



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE)
- REPLAT (\$300.00 + \$20.00 ACRE) †
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) † & ‡
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ‡

NOTE:

† TO DETERMINE THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
‡ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS A portion of JA Ramsey Survey, Abstract No. 186; Property ID 12255; FM 549

SUBDIVISION Homestead Phase 1

LOT

BLOCK

GENERAL LOCATION FM 1139 and FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-92, Ord No. 21-24

CURRENT USE Vacant / Agricultural

PROPOSED ZONING PD-92, Ord No. 21-24

PROPOSED USE Single Family Residential

ACREAGE 129.453

LOTS [CURRENT]

1

LOTS [PROPOSED]

271

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER SH Dev Klutts Rockwall, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Peter H. Shaddock, Jr.

CONTACT PERSON Meredith Joyce

ADDRESS 2400 Dallas Pkwy, Suite 460

ADDRESS 767 Justin Road

CITY, STATE & ZIP Plano, TX 75093

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214-240-6004

PHONE 512-694-6394

E-MAIL land@shaddockhomes.com

E-MAIL meredith@michaeljoyceproperties.com

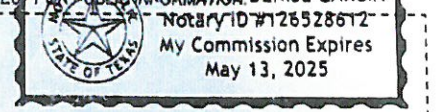
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Shaddock, Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2839.06, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF March, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION. DENISE GARCIA

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March, 2022

OWNER'S SIGNATURE



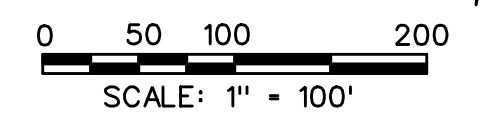
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 5/13/25

N88° 26'14"E 2790.07'

CITY OF ROCKWALL 8RD		
SYSTEM COORDINATES		
X	Y	Z
262343.262	7040467.415	
ELEV = 532.0'		

NOTES:
 ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
 HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.



LEGEND
 B.L. - BUILDING LINE
 D.E. - DRAINAGE EASEMENT
 S.S.E. - SANITARY SEWER EASEMENT
 U.E. - UTILITY EASEMENT
 R.O.W. - RIGHT OF WAY
 H.O.A. - HOMEOWNERS ASSOCIATION
 - - - - - CITY LIMITS
 - - - - - PHASE LINE

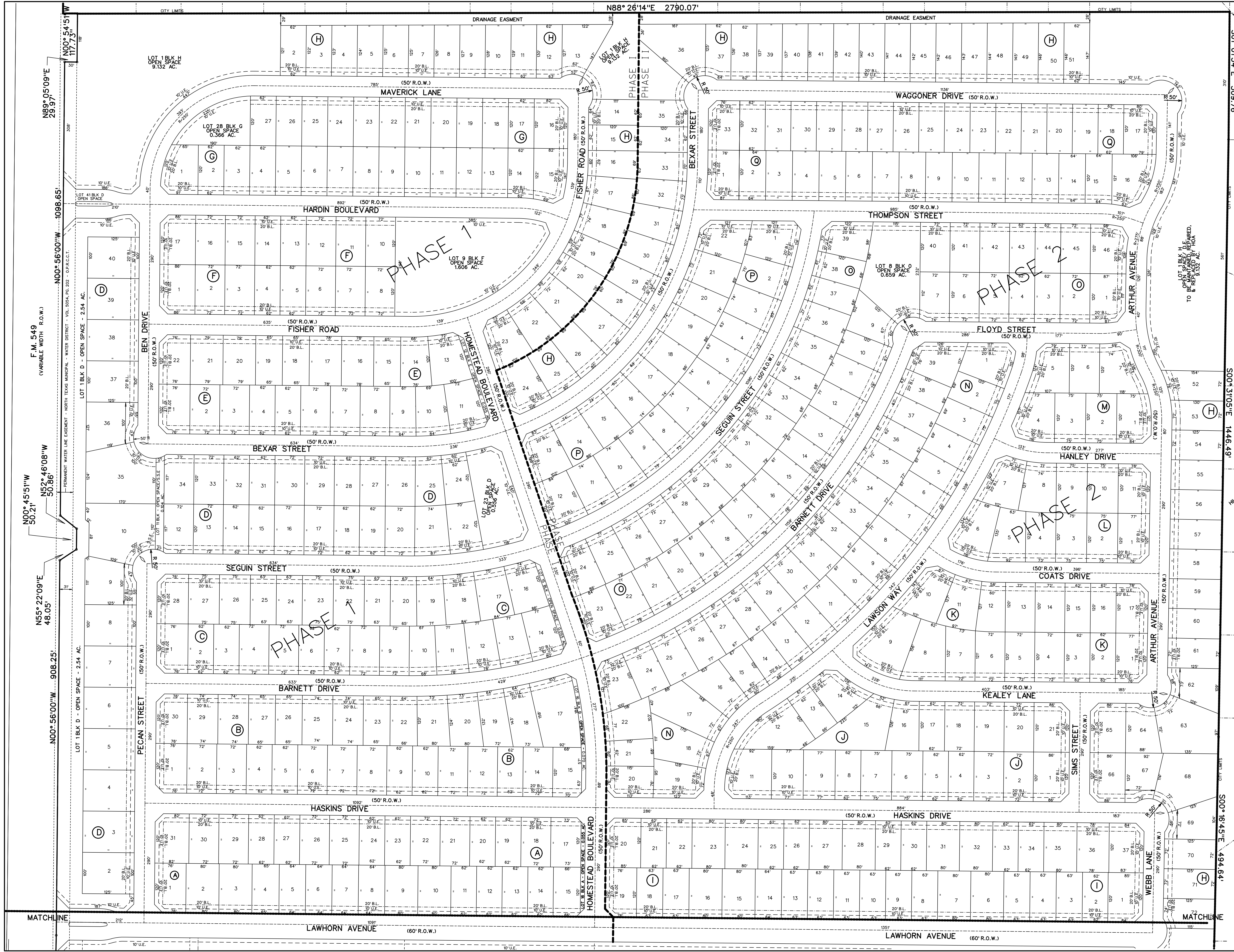
Phase 1 = 251 Lots
 Phase 2 = 239 Lots

PD SITE PLAN
 OF
HOMESTEAD

- LOTS 1-31, BLOCK A
- LOTS 1-30, BLOCK B
- LOTS 1-28, BLOCK C
- LOTS 1-40, BLOCK D
- LOTS 1-22, BLOCK E
- LOTS 1-17, BLOCK F
- LOTS 1-28, BLOCK G
- LOTS 1-72, BLOCK H
- LOTS 1-37, BLOCK I
- LOTS 1-21, BLOCK J
- LOTS 1-17, BLOCK K
- LOTS 1-11, BLOCK L
- LOTS 1-7, BLOCK M
- LOTS 1-39, BLOCK N
- LOTS 1-46, BLOCK O
- LOTS 1-22, BLOCK P
- LOTS 1-33, BLOCK Q

TOTAL ACRES 196.008
 TOTAL RESIDENTIAL LOTS 490
 TOTAL DENSITY 2.4998
 TOTAL OPEN SPACE LOTS 11

OUT OF THE
J.A. RAMSEY SURVEY,
 ABSTRACT NO. 186
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNER
SH DEV KLUTTS
ROCKWALL, LLC.
 2400 DALLAS PKWY, STE. 460
 PLANO, TEXAS
 214-240-6004
 PREPARED BY
CORVIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200



F.M. 549
 (VARIABLE WIDTH R.O.W.)

N52° 46'08"E
 50.86'

N55° 22'09"E
 48.05'

N00° 56'00"W
 908.25'

N00° 56'00"W
 2.54 AC.

N00° 56'00"W
 2.54 AC.

300° 11'34"E
 309.76'

300° 11'34"E
 1446.49'

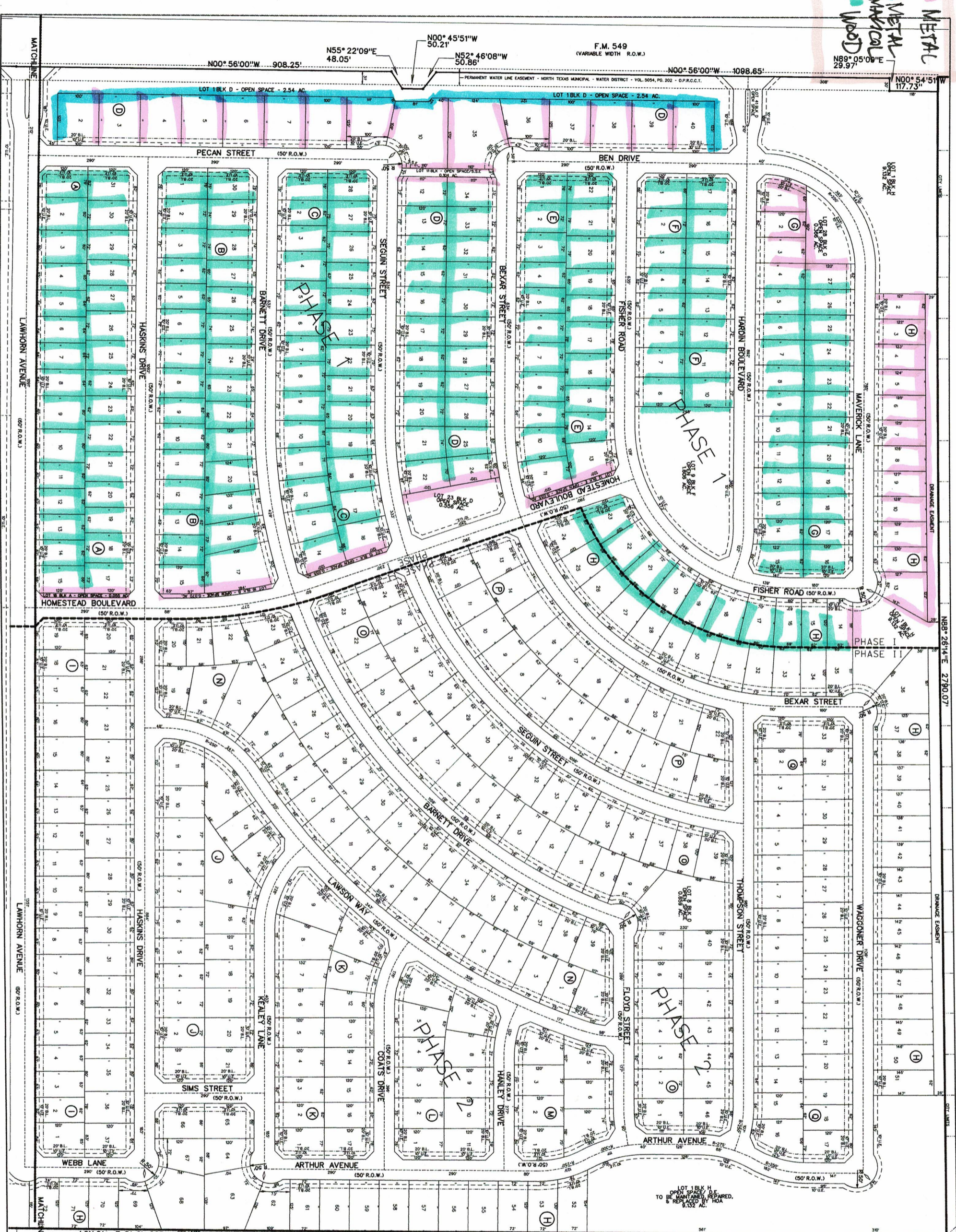
300° 16'45"E
 494.64'

300° 16'45"E
 494.64'

300° 16'45"E
 494.64'

300° 16'45"E
 494.64'

METAL
METAL
WOOD



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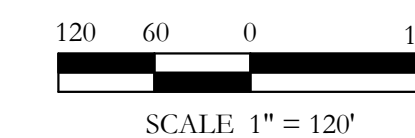
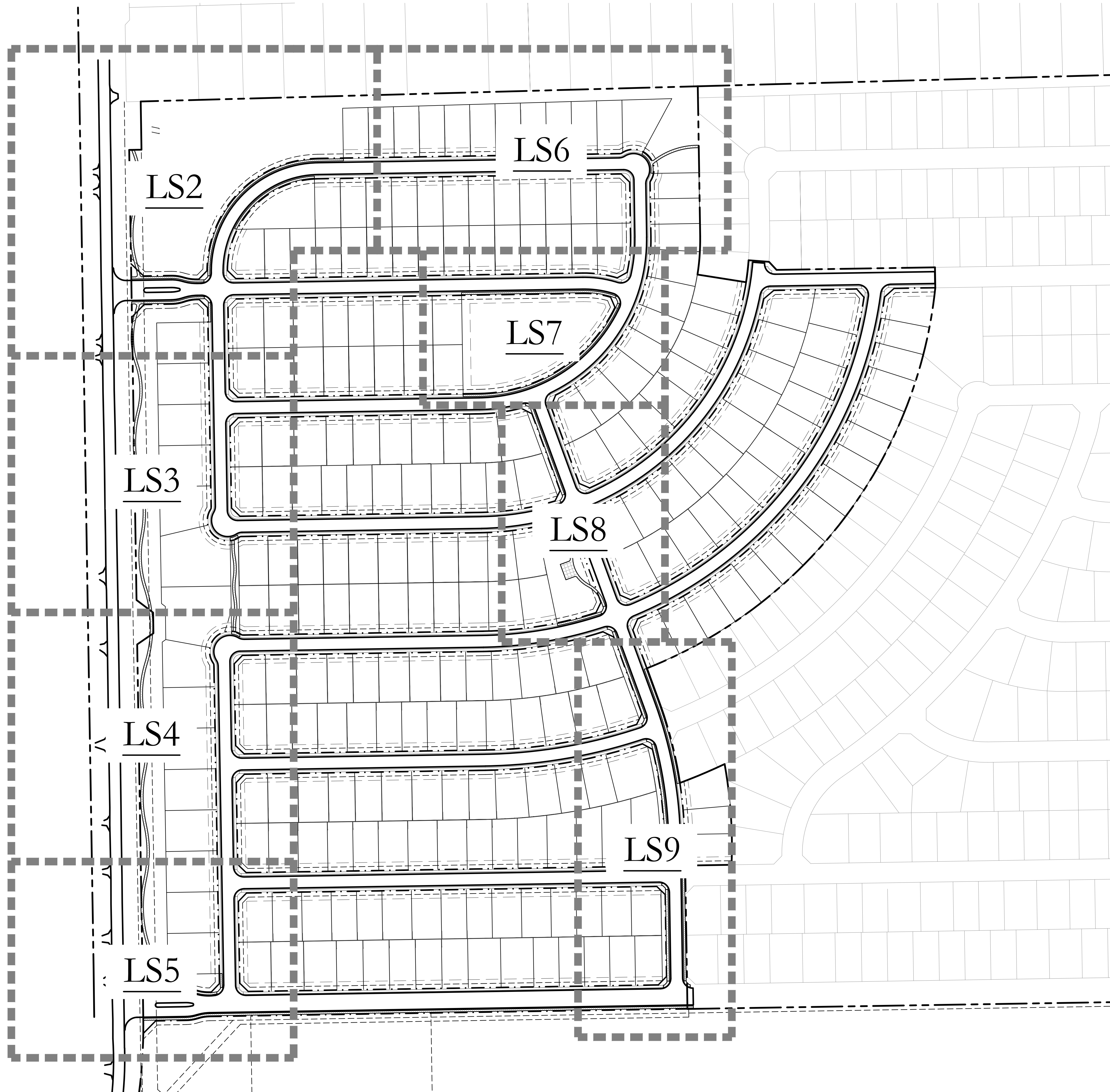
OWNER
SH DEV KLUTTS
ROCKWALL, LLC.
2400 DALLAS PKWY, STE. 480
PLANO, TEXAS
214-240-6004

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT SUITE E
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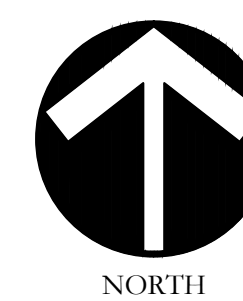
MARCH 2022 SCALE: 1" = 100'
SHEET 1 OF 2 CASE #P2021-044

FENCE MAP ONLY - DRAWING NOT TO SCALE

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February 22, 2022



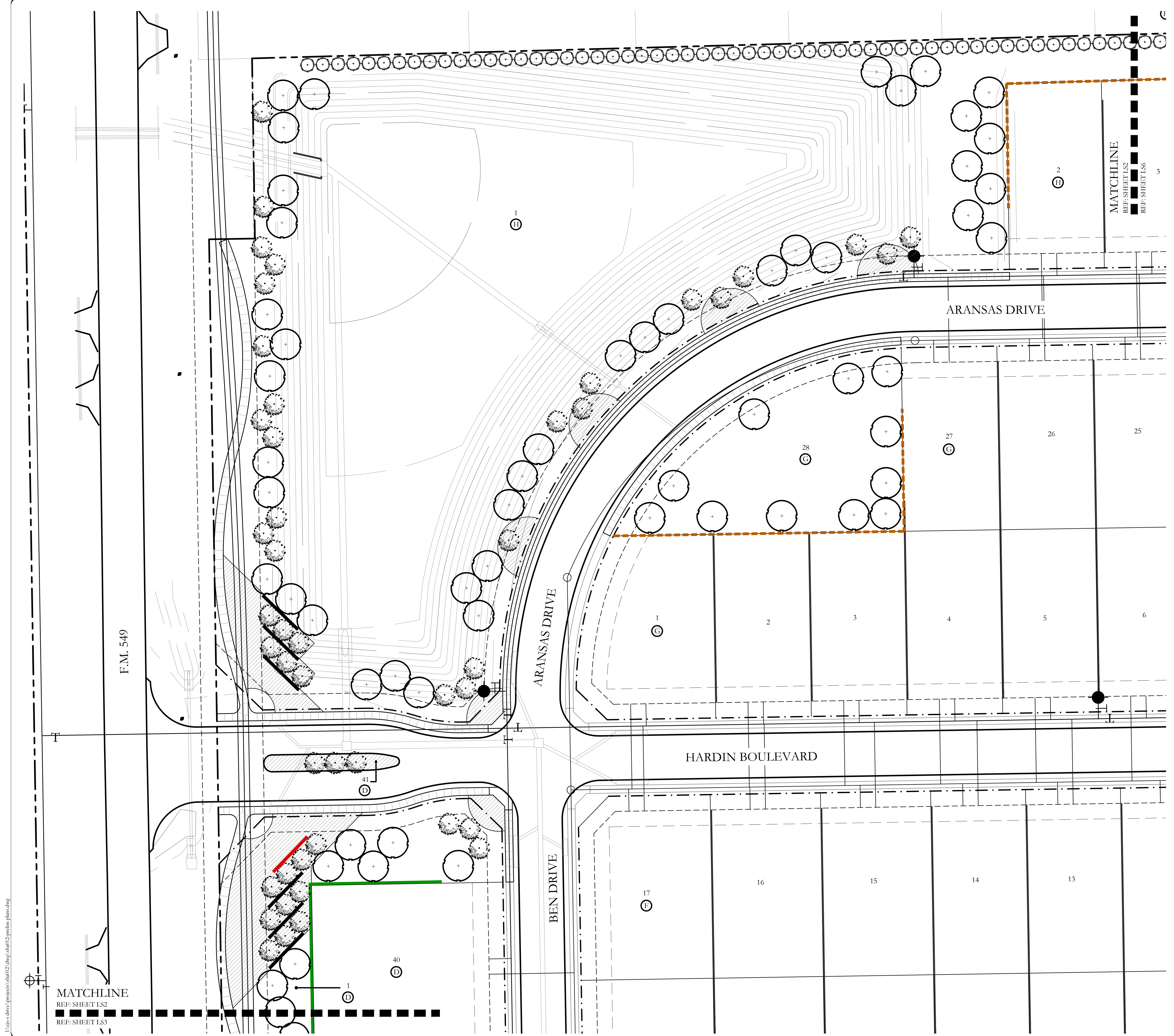
SCALE:
VARIES
One Inch
JVC No. SHA012

LS1 of 11

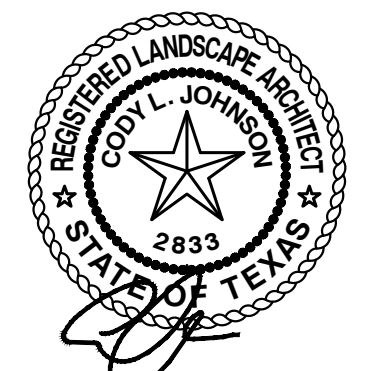
PRELIMINARY LANDSCAPE PLANS
OVERALL LAYOUT PLAN

HOMESTEAD
PHASE I
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

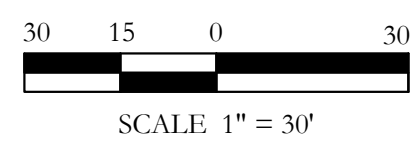
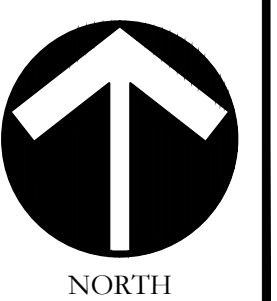
JOHNSON VOLK
CONSULTING
704 Central Parkway, East | Suite 1200 | Plano, TX 75074 | 972.201.3100
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033



- ### SCREENING LEGEND
- SIGN WALL PANEL.
 - BRICK ACCENT WALL.
 - 6'-0" HT. ORNAMENTAL METAL FENCE WITH COLUMNS SPACED EVERY LOT CORNER AND AT WALL ENDS.
 - 6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER.
 - 4" CALIPER SHADE TREE; SPECIES SHALL BE CONSISTENT WITH THE CITY OF ROCKWALL APPROVED TREE LIST.
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- ### GENERAL LANDSCAPE NOTES
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 - ALL LANDSCAPE AREAS SHOWN ON THESE PRELIMINARY LANDSCAPE PLANS SHALL RECEIVE A COMPLETE IRRIGATION SYSTEM.
 - BERMS AND/OR SHRUBBERY SHALL BE PROVIDED ALONG F.M. 549.



February 22, 2022



MATCHLINE
 REF: SHEET LS2
 REF: SHEET LS3

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SCALE:
 VARIES
 One Inch
 JVC No. SHA012



SCREENING LEGEND

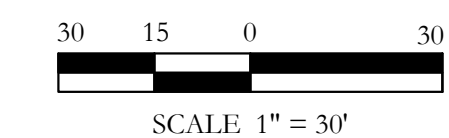
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SCALE:
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 One Inch
 JVC No. SHA012

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MATCHLINE

REF: SHEET LS3

REF: SHEET LS4





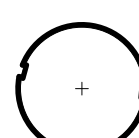
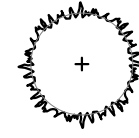

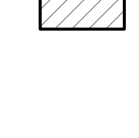
F.M. 549

MATCHLINE

REF: SHEET LS4

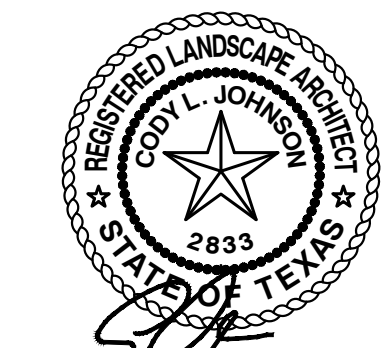
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SCREENING LEGEND

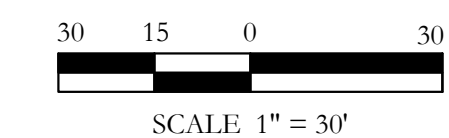
-  SIGN WALL PANEL.
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SCALE: VARIES

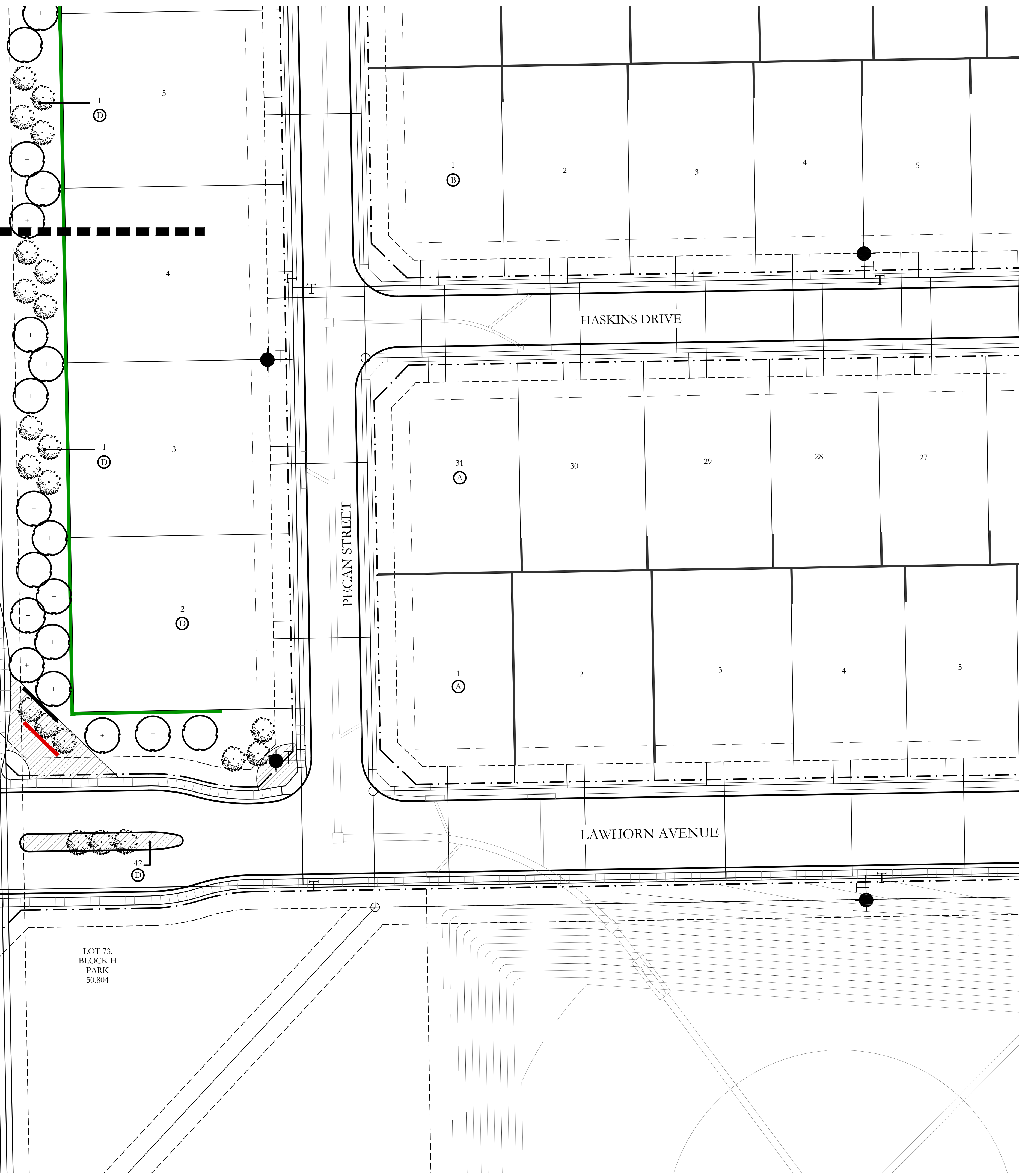
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LS4 of 11

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MATCHLINE
REF: SHEET LS4
REF: SHEET LS5

F.M. 549



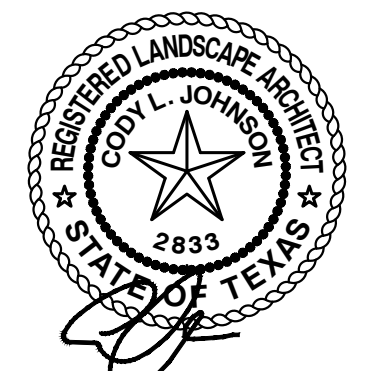
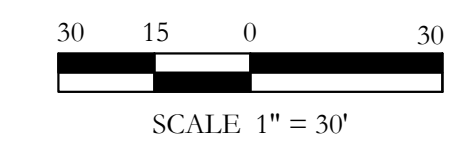
LOT 73,
BLOCK H
PARK
50.804

SCREENING LEGEND

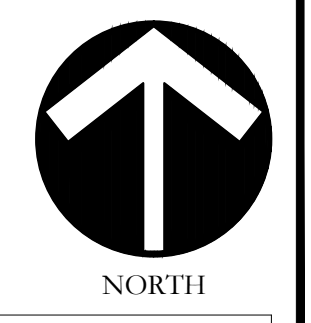
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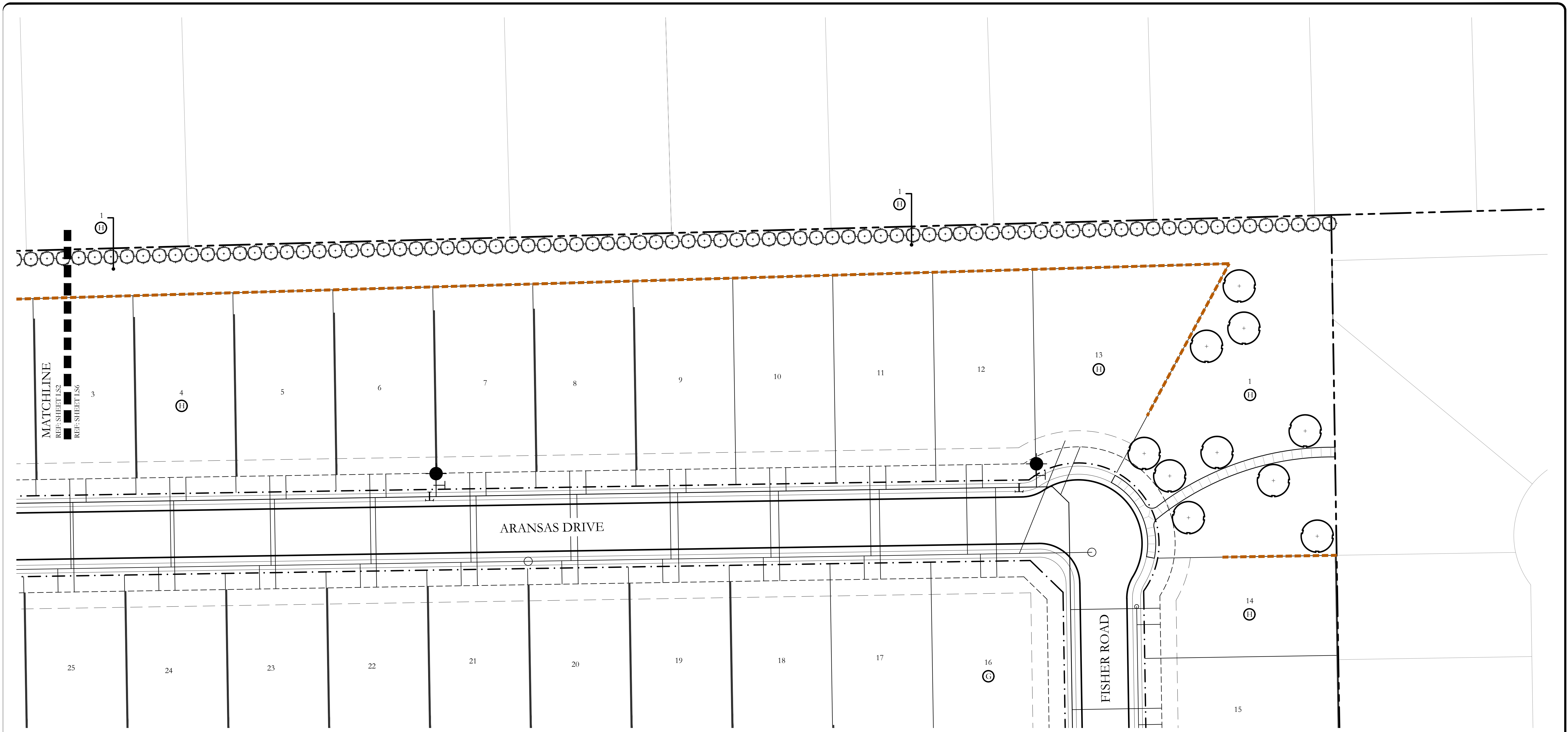


February 22, 2022





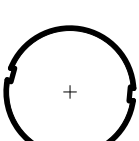
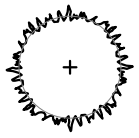
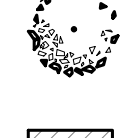
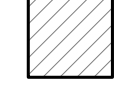


SCALE:
VARIES
One Inch
JVC No. SHA012

LS5 of 11



SCREENING LEGEND

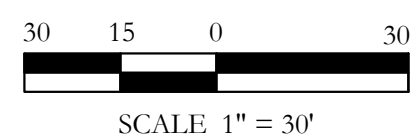
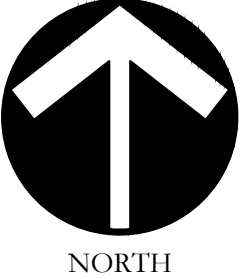
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GENERAL LANDSCAPE NOTES

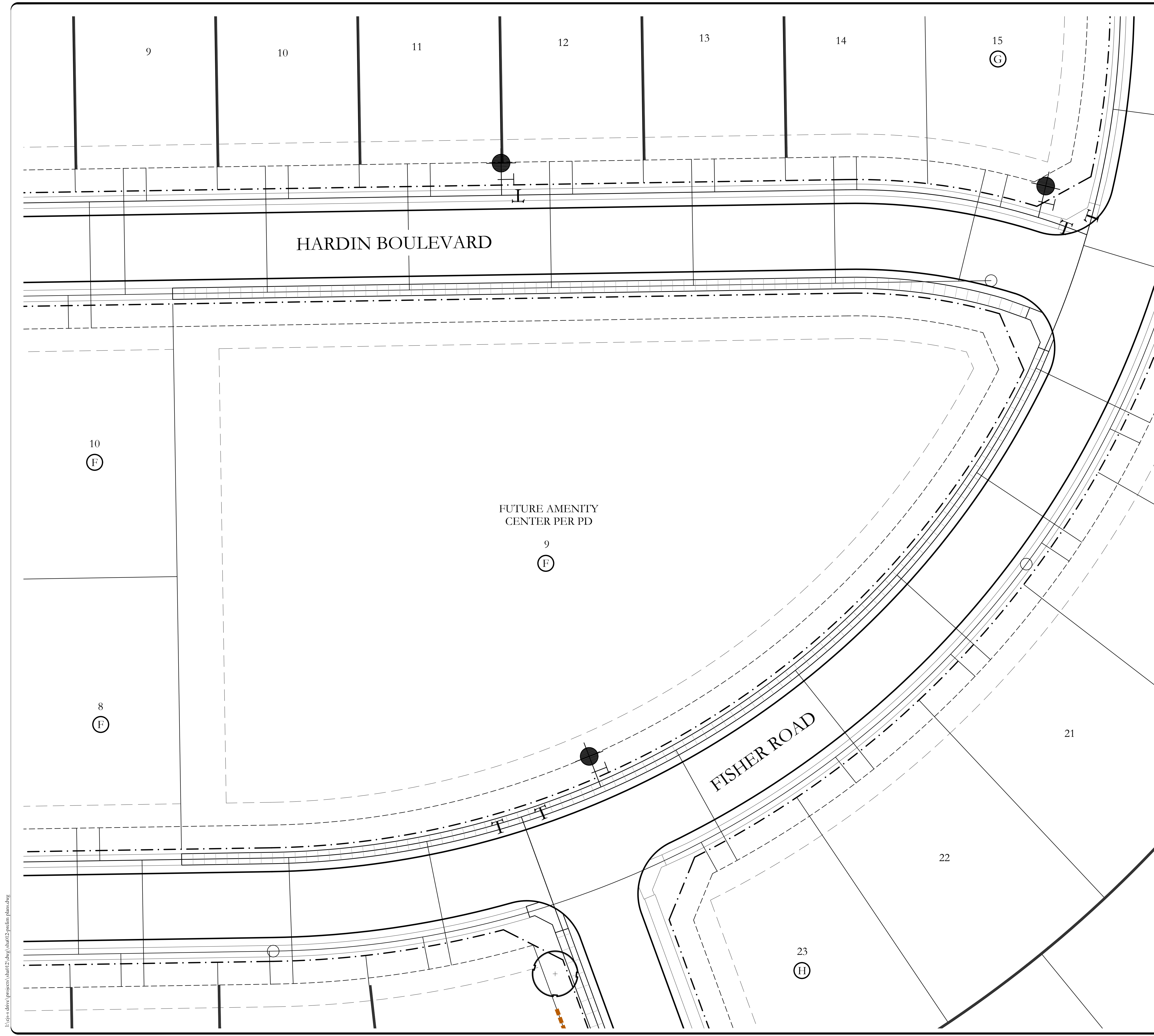
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February 22, 2022



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HARDIN BOULEVARD

FISHER ROAD

FUTURE AMENITY CENTER PER PD

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(F)

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(F)

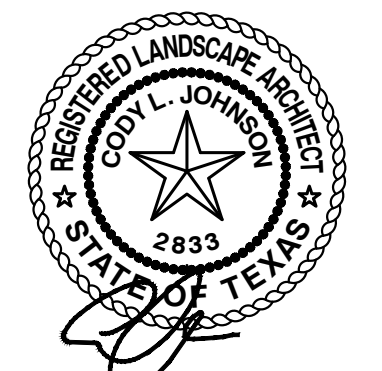
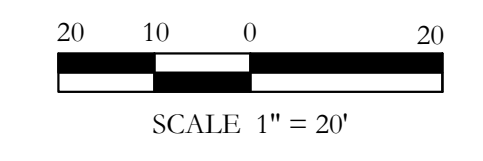
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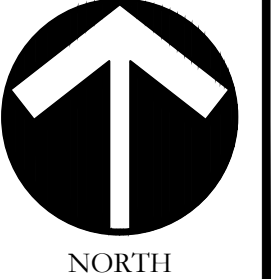
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(H)

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22



February 22, 2022



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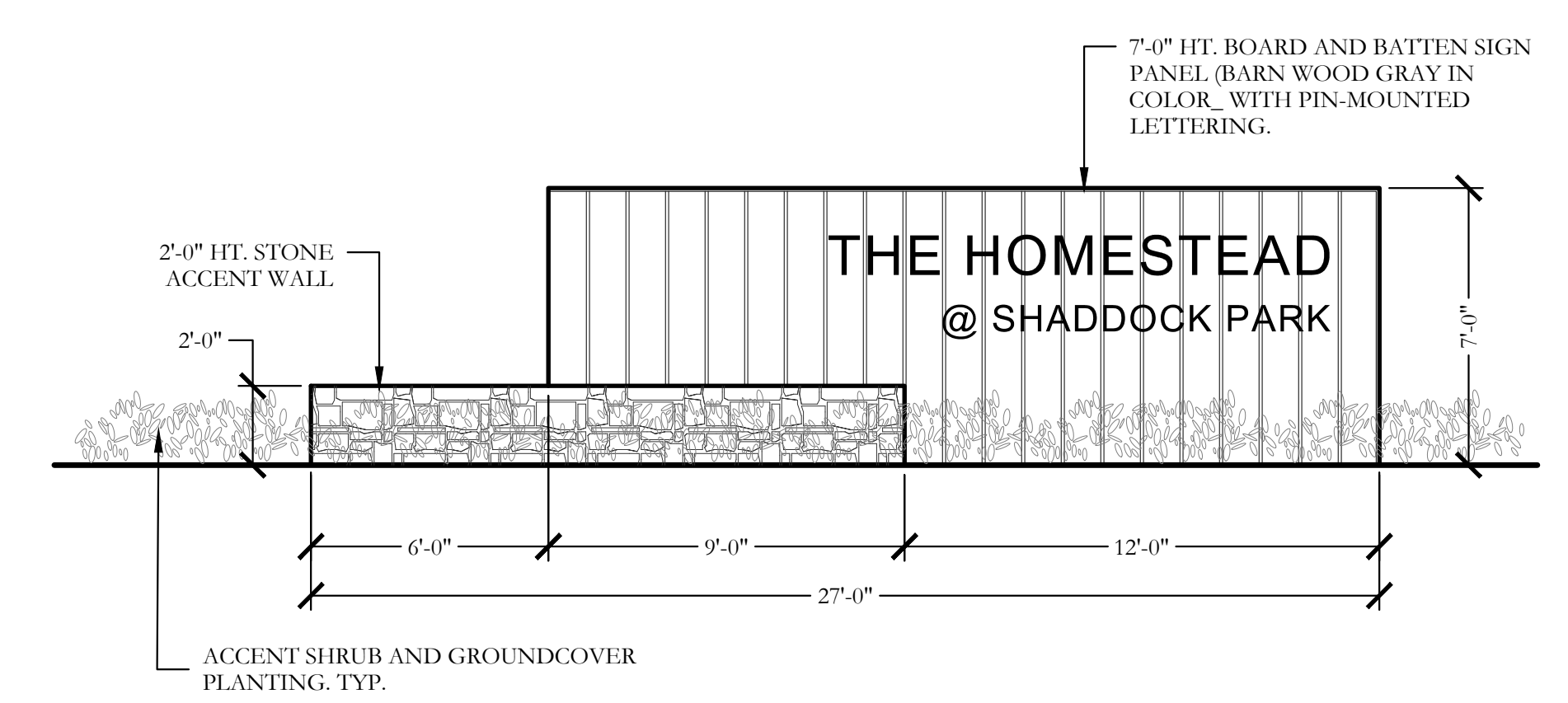


SCREENING LEGEND

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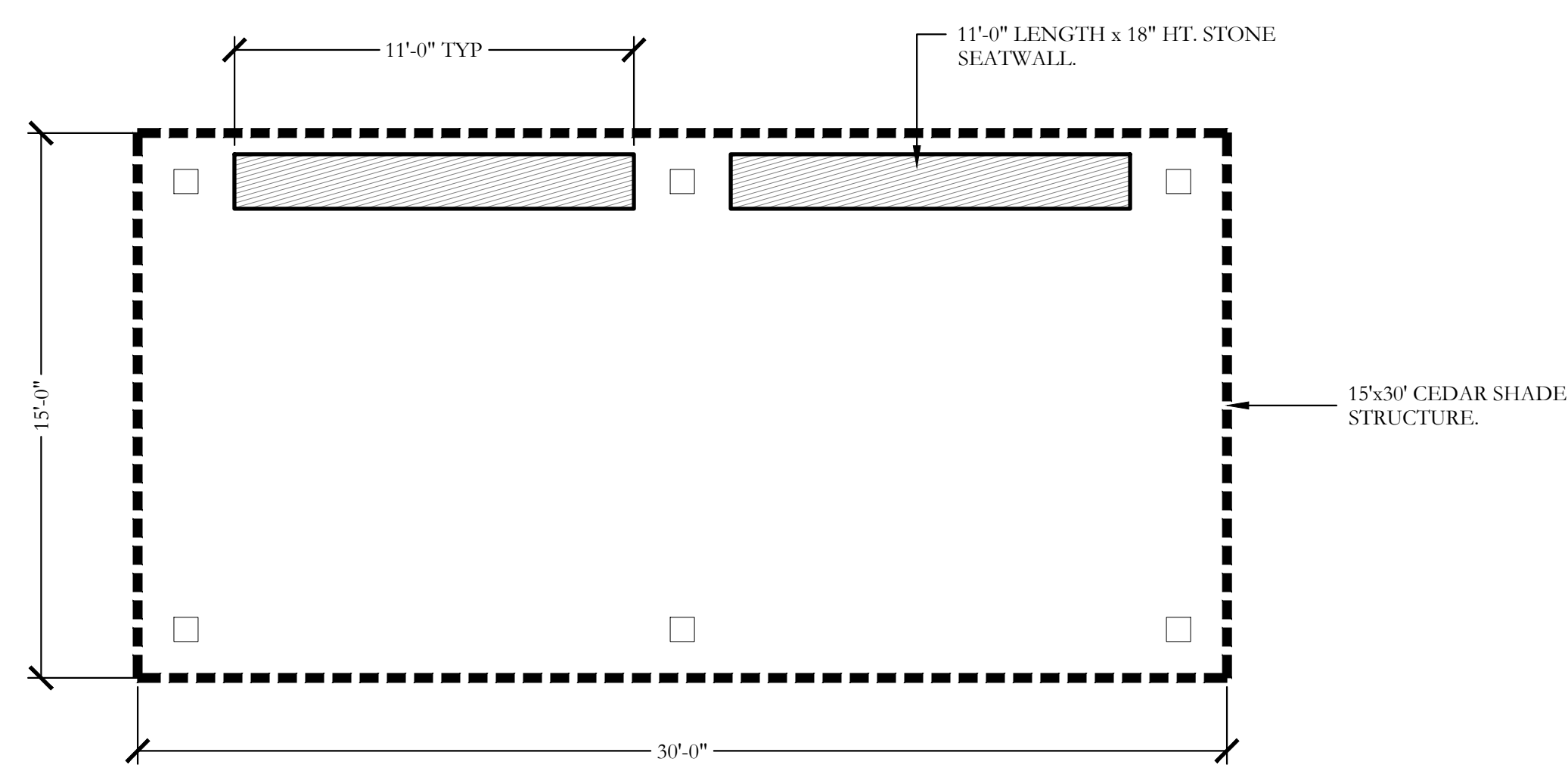
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TRAIL HEAD SIGN ELEVATION

SCALE: 1/4" = 1'-0"

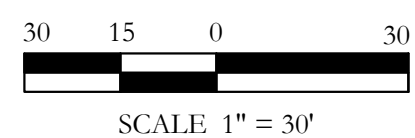
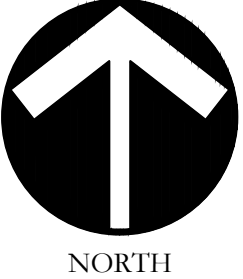


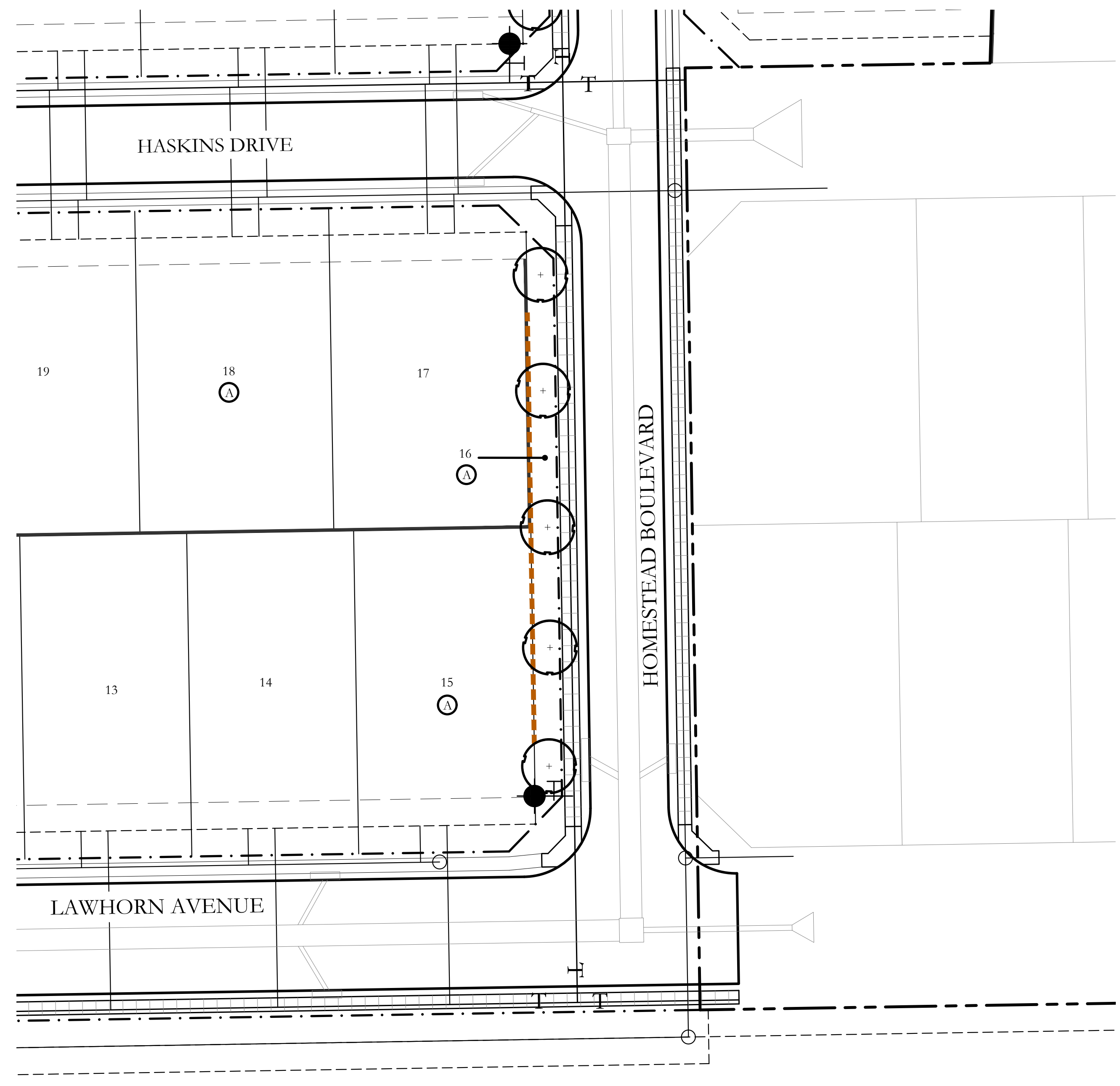
TRAIL HEAD REST STATION PLAN

SCALE: 1/4" = 1'-0"







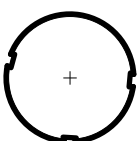
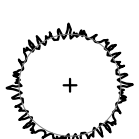

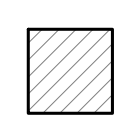
February 22, 2022





LOT 73,
BLOCK H
PARK
50.804

SCREENING LEGEND

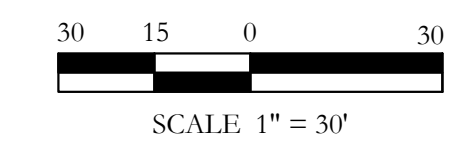
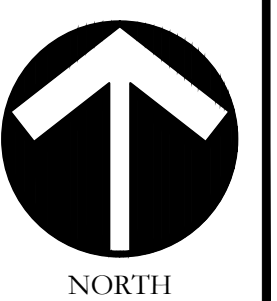
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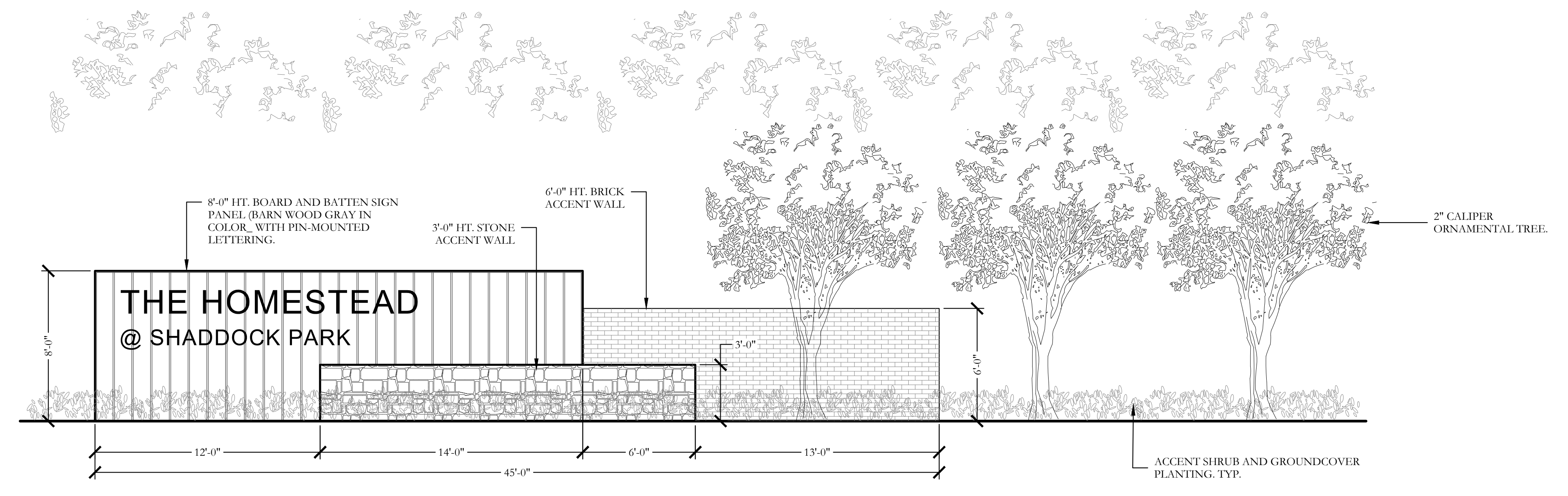
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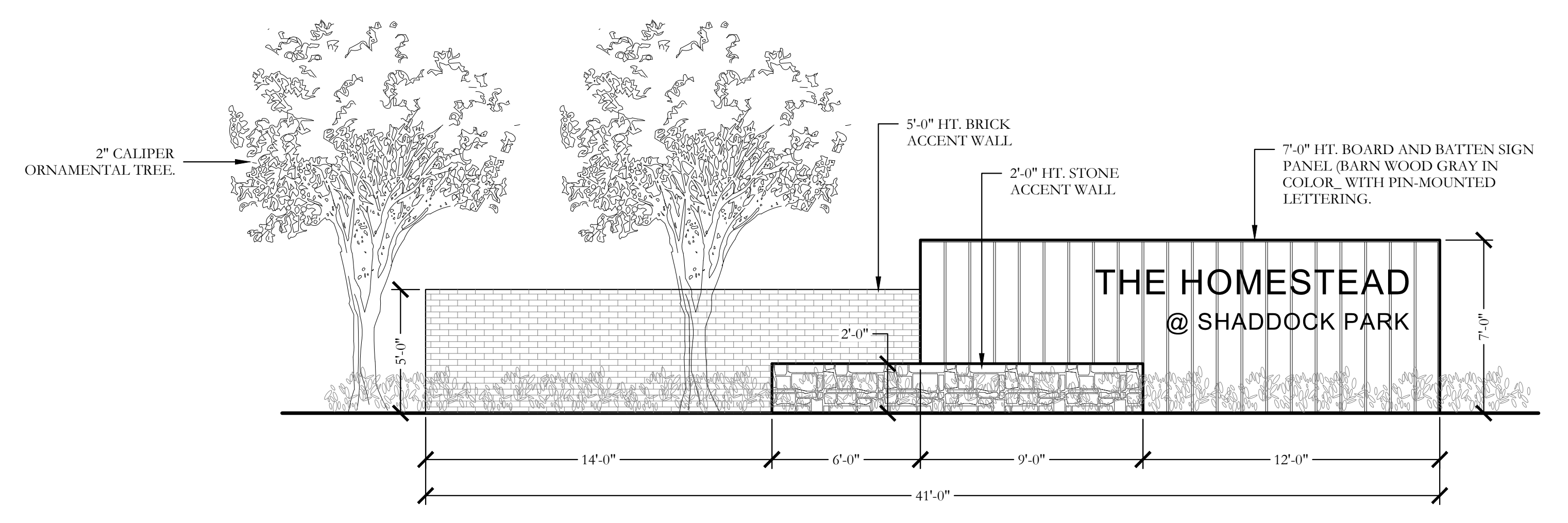


February 22, 2022





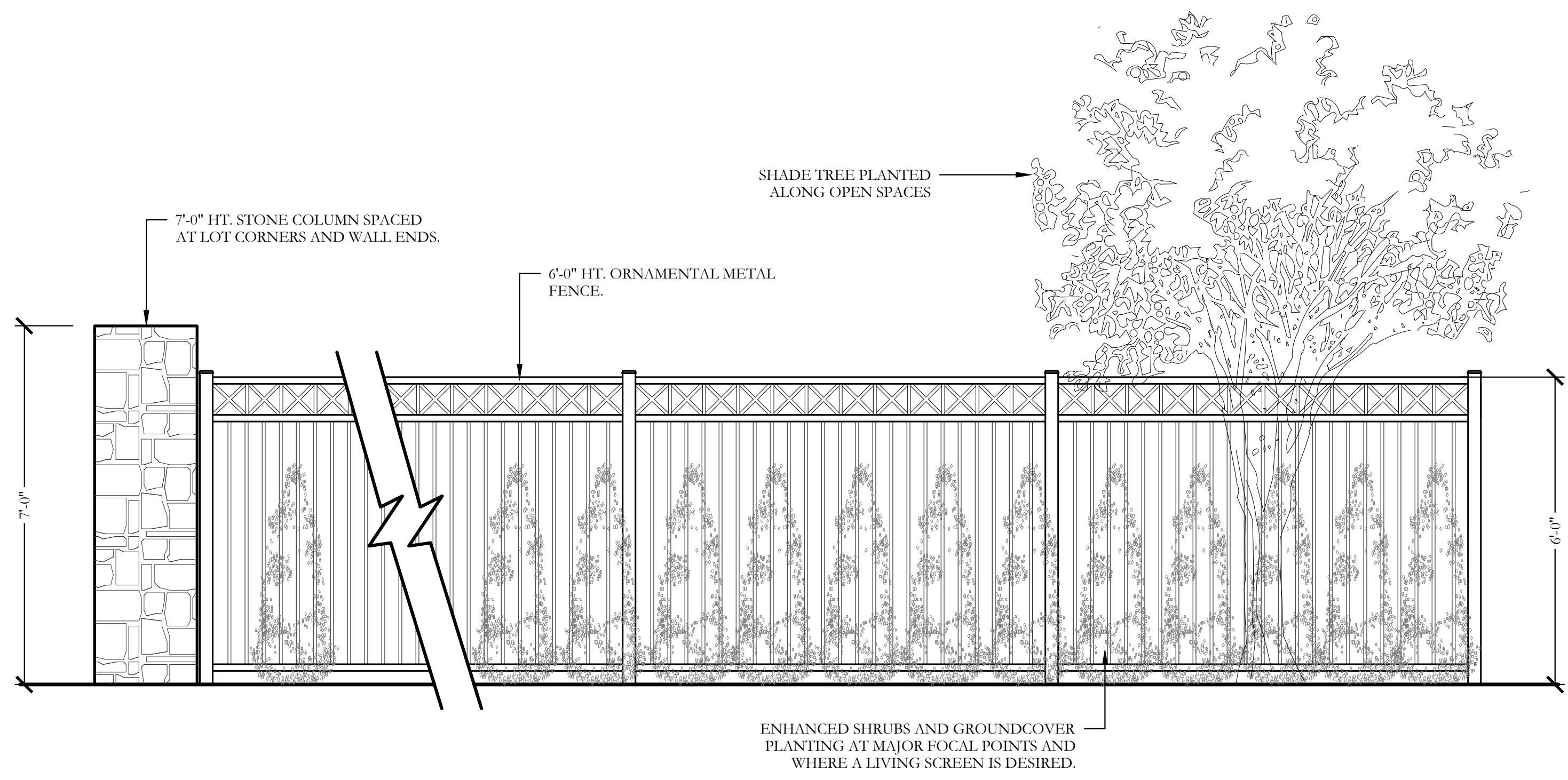
MAIN ENTRY SIGN ELEVATION SCALE: 1/4" = 1'-0"



SECONDARY ENTRY SIGN ELEVATION SCALE: 1/4" = 1'-0"

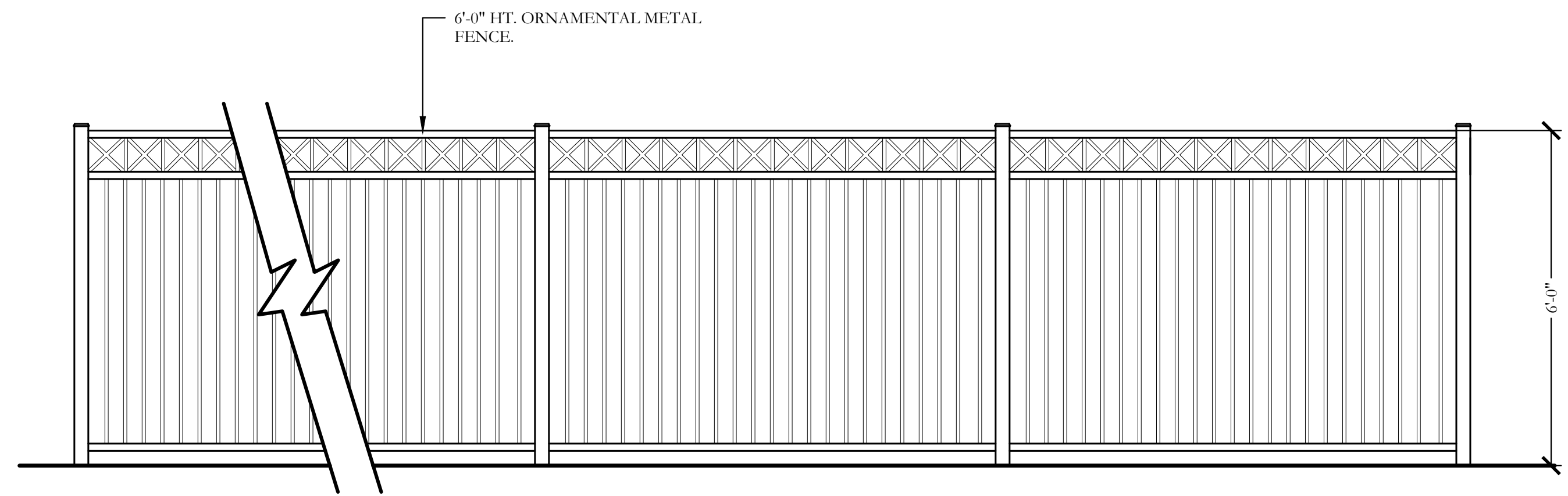
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February 22, 2022



TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION

SCALE: 1/2" = 1'-0"



TYPICAL ORNAMENTAL METAL FENCE BY BUILDER
ELEVATION

SCALE: 1/2" = 1'-0"



February 22, 2022

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTE:

IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS A portion of JA Ramsey Survey, Abstract No. 186; Property ID 12255; FM 549

SUBDIVISION Homestead Phase 1

LOT

BLOCK

GENERAL LOCATION FM 1139 and FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-92, Ord No. 21-24

CURRENT USE Vacant / Agricultural

PROPOSED ZONING PD-92, Ord No. 21-24

PROPOSED USE Single Family Residential

ACREAGE 129.453

LOTS [CURRENT] 1

LOTS [PROPOSED] 271

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER SH Dev Klutts Rockwall, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Peter H. Shaddock, Jr.

CONTACT PERSON Meredith Joyce

ADDRESS 2400 Dallas Pkwy, Suite 460

ADDRESS 767 Justin Road

CITY, STATE & ZIP Plano, TX 75093

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214-240-6004

PHONE 512-694-6394

E-MAIL land@shaddockhomes.com

E-MAIL meredith@michaeljoyceproperties.com

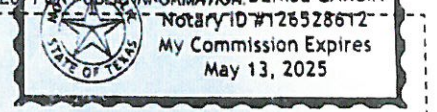
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Shaddock, Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2839.06, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF March, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION. DENISE GARCIA

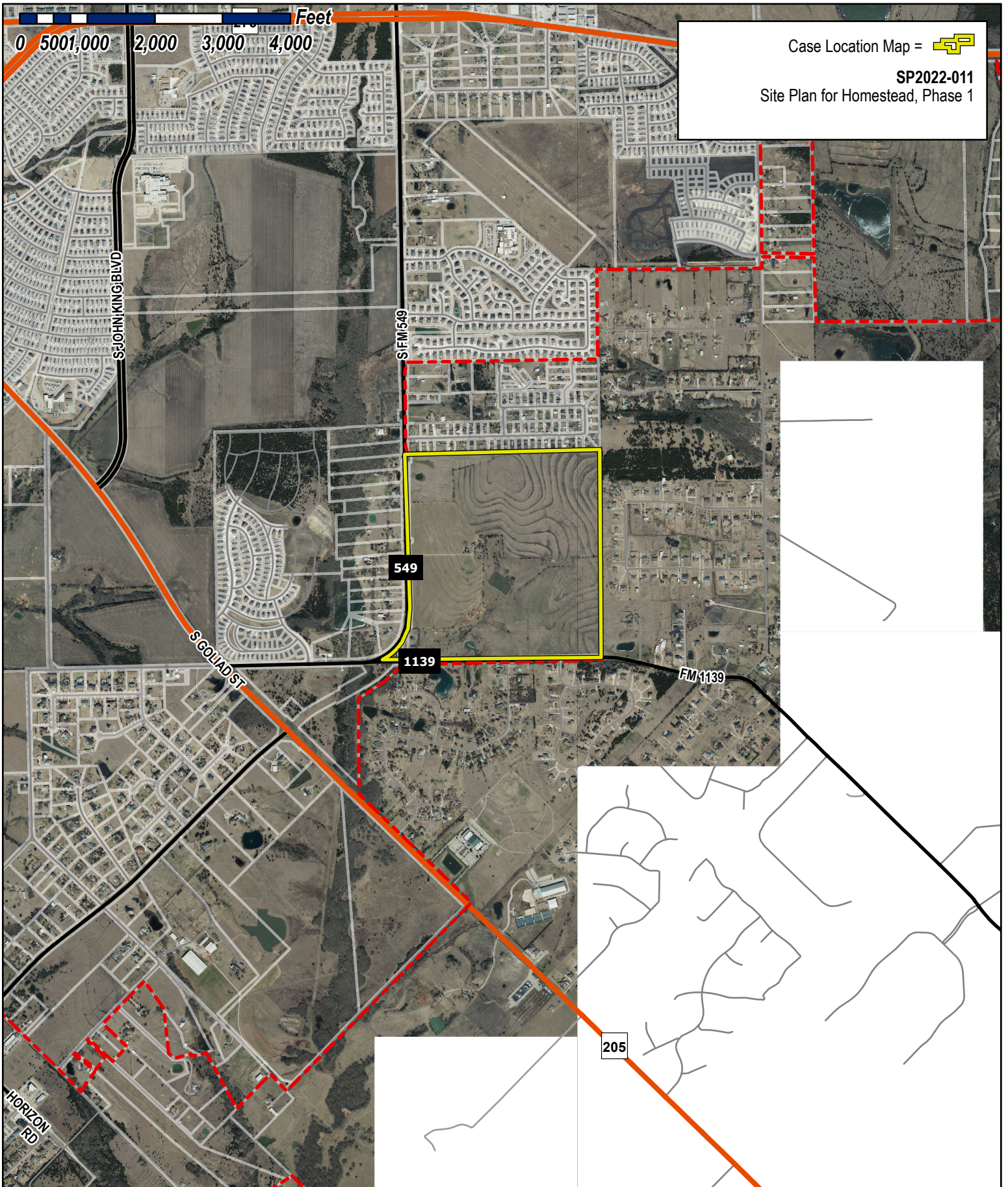
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March, 2022

OWNER'S SIGNATURE



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 5/13/25



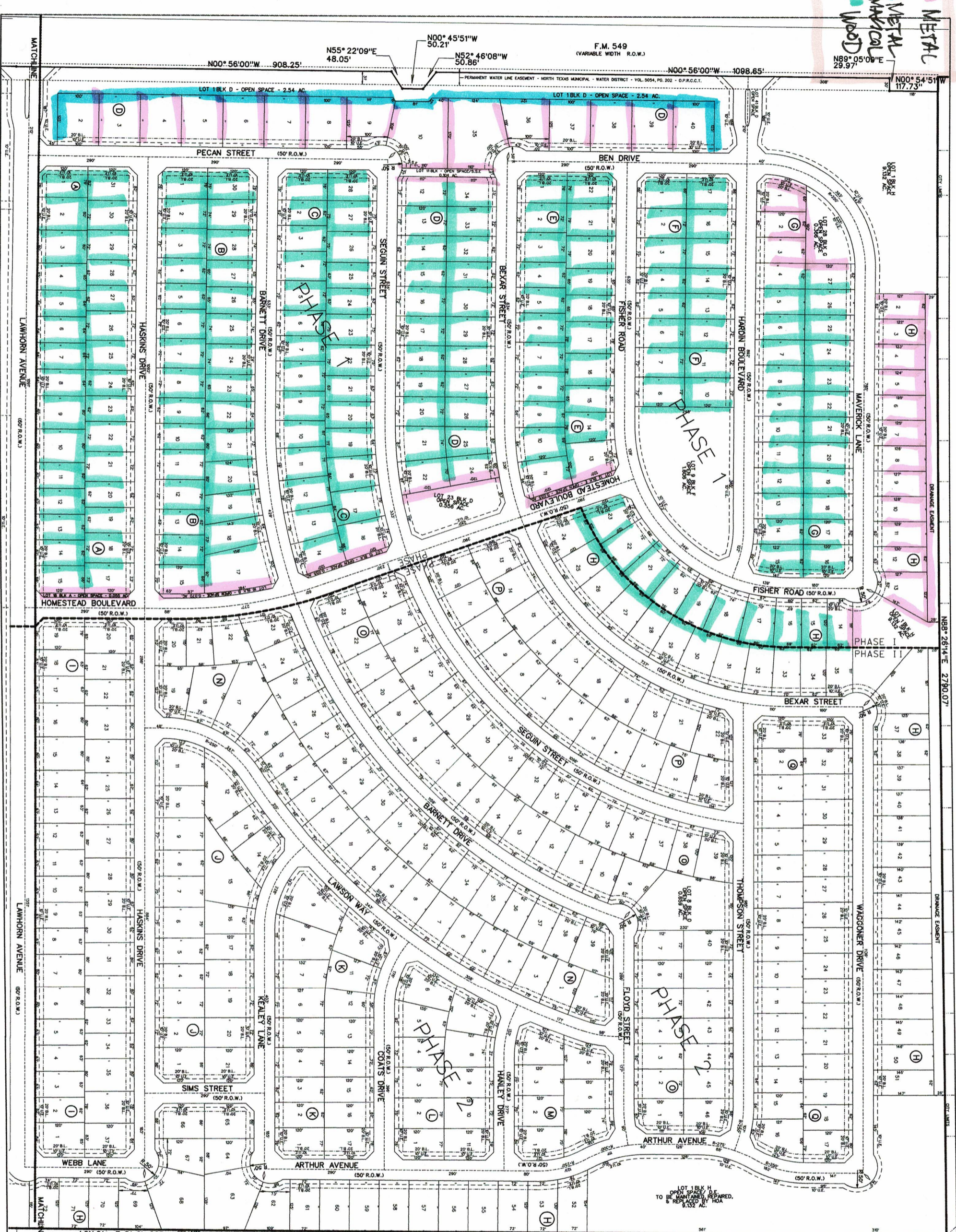
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



METAL
METAL
WOOD



NOTES:
ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
HOA/PROPERTY OWNER TO MAINTAIN, REPAIR AND REPLACE ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.



LEGEND
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
U.E. - UTILITY EASEMENT
R.O.W. - RIGHT OF WAY
H.O.A. - HOMEOWNERS ASSOCIATION
- CITY LIMITS
- PHASE LINE

Phase 1 - 251 Lots
Phase 2 - 239 Lots

PD SITE PLAN
OF
HOMESTEAD

LOTS 1-31, BLOCK A
LOTS 1-30, BLOCK B
LOTS 1-28, BLOCK C
LOTS 1-40, BLOCK D
LOTS 1-22, BLOCK E
LOTS 1-17, BLOCK F
LOTS 1-28, BLOCK G
LOTS 1-72, BLOCK H
LOTS 1-37, BLOCK I
LOTS 1-21, BLOCK J
LOTS 1-17, BLOCK K
LOTS 1-11, BLOCK L
LOTS 1-7, BLOCK M
LOTS 1-39, BLOCK N
LOTS 1-46, BLOCK O
LOTS 1-22, BLOCK P
LOTS 1-33, BLOCK Q

TOTAL ACRES 196.008
TOTAL RESIDENTIAL LOTS 490
TOTAL DENSITY 2.4998
TOTAL OPEN SPACE LOTS 11

OUT OF THE
J.A. RAMSEY SURVEY,
ABSTRACT NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

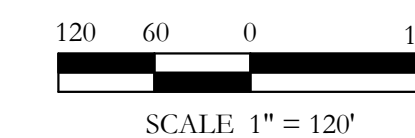
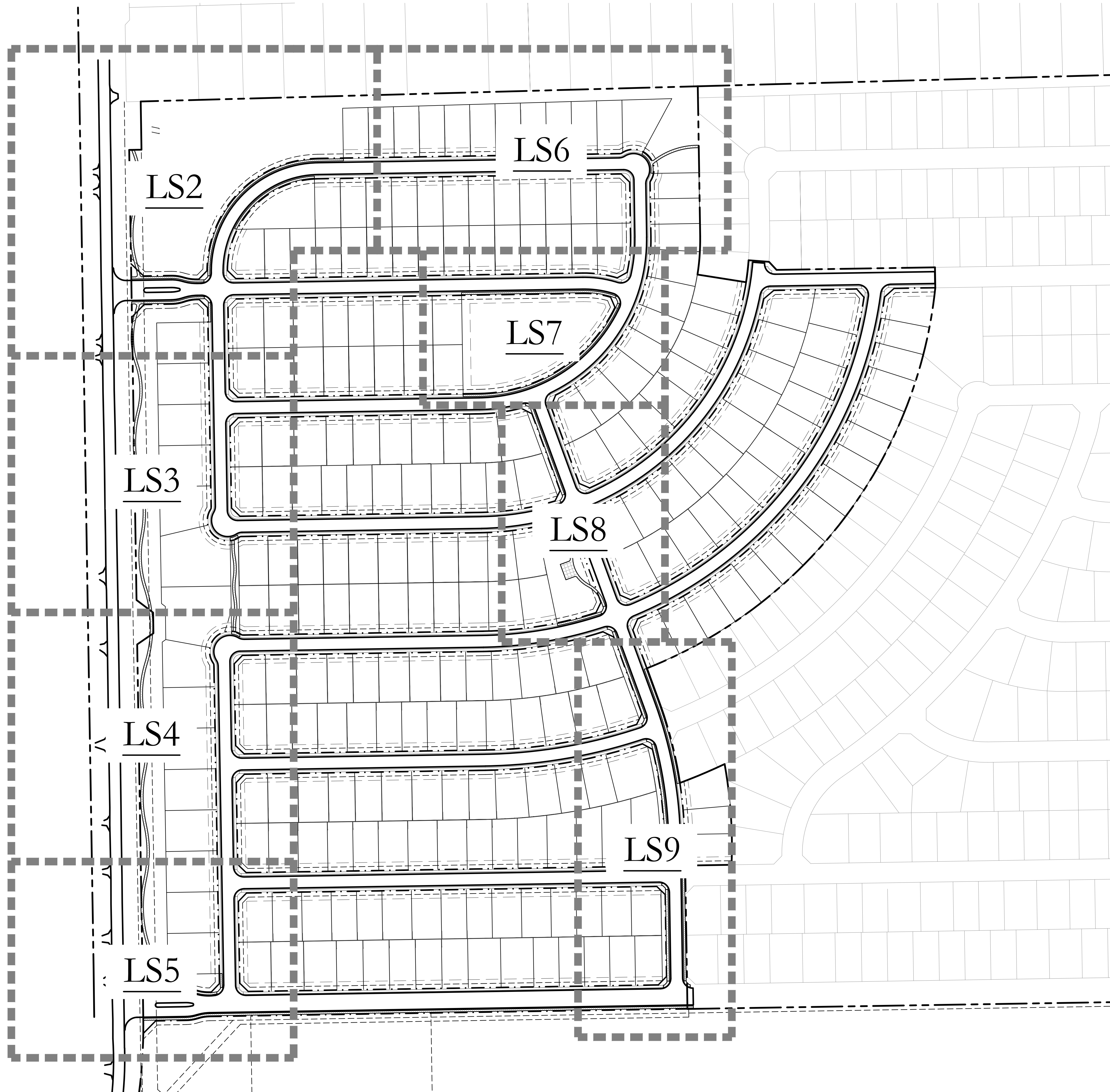
OWNER
SH DEV KLUTTS
ROCKWALL, LLC.
2400 DALLAS PKWY, STE. 480
PLANO, TEXAS
214-240-6004

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2022 SCALE: 1" = 100'
SHEET 1 OF 2 CASE #P2021-044

FENCE MAP ONLY - DRAWING NOT TO SCALE

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February 22, 2022



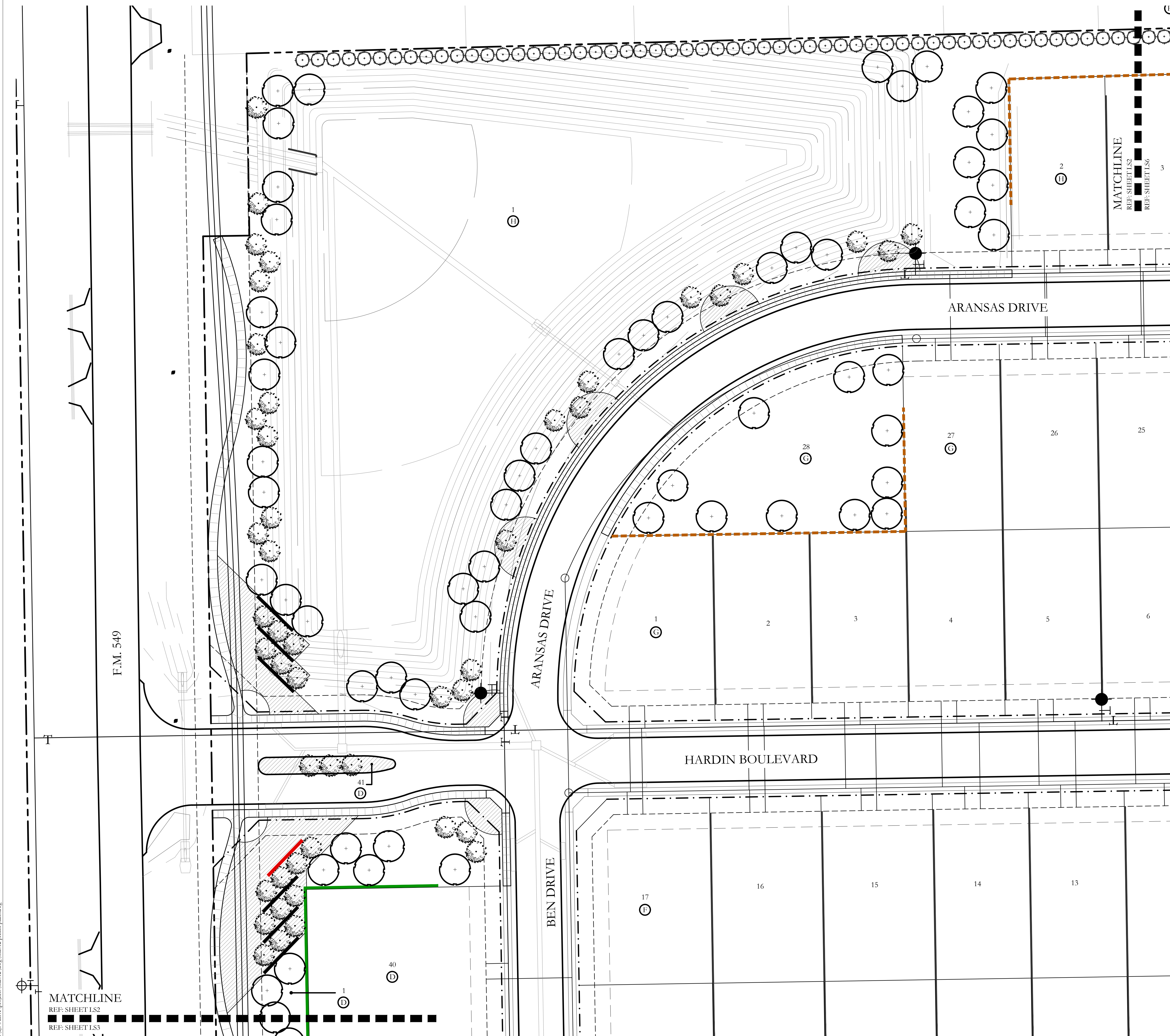
SCALE:
VARIES
One Inch
JVC No. SHA012

LS1 of 11

PRELIMINARY LANDSCAPE PLANS
OVERALL LAYOUT PLAN

HOMESTEAD
PHASE I
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK
CONSULTING
704 Central Parkway, East | Suite 1200 | Plano, TX 75074 | 972.201.3100
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033



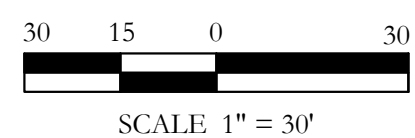
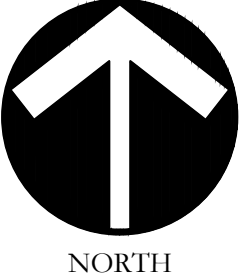
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February 22, 2022



MATCHLINE
 REF: SHEET LS2
 REF: SHEET LS3

SCALE:
 VARIES
 One Inch
 JVC No. SHA012

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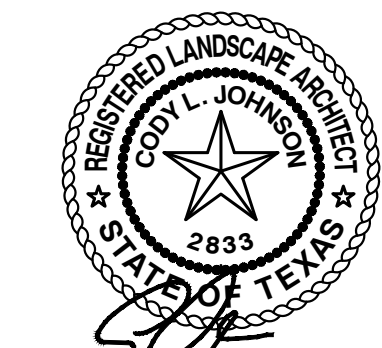


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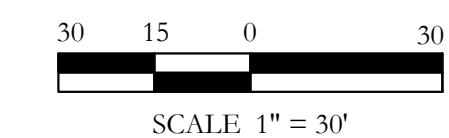
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MATCHLINE

REF: SHEET LS3

REF: SHEET LS4





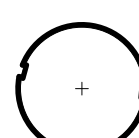
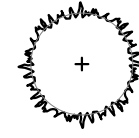

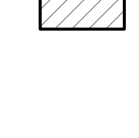
F.M. 549

MATCHLINE

REF: SHEET LS4

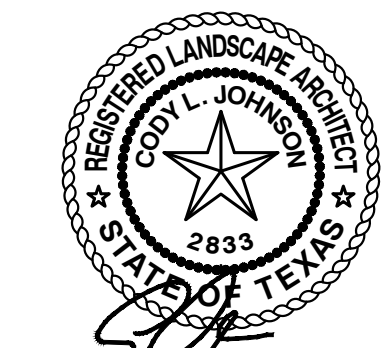
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SCREENING LEGEND

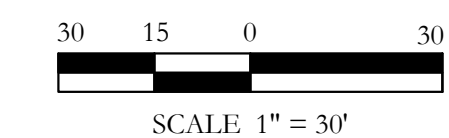
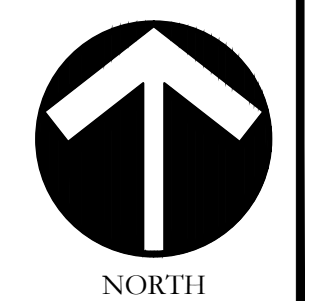
-  SIGN WALL PANEL.
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February 22, 2022



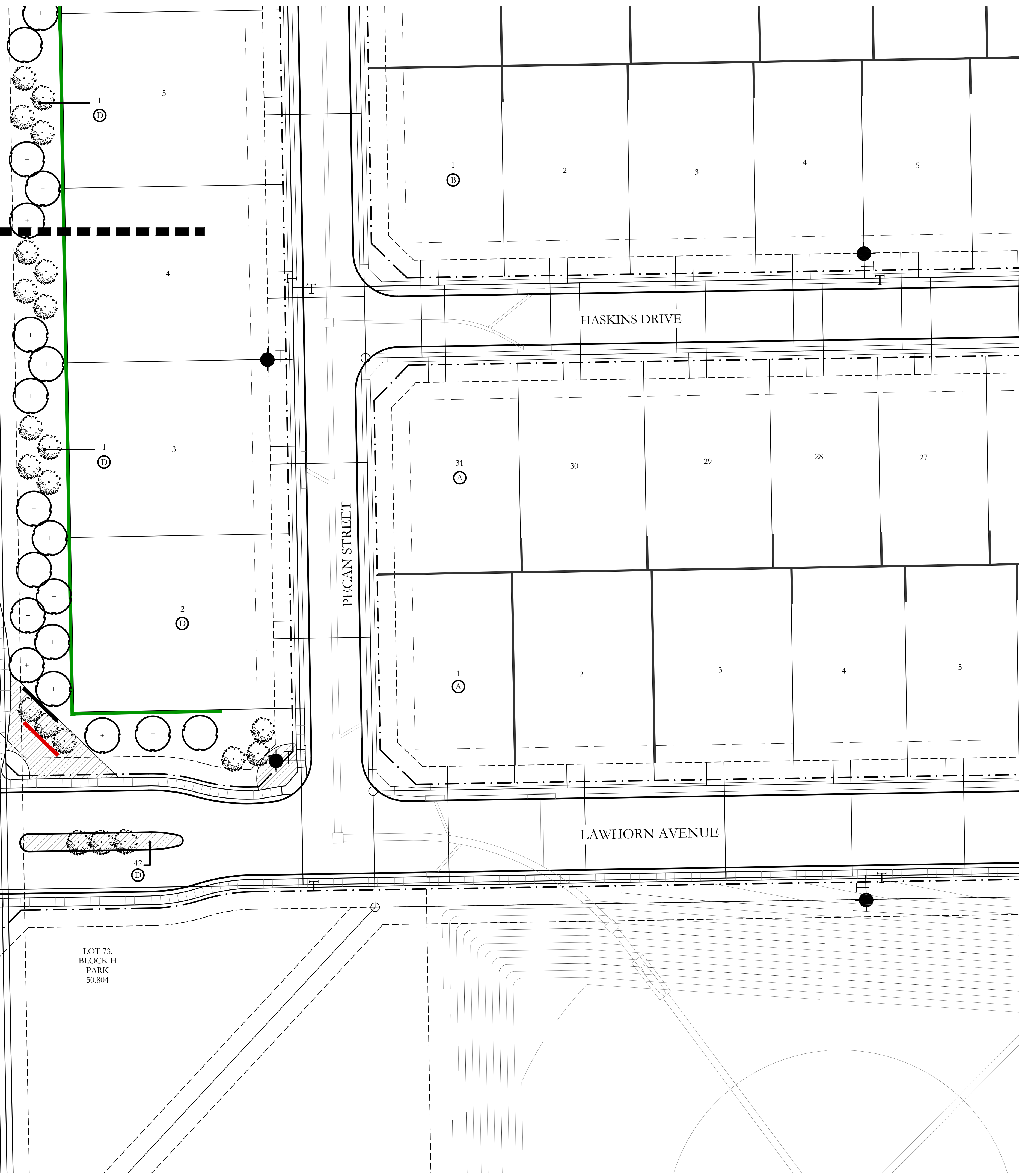
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MATCHLINE
REF: SHEET LS4
REF: SHEET LS5

F.M. 549

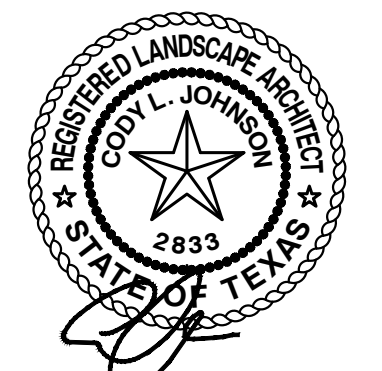


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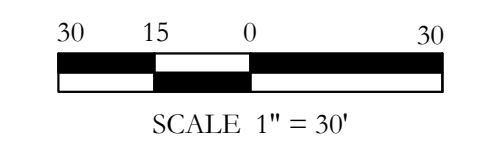
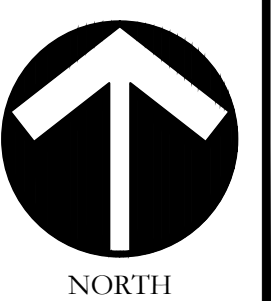
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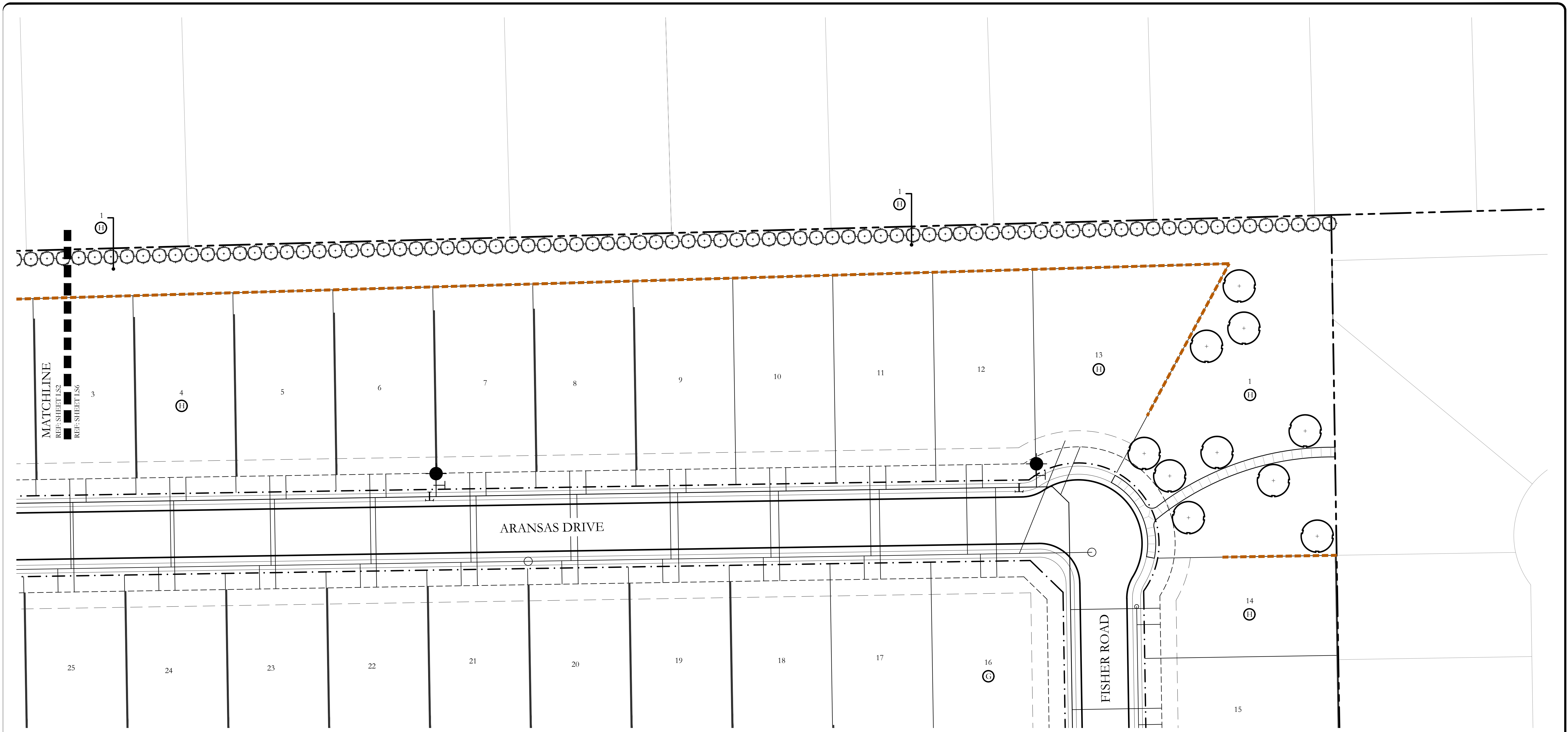
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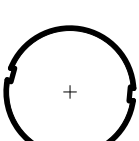
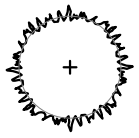
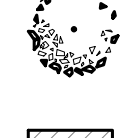
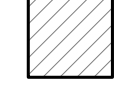


February 22, 2022





SCREENING LEGEND

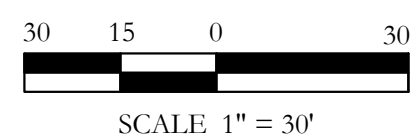
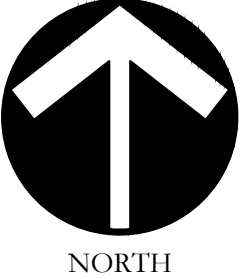
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GENERAL LANDSCAPE NOTES

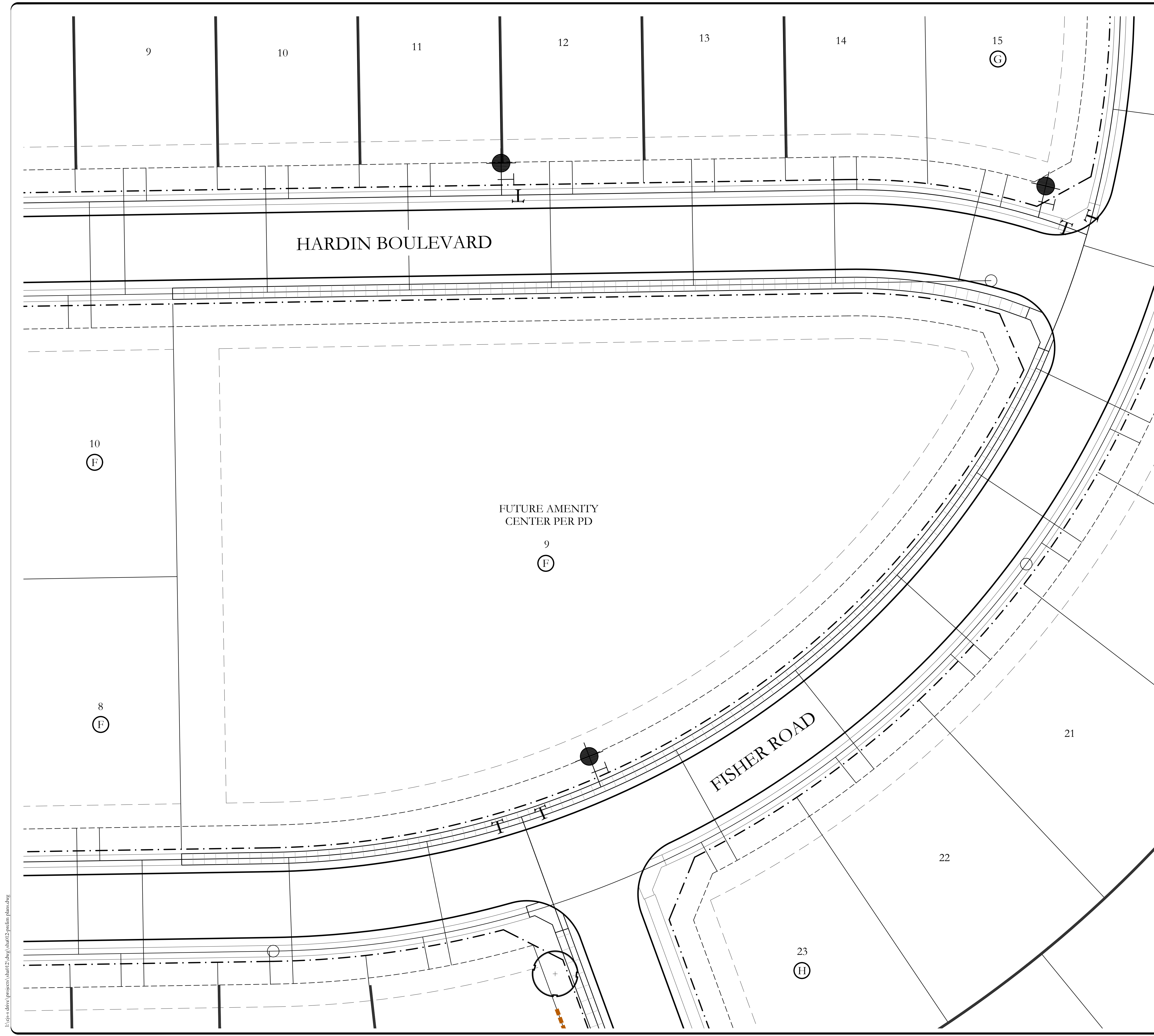
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February 22, 2022



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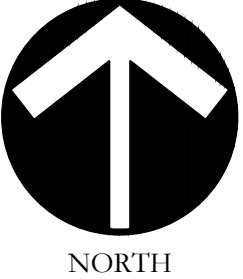
HARDIN BOULEVARD

FISHER ROAD

FUTURE AMENITY CENTER PER PD



February 22, 2022



SCALE 1" = 20'



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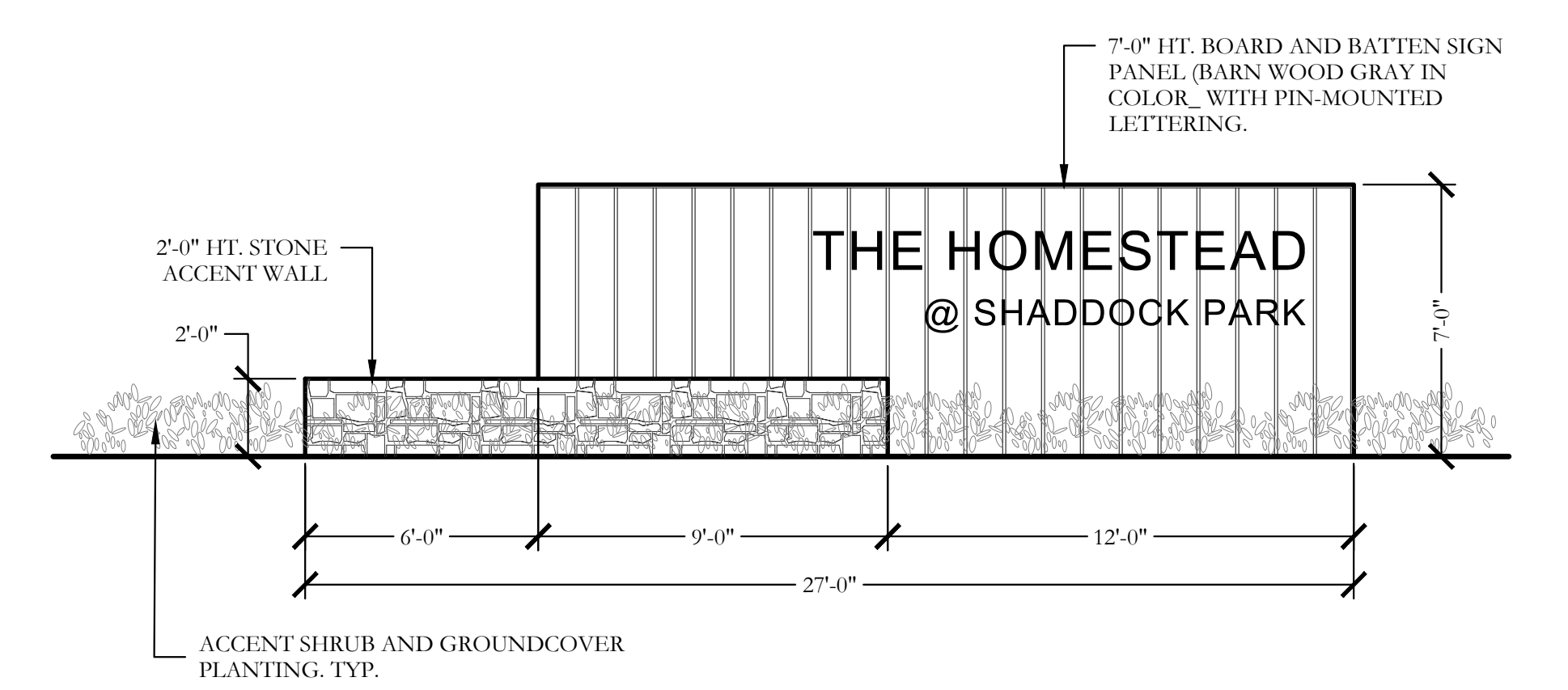


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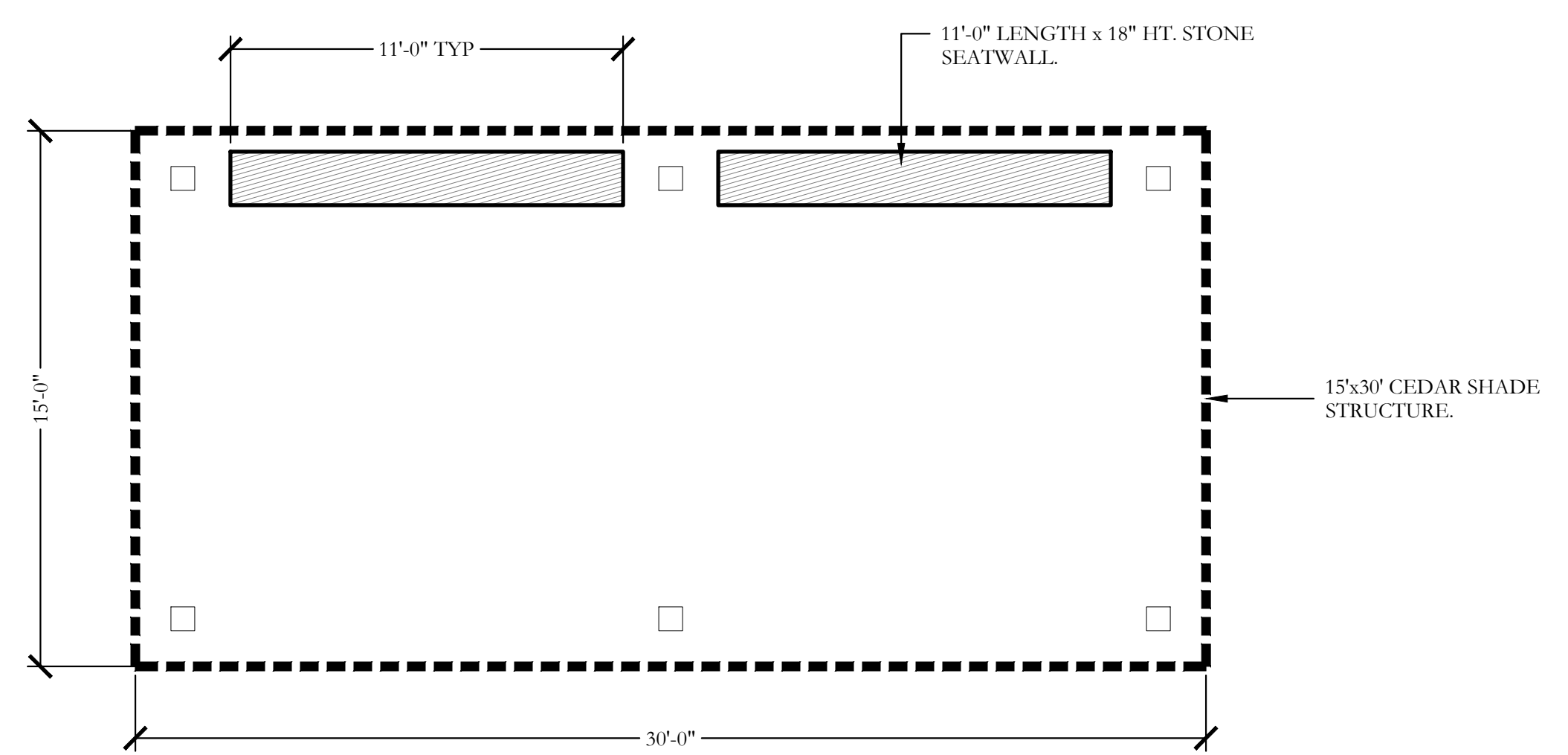
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TRAIL HEAD SIGN ELEVATION

SCALE: 1/4" = 1'-0"

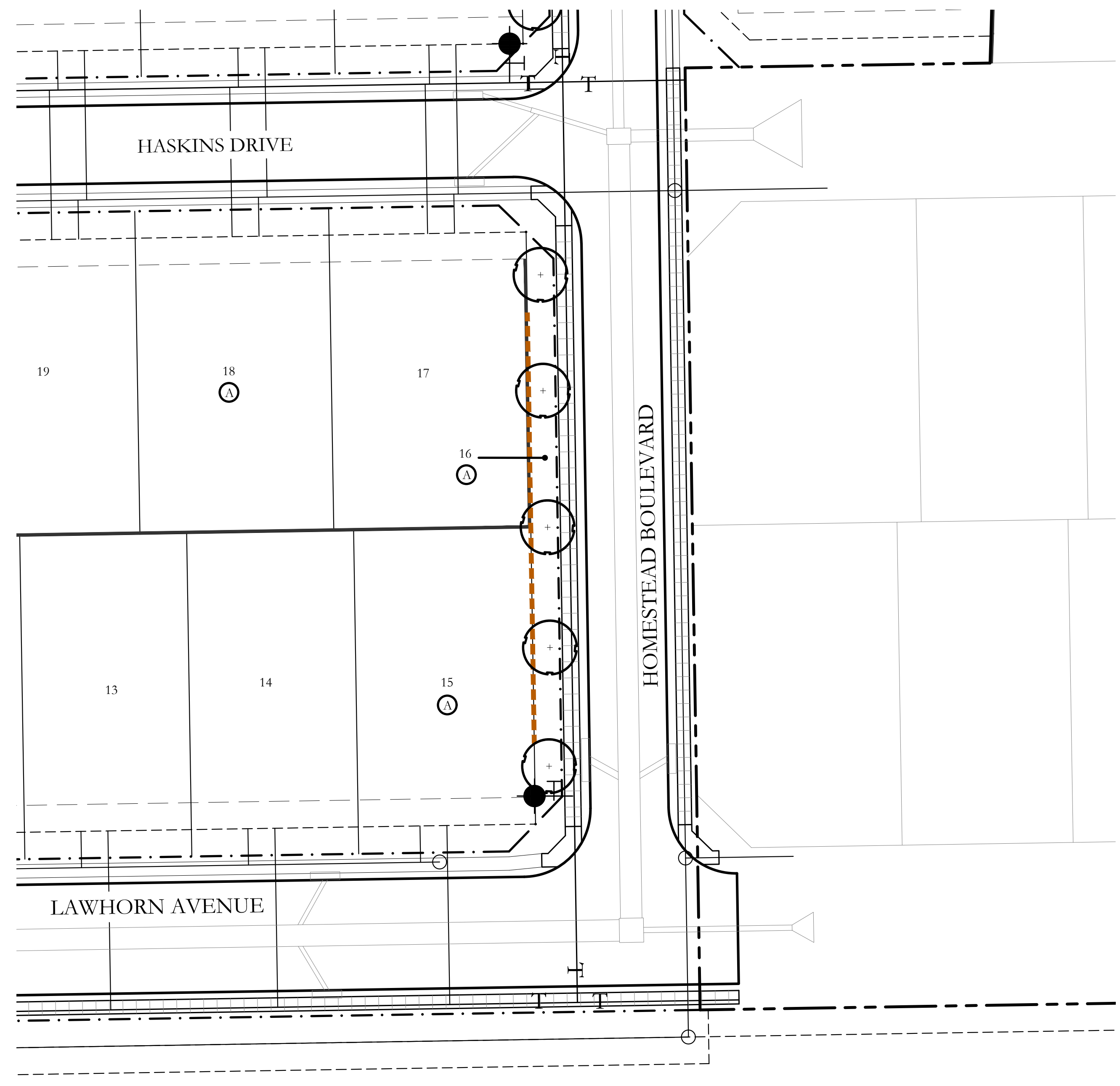


TRAIL HEAD REST STATION PLAN

SCALE: 1/4" = 1'-0"





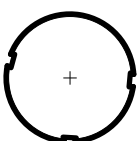
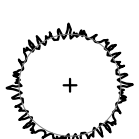

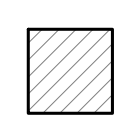
February 22, 2022

SCALE 1" = 30'



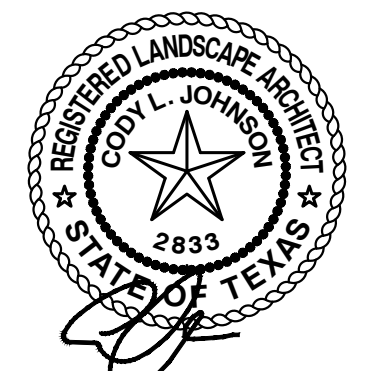
LOT 73,
BLOCK H
PARK
50.804

SCREENING LEGEND

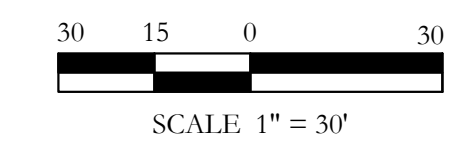
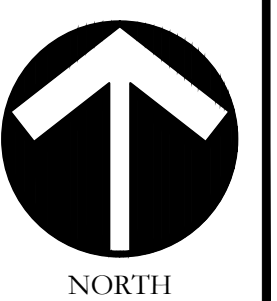
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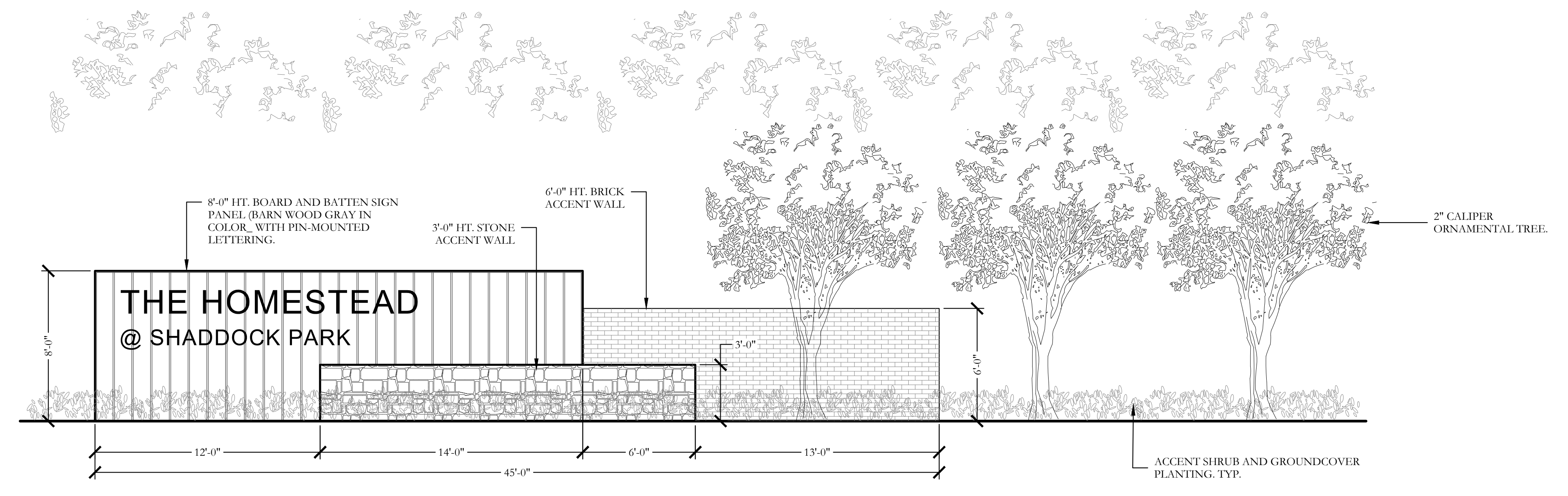
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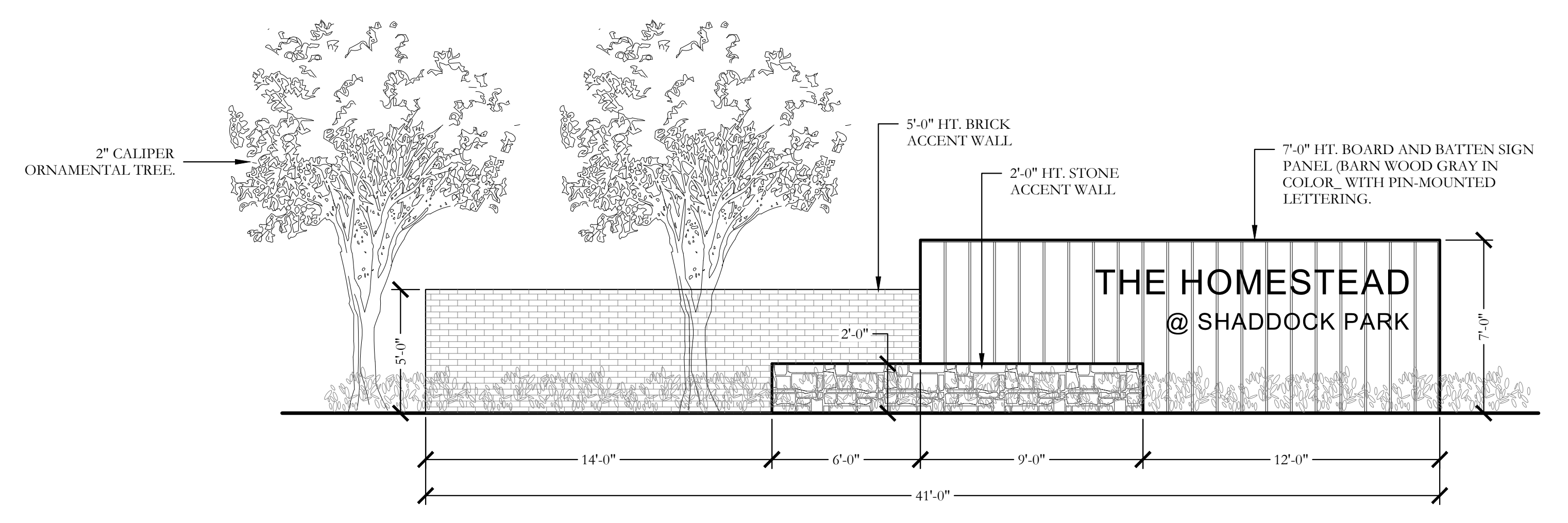
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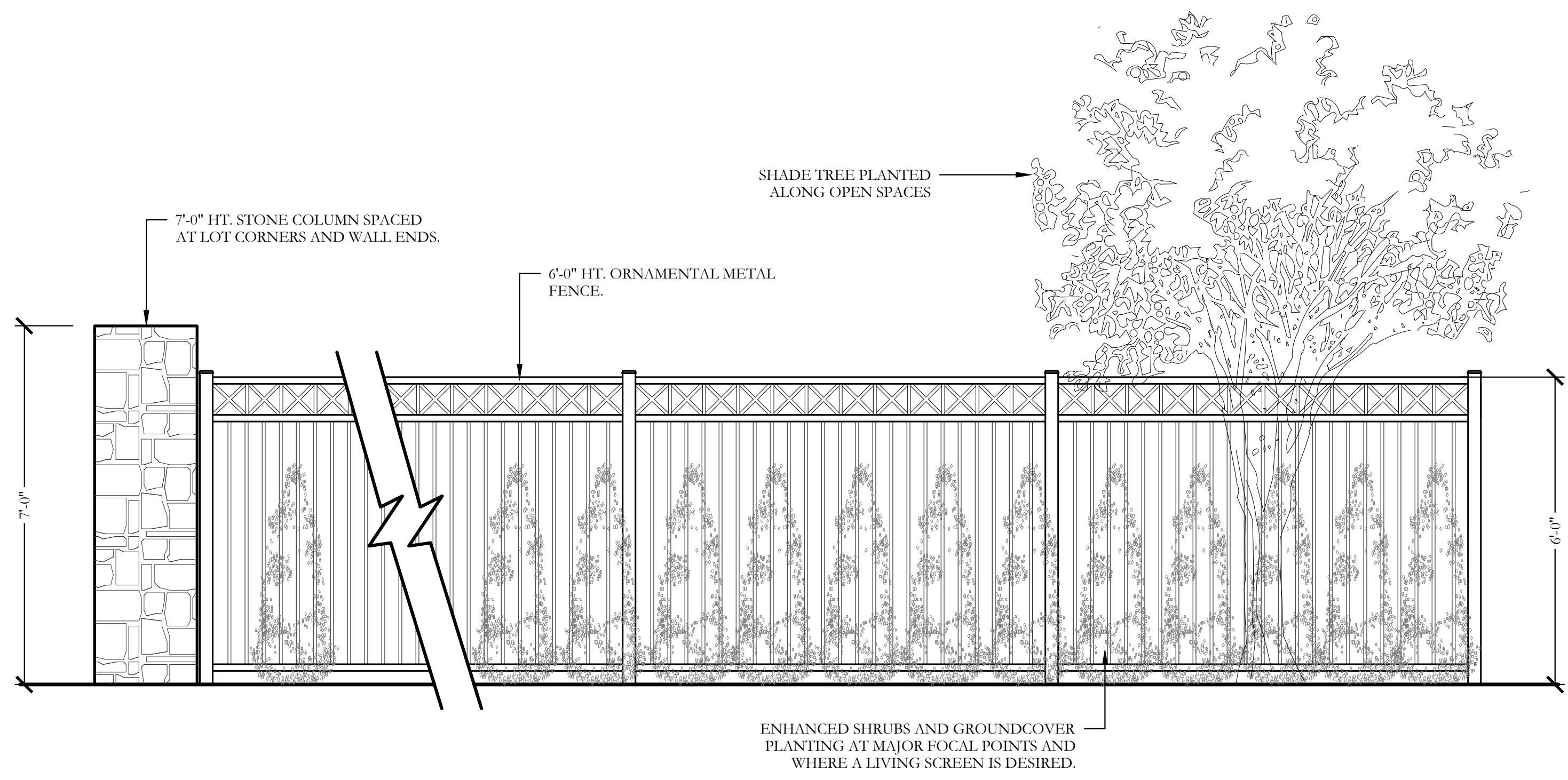


MAIN ENTRY SIGN ELEVATION SCALE: 1/4" = 1'-0"



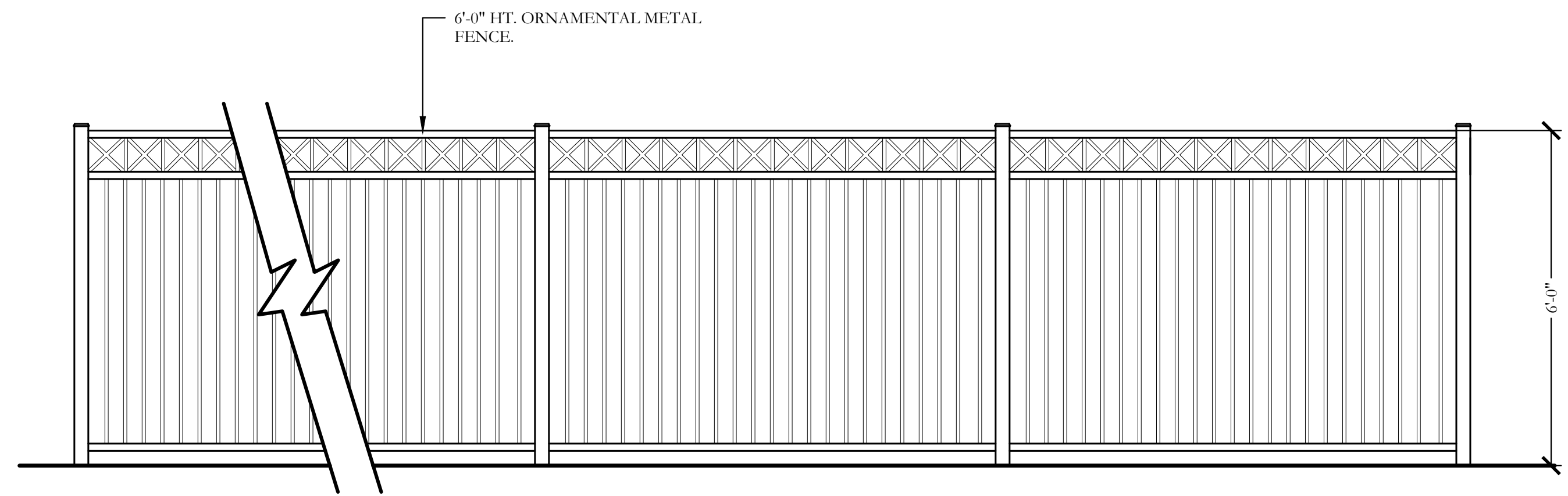
SECONDARY ENTRY SIGN ELEVATION SCALE: 1/4" = 1'-0"

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TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION

SCALE: 1/2" = 1'-0"



TYPICAL ORNAMENTAL METAL FENCE BY BUILDER
ELEVATION

SCALE: 1/2" = 1'-0"



February 22, 2022

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