



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # Z2022-007 P&Z DATE 3/15/22 CC DATE 3/21/22 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input checked="" type="checkbox"/>	HOA MAP
<input type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 27022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT

1096

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktorocustomhomes@gmail.com

E-MAIL

blacktorocustomhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

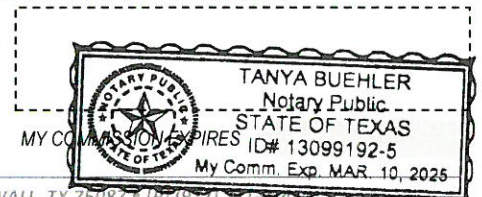
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

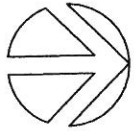
OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech

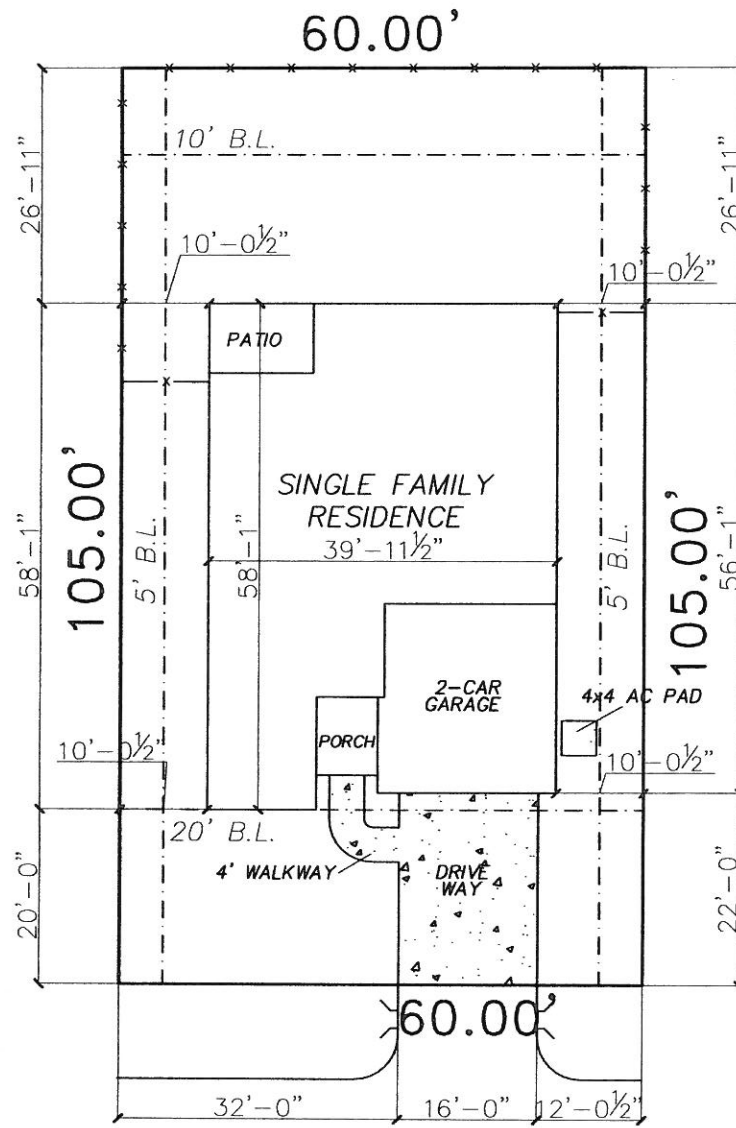




NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020
J.S.B. Engineer
F-20338

LEGEND

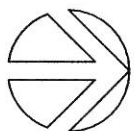
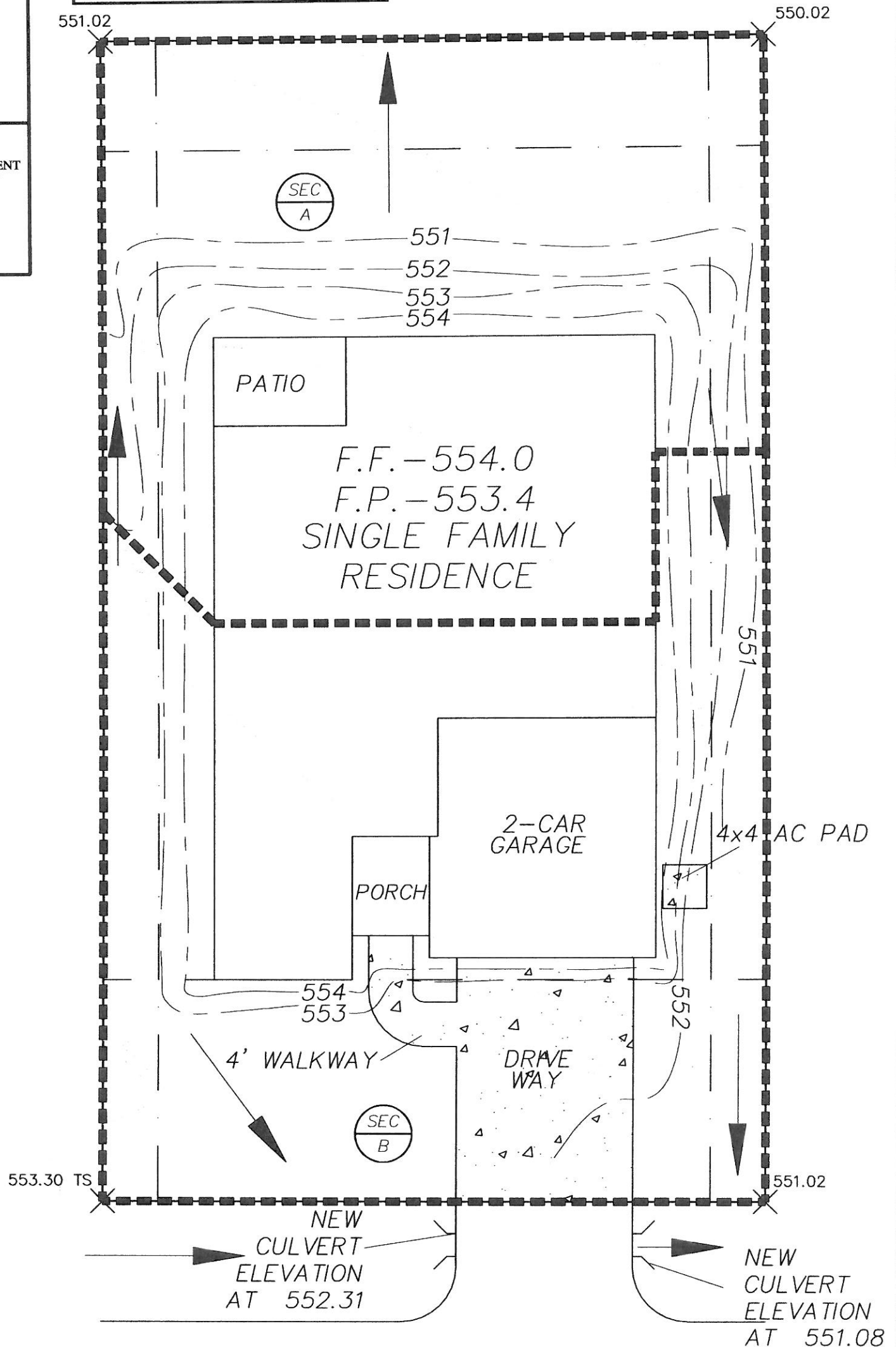
- - PROPOSED DRAINAGE
- - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- - - - - EXISTING GRADING
- 625- - PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:

- 102,000.0 X = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

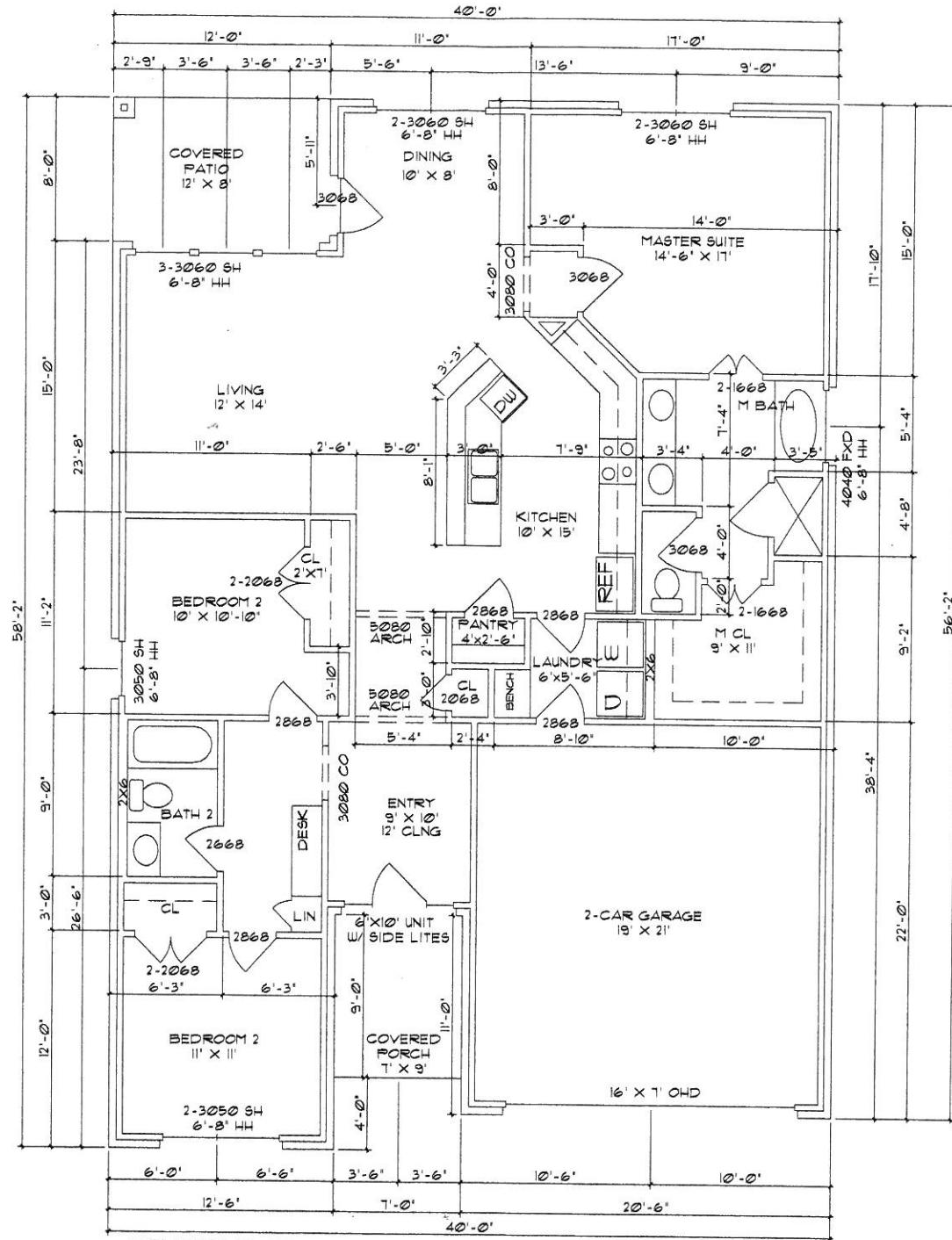
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

DDS GROUP

GRADING PLAN



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

2030 SH
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGLUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

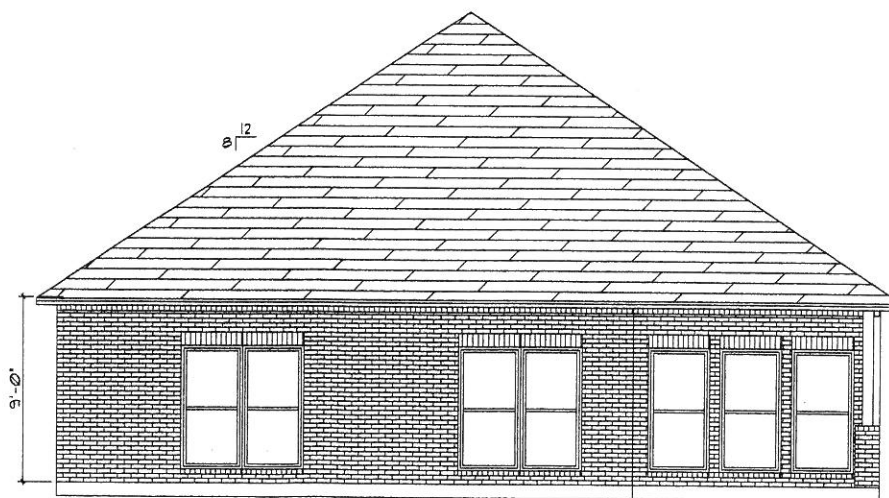
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A2



③ FRONT ELEVATION
SCALE: 1/4" = 1'-0"



② REAR ELEVATION
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

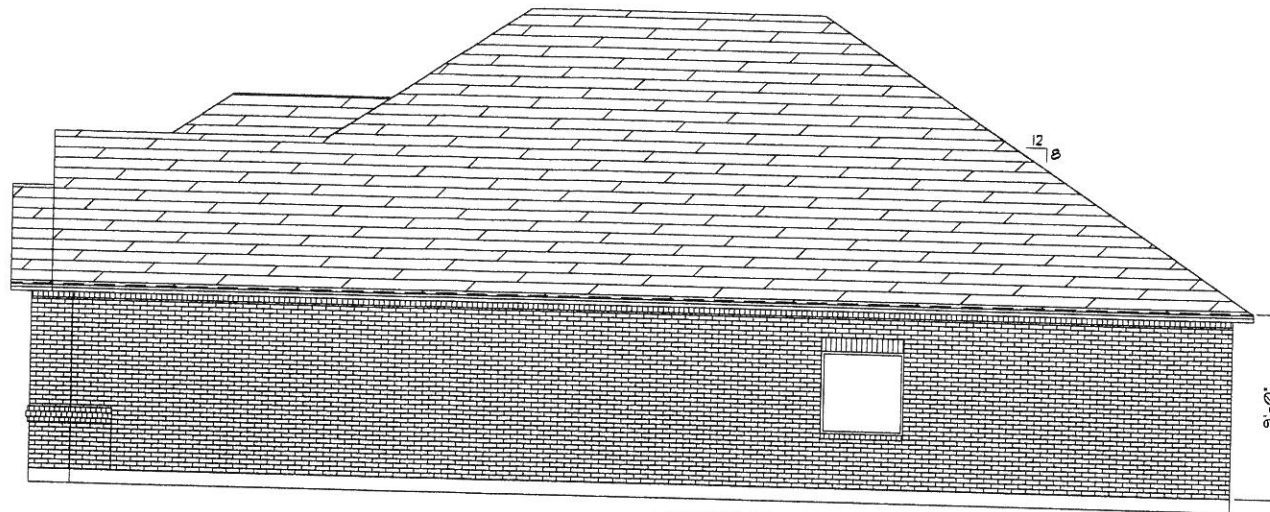
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

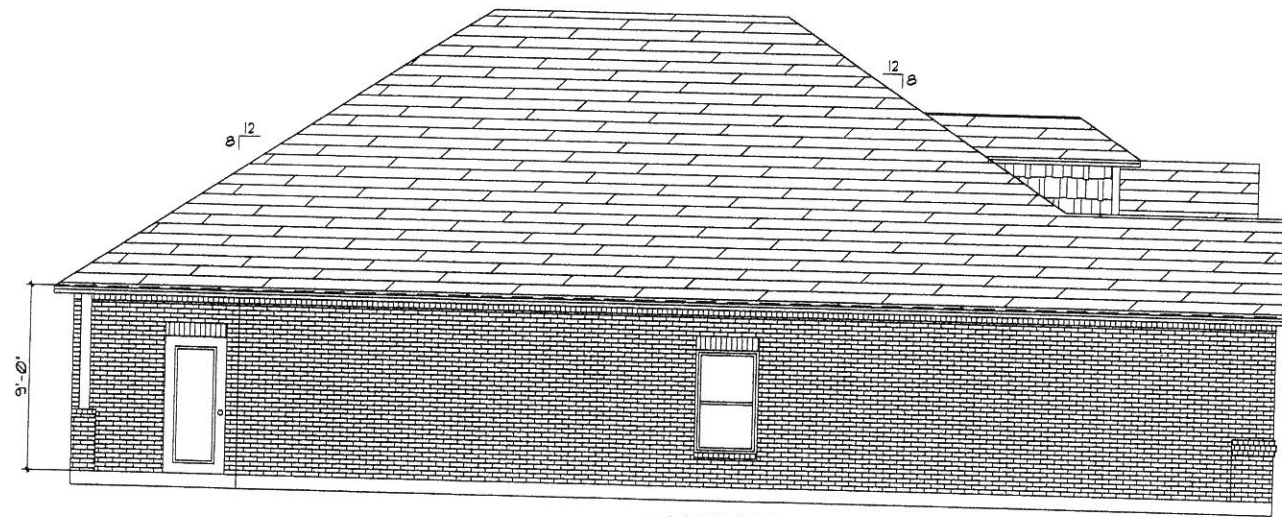
A

SHEET NUMBER:

A3



① RIGHT ELEVATION
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

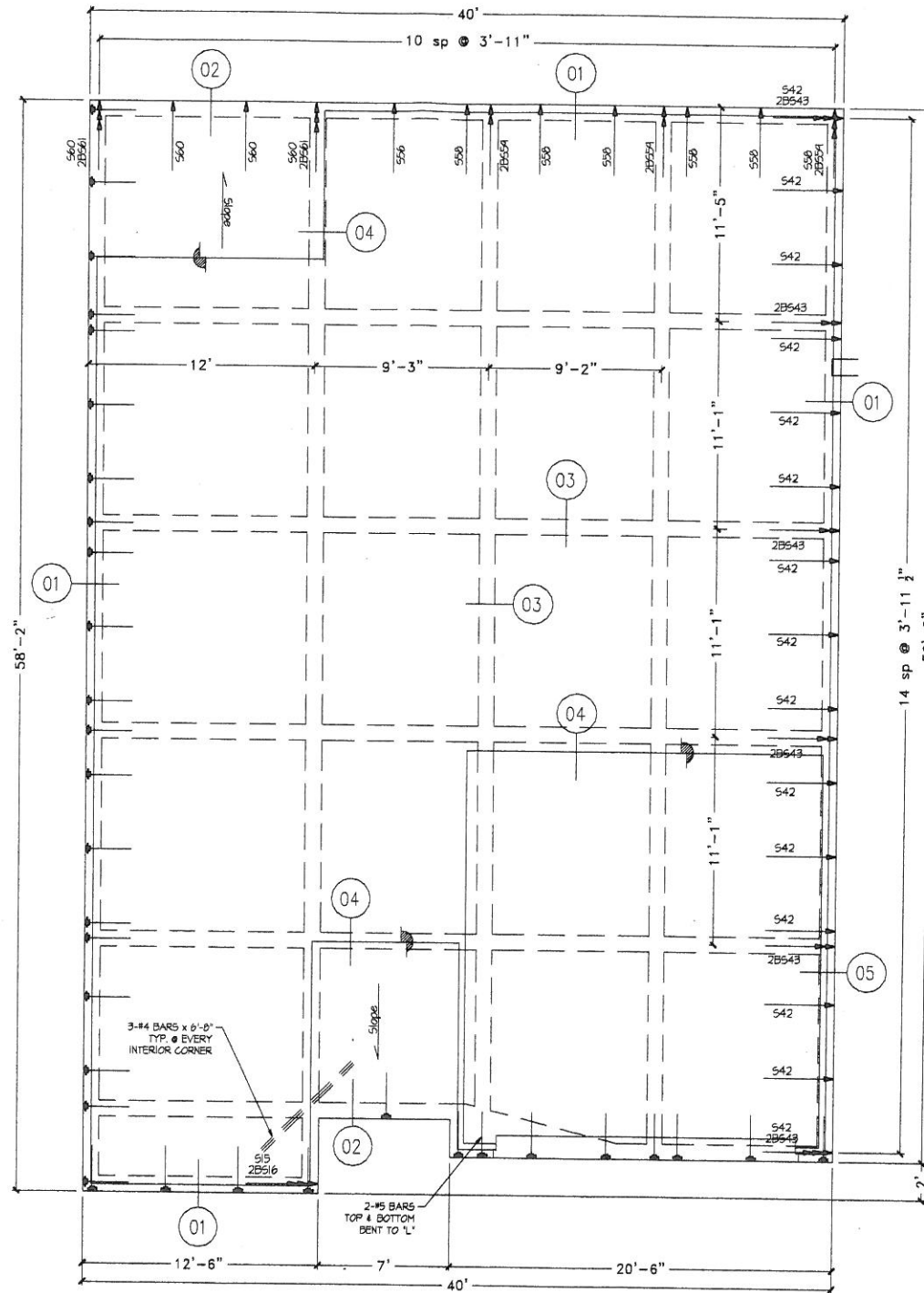
A

SHEET NUMBER:

A4



J.S. Barton
 10/30/2020
 JSB Engineer
 F-20338



- Notes:
1. Slab thickness T= 4'
 2. Beam Depth D= 28'
 3. Beam Width W= 10'
 4. SXX Denotes slab strand
 5. BSXX Denotes beam strand

- PLAN LEGEND
1. Denotes one strand to be stressed
 2. Denotes two strands to be stressed
 3. Denotes three strands to be stressed
 4. Denotes factory seating end
 5. Denotes dimension to be verified
 6. Denotes concrete chair
 7. Denotes change in slab elevation

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



DDS GROUP 214-966-0550
 123 W. MAIN STREET SUITE #121
 GRAND PRAIRIE TX. 75050
 WWW.DDSGROUP.COM 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

F1

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH.
- STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE.
- ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION, WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

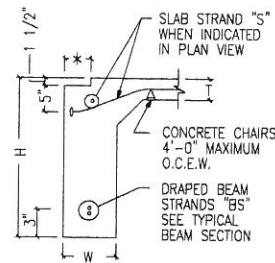
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

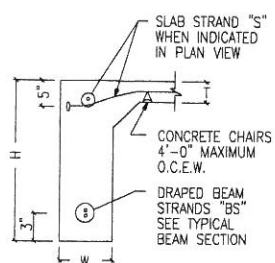
- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION AT A MINIMUM OF 5% (5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITHIN 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE-HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPEXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE-HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

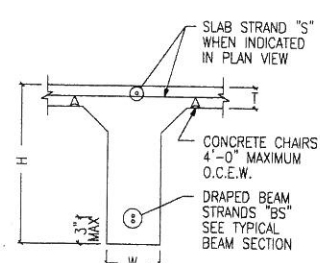
- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.



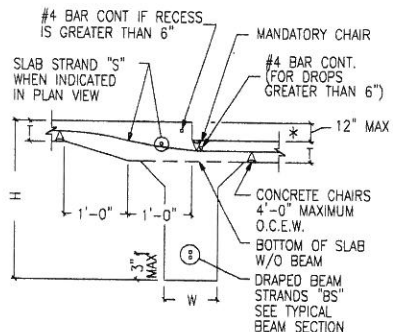
SECTION 01
NTS



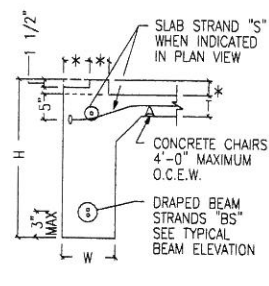
SECTION 02
NTS



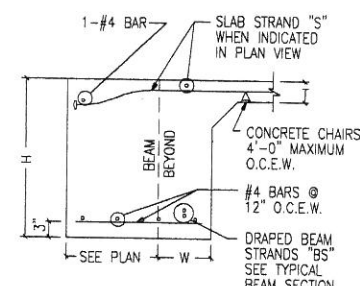
SECTION 03
NTS



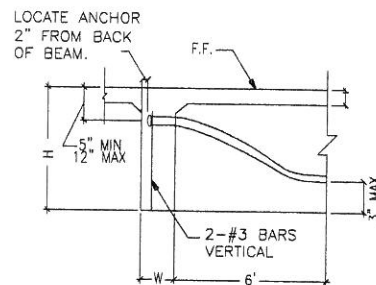
SECTION 04
NTS



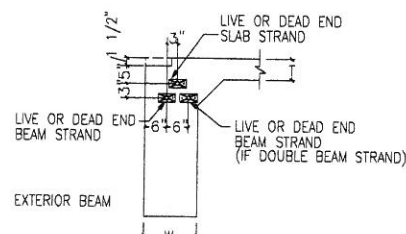
SECTION 05
NTS



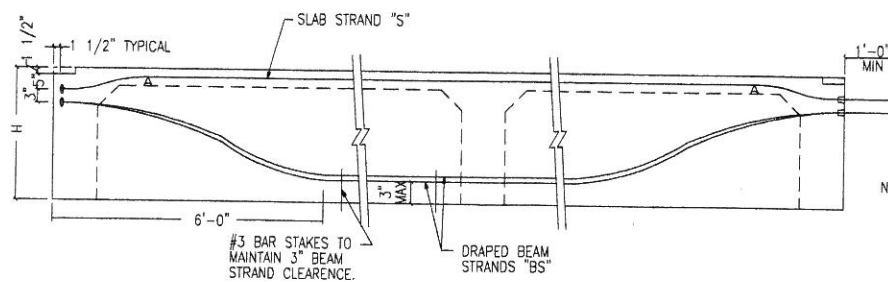
SECTION 06
NTS



SECTION 07
NTS



STRAND END LAY-OUT
NTS



TYPICAL BEAM SECTION
NTS

NOTE: BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



J. S. Barton
10/30/2020
JSB Engineer
F-20338



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A






SHEET NUMBER:

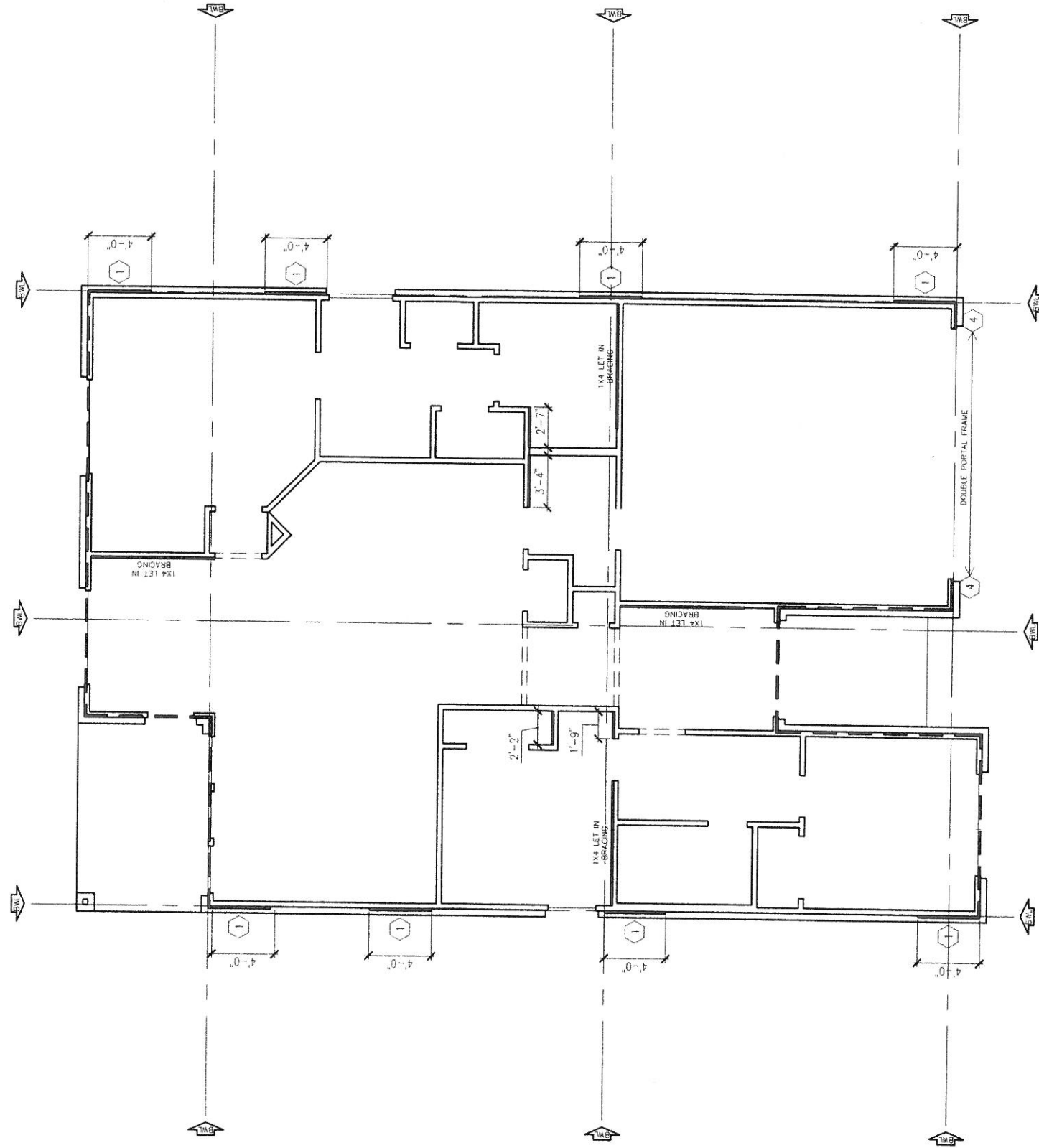
F2

NOTE:
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 12'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 12'-0" TO 17'-0", PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.
 2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH TABLE R602.3.1 OF 2000, 2003, 2006, 2009 & 2012 I.R.C.

FASTENING FOR THERMO FLY		
MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/2" LEGS	3 - PANEL EDGES 6 - INTERMEDIATE SUPPORTS

1. WALL BRACING PLAN DESIGN TO COMPLY W/ 2015 IRC.
2. DESIGN BASED ON 115 MPH WIND SPEED.

SYMBOL KEY	
	SIMPSON STHD10 or HTTS HOLD-DOWN
	CS16 STRAPPING, 3" MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING



12/31/2020
 J.S.B. Engineer
 F-25338

1 FIRST FLOOR PLAN - SHEAR WALL PLAN
 SCALE: 1/8" = 1'-0"

ELEVATION:
 A

SHEET NUMBER:
 S1

514 YVONNE DR
 WALL BARCE

PROJECT #:

DESIGNER:
 DDS GROUP

DDS GROUP
 132 E MAIN ST.
 GRAND PRAIRIE TX. 75050
 WWW.DDSGROUP.COM



MECHANICAL LEGEND, NOTES, AND SPECIFICATIONS

(ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON PLANS)

MECHANICAL LEGEND	MECHANICAL GENERAL NOTES	MECHANICAL SPECIFICATIONS																																																																		
<p>TYPE — — NECK SIZE — CFM</p> <p> — DIFFUSER/GRILLE TAG</p> <p> — SUPPLY AIR DIFFUSER</p> <p> — RETURN AIR GRILLE</p> <p> — FLEX DUCT</p> <p> — FIRE DAMPER</p> <p> — SMOKE DAMPER</p> <p> — SUPPLY AIR FLOW</p> <p> — RETURN AIR FLOW</p> <p> — ELBOW DOWN</p> <p> — ELBOW UP</p> <p> — MANUAL VOLUME DAMPER</p> <p> — THERMOSTAT</p> <p> — TEMPERATURE SENSOR</p> <p> — AIR EXTRACTOR</p> <p> — TURNING VANES</p> <p> — TRANSITION</p> <p> — WALL GRILLE</p> <p> — MOTORIZED DAMPER</p> <p> — DUCT SMOKE DETECTOR</p>	<p>1. MATERIALS AND INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL CONFORM WITH ALL NATIONAL, STATE AND LOCAL CODES.</p> <p>2. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONSTRUCTION DELAYS.</p> <p>3. PROVIDE AND INSTALL DAMPERS, TURNING VANES AND SPLITTERS AS REQUIRED FOR EFFICIENT OPERATION AND AIR DISTRIBUTION.</p> <p>4. EXHAUST FANS FURNISHED BY THIS CONTRACTOR, ELECTRICAL CONNECTIONS BY ELECTRICAL CONTRACTOR.</p> <p>5. INSTALL FLEXIBLE CONNECTIONS AT UNIT ON SUPPLY AND RETURN AIR DUCTS.</p> <p>6. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL NECESSARY FOR CONSTRUCTION. AIR DUCTS NOT SHOWN ON PLAN, BUT IMPLIED AND NECESSARY FOR PROPER INSTALLATION AND OPERATION OF THE SYSTEMS, SHALL BE CONSIDERED AS PART OF THE MECHANICAL CONTRACTORS RESPONSIBILITY.</p> <p>7. EACH UNIT SHALL HAVE INSTALLED (1) FULLY PROGRAMMABLE, 7-DAY, 24 HOUR, THERMOSTAT EQUAL TO HONEYWELL T7350 WITH LOCKABLE PLASTIC COVERS.</p> <p>8. PROVIDE TURNING VANES IN ALL MITERED CORNERS.</p> <p>9. PROVIDE VOLUME DAMPERS WITH LOCKING HANDLES IN BRANCH DUCTS.</p> <p>10. CONSTRUCT ALL DUCT WORK IN ACCORDANCE WITH ASHRAE STANDARDS. ALL DUCTWORK TO BE SEALED WITH MASTIC SEALANT.</p> <p>11. ALL AIR DIFFUSERS PENETRATING FIRE/SMOKE WALLS TO BE EQUIPPED WITH APPROPRIATE FIRE/SMOKE DAMPER AS DUCT WORK PASSES THROUGH FIRE RATED WALL OR CEILINGS. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF FIRE WALLS AND CEILINGS. THESE PLANS ARE NOT INTENDED AS FIRE PROTECTION DRAWINGS.</p> <p>12. LIMIT FLEXIBLE DUCT WORK TO 7' FROM DIFFUSERS, ALL FLEX DUCT TO HAVE A MINIMUM OF R-8 INSULATION.</p> <p>13. THE CONTRACTOR SHALL INSTALL ALL SCHEDULE 40 PVC CONDENSATE DRAINS IN ATTIC AND ENCLOSED SPACES. INSTALL COPPER CONDENSATE DRAINS IN ALL EXPOSED AREAS. INSULATE IN ATTIC SPACES.</p> <p>14. PROVIDE CONDENSATE OVERFLOW DRAIN PAN IN ADDITION TO UNIT CONDENSATE DRAIN.</p> <p>15. PROVIDE ALL ROOF JACKS FOR EXHAUST FANS AND FRESH AIR DUCTS WITH BUG SCREEN.</p> <p>16. SUPPLY FRESH AIR WITH VOLUME DAMPER PER SCHEDULE TO EACH UNIT'S RETURN AIR PLENUM.</p> <p>17. SUPPLY COMBUSTION AIR INTO EACH MECHANICAL SPACE PER DETAIL, PROVIDE ONE INCH SQUARE OF DUCT AREA PER 1000 BTU OF GAS INPUT.</p> <p>18. DO NOT PLACE HUB DRAIN FOR CONDENSATE UNDER RETURN AIR PLENUM.</p> <p>19. PLACE VERTICAL GAS UNIT ON RETURN AIR PLENUM. SUPPLY SHOP DRAWINGS SHOWING ARRANGEMENT OF MECHANICAL SPACES. VERIFY THAT ALL COMPONENTS FIT IN MECHANICAL SPACE PRIOR TO BEGINNING CONSTRUCTION.</p> <p>20. PLACE UNITS ON VIBRATION ISOLATION PADS.</p> <p>21. INSTALL SHEET METAL DUCT PER SMCNA. RECTANGULAR SIZES TO HAVE EXTERIOR 1" INSULATION, ROUND SIZES TO HAVE 1" EXTERIOR INSULATION. IN AREAS WHERE DUCT WORK WILL BE EXPOSED, DUCT SHALL HAVE 1" INTERIOR DUCT LINER WITH ANTI-MICROBIAL COATING.</p> <p>22. BECAUSE ALL FURNACES ARE 2000 CFM AND UNDER, NO SMOKE DUCT DETECTORS ARE REQUIRED.</p> <p>23. ALL FRESH AIR INTAKES SHALL BE A MINIMUM OF 15' AWAY FROM TOILET DISCHARGES.</p> <p>24. INSTALL ALL ROOF MOUNTED EQUIPMENT A MINIMUM OF 10' AWAY FROM THE EXTERIOR BUILDING EDGE. IF PARAPET IS A MINIMUM OF 42" TALL THEN EQUIPMENT CAN BE MOUNTED TO WITHIN 4' OF SIDE WALL OR MANUFACTURERS' MINIMUM, WHICHEVER IS GREATER.</p>	<p>GENERAL CONDITIONS:</p> <p>A. THE REQUIREMENTS AS SET FORTH UNDER GENERAL CONDITIONS, INSTRUCTIONS TO BIDDERS AND GENERAL REQUIREMENTS ARE A PART OF THIS CONTRACT. IF NO GENERAL SPECIFICATIONS ARE INCLUDED, THE AIA STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, LATEST EDITION, SHALL DICTATE GENERAL CONDITIONS.</p> <p>B. BIDS SHALL BE BASED ON A COMPLETE/FULL SET OF DRAWINGS.</p> <p>C. CONTRACTOR MUST READ THE ENTIRE SPECIFICATIONS AND DRAWINGS COVERING OTHER BRANCHES OF WORK. HE IS RESPONSIBLE FOR COORDINATION OF HIS WORK WITH WORK PERFORMED BY OTHER TRADES.</p> <p>SCOPE OF WORK:</p> <p>A. FURNISH ALL LABOR, MATERIALS, TESTING, EQUIPMENT, INCIDENTALS AND TOOLS TO PERFORM MECHANICAL WORK SHOWN, NOTED OR SCHEDULED FOR A COMPLETE AND FINISHED INSTALLATION. MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE NEW, UNLESS SPECIFICALLY DESIGNATED FOR REUSE OR RELOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER OR ARCHITECT.</p> <p>B. THE WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITION ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.</p> <p>C. INCLUDE ANY LABOR AND MATERIALS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIVE MECHANICAL SYSTEMS.</p> <p>PERMITS & FEES:</p> <p>A. SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, ASSESSMENTS AND INSPECTION CERTIFICATES THAT RELATE TO THE MECHANICAL CONTRACT.</p> <p>B. FURNISH APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF PROJECT.</p> <p>DRAWINGS:</p> <p>A. THE MECHANICAL PLANS AND DETAILS ARE DIAGRAMMATIC, NOT SHOWING EVERY ITEM IN EXACT LOCATION OR DETAIL. MEASUREMENTS AND LOCATIONS MUST BE FIELD VERIFIED AND COORDINATED WITH EXISTING FIELD CONDITIONS AND ALL NEW WORK OF OTHER TRADES. PROVIDE FITTINGS, OFFSETS, ETC. AS NECESSARY TO PROVIDE A COMPLETE SYSTEM.</p> <p>SHOP DRAWINGS:</p> <p>A. SUBMIT FIVE COPIES OF MATERIAL LISTS AND SHOP DRAWINGS FOR MAJOR EQUIPMENT TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS EARLY ENOUGH IN PROJECT TO ALLOW AMPLE TIME FOR OWNER'S REVIEW WITHOUT CAUSING TIME DELAYS OR CONFLICTS IN THE JOB PROGRESS. SUBMITTALS SHALL BE IN ACCORDANCE WITH GENERAL CONDITIONS AND THE MANUFACTURERS LISTED ON THE DRAWINGS AND SHALL BEAR THE STAMP OF THE CONTRACTOR SHOWING THAT HE HAS REVIEWED AND APPROVED THEM AND THAT THEY ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS. LACK OF SUCH CONTRACTOR'S APPROVAL WILL BE CAUSE FOR REJECTION WITHOUT REVIEW BY THE OWNER. SUBMIT SHOP DRAWINGS FOR ALL SCHEDULED EQUIPMENT.</p> <p>B. MANUFACTURERS LISTED ON THE DRAWINGS WERE USED AS THE BASIS OF DESIGN. THE CONTRACTOR MAY, AT THEIR OPTION, PROVIDE AN EQUAL MANUFACTURED PRODUCT. THE CONTRACTOR IS ENTIRELY RESPONSIBLE FOR ANY AND ALL COSTS REQUIRED TO ALTER THE SYSTEM DESIGN, WHETHER IDENTIFIED OR NOT IDENTIFIED BY THE ENGINEER OR ARCHITECT, SHOULD AN EQUAL MANUFACTURER BE SUPPLIED.</p> <p>PIPE HANGERS AND SUPPORTS:</p> <p>A. PROVIDE ADJUSTABLE CLEVIS HANGERS SUPPORTED BY ALL-THREAD ATTACHED TO BUILDING STRUCTURE. SUPPORT HANGERS AND SUPPORT SPACING SHALL BE PER MSS SP-69, AND PER STATE AND LOCAL CODES.</p> <p>MECHANICAL INSULATION:</p> <p>A. INSULATE SUPPLY AND RETURN DUCTWORK WITH 1-1/2" THICK, 0.75 LB. DENSITY BLANKET TYPE, ASTM C553, TYPE 1, CLASS B-2 FIBERGLASS INSULATION. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO PROVIDE A VAPOR-PROOF INSTALLATION. INTERNALLY INSULATE THE FIRST 15 FEET OF SUPPLY AND RETURN DUCT AT HVAC UNIT WITH 1" DUCT LINER (WITH ANTI-MICROBIAL COATING) FOR SOUND ATTENUATION.</p> <p>B. INSULATE PIPING WITH CLOSED CELL ELASTOMERIC TUBING INSULATION, ASTM C534 TYPE 1 WITH FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPMENT LESS THAN 50. REFRIGERATION SUCTION PIPING INSULATION TO BE 1/2". INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.</p> <p>REFRIGERANT PIPING:</p> <p>A. USE TYPE 'K' (MIN.) COPPER TUBE. DEHYDRATED REFRIGERANT TUBING, DUCTILE AND FLEXIBLE, CHEMICALLY DRY AND CLEAN WITH SEALED ENDS.</p> <p>B. LEAK TEST UNDER VACUUM.</p> <p>HVAC EQUIPMENT:</p> <p>A. FURNISH AND INSTALL EQUIPMENT AS SHOWN ON THE DRAWINGS. FURNISH AND INSTALL DUCT SMOKE DETECTORS FOR ALL HVAC UNITS OVER 2,000 CFM, AND PER STATE AND LOCAL CODES. PIPE CONDENSATE TO NEAREST APPROVED DISCHARGE POINT, WITH APPROPRIATE SIZED TRAP, AND 3/4" TYPE 'K' COPPER PIPING (MIN.).</p> <p>B. GAS-FIRED APPLIANCES: PROVIDE FLUE PIPING PER APPLICABLE CODES. ENSURE THAT THE COMBUSTION AIR FOR GAS-FIRED APPLIANCES IS IN ACCORDANCE WITH APPLICABLE CODES.</p> <p>DUCTWORK:</p> <p>A. GALVANIZED SHEET STEEL: LOCK-FORMING QUALITY; COMPLYING WITH ASTM A 653/A 653M AND HAVING G90 COATING DESIGNATION. USE 'DUCTMATE' TYPE FLANGED CONNECTIONS, UNLESS NOTED OTHERWISE. ALL DUCT DIMENSIONS ARE INSIDE CLEAR DIMENSIONS.</p> <p>B. COMPLY WITH SMCNA'S "HVAC DUCT CONSTRUCTION STANDARDS—METAL AND FLEXIBLE" FOR ACCEPTABLE MATERIALS, MATERIAL THICKNESSES, AND DUCT CONSTRUCTION METHODS, UNLESS OTHERWISE INDICATED. SHEET METAL MATERIALS SHALL BE FREE OF PITTING, SEAM MARKS, ROLLER MARKS, STAINS, DISCOLORATIONS, AND OTHER IMPERFECTIONS.</p> <p>C. FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTIONS TO AIR DEVICES. FLEX DUCT MUST BE CLASS 0 OR 1, CONFORM TO UL 181, HAVE NO SHORT RADIUS 90 DEGREE BENDS, AND SHALL NOT EXCEED 72" IN LENGTH.</p> <p>DUCT ACCESSORIES:</p> <p>A. MANUFACTURED TURNING VANES: FABRICATE 1-1/2-INCH WIDE, SINGLE VANE, CURVED BLADES OF GALVANIZED SHEET STEEL SET 3/4 INCH; SUPPORT WITH BARS PERPENDICULAR TO BLADES SET 2 INCHES O.C.; AND SET INTO VANE RUNNERS SUITABLE FOR DUCT MOUNTING. INSTALL TURNING VANES IN ALL RECTANGULAR DUCTS UNLESS ELBOWS WITH CENTERLINE RADIUS OF R = 1.5D ARE USED.</p> <p>B. INSULATED-DUCT CONNECTORS: UL 181, CLASS 1, BLACK POLYMER FILM SUPPORTED BY HELICALLY WOUND, SPRING-STEEL WIRE, FIBROUS-GLASS INSULATION; POLYETHYLENE VAPOR BARRIER FILM; 4-INCH WG PRESSURE RATING.</p> <p>C. DIFFUSERS, REGISTERS, AND GRILLES AS SCHEDULED ON THE DRAWINGS.</p> <p>HVAC CONTROLS:</p> <p>A. FURNISH AND INSTALL 7-DAY FULLY PROGRAMMABLE ELECTRONIC THERMOSTAT, HEAT-OFF-COOL-AUTO SYSTEM SWITCH, COMPATIBLE WITH HVAC EQUIPMENT PROVIDED. ALL HVAC CONTROL WIRING IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. CONTROLS SHALL BE CAPABLE OF ANTICIPATING SEASONAL TRENDS.</p> <p>TESTING, ADJUSTING, AND BALANCING:</p> <p>A. AS PART OF THIS CONTRACT, THE ENTIRE SYSTEM SHALL BE TESTED, ADJUSTED, AND BALANCED BY AN INDEPENDENT CONTRACTOR AND SHALL CONFORM TO AABC STANDARDS. SYSTEMS SHALL BE ADJUSTED TO WITHIN +/- 8% OF DESIGN CONDITIONS.</p> <p>INSTALLATION:</p> <p>A. ALL MECHANICAL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING AND REPAIRING. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS CHANNELS, RODS, ETC., NECESSARY FOR THE INSTALLATION OF WORK AND SHALL BE FASTENED TO BUILDING STRUCTURE, BUT NOT PIPING OR DUCTWORK. ALL PIPING SHALL BE CONCEALED WHEREVER POSSIBLE. EXPOSED PIPES SHALL BE IN STRAIGHT LINES PARALLEL WITH OR AT RIGHT ANGLES TO BUILDING LINES.</p> <p>B. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ANY/ALL NECESSARY MECHANICAL DEMOLITION WORK THAT IS REQUIRED TO FACILITATE THE NEW INSTALLATION. FIELD COORDINATE PRIOR TO BIDS. REMOVE AND/OR MODIFY EQUIPMENT, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH OWNER AND GENERAL CONTRACTOR TO AVOID CONFLICTS.</p> <p>C. COMPLETED SYSTEMS SHALL BE TESTED, BALANCED AND GUARANTEED.</p> <p>GUARANTEE:</p> <p>A. MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THE MECHANICAL CONTRACTOR'S EXPENSE.</p> <p>B. FOR THE SAME PERIOD, MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PREMISES CAUSED BY DEFECTS IN WORKMANSHIP OR IN THE WORK OR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE MECHANICAL CONTRACTOR.</p>																																																																		
<p style="text-align: center;">MECHANICAL ABBREVIATIONS</p> <table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 10%;">AC</td><td>ABOVE CEILING</td></tr> <tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td></tr> <tr><td>AHU</td><td>AIR HANDLING UNIT</td></tr> <tr><td>BF</td><td>BELOW FLOOR</td></tr> <tr><td>BFC</td><td>BELOW FINISHED CEILING</td></tr> <tr><td>BG</td><td>BELOW GRADE</td></tr> <tr><td>BRF</td><td>BELOW RAISED FLOOR</td></tr> <tr><td>CD</td><td>CONDENSATE DRAIN</td></tr> <tr><td>CRAC</td><td>COMPUTER ROOM AIR CONDITIONER</td></tr> <tr><td>CU</td><td>CONDENSING UNIT</td></tr> <tr><td>DS</td><td>DISCONNECT SWITCH</td></tr> <tr><td>EA</td><td>EXHAUST AIR</td></tr> <tr><td>EX</td><td>EXISTING</td></tr> <tr><td>EDH</td><td>ELECTRIC DUCT HEATER</td></tr> <tr><td>EF</td><td>EXHAUST FAN</td></tr> <tr><td>ERV</td><td>ENERGY RECOVERY VENTILATOR</td></tr> <tr><td>EUH</td><td>ELECTRIC UNIT HEATER</td></tr> <tr><td>FA</td><td>FRESH AIR</td></tr> <tr><td>FCU</td><td>FAN COIL UNIT</td></tr> <tr><td>FPB</td><td>FAN POWERED BOX</td></tr> <tr><td>GC</td><td>GENERAL CONTRACTOR</td></tr> <tr><td>HP</td><td>HEAT PUMP</td></tr> <tr><td>MVD</td><td>MANUAL VOLUME DAMPER</td></tr> <tr><td>N</td><td>NEW</td></tr> <tr><td>QBD</td><td>OPPOSED BLADE DAMPER</td></tr> <tr><td>R</td><td>RELOCATED</td></tr> <tr><td>RA</td><td>RETURN AIR</td></tr> <tr><td>RTU</td><td>ROOF TOP UNIT</td></tr> <tr><td>SA</td><td>SUPPLY AIR</td></tr> <tr><td>UH</td><td>UNIT HEATER</td></tr> <tr><td>WSHP</td><td>WATER SOURCE HEAT PUMP</td></tr> <tr><td>VAV</td><td>VARIABLE AIR VOLUME</td></tr> <tr><td>VTR</td><td>VENT THRU ROOF</td></tr> </table>	AC	ABOVE CEILING	AFF	ABOVE FINISHED FLOOR	AHU	AIR HANDLING UNIT	BF	BELOW FLOOR	BFC	BELOW FINISHED CEILING	BG	BELOW GRADE	BRF	BELOW RAISED FLOOR	CD	CONDENSATE DRAIN	CRAC	COMPUTER ROOM AIR CONDITIONER	CU	CONDENSING UNIT	DS	DISCONNECT SWITCH	EA	EXHAUST AIR	EX	EXISTING	EDH	ELECTRIC DUCT HEATER	EF	EXHAUST FAN	ERV	ENERGY RECOVERY VENTILATOR	EUH	ELECTRIC UNIT HEATER	FA	FRESH AIR	FCU	FAN COIL UNIT	FPB	FAN POWERED BOX	GC	GENERAL CONTRACTOR	HP	HEAT PUMP	MVD	MANUAL VOLUME DAMPER	N	NEW	QBD	OPPOSED BLADE DAMPER	R	RELOCATED	RA	RETURN AIR	RTU	ROOF TOP UNIT	SA	SUPPLY AIR	UH	UNIT HEATER	WSHP	WATER SOURCE HEAT PUMP	VAV	VARIABLE AIR VOLUME	VTR	VENT THRU ROOF		
AC	ABOVE CEILING																																																																			
AFF	ABOVE FINISHED FLOOR																																																																			
AHU	AIR HANDLING UNIT																																																																			
BF	BELOW FLOOR																																																																			
BFC	BELOW FINISHED CEILING																																																																			
BG	BELOW GRADE																																																																			
BRF	BELOW RAISED FLOOR																																																																			
CD	CONDENSATE DRAIN																																																																			
CRAC	COMPUTER ROOM AIR CONDITIONER																																																																			
CU	CONDENSING UNIT																																																																			
DS	DISCONNECT SWITCH																																																																			
EA	EXHAUST AIR																																																																			
EX	EXISTING																																																																			
EDH	ELECTRIC DUCT HEATER																																																																			
EF	EXHAUST FAN																																																																			
ERV	ENERGY RECOVERY VENTILATOR																																																																			
EUH	ELECTRIC UNIT HEATER																																																																			
FA	FRESH AIR																																																																			
FCU	FAN COIL UNIT																																																																			
FPB	FAN POWERED BOX																																																																			
GC	GENERAL CONTRACTOR																																																																			
HP	HEAT PUMP																																																																			
MVD	MANUAL VOLUME DAMPER																																																																			
N	NEW																																																																			
QBD	OPPOSED BLADE DAMPER																																																																			
R	RELOCATED																																																																			
RA	RETURN AIR																																																																			
RTU	ROOF TOP UNIT																																																																			
SA	SUPPLY AIR																																																																			
UH	UNIT HEATER																																																																			
WSHP	WATER SOURCE HEAT PUMP																																																																			
VAV	VARIABLE AIR VOLUME																																																																			
VTR	VENT THRU ROOF																																																																			

H-ENTERPRISE
514 YVONNE DRIVE
ROCKWALL, TEXAS

MECHANICAL SPECIFICATIONS

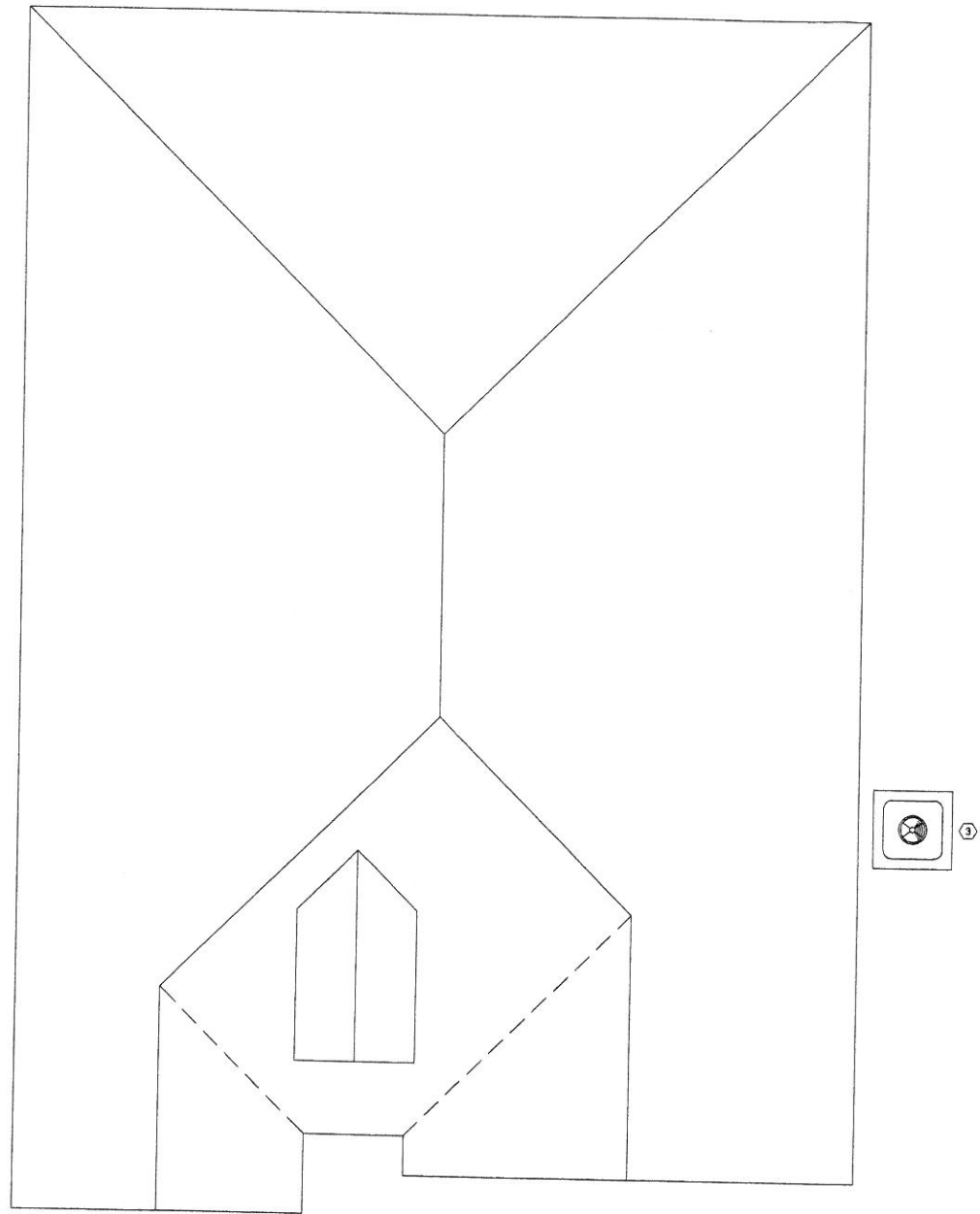
No.	Date	Revision Description

SHEET NO.
M0.1



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

000-16-04
000-16-04

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



Sheet List Table	
Sheet Number	Sheet Title
MEP1.1	MEP ROOF PLAN
M0.1	MECHANICAL SPECIFICATIONS
M1.1	MECHANICAL PLAN

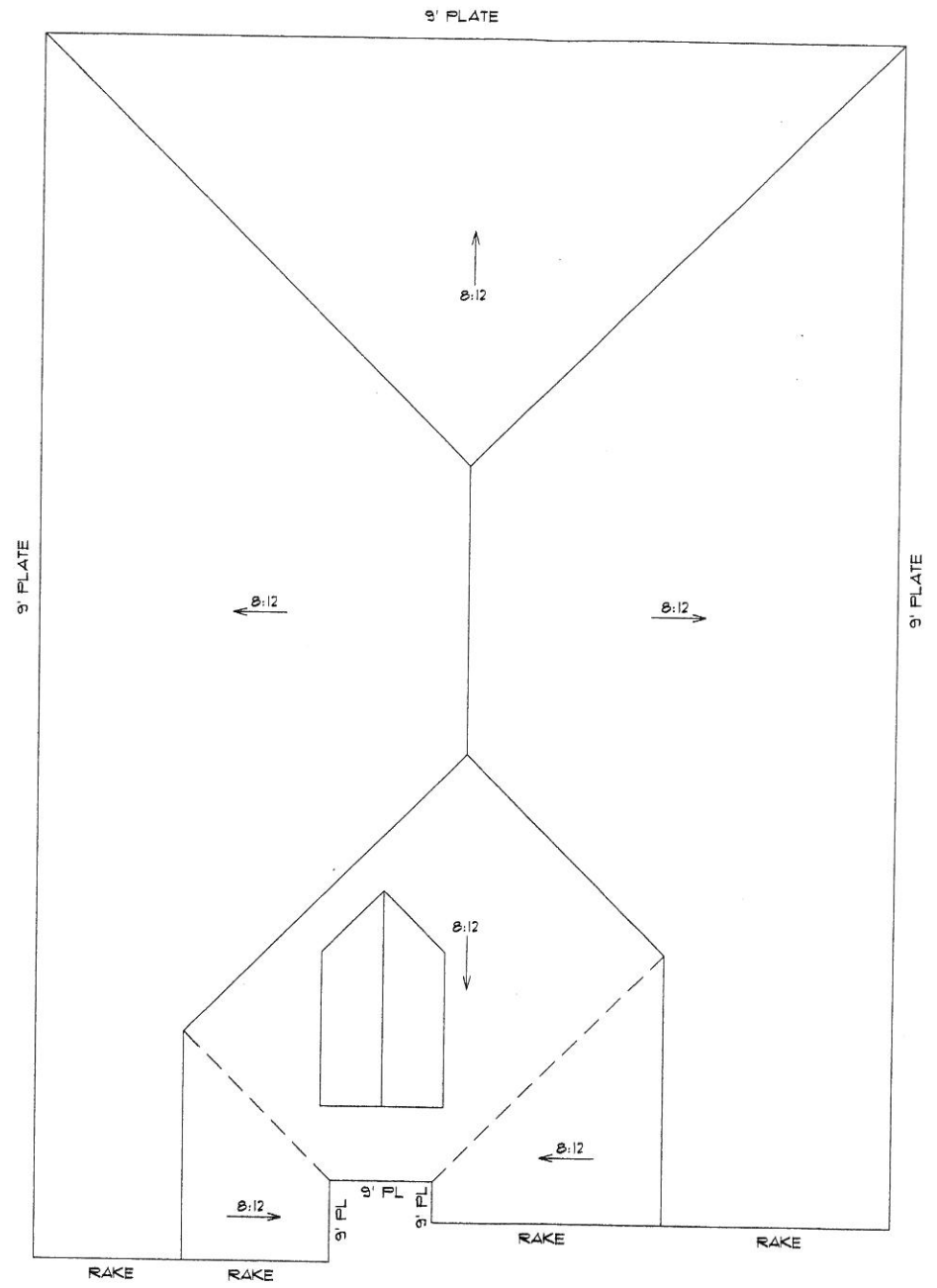

1
MEP1.1
SCALE: 1/8" = 1'-0"


H-ENTERPRISE
 514 YVONNE DRIVE
 ROCKWALL, TEXAS

MEP ROOF PLAN

No.	Date	Revision Description

SHEET NO.
MEP1.1



② ROOF PLAN
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

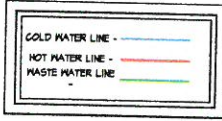
DESIGNER:
DDS GROUP

PROJECT #:

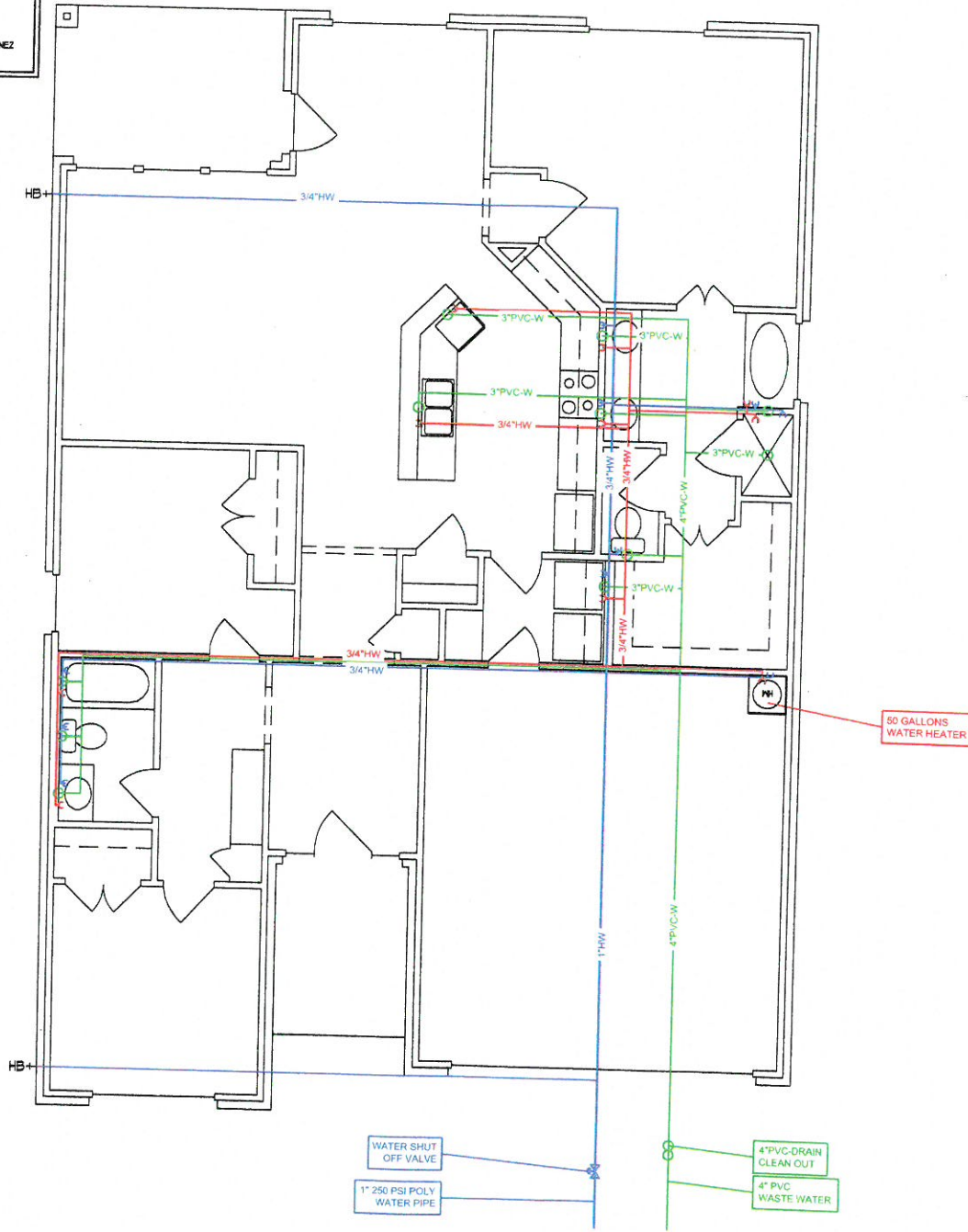
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

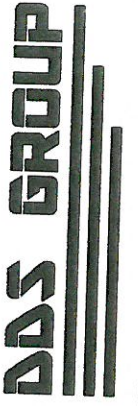
SHEET NUMBER:
A5



ACH PLUMBING CO.
PO BOX 210944
DALLAS TX 75221
LIC. H-0288 ADAM MARTINEZ
(972) 207-0288



1 PLUMBING PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGLUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #

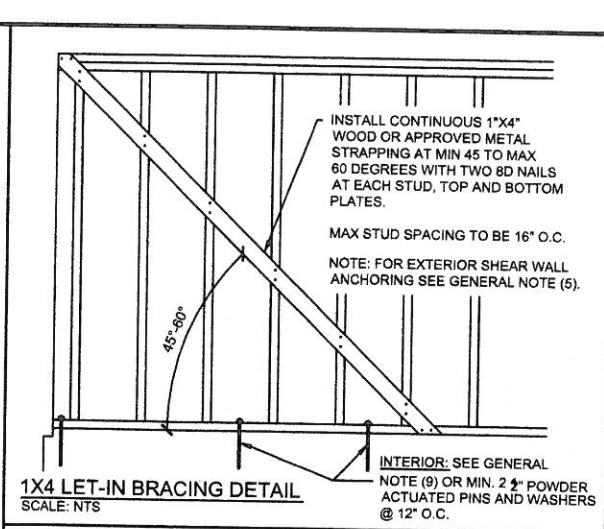
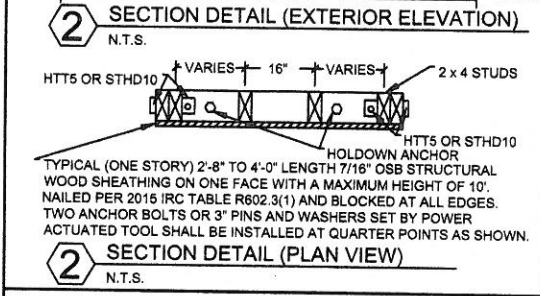
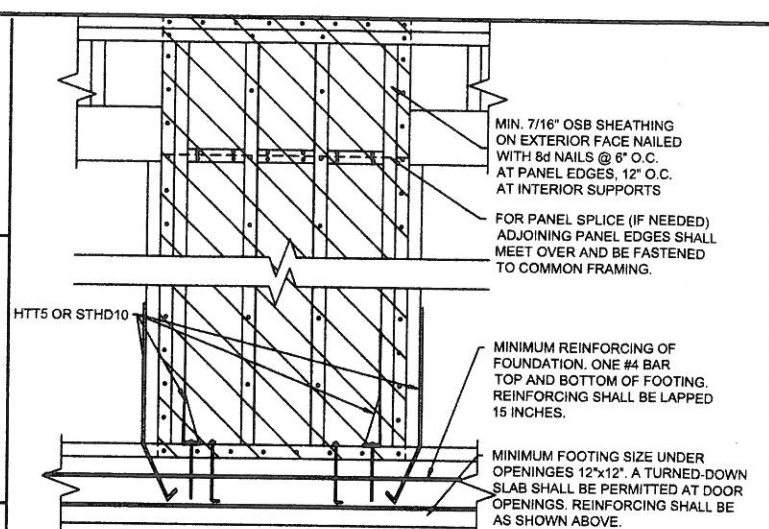
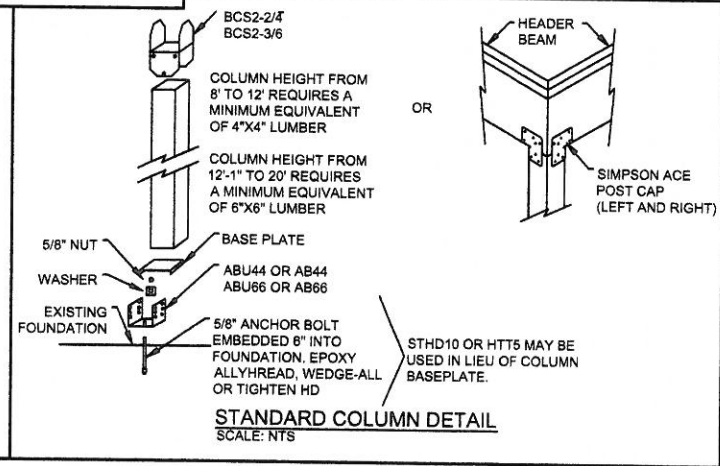
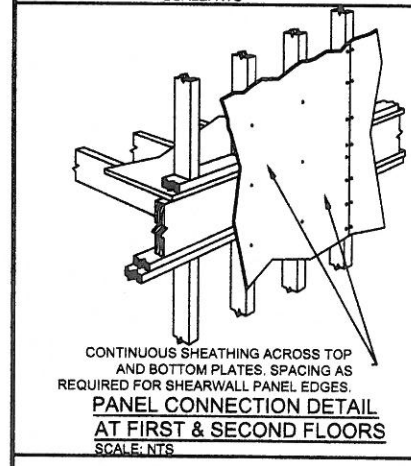
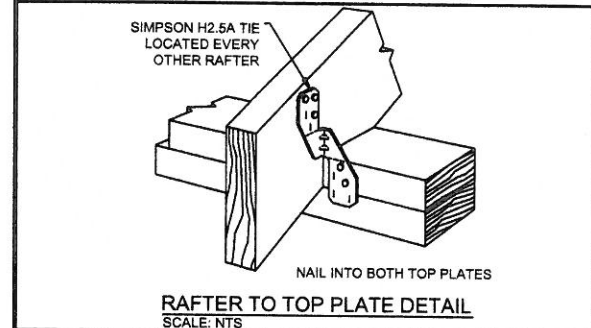
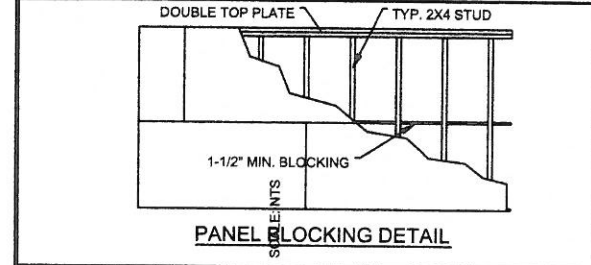
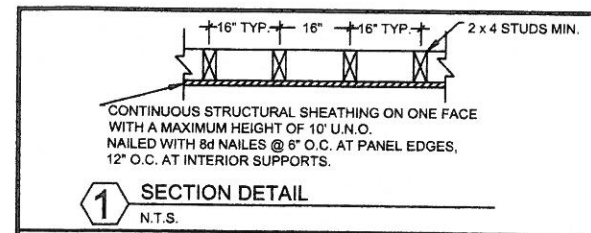
**514 YVONNE DR.
PLUMBING PLAN**

ELEVATION:

A

SHEET NUMBER:

P1

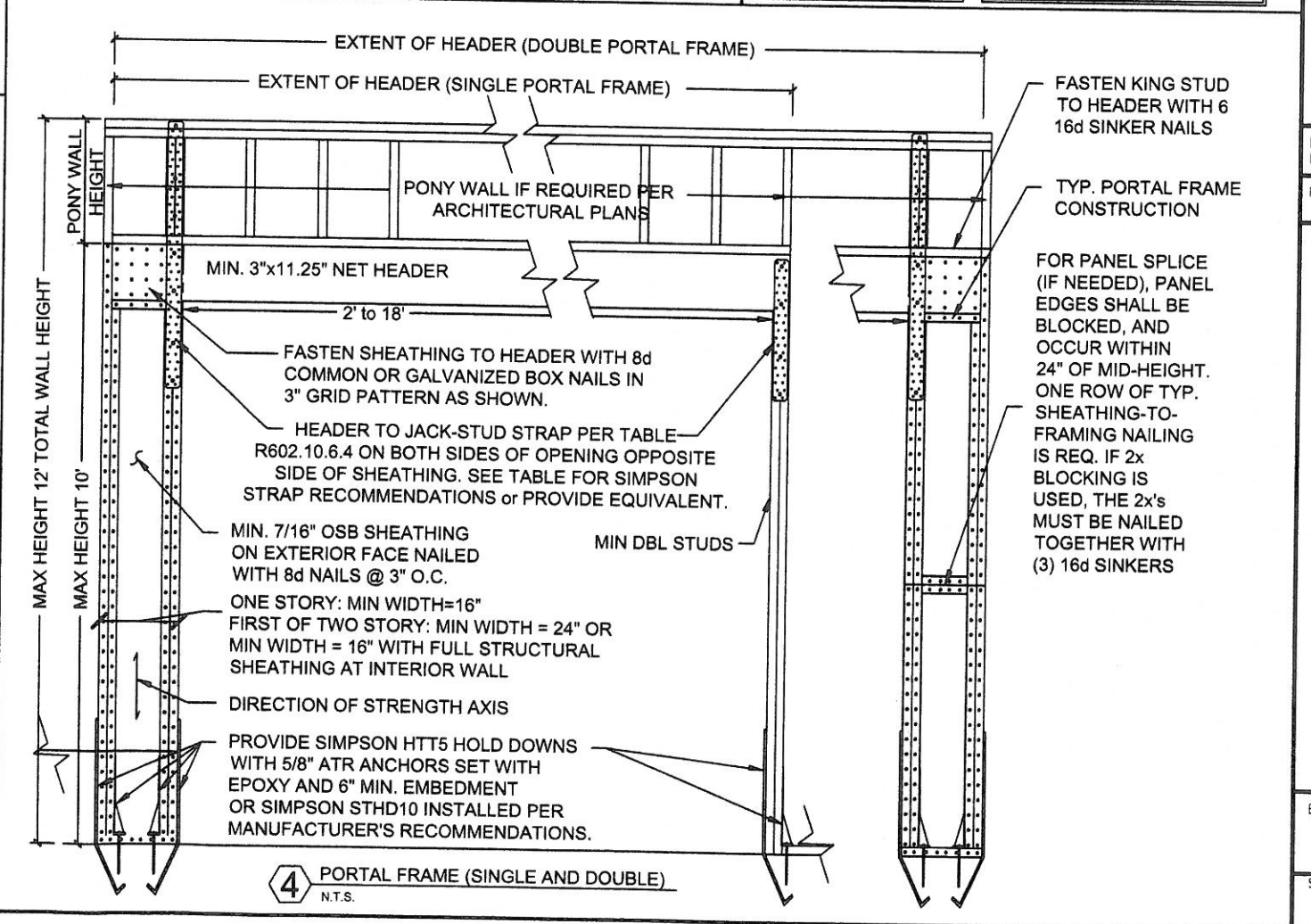


STRUCTURAL SHEATHING
IS CONSIDERED ONE OF THE FOLLOWING:
• MIN 7/16" OSB
• RED THERMOPLY
• BLUE THERMOPLY

- GENERAL NOTES**
1. REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
 2. ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
 3. SHEAR WALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDDSILL THROUGH THE DOUBLE TOP PLATE.
 4. BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
 5. MUDDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDDSILL ANCHORS @ 8'-0" O.C.
 6. WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
 7. ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
 8. LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS-18 X-BRACING.
 9. ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
 - 9.1. INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
 - 9.2. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



STATE OF TEXAS
J. S. BARTON
58124
LICENSED PROFESSIONAL ENGINEER

10/30/2020
JSB ENGINEER
F-20338

DDS GROUP
132 E MAIN ST.
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM

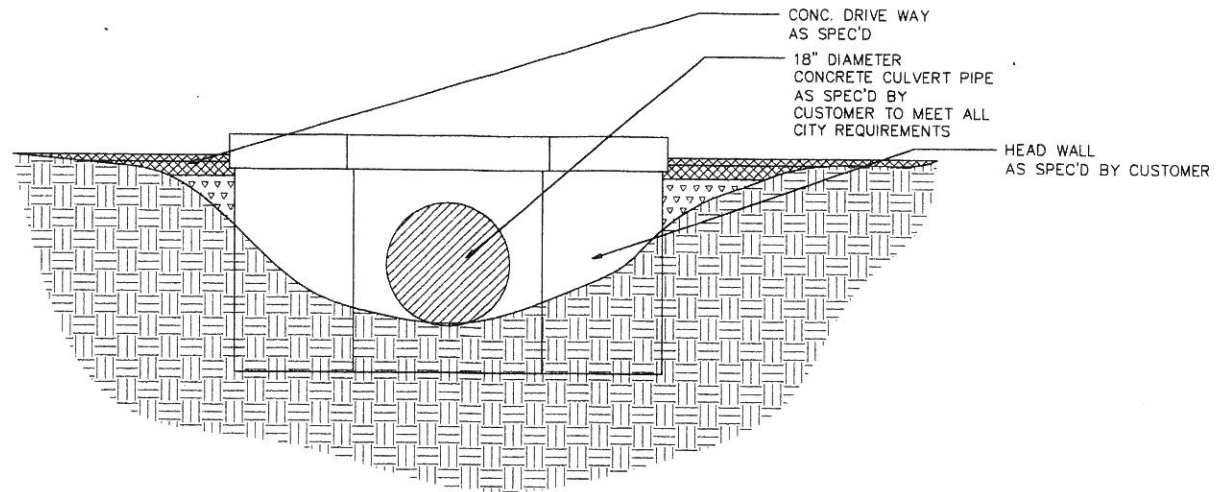
DESIGNER:
DDS GROUP
PROJECT #:

514 YVONNE DR
WALL BRACE

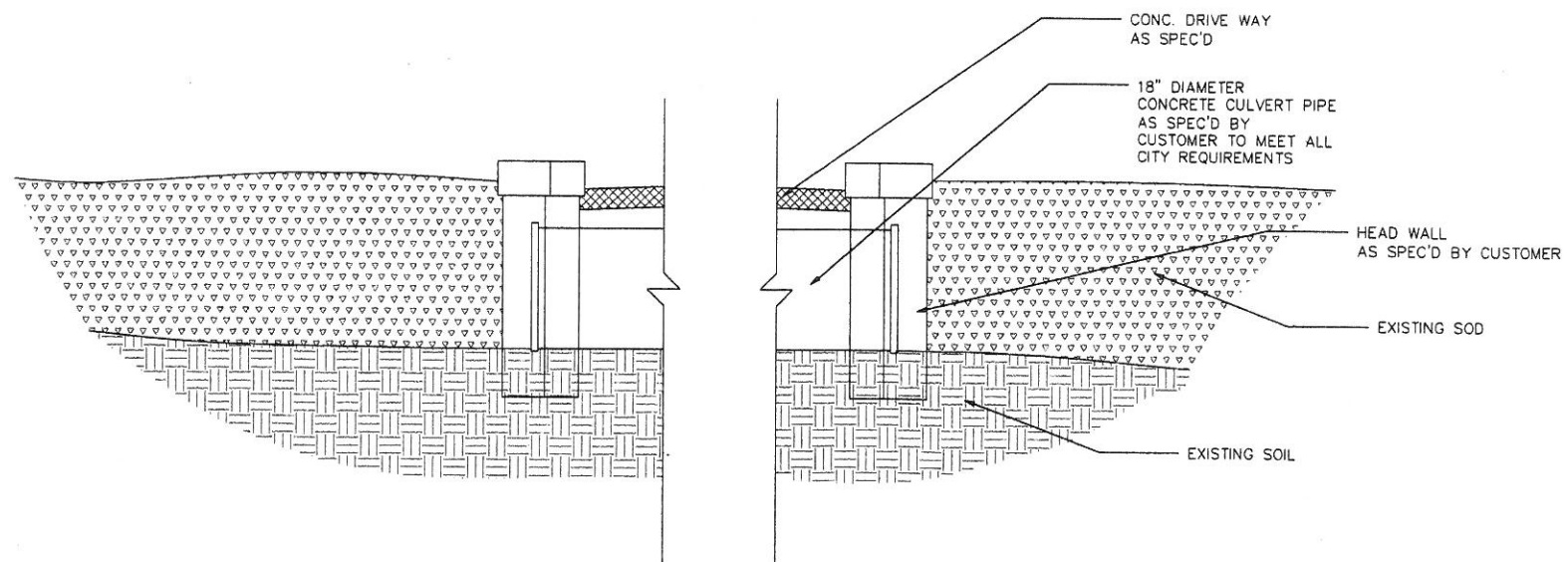
ELEVATION:
A
SHEET NUMBER:
S2



10/30/2020
J.S.B. Engineer
F-20338



1 PROPOSED CULVERT HEADWALL ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED CULVERT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



DDS GROUP
2921 BRUSH CREEK ST.
GRAND PRAIRIE TX. 75052
WWW.DDSGROUP.COM

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
D1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 27022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT

1096

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktorocustomhomes@gmail.com

E-MAIL

blacktorocustomhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

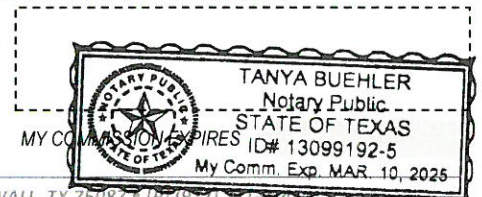
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

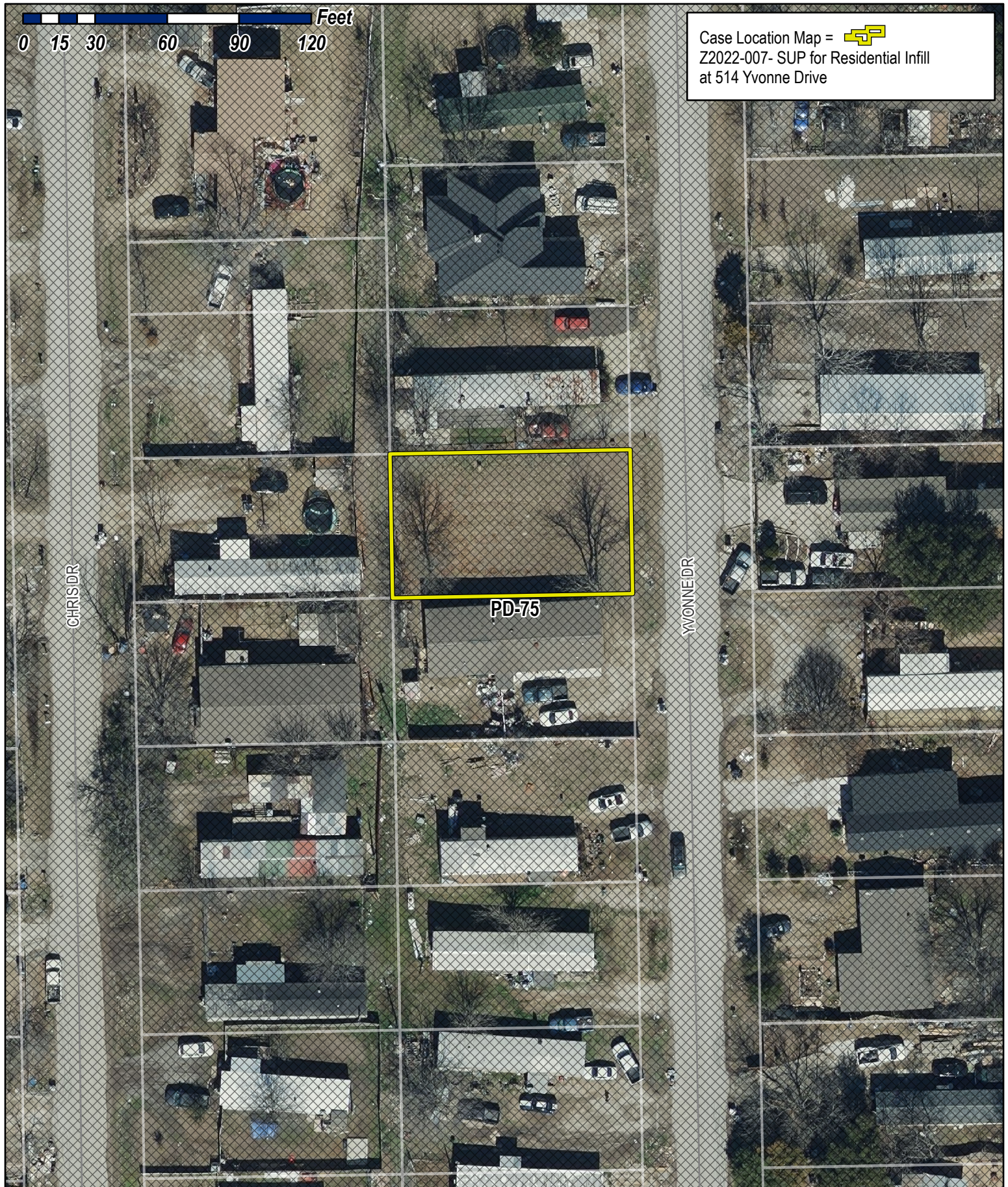
OWNER'S SIGNATURE


[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech





Case Location Map = 
 Z2022-007- SUP for Residential Infill
 at 514 Yvonne Drive



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

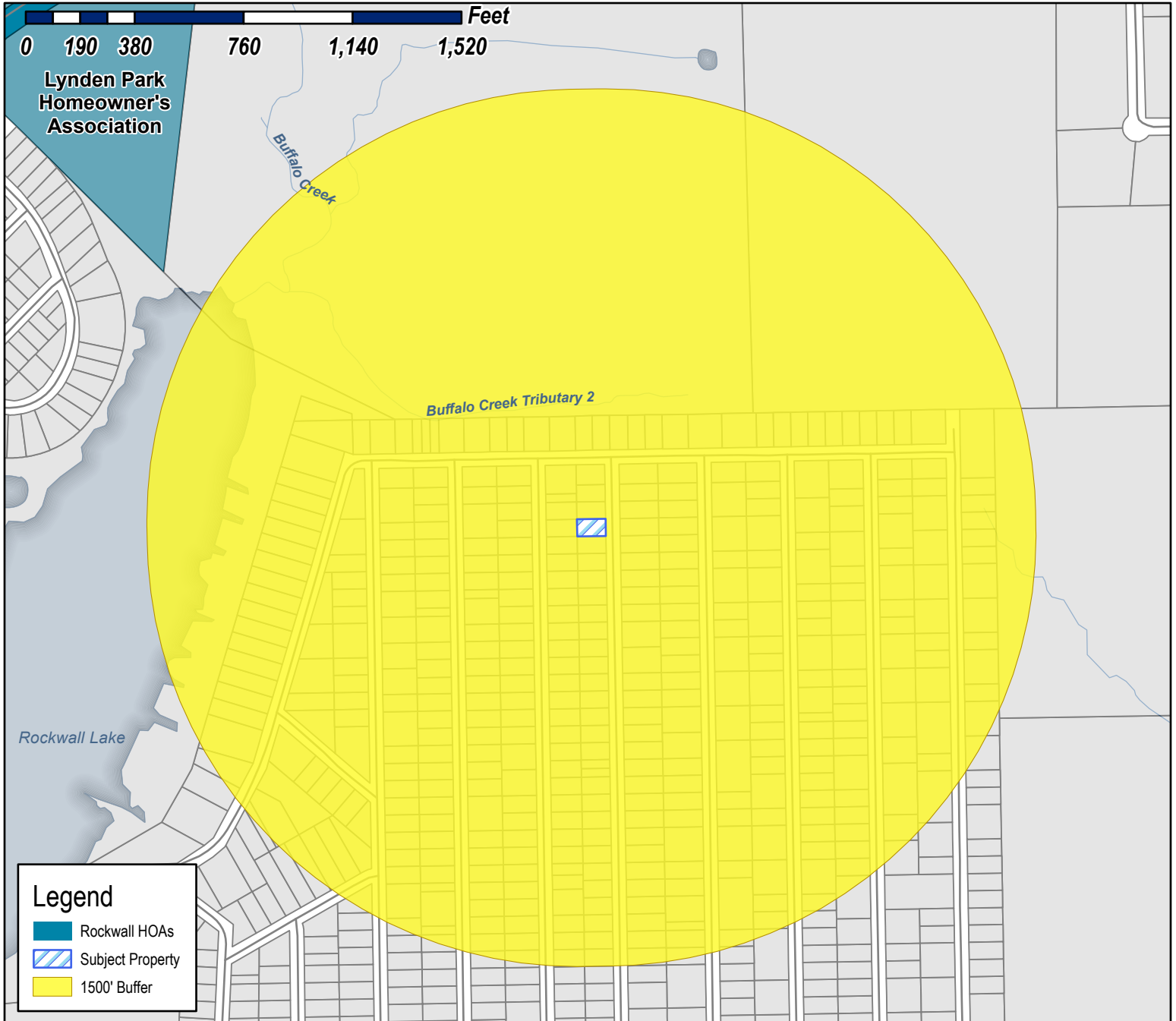




City of Rockwall

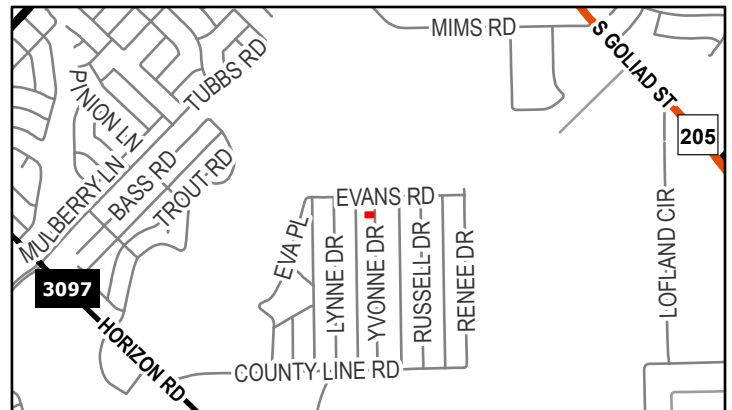
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745

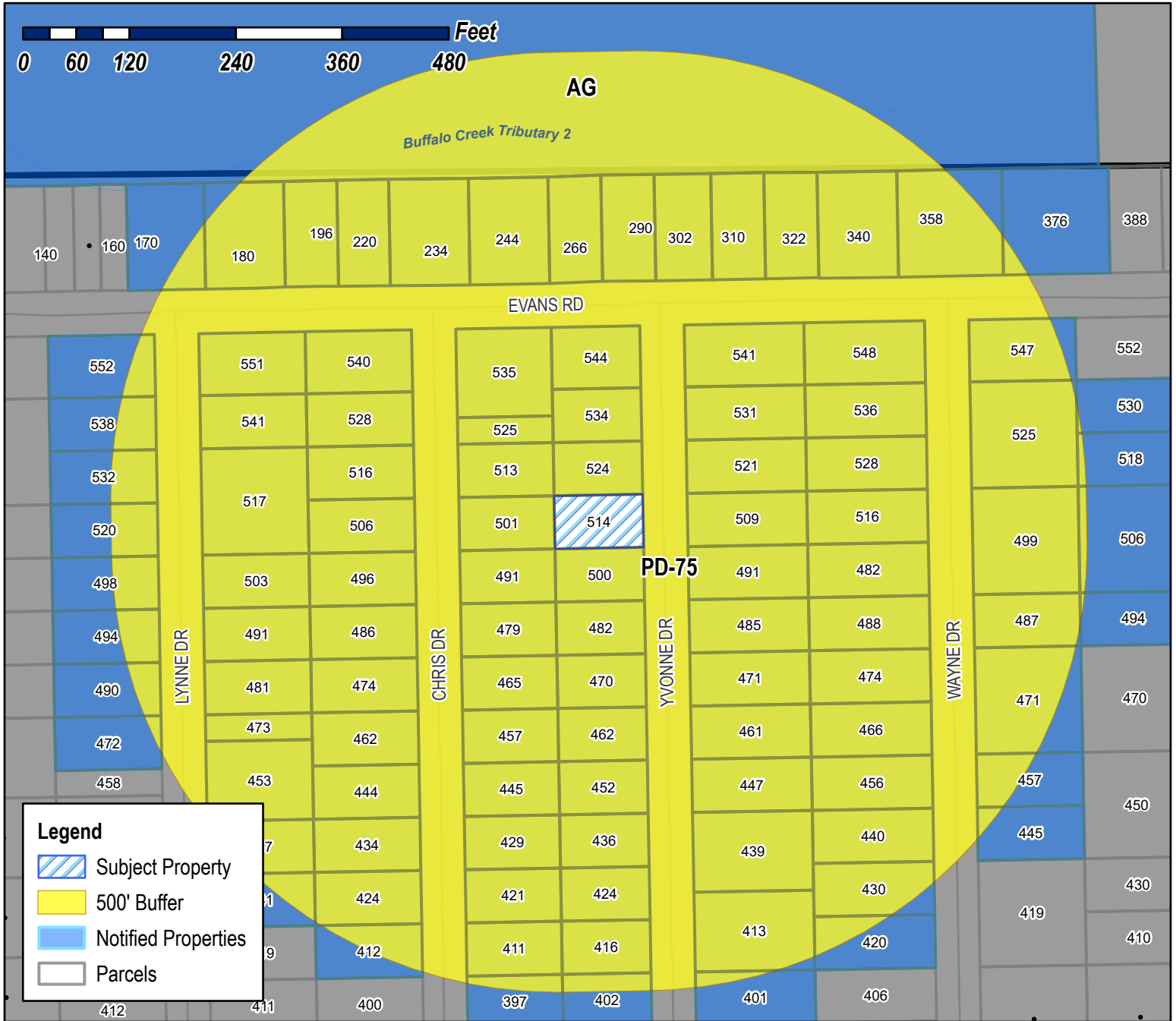




City of Rockwall

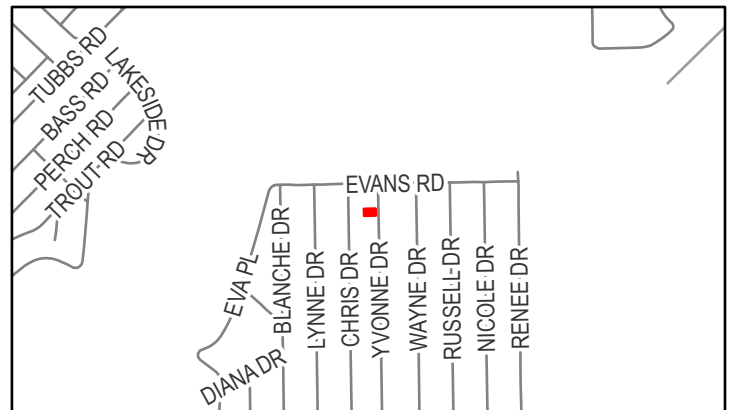
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



THELWELL LINDA
1013 BLACKBERRY TRL <Null>
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552 <Null>
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST <Null>
ROCKWALL, TX 75087

CHAPELA AARON
1188 YVONNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278 <Null>
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA
151 PERCH RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
170EVANSRD ROCKWALL
TX, 75032

DIAZ JUANA
1750 E FM 550 <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN <Null>
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD <Null>
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR <Null>
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD <Null>
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD <Null>
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
266 EVANS RD ROCKWALL
TX, 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE <Null>
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS <Null>
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
302 EVANS RD ROCKWALL
TX, 75032

SILVA JORGE & ELIZABETH
3078 S FM 551 <Null>
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD <Null>
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
373 YVONNE DR <Null>
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
401 YVONNE DR ROCKWALL
TX, 75032

JARAMILLO JOSE A
402 YVONNE DR <Null>
ROCKWALL, TX 75032

CARMONA ROBERTO
411 CHRIS DR <Null>
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
413 YVONNE DR <Null>
ROCKWALL, TX 75032

CRUZ JOSE AND
ADRIANA GUERRERO
416 YVONNE DR <Null>
ROCKWALL, TX 75032

MERKEL JAMES
420 WAYNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
421CHRISDR ROCKWALL
TX, 75032

CARDENAS RODOLFO
424 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA
424 YVONNE DR ROCKWALL
TX, 75032

RAMIREZ ZACARIAS
429 CHRIS DR ROCKWALL
TX, 75032

DELGADO DONNY
430 WAYNE DRIVE <Null>
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
436 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
439 PERCH RD <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
439 YVONNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
440 WAYNE DR ROCKWALL
TX, 75032

TORRES ALONSO
441 LYNNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE <Null>
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
445 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
445 WAYNE DR <Null>
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
447 LYNNE DR ROCKWALL
TX, 75032

PRUET JAMES D
447 YVONNE DR <Null>
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR <Null>
ROCKWALL, TX 75032

CHAPELA AARON
452YVONNEDR ROCKWALL
TX, 75032

CASTILLO ARTURO & VICTORIA
453 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
457 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
457 WAYNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR <Null>
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
462 CHRIS DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
462 YVONNE DR ROCKWALL
TX, 75032

YANES MARIA TERESA
465 CHRIS DR ROCKWALL
TX, 75032

MORENO LUIS NOE
466 WAYNE DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
470 YVONNE DR ROCKWALL
TX, 75032

SOTO DOMINGO
471 WAYNE DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
471 YVONNE DR ROCKWALL
TX, 75032

LICEA DELFINO
472 LYNNE DR ROCKWALL
TX, 75032

CASTILLO IGNACIO
473 LYNNE DR ROCKWALL
TX, 75032

MORENO ORALIA SOLIS
474 BASS ROAD <Null>
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD <Null>
ROCKWALL, TX 75032

TORRES ALONSO
474 CHRIS DR ROCKWALL
TX, 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR <Null>
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE <Null>
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR <Null>
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR <Null>
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
488 WAYNE DR ROCKWALL
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
491 YVONNE DR ROCKWALL
TX, 75032

DIAZ JOSE LUIS
494 LYNNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
496 CHRIS DR ROCKWALL
TX, 75032

LICEA JOSE DELFINO
498 LYNNE DR ROCKWALL
TX, 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR <Null>
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR <Null>
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE <Null>
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
506 CHRIS DR ROCKWALL
TX, 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR <Null>
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR <Null>
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT <Null>
GARLAND, TX 75043

SILVA JORGE & ELIZABETH
513CHRISDR ROCKWALL
TX, 75032

DIAZ JUANA
514 YVONNE DR ROCKWALL
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR <Null>
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
517 LYNNE DR ROCKWALL
TX, 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR ROCKWALL
TX, 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
521 YVONNE DR ROCKWALL
TX, 75032

GANUS HUGH
524 SESAME DR <Null>
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR <Null>
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR <Null>
ROCKWALL, TX 75032

SILVA BERTHA
528 CHRIS DR ROCKWALL
TX, 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
531 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
532 LYNNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
534 YVONNE DR ROCKWALL
TX, 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR <Null>
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
538 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ ROMAN
540 CHRIS DR <Null>
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 EVANS RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
541 LYNNE DR ROCKWALL
TX, 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR ROCKWALL
TX, 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR <Null>
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST <Null>
ROCKWALL, TX 75032

THELWELL LINDA
551 LYNNE DR ROCKWALL
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR <Null>
ROCKWALL, TX 75087

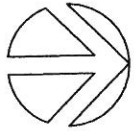
RAMIREZ MAXIMINO SIERRA
774 EUGENE RD <Null>
MEMPHIS, TN 38116

HUERTA JOSE AND MARIA
848 SMITH ACRES DR <Null>
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
926 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

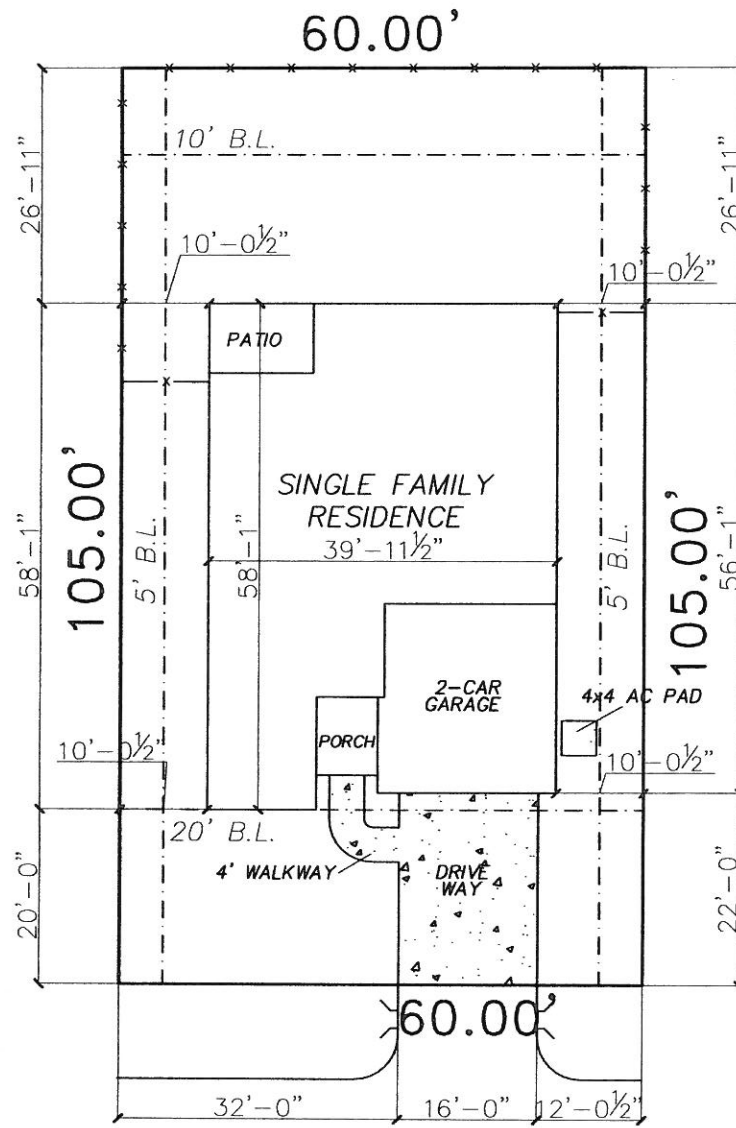
SAFRA PROPERTIES INC
PO BOX 69 <Null>
ROCKWALL, TX 75087



NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020
J.S.B. Engineer
F-20338

LEGEND

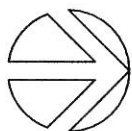
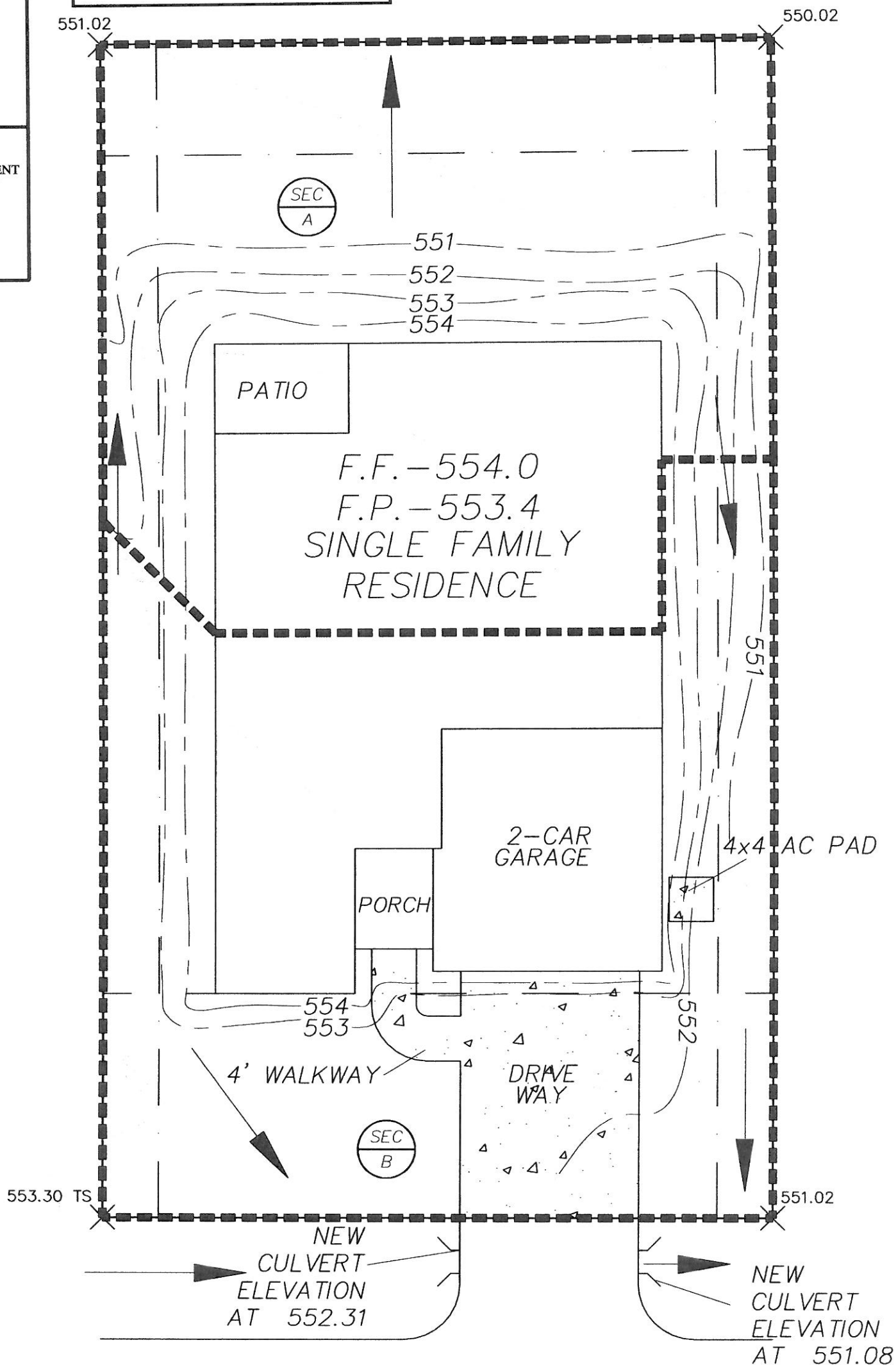
- - PROPOSED DRAINAGE
- - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- - - - - EXISTING GRADING
- 625- - PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:

- 102,000.0 X = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

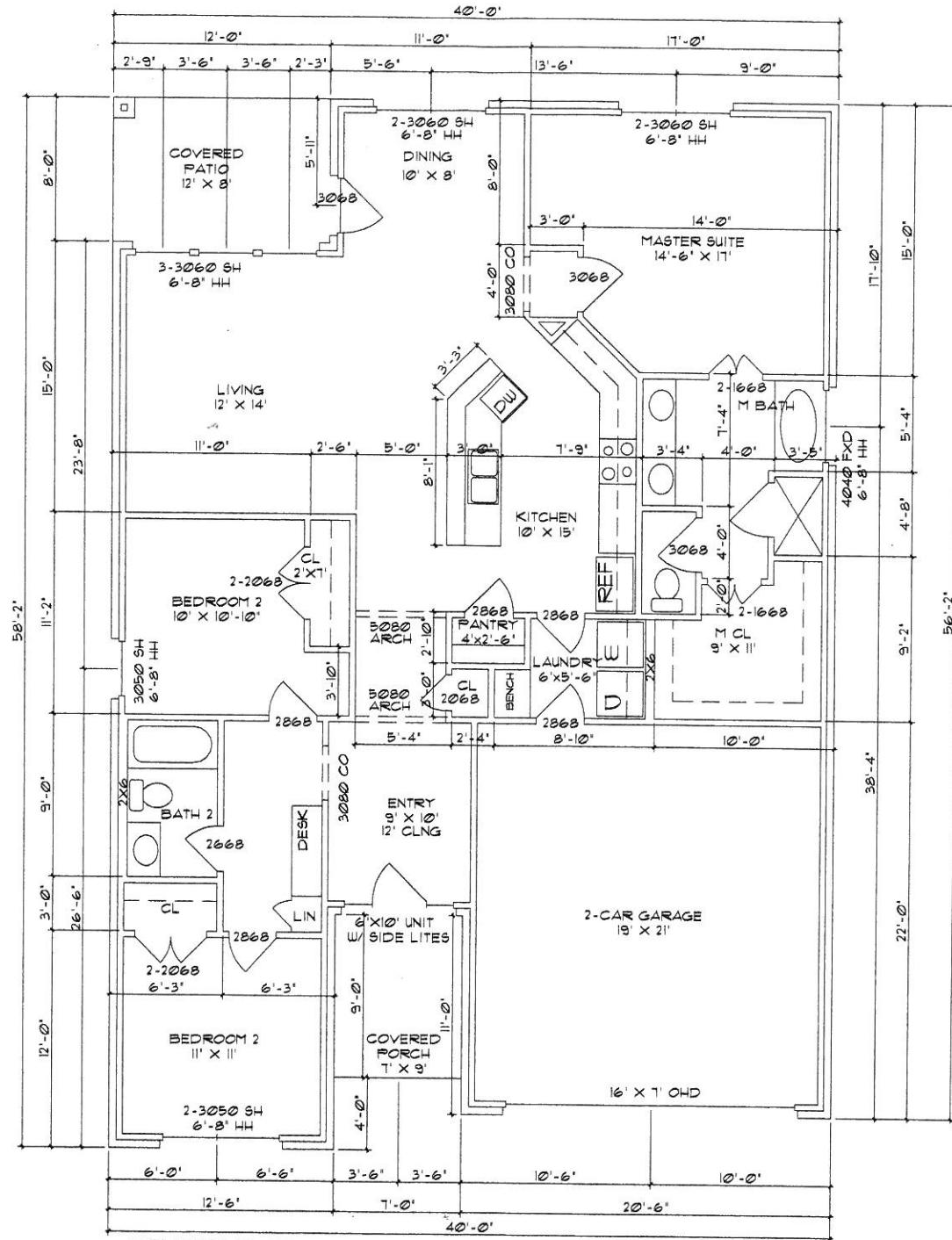
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

DDS GROUP

GRADING PLAN



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

2030 SH
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGLUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

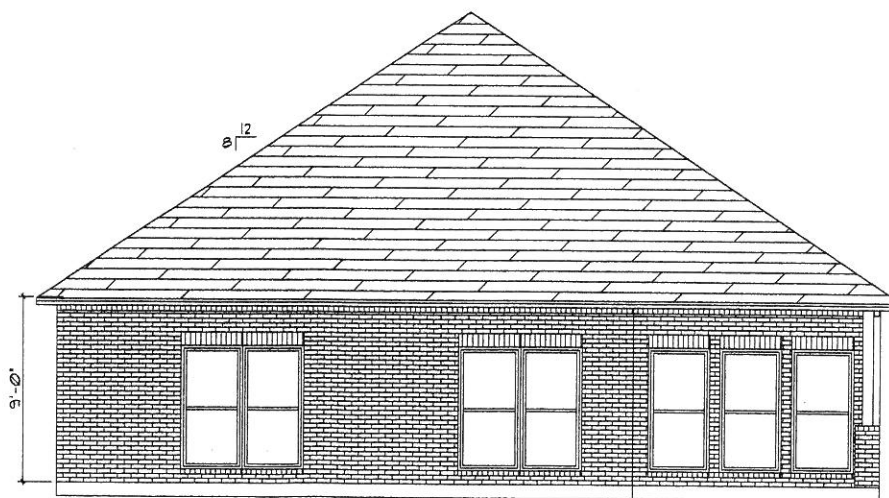
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A2



③ FRONT ELEVATION
SCALE: 1/4" = 1'-0"



② REAR ELEVATION
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

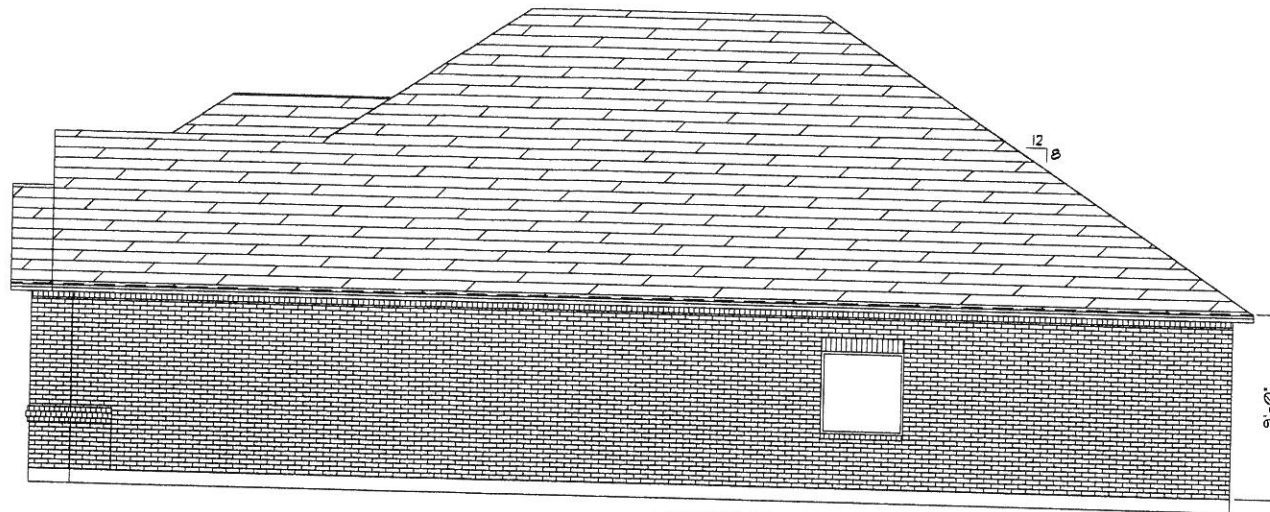
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

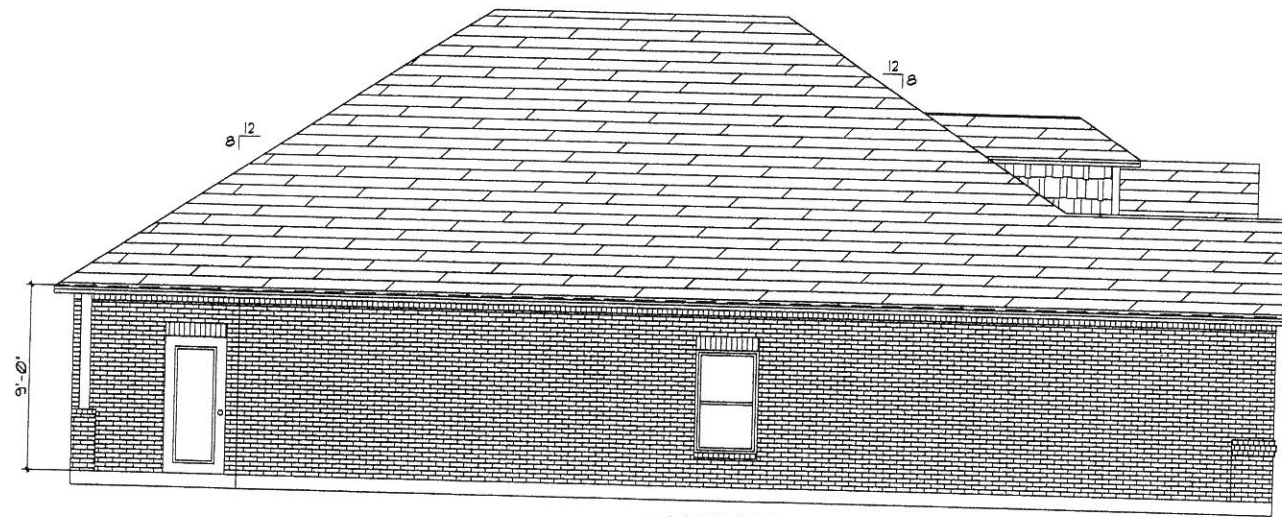
A

SHEET NUMBER:

A3



① RIGHT ELEVATION
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

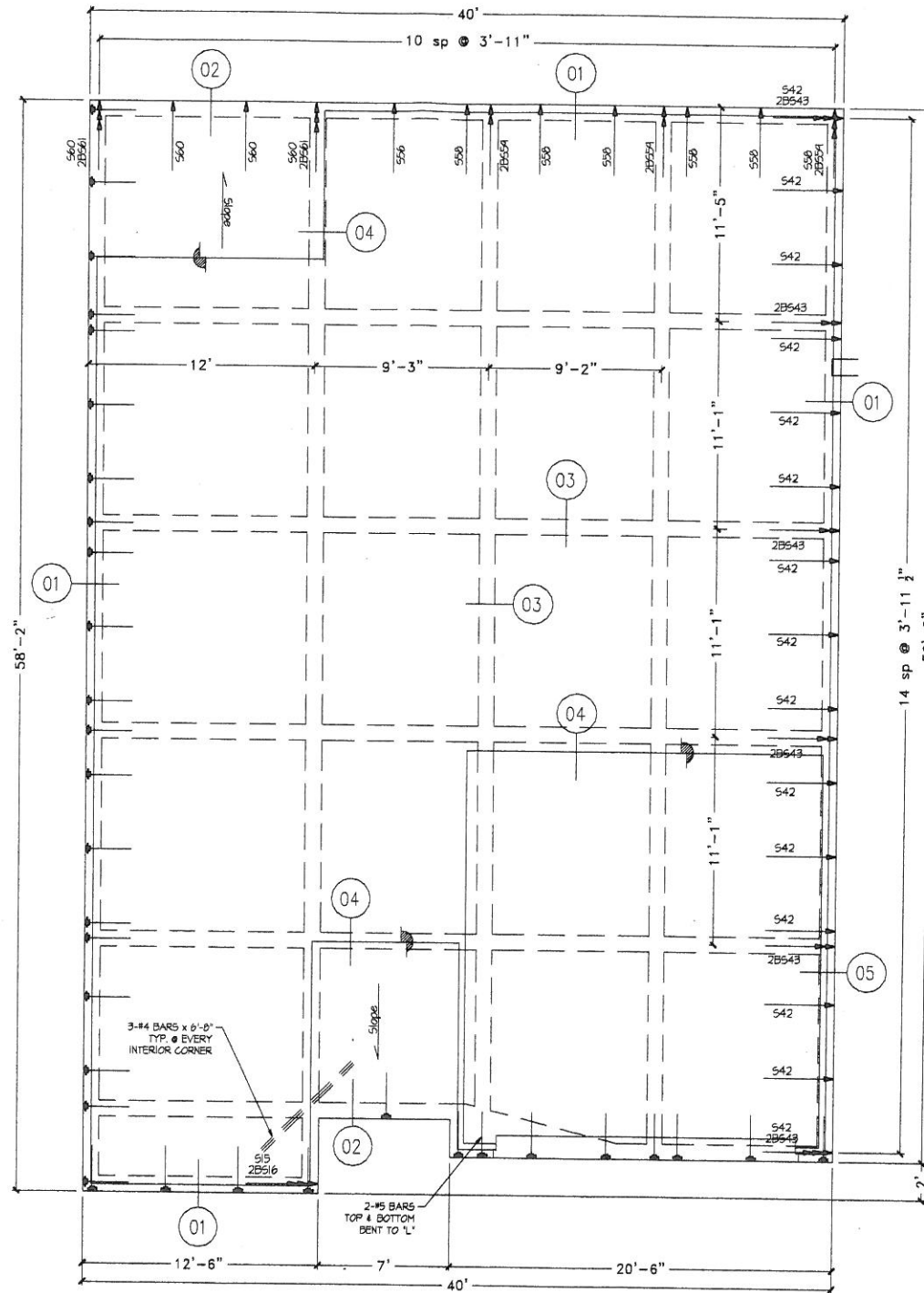
A

SHEET NUMBER:

A4



J.S. Barton
 10/30/2020
 JSB Engineer
 F-20338



- Notes:
1. Slab thickness T= 4'
 2. Beam Depth D= 28'
 3. Beam Width W= 10'
 4. SXX Denotes slab strand
 5. BSXX Denotes beam strand

- PLAN LEGEND
1. Denotes one strand to be stressed
 2. Denotes two strands to be stressed
 3. Denotes three strands to be stressed
 4. Denotes factory seating end
 5. Denotes dimension to be verified
 6. Denotes concrete chair
 7. Denotes change in slab elevation

FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



DDS GROUP 214-966-0550
 123 W. MAIN STREET SUITE #121
 GRAND PRAIRIE TX. 75050
 WWW.DDSGROUP.COM 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
 ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

F1

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH.
- STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE.
- ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION, WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

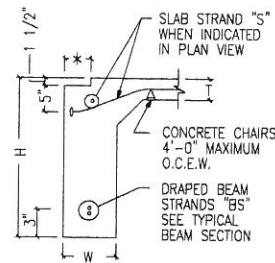
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

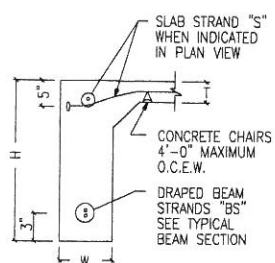
- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION AT A MINIMUM OF 5% (5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITHIN 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE-HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE-HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

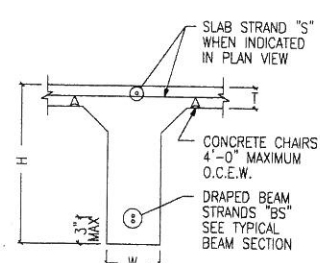
- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.



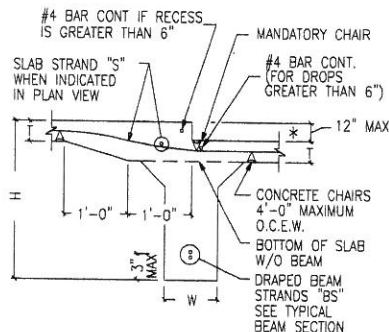
SECTION 01
NTS



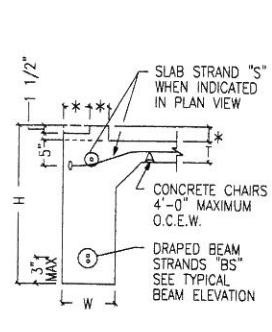
SECTION 02
NTS



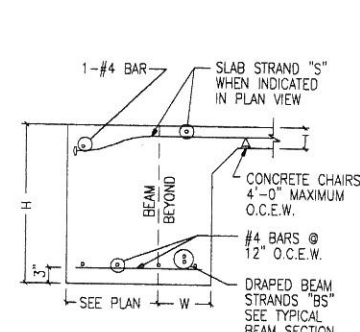
SECTION 03
NTS



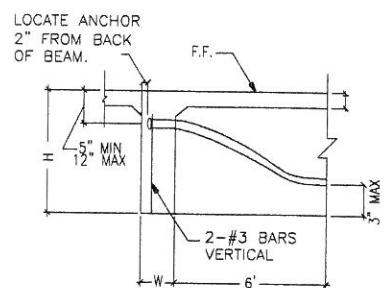
SECTION 04
NTS



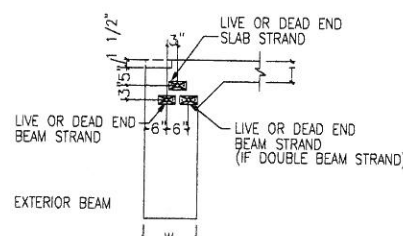
SECTION 05
NTS



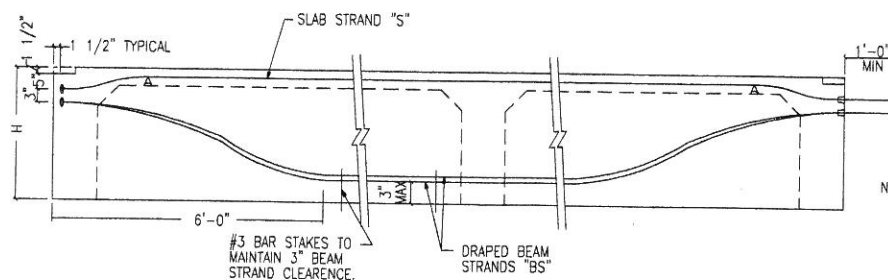
SECTION 06
NTS



SECTION 07
NTS



STRAND END LAY-OUT
NTS



TYPICAL BEAM SECTION
NTS

NOTE: BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



J. S. Barton
10/30/2020
JSB Engineer
F-20338



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

F2

MECHANICAL LEGEND, NOTES, AND SPECIFICATIONS

(ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON PLANS)

MECHANICAL LEGEND	MECHANICAL GENERAL NOTES	MECHANICAL SPECIFICATIONS																																																																		
<p>TYPE — — NECK SIZE — CFM</p> <p> DIFFUSER/GRILLE TAG</p> <p> SUPPLY AIR DIFFUSER</p> <p> RETURN AIR GRILLE</p> <p> FLEX DUCT</p> <p> FIRE DAMPER</p> <p> SMOKE DAMPER</p> <p> SUPPLY AIR FLOW</p> <p> RETURN AIR FLOW</p> <p> ELBOW DOWN</p> <p> ELBOW UP</p> <p> MANUAL VOLUME DAMPER</p> <p> THERMOSTAT</p> <p> TEMPERATURE SENSOR</p> <p> AIR EXTRACTOR</p> <p> TURNING VANES</p> <p> TRANSITION</p> <p> WALL GRILLE</p> <p> MOTORIZED DAMPER</p> <p> DUCT SMOKE DETECTOR</p>	<p>1. MATERIALS AND INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL CONFORM WITH ALL NATIONAL, STATE AND LOCAL CODES.</p> <p>2. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONSTRUCTION DELAYS.</p> <p>3. PROVIDE AND INSTALL DAMPERS, TURNING VANES AND SPLITTERS AS REQUIRED FOR EFFICIENT OPERATION AND AIR DISTRIBUTION.</p> <p>4. EXHAUST FANS FURNISHED BY THIS CONTRACTOR, ELECTRICAL CONNECTIONS BY ELECTRICAL CONTRACTOR.</p> <p>5. INSTALL FLEXIBLE CONNECTIONS AT UNIT ON SUPPLY AND RETURN AIR DUCTS.</p> <p>6. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL NECESSARY FOR CONSTRUCTION. AIR DUCTS NOT SHOWN ON PLAN, BUT IMPLIED AND NECESSARY FOR PROPER INSTALLATION AND OPERATION OF THE SYSTEMS, SHALL BE CONSIDERED AS PART OF THE MECHANICAL CONTRACTORS RESPONSIBILITY.</p> <p>7. EACH UNIT SHALL HAVE INSTALLED (1) FULLY PROGRAMMABLE, 7-DAY, 24 HOUR, THERMOSTAT EQUAL TO HONEYWELL T7350 WITH LOCKABLE PLASTIC COVERS.</p> <p>8. PROVIDE TURNING VANES IN ALL MITERED CORNERS.</p> <p>9. PROVIDE VOLUME DAMPERS WITH LOCKING HANDLES IN BRANCH DUCTS.</p> <p>10. CONSTRUCT ALL DUCT WORK IN ACCORDANCE WITH ASHRAE STANDARDS. ALL DUCTWORK TO BE SEALED WITH MASTIC SEALANT.</p> <p>11. ALL AIR DIFFUSERS PENETRATING FIRE/SMOKE WALLS TO BE EQUIPPED WITH APPROPRIATE FIRE/SMOKE DAMPER AS DUCT WORK PASSES THROUGH FIRE RATED WALL OR CEILINGS. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF FIRE WALLS AND CEILINGS. THESE PLANS ARE NOT INTENDED AS FIRE PROTECTION DRAWINGS.</p> <p>12. LIMIT FLEXIBLE DUCT WORK TO 7' FROM DIFFUSERS, ALL FLEX DUCT TO HAVE A MINIMUM OF R-8 INSULATION.</p> <p>13. THE CONTRACTOR SHALL INSTALL ALL SCHEDULE 40 PVC CONDENSATE DRAINS IN ATTIC AND ENCLOSED SPACES. INSTALL COPPER CONDENSATE DRAINS IN ALL EXPOSED AREAS. INSULATE IN ATTIC SPACES.</p> <p>14. PROVIDE CONDENSATE OVERFLOW DRAIN PAN IN ADDITION TO UNIT CONDENSATE DRAIN.</p> <p>15. PROVIDE ALL ROOF JACKS FOR EXHAUST FANS AND FRESH AIR DUCTS WITH BUG SCREEN.</p> <p>16. SUPPLY FRESH AIR WITH VOLUME DAMPER PER SCHEDULE TO EACH UNIT'S RETURN AIR PLENUM.</p> <p>17. SUPPLY COMBUSTION AIR INTO EACH MECHANICAL SPACE PER DETAIL, PROVIDE ONE INCH SQUARE OF DUCT AREA PER 1000 BTU OF GAS INPUT.</p> <p>18. DO NOT PLACE HUB DRAIN FOR CONDENSATE UNDER RETURN AIR PLENUM.</p> <p>19. PLACE VERTICAL GAS UNIT ON RETURN AIR PLENUM. SUPPLY SHOP DRAWINGS SHOWING ARRANGEMENT OF MECHANICAL SPACES. VERIFY THAT ALL COMPONENTS FIT IN MECHANICAL SPACE PRIOR TO BEGINNING CONSTRUCTION.</p> <p>20. PLACE UNITS ON VIBRATION ISOLATION PADS.</p> <p>21. INSTALL SHEET METAL DUCT PER SMCNA. RECTANGULAR SIZES TO HAVE EXTERIOR 1" INSULATION, ROUND SIZES TO HAVE 1" EXTERIOR INSULATION. IN AREAS WHERE DUCT WORK WILL BE EXPOSED, DUCT SHALL HAVE 1" INTERIOR DUCT LINER WITH ANTI-MICROBIAL COATING.</p> <p>22. BECAUSE ALL FURNACES ARE 2000 CFM AND UNDER, NO SMOKE DUCT DETECTORS ARE REQUIRED.</p> <p>23. ALL FRESH AIR INTAKES SHALL BE A MINIMUM OF 15' AWAY FROM TOILET DISCHARGES.</p> <p>24. INSTALL ALL ROOF MOUNTED EQUIPMENT A MINIMUM OF 10' AWAY FROM THE EXTERIOR BUILDING EDGE. IF PARAPET IS A MINIMUM OF 42" TALL THEN EQUIPMENT CAN BE MOUNTED TO WITHIN 4' OF SIDE WALL OR MANUFACTURERS' MINIMUM, WHICHEVER IS GREATER.</p>	<p>GENERAL CONDITIONS:</p> <p>A. THE REQUIREMENTS AS SET FORTH UNDER GENERAL CONDITIONS, INSTRUCTIONS TO BIDDERS AND GENERAL REQUIREMENTS ARE A PART OF THIS CONTRACT. IF NO GENERAL SPECIFICATIONS ARE INCLUDED, THE AIA STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, LATEST EDITION, SHALL DICTATE GENERAL CONDITIONS.</p> <p>B. BIDS SHALL BE BASED ON A COMPLETE/FULL SET OF DRAWINGS.</p> <p>C. CONTRACTOR MUST READ THE ENTIRE SPECIFICATIONS AND DRAWINGS COVERING OTHER BRANCHES OF WORK. HE IS RESPONSIBLE FOR COORDINATION OF HIS WORK WITH WORK PERFORMED BY OTHER TRADES.</p> <p>SCOPE OF WORK:</p> <p>A. FURNISH ALL LABOR, MATERIALS, TESTING, EQUIPMENT, INCIDENTALS AND TOOLS TO PERFORM MECHANICAL WORK SHOWN, NOTED OR SCHEDULED FOR A COMPLETE AND FINISHED INSTALLATION. MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE NEW, UNLESS SPECIFICALLY DESIGNATED FOR REUSE OR RELOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER OR ARCHITECT.</p> <p>B. THE WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITION ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.</p> <p>C. INCLUDE ANY LABOR AND MATERIALS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIVE MECHANICAL SYSTEMS.</p> <p>PERMITS & FEES:</p> <p>A. SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, ASSESSMENTS AND INSPECTION CERTIFICATES THAT RELATE TO THE MECHANICAL CONTRACT.</p> <p>B. FURNISH APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF PROJECT.</p> <p>DRAWINGS:</p> <p>A. THE MECHANICAL PLANS AND DETAILS ARE DIAGRAMMATIC, NOT SHOWING EVERY ITEM IN EXACT LOCATION OR DETAIL. MEASUREMENTS AND LOCATIONS MUST BE FIELD VERIFIED AND COORDINATED WITH EXISTING FIELD CONDITIONS AND ALL NEW WORK OF OTHER TRADES. PROVIDE FITTINGS, OFFSETS, ETC. AS NECESSARY TO PROVIDE A COMPLETE SYSTEM.</p> <p>SHOP DRAWINGS:</p> <p>A. SUBMIT FIVE COPIES OF MATERIAL LISTS AND SHOP DRAWINGS FOR MAJOR EQUIPMENT TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS EARLY ENOUGH IN PROJECT TO ALLOW AMPLE TIME FOR OWNER'S REVIEW WITHOUT CAUSING TIME DELAYS OR CONFLICTS IN THE JOB PROGRESS. SUBMITTALS SHALL BE IN ACCORDANCE WITH GENERAL CONDITIONS AND THE MANUFACTURERS LISTED ON THE DRAWINGS AND SHALL BEAR THE STAMP OF THE CONTRACTOR SHOWING THAT HE HAS REVIEWED AND APPROVED THEM AND THAT THEY ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS. LACK OF SUCH CONTRACTOR'S APPROVAL WILL BE CAUSE FOR REJECTION WITHOUT REVIEW BY THE OWNER. SUBMIT SHOP DRAWINGS FOR ALL SCHEDULED EQUIPMENT.</p> <p>B. MANUFACTURERS LISTED ON THE DRAWINGS WERE USED AS THE BASIS OF DESIGN. THE CONTRACTOR MAY, AT THEIR OPTION, PROVIDE AN EQUAL MANUFACTURED PRODUCT. THE CONTRACTOR IS ENTIRELY RESPONSIBLE FOR ANY AND ALL COSTS REQUIRED TO ALTER THE SYSTEM DESIGN, WHETHER IDENTIFIED OR NOT IDENTIFIED BY THE ENGINEER OR ARCHITECT, SHOULD AN EQUAL MANUFACTURER BE SUPPLIED.</p> <p>PIPE HANGERS AND SUPPORTS:</p> <p>A. PROVIDE ADJUSTABLE CLEVIS HANGERS SUPPORTED BY ALL-THREAD ATTACHED TO BUILDING STRUCTURE. SUPPORT HANGERS AND SUPPORT SPACING SHALL BE PER MSS SP-69, AND PER STATE AND LOCAL CODES.</p> <p>MECHANICAL INSULATION:</p> <p>A. INSULATE SUPPLY AND RETURN DUCTWORK WITH 1-1/2" THICK, 0.75 LB. DENSITY BLANKET TYPE, ASTM C553, TYPE 1, CLASS B-2 FIBERGLASS INSULATION. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO PROVIDE A VAPOR-PROOF INSTALLATION. INTERNALLY INSULATE THE FIRST 15 FEET OF SUPPLY AND RETURN DUCT AT HVAC UNIT WITH 1" DUCT LINER (WITH ANTI-MICROBIAL COATING) FOR SOUND ATTENUATION.</p> <p>B. INSULATE PIPING WITH CLOSED CELL ELASTOMERIC TUBING INSULATION, ASTM C534 TYPE 1 WITH FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPMENT LESS THAN 50. REFRIGERATION SUCTION PIPING INSULATION TO BE 1/2". INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.</p> <p>REFRIGERANT PIPING:</p> <p>A. USE TYPE 'K' (MIN.) COPPER TUBE. DEHYDRATED REFRIGERANT TUBING, DUCTILE AND FLEXIBLE, CHEMICALLY DRY AND CLEAN WITH SEALED ENDS.</p> <p>B. LEAK TEST UNDER VACUUM.</p> <p>HVAC EQUIPMENT:</p> <p>A. FURNISH AND INSTALL EQUIPMENT AS SHOWN ON THE DRAWINGS. FURNISH AND INSTALL DUCT SMOKE DETECTORS FOR ALL HVAC UNITS OVER 2,000 CFM, AND PER STATE AND LOCAL CODES. PIPE CONDENSATE TO NEAREST APPROVED DISCHARGE POINT, WITH APPROPRIATE SIZED TRAP, AND 3/4" TYPE 'K' COPPER PIPING (MIN.).</p> <p>B. GAS-FIRED APPLIANCES: PROVIDE FLUE PIPING PER APPLICABLE CODES. ENSURE THAT THE COMBUSTION AIR FOR GAS-FIRED APPLIANCES IS IN ACCORDANCE WITH APPLICABLE CODES.</p> <p>DUCTWORK:</p> <p>A. GALVANIZED SHEET STEEL: LOCK-FORMING QUALITY; COMPLYING WITH ASTM A 653/A 653M AND HAVING G90 COATING DESIGNATION. USE 'DUCTMATE' TYPE FLANGED CONNECTIONS, UNLESS NOTED OTHERWISE. ALL DUCT DIMENSIONS ARE INSIDE CLEAR DIMENSIONS.</p> <p>B. COMPLY WITH SMCNA'S "HVAC DUCT CONSTRUCTION STANDARDS—METAL AND FLEXIBLE" FOR ACCEPTABLE MATERIALS, MATERIAL THICKNESSES, AND DUCT CONSTRUCTION METHODS, UNLESS OTHERWISE INDICATED. SHEET METAL MATERIALS SHALL BE FREE OF PITTING, SEAM MARKS, ROLLER MARKS, STAINS, DISCOLORATIONS, AND OTHER IMPERFECTIONS.</p> <p>C. FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTIONS TO AIR DEVICES. FLEX DUCT MUST BE CLASS 0 OR 1, CONFORM TO UL 181, HAVE NO SHORT RADIUS 90 DEGREE BENDS, AND SHALL NOT EXCEED 72" IN LENGTH.</p> <p>DUCT ACCESSORIES:</p> <p>A. MANUFACTURED TURNING VANES: FABRICATE 1-1/2-INCH WIDE, SINGLE VANE, CURVED BLADES OF GALVANIZED SHEET STEEL SET 3/4 INCH; SUPPORT WITH BARS PERPENDICULAR TO BLADES SET 2 INCHES O.C.; AND SET INTO VANE RUNNERS SUITABLE FOR DUCT MOUNTING. INSTALL TURNING VANES IN ALL RECTANGULAR DUCTS UNLESS ELBOWS WITH CENTERLINE RADIUS OF R = 1.5D ARE USED.</p> <p>B. INSULATED-DUCT CONNECTORS: UL 181, CLASS 1, BLACK POLYMER FILM SUPPORTED BY HELICALLY WOUND, SPRING-STEEL WIRE, FIBROUS-GLASS INSULATION; POLYETHYLENE VAPOR BARRIER FILM; 4-INCH WG PRESSURE RATING.</p> <p>C. DIFFUSERS, REGISTERS, AND GRILLES AS SCHEDULED ON THE DRAWINGS.</p> <p>HVAC CONTROLS:</p> <p>A. FURNISH AND INSTALL 7-DAY FULLY PROGRAMMABLE ELECTRONIC THERMOSTAT, HEAT-OFF-COOL-AUTO SYSTEM SWITCH, COMPATIBLE WITH HVAC EQUIPMENT PROVIDED. ALL HVAC CONTROL WIRING IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. CONTROLS SHALL BE CAPABLE OF ANTICIPATING SEASONAL TRENDS.</p> <p>TESTING, ADJUSTING, AND BALANCING:</p> <p>A. AS PART OF THIS CONTRACT, THE ENTIRE SYSTEM SHALL BE TESTED, ADJUSTED, AND BALANCED BY AN INDEPENDENT CONTRACTOR AND SHALL CONFORM TO AABC STANDARDS. SYSTEMS SHALL BE ADJUSTED TO WITHIN +/- 8% OF DESIGN CONDITIONS.</p> <p>INSTALLATION:</p> <p>A. ALL MECHANICAL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING AND REPAIRING. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS CHANNELS, RODS, ETC., NECESSARY FOR THE INSTALLATION OF WORK AND SHALL BE FASTENED TO BUILDING STRUCTURE, BUT NOT PIPING OR DUCTWORK. ALL PIPING SHALL BE CONCEALED WHEREVER POSSIBLE. EXPOSED PIPES SHALL BE IN STRAIGHT LINES PARALLEL WITH OR AT RIGHT ANGLES TO BUILDING LINES.</p> <p>B. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ANY/ALL NECESSARY MECHANICAL DEMOLITION WORK THAT IS REQUIRED TO FACILITATE THE NEW INSTALLATION. FIELD COORDINATE PRIOR TO BIDS. REMOVE AND/OR MODIFY EQUIPMENT, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH OWNER AND GENERAL CONTRACTOR TO AVOID CONFLICTS.</p> <p>C. COMPLETED SYSTEMS SHALL BE TESTED, BALANCED AND GUARANTEED.</p> <p>GUARANTEE:</p> <p>A. MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THE MECHANICAL CONTRACTOR'S EXPENSE.</p> <p>B. FOR THE SAME PERIOD, MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PREMISES CAUSED BY DEFECTS IN WORKMANSHIP OR IN THE WORK OR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE MECHANICAL CONTRACTOR.</p>																																																																		
<p style="text-align: center;">MECHANICAL ABBREVIATIONS</p> <table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 10%;">AC</td><td>ABOVE CEILING</td></tr> <tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td></tr> <tr><td>AHU</td><td>AIR HANDLING UNIT</td></tr> <tr><td>BF</td><td>BELOW FLOOR</td></tr> <tr><td>BFC</td><td>BELOW FINISHED CEILING</td></tr> <tr><td>BG</td><td>BELOW GRADE</td></tr> <tr><td>BRF</td><td>BELOW RAISED FLOOR</td></tr> <tr><td>CD</td><td>CONDENSATE DRAIN</td></tr> <tr><td>CRAC</td><td>COMPUTER ROOM AIR CONDITIONER</td></tr> <tr><td>CU</td><td>CONDENSING UNIT</td></tr> <tr><td>DS</td><td>DISCONNECT SWITCH</td></tr> <tr><td>EA</td><td>EXHAUST AIR</td></tr> <tr><td>EX</td><td>EXISTING</td></tr> <tr><td>EDH</td><td>ELECTRIC DUCT HEATER</td></tr> <tr><td>EF</td><td>EXHAUST FAN</td></tr> <tr><td>ERV</td><td>ENERGY RECOVERY VENTILATOR</td></tr> <tr><td>EUH</td><td>ELECTRIC UNIT HEATER</td></tr> <tr><td>FA</td><td>FRESH AIR</td></tr> <tr><td>FCU</td><td>FAN COIL UNIT</td></tr> <tr><td>FPB</td><td>FAN POWERED BOX</td></tr> <tr><td>GC</td><td>GENERAL CONTRACTOR</td></tr> <tr><td>HP</td><td>HEAT PUMP</td></tr> <tr><td>MVD</td><td>MANUAL VOLUME DAMPER</td></tr> <tr><td>N</td><td>NEW</td></tr> <tr><td>QBD</td><td>OPPOSED BLADE DAMPER</td></tr> <tr><td>R</td><td>RELOCATED</td></tr> <tr><td>RA</td><td>RETURN AIR</td></tr> <tr><td>RTU</td><td>ROOF TOP UNIT</td></tr> <tr><td>SA</td><td>SUPPLY AIR</td></tr> <tr><td>UH</td><td>UNIT HEATER</td></tr> <tr><td>WSHP</td><td>WATER SOURCE HEAT PUMP</td></tr> <tr><td>VAV</td><td>VARIABLE AIR VOLUME</td></tr> <tr><td>VTR</td><td>VENT THRU ROOF</td></tr> </table>	AC	ABOVE CEILING	AFF	ABOVE FINISHED FLOOR	AHU	AIR HANDLING UNIT	BF	BELOW FLOOR	BFC	BELOW FINISHED CEILING	BG	BELOW GRADE	BRF	BELOW RAISED FLOOR	CD	CONDENSATE DRAIN	CRAC	COMPUTER ROOM AIR CONDITIONER	CU	CONDENSING UNIT	DS	DISCONNECT SWITCH	EA	EXHAUST AIR	EX	EXISTING	EDH	ELECTRIC DUCT HEATER	EF	EXHAUST FAN	ERV	ENERGY RECOVERY VENTILATOR	EUH	ELECTRIC UNIT HEATER	FA	FRESH AIR	FCU	FAN COIL UNIT	FPB	FAN POWERED BOX	GC	GENERAL CONTRACTOR	HP	HEAT PUMP	MVD	MANUAL VOLUME DAMPER	N	NEW	QBD	OPPOSED BLADE DAMPER	R	RELOCATED	RA	RETURN AIR	RTU	ROOF TOP UNIT	SA	SUPPLY AIR	UH	UNIT HEATER	WSHP	WATER SOURCE HEAT PUMP	VAV	VARIABLE AIR VOLUME	VTR	VENT THRU ROOF		
AC	ABOVE CEILING																																																																			
AFF	ABOVE FINISHED FLOOR																																																																			
AHU	AIR HANDLING UNIT																																																																			
BF	BELOW FLOOR																																																																			
BFC	BELOW FINISHED CEILING																																																																			
BG	BELOW GRADE																																																																			
BRF	BELOW RAISED FLOOR																																																																			
CD	CONDENSATE DRAIN																																																																			
CRAC	COMPUTER ROOM AIR CONDITIONER																																																																			
CU	CONDENSING UNIT																																																																			
DS	DISCONNECT SWITCH																																																																			
EA	EXHAUST AIR																																																																			
EX	EXISTING																																																																			
EDH	ELECTRIC DUCT HEATER																																																																			
EF	EXHAUST FAN																																																																			
ERV	ENERGY RECOVERY VENTILATOR																																																																			
EUH	ELECTRIC UNIT HEATER																																																																			
FA	FRESH AIR																																																																			
FCU	FAN COIL UNIT																																																																			
FPB	FAN POWERED BOX																																																																			
GC	GENERAL CONTRACTOR																																																																			
HP	HEAT PUMP																																																																			
MVD	MANUAL VOLUME DAMPER																																																																			
N	NEW																																																																			
QBD	OPPOSED BLADE DAMPER																																																																			
R	RELOCATED																																																																			
RA	RETURN AIR																																																																			
RTU	ROOF TOP UNIT																																																																			
SA	SUPPLY AIR																																																																			
UH	UNIT HEATER																																																																			
WSHP	WATER SOURCE HEAT PUMP																																																																			
VAV	VARIABLE AIR VOLUME																																																																			
VTR	VENT THRU ROOF																																																																			

H-ENTERPRISE
514 YVONNE DRIVE
ROCKWALL, TEXAS

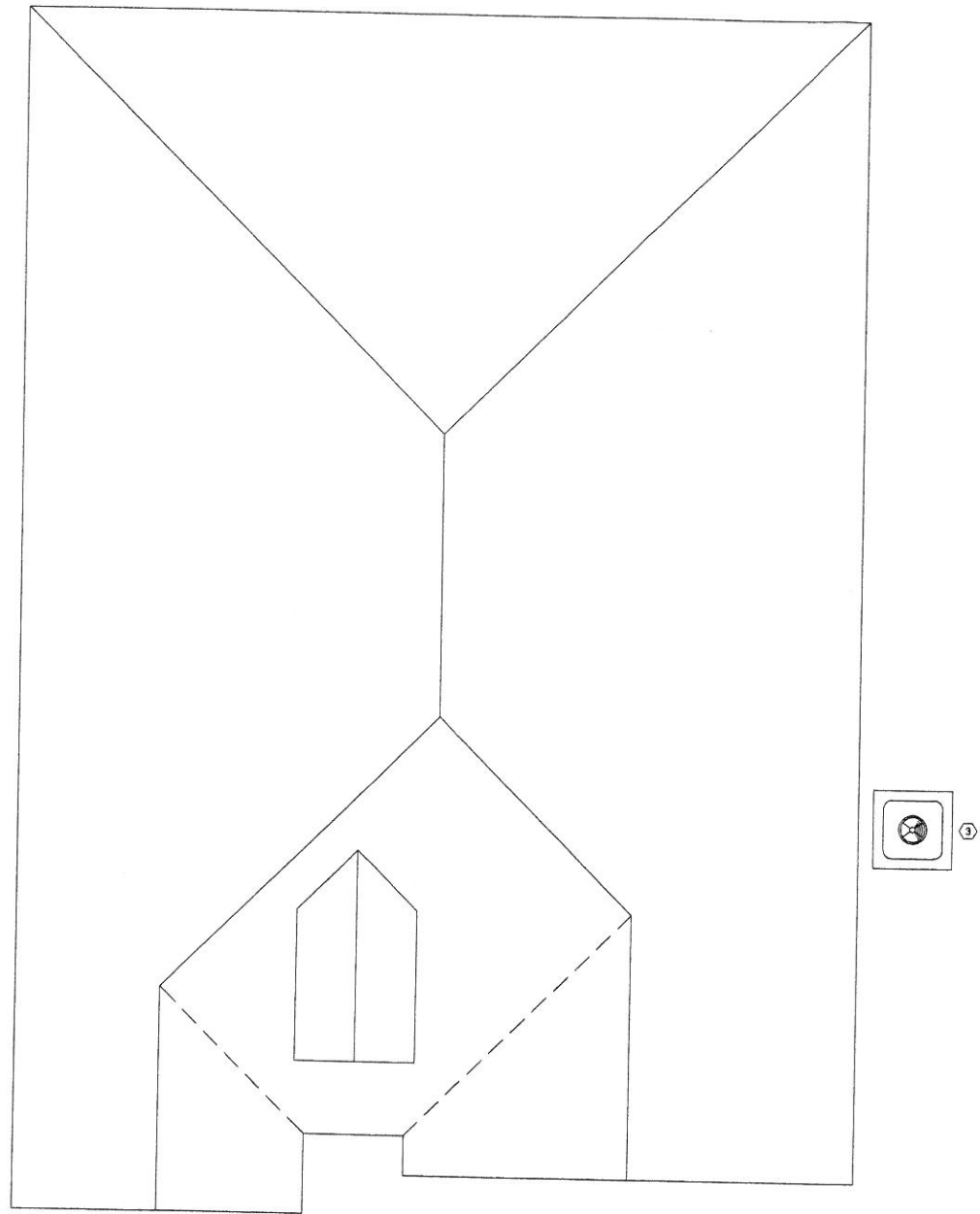
MECHANICAL SPECIFICATIONS

No.	Date	Revision Description



SHEET NO.
M0.1

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



Sheet List Table	
Sheet Number	Sheet Title
MEP1.1	MEP ROOF PLAN
M0.1	MECHANICAL SPECIFICATIONS
M1.1	MECHANICAL PLAN

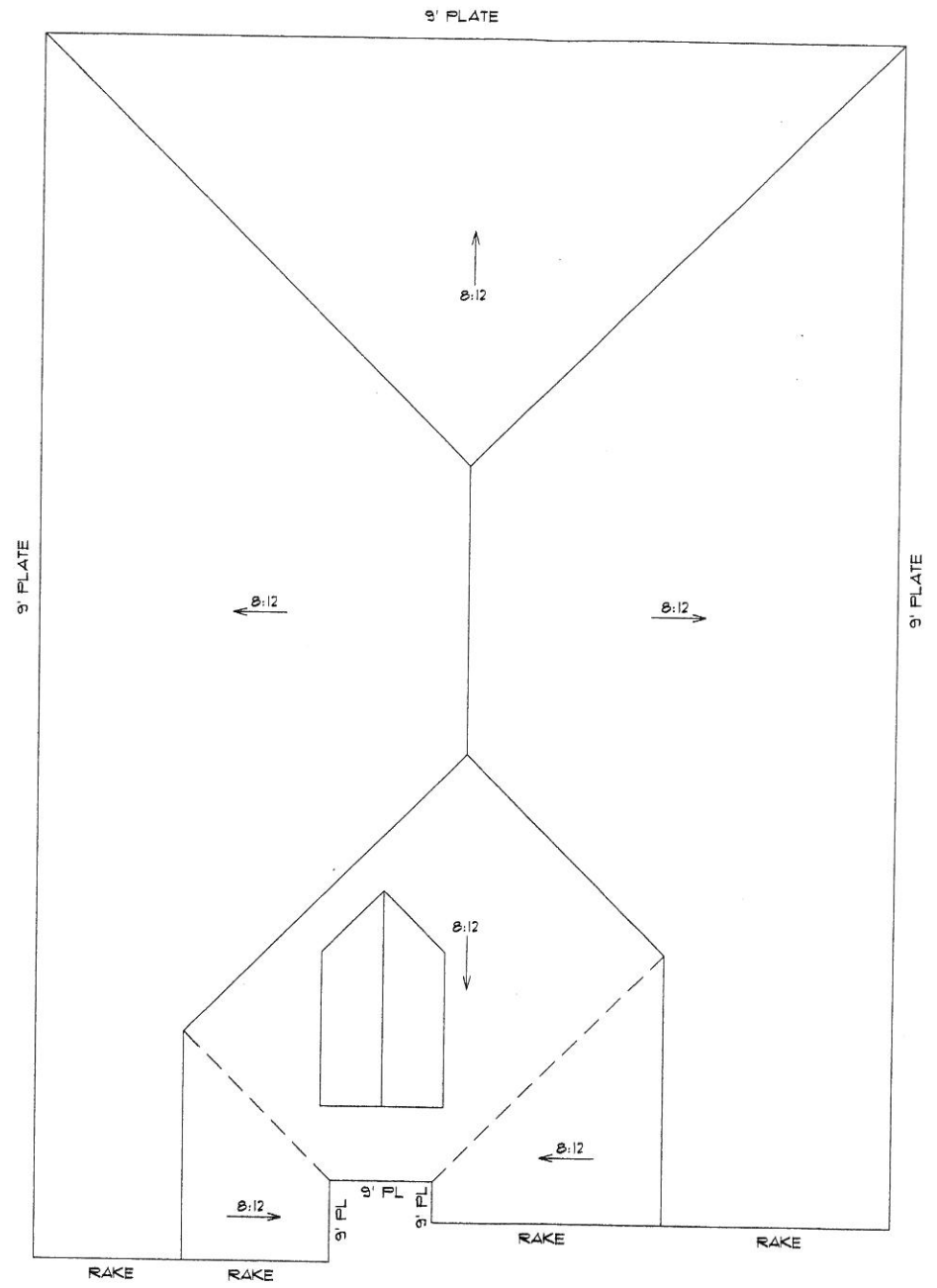

1
MEP1.1
SCALE: 1/8" = 1'-0"


H-ENTERPRISE
 514 YVONNE DRIVE
 ROCKWALL, TEXAS

MEP ROOF PLAN

No.	Date	Revision Description

SHEET NO.
MEP1.1



② ROOF PLAN
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

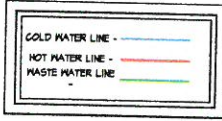
DESIGNER:
DDS GROUP

PROJECT #:

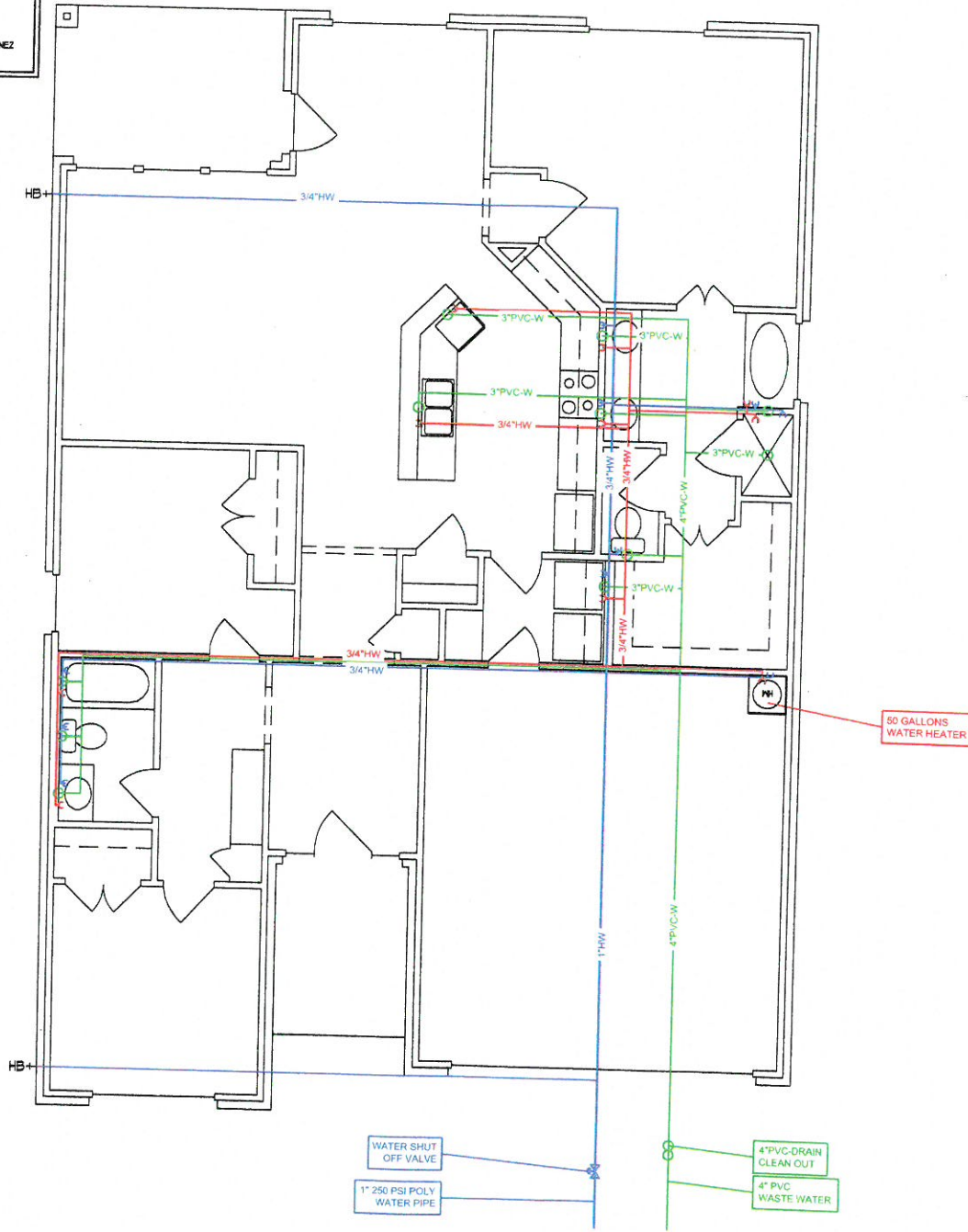
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

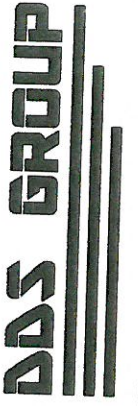
SHEET NUMBER:
A5



ACH PLUMBING CO.
PO BOX 210984
DALLAS TX 75221
LIC. H-0288 ADAM MARTINEZ
(972) 207-0288



1 PLUMBING PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGLUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #

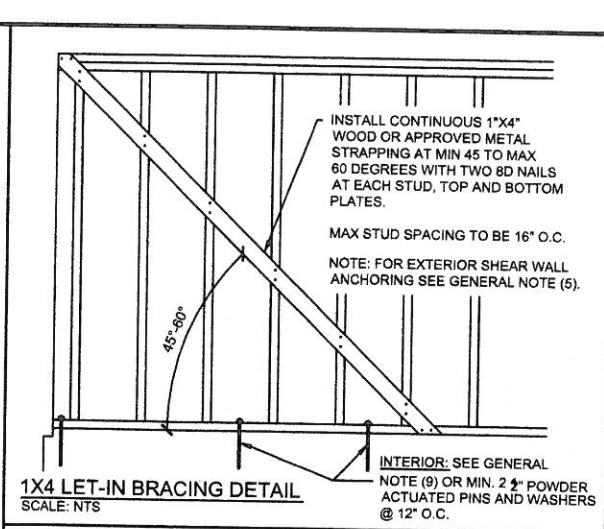
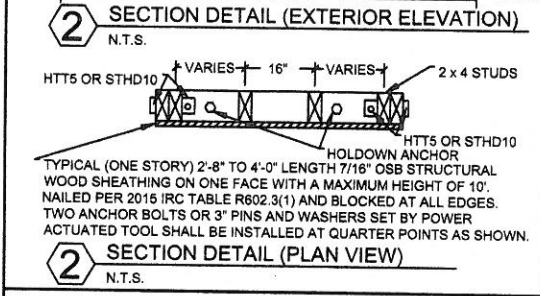
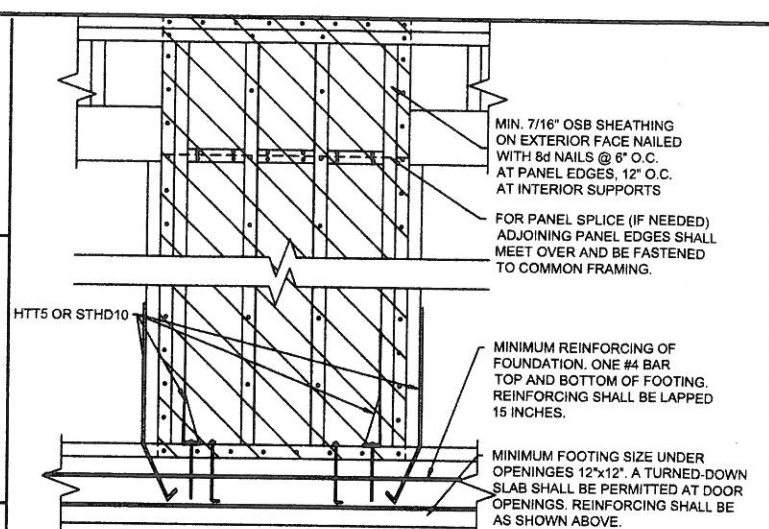
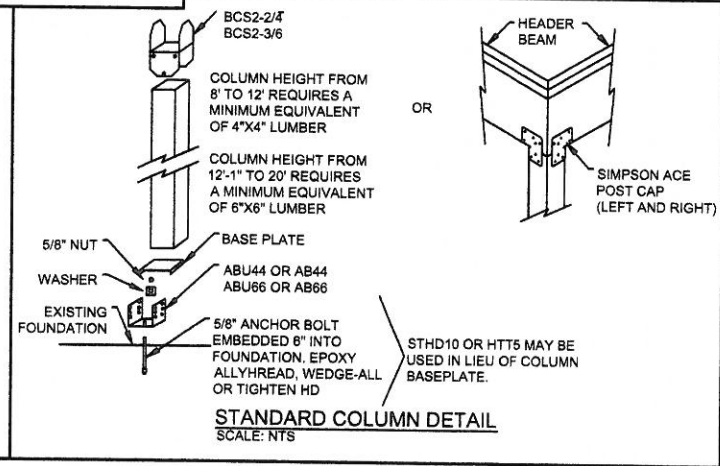
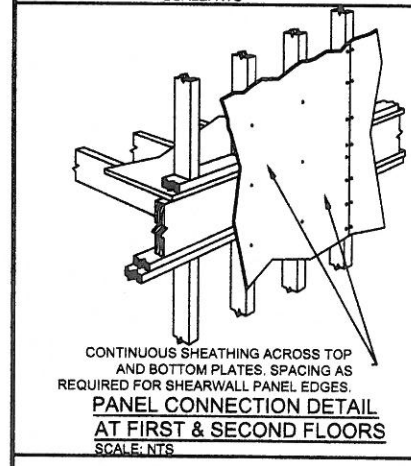
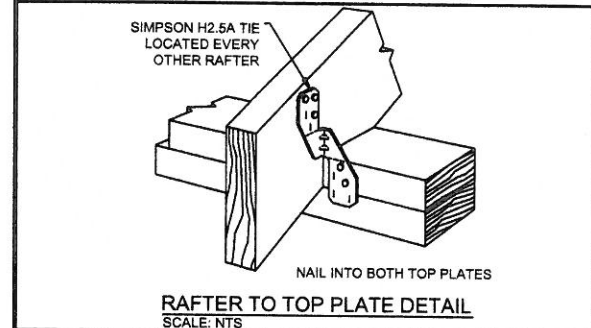
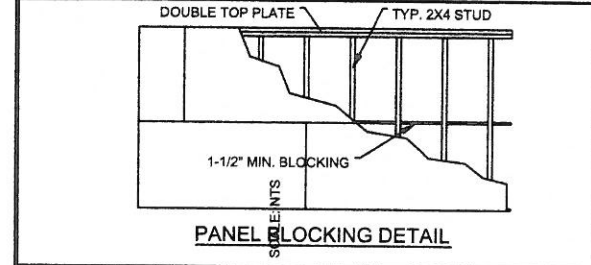
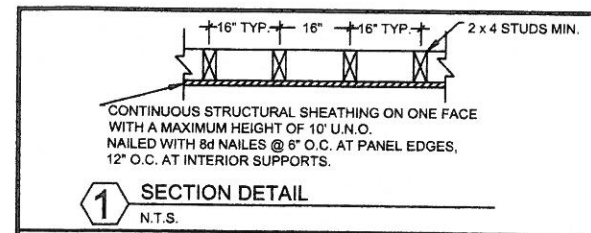
**514 YVONNE DR.
PLUMBING PLAN**

ELEVATION:

A

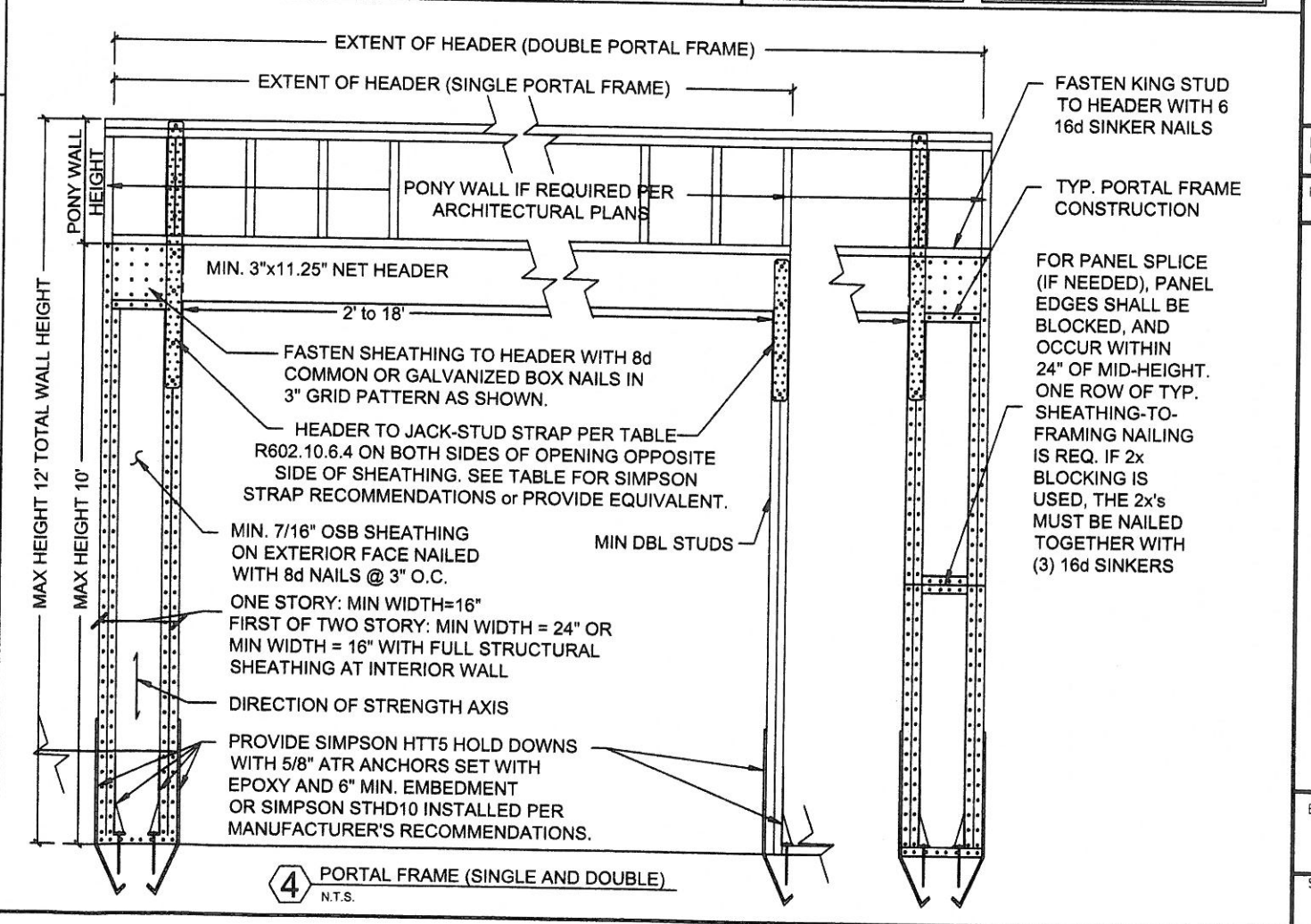
SHEET NUMBER:

P1



STRUCTURAL SHEATHING
IS CONSIDERED ONE OF THE FOLLOWING:
• MIN 7/16" OSB
• RED THERMOPLY
• BLUE THERMOPLY

- GENERAL NOTES**
1. REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
 2. ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
 3. SHEAR WALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDDSILL THROUGH THE DOUBLE TOP PLATE.
 4. BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
 5. MUDDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDDSILL ANCHORS @ 8'-0" O.C.
 6. WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
 7. ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
 8. LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS-18 X-BRACING.
 9. ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
 - 9.1. INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
 - 9.2. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.
- NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°
- NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



STATE OF TEXAS
J. S. BARTON
58124
LICENSED PROFESSIONAL ENGINEER

10/30/2020
JSB ENGINEER
F-20338

DDS GROUP
132 E MAIN ST.
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM

DESIGNER:
DDS GROUP

PROJECT #:

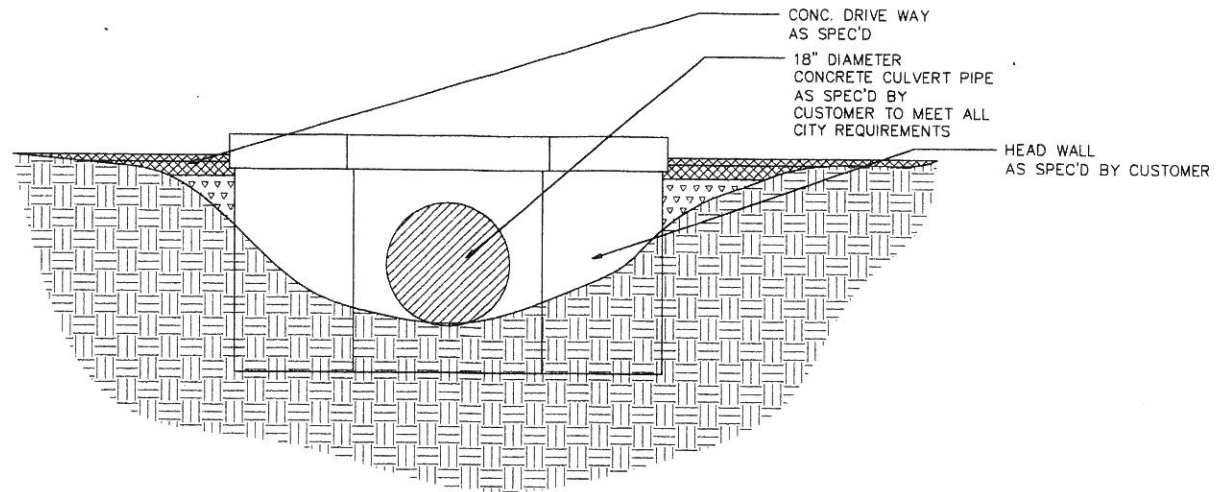
514 YVONNE DR
WALL BRACE

ELEVATION:
A

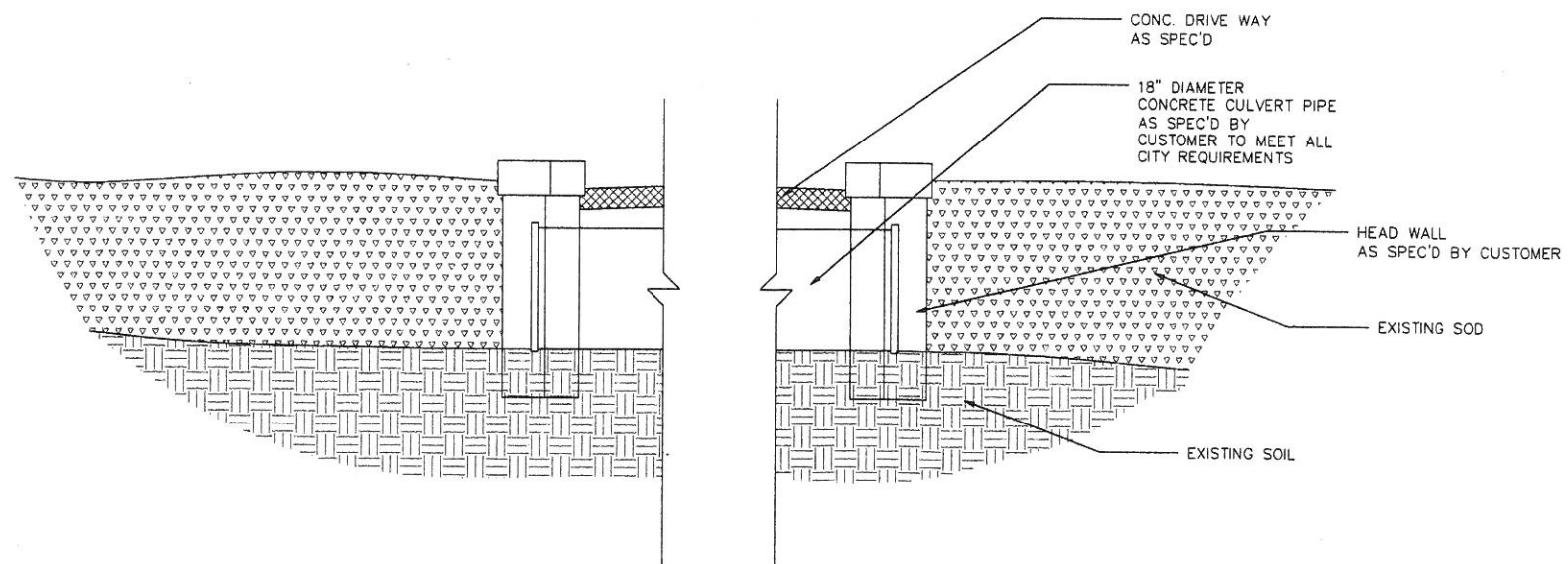
SHEET NUMBER:
S2



10/30/2020
J.S.B. Engineer
F-20338



1 PROPOSED CULVERT HEADWALL ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED CULVERT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



DDS GROUP
2921 BRUSH CREEK ST.
GRAND PRAIRIE TX. 75052
WWW.DDSGROUP.COM

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

D1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-007
PROJECT NAME: SUP for Residential Infill at 514 Yvonne Drive
SITE ADDRESS/LOCATIONS: 514 YVONNE DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-007; Specific Use Permit (SUP) for Residential Infill for 514 Yvonne Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (Z2022-007) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 The garage is required to meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage be situated a minimum of 20-feet behind the front façade of the single-family home. In the current request, the garage is setback approximately two (2) feet from the front façade of the homes. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review
02/24/2022: Show a 10' utility easement along the front and back property lines. Property will need to be replatted.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			

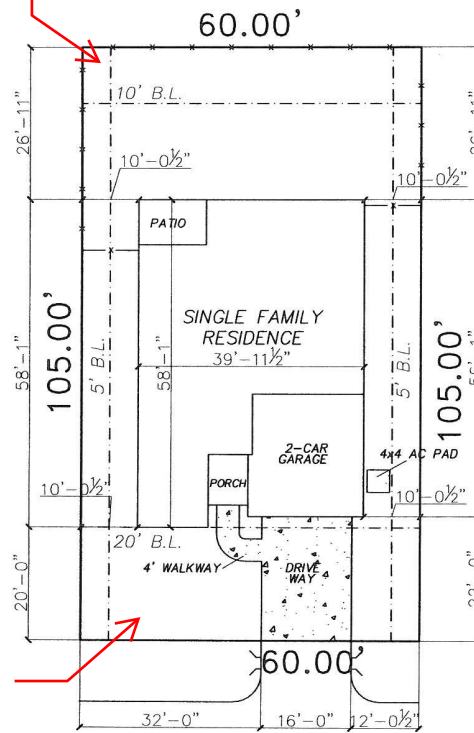


NORTH
SCALE: 1" = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4' X 4' A.C. PAD COVERAGE	16 SF
% 4' X 4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	647 SF
FENCE	143 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.

10' Utility Easement



Will need to replat lot

10' Utility Easement

YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	DRAINAGE FLOW
	PROPOSED FENCE
	EXISTING FENCE
	CURLEX
	RETAINING WALL
	REQUIRED TREE PLANTING
	REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E. - VISIBILITY EASEMENT
* * * - EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.

CALL BEFORE YOU DIG
 TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE
 THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



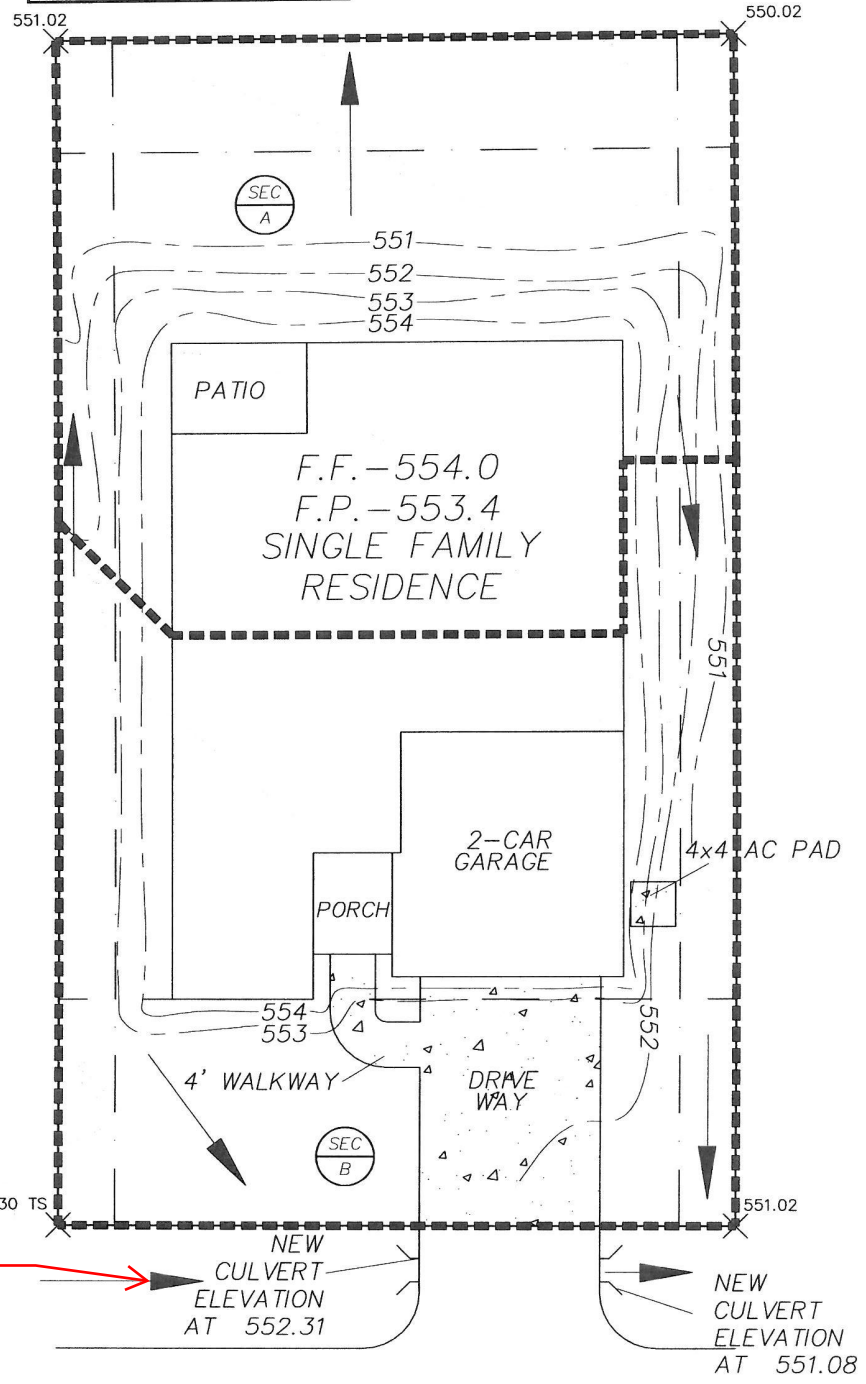
10/31/2020
 JSB [Signature]
 F-25738

- LEGEND**
- - - PROPOSED DRAINAGE
 - - - PROPOSED FENCE
 - EXISTING FENCE
 - ▨ CURLEX
 - RETAINING WALL
 - - - EXISTING GRADING
 - 625- PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:
 X_{102,000.0} - SPOT ELEVATION
 TP - TOP OF SWALE
 TW - TOP OF WALL
 BW - BOTTOM OF WALL

CULVERT PIPE CALCS			
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA
A	0.500	9.800	0.068
B	0.500	9.800	0.076
			0



Culvert design (for building permit) must account for offsite drainage as well. How much water is draining in the ditch?

NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.	DDS GROUP
ROCKWALL, TX.	
DRAWN BY: DDSG	
DATE: 12-17-2020	GRADING PLAN



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT

1096

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktorocustomhomes@gmail.com

E-MAIL

blacktorocustomhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

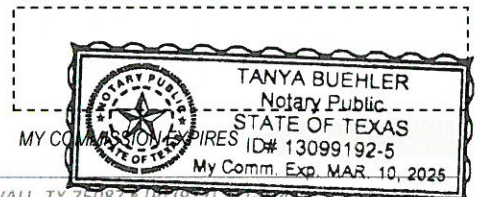
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

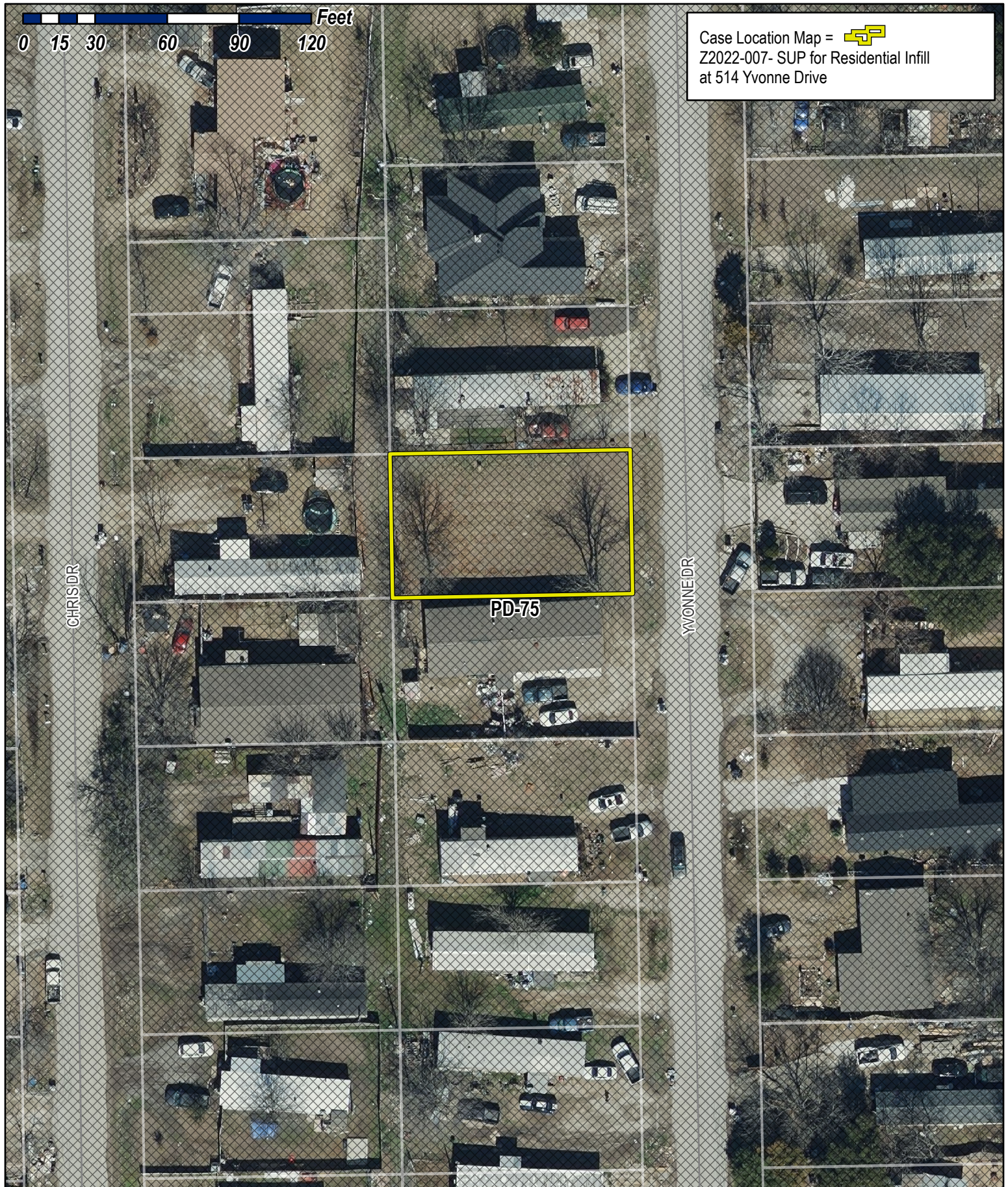
OWNER'S SIGNATURE


[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech





Case Location Map = 
 Z2022-007- SUP for Residential Infill
 at 514 Yvonne Drive



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

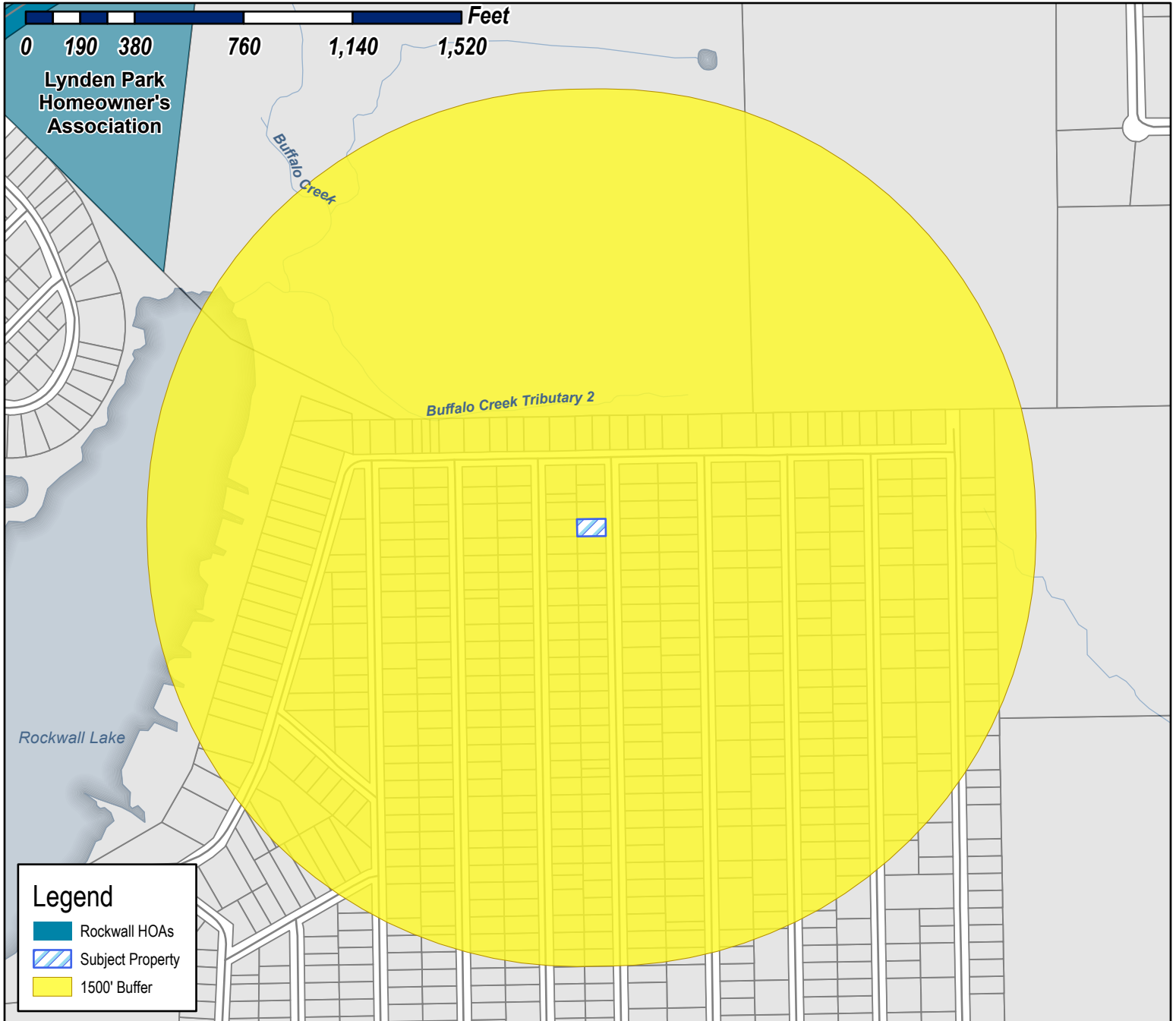




City of Rockwall

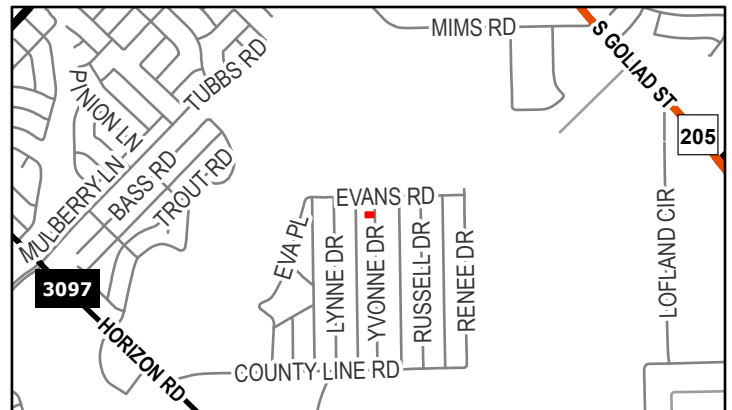
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745

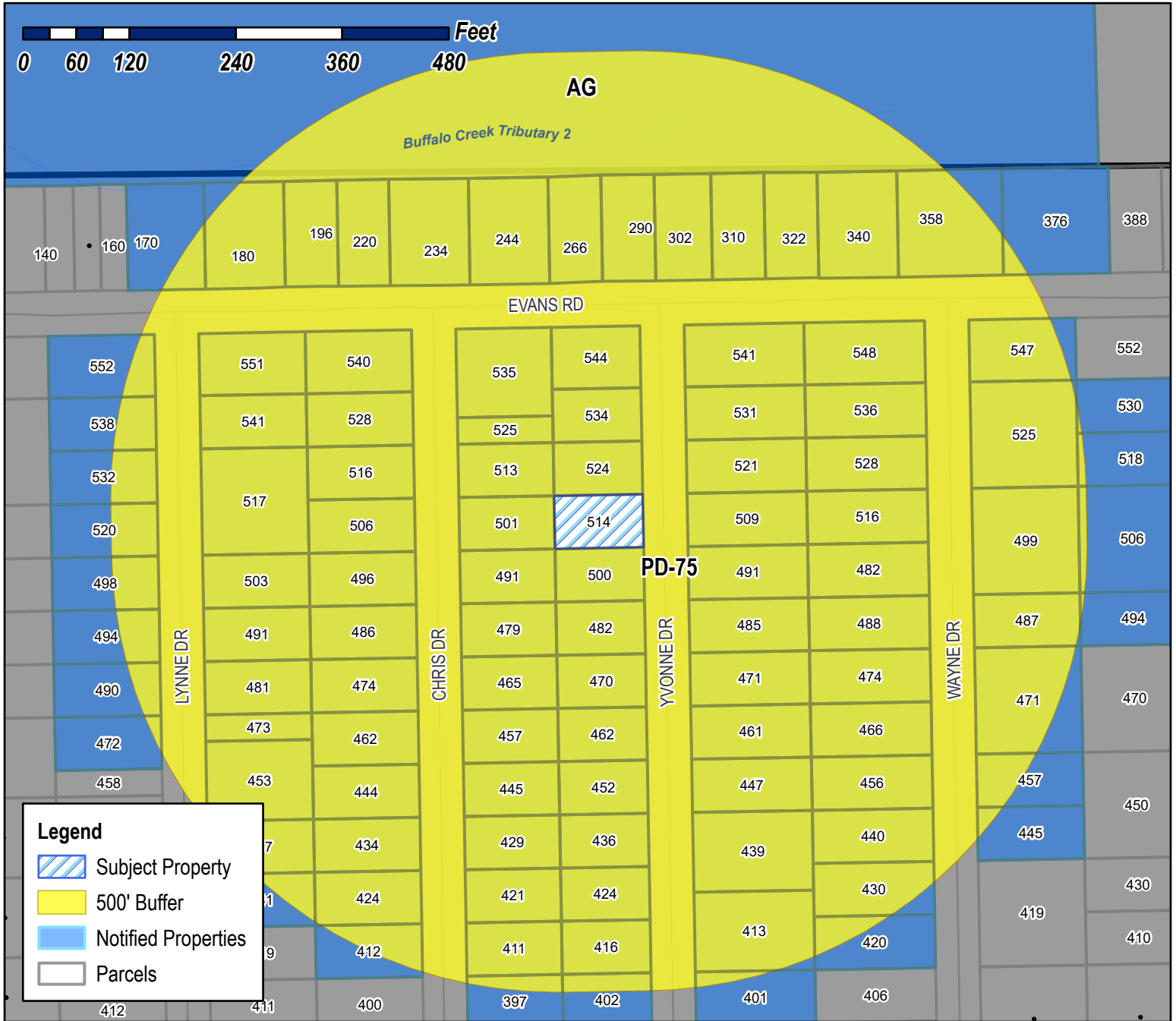




City of Rockwall

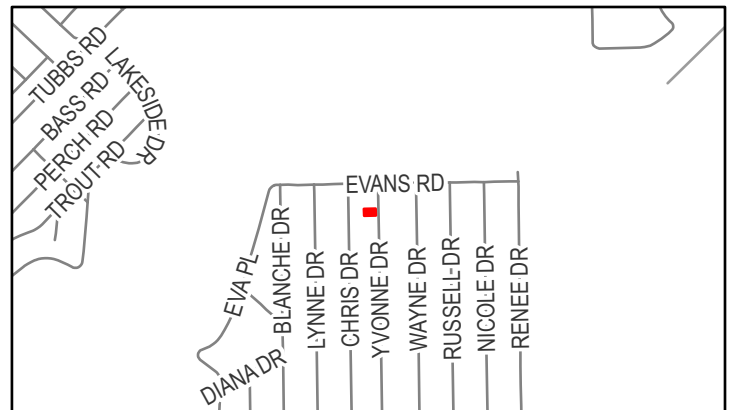
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



THELWELL LINDA
1013 BLACKBERRY TRL <Null>
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552 <Null>
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST <Null>
ROCKWALL, TX 75087

CHAPELA AARON
1188 YVONNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278 <Null>
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA
151 PERCH RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
170EVANSRD ROCKWALL
TX, 75032

DIAZ JUANA
1750 E FM 550 <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN <Null>
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD <Null>
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR <Null>
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD <Null>
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD <Null>
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
266 EVANS RD ROCKWALL
TX, 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE <Null>
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS <Null>
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
302 EVANS RD ROCKWALL
TX, 75032

SILVA JORGE & ELIZABETH
3078 S FM 551 <Null>
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD <Null>
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
373 YVONNE DR <Null>
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
401 YVONNE DR ROCKWALL
TX, 75032

JARAMILLO JOSE A
402 YVONNE DR <Null>
ROCKWALL, TX 75032

CARMONA ROBERTO
411 CHRIS DR <Null>
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
413 YVONNE DR <Null>
ROCKWALL, TX 75032

CRUZ JOSE AND
ADRIANA GUERRERO
416 YVONNE DR <Null>
ROCKWALL, TX 75032

MERKEL JAMES
420 WAYNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
421CHRISDR ROCKWALL
TX, 75032

CARDENAS RODOLFO
424 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA
424 YVONNE DR ROCKWALL
TX, 75032

RAMIREZ ZACARIAS
429 CHRIS DR ROCKWALL
TX, 75032

DELGADO DONNY
430 WAYNE DRIVE <Null>
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
436 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
439 PERCH RD <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
439 YVONNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
440 WAYNE DR ROCKWALL
TX, 75032

TORRES ALONSO
441 LYNNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE <Null>
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
445 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
445 WAYNE DR <Null>
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
447 LYNNE DR ROCKWALL
TX, 75032

PRUET JAMES D
447 YVONNE DR <Null>
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR <Null>
ROCKWALL, TX 75032

CHAPELA AARON
452YVONNEDR ROCKWALL
TX, 75032

CASTILLO ARTURO & VICTORIA
453 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
457 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
457 WAYNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR <Null>
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
462 CHRIS DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
462 YVONNE DR ROCKWALL
TX, 75032

YANES MARIA TERESA
465 CHRIS DR ROCKWALL
TX, 75032

MORENO LUIS NOE
466 WAYNE DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
470 YVONNE DR ROCKWALL
TX, 75032

SOTO DOMINGO
471 WAYNE DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
471 YVONNE DR ROCKWALL
TX, 75032

LICEA DELFINO
472 LYNNE DR ROCKWALL
TX, 75032

CASTILLO IGNACIO
473 LYNNE DR ROCKWALL
TX, 75032

MORENO ORALIA SOLIS
474 BASS ROAD <Null>
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD <Null>
ROCKWALL, TX 75032

TORRES ALONSO
474 CHRIS DR ROCKWALL
TX, 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR <Null>
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE <Null>
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR <Null>
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR <Null>
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
488 WAYNE DR ROCKWALL
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
491 YVONNE DR ROCKWALL
TX, 75032

DIAZ JOSE LUIS
494 LYNNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
496 CHRIS DR ROCKWALL
TX, 75032

LICEA JOSE DELFINO
498 LYNNE DR ROCKWALL
TX, 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR <Null>
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR <Null>
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE <Null>
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
506 CHRIS DR ROCKWALL
TX, 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR <Null>
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR <Null>
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT <Null>
GARLAND, TX 75043

SILVA JORGE & ELIZABETH
513CHRISDR ROCKWALL
TX, 75032

DIAZ JUANA
514 YVONNE DR ROCKWALL
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR <Null>
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
517 LYNNE DR ROCKWALL
TX, 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR ROCKWALL
TX, 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
521 YVONNE DR ROCKWALL
TX, 75032

GANUS HUGH
524 SESAME DR <Null>
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR <Null>
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR <Null>
ROCKWALL, TX 75032

SILVA BERTHA
528 CHRIS DR ROCKWALL
TX, 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
531 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
532 LYNNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
534 YVONNE DR ROCKWALL
TX, 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR <Null>
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
538 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ ROMAN
540 CHRIS DR <Null>
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 EVANS RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
541 LYNNE DR ROCKWALL
TX, 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR ROCKWALL
TX, 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR <Null>
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST <Null>
ROCKWALL, TX 75032

THELWELL LINDA
551 LYNNE DR ROCKWALL
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR <Null>
ROCKWALL, TX 75087

RAMIREZ MAXIMINO SIERRA
774 EUGENE RD <Null>
MEMPHIS, TN 38116

HUERTA JOSE AND MARIA
848 SMITH ACRES DR <Null>
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
926 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC
PO BOX 69 <Null>
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Please place a check mark on the appropriate line below:

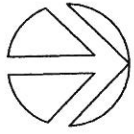
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

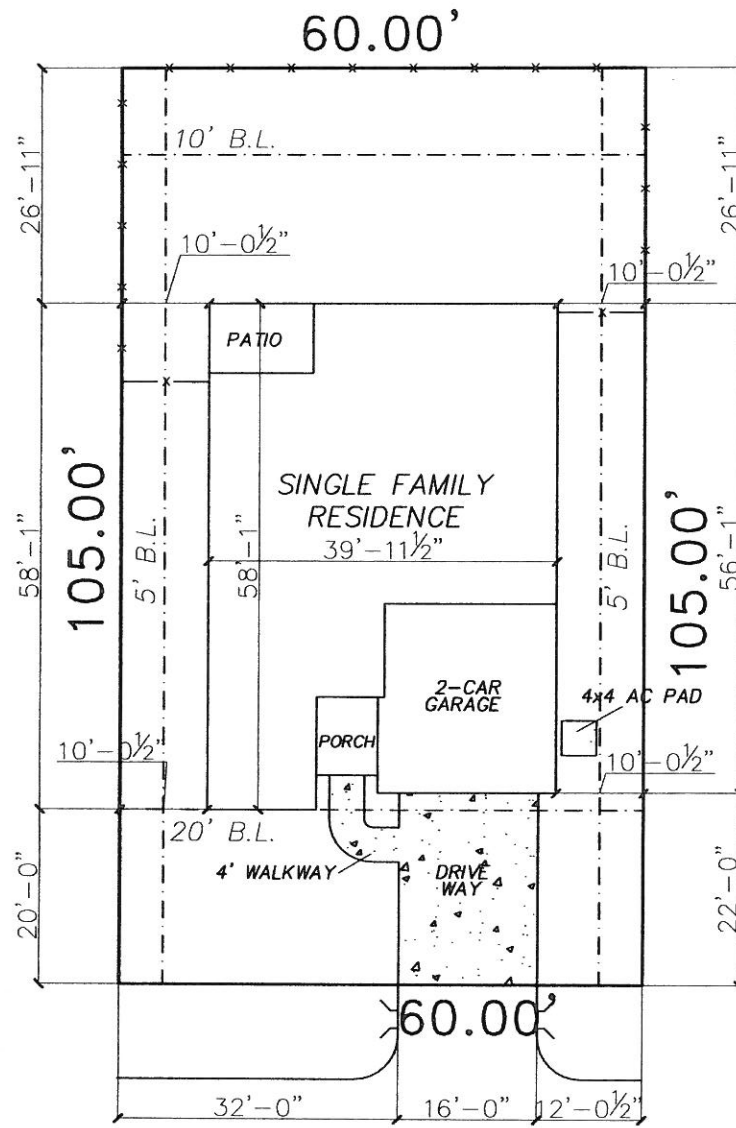
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020
J.S.B. Engineer
F-20338

LEGEND

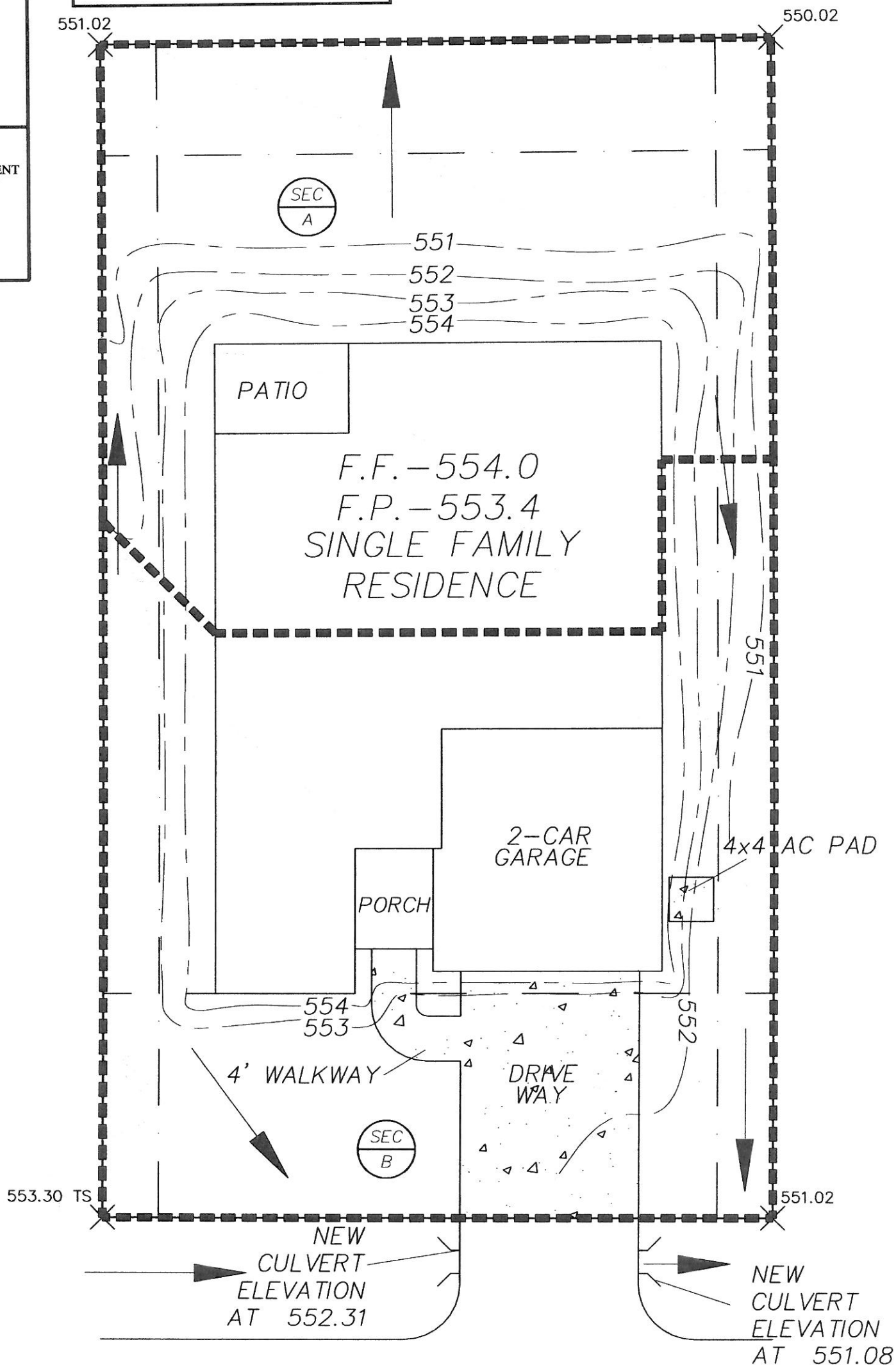
- - PROPOSED DRAINAGE
- - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- - - - - EXISTING GRADING
- 625- - PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:

- 102,000.0 X = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

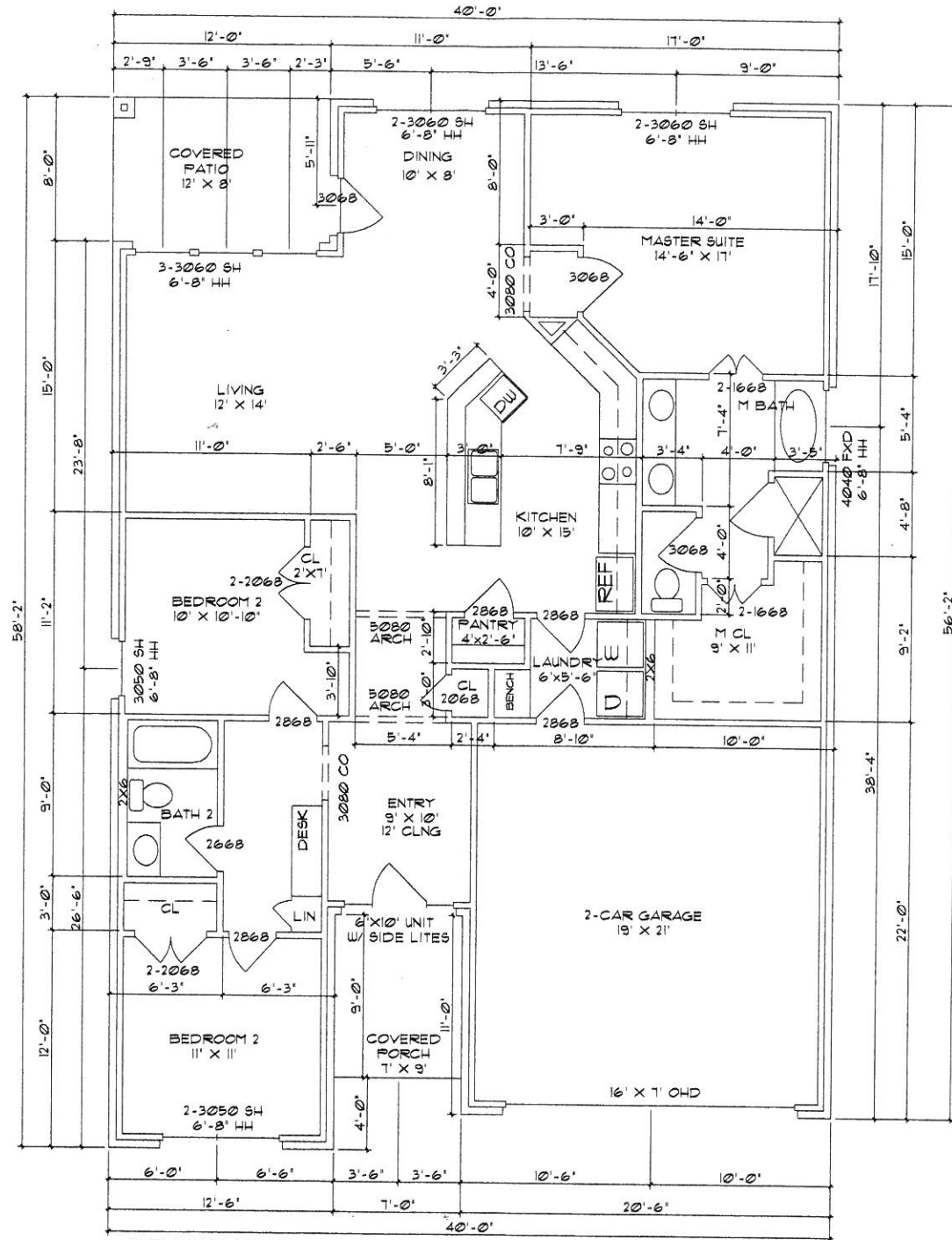
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

DDS GROUP

GRADING PLAN



1 FLOOR PLAN
SCALE: 1/4"=1'-0"

2030 SH
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSDG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

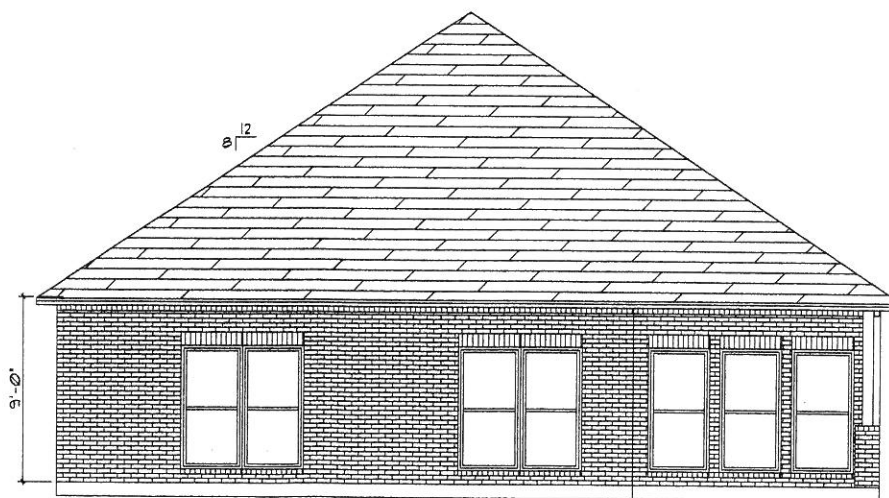
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A2



③ FRONT ELEVATION
SCALE: 1/4" = 1'-0"



② REAR ELEVATION
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

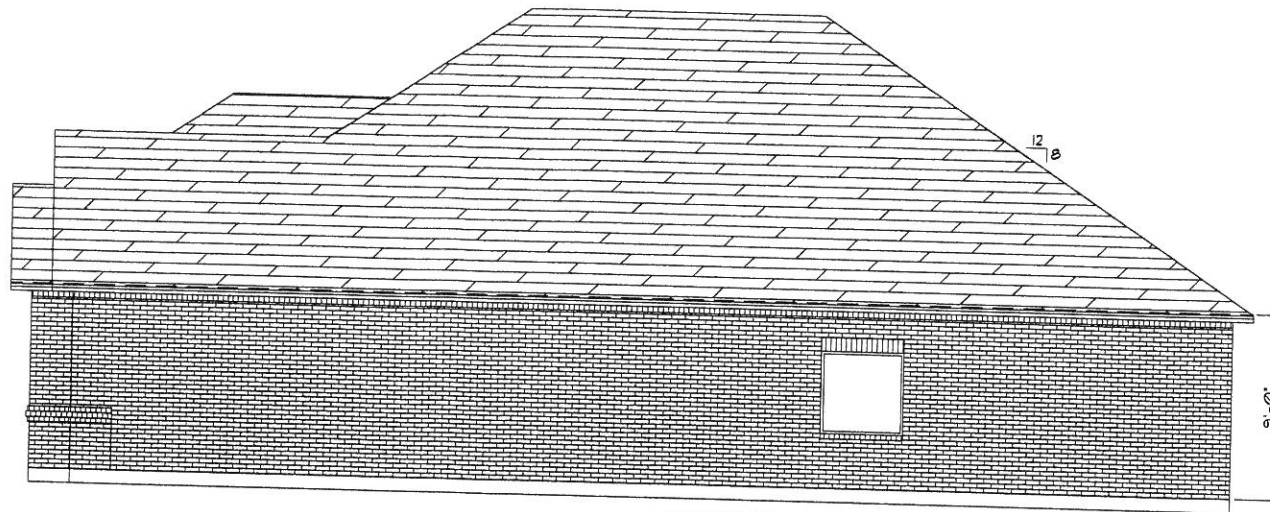
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

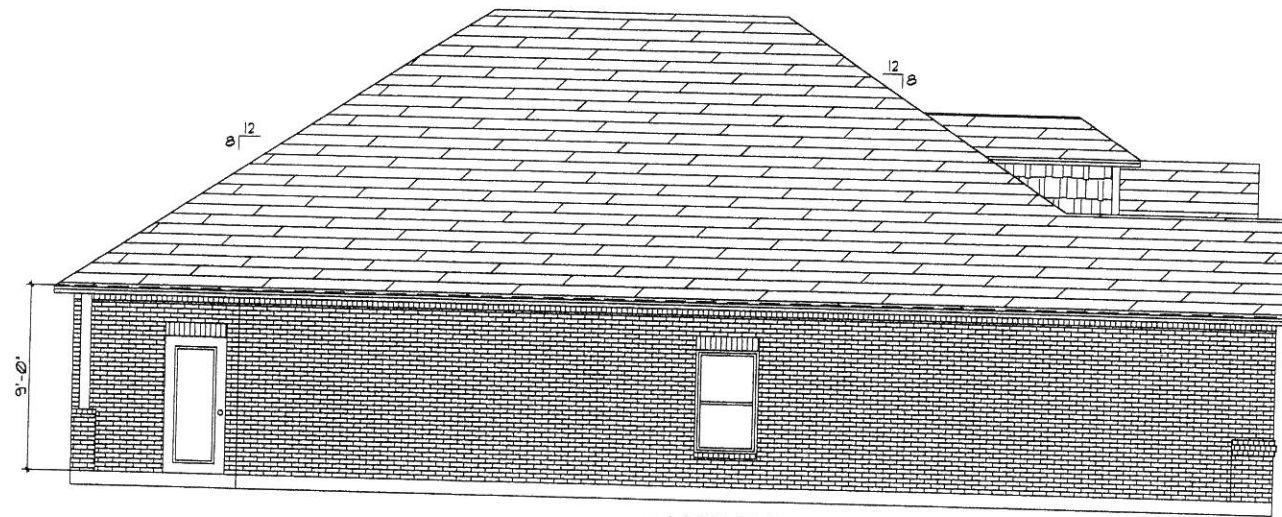
A

SHEET NUMBER:

A3



① RIGHT ELEVATION
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

A4

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1096, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 1096, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF APRIL, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map and Survey

Address: 514 Yvonne Drive

Legal Description: Lot 1096, Rockwall Lake Estates #2 Addition

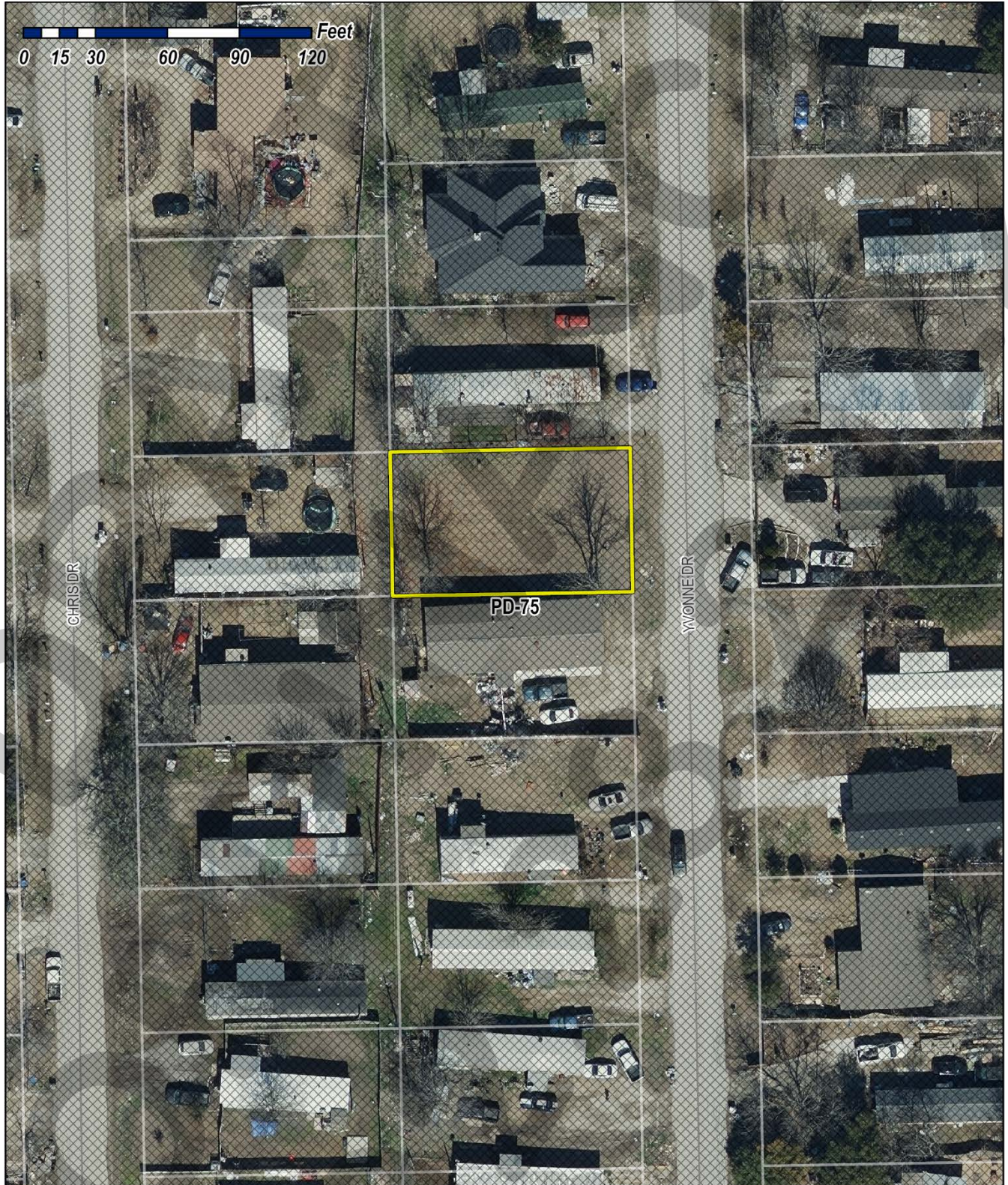
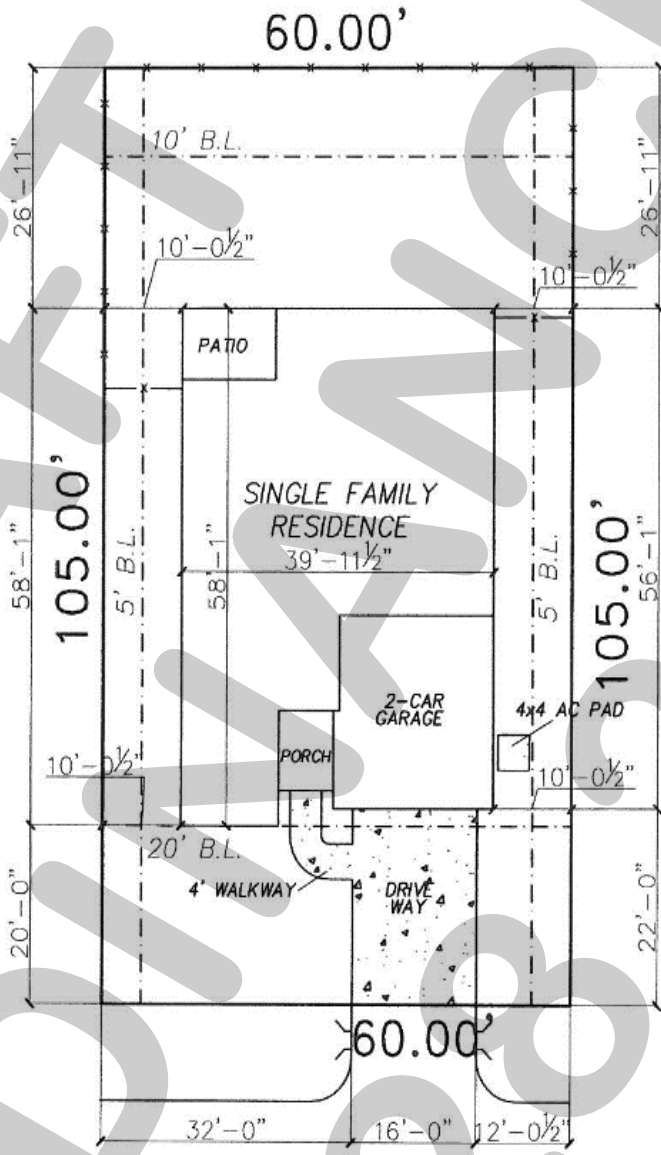
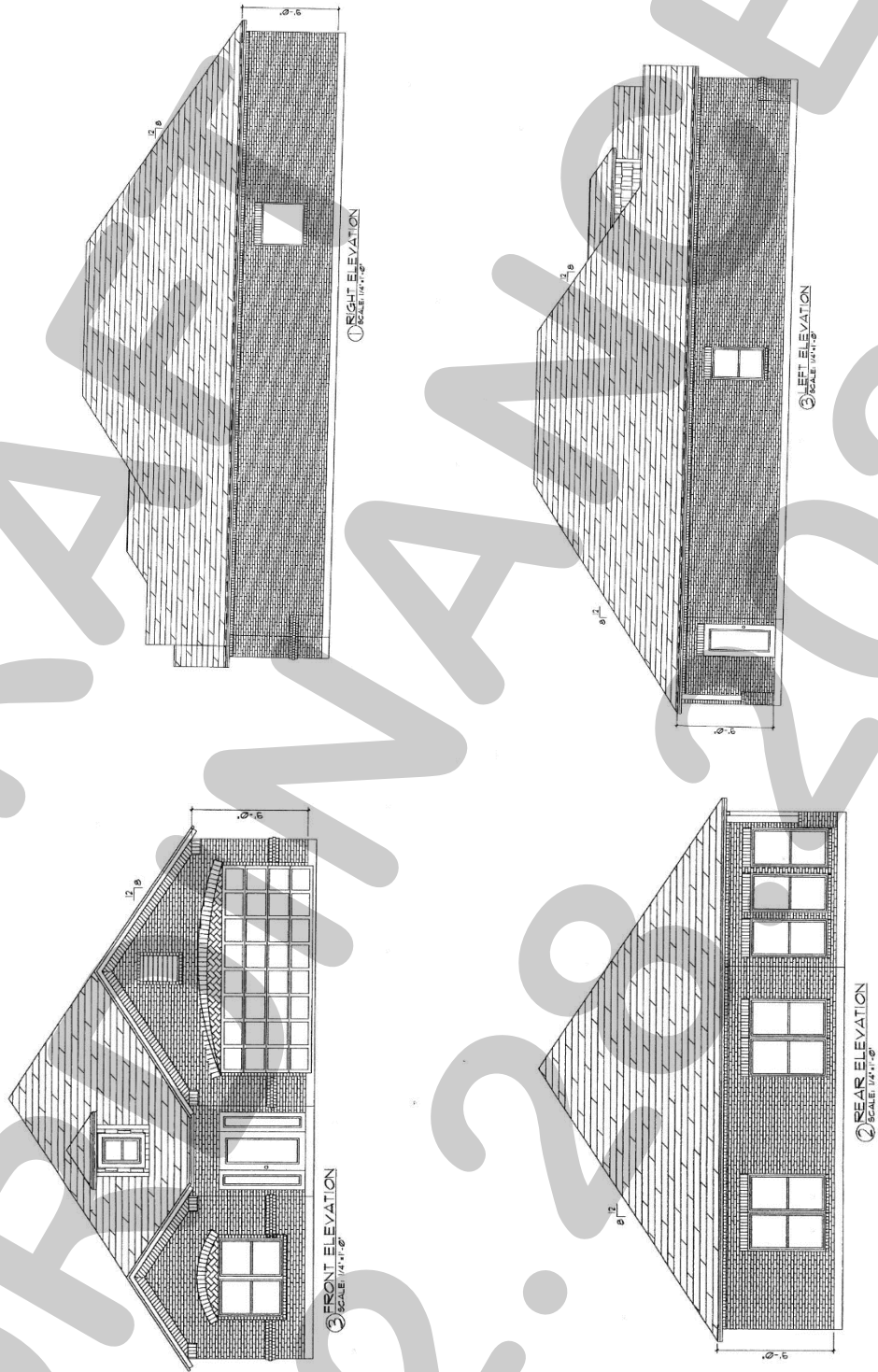


Exhibit 'B':
Residential Plot Plan



YVONNE DRIVE

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 15, 2022
APPLICANT: Jose A. Contreras; *Black Toro Custom Homes, LLC.*
CASE NUMBER: Z2022-007; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 1096 of the Rockwall Lake Estates #2 Addition. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. Based on aerial images, the subject property was vacant at the time of annexation. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 514 Yvonne Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Wayne Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Chris Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Yvonne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Yvonne Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented towards Yvonne Drive	The front elevation of the home will face onto Yvonne Drive.
Year Built	1970-2020	N/A
Building SF on Property	784 SF – 1,994 SF	2,258 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20 to 35-Feet	20-Feet
Side	The side yard setbacks are 0 to 33-Feet	5-Feet
Rear	The rear yard setbacks are 10 to 38-Feet	10-Feet
Building Materials	Brick, Vinyl Siding, and Modular Panels	Brick
Paint and Color	Brown, Tan, Blue, White, Green & Red	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Single-Family Homes without Garages	The garage will be set up approximately two (2) feet behind the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage approximately two (2) feet behind the front façade of the home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in previous cases.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Yvonne Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request

is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 26, 2022, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) The subject property will be required to replat prior to obtaining any building permits.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-007
PROJECT NAME: SUP for Residential Infill at 514 Yvonne Drive
SITE ADDRESS/LOCATIONS: 514 YVONNE DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-007; Specific Use Permit (SUP) for Residential Infill for 514 Yvonne Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (Z2022-007) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 The garage is required to meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage be situated a minimum of 20-feet behind the front façade of the single-family home. In the current request, the garage is setback approximately two (2) feet from the front façade of the homes. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review
02/24/2022: Show a 10' utility easement along the front and back property lines. Property will need to be replatted.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			

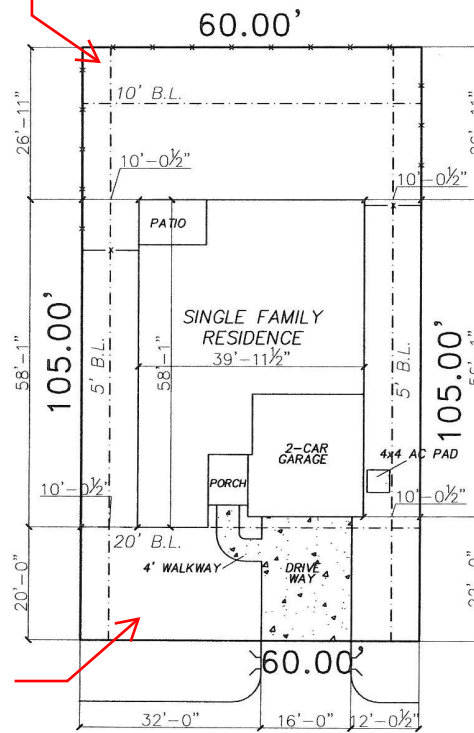


NORTH
SCALE: 1" = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4' X 4' A.C. PAD COVERAGE	16 SF
% 4' X 4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	647 SF
FENCE	143 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.

10' Utility Easement



Will need to replat lot

10' Utility Easement

YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	DRAINAGE FLOW
	PROPOSED FENCE
	EXISTING FENCE
	CURLEX
	RETAINING WALL
	REQUIRED TREE PLANTING
	REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E. - VISIBILITY EASEMENT
* * * - EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN SP1

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.

CALL BEFORE YOU DIG
 TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE
 THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



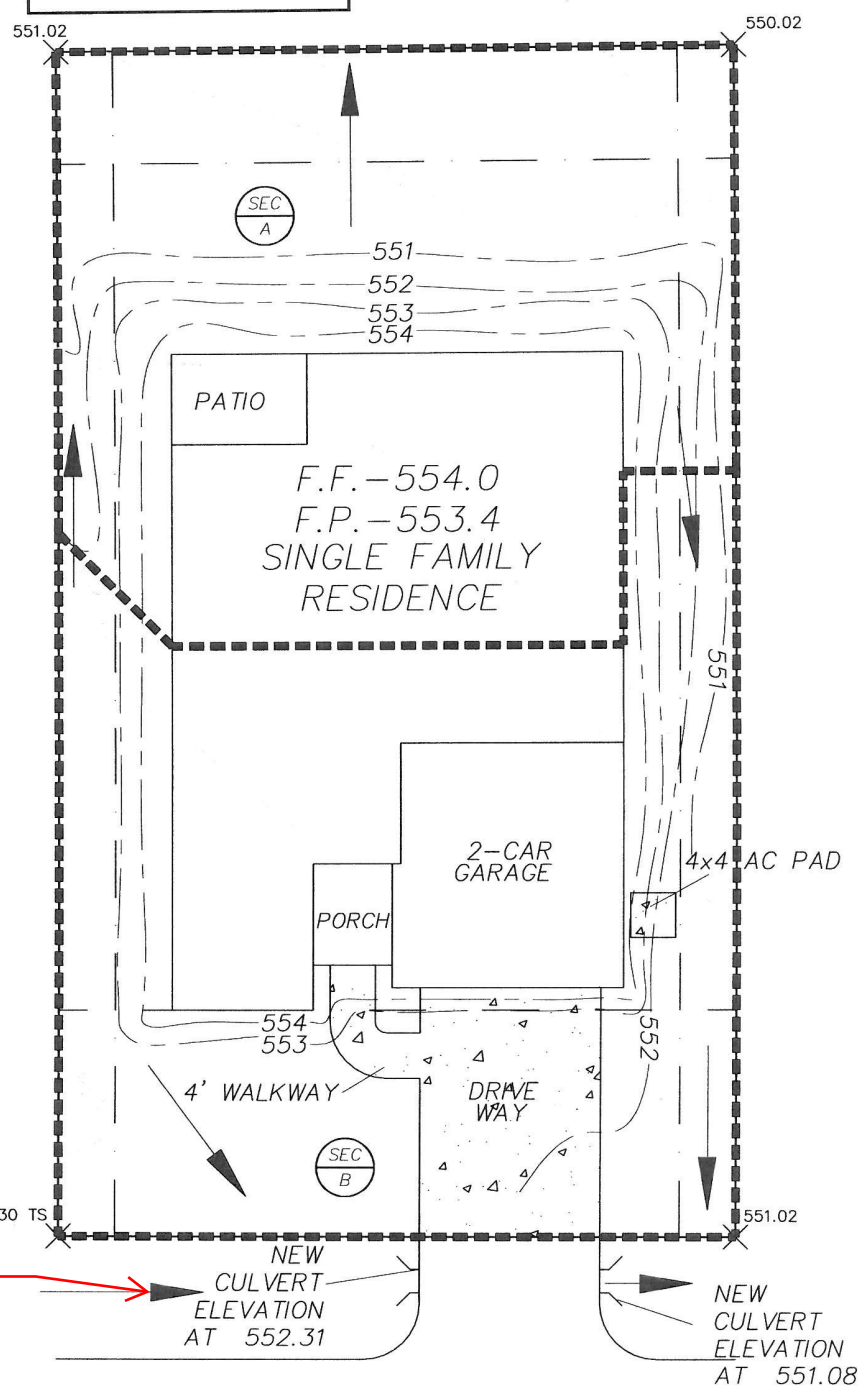
10/31/2020
 JSB [Signature]
 F-25738

- LEGEND**
- - - PROPOSED DRAINAGE
 - - - PROPOSED FENCE
 - EXISTING FENCE
 - ▨ CURLEX
 - RETAINING WALL
 - - - EXISTING GRADING
 - 625- PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:
 X_{102,000.0} - SPOT ELEVATION
 TP - TOP OF SWALE
 TW - TOP OF WALL
 BW - BOTTOM OF WALL

CULVERT PIPE CALCS			
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA
A	0.500	9.800	0.068
B	0.500	9.800	0.076
			0



Culvert design (for building permit) must account for offsite drainage as well. How much water is draining in the ditch?

NORTH
 SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.
 ROCKWALL, TX.
 DRAWN BY: DDSG
 DATE: 12-17-2020

DDS GROUP

GRADING PLAN



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 27022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT 1096 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktorocustomhomes@gmail.com

E-MAIL

blacktorocustomhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

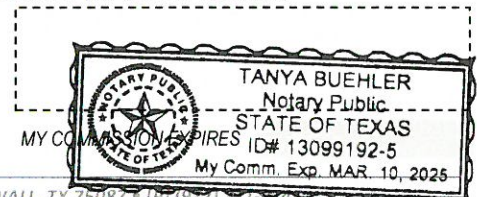
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

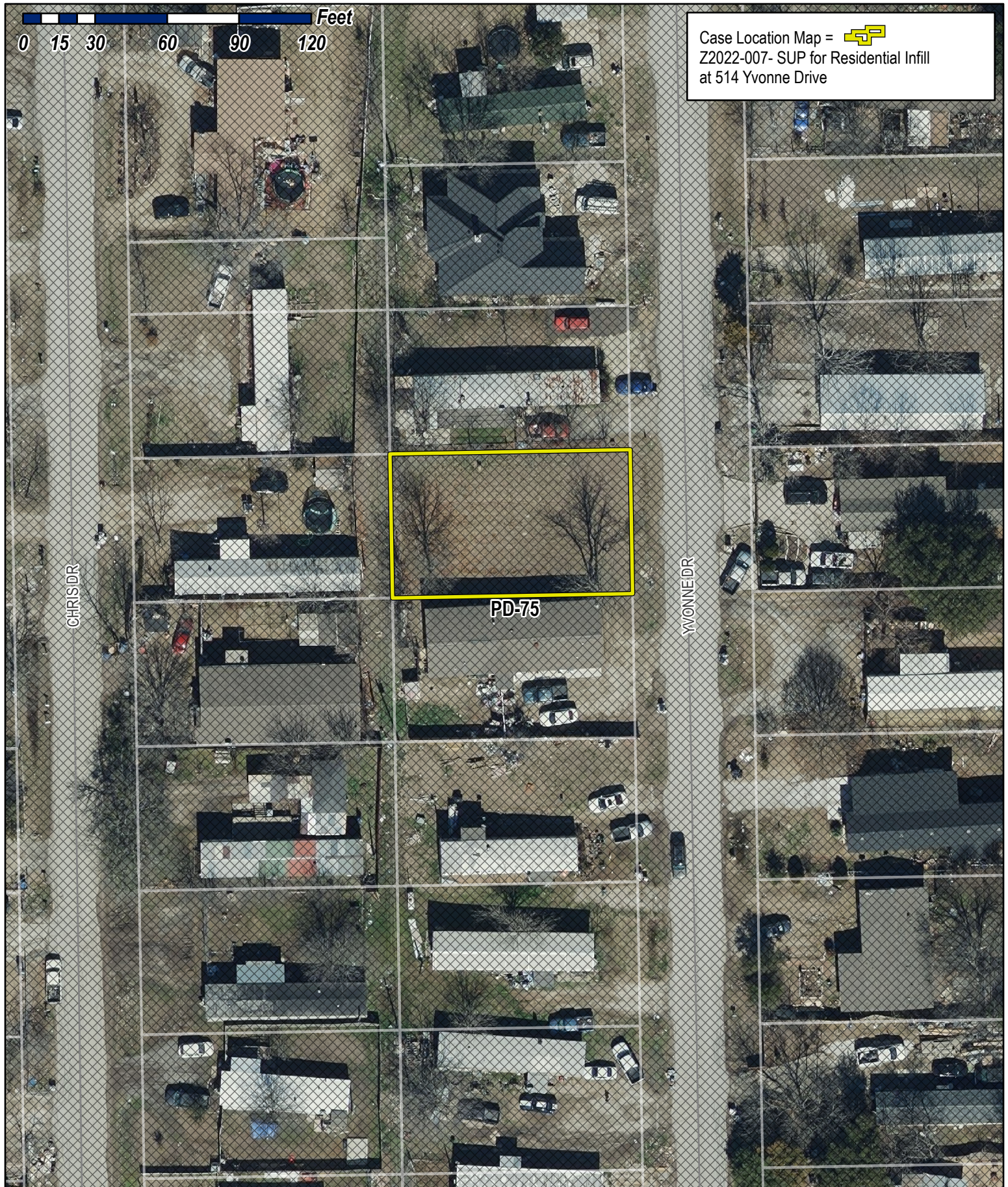
OWNER'S SIGNATURE


[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech





Case Location Map = 
 Z2022-007- SUP for Residential Infill
 at 514 Yvonne Drive



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

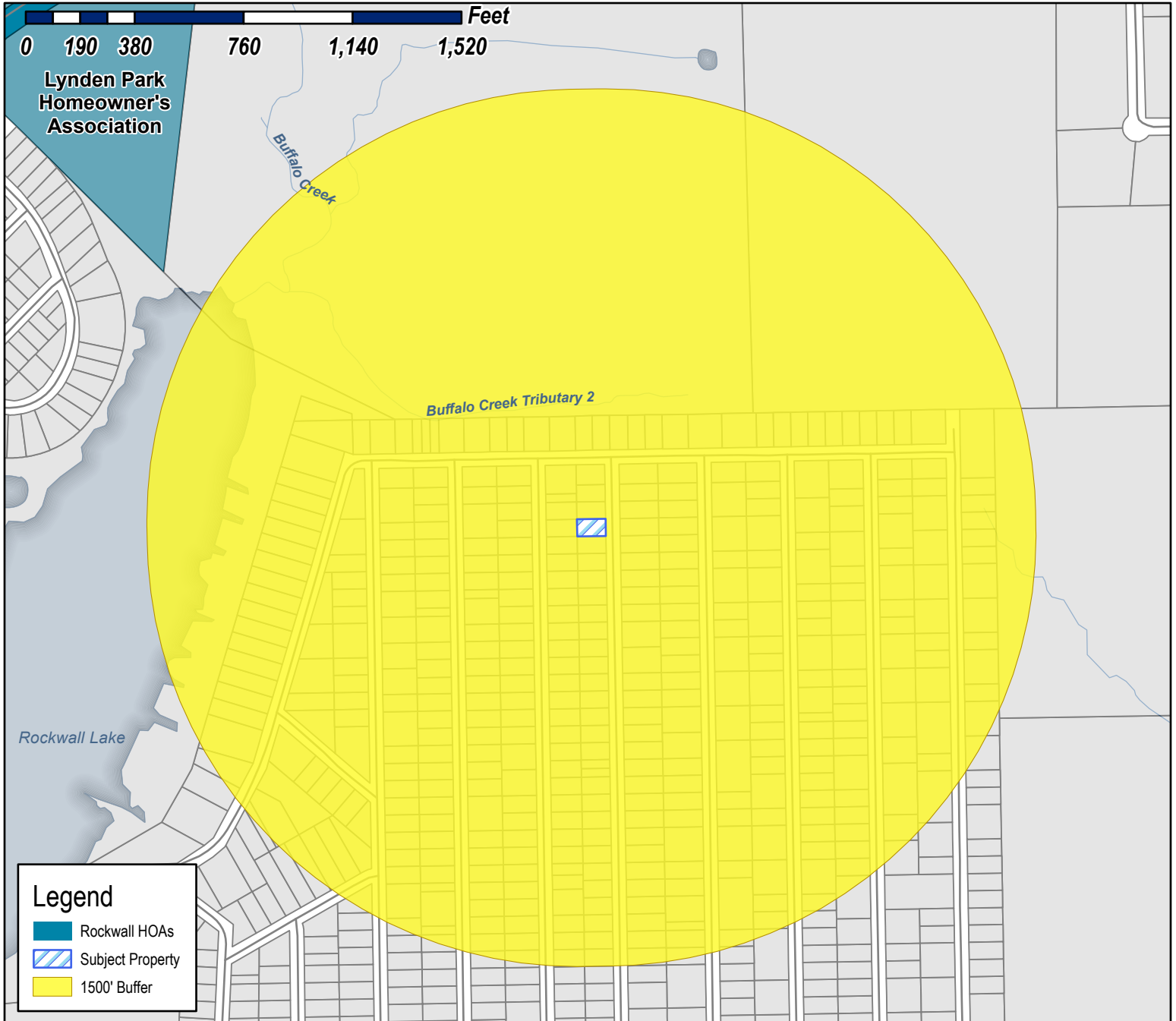







City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

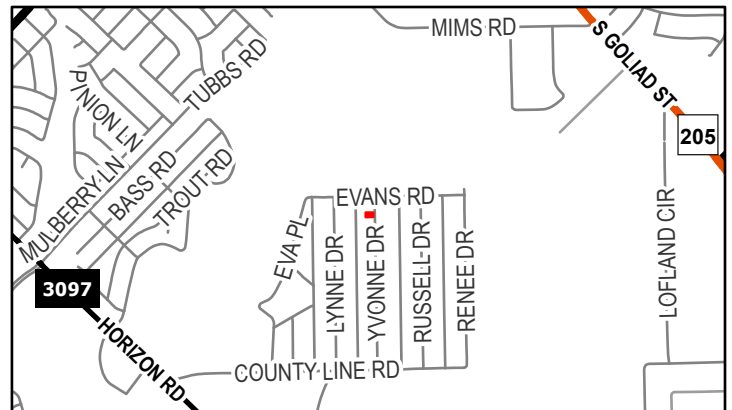


Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745

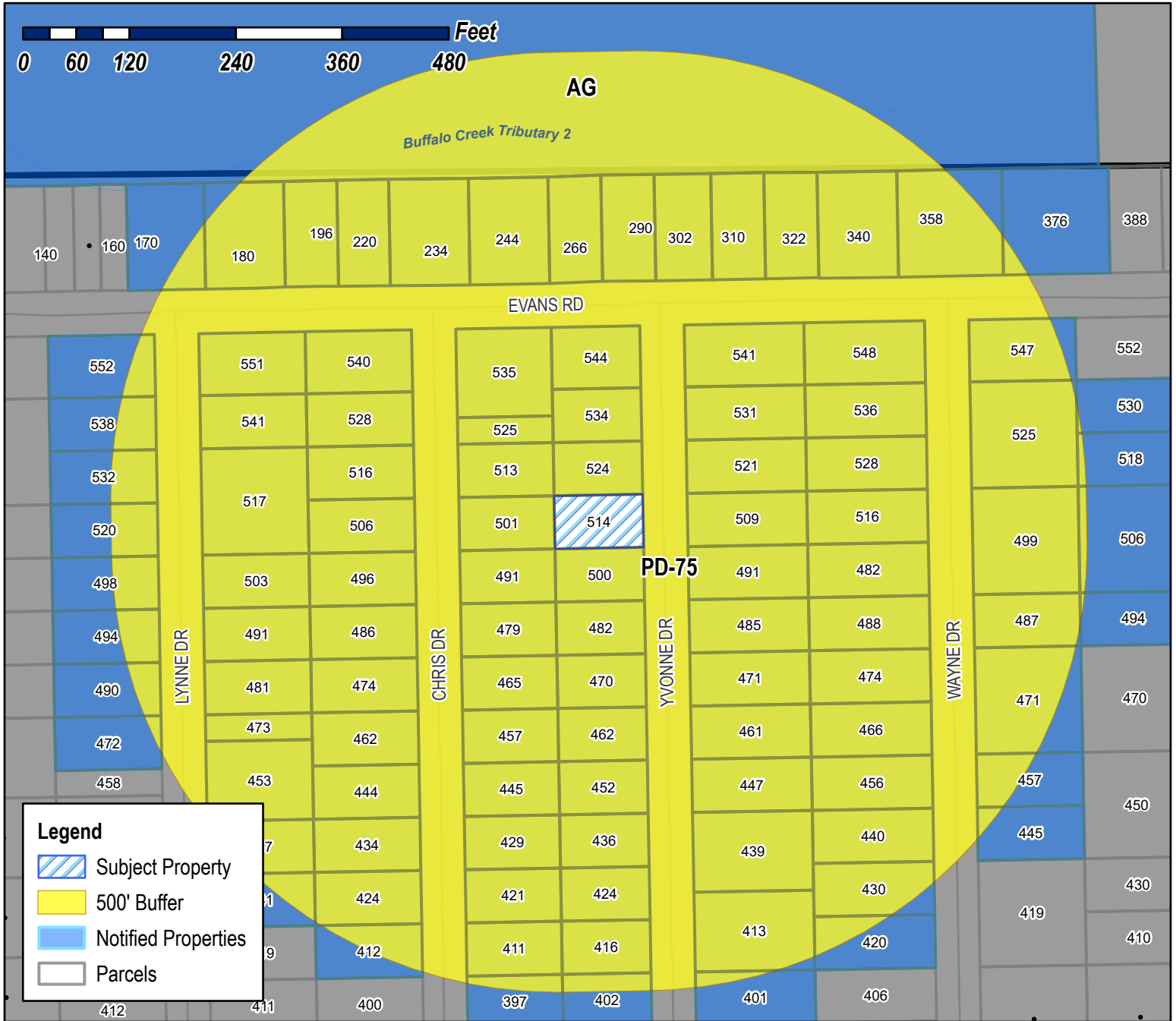




City of Rockwall

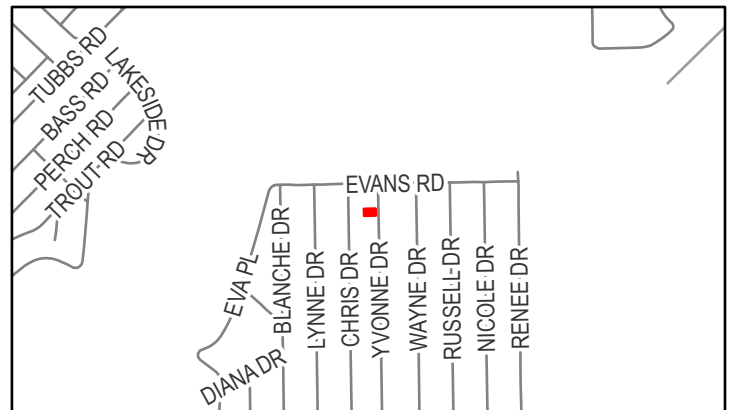
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



THELWELL LINDA
1013 BLACKBERRY TRL <Null>
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552 <Null>
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST <Null>
ROCKWALL, TX 75087

CHAPELA AARON
1188 YVONNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278 <Null>
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA
151 PERCH RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
170EVANSRD ROCKWALL
TX, 75032

DIAZ JUANA
1750 E FM 550 <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN <Null>
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD <Null>
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR <Null>
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD <Null>
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD <Null>
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
266 EVANS RD ROCKWALL
TX, 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE <Null>
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS <Null>
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
302 EVANS RD ROCKWALL
TX, 75032

SILVA JORGE & ELIZABETH
3078 S FM 551 <Null>
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD <Null>
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
373 YVONNE DR <Null>
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
401 YVONNE DR ROCKWALL
TX, 75032

JARAMILLO JOSE A
402 YVONNE DR <Null>
ROCKWALL, TX 75032

CARMONA ROBERTO
411 CHRIS DR <Null>
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
413 YVONNE DR <Null>
ROCKWALL, TX 75032

CRUZ JOSE AND
ADRIANA GUERRERO
416 YVONNE DR <Null>
ROCKWALL, TX 75032

MERKEL JAMES
420 WAYNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
421CHRISDR ROCKWALL
TX, 75032

CARDENAS RODOLFO
424 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA
424 YVONNE DR ROCKWALL
TX, 75032

RAMIREZ ZACARIAS
429 CHRIS DR ROCKWALL
TX, 75032

DELGADO DONNY
430 WAYNE DRIVE <Null>
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
436 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
439 PERCH RD <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
439 YVONNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
440 WAYNE DR ROCKWALL
TX, 75032

TORRES ALONSO
441 LYNNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE <Null>
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
445 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
445 WAYNE DR <Null>
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
447 LYNNE DR ROCKWALL
TX, 75032

PRUET JAMES D
447 YVONNE DR <Null>
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR <Null>
ROCKWALL, TX 75032

CHAPELA AARON
452YVONNEDR ROCKWALL
TX, 75032

CASTILLO ARTURO & VICTORIA
453 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
457 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
457 WAYNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR <Null>
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
462 CHRIS DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
462 YVONNE DR ROCKWALL
TX, 75032

YANES MARIA TERESA
465 CHRIS DR ROCKWALL
TX, 75032

MORENO LUIS NOE
466 WAYNE DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
470 YVONNE DR ROCKWALL
TX, 75032

SOTO DOMINGO
471 WAYNE DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
471 YVONNE DR ROCKWALL
TX, 75032

LICEA DELFINO
472 LYNNE DR ROCKWALL
TX, 75032

CASTILLO IGNACIO
473 LYNNE DR ROCKWALL
TX, 75032

MORENO ORALIA SOLIS
474 BASS ROAD <Null>
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD <Null>
ROCKWALL, TX 75032

TORRES ALONSO
474 CHRIS DR ROCKWALL
TX, 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR <Null>
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE <Null>
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR <Null>
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR <Null>
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
488 WAYNE DR ROCKWALL
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
491 YVONNE DR ROCKWALL
TX, 75032

DIAZ JOSE LUIS
494 LYNNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
496 CHRIS DR ROCKWALL
TX, 75032

LICEA JOSE DELFINO
498 LYNNE DR ROCKWALL
TX, 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR <Null>
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR <Null>
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE <Null>
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
506 CHRIS DR ROCKWALL
TX, 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR <Null>
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR <Null>
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT <Null>
GARLAND, TX 75043

SILVA JORGE & ELIZABETH
513CHRISDR ROCKWALL
TX, 75032

DIAZ JUANA
514 YVONNE DR ROCKWALL
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR <Null>
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
517 LYNNE DR ROCKWALL
TX, 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR ROCKWALL
TX, 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
521 YVONNE DR ROCKWALL
TX, 75032

GANUS HUGH
524 SESAME DR <Null>
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR <Null>
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR <Null>
ROCKWALL, TX 75032

SILVA BERTHA
528 CHRIS DR ROCKWALL
TX, 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
531 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
532 LYNNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
534 YVONNE DR ROCKWALL
TX, 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR <Null>
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
538 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ ROMAN
540 CHRIS DR <Null>
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 EVANS RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
541 LYNNE DR ROCKWALL
TX, 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR ROCKWALL
TX, 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR <Null>
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST <Null>
ROCKWALL, TX 75032

THELWELL LINDA
551 LYNNE DR ROCKWALL
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR <Null>
ROCKWALL, TX 75087

RAMIREZ MAXIMINO SIERRA
774 EUGENE RD <Null>
MEMPHIS, TN 38116

HUERTA JOSE AND MARIA
848 SMITH ACRES DR <Null>
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
926 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC
PO BOX 69 <Null>
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Please place a check mark on the appropriate line below:

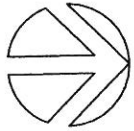
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

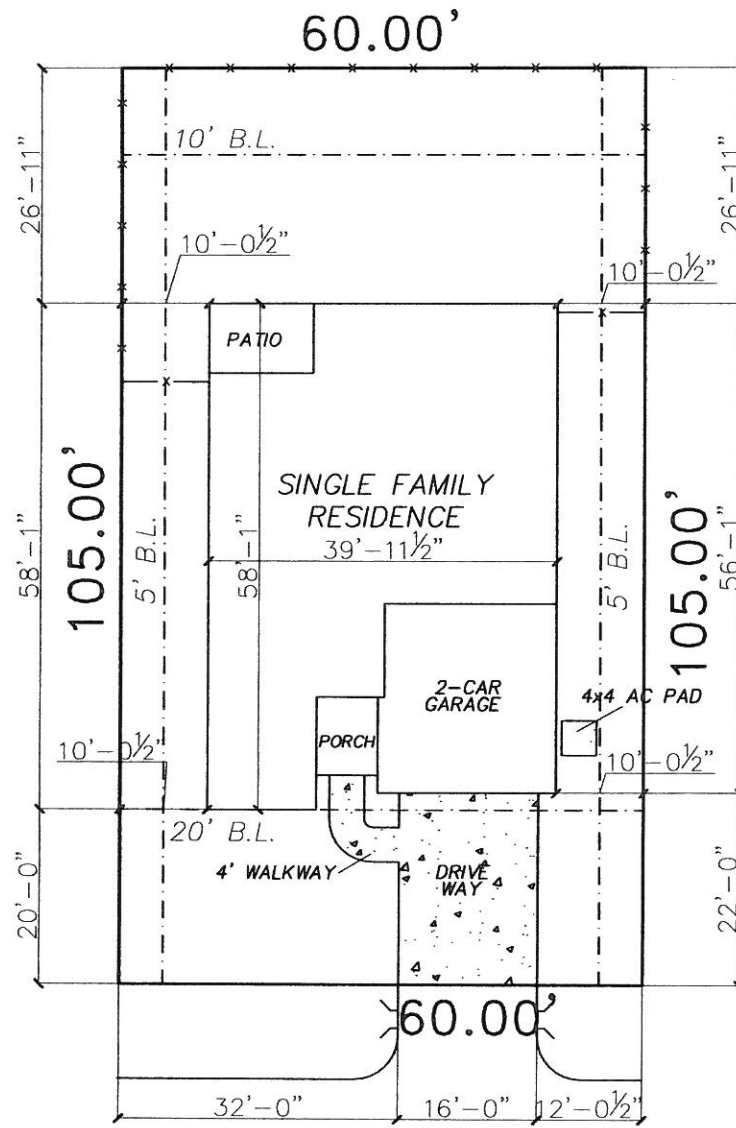
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020
J.S.B. Engineer
F-20338

LEGEND

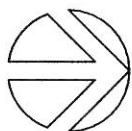
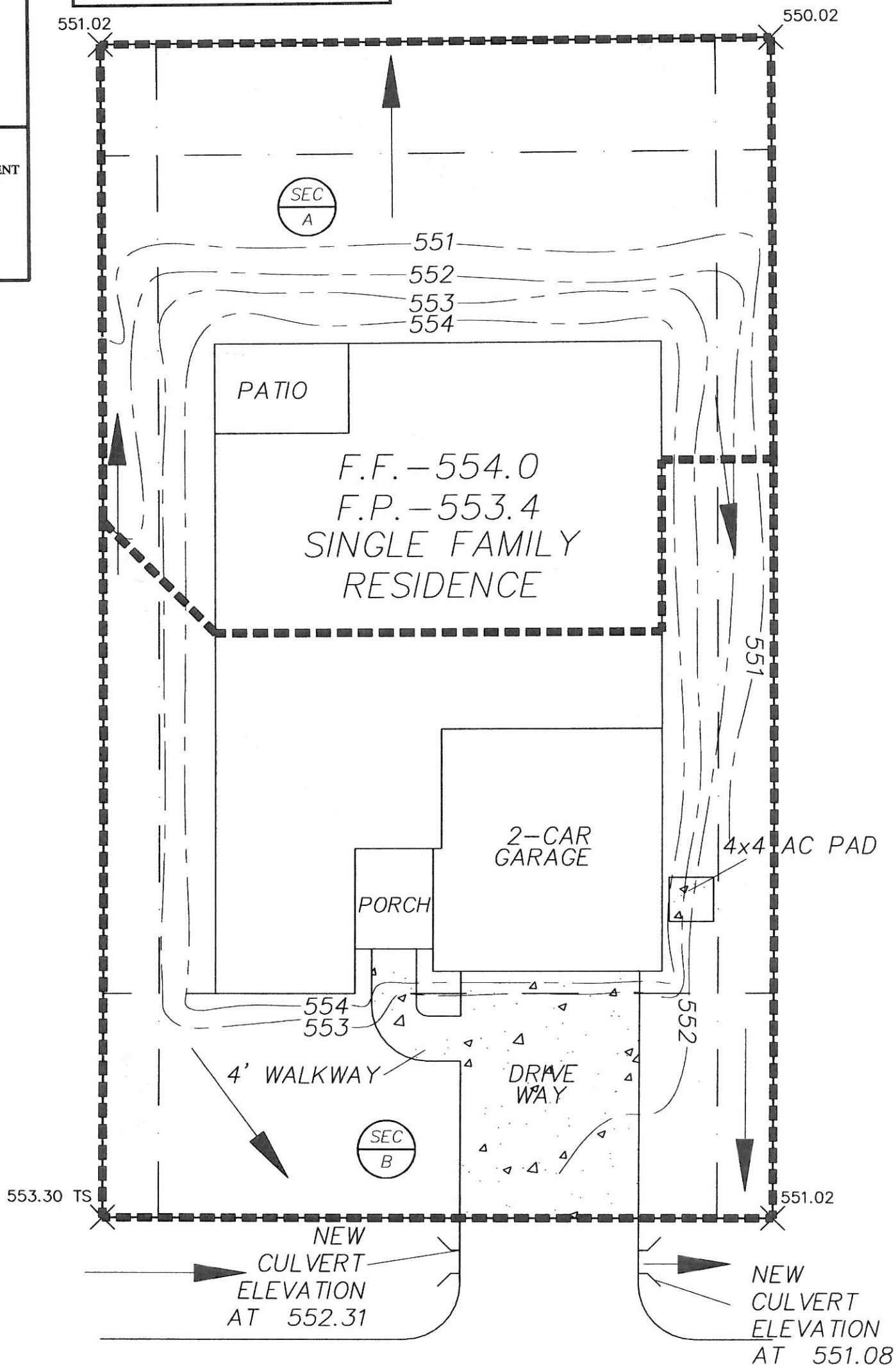
- - PROPOSED DRAINAGE
- - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- - - - - EXISTING GRADING
- 625- - PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:

- 102,000.0 X = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

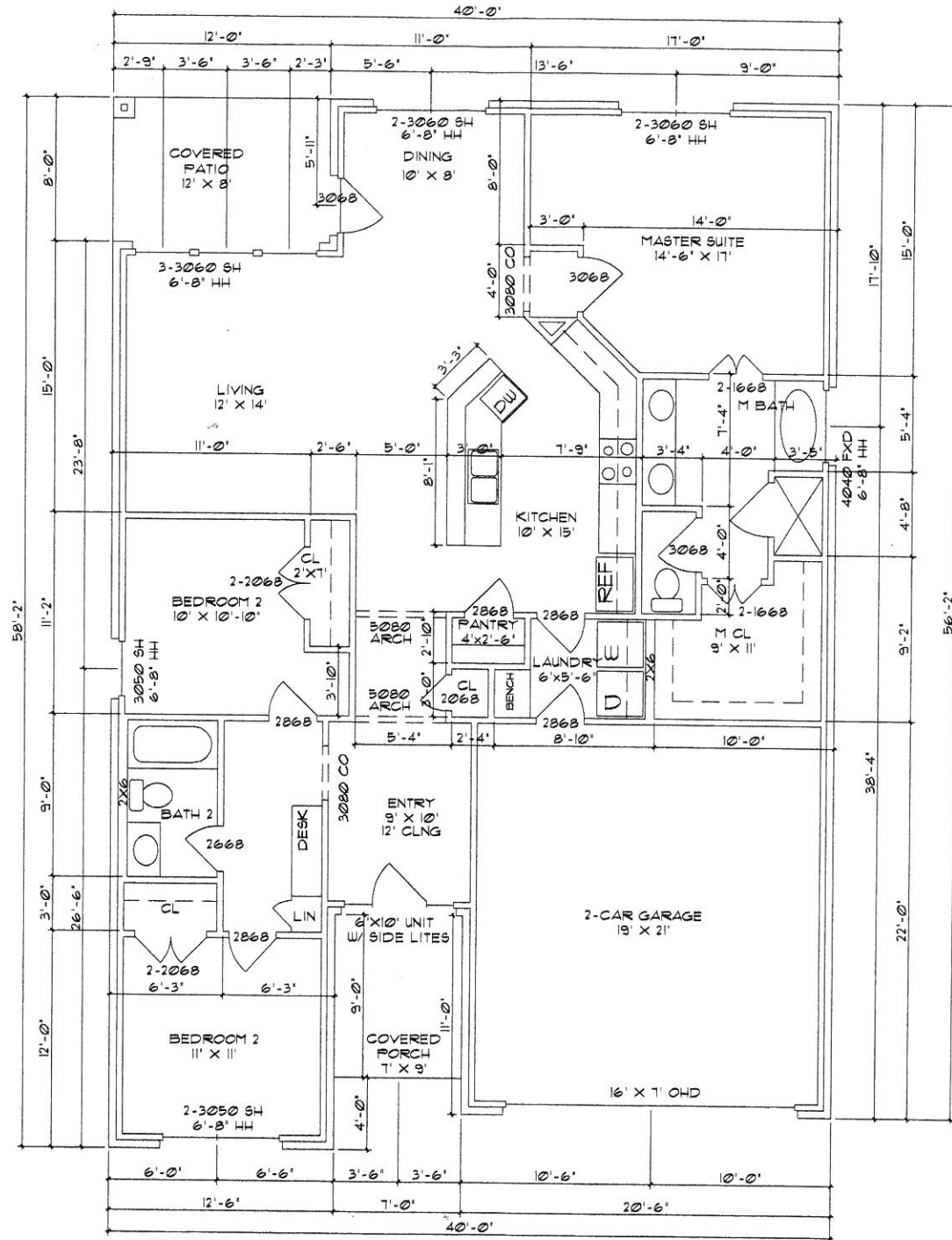
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

DDS GROUP

GRADING PLAN



1 FLOOR PLAN
SCALE: 1/4"=1'-0"

2030 SH
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSDG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

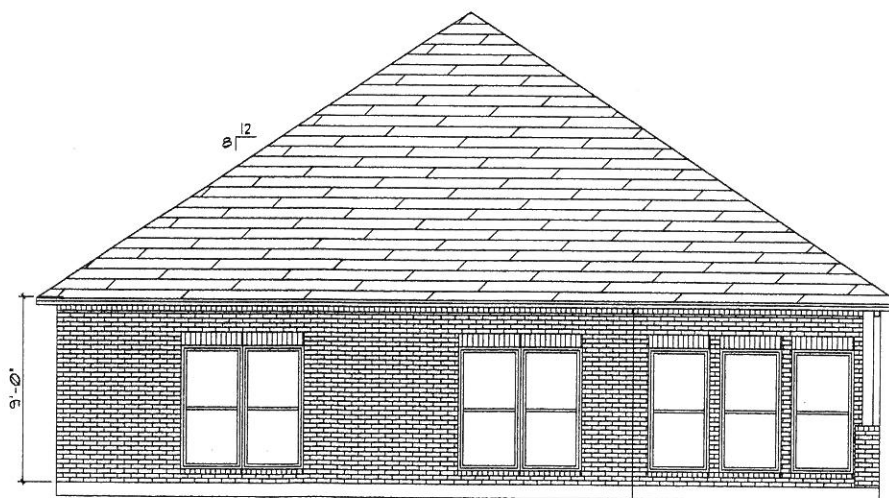
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A2



③ FRONT ELEVATION
SCALE: 1/4" = 1'-0"



② REAR ELEVATION
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

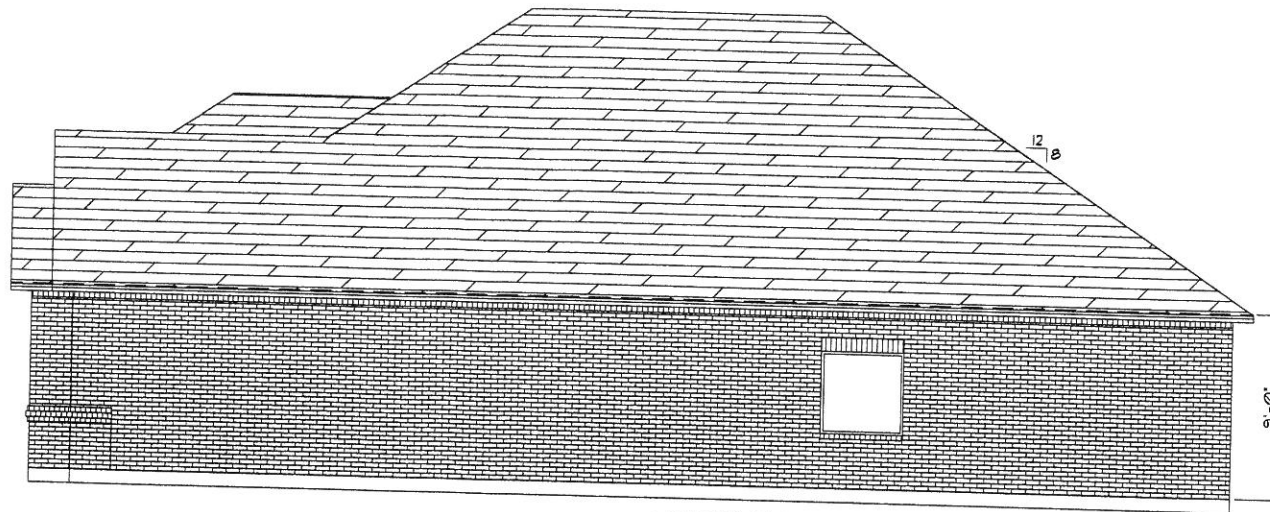
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

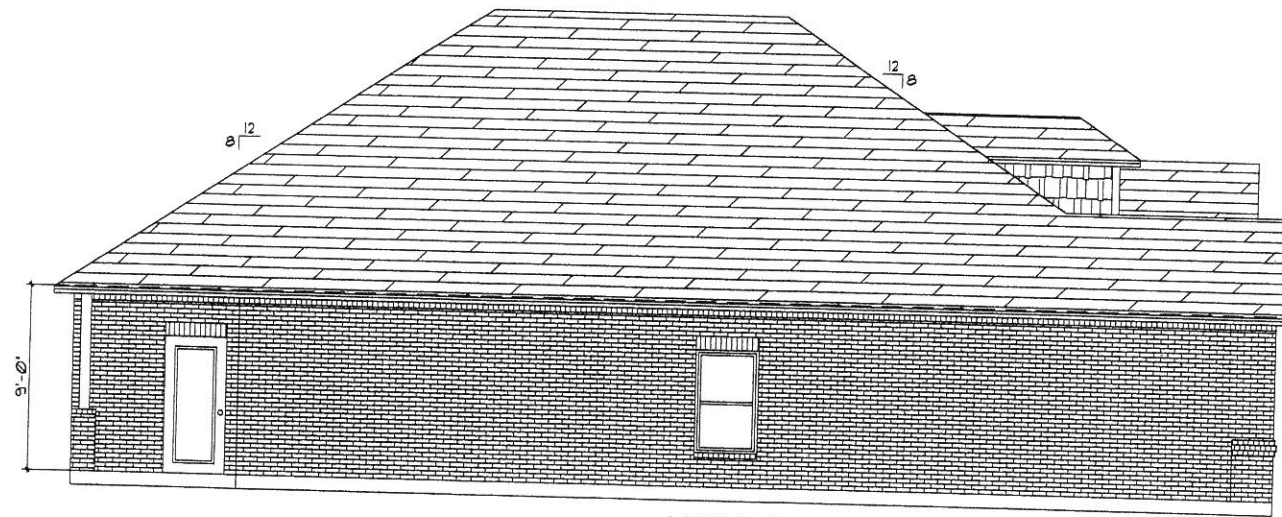
A

SHEET NUMBER:

A3



① RIGHT ELEVATION
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

A4

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1096, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 1096, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF APRIL, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map and Survey

Address: 514 Yvonne Drive

Legal Description: Lot 1096, Rockwall Lake Estates #2 Addition

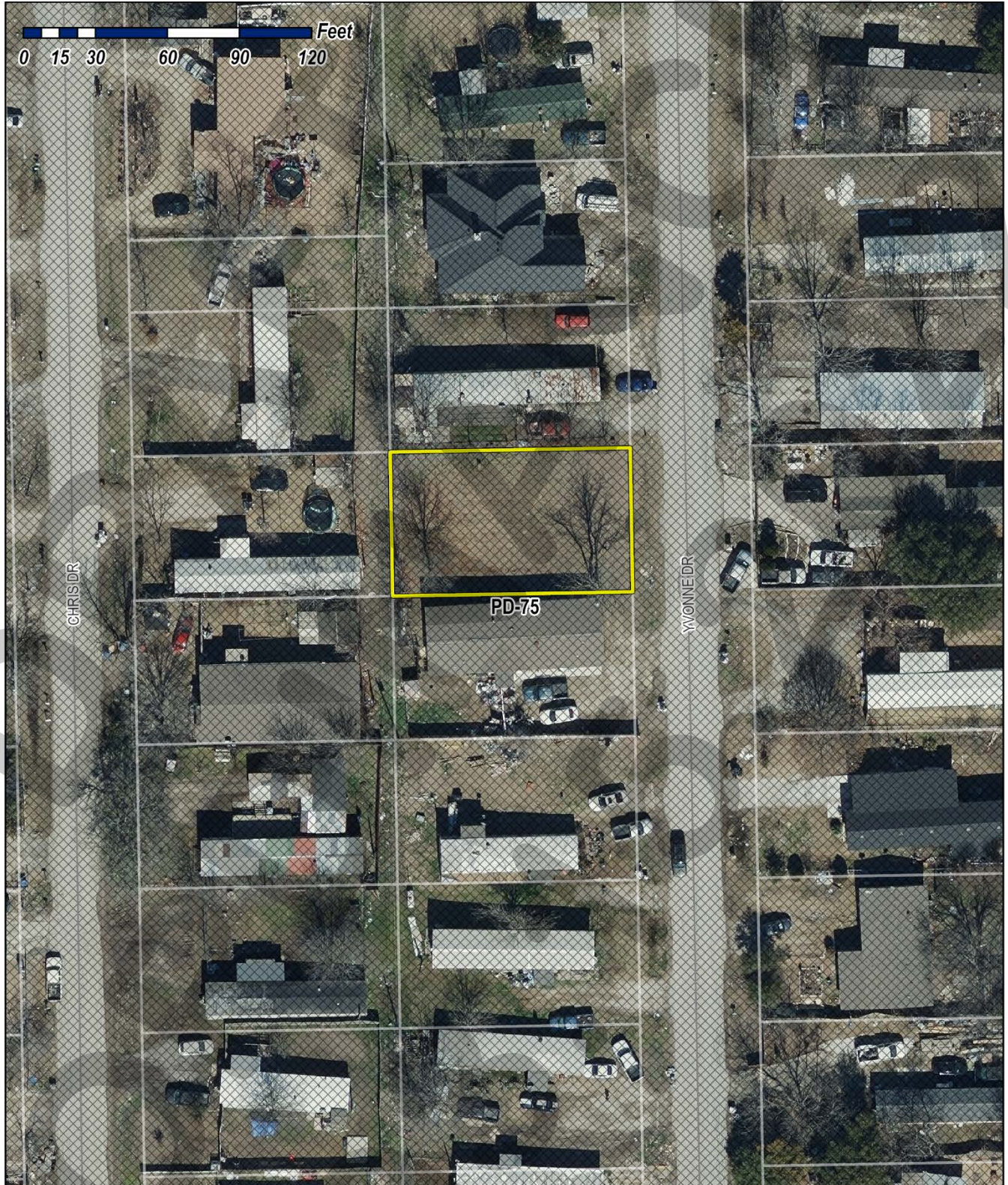
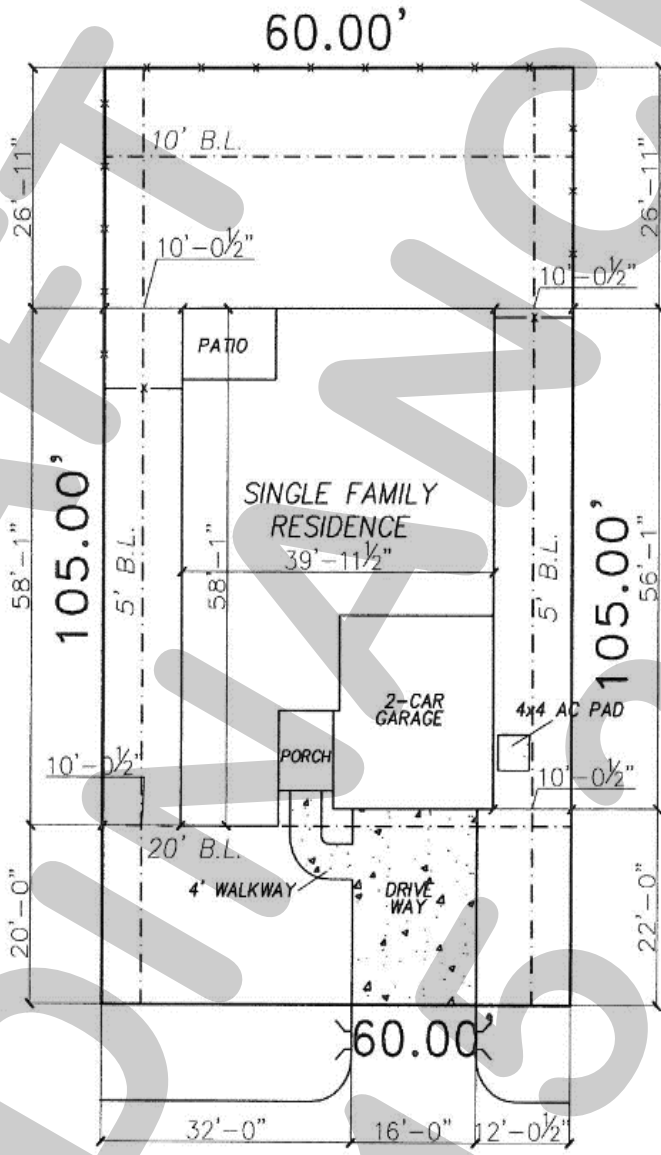
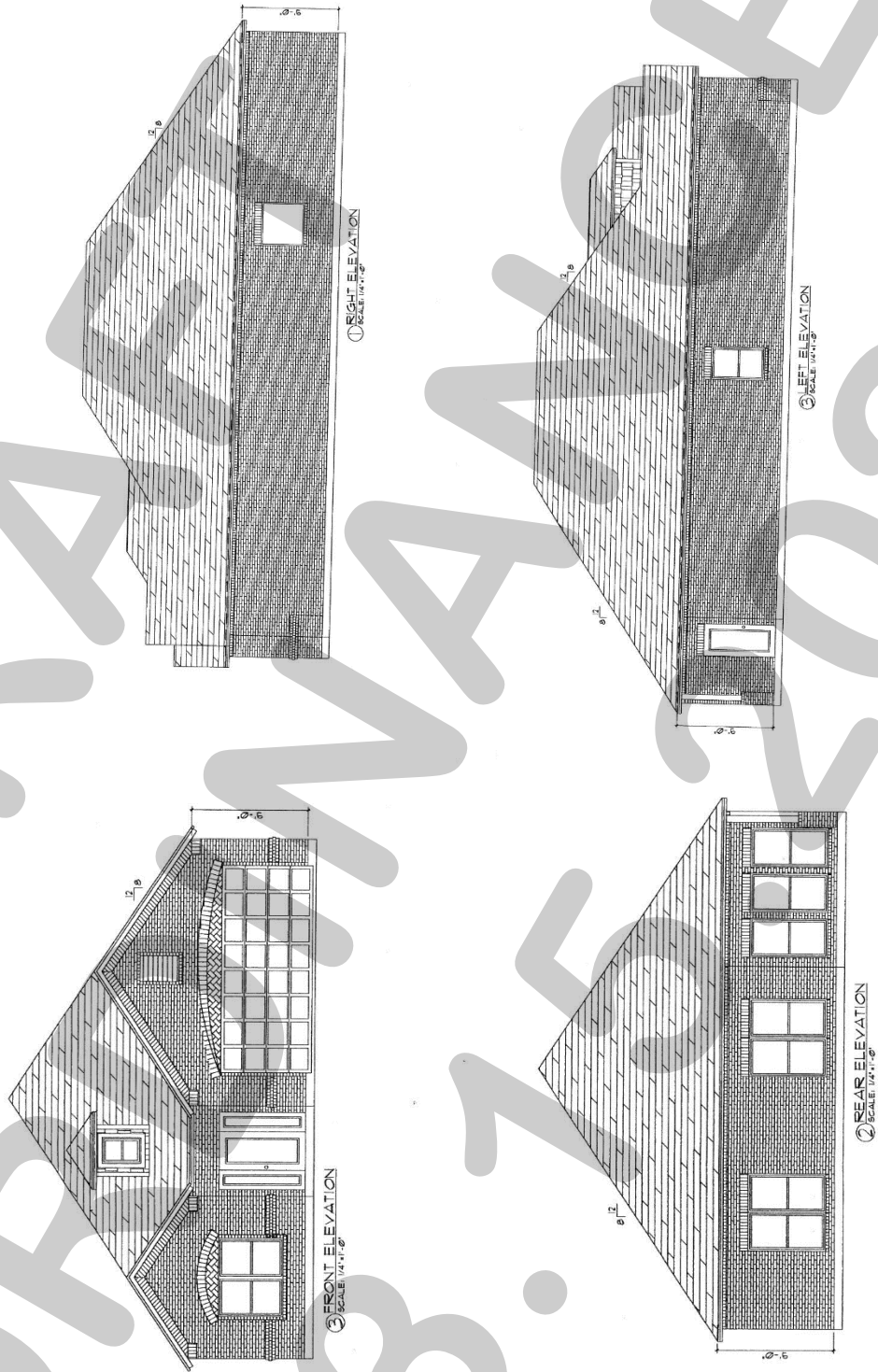


Exhibit 'B':
Residential Plot Plan



YVONNE DRIVE

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: March 21, 2022
APPLICANT: Jose A. Contreras; *Black Toro Custom Homes, LLC.*
CASE NUMBER: Z2022-007; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 1096 of the Rockwall Lake Estates #2 Addition. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. Based on aerial images, the subject property was vacant at the time of annexation. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 514 Yvonne Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Wayne Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Chris Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Yvonne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Yvonne Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented towards Yvonne Drive	The front elevation of the home will face onto Yvonne Drive.
Year Built	1970-2020	N/A
Building SF on Property	784 SF – 1,994 SF	2,258 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20 to 35-Feet	20-Feet
Side	The side yard setbacks are 0 to 33-Feet	5-Feet
Rear	The rear yard setbacks are 10 to 38-Feet	10-Feet
Building Materials	Brick, Vinyl Siding, and Modular Panels	Brick
Paint and Color	Brown, Tan, Blue, White, Green & Red	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Single-Family Homes without Garages	The garage will be set up approximately two (2) feet behind the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage approximately two (2) feet behind the front façade of the home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in previous cases.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Yvonne Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request

is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 26, 2022, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) The subject property will be required to replat prior to obtaining any building permits.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On March 15, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioners Thomas, Conway, and Chodun absent.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: Z2022-007
PROJECT NAME: SUP for Residential Infill at 514 Yvonne Drive
SITE ADDRESS/LOCATIONS: 514 YVONNE DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	02/25/2022	Approved w/ Comments

02/25/2022: Z2022-007; Specific Use Permit (SUP) for Residential Infill for 514 Yvonne Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (Z2022-007) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 The garage is required to meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage be situated a minimum of 20-feet behind the front façade of the single-family home. In the current request, the garage is setback approximately two (2) feet from the front façade of the homes. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- M.7 Please review the attached Draft Ordinance prior to the February 28, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 7, 2022.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 28, 2022.

I.9 The projected City Council meeting dates for this case will be March 21, 2022 (1st Reading) and April 4, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review
02/24/2022: Show a 10' utility easement along the front and back property lines. Property will need to be replatted.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	02/25/2022	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments
02/22/2022: No comments			

CALL BEFORE YOU DIG
 TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE
 THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



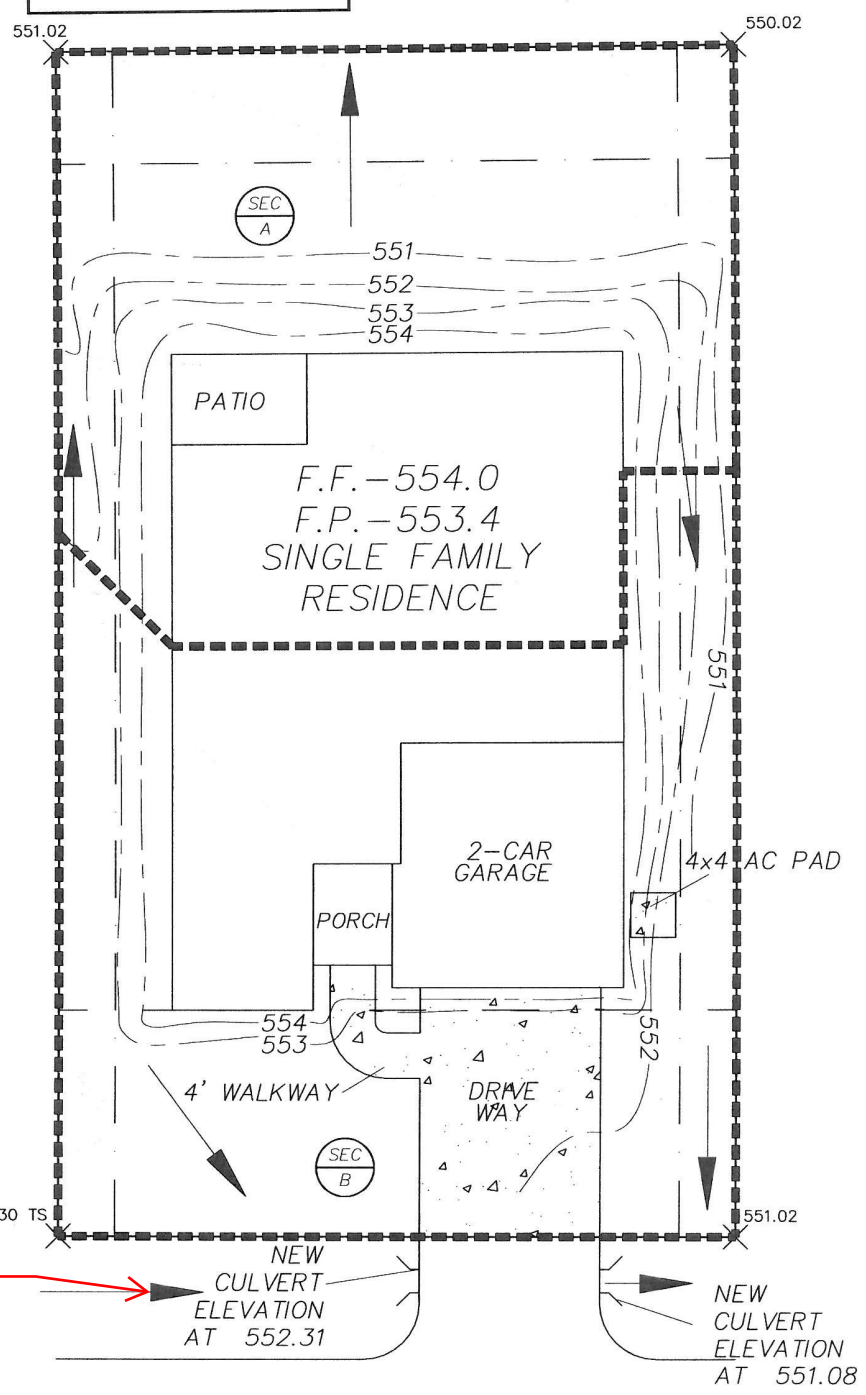
10/31/2020
 JSB [Signature]
 F-25738

- LEGEND**
- - - PROPOSED DRAINAGE
 - - - PROPOSED FENCE
 - EXISTING FENCE
 - ▨ CURLEX
 - RETAINING WALL
 - - - EXISTING GRADING
 - 625- PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:
 X_{00.000} - SPOT ELEVATION
 TP - TOP OF SWALE
 TW - TOP OF WALL
 BW - BOTTOM OF WALL

CULVERT PIPE CALCS			
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA
A	0.500	9.800	0.068
B	0.500	9.800	0.076
			0



Culvert design (for building permit) must account for offsite drainage as well. How much water is draining in the ditch?

NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.	DDS GROUP
ROCKWALL, TX.	
DRAWN BY: DDSG	
DATE: 12-17-2020	GRADING PLAN



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT 1096 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktoro customhomes@gmail.com

E-MAIL

blacktoro customhomes@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

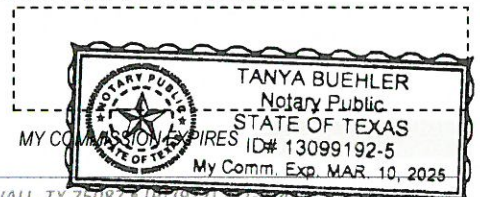
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

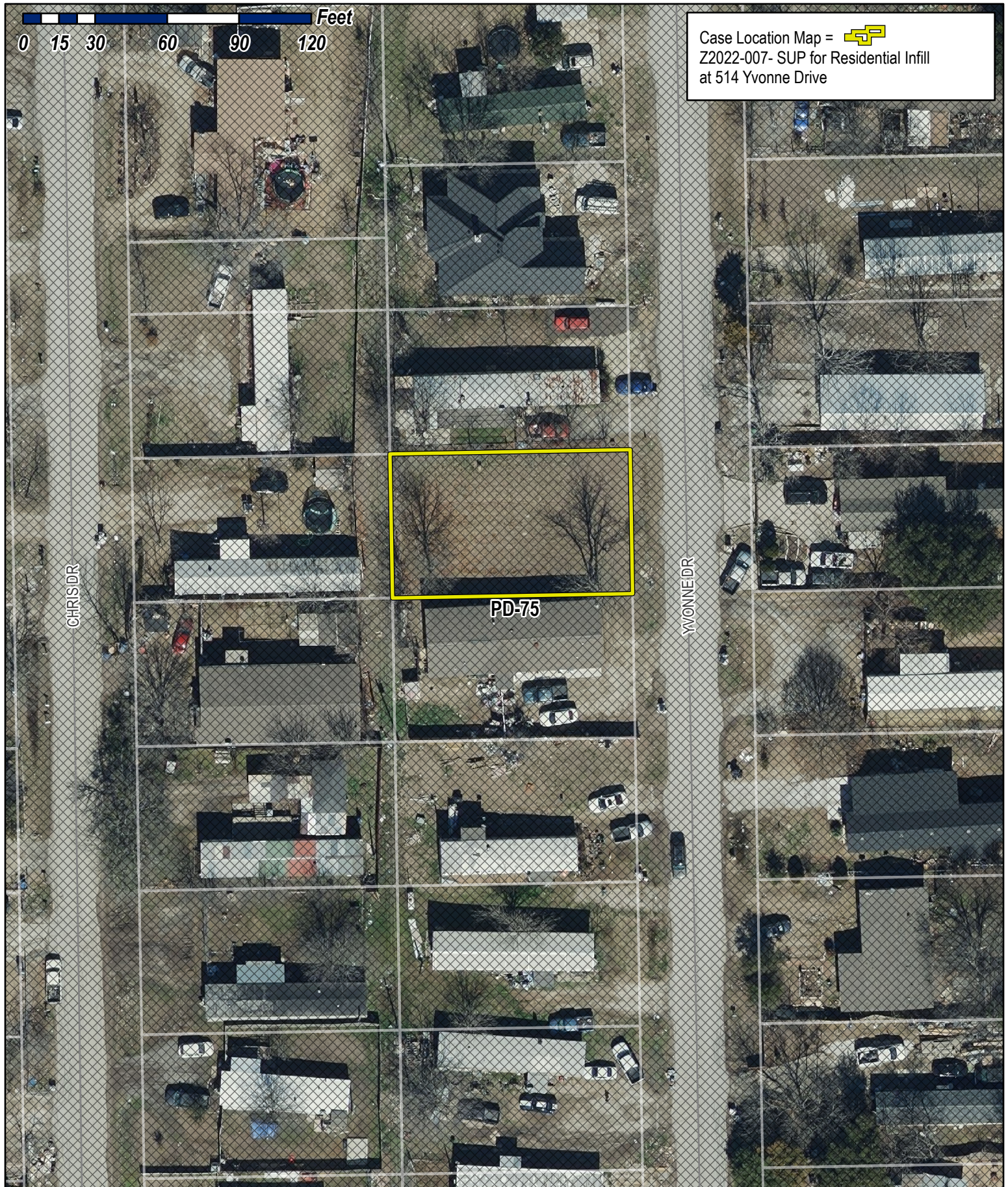
OWNER'S SIGNATURE


[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech





Case Location Map = 
 Z2022-007- SUP for Residential Infill
 at 514 Yvonne Drive



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

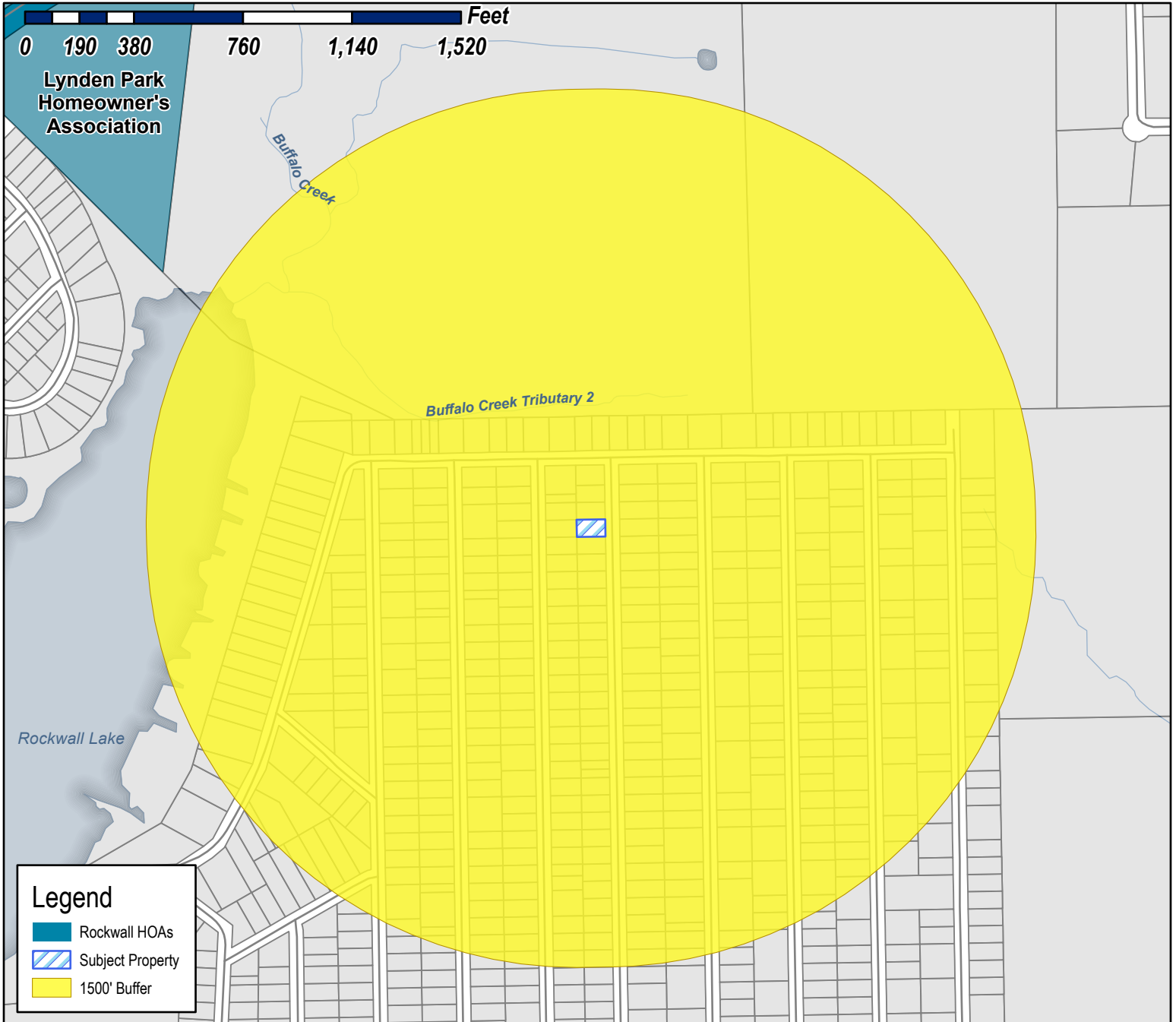







City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

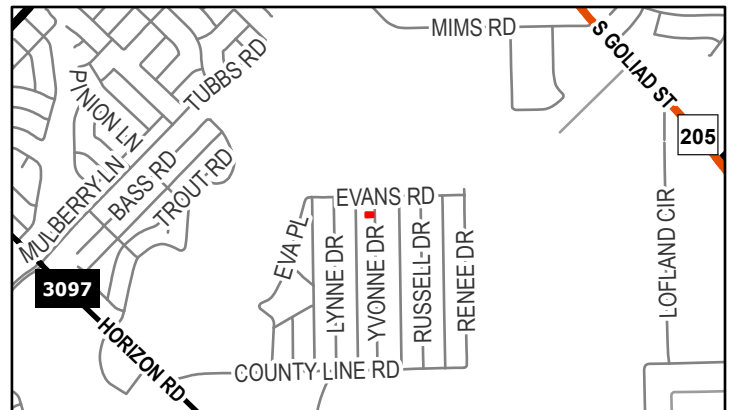


Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745

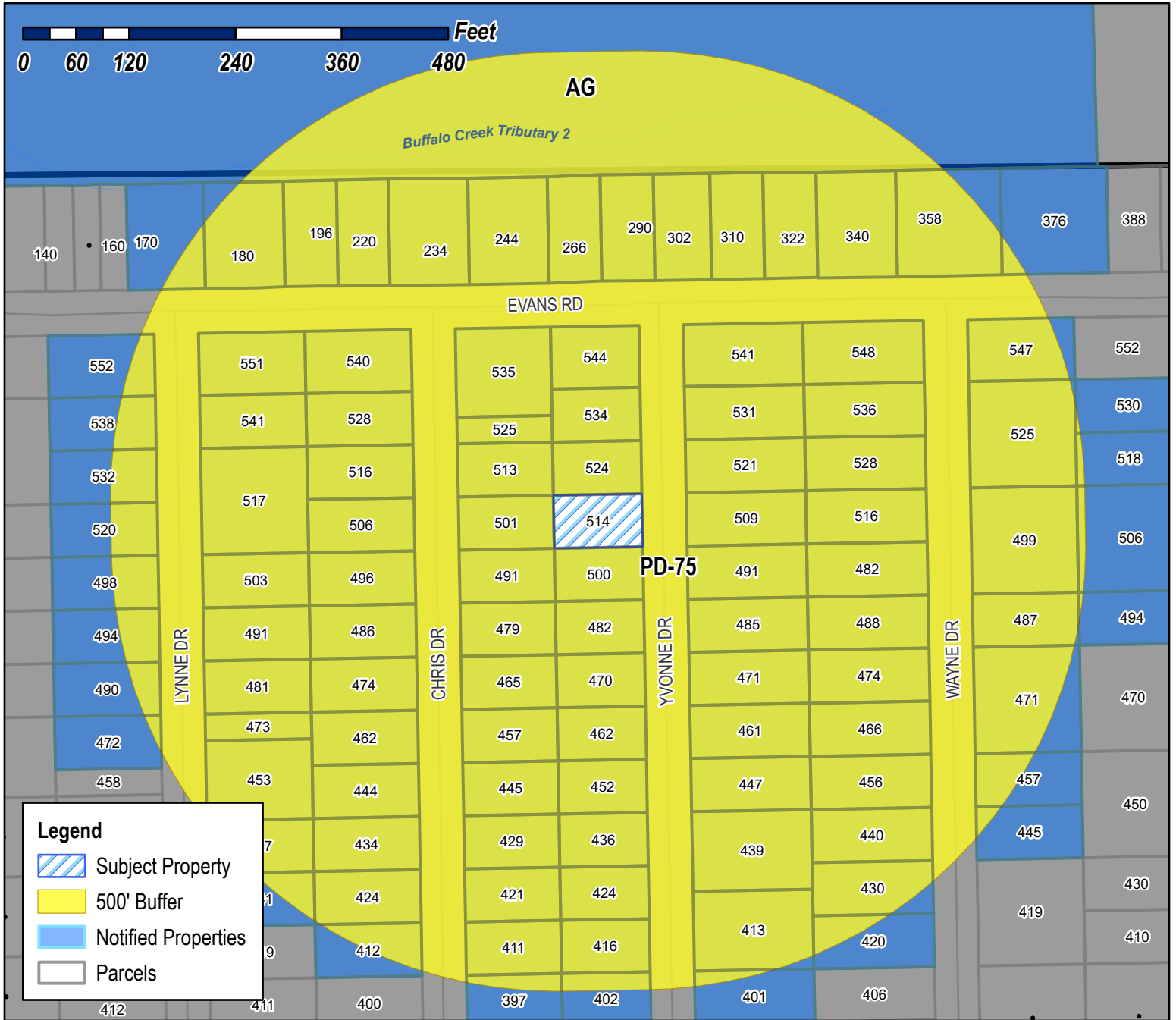




City of Rockwall

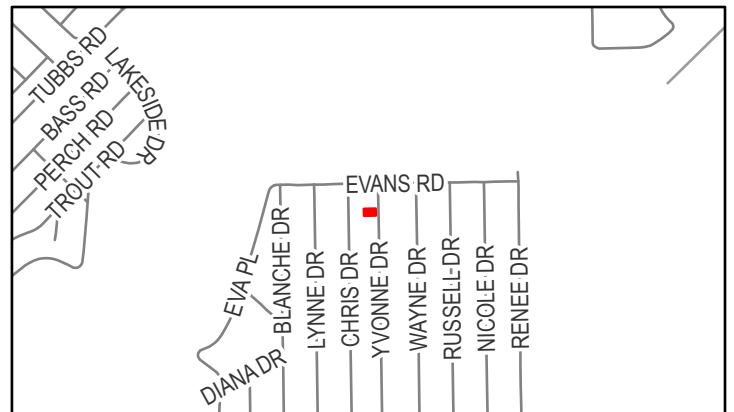
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-007
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 514 Yvonne Drive

Date Saved: 2/17/2022
 For Questions on this Case Call (972) 771-7745



THELWELL LINDA
1013 BLACKBERRY TRL <Null>
LANCASTER, TX 75134

SILVA BERTHA
1041 E FM 552 <Null>
ROCKWALL, TX 75087

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST <Null>
ROCKWALL, TX 75087

CHAPELA AARON
1188 YVONNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278 <Null>
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA
151 PERCH RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
170EVANSRD ROCKWALL
TX, 75032

DIAZ JUANA
1750 E FM 550 <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR <Null>
ROCKWALL, TX 75032

HERREROS BERTOLDO
196 EVANS RD <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
220 CRAWFORD LN <Null>
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN
220 EVANS RD <Null>
ROCKWALL, TX 75032

YANES MARIA TERESA
230 CHRIS DR <Null>
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD <Null>
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD <Null>
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
266 EVANS RD ROCKWALL
TX, 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE <Null>
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS <Null>
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
302 EVANS RD ROCKWALL
TX, 75032

SILVA JORGE & ELIZABETH
3078 S FM 551 <Null>
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD <Null>
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
373 YVONNE DR <Null>
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD <Null>
ROCKWALL, TX 75032

BROTZE MARGARET
401 YVONNE DR ROCKWALL
TX, 75032

JARAMILLO JOSE A
402 YVONNE DR <Null>
ROCKWALL, TX 75032

CARMONA ROBERTO
411 CHRIS DR <Null>
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
413 YVONNE DR <Null>
ROCKWALL, TX 75032

CRUZ JOSE AND
ADRIANA GUERRERO
416 YVONNE DR <Null>
ROCKWALL, TX 75032

MERKEL JAMES
420 WAYNE DR <Null>
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
421CHRISDR ROCKWALL
TX, 75032

CARDENAS RODOLFO
424 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA
424 YVONNE DR ROCKWALL
TX, 75032

RAMIREZ ZACARIAS
429 CHRIS DR ROCKWALL
TX, 75032

DELGADO DONNY
430 WAYNE DRIVE <Null>
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ
434 CHRIS <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
436 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
439 PERCH RD <Null>
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA
439 YVONNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
440 WAYNE DR ROCKWALL
TX, 75032

TORRES ALONSO
441 LYNNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE <Null>
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA
RANGEL
444 CHRIS DR <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
445 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
445 WAYNE DR <Null>
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ
447 LYNNE DR ROCKWALL
TX, 75032

PRUET JAMES D
447 YVONNE DR <Null>
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR <Null>
ROCKWALL, TX 75032

CHAPELA AARON
452YVONNEDR ROCKWALL
TX, 75032

CASTILLO ARTURO & VICTORIA
453 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ MARICELA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA
456 WAYNE DR <Null>
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA
457 CHRIS DR ROCKWALL
TX, 75032

GARCIA JOSE NOE
457 WAYNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR <Null>
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
462 CHRIS DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
462 YVONNE DR ROCKWALL
TX, 75032

YANES MARIA TERESA
465 CHRIS DR ROCKWALL
TX, 75032

MORENO LUIS NOE
466 WAYNE DR ROCKWALL
TX, 75032

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
470 YVONNE DR ROCKWALL
TX, 75032

SOTO DOMINGO
471 WAYNE DR <Null>
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
471 YVONNE DR ROCKWALL
TX, 75032

LICEA DELFINO
472 LYNNE DR ROCKWALL
TX, 75032

CASTILLO IGNACIO
473 LYNNE DR ROCKWALL
TX, 75032

MORENO ORALIA SOLIS
474 BASS ROAD <Null>
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD <Null>
ROCKWALL, TX 75032

TORRES ALONSO
474 CHRIS DR ROCKWALL
TX, 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

CASTILLO IGNACIO
481 LYNNE DR <Null>
ROCKWALL, TX 75032

ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR <Null>
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE <Null>
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR <Null>
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR <Null>
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR <Null>
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
488 WAYNE DR ROCKWALL
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA
IBARRA
490 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR <Null>
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
491 YVONNE DR ROCKWALL
TX, 75032

DIAZ JOSE LUIS
494 LYNNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
496 CHRIS DR ROCKWALL
TX, 75032

LICEA JOSE DELFINO
498 LYNNE DR ROCKWALL
TX, 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR <Null>
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR <Null>
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE <Null>
ROCKWALL, TX 75033

DIAZ MARIA L FLORES
503 LYNNE DR <Null>
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
506 CHRIS DR ROCKWALL
TX, 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR <Null>
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR <Null>
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT <Null>
GARLAND, TX 75043

SILVA JORGE & ELIZABETH
513CHRISDR ROCKWALL
TX, 75032

DIAZ JUANA
514 YVONNE DR ROCKWALL
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR <Null>
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
517 LYNNE DR ROCKWALL
TX, 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR ROCKWALL
TX, 75032

FLORES JAIME W &
MARLENE CASTRO
520 LYNNE DR <Null>
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
521 YVONNE DR ROCKWALL
TX, 75032

GANUS HUGH
524 SESAME DR <Null>
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR <Null>
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR <Null>
ROCKWALL, TX 75032

SILVA BERTHA
528 CHRIS DR ROCKWALL
TX, 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR <Null>
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
531 YVONNE DR ROCKWALL
TX, 75032

ANAYA JUAN C & RAUL
532 LYNNE DR ROCKWALL
TX, 75032

MARTINEZ MARIO CRUZ
534 YVONNE DR ROCKWALL
TX, 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR <Null>
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR <Null>
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
538 LYNNE DR ROCKWALL
TX, 75032

RODRIGUEZ ROMAN
540 CHRIS DR <Null>
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 EVANS RD <Null>
ROCKWALL, TX 75032

DIAZ JOSE LUIS
541 LYNNE DR ROCKWALL
TX, 75032

ALVARADO HERALD DAVID CORDOVA
544 YVONNE DR ROCKWALL
TX, 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR <Null>
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST <Null>
ROCKWALL, TX 75032

THELWELL LINDA
551 LYNNE DR ROCKWALL
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE <Null>
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR <Null>
ROCKWALL, TX 75087

RAMIREZ MAXIMINO SIERRA
774 EUGENE RD <Null>
MEMPHIS, TN 38116

HUERTA JOSE AND MARIA
848 SMITH ACRES DR <Null>
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND
MARIA DEL ROCIO ZARATE
907 WILLOW RIDGE <Null>
ROCKWALL, TX 75032

HERRERA JUAN E
926 BLACKLAND RD <Null>
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC
PO BOX 69 <Null>
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-007: SUP for a Residential Infill at 514 Yvonne Drive

Please place a check mark on the appropriate line below:

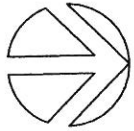
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

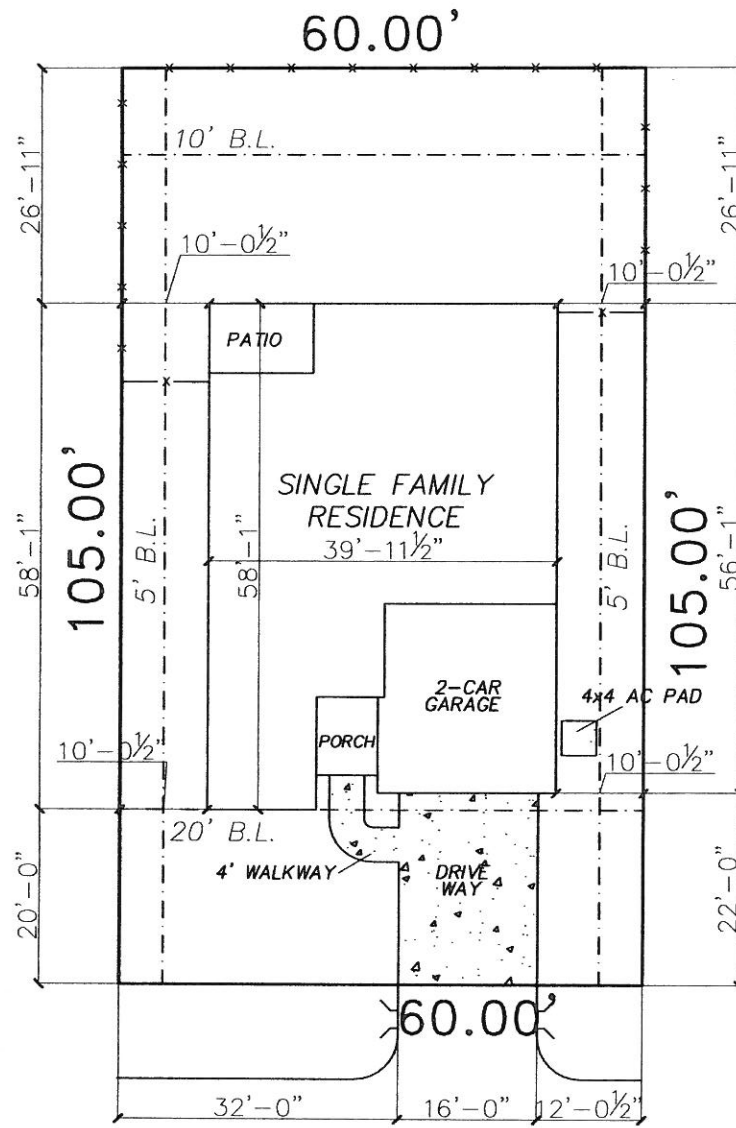
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NORTH
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	DDS GROUP
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

CALL BEFORE YOU DIG

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

CAUTION - CONTRACTOR'S NOTE

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020
J.S.B. Engineer
F-20338

LEGEND

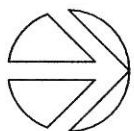
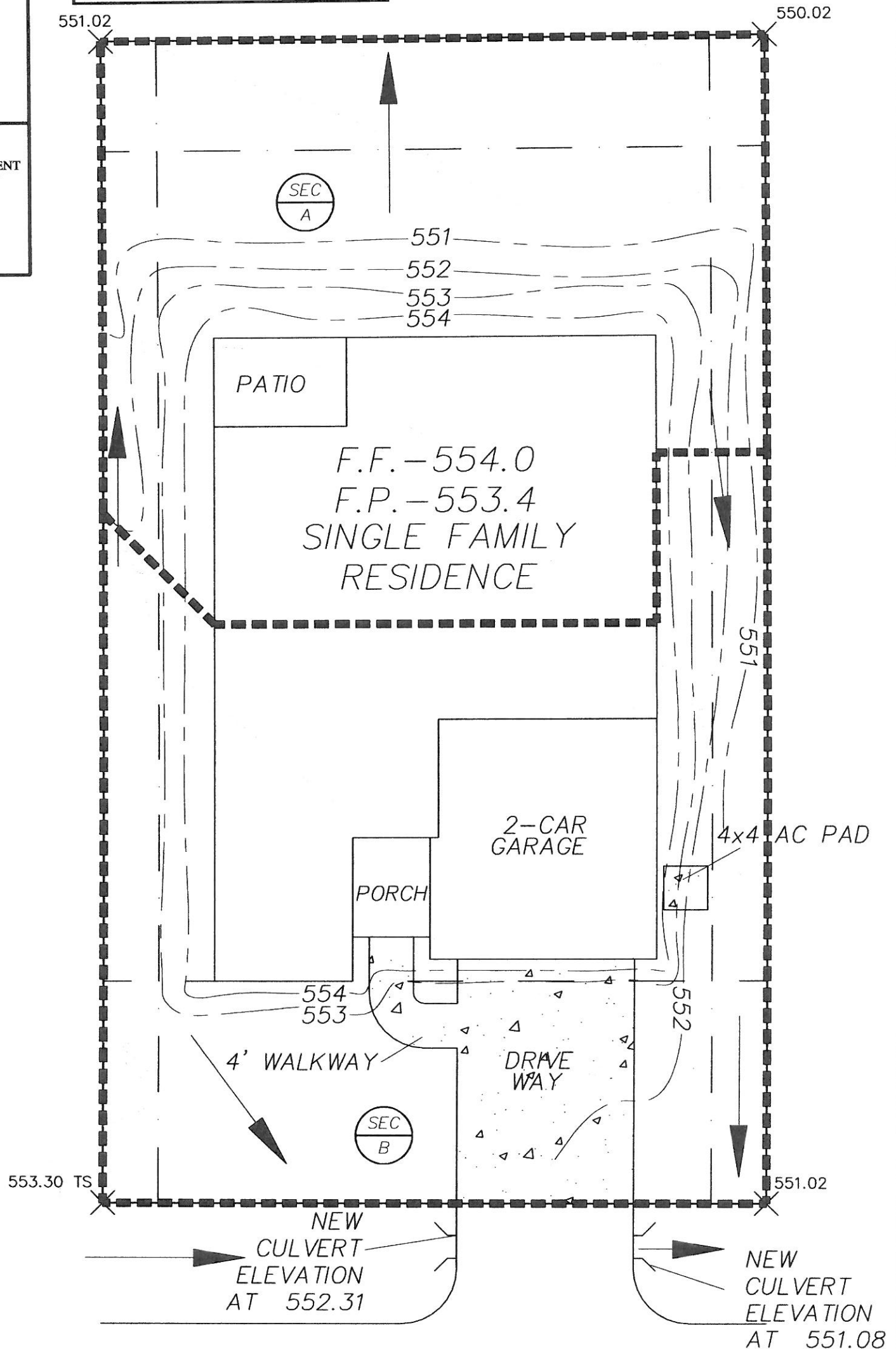
- - PROPOSED DRAINAGE
- - PROPOSED FENCE
- - EXISTING FENCE
- ▨ - CURLEX
- - RETAINING WALL
- - - - - EXISTING GRADING
- 625- - PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

SPOT ELEVATION KEY:

- 102,000.0 X = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

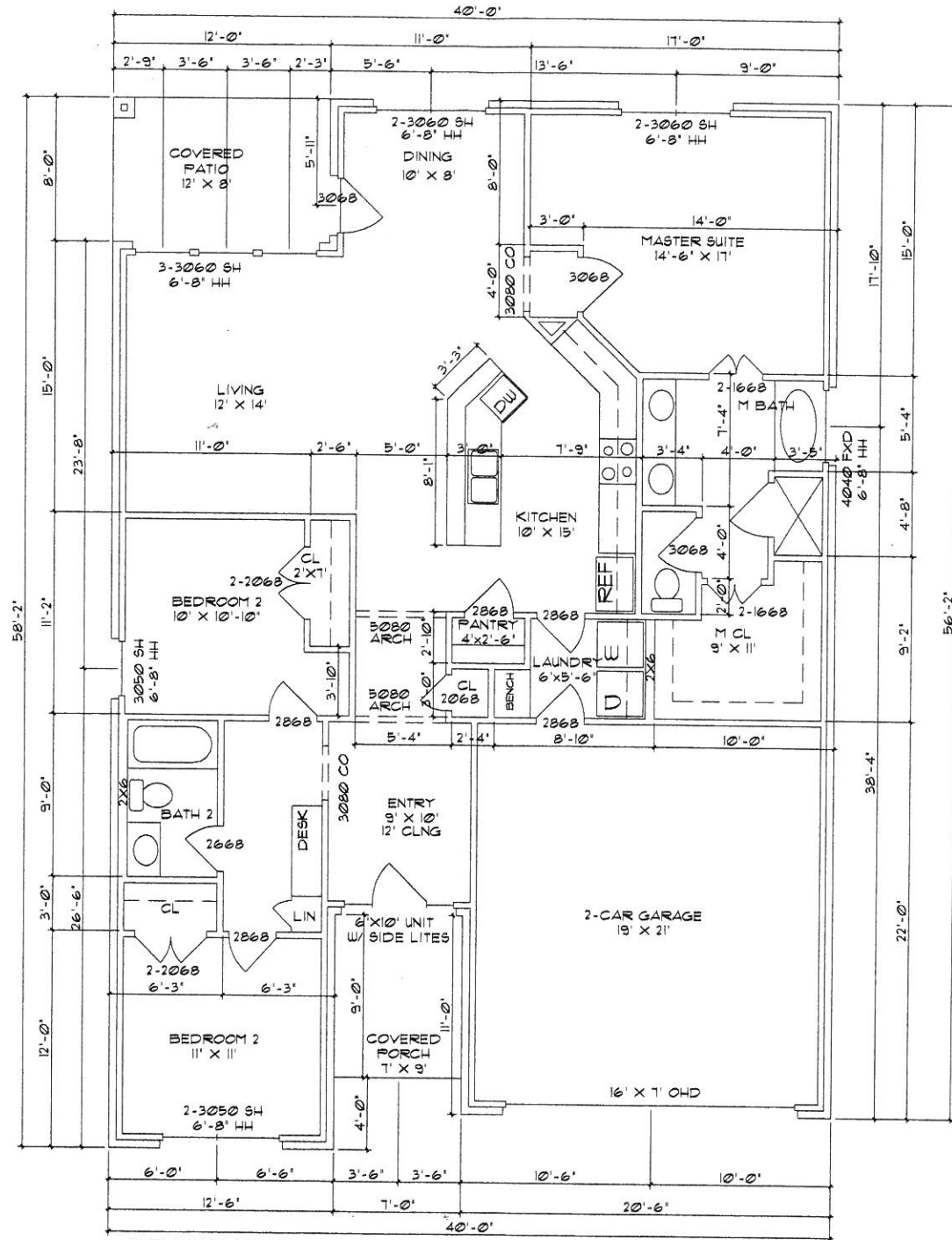
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

DDS GROUP

GRADING PLAN



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

2030 SH
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGLUS 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

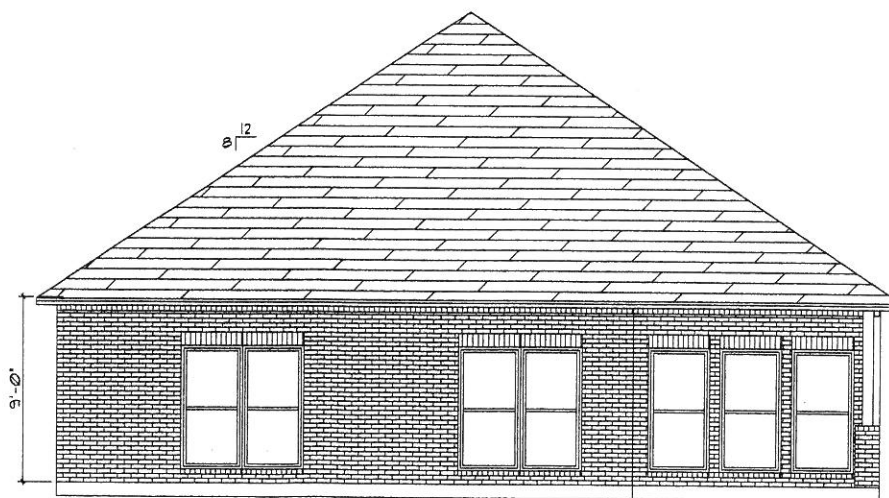
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A2



③ FRONT ELEVATION
SCALE: 1/4" = 1'-0"



② REAR ELEVATION
SCALE: 1/4" = 1'-0"

DDS GROUP

DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSG.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

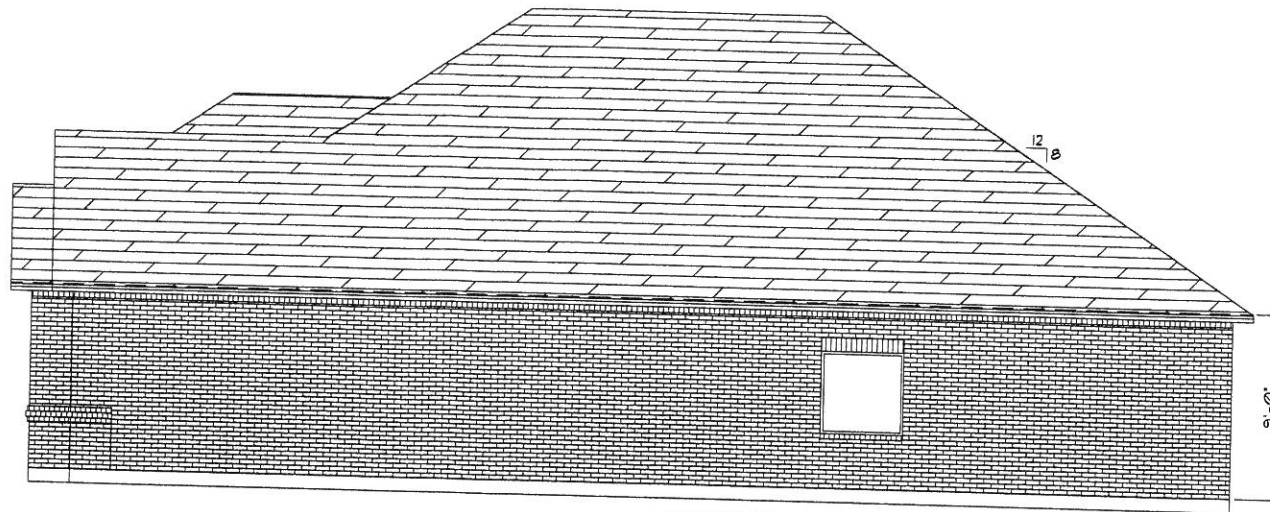
514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

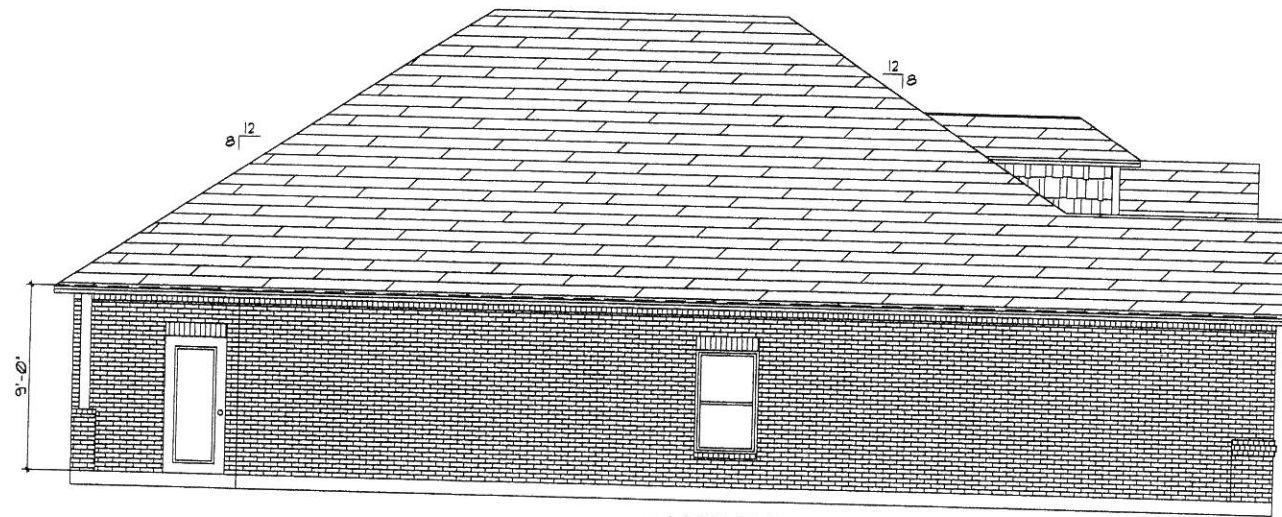
A

SHEET NUMBER:

A3



① RIGHT ELEVATION
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550
123 W. MAIN STREET SUITE #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.US 469-999-0800

DESIGNER:
DDS GROUP

PROJECT #:

514 YVONNE DR.
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

A4

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1096, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 1096, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF APRIL, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map and Survey

Address: 514 Yvonne Drive

Legal Description: Lot 1096, Rockwall Lake Estates #2 Addition

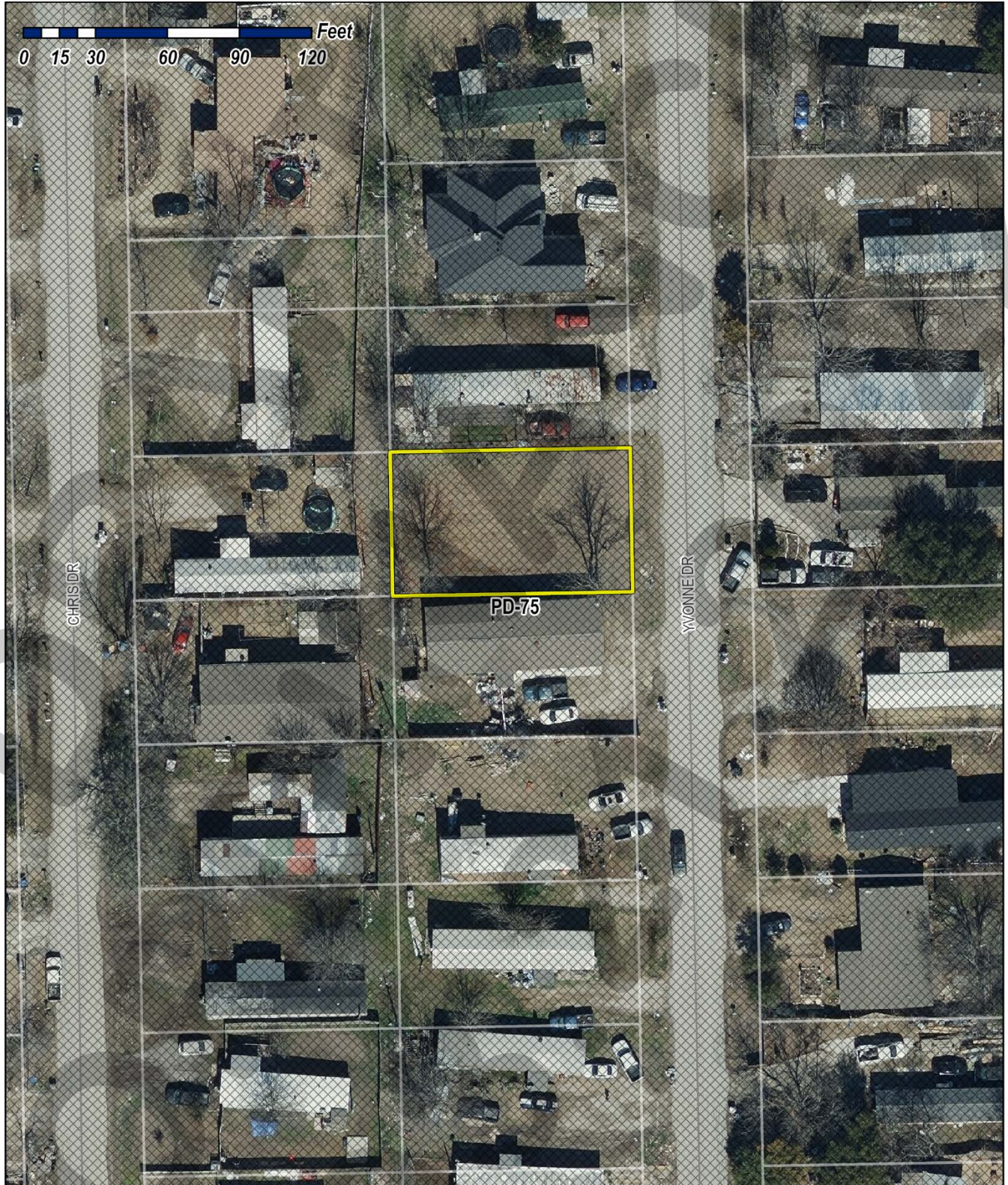
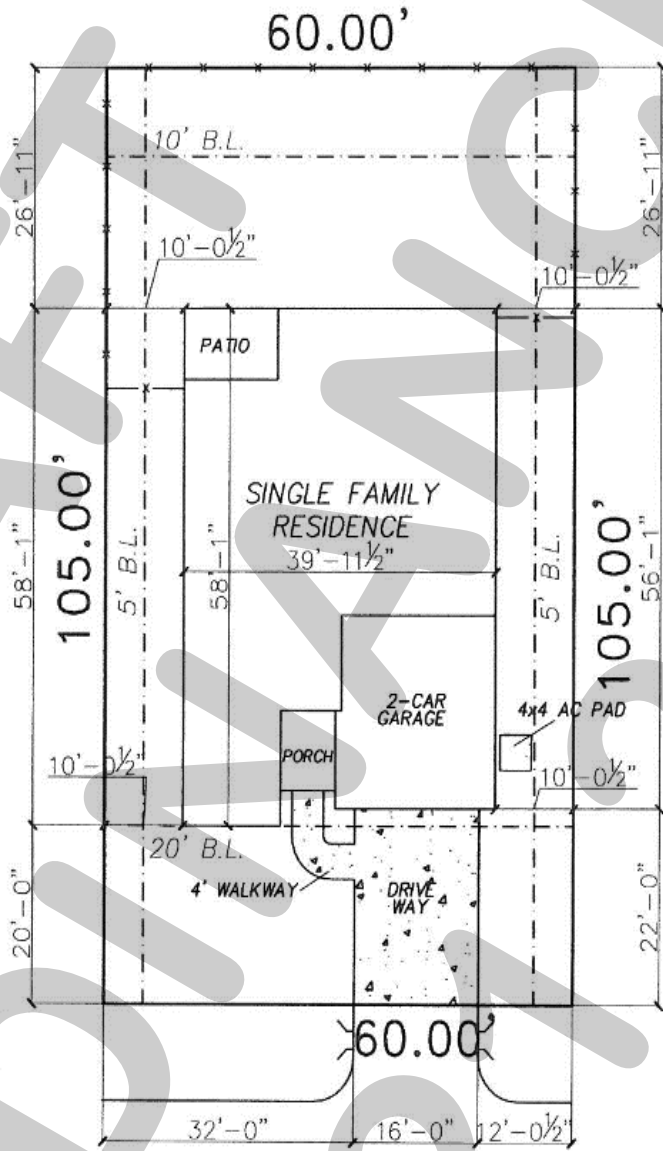
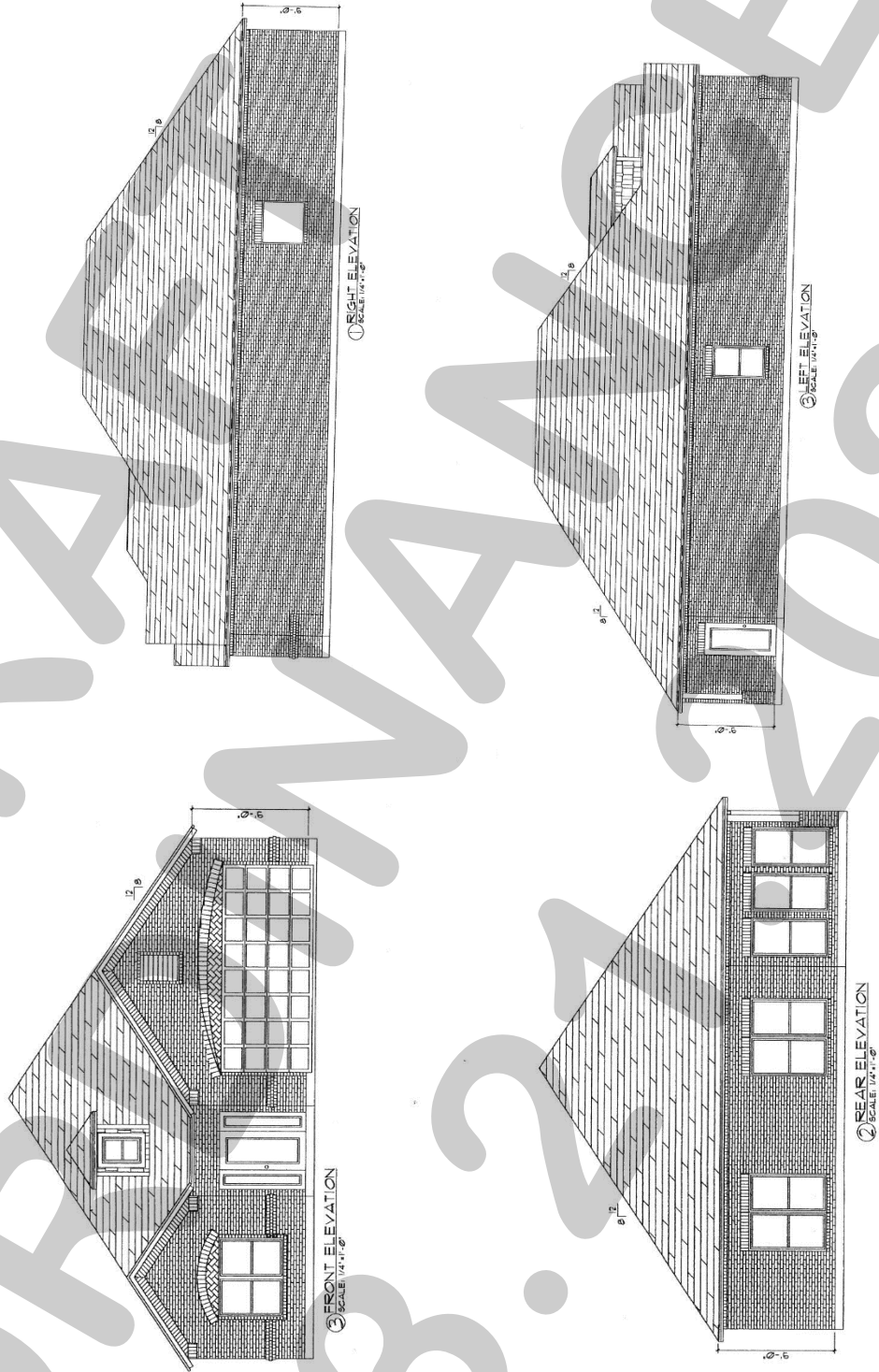


Exhibit 'B':
Residential Plot Plan



YVONNE DRIVE

Exhibit 'C':
Building Elevations





April 6, 2022

TO: Juan Aguilar
1210 Creek Valley Road
Mesquite, TX 75181

CC: Jose A. Contreras
Black Toro Custom Homes, LLC.
1210 Creek Valley
Mesquite, TX 75181

FROM: Angelica Gamez
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2022-007; *Specific Use Permit (SUP) for Residential Infill at 514 Yvonne Drive*

Mr. Aguilar:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on April 4, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) The subject property will be required to replat prior to obtaining any building permits.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 15, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioners Thomas, Conway, and Chodun absent.

City Council

On March 21, 2022, the City Council approved a motion to approve the SUP with the conditions of approval by a vote of 6-1, with Council Member Campbell absent.

On April 4, 2022, the City Council approved a motion to approve the SUP with the conditions of approval by a vote of 7-0.

Included with this letter is a copy of Ordinance No. 22-18, S-273, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,



Angelica Gamez
Planning Coordinator

CITY OF ROCKWALL

ORDINANCE NO. 22-18

SPECIFIC USE PERMIT NO. S-273

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1096, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 1096, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF APRIL, 2022.**



Kevin Fowler, Mayor

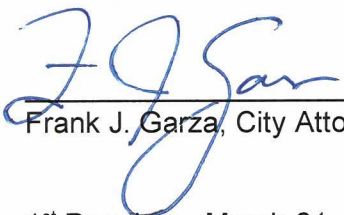
ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: March 21, 2022

2nd Reading: April 4, 2022

Exhibit 'A'
Location Map and Survey

Address: 514 Yvonne Drive

Legal Description: Lot 1096, Rockwall Lake Estates #2 Addition

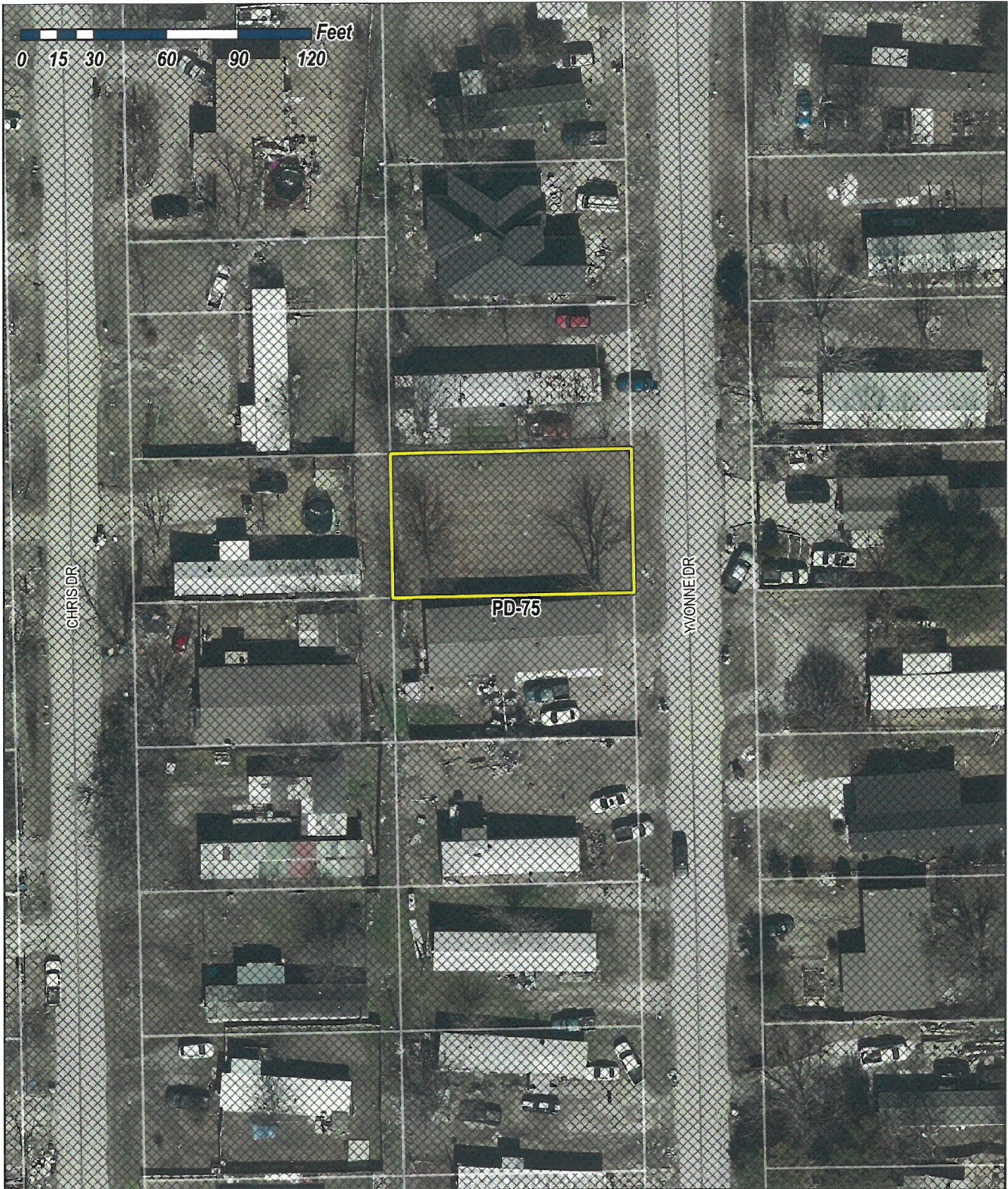
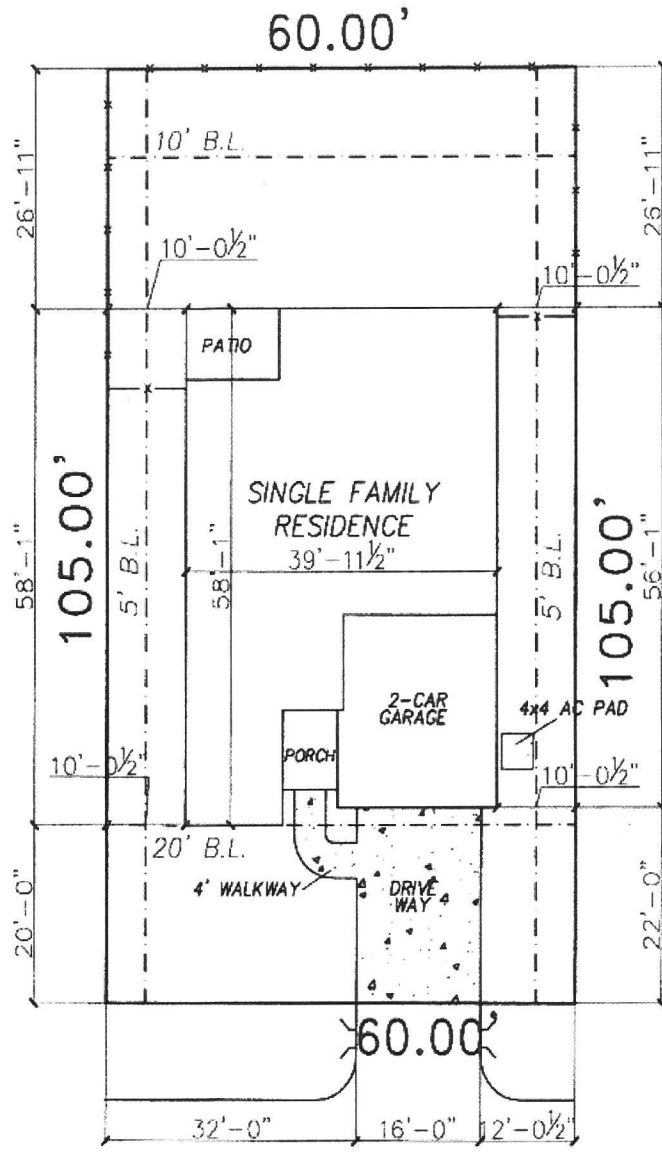


Exhibit 'B':
Residential Plot Plan



YVONNE DRIVE

Exhibit 'C':
Building Elevations

