



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Nelson Lake Estates**

SUBDIVISION **Nelson Lake Estates**

LOT

44

BLOCK

J

GENERAL LOCATION **Between Glenwood Lane and Euclid Drive, along Macbeth Lane**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **1.403**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (U.S.), INC.**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive**

ADDRESS **704 Central Parkway East**

Suite 350

Suite 1200

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE TRESSLER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 378.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF NOVEMBER, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

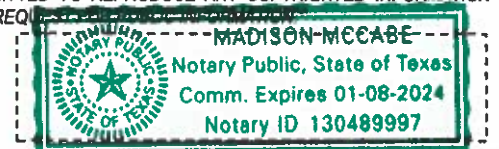
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022

OWNER'S SIGNATURE

Kyle Tressler

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madison McCabe



MY COMMISSION EXPIRES

01-08-2024



DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ONE (1) PDF COPY OF THE PLAT
 - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
 - SITE PLAN.
 - LANDSCAPE PLAN.
 - TREESCAPE PLAN.
 - PHOTOMETRIC PLAN.
 - BUILDING ELEVATIONS.

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the *Material Sample Board Design Guidelines* in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.

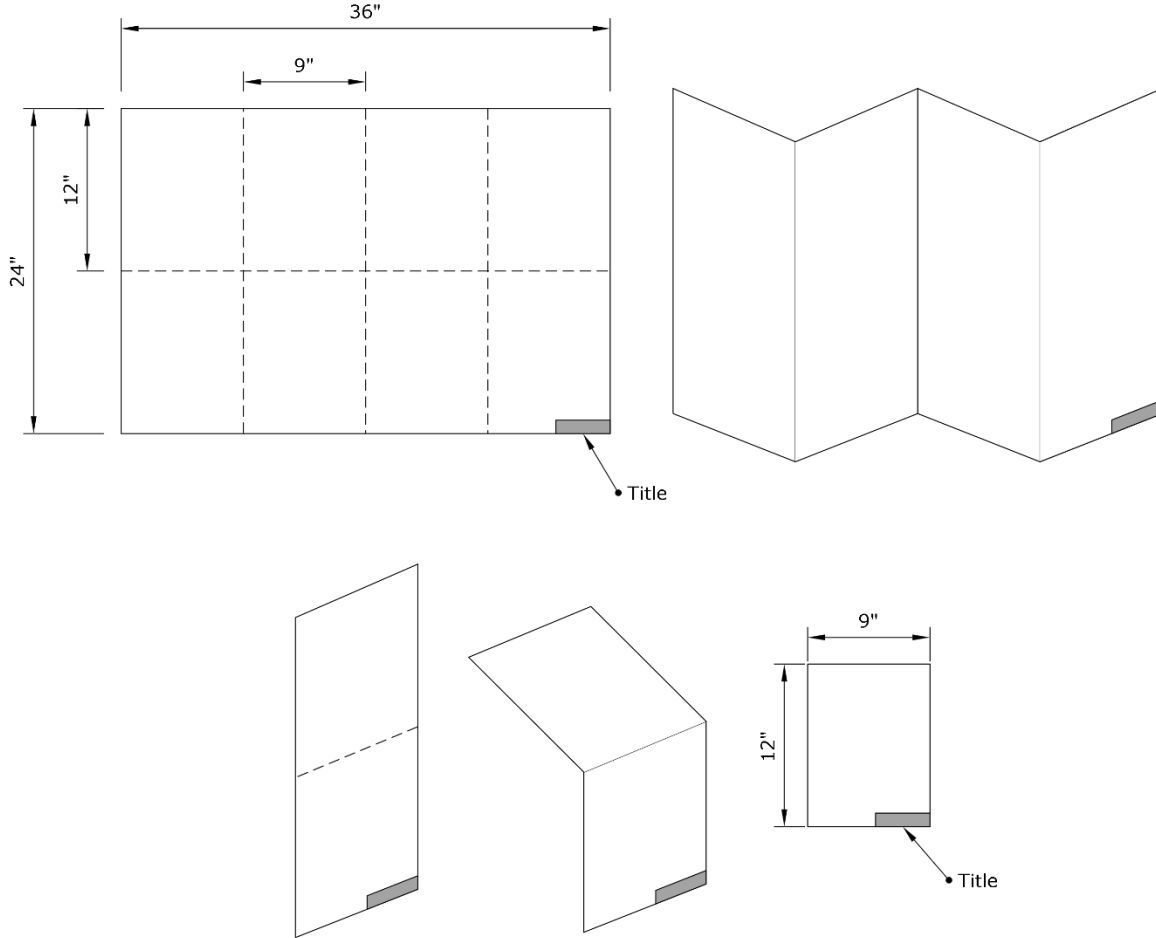


FOLDING REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

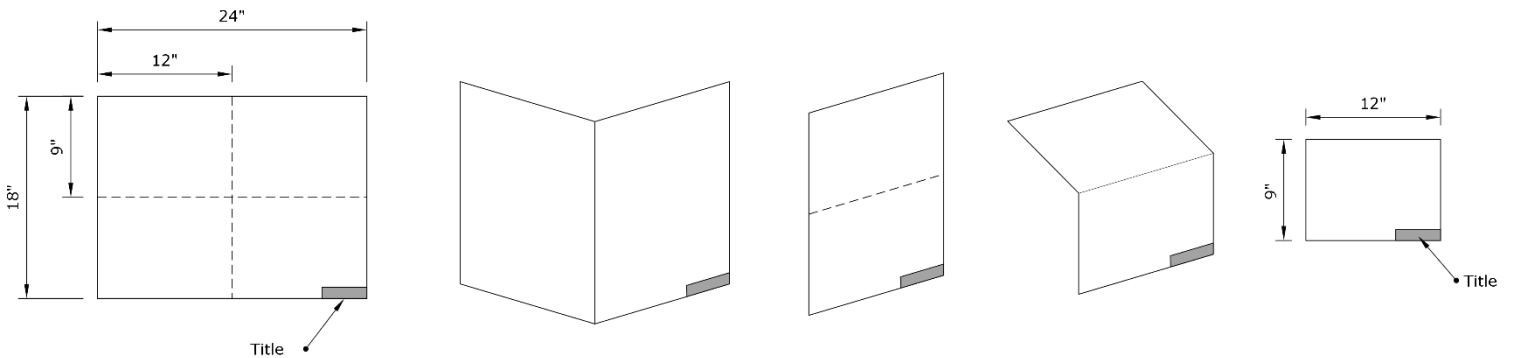
FOLDING REQUIREMENTS FOR PLANS THAT ARE 24" X 36"

All plan sets that are 24" x 36" that are submitted to the City of Rockwall shall be folded in the following manner:



FOLDING REQUIREMENTS FOR PLANS THAT ARE 18" X 24"

All plan sets that are 18" x 24" that are submitted to the City of Rockwall shall be folded in the following manner:



PLEASE NOTE THAT UNFOLDED PLANS WILL NOT BE ACCEPTED BY THE CITY OF ROCKWALL.



CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER:

OVERLAY DISTRICT:

REVIEWED BY:

REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.A, of Art. 11
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	§05.03.C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	§06.02.F, of Art. 05
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2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	§01.06, of Art. 05

3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	§05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08	
✓ Trees allowed in Street Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix C
✓ Trees not allowed in Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix C
Protected Trees (That Will Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.	§07.01, of Art. 09
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.	§05.03.E, of Art. 08
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	§01.08, of Art. 05
Landscape Buffer - Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	§05.01, of Art. 08
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	§05.03.E, of Art. 08
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	§05.04, of Art. 08
Hydro mulch (or non-sod option)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.	Sec. 4.2, Coverage, Engr Standards of Design and Construction
Rights-of-Way & Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).	§05.03.G, of Art. 08

4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

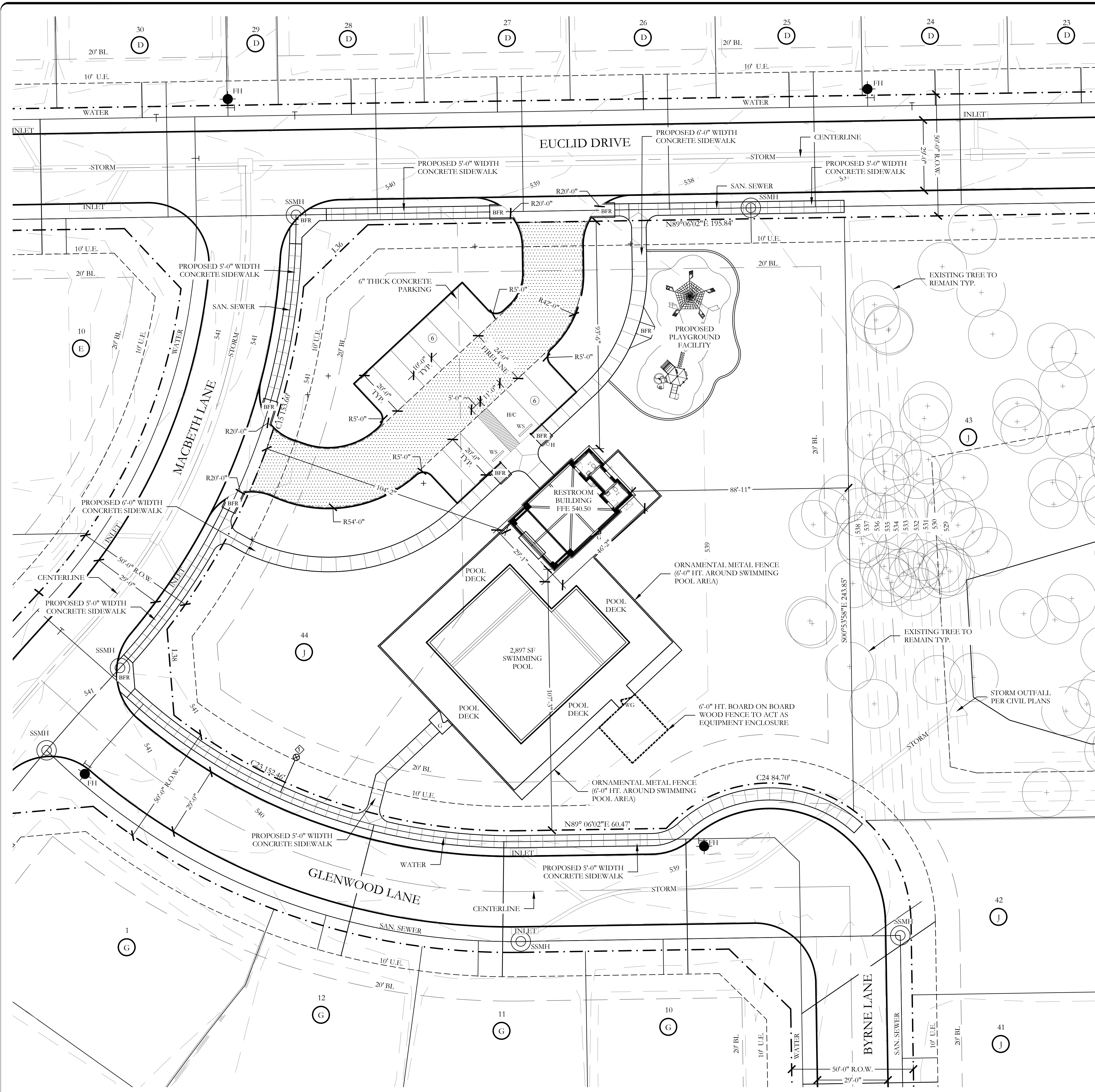
6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	North South East West (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L) 	§04.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H 	§04.01.C.2, of Art. 05

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H) 	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H 	§05.01.C.2, of Art. 05



LEGEND

⊖	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

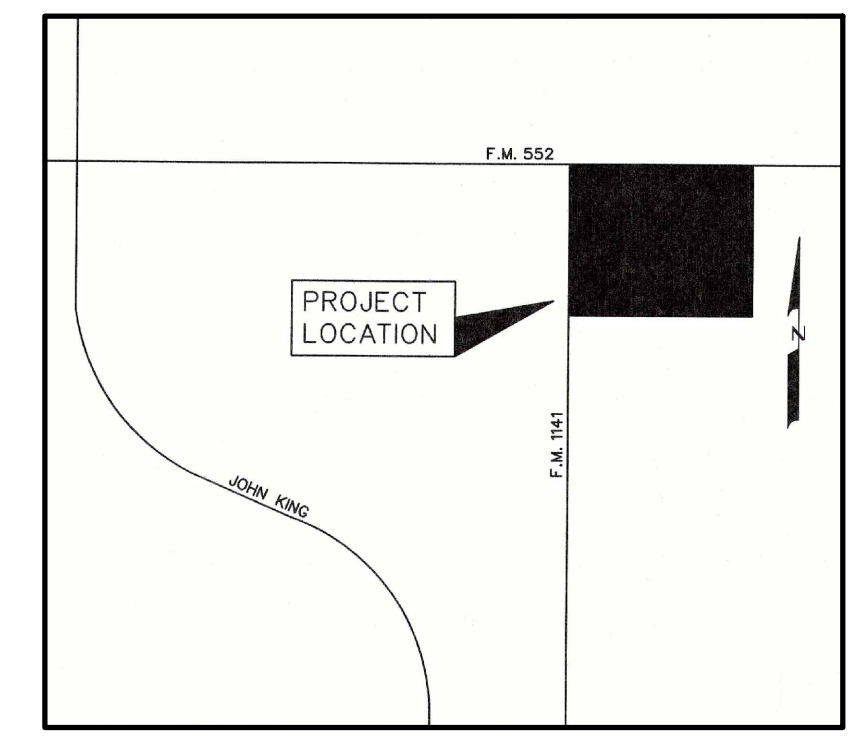
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊖	1"	1"	X		4"



SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

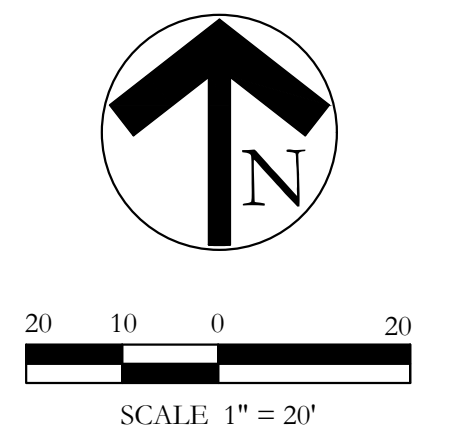
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

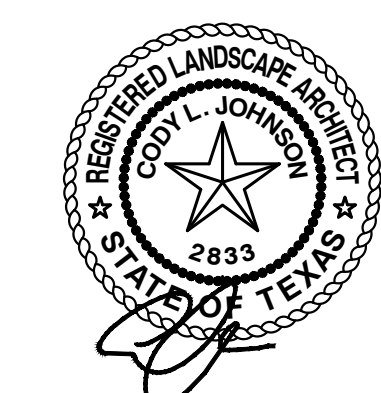
POOL DECK SURFACE: 4,373.64 SF



SITE PLAN
NELSON LAKE ESTATES
LOT 44, BLOCK J
 ~AMENITY CENTER~

BEING 1.403 ACRES OUT OF THE
 J.M. GASS SURVEY
 ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
 - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.



OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI

November 14, 2022



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



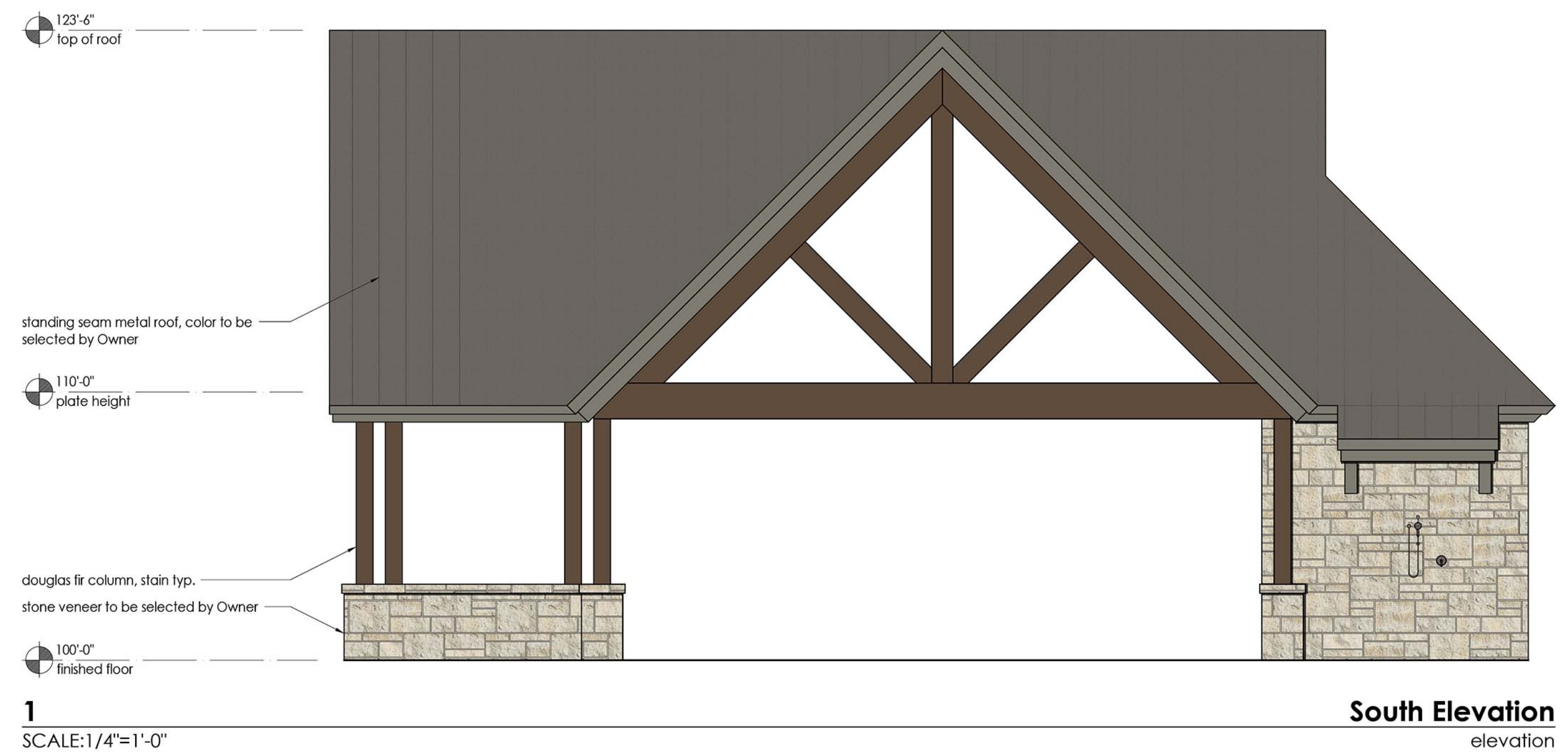
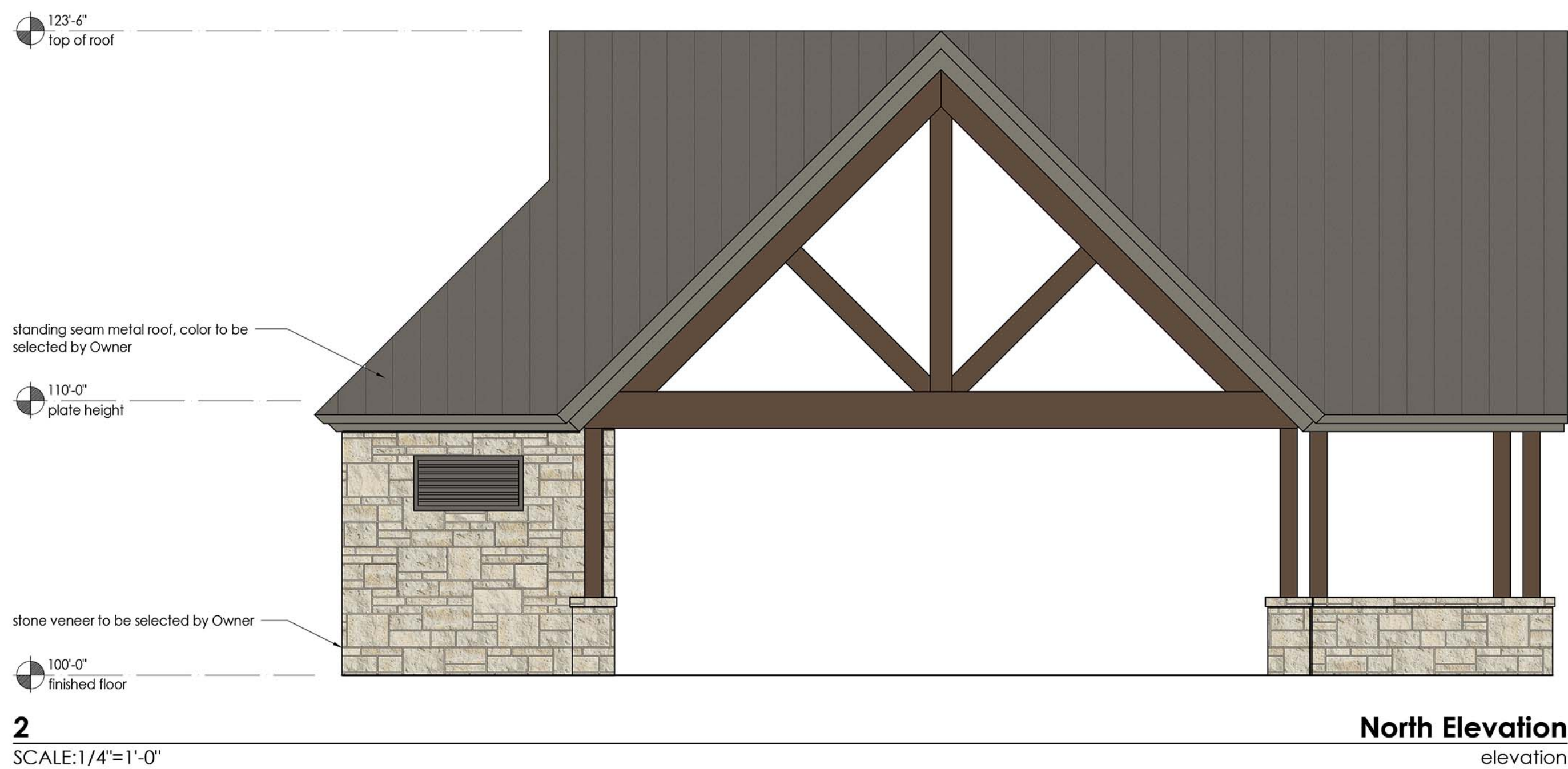
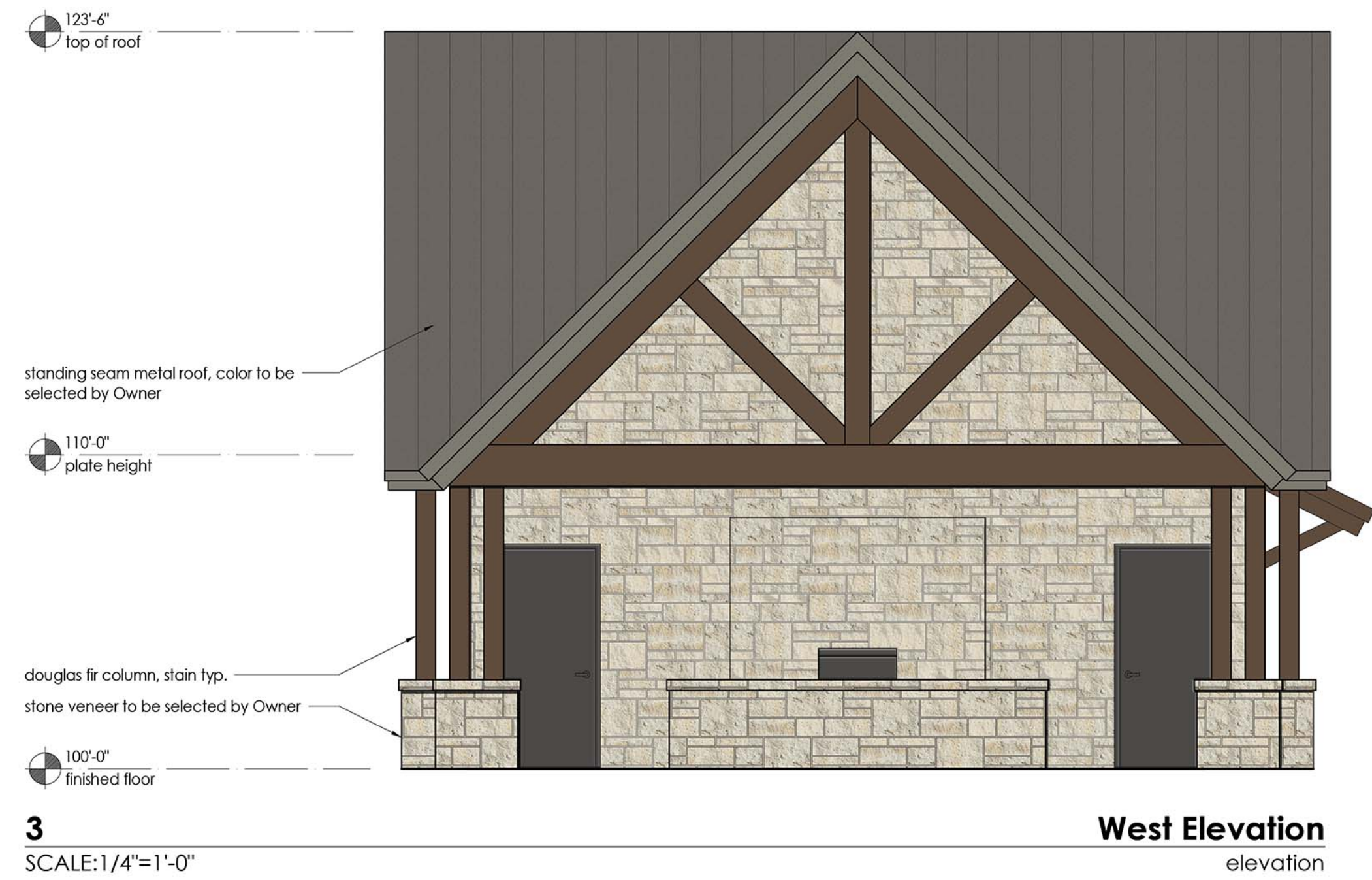
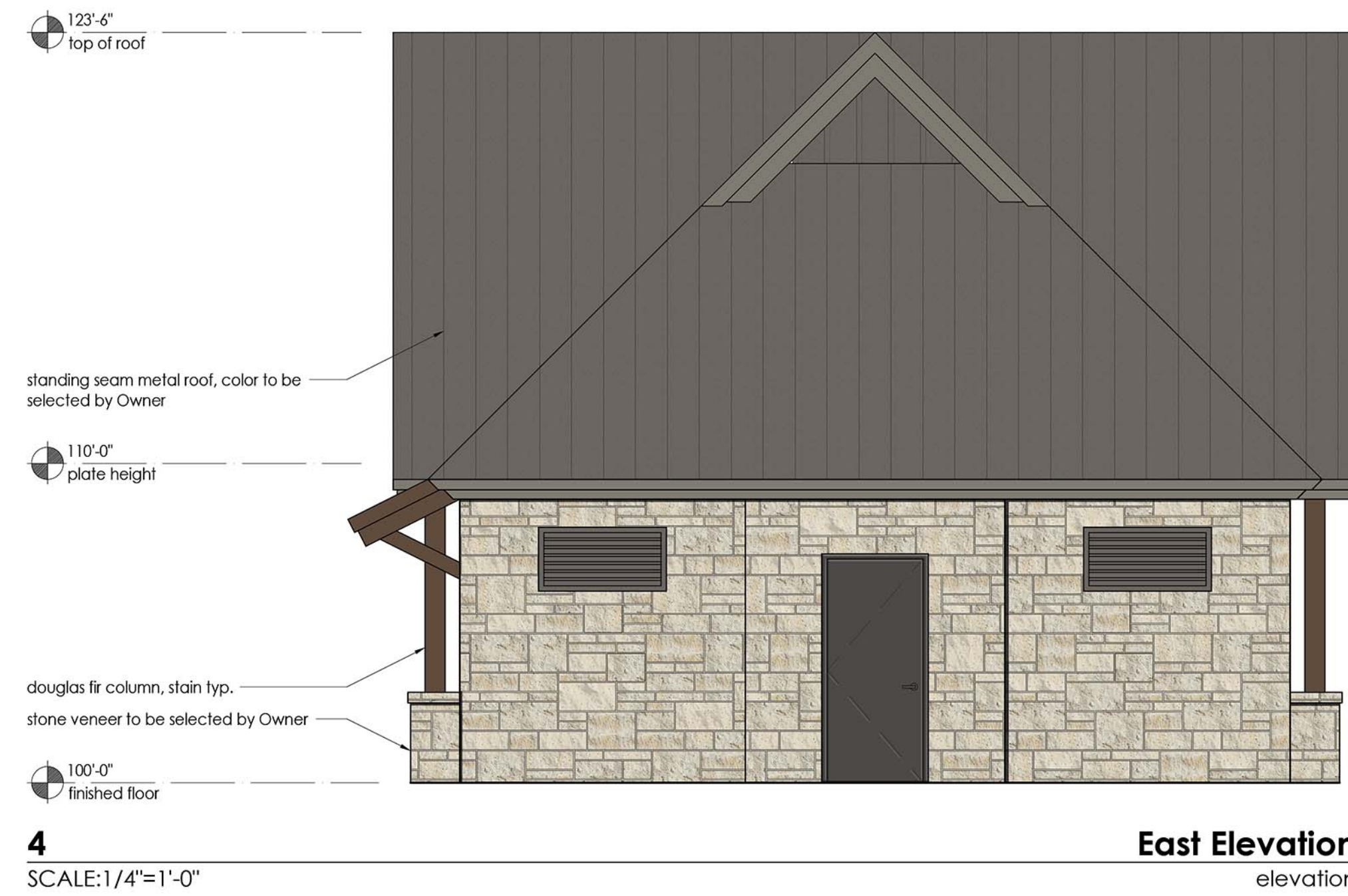
TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	215 S.F.	-	206 S.F.	-	255 S.F.	-	416 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
STONE VENEER (TO BE SELECTED BY OWNER)	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
SECONDARY MATERIAL TOTALS	101 S.F.	46.98%	102 S.F.	49.51%	15 S.F.	5.88%	106 S.F.	25.48%
FIBER CEMENT SIDING (COLOR TO BE SELECTED BY OWNER)	-	-	-	-	7 S.F.	2.74%	-	-
DOUGLAS FIR BEAMS/COLUMNS (STAIN TO BE SELECTED BY OWNER)	101 S.F.	46.98%	102 S.F.	49.51%	8 S.F.	3.14%	106 S.F.	25.48%
DOOR/WINDOW/OPERABLE COVER TOTALS	8 S.F.	3.72%	-	-	37 S.F.	14.51%	38 S.F.	9.14%
ROOF (STANDING SEAM METAL, COLOR TO BE SELECTED BY OWNER)	-	-	-	-	-	-	-	-



SEAL

Copyright © 2022
DATE: 11.02.2022
SCALE:
JOB NO. MA22057
DRAWN: JV
APPD: KM
ACAD #
EXTERIOR ELEVATIONS

DRAWING NO. REV. NO.

A4.00



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

SITE INFORMATION

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 PROPOSED USE: PRIVATE RECREATION CENTER
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 LOT COVERAGE: 2.20%

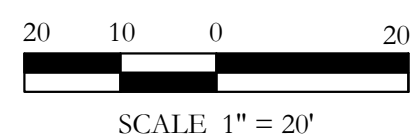
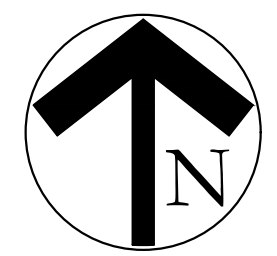
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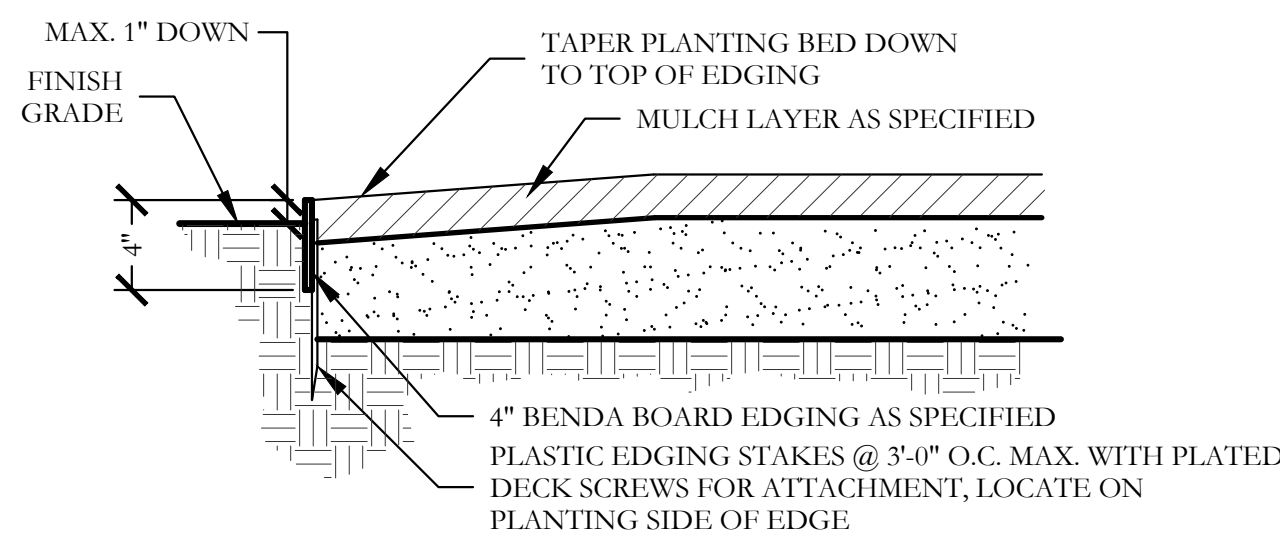
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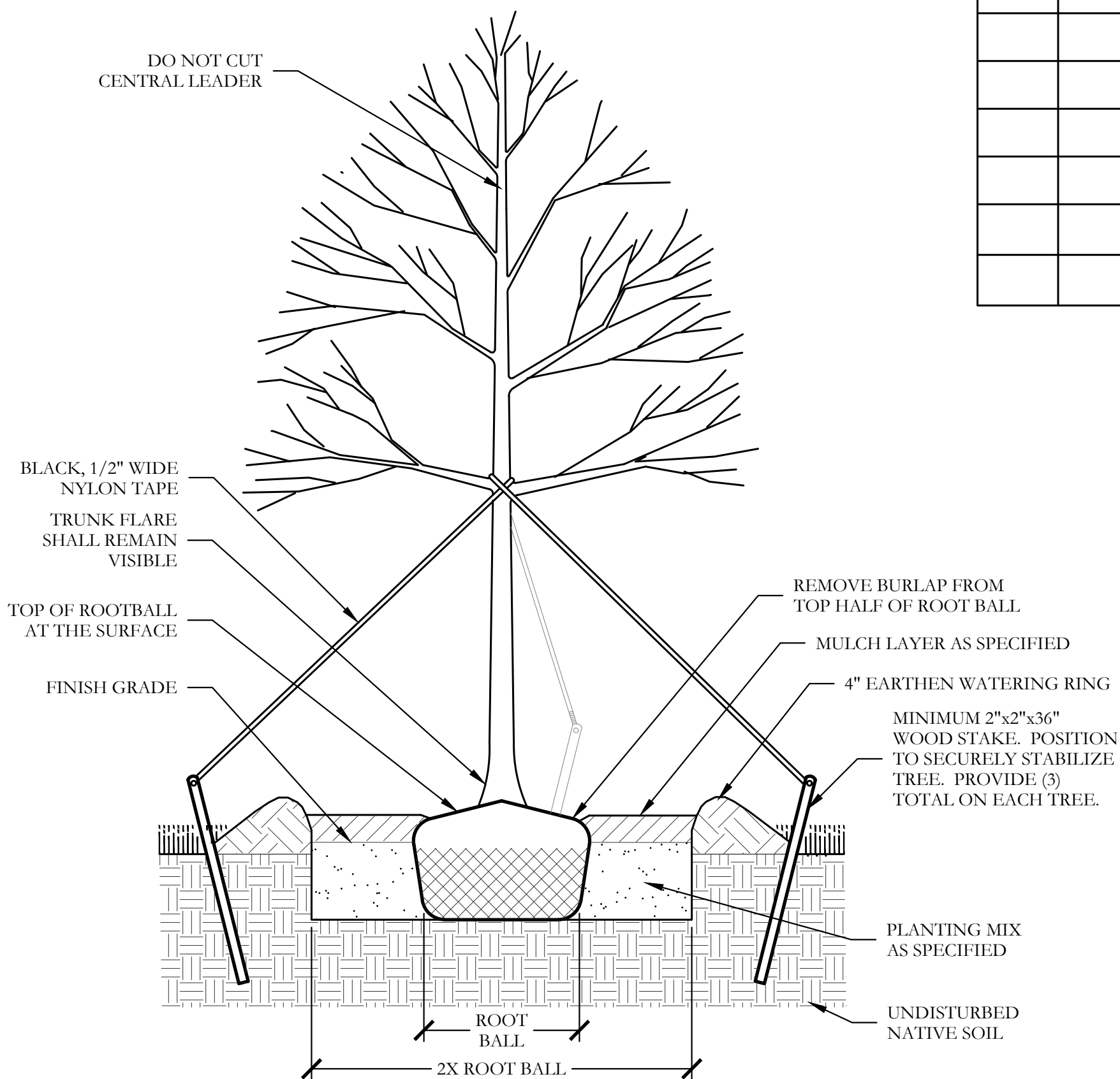
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POOL DECK SURFACE: 4,373.64 SF



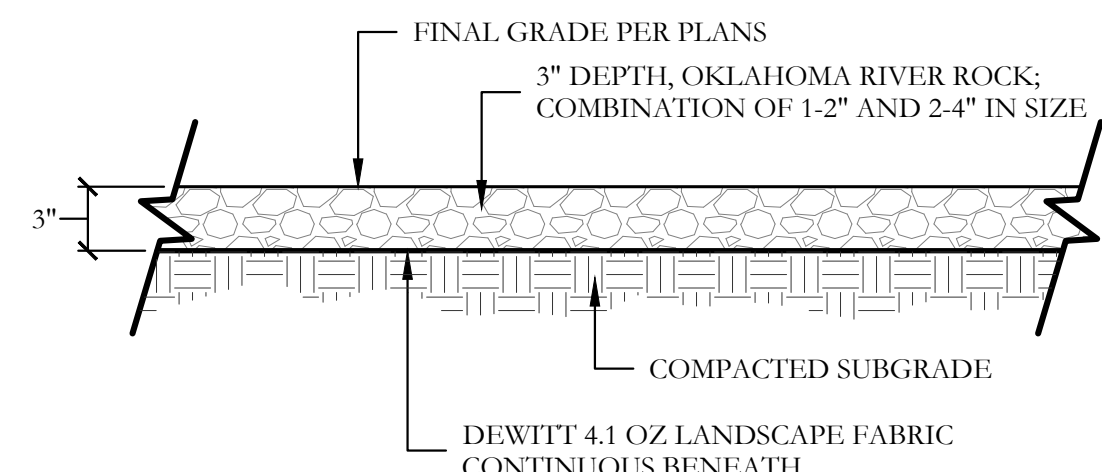


1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

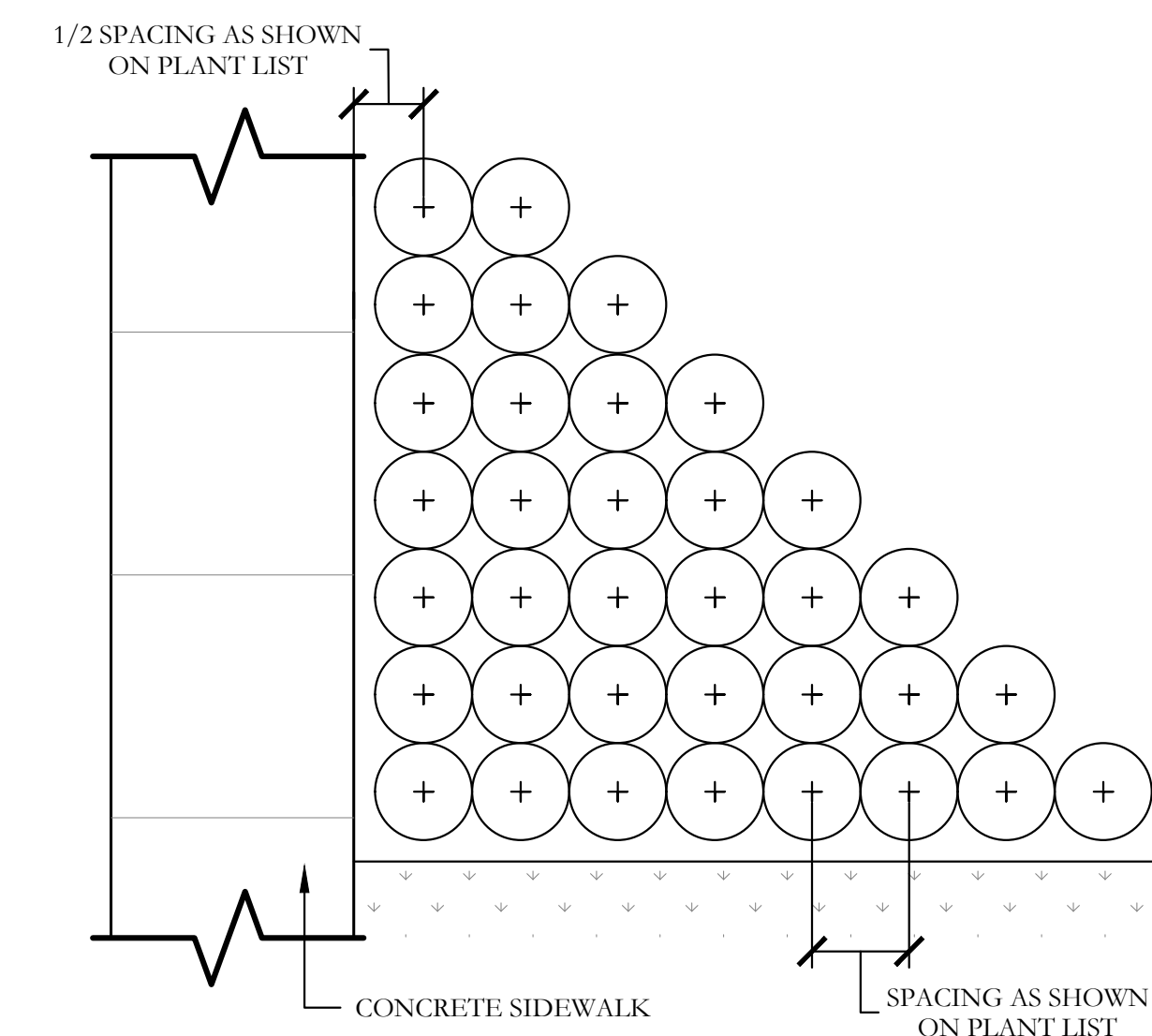


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

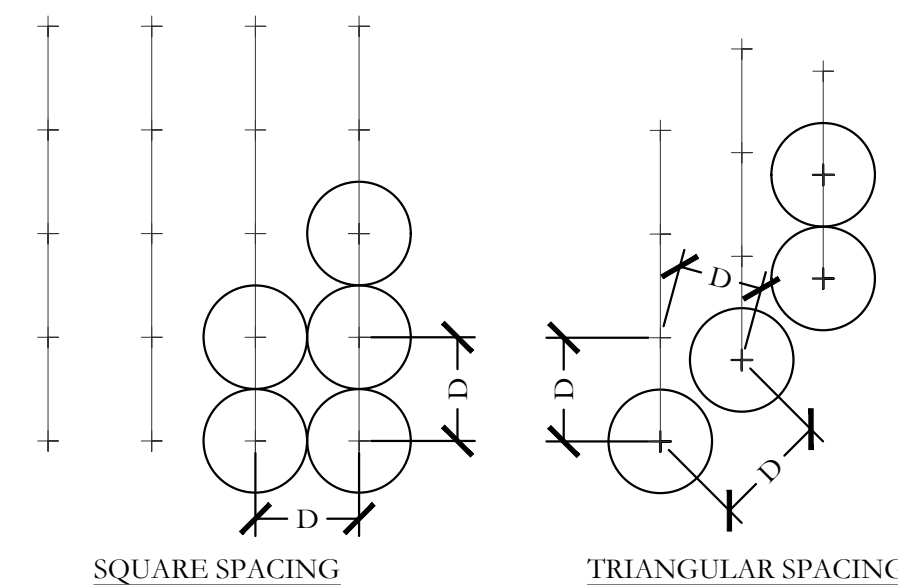
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	9	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	15	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	8	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	47	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	105	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	70	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	33,840	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,690	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	2,140	HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH	MINIMUM 100% COVERAGE ALL AREAS SHOWN; 3" DEPTH



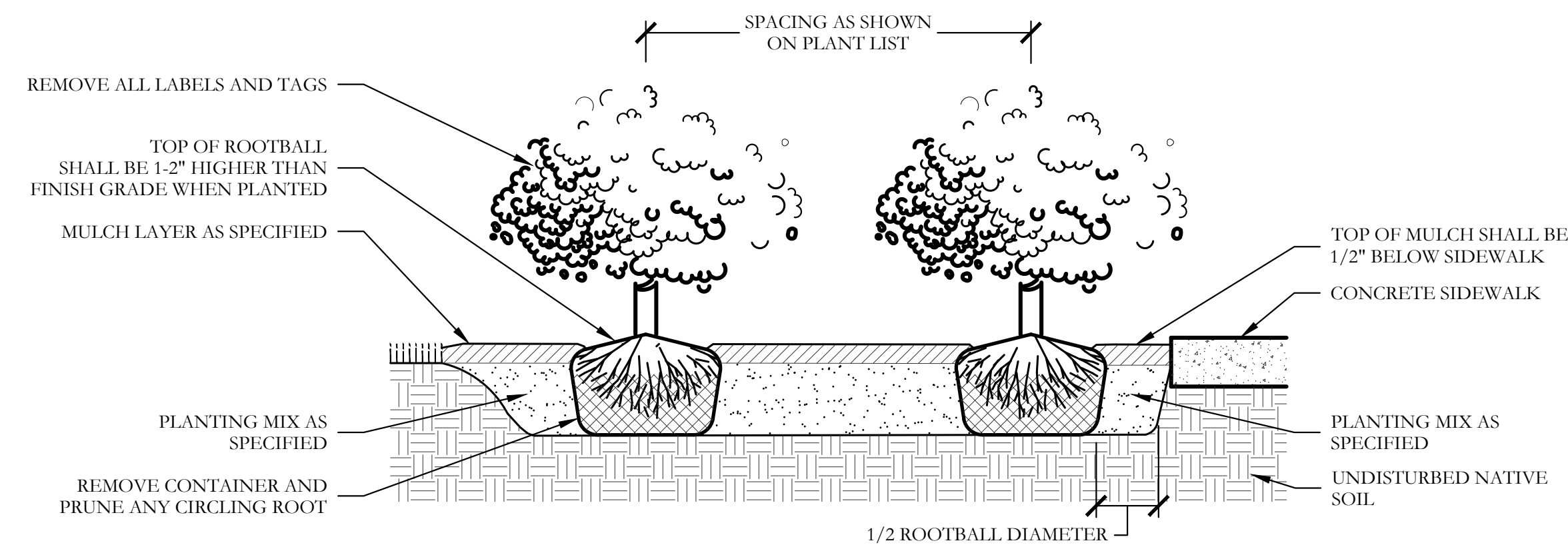
4 OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

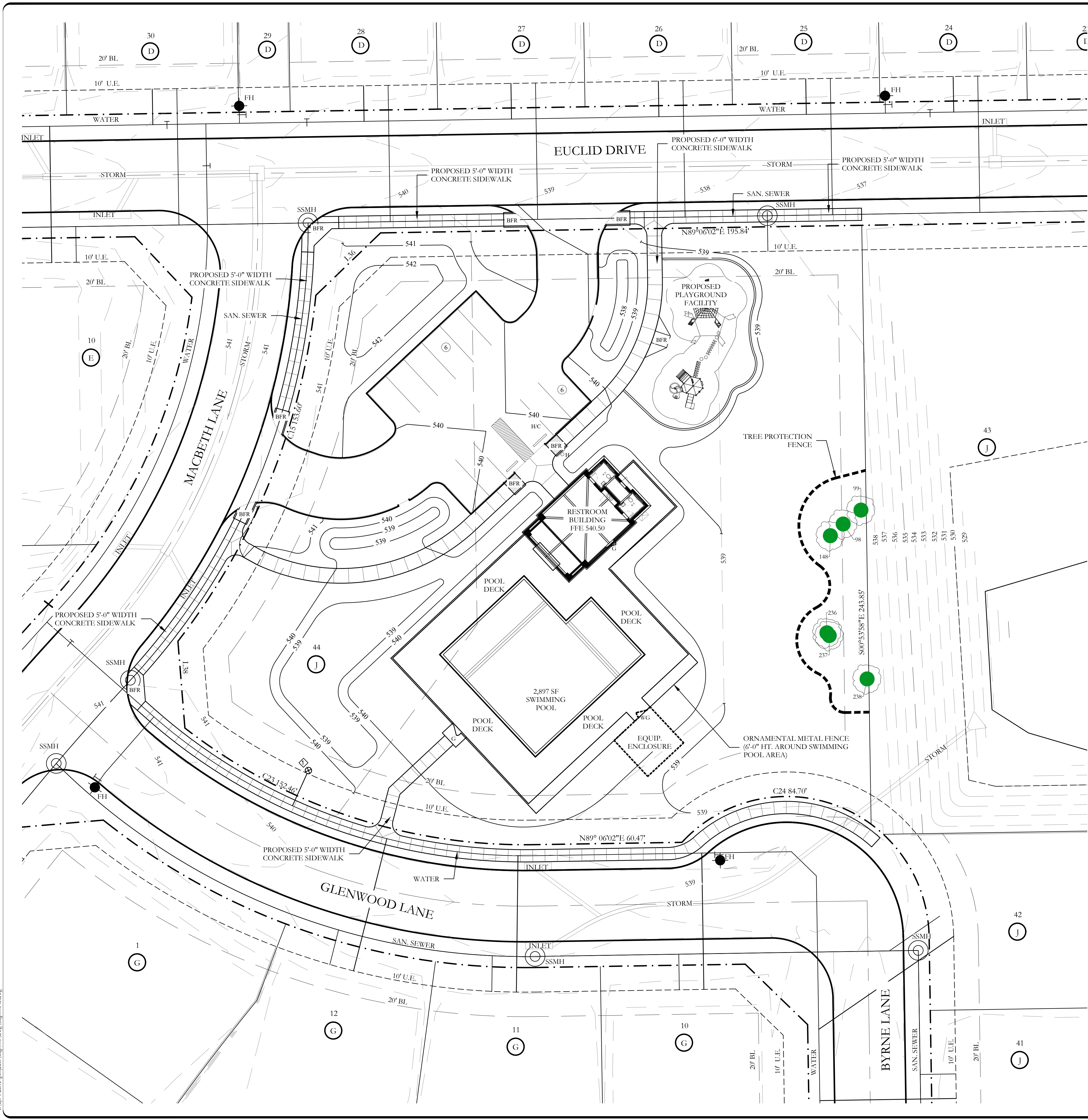


NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



LEGEND

EXISTING TREE TO BE PRESERVED.

TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

Tree Number	Diameter at Breast Height (inches)	Species	Scientific Name	Canopy Radius (Feet)	General Condition	Status
98	15.3	Sugarberry	<i>Celtis laevigata</i>	10	Healthy	Preserved
99	6.5	Cedar Elm	<i>Ulmus crassifolia</i>	10	Healthy	Preserved
148	5.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
236	6.1	Cedar Elm	<i>Ulmus crassifolia</i>	6	Healthy	Preserved
237	4.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
238	9.5	Cedar Elm	<i>Ulmus crassifolia</i>	15	Healthy	Preserved

Summary	Caliper Inches	Percent CI	Number of Trees
Total Trees	47.80	100.00%	6
Preserved Trees	47.80	100.00%	6

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

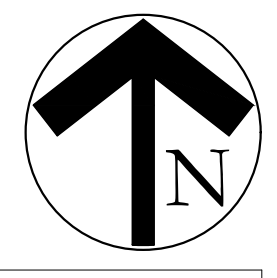
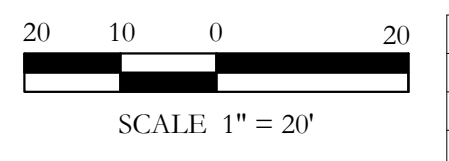
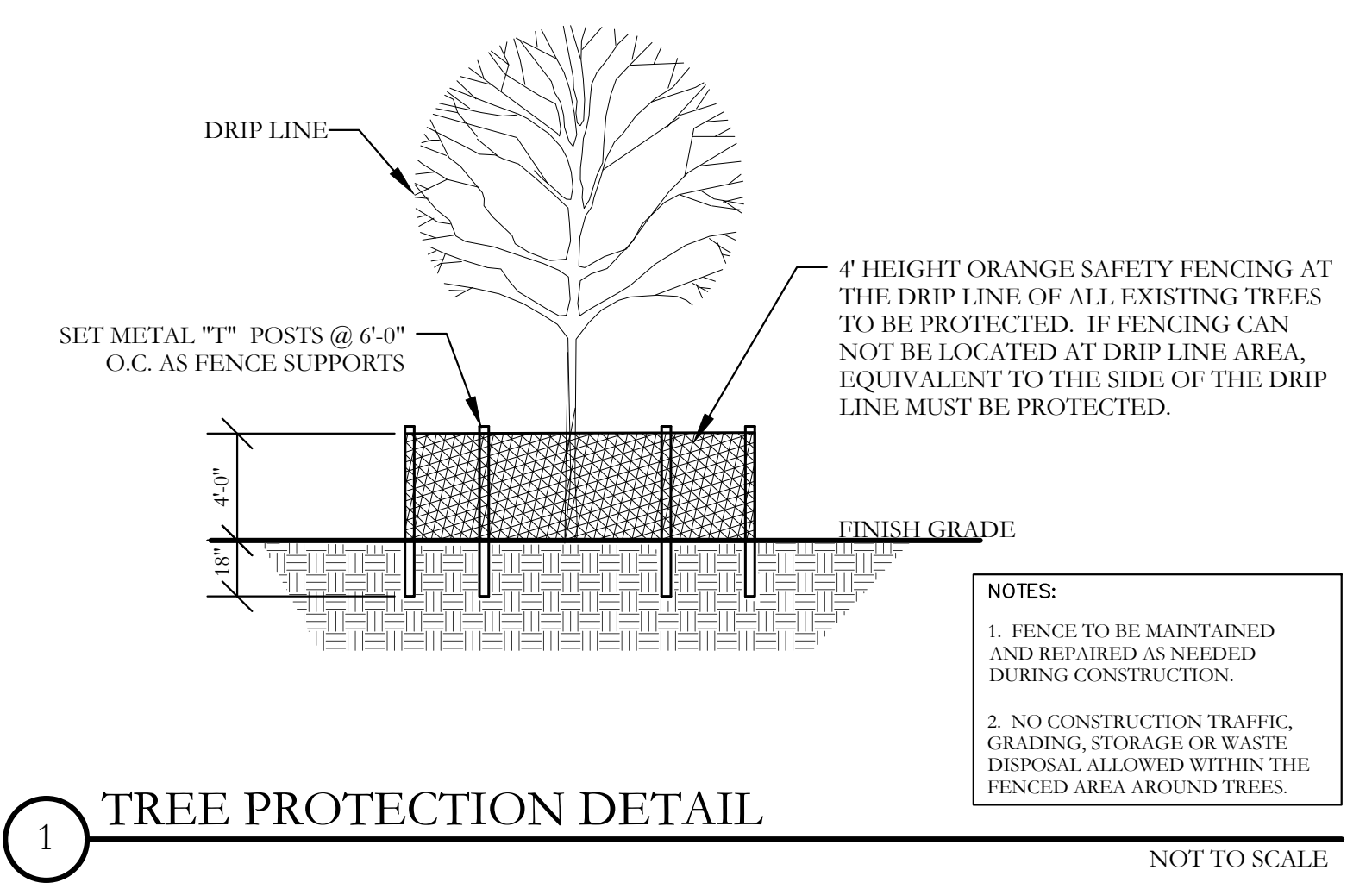
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

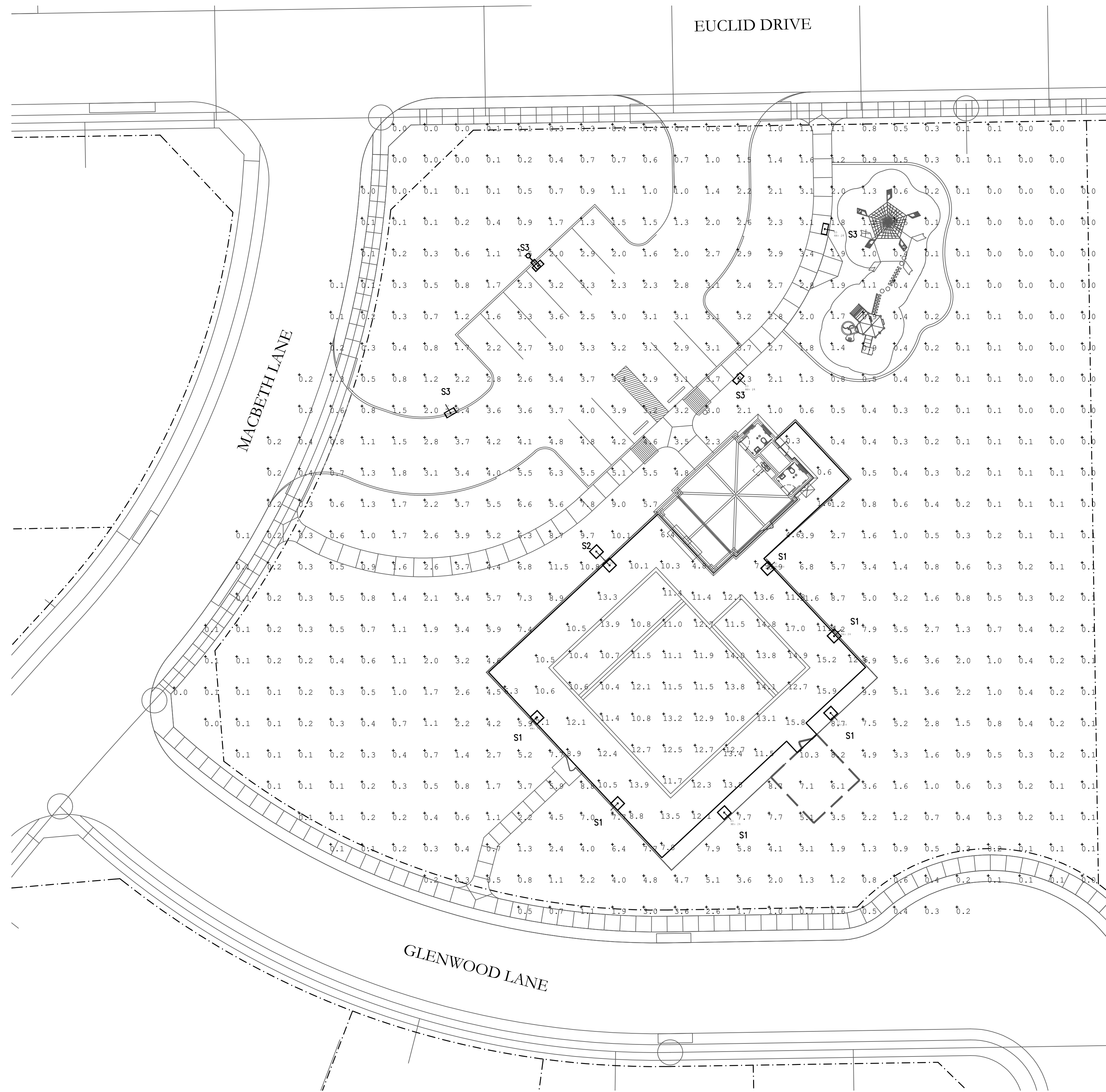
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF

TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED





1 SITE PLAN - ELECTRICAL - PHOTOMETRICS
SCALE: 1" = 20'-0"

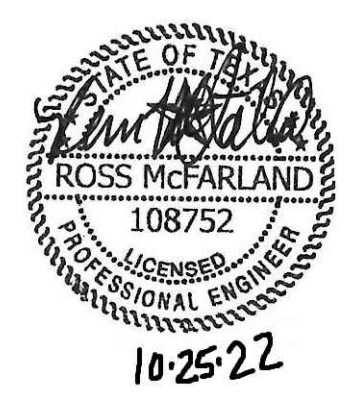
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
□	4	S3	SINGLE	N.A.	0.850	EALS03 D4AF740	70	70	280
+	6	S1	SINGLE	N.A.	0.850	EALS03 J4AF740	186	186	1116
⊕	1	S2	D180°	N.A.	0.850	EALS03 J4AF740	186	372	372

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
GROUND Planar	Illuminance	Fc	1.79	11.6	0.0	N.A.	N.A.		
POOL DECK Planar	Illuminance	Fc	10.33	17.0	0.3	34.43	56.67		
POOL SURFACE POOL SURFACE	Illuminance	Fc	12.22	14.9	10.4	1.18	1.43		

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



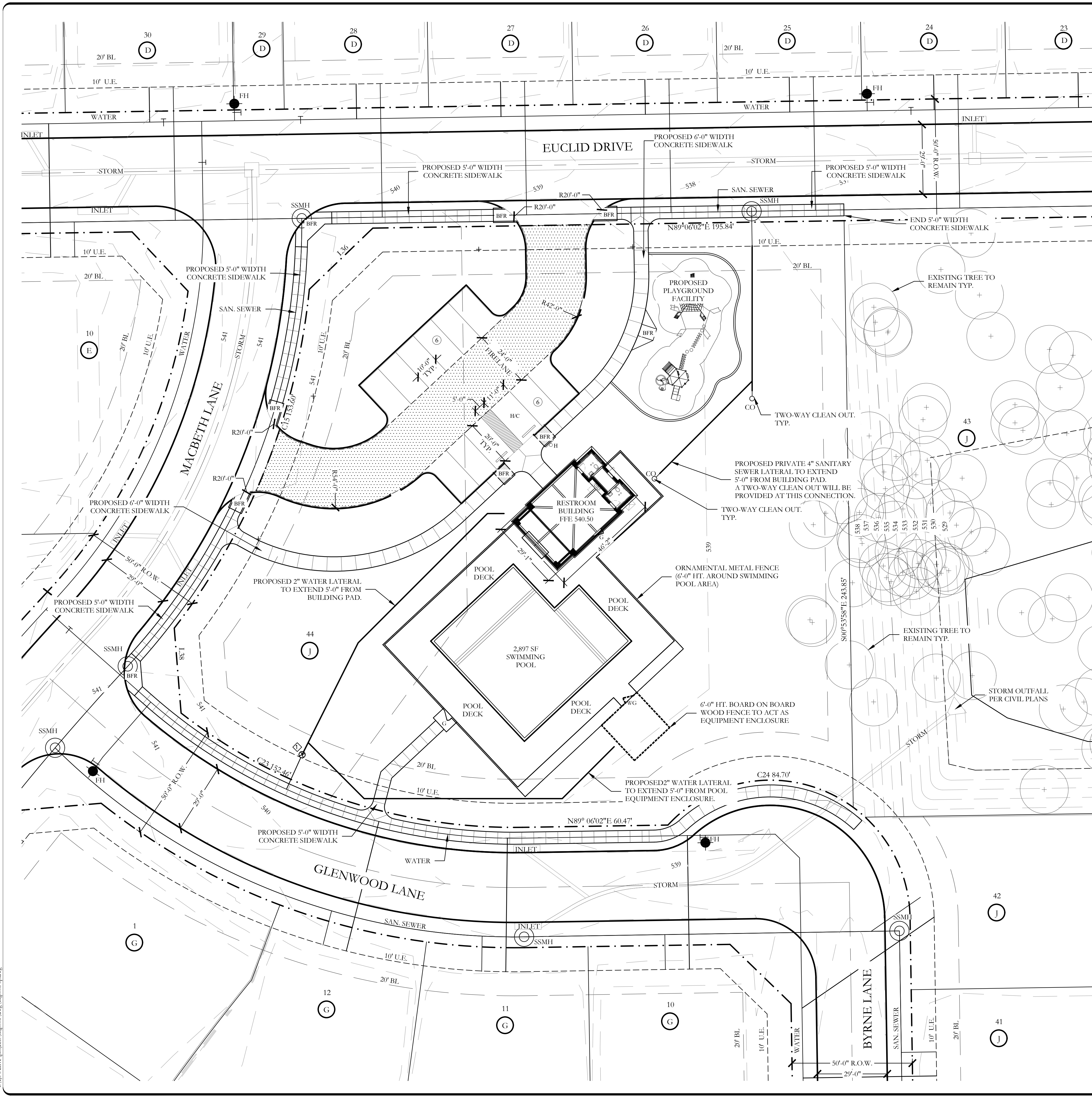
**Nelson Lake
Amenity Center**
Rockwall, TEXAS

Issue: PERMIT 10/18/2022
Revisions:

Drawing Title:
**ELECTRICAL -
SITE PLAN
PHOTOMETRICS**

Sheet
E1.02

AOS JOB #: 3799-001-22



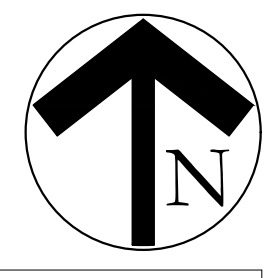
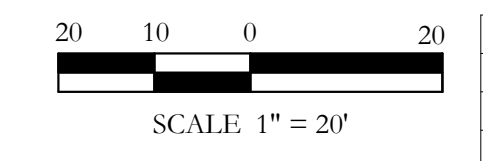
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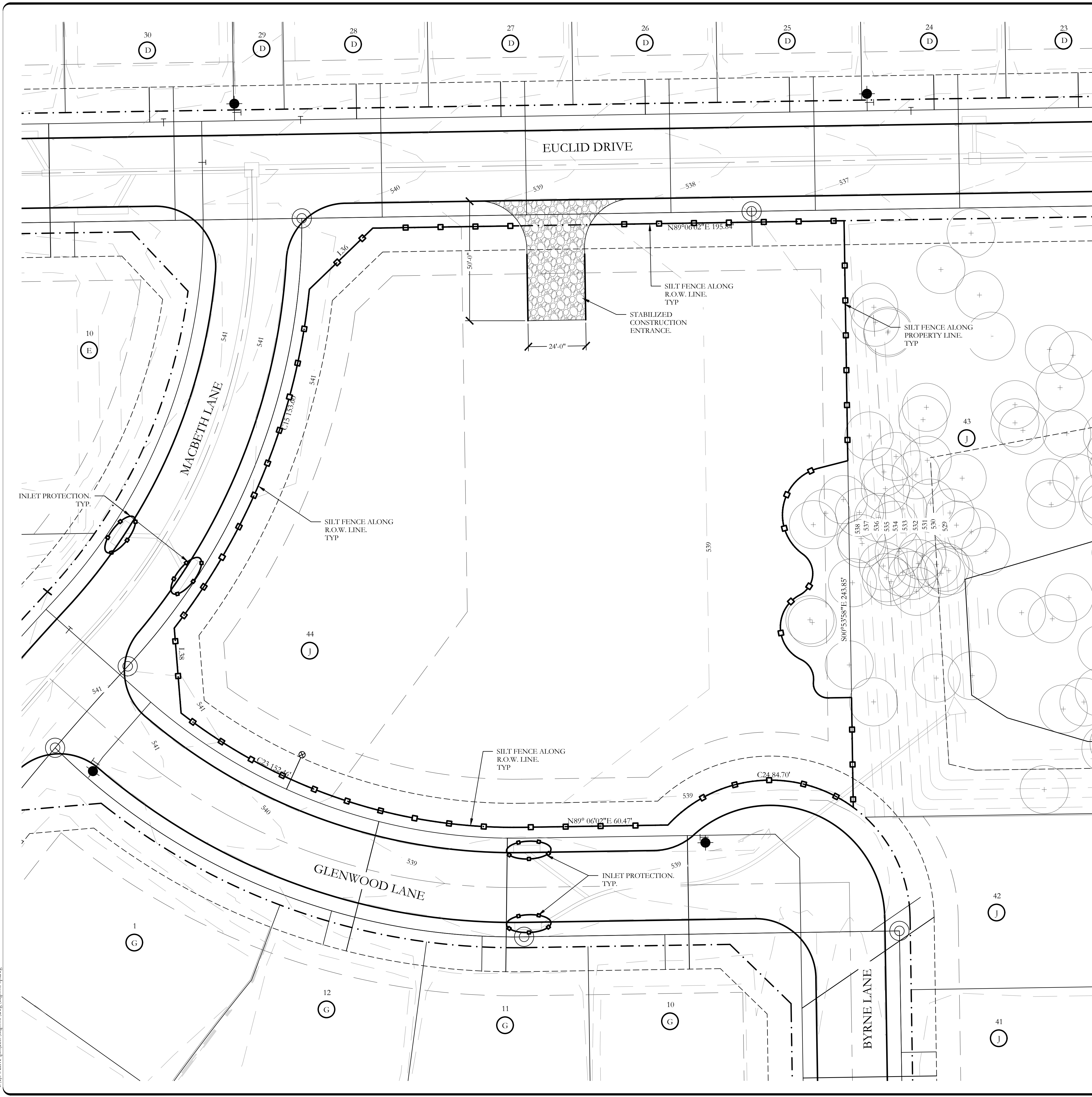
<ul style="list-style-type: none"> PROPOSED PARKING COUNT BARRIER FREE RAMP HANDICAP PARKING SPACE EXISTING FIRE HYDRANT EXISTING SANITARY SEWER MANHOLE EXISTING WATER MAIN W/ VALVE EXISTING SANITARY SEWER EXISTING STORM EXISTING CURB INLET RIGHT-OF-WAY PROPOSED CONCRETE WHEEL STOP 	<ul style="list-style-type: none"> EXISTING 1" DOMESTIC WATER METER HANDICAP PARKING SIGN ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA) 1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING METAL GATE 1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING WOODEN GATE 6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE - 539 - - EXISTING CONTOUR INTERVAL FFE 540.50 FINISHED FLOOR ELEVATION FIRELANE PAVING PER CITY STANDARD DETAILS 	<ul style="list-style-type: none">
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- ### UTILITY NOTES
1. SANITARY SEWER LATERAL IS SHOWN ON PLAN TO BE LOCATED WITHIN 5'-0" FROM THE BUILDING PAD. MEP PLANS SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A TWO-WAY CLEAN OUT WILL BE PROVIDED AT THIS CONNECTION AS WELL AS AT THE PROPERTY LINE.
 2. WATER LATERAL LINE IS SHOWN ON PLAN TO BE LOCATED 5'-0" FROM THE BUILDING PAD. MEP PLANS WILL SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A CUT-OFF DRAIN VALVE WILL BE PROVIDED INSIDE A WATER CUT-OFF BOX WITH A LOCKABLE COVER AT THIS CONNECTION.

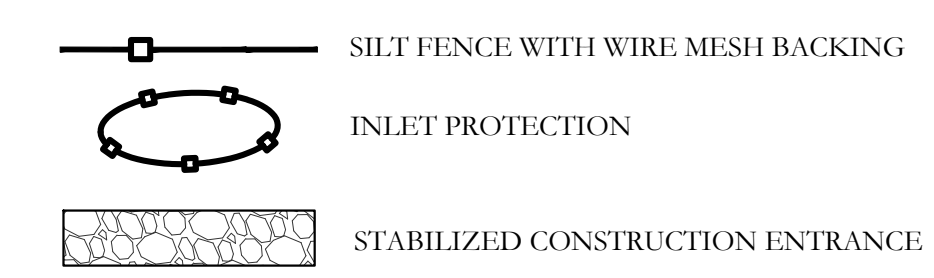
WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
◇	1"	1"	X		4"





LEGEND



REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

EROSION CONTROL NOTES

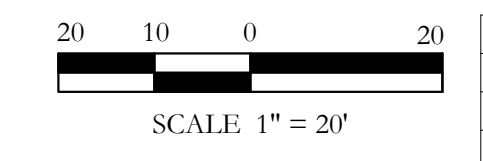
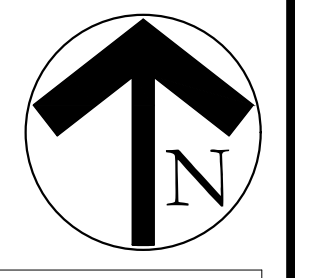
1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
3. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
4. THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
12. IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

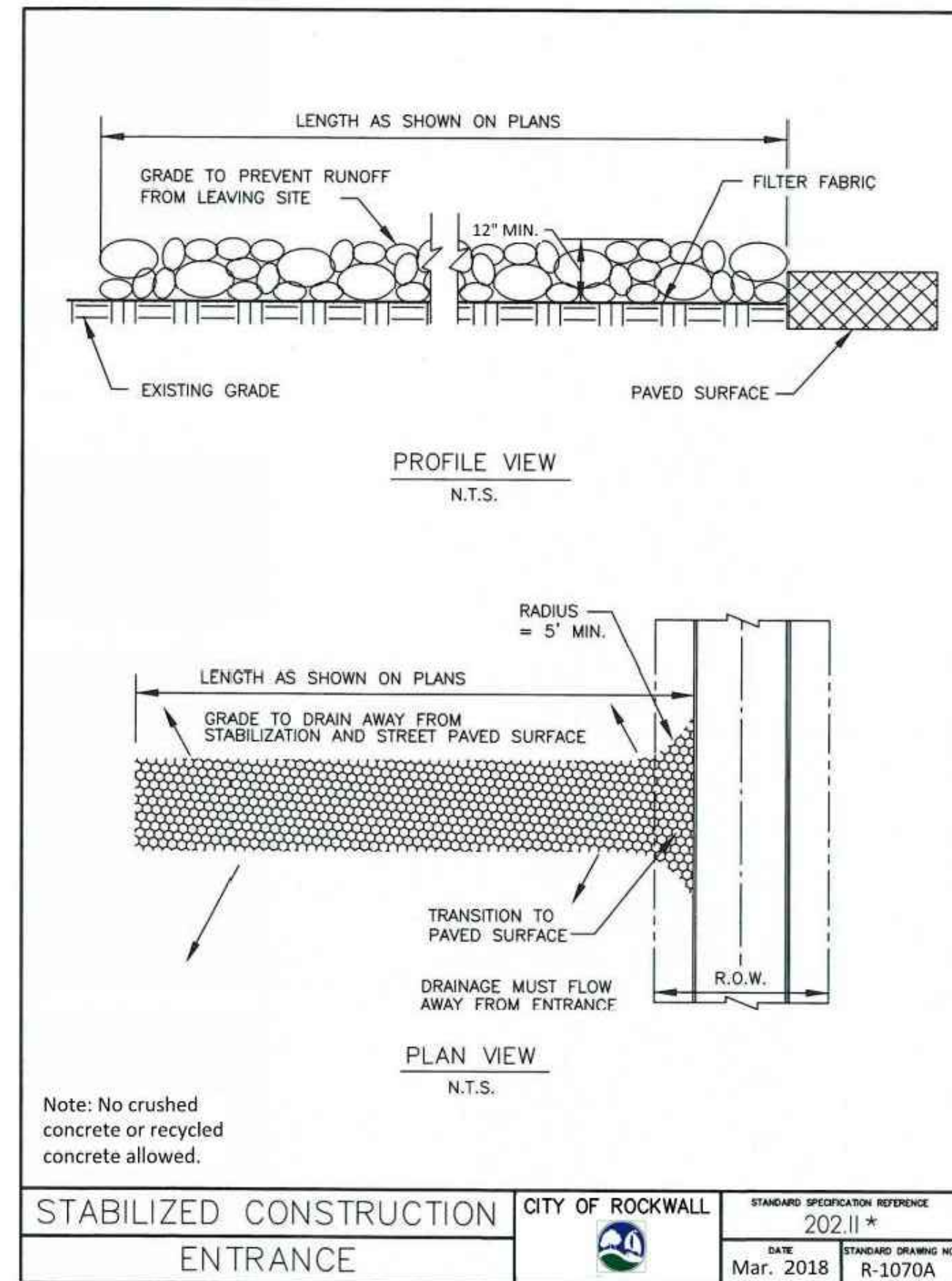
SILT FENCE CONSTRUCTION NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOOD/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
9. AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

STABILIZED CONSTRUCTION ENTRANCE NOTES

1. STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3"-5" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
3. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.





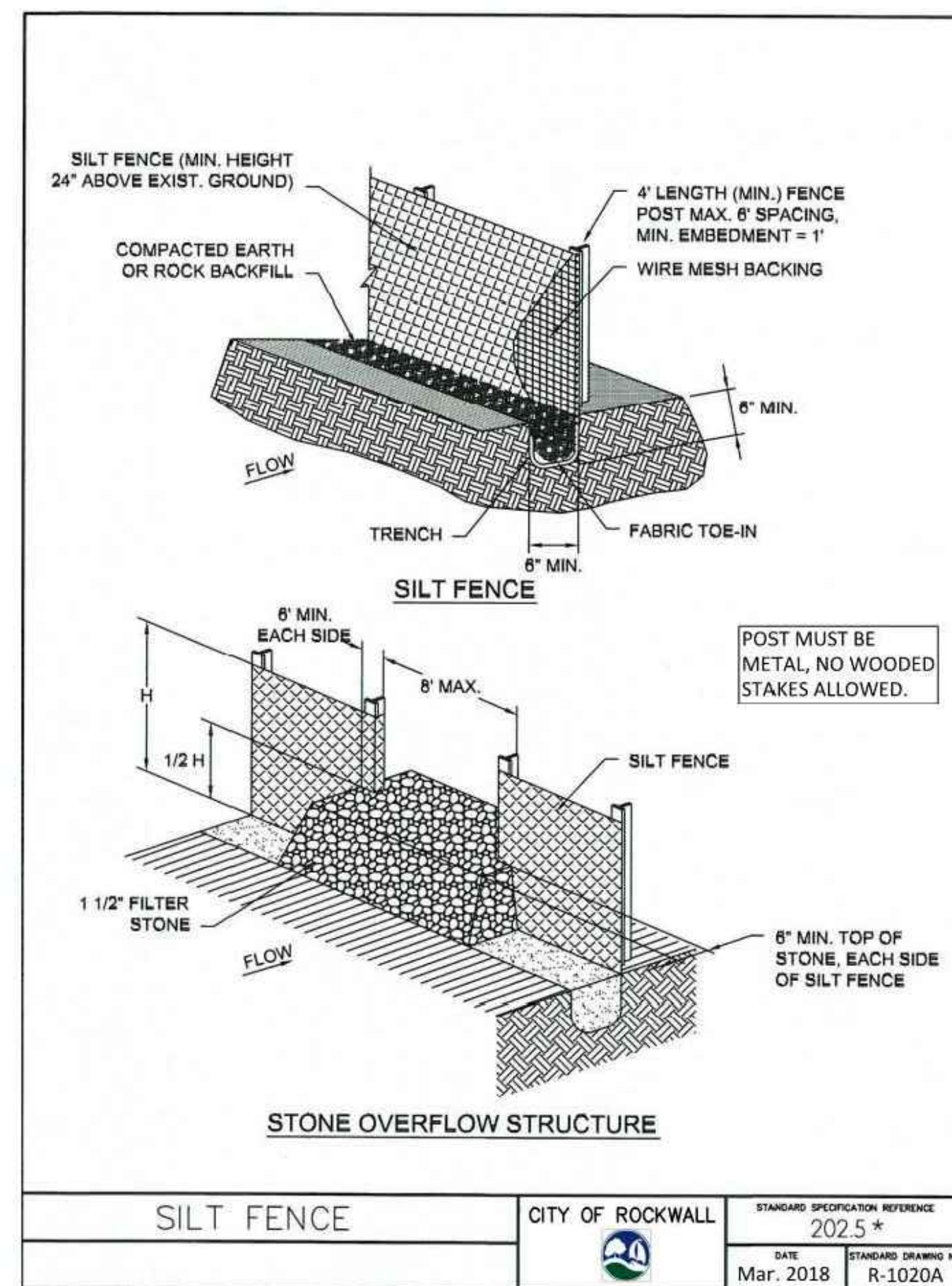
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STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
ENTRANCE		202.11 *
		DATE: Mar. 2018
		STANDARD DRAWING NO.: R-1070B

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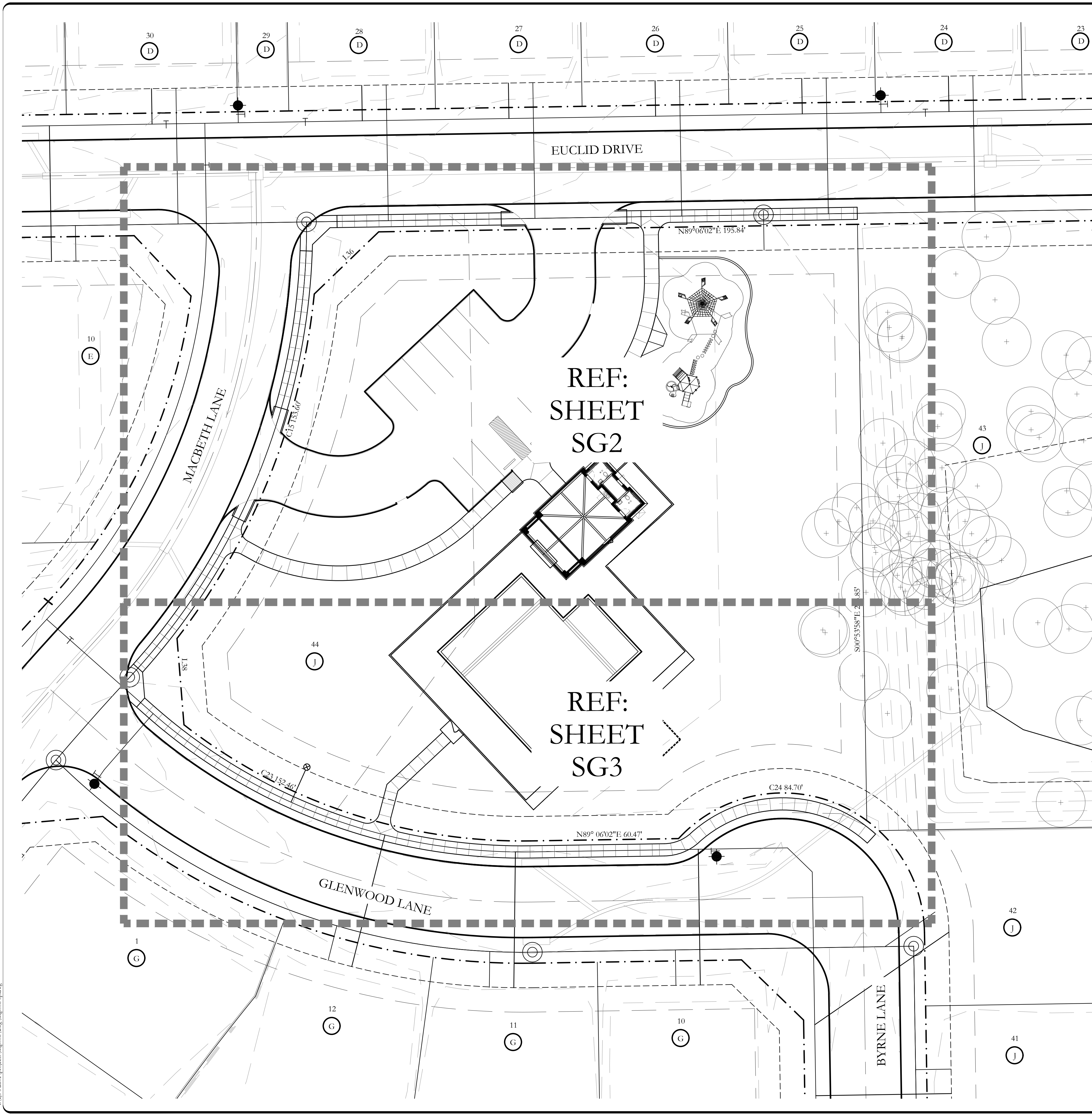
Page 249

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
		202.5 *
		DATE: Mar. 2018
		STANDARD DRAWING NO.: R-1020B

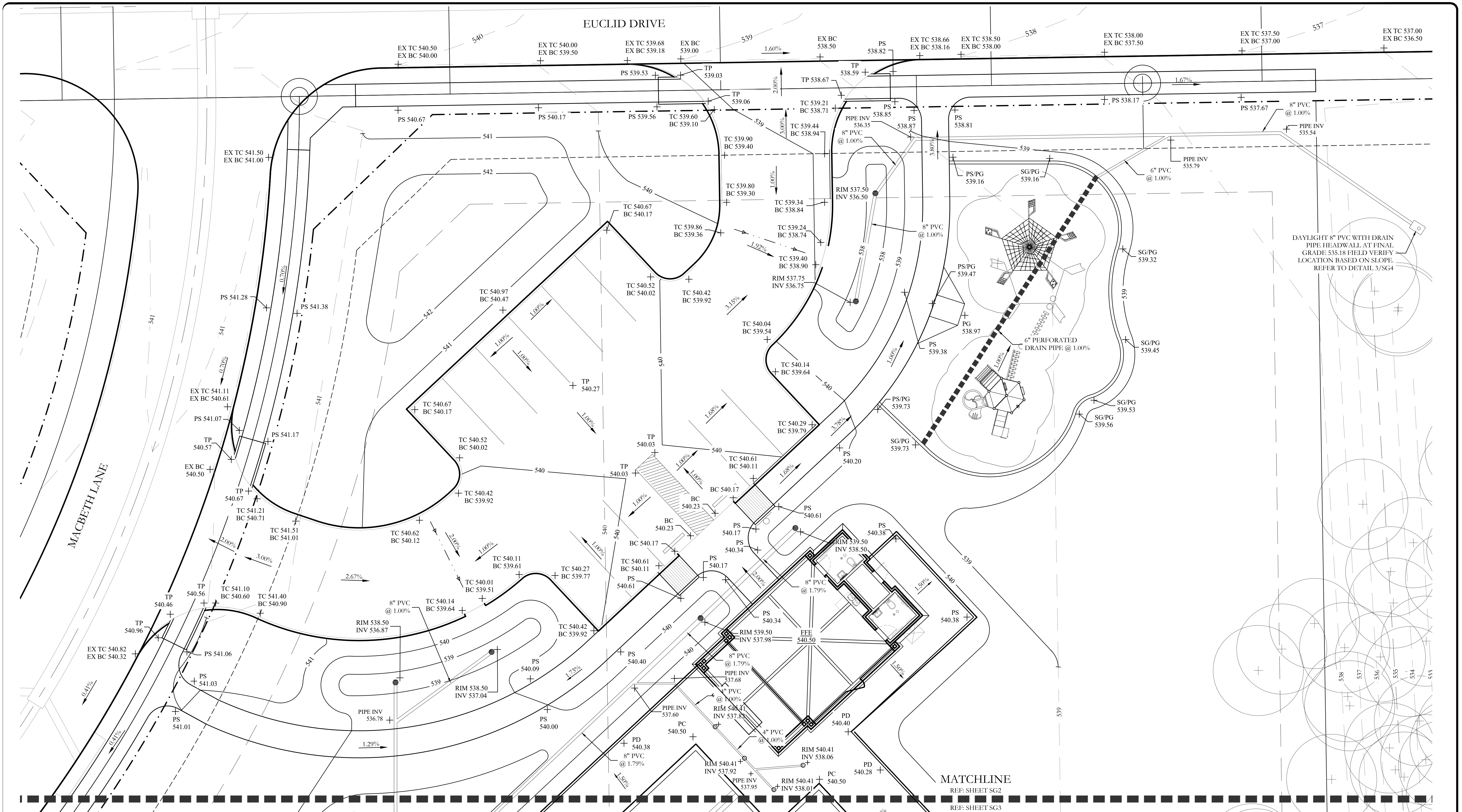
Page 250



GRADING NOTES

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3. ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
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7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
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I:\GIS\advice\projects\mjp006.dwg, mjp006-tp.dwg



GRADING LEGEND

PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
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PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

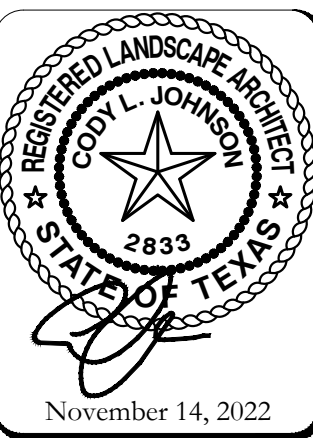
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GRADING NOTES

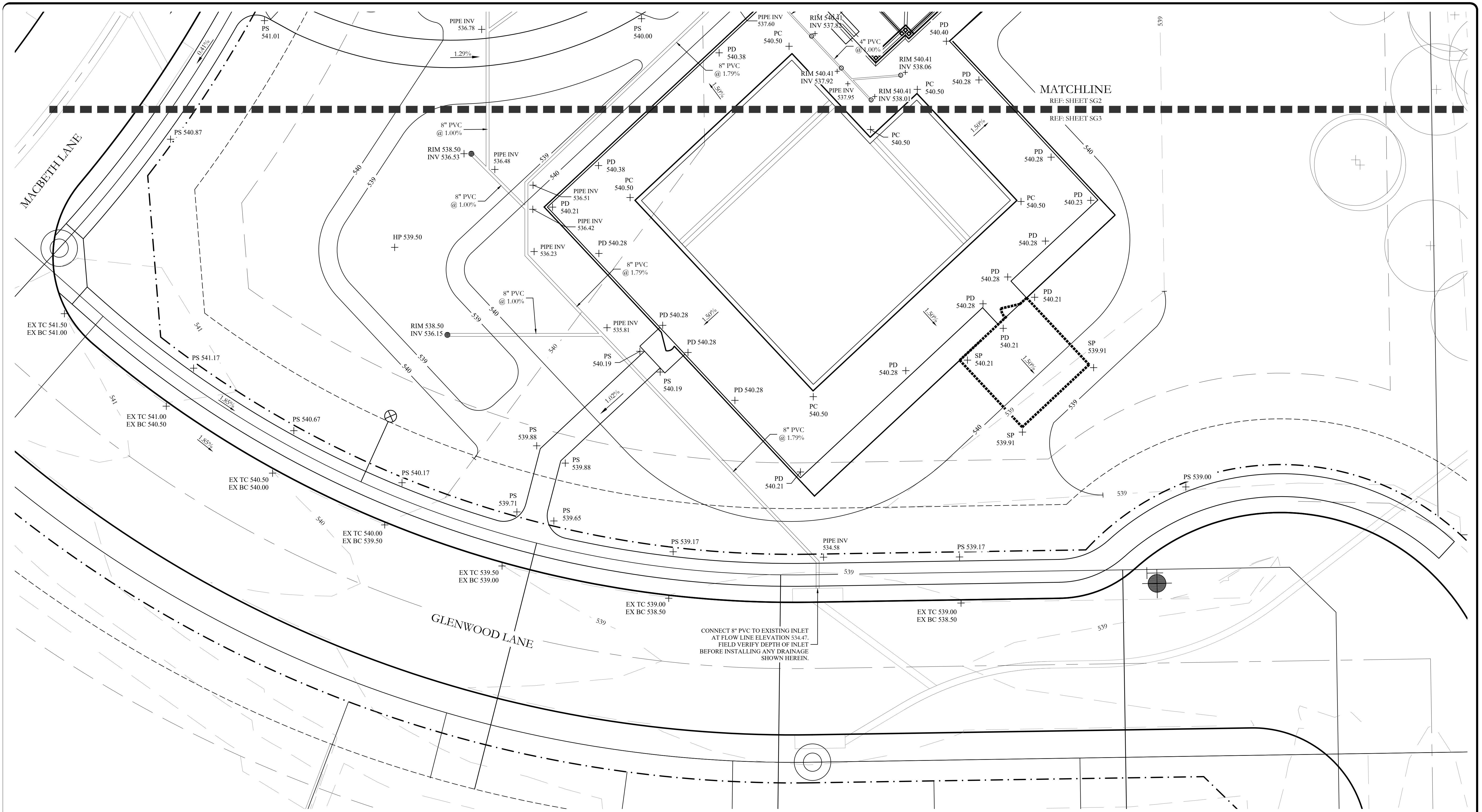
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DAYLIGHT 8" PVC WITH DRAIN PIPE HEADWALL AT FINAL GRADE 535.18 FIELD VERIFY LOCATION BASED ON SLOPE. REFER TO DETAIL 3/SG4

MATCHLINE
REF: SHEET SG2
REF: SHEET SG3



SCALE:
 REFER TO PLANS
 One Inch
 JVC No. MJ006



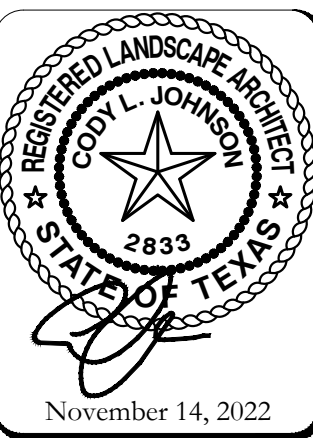
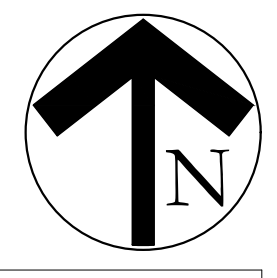
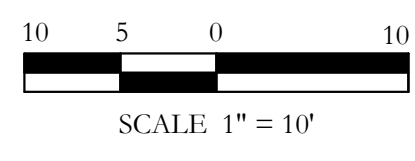
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Nelson Lake Estates**

SUBDIVISION **Nelson Lake Estates**

LOT **44**

BLOCK **J**

GENERAL LOCATION **Between Glenwood Lane and Euclid Drive, along Macbeth Lane**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **1.403**

LOTS [CURRENT] **1**

1

LOTS [PROPOSED] **1**

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (U.S.), INC.**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive**

ADDRESS **704 Central Parkway East**

Suite 350

Suite 1200

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE TRESSLER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 378.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF NOVEMBER, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022

OWNER'S SIGNATURE

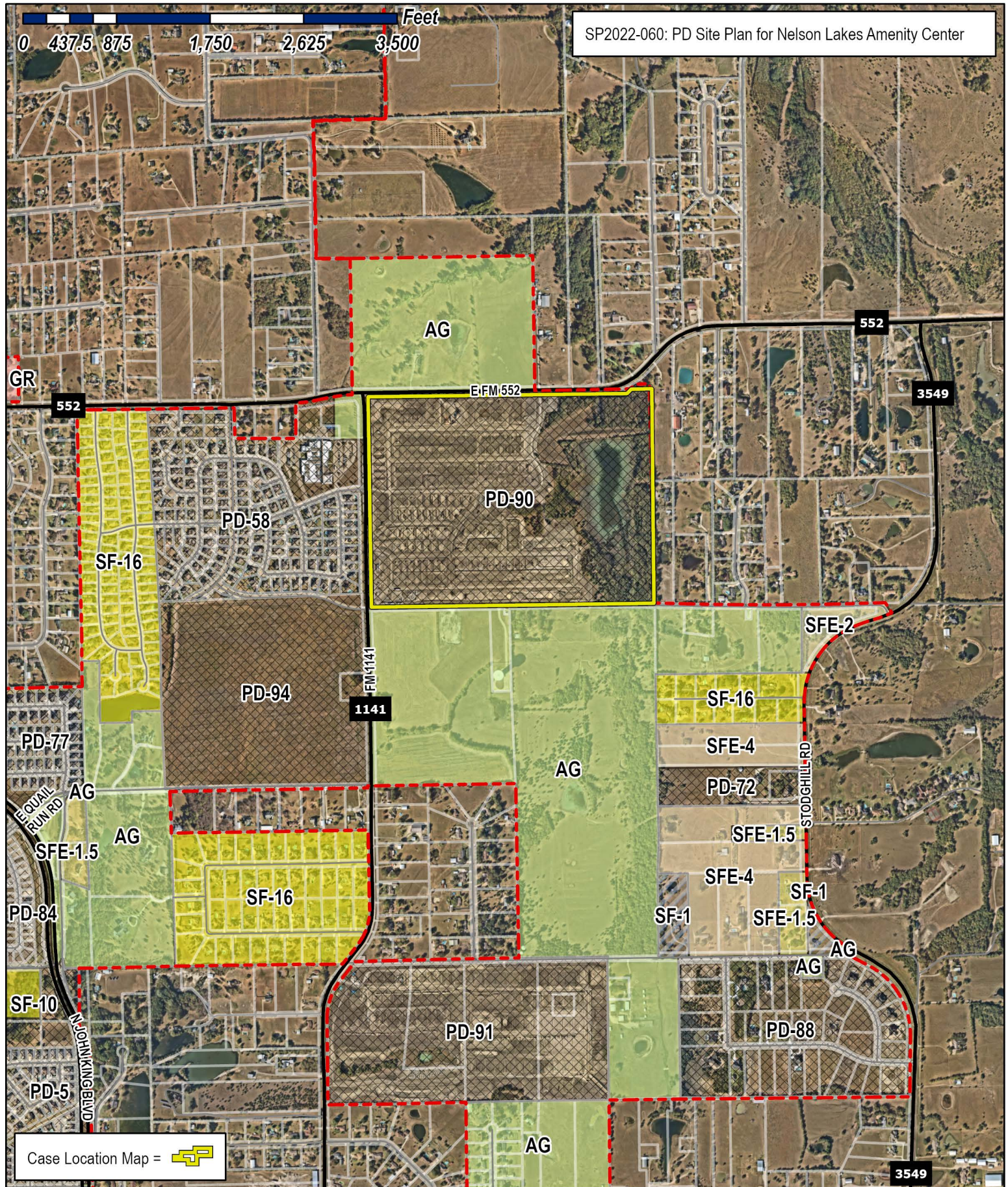
Kyle Tressler

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madison McCabe



MY COMMISSION EXPIRES 01-08-2024



Case Location Map = 

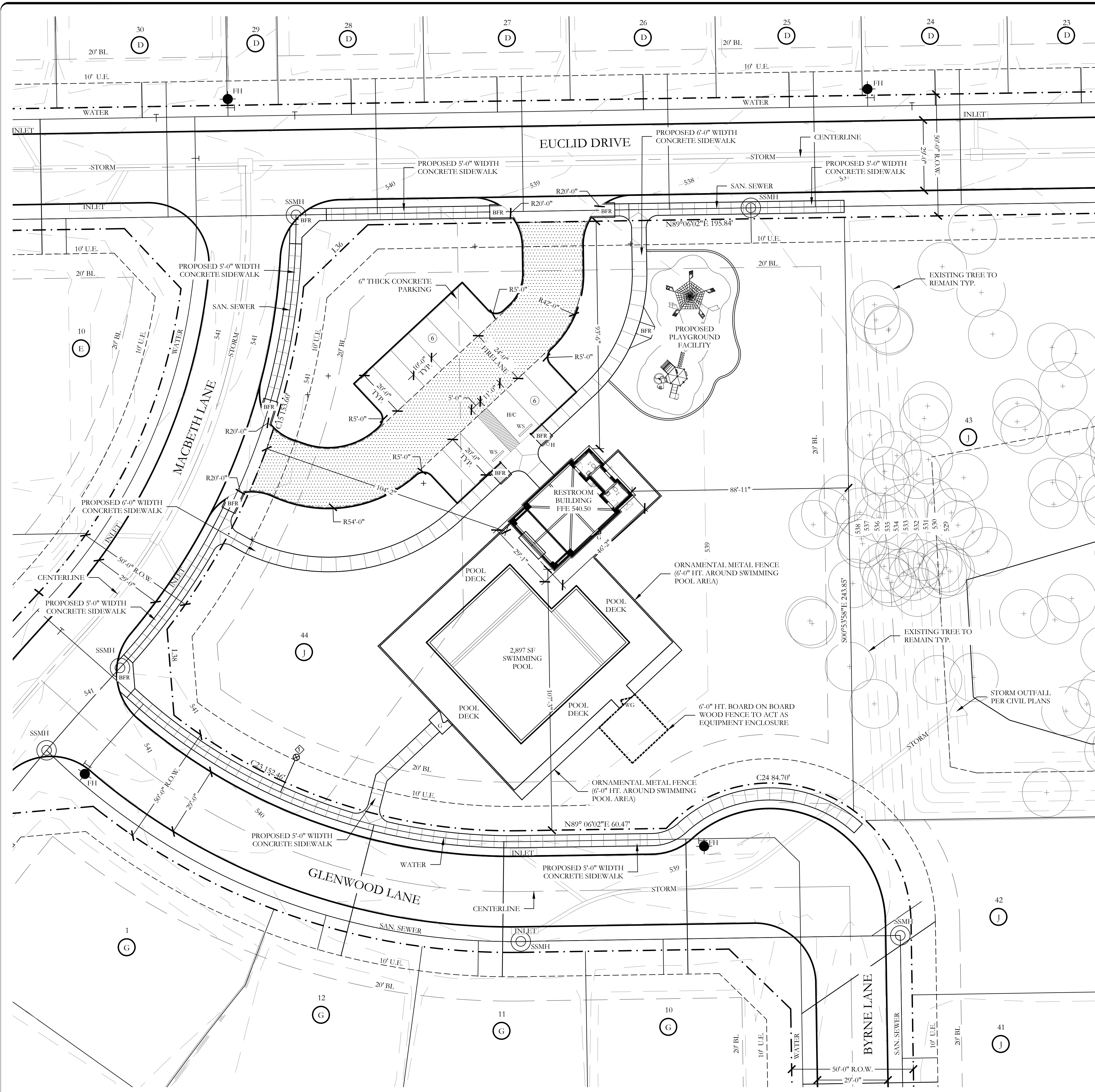


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

⊙	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

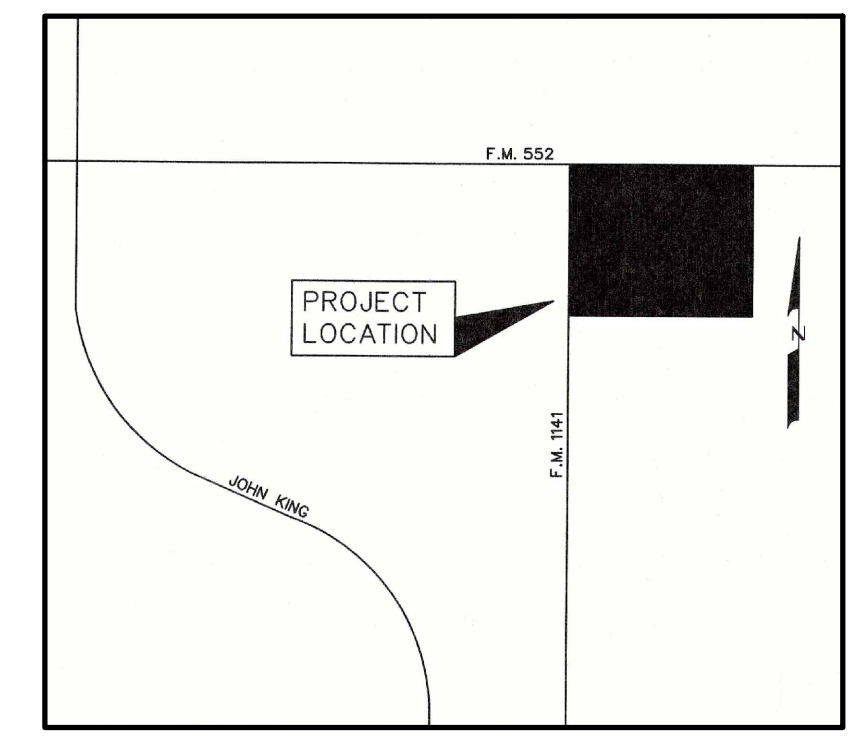
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊗	1"	1"	X		4"



SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

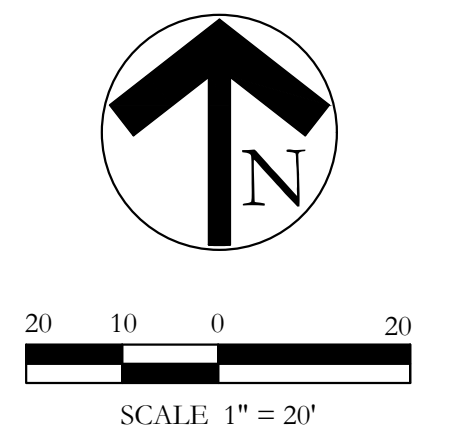
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



- ### SITE PLAN NOTES:
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
 - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

SITE PLAN NELSON LAKE ESTATES LOT 44, BLOCK J ~AMENITY CENTER~

BEING 1.403 ACRES OUT OF THE
 J.M. GASS SURVEY
 ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI



November 14, 2022



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



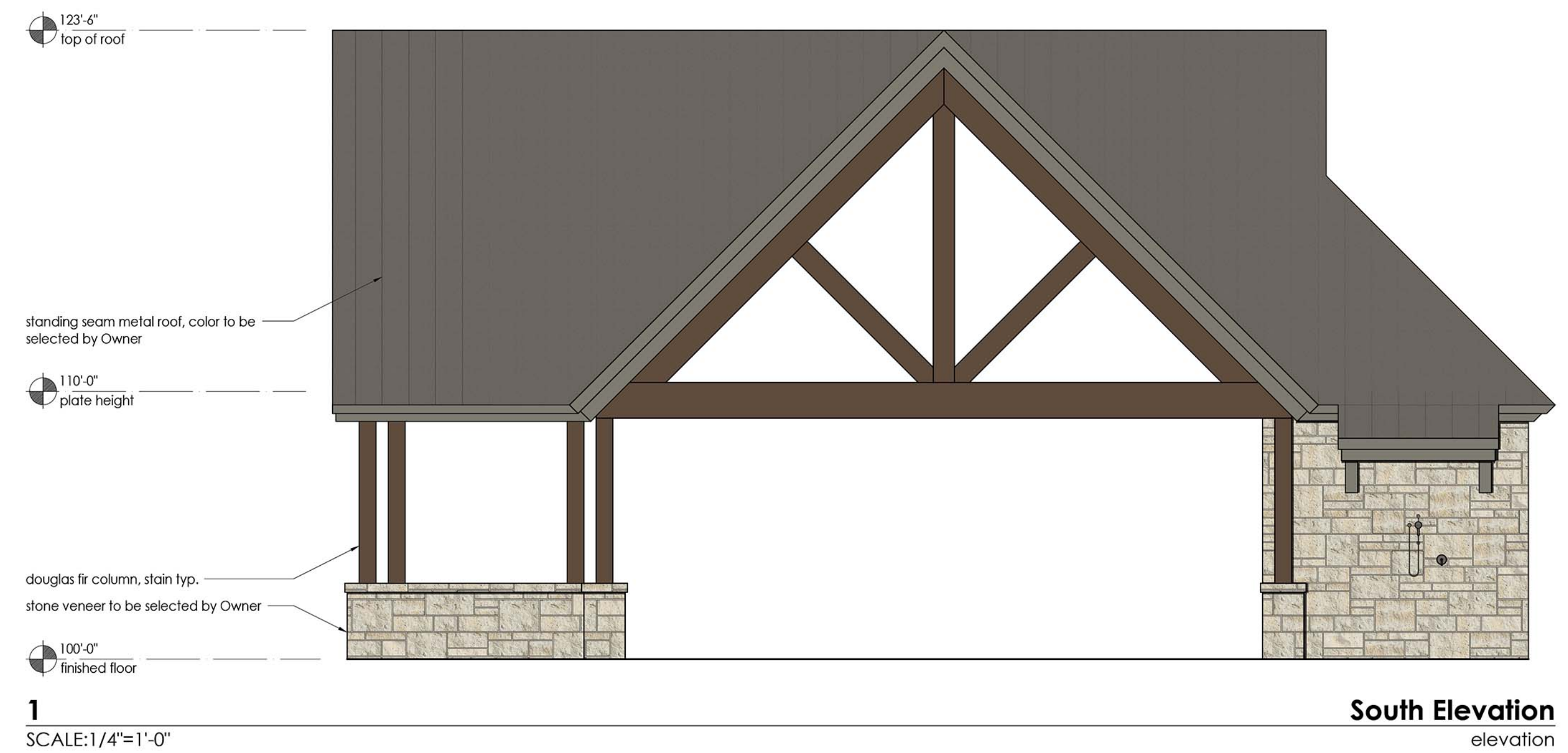
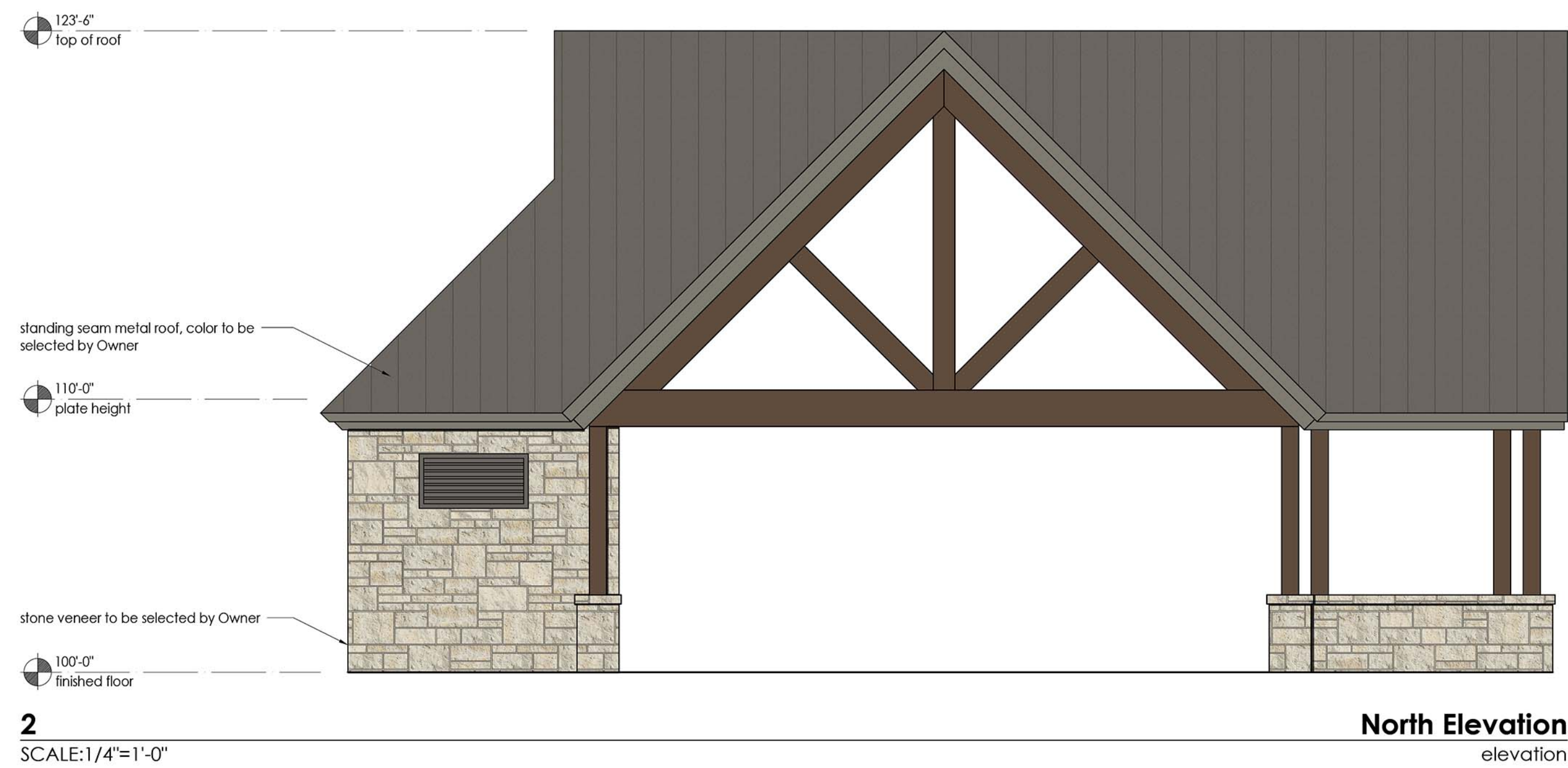
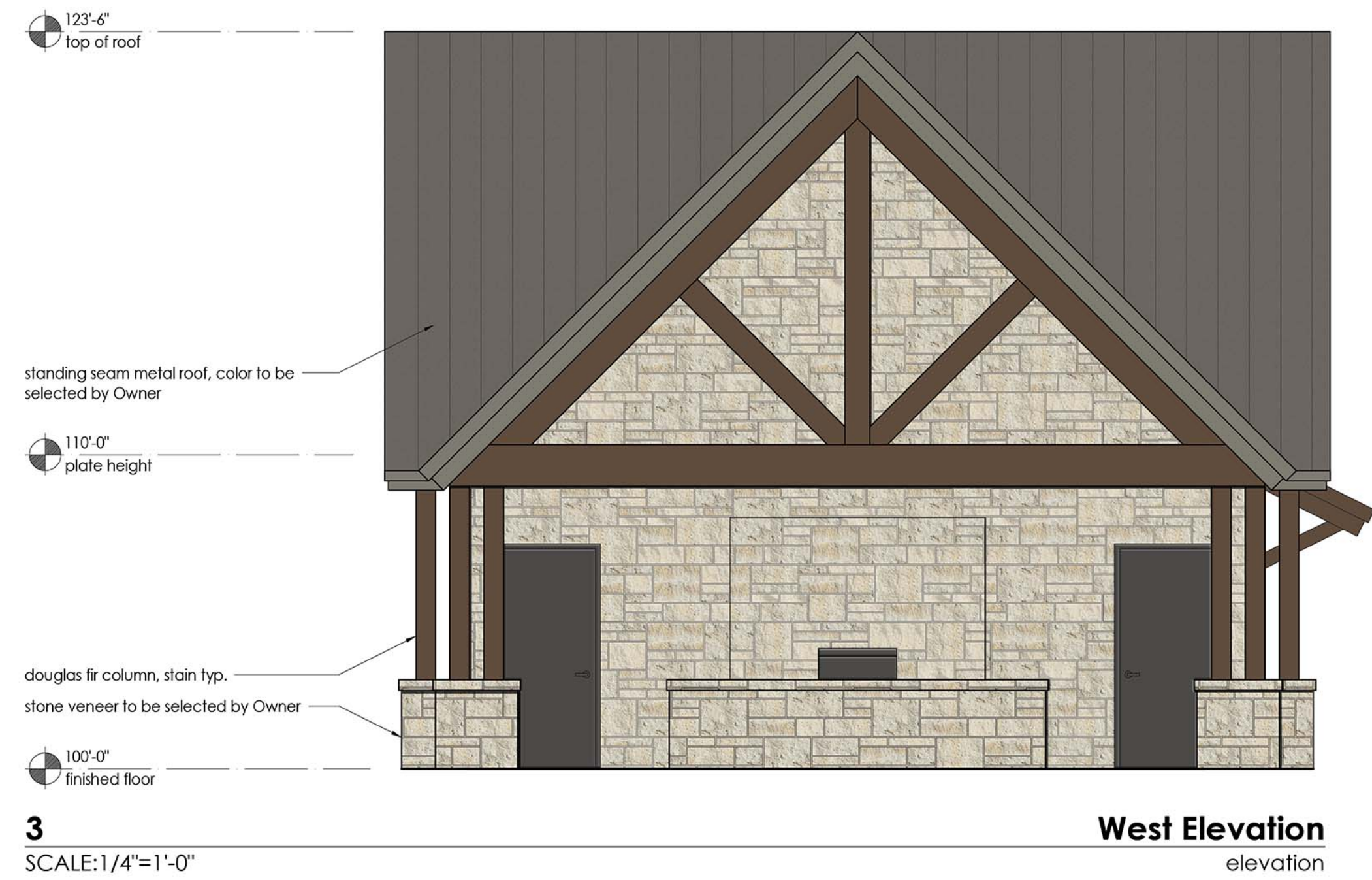
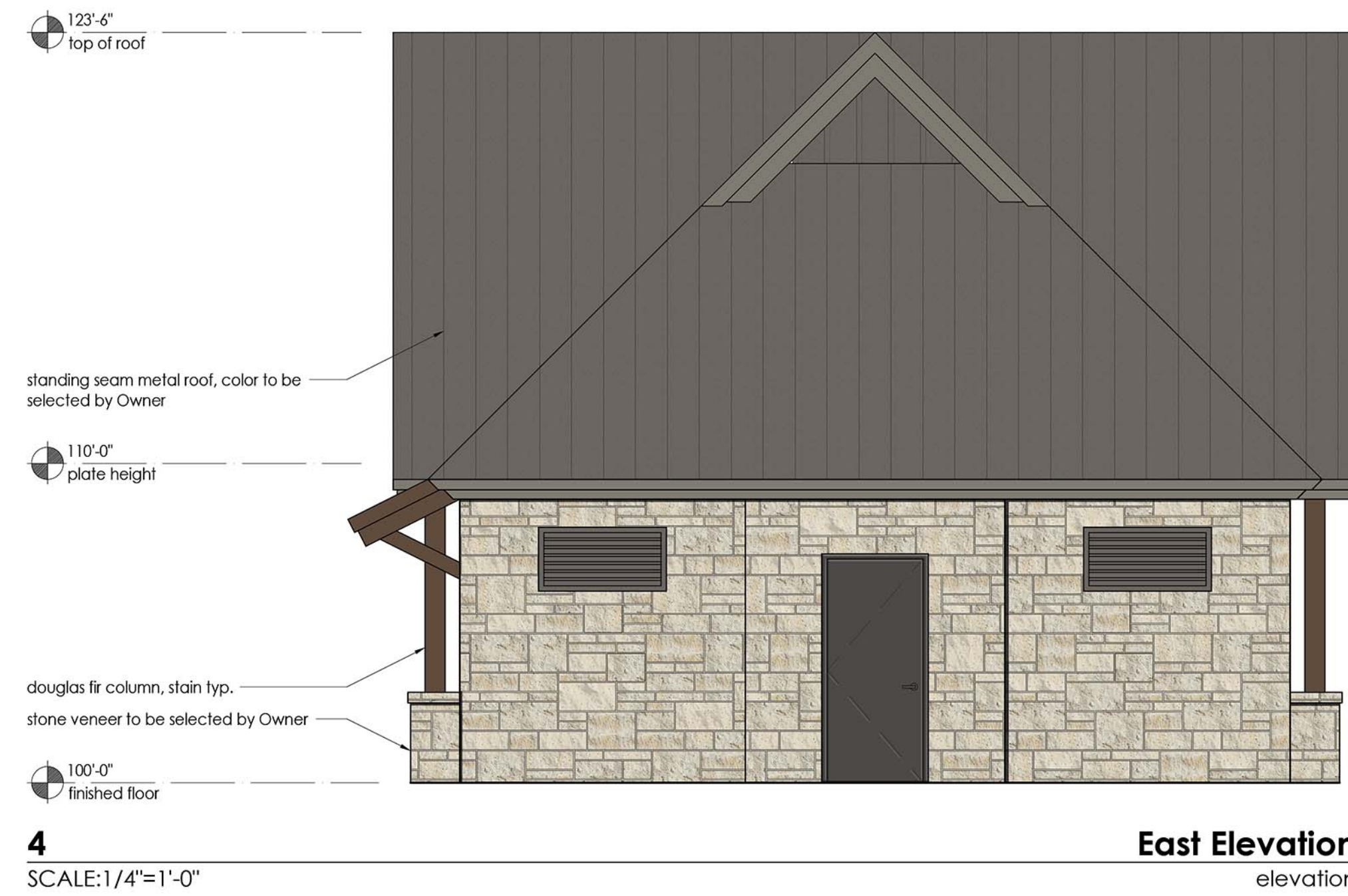
TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	215 S.F.	-	206 S.F.	-	255 S.F.	-	416 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
STONE VENEER (TO BE SELECTED BY OWNER)	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
SECONDARY MATERIAL TOTALS	101 S.F.	46.98%	102 S.F.	49.51%	15 S.F.	5.88%	106 S.F.	25.48%
FIBER CEMENT SIDING (COLOR TO BE SELECTED BY OWNER)	-	-	-	-	7 S.F.	2.74%	-	-
DOUGLAS FIR BEAMS/COLUMNS (STAIN TO BE SELECTED BY OWNER)	101 S.F.	46.98%	102 S.F.	49.51%	8 S.F.	3.14%	106 S.F.	25.48%
DOOR/WINDOW/OPERABLE COVER TOTALS	8 S.F.	3.72%	-	-	37 S.F.	14.51%	38 S.F.	9.14%
ROOF (STANDING SEAM METAL, COLOR TO BE SELECTED BY OWNER)	-	-	-	-	-	-	-	-



SEAL

Copyright © 2022
DATE: 11.02.2022
SCALE:
JOB NO. MA22057
DRAWN: JV
APPD: KM
ACAD #
EXTERIOR ELEVATIONS

DRAWING NO. REV. NO.

A4.00



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 (1,342.68/61,114.68)
 LOT COVERAGE: 2.20%

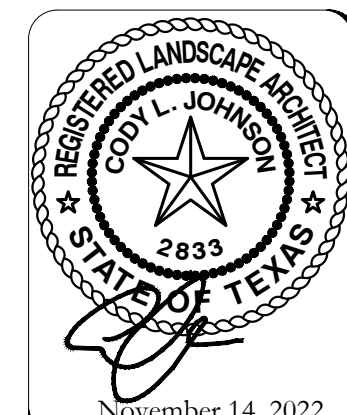
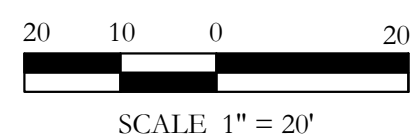
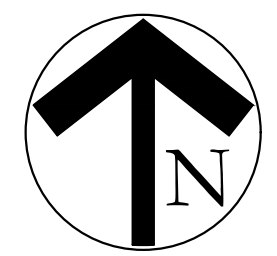
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

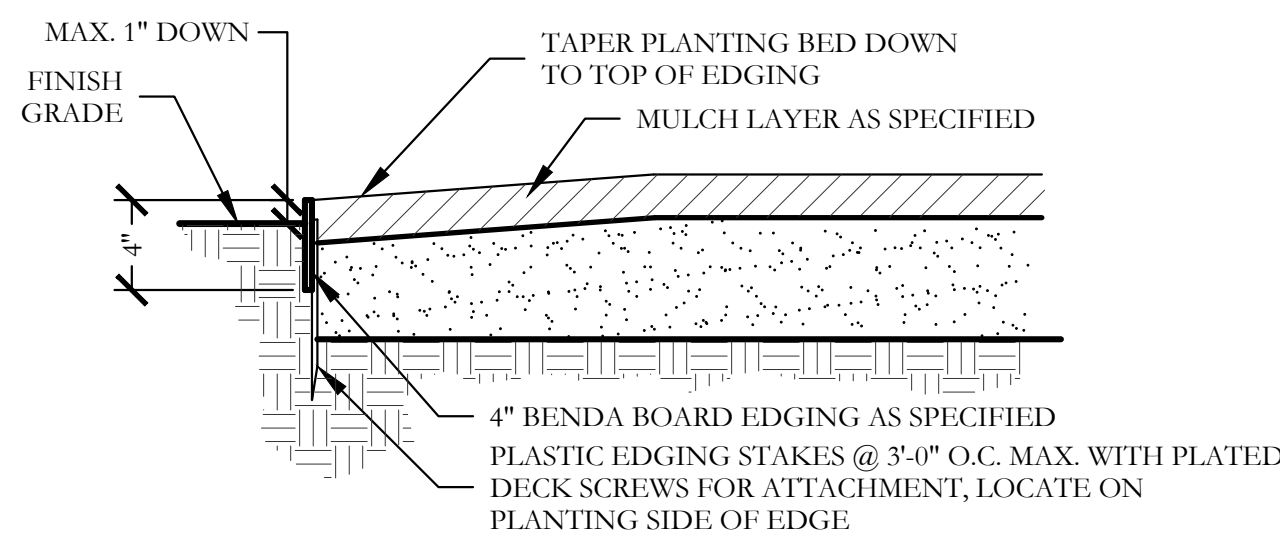
PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

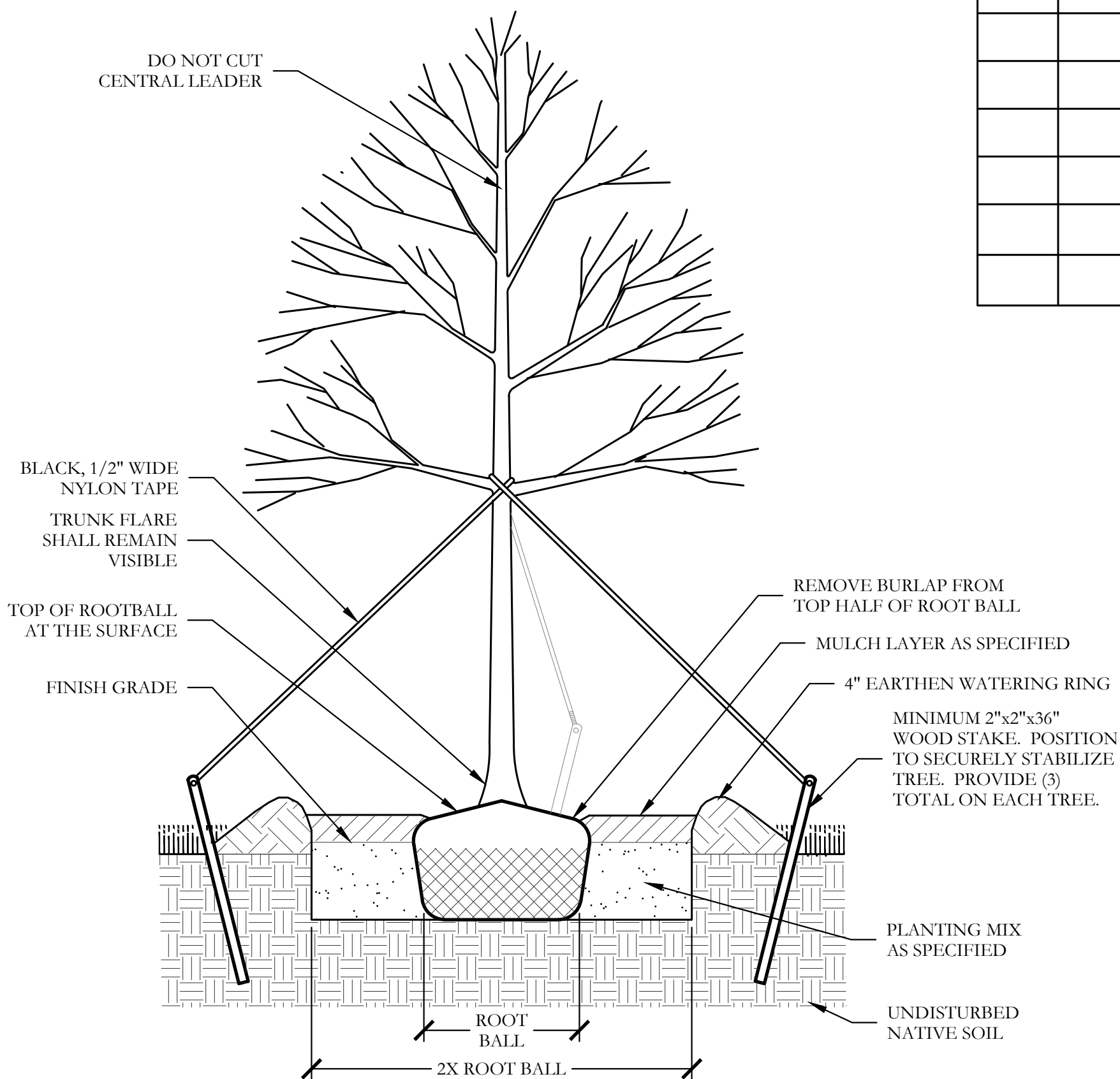
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



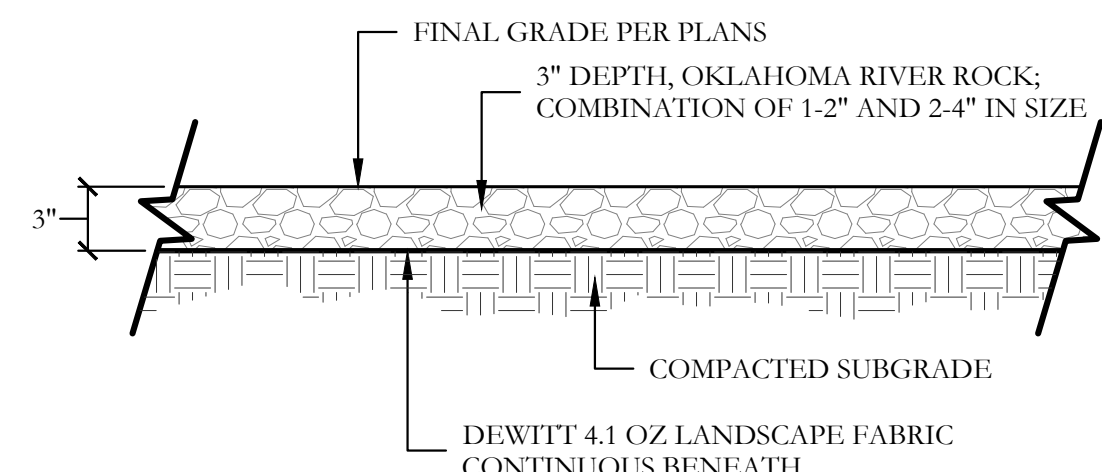


1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

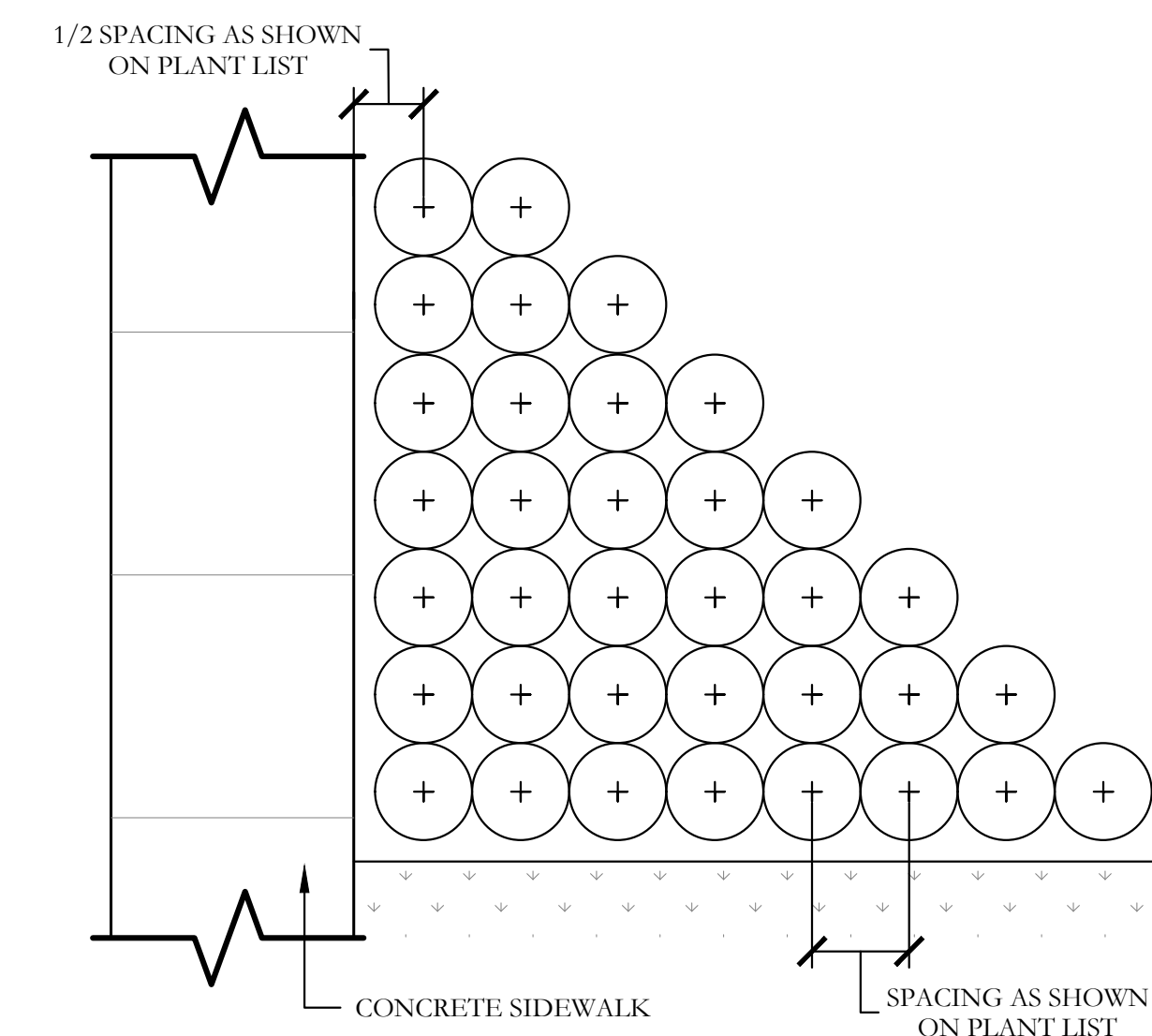


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

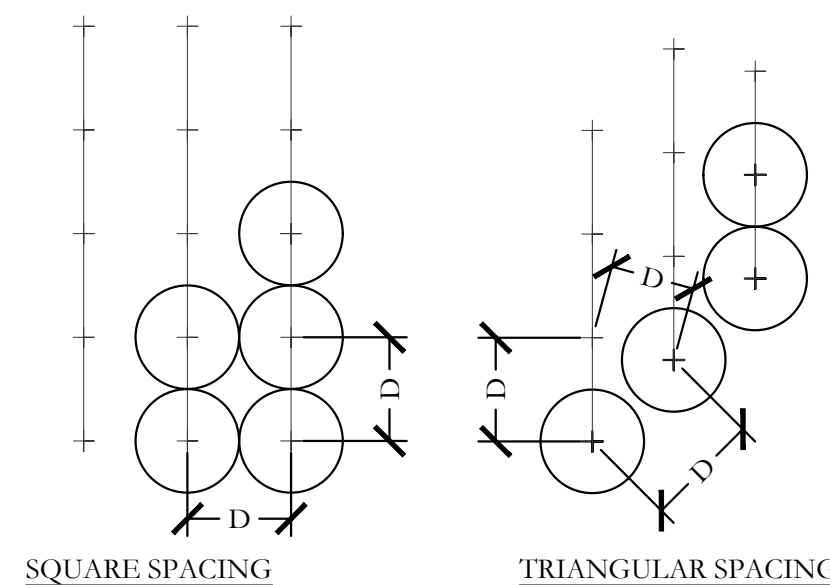
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	9	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	15	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	8	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	47	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	105	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	70	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	33,840	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,690	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	2,140	HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH	MINIMUM 100% COVERAGE ALL AREAS SHOWN; 3" DEPTH



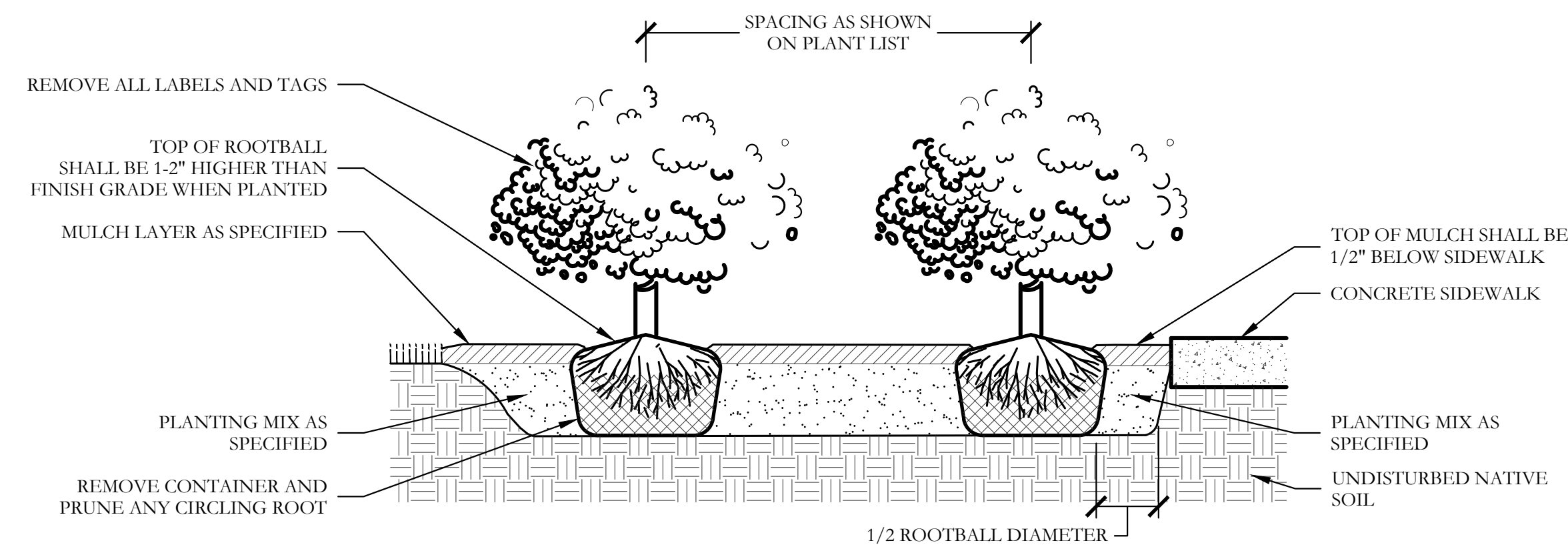
4 OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

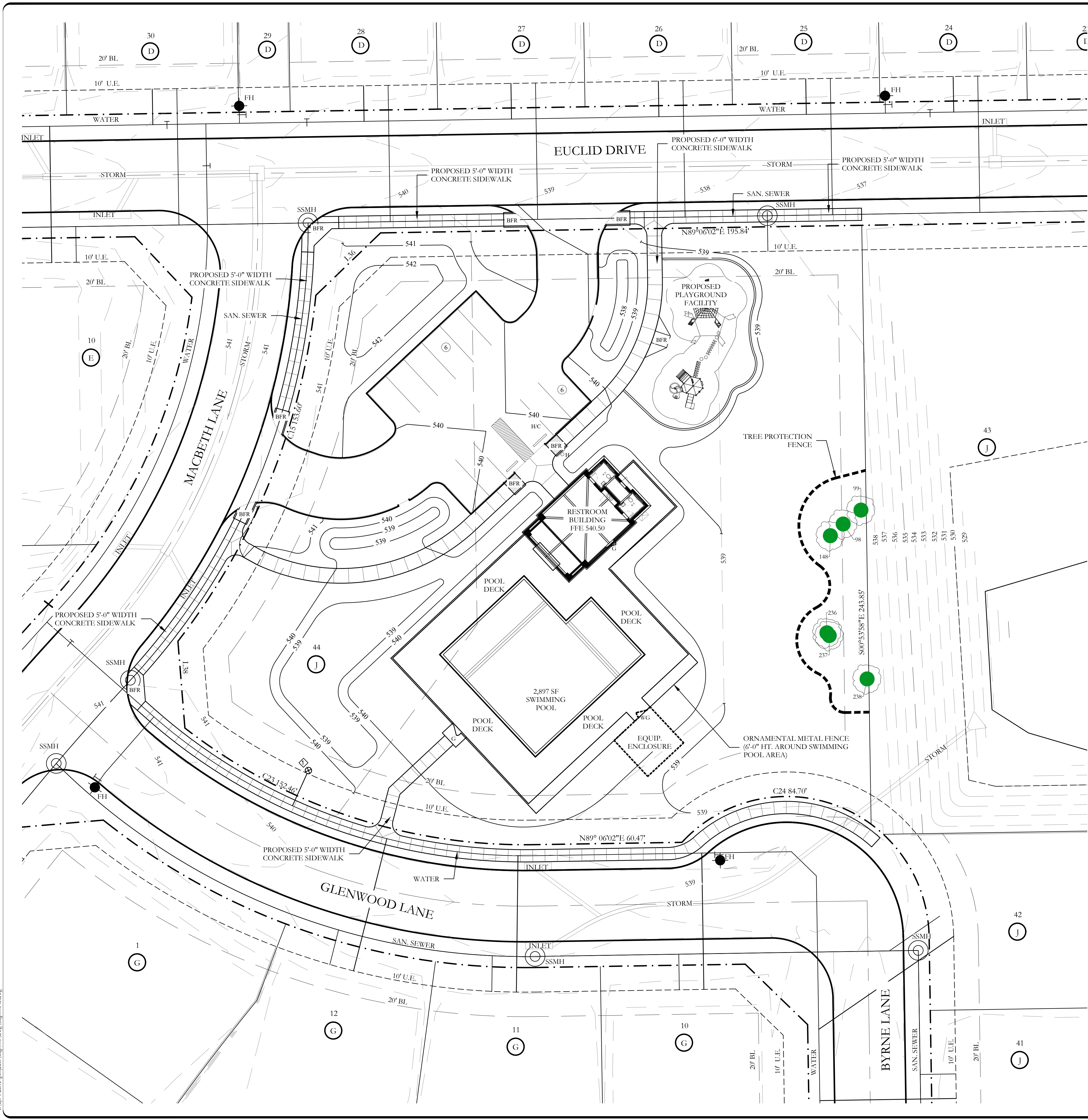


NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



LEGEND

EXISTING TREE TO BE PRESERVED.

TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

Tree Number	Diameter at Breast Height (inches)	Species	Scientific Name	Canopy Radius (Feet)	General Condition	Status
98	15.3	Sugarberry	<i>Celtis laevigata</i>	10	Healthy	Preserved
99	6.5	Cedar Elm	<i>Ulmus crassifolia</i>	10	Healthy	Preserved
148	5.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
236	6.1	Cedar Elm	<i>Ulmus crassifolia</i>	6	Healthy	Preserved
237	4.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
238	9.5	Cedar Elm	<i>Ulmus crassifolia</i>	15	Healthy	Preserved

Summary	Caliper Inches	Percent CI	Number of Trees
Total Trees	47.80	100.00%	6
Preserved Trees	47.80	100.00%	6

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

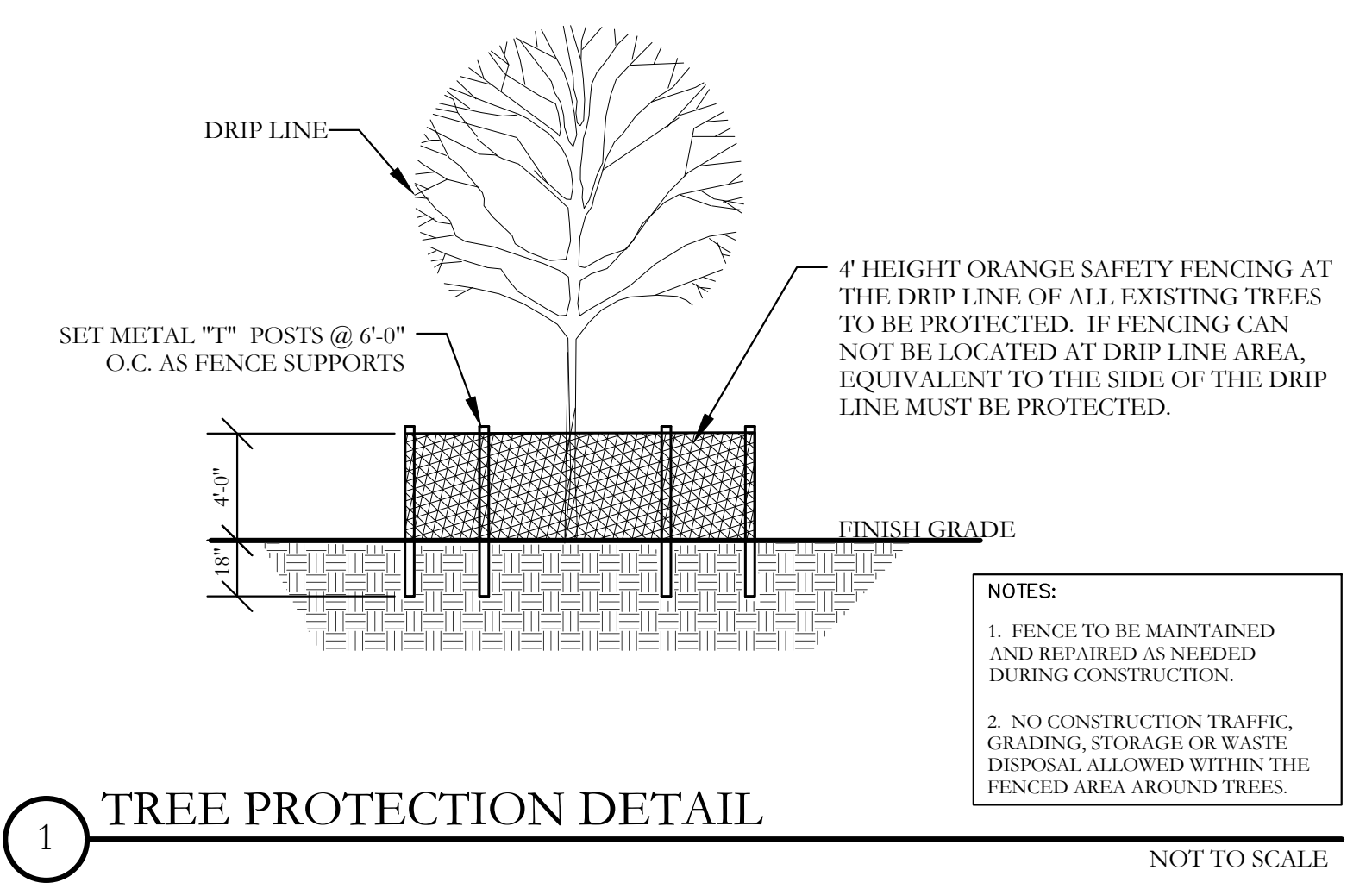
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

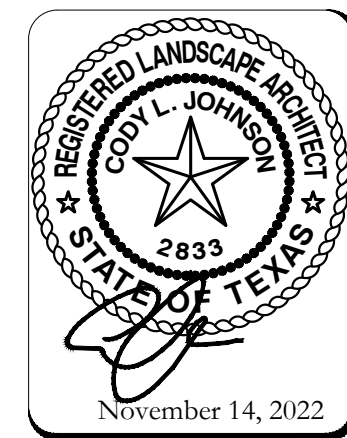
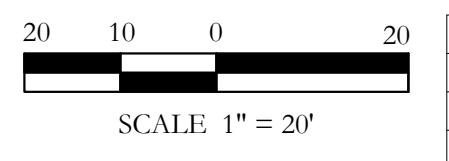
POOL DECK SURFACE: 4,373.64 SF

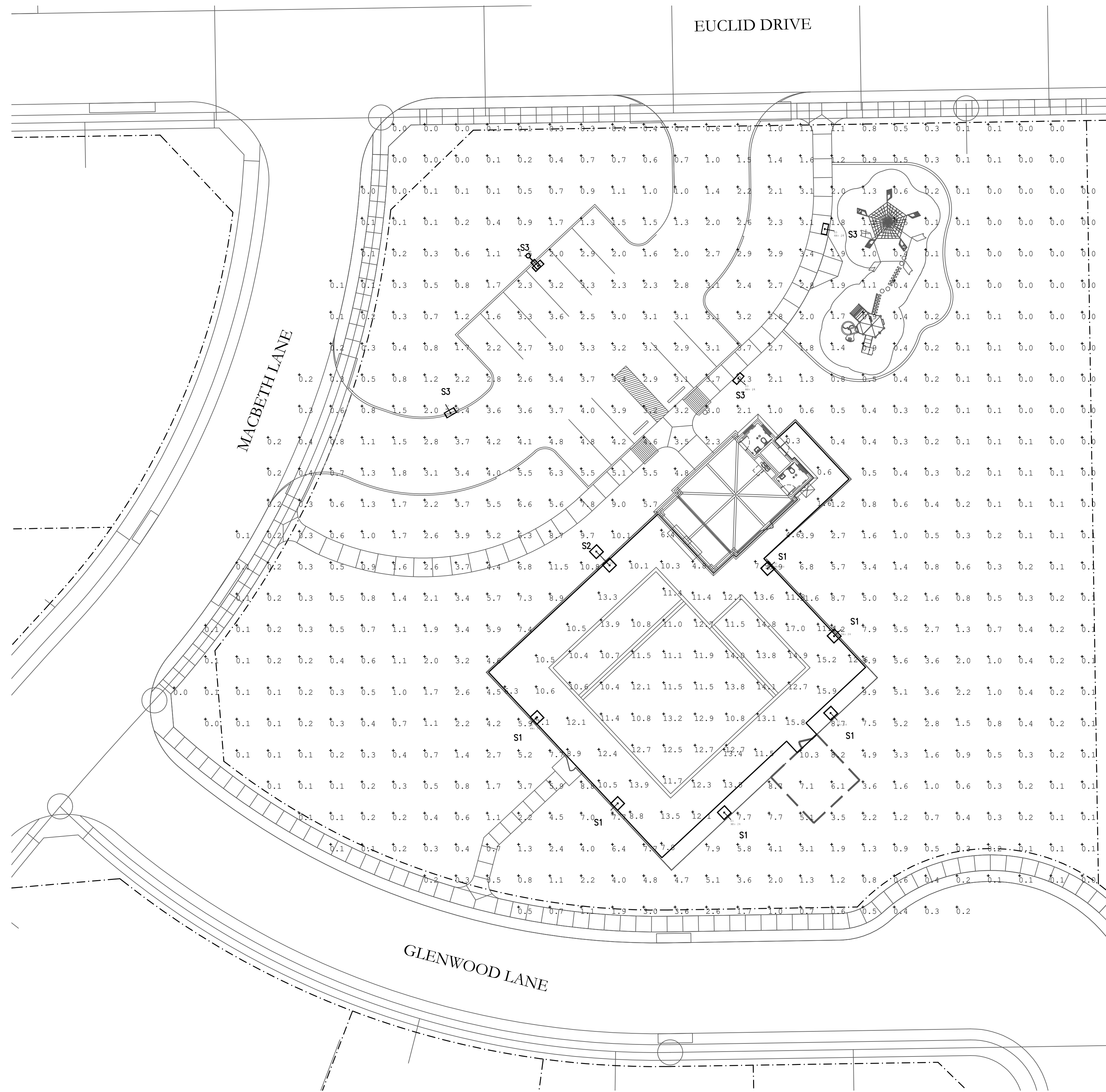
TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED



1 TREE PROTECTION DETAIL





1 SITE PLAN - ELECTRICAL - PHOTOMETRICS
SCALE: 1" = 20'-0"

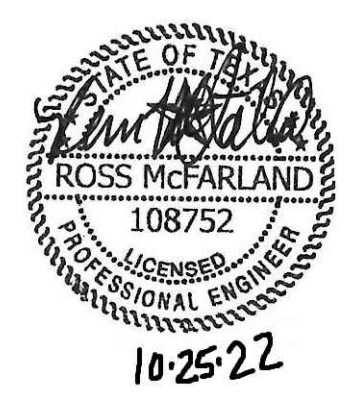
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
□	4	S3	SINGLE	N.A.	0.850	EALS03 D4AF740	70	70	280
+	6	S1	SINGLE	N.A.	0.850	EALS03 J4AF740	186	186	1116
□+	1	S2	D180°	N.A.	0.850	EALS03 J4AF740	186	372	372

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
GROUND Planar	Illuminance	Fc	1.79	11.6	0.0	N.A.	N.A.		
POOL DECK Planar	Illuminance	Fc	10.33	17.0	0.3	34.43	56.67		
POOL SURFACE POOL SURFACE	Illuminance	Fc	12.22	14.9	10.4	1.18	1.43		

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



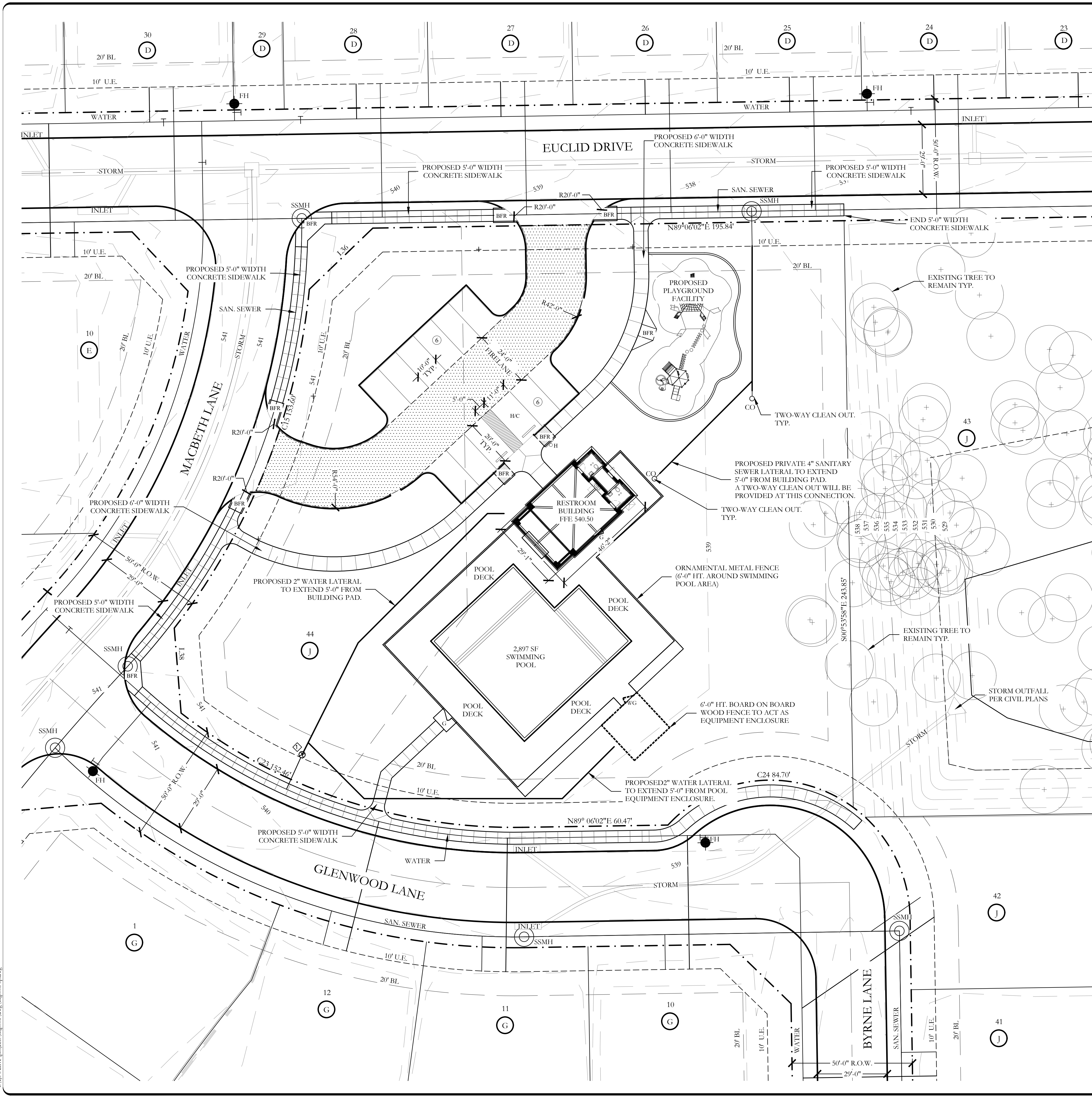
**Nelson Lake
Amenity Center**
Rockwall, TEXAS

Issue: PERMIT 10/18/2022
Revisions:

Drawing Title:
**ELECTRICAL -
SITE PLAN
PHOTOMETRICS**

Sheet
E1.02

AOS JOB #: 3799-001-22



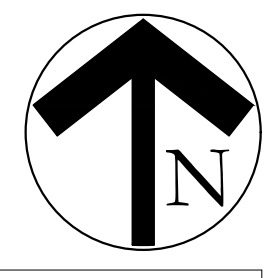
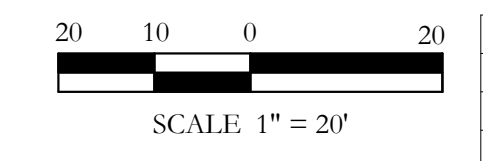
LEGEND

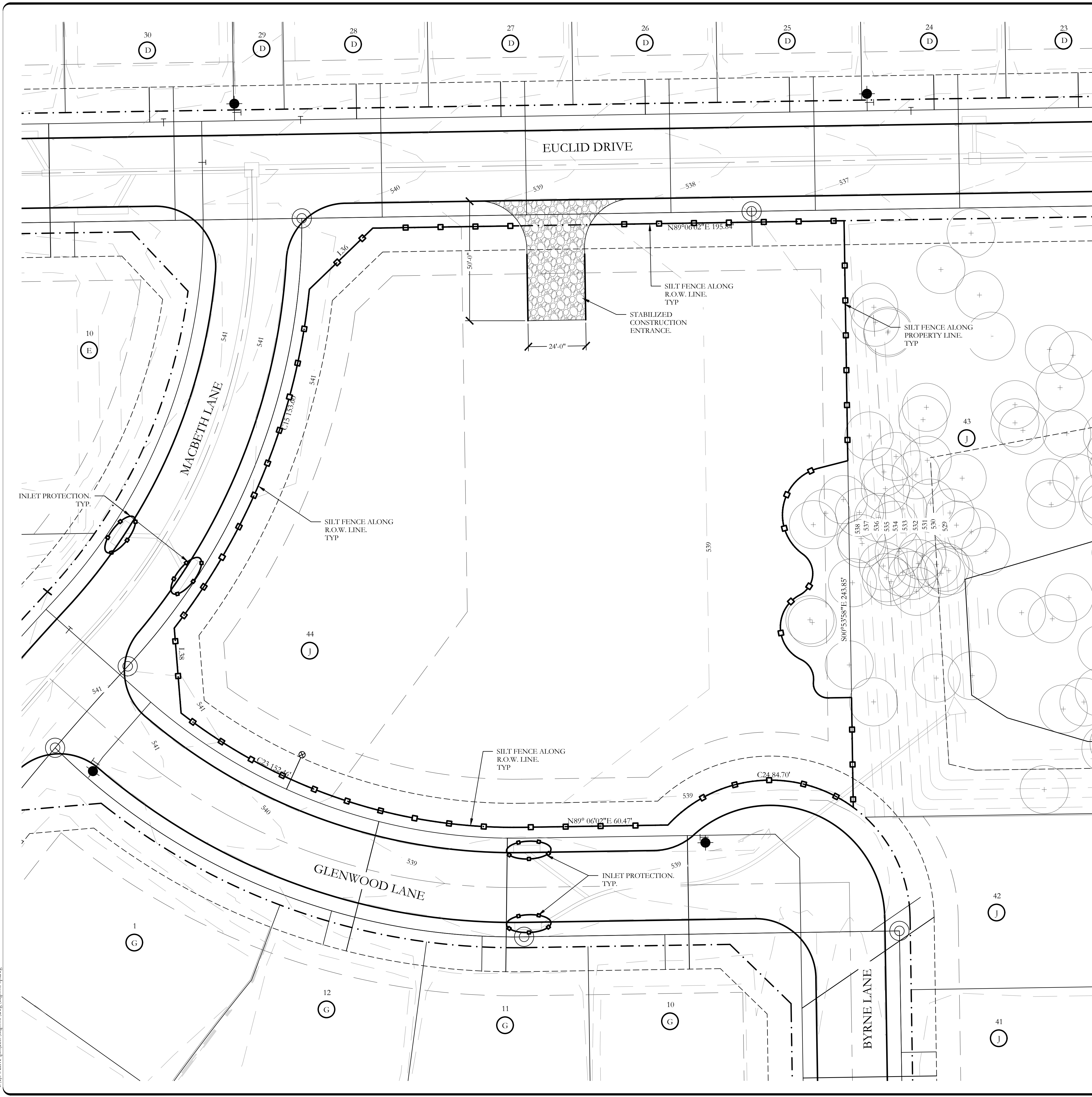
⑥	PROPOSED PARKING COUNT	⊕	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H - P	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING METAL GATE
⊕	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING WOODEN GATE
+	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
⊕	EXISTING CURB INLET	---	FIRELANE PAVING PER CITY STANDARD DETAILS
---	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

- ### UTILITY NOTES
- SANITARY SEWER LATERAL IS SHOWN ON PLAN TO BE LOCATED WITHIN 5'-0" FROM THE BUILDING PAD. MEP PLANS SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A TWO-WAY CLEAN OUT WILL BE PROVIDED AT THIS CONNECTION AS WELL AS AT THE PROPERTY LINE.
 - WATER LATERAL LINE IS SHOWN ON PLAN TO BE LOCATED 5'-0" FROM THE BUILDING PAD. MEP PLANS WILL SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A CUT-OFF DRAIN VALVE WILL BE PROVIDED INSIDE A WATER CUT-OFF BOX WITH A LOCKABLE COVER AT THIS CONNECTION.

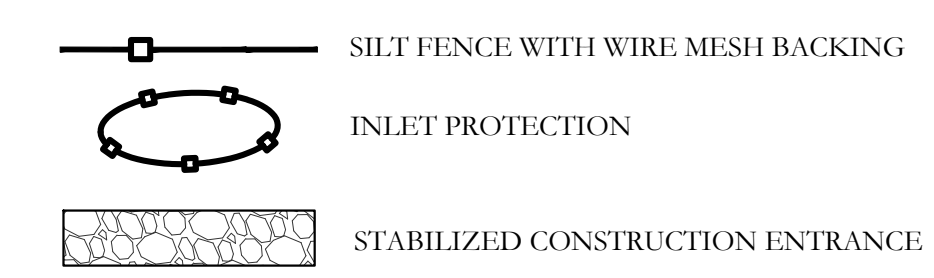
WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊕	1"	1"	X		4"





LEGEND



REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

EROSION CONTROL NOTES

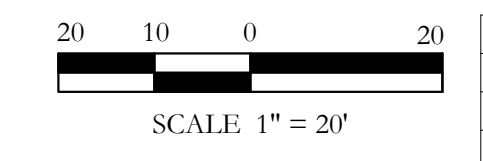
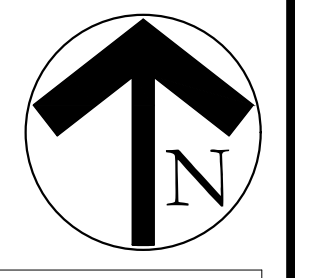
1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
3. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
4. THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
12. IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

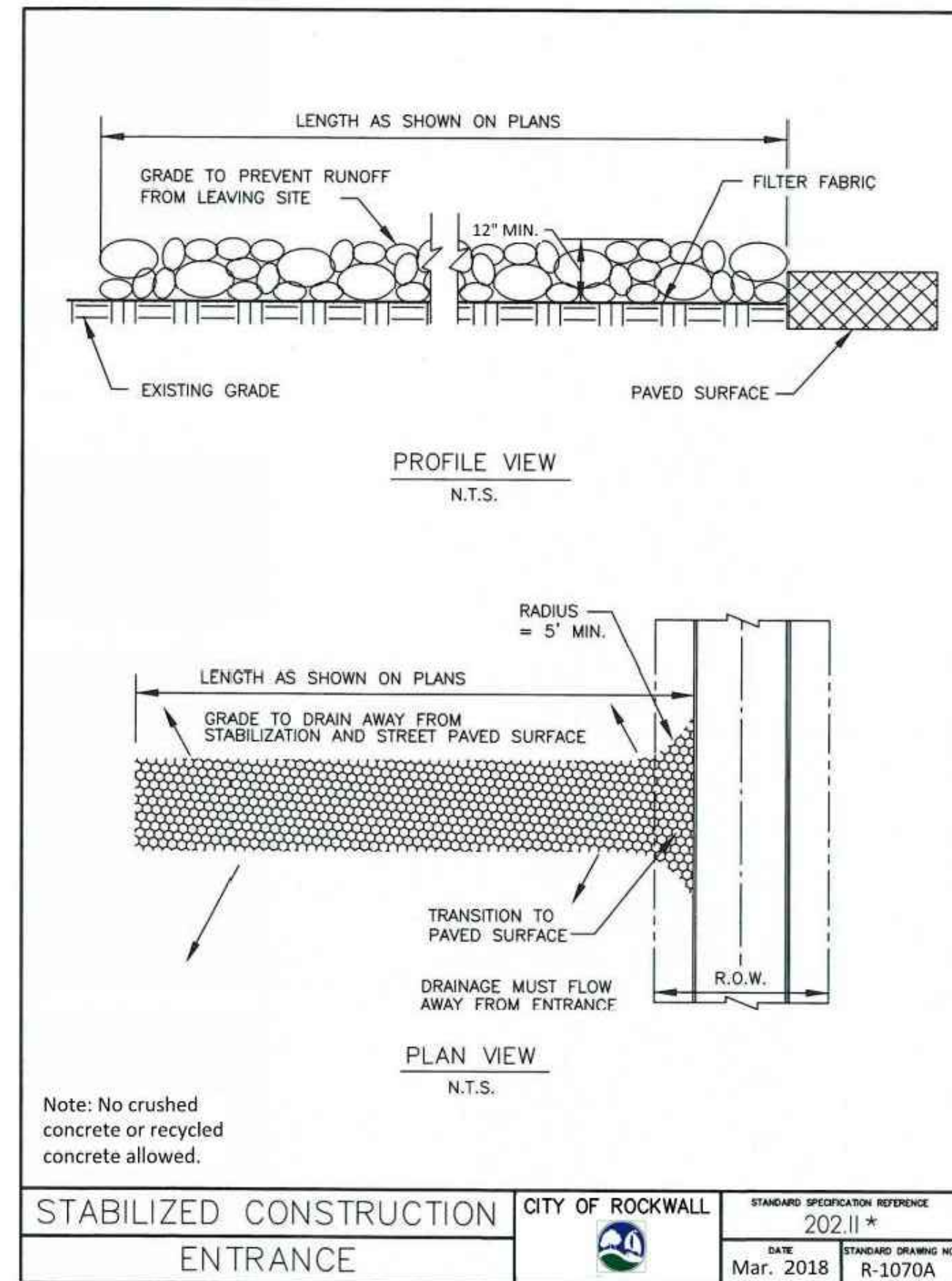
SILT FENCE CONSTRUCTION NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOOD/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
9. AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

STABILIZED CONSTRUCTION ENTRANCE NOTES

1. STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3"-5" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
3. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.





STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE	202.11 *
		DATE	Mar. 2018
		STANDARD DRAWING NO.	R-1070A

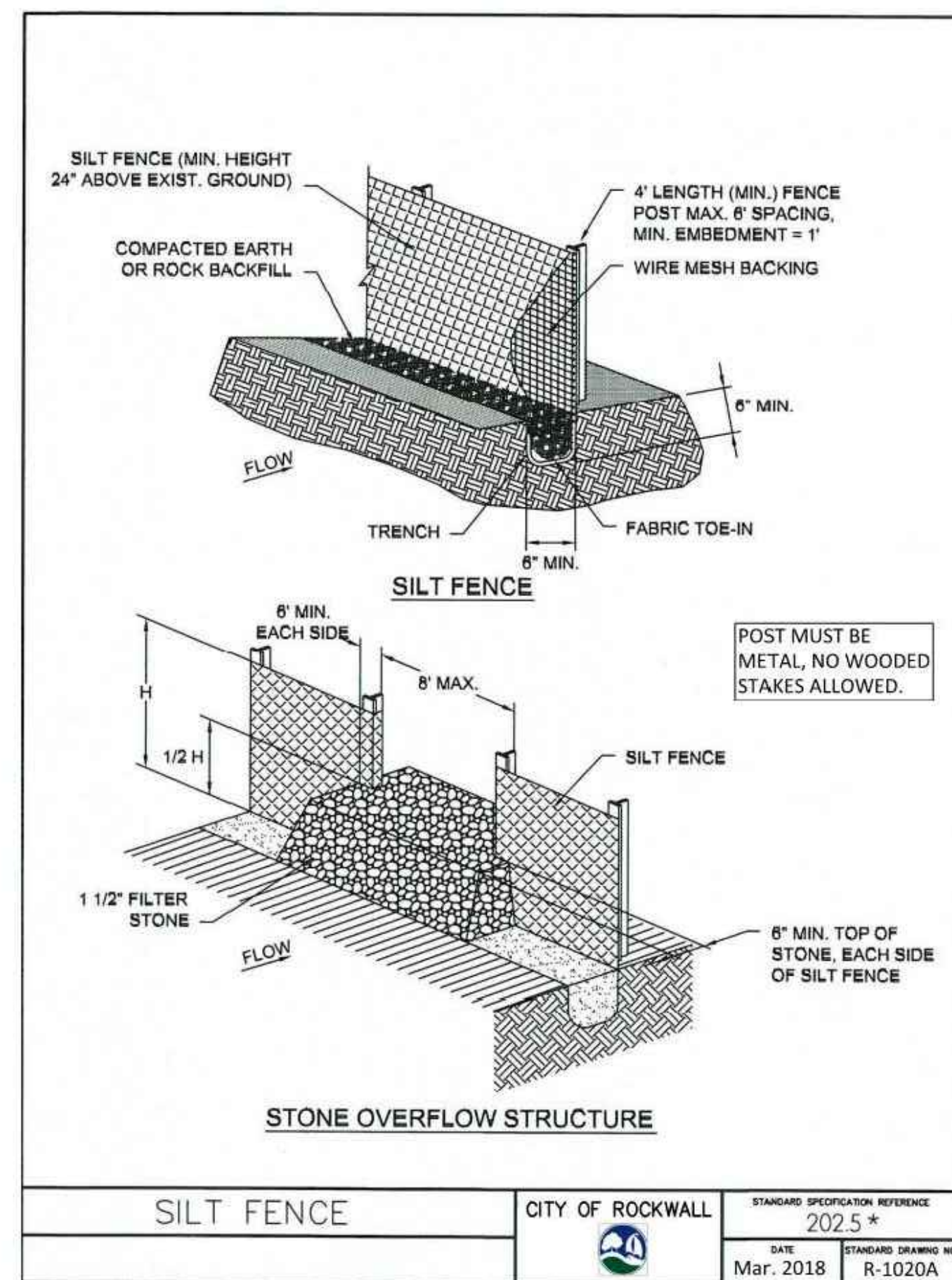
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STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE	202.11 *
		DATE	Mar. 2018
		STANDARD DRAWING NO.	R-1070B

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SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE	202.5 *
		DATE	Mar. 2018
		STANDARD DRAWING NO.	R-1020A

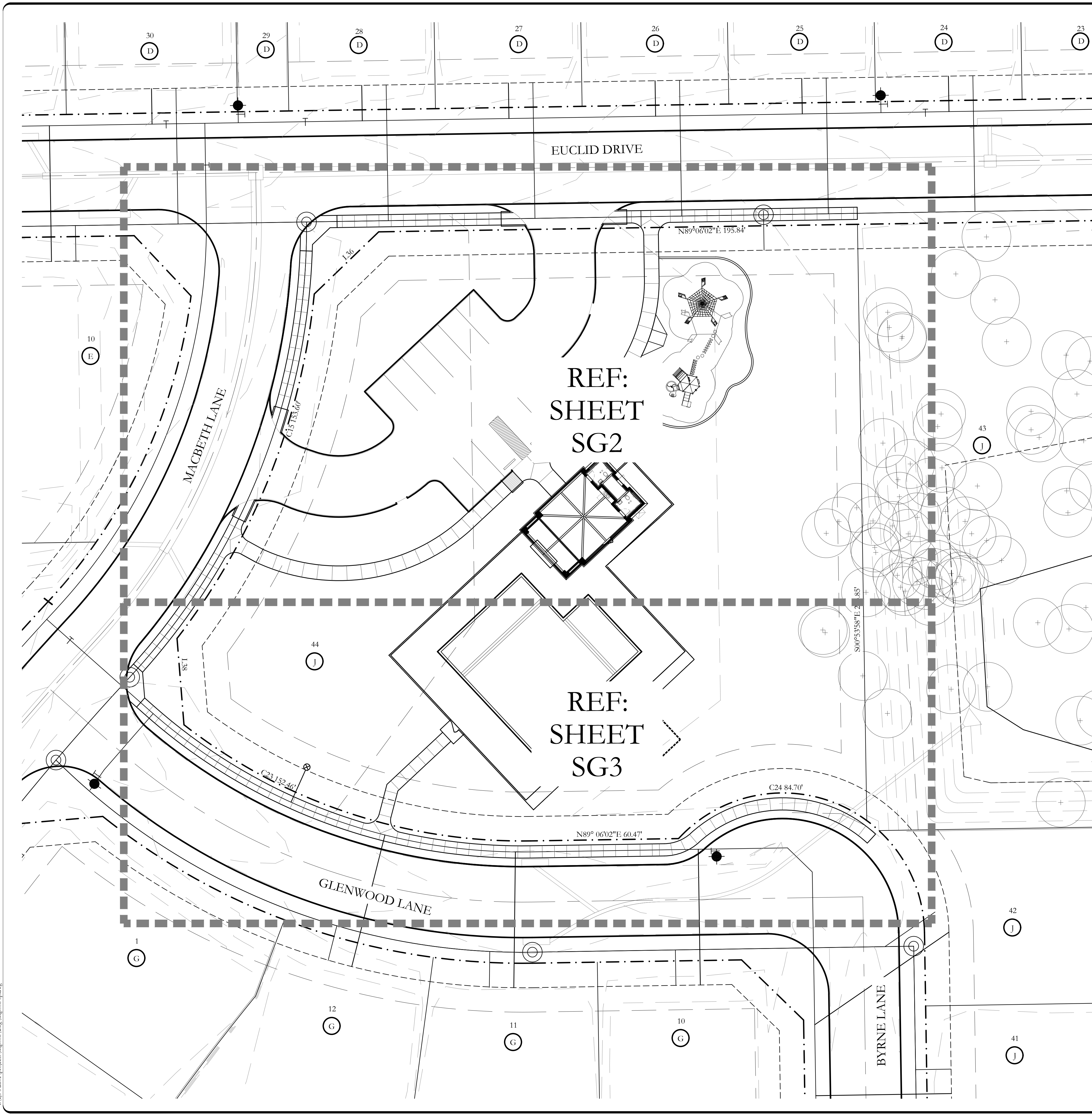
Page 249

SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

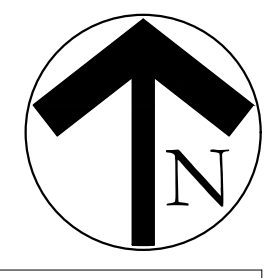
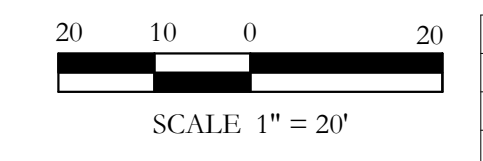
SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE	202.5 *
		DATE	Mar. 2018
		STANDARD DRAWING NO.	R-1020B

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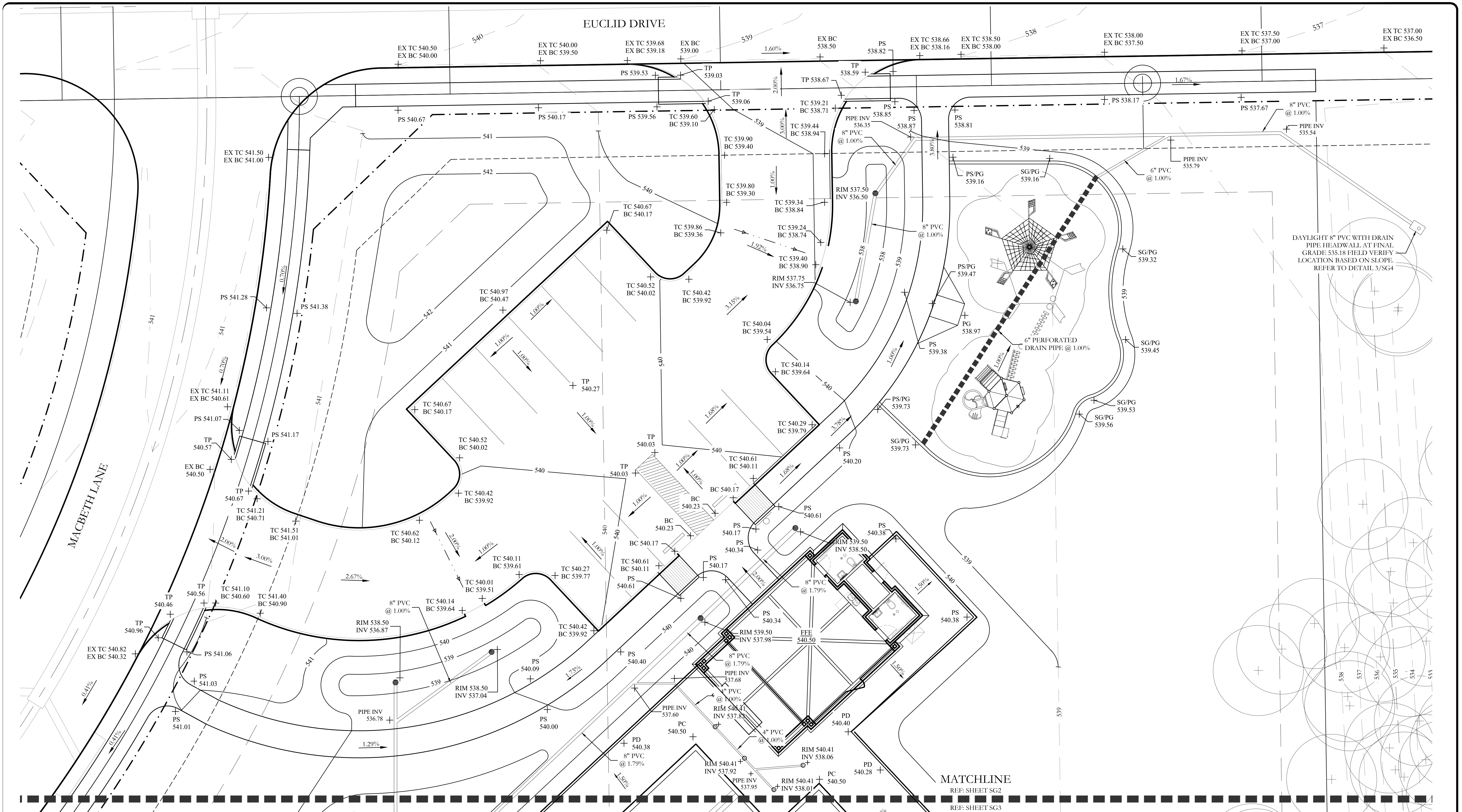


GRADING NOTES

1. TOP SOIL SHALL NOT BE REMOVED FROM RESIDENTIAL LOTS OR USED AS SPOIL, BUT SHALL BE STRIPPED AND REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER ON THE LOTS, PARKWAYS AND MEDIANS. PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS.
2. TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
3. ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
4. GRASS SHALL BE ESTABLISHED ON THE SLOPES OF ALL DRAINAGE CHANNELS THAT ARE STEEPER THAN 6:1. GRASS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION.
5. ALL PERMEABLE SURFACES WITHIN THE DEVELOPMENT SHALL BE GRADED TO A SMOOTH AND UNIFORM APPEARANCE THAT CAN BE EASILY MOWED WITH A SMALL RESIDENTIAL RIDING LAWN MOWER.
6. COMPACTING AREA TO BE FILLED: AFTER THE AREA TO BE FILLED IS CLEARED AND SCARIFIED, THE SUBGRADE SOILS SHALL BE COMPACTED MECHANICALLY TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND AT A MOISTURE CONTENT WITHIN 3 PERCENTAGE POINTS OF THE MATERIALS OPTIMUM MOISTURE.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AROUND AND DIRECTING DRAINAGE AWAY FROM THE BUILDING, POOL, AND PLAYGROUND AREA.
9. ALL SIDEWALK PAVING SHALL HAVE A MAXIMUM 5% LONGITUDINAL SLOPE WITH A MAX. 2% CROSS SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO REQUIREMENTS.



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DAYLIGHT 8" PVC WITH DRAIN PIPE HEADWALL AT FINAL GRADE 535.18 FIELD VERIFY LOCATION BASED ON SLOPE. REFER TO DETAIL 3/SG4

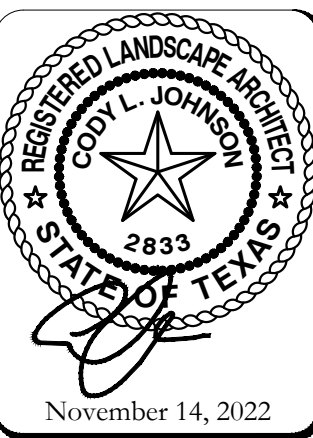
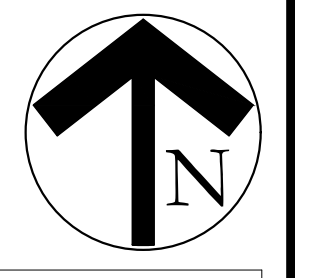
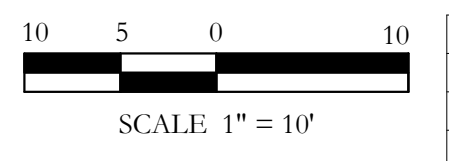
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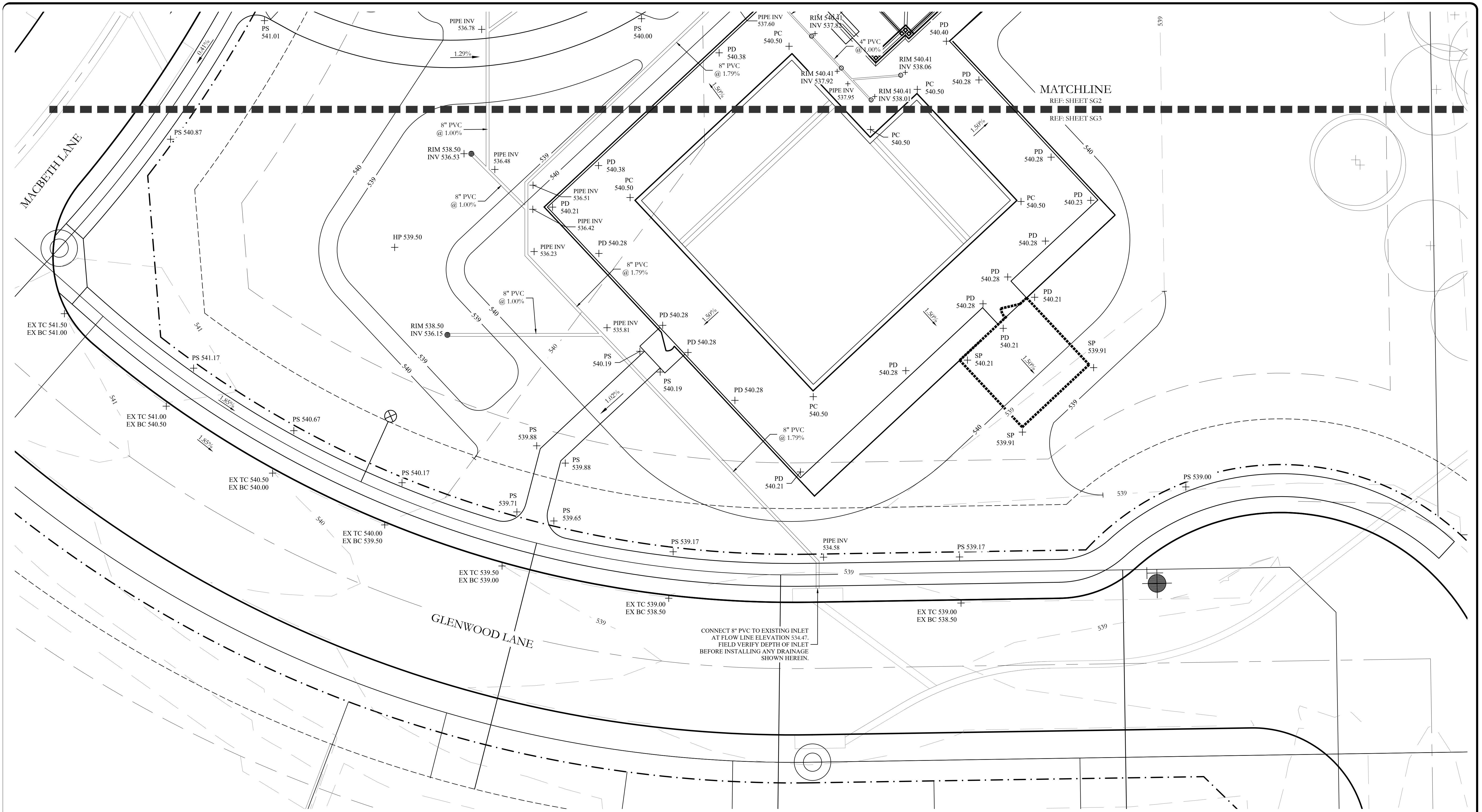
PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
SP + 102.9	PROPOSED SPOT GRADE SPOT ELEVATION	●	12" DIA. DRAIN INLET. REFER TO DETAIL 2/SG4.
PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

THE CONTRACTOR SHALL FIELD VERIFY THAT NO CROSS SLOPES FOR PEDESTRIAN PAVING EXCEED 2%.

GRADING NOTES

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- TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
- ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
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- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
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- ALL SIDEWALK PAVING SHALL HAVE A MAXIMUM 5% LONGITUDINAL SLOPE WITH A MAX. 2% CROSS SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO REQUIREMENTS.





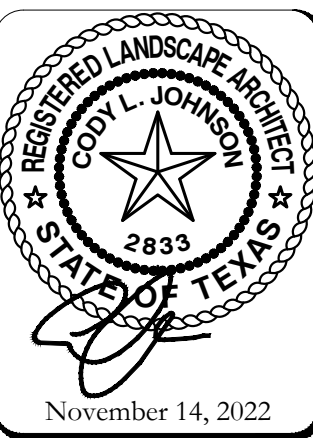
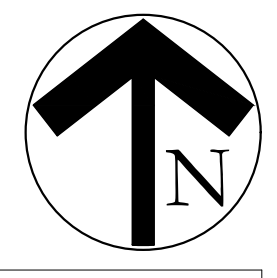
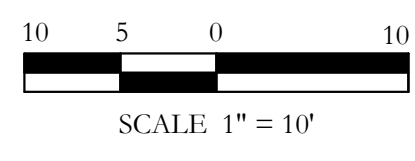
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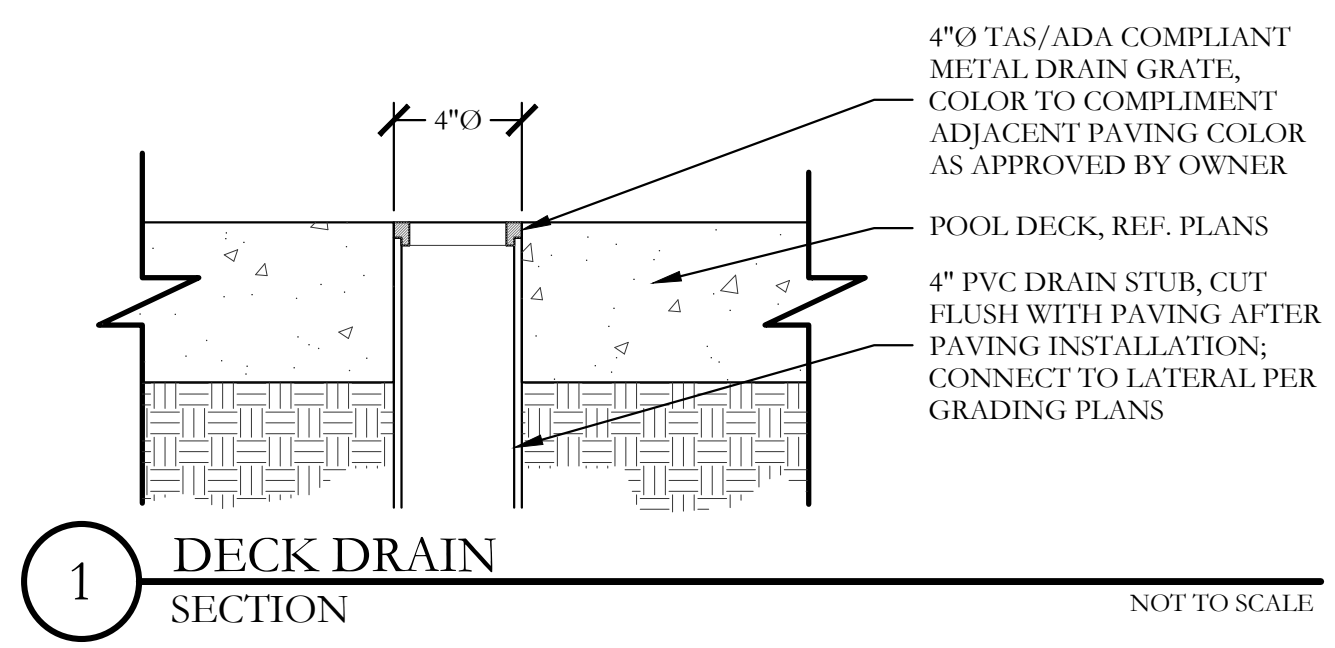
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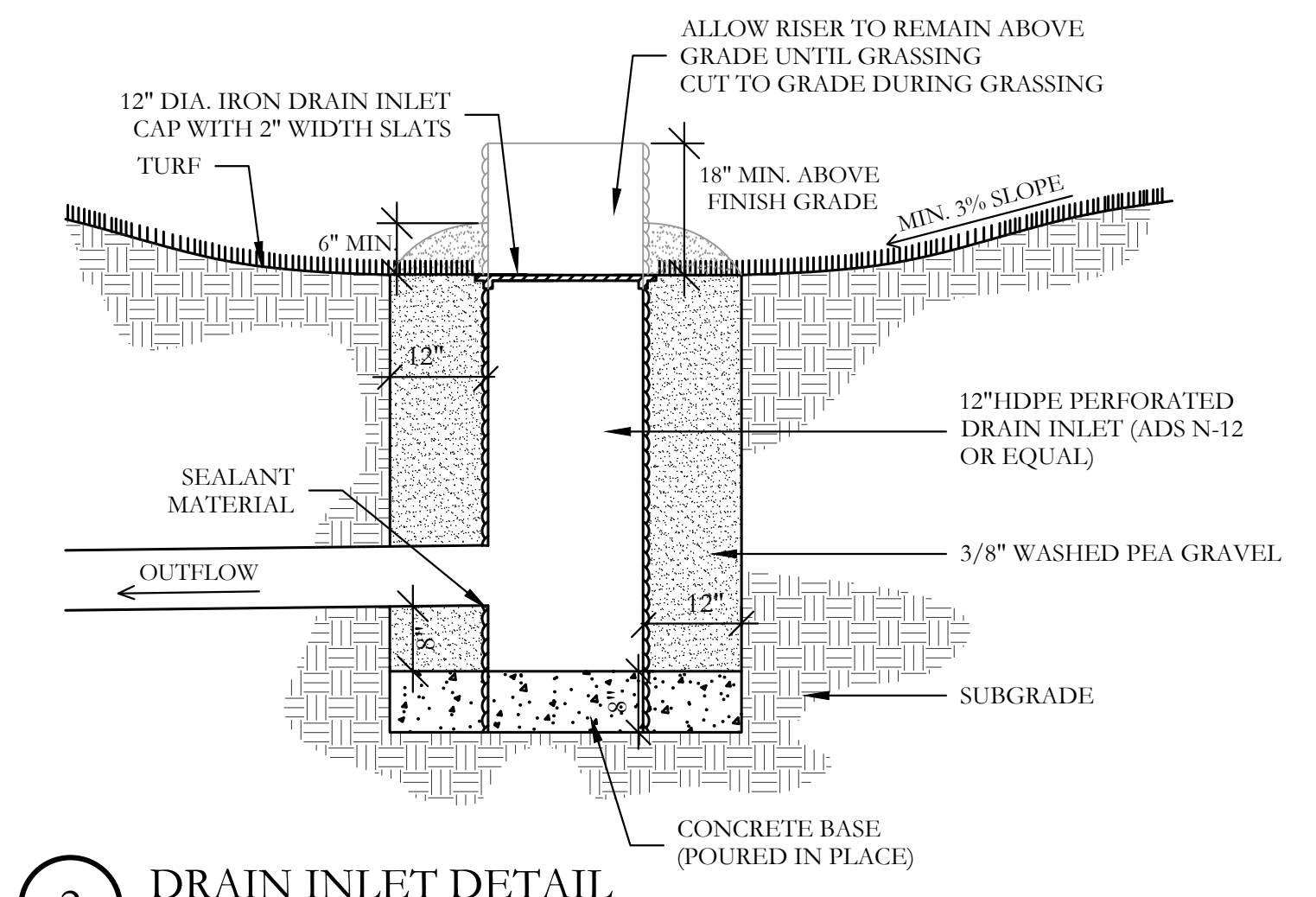
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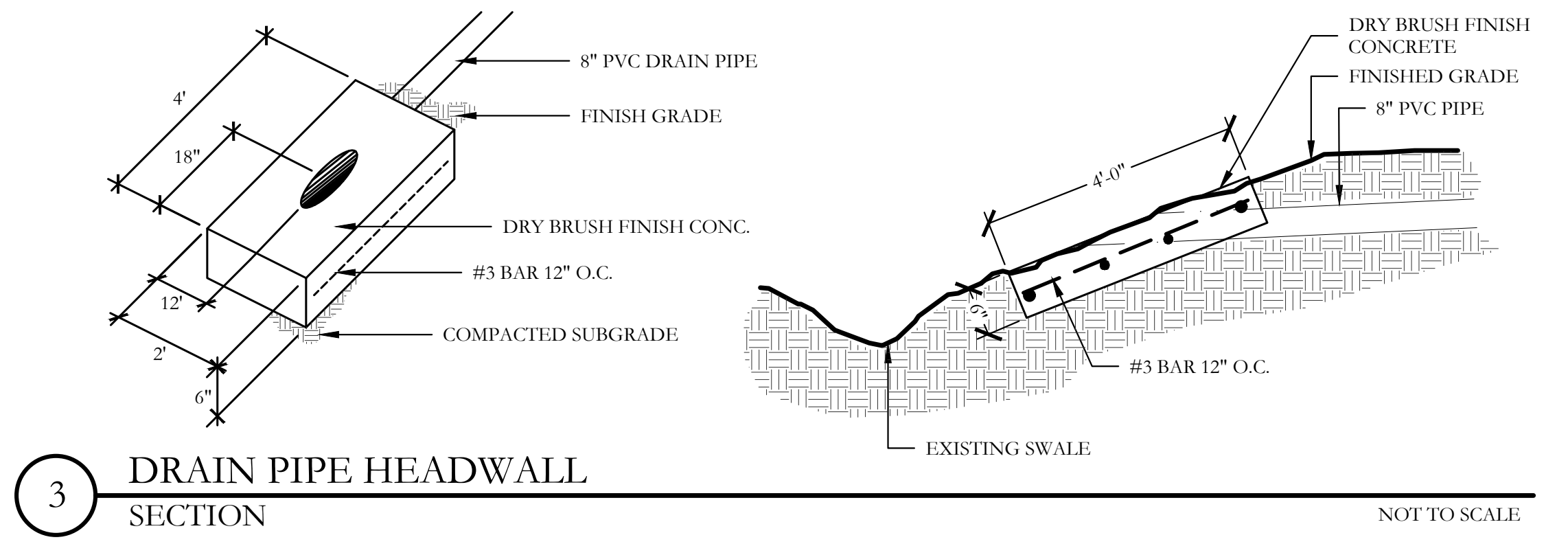
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1 DECK DRAIN SECTION NOT TO SCALE



2 DRAIN INLET DETAIL SECTION NOT TO SCALE



3 DRAIN PIPE HEADWALL SECTION NOT TO SCALE

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/21/2022

PROJECT NUMBER: SP2022-060
PROJECT NAME: Site Plan for Nelson Lakes Amenity Center
SITE ADDRESS/LOCATIONS: 3160 MACBETH LN

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site Plan for the Nelson Lake Subdivision amenity center being a 1.403-acre portion of a larger 120.9004-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) [Ordinance No. 21-09] for Single-Family 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	11/17/2022	Needs Review

11/17/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the Nelson Lake Subdivision amenity center being a 1.403-acre portion of a larger 120.9004-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 90 (PD-90) (Ordinance No. 21-09) for Single-Family 10 (SF-10) District land uses, generally located at the southeast corner of the intersection of FM-1141 and FM-552.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-060) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the requirements stipulated by Planned Development District 90 (PD-90), and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Provide the standard signature block with signature space for the Planning & Zoning Chairman and Planning Director on the Treescape Plan and all sheets of the Screening/Buffering Plans. (Subsection 03.04.A, of Article 11)

M.6 Site Plan:

- (1) Please provide a detail of each fencing type.
- (2) Please move the pool equipment enclosure to the northeast side of the pool to reduce visibility. Provide an evergreen shrub row around the enclosure. The wood fence should utilize 1x6 horizontal boards, a 2x6 cap rail, and the board color should match the pavilion.

M.7 Landscape Plan:

- (1) This amenity center lot must have 49 canopy trees and 4 accent trees per the approved PD Site Plan (Case No. SP2022-001). Currently there are 32 canopy trees and 8 accent trees.

M.8 Treescape Plan:

(1) The tree survey does not match the Treescape Plan per the PD Site Plan (Case No. SP2022-001); please provide clarification of conformance.

M.9 Photometric Plan:

- (1) Light levels shall not exceed 0.2 FC at all property line.
- (2) Please provide cutsheets for each light fixture.
- (3) Please indicate the mounting heights for all light fixtures.

M.10 Building Elevations:

- (1) Provide the roof pitches for the pavilion.
- (2) Remove the doors and windows from the material percentages.
- (3) Please confirm whether the roof will be standing seam metal or shingles.
- (4) All colors and materials must be finalized and cannot be determined at a later date. Please correct the elevations to reflect this.
- (5) Please clarify whether the stone is natural or cast.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on December 6, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 6, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 13, 2022 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on November 29, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on December 13, 2022.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2022	Approved w/ Comments

11/18/2022: M - Minimum driveway spacing is 100'. Show distance.

I - Will need to submit and have City approval of full engineering plans (paving, grading, utilities, drainage area map, paving/dimensional control, erosion, etc.) for site work prior to Building permit submittal.

I - See comments on erosion control and grading. -Remove grading, utilities, and erosion control from Site Plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/16/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/16/2022	Approved

11/16/2022: Address will be 3160 MACBETH LN, ROCKWALL, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	11/16/2022	Approved

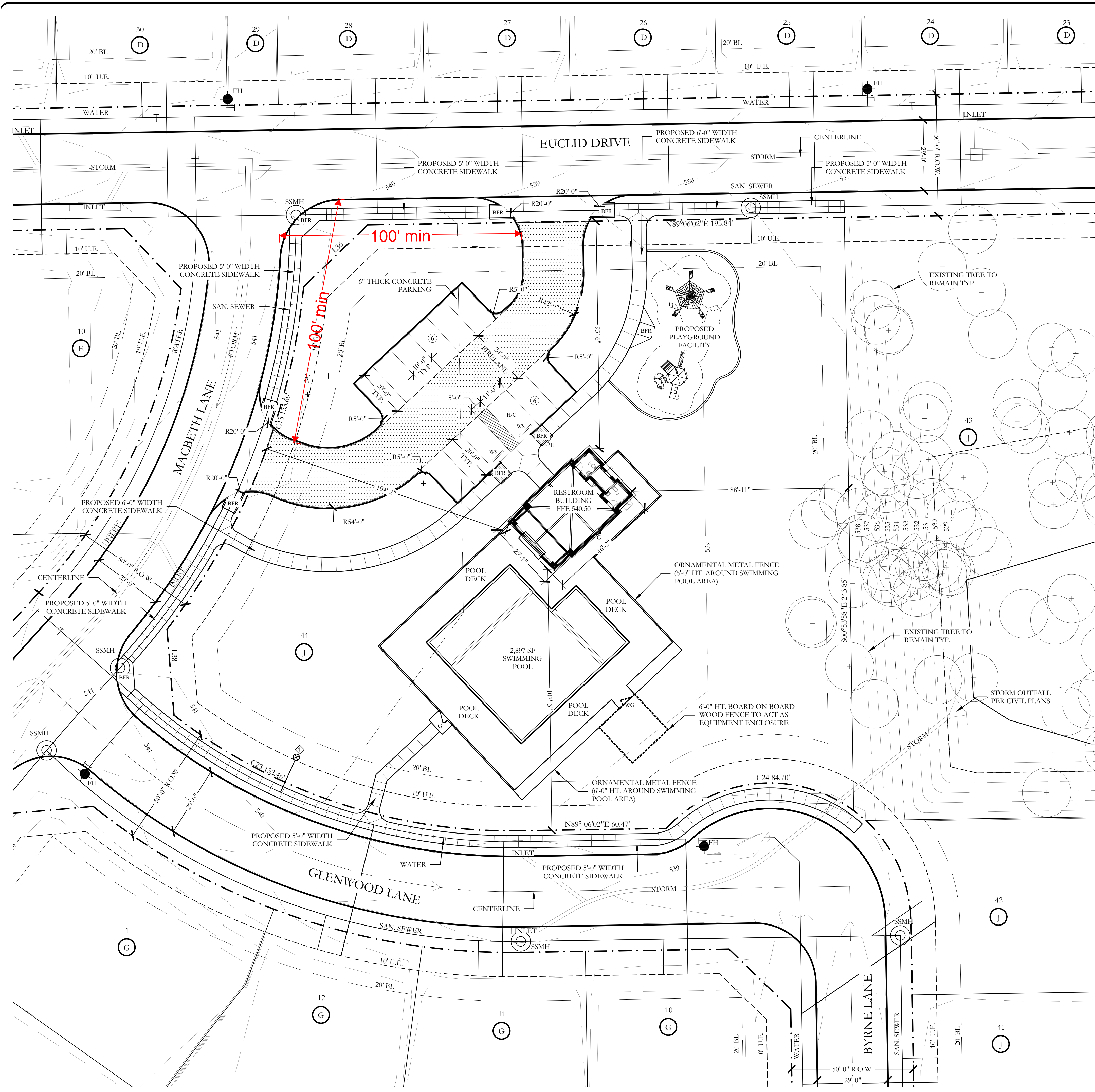
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2022	Approved w/ Comments

11/16/2022: 1. Landscape plan approved

2. Tree mitigation plan approve

3. Informational only: There are several turfgrass species that are superior to Common Bermuda such as; Tif Tuf, Lattitude 36, Tahoma 31 which are more drought, cold, wear tolerant and conserve water.



LEGEND

⑥	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

-Will need to submit and have City approval of full engineering plans (paving, grading, utilities, drainage area map, paving/dimensional control, erosion, etc.) for site work prior to Building permit submittal.

-See comments on erosion control and grading.

-Remove grading, utilities, and erosion control from Site Plan.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊗	1"	1"	X		4"

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 1.403 ACRES
61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
LOT COVERAGE: 2.20%

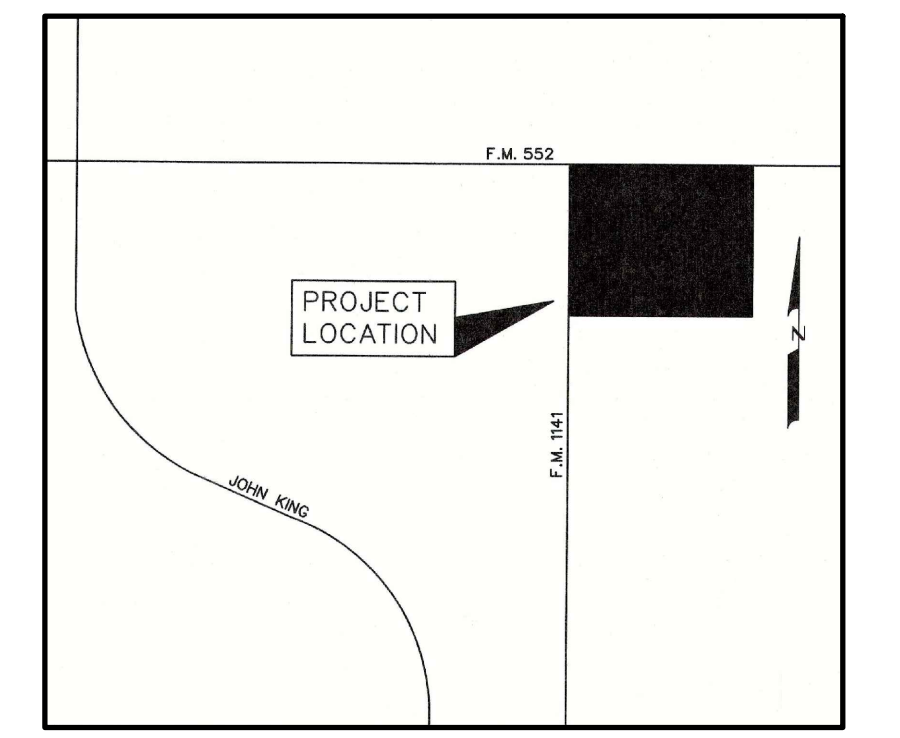
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
1,342.68/250=5.37
6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

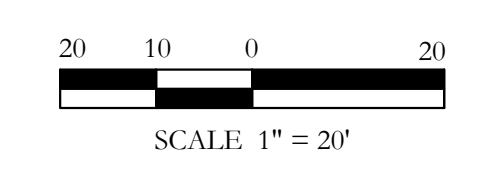
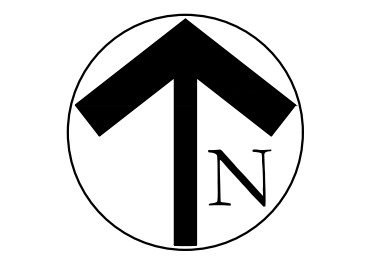
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
INTERIOR LANDSCAPE PROVIDED: 45,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



LOCATION MAP
NOT TO SCALE

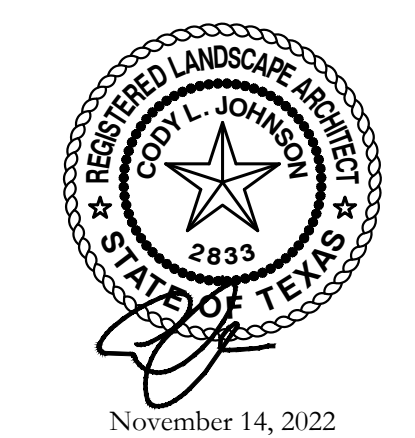


**SITE PLAN
NELSON LAKE ESTATES
LOT 44, BLOCK J
~AMENITY CENTER~**

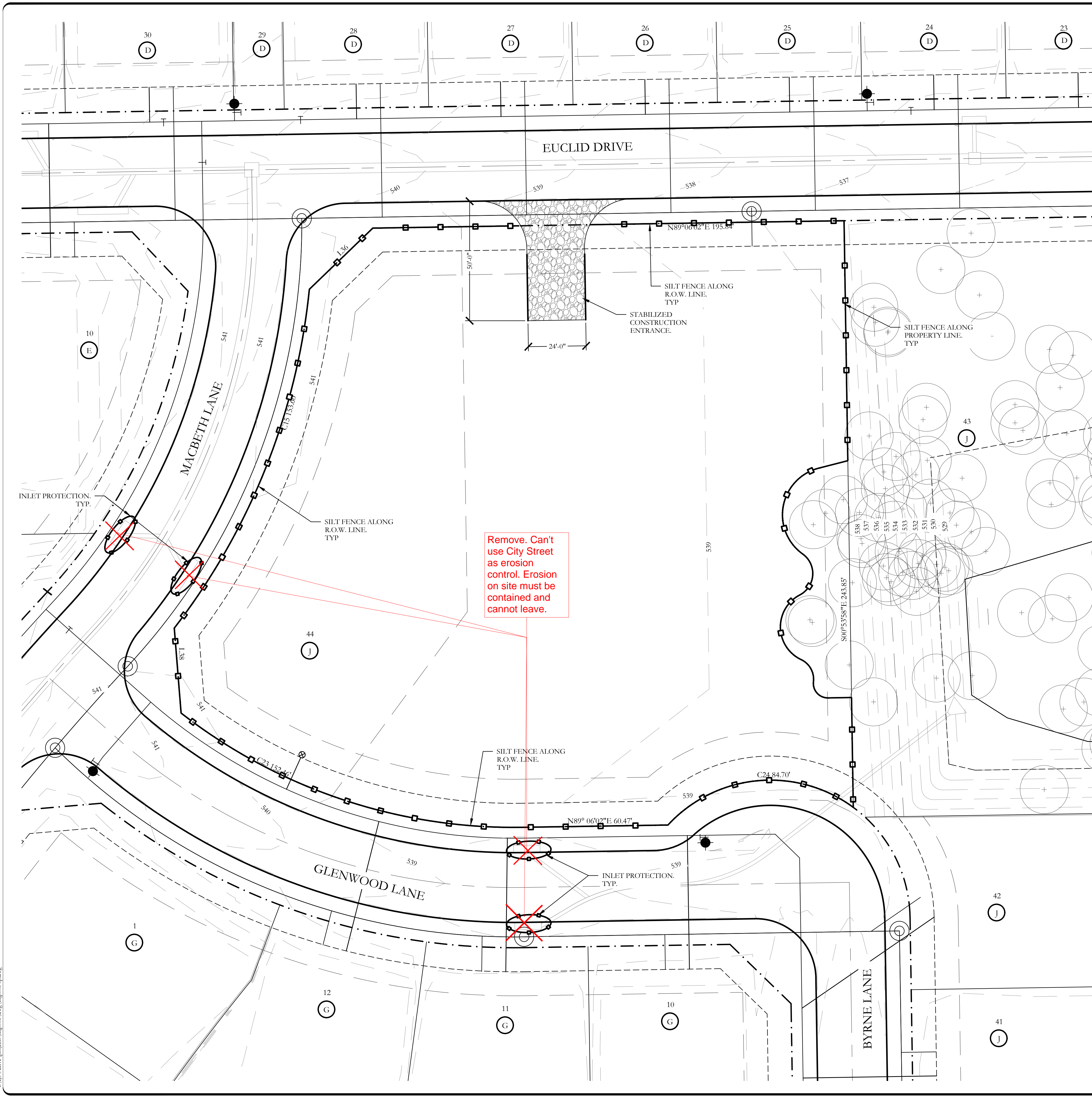
BEING 1.403 ACRES OUT OF THE
J.M. GASS SURVEY
ABSTRACT NO. 88
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
QUALICO DEVELOPMENT (U.S.), INC
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070
CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI



November 14, 2022



LEGEND

- SILT FENCE WITH WIRE MESH BACKING
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

EROSION CONTROL NOTES

1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
3. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
4. THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
12. IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

No wood posts allowed

SILT FENCE CONSTRUCTION NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOVEN/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
9. AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

Use City detail

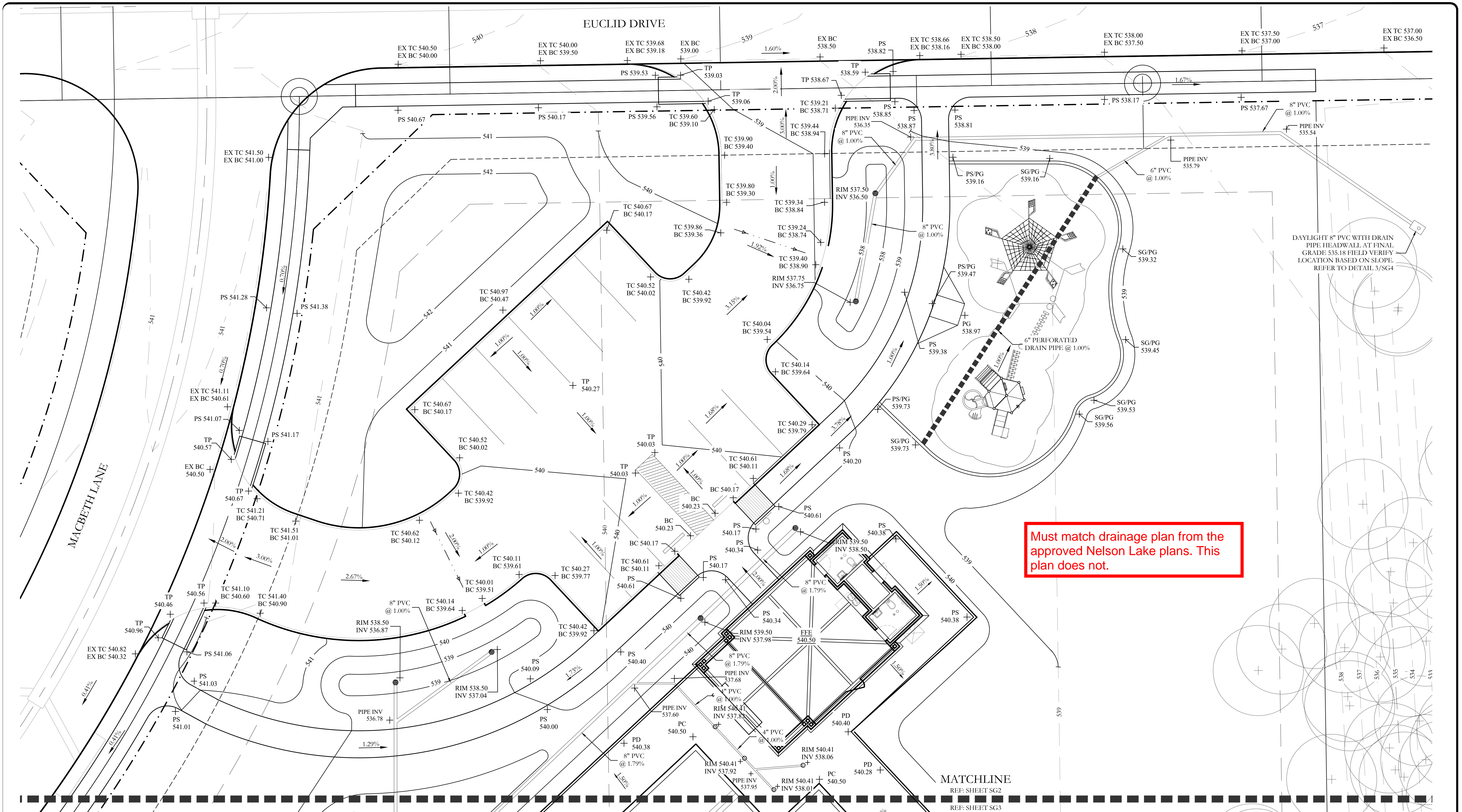
STABILIZED CONSTRUCTION ENTRANCE NOTES

1. STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
3. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.

4"-6" rock (no crushed or recycled concrete allowed)

Remove. Can't use City Street as erosion control. Erosion on site must be contained and cannot leave.

I:\GIS\advice\projects\mjp006.dwg, mjp006.mxd



Must match drainage plan from the approved Nelson Lake plans. This plan does not.

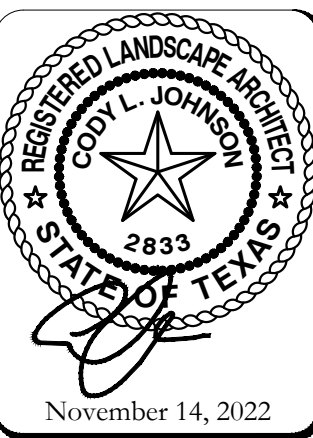
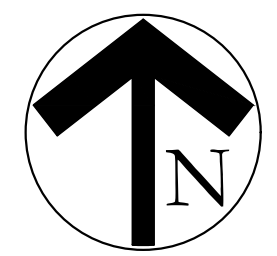
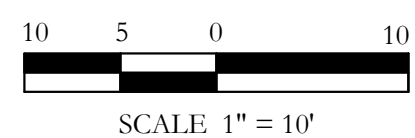
GRADING LEGEND

PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
SP + 102.9	PROPOSED SPOT GRADE SPOT ELEVATION	●	12" DIA. DRAIN INLET. REFER TO DETAIL 2/SG4.
PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

THE CONTRACTOR SHALL FIELD VERIFY THAT NO CROSS SLOPES FOR PEDESTRIAN PAVING EXCEED 2%.

GRADING NOTES

- TOP SOIL SHALL NOT BE REMOVED FROM RESIDENTIAL LOTS OR USED AS SPOIL, BUT SHALL BE STRIPPED AND REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER ON THE LOTS, PARKWAYS AND MEDIANS. PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS.
- TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
- ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
- GRASS SHALL BE ESTABLISHED ON THE SLOPES OF ALL DRAINAGE CHANNELS THAT ARE STEEPER THAN 6:1. GRASS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION.
- ALL PERMEABLE SURFACES WITHIN THE DEVELOPMENT SHALL BE GRADED TO A SMOOTH AND UNIFORM APPEARANCE THAT CAN BE EASILY MOWED WITH A SMALL RESIDENTIAL RIDING LAWN MOWER.
- COMPACTING AREA TO BE FILLED: AFTER THE AREA TO BE FILLED IS CLEARED AND SCARIFIED, THE SUBGRADE SOILS SHALL BE COMPACTED MECHANICALLY TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND AT A MOISTURE CONTENT WITHIN 3 PERCENTAGE POINTS OF THE MATERIAL'S OPTIMUM MOISTURE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AROUND AND DIRECTING DRAINAGE AWAY FROM THE BUILDING, POOL, AND PLAYGROUND AREA.
- ALL SIDEWALK PAVING SHALL HAVE A MAXIMUM 5% LONGITUDINAL SLOPE WITH A MAX. 2% CROSS SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO REQUIREMENTS.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- ### OTHER APPLICATION FEES:
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Nelson Lake Estates**

SUBDIVISION **Nelson Lake Estates**

LOT

44

BLOCK

J

GENERAL LOCATION **Between Glenwood Lane and Euclid Drive, along Macbeth Lane**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **1.403**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (U.S.), INC.**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive**

ADDRESS **704 Central Parkway East**

Suite 350

Suite 1200

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE TRESSLER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 378.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF NOVEMBER, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022

OWNER'S SIGNATURE

Kyle Tressler

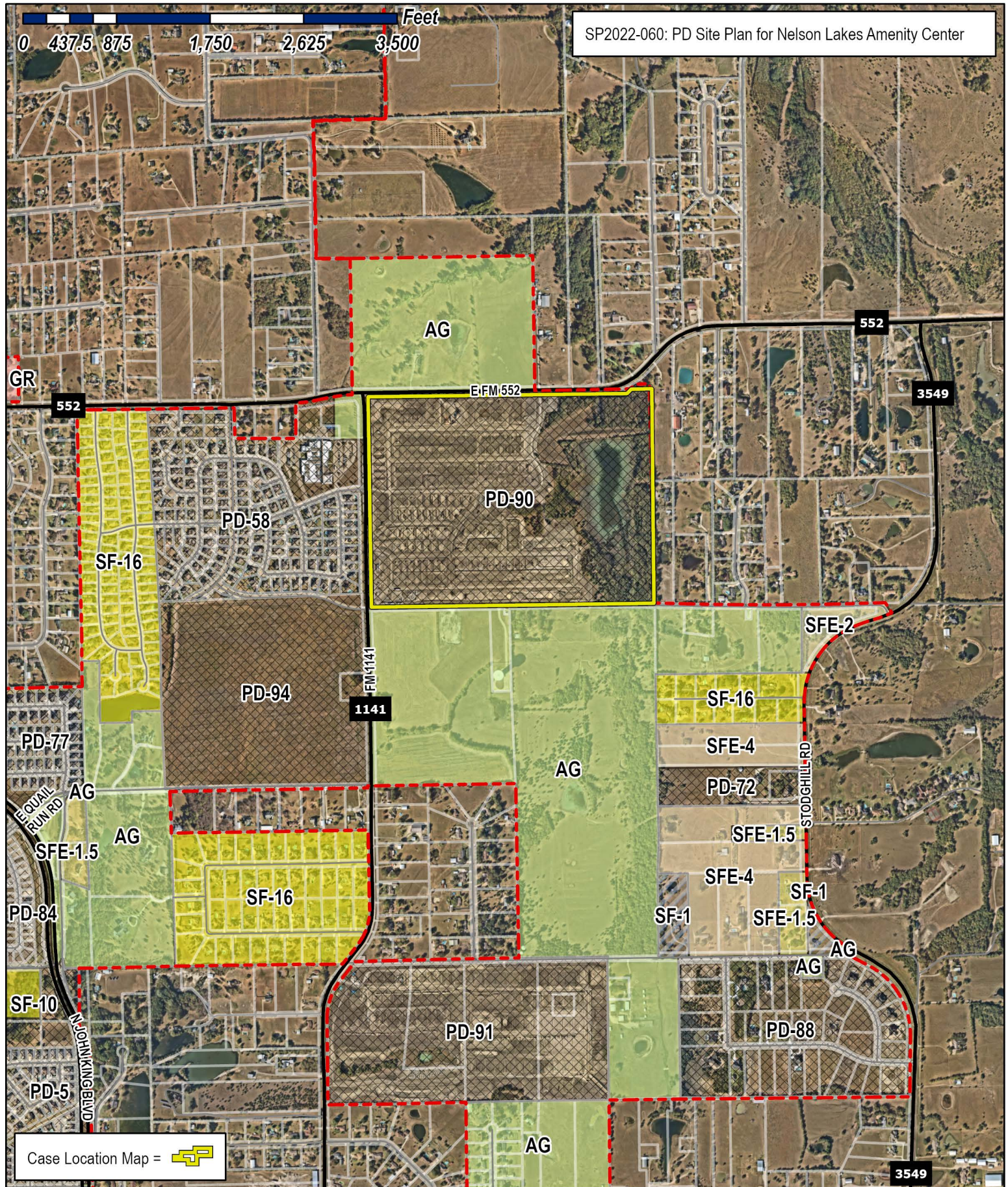
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madison McCabe



MY COMMISSION EXPIRES

01-08-2024



Case Location Map = 

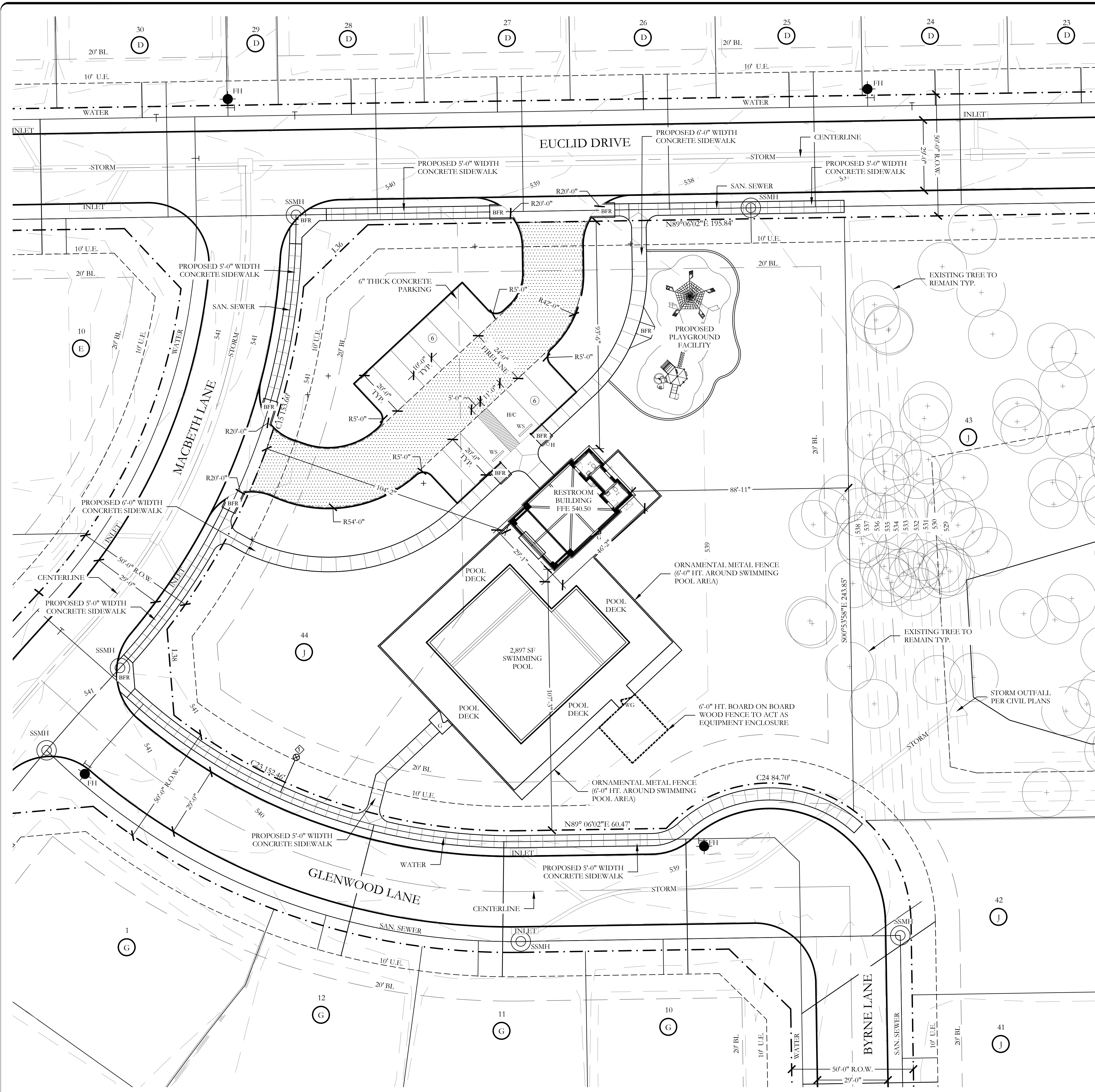


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

⊖	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

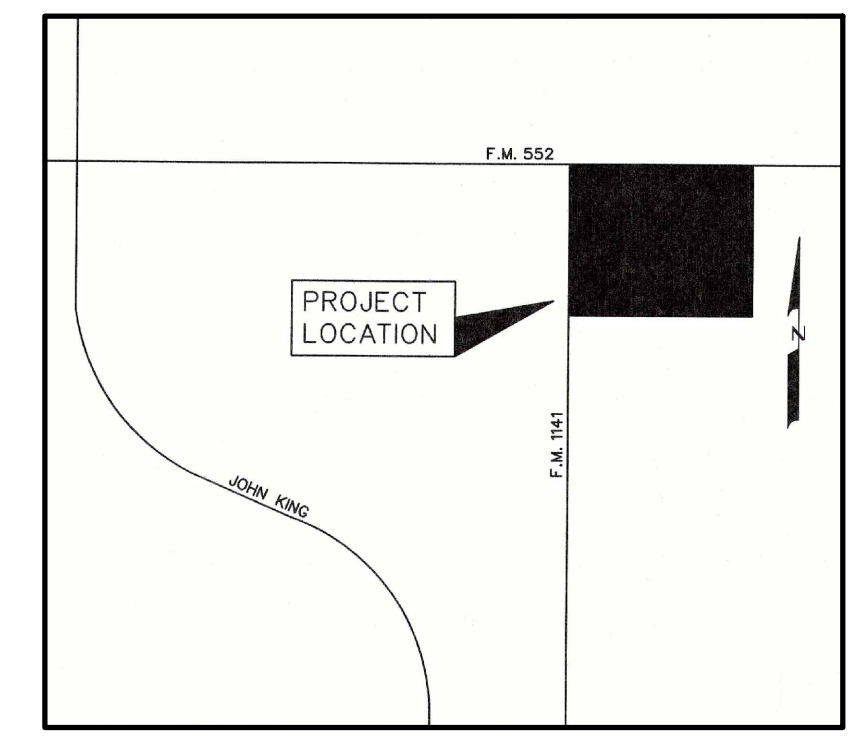
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊖	1"	1"	X		4"



SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

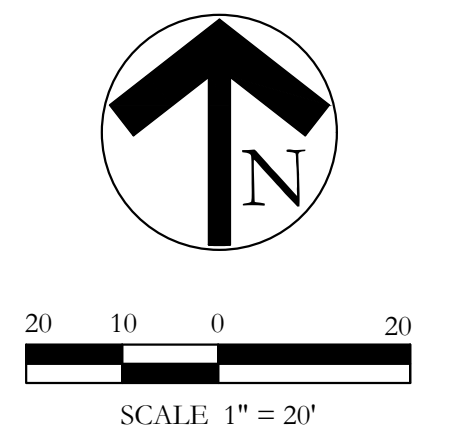
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



- ### SITE PLAN NOTES:
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
 - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

SITE PLAN NELSON LAKE ESTATES LOT 44, BLOCK J ~AMENITY CENTER~

BEING 1.403 ACRES OUT OF THE
 J.M. GASS SURVEY
 ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI



November 14, 2022



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



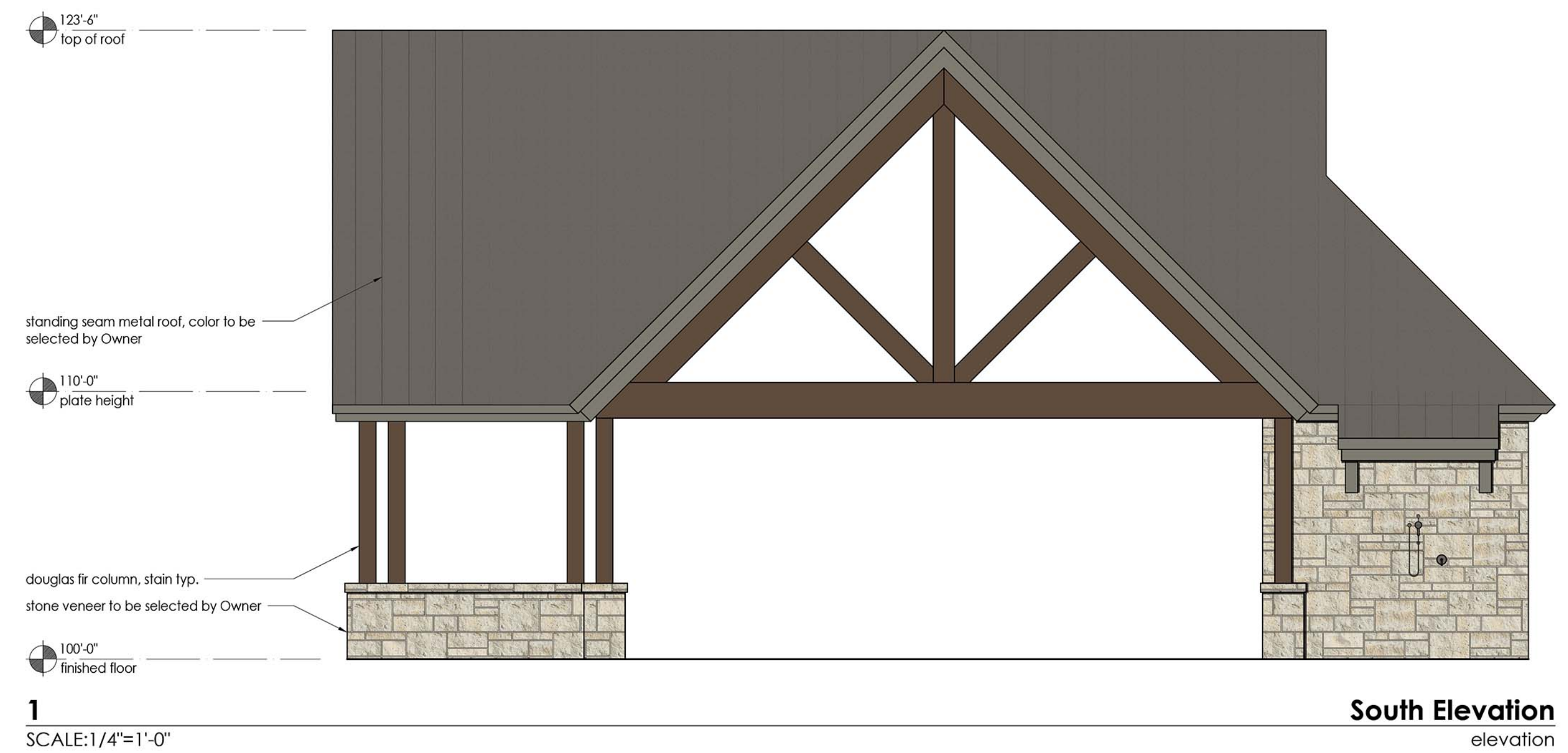
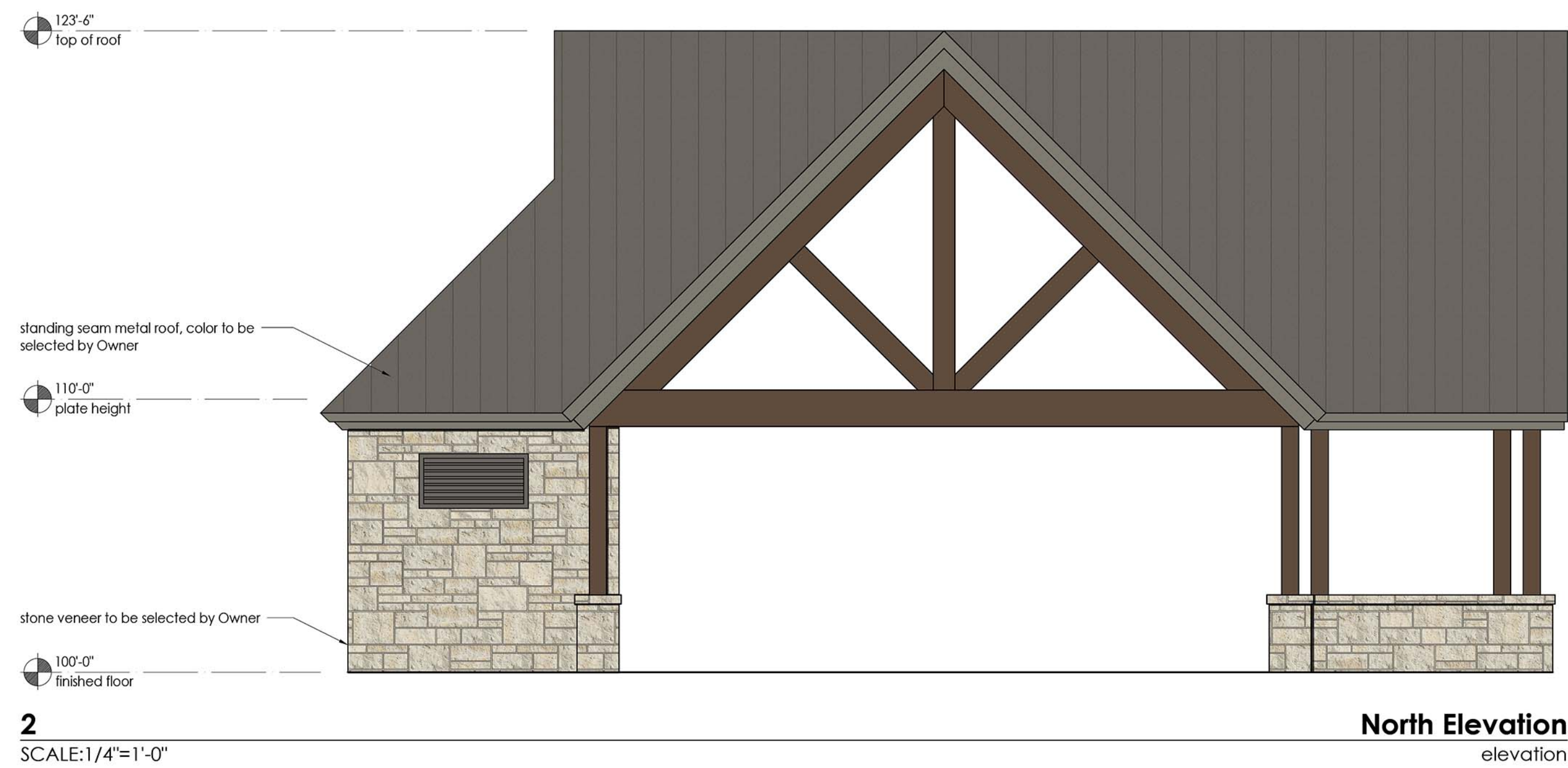
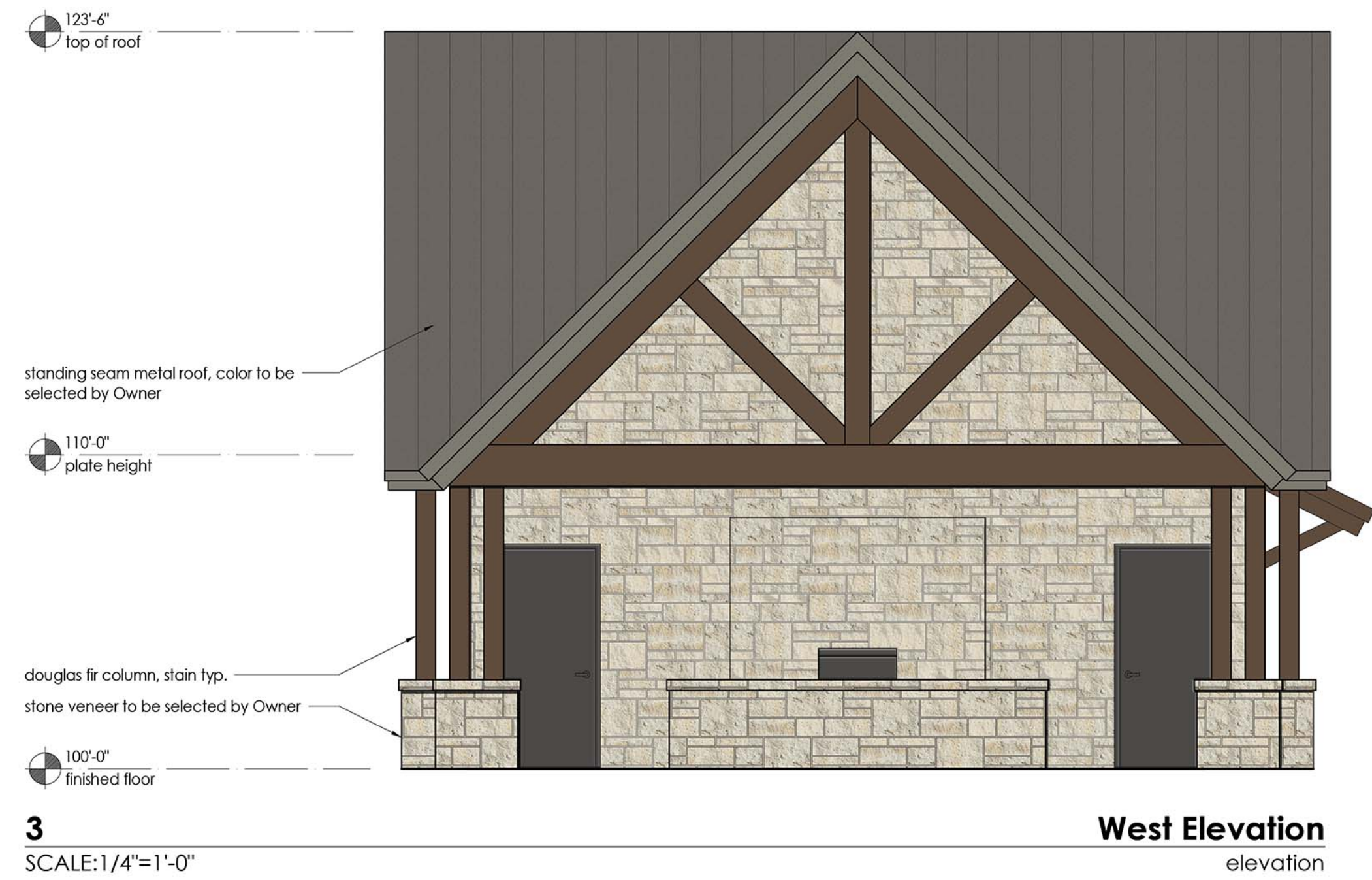
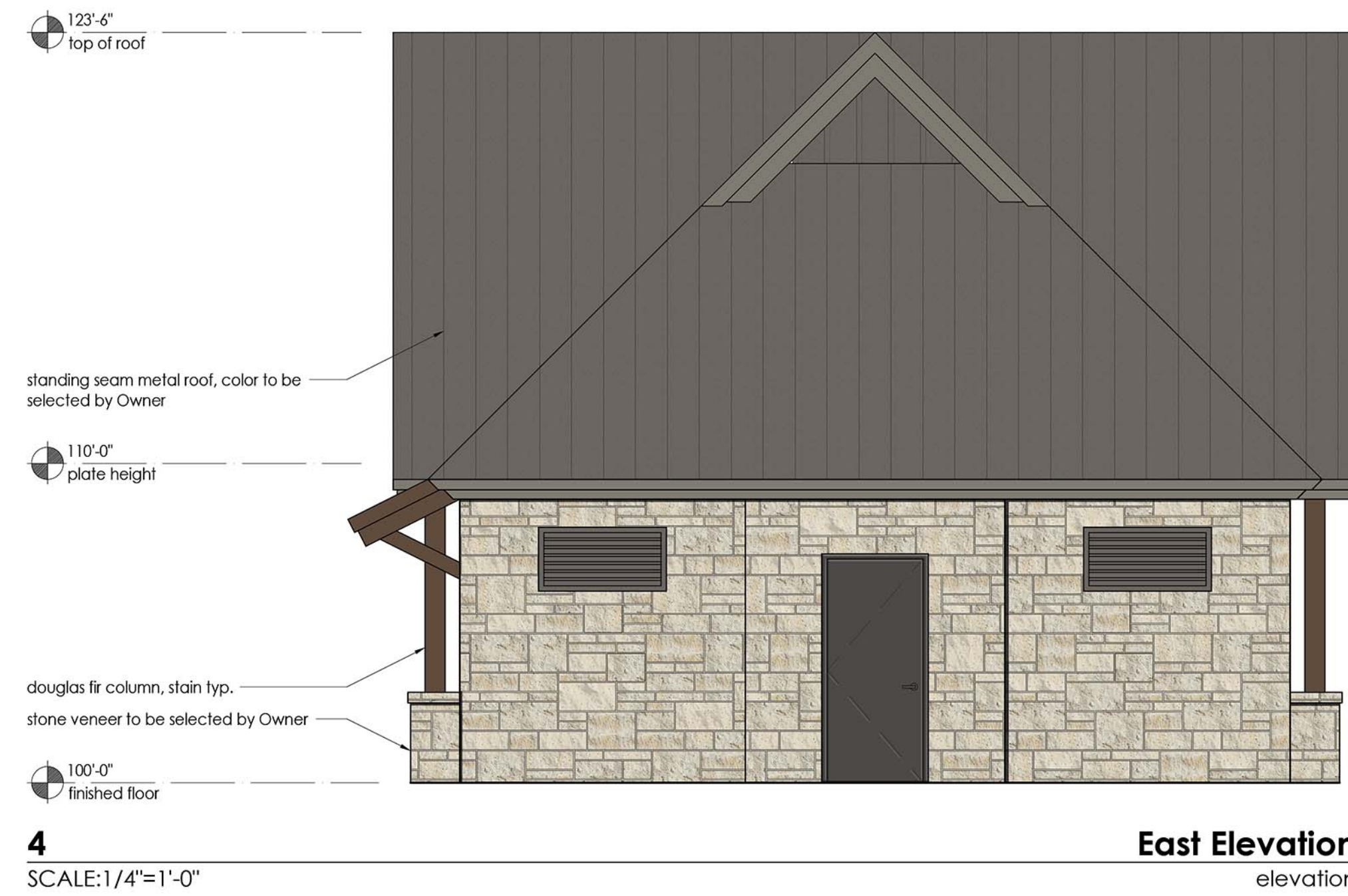
TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	215 S.F.	-	206 S.F.	-	255 S.F.	-	416 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
STONE VENEER (TO BE SELECTED BY OWNER)	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
SECONDARY MATERIAL TOTALS	101 S.F.	46.98%	102 S.F.	49.51%	15 S.F.	5.88%	106 S.F.	25.48%
FIBER CEMENT SIDING (COLOR TO BE SELECTED BY OWNER)	-	-	-	-	7 S.F.	2.74%	-	-
DOUGLAS FIR BEAMS/COLUMNS (STAIN TO BE SELECTED BY OWNER)	101 S.F.	46.98%	102 S.F.	49.51%	8 S.F.	3.14%	106 S.F.	25.48%
DOOR/WINDOW/OPERABLE COVER TOTALS	8 S.F.	3.72%	-	-	37 S.F.	14.51%	38 S.F.	9.14%
ROOF (STANDING SEAM METAL, COLOR TO BE SELECTED BY OWNER)	-	-	-	-	-	-	-	-



SEAL

Copyright © 2022
DATE: 11.02.2022
SCALE: MA22057
JOB NO. JV
DRAWN: KM
APPD: KM
ACAD #
EXTERIOR ELEVATIONS

DRAWING NO. REV. NO.

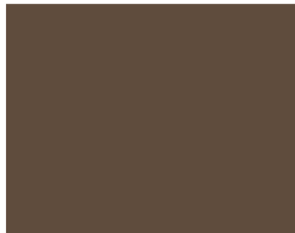
A4.00



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

MATERIALS BOARD

SEAL

OWNER / DEVELOPER:

QUALICO DEVELOPMENT (U.S.), INC
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070
CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
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Copyright © 2022

DATE: 11.02.2022
SCALE:
JOB NO. MA22057
DRAWN: JV
APPD: KM
ACAD #

DRAWING NO. | REV. NO.

November 14, 2022



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

SITE INFORMATION

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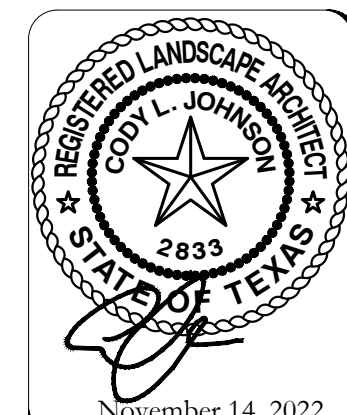
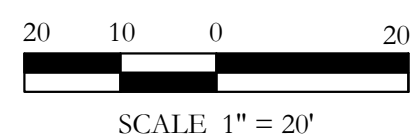
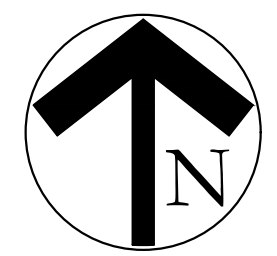
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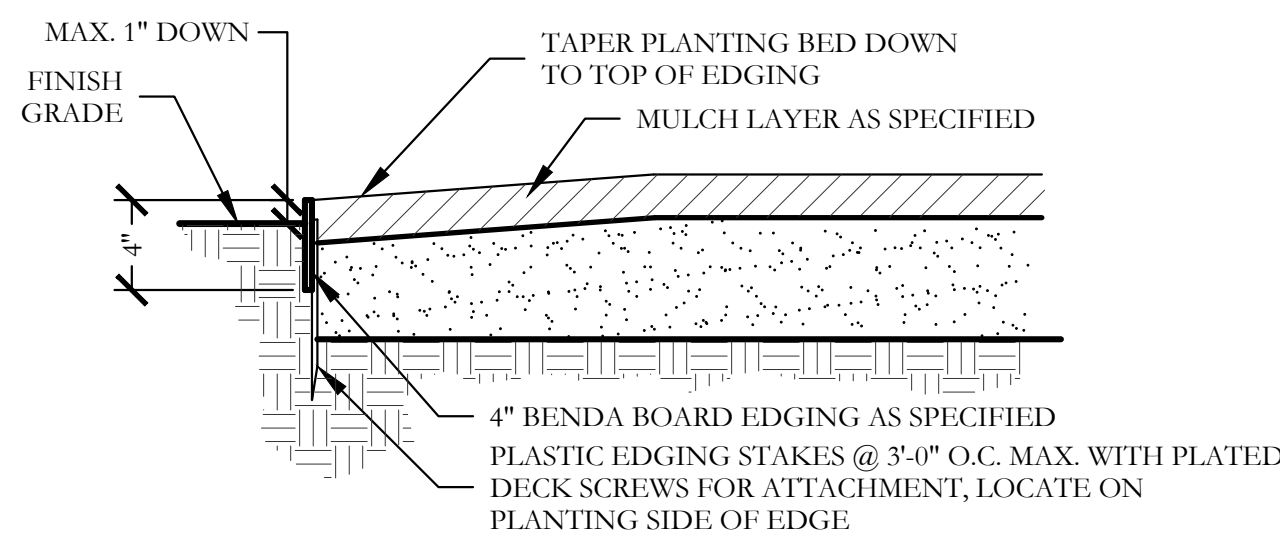
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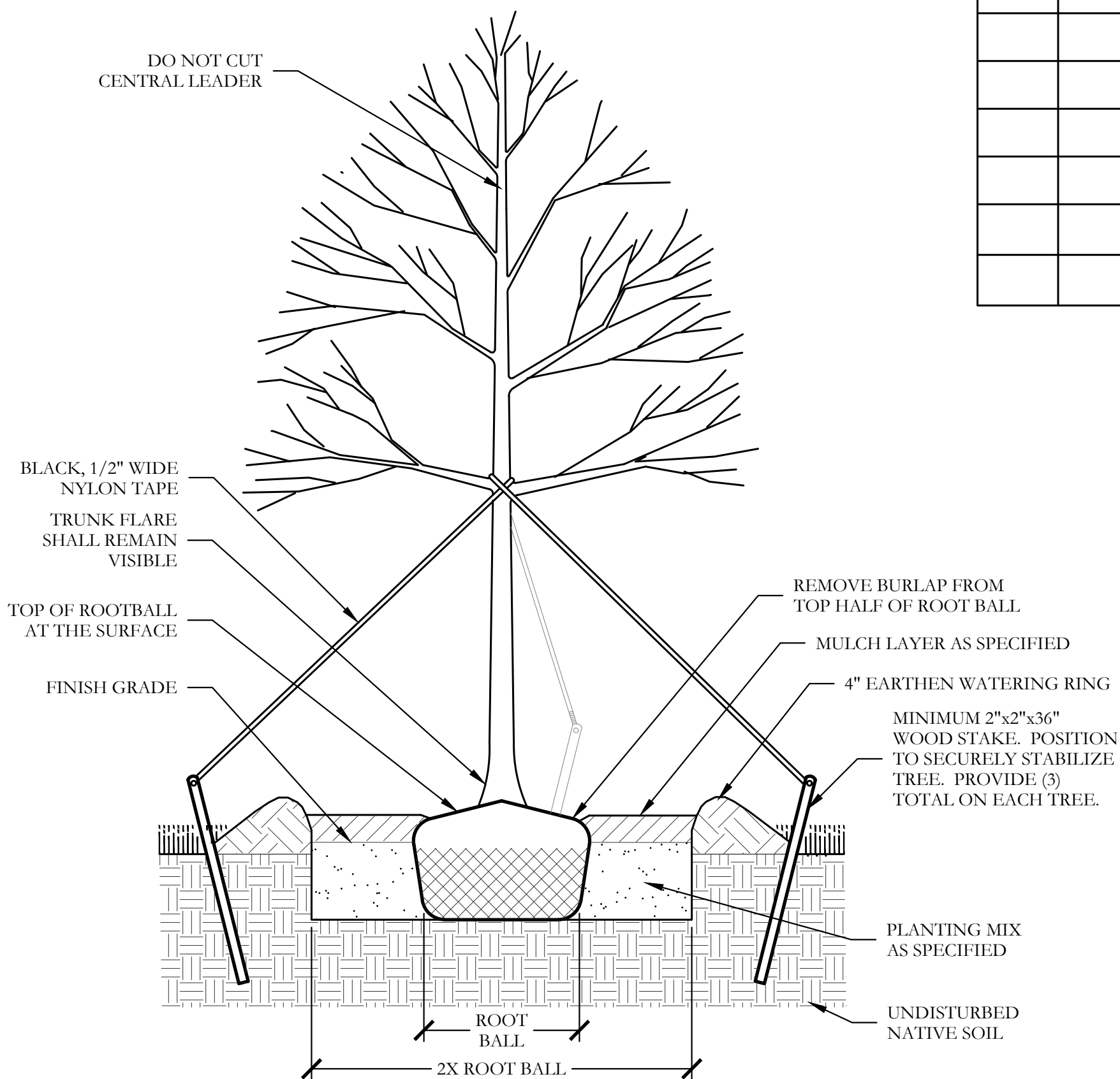
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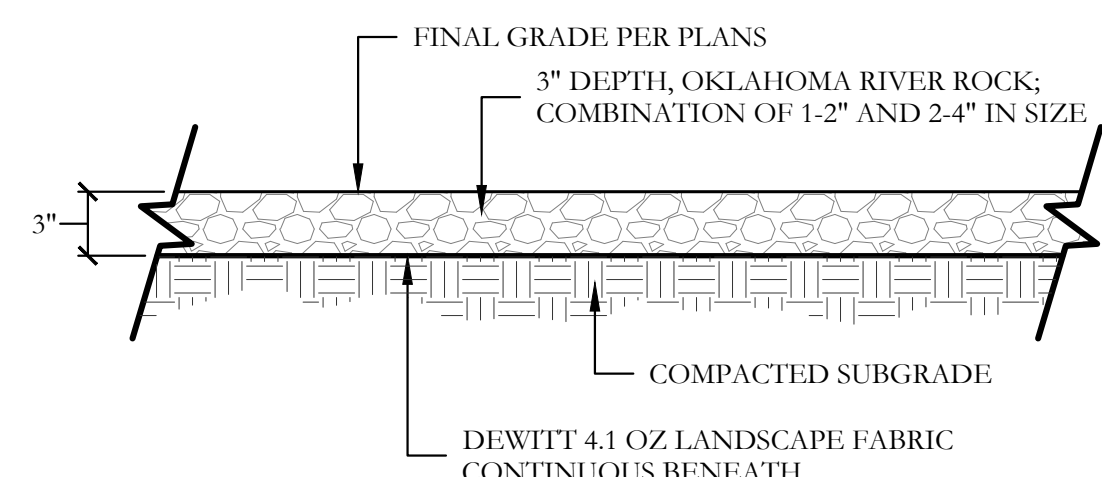




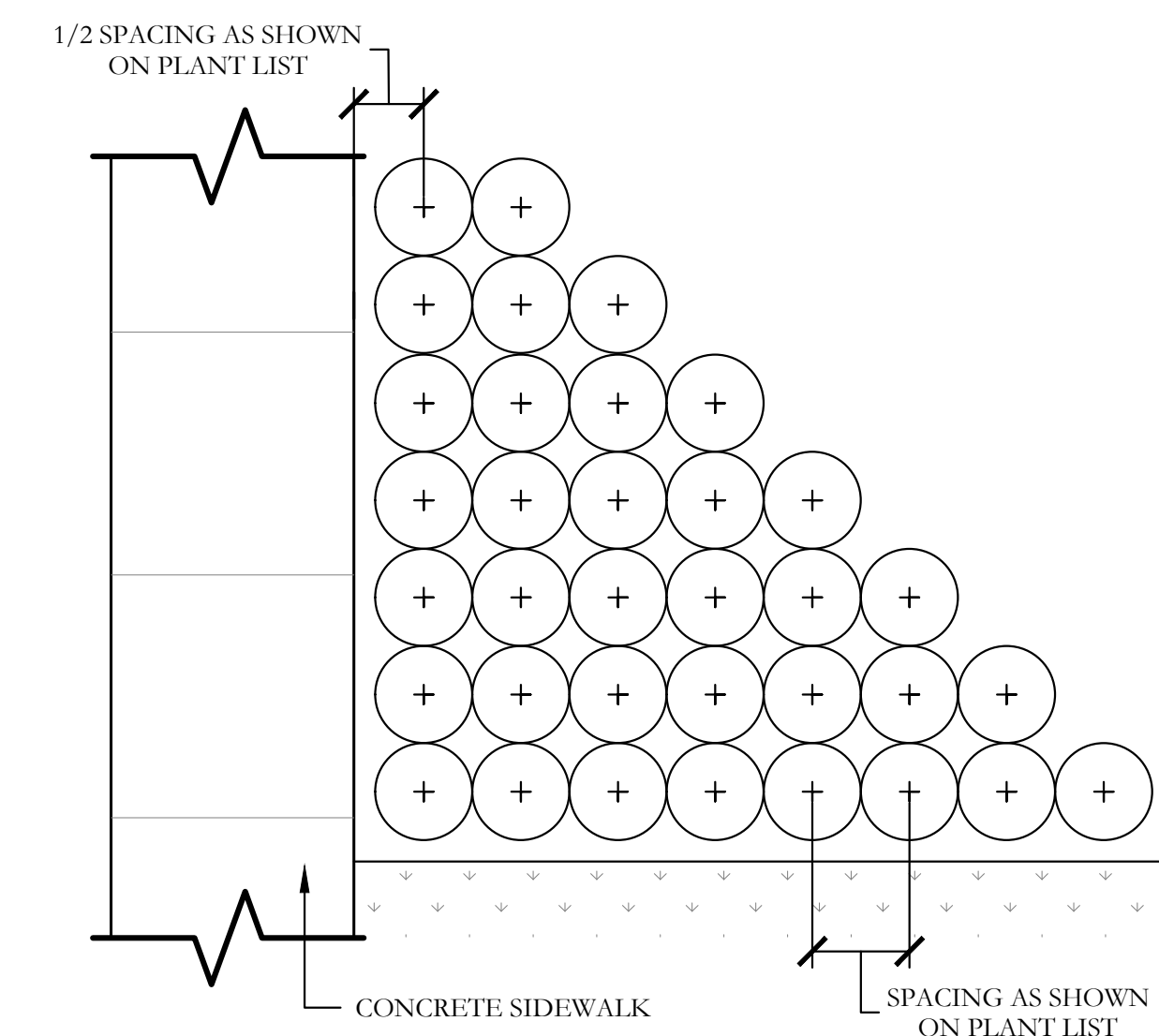
1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL TREE PLANTING SECTION NOT TO SCALE



4 OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	9	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	15	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	8	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	47	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	105	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	70	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	33,840	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,690	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	2,140	HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH	MINIMUM 100% COVERAGE ALL AREAS SHOWN; 3" DEPTH

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

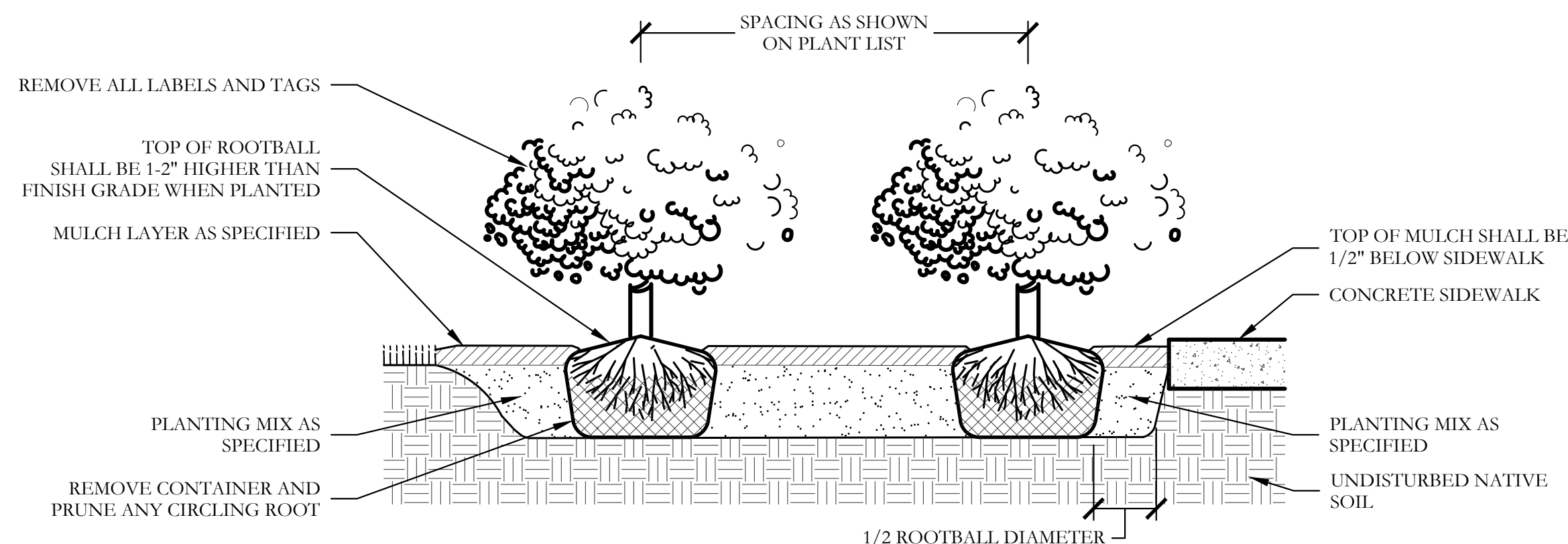
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

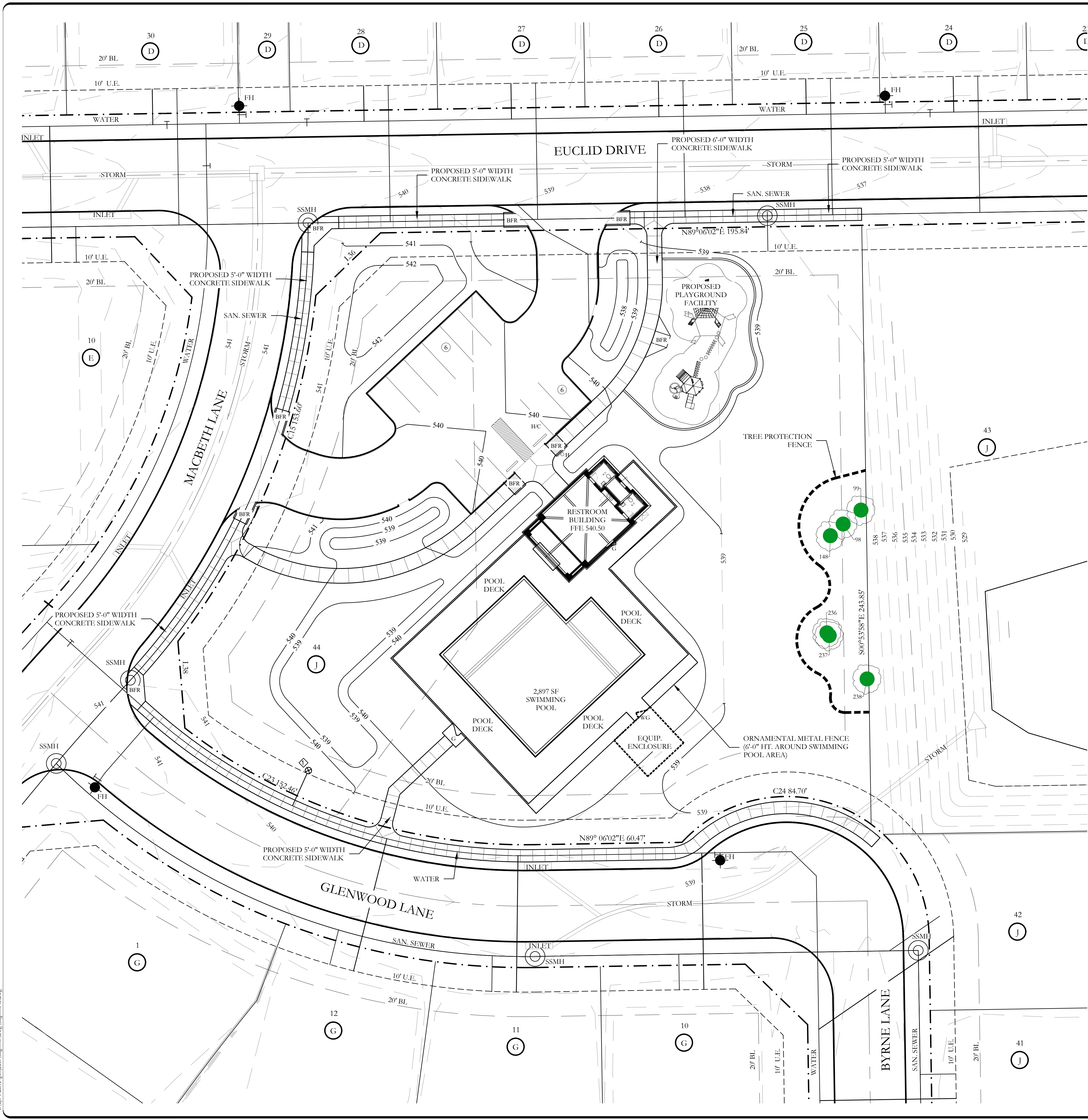
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



LEGEND

EXISTING TREE TO BE PRESERVED.

TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

Tree Number	Diameter at Breast Height (inches)	Species	Scientific Name	Canopy Radius (Feet)	General Condition	Status
98	15.3	Sugarberry	Celtis laevigata	10	Healthy	Preserved
99	6.5	Cedar Elm	Ulmus crassifolia	10	Healthy	Preserved
148	5.7	Cedar Elm	Ulmus crassifolia	4	Healthy	Preserved
236	6.1	Cedar Elm	Ulmus crassifolia	6	Healthy	Preserved
237	4.7	Cedar Elm	Ulmus crassifolia	4	Healthy	Preserved
238	9.5	Cedar Elm	Ulmus crassifolia	15	Healthy	Preserved

Summary	Caliper Inches	Percent CI	Number of Trees
Total Trees	47.80	100.00%	6
Preserved Trees	47.80	100.00%	6

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

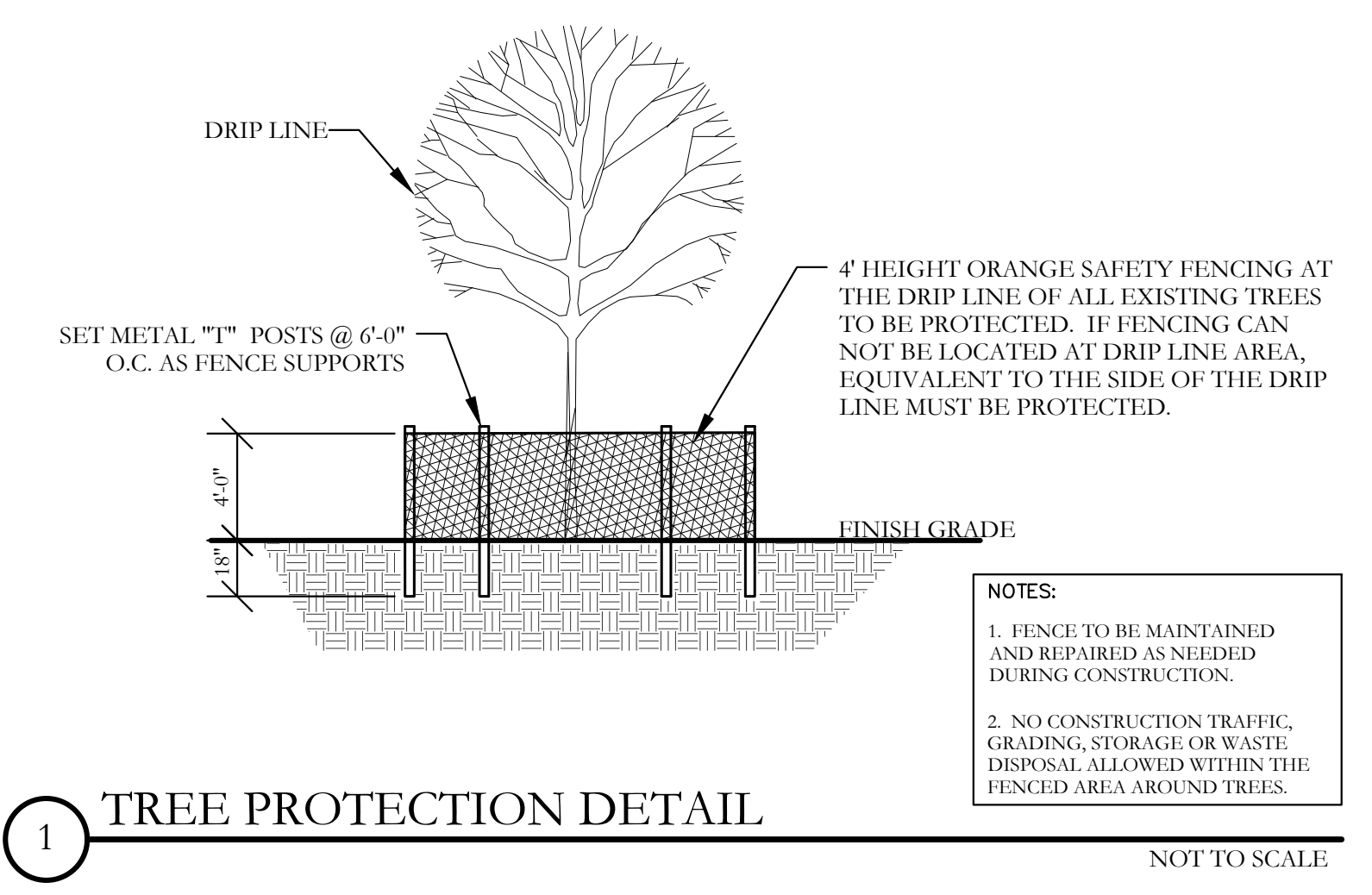
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

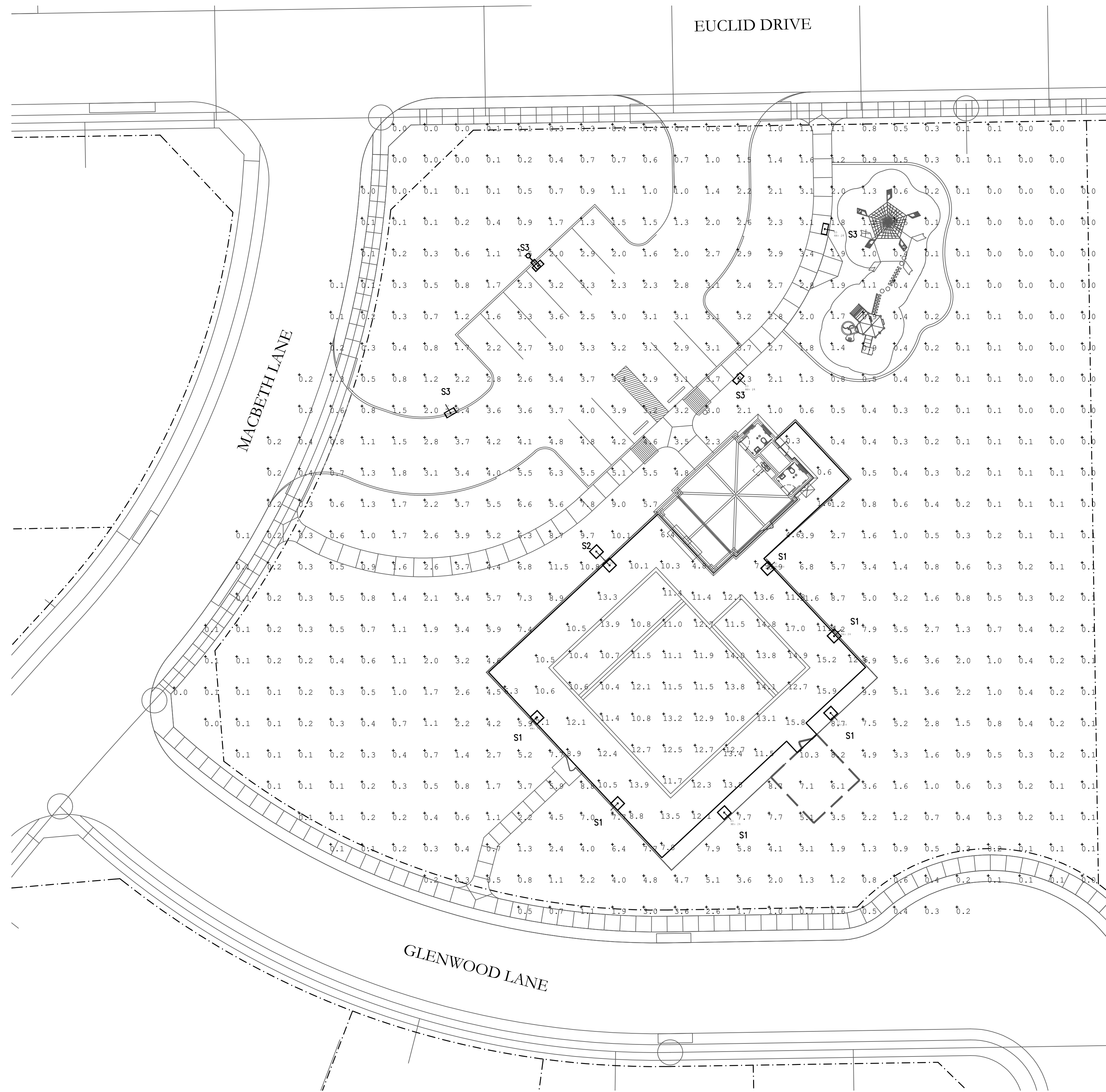
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF

TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED





1 SITE PLAN - ELECTRICAL - PHOTOMETRICS
SCALE: 1" = 20'-0"

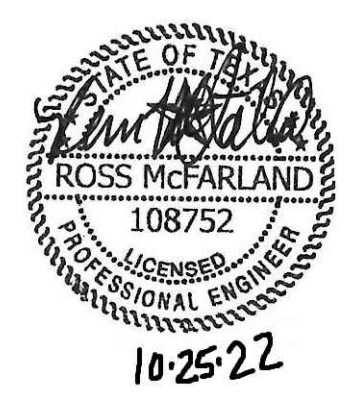
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
□	4	S3	SINGLE	N.A.	0.850	EALS03 D4AF740	70	70	280
+	6	S1	SINGLE	N.A.	0.850	EALS03 J4AF740	186	186	1116
⊕	1	S2	D180°	N.A.	0.850	EALS03 J4AF740	186	372	372

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
GROUND Planar	Illuminance	Fc	1.79	11.6	0.0	N.A.	N.A.		
POOL DECK Planar	Illuminance	Fc	10.33	17.0	0.3	34.43	56.67		
POOL SURFACE POOL SURFACE	Illuminance	Fc	12.22	14.9	10.4	1.18	1.43		

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



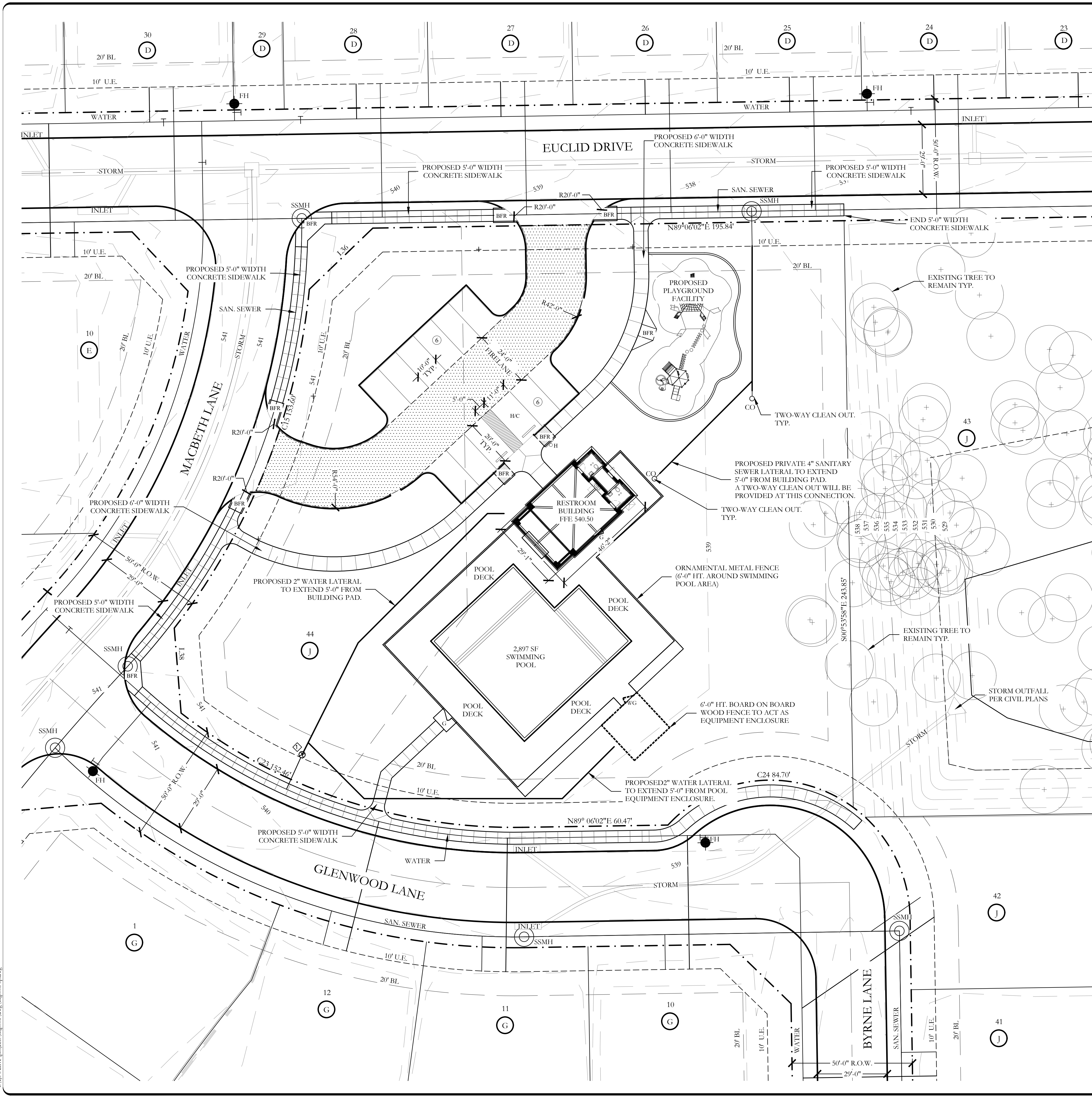
**Nelson Lake
Amenity Center**
Rockwall, TEXAS

Issue: PERMIT 10/18/2022
Revisions:

Drawing Title:
**ELECTRICAL -
SITE PLAN
PHOTOMETRICS**

Sheet
E1.02

AOS JOB #: 3799-001-22



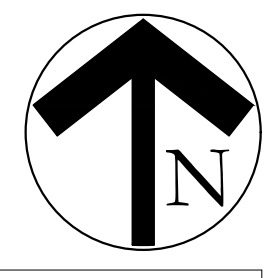
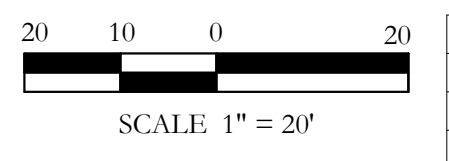
LEGEND

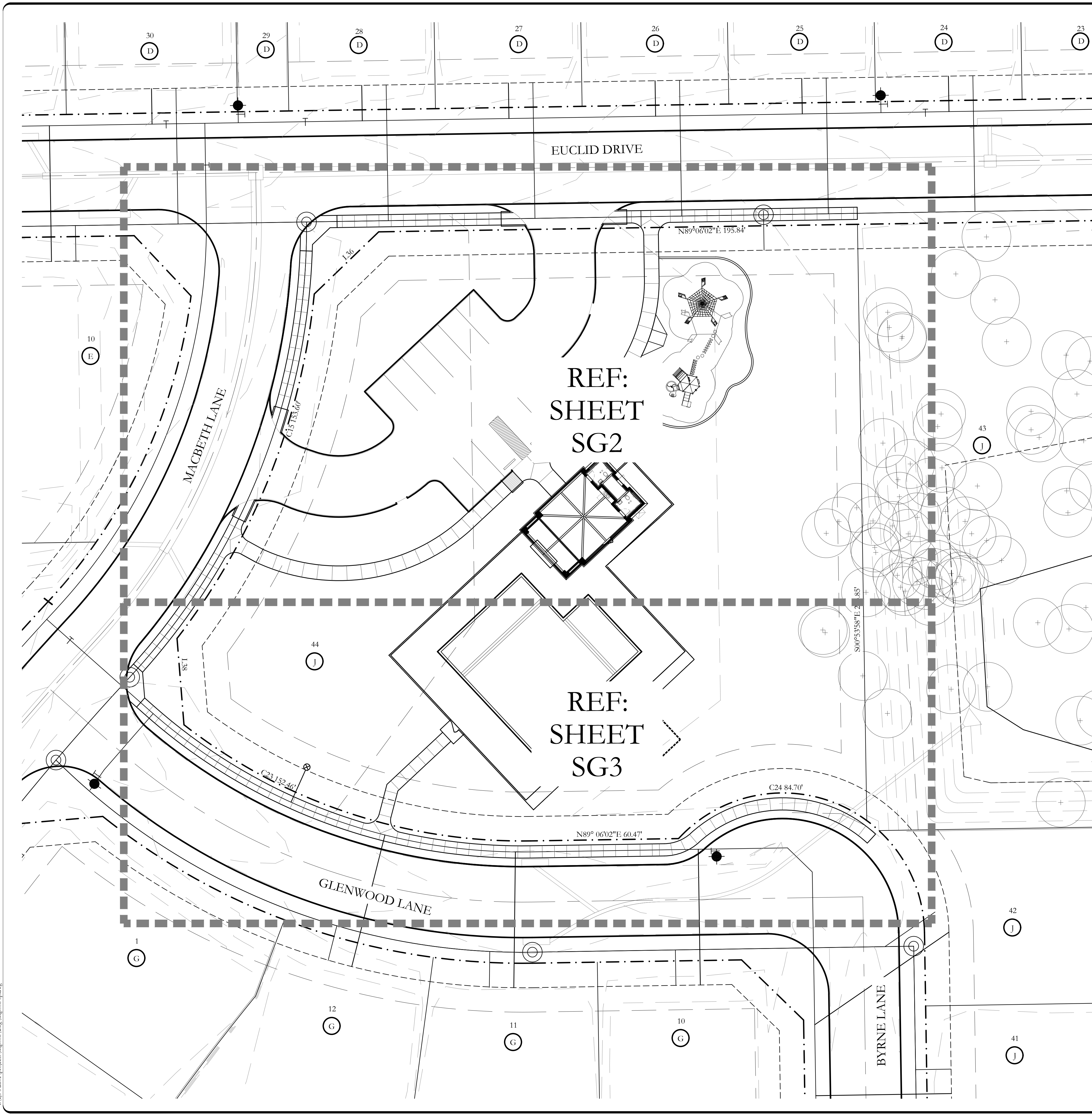
⑥	PROPOSED PARKING COUNT	⊕	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H - P	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING METAL GATE
⊕	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING WOODEN GATE
+	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
+	EXISTING CURB INLET	---	FIRELANE PAVING PER CITY STANDARD DETAILS
---	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

- ### UTILITY NOTES
- SANITARY SEWER LATERAL IS SHOWN ON PLAN TO BE LOCATED WITHIN 5'-0" FROM THE BUILDING PAD. MEP PLANS SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A TWO-WAY CLEAN OUT WILL BE PROVIDED AT THIS CONNECTION AS WELL AS AT THE PROPERTY LINE.
 - WATER LATERAL LINE IS SHOWN ON PLAN TO BE LOCATED 5'-0" FROM THE BUILDING PAD. MEP PLANS WILL SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A CUT-OFF DRAIN VALVE WILL BE PROVIDED INSIDE A WATER CUT-OFF BOX WITH A LOCKABLE COVER AT THIS CONNECTION.

WATER METER SCHEDULE

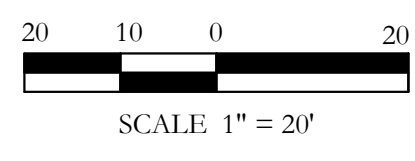
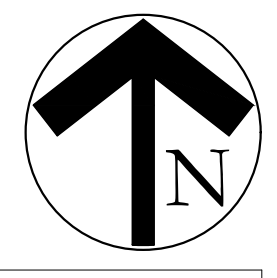
METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊕	1"	1"	X		4"



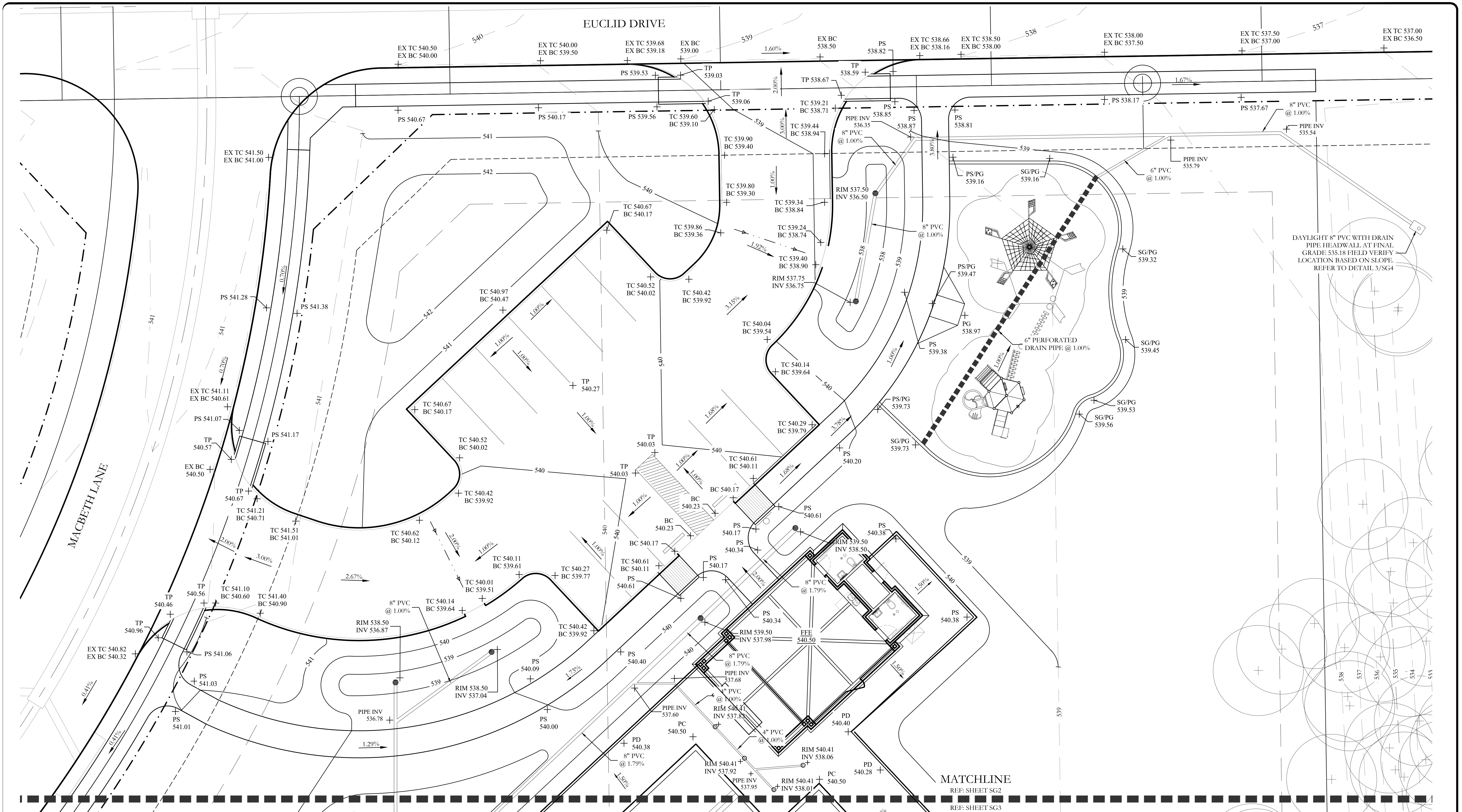


GRADING NOTES

1. TOP SOIL SHALL NOT BE REMOVED FROM RESIDENTIAL LOTS OR USED AS SPOIL, BUT SHALL BE STRIPPED AND REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER ON THE LOTS, PARKWAYS AND MEDIANS. PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS.
2. TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
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GRADING LEGEND

PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
SP + 102.9	PROPOSED SPOT GRADE SPOT ELEVATION	●	12" DIA. DRAIN INLET. REFER TO DETAIL 2/SG4.
PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

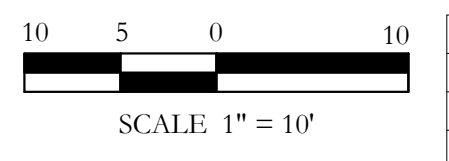
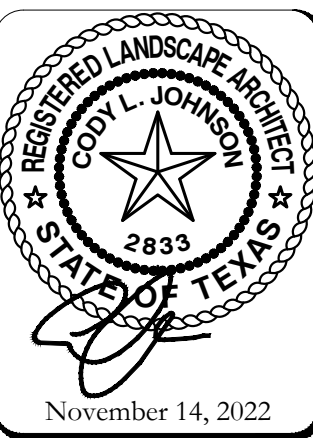
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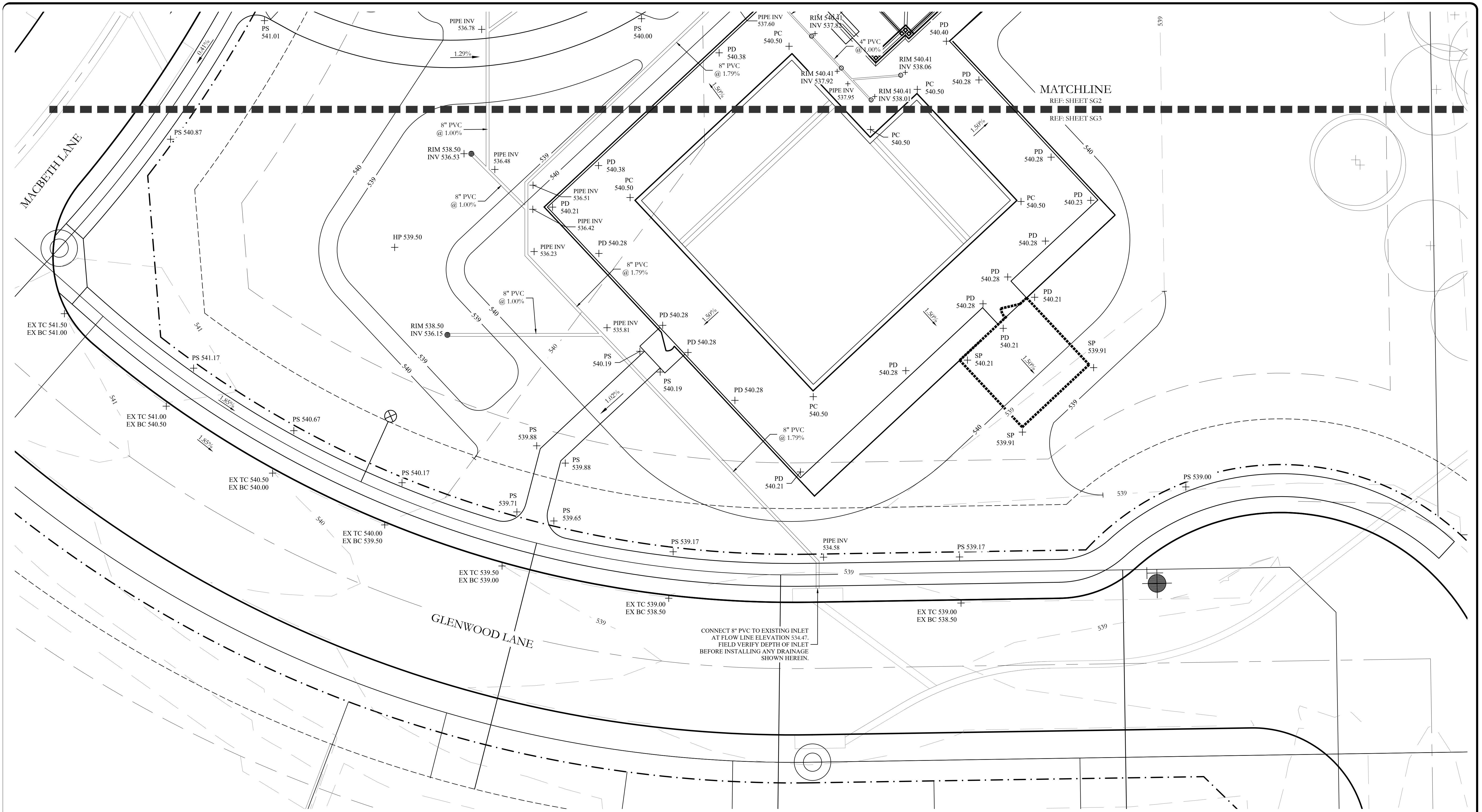
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DAYLIGHT 8" PVC WITH DRAIN PIPE HEADWALL AT FINAL GRADE 535.18 FIELD VERIFY LOCATION BASED ON SLOPE. REFER TO DETAIL 3/SG4

MATCHLINE
REF: SHEET SG2
REF: SHEET SG3





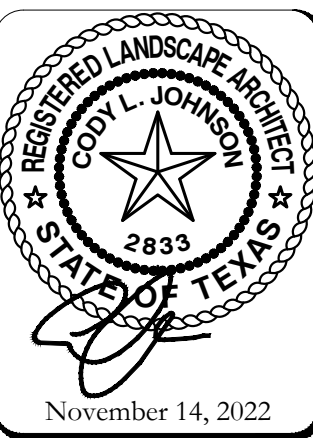
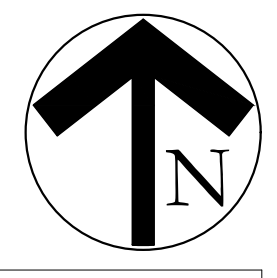
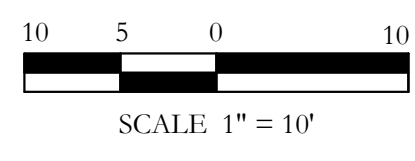
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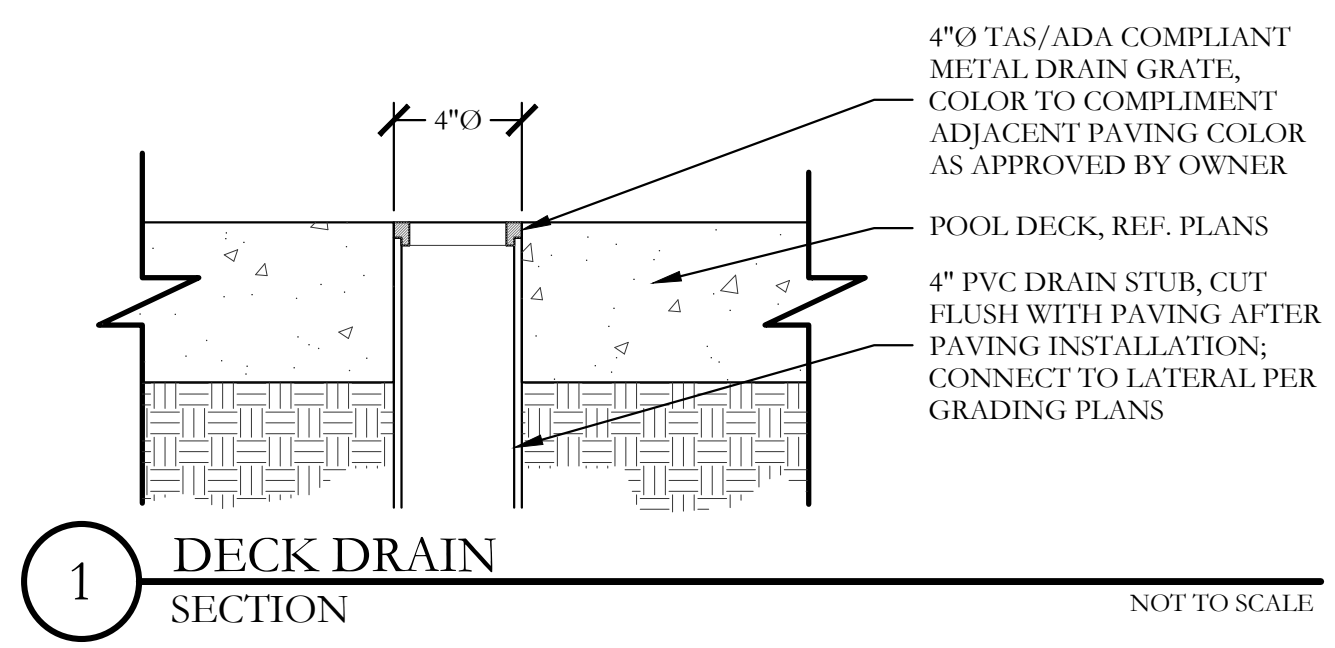
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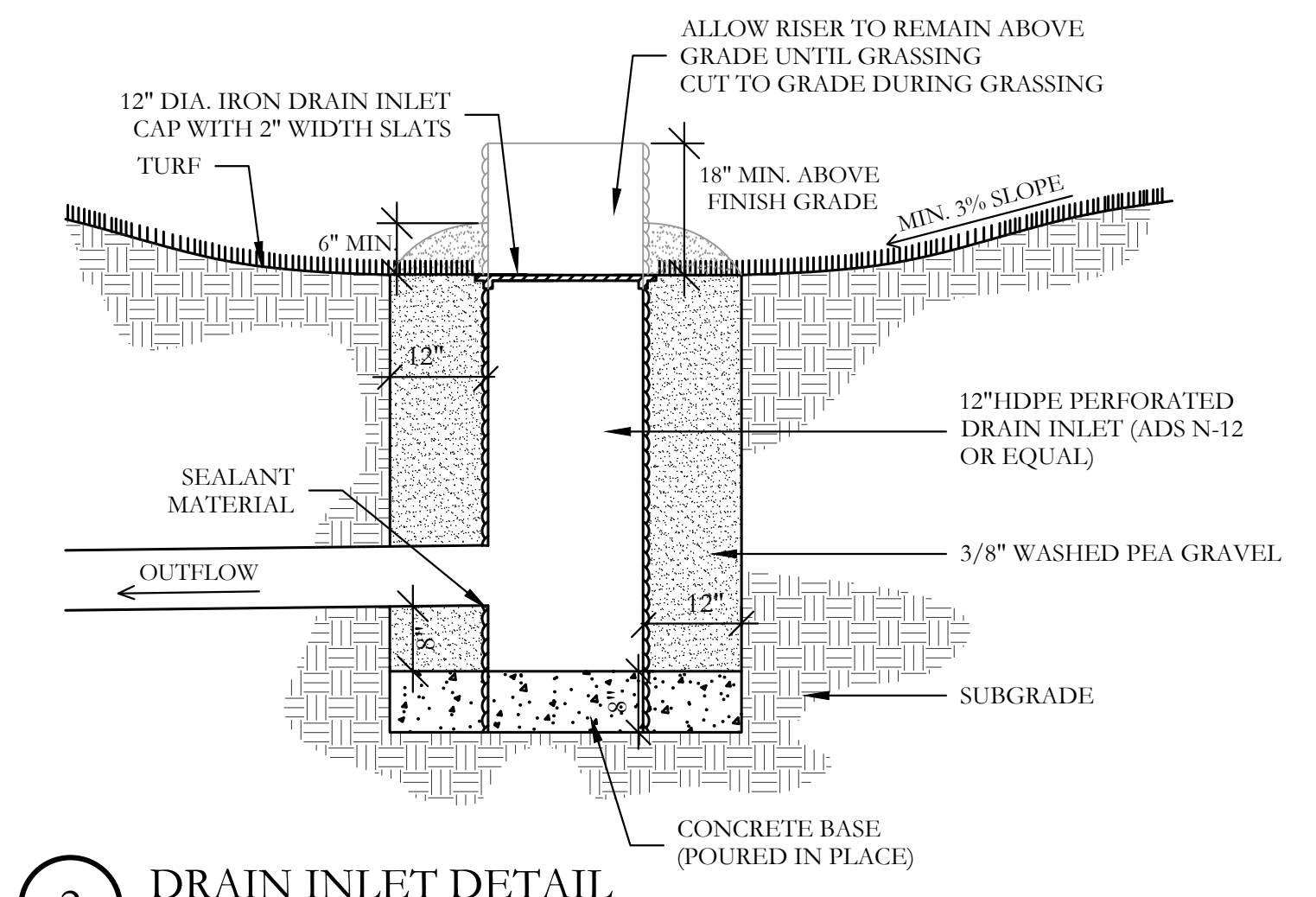
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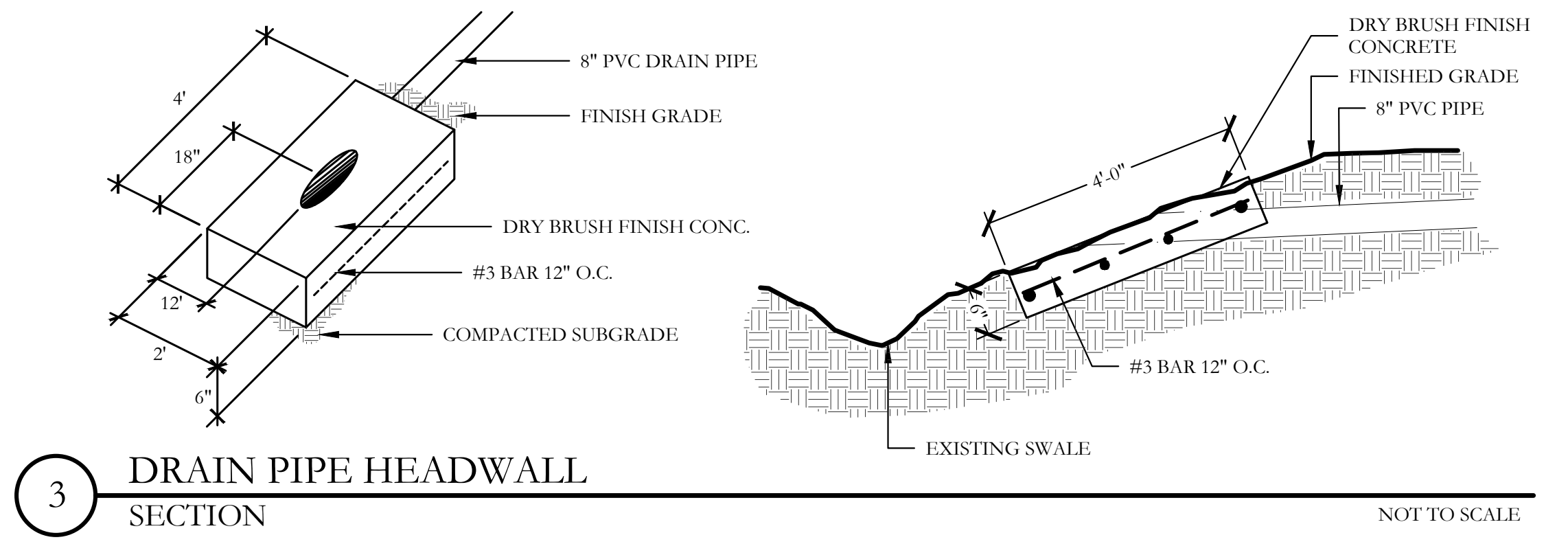
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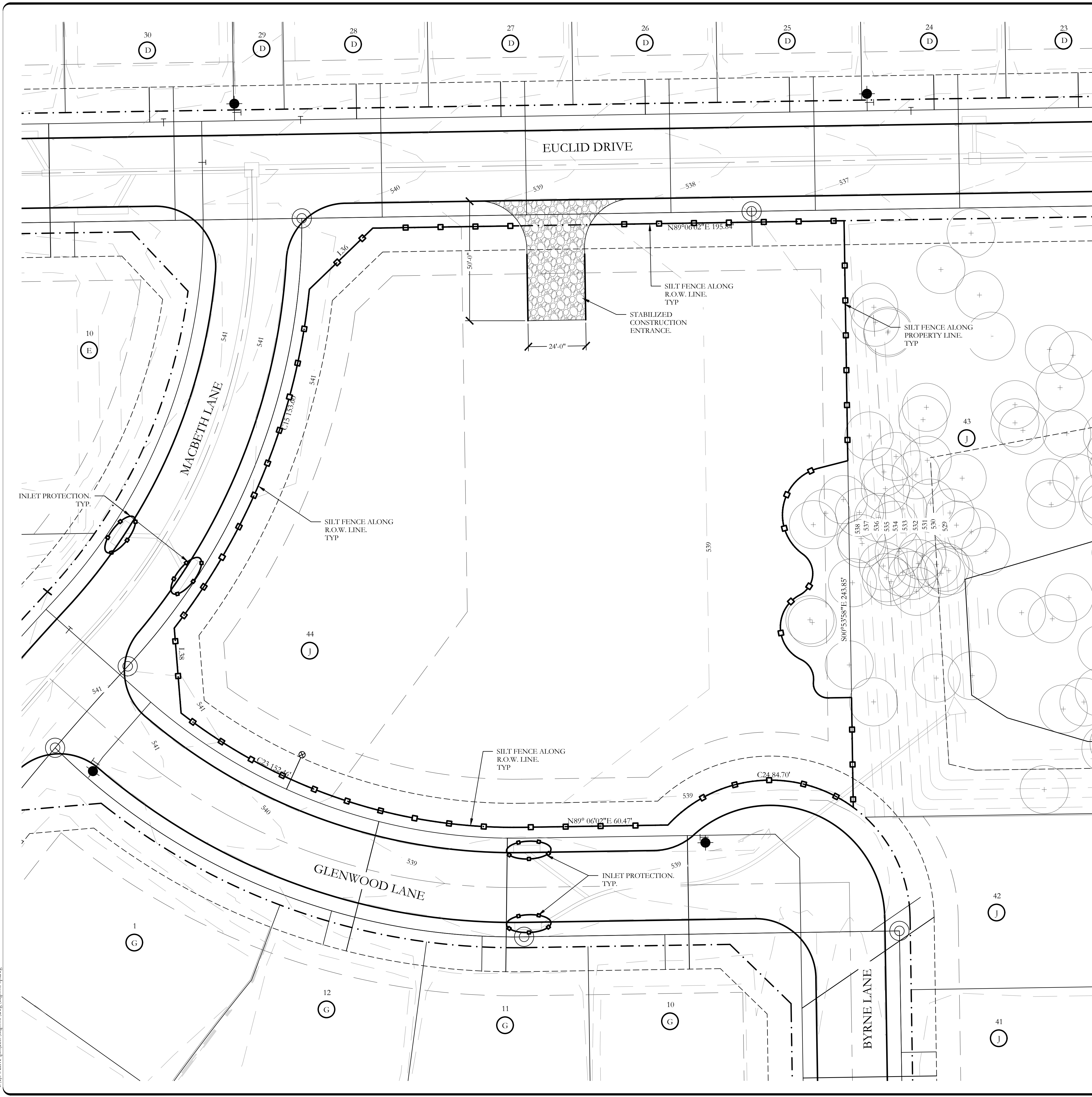
1 DECK DRAIN SECTION NOT TO SCALE



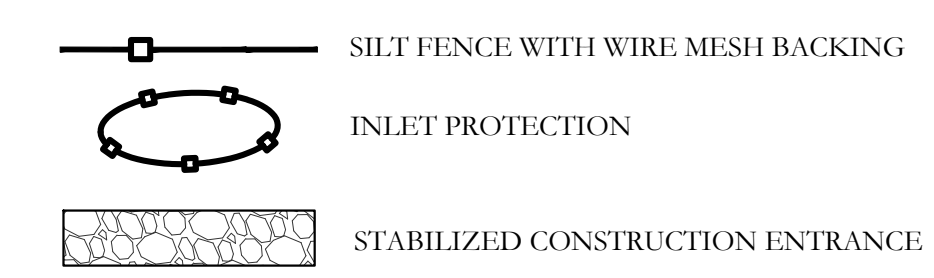
2 DRAIN INLET DETAIL SECTION NOT TO SCALE



3 DRAIN PIPE HEADWALL SECTION NOT TO SCALE



LEGEND



REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

EROSION CONTROL NOTES

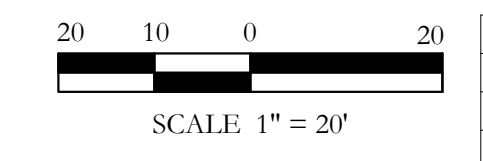
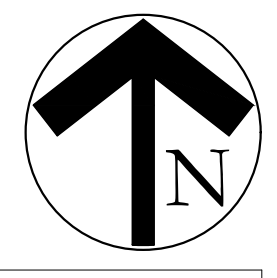
1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
3. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
4. THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
12. IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

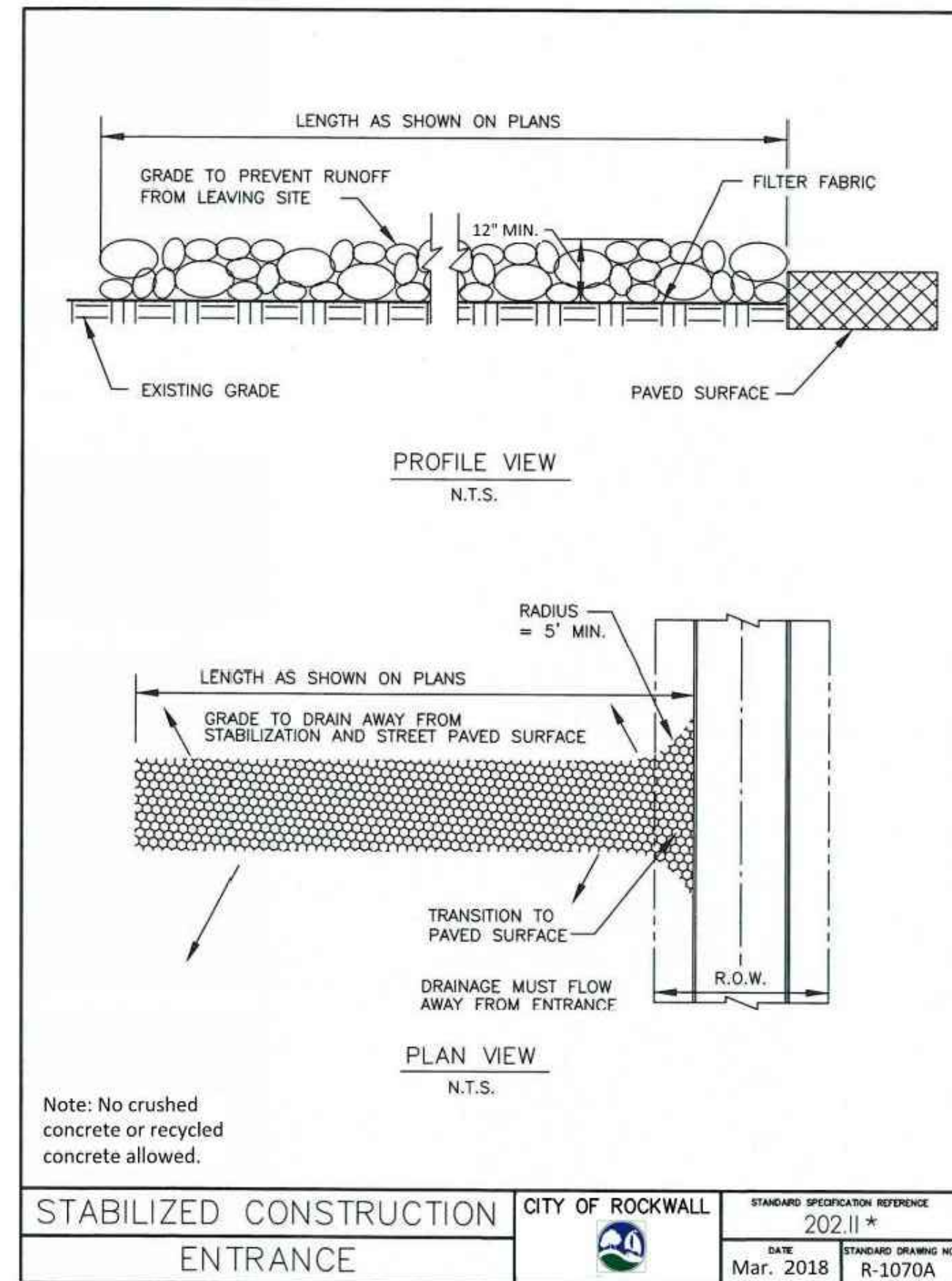
SILT FENCE CONSTRUCTION NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOOD/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
9. AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

STABILIZED CONSTRUCTION ENTRANCE NOTES

1. STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3"-5" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
3. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.

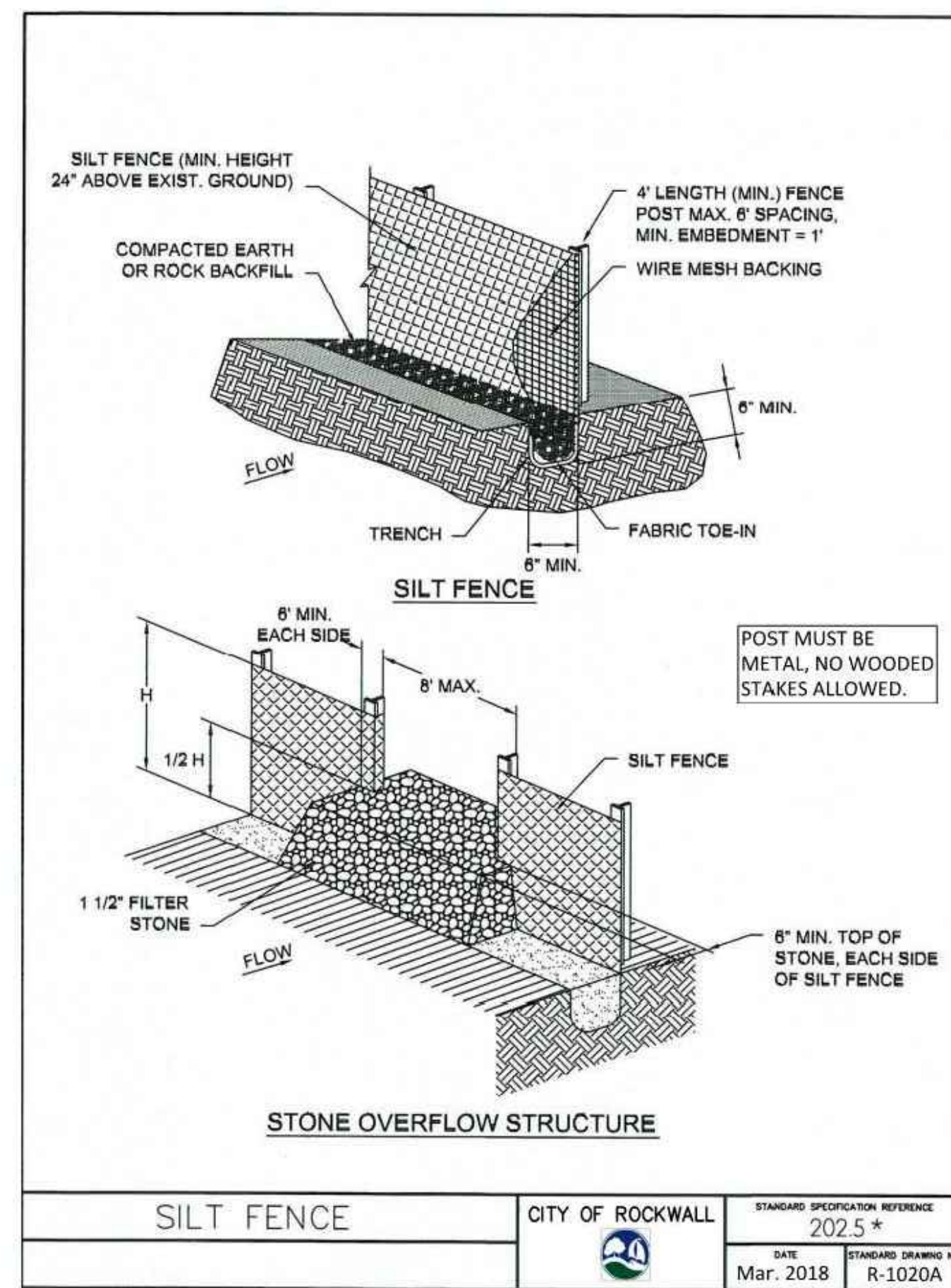




STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
ENTRANCE		202.11 *
		DATE: Mar. 2018
		STANDARD DRAWING NO. R-1070B



SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE
		202.5 *
		DATE: Mar. 2018
		STANDARD DRAWING NO. R-1020B



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: December 15, 2022
SUBJECT: SP2022-060; *PD Site Plan for the Nelson Lakes Subdivision Amenity Center*

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the Nelson Lakes Subdivision amenity center. The subject property is a 1.403-acre portion of a larger 120.9004-acre tract of land (i.e. *Tract 2 of the J. M. Gass Survey, Abstract No. 88*) that is generally located at the southeast corner of the intersection of FM-1141 and FM-552. The Nelson Lakes Subdivision has been approved for a *Final Plat [Case No. P2022-003]* and a *PD Site Plan [Case No. SP2022-001]* in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application the applicant has submitted a site plan, landscape plan, treescape plan, photometric plan, and building elevations for the proposed amenity center.

The site plan indicates that an amenity pavilion, swimming pool, and a playground will be constructed on the subject property. The landscape plan for the amenity center indicates all of the required plantings that were previously approved in the *PD Site Plan [Case No. SP2022-001]* for entire subdivision. The treescape plan provided by the applicant indicates that the mitigation balance will be satisfied by landscape plan. The hardscape plan details the location of all of sidewalks and trails, the pool, the playground, and each fence type, and is generally in conformance with the Planned Development District ordinance. In addition, the submitted site plan, building elevations, and photometric plan all conform to all the applicable technical requirements contained in Planned Development District 90 (PD-90) and the Unified Development Code (UDC), and -- *based on the case being in compliance* -- the case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the December 13, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Nelson Lake Estates**

SUBDIVISION **Nelson Lake Estates**

LOT **44**

BLOCK **J**

GENERAL LOCATION **Between Glenwood Lane and Euclid Drive, along Macbeth Lane**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **1.403**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (U.S.), INC.**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive**

ADDRESS **704 Central Parkway East**

Suite 350

Suite 1200

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE TRESSLER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 378.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF NOVEMBER, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

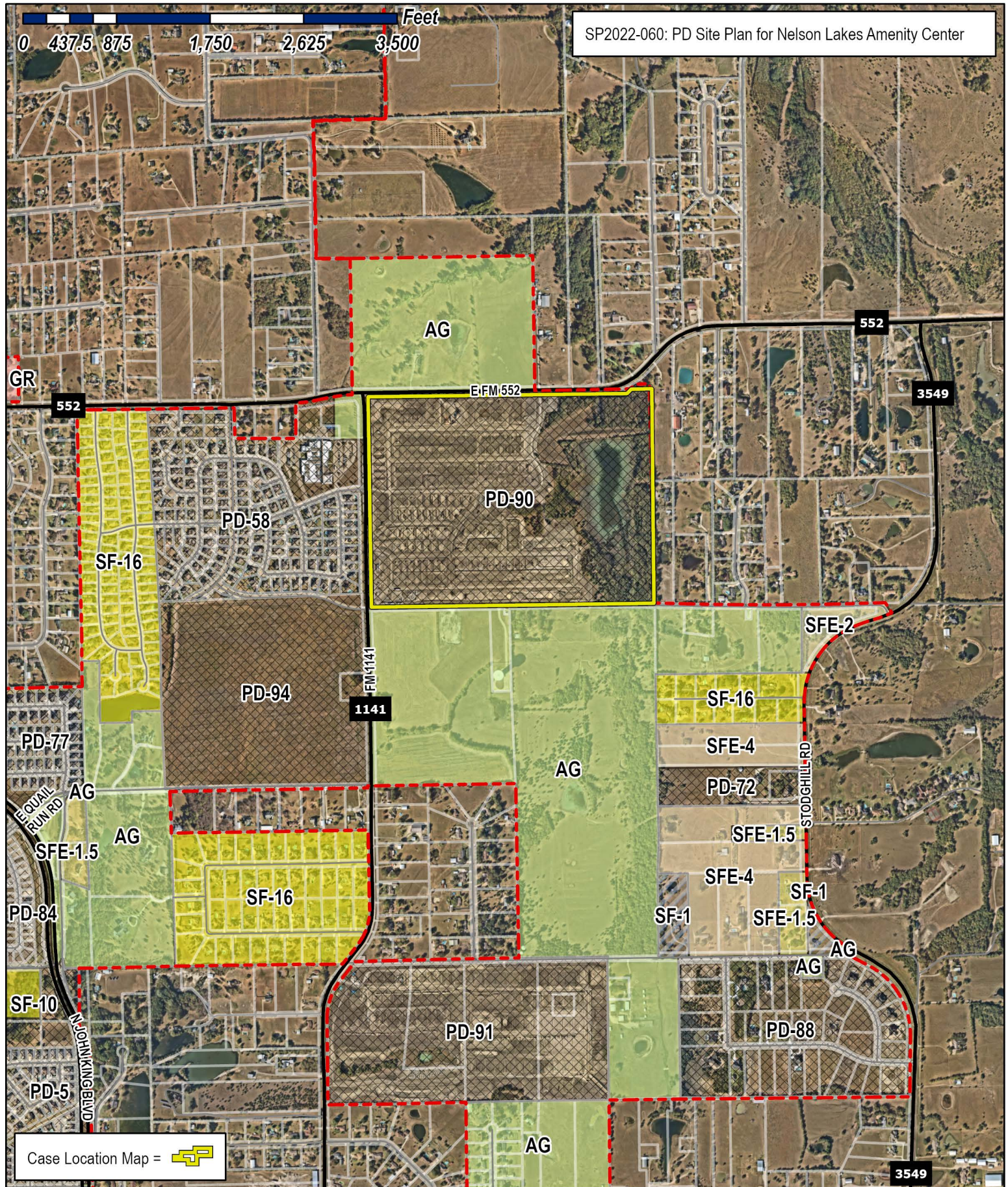
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022

OWNER'S SIGNATURE Kyle Tressler

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Madison McCabe



MY COMMISSION EXPIRES 01-08-2024



Case Location Map = 

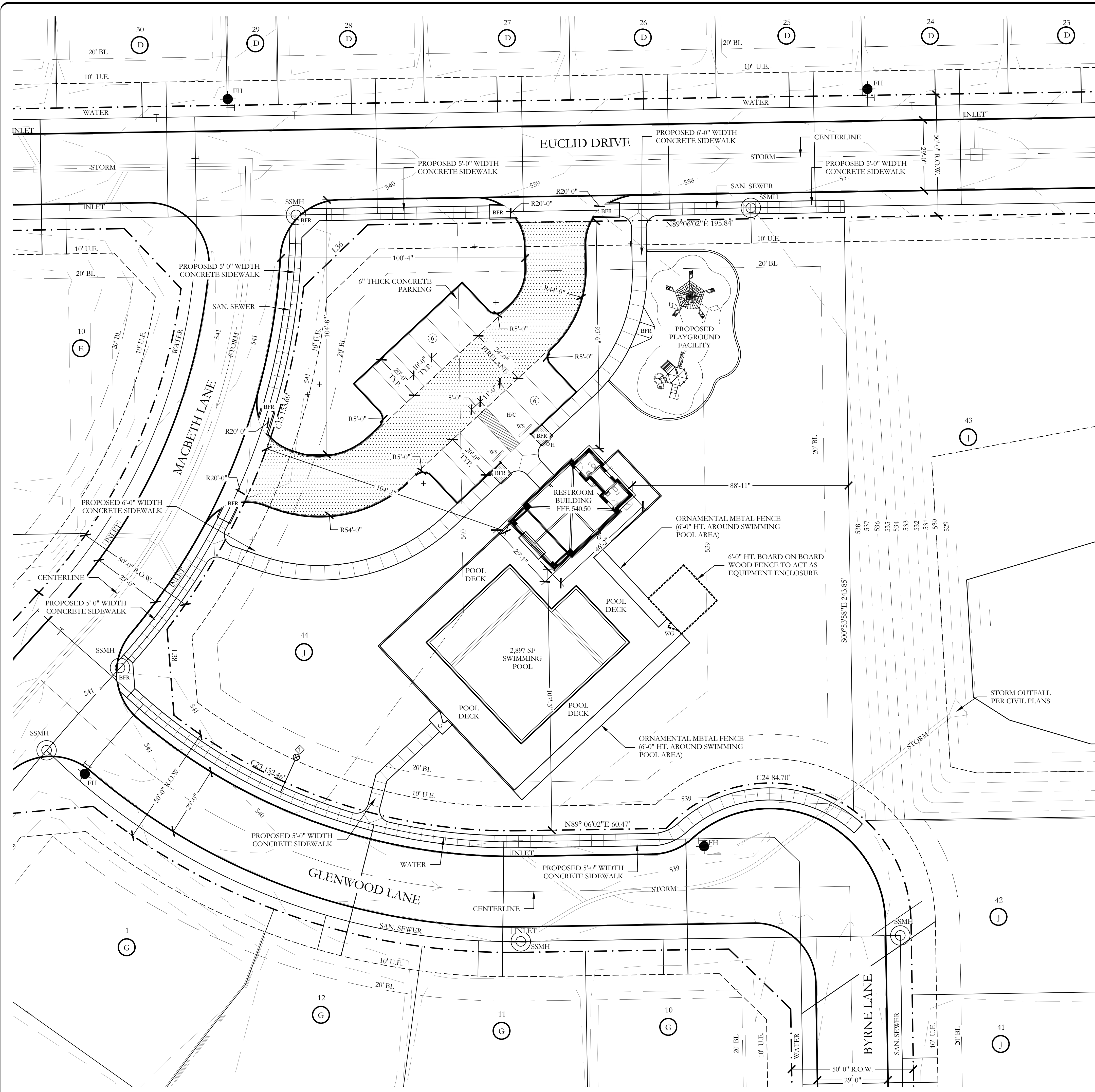


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

⑥	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	7G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	—	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 539.95	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

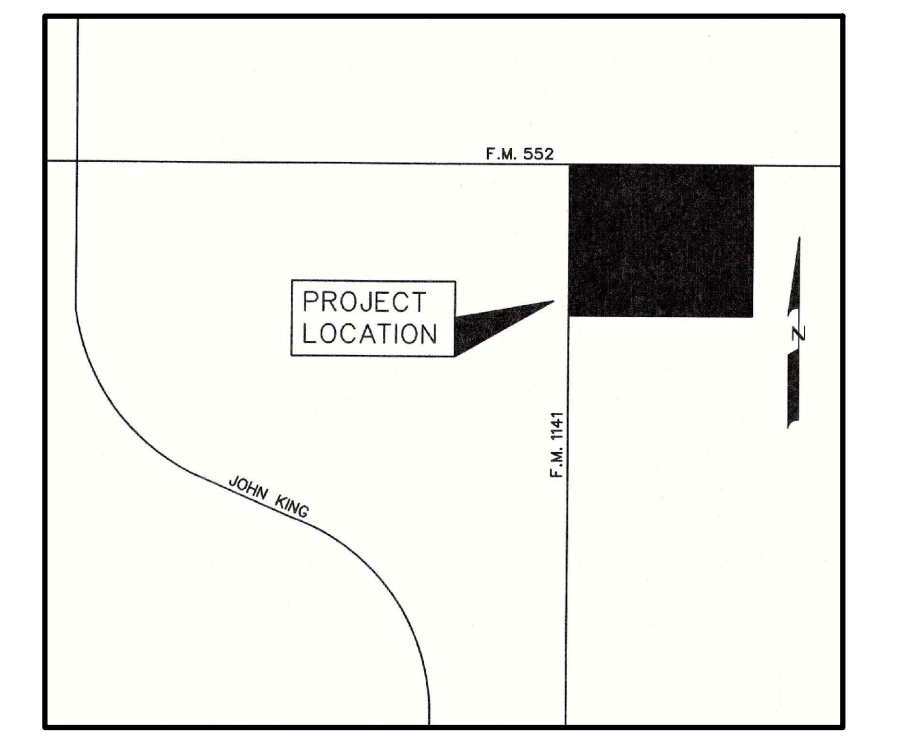
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊗	1"	1"	X		4"



SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

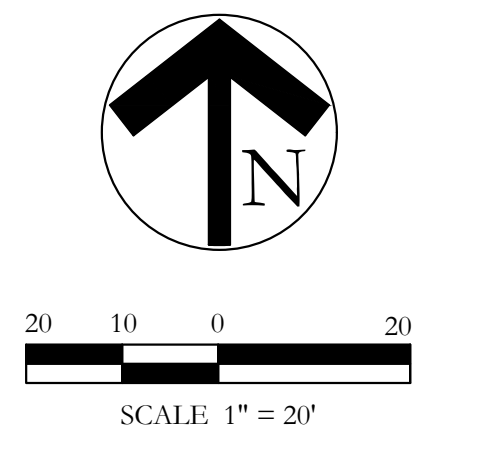
PARKING REQUIRED: 1 PER 250 SF OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 45,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



SITE PLAN
NELSON LAKE ESTATES
LOT 44, BLOCK J
 ~AMENITY CENTER~

BEING 1.403 ACRES OUT OF THE
 J.M. GASS SURVEY
 ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
 - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.



OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI

December 06, 2022



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



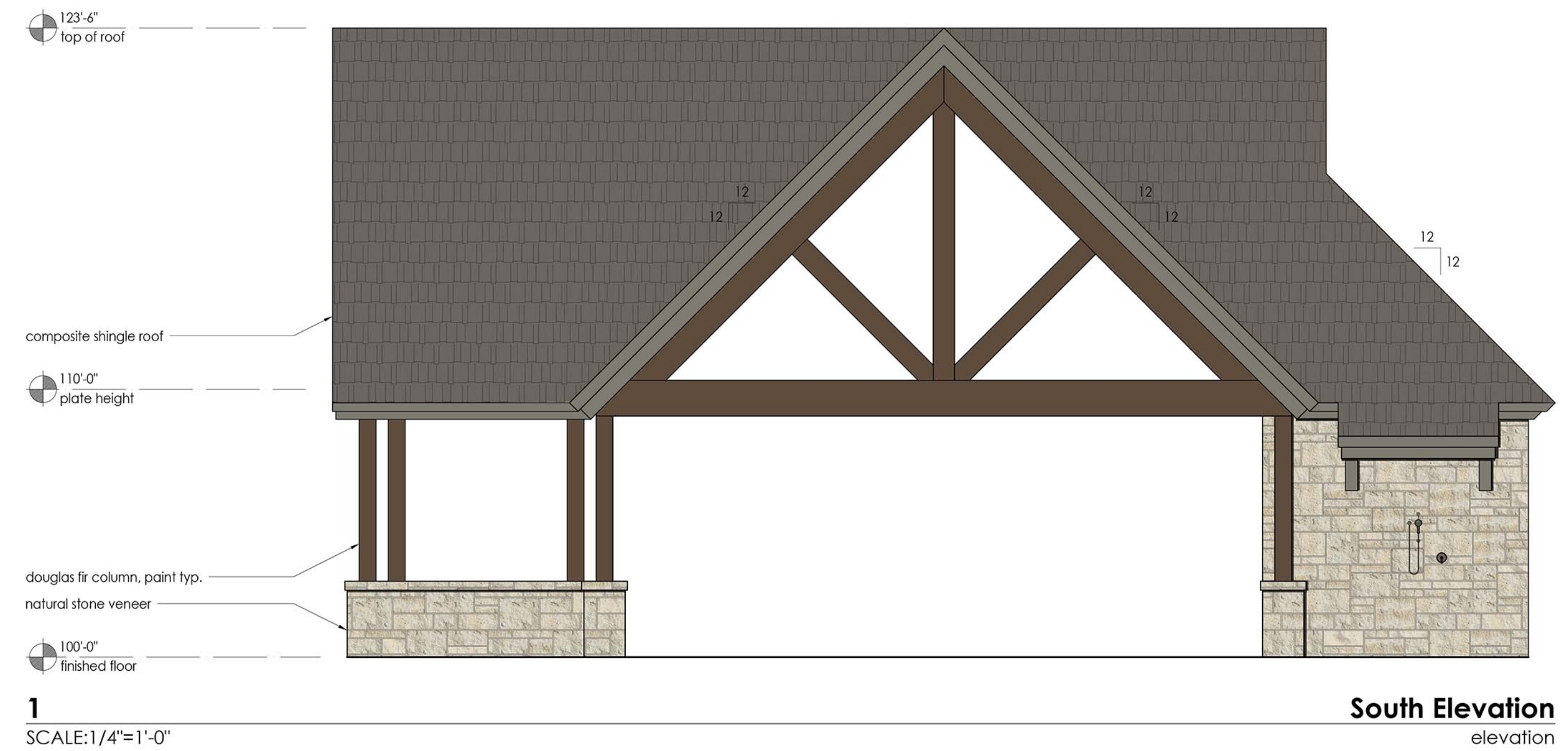
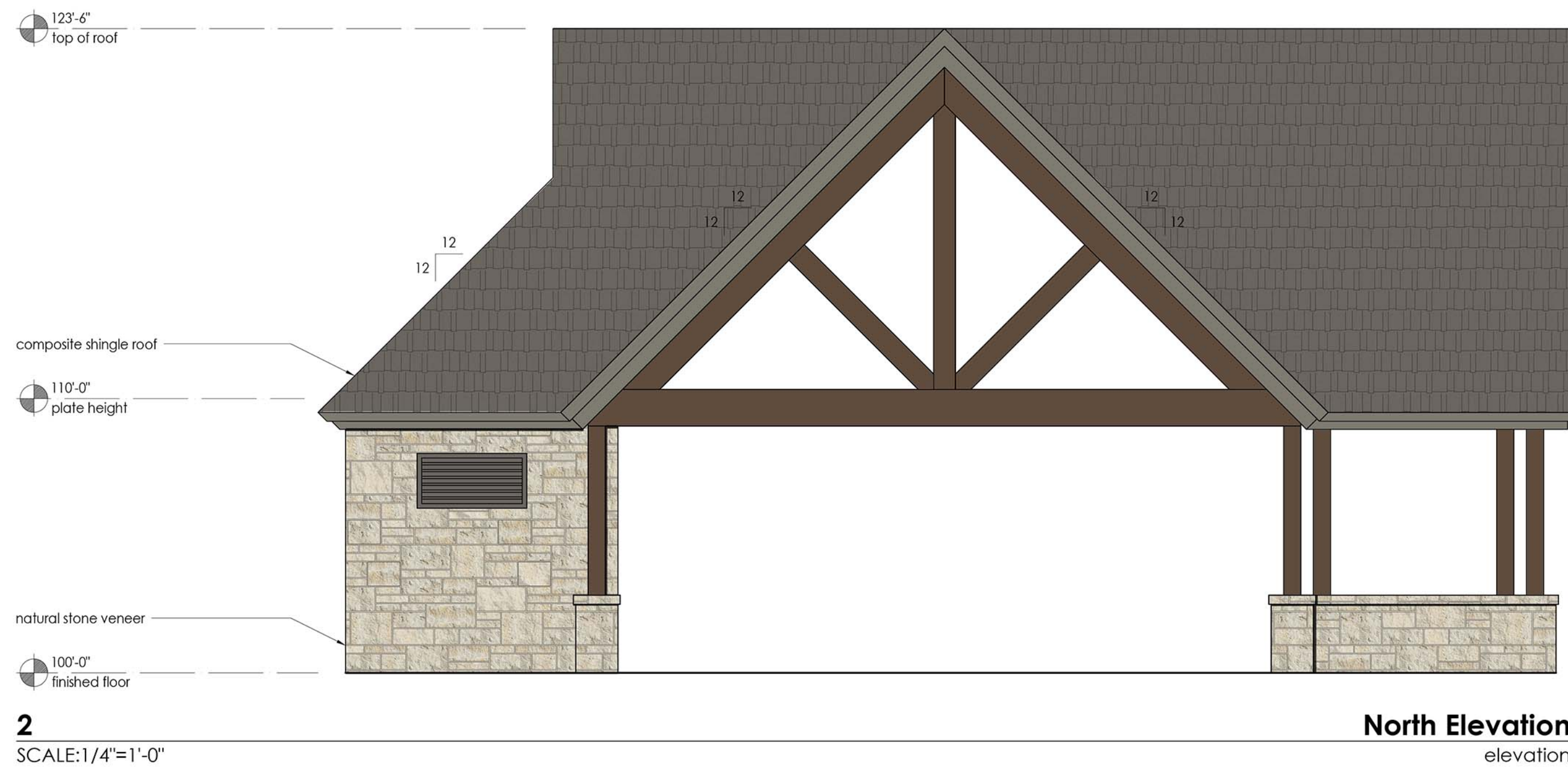
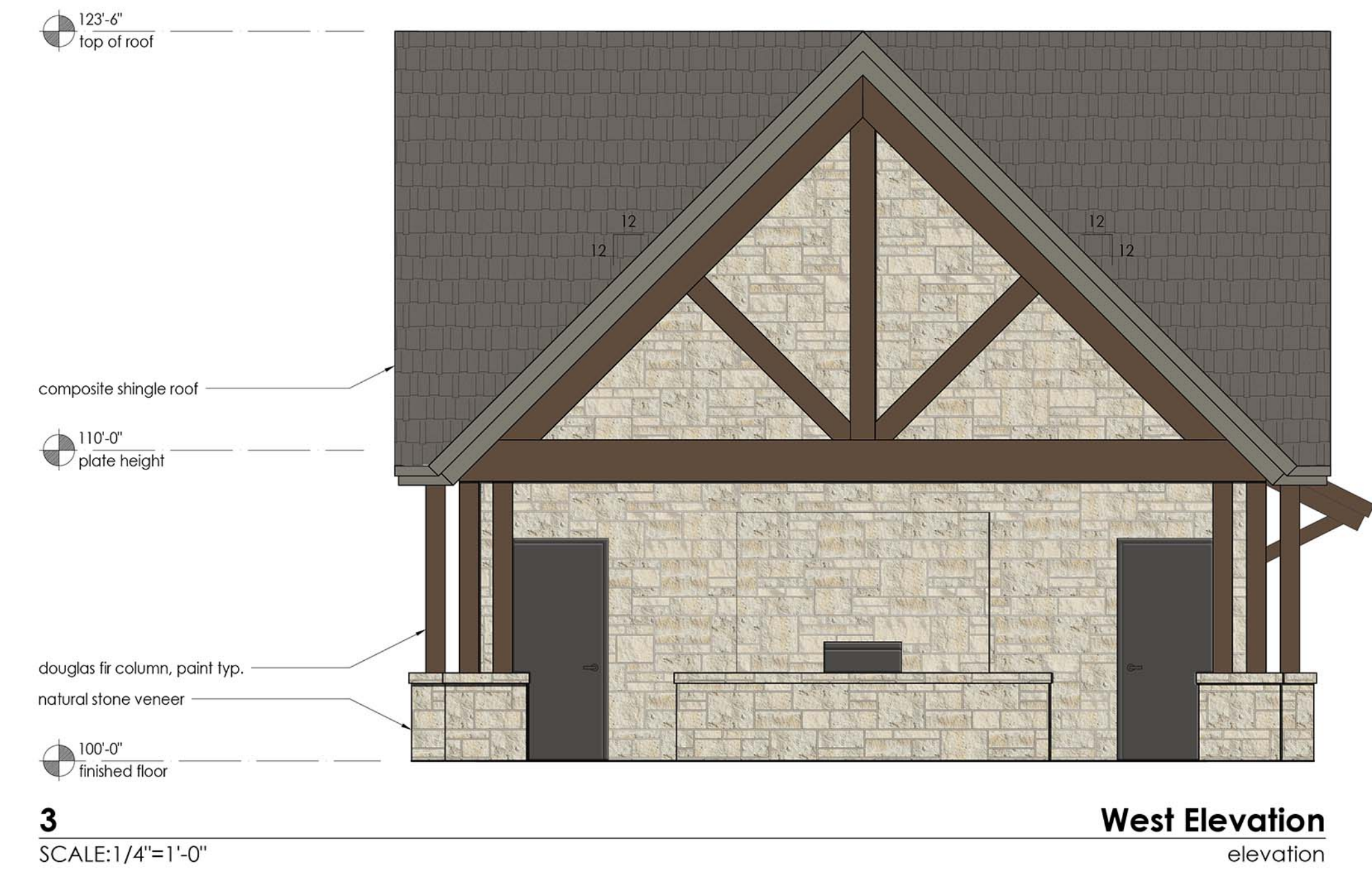
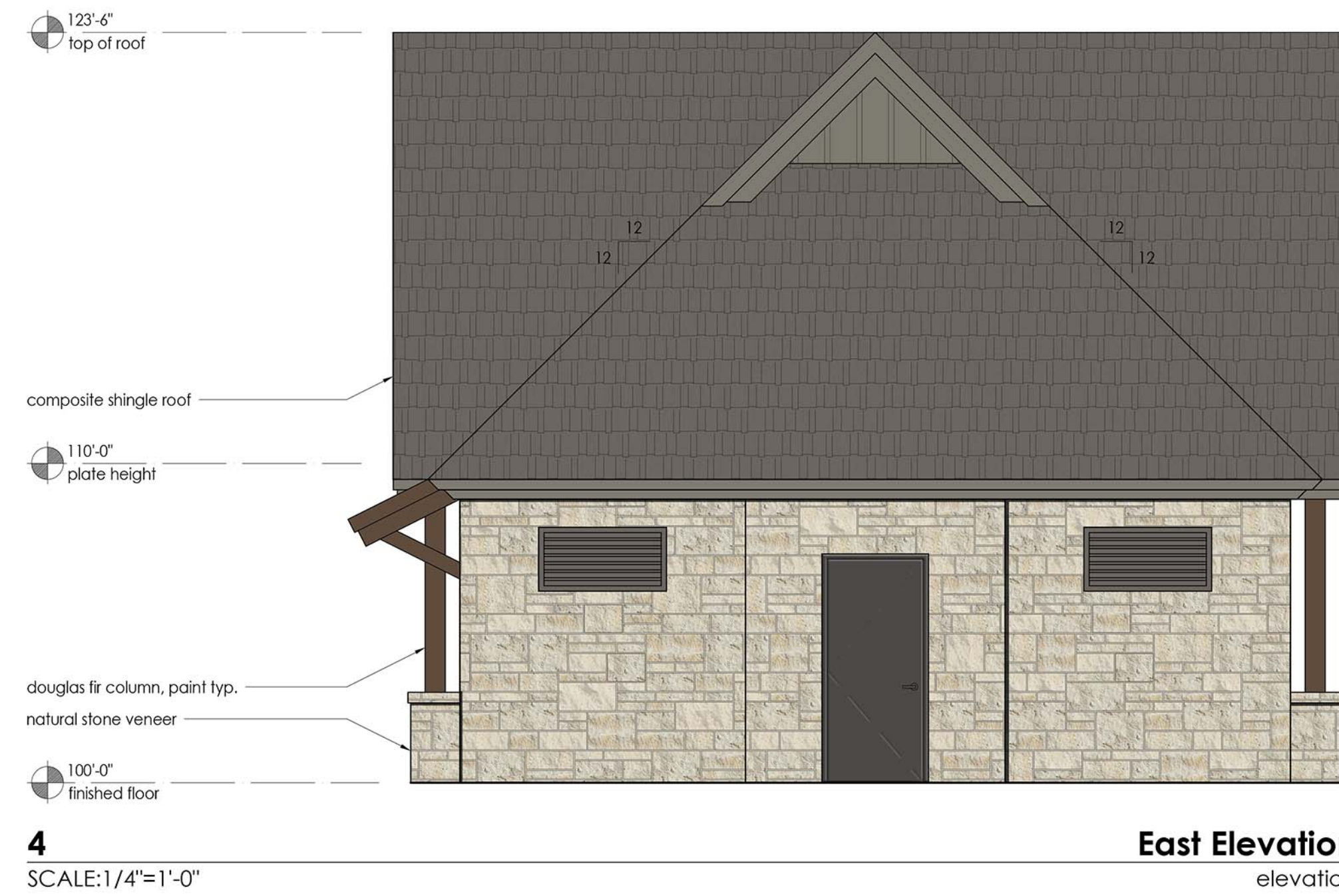
TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	207 S.F.	-	206 S.F.	-	218 S.F.	-	378 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	51.21%	104 S.F.	50.49%	203 S.F.	93.12%	272 S.F.	71.96%
NATURAL STONE VENEER (HILLTOP LIMESTONE BY TEXAS STONE DESIGN, INC.)	106 S.F.	51.21%	104 S.F.	50.49%	203 S.F.	93.12%	272 S.F.	71.96%
SECONDARY MATERIAL TOTALS	101 S.F.	48.79%	102 S.F.	49.51%	15 S.F.	6.88%	106 S.F.	28.04%
FIBER CEMENT SIDING (COLOR TO MATCH ROOF SHINGLES)	-	-	-	-	7 S.F.	3.21%	-	-
DOUGLAS FIR BEAMS/COLUMNS (COLOR TO BE SW 9091 HALF-CAFF BY SHERWIN WILLIAMS)	101 S.F.	48.79%	102 S.F.	49.51%	8 S.F.	3.67%	106 S.F.	28.04%
DOOR/WINDOW/OPERABLE LOVER TOTALS	-	-	-	-	-	-	-	-
ROOF (TIMBERLINE NS SHINGLES (WEATHERED WOOD COLOR) BY GAF)	-	-	-	-	-	-	-	-



SEAL

Copyright © 2022
DATE: 11.29.2022
SCALE:
JOB NO. MA22057
DRAWN: JV
APPD: KM
ACAD #
EXTERIOR ELEVATIONS

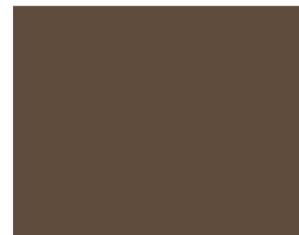
DRAWING NO. **A4.00** REV. NO.



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

MATERIALS BOARD

OWNER / DEVELOPER:

QUALICO DEVELOPMENT (U.S.), INC
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070
CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
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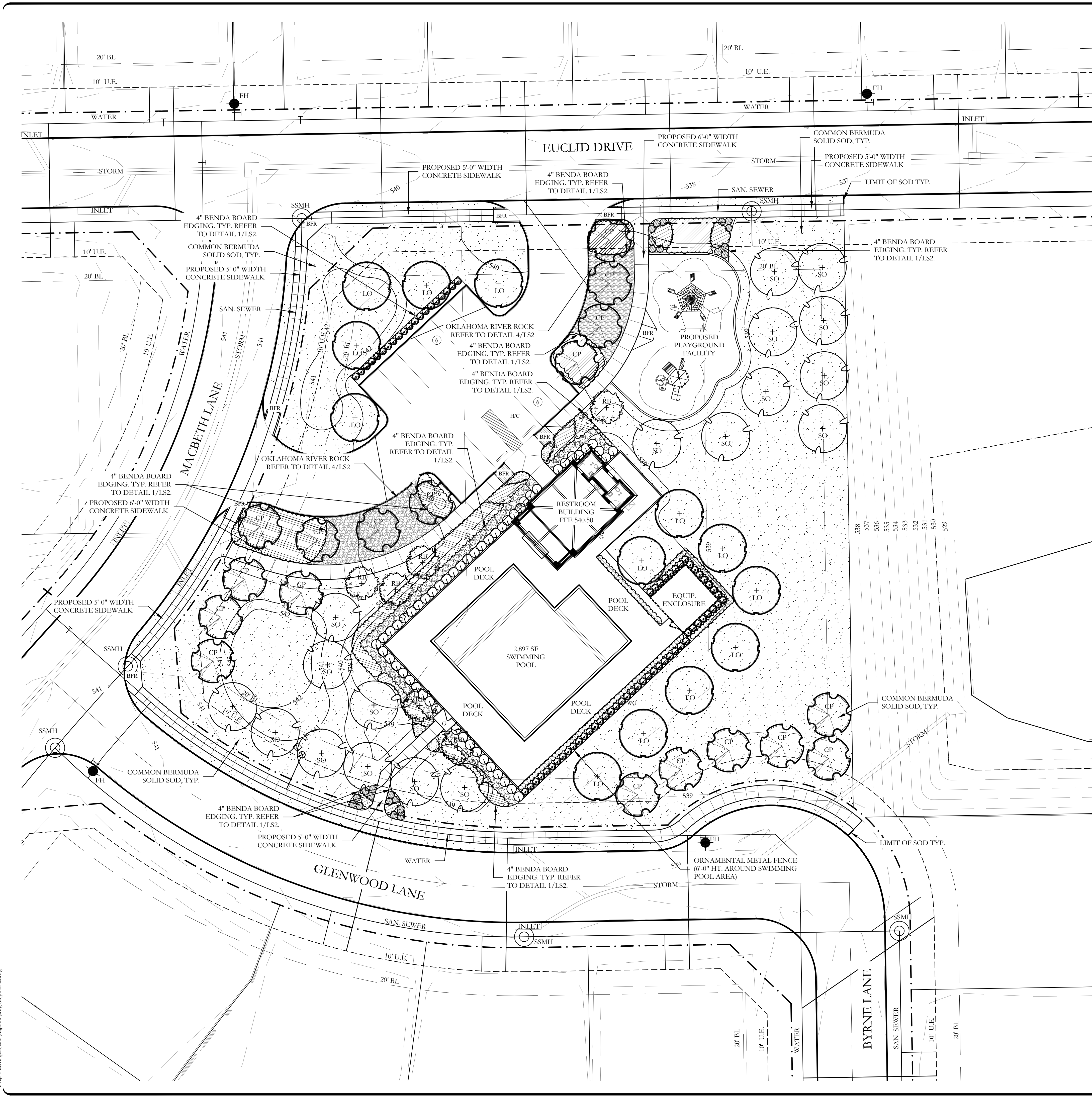
November 14, 2022

SEAL

Copyright © 2022

DATE: 11.02.2022
SCALE:
JOB NO. MA22057
DRAWN: JV
APPD: KM
ACAD #

DRAWING NO. | REV. NO.



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	SG	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
	BH	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
	UR	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
	AS	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

SITE INFORMATION

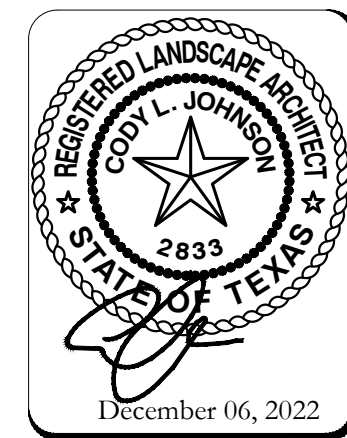
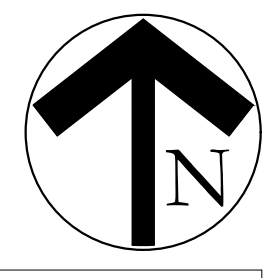
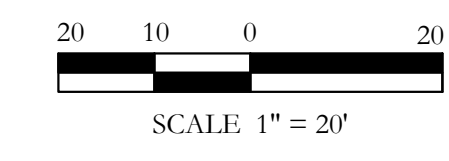
SINGLE FAMILY RESIDENTIAL	PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 1.403 ACRES	61,114.68 SQ. FT.
BUILDING AREA: 1,342.68 SQUARE FEET	BUILDING HEIGHT: 23'-6" (1 STORY)
FLOOR TO AREA: 0.022:1 (1,342.68/61,114.68)	LOT COVERAGE: 2.20%
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE	1,342.68/250=5.37
PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)	6 REQUIRED SPACES
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS	
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF	PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF	
POOL DECK SURFACE: 4,373.64 SF	

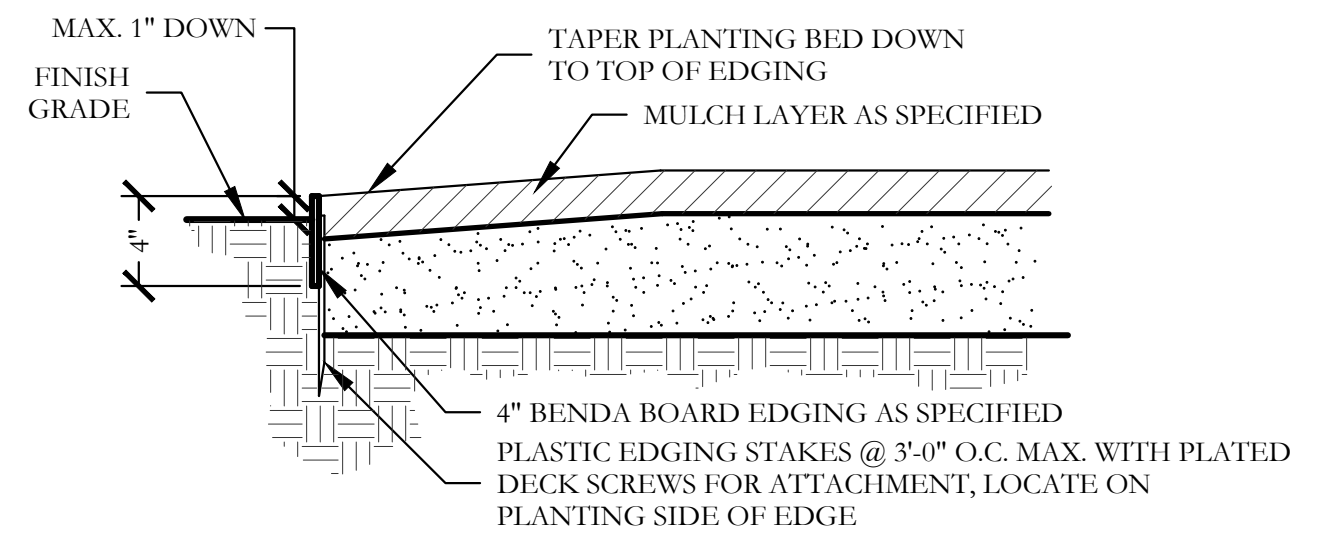
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

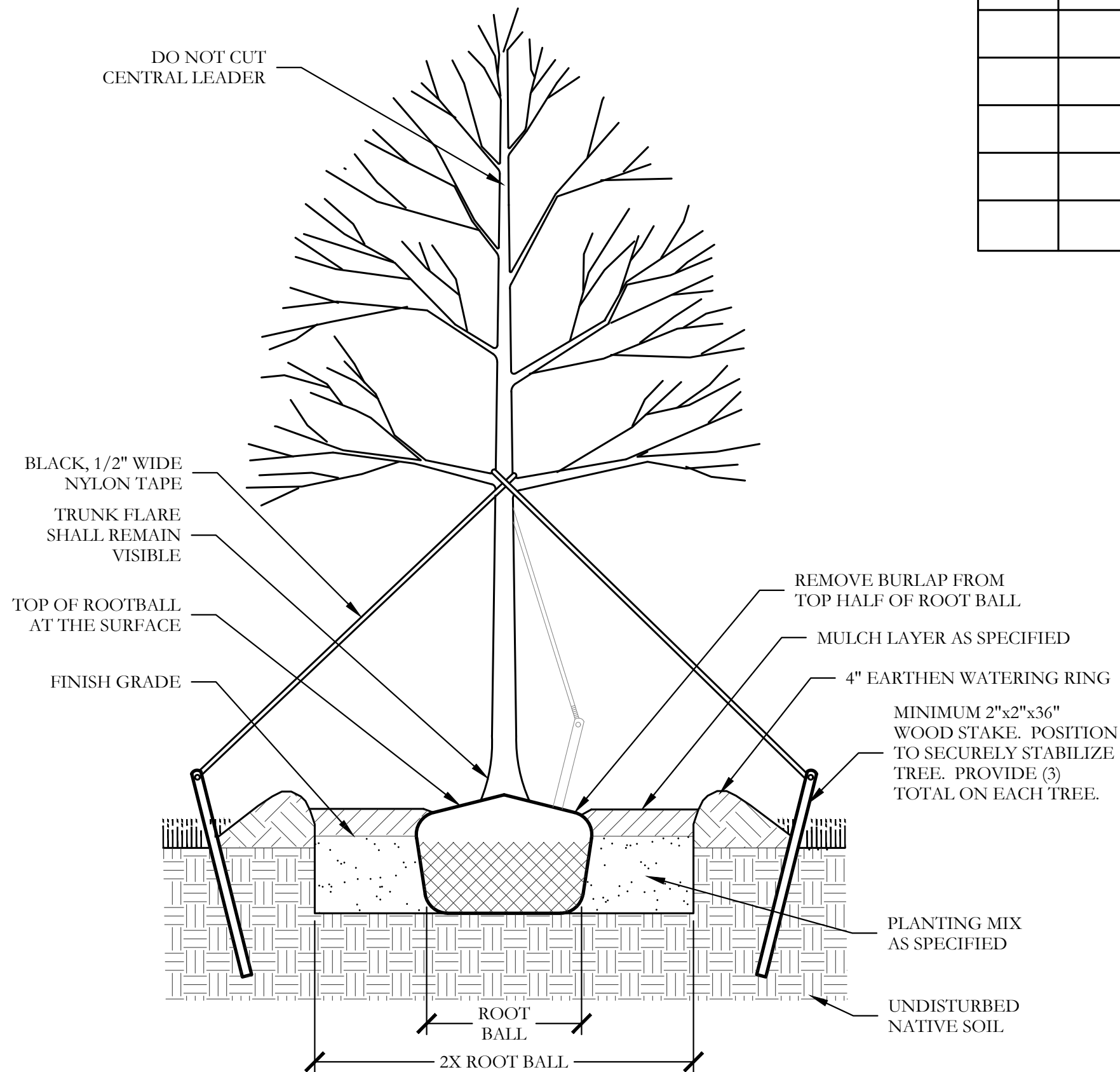
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

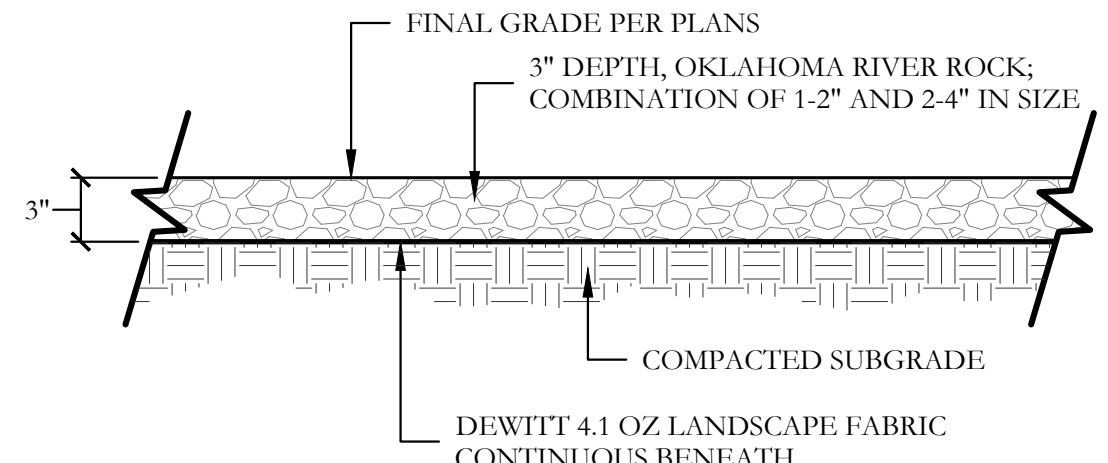




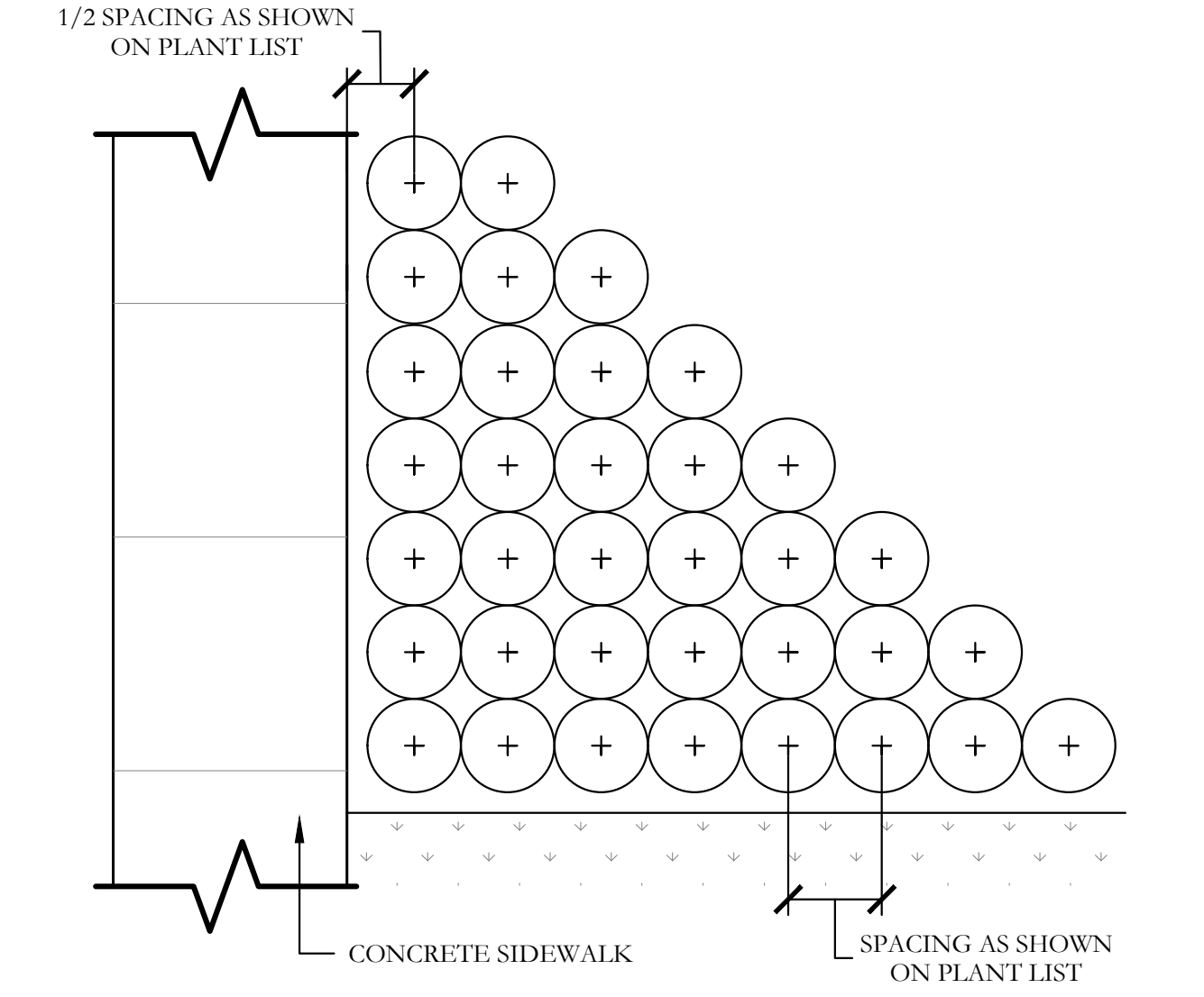
1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL TREE PLANTING SECTION NOT TO SCALE



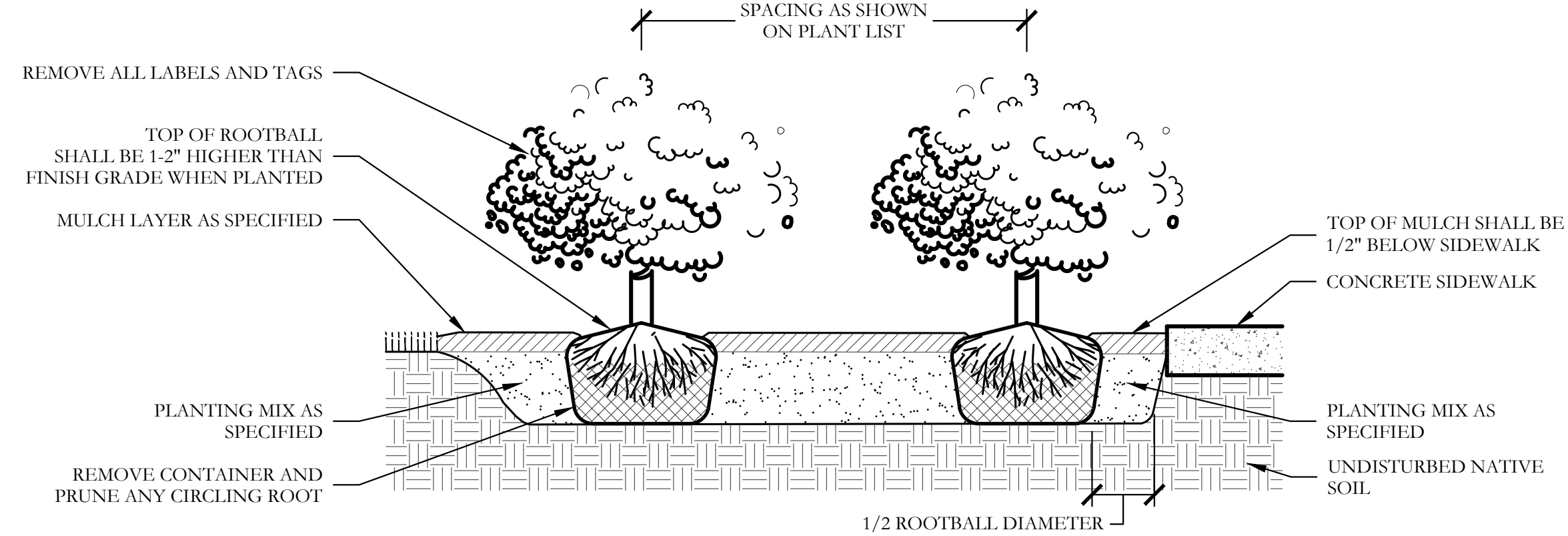
4 OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	18	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	08	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	87	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	200	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	200	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	35,230	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,710	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK

NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



NOT TO SCALE

GENERAL LANDSCAPE NOTES

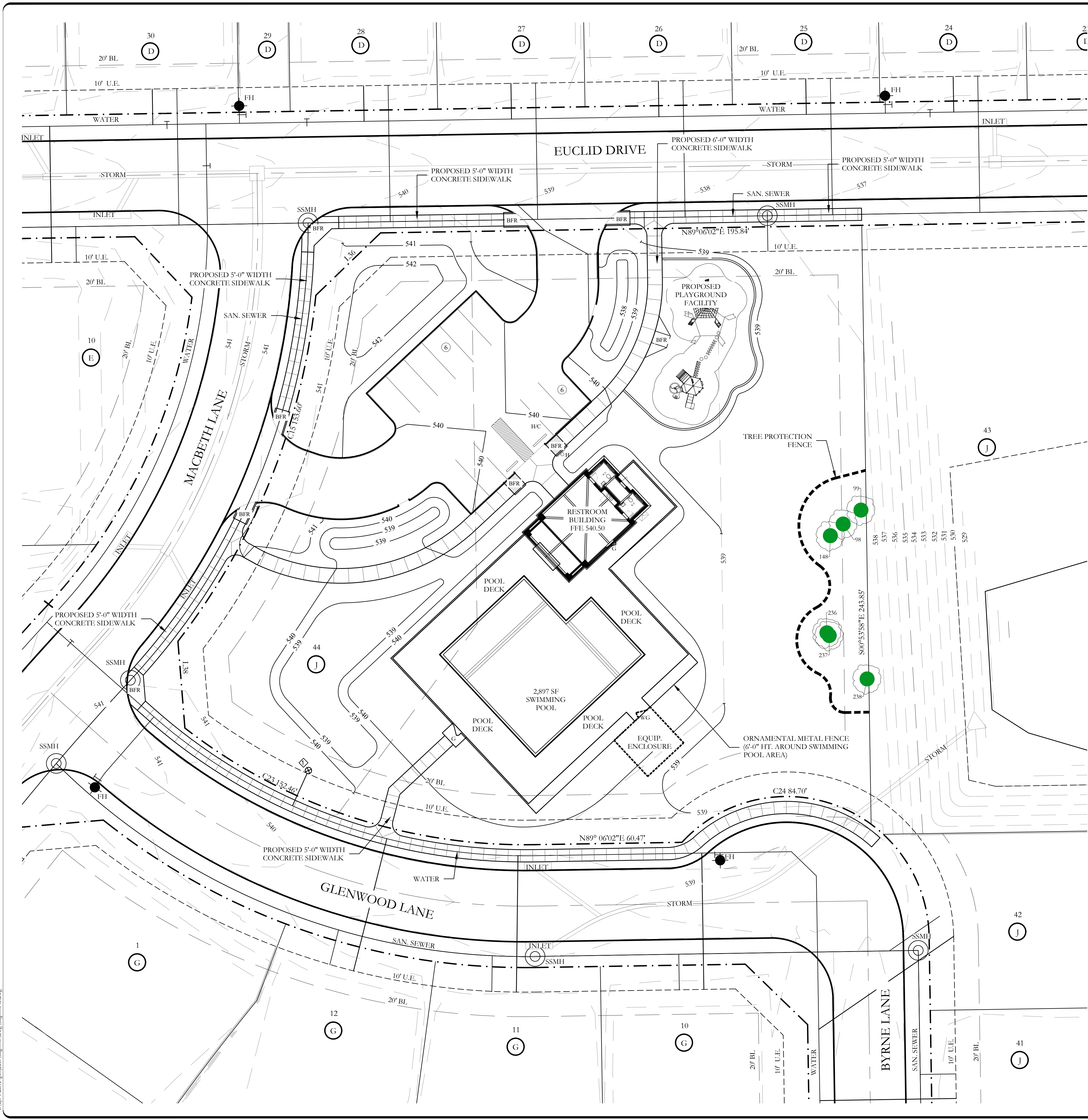
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



LEGEND

EXISTING TREE TO BE PRESERVED.

TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

Tree Number	Diameter at Breast Height (inches)	Species	Scientific Name	Canopy Radius (Feet)	General Condition	Status
98	15.3	Sugarberry	<i>Celtis laevigata</i>	10	Healthy	Preserved
99	6.5	Cedar Elm	<i>Ulmus crassifolia</i>	10	Healthy	Preserved
148	5.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
236	6.1	Cedar Elm	<i>Ulmus crassifolia</i>	6	Healthy	Preserved
237	4.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
238	9.5	Cedar Elm	<i>Ulmus crassifolia</i>	15	Healthy	Preserved

Summary	Caliper Inches	Percent CI	Number of Trees
Total Trees	47.80	100.00%	6
Preserved Trees	47.80	100.00%	6

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

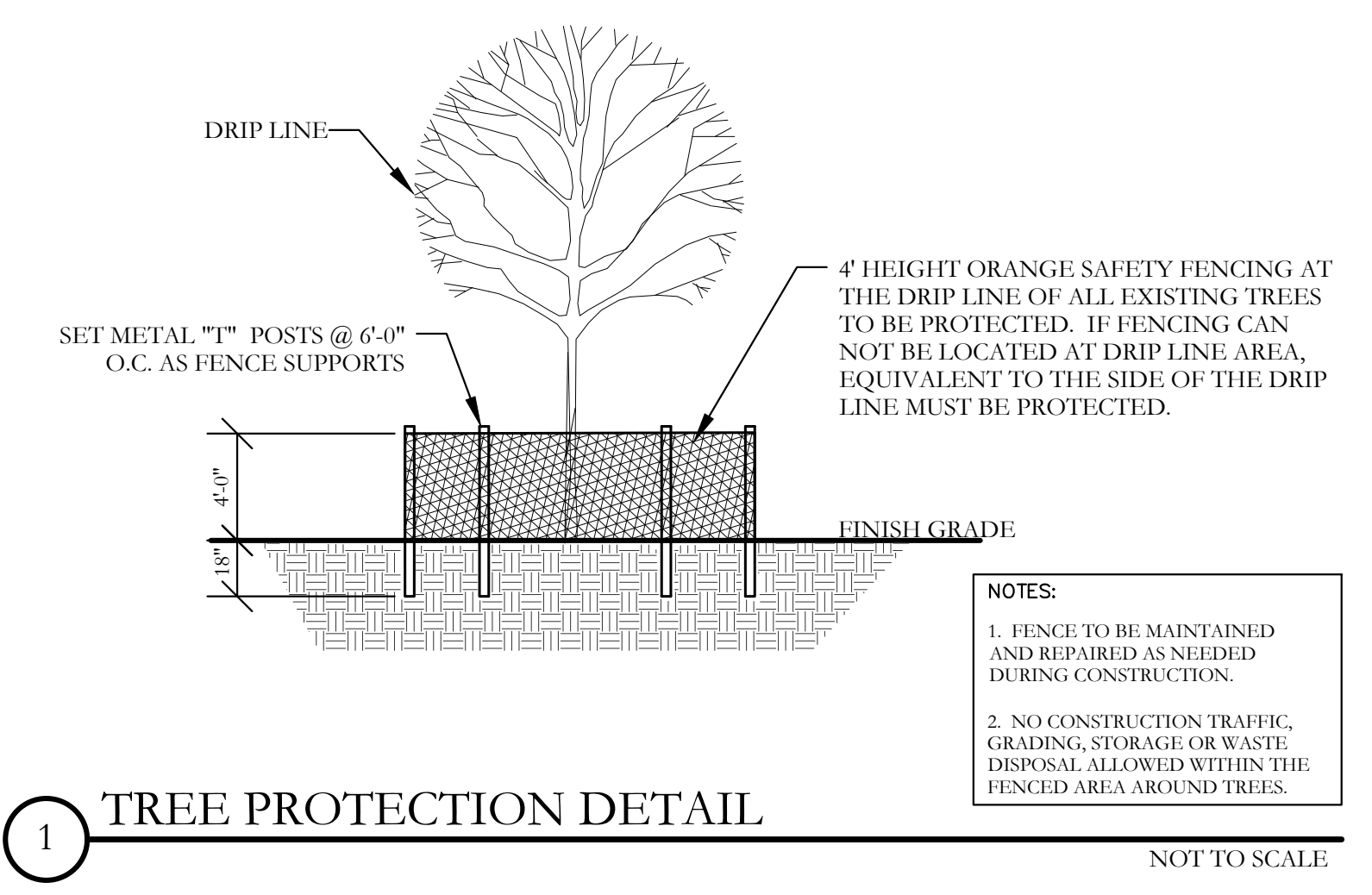
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

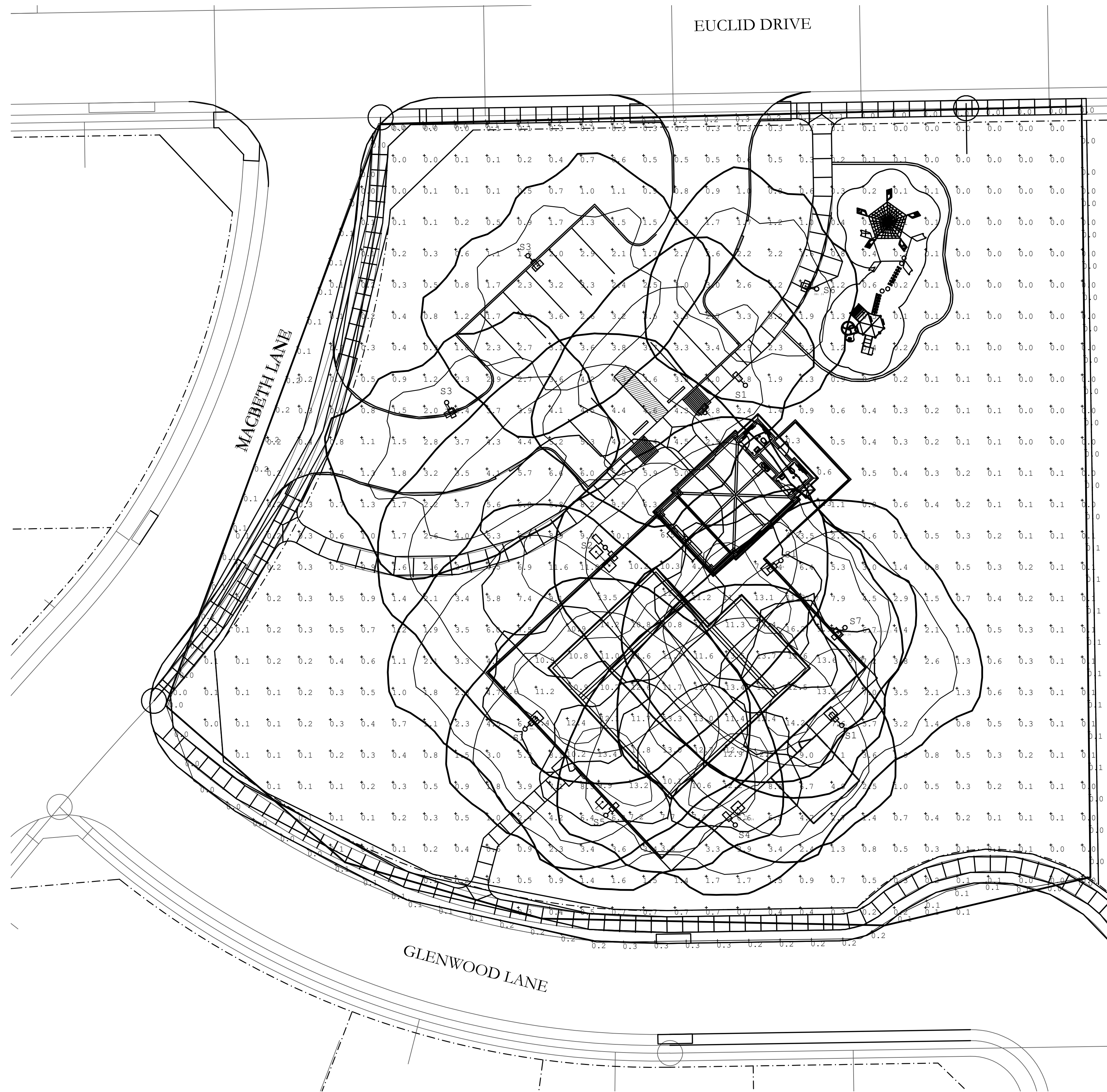
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF

TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED





1 SITE PLAN - ELECTRICAL - PHOTOMETRICS
SCALE: 1" = 20'-0"

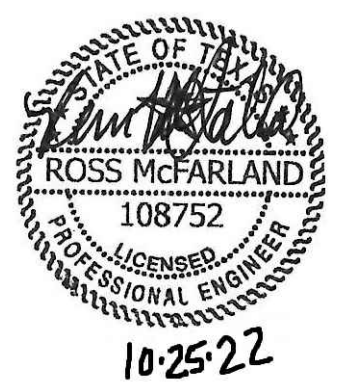
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
□	1	S6	SINGLE	N.A.	0.850	EALSO3 D4AF740 WITH ELS-EAL-RS2-BLCK	70	70	70
□	1	S5	SINGLE	N.A.	0.850	EALSO3 K4AF740 WITH ELS-EAL-FS2-BLCK	239	239	239
□	1	S4	SINGLE	N.A.	0.850	EALSO3 K4AF740 WITH ELS-EAL-FS2-BLCK	239	239	239
□	3	S3	SINGLE	N.A.	0.850	EALSO3 D4AF740	70	70	210
□	3	S1	SINGLE	N.A.	0.850	EALSO3 J4AF740	186	186	558
□	1	S2	D180°	N.A.	0.850	EALSO3 J4AF740	186	372	372
□	1	S7	SINGLE	N.A.	0.850	EALP03 H4AF740 WITH ELS-EAL-RS2-BLCK	151	151	151

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GROUND Planar	Illuminance	Fc	1.60	11.8	0.0	N.A.	N.A.
POOL DECK Planar	Illuminance	Fc	9.52	15.5	0.2	47.60	77.50
POOL SURFACE POOL SURFACE	Illuminance	Fc	12.02	14.2	10.2	1.18	1.39
PROPERTY LINE	Illuminance	Fc	0.10	0.3	0.0	N.A.	N.A.

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



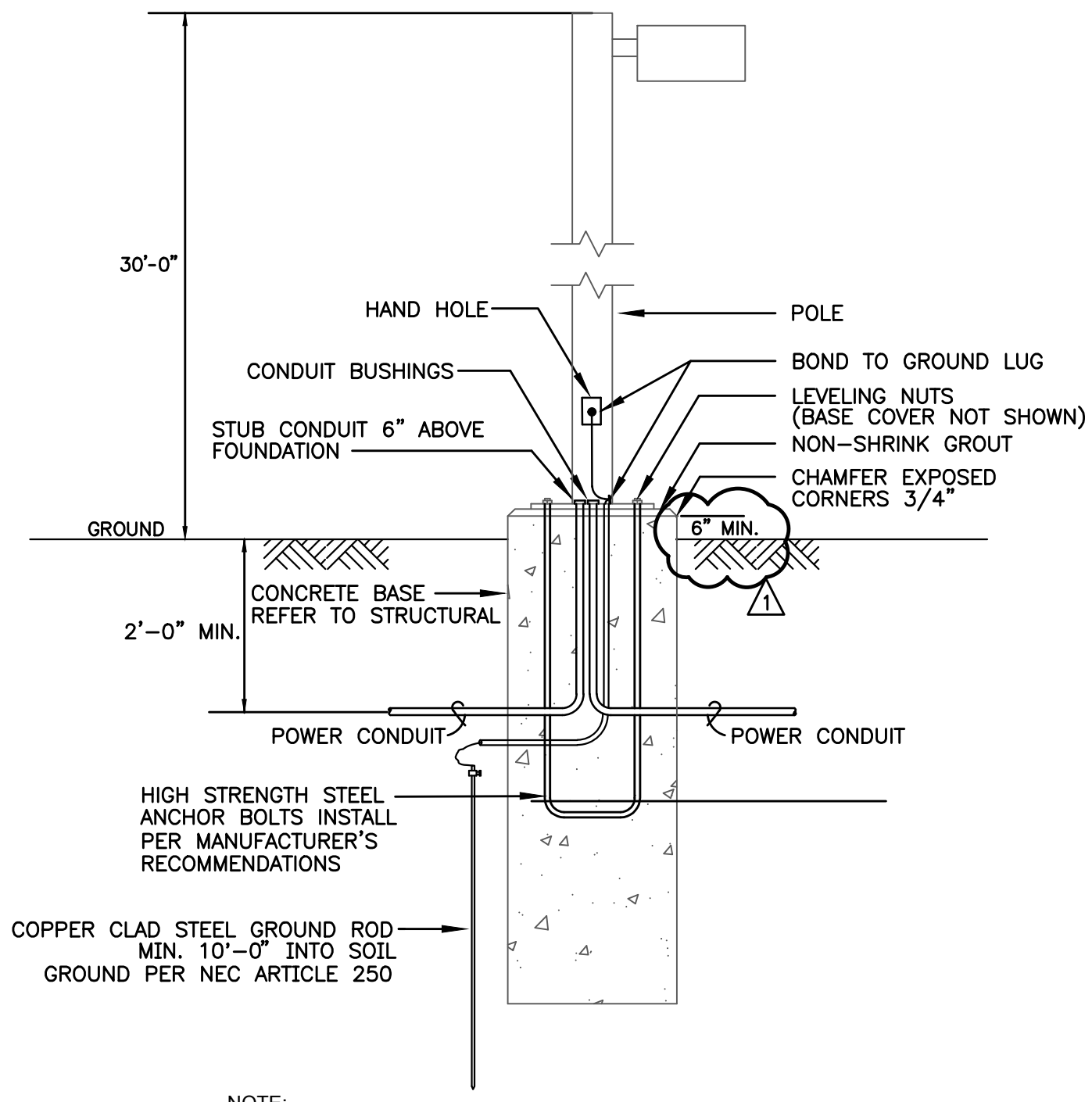
**Nelson Lake
Amenity Center**
Rockwall, TEXAS

Issue: PERMIT 10/18/2022
Revisions:

Drawing Title:
**ELECTRICAL -
SITE PLAN
PHOTOMETRICS**

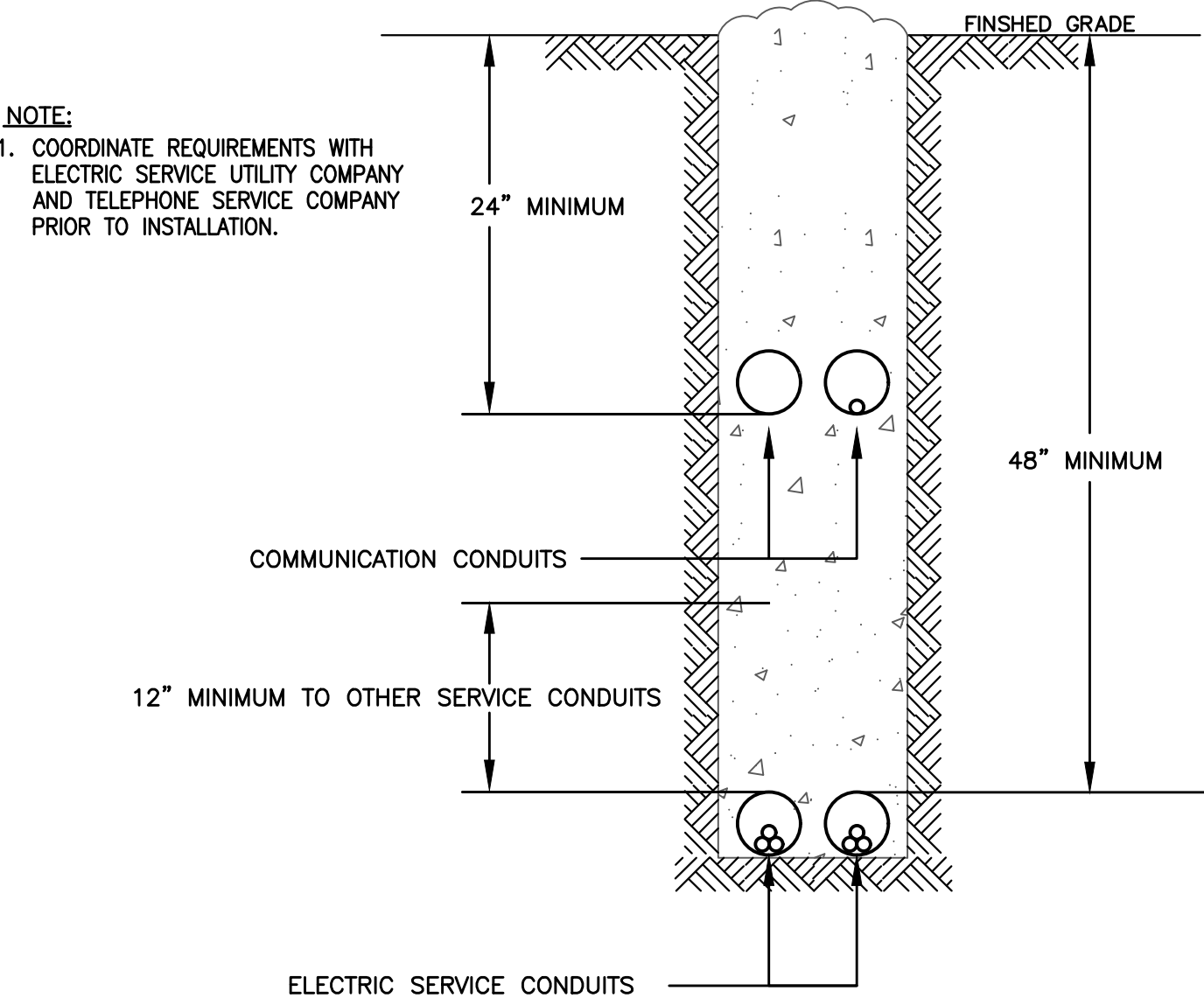
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AOS JOB #: 3799-001-22



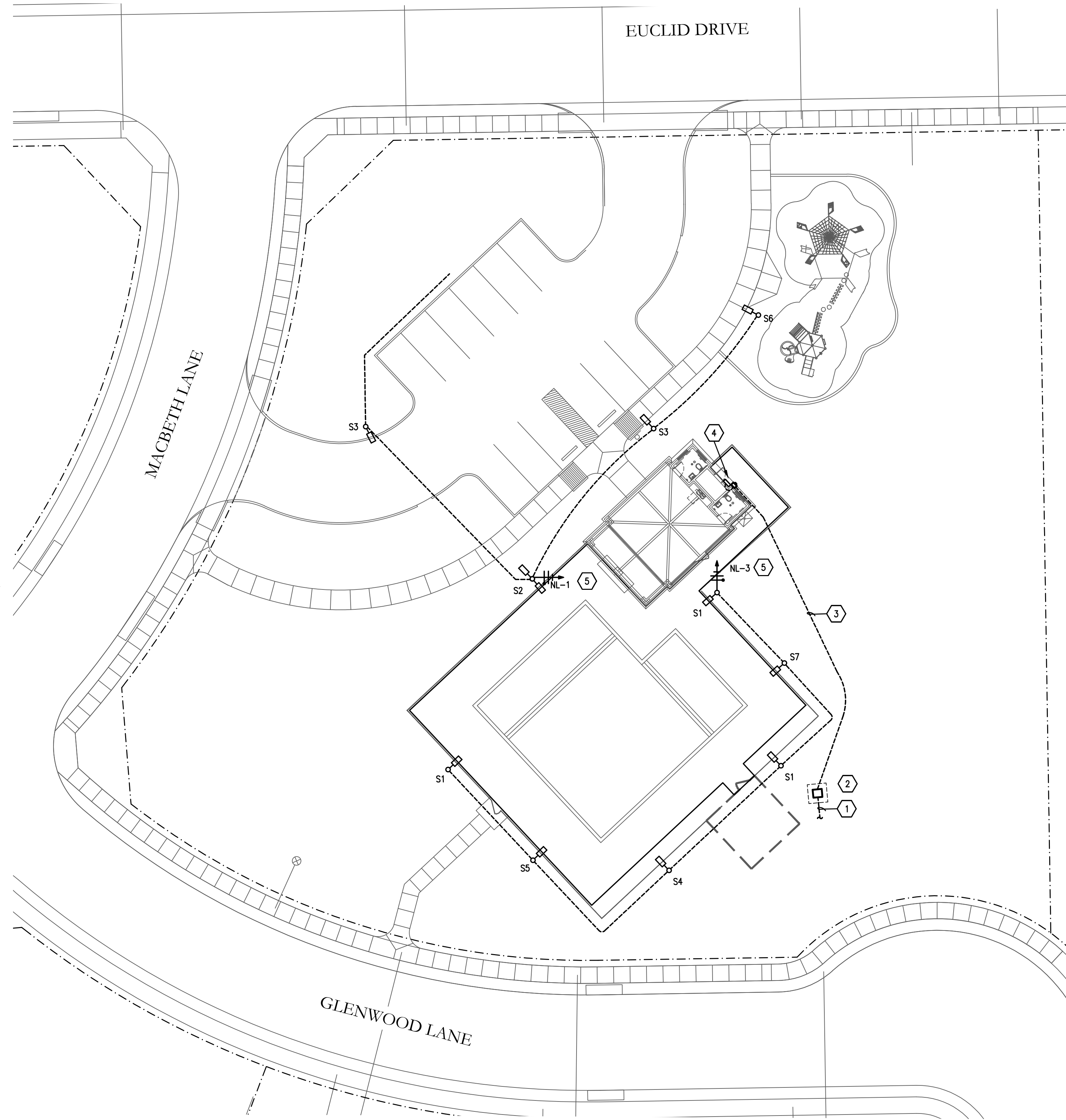
NOTE:
1. CONTRACTOR SHALL VERIFY ALL STRUCTURAL ELEMENTS WITH LICENSED STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

2 SITE LIGHTING FIXTURE POLE BASE DETAIL
SCALE: NONE



NOTE:
1. COORDINATE REQUIREMENTS WITH ELECTRIC SERVICE UTILITY COMPANY AND TELEPHONE SERVICE COMPANY PRIOR TO INSTALLATION.

3 ELECTRIC AND COMMUNICATION TRENCH DETAIL
SCALE: NONE



1 SITE PLAN - ELECTRICAL
SCALE: 1" = 20'-0"

GENERAL NOTES:

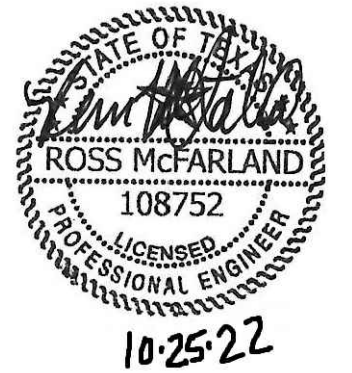
- A. CONTRACTOR SHALL COORDINATE EASEMENT ON CENTERLINE OF UNDERGROUND PRIMARY WITH UTILITY COMPANY.
- B. CONTRACTOR SHALL COORDINATE PLACEMENT AND ROUTING OF CONDUITS WITH UTILITY COMPANY PRIOR TO INSTALLATION. COORDINATE EXACT CONDUIT SIZES AND QUANTITIES WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- C. THE ELECTRICAL INFORMATION SHOWN ON THIS PLAN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED. THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE COMPANIES INVOLVED.
- D. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANY, TELEPHONE COMPANY, AND CABLE TV COMPANY, VERIFY ALL REQUIREMENTS AND EQUIPMENT. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL ALL WIRING, BOXES, CONDUIT, CONCRETE PADS, TRENCHING AND BACKFILL, ETC. AS NECESSARY FOR PROPER INSTALLATION.
- E. THE CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATIONS OF ALL EXISTING UTILITY SERVICES AND EQUIPMENT, AND THE PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT. NO ALLOWANCES WILL BE MADE FOR THE CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITIONS, REQUIREMENTS OF THE NEW LOCATIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- F. THE CONTRACTOR SHALL CONTACT THE LOCAL ELECTRICAL CODE ENFORCEMENT AUTHORITIES AND THE LOCAL FIRE MARSHALL, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL ALL ELECTRICAL ITEMS NECESSARY FOR PROPER INSTALLATION IN STRICT ACCORDANCE WITH THE GUIDELINES AND INTERPRETATIONS SET FORTH BY THESE GOVERNING LOCAL AUTHORITIES BEYOND THOSE SET FORTH IN THE NEC AND NFPA. NO ALLOWANCES WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO COORDINATE ALL SUCH REQUIREMENTS WITH SAID LOCAL AUTHORITIES.
- G. CONTRACTOR TO LIMIT ALL BRANCH CIRCUITRY TO 3% VOLTAGE DROP.
- H. CONTRACTOR TO LIMIT ALL FEEDERS TO 2% VOLTAGE DROP.

KEY NOTES:

- 1 ELECTRICAL PRIMARY FEEDERS. COORDINATE EXACT COST, INSTALLATION REQUIREMENTS, AND ROUTING OF PRIMARY FEEDERS WITH UTILITY COMPANY.
- 2 LOCATION OF PAD MOUNTED UTILITY TRANSFORMER.
- 3 SECONDARY ELECTRICAL SERVICE TO BE INSTALLED BY CONTRACTOR. REFER TO ONE-LINE DIAGRAM SHEET E3.01.
- 4 ELECTRICAL SERVICE LOCATION. REFER TO ELECTRICAL SCHEDULES AND RISER DIAGRAM ON SHEET E3.01. FOR ADDITIONAL INFORMATION.
- 5 ROUTE CIRCUIT (2 #10, #10G. - 3/4"C.) THROUGH LIGHTING CONTROL PANEL FOR PHOTOCCELL ON/OFF CONTROL. RE:3/E3.01.



Texas Registered Engineering Firm F-9218
5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
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**Nelson Lake
Amenity Center**
Rockwall, TEXAS

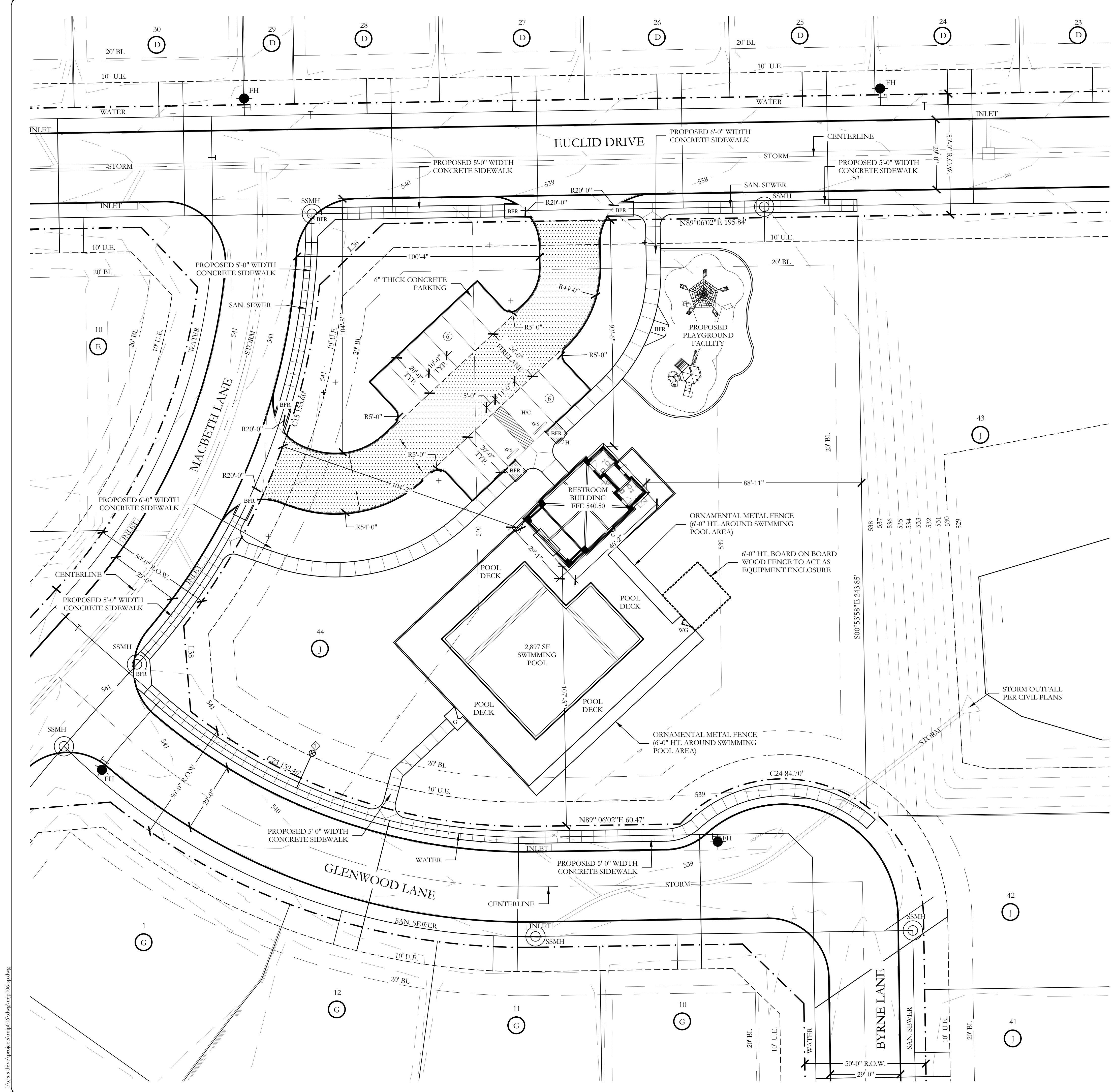
Issue: PERMIT 10/18/2022
Revisions:

Drawing Title:
**ELECTRICAL -
SITE PLAN**

Sheet
E1.01

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES

AOS JOB #: 3799-001-22

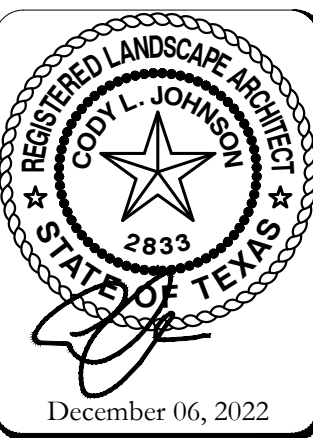
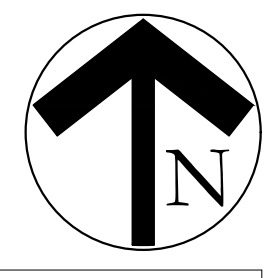
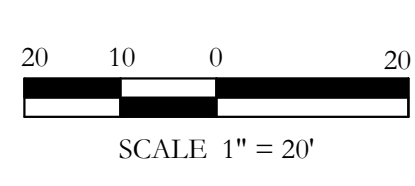


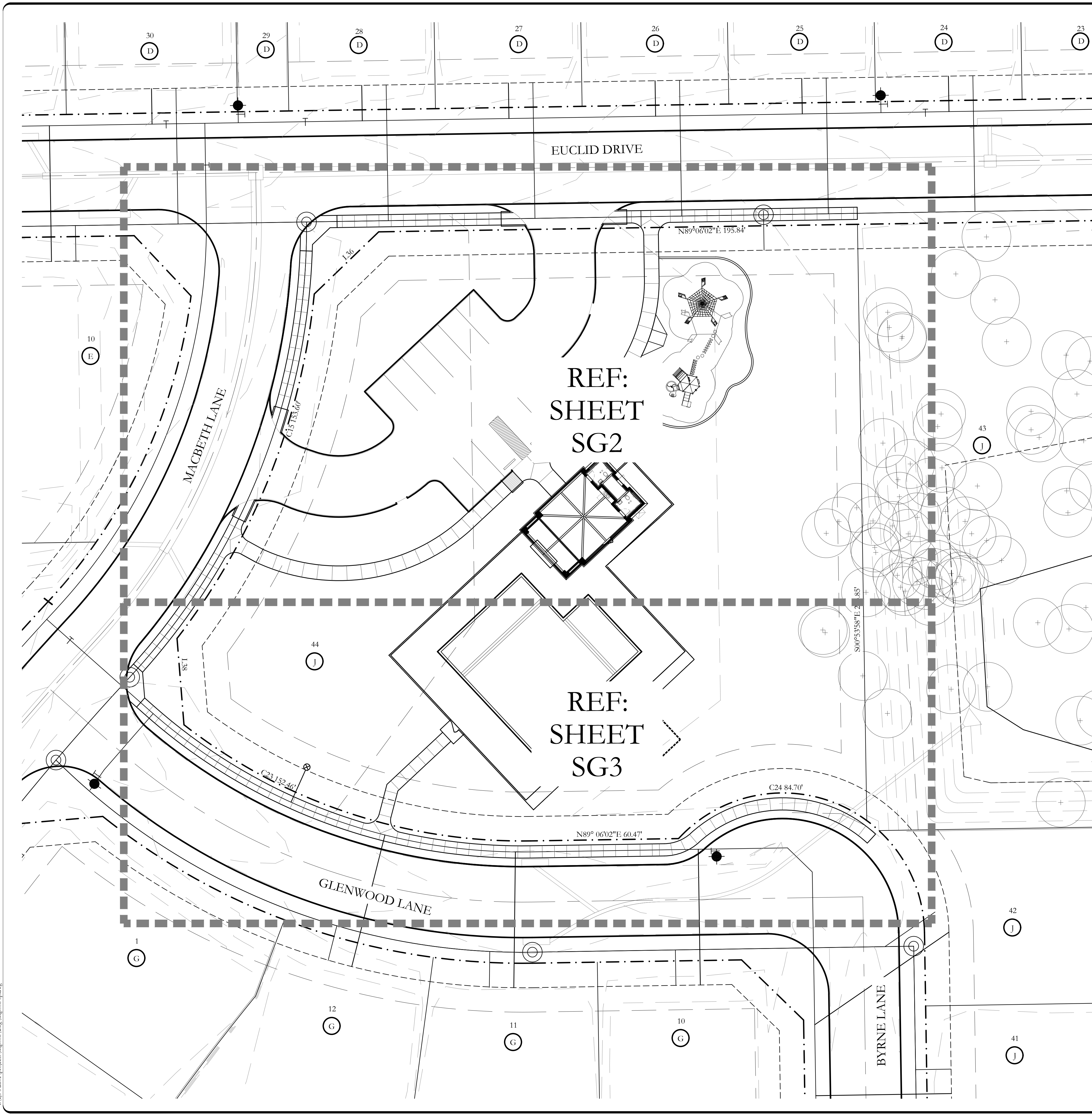
LEGEND

⊖	PROPOSED PARKING COUNT	⊕	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	5'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 539.95	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	---	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

- ### SWIMMING POOL NOTES
- THE SWIMMING POOL PLAN SHOWN IS FOR GENERAL LAYOUT OF THE POOL AREA ONLY. THE SWIMMING POOL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POOL EQUIPMENT, PIPING, GUNITE SHELL, TILE, COPING, ELECTRICAL AND JUNCTION BOXES, PERMITS AND CITY CODE ACCEPTANCE OF ALL THE LISTED ITEMS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DESIGN AND ENGINEERING OF THE POOL'S STRUCTURAL AND HYDRAULIC ELEMENTS.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. THE SHOP DRAWINGS SHALL CONTAIN THE LAYOUT, SHELL DETAIL, STRUCTURAL DETAILS, SCHEMATIC PIPING DIAGRAMS AND "CUT SHEETS" FOR ALL PROPOSED POOL EQUIPMENT.
 - THE GENERAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ROUGH GRADING THE POOL AREA.
 - THE POOL CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE POOL AND SETTING FINISHED GRADE AS PER PLANS. SEE THE POOL LAYOUT PLANS FOR PROPOSED GRADING OF THE POOL AREA. THE OWNER'S REPRESENTATIVE SHALL REVIEW THE POOL LAYOUT AND PROPOSED ELEVATIONS BEFORE EXCAVATION BEGINS.
 - ALL REQUIRED UTILITIES ARE TO BE SUPPLIED BY THE GENERAL CONTRACTOR TO THE LOCATION OF THE POOL EQUIPMENT. THE CONTRACTOR SHALL VERIFY LOCATION OF THE POOL EQUIPMENT WITH THE OWNER.
 - THE GUNITE VESSEL IS TO BE GROUNDED PER CITY CODE.
 - POOL PIPING SHALL BE SCHEDULE 40 PVC. FLEXIBLE PVC WILL NOT BE ALLOWED.
 - ALL POOL DECKS SHALL HAVE A MINIMUM .5% SLOPE AWAY FROM POOL FOR DRAINAGE.
 - ALL GRADES ADJACENT TO WALKS AND POOL DECKS CONSTRUCTED BY THE POOL CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE POOL CONTRACTOR TO ACHIEVE THE CORRECT ELEVATION.
 - THE POOL SHELL SHALL BE GUNITE WITH A PLASTER FINISH-COLOR TO BE SELECTED BY OWNER.
 - POOL SHELL: (AS A MINIMUM) (CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERED SHOP DRAWINGS)
 - STEEL-
 - FLOOR AND WALLS TO HAVE A GRID OF #4 REAR @ 10" EACH WAY.
 - BOND BEAM TO HAVE FOUR CONTINUOUS #4 BARS.
 - ALL STEEL.
 - BAR ENDS TO OVERLAP ATTACHED EXTENSION BARS A MINIMUM OF FORTY TIMES THEIR DIAMETER. NO HORIZONTAL OVERLAPS SHALL OCCUR AT THE CORNERS OF THE BOND BEAM.
 - ALL STEEL SHALL BE BLOCKED OUT 2" FROM EXCAVATION SOIL.
 - CONCRETE-
 - FLOOR AND WALLS TO BE A MINIMUM 8" THICK AT ANY LOCATION.
 - BOND BEAM TO BE A MINIMUM OF 12" THICK AT THE TOP AND 12" DEEP AT BACK AND TAPERED 45° TO THE BACK OF THE POOL WALL.
 - THE SHELL IS TO HAVE AIR-PLACED CONCRETE WITH A MINIMUM OF 7 SACKS OF CEMENT PER CUBIC YARD WITH 3/8" ROCK AGGREGATE. MINIMUM CONCRETE STRENGTH TO BE 3000 PSI. MAXIMUM CONCRETE SLUMP SHALL BE 4".
 - THE POOL DEPTH IS TO BE 3'-0" AT THE STEPS AND 4'-6" AT THE MAIN DRAIN AS MEASURED FROM THE WATER LINE.
 - PROVIDE 4" STANDARD DEPTH MARKER INSERTS FOR POOL WALLS AND AT EDGE OF DECK
 - THE POOL DIMENSIONS SHOWN ARE TO THE INSIDE OF THE POOL WALL BEFORE PLASTER.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN WITH THE PLAN AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM BY THIS WORK.
 - POOL DECK SURFACE AND BANDING TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CITY AND STATE HEALTH CODES AND REQUIREMENTS FOR SWIMMING POOLS, WHETHER OR NOT THEY ARE ADDRESSED ON THE PLANS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED POOL EQUIPMENT, I.E. PUMPS, SKIMMERS, RETURNS, FILTERS AND TO COMPLY WITH ALL STATE AND LOCAL CODES.
 - POOL EQUIPMENT ENCLOSURE SHALL HAVE A CRUSHED GRAVEL BASE. REFER TO DETAIL 3/1A.

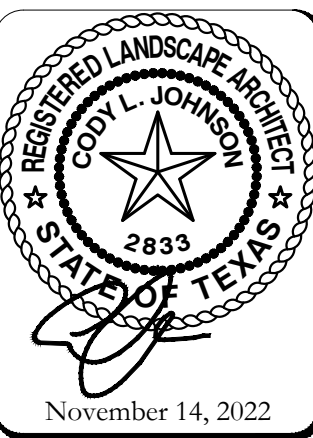
- ### FENCE LAYOUT NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
 - DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
 - THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 - ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
 - ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
 - THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.



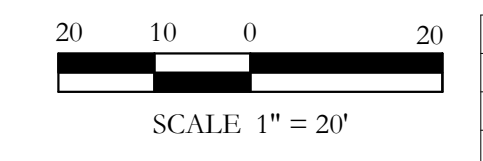
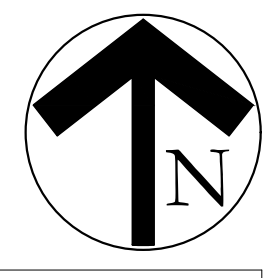


GRADING NOTES

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2. TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
3. ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
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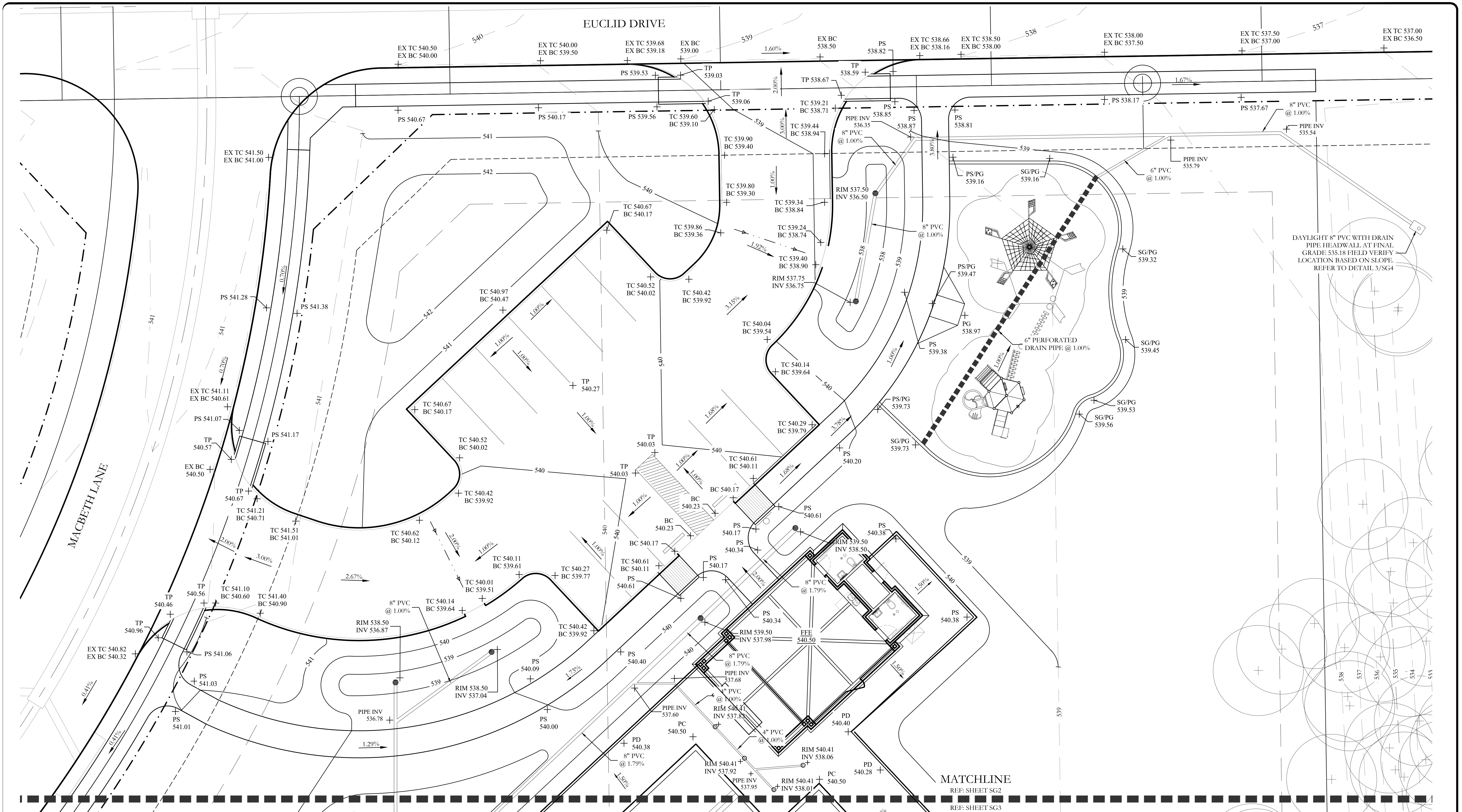


SCALE:
 REFER TO PLANS
 One Inch
 JVC No. MJP006



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CITY CASE NUMBER TBD.



DAYLIGHT 8" PVC WITH DRAIN PIPE HEADWALL AT FINAL GRADE 535.18 FIELD VERIFY LOCATION BASED ON SLOPE. REFER TO DETAIL 3/SG4

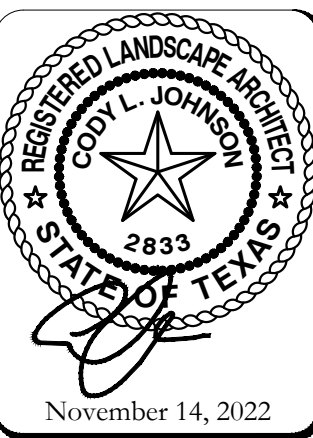
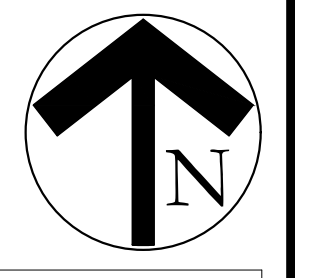
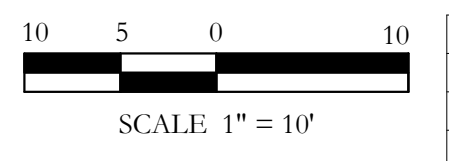
GRADING LEGEND

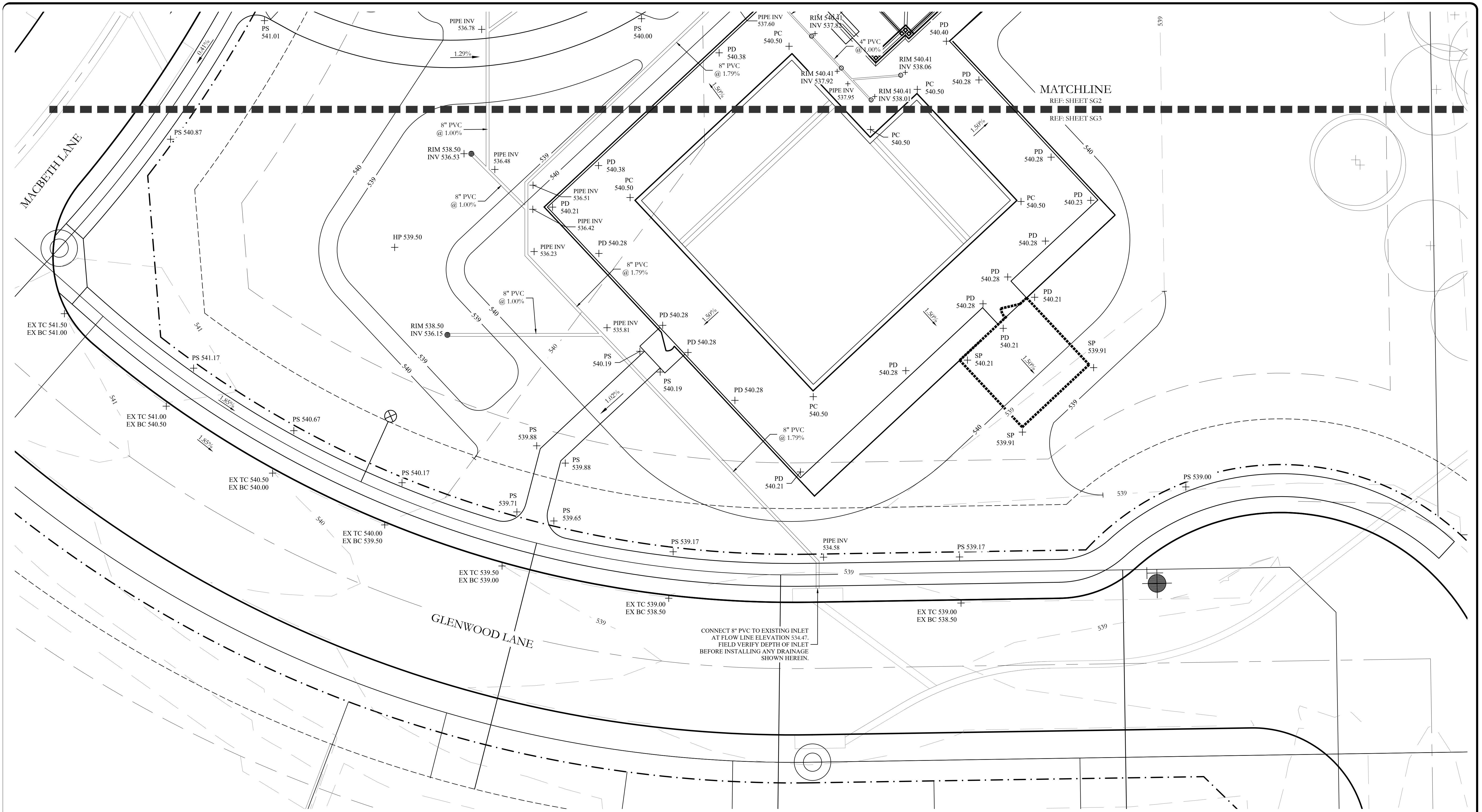
PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
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PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

THE CONTRACTOR SHALL FIELD VERIFY THAT NO CROSS SLOPES FOR PEDESTRIAN PAVING EXCEED 2%.

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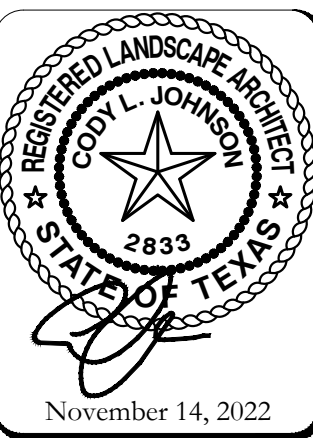
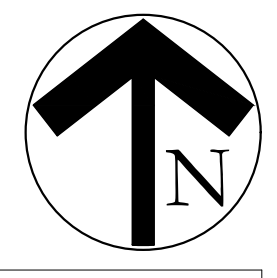
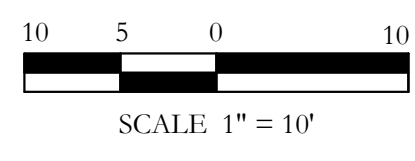
GRADING LEGEND

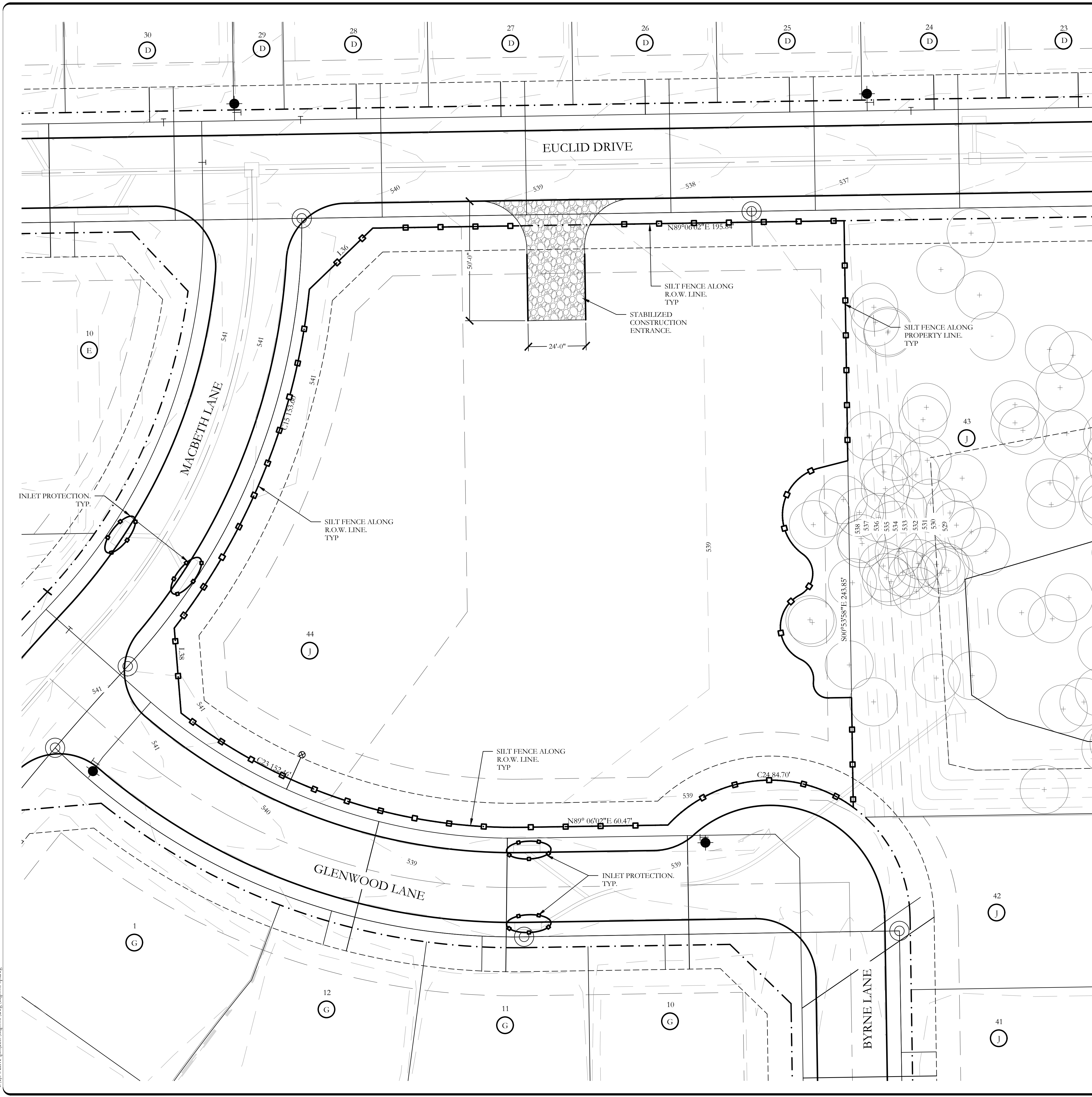
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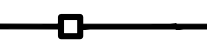

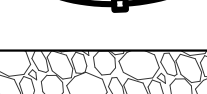
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LEGEND

-  SILT FENCE WITH WIRE MESH BACKING
-  INLET PROTECTION
-  STABILIZED CONSTRUCTION ENTRANCE

REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

EROSION CONTROL NOTES

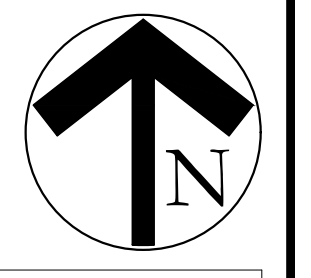
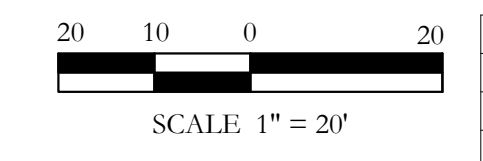
1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
3. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
4. THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
12. IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

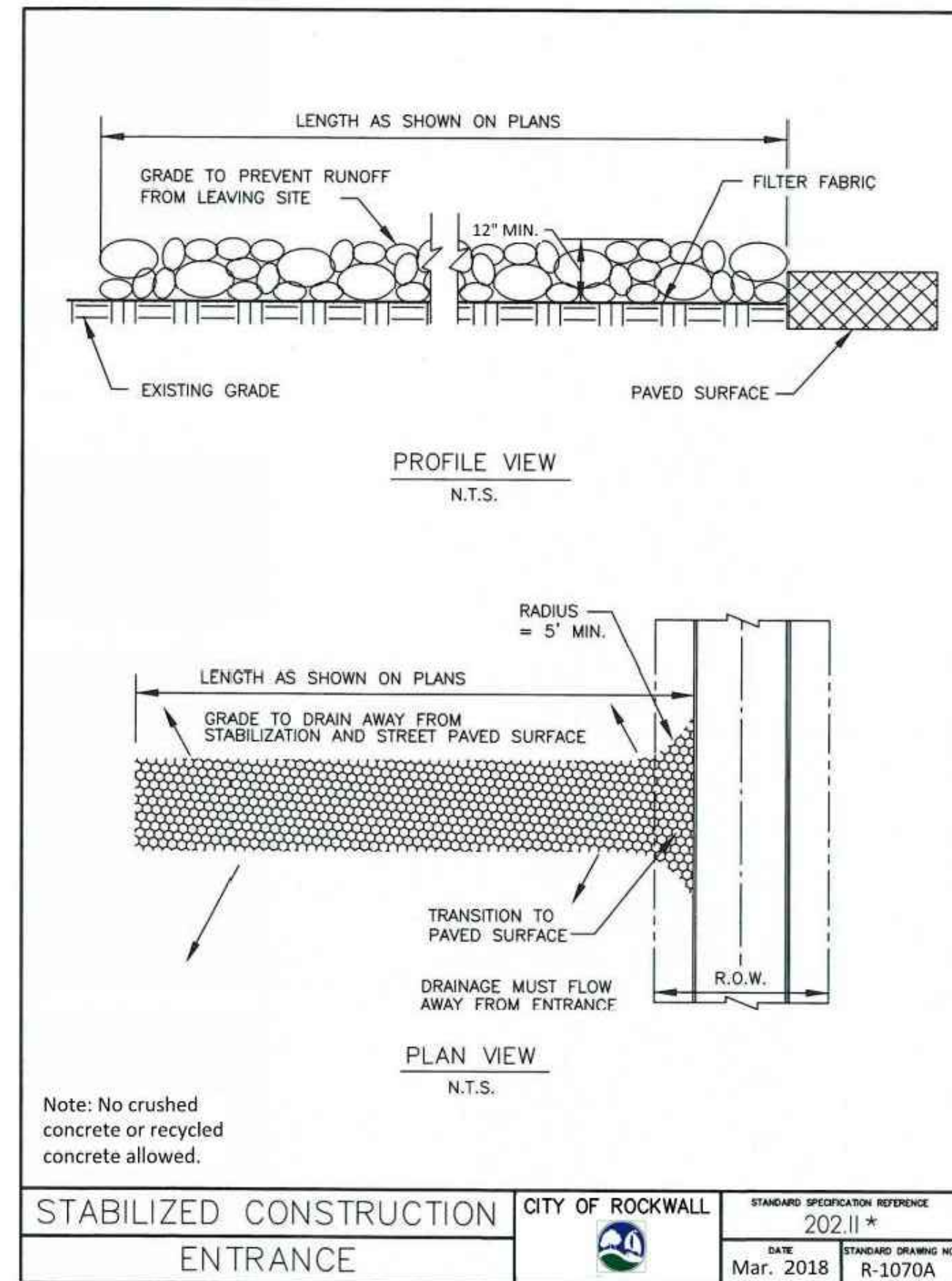
SILT FENCE CONSTRUCTION NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOOD/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
9. AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

STABILIZED CONSTRUCTION ENTRANCE NOTES

1. STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3"-5" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
3. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.

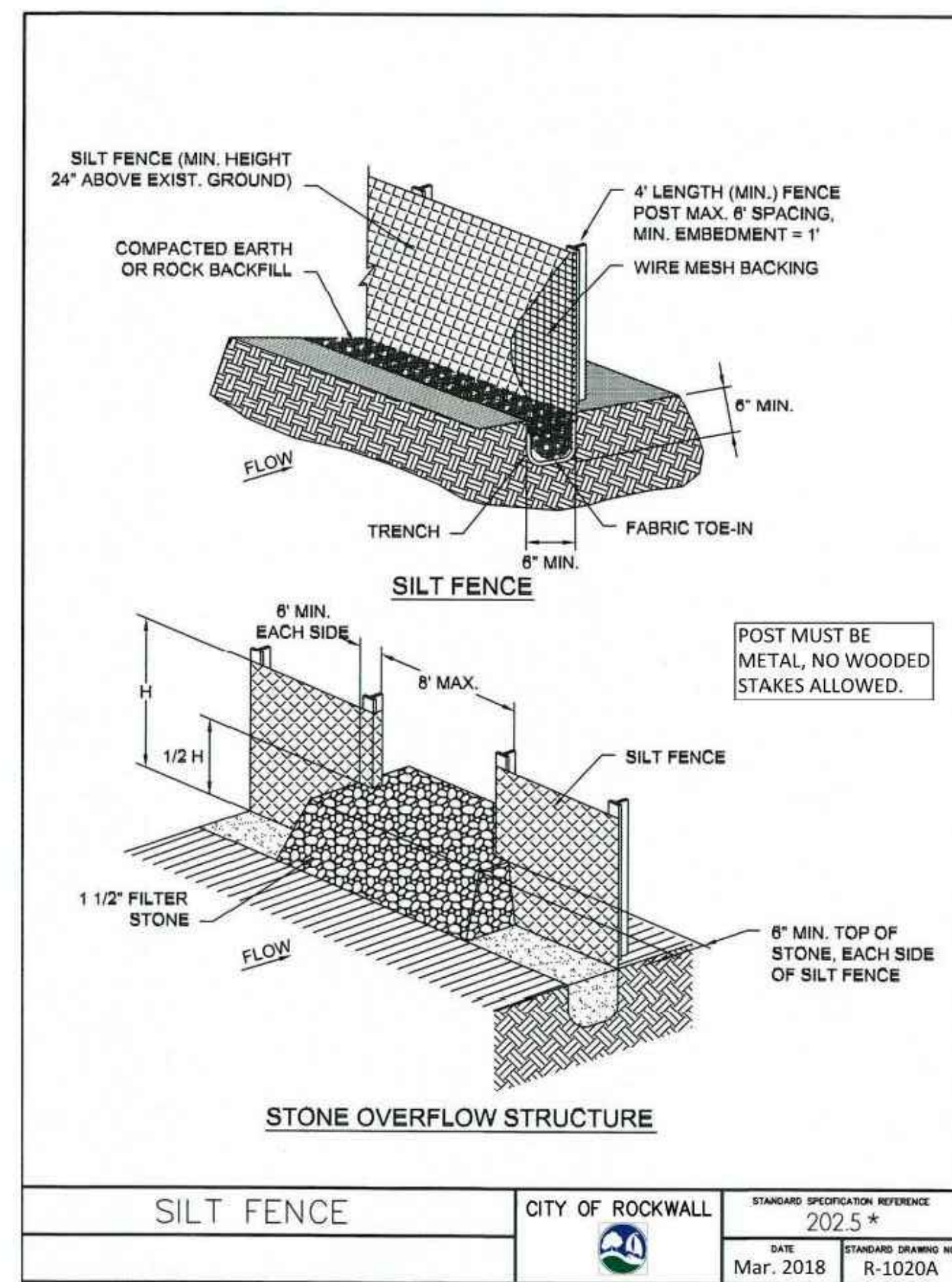




STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11 *
		DATE Mar. 2018 STANDARD DRAWING NO. R-1070B



SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5 *
		DATE Mar. 2018 STANDARD DRAWING NO. R-1020B



February 10, 2023

TO: Cody Johnson
Johnson Volk Consulting
704 Central Parkway East, Suite 1200
Plano, TX 75074

CC: Kyle Tressler
Qualico Development, Inc.
6950 TPC Drive, Suite 350
Rockwall, TX 75087

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-060; *PD Site Plan for Nelson Lakes Amenity Center*

Cody Johnson:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on December 13, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On December 13, 2022, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 7-0.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue horizontal line.

Henry Lee, AICP, *Planner*
City of Rockwall Planning and Zoning Department

Lee, Henry

From: Valerie Williamson <valerie.williamson@johnsonvolk.com>
Sent: Monday, December 5, 2022 3:00 PM
To: Lee, Henry
Cc: Cody Johnson
Subject: Nelson Lakes Estates Amenity Center (SP2022-060)
Attachments: MJP006-City Submittal 12-06-2022.pdf; MJP006-Comment Response Letter 12-06-2022.pdf

Hello Henry,

Please find attached our plans for the resubmittal for Nelson Lakes States Amenity Center. Let us know if you need anything else.

Thank you,

Valerie Williamson, RLA, LI | Project Manager
Registered Landscape Architect #3767, TX
LI 23,206



704 Central Parkway East | Suite 1200 | Plano | TX 75074
972-201-3100 (office)
913-269-2795 (mobile)
972-201-3099 (fax)
www.johnsonvolk.com

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Lee, Henry

From: Lee, Henry
Sent: Friday, December 16, 2022 2:52 PM
To: 'Valerie Williamson'
Cc: Cody Johnson
Subject: RE: Nelson Lakes Estates Amenity Center (SP2022-060)
Attachments: Development Comments (12.06.2022).docx

Good Afternoon,

Attached are the remaining staff comments. Email me the revised plans to ensure comments have been addressed. Then once I give you the go ahead, you can send me a hard copy to be signed. Let me know if you have any questions.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

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Lee, Henry

From: Cody Johnson <cody.johnson@johnsonvolk.com>
Sent: Wednesday, January 4, 2023 2:59 PM
To: Lee, Henry
Cc: Valerie Williamson
Subject: Re: Nelson Lakes Estates Amenity Center (SP2022-060)
Attachments: E2.01.pdf; E1.02.pdf

Hi Henry,

Happy New Year.

Please find the two revised sheets per the last comments received.

If you need anything further, please let me know anytime.

Take care,

Cody Johnson, RLA, ASLA LI | Executive Vice President
Registered Landscape Architect #2833, TX
LI 17,132



704 Central Parkway East | Suite 1200 | Plano | TX 75074
972-201-3100 (office-main)
469-649-1919 EXT 222 (office-direct)
903-570-0162 (mobile)
972-201-3099 (fax)
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From: Lee, Henry <HLee@rockwall.com>
Sent: Friday, December 16, 2022 2:51 PM
To: Valerie Williamson <valerie.williamson@johnsonvolk.com>
Cc: Cody Johnson <cody.johnson@johnsonvolk.com>
Subject: RE: Nelson Lakes Estates Amenity Center (SP2022-060)

Good Afternoon,

Attached are the remaining staff comments. Email me the revised plans to ensure comments have been addressed. Then once I give you the go ahead, you can send me a hard copy to be signed. Let me know if you have any questions.

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Henry Lee, AICP
Planner
Planning & Zoning Department
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Thank you,

Valerie Williamson, RLA, LI | Project Manager
Registered Landscape Architect #3767, TX
LI 23,206

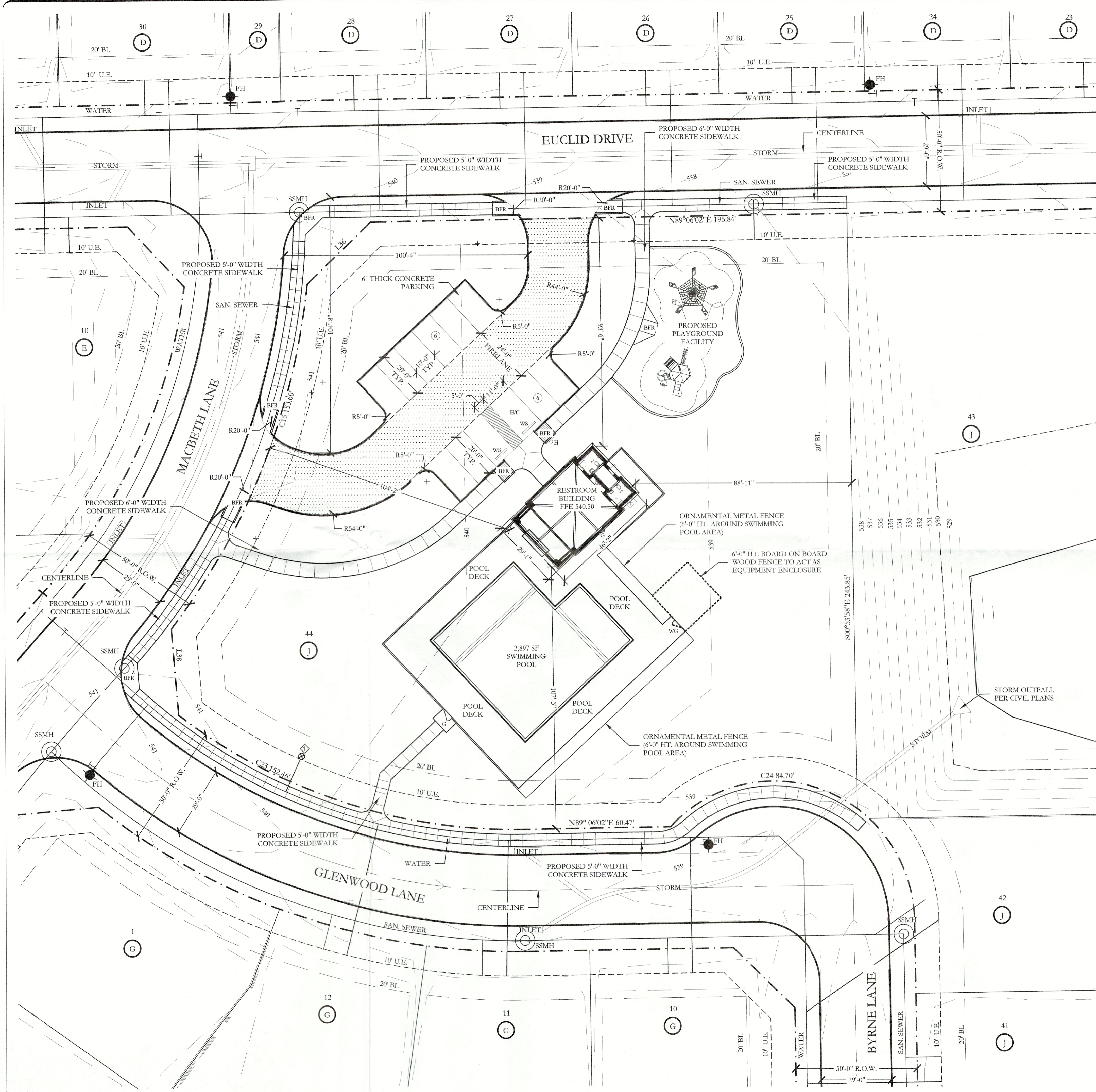


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LEGEND

⑥	PROPOSED PARKING COUNT	⊠	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	⌈	1'-4" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	⌋	1'-4" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	WG	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 539.95	FINISHED FLOOR ELEVATION
—	EXISTING CURB INLET	⊠	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 13 day of December, 2022.

WITNESS OUR HANDS, this 13 day of December, 2022

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER		SAN. SERVICE SIZE
			DOM.	IRR.	
538	1"	1"	X		4"
537	1"	1"			
536	1"	1"			
535	1"	1"			
534	1"	1"			
533	1"	1"			
532	1"	1"			
531	1"	1"			
530	1"	1"			
529	1"	1"			

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 (1,342.68/61,114.68)
 LOT COVERAGE: 2.20%

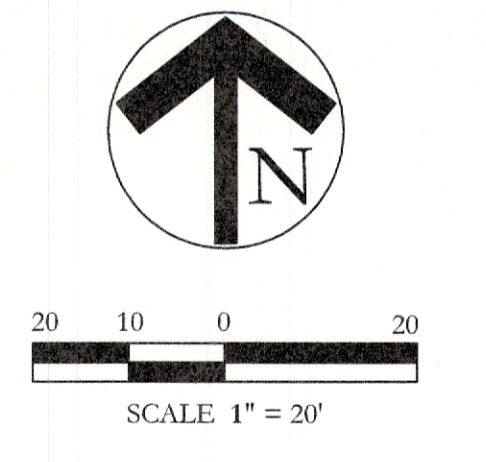
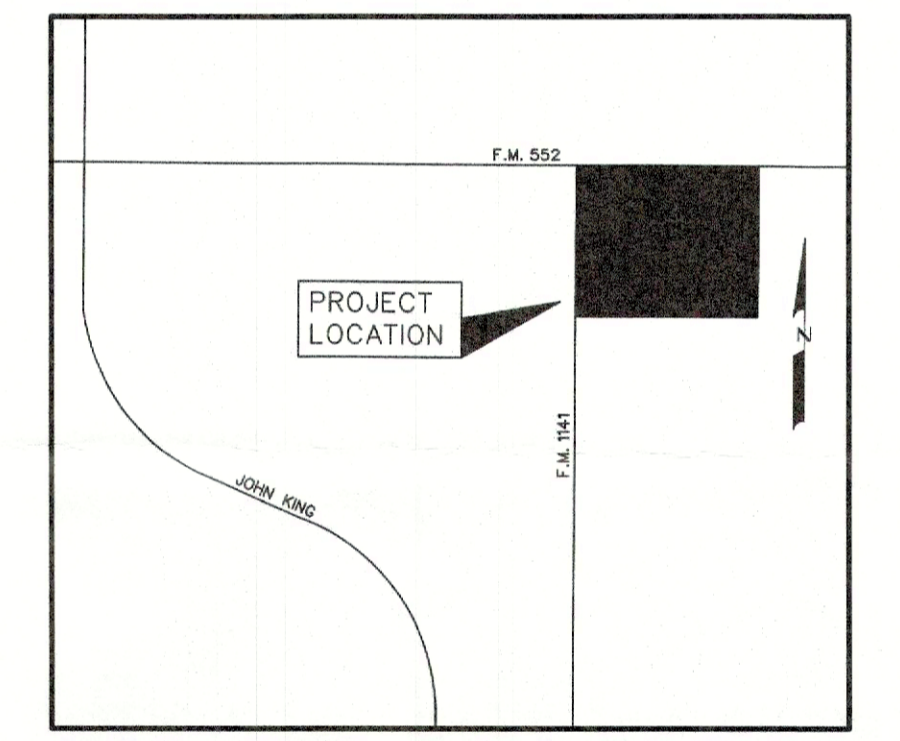
PARKING REQUIRED: 1 PER 250 SF OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
 - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

SITE PLAN
NELSON LAKE ESTATES
LOT 44, BLOCK J
~AMENITY CENTER~

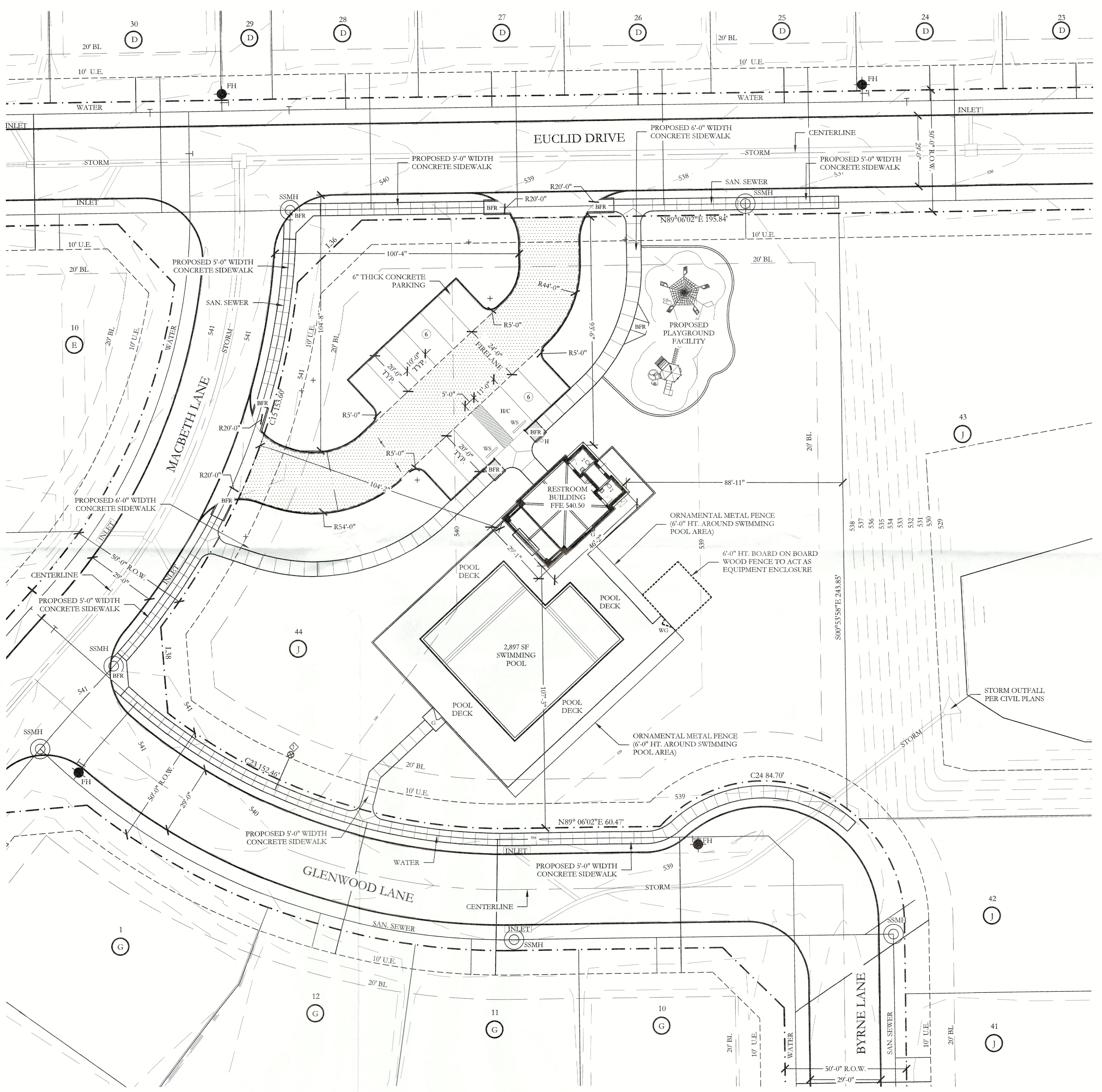
BEING 1.403 ACRES OUT OF THE
 J.M. GASS SURVEY
 ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, R.L.A., A.S.L.A., LI



January 12, 2023



LEGEND

⑥	PROPOSED PARKING COUNT	⬢	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING FLOOR INTERVAL
—	EXISTING STORM	---	FINISHED CEILING ELEVATION
—	EXISTING CURB INLET	---	FFE 539.95
WS	PROPOSED CONCRETE WHEEL STOP	---	FIRELANE PAVING PER CITY STANDARD DETAILS

- ### SWIMMING POOL NOTES
- THE SWIMMING POOL PLAN SHOWN IS FOR GENERAL LAYOUT OF THE POOL AREA ONLY. THE SWIMMING POOL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POOL EQUIPMENT, PIPING, GUNITE SHELL, TILE, COPING, ELECTRICAL AND JUNCTION BOXES, PERMITS AND CITY CODE ACCEPTANCE OF ALL THE LISTED ITEMS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DESIGN AND ENGINEERING OF THE POOL'S STRUCTURAL AND HYDRAULIC ELEMENTS.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. THE SHOP DRAWINGS SHALL CONTAIN THE LAYOUT, SHELL DETAIL, STRUCTURAL DETAILS, SCHEMATIC PIPING DIAGRAMS AND "CUT SHEETS" FOR ALL PROPOSED POOL EQUIPMENT.
 - THE GENERAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ROUGH GRADING THE POOL AREA.
 - THE POOL CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE POOL AND SETTING FINISHED GRADE AS PER PLANS. SEE THE POOL LAYOUT PLANS FOR PROPOSED GRADING OF THE POOL AREA. THE OWNER'S REPRESENTATIVE SHALL REVIEW THE POOL LAYOUT AND PROPOSED ELEVATIONS BEFORE EXCAVATION BEGINS.
 - ALL REQUIRED UTILITIES ARE TO BE SUPPLIED BY THE GENERAL CONTRACTOR TO THE LOCATION OF THE POOL EQUIPMENT. THE CONTRACTOR SHALL VERIFY LOCATION OF THE POOL EQUIPMENT WITH THE OWNER.
 - THE GUNITE VESSEL IS TO BE GROUNDED PER CITY CODE.
 - POOL PIPING SHALL BE SCHEDULE 40 PVC. FLEXIBLE PVC WILL NOT BE ALLOWED.
 - ALL POOL DECKS SHALL HAVE A MINIMUM 3% SLOPE AWAY FROM POOL FOR DRAINAGE.
 - ALL GRADES ADJACENT TO WALKS AND POOL DECKS CONSTRUCTED BY THE POOL CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE POOL CONTRACTOR TO ACHIEVE THE CORRECT ELEVATION.
 - THE POOL SHELL SHALL BE GUNITE WITH A PLASTER FINISH-COLOR TO BE SELECTED BY OWNER.
 - POOL SHELL: (AS A MINIMUM) (CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERED SHOP DRAWINGS)
 - STEEL
 - FLOOR AND WALLS TO HAVE A GRID OF #4 REAR @ 10" EACH WAY.
 - BOND BEAM TO HAVE FOUR CONTINUOUS #4 BARS.
 - ALL STEEL
 - BAR ENDS TO OVERLAP ATTACHED EXTENSION BARS A MINIMUM OF FORTY TIMES THEIR DIAMETER. NO HORIZONTAL OVERLAPS SHALL OCCUR AT THE CORNERS OF THE BOND BEAM.
 - ALL STEEL SHALL BE BLOCKED OUT 2" FROM EXCAVATION SOIL.
 - CONCRETE
 - FLOOR AND WALLS TO BE A MINIMUM 8" THICK AT ANY LOCATION.
 - BOND BEAM TO BE A MINIMUM OF 12" THICK AT THE TOP AND 12" DEEP AT BACK AND TAPERED 45° TO THE BACK OF THE POOL WALL.
 - THE SHELL IS TO HAVE AIR-PLACED CONCRETE WITH A MINIMUM OF 7 SACKS OF CEMENT PER CUBIC YARD WITH 3/8" ROCK AGGREGATE. MINIMUM CONCRETE STRENGTH TO BE 3200 PSI. MAXIMUM CONCRETE SLUMP SHALL BE 4".
 - THE POOL DEPTH IS TO BE 3'-0" AT THE STEPS AND 4'-6" AT THE MAIN DRAIN AS MEASURED FROM THE WATER LINE.
 - PROVIDE 4" STANDARD DEPTH MARKER INSERTS FOR POOL WALLS AND AT EDGE OF DECK.
 - THE POOL DIMENSIONS SHOWN ARE TO THE INSIDE OF THE POOL WALL BEFORE PLASTER.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN WITH THE PLAN AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM BY THIS WORK.
 - POOL DECK SURFACE AND BANDING TO BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CITY AND STATE HEALTH CODES AND REQUIREMENTS FOR SWIMMING POOLS, WHETHER OR NOT THEY ARE ADDRESSED ON THE PLANS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED POOL EQUIPMENT, I.E. PUMPS, SKIMMERS, RETURNS, FILTERS AND TO COMPLY WITH ALL STATE AND LOCAL CODES.
 - POOL EQUIPMENT ENCLOSURE SHALL HAVE A CRUSHED GRAVEL BASE. REFER TO DETAIL 3/14.

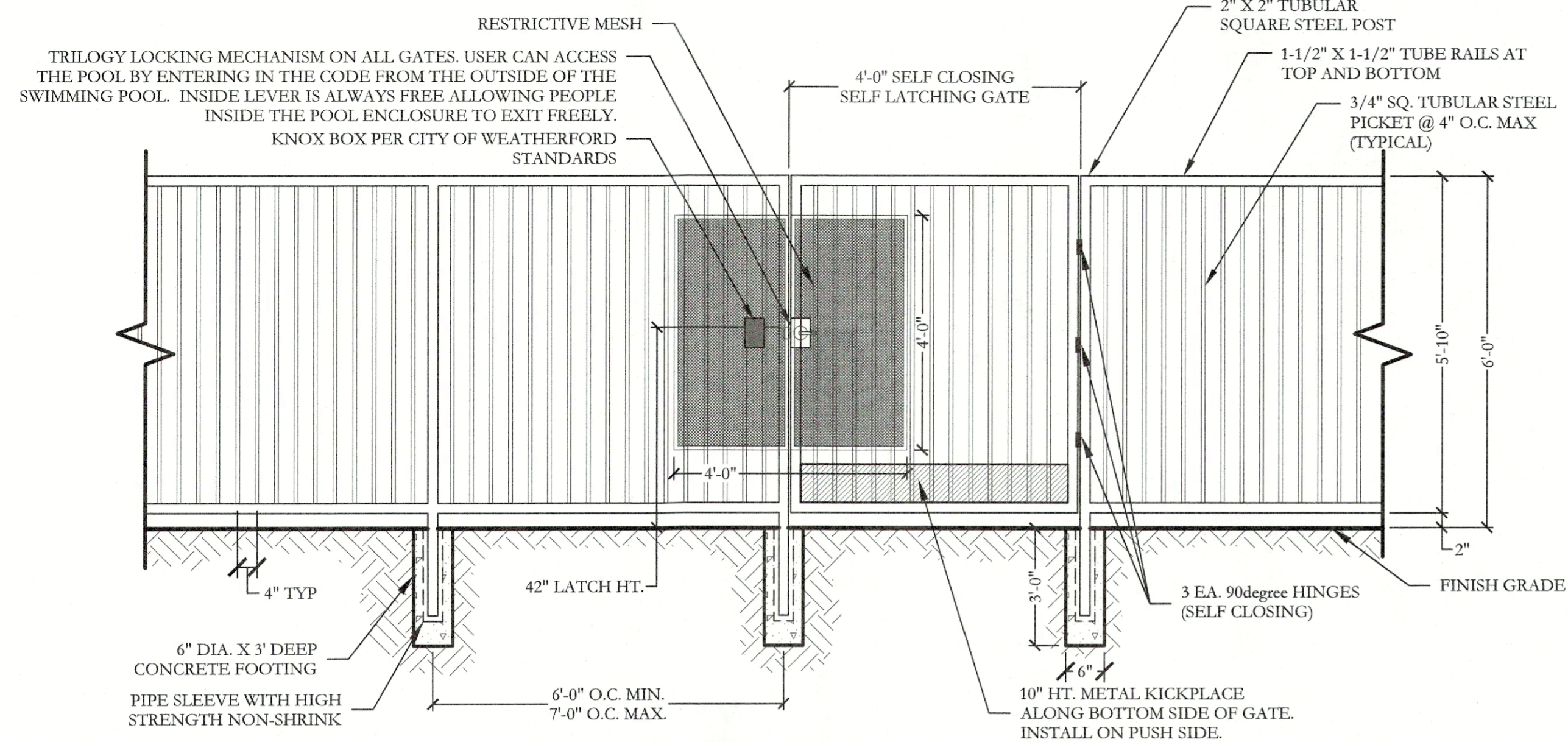
- ### FENCE LAYOUT NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
 - DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
 - THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 - ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
 - ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
 - THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 13 day of December 2022.

[Signature]
Chairman

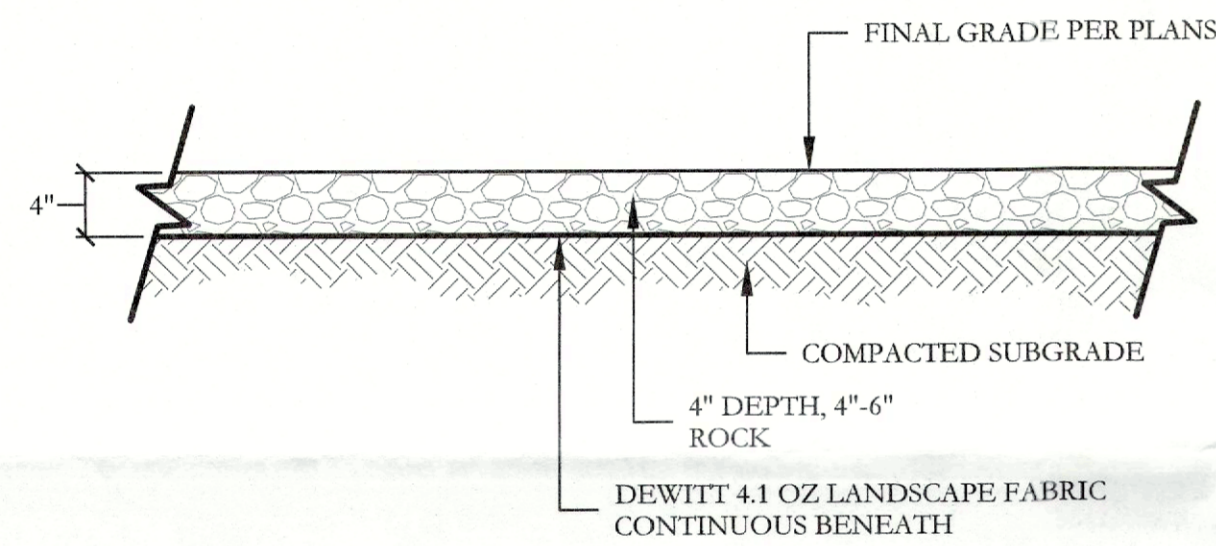
[Signature]
Director of Planning & Zoning

20 10 0 20
SCALE 1" = 20'



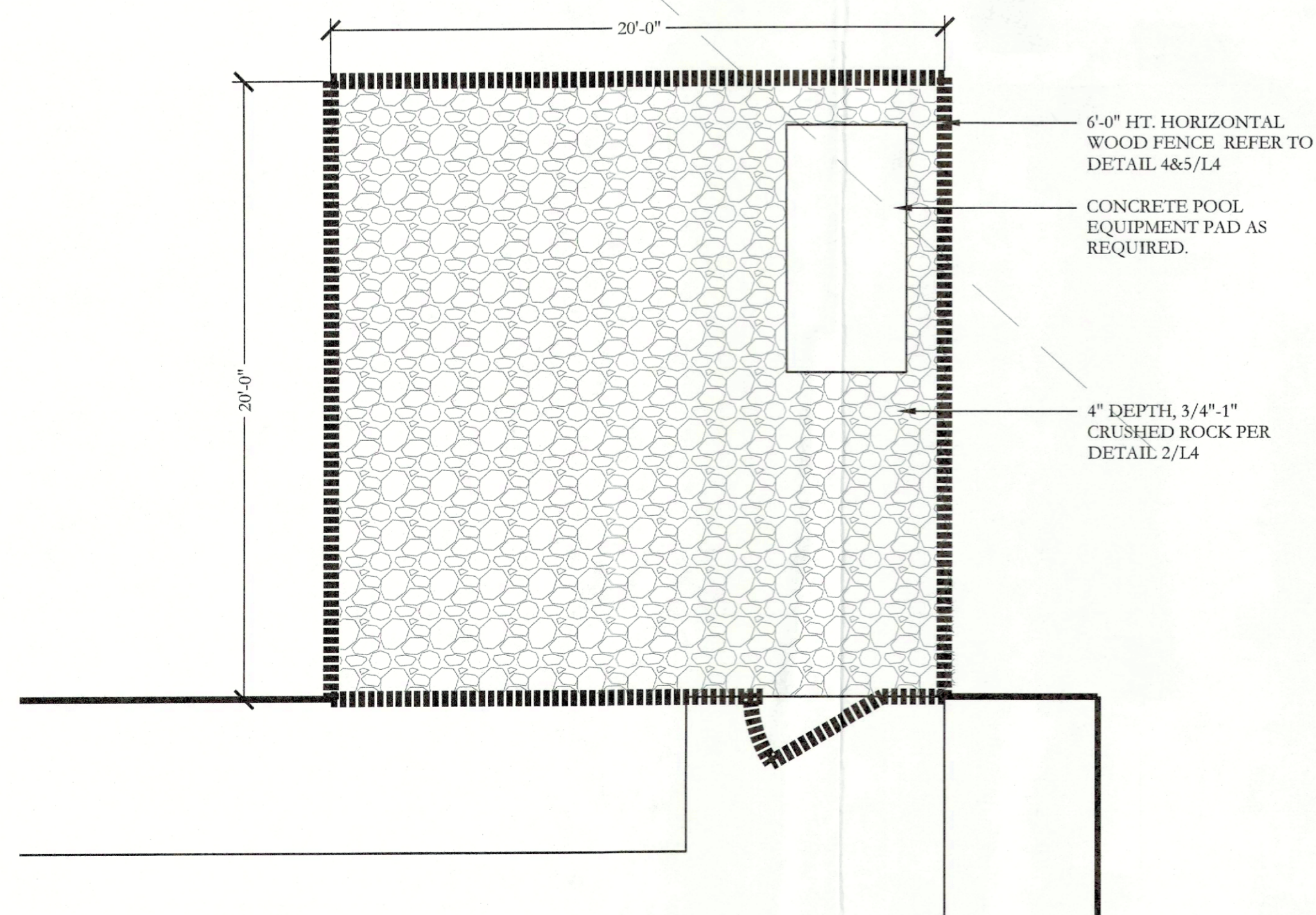
1 ORNAMENTAL METAL FENCE AND GATE ELEVATION

SCALE: 1/2" = 1'-0"



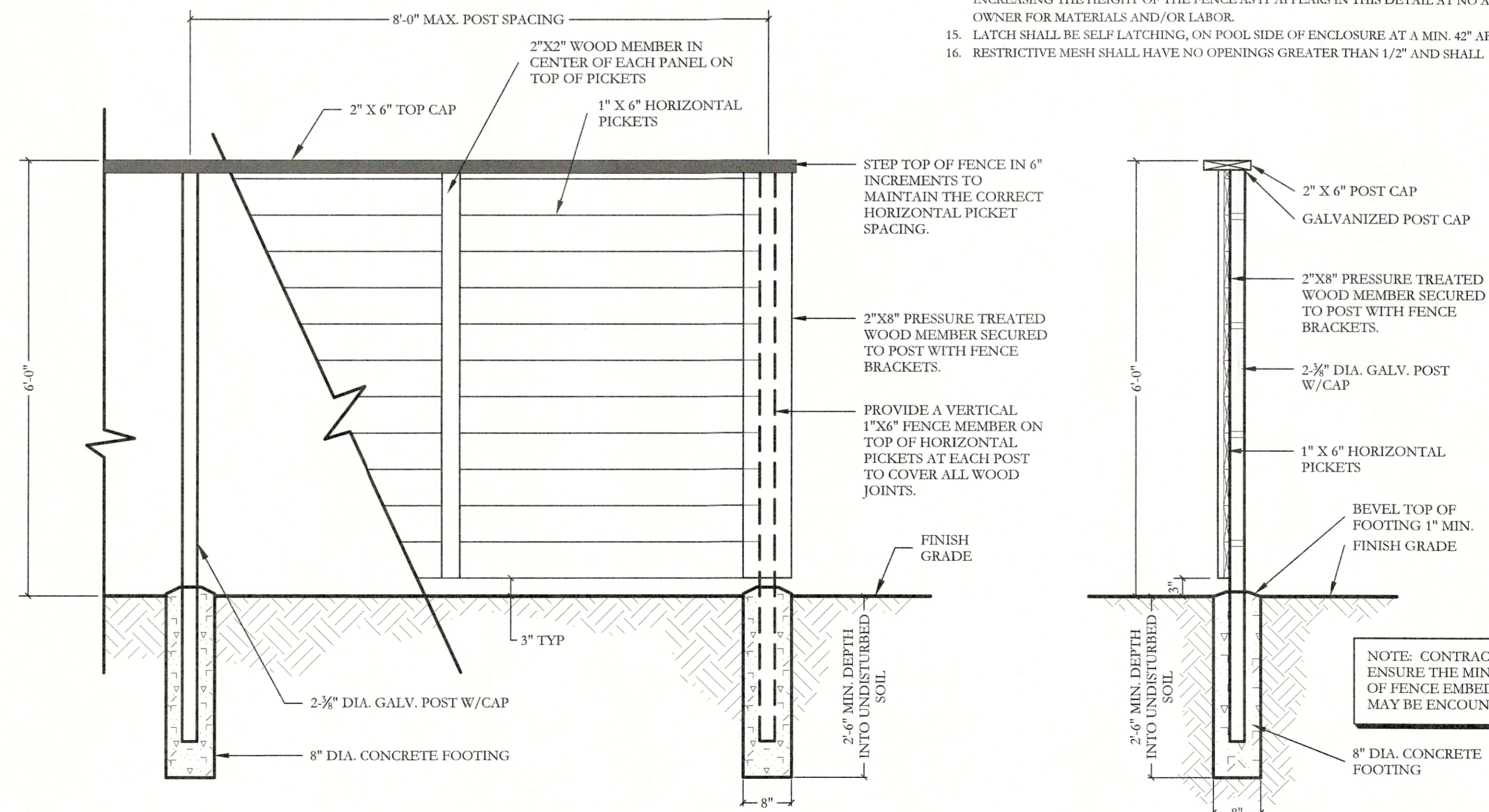
2 CRUSHED ROCK BASE SECTION

SCALE: 1" = 1'-0"



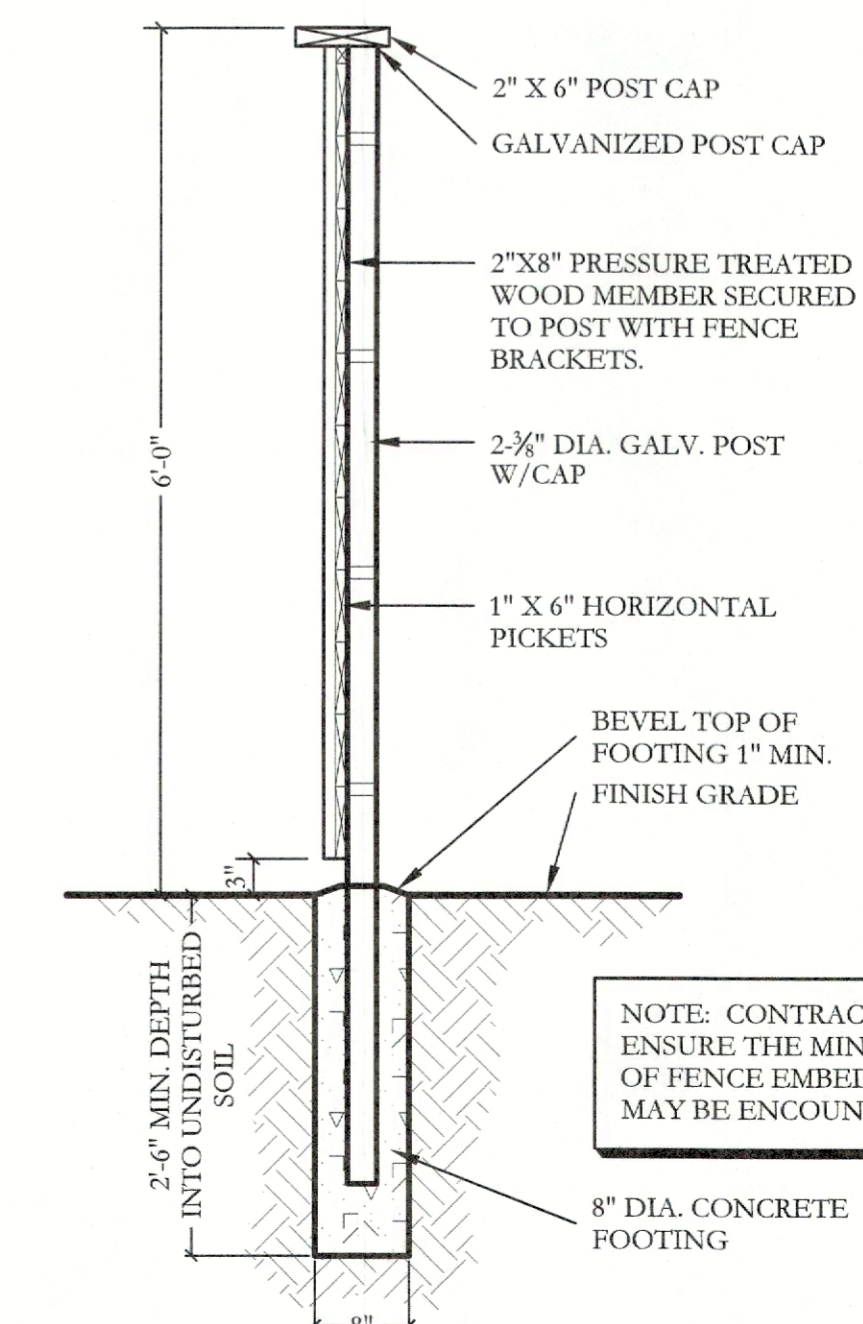
3 POOL EQUIPMENT & TRASH TOTE ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



4 PARTIAL 6'-0" HT. WOOD FENCE ELEVATION

SCALE: 3/4" = 1'-0"



5 6'-0" HT. WOOD FENCE SECTION

SCALE: 3/4" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Commission of the Planning & Zoning Commission on the 13th day of December, 2022. [EAR].

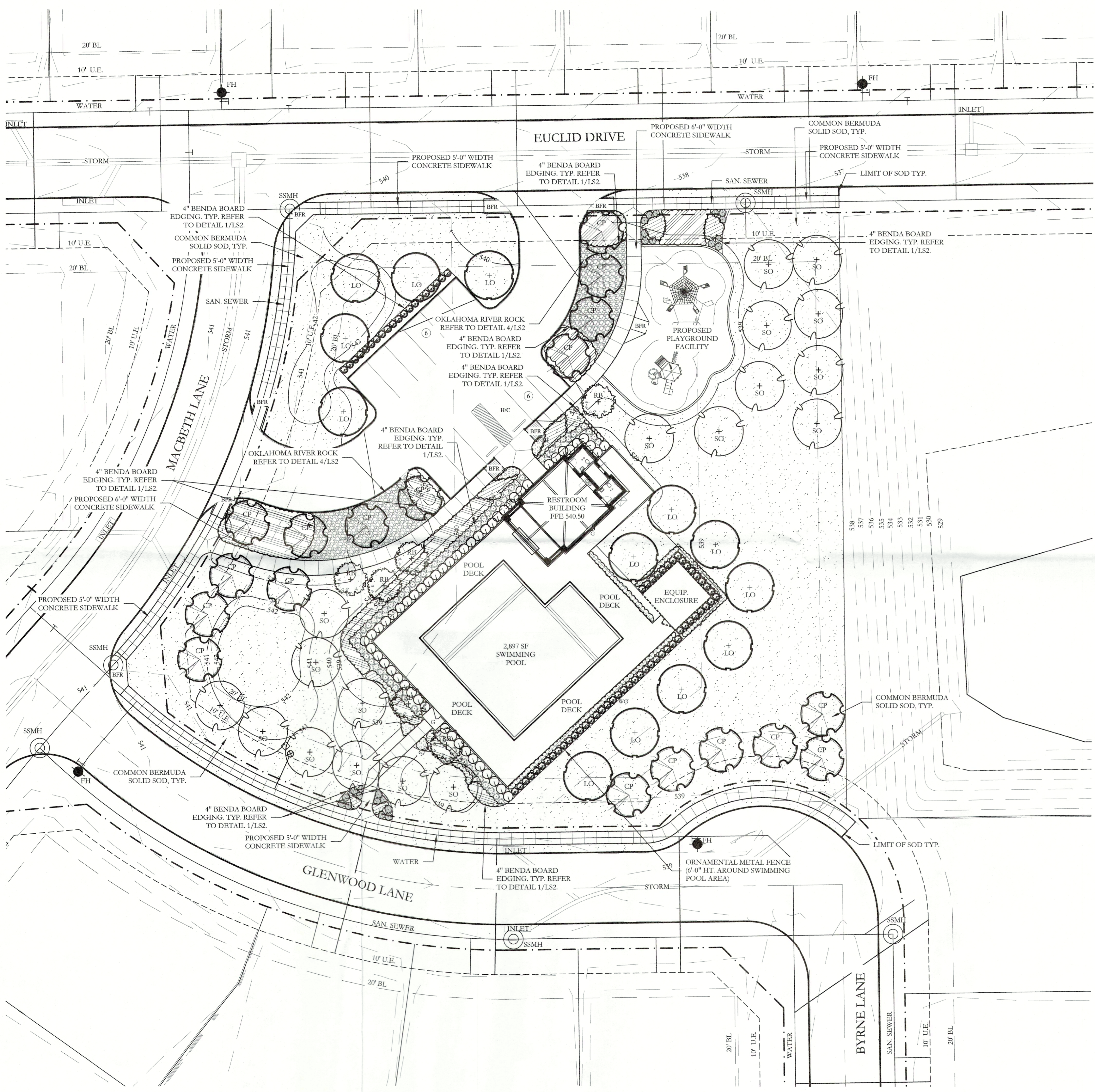
WITNESSES:
[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning & Zoning

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
9. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 9.1. PICKETS, 3/4" SQUARE 16 GA.
 - 9.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - 9.3. POSTS, 2" SQUARE 11 GA.
10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. GATE IS TO BE SELF CLOSING. FALCON B561DBD26 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL

WOOD FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
 - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
 - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
 - 4.3. CAPS- CEDAR, #2 GRADE OR, BETTER. COLOR TO MATCH PAVILION.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS. STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.405 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

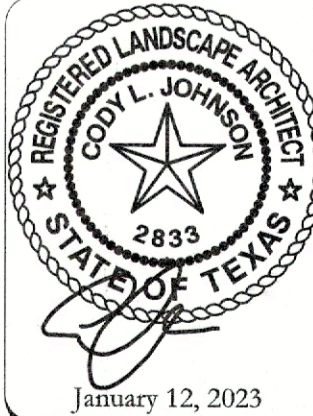
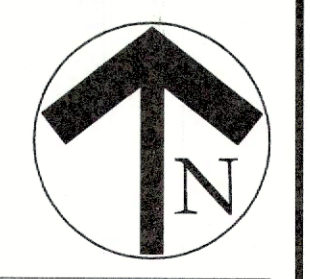
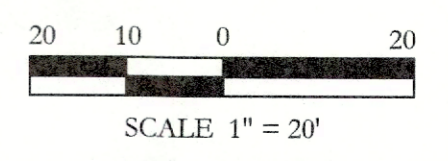
TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 13 day of December, 2022.

APPROVED: [Signature] in the name of the Planning & Zoning Commission, Chairman

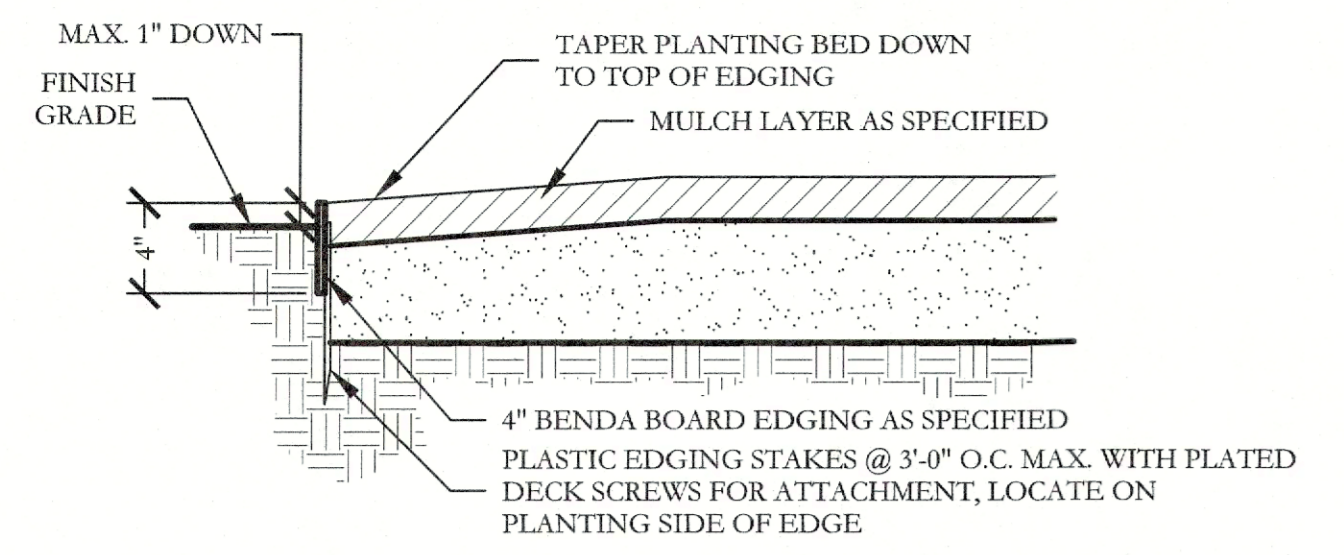
WITNESS: [Signature] Director of Planning & Zoning



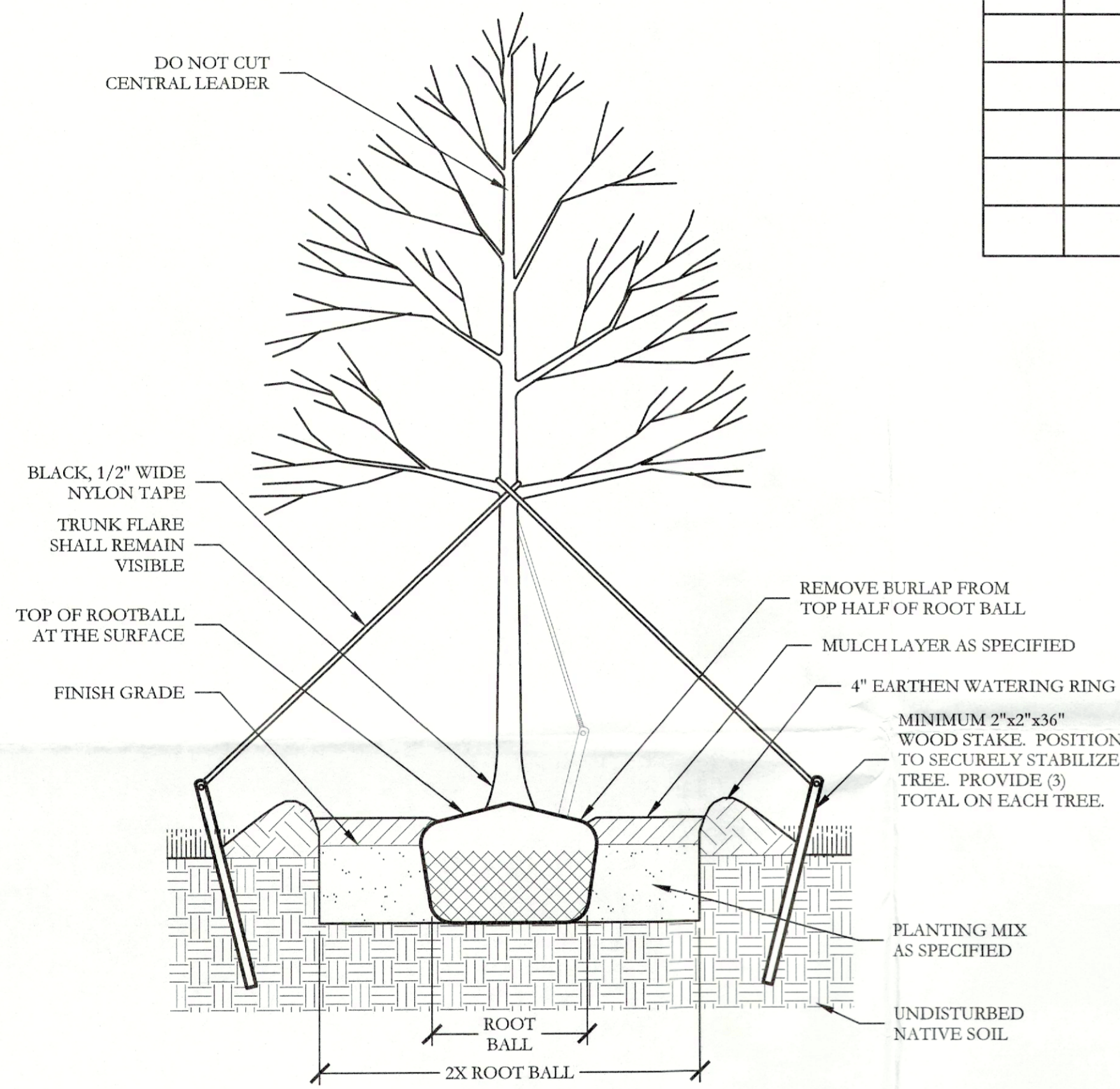
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PLANT LIST

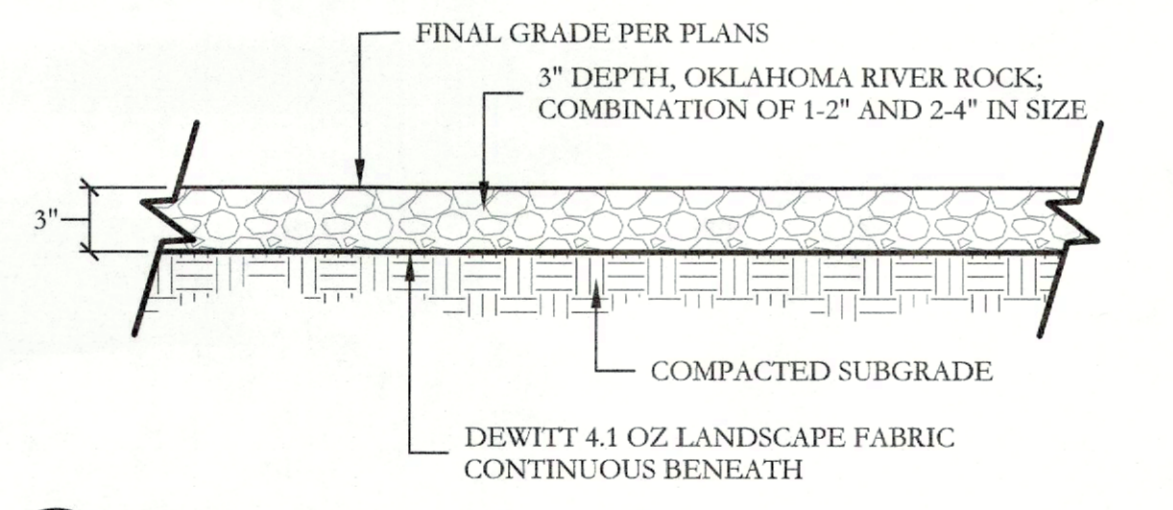
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	18	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	08	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	87	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	200	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	200	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	35,230	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,710	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK



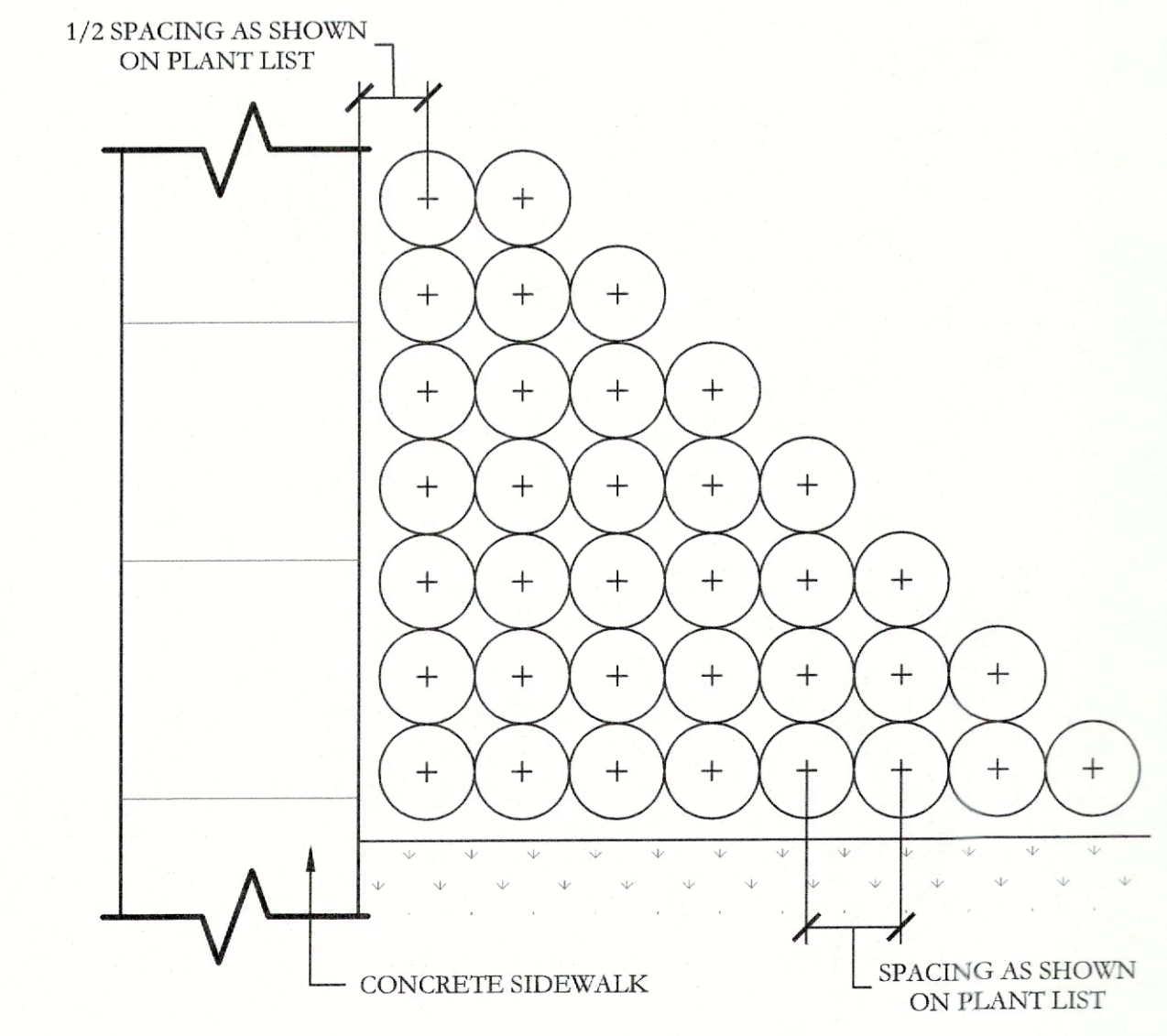
1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



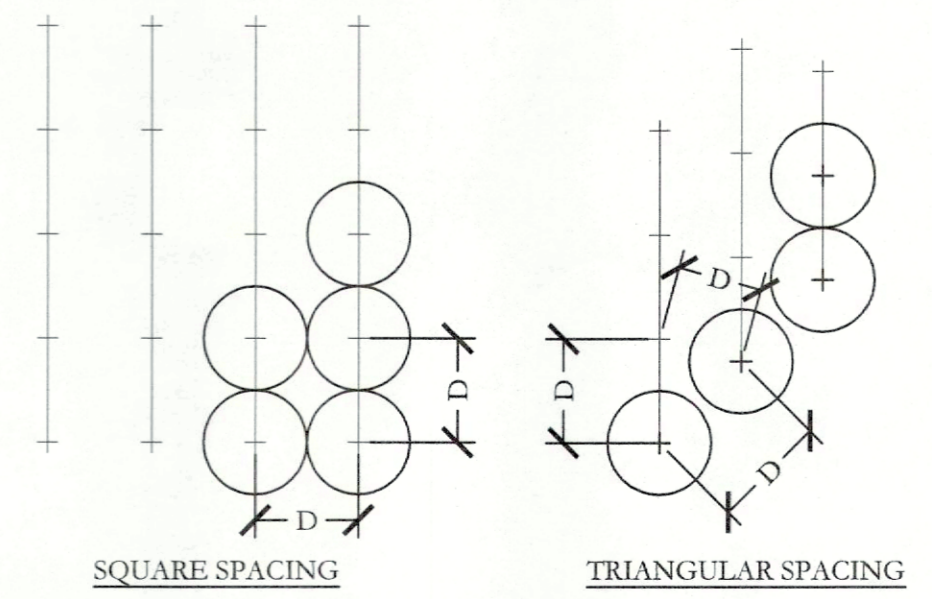
2 TYPICAL TREE PLANTING SECTION NOT TO SCALE



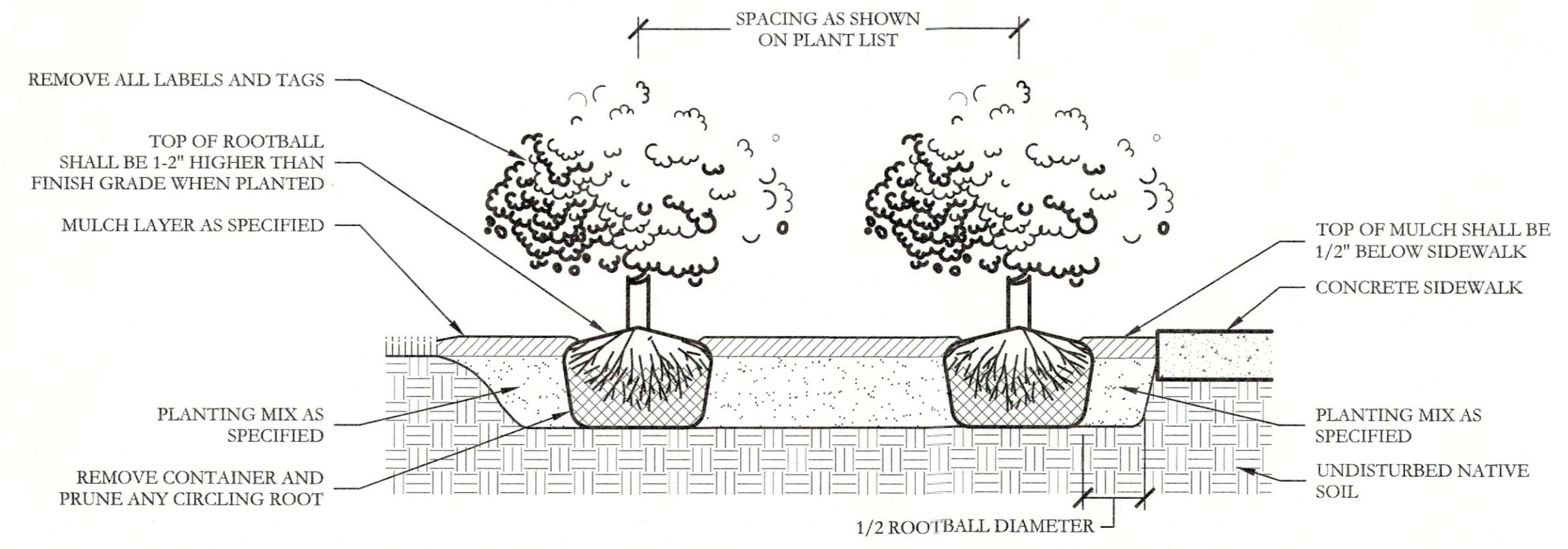
4 OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE



NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



NOT TO SCALE

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT—CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the 15 day of December, 2022.
 WTNE: [Signature]
 Planning & Zoning Chairman, Director of Planning & Zoning

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	207 S.F.	-	206 S.F.	-	218 S.F.	-	378 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	51.21%	104 S.F.	50.49%	203 S.F.	93.12%	272 S.F.	71.96%
NATURAL STONE VENEER (HILLTOP LIMESTONE BY TEXAS STONE DESIGN, INC.)	106 S.F.	51.21%	104 S.F.	50.49%	203 S.F.	93.12%	272 S.F.	71.96%
SECONDARY MATERIAL TOTALS	101 S.F.	48.79%	102 S.F.	49.51%	15 S.F.	6.88%	106 S.F.	28.04%
FIBER CEMENT SIDING (COLOR TO MATCH ROOF SHINGLES)	-	-	-	-	7 S.F.	3.21%	-	-
DOUGLAS FIR BEAMS/COLUMNS (COLOR TO BE SW 9091 HALF-CAFF BY SHERWIN WILLIAMS)	101 S.F.	48.79%	102 S.F.	49.51%	8 S.F.	3.67%	106 S.F.	28.04%
DOOR/WINDOW/OPERABLE LOVER TOTALS	-	-	-	-	-	-	-	-
ROOF (TIMBERLINE NS SHINGLES (WEATHERED WOOD COLOR) BY GAF)	-	-	-	-	-	-	-	-



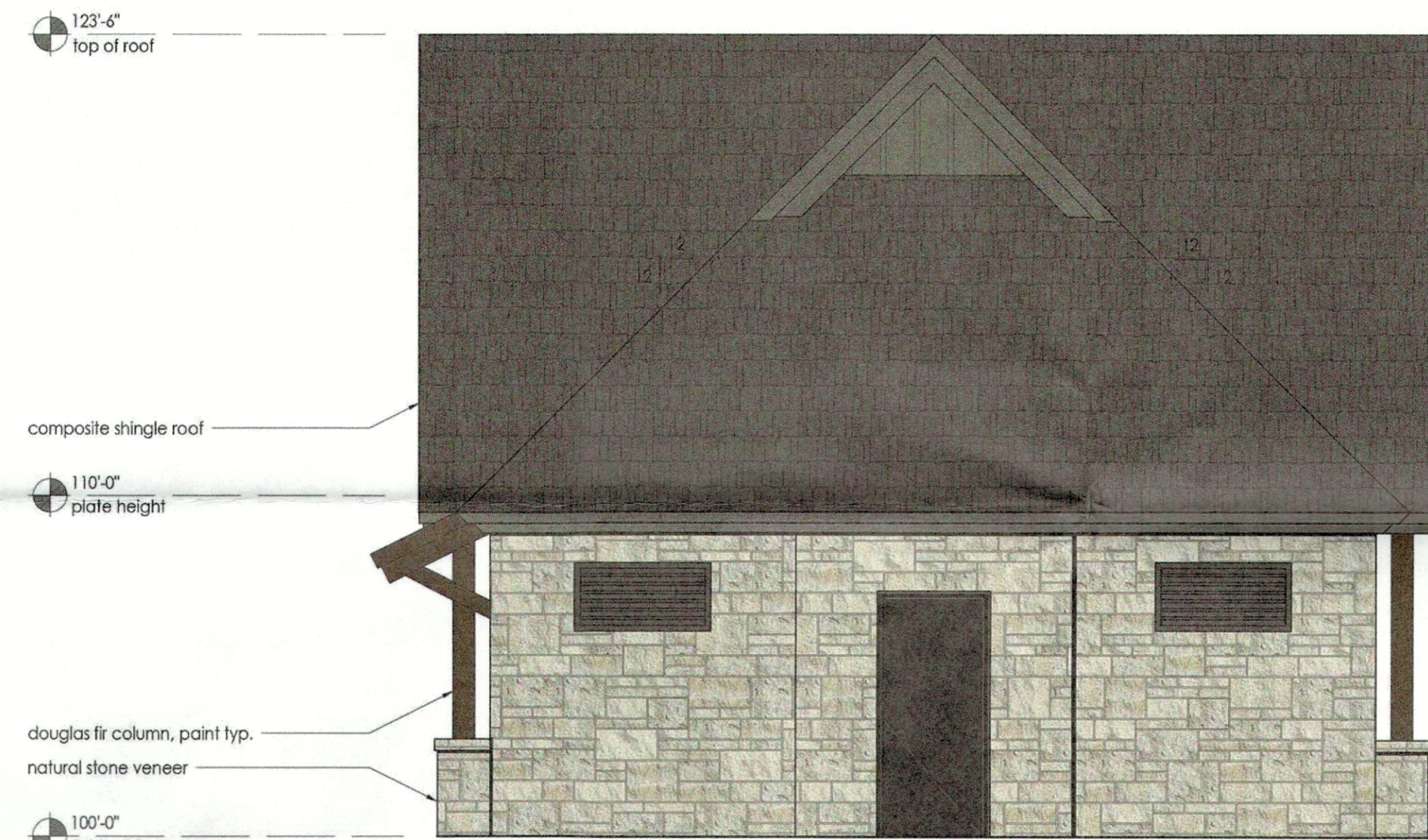
TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



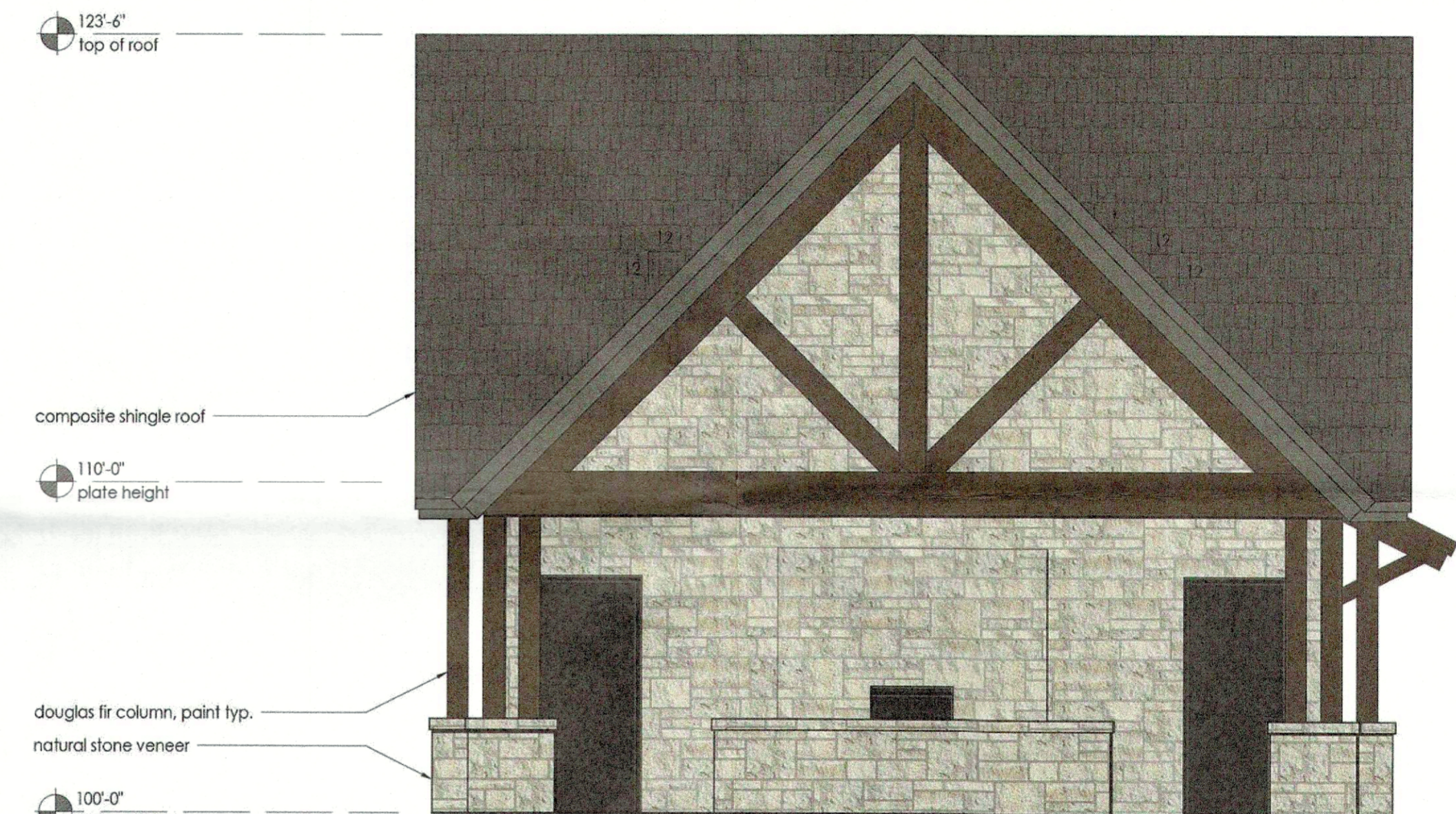
TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091



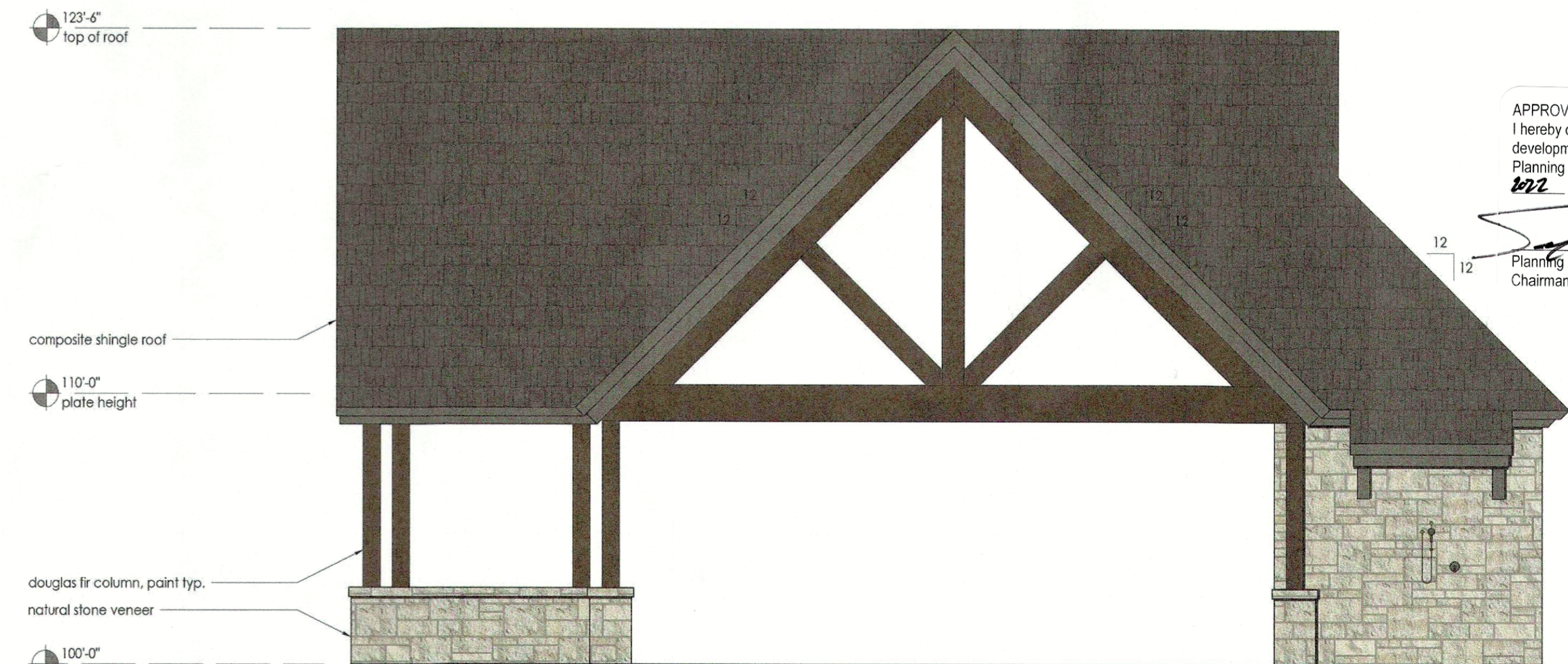
4
SCALE: 1/4"=1'-0"
East Elevation
elevation



3
SCALE: 1/4"=1'-0"
West Elevation
elevation



2
SCALE: 1/4"=1'-0"
North Elevation
elevation



1
SCALE: 1/4"=1'-0"
South Elevation
elevation

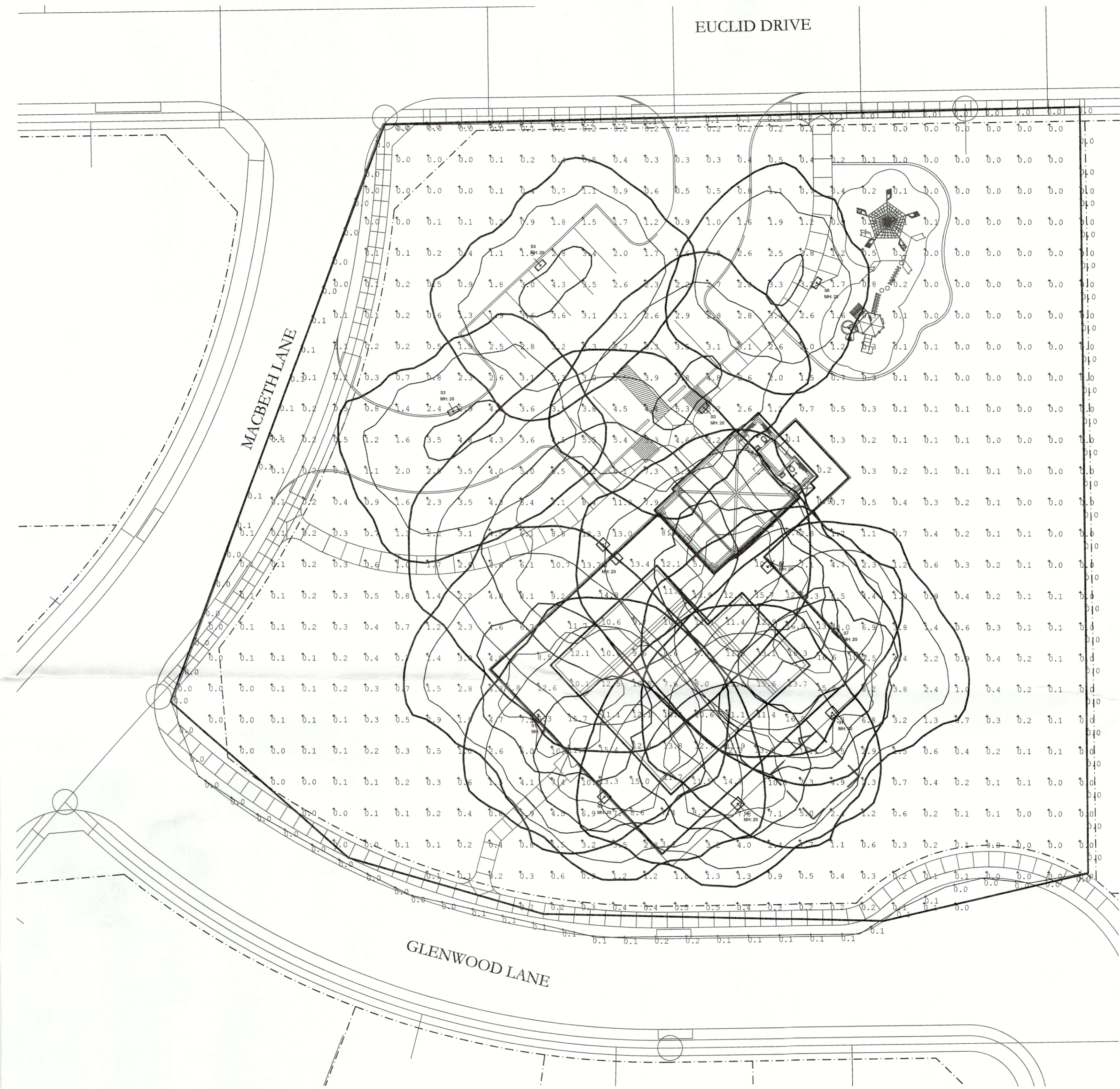
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[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning & Zoning

Copyright © 2022
DATE: 11.29.2022
SCALE:
JOB NO. MA22057
DRAWN: JV
APPD: KM
ACAD #
EXTERIOR ELEVATIONS

DRAWING NO. **A4.00** REV. NO.



1 SITE PLAN - ELECTRICAL - PHOTOMETRICS
SCALE 1" = 20'-0"

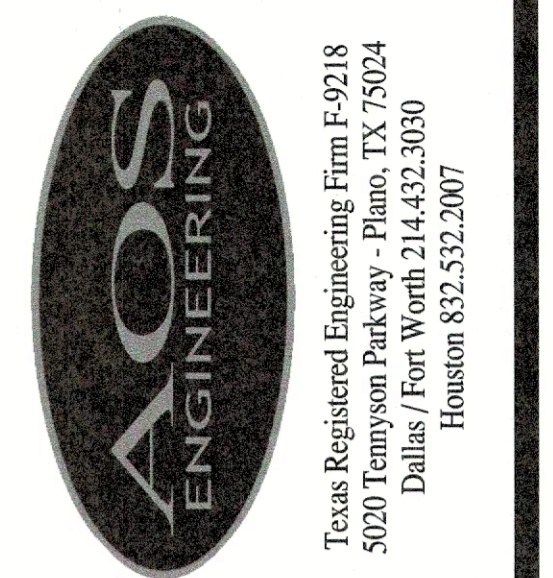
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
⊕	1	S6	SINGLE	N.A.	0.850	EALSO3 D4AF740 WITH ELS-EAL-RS2-BLCK	70	70	70
⊕	1	S5	SINGLE	N.A.	0.850	EALSO3 K4AF740 WITH ELS-EAL-FS2-BLCK	239	239	239
⊕	1	S4	SINGLE	N.A.	0.850	EALSO3 K4AF740 WITH ELS-EAL-FS2-BLCK	239	239	239
⊕	3	S3	SINGLE	N.A.	0.850	EALSO3 D4AF740	70	70	210
⊕	3	S1	SINGLE	N.A.	0.850	EALSO3 J4AF740	186	186	558
⊕	1	S2	D180°	N.A.	0.850	EALSO3 J4AF740	186	372	372
⊕	1	S7	SINGLE	N.A.	0.850	EALPO3 H4AF740 WITH ELS-EAL-RS2-BLCK	151	151	151

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GROUND Planar	Illuminance	Fc	1.56	13.7	0.0	N.A.	N.A.
POOL DECK Planar	Illuminance	Fc	10.89	16.9	0.1	108.90	169.00
POOL SURFACE POOL SURFACE	Illuminance	Fc	11.37	16.3	7.6	1.50	2.14
PROPERTY LINE	Illuminance	Fc	0.04	0.2	0.0	N.A.	N.A.

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[Signature]
Director of Planning & Zoning
Chairman

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



**Nelson Lake
Amenity Center**
Rockwall, TEXAS

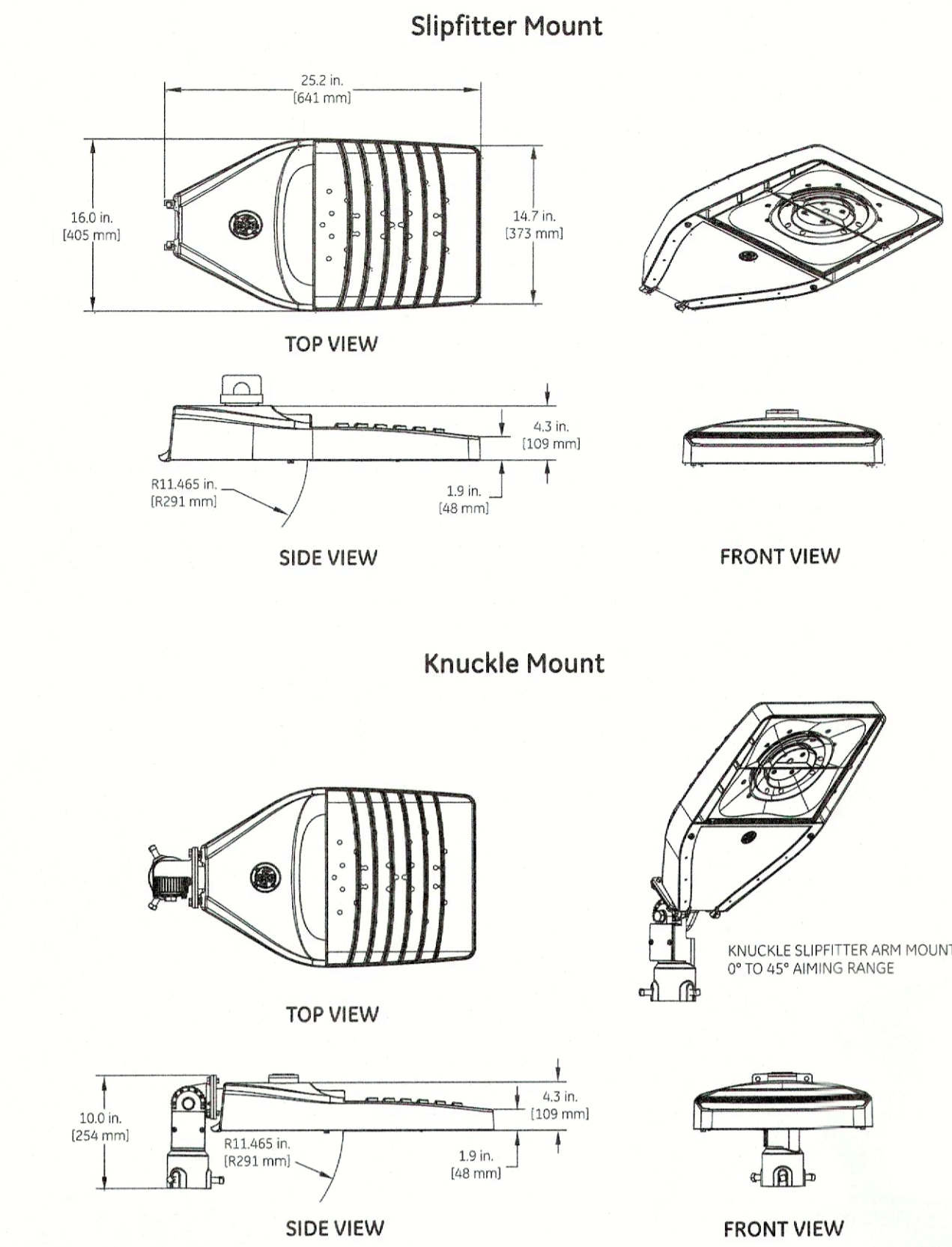
Issue: PERMIT 10/18/2022
Revisions:
CITY REVIEW 01/04/2023

Drawing Title:
**ELECTRICAL -
SITE PLAN
PHOTOMETRICS**

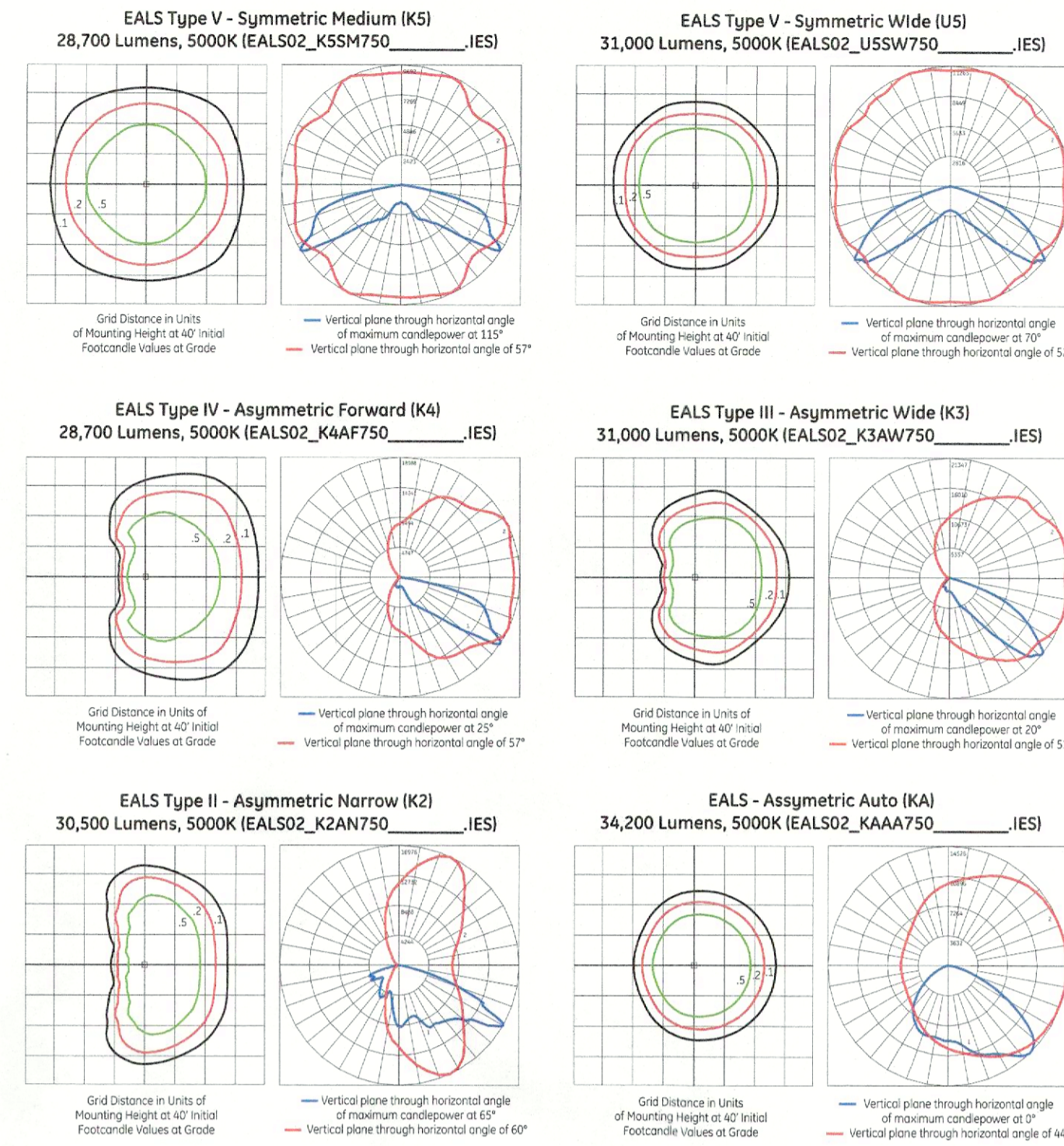
Sheet **E1.02**

AOS JOB #: 3789-001-22

Product Dimensions
Evolve™ LED Area Light (EALS)



Photometrics
Evolve™ LED Area Light (EALS)



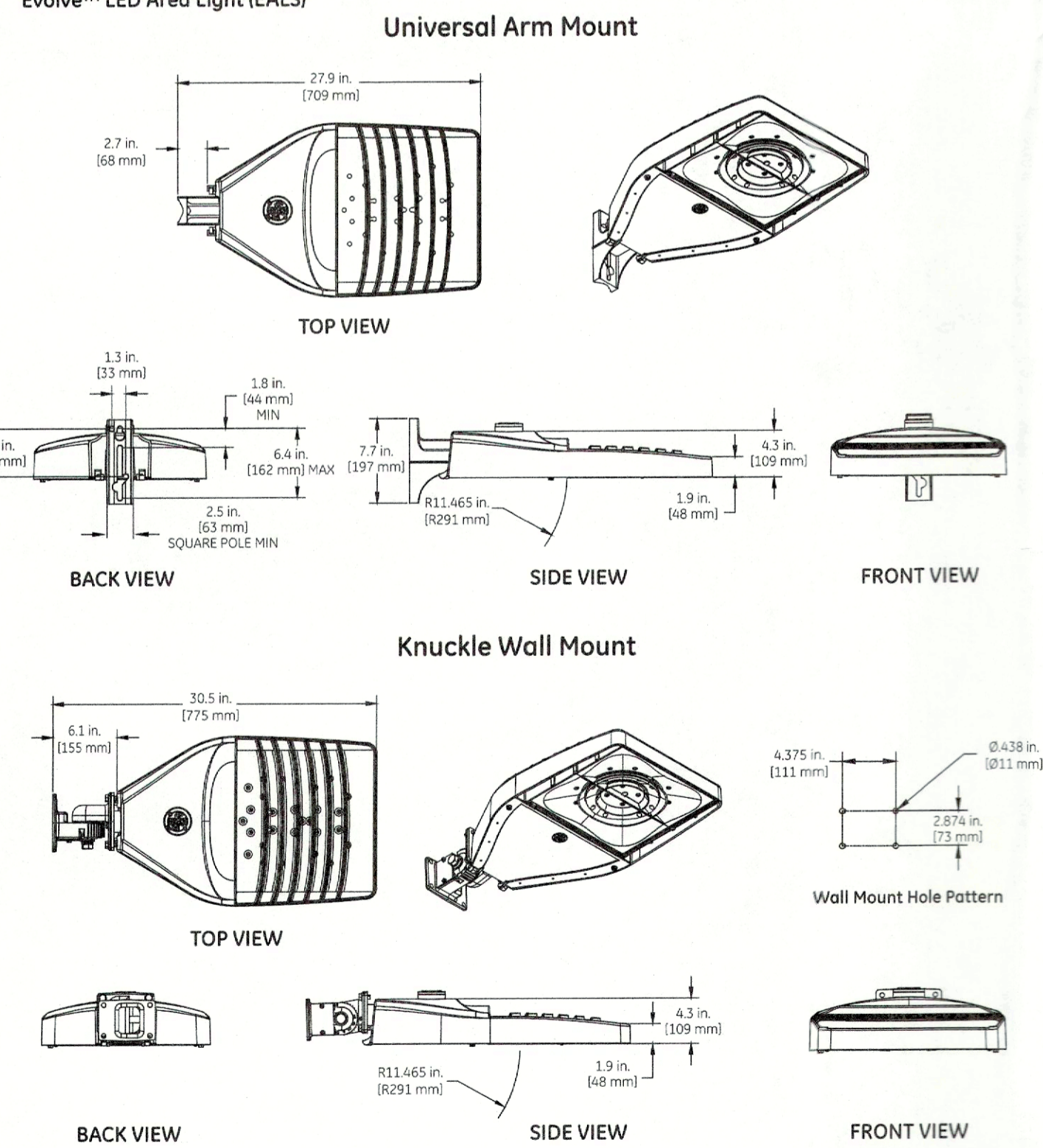
Ordering Number Logic
Evolve™ LED Area Light (EALS)

EALS 02 7

PROD. ID	GENERATION	VOLTAGE	OPTICAL DISTRIBUTION	CR	CC	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
E	Evolve	02 = 2nd Generation	0 = 120-277V 1 = 120 2 = 240 3 = 277	SM = Symmetric SW = Symmetric Wide AF = Asymmetric Forward AW = Asymmetric Wide AN = Asymmetric Narrow AA = Asymmetric Auto	30 = 3000K 40 = 4000K 50 = 5000K	N = Dimming thru PE receptacle D = External PE receptacle C = ANS C136.41 Cable	A = ANS 7 pin PE receptacle P = PE receptacle with shorting cap provided Note: See accessories section on page 7 for PE Control wiring	C1 = Integral Slipfitter 2" Arm, field for round or square pole mounting** K1 = Knuckle Slipfitter for 1.5" to 2.3" O.D. Tenon** S1 = Knuckle Slipfitter for 2.3" to 3.0" O.D. Tenon** V1 = Knuckle Wall Mount**	GRAY = Gray BLACK = Black DARK = Dark WHITE = White	F = Fixing M = Motion C = cUL Canada E = Enhanced Surge Protection (EMV) S1 = Recessed Led S2 = Recessed Light N = NOM311 Hecog U = DALI dimming** D = DALI dimming** 300K = Special Options * Contact Manufacturer for availability ** Compatible with LightGrid 2.0 nodes *** For aimed light, aim light distribution orientation, as assembled in manufacturing. Not applicable for Symmetric or Asymmetric Auto Distributors.

OPTICAL CODE	DISTRIBUTION	TYPICAL INITIAL LUMENS	TYPICAL SYSTEM WATTAGE	BIG BROTHER	IES FILE NUMBER								
TYPE		5000K	120-277V @ 147-480V	5000K	5000K								
DS	Symmetric Medium	9700	10000	74	3	0	2	EALS02_DS5M730	IES	EALS02_DS5M740	IES	EALS02_DS5M750	IES
FS	Symmetric Medium	14400	15000	119	4	0	2	EALS02_FS5M730	IES	EALS02_FS5M740	IES	EALS02_FS5M750	IES
HS	Symmetric Medium	19500	20000	171	4	0	2	EALS02_HS5M730	IES	EALS02_HS5M740	IES	EALS02_HS5M750	IES
JS	Symmetric Medium	24300	25000	230	5	0	3	EALS02_JS5M730	IES	EALS02_JS5M740	IES	EALS02_JS5M750	IES
KS	Symmetric Medium	28100	28700	281	5	0	3	EALS02_KS5M730	IES	EALS02_KS5M740	IES	EALS02_KS5M750	IES
QS	Symmetric Wide	10500	10800	74	3	0	1	EALS02_QS5W730	IES	EALS02_QS5W740	IES	EALS02_QS5W750	IES
OS	Symmetric Wide	15700	16200	119	4	0	2	EALS02_OS5W730	IES	EALS02_OS5W740	IES	EALS02_OS5W750	IES
SS	Symmetric Wide	21000	21600	171	4	0	2	EALS02_SS5W730	IES	EALS02_SS5W740	IES	EALS02_SS5W750	IES
TS	Symmetric Wide	26400	27100	230	5	0	2	EALS02_TS5W730	IES	EALS02_TS5W740	IES	EALS02_TS5W750	IES
US	Symmetric Wide	30200	31000	291	5	0	2	EALS02_US5W730	IES	EALS02_US5W740	IES	EALS02_US5W750	IES
DA	Asymmetric Forward	9700	10000	87	2	0	2	EALS02_DA4F730	IES	EALS02_DA4F740	IES	EALS02_DA4F750	IES
FA	Asymmetric Forward	14400	15000	137	2	0	3	EALS02_FA4F730	IES	EALS02_FA4F740	IES	EALS02_FA4F750	IES
HA	Asymmetric Forward	19500	20000	171	3	0	4	EALS02_HA4F730	IES	EALS02_HA4F740	IES	EALS02_HA4F750	IES
JA	Asymmetric Forward	24300	25000	230	3	0	4	EALS02_JA4F730	IES	EALS02_JA4F740	IES	EALS02_JA4F750	IES
KA	Asymmetric Forward	28100	28700	281	3	0	4	EALS02_KA4F730	IES	EALS02_KA4F740	IES	EALS02_KA4F750	IES
D3	Asymmetric Wide	10500	10800	87	2	0	2	EALS02_D3AW730	IES	EALS02_D3AW740	IES	EALS02_D3AW750	IES
F3	Asymmetric Wide	15600	16100	137	2	0	2	EALS02_F3AW730	IES	EALS02_F3AW740	IES	EALS02_F3AW750	IES
H3	Asymmetric Wide	21000	21600	171	3	0	2	EALS02_H3AW730	IES	EALS02_H3AW740	IES	EALS02_H3AW750	IES
J3	Asymmetric Wide	26400	27100	230	3	0	3	EALS02_J3AW730	IES	EALS02_J3AW740	IES	EALS02_J3AW750	IES
K3	Asymmetric Wide	30200	31000	291	3	0	3	EALS02_K3AW730	IES	EALS02_K3AW740	IES	EALS02_K3AW750	IES
D2	Asymmetric Narrow	10300	10600	87	2	0	2	EALS02_D2AN730	IES	EALS02_D2AN740	IES	EALS02_D2AN750	IES
F2	Asymmetric Narrow	15300	15900	137	3	0	3	EALS02_F2AN730	IES	EALS02_F2AN740	IES	EALS02_F2AN750	IES
H2	Asymmetric Narrow	20700	21300	171	3	0	3	EALS02_H2AN730	IES	EALS02_H2AN740	IES	EALS02_H2AN750	IES
J2	Asymmetric Narrow	25900	26600	230	3	0	3	EALS02_J2AN730	IES	EALS02_J2AN740	IES	EALS02_J2AN750	IES
K2	Asymmetric Narrow	29700	30500	281	3	0	3	EALS02_K2AN730	IES	EALS02_K2AN740	IES	EALS02_K2AN750	IES
KA	Asymmetric Auto	33400	34000	281	4	0	3	EALS02_KAA730	IES	EALS02_KAA740	IES	EALS02_KAA750	IES

Product Dimensions
Evolve™ LED Area Light (EALS)



Accessories
Evolve™ LED Area Light (EALS)

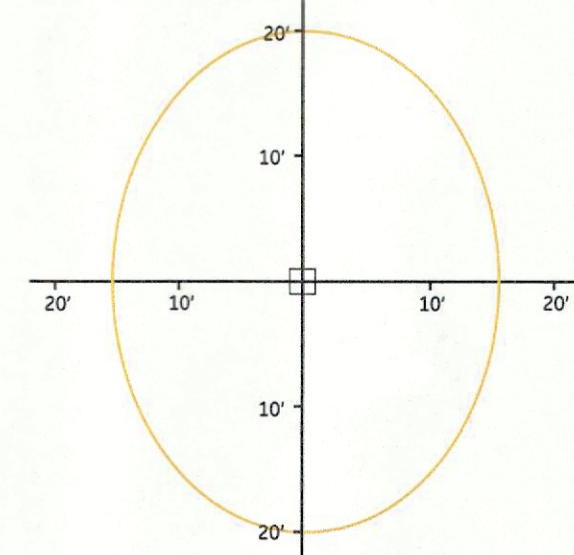
PE Accessories (to be ordered separately)

SNP Number	Part Number	Description	SNP Number	Part Number	Description
93029237	PE-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V	28299	PECOTL	STANDARD 120-277V
93029238	PE-D3A-LED-7	ANSI C136.41 Dimming PE, 347V	28294	PECSTL	STANDARD 480V
93029239	PE-D4B-LED-7	ANSI C136.41 Dimming PE, 480V	80436	PECOTL	STANDARD 347V
			73251	SCCL-PECTL	Shorting cap

H-Motion Sensing Option

- Intended for applications, between 15-30 ft. mounting height. (4.57-9.14m). For mounting heights exceeding 30 ft., pole mounted sensors are recommended.
 - Provides a coverage area radius for walking motion of 15-20 ft. (4.57-6.10m).
 - Provides 270° of coverage (-90° is blocked by the pole).
 - Standard factory settings:
 - 50% output when unoccupied, 100% output occupied.
 - Integral PE Sensor.
 - 5 minute post-occupancy time delay, 5 minute dimming ramp-down.
 - Fixture power increase of 1W expected with sensor use.
- Note: Standard options may be reprogrammed in the field. Reprogramming instructions included in product shipment.

Sensor Pattern



Sensing Pattern Area Fixture Up to 30 ft. Mounting Height

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	VOLTAGE	LUMENS	COLOR	WATTAGE	TYPE	MOUNTING	MANUFACTURER / MODEL #
A	24" LONG, THIN-PROFILE MIRROR LIGHT. COORDINATE INSTALLATION WITH ARCHITECT PRIOR TO ROUGH-IN FOR PROPER PLACEMENT AND OPERATION	120V	750	3.8	3.8	LED	SURFACE	LUX LIGHTING
BE	8" LED OPEN DOWNLIGHT W/ TRIM-LOCK TECHNOLOGY, 0-10V DIMMABLE, 80 CRI, 3500K, OPEN W/ CLEAR SEMI-SPECULAR FINISH, WIDE DISTRIBUTION, 10 WATT EMERGENCY BATTERY	120V	1988	19	19	LED	RECESSED	H.E. WILLIAMS
CE	4" LED LENSED STRIP WITH ROUND PRISMATIC ACRYLIC LENS, 0-10V DIMMABLE, 80 CRI, 3500K, 10 WATT EMERGENCY BATTERY	120V	3071	LED	10	LED	SURFACE	H.E. WILLIAMS
S1	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL WITH SINGLE HEAD FACING FORWARD. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	166	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S1 = G.E. #EALS-03-3-14-740-D-D-S1
S2	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL W/ DUAL HEADS FACING 180 DEGREES. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	166	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S2 = G.E. #EALS-03-3-14-740-D-D-S1
S3	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL W/ SINGLE HEAD FACING FORWARD. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	70	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S3 = G.E. #EALS-03-3-14-740-D-D-S1
S4	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL WITH SINGLE HEAD FACING FORWARD. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	239	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S4 = G.E. #EALS-03-3-14-740-D-D-S1 W/ ELS-EAL-FS2-BLCK
S5	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL WITH SINGLE HEAD FACING FORWARD. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	239	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S5 = G.E. #EALS-03-3-14-740-D-D-S1 W/ ELS-EAL-FS2-BLCK
S6	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL WITH SINGLE HEAD FACING FORWARD. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	239	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S6 = G.E. #EALS-03-04-740-D-D-S1 W/ ELS-EAL-RS2-BLCK
S7	SITE LTG. POLE, 20' HIGH, 4" SQ. STEEL WITH SINGLE HEAD FACING FORWARD. FIXTURE OPTICS ROTATION PLACEMENT IS CRUCIAL	120V	28600	239	239	LED	TENON	POLE = GEN. ELEC. 20' TALL, 4" SQ. STRAIGHT STEEL #SSS-E-30-140-B-11-10.50J-UL HEAD S7 = G.E. #EALS-03-3-14-740-D-D-S1 W/ ELS-EAL-RS2-BLCK

A ARCHITECT TO SELECT AND VERIFY ALL FINISHES AND FIXTURES PRIOR TO SUBMITTING FOR APPROVAL.

APPROVED:
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Director of Planning & Zoning
Chairman

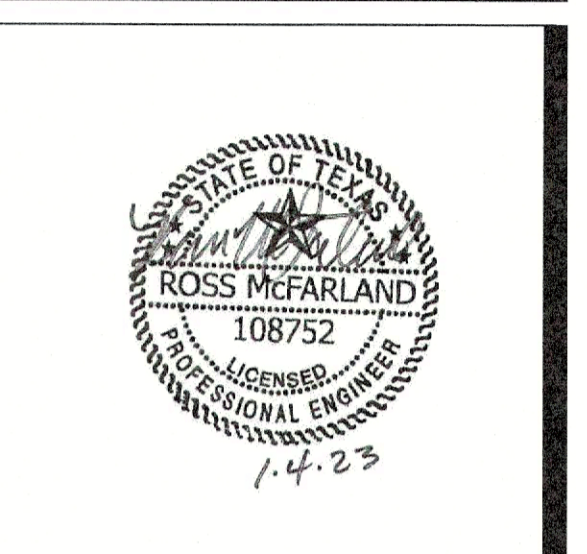
CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES

Issue: PERMIT 10/18/2022
Revisions:
CITY REVIEW 01/04/2023

Drawing Title:
LIGHTING - FLOOR PLAN

Sheet
E2.01

AOS JOB #: 3798-001-02



Nelson Lake
Amenity Center
Rockwall, TEXAS