



PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET
ROCKWALL, TX 75087

P&Z CASE # SP2022-041 P&Z DATE August 9, 2022 CC DATE N/A Approved/Denied

ARCHITECTURAL REVIEW BOARD DATE August 9, 2022 HPAB DATE N/A PARK BOARD DATE N/A

Zoning Application

- Specific Use Permit
- Zoning Change
- PD Concept Plan
- PD Development Plan

Site Plan Application

- Site Plan
- Landscape Plan
- Treescape Plan
- Photometric Plan
- Building Elevations
- Material Samples
- Color Rendering

Platting Application

- Master Plat
- Preliminary Plat
- Final Plat
- Replat
- Administrative/Minor Plat
- Vacation Plat
- Landscape Plan
- Treescape Plan

HPAB Application

- Exhibit

Miscellaneous Application

- Variance/Exception Request

- Copy of Ordinance (ORD#_____)
- Applications
- Receipt
- Location Map
- HOA Map
- PON Map
- FLU Map
- Newspaper Public Notice
- 500-foot Buffer Public Notice
- Project Review
- Staff Report
- Correspondence
- Copy-all Plans Required
- Copy-Mark-Ups
- City Council Minutes – Laserfiche
- Minutes-Laserfiche
- Plat Filled Date _____
 - Cabinet # _____
 - Slide # _____

Notes: _____

Zoning Map Updated _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCECARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires

INSTALL:
 (1) 6" TEE
 (1) 6" VALVE
 PRIVATE 6" FIRE SPRINKLER LINE (C-900 CLASS 200-PVC)

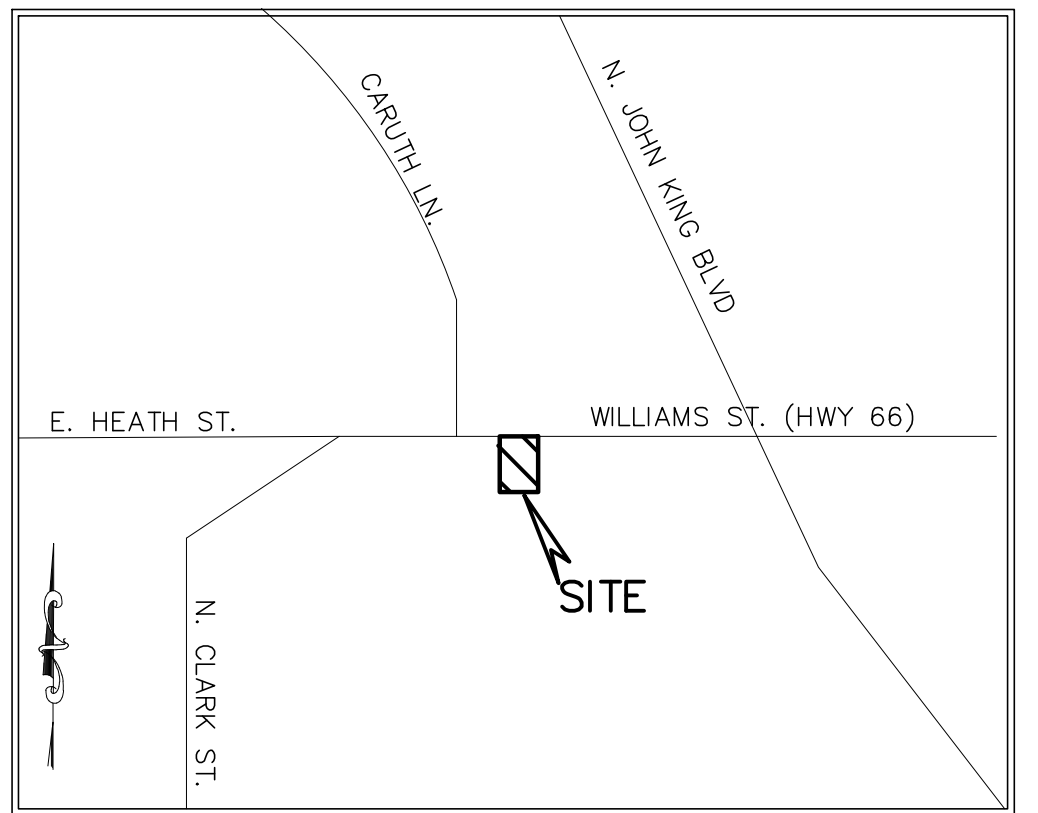
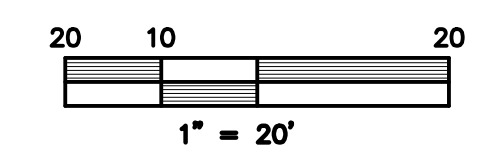
FOR DOMESTIC SERVICE INSTALL:
 (1) 6"x2" TAPPING SLEEVE
 (1) 2" WATER LINE
 (1) 2" METER BOX
 INSTALL METER IN ROW.
 (IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

FOR IRRIGATION SERVICE TO BE TIED TO EXISTING SYSTEM

NOTE: CONTACT ATMOS GAS COMPANY PRIOR TO SETTING LOCATIONS FOR LIGHT POLES IN ATMOS EASEMENT.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA:
 8,869 Acres, 386,333.64 sq.ft.
 LOT COVERAGE:
 7.6%
 FLOOR TO AREA RATIO:
 13.16:1
 BUILDING AREA: 14,148 sq.ft.
 Clinic 5,324 sq.ft.
 Office 3,550 sq.ft.
 Pantry 4,803 sq.ft.
 CONSTRUCTION TYPE:
 IIB & IV
 BUILDING HEIGHT:
 1 Story 36' MAX
 PROPOSED FUTURE USE:
 Office, Clinic, Storage
 IMPERVIOUS AREA
 (including buildings):
 94,187 sq.ft.
 ZONING:
 C
 PARKING:
 Required: 33
 Clinic 1/150 sf=11
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Handicap = 2
 Provided:
 Standard= 53
 Handicapped = 4
 Total Provided = 57
 FIRESPRINKLER:
 Yes

VICINITY MAP
 NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ = EXISTING SS MANHOLE
- ⊕ = EX. TELEPHONE BOX
- ⊕ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROP. ⊕ = LANDSCAPE
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald E. Monk
 6/23/22

REVISIONS

PROJECT #: SP2022-

SITE PLAN BLDG #1 P&Z

HELPING HANDS

950 Williams St. (SH66)
 WAGGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8,869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
 Contact: 972-771-1655

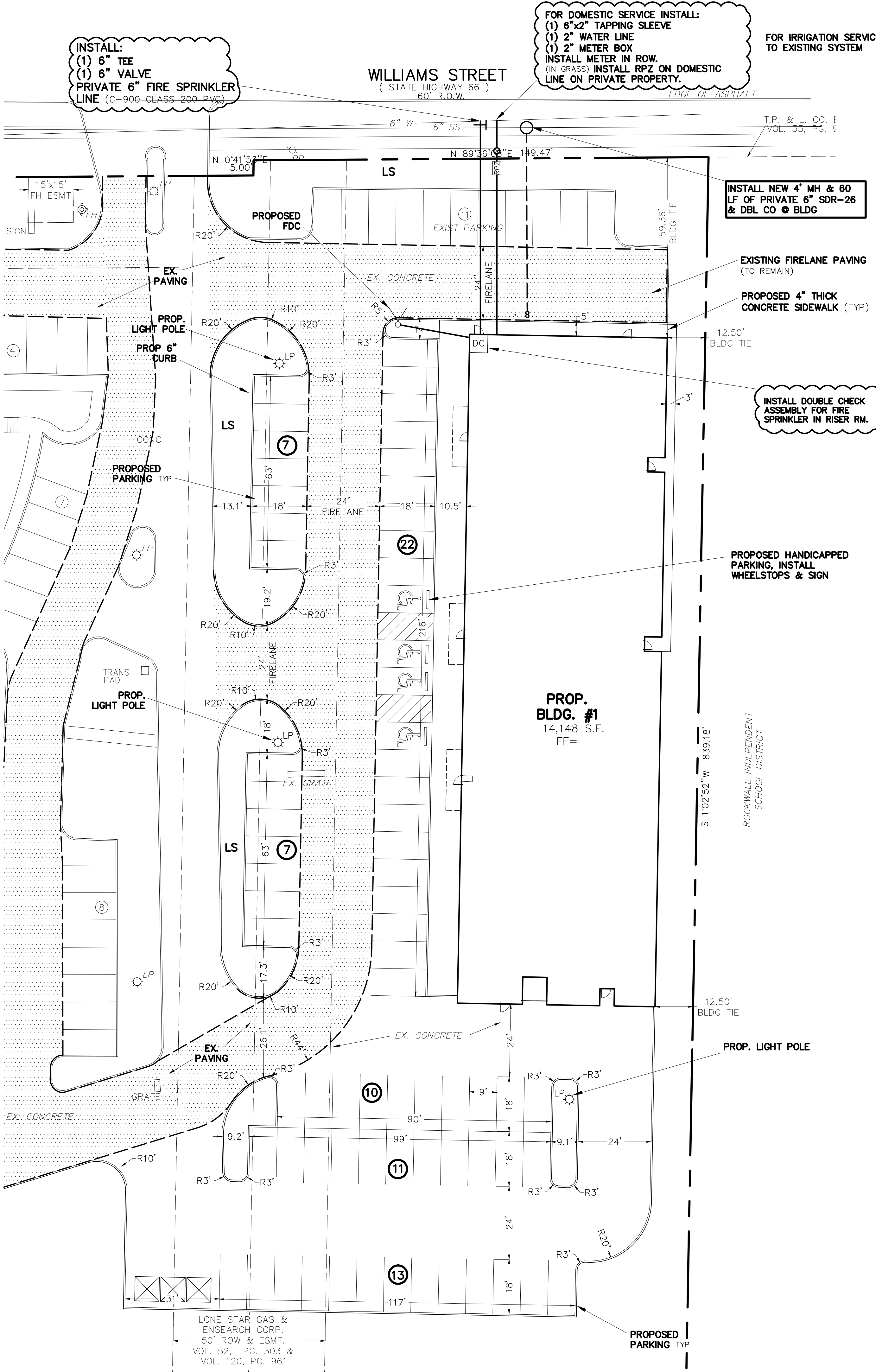
prepared by

MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C101A

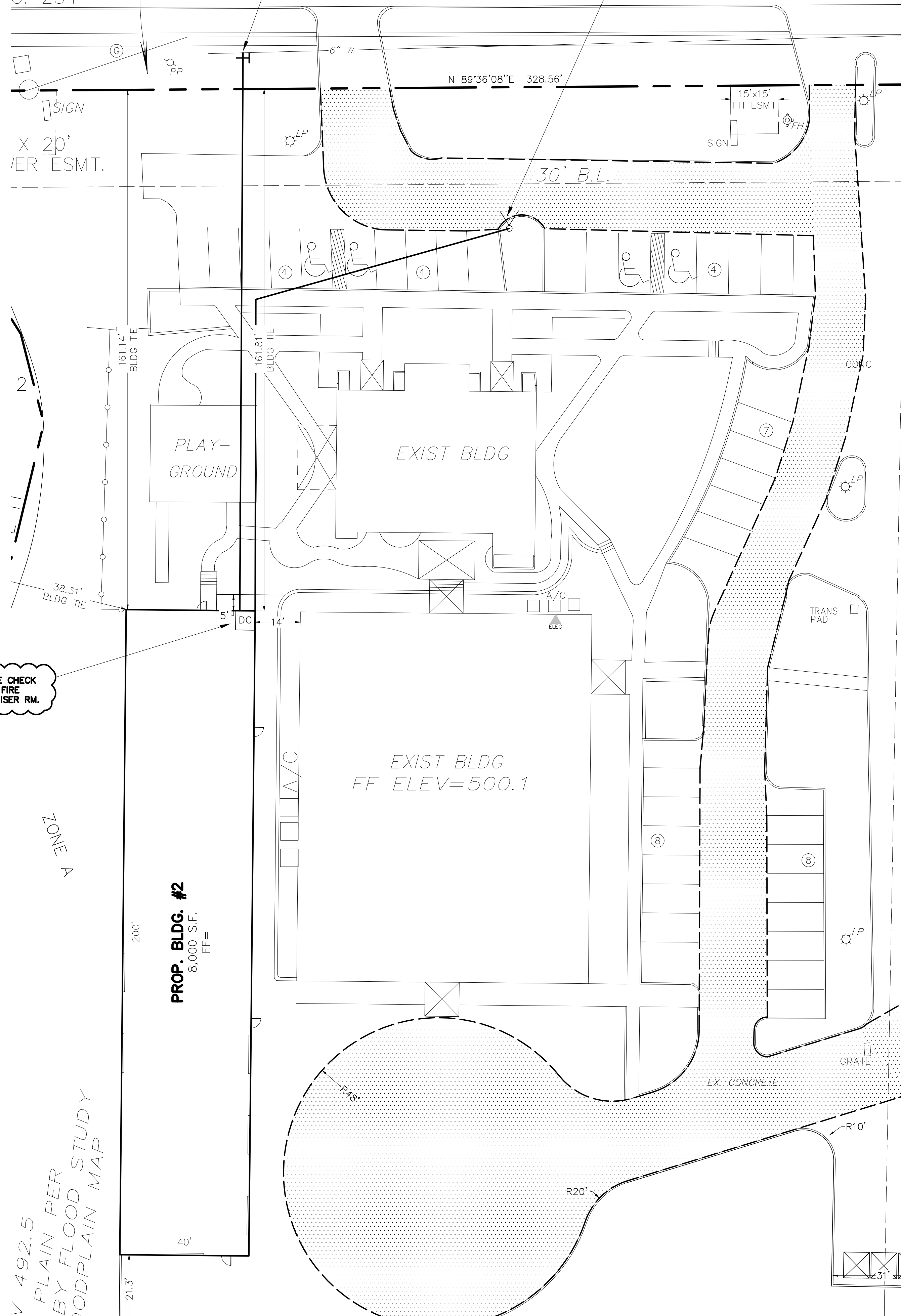


LONE STAR GAS & ENSEARCH CORP.
 50' ROW & ESMT.
 VOL. 52, PG. 303 &
 VOL. 120, PG. 961

CATION
_AT OF
G. 234

INSTALL:
(1) 6" TEE
(1) 6" VALVE
PRIVATE 6" FIRE SPRINKLER
LINE (C-900 CLASS 200 PVC)

PROPOSED
FDC



INSTALL DOUBLE CHECK
ASSEMBLY FOR FIRE
SPRINKLER IN RISER RM.

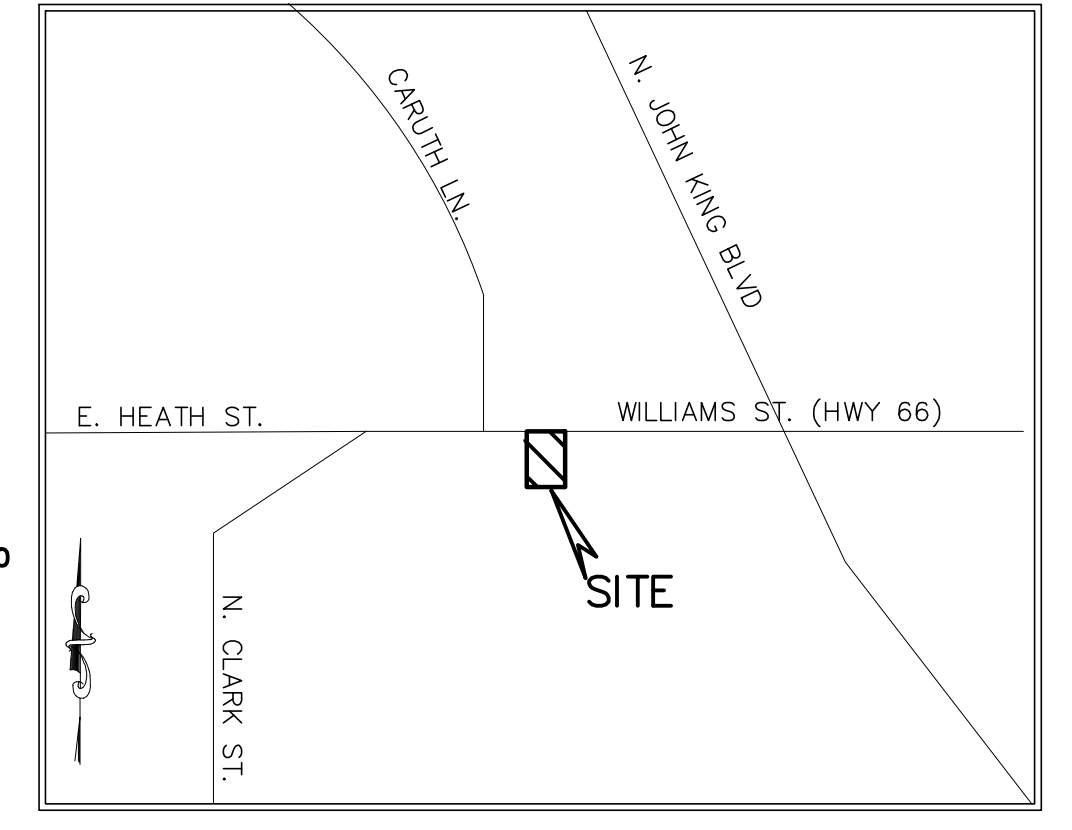
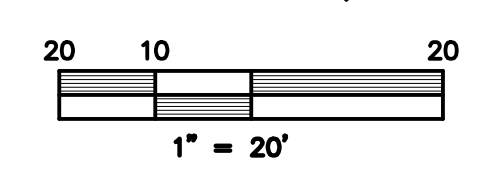
LEV 492.5
OD PLAIN PER
ON BY FLOOD STUDY
FLOODPLAIN MAP

PROP. BLDG. #2
8,000 S.F.
FF=

EXIST BLDG
FF ELEV=500.1

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION
OR CONSTRUCTION STAKING, IT SHALL BE THE
CONTRACTOR'S RESPONSIBILITY TO CONTACT THE
CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE
IN POSSESSION OF THE MOST CURRENT SET OF
CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL
EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL
NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE
WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE
BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING
UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE
NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE
CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING
CONSTRUCTION.



SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%
FLOOR TO AREA RATIO:
13.16:1
BUILDING AREA #1: 14,148 sq.ft.
Clinic 5,324 sq.ft.
Office 3,550 sq.ft.
Pantry 4,803 sq.ft.
BUILDING AREA #2:
Warehouse 8,000 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 36' MAX
PROPOSED FUTURE USE:
Office, Clinic, Storage
**IMPERVIOUS AREA
(including buildings):**
106,207 sq.ft.
ZONING:
C
PARKING:
Required: 33
Clinic 1/150 sf=11
Office 1/300 sf=12
Pantry 1/500 sf=10
Handicap = 2
Provided: 53
Handicapped = 4
Total Provided = 57
FIRESPRINKLER:
Yes

VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FTH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊙ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. --- = CENTERLINE
- PROP. --- = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

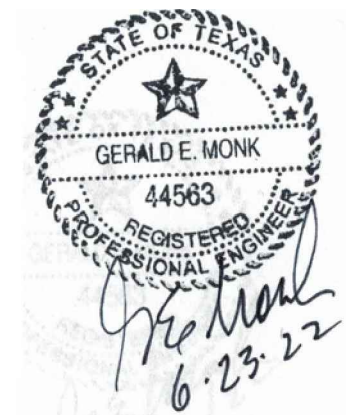
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #: SP2022-

SITE PLAN BLDG #2 P&Z

HELPING HANDS

950 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

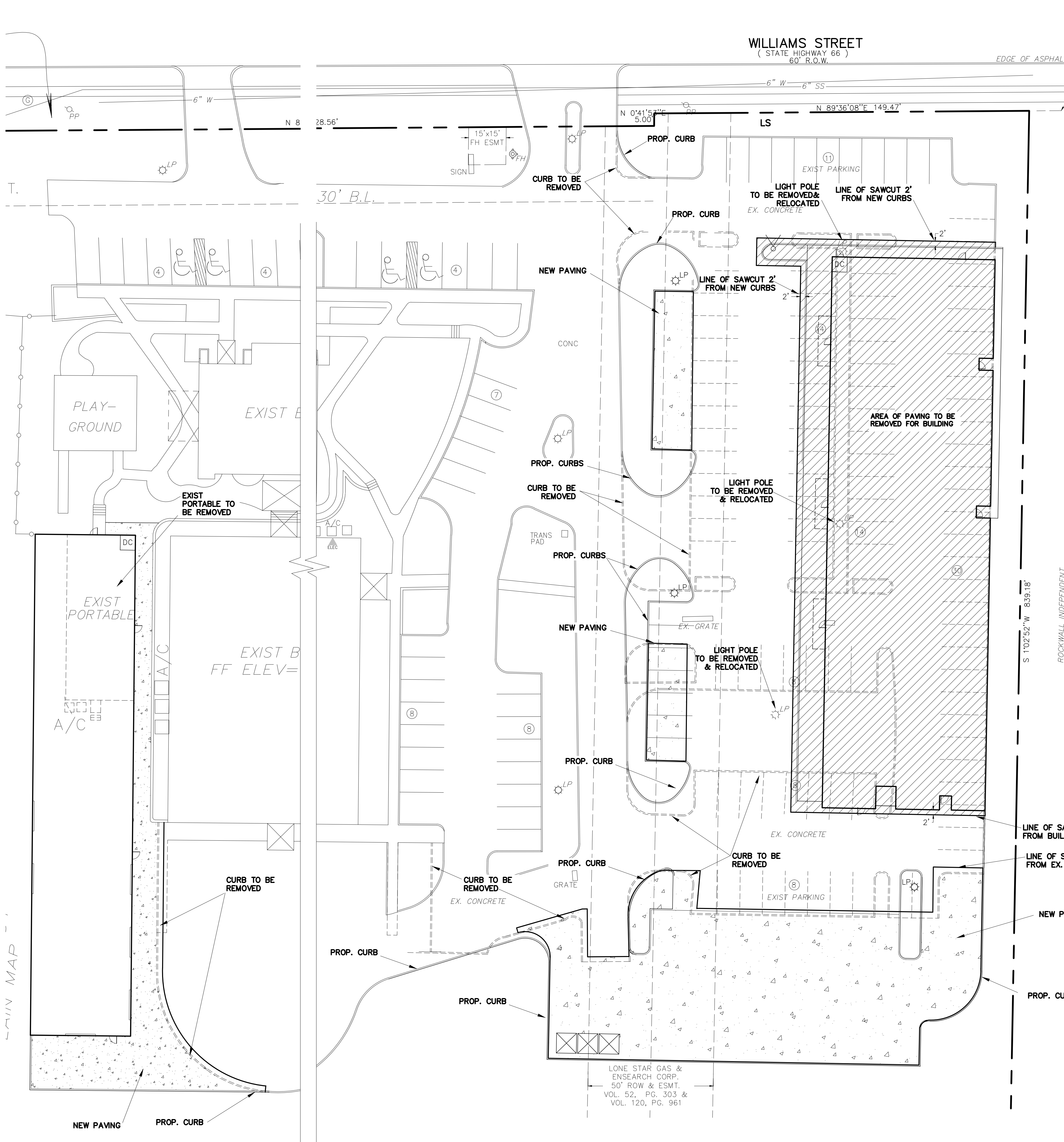
prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

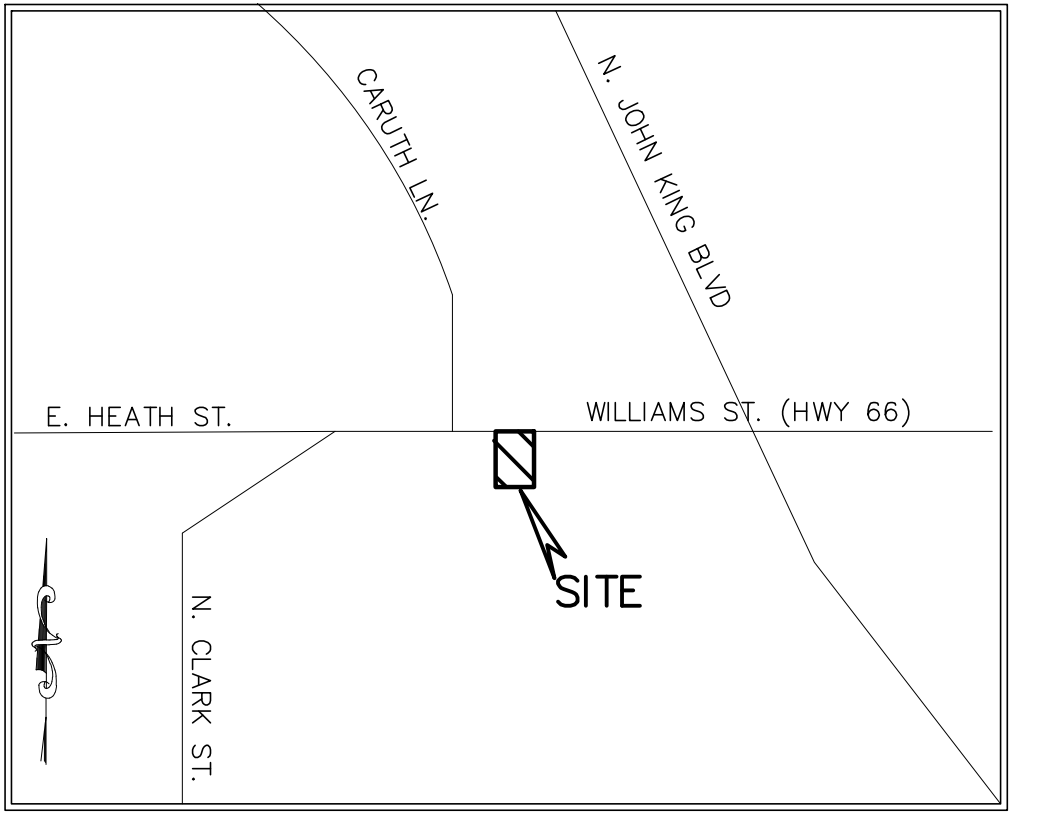
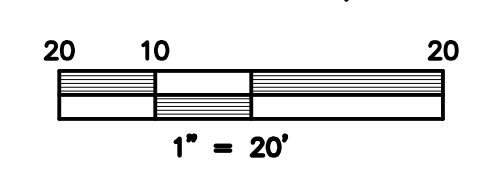
date: 6/23/22 scale: 1"=20' sheet: C101B



WILLIAMS STREET
(STATE HIGHWAY 66)
60' R.O.W.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS — = EXISTING SANITARY SEWER LINE
- EX. W — = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- ▨ = PAVING TO BE REMOVED
- ▨ = PROPOSED PAVING

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

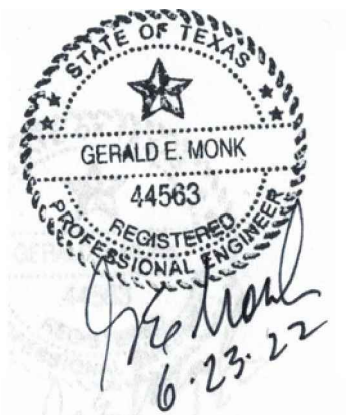
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



REVISIONS

PROJECT #: SP2022-

DEMO & PAVING PLAN
HELPING HANDS

950 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C102

MAIN MAP - 1

LONE STAR GAS & ENSEARCH CORP.
50' ROW & ESMT.
VOL. 52, PG. 303 & VOL. 120, PG. 961



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCE@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

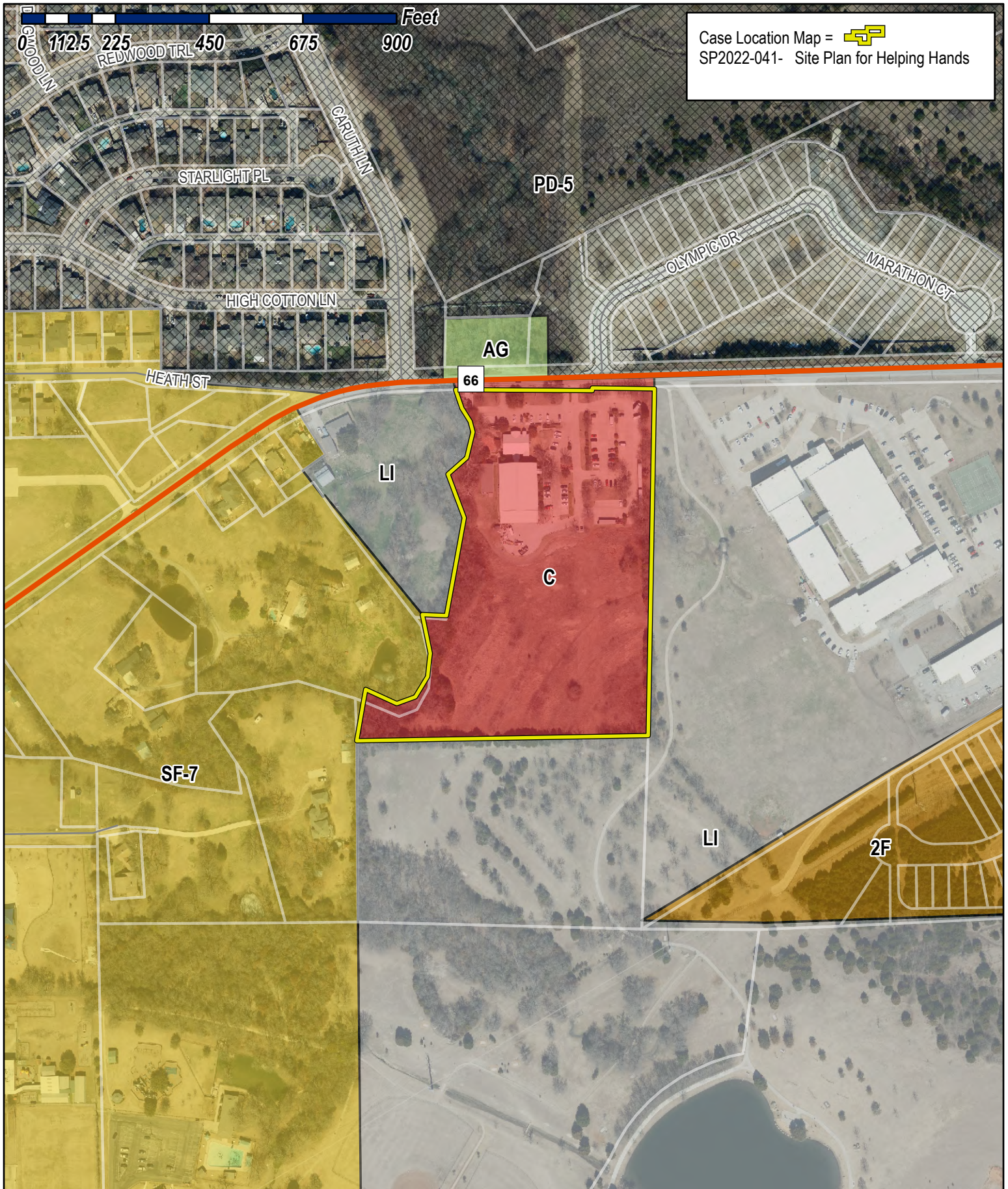
Given under my hand and seal of office on this the _____ day of _____, 20 ____.


Owner's Signature



Notary Public in and for the State of Texas

My Commission Expires



Case Location Map = 
 SP2022-041- Site Plan for Helping Hands



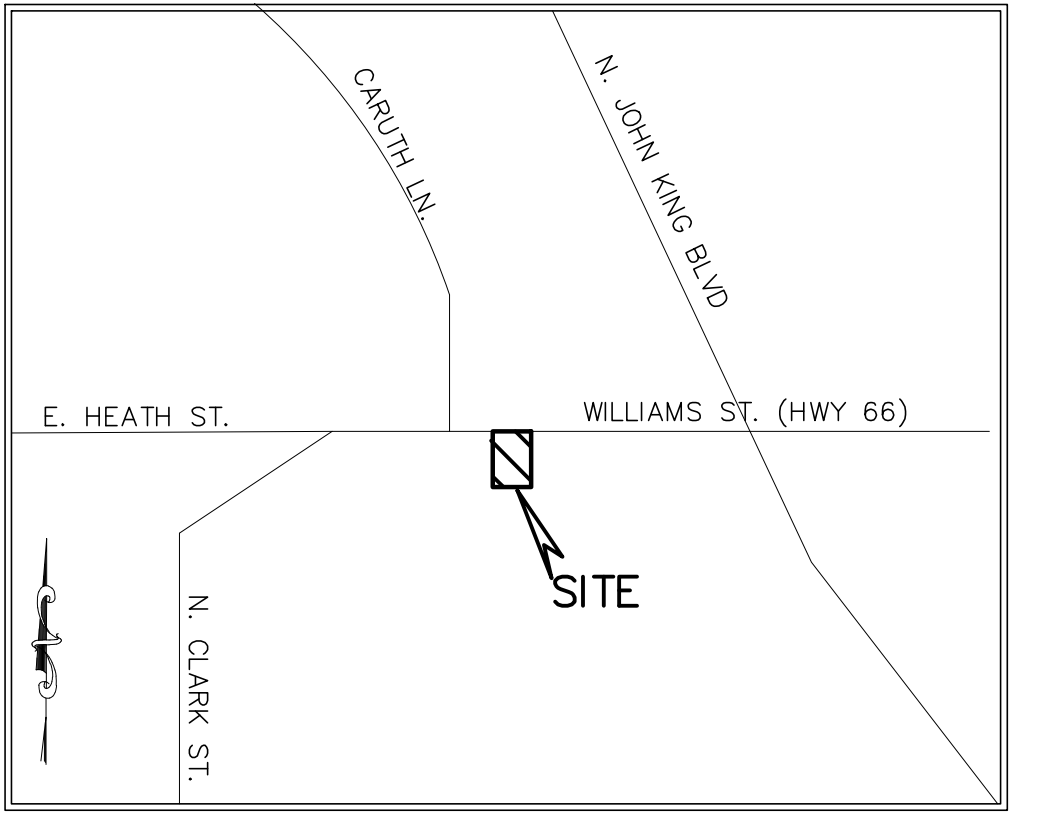
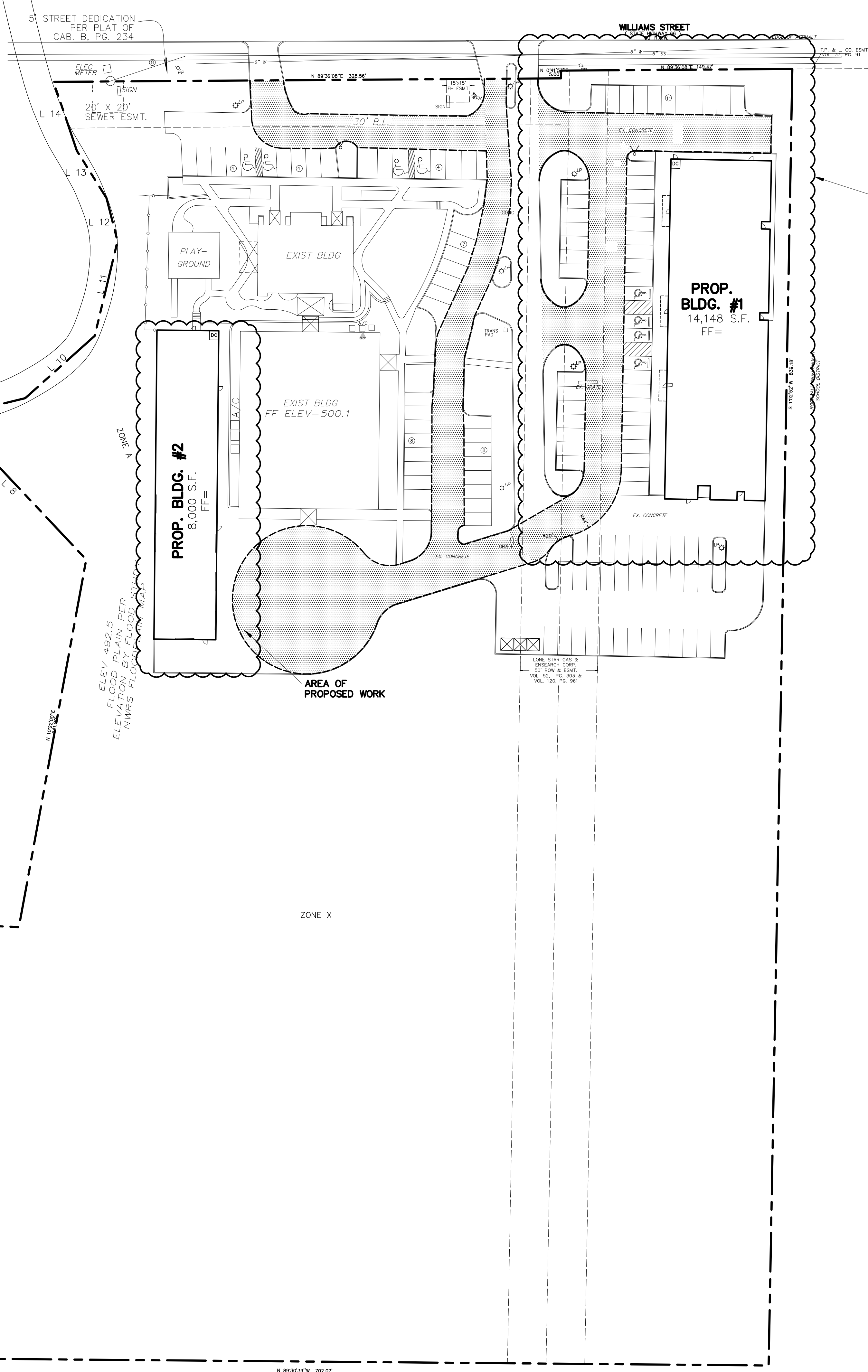
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Line	Bearing	Distance
1	N 12°24'50"E	103.00'
2	S 65°30'09"E	84.90'
3	N 70°32'09"E	45.75'
4	N 30°42'26"E	58.40'
5	N 6°11'12"E	56.23'
6	N 11°47'14"W	95.43'
7	S 87°20'58"E	58.30'
8	N 43°17'26"W	127.37'
9	N 76°19'11"E	49.27'
10	N 48°06'07"E	60.45'
11	N 13°30'44"E	63.11'
12	N 14°23'51"W	28.69'
13	N 32°04'32"W	36.02'
14	N 18°45'17"W	47.20'
15	N 0°41'53"E	5.00'



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROP. ⊕ = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

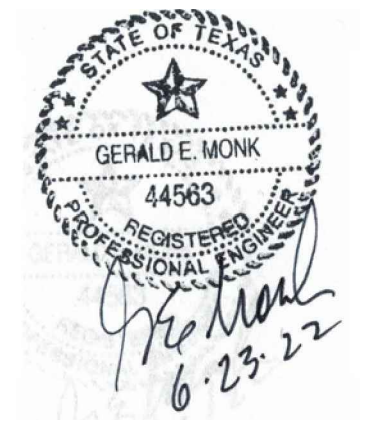
WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #: SP2022-

OVERALL SITE

HELPING HANDS

950 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=40' sheet: C101

INSTALL:
 (1) 6" TEE
 (1) 6" VALVE
 PRIVATE 6" FIRE SPRINKLER
 LINE (C-900 CLASS 200-PVC)

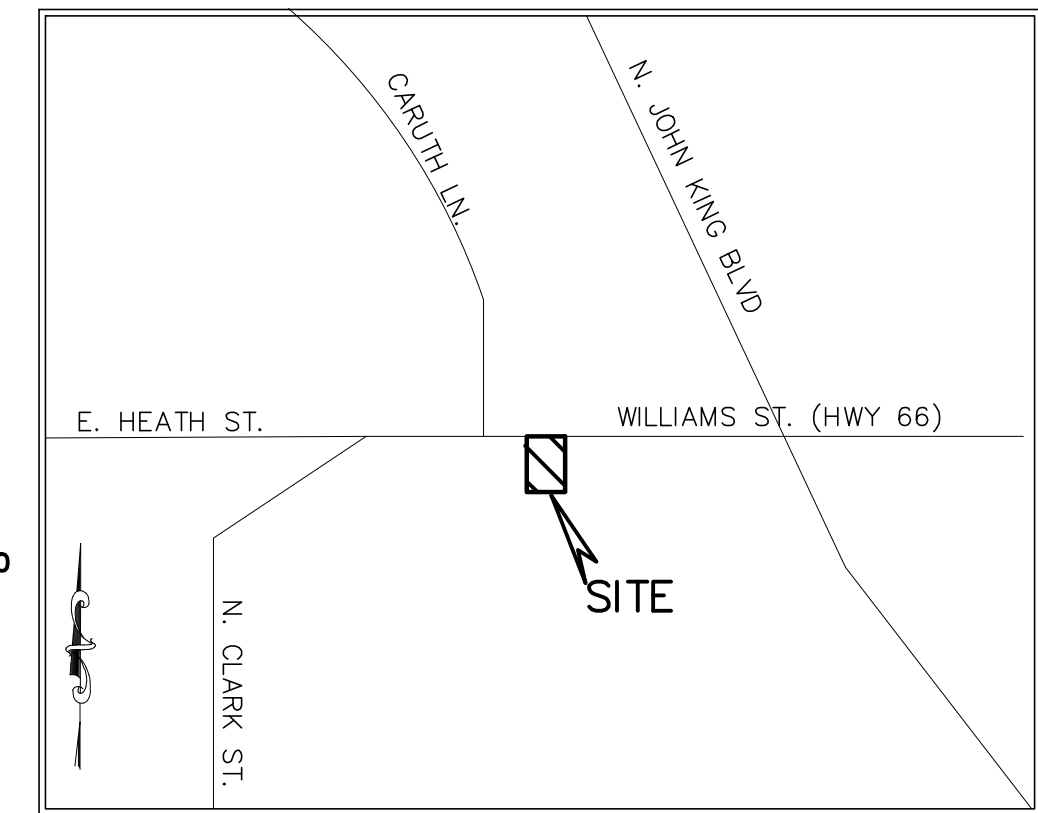
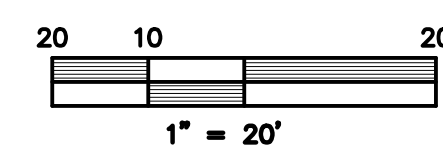
FOR DOMESTIC SERVICE INSTALL:
 (1) 6"x2" TAPPING SLEEVE
 (1) 2" WATER LINE
 (1) 2" METER BOX
 INSTALL METER IN ROW.
 (IN GRASS) INSTALL RPZ ON DOMESTIC
 LINE ON PRIVATE PROPERTY.

FOR IRRIGATION SERVICE TO BE TIED
 TO EXISTING SYSTEM

NOTE: CONTACT ATMOS GAS
 COMPANY PRIOR TO SETTING
 LOCATIONS FOR LIGHT POLES IN
 ATMOS EASEMENT.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION
 OR CONSTRUCTION STAKING, IT SHALL BE THE
 CONTRACTOR'S RESPONSIBILITY TO CONTACT THE
 CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE
 IN POSSESSION OF THE MOST CURRENT SET OF
 CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL
 EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL
 NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE
 WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE
 BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE
 CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING
 UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE
 NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE
 CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING
 CONSTRUCTION.



SITE DATA:

LOT AREA:
 8.869 Acres, 386,333.64 sq.ft.
 LOT COVERAGE:
 7.6%
 FLOOR TO AREA RATIO:
 13.16:1
 BUILDING AREA: 14,148 sq.ft.
 Clinic 5,324 sq.ft.
 Office 3,550 sq.ft.
 Pantry 4,803 sq.ft.
 CONSTRUCTION TYPE:
 IIB & IV
 BUILDING HEIGHT:
 1 Story 36' MAX
 PROPOSED FUTURE USE:
 Office, Clinic, Storage
 IMPERVIOUS AREA
 (including buildings):
 94,187 sq.ft.
 ZONING:
 C
 PARKING:
 Required: 33
 Clinic 1/150 sf=11
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Handicap = 2
 Provided:
 Standard= 53
 Handicapped = 4
 Total Provided = 57
 FIRESPRINKLER:
 Yes

VICINITY MAP
 NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ = EXISTING SS MANHOLE
- ⊕ = EX. TELEPHONE BOX
- ⊕ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROV. ⊕ = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

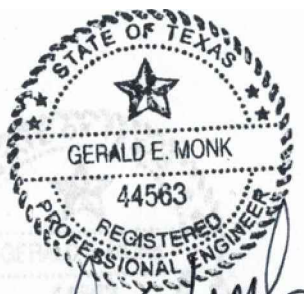
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald E. Monk
 6/23/22

REVISIONS

PROJECT #: SP2022-

**SITE PLAN BLDG #1 P&Z
 HELPING HANDS**

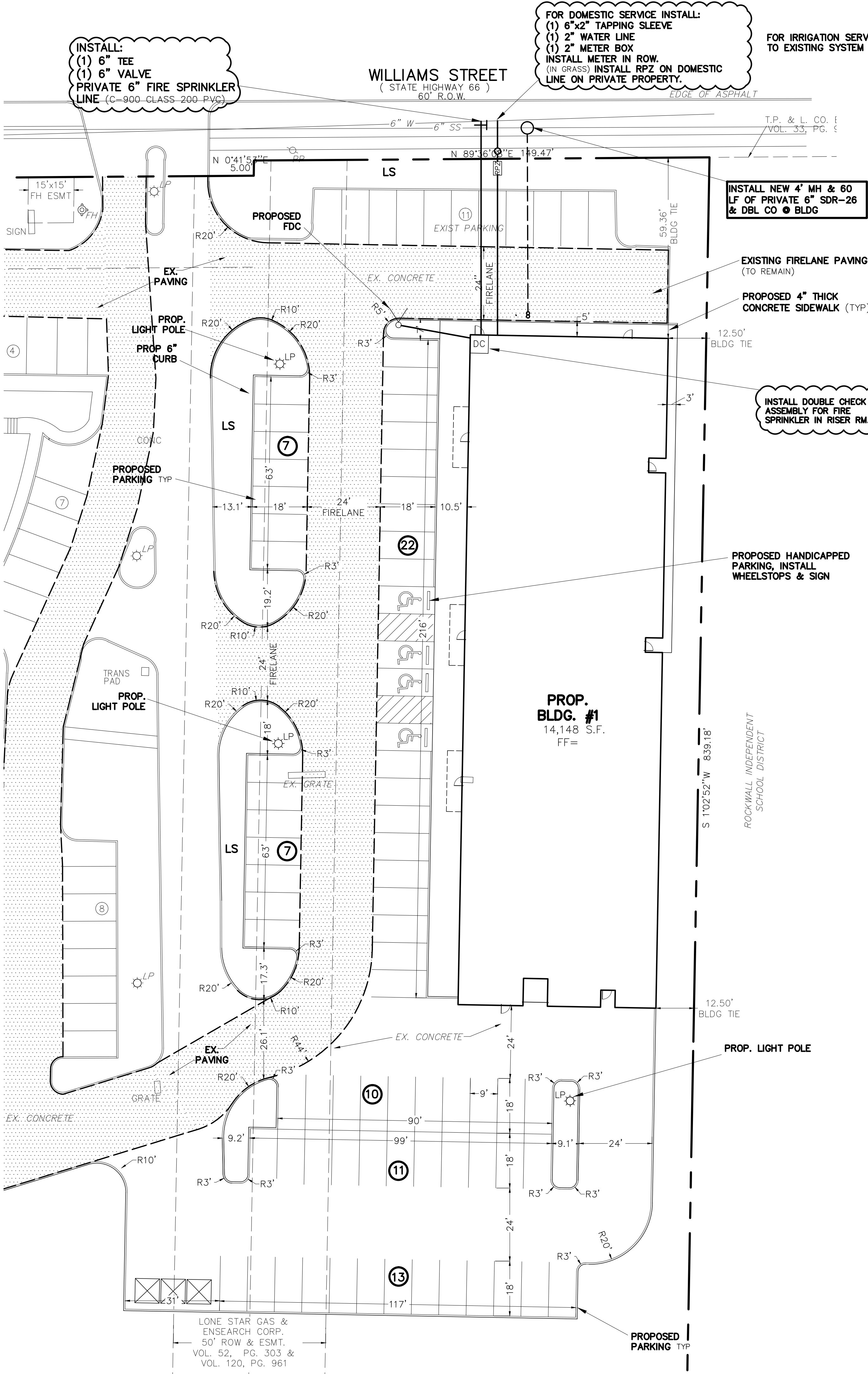
950 Williams St. (SH66)
 WAGGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087
 owner
 Helping Hands
 Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C101A

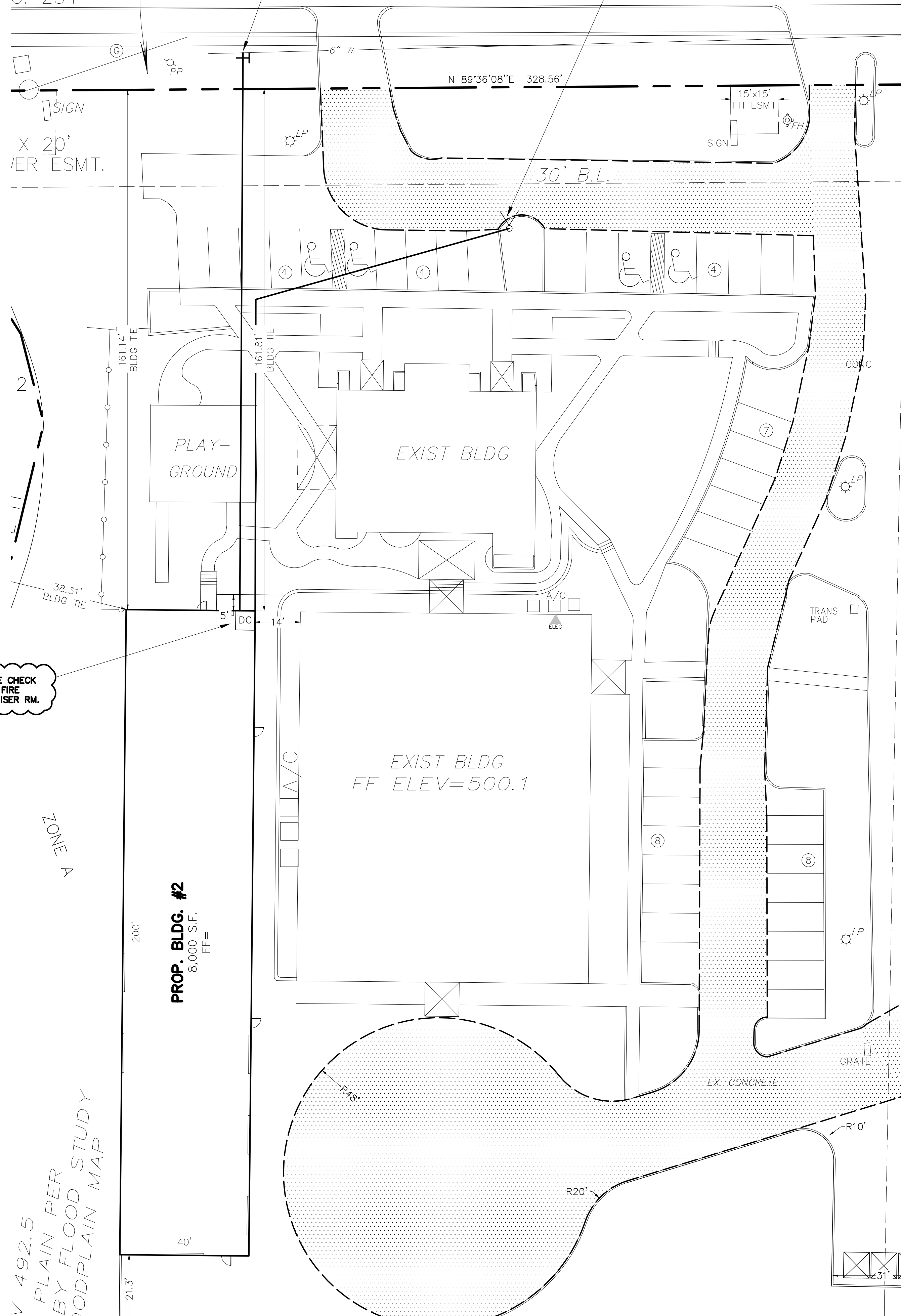


LONE STAR GAS &
 ENSEARCH CORP.
 50' ROW & ESMT.
 VOL. 52, PG. 303 &
 VOL. 120, PG. 961

CATION
_AT OF
G. 234

INSTALL:
(1) 6" TEE
(1) 6" VALVE
PRIVATE 6" FIRE SPRINKLER
LINE (C-900 CLASS 200 PVC)

PROPOSED
FDC



INSTALL DOUBLE CHECK
ASSEMBLY FOR FIRE
SPRINKLER IN RISER RM.

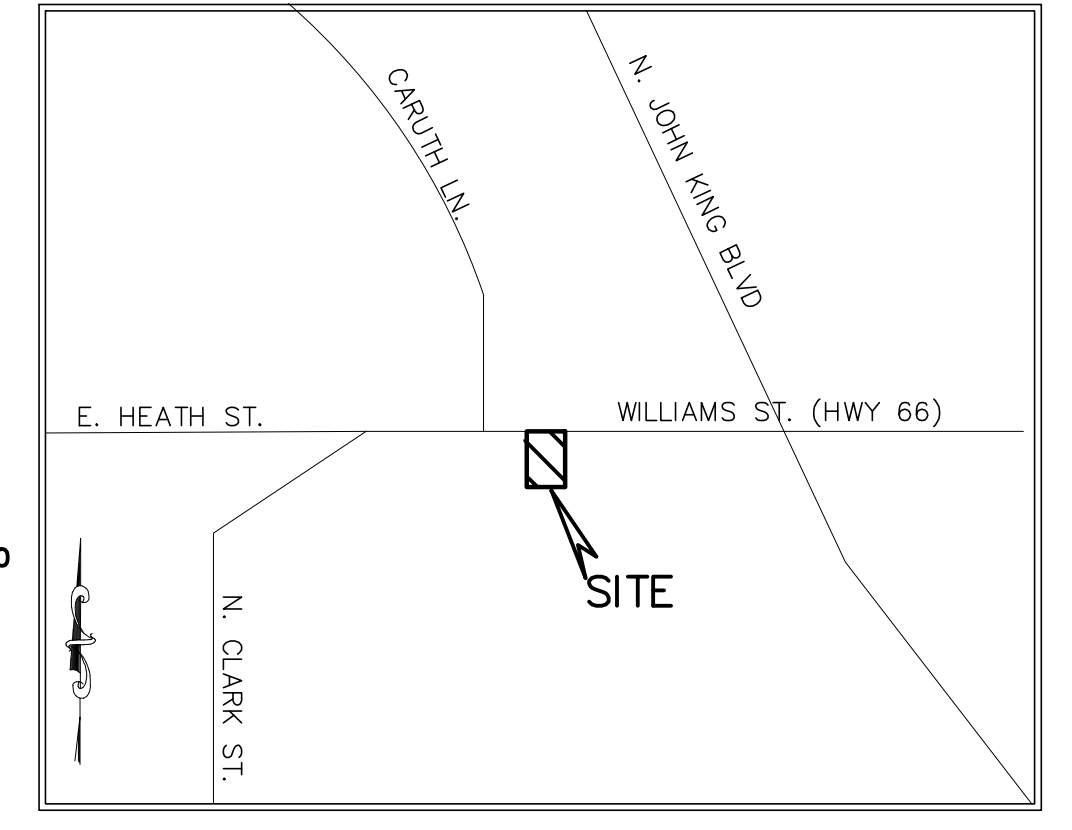
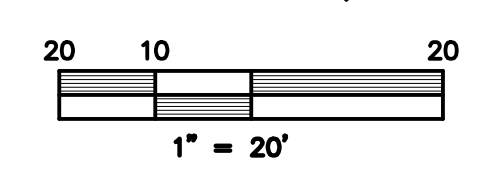
LEV 492.5
OD PLAIN PER
ON BY FLOOD STUDY
FLOODPLAIN MAP

PROP. BLDG. #2
8,000 S.F.
FF=

EXIST BLDG
FF ELEV=500.1

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%
FLOOR TO AREA RATIO:
13.16:1
BUILDING AREA #1: 14,148 sq.ft.
Clinic 5,324 sq.ft.
Office 3,550 sq.ft.
Pantry 4,803 sq.ft.
BUILDING AREA #2:
Warehouse 8,000 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 36' MAX
PROPOSED FUTURE USE:
Office, Clinic, Storage
**IMPERVIOUS AREA
(including buildings):**
106,207 sq.ft.
ZONING:
C
PARKING:
Required: 33
Clinic 1/150 sf=11
Office 1/300 sf=12
Pantry 1/500 sf=10
Handicap = 2
Provided: 53
Handicapped = 4
Total Provided = 57
FIRESPRINKLER:
Yes

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FTH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊙ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. --- = CENTERLINE
- PROP. --- = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

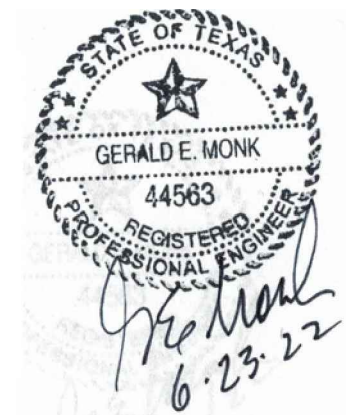
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #: SP2022-

SITE PLAN BLDG #2 P&Z

HELPING HANDS

950 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

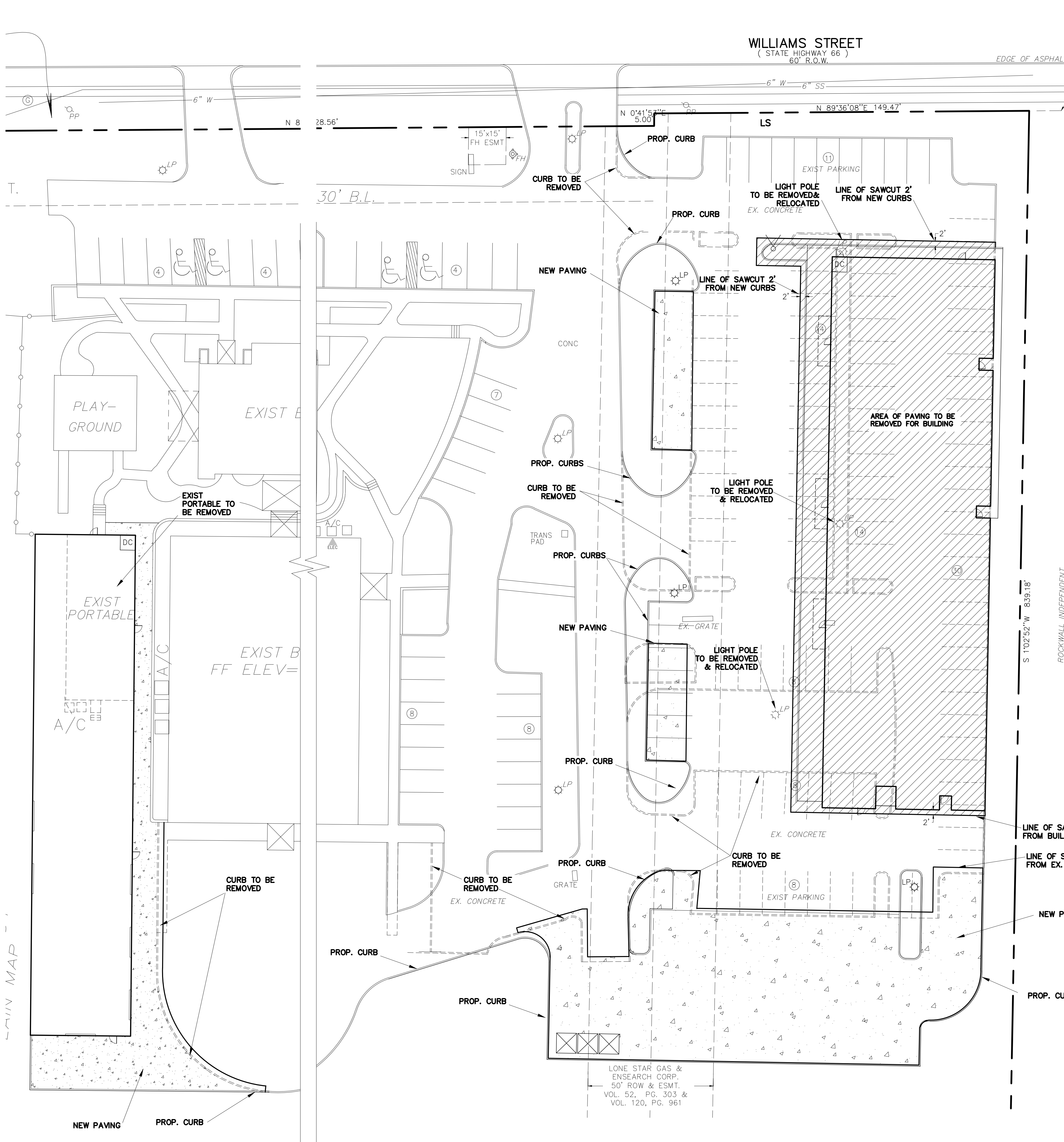
prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

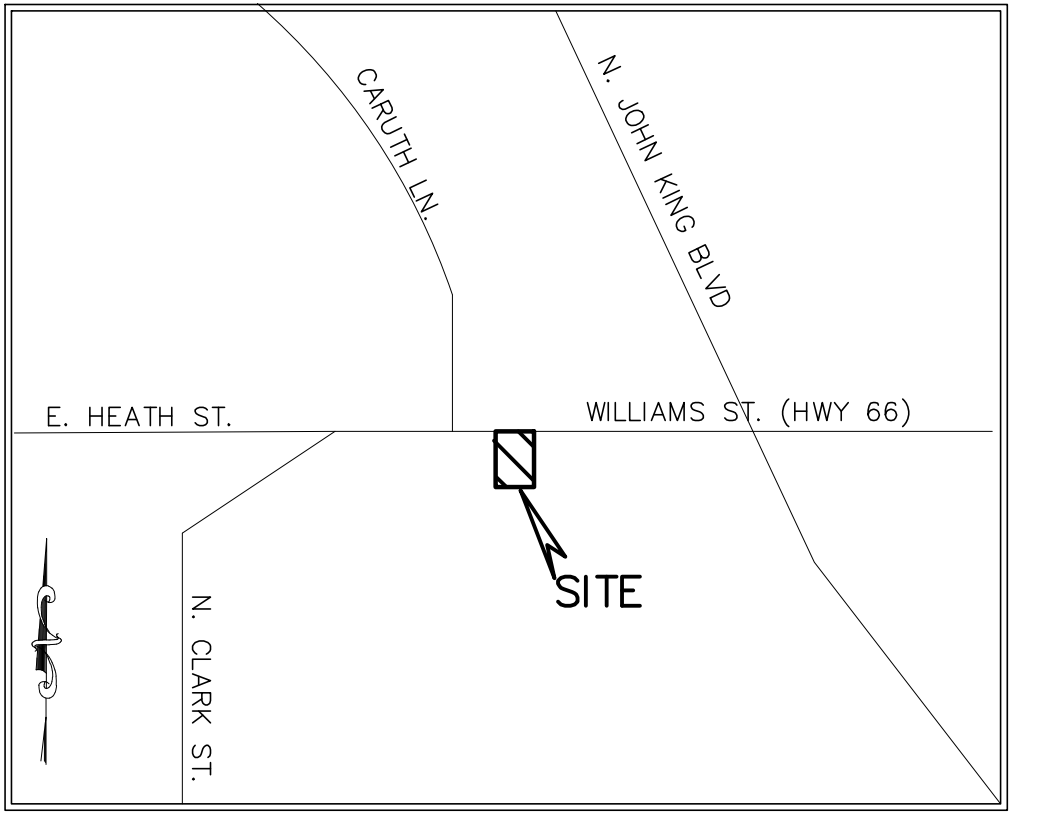
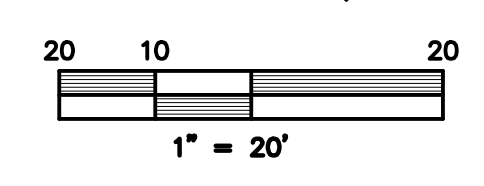
date: 6/23/22 scale: 1"=20' sheet: C101B



WILLIAMS STREET
(STATE HIGHWAY 66)
60' R.O.W.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS — = EXISTING SANITARY SEWER LINE
- EX. W — = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- ▨ = PAVING TO BE REMOVED
- ▨ = PROPOSED PAVING

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

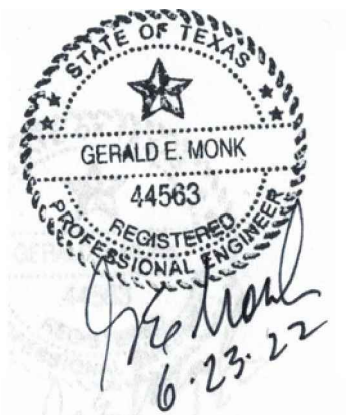
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



REVISIONS

PROJECT #: SP2022-

DEMO & PAVING PLAN
HELPING HANDS

950 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6	REG. NO.: F-2567
date: 6/23/22	scale: 1"=20'
sheet: C102	

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/22/2022

PROJECT NUMBER: SP2022-041
PROJECT NAME: Site Plan for Helping Hands
SITE ADDRESS/LOCATIONS: 948 & 990 WILLIAMS ST

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Jon Bailey of Helping Hands for the approval of a Site Plan for a Commercial Building on a 8.869-acre tract of land identified Lot 1, Block A, Waggoner Gardens Inc. Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 Williams Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/21/2022	Approved w/ Comments

07/21/2022: SP2022-041; Site Plan for Helping Hands

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Jon Bailey of Helping Hands for the approval of a Site Plan for a Commercial Building on a 8.869-acre tract of land identified Lot 1, Block A, Waggoner Gardens Inc. Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 Williams Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. August 2, 2022 is the deadline to have all comments; please provide staff revised plans before August 2, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-041) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Please remove the word replat out of the title block.

I.5 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.6 Site Plan

- (1) Indicate the perimeter dimensions of the site. (Subsection 03.04. B, of Article 11)
 - (2) Provide a table including the existing SF of the site vs. the proposed SF on site.
 - (3) Indicate the dimensions of all existing and proposed buildings on site. (Subsection 03.04. B, of Article 11)
 - (4) Indicate the distance between buildings and the property lines. (Subsection 03.04.B, of Article 11)
 - (5) Indicate all building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
 - (6) Indicate all utilities both existing and proposed. (Subsection 03.04.B, of Article 11)
 - (7) Label new and existing sidewalks and their widths per the Engineering Standards. (Subsection 03.04. B, of Article 11)
 - (8) Indicate the centerline for Williams Street. (Subsection 03.04. B, of Article 11)
- (9) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening (e.g. screening with taller parapets or adding louver screening). (Subsection 01.05. C, of Article 05)

(10) Dumpster Screening. The masonry screening wall must be 12-feet by 10-feet, and 8-feet in height because the property is located in an overlay district. The gate must be self-latching and not manual. The dumpster enclosure must be faced in the same material as the primary building. The enclosure must have 5-gallon shrubs planted around it. Please provide a detail. (Subsection 01.05. B, of Article 05)

(11) All head-in parking shall be 9' X 20'. (Subsection 2.20.3(a), City of Rockwall Standards of Design and Construction)

(12) Indicate any outside storage if applicable and provide subsequent screening. (Subsection 01.05E, Article 05, UDC)

M.7 Landscape Plan:

(1) The entire site needs to be reflected in the landscape plan and brought up to current landscape standards since the applicant is proposing more than a 2,000 SF increase in building size. (Subsection 02.01.A1(b), Article 08, UDC)

(2) Please add a graphic scale to the landscape plan. (Subsection 03.04.A, of Article 11, UDC)

(3) A landscape buffer of 10' is required along Williams Street. The landscape buffer shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency of Williams. (Subsection 05.01.B(1), Article 08, UDC)

(4) Identify visibility triangles for all driveway intersections and public streets. (Subsection 01.08, of Article 05)

(5) Ensure all trees are planted far enough away from utility lines; confirm that the Engineering Standards are being met. (Subsection 05.03. E, of Article 08)

(6) Specify the type of accent tree and size. (Subsection 05.03.B, of Article 08)

(7) Please confirm that all parking spaces are within 80-feet of a canopy tree. (Subsection 05.03.E4 of Article 08)

(8) The square footage of land uses does not match in the table and on the building layout. Please provide correct square footage for all land uses of both buildings.

Subsequently, check the parking calculations.

(9) The parking requirements for a clinic are 1/200 not 1/150. Please revise and recalculate parking. (Table 05, Article 06, UDC)

(10) Parking Calculations for building #2 are still needed. (Table 05, Article 06, UDC)

M.8 Treescap Plan:

(1) A treescap plan shall be required since trees are being removed for the addition of the east building. (Subsection 03.01, Article 09, UDC).

M.9 Photometric Plan:

(1) A photometric plan must be provided. Included with the photometric plan must be lighting cutsheets for the light fixtures. (Subsection 3.04 of Article 07)

M.10 Building Elevations:

(1) Provide elevations for both proposed buildings.

(2) Please label the horizontal measurements for all elevations.

(3) Label each exterior elevation and indicate which elevations are adjacent to Public Right-of-Way.

(4) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01 of Article 5)

(5) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements. (Subsection 04.01 of Article 5)

(6) All parapets shall be finished on the interior side using the same materials as the exterior facing wall. (Subsection 04.01A of Article 5)

(7) Indicate all roof mounted mechanical equipment and indicate how these will be screened from the view of all adjacent properties and roadways. (Subsection 01.05.C of Article 5)

I.11 Based on the materials submitted staff has identified the following exceptions for this project:

(1) Building Articulation on Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C1. In this case the two (2) primary facades do not meet these standards.

(2) Building Articulation on Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades do not meet these standards.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified two (2) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested

exceptions and the four (4) required compensatory measures.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on August 2, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 2, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2022 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on July 26, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on August 9, 2022.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/22/2022	Needs Review

- 07/22/2022: - New parking to be 20x9' minimum.
- No deadend parking. Must have 15'x24' striped as no parking.
- Review this information. Enlarge text. "Lone Star Gas"

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.

Roadway Paving Items:

- Parking to be 20'x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have a grease trap or oil/water separator for the dumpster drainage and must connect to the storm lines.
- Fire hydrants to have 5' clearance around them, including the parking spaces.
- Will need to complete a flow test to ensure the ex. 6" water can provide needed fire flows for fire protection.

Drainage Items:

- Detention is required for new impervious areas.

- No detention allowed in flood plain
- No walls allowed in detention.
- All new inlets will be curb or wye/drop inlets. No grates allowed
- Flood Study is required if you "touch" the existing floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Need to show erosion hazard setback. See engineering design standards.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Bethany Ross	07/22/2022	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/19/2022	Approved w/ Comments
07/19/2022: Hose lay routes around obstructions caused by items such as landscaping, walls, and other items shall be reviewed during the engineering plan review.			

Existing entryways shall meet fire lane design requirements during the engineering plan review.

Any existing paving being utilized as a fire lane shall be evaluated for strength equivalency and design during the engineering plan review.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/18/2022	Approved w/ Comments
07/18/2022: Proposed Building #1's address will be *990 WILLIAMS ST, ROCKWALL, TX 75087*			
Proposed Building #2's address will be *948 WILLIAMS ST, ROCKWALL, TX 75087*			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/19/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/18/2022	Approved w/ Comments
07/18/2022: 1. All parking spaces shall be within 80' of a tree canopy.			

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.

Roadway Paving Items:

- Parking to be 20'x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Water and Wastewater Items:

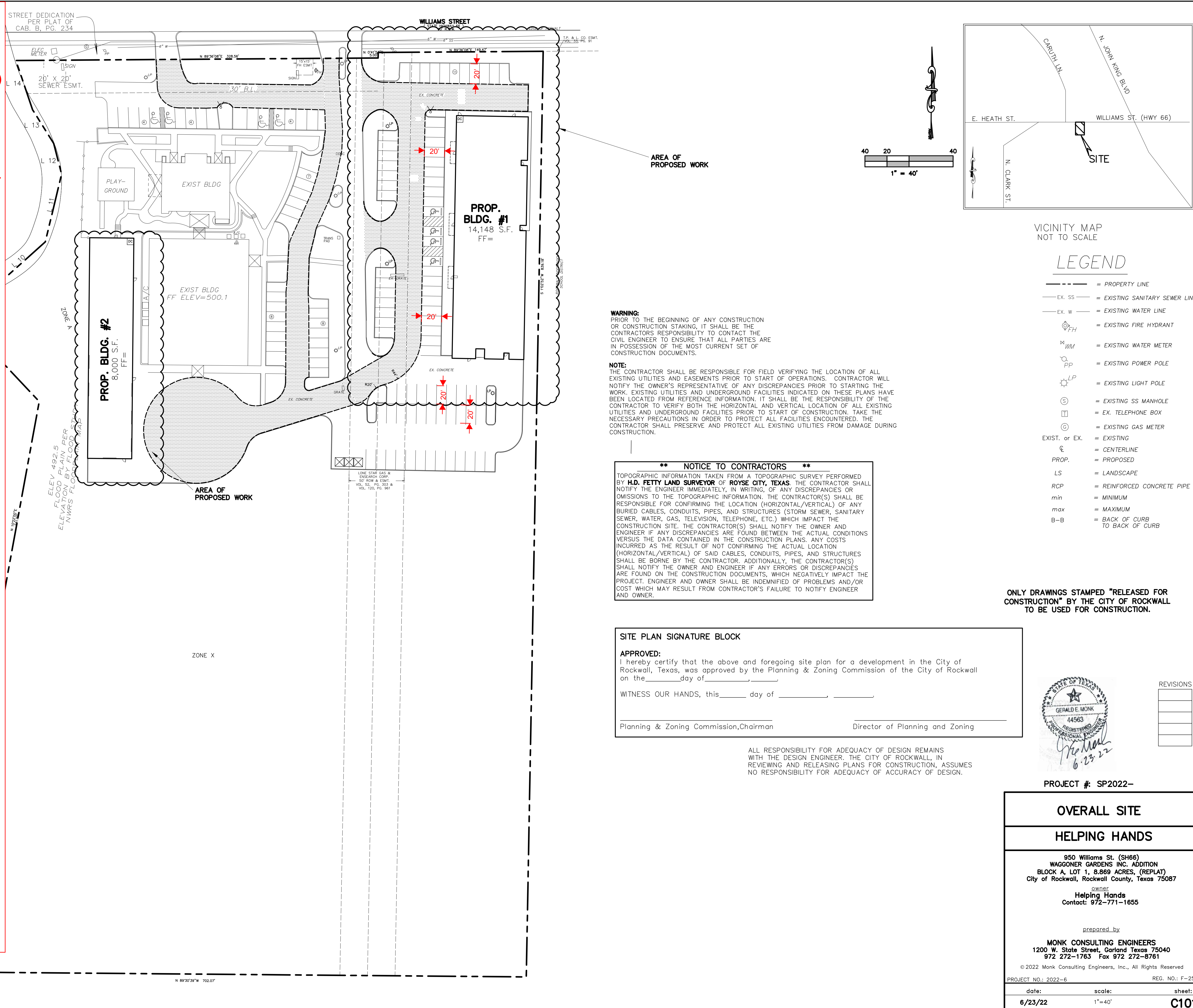
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have a grease trap or oil/water separator for the dumpster drainage and must connect to the storm lines.
- Fire hydrants to have 5' clearance around them, including the parking spaces.
- Will need to complete a flow test to ensure the ex. 6" water can provide needed fire flows for fire protection.

Drainage Items:

- Detention is required for new impervious areas.
- No detention allowed in flood plain
- No walls allowed in detention.
- All new inlets will be curb or wye/drop inlets. No grates allowed
- Flood Study is required if you "touch" the existing floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Need to show erosion hazard setback. See engineering design standards.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE PLAN SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.
WITNESS OUR HANDS, this _____ day of _____, _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.



PROJECT #: SP2022-

**OVERALL SITE
HELPING HANDS**

950 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved
PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=40' sheet: C101

INSTALL:
 (1) 6" TEE
 (1) 6" VALVE
 PRIVATE 6" FIRE SPRINKLER
 LINE (C-900 CLASS 200-PVC)

FOR DOMESTIC SERVICE INSTALL:
 (1) 6"x2" TAPPING SLEEVE
 (1) 2" WATER LINE
 (1) 2" METER BOX
 INSTALL METER IN ROW.
 (IN GRASS) INSTALL RPZ ON DOMESTIC
 LINE ON PRIVATE PROPERTY.

FOR IRRIGATION SERVICE TO BE TIED
 TO EXISTING SYSTEM

INSTALL NEW 4" MH & 60
 LF OF PRIVATE 6" SDR-26
 & DBL CO @ BLDG

15'x24' striped
 as no parking.

NOTE: CONTACT ATMOS GAS
 COMPANY PRIOR TO SETTING
 LOCATIONS FOR LIGHT POLES IN
 ATMOS EASEMENT.

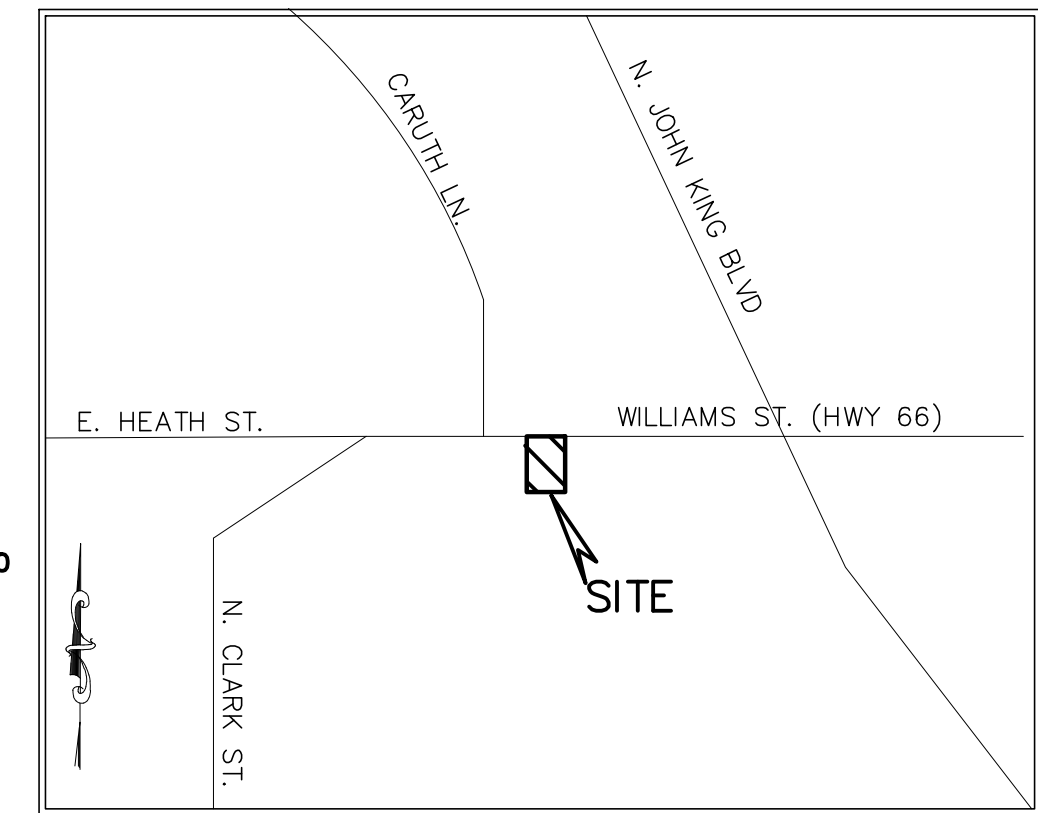
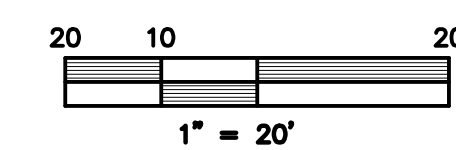
INSTALL DOUBLE CHECK
 ASSEMBLY FOR FIRE
 SPRINKLER IN RISER RM.

PROPOSED HANDICAPPED
 PARKING, INSTALL
 WHEELSTOPS & SIGN

PROP.
 BLDG. #1
 14,148 S.F.
 FF=

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION
 OR CONSTRUCTION STAKING, IT SHALL BE THE
 CONTRACTOR'S RESPONSIBILITY TO CONTACT THE
 CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE
 IN POSSESSION OF THE MOST CURRENT SET OF
 CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL
 EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL
 NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE
 WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE
 BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE
 CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING
 UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE
 NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE
 CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING
 CONSTRUCTION.



SITE DATA:

LOT AREA:
 8.869 Acres, 386,333.64 sq.ft.
 LOT COVERAGE:
 7.6%
 FLOOR TO AREA RATIO:
 13.16:1
 BUILDING AREA: 14,148 sq.ft.
 Clinic 5,324 sq.ft.
 Office 3,550 sq.ft.
 Pantry 4,803 sq.ft.
 CONSTRUCTION TYPE:
 IIB & IV
 BUILDING HEIGHT:
 1 Story 36' MAX
 PROPOSED FUTURE USE:
 Office, Clinic, Storage
 IMPERVIOUS AREA
 (including buildings):
 94,187 sq.ft.
 ZONING:
 C
 PARKING:
 Required: 33
 Clinic 1/150 sf=11
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Handicap = 2
 Provided:
 Standard= 53
 Handicapped = 4
 Total Provided = 57
 FIRESPRINKLER:
 Yes

VICINITY MAP
 NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ = EXISTING SS MANHOLE
- ⊕ = EX. TELEPHONE BOX
- ⊕ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROP. ⊕ = EXISTING
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald E. Monk
 6/23/22

REVISIONS

PROJECT #: SP2022-

**SITE PLAN BLDG #1 P&Z
 HELPING HANDS**

950 Williams St. (SH66)
 WAGGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087
 owner
 Helping Hands
 Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C101A

LONE STAR GAS &
 ENSEARCH CORP.
 50' ROW & ESMT.
 VOL. 52, PG. 303 &
 VOL. 120, PG. 961

ROCKWALL INDEPENDENT
 SCHOOL DISTRICT



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

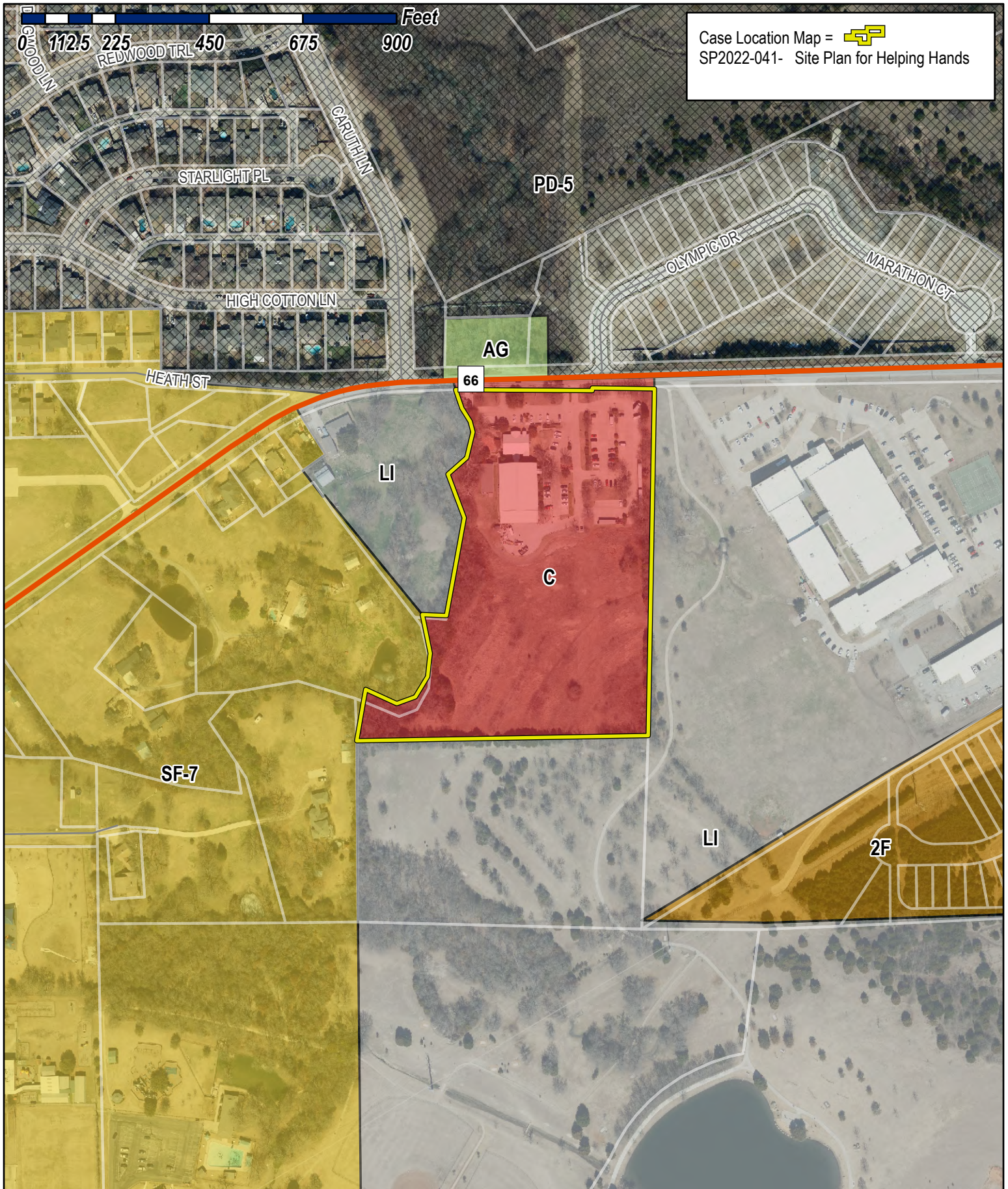
Given under my hand and seal of office on this the _____ day of _____, 20 ____.


Owner's Signature



Notary Public in and for the State of Texas

My Commission Expires



Case Location Map = 
 SP2022-041- Site Plan for Helping Hands



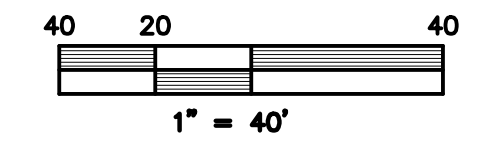
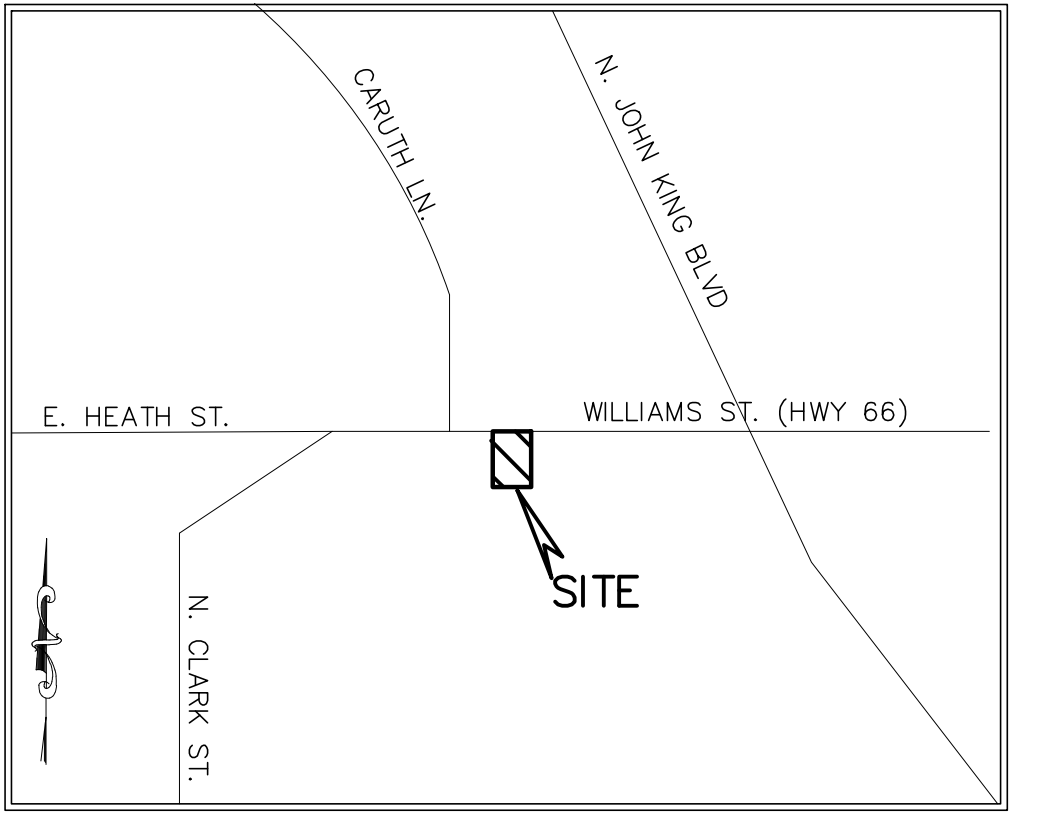
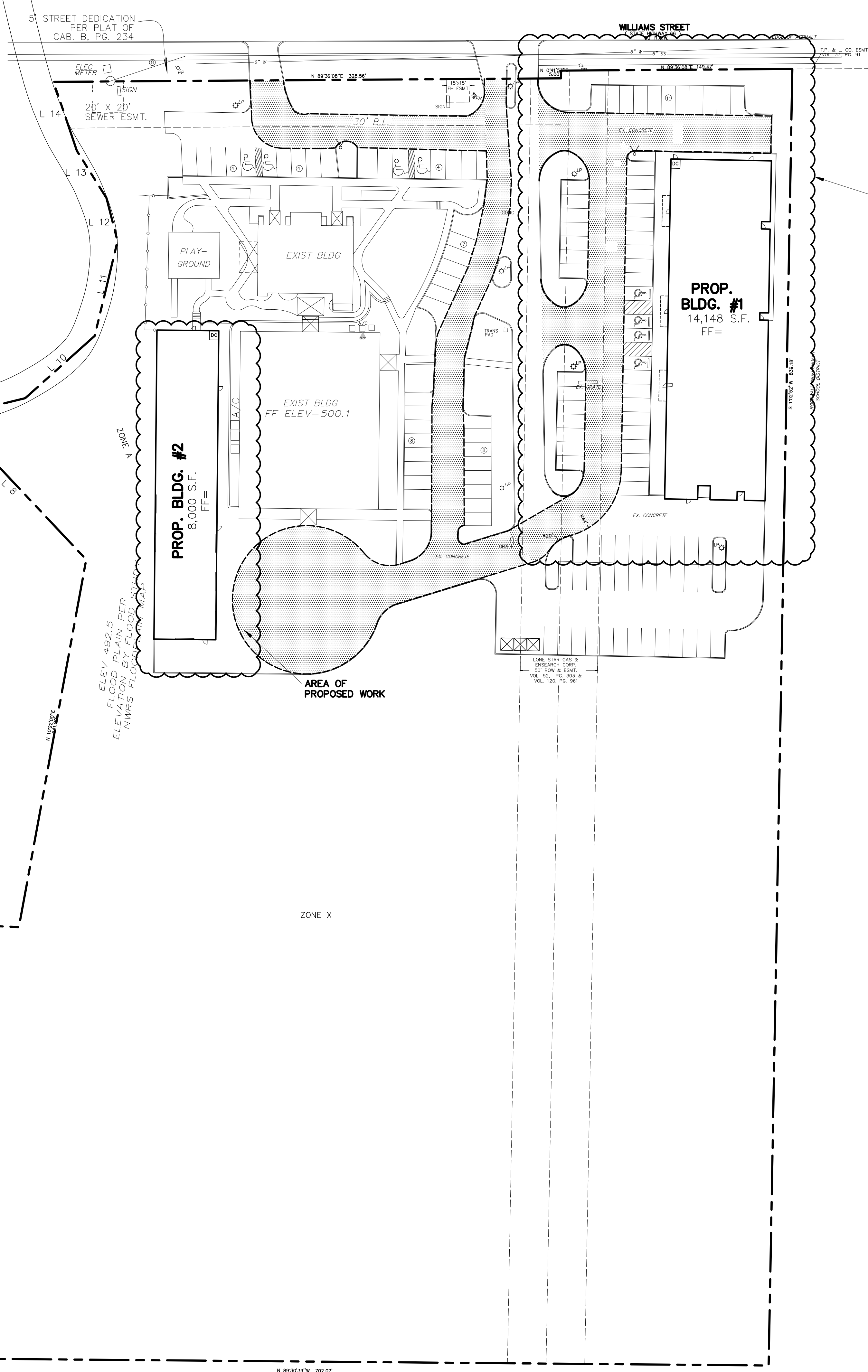
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Line	Bearing	Distance
1	N 12°24'50"E	103.00'
2	S 65°30'09"E	84.90'
3	N 70°32'09"E	45.75'
4	N 30°42'26"E	58.40'
5	N 6°11'12"E	56.23'
6	N 11°47'14"W	95.43'
7	S 87°20'58"E	58.30'
8	N 43°17'26"W	127.37'
9	N 76°19'11"E	49.27'
10	N 48°06'07"E	60.45'
11	N 13°30'44"E	63.11'
12	N 14°23'51"W	28.69'
13	N 32°04'32"W	36.02'
14	N 18°45'17"W	47.20'
15	N 0°41'53"E	5.00'



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROP. --- = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

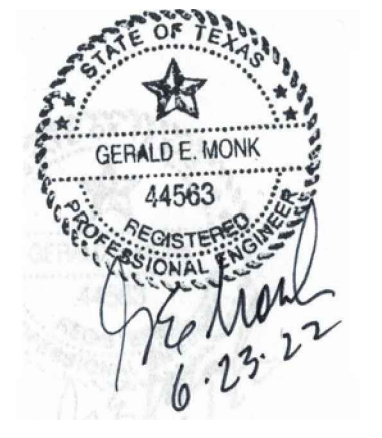
WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #: SP2022--

OVERALL SITE

HELPING HANDS

950 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=40' sheet: C101

INSTALL:
 (1) 6" TEE
 (1) 6" VALVE
 PRIVATE 6" FIRE SPRINKLER LINE (C-900 CLASS 200-PVC)

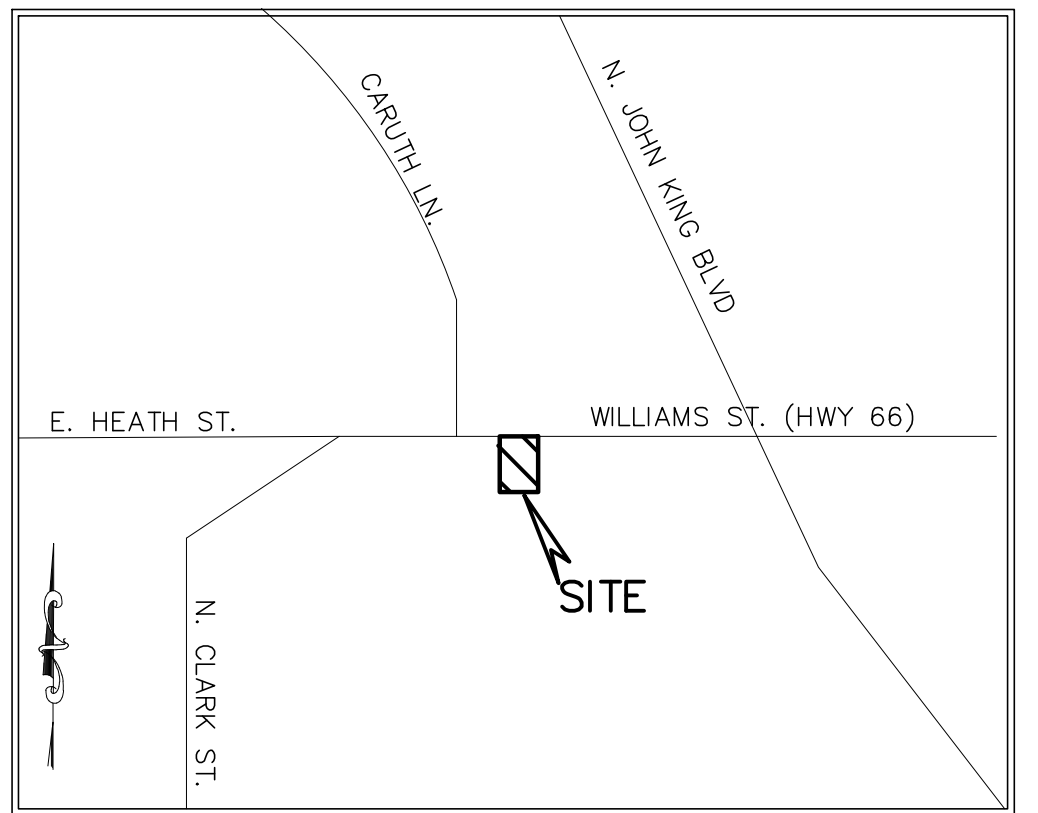
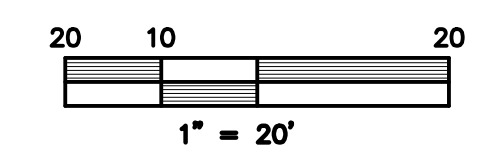
FOR DOMESTIC SERVICE INSTALL:
 (1) 6"x2" TAPPING SLEEVE
 (1) 2" WATER LINE
 (1) 2" METER BOX
 INSTALL METER IN ROW.
 (IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

FOR IRRIGATION SERVICE TO BE TIED TO EXISTING SYSTEM

NOTE: CONTACT ATMOS GAS COMPANY PRIOR TO SETTING LOCATIONS FOR LIGHT POLES IN ATMOS EASEMENT.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA:
 8.869 Acres, 386,333.64 sq.ft.
 LOT COVERAGE:
 7.6%
 FLOOR TO AREA RATIO:
 13.16:1
 BUILDING AREA: 14,148 sq.ft.
 Clinic 5,324 sq.ft.
 Office 3,550 sq.ft.
 Pantry 4,803 sq.ft.
 CONSTRUCTION TYPE:
 IIB & IV
 BUILDING HEIGHT:
 1 Story 36' MAX
 PROPOSED FUTURE USE:
 Office, Clinic, Storage
 IMPERVIOUS AREA
 (including buildings):
 94,187 sq.ft.
 ZONING:
 C
 PARKING:
 Required: 33
 Clinic 1/150 sf=11
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Handicap = 2
 Provided:
 Standard= 53
 Handicapped = 4
 Total Provided = 57
 FIRESPRINKLER:
 Yes

VICINITY MAP
 NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ = EXISTING SS MANHOLE
- ⊕ = EX. TELEPHONE BOX
- ⊕ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROP. ⊕ = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #: SP2022-

SITE PLAN BLDG #1 P&Z

HELPING HANDS

950 Williams St. (SH66)
 WAGGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
 Contact: 972-771-1655

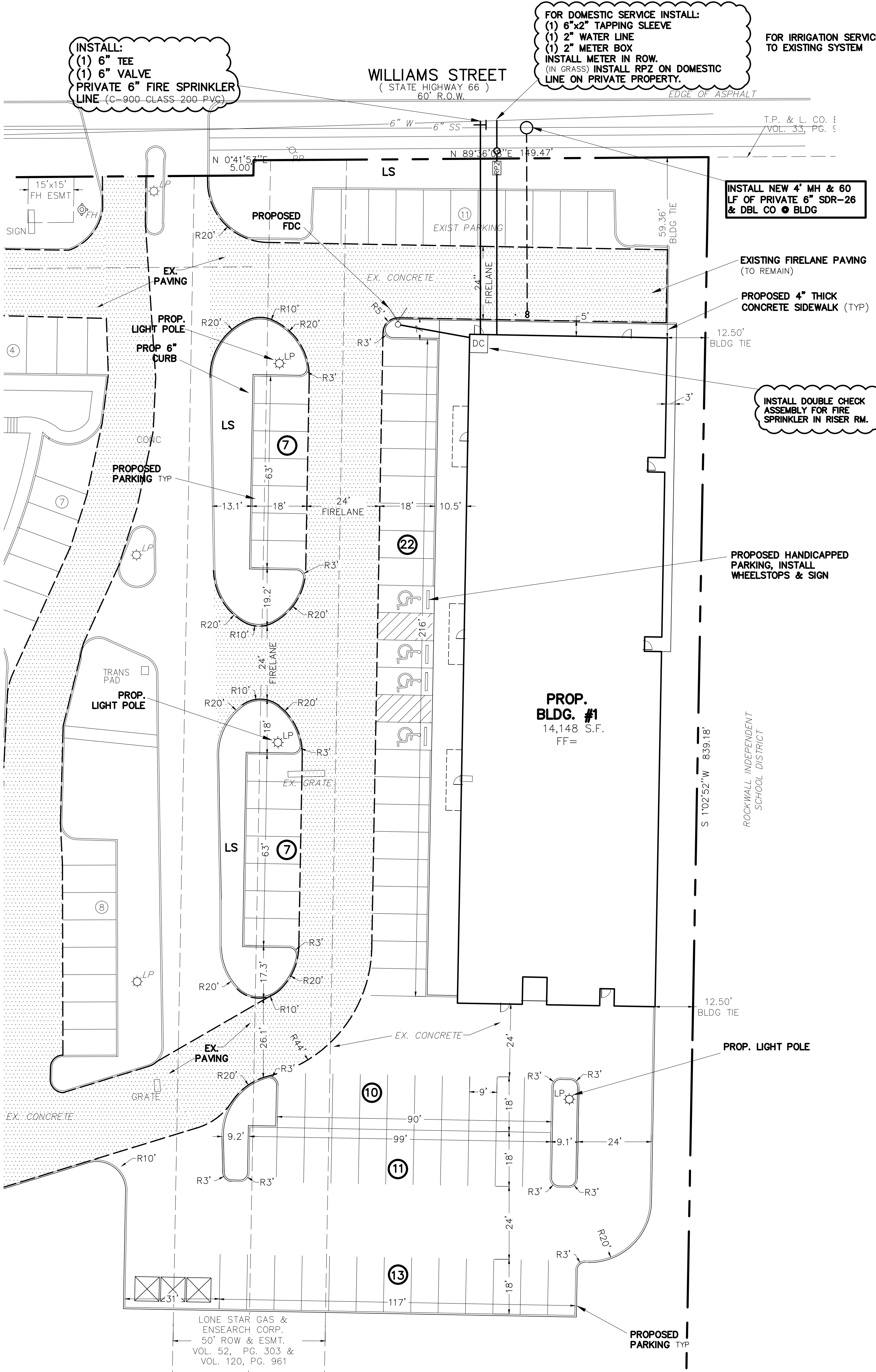
prepared by

MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C101A

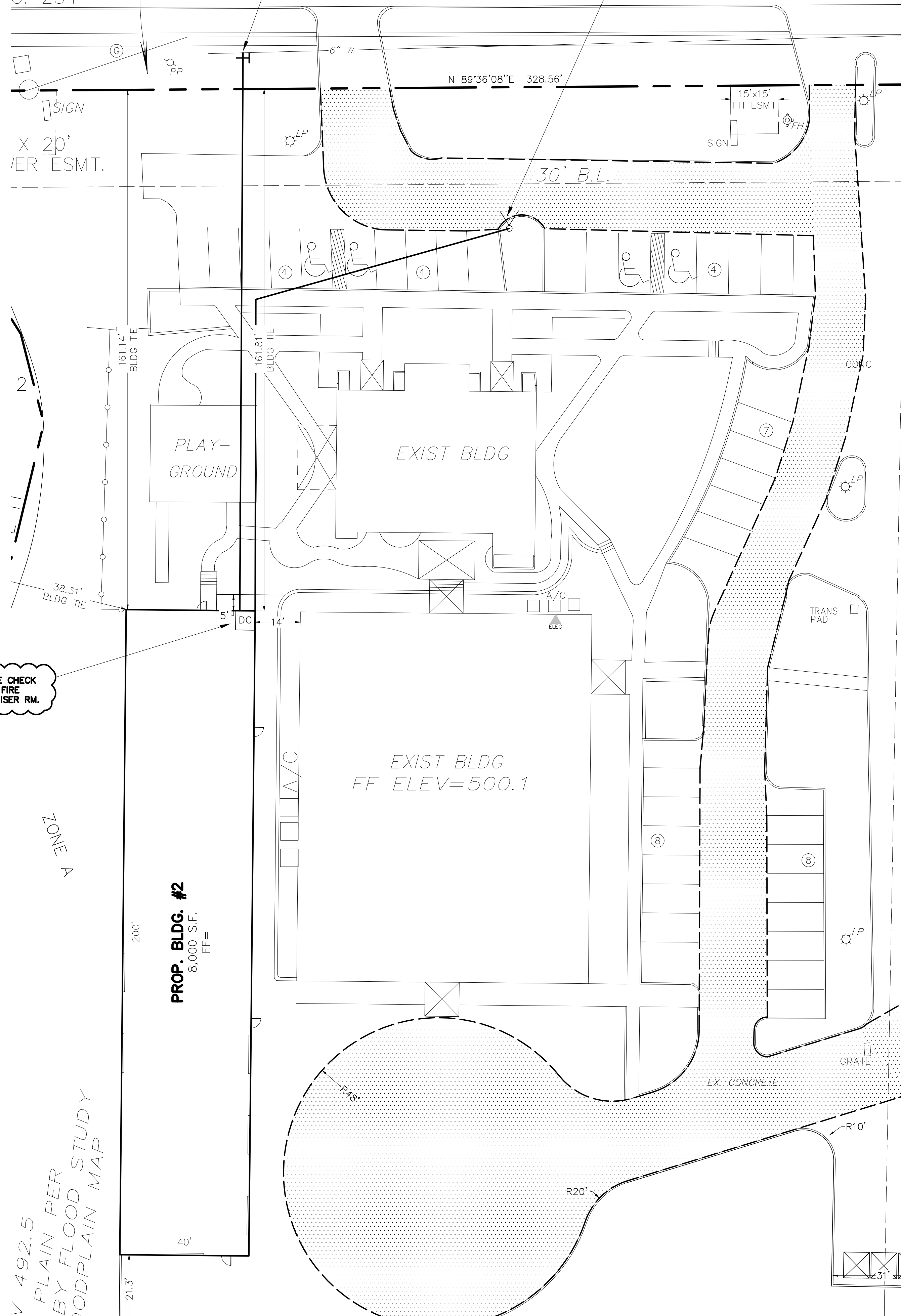


LONE STAR GAS & ENSEARCH CORP.
 50' ROW & ESMT.
 VOL. 52, PG. 303 &
 VOL. 120, PG. 961

CATION
_AT OF
G. 234

INSTALL:
(1) 6" TEE
(1) 6" VALVE
PRIVATE 6" FIRE SPRINKLER
LINE (C-900 CLASS 200 PVC)

PROPOSED
FDC

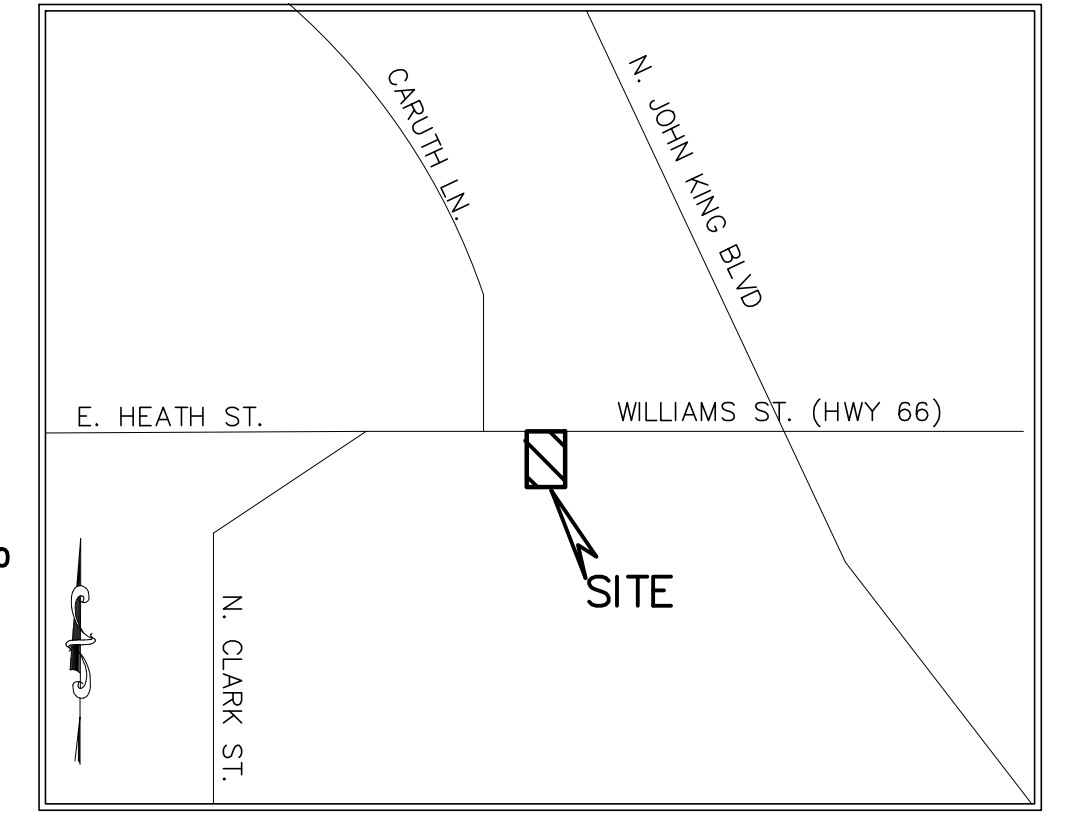
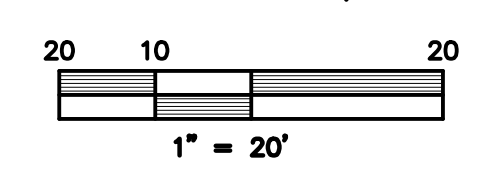


INSTALL DOUBLE CHECK
ASSEMBLY FOR FIRE
SPRINKLER IN RISER RM.

LEV 492.5
OD PLAIN PER
ON BY FLOOD STUDY
FLOODPLAIN MAP

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION
OR CONSTRUCTION STAKING, IT SHALL BE THE
CONTRACTORS RESPONSIBILITY TO CONTACT THE
CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE
IN POSSESSION OF THE MOST CURRENT SET OF
CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL
EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL
NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE
WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE
BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING
UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE
NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE
CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING
CONSTRUCTION.



SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%
FLOOR TO AREA RATIO:
13.16:1
BUILDING AREA #1: 14,148 sq.ft.
Clinic 5,324 sq.ft.
Office 3,550 sq.ft.
Pantry 4,803 sq.ft.
BUILDING AREA #2:
Warehouse 8,000 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 36' MAX
PROPOSED FUTURE USE:
Office, Clinic, Storage
**IMPERVIOUS AREA
(including buildings):**
106,207 sq.ft.
ZONING:
C
PARKING:
Required: 33
Clinic 1/150 sf=11
Office 1/300 sf=12
Pantry 1/500 sf=10
Handicap = 2
Provided: 53
Handicapped = 4
Total Provided = 57
FIRESPRINKLER:
Yes

**VICINITY MAP
NOT TO SCALE**

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- T = EX. TELEPHONE BOX
- G = EXISTING GAS METER
- EXIST. or EX. --- = CENTERLINE
- PROP. --- = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

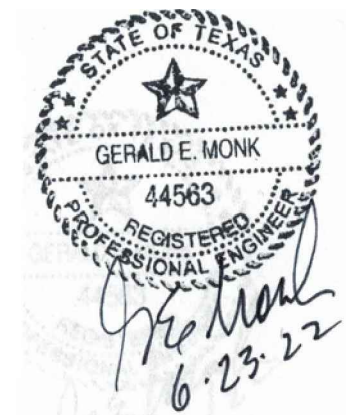
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

PROJECT #: SP2022-

SITE PLAN BLDG #2 P&Z

HELPING HANDS

950 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

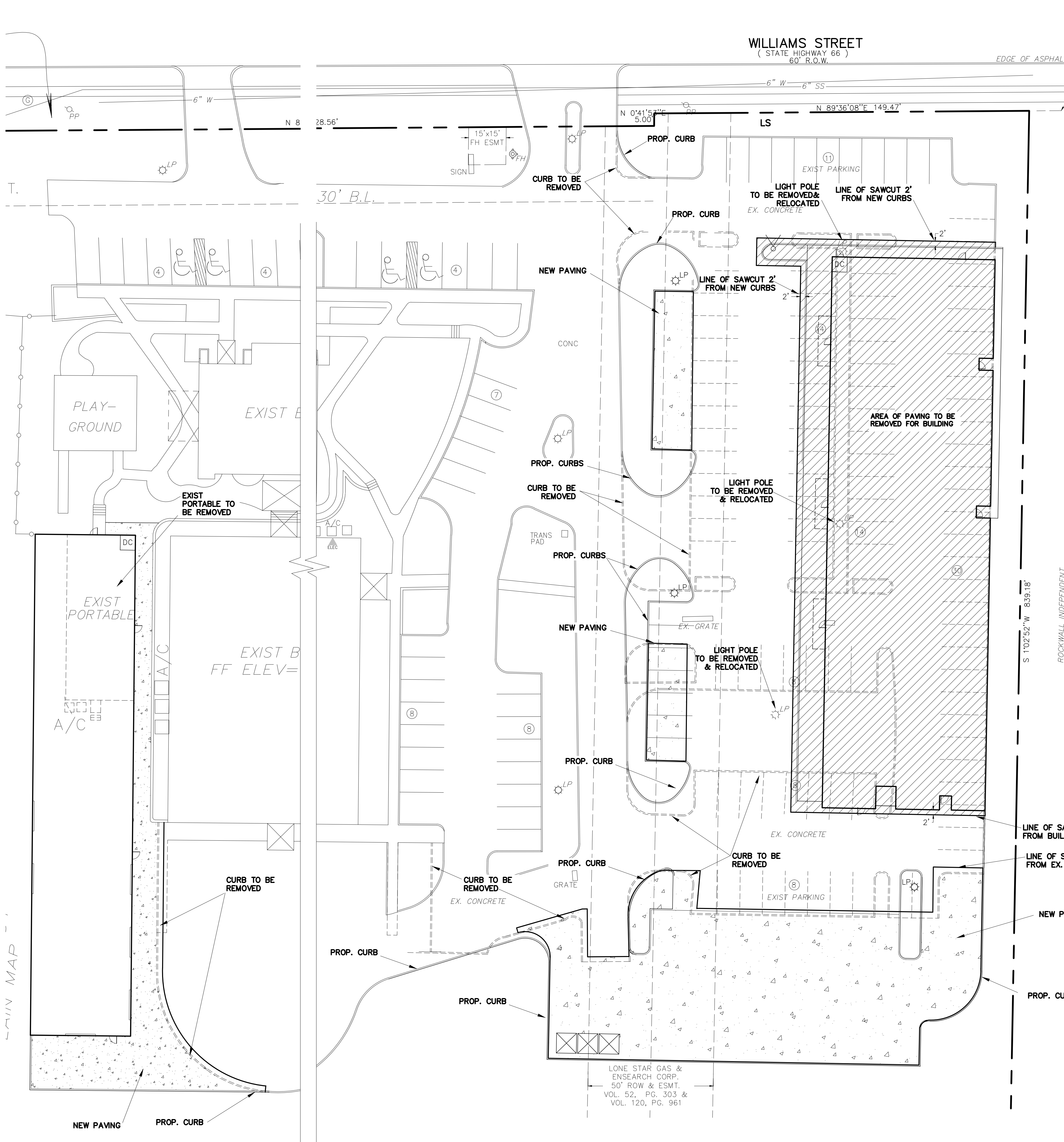
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

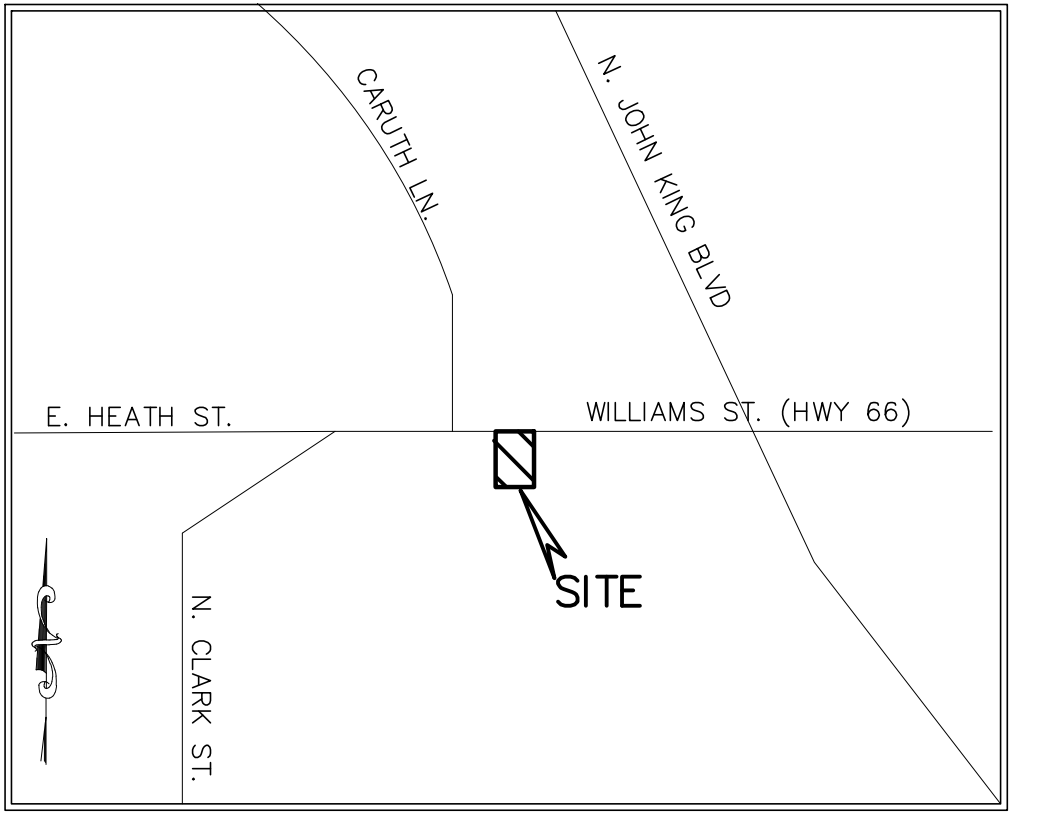
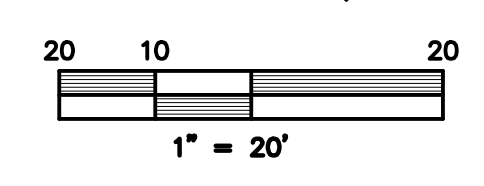
date: 6/23/22 scale: 1"=20' sheet: C101B



WILLIAMS STREET
(STATE HIGHWAY 66)
60' R.O.W.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS — = EXISTING SANITARY SEWER LINE
- EX. W — = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ S = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- ▨ = PAVING TO BE REMOVED
- ▨ = PROPOSED PAVING

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

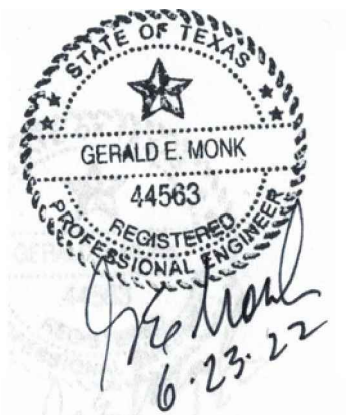
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



REVISIONS

PROJECT #: SP2022-

DEMO & PAVING PLAN
HELPING HANDS

950 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

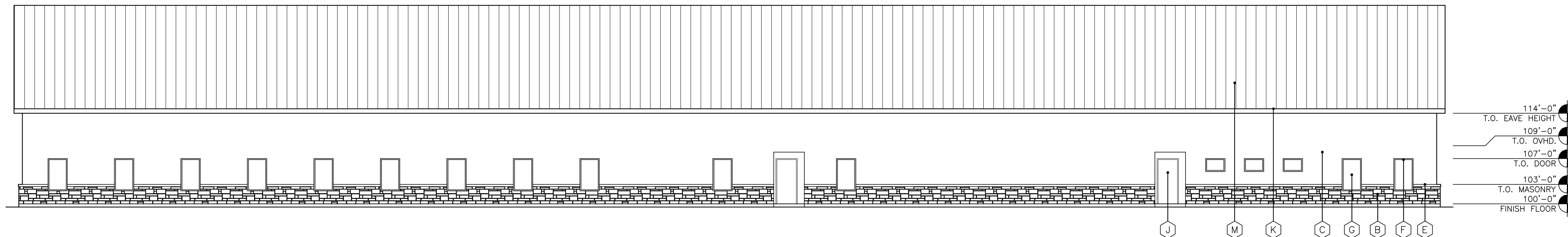
© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

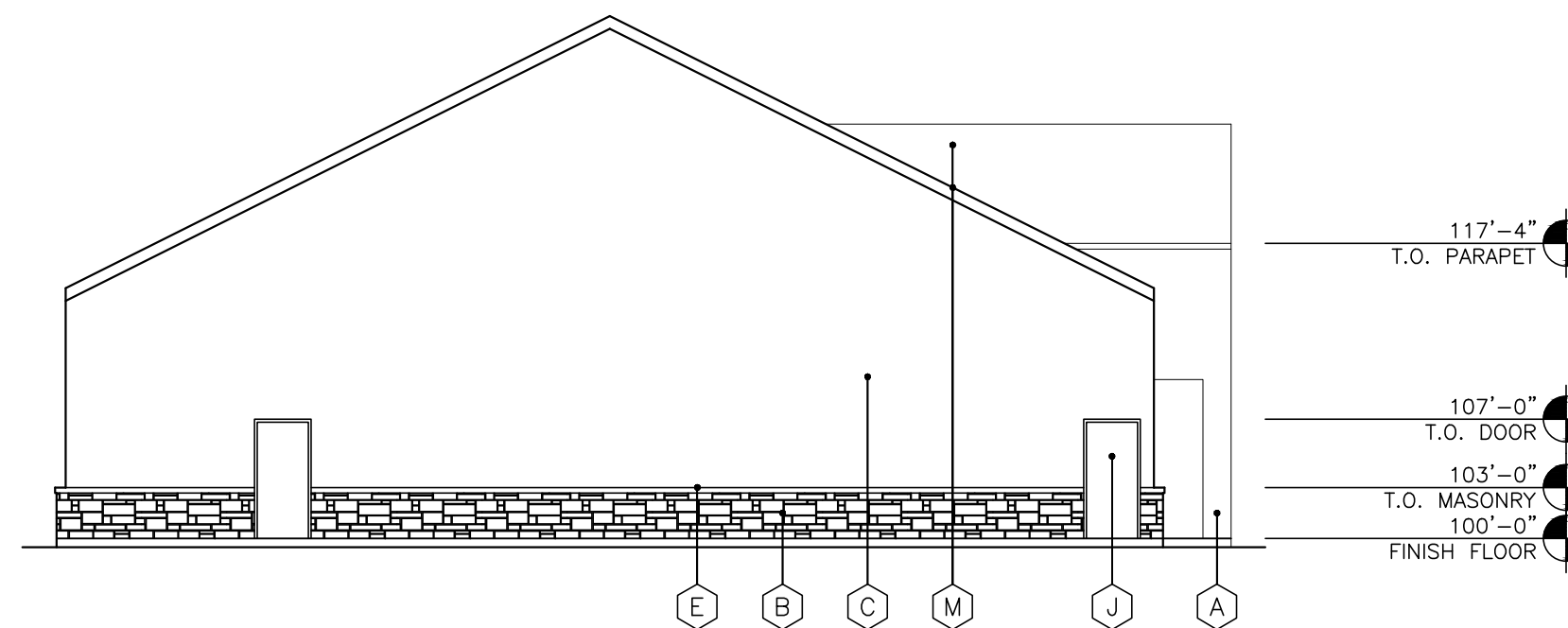
date: 6/23/22 scale: 1"=20' sheet: C102

MAIN MAP - 1

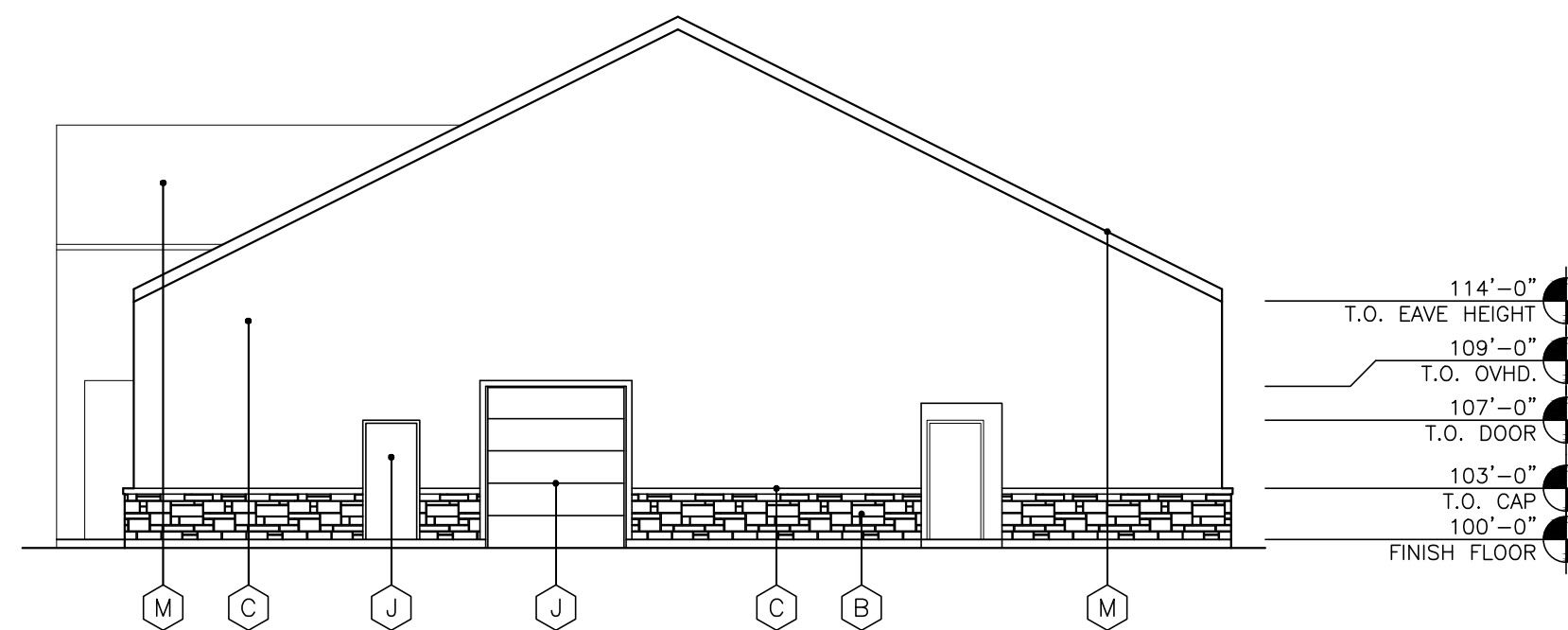
LONE STAR GAS & ENSEARCH CORP.
50' ROW & ESMT.
VOL. 52, PG. 303 & VOL. 120, PG. 961



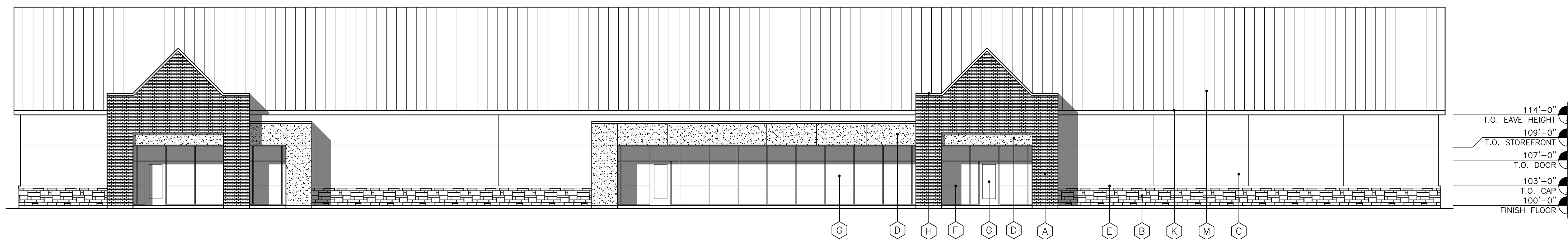
4 EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"



3 EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ACME BRICK, FIELD COLOR, QUORUM MFG: ACME SEALANT - BASE - MEDIUM BRONZE
B	STONE, ROUGH FACE, COLOR - GRANDBURY CHOPPED 4 SIDES MORTAR/SEALANT - BASE, COLOR - TAN
C	FIELD STUCCO 3-COAT SYSTEM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7506 LOGGIA
D	ACCENT STUCCO 3-COAT SYSTEM TRIM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7036 ACCESSIBLE BEIGE
E	CAST STONE CAP - TO MATCH STONE COLOR
F	STOREFRONT & DOORS, COLOR - DARK BRONZE
G	EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR - 10% TINTED, GRAY
H	PREFINISHED METAL COPING, COLOR - TO MATCH ROOF
J	EXTERIOR HOLLOW METAL DOOR/OVERHEAD DOOR PAINTED - SW7520 DARK BROWN
K	PREFINISHED ROOF GUTTER & DOWNSPOUTS, COLOR - TO MATCH STUCCO
L	DECORATIVE LIGHTING - EXTERIOR SCONCE, LIGHTING SELECTED BY OWNER
M	STANDING SEAM METAL, MFG - PAC-CLAD; CEE - LOCK, COLOR - GRANITE

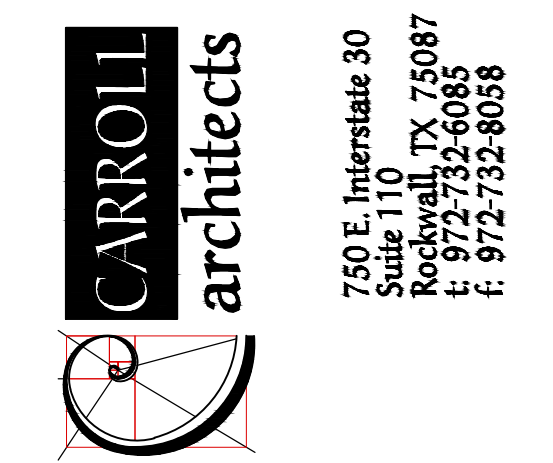
NOTE: PROVIDE 26 GA. METAL FOR ALL FLASHING, GUTTERS & DOWNSPOUTS WITH SPLASH BLOCKS

ISSUE: CITY SUBMITTAL: 07-15-2022

COPYRIGHT NOTICE:
The information contained herein is the property of Carroll Architects, Inc. and is to be used only for the project and site identified herein. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Carroll Architects, Inc. The protection of this information is the property of Carroll Architects, Inc. Under such protection, unauthorized use or disclosure of information may result in cessation of construction, building seizure, and/or monetary liability.

NEW FACILITY FOR
HELPING HANDS
950 Williams St. (SH 66)
Rockwall, Texas 75087

HELPING HANDS	
LEGAL DESCRIPTION AND/OR ADDRESS: 950 WILLIAMS ST. (SH 66) WAGGONER GARDENS INC. ADDITION BLOCK A, LOT 1, 8.869 ACRES. (REPLAT) CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER Helping Hands 950 Williams St. (SH 66) Rockwall, TX 75087 P: 972-771-1655	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: ic@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-000	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.	
WITNESS OUR HANDS, this ____ day of ____.	
Director of Planning & Zoning	



750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR ELEVATIONS

DATE: MAR 2022 SHEET NO:
PROJECT NO: 2022006
DRAWN BY: A501
CHECKED BY:



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 9, 2022
APPLICANT: Jeff Carroll; Carroll Architects, Inc.
CASE NUMBER: SP2022-041; *Site Plan for Helping Hands*

SUMMARY

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Jon Bailey of Helping Hands for the approval of a Site Plan for a *Commercial Building* on a 8.869-acre tract of land identified Lot 1, Block A, Waggoner Gardens Inc. Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 950 Williams Street, and take any action necessary.

BACKGROUND

On November 30, 1959, the subject property was annexed by *Ordinance 60-01 [Case No. A1960-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's *Historic Zoning Maps*, the subject property was zoned Light Industrial (LI) District as of January 3, 1972. Sometime between January 3, 1972 and December 7, 1993, the zoning was changed from a Light Industrial (LI) District to a Commercial (C) District. According to the Rockwall Central Appraisal District (RCAD), the subject property has three (3) commercial buildings currently situated on the site: a 2,998 SF building built in 1985, a 1,512 SF commercial building built at an unknown date, and an 11,250 SF commercial building built in 1993.

PURPOSE

The applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- is requesting the approval of a Site Plan for the construction of one (1), 14,158 SF building intended for *General Office, Medical Office, and Storage* land uses and one (1), 8,000 SF building intended for *Storage* land uses on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 950 Williams Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Williams Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 8.885-acre vacant parcel of land (*i.e. Lot 1, Block A, Rockwall Technology Park Phase 2 Addition*) and an 11.313-acre vacant tract of land (*i.e. Tract 2-01 of the J H B Jones Survey, Abstract No. 125*). Both lots are currently owned by the Rockwall Economic Development Corporation (REDC) and are zoned Light Industrial (LI) District.

South: Directly south of the subject property is Harry Meyers Park (*i.e. Tract 73 of the R Ballard Survey, Abstract No. 29; Tract 6-4 of the G.W. Redlin Survey, Abstract No. 183; and Lot 1, Municipal Park*), which is owned by the City of Rockwall. Beyond this is E. Washington Street, which is classified as an M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 21.326-acre tract of land (*i.e. Tract 7 of the G. W. Redlin Survey, Abstract 183*), zoned Light Industrial (LI) District, and developed with two (2) Rockwall ISD Administration Buildings (*i.e. Rockwall Quest Academy/Admin*). Beyond this is the Oak Creek Subdivision, which is zoned Two-Family (2F)

District, and is comprised of 78 lots on 18.37-acres. This subdivision was established in 1984. Beyond this is a 28.8836-acre vacant tract of land (i.e. *Tract 1 of the G. W. Redlin Survey, Abstract No. 183*) zoned Planned Development 71 (PD-71) District for limited Commercial (C) District land uses. Bisecting the aforementioned lot is N. John King Boulevard, which is classified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 3.120-acre tract of land (i.e. *Tract 66 of the R. Ballard Survey, Abstract No. 29*) addressed as 940 Williams Street, zoned Light Industrial (LI) District, and developed with a 1,592 SF single-family home. Beyond this are four (4) lots zoned Single-Family 7 (SF-7) District, and developed with single-family homes. Beyond that is a 5.82-acre tract of land (i.e. *Tract 50 of the R. Ballard Survey, Abstract No. 29*), zoned Single Family 7 (SF-7) District, with a 1,980 SF single-family home situated on it. Beyond that is Williams Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), *Office, Medical Office, and Storage* land uses are permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the and exceptions outline in the *VariANCES and Exceptions by the Applicant* section below. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X= 422,532.00 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X>480-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=840-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X<30; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X<60%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>Office= 1/300 or 12 parking spaces Medical Office= 1/200 or 28 parking spaces Storage= 1/1,000 or 13 parking spaces Total: 53 Parking spaces</i>	<i>X=81 Parking Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=72.5%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=7.0%; In Conformance</i>

CONFORMANCE WITH THE CITY'S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of an *Office/Storage/Medical Office*, which conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Commercial (C) District. The proposed site plan generally conforms to the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

Exceptions:

- (1) *Building Articulation on the Primary Building Facades*. According to Subsection 04.01(C)(1) of Article 05, *Development Standards*, of the Unified Development Code (UDC) primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In this case, the proposed building does incorporate vertical and horizontal projections on the primary building façades, but these projections do not meet the standards established by the Unified Development Code (UDC).
- (2) *Building Articulation on the Secondary Building Facades*. According to Subsection 04.01(C)(2) of Article 05, *Development Standards*, of the Unified Development Code (UDC) secondary facades require projections associated with architectural elements and wall lengths. Specifically, secondary architectural elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed buildings do not incorporate vertical and horizontal projections on the secondary building façade, but these projections do not meet the standards established by the Unified Development Code (UDC).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] incorporating 20% stone, [2] additional architectural elements including storefront and awnings along the north side of *Building 1*, [3] 2.50 times the required percentage of landscaping, and [4] public amenities including a kids play ground area and multiple sitting areas with park benches. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Central District* and being designated for *Commercial/Retail* land uses. According to the plan, the *Central District* is "... composed of a wide range of land uses that vary from single-family to industrial." Also, according to the plan, the *Commercial/Retail* land use category "... is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions." In this case, the applicant is requesting to add two (2) buildings to be used for *Storage, Office, and Medical Office* land uses for an existing non-profit (i.e. *Helping Hands*) that retail store. Helping Hands has served and will continue to serve the adjacent residential areas. Based on this, the applicant's request appears to conform to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 26, the Architecture Review Board (ARB) reviewed the proposed building elevations, and requested changes from the applicant. Specifically, the ARB requested that the applicant flatten the two pitched roof elements to create a more modern look. The applicant has provided updated building elevations that appears to meet the ARB's request. These will be reviewed by the ARB at the meeting on August 9, 2022.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of one (1), 14,158 SF *Office, Medical Office, and Inside Storage* building and one (1), 8,000 SF *Storage* building on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

- (2) The applicant will need to submit and receive approval for an updated *Photometric Plan* showing conformance to the lighting standards set forth in the Unified Development Code (UDC) prior to submitting civil engineering plans.
- (1) The applicant will need to submit and receive approval for an updated *Landscape Plan* showing conformance to the screening requirements for the new pad-mounted AC units utilizing plantings or berms as set forth in the Unified Development Code (UDC) prior to submitting civil engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

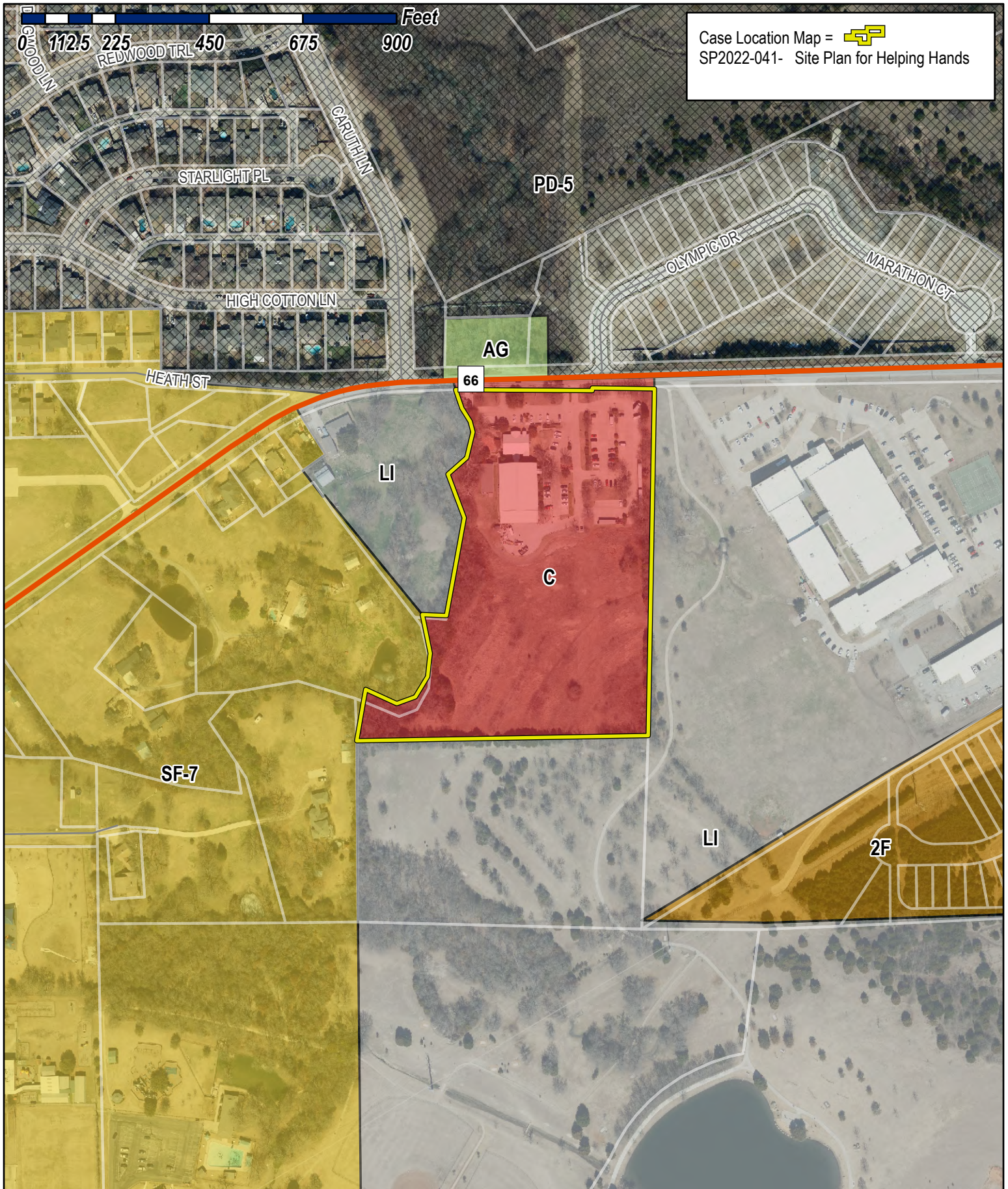
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



Case Location Map = 
 SP2022-041- Site Plan for Helping Hands



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

August 2, 2022

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2022-041 Exceptions/ Variance Requested
Helping Hands Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a summary of the Request for Exception/ Variances to the UDC within the general overlay district. The Variances include **A) Building Primary and Secondary Materials.**

Building Primary and Secondary Materials.

- A) **Building A, Primary** - we are requesting to use real stucco for the primary material on all four sides. **Secondary** - We meet the Stone, min. 20% required on all four sides. These cementitious materials match portions of the existing buildings and style of architecture.
- B) **Building B, Primary & Secondary** - we are requesting to use metal siding for the primary and secondary materials for this building. The existing buildings comprise of both cementitious materials and metal siding. The side facing the street will be 80% glass and storefront.

Compensatory items we are providing for these variances.

- A) We are adding landscape along SH 66 to fill in the voids. 2-Canopy and 4-ornamental trees. The existing trees and shrubs shall remain along SH 66 and behind the building.
- B) Building A, we are providing awnings along the north side to help offset the articulation.
- C) City Ordinance requires 20% landscaping. We are proposing 72.5% which is 2.5x more than required by zoning code.
- D) The site has existing pedestrian amenities such as kids play ground area and multiple sitting areas with park benches at various locations around the buildings.

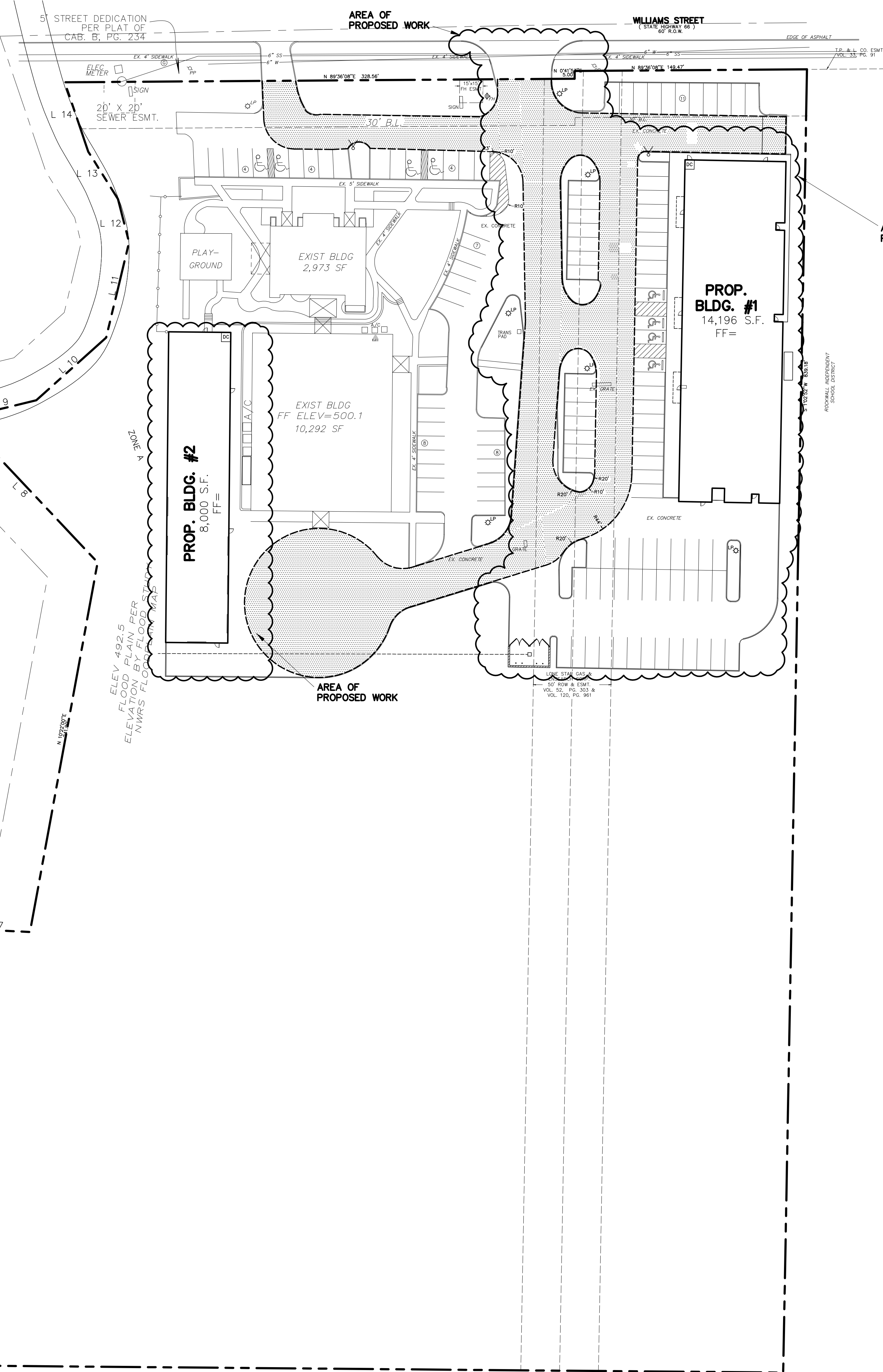
Thank you for your consideration and reviewing our request.

Sincerely,

A handwritten signature in black ink that reads "Jeff Carroll". The signature is written in a cursive, flowing style.

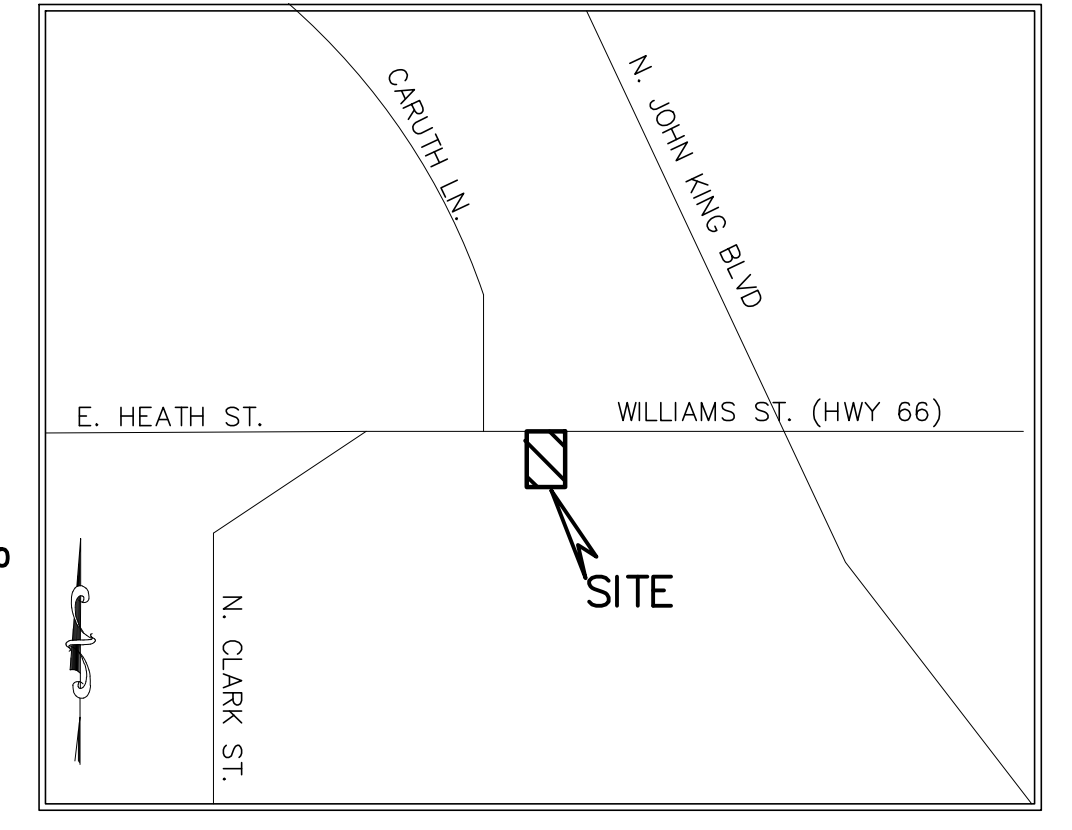
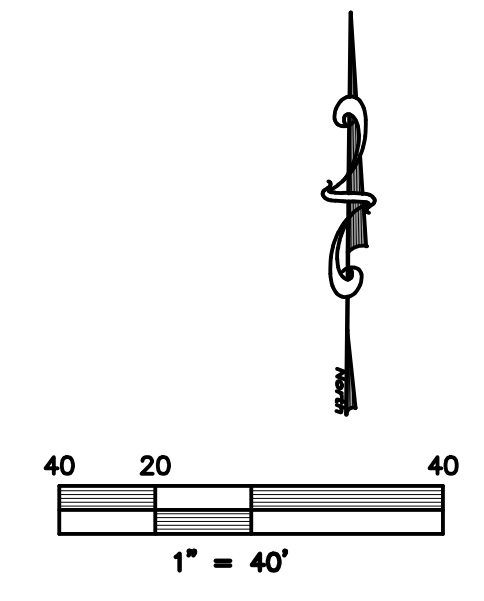
Jeffrey Carroll
Carroll Architects, Inc.
President / CEO

Line	Bearing	Distance
1	N 12°24'50"E	103.00'
2	S 65°30'09"E	84.90'
3	N 70°32'09"E	45.75'
4	N 30°42'26"E	58.40'
5	N 6°01'17"E	55.23'
6	N 11°47'14"W	95.43'
7	S 81°20'06"E	58.30'
8	N 43°17'26"W	127.37'
9	N 76°19'11"E	49.27'
10	N 48°06'07"E	60.45'
11	N 13°30'44"E	63.11'
12	N 14°23'51"W	28.69'
13	N 32°04'32"W	36.02'
14	N 18°45'17"W	47.20'
15	N 0°41'53"E	5.00'



SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%
FLOOR TO AREA RATIO:
13.16:1
PROP. BUILDING AREA #1: 14,196 sq.ft.
Clinic 5,324 sq.ft.
Office 2,934 sq.ft.
Pantry 5,938 sq.ft.
PROP. BUILDING AREA #2: 8,000 sq.ft.
Storage 6,500 sq.ft.
Retail 1,500 sq.ft.
EXIST BUILDING AREA:
13,265 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 36' MAX
PROPOSED FUTURE USE:
Office, Clinic, Storage
IMPERVIOUS AREA (including buildings):
107,487 sq.ft.
Exist: 86,016 sq.ft.
New: 21,471 sq.ft.
ZONING:
C
PARKING:
Required: 62
Clinic 1/200 sf=27
Office 1/300 sf=12
Pantry 1/500 sf=10
Storage 1/1000 sf=7
Retail 1/250 = 6
Handicap = 2
Provided:
Standard= 77
Handicapped = 4
Total Provided = 81
FIRESPRINKLER:
Yes



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

SITE PLAN SIGNATURE BLOCK

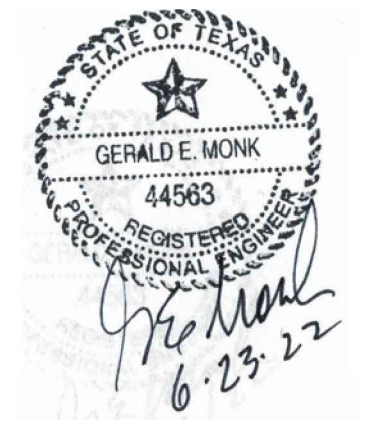
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.



REVISIONS

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

PROJECT #: SP2022-041

OVERALL SITE HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

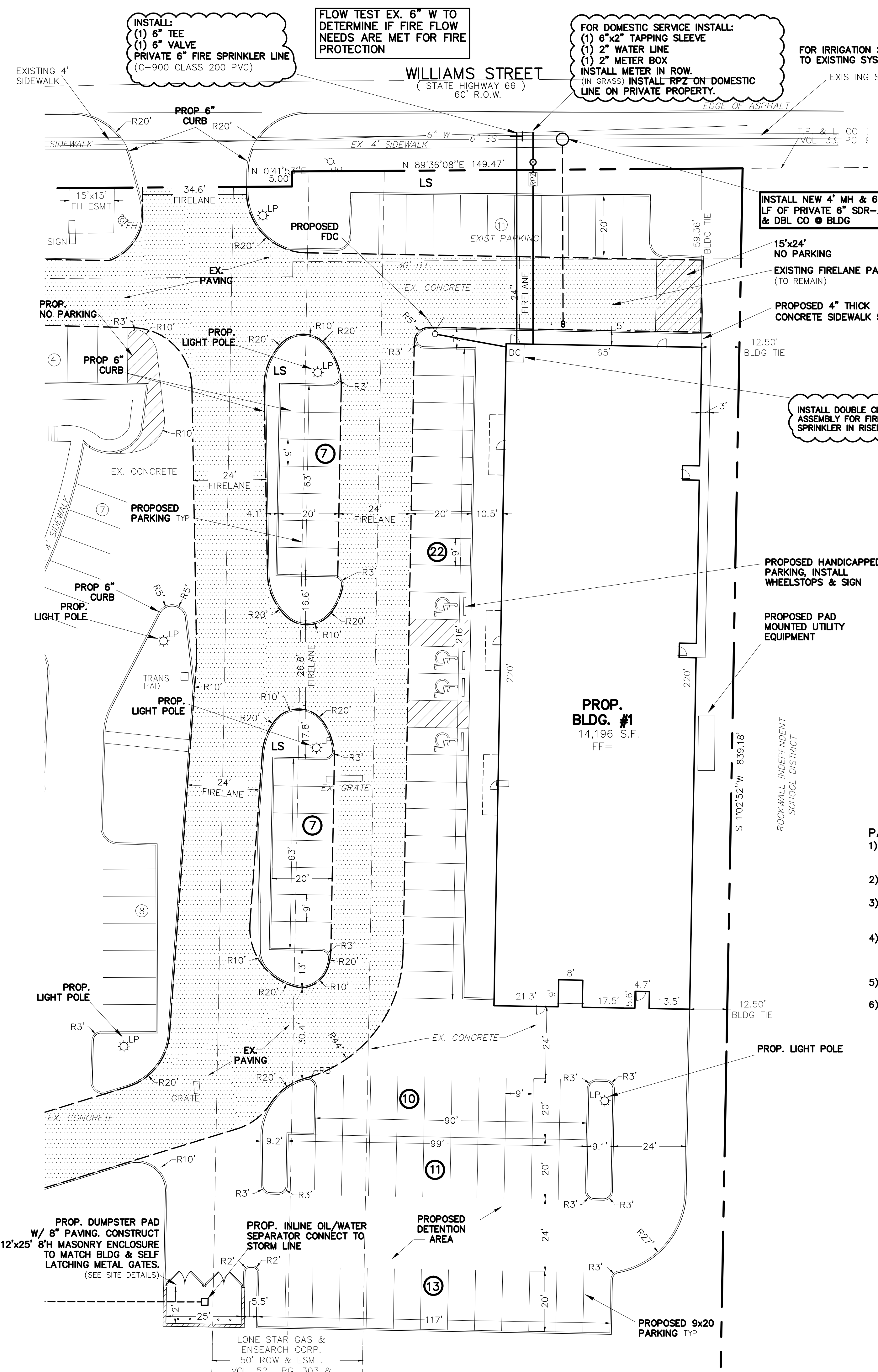
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

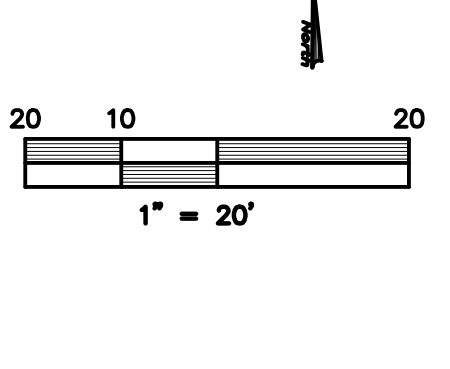
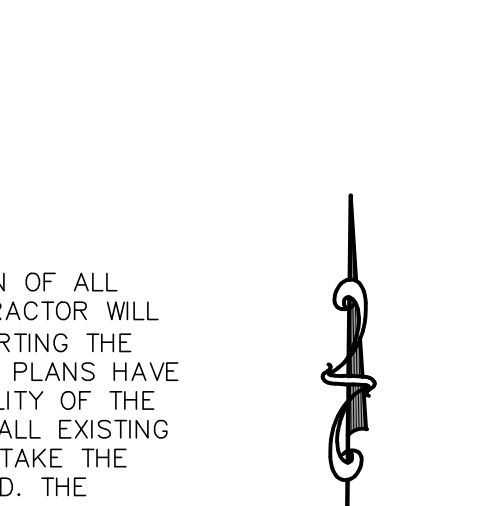
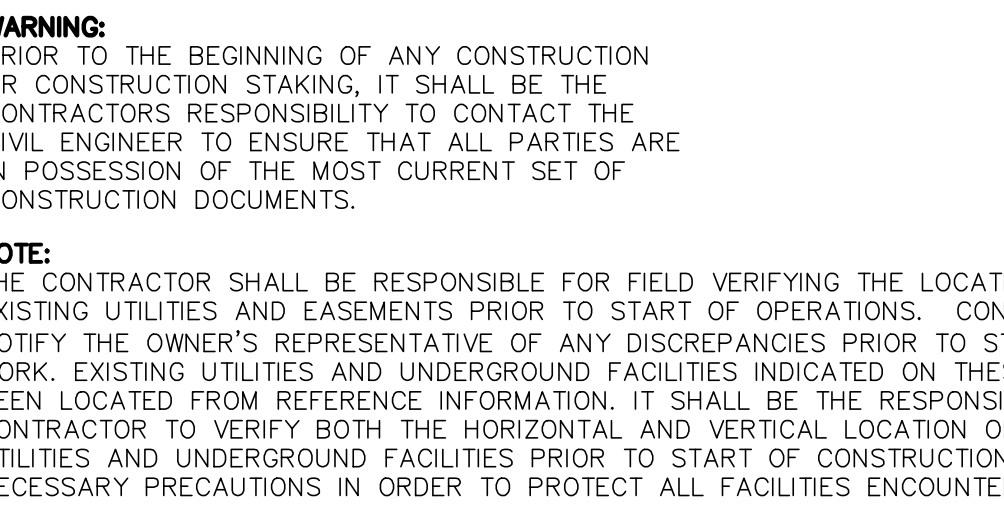
PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=40' sheet: C101



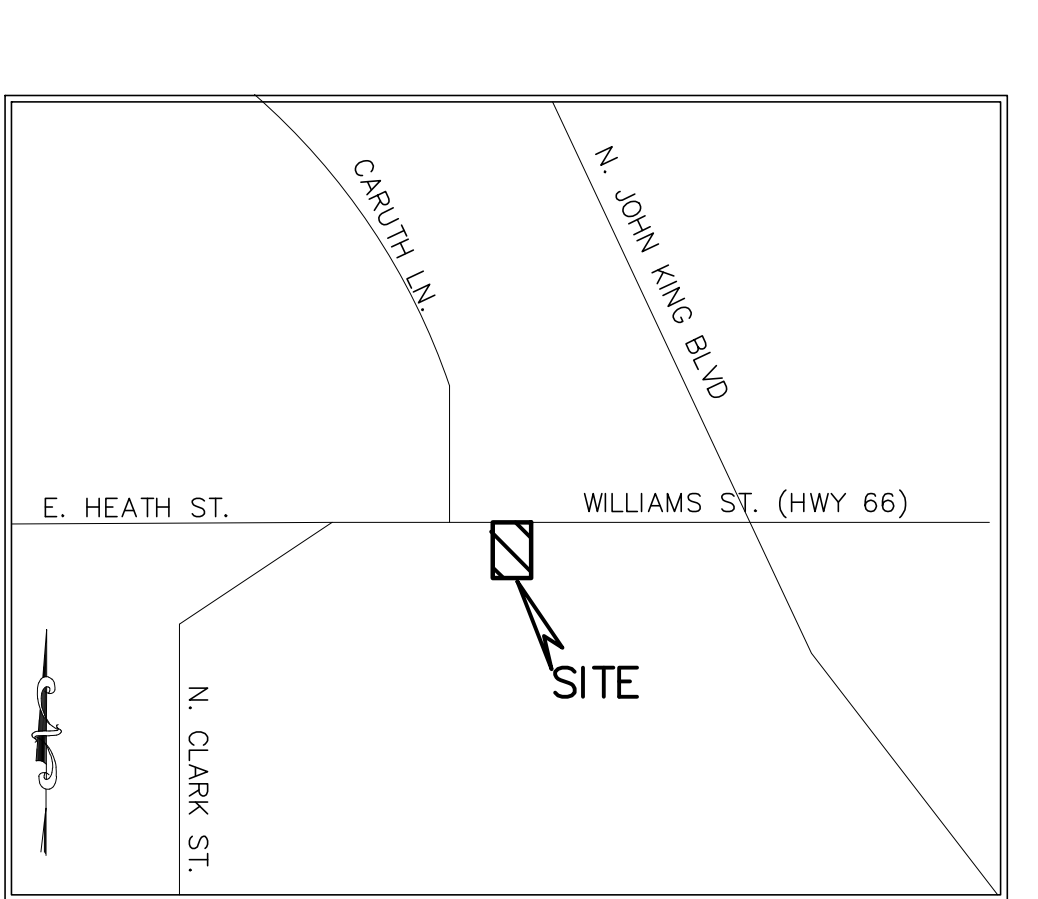
WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA: 8,869 Acres, 386,333.64 sq.ft.
 LOT COVERAGE: 7.6%
 FLOOR TO AREA RATIO: 13.16:1
 PROP. BUILDING AREA #1: 14,196 sq.ft.
 Clinic 5,324 sq.ft.
 Office 2,934 sq.ft.
 Pantry 5,938 sq.ft.
 PROP. BUILDING AREA #2: 8,000 sq.ft.
 Storage 6,500 sq.ft.
 Retail 1,500 sq.ft.
 EXIST BUILDING AREA: 13,265 sq.ft.
 CONSTRUCTION TYPE: IIB & IV
 BUILDING HEIGHT: 1 Story 36' MAX
 PROPOSED FUTURE USE: Office, Clinic, Storage
IMPERVIOUS AREA (including buildings): 107,487 sq.ft.
 Exist: 86,016 sq.ft.
 New: 21,471 sq.ft.
ZONING: C
PARKING:
 Required: 62
 Clinic 1/200 sf=27
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Storage 1/1000 sf=7
 Retail 1/250 = 6
 Handicap = 2
 Provided:
 Standard = 77
 Handicapped = 4
 Total Provided = 81
FIRESPRINKLER: Yes



- PAVING NOTES:**
- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

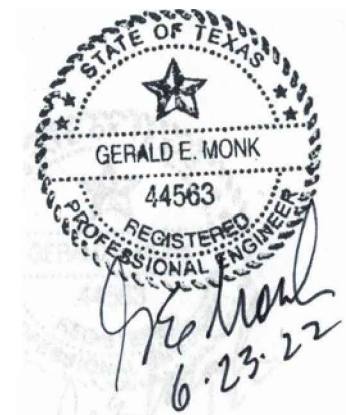
**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #: SP2022-041

SITE PLAN BLDG #1 P&Z

HELPING HANDS

990 & 948 Williams St. (SH66)
 WAGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087

Helping Hands
 Contact: 972-771-1655

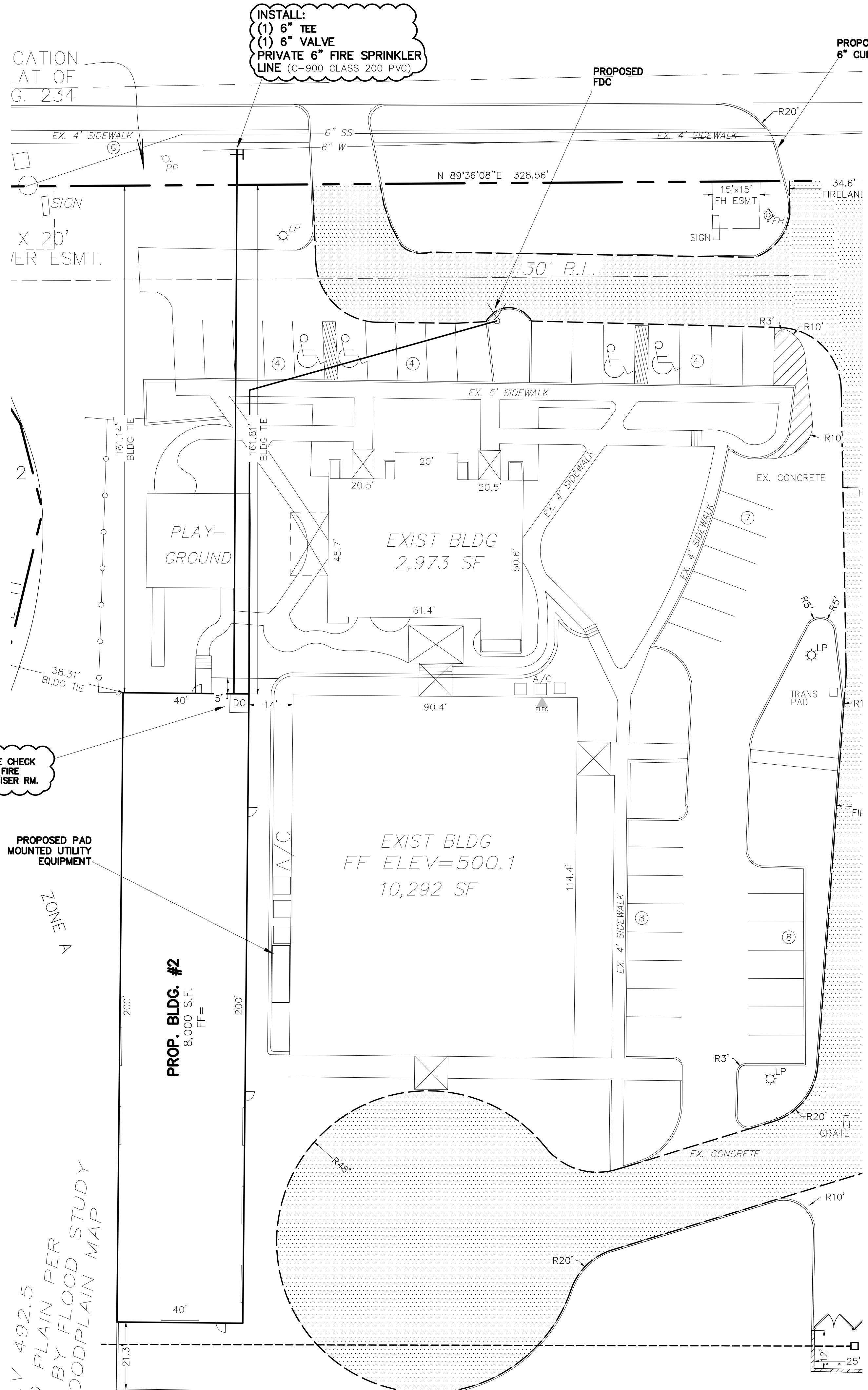
prepared by

MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C101A

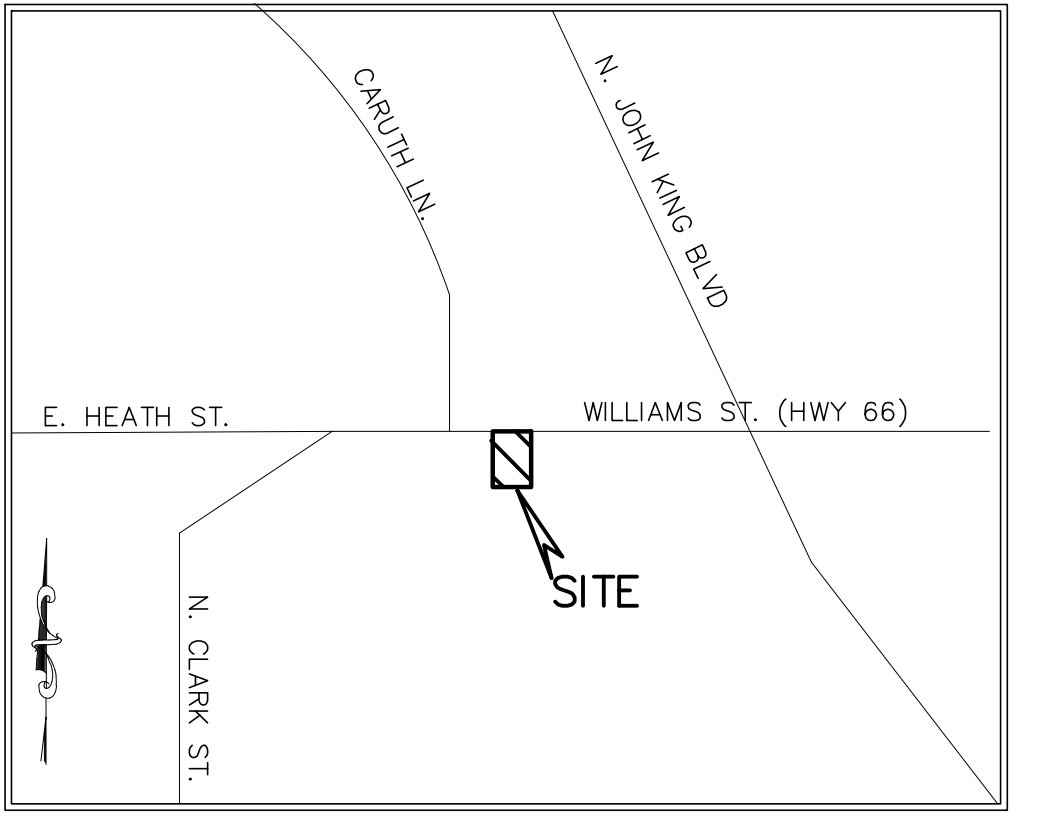
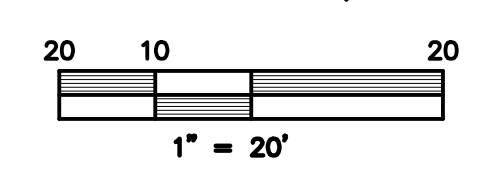


INSTALL:
 (1) 6" TEE
 (1) 6" VALVE
 PRIVATE 6" FIRE SPRINKLER LINE (C-900 CLASS 200 PVC)

INSTALL DOUBLE CHECK ASSEMBLY FOR FIRE SPRINKLER IN RISER RM.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA:
 8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
 7.6%
FLOOR TO AREA RATIO:
 13.16:1
PROP. BUILDING AREA #1: 14,196 sq.ft.
 Clinic 5,324 sq.ft.
 Office 2,934 sq.ft.
 Pantry 5,938 sq.ft.
PROP. BUILDING AREA #2: 8,000 sq.ft.
 Storage 6,500 sq.ft.
 Retail 1,500 sq.ft.
EXIST BUILDING AREA:
 13,265 sq.ft.
CONSTRUCTION TYPE:
 IIB & IV
BUILDING HEIGHT:
 1 Story 36' MAX
PROPOSED FUTURE USE:
 Office, Clinic, Storage
IMPERVIOUS AREA (including buildings):
 107,487 sq.ft.
 Exist: 86,016 sq.ft.
 New: 21,471 sq.ft.
ZONING:
 C
PARKING:
 Required: 62
 Clinic 1/200 sf=27
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Storage 1/1000 sf=7
 Retail 1/250 = 6
 Handicap = 2
 Provided:
 Standard= 77
 Handicapped = 4
 Total Provided = 81
FIRESPRINKLER:
 Yes

VICINITY MAP NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- PROP. ⊕ = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

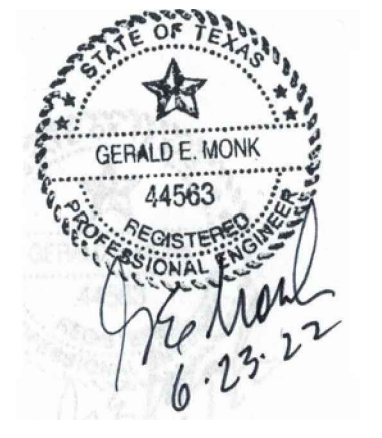
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

LEV 492.5
 FLOOD PLAIN PER
 FLOODPLAIN MAP

PROJECT #: SP2022-041

SITE PLAN BLDG #2 P&Z

HELPING HANDS

990 & 948 Williams St. (SH66)
 WAGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087

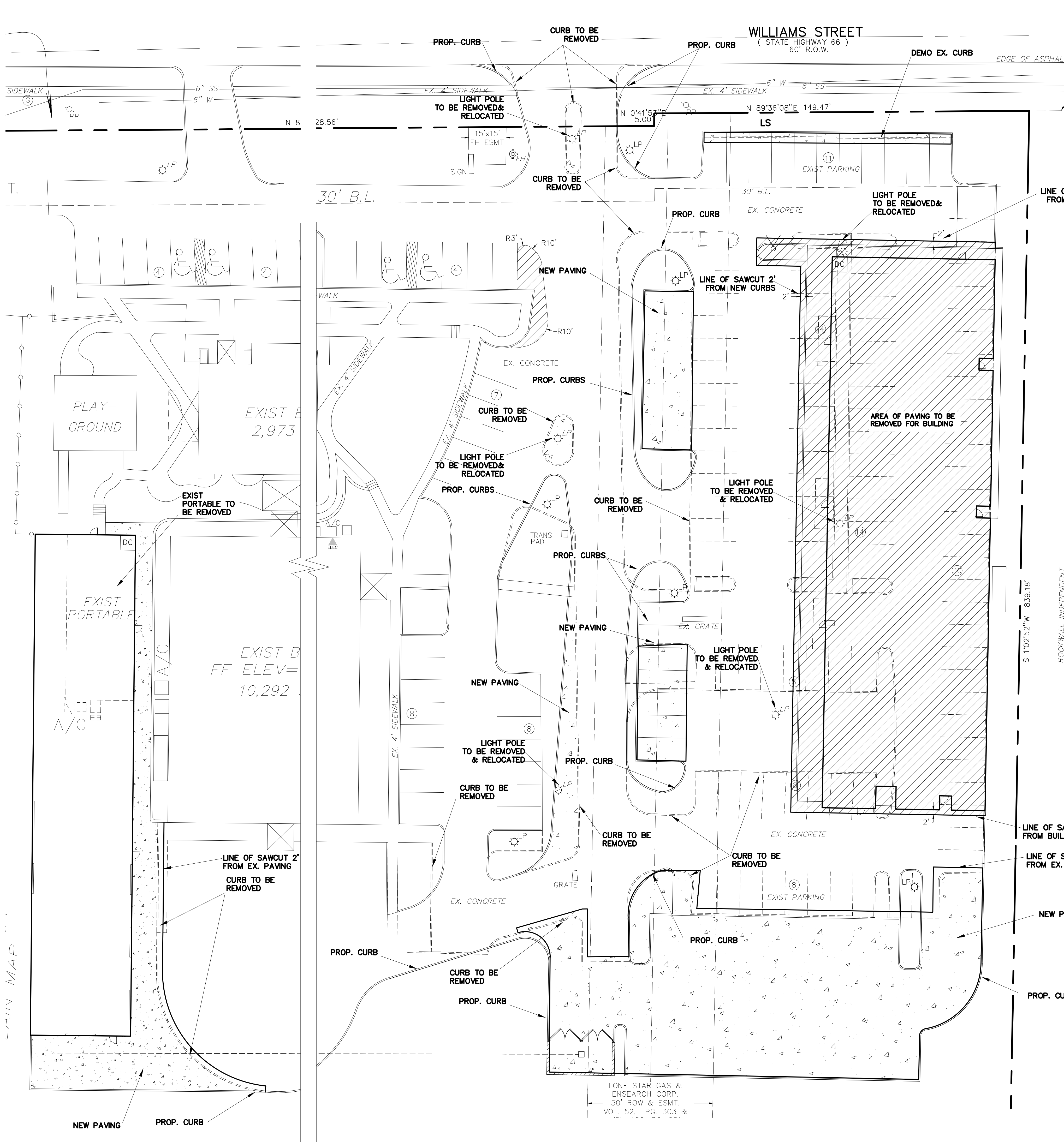
owner
Helping Hands
 Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

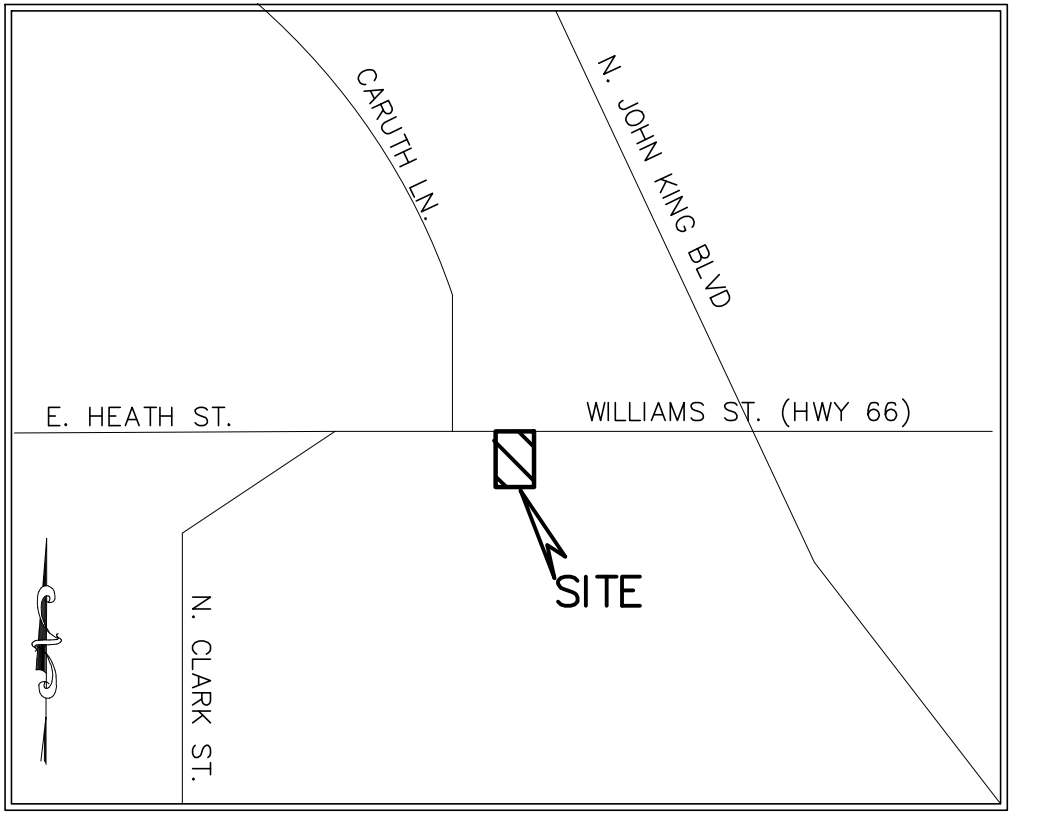
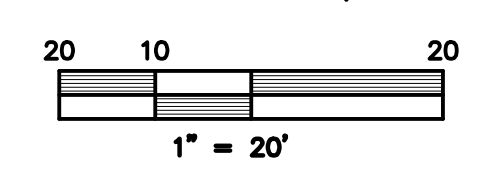
PROJECT NO.: 2022-6 REG. NO.: F-2567

date: 6/23/22 scale: 1"=20' sheet: C101B



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ S = EXISTING SS MANHOLE
- ⊕ T = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Hatched Box] = PAVING TO BE REMOVED
- [Dotted Box] = PROPOSED PAVING

- PAVING NOTES:**
- FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

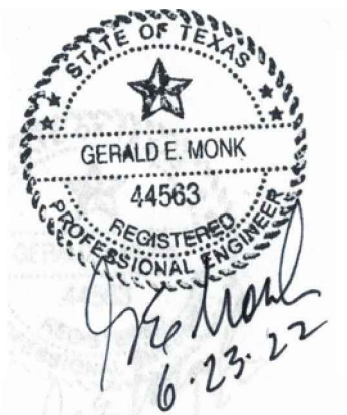
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



REVISIONS

PROJECT #: SP2022-041

DEMO & PAVING PLAN
HELPING HANDS

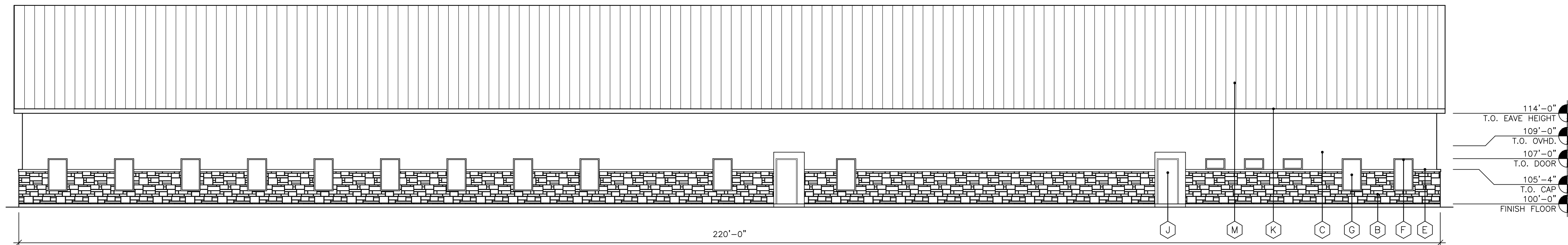
990 & 948 Williams St. (SH66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087
owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

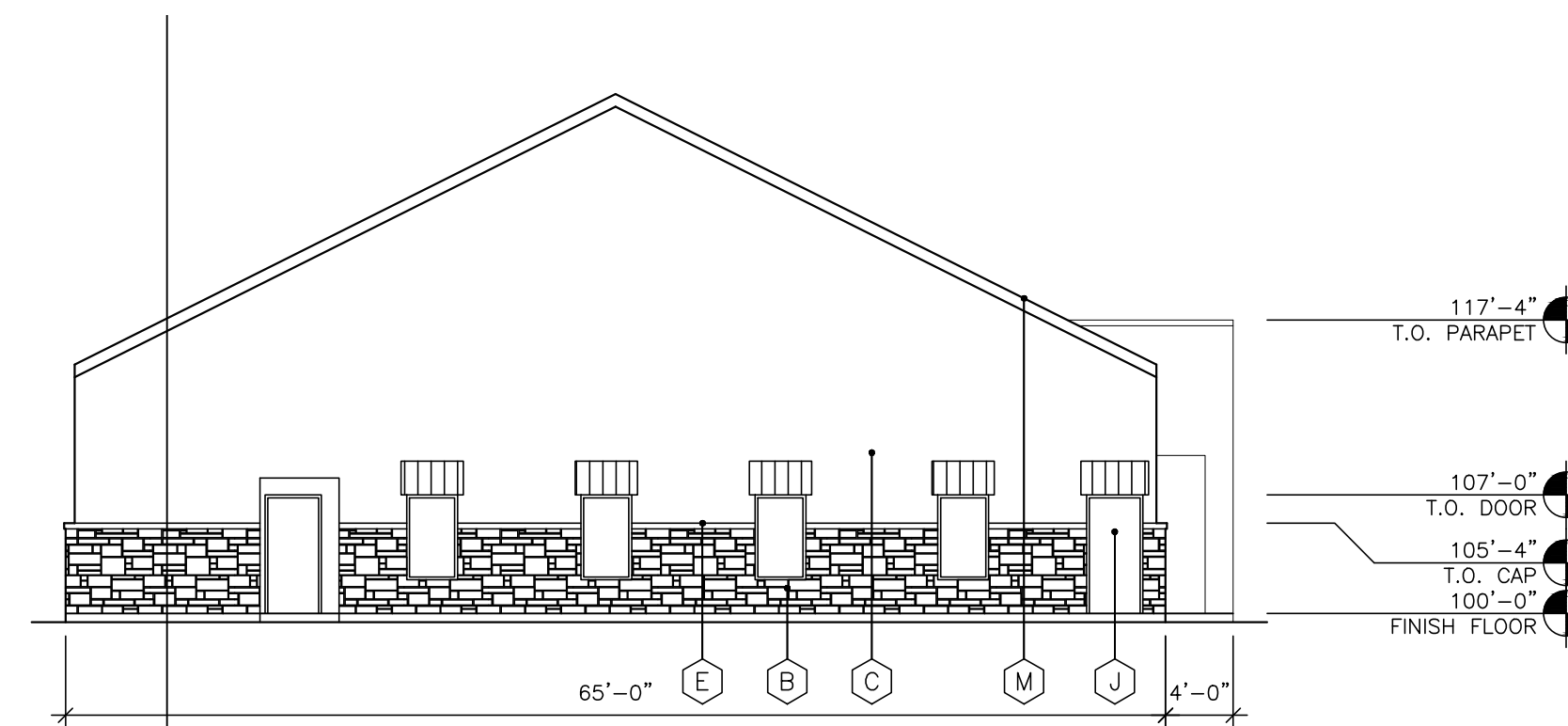
PROJECT NO.:	date:	scale:	sheet:
2022-6	6/23/22	1"=20'	C102

MAIN MAP - 1



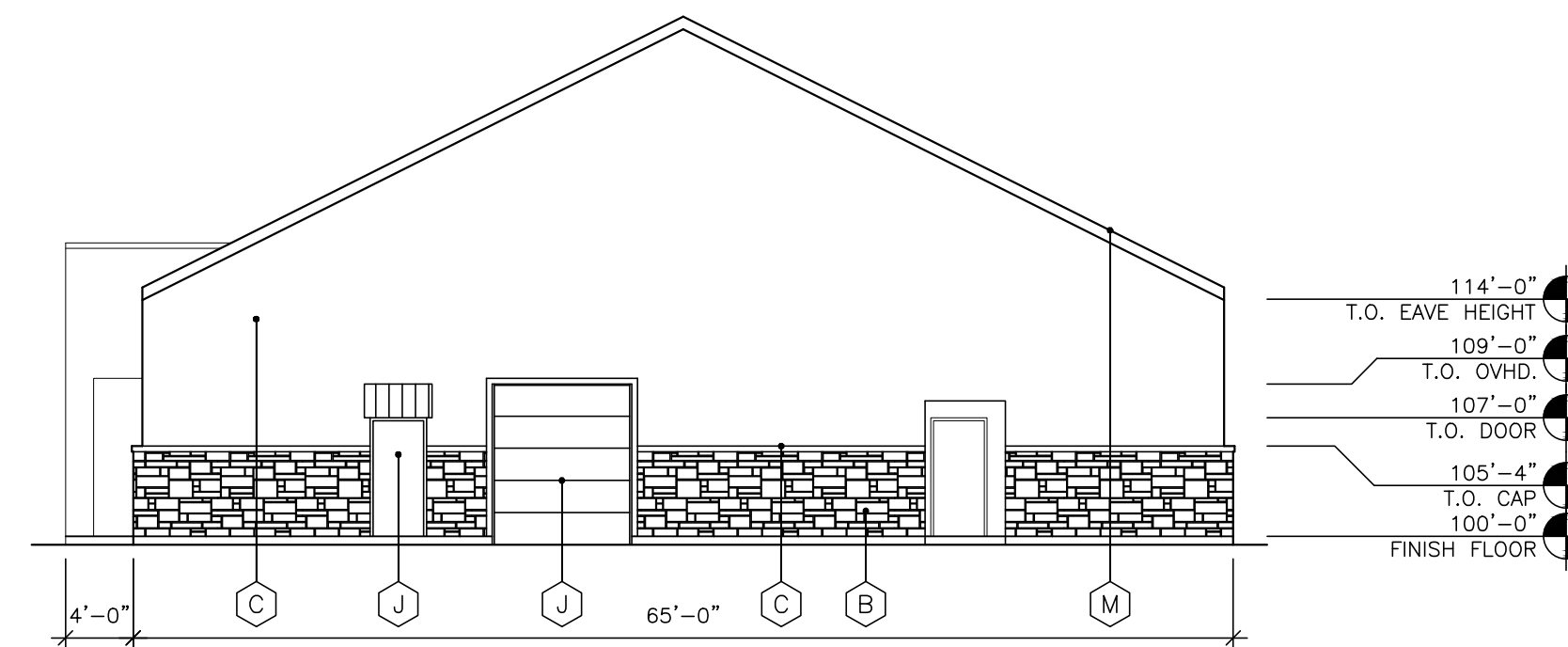
STONE	-	936 S.F.	-	33.7 %
STUCCO	-	1,843 S.F.	-	66.3 %
TOTAL	-	2,779 S.F.	-	100.0 %

4 EAST ELEVATION
SCALE: 3/32" = 1'-0"



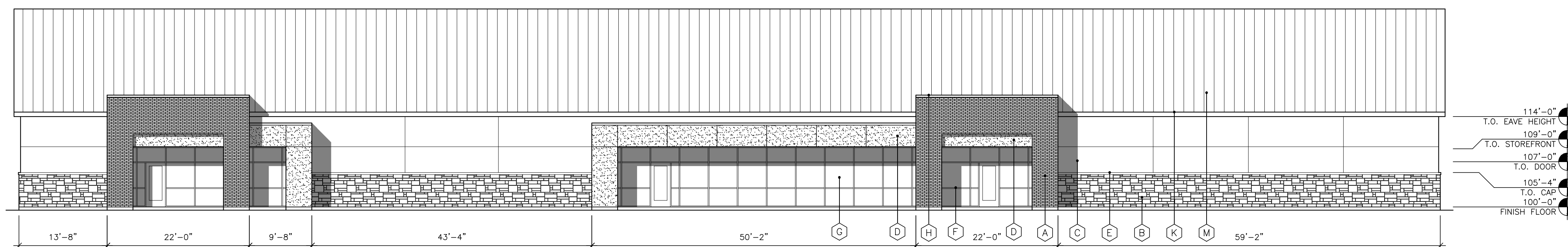
STONE	-	292 S.F.	-	21.5 %
STUCCO	-	1,067 S.F.	-	78.5 %
TOTAL	-	1,359 S.F.	-	100.0 %

3 NORTH ELEVATION - ADJACENT R.O.W.
SCALE: 3/32" = 1'-0"



STONE	-	255 S.F.	-	20.2 %
STUCCO	-	1,006 S.F.	-	79.8 %
TOTAL	-	1,261 S.F.	-	100.0 %

2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



BRICK	-	525 S.F.	-	20.5 %
STONE	-	581 S.F.	-	22.7 %
STUCCO	-	1,449 S.F.	-	56.8 %
TOTAL	-	2,555 S.F.	-	100.0 %

1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	ACME BRICK, FIELD COLOR, QUORUM MFG: ACME SEALANT - BASE - MEDIUM BRONZE
B	STONE, ROUGH FACE, COLOR - GRANDBURY CHOPPED 4 SIDES MORTAR/SEALANT - BASE, COLOR - TAN
C	FIELD STUCCO 3-COAT SYSTEM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7506 LOGGIA
D	ACCENT STUCCO 3-COAT SYSTEM TRIM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7036 ACCESSIBLE BEIGE
E	CAST STONE CAP - TO MATCH STONE COLOR
F	STOREFRONT & DOORS, COLOR - DARK BRONZE
G	EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR - 10% TINTED, GRAY
H	PREFINISHED METAL COPING, COLOR - TO MATCH ROOF
J	EXTERIOR HOLLOW METAL DOOR/OVERHEAD DOOR PAINTED - SW7520 DARK BROWN
K	PREFINISHED ROOF GUTTER & DOWNSPOUTS, COLOR - TO MATCH STUCCO
L	DECORATIVE LIGHTING - EXTERIOR SCONCE, LIGHTING SELECTED BY OWNER
M	STANDING SEAM METAL, MFG - PAC-CLAD; CEE - LOCK, COLOR - GRANITE

NOTE: PROVIDE 26 GA. METAL FOR ALL FLASHING, GUTTERS & DOWNSPOUTS WITH SPLASH BLOCKS

ISSUE:	
CITY SUBMITTAL:	07-15-2022
CITY COMMENTS:	08-01-2022

COPYRIGHT NOTICE:
The information contained herein is the property of Carroll Architects, Inc. and is to be used only for the project and site identified herein. Any reproduction or use of this information without the written consent of Carroll Architects, Inc. is prohibited. As amended January 2008. The protection of this information is the responsibility of the user. Under no circumstances may this information be used for any other project or building without the written consent of Carroll Architects, Inc. or its monetary liability.

NEW FACILITY FOR
HELPING HANDS
950 Williams St. (SH 66)
Rockwall, Texas 75087

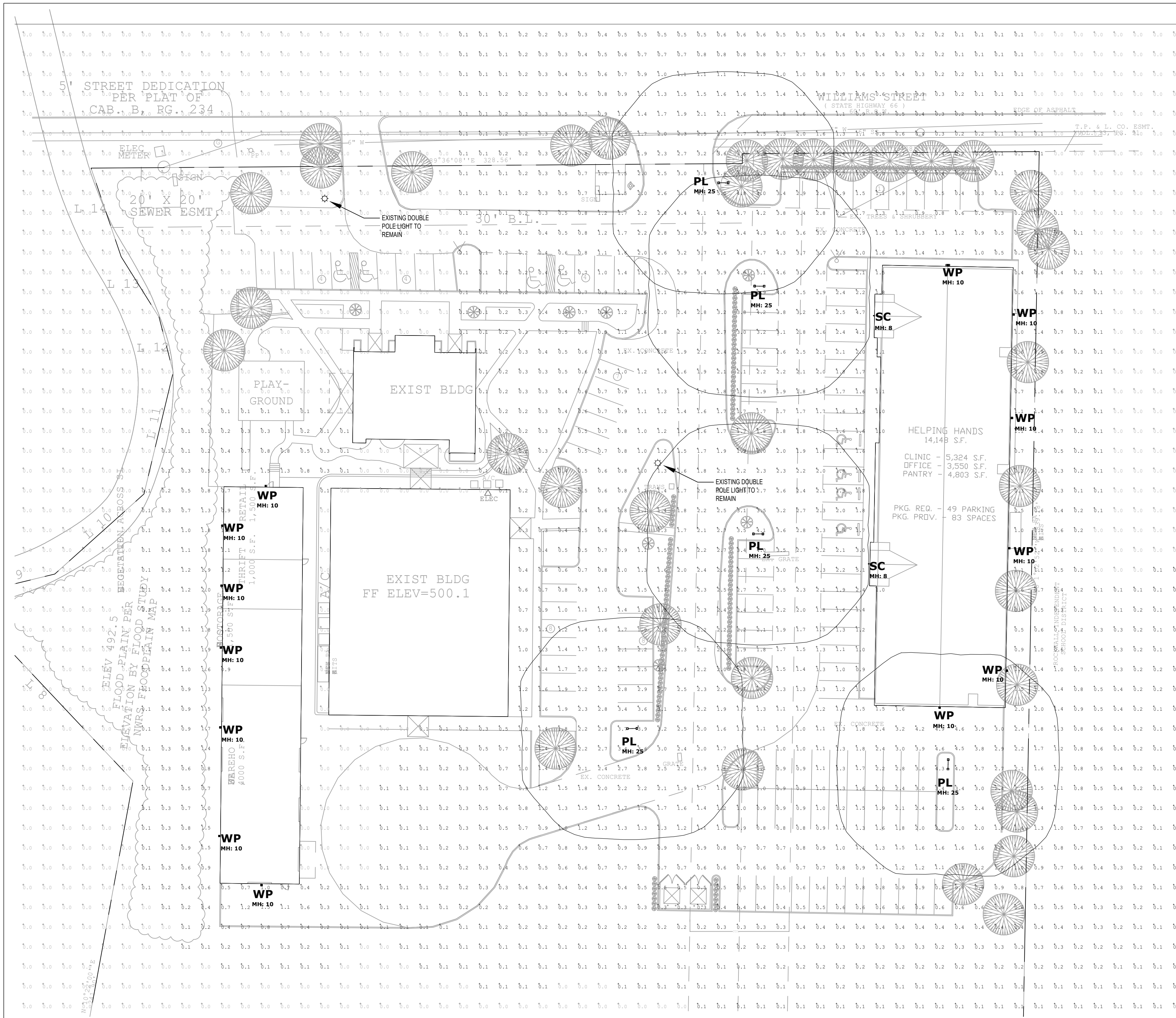
HELPING HANDS	
LEGAL DESCRIPTION AND OR ADDRESS: 950 WILLIAMS ST. (SH 66) WAGGONER GARDENS INC. ADDITION BLOCK A, LOT 1, 8.869 ACRES. (REPLAT) CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER Helping Hands 950 Williams St. (SH 66) Rockwall, TX 75087 P: 972-771-1655	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-041	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.	
WITNESS OUR HANDS, this _____ day of _____, 2022.	
Planning & Zoning Commission, Chairman	
Director of Planning and Zoning	

CARROLL
architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR ELEVATIONS

DATE:	MAR 2022	SHEET NO.:	A501
PROJECT NO.:	2022006		
DRAWN BY:			
CHECKED BY:			





Calculation Summary						
Calculation Grid Location	Units	Avg	Max	Min	Avg/Min	Calc Height (ft)
GROUND_Planar	Fc	0.69	5.1	0.0	N.A.	0

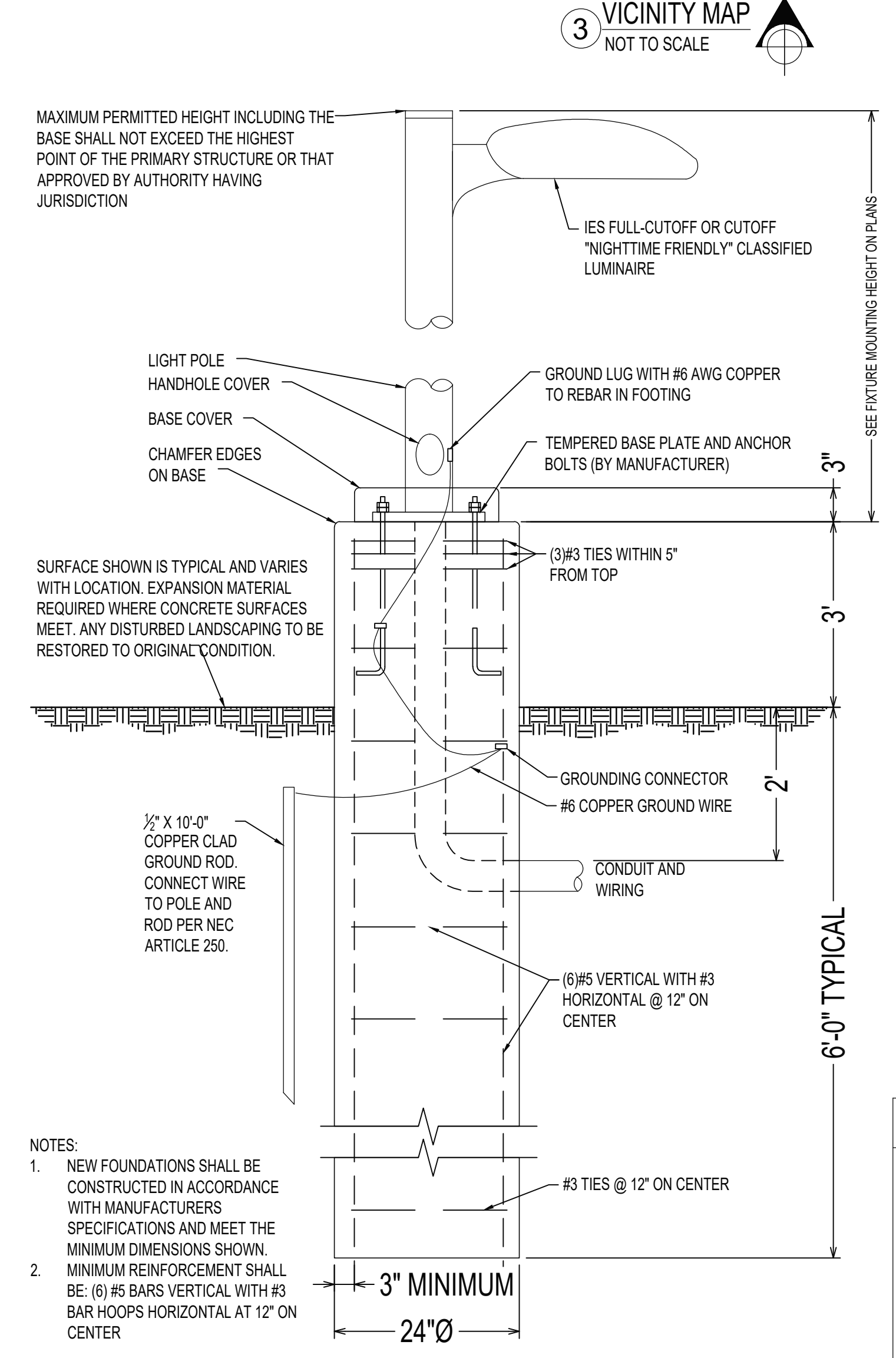
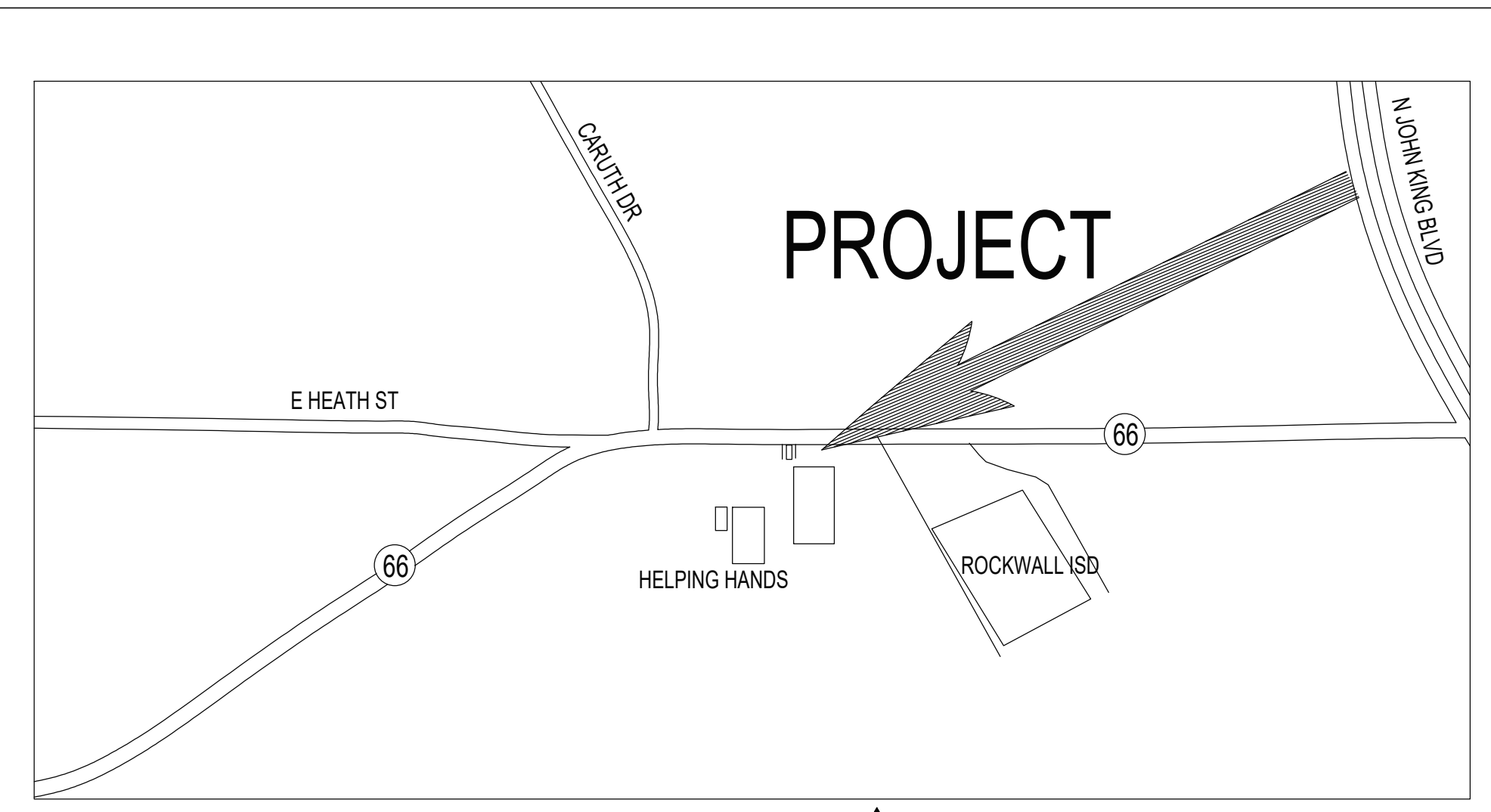
EXTERIOR LIGHT FIXTURE SCHEDULE								
MARK	SYMBOL	EXTERIOR FIXTURE	DESCRIPTION	MH ¹	LUMENS	QTY.	WATTS ²	TOTAL WATTS
PL		DOUBLE POLE LIGHT	(QTY 2) LITHONIA DSX1 LED P6 40K T5W MVOLT	25'	39266	5	326	1630
SC		SCONCE	LUMINIS SY002-L2L15-R55	8'	2018	2	19	38
WP		WALLPACK	LITHONIA WDGE2 LED P2 40K 80CRI T4M	10'	3408	13	31	403
TOTAL EXTERIOR WATTAGE							2071	
TOTAL ALLOWABLE EXTERIOR WATTAGE PER CURRENTLY ADOPTED IECC							PASSES	

* ALL FIXTURES SPECIFIED AT 120V-1PH.
 * OWNER, TENANT OR ARCHITECT MAY CHANGE EQUIPMENT MANUFACTURER OR USE EXISTING EQUIPMENT AS APPLICABLE, BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
 * CONTRACTOR TO VERIFY ALL FIXTURES WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
 * CONTACT MARK SCHULEN WITH ALA FOR MORE INFORMATION ABOUT UNITS SPECIFIED: 214-658-9000.

CONTRACTOR NOTES:
 1. ELECTRICAL CONTRACTOR TO PROVIDE PHOTOELECTRIC CONTROLS OR TIMER AND MOUNTING ARM OR POLES AS REQUIRED FOR EXTERIOR BUILDING AND SITE LIGHTING.

CONTRACTOR RESPONSIBILITIES
 CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO ENGINEER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER.

NOTE: BID INTENT
 THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.



- NOTES:**
 1. NEW FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND MEET THE MINIMUM DIMENSIONS SHOWN.
 2. MINIMUM REINFORCEMENT SHALL BE: (6) #5 BARS VERTICAL WITH #3 BAR HOOPS HORIZONTAL AT 12" ON CENTER

SITE PHOTOMETRIC NOTES
 1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.
 2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT.
 3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN ADJACENT PROPERTIES.
 4. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E1.0.

ELECTRICAL LIGHTING NOTES
 1. ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS.
 2. ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL.
 3. OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE.
 4. CONTRACTOR TO CONTACT UNDERSIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

MEP GENERAL NOTES
 1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
 2. CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO PURCHASE AND INSTALLATION.
 3. REVIEW PLAN SHEET "MEP" - MEP NOTES' PRIOR TO BIDDING, PERMITTING, AND CONSTRUCTION.
 4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.
 5. SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
 6. SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
 7. WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
 8. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
 9. DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE OR ARE SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.

TEXAS FIRM F-16469

AME Engineering, Inc.
 mail@ameengineer.com | fax 817-653-4122 | fax 817-754-6615
 3825 W Green Oaks Blvd Suite 200, Arlington TX 76016-2700

Jessica Kilgore
 JESSICA J. KILGORE
 106106
 LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by Jessica J. Kilgore, P.E. 106106 on AUGUST 02, 2022.

HELPING HANDS OFFICE AND CLINIC FACILITIES
 950 WILLIAMS ST
 ROCKWALL TX 75087

CONTACT NAME: JEFF CARROLL
 CONTACT COMPANY: CARROLL ARCHITECTS
 CONTACT PHONE: 972-732-6085
 ISSUE:
 PERMIT REVIEW SET 08-02-2022

SHEET REVISIONS

PRINTED	8/20/2022 2:11 PM
DESIGNED	BMT
CHECKED	JKK
IBC	2015
IECC/ASHRAE	2015
NEC	2014
SCALE	1:30

SITE PHOTOMETRIC LIGHTING PLAN
 E1.1
 PROJECT 1737



August 10, 2022

TO: Jeff Carroll
Carroll Architects, Inc.
750 E Interstate 30
Suite 110
Rockwall, TX 75087

CC: Jon Bailey
950 Williams Street
Rockwall, TX 75087

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-041; *Site Plan for Helping Hands*

Jeff:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on August 9, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant will need to submit and receive approval for an updated *Photometric Plan* showing conformance to the lighting standards set forth in the Unified Development Code (UDC) prior to submitting civil engineering plans.
- (1) The applicant will need to submit and receive approval for an updated *Landscape Plan* showing conformance to the screening requirements for the new pad-mounted AC units utilizing plantings or berms as set forth in the Unified Development Code (UDC) prior to submitting civil engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

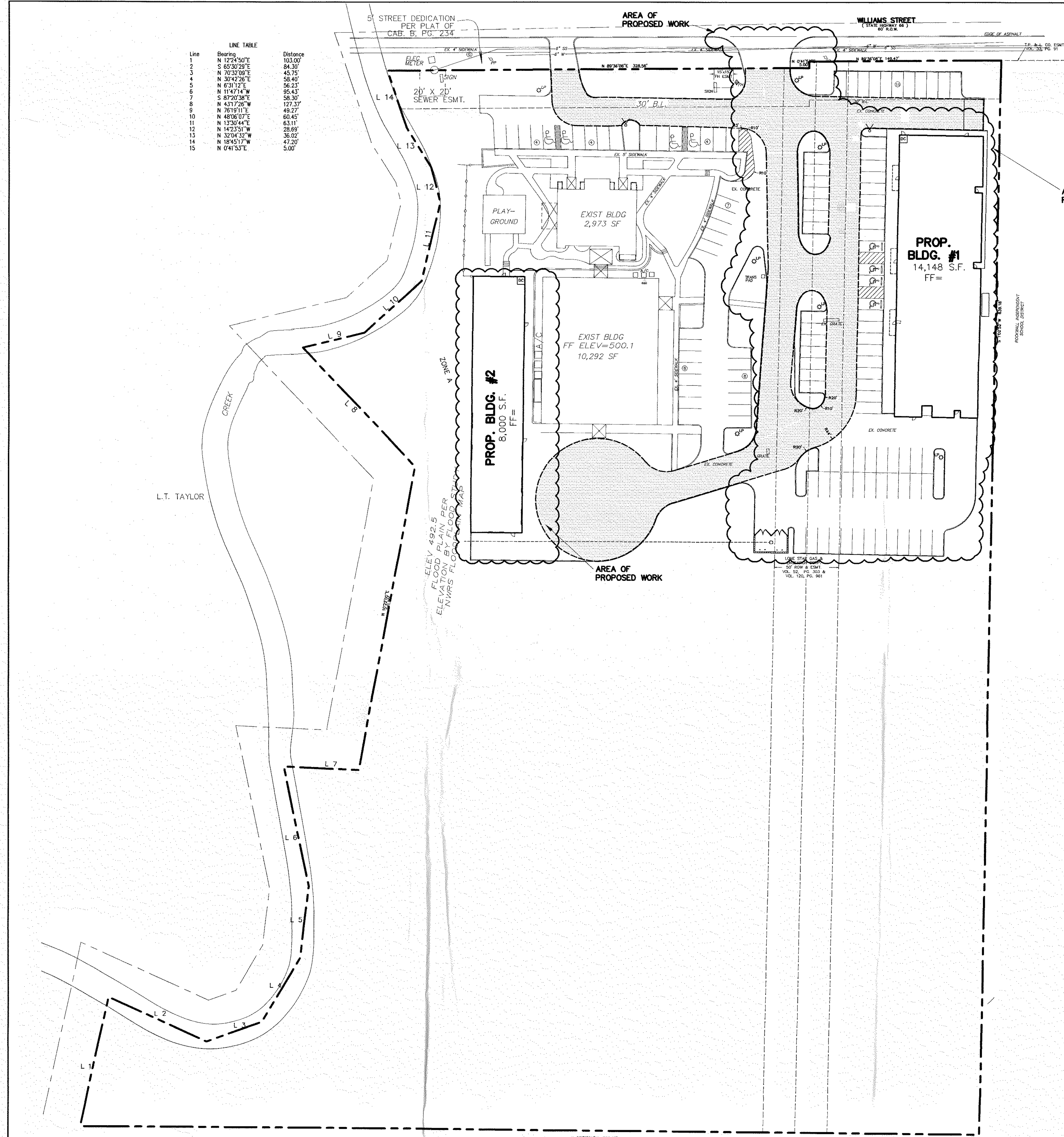
On August 9, 2022, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 7-0.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 771-6488.

Sincerely,

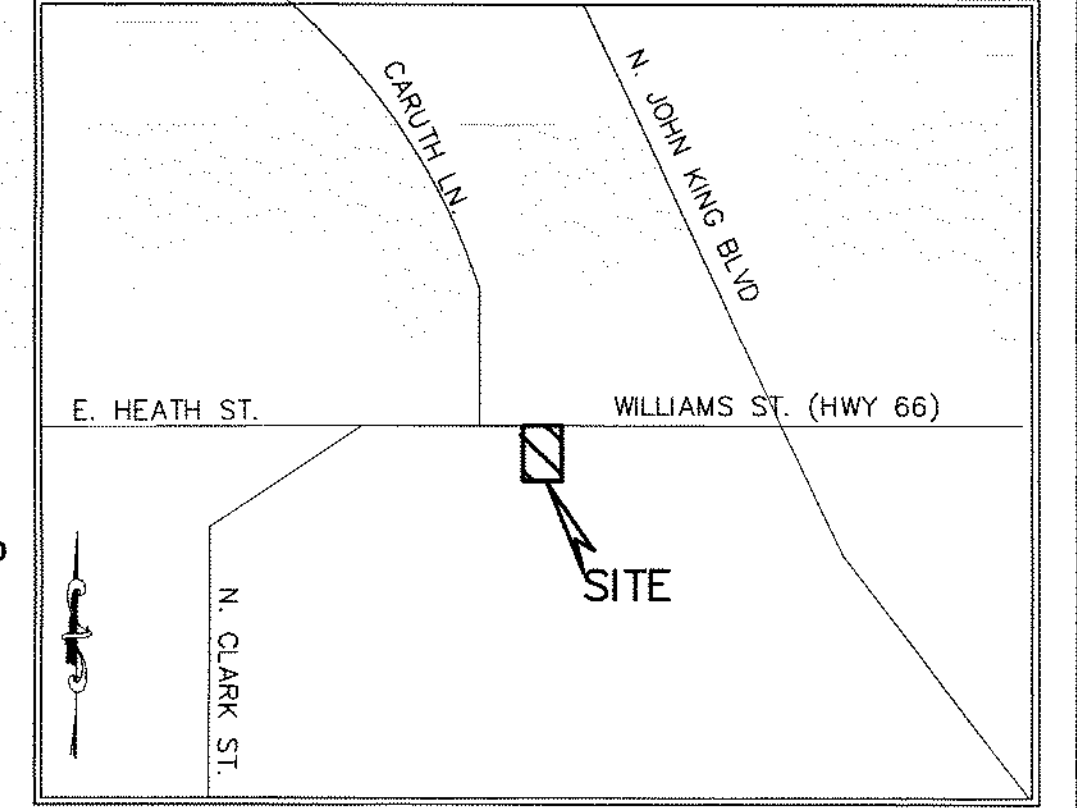
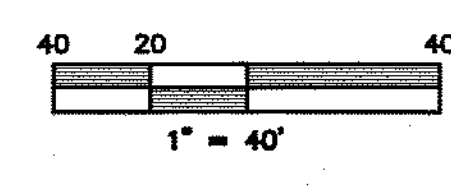
Bethany Ross, *Planner*
City of Rockwall Planning and Zoning Department

Line	Bearing	Distance
1	N 12°45'00"E	103.00'
2	S 85°30'29"E	84.30'
3	N 10°33'08"E	45.75'
4	N 30°42'26"E	58.40'
5	N 6°31'12"E	56.23'
6	N 14°17'14"W	55.43'
7	S 87°20'36"E	58.30'
8	N 43°17'26"W	127.37'
9	N 8°19'11"E	49.27'
10	N 48°06'07"E	60.45'
11	N 13°30'44"E	63.11'
12	N 14°23'51"W	28.89'
13	N 32°04'32"W	36.02'
14	N 18°45'17"W	47.20'
15	N 0°41'53"E	5.00'



SITE DATA:

LOT AREA:
8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
7.6%
FLOOR TO AREA RATIO:
13.16:1
PROP. BUILDING AREA #1: 14,148 sq.ft.
Clinic 5,324 sq.ft.
Office 3,550 sq.ft.
Pantry 4,803 sq.ft.
PROP. BUILDING AREA #2:
Storage 8,000 sq.ft.
EXIST BUILDING AREA:
13,265 sq.ft.
CONSTRUCTION TYPE:
IIB & IV
BUILDING HEIGHT:
1 Story 36' MAX
PROPOSED FUTURE USE:
Office, Clinic, Storage
IMPERVIOUS AREA
(including buildings):
107,487 sq.ft.
Exist: 86,016 sq.ft.
New: 21,471 sq.ft.
ZONING:
C
PARKING:
Required: 57
Clinic 1/200 sf=27
Office 1/300 sf=12
Pantry 1/500 sf=10
Storage 1/1000 sf=8
Handicap =2
Provided:
Standard= 77
Handicapped =4
Total Provided = 81
FIRESPRINKLER:
Yes



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ S = EXISTING SS MANHOLE
- ⊕ T = EX. TELEPHONE BOX
- ⊕ G = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August, 2022.

WITNESS OUR HANDS, this 28th day of September, 2022

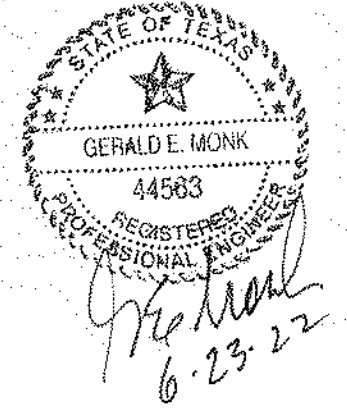
[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



REVISIONS

PROJECT #: SP2022-041

OVERALL SITE

HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

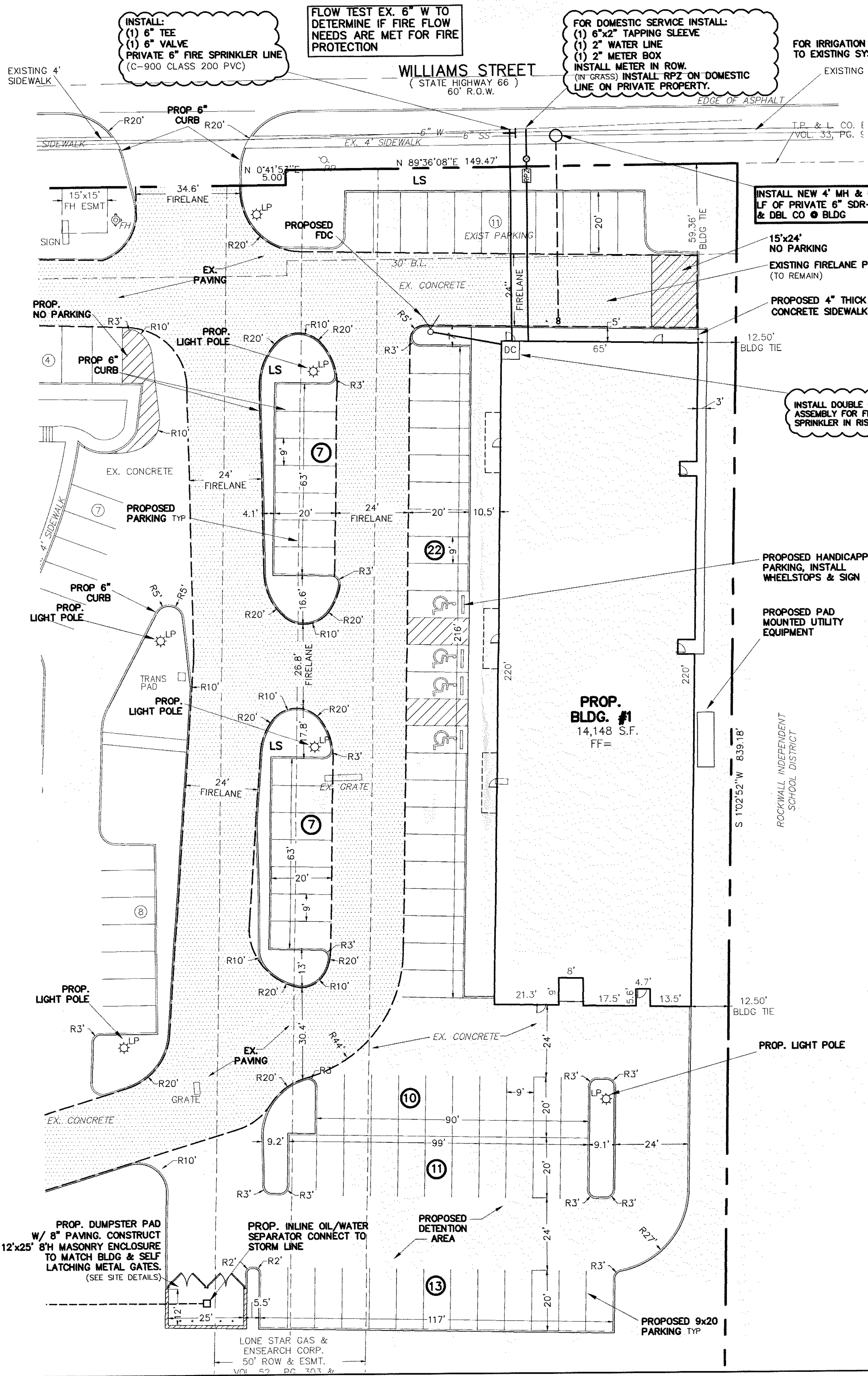
OWNER:
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1783 Fax 972 272-8761

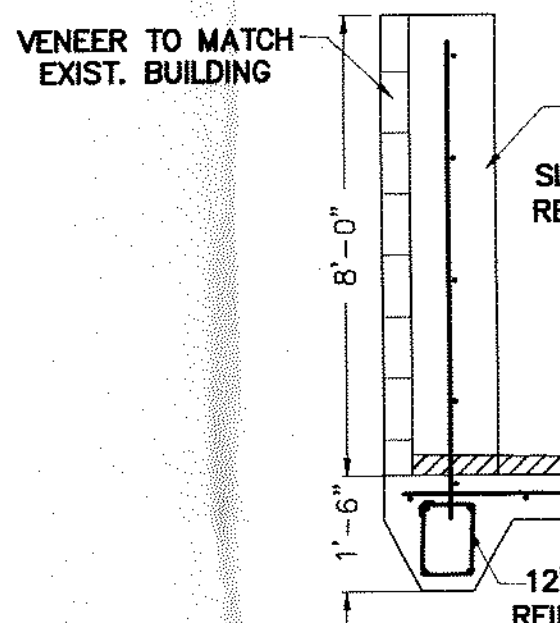
© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567

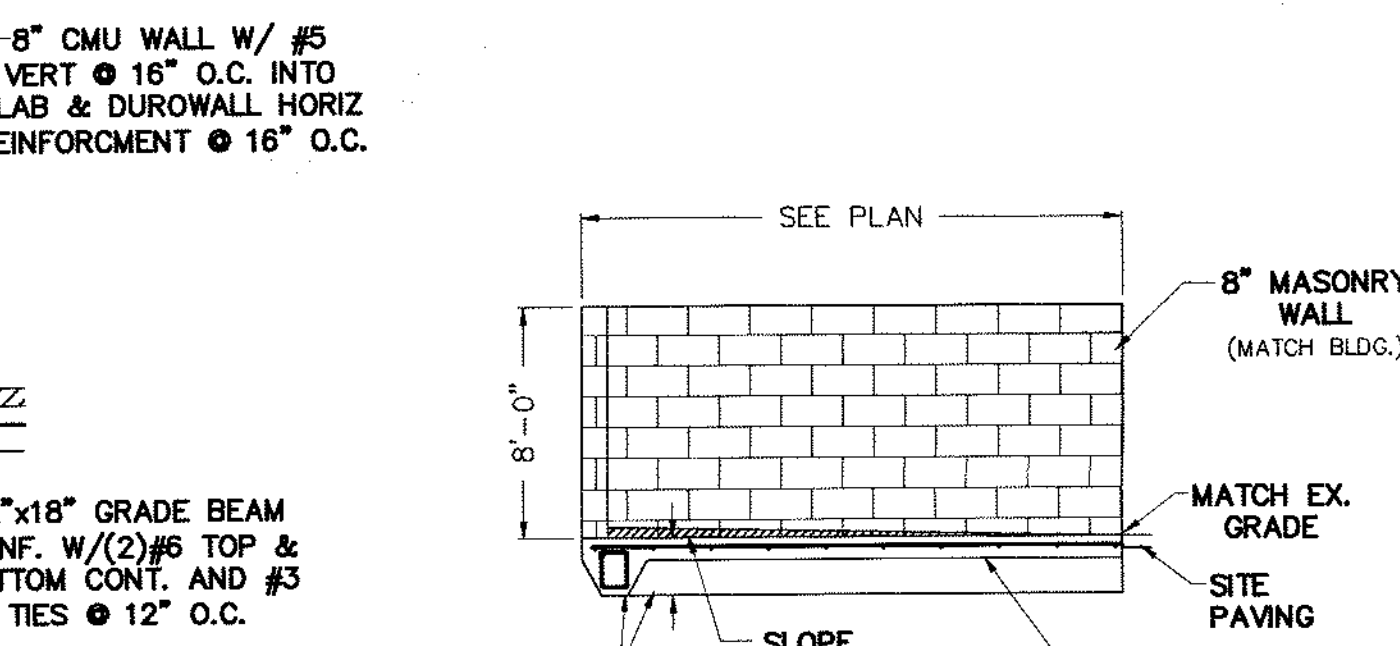
date: 6/23/22 scale: 1"=40' sheet: C101



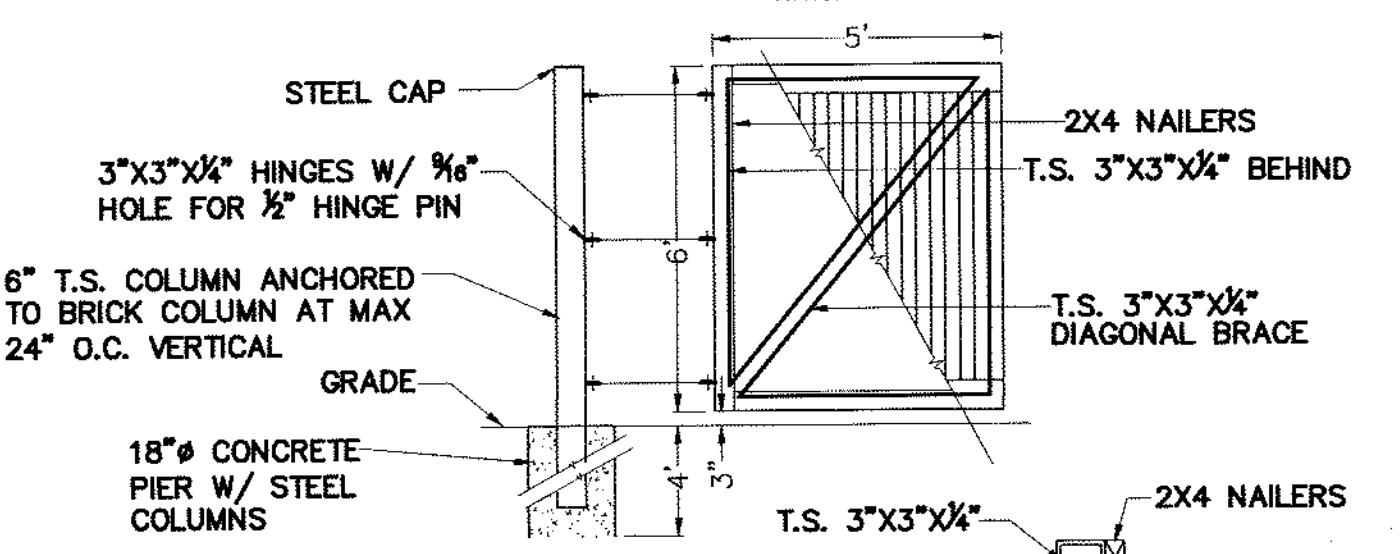
NOTE: CONTACT ATMOS GAS COMPANY PRIOR TO SETTING LOCATIONS FOR LIGHT POLES IN ATMOS EASEMENT.



DUMPSTER WALL SECTION
N.T.S.



DUMPSTER PAD DETAIL
N.T.S.



DUMPSTER GATE DETAIL
N.T.S.

- PAVING NOTES:**
- 1) FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - 2) DUMPSTER PAD TO BE 8" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
 - 6) NO SAND UNDER PAVING.

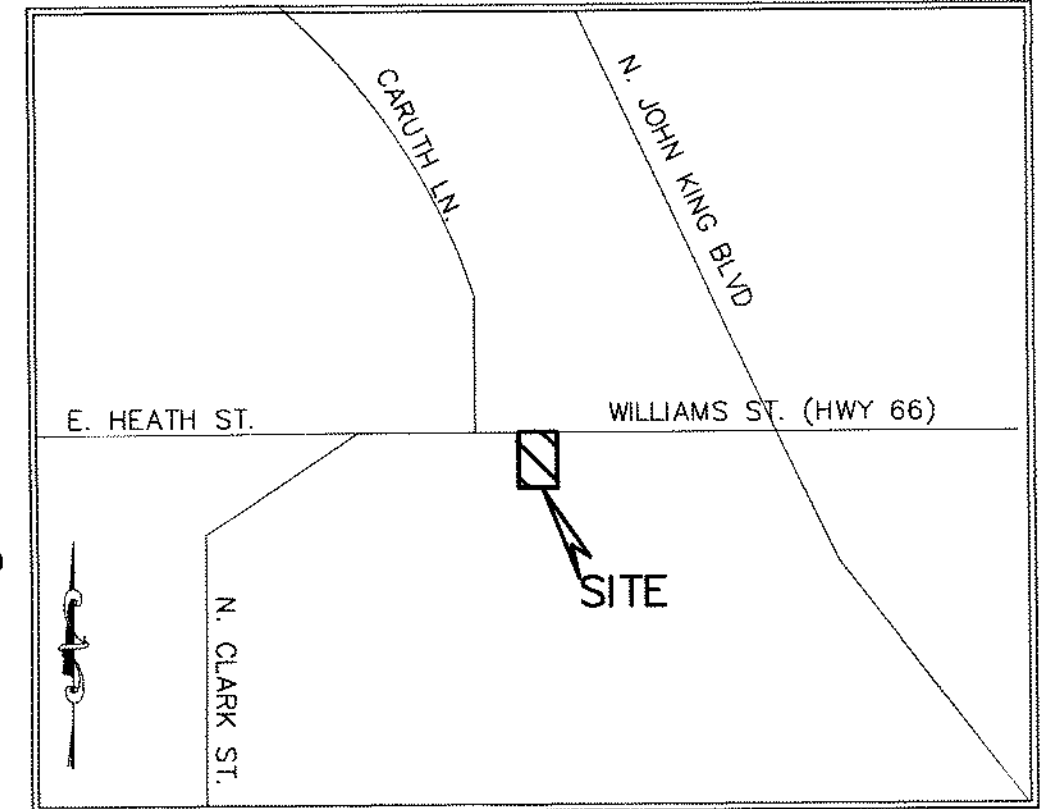
- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

SITE DATA:

LOT AREA:
8,869 Acres, 386,333.64 sq.ft.

LOT COVERAGE:
7.6%

FLOOR TO AREA RATIO:
13.16:1

PROP. BUILDING AREA #1: 14,148 sq.ft.
Clinic 5,324 sq.ft.
Office 3,550 sq.ft.
Pantry 4,803 sq.ft.

PROP. BUILDING AREA #2:
Storage 8,000 sq.ft.

EXIST BUILDING AREA:
13,265 sq.ft.

CONSTRUCTION TYPE:
IIB & IV

BUILDING HEIGHT:
1 Story 36' MAX

PROPOSED FUTURE USE:
Office, Clinic, Storage

IMPERVIOUS AREA (including buildings):
107,487 sq.ft.
Exist: 86,016 sq.ft.
New: 21,471 sq.ft.

ZONING:
C

PARKING:
Required: 57
Clinic 1/200 sf=27
Office 1/300 sf=12
Pantry 1/500 sf=10
Storage 1/1000 sf=8
Handicap = 2
Provided:
Standard = 77
Handicapped = 4
Total Provided = 81
FIRESPRINKLER:
Yes

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- TEL = EX. TELEPHONE BOX
- GM = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- C = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = EXIST FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August, 2022.

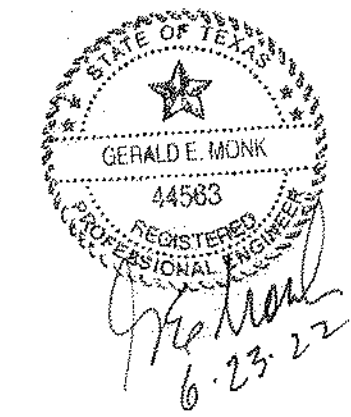
WITNESS OUR HANDS, this 28th day of September, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.



PROJECT #: SP2022-041

SITE PLAN BLDG #1 P&Z

HELPING HANDS

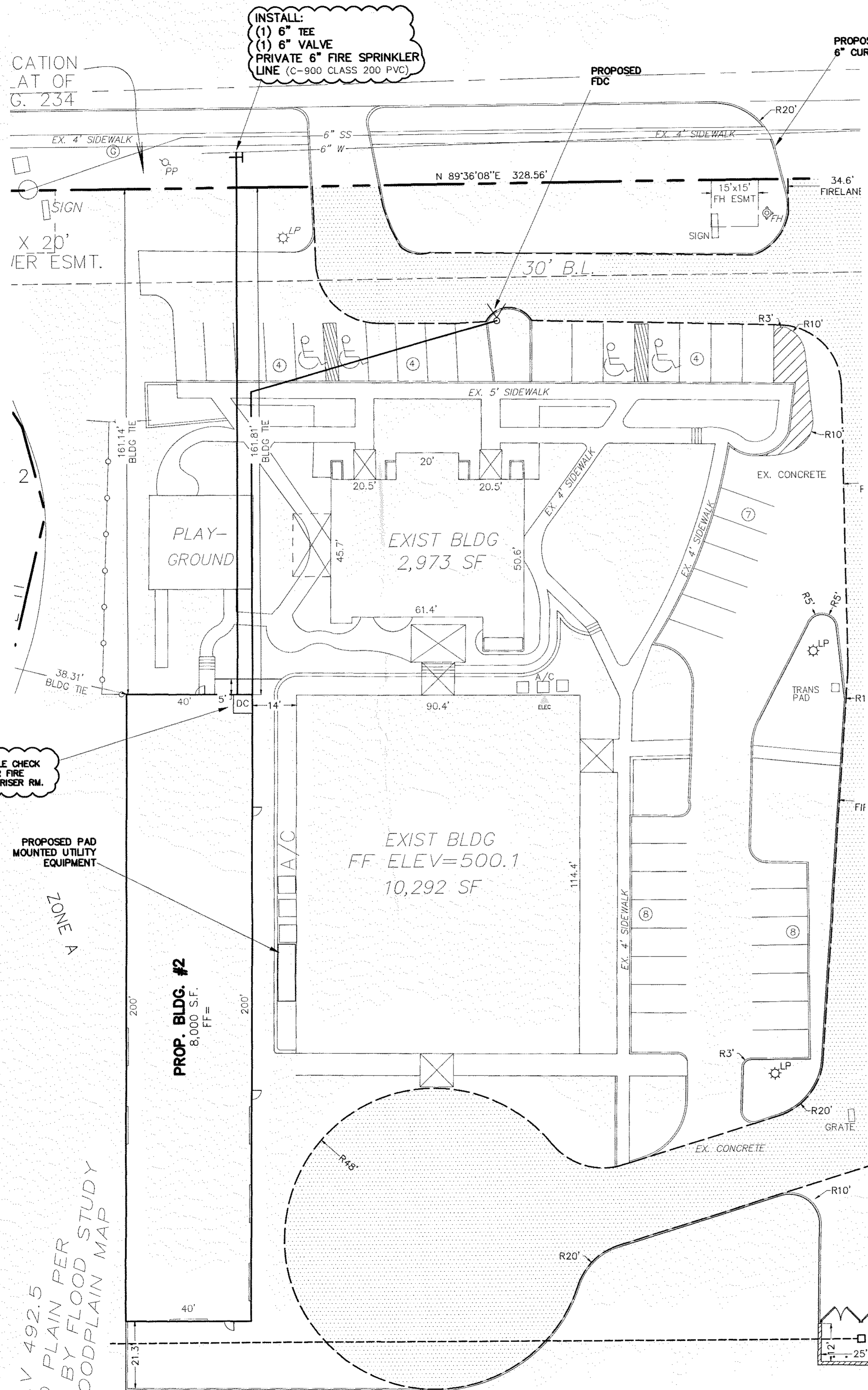
890 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6
date: 6/23/22
scale: 1"=20'
sheet: C101A

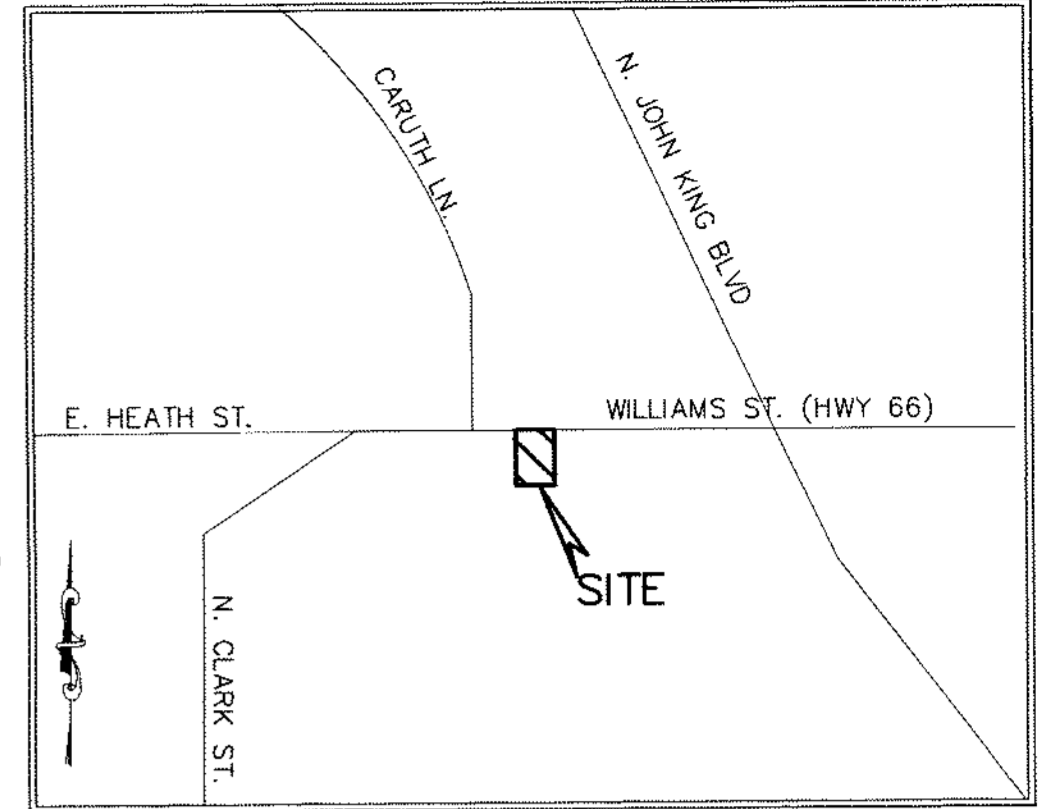
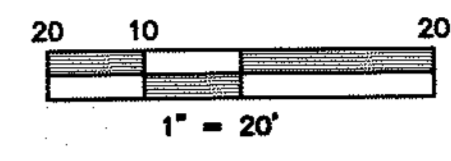


INSTALL:
 (1) 6" TEE
 (1) 6" VALVE
 PRIVATE 6" FIRE SPRINKLER
 LINE (C-900 CLASS 200 PVC)

INSTALL DOUBLE CHECK
 ASSEMBLY FOR FIRE
 SPRINKLER IN RISER RM.

WARNING:
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION
 OR CONSTRUCTION STAKING, IT SHALL BE THE
 CONTRACTOR'S RESPONSIBILITY TO CONTACT THE
 CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE
 IN POSSESSION OF THE MOST CURRENT SET OF
 CONSTRUCTION DOCUMENTS.

NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL
 EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL
 NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE
 WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE
 BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE
 CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING
 UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE
 NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE
 CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING
 CONSTRUCTION.



SITE DATA:

LOT AREA:
 8.869 Acres, 386,333.64 sq.ft.
LOT COVERAGE:
 7.6%
FLOOR TO AREA RATIO:
 13.16:1
PROP. BUILDING AREA #1: 14,148 sq.ft.
 Clinic 5,324 sq.ft.
 Office 3,550 sq.ft.
 Pantry 4,803 sq.ft.
PROP. BUILDING AREA #2:
 Storage 8,000 sq.ft.
EXIST BUILDING AREA:
 13,265 sq.ft.
CONSTRUCTION TYPE:
 IIB & IV
BUILDING HEIGHT:
 1 Story 36" MAX
PROPOSED FUTURE USE:
 Office, Clinic, Storage
**IMPERVIOUS AREA
 (including buildings):**
 107,487 sq.ft.
 Exist: 86,016 sq.ft.
 New: 21,471 sq.ft.
ZONING:
 C
PARKING:
 Required: 57
 Clinic 1/200 sf=27
 Office 1/300 sf=12
 Pantry 1/500 sf=10
 Storage 1/1000 sf=8
 Handicap = 2
 Provided = 77
 Handicapped = 4
 Total Provided = 81
FIRESPRINKLER:
 Yes

VICINITY MAP
 NOT TO SCALE

LEGEND

- = PROPERTY LINE
- - - - - = EX. SS = EXISTING SANITARY SEWER LINE
- - - - - = EX. W = EXISTING WATER LINE
- ⊕ = EXISTING FIRE HYDRANT
- ⊕ = EXISTING WATER METER
- ⊕ = EXISTING POWER POLE
- ⊕ = EXISTING LIGHT POLE
- ⊕ = EXISTING SS MANHOLE
- ⊕ = EX. TELEPHONE BOX
- ⊕ = EXISTING GAS METER
- EXIST. or EX. ⊕ = CENTERLINE
- ⊕ = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- ⊕ = EXIST FIRELANE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

SITE PLAN SIGNATURE BLOCK

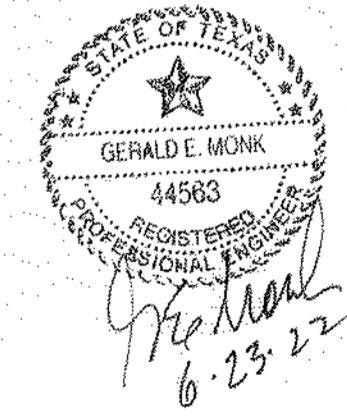
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August 2022.

WITNESS OUR HANDS, this 28th day of September 2022

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



REVISIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

GENERAL NOTES

1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
2. Fire lanes shall be designed and constructed per city standards.
3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
5. All signage contingent upon Building Inspection Department.
6. Approval of the site plan is not final until all engineering plans are approved.
7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
9. All electrical transmission, distribution and service lines must be underground.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ELEV 492.5
 ROAD PLAIN PER
 DESIGN BY FLOOD STUDY
 FLOODPLAIN MAP

PROJECT #: SP2022-041

SITE PLAN BLDG #2 P&Z

HELPING HANDS

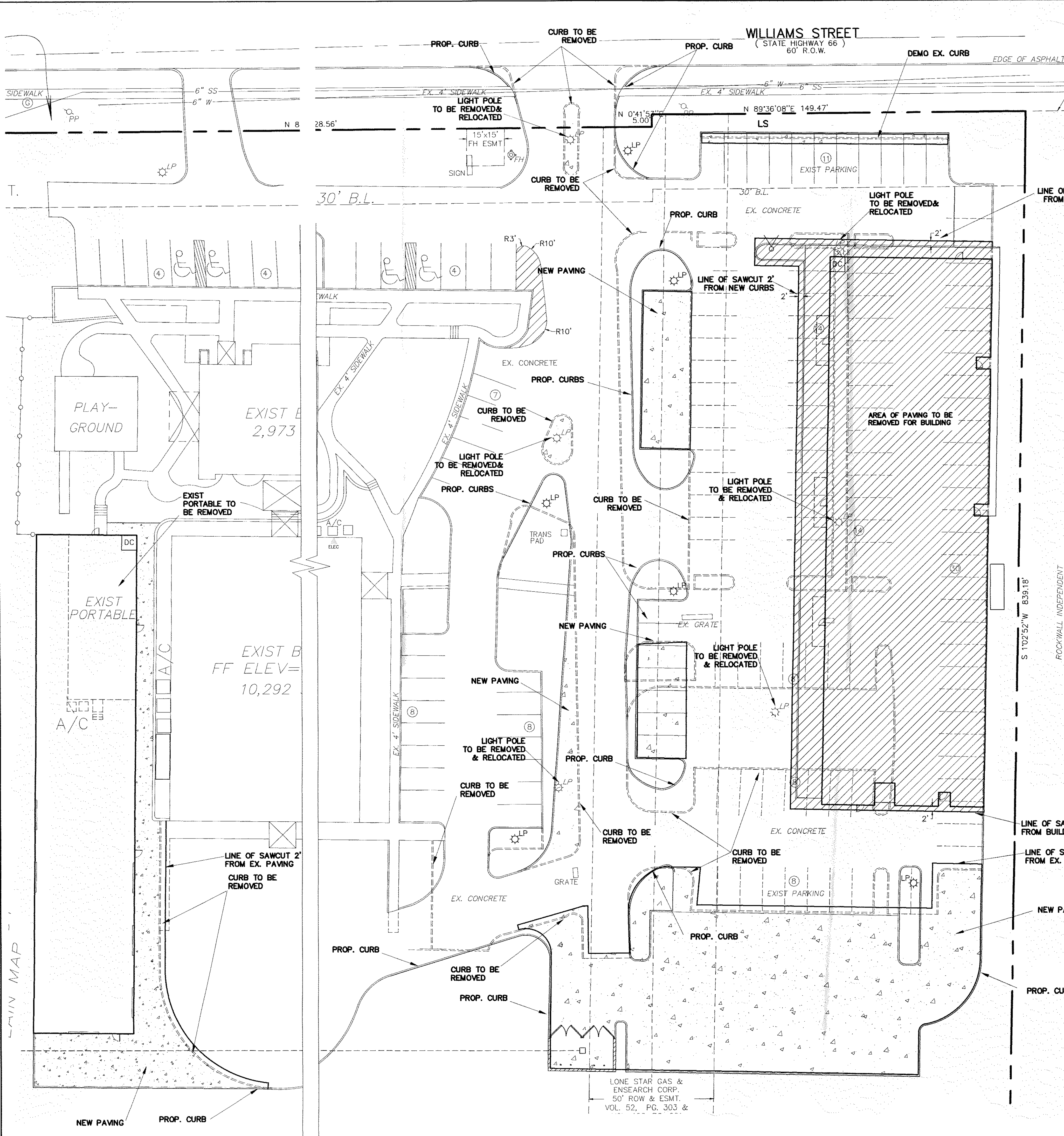
990 & 948 Williams St. (SH66)
 WAGGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
 City of Rockwall, Rockwall County, Texas 75087

Helping Hands
 Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

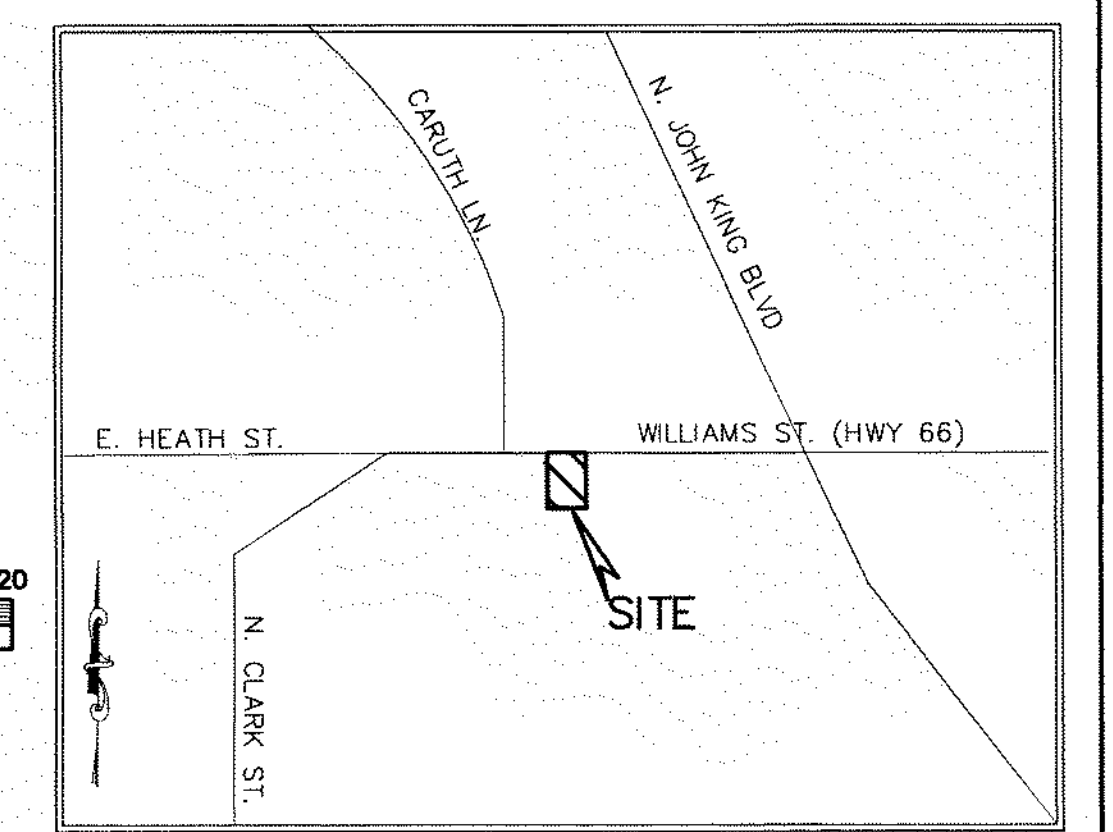
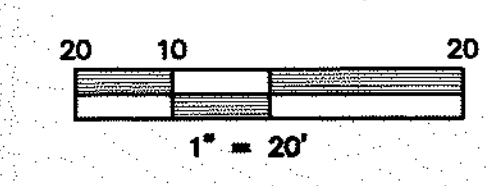
© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2022-6 REG. NO.: F-2567
 date: 6/23/22 scale: 1"=20' sheet: C101B



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ S = EXISTING SS MANHOLE
- ⊕ T = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Hatched Box] = PAVING TO BE REMOVED
- [Dotted Box] = PROPOSED PAVING

- PAVING NOTES:**
- FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER. (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
 - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - NO SAND UNDER PAVING.

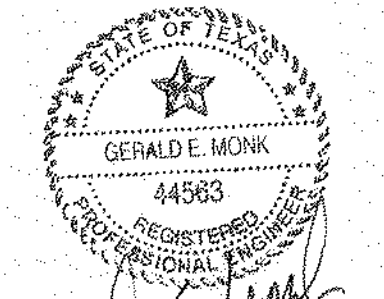
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August 2022.

WITNESS OUR HANDS, this 28th day of September 2022

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.



REVISIONS

PROJECT #: SP2022-041

DEMO & PAVING PLAN
HELPING HANDS

990 & 948 Williams St. (SH66)
WAGGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.889 ACRES, (REPLAT)
City of Rockwall, Rockwall County, Texas 75087

owner
Helping Hands
Contact: 972-771-1655

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8781

© 2022 Monk Consulting Engineers, Inc., All Rights Reserved

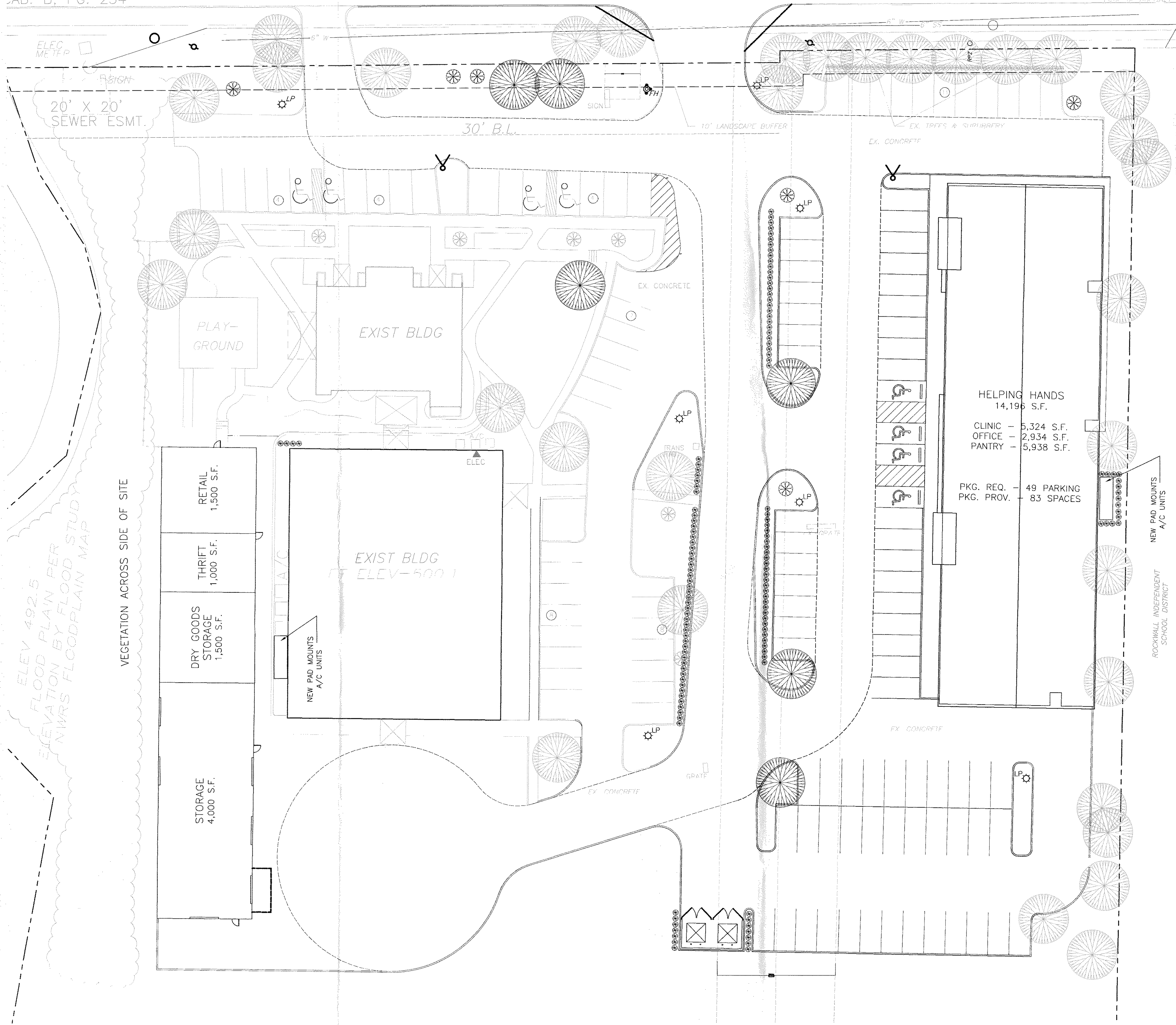
PROJECT NO.: 2022-6 REG. NO.: F-2567
date: 6/23/22 scale: 1"=20' sheet: C102

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

MAIN MAP

LONE STAR GAS & ENSEARCH CORP.
50' ROW & ESMT.
VOL. 52, PG. 303 &



SITE DATA TABLE	
SITE AREA	8.869 ACRES (386,333.64 S.F.)
ZONING	C
PROPOSED USE	GENERAL OFFICE
BUILDING AREA #1:	14,196 S.F.
CLINIC	5,324 S.F.
OFFICE	2,934 S.F.
PANTRY	5,938 S.F.
BUILDING AREA #2:	8,000 S.F.
RETAIL	1,500 S.F.
STORAGE	6,500 S.F.
LOT COVERAGE (GROSS AREA)	7.6%
FLOOR TO AREA RATIO	13.16 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	8.869 ACRES (386,333.64 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 386,334 S.F.	77,267 S.F.
PROVIDED LANDSCAPE AREA-- 72.5% OF 386,334 S.F.	280,127 S.F.
IMPERVIOUS COVERAGE-- 27.5% OF 386,334 S.F.	106,207 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10".
 - No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM (MIN. 4" CALIPER)
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	EVE'S NECKLACE (MIN. 4" TALL)
	EXISTING TREE OR SHRUBBERY

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERBERIS, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. -- PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

BUILDING #1 PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
CLINIC	5,324 S.F.	1/200	= 27
OFFICE	2,934 S.F.	1/300	= 10
PANTRY	5,938 S.F.	1/500	= 12
TOTAL PARKING REQUIRED			= 49 SPACES

BUILDING #2 PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
RETAIL	1,500 S.F.	1/250	= 6
STORAGE	6,500 S.F.	1/1000	= 7
TOTAL PARKING REQUIRED			= 13 SPACES
BUILDING 1 & 2 PARKING PROVIDED			= 62 SPACES
BUILDING 1 & 2 PARKING REQUIRED			= 83 SPACES

HELPING HANDS

LEGAL DESCRIPTION AND/OR ADDRESS:
950 WILLIAMS ST. (SH 66)
WAGONER GARDENS INC. ADDITION
BLOCK A, LOT 1, 8.869 ACRES, (REPLAT)
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER:
Helping Hands
950 Williams St. (SH 66)
Rockwall, TX 75087
P: 972-771-1655
R: 972-771-1655

APPLICANT:
Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-041

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August, 2022.

WITNESS OUR HANDS, this 28th day of September, 2022.

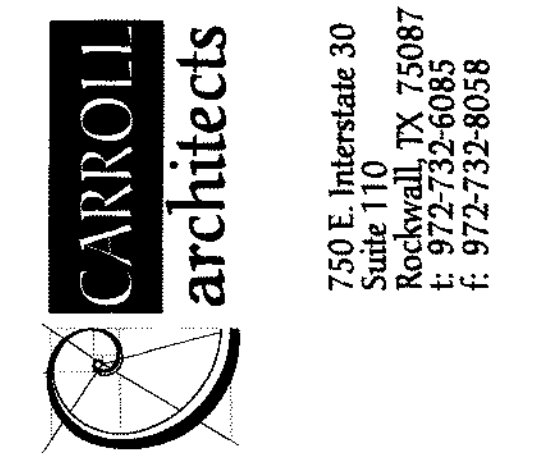
[Signature]
Chairman
Planning & Zoning Commission

ISSUE:

CITY SUBMITTAL:	CITY COMMENTS:
07-15-2022	08-12-2022

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and shall be copyright under sec. 105 of the copyright act, 17 U.S.C. includes, without limitation, the several papers, and drawings of the design, and all other documents and specifications may be used for any purpose, without the written consent of the author, and/or publisher, shall be liable.

**NEW FACILITY FOR
HELPING HANDS
950 Williams St. (SH 66)
Rockwall, Texas 75087**



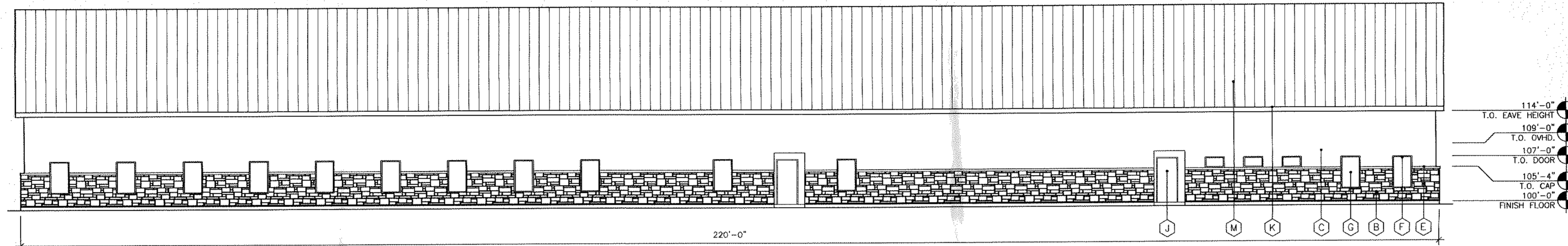
LANDSCAPE PLAN

DATE: MAR 2022 SHEET NO: L1

PROJECT NO: 2022006

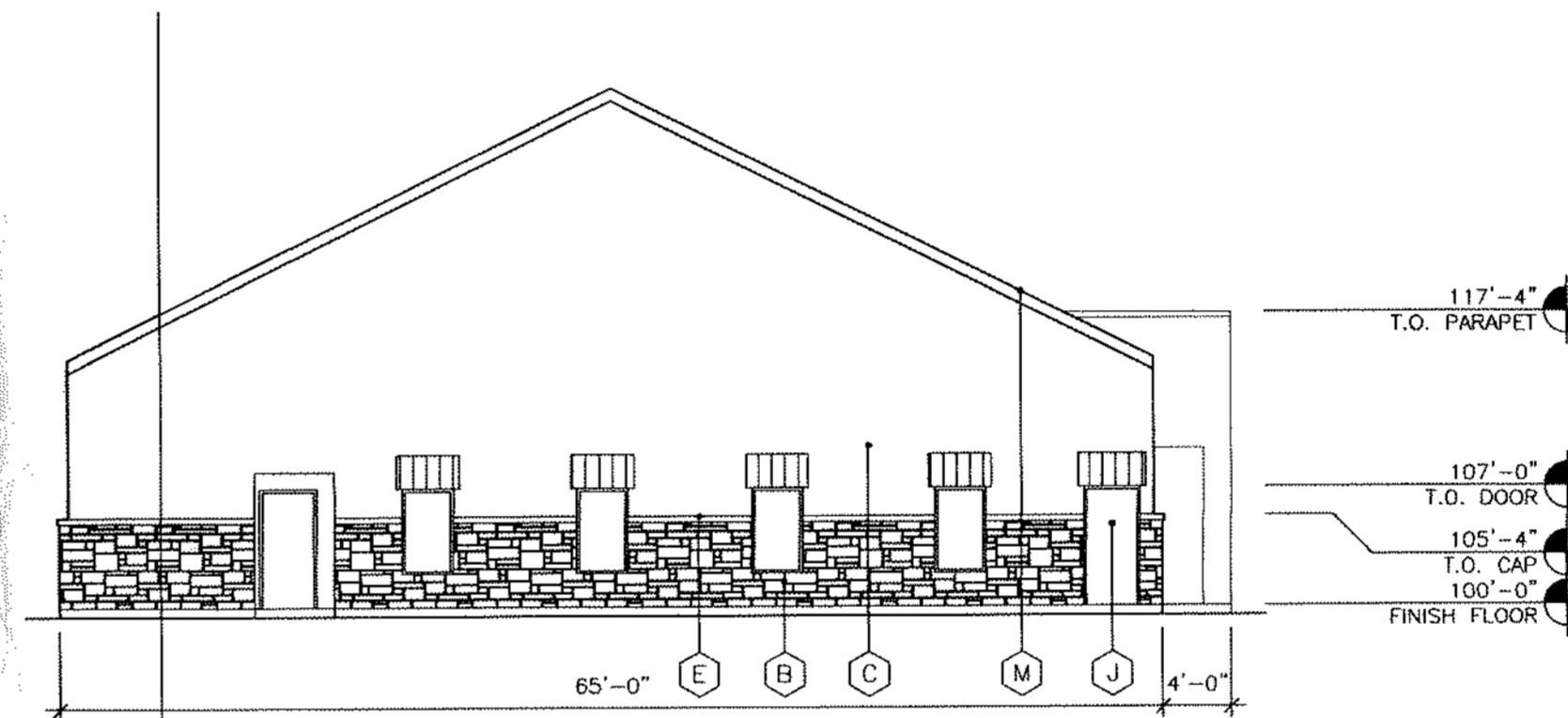
DRAWN BY: [Signature]

CHECKED BY: [Signature]



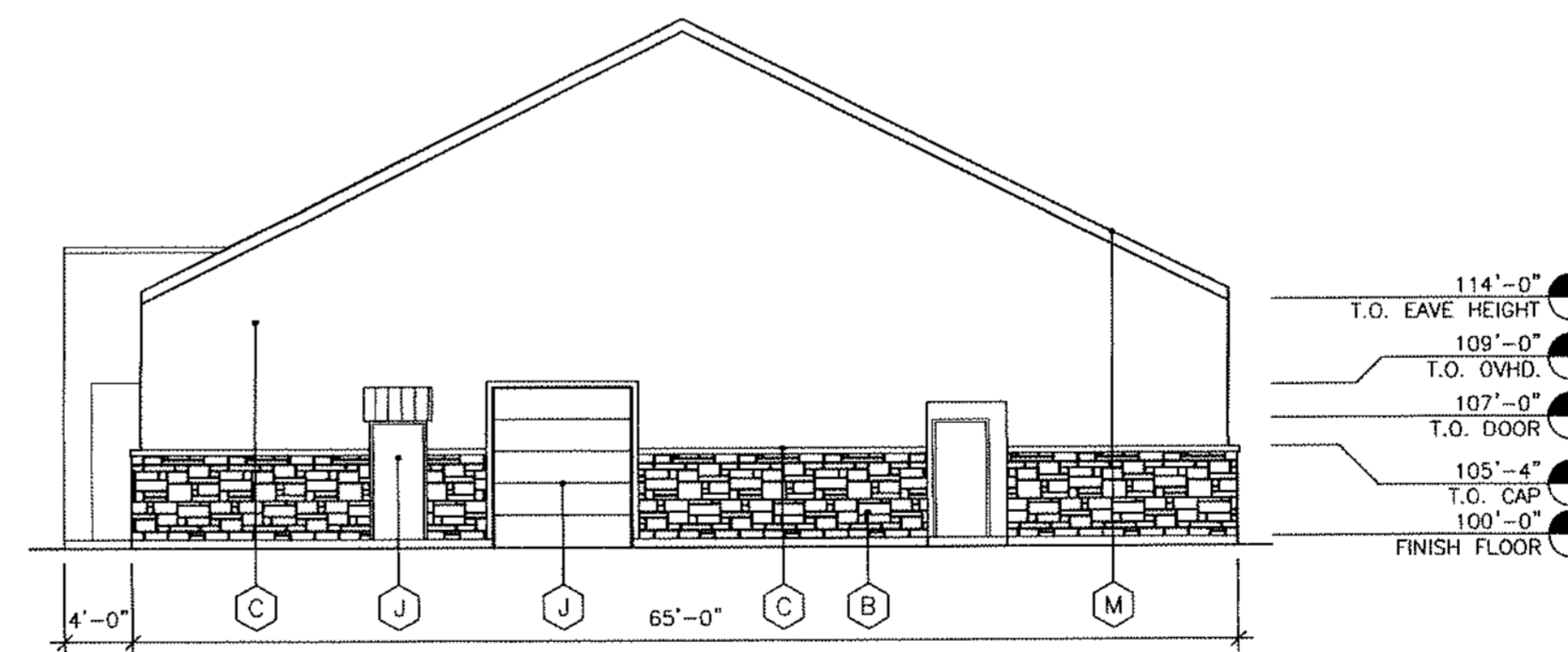
4 EAST ELEVATION
SCALE: 3/32" = 1'-0"

STONE	-	936 S.F.	-	33.7 %
STUCCO	-	1,843 S.F.	-	66.3 %
TOTAL	-	2,779 S.F.	-	100.0 %



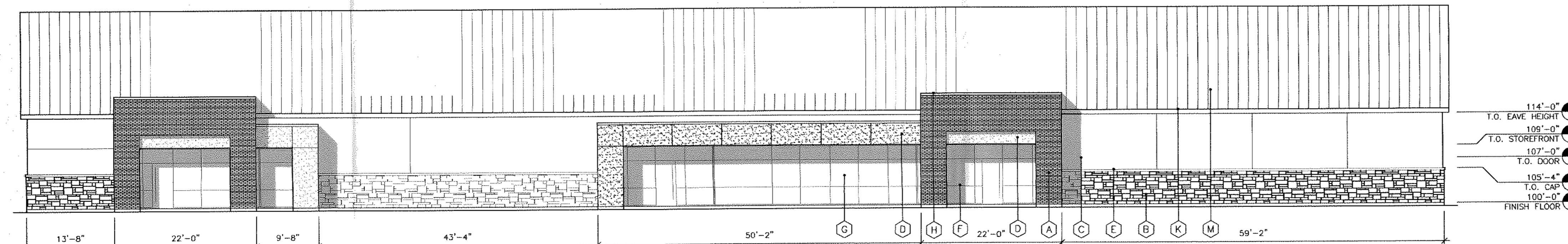
3 NORTH ELEVATION - ADJACENT R.O.W.
SCALE: 3/32" = 1'-0"

STONE	-	292 S.F.	-	21.5 %
STUCCO	-	1,067 S.F.	-	78.5 %
TOTAL	-	1,359 S.F.	-	100.0 %



2 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

STONE	-	255 S.F.	-	20.2 %
STUCCO	-	1,006 S.F.	-	79.8 %
TOTAL	-	1,261 S.F.	-	100.0 %



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	-	525 S.F.	-	20.5 %
STONE	-	581 S.F.	-	22.7 %
STUCCO	-	1,449 S.F.	-	56.8 %
TOTAL	-	2,555 S.F.	-	100.0 %

EXTERIOR FINISH SCHEDULE	
(A)	ACME BRICK, FIELD COLOR, QUORUM MFG: ACME SEALANT - BASE - MEDIUM BRONZE
(B)	STONE, ROUGH FACE, COLOR - GRANDBURY CHOPPED 4 SIDES MORTAR/SEALANT - BASE, COLOR - TAN
(C)	FIELD STUCCO 3-COAT SYSTEM W/ EIFS FINISH TEXTURE - FINE COLOR - SW 7506 LOGGIA
(D)	ACCENT STUCCO 3-COAT SYSTEM TRIM W/ EIFS FINISH TEXTURE - FINE COLOR - SW 7036 ACCESSIBLE BEIGE
(E)	CAST STONE CAP - TO MATCH STONE COLOR
(F)	STOREFRONT & DOORS, COLOR - DARK BRONZE
(G)	EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR - 10% TINTED, GRAY
(H)	PREFINISHED METAL COPING, COLOR - TO MATCH ROOF
(J)	EXTERIOR HOLLOW METAL DOOR/OVERHEAD DOOR PAINTED - SW7520 DARK BROWN
(K)	PREFINISHED ROOF GUTTER & DOWNSPOUTS, COLOR - TO MATCH STUCCO
(L)	DECORATIVE LIGHTING - EXTERIOR SCENCE, LIGHTING SELECTED BY OWNER
(M)	STANDING SEAM METAL, MFG - PAC-CLAD; CEE - LOCK, COLOR - GRANITE

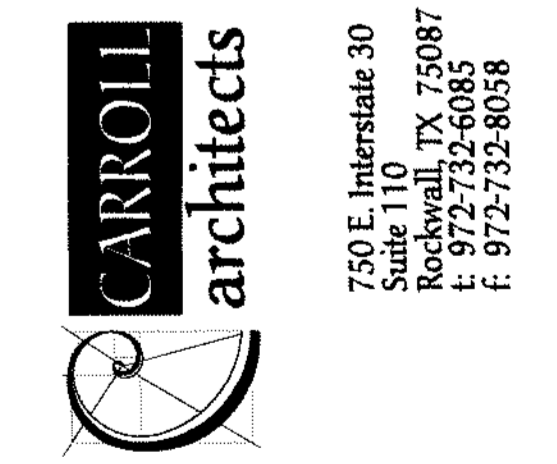
NOTE: PROVIDE 26 GA. METAL FOR ALL FLASHING, GUTTERS & DOWNSPOUTS WITH SPLASH BLOCKS

ISSUE	
CITY SUBMITTAL: 07-15-2022	
CITY COMMENTS: 08-01-2022	

COURTESY: JUDGE
The architect's specifications are copyrighted and subject to copyright law. No part of these specifications may be reproduced, stored in a retrieval system, or transmitted in any form, or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect assumes no responsibility for the construction of the project, and no liability shall be assumed for any errors or omissions in these specifications, or for any damage or injury resulting from the use of these specifications.

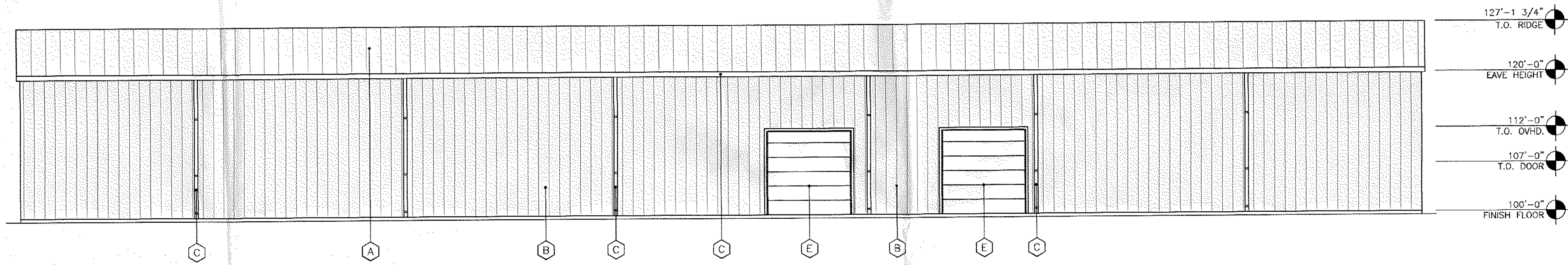
NEW FACILITY FOR
HELPING HANDS
950 Williams St. (SH 66)
Rockwall, Texas 75087

HELPING HANDS	
<small>LEGAL DESCRIPTION AND OR ADDRESS:</small> 950 WILLIAMS ST. (SH 66) WAGONER GARDENS INC. ADDITION BLOCK A, LOT 1, 9.869 ACRES. (REFLAT) CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
<small>OWNER</small> Helping Hands 950 Williams St. (SH 66) Rockwall, TX 75087 P: 972-771-1655	
<small>APPLICANT</small> Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	
<small>CITY OF ROCKWALL CASE NUMBER:</small> SP2022-041	
<small>SITE PLAN SIGNATURE BLOCK</small>	
<small>APPROVED:</small> I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the <u>9th</u> day of <u>August</u> , 2022.	
<small>WITNESS OUR HANDS, this <u>28th</u> day of <u>September</u>, 2022.</small>	
	Jeff Carroll Director of Planning and Zoning

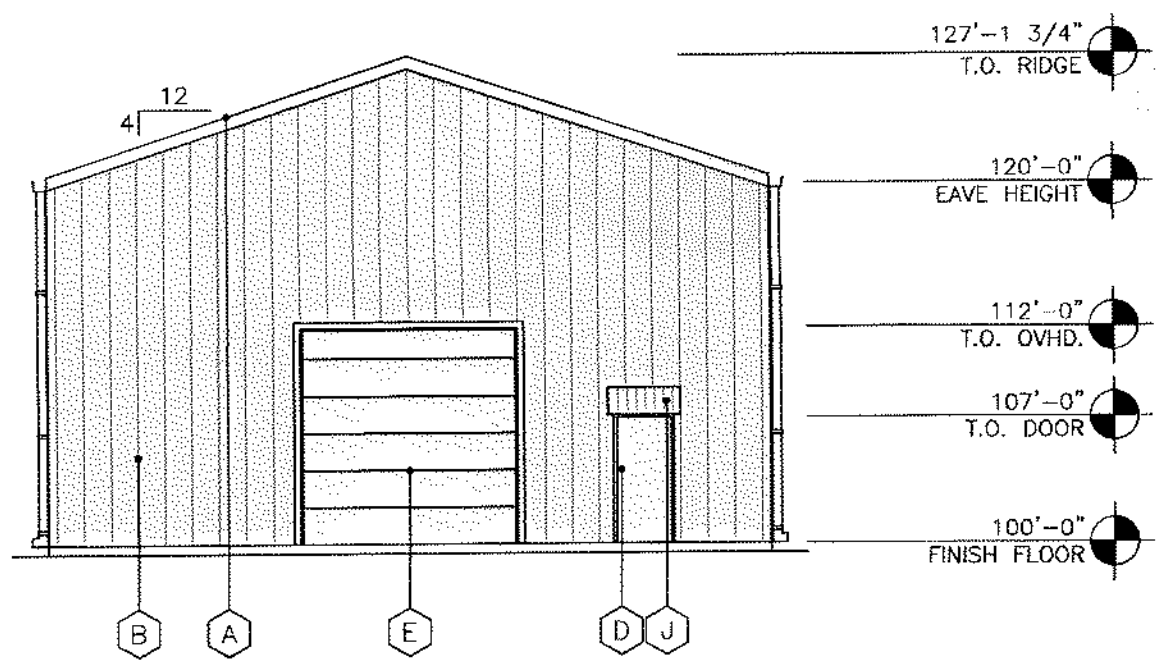


EXTERIOR ELEVATIONS

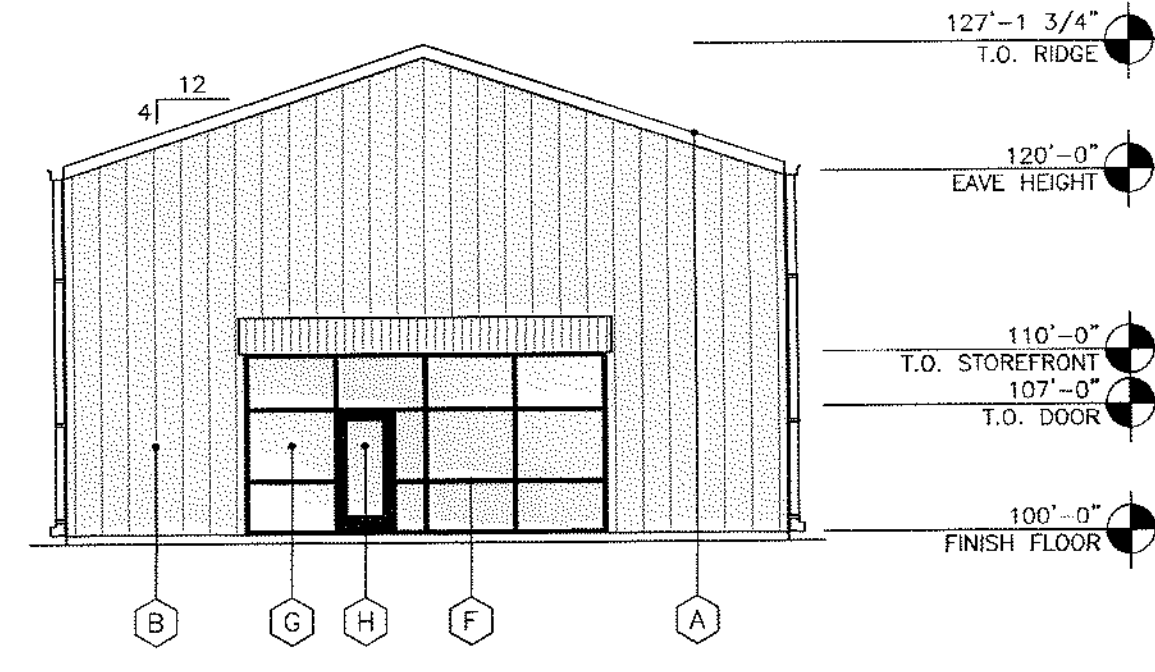
DATE:	MAR 2022	SHEET NO.:	
PROJECT NO.:	2022006		
DRAWN BY:			A501
CHECKED BY:			



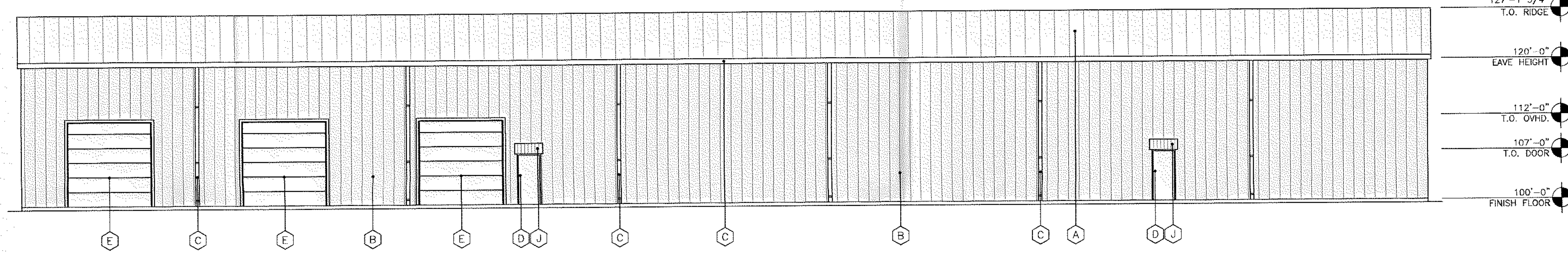
4 REAR ELEVATION
 METAL - 3,584 S.F. - 100.0 %
 TOTAL - 3,584 S.F. - 100.0 %
 SCALE: 3/32" = 1'-0"



3 LEFT ELEVATION
 METAL - 783 S.F. - 100.0 %
 TOTAL - 783 S.F. - 100.0 %
 SCALE: 3/32" = 1'-0"



2 RIGHT ELEVATION
 METAL - 683 S.F. - 100.0 %
 TOTAL - 683 S.F. - 100.0 %
 SCALE: 3/32" = 1'-0"



1 FRONT ELEVATION
 METAL - 3,368 S.F. - 100.0 %
 TOTAL - 6,668 S.F. - 100.0 %
 SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	PREFINISHED METAL ROOFING R-PANELS COLOR: SELECTED BY OWNER TO MATCH EXISTING
B	PREFINISHED WALL R-PANELS COLOR: SELECTED BY OWNER TO MATCH EXISTING
C	PREFINISHED GUTTER, DOWNSPOUTS, OR TRIM COLOR: SELECTED BY OWNER TO MATCH EXISTING
D	EXTERIOR HOLLOW METAL DOOR & FRAME, PAINT. COLOR: SELECTED BY OWNER TO MATCH EXISTING
E	PREFINISHED METAL SECTIONAL OVERHEAD DOORS, COLOR: SELECTED BY OWNER TO MATCH EXISTING
F	WINDOW FRAMES ALUMINUM, COLOR -
G	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 10%
H	STOREFRONT ENTRY DOOR SYSTEM: ALUM. COLOR - DARK BRONZE
J	PREFINISHED METAL AWNING BY METAL BUILDING CO.

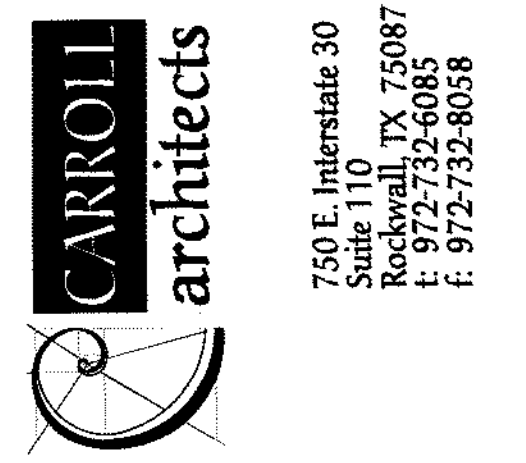
NOTE: PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT SURFACE WATER

OWNER REVIEW: 08-27-2022	ISSUE:
CITY COMMENTS: 07-27-2022	

COPYRIGHT NOTICE: These drawings and specifications are the property of Carroll Architects, Inc. and are to be used only for the project and site identified herein. No part of these drawings, without limitation, the overall design, or any part thereof, may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Carroll Architects, Inc. Carroll Architects, Inc. shall not be held liable for any errors or omissions in these drawings and specifications, or for any consequences arising therefrom, or for any liability, damage, or injury, or for any loss of property, or for any other matter, in connection with these drawings and specifications.

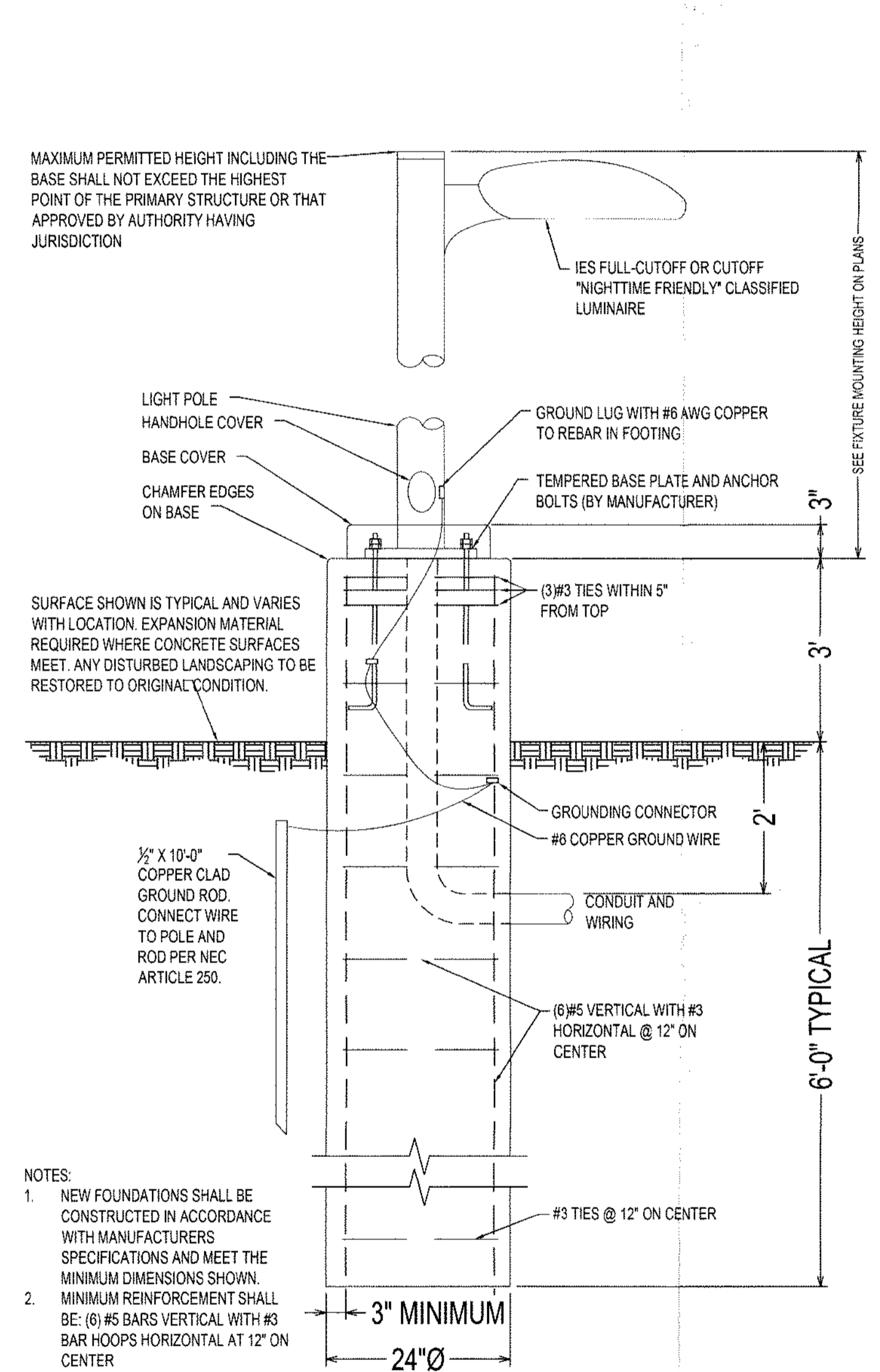
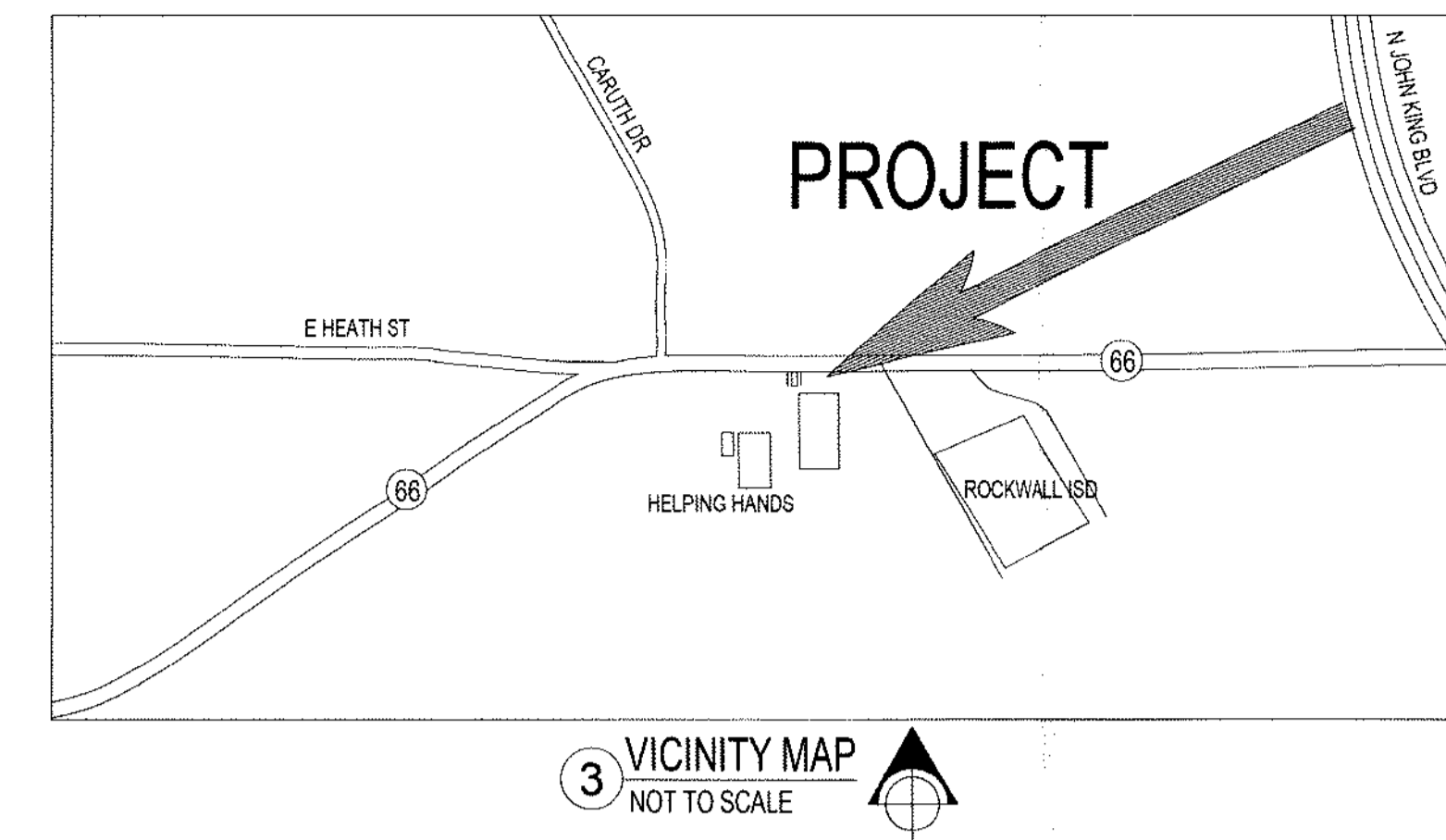
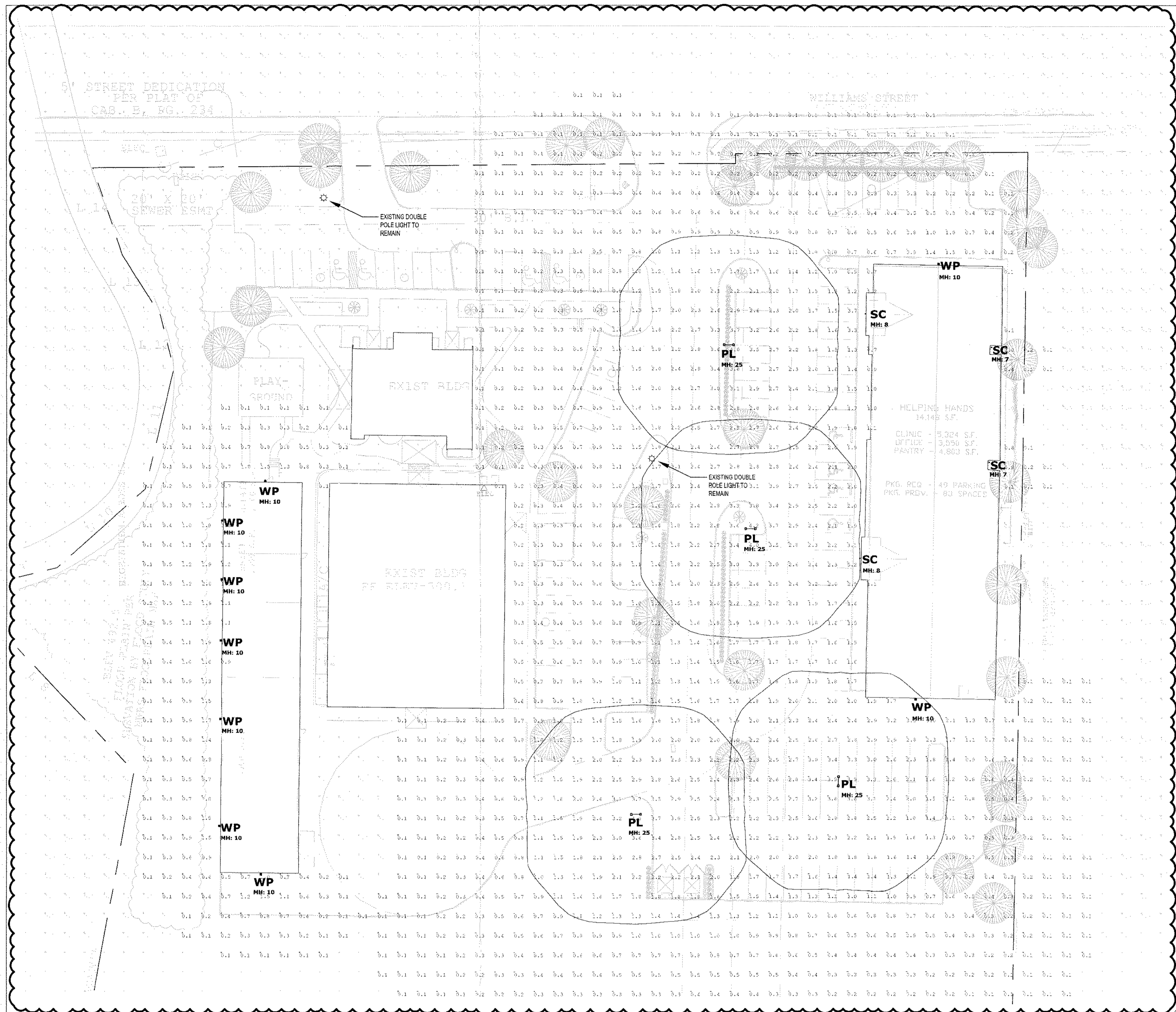
NEW OFFICE / WAREHOUSE FOR
HELPING HANDS
 950 Williams St. (SH 66)
 Rockwall, Texas 75087

HELPING HANDS	
<small>LEGAL DESCRIPTION AND/OR ADDRESS:</small> 950 WILLIAMS ST. (SH 66) WAGONER GARDENS INC. ADDITION BLOCK A, LOT 1, 8.869 ACRES. (REPLAT) CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
<small>OWNER</small>	
Helping Hands 950 Williams St. (SH 66) Rockwall, TX 75087 P: 972-771-1655	
<small>APPLICANT</small>	
Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: ja@carrollaren.com ATTN: Jeff Carroll	
<small>CITY OF ROCKWALL CASE NUMBER:</small> SP2022-041	
<small>SITE PLAN SIGNATURE BLOCK</small>	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the <u>4th</u> day of <u>August</u> , 2022.	
WITNESS OUR HANDS, this <u>28th</u> day of <u>September</u> , 2022.	
 Planning & Zoning Commission, Chairman Director of Planning and Zoning	



EXTERIOR ELEVATIONS

DATE:	JUNE 2022	SHEET NO.:	A501
PROJECT NO.:	2022074	DRAWN BY:	
CHECKED BY:			



HELPING HANDS
 LEGAL DESCRIPTION AND OR ADDRESS:
 950 WILLIAMS ST. (SH 66)
 WAGONER GARDENS INC. ADDITION
 BLOCK A, LOT 1, 3.889 ACRES, (REPLAT)
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

APPLICANT:
 Corroll Architects, Inc.
 750 E. Interstate 30 #110
 Rockwall, TX 75087
 P: 972-732-6085
 E: jcarroll@corroll.com
 ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
 SP2022-041

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 9th day of August 2022.

WITNESS OUR HANDS, this 9th day of September 2022
 [Signature]
 Director of Planning and Zoning

CONTRACTOR NOTES:

- ELECTRICAL CONTRACTOR TO PROVIDE PHOTOELECTRIC CONTROLS OR TIMER AND MOUNTING ARM OR POLES AS REQUIRED FOR EXTERIOR BUILDING AND SITE LIGHTING.

SITE PHOTOMETRIC NOTES

- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.
- THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT
- THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN ADJACENT PROPERTIES.
- REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E1.0.

EXTERIOR LIGHT FIXTURE SCHEDULE								
MARK	SYMBOL	EXTERIOR FIXTURE	DESCRIPTION	MH ¹	LUMENS	QTY.	WATTS ²	TOTAL WATTS
PL		DOUBLE POLE LIGHT	(QTY 2) LITHONIA DSX1 LED P6 40K TSW MVOLT	25'	38266	4	328	1304
SC		SCONCE	LUMINIS SY602-L2L15-R55	8'	2918	4	19	76
WP		WALLPACK	LITHONIA WDGE2 LED P2 40K 80CRI T4M	10'	3408	9	31	279
TOTAL EXTERIOR WATTAGE								1659
TOTAL ALLOWABLE EXTERIOR WATTAGE PER CURRENTLY ADOPTED IECC								PASSES

* ALL FIXTURES SPECIFIED AT 120V-1PH.
 ** OWNER, TENANT OR ARCHITECT MAY CHANGE EQUIPMENT MANUFACTURER OR USE EXISTING EQUIPMENT AS APPLICABLE, BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
 *** CONTRACTOR TO VERIFY ALL FIXTURES WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
 **** CONTACT MARK SCHMULEN WITH ALA FOR MORE INFORMATION ABOUT UNITS SPECIFIED 214-658-9000.

Calculation Summary						
Calculation Grid Location	Units	Avg	Max	Min	Avg/Min	Calc Height (ft)
GROUND_Planar	Fc	0.55	5.2	0.0	N.A.	0

CONTRACTOR RESPONSIBILITIES

CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONSISTENCIES ON THE DRAWINGS TO ENGINEER FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY ERRORS IN CONSTRUCTION WHERE SUCH DISCREPANCIES, OMISSIONS OR INCONSISTENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER.

NOTE: BID INTENT

THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.

ELECTRICAL LIGHTING NOTES

- ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS.
- ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL.
- OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO CONTACT UNDERSIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

MEP GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (A.H.).
- CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO PURCHASE AND INSTALLATION.
- REVIEW PLAN SHEET "MEP-U - MEP NOTES" PRIOR TO BIDDING, PERMITTING, AND CONSTRUCTION.
- THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.
- SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
- SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
- WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS.
- CONTRACTOR TO CONTACT AME ENGINEERS, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
- DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE OR ARE SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL, SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.

TEXAS FIRM F-16469

AME Engineering, Inc.
 mail@ameengineering.com | tlc 817-653-4122 | fax 817-754-6615
 3825 W Green Oaks Blvd Suite 200, Arlington TX 76016-2700

STATE OF TEXAS
 JESSICA J. KILGORE
 106106
 LICENSED PROFESSIONAL ENGINEER

The seal appearing on this document was authorized by Jessica J. Kilgore, P.E. 106106 on AUGUST 02, 2022.

HELPING HANDS OFFICE AND CLINIC FACILITIES
 950 WILLIAMS ST
 ROCKWALL TX 75087

CONTACT NAME: JEFF CARROLL
 CONTACT COMPANY: CARROLL ARCHITECTS
 CONTACT PHONE: 972-732-6085
 ISSUE: PERMIT REVIEW SET 08-02-2022

SHEET REVISIONS
 CITY COMMENTS 08-11-2022

PRINTED: 8/12/2022 11:45 AM
 DESIGNED: BMT
 CHECKED: JJK
 IBC: 2015
 IECC/ASHRAE: 2015
 NEC: 2014
 SCALE: 1:30

SITE PHOTOMETRIC LIGHTING PLAN
 E1.1
 PROJECT: 1737