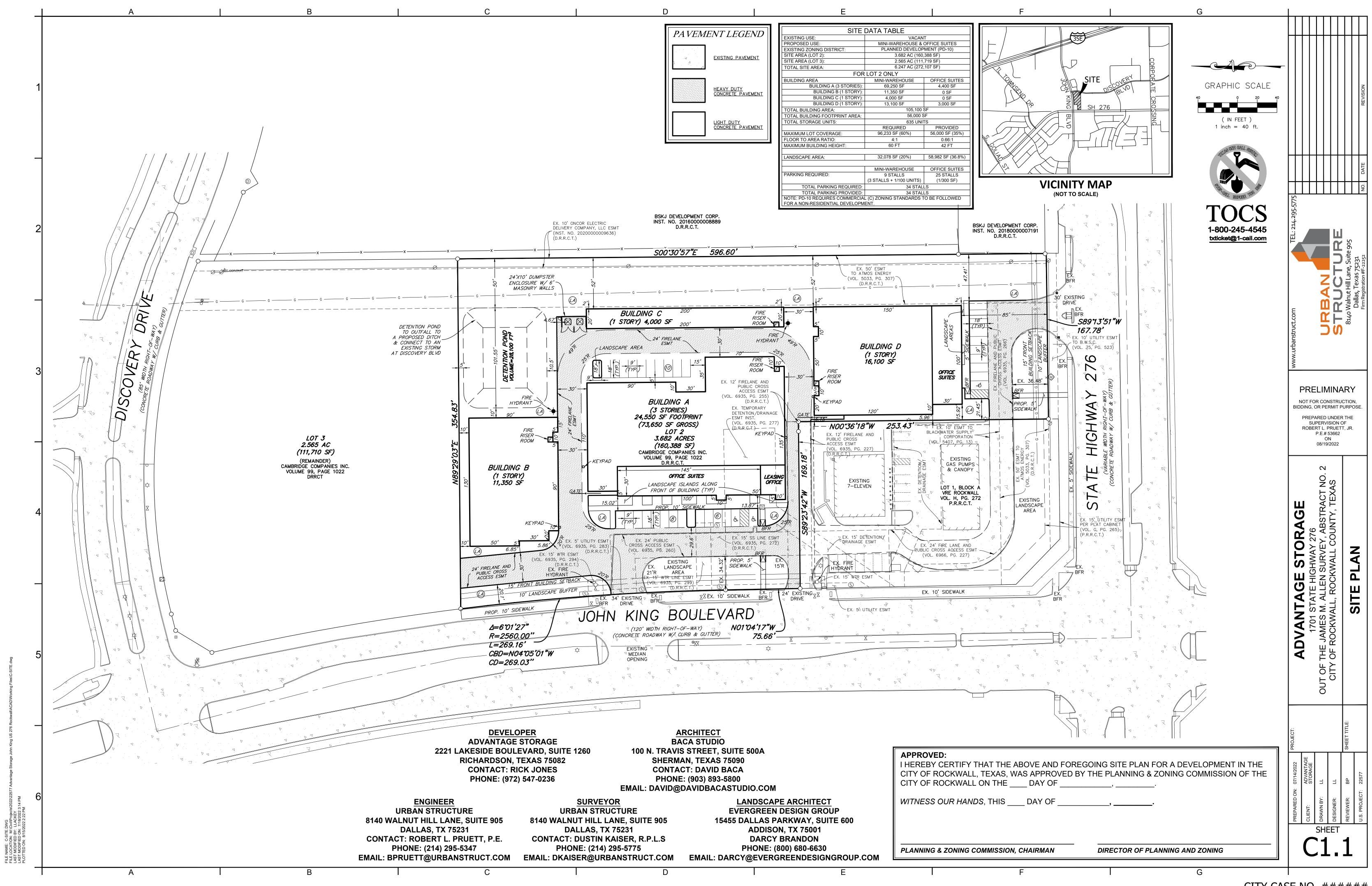


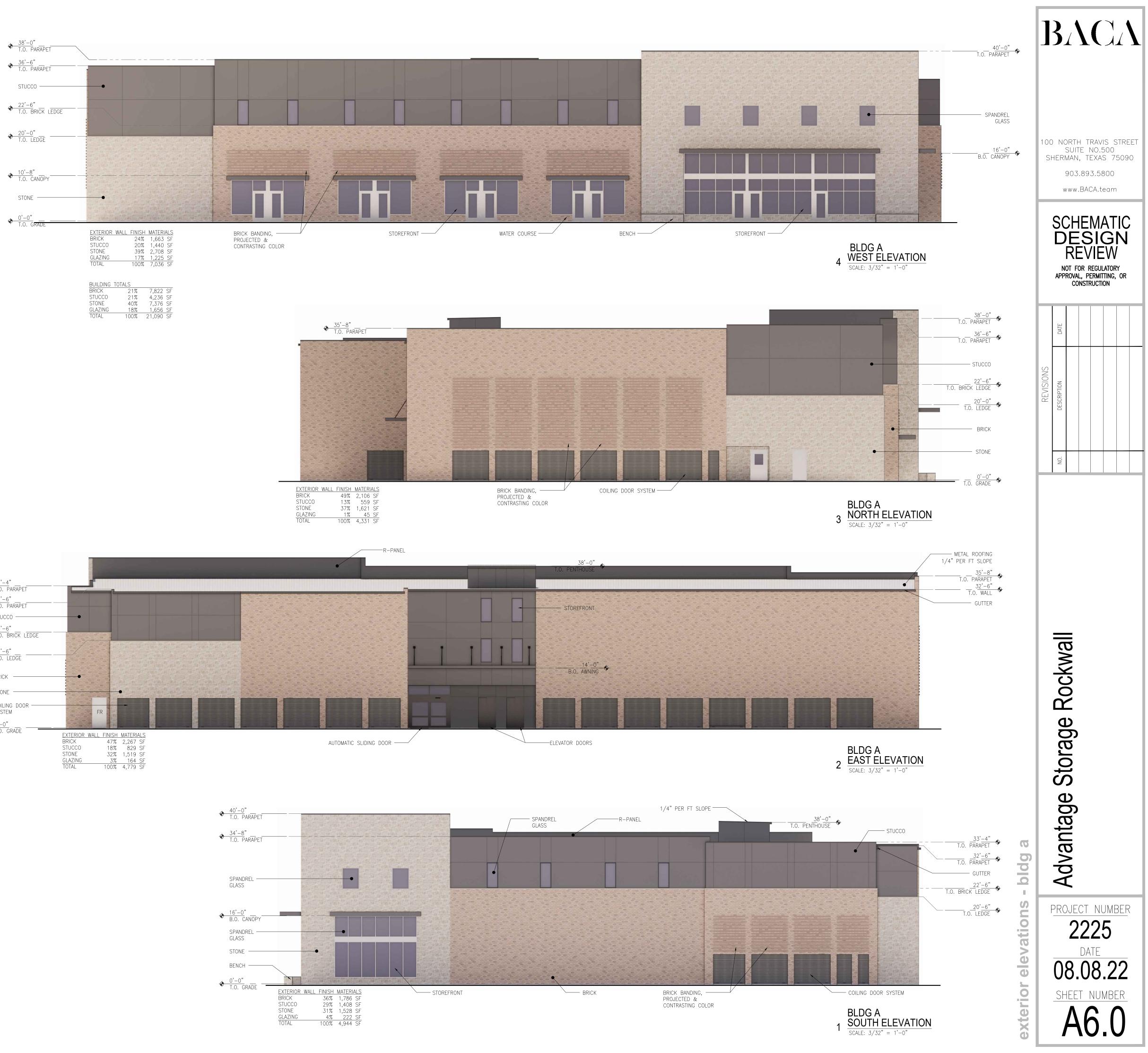
PLANNING AND ZONING CASE CHECKLIST

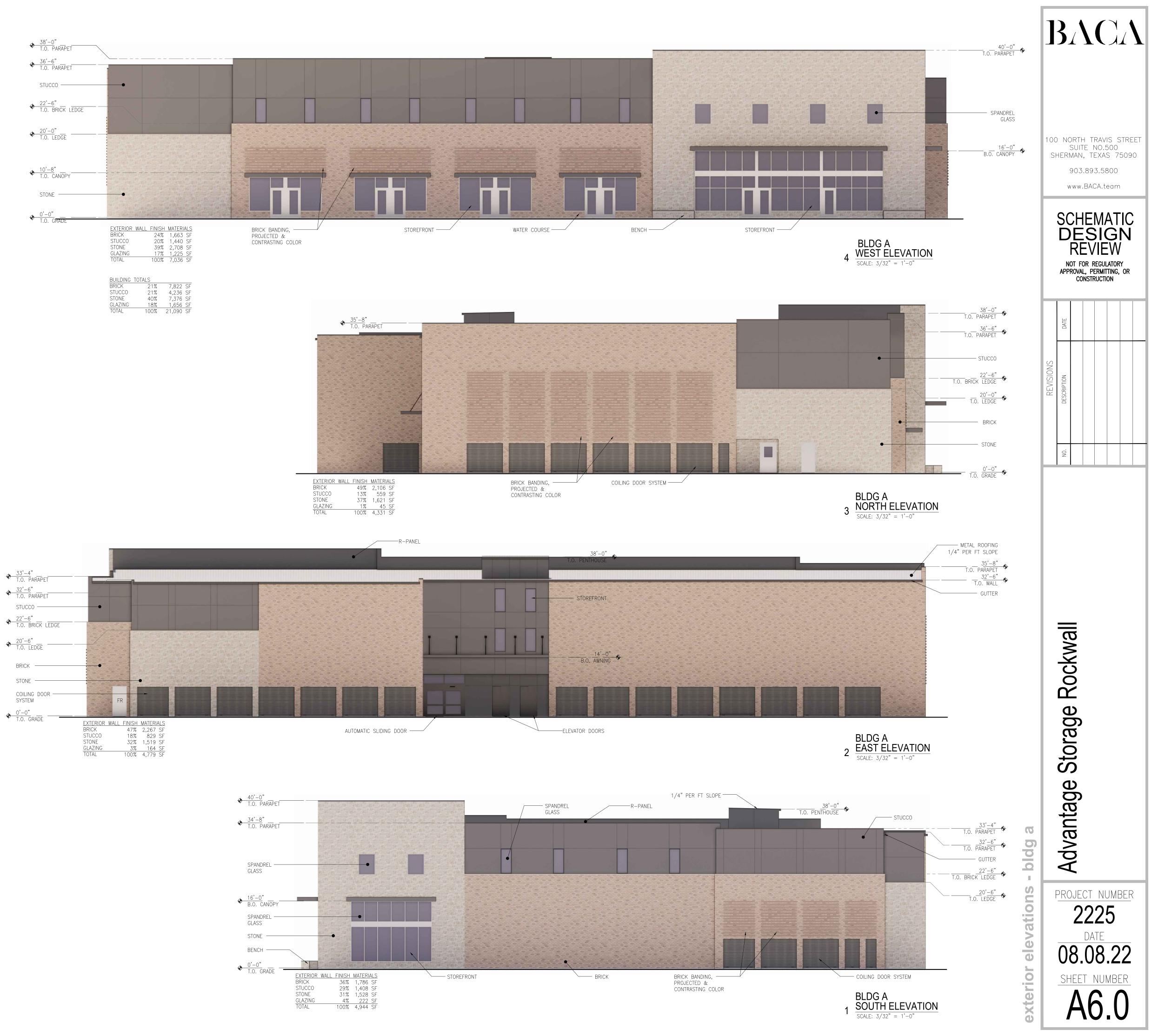
PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET ROCKWALL, TX 75087

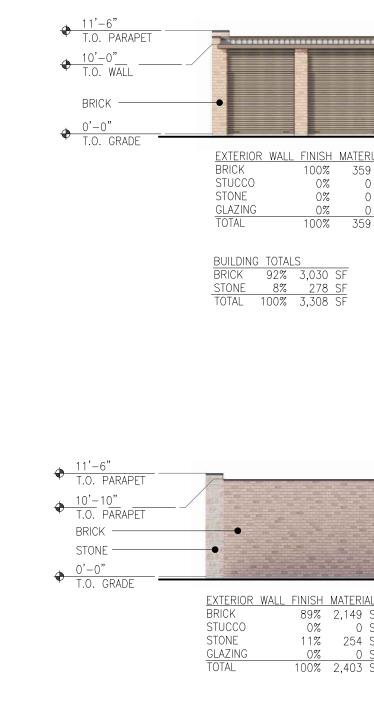
P&Z CASE # P&Z DATE_09/13/2022	CC DA	ATE Approved/Denied
ARCHITECTURAL REVIEW BOARD DATE 09/13/2022	HPAB DATE_	PARK BOARD DATE
Zaning Application		
Zoning Application		Copy of Ordinance (ORD#)
 Specific Ose Permit Zoning Change 		Applications
 D Concept Plan 		Receipt Location Map
 PD Development Plan 		HOA Map
		PON Map
Site Plan Application		FLU Map
X Site Plan		Newspaper Public Notice
🗙 Landscape Plan		500-foot Buffer Public Notice
🗙 Treescape Plan		Project Review
Photometric Plan		Staff Report
Building Elevations		Correspondence
X Material Samples		Copy-all Plans Required
Color Rendering		Copy-Mark-Ups
District a Annullis attent		City Council Minutes – Laserfiche
Platting Application		Minutes-Laserfiche
 Master Plat Preliminary Plat 		Plat Filled Date
□ Final Plat		□ Cabinet #
\square Replat		□ Slide #
 Administrative/Minor Plat 	Notes:	
 Vacation Plat 		
□ Landscape Plan		
Treescape Plan		
HPAB Application		
□ Exhibit		
Miscellaneous Application	Zoning N	Map Updated
□ Variance/Exception Request	0	

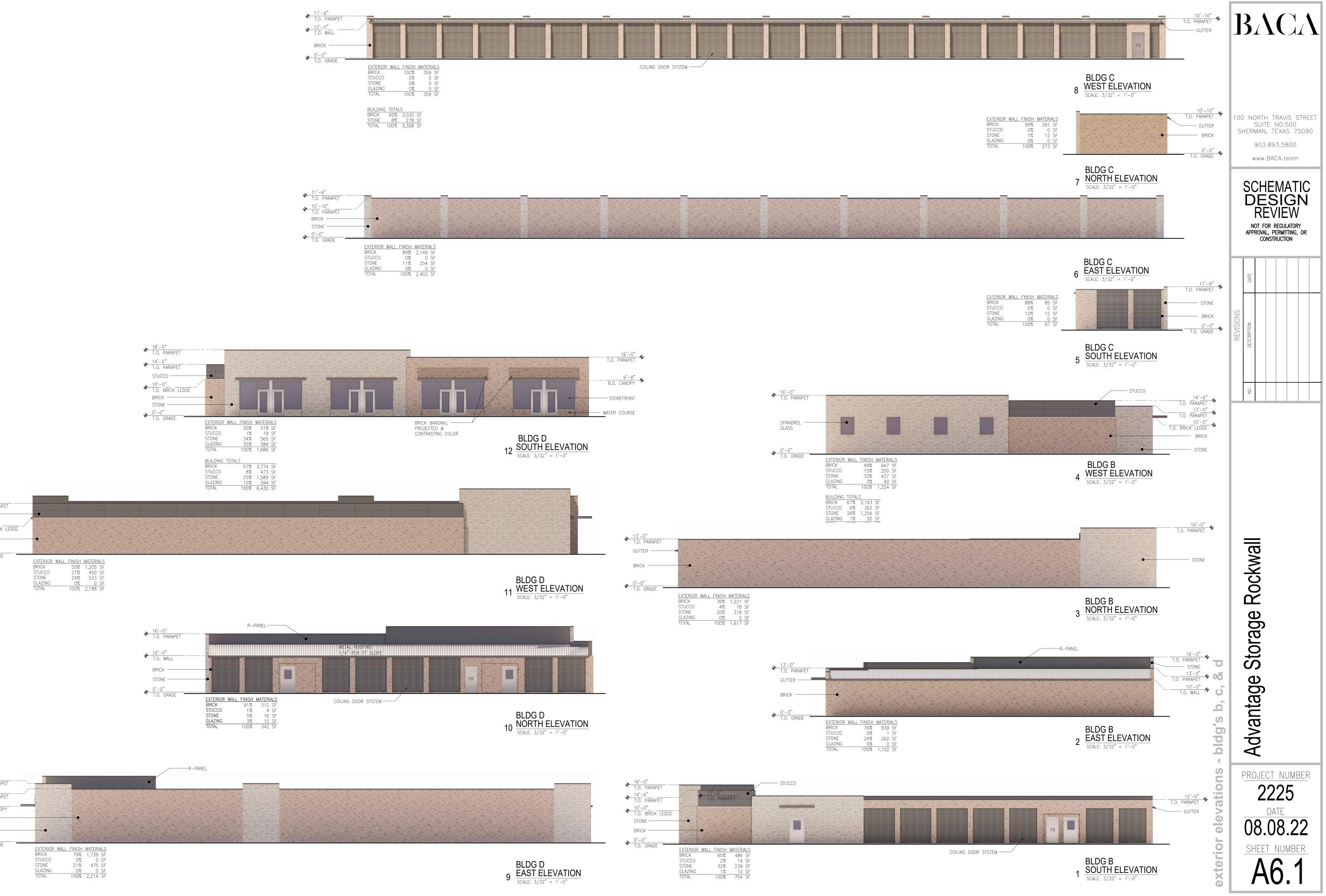
	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ION	STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	EVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:
☐ FINAL PLAT (\$300.0 ☐ REPLAT (\$300.00 + ☐ AMENDING OR MIN ☐ PLAT REINSTATEN SITE PLAN APPLICAT ☑ SITE PLAN (\$250.00	00.00 + \$15.00 ACRE) ¹ T (\$200.00 + \$15.00 ACRE) ¹ D0 + \$20.00 ACRE) ¹ \$20.00 ACRE) ¹ NOR PLAT (\$150.00) MENT REQUEST (\$100.00) TON FEES:	CONIN CONTENT	APPLICATION FEES: NG CHANGE (\$200.00 + \$15.00 ACRE) 1 CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 * 2 EVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 APPLICATION FEES: REMOVAL (\$75.00) ANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 MINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO CNE (1) ACRE. 400 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING
ADDRESS	MATION [PLEASE PRINT]		
	210		
SUBDIVISION	NE QUAD JUHON KING		LOT BLOCK
CURRENT ZONING PROPOSED ZONING ACREAGE	NAND PLATTING INFORMATION (PLEASE PR 20 1 HIGHWAY OVERUAY 1 1 3.682 LOTS [CURRENT]		DUSE MINI. STOPAGE LOTS [PROPOSED] 1
SITE PLANS AND PL REGARD TO ITS APPI RESULT IN THE DENI	ROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAI	DUE TO THE F'S COMME	E PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH INTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICAN	T/AGENT INFORMATION [PLEASE PRINT/CHECK]	THE PRIMAR	RY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
CONTACT PERSON GA ADDRESS CITY, STATE & ZIP PHONE E-MAIL E-MAIL EFORE ME, THE UNDERSIG	AMBRIDGE PROPERTIES ARRETT POINDEXTER CO 750 N. CENTRAL EXP. 3417E 1735 AWAS TX 75231 CI 172-832-8933 ONES CARVANTAGESTORAG	TY, STATE & PH	CANT BOB PRUEIT RSON ULBAN STRUCTURE RESS BILLO WALNUTHILL SUITE 905 821P DALLAS TX 75231 HONE 214-295-5347
S INFORMATION CONTAINED WI SUBMITTED IN CONJUNCTION	TO COVER THE COST OF THIS APPLICATION, HAS BE 20. BY SIGNING THIS APPLICATION, I AGREE TH ITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALS WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIAT SEAL OF OFFICE ON THIS THE ISH DAY OF THE OWNER'S SIGNATURE	EN PAID TO T IAT THE CITY O AUTHORIZI	OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
DEVEL	OPMENT APPLICATION	nu	ner e the encodes the countre (#) with the rest of





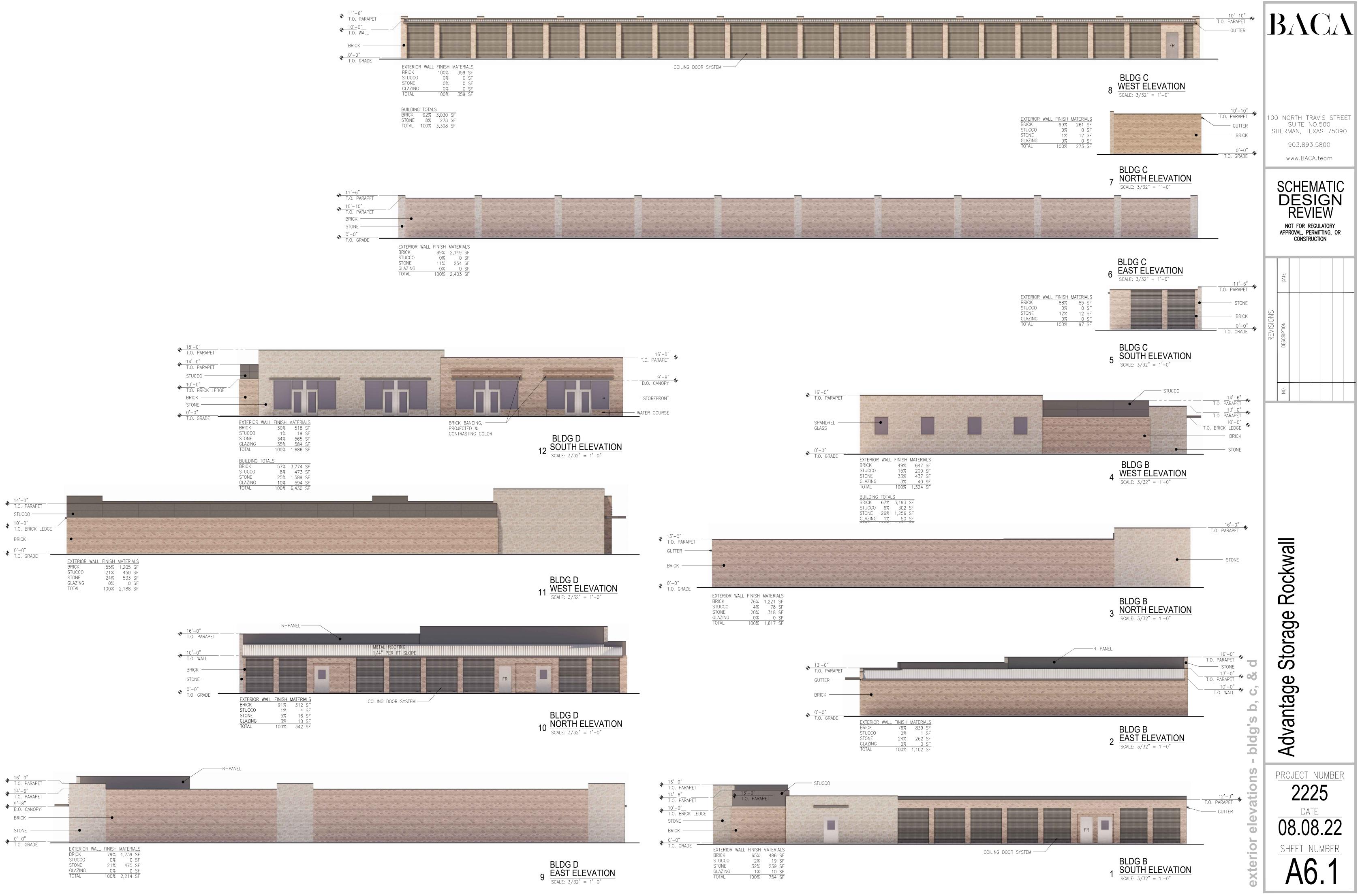


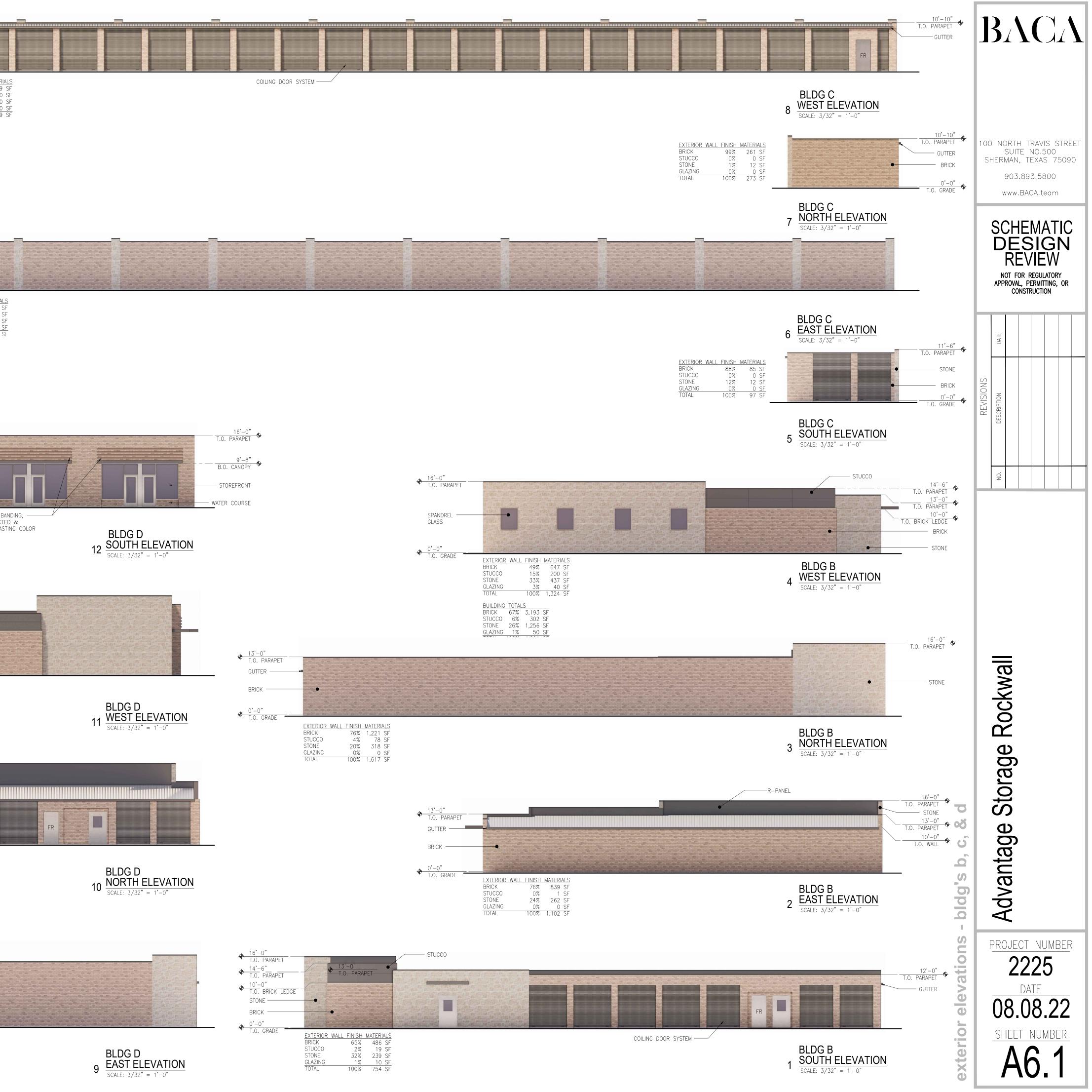




_		Page 1 and 1			Part of
	EXTERIOR	WALL	FINISH	MATERI	<u>als</u>
	BRICK		55%	1,205	SF
	STUCCO		21%	450	SF
	STONE		24%	533	SF
	GLAZING		0%	0	SF
	TOTAL		100%	2,188	SF

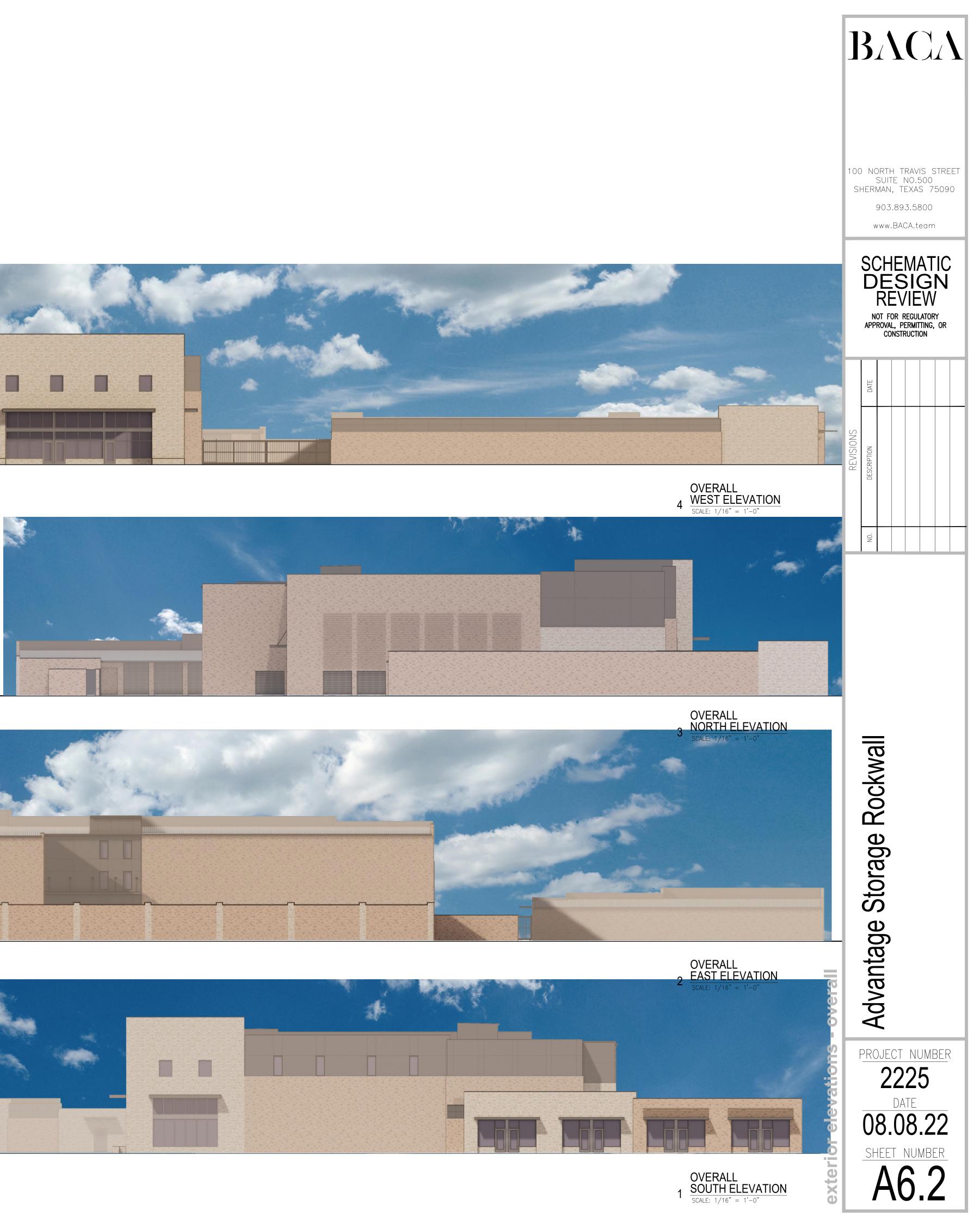
L	16'-0"		R-PANEL-		<			
\$ -	T.O. PARAPET				•			
•	10'-0"					METAL ROOFING 1/4" PER FT SLOF	ΡE	
т	T.O. WALL							
	BRICK							
	STONE							
\$	0'-0" T.O. GRADE							
	1.0. ONADE	EXTERIOR WALL F	INISH MATER	IALS		COILING DOOR SYSTE	м	
			91% 312			COLLING DOOR STOLE	JWI	
		STUCCO		SF				
		STONE		SF				
		GLAZING	<u> </u>	SF				
		TOTAL	100% 342	SF				

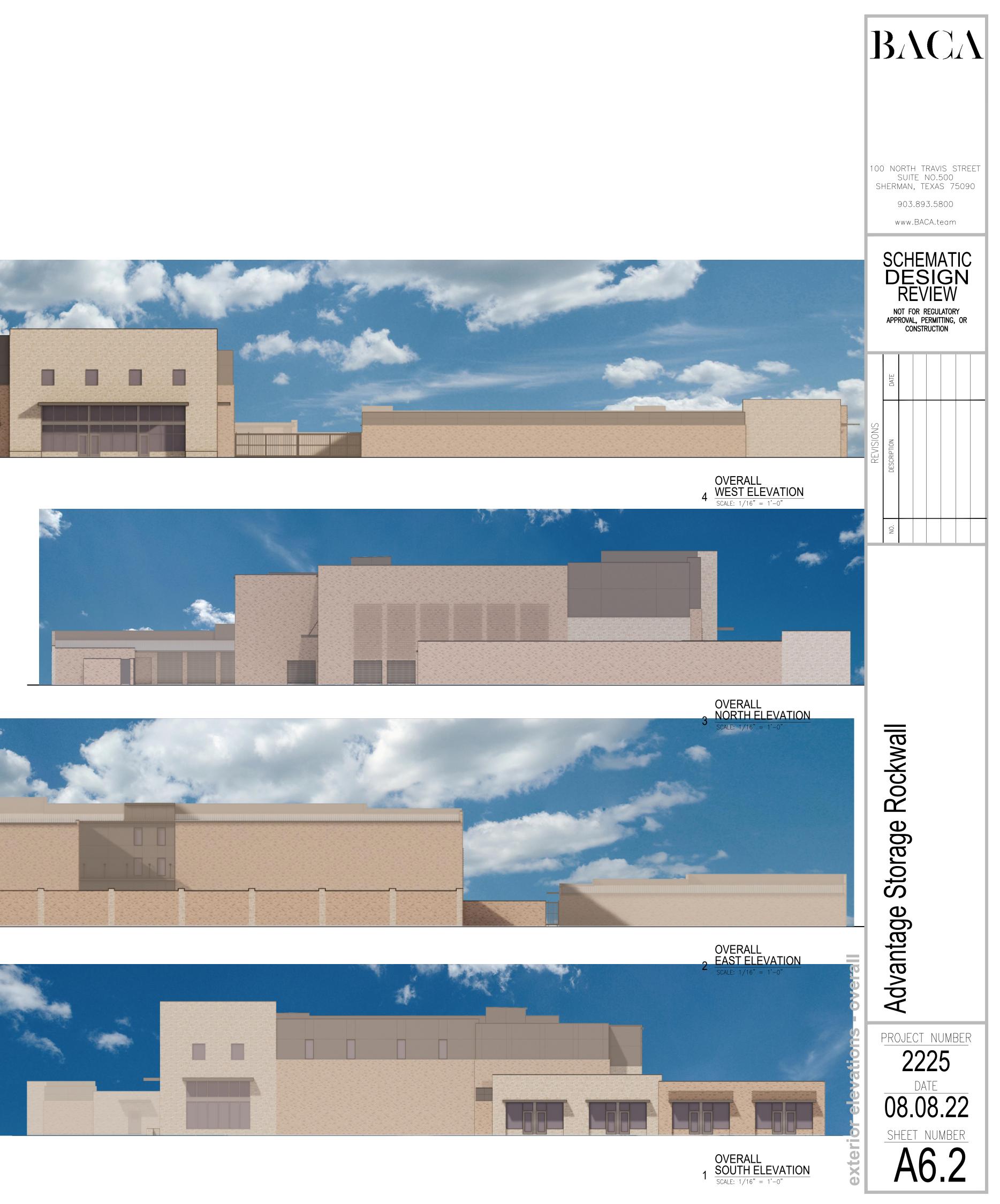














APPLICANT INFORMATION

APPLICANT: BOB PRUETT CONTACT PERSON: URBAN STRUCTURE ADDRESS: 8140 WALNUT HILL LANE, SUITE 905 DALLAS, TEXAS 75231 EMAIL: BPRUETT@URBANSTRUCT.COM PHONE: 214.295.5347

(2

OWNER INFORMATION

OWNER: CAMBRIDGE PROPERTIES INC. CONTACT PERSON: GARRETT POINDEXTER ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735 DALLAS, TEXAS 75231 EMAIL: RJONES@ADVANTAGESTORAGE.NET PHONE: 972.832.8933

PROJECT INFORMATION

A MANAGER AND A SOLUTION OF A DATA O

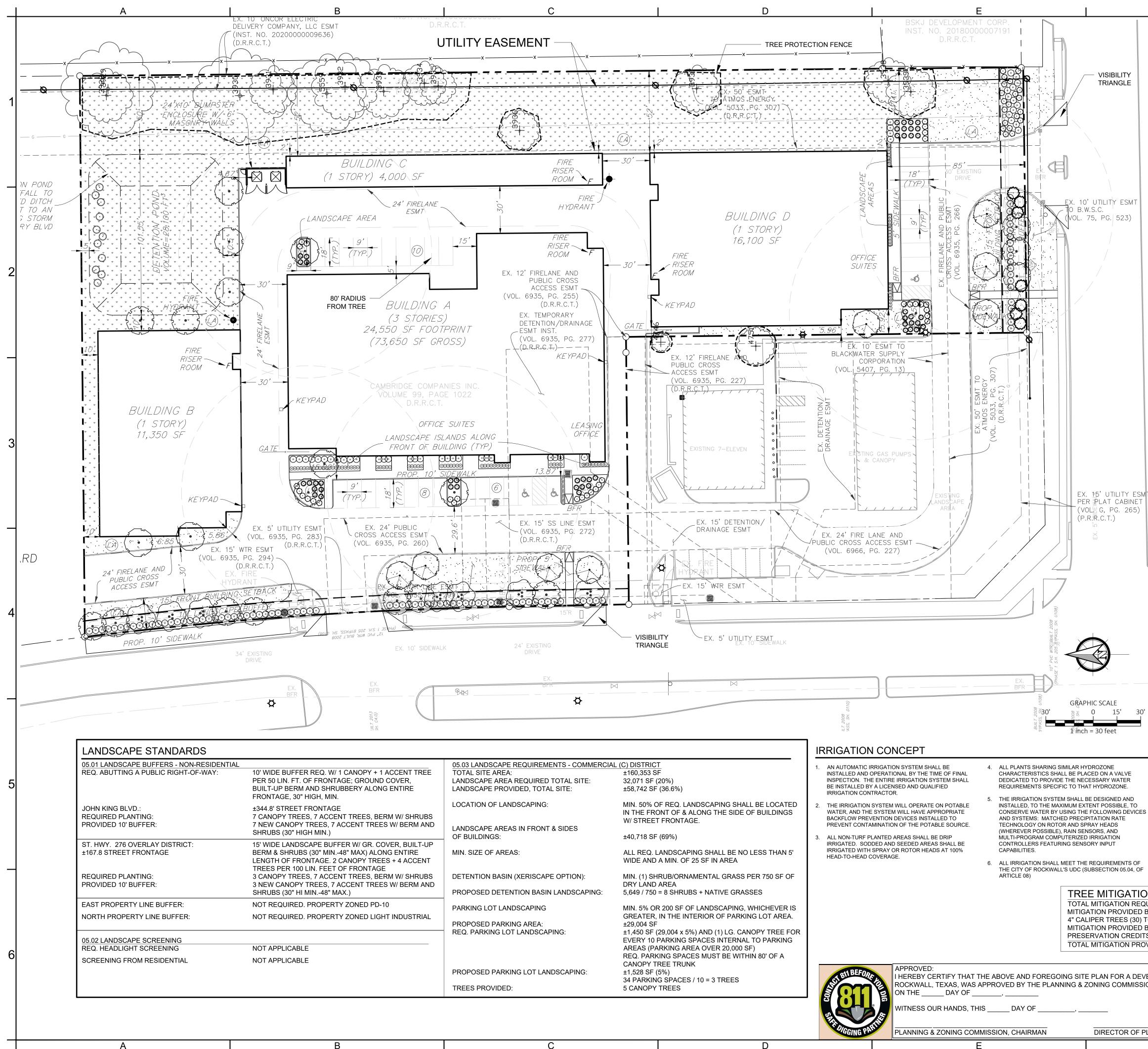
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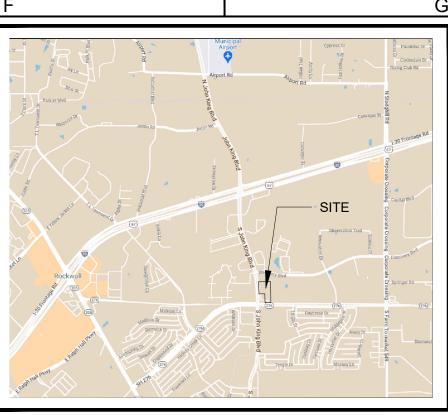
A MARK MARK MARK W

NAME: ADVANTAGE STORAGE

ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032

CASE #:







VICINITY MAP (NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	<u>QTY</u>
	8
	12
No contraction of the second s	10

	8
	12
a me	10
*ALL CANOPY TREE	ES TO BE L
ACCENT TREES	QTY
	7
\bigcirc	7
SHRUBS	<u>QTY</u>
o	47
0	

ΠĒ	EDULE		
<u>Y</u>	BOTANICAL / COMMON NAME	CAL	<u>SIZE</u>
	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL*	14'-16' HT
	QUERCUS MUHLENBERGIA CHINQUAPIN OAK	4" CAL*	14`-16` HT
	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL*	16`-18` HT
) BE	USED FOR MITIGATION		
Y	BOTANICAL / COMMON NAME	CAL	SIZE
	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL. 1" / STEM	4` -6` HT
	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL. 1" / STEM	4` -6` HT
Y	BOTANICAL / COMMON NAME	CONT	
	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL	
	MUHLENBERGIA RIGENS DEER GRASS	3 GAL	
Y	BOTANICAL / COMMON NAME	CONT	
	RUELLIA BRITTONIANA 'KATIE' KATIE'S DWARF PETUNIA	1 GAL	
SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOUR(HYDROSEED CE.COM)	

MULCHES

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GROUND COVER

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AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

11

QTY

13,325

38,885

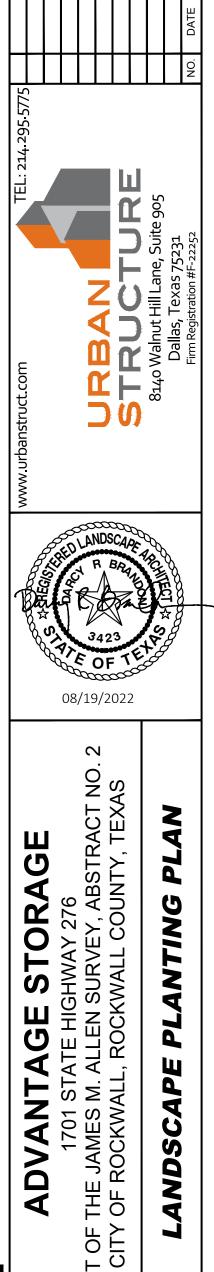
ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

		EXISTING U
		PROPOSED
		EXISTING Z
		SITE AREA
		SITE AREA
		TOTAL SITE
		BUILDING A
ON SUMMARY		
UIRED:	119.75"	
BY PLANTING		TOTAL DU
TO BE PLANTED ONSITE:	120.0"	TOTAL BUI
BY PURCHASING		TOTAL BUI
S (20% OF TOTAL):	0"	TOTAL STO
VIDED:	120.0"	MAXIMUM
		FLOOR TO
		MAXIMUM
ELOPMENT IN THE CITY C)F	LANDSCAP
ON OF THE CITY OF ROCK		
		PARKING R
		то
		TC
		NOTE: PD-1
LANNING AND ZONING		FOR A NON

	VACAN VACAN VAREHOUSE & (NNED DEVELOP 3.682 AC (160,	OFFICE SUITES			OUT OI	-	
EXISTING USE: MINI-V	VACAN WAREHOUSE & (NNED DEVELOP	OFFICE SUITES			O		
	NNED DEVELOP				-		L
EXISTING ZONING DISTRICT: PLA		MENT (PD-10)					L
	3.682 AC (160.						╋
SITE AREA (LOT 2):		388 SF)					L
SITE AREA (LOT 3):	2.565 AC (111,	719 SF)					L
TOTAL SITE AREA:	6.247 AC (272,	107 SF)					
FOR LOT 2 ON	ILY		Ë				
	AREHOUSE	OFFICE SUITES	PROJECT				ľ
BUILDING A (3 STORIES): 69,	250 SF	4,400 SF	õ				
BUILDING B (1 STORY): 11,	350 SF	0 SF	РН				
BUILDING C (1 STORY): 4,0	000 SF	0 SF					
BUILDING D (1 STORY): 13,	100 SF	3,000 SF		ADVANTAGE STORAGE			
TOTAL BUILDING AREA:	105,100 \$	SF	07/14/2022	АЯ			
TOTAL BUILDING FOOTPRINT AREA:	56,000 S	F	4/2	RAN			
TOTAL STORAGE UNITS:	635 UNIT	ſS	1	25 D	Ľ		
	QUIRED	PROVIDED	Ö	٩٥		LL	
MAXIMUM LOT COVERAGE: 96,233	8 SF (60%)	56,000 SF (35%)	ż				
FLOOR TO AREA RATIO:	4:1	0.66:1	0				
MAXIMUM BUILDING HEIGHT: 6	0 FT	42 FT			В	ШЦ	
			AF	μ	N N	U U	
LANDSCAPE AREA: 32,078	8 SF (20%)	58,982 SF (36.8%)	PREPARED ON:	CLIENT:	JRAWN BY :	DESIGNER:	
			H H	C	DF	B	
	AREHOUSE	OFFICE SUITES			СШ		
-	TALLS	25 STALLS			SUI	EET	
	+ 1/100 UNITS)	(1/300 SF)					
TOTAL PARKING REQUIRED:	34 STALI						
TOTAL PARKING PROVIDED:	34 STALI					ノ_ '	
NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING	S STANDARDS T	O BE FOLLOWED					
FOR A NON-RESIDENTIAL DEVELOPMENT.							

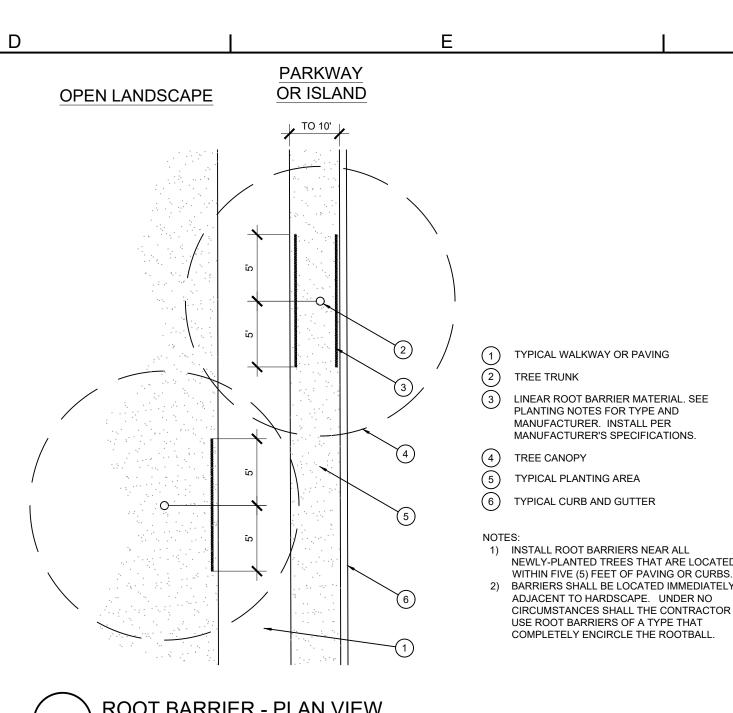
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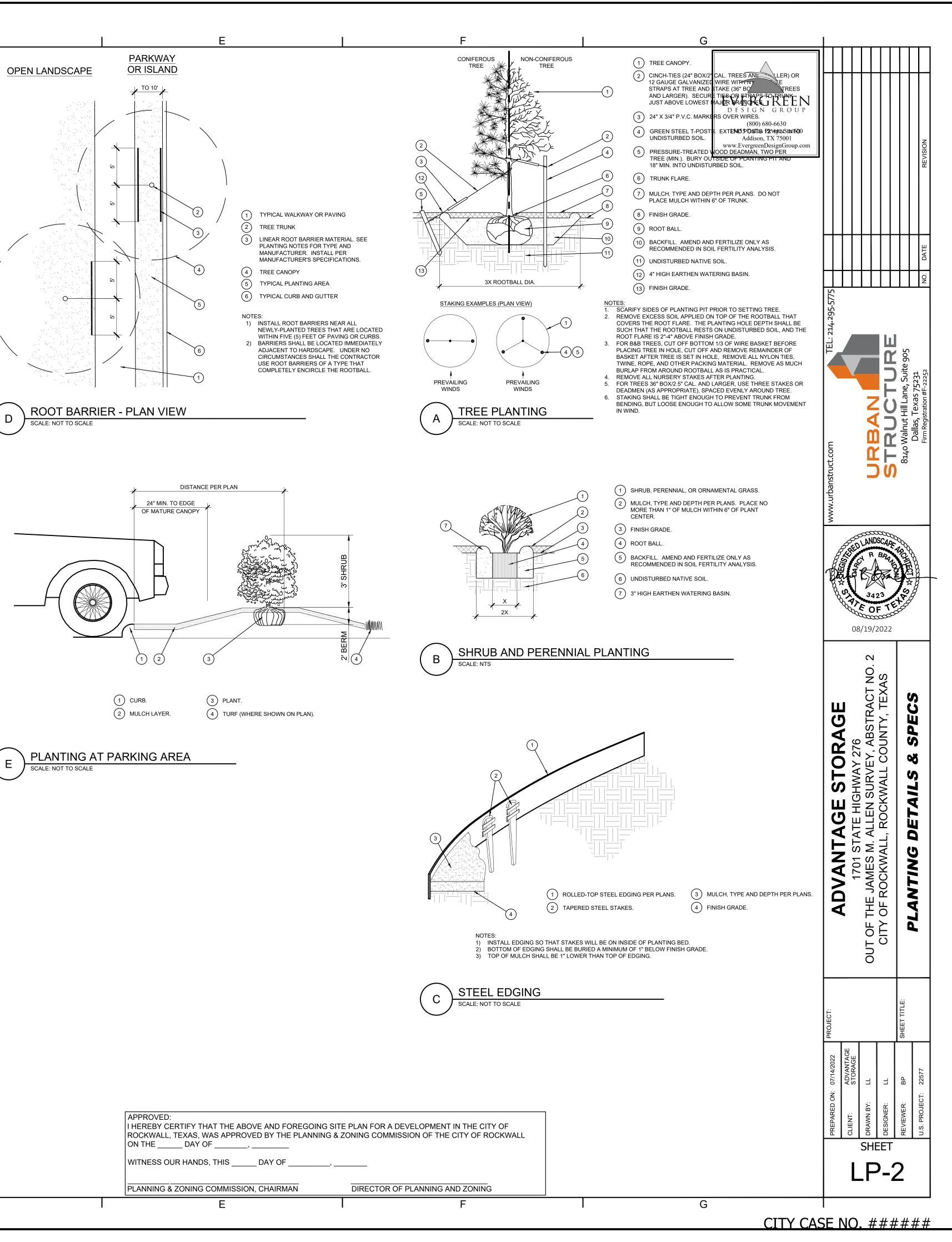


	A	В	C	
	PLANTING SPECIFICATIONS			
	GENERAL A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR			BMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE N WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENC
	 ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE SPECIALIZING IN LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION 	TYPE, SIZE AND NATURE MAY BE MEASURES.	PHOTOS OR SAMPLES OF ANY REQUIRE RECOMMENDATIONS FROM THE TESTIN TYPES, AND OTHER AMENDMENTS FOR	OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, D MULCHES, AND SOIL TEST RESULTS AND PREPARATION G LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
1	 THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSE THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OF APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPAF STRUCTURAL PEST CONTROL BOARD. 	PERATE UNDER A COMMERCIAL PESTICIDE	AS TREE STAKES AND TIES, EDGING, AN 4. WHERE MULTIPLE ITEMS ARE SHOWN C	IUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUC ID LANDSCAPE FABRICS (IF ANY). N A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE
	 B. SCOPE OF WORK 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURN LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY 		ITEM BEING CONSIDERED. C. GENERAL PLANTING 1. REMOVE ALL NURSERY TAGS AND STAK 2. EXCEPT IN AREAS TO BE PLANTED WITH	ES FROM PLANTS. I ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDE
	THE EXECUTION, INSTALLATION AND COMPLETION OF ALL W ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AL REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDIO	LL APPLICABLE LAWS, CODES AND		DED RATE. B ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITIC REES, AND SHALL EXERCISE ALL POSSIBLE CARE AND
	INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE TRANSPORTATION AND INSTALLATION OF MATERIALS. 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIO (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TE	ON OF ALL UNDERGROUND UTILITY LINES	DEFINED AS A CIRCULAR AREA EX EQUAL TO 1' FOR EVERY 1" OF TR GRADE AT THE TRUNK).	O TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS TENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS JNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE
	ANY WORK. <u>PRODUCTS</u>		EXCAVATION OR TRENCHING OF A c. ALTER ALIGNMENT OF PIPE TO AV	" SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE NY KIND SHALL BE ALLOWED WITHIN THE CRZ. OID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE N DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UND
	 A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS: 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI 		CLOSE ALL TRENCHES WITHIN TH	DOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. E CANOPY DRIP LINES WITHIN 24 HOURS. AND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY RS OR WOUND PAINTS.
	BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND D SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FOI SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF	ISFIGUREMENT. ALL PLANTS WITHIN A RM TYPICAL FOR THE SPECIES. ALL TREES	ROOTBALL, AND TO A DEPTH EQUAL TO	VATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THI THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. HE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
2	CLIMACTIC CONDITIONS. 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED F FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FR J-SHAPED ROOTS).	ROM ANY OTHER ROOT DEFECTS (SUCH AS	3. FOR CONTAINER AND BOX TREES, TO R DEFECTS, THE CONTRACTOR SHALL SH	BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. EMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROC AVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS
	 TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AN ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT AC ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE A IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REP 	CCEPTABLE. RCHITECT OR OWNER SHALL BE	FOUR INCHES ABOVE THE SURROUNDIN	JBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO IG GRADE. E EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1
	TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. AN EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACC OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTAB 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERW	CEPTED. THE LANDSCAPE ARCHITECT AND BILITY OF PLANT MATERIAL.	ADDITIONAL SOIL BE REQUIRED TO ACC IMPORT ADDITIONAL TOPSOIL FROM OF	REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD COMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE O F-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED AL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
	LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED C AFTER PLANTING. 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING	TREES SHALL BE AS FOLLOWS: SIX INCHES	REQUIRE STAKES TO KEEP TREES UPRI TREE STAKES (BEYOND THE MINIMUMS	LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) GHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER (LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR
-	INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FO 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERA THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE US AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE I	OUR INCHES IN CALIPER. ALL HEIGHT, MEASURED FROM THE TOP OF SED, THE CALIPER SHALL BE CALCULATED	SHALL STRAIGHTEN THE TREE, OR REP ADHERE TO THE FOLLOWING GUIDELIN a. 1"-2" TREES TWO	ACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHAL
	 ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACE THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE ALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH 	ED ON TOP OF THE ROOT BALL, SO THAT L BE REJECTED. 'HE PLANS. SOD SHALL BE CUT FROM	c. TREES OVER 4" CALIPER GUY d. MULTI-TRUNK TREES THRE NEEDED TO STABILIZE THE TREE	AS NEEDED EE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS EE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS
	ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARG PLANTS, ROOTS, AND SEEDS. E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGAN	COMPOSITION OF THE SOD. GER THAN ½ INCH, FOREIGN MATTER,	NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CON	STRUCT AN EARTH WATERING BASIN AROUND THE TREE. G WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH
3	MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCEN SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEE AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE C USED.	T PASSING THROUGH 3/4-INCH SIEVE; EDING 0.5 PERCENT INERT CONTAMINANTS	E. SHRUB, PERENNIAL, AND GROUNDCOVER PLA 1. DIG THE PLANTING HOLES TWICE AS WI	NTING DE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTA DUND THE PLANT WITH SOIL AMENDED PER SOIL TEST
	 F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, F NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RE QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DE 	ECOMMENDED IN A SOIL REPORT FROM A	THE WEED BARRIER CLOTH IN PLACE.	YERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KE MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING GAREA.
	TOP DRESSING OF TREES AND SHRUBS. H. TREE STAKING AND GUYING 1. STAKES: 6' LONG GREEN METAL T-POSTS. 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STE		 F. SODDING 1. SOD VARIETY TO BE AS SPECIFIED ON 1 2. LAY SOD WITHIN 24 HOURS FROM THE 1 	
	DIAMETER. 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS / GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE. I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK	AT LEAST 1-1/2 INCH WIDE, WITH	STRIPS - DO NOT OVERLAP. STAGGER 4. ROLL THE SOD TO ENSURE GOOD CON UNDERNEATH.	STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. ACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL
-	GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR A J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PR FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.	PPROVED EQUAL. RE-EMERGENT HERBICIDE THAT IS LABELED	LEAST SIX INCHES OF PENETRATION IN G. MULCH	
	METHODS		2. DO NOT INSTALL MULCH WITHIN 6" OF T EXCEPT AS MAY BE NOTED ON THESE F CURBS SHALL NOT PROTRUDE ABOVE T	REE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURE LANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND HE FINISH SURFACE OF THE WALKS AND CURBS. MULCH AT LEAST 3" LOWER THAN THE TOP OF WALL.
	 A. SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR S LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. TH OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. 	HE CONTRACTOR SHALL NOTIFY THE	H. CLEAN UP	D PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK ARE
4	 SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, COI FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB 	AN ESTABLISHED SOIL TESTING	I. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE FREE OF DEBRIS AND TRASH, AND SUIT	LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN ABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
	QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SUF LOCATIONS ARE INDICATED ON THE PLANS, THE CONT SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIOI b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LAI	TRACTOR SHALL TAKE A MINIMUM OF THREE NS FOR TESTING.	2. WHEN THE INSPECTED PLANTING WOR LANDSCAPE CONTRACTOR SHALL REPL SATISFACTION WITHIN 24 HOURS.	CODES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE ACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS
	FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL F SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) A c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT WITH THE SOIL SAMPLES.	FERTILITY, pH, ORGANIC MATTER CONTENT, AND BORON CONTENT.	BEEN RE-INSPECTED BY THE OWNER A	ND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN
	d. THE SOIL REPORT PRODUCED BY THE LABORATORY S THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL RECOMMENDATIONS FOR GENERAL ORNAMENTAL PL/ SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS	PREPARATION AND BACKFILL MIX ANTS, XERIC PLANTS, TURF, AND NATIVE	1. THE LANDSCAPE CONTRACTOR SHALL ON THESE PLANS FOR 90 DAYS BEYONI OWNER. LANDSCAPE MAINTENANCE SH	BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHO) FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE IALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THA
_	OTHER SOIL RELATED ISSUES. THE REPORT SHALL AL THE ESTABLISHMENT PERIOD AND FOR LONG-TERM M 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SO	LSO PROVIDE A FERTILIZER PROGRAM FOR IAINTENANCE. FERTILIZERS PER THE SOILS REPORT	HAVE SETTLED, MOWING AND AERATIO DISEASES,REPLACEMENT OF MULCH, R TO FAULTY PARTS AND/OR WORKMANS	N OF LAWNS, WEEDING, TREATING FOR INSECTS AND EMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DL HIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING
	INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OW 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SH a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS ROTOTILLING AFTER CROSS-RIPPING:	VNER WITH THE REPORT. ALL CONSIST OF THE FOLLOWING:	ORDER, WITH SCHEDULING ADJUSTMEN 2. SHOULD SEEDED AND/OR SODDED ARE	ITS BY SEASON TO MAXIMIZE WATER CONSERVATION. AS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAIN
	 NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. Y PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLO S.F. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RE 	OW RELEASE, ORGANIC) - 15 LBS PER 1,000	 TO ACHIEVE FINAL ACCEPTANCE AT TH CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW AC 	E END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWIN TIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR NTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND
r.	 b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE TH 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS- i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. Y ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW REI 	HE FOLLOWING AMENDMENTS INTO THE TOP -RIPPING: YDS. PER 1,000 S.F.	REPLACED BY HEALTHY PLANT M b. ALL HARDSCAPE SHALL BE CLEAN c. SODDED AREAS MUST BE ACTIVE	ATERIAL PRIOR TO FINAL ACCEPTANCE. IED PRIOR TO FINAL ACCEPTANCE. Y GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST I
5	 iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RE iv. IRON SULPHATE - 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICAT FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULC) 	ECOMMENDED RATE TIONS, "FINISH GRADE" REFERS TO THE	RESODDED (AS APPROPRIATE) PF NEATLY MOWED. K. WARRANTY PERIOD, PLANT GUARANTEE AND	IOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE
	a. BEFORE STARTING WORK, THE LANDSCAPE CONTRAC GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1 FOR MORE DETAILED INSTRUCTION ON TURF AREA AN b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOW	CTÓR SHALL VERIFY THAT THE ROUGH 1' OF FINISH GRADE. SEE SPECIFICATIONS ND PLANTING BED PREPARATION.	IRRIGATION SYSTEMS FOR A PERIOD OF ACCEPTANCE (90 DAYS FOR ANNUAL PL EXPENSE AND TO THE SATISFACTION O	F <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN F THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR ION SYSTEM WHICH OPERATE IMPROPERLY.
	AND MAINTAIN SLOPES AS RECOMMENDED BY THE GE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM SPECIFIED IN THE REPORT AND ON THE GRADING PLA SHALL BE REGRADED TO BLEND IN WITH THE SURROU	EOTECHNICAL REPORT. ALL LANDSCAPE STRUCTURES AT THE MINIMUM SLOPE NS, AND AREAS OF POTENTIAL PONDING	2. AFTER THE INITIAL MAINTENANCE PERI CONTRACTOR SHALL ONLY BE RESPON CANNOT BE ATTRIBUTED DIRECTLY TO	DD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE SIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. RD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK.
_	POTENTIAL. c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WH WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST ,	HETHER OR NOT THE EXPORT OF ANY SOIL I GRADE PROVIDED, THE AMOUNT OF SOIL	RECORD DRAWING IS A RECORD OF ALL CHA	NGES THAT OCCURRED IN THE FIELD AND THAT ARE NDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUF
	d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IM OTHER WALKING SURFACES, AFTER INSTALLING SOIL FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER M	IMEDIATELY ADJACENT TO WALKS AND AMENDMENTS, IS 3" BELOW THE ADJACENT		
	TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADI FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMM OTHER WALKING SURFACES, AFTER INSTALLING SOIL	ING PLANS, AT APPROXIMATELY 18" AWAY IEDIATELY ADJACENT TO WALKS AND		
	SURFACE OF THE WALKS. TAPER THE SOIL SURFACE THE GRADING PLANS, AT APPROXIMATELY 18" AWAY F f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARI GEOTECHNICAL REPORT, THESE NOTES AND PLANS, A	TO MEET FINISH GRADE, AS SPECIFIED ON FROM THE WALKS. ISE BETWEEN THE GRADING PLANS,		
6	CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEM ARCHITECT, GENERAL CONTRACTOR, AND OWNER. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE C	IS TO THE ATTENTION OF THE LANDSCAPE		
	ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMA	THAINS IN THE FOR U OF SUIL.		
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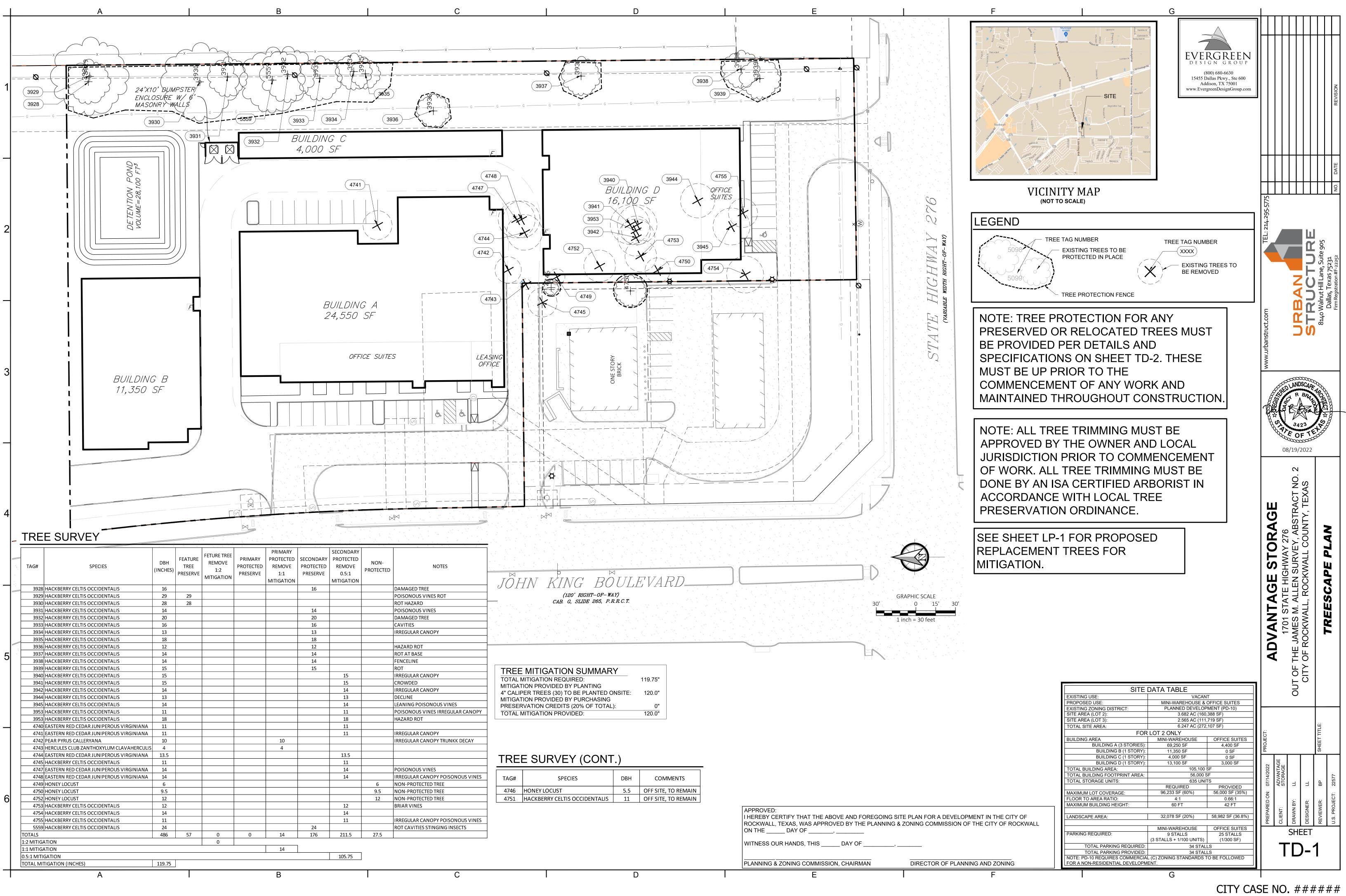
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APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEV
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSI
ON THE DAY OF,



	A B		С
	TREE PROTECTION SPECIFICATIONS		
	MATERIALS 1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.	9. WHERE EXCAVATION IN FOR IRRIGATION INSTAU HAND TOOLS ONLY.	LLATION, PROCEED V
1	 POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE, USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED. 	10. THE CONTRACTOR SHA DIAMETER WHEN EXCA ROOTS LARGER THAN (FOR OAKS ONLY, ALL W WITHIN 30 MINUTES	VATION OCCURS NEA
	 CONSTRUCTION METHODS 1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY. 	 REMOVE ALL TREES, SH PROTECTED ROOT ZON TREES DAMAGED OR K CONSTRUCTION SHALL 	IE AREAS BY HAND. ILLED DUE TO CONTR BE MITIGATED AT TH
-	2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.	AND TO THE PROJECT (SATISFACTION. 13. ANY TREE REMOVAL SH JURISDICTION PRIOR TO HAVE ALL REQUIRED PE	HALL BE APPROVED B O ITS REMOVAL, AND
0	3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.	 14. COVER EXPOSED ROOT WET BURLAP. 15. IN CRITICAL ROOT ZONI CONSTRUCTION AND W SOIL WITH EIGHT INCHE COMPACTION. THIS EIG 	IS AT THE END OF EA E AREAS THAT CANNO (HERE HEAVY TRAFFI ES OF ORGANIC MULC
2	 4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA. 	16. WATER ALL TREES IMP ONCE A WEEK DURING CROWNS WITH WATER	RUCTION. ACTED BY CONSTRUC PERIODS OF HOT DR
	 THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER 	ON THE LEAVES. 17. WHEN INSTALLING CON USE A PLASTIC VAPOR LEACHING OF LIME INTO	BARRIER BEHIND THE
	AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.	18. CONTRACTOR SHALL R FENCING WHEN ALL TH CONSTRUCTION-RELAT	REATS TO THE EXIST
	 WITHIN THE CRZ: a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE. b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. 		
3	 d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING). e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES. f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE. 		
-	8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID		
	SEVERING THEM.		
4		TREE PROTEC	TION GENERA
4		 (A) PRIOR TO THE LAI CONTRACTOR SH FOR WHICH A TRE AND SHALL EREC TREES ACCORDIN (1) AROUND AN RADIUS OF ALL SF CABBAGE PALMS; (2) AROUND AN 	ND CLEARING STAGE ALL CLEARLY MARK A E REMOVAL PERMIT T BARRIERS FOR THE NG TO THE FOLLOWIN AREA AT OR GREATE PECIES OF MANGROV AREA AT OR GREATE
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REES MUST OCCUR, SUCH AS WITH CAUTION, AND USING

LARGER THAN ONE INCH IN EAR EXISTING TREES. ALL TER ARE TO BE CUT CLEANLY. AINTED WITH WOUND SEALER

TO BE CLEARED FROM

TRACTOR'S NEGLIGENCE DURING HE CONTRACTOR'S EXPENSE AL JURISDICTION'S

BY THE OWNER AND LOCAL ID THE CONTRACTOR SHALL ACTIVITIES.

EACH DAY WITH SOIL, MULCH OR

NOT BE PROTECTED DUING FIC IS ANTICIPATED, COVER THE LCH TO MINIMIZE SOIL MULCH SHALL BE MAINTAINED

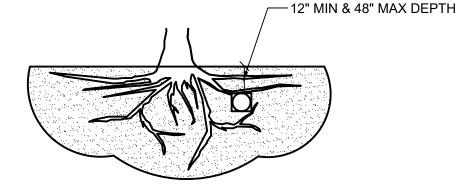
JCTION ACTIVITIES, DEEPLY RY WEATHER. SPRAY TREE REDUCE DUST ACCUMULATION

TO THE ROOT ZONE OF A TREE, HE CONCRETE TO PROHIBIT

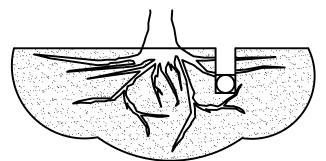
SE OF ALL TREE PROTECTION STING TREES FROM E BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE С SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION 1. MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND 2.
- FLAGGED PRIOR TO ROOT PRUNING. 3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL 4.
- AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. 5.
- ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000. 6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

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EXISTING GRADE

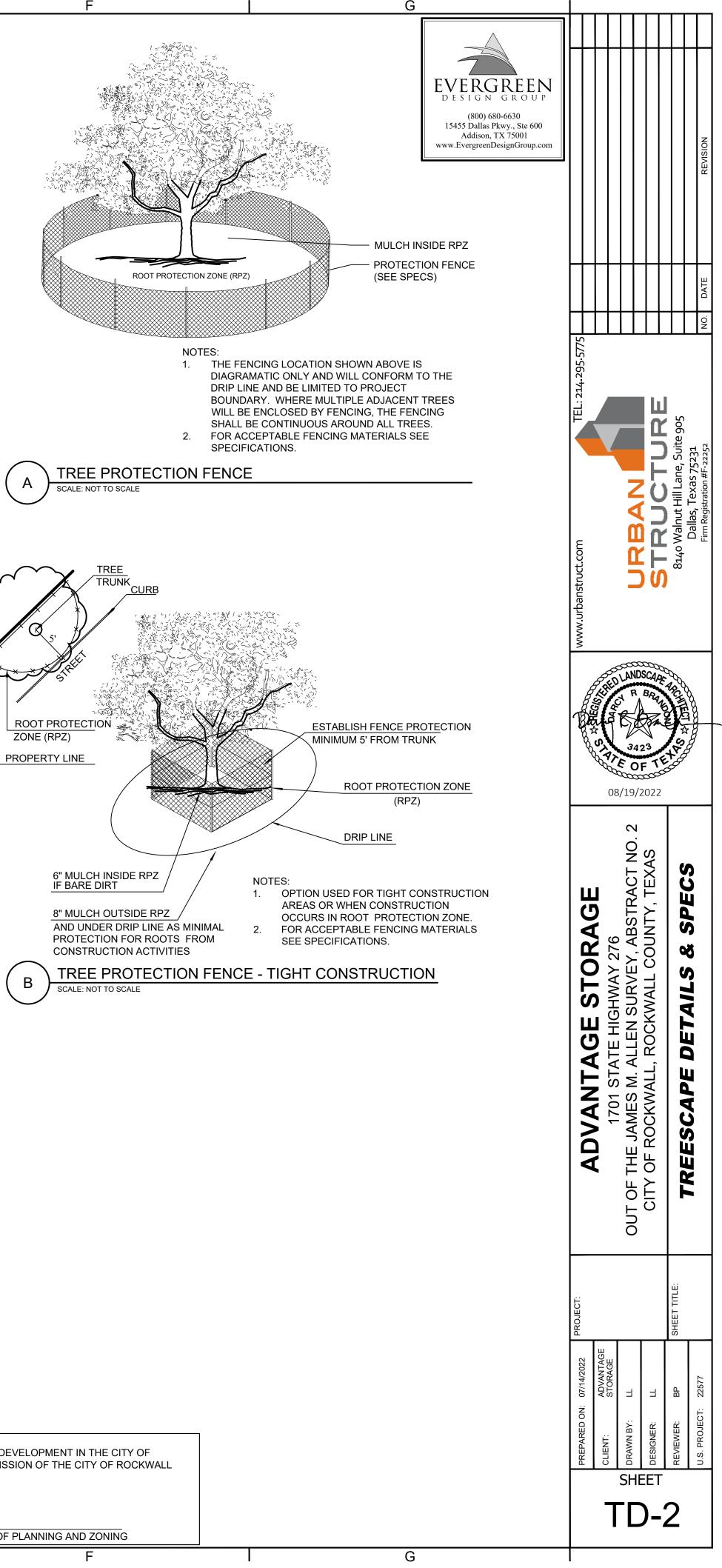
TREE PROTECTION FENCE TO BE ERECTED IN LINE WITH ROOT PRUNING LIMITS. SEE DETAILS AND SPECIFICATIONS FOR TREE PROTECTION FENCE REQUIREMENTS.

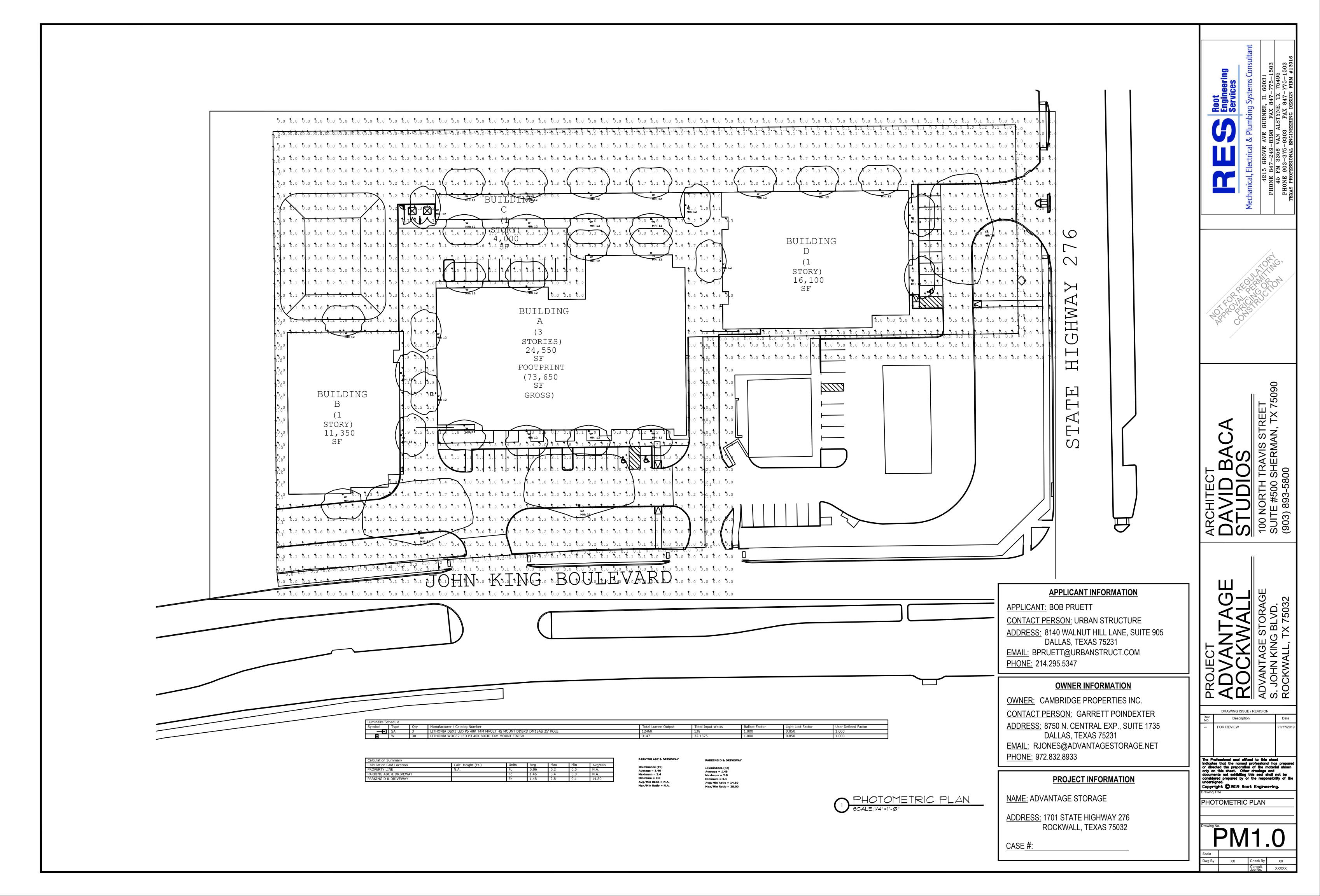
ROOT PRUNE VIA AIRSPACE OR TRENCH (6" WIDE MAX.) 24" MIN. DEPTH OR AS DETERMINED AT PRE-CONSTRUCTION MEETING.



APPROVED:	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE	PLAN FOR A DEVE
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZO	DNING COMMISSIC
ON THE DAY OF,	
WITNESS OUR HANDS, THIS DAY OF,	
PLANNING & ZONING COMMISSION, CHAIRMAN	DIRECTOR OF PL

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CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall

Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

CASE NUMBER:

OVERLAY DISTRICT:

REVIEWED BY:

REVIEW DATE:



1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	√= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:	~	-		Per Application
✓ Site Plan	S.			§03.04, of Art. 11
✓ Landscape Plan				3
✓ Treescape Plan	RE			-
 ✓ Photometric Plan ✓ Building Elevations 				-
and the second	*/		If required the sample board should detail all building materials,	
Building Material Sample Board and Color	E C		with each material clearly labeled and indicating manufacturer	§03.04.A, of
Rendering of Building Elevations			info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	Art. 11
Submittal Requirements	A		Four (4) large (24" x 36") folded copies and one (1) PDF digital	§03.04 A, of
	-		copy of each plan is required at the time of submittal.	Art. 11
Is the property properly platted?	Ø		Indicate if the property has been properly platted.	
Title Block	1	_	The title block is to be located in the lower right-hand corner of	§03.04.A, of
(Project Name, Legal Description and/or Address)			all sheets and contain the project name, street address, and/or	905.04.A, 01 Art. 11
Case Number	-	_	the lot and block designation. The case number should be placed in the lower right-hand	§03.04.A, of
Case Number			corner below the title block of all sheets.	Art. 11
Owners	X		The owners name, address, and phone number are required to	§03.04 A, of
(Name, Address, and Phone Number)	1		be in the lower right-hand corner left of the title block. The name, address, and phone number of the person or	Art. 11
Developer			company that prepared the plans are required in the lower right-	§03.04.A, of
(Name, Address, and Phone Number)	-		hand corner left of the title block.	Art. 11
North Point	-		The north point or north arrow must be facing true north (or	§03.04.A, of
			straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	Art. 11
Numeric and Graphic Scale	M		The recommended engineering scales are $1" = 20'$, $1" = 40'$,	§03.04.A, of
	<u> </u>		etc with a maximum of 1" = 100'.	Art. 11
Vicinity Map	M		The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	1	_	Standard signature block with signature space for the Planning	§03.04.A, of
Signature block	Ø		& Zoning Chairman and Planning Director.	Art. 11
Date	M		The date that the plans were prepared is required on all submittals.	§03_04_A, of Art_ 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the	§03.04.A, of
rioposed Land Use.	1		proposed use for all structures.	Art. 11
✓ Commerciał	M		Land Uses Permitted in the RO, NS, GR, C, DT, RC &	
		-	Designated Planned Development District Ordinances. Land Uses Permitted in the RT, LI, HI & Designated Planned	
✓ Industrial			Development District Ordinances.	25

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION				
Requirements	√ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)			If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	M	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	Ø	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings		Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	Ø	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	V	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	ø	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	2	Indicate all building setbacks adjacent to right-of-way.	§03.04_B, of Art. 11
Indicate all Easements	2	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	Ø		§03.04.B, of Art. 11
Indicate all Drive Widths	Ø		§03.04.B, of Art. 11
Indicate all Fire Lanes	Ø	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04 B, of Art. 11
Indicate location of all Fire Hydrants	Ø	service and the service services	§03.04.B, of Art. 11
Indicate all Sidewalks	Ø	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	ND,	Reference the City's Master Transportation Plan for right-of- way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	Ø	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	٢,	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	Ø		§03.04.B, of Art. 11

2.2 SITE PLAN: PARKING INFORMATION				
Requirements	√= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space			See the comment section in Adequate Parking and Maneuvering below.	§05.03, of Art. 06
Parking Table	M		Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	×,			§05.04, of Art. 06
Adequate Parking			Reference Table 3 of Article VI.	Table 5, Art. 06
Adequate Parking and Maneuvering	M		All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department).	§05.03.C, of Art. 06
Adequate Loading Area	ø		Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading</i> <i>Requirements</i>).	§06,04, of Art. 06
Adequate Loading Maneuvering	6		It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	Ŗ		Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick , stone or other similar material.	§03.02, of Art₋ 06

2.3 SITE PLAN: SIGNAGE

Requirements

N/A Comments

UDC Reference

NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.

√= 0K

2.4 SITE PLAN: SCREENING

Requirements	√= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences			Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)			Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05⊾C, of Art. 05
Utility Equipment Screening (Roof Mounted)			All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks			Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening	v	*	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage		M		
Off-Street Loading Dock Screening		V	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Residential Adjacency Standards		M	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference <i>Art. VIII 5.2</i>).	§01,06, of Art. 05

proposed signage.

Y

Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-

sheet showing the elevations, lighting and dimensions of the

§06.02.F, of

Art. 05

3.1 LANDSCAPE PLAN

Requirements	√= OK,	N/A	Comments	UDC Reference
Provide Site Data	M		Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	Ø		Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	¢		Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping	M		Indicate the locations of all existing and proposed landscaping.	§05.03 B, of Art. 08
Location of Water Courses and Significant Drainage Features	Ø		Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	
Indicate all Landscape Buffers			Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	8	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix C
✓ Trees not allowed in Landscape Buffers	B	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix C
Protected Trees (That Will Remain On-Site)	đ	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag indicating the trees relationship to the treescape plan and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.	§07.01, of Art_ 09
Parking Lot Landscaping	۲ ۲	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.	§05.03.E, of Art. 08
Location of all Site Amenities	ġ	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	×
Identify Visibility Triangles	e	Identify visibility triangles on all lots for all driveway intersections and public streets.	§01.08, of Art. 05
Landscape Buffer - Street Trees	ď	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	§05.01, of Art. 08
Tree Locations	Y	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	§05.03.E, of Art, 08
Irrigation Requirements Note	U	Provide note indicating irrigation will meet requirements of UDC.	§05.04, of Art. 08
Hydro mulch (or non-sod option)	Ð	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.	Sec. 4.2, Coverage, Engr Standards of Design and Construction
Rights-of-Way & Landscape Buffers		All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).	§05.03.G, of Art. 08

4.1 TREESCAPE PLAN

Requirements	√= 0K	N/A	Comments	UDC Reference
Provide Site Data			Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Buildings Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction			Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09 §03.01.C, of Art. 09

Protected Trees (To Remain On Site)	Ø	
Protected Trees (To be Removed from the Site)	Ø	
Treescape Table		

Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be §03.01.E, of retained. Such trees shall be marked and a drip line of said Art. 09 tress shall be protected prior to and during all construction, including dirt work. Indicate the location of all protected trees (4" or larger) that are §03.01.F, of to be removed from the site and the proposed locations of all Art. 09 replacement trees. Provide a table showing the total inches of trees to be removed §03.01.G, of and the total inches of trees to be replaced. Art. 09

5.1 PHOTOMETRIC AND LIGHTING PLANS

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Requirements	√= 0K	N/A	Comments	UDC Reference
Provide Site Data Table			Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	\boxtimes		Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use			The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use			The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting			Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships			Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas			The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting			Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures			No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03 D of Art. 07
Indicate the Wattage of all Light Sources			Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures			Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	√= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations			North South East West (Circle all that apply)	
Indicate Exterior Elevations Adjacent to Public Right-of-Way			North South East West (Circle all that apply)	
Minimum 90% Masonry Requirement OVERLAY DISTRICTS ONLY			Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement OVERLAY DISTRICTS ONLY			Applies to <u>fa</u> cades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade			Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	\boxtimes		Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color				

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)		If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)		If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)		Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)		The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation: Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)		1. Wall Height [H] = H 2. Wall Length [L] = $3 \times H$ 3. Secondary Entry/Arch. Element Length = $25\% \times L$ 4. Wall Projection = $25\% \times H$ 5. Primary Entry/Arch. Element Width = $2 \times (25\% \times L)$ 6. Projection Height = $25\% \times H$ 7. Primary Entry/Arch. Element Length = $2 \times (25\% \times L)$	§04.01.C.1, of Art. 05
Secondary Facades	×	 Wall Height [H] = H Wall Length [L] = 3 x H Secondary Entry/Arch. Element Length = 15% x L Secondary Entry/Arch. Element Width = 15% x H Projection Height = 15% x H 	§04.01.C.2, of Art. 05

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	√= OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the element standards.	ments listed in Se	ection 6.1	Building Elevations: Non-Industrial with the exception of the	e following
Minimum 90% Masonry Requirement			Exterior walls should consist of 90% masonry materia excluding doors and windows.	als §05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement			Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)			 Wall Height [H] = H Wall Length [L] = 4 x H Wall Projection = 25% x H Entry/Arch. Element Length = 33% x L Projection Height = 25% x H Entry/Arch. Element Width = 2 x (25% x H) 	§05.01.C.1, of Art. 05
Secondary Facades			 Wall Height [H] = H Wall Length [L] = 3 x H Entry/Arch. Element Length = 15% x L Entry/Arch. Element Width = 15% x H Projection Height = 15% x H 	§05.01.C.2, of Art. 05

DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS



[]

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- [] PLAT TYPE.
 - [] MINOR/AMENDING PLAT.
 -] MASTER PLAT.
 -] PRELIMINARY PLAT.
 - [] FINAL PLAT. [] REPLAT.
 - VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See Folding Requirements in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
- [] ONE (1) PDF COPY OF THE PLAT
- [] ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- [] TREESCAPE PLAN [IF APPLICABLE].
- [] LANDSCAPE PLAN [IF APPLICABLE].
- [] APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):

- SITE PLAN.
- LANDSCAPE PLAN
- TREESCAPE PLAN.
- PHOTOMETRIC PLAN.
- BUILDING ELEVATIONS.

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

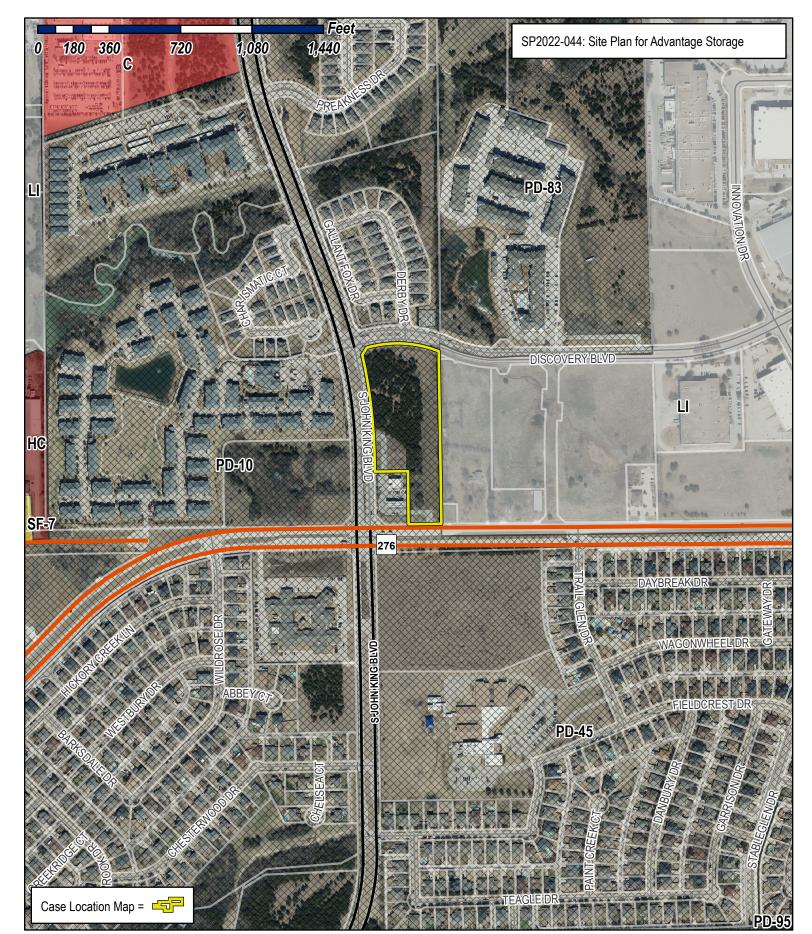
- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the Material Sample Board Design Guidelines in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will <u>not</u> be accepted.
- [] VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- [] LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- [] ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.
- [] LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- [] APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.

	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ION	STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	EVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:
☐ FINAL PLAT (\$300.0 ☐ REPLAT (\$300.00 + ☐ AMENDING OR MIN ☐ PLAT REINSTATEN SITE PLAN APPLICAT ☑ SITE PLAN (\$250.00	00.00 + \$15.00 ACRE) ¹ T (\$200.00 + \$15.00 ACRE) ¹ D0 + \$20.00 ACRE) ¹ \$20.00 ACRE) ¹ NOR PLAT (\$150.00) MENT REQUEST (\$100.00) TON FEES:	CONIN CONTENT	APPLICATION FEES: NG CHANGE (\$200.00 + \$15.00 ACRE) 1 CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 * 2 EVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 APPLICATION FEES: REMOVAL (\$75.00) ANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 MINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO CNE (1) ACRE. 400 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING
ADDRESS	MATION [PLEASE PRINT]		
	210		
SUBDIVISION	NE QUAD JUHON KING		LOT BLOCK
CURRENT ZONING PROPOSED ZONING ACREAGE	NAND PLATTING INFORMATION (PLEASE PR 20 1 HIGHWAY OVERUAY 1 1 3.682 LOTS [CURRENT]		DUSE MINI. STOPAGE LOTS [PROPOSED] 1
SITE PLANS AND PL REGARD TO ITS APPI RESULT IN THE DENI	ROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAI	DUE TO THE F'S COMME	E PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH INTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICAN	T/AGENT INFORMATION [PLEASE PRINT/CHECK	THE PRIMAR	RY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
CONTACT PERSON GA ADDRESS CITY, STATE & ZIP PHONE E-MAIL E-MAIL EFORE ME, THE UNDERSIG	AMBRIDGE PROPERTIES ARRETT POINDEXTER CO 750 N. CENTRAL EXP. 3417E 1735 AUAS TX 75231 CI 172-832-8933 ONES CARVANTAGESTORAG	TY, STATE & PH	CANT BOB PRUEIT RSON UFBAN STRUCTURE RESS BILLO WALNUTHILL SUITE 905 8 ZIP DALLAS TX 75231 HONE 214-295-5347
S INFORMATION CONTAINED WI SUBMITTED IN CONJUNCTION	TO COVER THE COST OF THIS APPLICATION, HAS BE 20. BY SIGNING THIS APPLICATION, I AGREE TH ITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALS WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIAT SEAL OF OFFICE ON THIS THE ISH DAY OF THE OWNER'S SIGNATURE	EN PAID TO T IAT THE CITY O AUTHORIZI	OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
DEVEL	OPMENT APPLICATION	nu	ner e the encodes the countre (#) with the control

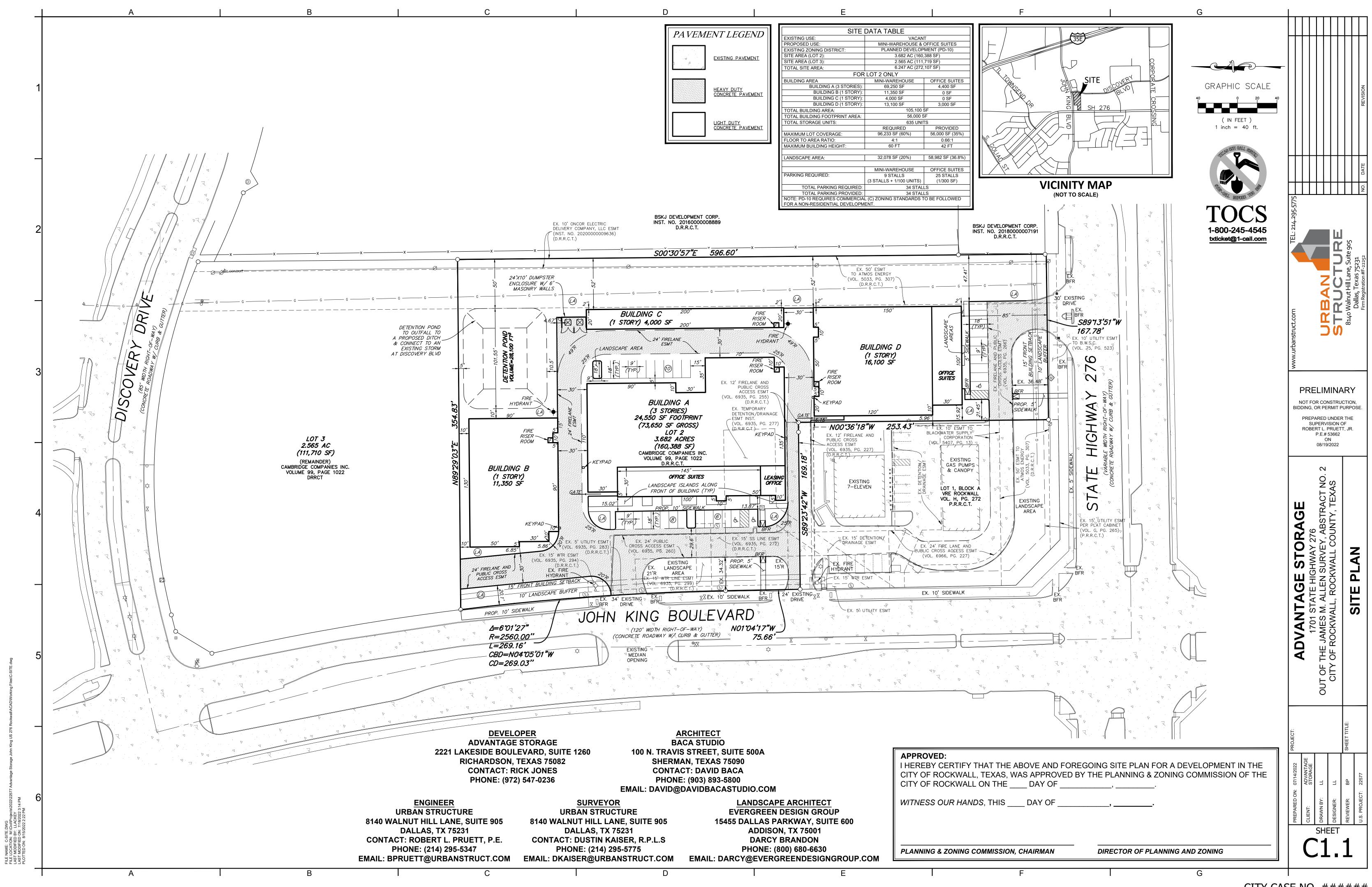


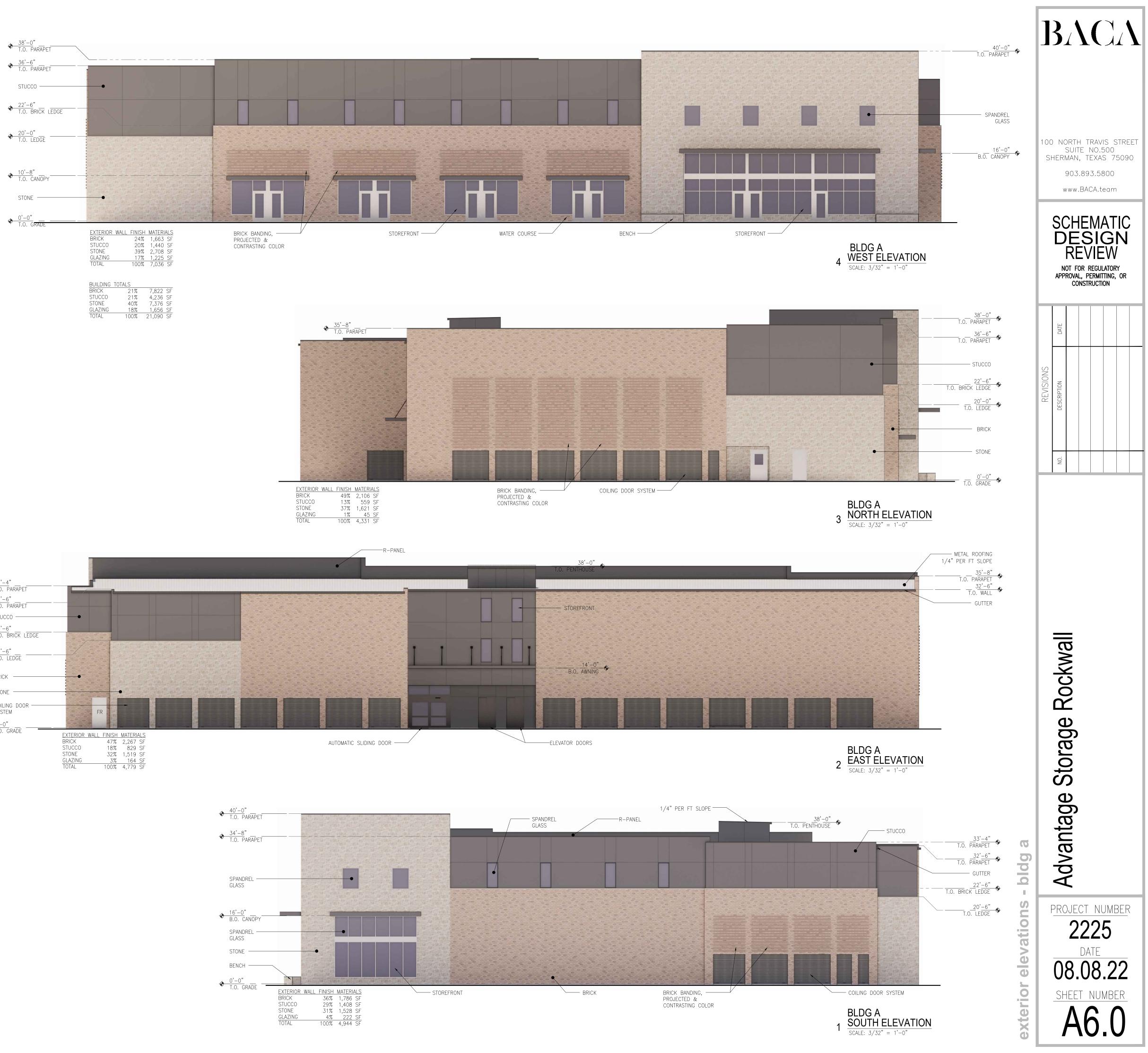


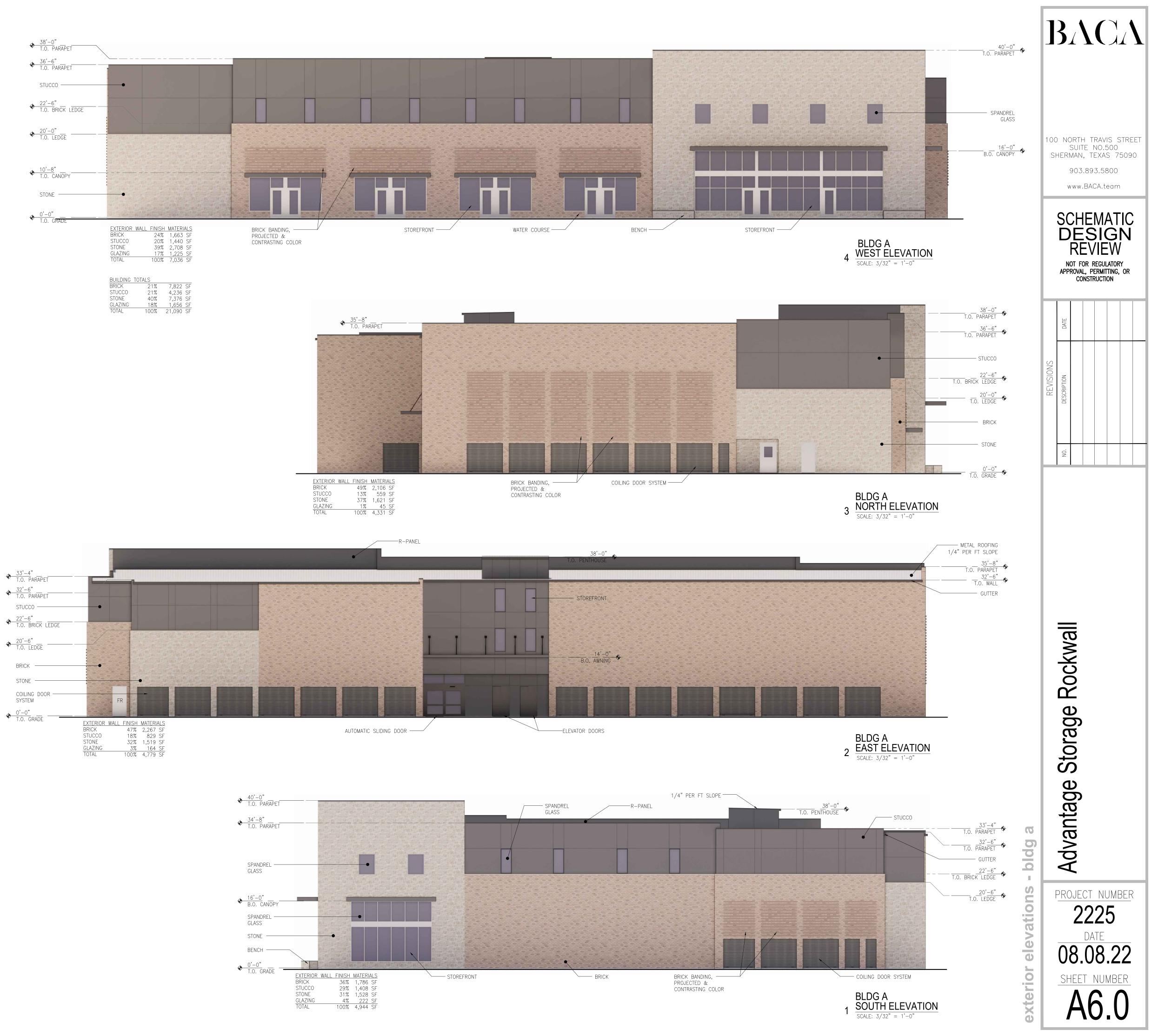
City of Rockwall

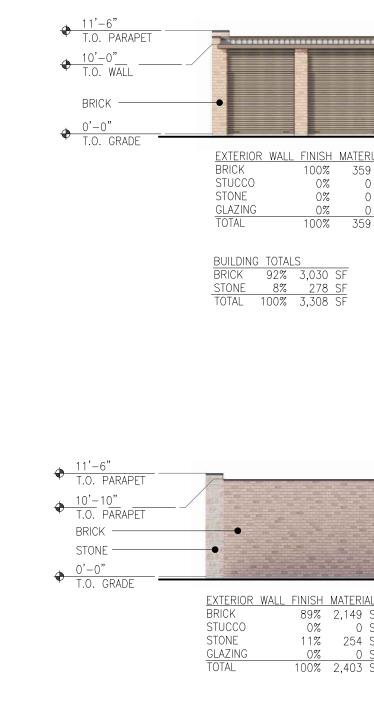
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

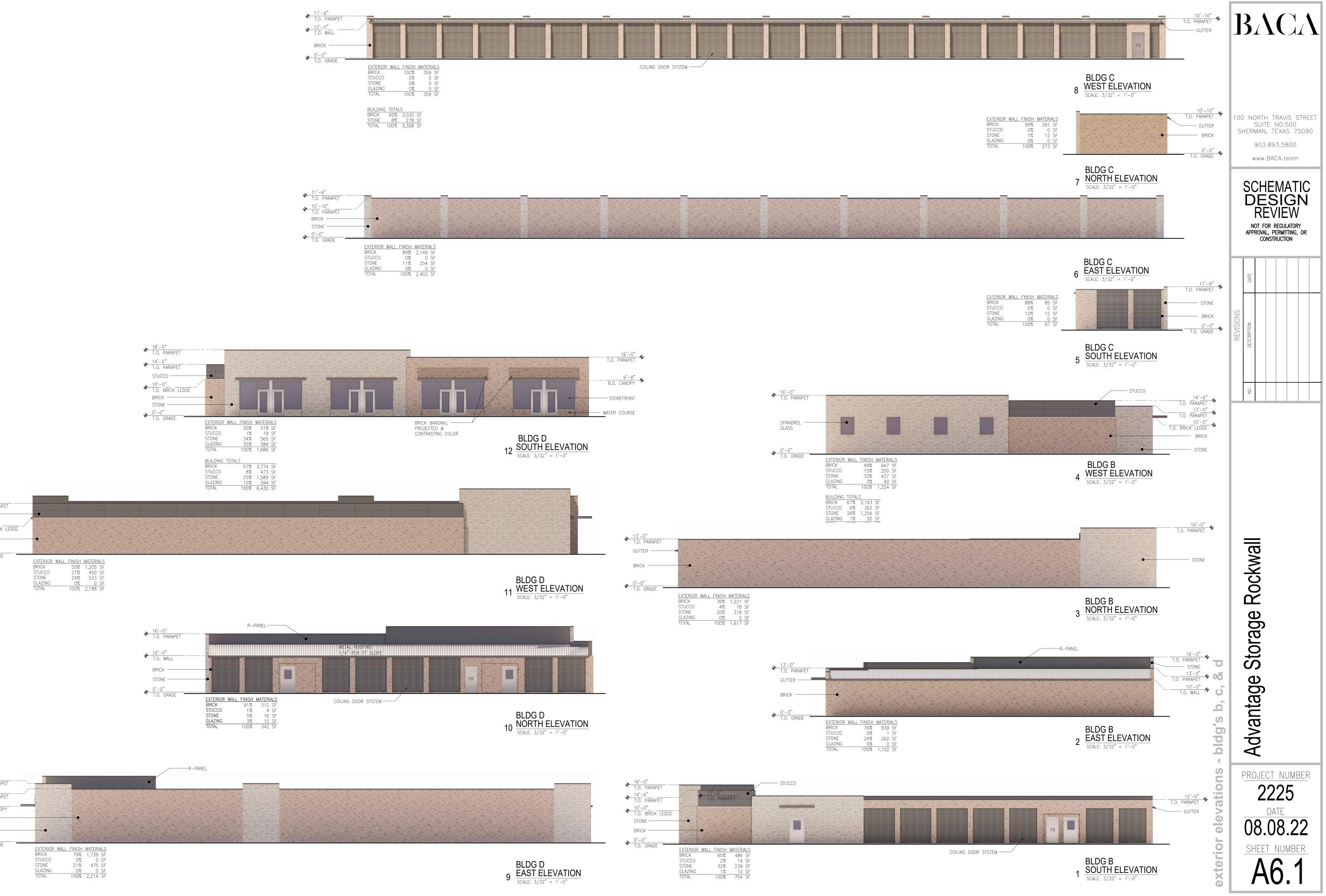






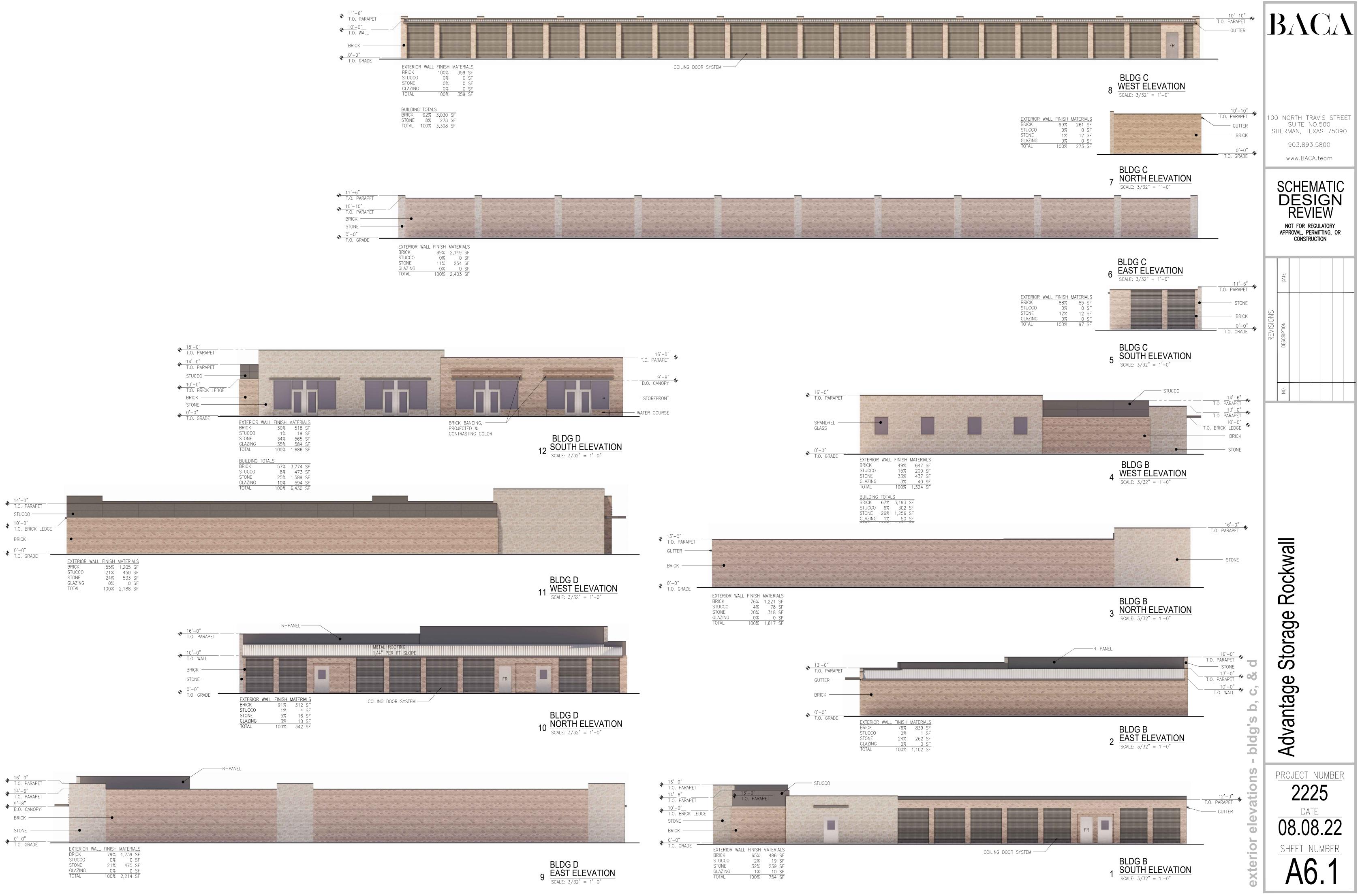


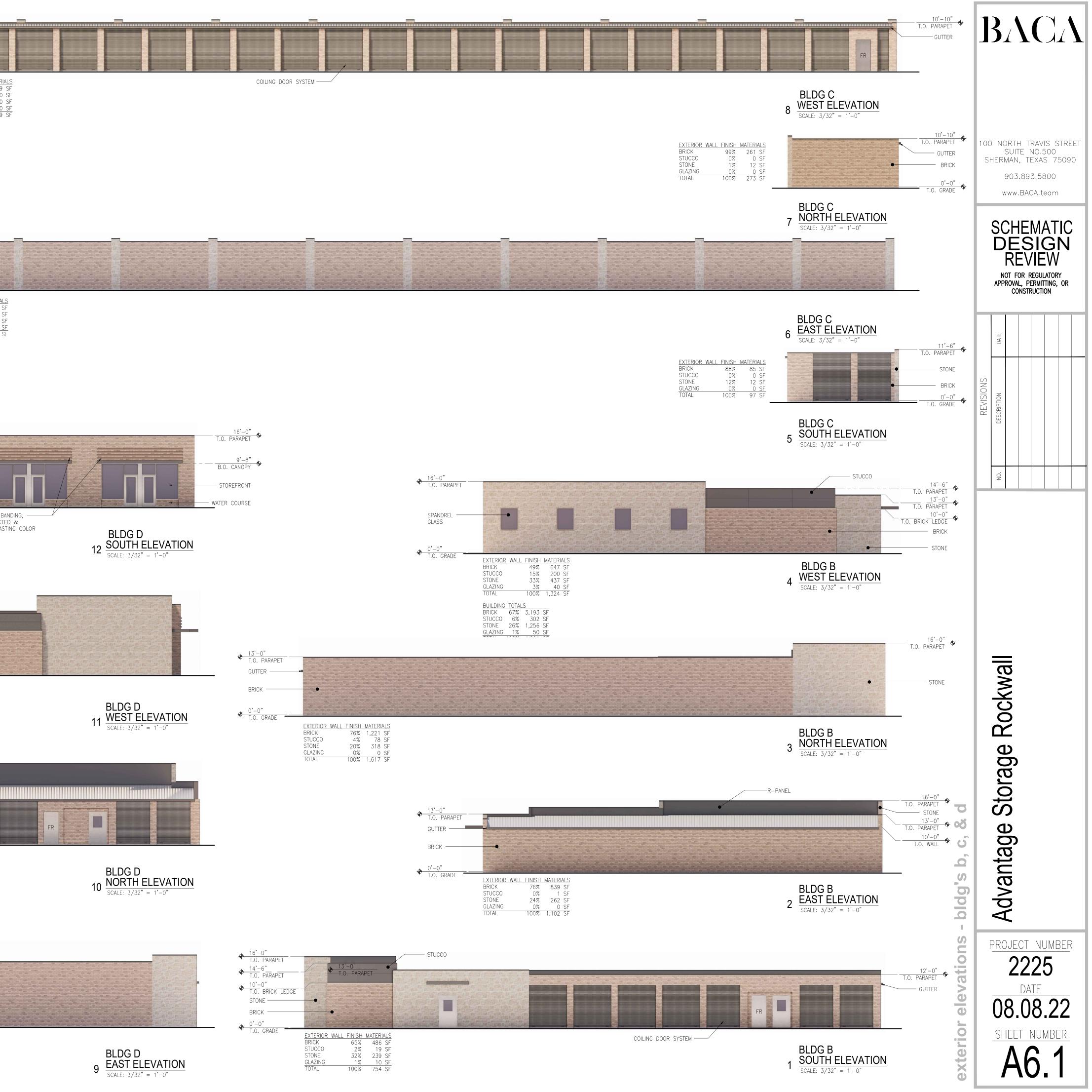




_		Page 1 and 1			Part of
	EXTERIOR	WALL	FINISH	MATERI	<u>als</u>
	BRICK		55%	1,205	SF
	STUCCO		21%	450	SF
	STONE		24%	533	SF
	GLAZING		0%	0	SF
	TOTAL		100%	2,188	SF

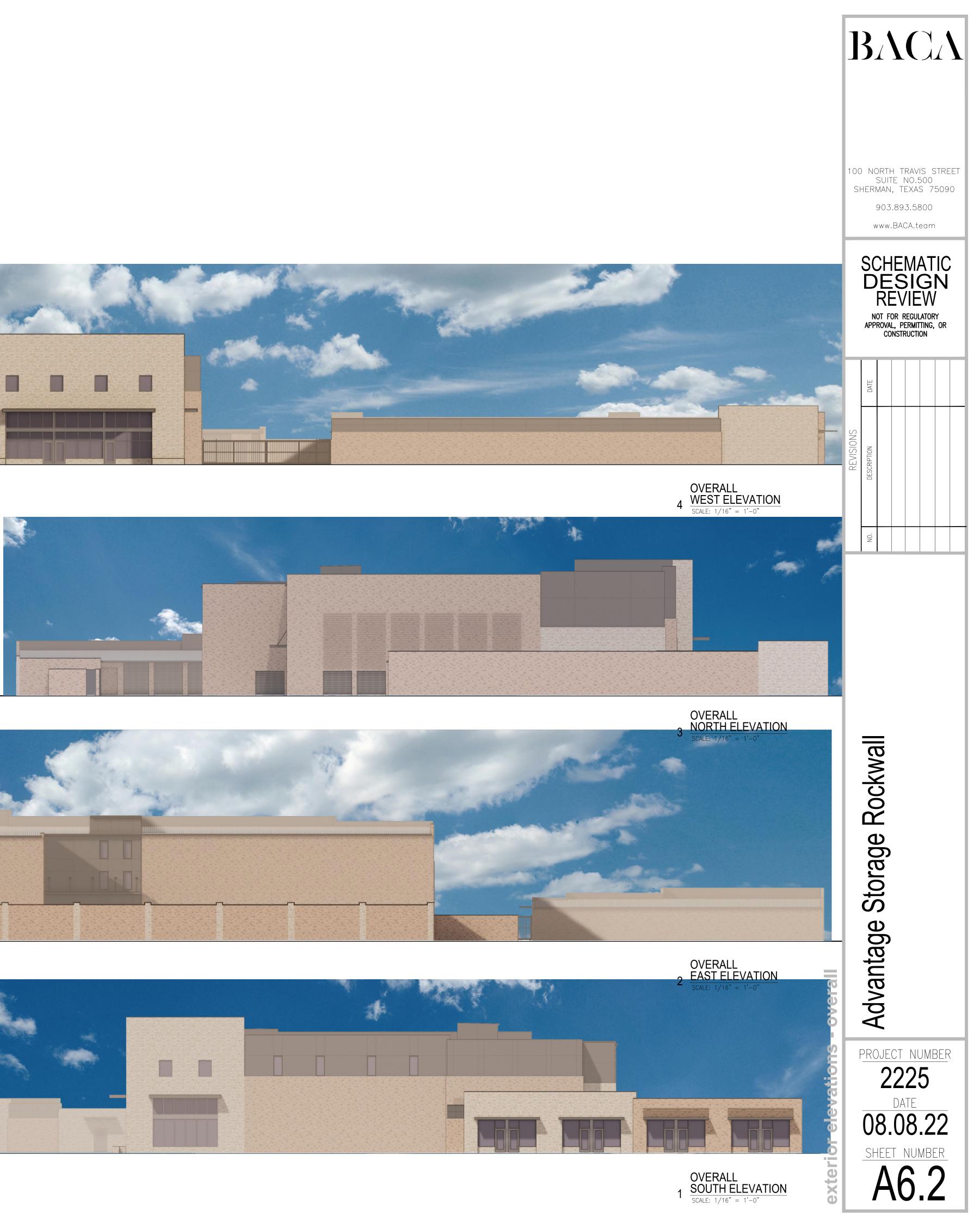
L	16'-0"		R-PANEL-		<			
\$ -	T.O. PARAPET				•			
•	10'-0"					METAL ROOFING 1/4" PER FT SLOF	ΡE	
т	T.O. WALL							
	BRICK							
	STONE							
\$	0'-0" T.O. GRADE							
	1.0. ONADE	EXTERIOR WALL F	INISH MATER	IALS		COILING DOOR SYSTE	м	
			91% 312			COLLING DOOR STOLE	JWI	
		STUCCO		SF				
		STONE		SF				
		GLAZING	<u> </u>	SF				
		TOTAL	100% 342	SF				

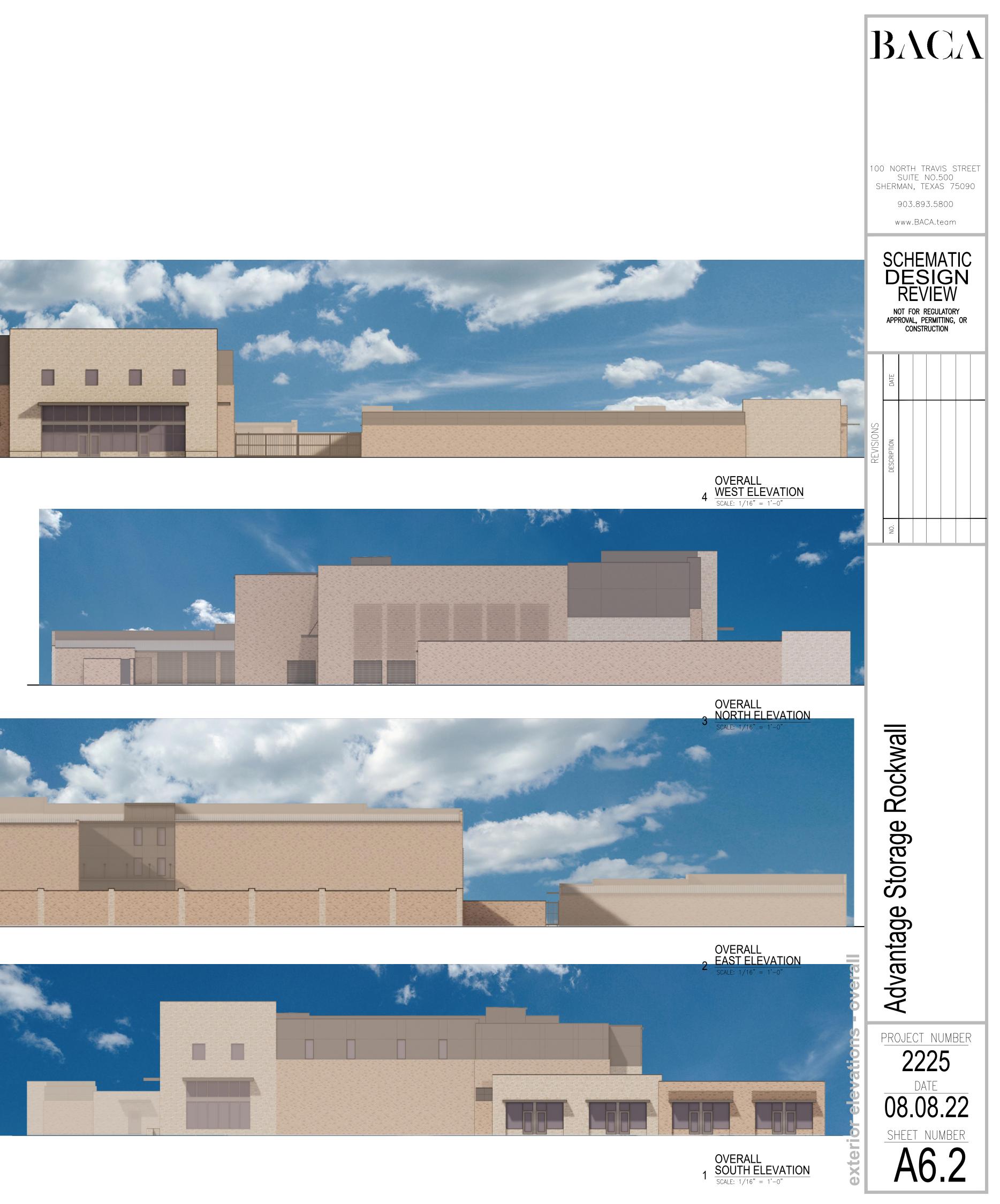














APPLICANT INFORMATION

APPLICANT: BOB PRUETT CONTACT PERSON: URBAN STRUCTURE ADDRESS: 8140 WALNUT HILL LANE, SUITE 905 DALLAS, TEXAS 75231 EMAIL: BPRUETT@URBANSTRUCT.COM PHONE: 214.295.5347

(2

OWNER INFORMATION

OWNER: CAMBRIDGE PROPERTIES INC. CONTACT PERSON: GARRETT POINDEXTER ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735 DALLAS, TEXAS 75231 EMAIL: RJONES@ADVANTAGESTORAGE.NET PHONE: 972.832.8933

PROJECT INFORMATION

A MANAGER AND A SOLUTION OF A DATA O

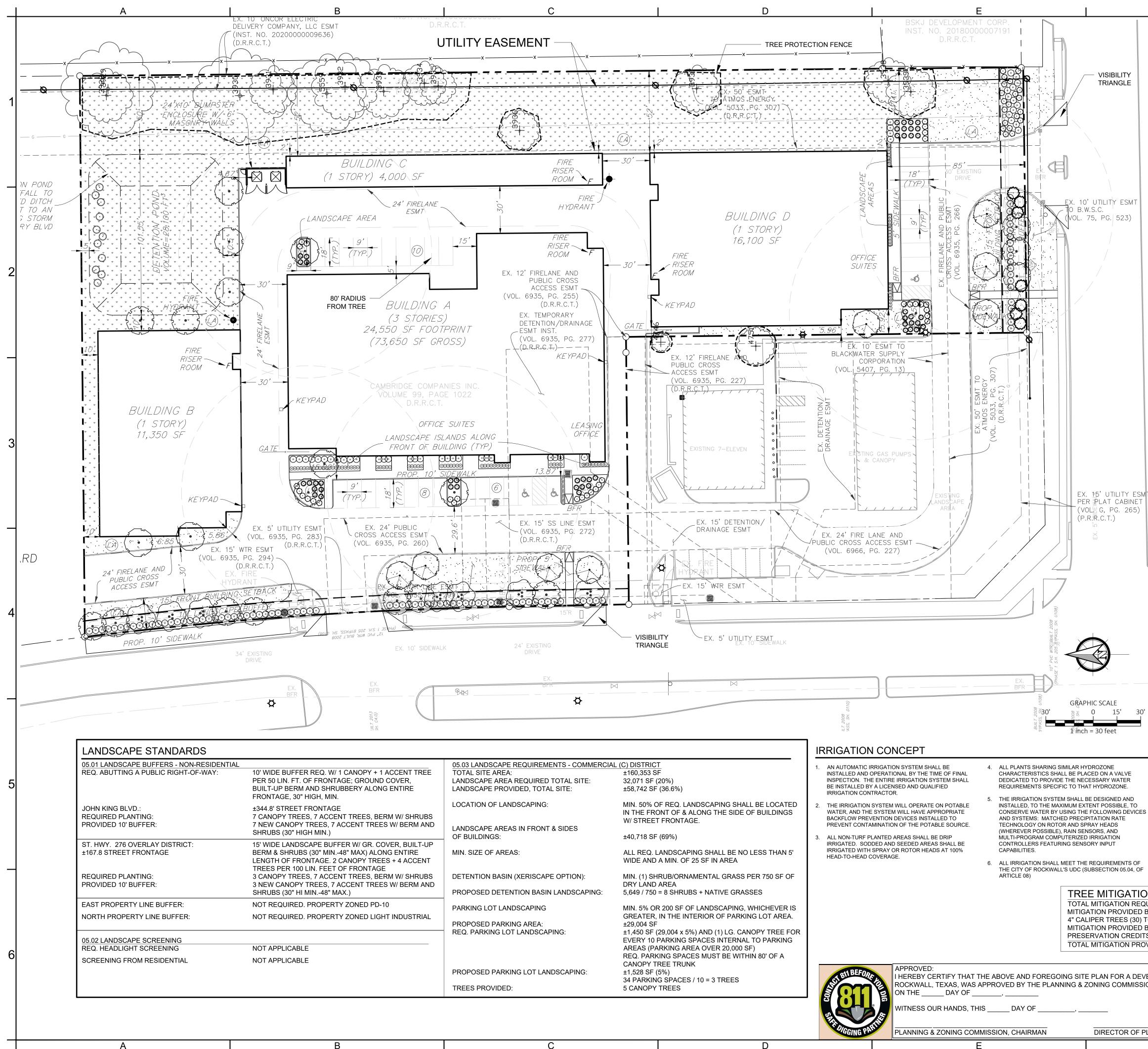
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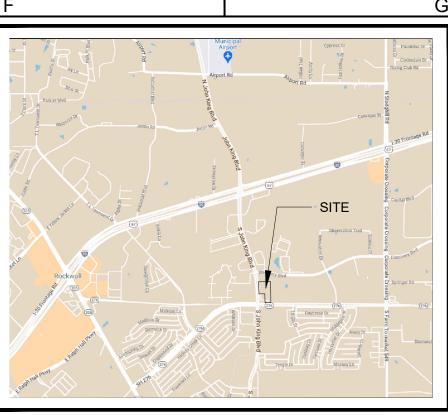
A MARK MARK MARK W

NAME: ADVANTAGE STORAGE

ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032

CASE #:







VICINITY MAP (NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	<u>QTY</u>
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	12
No contraction of the second s	10

	8
	12
a me	10
*ALL CANOPY TREE	ES TO BE L
ACCENT TREES	QTY
	7
\bigcirc	7
SHRUBS	<u>QTY</u>
o	47
0	

ΠĒ	EDULE		
<u>Y</u>	BOTANICAL / COMMON NAME	CAL	<u>SIZE</u>
	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL*	14'-16' HT
	QUERCUS MUHLENBERGIA CHINQUAPIN OAK	4" CAL*	14`-16` HT
	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL*	16`-18` HT
) BE	USED FOR MITIGATION		
Y	BOTANICAL / COMMON NAME	CAL	SIZE
	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL. 1" / STEM	4` -6` HT
	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL. 1" / STEM	4` -6` HT
Y	BOTANICAL / COMMON NAME	CONT	
	HESPERALOE PARVIFLORA RED YUCCA	3 GAL	
	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	
	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL	
	MUHLENBERGIA RIGENS DEER GRASS	3 GAL	
Y	BOTANICAL / COMMON NAME	CONT	
	RUELLIA BRITTONIANA 'KATIE' KATIE'S DWARF PETUNIA	1 GAL	
SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD	
SF	BLACKLAND PRAIRIE SEED MIX NATIVE AMERICAN SEED (SEEDSOUR(HYDROSEED CE.COM)	

MULCHES

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GROUND COVER

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AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

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QTY

13,325

38,885

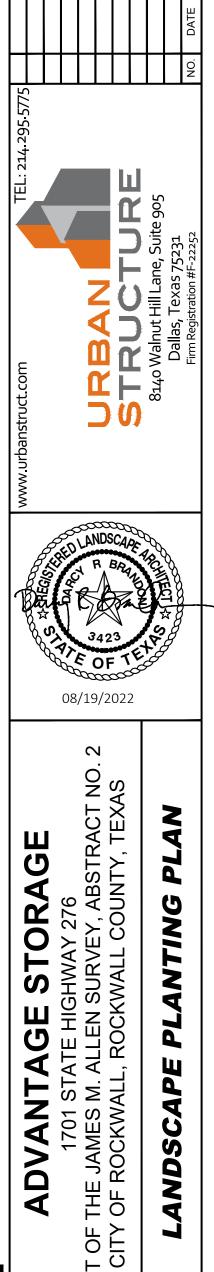
ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

		EXISTING U
		PROPOSED
		EXISTING Z
		SITE AREA
		SITE AREA
		TOTAL SITE
		BUILDING A
ON SUMMARY		
UIRED:	119.75"	
BY PLANTING		TOTAL DU
TO BE PLANTED ONSITE:	120.0"	TOTAL BUI
BY PURCHASING		TOTAL BUI
S (20% OF TOTAL):	0"	TOTAL STO
VIDED:	120.0"	MAXIMUM
		FLOOR TO
		MAXIMUM
ELOPMENT IN THE CITY C)F	LANDSCAP
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		NOTE: PD-1
LANNING AND ZONING		FOR A NON

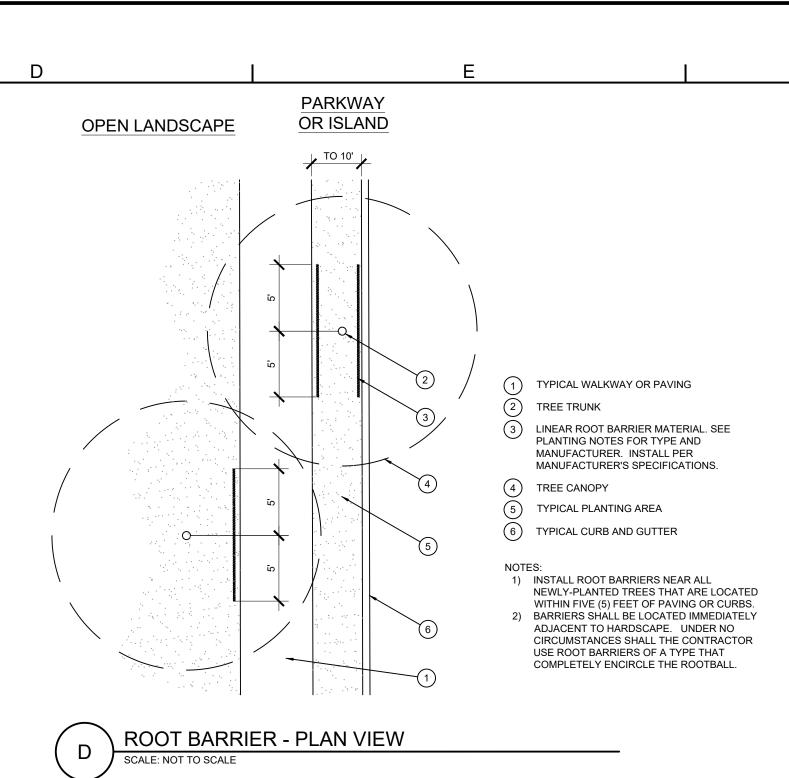
	VACAN VACAN VAREHOUSE & (NNED DEVELOP 3.682 AC (160,	OFFICE SUITES			OUT OI	-	
EXISTING USE: MINI-V	VACAN WAREHOUSE & (NNED DEVELOP	OFFICE SUITES			O		
	NNED DEVELOP				-		L
EXISTING ZONING DISTRICT: PLA		MENT (PD-10)					L
	3.682 AC (160.						╋
SITE AREA (LOT 2):		388 SF)					L
SITE AREA (LOT 3):	2.565 AC (111,	719 SF)					L
TOTAL SITE AREA:	6.247 AC (272,	107 SF)					
FOR LOT 2 ON	ILY		Ë				
	AREHOUSE	OFFICE SUITES	PROJECT				ľ
BUILDING A (3 STORIES): 69,	250 SF	4,400 SF	õ				
BUILDING B (1 STORY): 11,	350 SF	0 SF	РН				1
BUILDING C (1 STORY): 4,0	000 SF	0 SF					
BUILDING D (1 STORY): 13,	100 SF	3,000 SF		ADVANTAGE STORAGE			
TOTAL BUILDING AREA:	105,100 SF			E TA			
TOTAL BUILDING FOOTPRINT AREA:	56,000 SF		4/2	RAN			
TOTAL STORAGE UNITS:	635 UNIT	ſS	07/14/2022	25 D	Ľ		
	QUIRED	PROVIDED	Ö	٩٥		LL	
MAXIMUM LOT COVERAGE: 96,233	8 SF (60%)	56,000 SF (35%)	ż				
FLOOR TO AREA RATIO:	4:1	0.66:1	0				
MAXIMUM BUILDING HEIGHT: 6	0 FT	42 FT			В	ШЦ	
			AF	μ	N N	U U	
LANDSCAPE AREA: 32,078	8 SF (20%)	58,982 SF (36.8%)	PREPARED ON:	CLIENT:	JRAWN BY :	DESIGNER:	
			H H	C	DF	B	
	AREHOUSE	OFFICE SUITES			СШ		
-	TALLS	25 STALLS			SUI	EET	
	+ 1/100 UNITS)	(1/300 SF)					
TOTAL PARKING REQUIRED:	34 STALI						
TOTAL PARKING PROVIDED: 34 STALLS						ノ_ '	
NOTE: PD-10 REQUIRES COMMERCIAL (C) ZONING	S STANDARDS T	O BE FOLLOWED					
FOR A NON-RESIDENTIAL DEVELOPMENT.							

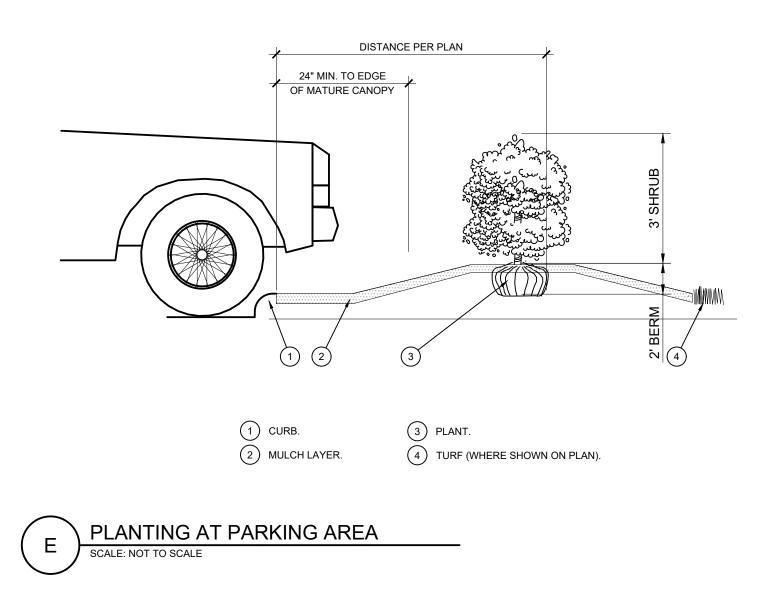
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	A	В	C	
	PLANTING SPECIFICATIONS			
	GENERAL A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR			BMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE N WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENC
	 ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE SPECIALIZING IN LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION 	TYPE, SIZE AND NATURE MAY BE MEASURES.	PHOTOS OR SAMPLES OF ANY REQUIRE RECOMMENDATIONS FROM THE TESTIN TYPES, AND OTHER AMENDMENTS FOR	OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, D MULCHES, AND SOIL TEST RESULTS AND PREPARATION G LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
1	 THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSE THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OF APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPAF STRUCTURAL PEST CONTROL BOARD. 	PERATE UNDER A COMMERCIAL PESTICIDE	AS TREE STAKES AND TIES, EDGING, AN 4. WHERE MULTIPLE ITEMS ARE SHOWN C	IUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUC ID LANDSCAPE FABRICS (IF ANY). N A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE
	 B. SCOPE OF WORK 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURN LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY 		ITEM BEING CONSIDERED. C. GENERAL PLANTING 1. REMOVE ALL NURSERY TAGS AND STAK 2. EXCEPT IN AREAS TO BE PLANTED WITH	ES FROM PLANTS. I ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDE
	THE EXECUTION, INSTALLATION AND COMPLETION OF ALL W ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AL REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDIO	LL APPLICABLE LAWS, CODES AND		DED RATE. B ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITIC REES, AND SHALL EXERCISE ALL POSSIBLE CARE AND
	INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE TRANSPORTATION AND INSTALLATION OF MATERIALS. 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIO (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TE	ON OF ALL UNDERGROUND UTILITY LINES	DEFINED AS A CIRCULAR AREA EX EQUAL TO 1' FOR EVERY 1" OF TR GRADE AT THE TRUNK).	O TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS TENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS JNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE
	ANY WORK. <u>PRODUCTS</u>		EXCAVATION OR TRENCHING OF A c. ALTER ALIGNMENT OF PIPE TO AV	" SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE NY KIND SHALL BE ALLOWED WITHIN THE CRZ. OID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE N DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UND
	 A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS: 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI 		CLOSE ALL TRENCHES WITHIN TH	DOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. E CANOPY DRIP LINES WITHIN 24 HOURS. AND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY RS OR WOUND PAINTS.
	BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND D SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FOI SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF	ISFIGUREMENT. ALL PLANTS WITHIN A RM TYPICAL FOR THE SPECIES. ALL TREES	ROOTBALL, AND TO A DEPTH EQUAL TO	VATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THI THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. HE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
2	CLIMACTIC CONDITIONS. 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED F FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FR J-SHAPED ROOTS).	ROM ANY OTHER ROOT DEFECTS (SUCH AS	3. FOR CONTAINER AND BOX TREES, TO R DEFECTS, THE CONTRACTOR SHALL SH	BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. EMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROC AVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS
	 TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AN ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT AC ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE A IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REP 	CCEPTABLE. RCHITECT OR OWNER SHALL BE	FOUR INCHES ABOVE THE SURROUNDIN	JBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO IG GRADE. E EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1
	TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. AN EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACC OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTAB 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERW	CEPTED. THE LANDSCAPE ARCHITECT AND BILITY OF PLANT MATERIAL.	ADDITIONAL SOIL BE REQUIRED TO ACC IMPORT ADDITIONAL TOPSOIL FROM OF	REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD COMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE O F-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED AL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
	LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED C AFTER PLANTING. 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING	TREES SHALL BE AS FOLLOWS: SIX INCHES	REQUIRE STAKES TO KEEP TREES UPRI TREE STAKES (BEYOND THE MINIMUMS	LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) GHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER (LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR
-	INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FO 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERA THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE US AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE I	OUR INCHES IN CALIPER. ALL HEIGHT, MEASURED FROM THE TOP OF SED, THE CALIPER SHALL BE CALCULATED	SHALL STRAIGHTEN THE TREE, OR REP ADHERE TO THE FOLLOWING GUIDELIN a. 1"-2" TREES TWO	ACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHAL
	 ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACE THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE ALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH 	ED ON TOP OF THE ROOT BALL, SO THAT L BE REJECTED. 'HE PLANS. SOD SHALL BE CUT FROM	c. TREES OVER 4" CALIPER GUY d. MULTI-TRUNK TREES THRE NEEDED TO STABILIZE THE TREE	AS NEEDED EE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS EE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS
	ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARG PLANTS, ROOTS, AND SEEDS. E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGAN	COMPOSITION OF THE SOD. GER THAN ½ INCH, FOREIGN MATTER,	NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CON	STRUCT AN EARTH WATERING BASIN AROUND THE TREE. G WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH
3	MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCEN SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEE AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE C USED.	T PASSING THROUGH 3/4-INCH SIEVE; EDING 0.5 PERCENT INERT CONTAMINANTS	E. SHRUB, PERENNIAL, AND GROUNDCOVER PLA 1. DIG THE PLANTING HOLES TWICE AS WI	NTING DE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTA DUND THE PLANT WITH SOIL AMENDED PER SOIL TEST
	 F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, F NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RE QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DE 	ECOMMENDED IN A SOIL REPORT FROM A	THE WEED BARRIER CLOTH IN PLACE.	YERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KE MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING GAREA.
	TOP DRESSING OF TREES AND SHRUBS. H. TREE STAKING AND GUYING 1. STAKES: 6' LONG GREEN METAL T-POSTS. 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STE		 F. SODDING 1. SOD VARIETY TO BE AS SPECIFIED ON 1 2. LAY SOD WITHIN 24 HOURS FROM THE 1 	
	DIAMETER. 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS / GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE. I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK	AT LEAST 1-1/2 INCH WIDE, WITH	STRIPS - DO NOT OVERLAP. STAGGER 4. ROLL THE SOD TO ENSURE GOOD CON UNDERNEATH.	STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. ACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL
-	GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR A J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PR FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.	PPROVED EQUAL. RE-EMERGENT HERBICIDE THAT IS LABELED	LEAST SIX INCHES OF PENETRATION IN G. MULCH	
	METHODS		2. DO NOT INSTALL MULCH WITHIN 6" OF T EXCEPT AS MAY BE NOTED ON THESE F CURBS SHALL NOT PROTRUDE ABOVE T	REE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURE LANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND HE FINISH SURFACE OF THE WALKS AND CURBS. MULCH AT LEAST 3" LOWER THAN THE TOP OF WALL.
	 A. SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR S LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. TH OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. 	HE CONTRACTOR SHALL NOTIFY THE	H. CLEAN UP	D PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK ARE
4	 SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, COI FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB 	AN ESTABLISHED SOIL TESTING	I. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE FREE OF DEBRIS AND TRASH, AND SUIT	LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN ABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
	QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SUF LOCATIONS ARE INDICATED ON THE PLANS, THE CONT SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIOI b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LAI	TRACTOR SHALL TAKE A MINIMUM OF THREE NS FOR TESTING.	2. WHEN THE INSPECTED PLANTING WOR LANDSCAPE CONTRACTOR SHALL REPL SATISFACTION WITHIN 24 HOURS.	COES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE ACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS
	FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL F SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) A c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT WITH THE SOIL SAMPLES.	FERTILITY, pH, ORGANIC MATTER CONTENT, AND BORON CONTENT.	BEEN RE-INSPECTED BY THE OWNER A	ND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN
	d. THE SOIL REPORT PRODUCED BY THE LABORATORY S THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL RECOMMENDATIONS FOR GENERAL ORNAMENTAL PL/ SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATION	PREPARATION AND BACKFILL MIX ANTS, XERIC PLANTS, TURF, AND NATIVE	1. THE LANDSCAPE CONTRACTOR SHALL ON THESE PLANS FOR 90 DAYS BEYONI OWNER. LANDSCAPE MAINTENANCE SH	BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHO) FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE IALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THA
_	OTHER SOIL RELATED ISSUES. THE REPORT SHALL AL THE ESTABLISHMENT PERIOD AND FOR LONG-TERM M 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SO	LSO PROVIDE A FERTILIZER PROGRAM FOR IAINTENANCE. FERTILIZERS PER THE SOILS REPORT	HAVE SETTLED, MOWING AND AERATIO DISEASES,REPLACEMENT OF MULCH, R TO FAULTY PARTS AND/OR WORKMANS	N OF LAWNS, WEEDING, TREATING FOR INSECTS AND EMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DL HIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING
	INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OW 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SH a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS ROTOTILLING AFTER CROSS-RIPPING:	VNER WITH THE REPORT. ALL CONSIST OF THE FOLLOWING:	ORDER, WITH SCHEDULING ADJUSTMEN 2. SHOULD SEEDED AND/OR SODDED ARE	ITS BY SEASON TO MAXIMIZE WATER CONSERVATION. AS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAIN
	 NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. Y PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLO S.F. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RE 	OW RELEASE, ORGANIC) - 15 LBS PER 1,000	 TO ACHIEVE FINAL ACCEPTANCE AT TH CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW AC 	E END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWIN TIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR NTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND
r.	 b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE TH 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS- i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. Y ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW REI 	HE FOLLOWING AMENDMENTS INTO THE TOP -RIPPING: YDS. PER 1,000 S.F.	REPLACED BY HEALTHY PLANT M b. ALL HARDSCAPE SHALL BE CLEAN c. SODDED AREAS MUST BE ACTIVE	ATERIAL PRIOR TO FINAL ACCEPTANCE. IED PRIOR TO FINAL ACCEPTANCE. Y GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST I
5	 iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RE iv. IRON SULPHATE - 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICAT FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULC) 	ECOMMENDED RATE TIONS, "FINISH GRADE" REFERS TO THE	RESODDED (AS APPROPRIATE) PF NEATLY MOWED. K. WARRANTY PERIOD, PLANT GUARANTEE AND	IOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE
	a. BEFORE STARTING WORK, THE LANDSCAPE CONTRAC GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1 FOR MORE DETAILED INSTRUCTION ON TURF AREA AN b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOW	CTÓR SHALL VERIFY THAT THE ROUGH 1' OF FINISH GRADE. SEE SPECIFICATIONS ND PLANTING BED PREPARATION.	IRRIGATION SYSTEMS FOR A PERIOD OF ACCEPTANCE (90 DAYS FOR ANNUAL PL EXPENSE AND TO THE SATISFACTION O	F <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN F THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR ION SYSTEM WHICH OPERATE IMPROPERLY.
	AND MAINTAIN SLOPES AS RECOMMENDED BY THE GE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM SPECIFIED IN THE REPORT AND ON THE GRADING PLA SHALL BE REGRADED TO BLEND IN WITH THE SURROU	EOTECHNICAL REPORT. ALL LANDSCAPE STRUCTURES AT THE MINIMUM SLOPE NS, AND AREAS OF POTENTIAL PONDING	2. AFTER THE INITIAL MAINTENANCE PERI CONTRACTOR SHALL ONLY BE RESPON CANNOT BE ATTRIBUTED DIRECTLY TO	DD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE SIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. RD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK.
_	POTENTIAL. c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WH WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST ,	HETHER OR NOT THE EXPORT OF ANY SOIL I GRADE PROVIDED, THE AMOUNT OF SOIL	RECORD DRAWING IS A RECORD OF ALL CHA	NGES THAT OCCURRED IN THE FIELD AND THAT ARE NDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUF
	d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IM OTHER WALKING SURFACES, AFTER INSTALLING SOIL FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER M	IMEDIATELY ADJACENT TO WALKS AND AMENDMENTS, IS 3" BELOW THE ADJACENT		
	TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADI FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMM OTHER WALKING SURFACES, AFTER INSTALLING SOIL	ING PLANS, AT APPROXIMATELY 18" AWAY IEDIATELY ADJACENT TO WALKS AND		
	SURFACE OF THE WALKS. TAPER THE SOIL SURFACE THE GRADING PLANS, AT APPROXIMATELY 18" AWAY F f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARI GEOTECHNICAL REPORT, THESE NOTES AND PLANS, A	TO MEET FINISH GRADE, AS SPECIFIED ON FROM THE WALKS. ISE BETWEEN THE GRADING PLANS,		
6	CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEM ARCHITECT, GENERAL CONTRACTOR, AND OWNER. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE C	IS TO THE ATTENTION OF THE LANDSCAPE		
	ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMA	THAINS IN THE FOR U OF SUIL.		
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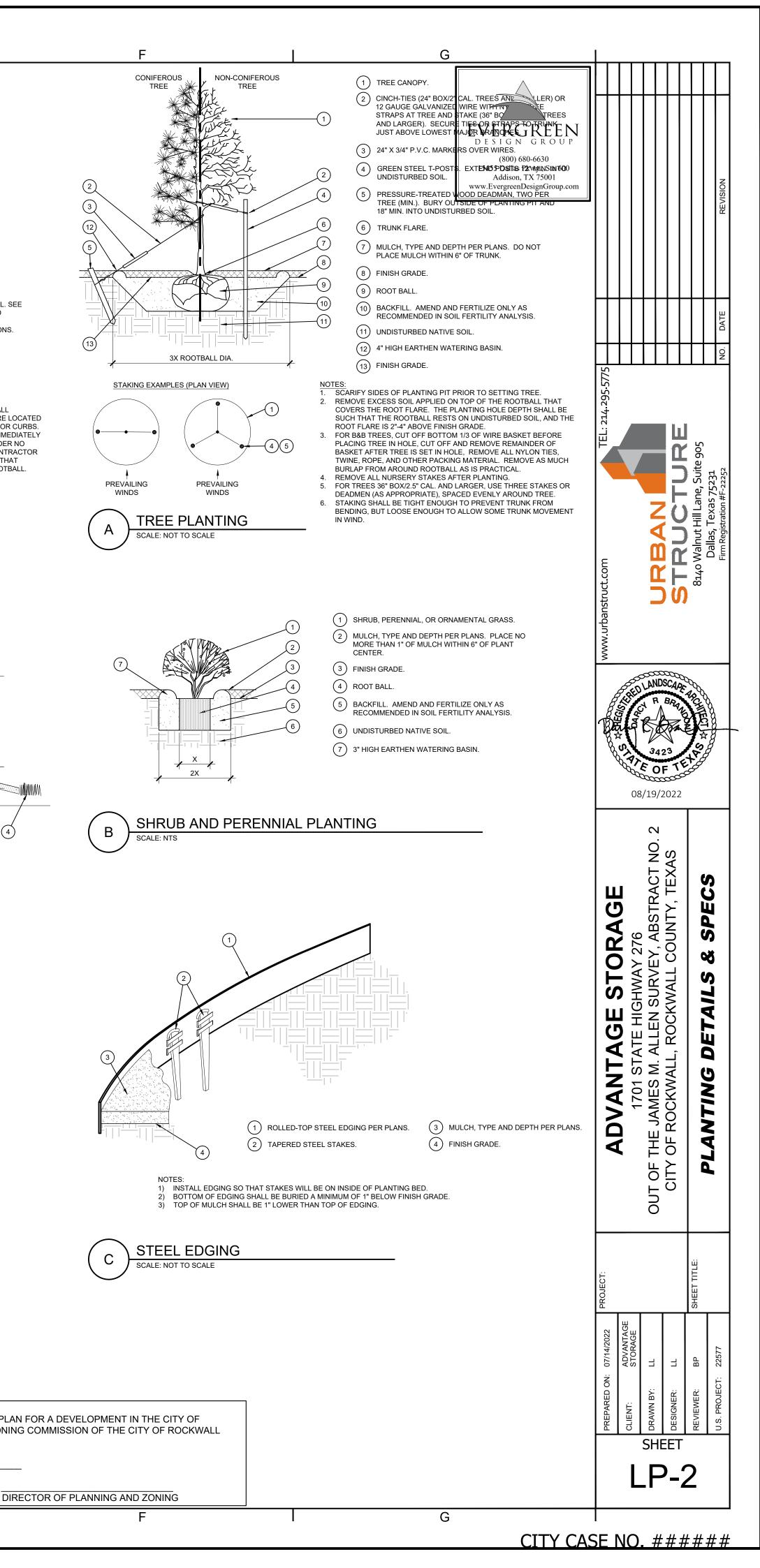
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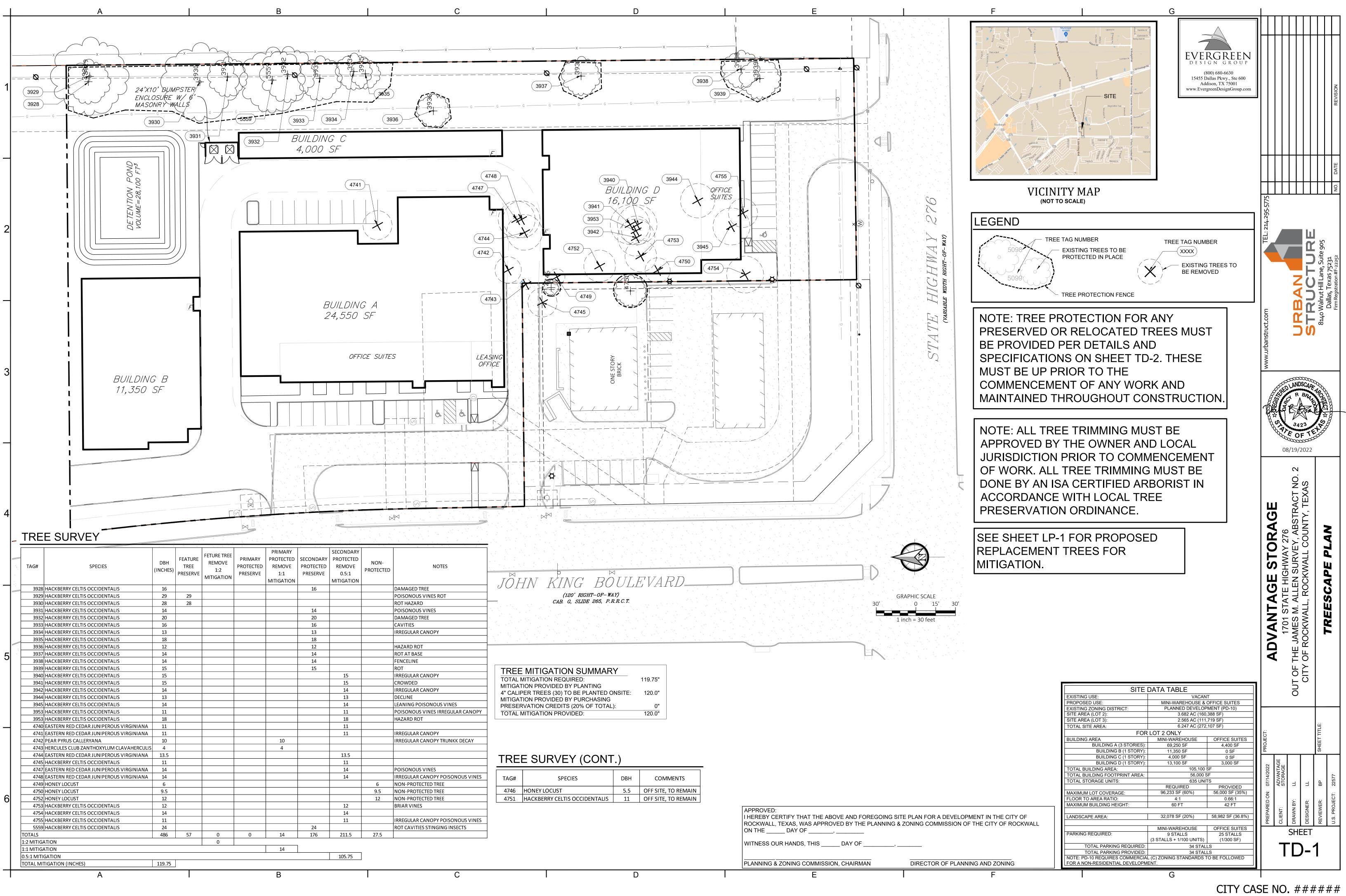




APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEV
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSI
ON THE DAY OF,
WITNESS OUR HANDS. THIS DAY OF .

PLANNING & ZONING COMMISSION, CHAIRMAN





	A B		С
	TREE PROTECTION SPECIFICATIONS		
	MATERIALS 1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.	9. WHERE EXCAVATION IN FOR IRRIGATION INSTAL HAND TOOLS ONLY.	LATION, PROCEED V
1	 POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE, USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED. 	10. THE CONTRACTOR SHA DIAMETER WHEN EXCA ROOTS LARGER THAN C FOR OAKS ONLY, ALL W WITHIN 30 MINUTES	VATION OCCURS NEA ONE INCH IN DIAMETE
	 CONSTRUCTION METHODS 1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY. 	 REMOVE ALL TREES, SH PROTECTED ROOT ZON TREES DAMAGED OR KI CONSTRUCTION SHALL 	E AREAS BY HAND. LLED DUE TO CONTR BE MITIGATED AT TH
-	2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.	AND TO THE PROJECT (SATISFACTION. 13. ANY TREE REMOVAL SH JURISDICTION PRIOR TO HAVE ALL REQUIRED PE	IALL BE APPROVED B D ITS REMOVAL, AND
0	3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.	 COVER EXPOSED ROOT WET BURLAP. IN CRITICAL ROOT ZONE CONSTRUCTION AND W SOIL WITH EIGHT INCHE COMPACTION. THIS EIG 	S AT THE END OF EA E AREAS THAT CANNO HERE HEAVY TRAFFI ES OF ORGANIC MULC
2	 4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA. 	16. WATER ALL TREES IMPA ONCE A WEEK DURING CROWNS WITH WATER	UCTION. ACTED BY CONSTRUC PERIODS OF HOT DR
	 THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER 	ON THE LEAVES. 17. WHEN INSTALLING CON USE A PLASTIC VAPOR I LEACHING OF LIME INTO	BARRIER BEHIND THE
	AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.	18. CONTRACTOR SHALL RI FENCING WHEN ALL THI CONSTRUCTION-RELAT	REATS TO THE EXIST
	 WITHIN THE CRZ: a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE. b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. 		
3	 d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING). e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES. f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE. 		
	8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.		
4		TREE PROTEC	TION GENERA
4		 (A) PRIOR TO THE LAN CONTRACTOR SHA FOR WHICH A TRE AND SHALL EREC TREES ACCORDIN (1) AROUND AN RADIUS OF ALL SF CABBAGE PALMS; (2) AROUND AN 	ND CLEARING STAGE ALL CLEARLY MARK A E REMOVAL PERMIT T BARRIERS FOR THE IG TO THE FOLLOWIN AREA AT OR GREATE PECIES OF MANGROV AREA AT OR GREATE
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REES MUST OCCUR, SUCH AS WITH CAUTION, AND USING

LARGER THAN ONE INCH IN EAR EXISTING TREES. ALL TER ARE TO BE CUT CLEANLY. AINTED WITH WOUND SEALER

TO BE CLEARED FROM

TRACTOR'S NEGLIGENCE DURING HE CONTRACTOR'S EXPENSE AL JURISDICTION'S

BY THE OWNER AND LOCAL ID THE CONTRACTOR SHALL ACTIVITIES.

EACH DAY WITH SOIL, MULCH OR

NOT BE PROTECTED DUING FIC IS ANTICIPATED, COVER THE LCH TO MINIMIZE SOIL MULCH SHALL BE MAINTAINED

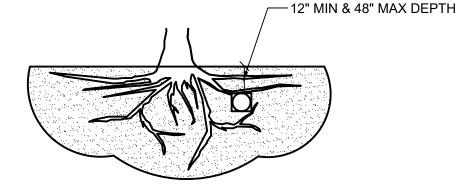
JCTION ACTIVITIES, DEEPLY RY WEATHER. SPRAY TREE REDUCE DUST ACCUMULATION

TO THE ROOT ZONE OF A TREE, HE CONCRETE TO PROHIBIT

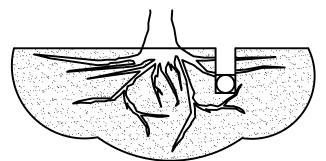
SE OF ALL TREE PROTECTION STING TREES FROM E BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE С SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION 1. MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND 2.
- FLAGGED PRIOR TO ROOT PRUNING. 3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL 4.
- AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. 5.
- ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000. 6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

AL NOTES

GE OF DEVELOPMENT, THE KALL PROTECTED TREES T HAS NOT BEEN ISSUED HE PROTECTION OF THE ING: TER THAN A SIX-FOOT

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, NOTICE OR OTHER R FASTEN ANY WIRES, PROTECTED TREE IN ANY FUL TO THE PROTECTED NJUNCTION WITH

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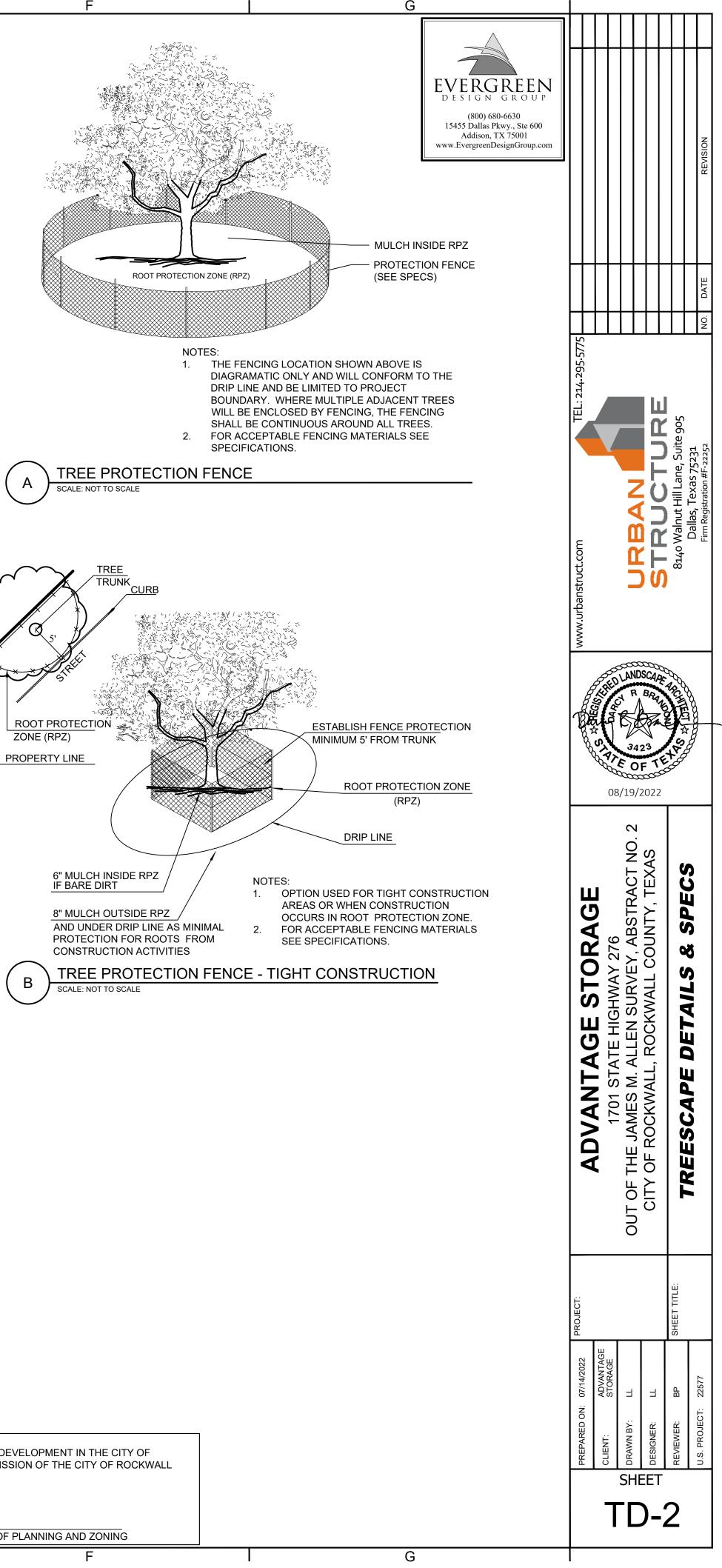
TREE PROTECTION FENCE TO BE ERECTED IN LINE WITH ROOT PRUNING LIMITS. SEE DETAILS AND SPECIFICATIONS FOR TREE PROTECTION FENCE REQUIREMENTS.

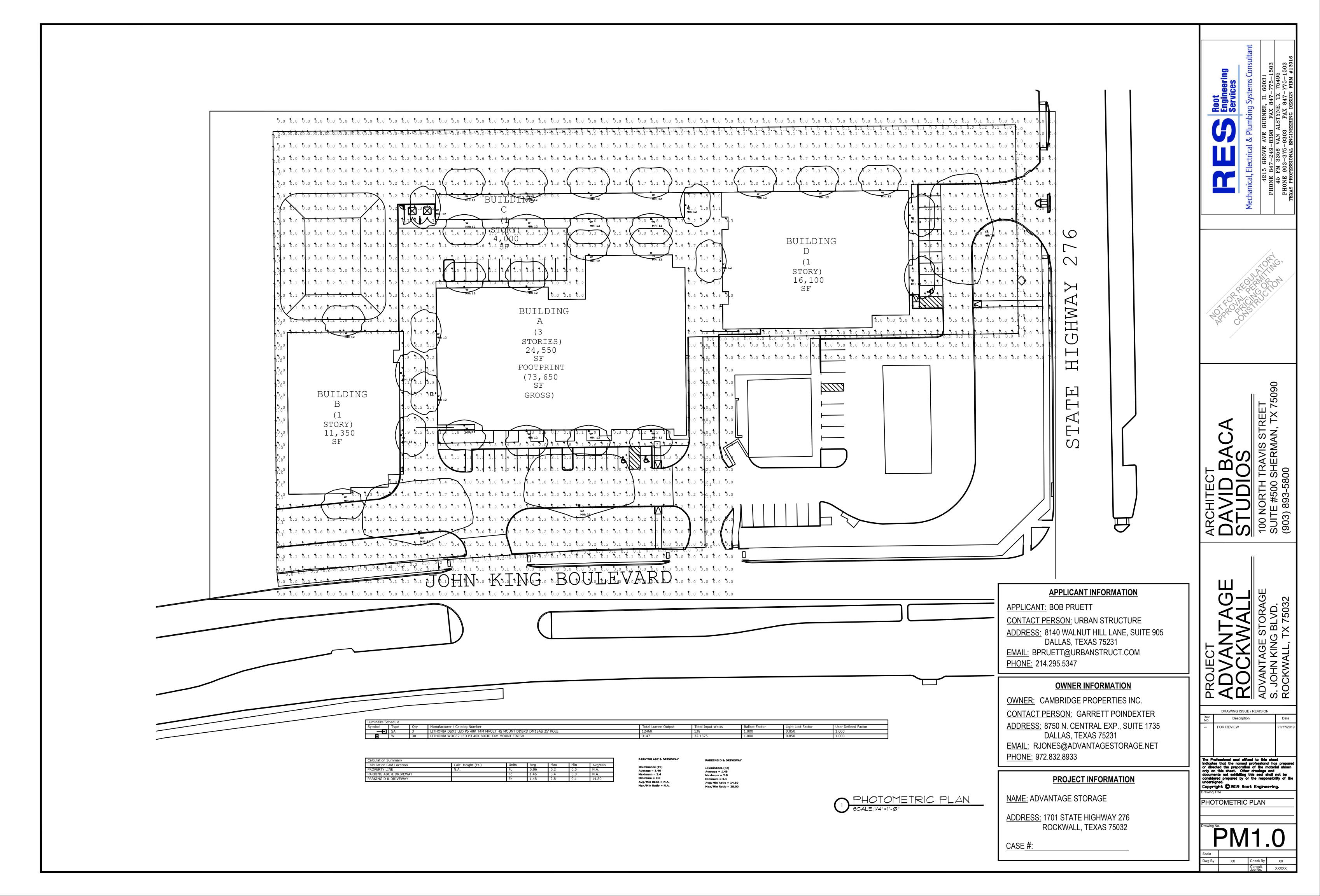
ROOT PRUNE VIA AIRSPACE OR TRENCH (6" WIDE MAX.) 24" MIN. DEPTH OR AS DETERMINED AT PRE-CONSTRUCTION MEETING.



APPROVED:	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE	PLAN FOR A DEVE
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZO	NING COMMISSIC
ON THE DAY OF,	
WITNESS OUR HANDS, THIS DAY OF,	
PLANNING & ZONING COMMISSION, CHAIRMAN	DIRECTOR OF PL

Е





PROJECT COMMENTS



DATE: 8/26/2022

PROJECT NUMBER:	SP2022-044
PROJECT NAME:	Site Plan for Advantage Storage
SITE ADDRESS/I OCATIONS	

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Bethany Ross (972) 772-6488 bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Site Plan for a Mini-Warehouse Facility on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Bethany Ross	08/26/2022	Approved w/ Comments	

08/26/2022: SP2022-044; Site Plan for Advantage Storage

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a Site Plan for a Mini-Warehouse Facility on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard.

1.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. September 7, 2022 is the deadline to have all comments; please provide staff revised plans before September 7, 2022 to ensure all comments are addressed.

1.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2022-044) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.5 Site Plan

(1) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, UDC)

(2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, UDC)

(3) Provide an exhibit of the dumpster enclosure. Trash/Recycling Enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. (Subsection 06.02.D.7, Article 05, UDC)

(4) The number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres. (Subsection 02.03.J, Article 04, UDC)

(5) Only single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission and City

Council. If necessary, the office/caretaker residence unit may exceed one (1) story, but shall not be greater than 36-feet in height. (Subsection 02.03.J, Article 04, UDC)

(6) A minimum of two (2) parking spaces shall be required for the on-site manager (i.e. caretaker, resident or otherwise). (Subsection 02.03.J, Article 04, UDC)

(7) No direct access from SH-276 and John King Boulevard. The City Council may consider granting direct access from the above-mentioned roadways after review and

determination of the availability of access to the specific property. (Subsection 02.03.J, Article 04, UDC) A driveway access variance will need to be requested from City Council. (8) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line. (Subsection 02.03.J, Article 04, UDC)

(9) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings. (Subsection 02.03.J, Article 04, UDC)

(10) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required. (Subsection 02.03.J, Article 04, UDC)

(11) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards. See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited. (Subsection 02.03.J, Article 04, UDC)

(12) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall compliment the exterior colors of the main building(s). (Subsection 02.03.J, Article 04, UDC)

(13) The commercial operation of rental trucks and trailers shall be prohibited. (Subsection 02.03.J, Article 04, UDC)

(14) Businesses shall not be allowed to operate in the individual storage units. (Subsection 02.03.J, Article 04, UDC)

(15) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles). (Subsection 02.03.J, Article 04, UDC)

(16) Concrete shall be used for all paving. (Subsection 02.03.J, Article 04, UDC)

(17) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls. (Subsection 02.03.J, Article 04, UDC)

(18) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF. (Subsection 02.03.J, Article 04, UDC)

M.6 Landscape Plan

(1) A 15' landscape buffer is required along SH-276 and John King Boulevard. All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway (i.e. SH-276 and John King Boulevard). (Subsection 06.02.E.1.i, Article 05, UDC).

(2) All Canopy trees shall be a minimum of 4 inch caliper. (Subsection 07.01, Article 09, UDC)

(3) Trees must be planted five feet from water, sewer, and storm sewer lines. (Subsection 05.03.E, of Article 08, UDC)

(4) Ground mounted equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. (Subsection 01:05.C, Article 05, UDC)

(5) All shrubs shall be at least 5 gallon. (Subsection 06.02.E.2, Article 05, UDC).

(6) One canopy tree is required per 750 SF of detention area and one accent tree is required for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08) If approved with a Landscape Plan native grasses shall be exempt from the rules and requirements of Section 16-43, Weeds, Brush and Grass, of Chapter 16, Environment, of the Municipal Code of Ordinances; however, the grass should be maintained to a height typical for the particular native grass. Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area. All xeriscape/smartscape plans shall require approval by the Planning and Zoning Commission, upon a recommendation by staff concerning conformance to the requirements of this section, at the time of site plan approval. (Subsection 05.05.C&D, Article 08, UDC)

M.8 Building Elevations:

- (1) Indicate exterior elevations adjacent to public right-of-way.
- (2) Exterior walls should consist of 90% masonry materials and 20% stone excluding doors and windows. (Subsection 06.02.C, of Article 05, UDC)
- (3) Primary Materials shall include stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (i.e. CMUs that have been sandblasted, burnished

or that have a split face -- light weight block or smooth faced CMU shall be prohibited). (Subsection 06.02.C.1 (a), of Article 05, UDC).

(4) Cementitious materials shall be limited to 50% of the building's exterior façade and stucco shall not be used within the first four (4) feet from grade on a building's façade. (Subsection 06.02C. 1(a.2), of Article 05, UDC)

(5) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, Article 05, UDC)

(6) Indicate the roofing materials and color. (Subsection 04.01A.1, of Article 05, UDC).

(7) Indicate all roof mounted mechanical equipment and indicate how these will be screened from view (i.e. screening with parapets taller than the RTUs or adding louver screening). (Subsection 01.05.C, of Article 05, UDC)

(8) All parapets shall be finished on the interior side using the same materials as the exterior facing wall. (Subsection 04.01, of Article 05, UDC)

(9) The proposed buildings' facades does not meet the Commercial Building Articulation Standards. (Subsection 04.01.C, of Article 05, UDC)

(10) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2)

(11) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building (Subsection 06.02.5, of Article 05, UDC).

M.9 Photometric Plan:

(1) Provide Lighting Cut sheets that indicates the wattage for each exterior lighting fixture. (Subsection 03.03.A, Article 07, UDC)

M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

(1) Primary Materials. According to Subsection 05.01A1.a of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90% masonry materials. In this case, the applicant is proposing less than 90% masonry materials.

(2) 20% Stone. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, the

(3) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building.

(4) Cementitious Materials. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), the use of cementitious materials (e.g. stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee) shall be limited to 50% of the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.

(5) Driveway Spacing. According to the According to Figure 2.3, Minimum Driveway Spacing and Corner Clearance, of Section 2.7, Block Widths, of Article 2, Streets, of the Engineering Department's Standards of Design and Construction Manual, the driveway spacing is 200-feet. In this case, the applicant is proposing the driveway spacing along John King Boulevard to be less than 200-feet.

(6) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membranetype roofs that are visible from adjacent public right-of-way shall be prohibited."

M.10 Please review and correct all items listed by the Engineering Department.

M. 11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:

(1) Higher caliper trees.

- (2) Additional landscaping.
- (3) Increased building articulation.
- (4) Increased architectural elements.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on August 30, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on September 13, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	08/25/2022	Needs Review

08/25/2022: - All fire hydrants to have 5' clearance around and be in a 20' easement. No structures allowed in easements.

- Dumpster must be skewed 45 degrees from facing a roadway.
- Dumpster to have an oil/water separator and then drain to the storm lines.

- Connect to storm running to existing detention pond. This site has split drainage, so you'll need to follow the drainage plan from SH 205 Bypass plans (John King), Discovery Ext, and 7-Eleven

- No ditch see Discovery Ext. Plans...this must be enclosed. Will need off-site drainage esmt. to get to storm stub out
- Parking adjacent to the building to be 20'x9' minimum.
- Must show existing/proposed utilities.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and taller must be engineered.
- Retaining walls 18" and taller must be rock or stone faced. No smooth concrete walls.

-Will need gas company's approval for any work done in their easement.

Roadway Paving Items:

- Parking to be 20'x9' for spaces that are nose-to-nose or adjacent to the building. Other parking may be 18'x9' minimum (with 2' clear overhang, no trees, bushes, shrubs, etc.)
- All drive isles to be 24' wide minimum.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- Must install a 10' wide sidewalk along John King.
- No dead-end parking
- Traffic Impact Analysis required. Review fees apply.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must loop min 8" water line on site.
- Public sewer is minimum 8" diameter
- Sewer pro-rata of \$2,773.07/acre.
- Must extend sewer to north property line.

Drainage Items:

- Detention is required. No vertical walls in detention easement.
- Rational Method C-value is per zoning type.

- Dumpster area to drain to an oil/water separator and then to the storm lines.

- Detention outfall to be piped to Discovery Blvd system

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/24/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/24/2022	Approved w/ Comments

08/24/2022: Fire lane serving buildings 3 or more stories or over 30-ft in height shall have an inside radius of 30 feet. The plans currently indicate 25 feet. Revise or submit autoTURN exhibit showing the ability of Rockwall Fire's largest aerial apparatus to navigate the site.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	08/22/2022	Approved w/ Comments	

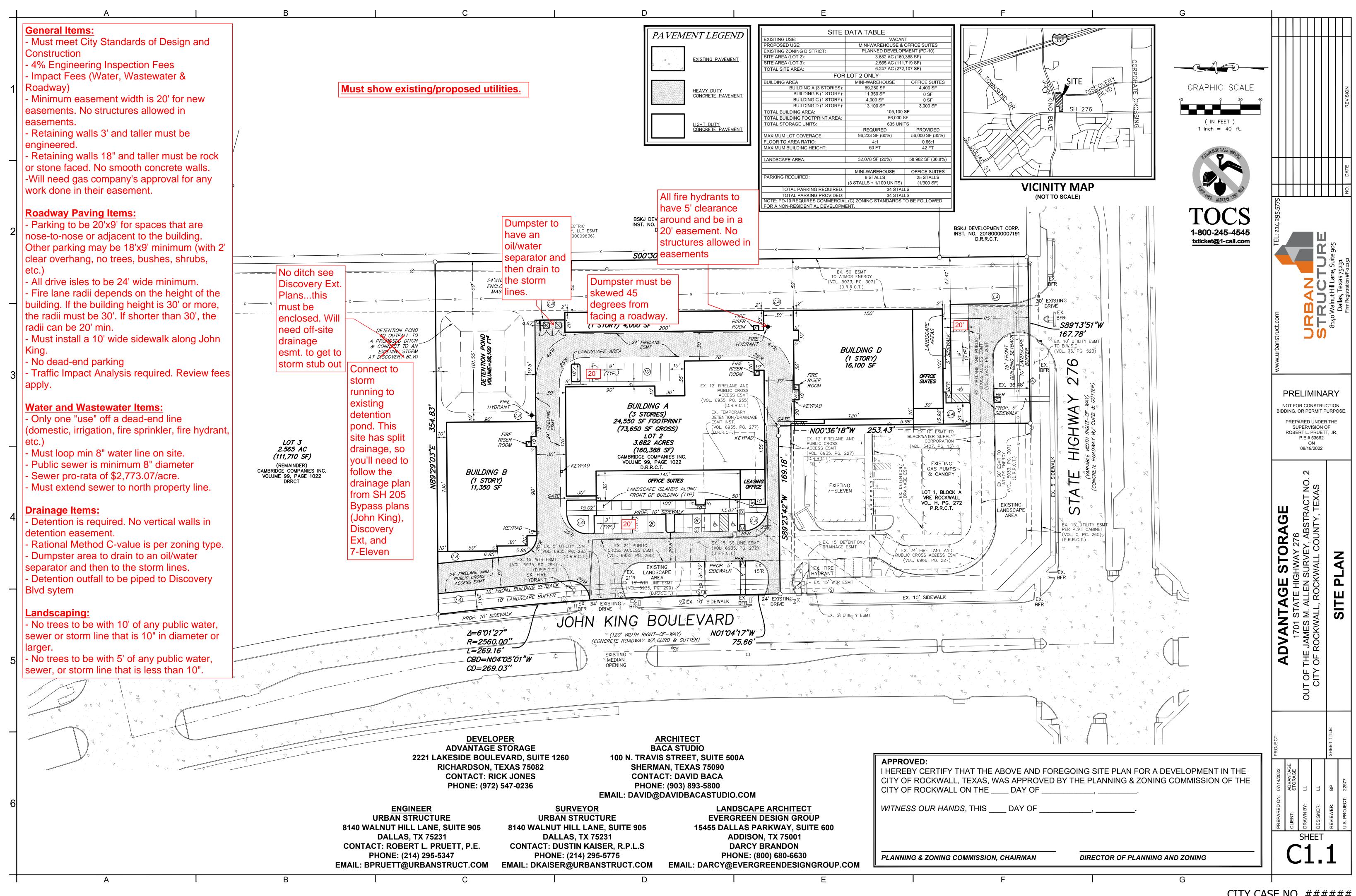
08/22/2022: +Address assignments:+ BUILDING A = 1705 S JOHN KING BLVD, ROCKWALL, TX 75032 BUILDING B = 1689 S JOHN KING BLVD, ROCKWALL, TX 75032 BUILDING C = 1715 S JOHN KING BLVD, ROCKWALL, TX 75032 BUILDING D = 1711 STATE HIGHWAY 276, ROCKWALL, TX 75032

*Suite numbers will be handled at Permitting following these guidelines: http://www.rockwall.com/pz/GIS/AddressingStandards.pdf

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Chris Cleveland	08/19/2022	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	08/22/2022	Approved w/ Comments	
08/22/2022: Trac Mitigation and Landscape Plan approved				

08/22/2022: Tree Mitigation and Landscape Plan approved

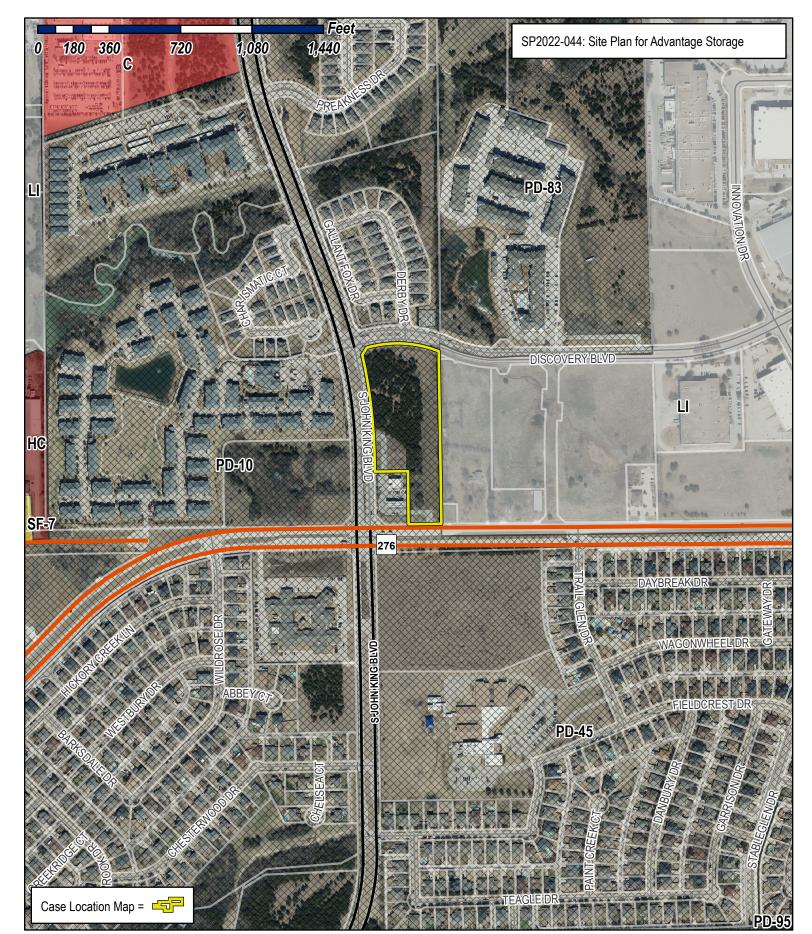
Tree is utility easement may need to be removed per Engineering



NAME: C-SITE.DWG (LOCATION: M:\CivilVProjects)2 T MODIFIED BY: LLACKEY T MODIFIED ON: 7/18/2022 3:1 TTED ON: 8/15/2022 2:2 PM

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	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ION	STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	EVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:
☐ FINAL PLAT (\$300.0 ☐ REPLAT (\$300.00 + ☐ AMENDING OR MIN ☐ PLAT REINSTATEN SITE PLAN APPLICAT ☑ SITE PLAN (\$250.00	00.00 + \$15.00 ACRE) ¹ T (\$200.00 + \$15.00 ACRE) ¹ D0 + \$20.00 ACRE) ¹ \$20.00 ACRE) ¹ NOR PLAT (\$150.00) MENT REQUEST (\$100.00) TON FEES:	CONIN CONTENT	APPLICATION FEES: NG CHANGE (\$200.00 + \$15.00 ACRE) 1 CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 * 2 EVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 APPLICATION FEES: REMOVAL (\$75.00) ANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 MINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO CNE (1) ACRE. 400 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING
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OWNER/APPLICAN	T/AGENT INFORMATION [PLEASE PRINT/CHECK	THE PRIMAR	RY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
CONTACT PERSON GA ADDRESS CITY, STATE & ZIP PHONE E-MAIL E-MAIL EFORE ME, THE UNDERSIG	AMBRIDGE PROPERTIES ARRETT POINDEXTER CO 750 N. CENTRAL EXP. 3417E 1735 AUAS TX 75231 CI 172-832-8933 ONES CARVANTAGESTORAG	TY, STATE & PH	CANT BOB PRUEIT RSON UFBAN STRUCTURE RESS BILLO WALNUTHILL SUITE 905 8 ZIP DALLAS TX 75231 HONE 214-295-5347
S INFORMATION CONTAINED WI SUBMITTED IN CONJUNCTION	TO COVER THE COST OF THIS APPLICATION, HAS BE 20. BY SIGNING THIS APPLICATION, I AGREE TH ITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALS WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIAT SEAL OF OFFICE ON THIS THE ISH DAY OF THE OWNER'S SIGNATURE	EN PAID TO T IAT THE CITY O AUTHORIZI	OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
DEVEL	OPMENT APPLICATION	nu	ner e the encodes the countre (#) with the rest of

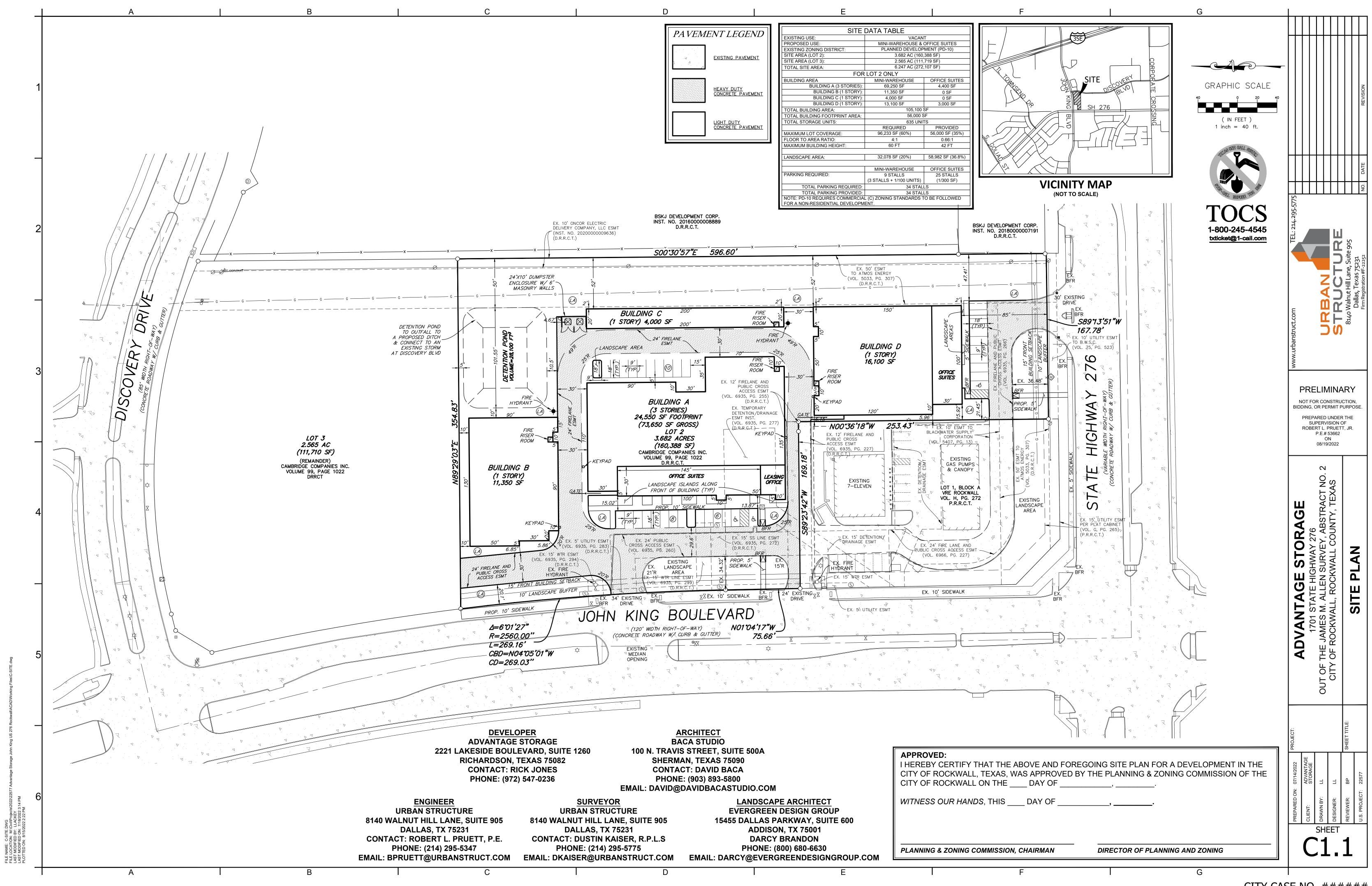


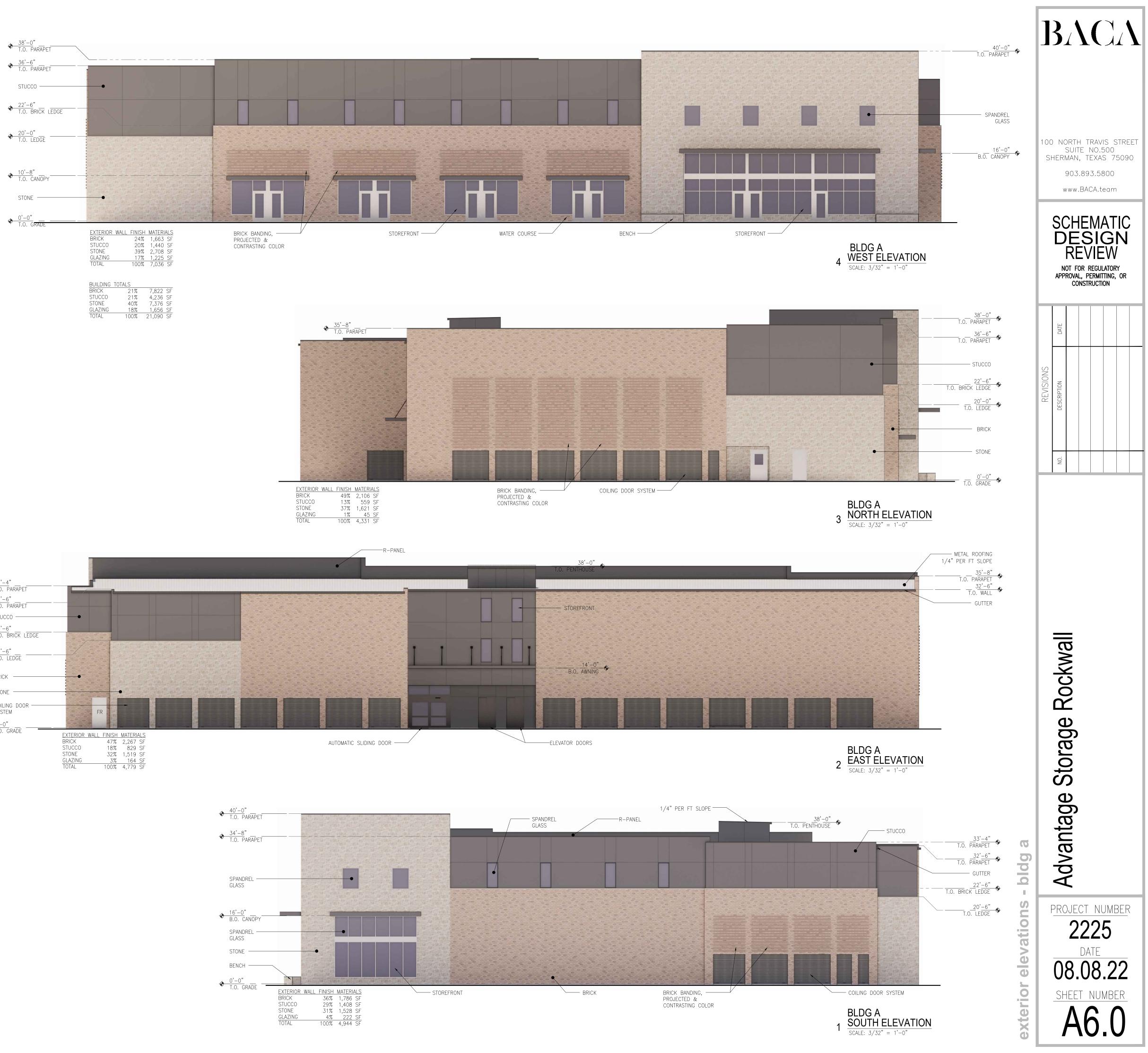


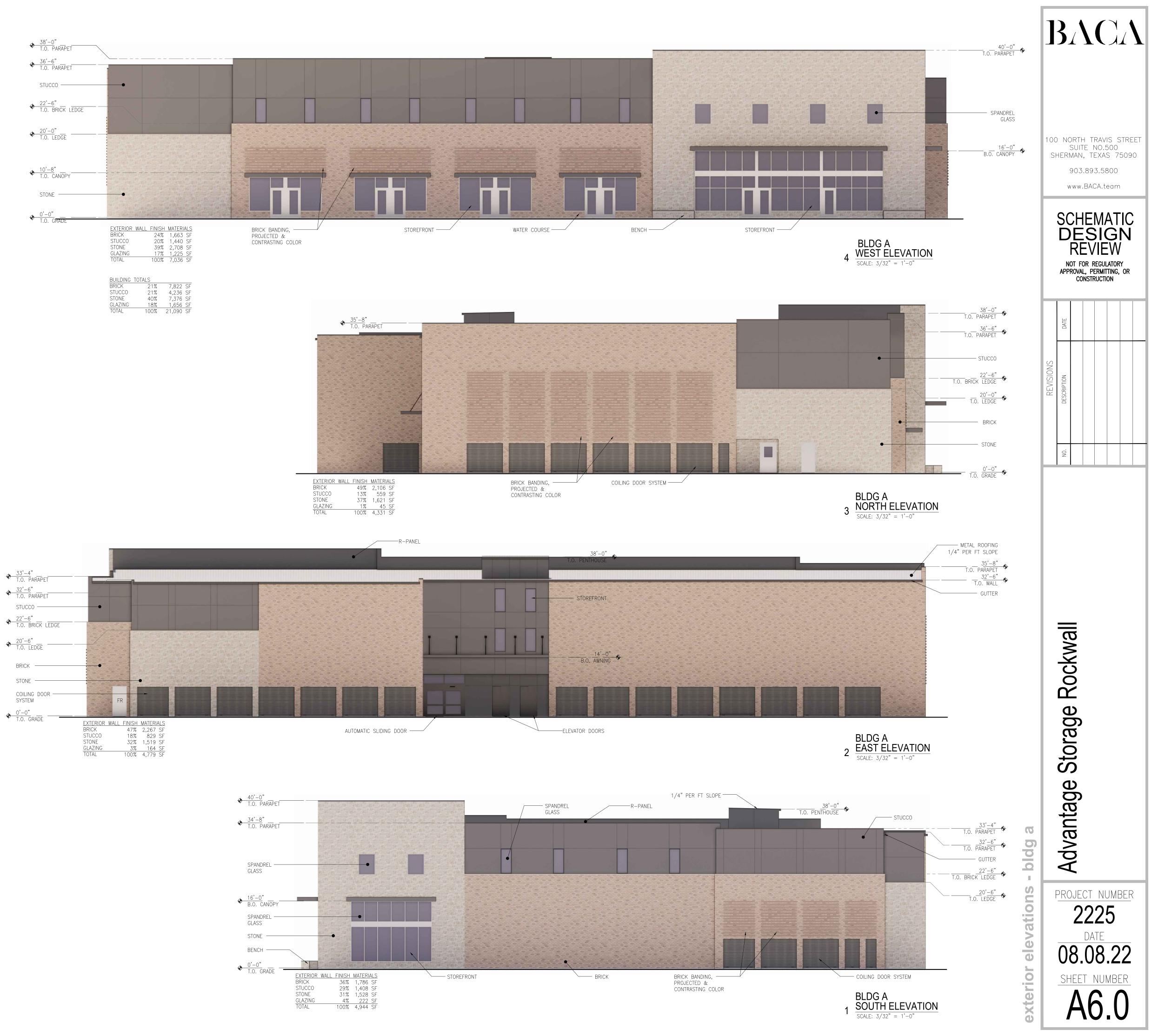
City of Rockwall

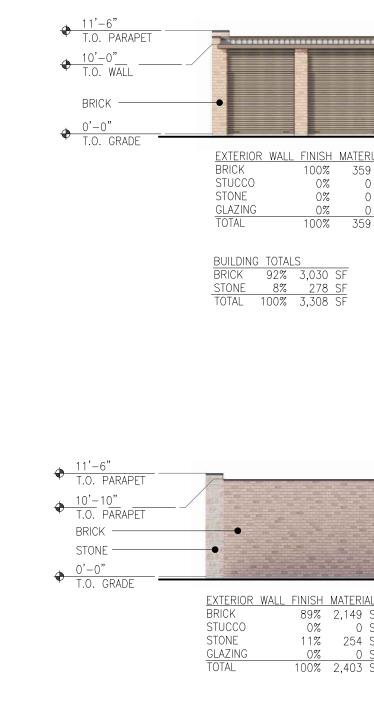
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

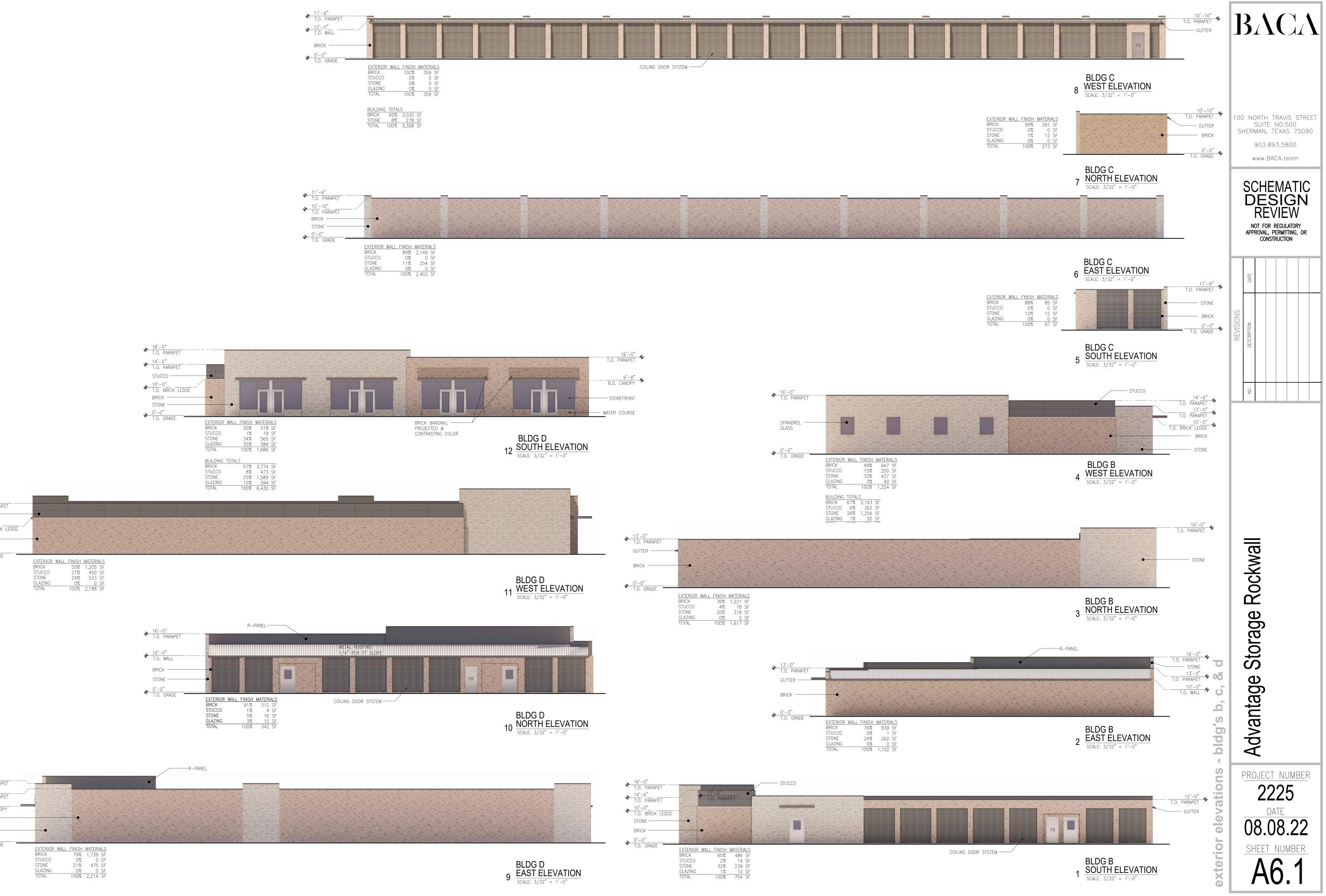






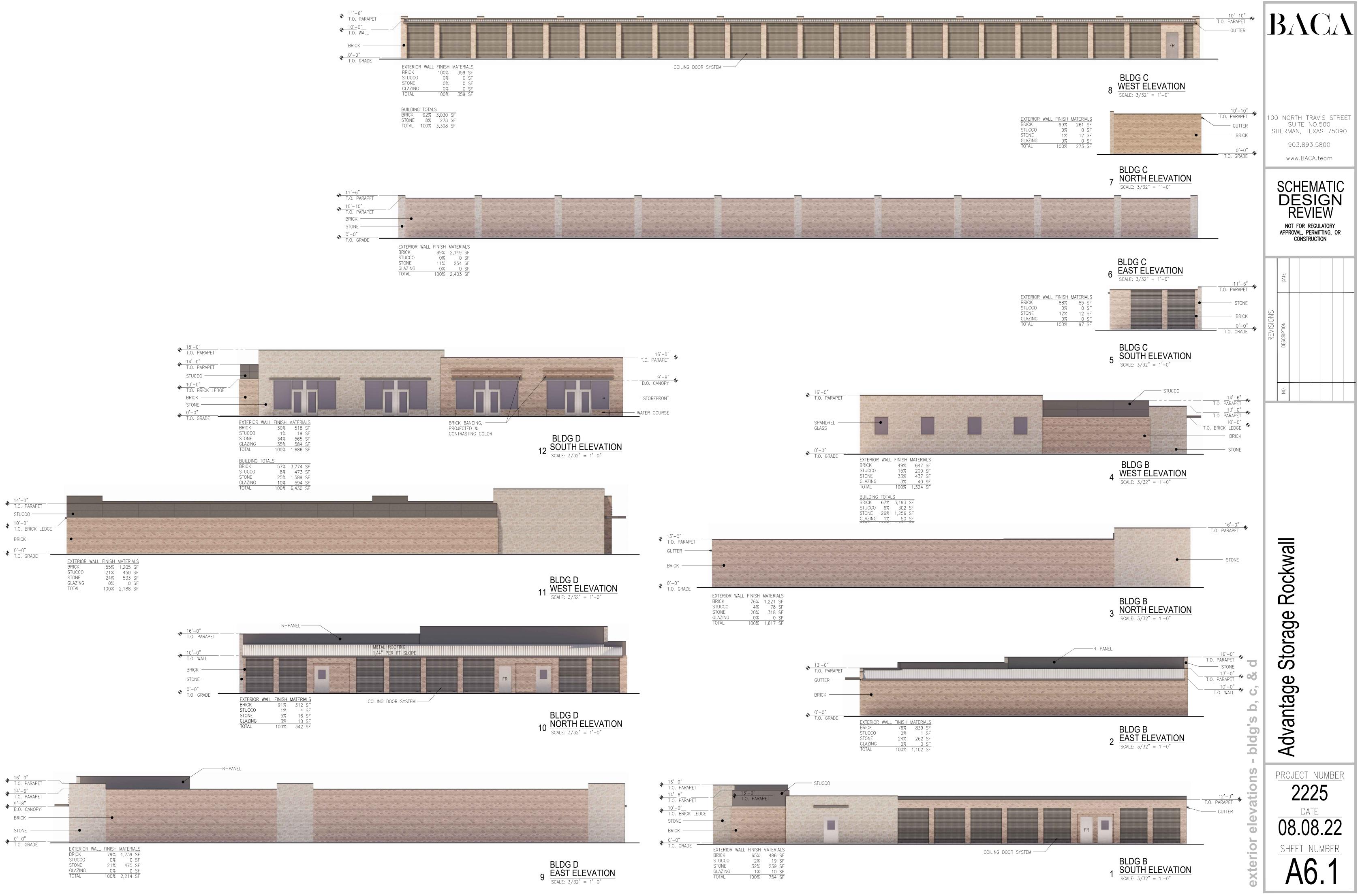


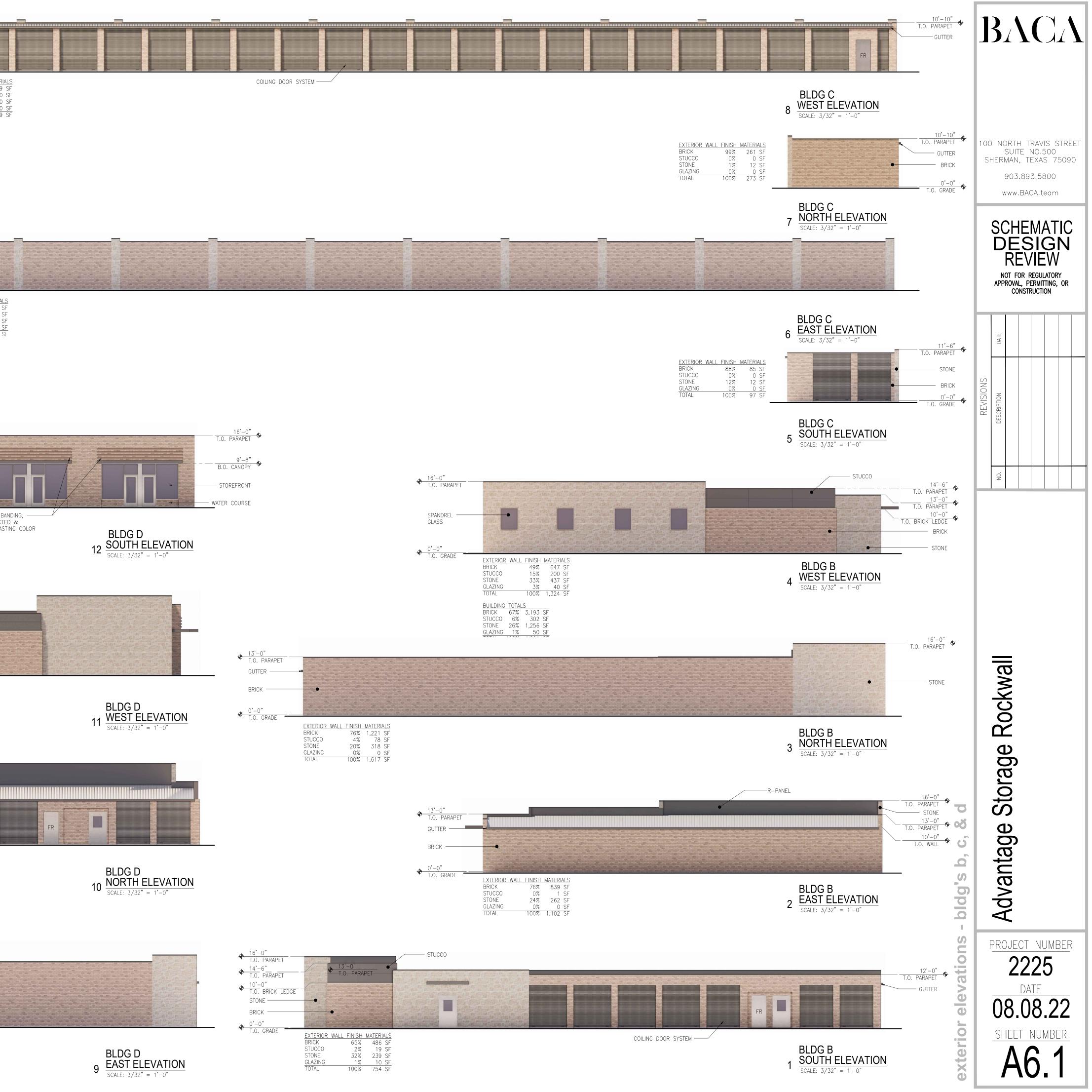




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	EXTERIOR	WALL	FINISH	MATERI	<u>als</u>
	BRICK		55%	1,205	SF
	STUCCO		21%	450	SF
	STONE		24%	533	SF
	GLAZING		0%	0	SF
	TOTAL		100%	2,188	SF

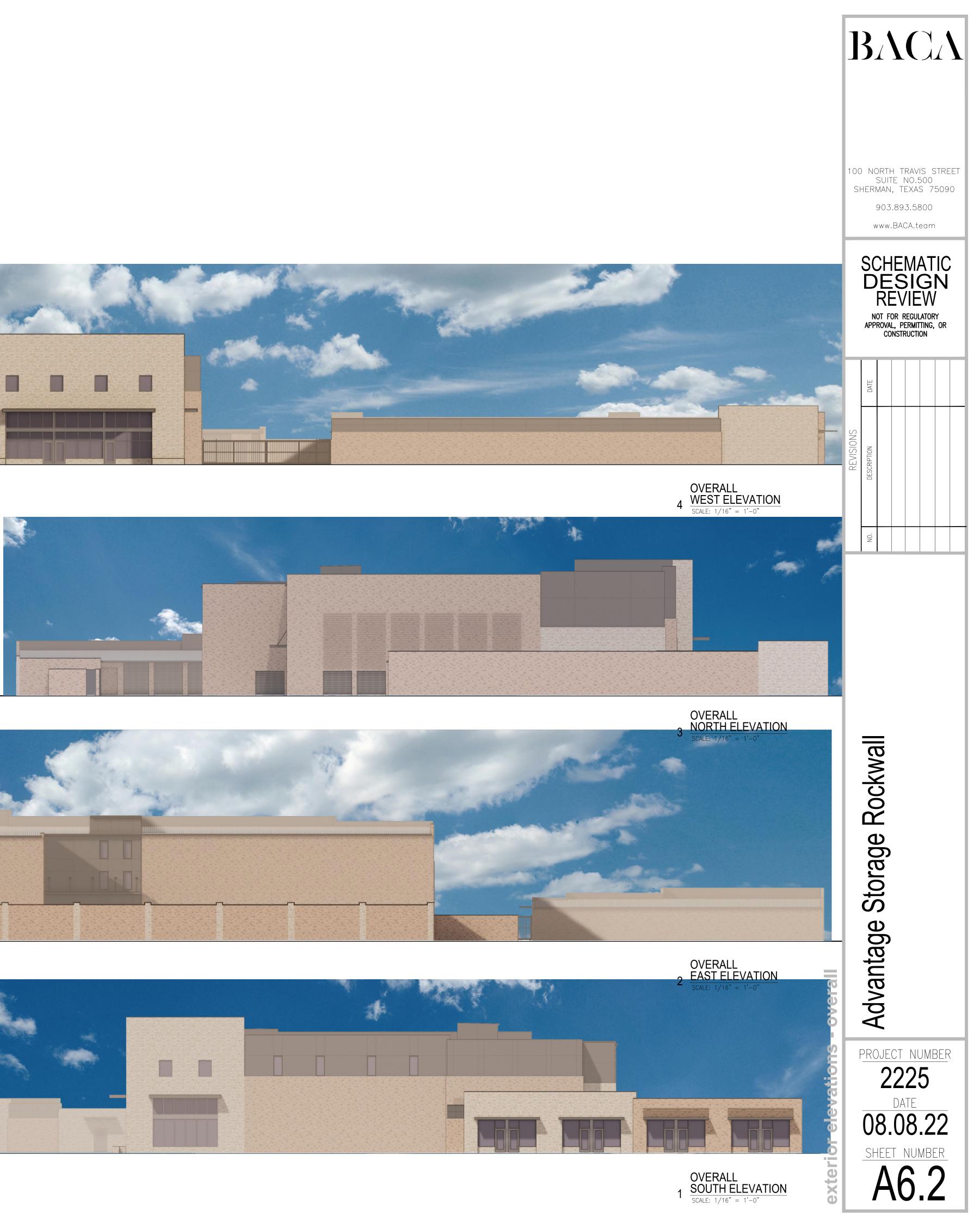
L	16'-0"		R-PANEL-		<			
\$ -	T.O. PARAPET				•			
•	10'-0"					METAL ROOFING 1/4" PER FT SLOF	ΡE	
т	T.O. WALL							
	BRICK							
	STONE							
\$	0'-0" T.O. GRADE							
	1.0. ONADE	EXTERIOR WALL F	INISH MATER	IALS		COILING DOOR SYSTE	м	
			91% 312			COLLING DOOR STOLE	JWI	
		STUCCO		SF				
		STONE		SF				
		GLAZING	<u> </u>	SF				
		TOTAL	100% 342	SF				

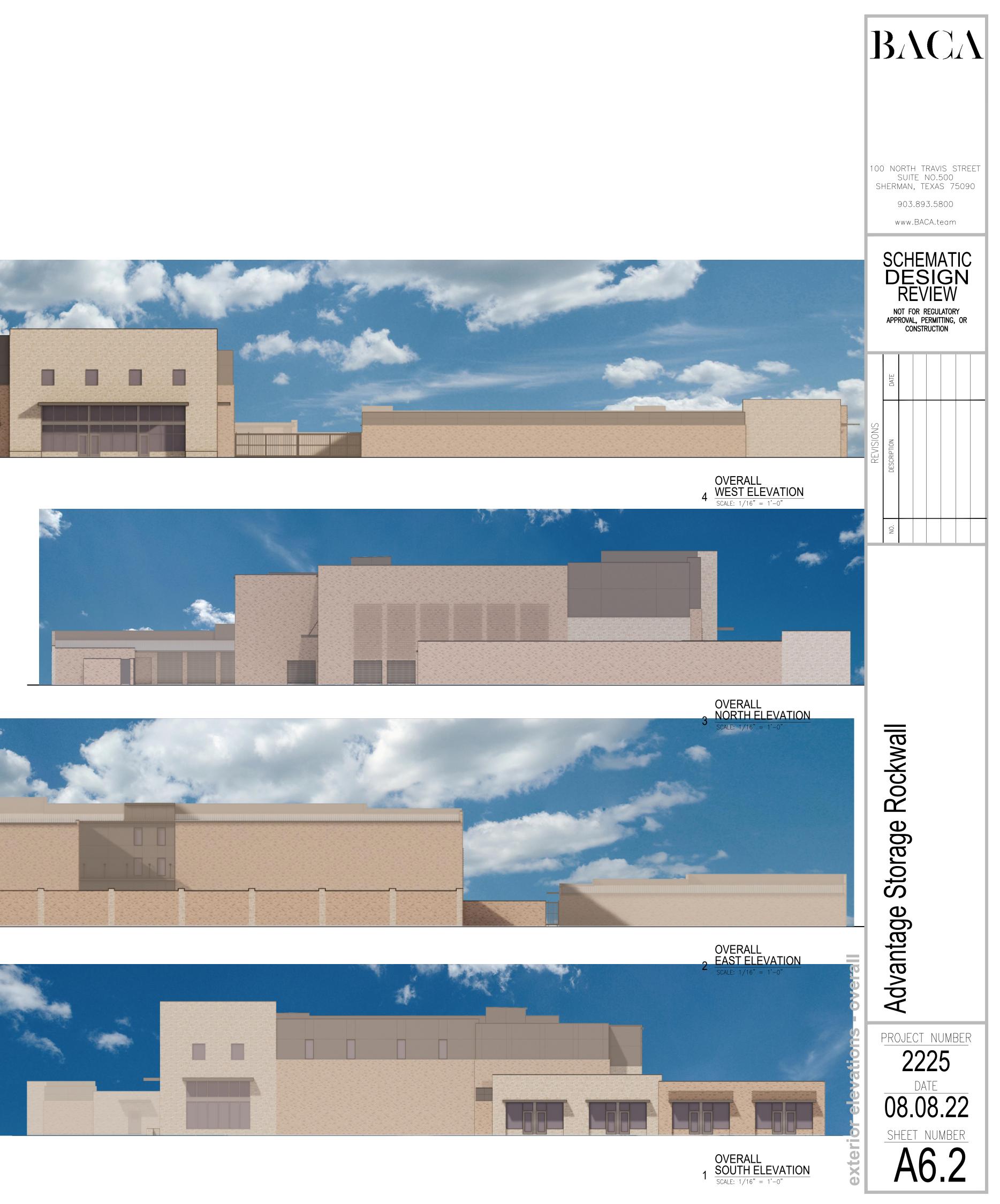














APPLICANT: BOB PRUETT CONTACT PERSON: URBAN STRUCTURE ADDRESS: 8140 WALNUT HILL LANE, SUITE 905 DALLAS, TEXAS 75231 EMAIL: BPRUETT@URBANSTRUCT.COM PHONE: 214.295.5347

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OWNER INFORMATION

OWNER: CAMBRIDGE PROPERTIES INC. CONTACT PERSON: GARRETT POINDEXTER ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735 DALLAS, TEXAS 75231 EMAIL: RJONES@ADVANTAGESTORAGE.NET PHONE: 972.832.8933

PROJECT INFORMATION

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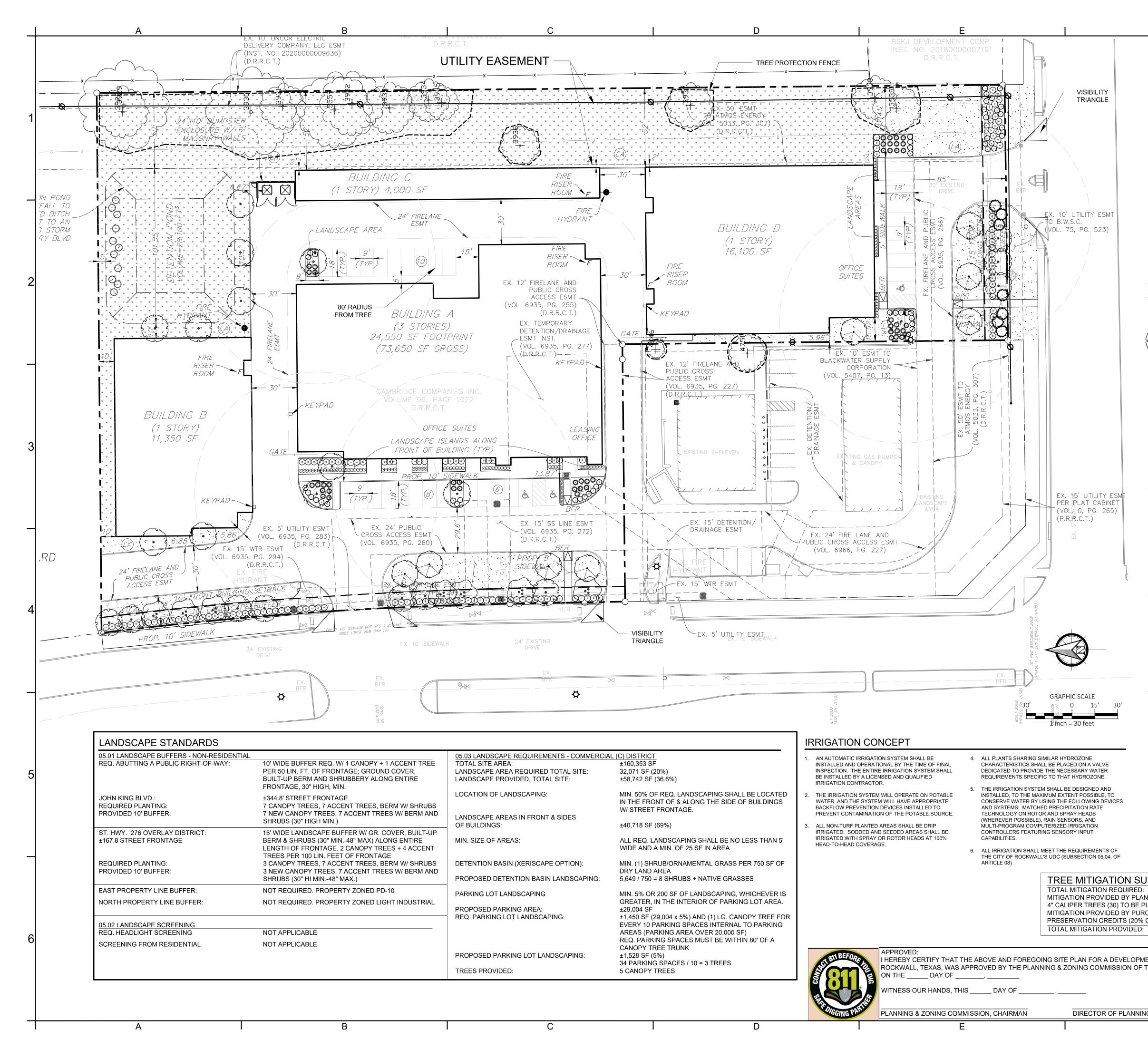
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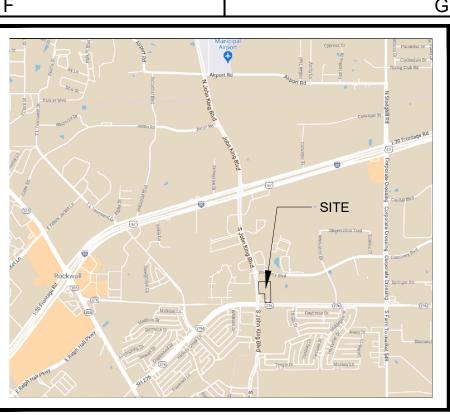
A MAR R. M. W. W. W.

NAME: ADVANTAGE STORAGE

ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032

CASE #:







SIZE

14'-16' HT

14`-16` HT

16`-18` HT

SIZE

4` -6` HT

4` -6` HT

CAL

VICINITY MAP (NOT TO SCALE)

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME
and the second s	8	ACER RUBRUM 'OCTOBER GL OCTOBER GLORY MAPLE
	12	QUERCUS MUHLENBERGIA CHINQUAPIN OAK
a contraction of the second se	10	ULMUS CRASSIFOLIA CEDAR ELM

www.w			
	8	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY MAPLE	4" CAL*
	12	QUERCUS MUHLENBERGIA CHINQUAPIN OAK	4" CAL*
n F	10	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL*
*ALL CANOPY TREE	ES TO BE	USED FOR MITIGATION	
ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL
	7	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	3" CAL. 1" / STEM
$\langle \cdot \rangle$	7	ILEX DECIDUA POSSUM HAW 3-5 STEMS	3" CAL. 1" / STEM
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
0	47	HESPERALOE PARVIFLORA RED YUCCA	3 GAL
٦	135	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL
\odot	51	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL
\odot	11	MUHLENBERGIA RIGENS DEER GRASS	3 GAL
GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT
٥	85	RUELLIA BRITTONIANA 'KATIE' KATIE'S DWARF PETUNIA	1 GAL
1: 	3,325 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD

38,885 SF BLACKLAND PRAIRIE SEED MIX

NATIVE AMERICAN SEED (SEEDSOURCE.COM)

MULCHES

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AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

G

PLANNED DEVELOPMENT (PD-10)

3.682 AC (160,388 SF)

6.247 AC (272,107 SF)

0 SF

0 SF

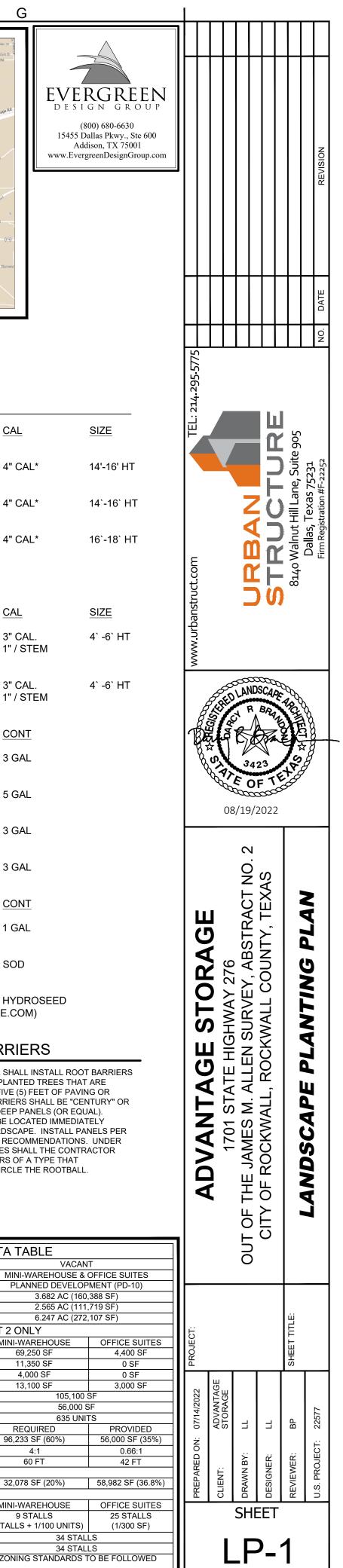
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42 FT

2.565 AC (111,719 SF)

HYDROSEED

					_
			SITE	DATA TABLE	
		EXIST	NG USE:	VACANT	-
		PROP	OSED USE:	MINI-WAREHOUSE & C)F
		EXIST	NG ZONING DISTRICT:	PLANNED DEVELOP	ИE
		SITE A	REA (LOT 2):	3.682 AC (160,3	38
		SITE A	REA (LOT 3):	2.565 AC (111,7	71
		TOTAL	SITE AREA:	6.247 AC (272,1	10
			FOR	LOT 2 ONLY	
		BUILD	ING AREA	MINI-WAREHOUSE	
			BUILDING A (3 STORIES):	69,250 SF	
JMMARY			BUILDING B (1 STORY):	11,350 SF	
	119.75"		BUILDING C (1 STORY):	4,000 SF	
NTING			BUILDING D (1 STORY):	13,100 SF	
PLANTED ONSITE:	120.0"	TOTAL	BUILDING AREA:	105,100 S	F
CHASING	12010	TOTAL	BUILDING FOOTPRINT AREA:	56,000 SI	F
	0"	TOTAL	STORAGE UNITS:	635 UNIT	s
OF TOTAL):	•			REQUIRED	
	120.0"	MAXIN	IUM LOT COVERAGE:	96,233 SF (60%)	
		FLOOF	R TO AREA RATIO:	4:1	
		MAXIN	IUM BUILDING HEIGHT:	60 FT	
				rr	
IENT IN THE CITY O	F	LANDS	SCAPE AREA:	32,078 SF (20%)	5
THE CITY OF ROCK	WALL				
		BAB (MINI-WAREHOUSE	
		PARKI	NG REQUIRED:	9 STALLS	
				(3 STALLS + 1/100 UNITS)	
			TOTAL PARKING REQUIRED:	34 STALL	
		11075	TOTAL PARKING PROVIDED:	34 STALL	
			PD-10 REQUIRES COMMERCIA NON-RESIDENTIAL DEVELOPM		J
NG AND ZONING			INCIN-RESIDENTIAL DEVELOPM		
F				G	_
				17	

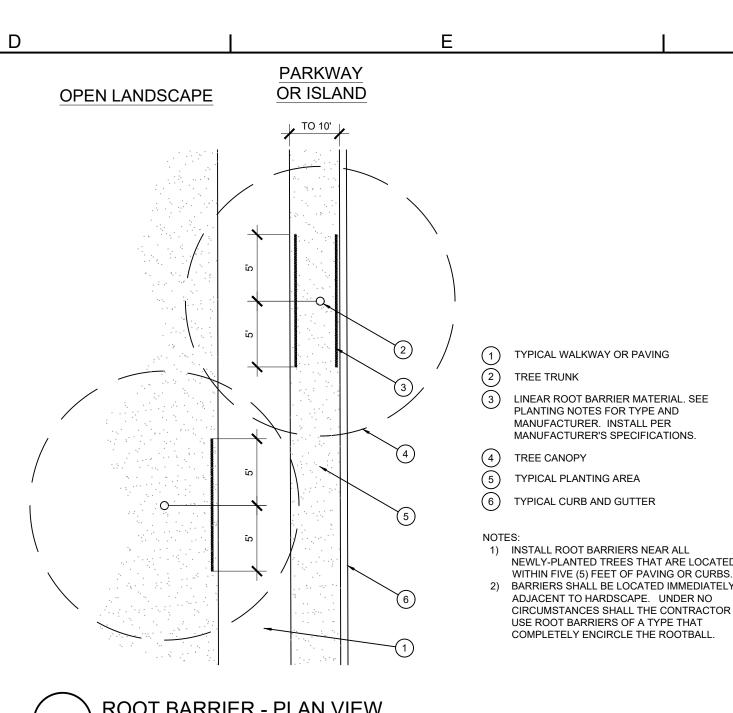


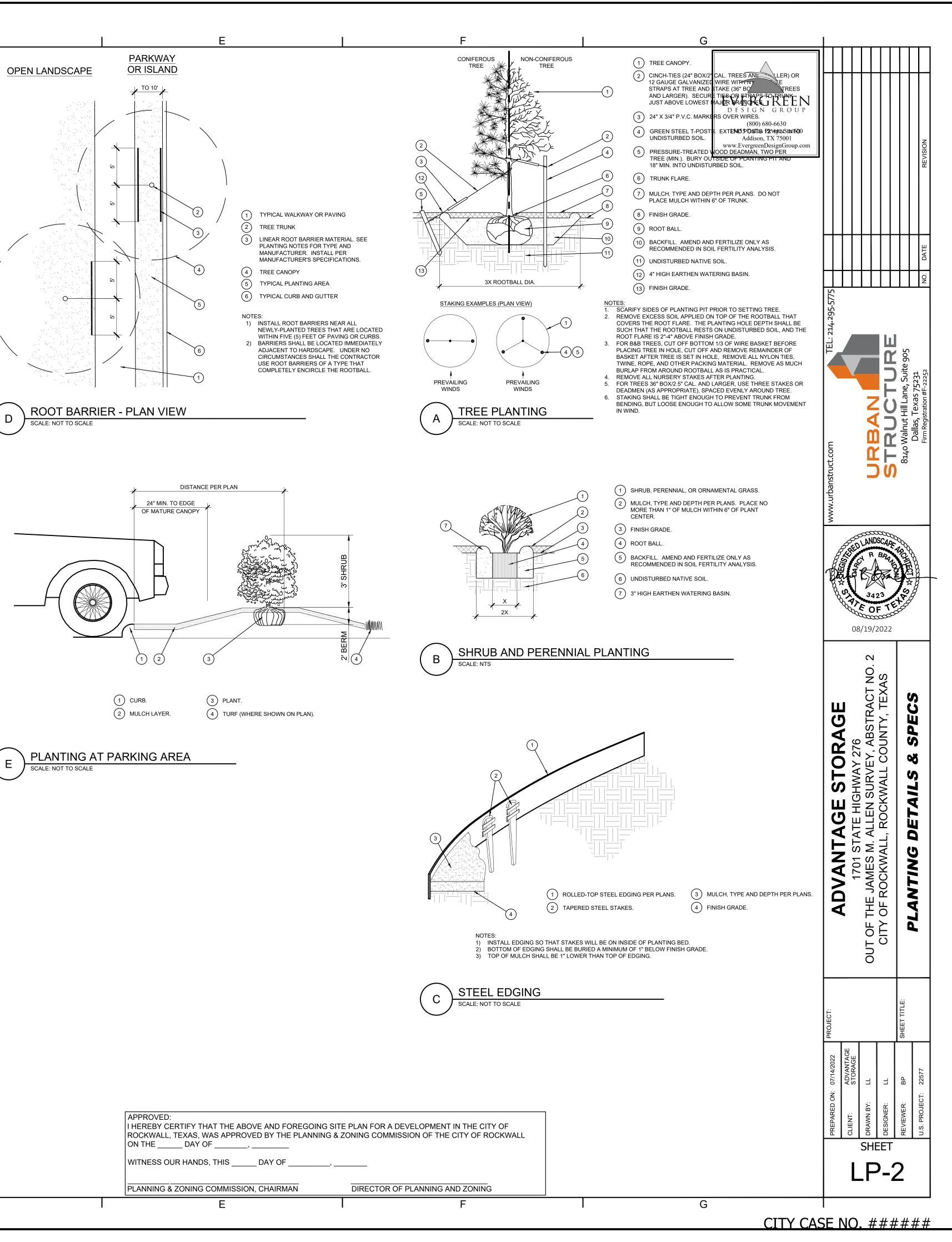
CITY CASE NO. ######

	A	В	C	
	PLANTING SPECIFICATIONS			
	GENERAL A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR			BMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE N WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENC
	 ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE SPECIALIZING IN LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION 	TYPE, SIZE AND NATURE MAY BE MEASURES.	PHOTOS OR SAMPLES OF ANY REQUIRE RECOMMENDATIONS FROM THE TESTIN TYPES, AND OTHER AMENDMENTS FOR	OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, D MULCHES, AND SOIL TEST RESULTS AND PREPARATION G LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
1	 THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSE THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OF APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPAF STRUCTURAL PEST CONTROL BOARD. 	PERATE UNDER A COMMERCIAL PESTICIDE	AS TREE STAKES AND TIES, EDGING, AN 4. WHERE MULTIPLE ITEMS ARE SHOWN C	IUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUC ID LANDSCAPE FABRICS (IF ANY). N A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE
	 B. SCOPE OF WORK 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURN LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY 		ITEM BEING CONSIDERED. C. GENERAL PLANTING 1. REMOVE ALL NURSERY TAGS AND STAK 2. EXCEPT IN AREAS TO BE PLANTED WITH	ES FROM PLANTS. I ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDE
	THE EXECUTION, INSTALLATION AND COMPLETION OF ALL W ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AL REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDIO	LL APPLICABLE LAWS, CODES AND		DED RATE. B ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITIC REES, AND SHALL EXERCISE ALL POSSIBLE CARE AND
	INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE TRANSPORTATION AND INSTALLATION OF MATERIALS. 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIO (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TE	ON OF ALL UNDERGROUND UTILITY LINES	DEFINED AS A CIRCULAR AREA EX EQUAL TO 1' FOR EVERY 1" OF TR GRADE AT THE TRUNK).	O TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS TENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS JNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE
	ANY WORK. <u>PRODUCTS</u>		EXCAVATION OR TRENCHING OF A c. ALTER ALIGNMENT OF PIPE TO AV	" SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE NY KIND SHALL BE ALLOWED WITHIN THE CRZ. OID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE N DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UND
	 A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS: 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI 		CLOSE ALL TRENCHES WITHIN TH	DOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. E CANOPY DRIP LINES WITHIN 24 HOURS. AND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY RS OR WOUND PAINTS.
	BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND D SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FOI SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF	ISFIGUREMENT. ALL PLANTS WITHIN A RM TYPICAL FOR THE SPECIES. ALL TREES	ROOTBALL, AND TO A DEPTH EQUAL TO	VATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THI THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. HE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
2	CLIMACTIC CONDITIONS. 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED F FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FR J-SHAPED ROOTS).	ROM ANY OTHER ROOT DEFECTS (SUCH AS	3. FOR CONTAINER AND BOX TREES, TO R DEFECTS, THE CONTRACTOR SHALL SH	BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. EMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROC AVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS
	 TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AN ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT AC ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE A IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REP 	CCEPTABLE. RCHITECT OR OWNER SHALL BE	FOUR INCHES ABOVE THE SURROUNDIN	JBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO IG GRADE. E EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1
	TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. AN EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACC OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTAB 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERW	CEPTED. THE LANDSCAPE ARCHITECT AND BILITY OF PLANT MATERIAL.	ADDITIONAL SOIL BE REQUIRED TO ACC IMPORT ADDITIONAL TOPSOIL FROM OF	REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD COMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE O F-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED AL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
	LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED O AFTER PLANTING. 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING	TREES SHALL BE AS FOLLOWS: SIX INCHES	REQUIRE STAKES TO KEEP TREES UPRI TREE STAKES (BEYOND THE MINIMUMS	LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) GHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER (LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR
-	INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FO 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERA THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE US AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE I	OUR INCHES IN CALIPER. ALL HEIGHT, MEASURED FROM THE TOP OF SED, THE CALIPER SHALL BE CALCULATED	SHALL STRAIGHTEN THE TREE, OR REP ADHERE TO THE FOLLOWING GUIDELIN a. 1"-2" TREES TWO	ACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHAL
	 ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACE THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE ALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH 	ED ON TOP OF THE ROOT BALL, SO THAT L BE REJECTED. 'HE PLANS. SOD SHALL BE CUT FROM	c. TREES OVER 4" CALIPER GUY d. MULTI-TRUNK TREES THRE NEEDED TO STABILIZE THE TREE	AS NEEDED EE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS EE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS
	ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARG PLANTS, ROOTS, AND SEEDS. E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGAN	COMPOSITION OF THE SOD. GER THAN ½ INCH, FOREIGN MATTER,	NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CON	STRUCT AN EARTH WATERING BASIN AROUND THE TREE. G WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH
3	MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCEN SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEE AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE C USED.	T PASSING THROUGH 3/4-INCH SIEVE; EDING 0.5 PERCENT INERT CONTAMINANTS	E. SHRUB, PERENNIAL, AND GROUNDCOVER PLA 1. DIG THE PLANTING HOLES TWICE AS WI	NTING DE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTA DUND THE PLANT WITH SOIL AMENDED PER SOIL TEST
	 F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, F NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RE QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DE 	ECOMMENDED IN A SOIL REPORT FROM A	THE WEED BARRIER CLOTH IN PLACE.	YERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KE MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING GAREA.
	TOP DRESSING OF TREES AND SHRUBS. H. TREE STAKING AND GUYING 1. STAKES: 6' LONG GREEN METAL T-POSTS. 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STE		 F. SODDING 1. SOD VARIETY TO BE AS SPECIFIED ON 1 2. LAY SOD WITHIN 24 HOURS FROM THE 1 	
	DIAMETER. 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS / GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE. I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK	AT LEAST 1-1/2 INCH WIDE, WITH	STRIPS - DO NOT OVERLAP. STAGGER 4. ROLL THE SOD TO ENSURE GOOD CON UNDERNEATH.	STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. ACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL
-	GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR A J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PR FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.	PPROVED EQUAL. RE-EMERGENT HERBICIDE THAT IS LABELED	LEAST SIX INCHES OF PENETRATION IN G. MULCH	
	METHODS		2. DO NOT INSTALL MULCH WITHIN 6" OF T EXCEPT AS MAY BE NOTED ON THESE F CURBS SHALL NOT PROTRUDE ABOVE T	REE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURE LANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND HE FINISH SURFACE OF THE WALKS AND CURBS. MULCH AT LEAST 3" LOWER THAN THE TOP OF WALL.
	 A. SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR S LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. TH OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. 	HE CONTRACTOR SHALL NOTIFY THE	H. CLEAN UP	D PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK ARE
4	 SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, COI FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB 	AN ESTABLISHED SOIL TESTING	I. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE FREE OF DEBRIS AND TRASH, AND SUIT	LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN ABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
	QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SUF LOCATIONS ARE INDICATED ON THE PLANS, THE CONT SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIOI b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LAI	TRACTOR SHALL TAKE A MINIMUM OF THREE NS FOR TESTING.	2. WHEN THE INSPECTED PLANTING WOR LANDSCAPE CONTRACTOR SHALL REPL SATISFACTION WITHIN 24 HOURS.	COES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE ACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS
	FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL F SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) A c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT WITH THE SOIL SAMPLES.	FERTILITY, pH, ORGANIC MATTER CONTENT, AND BORON CONTENT.	BEEN RE-INSPECTED BY THE OWNER A	ND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN
	d. THE SOIL REPORT PRODUCED BY THE LABORATORY S THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL RECOMMENDATIONS FOR GENERAL ORNAMENTAL PL/ SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS	PREPARATION AND BACKFILL MIX ANTS, XERIC PLANTS, TURF, AND NATIVE	1. THE LANDSCAPE CONTRACTOR SHALL ON THESE PLANS FOR 90 DAYS BEYONI OWNER. LANDSCAPE MAINTENANCE SH	BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHO) FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE IALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THA
_	OTHER SOIL RELATED ISSUES. THE REPORT SHALL AL THE ESTABLISHMENT PERIOD AND FOR LONG-TERM M 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SO	LSO PROVIDE A FERTILIZER PROGRAM FOR IAINTENANCE. FERTILIZERS PER THE SOILS REPORT	HAVE SETTLED, MOWING AND AERATIO DISEASES,REPLACEMENT OF MULCH, R TO FAULTY PARTS AND/OR WORKMANS	N OF LAWNS, WEEDING, TREATING FOR INSECTS AND EMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DL HIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING
	INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OW 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SH a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS ROTOTILLING AFTER CROSS-RIPPING:	VNER WITH THE REPORT. ALL CONSIST OF THE FOLLOWING:	ORDER, WITH SCHEDULING ADJUSTMEN 2. SHOULD SEEDED AND/OR SODDED ARE	ITS BY SEASON TO MAXIMIZE WATER CONSERVATION. AS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAIN
	 NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. Y PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLO S.F. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RE 	OW RELEASE, ORGANIC) - 15 LBS PER 1,000	 TO ACHIEVE FINAL ACCEPTANCE AT TH CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW AC 	E END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWIN TIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR NTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND
r.	 b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE TH 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS- i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. Y ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW REI 	HE FOLLOWING AMENDMENTS INTO THE TOP -RIPPING: YDS. PER 1,000 S.F.	REPLACED BY HEALTHY PLANT M b. ALL HARDSCAPE SHALL BE CLEAN c. SODDED AREAS MUST BE ACTIVE	ATERIAL PRIOR TO FINAL ACCEPTANCE. IED PRIOR TO FINAL ACCEPTANCE. Y GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST I
5	 iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RE iv. IRON SULPHATE - 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICAT FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULC) 	ECOMMENDED RATE TIONS, "FINISH GRADE" REFERS TO THE	RESODDED (AS APPROPRIATE) PF NEATLY MOWED. K. WARRANTY PERIOD, PLANT GUARANTEE AND	IOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE
	a. BEFORE STARTING WORK, THE LANDSCAPE CONTRAC GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1 FOR MORE DETAILED INSTRUCTION ON TURF AREA AN b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOW	CTÓR SHALL VERIFY THAT THE ROUGH 1' OF FINISH GRADE. SEE SPECIFICATIONS ND PLANTING BED PREPARATION.	IRRIGATION SYSTEMS FOR A PERIOD OF ACCEPTANCE (90 DAYS FOR ANNUAL PL EXPENSE AND TO THE SATISFACTION O	F <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN F THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR ION SYSTEM WHICH OPERATE IMPROPERLY.
	AND MAINTAIN SLOPES AS RECOMMENDED BY THE GE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM SPECIFIED IN THE REPORT AND ON THE GRADING PLA SHALL BE REGRADED TO BLEND IN WITH THE SURROU	EOTECHNICAL REPORT. ALL LANDSCAPE STRUCTURES AT THE MINIMUM SLOPE NS, AND AREAS OF POTENTIAL PONDING	2. AFTER THE INITIAL MAINTENANCE PERI CONTRACTOR SHALL ONLY BE RESPON CANNOT BE ATTRIBUTED DIRECTLY TO	DD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE SIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. RD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK.
_	POTENTIAL. c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WH WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST ,	HETHER OR NOT THE EXPORT OF ANY SOIL I GRADE PROVIDED, THE AMOUNT OF SOIL	RECORD DRAWING IS A RECORD OF ALL CHA	NGES THAT OCCURRED IN THE FIELD AND THAT ARE NDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUF
	d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IM OTHER WALKING SURFACES, AFTER INSTALLING SOIL FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER M	IMEDIATELY ADJACENT TO WALKS AND AMENDMENTS, IS 3" BELOW THE ADJACENT		
	TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADI FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMM OTHER WALKING SURFACES, AFTER INSTALLING SOIL	ING PLANS, AT APPROXIMATELY 18" AWAY IEDIATELY ADJACENT TO WALKS AND		
	SURFACE OF THE WALKS. TAPER THE SOIL SURFACE THE GRADING PLANS, AT APPROXIMATELY 18" AWAY F f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARI GEOTECHNICAL REPORT, THESE NOTES AND PLANS, A	TO MEET FINISH GRADE, AS SPECIFIED ON FROM THE WALKS. ISE BETWEEN THE GRADING PLANS,		
6	CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEM ARCHITECT, GENERAL CONTRACTOR, AND OWNER. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE C	IS TO THE ATTENTION OF THE LANDSCAPE		
	ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMA	THAINS IN THE FOR U OF SUIL.		
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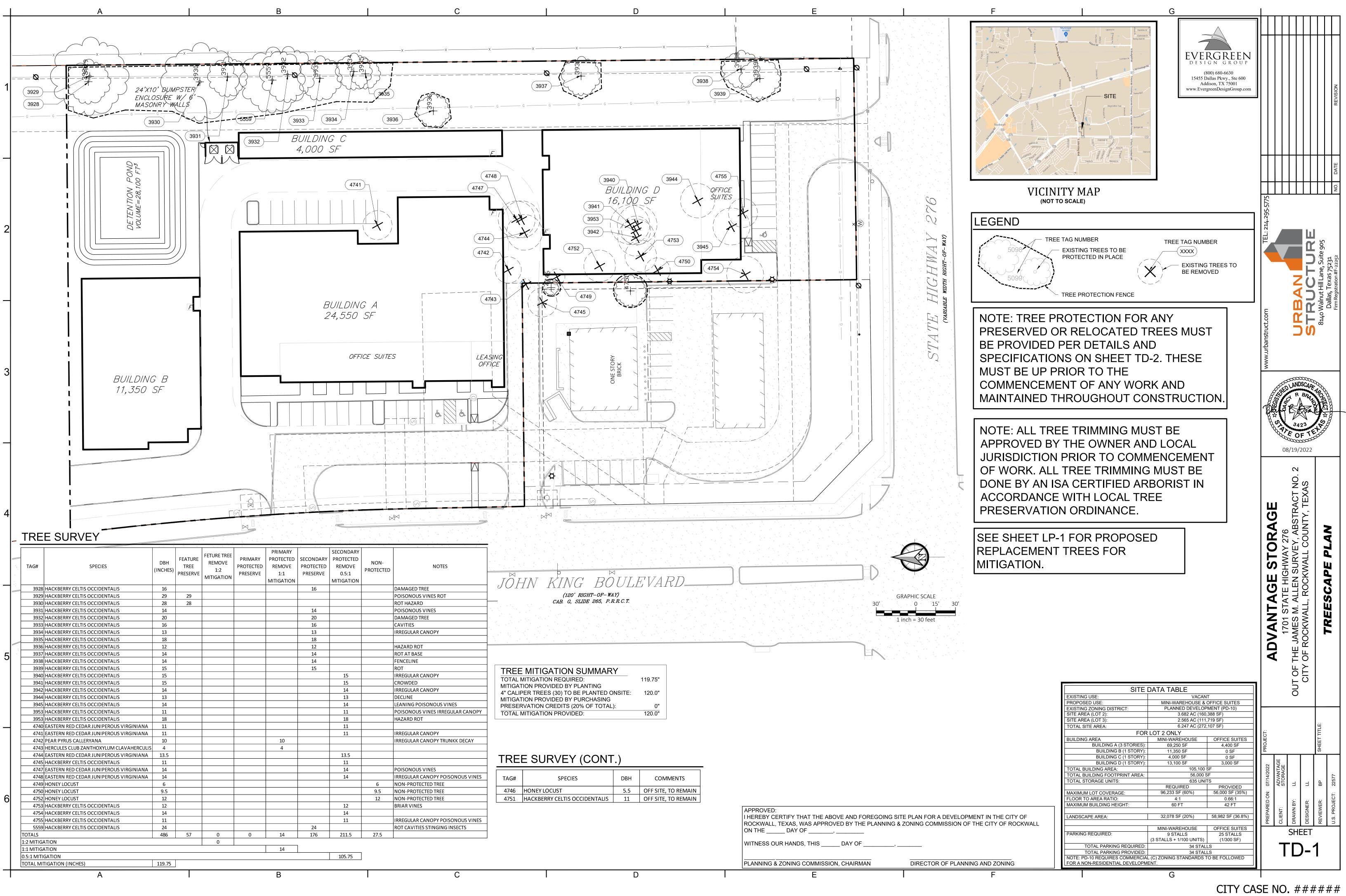
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APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEV
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSI
ON THE DAY OF,



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	TREE PROTECTION SPECIFICATIONS		
	MATERIALS 1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.	9. WHERE EXCAVATION IN FOR IRRIGATION INSTAU HAND TOOLS ONLY.	LLATION, PROCEED V
1	 POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE, USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED. 	10. THE CONTRACTOR SHA DIAMETER WHEN EXCA ROOTS LARGER THAN (FOR OAKS ONLY, ALL W WITHIN 30 MINUTES	VATION OCCURS NEA
	 CONSTRUCTION METHODS 1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY. 	 REMOVE ALL TREES, SH PROTECTED ROOT ZON TREES DAMAGED OR K CONSTRUCTION SHALL 	IE AREAS BY HAND. ILLED DUE TO CONTR BE MITIGATED AT TH
-	2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.	AND TO THE PROJECT (SATISFACTION. 13. ANY TREE REMOVAL SH JURISDICTION PRIOR TO HAVE ALL REQUIRED PE	HALL BE APPROVED B O ITS REMOVAL, AND
0	3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.	 14. COVER EXPOSED ROOT WET BURLAP. 15. IN CRITICAL ROOT ZONI CONSTRUCTION AND W SOIL WITH EIGHT INCHE COMPACTION. THIS EIG 	IS AT THE END OF EA E AREAS THAT CANNO (HERE HEAVY TRAFFI ES OF ORGANIC MULC
2	 4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA. 	16. WATER ALL TREES IMP ONCE A WEEK DURING CROWNS WITH WATER	RUCTION. ACTED BY CONSTRUC PERIODS OF HOT DR
	 THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER 	ON THE LEAVES. 17. WHEN INSTALLING CON USE A PLASTIC VAPOR LEACHING OF LIME INTO	BARRIER BEHIND THE
	AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.	18. CONTRACTOR SHALL R FENCING WHEN ALL TH CONSTRUCTION-RELAT	REATS TO THE EXIST
	 WITHIN THE CRZ: a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE. b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. 		
3	 d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING). e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES. f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE. 		
-	8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID		
	SEVERING THEM.		
4		TREE PROTEC	TION GENERA
4		 (A) PRIOR TO THE LAI CONTRACTOR SH FOR WHICH A TRE AND SHALL EREC TREES ACCORDIN (1) AROUND AN RADIUS OF ALL SF CABBAGE PALMS; (2) AROUND AN 	ND CLEARING STAGE ALL CLEARLY MARK A E REMOVAL PERMIT T BARRIERS FOR THE NG TO THE FOLLOWIN AREA AT OR GREATE PECIES OF MANGROV AREA AT OR GREATE
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REES MUST OCCUR, SUCH AS WITH CAUTION, AND USING

LARGER THAN ONE INCH IN EAR EXISTING TREES. ALL TER ARE TO BE CUT CLEANLY. AINTED WITH WOUND SEALER

TO BE CLEARED FROM

TRACTOR'S NEGLIGENCE DURING HE CONTRACTOR'S EXPENSE AL JURISDICTION'S

BY THE OWNER AND LOCAL ID THE CONTRACTOR SHALL ACTIVITIES.

EACH DAY WITH SOIL, MULCH OR

NOT BE PROTECTED DUING FIC IS ANTICIPATED, COVER THE LCH TO MINIMIZE SOIL MULCH SHALL BE MAINTAINED

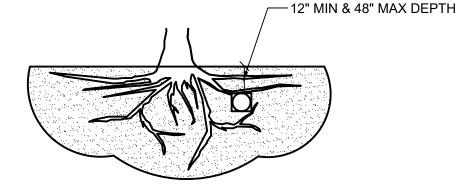
JCTION ACTIVITIES, DEEPLY RY WEATHER. SPRAY TREE REDUCE DUST ACCUMULATION

TO THE ROOT ZONE OF A TREE, HE CONCRETE TO PROHIBIT

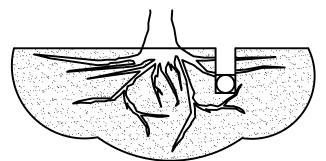
SE OF ALL TREE PROTECTION STING TREES FROM E BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE С SCALE: NOT TO SCALE

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION 1. MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND 2.
- FLAGGED PRIOR TO ROOT PRUNING. 3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL 4.
- AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. 5.
- ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000. 6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

AL NOTES

GE OF DEVELOPMENT, THE KALL PROTECTED TREES T HAS NOT BEEN ISSUED HE PROTECTION OF THE ING: TER THAN A SIX-FOOT

OVES AND PROTECTED

TER THAN THE FULL E PINES; TER THAN TWO-THIRDS OF CTED SPECIES.

, NOTICE OR OTHER R FASTEN ANY WIRES, PROTECTED TREE IN ANY FUL TO THE PROTECTED NJUNCTION WITH

OF DEVELOPMENT, THE PERMIT THE CLEANING OF HE OUTSIDE PERIMETER OF NEARBY GROUND OF ANY

S TO BE PRESERVED. THE CROWN (DRIPLINE) OF THE CONTRACTOR SHALL BUILDING MATERIAL OF WASTE MATERIAL SUCH

, CONCRETE, MORTAR OR THE LIFE OF THE TREE. ECESSARY FIRE OR RIPLINE OF A PROTECTED

IN THE BARRIER AREA ID LABOR. OCCUPANCY OR

NT, BUILDING OR D TO BE PRESERVED THAT

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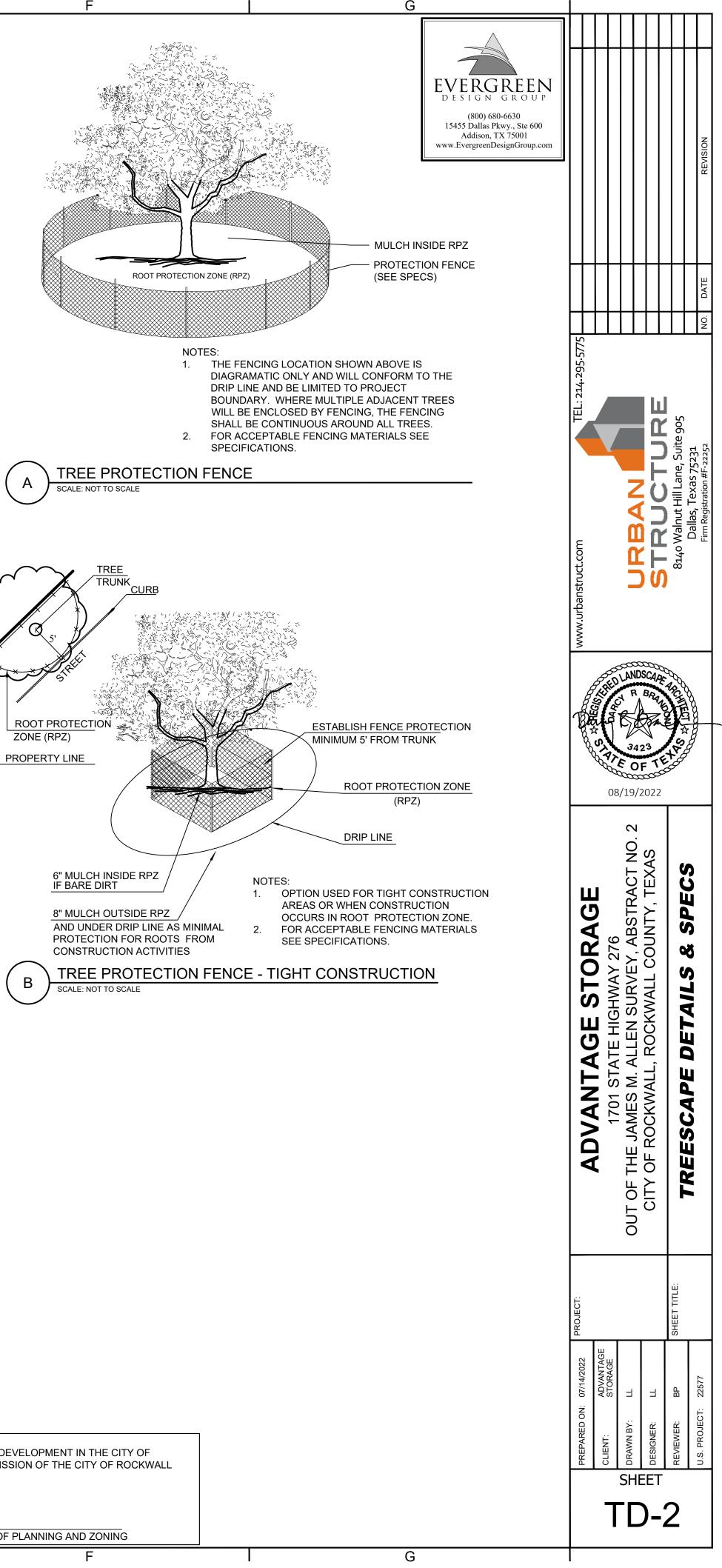
TREE PROTECTION FENCE TO BE ERECTED IN LINE WITH ROOT PRUNING LIMITS. SEE DETAILS AND SPECIFICATIONS FOR TREE PROTECTION FENCE REQUIREMENTS.

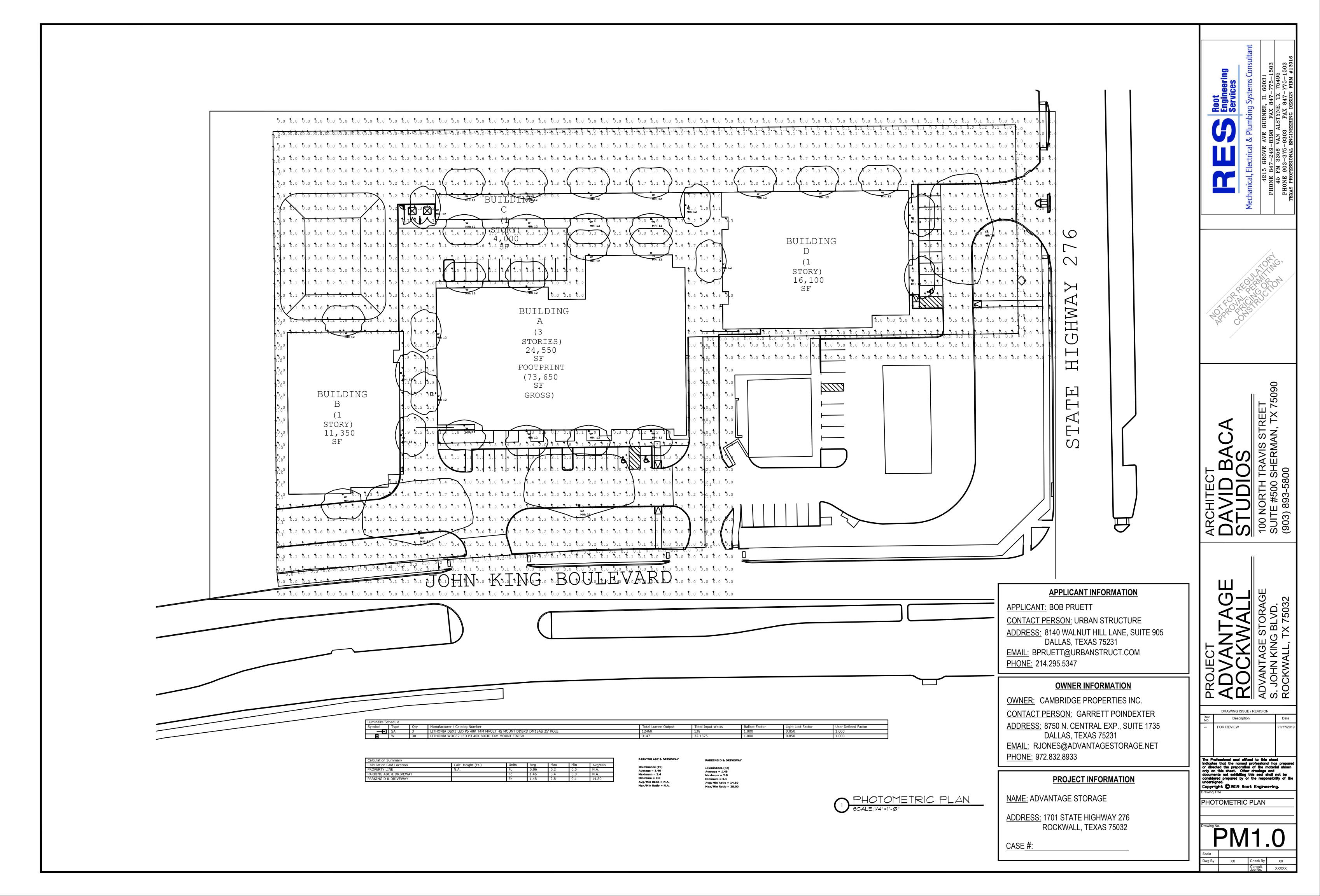
ROOT PRUNE VIA AIRSPACE OR TRENCH (6" WIDE MAX.) 24" MIN. DEPTH OR AS DETERMINED AT PRE-CONSTRUCTION MEETING.



APPROVED:	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE	PLAN FOR A DEVE
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZO	DNING COMMISSIC
ON THE DAY OF,	
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PLANNING & ZONING COMMISSION, CHAIRMAN	DIRECTOR OF PL

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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	September 13, 2022
APPLICANT:	Bob Pruett; Urban Structure
CASE NUMBER:	SP2022-044; Site Plan for Advantage Storage

SUMMARY

Discuss and consider a request by Bob Pruett of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a <u>Site Plan</u> for a *Mini-Warehouse Facility* on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard, and take any action necessary.

BACKGROUND

On September 16, 1974, the subject property was annexed by *Ordinance No.* 74-26 [*Case No. A1974-006*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to City's historic zoning maps, at some point between December 7, 1993 and April 5, 2005, the subject property was rezoned from Agricultural (AG) District to a Light Industrial (LI) District. On July 2, 2012, the City Council rezoned the subject property to Planned Development District 10 (PD-10) by *Ordinance 12-13* [*Case No. Z2012-006*]. The subject property has remained vacant since annexation.

PURPOSE

The applicant -- Bob Pruett of Urban Structure -- is requesting the approval of a <u>Site Plan</u> for the purpose of constructing a *Mini-Warehouse Facility*.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is Discovery Boulevard, which is classified as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 2 of the Rockwall Downes Subdivision, which was platted in January 31, 2017 and consists of 30 single-family residential lots. This property is zoned Planned Development District 10 (PD-10) for single-family land uses.
- South: Directly south of the subject property is SH-276, which is classified as a TXDOT6D (*i.e. a Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 11.78-acre tract of land (*i.e. Tract 5-3 of the W. H. Baird Survey, Abstract No. 25*) zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses. Beyond this is Dorris A. Jones Elementary, which is located on a 15.428-acre parcel of land (*i.e. Lot 1, Block 1, Rockwall Elementary School #8 Addition*) zoned Planned Development District 45 (PD-45) for Single Family 8.4 (SF-8.4) District land uses.

- East: Directly east of the subject property are four (4) tracts of land (*i.e. tract 1-3 of the J M Allen Survey, Abstract No. 2 [0.178-acres], tract 1, of the J M Allen Survey, Abstract No. 2 [5.527-acres {part of 17.264-acre tract}], tract 1-7, of the J M Allen Survey, Abstract No. 2 [7.960-acres], Tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [7.960-acres], tract 1-7, of the JM Allen Survey, Abstract No. 2 [*
- <u>West</u>: Directly west of the subject property is a 1.0080-arcre parcel of land (*i.e. Lot 1, Block A, VRE Rockwall Addition*) developed with a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers (i.e. 7-11)* zoned Planned Development District 10 (PD-10) for limited Commercial (C) District land uses. Beyond this is John King Boulevard, which is identified as a P4D (*i.e. principle collector, six (6) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 6.286-acre tract of land (*i.e. Tract 3-09 of the J. M. Allen Survey, Abstract No. 2*) zoned Planned Development District 10 (PD-10) for limited Commercial (C) District land uses, and a 32.6546-acre parcel of land (*i.e. Lot 1, Block A, Mansions Family Addition*) developed with a *Multi-Family Development (i.e. Sixteen50 at Lake Ray Hubbard Apartments*) zoned Planned Development District 10 (PD-10) for Multi-Family and Single-Family Attached land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section D.5.A, *Permitted Land Uses*, of *Exhibit C*, *PD Development Standards*, of the Planned Development District 10 (PD-10), the *Mini-Warehouse* land use is permitted *by-right* on the subject property with the requirements listed in the *Conditional Land Use Standards* section of the Unified Development Code (UDC). The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the variances and exceptions outlined in the *Variances and Exceptions by the Applicant* section below. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	43,560 SF	X=160,388 SF; In Conformance
Minimum Lot Frontage	25-Feet	X=345-Feet; In Conformance
Minimum Lot Depth	100-Feet	X=346-Feet; In Conformance
Minimum Front Yard Setback	25-Feet	X≥25-Feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X>10-Feet; In Conformance
Minimum Side Yard Setback	10-Feet	X≥10-Feet; In Conformance
Maximum Building Height	60-Feet	X=42-feet; In Conformance
Max Building/Lot Coverage	60%	X=35%; In Conformance
Minimum Number of Parking Spaces	34 spaces	X=34; In Conformance
Minimum Landscaping Percentage	15%	X=36.8%; In Conformance
Maximum Impervious Coverage	85-90%	C=63.2%; In Conformance

CONFORMANCE WITH THE CITY'S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of a *Mini-Warehouse*, which generally conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Commercial (C) District with the exception of the variances and exceptions being requested in the *Variances and Exceptions Requested by the Applicant* section of this case memo. The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Commercial (C) District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC); however, the proposed site plan <u>does not</u> conform to all of the *Conditional Land Use Standards* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for the *Mini-Warehouse* land use. Specifically, the proposed development exceeds the number of units per acre, the permitted height, and the roof pitch requirements. The following is a summary of the *Conditional Land Use Standards* for the *Mini-Warehouse* land use, and the proposed projects conformance to these requirements:

Ordinance Provisions	Conditional Land Use Standards	Conformance to the Standards
Number of Storage Units per Acre	125	X=169.7 SF; Non-Conforming
Building Height	One Story	X=Three (3) Story; Non-conforming
Management Parking Requirement	2 Spaces	X=2; In Conformance
No Direct Access Driveway	No Access to SH-276 and John King	Non-Conforming; however, the proposed driveways are existing
Perimeter Walls	Face the Front, Rear, and Side Property Lines	Wrought Iron Fence; In Conformance
Landscaped Building Set Back Areas	Front, Rear, and Side	In Conformance
Perimeter Gates	Limit Access to Customers Only	Wrought Iron Fence with gates; In Conformance
Screening Fences	Wrought-Iron	Wrought Iron Fence; In Conformance
Overhead Door	Interior and not face public right-of-way	Interior; In Conformance
Rental Trucks/Trailers	Prohibited	None proposed; In Conformance
Business Operation in Storage Units	Prohibited	None proposed; In Conformance
Outside Storage	Prohibited	None proposed; In Conformance
Paving	Concrete	Concrete; In Conformance
Roof Pitch	1:3	Flat Roof Design; Non-Conforming
Lighting Standards	Maximum Pole Height of 20-feet	X=25-feet; Condition of Approval
Residential Unit	Maximum SF of 1600	None proposed; In Conformance

VARIANCES AND EXCEPTIONS BY THE APPLICANT

The applicant's request requires the following exceptions and variances:

- (1) Architectural Standards.
 - (a) <u>Materials and Masonry Composition</u>. According to Subsection 06.02(C)(1), Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- excluding doors and windows." In this case, the applicant is requesting contains less than 90% Primary Materials and more than 10% Secondary Materials. Therefore, this will require approval of a variance from the Planning and Zoning Commission.
 - (b) <u>Stone</u>. According to Subsection 06.02(C)(1)(a)(1), of Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades…" In this case, the applicant is requesting a minimum of five (5) percent stone on the facades that stone is used and no stone on the west elevation of Building C, which -- staff should note -- will not be visible from any view around the site since the facility is only open to customers. This will still require approval of a <u>variance</u> from the Planning and Zoning Commission.
 - (c) <u>Four-Sided Architecture</u>. According to Subsection 06.02(C)(5), of Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(a)II buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed buildings are not architecturally finished on all four (4) sides. This will require approval of a <u>variance</u> from the Planning and Zoning Commission.
 - (d) <u>Roof Design Standards</u>. According to Subsection 06.02(C)(2), of Article 05, of the General Overlay District Development Standards of the Unified Development Code (UDC), "(a)II structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof." In this case, the proposed Building C is a total of 4,000 SF and has a flat roof design. This will require approval of a <u>variance</u> from the Planning and Zoning Commission.

(2) Conditional Land Use Standards.

- (a) <u>Number of Units per Acre.</u> According to Subsection 02.03(J)(1)(a), of Article 04, of the Conditional Land Use Standards of the Unified Development Code (UDC), "(t)he number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres." In this case, the applicant's proposed site is 3.682-acres and the site plan show that the total number of storage units will be 635 units. This equates to 169.7 units per acre or 165 units more than what is permitted by the Unified Development Code (UDC). This will require an <u>exception</u> to the Conditional Land Use Standards from the Planning and Zoning Commission.
- (b) <u>Building Height</u>. According to Subsection 02.03(J)(1)(b), of Article 04, of the Conditional Land Use Standards of the Unified Development Code (UDC), "(o)nly single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission and City Council." In this case, the applicant is requesting one (1) three (3) story building which will require approval of an <u>exception</u> by both the Planning and Zoning Commission and City Council.
- (c) <u>Roof Design</u>. According to Subsection 02.03(J)(1)(n), of Article 04, of the Conditional Land Use Standards of the Unified Development Code (UDC) "(r)oofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls." In this case, the applicant is requesting a flat-roof design, which will require an <u>exception</u> from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception and/or variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] additional shrubs along SH-276, [2] additional shrubs along *Building A*, [3] additional shrubs along *Building D*, [4] additional shrubs along John King Boulevard, [5] using more than the required 20% stone on ten (10) out of the 16 facades focusing on the facades facing the public right-of-ways, [6] 16.80% over the required landscape area, [7] more than required canopy trees in the landscape buffer along John King Boulevard, [8] more than the required canopy trees along SH-276, [9] more than the required accent trees along SH-276, [10] extra trees along the detention area. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the <u>Technology District</u> and is designated for <u>Commercial/Retail</u> land uses. According to the plan, the <u>Commercial/Retail</u> land use category "....is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections." In this case, the subject property is at a key intersection and the proposed land use is multi-tenant commercial retail center. The primary land uses in <u>Commercial/Retail</u> include commercial retail buildings, restaurants/brew pubs, multi-tenant commercial centers, neighborhood centers and convenience centers. In this case, the applicant is requesting approval for a *Mini-Warehouse Facility*. Based on this, the applicant's request is a discretionary decision as to if it conforms to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

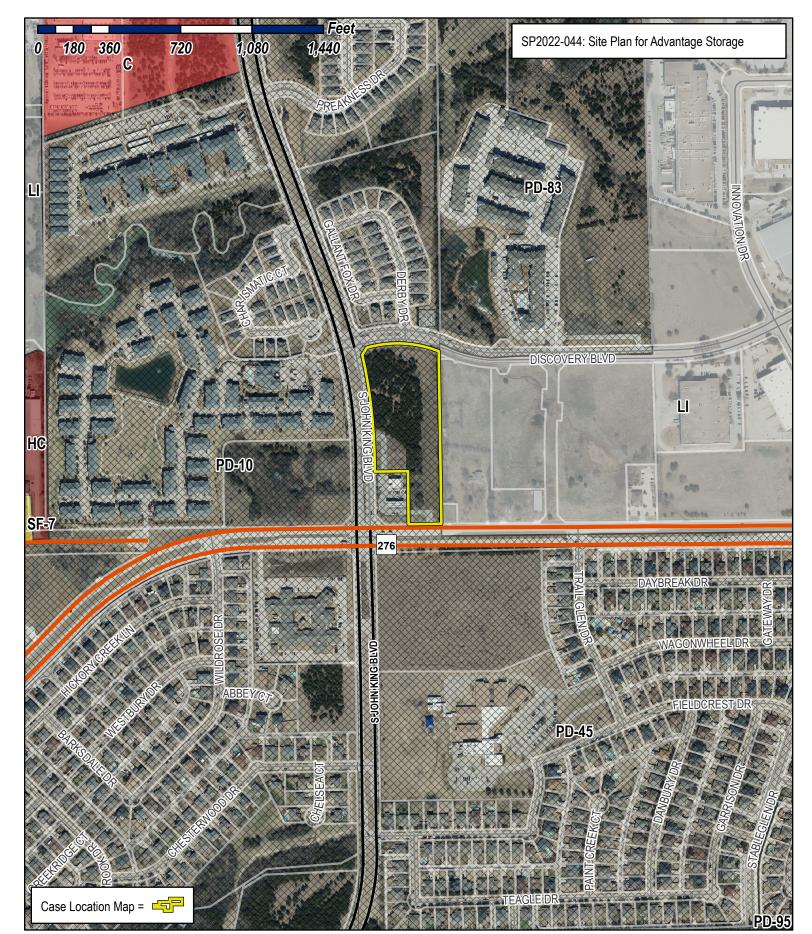
On August 30, the Architecture Review Board (ARB) reviewed the proposed building elevations, and requested changes from the applicant. Specifically, the ARB requested that the applicant finish the parapets on both sides and make sure the RTUs are screened from any view. The applicant has provided updated building elevations that generally conform to the ARB's request. These will be reviewed by the ARB at the meeting on <u>September 13, 2022</u>.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's <u>Site Plan</u> for the construction of the *Mini-Warehouse Facility* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant provide an updated Photometric Plan indicating a maximum 20-foot light pole in conformance with the *Conditional Land Use Standards* of the UDC.
- (3) If Planning and Zoning recommends approval of the <u>exception</u> to the *Building Height* in the *Conditional Use Standards*, the <u>exception</u> will need to be approved through City Council.
- (4) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ION	STAFF USE ONLY PLANNING & ZONING CASE NO. NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:	
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	EVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:	
MASTER PLAT (\$10 PRELIMINARY PLA FINAL PLAT (\$300.0 REPLAT (\$300.00 + AMENDING OR MIN PLAT REINSTATEN SITE PLAN APPLICAT SITE PLAN (\$250.00	□ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 □ ZONIII □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 □ SPEC □ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 □ PD DE □ REPLAT (\$300.00 + \$20.00 ACRE) 1 □ PD DE □ AMENDING OR MINOR PLAT (\$150.00) □ TREE □ PLAT REINSTATEMENT REQUEST (\$100.00) □ VARIA SITE PLAN (\$250.00 + \$20.00 ACRE) 1 □ DETER □ AMENDED SITE PLAN (\$250.00 + \$20.00 ACRE) 1 □ AMENDED SITE PLAN (\$250.00 + \$20.00 ACRE) 1		TERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE RE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT ES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING	
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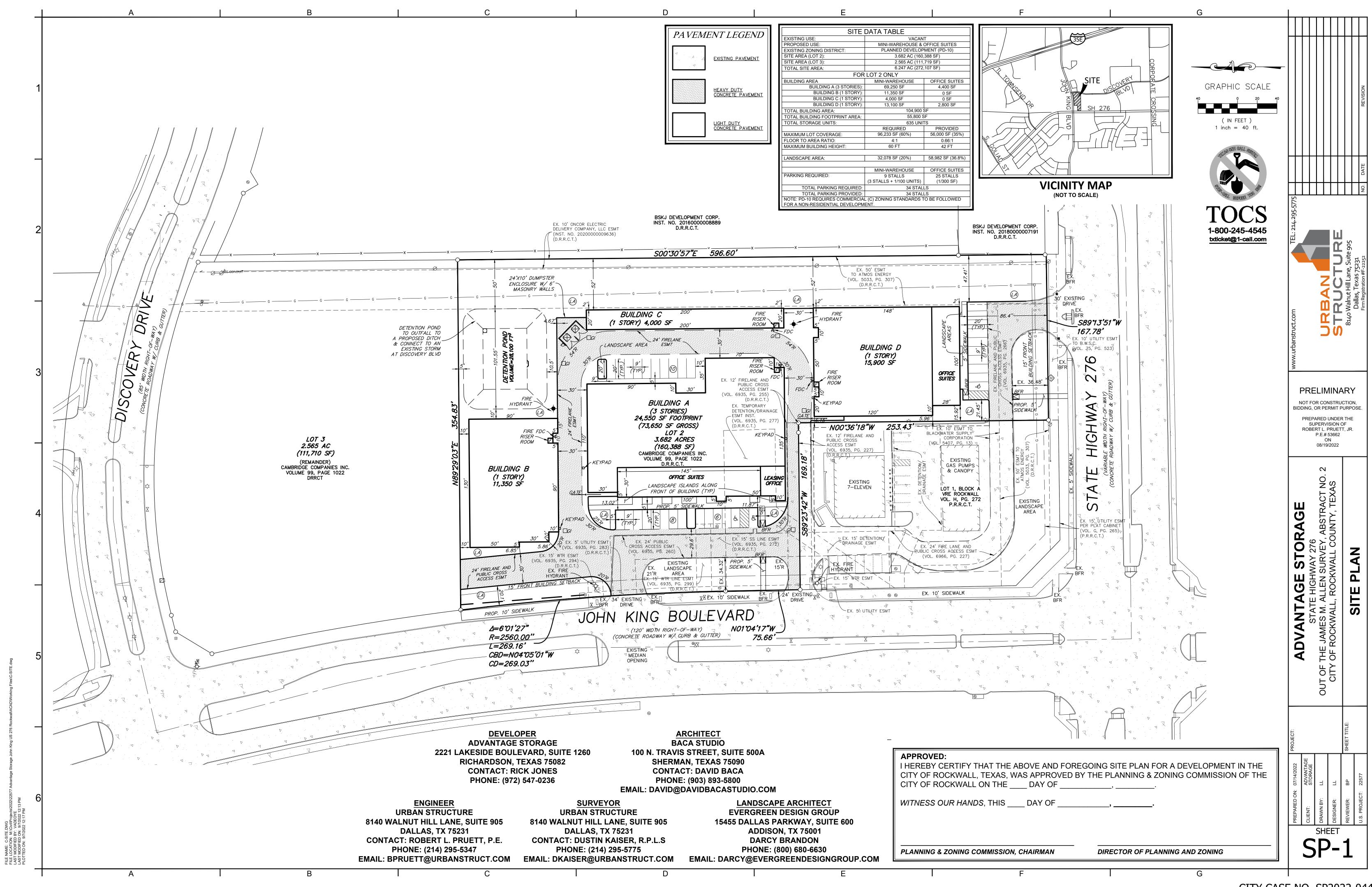




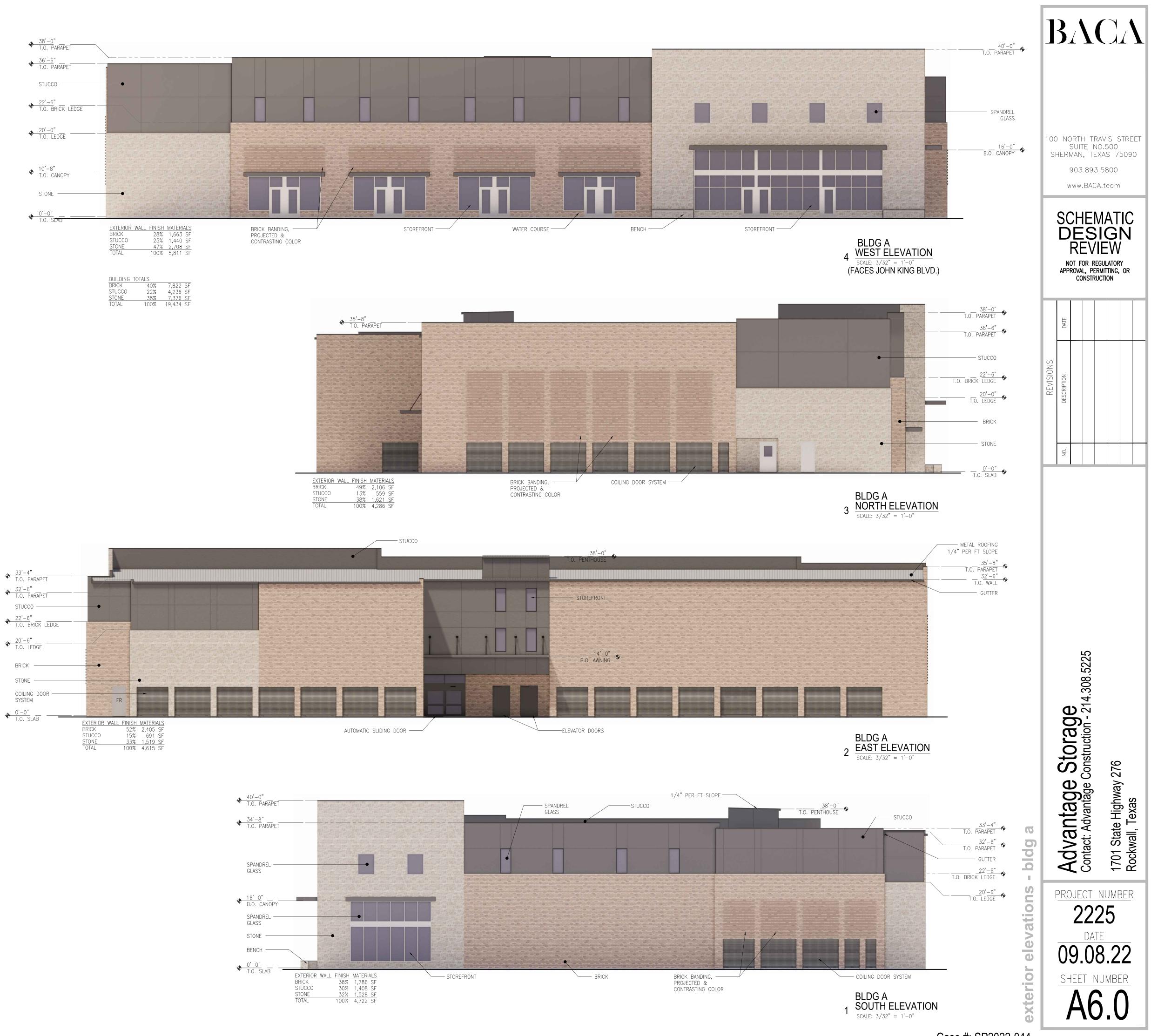
City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









APPLICANT: BOB PRUETT

CONTACT PERSON: URBAN STRUCTURE ADDRESS: 8140 WALNUT HILL LANE, SUITE 905 DALLAS, TEXAS 75231 EMAIL: BPRUETT@URBANSTRUCT.COM PHONE: 214.295.5347

OWNER INFORMATION

OWNER: CAMBRIDGE PROPERTIES INC. CONTACT PERSON: GARRETT POINDEXTER ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735 DALLAS, TEXAS 75231 EMAIL: RJONES@ADVANTAGESTORAGE.NET PHONE: 972.832.8933

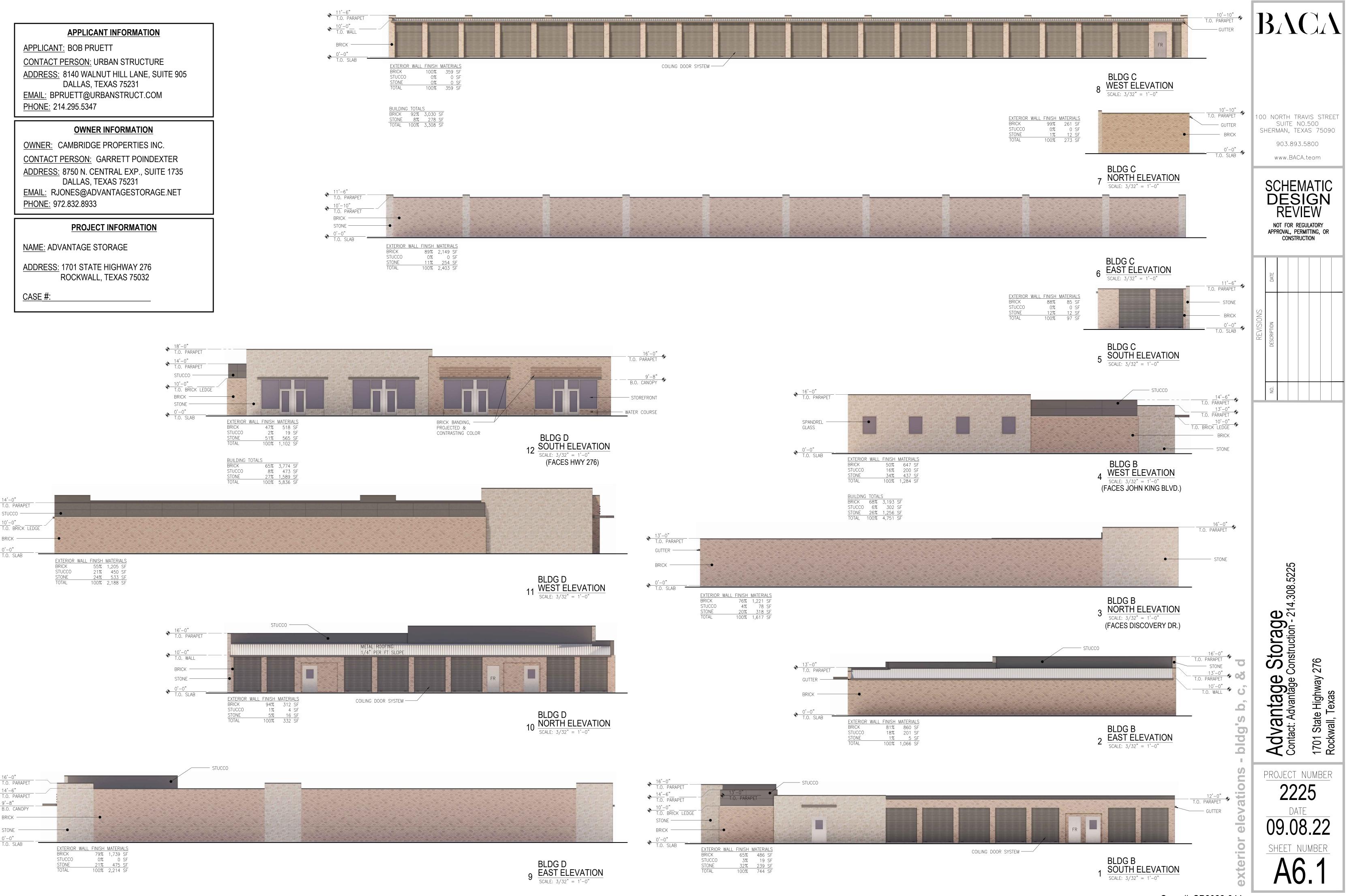
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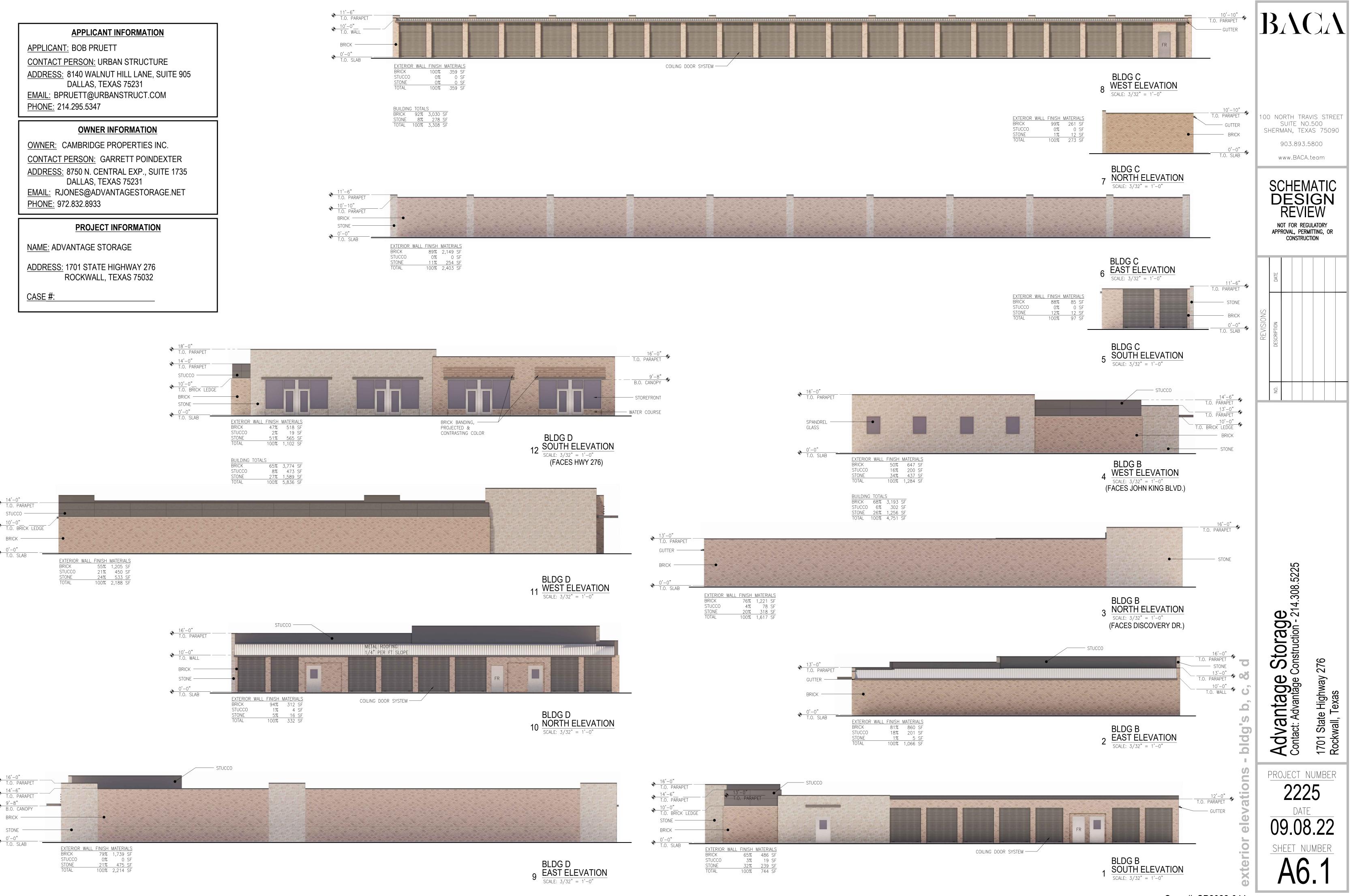
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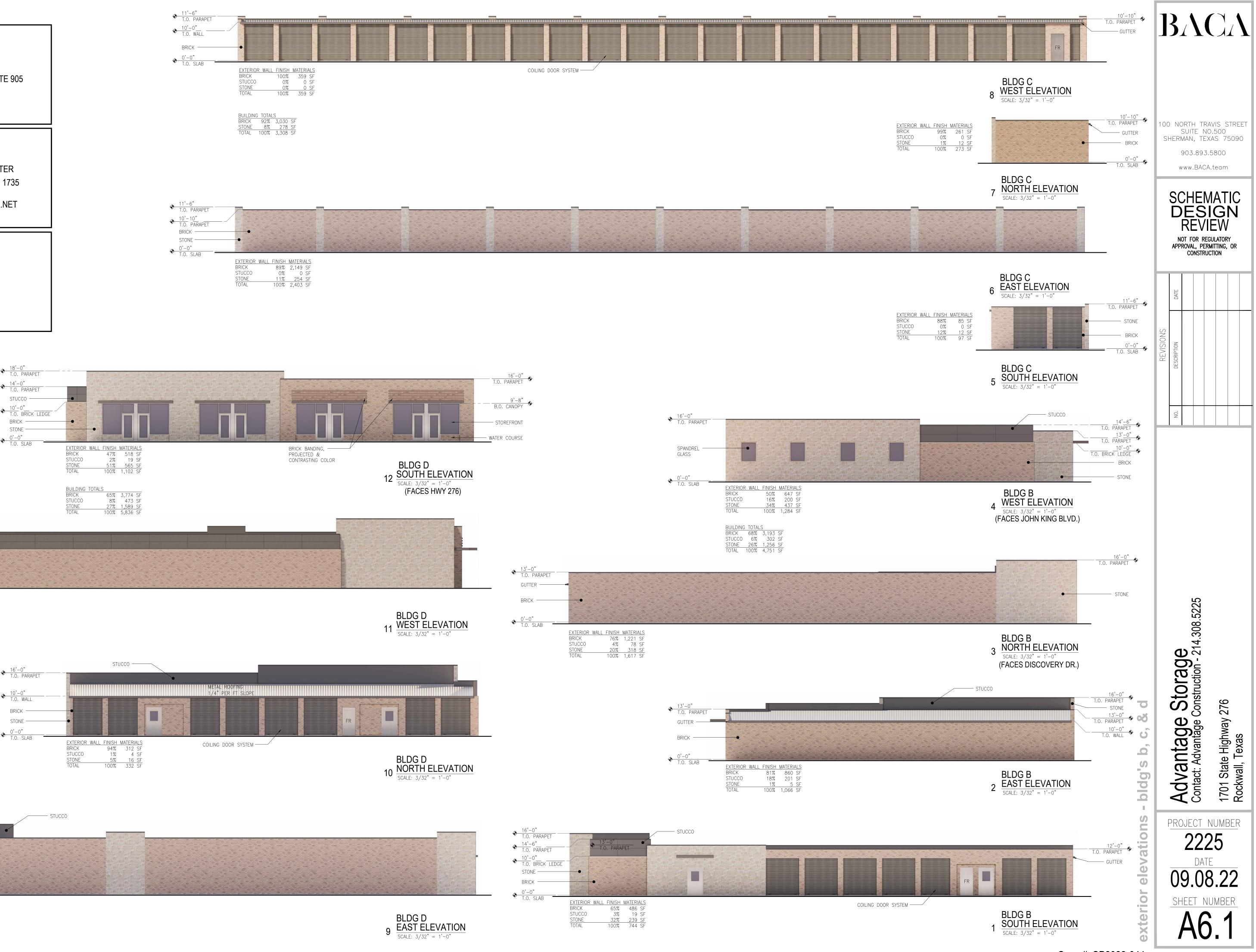
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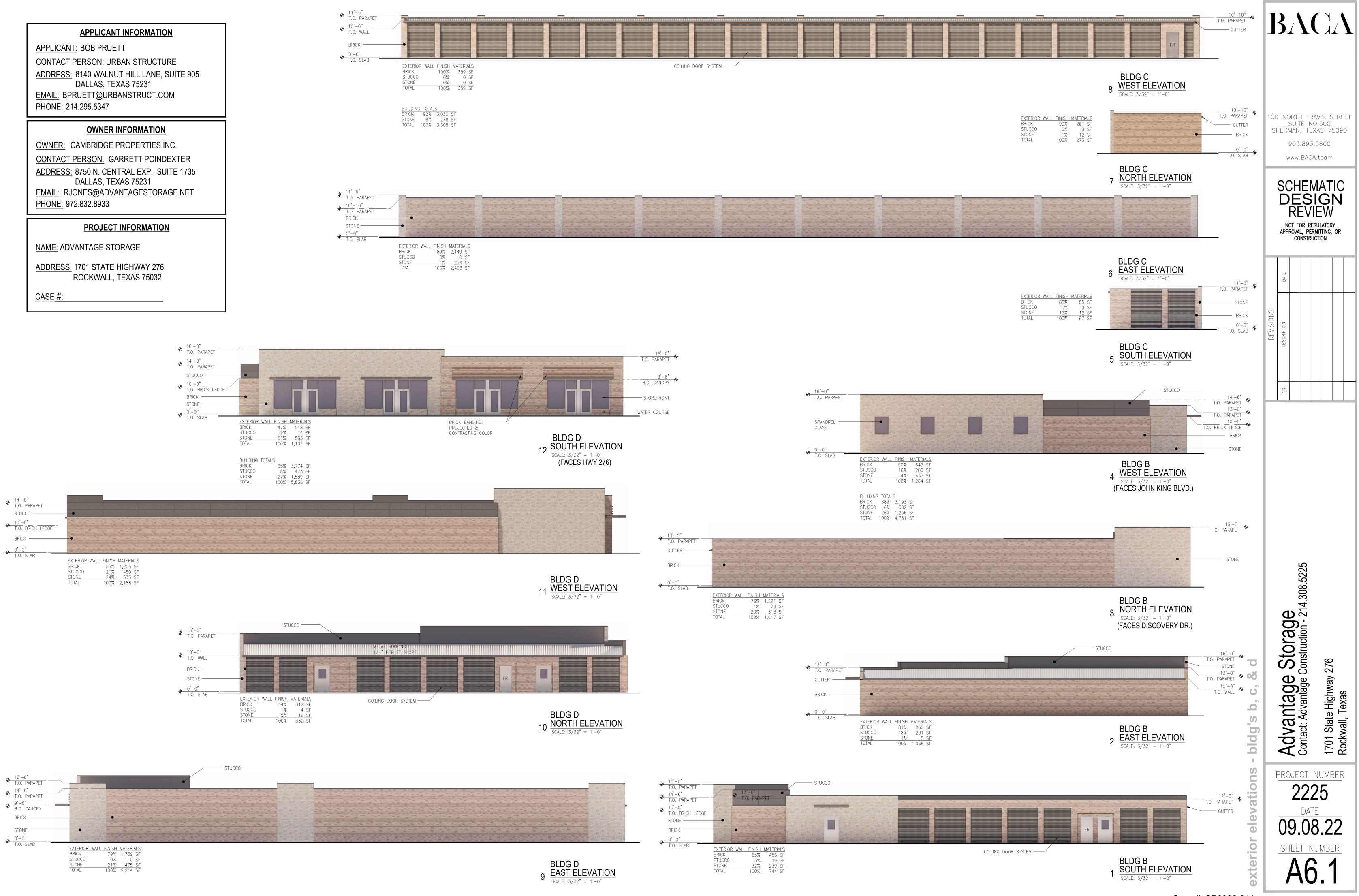
<u>CASE #:</u>

Case #: SP2022-044









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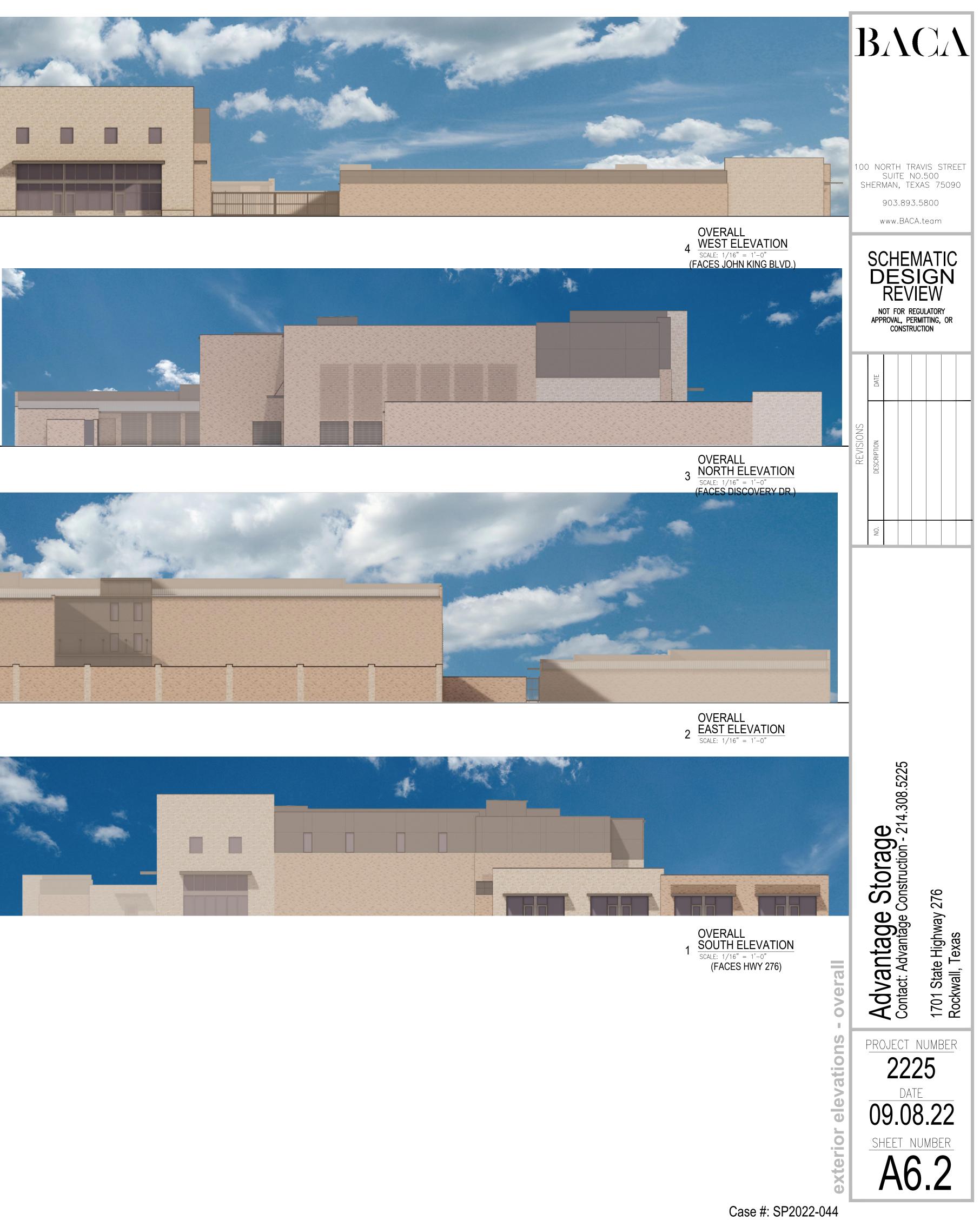
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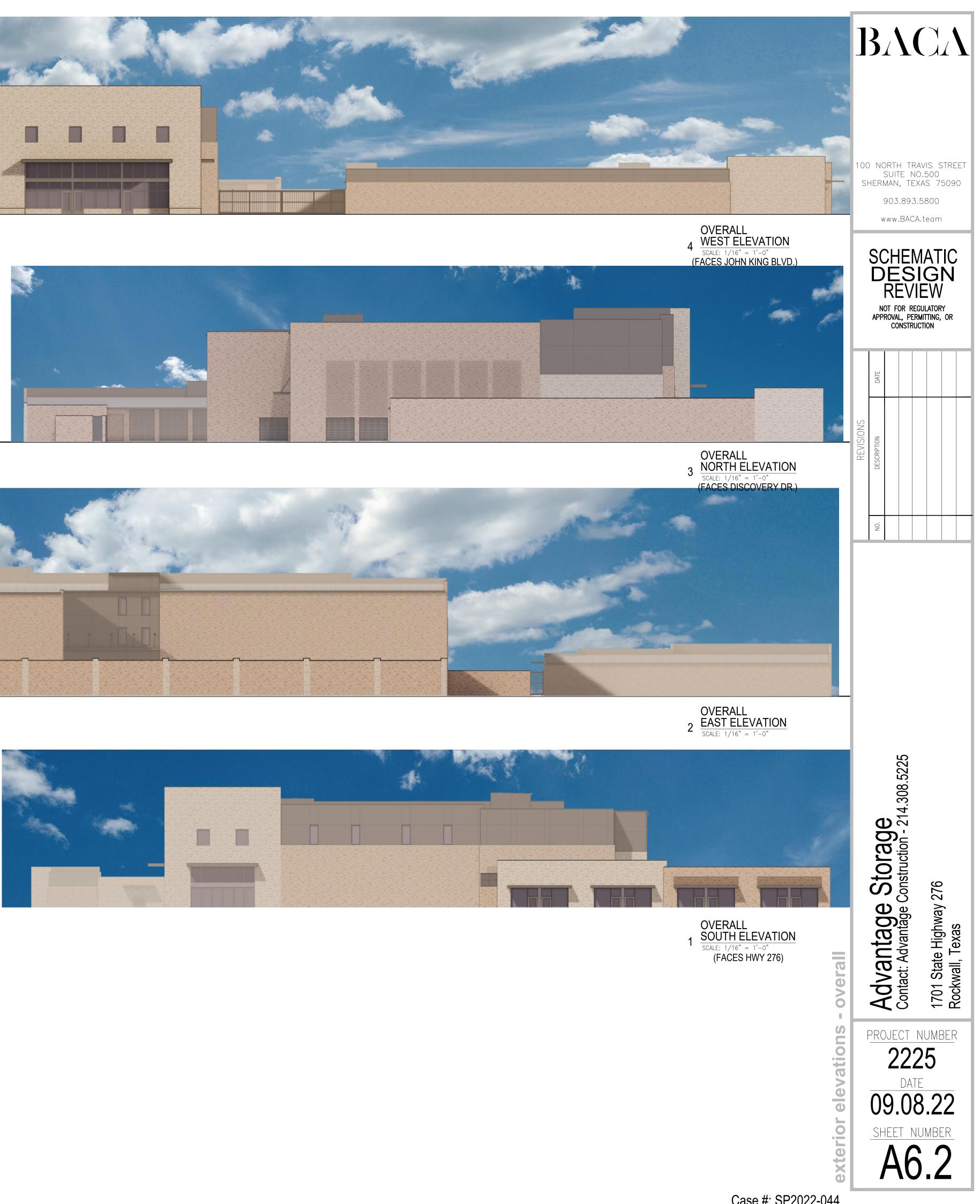
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ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032

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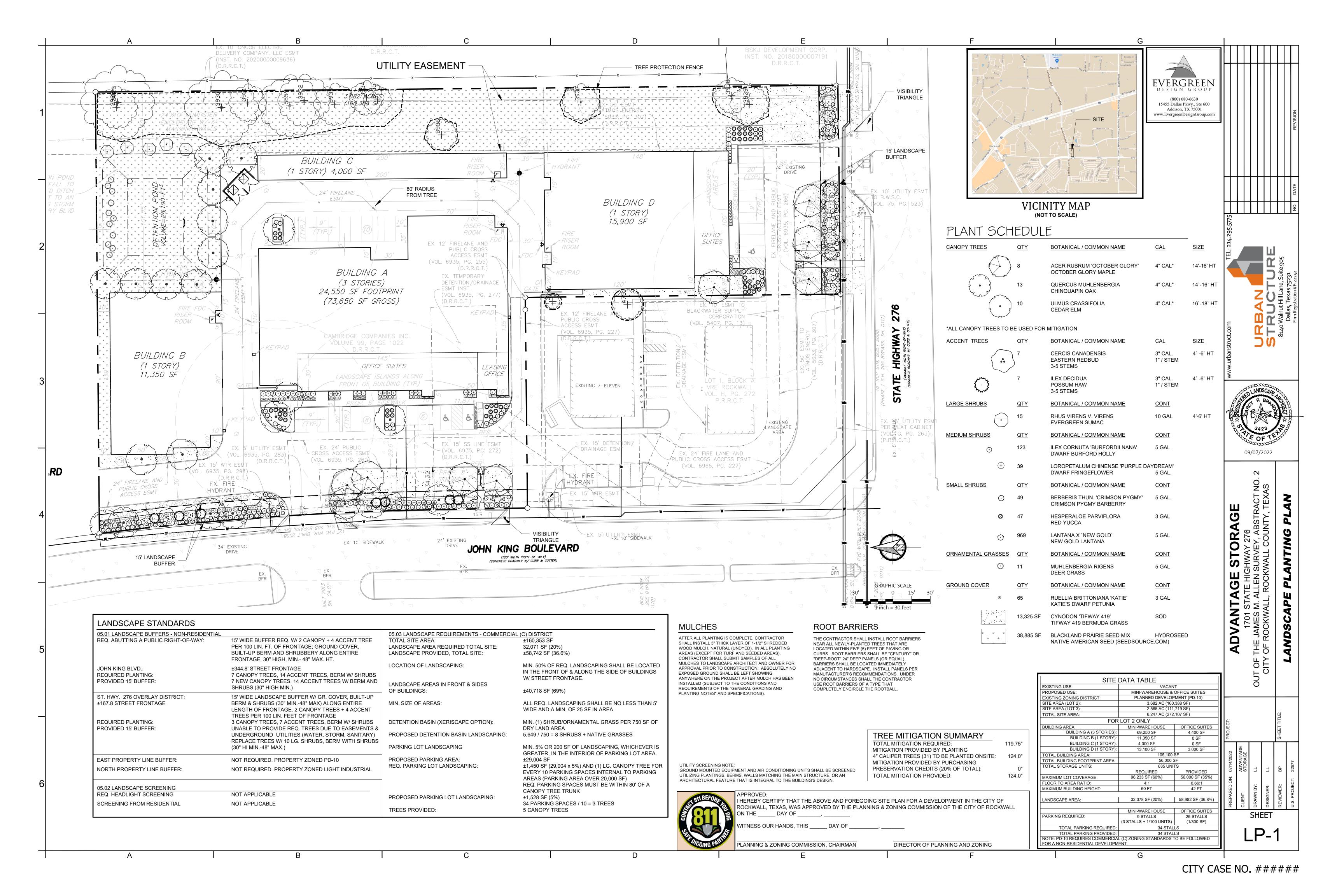
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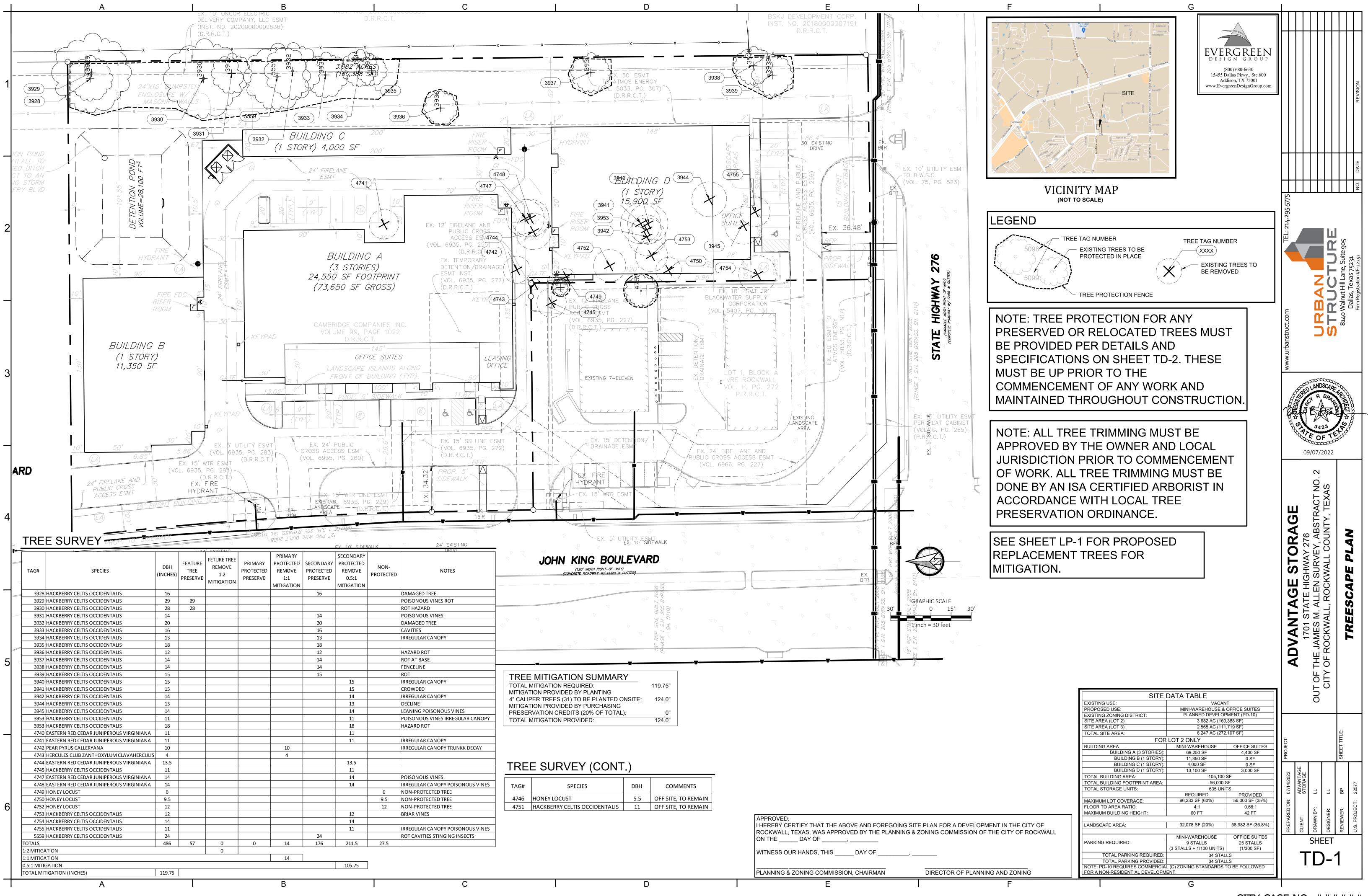
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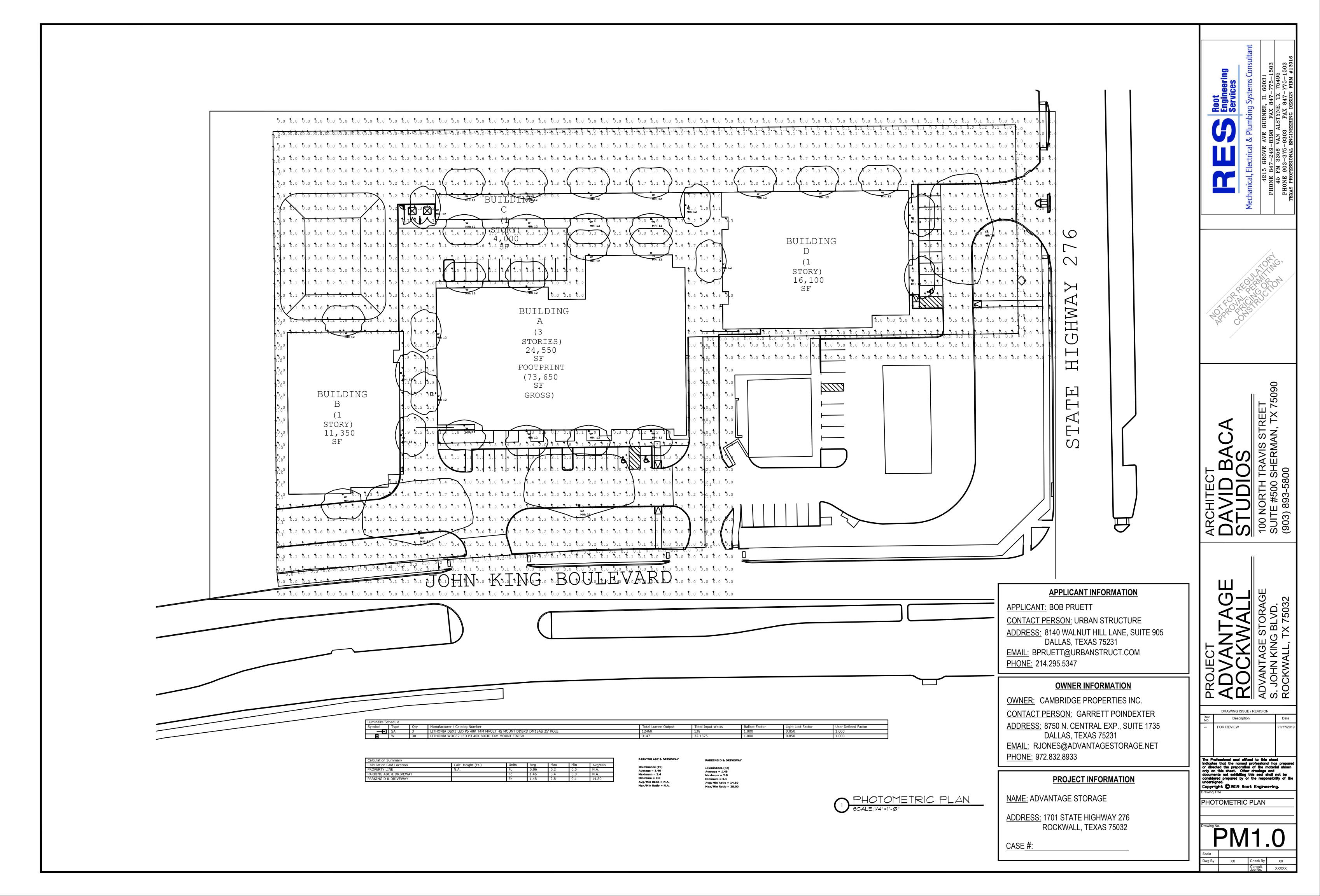




TREE MITIGATION SUMMARY	
TOTAL MITIGATION REQUIRED:	119.75"
MITIGATION PROVIDED BY PLANTING	
4" CALIPER TREES (31) TO BE PLANTED ONSITE:	124.0"
MITIGATION PROVIDED BY PURCHASING	
PRESERVATION CREDITS (20% OF TOTAL):	0"
TOTAL MITIGATION PROVIDED:	124.0"

VINES		TAG#	SPECIES	DBH	COMMENTS
		4746	HONEY LOCUST	5.5	OFF SITE, TO REMAIN
	4751 HACKBERRY CELTIS OCCIDENTALIS		11	OFF SITE, TO REMAIN	

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVE
ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSIC
ON THE DAY OF,
WITNESS OUR HANDS THIS DAY OF

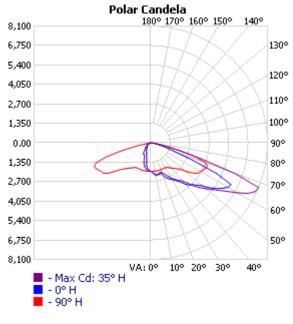


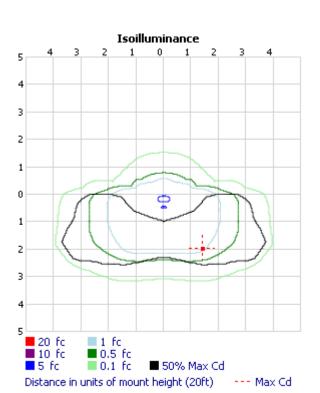
OUTDOOR PHOTOMETRIC REPORT CATALOG: DSX1 LED P5 40K T4M MVOLT HS

Test #:	ISF 34063P14		
Test Lab:	SCALED PHOTOMETRY		
Catalog:	DSX1 LED P5 40K T4M MVOLT HS		
Description:	DSX1 LED P5 40K T4M MVOLT with houseside shield		
Series:	D-Series Area Size 1		
Lamp Output:	Total luminaire Lumens: 12025.9, absolute photometry *		

Input Wattage: 138

Luminous Opening: Rectangle (L: 9.48", W: 11.04")Max Cd:8,096.4 at Horizontal: 35°, Vertical: 67.5°Roadway Class:SHORT, TYPE III





CuityBrands.

🚺 LITHONIA LIGHTING

*Test based on absolute photometry where lamp lumens=lumens total. *Cutoff Classification and efficiency cannot be properly calculated for absolute photometry.

Visual Photometric Tool 1.2.46 copyright 2022, Acuity Brands Lighting.

This Photometric report has been generated using methods recommended by the IESNA. Calculations are based on Photometric data provided by the manufacturer, and the accuracy of this Photometric report is dependent on the accuracy of the data provided. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual Photometric performance to differ from the performance calculated using the data provided by the manufacturer. This report is provided without warranty as to accuracy, completeness, reliability or otherwise. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this report.



PAGE 1 OF 4



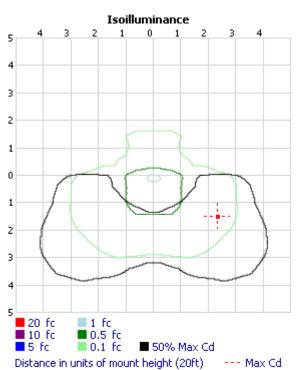
OUTDOOR PHOTOMETRIC REPORT CATALOG: WDGE2 LED P3 40K 80CRI T4M

Test #:	ISF 21568P31		
Test Lab:	ACUITY BRANDS LIGHTING, DECATUR LAB		
Catalog:	WDGE2 LED P3 40K 80CRI T4M		
Description:	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K,		
	80CRI, TYPE 4 MEDIUM OPTIC		
Series:	WDGE2 LED Wall Mount		
Lamp Output:	Total luminaire Lumens: 3147.4, absolute photometry *		
Input Wattage:	32.1375		
Luminous Opening:	Rectangle (L: 4.92", W: 7.44")		
Max Cd:	1,922.4 at Horizontal: 57.5°, Vertical: 70°		
Roadway Class:	MEDIUM, TYPE IV		





Polar Candela 180° 170° 160° 150° 140° 2,000 1,667 130° 1,333 120° 1,000 110° 667 100° 333 90° 0.00 333 80° 667 700 1,000 60° 1,333 1,667 50° 2,000 VA: 0° 10° 20° 30° 40° - Max Cd: 57.5° H - 0° H - 90° H



*Test based on absolute photometry where lamp lumens=lumens total. *Cutoff Classification and efficiency cannot be properly calculated for absolute photometry.

Visual Photometric Tool 1.2.46 copyright 2022, Acuity Brands Lighting.

This Photometric report has been generated using methods recommended by the IESNA. Calculations are based on Photometric data provided by the manufacturer, and the accuracy of this Photometric report is dependent on the accuracy of the data provided. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual Photometric performance to differ from the performance calculated using the data provided by the manufacturer. This report is provided without warranty as to accuracy, completeness, reliability or otherwise. In no event will Acuity Brands Lighting be responsible for any loss resulting from any use of this report.



PAGE 1 OF 4





CITY OF ROCKWALL CITY COUNCIL MEMORANDUM

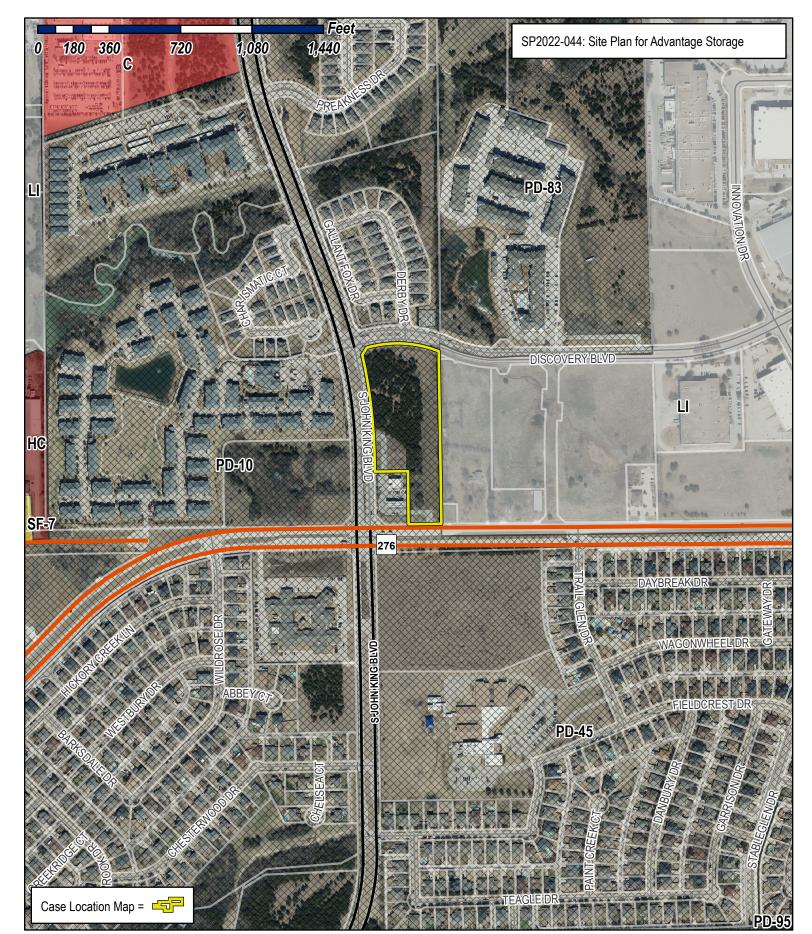
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Mayor and City Council
FROM:	Ryan Miller; Director of Planning
DATE:	September 19, 2022
SUBJECT:	SP2022-044; Site Plan Exception for Advantage Storage

The applicant, *Bob Pruett of Urban Structure*, is requesting the approval of an exception for a three (3) story storage facility on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land situated at the southeast corner of the intersection of John King Boulevard and Discovery Boulevard. The applicant's *Site Plan* and *Building Elevations* indicate that Building A will be three (3) stories and 42-feet in height. According to Section D.5.A, *Permitted Land Uses*, of *Exhibit C, PD Development Standards*, of Planned Development District 10 (PD-10), the *Mini-Warehouse* land use is permitted *by-right* on the subject property with the requirements listed in the *Conditional Land Use Standards* section 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC). States that "(o)nly single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission and City Council." On September 13, 2022, the Planning and Zoning Commission approved the exception along with the *Site Plan*, and recommended approval of the <u>exception</u> to *Building Height* in the *Conditional Land Use Standards*, by a vote of 6-0, (with Commissioner Welch absent). Requests for exceptions are discretionary decisions for both the Planning and Zoning Commission and City Council. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] council members) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of this exception. Should the City Council have any questions, staff will be available at the <u>September 19, 2022</u> City Council meeting.

	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ION	STAFF USE ONLY PLANNING & ZONING CASE NO. NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:	
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF D	EVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:	
MASTER PLAT (\$10 PRELIMINARY PLA FINAL PLAT (\$300.0 REPLAT (\$300.00 + AMENDING OR MIN PLAT REINSTATEN SITE PLAN APPLICAT SITE PLAN (\$250.00	□ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 □ ZONIII □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 □ SPEC □ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 □ PD DE □ REPLAT (\$300.00 + \$20.00 ACRE) 1 □ PD DE □ AMENDING OR MINOR PLAT (\$150.00) □ TREE □ PLAT REINSTATEMENT REQUEST (\$100.00) □ VARIA SITE PLAN (\$250.00 + \$20.00 ACRE) 1 □ DETER □ AMENDED SITE PLAN (\$250.00 + \$20.00 ACRE) 1 □ AMENDED SITE PLAN (\$250.00 + \$20.00 ACRE) 1		TERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE RE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. 000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT ES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING	
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S INFORMATION CONTAINED W SUBMITTED IN CONJUNCTION GIVEN UNDER MY HAND AND	TO COVER THE COST OF THIS APPLICATION, HAS BE 20. BY SIGNING THIS APPLICATION, I AGREE TH ITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALS WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIAT SEAL OF OFFICE ON THIS THE ISH DAY OF THE OWNER'S SIGNATURE	EN PAID TO T AT THE CITY O AUTHORIZ	20 22 20 22 20 22 20 22	
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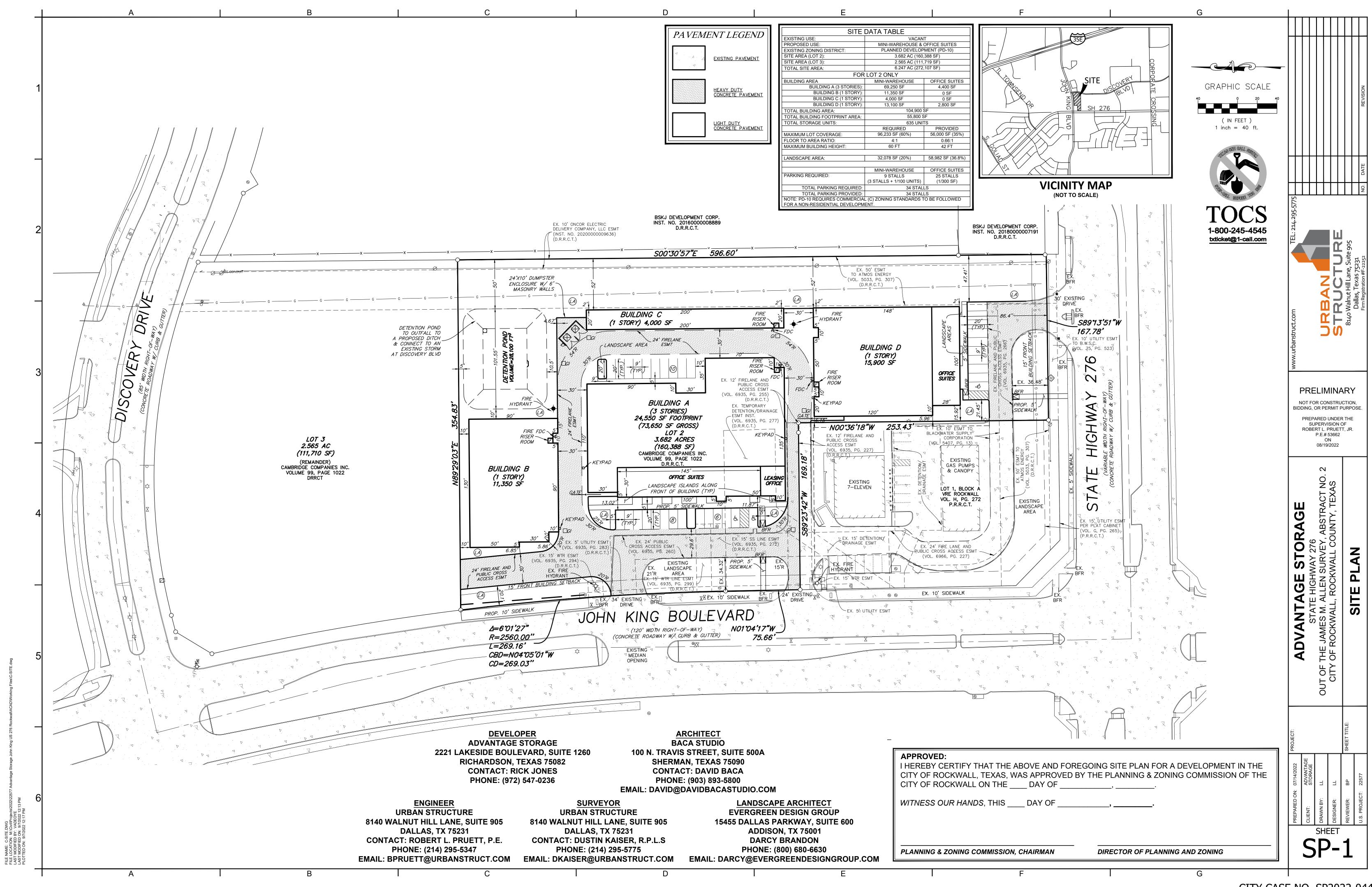




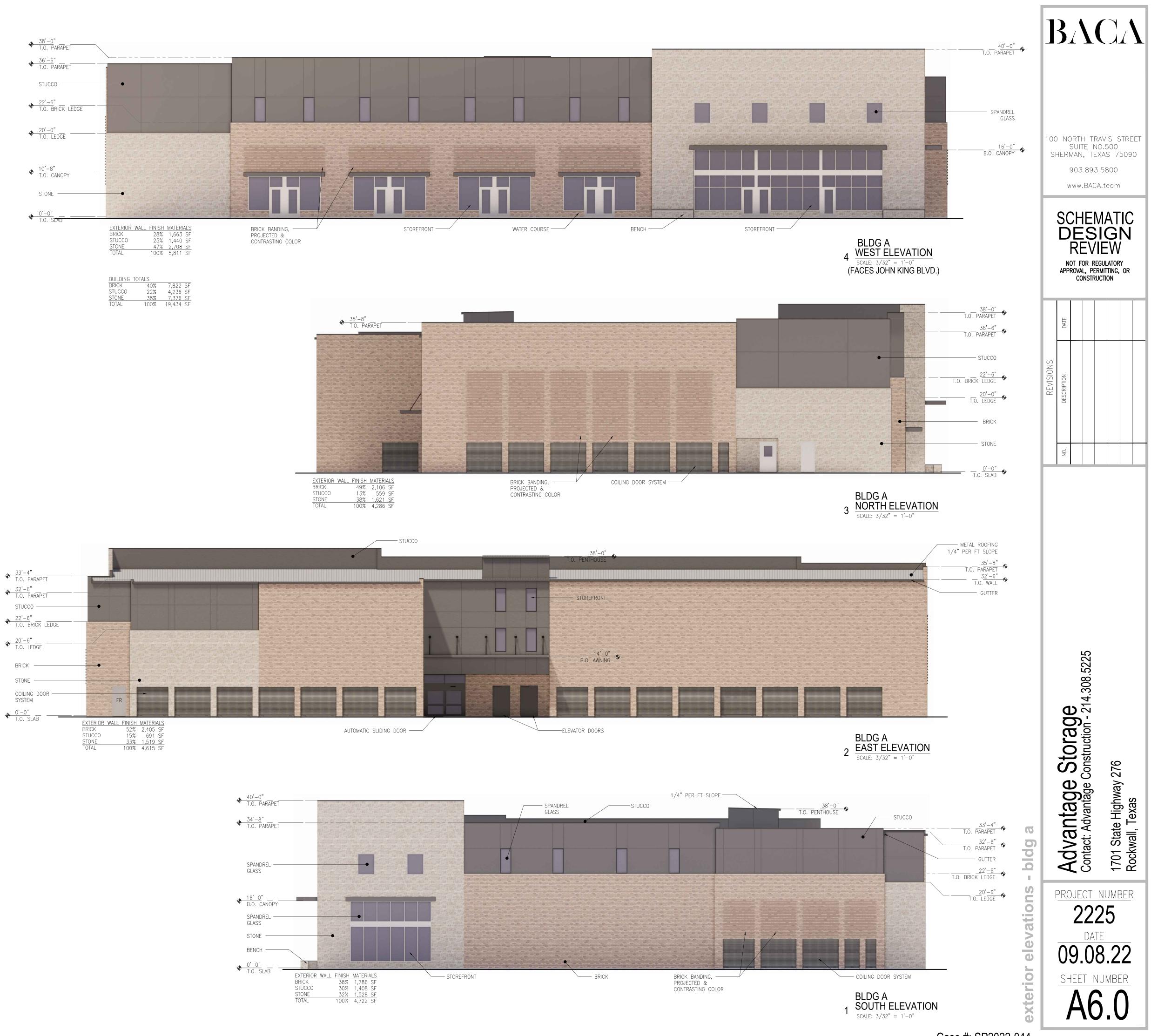
City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









APPLICANT: BOB PRUETT

CONTACT PERSON: URBAN STRUCTURE ADDRESS: 8140 WALNUT HILL LANE, SUITE 905 DALLAS, TEXAS 75231 EMAIL: BPRUETT@URBANSTRUCT.COM PHONE: 214.295.5347

OWNER INFORMATION

OWNER: CAMBRIDGE PROPERTIES INC. CONTACT PERSON: GARRETT POINDEXTER ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735 DALLAS, TEXAS 75231 EMAIL: RJONES@ADVANTAGESTORAGE.NET PHONE: 972.832.8933

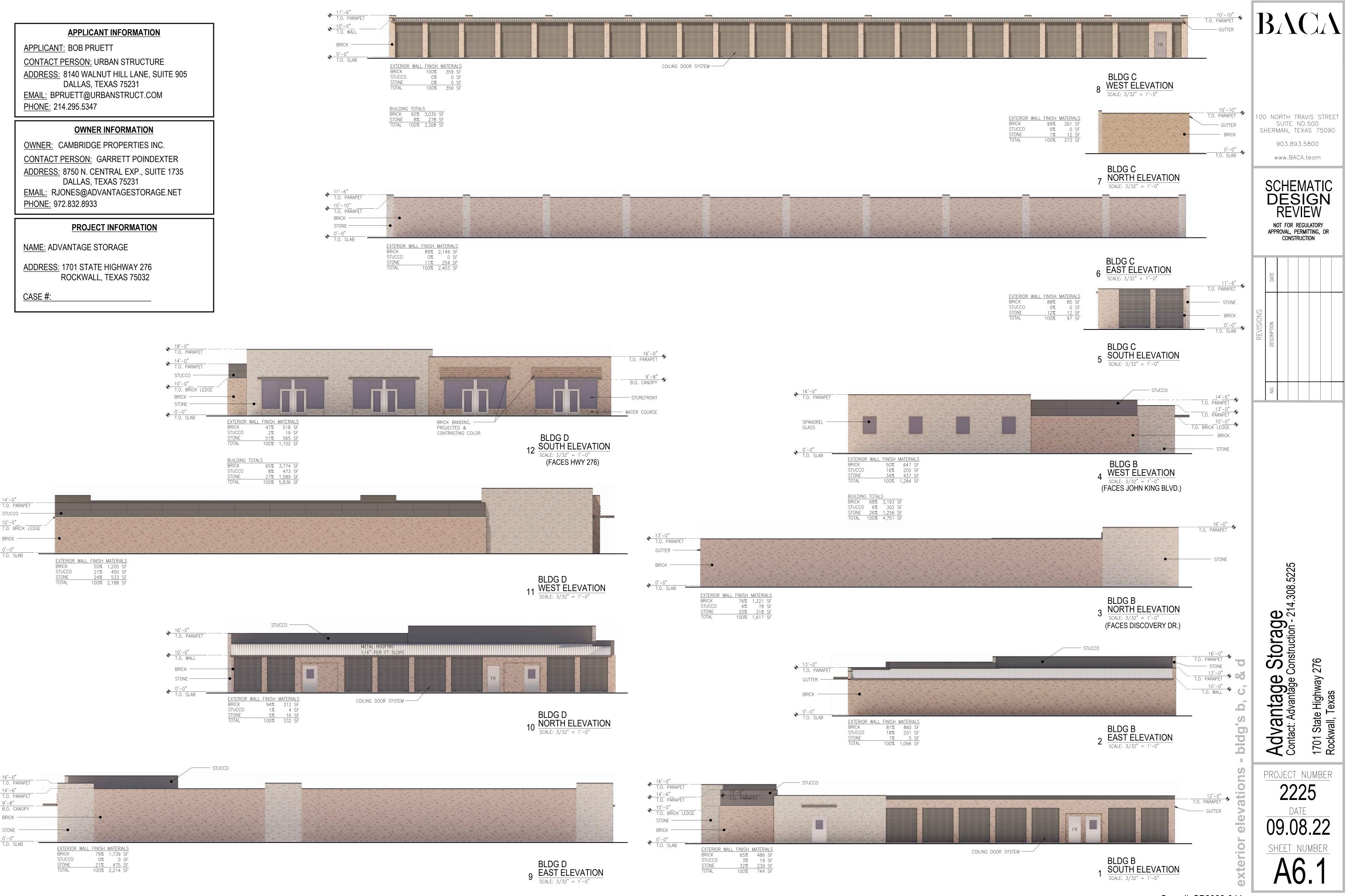
PROJECT INFORMATION

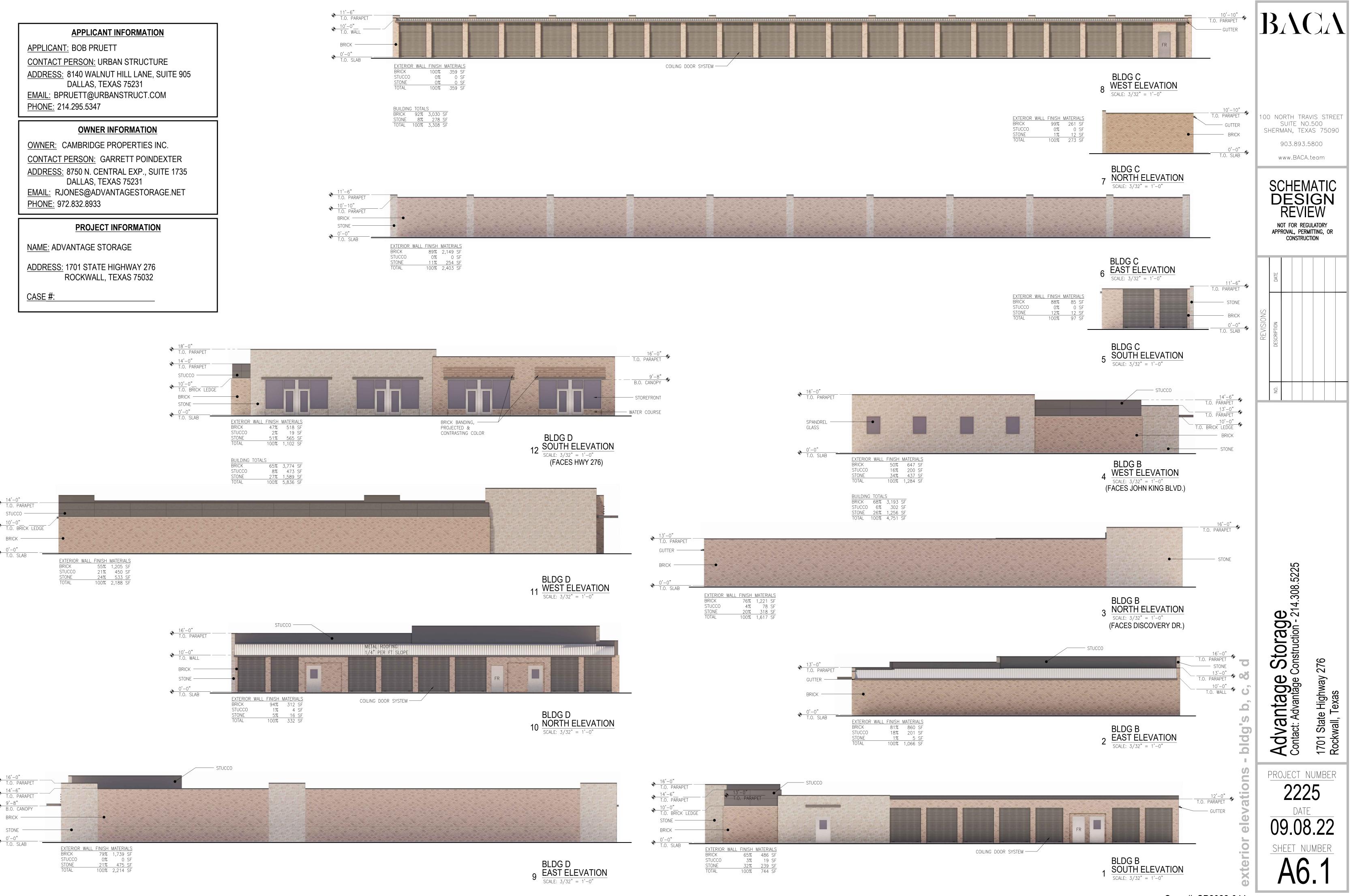
NAME: ADVANTAGE STORAGE

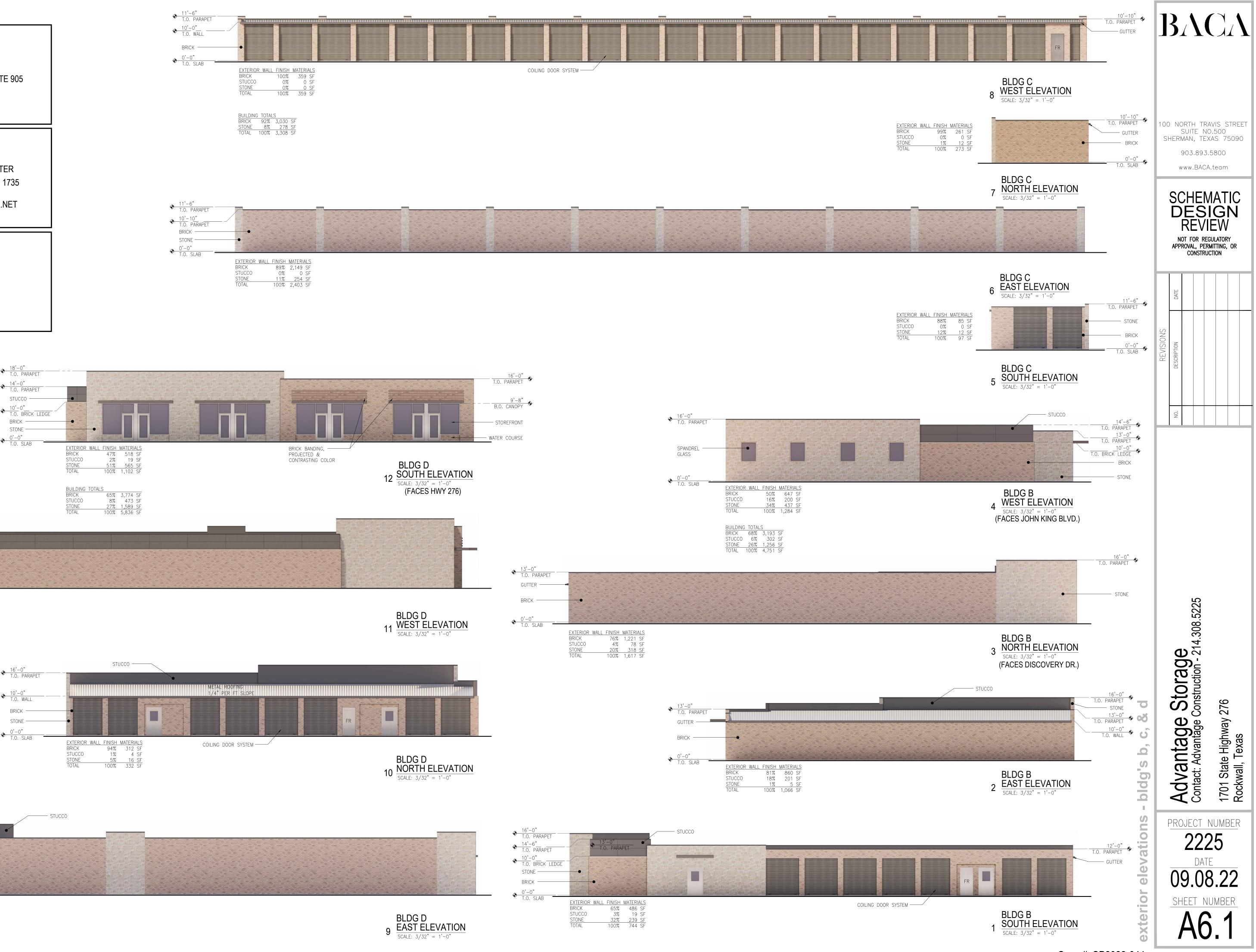
ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032

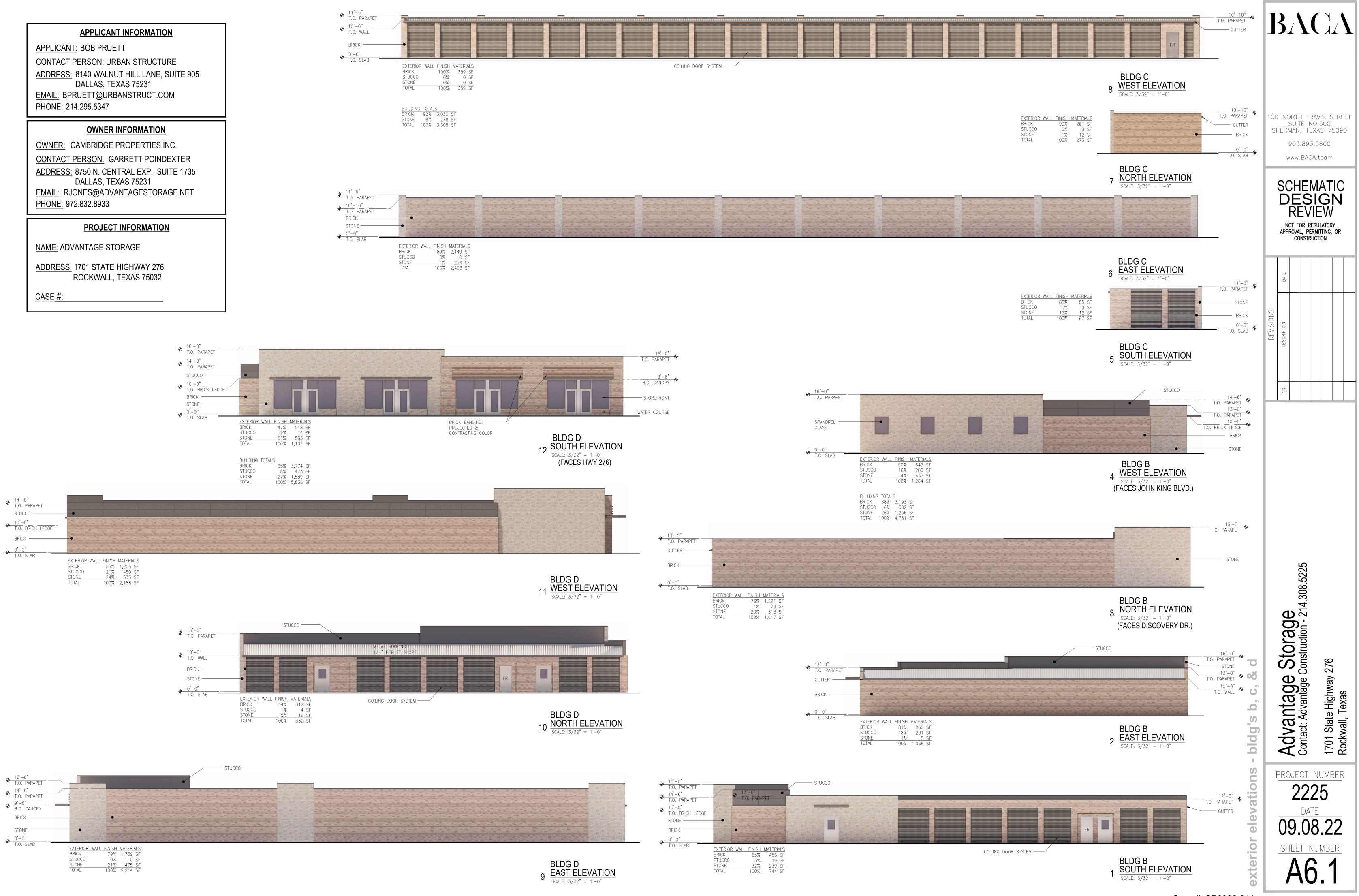
<u>CASE #:</u>

Case #: SP2022-044









Case #: SP2022-044





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OWNER INFORMATION

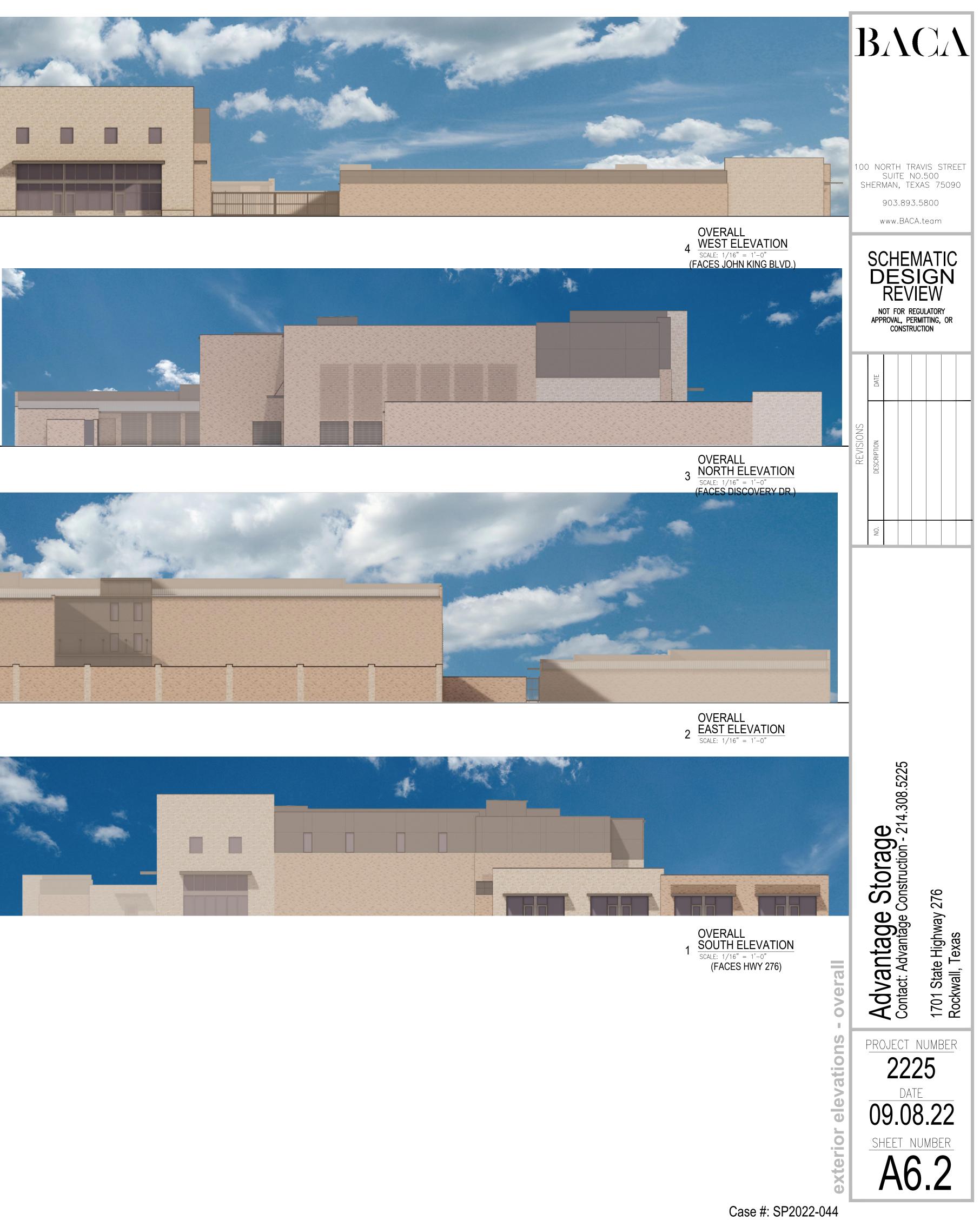
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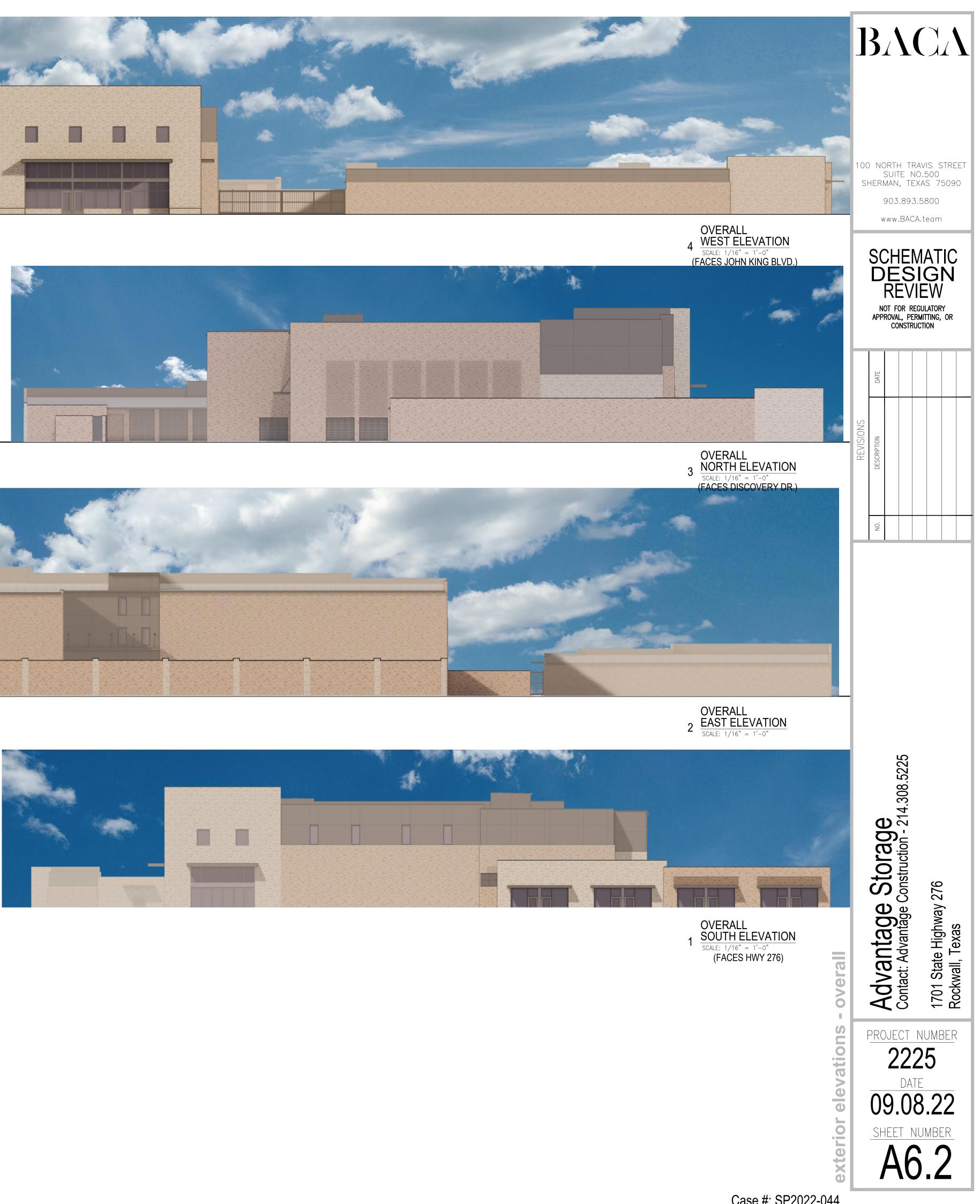
PROJECT INFORMATION

NAME: ADVANTAGE STORAGE

ADDRESS: 1701 STATE HIGHWAY 276 ROCKWALL, TEXAS 75032

<u>CASE</u> #:







September 20, 2022

- TO: Bob Pruett Urban Structure 8140 Walnut Hill Suite 905 Dallas, TX 75231
- CC: Garrett Poindexter 8750 N Central Expressway Suite 1735 Dallas, TX 75231
- FROM: Bethany Ross City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, TX 75087

SUBJECT: SP2022-044; Site Plan for Advantage Storage

Bob:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on September 13, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant provide an updated Photometric Plan indicating a maximum 20-foot light pole in conformance with the *Conditional Land Use Standards* of the UDC.
- (3) If Planning and Zoning recommends approval of the <u>Exception</u> to the Building Height in the Conditional Use Standards, the <u>Exception</u> will need to be approved through City Council.
- (4) Any construction resulting from the approval of this <u>Site Plan</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On September 13, 2022, the Planning and Zoning Commission approved a motion to approve the <u>Site Plan</u> and recommend approval of the <u>Exception</u> to <u>Building Height</u> in the <u>Conditional Land Use Standards</u> by a vote of 6-0, with the condition that the applicant provide staff with building elevations showing the parapets are finished on both sides of all buildings proposed, with Commissioner Welch absent.

City Council

On September 19, 2022, the City Council approved a motion to approve the <u>Exception</u> to Building Height in the Conditional Land Use Standards, with a vote of 7-0.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 771-6488.

Sincerely,

Bethany Ross, *Planner* City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM