



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22021-039 P&Z DATE 10/12/21 CC DATE 10/18/21 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input type="checkbox"/>	HOA MAP
<input checked="" type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 305 Blanche Rd

SUBDIVISION Rockwall Lake Est #2 Lot 888A LOT 888A BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Single Family Home

CURRENT USE Empty lot

PROPOSED ZONING Single Family Home

PROPOSED USE Home

ACREAGE .1650

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Habitat for Humanity APPLICANT

CONTACT PERSON Peter Muhl

CONTACT PERSON

ADDRESS 1101 Ridge Rd #4

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP

PHONE 214-704-3455

PHONE

E-MAIL peter@northmesquiteplumbing.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

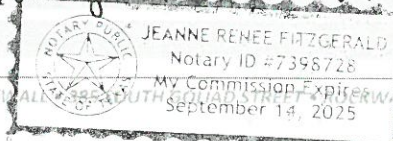
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021

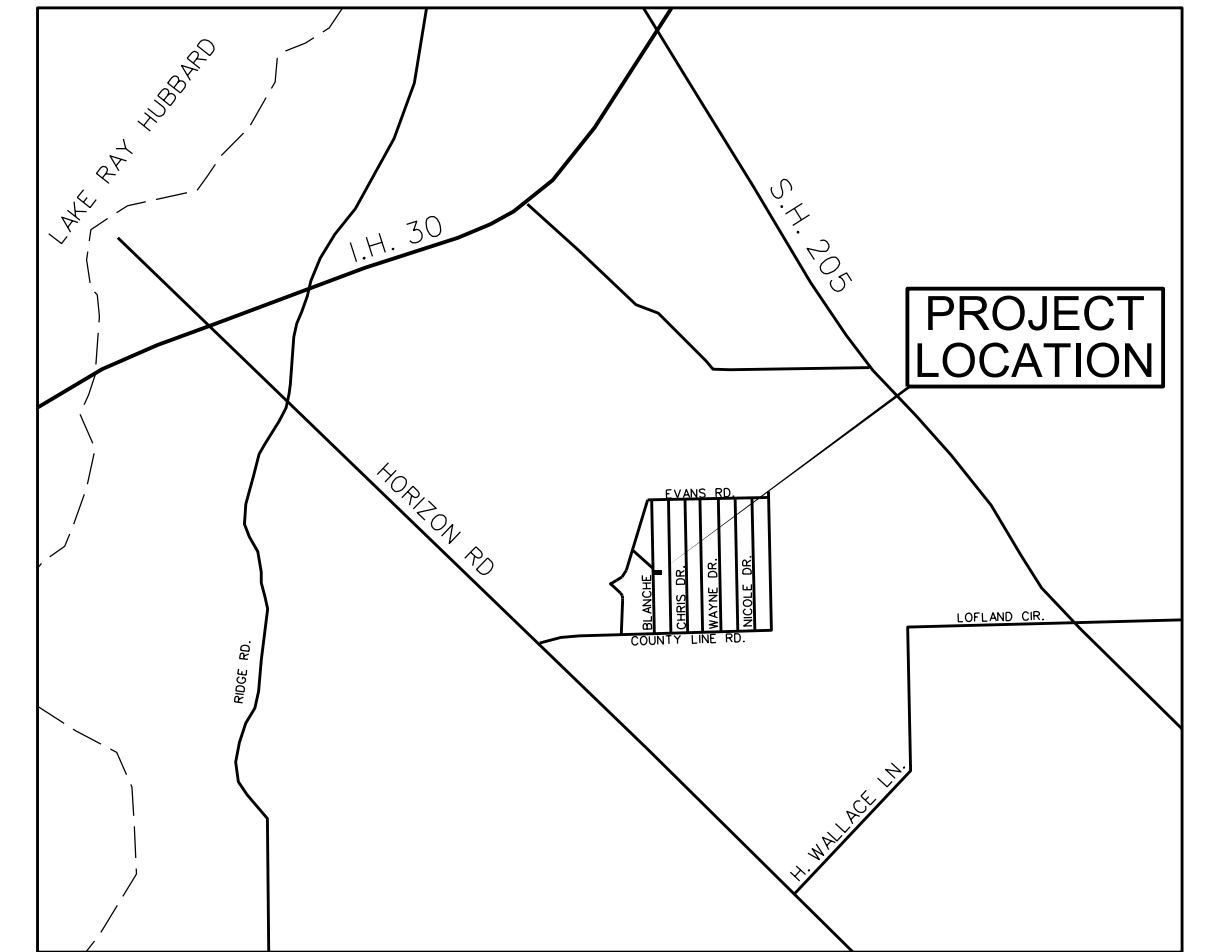
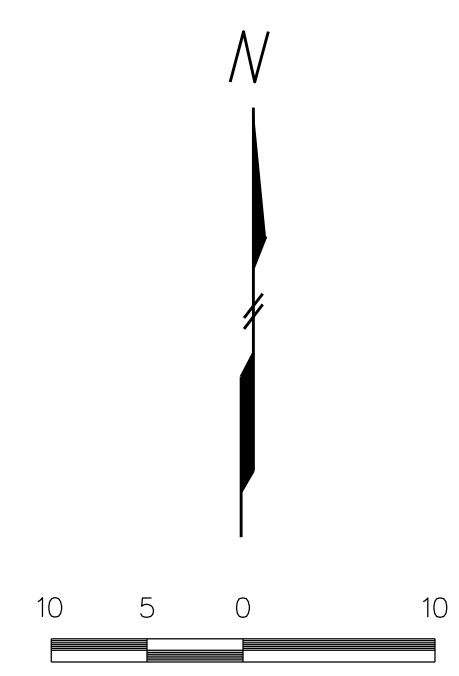
OWNER'S SIGNATURE Sally Muhl, VP

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



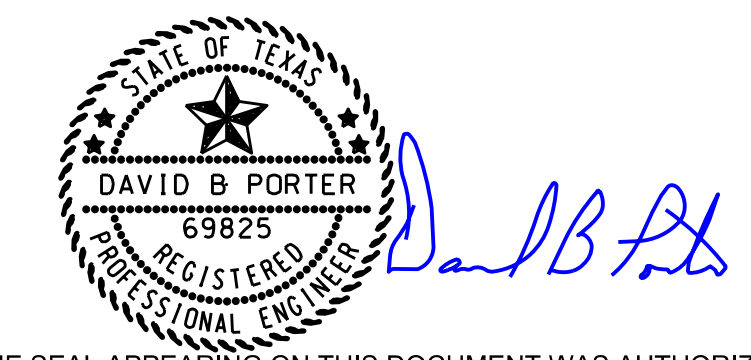
MY COMMISSION EXPIRES September 14, 2025

NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.

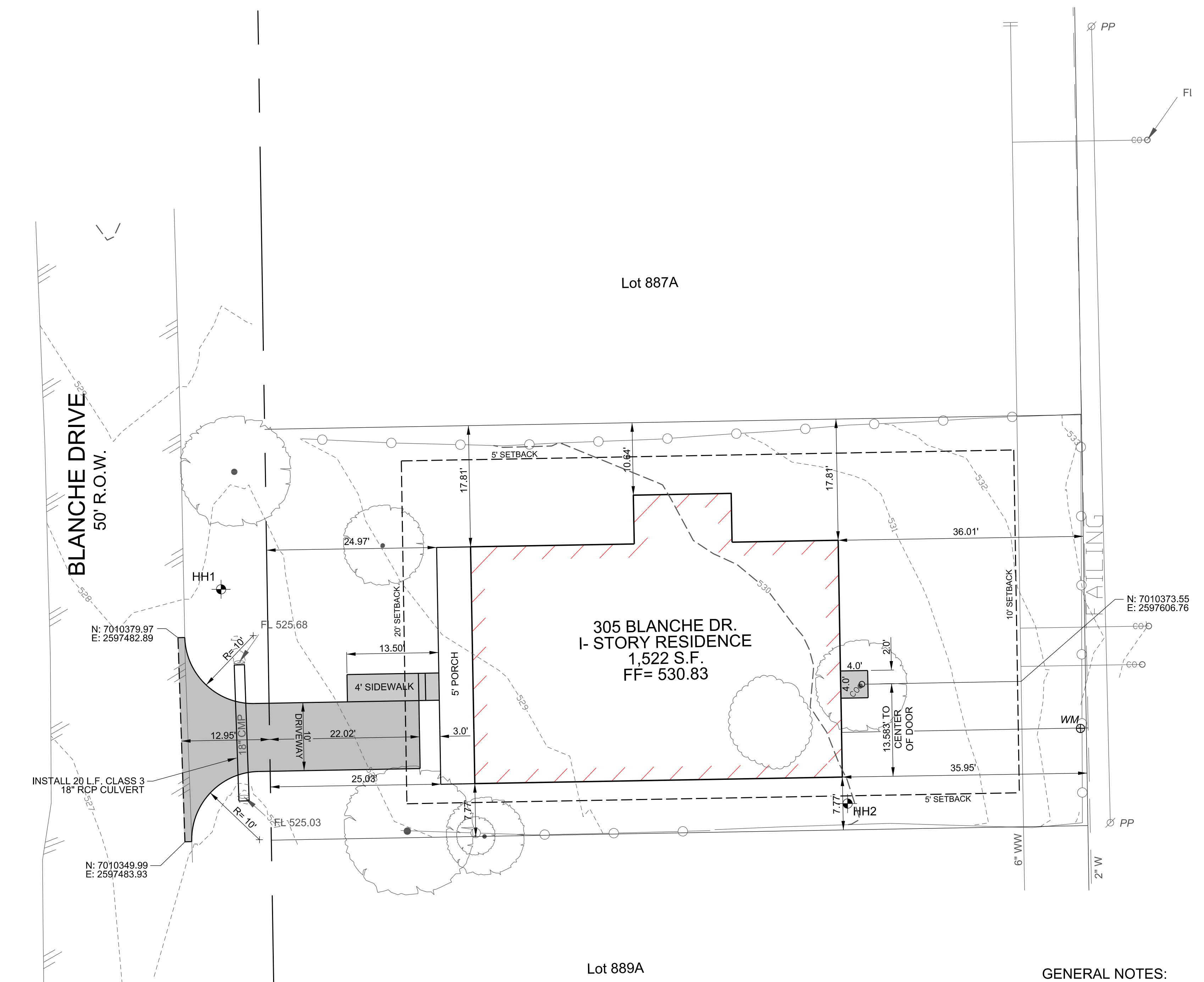


VICINITY MAP
 N.T.S. MAPSCO 30C-M

ZONING: PD-75 (AREA 2)
 SETBACKS: FRONT - 20'
 REAR - 10'
 SIDES - 5'
 MAXIMUM HEIGHT - 32'
 LOT COVERAGE - 30.3%
 OWNER:
 HABITAT FOR HUMANITY
 CONTACT - PETER MUHL (214)704-3455



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



BASIS OF BEARINGS:
 All bearings and coordinates are shown on North Central Zone (4202) of the Texas Coordinate System of 1983, and were obtained using Global Navigational Satellite System methods. The orthometric heights reported here are based on the North American Vertical Datum of 1988 (NAVD88) using GEOID18. Monuments.

HH1	HH2
N = 7,010,387.08	N = 7,010,355.61
E = 2,597,489.23	E = 2,597,581.26
ELEV. = 527.21	ELEV. = 530.05

CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.

GENERAL NOTES:

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- The City of Rockwall Engineering Department's "General Construction Notes", Sheets 1 & 2 are incorporated to these plans by reference. The CONTRACTOR shall possess one copy of the General Construction notes on the project site at all times.

REV	DATE	DESCRIPTION

SITE PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

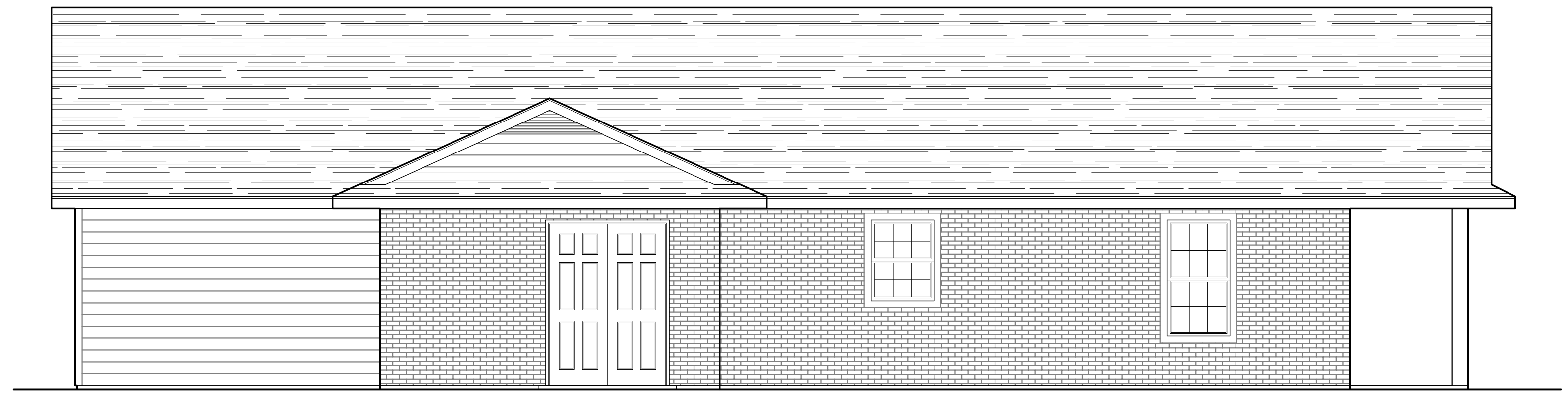
		HABITAT FOR HUMANITY OF GREATER DALLAS, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	1 OF 5



1 EXTERIOR ELEVATION - FRONT

0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - LEFT

0 4'-0" 8'-0" 12'-0"

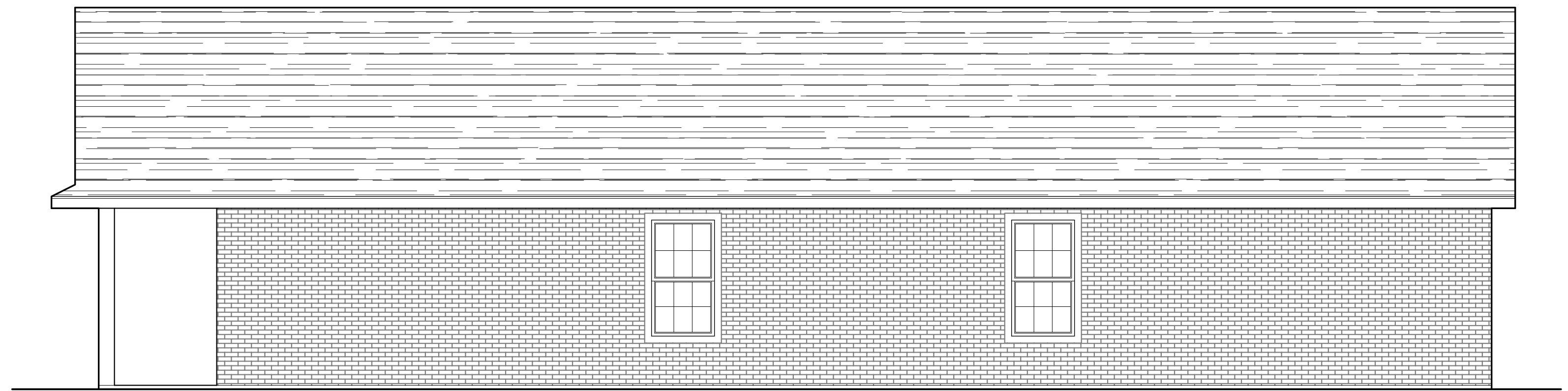
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION - BACK

0 4'-0" 8'-0" 12'-0"

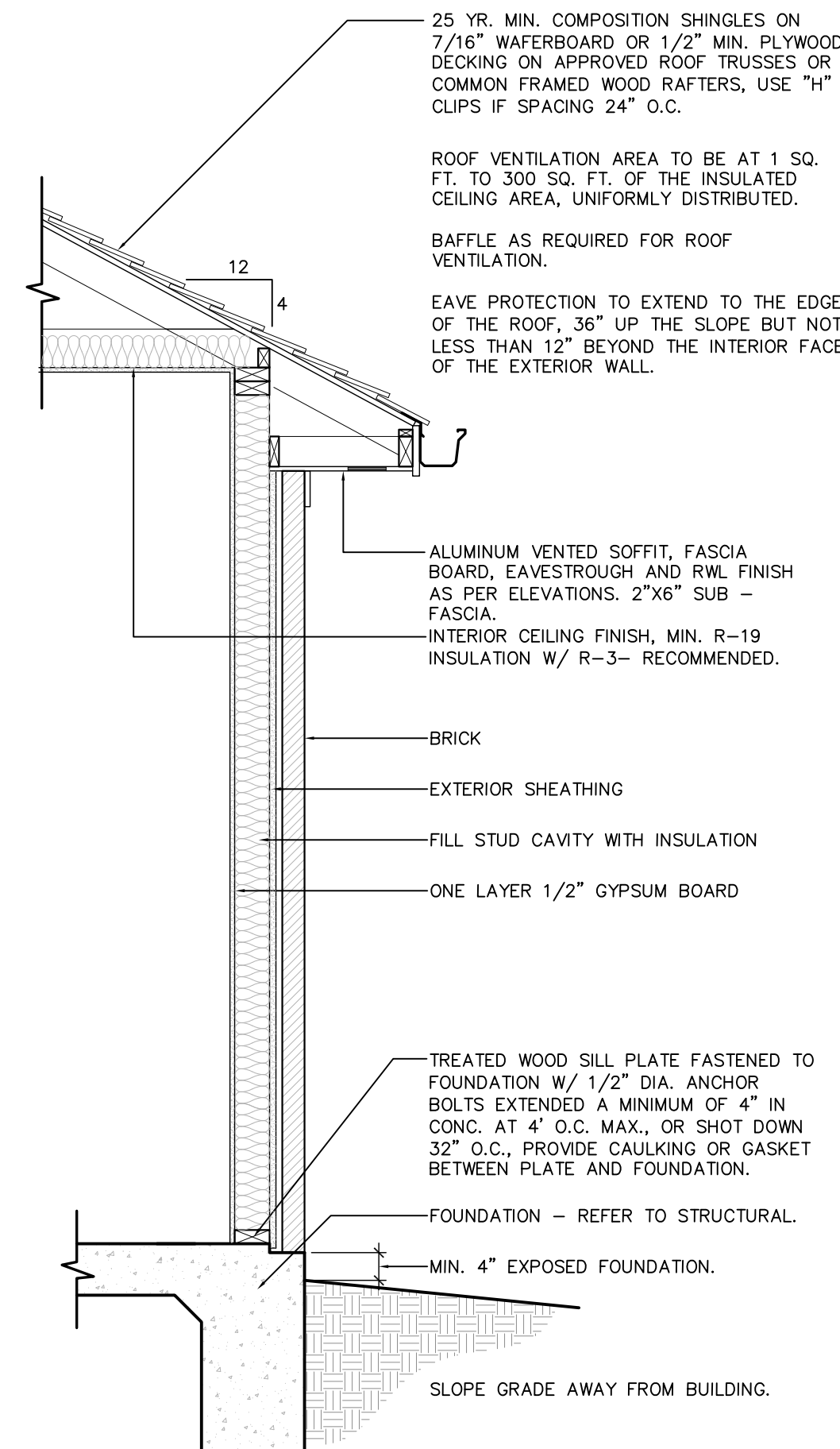
SCALE: 1/4"=1'-0"



4 EXTERIOR ELEVATION - RIGHT

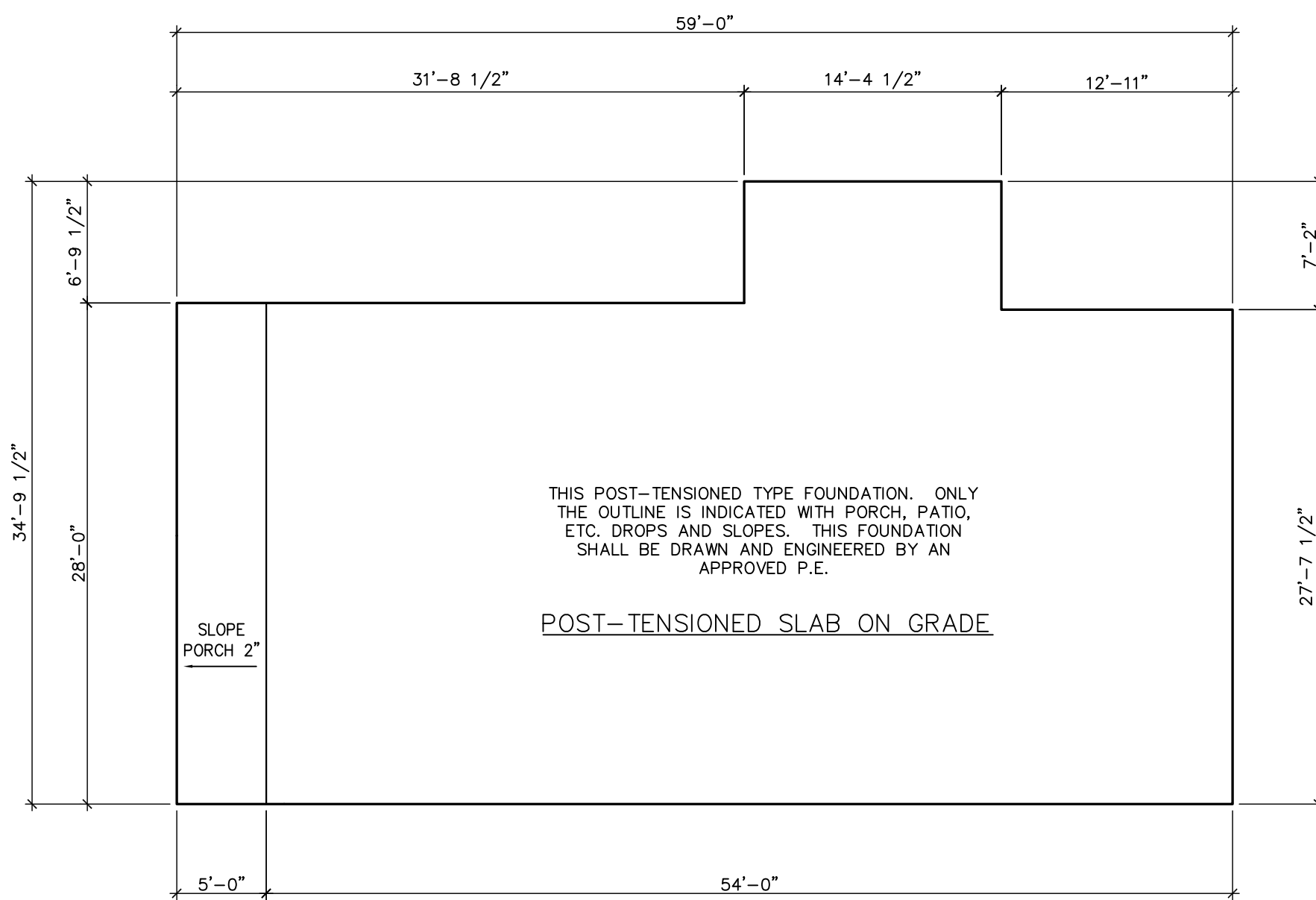
0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



5 TYPICAL WALL SECTION

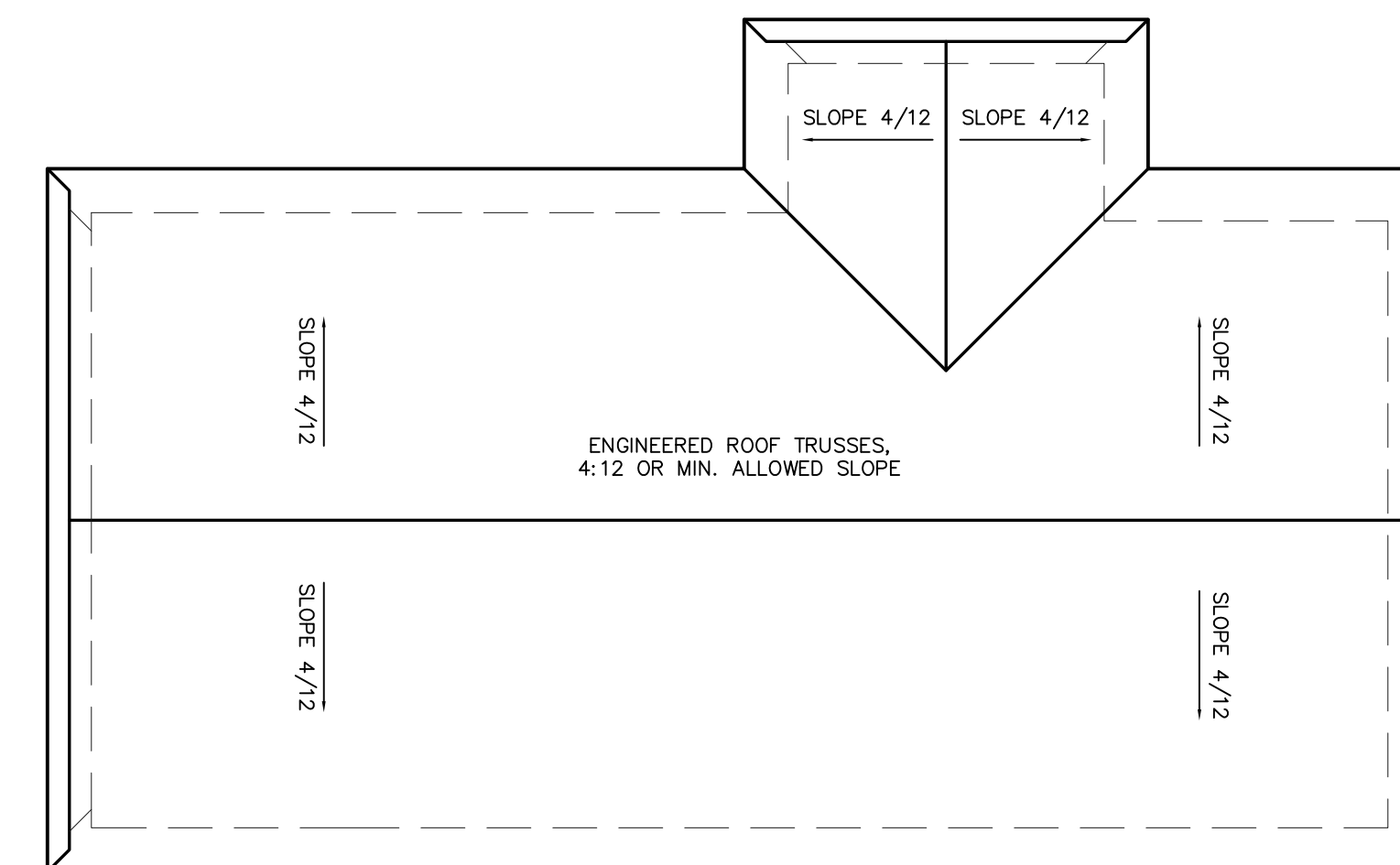
NOT TO SCALE



6 FOUNDATION PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"



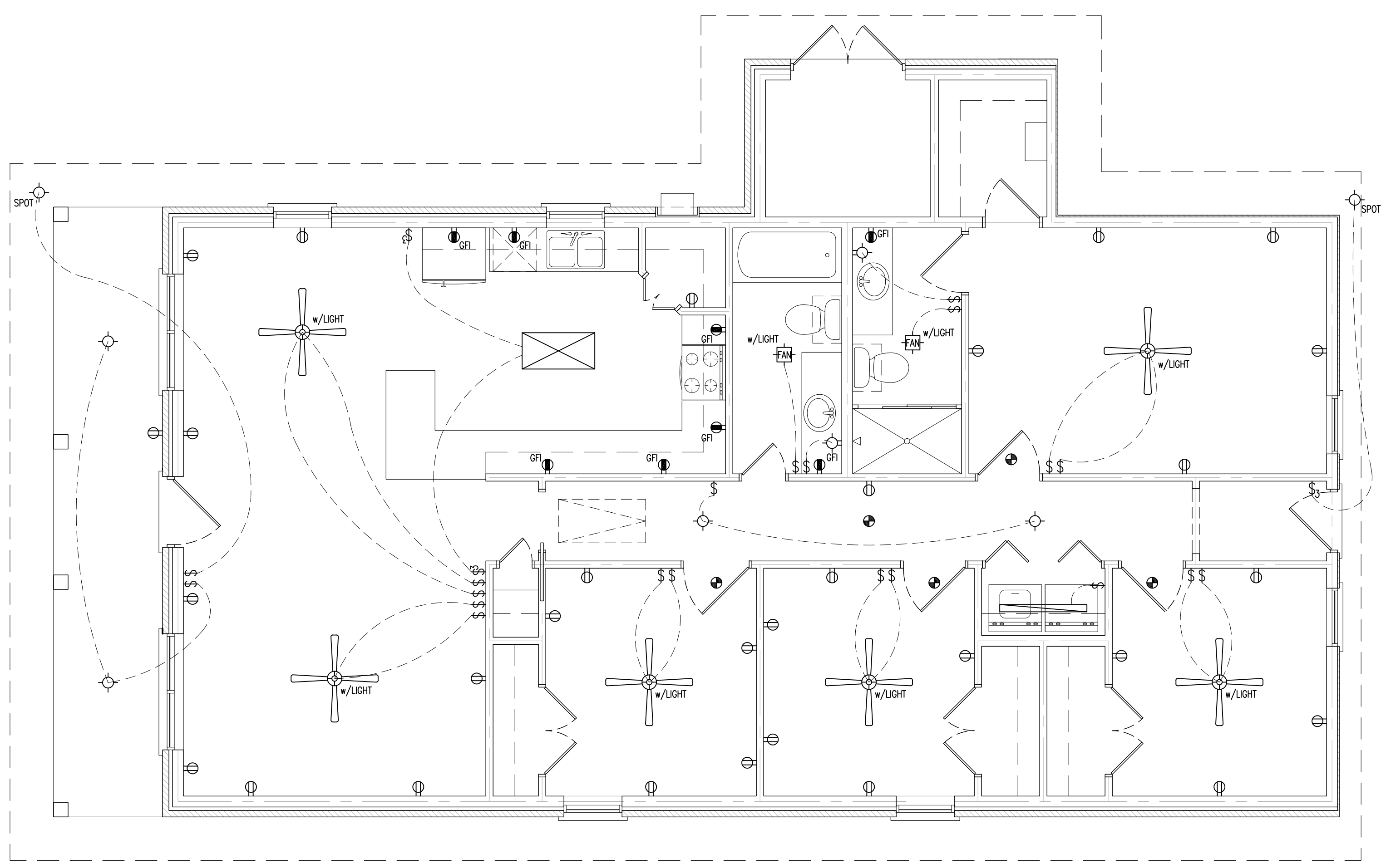
7 ROOF PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"

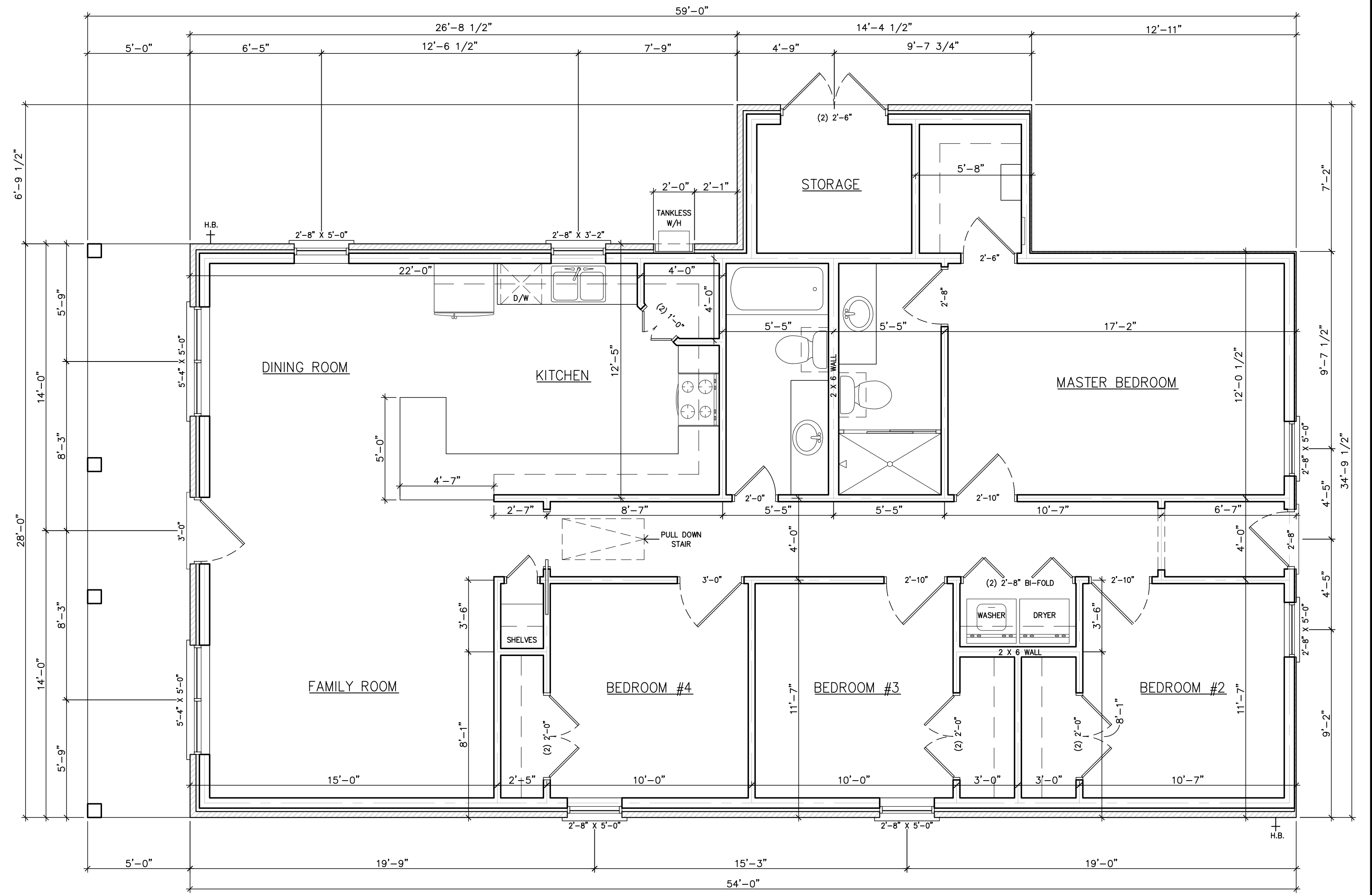
ELECTRIC SYMBOL LEGEND	
	CEILING LIGHT
	WALL MOUNT LIGHT
	FLUORESCENT UTILITY LIGHT
	4' 4-LAMP FLUORESCENT LIGHT
	3 LAMP EXTERIOR FLOOD LIGHT
	EXHAUST FAN / LIGHT
	CEILING FAN / LIGHT
	110 V DUPLEX WALL OUTLET
	110 V GFI DUPLEX OUTLET - ABOVE COUNTER
	110 V CEILING OUTLET
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	SMOKE DETECTOR

AREA CALCULATIONS
LIVING - 1,500 SQ. FT.
PORCH - 140 SQ. FT.



1 POWER/LIGHTING PLAN

SCALE: 1/4"=1'-0"



2 FLOOR PLAN

SCALE: 1/4"=1'-0"

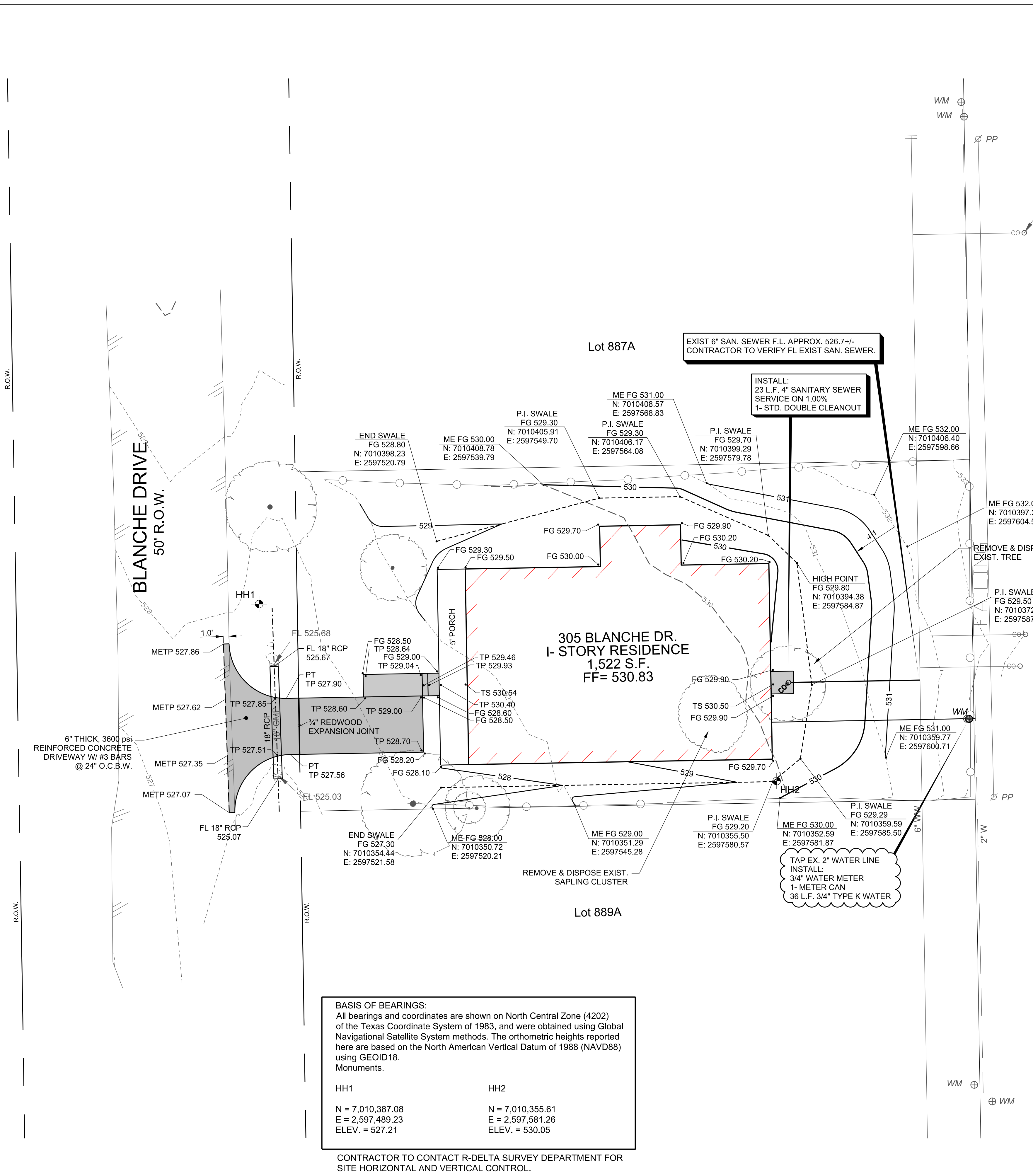
NOTE:
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LEGEND

MEFG 531.14	MATCH EXIST. FINISHED GRADE
METP 531.06	MATCH EXIST. TOP OF PAVEMENT
METC 530.78	MATCH EXIST. TOP OF CURB
FG 530.90	FINISHED GRADE
TP 531.52	TOP OF PAVEMENT
TS 531.52	TOP OF SLAB
TC 530.63	TOP OF CURB
FL 525.00	FLOW LINE ELEVATION

GRADING AND PAVING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HRS. PRIOR TO ANY EXCAVATION. DIG TESS 1-800-945-6005 OR LONE STAR NOTIFICATION 1-800-669-8344.
- ALL RADII ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- FINISHED GRADE ELEVATIONS ARE TO TOP FINAL SITE GRADE AFTER SEEDING/SODDING UNLESS NOTED OTHERWISE.
- REFER TO FOUNDATION PLANS BY CHILDRRESS ENGINEERING SERVICES FOR SUBGRADE PREPARATION BENEATH AND WITHIN 5 FEET OF BUILDING PAD.
- AREAS OUTSIDE OF BUILDING PAD TO RECEIVE FILL OR NEW PAVING SUBGRADE SHALL BE STRIPPED TO A MINIMUM DEPTH OF THREE (3) INCHES AND GRUBBED TO REMOVE VEGETATION AND ORGANIC MATTER. STRIPPED VEGETATION AND ORGANIC MATTER MAY BE REUSED IN AREAS OUTSIDE OF PAVING AREAS THAT REQUIRE THE ADDITION OF TOPSOIL.
- THE CONTRACTOR SHALL THEN EXCAVATE TO THE BOTTOMS OF PROPOSED CONCRETE PAVING AS NECESSARY AND PROOFROLL TO IDENTIFY ANY SOFT OR UNSUITABLE MATERIALS. ANY SOFT OR UNSUITABLE MATERIALS IDENTIFIED BY PROOFROLLING SHALL BE EXCAVATED AND BACKFILLED WITH ONSITE SOIL MATERIAL FREE OF ORGANIC OR OBJECTIONABLE MATTER IN ACCORDANCE WITH THE FILL SPECIFICATIONS HEREIN.
- ALL AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX (6) INCHES AND UNIFORMLY COMPACTED TO A MINIMUM OF NINETY-FIVE (95) PERCENT OF ASTM D 698 MAXIMUM DRY DENSITY WITH A MINIMUM MOISTURE CONTENT OF 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST.
- ON-SITE SOILS MAY BE USED FOR SITE FILL OPERATIONS. IMPORTED FILL MATERIALS SHALL HAVE A LIQUID LIMIT (LL) OF LESS THAN SIXTY (60) PERCENT. ALL FILL MATERIALS SHALL BE FREE OF ORGANIC MATTER, DEBRIS, AND ROCK GREATER THAN FOUR (4) INCHES IN MAXIMUM DIMENSION.
- FILL MATERIALS SHALL BE SPREAD ON PREVIOUSLY SCARIFIED AND COMPACTED GROUND IN LOOSE LIFTS LESS THAN NINE (9) INCHES THICK AND UNIFORMLY COMPACTED TO A MINIMUM OF NINETY-FIVE (95) PERCENT OF ASTM D 698 MAXIMUM DRY DENSITY WITH A MINIMUM MOISTURE CONTENT OF 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST. IF FILL OPERATIONS ARE SUSPENDED AND THE SURFACE OF THE PREVIOUSLY PLACED MATERIAL BECOMES DESICCATED OR RUTTED, THE SURFACE SHALL BE REWORKED PRIOR TO PLACEMENT OF A SUBSEQUENT LIFT.
- THE SUBGRADE SHALL BE UNIFORMLY COMPACTED TO A MINIMUM DEPTH OF 6 INCHES TO A MINIMUM OF 95 PERCENT OF ASTM D 698 MAXIMUM DRY DENSITY WITH A MINIMUM MOISTURE CONTENT OF 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST.
- EXISTING VEGETATION SHALL BE UNDISTURBED, WHENEVER POSSIBLE, THROUGHOUT THE REMAINDER OF THE SITE NOT AFFECTED BY THE INSTALLATION OF THE APPROVED FACILITIES. ALL AREAS DISTURBED OUTSIDE OF THE PAVING AREAS BY CONTRACTOR'S OPERATIONS SHALL BE STABILIZED BY SEEDING AND FERTILIZER OVER 4" OF TOP SOIL UPON COMPLETION OF GRADING OPERATIONS. CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO ESTABLISH PERMANENT VEGETATION.
- CONCRETE FOR DRIVEWAY SHALL BE 6" 3600 PSI; SIDEWALKS SHALL BE 3000 PSI. STEEL REINFORCEMENT FOR PAVING SHALL BE # 3 BARS SPACED 24" EACH DIRECTION.
- PAVEMENT SLOPES SHALL NOT BE LESS THAN 0.5%. SLOPES IN VEGETATION AREAS SHALL NOT BE LESS THAN 1.0%.
- DRAINAGE SHALL BE MAINTAINED AWAY FROM FOUNDATIONS AND BUILDINGS BOTH DURING AND AFTER CONSTRUCTION.
- CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS AT INTERSECTIONS, BEGINNING AND ENDING OF HORIZONTAL CURVES, AND AT A MAXIMUM 200' SPACING. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS. WHEN INTERSECTING RADIUS RETURNS, THE MINIMUM PERPENDICULAR DISTANCE INTO THE RETURN SHALL BE 1.5 FEET.
- THE PAVING CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO INSURE ALL CONDUITS AND DIRECT BURY WIRING AND OTHER UTILITIES ARE INSTALLED PRIOR TO SUBGRADE PREPARATION.



EXIST 6" SAN. SEWER F.L. APPROX. 526.7 +/-
 CONTRACTOR TO VERIFY FL EXIST SAN. SEWER.

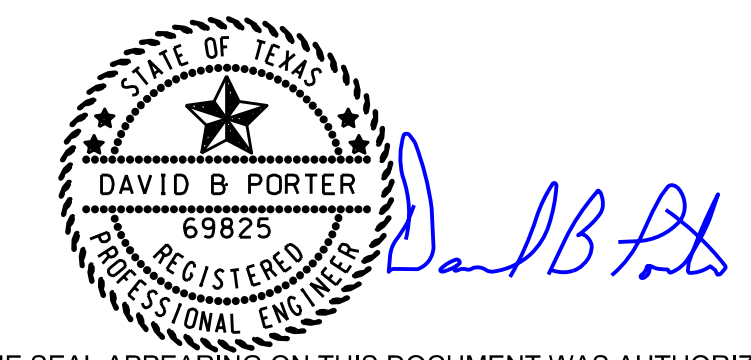
INSTALL:
 23 L.F. 4" SANITARY SEWER
 SERVICE ON 1.00%
 1-STD. DOUBLE CLEANOUT

TAP EX. 2" WATER LINE
 INSTALL:
 3/4" WATER METER
 1- METER CAN
 36 L.F. 3/4" TYPE K WATER

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CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.



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REV	DATE	DESCRIPTION

GRADING & UTILITY PLAN

305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

	618 Main Street Garland, TX 75040 Ph: (972) 694-8331 Fax: (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530
	DESIGN: DBP CHECK: DBP SCALE: AS SHOWN SHEET:	DRAWN: MDP DATE: JUNE 2021 PROJECT #: 2915-21

HOUSEKEEPING BMPs

Debris and Trash Management. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Large volumes of debris and trash are often generated at construction sites...

Chemical Management. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Chemical management addresses the problem of storm water polluted with chemical pollutants...

Concrete Waste Management. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Concrete waste of construction sites comes in two forms: 1) concrete from demolished structures...

Concrete Sawcutting Waste Management. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Sawcutting of concrete pavement is a routine practice. Necessary to control shrinkage cracking...

Inlet Protection. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Inlet protection consists of a variety of methods of intercepting sediment at low point inlets through the use of stone, filter fabric, inlet inserts, and other materials...

Stabilized Construction Entrance. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: A stabilized construction entrance consists of a post consisting of crushed recycled concrete or other rock the material on top of the geotextile filter cloth...

LIME STABILIZATION MANAGEMENT. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Lime stabilization is used extensively in the North Central Texas region to stabilize pavement subbases...

Sanitary Facilities. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Facilities for collection and disposal of sanitary waste must be provided and properly managed...

SANDBLASTING WASTE MANAGEMENT. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: The objective of sandblasting waste management is to minimize the potential of storm water quality degradation...

SANDBLASTING WASTE MANAGEMENT. Applications: Perimeter Control, Slope Protection, Sediment Trapping. Description: Inlet operators recognize unfavorable weather conditions regarding sandblasting activities...

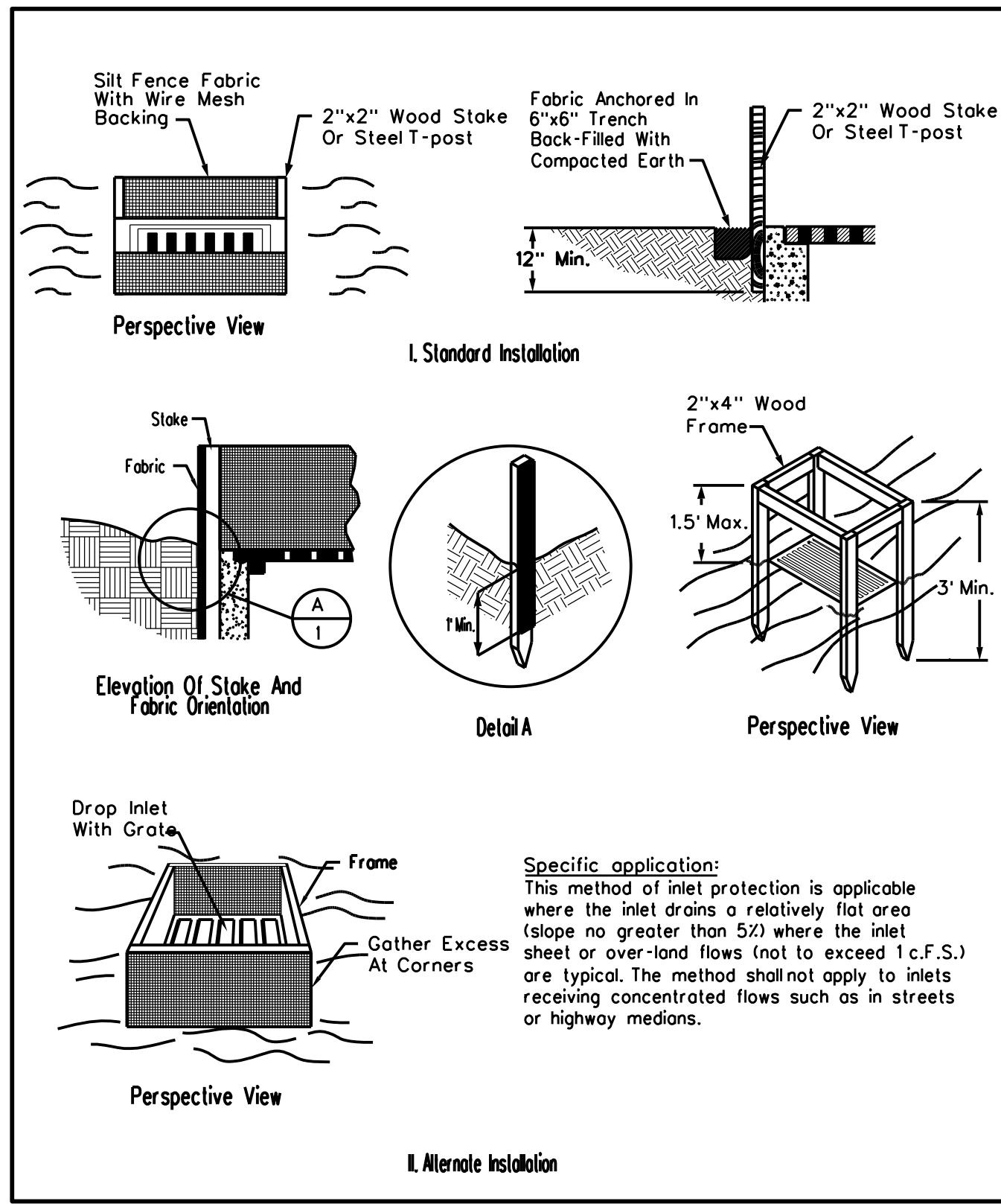
DESIGN CRITERIA. Specific callout for Inlet Protection regarding filter barrier protection, gravel/crushed stone, and excavation impoundment.

DESIGN CRITERIA. Specific callout for Stabilized Construction Entrance regarding trap area, depth, and width requirements.

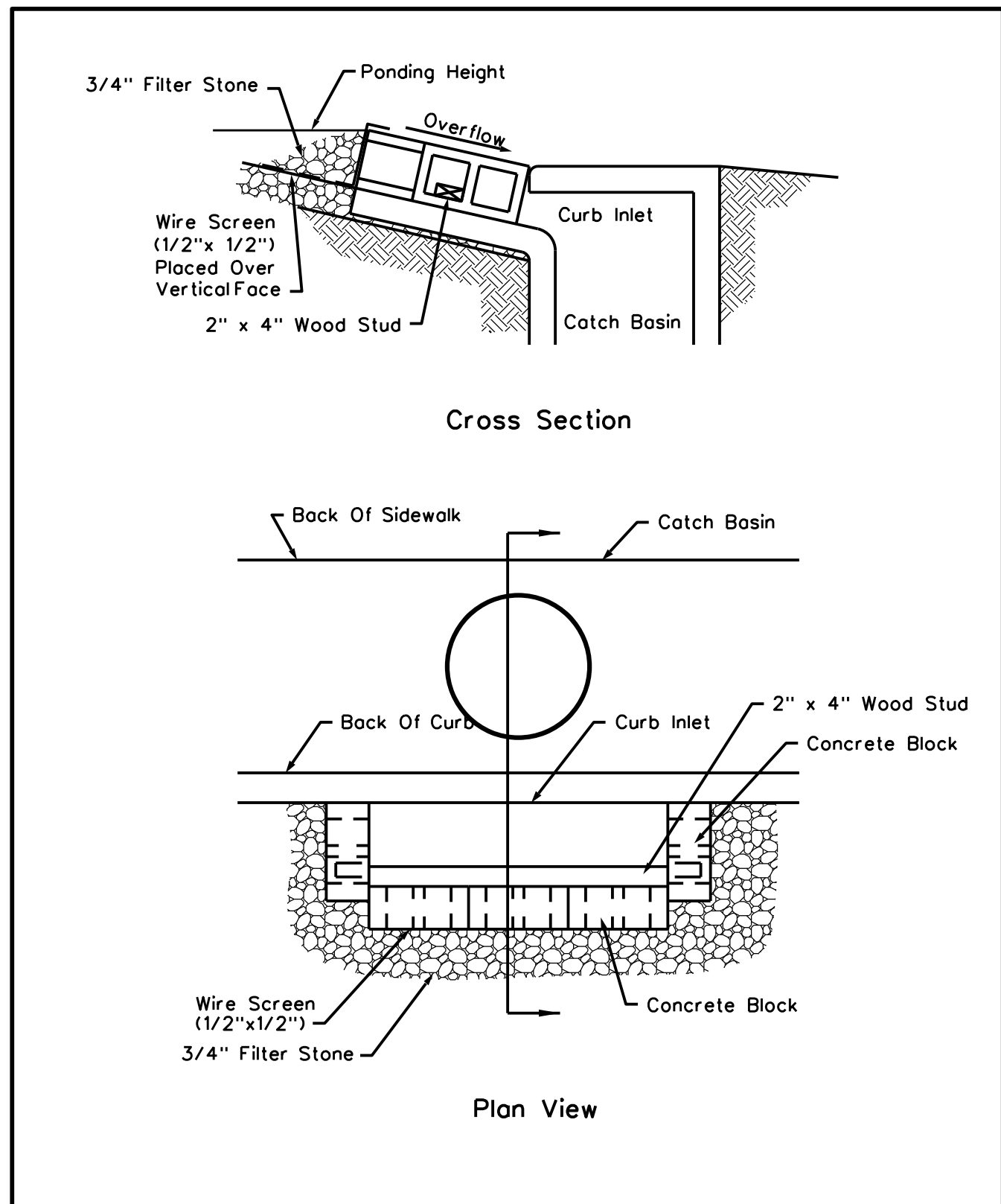
STANDARD EROSION CONTROL DETAILS. 305 BLANCHE DRIVE, LOT 888A, ROCKWALL LAKE ESTATES #2, ROCKWALL, TEXAS. Includes Delta Engineers logo and project information.

Professional Engineer Seal for David B. Porter, No. 69825, State of Texas, dated 6/8/25.

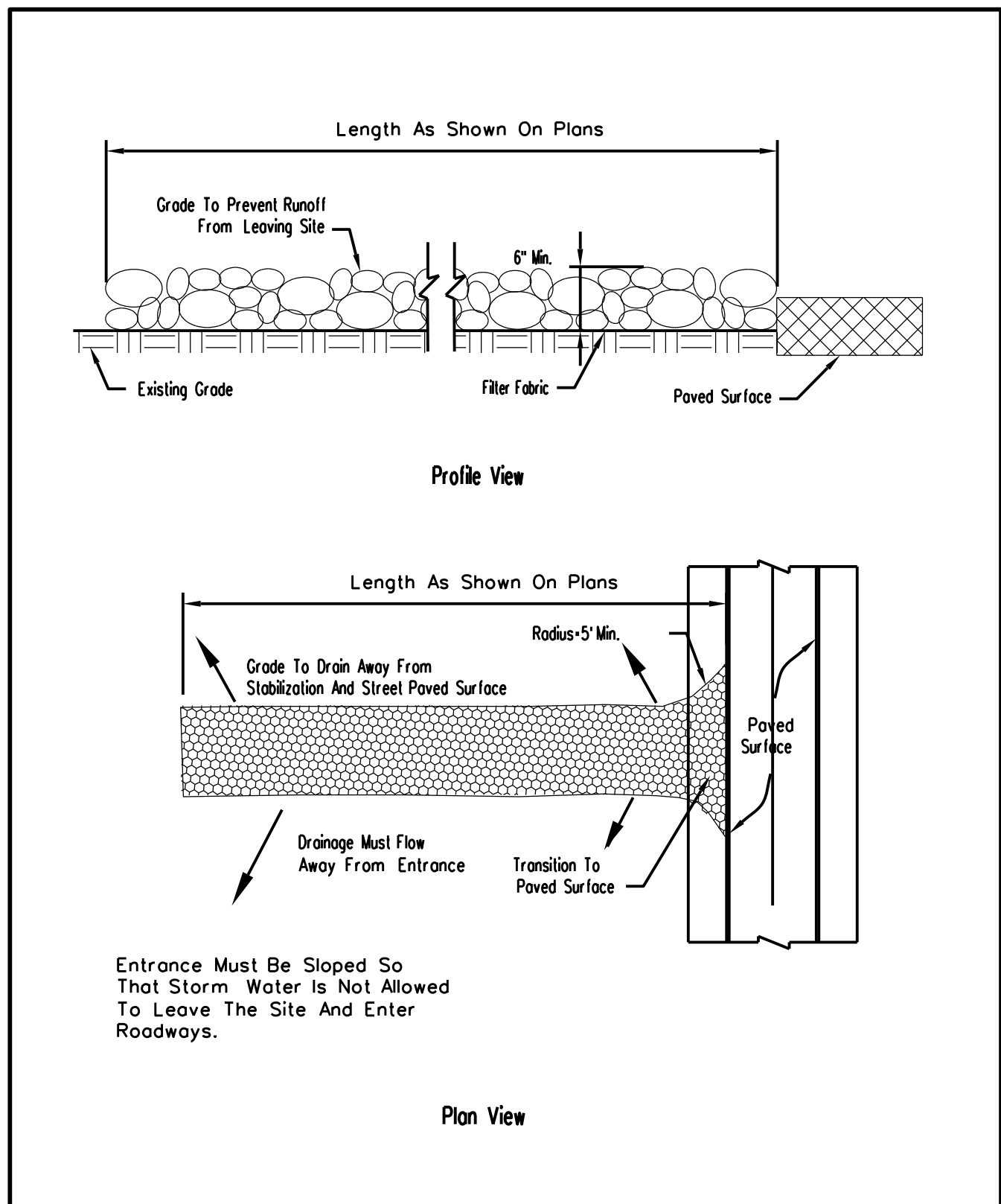
MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR GREATER...



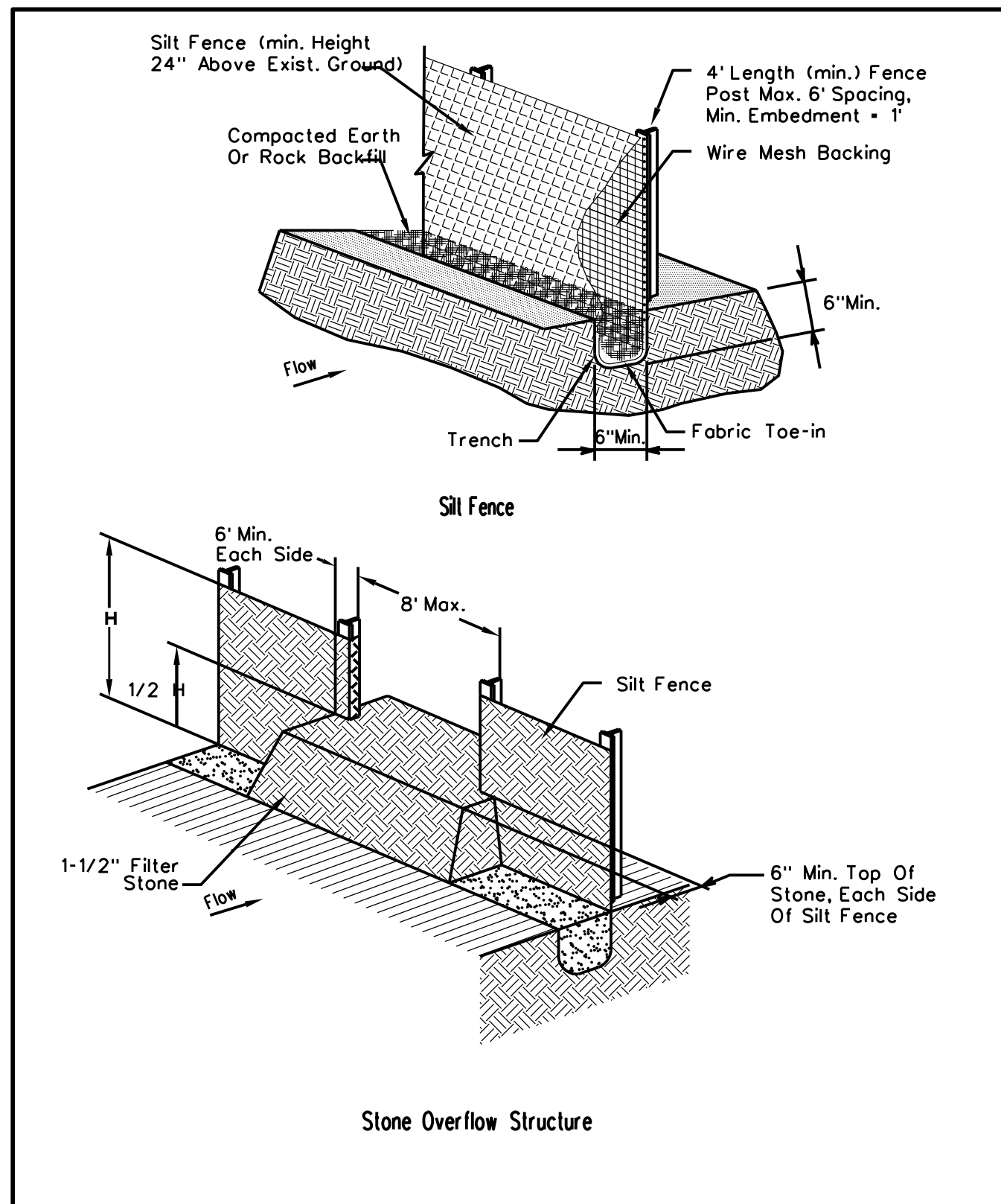
S-4



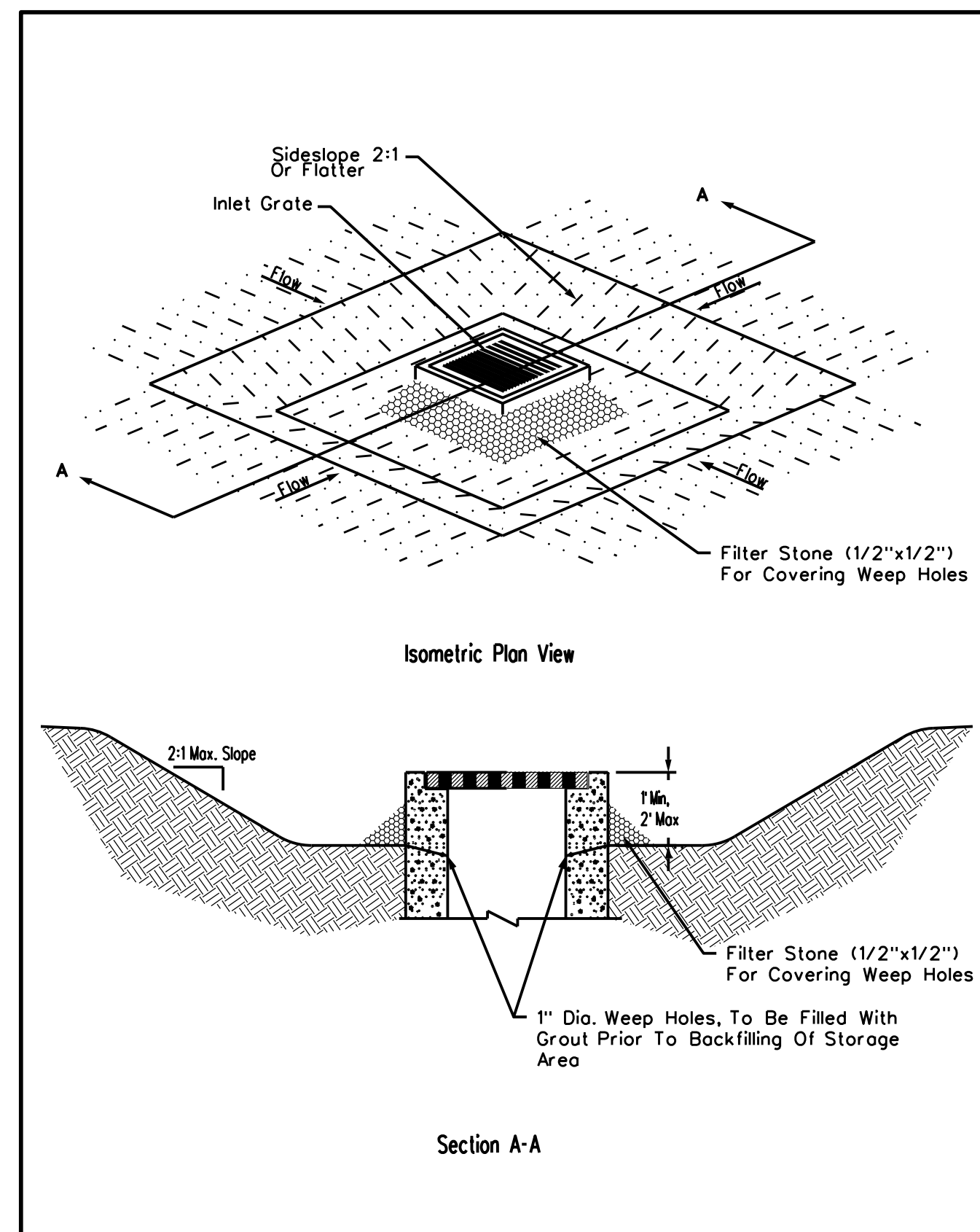
S-4



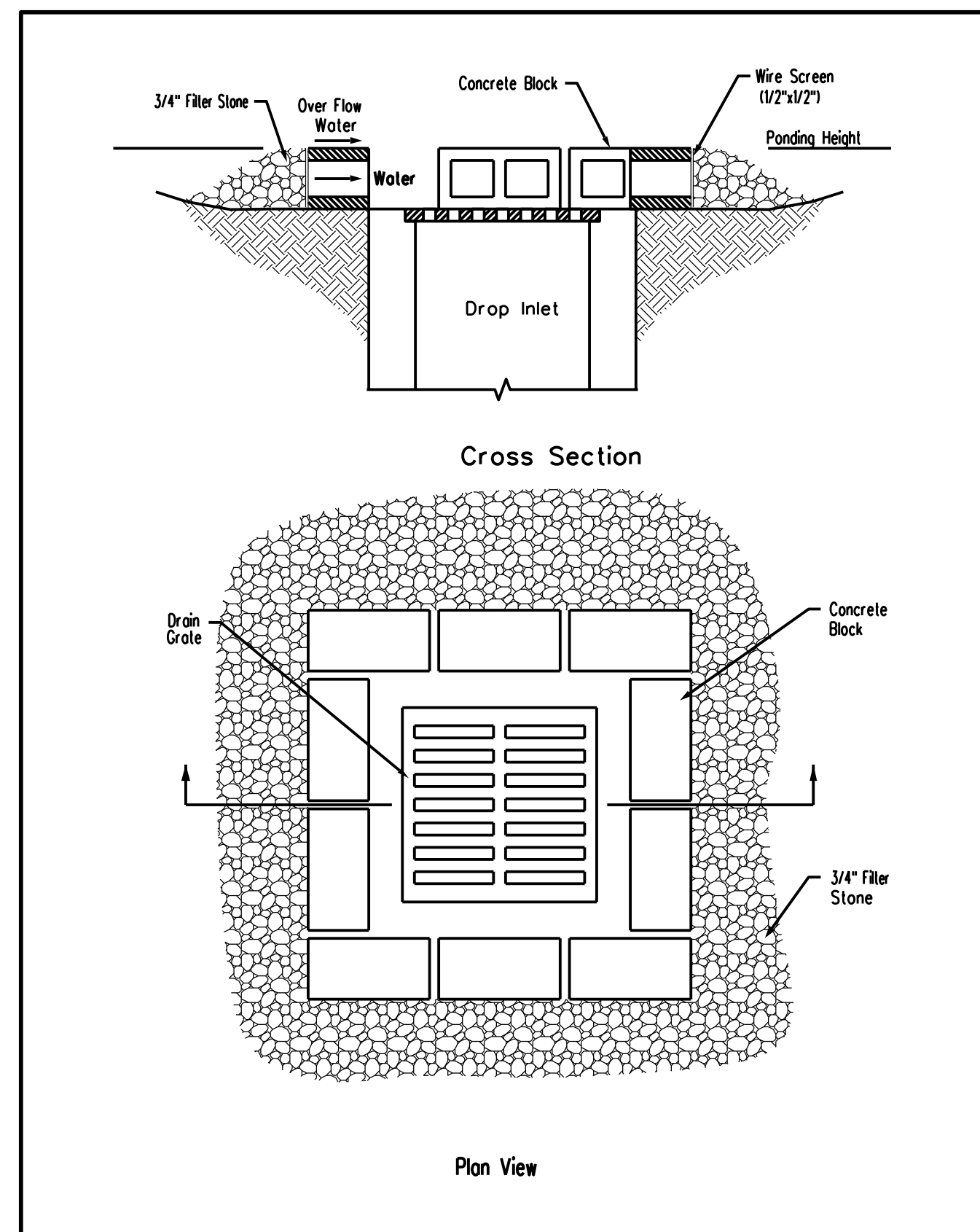
S-9



S-1



S-4



S-4

THE FOLLOWING NON-STORM WATER DISCHARGES FROM SITES AUTHORIZED UNDER THE GENERAL PERMIT ARE ALSO ELIGIBLE FOR AUTHORIZATION UNDER THE GENERAL PERMIT:

- DISCHARGES FROM FIRE FIGHTING ACTIVITIES (FIRE FIGHTING ACTIVITIES DO NOT INCLUDE WASHING OF TRUCKS, RUN-OFF WATER FROM TRAINING ACTIVITIES, TEST WATER FROM FIRE SUPPRESSION SYSTEMS, AND SIMILAR ACTIVITIES);
- UNCONTAMINATED FIRE HYDRANT FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE), WHICH INCLUDE FLUSHINGS FROM SYSTEMS THAT UTILIZE POTABLE WATER, SURFACE WATER, OR GROUNDWATER THAT DOES NOT CONTAIN ADDITIONAL POLLUTANTS (UNCONTAMINATED FIRE HYDRANT FLUSHINGS DO NOT INCLUDE SYSTEMS UTILIZING RECLAIMED WASTEWATER AS A SOURCE WATER);
- WATER FROM THE ROUTINE EXTERNAL WASHING OF VEHICLES, THE EXTERNAL PORTION OF BUILDINGS OR STRUCTURES, AND PAVEMENT, WHERE DETERGENTS AND SOAPS ARE NOT USED AND WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED; AND IF LOCAL STATE OR FEDERAL REGULATIONS ARE APPLICABLE, THE MATERIALS ARE REMOVED ACCORDING TO THOSE REGULATIONS), AND WHERE THE PURPOSE IS TO REMOVE MUD, DIRT, OR DUST;
- UNCONTAMINATED WATER USED TO CONTROL DUST;
- POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE);
- UNCONTAMINATED AIR CONDITIONING CONDENSATE;
- UNCONTAMINATED GROUND WATER OR SPRING WATER, INCLUDING FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH INDUSTRIAL MATERIALS SUCH AS SOLVENTS; AND
- LAWN WATERING AND SIMILAR IRRIGATION DRAINAGE.

HYPERCHLORINATED WATER (3.5 MG/L OR GREATER OF FREE CHLORINE) RESULTING FROM WATERLINE STERILIZATION SHALL BE DECHLORINATED AND NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE.

NOTE:

- DISTURBED AREAS, INCLUDING HOUSE LOTS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED (TEMPORARILY OR PERMANENTLY), SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.
- MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR GREATER. GREATER. IF A REPAIR IS NECESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE BUT WITHIN 48 HOURS.

PROJECT NAME & LOCATION: HABITAT FOR HUMANITY
 OPERATOR NAME & ADDRESS: 305 BLANCHE DRIVE ROCKWALL, TEXAS 75032
 DETAILED PROJECT DESCRIPTION: RESIDENTIAL CONSTRUCTION
 TOTAL PROJECT AREA: 7,650 SQ FT
 TOTAL AREA TO BE DISTURBED: 7,650 SQ FT
 ESTIMATED PROJECT START DATE: JULY 2021
 ESTIMATED PROJECT END DATE: OCTOBER 2021
 EROSION & SEDIMENT BMPs: S-1, S-9
 HOUSEKEEPING BMPs: M-1, M-2, M-3, M-4, M-5, M-6, M-7
 STABILIZATION PRACTICES: ESTABLISHED VEGETATION, ESTABLISHED PERENNIAL VEGETATION, PAVING
 NOTE: BMPs to be used shall be those from the City of Rockwall "Standard Erosion Control" sheets, or from the most recent version of the "NCTCOG ISWM Design Manual For Construction".

SIGNATORY REQUIREMENT
 I CERTIFY THAT THE INFORMATION PROVIDED IN THIS DOCUMENT REPRESENTS EROSION CONTROL MEASURES PLANNED FOR THE SUBJECT PROJECT AND IS TRUE, ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT I UNDERSTAND MY RESPONSIBILITIES UNDER THE CONDITIONS OF THIS EROSION CONTROL PLAN.

PROJECT OPERATOR:
 PRINTED NAME: _____
 TITLE: _____
 SIGNATURE: _____
 PREPARED BY: R-DELTA ENGINEERS, INC.



David B. Porter

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

TBPE Registration No. F-001515

REV	DATE	DESCRIPTION
△		

EROSION CONTROL DETAILS

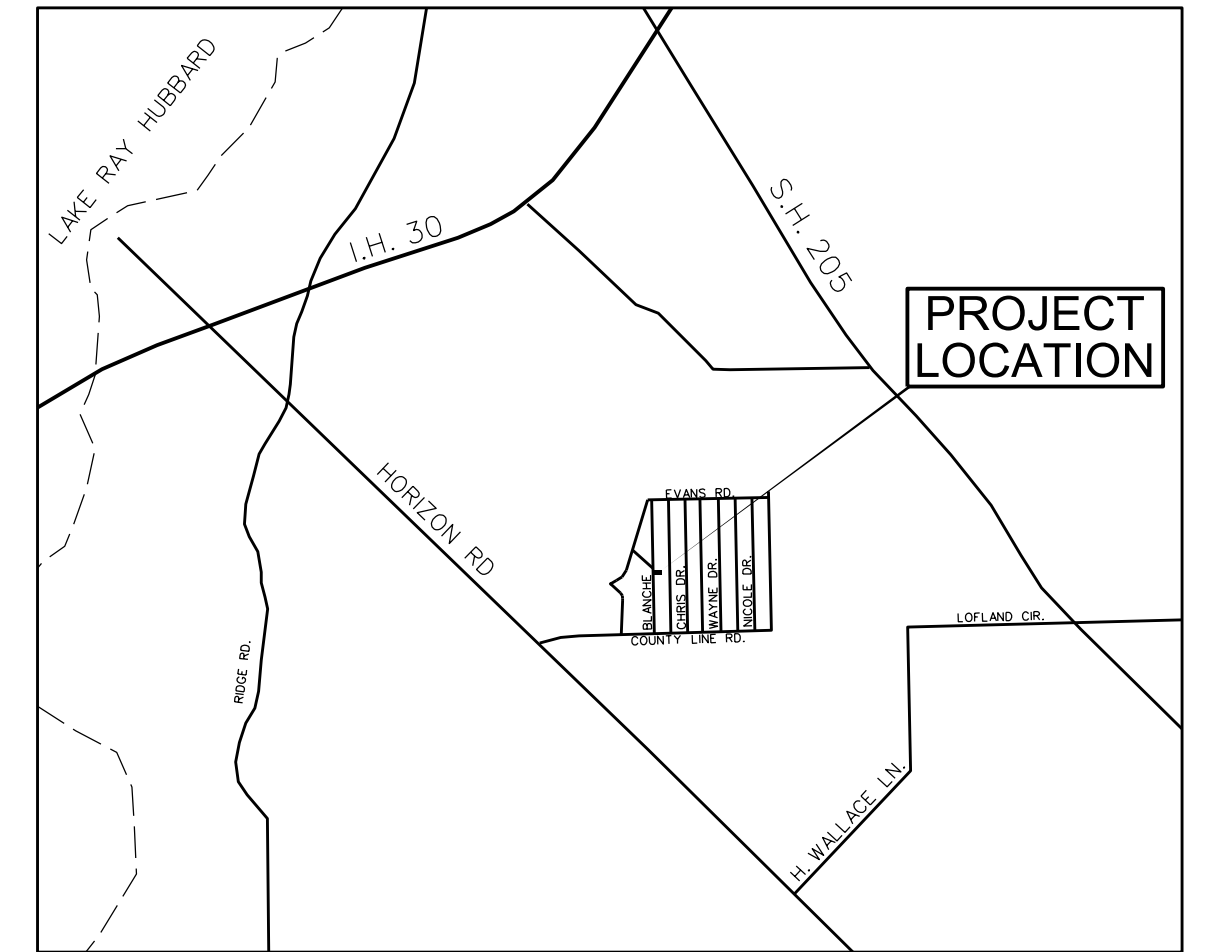
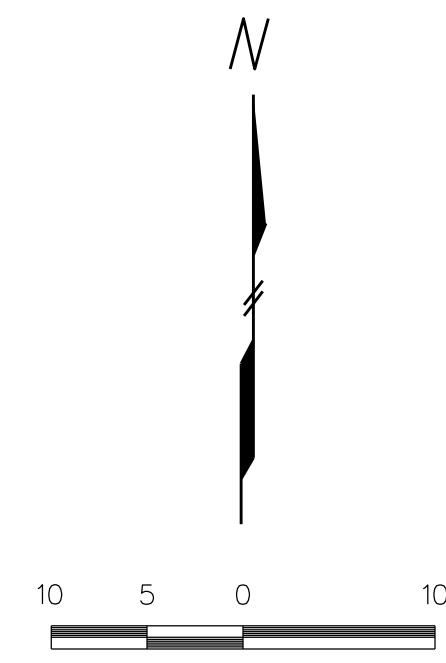
305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET: 4 OF 5
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	



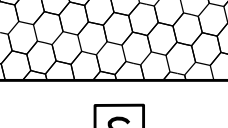


rdelta ENGINEERS
 618 Main Street, Garland, TX 75040
 Ph: (972) 694-5511, Fax: (972) 487-2270, www.rdelta.com, TBPE No. F-1515

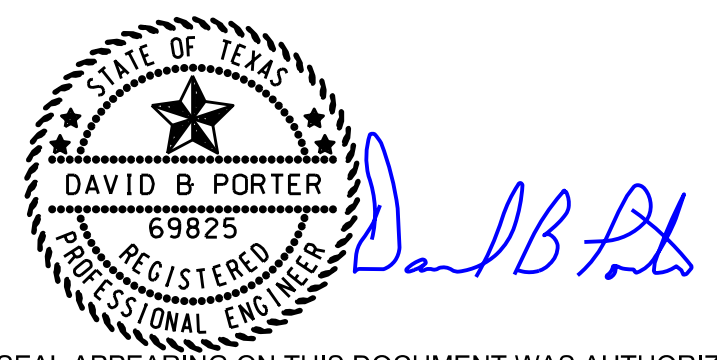
HABITAT FOR HUMANITY OF GREATER GARLAND, INC.
 2350 CRIST RD., SUITE 700, GARLAND, TEXAS 75040
 TEL. (972) 272-8530

NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



VICINITY MAP
 N.T.S. MAPSCO 30C-M

- LEGEND**
-  CONCRETE DRIVEWAY/SIDEWALK
 -  AREA TO BE SEEDED
 -  CONSTRUCTION ENTRANCE
 -  SANITARY FACILITY
 -  SILT FENCE




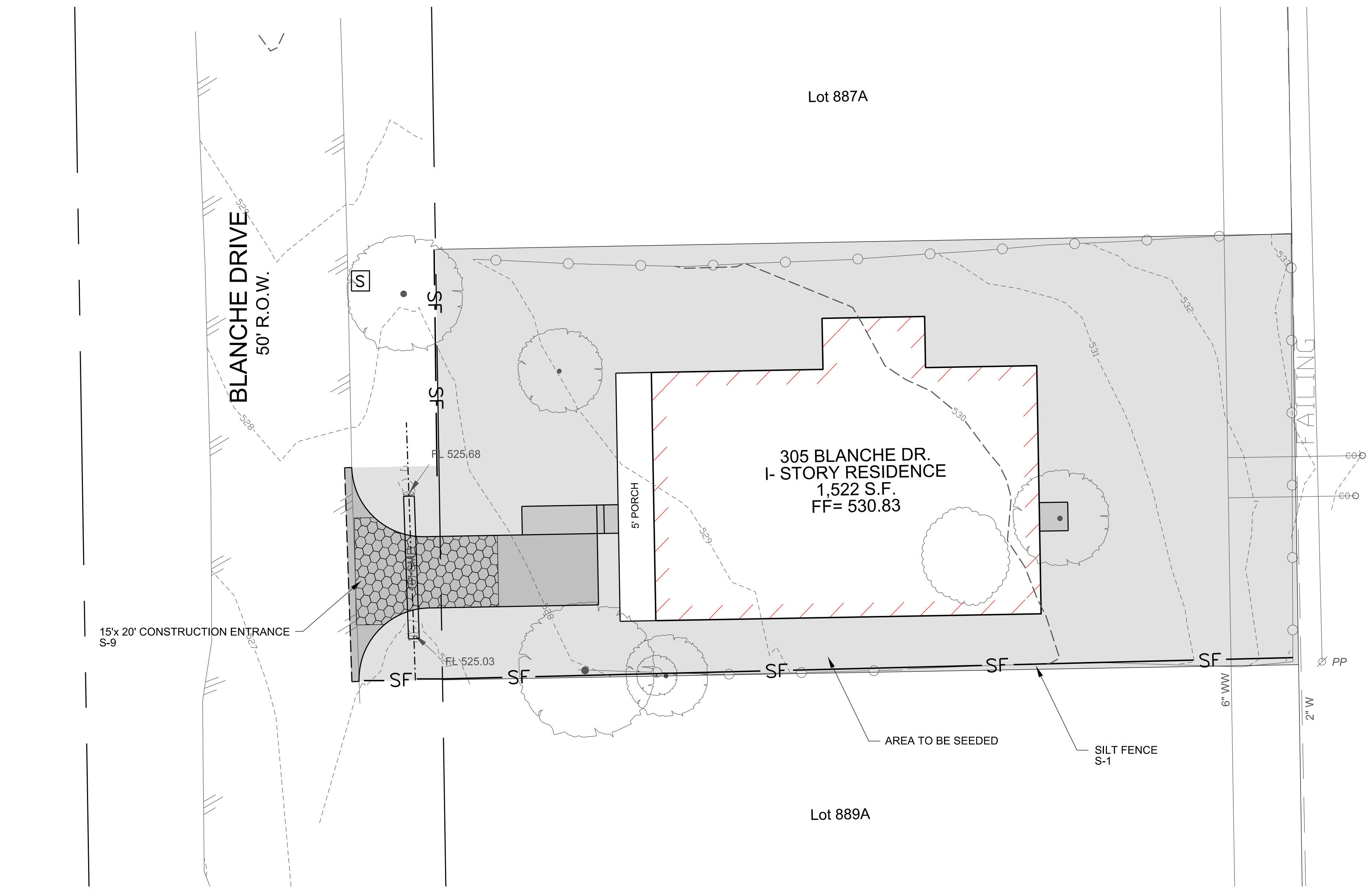
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REV	DATE	DESCRIPTION
△		
△		

EROSION CONTROL PLAN

305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

	618 Main Street Garland, TX 75040 Ph: (972) 694-8331 Fax: (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL: (972) 272-8530
	DESIGN: DBP CHECK: DBP SCALE: AS SHOWN SHEET:	DRAWN: MDP DATE: JUNE 2021 PROJECT #: 2915-21 5 OF 5



EROSION AND SEDIMENTATION CONTROL NOTES

- 1) EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK AND SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 2) EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.
- 3) SURFACE WATER RUNOFF SHALL BE KEPT FROM ENTERING INTO ANY EXCAVATED AREAS AND UTILITY TRENCHES AT ALL TIMES.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
- 5) THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING, OR OTHER APPROVED EROSION CONTROL PRODUCTS, AS NEEDED. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE CITY ENGINEER'S OFFICE DURING ON-SITE INSPECTIONS.
- 6) ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS OR THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) MANUAL OF "STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES" (BMP MANUAL).
- 7) RECEIVING WATERS SHALL BE PROTECTED FROM UNFILTERED STORM WATER RUNOFF AT ALL TIMES.
- 8) THE LOCATIONS OF EROSION CONTROL DEVICES SHOWN ON THIS PLAN ARE APPROXIMATE AND WILL BE MODIFIED AS DIRECTED BY THE ENGINEERING DEPARTMENT AS TO PREVENT UNFILTERED STORMWATER FROM EXITING CONSTRUCTION AREAS.
- 9) STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT ANY OTHER POINT OF ENTRY/EXIT TO THE PROJECT AS APPROVED BY THE CITY ENGINEER'S OFFICE. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE PROJECT AREA VIA THIS STABILIZED CONSTRUCTION ENTRANCE.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 305 Blanche Rd

SUBDIVISION Rockwall Lake Est #2 Lot 888A LOT 888A BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Single Family Home

CURRENT USE Empty lot

PROPOSED ZONING Single Family Home

PROPOSED USE Home

ACREAGE .1650

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Habitat for Humanity APPLICANT

CONTACT PERSON Peter Muhl

CONTACT PERSON

ADDRESS 1101 Ridge Rd #4

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP

PHONE 214-704-3455

PHONE

E-MAIL peter@northmesquiteplumbing.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

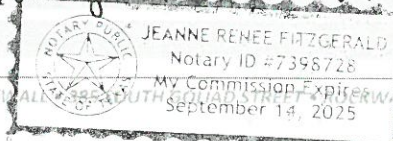
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

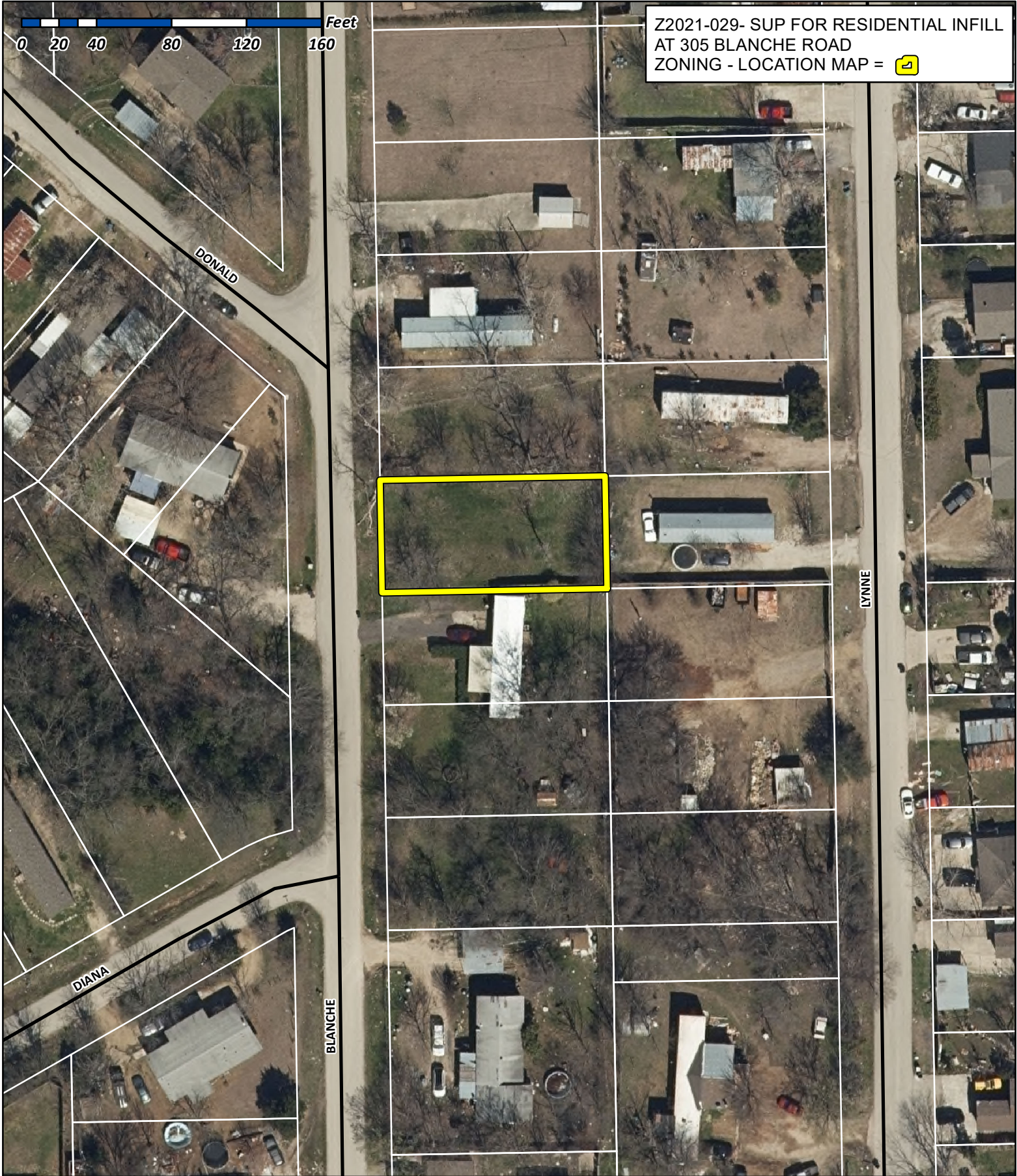
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021

OWNER'S SIGNATURE Sally Muhl, VP

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES September 14, 2025



Z2021-029- SUP FOR RESIDENTIAL INFILL
 AT 305 BLANCHE ROAD
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

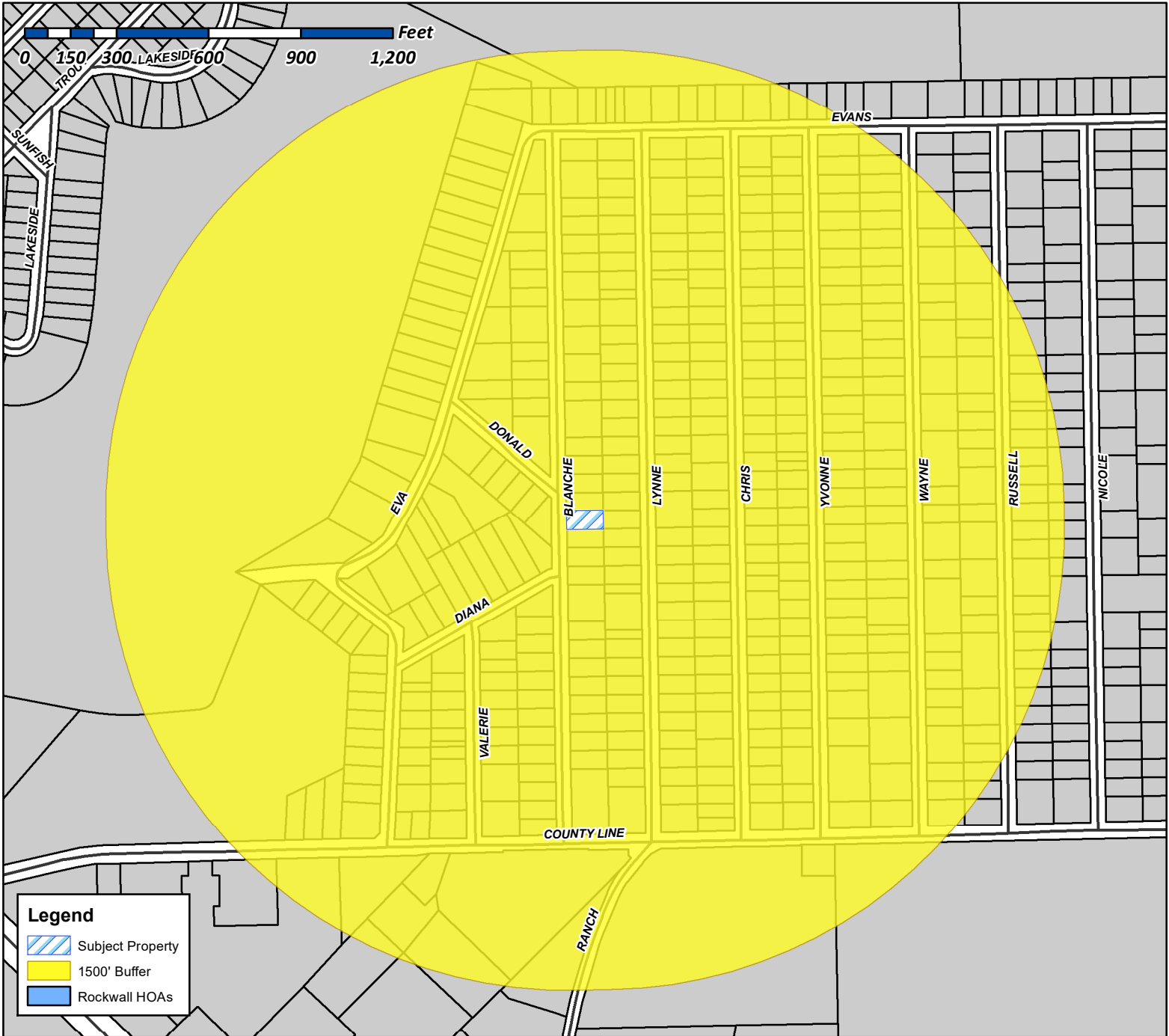




City of Rockwall

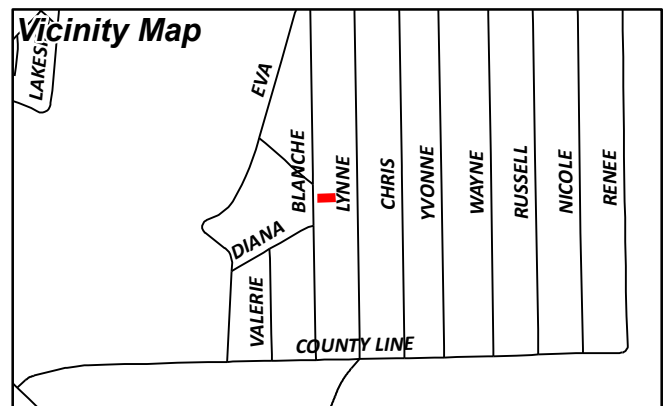
Planning & Zoning Department
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Case Number: Z2021-039
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive

Date Created: 9/16/2021
 For Questions on this Case Call (972) 771-7745

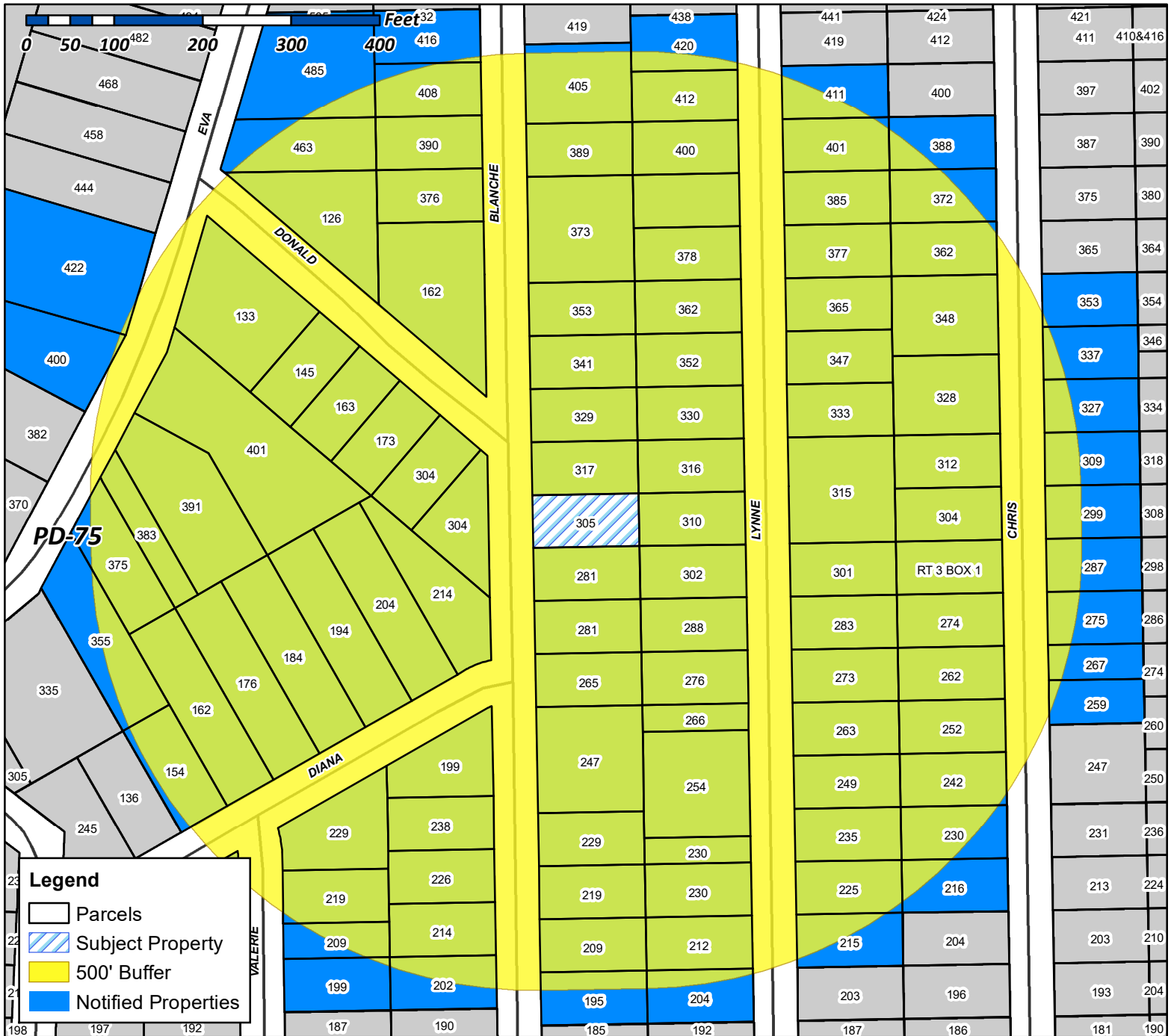
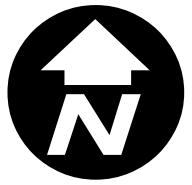




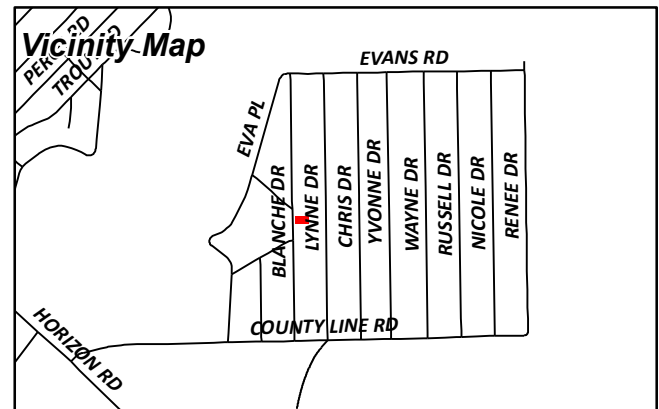
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For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
11540 SINCLAIR AVENUE
DALLAS, TX 75218

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL
118 ALTHEA RD
ROCKWALL, TX 75032

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

ADAMS JAMES W
126 DONALD DR
ROCKWALL, TX 75032

MORRIS AUBREY KEITH
133 DONALD DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

CROWDER DAVID
145 BETHEL RD
GREENVILLE, TX 75402

MARTINEZ PERLA
145 DONALD DR
ROCKWALL, TX 75087

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

GRAY DOROTHY M
162 DONALD DR
ROCKWALL, TX 75032

MORENO FABIOLA
163 DONALD
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75043

FIELDS JIMMIE
173 DONALD DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
176 DIANA
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
184 LILLIAN DR
ROCKWALL, TX 75032

SARABIA SILVESTRE
194 DIANA
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

BODEN ERIC
(MR)
204 DIANA
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

BODEN ERIC
(MR)
214 DIANA
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
218 LAKESIDE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

MUK YAN CHING
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
259 CHRIS DR
ROCKWALL, TX 75032

NAVA ANA L
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
265 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
266 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
267 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
273 LYNNE DR
ROCKWALL, TX 75032

CHAPELA AARON JAIME
274 CHRIS DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
276 LYNNE DR
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
283 LYNNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
288 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE
302 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA
304 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY
305 BLANCHE DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA
310 LYNNE DR
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
311 E I-30
ROCKWALL, TX 75087

BALDERAS JOSE G
312 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
315 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
316 LYNNE DR
ROCKWALL, TX 75032

STRANGE MARY JANNETTE
317 BLANCHE DR
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

UC F JOSE FAUSTO
329 BLANCHE DR
ROCKWALL, TX 75032

MORENO SALVADOR
330 LYNNE DR
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL
341 BLANCHE DR
ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L
348 CHRIS DR
ROCKWALL, TX 75032

MORENO SALVADOR
352 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
353 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

BARNARD DANIEL
353 CHRIS DRIVE
ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH
355 EVA
ROCKWALL, TX 75032

GALLEGOS MAURO & MARIA
362 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
362 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
372 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
375 EVA
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

SILVA ROBERTO
377 LYNNE DR
ROCKWALL, TX 75032

TOSCANO ANTONIA
378 LYNNE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
383 EVA PL
ROCKWALL, TX 75032

ESPINOZA ROBERTO & MARIA
385 LYNNE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA
388 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
389 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
390 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
391 EVA
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
400 EVA
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
401 EVA
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE E
405 BLANCHE DR
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
408 BLANCHE DR
ROCKWALL, TX 75032

VARGAS FRANCISCO
411 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
412 LYNNE DR
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
422 EVA
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
463 EVA PL
ROCKWALL, TX 75032

ADAMS JAMES W
485 EVA
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

SILVA ROBERTO
8766 CR 2586
ROYSE CITY, TX 75189

MUK YAN CHING
908 S WEATHERED DR UNIT 8
RICHARDSON, TX 75080

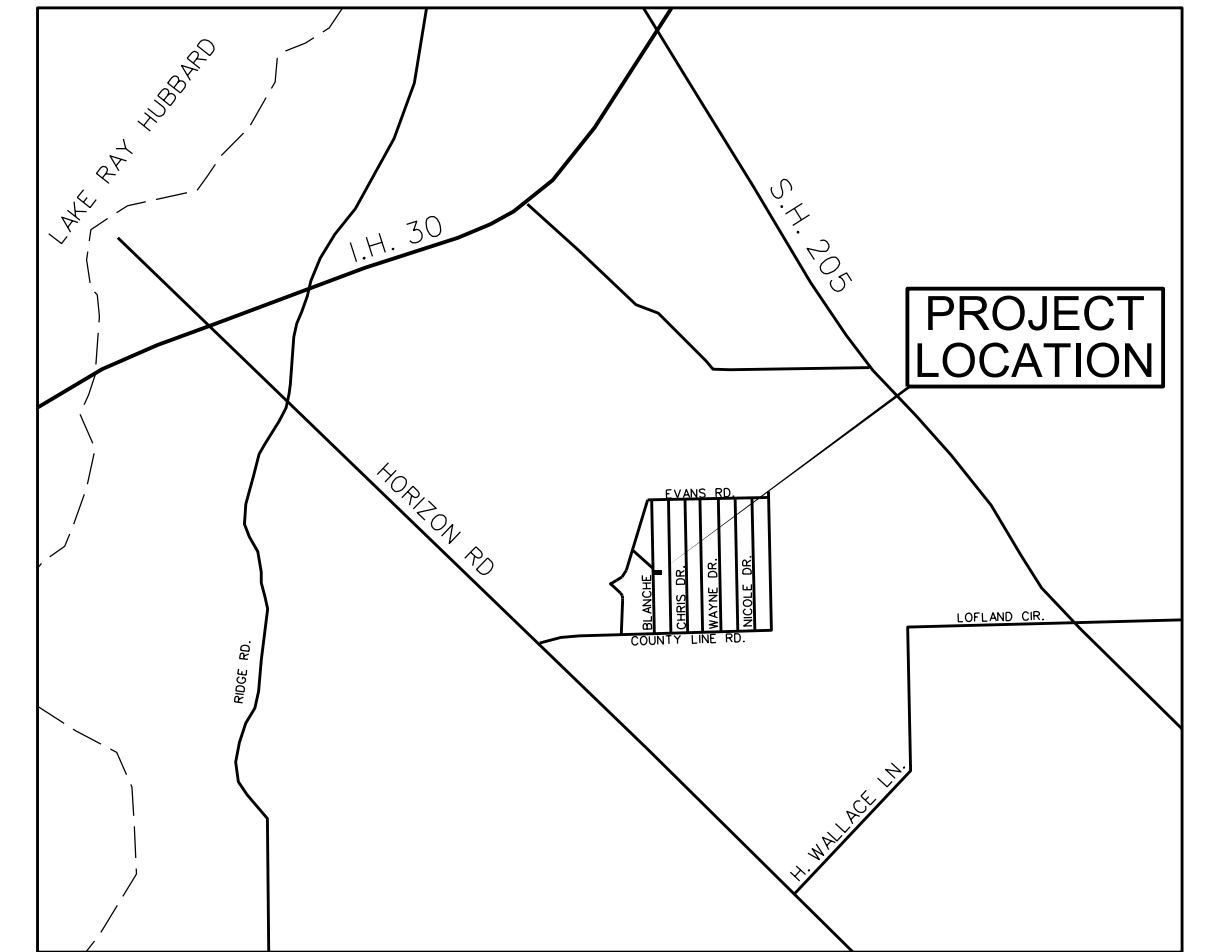
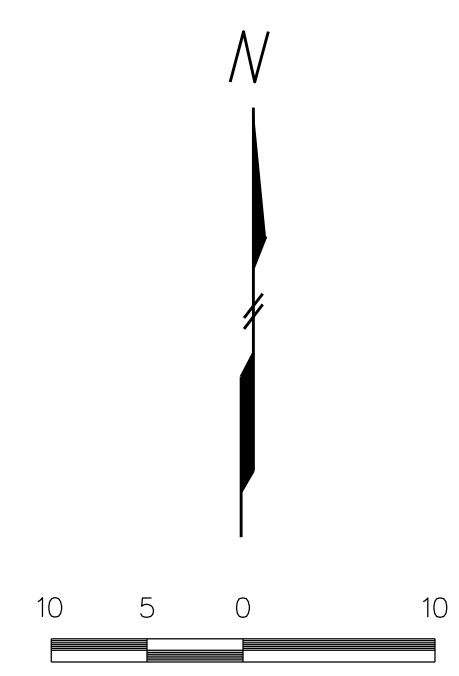
SARABIA SILVESTRE
929 S PEORIA ST APT G21S
AURORA, CO 80012

FIELDS JIMMIE
PO BOX 1115
ROYSE CITY, TX 75189

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

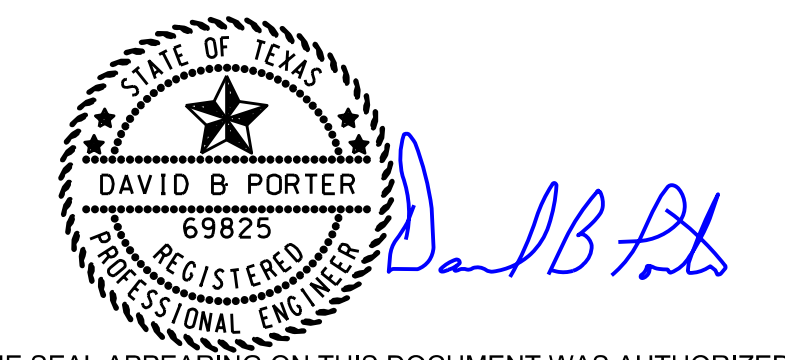
YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
RT 3 BOX 1 CHRIS DR
ROCKWALL, TX 75032

NOTE:
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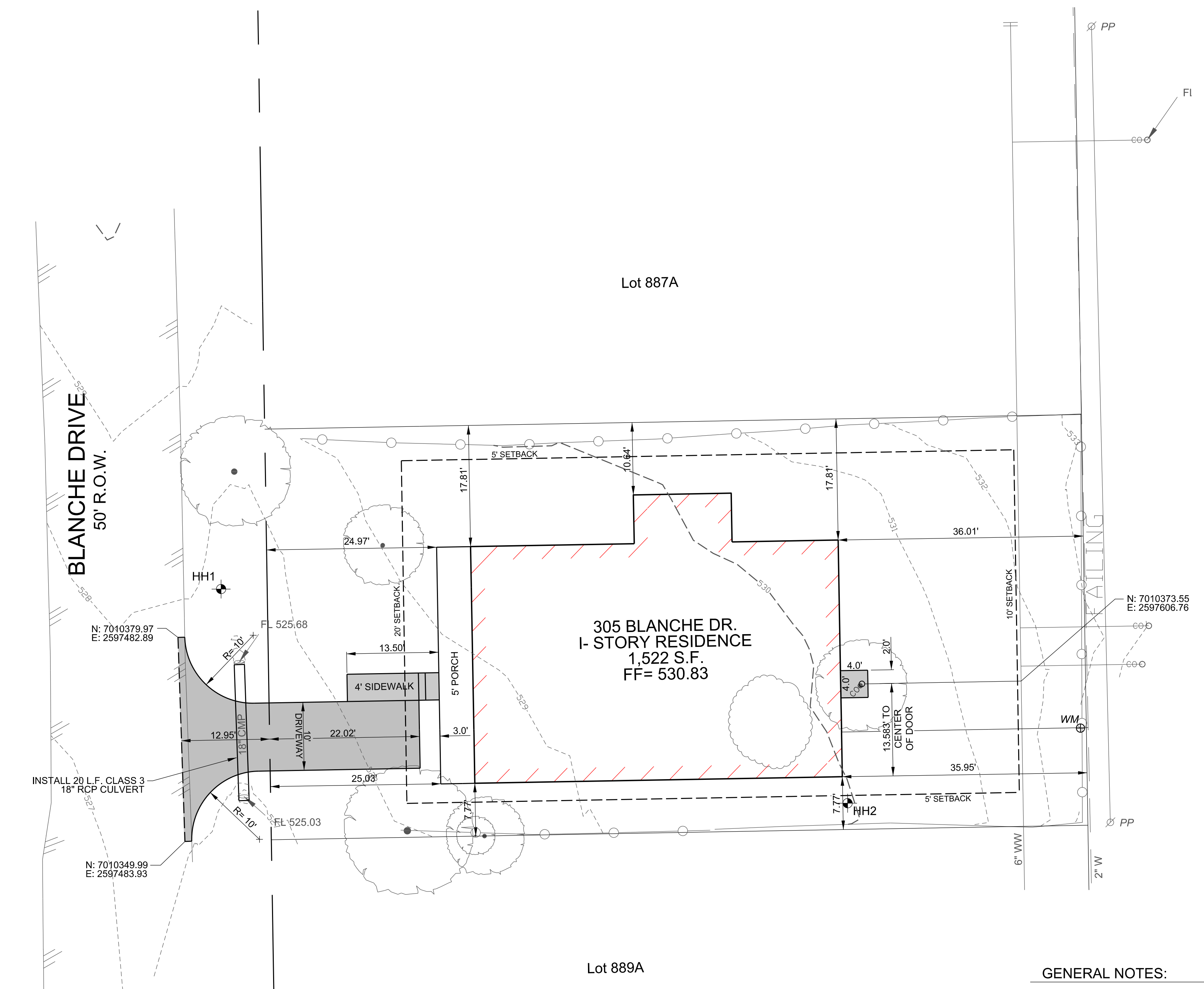


VICINITY MAP
 N.T.S. MAPSCO 30C-M

ZONING: PD-75 (AREA 2)
 SETBACKS: FRONT - 20'
 REAR - 10'
 SIDES - 5'
 MAXIMUM HEIGHT - 32'
 LOT COVERAGE - 30.3%
 OWNER:
 HABITAT FOR HUMANITY
 CONTACT - PETER MUHL (214)704-3455



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



BASIS OF BEARINGS:
 All bearings and coordinates are shown on North Central Zone (4202) of the Texas Coordinate System of 1983, and were obtained using Global Navigational Satellite System methods. The orthometric heights reported here are based on the North American Vertical Datum of 1988 (NAVD88) using GEOID18. Monuments.

HH1	HH2
N = 7,010,387.08	N = 7,010,355.61
E = 2,597,489.23	E = 2,597,581.26
ELEV. = 527.21	ELEV. = 530.05

CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.

GENERAL NOTES:

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- The City of Rockwall Engineering Department's "General Construction Notes", Sheets 1 & 2 are incorporated to these plans by reference. The CONTRACTOR shall possess one copy of the General Construction notes on the project site at all times.

REV	DATE	DESCRIPTION

SITE PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

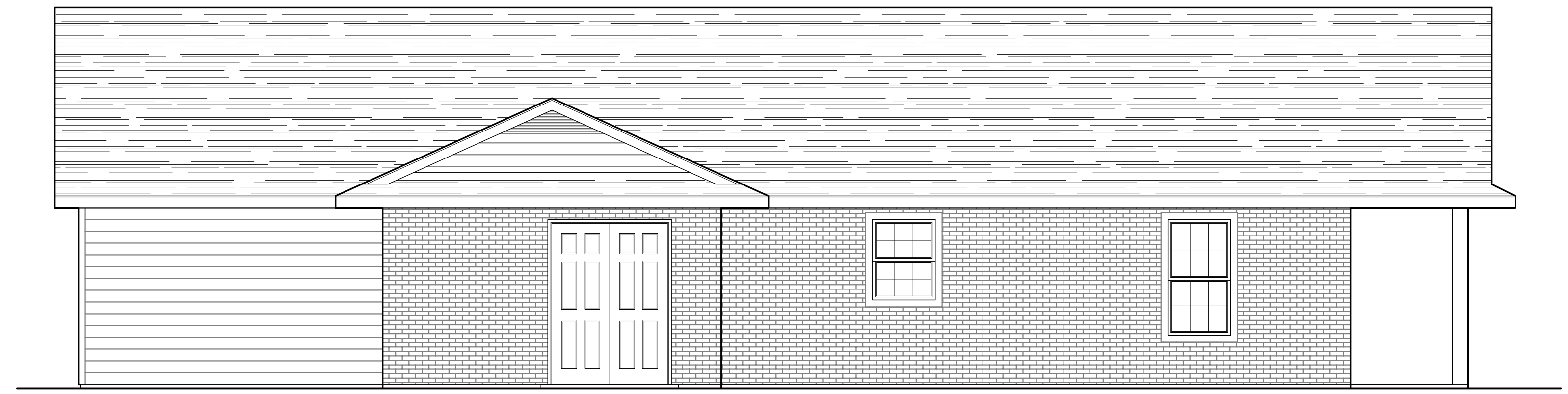
		618 Main Street Garland, TX 75040 Ph. (972) 694-5331 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:		
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	1 OF 5		



1 EXTERIOR ELEVATION - FRONT



SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - LEFT



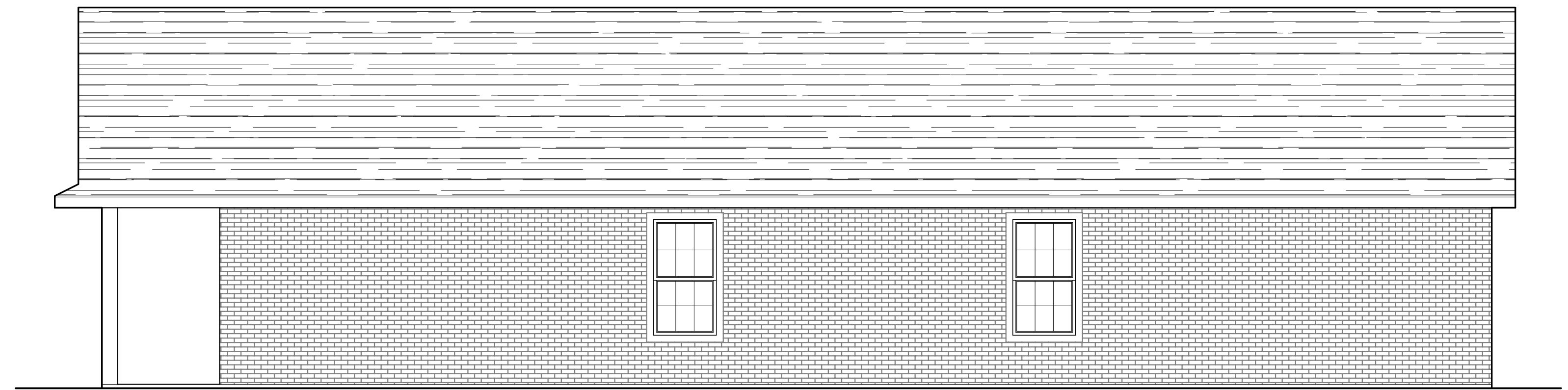
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION - BACK



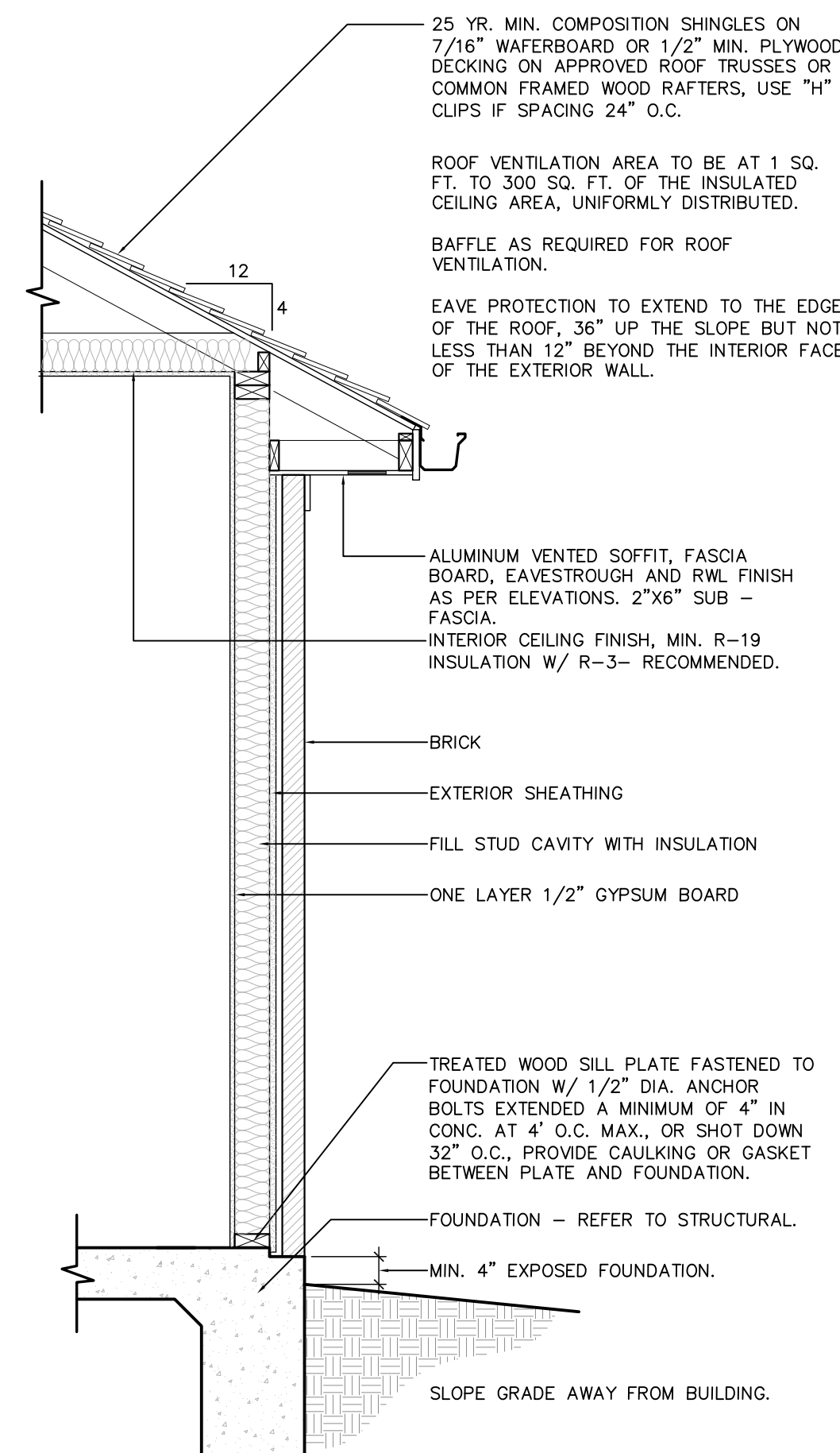
SCALE: 1/4"=1'-0"



4 EXTERIOR ELEVATION - RIGHT



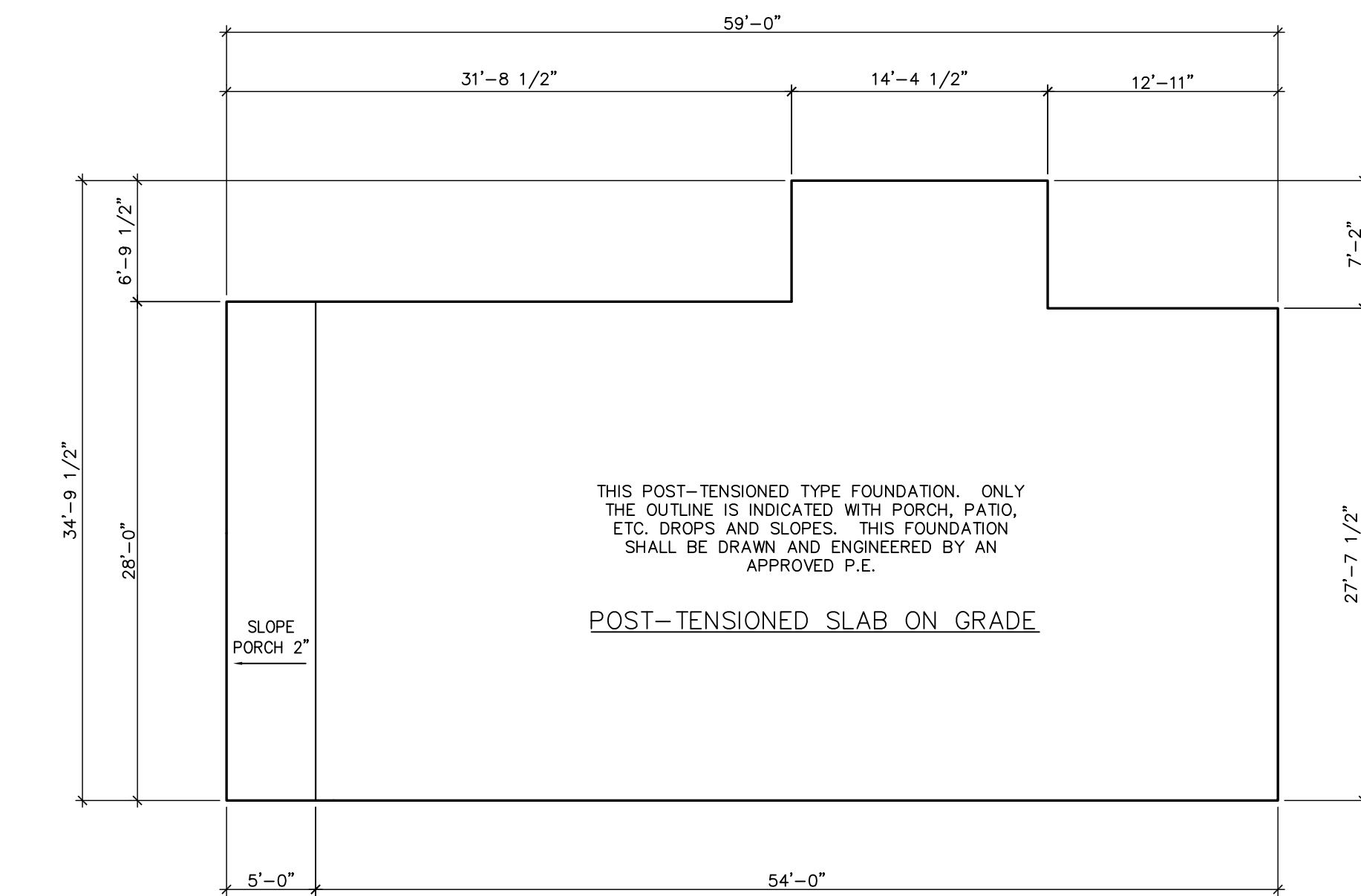
SCALE: 1/4"=1'-0"



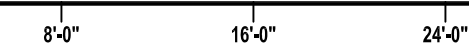
5 TYPICAL WALL SECTION

NOT TO SCALE

6 FOUNDATION PLAN

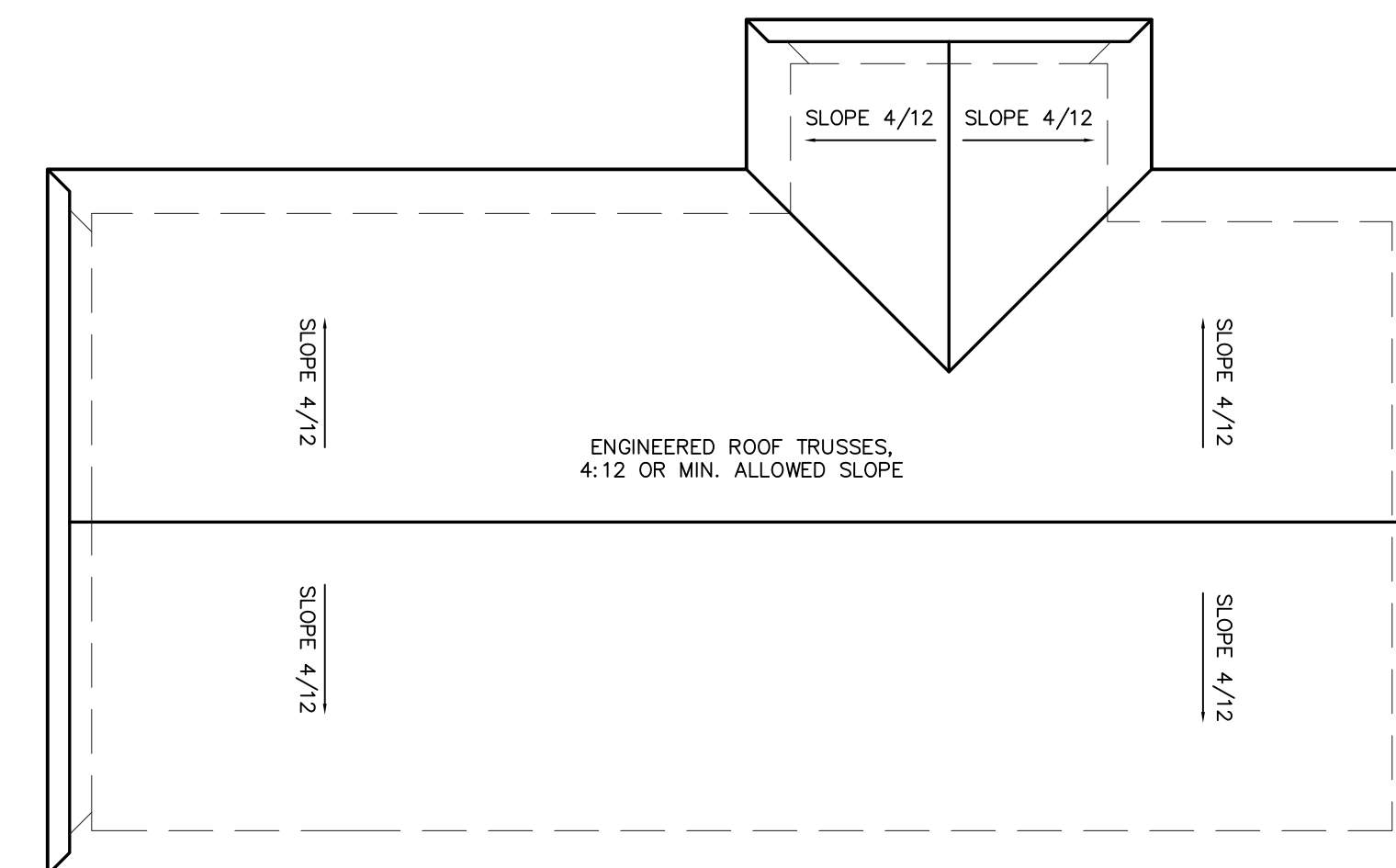


6 FOUNDATION PLAN

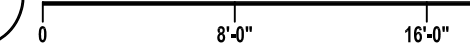


SCALE: 1/8"=1'-0"

7 ROOF PLAN



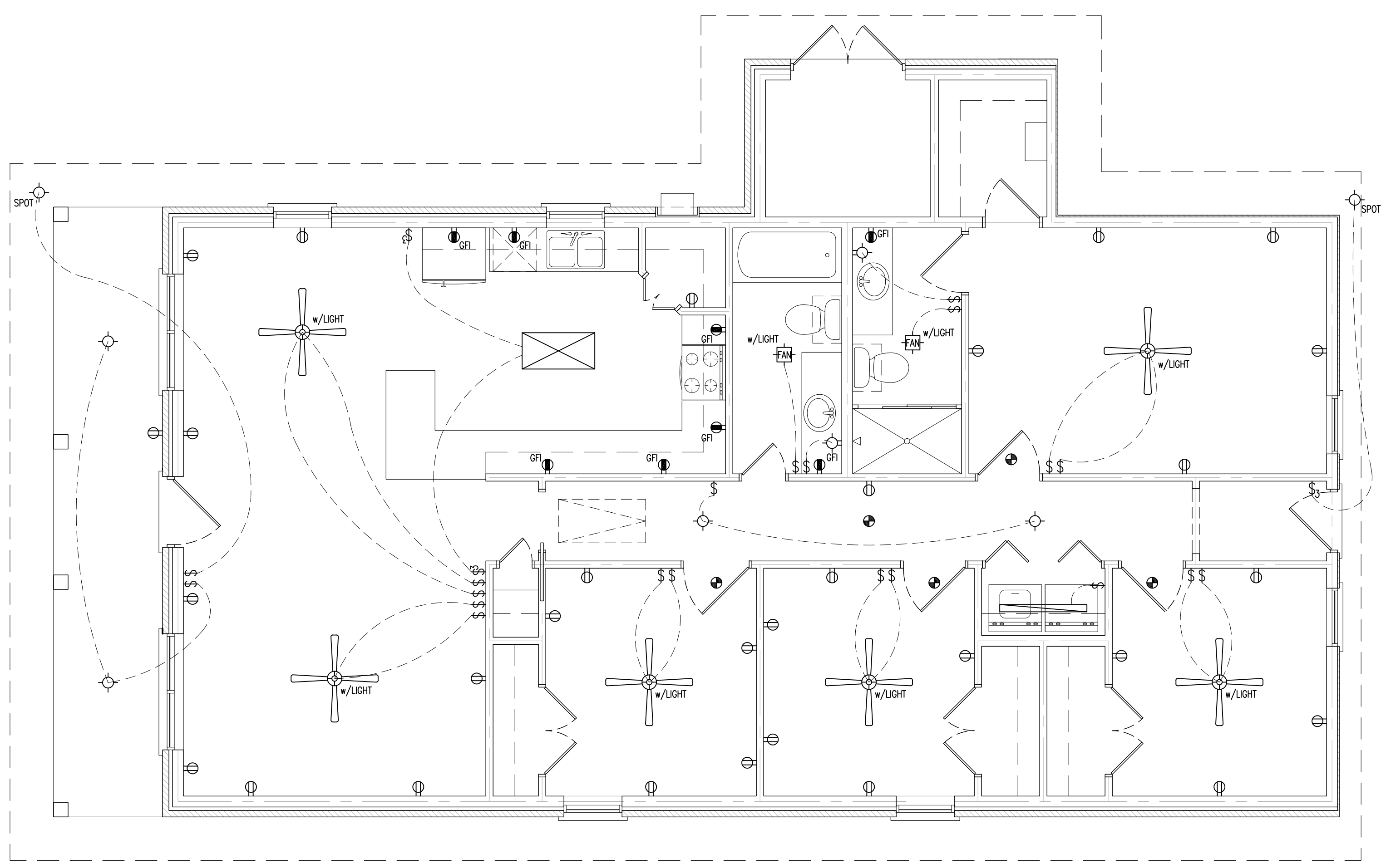
7 ROOF PLAN



SCALE: 1/8"=1'-0"

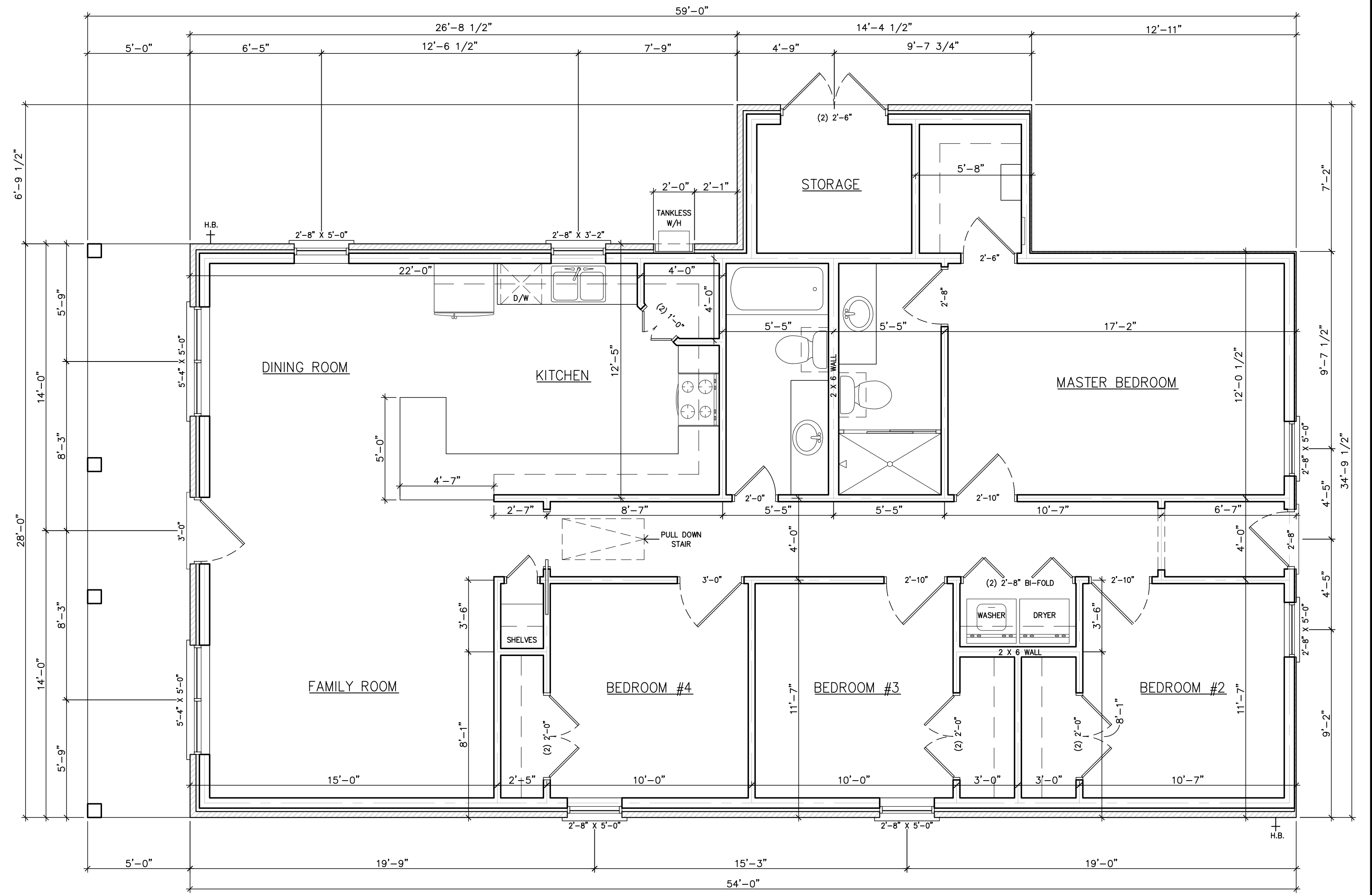
ELECTRIC SYMBOL LEGEND	
	CEILING LIGHT
	WALL MOUNT LIGHT
	FLUORESCENT UTILITY LIGHT
	4' 4-LAMP FLUORESCENT LIGHT
	3 LAMP EXTERIOR FLOOD LIGHT
	EXHAUST FAN / LIGHT
	CEILING FAN / LIGHT
	110 V DUPLEX WALL OUTLET
	110 V GFI DUPLEX OUTLET - ABOVE COUNTER
	110 V CEILING OUTLET
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	SMOKE DETECTOR

AREA CALCULATIONS
LIVING - 1,500 SQ. FT.
PORCH - 140 SQ. FT.



1 POWER/LIGHTING PLAN

SCALE: 1/4"=1'-0"



2 FLOOR PLAN

SCALE: 1/4"=1'-0"

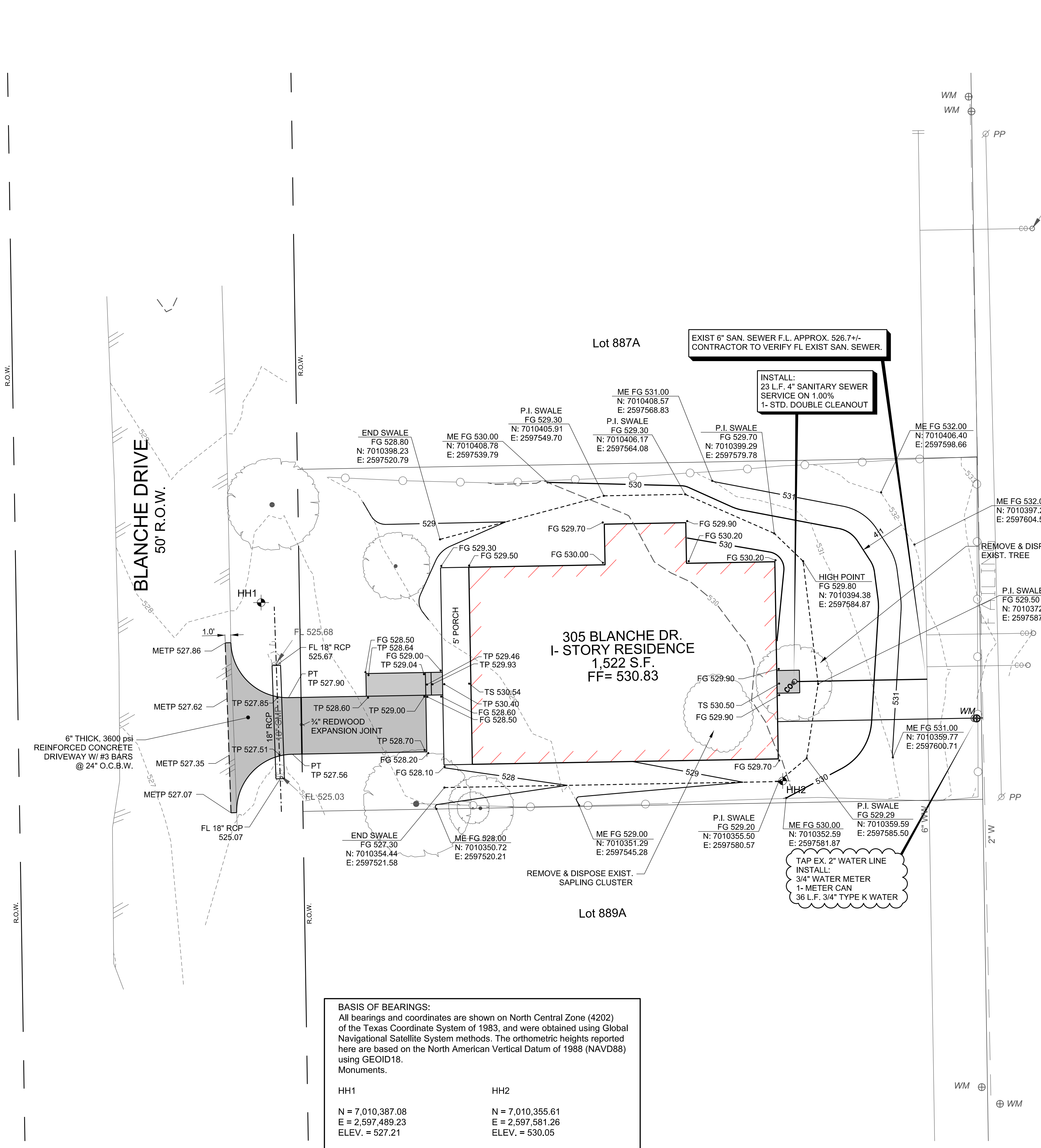
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LEGEND

MEFG 531.14	MATCH EXIST. FINISHED GRADE
METP 531.06	MATCH EXIST. TOP OF PAVEMENT
METC 530.78	MATCH EXIST. TOP OF CURB
FG 530.90	FINISHED GRADE
TP 531.52	TOP OF PAVEMENT
TS 531.52	TOP OF SLAB
TC 530.63	TOP OF CURB
FL 525.00	FLOW LINE ELEVATION

GRADING AND PAVING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
- THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HRS. PRIOR TO ANY EXCAVATION. DIG TESS 1-800-945-6005 OR LONE STAR NOTIFICATION 1-800-669-8344.
- ALL RADII ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- FINISHED GRADE ELEVATIONS ARE TO TOP FINAL SITE GRADE AFTER SEEDING/SODDING UNLESS NOTED OTHERWISE.
- REFER TO FOUNDATION PLANS BY CHILDRESS ENGINEERING SERVICES FOR SUBGRADE PREPARATION BENEATH AND WITHIN 5 FEET OF BUILDING PAD.
- AREAS OUTSIDE OF BUILDING PAD TO RECEIVE FILL OR NEW PAVING SUBGRADE SHALL BE STRIPPED TO A MINIMUM DEPTH OF THREE (3) INCHES AND GRUBBED TO REMOVE VEGETATION AND ORGANIC MATTER. STRIPPED VEGETATION AND ORGANIC MATTER MAY BE REUSED IN AREAS OUTSIDE OF PAVING AREAS THAT REQUIRE THE ADDITION OF TOPSOIL.
- THE CONTRACTOR SHALL THEN EXCAVATE TO THE BOTTOMS OF PROPOSED CONCRETE PAVING AS NECESSARY AND PROOFROLL TO IDENTIFY ANY SOFT OR UNSUITABLE MATERIALS. ANY SOFT OR UNSUITABLE MATERIALS IDENTIFIED BY PROOFROLLING SHALL BE EXCAVATED AND BACKFILLED WITH ONSITE SOIL MATERIAL FREE OF ORGANIC OR OBJECTIONABLE MATTER IN ACCORDANCE WITH THE FILL SPECIFICATIONS HEREIN.
- ALL AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF SIX (6) INCHES AND UNIFORMLY COMPACTED TO A MINIMUM OF NINETY-FIVE (95) PERCENT OF ASTM D 698 MAXIMUM DRY DENSITY WITH A MINIMUM MOISTURE CONTENT OF 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST.
- ON-SITE SOILS MAY BE USED FOR SITE FILL OPERATIONS. IMPORTED FILL MATERIALS SHALL HAVE A LIQUID LIMIT (LL) OF LESS THAN SIXTY (60) PERCENT. ALL FILL MATERIALS SHALL BE FREE OF ORGANIC MATTER, DEBRIS, AND ROCK GREATER THAN FOUR (4) INCHES IN MAXIMUM DIMENSION.
- FILL MATERIALS SHALL BE SPREAD ON PREVIOUSLY SCARIFIED AND COMPACTED GROUND IN LOOSE LIFTS LESS THAN NINE (9) INCHES THICK AND UNIFORMLY COMPACTED TO A MINIMUM OF NINETY-FIVE (95) PERCENT OF ASTM D 698 MAXIMUM DRY DENSITY WITH A MINIMUM MOISTURE CONTENT OF 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST. IF FILL OPERATIONS ARE SUSPENDED AND THE SURFACE OF THE PREVIOUSLY PLACED MATERIAL BECOMES DESICCATED OR RUTTED, THE SURFACE SHALL BE REWORKED PRIOR TO PLACEMENT OF A SUBSEQUENT LIFT.
- THE SUBGRADE SHALL BE UNIFORMLY COMPACTED TO A MINIMUM DEPTH OF 6 INCHES TO A MINIMUM OF 95 PERCENT OF ASTM D 698 MAXIMUM DRY DENSITY WITH A MINIMUM MOISTURE CONTENT OF 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THAT TEST.
- EXISTING VEGETATION SHALL BE UNDISTURBED, WHENEVER POSSIBLE, THROUGHOUT THE REMAINDER OF THE SITE NOT AFFECTED BY THE INSTALLATION OF THE APPROVED FACILITIES. ALL AREAS DISTURBED OUTSIDE OF THE PAVING AREAS BY CONTRACTOR'S OPERATIONS SHALL BE STABILIZED BY SEEDING AND FERTILIZER OVER 4" OF TOP SOIL UPON COMPLETION OF GRADING OPERATIONS. CONTRACTOR SHALL PROVIDE WATER AS NECESSARY TO ESTABLISH PERMANENT VEGETATION.
- CONCRETE FOR DRIVEWAY SHALL BE 6" 3600 PSI; SIDEWALKS SHALL BE 3000 PSI. STEEL REINFORCEMENT FOR PAVING SHALL BE # 3 BARS SPACED 24" EACH DIRECTION.
- PAVEMENT SLOPES SHALL NOT BE LESS THAN 0.5%. SLOPES IN VEGETATION AREAS SHALL NOT BE LESS THAN 1.0%.
- DRAINAGE SHALL BE MAINTAINED AWAY FROM FOUNDATIONS AND BUILDINGS BOTH DURING AND AFTER CONSTRUCTION.
- CONCRETE PAVING SHALL HAVE A CONSTRUCTION JOINT OR SAWED CONTROL JOINT EVERY 15 FEET TRANSVERSELY AND LONGITUDINALLY WITH EXPANSION JOINTS AT INTERSECTIONS, BEGINNING AND ENDING OF HORIZONTAL CURVES, AND AT A MAXIMUM 200' SPACING. JOINTS SHALL INTERSECT ALL PAVEMENT EDGES AT 90° INCLUDING RADIUS RETURNS. WHEN INTERSECTING RADIUS RETURNS, THE MINIMUM PERPENDICULAR DISTANCE INTO THE RETURN SHALL BE 1.5 FEET.
- THE PAVING CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR TO INSURE ALL CONDUITS AND DIRECT BURY WIRING AND OTHER UTILITIES ARE INSTALLED PRIOR TO SUBGRADE PREPARATION.



EXIST 6" SAN. SEWER F.L. APPROX. 526.7 +/-
 CONTRACTOR TO VERIFY FL EXIST SAN. SEWER.

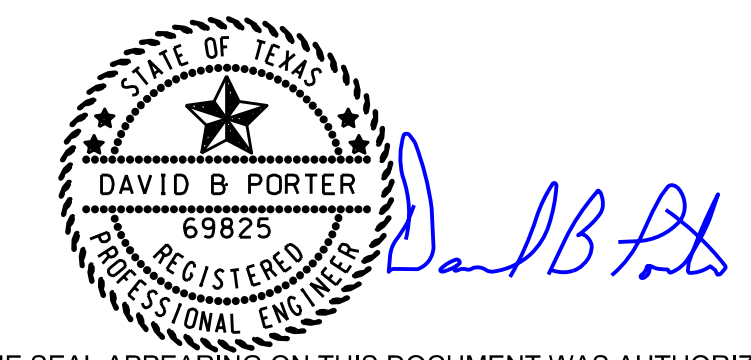
INSTALL:
 23 L.F. 4" SANITARY SEWER
 SERVICE ON 1.00%
 1-STD. DOUBLE CLEANOUT

TAP EX. 2" WATER LINE
 INSTALL:
 3/4" WATER METER
 1- METER CAN
 36 L.F. 3/4" TYPE K WATER

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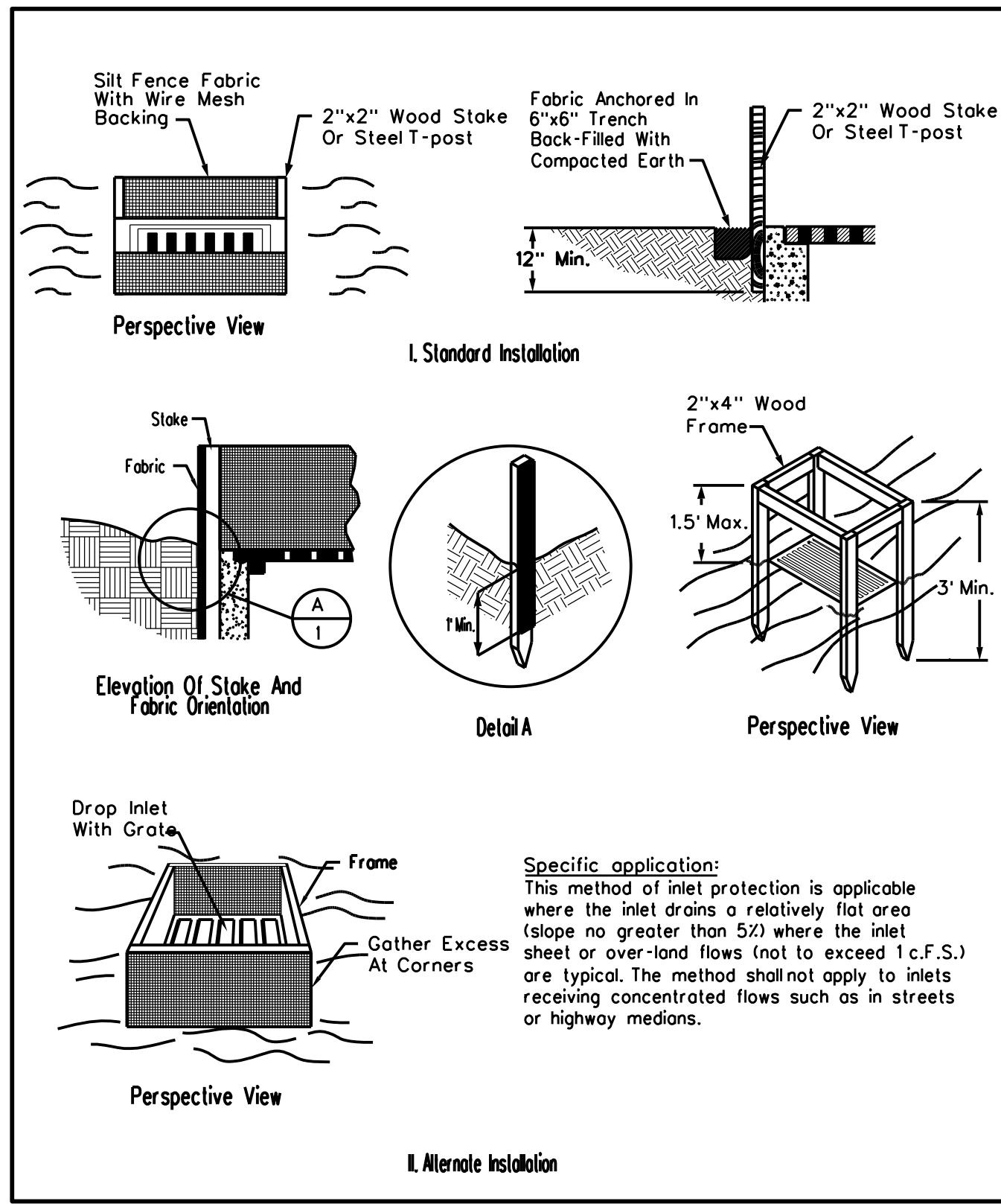


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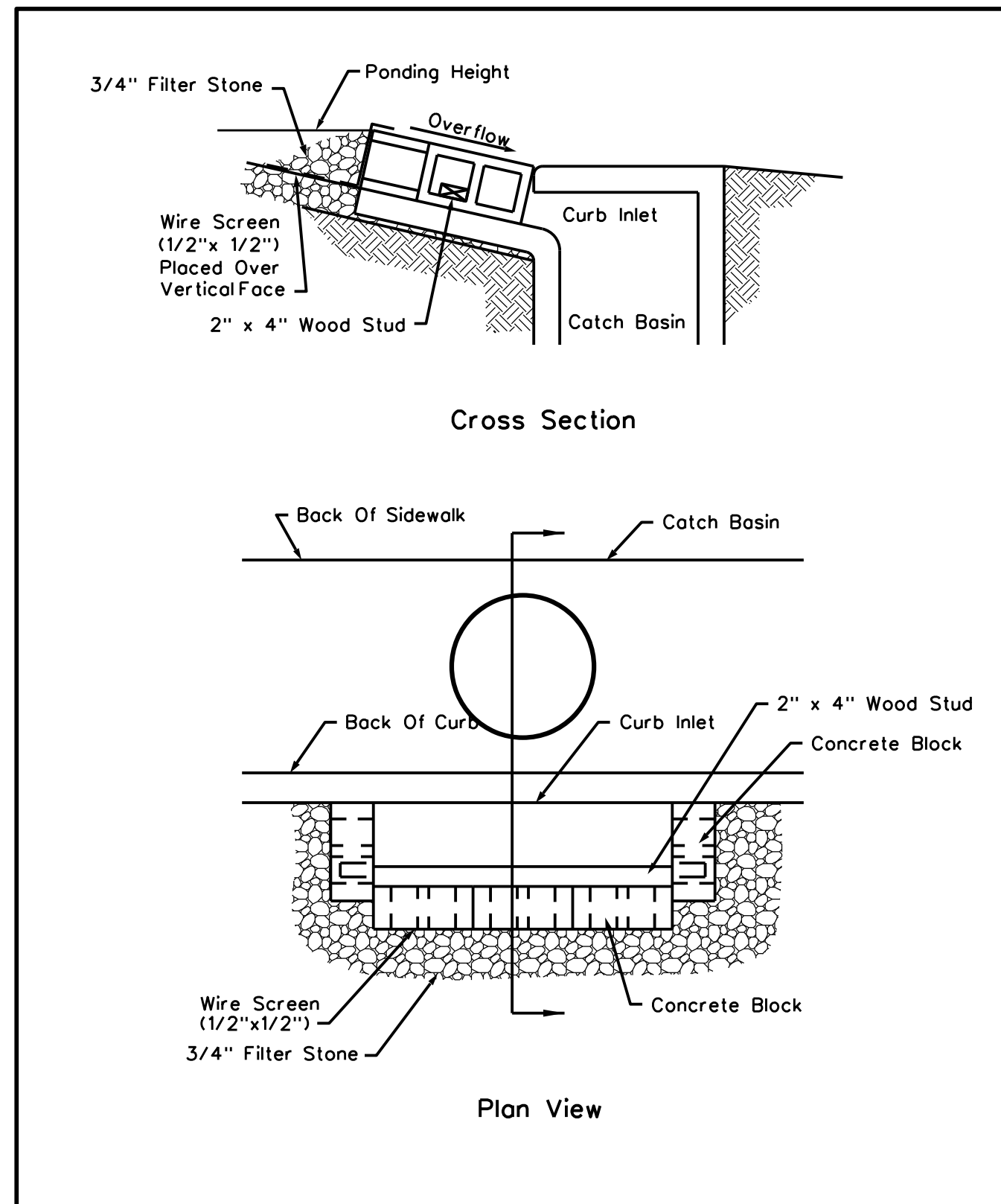
REV	DATE	DESCRIPTION

GRADING & UTILITY PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

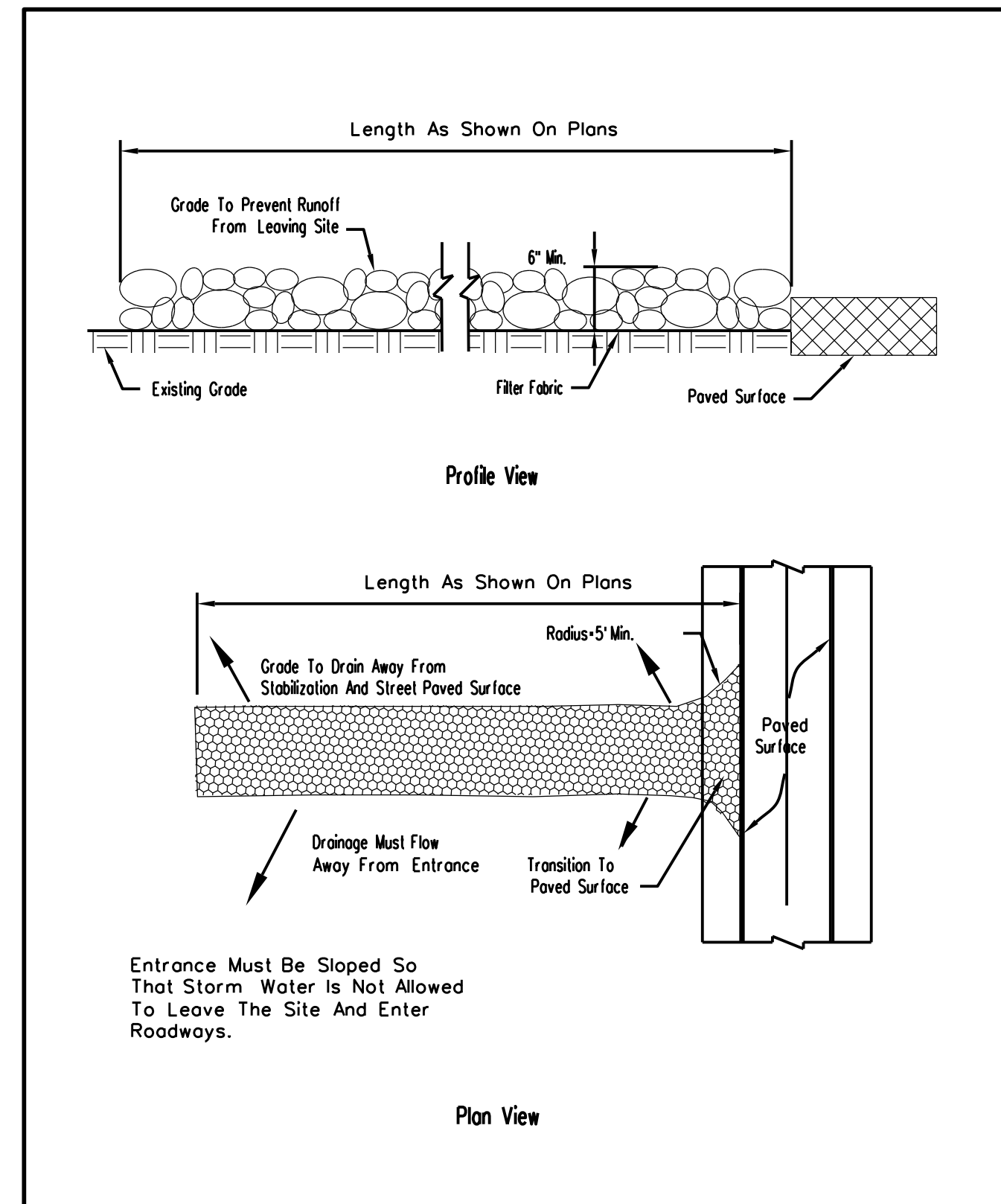
	618 Main Street Garland, TX 75040 Ph: (972) 694-8331 Fax: (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530
	DESIGN: DBP	CHECK: DBP



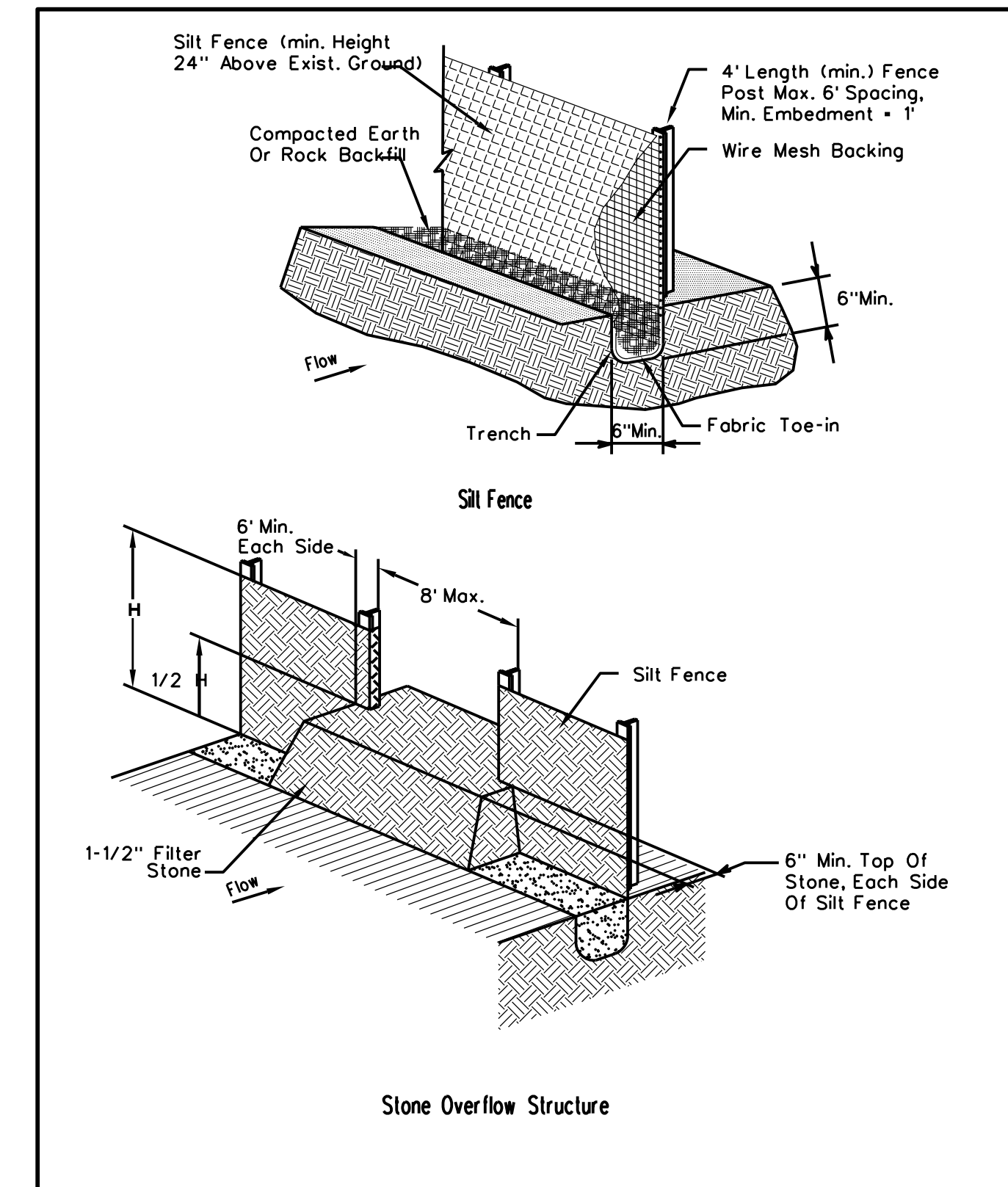
S-4



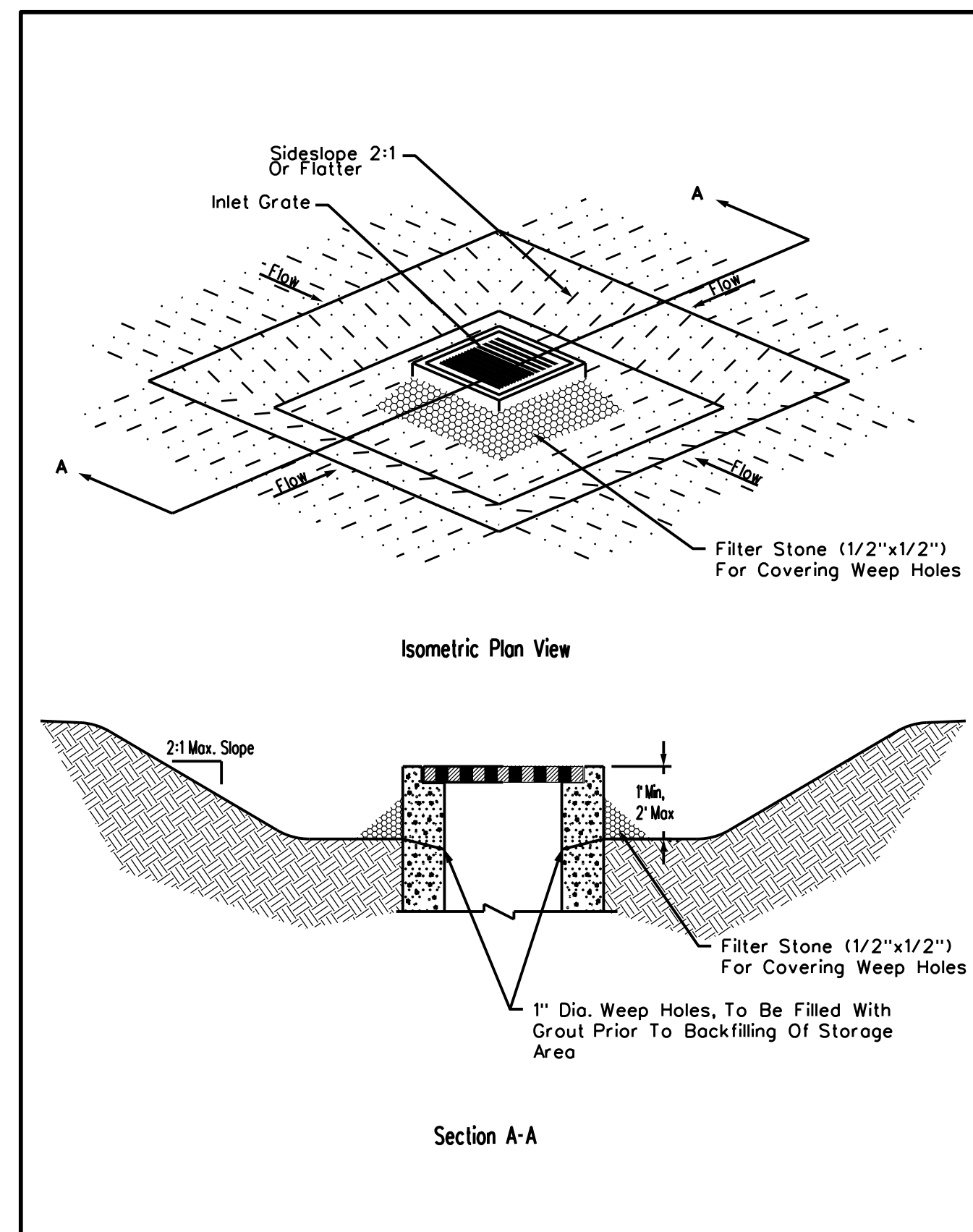
S-4



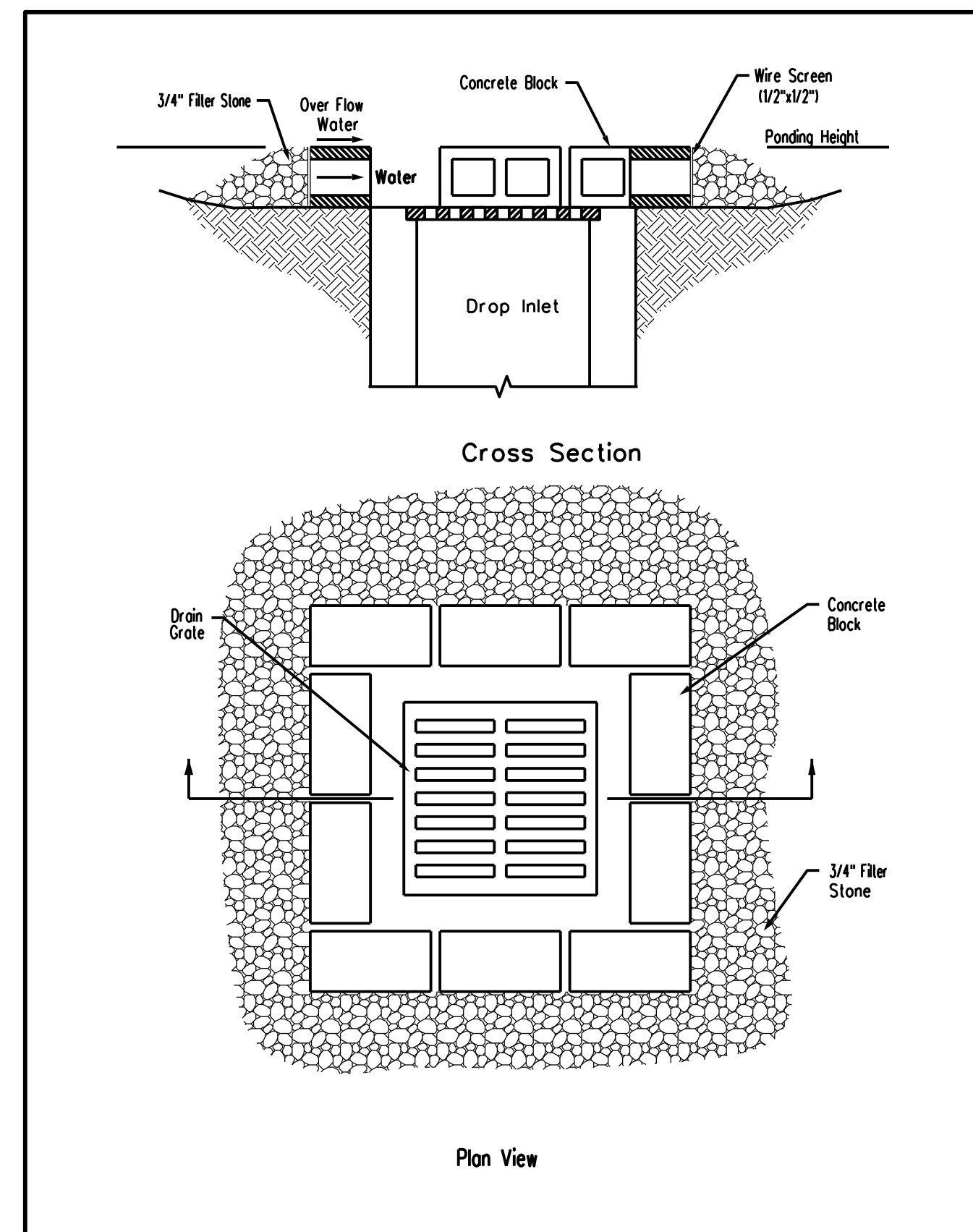
S-9



S-1



S-4



S-4

THE FOLLOWING NON-STORM WATER DISCHARGES FROM SITES AUTHORIZED UNDER THE GENERAL PERMIT ARE ALSO ELIGIBLE FOR AUTHORIZATION UNDER THE GENERAL PERMIT:

- DISCHARGES FROM FIRE FIGHTING ACTIVITIES (FIRE FIGHTING ACTIVITIES DO NOT INCLUDE WASHING OF TRUCKS, RUN-OFF WATER FROM TRAINING ACTIVITIES, TEST WATER FROM FIRE SUPPRESSION SYSTEMS, AND SIMILAR ACTIVITIES);
- UNCONTAMINATED FIRE HYDRANT FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE), WHICH INCLUDE FLUSHINGS FROM SYSTEMS THAT UTILIZE POTABLE WATER, SURFACE WATER, OR GROUNDWATER THAT DOES NOT CONTAIN ADDITIONAL POLLUTANTS (UNCONTAMINATED FIRE HYDRANT FLUSHINGS DO NOT INCLUDE SYSTEMS UTILIZING RECLAIMED WASTEWATER AS A SOURCE WATER);
- WATER FROM THE ROUTINE EXTERNAL WASHING OF VEHICLES, THE EXTERNAL PORTION OF BUILDINGS OR STRUCTURES, AND PAVEMENT, WHERE DETERGENTS AND SOAPS ARE NOT USED AND WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED; AND IF LOCAL STATE OR FEDERAL REGULATIONS ARE APPLICABLE, THE MATERIALS ARE REMOVED ACCORDING TO THOSE REGULATIONS), AND WHERE THE PURPOSE IS TO REMOVE MUD, DIRT, OR DUST;
- UNCONTAMINATED WATER USED TO CONTROL DUST;
- POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE);
- UNCONTAMINATED AIR CONDITIONING CONDENSATE;
- UNCONTAMINATED GROUND WATER OR SPRING WATER, INCLUDING FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH INDUSTRIAL MATERIALS SUCH AS SOLVENTS; AND
- LAWN WATERING AND SIMILAR IRRIGATION DRAINAGE.

HYPERCHLORINATED WATER (3.5 MG/L OR GREATER OF FREE CHLORINE) RESULTING FROM WATERLINE STERILIZATION SHALL BE DECHLORINATED AND NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE.

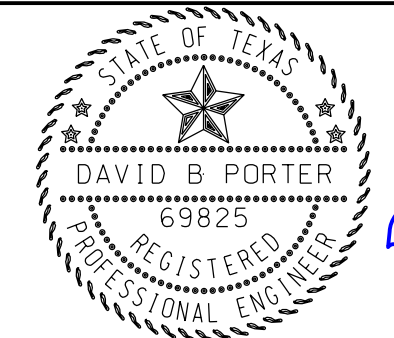
NOTE:

- DISTURBED AREAS, INCLUDING HOUSE LOTS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED (TEMPORARILY OR PERMANENTLY), SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.
- MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR GREATER, GREATER, IF A REPAIR IS NECESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE BUT WITHIN 48 HOURS.

PROJECT NAME & LOCATION: HABITAT FOR HUMANITY
 OPERATOR NAME & ADDRESS: 305 BLANCHE DRIVE ROCKWALL, TEXAS 75032
 DETAILED PROJECT DESCRIPTION: RESIDENTIAL CONSTRUCTION
 TOTAL PROJECT AREA: 7,650 SQ FT
 TOTAL AREA TO BE DISTURBED: 7,650 SQ FT
 ESTIMATED PROJECT START DATE: JULY 2021
 ESTIMATED PROJECT END DATE: OCTOBER 2021
 EROSION & SEDIMENT BMPs: S-1, S-9
 HOUSEKEEPING BMPs: M-1, M-2, M-3, M-4, M-5, M-6, M-7
 STABILIZATION PRACTICES: ESTABLISHED VEGETATION, ESTABLISHED PERENNIAL VEGETATION, PAVING
 NOTE: BMPs to be used shall be those from the City of Rockwall "Standard Erosion Control" sheets, or from the most recent version of the "NCTCOG ISWM Design Manual For Construction".

SIGNATORY REQUIREMENT
 I CERTIFY THAT THE INFORMATION PROVIDED IN THIS DOCUMENT REPRESENTS EROSION CONTROL MEASURES PLANNED FOR THE SUBJECT PROJECT AND IS TRUE, ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT I UNDERSTAND MY RESPONSIBILITIES UNDER THE CONDITIONS OF THIS EROSION CONTROL PLAN.

PROJECT OPERATOR:
 PRINTED NAME: _____
 TITLE: _____
 SIGNATURE: _____
 PREPARED BY: R-DELTA ENGINEERS, INC.



David B. Porter

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

TBPE Registration No. F-001515

REV	DATE	DESCRIPTION
△		

EROSION CONTROL DETAILS

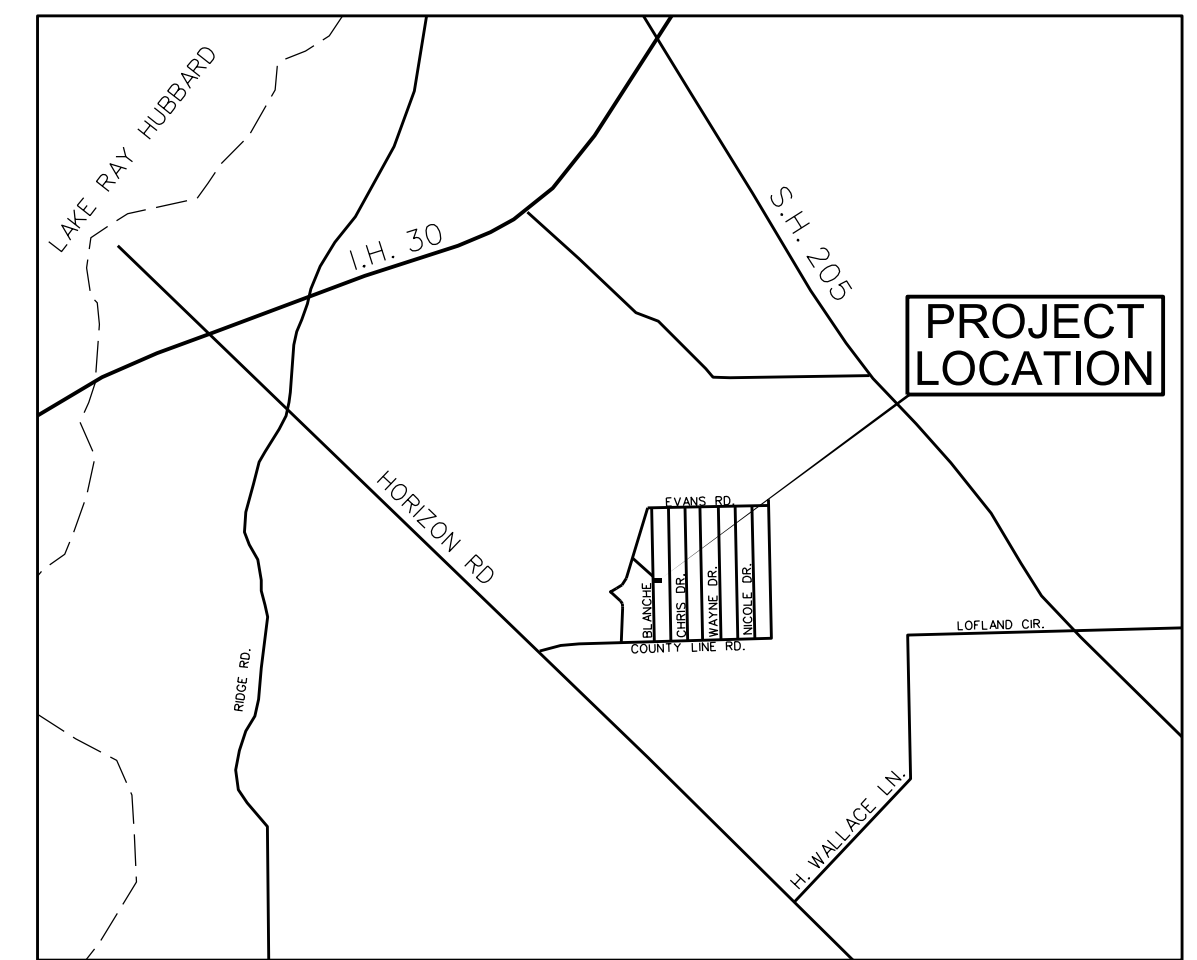
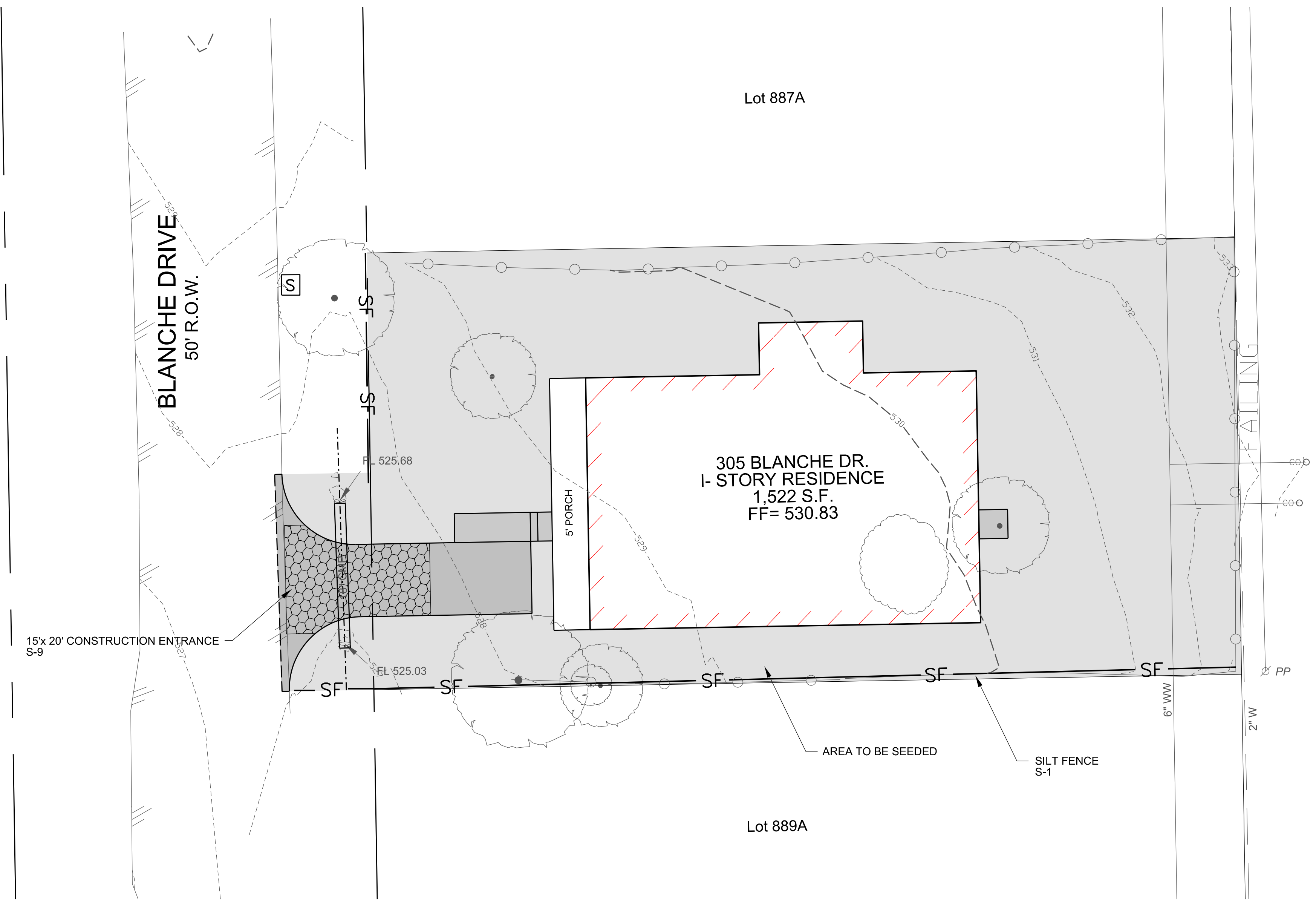
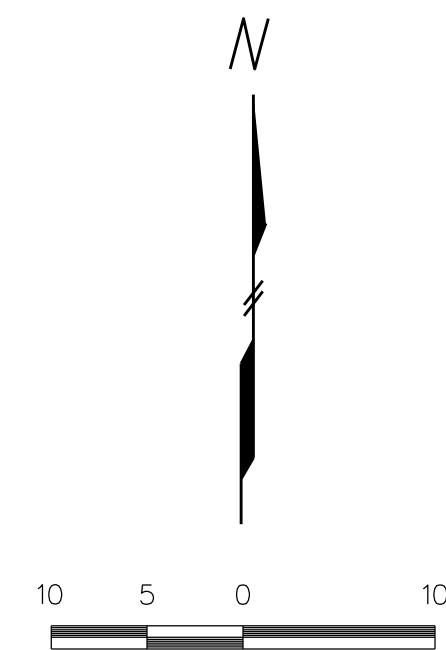
305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET: 4 OF 5
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	


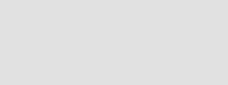
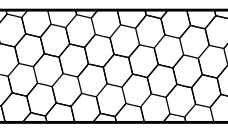


rdelta ENGINEERS
 618 Main Street
 Garland, TX 75040
 Ph. (972) 694-5511
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

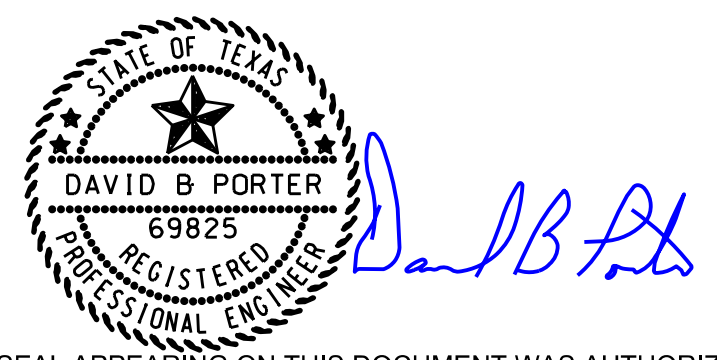
HABITAT FOR HUMANITY OF GREATER GARLAND, INC.
 2350 CRIST RD.
 SUITE 700
 GARLAND, TEXAS 75040
 TEL. (972) 272-8530

NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



VICINITY MAP
 N.T.S. MAPSCO 30C-M

- LEGEND**
-  CONCRETE DRIVEWAY/SIDEWALK
 -  AREA TO BE SEEDED
 -  CONSTRUCTION ENTRANCE
 -  SANITARY FACILITY
 -  SILT FENCE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

EROSION AND SEDIMENTATION CONTROL NOTES

- 1) EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK AND SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 2) EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.
- 3) SURFACE WATER RUNOFF SHALL BE KEPT FROM ENTERING INTO ANY EXCAVATED AREAS AND UTILITY TRENCHES AT ALL TIMES.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
- 5) THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING, OR OTHER APPROVED EROSION CONTROL PRODUCTS, AS NEEDED. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE CITY ENGINEER'S OFFICE DURING ON-SITE INSPECTIONS.
- 6) ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS OR THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) MANUAL OF "STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES" (BMP MANUAL).
- 7) RECEIVING WATERS SHALL BE PROTECTED FROM UNFILTERED STORM WATER RUNOFF AT ALL TIMES.
- 8) THE LOCATIONS OF EROSION CONTROL DEVICES SHOWN ON THIS PLAN ARE APPROXIMATE AND WILL BE MODIFIED AS DIRECTED BY THE ENGINEERING DEPARTMENT AS TO PREVENT UNFILTERED STORMWATER FROM EXITING CONSTRUCTION AREAS.
- 9) STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT ANY OTHER POINT OF ENTRY/EXIT TO THE PROJECT AS APPROVED BY THE CITY ENGINEER'S OFFICE. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE PROJECT AREA VIA THIS STABILIZED CONSTRUCTION ENTRANCE.

REV	DATE	DESCRIPTION
△		

EROSION CONTROL PLAN

305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

rdelta ENGINEERS		618 Main Street Garland, TX 75040 Ph: (972) 694-8331 Fax: (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL: (972) 272-8530
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET: 5 OF 5
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/23/2021

PROJECT NUMBER: Z2021-039
PROJECT NAME: SUP for Residential Infill at 305 Blanche Drive
SITE ADDRESS/LOCATIONS: 305 BLANCHE DR, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Gamez	09/23/2021	Approved w/ Comments

09/23/2021: Z2021-039; Specific Use Permit (SUP) for Residential Infill for 305 Blanche Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (Z2021-039) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 The addition of a garage or carport must meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage or carport be situated a minimum of 20-feet behind the front façade of the single-family home.
- M.7 Please review the attached Draft Ordinance prior to the September 28, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 5, 2021.
- I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 5, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 12, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 28, 2021.
- I.9 The projected City Council meeting dates for this case will be October 18, 2021 [1st Reading] and November 1, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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ENGINEERING	Sarah Johnston	09/23/2021	Approved w/ Comments
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09/23/2021: I - Driveway culvert to be designed by an engineer for the building permit. Culvert may need to be larger diameter.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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BUILDING	Rusty McDowell	09/22/2021	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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FIRE	Ariana Kistner	09/22/2021	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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GIS	Lance Singleton	09/20/2021	Approved w/ Comments
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09/20/2021: Address will be 305 BLANCHE DR, ROCKWALL, 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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PARKS	Travis Sales	09/20/2021	Approved w/ Comments
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09/20/2021: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 305 Blanche Rd

SUBDIVISION Rockwall Lake Est #2 Lot 888A LOT 888A BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Single Family Home

CURRENT USE Empty lot

PROPOSED ZONING Single Family Home

PROPOSED USE Home

ACREAGE .1650

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Habitat for Humanity APPLICANT

CONTACT PERSON Peter Muhl

CONTACT PERSON

ADDRESS 1101 Ridge Rd #4

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP

PHONE 214-704-3455

PHONE

E-MAIL peter@northmesquiteplumbing.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

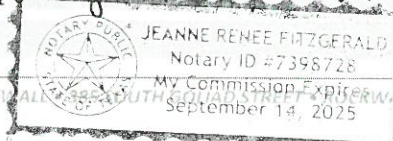
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021

OWNER'S SIGNATURE Sally Muhl, VP

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES September 14, 2025



Z2021-029- SUP FOR RESIDENTIAL INFILL
 AT 305 BLANCHE ROAD
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

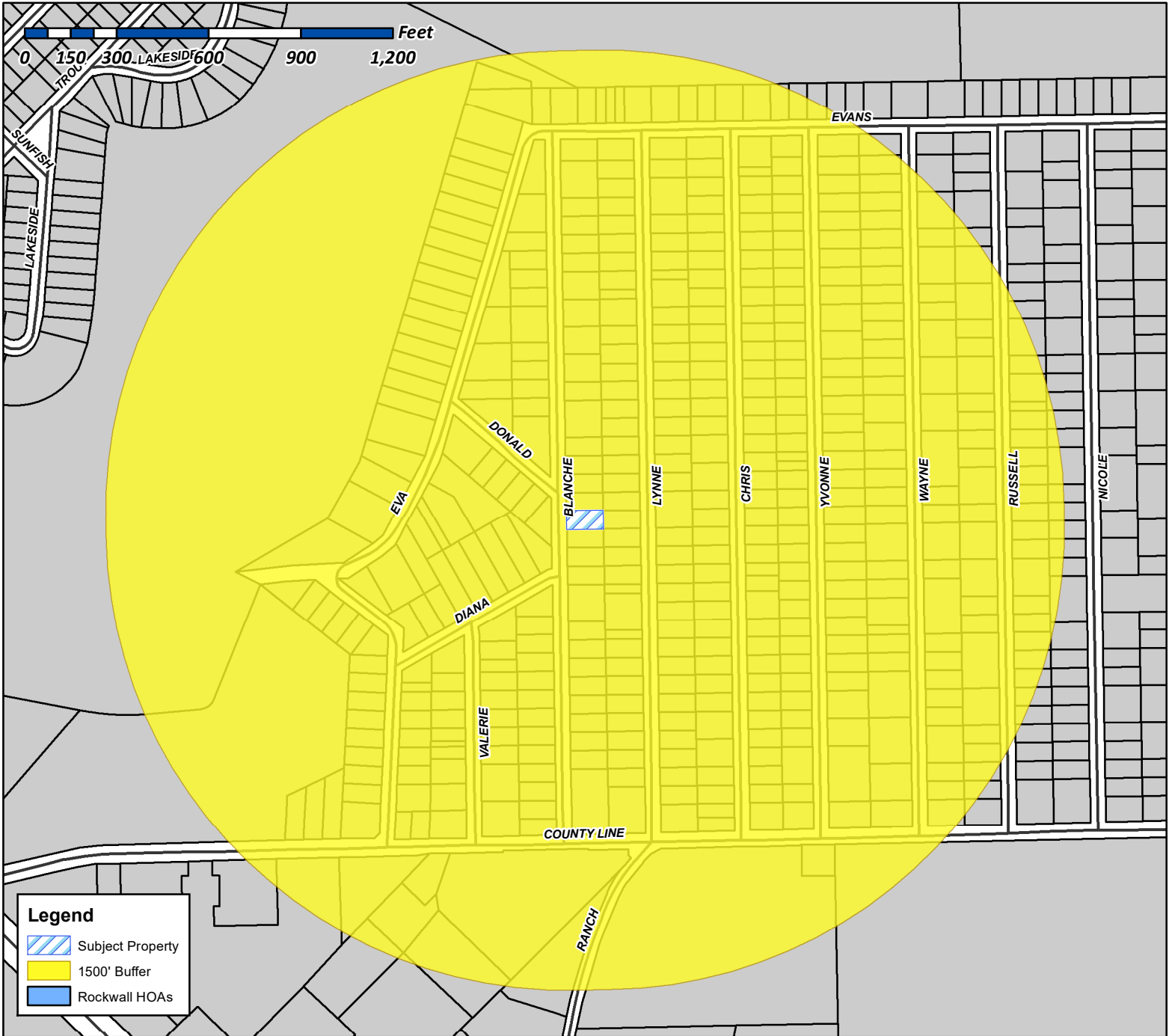




City of Rockwall

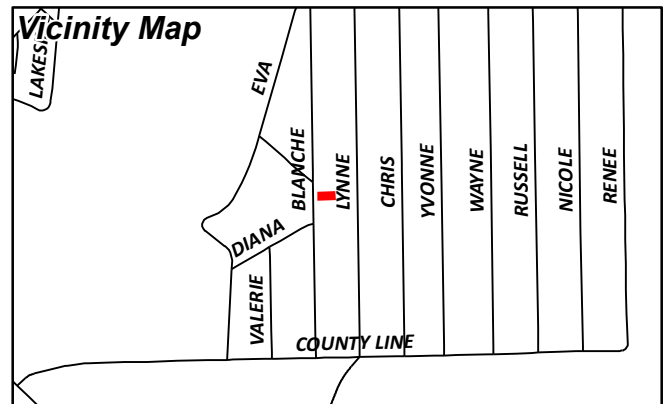
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Case Number: Z2021-039
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive

Date Created: 9/16/2021
For Questions on this Case Call (972) 771-7745

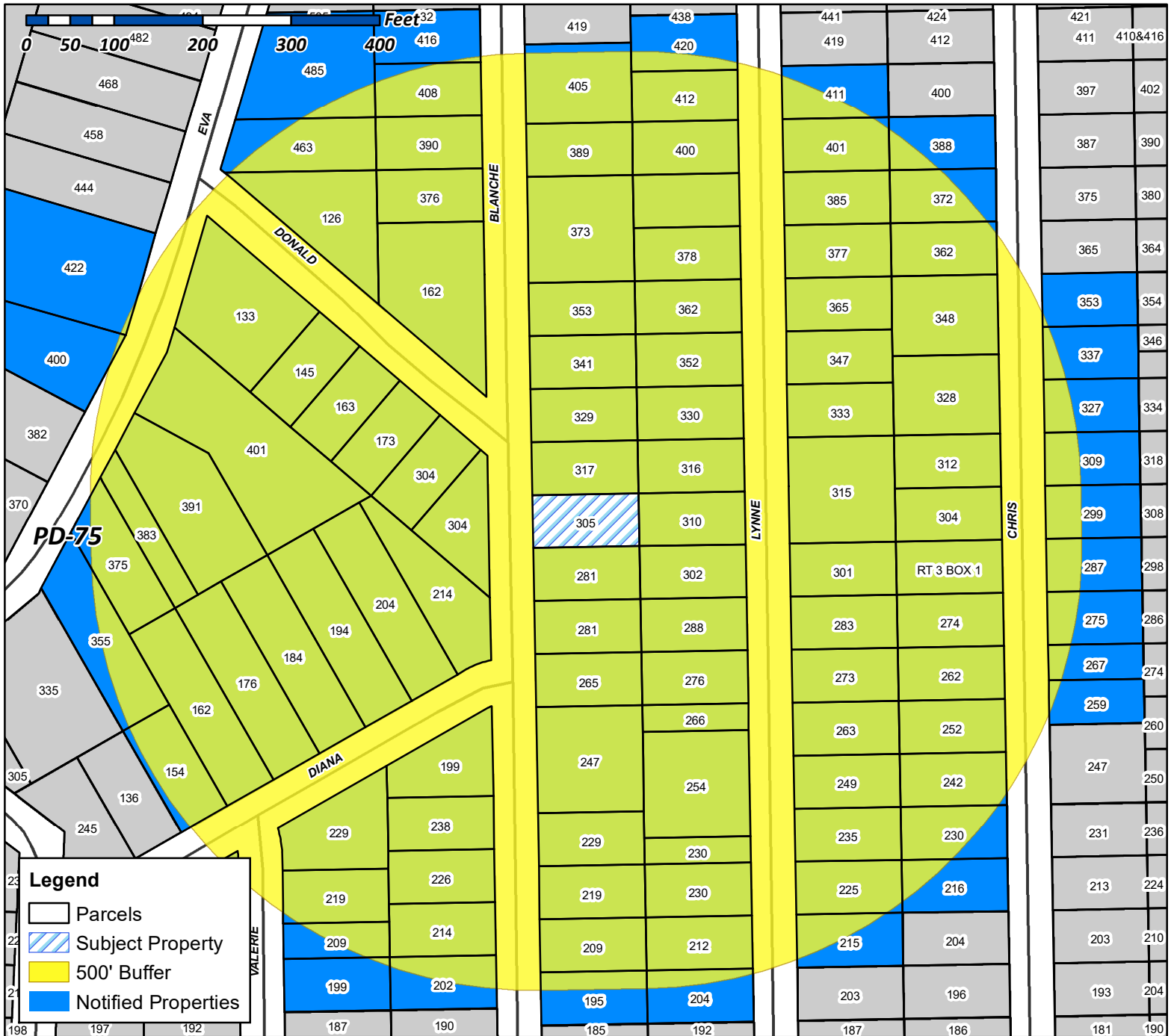




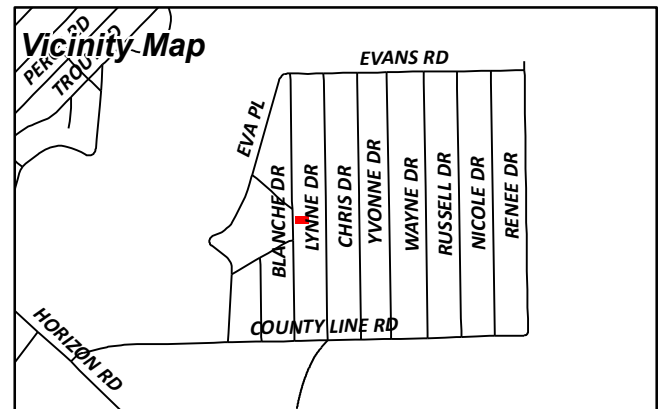
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For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
11540 SINCLAIR AVENUE
DALLAS, TX 75218

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL
118 ALTHEA RD
ROCKWALL, TX 75032

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

ADAMS JAMES W
126 DONALD DR
ROCKWALL, TX 75032

MORRIS AUBREY KEITH
133 DONALD DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

CROWDER DAVID
145 BETHEL RD
GREENVILLE, TX 75402

MARTINEZ PERLA
145 DONALD DR
ROCKWALL, TX 75087

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

GRAY DOROTHY M
162 DONALD DR
ROCKWALL, TX 75032

MORENO FABIOLA
163 DONALD
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75043

FIELDS JIMMIE
173 DONALD DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
176 DIANA
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
184 LILLIAN DR
ROCKWALL, TX 75032

SARABIA SILVESTRE
194 DIANA
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

BODEN ERIC
(MR)
204 DIANA
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

BODEN ERIC
(MR)
214 DIANA
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
218 LAKESIDE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

MUK YAN CHING
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLEN RD
DALLAS, TX 75228

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
259 CHRIS DR
ROCKWALL, TX 75032

NAVA ANA L
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
265 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
266 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
267 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
273 LYNNE DR
ROCKWALL, TX 75032

CHAPELA AARON JAIME
274 CHRIS DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
276 LYNNE DR
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
283 LYNNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
288 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE
302 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA
304 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY
305 BLANCHE DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA
310 LYNNE DR
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
311 E I-30
ROCKWALL, TX 75087

BALDERAS JOSE G
312 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
315 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
316 LYNNE DR
ROCKWALL, TX 75032

STRANGE MARY JANNETTE
317 BLANCHE DR
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

UC F JOSE FAUSTO
329 BLANCHE DR
ROCKWALL, TX 75032

MORENO SALVADOR
330 LYNNE DR
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL
341 BLANCHE DR
ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L
348 CHRIS DR
ROCKWALL, TX 75032

MORENO SALVADOR
352 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
353 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

BARNARD DANIEL
353 CHRIS DRIVE
ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH
355 EVA
ROCKWALL, TX 75032

GALLEGOS MAURO & MARIA
362 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
362 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
372 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
375 EVA
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

SILVA ROBERTO
377 LYNNE DR
ROCKWALL, TX 75032

TOSCANO ANTONIA
378 LYNNE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
383 EVA PL
ROCKWALL, TX 75032

ESPINOZA ROBERTO & MARIA
385 LYNNE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA
388 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
389 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
390 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
391 EVA
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
400 EVA
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
401 EVA
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE E
405 BLANCHE DR
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
408 BLANCHE DR
ROCKWALL, TX 75032

VARGAS FRANCISCO
411 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
412 LYNNE DR
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
422 EVA
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
463 EVA PL
ROCKWALL, TX 75032

ADAMS JAMES W
485 EVA
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

SILVA ROBERTO
8766 CR 2586
ROYSE CITY, TX 75189

MUK YAN CHING
908 S WEATHERED DR UNIT 8
RICHARDSON, TX 75080

SARABIA SILVESTRE
929 S PEORIA ST APT G21S
AURORA, CO 80012

FIELDS JIMMIE
PO BOX 1115
ROYSE CITY, TX 75189

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
RT 3 BOX 1 CHRIS DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 18, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 18, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

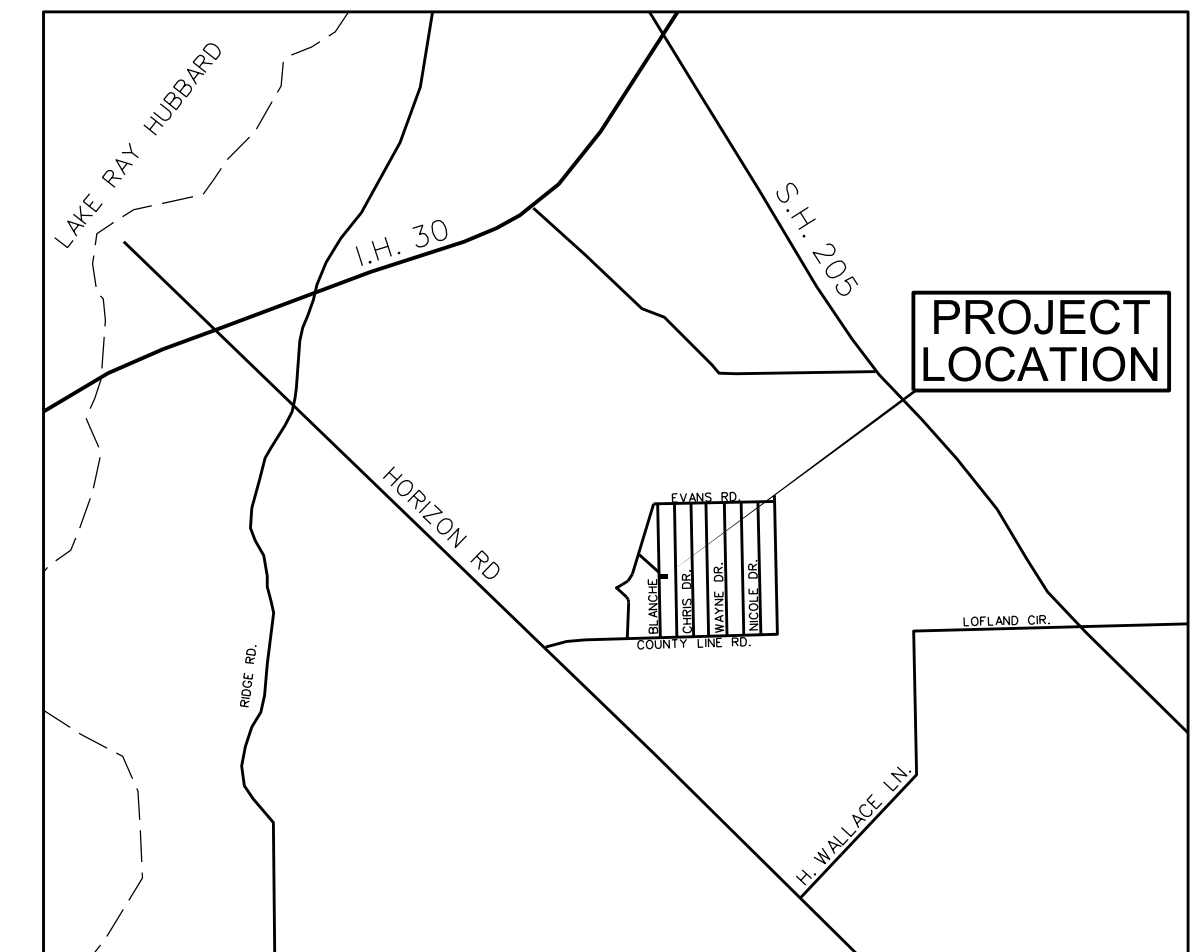
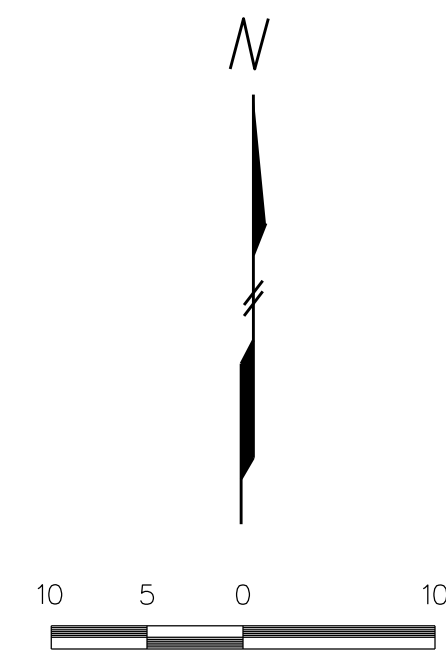
Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

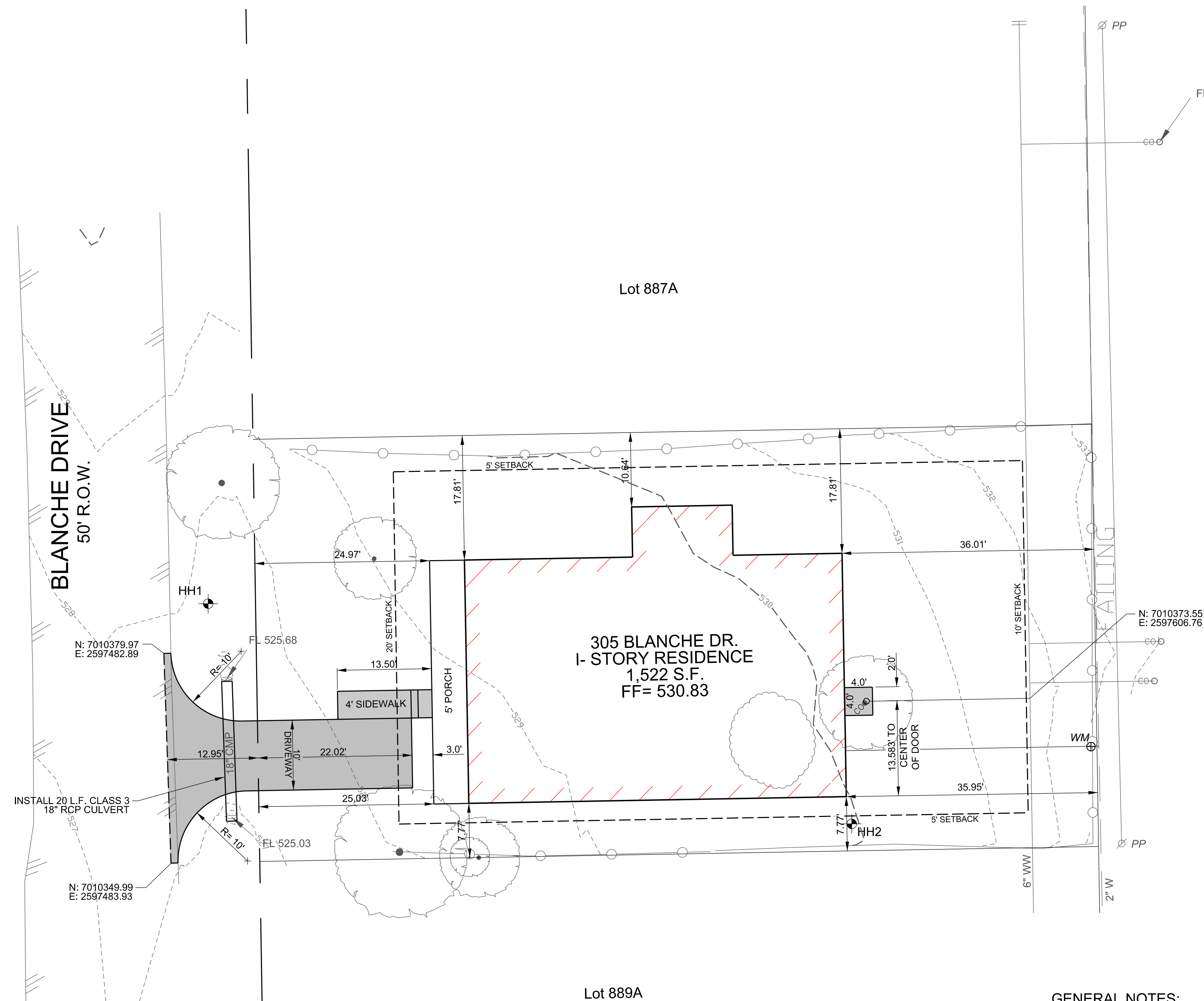
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

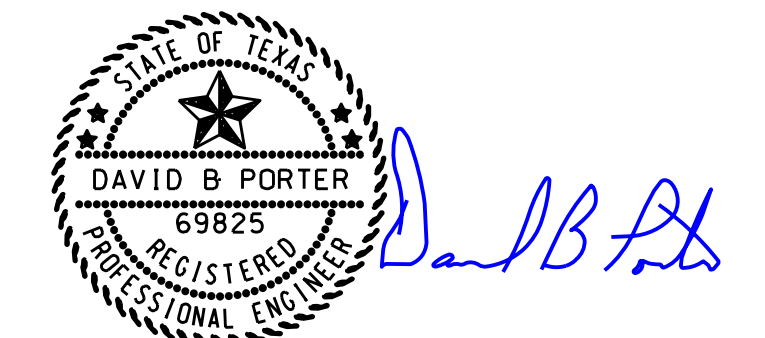
NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



VICINITY MAP
 N.T.S. MAPSCO 30C-M



ZONING: PD-75 (AREA 2)
 SETBACKS: FRONT - 20'
 REAR - 10'
 SIDES - 5'
 MAXIMUM HEIGHT - 32'
 LOT COVERAGE - 30.3%
 OWNER:
 HABITAT FOR HUMANITY
 CONTACT - PETER MUHL (214)704-3455



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

BASIS OF BEARINGS:	
All bearings and coordinates are shown on North Central Zone (4202) of the Texas Coordinate System of 1983, and were obtained using Global Navigational Satellite System methods. The orthometric heights reported here are based on the North American Vertical Datum of 1988 (NAVD88) using GEOID18. Monuments.	
HH1	HH2
N = 7,010,387.08	N = 7,010,355.61
E = 2,597,489.23	E = 2,597,581.26
ELEV. = 527.21	ELEV. = 530.05

CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.

GENERAL NOTES:

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- The City of Rockwall Engineering Department's "General Construction Notes", Sheets 1 & 2 are incorporated to these plans by reference. The CONTRACTOR shall possess one copy of the General Construction notes on the project site at all times.

REV	DATE	DESCRIPTION

SITE PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

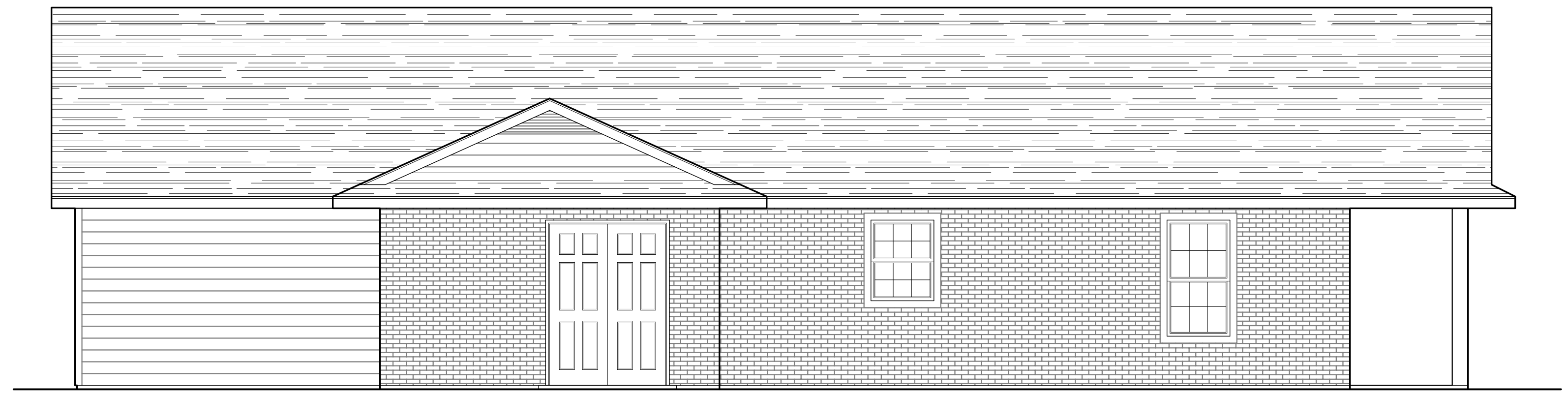
		618 Main Street Garland, TX 75040 Ph. (972) 694-5331 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:		
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	1 OF 5		



1 EXTERIOR ELEVATION - FRONT

0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - LEFT

0 4'-0" 8'-0" 12'-0"

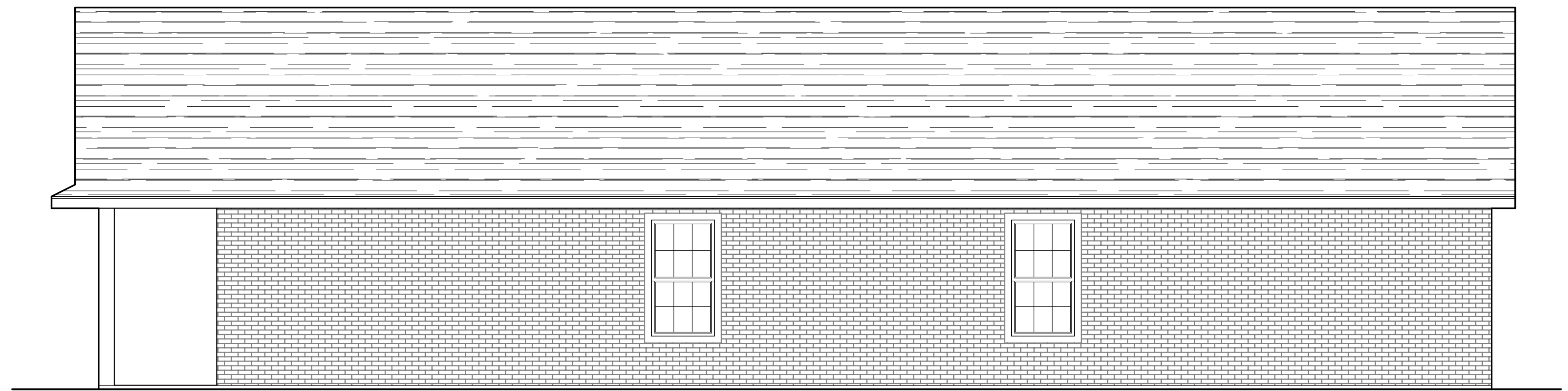
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION - BACK

0 4'-0" 8'-0" 12'-0"

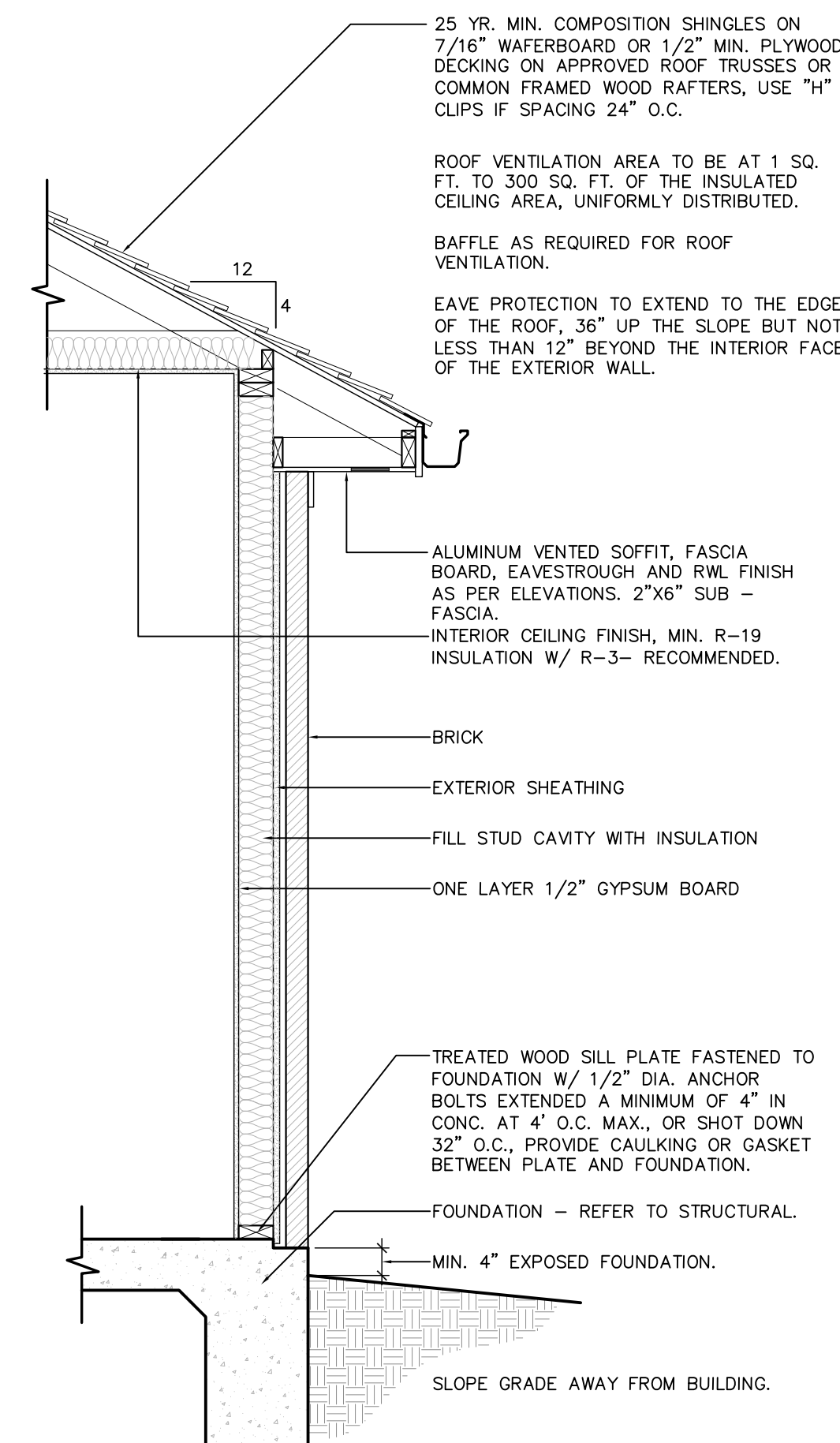
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4 EXTERIOR ELEVATION - RIGHT

0 4'-0" 8'-0" 12'-0"

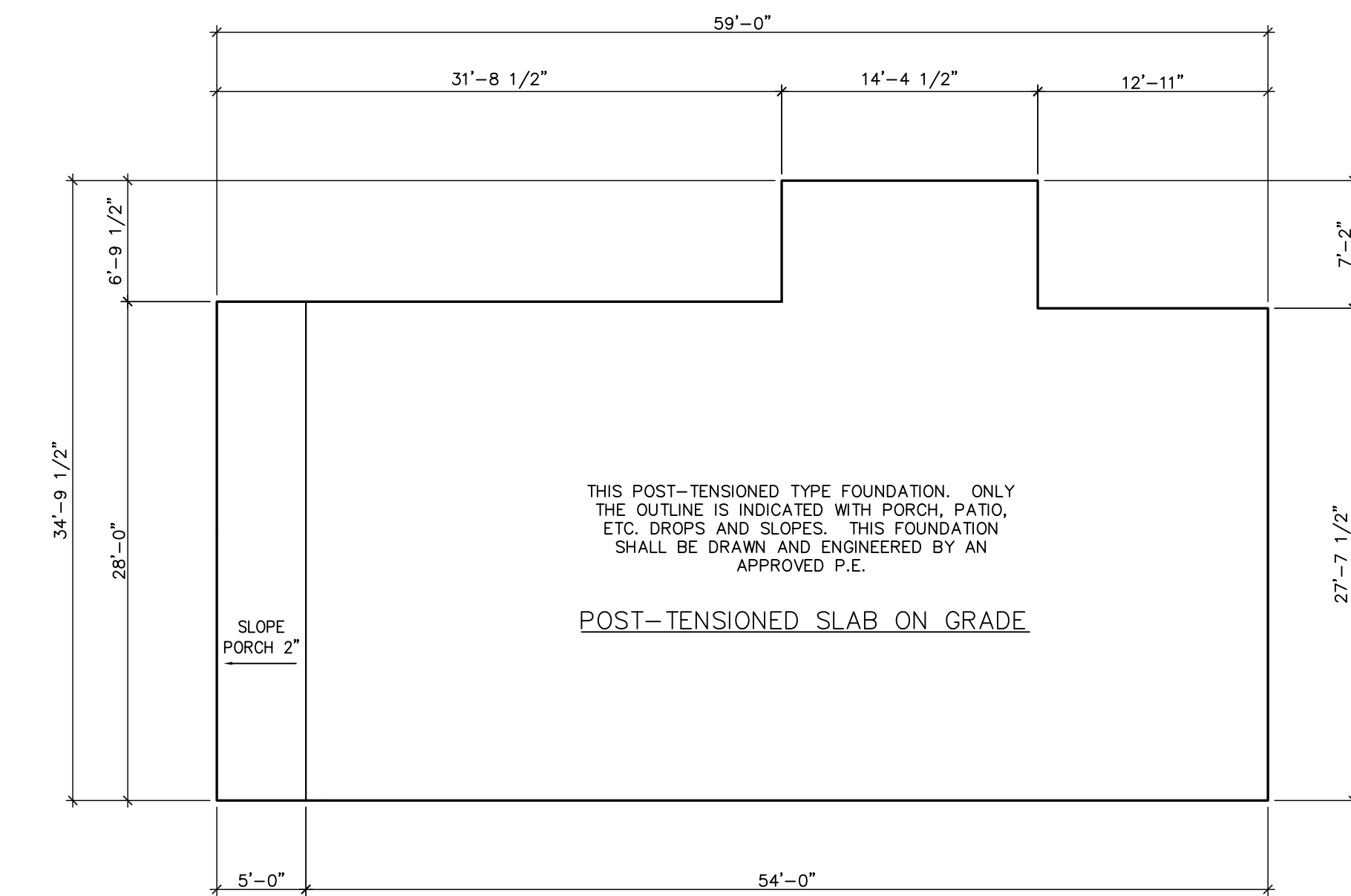
SCALE: 1/4"=1'-0"



5 TYPICAL WALL SECTION

NOT TO SCALE

6 FOUNDATION PLAN

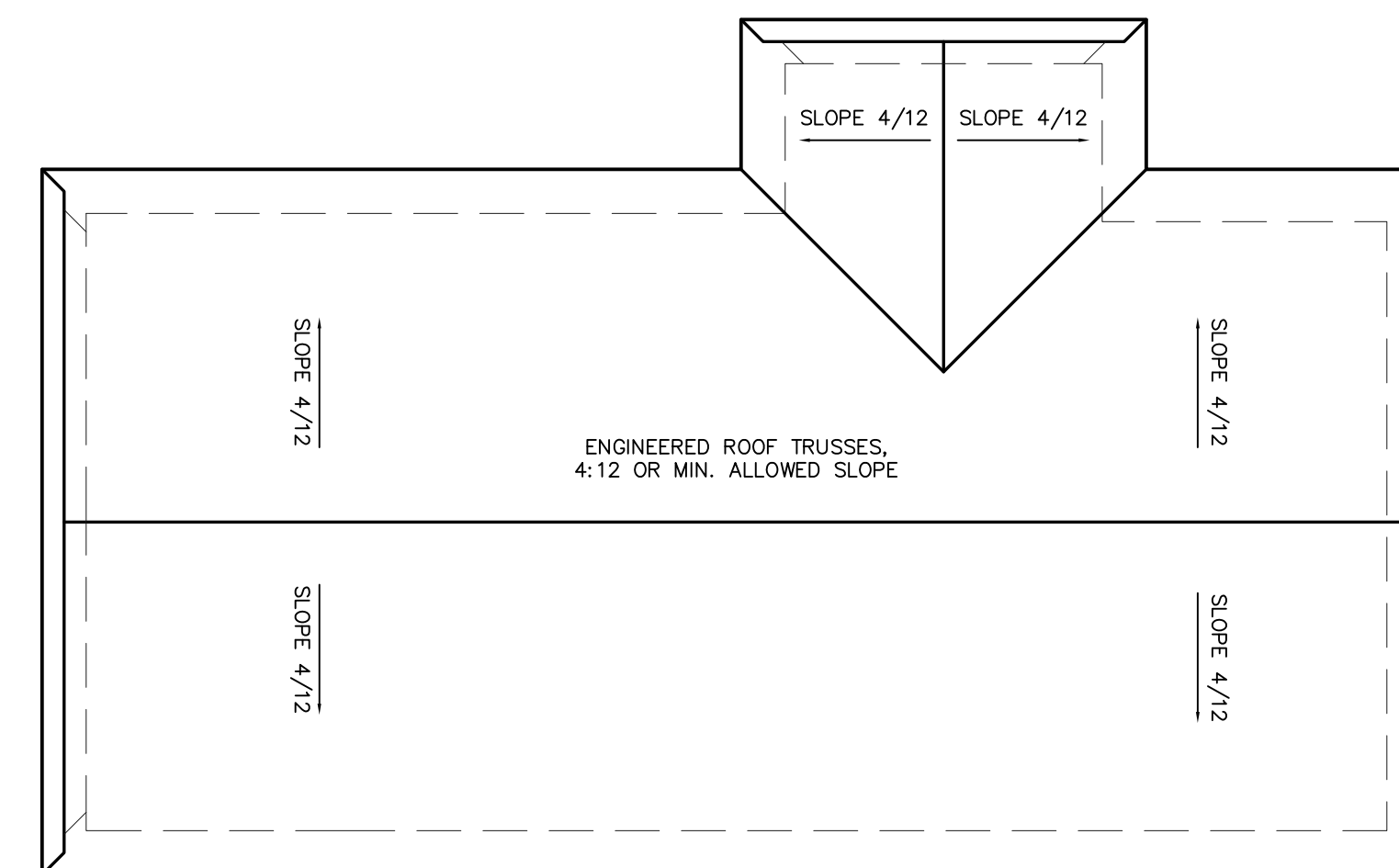


6 FOUNDATION PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"

7 ROOF PLAN



7 ROOF PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF NOVEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition

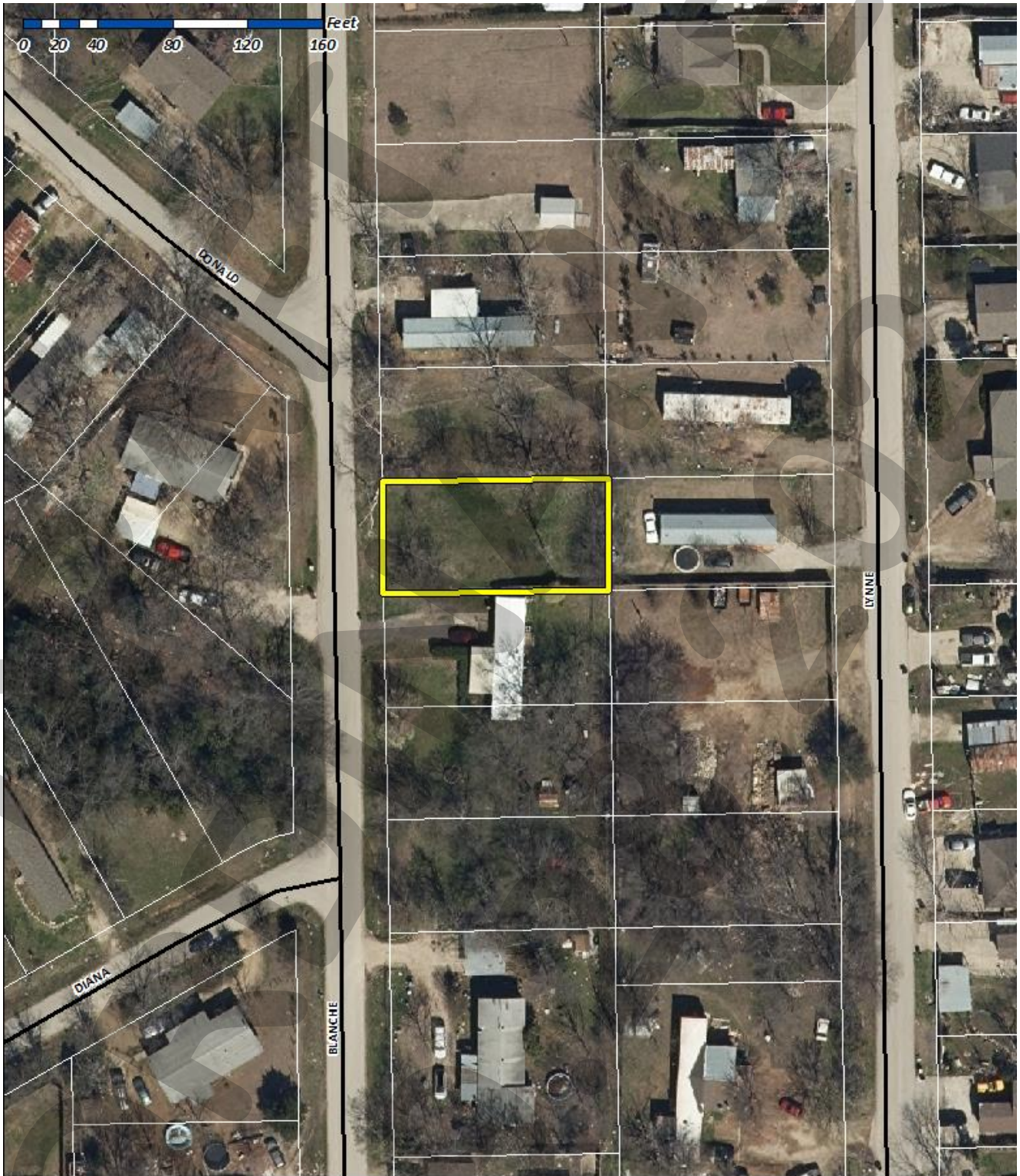
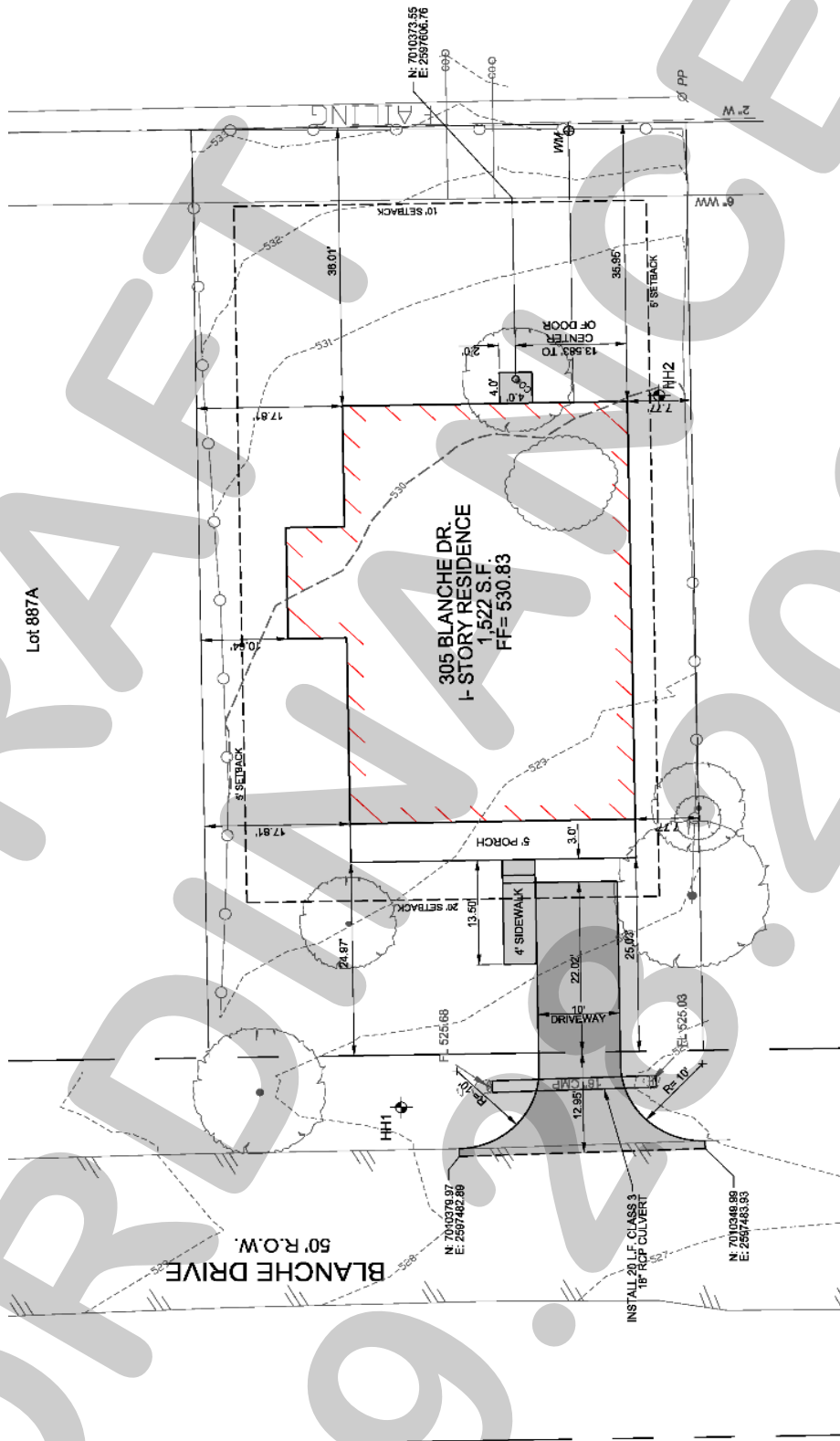
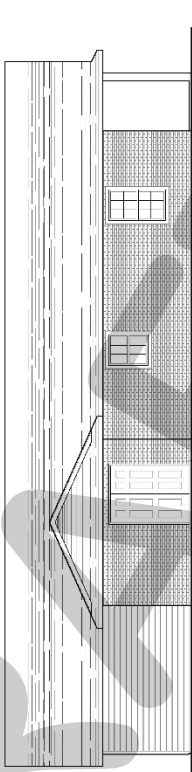


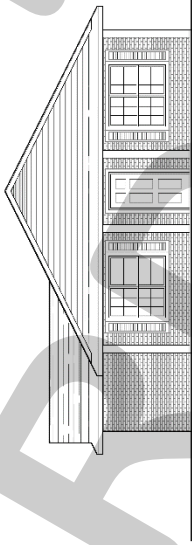
Exhibit 'B':
Residential Plot Plan



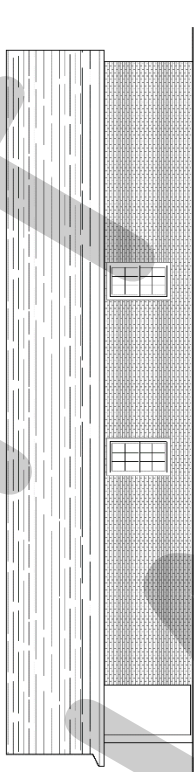
**Exhibit 'C':
Building Elevations**



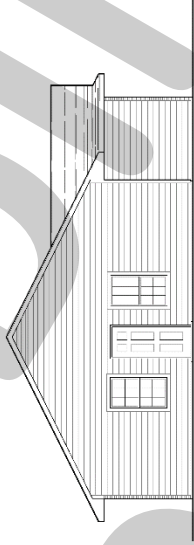
1 EXTERIOR ELEVATION - FRONT



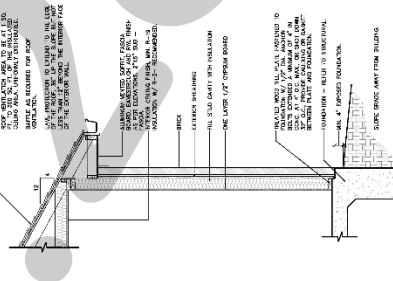
2 EXTERIOR ELEVATION - BACK



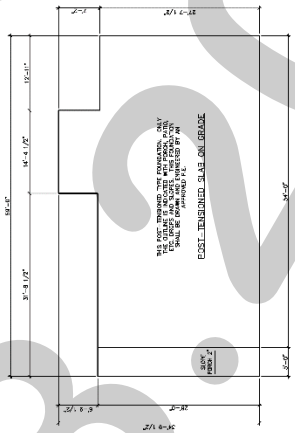
3 EXTERIOR ELEVATION - LEFT



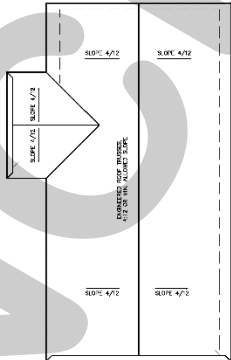
4 EXTERIOR ELEVATION - RIGHT



5 TYPICAL WALL SECTION



6 FOUNDATION PLAN



7 ROOF PLAN



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 12, 2021
APPLICANT: Peter Muhl; *Rockwall Habitat for Humanity*
CASE NUMBER: Z2021-039; *Specific Use Permit (SUP) for a Residential Infill for 305 Blanche Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 888-A of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. At the time of annexation, one (1) manufactured homes were situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. Based on aerial imagery the manufactured home that was situated on the subject property at the time of annexation was demolished between August 2012 and October 2013. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 305 Blanche Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Lynne Drive, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Blanche Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Blanche Drive, Diana Drive, and Donald Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive, Diana Drive, and Donald Drive	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Blanche Drive are oriented toward Blanche Drive.	The front elevation of the home will face onto Blanche Drive.
Year Built	1975-2000	N/A
Building SF on Property	672 SF - 1,808 SF	1,522 SF
Building Architecture	Various (<i>Majority Mobile/Manufactured Homes</i>)	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated Between 15-Feet and 20-Feet	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	36.01-Feet
Building Materials	Hardie Board, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of Hardie Board Siding and Brick
Paint and Color	Yellow, Tan, Brown, White, Green, and Teal	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle on Waferboard or Plywood decking
Driveways/Garages	Driveways are all in the front and visible from Blanche Drive; however, some are behind front yard fences. None of the homes have enclosed garages.	The proposed home does not include a garage/carport.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is not proposing a garage with the home. The addition of a garage or carport must meet the standards established in Subsection 07.04, *Accessory Structure Development Standards* of Article 04, of the Unified Development Code (UDC). With the exception of not having a garage, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Blanche Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On September 23, 2021, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 305 Blanche Rd

SUBDIVISION Rockwall Lake Est #2 Lot 888A LOT 888A BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Single Family Home

CURRENT USE Empty lot

PROPOSED ZONING Single Family Home

PROPOSED USE Home

ACREAGE .1650

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Habitat for Humanity APPLICANT

CONTACT PERSON Peter Muhl

CONTACT PERSON

ADDRESS 1101 Ridge Rd #4

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP

PHONE 214-704-3455

PHONE

E-MAIL peter@northmesquiteplumbing.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

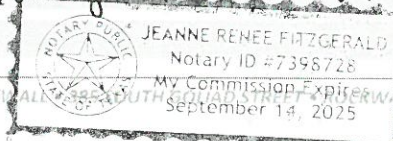
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021

OWNER'S SIGNATURE Sally Muhl, VP

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES September 14, 2025



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

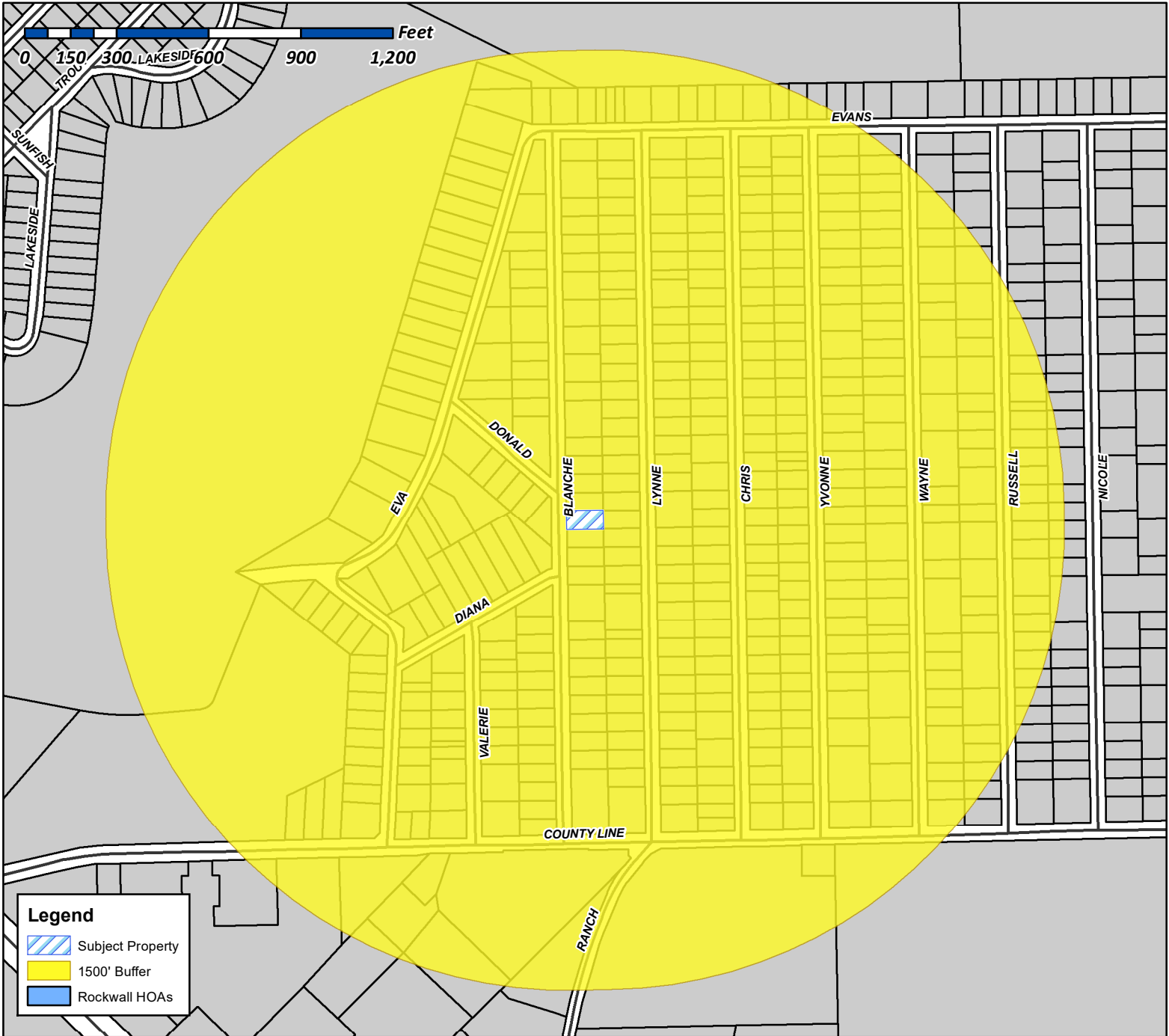




City of Rockwall

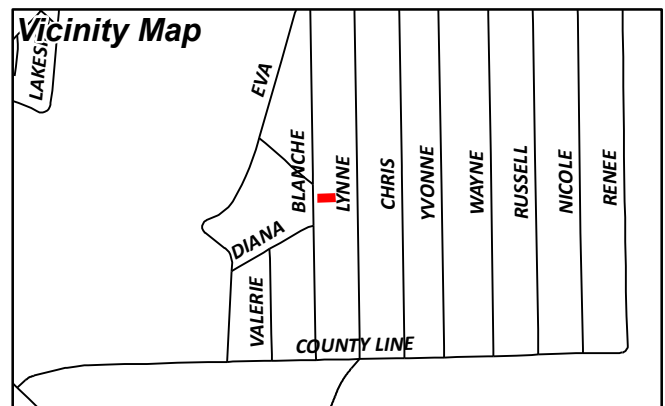
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Case Number: Z2021-039
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive

Date Created: 9/16/2021
For Questions on this Case Call (972) 771-7745

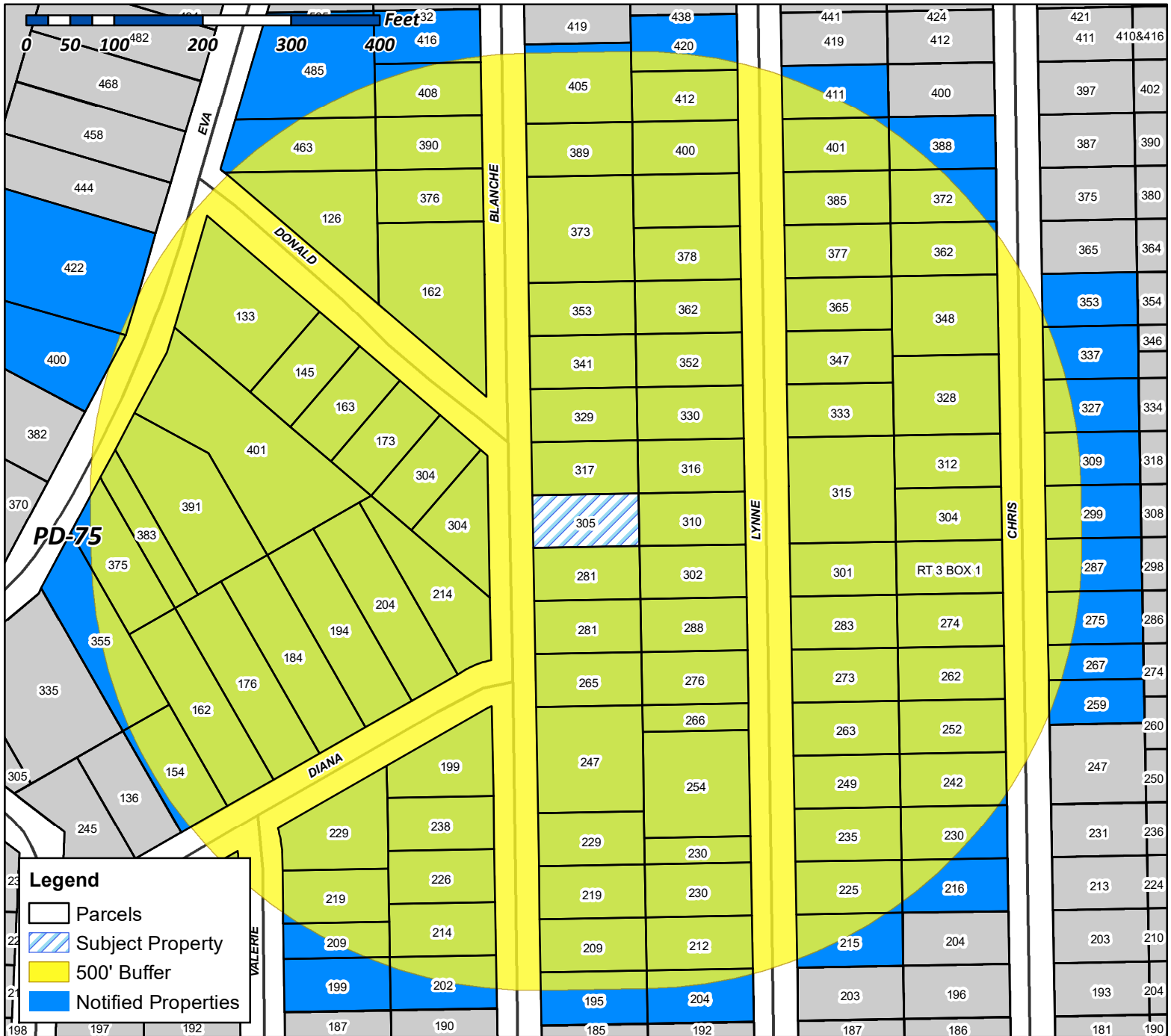




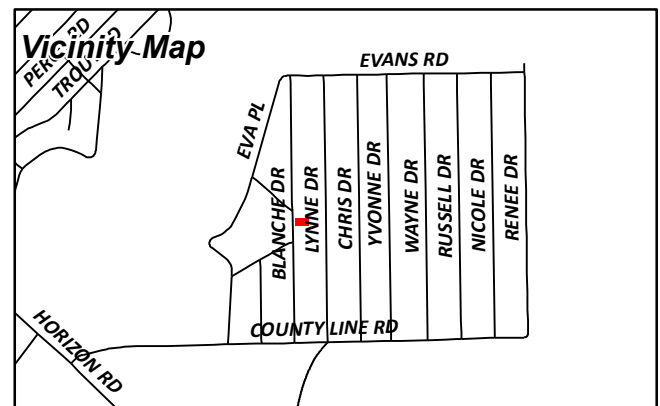
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SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
11540 SINCLAIR AVENUE
DALLAS, TX 75218

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL
118 ALTHEA RD
ROCKWALL, TX 75032

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

ADAMS JAMES W
126 DONALD DR
ROCKWALL, TX 75032

MORRIS AUBREY KEITH
133 DONALD DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

CROWDER DAVID
145 BETHEL RD
GREENVILLE, TX 75402

MARTINEZ PERLA
145 DONALD DR
ROCKWALL, TX 75087

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

GRAY DOROTHY M
162 DONALD DR
ROCKWALL, TX 75032

MORENO FABIOLA
163 DONALD
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75043

FIELDS JIMMIE
173 DONALD DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
176 DIANA
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
184 LILLIAN DR
ROCKWALL, TX 75032

SARABIA SILVESTRE
194 DIANA
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

BODEN ERIC
(MR)
204 DIANA
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

BODEN ERIC
(MR)
214 DIANA
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
218 LAKESIDE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

MUK YAN CHING
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
259 CHRIS DR
ROCKWALL, TX 75032

NAVA ANA L
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
265 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
266 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
267 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
273 LYNNE DR
ROCKWALL, TX 75032

CHAPELA AARON JAIME
274 CHRIS DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
276 LYNNE DR
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
283 LYNNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
288 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE
302 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA
304 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY
305 BLANCHE DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA
310 LYNNE DR
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
311 E I-30
ROCKWALL, TX 75087

BALDERAS JOSE G
312 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
315 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
316 LYNNE DR
ROCKWALL, TX 75032

STRANGE MARY JANNETTE
317 BLANCHE DR
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

UC F JOSE FAUSTO
329 BLANCHE DR
ROCKWALL, TX 75032

MORENO SALVADOR
330 LYNNE DR
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL
341 BLANCHE DR
ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L
348 CHRIS DR
ROCKWALL, TX 75032

MORENO SALVADOR
352 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
353 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

BARNARD DANIEL
353 CHRIS DRIVE
ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH
355 EVA
ROCKWALL, TX 75032

GALLEGOS MAURO & MARIA
362 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
362 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
372 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
375 EVA
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

SILVA ROBERTO
377 LYNNE DR
ROCKWALL, TX 75032

TOSCANO ANTONIA
378 LYNNE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
383 EVA PL
ROCKWALL, TX 75032

ESPINOZA ROBERTO & MARIA
385 LYNNE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA
388 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
389 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
390 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
391 EVA
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
400 EVA
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
401 EVA
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE E
405 BLANCHE DR
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
408 BLANCHE DR
ROCKWALL, TX 75032

VARGAS FRANCISCO
411 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
412 LYNNE DR
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
422 EVA
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
463 EVA PL
ROCKWALL, TX 75032

ADAMS JAMES W
485 EVA
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

SILVA ROBERTO
8766 CR 2586
ROYSE CITY, TX 75189

MUK YAN CHING
908 S WEATHERED DR UNIT 8
RICHARDSON, TX 75080

SARABIA SILVESTRE
929 S PEORIA ST APT G21S
AURORA, CO 80012

FIELDS JIMMIE
PO BOX 1115
ROYSE CITY, TX 75189

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
RT 3 BOX 1 CHRIS DR
ROCKWALL, TX 75032

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

Increases Property Values / Encourage Clean-up
 Pave the way for sidewalks & street lights
 Our neighborhood is predominately LATINO
 and we love it here.

Name:

Richard / Marlene Greer

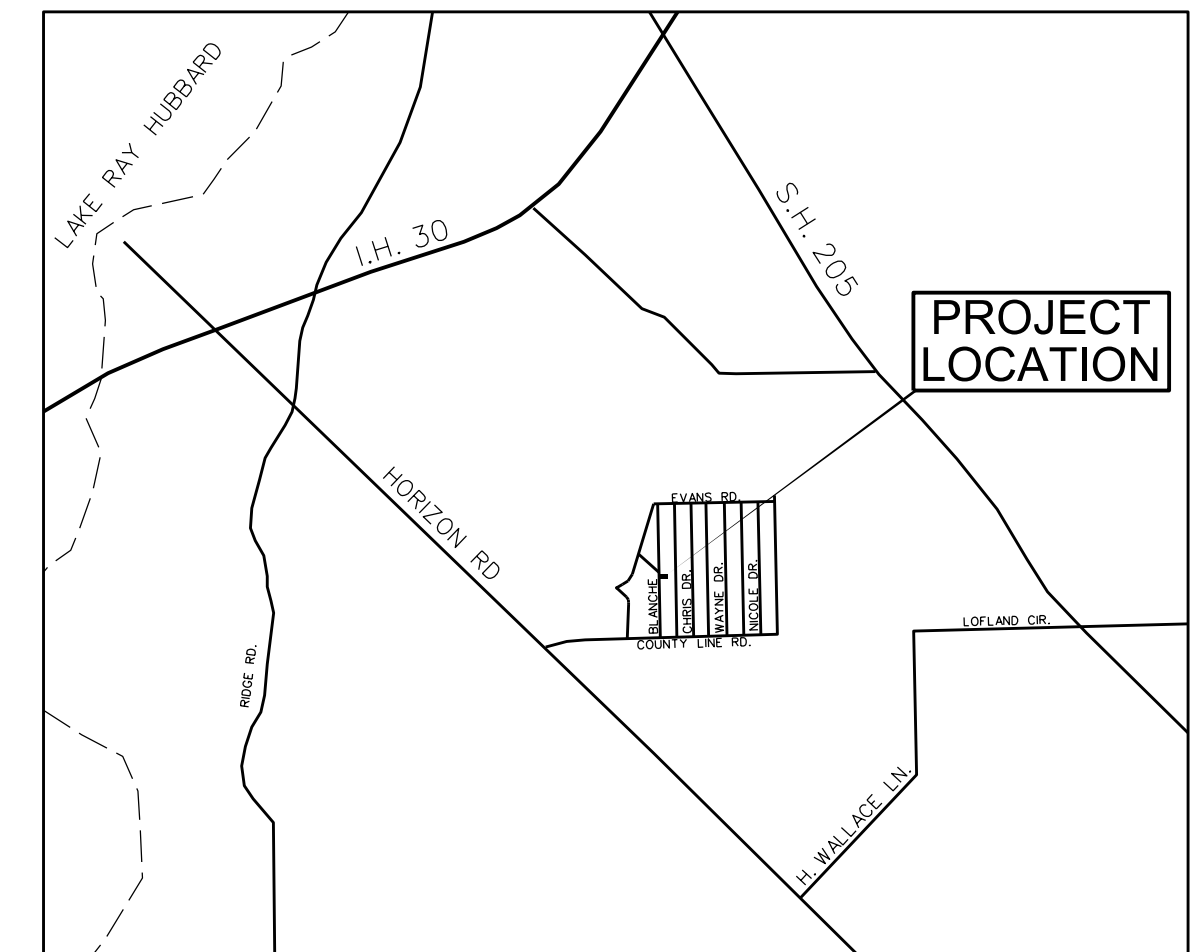
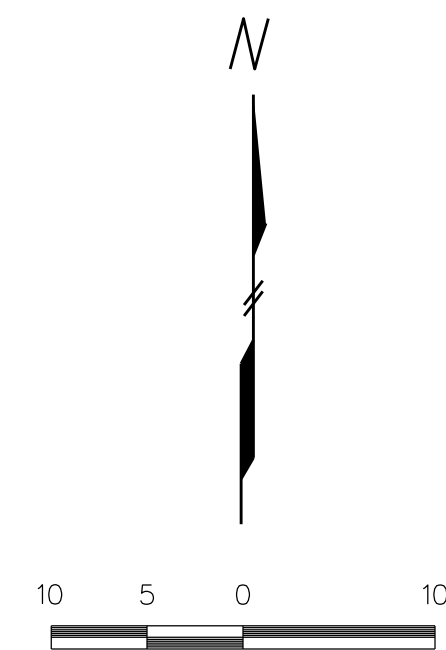
Address:

299 Chris Drive

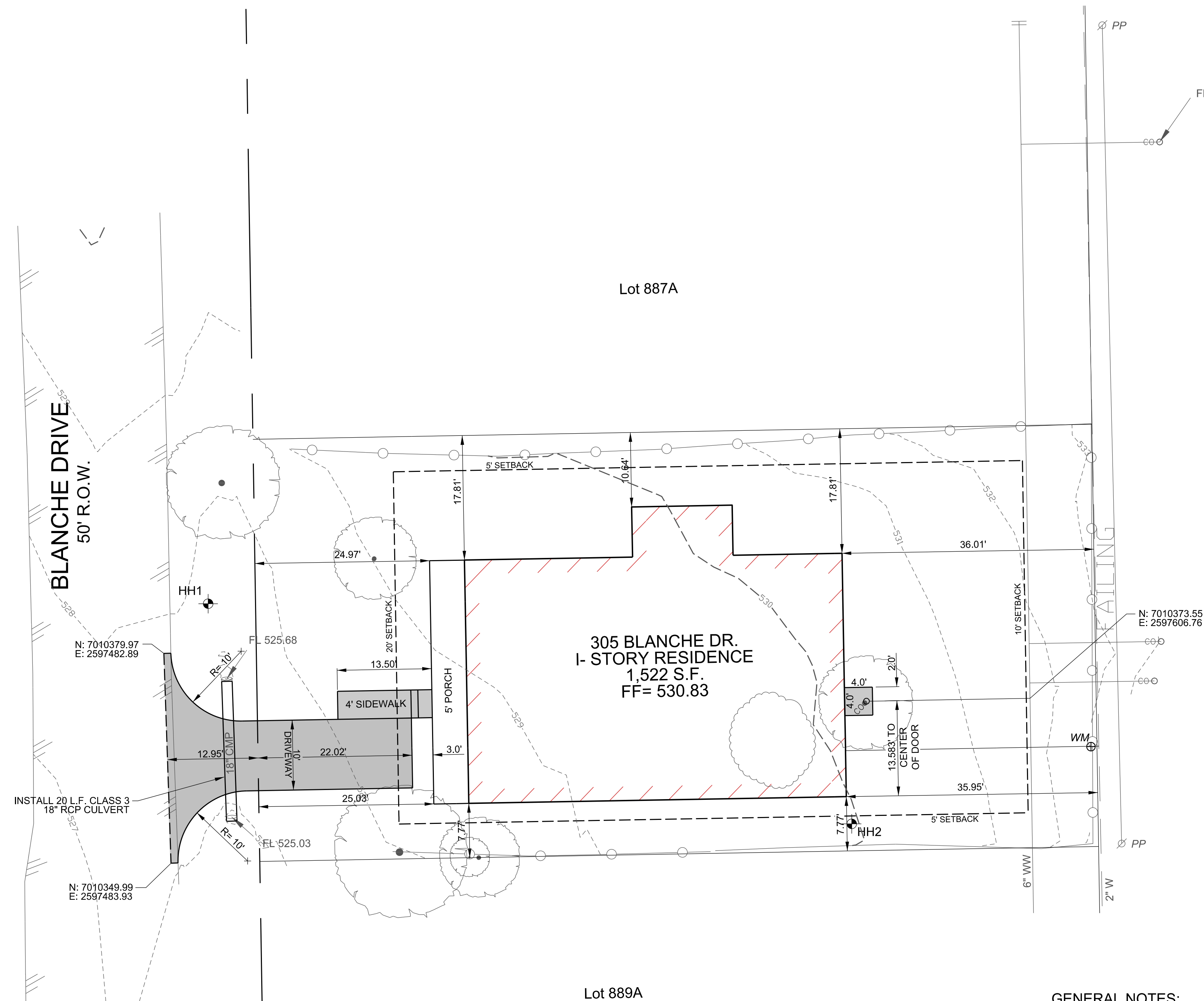
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

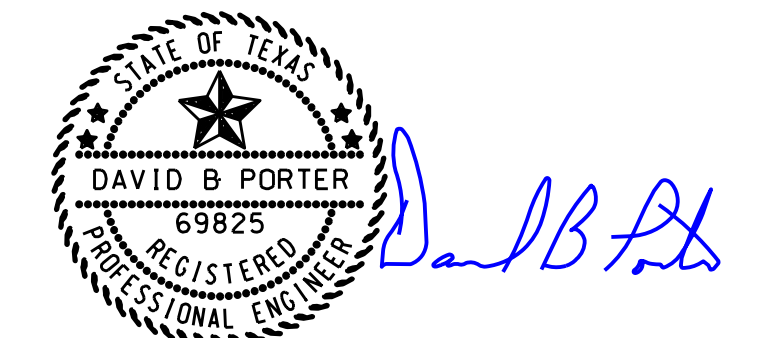
NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



VICINITY MAP
 N.T.S. MAPSCO 30C-M



ZONING: PD-75 (AREA 2)
 SETBACKS: FRONT - 20'
 REAR - 10'
 SIDES - 5'
 MAXIMUM HEIGHT - 32'
 LOT COVERAGE - 30.3%
 OWNER:
 HABITAT FOR HUMANITY
 CONTACT - PETER MUHL (214)704-3455



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

BASIS OF BEARINGS:	
All bearings and coordinates are shown on North Central Zone (4202) of the Texas Coordinate System of 1983, and were obtained using Global Navigational Satellite System methods. The orthometric heights reported here are based on the North American Vertical Datum of 1988 (NAVD88) using GEOID18. Monuments.	
HH1	HH2
N = 7,010,387.08	N = 7,010,355.61
E = 2,597,489.23	E = 2,597,581.26
ELEV. = 527.21	ELEV. = 530.05

CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.

GENERAL NOTES:

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- The City of Rockwall Engineering Department's "General Construction Notes", Sheets 1 & 2 are incorporated to these plans by reference. The CONTRACTOR shall possess one copy of the General Construction notes on the project site at all times.

REV	DATE	DESCRIPTION

SITE PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

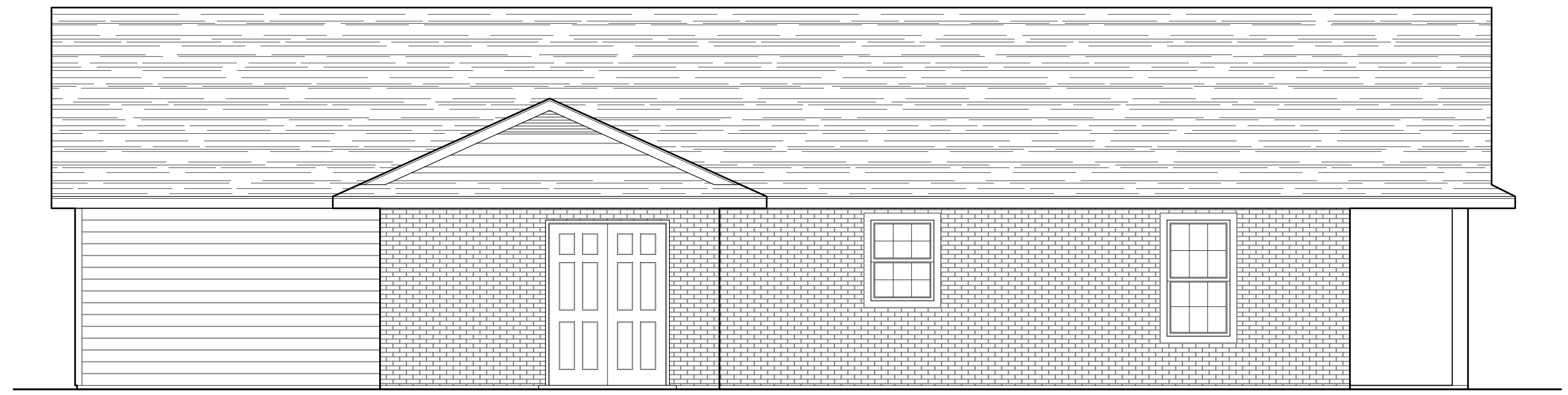
		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD., SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	1 OF 5



1 EXTERIOR ELEVATION - FRONT

0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - LEFT

0 4'-0" 8'-0" 12'-0"

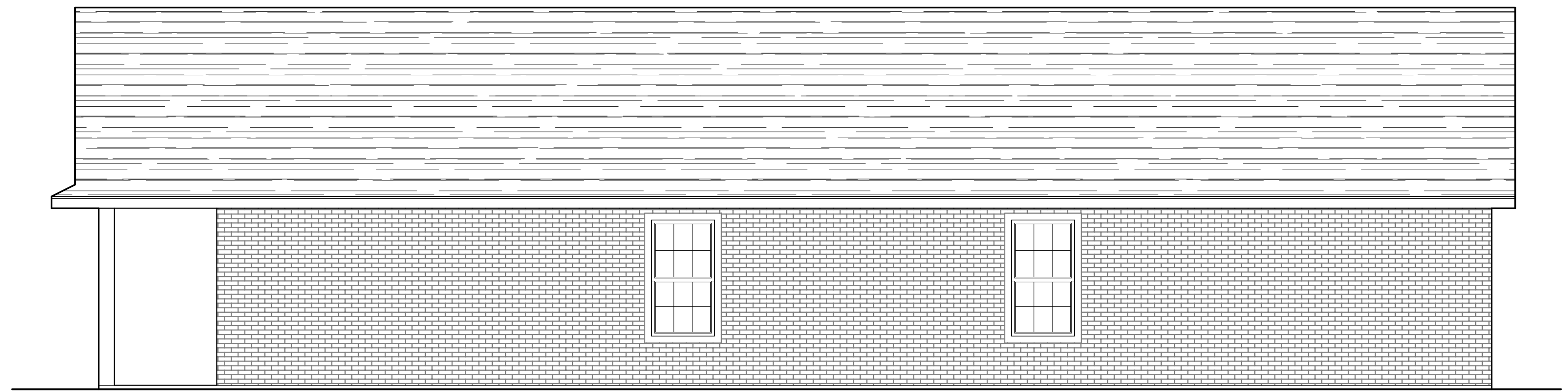
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION - BACK

0 4'-0" 8'-0" 12'-0"

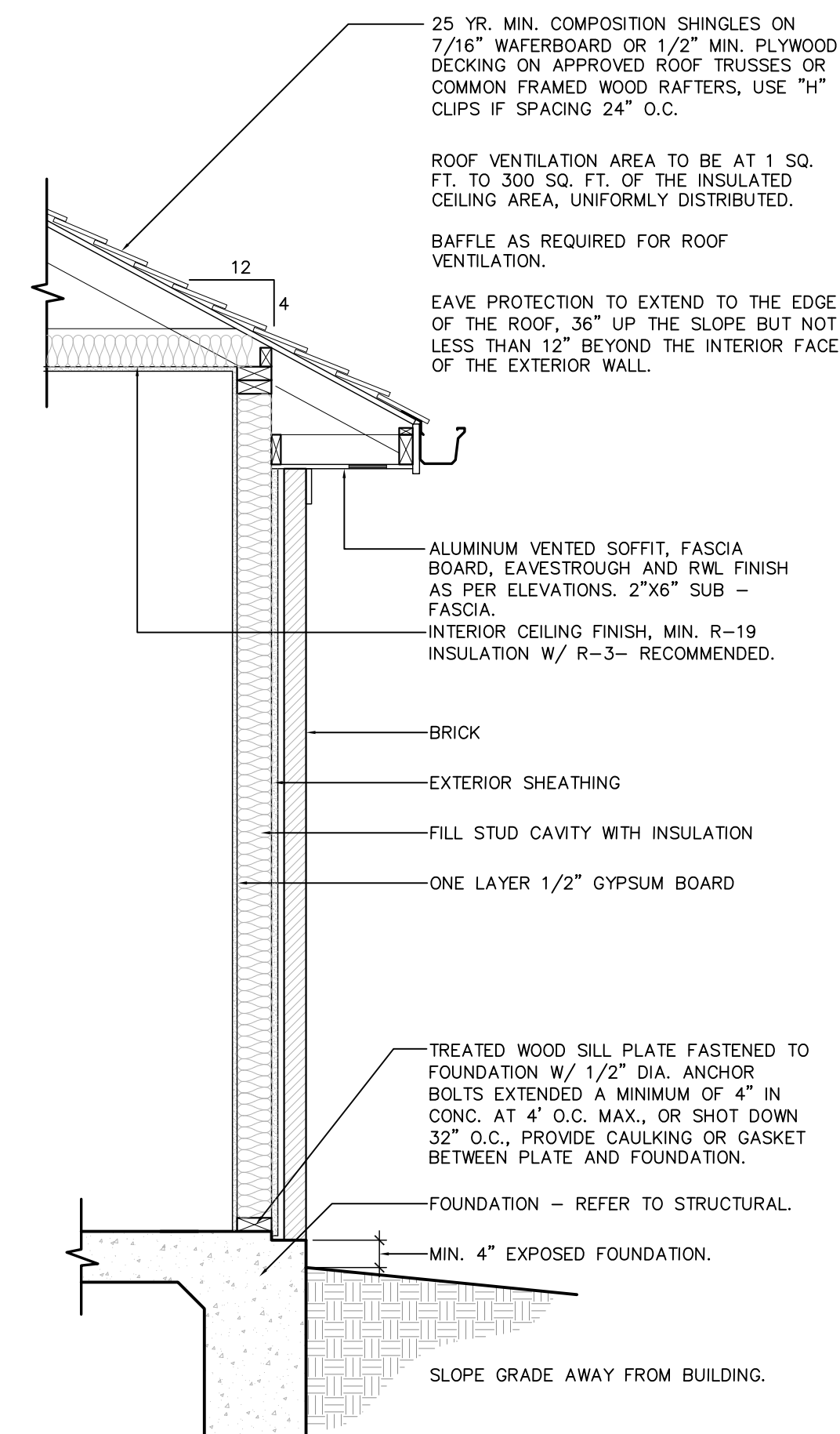
SCALE: 1/4"=1'-0"



4 EXTERIOR ELEVATION - RIGHT

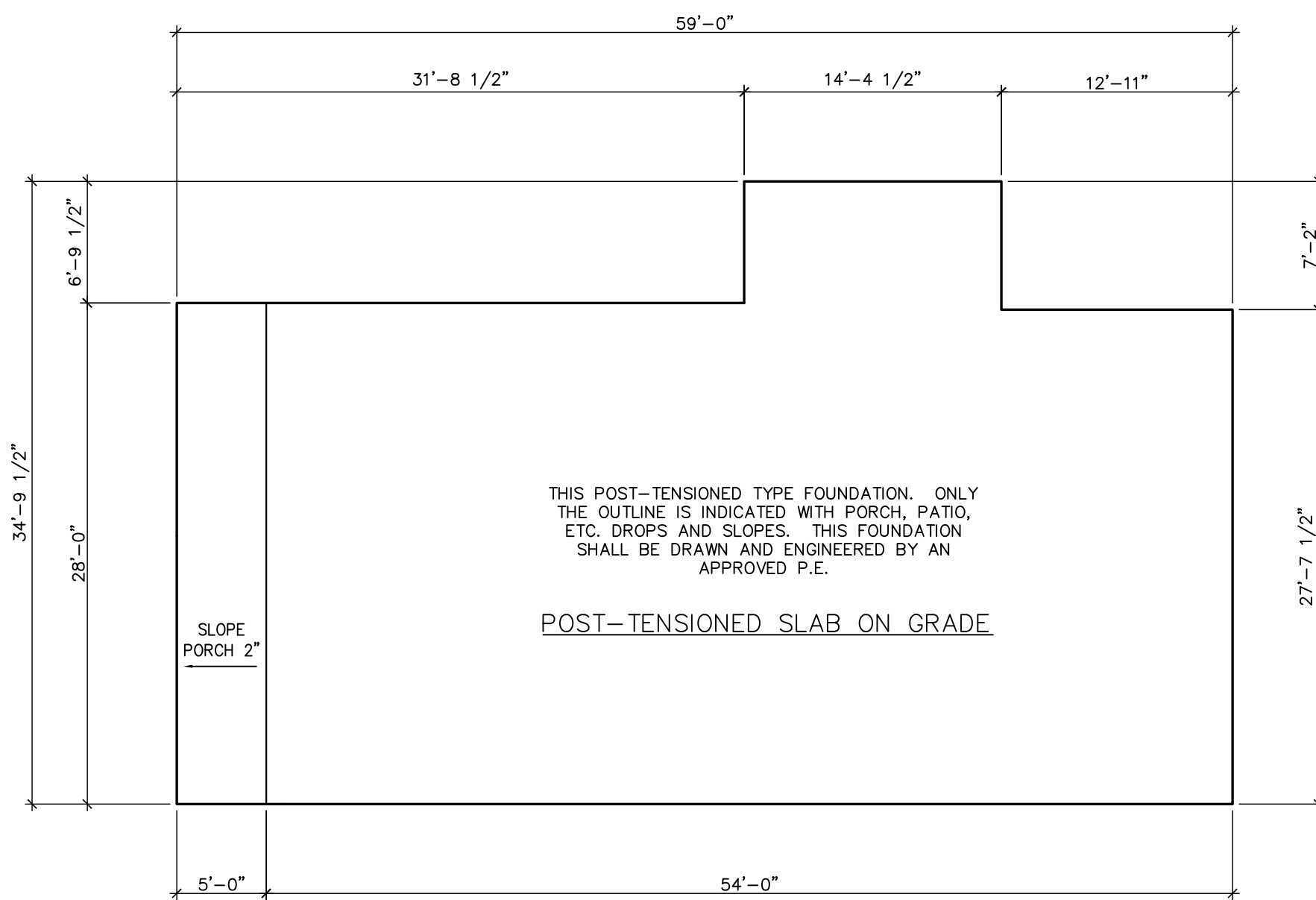
0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



5 TYPICAL WALL SECTION

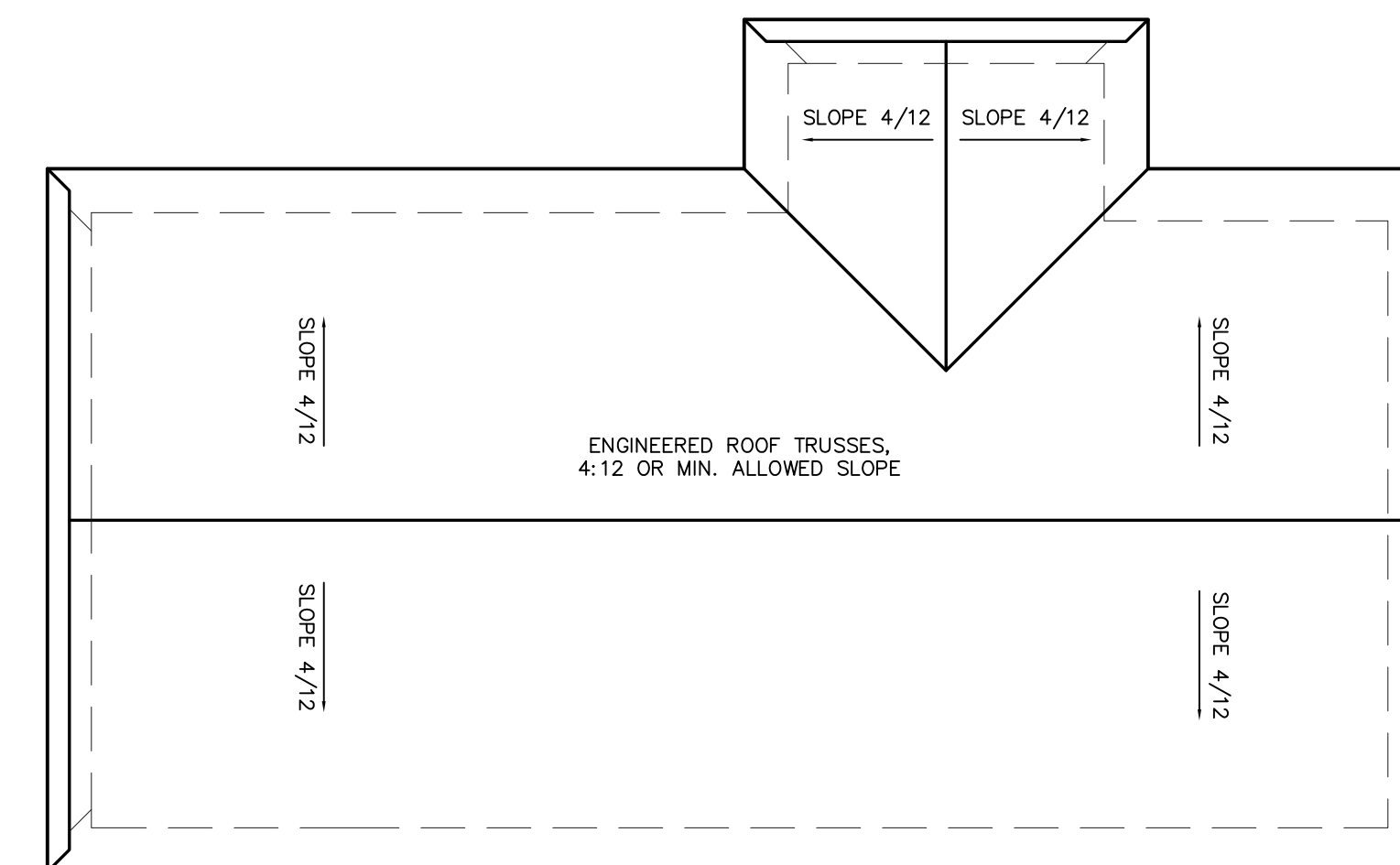
NOT TO SCALE



6 FOUNDATION PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"



7 ROOF PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
229 Blanche	N/A	N/A	N/A	N/A	N/A
247 Blanche	Modular Home	1969	1310	976	Siding
265 Blanche	Vacant	N/A	N/A	N/A	N/A
281 Blanche	Modular Home	N/A	N/A	N/A	Siding
291 Blanche	Vacant	N/A	N/A	N/A	N/A
305 Blanche	Subject Property				
317 Blanche	Vacant	N/A	N/A	N/A	N/A
329 Blanche	N/A	N/A	N/A	N/A	N/A
341 Blanche	Storage Building	2003	N/A	252	N/A
353 Blanche	Vacant	2003	N/A	252	N/A
363 Blanche	Single-Family Home	1999	1664	1110	Siding
162 Donald	Modular Home	1990	1344	528	Siding
304 Blanche	Modular Home	1986	1568	592	Siding
214 Diana	Vacant	N/A	N/A	N/A	N/A
199 Diana	Single-Family Home	1980	1568	N/A	Siding
Averages:		1990	1490.8	618	



162 Donald



199 Diana



247 Blanche



281 Blanche



304 Blanche



341 Blanche



363 Blanche

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF NOVEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition

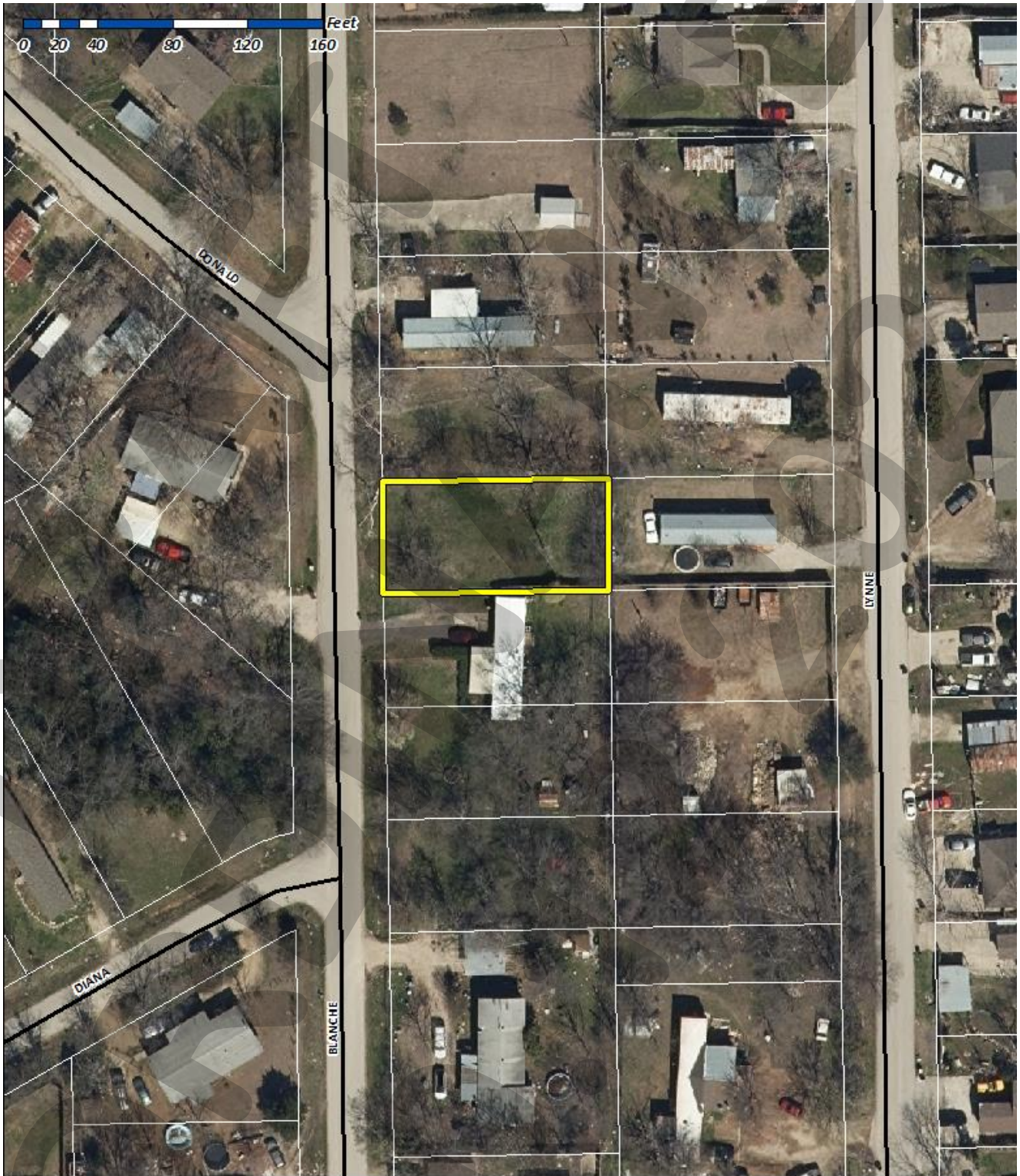


Exhibit 'B':
Residential Plot Plan

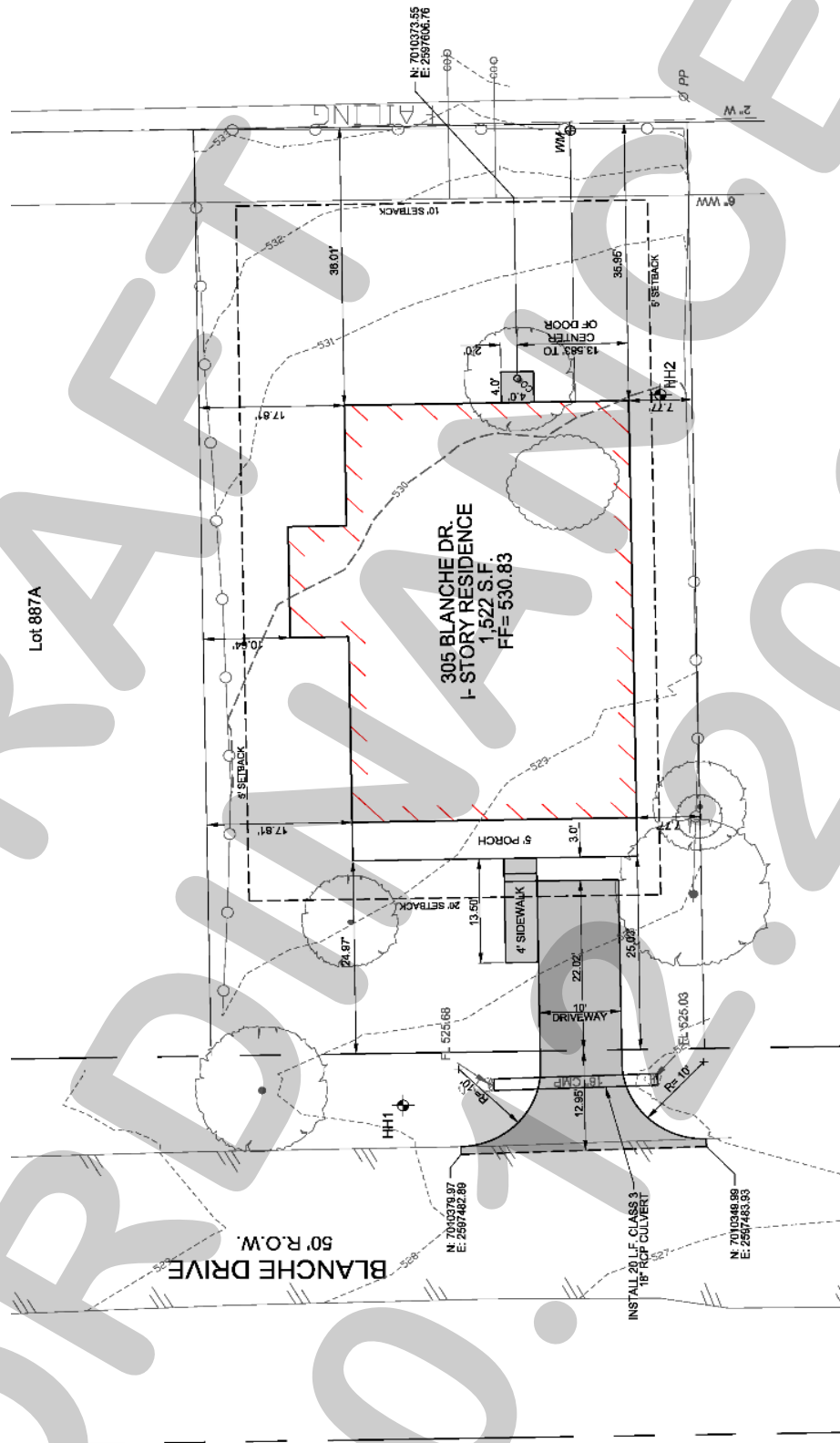
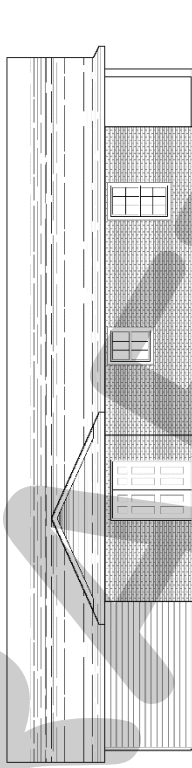
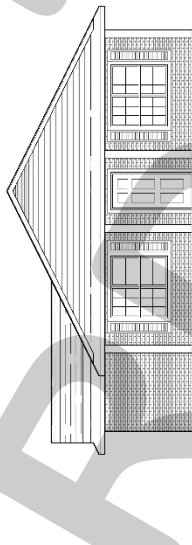


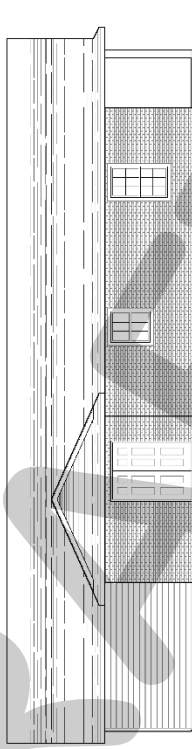
Exhibit 'C':
Building Elevations



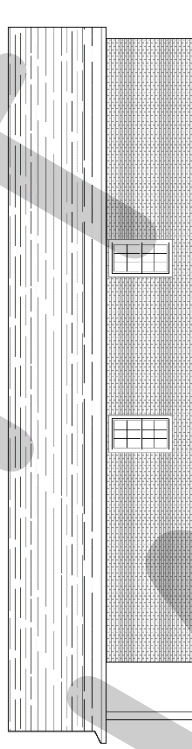
1 EXTERIOR ELEVATION - FRONT



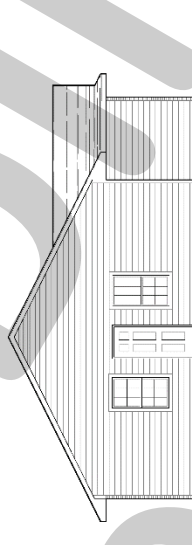
2 EXTERIOR ELEVATION - BACK



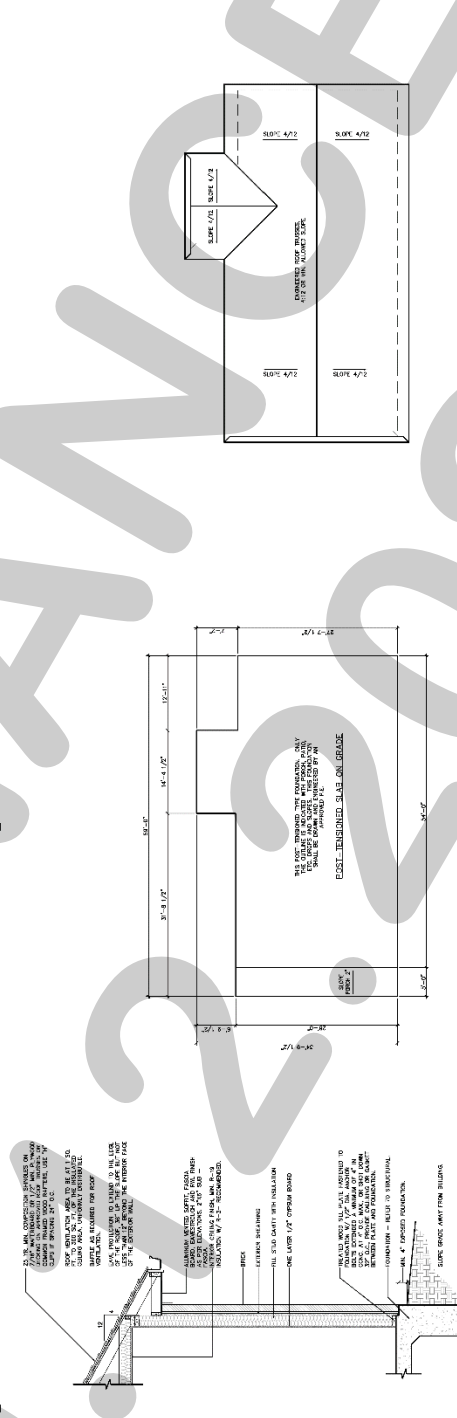
3 EXTERIOR ELEVATION - LEFT



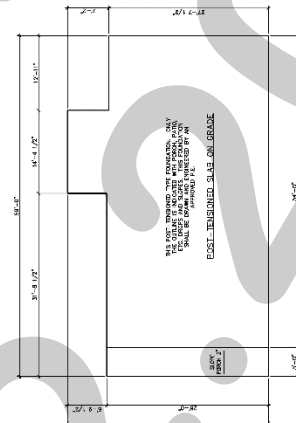
4 EXTERIOR ELEVATION - RIGHT



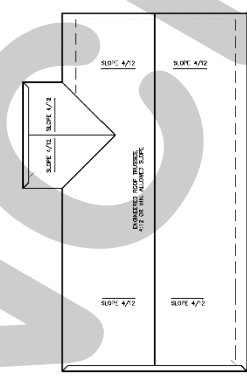
5 EXTERIOR ELEVATION - BACK



6 TYPICAL WALL SECTION



7 FOUNDATION PLAN



8 ROOF PLAN



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: October 18, 2021
APPLICANT: Peter Muhl; *Rockwall Habitat for Humanity*
CASE NUMBER: Z2021-039; *Specific Use Permit (SUP) for a Residential Infill for 305 Blanche Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 888-A of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. At the time of annexation, one (1) manufactured homes were situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. Based on aerial imagery the manufactured home that was situated on the subject property at the time of annexation was demolished between August 2012 and October 2013. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 305 Blanche Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Lynne Drive, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Blanche Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Blanche Drive, Diana Drive, and Donald Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive, Diana Drive, and Donald Drive	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Blanche Drive are oriented toward Blanche Drive.	The front elevation of the home will face onto Blanche Drive.
Year Built	1975-2000	N/A
Building SF on Property	672 SF - 1,808 SF	1,522 SF
Building Architecture	Various (<i>Majority Mobile/Manufactured Homes</i>)	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated Between 15-Feet and 20-Feet	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	36.01-Feet
Building Materials	Hardie Board, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of Hardie Board Siding and Brick
Paint and Color	Yellow, Tan, Brown, White, Green, and Teal	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle on Waferboard or Plywood decking
Driveways/Garages	Driveways are all in the front and visible from Blanche Drive; however, some are behind front yard fences. None of the homes have enclosed garages.	The proposed home does not include a garage/carport.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is not proposing a garage with the home. The addition of a garage or carport must meet the standards established in Subsection 07.04, *Accessory Structure Development Standards* of Article 04, of the Unified Development Code (UDC). With the exception of not having a garage, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Blanche Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On September 23, 2021, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant’s request and one (1) notice in opposition of the applicant’s request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

CONDITIONS OF APPROVAL

On October 12, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-039

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 305 Blanche Rd

SUBDIVISION Rockwall Lake Est #2 Lot 888A LOT 888A BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Single Family Home

CURRENT USE Empty lot

PROPOSED ZONING Single Family Home

PROPOSED USE Home

ACREAGE .1650

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Habitat for Humanity APPLICANT

CONTACT PERSON Peter Muhl

CONTACT PERSON

ADDRESS 1101 Ridge Rd #4

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP

PHONE 214-704-3455

PHONE

E-MAIL peter@northmesquiteplumbing.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

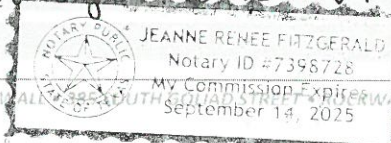
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF September, 2021

OWNER'S SIGNATURE

Sally Muhl, VP

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

September 14, 2025

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 18, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 18, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am not confident that R#Fit will enforce their own standards for the property listed above.

Name: David Crowder
Address: 145 Bethel Rd Greenville Tx 75402

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

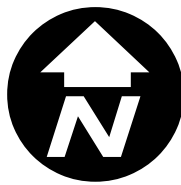
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

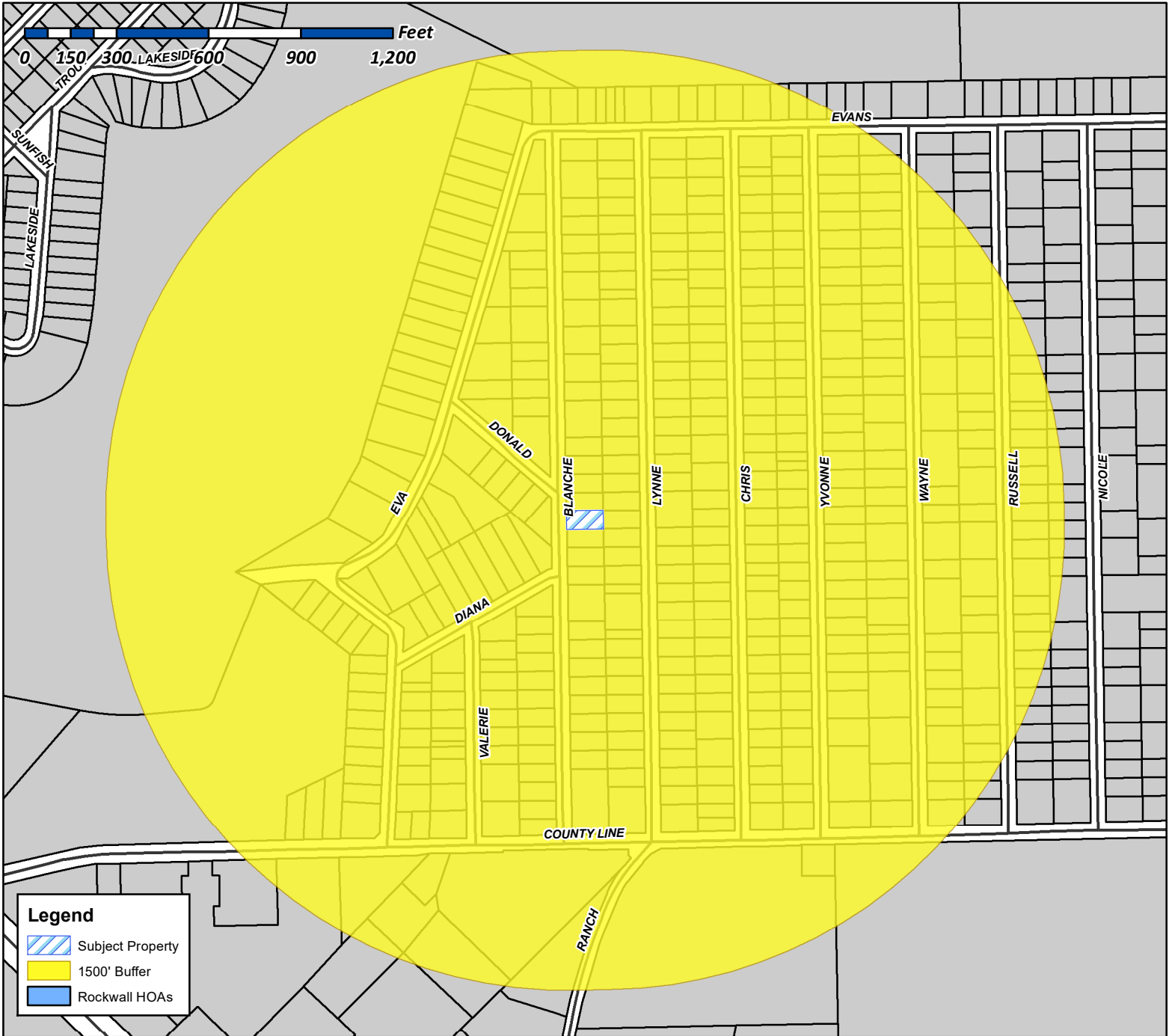




City of Rockwall

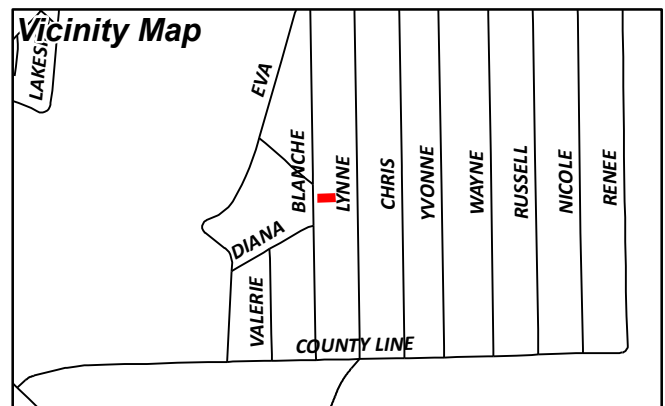
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2021-039
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive

Date Created: 9/16/2021
 For Questions on this Case Call (972) 771-7745

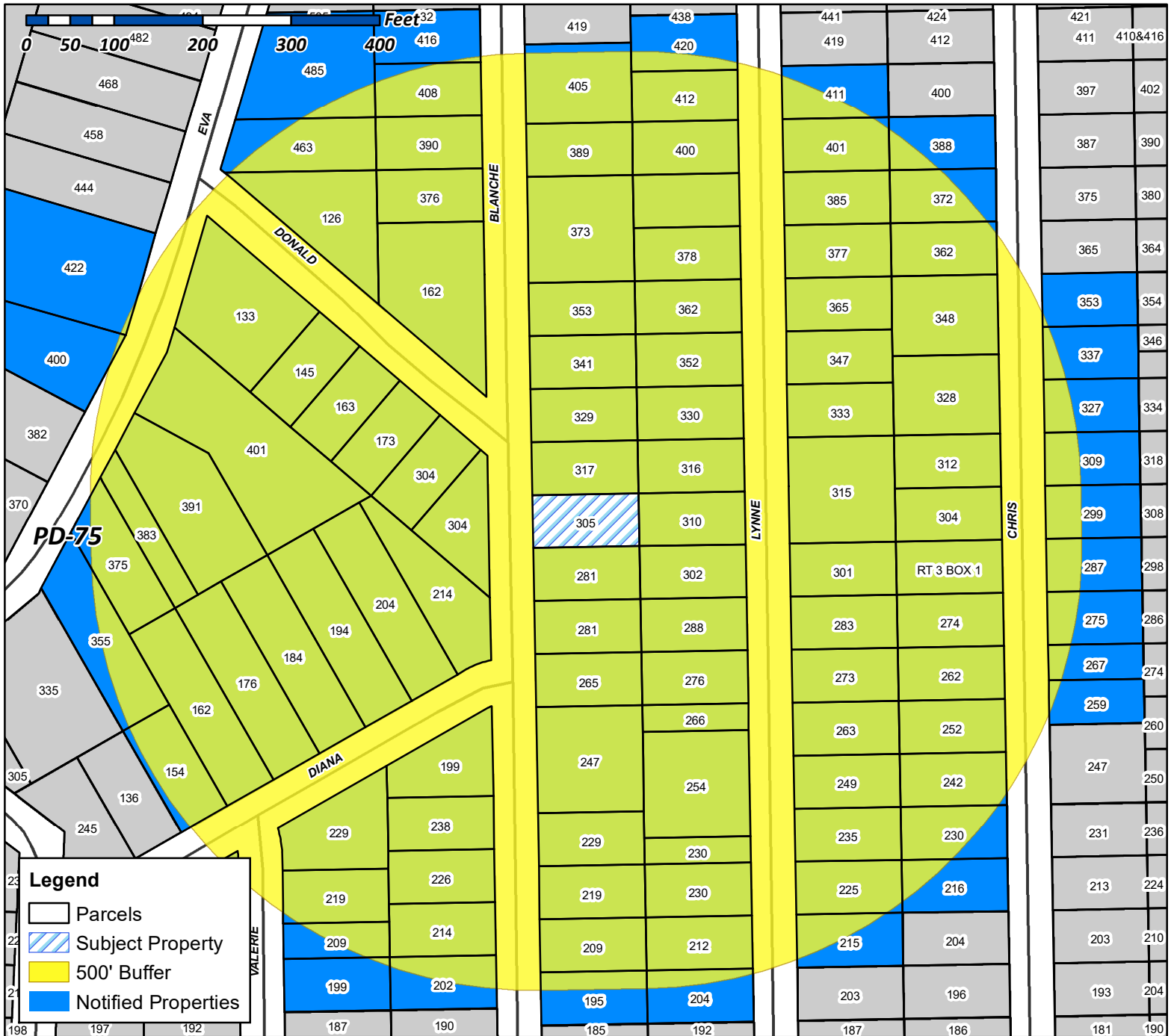




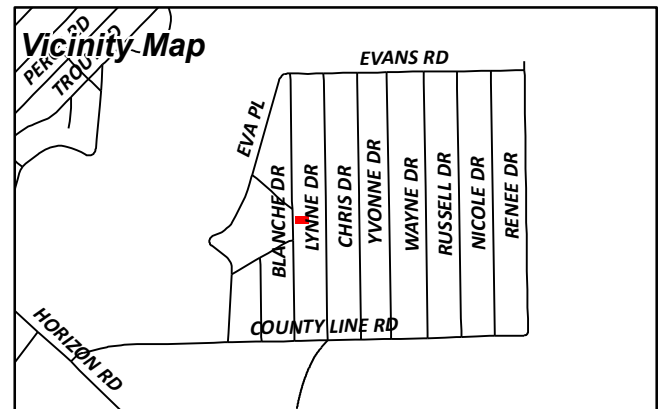
City of Rockwall

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Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 305 Blanche Drive



Date Created: 9/16/2021
For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
11540 SINCLAIR AVENUE
DALLAS, TX 75218

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL
118 ALTHEA RD
ROCKWALL, TX 75032

FERNANDEZ URBANO ALVARADOO &
SON ARMADO FERNANDEZ
1235 VZ COUNTY ROAD 3425
WILLS POINT, TX 75169

ADAMS JAMES W
126 DONALD DR
ROCKWALL, TX 75032

MORRIS AUBREY KEITH
133 DONALD DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

CROWDER DAVID
145 BETHEL RD
GREENVILLE, TX 75402

MARTINEZ PERLA
145 DONALD DR
ROCKWALL, TX 75087

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

GRAY DOROTHY M
162 DONALD DR
ROCKWALL, TX 75032

MORENO FABIOLA
163 DONALD
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75043

FIELDS JIMMIE
173 DONALD DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
176 DIANA
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
184 LILLIAN DR
ROCKWALL, TX 75032

SARABIA SILVESTRE
194 DIANA
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

BODEN ERIC
(MR)
204 DIANA
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

BODEN ERIC
(MR)
214 DIANA
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
218 LAKESIDE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

MUK YAN CHING
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
259 CHRIS DR
ROCKWALL, TX 75032

NAVA ANA L
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
265 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
266 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ RUTH A
267 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
273 LYNNE DR
ROCKWALL, TX 75032

CHAPELA AARON JAIME
274 CHRIS DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
276 LYNNE DR
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
283 LYNNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
288 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE
302 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA
304 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY
305 BLANCHE DR
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA
310 LYNNE DR
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
311 E I-30
ROCKWALL, TX 75087

BALDERAS JOSE G
312 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
315 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
316 LYNNE DR
ROCKWALL, TX 75032

STRANGE MARY JANNETTE
317 BLANCHE DR
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

UC F JOSE FAUSTO
329 BLANCHE DR
ROCKWALL, TX 75032

MORENO SALVADOR
330 LYNNE DR
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL
341 BLANCHE DR
ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L
348 CHRIS DR
ROCKWALL, TX 75032

MORENO SALVADOR
352 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL
ROCIO RUBIO DE TREJO
353 BLANCHE DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

BARNARD DANIEL
353 CHRIS DRIVE
ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH
355 EVA
ROCKWALL, TX 75032

GALLEGOS MAURO & MARIA
362 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
362 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR
372 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ HERMAN & APRIL
373 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
375 EVA
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
376 BLANCHE DR
ROCKWALL, TX 75032

SILVA ROBERTO
377 LYNNE DR
ROCKWALL, TX 75032

TOSCANO ANTONIA
378 LYNNE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
383 EVA PL
ROCKWALL, TX 75032

ESPINOZA ROBERTO & MARIA
385 LYNNE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA
388 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
389 BLANCHE DR
ROCKWALL, TX 75032

RAMIREZ RIGOBERTO AND
MARGARITA ESCOBAR
390 BLANCHE DR
ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH
391 EVA
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
400 EVA
ROCKWALL, TX 75032

CONTRERAS-AYALA JORGE
400 LYNNE
ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC
401 EVA
ROCKWALL, TX 75032

VARGAS FRANCISCO
401 LYNNE DR
ROCKWALL, TX 75032

GUEVARA JOSE E
405 BLANCHE DR
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
408 BLANCHE DR
ROCKWALL, TX 75032

VARGAS FRANCISCO
411 LYNNE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
412 LYNNE DR
ROCKWALL, TX 75032

CARRILLO OMAR
ROSALES MARIA M
416 BLANCHE DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA
420 LYNNE DRIVE
ROCKWALL, TX 75032

PAY LESS 4 MORE LLC
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
4219 ASHMONT CT
DALLAS, TX 75287

RAOFPUR DAVID
422 EVA
ROCKWALL, TX 75032

ADAMS JAMES & DEBBIE
463 EVA PL
ROCKWALL, TX 75032

ADAMS JAMES W
485 EVA
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

GONZALEZ JOSE & LAUREN
5245 COUNTY ROAD 2515
ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

GUEVARA JOSE E & MARIS
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

LAKE POINTE BAPTIST CHURCH
701 E INTERSTATE 30
ROCKWALL, TX 75087

SILVA ROBERTO
8766 CR 2586
ROYSE CITY, TX 75189

MUK YAN CHING
908 S WEATHERED DR UNIT 8
RICHARDSON, TX 75080

SARABIA SILVESTRE
929 S PEORIA ST APT G21S
AURORA, CO 80012

FIELDS JIMMIE
PO BOX 1115
ROYSE CITY, TX 75189

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
RT 3 BOX 1 CHRIS DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 18, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 18, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

Increases Property Values / Encourage Clean-up
Pave the way for sidewalks & street lights
Our neighborhood is predominately LATINO
and we love it here.

Name:

Richard / Marlene Greer

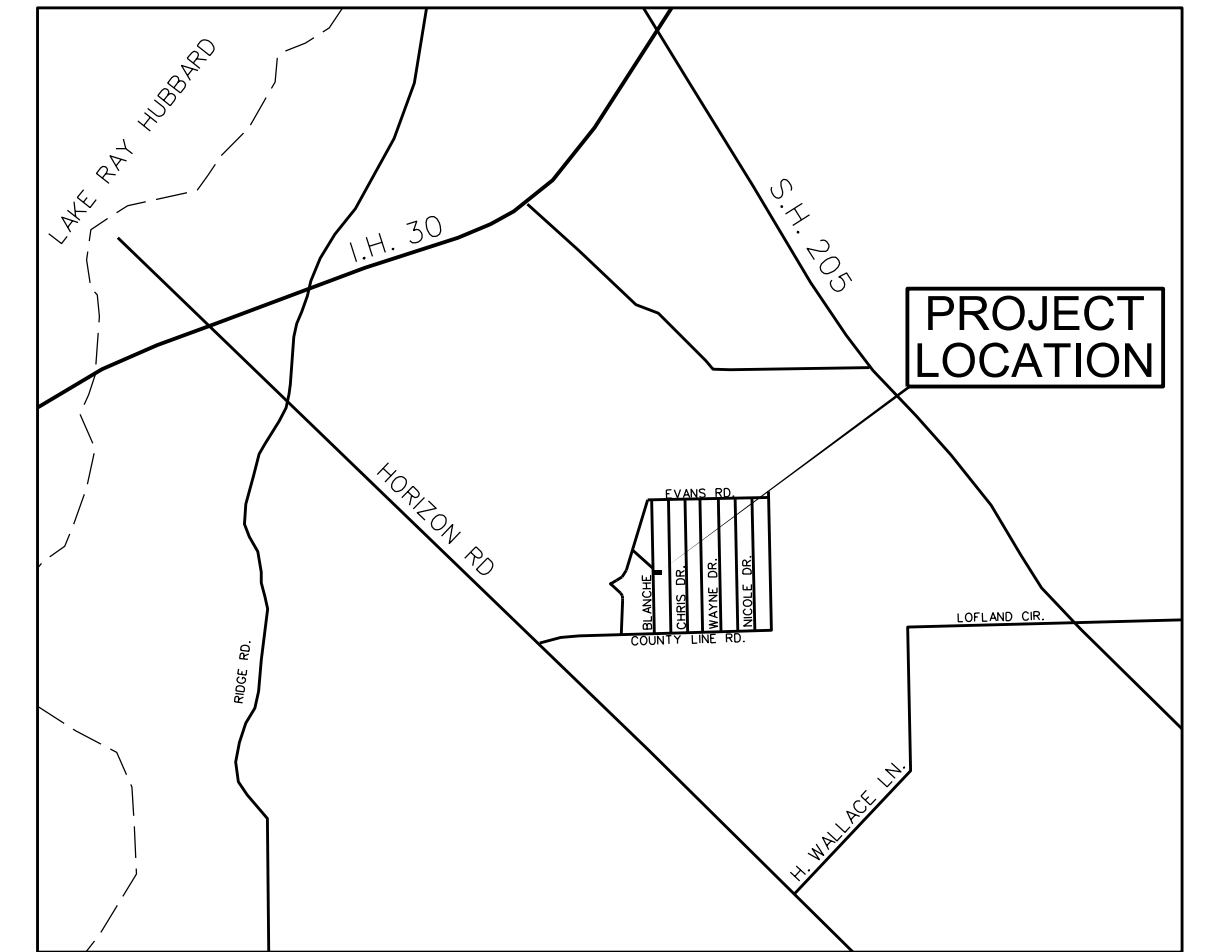
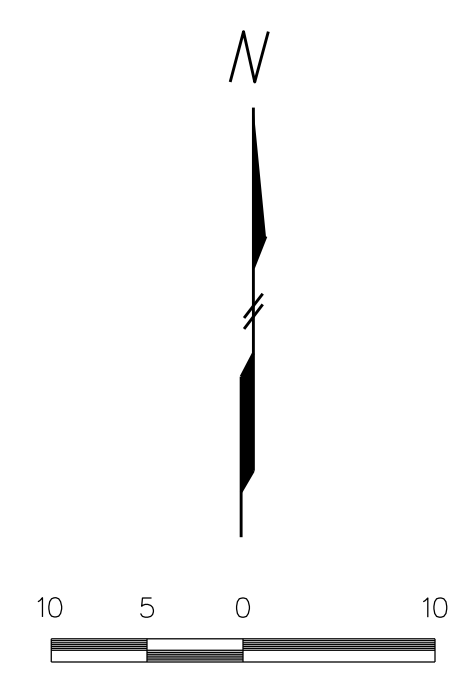
Address:

299 Chris Drive

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

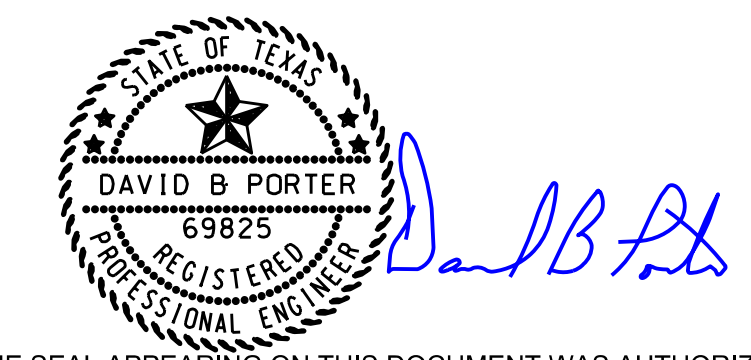
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

NOTE:
 CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.

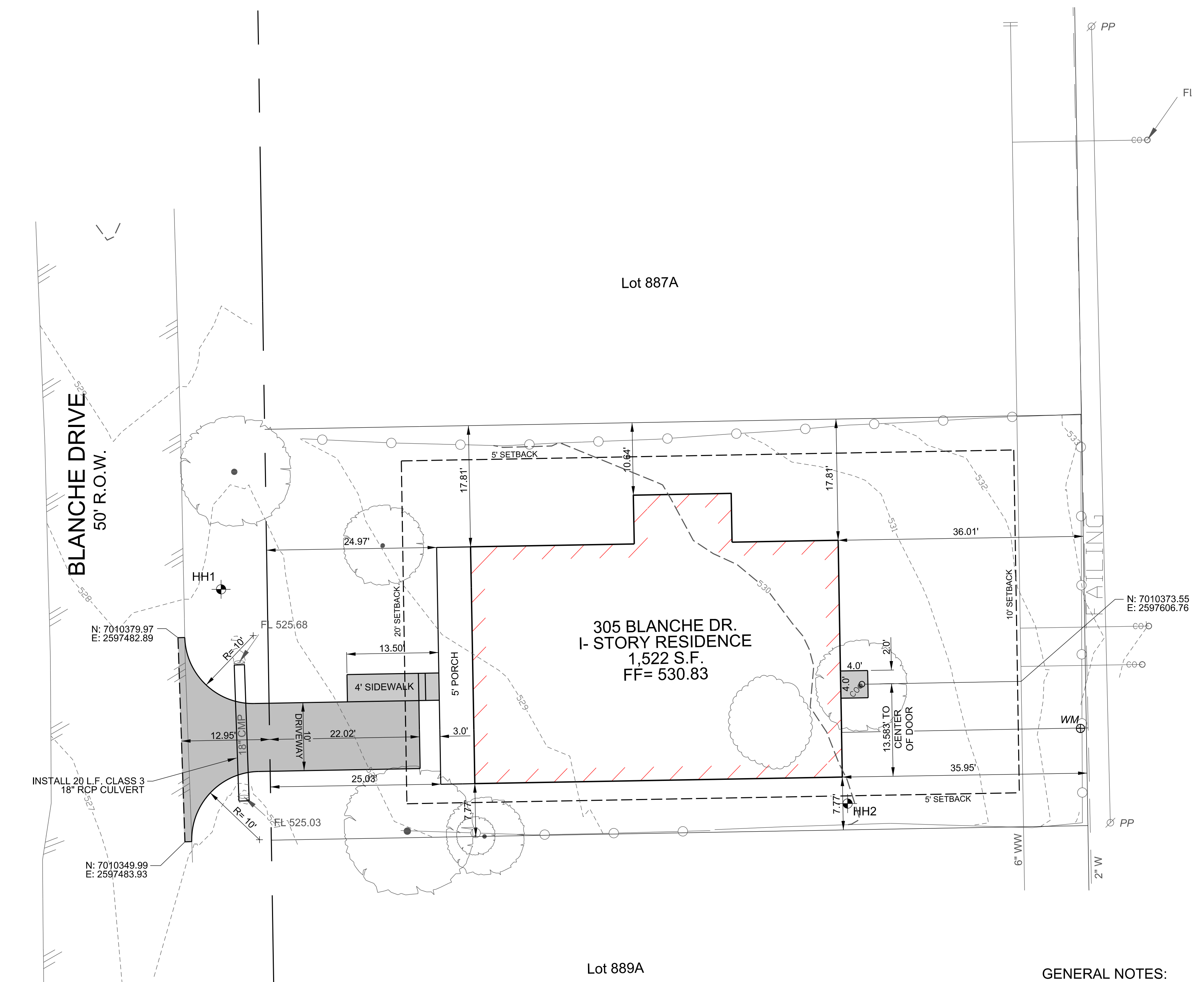


VICINITY MAP
 N.T.S. MAPSCO 30C-M

ZONING: PD-75 (AREA 2)
 SETBACKS: FRONT - 20'
 REAR - 10'
 SIDES - 5'
 MAXIMUM HEIGHT - 32'
 LOT COVERAGE - 30.3%
 OWNER:
 HABITAT FOR HUMANITY
 CONTACT - PETER MUHL (214)704-3455



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



BASIS OF BEARINGS:
 All bearings and coordinates are shown on North Central Zone (4202) of the Texas Coordinate System of 1983, and were obtained using Global Navigational Satellite System methods. The orthometric heights reported here are based on the North American Vertical Datum of 1988 (NAVD88) using GEOID18. Monuments.

HH1	HH2
N = 7,010,387.08	N = 7,010,355.61
E = 2,597,489.23	E = 2,597,581.26
ELEV. = 527.21	ELEV. = 530.05

CONTRACTOR TO CONTACT R-DELTA SURVEY DEPARTMENT FOR SITE HORIZONTAL AND VERTICAL CONTROL.

GENERAL NOTES:

- All construction shall conform to the requirements set forth in the City of Rockwall's Engineering Department's "Standards of Design and Construction" and the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Department's "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times.
- The City of Rockwall Engineering Department's "General Construction Notes", Sheets 1 & 2 are incorporated to these plans by reference. The CONTRACTOR shall possess one copy of the General Construction notes on the project site at all times.

REV	DATE	DESCRIPTION

SITE PLAN
 305 BLANCHE DRIVE
 LOT 888A
 ROCKWALL LAKE ESTATES #2
 ROCKWALL, TEXAS

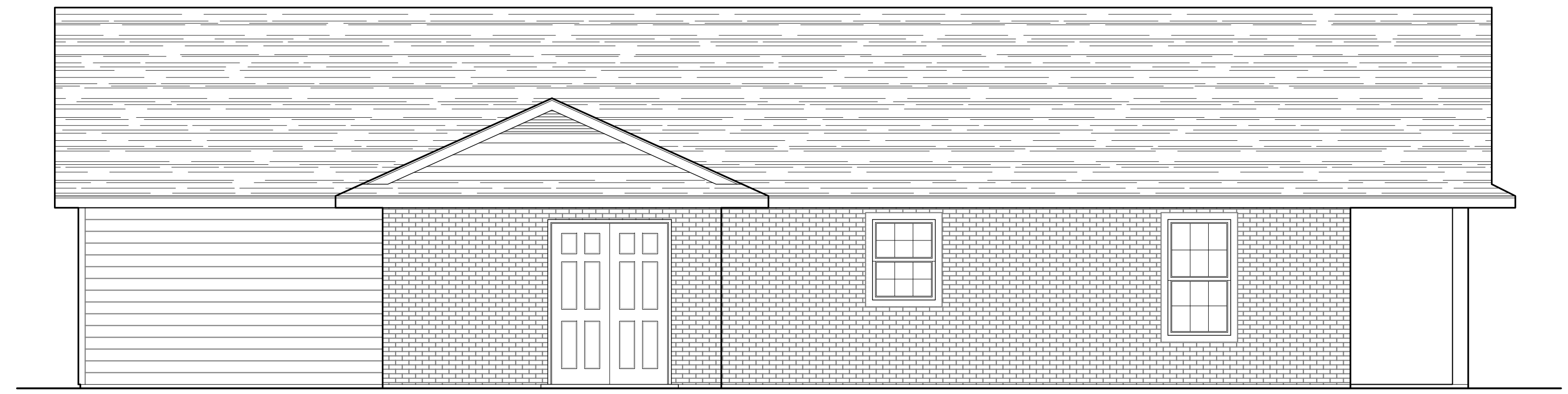
		HABITAT FOR HUMANITY OF GREATER DALLAS, INC. 2350 CRIST RD. SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	1 OF 5



1 EXTERIOR ELEVATION - FRONT

0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - LEFT

0 4'-0" 8'-0" 12'-0"

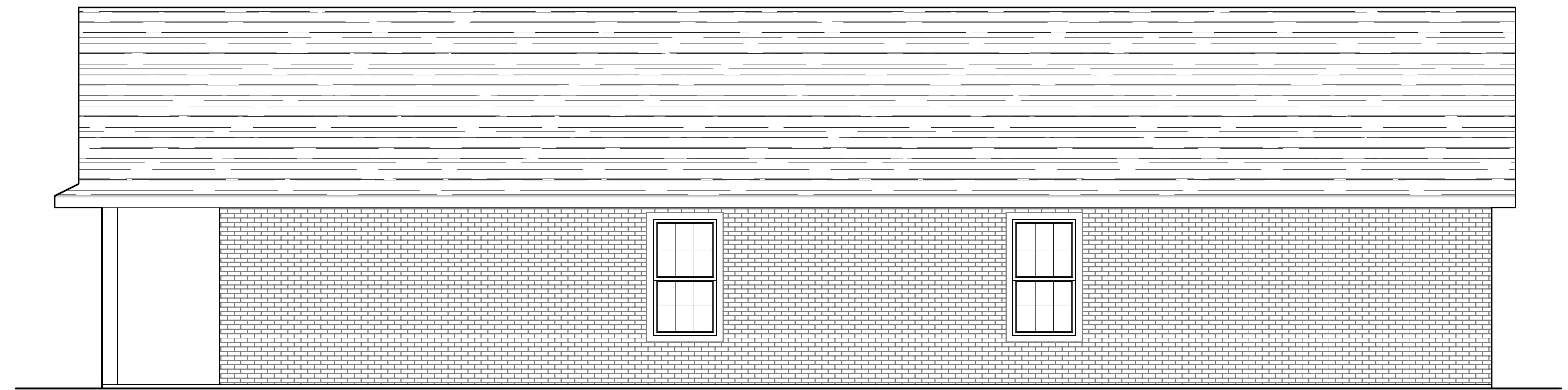
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION - BACK

0 4'-0" 8'-0" 12'-0"

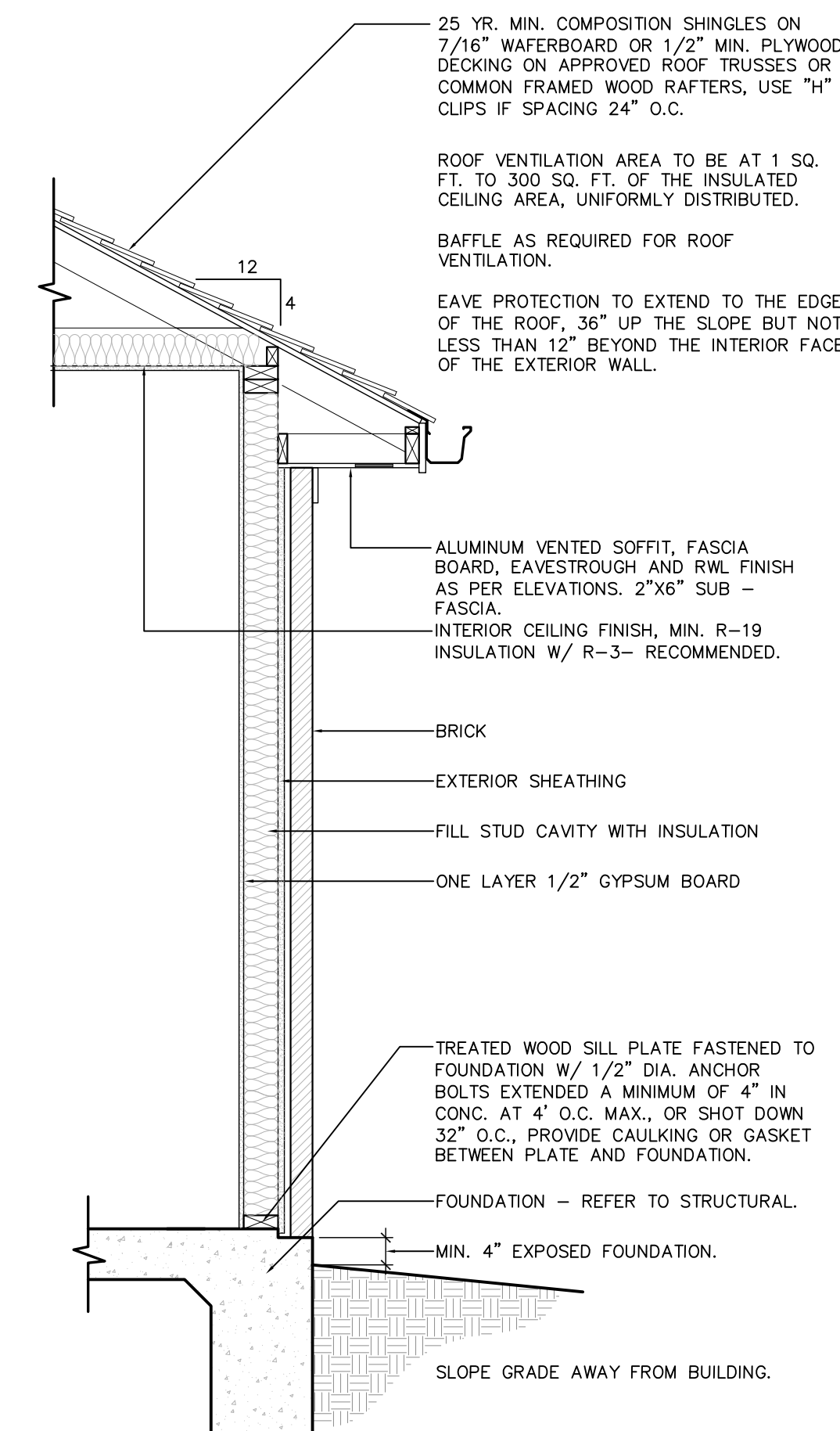
SCALE: 1/4"=1'-0"



4 EXTERIOR ELEVATION - RIGHT

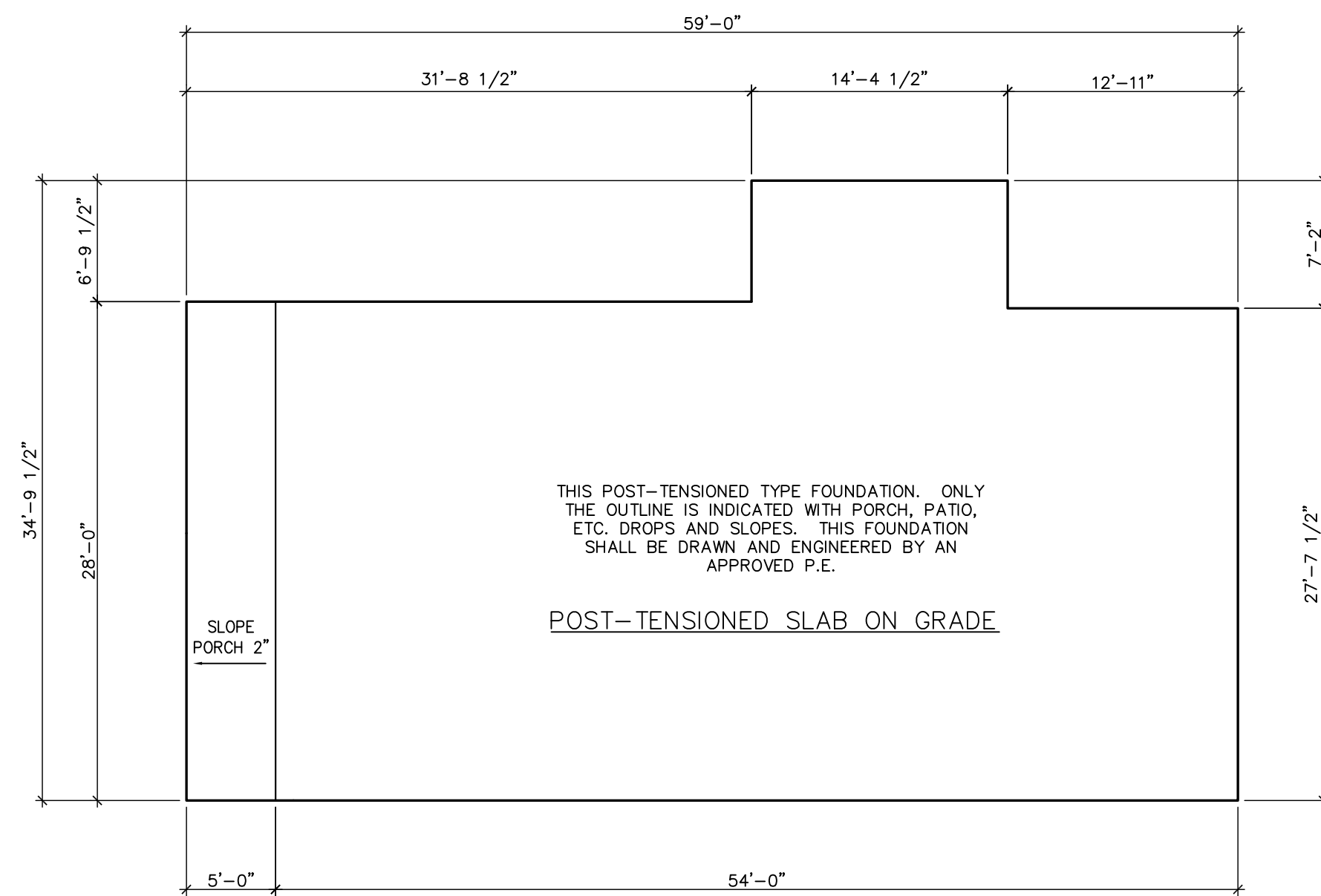
0 4'-0" 8'-0" 12'-0"

SCALE: 1/4"=1'-0"



5 TYPICAL WALL SECTION

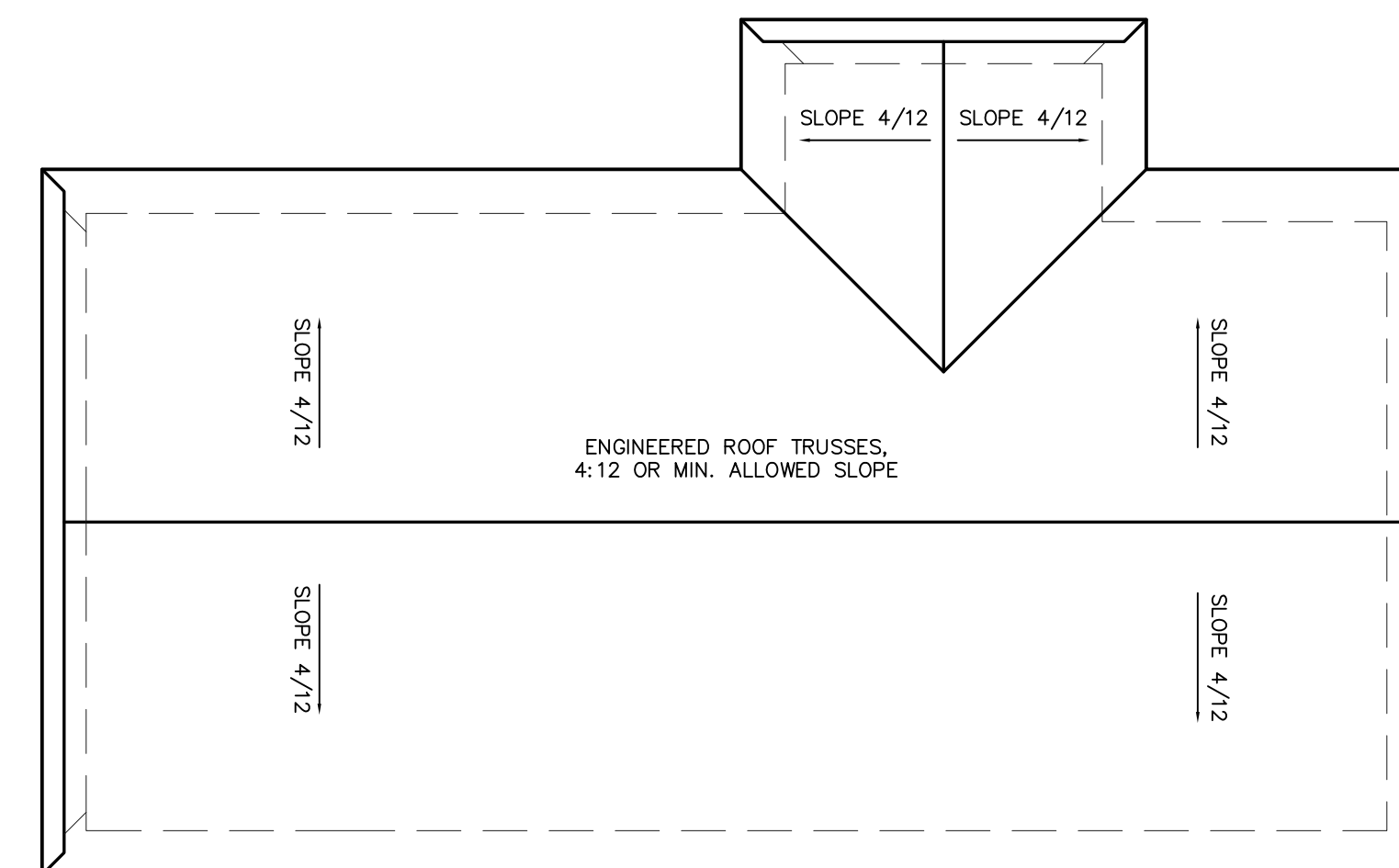
NOT TO SCALE



6 FOUNDATION PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"



7 ROOF PLAN

0 8'-0" 16'-0" 24'-0"

SCALE: 1/8"=1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
229 Blanche	N/A	N/A	N/A	N/A	N/A
247 Blanche	Modular Home	1969	1310	976	Siding
265 Blanche	Vacant	N/A	N/A	N/A	N/A
281 Blanche	Modular Home	N/A	N/A	N/A	Siding
291 Blanche	Vacant	N/A	N/A	N/A	N/A
305 Blanche	Subject Property				
317 Blanche	Vacant	N/A	N/A	N/A	N/A
329 Blanche	N/A	N/A	N/A	N/A	N/A
341 Blanche	Storage Building	2003	N/A	252	N/A
353 Blanche	Vacant	2003	N/A	252	N/A
363 Blanche	Single-Family Home	1999	1664	1110	Siding
162 Donald	Modular Home	1990	1344	528	Siding
304 Blanche	Modular Home	1986	1568	592	Siding
214 Diana	Vacant	N/A	N/A	N/A	N/A
199 Diana	Single-Family Home	1980	1568	N/A	Siding
Averages:		1990	1490.8	618	



162 Donald



199 Diana



247 Blanche



281 Blanche



304 Blanche



341 Blanche



363 Blanche

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF NOVEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition

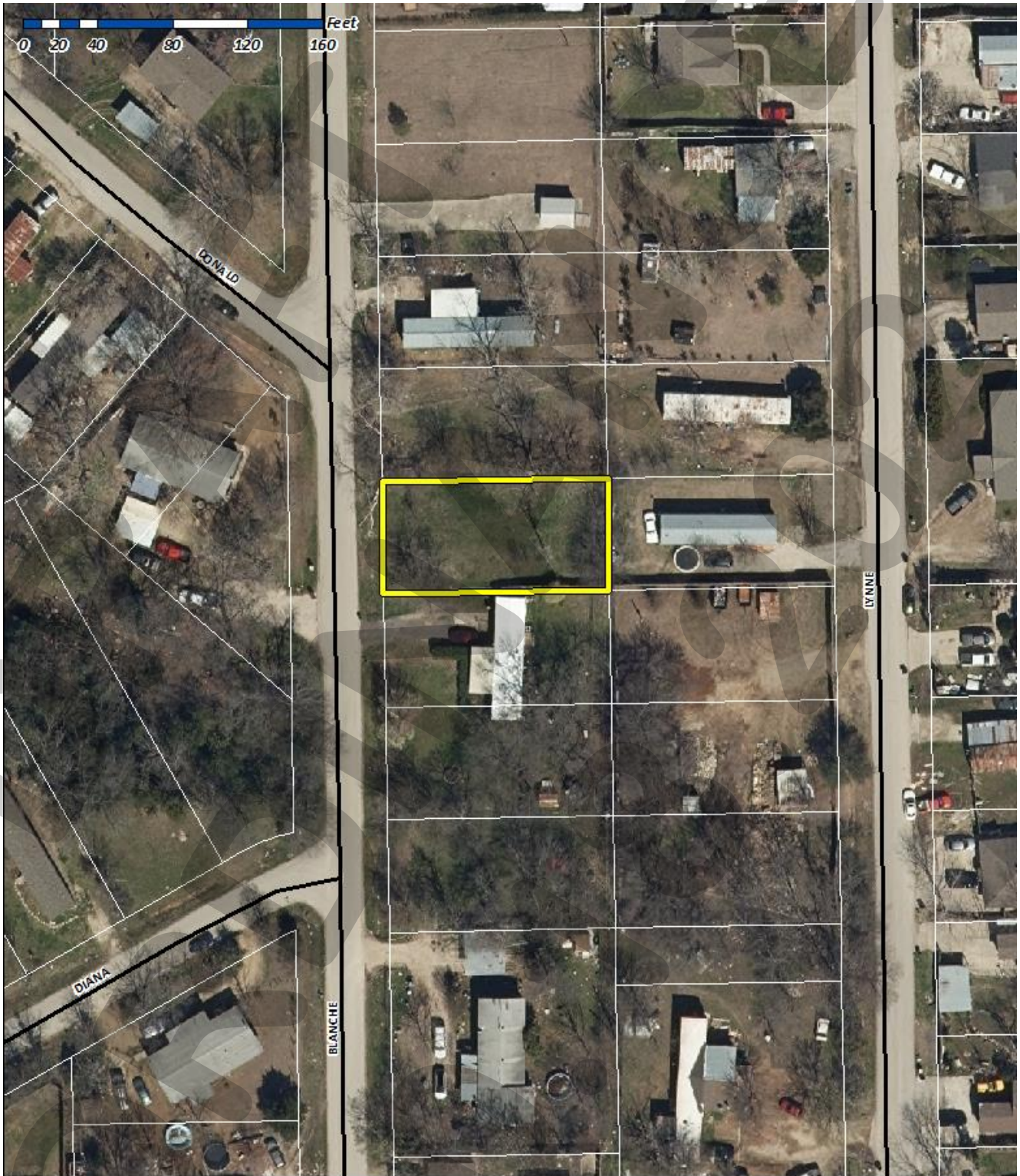
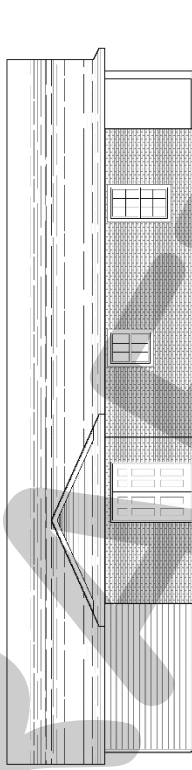
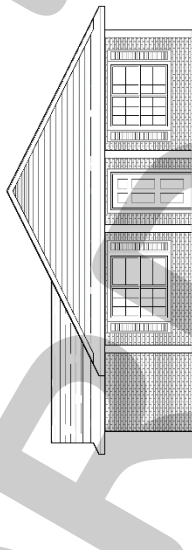


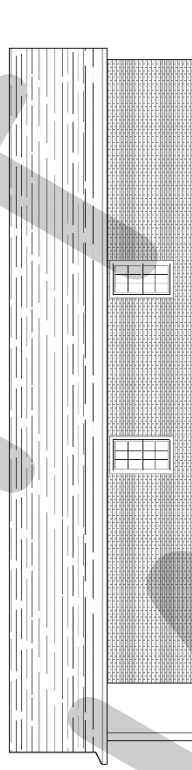
Exhibit 'C':
Building Elevations



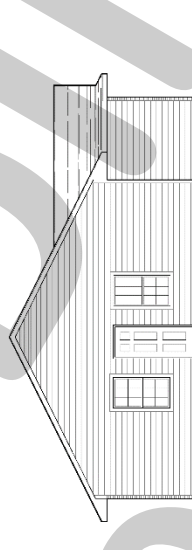
1 EXTERIOR ELEVATION - FRONT 8'0" 10'0" 12'0" 14'0" 16'0" 18'0" 20'0" 22'0" 24'0" 26'0" 28'0" 30'0" 32'0" 34'0" 36'0" 38'0" 40'0" 42'0" 44'0" 46'0" 48'0" 50'0" 52'0" 54'0" 56'0" 58'0" 60'0" 62'0" 64'0" 66'0" 68'0" 70'0" 72'0" 74'0" 76'0" 78'0" 80'0" 82'0" 84'0" 86'0" 88'0" 90'0" 92'0" 94'0" 96'0" 98'0" 100'0"



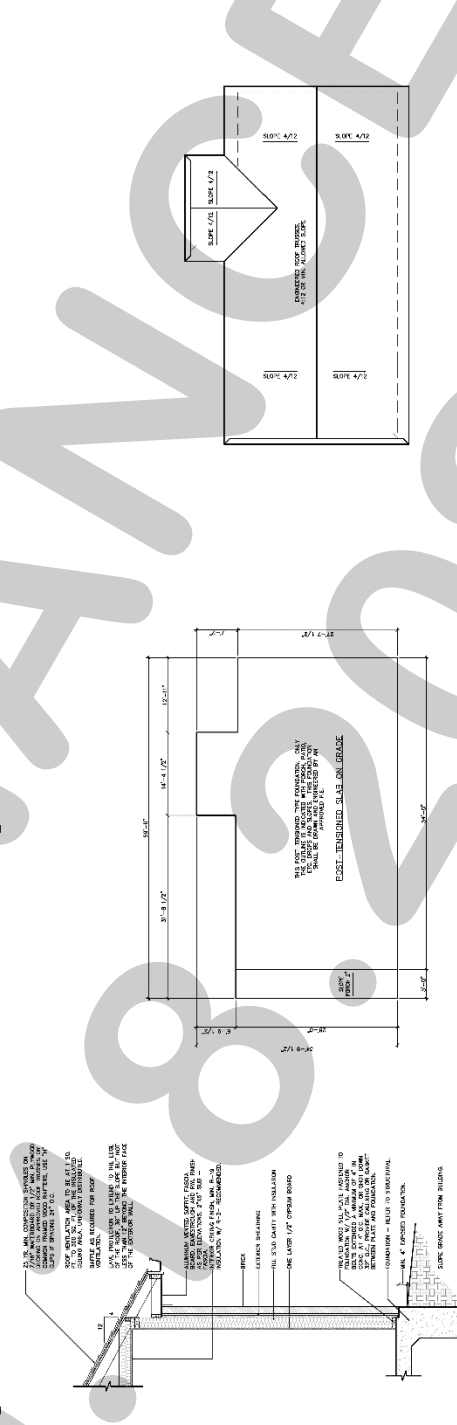
2 EXTERIOR ELEVATION - BACK 8'0" 10'0" 12'0" 14'0" 16'0" 18'0" 20'0" 22'0" 24'0" 26'0" 28'0" 30'0" 32'0" 34'0" 36'0" 38'0" 40'0" 42'0" 44'0" 46'0" 48'0" 50'0" 52'0" 54'0" 56'0" 58'0" 60'0" 62'0" 64'0" 66'0" 68'0" 70'0" 72'0" 74'0" 76'0" 78'0" 80'0" 82'0" 84'0" 86'0" 88'0" 90'0" 92'0" 94'0" 96'0" 98'0" 100'0"



3 EXTERIOR ELEVATION - LEFT 8'0" 10'0" 12'0" 14'0" 16'0" 18'0" 20'0" 22'0" 24'0" 26'0" 28'0" 30'0" 32'0" 34'0" 36'0" 38'0" 40'0" 42'0" 44'0" 46'0" 48'0" 50'0" 52'0" 54'0" 56'0" 58'0" 60'0" 62'0" 64'0" 66'0" 68'0" 70'0" 72'0" 74'0" 76'0" 78'0" 80'0" 82'0" 84'0" 86'0" 88'0" 90'0" 92'0" 94'0" 96'0" 98'0" 100'0"



4 EXTERIOR ELEVATION - RIGHT 8'0" 10'0" 12'0" 14'0" 16'0" 18'0" 20'0" 22'0" 24'0" 26'0" 28'0" 30'0" 32'0" 34'0" 36'0" 38'0" 40'0" 42'0" 44'0" 46'0" 48'0" 50'0" 52'0" 54'0" 56'0" 58'0" 60'0" 62'0" 64'0" 66'0" 68'0" 70'0" 72'0" 74'0" 76'0" 78'0" 80'0" 82'0" 84'0" 86'0" 88'0" 90'0" 92'0" 94'0" 96'0" 98'0" 100'0"



CITY OF ROCKWALL

ORDINANCE NO. 21-51

SPECIFIC USE PERMIT NO. S-259

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1st DAY OF NOVEMBER, 2021.



Kevin Fowler, Mayor

ATTEST:



Kristy Cole, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'
Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition



**Exhibit 'B':
Residential Plot Plan**

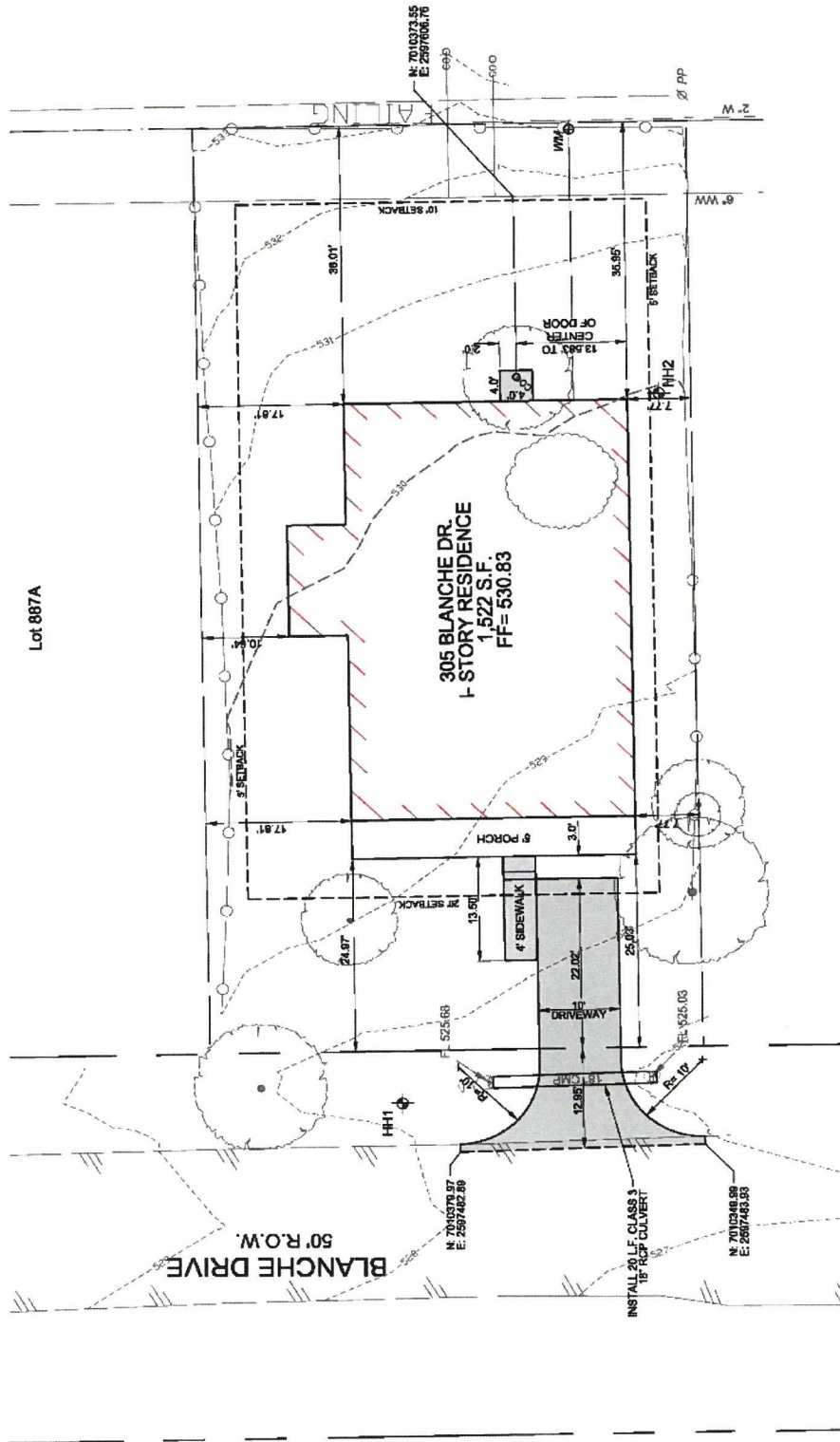
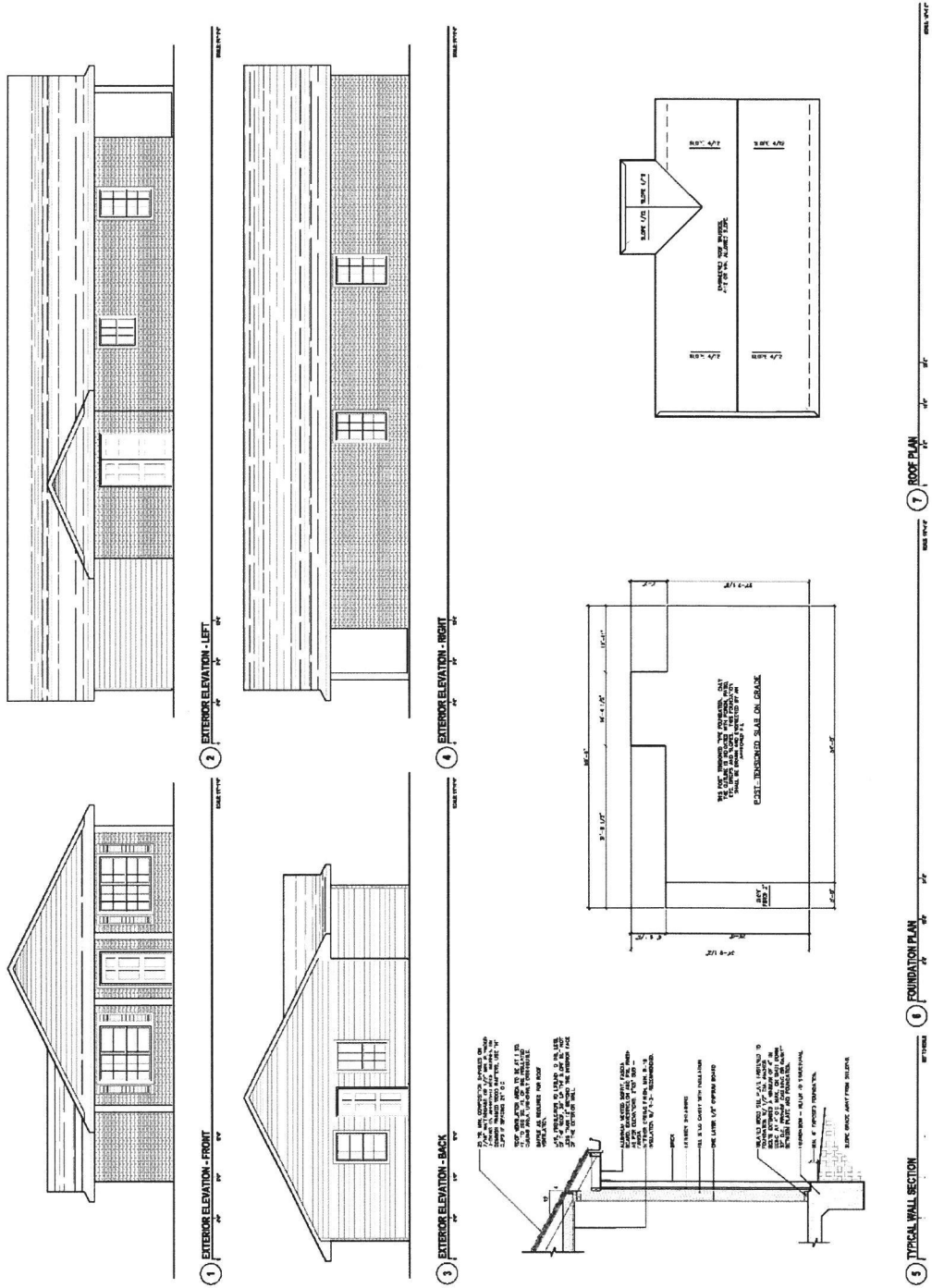


Exhibit 'C': Building Elevations





November 2, 2021

TO: Peter Muhl
1101 Ridge Road, #4
Rockwall, TX 75087

FROM: Angelica Gamez
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2021-039; *Specific Use Permit (SUP) for 305 Blanche*

Mr. Muhl:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on November 1, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On October 12, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.

City Council

On November 1, 2021, the City Council approved a motion to approve the specific use permit with the conditions of approval by a vote of 7-0.

Included with this letter is a copy of Ordinance No. 21-51, S-259, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-6438.

Sincerely,

Angelica Gamez
Planning and Zoning Coordinator