



PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET
ROCKWALL, TX 75087

P&Z CASE # SP2022-040 P&Z DATE August 9, 2022 CC DATE N/A Approved/Denied

ARCHITECTURAL REVIEW BOARD DATE August 9, 2022 HPAB DATE N/A PARK BOARD DATE N/A

Zoning Application

- Specific Use Permit
- Zoning Change
- PD Concept Plan
- PD Development Plan

Site Plan Application

- Site Plan
- Landscape Plan
- Treescape Plan
- Photometric Plan
- Building Elevations
- Material Samples
- Color Rendering

Platting Application

- Master Plat
- Preliminary Plat
- Final Plat
- Replat
- Administrative/Minor Plat
- Vacation Plat
- Landscape Plan
- Treescape Plan

HPAB Application

- Exhibit

Miscellaneous Application

- Variance/Exception Request

- Copy of Ordinance (ORD#_____)
- Applications
- Receipt
- Location Map
- HOA Map
- PON Map
- FLU Map
- Newspaper Public Notice
- 500-foot Buffer Public Notice
- Project Review
- Staff Report
- Correspondence
- Copy-all Plans Required
- Copy-Mark-Ups
- City Council Minutes – Laserfiche
- Minutes-Laserfiche
- Plat Filled Date _____
 - Cabinet # _____
 - Slide # _____

Notes: _____

Zoning Map Updated _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCB@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature



Notary Public in and for the State of Texas

My Commission Expires



CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				Per Application
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
<u>Building Material Sample Board and Color Rendering of Building Elevations</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 5.04
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	Art. VI 5.03.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>).	Art. VI 6.04
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.02

2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				
Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	Art. VIII 8
Utility Equipment Screening (Pad or Ground Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.3
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.05.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.05.4
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. V 1.05.2
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.05.1
Residential Adjacency Standards	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.06

3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	-

Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	-
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.01
Acceptable Landscape Materials:				Art. VIII 4
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix F
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix F
Protected Trees (To Remain On-Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 5.5
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.03.E
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	Art. V 1.08
Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. V 5.01
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	Art. VIII 5.03.E
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.04

4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-

Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	<input type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input type="checkbox"/>	<input type="checkbox"/>	Non-residential properties shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VII 3.4.A
Indicate all Exterior Lighting	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	<input type="checkbox"/>	<input type="checkbox"/>		
Proposed Light Fixtures	<input type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 6.02.C
Indicate Amount and Location of the 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 6.02.C
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each facade and the percentage and square footage of each material used on that facade.	-

Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate Parapet Wall Height (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	-
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	-
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure. The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	-
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. V 4.01.B
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	Art. V 4.01.C
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	Art. V 4.01.C

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
90% Masonry Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 5.01.A
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 5.01.A
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	Art. V 5.01.C
Secondary Facades	<input type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	Art. V 5.01.C

Pre-Development Meeting:

Date: ___ / ___ / ___

Administrative Site Plan/Public Hearing Site Plan

- 1) Is the property located within an Overlay District or a Planned Development District? YES NO
- 2) If yes which Overlay District or Planned Development District? _____
- 3) Is the applicant requesting appeals? YES NO
- 4) If yes note the appeals:

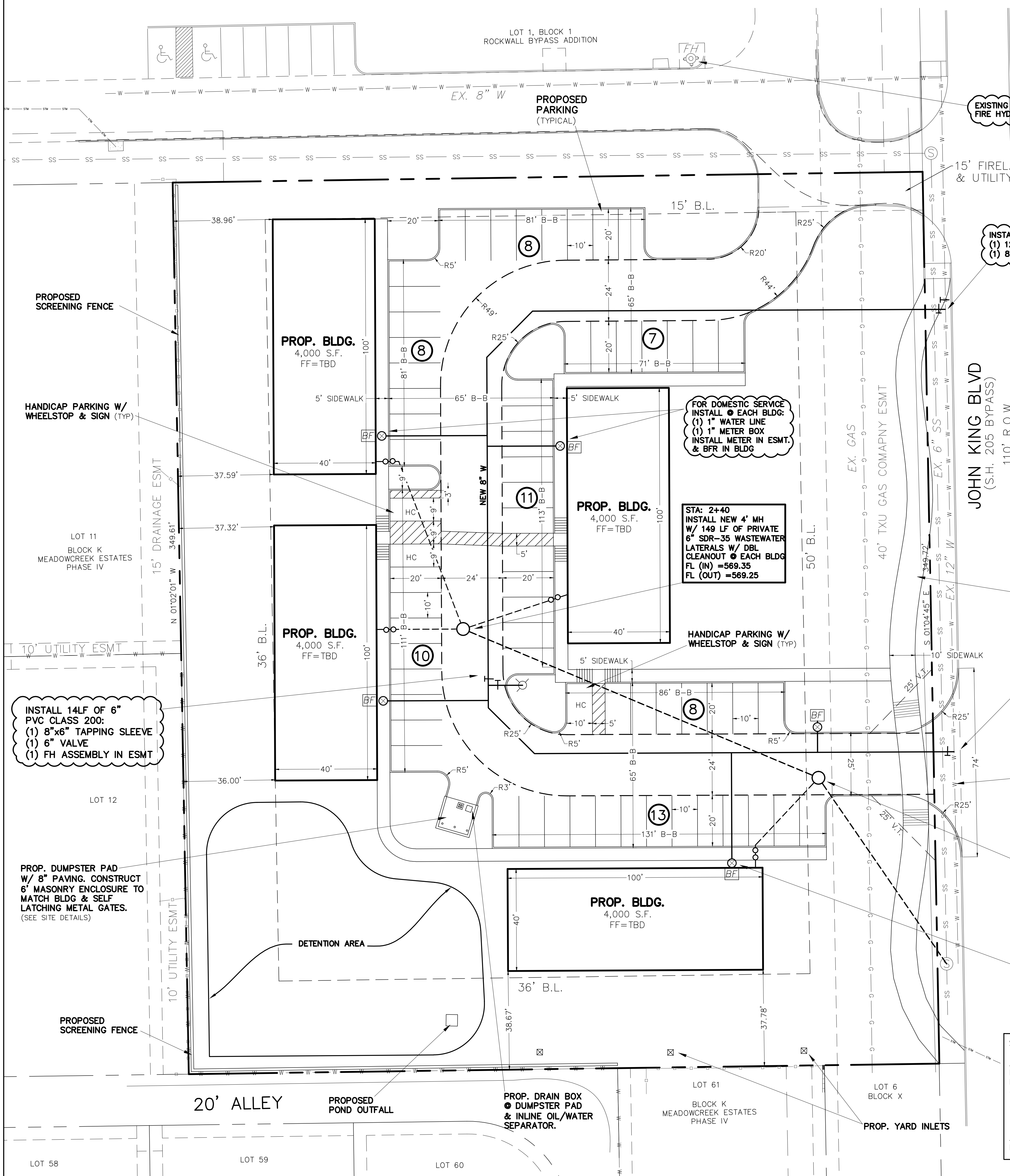
Planning & Zoning Work Session (Packet Due ___/___/___):
 Date: ___/___/___

ARB Meeting
 Date: ___/___/___

Planning and Zoning Meeting (Packet Due ___/___/___):
 Date: ___/___/___
 1st _____
 2nd _____
 Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

City Council Meeting (Packet Due ___/___/___):
 Date: ___/___/___
 1st _____
 2nd _____
 Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

GENERAL NOTES:



NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- PAVING NOTES:**
- 1) APPROACHES TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, L.L.C. OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:

LOT AREA:
2.36 Acres, 102,859 sq.ft.

LOT COVERAGE:
15.55%

FLOOR TO AREA RATIO:
6.42:1

BUILDING AREA:
16,000 sq.ft.

BUILDING HEIGHT:
1 STORY (25')

PROPOSED FUTURE USE:
Office

IMPERVIOUS AREA (including buildings):
50,535 sq.ft.

ZONING:
PD-10/C

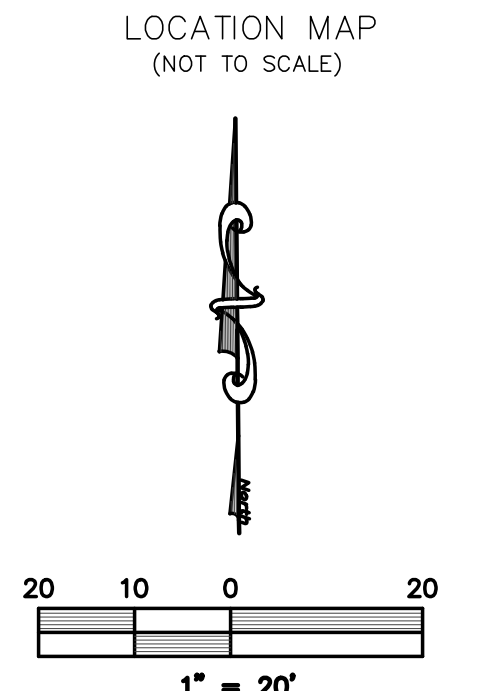
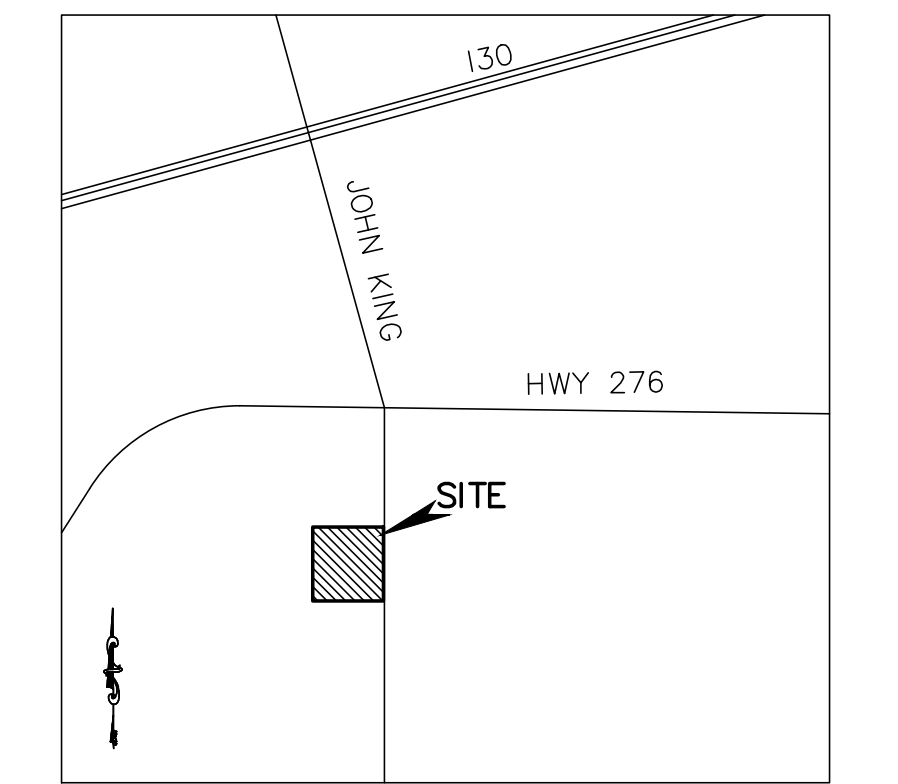
PARKING:
Required:
Office (1/300sf) = 54
Handicap = 3
Provided:
Standard = 62
Handicap = 3
Total Provided = 65

LANDSCAPE AREA:
Required: (15%) 15,429 sq.ft.
Provided: 52,324 sq.ft.

FIRESPRINKLER:
NO

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

* THERE ARE TREES ON THIS SITE



LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- G = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE



SITE PLAN

JOHN KING OFFICE PARK

JOHN KING OFFICE PARK ADDITION
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

OWNER:
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

prepared by:
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567

©2022 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 7/8/22 scale: 1" = 20' sheet: C101

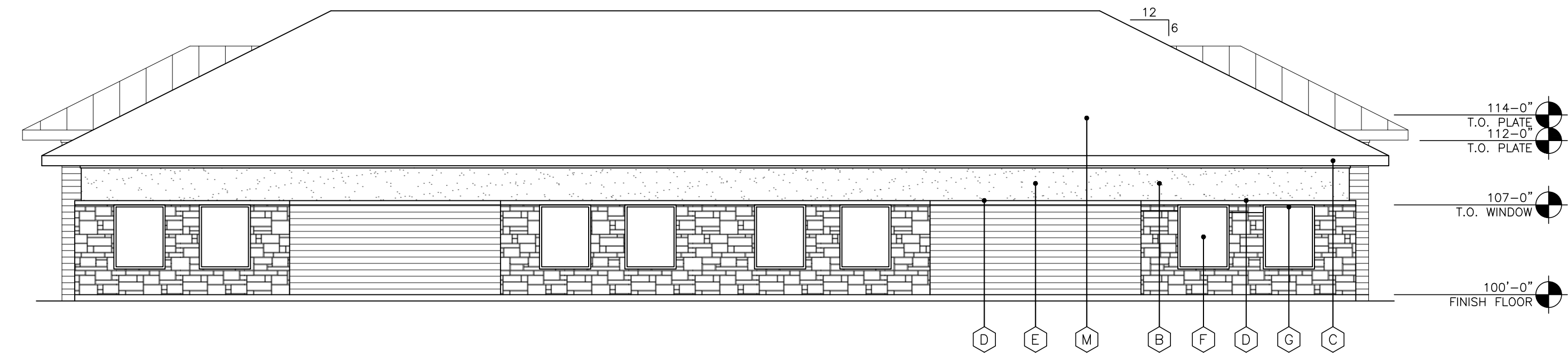
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EXTERIOR FINISH SCHEDULE	
A	STONE, ROUGH FACE, COLOR - GRANDBURY CHOPPED 4 SIDES MORTAR/SEALANT - BASE, COLOR - TAN
B	FIELD STUCCO 3-COAT SYSTEM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7661 REFLECTION
C	ACCENT STUCCO 3-COAT SYSTEM TRIM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 9163 TIN LIZZIE
D	BAND STUCCO 3-COAT SYSTEM TRIM W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7506 LOGGIA
E	HARDIE SIDING & TRIM, STYLE SELECT - CEDARMILL, PRIME, SIZE 8.25, COLOR - SW 9093 NEARLY BROWN
F	STOREFRONT & DOORS, COLOR - DARK BRONZE
G	EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR - 10% TINTED, GRAY
H	EXTERIOR HOLLOW METAL DOOR, PAINTED - SW 9093 NEARLY BROWN
J	PREFINISHED GUTTER & DOWNSPOUTS, COLOR - TO MATCH STONE
K	DECORATIVE LIGHTING - EXTERIOR SCENCE, LIGHTING SELECTED BY OWNER
L	STANDING SEAM METAL, MFG - BERRIDGE; CEE - LOCK, COLOR - CHARCOAL GREY
M	ASPHALT SHINGLE ROOF - CHARCOAL GREY

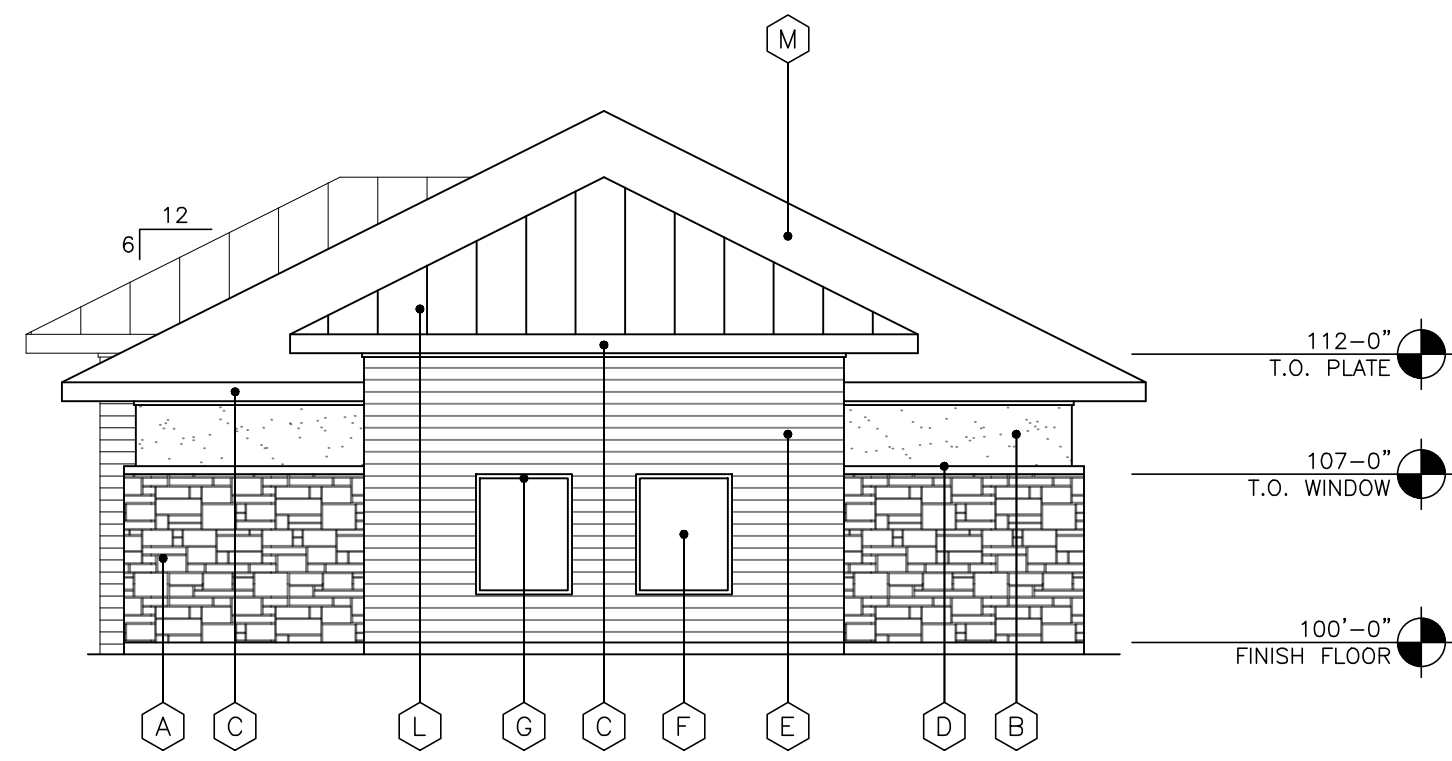
NOTE: PROVIDE 26 GA. METAL FOR ALL FLASHING, GUTTERS & DOWNSPOUTS WITH SPLASH BLOCKS

ISSUE:	
CITY SUBMITTAL:	07-15-2022

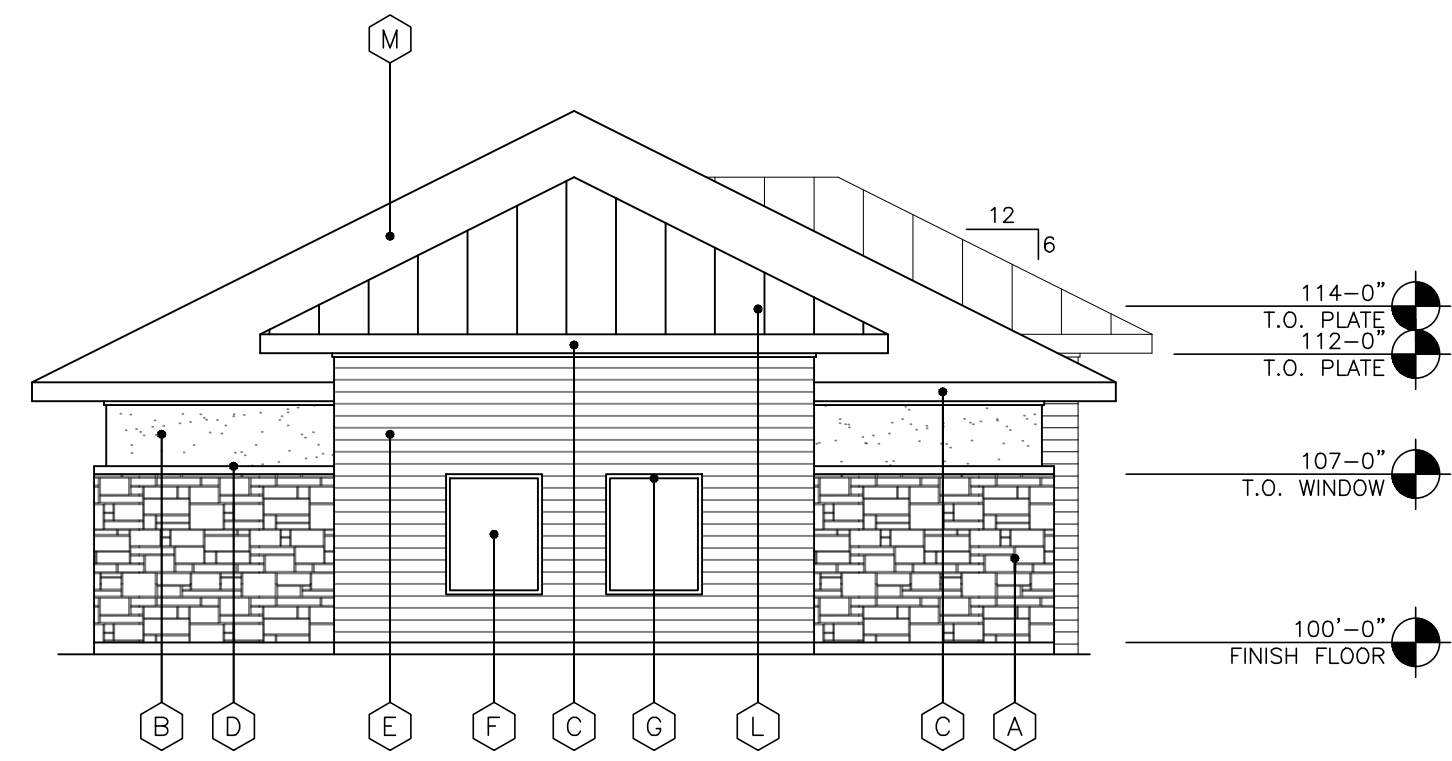
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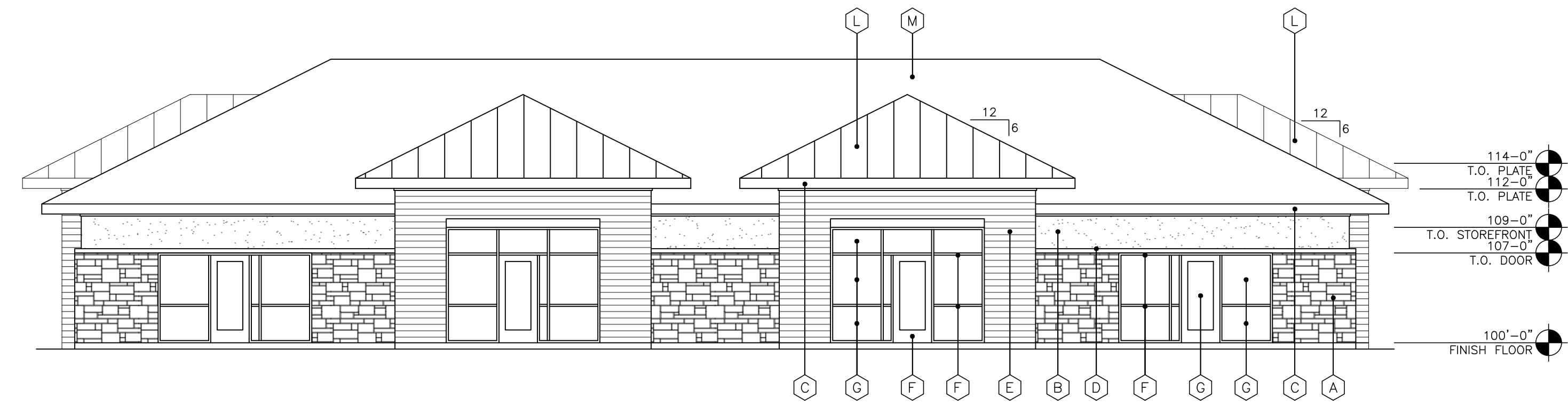
4 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

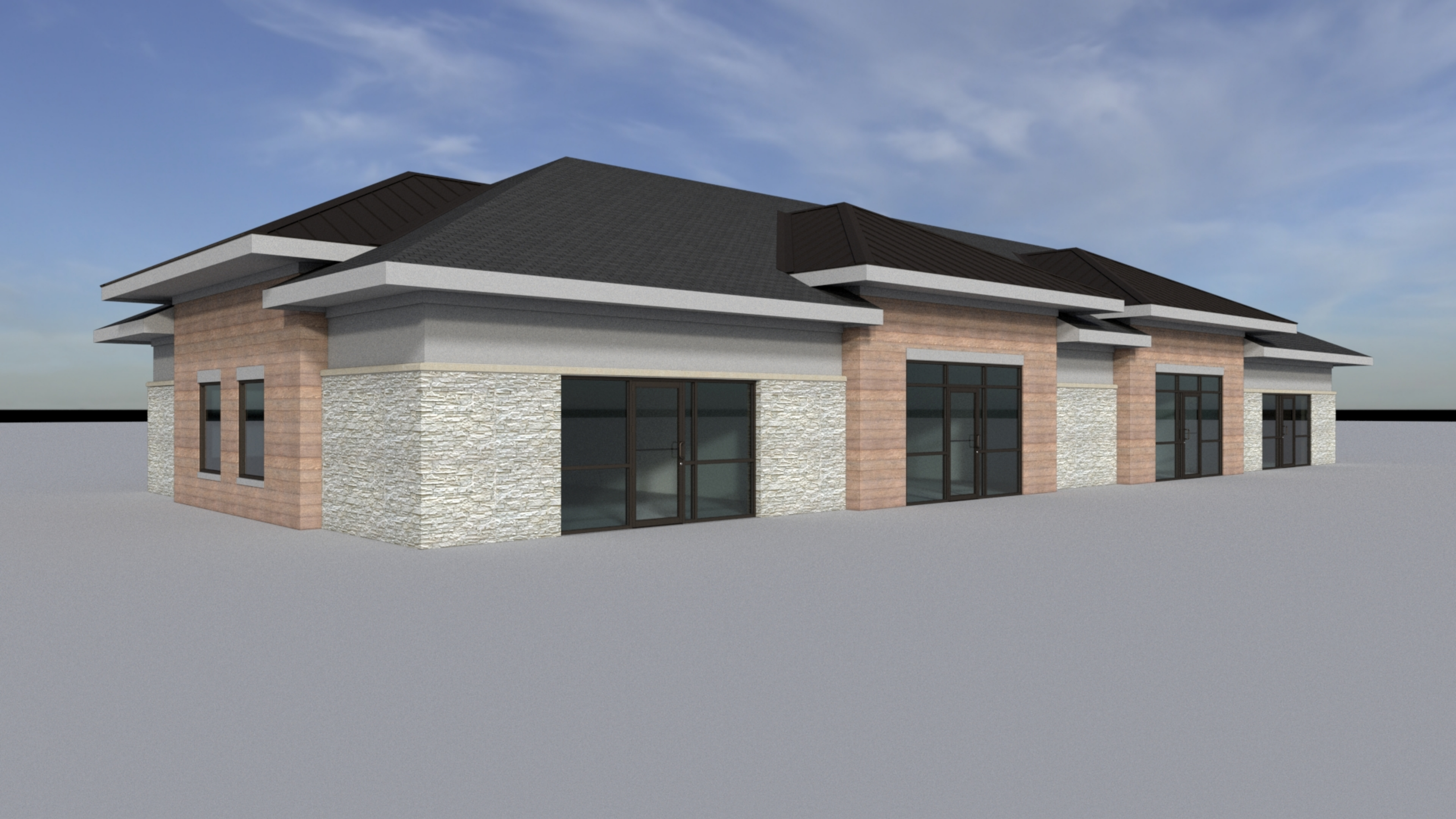
JOHN KING OFFICE PARK	
LEGAL DESCRIPTION AND/OR ADDRESS: JOHN KING OFFICE PARK LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER SBM Real Estate Services 709 W. Rusk Street, Ste 810 Rockwall, TX 75087 C: Aaron Davis P: 214-557-9093	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-000	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.	
WITNESS OUR HANDS, this ____ day of _____.	
Director of Planning & Zoning	

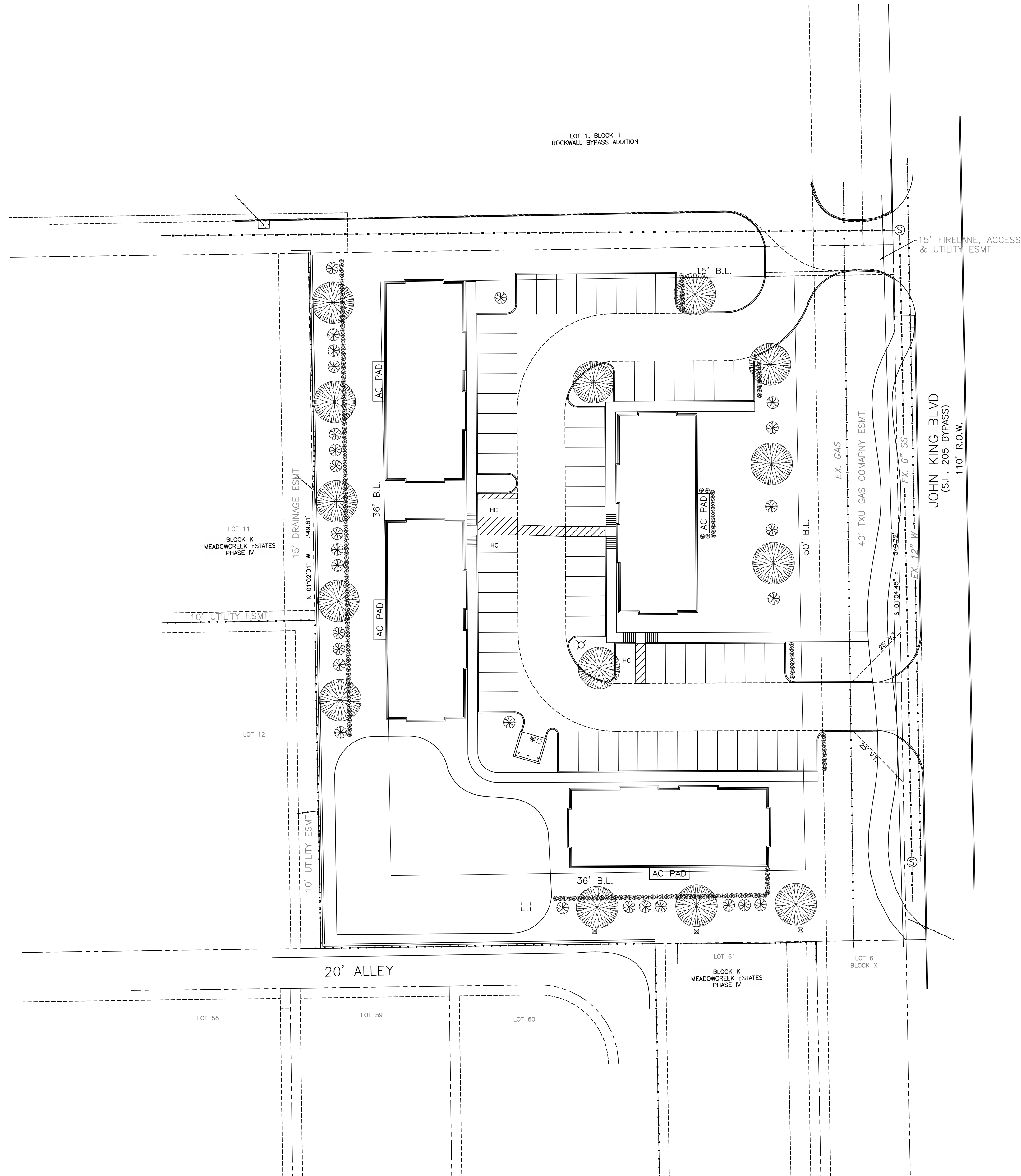
NEW SHELL OFFICE FACILITY FOR
OFFICE CONDO
 JOHN KING BLVD
 Rockwall, Texas 75032

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

EXTERIOR ELEVATIONS

DATE: JUNE 2022
 PROJECT NO: 2022044
 DRAWN BY: A501
 CHECKED BY:





SITE DATA TABLE	
SITE AREA	2.36 ACRES (102,859 S.F.)
ZONING	PD-10/C
PROPOSED USE	GENERAL OFFICE
BUILDING AREA:	16,000 S.F.
LOT COVERAGE (GROSS AREA)	15.55%
FLOOR TO AREA RATIO	6.42 : 1
BUILDING HEIGHT MAX.	25'-0"

LANDSCAPE TABULATION	
NET AREA	2.36 ACRES (102,859 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 102,859 S.F.	15,429 S.F.
PROVIDED LANDSCAPE AREA-- 50% OF 102,859 S.F.	50,324 S.F.
IMPERVIOUS COVERAGE-- 50% OF 102,859 S.F.	50,535 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	ACCENT TREE
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	EXISTING TREE OR SHRUBBERY

- GENERAL NOTES:**
1. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 3. OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 5. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 6. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 7. ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 8. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 9. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 10. ALL PARKING SPACES ARE WITHIN 80' OF A TREE

PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
OFFICE	16,000 S.F.	1/300	= 54
TOTAL PARKING REQUIRED			= 54 SPACES

JOHN KING OFFICE PARK

LEGAL DESCRIPTION AND/OR ADDRESS:
JOHN KING OFFICE PARK
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER:
SBM Real Estate Services
709 W. Rusk Street, Ste 810
Rockwall, TX 75087
C: Aaron Davis
P: 214-557-9093

APPLICANT:
Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-000

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Director of Planning & Zoning

1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

ISSUE:
CITY REVIEW: 07-15-2022

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NEW SHELL OFFICE FACILITY FOR
OFFICE CONDO
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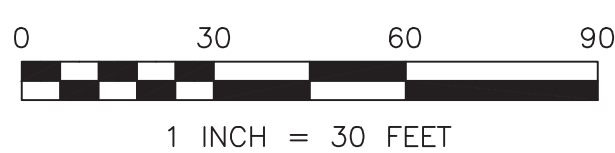
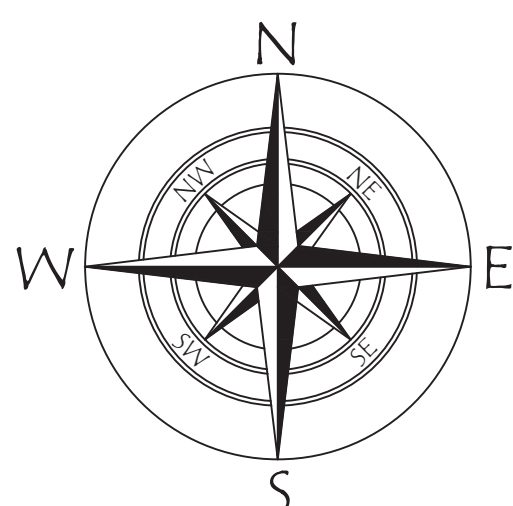
LANDSCAPE PLAN

DATE: JUNE 2022 SHEET NO. L1

PROJECT NO: 2022044

DRAWN BY:

CHECKED BY:



LEGEND:

	BOUNDARY LINE
	TREE

THIS DRAWING IS A POINT MAP AND SHOULD BE USED AS A REFERENCE IN ACCORDANCE WITH THE LATEST PLANS, REVISIONS AND ADDENDA!

ALL DATA MUST BE INVERSED AND MEASURED IN THE FIELD PRIOR TO CONSTRUCTION.

SURVEYOR'S CERTIFICATION

I, RICHARD M. CUMMOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS HORIZONTAL TREE LOCATION SURVEY ACCURATELY REPRESENTS THE LOCATION OF TREES WITH A DIAMETER GREATER THAN 11" MEASURED AND WAS MADE ON THE GROUND ON FEBRUARY 15 2022, UNDER MY SUPERVISION.

Richard M. Cummock

RICHARD M. CUMMOCK
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 6416
DATE: 21-FEB-2022



SURVEYOR'S NOTES:

1. BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), NORTH CENTRAL ZONE 4202. COORDINATES, MEASUREMENTS, AND DISTANCES SHOWN ARE U.S. SURVEY FEET.
2. THIS EXHIBIT DOES NOT CONSTITUTE A LAND BOUNDARY SURVEY, OR LAND BOUNDARY SURVEY FOR LOCATING TREE LOCATIONS RELATIVE THERETO.
3. BOUNDARIES AND LAND INFORMATION ARE BASED UPON A 2015 ALTA/ACSM LAND TITLE SURVEY PERFORM BY MERLE W. MILLER, RPLS #5438, OCTOBER 1, 2015 AND IS DEPICTED HEREIN AS ACCURATELY AS POSSIBLE FOR SPATIAL REFERENCE PURPOSES ONLY, AND SHALL NOT BE CONSTRUED AS ANY TYPE OF LAND BOUNDARY SURVEY UNDER ANY CIRCUMSTANCES.
4. TREE SYMBOLS ARE MEANT TO DEPICT THE HORIZONTAL LOCATIONS OF THE DESCRIBED TREE AND SHOULD NOT BE USED TO MEASURE TREE SIZE OR TREE CANOPY COVERAGE. SEE TREE TABLE FOR TREE SIZE AND SPECIES INFORMATION.

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
10001	7018153	2603262	>11" EASTERN RED CEDAR
10002	7018192	2603149	>11" EASTERN RED CEDAR
10003	7018212	2603170	>11" EASTERN RED CEDAR
10004	7018253	2603216	>11" EASTERN RED CEDAR
10005	7018338	2603248	>11" EASTERN RED CEDAR
10006	7018356	2603263	>11" EASTERN RED CEDAR
10007	7018327	2603171	>11" EASTERN RED CEDAR
10008	7018309	2603146	>11" EASTERN RED CEDAR
10009	7018341	2603072	>11" EASTERN RED CEDAR

LOT 1, BLOCK 1
ROCKWALL BYPASS ADDITION
CAB H, SLIDE 325
P.R.R.C.T.



SHEET NO. 1 of 1

DATE:	FEBRUARY 21, 2022
PROJECT MGR.	RKH
PROJECT TECH.	GHP
PROJECT NO.	22-037

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2.361 ACRES LOCATED IN THE W.H. BAIRD SURVEY, ABSTRACT NO. 25 ROCKWALL COUNTY, TEXAS HORIZONTAL TREE LOCATION SURVEY

HUDSON SITE CONTROL, LLC
LAND SURVEYING - CONSTRUCTION LAYOUT
2884 HIGHWAY 287 N STE 224 MANFIELD, TEXAS 76063
OFFICE - 817.225.6700 FAX - 817.225.6701
T.B.P.E.L.S. FIRM NO. 10194185

REVISIONS	DATE	BY



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCECARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

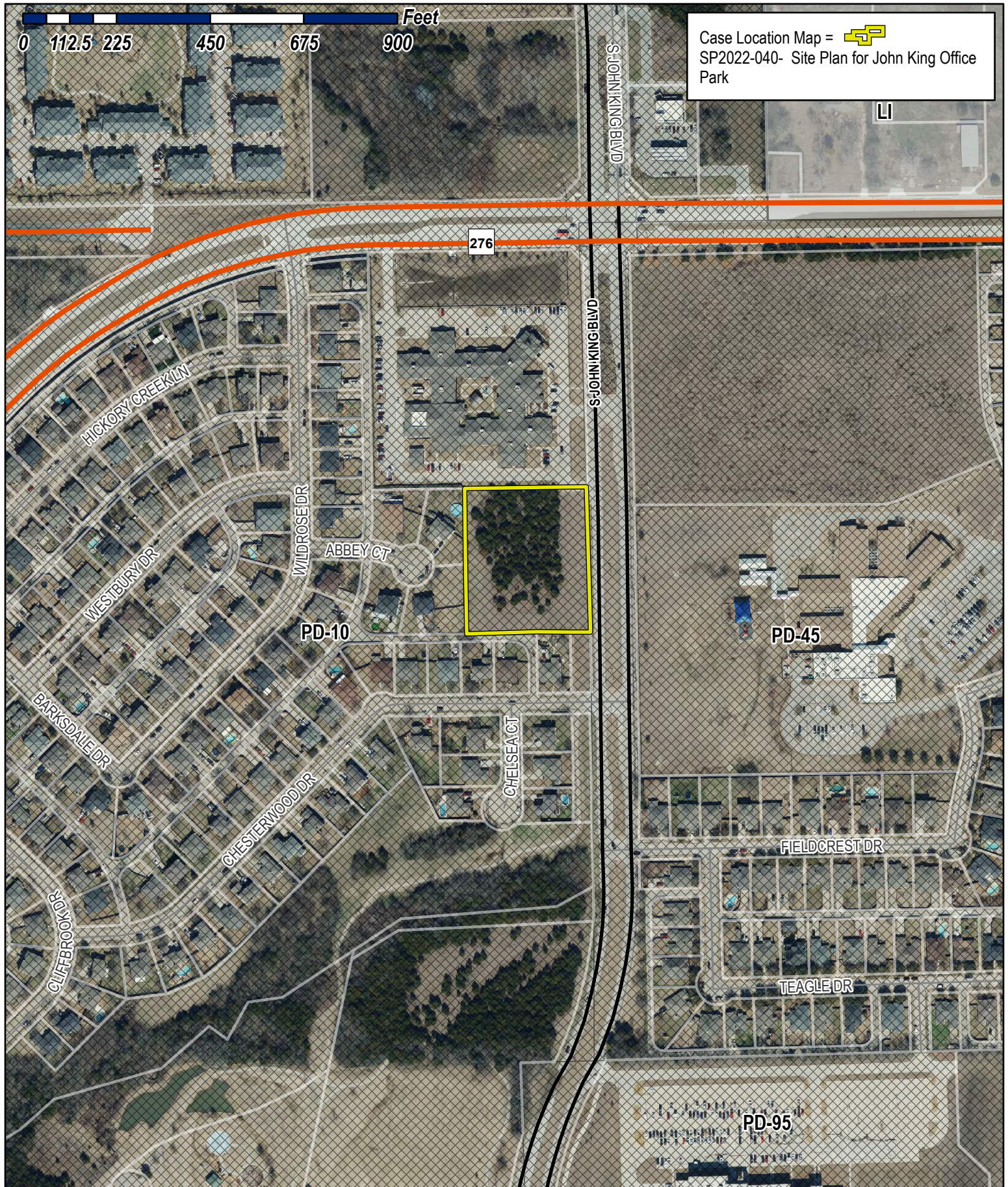
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



Case Location Map = 
 SP2022-040- Site Plan for John King Office
 Park

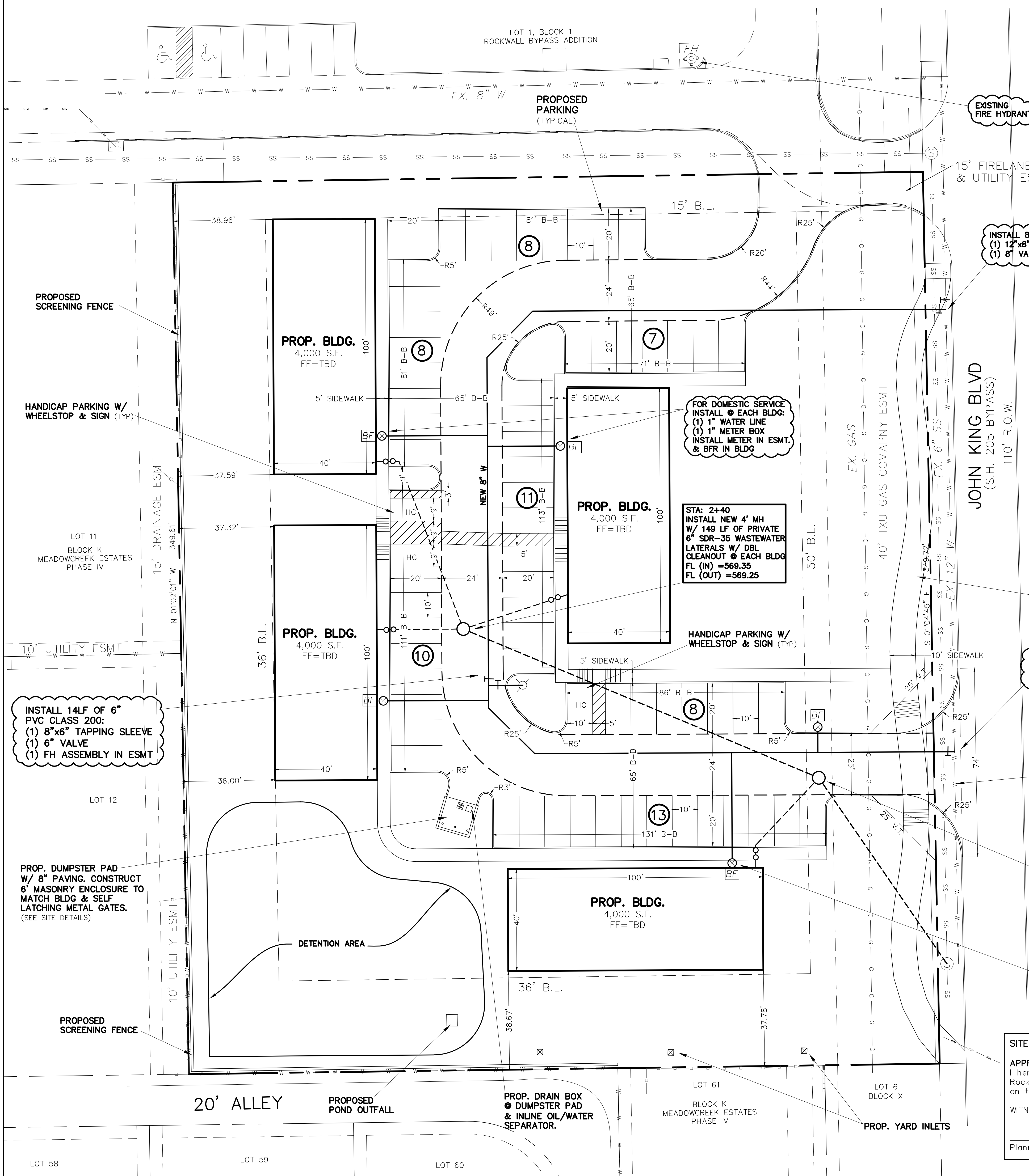


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- PAVING NOTES:**
- 1) APPROACHES TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, LLC OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:

LOT AREA:
2.36 Acres, 102,859 sq.ft.

LOT COVERAGE:
15.55%

FLOOR TO AREA RATIO:
6.42:1

BUILDING AREA:
16,000 sq.ft.

BUILDING HEIGHT:
1 STORY (25')

PROPOSED FUTURE USE:
Office

IMPERVIOUS AREA (including buildings):
50,535 sq.ft.

ZONING:
PD-10/C

PARKING:
Required:
Office (1/300sf) = 54
Handicap = 3
Provided:
Standard = 62
Handicap = 3
Total Provided = 65

LANDSCAPE AREA:
Required: (15%) 15,429 sq.ft.
Provided: 52,324 sq.ft.

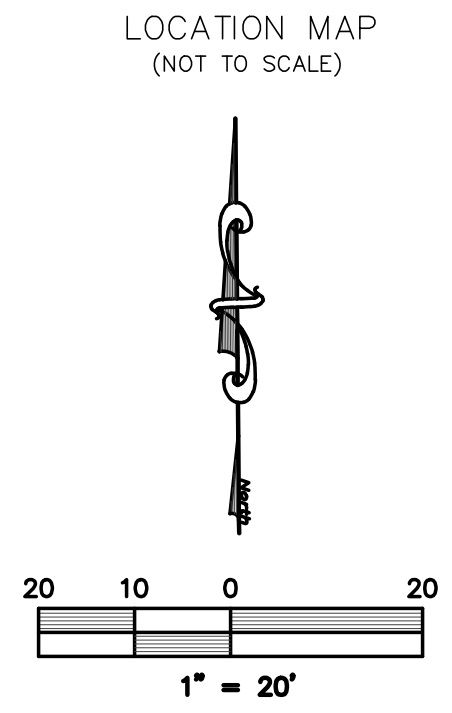
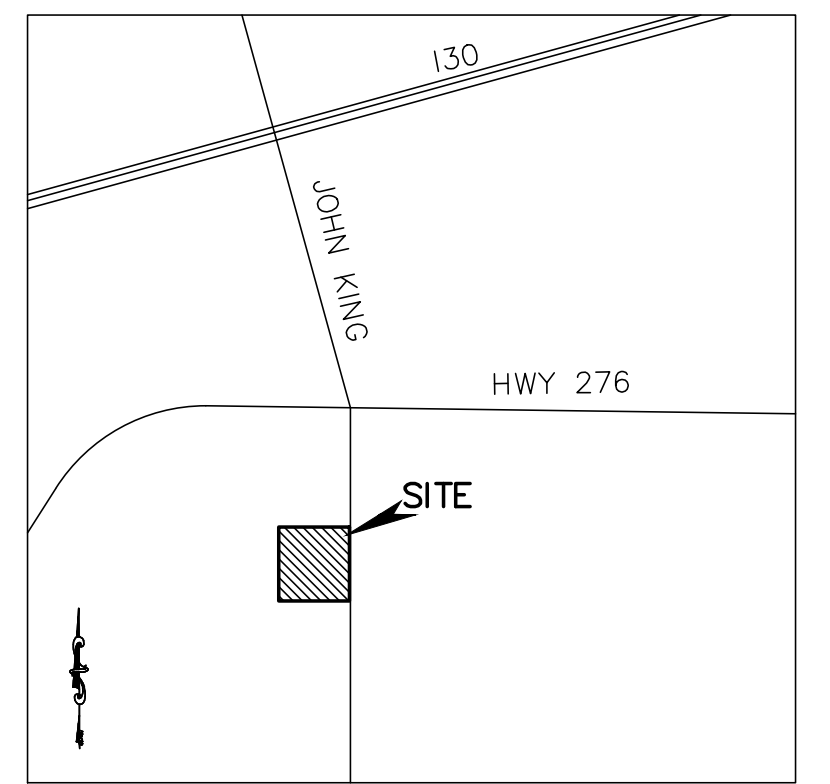
FIRESPRINKLER:
NO

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

* THERE ARE TREES ON THIS SITE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.



LEGEND

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- G = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FD = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE



SITE PLAN

JOHN KING OFFICE PARK

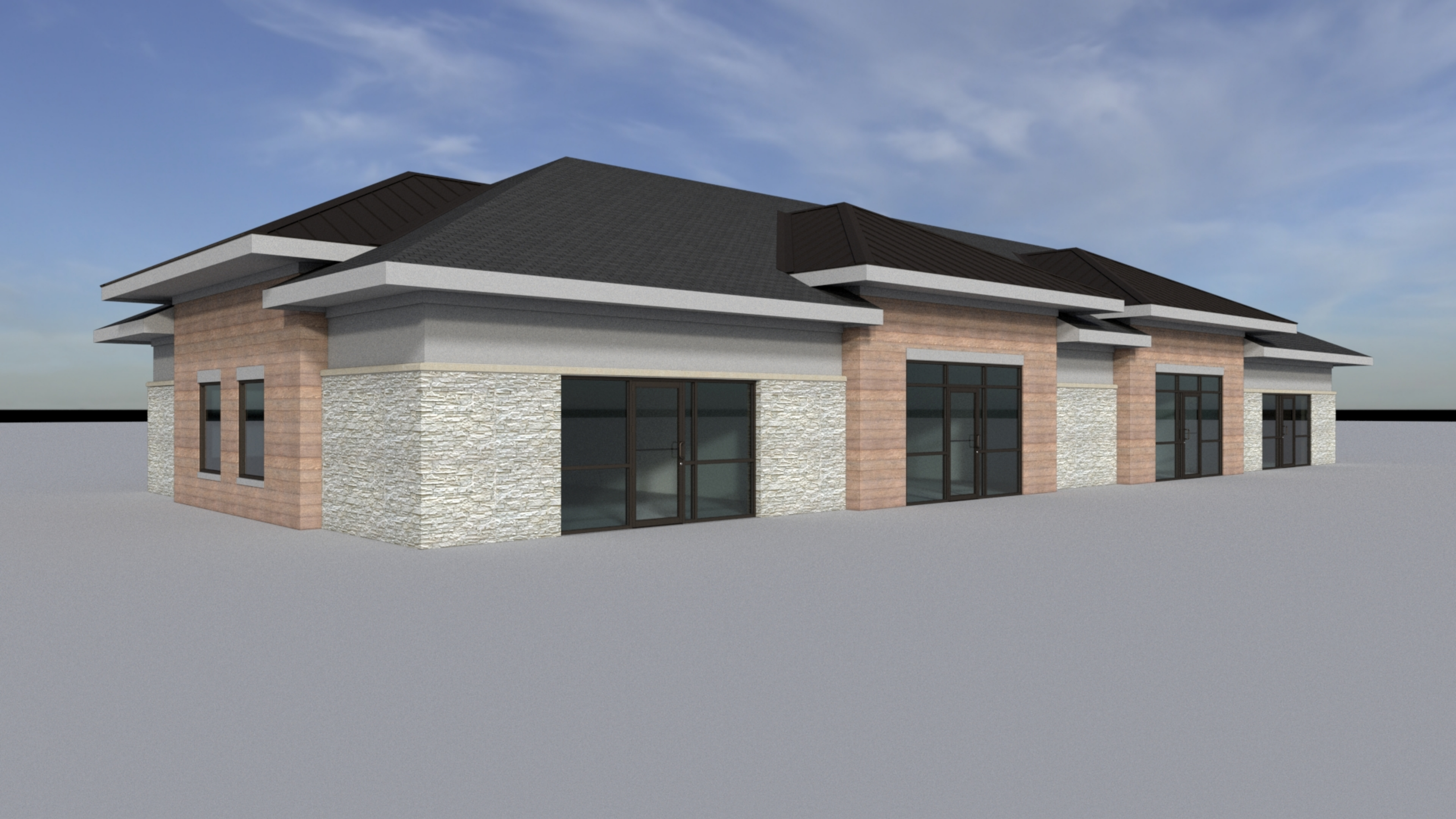
JOHN KING OFFICE PARK ADDITION
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
City of Rockwall, Rockwall County, Texas

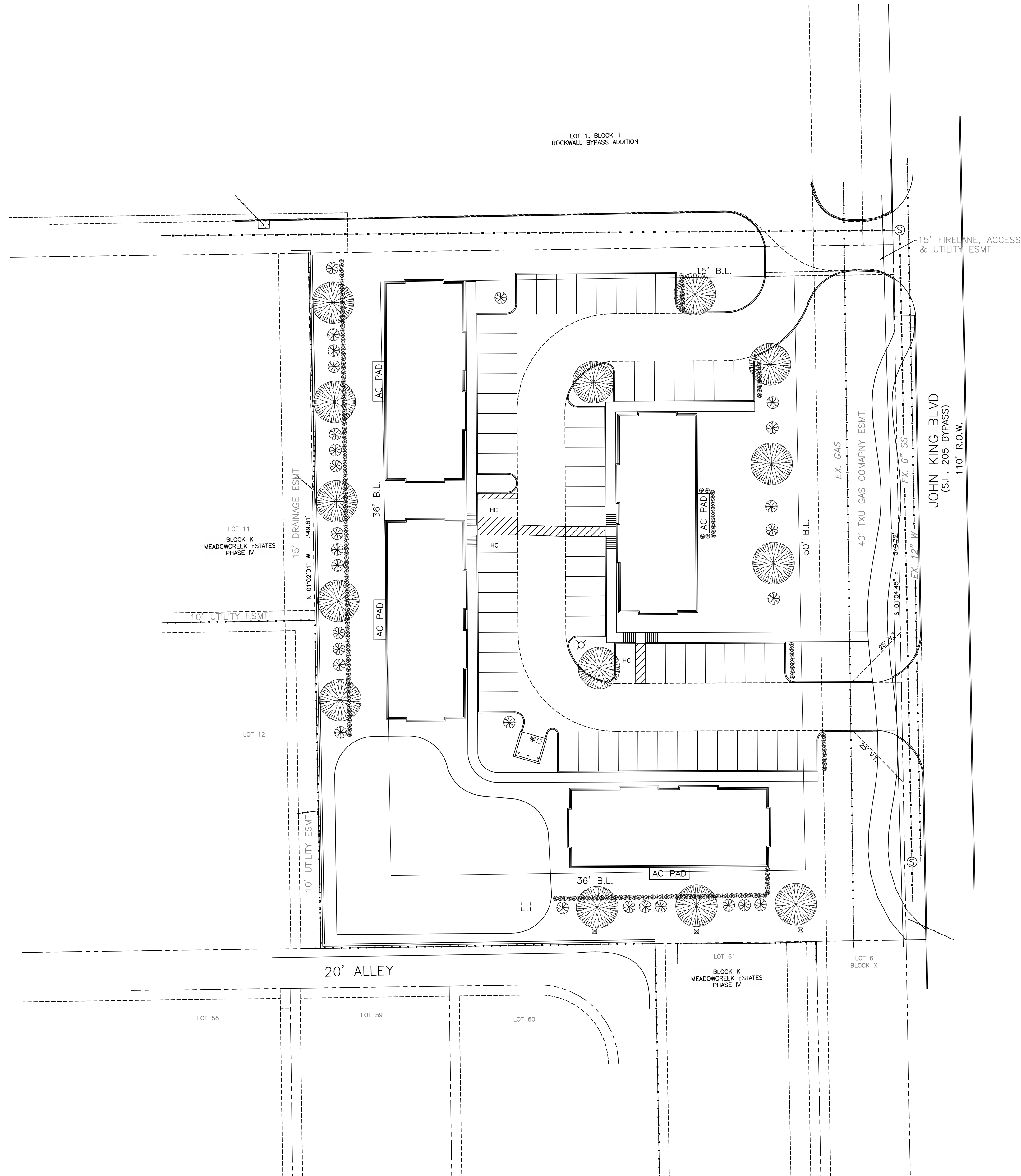
owner
SBM REAL ESTATE SERVICES
709 W. Rusk Street, Ste 810
Rockwall, Texas 75087
Contact: Aaron Davis (214)557-9093

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 7/8/22 scale: 1" = 20' sheet: C101





SITE DATA TABLE	
SITE AREA	2.36 ACRES (102,859 S.F.)
ZONING	PD-10/C
PROPOSED USE	GENERAL OFFICE
BUILDING AREA:	16,000 S.F.
LOT COVERAGE (GROSS AREA)	15.55%
FLOOR TO AREA RATIO	6.42 : 1
BUILDING HEIGHT MAX.	25'-0"

LANDSCAPE TABULATION	
NET AREA	2.36 ACRES (102,859 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 102,859 S.F.	15,429 S.F.
PROVIDED LANDSCAPE AREA-- 50% OF 102,859 S.F.	50,324 S.F.
IMPERVIOUS COVERAGE-- 50% OF 102,859 S.F.	50,535 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	ACCENT TREE
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	EXISTING TREE OR SHRUBBERY

- GENERAL NOTES:**
1. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 3. OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 5. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 6. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 7. ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 8. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 9. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 10. ALL PARKING SPACES ARE WITHIN 80' OF A TREE

PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
OFFICE	16,000 S.F.	1/300	= 54
TOTAL PARKING REQUIRED			= 54 SPACES

JOHN KING OFFICE PARK

LEGAL DESCRIPTION AND/OR ADDRESS:
JOHN KING OFFICE PARK
LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER:
SBM Real Estate Services
709 W. Rusk Street, Ste 810
Rockwall, TX 75087
C: Aaron Davis
P: 214-557-9093

APPLICANT:
Carroll Architects, Inc.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-000

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____.

WITNESS OUR HANDS, this ___ day of ____.

Director of Planning & Zoning

1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

ISSUE:
CITY REVIEW: 07-15-2022

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NEW SHELL OFFICE FACILITY FOR
OFFICE CONDO
JOHN KING BLVD
Rockwall, Texas 75032

CARROLL architects

750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

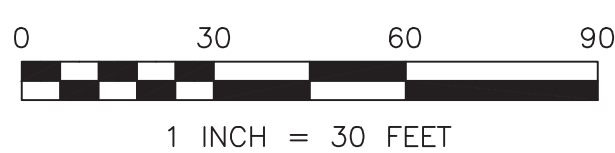
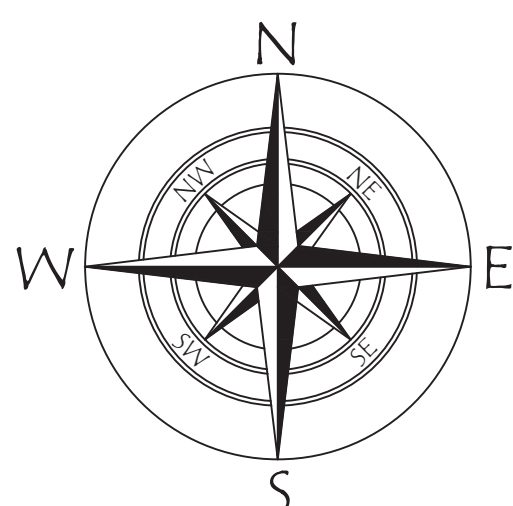
LANDSCAPE PLAN

DATE: JUNE 2022 SHEET NO. L1

PROJECT NO: 2022044

DRAWN BY: _____

CHECKED BY: _____



LEGEND:

	BOUNDARY LINE
	TREE

THIS DRAWING IS A POINT MAP AND SHOULD BE USED AS A REFERENCE IN ACCORDANCE WITH THE LATEST PLANS, REVISIONS AND ADDENDA!

ALL DATA MUST BE INVERSED AND MEASURED IN THE FIELD PRIOR TO CONSTRUCTION.

SURVEYOR'S CERTIFICATION

I, RICHARD M. CUMMOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS HORIZONTAL TREE LOCATION SURVEY ACCURATELY REPRESENTS THE LOCATION OF TREES WITH A DIAMETER GREATER THAN 11" MEASURED AND WAS MADE ON THE GROUND ON FEBRUARY 15 2022, UNDER MY SUPERVISION.

Richard M. Cummock

RICHARD M. CUMMOCK
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 6416
DATE: 21-FEB-2022

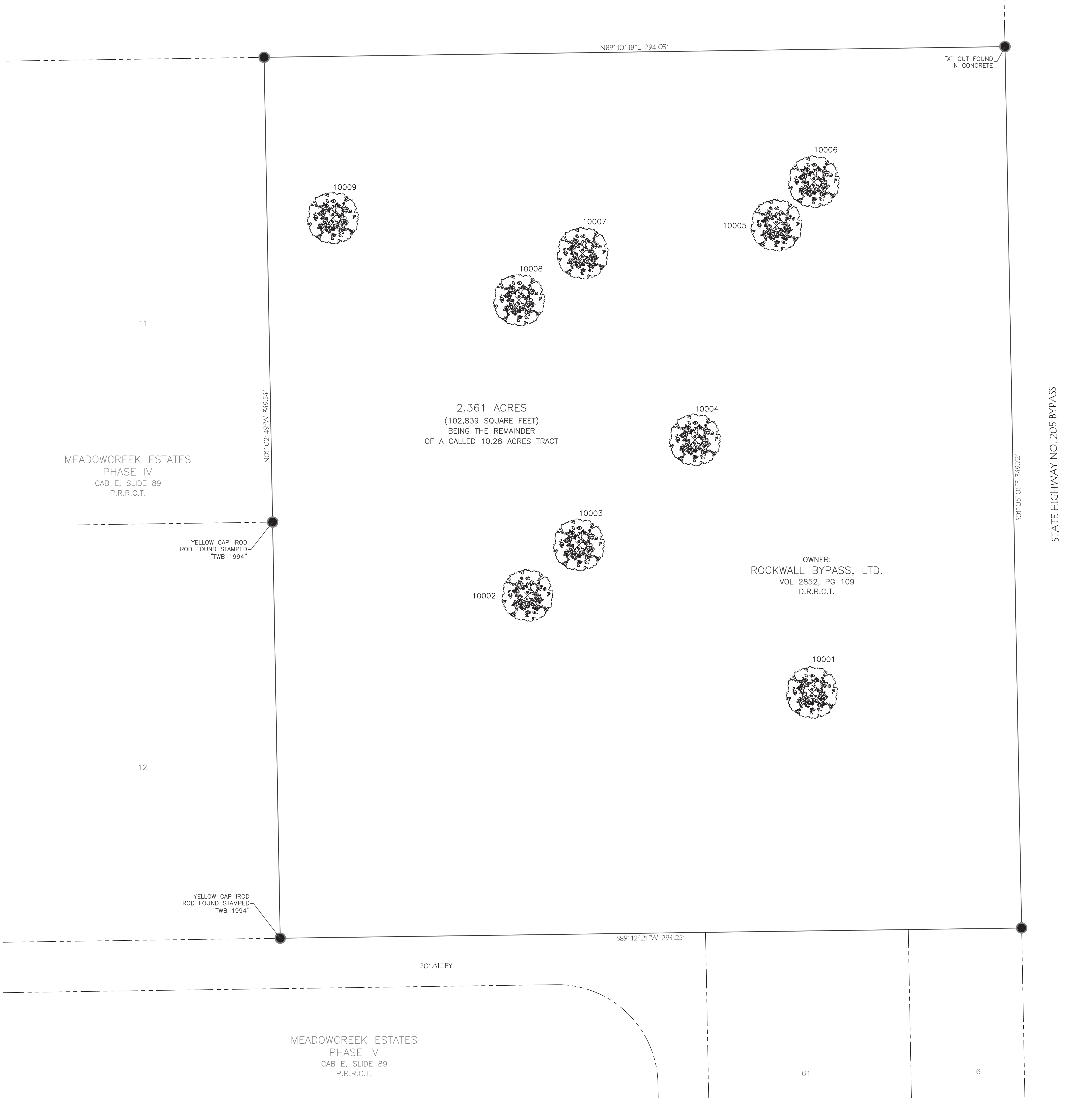


SURVEYOR'S NOTES:

1. BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), NORTH CENTRAL ZONE 4202. COORDINATES, MEASUREMENTS, AND DISTANCES SHOWN ARE U.S. SURVEY FEET.
2. THIS EXHIBIT DOES NOT CONSTITUTE A LAND BOUNDARY SURVEY, OR LAND BOUNDARY SURVEY FOR LOCATING TREE LOCATIONS RELATIVE THERETO.
3. BOUNDARIES AND LAND INFORMATION ARE BASED UPON A 2015 ALTA/ACSM LAND TITLE SURVEY PERFORM BY MERLE W. MILLER, RPLS #5438, OCTOBER 1, 2015 AND IS DEPICTED HEREIN AS ACCURATELY AS POSSIBLE FOR SPATIAL REFERENCE PURPOSES ONLY, AND SHALL NOT BE CONSTRUED AS ANY TYPE OF LAND BOUNDARY SURVEY UNDER ANY CIRCUMSTANCES.
4. TREE SYMBOLS ARE MEANT TO DEPICT THE HORIZONTAL LOCATIONS OF THE DESCRIBED TREE AND SHOULD NOT BE USED TO MEASURE TREE SIZE OR TREE CANOPY COVERAGE. SEE TREE TABLE FOR TREE SIZE AND SPECIES INFORMATION.

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
10001	7018153	2603262	>11" EASTERN RED CEDAR
10002	7018192	2603149	>11" EASTERN RED CEDAR
10003	7018212	2603170	>11" EASTERN RED CEDAR
10004	7018253	2603216	>11" EASTERN RED CEDAR
10005	7018338	2603248	>11" EASTERN RED CEDAR
10006	7018356	2603263	>11" EASTERN RED CEDAR
10007	7018327	2603171	>11" EASTERN RED CEDAR
10008	7018309	2603146	>11" EASTERN RED CEDAR
10009	7018341	2603072	>11" EASTERN RED CEDAR

LOT 1, BLOCK 1
ROCKWALL BYPASS ADDITION
CAB H, SLIDE 325
P.R.R.C.T.



DATE:	FEBRUARY 21, 2022
PROJECT MGR.	RKH
PROJECT TECH.	GHP
PROJECT NO.	22-037

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**2.361 ACRES LOCATED IN THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
ROCKWALL COUNTY, TEXAS
HORIZONTAL TREE LOCATION SURVEY**

**HUDSON
SITE CONTROL, LLC**
LAND SURVEYING - CONSTRUCTION LAYOUT
2884 HIGHWAY 287 N STE 224 MANFIELD, TEXAS 76063
OFFICE - 817.225.6700 FAX - 817.225.6701
T.B.P.E.L.S. FIRM NO. 10194185

REVISIONS	DATE	BY

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/22/2022

PROJECT NUMBER: SP2022-040
PROJECT NAME: Site Plan for John King Office Park
SITE ADDRESS/LOCATIONS: 1940 N JOHN KING BLVD

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Aaron Davis of SBM Real Estates Services for the approval of a Site Plan for an Office Park on a 2.36-acre tract of land identified as Tract 1-2 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the west side of John King Boulevard south of the intersection of John King Boulevard and SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/22/2022	Needs Review

07/22/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Office Park on a 2.36-acre tract of land identified as Tract 1-2 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the west side of John King Boulevard south of the intersection of John King Boulevard and SH-276.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-040) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, the SH-205 By-Pass Overlay District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 A photometric plan must be provided to staff (Subsection 03.04, of Article 11)

M.6 A material sample board must be provided to staff before the July 26, 2022 Planning and Zoning Meeting. (Subsection 03.04. A, of Article 11)

M.7 The subject property will be required to plat to establish the new easements. (Subsection 03.04. A, of Article 11)

M.8 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.9 Site Plan:

1. Please provide the dimensions of the site. (Subsection 03.04. B, of Article 11)
2. The front setback is 50-feet, the north side setback is 10-feet, and the south and west side setback is 20-feet. (Subsection 03.04. B, of Article 11)
3. Please label the fire lanes as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
4. Please indicate the centerline of John King Boulevard. (Subsection 03.04. B, of Article 11)
5. Signage is covered in a separate permit. (Subsection 06.02. F, of Article 05)
6. Indicate the height and type of all fencing existing and proposed. Provide a detail of the residential adjacency screening. (Subsection 08.02. F, of Article 08)
7. No outside storage will be permitted.
8. All ground mounted utility equipment must be screened from all Right-of-Way and adjacent properties. In this case at the middle building move the pad units to the south side of the building, at the south building fully screen pad units with shrubs, and the rear buildings plant shrubs on the sides of the pad units. (Subsection 01.05. C, of Article 05)
9. Dumpster Screening. The masonry screening wall must be 12-feet by 10-feet, and 8-feet in height because the property is located in an overlay district. The gate must be self-latching and not manual. The dumpster enclosure must be faced in the same material as the primary building. The enclosure must have 5-gallon shrubs planted around it. Please provide a detail. (Subsection 01.05. B, of Article 05)

M.10 Landscape Plan:

1. Within the landscape table indicate the size, species, and count. (Subsection 05.03. B, of Article 08)
2. Indicate the 50-foot landscape buffer. (Subsection 05.01, of Article 08)
3. Within the landscape buffer, the SH-205 By-Pass Overlay requires 2-canopy, 4-accent, a 1-cedar tree per 100-feet of linear frontage. In this case 7-canopy trees, 14-accent trees, and 4-cedar trees are required. The buffer also requires a berm and shrubs. (Subsection 05.01, of Article 08)
4. For the detention pond, the landscaping requirement is 1-canopy tree per 750 SF and 1-accent tree per 1,500 SF. (Subsection 05.01, of Article 08)
5. Provide a note indicating the irrigation will meet the requirements of the Unified Development Code (UDC). (Subsection 05.04, of Article 08)

M.11 Treescape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Indicate the proposed buildings. (Subsection 03.01. A, of Article 09)
3. Indicate which trees are being removed and their subsequent mitigation. (Subsection 03.01. F, of Article 09)
4. Provide a Treescape table that indicates the total inches being removed and the total inches being removed. (Subsection 03.01. G, of Article 09)

M.12 Photometric Plan:

1. Provide staff with a photometric plan by the Planning and Zoning work session on July 26, 2022. (Subsection 03.04, of Article 11)

M.13 Building Elevations:

1. Please provide the material percentages on each façade of the proposed building. (Subsection 04.01, of Article 05)
2. 20% natural or quarried stone is required on each façade of the proposed building. (Subsection 06.02. C, of Article 05)
3. 90% masonry materials are required on each façade of the proposed building. (Subsection 06.02. C, of Article 05)
4. Please provide more information on the proposed materials. An EIFS finish on the stucco is not permitted. (Subsection 04.01, of Article 05)
5. There are not four (4) architectural element on the building per the Overlay District Standards. (Subsection 06.02. C, of Article 05)
6. Within the SH-205 Overlay District "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case the building must have primary façade articulation on all sides of the building. Given this the wall lengths do not meet on all sides of the buildings, because the wall length is greater than three (3) times the wall height.

I.14 Staff has identified the following variances associated with the proposed request: [1] primary articulation, and [2] architectural elements. Should you decide to request these items as variances, please provide a letter that lists the variances, why they are being requested, and the subsequent compensatory measures. For each variance requested you

must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased landscaping, increased architectural elements, more pedestrian amenity, etc.

I.15 Please note that failure to address all comments provided by staff by 3:00 PM on August 2, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case. CORRECTED PLANS ARE SUBMIT AT WILL BEFORE AUGUST 2, 2022.

I.16 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 2, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2022 Planning & Zoning Meeting.

I.17 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 26, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on August 9, 2022.

I.18 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/22/2022	Needs Review

07/22/2022: - Fire lane to be 24' wide minimum.

- public water and sewer lines to have 10' of easement on both sides of the line. total 20' minimum easement.
- FYI Sanitary sewer service enters manhole going against the flow of the system.
- There is a 10' utility easement along both alleys please see attached markup.
- Detention is not allowed within the utility easements.
- Detention pond needs to drain to the stub out in John King.
- Driveway radius to be 30' minimum.
-

The following items are informational for the engineer design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- Will require an approval letter from the gas company to cross and pave in their easement

Roadway Paving Items:

- Parking to be 20'x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Must build a 10' wide trail along John King and must be in an easement.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have a grease trap or oil/water separator for the dumpster drainage and must connect to the storm lines.
- Fire hydrants to have 5' clearance around them, including the parking spaces.

Drainage Items:

- Detention is required. Rational method C-value is based on zoning.
- No walls allowed in detention.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	07/22/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/18/2022	Needs Review

07/18/2022: Label proposed fire lane on the site plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/18/2022	Approved w/ Comments

07/18/2022: Address will be *1940 S JOHN KING BLVD, ROCKWALL, TX 75032*

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/18/2022	Approved w/ Comments

- 07/18/2022: 1. Please provide tree mitigation plan
2. all parking spaces shall be within 80' of a tree canopy



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

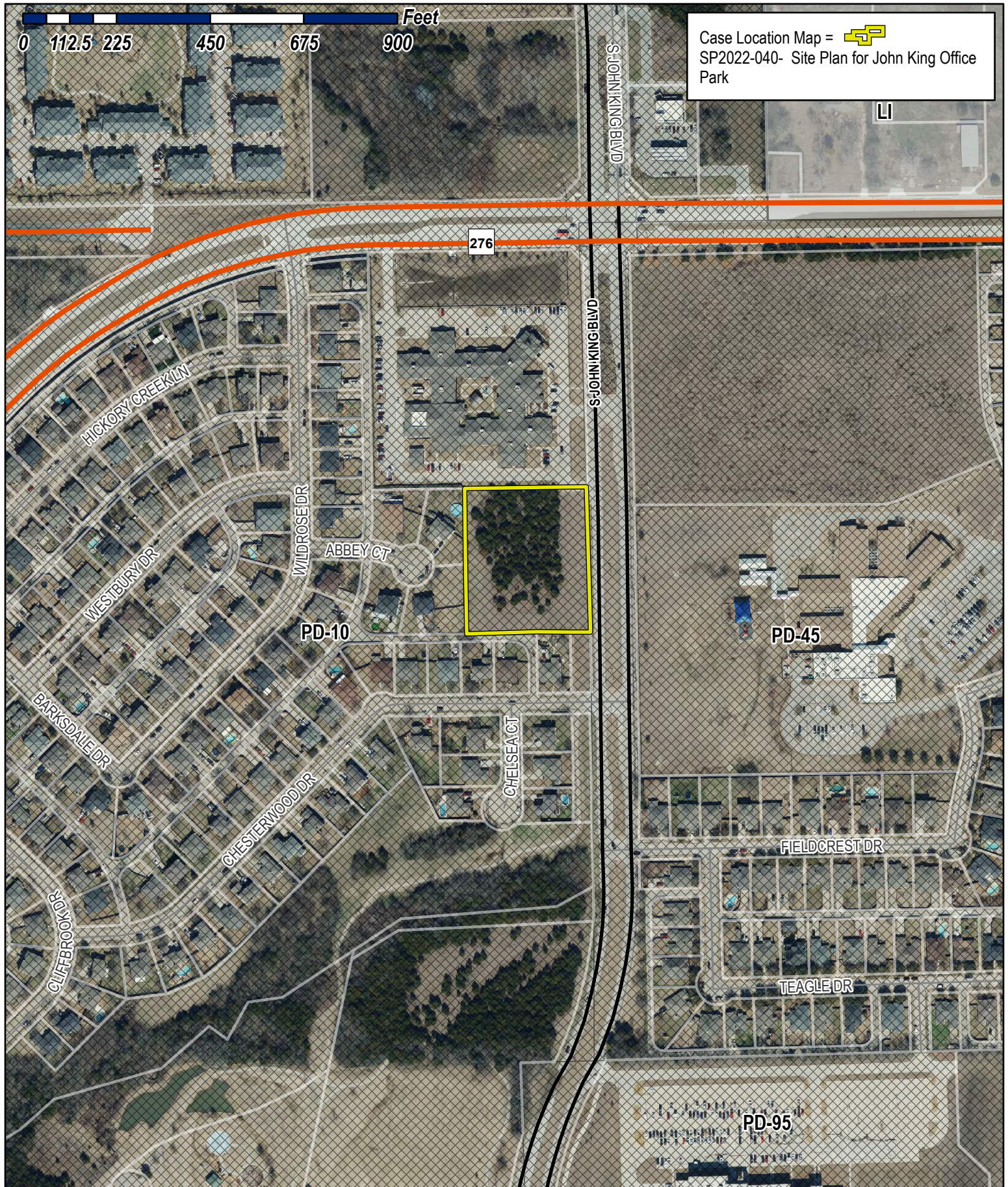
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



Case Location Map = 
 SP2022-040- Site Plan for John King Office
 Park

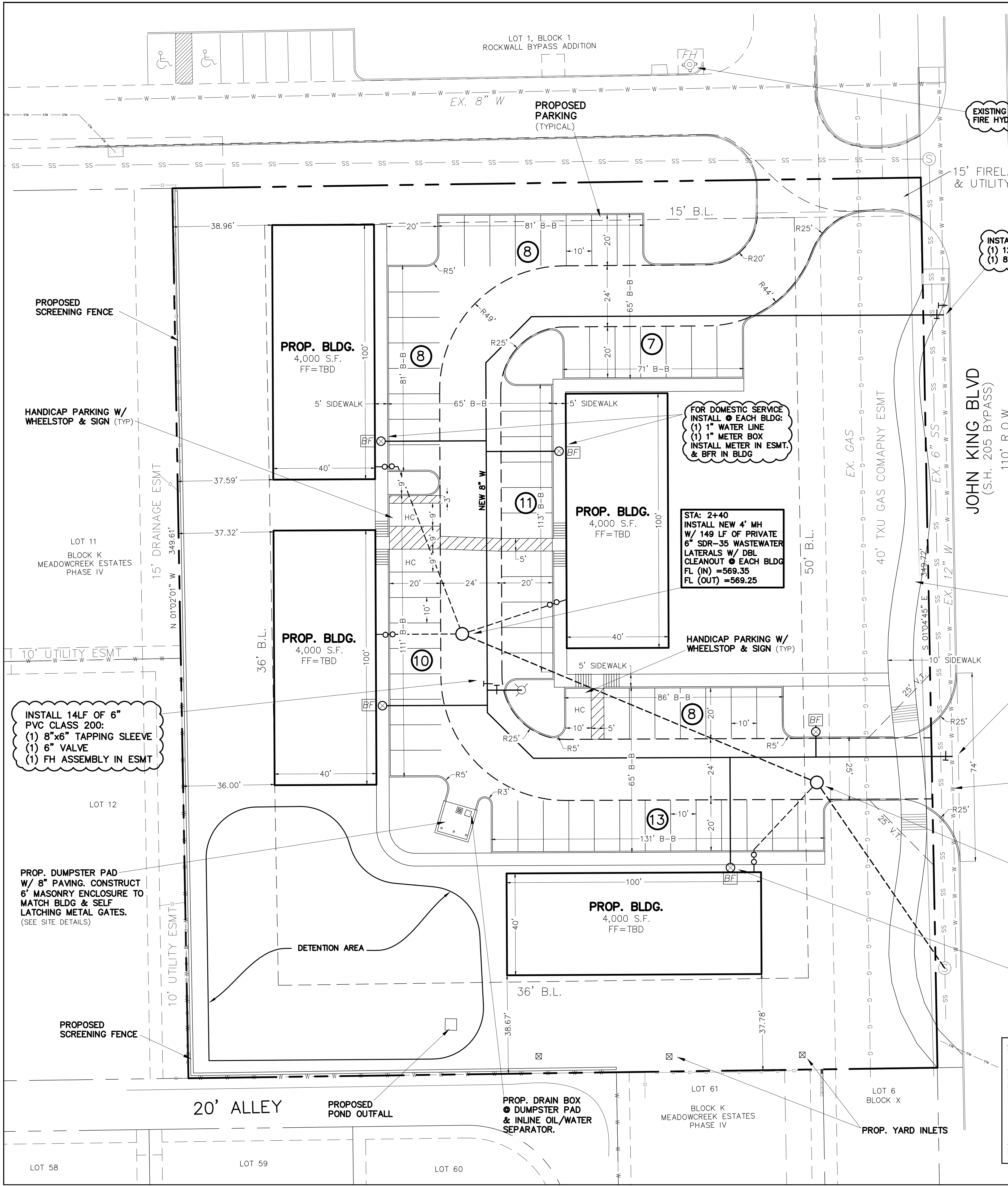


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- PAVING NOTES:**
- 1) APPROACHES TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

**** NOTICE TO CONTRACTORS ****

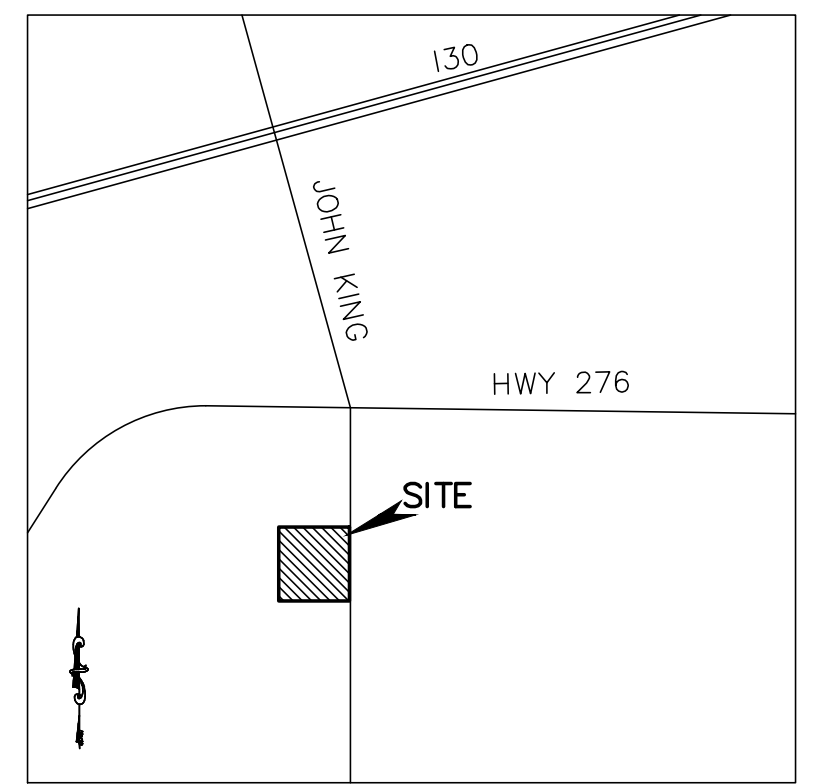
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, L.L.C. OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:

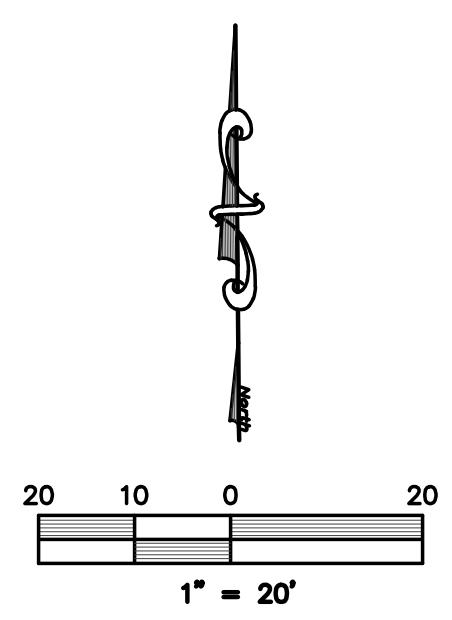
LOT AREA:
2.36 Acres, 102,859 sq.ft.
LOT COVERAGE:
15.55%
FLOOR TO AREA RATIO:
6.42:1
BUILDING AREA:
16,000 sq.ft.
BUILDING HEIGHT:
1 STORY (25')
PROPOSED FUTURE USE:
Office
IMPERVIOUS AREA (including buildings):
50,535 sq.ft.
ZONING:
PD-10/C
PARKING:
Required:
Office (1/300sf) = 54
Handicap = 3
Provided:
Standard = 62
Handicap = 3
Total Provided = 65
LANDSCAPE AREA:
Required: (15%) 15,429 sq.ft.
Provided: 52,324 sq.ft.
FIRESPRINKLER:
NO
 * THERE ARE NO EXIST. BUILDINGS ON THIS SITE
 * THERE ARE TREES ON THIS SITE

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.



LOCATION MAP (NOT TO SCALE)



LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- FH --- = EXISTING FIRE HYDRANT
- WM --- = EXISTING WATER METER
- PP --- = EXISTING POWER POLE
- LP --- = EXISTING LIGHT POLE
- T --- = EX. WATER VALVE
- S --- = EXISTING SEWER MANHOLE
- G --- = EXISTING GAS METER
- B-B --- = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. --- = EXISTING
- PROP. --- = PROPOSED
- LS --- = LANDSCAPE
- RCP --- = REINFORCED CONCRETE PIPE
- min --- = MINIMUM
- max --- = MAXIMUM
- = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE



SITE PLAN

JOHN KING OFFICE PARK

JOHN KING OFFICE PARK ADDITION
 LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
 City of Rockwall, Rockwall County, Texas

OWNER:
SBM REAL ESTATE SERVICES
 709 W. Rusk Street, Ste 810
 Rockwall, Texas 75087
 Contact: Aaron Davis (214)557-9093

prepared by:
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

REG NO.: F-2567
 ©2022 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 7/8/22 scale: 1" = 20' sheet: C101

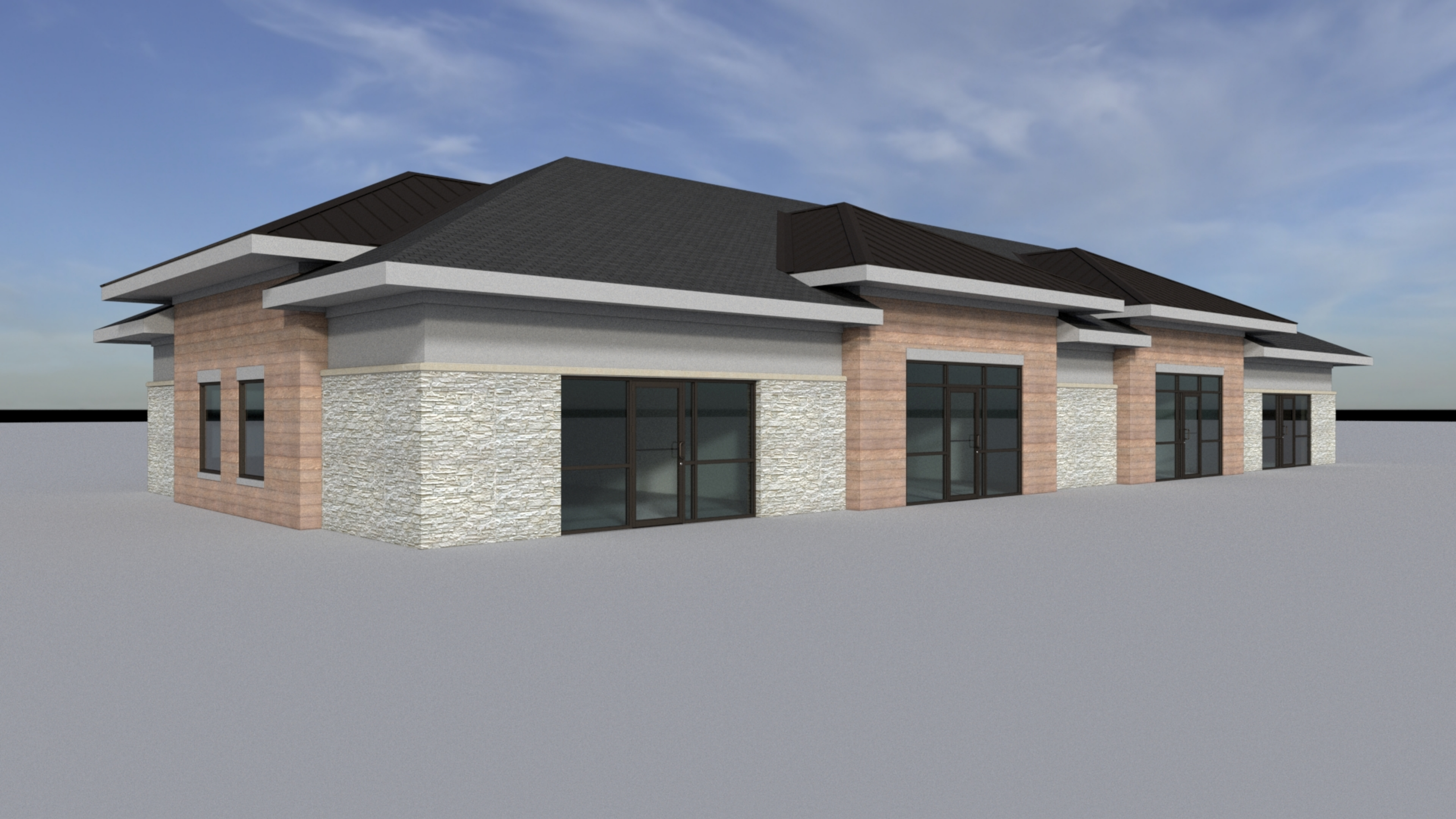
SITE PLAN SIGNATURE BLOCK

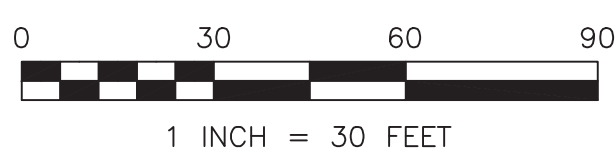
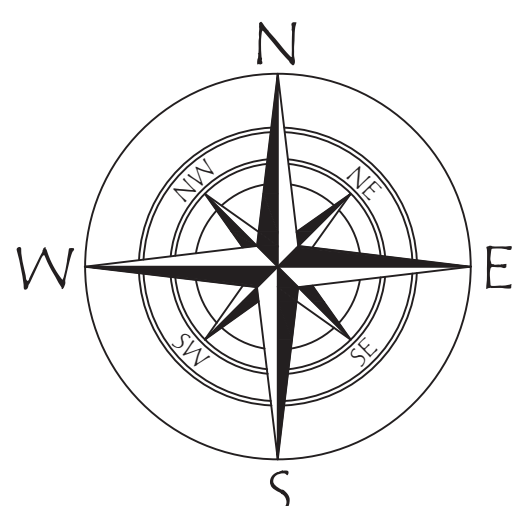
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning





LEGEND:

	BOUNDARY LINE
	TREE

THIS DRAWING IS A POINT MAP AND SHOULD BE USED AS A REFERENCE IN ACCORDANCE WITH THE LATEST PLANS, REVISIONS AND ADDENDA!

ALL DATA MUST BE INVERSED AND MEASURED IN THE FIELD PRIOR TO CONSTRUCTION.

SURVEYOR'S CERTIFICATION

I, RICHARD M. CUMMOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS HORIZONTAL TREE LOCATION SURVEY ACCURATELY REPRESENTS THE LOCATION OF TREES WITH A DIAMETER GREATER THAN 11" MEASURED AND WAS MADE ON THE GROUND ON FEBRUARY 15 2022, UNDER MY SUPERVISION.

Richard M. Cummock
 RICHARD M. CUMMOCK
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS REGISTRATION NUMBER 6416
 DATE: 21-FEB-2022

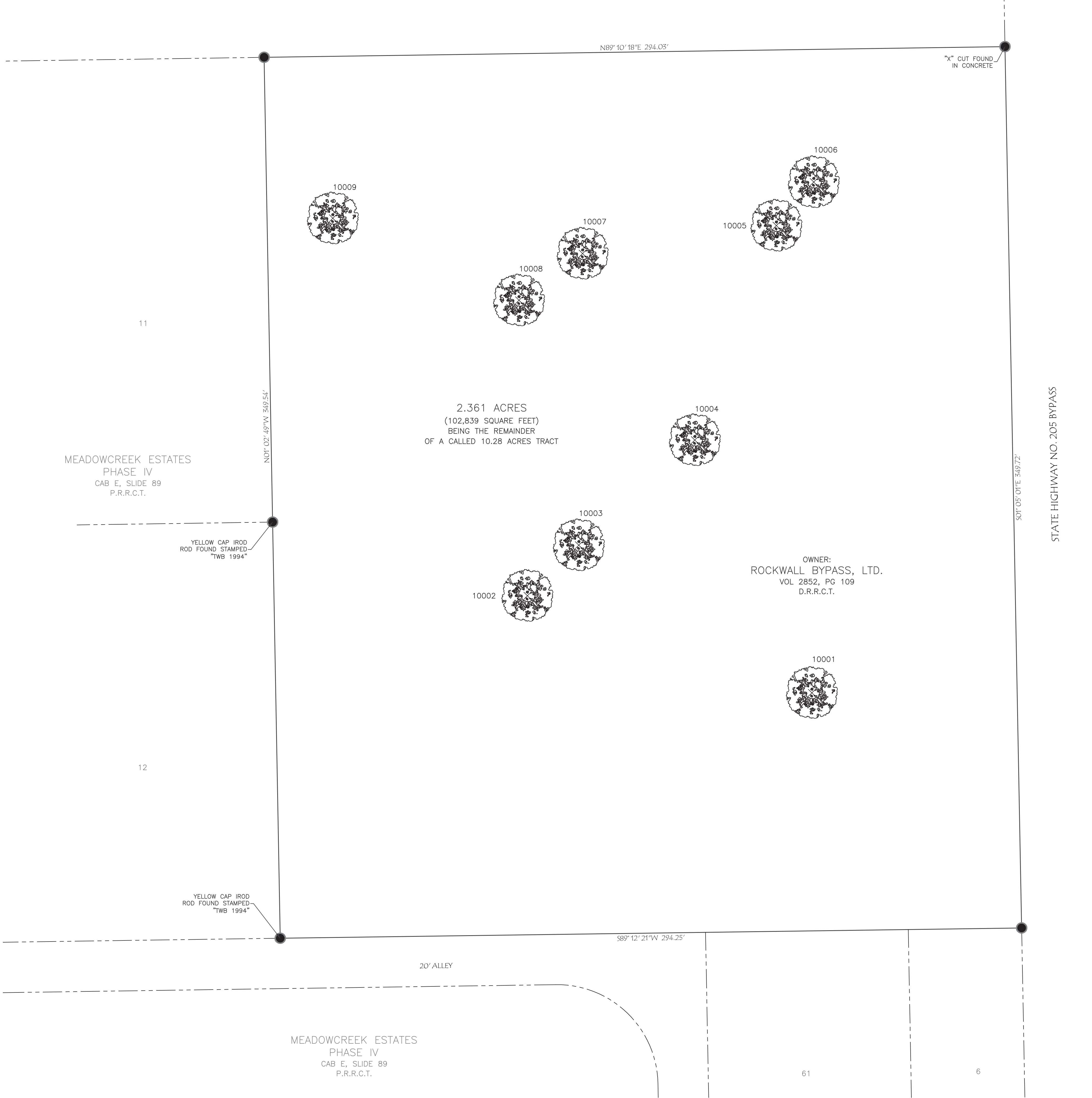


SURVEYOR'S NOTES:

1. BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), NORTH CENTRAL ZONE 4202. COORDINATES, MEASUREMENTS, AND DISTANCES SHOWN ARE U.S. SURVEY FEET.
2. THIS EXHIBIT DOES NOT CONSTITUTE A LAND BOUNDARY SURVEY, OR LAND BOUNDARY SURVEY FOR LOCATING TREE LOCATIONS RELATIVE THERETO.
3. BOUNDARIES AND LAND INFORMATION ARE BASED UPON A 2015 ALTA/ACSM LAND TITLE SURVEY PERFORM BY MERLE W. MILLER, RPLS #5438, OCTOBER 1, 2015 AND IS DEPICTED HEREIN AS ACCURATELY AS POSSIBLE FOR SPATIAL REFERENCE PURPOSES ONLY, AND SHALL NOT BE CONSTRUED AS ANY TYPE OF LAND BOUNDARY SURVEY UNDER ANY CIRCUMSTANCES.
4. TREE SYMBOLS ARE MEANT TO DEPICT THE HORIZONTAL LOCATIONS OF THE DESCRIBED TREE AND SHOULD NOT BE USED TO MEASURE TREE SIZE OR TREE CANOPY COVERAGE. SEE TREE TABLE FOR TREE SIZE AND SPECIES INFORMATION.

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
10001	7018153	2603262	>11" EASTERN RED CEDAR
10002	7018192	2603149	>11" EASTERN RED CEDAR
10003	7018212	2603170	>11" EASTERN RED CEDAR
10004	7018253	2603216	>11" EASTERN RED CEDAR
10005	7018338	2603248	>11" EASTERN RED CEDAR
10006	7018356	2603263	>11" EASTERN RED CEDAR
10007	7018327	2603171	>11" EASTERN RED CEDAR
10008	7018309	2603146	>11" EASTERN RED CEDAR
10009	7018341	2603072	>11" EASTERN RED CEDAR

LOT 1, BLOCK 1
 ROCKWALL BYPASS ADDITION
 CAB H, SLIDE 325
 P.R.R.C.T.



DATE:	FEBRUARY 21, 2022
PROJECT MGR.	RKH
PROJECT TECH.	GHP
PROJECT NO.	22-037

This drawing and all related maps, written or electronic, were prepared by Hudson Site Control, LLC except as noted otherwise. It is the property of HSC, LLC. The information herein shall be used only by the client to whom the services are rendered. Any other use of said documents, including (without limitation) any reproduction or alteration, is strictly prohibited, and the user shall hold harmless and indemnify HSC, LLC from all liabilities which may arise from such unauthorized use. Such use shall sever any liabilities which may arise from the use or result of any such unauthorized use or changes.

**2.361 ACRES LOCATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 ROCKWALL COUNTY, TEXAS
 HORIZONTAL TREE LOCATION SURVEY**

HUDSON SITE CONTROL, LLC
 LAND SURVEYING - CONSTRUCTION LAYOUT
 2384 HIGHWAY 287 N STE 224 MANFIELD, TEXAS 76063
 OFFICE - 817.225.6700 FAX - 817.225.6701
 T.B.P.E.L.S. FIRM NO. 10194185

REVISIONS	DATE	BY



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 9, 2022
APPLICANT: Jeff Carroll; *Carroll Architects, Inc.*
CASE NUMBER: SP2022-040; *Site Plan for John King Office Park*

SUMMARY

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Aaron Davis of SBM Real Estates Services for the approval of a Site Plan for an Office Park on a 2.36-acre tract of land identified as Tract 1-2 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the west side of John King Boulevard south of the intersection of John King Boulevard and SH-276, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 16, 1974 by *Ordinance No. 74-25*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 4, 1974, the City Council approved to a zoning change [*Ordinance No. 74-32*] for the subject property from an Agricultural (AG) District to Planned Development District 10 (PD-10) for Commercial (C) District land uses. The Planned Development District has been amended seven (7) times since the original adoption by *Ordinance No.'s 96-03, 00-08, 04-25, 04-40, 12-13, 13-39 & 20-30*; however, the zoning designation of the subject property has not changed since *Ordinance No. 74-32*. Since the time of annexation, the subject property has remained vacant.

PURPOSE

On July 15, 2022, the applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing five (5), 4,000 SF *Office Buildings* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the west side of John King Boulevard, south of the intersection of John King Boulevard and SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 6.705-acre tract of land that is developed with a *Convalescent Care Facility/Nursing Home (i.e. Highland Meadows Health & Rehab)*. This property is zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 6.286-acre tract of land that is zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. Beyond this is a 32.6546-acre parcel of land development with *Multi-Family Apartments (i.e. Sixteen50 @ LHR Apartments)*. This property is zoned Planned Development District 10 (PD-10) for *Multi-Family/Single-Family Attached* land uses.

South: Directly south of the subject property is Phase 4 of the Meadowcreek Estates Subdivision, which is zoned Planned Development District 10 (PD-10) for Single-Family 6 (SF-6) District, Single-Family 7 (SF-7) District, and Single-Family 8.4 (SF-8.4) District land uses. Beyond this is the Hickory Ridge Park, which is 12.805-acres and is located within the Hickory Ridge Subdivision. Beyond this is John King Boulevard, which is identified as a P6D

(i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is John King Boulevard, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 15.428-acre parcel of land developed with Dorris A. Jones Elementary school. This property is zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses. Beyond this is the Lofland Farms Phase 1 Subdivision zoned Planned Development District 45 (PD-45) for Single-Family 8.4 land uses.

West: Directly west of the subject property is Phase 4 of the Meadowcreek Estates Subdivision, which is zoned Planned Development District 10 (PD-10) for Single-Family 6 (SF-6) District, Single-Family 7 (SF-7) District, and Single-Family 8.4 (SF-8.4) District land uses. Beyond this is SH-276, which is identified as a TXDOT6D (i.e. Texas Department of Transportation, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phases 1 & 2 of the Meadowcreek Estates Subdivisions, which are zoned Planned Development District 10 (PD-10) for Single-Family 6 (SF-6) District, Single-Family 7 (SF-7) District, and Single-Family 8.4 (SF-8.4) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office* is a permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=2.36-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 349.72-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=294.03-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X=50-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X=20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X<60-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=20.24%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (68 Required)	X=70; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=~50.00%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X<85%; In Conformance

TREESCAPE PLAN

The Treescape Plan provided by the applicant indicates that nine (9) Eastern Red Cedar Trees will be removed from the subject property as a result of the development. According to Section 05, *Tree Mitigation Requirements*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), Eastern Red Cedars are mitigated for a half-inch for each inch removed for a tree greater than 11-inches and less than 25-inches. In this case, there are 99.00 caliper inches being removed, this creates a mitigation balance of 49.50 caliper inches. As part of the proposed development the applicant's landscape plan shows that 35.00, four (4) inch caliper canopy trees will be planted at a total of 140.00 caliper inches. Based on this the proposed landscape plan satisfies the mitigation balance.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) an *Office Building* is defined as "(a) facility that provides executive, management, administrative, or professional services not specifically listed elsewhere in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, but not involving the sale of

merchandise except as incidental to a permitted use.” In this case, the applicant is requesting *Office Buildings*, which are permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.02(B), *Screening from Residential*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers.” In this case, the subject property has residential adjacencies along the west and south property lines. Subsection 05.02(B) goes on to state that the “Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening.” In this case, the applicant is requesting the alternative screening method that includes the wrought iron fence and the three (3) tiered screening along both the west and south property lines. The Planning and Zoning Commission shall consider the alternative screening method as part of the applicants site plan request.

The proposed site plan also generally conforms to the requirements of the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variances:

(1) *Architectural Standards*.

- (a) *Cementitious Materials*. According to Subsection 06.02(C)(1)(a)(2), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(the) use of cementitious materials (e.g. stucco, cementitious lap siding, or similar materials) shall be limited to 50% of the building’s exterior façade...” In this case the applicant has proposed greater than 50% cementitious material on each façade of the buildings. This will require a variance from the Planning and Zoning Commission.
- (b) *Four (4) Sided Architecture*. According to Subsection 06.02 (C)(5), *Four (4) Sided Architecture*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the applicant is required to meet the same building articulation standards for the primary building façades on all sides of the building. Given the proposed building elevations the applicant does not meet the wall length requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (c) *Architectural Elements*. According to Subsection 06.02 (C)(4), *Required Architectural Elements*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings that are less than 50,000 SF shall be designed to incorporate a minimum of four (4) architectural elements...” In this case, the applicant has less than four (4) architectural elements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship.” This section of the code also includes the same language for variances to the *General Overlay District Standards*. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances. As compensatory measures for this case, the applicant is proposing to provide [1] horizontal articulation elements, [2] flat awnings at all tower entries, and [3] 50% landscaped area. In this case, the first compensatory measure is not compensatory as it attempts to address the articulation variance, but it does not meet the requirements of the Unified

Development Code (UDC). The second compensatory measure not compensatory as it attempts to address the architectural elements variance, however the applicant does not have four (4) architectural elements. This effectively means the applicant is proposing one (1) compensatory measure. That being said, the applicant has also provided more than 20% natural stone on all sides of the building, which exceeds the requirements and could be considered a compensatory measure. Requests for variances to the *General Overlay District Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Central Residential District. The South Central Residential District is an established district that is developed with a mixture medium-density and low-density residential subdivisions, with several large vacant tracts of land remaining. According to strategy #2 in the South Central Residential District the commercial development in the northern areas of the district are "intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing buildings that will be supportive to the existing residential land uses and that will be constructed to a residential scale. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on July 26, 2022, and made the recommendation that gable roofs be used to match the roof structure of the existing development north of the subject property. Before action is taken on the building elevations, the ARB will review the applicant's revised building elevations and provide a recommendation to the Planning and Zoning Commission at the August 9, 2022 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of *Office Buildings* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant must provide staff with a photometric plan that meets the requirements of the Unified Development Code (UDC) before submitting Engineering plans.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 950 WILLIAMS ST. (S.H. 66)

Subdivision WAGONER GARDENS MC. ADDITION

Lot 1

Block A

General Location S.H. 66 & CAROTH DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C

Current Use RETAIL / WHSE / OFFICE

Proposed Zoning C

Proposed Use RETAIL / WHSE / OFFICE

Acreage 8.869 AC.

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner HELPING HANDS

Applicant CARROLL ARCHITECTS, INC.

Contact Person JON BAILEY

Contact Person JEFF CARROLL

Address 950 WILLIAMS ST. (S.H. 66)

Address 750 E. INTERSTATE 30
SUITE 110

City, State & Zip ROCKWALL, TX 75087

City, State & Zip ROCKWALL, TX. 75087

Phone 972. 771. 1655

Phone 214. 632. 1762

E-Mail JONBAILEY@ROCKWALLHELPINGHANDS.COM

E-Mail JCE@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

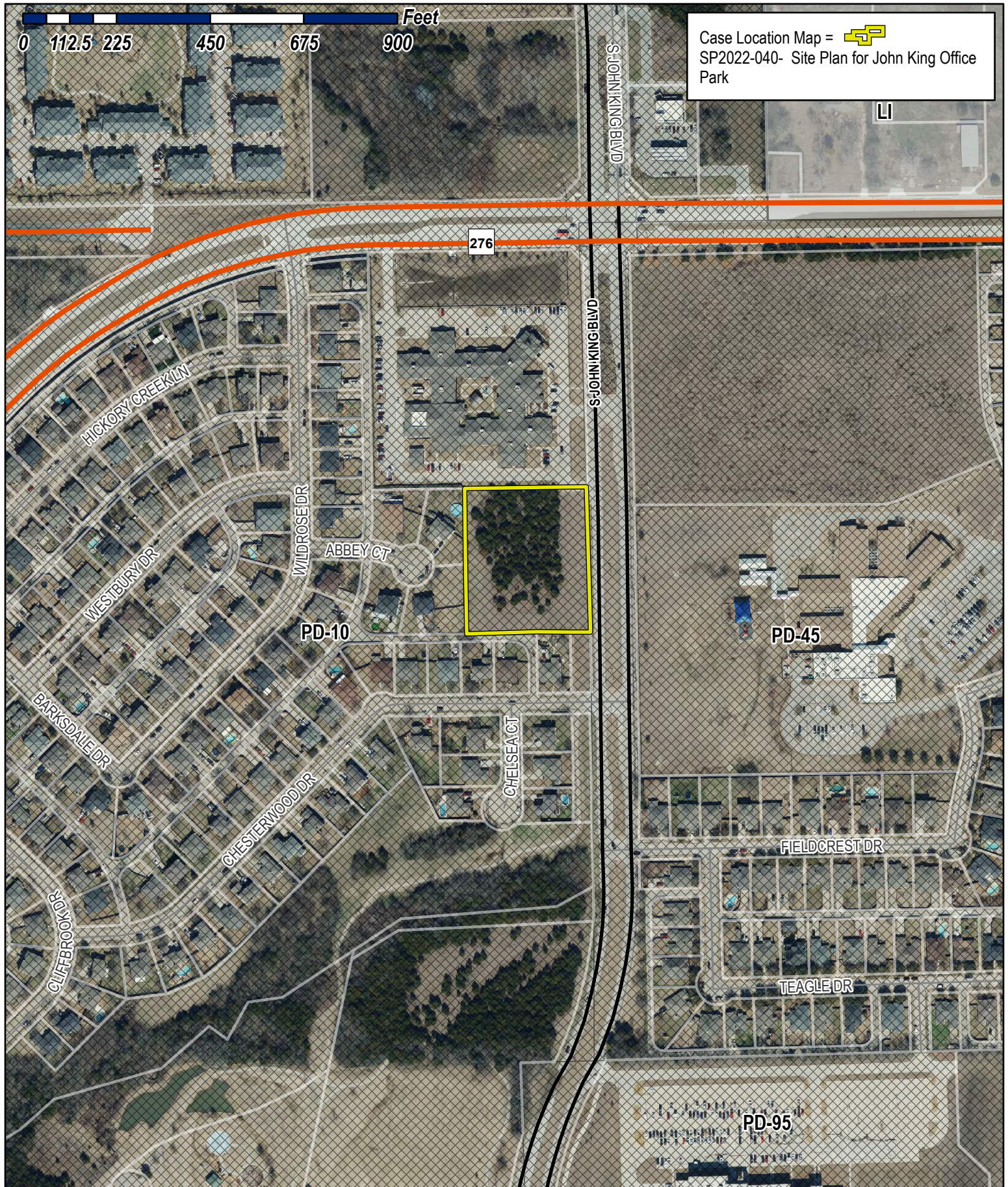
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



Case Location Map = 
 SP2022-040- Site Plan for John King Office
 Park

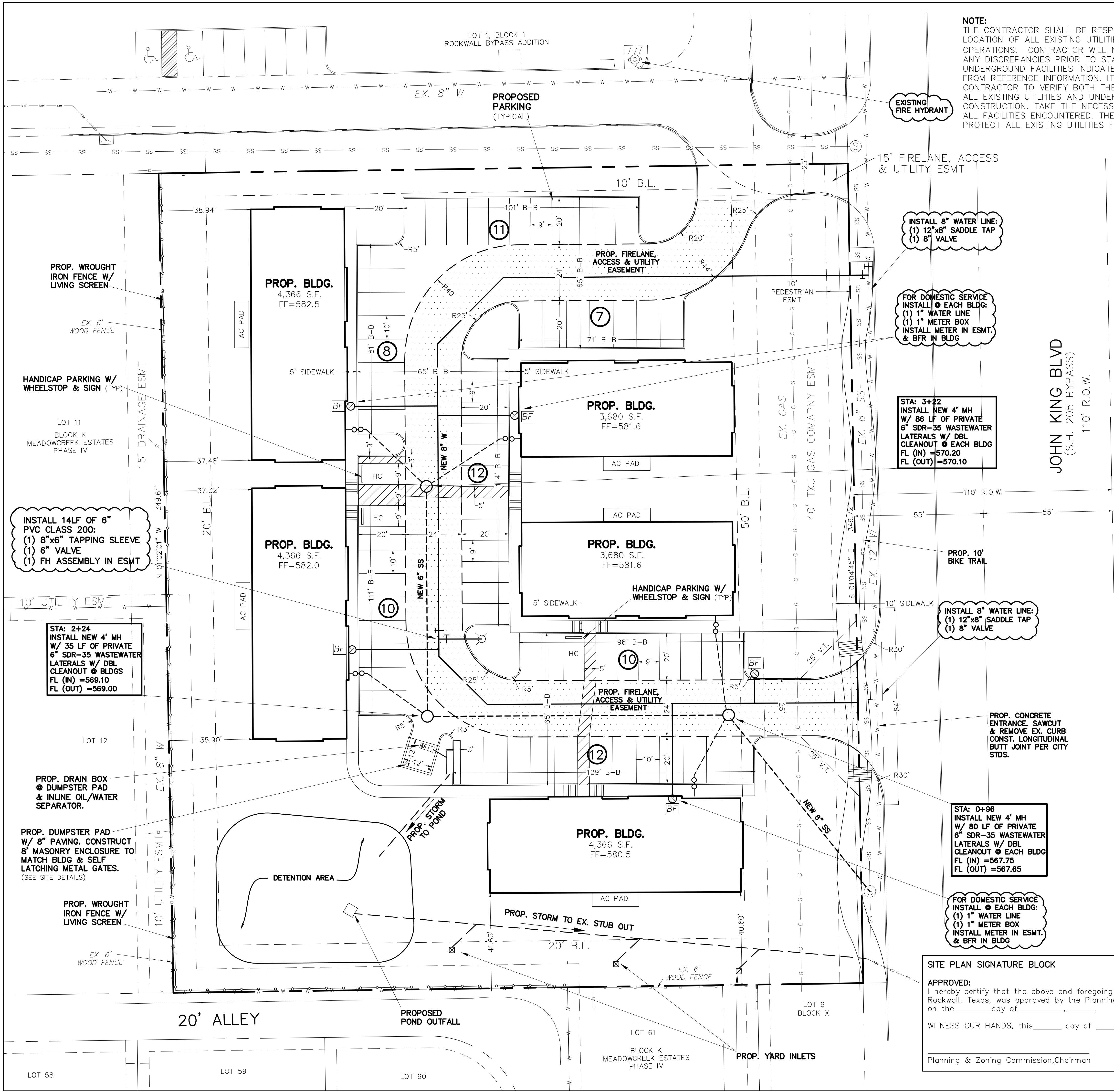


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

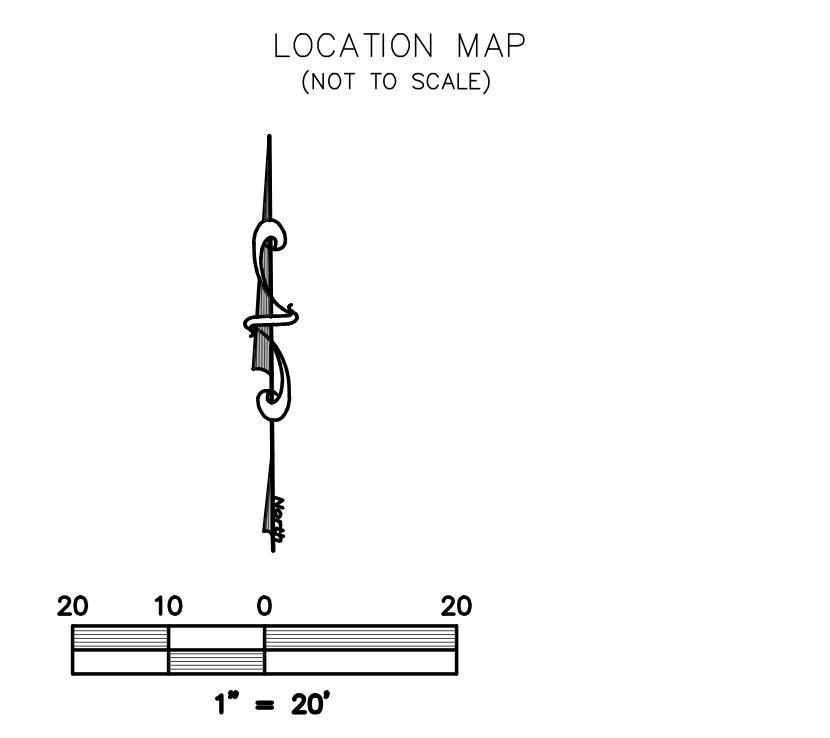
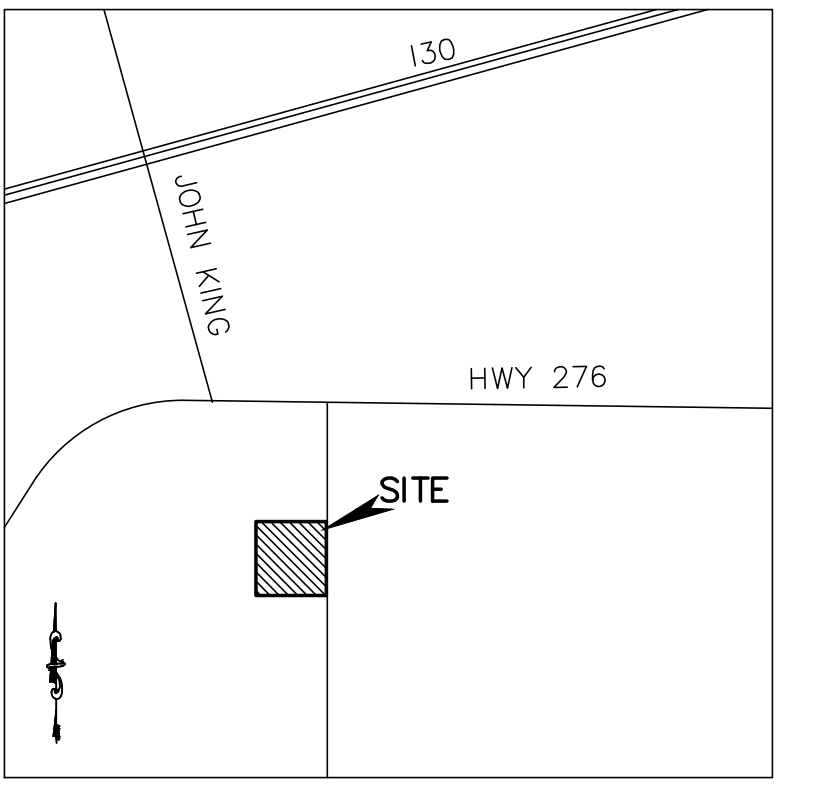
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- PAVING NOTES:**
- 1) APPROACHES TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND



**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, LCC OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:

LOT AREA:
2.36 Acres, 102,859 sq.ft.

LOT COVERAGE:
20.24%

FLOOR TO AREA RATIO:
4.94:1

BUILDING AREA:
20,818 sq.ft.

BUILDING HEIGHT:
1 STORY (25')

PROPOSED FUTURE USE:
Office

IMPERVIOUS AREA (including buildings):
55,535 sq.ft.

ZONING:
PD-10/C

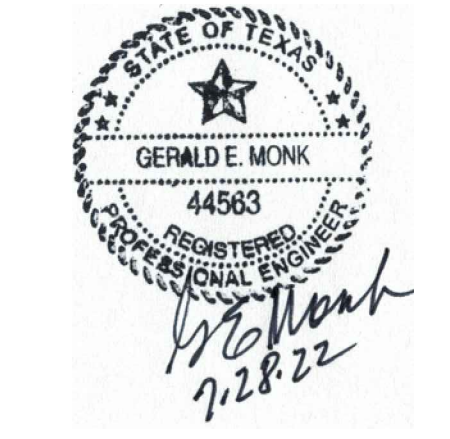
PARKING:
Required: Office (1/300sf) = 70
Handicap = 3
Provided: Standard = 67
Handicap = 3
Total Provided = 70

LANDSCAPE AREA:
Required: (15%) 15,429 sq.ft.
Provided: 47,324 sq.ft.

FIRESPRINKLER:
NO

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE
 * THERE ARE TREES ON THIS SITE

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.



CASE # SP2022-040

SITE PLAN

JOHN KING OFFICE PARK

1940 S JOHN KING BLVD
 LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES
 City of Rockwall, Rockwall County, Texas

OWNER
 SBM REAL ESTATE SERVICES
 709 W. Rusk Street, Ste 810
 Rockwall, Texas 75087
 Contact: Aaron Davis (214)557-9093

prepared by
 MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

REG NO.: F-2567
 ©2022 by Monk Consulting Engineers, Inc., All Rights Reserved.

SITE PLAN SIGNATURE BLOCK

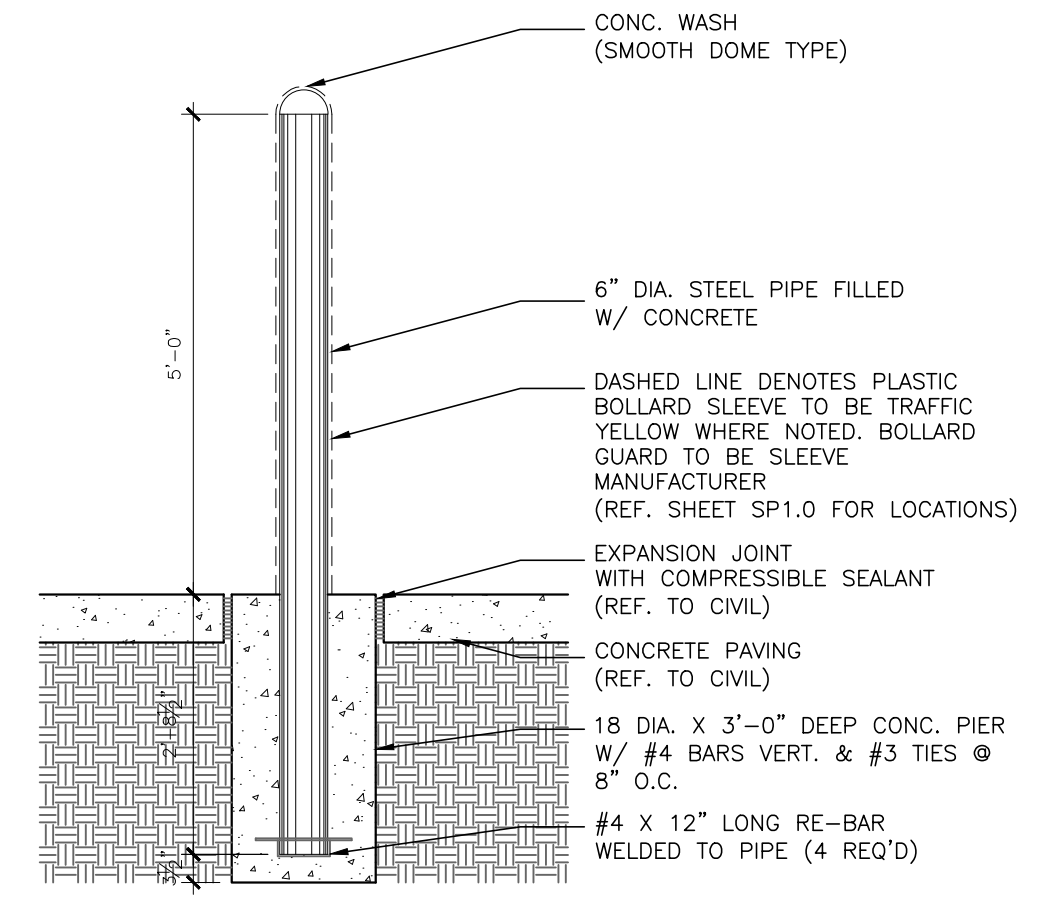
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

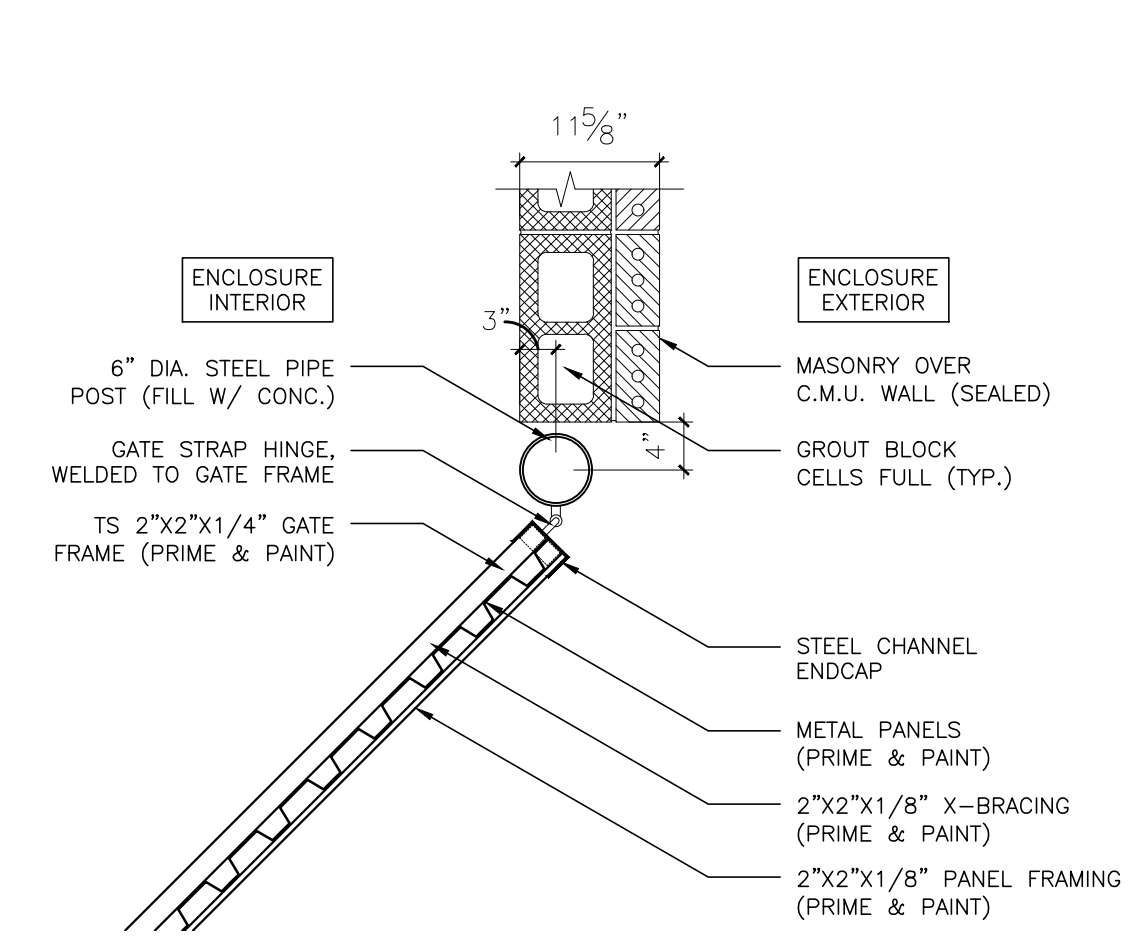
 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

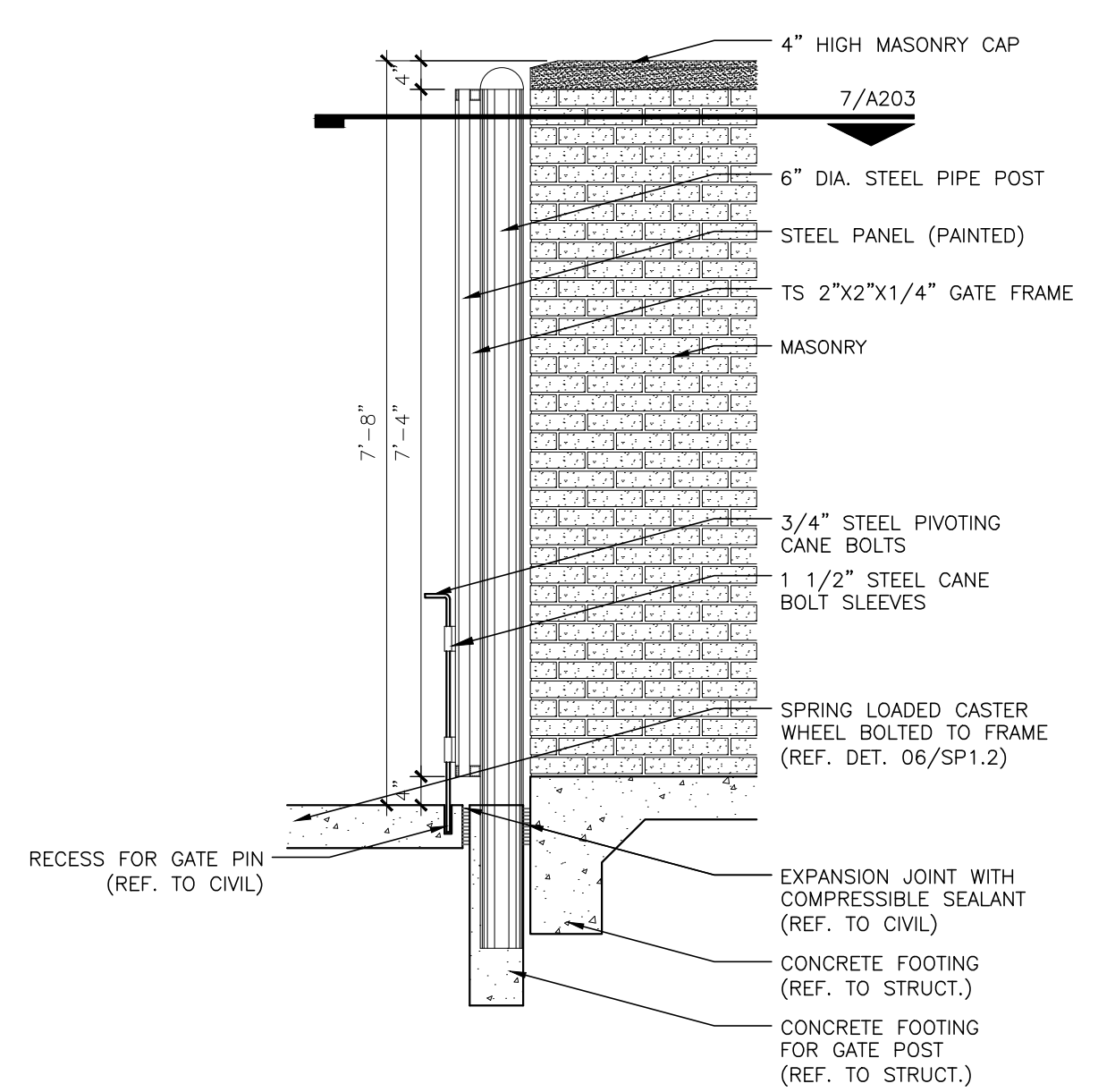
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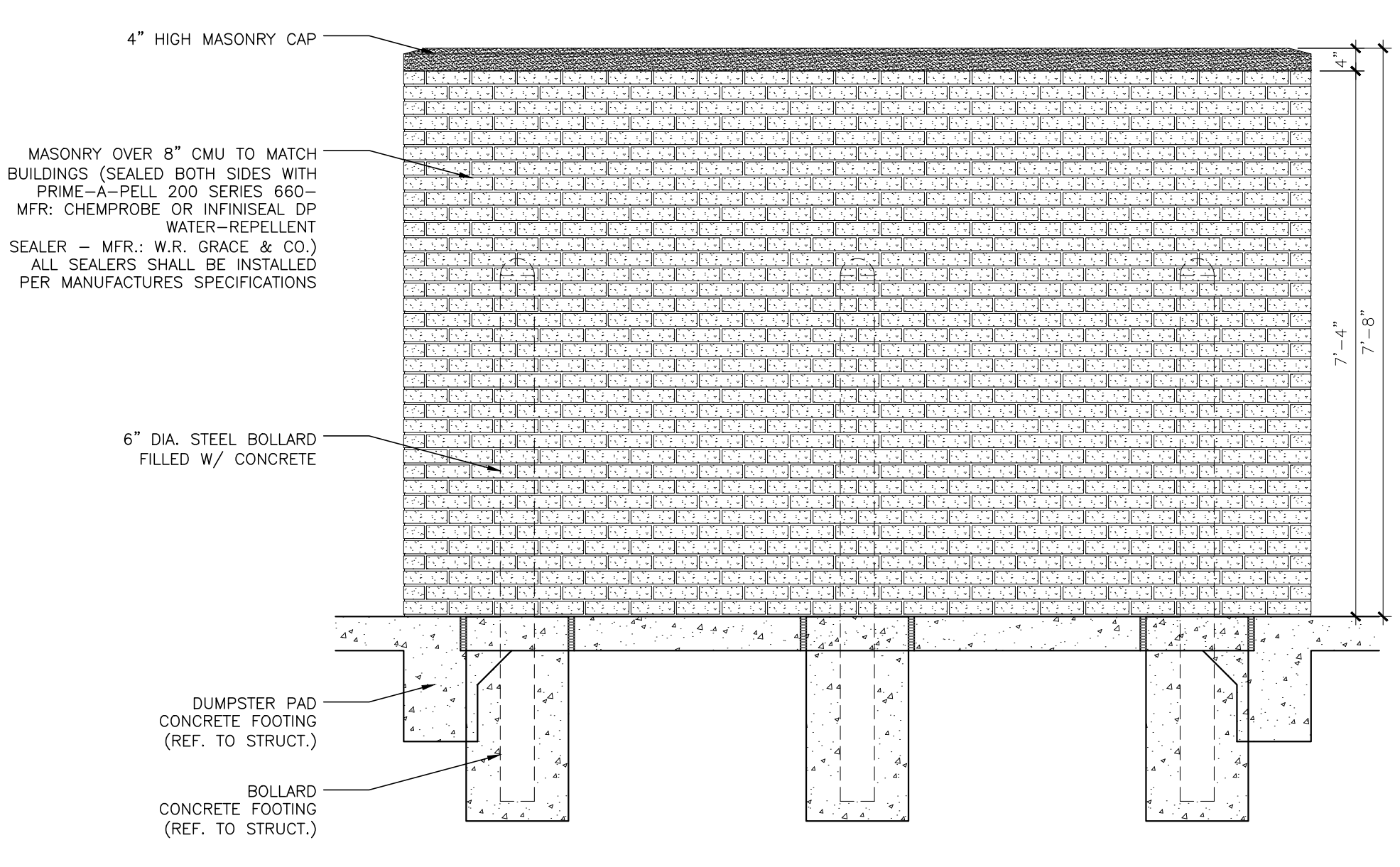
8 BOLLARD DETAIL @ DUMPSTER
 SCALE: 1/2" = 1'-0"



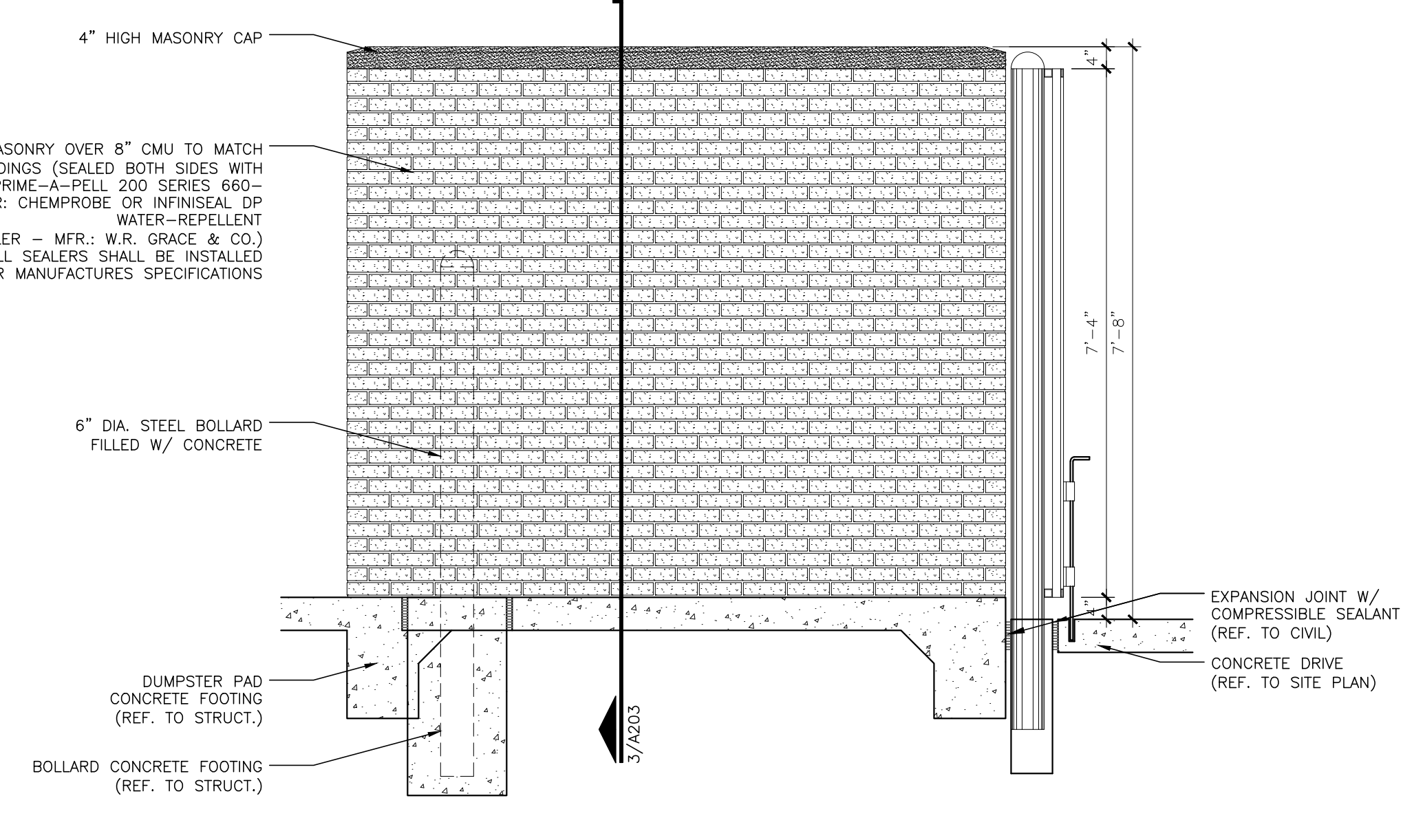
7 DUMPSTER ENCLOSURE GATE DETAIL
 SCALE: 3/4" = 1'-0"



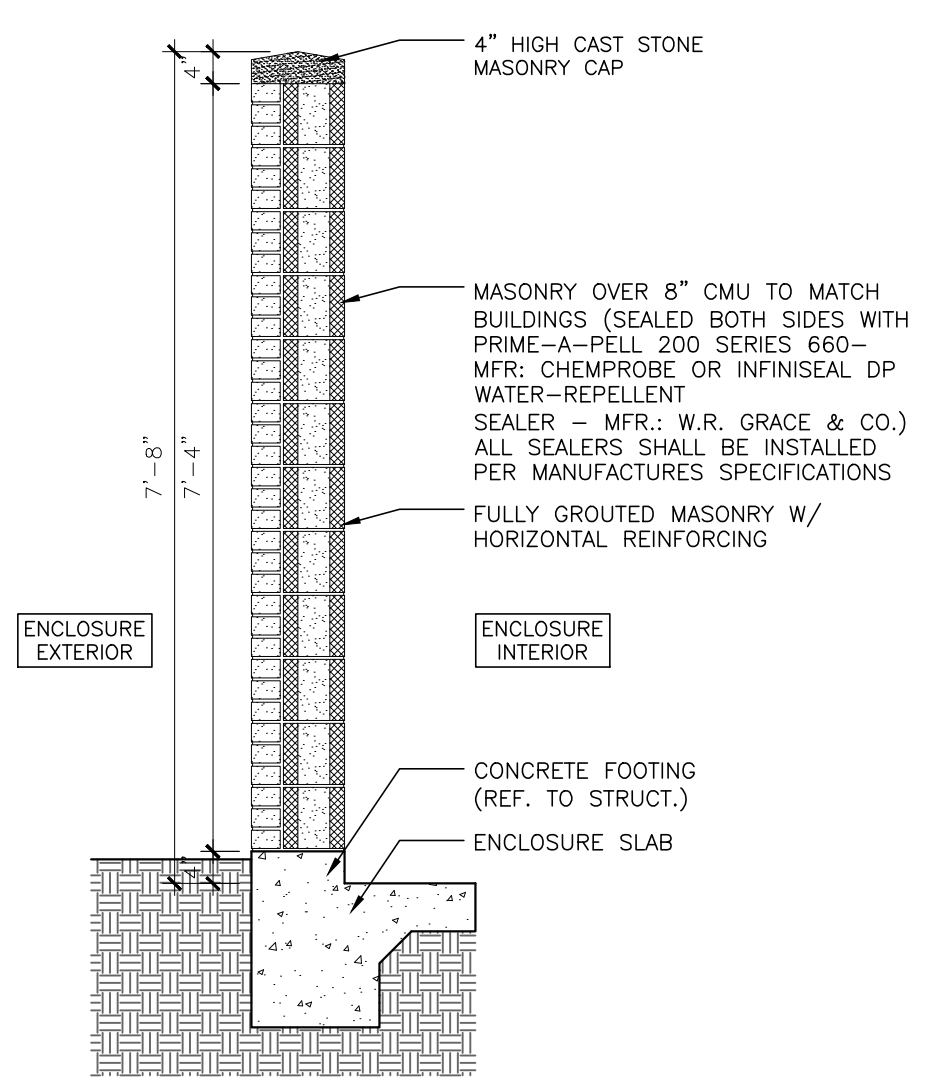
6 GATE SECTION @ DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"



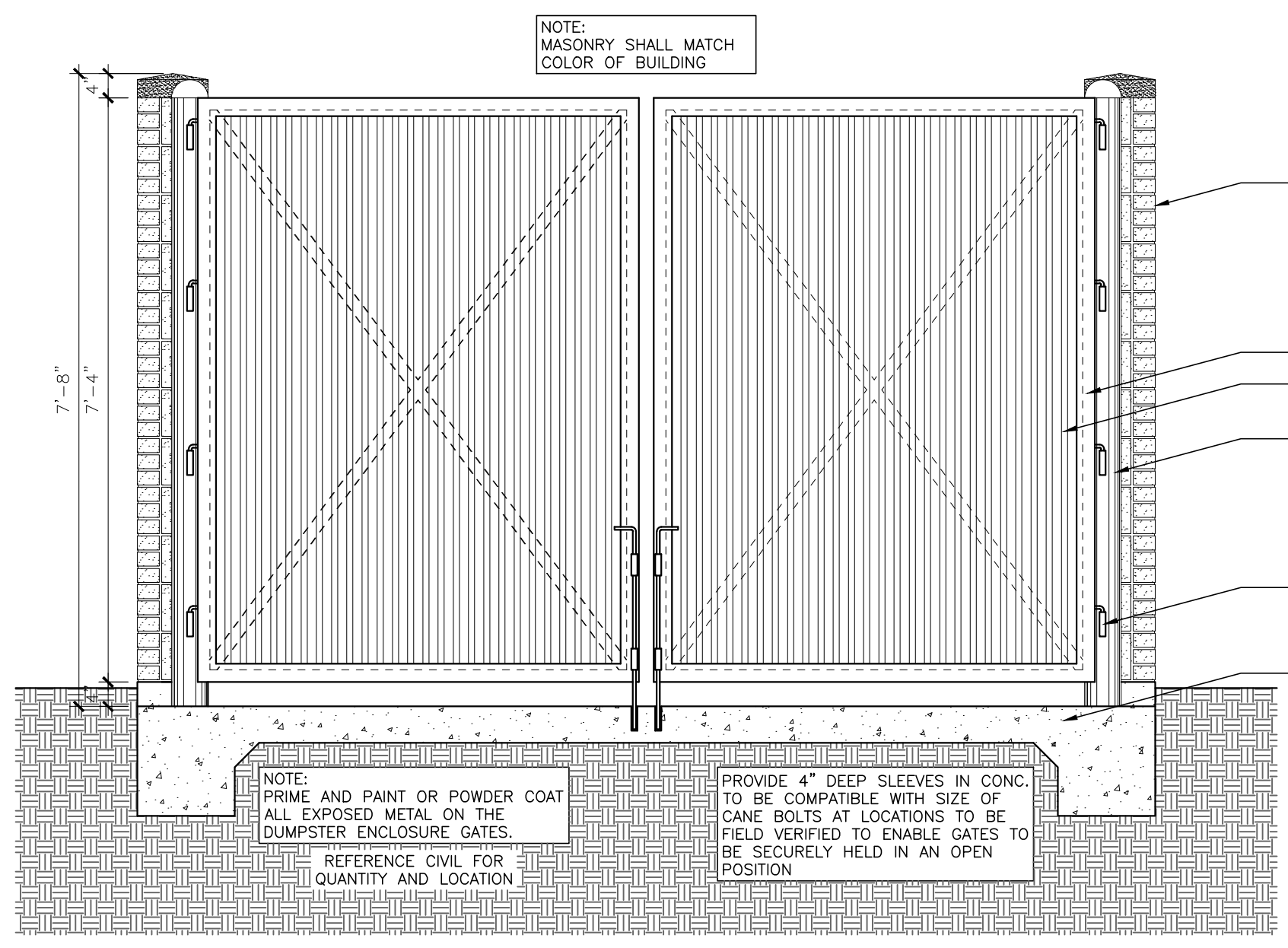
5 DUMPSTER ENCLOSURE REAR ELEVATION
 SCALE: 1/2" = 1'-0"



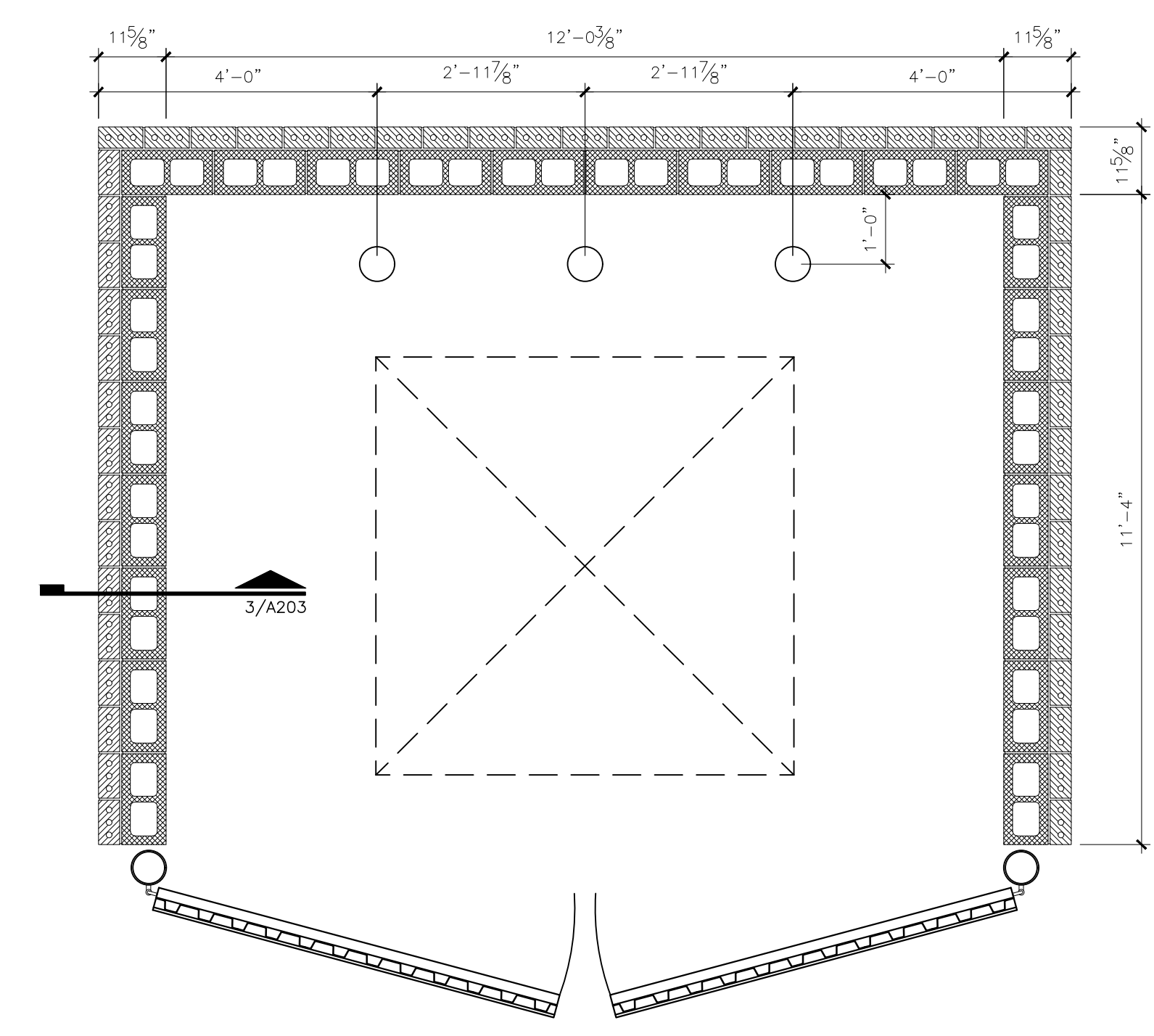
4 DUMPSTER ENCLOSURE SIDE ELEVATION
 SCALE: 1/2" = 1'-0"



3 WALL SECTION @ DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"

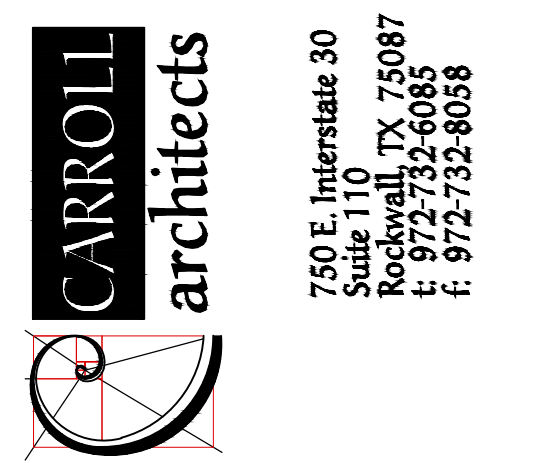


2 DUMPSTER ENCLOSURE FRONT ELEVATION
 SCALE: 1/2" = 1'-0"



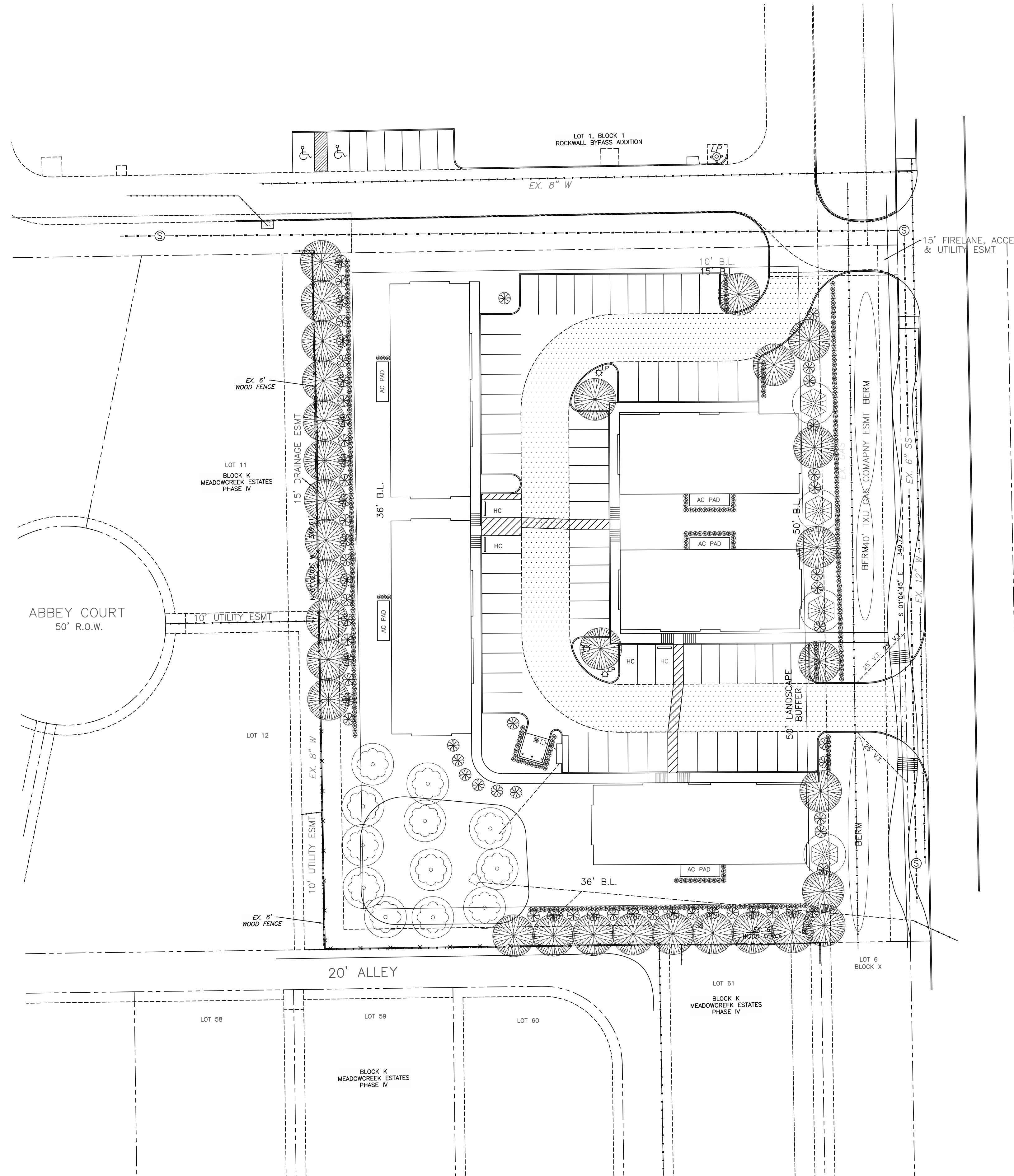
1 DUMPSTER ENCLOSURE ENLARGED PLAN
 SCALE: 1/2" = 1'-0"

NEW SHELL OFFICE FACILITY FOR
OFFICE CONDO
 JOHN KING BLVD
 Rockwall, Texas 75032



**MASONRY
 DUMPSTER
 ENCLOSURE**





SITE DATA TABLE	
SITE AREA	2.36 ACRES (102,859 S.F.)
ZONING	PD-10/C SH-205 BY-0V
PROPOSED USE	GENERAL OFFICE
BUILDING AREA:	16,000 S.F.
LOT COVERAGE (GROSS AREA)	15.55%
FLOOR TO AREA RATIO	6.42 : 1
BUILDING HEIGHT MAX.	25'-0"

LANDSCAPE TABULATION	
NET AREA	2.36 ACRES (102,859 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 102,859 S.F.	15,429 S.F.
PROVIDED LANDSCAPE AREA-- 50% OF 102,859 S.F.	50,324 S.F.
IMPERVIOUS COVERAGE-- 50% OF 102,859 S.F.	50,535 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10' or greater

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
CEDAR ELM (31)	CEDAR TREE (4)
BALD CYPRESS (12) (DETENTION POND)	DESERT WILLOW (61)
WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION	WROUGHT IRON FENCE 6 FEET HIGH

- GENERAL NOTES:**
1. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAIR.
 2. ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 3. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 4. CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 5. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 6. DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 7. THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 8. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 9. ALL PARKING SPACES ARE WITHIN 80' OF A TREE.

PARKING CALCULATIONS			
BUILDING USE	SQUARE FOOTAGE	PARKING REQUIREMENT	REQUIRED PARKING
OFFICE	16,000 S.F.	1/300	= 54
TOTAL PARKING REQUIRED			= 54 SPACES

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

JOHN KING OFFICE PARK	
LEGAL DESCRIPTION AND OR ADDRESS: JOHN KING OFFICE PARK LOT 1, W.H. BAIRD SURVEY, 2.36 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER SBM Real Estate Services 709 W. Rusk Street, Ste 810 Rockwall, TX 75087 C: Aaron Davis P: 214-557-9093	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP2022-040	
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.	
WITNESS OUR HANDS, this _____ day of _____.	
Planning & Zoning Commission, Chairman	
Director of Planning and Zoning	

ISSUE:
CITY SUBMITTAL: 07-15-2022
CITY COMMENTS: 08-01-2022

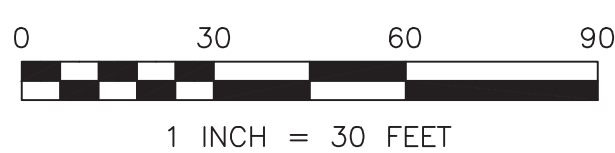
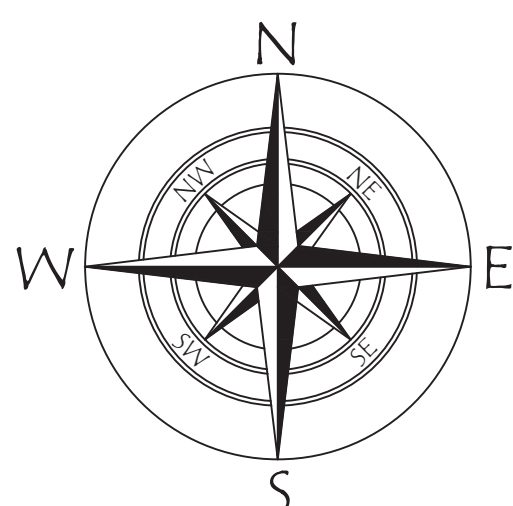
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NEW SHELL OFFICE FACILITY FOR
OFFICE CONDO
JOHN KING BLVD
 Rockwall, Texas 75032

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

LANDSCAPE PLAN

DATE: _____ SHEET NO: _____
 PROJECT NO: 2022044
 DRAWN BY: _____
 CHECKED BY: _____



LEGEND:

	BOUNDARY LINE
	TREE

THIS DRAWING IS A POINT MAP AND SHOULD BE USED AS A REFERENCE IN ACCORDANCE WITH THE LATEST PLANS, REVISIONS AND ADDENDA!

ALL DATA MUST BE INVERSED AND MEASURED IN THE FIELD PRIOR TO CONSTRUCTION.

SURVEYOR'S CERTIFICATION

I, RICHARD M. CUMMOCK, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS HORIZONTAL TREE LOCATION SURVEY ACCURATELY REPRESENTS THE LOCATION OF TREES WITH A DIAMETER GREATER THAN 11" MEASURED AND WAS MADE ON THE GROUND ON FEBRUARY 15 2022, UNDER MY SUPERVISION.

Richard M. Cummock

RICHARD M. CUMMOCK
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 6416
DATE: 21-FEB-2022



SURVEYOR'S NOTES:

1. BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), NORTH CENTRAL ZONE 4202. COORDINATES, MEASUREMENTS, AND DISTANCES SHOWN ARE U.S. SURVEY FEET.
2. THIS EXHIBIT DOES NOT CONSTITUTE A LAND BOUNDARY SURVEY, OR LAND BOUNDARY SURVEY FOR LOCATING TREE LOCATIONS RELATIVE THERETO.
3. BOUNDARIES AND LAND INFORMATION ARE BASED UPON A 2015 ALTA/ACSM LAND TITLE SURVEY PERFORM BY MERLE W. MILLER, RPLS #5438, OCTOBER 1, 2015 AND IS DEPICTED HEREIN AS ACCURATELY AS POSSIBLE FOR SPATIAL REFERENCE PURPOSES ONLY, AND SHALL NOT BE CONSTRUED AS ANY TYPE OF LAND BOUNDARY SURVEY UNDER ANY CIRCUMSTANCES.
4. TREE SYMBOLS ARE MEANT TO DEPICT THE HORIZONTAL LOCATIONS OF THE DESCRIBED TREE AND SHOULD NOT BE USED TO MEASURE TREE SIZE OR TREE CANOPY COVERAGE. SEE TREE TABLE FOR TREE SIZE AND SPECIES INFORMATION.

COORDINATE TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
10001	7018153	2603262	>11" EASTERN RED CEDAR
10002	7018192	2603149	>11" EASTERN RED CEDAR
10003	7018212	2603170	>11" EASTERN RED CEDAR
10004	7018253	2603216	>11" EASTERN RED CEDAR
10005	7018338	2603248	>11" EASTERN RED CEDAR
10006	7018356	2603263	>11" EASTERN RED CEDAR
10007	7018327	2603171	>11" EASTERN RED CEDAR
10008	7018309	2603146	>11" EASTERN RED CEDAR
10009	7018341	2603072	>11" EASTERN RED CEDAR

LOT 1, BLOCK 1
ROCKWALL BYPASS ADDITION
CAB H, SLIDE 325
P.R.R.C.T.



DATE:	FEBRUARY 21, 2022
PROJECT MGR.	RKH
PROJECT TECH.	GHP
PROJECT NO.	22-037

This drawing and all related maps, written or electronic, were prepared by Hudson Site Control, LLC except as noted otherwise. It is the property of HSC, LLC. The information herein shall be used only by the client to whom the services are rendered. Any other use of this drawing, including (without limitation) any reproduction or alteration, is strictly prohibited, and the user shall hold harmless and indemnify HSC, LLC from all liabilities which may arise from such unauthorized use. Such use shall sever any liabilities which may arise from the use or result of any such unauthorized use or changes.

**2.361 ACRES LOCATED IN THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
ROCKWALL COUNTY, TEXAS
HORIZONTAL TREE LOCATION SURVEY**

**HUDSON
SITE CONTROL, LLC**
LAND SURVEYING - CONSTRUCTION LAYOUT
2384 HIGHWAY 287 N STE 224 MANFIELD, TEXAS 76063
OFFICE - 817.225.6700 FAX - 817.225.6701
T.B.P.E.L.S. FIRM NO. 10194185

REVISIONS	DATE	BY

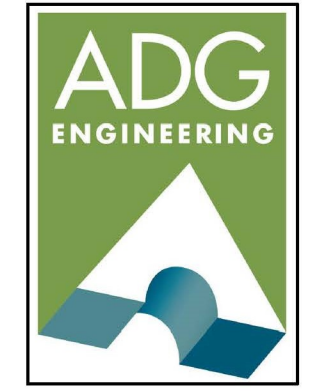


Plan View
Scale - 1" = 30'

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
A			2	Lithonia Lighting	RSX3 LED P1 30K R5 EGV	RSX Area Fixture Size 3 P1 Lumen Package 3000K CCT Type R5 Distribution with EGV	1	12815	1	584.124	
B			3	Lithonia Lighting	RSX3 LED P1 30K R5 EGV	RSX Area Fixture Size 3 P1 Lumen Package 3000K CCT Type R5 Distribution with EGV	1	12815	1	194.708	
C			20	Lithonia Lighting	OLLWU LED P1 40K 120 DDB	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	1	1086	1	13.8	
D			4	Lithonia Lighting	ARCI LED P1 40K	ARCI LED WITH P1 - PERFORMANCE PACKAGE, 4000K	1	1454	1	10.8751	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	31.6 fc	0.0 fc	N/A	N/A

NEW SHELL OFFICE FACILITY FOR
OFFICE CONDO
JOHN KING BLVD
ROCKWALL, TX 75087



ADG TEXAS, LLC
107 Equestrian Trail
Rockwall, Texas 75087
Phone: (972) 832-5709
Email: adginc@adginc.org



Texas Registered
Engineering Firm
F-14649

Project No. T22-006

Designer
Date 08/03/2022
Scale
Not to Scale
Drawing No.
Summary



RSX3 LED Area Luminaire



Catalog Number _____
 Notes _____
 Type _____

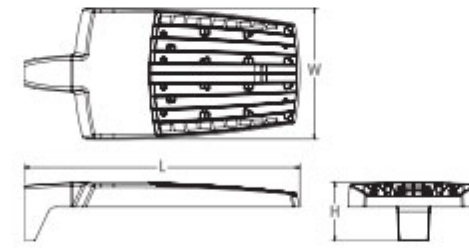
Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX3 delivers 25,000 to 41,000 lumens allowing it to replace 400W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast adaptor, adjustable integral splitter and other mounting configurations are available.

Specifications

EPA (ft²@90°): 0.70 ft² (0.07 m²)
Length: 33.8" (85.9 cm) (SPA mount)
Width: 16.1" (40.9 cm)
Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm
Weight (max): 48.0 lbs (21.6 kg)



Ordering Information

EXAMPLE: RSX3 LED P4 40K R3 MVOLT SPA DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX3 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) ¹	SPA Square pole mounting (3.1" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°)
	P2	40K 4000K	R3 Type 3 Wide	MVOLT (147V-480V) ¹	RPA Round pole mounting (1.7" min. dia. R90 pole for 2, 3, 4 at 90°, 1.9" min. dia. R10 pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R5 Type 5 Short	MVOLT (277V-480V) ¹	MA Mast arm adaptor (fits 2-3/8" OD horizontal beams)
	P4		B4 Type 4 Wide	Use specific voltage for options as noted	IS Adjustable splitter (fits 2-3/8" OD beams) ¹
			BKS Type 4 Short	120 ¹ 277 ¹	WSA Wall bracket
			RS Type 5 Wide ¹	208 ¹ 347 ¹	WBASC Wall bracket with surface conduit box
			RSS Type 5 Short ¹	240 ¹ 480 ¹	AASP Adjustable 18" arm square pole mounting ¹
			AFR Automotive Front Row		AARP Adjustable 18" arm round pole mounting ¹
			AFR90 Automotive Front Row Right Rotated		AANB Adjustable 18" arm with wall bracket ¹
			AFR190 Automotive Front Row Left Rotated		AANWC Adjustable 18" arm wall bracket and surface conduit box ¹

Options

Options	Finish
Shipped Installed HS Housie-side shield ¹ PE Photocell, bottom style ^{1,2} PEK Photocell, external threshold, adjustable ^{1,2} PER7 Seven-wire remote lock receptacle only (no controls) ^{1,2,3,4} CE14 Conduit entry 3/4" NPT (Qty 2) SF Single face (120, 277, 347) DF Double face (208, 240, 480) SP200W 200W surge pack (100W standard) FAO Field adjustable output ^{1,2} DMG 0-10V dimming extend out back of housing for external control (control extend separate) ^{1,2}	Shipped Installed *Standalone and Networked Sensors/Controls (factory default settings, see table page 9) NL2ARZ Night All-generation 2 ^{1,2,3,4} PR2W Networked, 24-hour motion/tamper sensor (for use with NL2ARZ) ^{1,2,3,4} BAA Buy America(s) Act Compliant *Note: PR2W with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted. Shipped Separately (requires some field assembly) EGS External glare shield ¹ EGV External glare full visor (360° around light aperture) ¹ BS Bird spikes ¹
MS Housie-side shield ¹ PE Photocell, bottom style ^{1,2} PEK Photocell, external threshold, adjustable ^{1,2} PER7 Seven-wire remote lock receptacle only (no controls) ^{1,2,3,4} CE14 Conduit entry 3/4" NPT (Qty 2) SF Single face (120, 277, 347) DF Double face (208, 240, 480) SP200W 200W surge pack (100W standard) FAO Field adjustable output ^{1,2} DMG 0-10V dimming extend out back of housing for external control (control extend separate) ^{1,2}	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBXD Textured Dark Bronze DBLXD Textured Black DNAXD Textured Natural Aluminum DWHXD Textured White



FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION

Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish. ADA compliant.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V

Operating temperature -30°C to 40°C

UV surge protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with ESNIA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

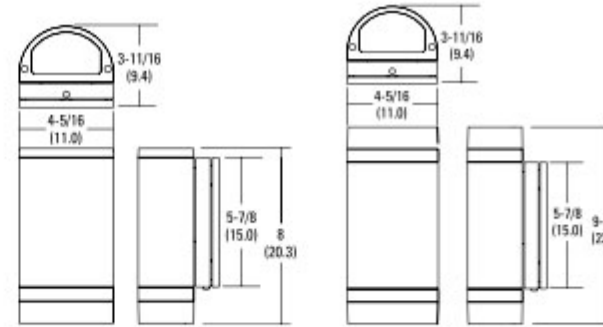
Catalog Number _____
 Notes _____
 Type _____

OLLWD & OLLWU LED WALL CYLINDER LIGHT



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED Downlight	P1	40K 4000K	MVOLT 120V-277V	DOB Dark bronze
OLLWU LED Up & downlight		120 120V ¹		WH White ²

Notes
 1. Only available with OLLWU and in DOB.
 2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR

OLLWD-OLLWU



ARC1 LED Architectural Wall Luminaire



Catalog Number _____
 Notes _____
 Type _____

Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

Specifications

Depth (D1): 6.5"
Depth (D2): 4.75"
Height: 5"
Width: 11"
Weight: 7 lbs
 (without options)



ARC LED Family Overview

Luminaire	Standard EM, 9°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	—	1,500	2,000	3,000	—	—
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC1 LED	P1 1,500 Lumens	30K 3000K	MVOLT	EBWV Emergency battery backup, CCC compliant (400, 0°C min)	DOBXD Dark bronze
	P2 2,000 Lumens	40K 4000K	347 ¹	PE Button-type photocell for dusk-to-dawn operation	DBLXD Black
	P3 3,000 Lumens	50K 5000K		DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹	DNAXD Natural aluminum
				SP200W 200W surge pack (100W standard)	DWHXD White
				FAO 0-10V dimming extend out back of housing for external control (control extend separate) ^{1,2}	DNAXD Textured dark bronze
					DBLXD Textured black
					DNAXD Textured natural aluminum
					DWHXD Textured white
					DS5XD Textured sandstone

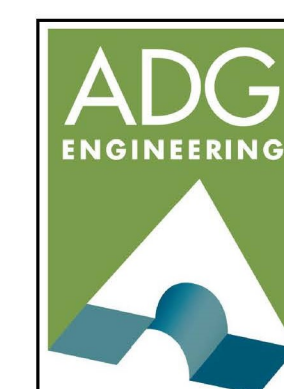
Accessories

W88W DDBXD Surface-mounted back box (specify finish)

NOTES
 1. 347V not available with EBWV.
 2. FAO not available with DMG.



NEW SHELL OFFICE FACILITY FOR
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 ROCKWALL, TX 75087



ADG TEXAS, LLC
 107 Equestrian Trail
 Rockwall, Texas 75087
 Phone: (972) 832-5709
 Email: adginc@adginc.org

Texas Registered
 Engineering Firm
 F-14649

Project No. T22-006



Designer

Date 08/03/2022
 Scale Not to Scale
 Drawing No.

Summary

Lee, Henry

From: Lee, Henry
Sent: Friday, July 22, 2022 3:59 PM
To: 'Jeff Carroll'
Subject: Project Comments for Case No. SP2022-040
Attachments: Engineering Mark-Ups (07.22.2022).pdf; Project Comments (07.22.2022).pdf

Good Afternoon,

Attached are the project comments and the planning and engineering markups for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: July 26, 2022
Planning and Zoning Commission Public Hearing: August 9, 2022

Please note that Architectural Review Board meets at 5:00 PM and the Planning and Zoning Commission meets at 6:00 PM at 385 S. Goliad Street in the City Council Chambers. Please also note that a representative is REQUIRED to be at all meetings. Should you have any questions please let me know.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Jeff Carroll <jc@carrollarch.com>
Sent: Tuesday, August 2, 2022 1:33 PM
To: Lee, Henry
Subject: John King Office Park Development resubmittal
Attachments: Bind City Plan Resubmission 8-2-22.pdf

Henry,

Attached are the revised plans for your use. We are revising the rendering for gable towers. Let me know if you have any questions. The photometric plan will be submitted this week.

How many sets do you need me to print & deliver?
I'm bringing the color board as well.

Thx,
JC



Jeffrey Carroll, Architect
Carroll Architects, Inc.
750 E. Interstate 30, Ste. 110
Rockwall, Texas 75087
T. 972.732.6085
C. 214.632.1762

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Lee, Henry

From: Lee, Henry
Sent: Tuesday, August 2, 2022 4:16 PM
To: 'Jeff Carroll'
Subject: RE: John King Office Park Development resubmittal
Attachments: Development Comments (08.02.2022).docx

Good Afternoon,

Attached are the remaining Planning comments, as we discussed at the counter. I am still waiting to hear back from Engineering and will follow up if they have remaining comments. Let me know if you have any questions.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: Jeff Carroll <jc@carrollarch.com>
Sent: Tuesday, August 2, 2022 1:33 PM
To: Lee, Henry <HLee@rockwall.com>
Subject: John King Office Park Development resubmittal

Henry,

Attached are the revised plans for your use. We are revising the rendering for gable towers. Let me know if you have any questions. The photometric plan will be submitted this week.

How many sets do you need me to print & deliver?
I'm bringing the color board as well.

Thx,
JC



Jeffrey Carroll, Architect
Carroll Architects, Inc.

750 E. Interstate 30, Ste. 110
Rockwall, Texas 75087
T. 972.732.6085
C. 214.632.1762

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Lee, Henry

From: Jeff Carroll <jc@carrollarch.com>
Sent: Thursday, August 4, 2022 2:43 PM
To: Lee, Henry
Subject: John King Office
Attachments: Brown Color Scheme Gables.png; A202 Masonry Dumpster Enclosure.pdf; L1 Landscape Plan.pdf; A501 Exterior Elevations.pdf; JohnKingSite080422.pdf; Responce to Development Comments (08.04.2022).pdf; T22-006 - Site Lighting - Signed.pdf

Henry,

Attached are the revised documents for John King Project.

Let me know if you need anything else.

Thx,
JC



Jeffrey Carroll, Architect
Carroll Architects, Inc.
750 E. Interstate 30, Ste. 110
Rockwall, Texas 75087
T. 972.732.6085
C. 214.632.1762

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Lee, Henry

From: Lee, Henry
Sent: Wednesday, August 10, 2022 1:53 PM
To: 'Jeff Carroll'
Subject: RE: John King Photometric updated

Good Afternoon,

Looks good. You can send over a physical copy for signing.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: Jeff Carroll <jc@carrollarch.com>
Sent: Wednesday, August 10, 2022 8:18 AM
To: Lee, Henry <HLee@rockwall.com>
Subject: John King Photometric updated

Henry,

Attached is the revised photometric plan. Let me know if you need anything else on this.

Also, I was wondering if I could pick up the color material board once you are done with it. We are using the materials on other projects.

Thx,
JC



Jeffrey Carroll, Architect
Carroll Architects, Inc.
750 E. Interstate 30, Ste. 110
Rockwall, Texas 75087

T. 972.732.6085
C. 214.632.1762

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



August 11, 2022

TO: Jeff Carroll
Carroll Architects, Inc.
750 E. Interstate 30, Suite 110
Rockwall, TX 75087

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-040; *Site Plan for John King Office Park*

Jeff Carroll:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on August 9, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant must provide staff with a photometric plan that meets the requirements of the Unified Development Code (UDC) before submitting Engineering plans.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On August 9, 2022, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 7-0, with staff and ARB recommendations.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue horizontal line.

Henry Lee, AICP, Planner
City of Rockwall Planning and Zoning Department