

P&Z CASE # <u>SP2022-029</u> P&Z DATE <u>July 12, 20</u>	022 CC DAT	TE Approved/Denied
ARCHITECTURAL REVIEW BOARD DATE	_ HPAB DATE	PARK BOARD DATE
Zoning Application		Copy of Ordinance (ORD#)
□ Specific Use Permit		Applications
□ Zoning Change		Receipt
□ PD Concept Plan		_ocation Map
□ PD Development Plan		HOA Map
		ON Map
Site Plan Application		FLU Map
☐ Site Plan ☐ Diagram ☐ Di		Newspaper Public Notice
□ Landscape Plan		500-foot Buffer Public Notice
☐ Treescape Plan		Project Review
□ Photometric Plan		Staff Report
☐ Building Elevations		Correspondence
☐ Material Samples		Copy-all Plans Required
□ Color Rendering		Copy-Mark-Ups
Platting Application		City Council Minutes – Laserfiche
□ Master Plat		Minutes-Laserfiche
□ Preliminary Plat		Plat Filled Date
☐ Final Plat		☐ Cabinet #☐ Slide #
□ Replat		□ Slide #
☐ Administrative/Minor Plat	Notes:	
□ Vacation Plat		
□ Landscape Plan		
□ Treescape Plan		
HPAB Application		
□ Exhibit		
Miscellaneous Application	Zoning M	ap Updated
□ Variance/Exception Request		



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAF	F US	E ON	ILY

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE A	APPROPRIATE BOX BELOW TO INDICATE THE	TYPE OF DEVELOPMENT RE	QUEST [SELECT ONLY ONE BOX]:
☐ PRELIMINARY P ☐ FINAL PLAT (\$30.0 ☐ REPLAT (\$300.0 ☐ AMENDING OR I ☐ PLAT REINSTAT SITE PLAN APPLIC ☑ SITE PLAN (\$250	\$100.00 + \$15.00 ACRE) 1 LAT (\$200.00 + \$15.00 ACRE) 1 00.00 + \$20.00 ACRE) 1 0 + \$20.00 ACRE) 1 MINOR PLAT (\$150.00) EMENT REQUEST (\$100.00)	☐ SPECIFIC US ☐ PD DEVELO OTHER APPLIC ☐ TREE REMO ☑ VARIANCE F NOTES: 1: IN DETERMINING T PER ACRE AMOUNT. 2: A \$1,000.00 FEE	ANGE (\$200.00 + \$15.00 ACRE) 1 SE PERMIT (\$200.00 + \$15.00 ACRE) 1 82 PMENT PLANS (\$200.00 + \$15.00 ACRE) 1 CATION FEES:
PROPERTY INFO	RMATION [PLEASE PRINT]		
ADDRESS		eet address is show	n in either City or County GIS Maps)
SUBDIVISION			LOT 3 BLOCK B
GENERAL LOCATION	I-30 Frontage Rd. & Greench	est Blvd.	
ZONING SITE PL	AN AND PLATTING INFORMATION	I IDI EASE DRINTI	
	C (IH-30 Overlay)	CURRENT USE	Vacant/undeveloped lot
PROPOSED ZONING	Nie skamme to autotion	PROPOSED USE	Books and the books are to be a first to be
ACREAGE	2.355 LOTS [CL	JRRENT] 1	LOTS [PROPOSED] 1
REGARD TO ITS A			SAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH
OWNER/APPLICA	ANT/AGENT INFORMATION (PLEASE I	PRINT/CHECK THE PRIMARY COM	ITACT/ORIGINAL SIGNATURES ARE REQUIRED]
☐ OWNER ↓	Uncle Julio's of Texas, Inc., A Texas Cor	poration 🛮 APPLICANT	Consolidated Development Services
CONTACT PERSON	Steve Bratton	CONTACT PERSON	Brian Nebel
	3201 W. Royal Lane Suite 160	ADDRESS	14901 Quorum Drive Suite 310
CITY, STATE & ZIP	rving, TX 75063	CITY, STATE & ZIP	Dallas, TX 75254
PHONE	972-554-3608	PHONE	469-897-5907
E-MAIL	Steve.Bratton@unclejulios.com	E-MAIL	bnebel@cdsdevelopment.com
STATED THE INFORMATION	SIGNED AUTHORITY, ON THIS DAY PERSONALLY A DN ON THIS APPLICATION TO BE TRUE AND CERTII	FIED THE FOLLOWING:	Bratton [OWNER] THE UNDERSIGNED, WHO
\$ \$410.00 396 June INFORMATION CONTAINED	. *CO, TO COVER THE COST OF THIS APPLICATIO, 20 22. BY SIGNING THIS APPLICATIO	ATION, HAS BEEN PAID TO THE CITY N, I AGREE THAT THE CITY OF RO E CITY IS ALSO AUTHORIZED AND	OCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE D. PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND A	AND SEAL OF OFFICE ON THIS THE HOUSE	June 202	LESLIE M. DOUGLASS Notary Public, State of Texas Comm. Expires 12-18-2023
NOTARY PURUC IN AND S	FOR THE STATE OF TEXAS	Dayluss	Notary ID-11138930



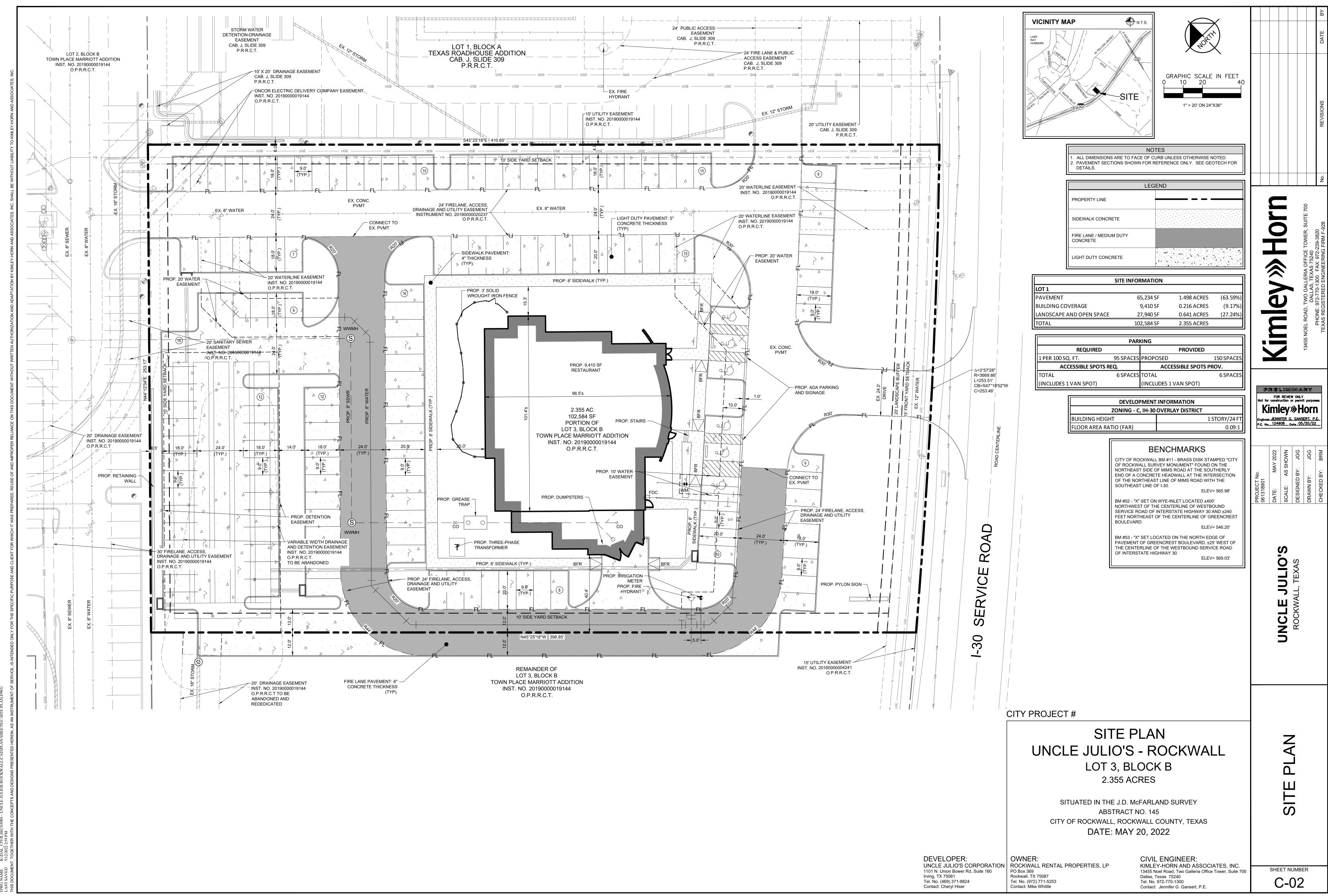
DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

	>
[]	PLAT TYPE.
	[] MINOR/AMENDING PLAT. [] MASTER PLAT. [] PRELIMINARY PLAT. [] FINAL PLAT. [] REPLAT. [] VACATION PLAT.
	Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See Folding Requirements in this development packet.
[]	DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
	[] ONE (1) PDF COPY OF THE PLAT [] ONE (1) SURVEY BOUNDARY CLOSURE REPORT.
	* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE
[]	TREESCAPE PLAN [IF APPLICABLE].
[]	LANDSCAPE PLAN [IF APPLICABLE].
[]	APPLICATION AND APPLICATION FEE.
SITE PL	AN APPLICATION SUBMITTAL REQUIREMENTS
[X]	PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
	[X] SITE PLAN. [X] LANDSCAPE PLAN. [X] TREESCAPE PLAN. [X] PHOTOMETRIC PLAN. [X] BUILDING ELEVATIONS.
	Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" <i>Tri-Fold</i> with the project title or identifier facing out.
[X]	PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the Material Sample Board Design Guidelines in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.
[X]	VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC. Alcohol sales <300' from Rockwall High School
[X]	APPLICATION AND APPLICATION FEE.
ZONING	CHANGE APPLICATION SUBMITTAL REQUIREMENTS
[]	LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
[]	ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.
[]	LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
[]	APPLICATION AND APPLICATION FEE.

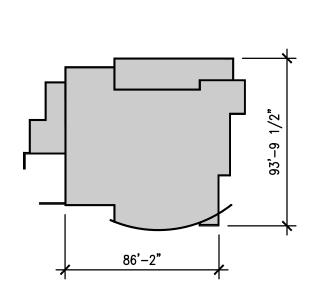
IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



XREF x-24x36 - XREF x-survey - XREF x-site - XREF x-surveyGIS - XREF x-utility - .)
GANSERT, JENNIFER 5/19/2022 8:14 AM
K:DAL CIVIL/061318901 - UNCLE JULIOS ROCKWALL\CAD\PLAN SHEETS\C



E	XTERIOR MA	TERIAL E	BREAKDO	WN		
		NORTH	SOUTH	EAST	WEST	
1	Facade S.F (Exclusive of door and windows)	2650	1748	2707	2739	
2	Door and Windows S.F.	0	603	327	297	
3	Total Facade S.F.	2650	2351	3034	3036	
4	Exterior Materials					
5	Stucco (P-1)	598 - 22%	751 – 42%	588 – 22%	691 – 25%	
6	Brick (M-4 & M-5)	1284 – 48%	594 – 34%	827 – 30%	980 – 36%	
7	Thin Cut Stone (M-3)	561 - 22%	394 – 23%	1082 - 40%	857 – 31%	
8	Masonry Total S.F. (Stucco, Brick & Stone)	2443 - 92%	1739 — 99%	2497 — 92%	2528 - 92%	
9	Woodtone S.F. (MX-6) (Faux wood — cementitious wall system)	0	0	78 – 3%	0	
	Msc S.F. (Metal; gates & awnings)	207 – 8%	9 – 1%	132 – 5%	0	



FLOOR PLAN

FACADE PLAN TOWN PLACE MARRIOTT ADDITION

GREENCREST BLVD. & I-30 CITY PROJECT NO. SUBMITTED: JUNE 17, 2022

OWNER:
UNCLE JULIO'S CORP.
1101 N. UNION BOWER, SUITE 160
IRVING, TX 75061
PHONE: 469-371-8824
CONTACT: CHERYL HISER

IDSTUDIO4, LLC
ARCHITECTURE
6201 CAMPUS CIRCLE DRIVE EAST
IRVING, TX 75063
PHONE:972-870-1288
CONTACT: PETER W. BROWN, RA
PBROWN@IDSTUDIO4.COM

6201 CAMPUS CIRCLE DRIVE EAST IRVING, TEXAS 75063
TEL: 972.870.1288
WWW.IDSTUDIO4.COM

UNCLE JULIO'S CORPORATION
1102 N. UNION BOWER, STE. 160
IRVING, TX 75061
PHONE: 972.554.6886
WEBSITE: www.unclejulios.com

PRELIMINARY FOR REVIEW ONLY
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DESIGN REVIEW AND NOT INTENDED
FOR BIDDING, CONSTRUCTION, OR
PERMIT PURPOSES. THEY WERE
PREPARED BY OR UNDER THE
SUPERVISION OF ID STUDIO4.

06/17/2022

ULIO'S TOWN PLACE
IT ADDITION
1-30
VS CORPORATION

CLIENTER SCRATCH CLIENT:

DATE DESCRIPTION

SHEET TITLE:

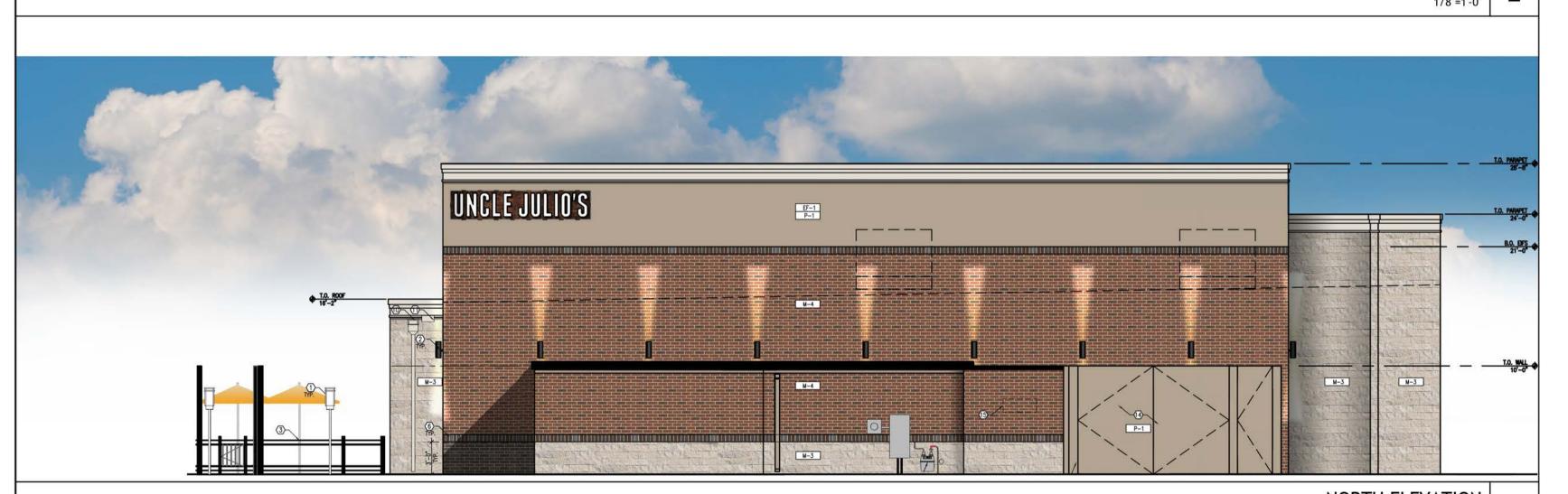
FACADE PLAN

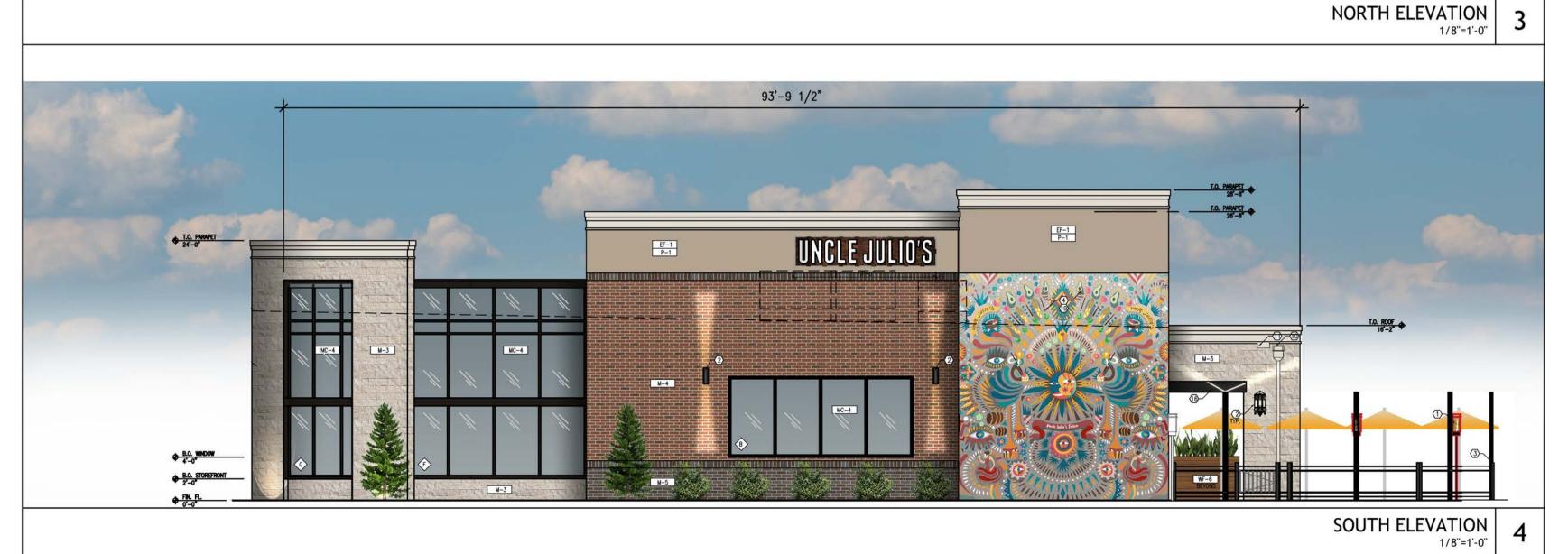
FP-1

UJM21009









EXTERIOR MATERIAL BREAKDOWN NORTH **EAST** WEST SOUTH Facade S.F (Exclusive of 2650 1748 2707 2739 door and windows) 327 603 297 2 Door and Windows S.F. 3 Total Facade S.F. 2650 2351 3034 3036 4 Exterior Materials 5 Stucco (P-1) 598 - 22% 751 - 42% 588 - 22% 691 - 25% 6 Brick (M-4 & M-5)827 - 30% 1284 - 48% 594 - 34% 980 - 36% 7 Thin Cut Stone (M-3)394 - 23% 561 - 22% 1082 - 40% 857 - 31% Masonry Total S.F. 2443 - 92% 1739 - 99% 2497 - 92% 2528 - 92% 8 (Stucco, Brick & Stone) Woodtone S.F. (MX-6) 9 (Faux wood -78 - 3% cementitious wall system) 1 Msc S.F. (Metal; gates & 207 - 8% 132 - 5% 9 - 1% 0 awnings)













6" SPLIT LIMESTONE CREAM



WINGATE



MODULAR BRICK SIENNA IRONSPOT

VELOUR

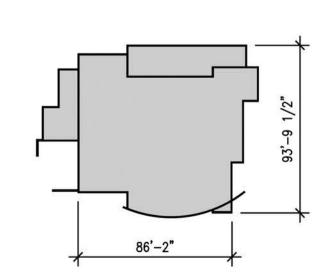


ST-1 MINWAX 211 PROVENCIAL/ 224 SPECIAL WALNUT



ST-2 MINWAX 224 SPECIAL WALNUT/ 233 ENGLISH CHESTNUT

FACADE PLAN TOWN PLACE MARRIOTT ADDITION



FLOOR PLAN

GREENCREST BLVD. & I-30 CITY PROJECT NO. SUBMITTED: JUNE 17, 2022

OWNER: **UNCLE JULIO'S CORP.** 1101 N. UNION BOWER, SUITE 160 **IRVING, TX 75061** PHONE: 469-371-8824 CONTACT: CHERYL HISER

IDSTUDIO4, LLC **ARCHITECTURE** 6201 CAMPUS CIRCLE DRIVE EAST **IRVING, TX 75063** PHONE:972-870-1288 **CONTACT: PETER W. BROWN, RA** PBROWN@IDSTUDIO4.COM

FP-1

FACADE PLAN

6201 CAMPUS CIRCLE DRIVE EAST IRVING, TEXAS 75063 TEL: 972, 870, 1288

1102 N. UNION BOWER, STE. 160 IRVING, TX 75061 PHONE: 972.554.6886 WEBSITE: www.unclejulios.com

PRELIMINARY FOR REVIEW ONL' THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTEND

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SUPERVISION OF ID STUDIO4

06/17/2022

CLE JULIO'S TOWN PLACE RRIOTT ADDITION

MA GREENC ROCKWA

5

: UNCLE JULIO'S CORPORATION 1101 N. UNION BOWER, SUITE 1 IRVING, TX 75061

UJM21009



EAST ELEVATION



WEST ELEVATION







NORTH ELEVATION



SOUTH ELEVATION







Minwax Wood Finish
211 Provincial, 224 Special
Walnut to accentuate knots
and character in the wood.
Topcoat: Clear Satin
Polyurethane

ST-1



M-4

General Shale
Modular Brick
Size: Standard
Color: Davidson Blend
Mortar: Solomon A Series
Mortar – 20A or approved
Equal



P-7

Sherwin Williams
Black Magic / SW 6991
Finish: Semi – Gloss (Metal)

P-1

P-8

Sherwin Williams

Finish: Satin

Aesthetic White / SW 7035

Sherwin Williams

Finish: Satin

Stone Lion / SW 7507



Minwax Wood Finish 224 Special Walnut, 233 English Chestnut Topcoat: Clear Satin Polyurethane



Endicott Brick Modular Brick Sienna Ironspot Velour Mortar: Solomon A Series Mortar – 20A or approved Equal



M-3

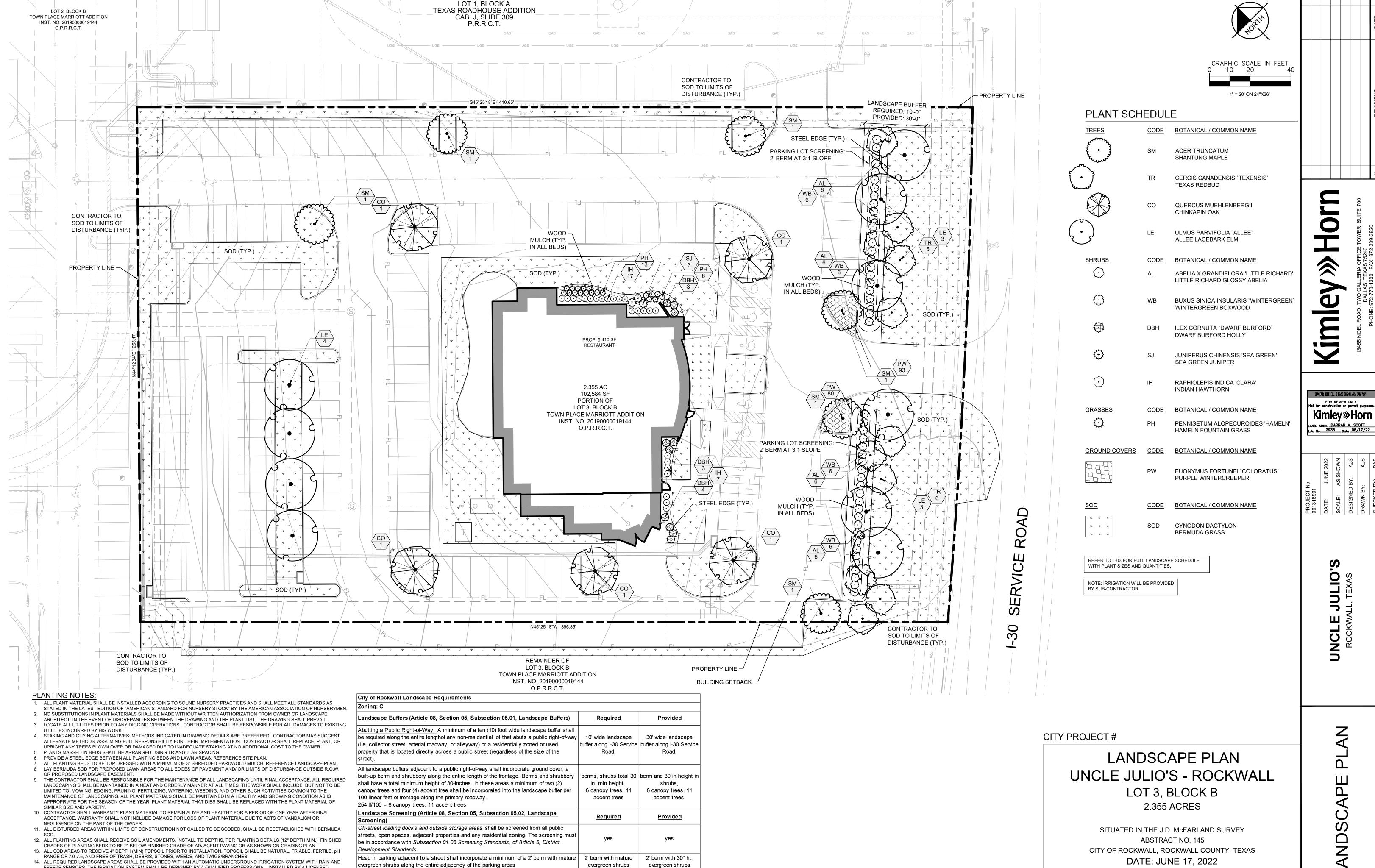
Coronado Stone
6" Split Limestone / Cream
(Width varies – up to 30"W)
Mortar: Dry Stack/Minimal,
Natural Off-White to match



Woodtone
Allura Rustic Series Lap Siding
8.25" high board size
Winchester Brown







FREEZE SENSORS. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL, INSTALLED BY A LICENSED

Parking Lot Landscaping (Article 08, Section 05, Subsection 05.03, Landscape

10 parking spaces shall be required to be planted internal to the parking areas.

150 spaces/10 = 15 trees

If the parking and maneuvering space exceeds 20,000 SF, one large canopy tree for every \mid

No required parking space may be located more than 80 feet from the trunk of a canopy

Required

15 trees

<u>Provided</u>

15 trees

Yes

DEVELOPER:

Tel. No. (469) 371-8824

Contact: Cheryl Hiser

Irving, TX 75061

1101 N. Union Bower Rd, Suite 160

OWNER:

PO Box 369

Rockwall, TX 75087

Tel. No. (972) 771-5253

Contact: Mike Whittle

UNCLE JULIO'S CORPORATION | ROCKWALL RENTAL PROPERTIES, LP

IRRIGATOR, AND COMPLY WITH THE CITY OF ROCKWALL IRRIGATION STANDARDS.

SHEET NUMBER

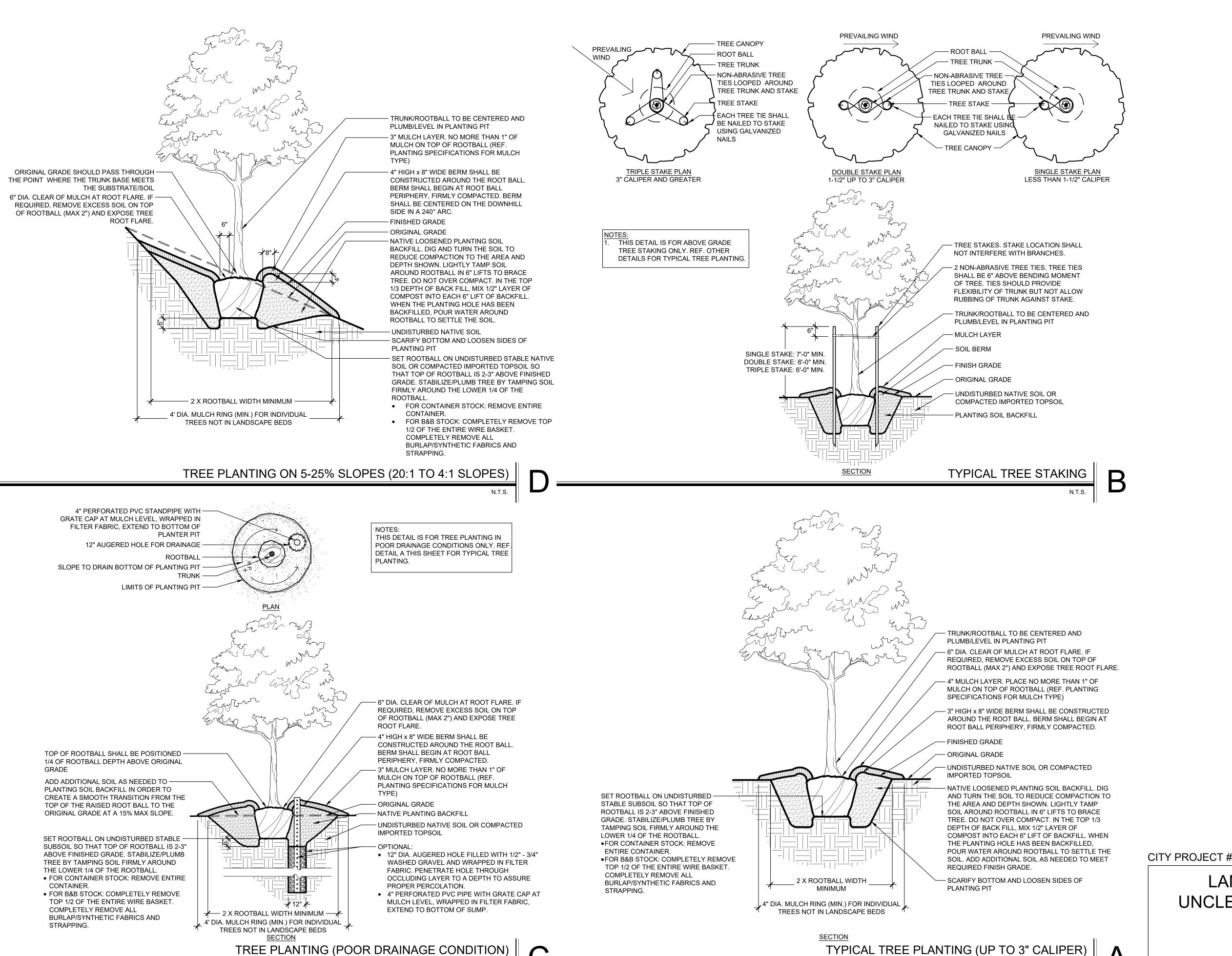
LANDSCAPE ARCHITECT:

Tel. No. 405-343-8788

Contact: Darran Scott, P.L.A.

KIMLEY-HORN AND ASSOCIATES, INC.

14101 Wireless Way, Building A, Suite 150, Oklahoma



LANDSCAPE DETAILS **UNCLE JULIO'S - ROCKWALL** LOT 3, BLOCK B

2.355 ACRES

SITUATED IN THE J.D. McFARLAND SURVEY ABSTRACT NO. 145 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS DATE: JUNE 17, 2022

OWNER: UNCLE JULIO'S CORPORATION | ROCKWALL RENTAL PROPERTIES, LP PO Box 369 Rockwall, TX 75087 Tel. No. (972) 771-5253

Contact: Mike Whittle

DEVELOPER:

Irving, TX 75061 Tel. No. (469) 371-8824

Contact: Cheryl Hiser

1101 N. Union Bower Rd, Suite 160

Tel. No. 405-343-8788

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 14101 Wireless Way, Building A, Suite 150, Oklahoma Contact: Darran Scott, P.L.A.

PRELIMINARY

Kimley Whorn

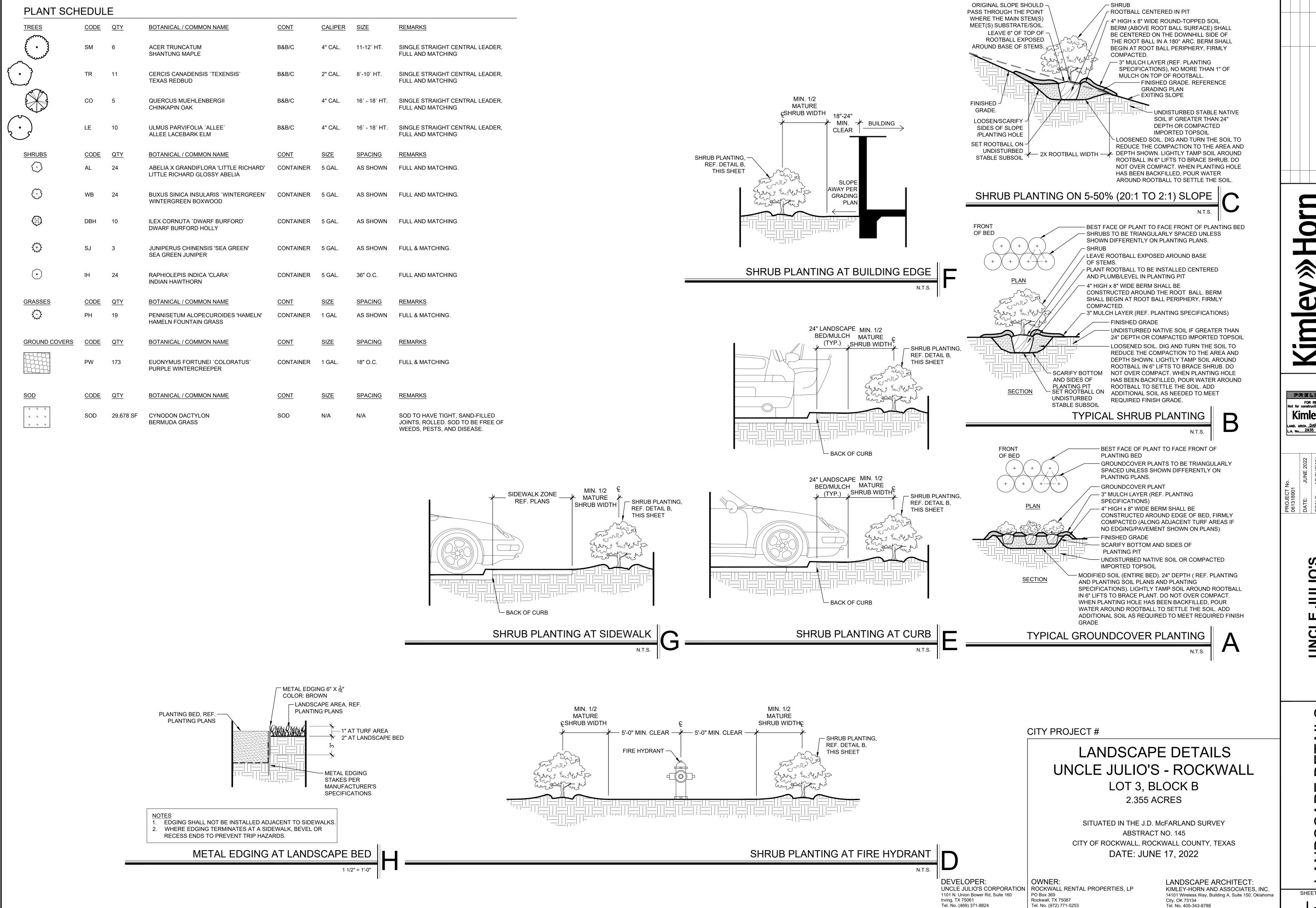
LAND. ARCH. <u>DARRAN A. SCOTT</u> L.A. No. <u>2935</u> <u>Date</u> <u>06/17/22</u>

LIO

7

NCLE ROCKWA

SHEET NUMBER



PRELIMINARY FOR REVIEW ONLY of for construction or permit purposes **Kimley Morn** LAND. ARCH. <u>DARRAN A. SCOTT</u> L.A. No. <u>2935</u> <u>Date</u> <u>06/17/22</u>

UNCLE

SHEET NUMBER

Contact: Darran Scott, P.L.A

Contact: Cheryl Hiser

Contact: Mike Whittle

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND

B DECTECTION OF EVICTING STRUCTURES

B. PROTECTION OF EXISTING STRUCTURES
ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS,
AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE
BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM
NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO
COST TO THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS 1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL SUBMITTAL

MULCH PRODUCT DATA

TOPSOIL MIX AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS

PLANTS PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY)

FERTILIZER PRODUCT DATA

INOCULATE PRODUCT DATA

HERBICIDE PRODUCT DATA

STAKING/GUYING FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.

2. PLANT MATERIALS INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE AMERICAN STANDARD NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 1. ALL PLANTING BED PIT BACKFILL AREAS TO BE PREPARED USING COMPOST, SHARP SCREENED SAND AND EXPANDED SHALE BY SOIL BUILDING SOLUTIONS, LIVING EARTH, OR APPROVED EQUAL. TILL SOIL AMENDMENTS INTO EXISTING SOIL TO DEPTHS PER PLANTING DETAILS (24" DEPTH MIN). FINISHED GRADES OF PLANTING BEDS TO BE 1" BELOW FINISHED GRADE OF ADJACENT CONCRETE MOW STRIP OR AS SHOWN ON GRADING PLAN. PLANTING BED PIT SOIL SHALL BE A MIXTURE OF APPROXIMATELY 50% WEED-FREE EXISTING SOIL, 35% COMPOST, 10% EXPANDED SHALE, AND 5% SCREENED SHARP SAND. 98.5% OF THE PLANTING BED PIT SOIL PARTICLES WILL PASS THROUGH A 1/2 INCH SCREEN AND 99% OR MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. COLOR TO BE A MEDIUM BROWN WITH A WEIGHT OF 1900-2250 LBS. PER CUBIC YARD (DEPENDING ON THE MOISTURE CONTENT).
- 2. ALL SOD AND SEED AREAS TO BE PREPARED USING COMPOST AND SHARP SCREENED SAND, BY SOIL BUILDING SOLUTIONS, LIVING EARTH, OR APPROVED EQUAL. TILL SOIL AMENDMENTS INTO EXISTING SOIL TO DEPTHS PER PLANTING DETAILS (4" DEPTH MIN.). TOPSOIL SHALL BE A MIXTURE OF APPROXIMATELY 50% WEED-FREE EXISTING SOIL, 40% COMPOST, AND 10% SHARP SCREENED SAND. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 7.0-7.5 WITH 25% (MIN) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN AND 99% OR MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. (MIN) CONTAINER.
- 3. THE CONTRACTOR SHALL REESTABLISH ANY ADDITIONAL DISTURBED AREAS NOT SHOWN ON THE PLANS WITH A FULL COVERING OF SOD OR SEED. THE CONTRACTOR SHALL PROVIDE 4" DEPTH (MIN) PREPARED TOPSOIL TILLED INTO EXISTING SOIL IN ALL AREAS TO RECEIVE SEED OR SOD AT NO ADDITIONAL COST.
- 4. TREE PLANTING PITS SHALL BE BACKFILLED WITH COMPOST BY MINICK MATERIALS OR MURPHY, LIVING EARTH OR APPROVED EQUAL AND NATIVE SOIL. THE TOP 1/3 OF EACH TREE PIT SHALL RECEIVE BACKFILL MATERIAL OF 80% WEED FREE NATIVE SOIL AND 20% COMPOST. THE BOTTOM 2/3 OF EACH TREE PIT SHALL RECEIVE BACKFILL MATERIAL OF 100% WEED FREE NATIVE SOIL.
- 5. EXISTING SOIL USED IN PLANT BACKFILL AND TOPSOIL PREP SHALL BE REASONABLY FREE OF STONES, LIME, LUMPS OF CLAY, ROOTS AND OTHER FOREIGN MATTER. EXISTING SOIL SHALL HAVE A MINIMUM ORGANIC COMPOSITION OF 25% AND THE ACIDITY SHALL BE BETWEEN 7.0 AND 8.0 ph. CONTRACTOR SHALL SUBMIT A 1 GAL. MINIMUM SAMPLE OF THE EXISTING SOIL TO AN APPROVED TESTING FACILITY TO VERIFY COMPOSITION, ACIDITY AND ORGANIC CONTENT.
- 6. IF SOIL FAILS TO ACHIEVE THE AFOREMENTIONED pH AND ORGANIC COMPOSITION QUANTITIES, THE CONTRACTOR SHALL TILL AN ADEQUATE AMOUNT OF COMPOST IN TO THE EXISTING SOIL UNTIL IT MEETS THE REQUIREMENTS PRIOR TO COMBINING WITH
- 7. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE AND AMENDMENTS FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

OTHER SPECIFIED SOIL AMENDMENTS.

3. WHERE LIME STABILIZED SOIL IS ENCOUNTERED, LAWN AREAS SHALL BE EXCAVATED TO A DEPTH OF 12", PLANT BEDS SHALL BE EXCAVATED TO A DEPTH OF 24", AND TREE PITS SHALL BE EXCAVATED TO A DEPTH OF 36", AND BACKFILLED WITH CLEAN NATIVE SOIL (E.5) AND APPROVED PLANTING SOIL (E.1-4).

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE OBTAINED ON THE SITE, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. ALL COSTS FOR WATER SUPPLY AND WATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL

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CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

ALL PLANTING BED TO BE TOP DRESSED WITH A MINIMUM OF 3" "RUSTIC CUT HARDWOOD MULCH" BY MINICK MATERIALS OR MURPHY (OR APPROVED EQUAL) WITH A pH RANGE OF 6.5-8.5 AND SHALL BE FREE OF MAN-MADE FOREIGN MATTER, LUMBER, TREATED MATERIALS, PALLETS, GRASS AND LEAVES. NO PARTICLE SIZE SHOULD EXCEED 3.5" IN LENGTH.

I. DIGGING AND HANDLING

- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- 2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- 3. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES, HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB BASES.

J. CONTAINER GROWN STOCK

- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- 3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- 4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

N. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL 811 TO LOCATE UTILITIES.

- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED ROCK AND ROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF ROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY/GROWING SITE.
- GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
- 10. TREES SHALL BE SET WITH ROOT BALL CENTERED IN PLANTING PIT WITH ROOT FLARE 2" ABOVE ADJACENT SOIL ELEVATION. SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE TOP OF ROOT BALL SHALL BE EVEN WITH TOP OF PLANTING BED. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL FOR SOILNOC SRT ADVANCED MYCORRHIZAL INOCULUM (OR EQUAL) PRIOR TO INOCULATION.
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 24", REMOVE AND DISPOSE ALL DEBRIS AND MIX TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.
- 17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

P. LAWN SODDING/ SEEDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, DEBRIS, HAVE SOIL PREPARED PER SECTION E, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 3. SOIL PREPARATION: ALL SOIL TO BE PREPARED PER SECTION E

4. SODDING:

- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. THE SOD SHALL BE CERTIFIED TO MEET AMERICAN STANDARD FOR NURSERY STOCK SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE / MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

D. CONTRACTOR SHALL REFERENCE PLANTING SCHEDULE FOR SEEDING VARIETY AND RATES.

- E. IF SEED INSTALLATION FALLS BETWEEN SEPTEMBER 16TH AND MARCH 14TH, THE CONTRACTOR SHALL INSTALL EITHER SOD OR A COLD SEASON VARIETY SEED MIX, SUCH AS WINTER RYE. IF A COOL SEASON VARIETY MIX IS INSTALLED BETWEEN SEPTEMBER 16TH AND MARCH 14TH, THE CONTRACTOR SHALL RESEED THE AREA WITH THE ORIGINAL SPECIFIED SEED MIX PER THE PLANS AND SPECIFICATIONS BETWEEN MARCH 15TH AND SEPTEMBER 15TH.
- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

2. LAWN MAINTENANCE:

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- C. CONTRACTOR SHALL REESTABLISH 95% (MIN) COVERAGE FOR ALL DISTURBED AREAS OF VEGETATION WITHIN 60 DAYS OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL PROVIDE SEED AND/OR SOD THAT MATCHES THE ADJACENT LAWN AREA.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

T. WARRANTY

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL 1 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- 2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- 3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- 4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

CITY PROJECT #

Contact: Mike Whittle

LANDSCAPE SPECIFICATIONS UNCLE JULIO'S - ROCKWALL LOT 3, BLOCK B

2.355 ACRES

SITUATED IN THE J.D. McFARLAND SURVEY

ABSTRACT NO. 145

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DATE: JUNE 17, 2022

DEVELOPER:
UNCLE JULIO'S CORPORATION
1101 N. Union Bower Rd, Suite 160
Irving, TX 75061
Tel. No. (469) 371-8824

OWNER:
ROCKWALL RENTAL PROPERTIES, LP
PO Box 369
Rockwall, TX 75087
Tel. No. (972) 771-5253

Contact: Chervl Hise

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 14101 Wireless Way, Building A, Suite 150, Oklahoma City, OK 73134 Tel. No. 405-343-8788 Contact: Darran Scott, P.L.A. No. REVISIONS

), TWO GALLERIA OFFICE TOWER, SUITE 70 DALLAS, TEXAS 75240 :: 972-770-1300 FAX: 972-239-3820

FOR REVIEW ONLY
Not for construction or permit purposes.

Kimley >>> Horn
LAND. ARCH. DARRAN A. SCOTT
2935 - 06/17/22

DATE: JUNE 2022
SCALE: AS SHOWN
DESIGNED BY: AJS
DRAWN BY: AJS

ICLE JULIO'S

LANDSCAPE PECIFICATIONS

SHEET NUMBER

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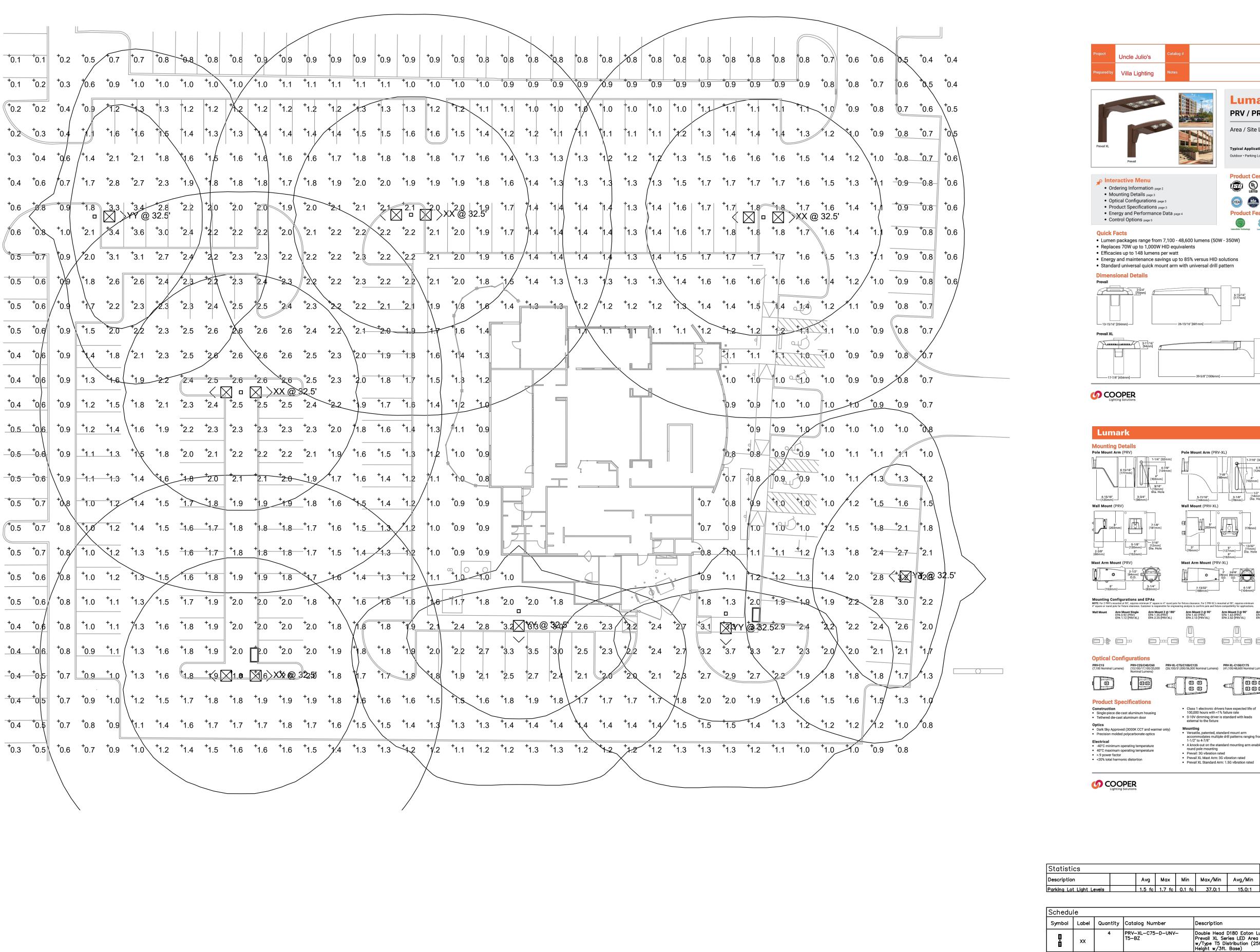
XREF x-24x36 - XREF x-survey - XREF x-site - XREF x-surveyGIS - XREF x-utility - XREF x-lscp - XR

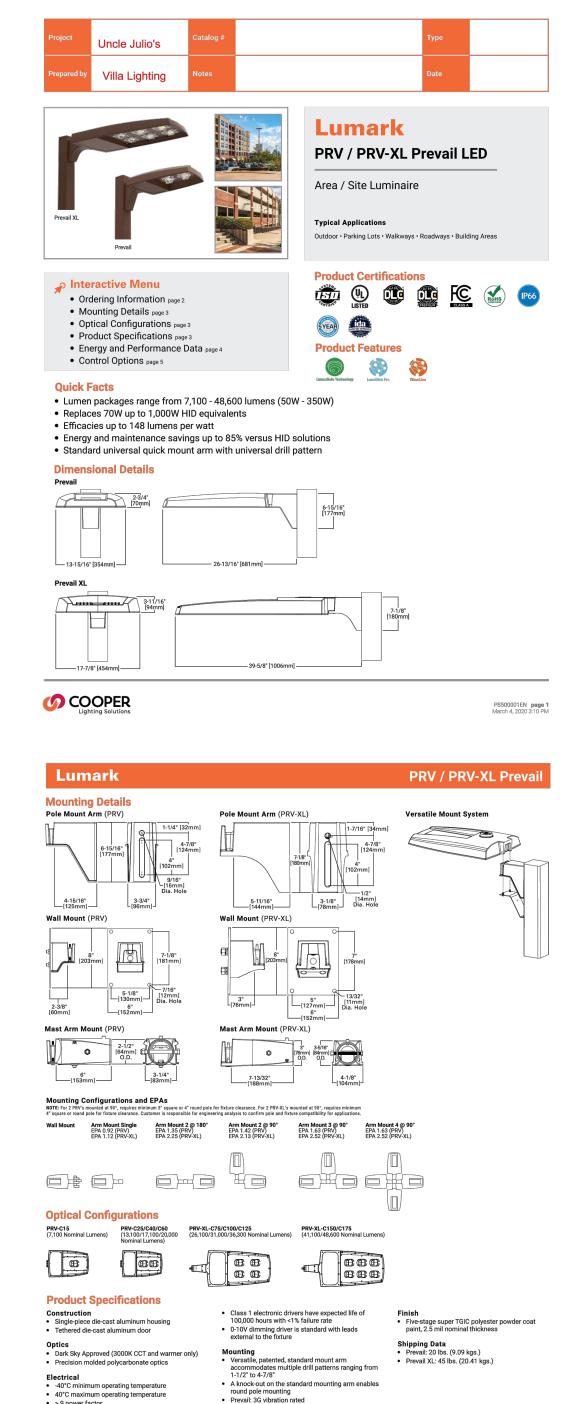
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POWELL, ANDREA (STARA) 6/14/2022 9:40 AM

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6/14/2022 9:39 AM





Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Dankin a Lak Link Lavala	4 5 6-	476-	0.4.6-	77.0.1	45.0.4

Schedu	le								
Symbol	Label	Quantity	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
⊞•⊞	xx	4	PRV-XL-C75-D-UNV- T5-BZ	Double Head D180 Eaton Lumark Prevail XL Series LED Area Unit w/Type T5 Distribution (25ft. Pole Height w/3ft. Base)	LED	4	7033	0.9	352
■•	YY	4	PRV-XL-C75-D-UNV- T4-BK-HSS	Single Head Eaton Lumark Prevail XL Series LED Area Unit w/Type T4 Distribution (25ft. Pole Height w/3ft. Base) House Side Shielding	LED	4	5920	0.9	176

PS500001EN page 3 March 4, 2020 3:10 PM

· Prevail XL Mast Arm: 3G vibration rated

UNCLE JULIO'S CORPORATION 1102 N. UNION BOWER, STE. 160 IRVING, TX 75061 PHONE: 972.554.6886 WEBSITE: www.unclejulios.com



MA GREENC ROCKWA -MEXICAI

PHOTOMETRIC SITE PLAN

SHEET NUMBER:

ES.0

Ross, Bethany

From: Ross, Bethany

Sent: Tuesday, June 28, 2022 8:37 AM

To: 'Brian Nebel'

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw

Development Application

Attachments: Receipt (06.21.2022).pdf

Hi Brian,

Thank you for the information. Attached is the receipt.

Bethany Ross
Planner
City of Rockwall
972.772.6488 Office
bross@rockwall.com

http://www.rockwall.com/planning/

From: Brian Nebel [mailto:bnebel@cdsdevelopment.com]

Sent: Tuesday, June 28, 2022 8:34 AM **To:** Ross, Bethany
bross@rockwall.com>

Cc: Brian Nebel

 bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Bethany,

Good morning. Uncle Julio's will not be moving forward with this project. Please discard the submittal materials. I will need a copy of a receipt for the fees paid though. Who can I coordinate with on that?

Thank you,

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

Email: bnebel@cdsdevelopment.com

www.cdsdevelopment.com

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From: Brian Nebel

Sent: Friday, June 24, 2022 9:42 AM **To:** Ross, Bethany bross@rockwall.com

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Thank you Bethany. Have good weekend.

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

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From: Ross, Bethany < bross@rockwall.com >

Sent: Friday, June 24, 2022 9:23 AM

To: Brian Nebel

bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Hi Brian,

Thank you for the email. We have added your withdrawal to our records.

I have attached the Project Comments for your Site Plan so that when you submit your application on July 17, you have an idea of what we are looking for.

Thank you,
Bethany Ross
Planner
City of Rockwall
972.772.6488 Office
bross@rockwall.com
http://www.rockwall.com/planning/

From: Brian Nebel [mailto:bnebel@cdsdevelopment.com]

Sent: Thursday, June 23, 2022 12:14 PM **To:** Ross, Bethany < bross@rockwall.com >

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Withdraw Development Application

Bethany,

Per our discussion, Uncle Julio's will need to withdraw the submitted Development Application for alcohol variance and site plan review. Staff will hold onto the submittal materials until UJ is ready to restart the application process and no additional application fees will be required.

Please consider this our request to withdraw said application.

Let me know if you have any questions or concerns.

Thank you,

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

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From: Brian Nebel bnebel@cdsdevelopment.com

Sent: Thursday, June 23, 2022 10:23 AM **To:** Lee, Henry < HLee@rockwall.com >

Cc: Brian Nebel < bnebel@cdsdevelopment.com>

Subject: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Delay ARB Meeting/P&Z Work Session Scheduling

Henry,

Uncle Julio's and the property owner have not executed a purchase & sale agreement for this property yet, so we request that this application be scheduled for the 7/26 ARB Meeting/P&Z Work Session.

Please let me know whether you foresee any issues with granting that request or have any questions for me.

Thank you,

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

Email: bnebel@cdsdevelopment.com

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From: Brian Nebel

Sent: Friday, June 17, 2022 5:35 PM **To:** Lee, Henry < HLee@rockwall.com>

Cc: Brian Nebel

 bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Henry,

Who would I speak with to obtain a receipt for the application fees?

Thank you,

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

Email: bnebel@cdsdevelopment.com

www.cdsdevelopment.com

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From: Lee, Henry < HLee@rockwall.com Sent: Thursday, June 16, 2022 11:13 AM

To: Brian Nebel

bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Good Morning,

I received the package and everything looks to be in order.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
<u>HLee@rockwall.com</u>
385 S. Goliad Street, Rockwall, TX 75087

From: Brian Nebel < bnebel@cdsdevelopment.com >

Sent: Thursday, June 16, 2022 10:37 AM **To:** Lee, Henry < <u>HLee@rockwall.com</u>>

Cc: Brian Nebel

bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Henty.

Good morning. I just received confirmation from FedEx that our submittal package was delivered. Please let me know if you find any issues or discrepancies.

Thank you,

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

Email: bnebel@cdsdevelopment.com

www.cdsdevelopment.com

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From: Lee, Henry < <u>HLee@rockwall.com</u>> Sent: Monday, June 13, 2022 4:07 PM

To: Brian Nebel < bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Good Afternoon,

We need the hard copy submittal, but it can be couriered. Just make sure it is to me on Friday.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
<u>HLee@rockwall.com</u>
385 S. Goliad Street, Rockwall, TX 75087

From: Brian Nebel

bnebel@cdsdevelopment.com>

Sent: Monday, June 13, 2022 3:58 PM **To:** Lee, Henry < <u>HLee@rockwall.com</u>>

Cc: Brian Nebel < bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Thank you Henry. I will correct my calculations accordingly. I cannot recall whether I have already asked this question, but can I send this submittal package via FedEx, or must it be submitted in-person?

Sincerely,

Brian Nebel | Property Development Manager | CONSOLIDATED DEVELOPMENT SERVICES

Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254

Phone: (469) 897-5907

Email: bnebel@cdsdevelopment.com

www.cdsdevelopment.com

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From: Lee, Henry < <u>HLee@rockwall.com</u>> Sent: Monday, June 13, 2022 3:14 PM

To: Brian Nebel

bnebel@cdsdevelopment.com>

Subject: RE: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees

Good Afternoon,

You have the fees correct, except that we do not round up the acreage; we use the exact acreage for our fee calculation.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
<u>HLee@rockwall.com</u>
385 S. Goliad Street, Rockwall, TX 75087

From: Brian Nebel < bnebel@cdsdevelopment.com >

Sent: Thursday, June 9, 2022 10:04 AM **To:** Lee, Henry < <u>HLee@rockwall.com</u>>

Subject: Uncle Julio's restaurant at I-30 & Greencrest Blvd.: Request to Confirm Submittal Fees
Henry,
Good morning.
So that I prepare a check for the correct amount, can you please confirm my understanding of the Development Application fees below?
Site Plan Application: $$310 (2.335\text{-}acre site (rounded up to 3 acres)} = $250 + $60)$
Variance Application (for alcohol sales distance from school): \$100
Thank you,
Brian Nebel Property Development Manager CONSOLIDATED DEVELOPMENT SERVICES Mailing Address: 14901 Quorum Drive, Suite 100, Dallas, Texas 75254 Phone: (469) 897-5907 Email: bnebel@cdsdevelopment.com www.cdsdevelopment.com This email message and any attachments are confidential and may be privileged. If you are not the intended recipient, please notify CONSOLIDATED DEVELOPMENT SERVICES immediately by replying to this message and destroying all copies of this message and any attachments. Thank you.
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Cc: Brian Nebel < bnebel@cdsdevelopment.com >

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