



PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET
ROCKWALL, TX 75087

P&Z CASE # SP2022-034 P&Z DATE July 12, 2022 CC DATE _____ **Approved/Denied**

ARCHITECTURAL REVIEW BOARD DATE July 12, 2022 HPAB DATE _____ PARK BOARD DATE _____

Zoning Application

- Specific Use Permit
- Zoning Change
- PD Concept Plan
- PD Development Plan

Site Plan Application

- Site Plan
- Landscape Plan
- Treescape Plan
- Photometric Plan
- Building Elevations
- Material Samples
- Color Rendering

Platting Application

- Master Plat
- Preliminary Plat
- Final Plat
- Replat
- Administrative/Minor Plat
- Vacation Plat
- Landscape Plan
- Treescape Plan

HPAB Application

- Exhibit

- Copy of Ordinance (ORD# _____)
- Applications
- Receipt
- Location Map
- HOA Map
- PON Map
- FLU Map
- Newspaper Public Notice
- 500-foot Buffer Public Notice
- Project Review
- Staff Report
- Correspondence
- Copy-all Plans Required
- Copy-Mark-Ups
- City Council Minutes – Laserfiche
- Minutes-Laserfiche
- Plat Filled Date _____
 - Cabinet # _____
 - Slide # _____

Notes: _____

Zoning Map Updated _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS			
SUBDIVISION	Rockwall Technology Park, Phase II	LOT	1
		BLOCK	B
GENERAL LOCATION	Southeast corner of Discovery Blvd & Corporate Crossing		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	unimproved
PROPOSED ZONING	Light Industrial with PD for factory store	PROPOSED USE	manufacturing/warehouse/office/factory store
ACREAGE	10.649	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

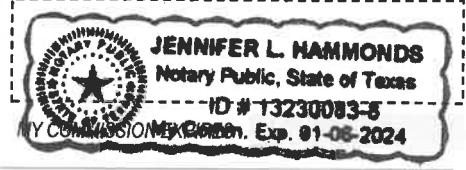
<input type="checkbox"/> OWNER	Rockwall Economic Development Corporation	<input checked="" type="checkbox"/> APPLICANT	db constructors
CONTACT PERSON	Matt Wavering	CONTACT PERSON	Matthew Peterson, AIA
ADDRESS	2610 Observation Trl, Suite 104	ADDRESS	2400 Great Southwest Parkway
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Fort Worth, TX 76106
PHONE	972-772-0025	PHONE	817-626-7300
E-MAIL	mwavering@rockwalledc.com	E-MAIL	matthew@dbconstructors.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 462.98 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF June, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2022
OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Bethany Ross
Planner
City of Rockwall
bross@rockwall.com
972.772.6488

RE : Site Plan Submittal : Chewters Chocolates
Discovery Boulevard
Lot 1, Block B Rockwall Technology Park

Ms. Ross,

First, we want to thank you for all of the assistance you have given us as we have been putting this together. We can't tell you how much we have appreciated it!

Enclosed within this package is the following :

1. Development Application
2. Civil Site Plan
3. Landscape Design Plans
4. Building Plan and Elevation Design Plans
5. 3D Rendering Boards
6. Photometric
7. Physical Sample Board
8. Email from David Scott (NTMWB) discussing the easement
9. Letter from Chewters Chocolates discussing their employee head count

We look forward to working through the process with the City of Rockwall on this project!

Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', with a long horizontal flourish extending to the right.

Matthew J Peterson, AIA
Vice-President of Design & Development



Chewters Chocolates
1648 Derwent Way
Delta, BC
V3M 6R9

Att: Matthew Peterson
DB Constructors, Inc
2400 Great Southwest Parkway
Fort Worth, TX
76106

Subject: Parking Spaces – Rockwall, TX Facility

Matthew,

In response to your request regarding the number of full-time employees forecasted to be working at the new Chewters Chocolates facility in Rockwall, TX, we anticipate the following based on our current business growth forecast.

The production schedule for the facility will be based on a 3 shift rotation, so the hourly head count will be spread across the 3 production shifts. During shift change, at 7:00am, 3:00pm, and 11:00pm, we will have overlap of employees. Salaried employees will predominantly be working during the day shift, with overlap onto the afternoon and midnight shift.

	Total Employees	Salaried	Hourly	Max Per Day Shift
Year 1	19 employees	5 employees	14 employees	12 employees
Year 2	31 employees	5 employees	26 employees	20 employees
Year 3	43 employees	7 employees	36 employees	24 employees
Year 4	60 employees	10 employees	50 employees	30 employees
Year 5	90 employees	20 employees	70 employees	45 employees
Year 6	90 employees	20 employees	70 employees	55 employees
Year 7	110 employees	25 employees	85 employees	60 employees
Year 8	110 employees	25 employees	85 employees	60 employees
Year 9	110 employees	25 employees	85 employees	60 employees
Year 10	120 employees	30 employees	90 employees	65 employees

We anticipate a total of 120 full-time employees will work at the Rockwall facility. The maximum number of employees working on the day shift will be 65. The number of employee parking spaces requires to support day shift employees, plus shift change over-lap is 125 parking spaces.

Please contact me if have any questions or require additional information.

Regards,

John Oucharek
Vice President, Operations

Matthew Peterson

From: David Scott <dscott@NTMWD.COM> on behalf of David Scott
Sent: Friday, 13 May, 2022 08:16
To: Cameron Ehn
Cc: Matthew Peterson
Subject: RE: Chewters - New Development Coor.

Shrubs or Crepe Myrtles are okay

From: Cameron Ehn <cameron@dbconstructors.com>
Sent: Thursday, May 12, 2022 4:57 PM
To: David Scott <dscott@NTMWD.COM>
Cc: Matthew Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Thanks David. Appreciate the quick turnaround.

Also to confirm, we are allowed to plan shrubs and ornamental trees within the easement correct?



Cameron Ehn, PE
Director of Engineering
O: 817-626-7300 x110
M: 940-597-5146
E: cameron@dbconstructors.com
2400 Great Southwest Parkway
Fort Worth, TX 76106
www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020

From: David Scott <dscott@NTMWD.COM>
Sent: Thursday, May 12, 2022 4:50 PM
To: Cameron Ehn <cameron@dbconstructors.com>
Cc: Matthew J. Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Cameron, Here's our waterline plans and notes for your drwgs. There are several above ground appurtenances in this area as noted on plans.

Notes and instructions below:

The following NTMWD notes shall be included on the cover sheet, grading, paving, storm sewer, water and sewer, illumination and landscaping plan sheets or referenced by note.

"NTMWD NOTES"

- A. North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.

- B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
- C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
- D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
- E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
- F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
- G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.
- H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

Regards

David Scott

Program Manager

North Texas Municipal Water District

[505 E. Brown Street | Wylie, Texas 75098](#)

Direct: 469.626.4712 | Cell: 214.733.4986

dscott@ntmwd.com

From: Cameron Ehn <cameron@dbconstructors.com>

Sent: Thursday, May 12, 2022 3:48 PM

To: David Scott <dscott@NTMWD.COM>

Cc: Matthew J. Peterson <matthew@dbconstructors.com>

Subject: Chewters - New Development Coor.

Afternoon Scott,

Appreciate you taking my call earlier. Per our discussion I've attached our Conceptual Site Plan. We have some tweaks to make, but we don't expect things to change drastically. As it relates to your line, we plan on putting standard car parking over the top of it as well as a drive isle/fire lane.

Please review the attached at your earliest convenience. We're still in the conceptual design phase, but we hope to have more robust plans to share in the coming weeks. We will forward those along as soon as they're ready. In the meantime, if you have any questions or need additional information do not hesitate to ask.

Sincerely,



Cameron Ehn, PE
Director of Engineering

O: 817-626-7300 x110

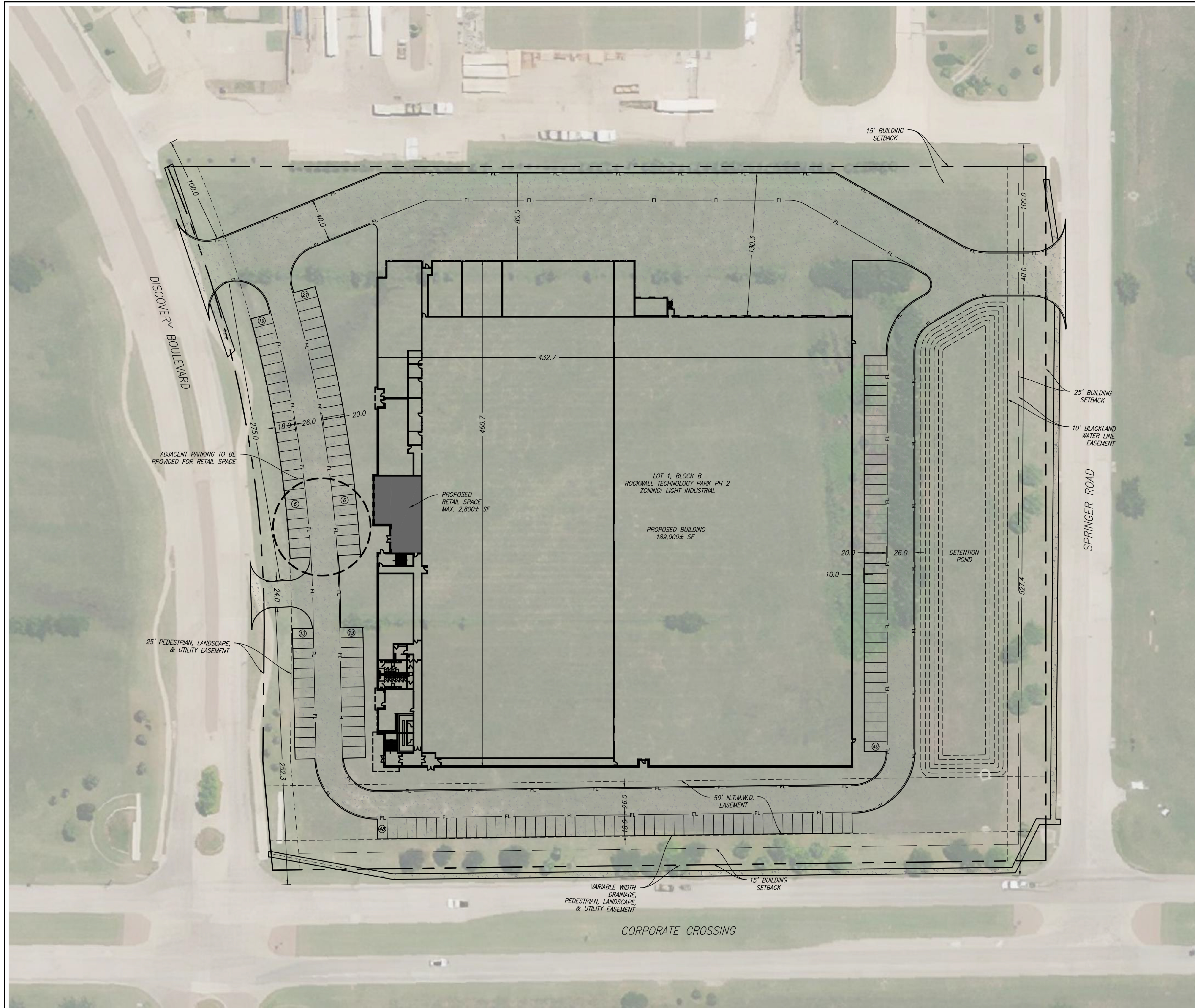
M: 940-597-5146

E: cameron@dbconstructors.com

2400 Great Southwest Parkway
Fort Worth, TX 76106

www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

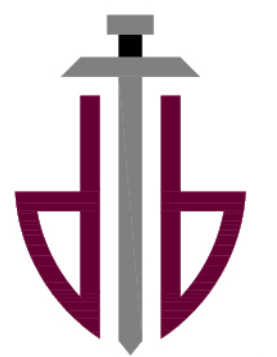
*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
 TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES



db constructors, inc.

2400 Great Southwest Pkwy
 Fort Worth, TX 76106
 817-626-7300

**CHEWTERS CHOCOLATES
 NEW HEADQUARTERS**

OWNER :
 ROCKWALL EDC +
 2610 OBSERVATION TRAIL
 ROCKWALL, TX
 972.772.0025

CHEWTERS CHOCOLATE
 1648 DERWENT WAY
 DELTA, BC
 604.515.7117

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

CHEWTERS CHOCOLATE	
Case No.	
DATE:	2022.06.15
CIVIL SITE PLAN	
C-1	

CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

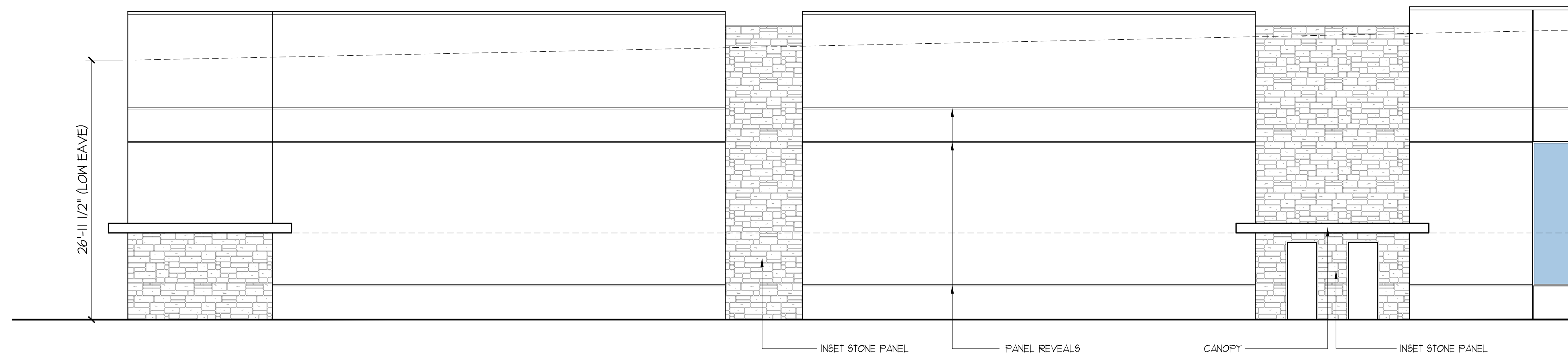
TOTAL FRONT ELEVATION AREA :	15286 SF
DOORS & GLAZING :	2631 SF
NET FRONT ELEVATION AREA :	12655 SF
STONE :	3191 SF
STONE PERCENTAGE :	25%
MASONRY PERCENTAGE :	100%

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13634 SF
DOORS & GLAZING :	458 SF
NET FRONT ELEVATION AREA :	13176 SF
STONE :	2602 SF
STONE PERCENTAGE :	20%
MASONRY PERCENTAGE :	100%

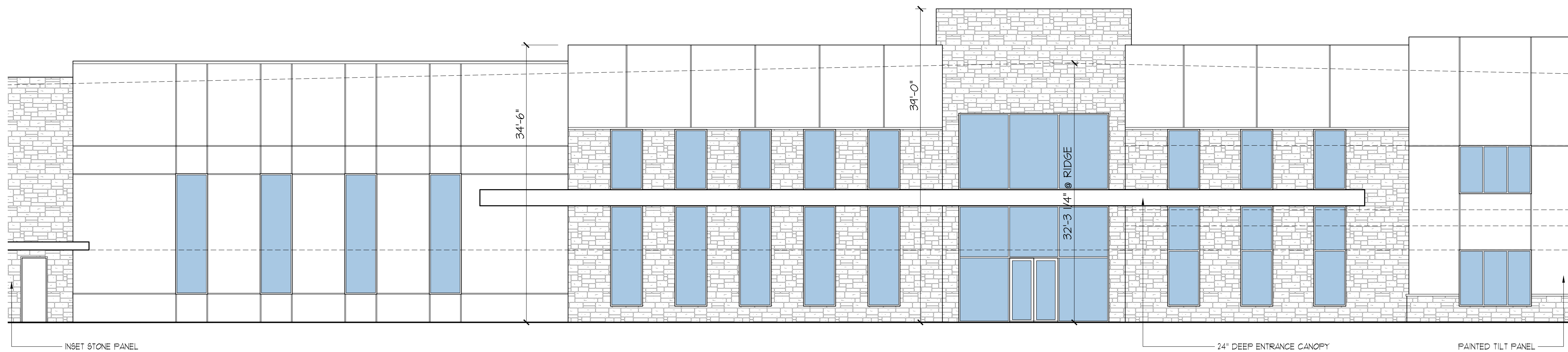
REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15048 SF
DOORS & GLAZING :	24 SF
NET FRONT ELEVATION AREA :	15024 SF
STONE :	2585 SF
STONE PERCENTAGE :	17%
MASONRY PERCENTAGE :	100%



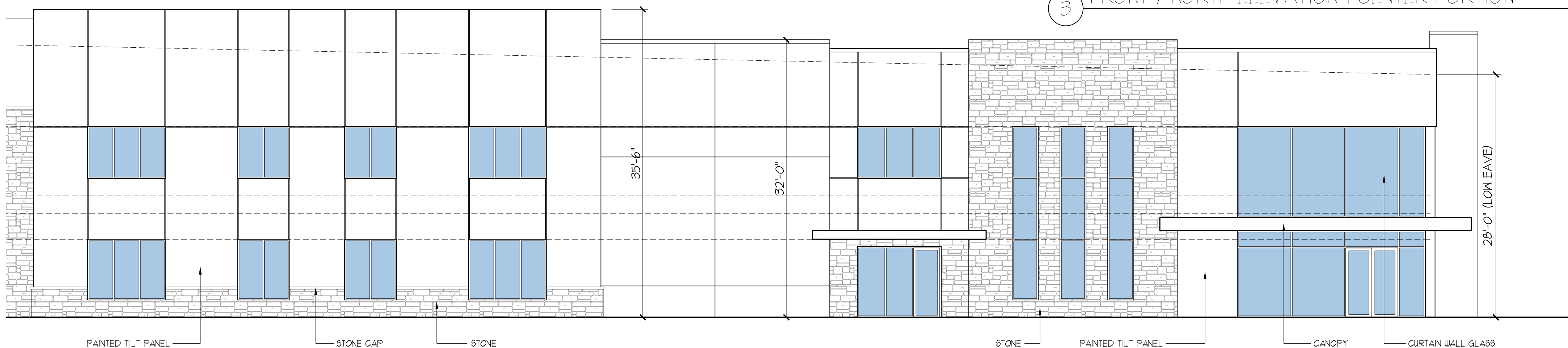
4 FRONT / NORTH ELEVATION | EAST PORTION

SCALE: 1/8" = 1'-0"



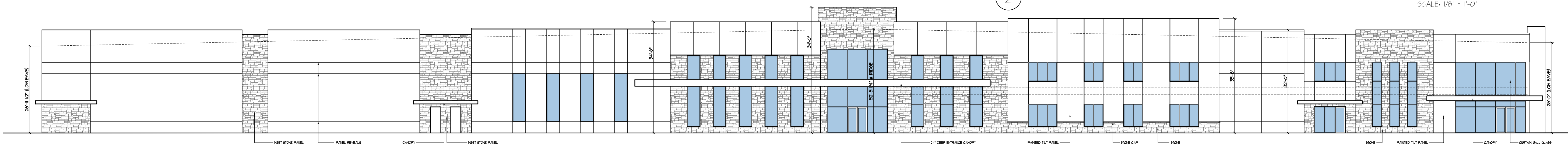
3 FRONT / NORTH ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



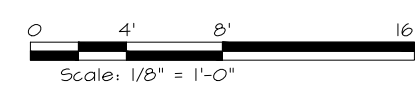
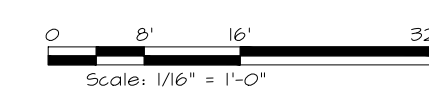
2 FRONT / NORTH ELEVATION | WEST PORTION

SCALE: 1/8" = 1'-0"



1 FRONT / NORTH ELEVATION | DISCOVERY BLVD

SCALE: 1/8" = 1'-0"



APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06-17-2021		

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

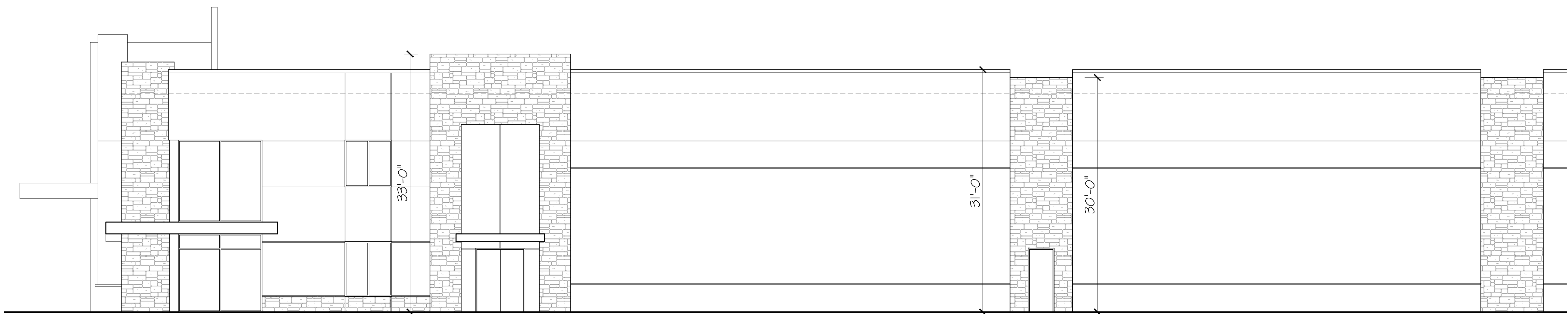
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

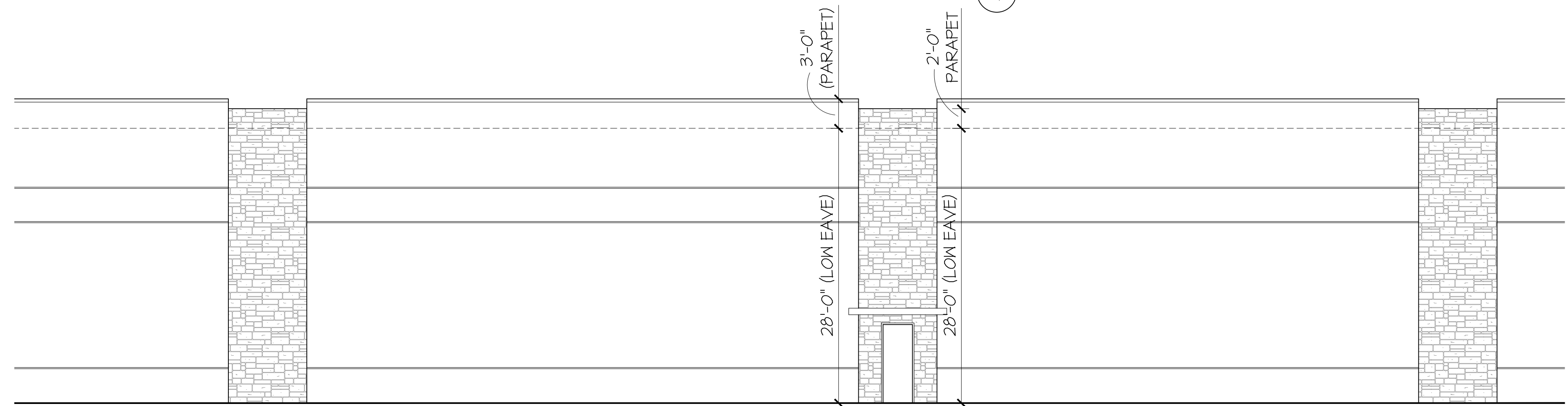
DATE: 2022.06.15

FRONT ELEV.
A-2



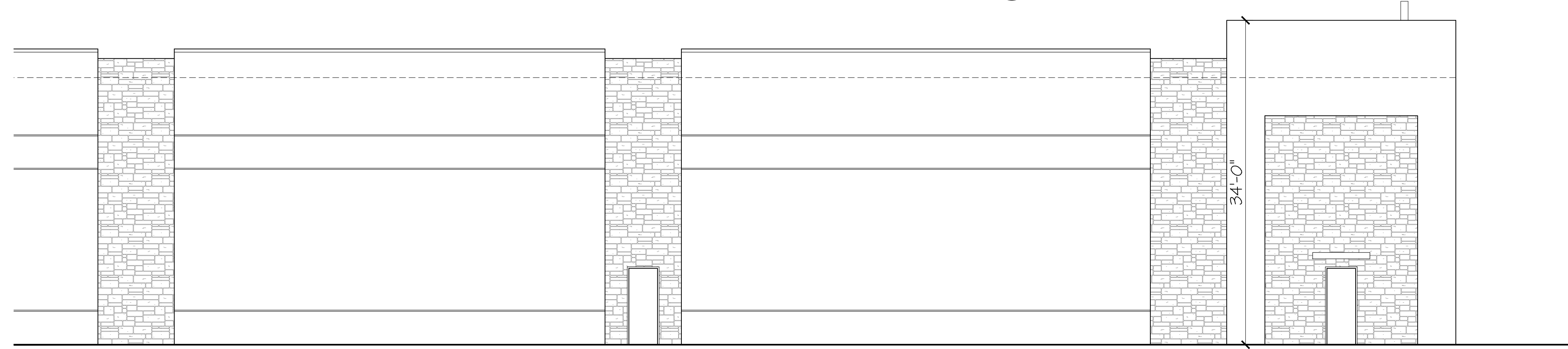
4 RIGHT / WEST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



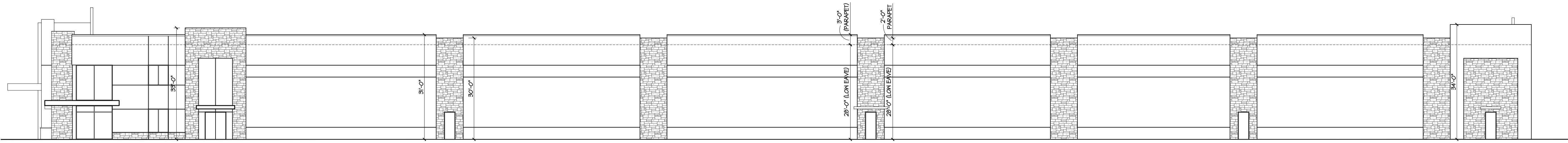
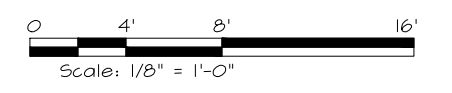
3 RIGHT / WEST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



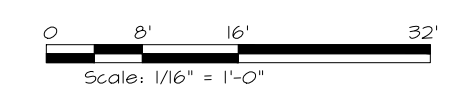
2 RIGHT / WEST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"



1 RIGHT SIDE / WEST ELEVATION | CORPORATE CROSSING

SCALE: 1/8" = 1'-0"



CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

TOTAL FRONT ELEVATION AREA :	15286	SF
DOORS & GLAZING :	2631	SF
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(CORPORATE CROSSING)

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DOORS & GLAZING :	458	SF
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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		
-			
-			

CHEWTERS CHOCOLATE
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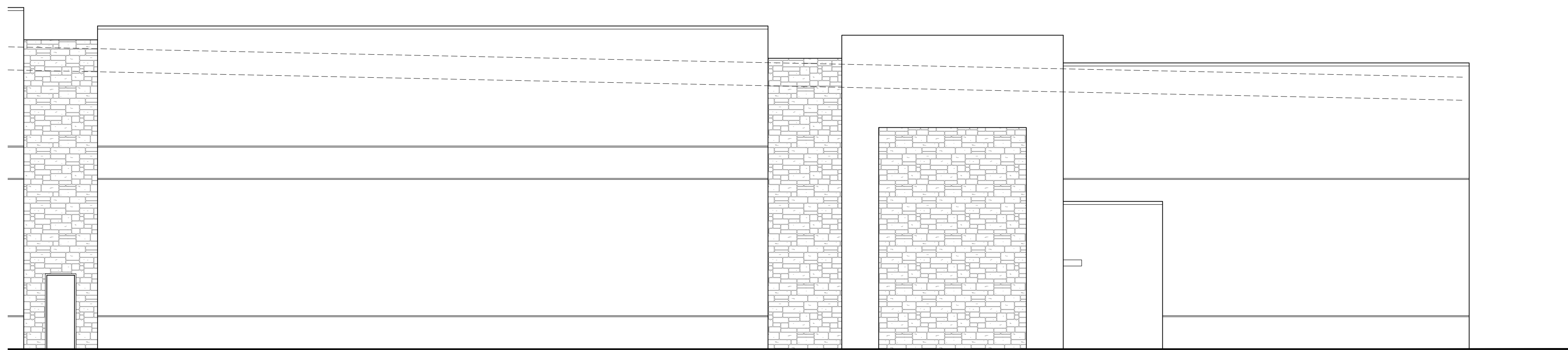

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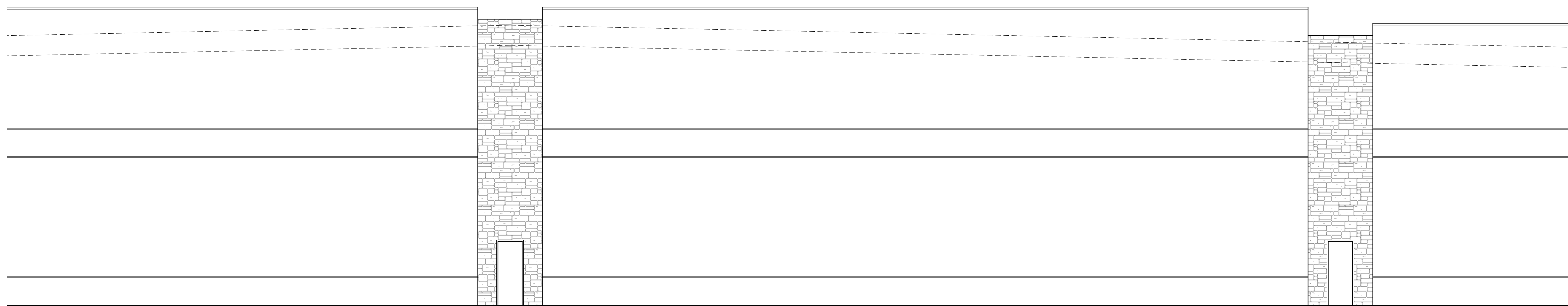
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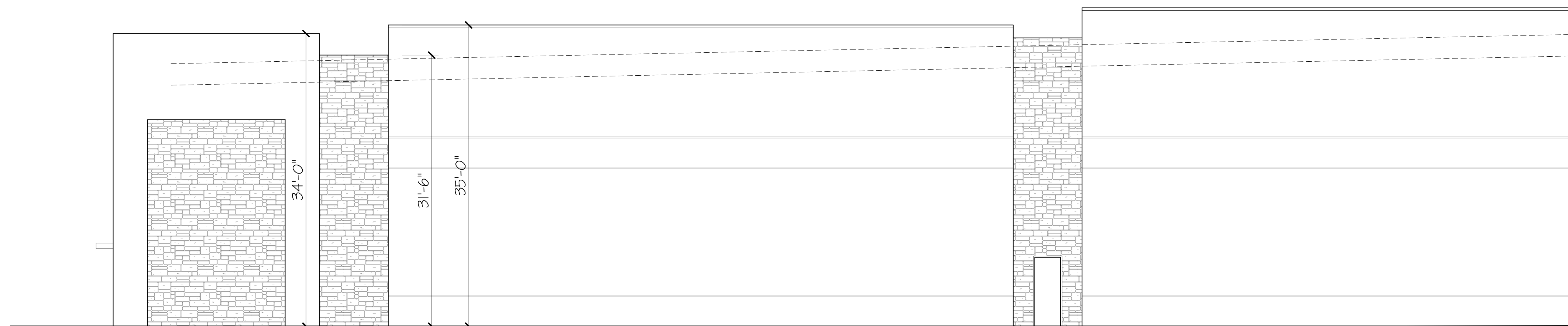
DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	_____	
DATE:	2022.06.15	
SIDE ELEV.		
A-3		



④ REAR / SOUTH ELEVATION | SPRINGER LANE - EAST PORTION
SCALE: 1/8" = 1'-0"



③ REAR / SOUTH ELEVATION | SPRINGER LANE - CENTER PORTION
SCALE: 1/8" = 1'-0"



② REAR / SOUTH ELEVATION | SPRINGER LANE - WEST PORTION
SCALE: 1/8" = 1'-0"

CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

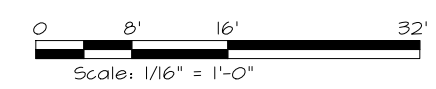
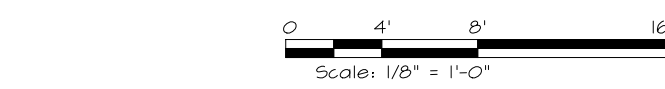
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MASONRY PERCENTAGE :	100%



① REAR / SOUTH ELEVATION | SPRINGER LANE
SCALE: 1/16" = 1'-0"

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP
-			
-			
-			

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

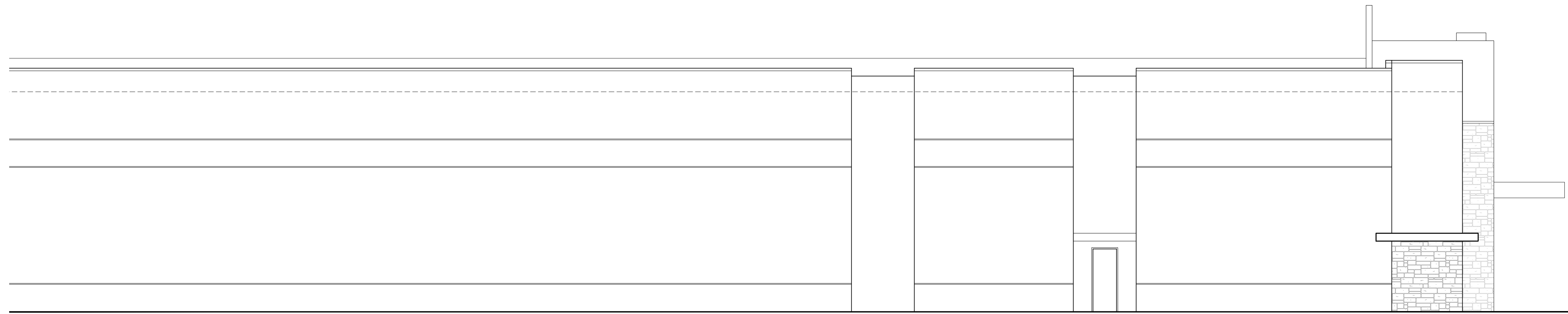

db constructors, inc.
2400 GREAT SOUTHWEST
PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

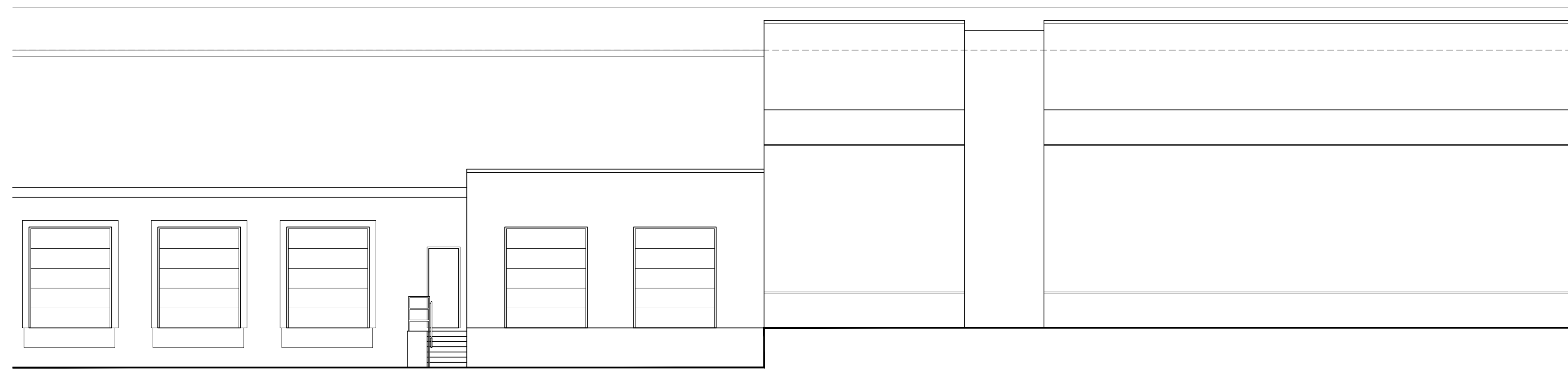
APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLOATE		
Case No.	_____	
DATE:	2022.06.15	
REAR ELEV.		
A-4		



4 LEFT / EAST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



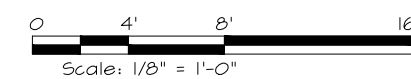
3 LEFT / EAST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"

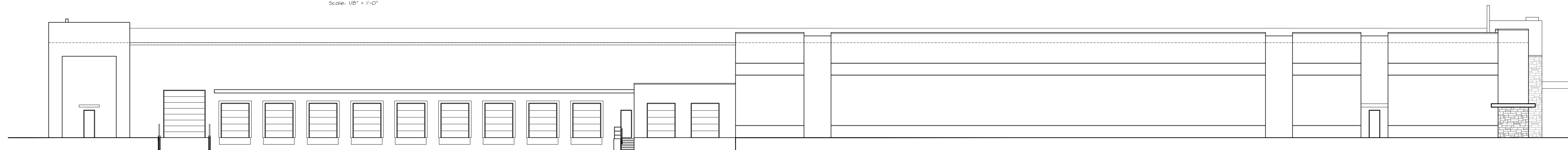


2 LEFT / EAST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"

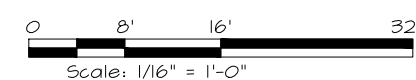


Scale: 1/8" = 1'-0"



1 LEFT SIDE / EAST ELEVATION

SCALE: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"

APPROVED:
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WITNESS OUR HAND, this ____ day of ____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		
-			
-			

CHEWTERS CHOCOLATE
 LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 SE CORNER OF DISC. & CORP CROSS.


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DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

SIDE ELEV.

A-5



**CHEWTERS CHOCOLATES
ELEVATION AESTHETICS**





**CHEWTERS CHOCOLATES
DISCOVERY BLVD ELEVATION**





**CHEWTERS CHOCOLATES
CORPORATE CROSSING ELEVATION**



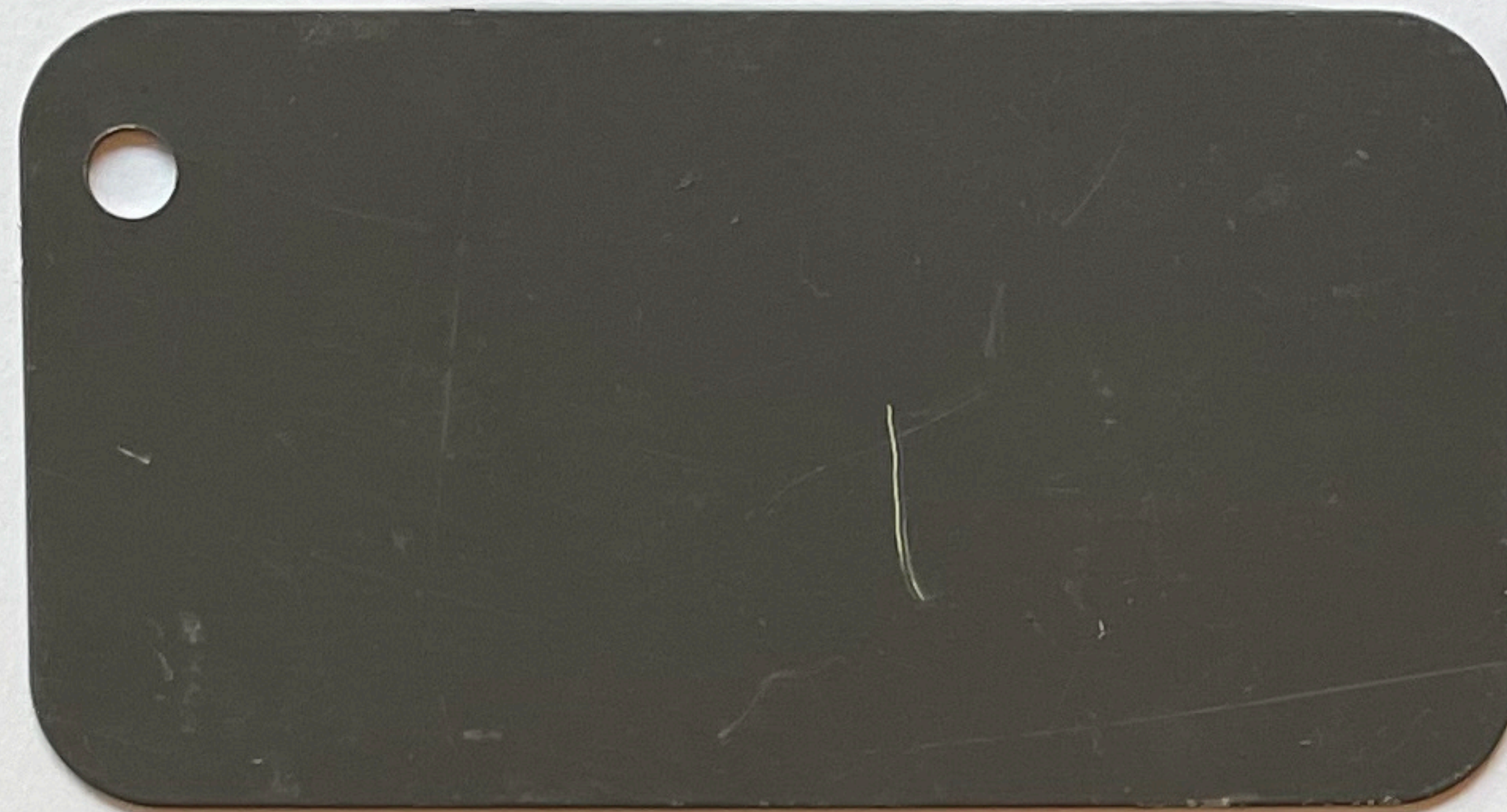


**CHEWTERS CHOCOLATES
SPRINGER ROAD ELEVATION**





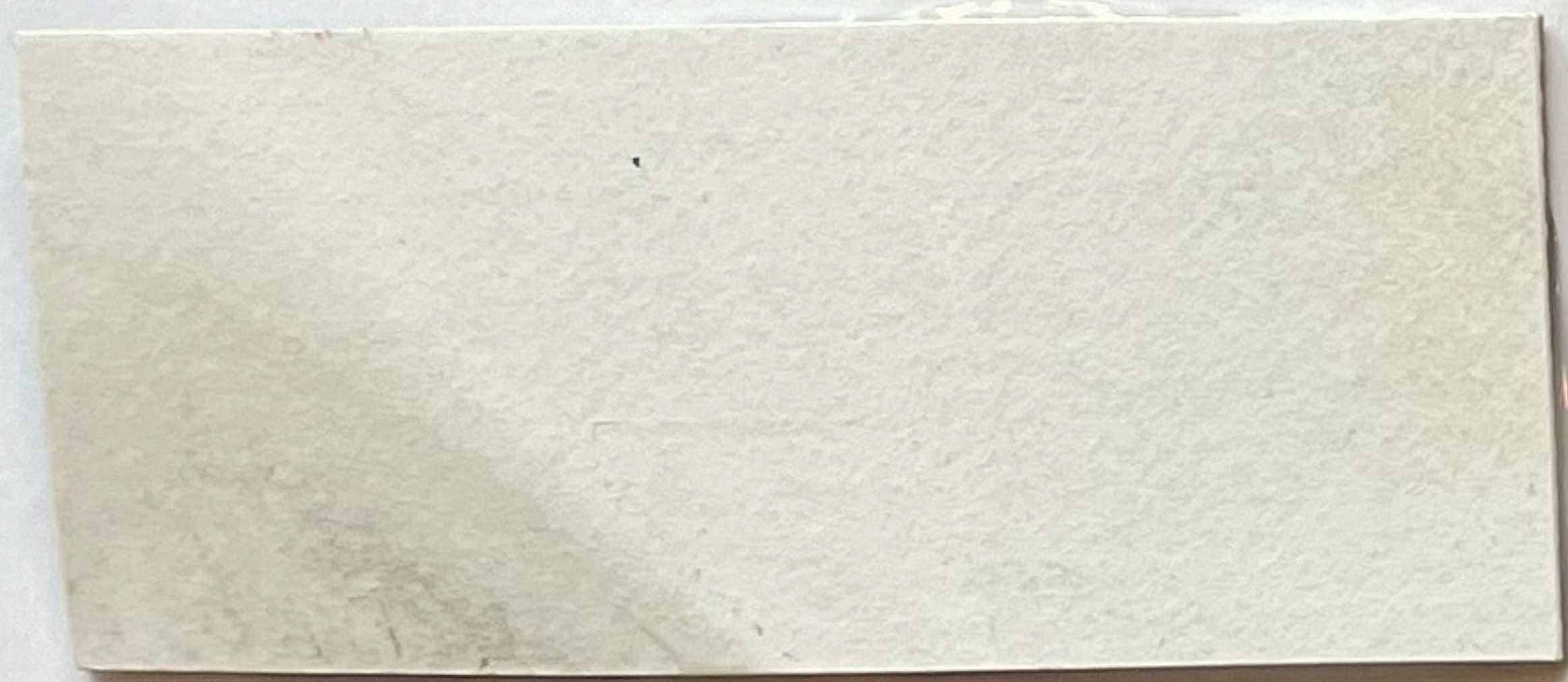
6. low e glass, neutral tint (slight gray/blue tone)



4. charcoal aluminum (awning)



5. dark bronze (window/door frames)



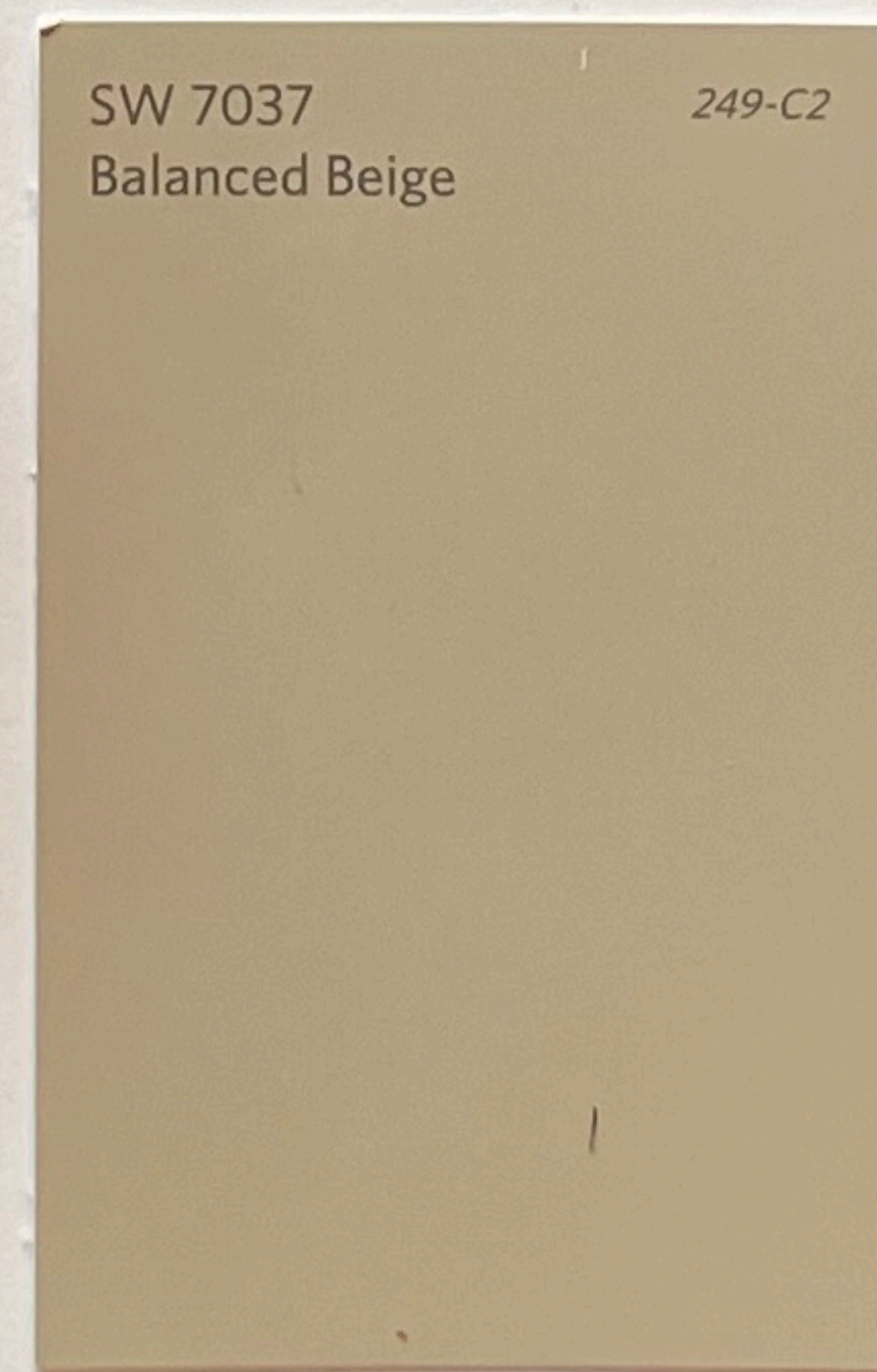
7. white tpo membrane roof (not shown in rendering)



artist rendering depicting desired color scheme



1. stone : equivalent to marble stack stone by texas stone designs, inc



2. main body panel color : sw7037 balanced beige

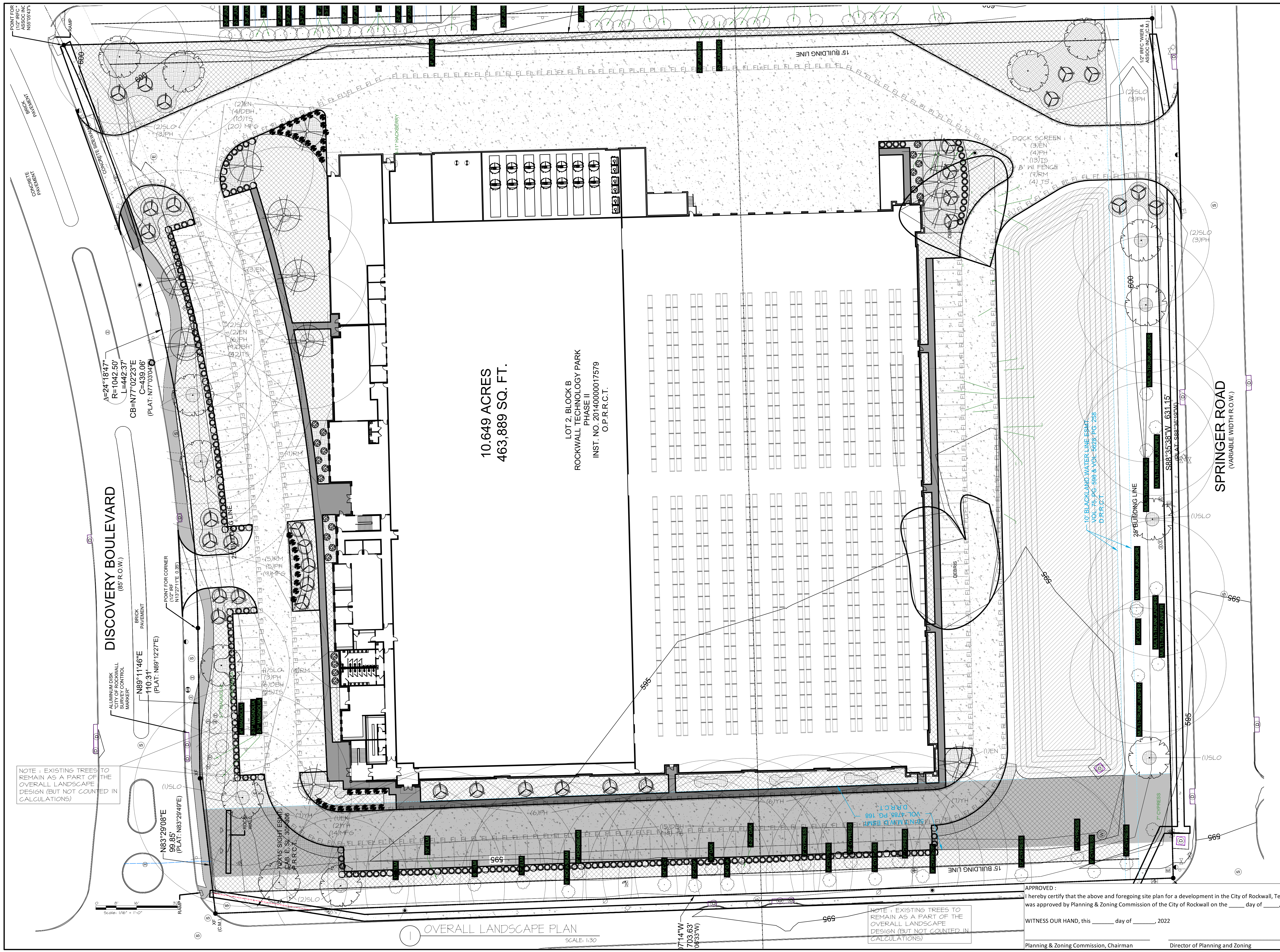


3. accent panel color : sw7504 keystone gray



db constructors, inc.





10.649 ACRES
463,889 SQ. FT.

LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 2014000017579
O.P.R.R.C.T.

DISCOVERY BOULEVARD
(85' R.O.W.)

SPRING ROAD
(VARIABLE WIDTH R.O.W.)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

OVERALL LANDSCAPE PLAN
SCALE: 1:30

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.


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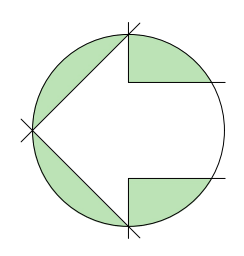
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

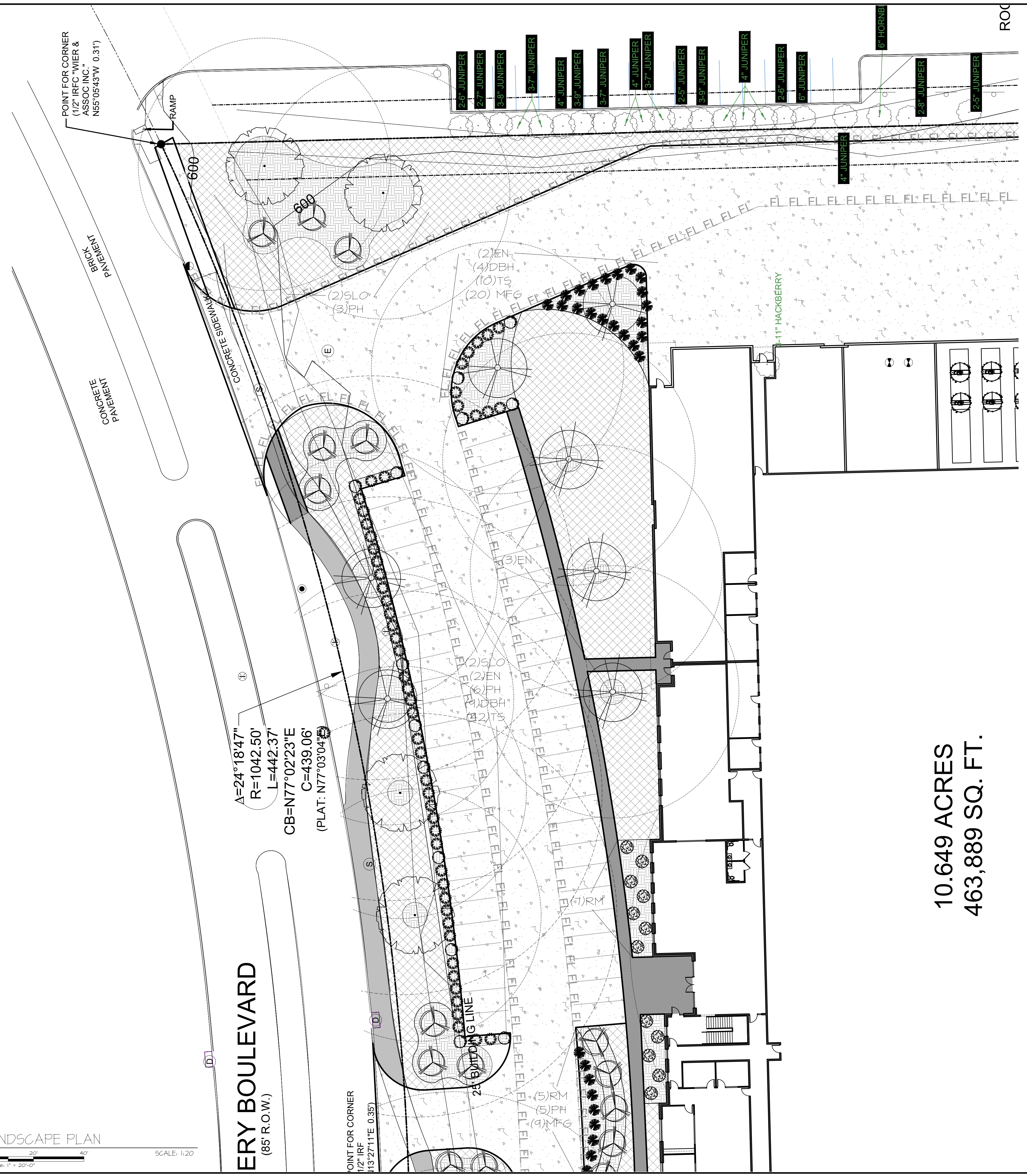
Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-1



LANDSCAPE PLAN
SCALE: 1:20
Scale: 1" = 20'-0"



10.649 ACRES
463,889 SQ. FT.

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA : 463,889 SF 10.65 AC
TOTAL IMPERVIOUS : 336,997 SF 7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE : 15% OF TOTAL AREA
69,583 SF 1.60 AC

PROPOSED LANDSCAPE :

TURF / GRASS AREA :	46,577 SF	1.069 AC
MULCHED BEDS :	22,485 SF	0.516 AC
DETENTION POND :	33,108 SF	0.760 AC

LANDSCAPE PROVIDED (W/POND) :	102,170 SF*	2.346 AC
LANDSCAPE PROVIDED (W/O POND) :	69,062 SF*	1.585 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): 298 SPACES

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES
NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	14	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT.; 4' SPREAD; 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	EVE'S NECKLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM 9' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ulmus Speciosa	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nano'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	25	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GALL.	± 3'-5'

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

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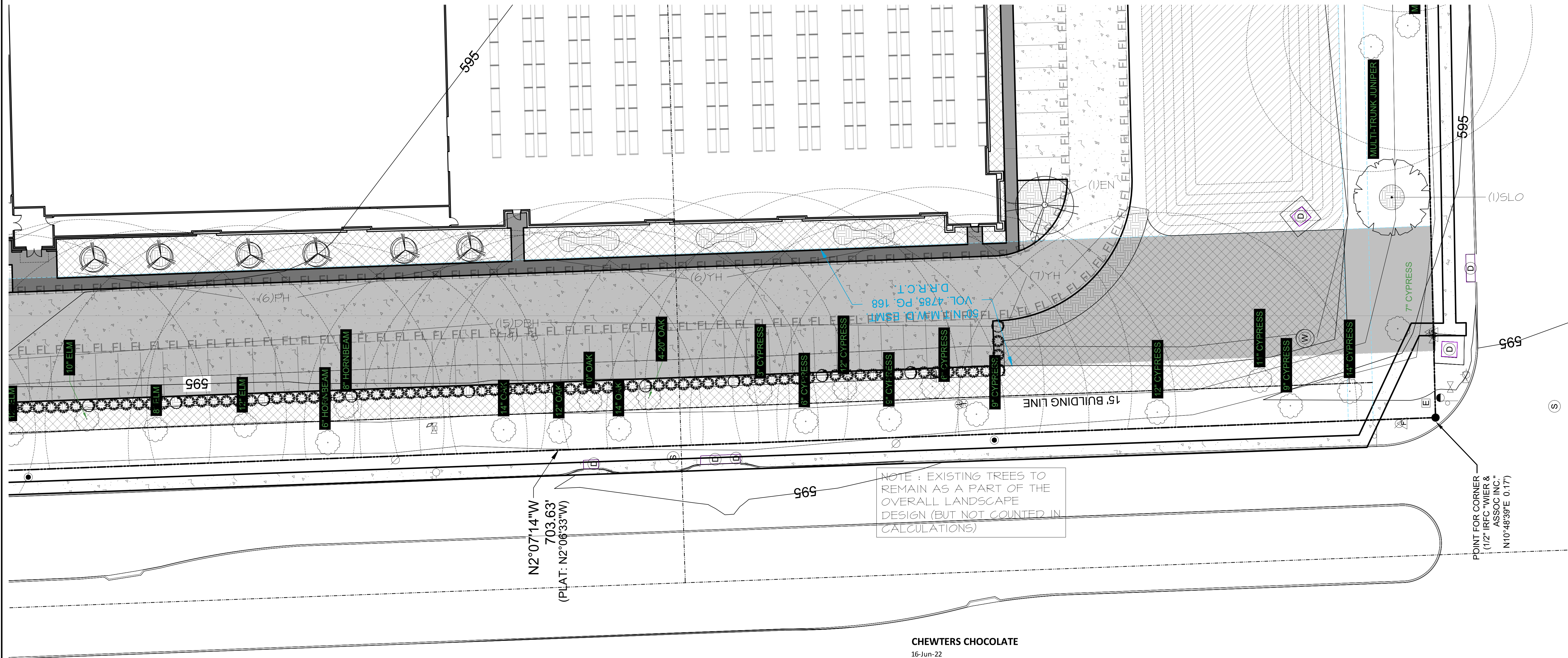
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-2



CORPORATE CROSSING
(110' R.O.W.)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

N2°07'14"W
703.63'
(PLAT: N2°06'33"W)

POINT FOR CORNER
(1/2" IRFC WIER &
ASSOC INC."
N10°48'39"E 0.17')

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC
ROADS + PARKING :	128,231 SF	2.94 AC
BUILDING :	189,853 SF	4.35 AC
BUILDING SIDEWALKS :	8,234 SF	0.18 AC
EXISTING SIDEWALKS :	3,586 SF	0.08 AC
ROW SIDEWALKS :	7,093 SF	0.16 AC

REQUIRED LANDSCAPE :	15%	OF TOTAL AREA
	69,583 SF	1.60 AC
PROPOSED LANDSCAPE :		
TURF / GRASS AREA:	46,577 SF	1.06 AC
MULCHED BEDS:	22,485 SF	0.51 AC
DETENTION POND:	33,108 SF	0.76 AC
LANDSCAPE PROVIDED (W/POND):	102,170 SF*	2.34 AC
LANDSCAPE PROVIDED (W/O POND):	69,062 SF*	1.58 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	14	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	4" CALIPER MINIMUM, 12" HT.; 4" SPREAD; 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	EVE'S NECKLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM, 9" HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ilex opacifolia	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GALL.	± 3'-5'

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
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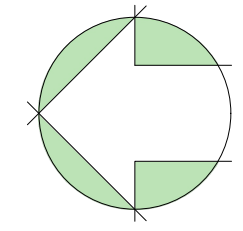
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

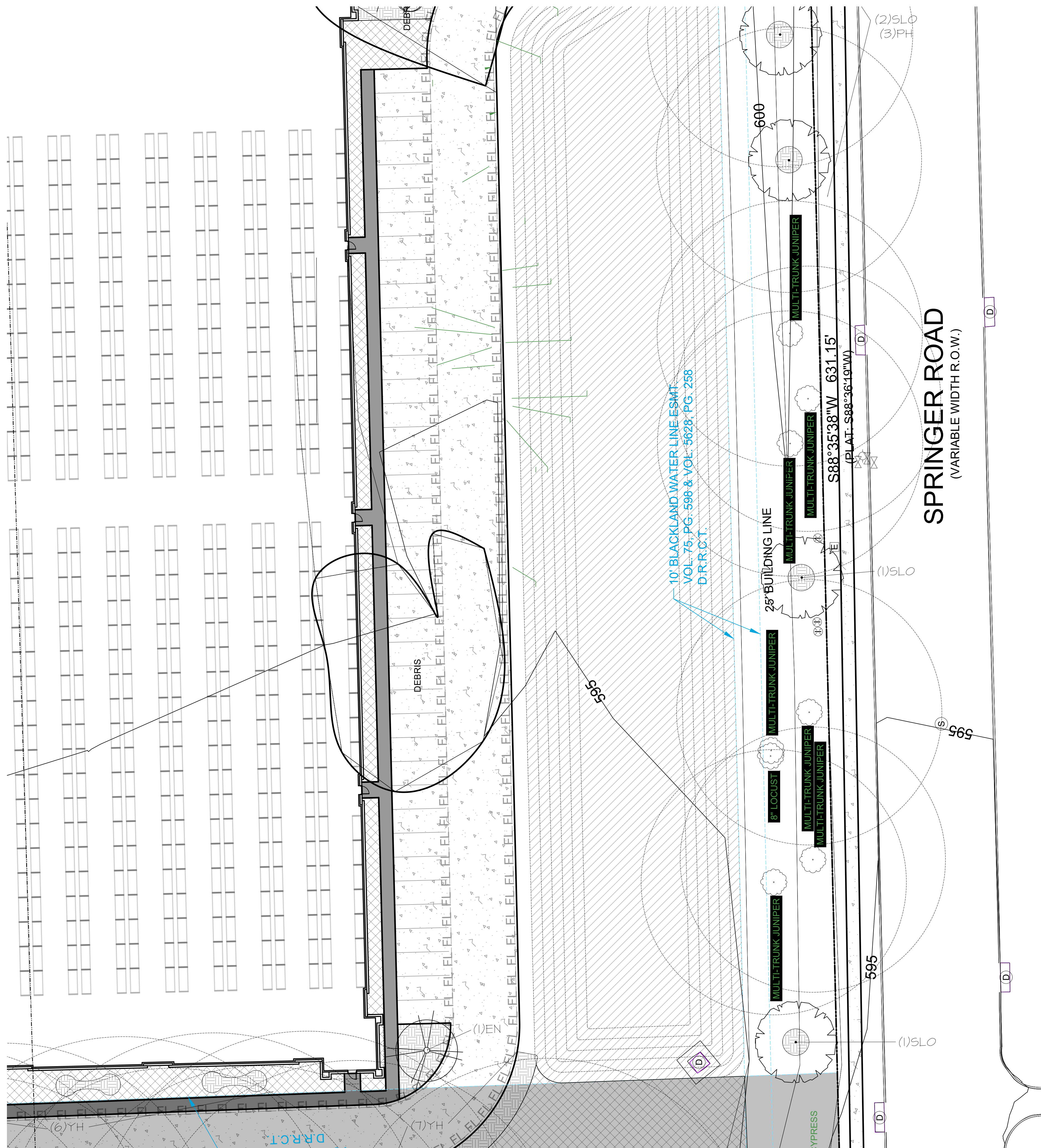
Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-4



LANDSCAPE PLAN
SCALE: 1:20
1" = 20'-0"



LANDSCAPE PLAN
SCALE: 1:20

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
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EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

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	69,583 SF 1.60 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	46,577 SF 1.069 AC
MULCHED BEDS :	22,485 SF 0.516 AC
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LANDSCAPE PROVIDED (W/POND) :	102,170 SF*	2.346 AC
LANDSCAPE PROVIDED (W/O POND) :	69,062 SF*	1.585 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

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	31	POSSUMHAW HOLLY	PH	Ilignadia Speciosa	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
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-	06-17-2021	SITE PLAN SUBMITTAL	MP

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LOT 1 BLOCK B
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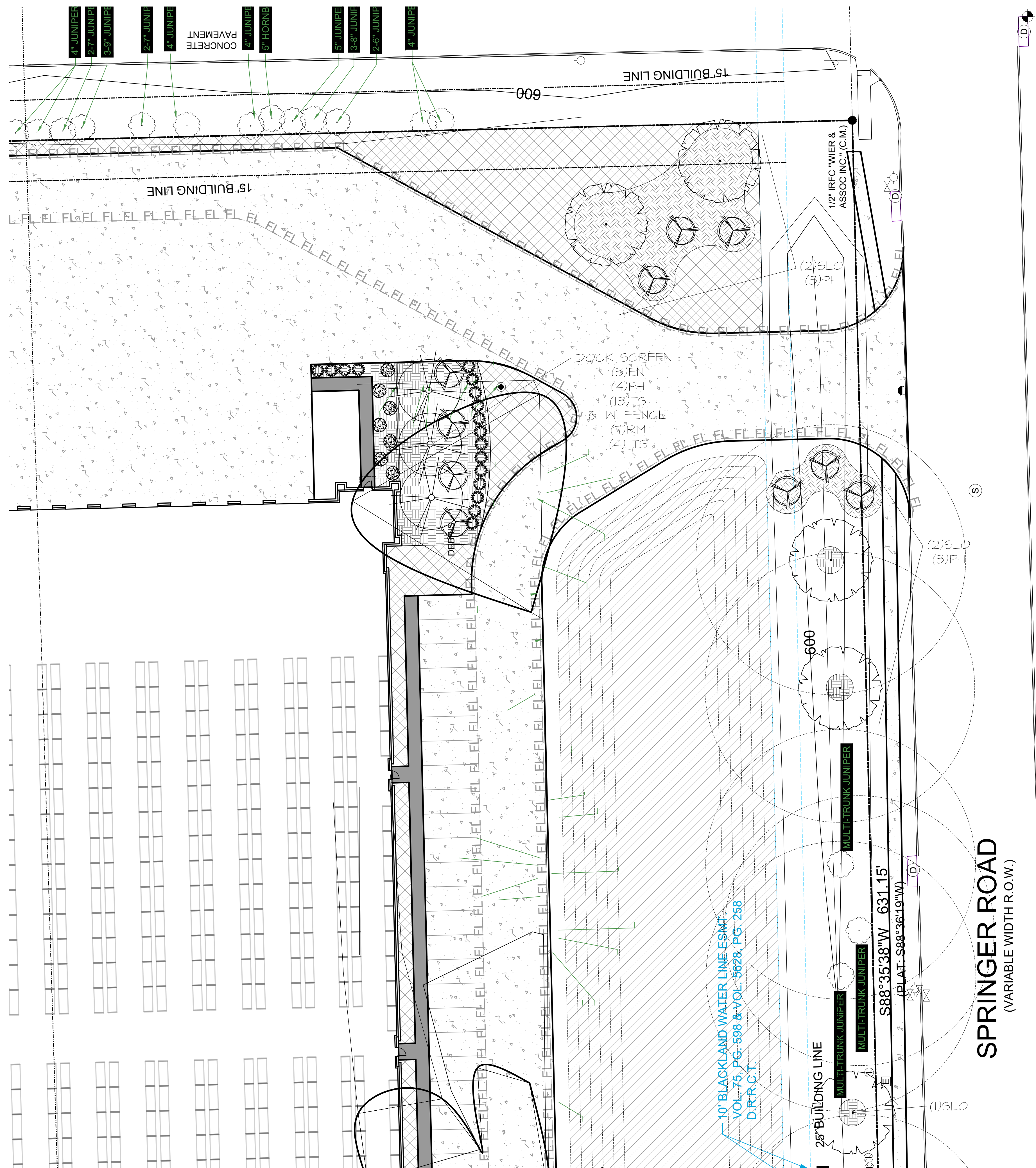
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-5



LANDSCAPE PLAN
SCALE: 1:20

CHEWTERS CHOCOLATE

16-Jun-22
SITE TABULATIONS :

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	11	EVE'S NECKLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM 9' HT.; 3" SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ulmus parviflorus	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CT5	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GALL.	± 3'-5'

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

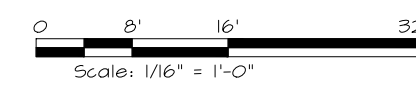
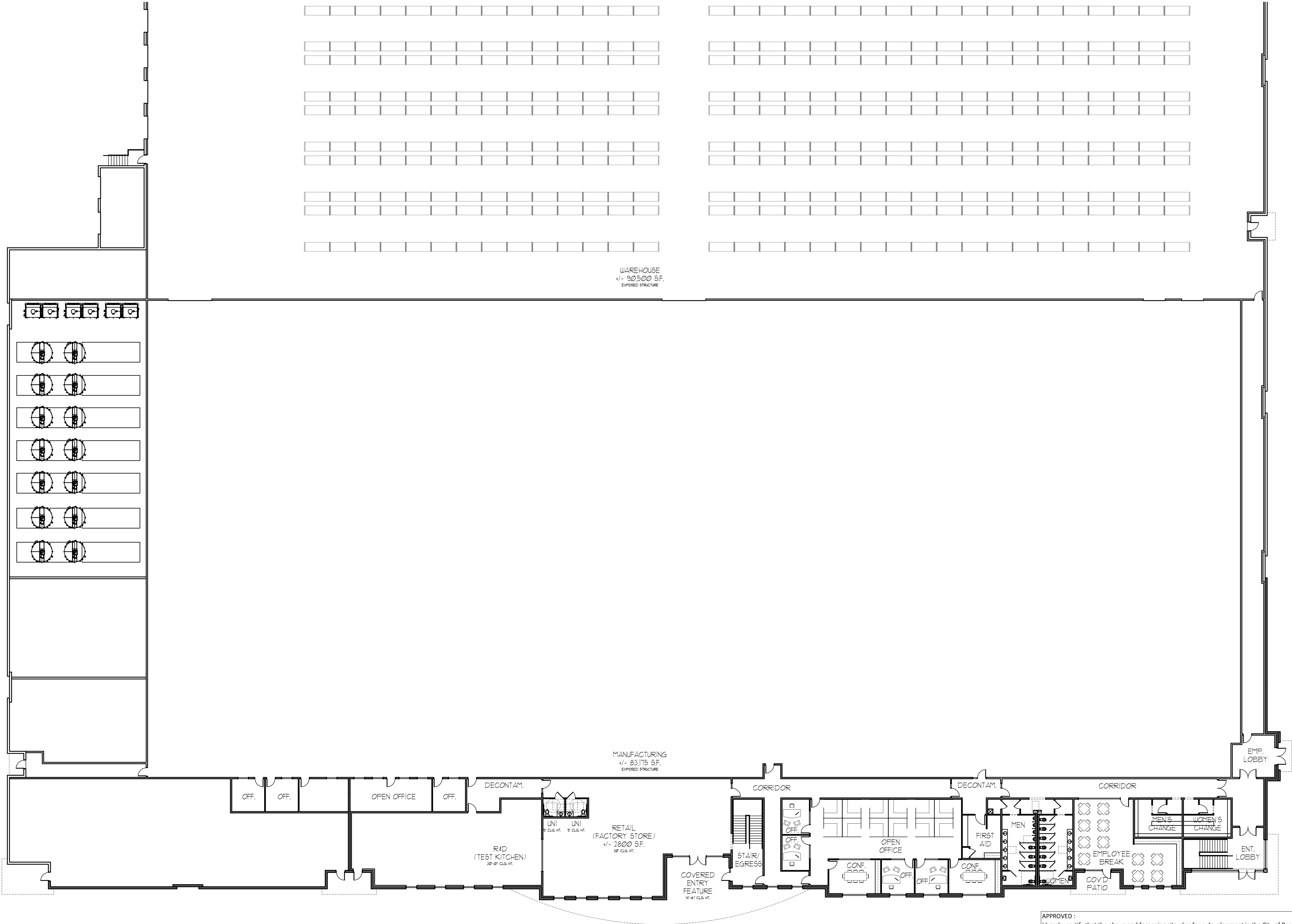
OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

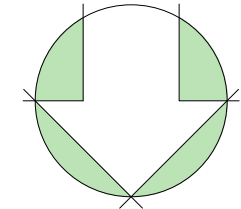
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE
Case No. _____
DATE: 2022.06.15
LANDSCAPE
L-6



1 BUILDING PLAN OVERALL

SCALE: 1/16" = 1'-0"



APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06-17-2021		

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.


db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
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OWNER :
ROCKWALL EDC +
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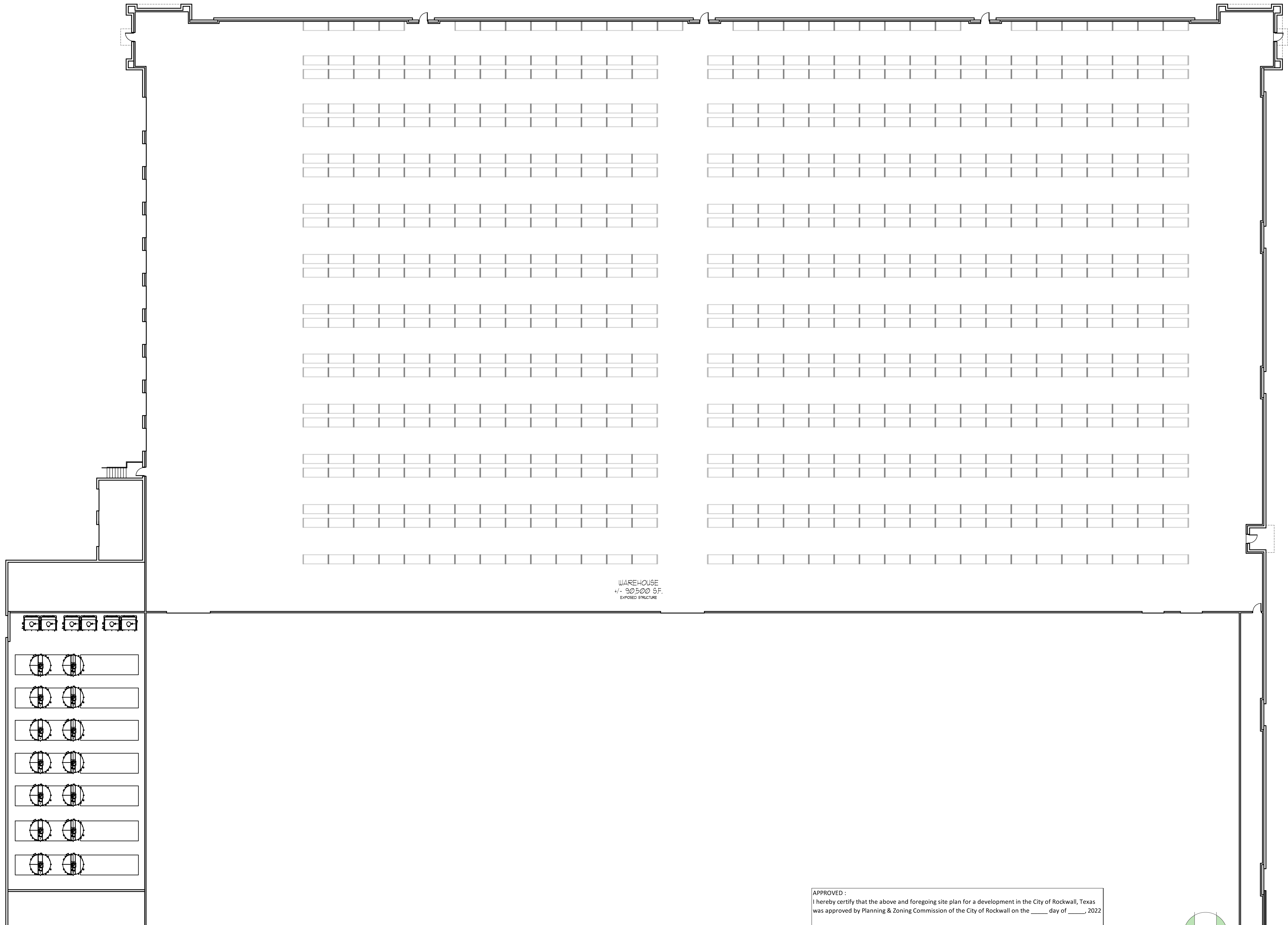
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

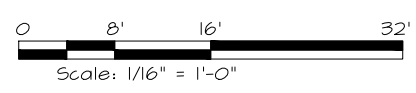
Case No. _____

DATE: 2022.06.15

BLDG. PLAN
A-1A



WAREHOUSE
 +/- 30500 SF.
 EXPOSED STRUCTURE



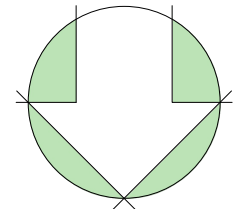
1 BUILDING PLAN OVERALL - MATCH FROM PREVIOUS
 SCALE: 1/16" = 1'-0"

APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06-17-2021		

CHEWTERS CHOCOLATE
 LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 SE CORNER OF DISC. & CORP CROSS.



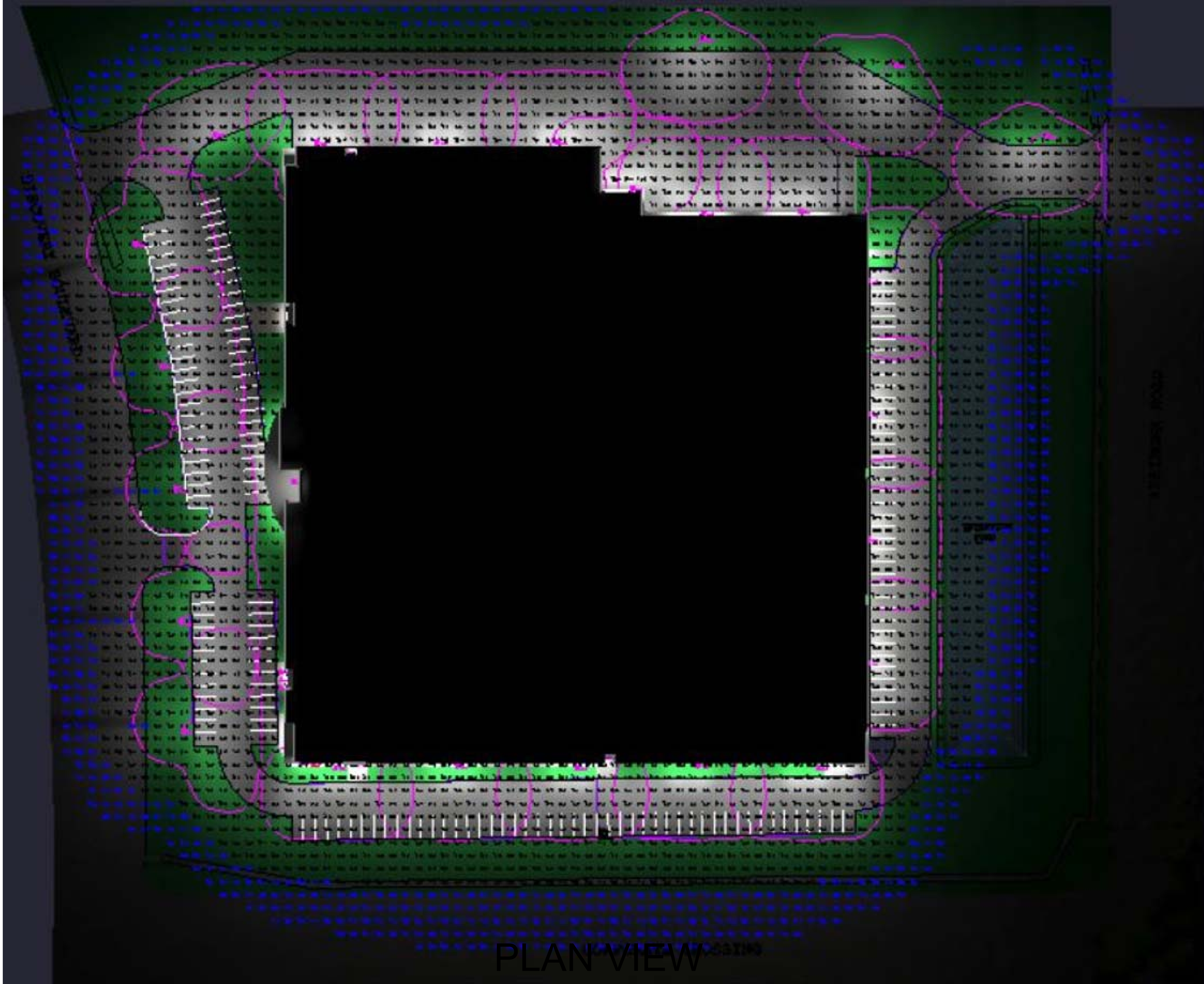
db constructors, inc.
 2400 GREAT SOUTHWEST
 PARKWAY
 FORT WORTH, TX
 817.626.7300
 INFO@DBCSTRUCTORS.COM

OWNER :
 ROCKWALL EDC +
 2610 OBSERVATION TRAIL
 ROCKWALL, TX
 972.772.0025

CHEWTERS CHOCOLATE
 1648 DERWENT WAY
 DELTA, BC
 604.515.7117

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLOATE		
Case No.	_____	
DATE:	2022.06.15	
BLDG. PLAN		
A-1B		

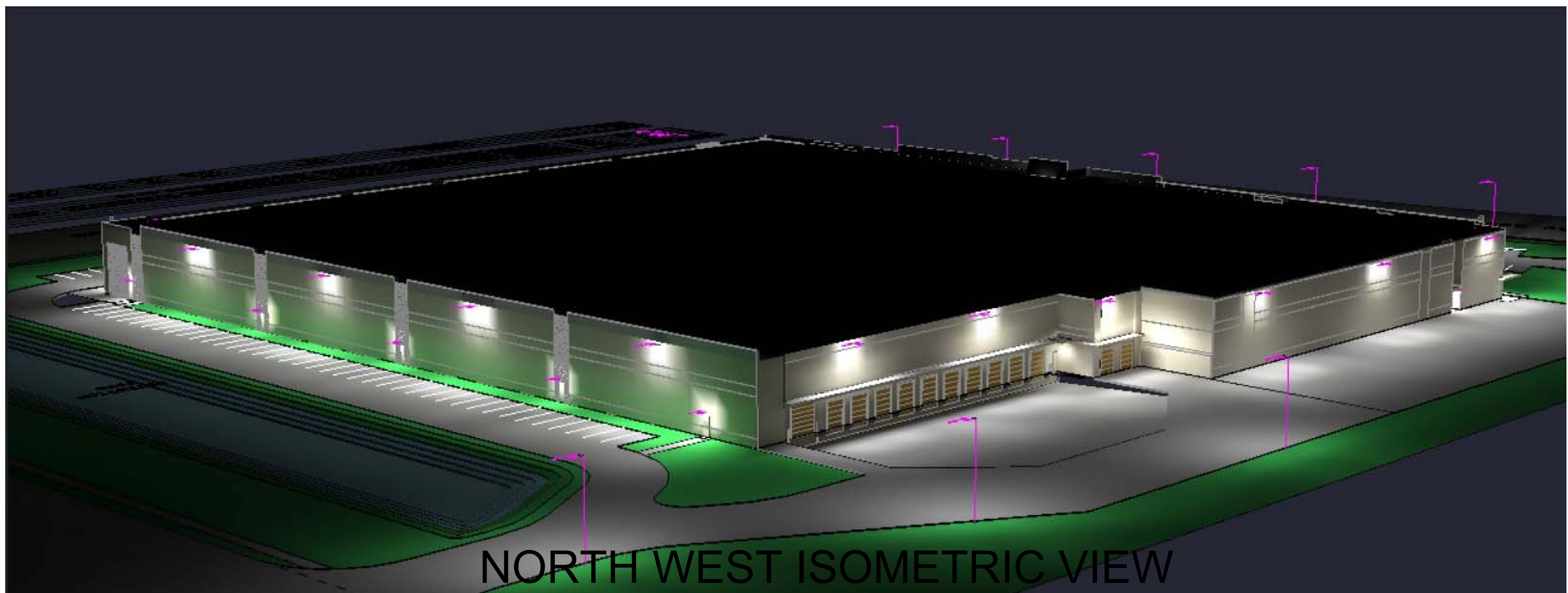


CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS
EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.



SOUTH EAST ISOMETRIC VIEW

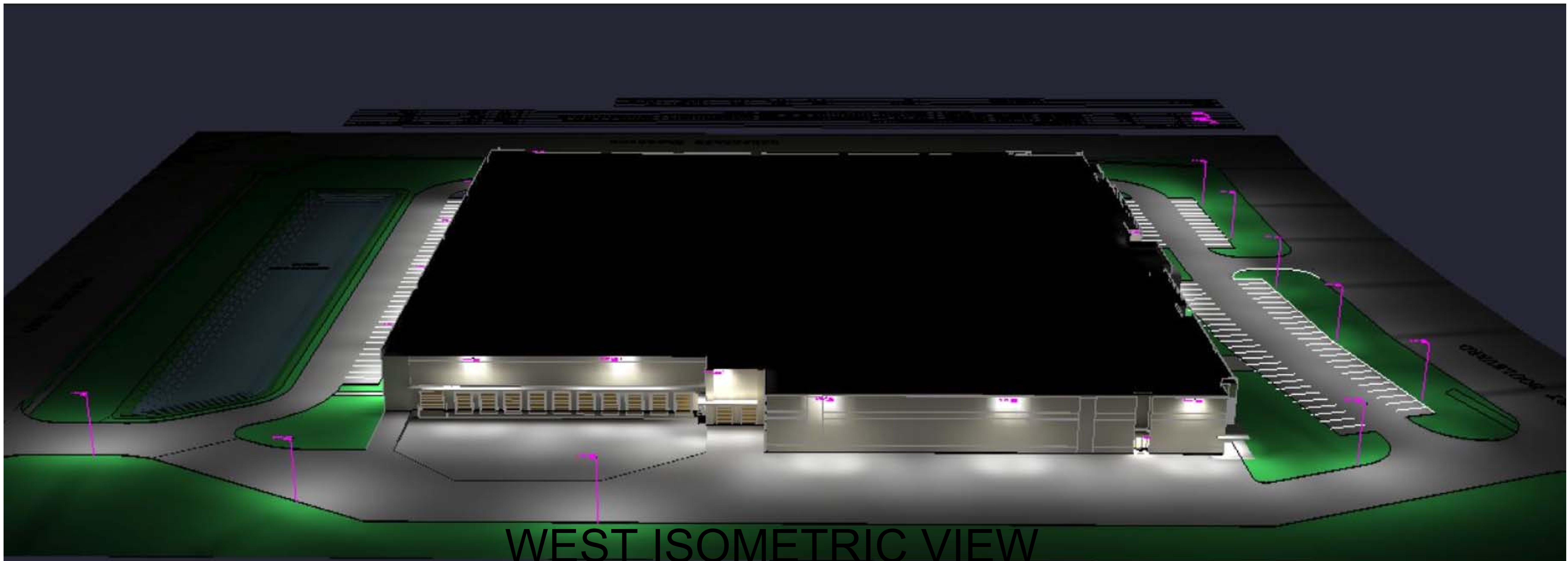
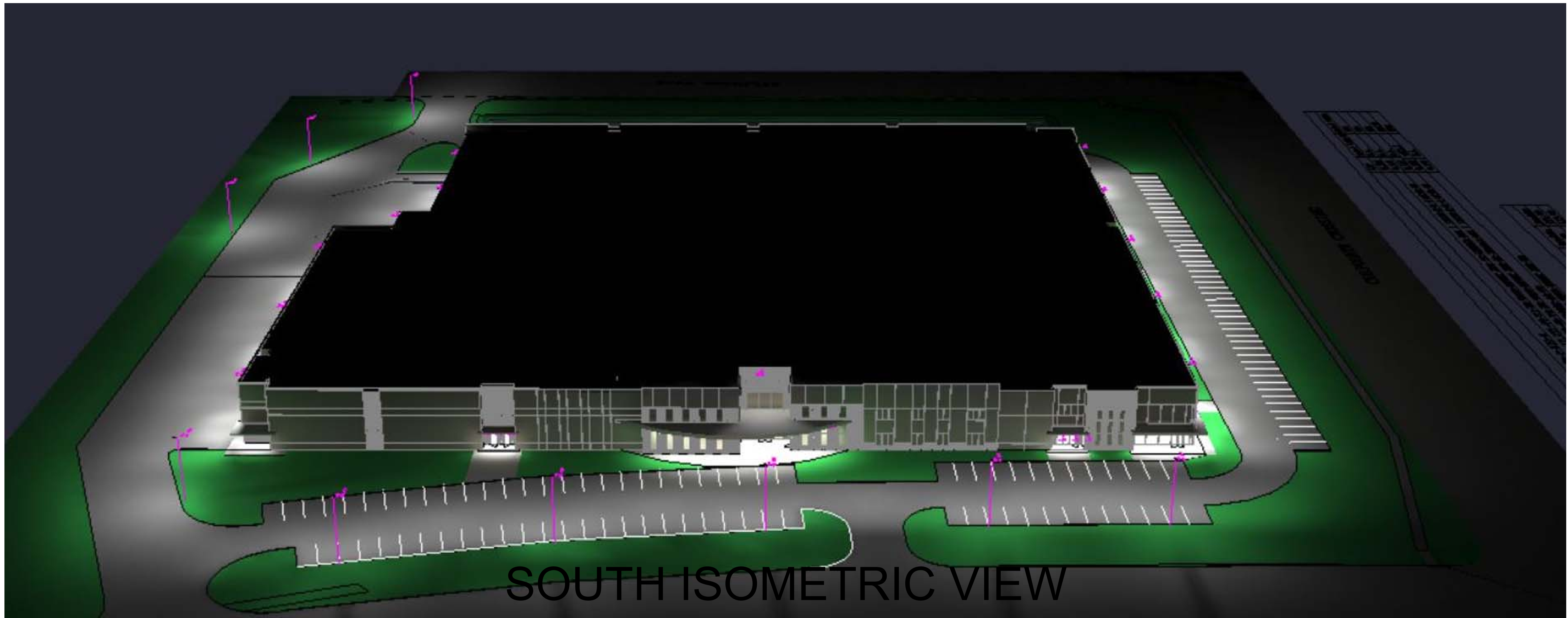


NORTH WEST ISOMETRIC VIEW

CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS

EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS			
SUBDIVISION	Rockwall Technology Park, Phase II	LOT	1
		BLOCK	B
GENERAL LOCATION	Southeast corner of Discovery Blvd & Corporate Crossing		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	unimproved
PROPOSED ZONING	Light Industrial with PD for factory store	PROPOSED USE	manufacturing/warehouse/office/factory store
ACREAGE	10.649	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

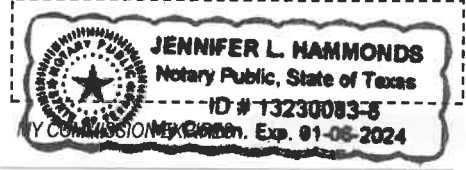
<input type="checkbox"/> OWNER	Rockwall Economic Development Corporation	<input checked="" type="checkbox"/> APPLICANT	db constructors
CONTACT PERSON	Matt Wavering	CONTACT PERSON	Matthew Peterson, AIA
ADDRESS	2610 Observation Trl, Suite 104	ADDRESS	2400 Great Southwest Parkway
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Fort Worth, TX 76106
PHONE	972-772-0025	PHONE	817-626-7300
E-MAIL	mwavering@rockwalledc.com	E-MAIL	matthew@dbconstructors.com

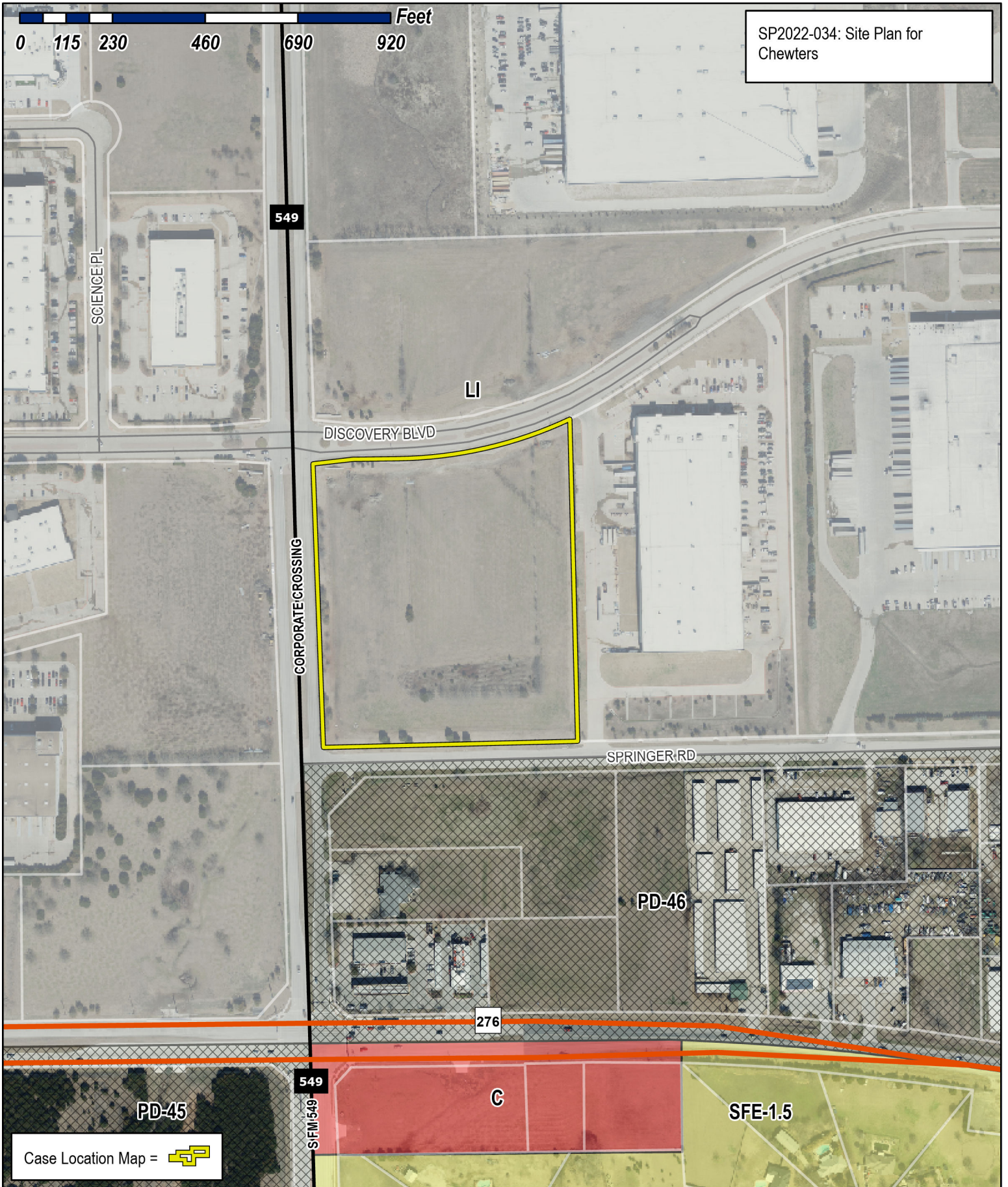
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 462.98 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF June, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2022
OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2022-034: Site Plan for Chewters

0 115 230 460 690 920 Feet

SCIENCE PL

549

LI

DISCOVERY BLVD

CORPORATE CROSSING

SPRINGER RD

PD-46

276


PD-45

549

SFM 549

C

SFE-1.5

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Bethany Ross
Planner
City of Rockwall
bross@rockwall.com
972.772.6488

RE : Site Plan Submittal : Chewters Chocolates
Discovery Boulevard
Lot 1, Block B Rockwall Technology Park

Ms. Ross,

First, we want to thank you for all of the assistance you have given us as we have been putting this together. We can't tell you how much we have appreciated it!

Enclosed within this package is the following :

1. Development Application
2. Civil Site Plan
3. Landscape Design Plans
4. Building Plan and Elevation Design Plans
5. 3D Rendering Boards
6. Photometric
7. Physical Sample Board
8. Email from David Scott (NTMWB) discussing the easement
9. Letter from Chewters Chocolates discussing their employee head count

We look forward to working through the process with the City of Rockwall on this project!

Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', with a long horizontal flourish extending to the right.

Matthew J Peterson, AIA
Vice-President of Design & Development



Chewters Chocolates
1648 Derwent Way
Delta, BC
V3M 6R9

Att: Matthew Peterson
DB Constructors, Inc
2400 Great Southwest Parkway
Fort Worth, TX
76106

Subject: Parking Spaces – Rockwall, TX Facility

Matthew,

In response to your request regarding the number of full-time employees forecasted to be working at the new Chewters Chocolates facility in Rockwall, TX, we anticipate the following based on our current business growth forecast.

The production schedule for the facility will be based on a 3 shift rotation, so the hourly head count will be spread across the 3 production shifts. During shift change, at 7:00am, 3:00pm, and 11:00pm, we will have overlap of employees. Salaried employees will predominantly be working during the day shift, with overlap onto the afternoon and midnight shift.

	Total Employees	Salaried	Hourly	Max Per Day Shift
Year 1	19 employees	5 employees	14 employees	12 employees
Year 2	31 employees	5 employees	26 employees	20 employees
Year 3	43 employees	7 employees	36 employees	24 employees
Year 4	60 employees	10 employees	50 employees	30 employees
Year 5	90 employees	20 employees	70 employees	45 employees
Year 6	90 employees	20 employees	70 employees	55 employees
Year 7	110 employees	25 employees	85 employees	60 employees
Year 8	110 employees	25 employees	85 employees	60 employees
Year 9	110 employees	25 employees	85 employees	60 employees
Year 10	120 employees	30 employees	90 employees	65 employees

We anticipate a total of 120 full-time employees will work at the Rockwall facility. The maximum number of employees working on the day shift will be 65. The number of employee parking spaces requires to support day shift employees, plus shift change over-lap is 125 parking spaces.

Please contact me if have any questions or require additional information.

Regards,

John Oucharek
Vice President, Operations

Matthew Peterson

From: David Scott <dscott@NTMWD.COM> on behalf of David Scott
Sent: Friday, 13 May, 2022 08:16
To: Cameron Ehn
Cc: Matthew Peterson
Subject: RE: Chewters - New Development Coor.

Shrubs or Crepe Myrtles are okay

From: Cameron Ehn <cameron@dbconstructors.com>
Sent: Thursday, May 12, 2022 4:57 PM
To: David Scott <dscott@NTMWD.COM>
Cc: Matthew Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Thanks David. Appreciate the quick turnaround.

Also to confirm, we are allowed to plan shrubs and ornamental trees within the easement correct?



Cameron Ehn, PE
Director of Engineering
O: 817-626-7300 x110
M: 940-597-5146
E: cameron@dbconstructors.com
2400 Great Southwest Parkway
Fort Worth, TX 76106
www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020

From: David Scott <dscott@NTMWD.COM>
Sent: Thursday, May 12, 2022 4:50 PM
To: Cameron Ehn <cameron@dbconstructors.com>
Cc: Matthew J. Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Cameron, Here's our waterline plans and notes for your drwgs. There are several above ground appurtenances in this area as noted on plans.

Notes and instructions below:

The following NTMWD notes shall be included on the cover sheet, grading, paving, storm sewer, water and sewer, illumination and landscaping plan sheets or referenced by note.

"NTMWD NOTES"

- A. North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.

- B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
- C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
- D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
- E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
- F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
- G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.
- H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

Regards

David Scott

Program Manager

North Texas Municipal Water District

[505 E. Brown Street | Wylie, Texas 75098](#)

Direct: 469.626.4712 | Cell: 214.733.4986

dscott@ntmwd.com

From: Cameron Ehn <cameron@dbconstructors.com>

Sent: Thursday, May 12, 2022 3:48 PM

To: David Scott <dscott@NTMWD.COM>

Cc: Matthew J. Peterson <matthew@dbconstructors.com>

Subject: Chewters - New Development Coor.

Afternoon Scott,

Appreciate you taking my call earlier. Per our discussion I've attached our Conceptual Site Plan. We have some tweaks to make, but we don't expect things to change drastically. As it relates to your line, we plan on putting standard car parking over the top of it as well as a drive isle/fire lane.

Please review the attached at your earliest convenience. We're still in the conceptual design phase, but we hope to have more robust plans to share in the coming weeks. We will forward those along as soon as they're ready. In the meantime, if you have any questions or need additional information do not hesitate to ask.

Sincerely,



Cameron Ehn, PE
Director of Engineering

O: 817-626-7300 x110

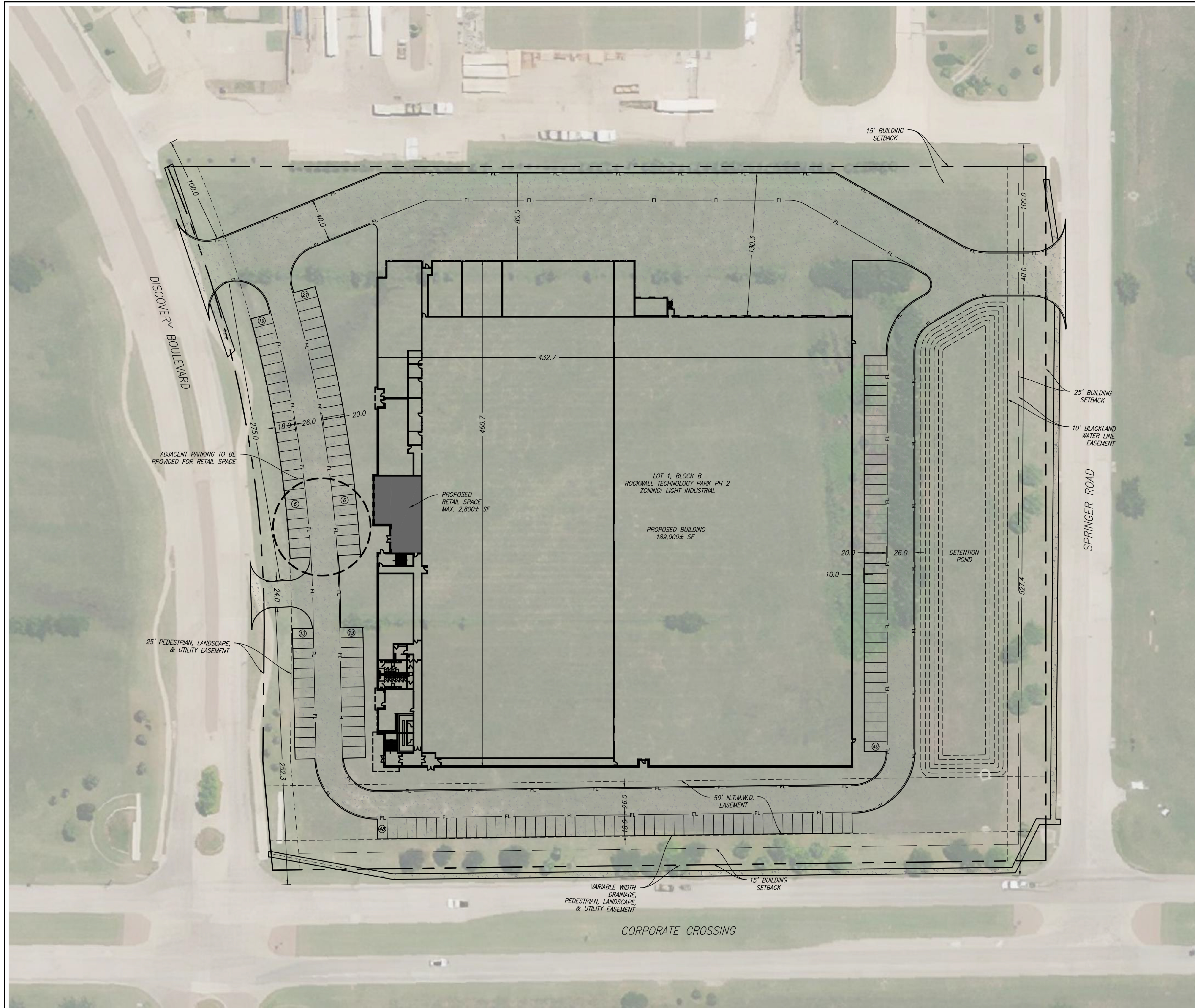
M: 940-597-5146

E: cameron@dbconstructors.com

2400 Great Southwest Parkway
Fort Worth, TX 76106

www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
 TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES



db constructors, inc.

2400 Great Southwest Pkwy
 Fort Worth, TX 76106
 817-626-7300

**CHEWTERS CHOCOLATES
 NEW HEADQUARTERS**

OWNER :
 ROCKWALL EDC +
 2610 OBSERVATION TRAIL
 ROCKWALL, TX
 972.772.0025

CHEWTERS CHOCOLATE
 1648 DERWENT WAY
 DELTA, BC
 604.515.7117

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

CHEWTERS CHOCOLATE	
Case No.	
DATE:	2022.06.15
CIVIL SITE PLAN	
C-1	

CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

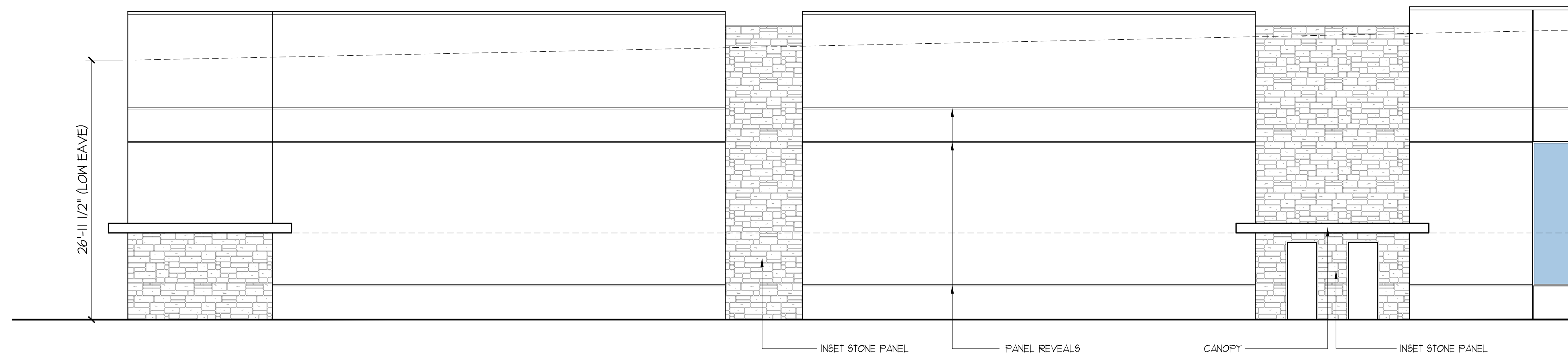
TOTAL FRONT ELEVATION AREA :	15286 SF
DOORS & GLAZING :	2631 SF
NET FRONT ELEVATION AREA :	12655 SF
STONE :	3191 SF
STONE PERCENTAGE :	25%
MASONRY PERCENTAGE :	100%

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13634 SF
DOORS & GLAZING :	458 SF
NET FRONT ELEVATION AREA :	13176 SF
STONE :	2602 SF
STONE PERCENTAGE :	20%
MASONRY PERCENTAGE :	100%

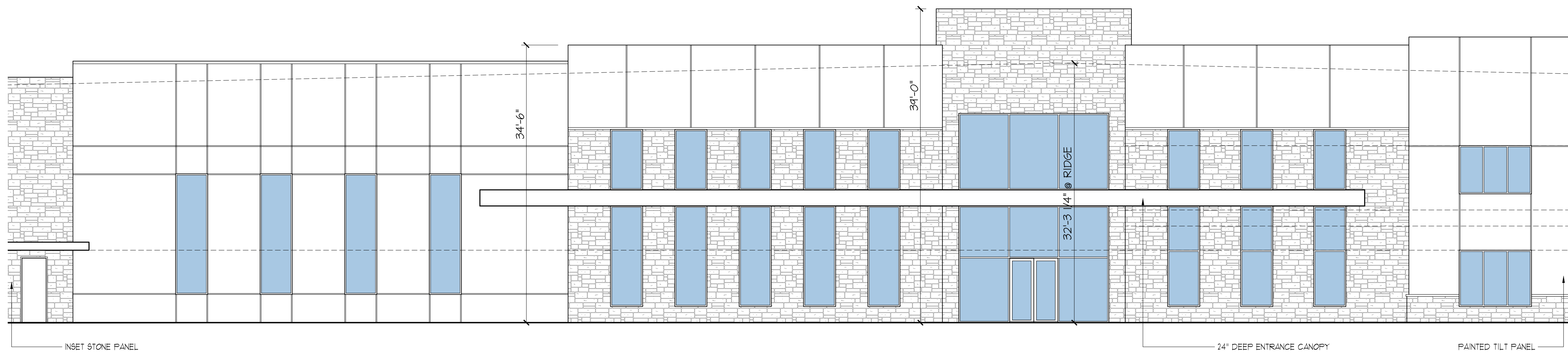
REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15048 SF
DOORS & GLAZING :	24 SF
NET FRONT ELEVATION AREA :	15024 SF
STONE :	2585 SF
STONE PERCENTAGE :	17%
MASONRY PERCENTAGE :	100%



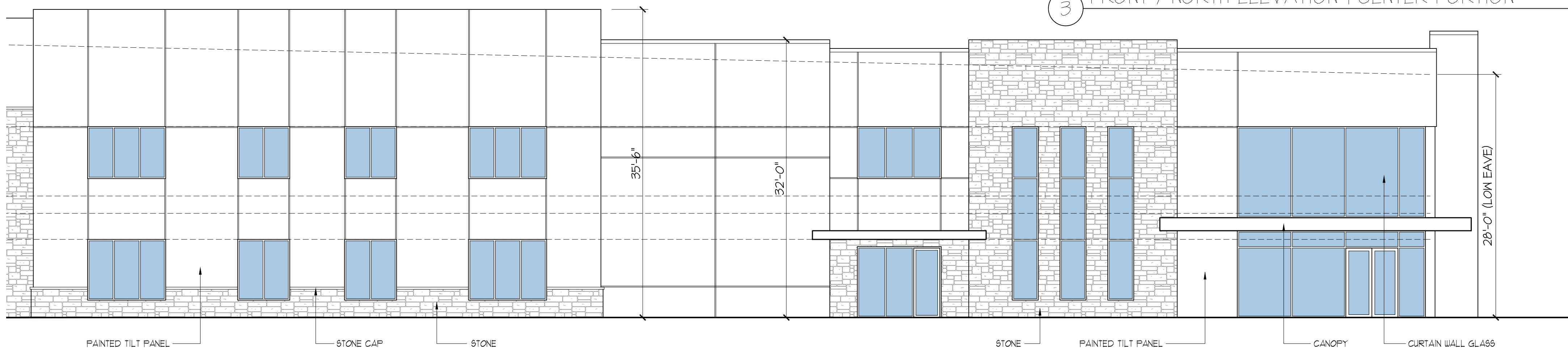
4 FRONT / NORTH ELEVATION | EAST PORTION

SCALE: 1/8" = 1'-0"



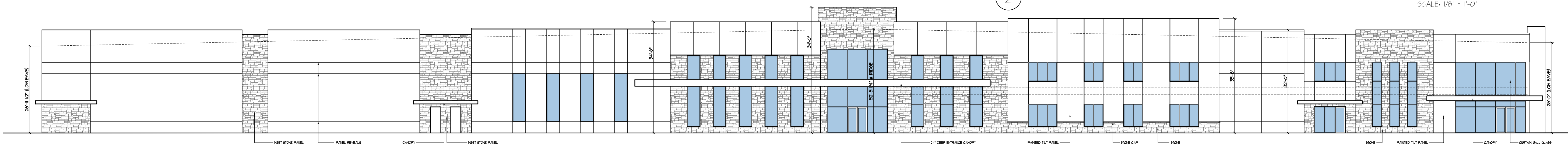
3 FRONT / NORTH ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



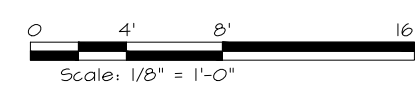
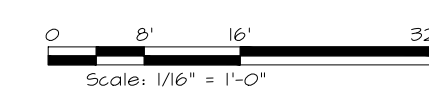
2 FRONT / NORTH ELEVATION | WEST PORTION

SCALE: 1/8" = 1'-0"



1 FRONT / NORTH ELEVATION | DISCOVERY BLVD

SCALE: 1/8" = 1'-0"



APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

db constructors, inc.
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2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

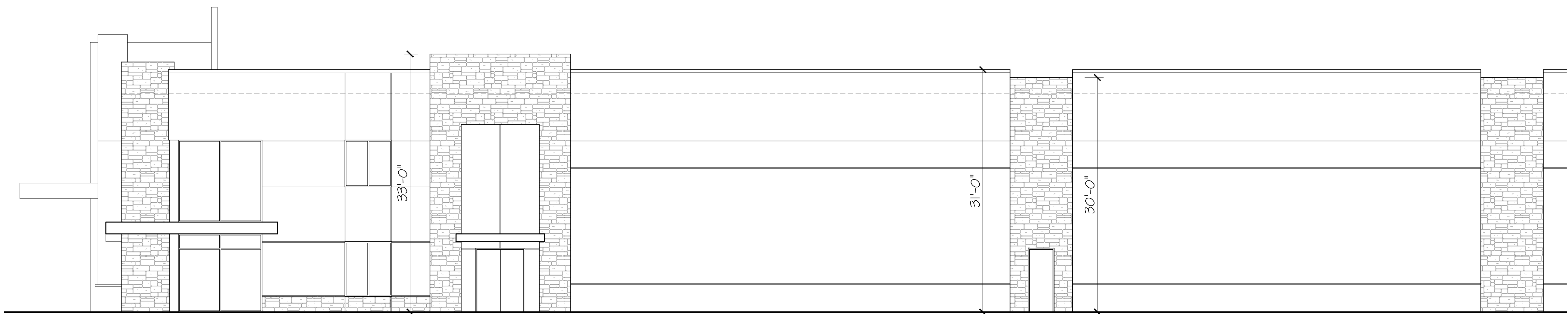
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

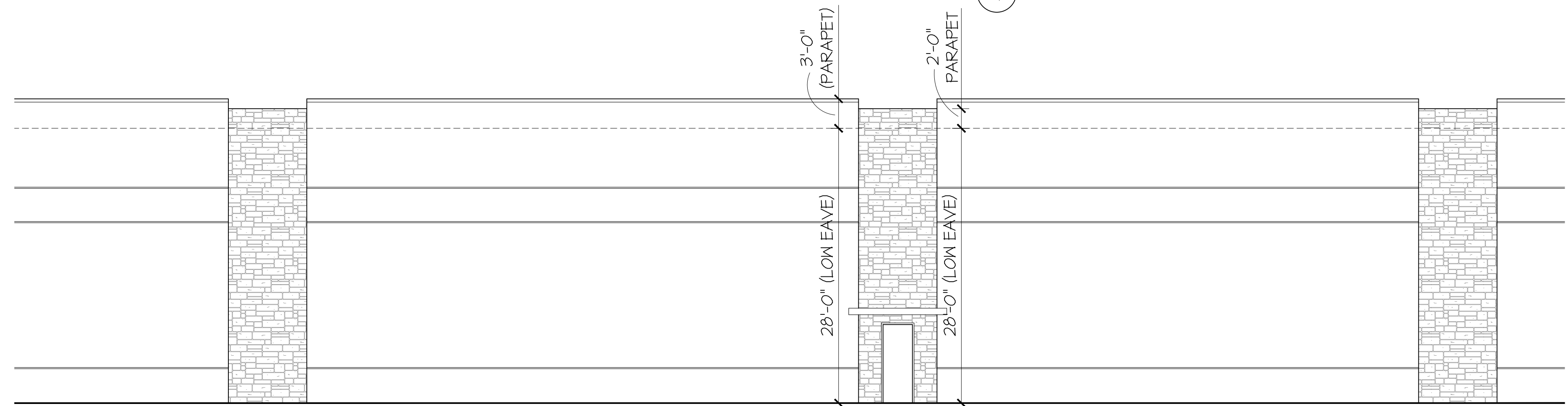
DATE: 2022.06.15

FRONT ELEV.
A-2



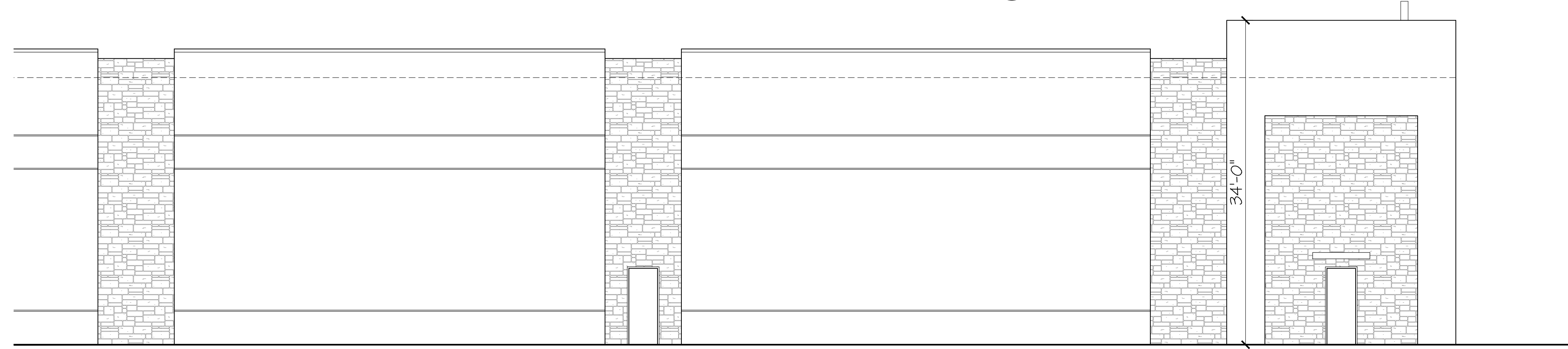
4 RIGHT / WEST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



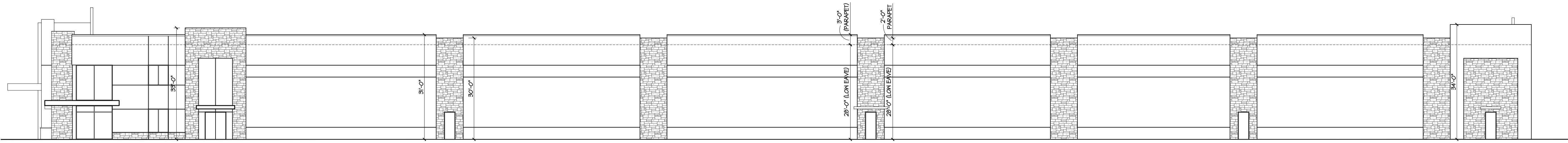
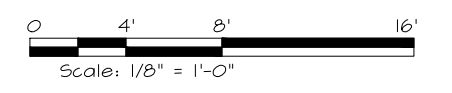
3 RIGHT / WEST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



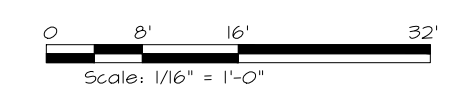
2 RIGHT / WEST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"



1 RIGHT SIDE / WEST ELEVATION | CORPORATE CROSSING

SCALE: 1/8" = 1'-0"



CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

TOTAL FRONT ELEVATION AREA :	15286	SF
DOORS & GLAZING :	2631	SF
NET FRONT ELEVATION AREA :	12655	SF
STONE :	3191	SF
STONE PERCENTAGE :	25%	
MASONRY PERCENTAGE :	100%	

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13634	SF
DOORS & GLAZING :	458	SF
NET FRONT ELEVATION AREA :	13176	SF
STONE :	2602	SF
STONE PERCENTAGE :	20%	
MASONRY PERCENTAGE :	100%	

REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15048	SF
DOORS & GLAZING :	24	SF
NET FRONT ELEVATION AREA :	15024	SF
STONE :	2585	SF
STONE PERCENTAGE :	17%	
MASONRY PERCENTAGE :	100%	

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		
-			
-			

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

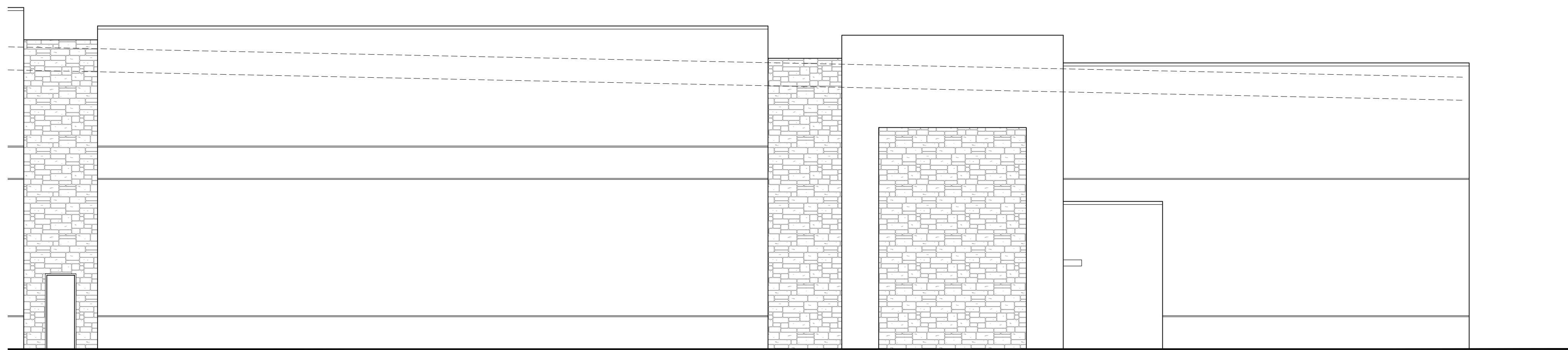

db constructors, inc.
2400 GREAT SOUTHWEST
PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

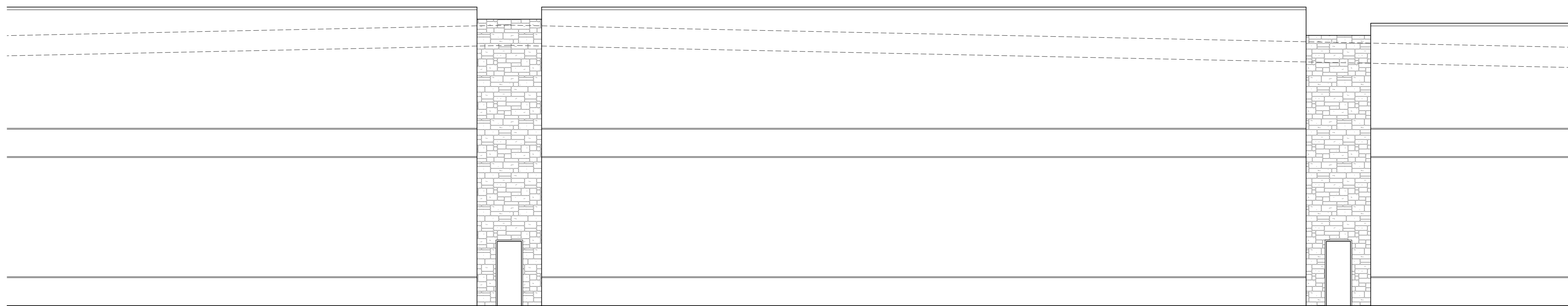
CHEWTERS CHOCOLATE
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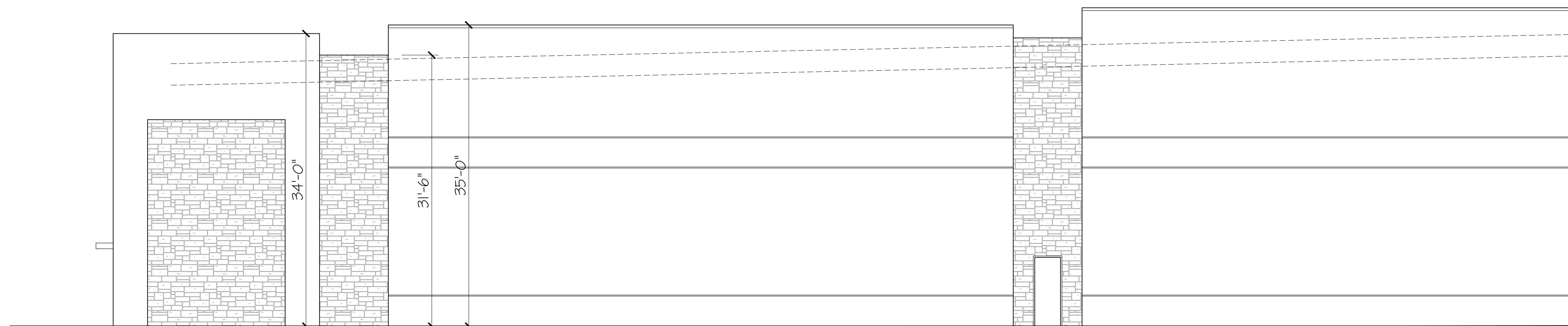
DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	_____	
DATE:	2022.06.15	
SIDE ELEV.		
A-3		



④ REAR / SOUTH ELEVATION | SPRINGER LANE - EAST PORTION
SCALE: 1/8" = 1'-0"



③ REAR / SOUTH ELEVATION | SPRINGER LANE - CENTER PORTION
SCALE: 1/8" = 1'-0"



② REAR / SOUTH ELEVATION | SPRINGER LANE - WEST PORTION
SCALE: 1/8" = 1'-0"

CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

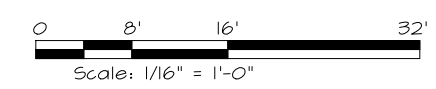
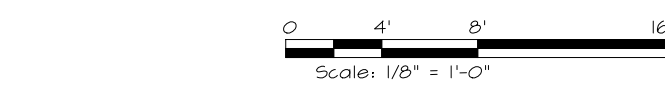
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MASONRY PERCENTAGE :	100%



① REAR / SOUTH ELEVATION | SPRINGER LANE
SCALE: 1/16" = 1'-0"

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP
-			
-			
-			

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

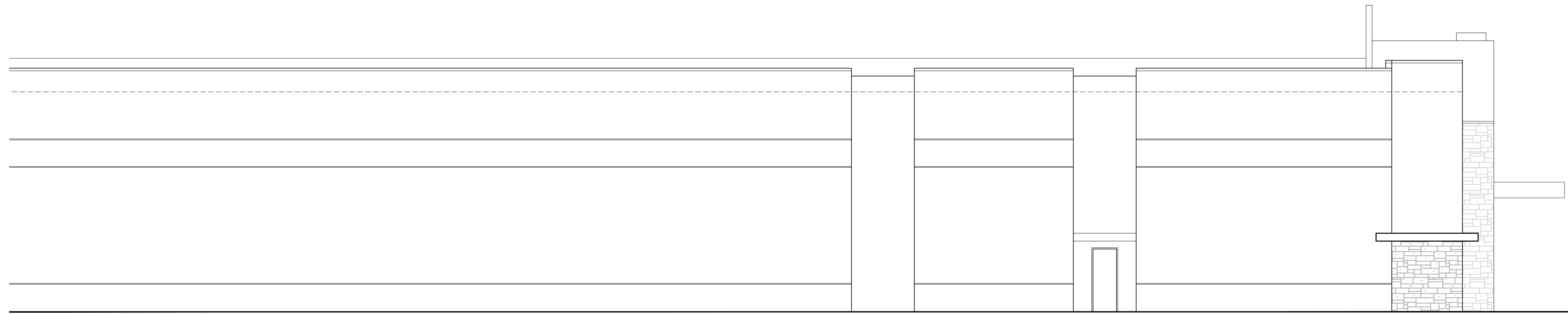

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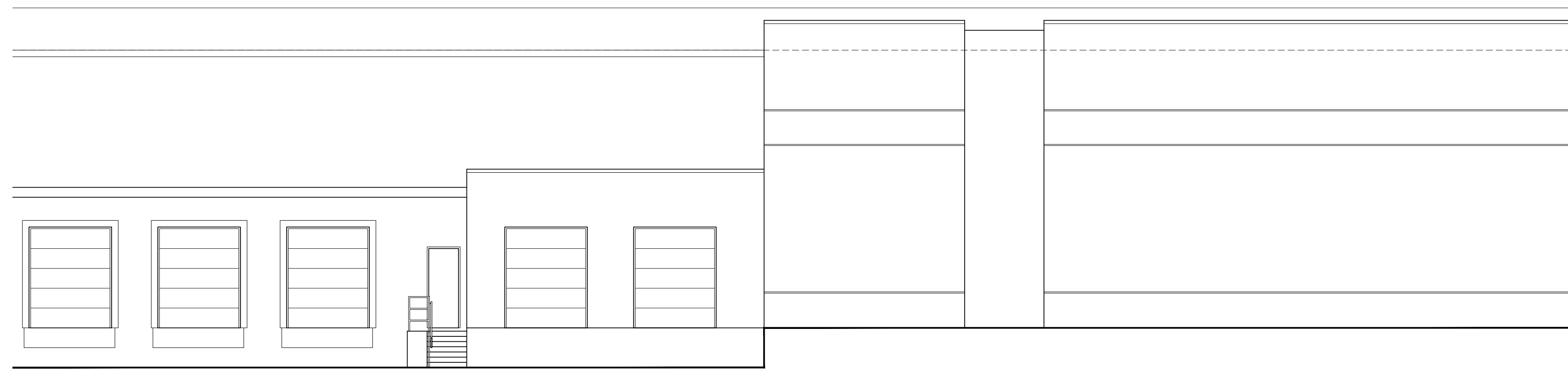
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DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLOATE		
Case No.	_____	
DATE:	2022.06.15	
REAR ELEV.		
A-4		



4 LEFT / EAST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



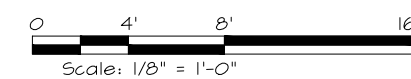
3 LEFT / EAST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"

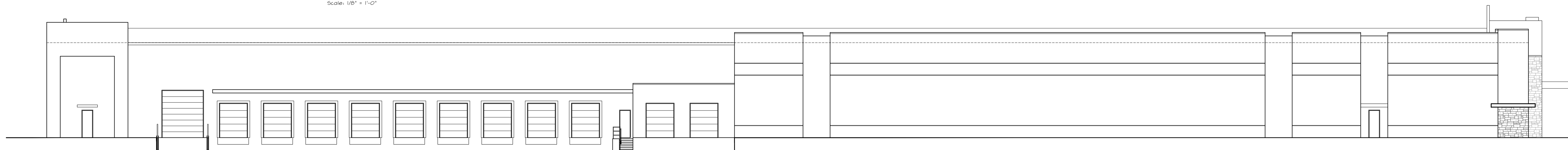


2 LEFT / EAST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"

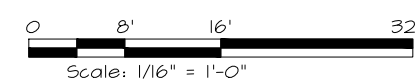


Scale: 1/8" = 1'-0"



1 LEFT SIDE / EAST ELEVATION

SCALE: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"

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 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		
-			
-			

CHEWTERS CHOCOLATE
 LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 SE CORNER OF DISC. & CORP CROSS.


 db constructors, inc.
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DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	_____	
DATE:	2022.06.15	
SIDE ELEV.		
A-5		



**CHEWTERS CHOCOLATES
ELEVATION AESTHETICS**





**CHEWTERS CHOCOLATES
DISCOVERY BLVD ELEVATION**





**CHEWTERS CHOCOLATES
CORPORATE CROSSING ELEVATION**



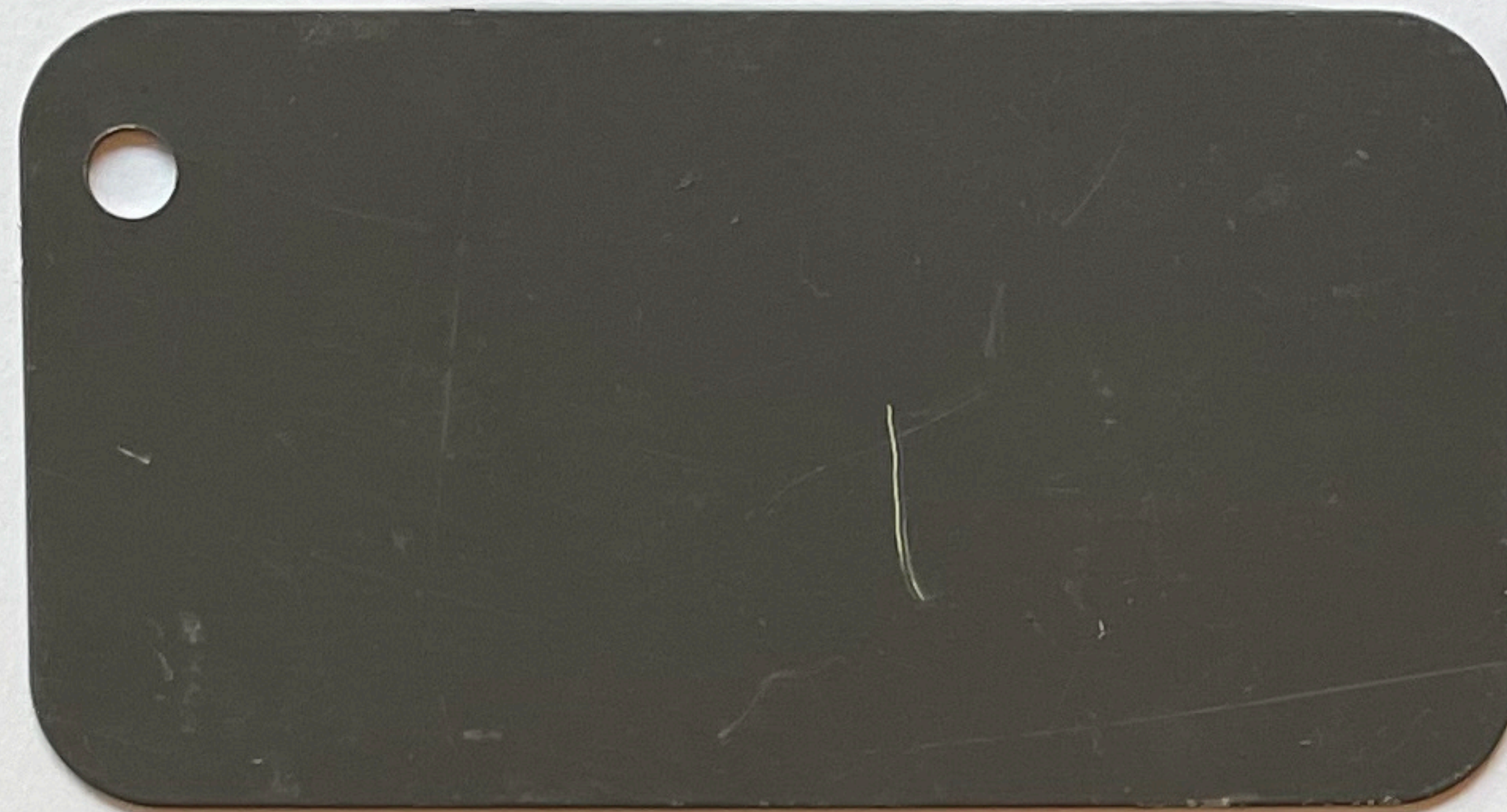


**CHEWTERS CHOCOLATES
SPRINGER ROAD ELEVATION**





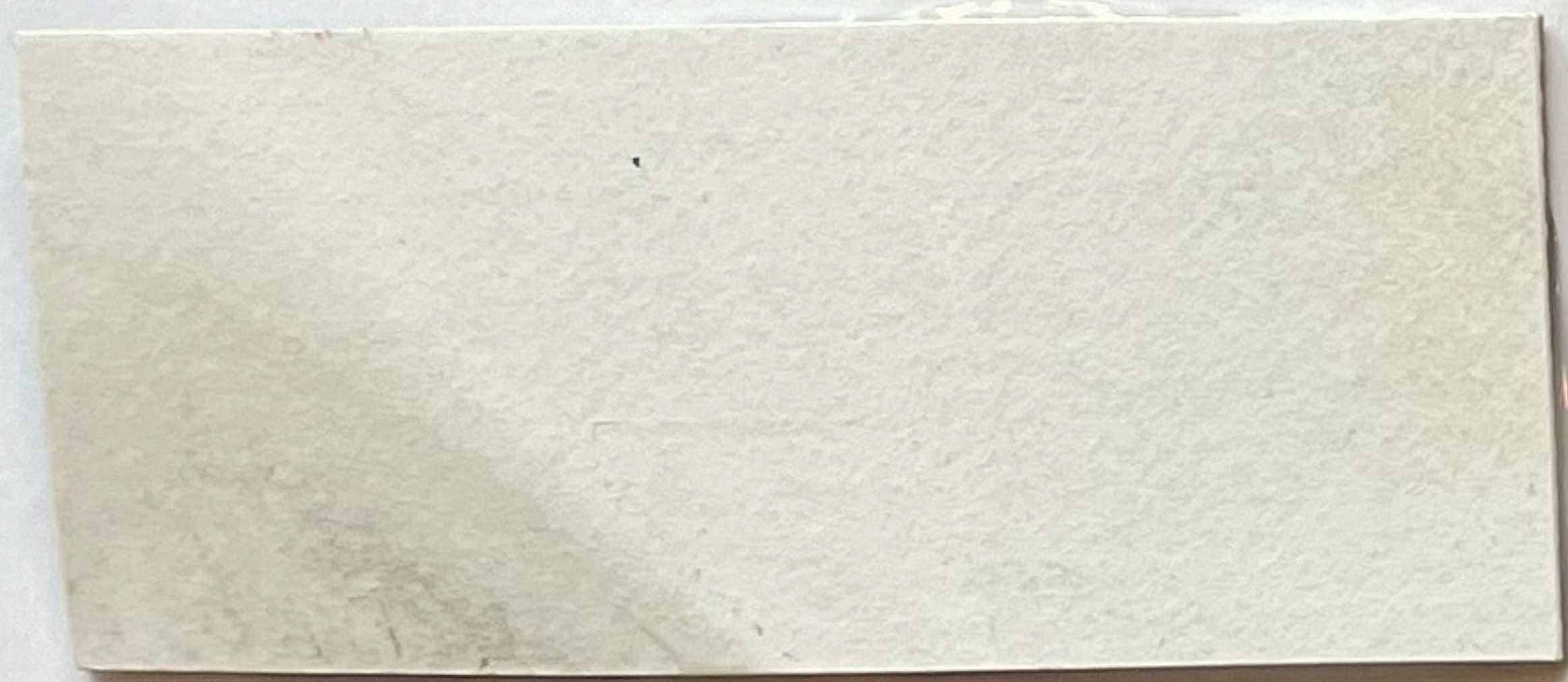
6. low e glass, neutral tint (slight gray/blue tone)



4. charcoal aluminum (awning)



5. dark bronze (window/door frames)



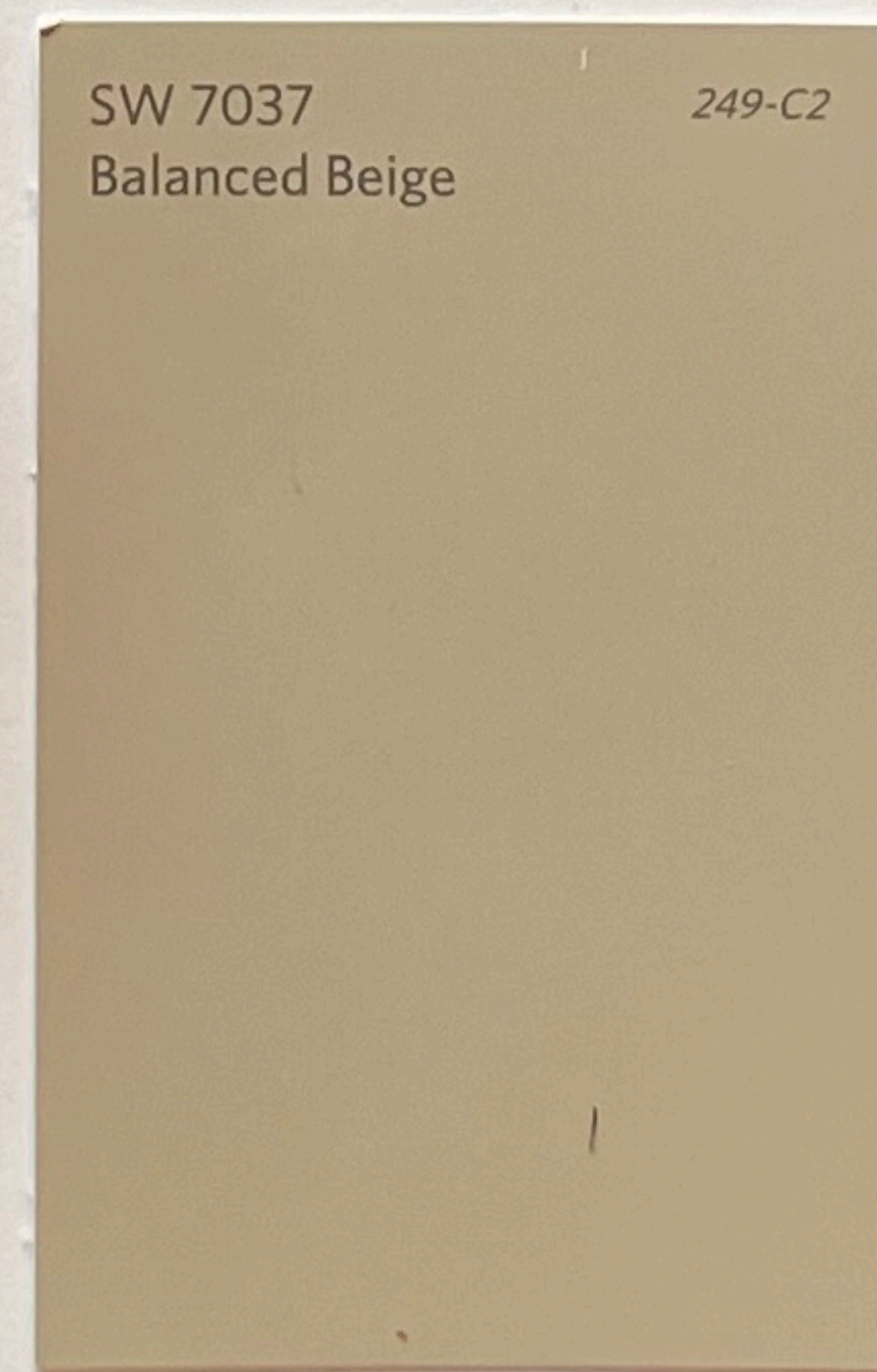
7. white tpo membrane roof (not shown in rendering)



artist rendering depicting desired color scheme



1. stone : equivalent to marble stack stone by texas stone designs, inc

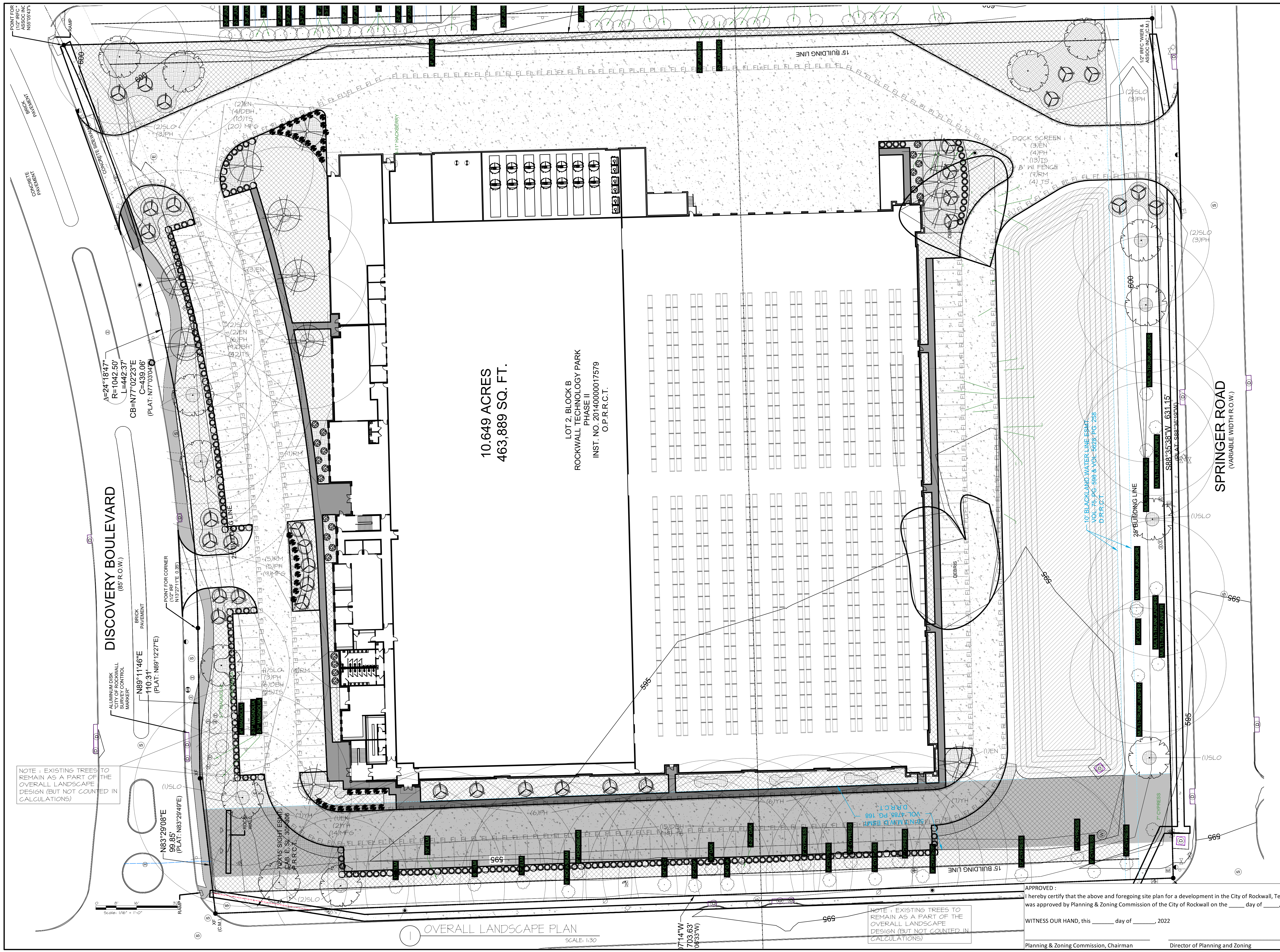


2. main body panel color : sw7037 balanced beige



3. accent panel color : sw7504 keystone gray





10.649 ACRES
463,889 SQ. FT.

LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 2014000017579
O.P.R.R.C.T.

DISCOVERY BOULEVARD
(85' R.O.W.)

SPRING ROAD
(VARIABLE WIDTH R.O.W.)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

OVERALL LANDSCAPE PLAN
SCALE: 1:30

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-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.


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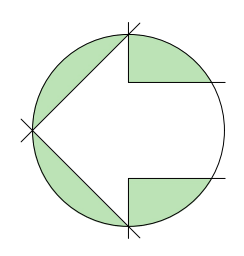
DESIGN	DRAWN	CHKD
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CHEWTERS CHOCOLATE

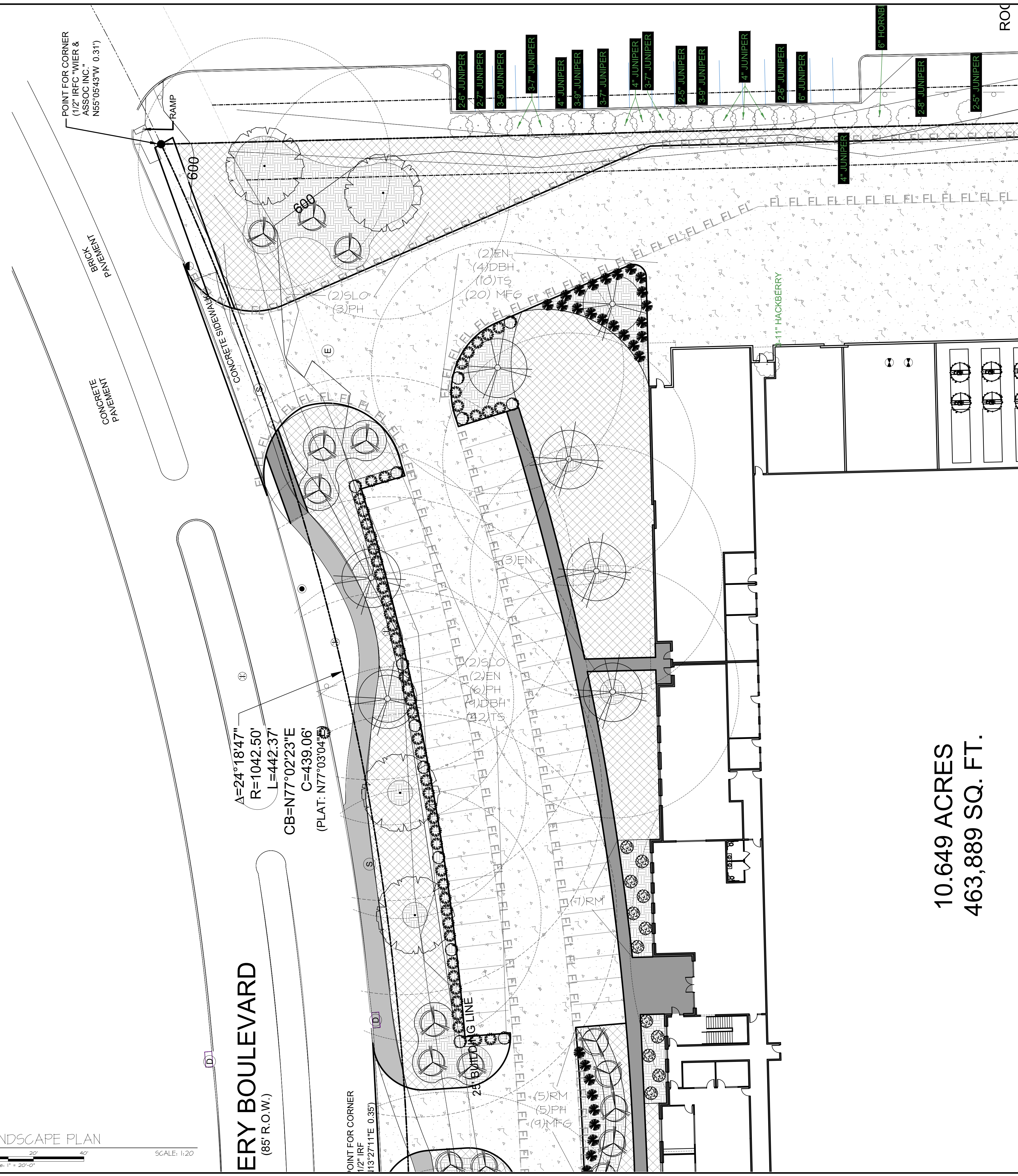
Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-1



LANDSCAPE PLAN
SCALE: 1:20
Scale: 1" = 20'-0"



10.649 ACRES
463,889 SQ. FT.

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF 1.60 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	46,577 SF 1.069 AC
MULCHED BEDS :	22,485 SF 0.516 AC
DETENTION POND :	33,108 SF 0.760 AC

LANDSCAPE PROVIDED (W/POND) :	102,170 SF* 2.346 AC
LANDSCAPE PROVIDED (W/O POND) :	69,062 SF* 1.585 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	14	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT.; 4" SPREAD; 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	EVES NEGLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM 9' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ulmagnolia Speciosa	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nano'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	25	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GALL.	± 3'-5'

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-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

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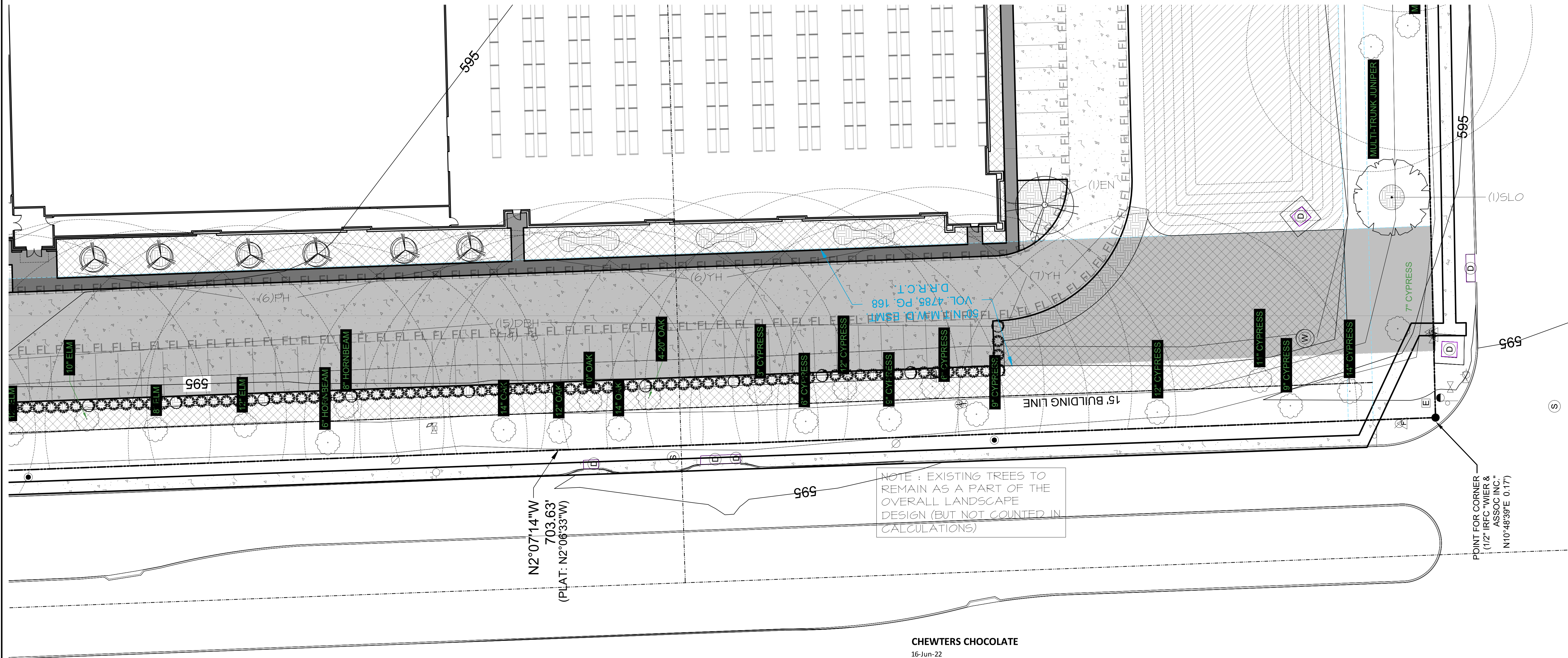
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-2



CORPORATE CROSSING
(110' R.O.W.)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

N2°07'14"W
703.63'
(PLAT: N2°06'33"W)

POINT FOR CORNER
(1/2" IRFC WIER &
ASSOC INC."
N10°48'39"E 0.17')

CHEWTERS CHOCOLATE

16-Jun-22

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TOTAL SITE AREA :	463,889 SF	10.65 AC
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	11	EVE'S NECKLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM, 9" HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ilex opaca	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
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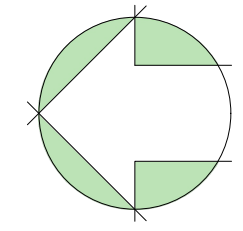
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

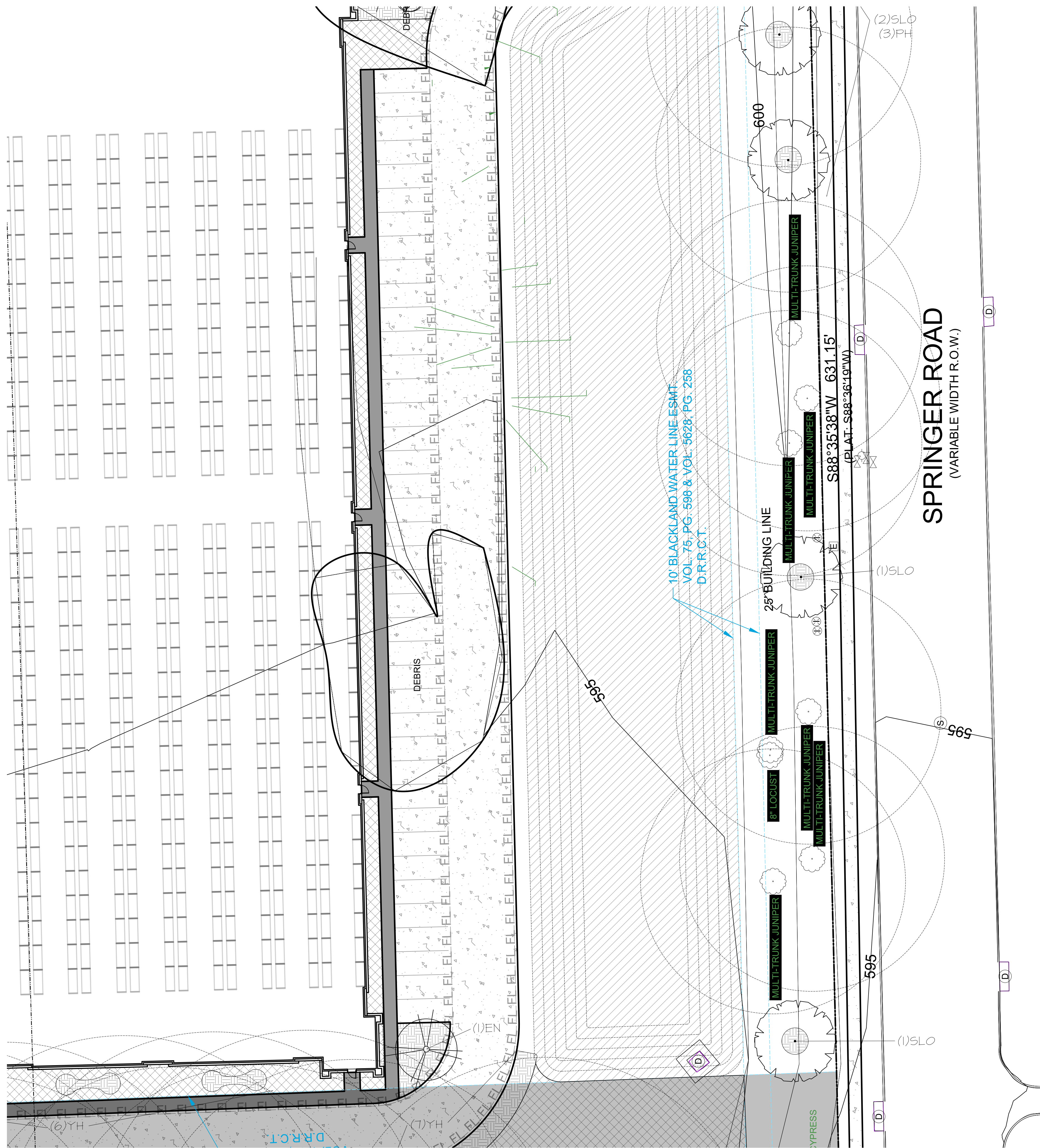
Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-4



LANDSCAPE PLAN
SCALE: 1:20
0 20' 40'



LANDSCAPE PLAN
SCALE: 1:20

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF 1.60 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	46,577 SF 1.069 AC
MULCHED BEDS :	22,485 SF 0.516 AC
DETENTION POND :	33,108 SF 0.760 AC

LANDSCAPE PROVIDED (W/POND) :	102,170 SF*	2.346 AC
LANDSCAPE PROVIDED (W/O POND) :	69,062 SF*	1.585 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION):

298 SPACES

PARKING PROVIDED :

OFFICE :		26 SPACES
RETAIL :		12 SPACES
WAREHOUSE :		20 SPACES
MANUFACTURING :		108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	14	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT.; 4" SPREAD; 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	EVES NEGLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM, 9' HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ilignadia Speciosa	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nano'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GALL.	± 3'-5'

APPROVED :

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.



db constructors, inc.

2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :

ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :

DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

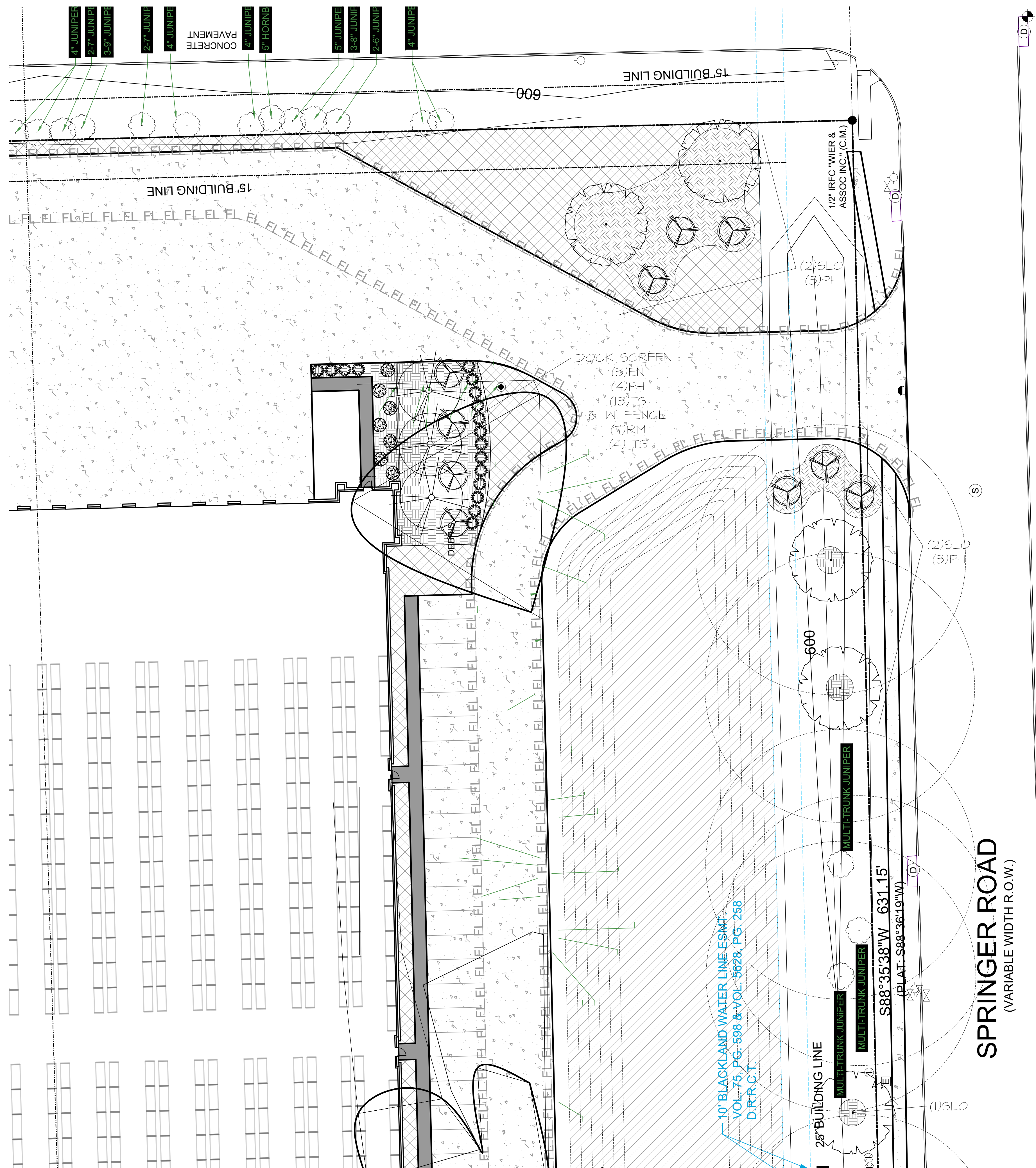
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-5



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
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TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

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WAREHOUSE :	20 SPACES
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166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

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APPROVED :

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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.



db constructors, inc.

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CHEWTERS CHOCOLATE
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APPLICANT :

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DESIGN	DRAWN	CHKD
MP	MP	MP

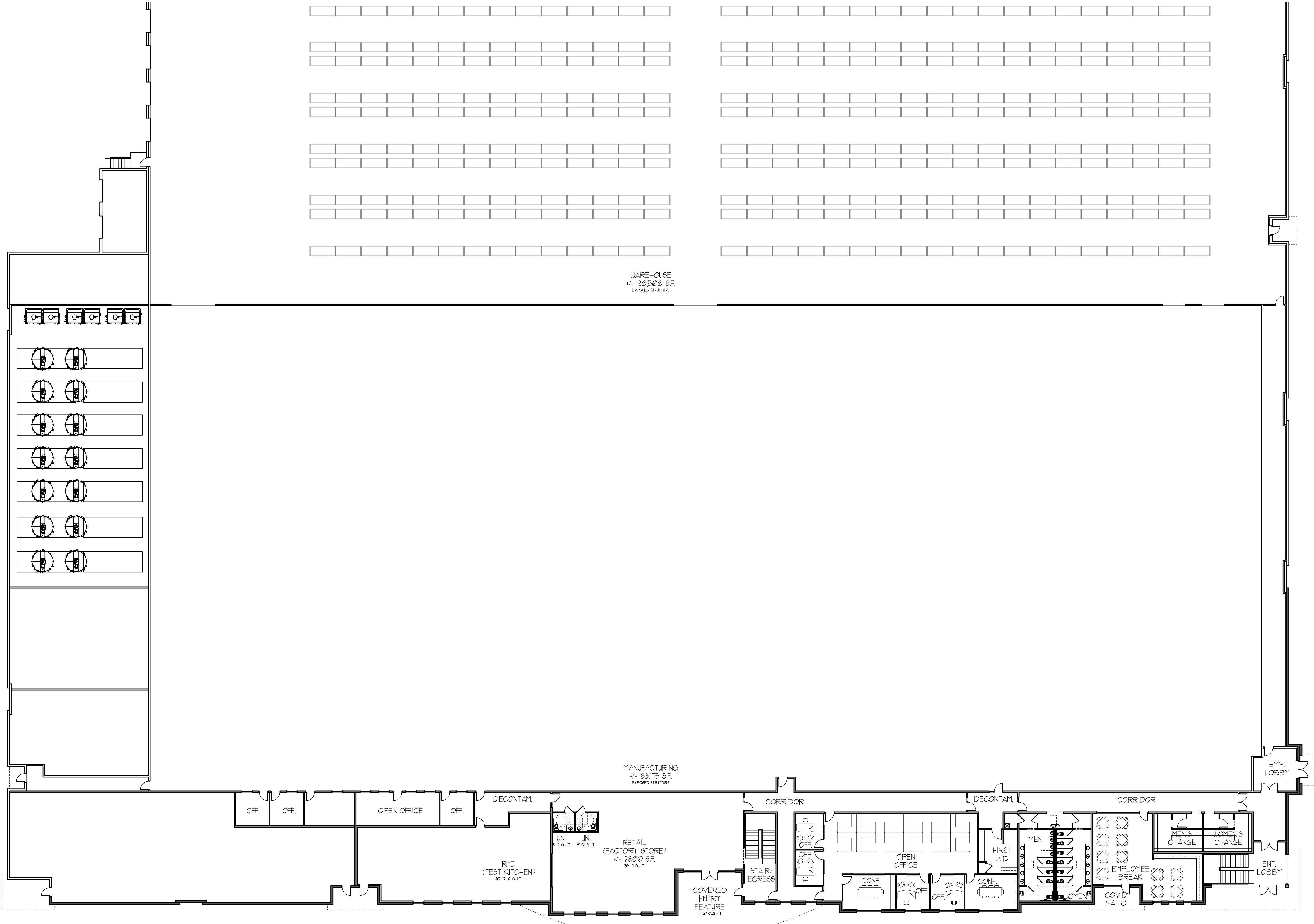
CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-6



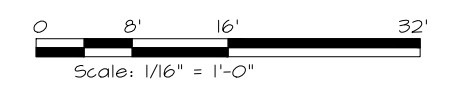


WAREHOUSE
+/- 90,500 SF.
EXPOSED STRUCTURE

MANUFACTURING
+/- 83,175 SF.
EXPOSED STRUCTURE

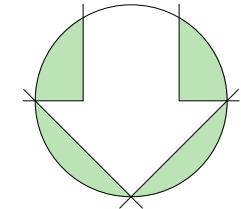
RETAIL
(FACTORY STORE)
+/- 2,800 SF.
10' CLG. HT.

R&D
(TEST KITCHEN)
10' CLG. HT.



1 BUILDING PLAN OVERALL

SCALE: 1/16" = 1'-0"



APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06-17-2021		

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.


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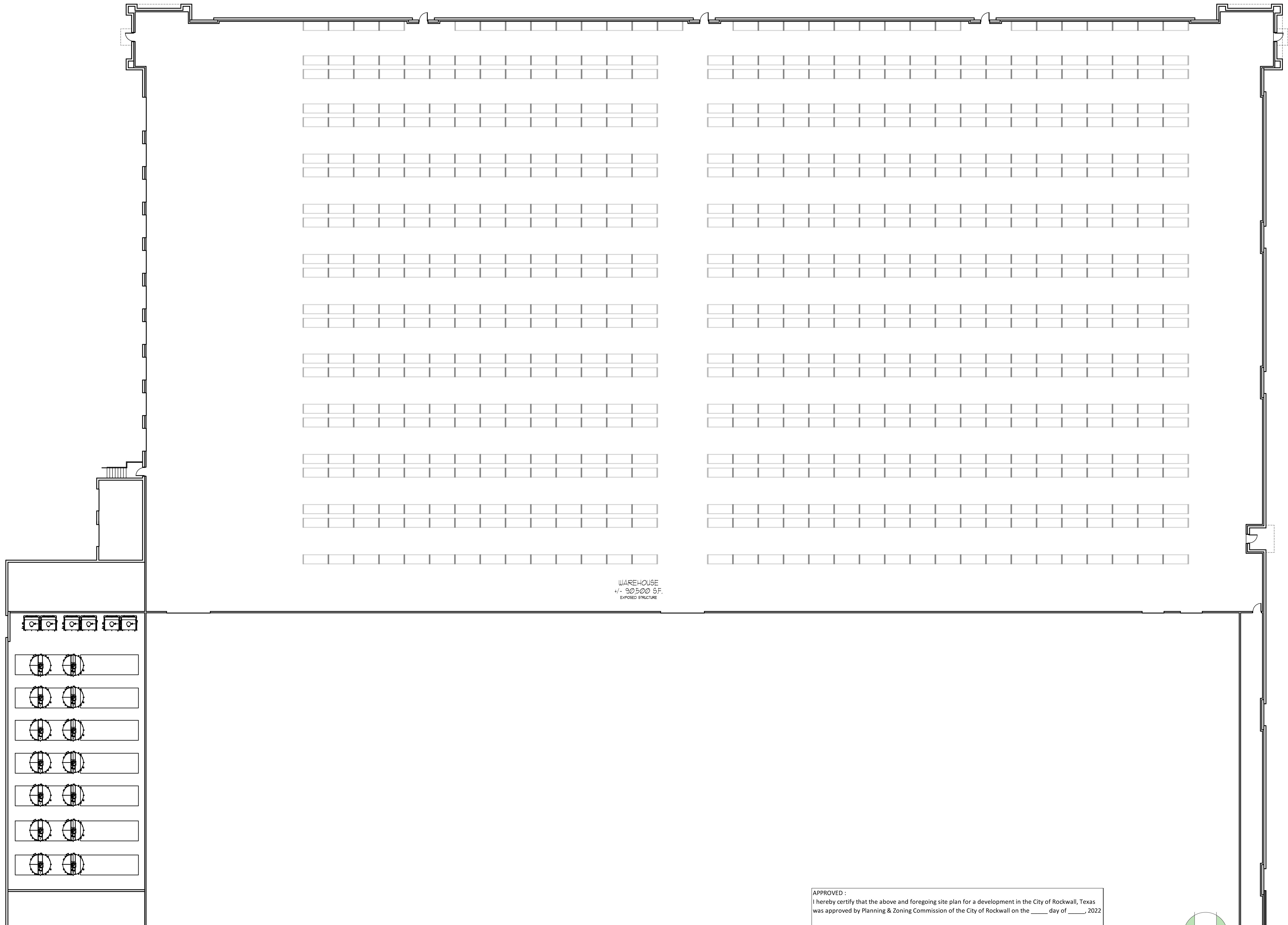
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

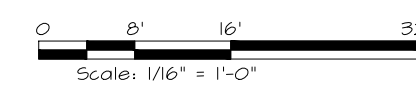
Case No. _____

DATE: 2022.06.15

BLDG. PLAN
A-1A



WAREHOUSE
 +/- 30500 SF.
 EXPOSED STRUCTURE



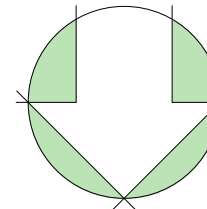
1 BUILDING PLAN OVERALL - MATCH FROM PREVIOUS
 SCALE: 1/16" = 1'-0"

APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



PLAN STATUS		
REV.	DATE	CHANGE BY
-	06-17-2021	SITE PLAN SUBMITTAL MP
-	-	-
-	-	-
-	-	-

CHEWTERS CHOCOLATE
 LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 SE CORNER OF DISC. & CORP CROSS.

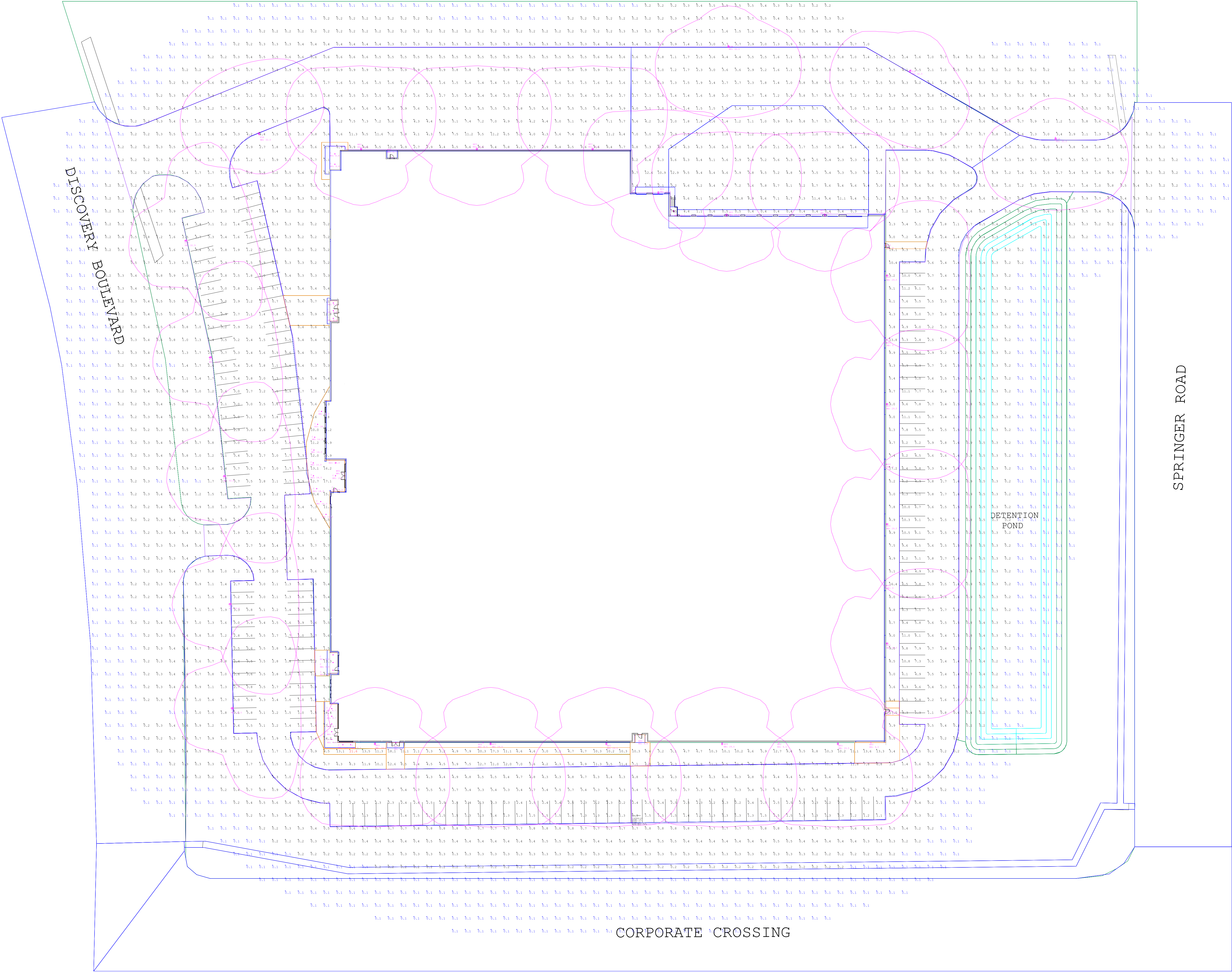

 db constructors, inc.
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APPLICANT :
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DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLOATE		
Case No.	_____	
DATE:	2022.06.15	
BLDG. PLAN		
A-1B		



Downlighting
LIGHTOLIER by @ignify
LyteProfile
P6R 6" Round Downlight & Wall Wash

Project: CHEWERS CHOCOLATE
Location: ROCKWALL, TEXAS
Contractor: MBI/PBL/DJ/BAW/CDP/2180
Sheet: C
City:
Notes:

LyteProfile downlights and wall washers provide a perfect balance of functionality with glare control. The robust and versatile UniFrame frame-in-kit makes changes and updates easy to manage and install. Ideal for use in a variety of applications including open office, institutional, healthcare, and retail.

Standard luminaire = Frame + Engine/Trim + Accessories (optional)
Buy American Act of 1933 (BAA)** Compliant luminaire* = Frame-BAC + Engine/Trim-BAC
* BAA compliance requires that BAC option be selected for each of frame and engine/trim.
** Frame and engine/trim will be delivered/boxed together (see 48H-BAC-0101/201802200000-BAC)
Accessories (optional) are not currently BAA-compliant.

ALS
ALV SERIES AREA LIGHT

Client: CHEWERS CHOCOLATE
Project: P1A
Type: P1A
Quantity:

CONSTRUCTION
The sleek design single-piece die-cast AD12 aluminum housing has integral heat sink fins maximizing thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Ultra-low EPR (0.652) R².

OPTICS (ROTATABLE)
UV-resistant acrylic optics, available in Type II, III, IV, V distributions. Silicone gasket ensures a weather-proof seal around each individual optic. Optics rotatable (90° increment) and interchangeable. Full cutoff (UC) when mounted with non-adjustable pole mount (PM) or 0 degree tilt with adjustable Splitter (SF), meets Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
80+ CRI Samsung LED.
-40°C up to 50°C (-40°F up to 122°F) maximum operating temperature.
Long-life greater than 100,000 hr at L80.
Standard driver operates at 120-277V input, 0-10V dimmable driver, down to 10%.
50/60Hz, <20% THD, 0.9 power factor. Standard 4kV surge protection.
Optional 10kV surge protection.
Optional 347480V input.

ALS
ALV SERIES AREA LIGHT

Client: CHEWERS CHOCOLATE
Project: P1B
Type: P1B
Quantity:

CONSTRUCTION
The sleek design single-piece die-cast AD12 aluminum housing has integral heat sink fins maximizing thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Ultra-low EPR (0.652) R².

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Long-life greater than 100,000 hr at L80.
Standard driver operates at 120-277V input, 0-10V dimmable driver, down to 10%.
50/60Hz, <20% THD, 0.9 power factor. Standard 4kV surge protection.
Optional 10kV surge protection.
Optional 347480V input.

ALS
WFA SERIES FULL CUTOFF SELECTABLE WALL PACK

Client: CHEWERS CHOCOLATE
Project: WP2
Type: WP2
Quantity:

CONSTRUCTION
Sleek and modern design, die-cast aluminum housing, rugged design protects internal components and provides excellent thermal management. Hidden door assembly hinges on the side, cast aluminum housing with 1/2" conduit entries (on top and side) for surface mount.

OPTICS
Full cutoff distribution conform to dark sky requirement - individual acrylic LED optics provide IES Type IV distribution.
Light engines are selectable between 3000K, 4000K, and 5000K (80+ CRI) configurations.

ALS
ALV SERIES AREA LIGHT

Client: CHEWERS CHOCOLATE
Project: WP3
Type: WP3
Quantity:

CONSTRUCTION
The sleek design single-piece die-cast AD12 aluminum housing has integral heat sink fins maximizing thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Ultra-low EPR (0.652) R².

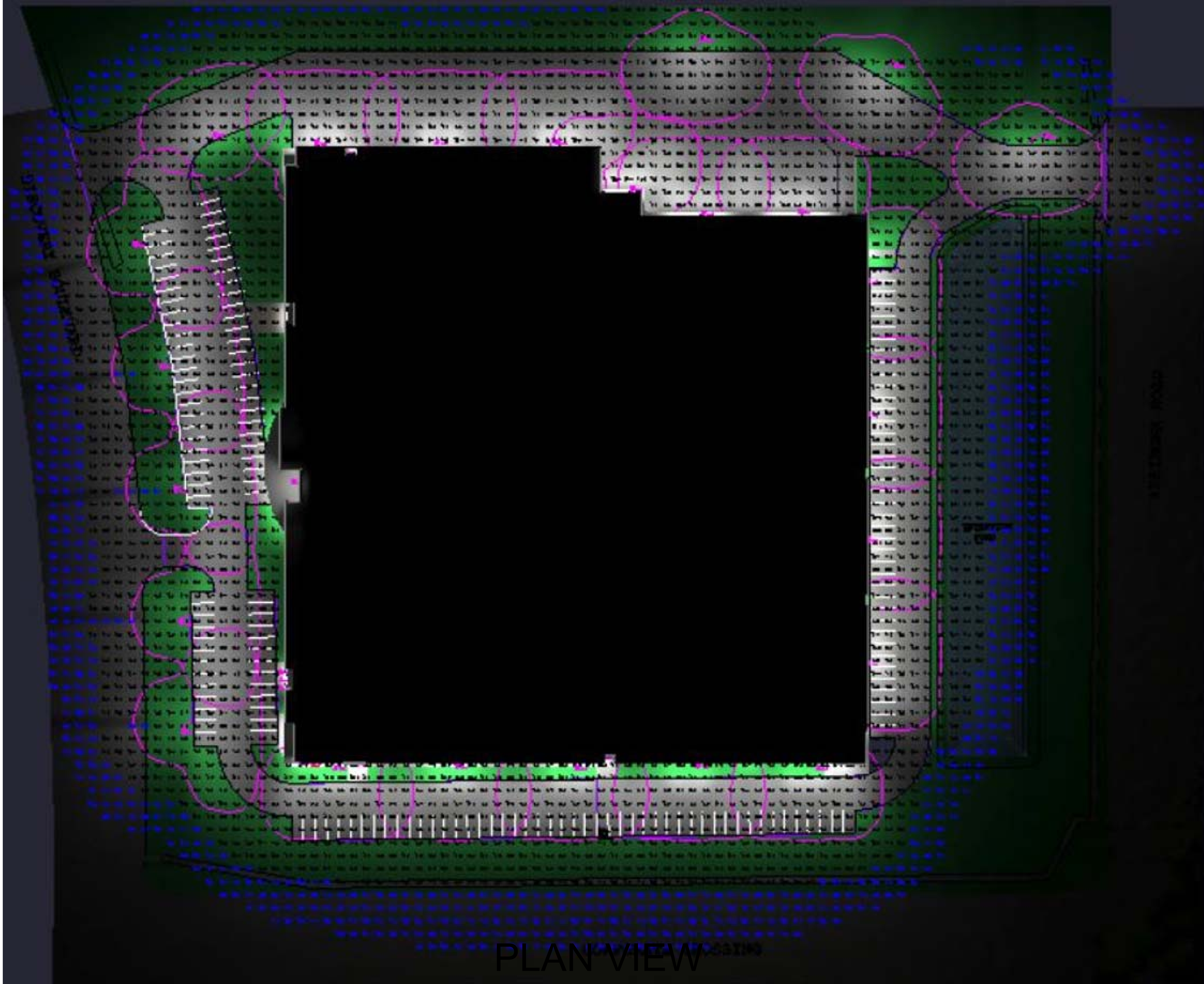
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50/60Hz, <20% THD, 0.9 power factor. Standard 4kV surge protection.
Optional 10kV surge protection.
Optional 347480V input.

Symbol	Qty	Label	Description	LLF	Lumens	Total Watts
○	28	C	LIGHTOLIER # 6RN / P6R-DL-20-840-CD-P-210-U	0.95	2,000	(21) 588
□	4	P1A	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-17,235-40-T3-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS30-B-5-4-D190-BM	0.95	17,235	(150) 600
□	5	P1B	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-18,220-40-T4-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS30-B-5-4-D190-BM	0.95	18,220	(150) 750
□	12	WP2	ADVANTAGE LIGHTING SOLUTIONS # WFA-3/23-3,634-SC/4000K-DB-UD	0.95	3,634	(23) 305
□	15	WP3	ADVANTAGE LIGHTING SOLUTIONS # ALV-200-30,000-40-T4-DB-UNVD-MOUNT ALV-WM	0.95	30,000	(200) 3000

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	illuminance	Fc	1.69	21.6	0.1	16.90	216.00
PAVED SURFACE	illuminance	Fc	2.80	12.9	0.1	28.00	129.00

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.

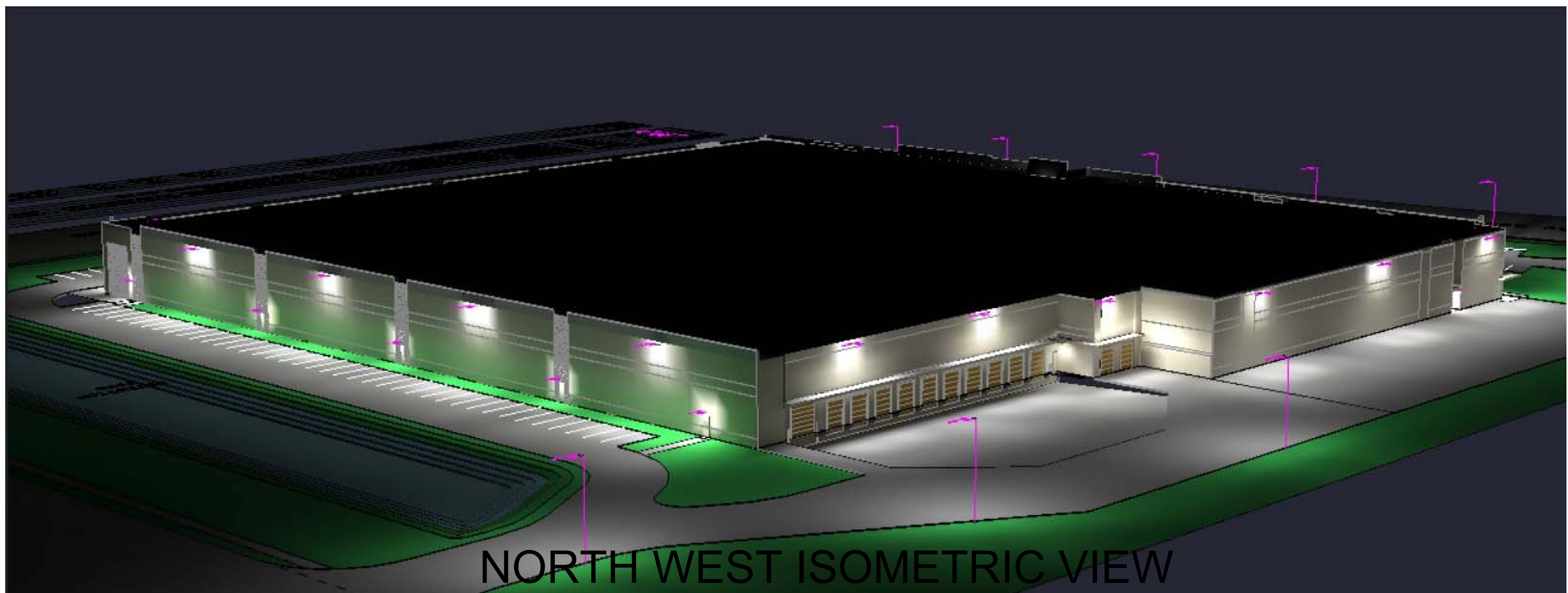


CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS
EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.



SOUTH EAST ISOMETRIC VIEW

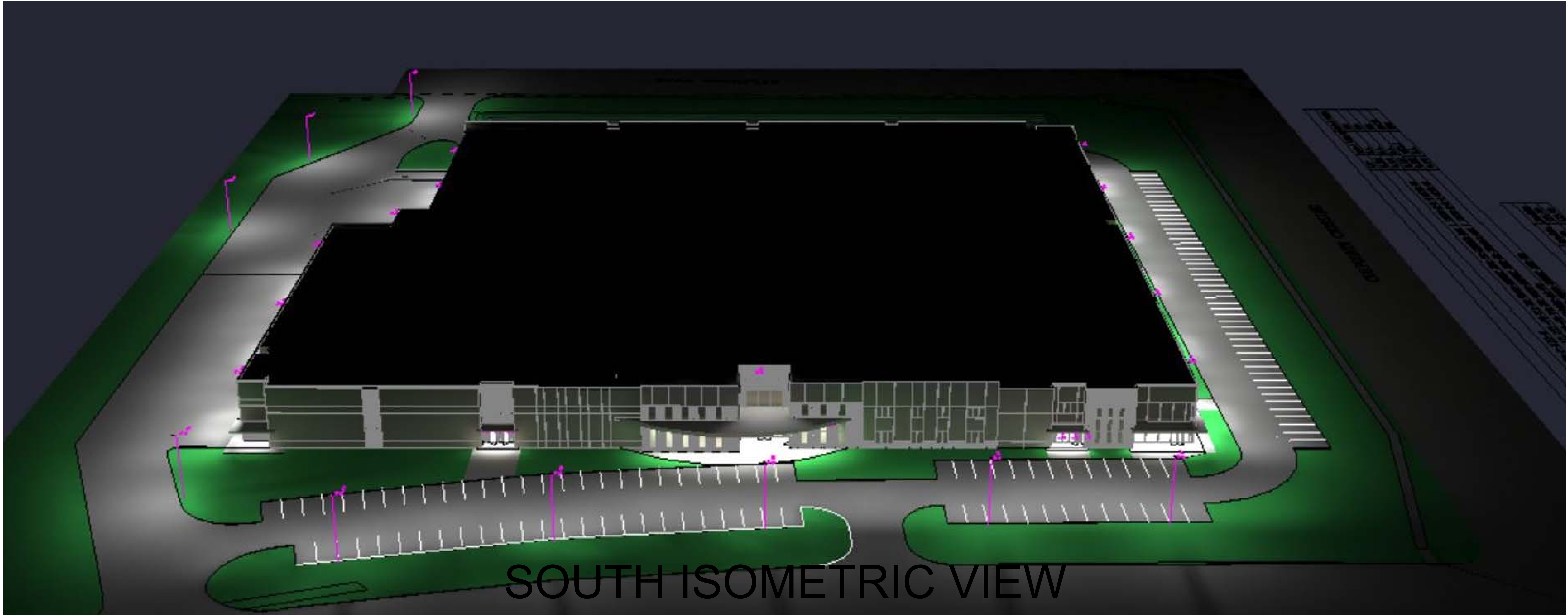


NORTH WEST ISOMETRIC VIEW

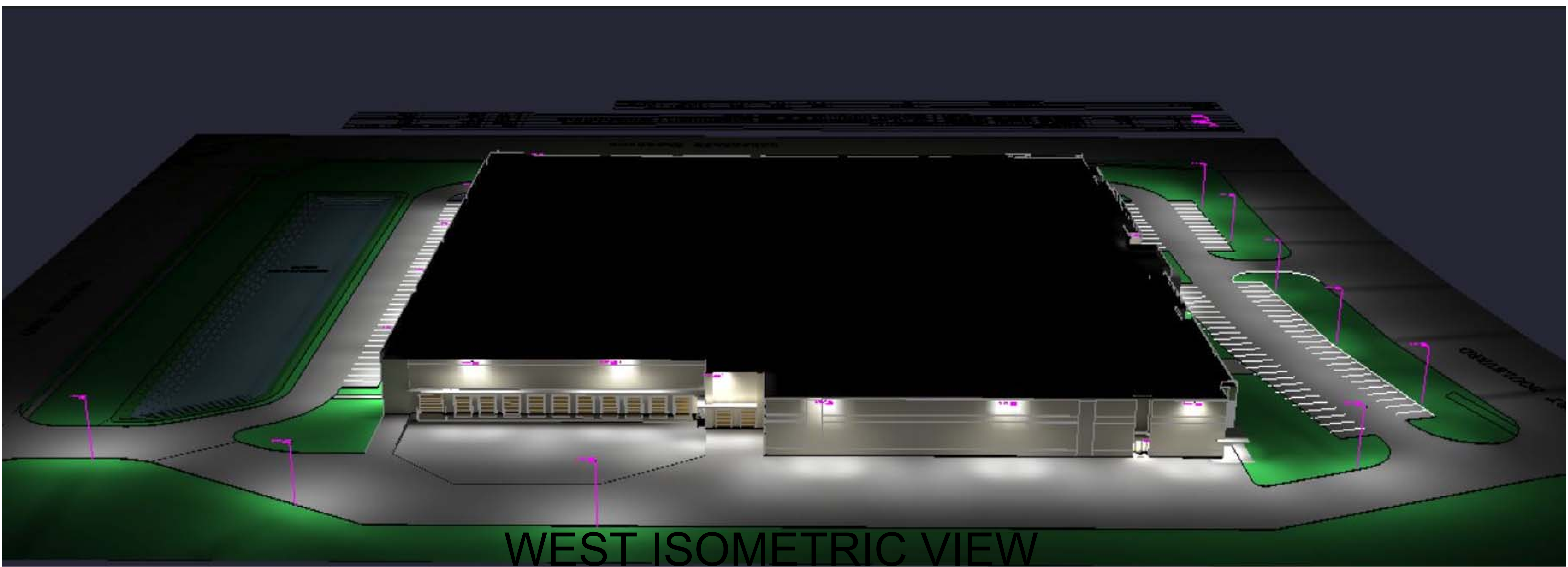
CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS

EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.



SOUTH ISOMETRIC VIEW



WEST ISOMETRIC VIEW

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/23/2022

PROJECT NUMBER: SP2022-034
PROJECT NAME: Site Plan for Chewters
SITE ADDRESS/LOCATIONS: 2911 DISCOVERY BLVD

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Matthew Peterson, AIA of DB Constructors on behalf of Matt Waivering of the Rockwall Economic Development Corporation John Gardner of Kirkman Engineering for the approval of a Site Plan for a Manufacturing Facility and General Retail Store on a 10.649-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located at the southeast corner of Corporate Crossing and Discovery Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	06/23/2022	Approved w/ Comments

06/23/2022: SP2022-034; Site Plan for Chewters

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Matthew Peterson, AIA of DB Constructors on behalf of Matt Waivering of the Rockwall Economic Development Corporation John Gardner of Kirkman Engineering for the approval of a Site Plan for a Manufacturing Facility and General Retail Store on a 10.649-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, generally located at the southeast corner of Corporate Crossing and Discovery Boulevard, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. July 6, 2022 is the deadline to have all comments; please provide staff revised plans before July 6, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-034) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.4 Please add the standard signature block to all pages of all revised plan submittals. Currently the site plan and photometric plan do not have a signature block. (Subsection 03.04.A, of Article 11, UDC)

M.5 Include a numeric and graphic scale on all pages of the submittal (Subsection 03.04.A, of Article 11)

M.6 Include a vicinity map that locates the site relative to the nearest major roadways in a one-half mile radius. (03.04.A, of Article 11)

M.5 Site Plan:

(1) Indicate the building setbacks adjacent to Discovery Boulevard. (Subsection 03.04.B, of Article 11)

(2) Indicate the street centerline for all existing streets. (Subsection 03.04.B, of Article 11)

(3) Indicate the dimension of a typical parking space. (Subsection 05.03, of Article 06)

(4) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening. (Subsection 01.05. C, of Article 05)

(5) Dumpster enclosure must be screened, self-latching, and faced with primary building materials. Please provide an exhibit of the dumpster enclosure. (Subsection 01.05.B, of Article 05)

M.6 Landscape Plan:

- (1) Ensure all trees are planted far enough away from utility lines; confirm that the Engineering Standards are being met. (Subsection 05.03. E, of Article 08)
- (2) Provide note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08)
- (3) Eve's Necklace is considered an accent tree. Provide a different plant to serve as a canopy tree within the landscape buffer. (Table 1, Appendix C, of the UDC)
- (4) Include a berm along Discovery Boulevard, Springer Road, and Corporate Crossing. (Subsection 05.01. B, of Article 08)
- (5) Provide note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08)
- (6) Provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. Please provide square footage for the detention area. (Subsection 05.03.D, Article 08)
- (7) Verify that all parking spaces adjacent to Springer road are within 80' of a canopy tree. (Subsection 05.03.E, of Article 08)
- (8) Indicate all grass types within the landscape table. (Subsection 05.03.B, of Article 08)
- (9) Provide updated headlight screening exhibit with berm. (Subsection 05.02, of Article 08)
- (10) Indicate all required landscape buffers that are required. A 50' landscape buffer is required on Corporate Crossing, 10' landscape buffer along Springer Road and Discovery Boulevard. (Subsection 06.02D, of Article 05 and Subsection 05.01, of Article 08)
- (11) All landscape buffers adjacent to Spring Road and Discovery Boulevard shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer. Please review tree classifications in Appendix C of the Unified Development Code (UDC) and label with the correct classification in the landscape table.
- (12) The landscape buffer adjacent to the Primary Roadway (i.e. Corporate Crossing/FM 549). shall incorporate berms and shrubbery shall each have a minimum height of 30 -inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway (i.e. Corporate Crossing/FM 549). In the E. SH-66 Overlay (E SH-66 OV), FM549 Overlay (FM-549 OV), and SH-205 By-Pass Overlay (SH205 BY OV) Districts the required landscape buffer shall incorporate one (1) additional cedar tree per 100-feet of linear of frontage along the Primary Roadway (i.e. Corporate Crossing/FM 549). (Subsection 06.02E.i, of Article 05)
- (13) Due to the Four (4) Sided Architecture requirements of the General Overlay District Standards, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building. (Subsection 06.02.5, Article 05)

M.8 Photometric Plan:

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
- (2) Indicate the mounting height for all proposed light fixtures. No light pole, base or combination thereof shall exceed 30 feet. (Subsection 03.03. D, of Article 07)
- (3) The maximum outdoor maintained, computed, and maintained measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site With the allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle (Subsection 03.03. C, of Article 07). The current light intensity measured at the property line exceeds this maximum light intensity.
- (4) The only photometric page required is page 1 of 4; no need to revise or return pages 2-4.

M.9 Building Elevations:

- (1) Indicate the surface area of each façade and the percentage and square footage of each material used on each façade. (Subsection 04.01 of Article 05)
- (2) Specify building materials on each façade. (Subsection 04.01, of Article 05)
- (3) Please add horizontal and vertical measurements to the building elevations.
- (4) Tilt wall is not considered masonry material. (Subsection 05.01a, of Article 05)
- (5) Indicate all roof mounted mechanical equipment and indicate how these will be screened from the view of all adjacent properties and roadways. (Subsection 01.05.C of Article 5)
- (6) Due to the Four (4) Sided Architecture requirements of the General Overlay District Standards, the proposed building shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. (Subsection 06.02.5, Article 05).

M.10 Based on the materials submitted staff has identified the following exceptions for this project:

- (1) Building Articulation on the Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the three of the building facades (i.e. East, West, and South) do not meet these standards.

(2) Primary Materials. According to Subsection 05.01A1.a of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90% masonry materials.

(3) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building.

M. 11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:

- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.
- (4) Increased architectural elements.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on July 6, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on June 28, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on July 12, 2022.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2022	Needs Review

- 06/23/2022: - These parking spaces are not within 80' of a tree. Trees will likely need to be planted in detention easement.
- Must show existing and approximate location of proposed water and sewer lines.
 - Must get written approval from NTMWD to be in their easement with grading, landscaping, and paving.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.

Roadway Paving Items:

Variance required for driveway spacing

- Parking to be 20'x9' for spaces that are nose-to-nose or adjacent to the building. All other parking must be 18'x9' minimum with 2' clear overhang (no shrubs, bushes, or trees).
- All drive isles to be 24' wide.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Public water and sewer lines must be 8" minimum.

- Sewer pro-rata \$981.56/acre
- Max sewer capacity 1000gal/acre/day
- Max water capacity 2000gal/acre/day

Drainage Items:

- Detention is required. Rational Equation C-value is per zoning type.
- Maximum slope of 4:1, no walls in detention easement.
- Dumpster area to drain to an oil/water separator and then to the storm lines.
- No grate inlets allowed. Must use the curb style or wye/drop style inlet.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	06/23/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/23/2022	Approved w/ Comments
06/23/2022: Not reviewed for fire hydrant coverage or fire department connection location.			

The fire lane shall have a minimum interior radius of 30 feet.

(Items not shown on the site plan)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/21/2022	Approved w/ Comments
06/21/2022: Assigned address will be *2911 DISCOVERY BLVD, ROCKWALL, TX 75032*			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	06/20/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/20/2022	Approved w/ Comments
06/20/2022: Tree Mitigation Plan: Please provide plan			

Landscape Plan:
Approved



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS			
SUBDIVISION	Rockwall Technology Park, Phase II	LOT	1
		BLOCK	B
GENERAL LOCATION	Southeast corner of Discovery Blvd & Corporate Crossing		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	unimproved
PROPOSED ZONING	Light Industrial with PD for factory store	PROPOSED USE	manufacturing/warehouse/office/factory store
ACREAGE	10.649	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

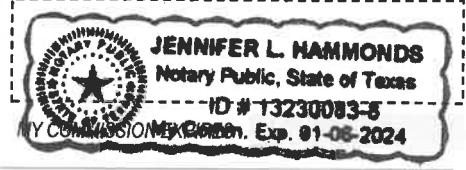
<input type="checkbox"/> OWNER	Rockwall Economic Development Corporation	<input checked="" type="checkbox"/> APPLICANT	db constructors
CONTACT PERSON	Matt Wavering	CONTACT PERSON	Matthew Peterson, AIA
ADDRESS	2610 Observation Trl, Suite 104	ADDRESS	2400 Great Southwest Parkway
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Fort Worth, TX 76106
PHONE	972-772-0025	PHONE	817-626-7300
E-MAIL	mwavering@rockwalledc.com	E-MAIL	matthew@dbconstructors.com

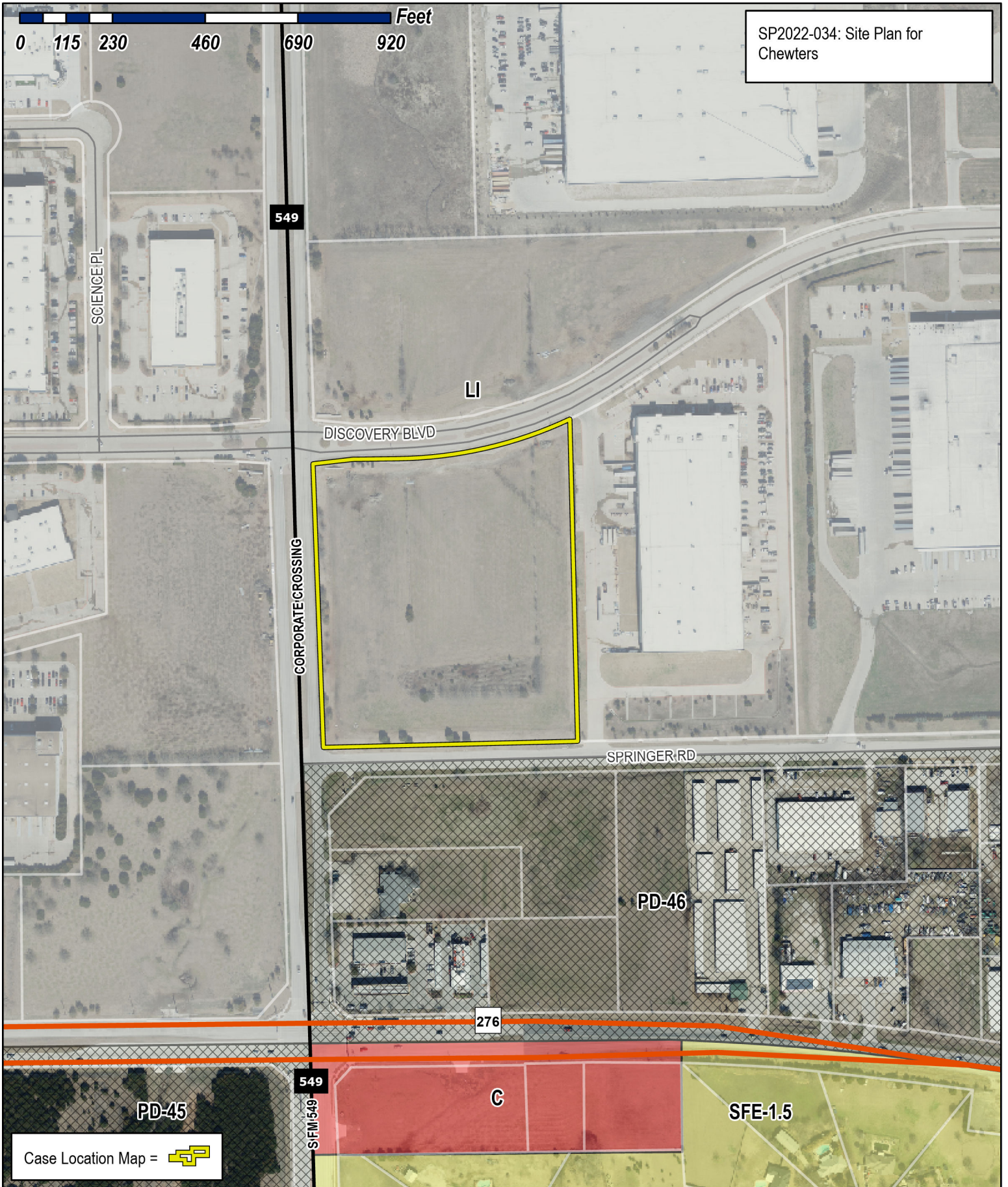
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 462.98 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF June, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2022
OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2022-034: Site Plan for Chewters

0 115 230 460 690 920 Feet

SCIENCE PL

549

LI

DISCOVERY BLVD

CORPORATE CROSSING

SPRINGER RD

PD-46

276

PD-45

549

SFM 549

C

SFE-1.5

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Bethany Ross
Planner
City of Rockwall
bross@rockwall.com
972.772.6488

RE : Site Plan Submittal : Chewters Chocolates
Discovery Boulevard
Lot 1, Block B Rockwall Technology Park

Ms. Ross,

First, we want to thank you for all of the assistance you have given us as we have been putting this together. We can't tell you how much we have appreciated it!

Enclosed within this package is the following :

1. Development Application
2. Civil Site Plan
3. Landscape Design Plans
4. Building Plan and Elevation Design Plans
5. 3D Rendering Boards
6. Photometric
7. Physical Sample Board
8. Email from David Scott (NTMWB) discussing the easement
9. Letter from Chewters Chocolates discussing their employee head count

We look forward to working through the process with the City of Rockwall on this project!

Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', with a long horizontal flourish extending to the right.

Matthew J Peterson, AIA
Vice-President of Design & Development



Chewters Chocolates
1648 Derwent Way
Delta, BC
V3M 6R9

Att: Matthew Peterson
DB Constructors, Inc
2400 Great Southwest Parkway
Fort Worth, TX
76106

Subject: Parking Spaces – Rockwall, TX Facility

Matthew,

In response to your request regarding the number of full-time employees forecasted to be working at the new Chewters Chocolates facility in Rockwall, TX, we anticipate the following based on our current business growth forecast.

The production schedule for the facility will be based on a 3 shift rotation, so the hourly head count will be spread across the 3 production shifts. During shift change, at 7:00am, 3:00pm, and 11:00pm, we will have overlap of employees. Salaried employees will predominantly be working during the day shift, with overlap onto the afternoon and midnight shift.

	Total Employees	Salaried	Hourly	Max Per Day Shift
Year 1	19 employees	5 employees	14 employees	12 employees
Year 2	31 employees	5 employees	26 employees	20 employees
Year 3	43 employees	7 employees	36 employees	24 employees
Year 4	60 employees	10 employees	50 employees	30 employees
Year 5	90 employees	20 employees	70 employees	45 employees
Year 6	90 employees	20 employees	70 employees	55 employees
Year 7	110 employees	25 employees	85 employees	60 employees
Year 8	110 employees	25 employees	85 employees	60 employees
Year 9	110 employees	25 employees	85 employees	60 employees
Year 10	120 employees	30 employees	90 employees	65 employees

We anticipate a total of 120 full-time employees will work at the Rockwall facility. The maximum number of employees working on the day shift will be 65. The number of employee parking spaces requires to support day shift employees, plus shift change over-lap is 125 parking spaces.

Please contact me if have any questions or require additional information.

Regards,

John Oucharek
Vice President, Operations

Matthew Peterson

From: David Scott <dscott@NTMWD.COM> on behalf of David Scott
Sent: Friday, 13 May, 2022 08:16
To: Cameron Ehn
Cc: Matthew Peterson
Subject: RE: Chewters - New Development Coor.

Shrubs or Crepe Myrtles are okay

From: Cameron Ehn <cameron@dbconstructors.com>
Sent: Thursday, May 12, 2022 4:57 PM
To: David Scott <dscott@NTMWD.COM>
Cc: Matthew Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Thanks David. Appreciate the quick turnaround.

Also to confirm, we are allowed to plan shrubs and ornamental trees within the easement correct?



Cameron Ehn, PE
Director of Engineering
O: 817-626-7300 x110
M: 940-597-5146
E: cameron@dbconstructors.com
2400 Great Southwest Parkway
Fort Worth, TX 76106
www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020

From: David Scott <dscott@NTMWD.COM>
Sent: Thursday, May 12, 2022 4:50 PM
To: Cameron Ehn <cameron@dbconstructors.com>
Cc: Matthew J. Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Cameron, Here's our waterline plans and notes for your drwgs. There are several above ground appurtenances in this area as noted on plans.

Notes and instructions below:

The following NTMWD notes shall be included on the cover sheet, grading, paving, storm sewer, water and sewer, illumination and landscaping plan sheets or referenced by note.

"NTMWD NOTES"

- A. North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.

- B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
- C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
- D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
- E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
- F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
- G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.
- H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

Regards

David Scott

Program Manager

North Texas Municipal Water District

[505 E. Brown Street | Wylie, Texas 75098](#)

Direct: 469.626.4712 | Cell: 214.733.4986

dscott@ntmwd.com

From: Cameron Ehn <cameron@dbconstructors.com>

Sent: Thursday, May 12, 2022 3:48 PM

To: David Scott <dscott@NTMWD.COM>

Cc: Matthew J. Peterson <matthew@dbconstructors.com>

Subject: Chewters - New Development Coor.

Afternoon Scott,

Appreciate you taking my call earlier. Per our discussion I've attached our Conceptual Site Plan. We have some tweaks to make, but we don't expect things to change drastically. As it relates to your line, we plan on putting standard car parking over the top of it as well as a drive isle/fire lane.

Please review the attached at your earliest convenience. We're still in the conceptual design phase, but we hope to have more robust plans to share in the coming weeks. We will forward those along as soon as they're ready. In the meantime, if you have any questions or need additional information do not hesitate to ask.

Sincerely,



Cameron Ehn, PE
Director of Engineering

O: 817-626-7300 x110

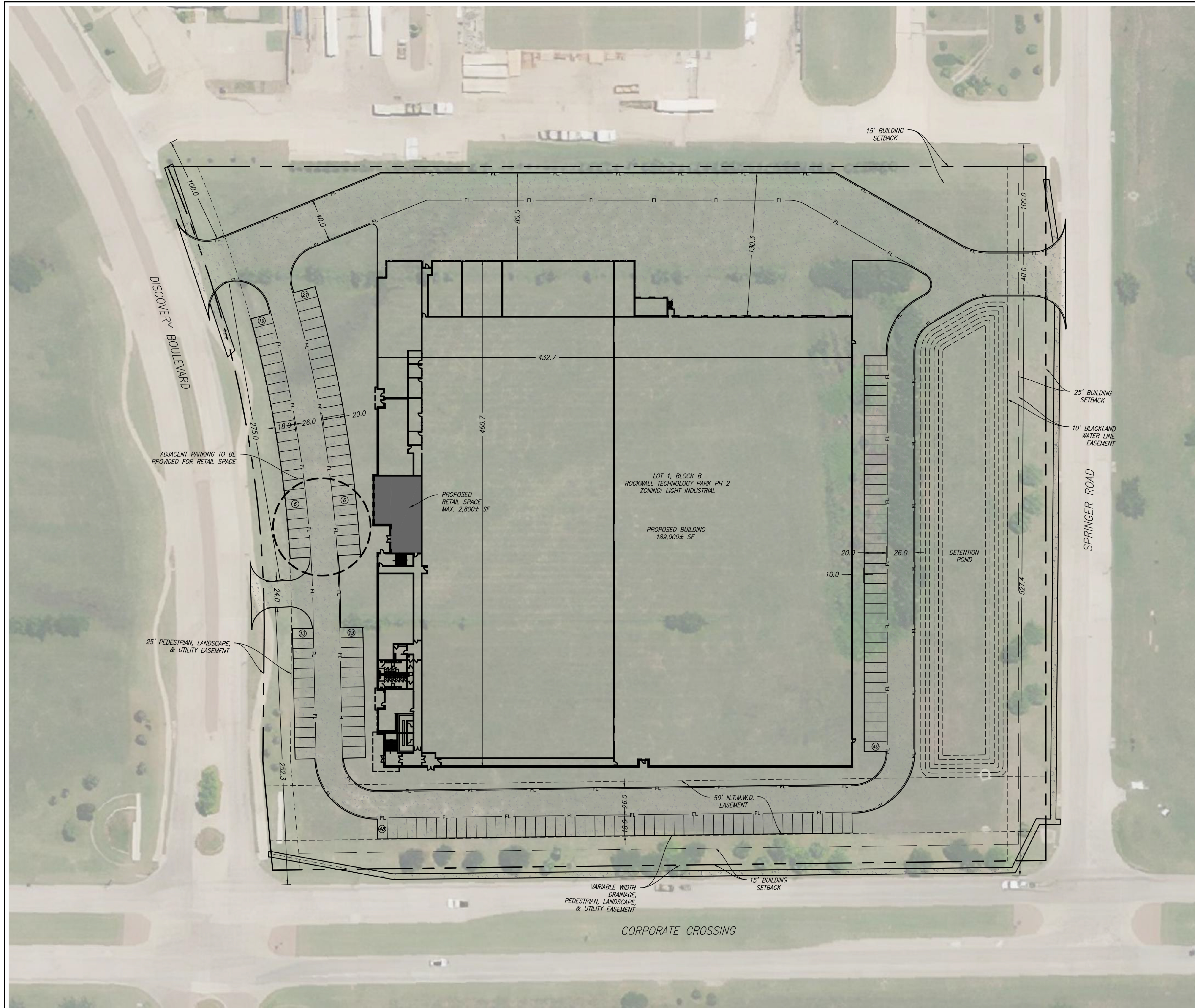
M: 940-597-5146

E: cameron@dbconstructors.com

2400 Great Southwest Parkway
Fort Worth, TX 76106

www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
 TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES



db constructors, inc.
 2400 Great Southwest Pkwy
 Fort Worth, TX 76106
 817-626-7300

**CHEWTERS CHOCOLATES
 NEW HEADQUARTERS**

OWNER :
 ROCKWALL EDC +
 2610 OBSERVATION TRAIL
 ROCKWALL, TX
 972.772.0025

CHEWTERS CHOCOLATE
 1648 DERWENT WAY
 DELTA, BC
 604.515.7117

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

CHEWTERS CHOCOLATE	
Case No.	
DATE:	2022.06.15
CIVIL SITE PLAN	
C-1	

CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

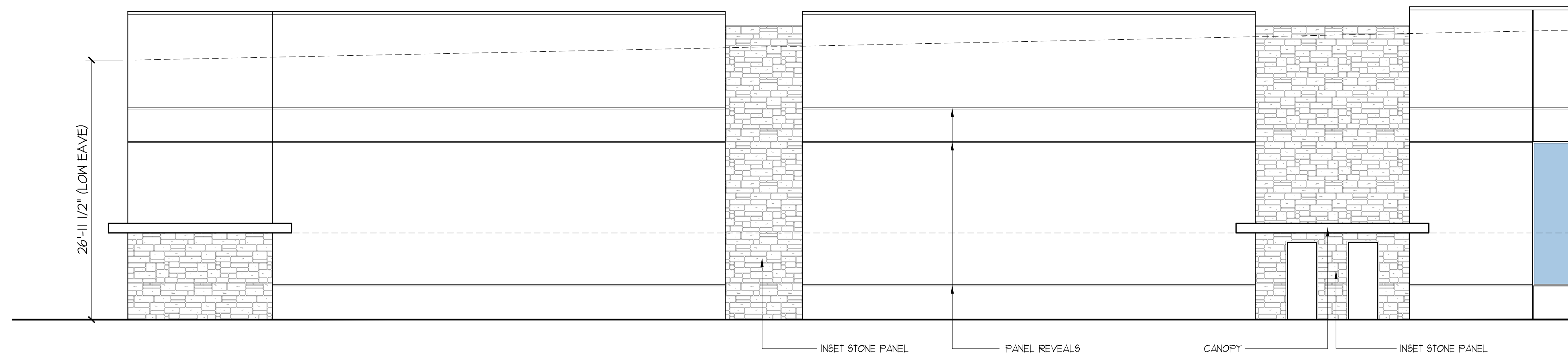
TOTAL FRONT ELEVATION AREA :	15286 SF
DOORS & GLAZING :	2631 SF
NET FRONT ELEVATION AREA :	12655 SF
STONE :	3191 SF
STONE PERCENTAGE :	25%
MASONRY PERCENTAGE :	100%

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13634 SF
DOORS & GLAZING :	458 SF
NET FRONT ELEVATION AREA :	13176 SF
STONE :	2602 SF
STONE PERCENTAGE :	20%
MASONRY PERCENTAGE :	100%

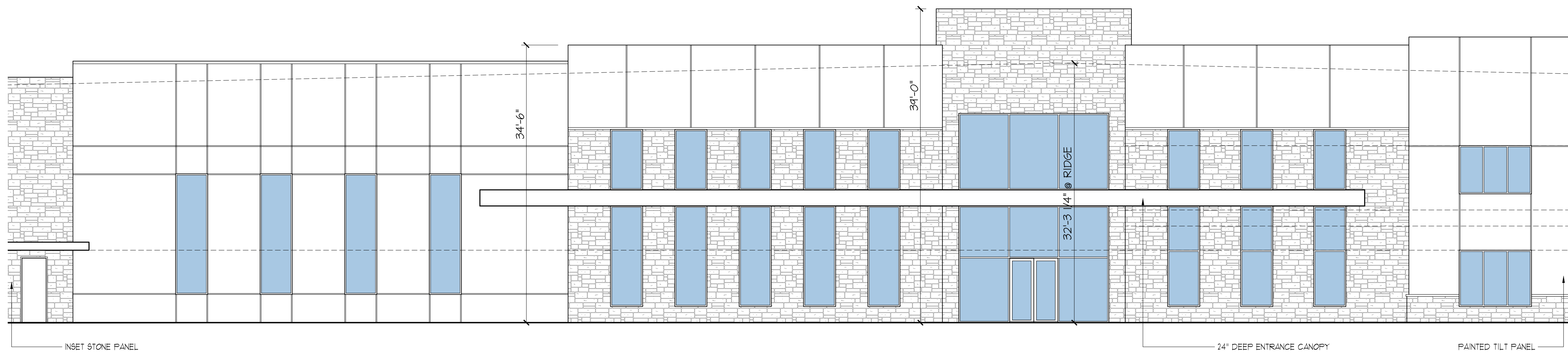
REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15048 SF
DOORS & GLAZING :	24 SF
NET FRONT ELEVATION AREA :	15024 SF
STONE :	2585 SF
STONE PERCENTAGE :	17%
MASONRY PERCENTAGE :	100%



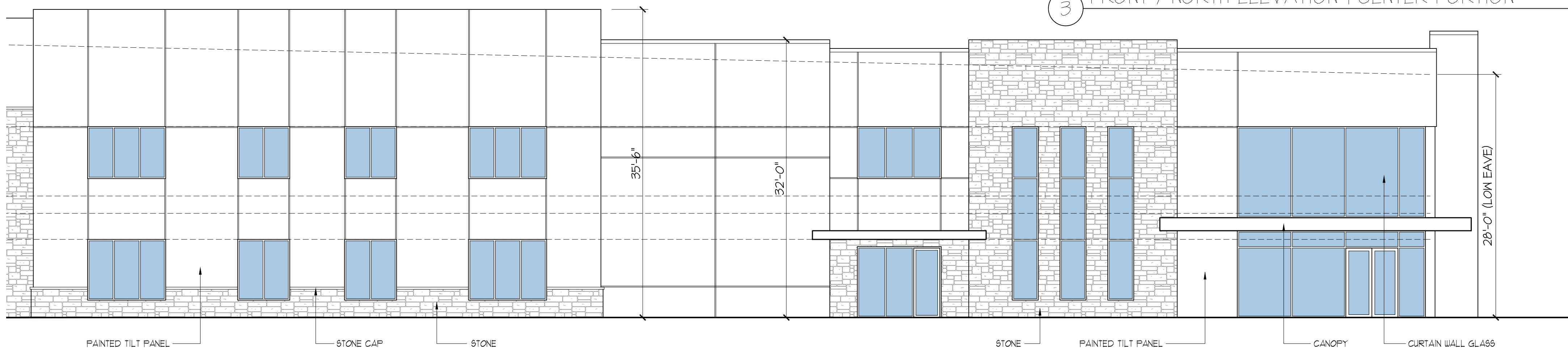
4 FRONT / NORTH ELEVATION | EAST PORTION

SCALE: 1/8" = 1'-0"



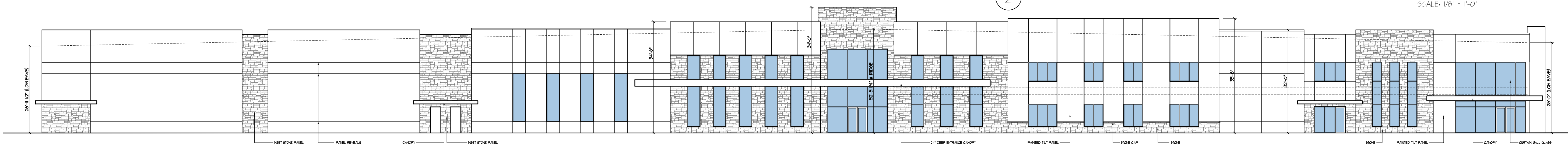
3 FRONT / NORTH ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



2 FRONT / NORTH ELEVATION | WEST PORTION

SCALE: 1/8" = 1'-0"



1 FRONT / NORTH ELEVATION | DISCOVERY BLVD

SCALE: 1/8" = 1'-0"

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP
-			
-			
-			

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

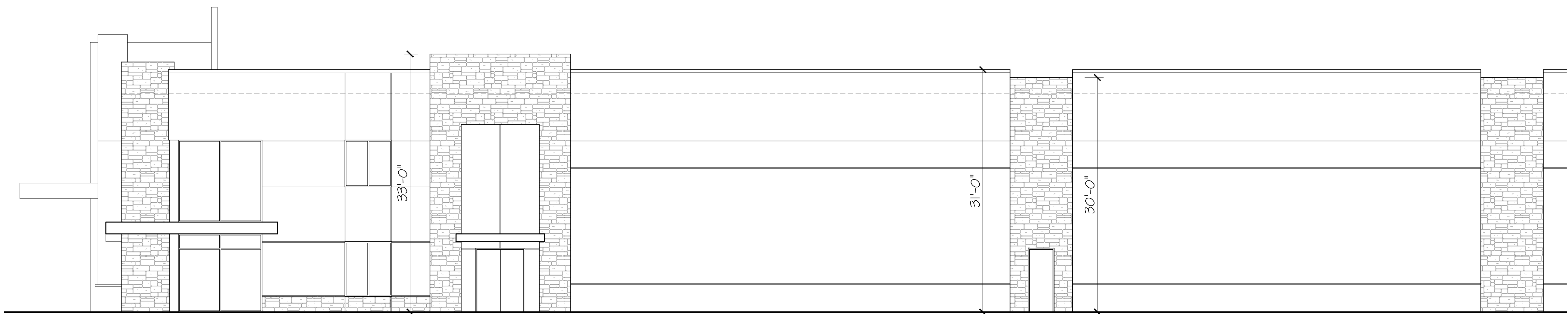
db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

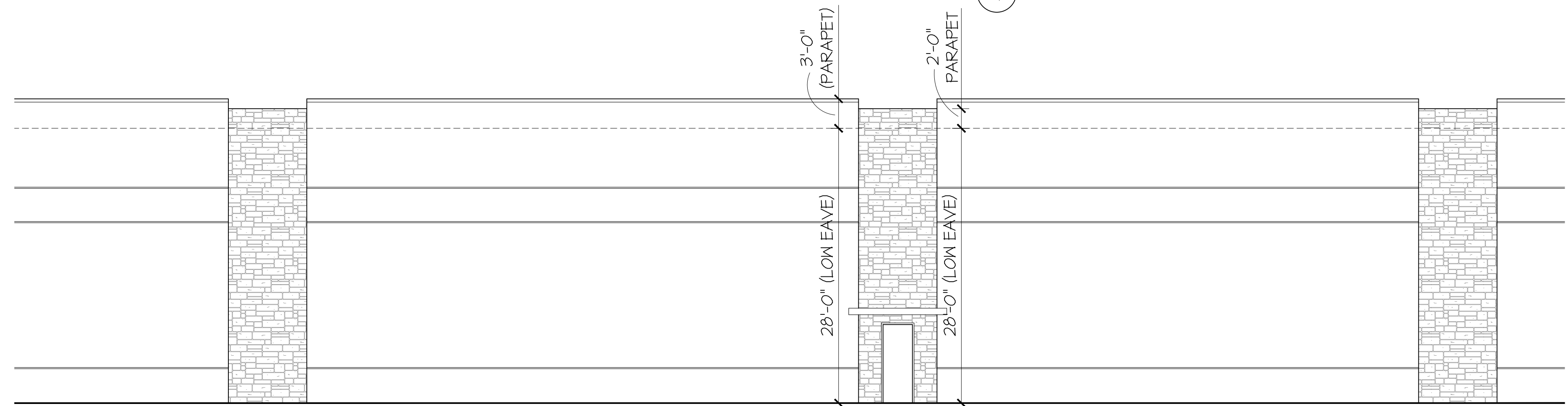
APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.		
DATE:	2022.06.15	
FRONT ELEV.		
A-2		



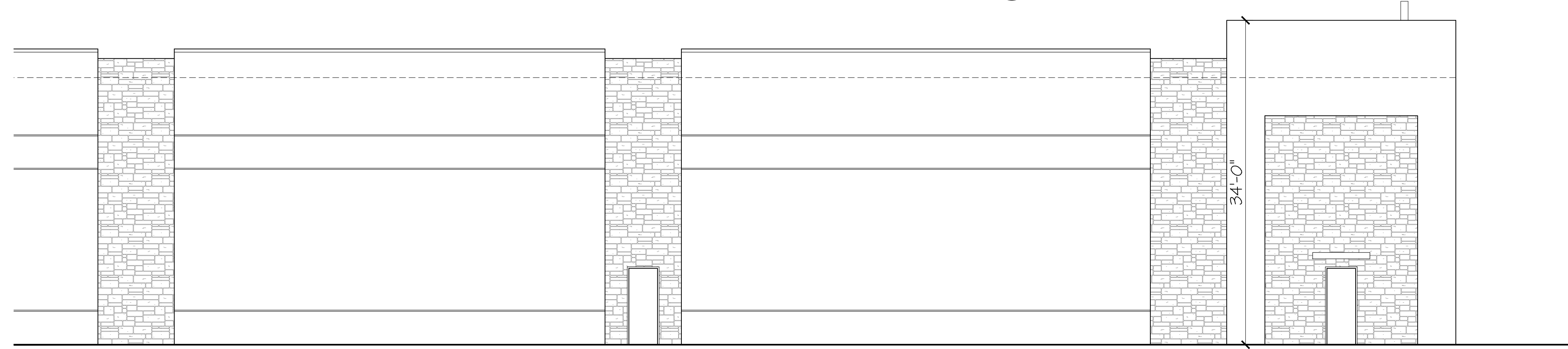
4 RIGHT / WEST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



3 RIGHT / WEST ELEVATION | CENTER PORTION

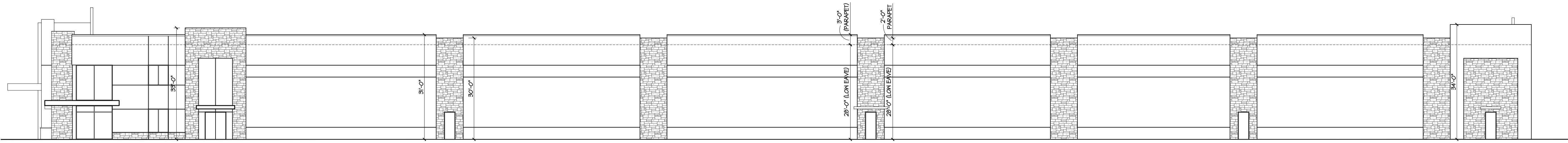
SCALE: 1/8" = 1'-0"



2 RIGHT / WEST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



1 RIGHT SIDE / WEST ELEVATION | CORPORATE CROSSING

SCALE: 1/16" = 1'-0"

Scale: 1/16" = 1'-0"

CHEWTERS CHOCOLATE
15-Jun-22

FRONT ELEVATION :
(DISCOVERY BLVD)

TOTAL FRONT ELEVATION AREA :	15286	SF
DOORS & GLAZING :	2631	SF
NET FRONT ELEVATION AREA :	12655	SF
STONE :	3191	SF
STONE PERCENTAGE :	25%	
MASONRY PERCENTAGE :	100%	

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13634	SF
DOORS & GLAZING :	458	SF
NET FRONT ELEVATION AREA :	13176	SF
STONE :	2602	SF
STONE PERCENTAGE :	20%	
MASONRY PERCENTAGE :	100%	

REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15048	SF
DOORS & GLAZING :	24	SF
NET FRONT ELEVATION AREA :	15024	SF
STONE :	2585	SF
STONE PERCENTAGE :	17%	
MASONRY PERCENTAGE :	100%	

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		
-			
-			

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

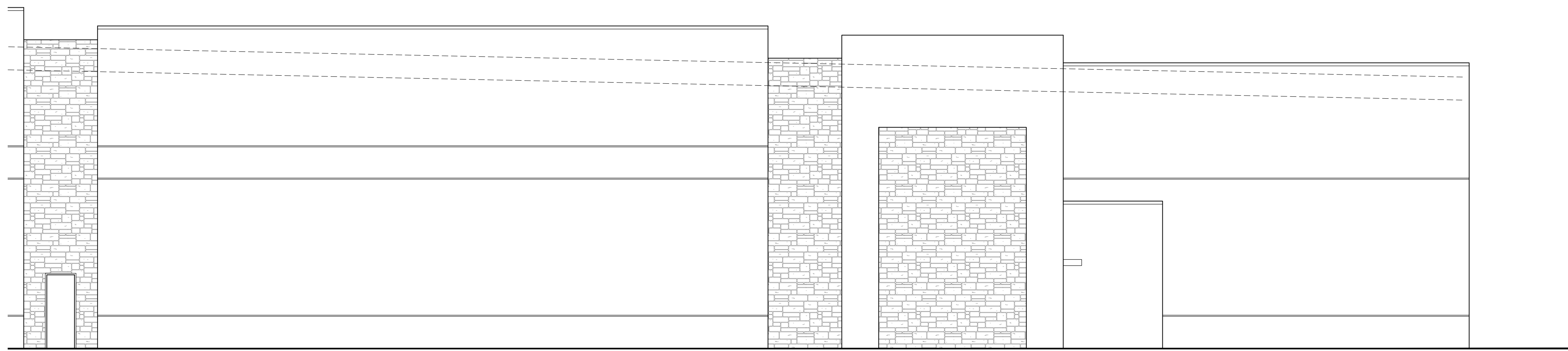

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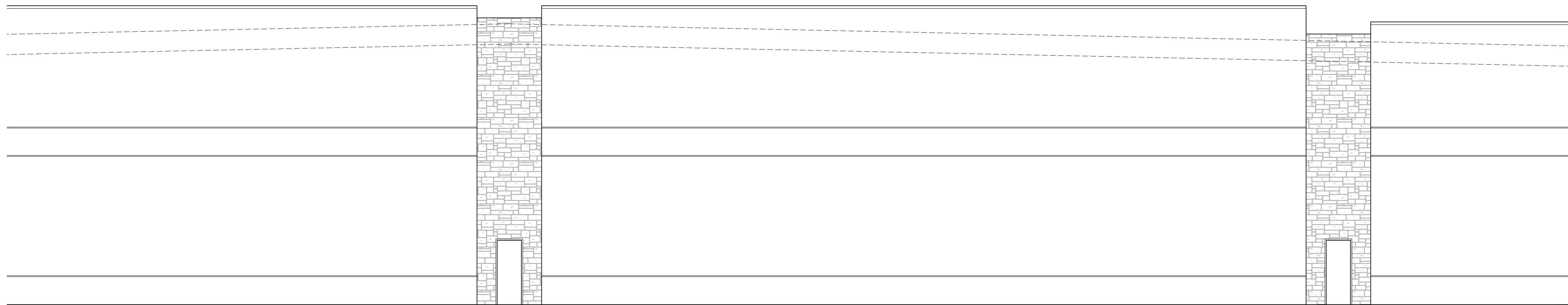
CHEWTERS CHOCOLATE
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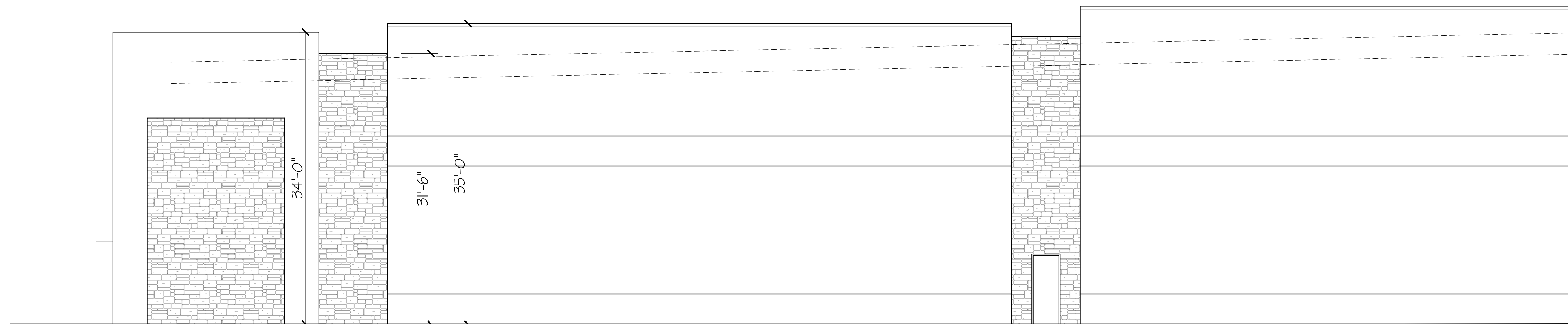
DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	_____	
DATE:	2022.06.15	
SIDE ELEV.		
A-3		



④ REAR / SOUTH ELEVATION | SPRINGER LANE - EAST PORTION
SCALE: 1/8" = 1'-0"



③ REAR / SOUTH ELEVATION | SPRINGER LANE - CENTER PORTION
SCALE: 1/8" = 1'-0"



② REAR / SOUTH ELEVATION | SPRINGER LANE - WEST PORTION
SCALE: 1/8" = 1'-0"

CHEWTERS CHOCOLATE
15-Jun-22

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(DISCOVERY BLVD)

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① REAR / SOUTH ELEVATION | SPRINGER LANE
SCALE: 1/16" = 1'-0"

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Director of Planning and Zoning

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-	06-17-2021	SITE PLAN SUBMITTAL	MP
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.



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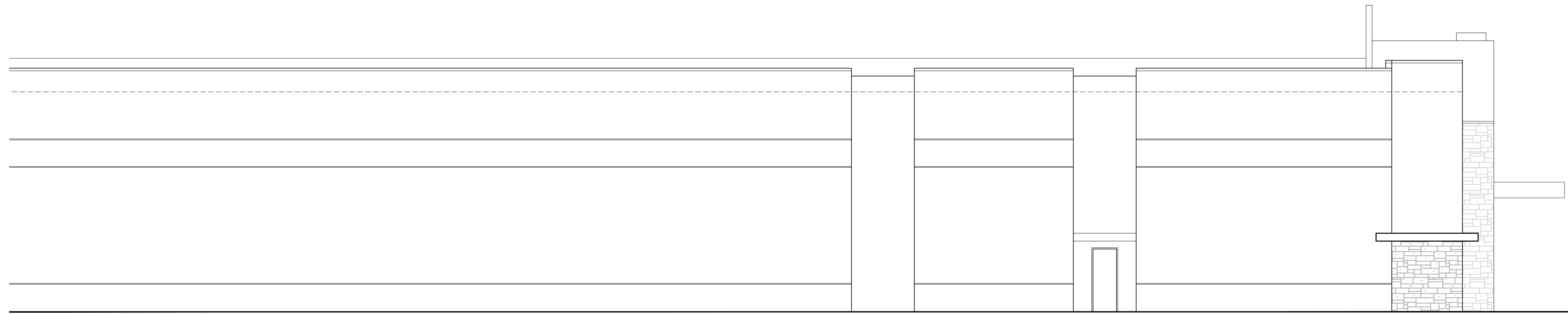
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLOATE

Case No. _____

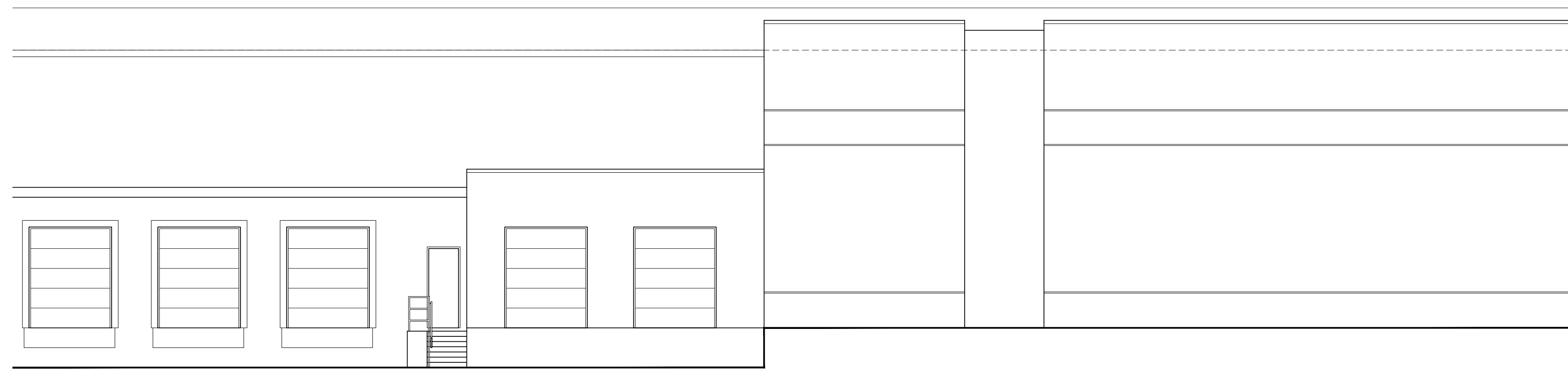
DATE: 2022.06.15

REAR ELEV.



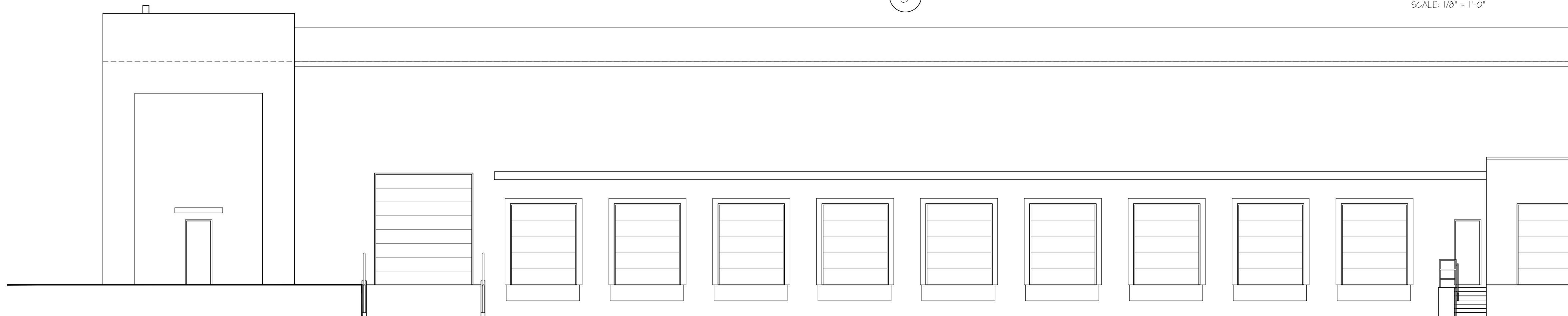
4 LEFT / EAST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



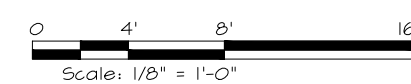
3 LEFT / EAST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"

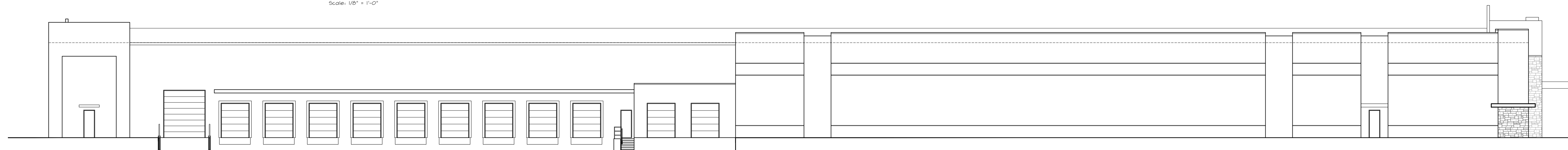


2 LEFT / EAST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"

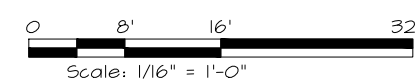


Scale: 1/8" = 1'-0"



1 LEFT SIDE / EAST ELEVATION

SCALE: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"

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WITNESS OUR HAND, this ____ day of ____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06.17.2021		
-			
-			

CHEWTERS CHOCOLATE
 LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 SE CORNER OF DISC. & CORP CROSS.


 db constructors, inc.
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DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

SIDE ELEV.

A-5



**CHEWTERS CHOCOLATES
ELEVATION AESTHETICS**





**CHEWTERS CHOCOLATES
DISCOVERY BLVD ELEVATION**





**CHEWTERS CHOCOLATES
CORPORATE CROSSING ELEVATION**



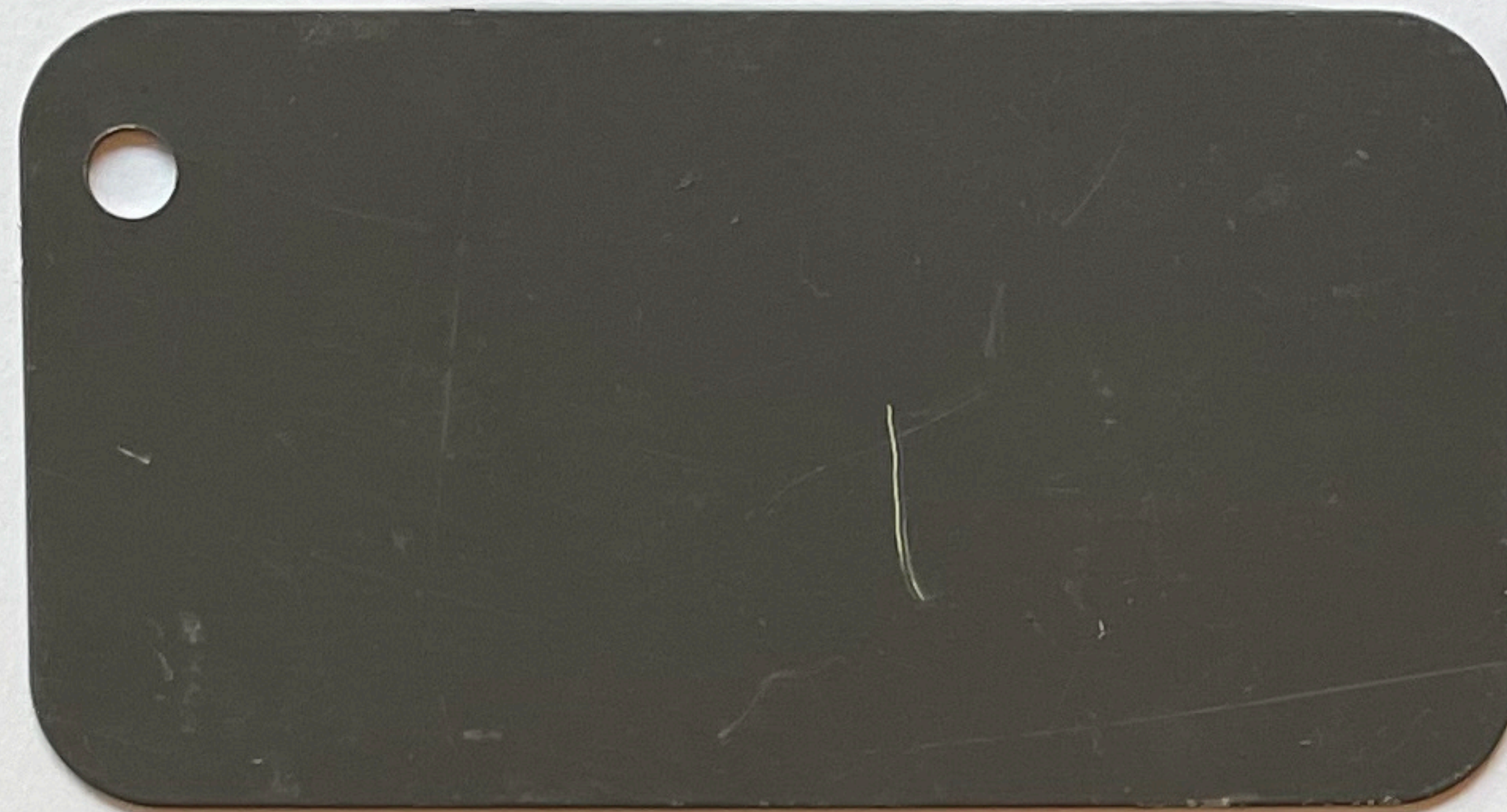


**CHEWTERS CHOCOLATES
SPRINGER ROAD ELEVATION**





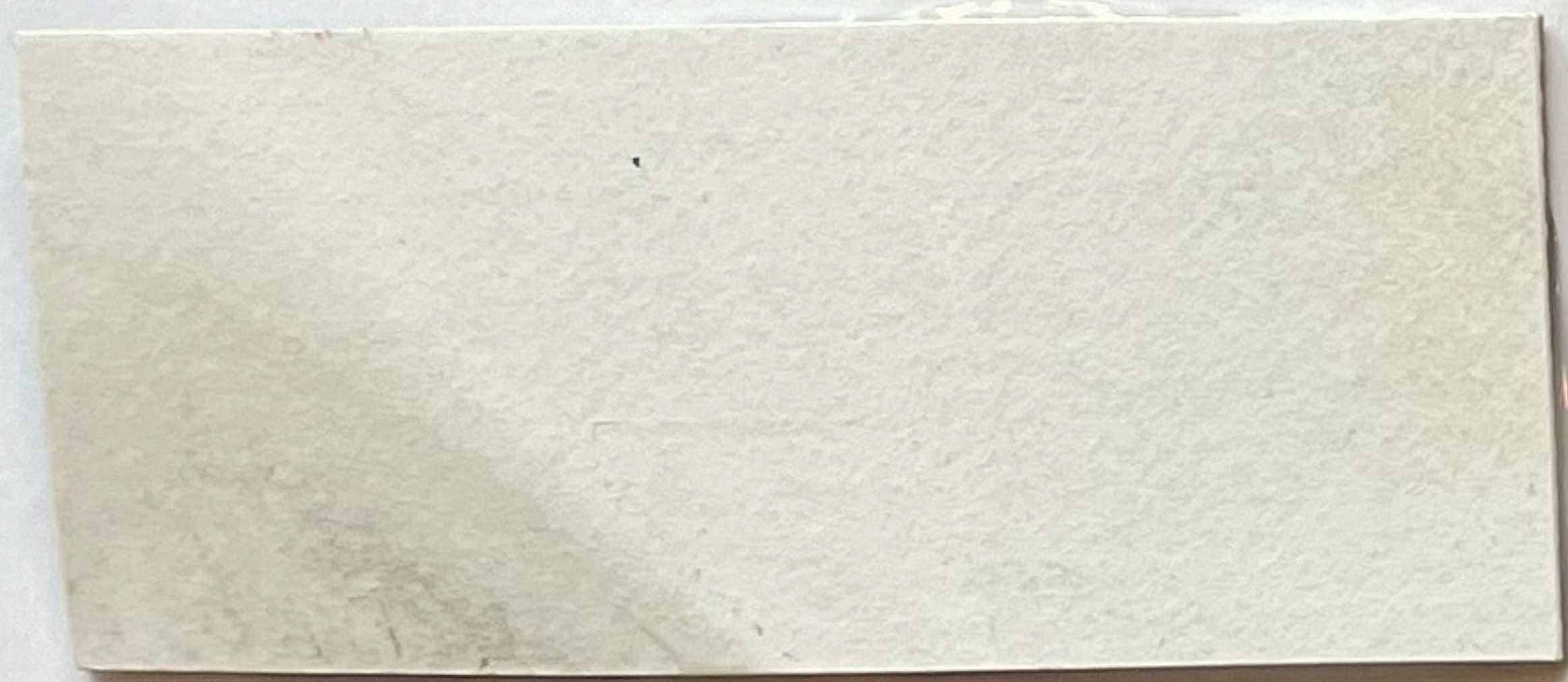
6. low e glass, neutral tint (slight gray/blue tone)



4. charcoal aluminum (awning)



5. dark bronze (window/door frames)



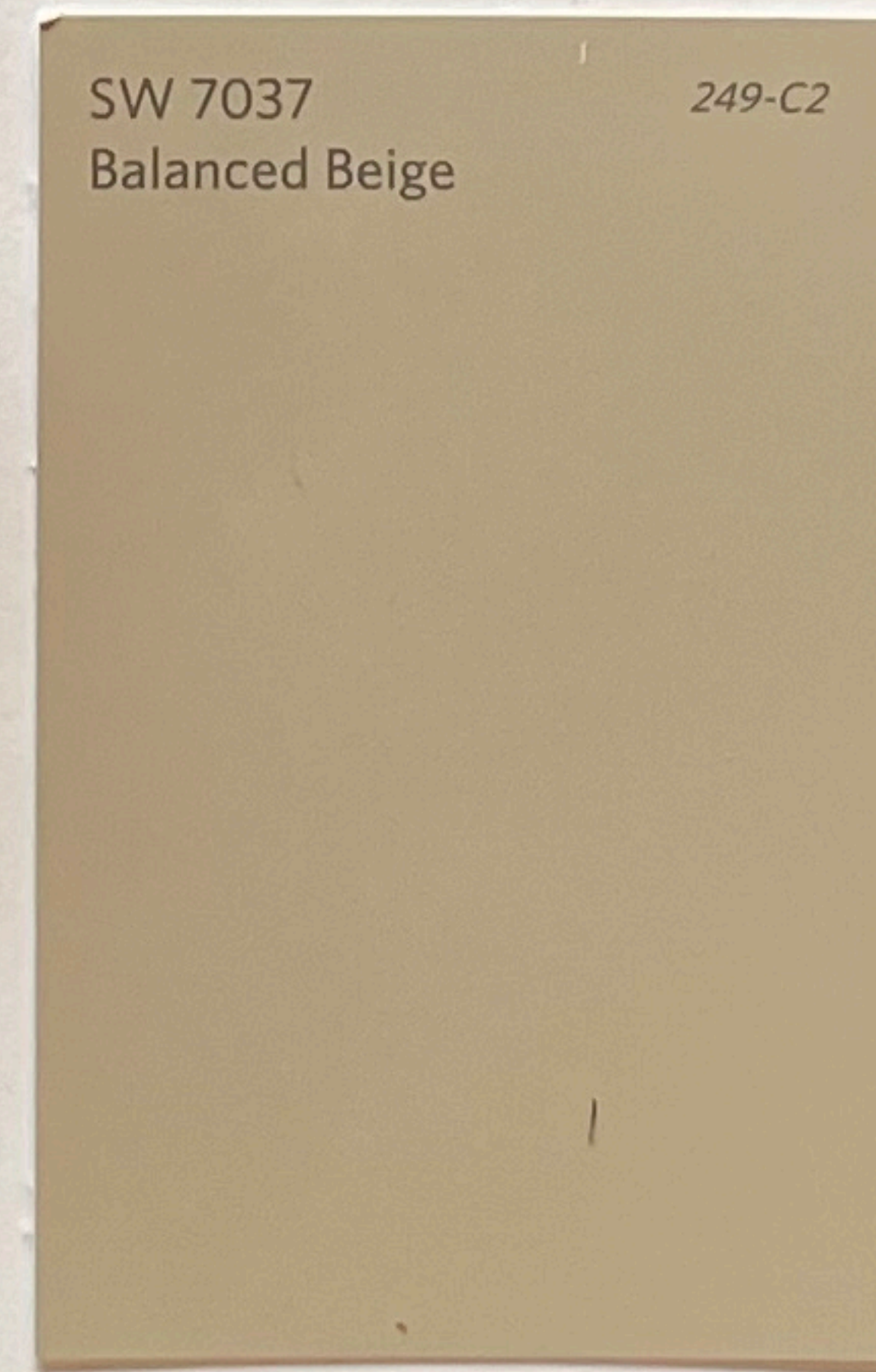
7. white tpo membrane roof (not shown in rendering)



artist rendering depicting desired color scheme



1. stone : equivalent to marble stack stone by texas stone designs, inc

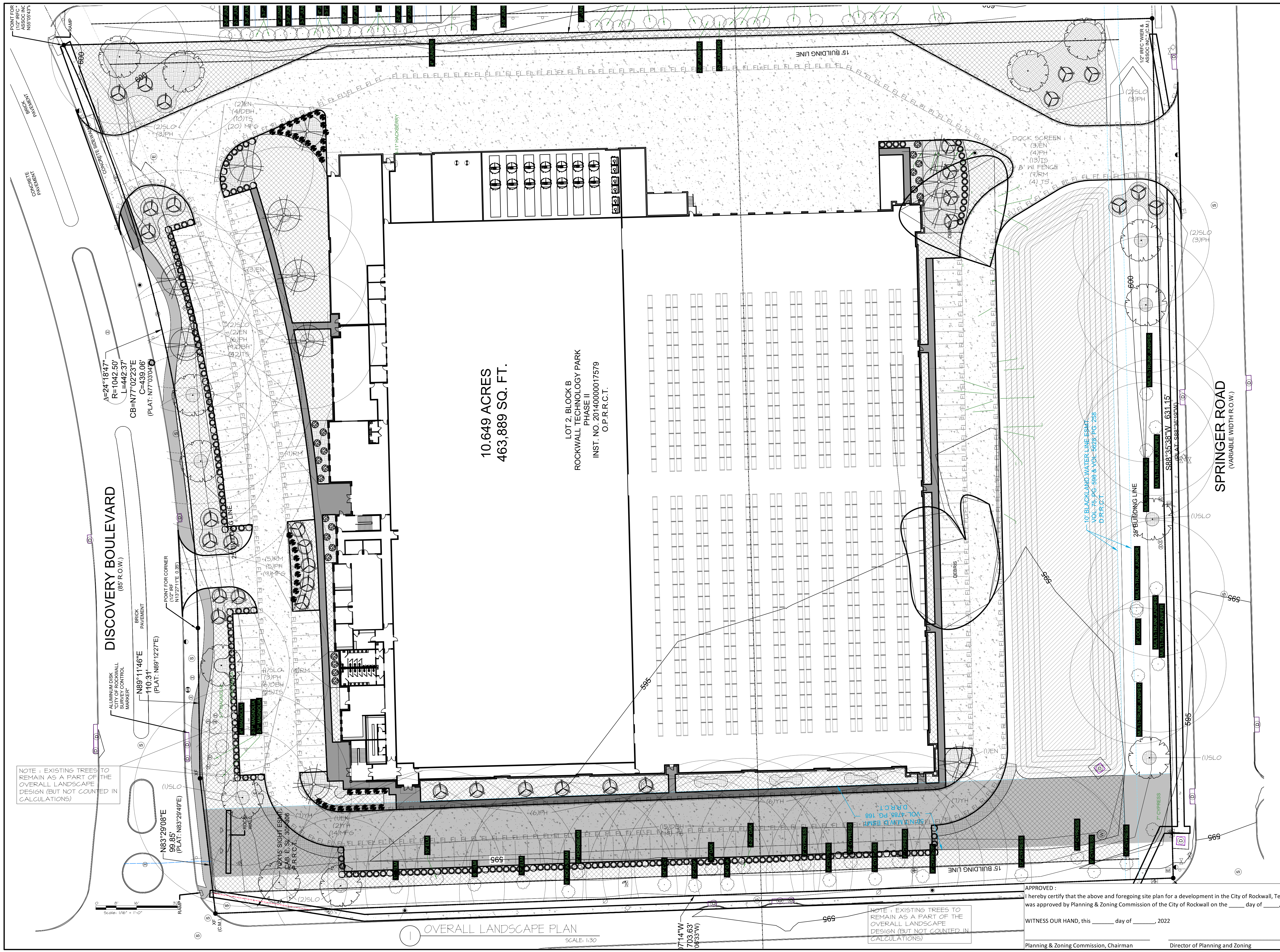


2. main body panel color : sw7037 balanced beige



3. accent panel color : sw7504 keystone gray





10.649 ACRES
463,889 SQ. FT.

LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 2014000017579
O.P.R.R.C.T.

DISCOVERY BOULEVARD
(85' R.O.W.)

SPRING ROAD
(VARIABLE WIDTH R.O.W.)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

OVERALL LANDSCAPE PLAN
SCALE: 1:30

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-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.


db constructors, inc.
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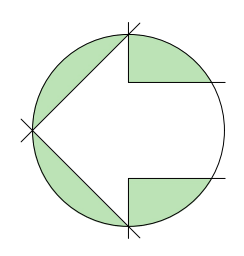
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

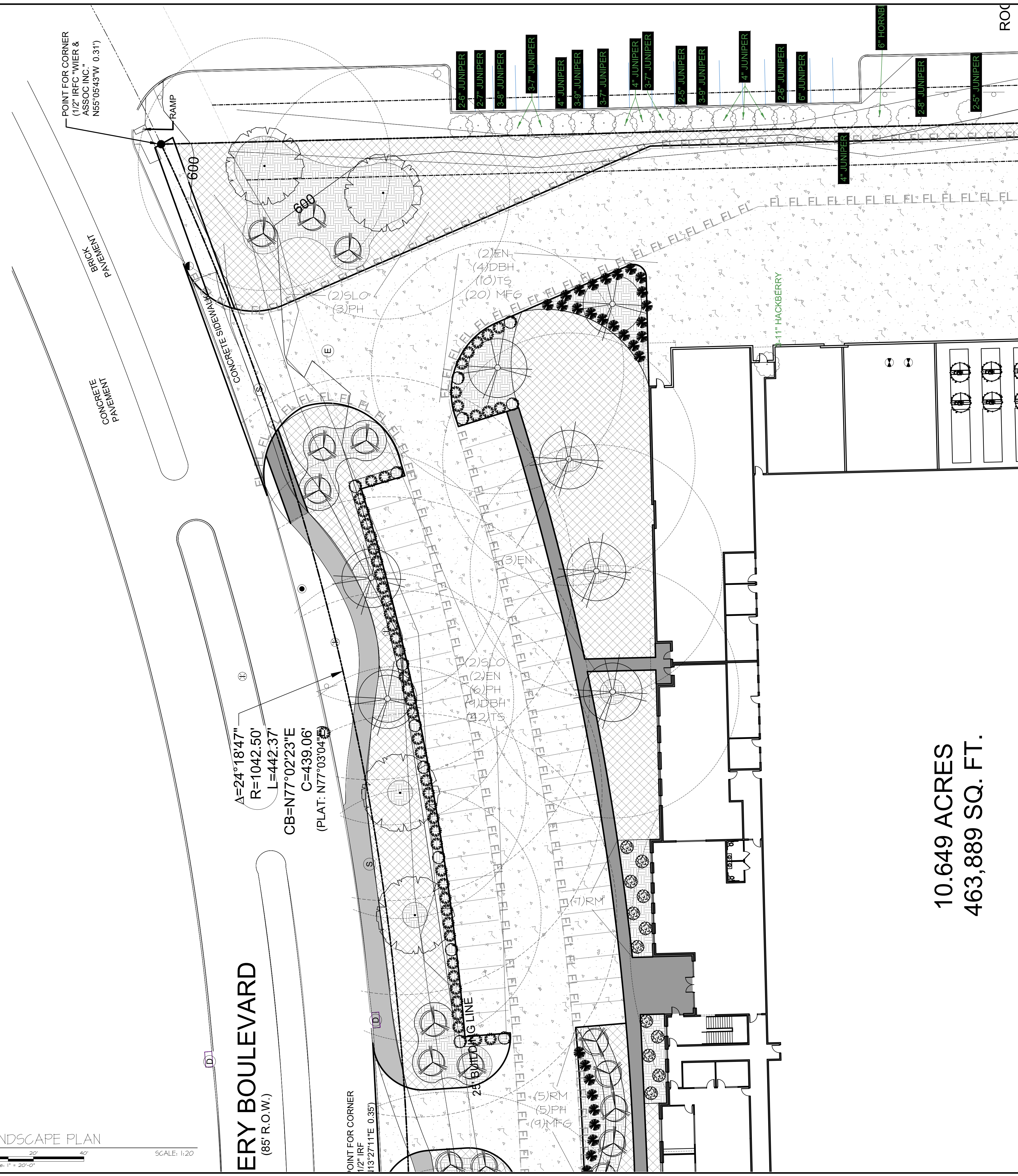
Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-1



LANDSCAPE PLAN
SCALE: 1:20
1" = 20'-0"



10.649 ACRES
463,889 SQ. FT.

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF 1.60 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	46,577 SF 1.069 AC
MULCHED BEDS :	22,485 SF 0.516 AC
DETENTION POND :	33,108 SF 0.760 AC

LANDSCAPE PROVIDED (W/POND) :	102,170 SF*	2.346 AC
LANDSCAPE PROVIDED (W/O POND) :	69,062 SF*	1.585 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES
NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	14	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT.; 4" SPREAD; 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	EYES NEGLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM 9' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ulmagnolia Speciosa	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nano'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	25	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GALL.	± 3'-5'

APPROVED :
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REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

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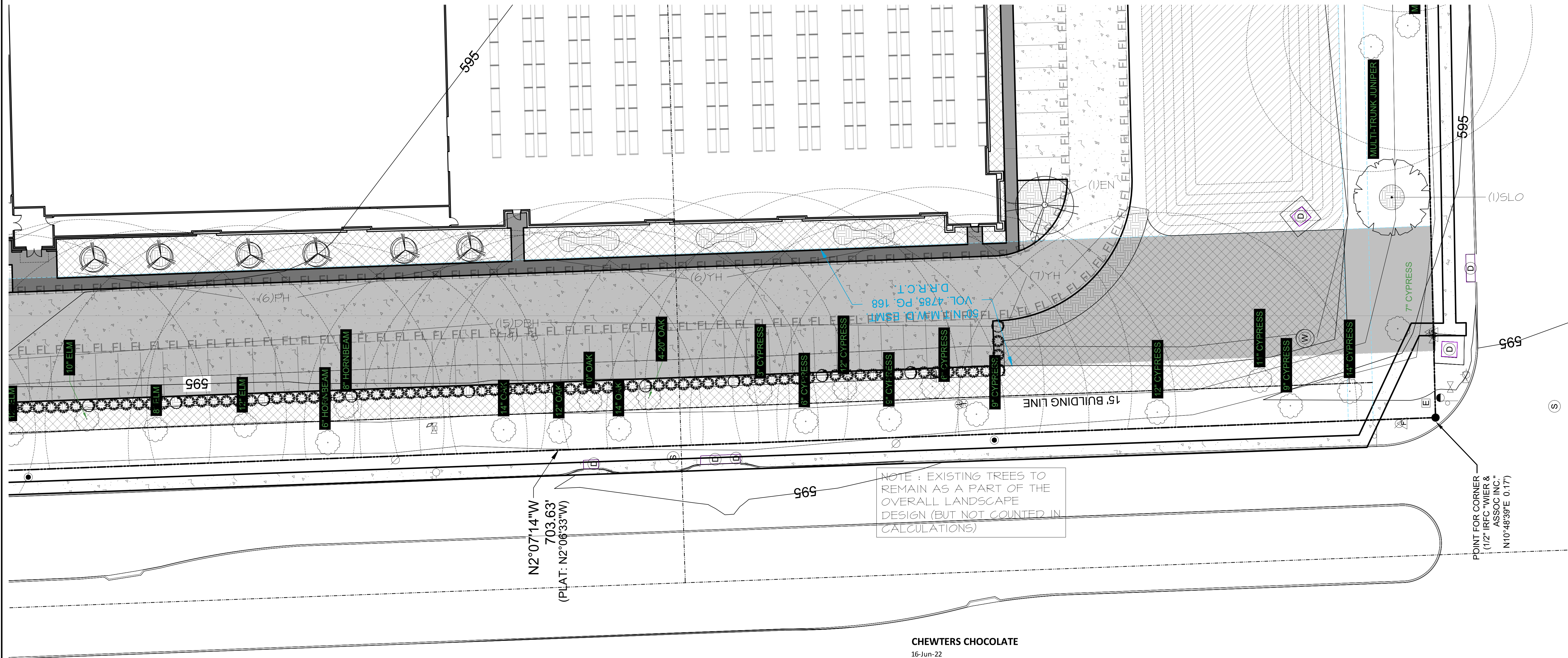
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-2



CORPORATE CROSSING
(110' R.O.W.)

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

N2°07'14"W
703.63'
(PLAT: N2°06'33"W)

POINT FOR CORNER
(1/2" IRFC WIER &
ASSOC INC."
N10°48'39"E 0.17')

CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC
ROADS + PARKING :	128,231 SF	2.94 AC
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	11	EVE'S NECKLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM, 9" HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ilex opacifolia	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
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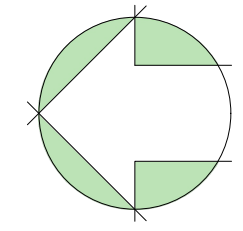
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CHEWTERS CHOCOLATE

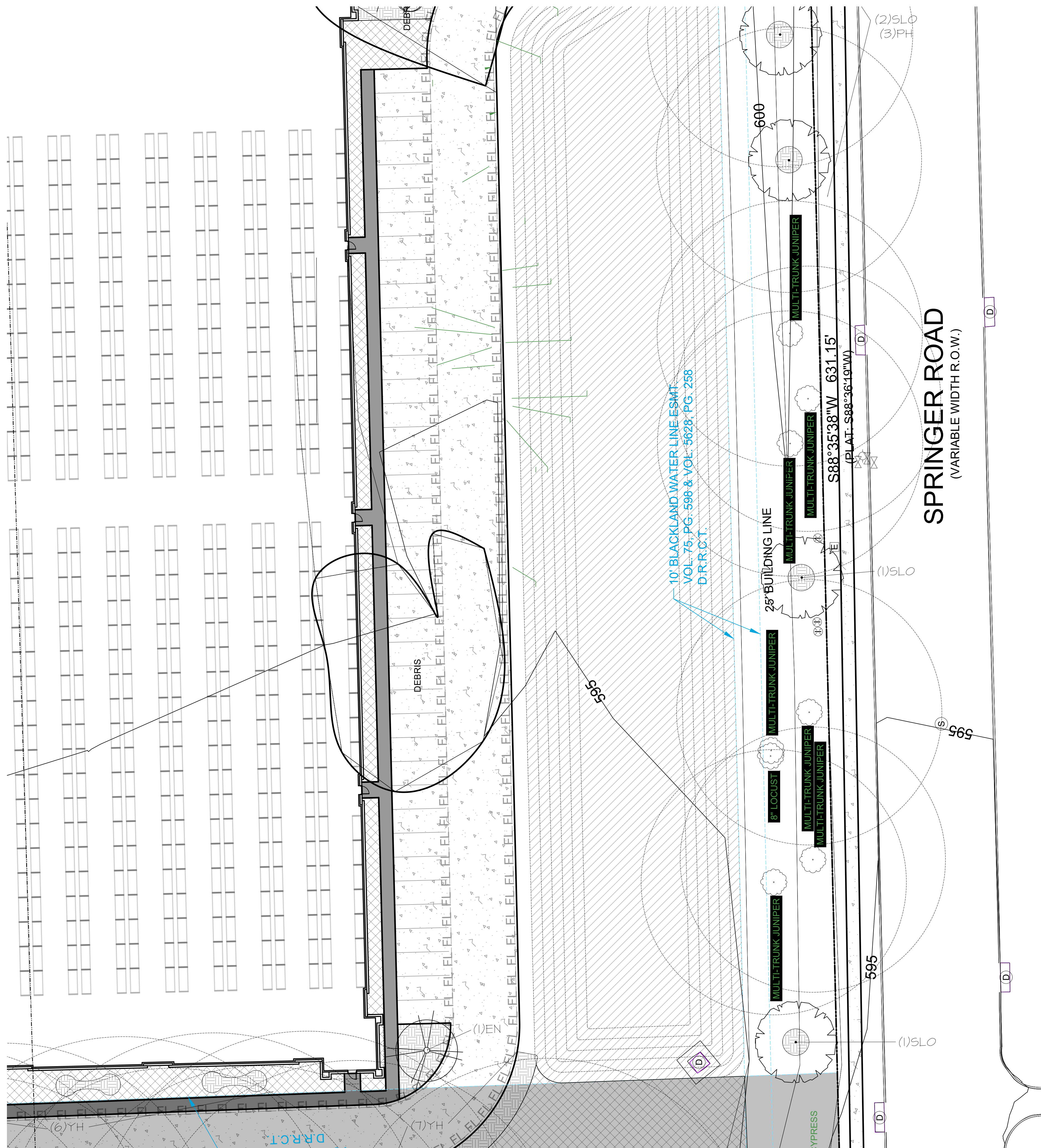
Case No. _____

DATE: 2022.06.15

LANDSCAPE
L-4



LANDSCAPE PLAN
SCALE: 1:20
1" = 20'-0"



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

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	69,583 SF 1.60 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	46,577 SF 1.069 AC
MULCHED BEDS :	22,485 SF 0.516 AC
DETENTION POND :	33,108 SF 0.760 AC

LANDSCAPE PROVIDED (W/POND) :	102,170 SF*	2.346 AC
LANDSCAPE PROVIDED (W/O POND) :	69,062 SF*	1.585 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :		26 SPACES
RETAIL :		12 SPACES
WAREHOUSE :		20 SPACES
MANUFACTURING :		108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	14	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT.; 4" SPREAD; 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	EVES NEGGLACE	EN	Styphnolobium affine	4" CALIPER MINIMUM, 9' HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ilignadia Speciosa	MULTI-TRUNK, 30 GALL. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	30 GALL., 60" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	34	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nano'	5 GALL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	173	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GALL.	± 3'-5'

APPROVED :

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.



db constructors, inc.

2400 GREAT SOUTHWEST PARKWAY
 FORT WORTH, TX 817.626.7300
 INFO@DBCONSTRUCTORS.COM

OWNER :

ROCKWALL EDC + 2610 OBSERVATION TRAIL
 ROCKWALL, TX 972.772.0025

CHEWTERS CHOCOLATE
 1648 DERWENT WAY DELTA, BC
 604.515.7117

APPLICANT :

DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

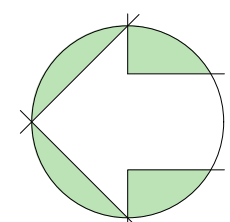
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

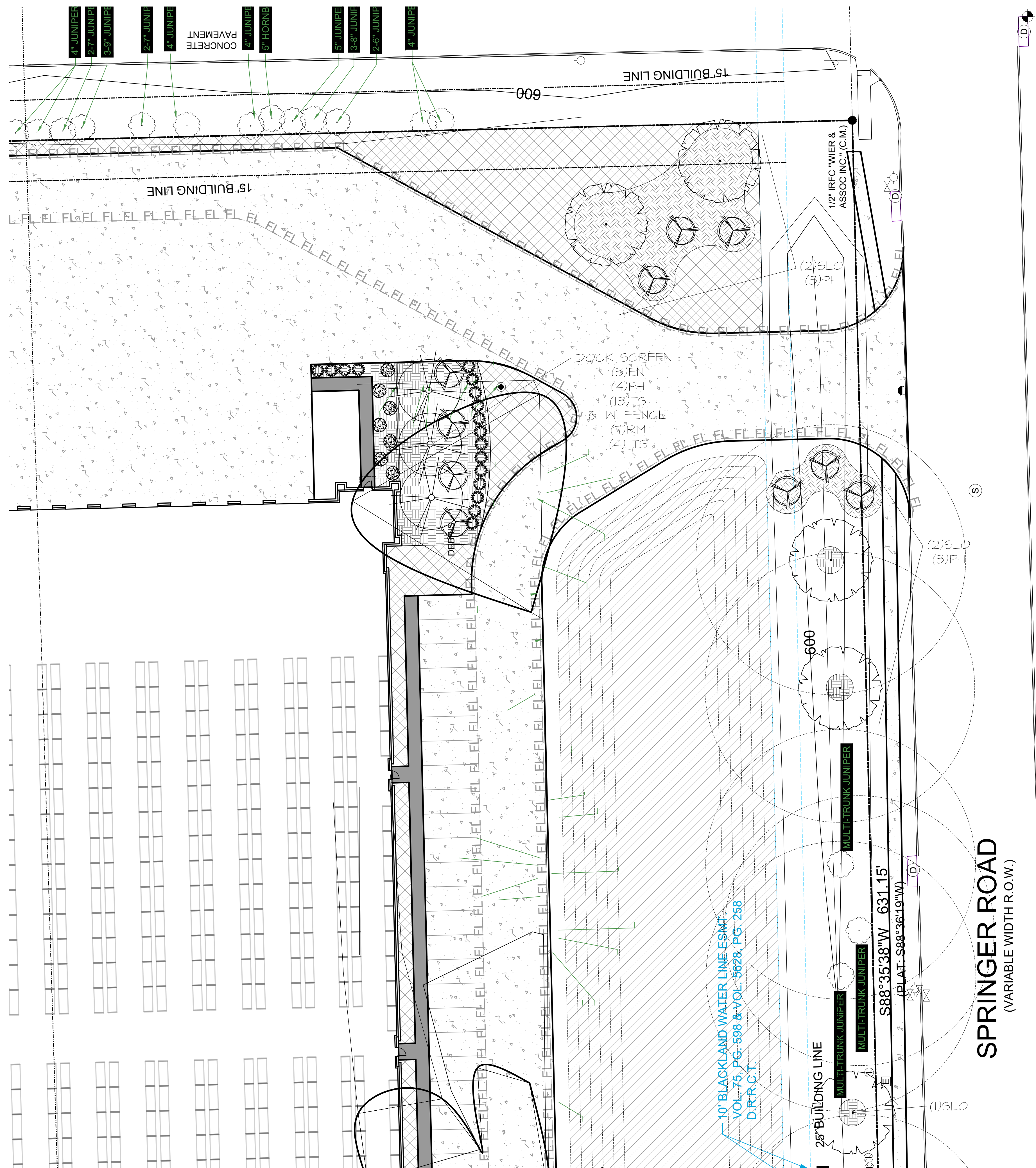
Case No. _____

DATE: 2022.06.15

LANDSCAPE
 L-5



LANDSCAPE PLAN
 SCALE: 1:20



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF / 1.60 AC

PROPOSED LANDSCAPE :

TURF / GRASS AREA :	46,577 SF	1.069 AC
MULCHED BEDS :	22,485 SF	0.516 AC
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APPROVED :

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06-17-2021	SITE PLAN SUBMITTAL	MP

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.



db constructors, inc.

2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :

ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :

DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

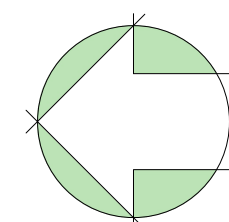
Case No. _____

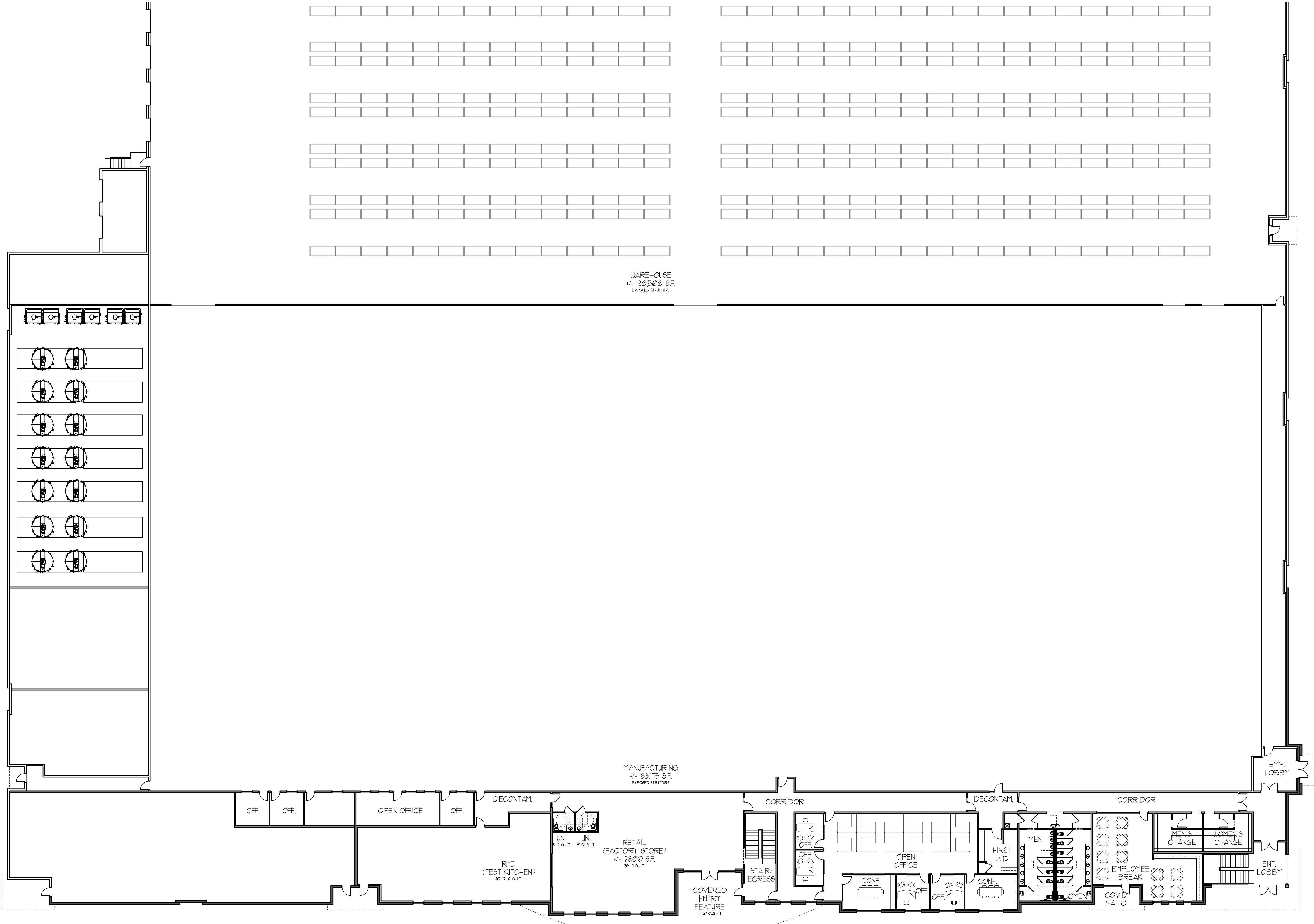
DATE: 2022.06.15

LANDSCAPE

L-6

LANDSCAPE PLAN
SCALE: 1:20



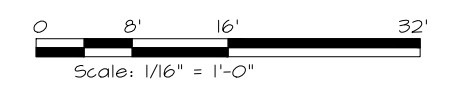


WAREHOUSE
+/- 90,500 SF.
EXPOSED STRUCTURE

MANUFACTURING
+/- 83,175 SF.
EXPOSED STRUCTURE

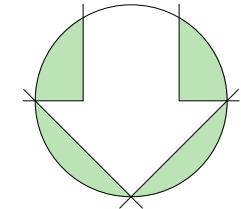
RETAIL
(FACTORY STORE)
+/- 2,800 SF.
10' CLG. HT.

R&D
(TEST KITCHEN)
10' CLG. HT.



1 BUILDING PLAN OVERALL

SCALE: 1/16" = 1'-0"



APPROVED :
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06-17-2021		

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
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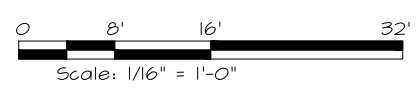
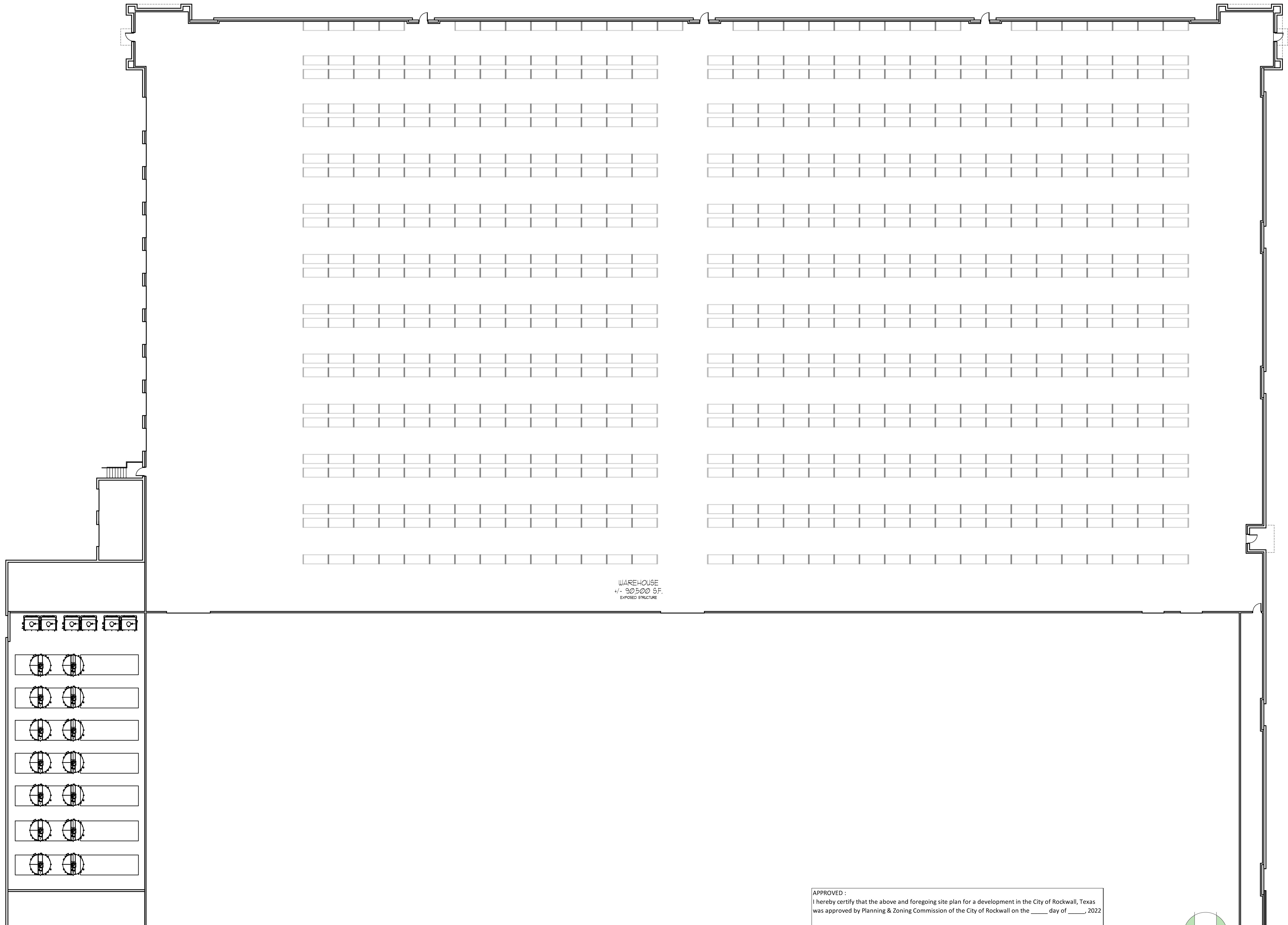
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. _____

DATE: 2022.06.15

BLDG. PLAN
A-1A



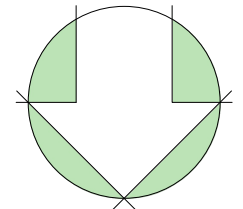
1 BUILDING PLAN OVERALL - MATCH FROM PREVIOUS
SCALE: 1/16" = 1'-0"

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06-17-2021		

CHEWTERS CHOCOLATE
LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
SE CORNER OF DISC. & CORP CROSS.

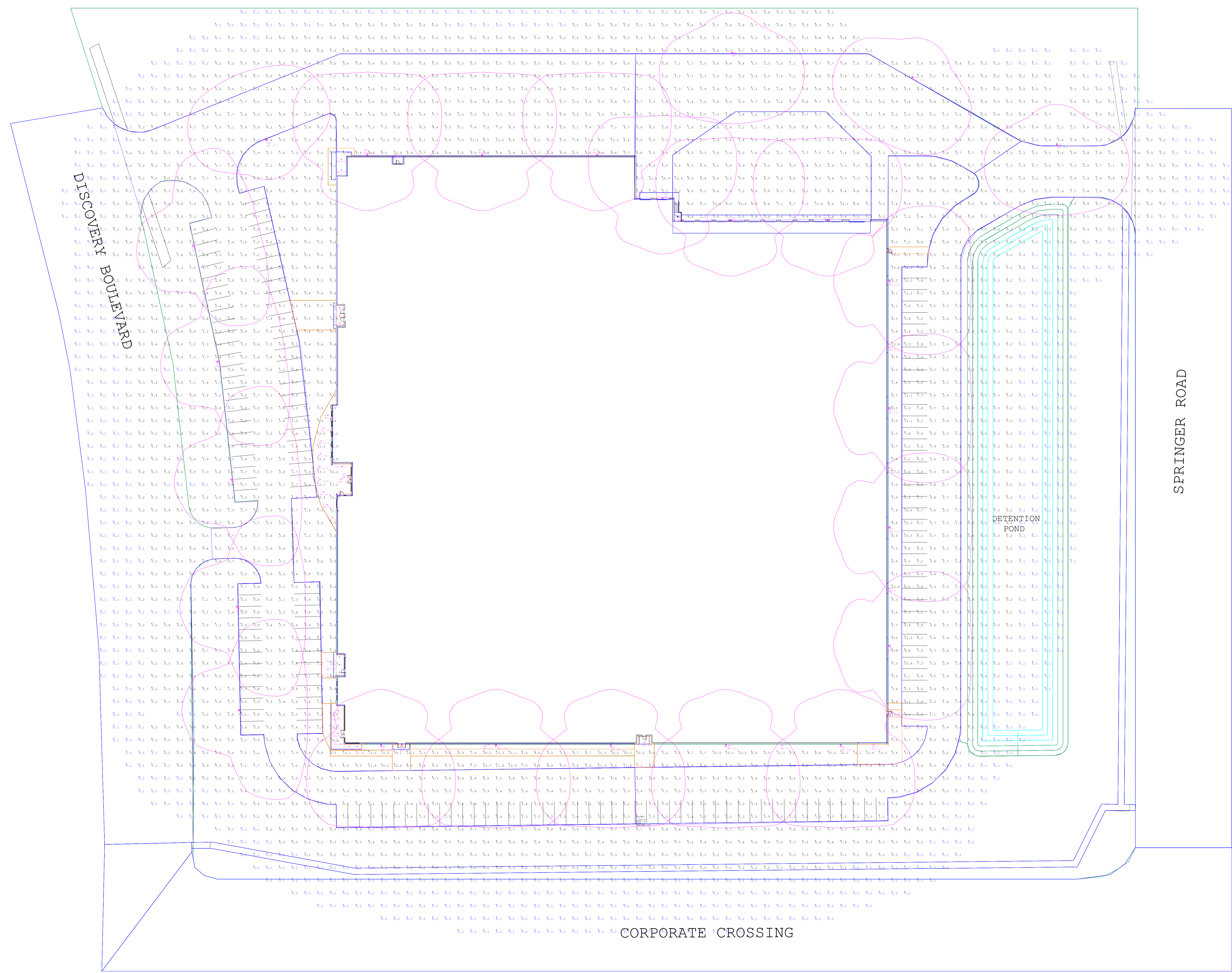

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DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLOATE		
Case No.	_____	
DATE:	2022.06.15	
BLDG. PLAN		
A-1B		



Downlighting
LIGHTOLIER by @ignify
LyteProfile
P6R 6" Round Downlight & Wall Wash

Project: CHEWERS CHOCOLATE
Location: ROCKWALL, TEXAS
Contract: 0001/P001/2021/CDP/210
Date: 6/23/21
City: C
Notes:

LyteProfile downlights and wall washers provide a perfect balance of functionality with glare control. The robust and versatile UniFrame frame-in-kit makes changes and updates easy to manage and install. Ideal for use in a variety of applications including open office, institutional, healthcare, and retail.

Standard luminaire = Frame + Engine/Trim + Accessories (optional)
Buy American Act of 1933 (BAA)** Compliant luminaire* = Frame-BAC + Engine/Trim-BAC
* BAA compliance requires that BAC option be selected for each of frame and engine/trim.
** Frame and engine/trim will be considered bonded together (see 48U-BAC-010/2018/02/20/2019-BAC).
Accessories (optional) are not currently BAA-compliant.

ALS
ALV SERIES AREA LIGHT

Client: CHEWERS CHOCOLATE
Project: P1A
Type: P1A
Quantity:

CONSTRUCTION
The sleek design single-piece die-cast AD12 aluminum housing has integral heat sink fins maximizing thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Ultra-low EPR (0.652) R².

OPTICS (ROTATABLE)
UV-resistant acrylic optics, available in Type II, III, IV, V distributions. Silicone gasket ensures a weather-proof seal around each individual optic. Optics rotatable (90° increment) and interchangeable. Full cutoff (UC) when mounted with non-adjustable pole mount (PM) or 0 degree tilt with adjustable Splitter (SF), meets Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
80+ CRI Samsung LED.
-40°C up to 50°C (-40°F up to 122°F) maximum operating temperature.
Long-life greater than 100,000 hr at L80.
Standard driver operates at 120-277V input, 0-10V dimmable driver, down to 10%. 50/60Hz, <20% THD, 0.9 power factor. Standard 4kV surge protection.
Optional 10kV surge protection.
Optional 347480V input.

ALS
ALV SERIES AREA LIGHT

Client: CHEWERS CHOCOLATE
Project: P1B
Type: P1B
Quantity:

CONSTRUCTION
The sleek design single-piece die-cast AD12 aluminum housing has integral heat sink fins maximizing thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Ultra-low EPR (0.652) R².

OPTICS (ROTATABLE)
UV-resistant acrylic optics, available in Type II, III, IV, V distributions. Silicone gasket ensures a weather-proof seal around each individual optic. Optics rotatable (90° increment) and interchangeable. Full cutoff (UC) when mounted with non-adjustable pole mount (PM) or 0 degree tilt with adjustable Splitter (SF), meets Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
80+ CRI Samsung LED.
-40°C up to 50°C (-40°F up to 122°F) maximum operating temperature.
Long-life greater than 100,000 hr at L80.
Standard driver operates at 120-277V input, 0-10V dimmable driver, down to 10%. 50/60Hz, <20% THD, 0.9 power factor. Standard 4kV surge protection.
Optional 10kV surge protection.
Optional 347480V input.

ALS
WFA SERIES FULL CUTOFF SELECTABLE WALL PACK

Client: CHEWERS CHOCOLATE
Project: WP2
Type: WP2
Quantity:

CONSTRUCTION
Sleek and modern design, die-cast aluminum housing, rugged design protects internal components and provides excellent thermal management. Hidden door assembly hinges on the side, cast aluminum housing with 1/2" conduit entries (on top and side) for surface mount.

OPTICS
Full cutoff distribution conform to dark sky requirement - individual acrylic LED optics provide IES Type IV distribution.
Light engines are selectable between 3000K, 4000K, and 5000K (80+ CRI) configurations.

ALS
ALV SERIES AREA LIGHT

Client: CHEWERS CHOCOLATE
Project: WP3
Type: WP3
Quantity:

CONSTRUCTION
The sleek design single-piece die-cast AD12 aluminum housing has integral heat sink fins maximizing thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Ultra-low EPR (0.652) R².

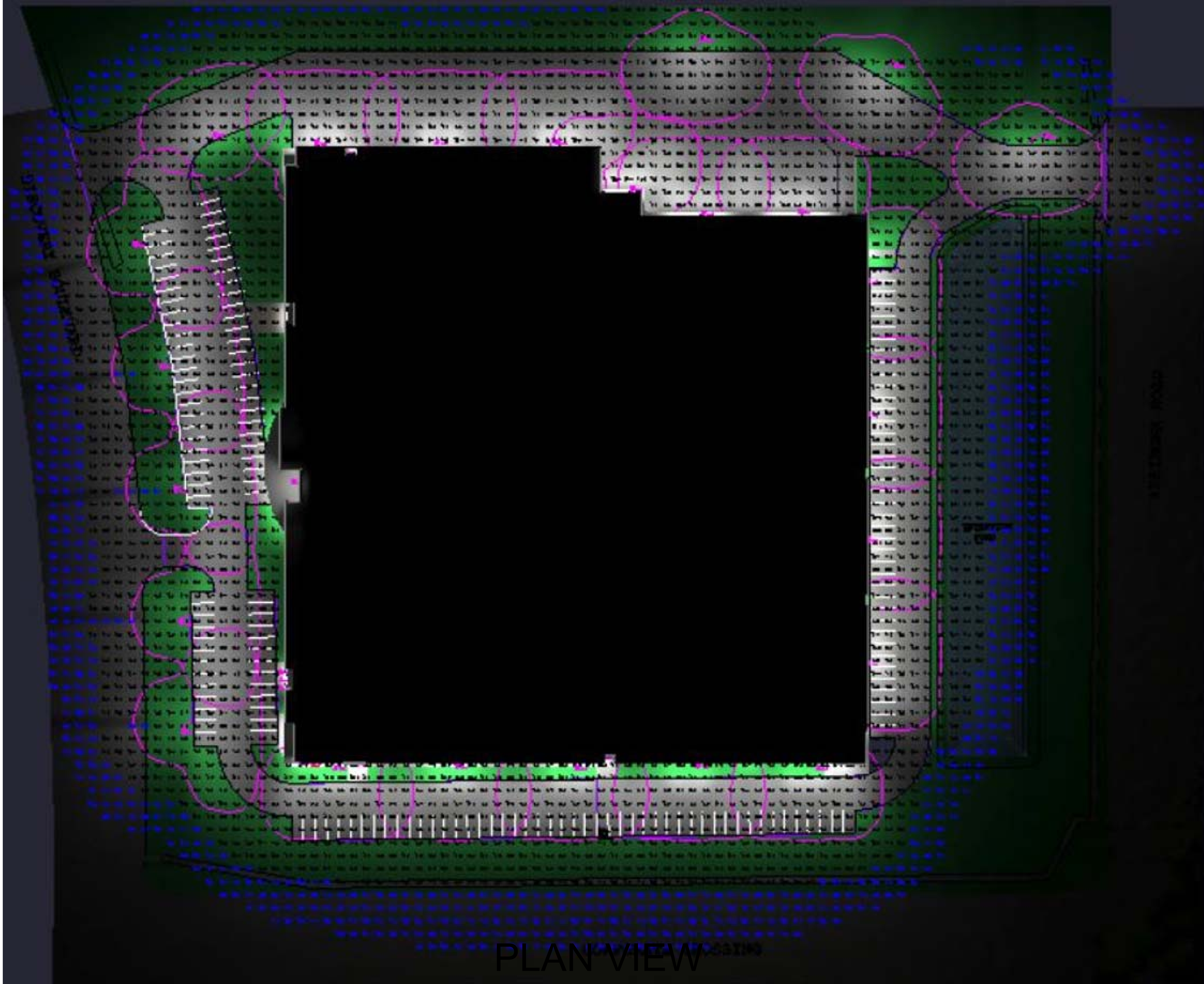
OPTICS (ROTATABLE)
UV-resistant acrylic optics, available in Type II, III, IV, V distributions. Silicone gasket ensures a weather-proof seal around each individual optic. Optics rotatable (90° increment) and interchangeable. Full cutoff (UC) when mounted with non-adjustable pole mount (PM) or 0 degree tilt with adjustable Splitter (SF), meets Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
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Long-life greater than 100,000 hr at L80.
Standard driver operates at 120-277V input, 0-10V dimmable driver, down to 10%. 50/60Hz, <20% THD, 0.9 power factor. Standard 4kV surge protection.
Optional 10kV surge protection.
Optional 347480V input.

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lumens	Total Watts
○	28	C	LIGHTOLIER # 6RN / P6R-DL-20-840-CD-P-210-U	0.95	2,000	(21) 588
□	4	P1A	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-17,235-40-T3-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS30-B-5-4-D190-BM	0.95	17,235	(150) 600
□	5	P1B	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-18,220-40-T4-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS30-B-5-4-D190-BM	0.95	18,220	(150) 750
□	12	WP2	ADVANTAGE LIGHTING SOLUTIONS # WFA-3/23-3,634-SC/4000K-DB-UD	0.95	3,634	(23) 305
□	15	WP3	ADVANTAGE LIGHTING SOLUTIONS # ALV-200-30,000-40-T4-DB-UNVD-MOUNT ALV-WM	0.95	30,000	(200) 3000

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts 1	ILLUMINANCE	Fc	1.69	21.6	0.1	16.90
PAVED SURFACE	ILLUMINANCE	Fc	2.80	12.9	0.1	28.00

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.

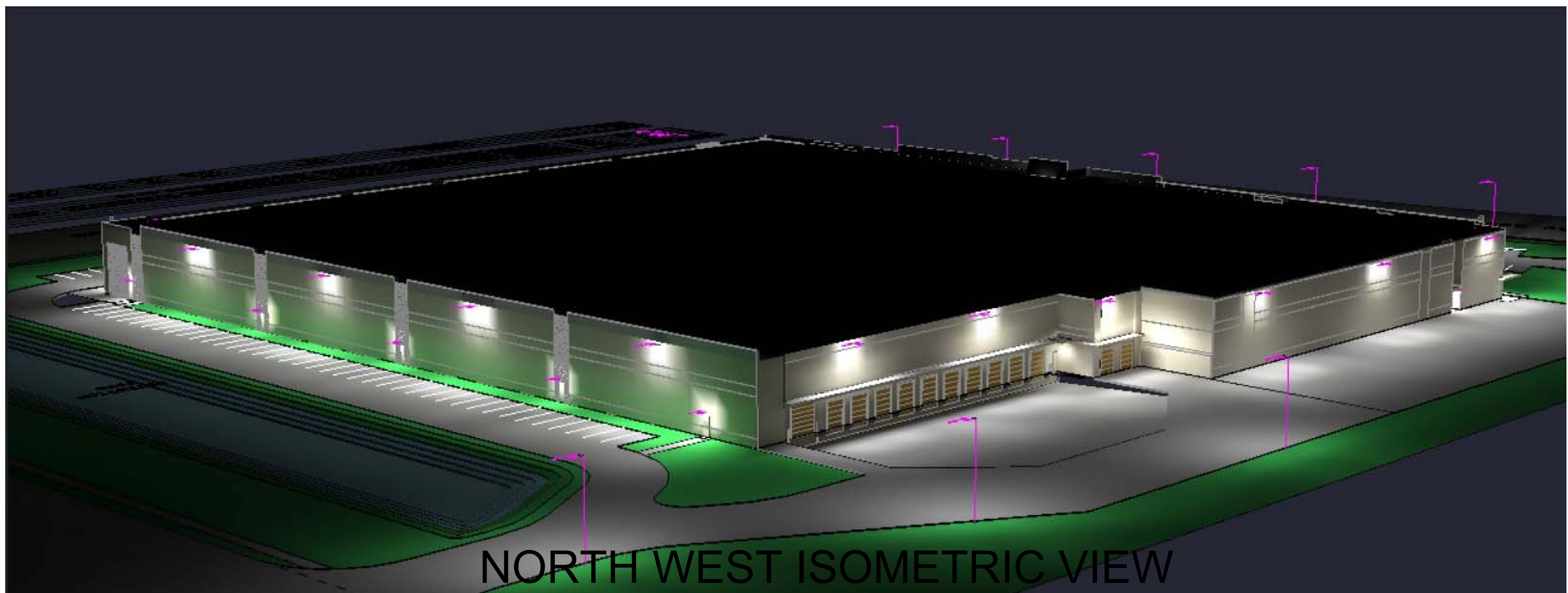


CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS
EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.



SOUTH EAST ISOMETRIC VIEW

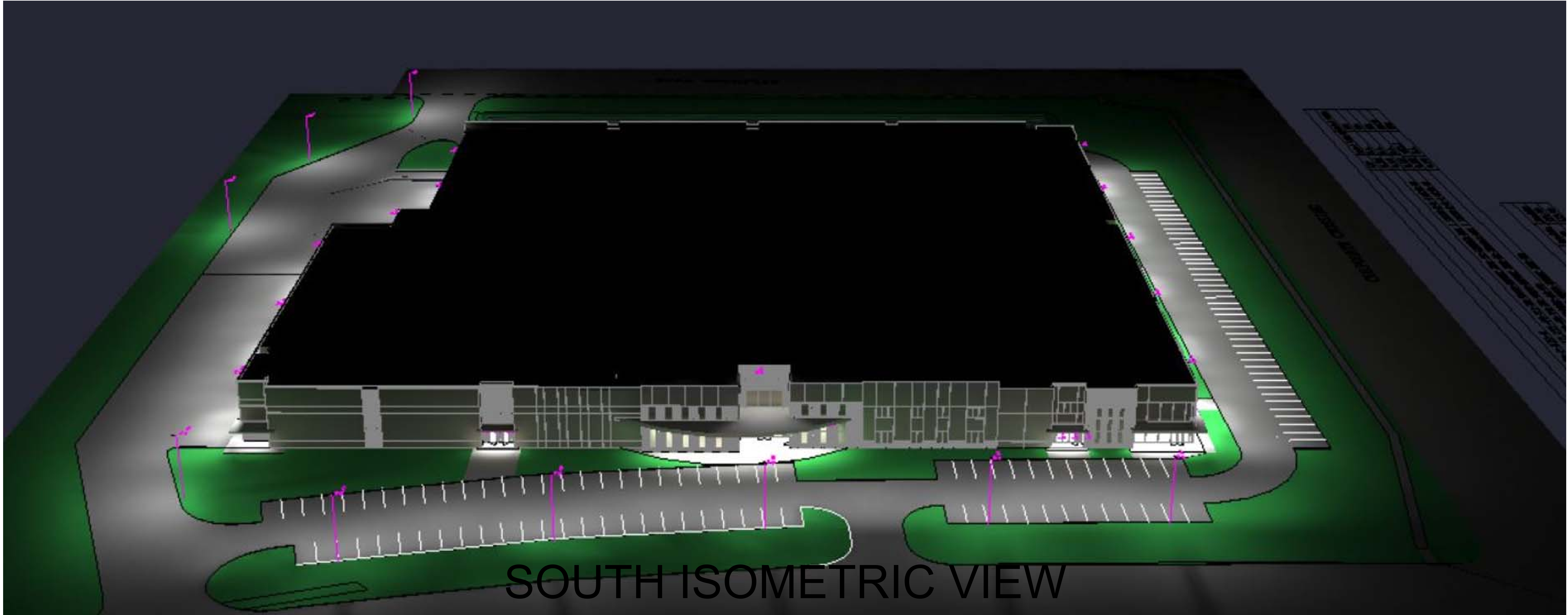


NORTH WEST ISOMETRIC VIEW

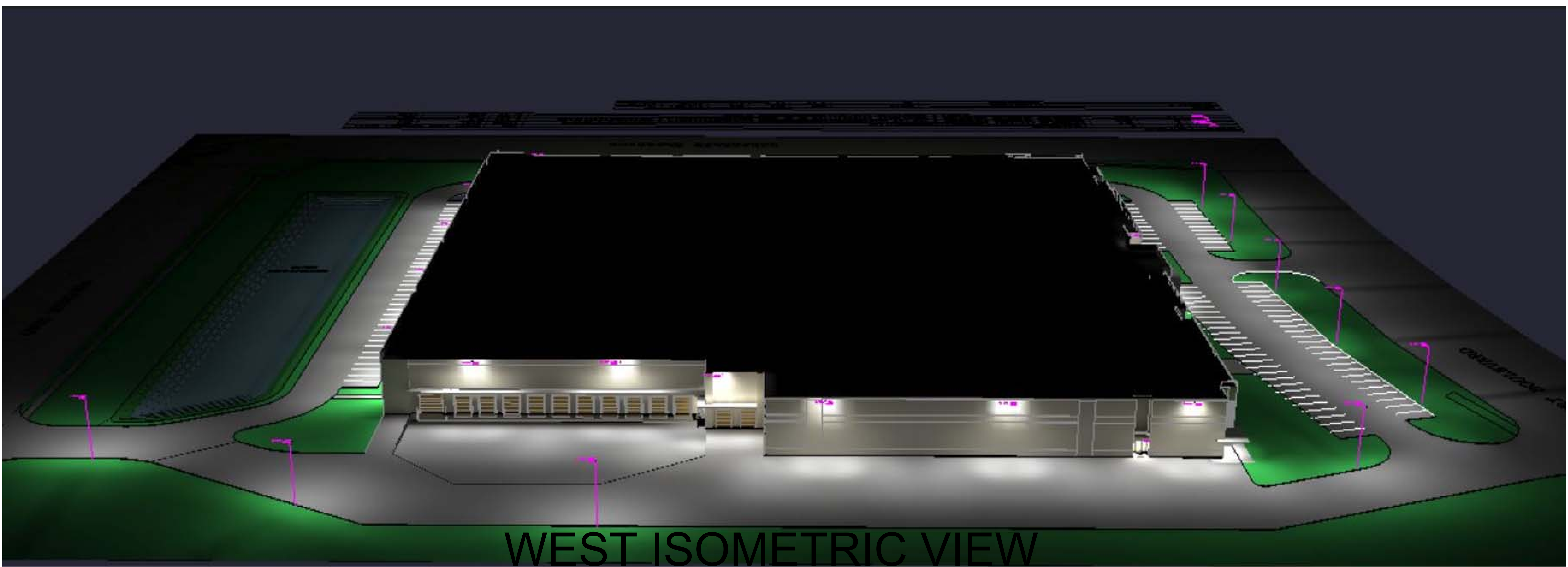
CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS

EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.



SOUTH ISOMETRIC VIEW



WEST ISOMETRIC VIEW

CHEWTERS CHOCOLATE FACILITY
ROCKWALL, TEXAS

EXTERIOR LIGHTING RECOMMENDATION & PHOTOMETRIC REPORT & RENDERINGS

Designer
D.POPE
Date
JUNE 17TH, 2022
Scale
Drawing No.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS			
SUBDIVISION	Rockwall Technology Park, Phase II	LOT	1
		BLOCK	B
GENERAL LOCATION	Southeast corner of Discovery Blvd & Corporate Crossing		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	unimproved
PROPOSED ZONING	Light Industrial with PD for factory store	PROPOSED USE	manufacturing/warehouse/office/factory store
ACREAGE	10.649	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

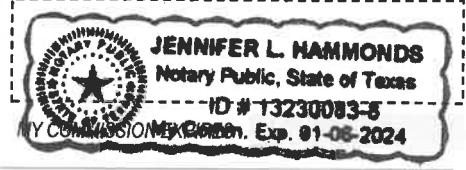
<input type="checkbox"/> OWNER	Rockwall Economic Development Corporation	<input checked="" type="checkbox"/> APPLICANT	db constructors
CONTACT PERSON	Matt Wavering	CONTACT PERSON	Matthew Peterson, AIA
ADDRESS	2610 Observation Trl, Suite 104	ADDRESS	2400 Great Southwest Parkway
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Fort Worth, TX 76106
PHONE	972-772-0025	PHONE	817-626-7300
E-MAIL	mwavering@rockwalledc.com	E-MAIL	matthew@dbconstructors.com

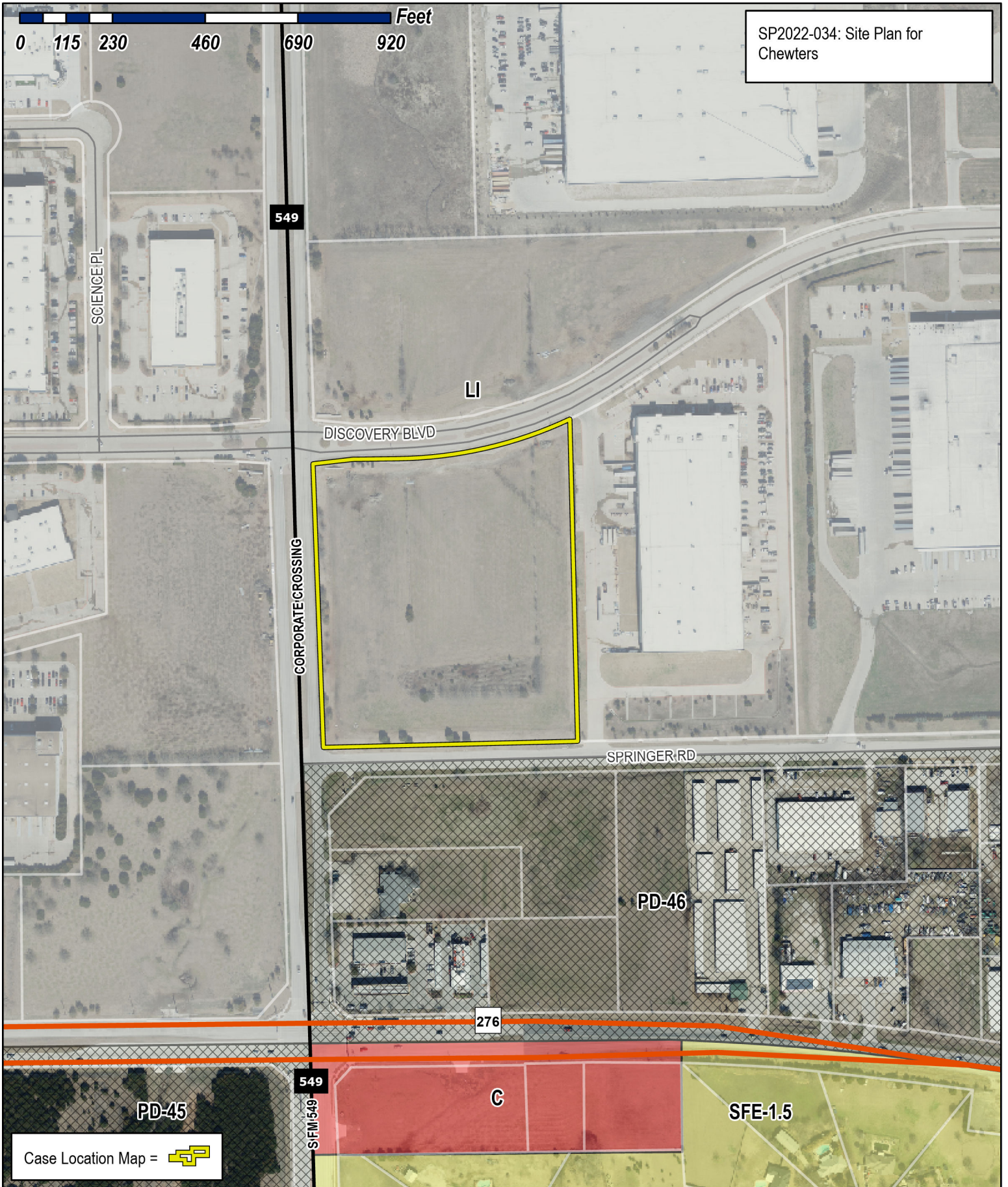
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 462.98 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF June, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2022
OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Bethany Ross
Planner
City of Rockwall
bross@rockwall.com
972.772.6488

RE : Site Plan Submittal : Chewters Chocolates
Discovery Boulevard
Lot 1, Block B Rockwall Technology Park

Ms. Ross,

First, we want to thank you for all of the assistance you have given us as we have been putting this together. We can't tell you how much we have appreciated it!

Enclosed within this package is the following :

1. Development Application
2. Civil Site Plan
3. Landscape Design Plans
4. Building Plan and Elevation Design Plans
5. 3D Rendering Boards
6. Photometric
7. Physical Sample Board
8. Email from David Scott (NTMWB) discussing the easement
9. Letter from Chewters Chocolates discussing their employee head count

We look forward to working through the process with the City of Rockwall on this project!

Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', with a long horizontal flourish extending to the right.

Matthew J Peterson, AIA
Vice-President of Design & Development



Chewters Chocolates
1648 Derwent Way
Delta, BC
V3M 6R9

Att: Matthew Peterson
DB Constructors, Inc
2400 Great Southwest Parkway
Fort Worth, TX
76106

Subject: Parking Spaces – Rockwall, TX Facility

Matthew,

In response to your request regarding the number of full-time employees forecasted to be working at the new Chewters Chocolates facility in Rockwall, TX, we anticipate the following based on our current business growth forecast.

The production schedule for the facility will be based on a 3 shift rotation, so the hourly head count will be spread across the 3 production shifts. During shift change, at 7:00am, 3:00pm, and 11:00pm, we will have overlap of employees. Salaried employees will predominantly be working during the day shift, with overlap onto the afternoon and midnight shift.

	Total Employees	Salaried	Hourly	Max Per Day Shift
Year 1	19 employees	5 employees	14 employees	12 employees
Year 2	31 employees	5 employees	26 employees	20 employees
Year 3	43 employees	7 employees	36 employees	24 employees
Year 4	60 employees	10 employees	50 employees	30 employees
Year 5	90 employees	20 employees	70 employees	45 employees
Year 6	90 employees	20 employees	70 employees	55 employees
Year 7	110 employees	25 employees	85 employees	60 employees
Year 8	110 employees	25 employees	85 employees	60 employees
Year 9	110 employees	25 employees	85 employees	60 employees
Year 10	120 employees	30 employees	90 employees	65 employees

We anticipate a total of 120 full-time employees will work at the Rockwall facility. The maximum number of employees working on the day shift will be 65. The number of employee parking spaces requires to support day shift employees, plus shift change over-lap is 125 parking spaces.

Please contact me if have any questions or require additional information.

Regards,

John Oucharek
Vice President, Operations

Matthew Peterson

From: David Scott <dscott@NTMWD.COM> on behalf of David Scott
Sent: Friday, 13 May, 2022 08:16
To: Cameron Ehn
Cc: Matthew Peterson
Subject: RE: Chewters - New Development Coor.

Shrubs or Crepe Myrtles are okay

From: Cameron Ehn <cameron@dbconstructors.com>
Sent: Thursday, May 12, 2022 4:57 PM
To: David Scott <dscott@NTMWD.COM>
Cc: Matthew Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Thanks David. Appreciate the quick turnaround.

Also to confirm, we are allowed to plan shrubs and ornamental trees within the easement correct?



Cameron Ehn, PE
Director of Engineering
O: 817-626-7300 x110
M: 940-597-5146
E: cameron@dbconstructors.com
2400 Great Southwest Parkway
Fort Worth, TX 76106
www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020

From: David Scott <dscott@NTMWD.COM>
Sent: Thursday, May 12, 2022 4:50 PM
To: Cameron Ehn <cameron@dbconstructors.com>
Cc: Matthew J. Peterson <matthew@dbconstructors.com>
Subject: RE: Chewters - New Development Coor.

Cameron, Here's our waterline plans and notes for your drwgs. There are several above ground appurtenances in this area as noted on plans.

Notes and instructions below:

The following NTMWD notes shall be included on the cover sheet, grading, paving, storm sewer, water and sewer, illumination and landscaping plan sheets or referenced by note.

"NTMWD NOTES"

- A. North Texas Municipal Water District (NTMWD) 84-inch water transmission pipeline is located within limits of construction.

- B. Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
- C. To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
- D. A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
- E. Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
- F. Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
- G. Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines.
- H. "The contractor shall contact NTMWD Line Locates at (469) 626-4569 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities."

Regards

David Scott

Program Manager

North Texas Municipal Water District

[505 E. Brown Street | Wylie, Texas 75098](#)

Direct: 469.626.4712 | Cell: 214.733.4986

dscott@ntmwd.com

From: Cameron Ehn <cameron@dbconstructors.com>

Sent: Thursday, May 12, 2022 3:48 PM

To: David Scott <dscott@NTMWD.COM>

Cc: Matthew J. Peterson <matthew@dbconstructors.com>

Subject: Chewters - New Development Coor.

Afternoon Scott,

Appreciate you taking my call earlier. Per our discussion I've attached our Conceptual Site Plan. We have some tweaks to make, but we don't expect things to change drastically. As it relates to your line, we plan on putting standard car parking over the top of it as well as a drive isle/fire lane.

Please review the attached at your earliest convenience. We're still in the conceptual design phase, but we hope to have more robust plans to share in the coming weeks. We will forward those along as soon as they're ready. In the meantime, if you have any questions or need additional information do not hesitate to ask.

Sincerely,



Cameron Ehn, PE
Director of Engineering

O: 817-626-7300 x110

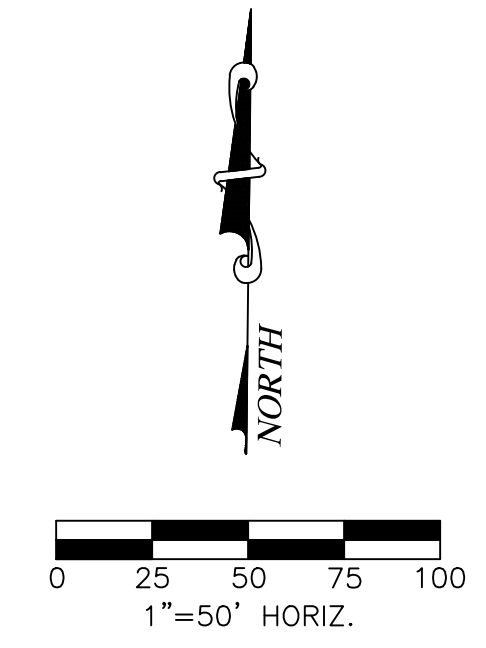
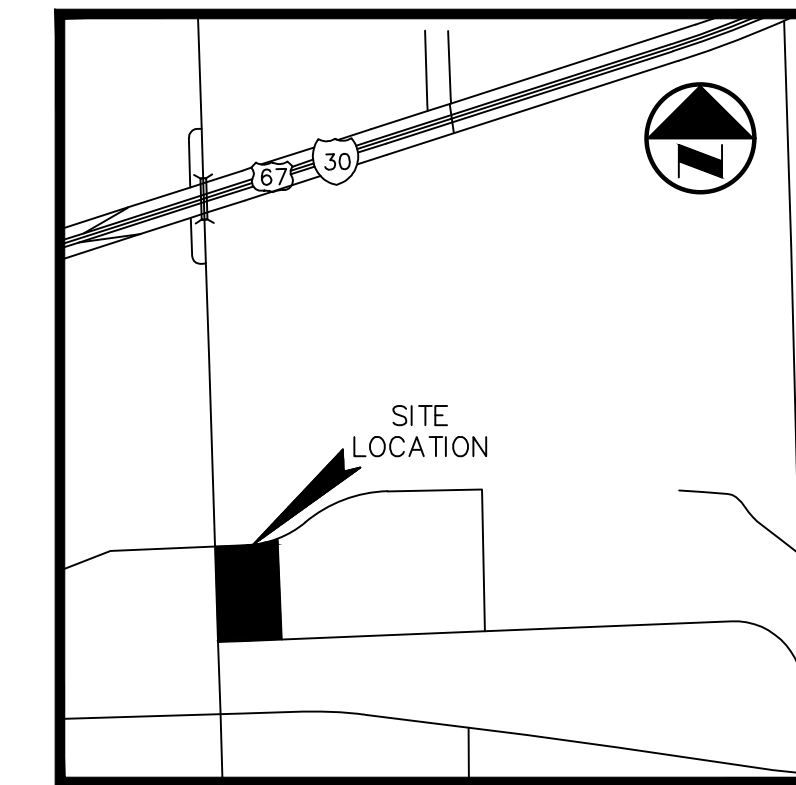
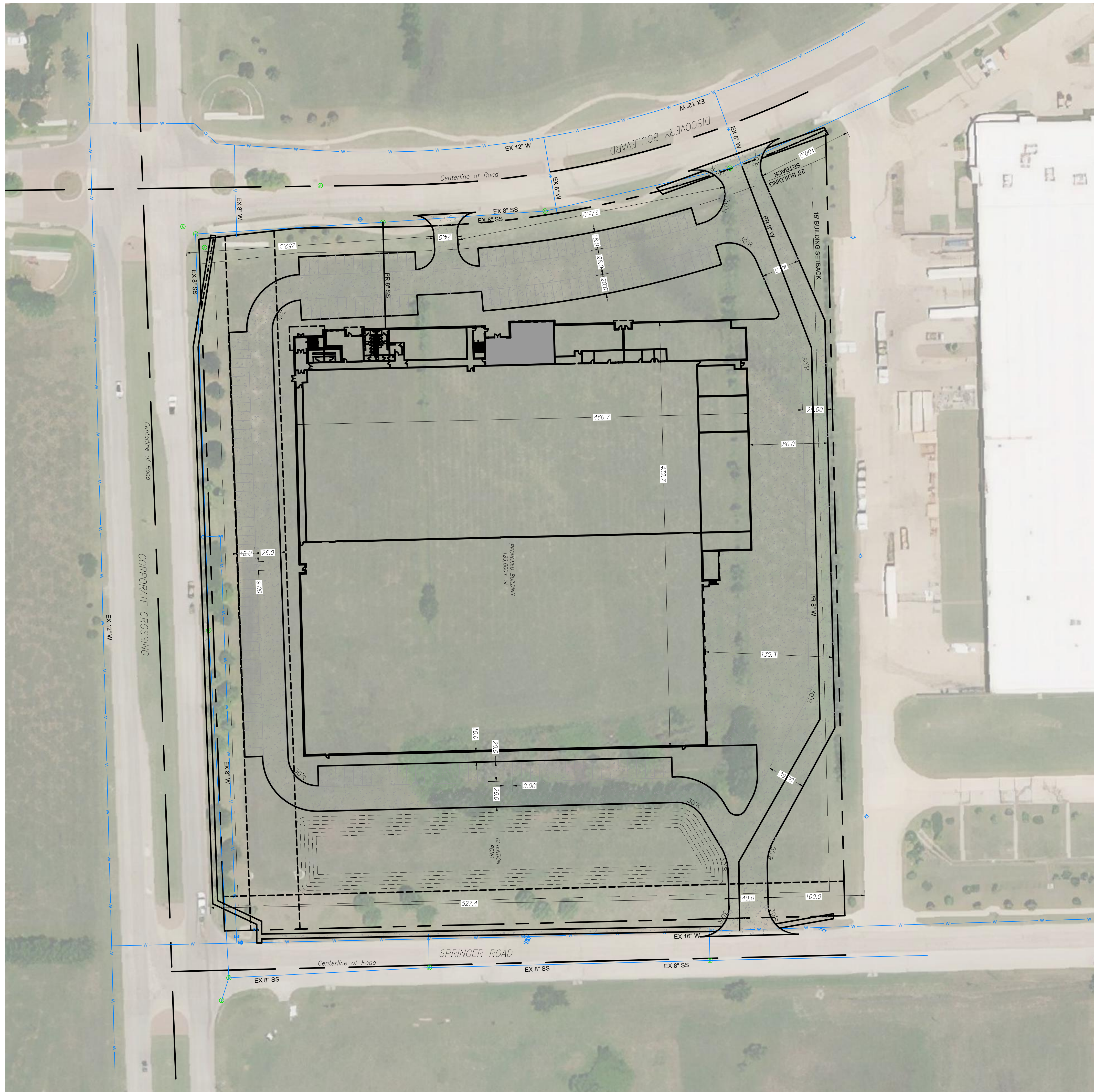
M: 940-597-5146

E: cameron@dbconstructors.com

2400 Great Southwest Parkway
Fort Worth, TX 76106

www.dbconstructors.com

Top 50 North Texas General Contractors – Dallas Business Journal 2020



CHEWTERS CHOCOLATE

16-Jun-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2,944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): 298 SPACES

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

Notes:

1. Parking adjacent to building are 9'x20'
2. Parking not adjacent to building are 9'x18'
3. Site is utilizing trash compactors. See building architecture.
4. We are not anticipating pad mounted utilities.
5. All HVAC units will be mounted on the roof.
6. Detention will be provided. Maximum slope on pond shown is 4:1
7. Variance requested for driveway spacing as part of the application.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING
COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2022.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2022.

PLANNING & ZONING COMMISSION,
CHARIMAN

DIRECTOR OF PLANNING AND ZONING

DCG ENGINEERING

DCG Engineering, Inc.
1668 Keller Parkway, Suite 100
Keller, TX 76248
Phone: (817) 874-2941 or (817) 201-4477
www.dcgengineering.com
Engineering Firm Registration Number F-21947

**PRELIMINARY
FOR REVIEW ONLY**
Not for Construction or Permit Purposes

Engineer: _____ ENGINEER
P.E. No. _____ PE# _____ Date _____ DATE

REV.	DATE	CHANGE	BY
-	06-17-2022	SITE PLAN SUBMITTAL	MP
-	07-06-2022	SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS



db constructors, inc.
2400 GREAT SOUTHWEST
PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

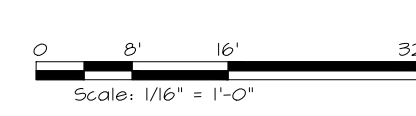
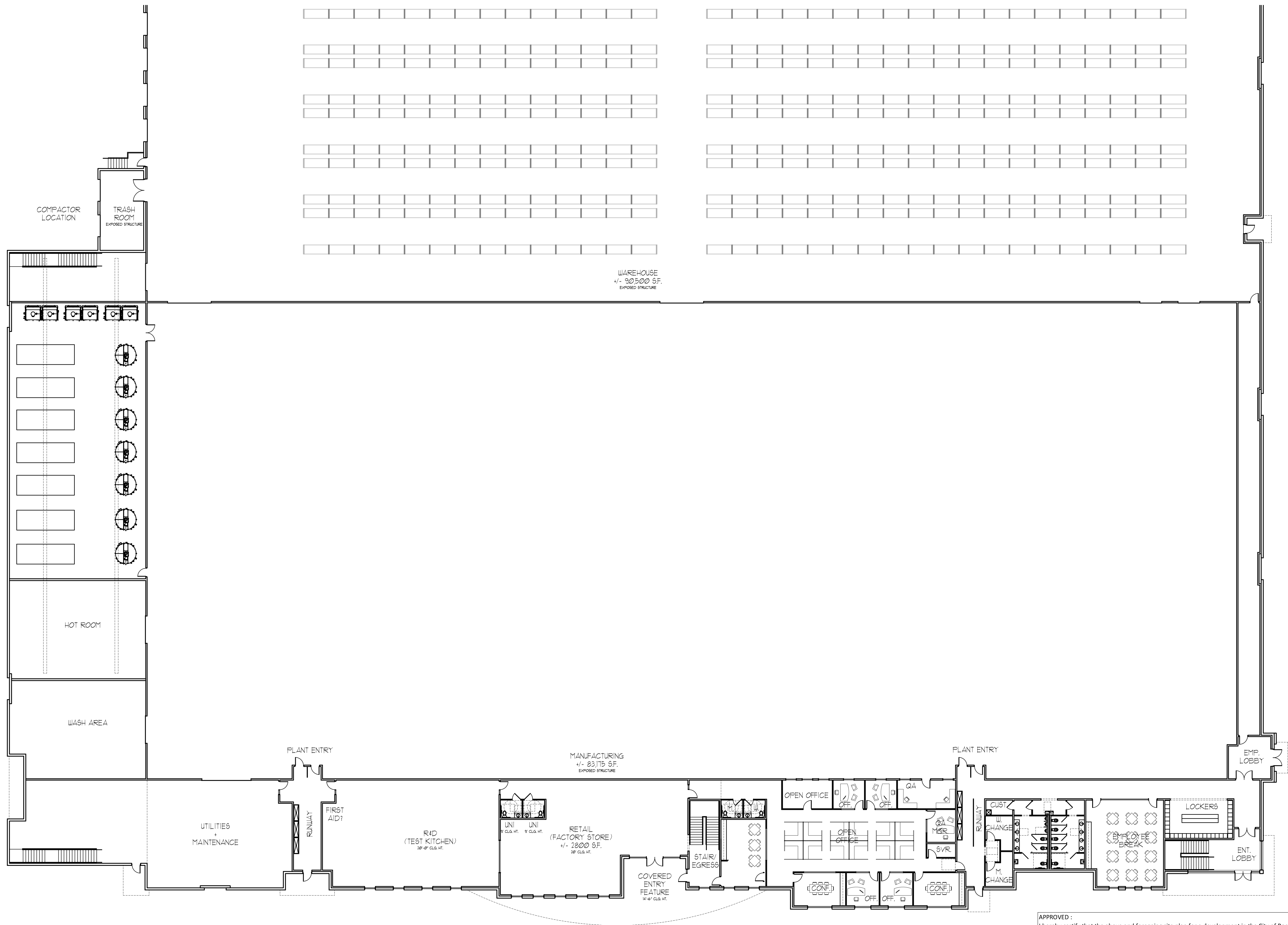
APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

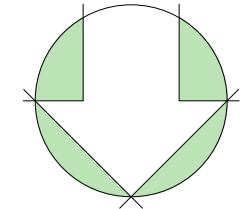
Case No. **SP2022-34**

DATE: **2022.06.15**



1 BUILDING PLAN OVERALL

SCALE: 1/16" = 1'-0"



APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06.17.2022	SITE PLAN SUBMITTAL	MP
-	07.06.2022	SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
 2911 DISCOVERY BLVD / LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 ROCKWALL, TEXAS

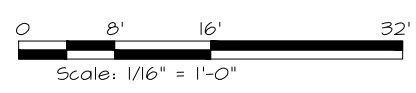
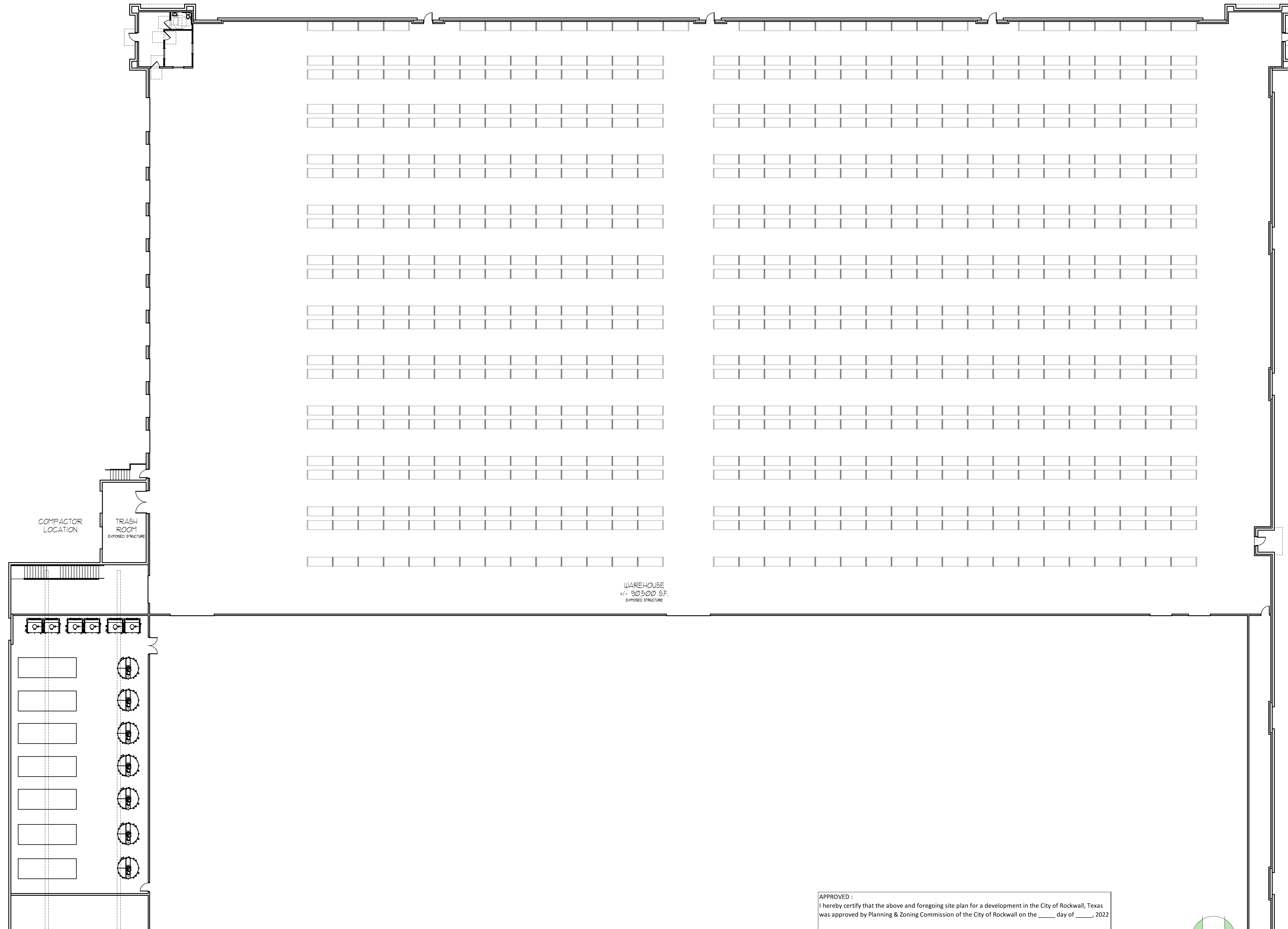

 db constructors, inc.
 2400 GREAT SOUTHWEST PARKWAY
 FORT WORTH, TX
 817.626.7300
 INFO@DBCSTRUCTORS.COM

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 2610 OBSERVATION TRAIL
 ROCKWALL, TX
 972.772.0025

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 1648 DERWENT WAY
 DELTA, BC
 604.515.7117

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	SP2022-34	
DATE:	2022.06.15	
BLDG. PLAN		
A-1A		



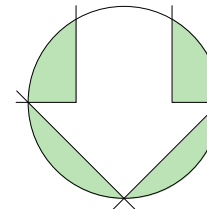
1 BUILDING PLAN OVERALL - MATCH FROM PREVIOUS
SCALE: 1/16" = 1'-0"

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



PLAN STATUS		
REV.	DATE	CHANGE BY
-	06.17.2022	SITE PLAN SUBMITTAL MP
-	07.06.2022	SP RESUBMITTAL MP

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS



db constructors, inc.
2400 GREAT SOUTHWEST
PARKWAY
FORT WORTH, TX
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INFO@DBCONSTRUCTORS.COM

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MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	SP2022-34	
DATE:	2022.06.15	
BLDG. PLAN A-1B		

CHEWTERS CHOCOLATE

15-Jun-22
01-Jul-22 REVISED

FRONT ELEVATION :
(DISCOVERY BLVD)

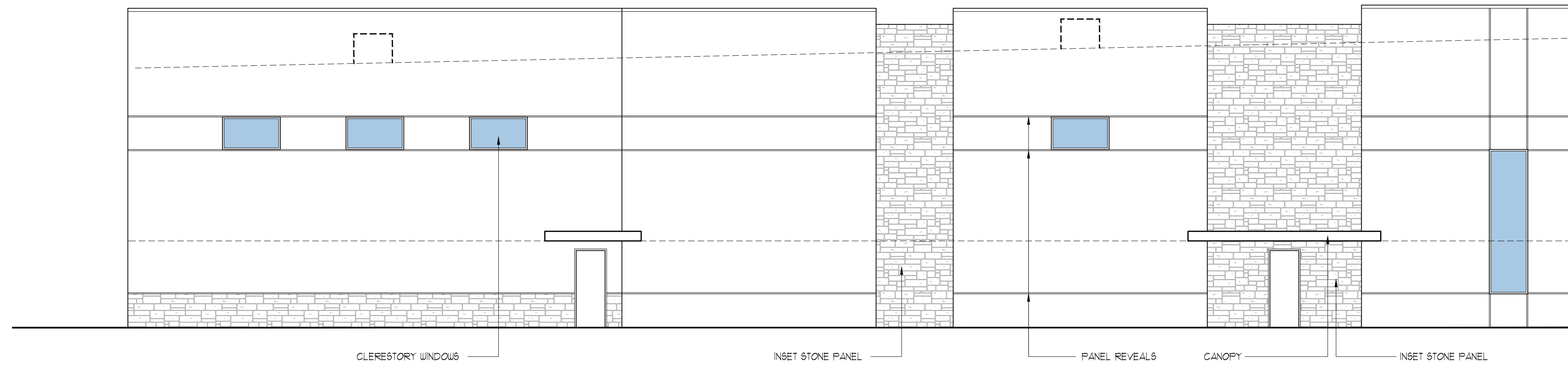
TOTAL FRONT ELEVATION AREA :	15793 SF
DOORS & GLAZING :	2762 SF
DOOR & GLAZING PERCENTAGE :	17%
NET FRONT ELEVATION AREA :	13031 SF
STONE :	3466 SF
STONE PERCENTAGE :	27%
PAINTED TILT PANEL :	73%

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13960 SF
DOORS & GLAZING :	482 SF
DOOR & GLAZING PERCENTAGE :	3%
NET FRONT ELEVATION AREA :	13478 SF
STONE :	2686 SF
STONE PERCENTAGE :	20%
PAINTED TILT PANEL :	80%

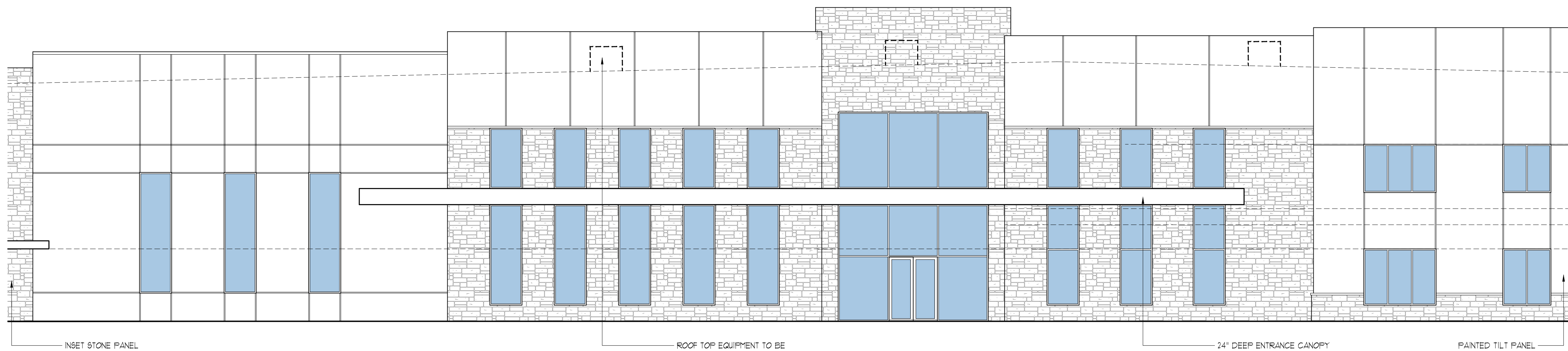
REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15400 SF
DOORS & GLAZING :	24 SF
DOOR & GLAZING PERCENTAGE :	0.2%
NET FRONT ELEVATION AREA :	15376 SF
STONE :	2610 SF
STONE PERCENTAGE :	17%
PAINTED TILT PANEL :	83%



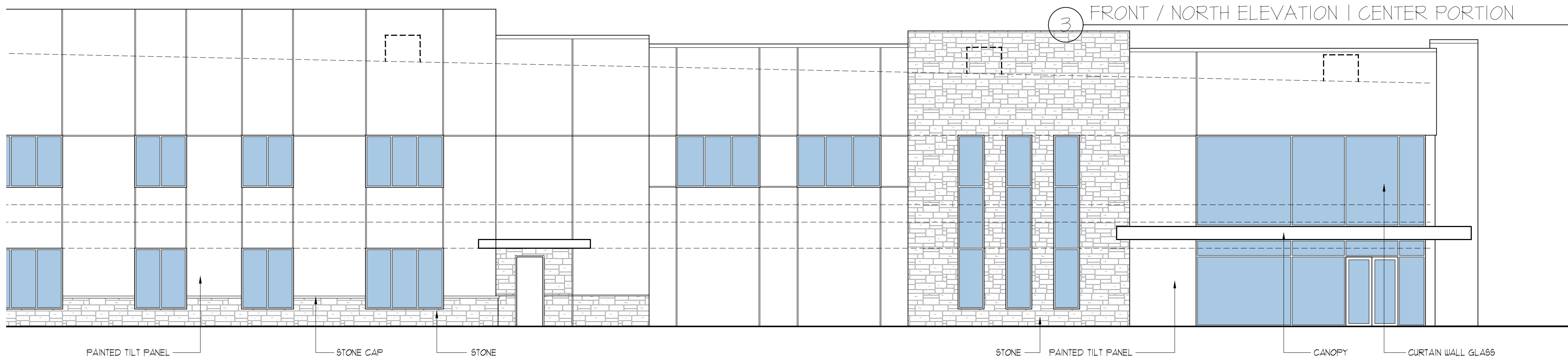
4 FRONT / NORTH ELEVATION | EAST PORTION

SCALE: 1/8" = 1'-0"



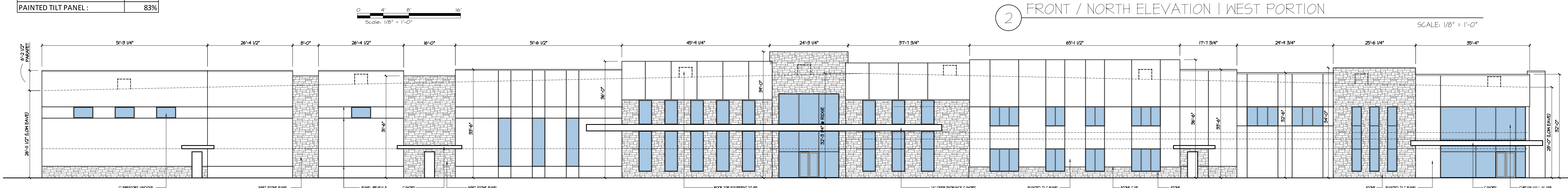
3 FRONT / NORTH ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



2 FRONT / NORTH ELEVATION | WEST PORTION

SCALE: 1/8" = 1'-0"



1 FRONT / NORTH ELEVATION | DISCOVERY BLVD

SCALE: 1/16" = 1'-0"

APPROVED :
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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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-	07.06.2022	SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
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DESIGN	DRAWN	CHKD
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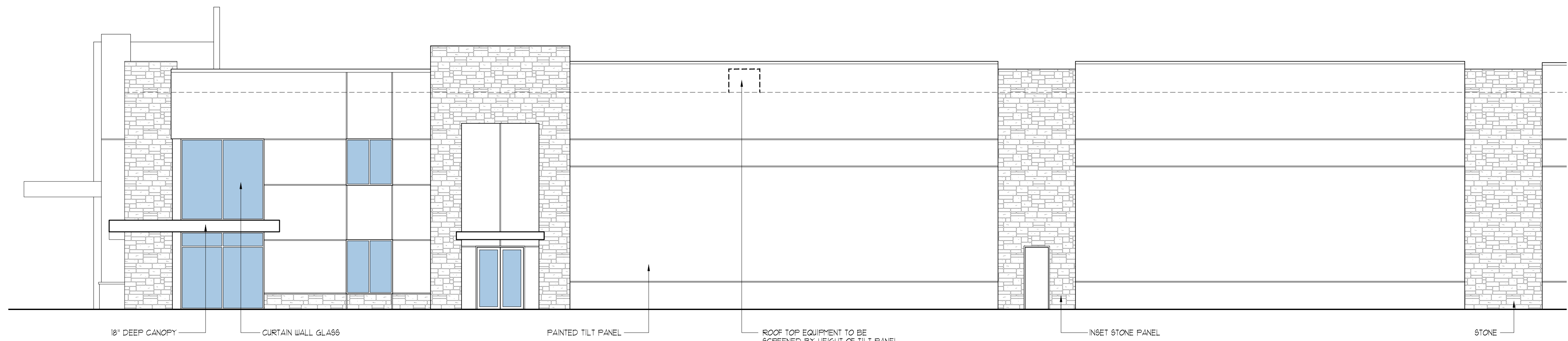
CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2022.06.15

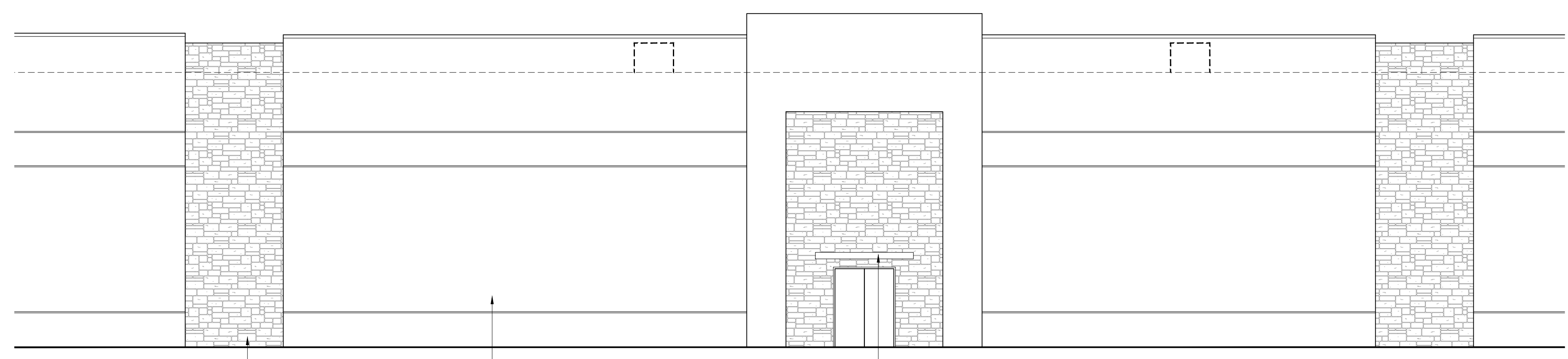
FRONT ELEV.

A-2



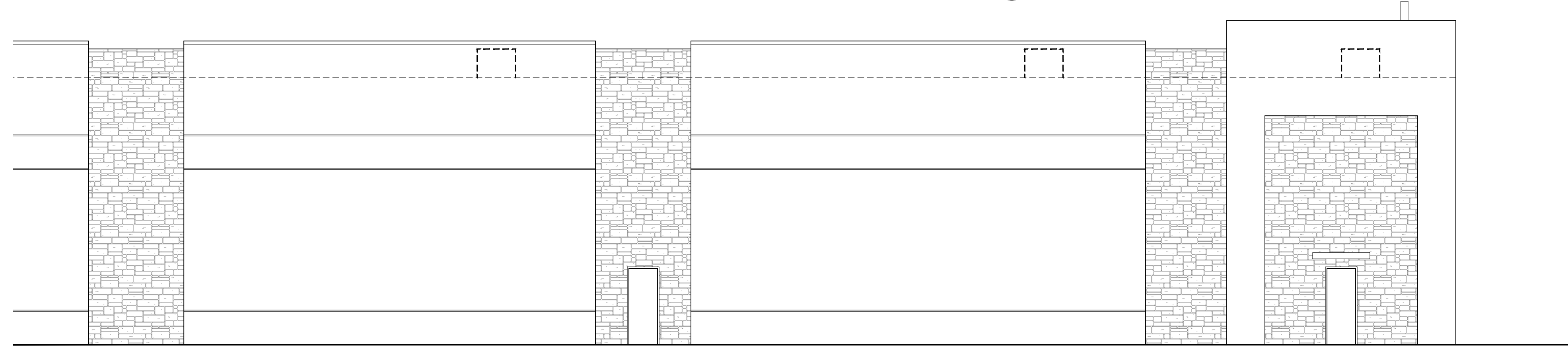
4 RIGHT / WEST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



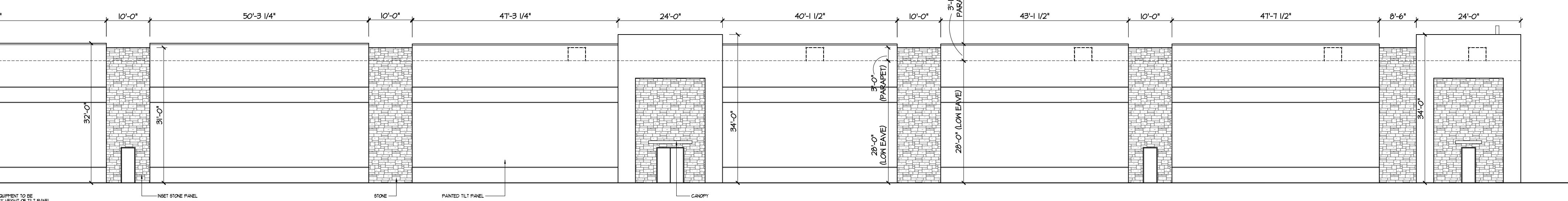
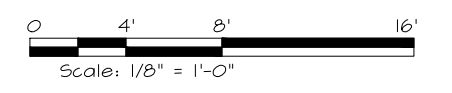
3 RIGHT / WEST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



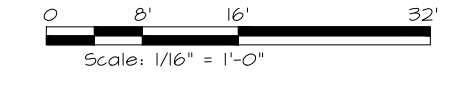
2 RIGHT / WEST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"



1 RIGHT SIDE / WEST ELEVATION | CORPORATE CROSSING

SCALE: 1/16" = 1'-0"



CHEWTERS CHOCOLATE

15-Jun-22
01-Jul-22 REVISED

FRONT ELEVATION :
(DISCOVERY BLVD)

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-	06.17.2022	MP	SITE PLAN SUBMITTAL
-	07.06.2022	MP	SP RESUBMITTAL

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
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ROCKWALL, TEXAS


db constructors, inc.
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DELTA, BC
604.515.7117

APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2022.06.15

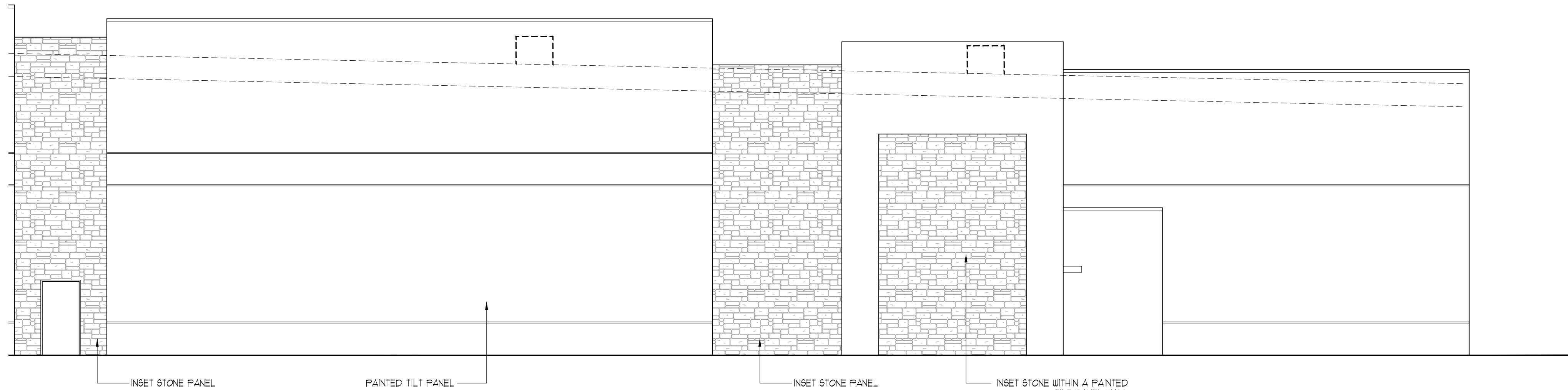
SIDE ELEV.
A-3

APPROVED :
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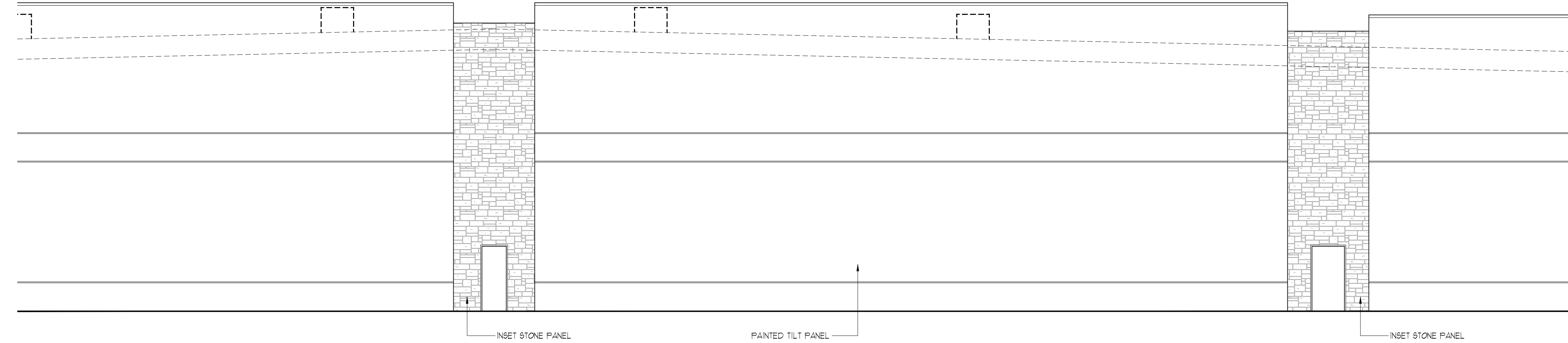
WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

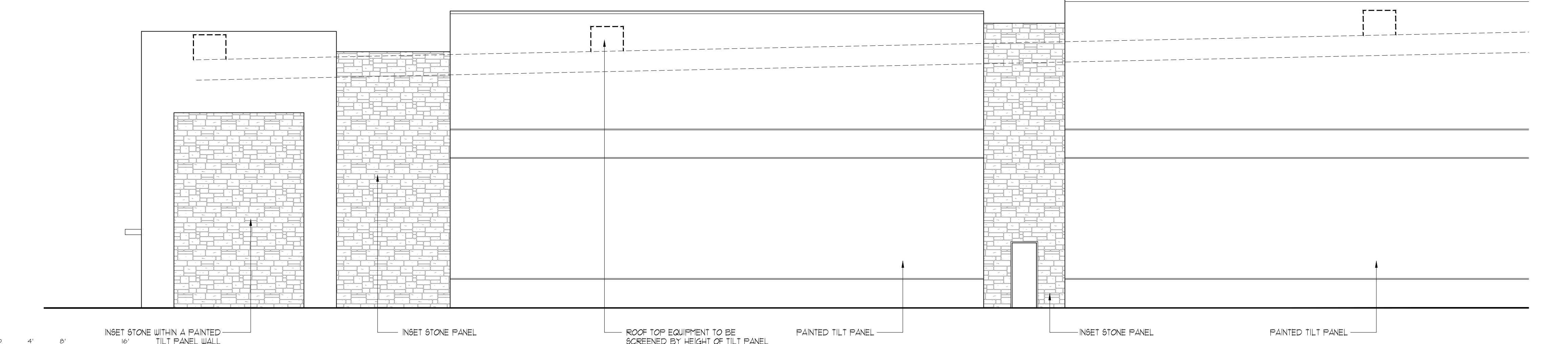
Director of Planning and Zoning



4 REAR / SOUTH ELEVATION | SPRINGER LANE - EAST PORTION
SCALE: 1/8" = 1'-0"



3 REAR / SOUTH ELEVATION | SPRINGER LANE - CENTER PORTION
SCALE: 1/8" = 1'-0"



2 REAR / SOUTH ELEVATION | SPRINGER LANE - WEST PORTION
SCALE: 1/8" = 1'-0"

CHEWTERS CHOCOLATE
15-Jun-22
01-Jul-22 REVISED
FRONT ELEVATION :
(DISCOVERY BLVD)

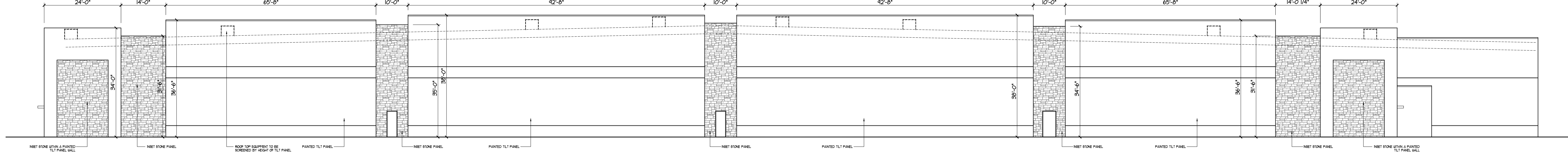
TOTAL FRONT ELEVATION AREA :	15793 SF
DOORS & GLAZING :	2762 SF
DOOR & GLAZING PERCENTAGE :	17%
NET FRONT ELEVATION AREA :	13031 SF
STONE :	3466 SF
STONE PERCENTAGE :	27%
PAINTED TILT PANEL :	73%

RIGHT ELEVATION :
(CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13960 SF
DOORS & GLAZING :	482 SF
DOOR & GLAZING PERCENTAGE :	3%
NET FRONT ELEVATION AREA :	13478 SF
STONE :	2686 SF
STONE PERCENTAGE :	20%
PAINTED TILT PANEL :	80%

REAR ELEVATION :
(SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15400 SF
DOORS & GLAZING :	24 SF
DOOR & GLAZING PERCENTAGE :	0.2%
NET FRONT ELEVATION AREA :	15376 SF
STONE :	2610 SF
STONE PERCENTAGE :	17%
PAINTED TILT PANEL :	83%



1 REAR / SOUTH ELEVATION | SPRINGER LANE
SCALE: 1/16" = 1'-0"

APPROVED :
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022
WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman Director of Planning and Zoning

REV.	DATE	PLAN STATUS	CHANGE BY
-	06.17.2022	SITE PLAN SUBMITTAL	MP
-	07.06.2022	SP RESUBMITTAL	MP

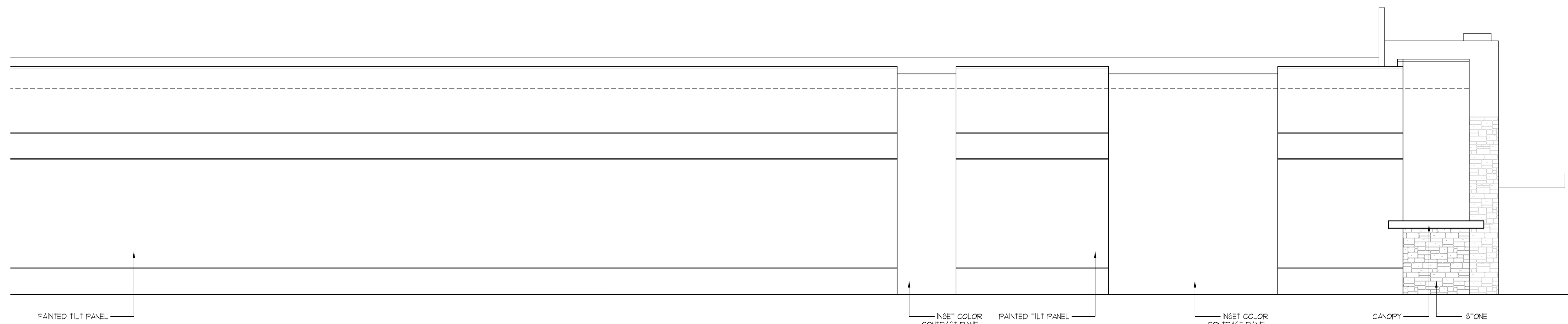
CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS

db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025
CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117
APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

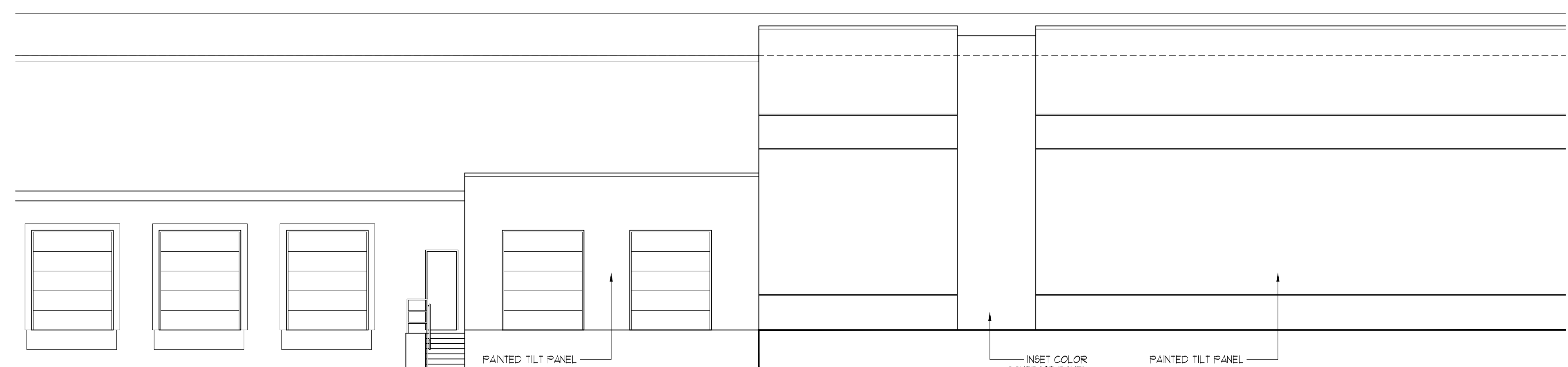
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE
Case No. SP2022-34
DATE: 2022.06.15
REAR ELEV.
A-4



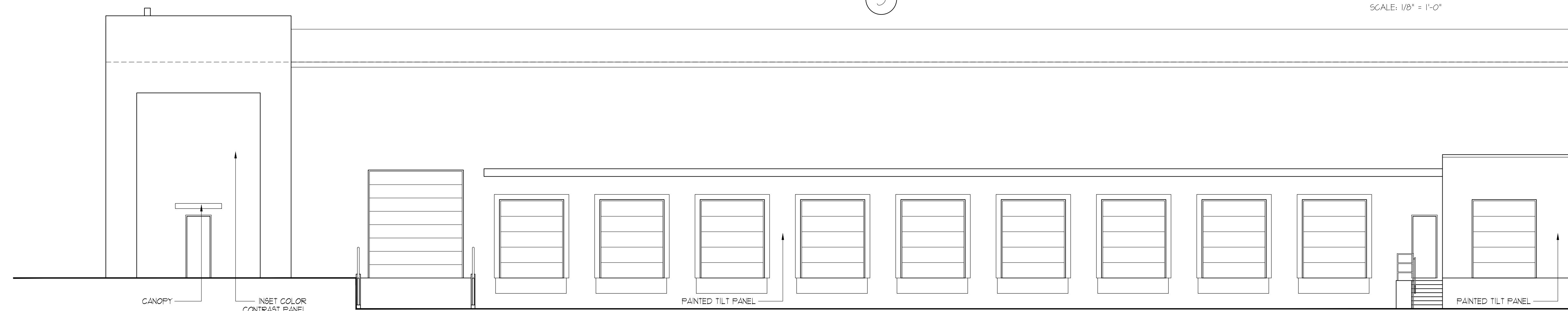
4 LEFT / EAST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



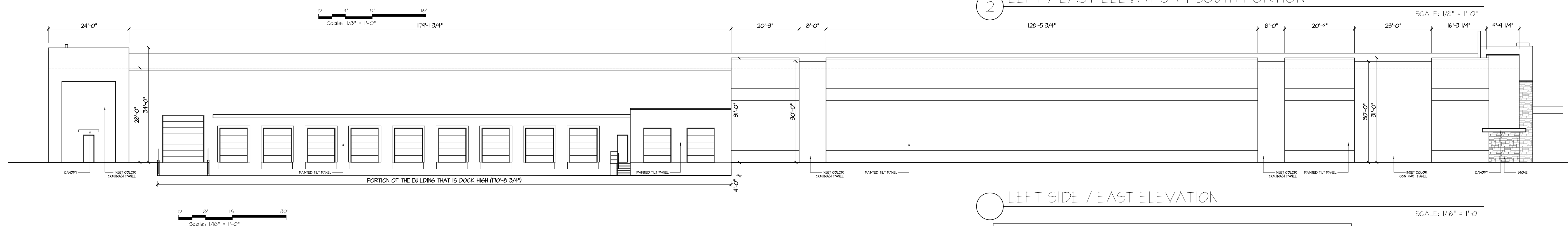
3 LEFT / EAST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



2 LEFT / EAST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"



1 LEFT SIDE / EAST ELEVATION

SCALE: 1/16" = 1'-0"

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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
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DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	SP2022-34	
DATE:	2022.06.15	
SIDE ELEV.		
A-5		



**CHEWTERS CHOCOLATES
ELEVATION AESTHETICS**





**CHEWTERS CHOCOLATES
DISCOVERY BLVD ELEVATION**





**CHEWTERS CHOCOLATES
CORPORATE CROSSING ELEVATION**



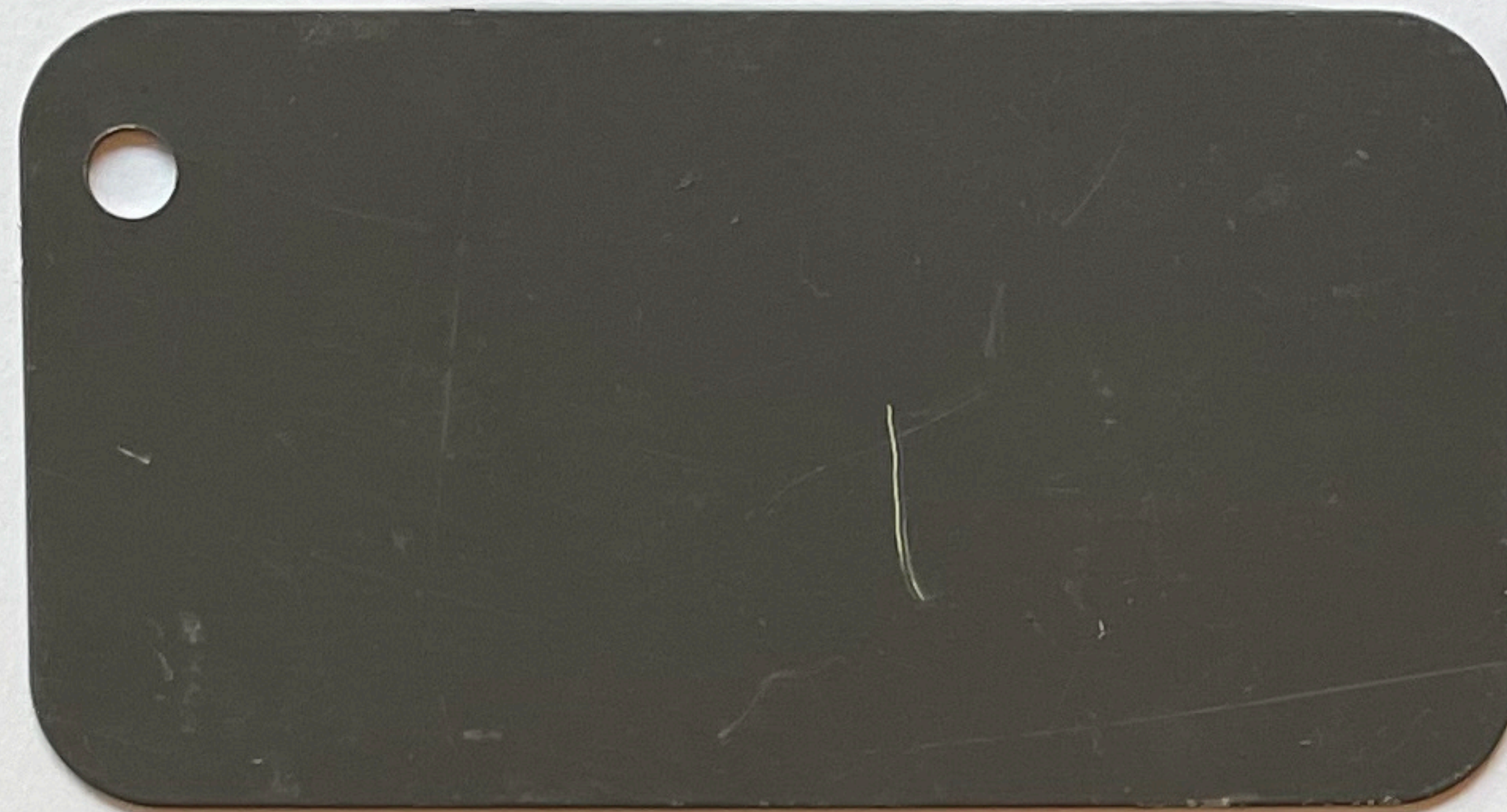


**CHEWTERS CHOCOLATES
SPRINGER ROAD ELEVATION**





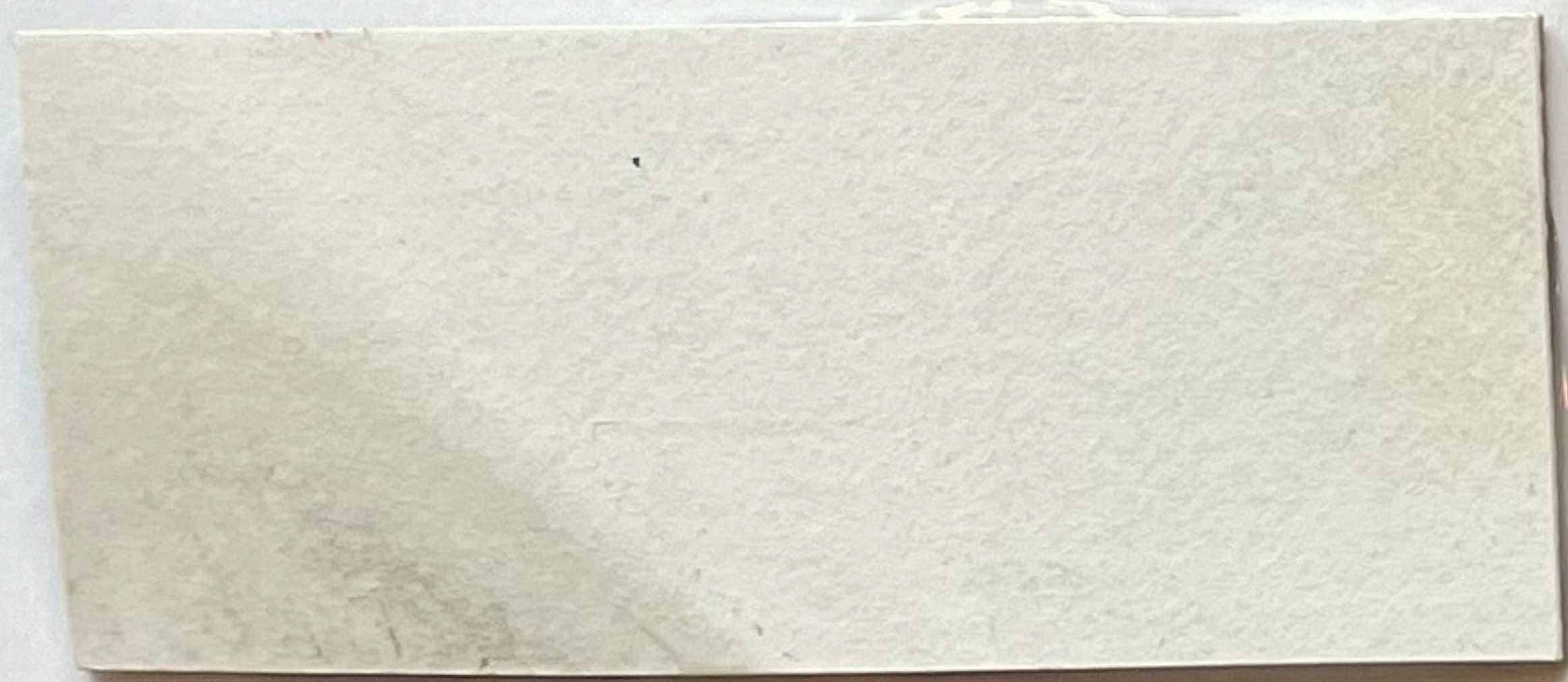
6. low e glass, neutral tint (slight gray/blue tone)



4. charcoal aluminum (awning)



5. dark bronze (window/door frames)



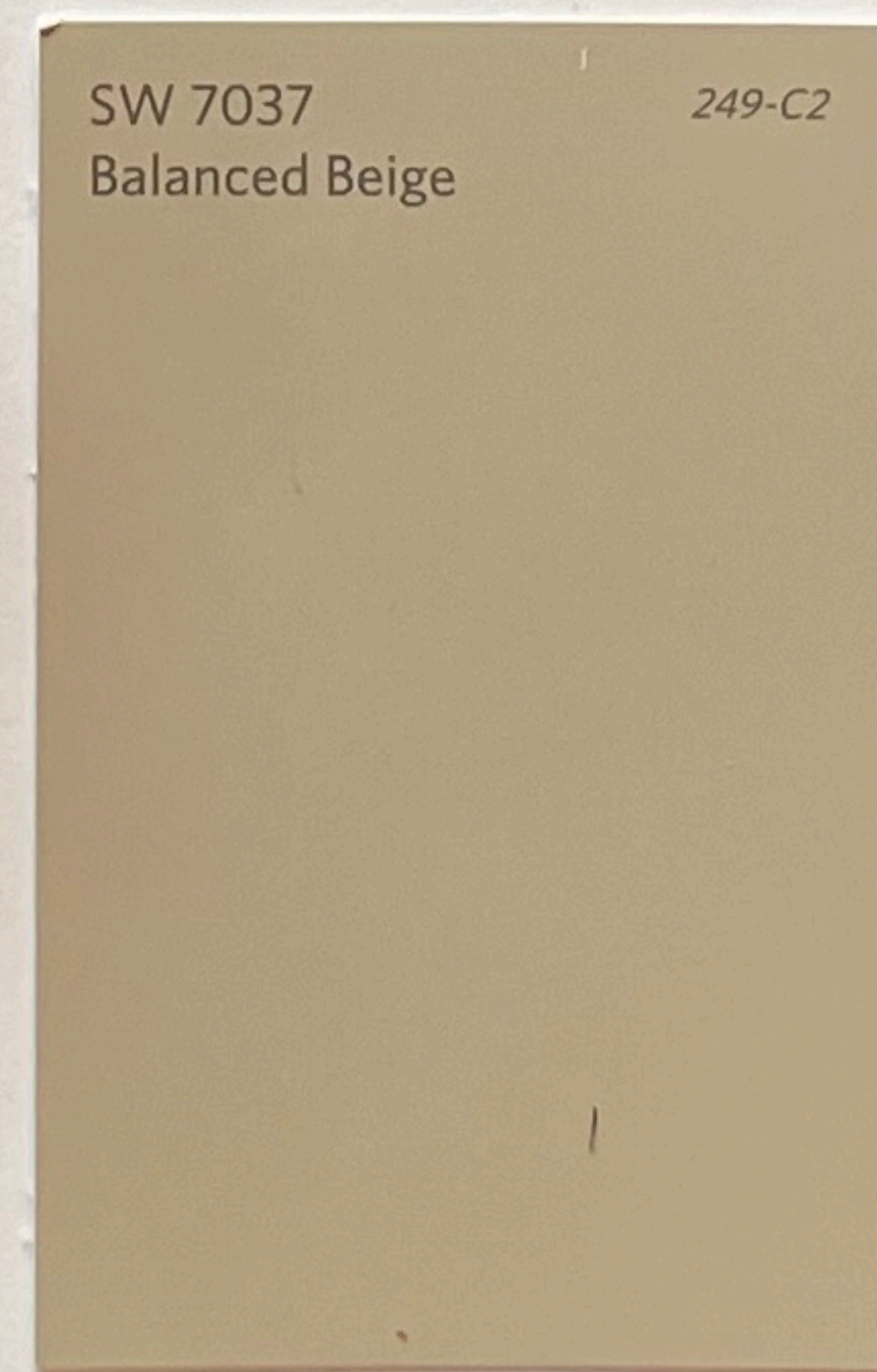
7. white tpo membrane roof (not shown in rendering)



artist rendering depicting desired color scheme



1. stone : equivalent to marble stack stone by texas stone designs, inc



2. main body panel color : sw7037 balanced beige



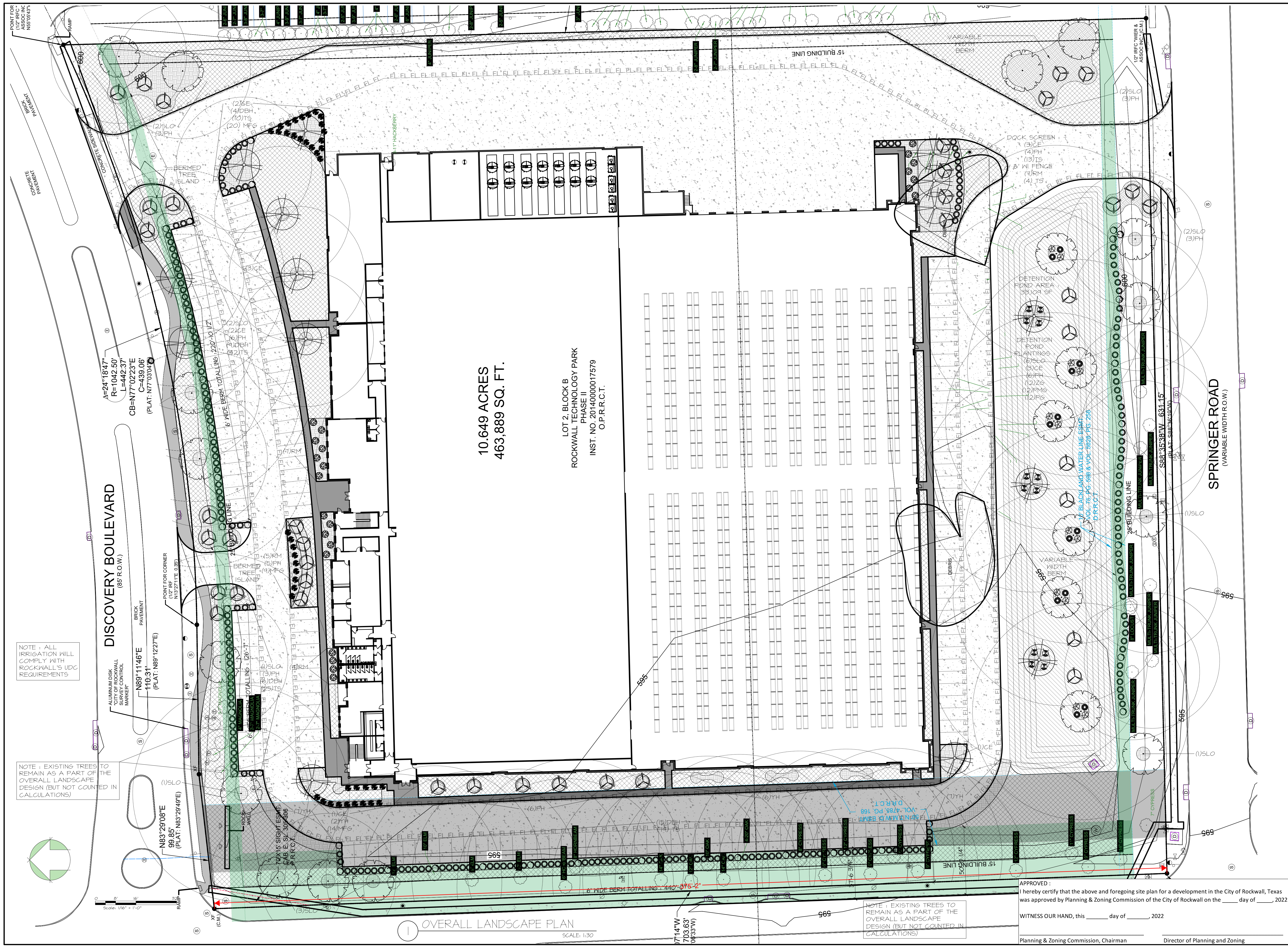
3. accent panel color : sw7504 keystone gray



db constructors, inc.



CHEWTERS CHOCOLATES



10.649 ACRES
463,889 SQ. FT.

LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 2014000017579
O.P.R.R.C.T.

DISCOVERY BOULEVARD
(85' R.O.W.)

SPRING ROAD
(VARIABLE WIDTH R.O.W.)

NOTE: ALL IRRIGATION WILL COMPLY WITH ROCKWALL'S UDC REQUIREMENTS

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)

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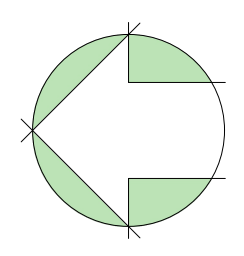
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MP	MP	MP

CHEWTERS CHOCOLATE

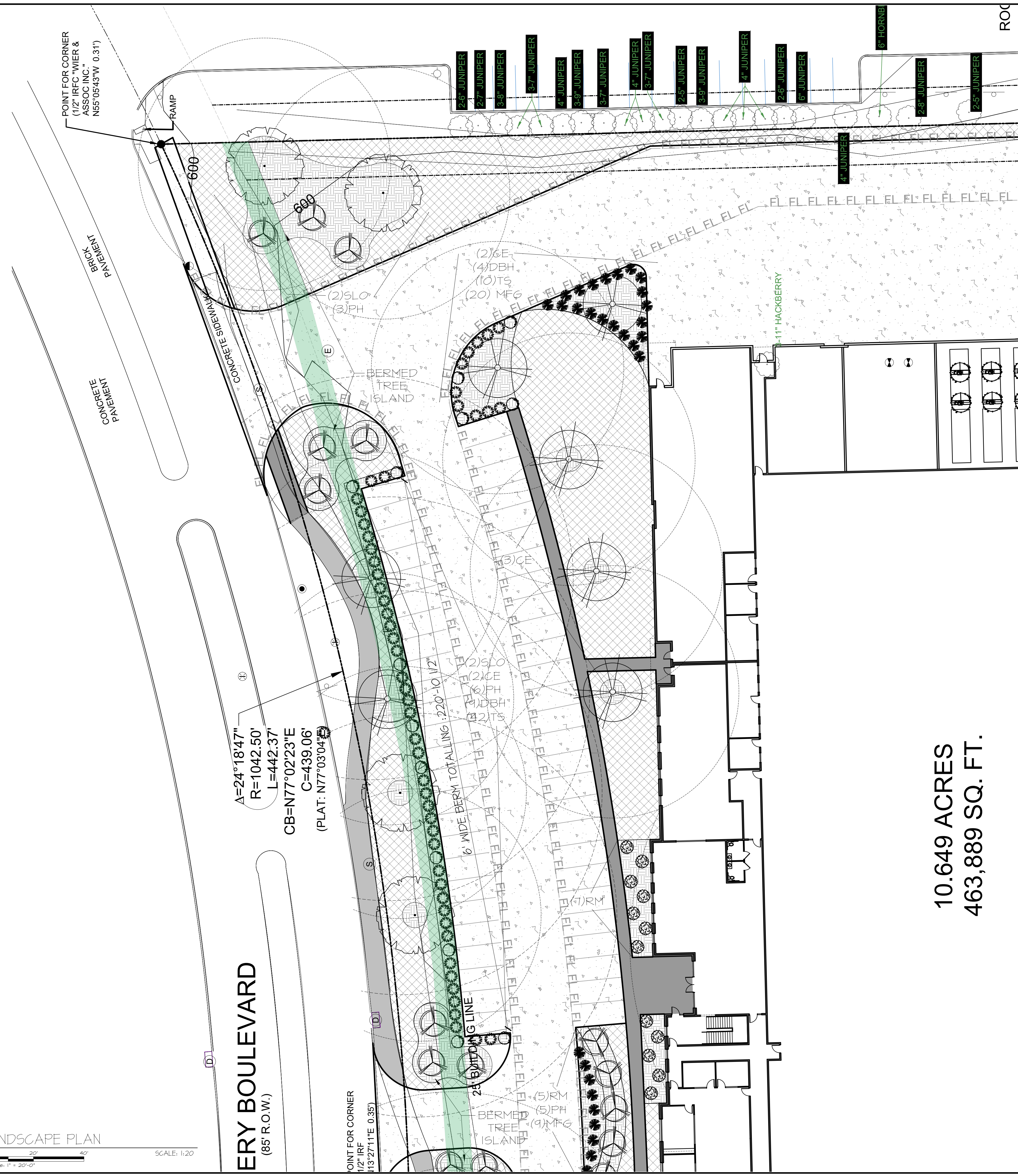
Case No. SP2022-34

DATE: 2022.06.15

LANDSCAPE
L-1



LANDSCAPE PLAN
SCALE: 1:20
1" = 20'-0"



10.649 ACRES
463,889 SQ. FT.

CHEWTERS CHOCOLATE

16-Jun-22
Revised: 01-Jul-22

SITE TABULATIONS :
TOTAL SITE AREA : 463,889 SF 10.65 AC
TOTAL IMPERVIOUS : 336,997 SF 7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE : 15% OF TOTAL AREA
69,583 SF 1.60 AC

PROPOSED LANDSCAPE :		
TURF / GRASS AREA :	31,831 SF	0.731 AC
MULCHED BEDS :	25,176 SF	0.578 AC
GRASSED PORTION OF DETENTION :	31,827 SF	0.731 AC

LANDSCAPE PROVIDED : 88,834 SF* 2.039 AC

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): 298 SPACES

PARKING PROVIDED :

OFFICE :			26 SPACES
RETAIL :			12 SPACES
WAREHOUSE :			20 SPACES
MANUFACTURING :			108 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	CORPOR NAME	ADDR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	21	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	5" CALIPER MINIMUM, 12' HT.; 4' SPREAD; 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.G.
	14	CEDAR ELM	CE	Ulmus Crassifolia	4" CALIPER MINIMUM, 9' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.G.
	37	POSSUMHAW HOLLY	PH	Ilex opacifolia	MULTI-TRUNK, MIN. 4" HT., FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	44	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	221	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	± 3'-5'
	12	ZEBRAGRASS	ZG	Miscanthus sinensis 'Zelkovicus'	3 GAL.	REF. PLAN
	12	PINK MILLEY GRASS	PMG	Muhlenbergia capillaris	3 GAL.	REF. PLAN
	12	PAMPASGRASS	PG	Cortaderia selloana	3 GAL.	REF. PLAN
		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

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CHEWTERS CHOCOLATE
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ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS

db constructors, inc.
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ROCKWALL, TX 972.772.0025

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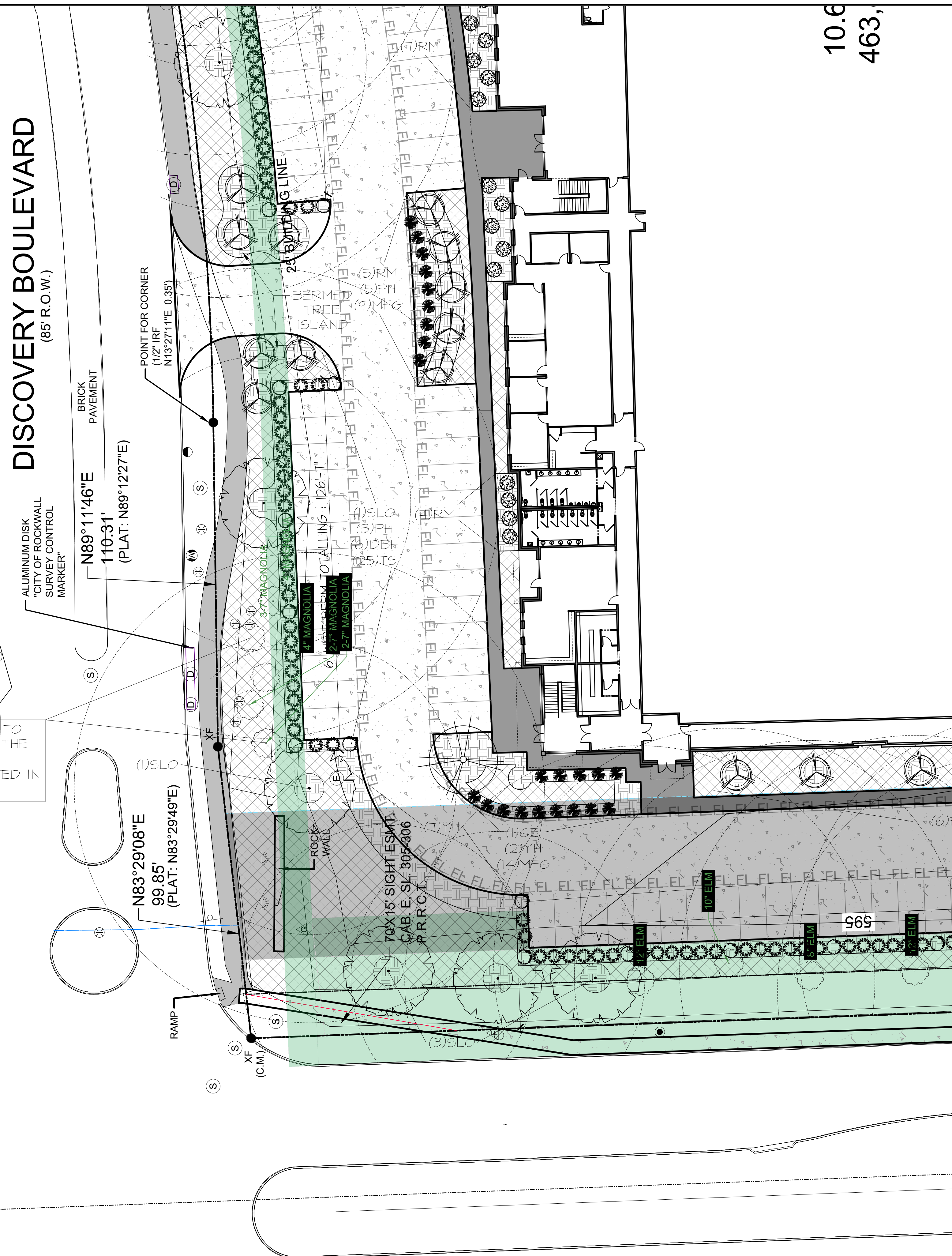
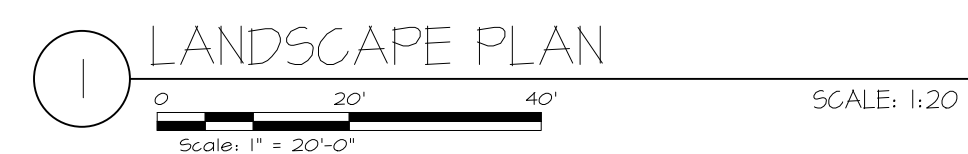
APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE
Case No. SP2022-34
DATE: 2022.06.15
LANDSCAPE
L-2

NOTE : ALL IRRIGATION WILL COMPLY WITH ROCKWALL'S UDC REQUIREMENTS

NOTE : EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN (BUT NOT COUNTED IN CALCULATIONS)



CHEWTERS CHOCOLATE

16-Jun-22
Revised: 01-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC
ROADS + PARKING :	128,231 SF	2.944 AC
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REQUIRED LANDSCAPE : 15% OF TOTAL AREA
69583 SF 1.60 AC

PROPOSED LANDSCAPE :		
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GRASSED PORTION OF DETENTION :	31,827 SF	0.731 AC

LANDSCAPE PROVIDED :

	88,834 SF*	2.039 AC
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*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

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PARKING PROVIDED :

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RETAIL :			12 SPACES
WAREHOUSE :			20 SPACES
MANUFACTURING :			108 SPACES

166 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
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	14	CEDAR ELM	CE	Ulmus Crassifolia	4" CALIPER MINIMUM, 9' HT.; 3" SPREAD; 3" BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	37	POSSUMHAW HOLLY	PH	Uniguardia Speciosa	MULTI-TRUNK MIN. 4" HT. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	44	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	221	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT. EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT. EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GAL.	± 3'-5'
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Planning & Zoning Commission, Chairman Director of Planning and Zoning

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REV.	DATE	CHANGE	BY
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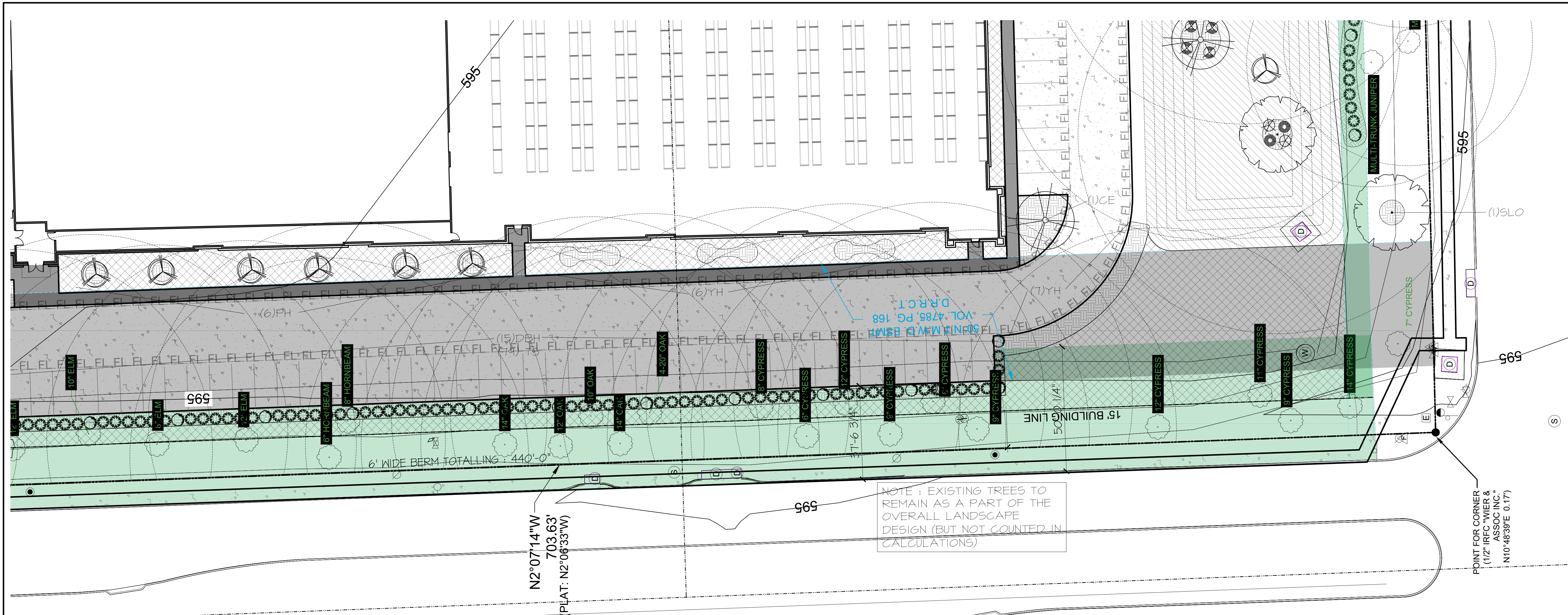
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34
DATE: 2022.06.15
LANDSCAPE
L-3

GNISSC

10.6
463,



REV.	DATE	CHANGE	BY
-	06.17.2022	SITE PLAN SUBMITTAL	MP
-	07.06.2022	SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
 2911 DISCOVERY BLVD / LOT 1 BLOCK B
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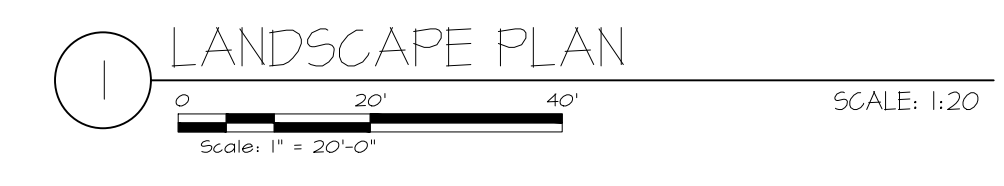
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34
 DATE: 2022.06.15

LANDSCAPE
 L-4

CORPORATE CROSSING
 (110' R.O.W.)



CHEWTERS CHOCOLATE

16-Jun-22
 Revised: 01-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
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LANDSCAPE PROVIDED :	88,834 SF*	2.039 AC
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*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

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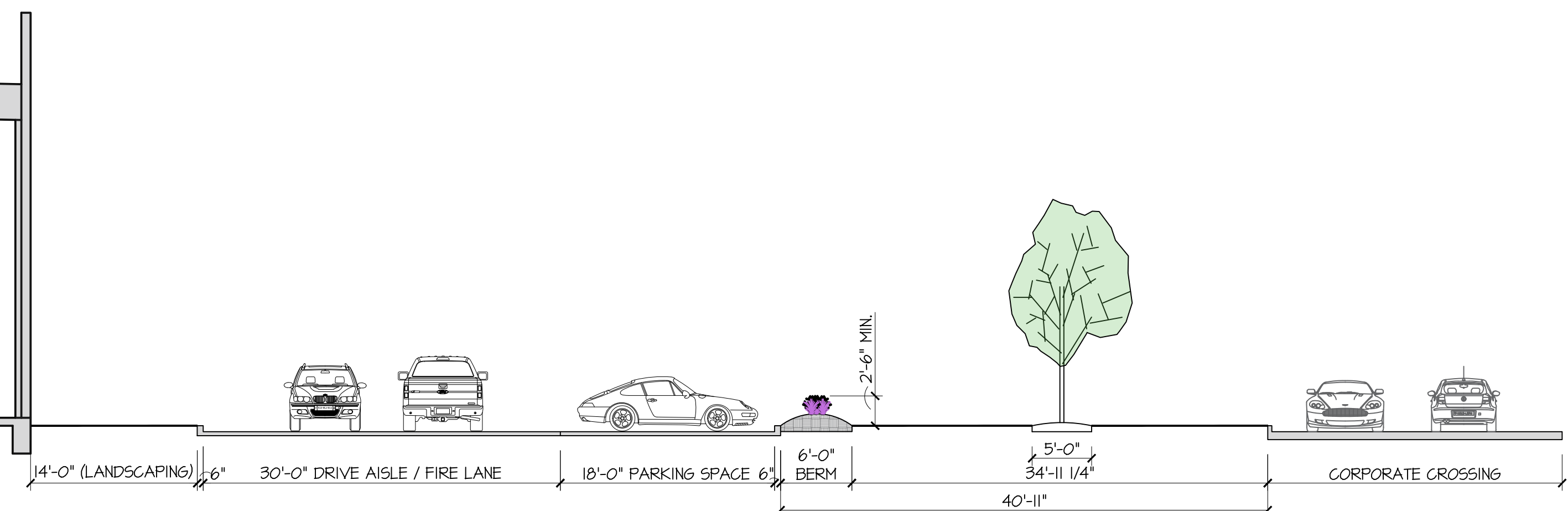
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	12	PAMPASGRASS	PG	Cortaderia selloana	3 GAL.	REF. PLAN
		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	

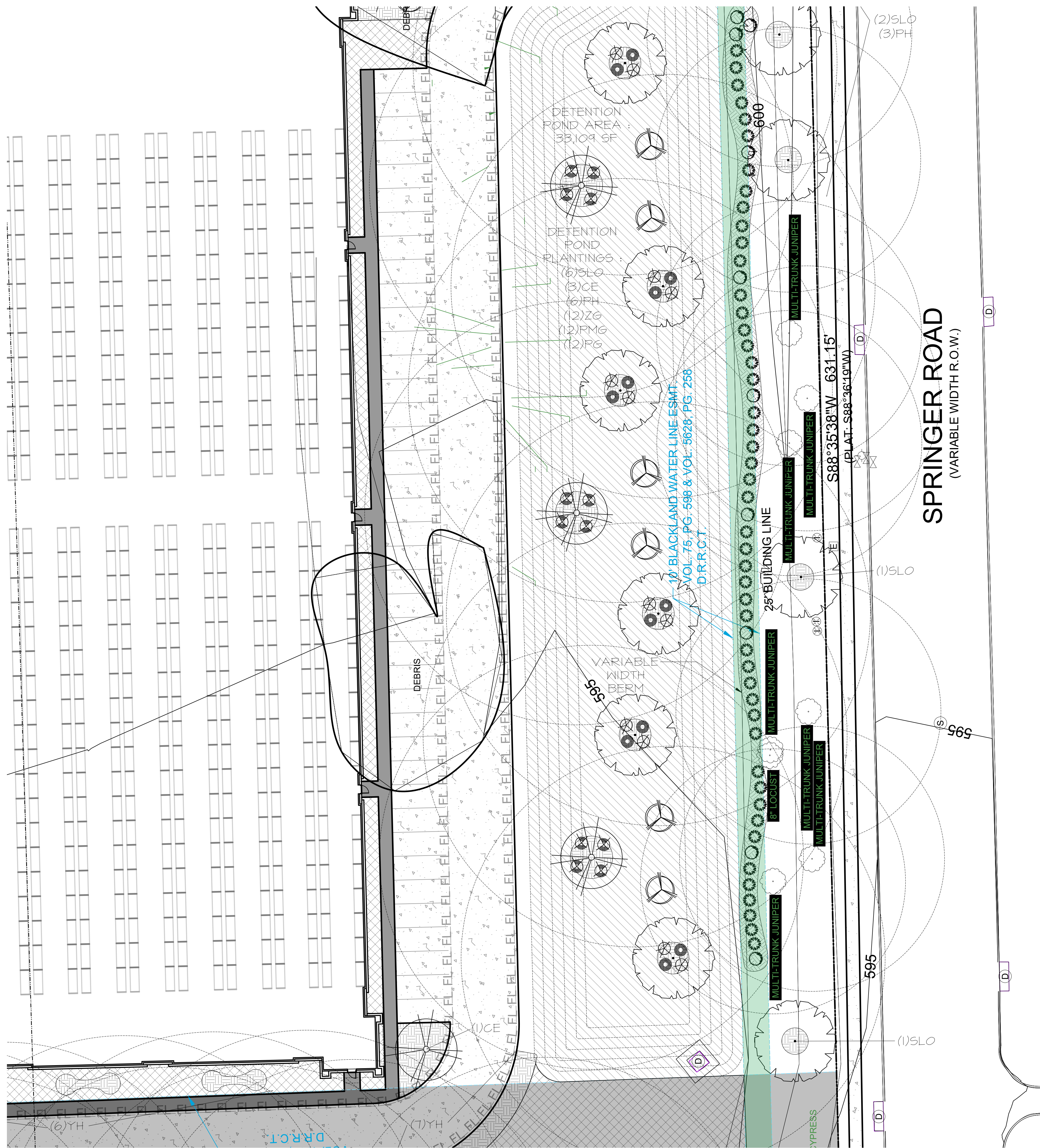
APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HAND, this ____ day of ____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning





CHEWTERS CHOCOLATE

16-Jun-22
Revised: 01-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :

15% OF TOTAL AREA	69,583 SF	1.60 AC
-------------------	-----------	---------

PROPOSED LANDSCAPE :

TURF / GRASS AREA :	31,831 SF	0.731 AC
MULCHED BEDS :	25,176 SF	0.578 AC
GRASSED PORTION OF DETENTION :	31,827 SF	0.731 AC

LANDSCAPE PROVIDED :

88,834 SF*	2.039 AC
------------	----------

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

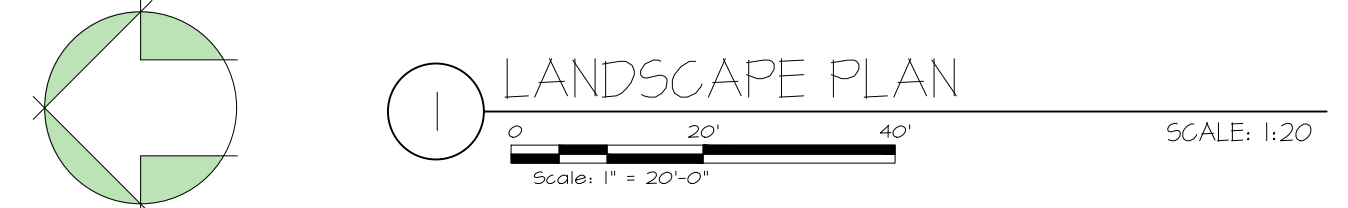
166 SPACES
NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY.	COMMON NAME	ABBR.	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	21	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	5" CALIPER MINIMUM, 12' HT.; 4" SPREAD; 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.G.
	14	CEDAR ELM	CE	Ulmus Crassifolia	4" CALIPER MINIMUM, 9' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.G.
	37	POSSUMHAW HOLLY	PH	Uniguardia Speciosa	MULTI-TRUNK, MIN. 4' HT. FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	44	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nano'	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	221	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	43	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GAL.	± 3'-5'
	12	ZEBRAGRASS	Z6	Miscanthus Sinensis 'Zebrinus'	3 GAL.	REF. PLAN
	12	PINK MUHLEY GRASS	PM6	Muhlenbergia capillaris	3 GAL.	REF. PLAN
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		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	

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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman Director of Planning and Zoning



PLAN STATUS

REV.	DATE	CHANGE	BY
-	06.17.2022	SITE PLAN SUBMITTAL	MP
-	07.06.2022	SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS

db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

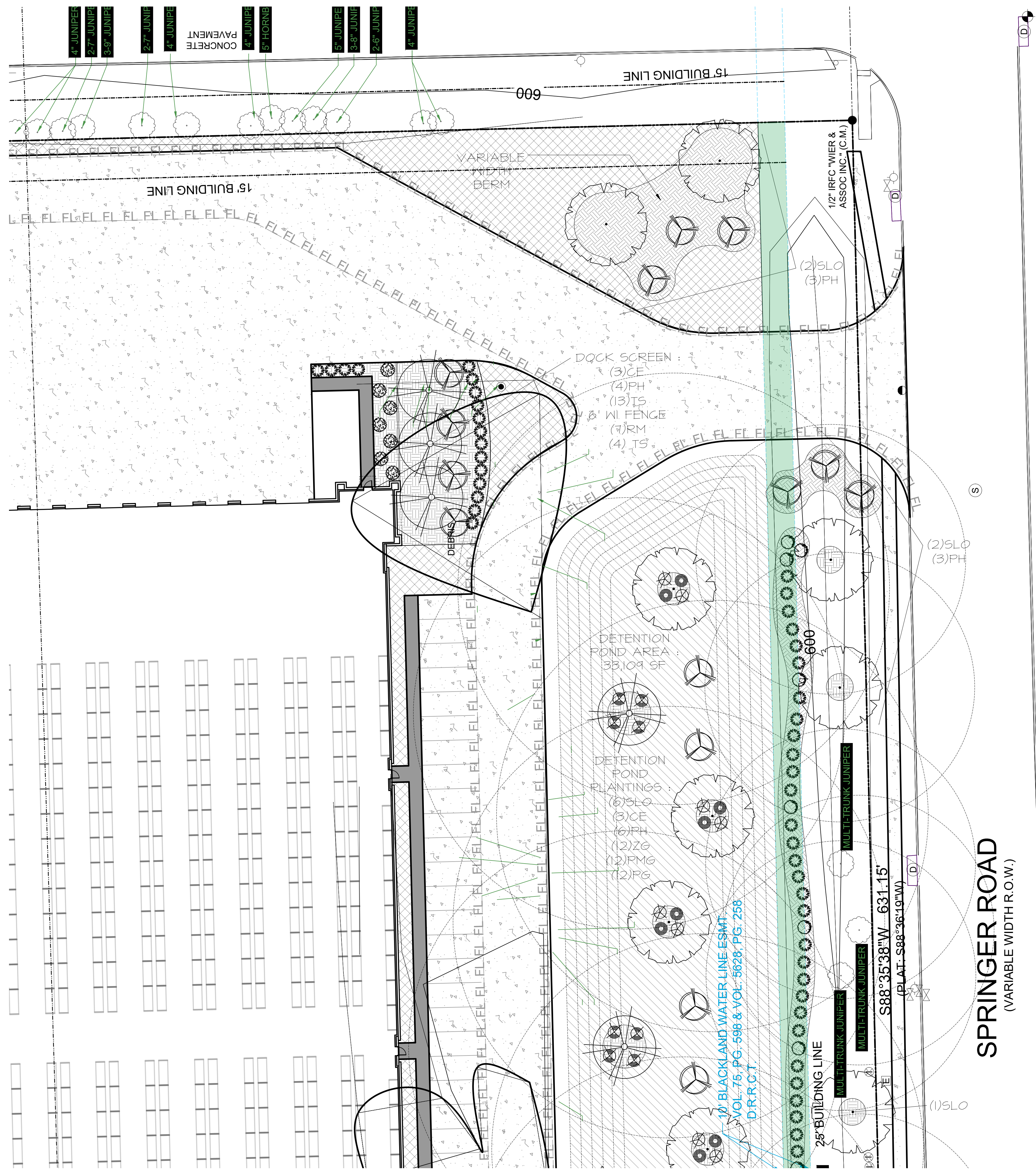
OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE
Case No. SP2022-34
DATE: 2022.06.15
LANDSCAPE
L-5



CHEWTERS CHOCOLATE

16-Jun-22
Revised: 01-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC

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REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF 1.60 AC

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MULCHED BEDS :	25,176 SF 0.57 AC
GRASSED PORTION OF DETENTION :	31,827 SF 0.73 AC

LANDSCAPE PROVIDED :	88,834 SF*	2.03 AC
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166 SPACES

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	14	CEDAR ELM	CE	Ulmus crassifolia	4" CALIPER MINIMUM, 8' HT.; 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	31	POSSUMHAW HOLLY	PH	Ilex opacifolia	MULTI-TRUNK, MIN. 4' HT., FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	44	DWARF BURFORD HOLLY	DBH	Ilex cornuta 'burfordii nana'	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	221	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
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		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	

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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman Director of Planning and Zoning

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ROCKWALL, TEXAS

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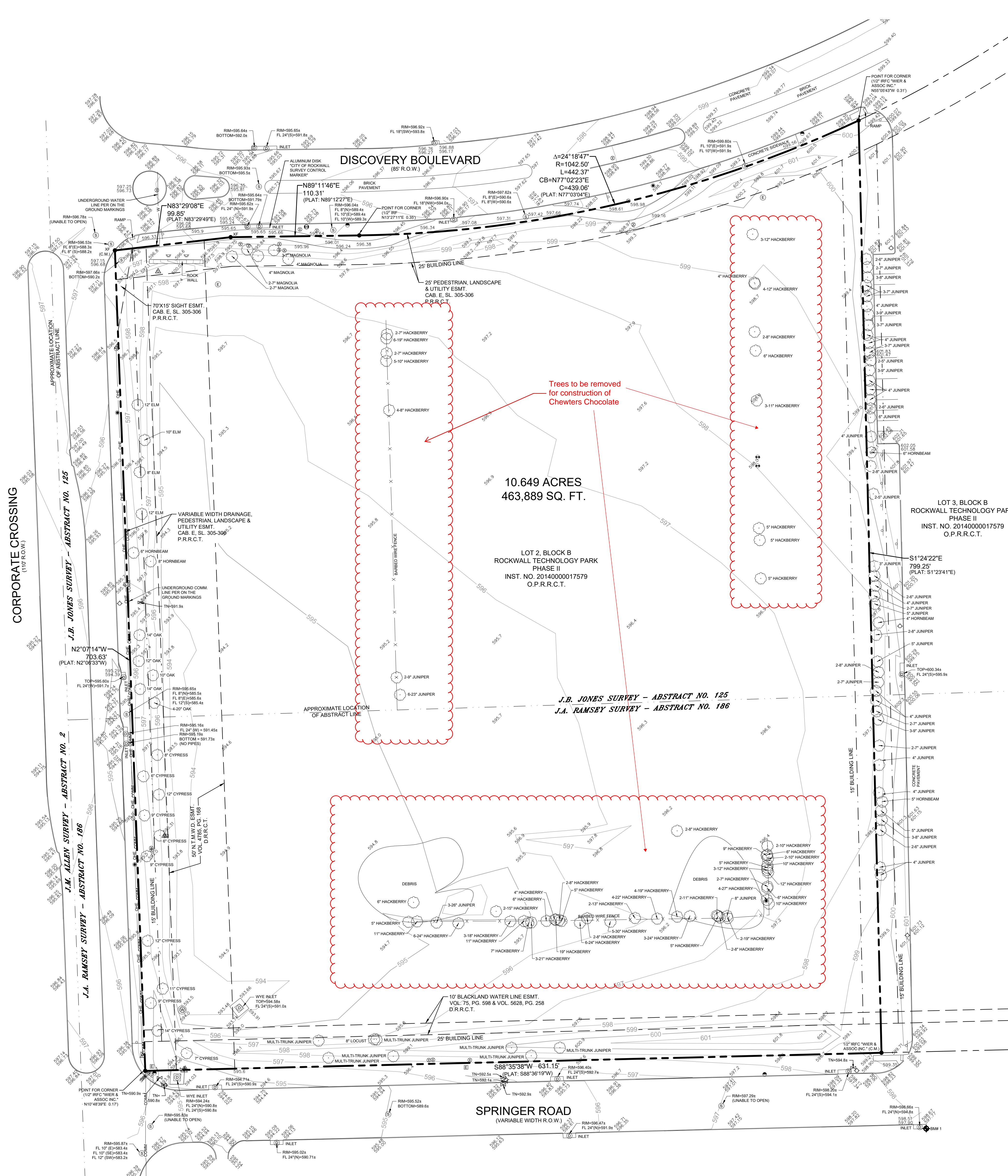
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34
DATE: 2022.06.15
LANDSCAPE
L-6

REV.	DATE	CHANGE	BY
-	06-17-2022	SITE PLAN SUBMITTAL	MP
-	07-06-2022	SP RESUBMITTAL	MP

LANDSCAPE PLAN
SCALE: 1:20



Trees to be removed for construction of Chewters Chocolate

10.649 ACRES
463,889 SQ. FT.

LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 2014000017579
O.P.R.C.T.

J.B. JONES SURVEY - ABSTRACT NO. 125
J.A. RAMSEY SURVEY - ABSTRACT NO. 186

LOT 3, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 2014000017579
O.P.R.C.T.

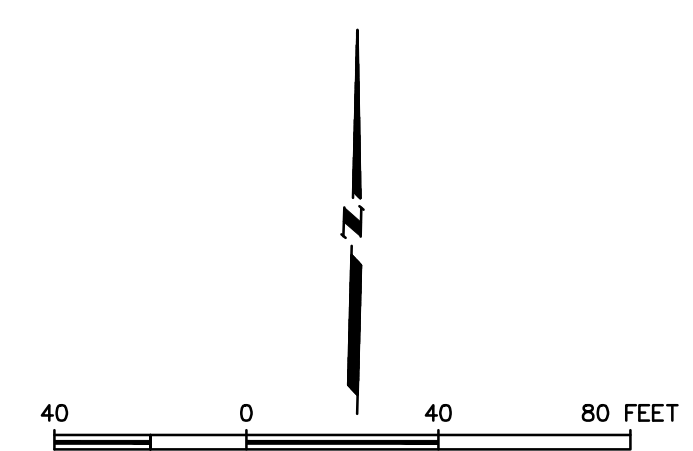
BENCH MARK LIST

BM# 1	□ CUT SET ON THE SOUTHEAST CORNER OF A CURB INLET ON THE SOUTH LINE OF SPRINGER ROAD.	ELEV=598.77
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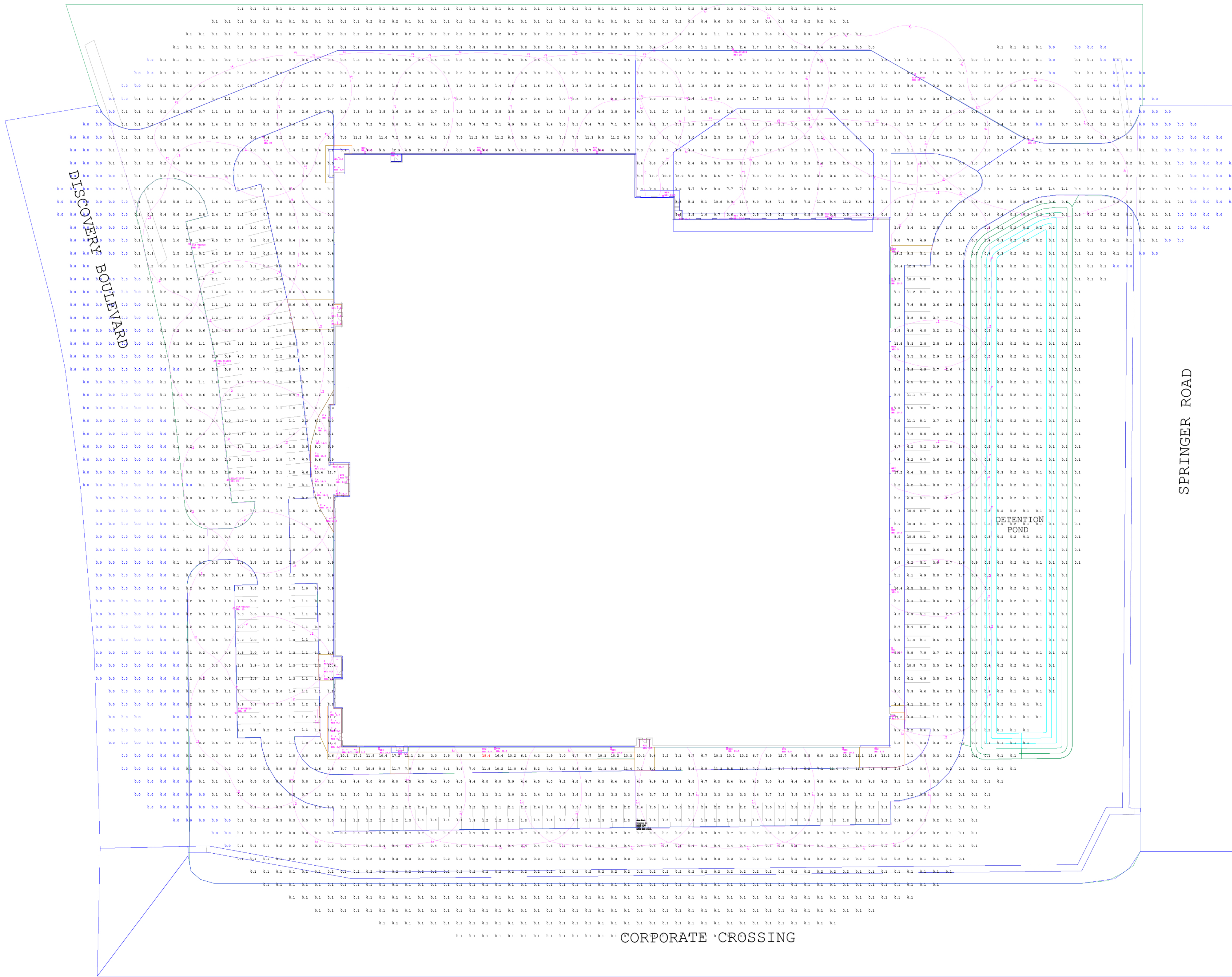
- NOTES:
- The basis of bearings for this survey is The State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983, Adjustment realization 2011.
 - Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Dallas County, Texas and Incorporated Areas, Map No. 48397C0045 L, Community Panel No. 480547 0045 L, effective date: September 26, 2008. All of the subject property is shown to be located in "Zone X" on said map. Relevant zones are defined on said map as follows:
"Zone X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain.
 - There are no existing buildings on the surveyed property.
 - All building lines and easements shown hereon are per the Replat of Lots 2 & 3, Block B, Rockwall Technology Park, Phase II recorded in Instrument No. 2014000017579, Official Public Records, Rockwall County, Texas, unless otherwise noted.
 - The survey abstract lines shown hereon are approximate and are not located on the ground.
 - This survey was done without the benefit of a title commitment. There may be easements and other matters of record affecting this property that are not shown hereon.

LEGEND

- | | | | |
|---|-------------------------|---|-------------------------------|
| ⊕ | ELEVATION BENCHMARK | ⊙ | STORM SEWER MANHOLE |
| ⊕ | FIBER OPTIC MARKER SIGN | ⊙ | TREE |
| ⊕ | GAS SIGN | ⊙ | FIRE HYDRANT |
| ⊕ | GAS VALVE | ⊙ | WATER MANHOLE |
| ⊕ | ELECTRIC BOX | ⊙ | WATER VALVE |
| ⊕ | FLOOD LIGHT | ⊙ | WATER MARKER SIGN |
| ⊕ | ELECTRIC MANHOLE | ⊙ | FLOWLINE |
| ⊕ | LIGHT STANDARD | ⊙ | TOP OF NUT ELEVATION |
| ⊕ | UTILITY POLE | ⊙ | O.H.E. OVERHEAD ELECTRIC LINE |
| ⊕ | SIGN | ⊙ | C.M. CONTROLLING MONUMENT |
| ⊕ | WOOD POST | ⊙ | IRON ROD WITH CAP FOUND |
| ⊕ | METAL POST | ⊙ | IRON ROD FOUND |
| ⊕ | IRRIGATION VALVE | ⊙ | "X" CUT IN CONCRETE FOUND |
| ⊕ | SANITARY SEWER MANHOLE | | |



10.649 ACRES
BOUNDARY & TOPOGRAPHIC SURVEY
LOT 2, BLOCK B, ROCKWALL TECHNOLOGY PARK PHASE II
SITUATED IN THE
JOHN H.B. JONES SURVEY, ABSTRACT NO. 125 &
JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SCALE: 1"=40' DATE: APRIL 12, 2022
PROJECT NO. 2022-018



Luminaire Schedule	Symbol	Qty	Label	Description	LLF	Lumens	Total Watts
	28		C	LIGHTOLIER # 6RN / P6R-DL-15-840-CD-P-Z10-U	0.950	1,500	(15) 420
	2		PIA	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-17,235-40-T3-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS22-B-5-4-D190-BM	0.950	17,235	(150) 300
	7		PIA-TILT20	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-17,235-40-T3-DB-UNVD-MOUNT ALV-SF-SHIELD-ALV / SSS22-B-5-4-D190-BM	0.950	17,235	(150) 1050
	12		WP2	ADVANTAGE LIGHTING SOLUTIONS # WFA-3/23-3,634-SC/4000K-DB-UD	0.950	4065.1	(23) 305.04
	13		WP3	ADVANTAGE LIGHTING SOLUTIONS # ALV-200-30,000-40-T4-DB-UNVD-MOUNT ALV-WM	0.950	30,000	(200) 2600
	2		WP4	ADVANTAGE LIGHTING SOLUTIONS # ALV-185-27,750-40-T4-DB-UNVD-MOUNT ALV-WM	0.950	27,750	(185) 370

Calculation Summary	Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
	CalcPts_1	Illuminance	Fc	1.61	19.4	0.0	N.A.	N.A.
	PAVED SURFACE	Illuminance	Fc	2.78	12.9	0.1	27.80	129.00

LIGHTOLIER
by @ignify

Downlighting
LyteProfile
P6R / P6R-DL-15-840-CD-P-Z10-U

REVISION #1

Client: CHEWTERS CHOCOLATE
Project: 2911 DISCOVERY BLVD
Type: PIA
Quantity: 2

ALS
ALV SERIES AREA LIGHT

CONSTRUCTION
The sleek design single piece die-cast ACPD aluminum housing has integral heat sink for maximum thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to provide low operating temps and long life. Housing is completely sealed against moisture and environmental contaminants (IP65, Ultra low EPM (0.852) ft).

OPTICS (OPTIONAL)
UV-resistant acrylic optics, available in Type I, II, III, IV distributions. Silicone gasket ensures a weather-proof seal around each individual optic. Optics available 90° (standard) and 120° (optional). Full cutoff (FC) when mounted with non-adjustable pole mount (PM) or 0 degree tilt with adjustable (AT) (AT) means Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
18V-CR Sampling LED
40°C up to 50°C (40W up to 120W) maximum operating temperature.
Lamp life greater than 100,000 hr at L70
Standard driver operates at 120-277V input, 0-10V dimmable driver, down to 10V.
800MHZ, C_{EMC} 100, 1000 power factor, Standard for surge protection.
Optional 100V surge protection.
Optional DALI/0-10V input.

REVISION #1

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Project: 2911 DISCOVERY BLVD
Type: PIA
Quantity: 2

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Optional 100V surge protection.
Optional DALI/0-10V input.

REVISION #1

Client: CHEWTERS CHOCOLATE
Project: 2911 DISCOVERY BLVD
Type: PIA
Quantity: 2

ALS
WFA SERIES FULL CUTOFF SELECTABLE WALL PACK

CONSTRUCTION
Sleek and modern design, die-cast aluminum housing, rugged design protects internal components and provides excellent thermal management.
Hood door assembly hinges on the side, cast aluminum housing with 1/2" conduct urethane (on top and side) for surface contact.

OPTICS
Full cutoff distribution conforms to dark sky requirement - individual acrylic LED optics provide 0° Type IV distribution.
Light engines are selectable between 3000K, 4000K, and 5000K (plus CR) configurations.

REVISION #1

Client: CHEWTERS CHOCOLATE
Project: WFA
Type: WFA
Quantity: 1

ALS
ALV SERIES AREA LIGHT

CONSTRUCTION
The sleek design single piece die-cast ACPD aluminum housing has integral heat sink for maximum thermal management through conductive and convective cooling. The LED driver is mounted in direct contact with the housing for effective heat dissipation to provide low operating temps and long life. Housing is completely sealed against moisture and environmental contaminants (IP65, Ultra low EPM (0.852) ft).

OPTICS (OPTIONAL)
UV-resistant acrylic optics, available in Type I, II, III, IV distributions. Silicone gasket ensures a weather-proof seal around each individual optic. Optics available 90° (standard) and 120° (optional). Full cutoff (FC) when mounted with non-adjustable pole mount (PM) or 0 degree tilt with adjustable (AT) (AT) means Dark Sky requirement. Optional backlight cover for optics available.

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800MHZ, C_{EMC} 100, 1000 power factor, Standard for surge protection.
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REVISION #1

Client: CHEWTERS CHOCOLATE
Project: WFA
Type: WFA
Quantity: 1

ALS
ALV SERIES AREA LIGHT

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REVISION #1

Client: CHEWTERS CHOCOLATE
Project: WFA
Type: WFA
Quantity: 1

APPROVED:
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WITNESS OUR HAND, this ____ day of ____, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	BY	PLAN STATUS	
			CHANGE	MP
-	06.17.2022		SITE PLAN SUBMITTAL	MP
1	07.06.2022		SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS

db constructors, inc.
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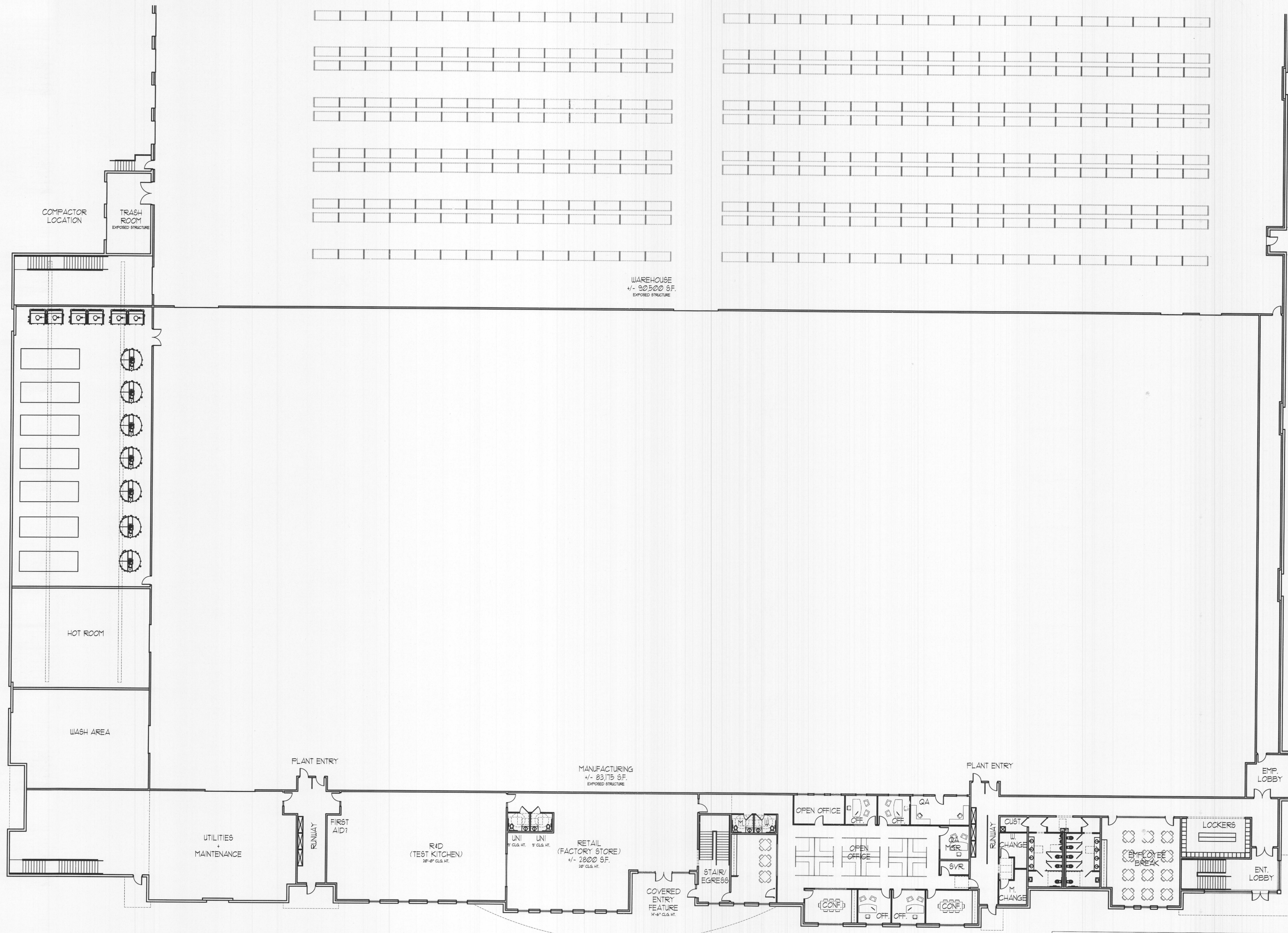
DESIGN	DRAWN	CHKD
		MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2022.06.15

PHOTOMETRIC 1



1 BUILDING PLAN OVERALL

SCALE: 1/16" = 1'-0"

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the 13th day of July, 2022.
 WITNESS OUR HAND, this 13th day of July, 2022.
 [Signature] Director of Planning and Zoning

PLAN STATUS			
REV.	DATE	CHANGE	BY
-	06.17.2022	SITE PLAN SUBMITTAL	MP
-	07.06.2022	SP RESUBMITTAL	MP

CHEWTERS CHOCOLATE
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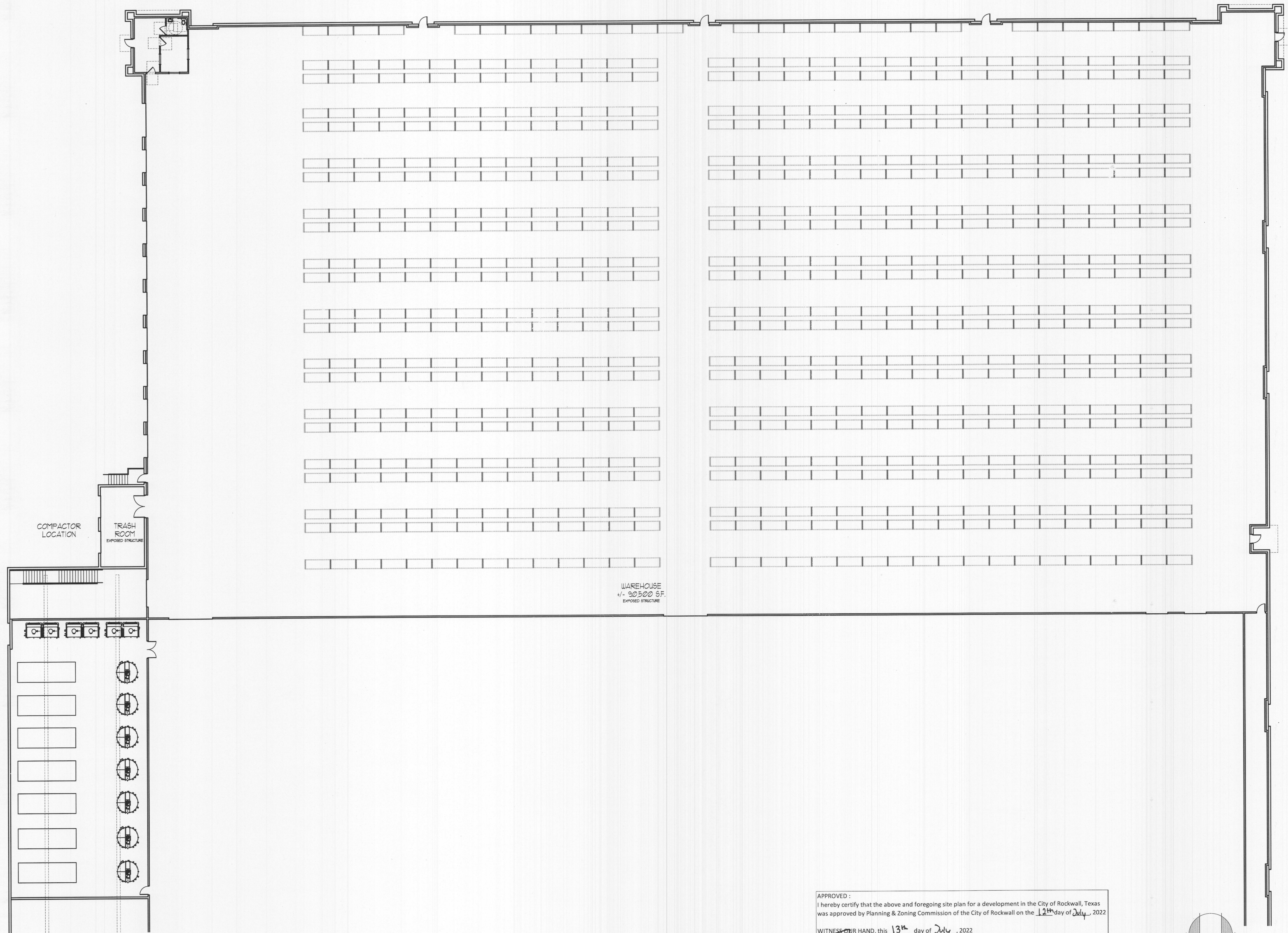
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DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

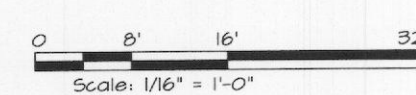
Case No. SP2022-34
 DATE: 2022.06.15
 BLDG. PLAN
 A-1A



WAREHOUSE
 +/- 30500 SF.
 EXPOSED STRUCTURE

COMPACTOR
 LOCATION

TRASH
 ROOM
 EXPOSED STRUCTURE



① BUILDING PLAN OVERALL - MATCH FROM PREVIOUS SCALE: 1/16" = 1'-0"

APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas
 was approved by Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022
 WITNESS OUR HAND, this 13th day of July, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

PLAN STATUS		CHANGE	BY
REV.	DATE	SITE PLAN SUBMITTAL	MP
-	06/17/2022	SP RESUBMITTAL	MP
-	07/06/2022		

CHEWTERS CHOCOLATE
 2911 DISCOVERY BLVD / LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 ROCKWALL, TEXAS


 db constructors, inc.
 2400 GREAT SOUTHWEST
 PARKWAY
 FORT WORTH, TX
 817.626.7300
 INFO@DBCONSTRUCTORS.COM

OWNER :
 ROCKWALL EDC +
 2610 OBSERVATION TRAIL
 ROCKWALL, TX
 972.772.0025

CHEWTERS CHOCOLATE
 1648 DERWENT WAY
 DELTA, BC
 604.515.7117

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	SP2022-34	
DATE:	2022.06.15	
BLDG. PLAN		
A-1B		

REV.	DATE	CHANGE BY	PLAN STATUS
-	06.17.2022	MP	SITE PLAN SUBMITTAL
-	07.06.2022	MP	SP RESUBMITTAL

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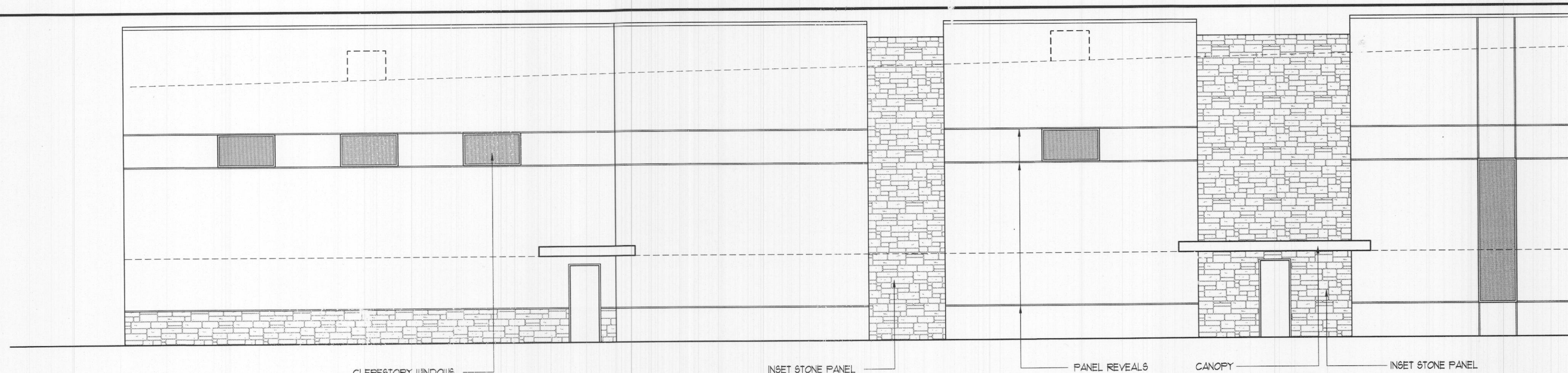
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

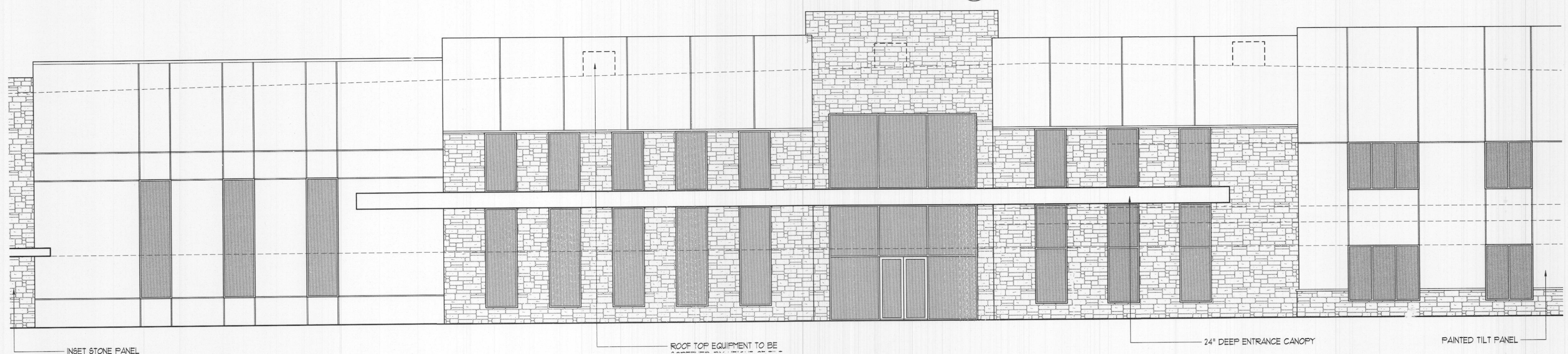
Case No. SP2022-34

DATE: 2022.06.15

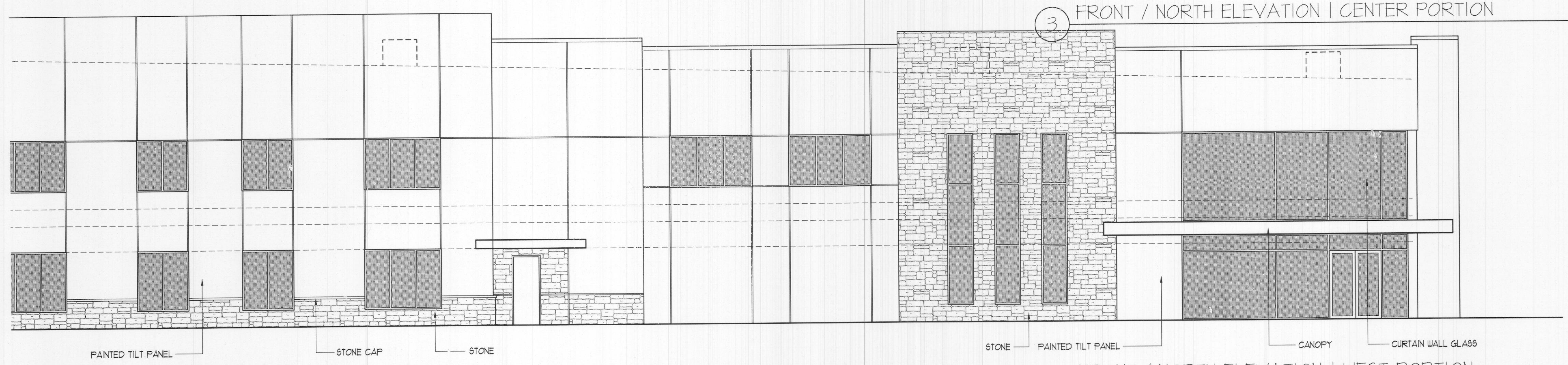
FRONT ELEV.
A-2



4 FRONT / NORTH ELEVATION | EAST PORTION
 SCALE: 1/8" = 1'-0"



3 FRONT / NORTH ELEVATION | CENTER PORTION
 SCALE: 1/8" = 1'-0"



2 FRONT / NORTH ELEVATION | WEST PORTION
 SCALE: 1/8" = 1'-0"

CHEWTERS CHOCOLATE
 15-Jun-22
 01-Jul-22 REVISED
 FRONT ELEVATION :
 (DISCOVERY BLVD)

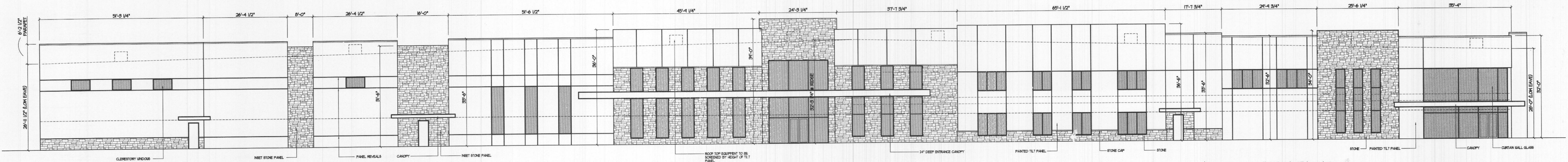
TOTAL FRONT ELEVATION AREA :	15793 SF
DOORS & GLAZING :	2762 SF
DOOR & GLAZING PERCENTAGE :	17%
NET FRONT ELEVATION AREA :	13031 SF
STONE :	3466 SF
STONE PERCENTAGE :	27%
PAINTED TILT PANEL :	73%

RIGHT ELEVATION :
 (CORPORATE CROSSING)

TOTAL FRONT ELEVATION AREA :	13960 SF
DOORS & GLAZING :	482 SF
DOOR & GLAZING PERCENTAGE :	3%
NET FRONT ELEVATION AREA :	13478 SF
STONE :	2686 SF
STONE PERCENTAGE :	20%
PAINTED TILT PANEL :	80%

REAR ELEVATION :
 (SPRINGER LANE)

TOTAL FRONT ELEVATION AREA :	15400 SF
DOORS & GLAZING :	24 SF
DOOR & GLAZING PERCENTAGE :	0.2%
NET FRONT ELEVATION AREA :	15376 SF
STONE :	2610 SF
STONE PERCENTAGE :	17%
PAINTED TILT PANEL :	83%



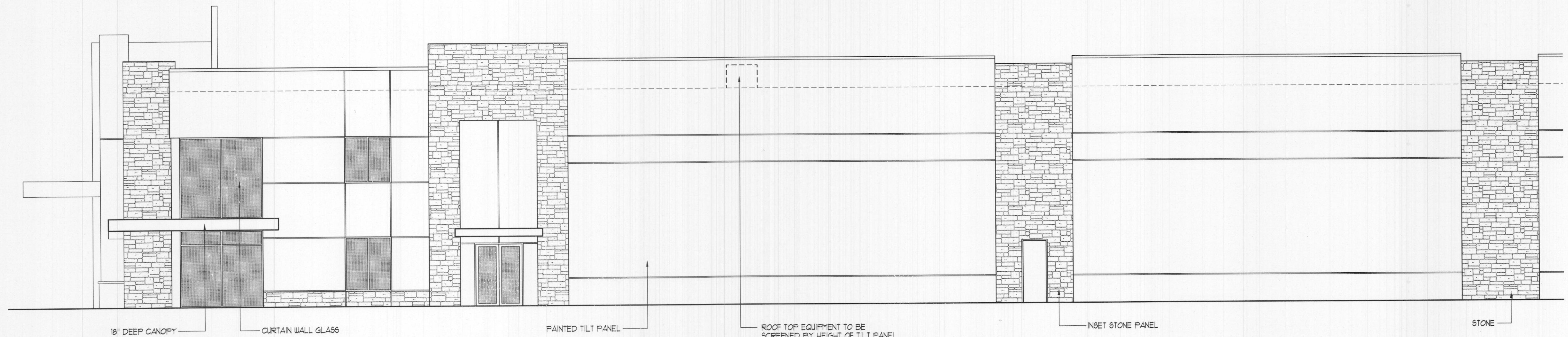
1 FRONT / NORTH ELEVATION | DISCOVERY BLVD
 SCALE: 1/16" = 1'-0"

APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the 12 day of July, 2022

WITNESS OUR HAND, this 13 day of July, 2022

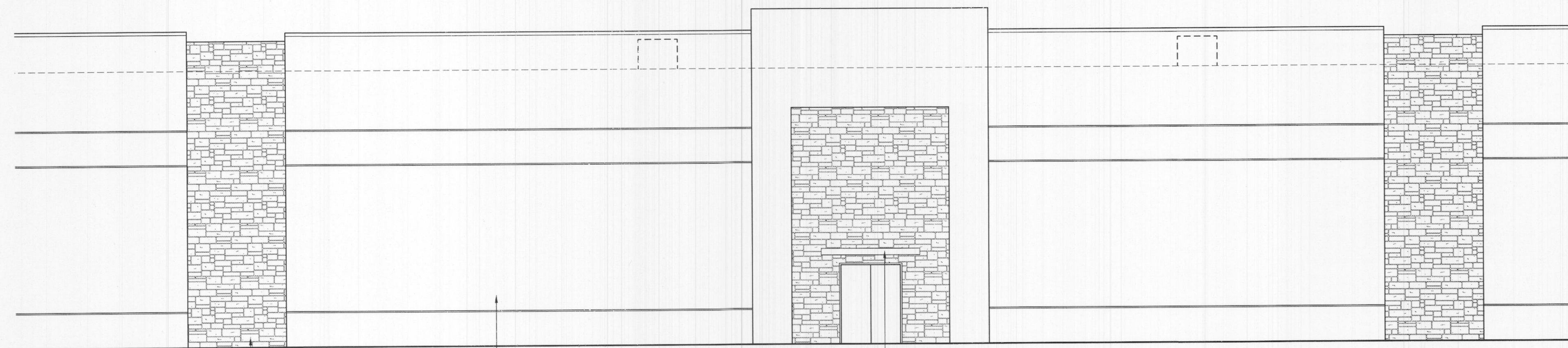
[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning



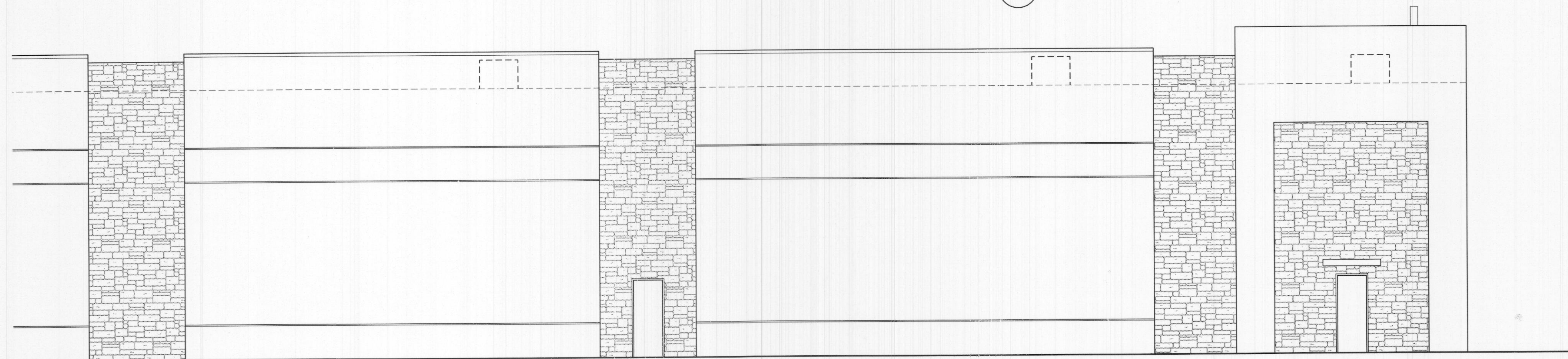
4 RIGHT / WEST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



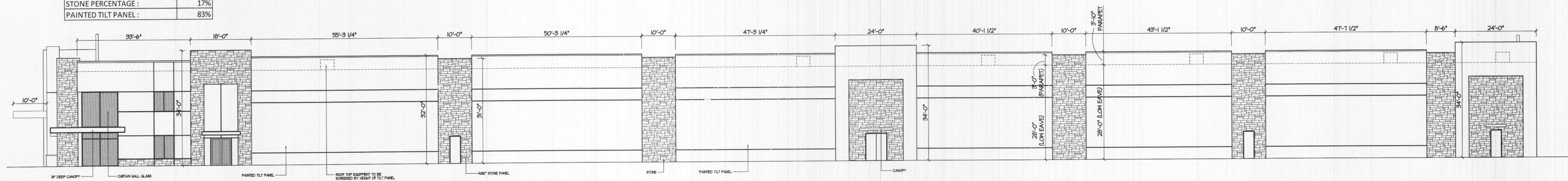
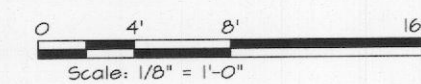
3 RIGHT / WEST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



2 RIGHT / WEST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"



1 RIGHT SIDE / WEST ELEVATION | CORPORATE CROSSING

SCALE: 1/16" = 1'-0"

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 [Signature] Planning & Zoning Commission, Chairman
 [Signature] Director of Planning and Zoning

CHEWTERS CHOCOLATE

15-Jun-22
 01-Jul-22 REVISED

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 (DISCOVERY BLVD)

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 (SPRINGER LANE)

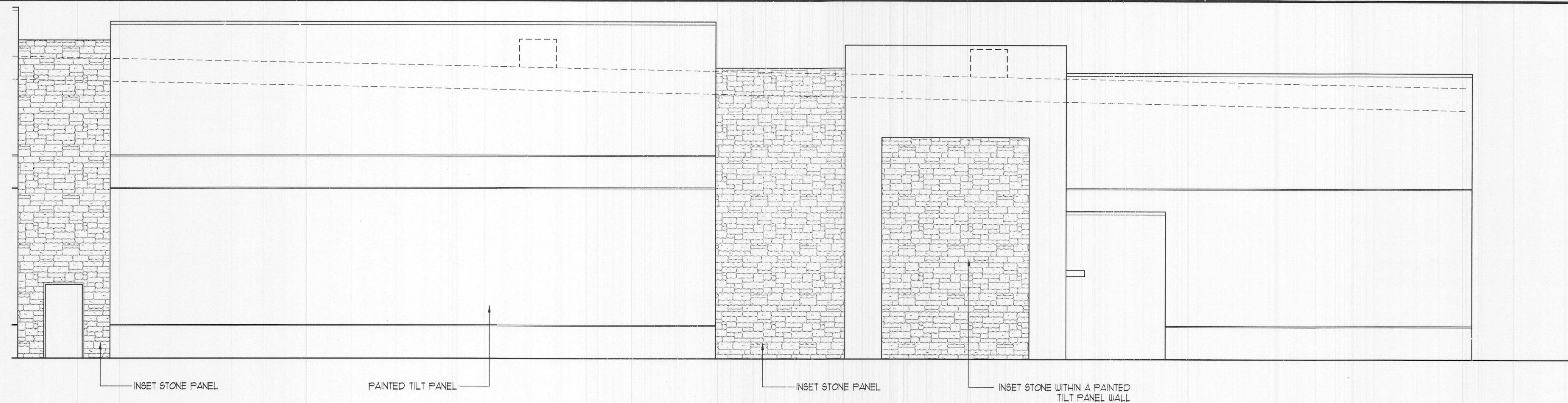
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CHEWTERS CHOCOLATE
 2911 DISCOVERY BLVD / LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 ROCKWALL, TEXAS

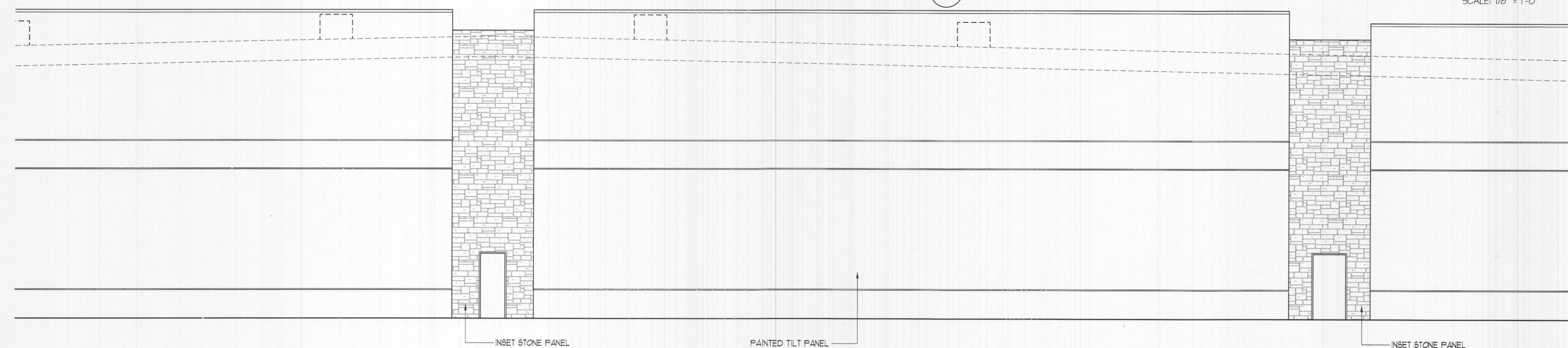
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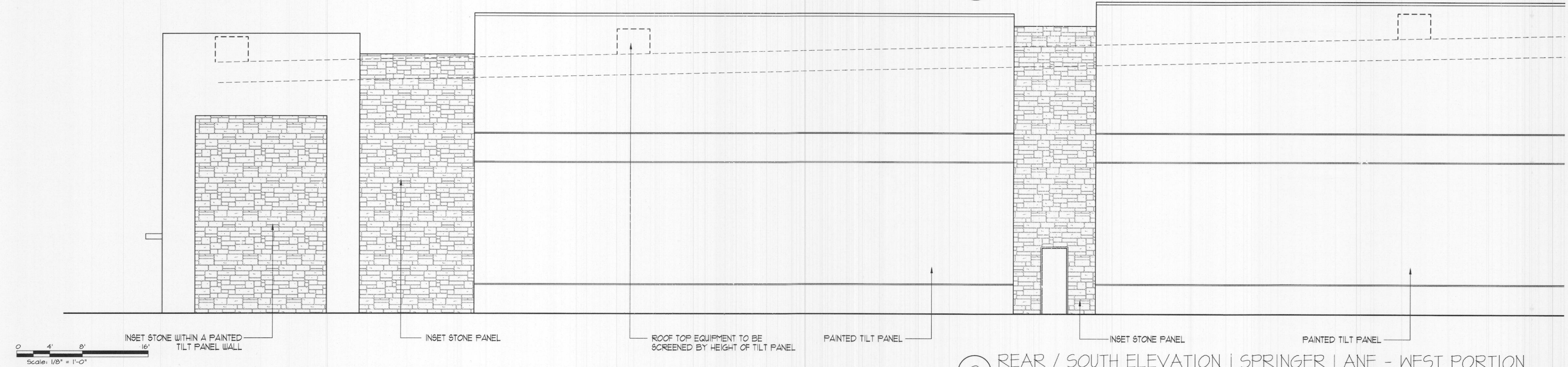
DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	SP2022-34	
DATE:	2022.06.15	
SIDE ELEV.		
A-3		



4 REAR / SOUTH ELEVATION | SPRINGER LANE - EAST PORTION
SCALE: 1/8" = 1'-0"



3 REAR / SOUTH ELEVATION | SPRINGER LANE - CENTER PORTION
SCALE: 1/8" = 1'-0"



2 REAR / SOUTH ELEVATION | SPRINGER LANE - WEST PORTION
SCALE: 1/8" = 1'-0"

CHEWTERS CHOCOLATE
15-Jun-22
01-Jul-22 REVISED

FRONT ELEVATION :
(DISCOVERY BLVD)

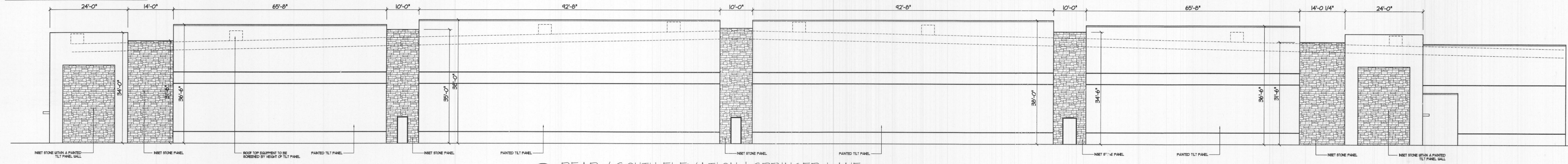
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1 REAR / SOUTH ELEVATION | SPRINGER LANE
SCALE: 1/16" = 1'-0"

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WITNESS OUR HAND, this 13th day of July, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

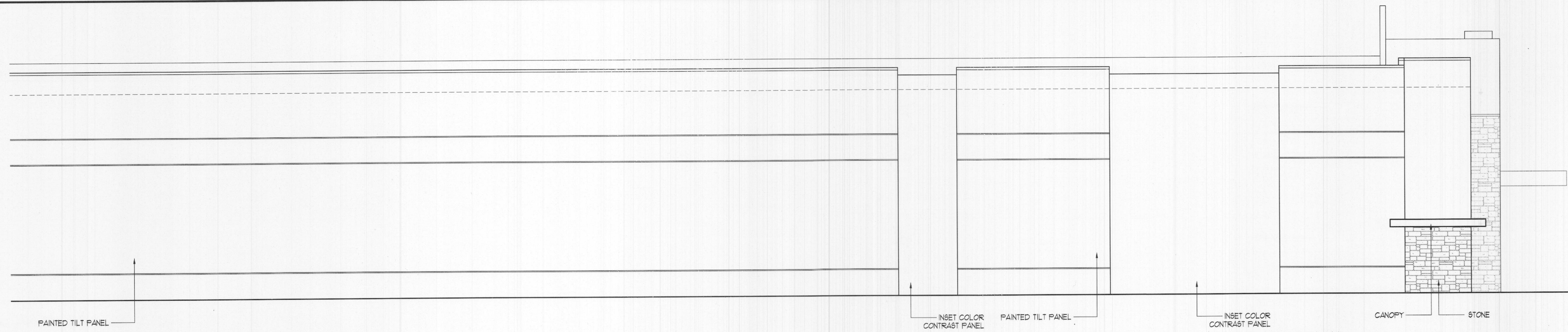
PLAN STATUS		
REV.	DATE	CHANGE
-	06.17.2022	SITE PLAN SUBMITTAL
-	07.06.2022	SP RESUBMITTAL

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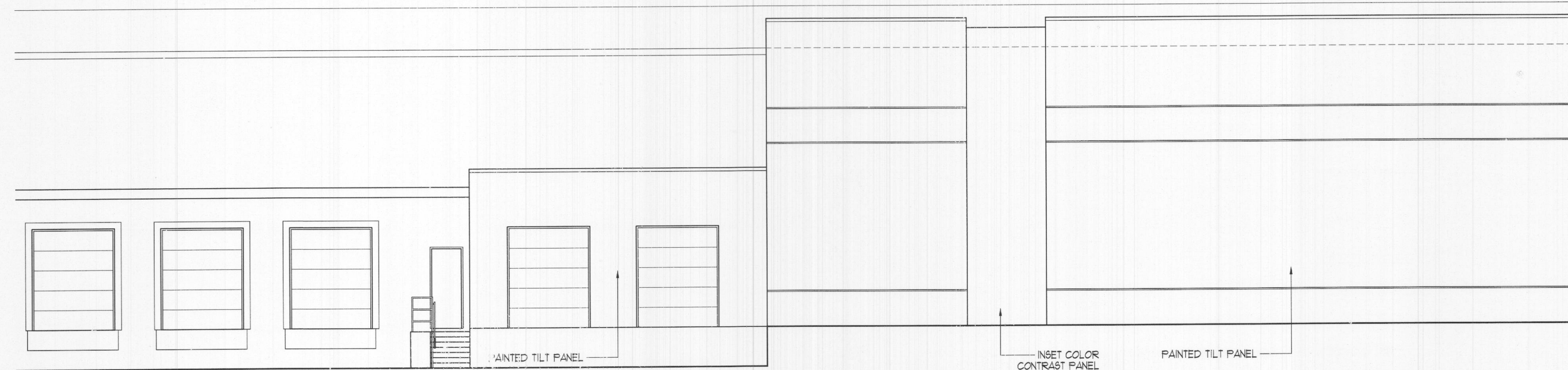
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APPLICANT :
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DESIGN	DRAWN	CHKD
MP	MP	MP
CHEWTERS CHOCOLATE		
Case No.	SP2022-34	
DATE:	2022.06.15	
REAR ELEV.		
A-4		



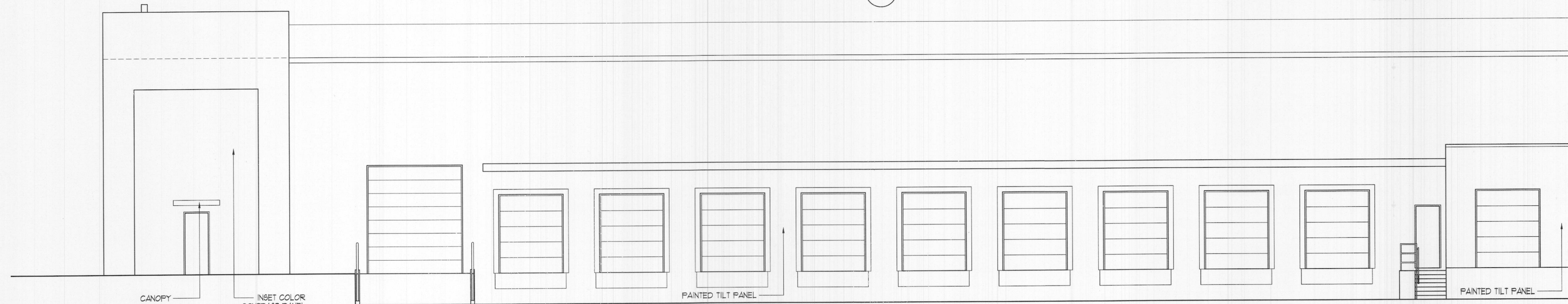
4 LEFT / EAST ELEVATION | NORTH PORTION

SCALE: 1/8" = 1'-0"



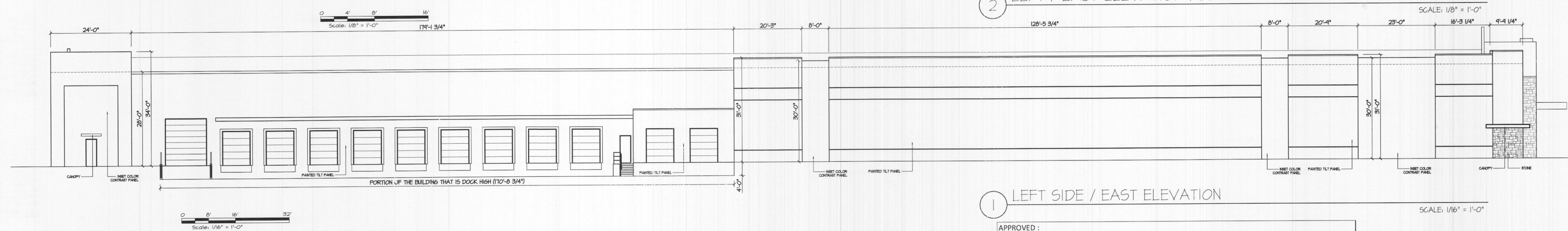
3 LEFT / EAST ELEVATION | CENTER PORTION

SCALE: 1/8" = 1'-0"



2 LEFT / EAST ELEVATION | SOUTH PORTION

SCALE: 1/8" = 1'-0"



1 LEFT SIDE / EAST ELEVATION

SCALE: 1/16" = 1'-0"

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 [Signature] Director of Planning and Zoning

PLAN STATUS		DATE	BY
REV.	CHANGE	06.17.2022	MP
-	SITE PLAN SUBMITTAL	07.06.2022	MP
-	SP RESUBMITTAL		

CHEWTERS CHOCOLATE
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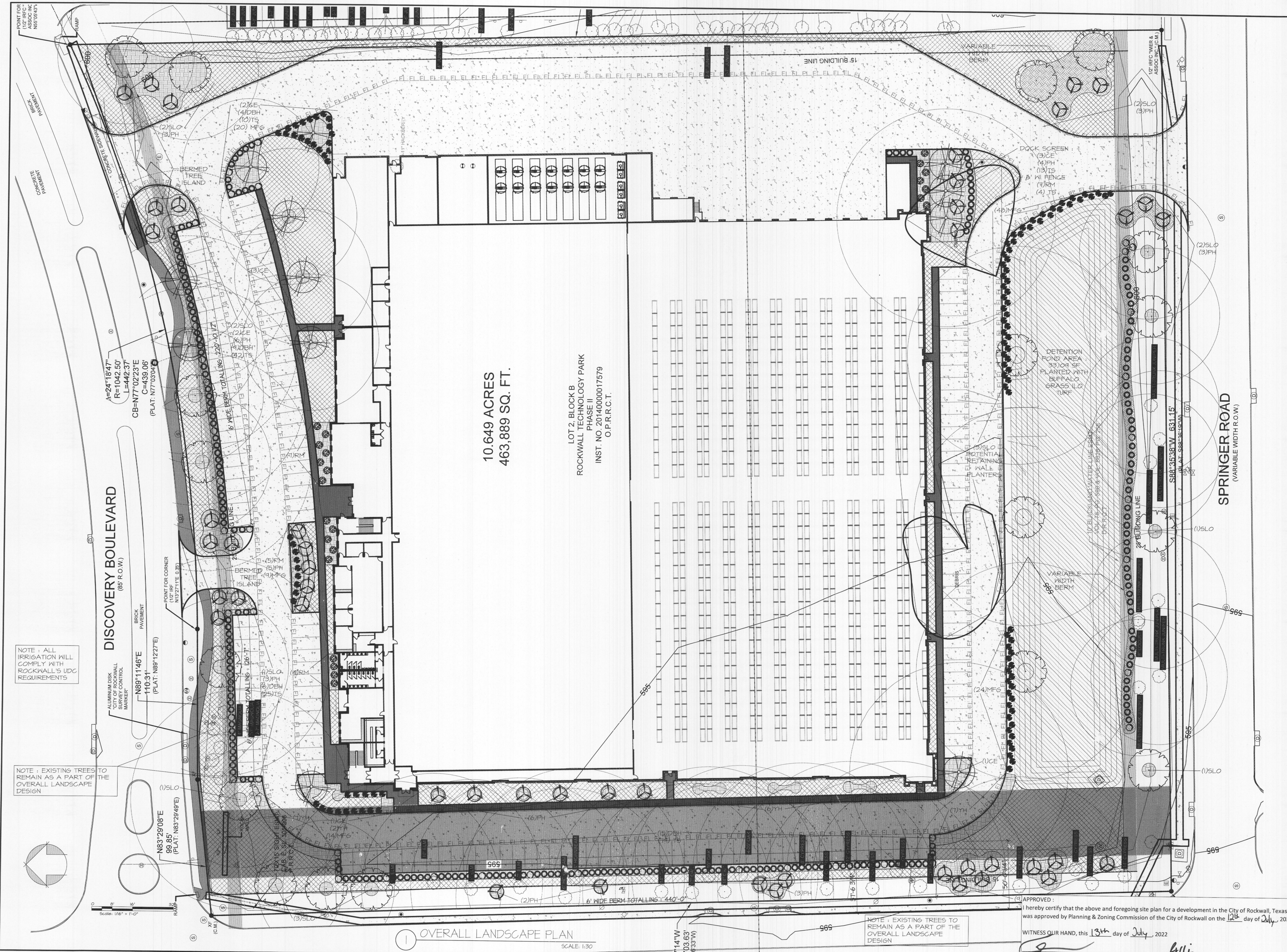
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2022.06.15

SIDE ELEV.
 A-5



10.649 ACRES
463,889 SQ. FT.

LOT 2, BLOCK B
ROCKWALL TECHNOLOGY PARK
PHASE II
INST. NO. 20140000017579
O.P.R.R.C.T.

DISCOVERY BOULEVARD
(65' R.O.W.)

SPRINGER ROAD
(VARIABLE WIDTH R.O.W.)

NOTE: ALL IRRIGATION WILL COMPLY WITH ROCKWALL'S UDC REQUIREMENTS

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

OVERALL LANDSCAPE PLAN
SCALE: 1/32"

PLAN STATUS		
REV.	DATE	CHANGE
-	06.17.2022	SITE PLAN SUBMITTAL
-	07.06.2022	SP RESUBMITTAL
-	07.10.2022	REVISED LANDSCAPE

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
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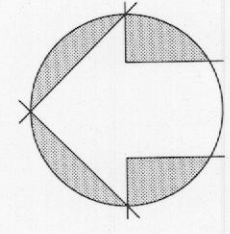
LANDSCAPE
L-1

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WITNESS OUR HAND, this 13th day of July, 2022

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning



LANDSCAPE PLAN

Scale: 1" = 20'-0"

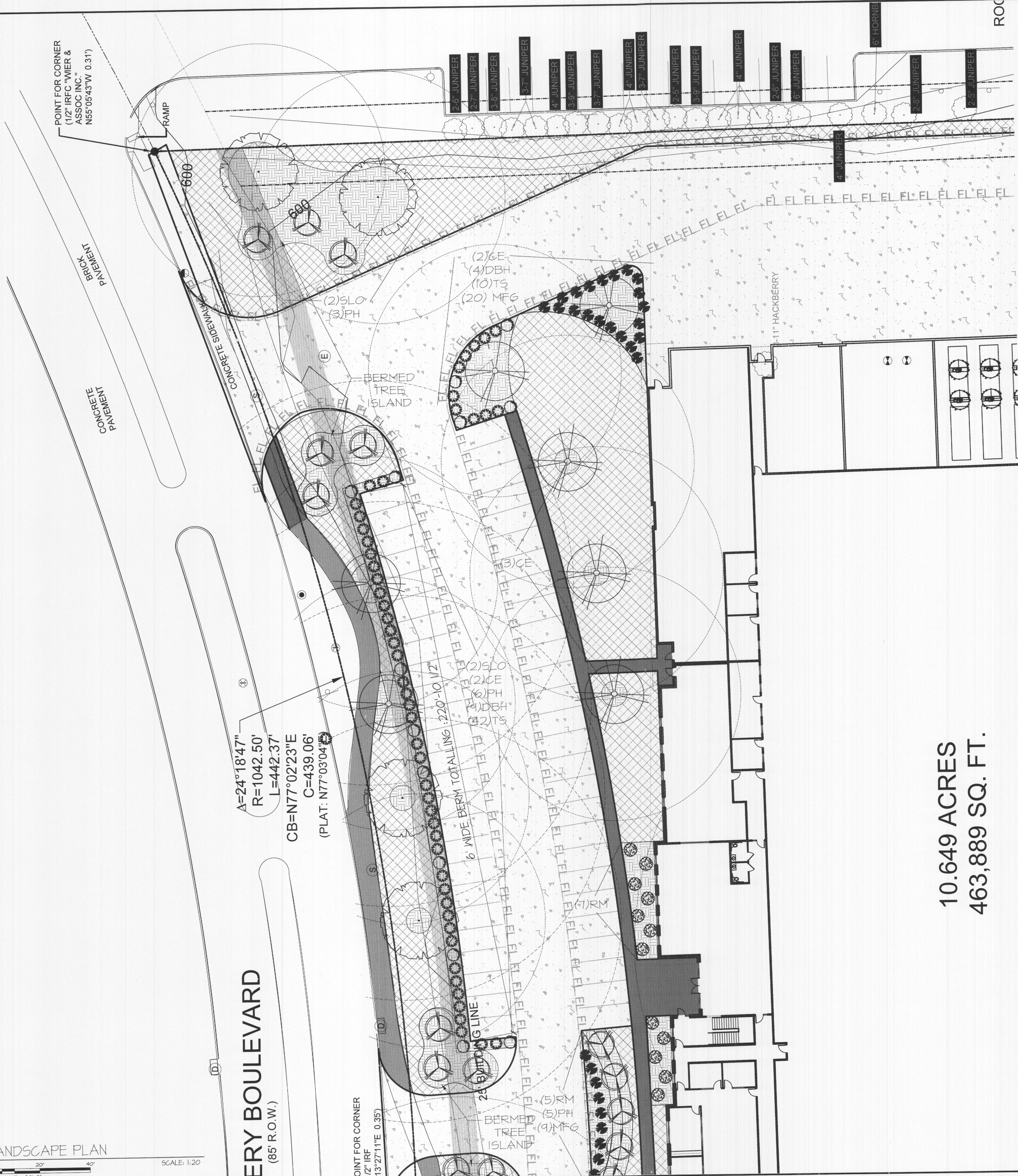
SCALE: 1:20

ERY BOULEVARD
(85' R.O.W.)

POINT FOR CORNER
(1/2" IRFC "WIER &
ASSOC INC." N55°05'43"W 0.31')

A=24°18'47"
R=1042.50'
L=442.37'
CB=N77°02'23"E
C=439.06'
(PLAT: N77°03'04")

POINT FOR CORNER
(1/2" IRFC "WIER &
ASSOC INC." N55°05'43"W 0.31')



10.649 ACRES
463,889 SQ. FT.

CHEWTERS CHOCOLATE

16-Jun-22
Revised: 10-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC
ROADS + PARKING :	128,231 SF	2.944 AC
BUILDING :	189,853 SF	4.358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF 1.60 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	30,621 SF 0.703 AC
MULCHED BEDS :	27,535 SF 0.632 AC
GRASSED PORTION OF DETENTION :	31,827 SF 0.731 AC

LANDSCAPE PROVIDED :	89,983 SF* 2.066 AC
----------------------	---------------------

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE
TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :			26 SPACES
RETAIL :			12 SPACES
WAREHOUSE :			20 SPACES
MANUFACTURING :			108 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBR.	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	18	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	5" CALIPER MINIMUM, 12' HT., 4' SPREAD; 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	CEDAR ELM	CE	Ulmus Crassifolia	4" CALIPER MINIMUM, 9' HT., 3' SPREAD; 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	45	POSSUMHAW HOLLY	PH	Unigadia speciosa	MULTI-TRUNK, MIN. 4' HT., FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	44	DWARF BURFORD HOLLY	DBH	Ilex cornuta burfordii nana	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	221	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	115	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	± 3'-5'
		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	
		BUFFALO GRASS		Buchloe Dactyloides	DETENTION POND NATIVE GRASS	

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[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

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-	07.06.2022	SP RESUBMITTAL	MP
-	07.10.2022	REVISED LANDSCAPE	MP

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DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

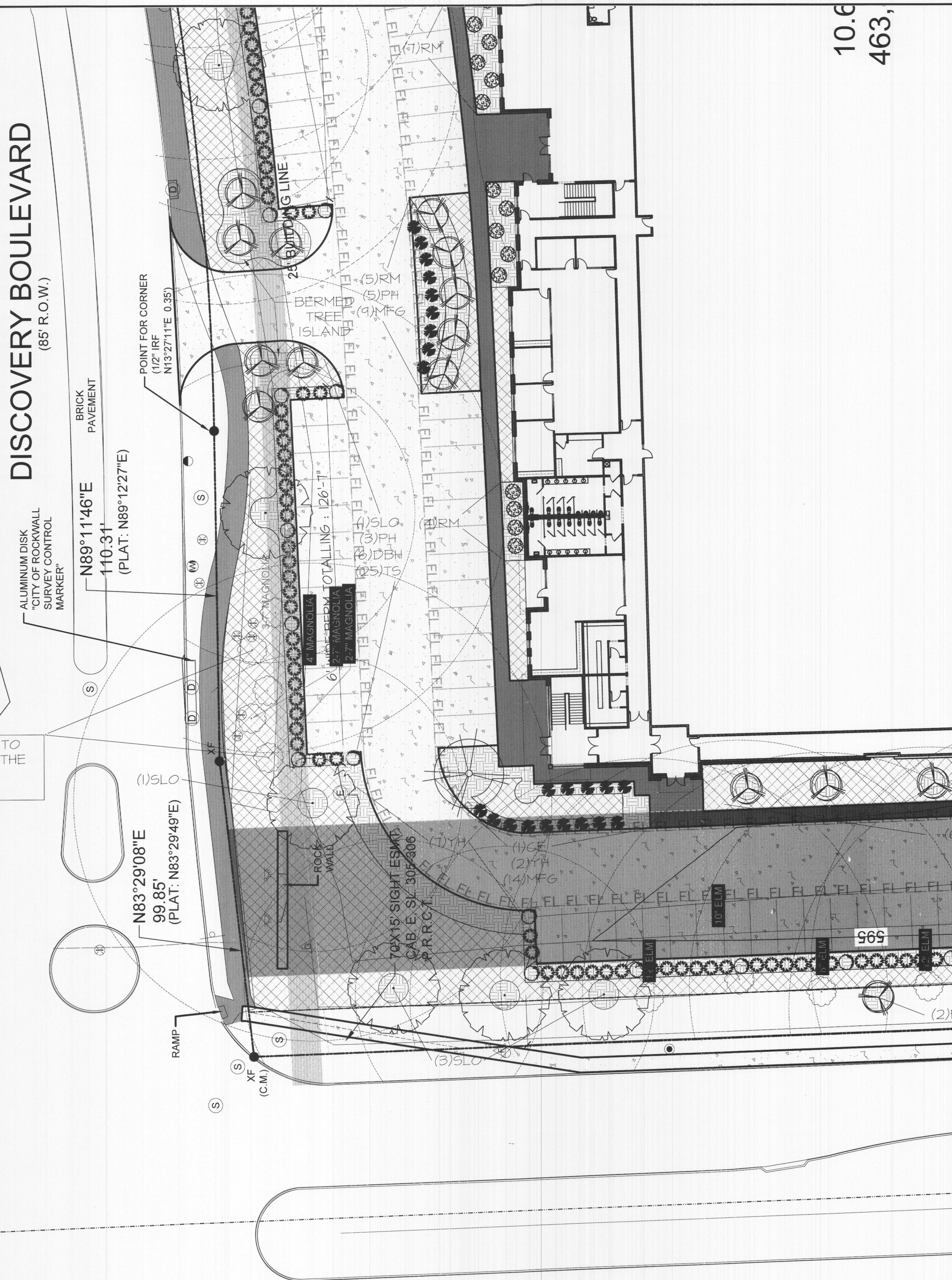
DATE: 2022.06.15

LANDSCAPE
L-2

NOTE: ALL IRRIGATION WILL COMPLY WITH ROCKWALL'S JDC REQUIREMENTS

NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

DISCOVERY BOULEVARD
(85' R.O.W.)



10.6
463,

CHEWTERS CHOCOLATE

16-Jun-22
Revised: 10-Jul-22

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REQUIRED LANDSCAPE:	15% OF TOTAL AREA
	69,583 SF 1.60 AC

PROPOSED LANDSCAPE:

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MULCHED BEDS:	27,535 SF	0.632 AC
GRASSED PORTION OF DETENTION:	31,827 SF	0.731 AC

LANDSCAPE PROVIDED:	89,983 SF*	2.066 AC
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*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING:

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RETAIL:	2700 SF	1/250	11 SPACES
WAREHOUSE:	90500 SF	1/1000*	91 SPACES
MANUFACTURING:	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION):

298 SPACES

PARKING PROVIDED:

OFFICE:	26 SPACES
RETAIL:	12 SPACES
WAREHOUSE:	20 SPACES
MANUFACTURING:	108 SPACES

166 SPACES

NOTE: INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY	COMMON NAME	ABBV	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	10	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	5" CALIFER MINIMUM, 12' HT.; 4' SPREAD, 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	11	CEDAR ELM	CE	Ulmus Crassifolia	4" CALIFER MINIMUM, 9' HT.; 3' SPREAD, 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
	45	POSSUMHAW HOLLY	PH	Unigadia Speciosa	MULTI-TRUNK, MIN. 4' HT., FULL / EVEN BRANCHING	± 10'
	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
	44	DWARF BURFORD HOLLY	DBH	Ilex cornuta burfordii nana	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
	221	TEXAS SAGE	TS	Leucophyllum sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
	115	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	± 3'-5'
		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	
		BUFFALO GRASS		Buchloe Dactyloides	DETENTION POND NATIVE GRASS	

GNISSC

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.

WITNESS OUR HAND, this 13th day of July, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE	BY
-	06.17.2022	SITE PLAN SUBMITTAL	MP
-	07.06.2022	SP RESUBMITTAL	MP
-	07.10.2022	REVISED LANDSCAPE	MP

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS

db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER:
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT:
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

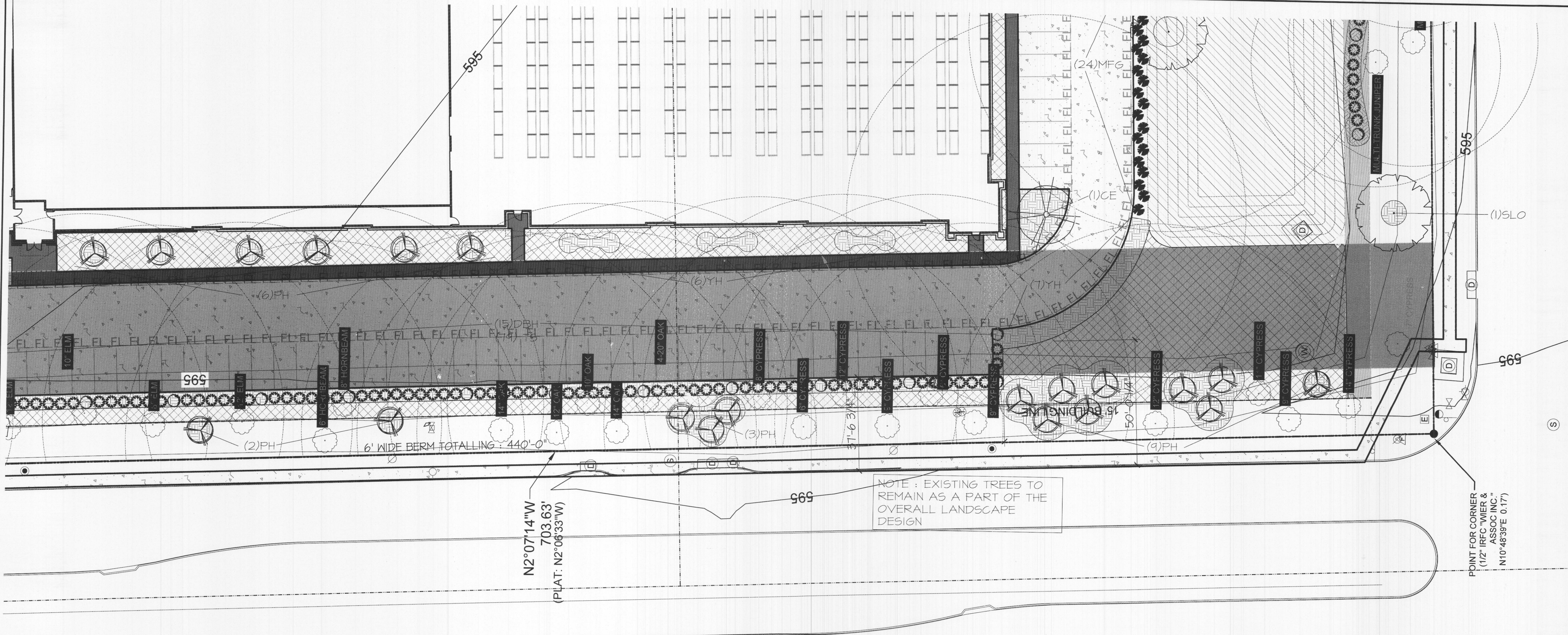
DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2022.06.15

LANDSCAPE
L-3



PLAN STATUS		
REV.	DATE	CHANGE BY
-	06.17.2022	SITE PLAN SUBMITTAL MP
-	07.06.2022	SP REV/UMITTAL MP
-	07.10.2022	REVISED LANDSCAPE MP

CHEWTERS CHOCOLATE
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DESIGN	DRAWN	CHKD
MP	MP	MP

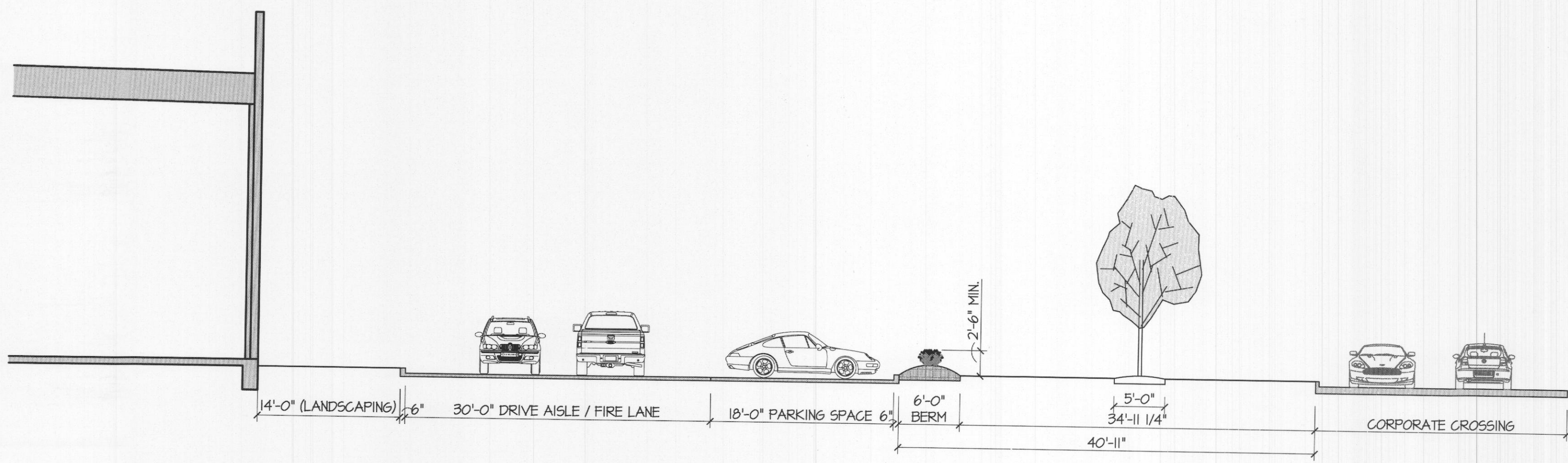
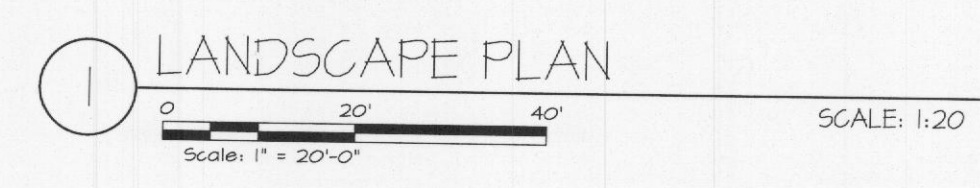
CHEWTERS CHOCOLATE

Case No. SP2022-34

DATE: 2022.06.15

LANDSCAPE
L-4

CORPORATE CROSSING
 (110' R.O.W.)



NOTE: EXISTING TREES TO REMAIN AS A PART OF THE OVERALL LANDSCAPE DESIGN

CHEWTERS CHOCOLATE

16-Jun-22
 Revised: 10-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
TOTAL IMPERVIOUS :	336,997 SF	7.74 AC
ROADS + PARKING :	128,231 SF	2,944 AC
BUILDING :	189,853 SF	4,358 AC
BUILDING SIDEWALKS :	8,234 SF	0.189 AC
EXISTING SIDEWALKS :	3,586 SF	0.082 AC
ROW SIDEWALKS :	7,093 SF	0.163 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	69,583 SF

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	30,621 SF
MULCHED BEDS :	27,535 SF
GRASSED PORTION OF DETENTION :	31,827 SF

LANDSCAPE PROVIDED :	89,983 SF*	2.066 AC
----------------------	------------	----------

*THE EXISTING TREES ON CORPORATE CROSSING & SPRINGER NOT COUNTED IN THIS CALCULATION

REQUIRED PARKING :

OFFICE :	7925 SF	1/300	26 SPACES
RETAIL :	2700 SF	1/250	11 SPACES
WAREHOUSE :	90500 SF	1/1000*	91 SPACES
MANUFACTURING :	85161 SF	1/500*	170 SPACES

*AS DETERMINED BY DIRECTOR IS MORE APPROPRIATE

TOTAL PARKING REQUIRED (WITHOUT DIRECTOR CONSIDERATION): **298 SPACES**

PARKING PROVIDED :

OFFICE :	26 SPACES
RETAIL :	12 SPACES
WAREHOUSE :	20 SPACES
MANUFACTURING :	108 SPACES

NOTE: INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

SYMBOL	QTY.	COMMON NAME	ABBV.	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
(SLO)	18	SOUTHERN LIVE OAK	SLO	Quercus Virginiana	5' CALIFER MINIMUM, 12' HT., 4' SPREAD, 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
(CE)	11	CEDAR ELM	CE	Ulmus Crassifolia	4' CALIFER MINIMUM, 9' HT., 3' SPREAD, 3' BRANCH HT. (CONTAINER GROWN)	MIN. 24' O.C.
(PH)	45	POSSUMHAW HOLLY	PH	Ulmopanax Spiclosa	MULTI-TRUNK, MIN. 4' HT., FULL / EVEN BRANCHING	± 10'
(YH)	22	YAPON HOLLY	YH	Ilex Vomitoria (Yaupon)	5 GAL., 48" HT., FULL/EVEN BRANCHING, MATCHING	± 10'
(DBH)	44	DMARF BURFORD HOLLY	DBH	Ilex cornuta burfordii nana	5 GAL., 32" TALL, FULL/EVEN BRANCHING, MATCHING	REF. PLAN
(TS)	22	TEXAS SAGE	TS	Leucophyllum Sp.	30" MIN. HT., EVEN BRANCHING AND MATCHING	3'
(CTS)	23	ROSEMARY	CTS	Leucophyllum	24" MIN. HT., EVEN BRANCHING AND MATCHING	± 6'
(MF6)	115	MEXICAN FEATHER GRASS	MF6	Sorghastrum nutans	3 GAL.	± 3'-5'
(BERMUDA GRASS)		BERMUDA GRASS		Cynodon Dactylon	ALL TURF GRASS TO BE BERMUDA	
(BUFFALO GRASS)		BUFFALO GRASS		Echinochloa Dactyloides	DETENTION POND NATIVE GRASS	

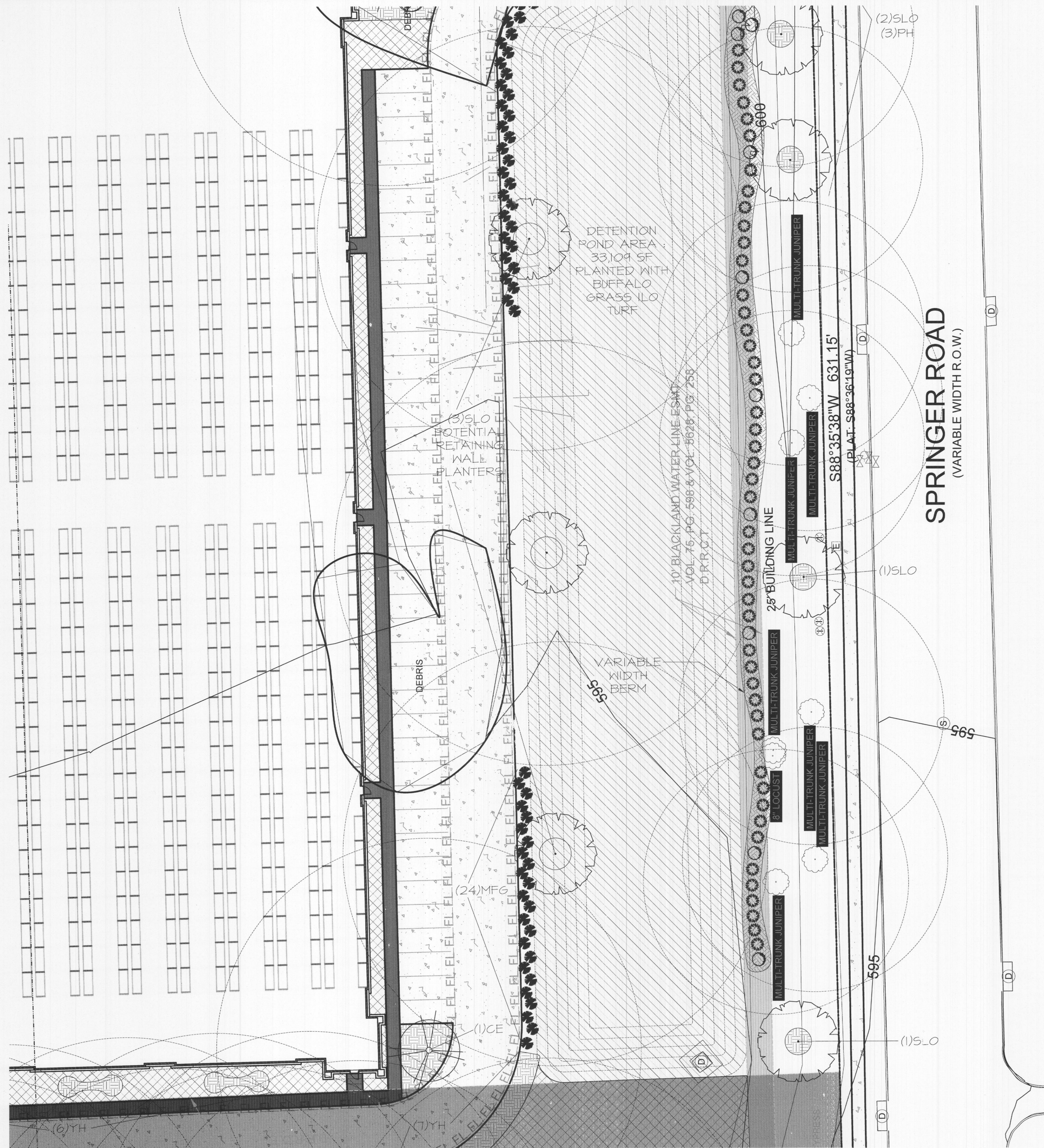
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the 13th day of July, 2022

WITNESS OUR HAND, this 13th day of July, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



DETECTION POND AREA :
33,109 SF
PLANTED WITH
BUFFALO
GRASS ILO
TURF

SPRING ROAD
(VARIABLE WIDTH R.O.W.)

CHEWTERS CHOCOLATE

16-Jun-22
Revised: 10-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
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REQUIRED LANDSCAPE :	15% OF TOTAL AREA
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PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	30,621 SF 0.703 AC
MULCHED BEDS :	27,535 SF 0.632 AC
GRASSED PORTION OF DETENTION :	31,827 SF 0.731 AC

LANDSCAPE PROVIDED :	89,983 SF*	2.066 AC
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WITNESS OUR HAND, this 13 day of July, 2022

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

REV.	DATE	CHANGE BY	PLAN STATUS	
			MP	MP
-	06.17.2022	SITE PLAN SUBMITTAL	MP	MP
-	07.06.2022	SP RESUBMITTAL	MP	MP
-	07.10.2022	REVISED LANDSCAPE	MP	MP

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ROCKWALL, TEXAS

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DESIGN	DRAWN	CHKD
MP	MP	MP

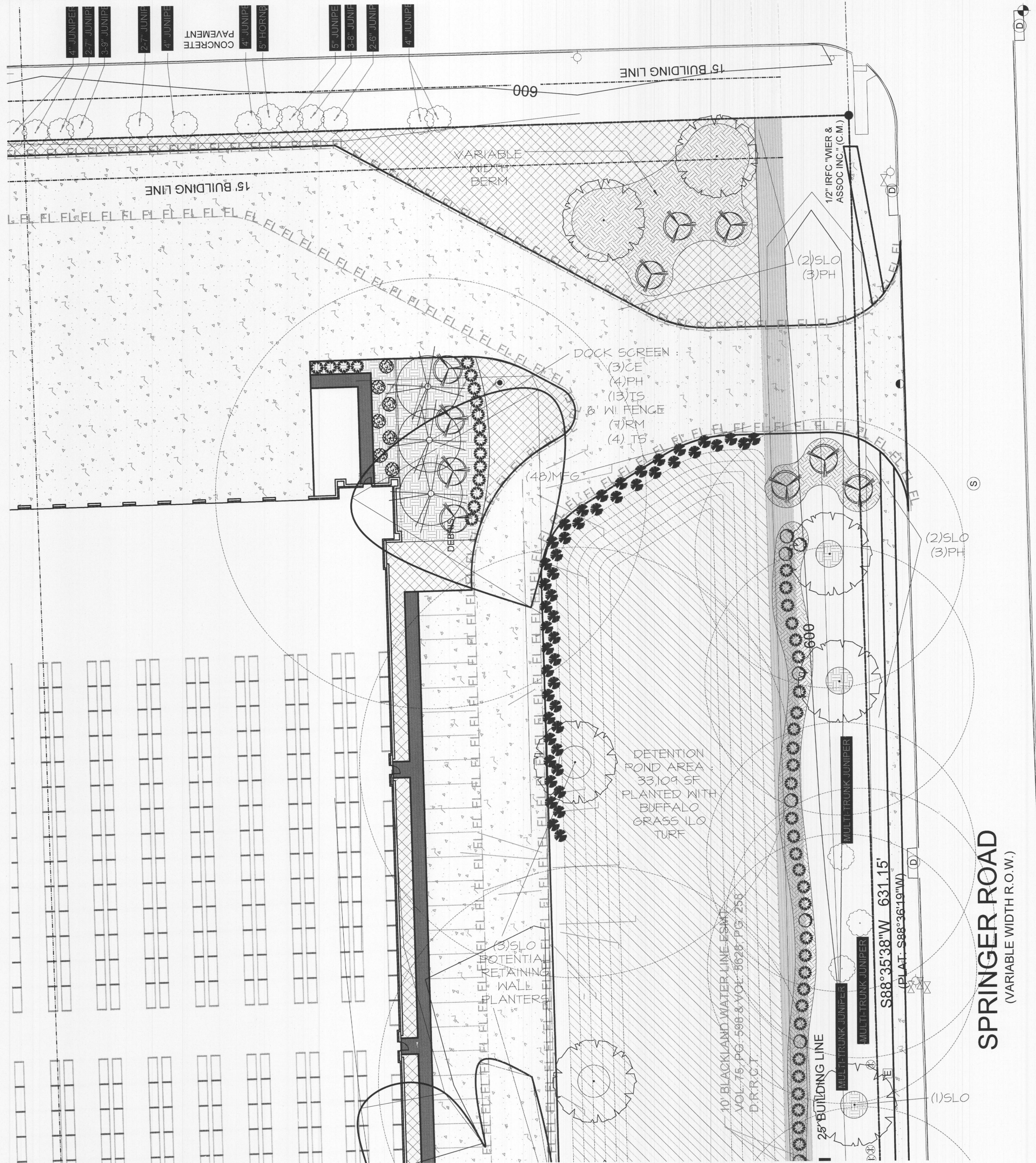
CHEWTERS CHOCOLATE

Case No. **SP2022-34**

DATE: **2022.06.15**

LANDSCAPE
L-5

LANDSCAPE PLAN
SCALE: 1/20
Scale: 1" = 20'-0"



CHEWTERS CHOCOLATE

16-Jun-22
Revised: 10-Jul-22

SITE TABULATIONS :

TOTAL SITE AREA :	463,889 SF	10.65 AC
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APPROVED :
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WITNESS OUR HAND, this 13th day of July, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

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 2911 DISCOVERY BLVD / LOT 1 BLOCK B
 ROCKWALL TECH PARK, PH II
 ROCKWALL, TEXAS

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DESIGN	DRAWN	CHKD
MP	MP	MP

CHEWTERS CHOCOLATE

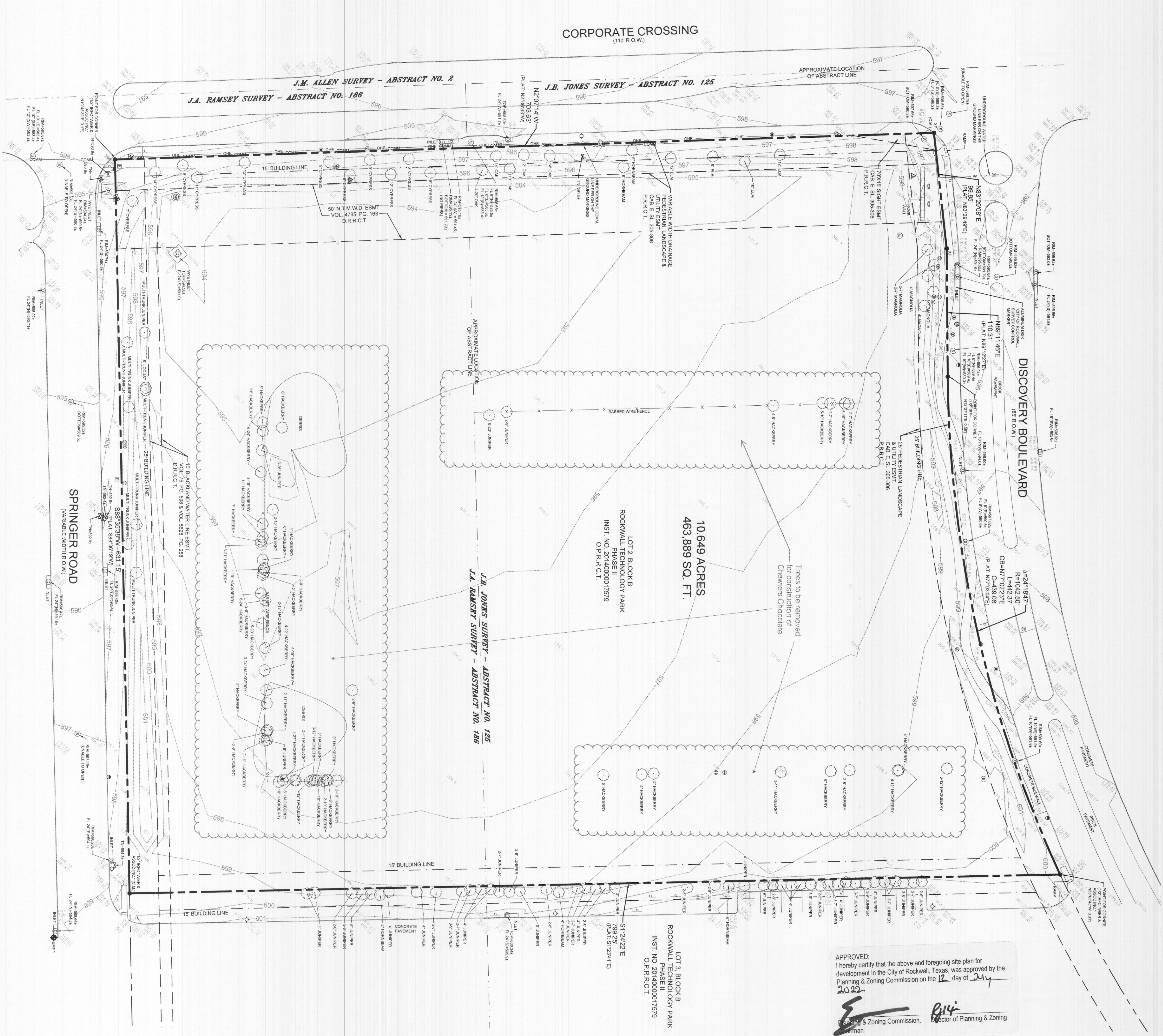
Case No. SP2022-34

DATE: 2022.06.15

LANDSCAPE
L-6

LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

PLAN STATUS	CHANGE BY
REV.	DATE
-	06.17.2022
-	07.06.2022
-	07.10.2022



BM# 1
 "C" CUT SET ON THE SOUTHEAST CORNER OF A CURB INLET ON THE SOUTH LINE OF SPRINGER ROAD.
 ELEV=598.77

BENCH MARK LIST

NOTES

1. The basis of bearings for this survey is The State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983, Adjustment realization 2011.
2. Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Dallas County, Texas and Incorporated Areas, Map No. 48397C0045 L, Community-Panel No. 480547, 0045 L, effective date September 26, 2008. All of the subject property is shown to be located in "Zone X" on said map. Relevant zones are defined on said maps as follows:
 "Zone X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain.
3. There are no existing buildings on the surveyed property.
4. All building lines and easements shown hereon are per the Replat of Lots 2 & 3, Block B, Rockwall Technology Park, Phase II recorded in Instrument No. 2014000017579, Official Public Records, Rockwall County, Texas, unless otherwise noted.
5. The survey abstract lines shown hereon are approximate and are not located on the ground.
6. This survey was done without the benefit of a title commitment. There may be easements and other matters of record affecting this property that are not shown hereon.

LEGEND

- | | | | |
|---|-------------------------|---|-------------------------------|
| ⊕ | ELEVATION BENCHMARK | ⊕ | STORM SEWER MANHOLE |
| ⊕ | FIBER OPTIC MARKER SIGN | ⊕ | TREE |
| ⊕ | GAS VALVE | ⊕ | FIRE HYDRANT |
| ⊕ | ELECTRIC VALVE | ⊕ | WATER MANHOLE |
| ⊕ | ELECTRIC BOX | ⊕ | WATER VALVE |
| ⊕ | FLOOD LIGHT | ⊕ | WATER MARKER SIGN |
| ⊕ | ELECTRIC MANHOLE | ⊕ | FLOW LINE |
| ⊕ | LIGHT STANDARD | ⊕ | TOP OF NUT/ELEVATION |
| ⊕ | SIGN | ⊕ | OHE OVERHANGING ELECTRIC LINE |
| ⊕ | WOOD POST | ⊕ | C.M. CONTROLING MONUMENT |
| ⊕ | IRREGATION VALVE | ⊕ | IRON ROD WITH CAP FOUND |
| ⊕ | SANITARY SEWER MANHOLE | ⊕ | IRON ROD FOUND |
| ⊕ | | ⊕ | "X" CUT IN CONCRETE FOUND |



10.649 ACRES
 BOUNDARY & TOPOGRAPHIC SURVEY
 SITUATED IN THE
 JOHN H.B. JONES SURVEY, ABSTRACT NO. 125 &
 JOHN A. RAMSEY SURVEY, ABSTRACT NO. 186
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SCALE: 1"=40'
 DATE: APRIL 12, 2022
 PROJECT NO. 2022-018

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of July 2022.
 [Signature]
 Director of Planning & Zoning

LOT 3, BLOCK B
 ROCKWALL TECHNOLOGY PARK
 INST. NO. 2014000017579
 O.P.R.C.T.

S11°24'22"E
 799.25'
 (PLAT. S11°24'15")

10.649 ACRES
 463,889 SQ. FT.

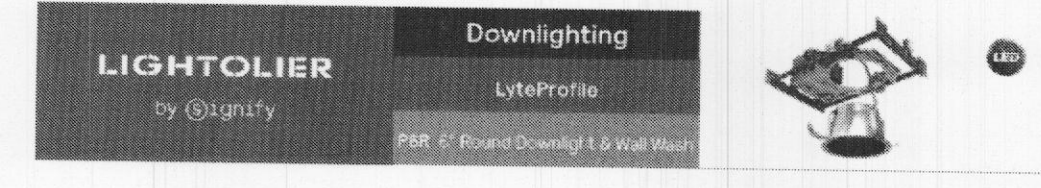
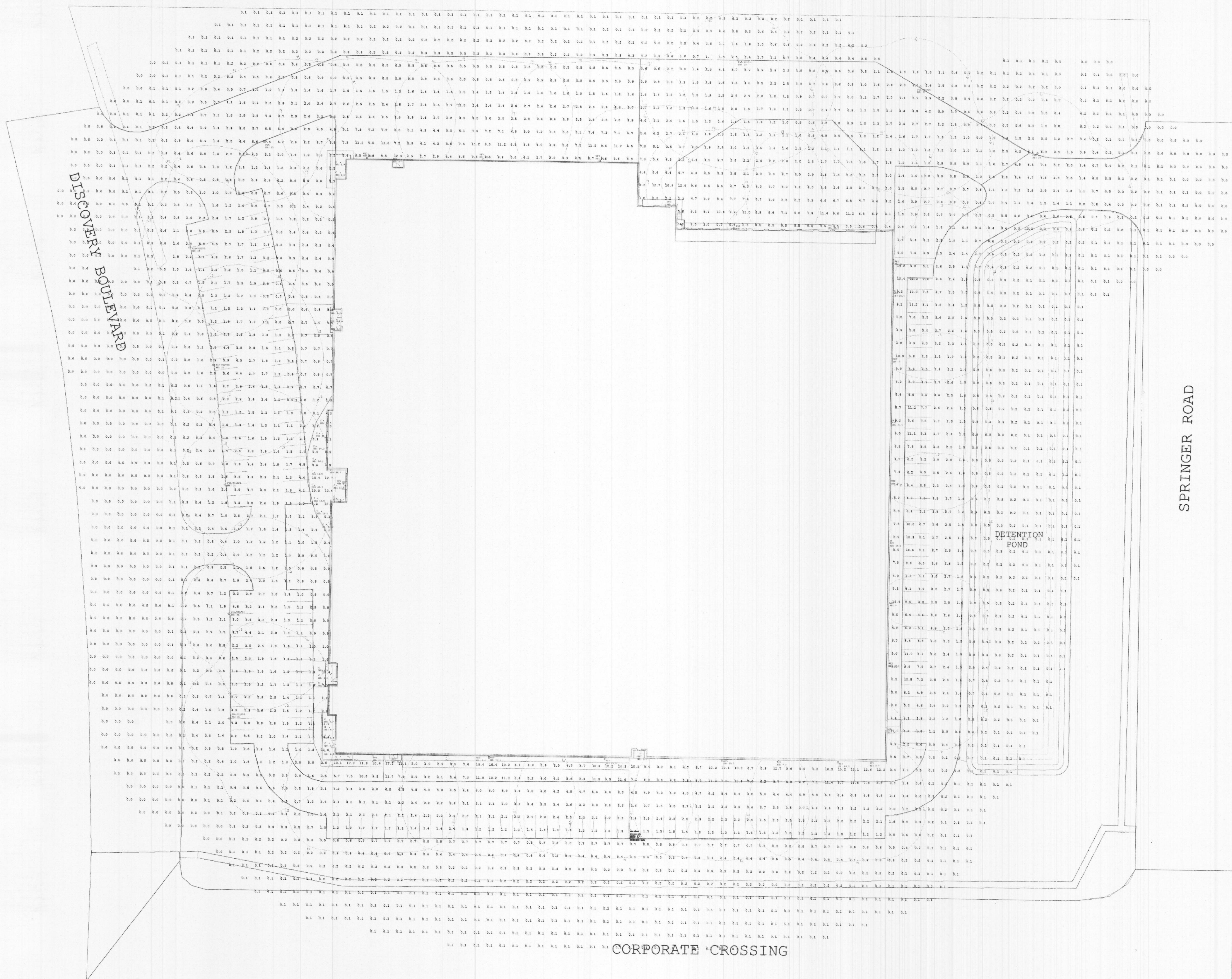
LOT 2, BLOCK B
 ROCKWALL TECHNOLOGY PARK
 INST. NO. 2014000017579
 O.P.R.C.T.

J.B. JONES SURVEY - ABSTRACT NO. 125
 J.A. RAMSEY SURVEY - ABSTRACT NO. 186

SPRINGER ROAD
 (VARIABLE WIDTH R.O.W.)

DISCOVERY BOULEVARD
 (85' R.O.W.)

CORPORATE CROSSING
 (110' R.O.W.)



Lightolier
by @lighty

Downlighting
LiteProfile
P6R 6" Round Downlight & Wall Wash

Lightolier downlights and wall washers provide a perfect balance of functionality with great control. The robust and versatile LiteFrame supports 100-watt LEDs and is designed for easy to manage and install. Ideal for use in a variety of applications including open offices, institutional, healthcare, and retail.

Standard features include:
- 100-watt LED
- 100-watt LED
- 100-watt LED
- 100-watt LED

ALS
ALV SERIES AREA LIGHT

CONSTRUCTION
The sleek design single-piece die-cast AZ91 aluminum housing has integral heat sink. The maximum thermal management through conductive and convective cooling. The LED driver is housed in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65, Ultra-low EMI (E62) 10'

OPTICS (OPTIONAL)
UV resistant acrylic optics, available in Type I, II, III, IV, V distributions. Silicone gasket ensures a weather proof seal around each individual optic. Optics available 90° (standard) and 120° (optional). Full cutoff LED when mounted with non-adjustable pole mount (SR) or 3 degree tilt with adjustable luminaire (SR), means Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
80-CR Samsung LED
4000K to 5000K CCT up to 12000K maximum operating temperature
Long life greater than 100,000 hrs at L70
Standard driver operates at 120/277VAC 50/60Hz dimmable driver, dim to 10%
RoHS/REACH <10% THD, 0.9 power factor, Standard 4W surge protection
Optional 5W surge protection
Optional DALI/DMX input

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ALV SERIES AREA LIGHT

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ALS
WFA SERIES FULL CUTOFF SELECTABLE WALL PACK

CONSTRUCTION
Sleek and modern design, die-cast aluminum housing, rugged design protects internal components and provides excellent thermal management. Hidden door assembly opens to the side, and aluminum housing with 1" oval cutout visible for use and sized for surface conduit.

OPTICS
Full cut-off distribution conform to dark sky requirement - individual acrylic LED optics provide 80° Type IV distribution
Light output is selectable between 3000K, 4000K, and 5000K (8000K CRI) configurations.

OPTICS (OPTIONAL)
UV resistant acrylic optics, available in Type I, II, III, IV, V distributions. Silicone gasket ensures a weather proof seal around each individual optic. Optics available 90° (standard) and 120° (optional). Full cutoff LED when mounted with non-adjustable pole mount (SR) or 3 degree tilt with adjustable luminaire (SR), means Dark Sky requirement. Optional backlight cover for optics available.

ALS
ALV SERIES AREA LIGHT

CONSTRUCTION
The sleek design single-piece die-cast AZ91 aluminum housing has integral heat sink. The maximum thermal management through conductive and convective cooling. The LED driver is housed in direct contact with the housing for effective heat dissipation to promote low operating temp and long life. Housing is completely sealed against moisture and environmental contaminants (IP65, Ultra-low EMI (E62) 10'

OPTICS (OPTIONAL)
UV resistant acrylic optics, available in Type I, II, III, IV, V distributions. Silicone gasket ensures a weather proof seal around each individual optic. Optics available 90° (standard) and 120° (optional). Full cutoff LED when mounted with non-adjustable pole mount (SR) or 3 degree tilt with adjustable luminaire (SR), means Dark Sky requirement. Optional backlight cover for optics available.

ELECTRICAL
80-CR Samsung LED
4000K to 5000K CCT up to 12000K maximum operating temperature
Long life greater than 100,000 hrs at L70
Standard driver operates at 120/277VAC 50/60Hz dimmable driver, dim to 10%
RoHS/REACH <10% THD, 0.9 power factor, Standard 4W surge protection
Optional 5W surge protection
Optional DALI/DMX input

Symbol	Qty	Label	Description	LLF	Lumens	Total Watts
○	28	C	LIGHTOLIER # 6RN / P6R-DL-15-840-CD-P-Z10-U	0.950	1,500	(15) 420
□	2	PIA	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-17, 235-40-T3-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS22-B-5-4-D190-BM	0.950	17,235	(150) 300
□	7	PIA-TILT20	ADVANTAGE LIGHTING SOLUTIONS # ALV-150-17, 235-40-T3-DB-UNVD-MOUNT ALV-SR-SHIELD-ALV / SSS22-B-5-4-D190-BM	0.950	17,235	(150) 1050
□	12	WP2	ADVANTAGE LIGHTING SOLUTIONS # WFA-3/23-3, 634-SC/4000K-DB-UD	0.950	4065.1	(23) 305.04
□	13	WP3	ADVANTAGE LIGHTING SOLUTIONS # ALV-200-30, 0000-40-T4-DB-UNVD-MOUNT ALV-WM	0.950	30,000	(200) 2600
□	2	WP4	ADVANTAGE LIGHTING SOLUTIONS # ALV-185-27, 750-40-T4-DB-UNVD-MOUNT ALV-WM	0.950	27,750	(185) 370

Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label	CalcPts 1	ILLUMINANCE	Fc	1.61	19.4	0.0	N.A.	N.A.
PAVED SURFACE		ILLUMINANCE	Fc	2.78	12.9	0.1	27.80	129.00

APPROVED: _____
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the 12th day of July, 2022.

WITNESS OUR HAND, this 13th day of July, 2022

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REV.	DATE	CHANGE BY	PLAN STATUS	
			MP	MP
1	06.17.2022	SITE PLAN SUBMITTAL	MP	
1	07.06.2022	SP RESUBMITTAL	MP	

CHEWTERS CHOCOLATE
2911 DISCOVERY BLVD / LOT 1 BLOCK B
ROCKWALL TECH PARK, PH II
ROCKWALL, TEXAS

db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TX
817.626.7300
INFO@DBCONSTRUCTORS.COM

OWNER :
ROCKWALL EDC +
2610 OBSERVATION TRAIL
ROCKWALL, TX
972.772.0025

CHEWTERS CHOCOLATE
1648 DERWENT WAY
DELTA, BC
604.515.7117

APPLICANT :
DB CONSTRUCTORS, INC
MATTHEW J PETERSON
972.837.6244
MATTHEW@DBCONSTRUCTORS.COM

DESIGN	DRAWN	CHKD
		MP

CHEWTERS CHOCOLATE
Case No. SP2022-34
DATE: 2022.06.15
PHOTOMETRIC 1



July 13, 2022

TO: Matthew Peterson, AIA
DB Constructors
2400 Great Southwest Parkway
Fort Worth, TX 76106

CC: Matt Wavering
2610 Observation Trail
Rockwall, TX 75032

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-034; *Site Plan for Chewfers*

Matthew:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on July 12, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 12, 2022, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 6-0 with Commissioner Llewelyn absent.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 771-6488.

Sincerely,

A handwritten signature in purple ink that reads "Bethany Ross". The signature is fluid and cursive, with the first name being more prominent.

Bethany Ross, Planner
City of Rockwall Planning and Zoning Department

Ross, Bethany

From: Ross, Bethany
Sent: Monday, July 11, 2022 3:07 PM
To: 'Matthew Peterson'
Cc: Jeff Toon
Subject: RE: SP2022-034 SITE PLAN RESPONSE FOR CHEWTERS

Yes, that would be great. That way we can get those signed Tuesday night and you can move onto the Engineering process if you are ready (the Engineering submittal day is Wednesday).

Thanks,
Bethany Ross
Planner
City of Rockwall
972.772.6488 Office
bross@rockwall.com
<http://www.rockwall.com/planning/>

From: Matthew Peterson [mailto:matthew@dbconstructors.com]
Sent: Monday, July 11, 2022 3:04 PM
To: Ross, Bethany <bross@rockwall.com>
Cc: Jeff Toon <jefft@dbconstructors.com>
Subject: Re: SP2022-034 SITE PLAN RESPONSE FOR CHEWTERS

Bethany,

Awesome news!!!! Thank you.

I will get the note added and we'll be all set!!!

Do you need a full set printed and delivered for the meeting tomorrow night?

Matthew.

On Jul 11, 2022, at 11:13, Ross, Bethany <bross@rockwall.com> wrote:

I'm glad! I didn't want to scare you!

Thanks so much for the letter! It is perfect.

The landscape plan looks great! Thanks so much for the quick turnaround. Just add a line item for the species of native grass that is intend to be used on the landscape table.

Bethany Ross
Planner
City of Rockwall

972.772.6488 Office
bross@rockwall.com
<http://www.rockwall.com/planning/>

From: Matthew Peterson [<mailto:matthew@dbconstructors.com>]
Sent: Sunday, July 10, 2022 5:38 PM
To: Ross, Bethany <bross@rockwall.com>
Cc: Jeff Toon <jefft@dbconstructors.com>
Subject: RE: SP2022-034 SITE PLAN RESPONSE FOR CHEWTERS

Bethany,

Thank you so much! I loved the Good News / Bad News approach. HA!!!

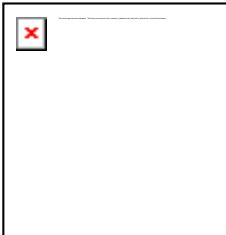
I have attached to this email the "letter" requesting the Exceptions and Variances. I hope this works – but let me know if there is something different that I need to do!

AND, I took a shot at the revised landscape plan – I changed the detention pond and added the accent trees along Corporate Crossing (where I could! 😊).

On the detention pond, I think I am still confused. I read the below and think I did it right but I am getting confused on Ornamental Grass and Native Grass. So, my thought was to have the "bottom of the pond" planted with native grasses and then I added ornamental grasses to the top of the detention pond (the 1/750 is approximately 45 plants). We have added 72 plants to be consistent with the overall design.

Ok, so please let me know what you think – we can make any adjustments that you need us to!

Matthew.



Matthew J Peterson, AIA

Vice-President, Design & Development

O: 817-626-7300

M: 972-837-6244

E: matthew@dbconstructors.com

2400 Great Southwest Parkway
Fort Worth, TX 76106

*Dallas Business Journal 2020 Top
50 North Texas General Contractor*

www.dbconstructors.com

From: Ross, Bethany <bross@rockwall.com>
Sent: Friday, 8 July, 2022 11:16
To: 'Matthew Peterson' <matthew@dbconstructors.com>
Subject: RE: SP2022-034 SITE PLAN RESPONSE FOR CHEWTERS

Hey Matthew,

A little bad news but also some good news ☺.

Bad news first:

The Landscape plan for Chewters does not conform to the requirements along Corporate Crossing and in the detention area. You will need to provide an updated Landscape Plan that conforms to the requirements. You can cluster the accent trees needed along the corners of Corporate Crossing and provide a xeriscape/smartsaped detention area. Below I have attached the section of the UDC where the Smartscape is mentioned, please read and comply to those standards and take out the trees in that area.

- (2) Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Some native grass varieties that have been used in the past are:

Big bluestem, cereal ryegrass, eastern gamagrass, green sprangletop, prairie wildrye, switchgrass, wild tridens, broomsedge bluestem, blackland prairie, and bushy bluestem.

Ornamental Grasses or shrubs that are accepted for xeri-scaping are indicated as "XERI" in the attached document.

Good News:

We are going to go ahead and push you forward to the Planning and Zoning meeting on July 12 but with the condition of approval that an updated landscape plan is provided to staff before the Engineering process.

The following variances and exceptions are being requested at the July 12 meeting. Provide a letter that lists out the requested exceptions/variances and the subsequent compensatory items before Monday at 3 PM.:

Exceptions.

1. Secondary Building Facades. According to Subsection 04.01(C)(2) of Article 05, *Development Standards*, of the Unified Development Code (UDC) secondary facades require projections associated with architectural elements and wall lengths. Specifically, secondary architectural elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does not incorporate vertical and horizontal projections that meet the requirements established by the Unified Development Code (UDC) for secondary building façades; however, this variance is not atypical for larger industrial buildings.
2. Primary Building Materials. According to Subsection 05.01(A)(1)(a) of Article 05, *Development Standards*, of the Unified Development Code (UDC), exterior walls should consist of 90% masonry materials. In this case, the applicant is requesting an exception to utilize tilt-wall. This is not an atypical request for larger industrial buildings.

Variances.

1. Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case the applicant has not provided any natural or quarried stone, but is proposing to utilize a cultured stone in the amount of 17% - 27%. This will require a variance from the Planning and Zoning Commission.

2. Four (4) Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC) all building shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees shall be planted along perimeter of the subject property to the rear of the building. This will require a variance from the Planning and Zoning Commission.
3. Landscape Buffer along Corporate Crossing (FM-549). According to Subsection 06.01(E)(h) of Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), the minimum landscape buffer along FM-549 for an *Industrial/Office/Technology Land Uses* is 50-feet. The subject property only has a 37-foot buffer for the majority of the adjacency of Corporate Crossing but incorporates the 50' buffer along the corner sections of both Discovery Boulevard and Springer Road. This will require a variance from the Planning and Zoning Commission.

I have identified these compensatory measures you can use based on your response letter.:

- [1] increased architectural elements
- [2] additional landscaping along around the building
- [3] Higher Caliper (5-inch) Trees for 21 Live Oaks,
- [4] an increased landscape buffer along Discovery Boulevard,
- [5] an increased landscape buffer along Springer Road, and
- [6] a six (6) foot wide berm along Corporate Crossing.

Feel free to reach out if you have any questions.

Thank you,
Bethany Ross
Planner
City of Rockwall
972.772.6488 Office
bross@rockwall.com
<http://www.rockwall.com/planning/>

From: Ross, Bethany
Sent: Thursday, July 7, 2022 8:41 AM
To: 'david@dcsengineering.com' <david@dcsengineering.com>
Cc: 'Matthew Peterson' <matthew@dbconstructors.com>
Subject: RE: SP2022-034 SITE PLAN RESPONSE FOR CHEWTERS

Hi David,

I received your submittal. Thanks so much.

Bethany Ross
Planner
City of Rockwall
972.772.6488 Office
bross@rockwall.com
<http://www.rockwall.com/planning/>

From: david@dchengineering.com [<mailto:david@dchengineering.com>]
Sent: Wednesday, July 6, 2022 2:13 PM
To: Ross, Bethany <bröss@rockwall.com>
Cc: 'Matthew Peterson' <matthew@dbconstructors.com>
Subject: SP2022-034 SITE PLAN RESPONSE FOR CHEWTERS

Ms. Ross

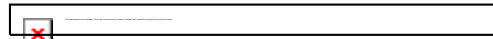
Mr. Peterson asked me to send you the response package for the aforementioned case.
Please find attached the comment response letter.
Please find below in the link the site plan drawings addressing the comments.
You should have the following sheets in the link.

Site Plan
Architectural and Landscape Plans
Tree mitigation plans
Updated photometric plans

<https://we.tl/t-GtaEFiqEwc>

Please do not hesitate to contact us if you have any questions or concerns.
It would also be appreciated if you could reply to this email to confirm receipt.

David Gregory, P.E.



1668 Keller Parkway, Suite 100
Keller, TX 76248
(817) 874-2941
david@dchengineering.com
www.dchengineering.com

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