



# PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT  
385 S. GOLIAD STREET  
ROCKWALL, TX 75087

P&Z CASE # SP2022-029 P&Z DATE July 12, 2022 CC DATE \_\_\_\_\_ Approved/Denied

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### Zoning Application

- Specific Use Permit
- Zoning Change
- PD Concept Plan
- PD Development Plan

### Site Plan Application

- Site Plan
- Landscape Plan
- Treescape Plan
- Photometric Plan
- Building Elevations
- Material Samples
- Color Rendering

### Platting Application

- Master Plat
- Preliminary Plat
- Final Plat
- Replat
- Administrative/Minor Plat
- Vacation Plat
- Landscape Plan
- Treescape Plan

### HPAB Application

- Exhibit

### Miscellaneous Application

- Variance/Exception Request

- Copy of Ordinance (ORD# \_\_\_\_\_)
- Applications
- Receipt
- Location Map
- HOA Map
- PON Map
- FLU Map
- Newspaper Public Notice
- 500-foot Buffer Public Notice
- Project Review
- Staff Report
- Correspondence
- Copy-all Plans Required
- Copy-Mark-Ups
- City Council Minutes – Laserfiche
- Minutes-Laserfiche
- Plat Filled Date \_\_\_\_\_
  - Cabinet # \_\_\_\_\_
  - Slide # \_\_\_\_\_

Notes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Zoning Map Updated \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Property ID# 102342 (No street address is shown in either City or County GIS Maps)**

SUBDIVISION **Rockwall Rental Properties** LOT **3** BLOCK **B**

GENERAL LOCATION **I-30 Frontage Rd. & Greencrest Blvd.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **C (IH-30 Overlay)** CURRENT USE **Vacant/undeveloped lot**

PROPOSED ZONING **No change to existing** PROPOSED USE **Restaurant with alcohol service and outdoor dining**

ACREAGE **2.355** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Uncle Julio's of Texas, Inc., A Texas Corporation**  APPLICANT **Consolidated Development Services**

CONTACT PERSON **Steve Bratton** CONTACT PERSON **Brian Nebel**

ADDRESS **3201 W. Royal Lane Suite 160** ADDRESS **14901 Quorum Drive Suite 310**

CITY, STATE & ZIP **Irving, TX 75063** CITY, STATE & ZIP **Dallas, TX 75254**

PHONE **972-554-3608** PHONE **469-897-5907**

E-MAIL **Steve.Bratton@unclejulios.com** E-MAIL **bnebel@cdsdevelopment.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Steve Bratton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

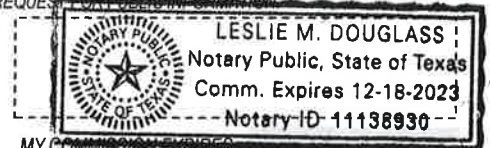
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ ~~410.00~~ **396.80** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF June, 20 22. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June, 20 22

OWNER'S SIGNATURE

*Steve Bratton*  
*Leslie M. Douglass*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

12/18/2023



# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
  - MINOR/AMENDING PLAT.
  - MASTER PLAT.
  - PRELIMINARY PLAT.
  - FINAL PLAT.
  - REPLAT.
  - VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
  - ONE (1) PDF COPY OF THE PLAT
  - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
  - SITE PLAN.
  - LANDSCAPE PLAN.
  - TREESCAPE PLAN.
  - PHOTOMETRIC PLAN.
  - BUILDING ELEVATIONS.

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the *Material Sample Board Design Guidelines* in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC. Alcohol sales <300' from Rockwall High School
- APPLICATION AND APPLICATION FEE.

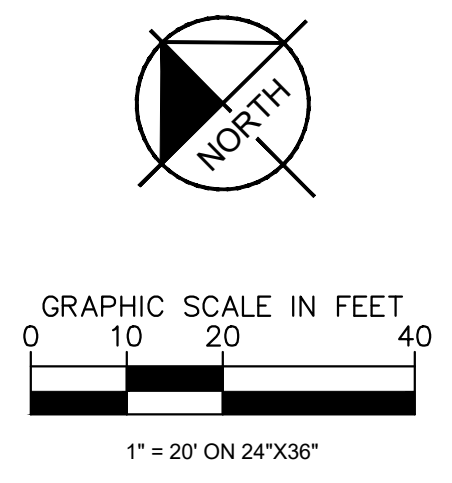
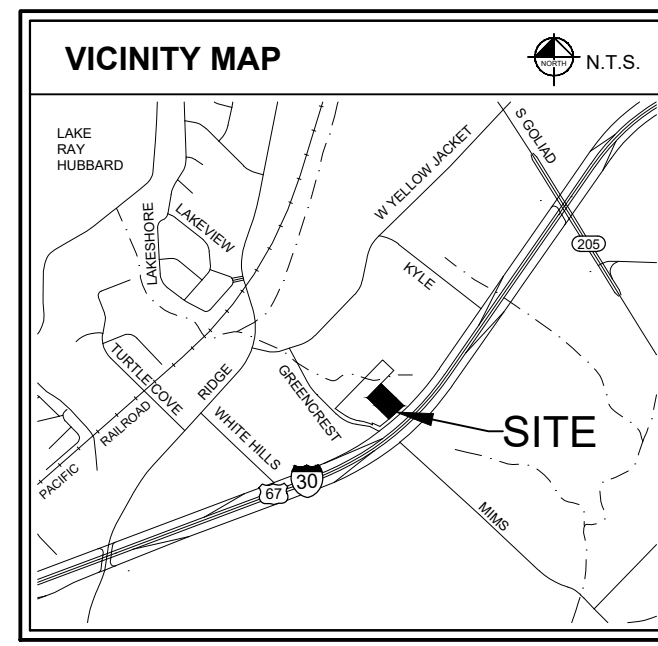
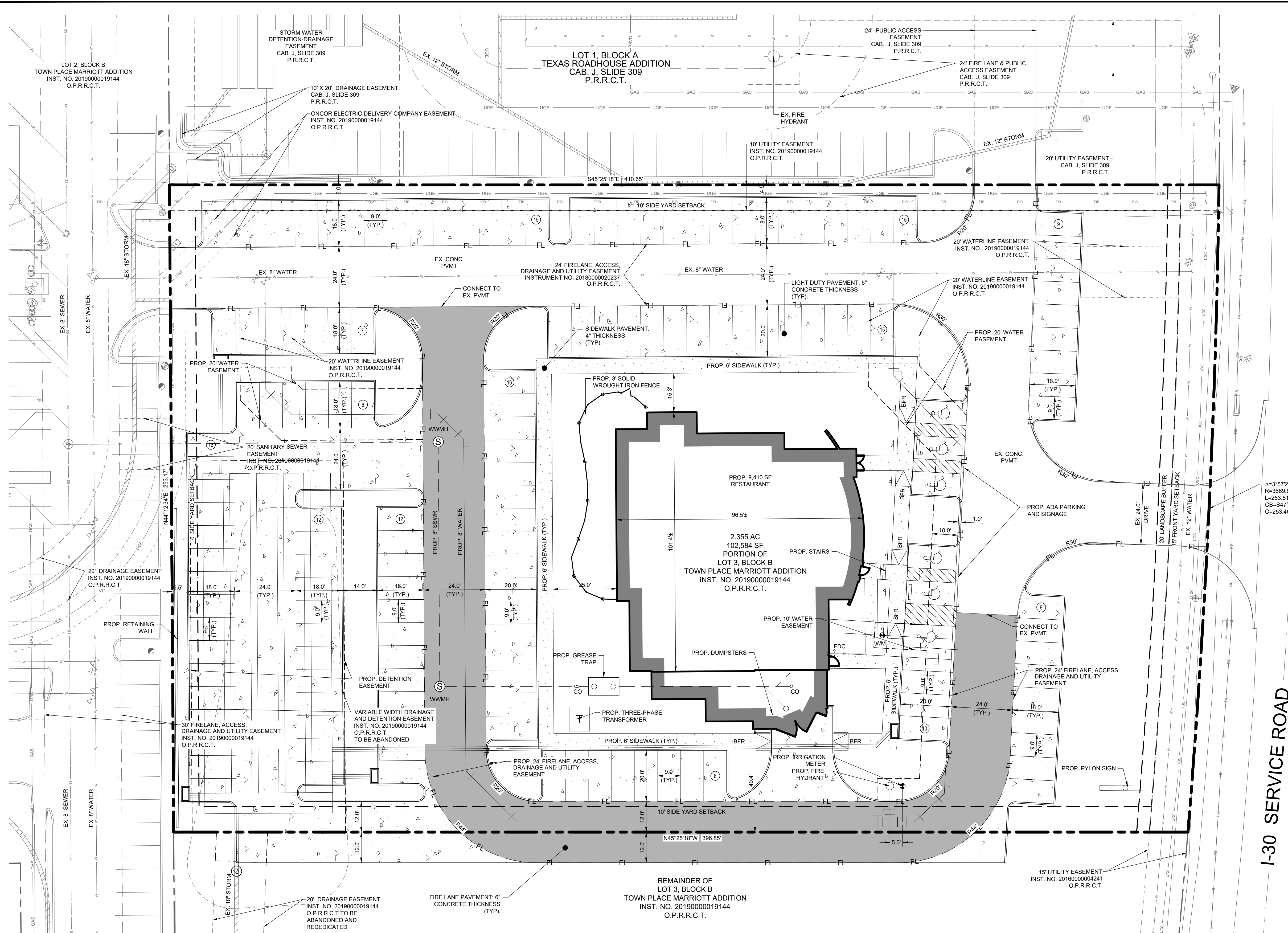
## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

**IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.**



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



**NOTES**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT SECTIONS SHOWN FOR REFERENCE ONLY. SEE GEOTECH FOR DETAILS.

**LEGEND**

PROPERTY LINE	
SIDEWALK CONCRETE	
FIRE LANE / MEDIUM DUTY CONCRETE	
LIGHT DUTY CONCRETE	

**SITE INFORMATION**

LOT 1	PAVEMENT	65,234 SF	1.498 ACRES	(63.59%)
	BUILDING COVERAGE	9,410 SF	0.216 ACRES	(9.17%)
	LANDSCAPE AND OPEN SPACE	27,940 SF	0.641 ACRES	(27.24%)
	<b>TOTAL</b>	<b>102,584 SF</b>	<b>2.355 ACRES</b>	

**PARKING**

REQUIRED	PROVIDED
1 PER 100 SQ. FT.	150 SPACES
ACCESSIBLE SPOTS REQ.	ACCESSIBLE SPOTS PROV.
<b>TOTAL</b> (INCLUDES 1 VAN SPOT)	<b>6 SPACES TOTAL</b> (INCLUDES 1 VAN SPOT)

**DEVELOPMENT INFORMATION**

ZONING - C, IH-30 OVERLAY DISTRICT	
BUILDING HEIGHT	1 STORY/24 FT
FLOOR AREA RATIO (FAR)	0.09:1

**BENCHMARKS**

CITY OF ROCKWALL BM #11 - BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" FOUND ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30. ELEV= 565.98'

BM #52 - "X" SET ON WYE INLET LOCATED ±400' NORTHWEST OF THE CENTERLINE OF WESTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30 AND ±240 FEET NORTHWEST OF THE CENTERLINE OF GREENCREST BOULEVARD. ELEV= 546.20'

BM #53 - "X" SET LOCATED ON THE NORTH EDGE OF PAVEMENT OF GREENCREST BOULEVARD, ±29' WEST OF THE CENTERLINE OF THE WESTBOUND SERVICE ROAD OF INTERSTATE HIGHWAY 30. ELEV= 569.03'

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PHONE: 972.770.3000 FAX: 972.236.5850  
TEXAS REGISTERED ENGINEERS FROM 17-928

FOR REVIEW ONLY  
Not for construction or permit purposes.

**Kimley»Horn**  
Engineer: JENNIFER G. GANSERT, P.E.  
P.E. No. 124908 - Date: 05/20/22

PROJECT NO:	081318901
DATE:	MAY 2022
SCALE:	AS SHOWN
DESIGNED BY:	JGG
DRAWN BY:	JGG
CHECKED BY:	BRM

**UNCLE JULIO'S**  
ROCKWALL, TEXAS

CITY PROJECT #

**SITE PLAN**  
**UNCLE JULIO'S - ROCKWALL**  
LOT 3, BLOCK B  
2.355 ACRES

SITUATED IN THE J.D. McFARLAND SURVEY  
ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
DATE: MAY 20, 2022

**DEVELOPER:**  
UNCLE JULIO'S CORPORATION  
1101 N. Union Bower Rd, Suite 160  
Irving, TX 75061  
Tel. No. (469) 371-8824  
Contact: Cheryl Hiser

**OWNER:**  
ROCKWALL RENTAL PROPERTIES, LP  
PO Box 369  
Rockwall, TX 75087  
Dallas, Texas 75240  
Tel. No. (972) 771-5253  
Contact: Mike Whittle

**CIVIL ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 Noel Road, Two Galleria Office Tower, Suite 700  
Dallas, Texas 75240  
Tel. No. 972.770.3000  
Contact: Jennifer G. Gansert, P.E.

SHEET NUMBER  
**C-02**

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EAST ELEVATION



WEST ELEVATION





NORTH ELEVATION



SOUTH ELEVATION





**P-1**  
 Sherwin Williams  
 Stone Lion / SW 7507  
 Finish: Satin



**ST-1**  
 Minwax Wood Finish  
 211 Provincial, 224 Special Walnut to accentuate knots and character in the wood.  
 Topcoat: Clear Satin Polyurethane



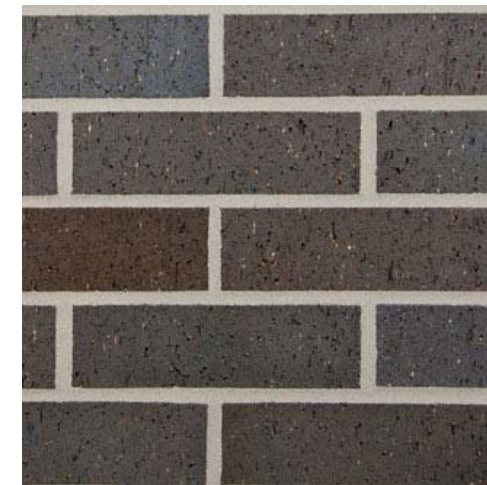
**M-4**  
 General Shale  
 Modular Brick  
 Size: Standard  
 Color: Davidson Blend  
 Mortar: Solomon A Series  
 Mortar – 20A or approved Equal



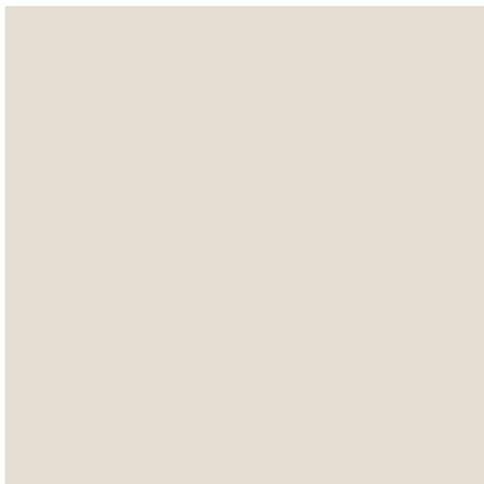
**P-7**  
 Sherwin Williams  
 Black Magic / SW 6991  
 Finish: Semi – Gloss (Metal)



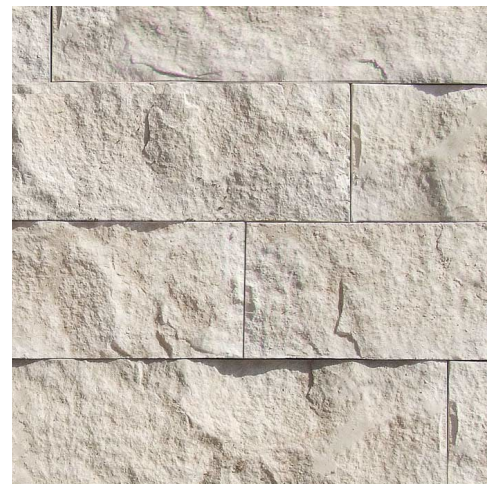
**ST-2**  
 Minwax Wood Finish  
 224 Special Walnut, 233 English Chestnut  
 Topcoat: Clear Satin Polyurethane



**M-5**  
 Endicott Brick  
 Modular Brick  
 Sienna Ironspot Velour  
 Mortar: Solomon A Series  
 Mortar – 20A or approved Equal



**P-8**  
 Sherwin Williams  
 Aesthetic White / SW 7035  
 Finish: Satin



**M-3**  
 Coronado Stone  
 6" Split Limestone / Cream  
 (Width varies – up to 30"W)  
 Mortar: Dry Stack/Minimal, Natural Off-White to match



**MX-6**  
 Woodtone  
 Allura Rustic Series Lap Siding  
 8.25" high board size  
 Winchester Brown



















## Ross, Bethany

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**From:** Ross, Bethany  
**Sent:** Tuesday, June 28, 2022 8:37 AM  
**To:** 'Brian Nebel'  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application  
**Attachments:** Receipt (06.21.2022).pdf

Hi Brian,

Thank you for the information. Attached is the receipt.

Bethany Ross  
Planner  
City of Rockwall  
972.772.6488 Office  
[bross@rockwall.com](mailto:bross@rockwall.com)  
<http://www.rockwall.com/planning/>

---

**From:** Brian Nebel [mailto:[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)]  
**Sent:** Tuesday, June 28, 2022 8:34 AM  
**To:** Ross, Bethany <[bross@rockwall.com](mailto:bross@rockwall.com)>  
**Cc:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Bethany,

Good morning. Uncle Julio's will not be moving forward with this project. Please discard the submittal materials. I will need a copy of a receipt for the fees paid though. Who can I coordinate with on that?

Thank you,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**  
Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254  
**Phone: (469) 897-5907**  
Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)  
[www.cdsdevelopment.com](http://www.cdsdevelopment.com)

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**From:** Brian Nebel  
**Sent:** Friday, June 24, 2022 9:42 AM  
**To:** Ross, Bethany <[bross@rockwall.com](mailto:bross@rockwall.com)>  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Thank you Bethany. Have good weekend.

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**  
Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

**Phone: (469) 897-5907**

Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)

[www.cdsdevelopment.com](http://www.cdsdevelopment.com)

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---

**From:** Ross, Bethany <[bross@rockwall.com](mailto:bross@rockwall.com)>

**Sent:** Friday, June 24, 2022 9:23 AM

**To:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Hi Brian,

Thank you for the email. We have added your withdrawal to our records.

I have attached the Project Comments for your Site Plan so that when you submit your application on July 17, you have an idea of what we are looking for.

Thank you,

Bethany Ross

Planner

City of Rockwall

972.772.6488 Office

[bross@rockwall.com](mailto:bross@rockwall.com)

<http://www.rockwall.com/planning/>

---

**From:** Brian Nebel [<mailto:bnebel@cdsdevelopment.com>]

**Sent:** Thursday, June 23, 2022 12:14 PM

**To:** Ross, Bethany <[bross@rockwall.com](mailto:bross@rockwall.com)>

**Cc:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>; Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Bethany,

Per our discussion, Uncle Julio's will need to withdraw the submitted Development Application for alcohol variance and site plan review. Staff will hold onto the submittal materials until UJ is ready to restart the application process and no additional application fees will be required.

**Please consider this our request to withdraw said application.**

Let me know if you have any questions or concerns.

Thank you,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

**Phone: (469) 897-5907**

Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)

[www.cdsdevelopment.com](http://www.cdsdevelopment.com)



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**From:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

**Sent:** Thursday, June 23, 2022 10:23 AM

**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

**Cc:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

**Subject:** Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Delay ARB Meeting/P&Z Work Session Scheduling

Henry,

Uncle Julio's and the property owner have not executed a purchase & sale agreement for this property yet, so we request that this application be scheduled for the 7/26 ARB Meeting/P&Z Work Session.

Please let me know whether you foresee any issues with granting that request or have any questions for me.

Thank you,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

**Phone: (469) 897-5907**

Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)

[www.cdsdevelopment.com](http://www.cdsdevelopment.com)

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---

**From:** Brian Nebel

**Sent:** Friday, June 17, 2022 5:35 PM

**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

**Cc:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Henry,

Who would I speak with to obtain a receipt for the application fees?

Thank you,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

**Phone: (469) 897-5907**

Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)

[www.cdsdevelopment.com](http://www.cdsdevelopment.com)

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**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

**Sent:** Thursday, June 16, 2022 11:13 AM

**To:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees



Good Morning,

I received the package and everything looks to be in order.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

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**From:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Sent:** Thursday, June 16, 2022 10:37 AM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Cc:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Henty.

Good morning. I just received confirmation from FedEx that our submittal package was delivered. Please let me know if you find any issues or discrepancies.

Thank you,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**  
Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254  
**Phone: (469) 897-5907**  
Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)  
[www.cdsdevelopment.com](http://www.cdsdevelopment.com)

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**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Monday, June 13, 2022 4:07 PM  
**To:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Good Afternoon,

We need the hard copy submittal, but it can be couriered. Just make sure it is to me on Friday.

Thank you,





HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

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**From:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Sent:** Monday, June 13, 2022 3:58 PM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Cc:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Thank you Henry. I will correct my calculations accordingly. I cannot recall whether I have already asked this question, but can I send this submittal package via FedEx, or must it be submitted in-person?

Sincerely,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

**Phone: (469) 897-5907**

Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)

[www.cdsdevelopment.com](http://www.cdsdevelopment.com)

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**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Monday, June 13, 2022 3:14 PM  
**To:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Subject:** RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Good Afternoon,

You have the fees correct, except that we do not round up the acreage; we use the exact acreage for our fee calculation.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

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**From:** Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>  
**Sent:** Thursday, June 9, 2022 10:04 AM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>



Cc: Brian Nebel <[bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)>

Subject: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Henry,

Good morning.

So that I prepare a check for the correct amount, can you please confirm my understanding of the Development Application fees below?

Site Plan Application: \$310 (2.335-acre site (rounded up to 3 acres) = \$250 + \$60)

Variance Application (for alcohol sales distance from school): \$100

Thank you,

**Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES**

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

Email: [bnebel@cdsdevelopment.com](mailto:bnebel@cdsdevelopment.com)

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