (e.g. pickle ball and basketball court)."

Best regards,

Kevin Harrell | Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225  
O: 214.888.8859 | C: 214.403.3664

---

**From:** Miller, Ryan <RMiller@rockwall.com>  
**Sent:** Wednesday, July 6, 2022 11:10 AM  
**To:** Kevin Harrell <kharrell@skorburgcompany.com>  
**Subject:** RE: Z2022-034: Project Comments

Kevin ... Did you make any changes to the Ordinance that I sent out? I need to see those in RED line. I don't use the files you send me as the master copy and if there is no redlines then I don't make the change in the master. Please let me know ASAP. Thanks.



**Ryan C. Miller, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6441 OFFICE

RMILLER@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

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**From:** Kevin Harrell <[kharrell@skorburgcompany.com](mailto:kharrell@skorburgcompany.com)>  
**Sent:** Tuesday, July 5, 2022 11:33 AM  
**To:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Subject:** RE: Z2022-034: Project Comments

Good morning Ryan,

Please see attached revised Concept Plan and Draft Ord for the Hance Tract. Please let me know if you have any questions.

Best regards,

Kevin Harrell | Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225  
O: 214.888.8859 | C: 214.403.3664

---

**From:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Sent:** Wednesday, June 29, 2022 1:24 PM  
**To:** Kevin Harrell <[kharrell@skorburgcompany.com](mailto:kharrell@skorburgcompany.com)>  
**Subject:** RE: Z2022-034: Project Comments

Attached ... I need everything by July 5<sup>th</sup>. Thanks.



**Ryan C. Miller, AICP**  
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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**From:** Kevin Harrell <[kharrell@skorburgcompany.com](mailto:kharrell@skorburgcompany.com)>  
**Sent:** Wednesday, June 29, 2022 9:07 AM  
**To:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Subject:** RE: Z2022-034: Project Comments

Good morning Ryan,

When do you need our revised Ordinance and Concept plan? Also, can you please send the Draft Ordinance in WORD?

Best regards,

Kevin Harrell | Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225  
O: 214.888.8859 | C: 214.403.3664

---

**From:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Sent:** Friday, June 24, 2022 3:48 PM  
**To:** Kevin Harrell <[kharrell@skorburgcompany.com](mailto:kharrell@skorburgcompany.com)>  
**Cc:** 'larryhance@gmail.com' <[larryhance@gmail.com](mailto:larryhance@gmail.com)>  
**Subject:** Z2022-034: Project Comments

Kevin ... Attached are the project comments and draft ordinance for your zoning case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: June 28, 2022  
Planning and Zoning Commission Public Hearing: July 12, 2022  
City Council Public Hearing/1<sup>st</sup> Reading: July 18, 2022  
City Council 2<sup>nd</sup> Reading: August 1, 2022

Please note that a representative is required to be at all meetings and all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Should you have any questions please let me know. Thanks.



**Ryan C. Miller, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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**From:** John Arnold <[jarnold@skorburgcompany.com](mailto:jarnold@skorburgcompany.com)>

**Sent:** Monday, June 20, 2022 4:54 PM

**To:** Williams, Amy <[AWilliams@rockwall.com](mailto:AWilliams@rockwall.com)>; Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>

**Cc:** Adam Buczek <[abuczek@skorburgcompany.com](mailto:abuczek@skorburgcompany.com)>; Kevin Harrell <[kharrell@skorburgcompany.com](mailto:kharrell@skorburgcompany.com)>; Bryan Holland <[bholland@skorburgcompany.com](mailto:bholland@skorburgcompany.com)>; Chase Finch - Corwin Engineering ([cfinch@corwinengineering.com](mailto:cfinch@corwinengineering.com)) <[cfinch@corwinengineering.com](mailto:cfinch@corwinengineering.com)>; Warren Corwin - Corwin Engineering, Inc. ([WCorwin@corwinengineering.com](mailto:WCorwin@corwinengineering.com)) <[wcorwin@corwinengineering.com](mailto:wcorwin@corwinengineering.com)>; Mike Gavin <[mgavin@skorburgcompany.com](mailto:mgavin@skorburgcompany.com)>

**Subject:** Quail Run ROW

Ryan and Amy,

Will the portion of Quail Run highlighted in blue be abandoned and could it be included in our open space triangle just to the north?



John Arnold | Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225  
O: 214.522.4945 x152 | M: 214.535.2090

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## Miller, Ryan

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**From:** Kevin Harrell <kharrell@skorburgcompany.com>  
**Sent:** Thursday, July 21, 2022 12:40 PM  
**To:** Miller, Ryan  
**Cc:** Lee, Henry; Bryan Holland  
**Subject:** Hance Concept Plan Changes  
**Attachments:** Concept Plan.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Ryan,

Please see the attached Concept Plan revised in accordance with comments received by Council. The net affect of the changes is a reduction of the total lot count by 2 lots for a total of 250 lots with a density of 2.92 upa. The lot mix is as follows:

62' x 120' – 150

72' x 120' – 74

82' x 105' – 26

Additionally, in order to accommodate the wider lots along Quail Run there is a minor reduction of open space to 17.2 AC or 20.09%.

Please let me know if how you would like go about making the revisions the PD. We are happy to send a redline.

Best regards,

Kevin Harrell | Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225  
O: 214.888.8859 | C: 214.403.3664

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October 26, 2022

TO: Kevin Harrell  
Skorburg Company  
8214 Westchester Drive, Suite 900  
Dallas, Texas 75225

CC: Larry Hance  
R & R Hance Investments  
6946 Sperry Street  
Dallas, Texas 75214

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2022-034; *Zoning Change (AG to PD) for the Hance Tract*

Mr. Harrell:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on August 15, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 12, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 6-0, with Commissioner Llewellyn absent.

City Council

On July 18, 2022, the City Council approved a motion to table the zoning change until August 1, 2022 by a vote of 5-0, with Council Members Jorif and Moeller absent.

On August 1, 2022, the City Council approved a motion to approve the Zoning Change with a vote of 6-0 with Council Member Macalik absent.

On August 15, 2022, the City Council approved a motion to approve the zoning change with a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 22-44*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP  
Director of Planning and Zoning

CITY OF ROCKWALL

ORDINANCE NO. 22-44

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 96 (PD-96) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 85.63-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 2-01, 2-04, 2-05 & 2-06 OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kevin Harrell of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southwest corner of the intersection of Hays Road and John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with



the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.


**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 15<sup>th</sup> DAY OF AUGUST, 2022.**

  
\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: August 1, 2022

2<sup>nd</sup> Reading: August 15, 2022

**Exhibit 'A':**  
*Legal Description*

*BEING* an 85.629-acre tract of land situated in the P.B. HARRISON SURVEY, ABSTRACT No. 97, ROCKWALL COUNTY, TEXAS and being the remainder of Tract 2 as described in a Deed to R & R HANCE INVESTMENTS, LP as recorded in Volume 53, Page 49 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) and all of the FIRST TRACT to R & R INVESTMENTS, LP as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of the SECOND TRACT to R & R INVESTMENTS, L.P. as recorded in Volume 5702, Page 99 O.P.R.R.C.T. and all of a called 5.00-acre tract to R & R INVESTMENTS, LP as recorded in a Correction Special Warranty Deed to R & R INVESTMENTS, LP as recorded in File Clerk's No. 2019-00411939 O.P.R.R.C.T.;

*BEGINNING* at a ½" iron rod found with a plastic cap stamped "PIERCE-MURRAY", said point being on the south right-of-way line of John King Boulevard (a 120' right-of-way) and said point being the northwest corner of a tract of land conveyed to QUALICO DEVELOPMENT (US), INC. as recorded in Instrument No. 20210000013056 O.P.R.R.C.T. and said point being the southeast corner of said remainder of Tract 2;

*THENCE* South 01°30'01" East along the east line of said Hance second tract and the west line of said QUALICO tract and generally along a fence line, a distance of 1722.62' to a cut "x" set in the concrete paving of Quail Run Road, said point being the southeast corner of said second tract and the southwest corner of said QUALICO tract;

*THENCE* South 88°45'04" West generally along said Quail Run Road, a distance of 1833.21' to a set cut "x" in the concrete paving of Quail Run Road and the eastern side of Hays Road, said point being the southeast corner of STONE CREEK PHASE VIII as recorded in Cabinet J, Slide 289 of the Plat Records of Rockwall County, Texas;

*THENCE* North 00°38'15" West along the west line of said Hance tracts and the east line of said Stone Creek addition, a distance of 2079.10' to a set cut "x" in the concrete paving of Hays Road;

*THENCE* North 89°37'58" East a distance of 28.47' to a 5/8" iron rod found for a corner on the east right-of-way line of Hays Road;

*THENCE* North 00°22'02" West along said right-of-way line, a distance of 136.79' to a 5/8" iron rod found for the beginning of a curve to the right having a central angle of 38°06'45" a radius of 320.00 and a chord that bears North 18°41'20" East 208.96';

*THENCE* along said right-of-way an arc distance of 212.86' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

*THENCE* South 52°15'18" East a distance of 24.00' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664";

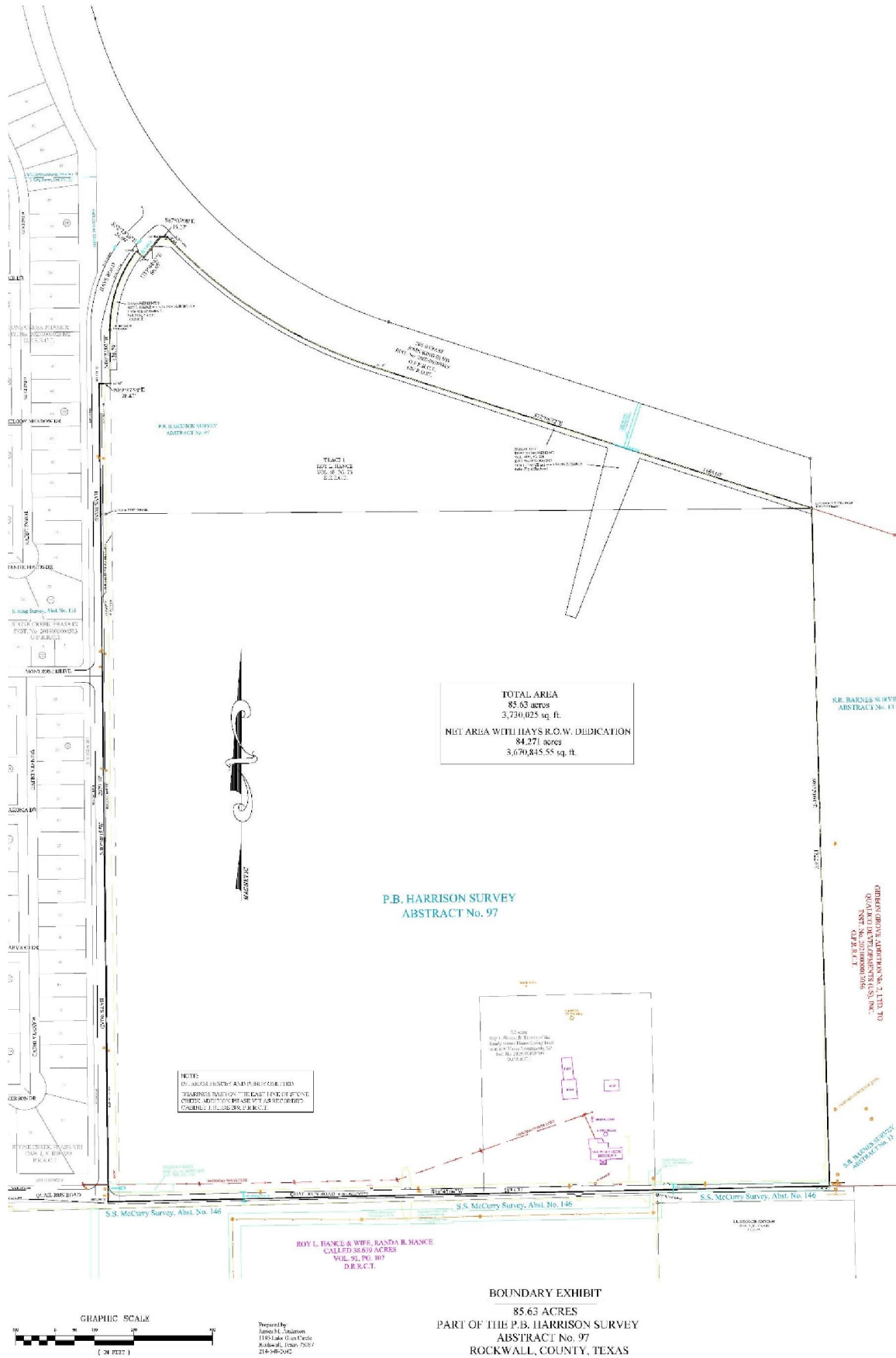
*THENCE* North 37°44'42" East a distance of 66.65' to a ½" iron rod set for a corner with a plastic cap stamped "RLS 5664" said point being the southerly clip corner of the intersection of Hays Road and said John King Boulevard said point being in a curve to the left having a central angle of 28°29'36", a radius of 1260.00' and a chord that bears South 57°51'44" East a distance of 620.16';

*THENCE* South 87°03'08" East along said corner clip, a distance of 19.27' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* along the south right-of-way line of said John King Boulevard an arc distance of 626.60' to a ½" iron rod set with a plastic cap stamped "RLS 5664";

*THENCE* South 72°06'32" East a distance of 1168.60' to the *POINT OF BEGINNING* and containing 85.629-acres or 3,730,025 square feet of land.

# Exhibit 'B': Survey







**Exhibit 'D':**  
*Density and Development Standards*

**DENSITY AND DEVELOPMENT STANDARDS.**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	62' x 120'	7,440 SF	150	60.00%
B	72' x 120'	8,640 SF	74	29.60%
C	82' x 125'	10,250 SF	26	10.40%
<i>Maximum Permitted Units:</i>			250	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.92 dwelling units per gross acre of land; however, in no case should the proposed development exceed 250 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see <i>Concept Plan</i> ) ▶	A	B	C
<i>Minimum Lot Width</i> <sup>(1)</sup>	62'	72'	82'
<i>Minimum Lot Depth</i>	120'	120'	125'
<i>Minimum Lot Area</i>	7,440 SF	8,640 SF	10,250 SF
<i>Minimum Front Yard Setback</i> <sup>(2), (5) &amp; (6)</sup>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2), (5) &amp; (7)</sup>	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,600 SF	2,800 SF
<i>Maximum Lot Coverage</i>	65'	65'	65'

General Notes:

- <sup>1</sup>: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- <sup>5</sup>: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* and *Side Yard Building Setback* by up to five (5) feet for any property. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- <sup>6</sup>: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a minimum of five (5) feet.
- <sup>7</sup>: All *Corner Lots* that back to a lot that fronts onto the same street that the *Corner Lot* sides to (*i.e. a Keystone Lot*), shall have a setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

- (4) Building Standards. All development shall adhere to the following building standards:



**Exhibit 'D':**  
*Density and Development Standards*

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90% (excluding dormers and walls over roof areas). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. *HardiBoard* or *Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see examples below) may be used for up to 50.00% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 50.00% of the masonry requirement on a *case-by-case* basis.

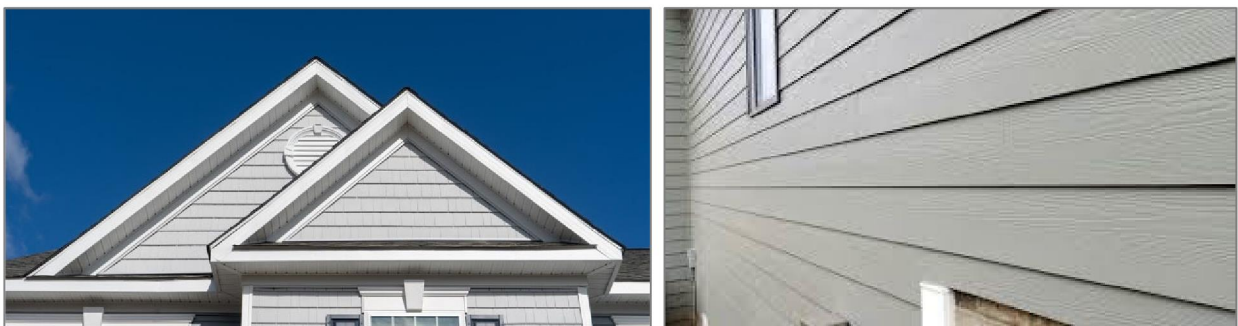
**FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD**



**FIGURE 2: EXAMPLES OF BOARD AND BATTEN**



**FIGURE 3: EXAMPLES OF HORIZONTAL LAP**



**Exhibit 'D':**  
*Density and Development Standards*

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:
- (1) Type 'A' Lots. The *Type 'A' Lots (i.e. the purple lots depicted in Exhibit 'C')* may be oriented in a *traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration*. In a *traditional swing (or j-swing) garage configuration*, a second (*single or double*) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional (or j-swing) configuration*. A maximum of 33.33% of the *Type 'A' Lots (i.e. 50 lots or 20.00% of all lots)* shall be permitted to be oriented in a *flat-front entry configuration -- allowing the garage door to be flush with the front façade of the primary structure -- pending the front yard building setback is increased to a minimum setback of 25-feet*.
  - (2) Type 'B' & 'C' Lots. The *Type 'B' & 'C' Lots (i.e. the yellow and orange lots depicted in Exhibit 'C')* may be oriented in a *traditional swing (or j-swing) garage configuration -- where the two (2) car garage is situated facing the side yard property line and the driveway swings into the garage in a 'J' configuration*. In a *traditional swing (or j-swing) garage configuration*, a second (*single or double*) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional (or j-swing) configuration*.
  - (3) Requirements for all Lot Types. All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, all garage configurations shall have upgraded finishes that consist of the following architectural elements: [1] coach lighting, [2] decorative wood doors or wood overlays on insulated metal doors, and [3] driveways that are constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished [see *Figures 4-6 for examples of upgraded or enhanced finishes*].

*Continued on Next Page ...*



**Exhibit 'D':**  
*Density and Development Standards*

**FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR**



**FIGURE 5: EXAMPLES OF UPGRADED FINISHES**



**DIVIDED BAYS**

**CARRIAGE HARDWARE**

**CEDAR CLADDING**

**ORNAMENTAL PAVING**

**FIGURE 6: EXAMPLES OF UPGRADED GARAGES**



**Exhibit 'D':**  
*Density and Development Standards*

- (5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

TABLE 3: ANTI-MONOTONY MATRIX

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	62' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	82' x 125'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open space, John King Boulevard, Hays Road, E. Quail Run Road, or Old E. Quail Run Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
  - (2) Permitted Encroachment Type and Layout
  - (3) Roof Type and Layout
  - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

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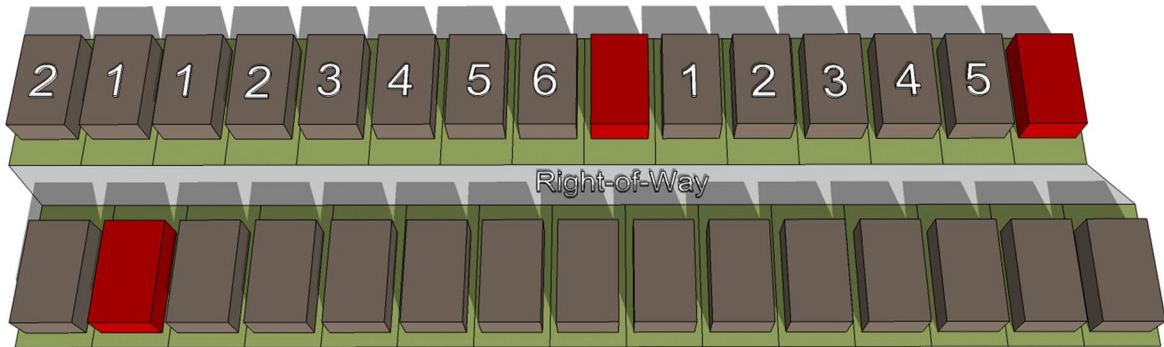


**Exhibit 'D':**  
*Density and Development Standards*

*FIGURE 7: Properties line up on the opposite side of the street. Where RED is the subject property.*



*FIGURE 8: Properties do not line up on opposite side of the street. Where RED is the subject property.*



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
  - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
  - (c) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways (*i.e. E. Quail Run Road [Old E. Quail Run Road], Hays Road, and John King Boulevard*), abutting open spaces, the amenity center, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

**Exhibit 'D':**  
*Density and Development Standards*

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
  - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
  - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
    - (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 90-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 90-foot landscape buffer.
    - (2) Landscape Buffer and Sidewalks (Hays Road and E. Quail Run Road -- and Old Quail Run Road). A minimum of a ten (10) foot landscape buffer shall be provided along Hays Road, E. Quail Run Road, and Old E. Quail Run Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, one (1) canopy tree and one (1) accent tree are required per 50-linear feet of frontage along these roadways. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
  - (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.



**Exhibit 'D':**  
*Density and Development Standards*

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20.00% open space (or a minimum of 17.126-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (14) Amenity Center. An amenity center shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the *PD Site Plan*. The amenities will feature at least one (1) of the following: [1] a pavilion, [2] a playground, and/or [3] a multi-use court (e.g. a pickle ball court and basketball court).

**Exhibit 'D':**

*Density and Development Standards*

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.