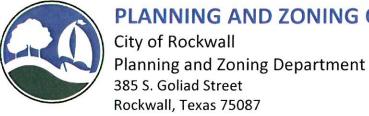
PLANNING AND ZONING CASE CHECKLIST



☐ TREESCAPE PLAN

P&Z CASE # 22021-039 P&Z DATE 10 12 21	CC DATE 10/18/24 APPROVED/DENIE
ARCHITECTURAL REVIEW BOARD DATE HPA	AB DATE PARK BOARD DATE
ZONING APPLICATION SPECIFIC USE PERMIT ZONING CHANGE PD CONCEPT PLAN PD DEVELOPMENT PLAN SITE PLAN LANDSCAPE PLAN LANDSCAPE PLAN TREESCAPE PLAN PHOTOMETRIC PLAN BUILDING ELEVATIONS MATERIAL SAMPLES COLOR RENDERING	☐ COPY OF ORDINANCE (ORD.#) APPLICATIONS RECEIPT LOCATION MAP HOA MAP PON MAP FLU MAP NEWSPAPER PUBLIC NOTICE S00-FT. BUFFER PUBLIC NOTICE PROJECT REVIEW STAFF REPORT CORRESPONDENCE COPY-ALL PLANS REQUIRED COPY-MARK-UPS CITY COUNCIL MINUTES-LASERFICHE MINUTES-LASERFICHE PLAT FILED DATE CABINET # SLIDE #
PLATTING APPLICATION MASTER PLAT PRELIMINARY PLAT	NOTES:
☐ FINAL PLAT ☐ REPLAT ☐ ADMINISTRATIVE/MINOR PLAT ☐ VACATION PLAT ☐ LANDSCAPE PLAN	ZONING MAP UPDATED



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY		
PLANNING & ZONING CASE NO.	Z2021-039	
NOTE: THE ADDITION IS NOT	CONCIDENCE ACCEPTED BY T	

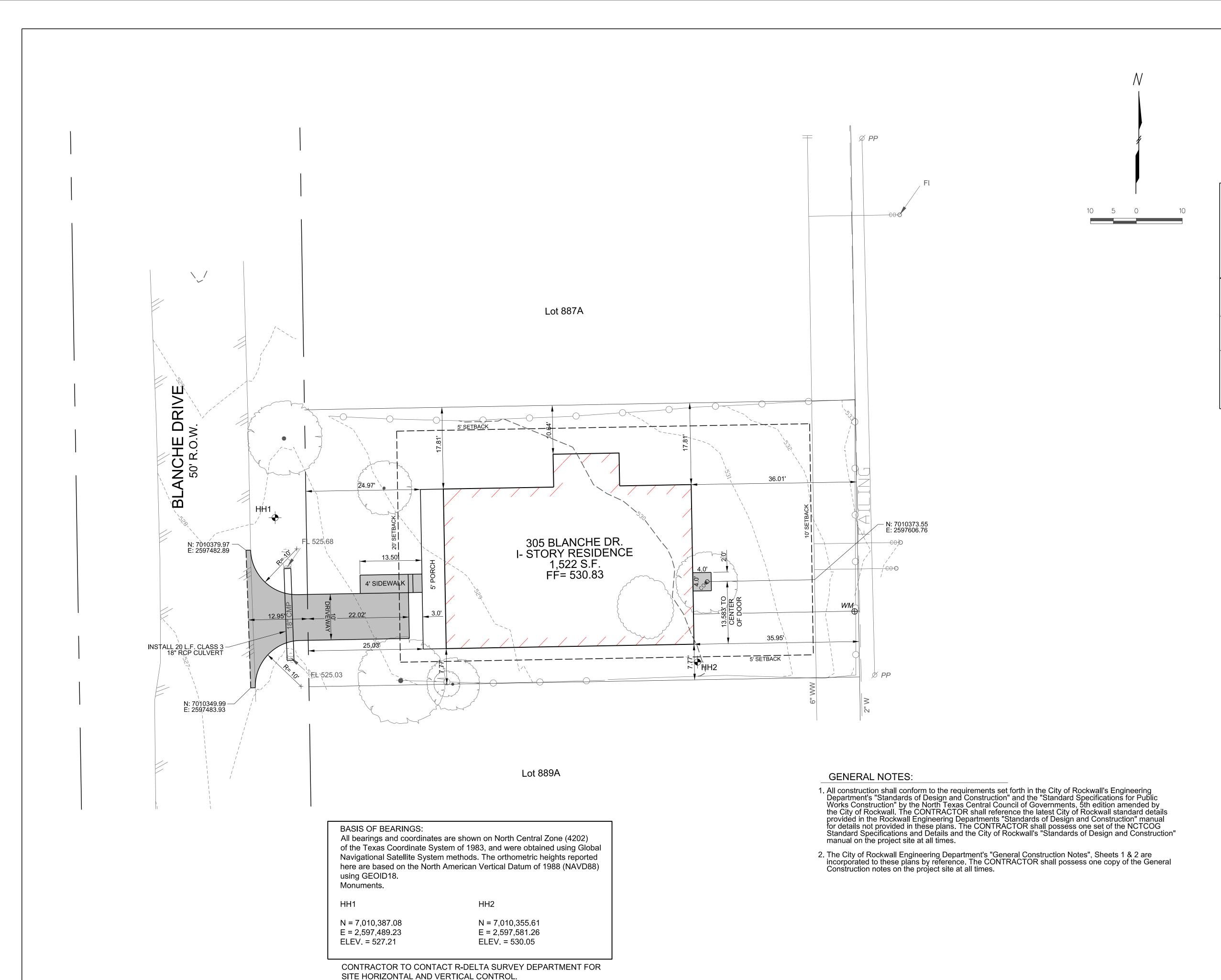
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

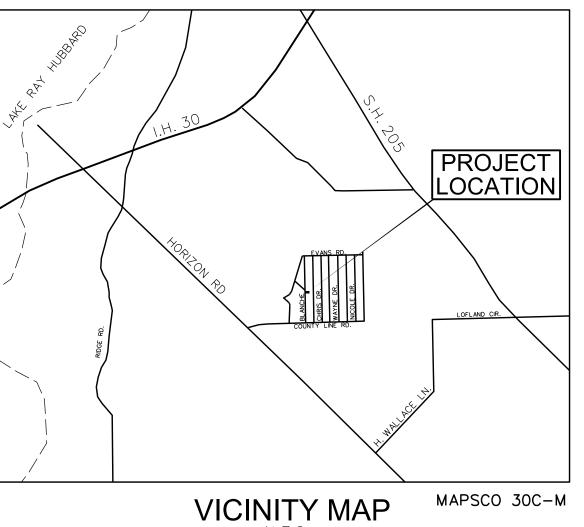
	PLEASE CHECK THE AR	PPROPRIATE BOX BELOW TO	INDICATE THE TYPE OF DEVE	ELOPMENT REQUEST (SELECT	ONLY ONE BOX1
--	---------------------	-------------------------	---------------------------	--------------------------	---------------

PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)			ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST (\$100.00)			
	ATION FEES: 0.00 + \$20.00 ACRE) ¹ PLAN/ELEVATIONS/LANDSCAPING	G PLAN (\$100.00)		E PER ACRE AMO		EXACT ACREAGE WHEN ESTS ON LESS THAN ONE
DDODEDTY INCO	RMATION [PLEASE PRINT]					
	305 Blanche	DY				
SUBDIVISION			1 L 2221	LOT	2004	BLOCK
		LE EST Z	- LOT OUDA	LOT	888 A	BLOCK
GENERAL LOCATION						
	AN AND PLATTING INFO	CONTRACTOR OF THE PARTY OF THE				
CURRENT ZONING	5 0 1 0011111	Contract to the contract of th	CURRENT USE	Empty		
PROPOSED ZONING	Single Family	Home	PROPOSED USE	Hom	e	
ACREAGE	.1650	LOTS [CURRENT]	1	LOTS	[PROPOSED]	1
REGARD TO ITS A	PLATS: BY CHECKING THIS BOX YO APPROVAL PROCESS, AND FAILURE T ENIAL OF YOUR CASE.					
OWNER/APPLICA	ANT/AGENT INFORMATIO	N [PLEASE PRINT/CHE	CK THE PRIMARY CONTA	CT/ORIGINAL SIG	SNATURES ARE F	REQUIRED]
▼ OWNER	A Rockwall Habi	tat for Hui	man APPLICANT			
	Peter Muhi		CONTACT PERSON			
ADDRESS	1101 Ridge Rd#	4	ADDRESS			
CITY, STATE & ZIP	Rockwall, TX 75	io87	CITY, STATE & ZIP			
PHONE	214-704-3455		PHONE			
E-MAIL	peter@northmesqui	teplumbing	E-MAIL			
NOTARY VERIFICE BEFORE ME, THE UNDER		ERSONALLY APPEARED	sally Mu	hL	[OWNER]	THE UNDERSIGNED, WHO
\$ 215:00 SENTENTION CONTAINE		THIS APPLICATION, HAS S APPLICATION, I AGRE PUBLIC. THE CITY IS	S BEEN PAID TO THE CITY OF E THAT THE CITY OF ROCK ALSO AUTHORIZED AND P	FROCKWALL ON WALL (I.E. "CITY") ERMITTED TO RI	THIS THE IS AUTHORIZED / EPRODUCE ANY (AND PERMITTED TO PROVIDE COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE	54 DAY OF SUD	tember 2021		STAR! PUR JEAN	INE RENEE FITZGERALD
	OWNER'S SIGNATURE S	ely mi	al VP		My WY	Commission Expires
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	JEANNE NOTAL	RENEE FIAZGERALD y ID #7398728	MY COMN	MISSION EXPIRES	10 12 00 WON 17 1 2
DEVELOPME	ENT APPLICATION & CITY OF ROCKS A	LE 385 BUTH GOLD	The state of the s	X 75087 • [P] (S	772) 771-7745 • [1 (972) 771-7727



NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITION'S DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



ZONING: PD-75 (AREA 2)

SETBACKS: FRONT - 20' REAR - 10' SIDES - 5'

MAXIMUM HEIGHT - 32' LOT COVERAGE - 30.3%

OWNER: HABITAT FOR HUMANITY CONTACT - PETER MUHL (214)704-3455



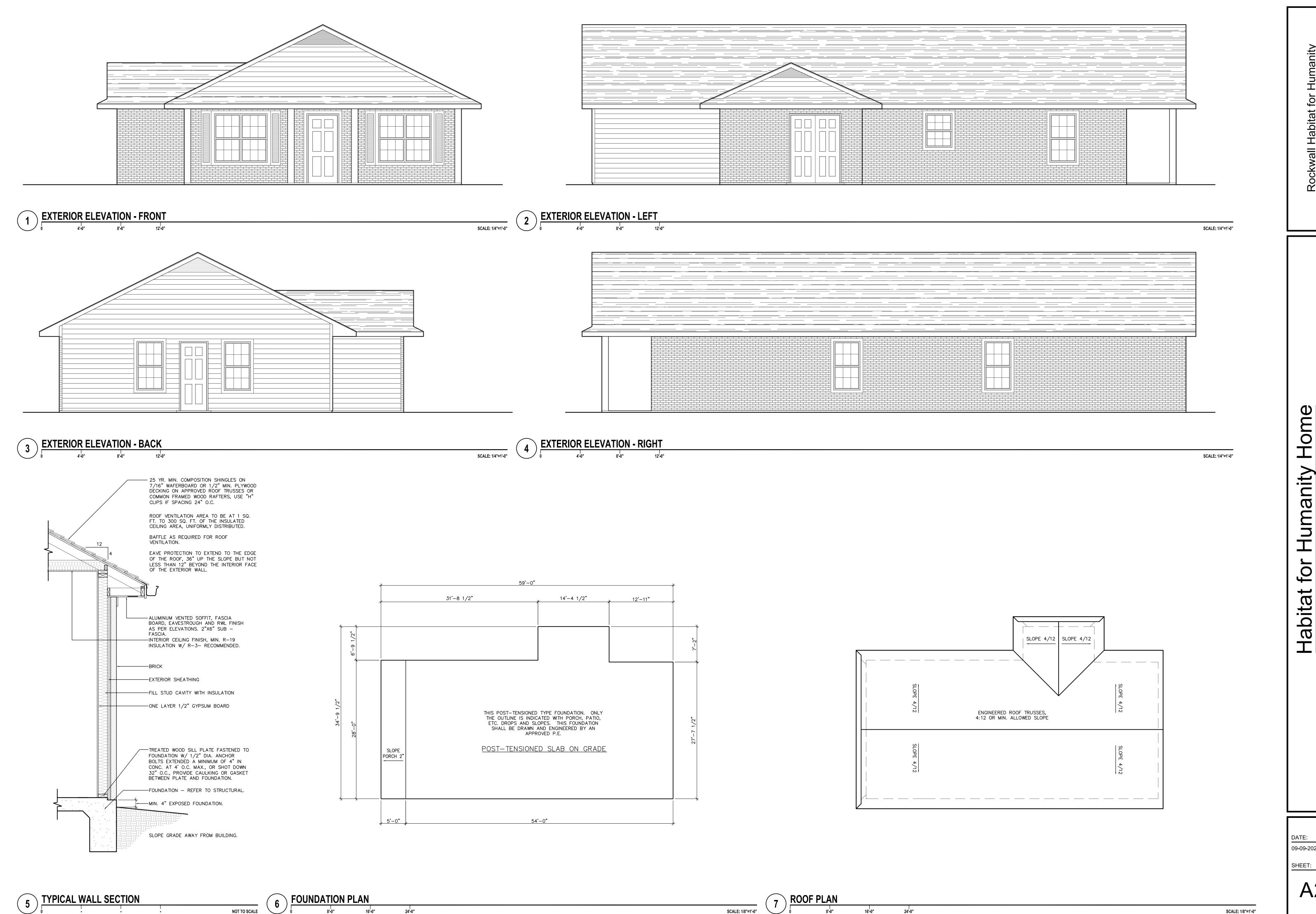
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

ENGINE	ERING PRACTI	CE ACT.
REV 🛆	DATE	DESCRIPTION
\triangle		

SITE PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

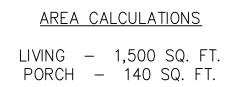
618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530	
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	1 of 5

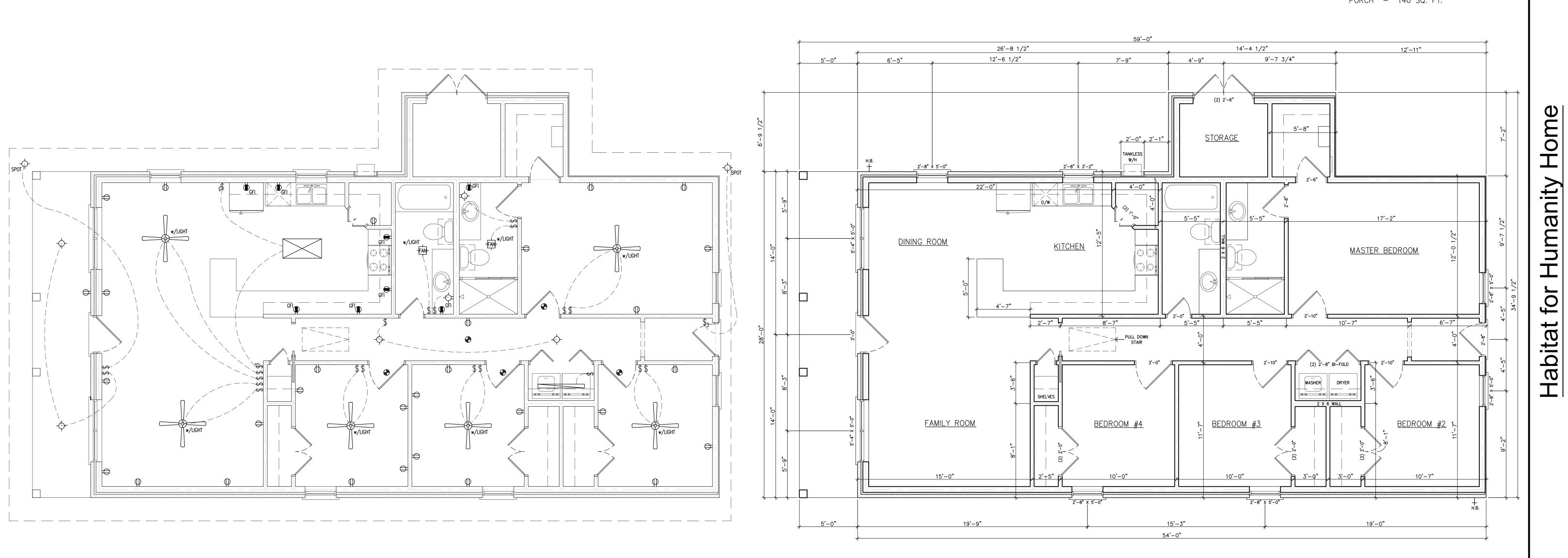


Human Rockwall, Tx for

DATE: 09-09-2021







ELECTRIC SYMBOL LEGEND

CEILING LIGHT

FAN- W/LIGHT EXHAUST FAN / LIGHT

CEILING FAN / LIGHT

WALL MOUNT LIGHT _____ FLUORESCENT UTILITY LIGHT

4' 4-LAMP FLUORESCENT LIGHT

3 LAMP EXTERIOR FLOOD LIGHT

110 V DUPLEX WALL OUTLET

110 V CEILING OUTLET

3-WAY LIGHT SWITCH

SMOKE DETECTOR

LIGHT SWITCH

110 V GFI DUPLEX OUTLET - ABOVE COUNTER

POWER/LIGHTING PLAN

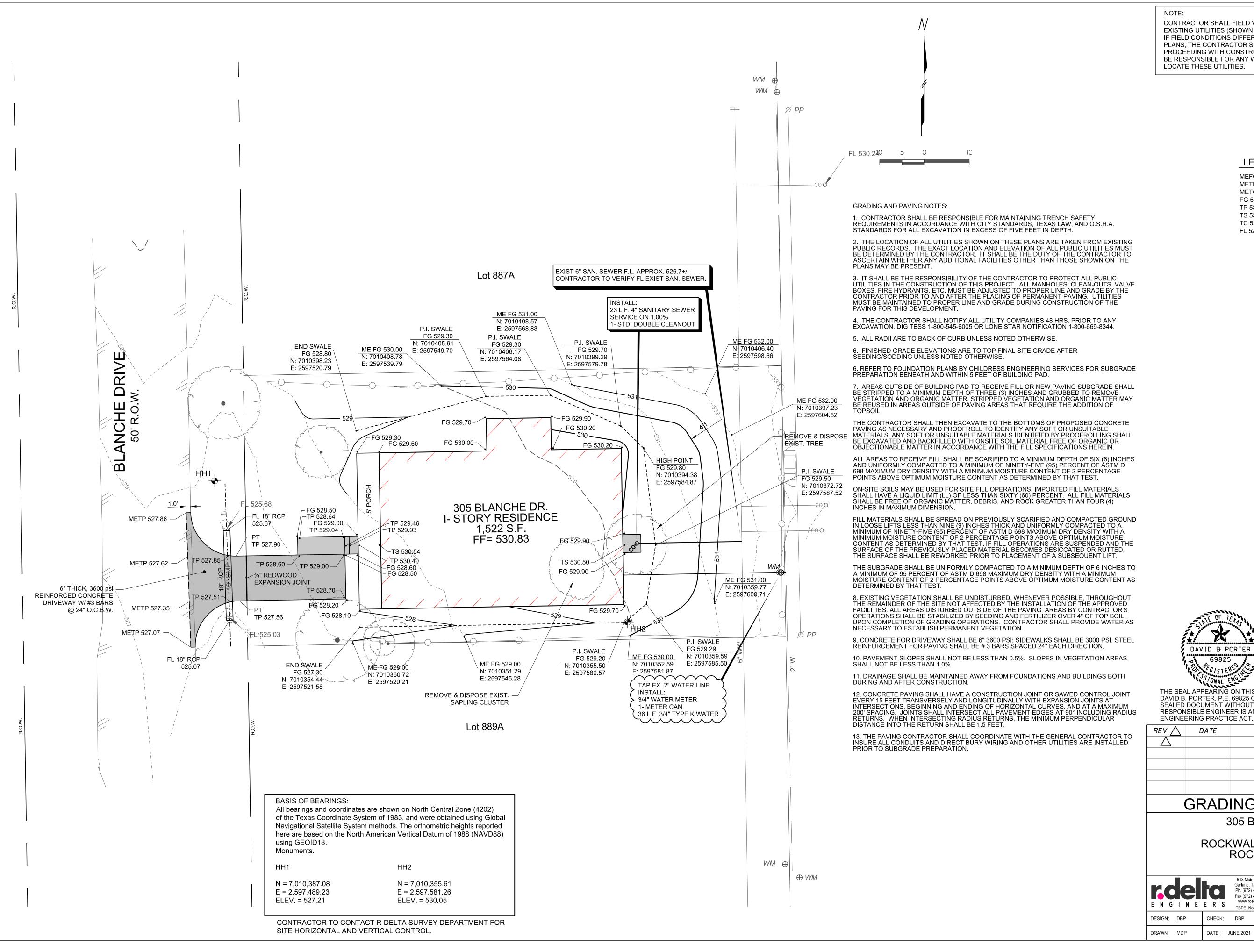
PLOOR PLAN

SCALE: 1/4"=1'-0"

DATE: 09-09-2021 SHEET:

SCALE: 1/4"=1'-0"

Habitat



CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO

LEGEND

MEFG 531.14

METP 531.06

METC 530.78

FG 530.90

TP 531.52

TS 531.52

TC 530.63

FL 525.00

MATCH EXIST. FINISHED GRADE MATCH EXIST. TOP OF PAVEMENT MATCH EXIST. TOP OF CURB FINISHED GRADE TOP OF PAVEMENT TOP OF SLAB TOP OF CURB

FLOW LINE ELEVATION

DAVID & PORTER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS

REV △	DATE	DESCRIPTION
\triangle		

GRADING & UTILITY PLAN

305 BLANCHE DRIVE **LOT 888A** ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

E N G I N E E R S 618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530		
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:	
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	2 of 5	

Perimeter Control

Slope Protection

Sediment Trapping

Channel Protection

Temporary Stabilization

Permonent Stabilization

Waste Management

Housekeeping Proctices

Torgeted Constituents

Toxic Materials

Oil & Grease

C Floatable Materials

Copital Costs

→ Maintenance

O Suitobility for

Legend

O Significant Impact

O Low Impact

Training

O Other Construction

Implementation

Sediment

Chemical Management

Chemical management addresses the problem of storm water polluted with chemical pollutants through spills or other forms of

construction chemicals through appropriate recognition handling.

t is not the intent of chemical management to supersede or

replaced normal site assessment and remediation procedures.

significant spills and/or contamination warrant immediate

contamination should be immediately reported to regulator

authorities and protective actions taken. Significant spills should be reported to the National Response Center (NRC)

oil, grease, lertilizer, and pesticide are present at most

Targeted Chemical Materials

Wood preservatives

Fuels & lube oils

Pesticides herbicides & fertilizer

materials handling procedures.

Use only licensed hazardous waste haulers.

Culting oils

Storage Procedures

These management practices along with applicable OSHA and EPA guidelines should be incorporated at all construction sites that

use or generate hazardous wastes. Many chemicals such as fuel,

INSTALLATION, APPLICATION AND DISPOSAL CRITERIA

The chemical management techniques presented here are based on proper recognition, handling, and disposal practices by

construction workers and supervisors. Key elements are

education, proper disposal practices, as well as provisions for

safe storage and disposal. Following are lists describing the

Wherever possible, minimize use of hazardous materials.

Minimize generation of hazardous wastes on the job-site

Segregate potentially hazardous waste from non-hazardou

construction site debris.

Designate a foreman or supervisor to oversee hazardous

Waste Handling
□ Ensure that adequate hazardous waste storage volume is available.

Do not allow potentially hazardous waste materials to accumulate.

Ensure that hazardous waste collection containers are conveniently located.

Ensure that adequate cleanup and containment materials are available ansite.

Regularly schedule hazardous waste removal to minimize on-site storage.

Instruct workers on safety procedures for construction site chemical storag

Educate all workers on chemical storage and disposal procedures.

Instruct workers in identification of chemical pollutants.
Ensure that workers are trained in procedures for spill prevention and response.

Have regular meetings to discuss and reinforce identification, handling, and disposa

procedures (incorporate in regular safety seminars).
Establish a continuing education program to indoctrinate new employees.

Quality Assurance

Foreman and/or construction supervisor shall monitor on site chemical storage

Ensure that the hazardous waste disposal contractor is reputable and licensed.

 $\begin{array}{ll} \textit{Requirements} \\ \square & \textit{Job-site} \end{condition} \text{ ond observed and observed and observed one of the condition of$

program.

Commitment by management to implement chemical storage and hazardous waste

Compliance by workers.
Sufficient and appropriate chemical and hazardous waste storage containers.

Small cost impact for training and monitoring.

Potential cost impact for hazardous waste collection and disposal by licensed

This practice is not intended to address site-assessments and pre-existing contamination.

Demolition activities and potential pre-existing materials, such as lead and asbestos, are

Sanitary Facilities

not addressed by this program. Site-specific information on plans is necessary.

Major contamination, large spills and other serious hazardous waste incidents require

Possible modest cost impact for additional chemical storage containers.

Timely removal of stored hazardous waste materials.

hauler-actual cost depends on type of material and volume.

and disposal procedures.

Educate and if necessary, discipline workers who violate procedures.

Educate workers of potential dangers to humans and the environment from chemical

Keep chemicals in appropriate containers (closed drums or similar) and under cover.

Store chemicals away from drainage ditches, swales and catch basins.

Use containment berms in fueling and maintenance areas and where the potential for spills

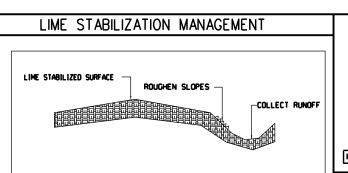
Clearly mark on all hazardous waste containers which materials are acceptable for the

PRIMARY USE

response by trained professionals. Suspected job-site

contact. The objective of the chemical management is to

minimize the potential of storm water contamination from



One part of a comprehensive construction site management program

Lime stabilization is used extensively in the North Central Texas region to stabilize pavement subbases for roadways, parking lots, and other paved surfaces, and as a subgrade amendment for building pad sites. Hydrated lim is applied to the soil and mixed through disking and other techniques, then allowed to cure. This practice will reduce the potential for runoff to carry time offsite, where it may impact equatic life by changing the pH belance of streams.

This BMP should be implemented when lime is required for soil stabilization.

APPLICATIONS Line stabilization can be used under a variety of conditions. The engineer should determine the applicability of time stabilization based on site conditions such as available open space, quantity of area to be stabilized, proximity of nearby water courses and other BMPs employed at the site. The use of diversion dikes and interceptor swales (see appropriate fact sheets) to divert runoff away from areas to be stabilized can be used in conjunction with these techniques to reduce the impact of the lime.

DESIGN CRITERIA ☐ The contractor shall limit lime operations to that which can be thoroughly

mixed and compacted by the end of each workday.

No traffic other than water trucks and mixing equipment shall be allowed to

Legend pass over the spread line until after completion of mixing.

Areas adjacent and downstream of stabilized areas shall be roughened to intercept line from runoff and reduce runoff velocity.

Geotextile fabrics such as those used for stilt fence should not be used to Medium Impact Low Impact

address lime since the grain size of lime is significantly smaller than the apparent opening size of the fabric. For areas for which phasing of time operations is impractical, use of a curing seal such as Liquid Asphalt, Grade MC-250 or MC-800 applied at a rate of 0.15 gollons per sq. yd. of surface can be used to protect the base.

Use of sediment bosins with a significant ()36 hour) drawdown time is encouraged for large areas to be stabilized (see 5-6, Sediment Bosin). Provide containment around lime storage, loading, and dispensing areas.

Line stabilization can be part of an overall plan to reduce pollutants from an active construction site. In the case of pollution due to lime, prevention of contamination is the only effective method to address this pollutant. Proper application and mixing along with avoiding applications when there is a significant probability of rain will reduce time runoff.

Temporary Stabilization Permanent Stabilization Waste Management Housekeeping Practices Targeted Constituents Sediment Nutrients Toxic Materials Oil & Grease Floatable Materials Other Construction Capital Costs

Unknown or

Questionable Impact M-6

Slope Protection

Sediment Trapping

Channel Protection

Facilities for collection and disposal of sanitary waste must be provided and properly managed to minimize the potential contamination of surface water with septic waste. Location of portable facilities away from storm drain systems and surface waters or containment is necessary in case of spills. PROCEDURES

Contaminated soils are not addressed.

management practices.

Maintenance Training Suitability for Slope

proximity to areas where people are working.

Portable toilets must be provided if no permanent facilities Locate portable toilets a minimum of 20 feet away from storm drain inlets, conveyance channels, or surface waters. If unable to meet 20-foot distance requirements, provide

Sonitory facilities must be provided on the site in close containment for portable toilets.
Portable toilets should be regularly serviced.

Applications Perimeter Control Slope Protection Sediment Trapping Channel Protection Temporary Stabilization Permonent Stabilization Waste Management Housekeeping Practices Targeted Constituents Sediment Nutrients Toxic Materials O Oil & Greose O Floatable Materials O Other Construction Requirements O Capital Costs

Training

Slopes > 5%

O Significant Impact

O Low Impact

Legend

Questionable Impact

M-7

Concrete Waste Management Perimeter Control Concrete waste at construction sites comes in two forms:
1) excess fresh concrete mix including truck and equipment Slope Protection Sediment Trapping washing, and 2) concrete dust and concrete debris resulting from Channel Protection demolition. Both forms have the potential to impact water quality Temporary Stabilization through storm water runoff contact with the waste. Permanent Stabilization PRIMARY USE Concrete waste is present at most construction sites. This BMP Waste Management Housekeeping Practices should be utilized at sites in which concrete waste is present APPLICATIONS A number of water quality parameters can be affected by Targeted Constituents introduction of concrete - especially fresh concrete. Concrete affects the pH of runoff, cousing significant chemical changes water bodies and harming aquatic life. Suspended solids in the O Sediment form of both cement and aggregate dust are also generated Nutrients from both fresh and demolished concrete waste Unacceptable Waste Concrete Disposal Practices Oil & Grease Dumping in vacant areas on the job-site. Hicit dumping off-jobsite. Dumping into ditches or drainage facilities. O Floatable Materials Recommended Disposal Practices

Avoid unacceptable disposal practices listed above. Develop pre-determined, safe concrete disposal greas. Provide a washout area with a minimum of 6 cubic feet of containment area volume for every 10 cubic yards of Never dump woste concrete illicitly or without property owners knowledge and consent.

Overflow of washdown water shall be discharged in an area Capital Costs protected by one or more sediment removal BMPs and shall pe done in a manner that does not result in a violation of aroundwater or surface water quality standards Training Suitability for Drivers and equipment operators should be instructed on

O Other Construction Implementation proper disposal and equipment washing practices (see above). Supervisors must be made aware of the potential enviornmental consequences of improperly handled concrete Legend O Significant Impact Enforcement The construction site manager or foreman must ensure that employees and pre-mix companies follow proper procedures for concrete disposal and equipment washing.
Employees violating disposal or equipment cleaning directives O Low Impact must be re-educated or disciplined if necessary Demolition Practices Monitor weather and wind direction to ensure concrete dust in not entering drainage structures and surface waters. Where appropriate, construct sediment traps or other types of sediment detention devices downstream of demolition octivities Use pre-determined disposal sites for waste concrete.

Prohibit dumping woste concrete onywhere but pre-determined Educate drivers and operators on proper disposal and equipment cleaning procedures Minimal cost impact for training and monitoring.

Concrete disposal cost depends on availability and distance to suitable disposal areas.

Additional costs involved in equipment washing could be significant. Concrete waste management is one part of a comprehensive construction site waste management program.

SANDBLASTING WASTE MANAGEMENT Perimeter Control Slope Protection Sediment Trapping Channel Protection The objective of sandblosting waste management is to minimize the potential of storm water quality degradation from sandblosting activities at construction sites. The key issues in this program are prudent handling and storage of Temporary Stabilization Permanent Stabilization sandblast media, dust suppression, and proper collection and disposal of spent media. It is not the intent of this BMP to outline all of the worker safety issues Waste Management Housekeeping Practices pertinent to this practice. Safety issues should be addressed by construction safety programs as well as local, state, and federal regulations. largeted Constituent INSTALLATION/APPLICATION CRITERIA

Nutrients Toxic

Oil & Grease

Wostes

Copital Costs

Maintenance

Suitability for Slopes

Legend

Medium Impact

Low impact

Unknown or

Questionable Impact

M-5

MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT

LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR

DATE BUT WITHIN 48 HOURS.

GREATER. IF A REPAIR IS NECCESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE

Training

Floatable Material

Other Construction

Since the sandblasting media consists of fine abrasive granules, it can be easily transported by running water. Sandblasting activities typically create a significant dust problem that must be contained and collected to prevent off-site migration of lines. Perticular attention must be peid to sandblasting work on bridges, box culverts, and headwalls that span or are immediately adjacent to Operational Procedures Use only mert, non-degradable sandblast media. Use appropriate equipment for the job; do not over-blast l Install a windsock or other wind direction instrumen

Cease blasting activities in high winds or if wind direction could transport grit to drainage facilities.
Install dust shielding around sandblasting areas. Collect and dispose of all spent sandblast grit, use dust containment fabrics

☐ Non-hazardous sandblast grit may be disposed in permitted construction debris landfills or permitted senitary landfills.

If sandblast media cannot be fully contained construct sediment traps downstream from blasting area where appropriate.

Use sand fencing where appropriate in areas where blast media cannot be

fully contained.

If necessary, install misting equipment to remove sandblast grit from the air prevent runoff from misting operations from entering drainage systems. Use vacuum grit collection systems where possible.

☐ Keep records of sandblasting materials, procedures, and weather onditions on a daily basis. ☐ Take all reasonable precautions to ensure that sandblasting grit is contained and kept away from drainage structures. ☐ Educate all on-site employees of potential dangers to humans and the

environment from sandblast grit.

Instruct all on-site employees of the potential hazardous nature of sandblast grit and the possible symptoms of over exposure to sandblast grit. ☐ Instruct operators of sandblasting equipment on safety procedures and Instruct operators on proper procedures regarding storage, handling and containment of sandblast grit.

SANDBLASTING WASTE MANAGEMENT

Concrete Sawcutting Waste Management

Sawcutling of concrete pavement is a routine practice,

necessary to control shrinkage cracking immediately following

placement of plastic concrete. It is also used to remove cur

sections and povement sections for povement repairs, utility trenches, and driveways. Sawcutting for joints involves sowing

Water is used to control saw blade temperature and to flush the detritus from the sawed groove. The resulting slurry

A number of water quality parameters can be affected by

cousing significant chemical changes in water bodies and

harming aquatic life. Suspended solids in the form of sow fines are also generated from sawculting operations.

Slurry Collection

During sow culting operations, the slurry and culting

The slurry and culting shall not be allowed to drain to the

Develop pre-determined, safe slurry disposal areas.
 Collected slurry and cultings shall be discharged in an area

protected by one or more sediment removal BMPs and

violation of groundwater or surface water quality standards Never dump waste illicitly or without property owner's

shall be done in a manner that does not result in a

knowledge and consent.

Slurry may be disposed of in facilities designated for

washdown of concrete trucks (see M-3, Concrete Waste

Project personnel should inspect the operations to assure that

operators are diligent in controlling the water produced by the

saw cutting activities. Following operations the povement should be inspected to ensure that waste removal has been

storm drain system, swale, stream or other water body. The slurry and cutting shall not be allowed to remain on the

from the operation site.

povement to dry out.

MAINTENANCE

introduction of concrete fines. Concrete affects the pH of runoff.

of process water and fine particles and high pH must be

a narrow, shallow argove in the concrete, while sawcutting

for removals is usually done full depth through the slab.

Perimeter Control

Slope Protection

Sediment Trapping

Channel Protection

Temporary Stabilization

Permanent Stabilization

Waste Management

Housekeeping Proctices

Targeted Constituents

O Sediment

O Nutrients

Oil & Grease

O Flootable Material

O Capital Costs

Suilobility for Slopes > 5

Legend

O Significant Impact

← Medium Impact

O Low Impact

Unknown or

Questionable Impact

M-4

← Training

Other Construction

Implementation

☐ Instruct operators to recognize unfavorable meether conditions regarding sandblasting activities.☐ Instruct operators and supervisors on current local, state and federal regulations regarding fugitive dust and hazardous weste from sandblest grit.

Here weekly meetings with operators to discuss and reinforce proper operational procedures.

Materials Handling Recommendations

Sandblast media should always be stored under cover away from drainage structures.

Ensure that stored media or grit is not subject to transport by wind.

Ensure that all sandblasting equipment as well as storage containers comply with current local, state and fortune that all sandblasting equipment. federal regulations.

Refer to Hazardous Waste BMP fact sheet if sandblast grit is known or suspected to contain hazardous components.

Capture and treat runoff, which comes into contact with sandblasting material or waste.

☐ Foremen and/or construction supervisor should monitor all sandblasting activities and safety procedures. □ Educate and if necessary, discipline workers who violate procedures.
□ Take all reasonable precautions to ensure that sandblast grit is not transported off site or into drainage

Requirements

Education and awareness program for all employees regarding control of sandblasting and potential Operator and supervisor education program for those directly involved in sendolasting activities instructions on material handling, proper equipment operation, personal protective equipment, fugitive dust control, record keeping and reporting.

Proper sandblast equipment for the job.
 Site-specific fugitive dust control and containment equipment.

Minimal cost for training and monitoring.

Potential for significant cost for containment procedures on large jobs.

Potential for significant costs associated with cleanup, correction and remediation if contamination

Site-specific solutions to sandblasting problems may be required.
Sandblasting operations on structures known to contain hazardous materials require special procedures not specifically outlined above including professional hazardous waste specialists.
Where hazardous materials are known or suspected, a site assessment and remediation plan may be necessary. Sandblasting waste management is one part of a comprehensive construction site waste management

EROSION & SEDIMENT CONTROL BMPs

Perimeter Control

Channel Protection

Waste Management

O Capital Costs

Maintenance

Training

O Suitability for Slopes > 5

Legend

O Significant Impact

→ Medium Impact

O Low Impact

Unknown or

Varies

S-4

Slope Protection

Concrete blocks or other dam device Sediment Trapping Temporary Stabilization Permonent Stabilization Housekeeping Practices Targeted Constituents DESCRIPTION O Nutrients Inlet protection consists of a variety of methods of intercepting sediment at low point inlets through the use of stone, filter fabric, inlet inserts, and other materials. This is normally located O Oil & Greose at the inlet, providing either detention or filtration to reduce Flootoble Moterials O Other Construction

PRIMARY USE Inlet protection should be considered a secondary defense in site erosion control due to the limited effectiveness and applicability of the technique. It is normally used in new developments that include new inlets or roads with new curb inlet or during major repairs to existing roadways.

Inlet protection has limited use in developed areas due to the polential for flooding, traffic safety, pedestrion safety, and maintenance problems. Inlet protection can reduce sediment in storm sewer systems by serving as a back up system to onsite controls or by reducing sediment loads from controls with

APPLICATIONS Different inlet protection variations are used for different conditions as follows:

□ Filter barrier protection (similar to a silt fence barrier around the inlet) is appropriate when the drainage area is less tha one acre and the basin slope is less than five (5) percent. This type of protection is not applicable in payed areas Block and gravel (crushed stone, recycled concrete is also oppropriate) protection is used when flows exceed 0.5 c.f.s.

and it is necessary to allow for overtopping to prevent Excavated impoundment protection around a drop inlet may be used for protection against sediment entering a storm drain system. With this method, it is necessary to install weep holes to allow the impoundment to drain completely The impoundment shall be sized such that the volume of

acre of disturbed area entering the inlet for full effectiveness. DESIGN CRITERIA

□ Special coulion must be exercised when installing inlet protection on publicly traveled streets or in developed areas. Ensure that inlet protection is

properties and structures. Filter fabric protection shall be designed and maintained in a manner similar to silt fence.

Where applicable, filter fabric, posts, and wire backing shall meet the material requirements specified in BMP Fact Sheet S-1, Silt Fence.

Filter gravelshall be 3/4 inch (Block and Gravel Protection) or 1-1/2 to 2 inch (Excavated Impoundment Protection) washed stone containing no fines. Angular shaped

stone is preferable to rounded shapes.

Concrete blocks shall be standard 8" x 8" x 16" concrete masonry units. Maximum death of flow shall be eight (8) inches or less.

Positive drainage is critical in the design of inlet protection. If overflow is not provided for at the inlet, excess flows shall be routed through established swales, streets, or other watercourses to minimize damage due to flooding.

Filter Barrier Protection
Silt Fence shall consist of nylon geotextile supported by wire mesh, W1.4 x W1.4, and galvanized steel posts set a minimum of 1 foot depth and spaced not more than 6 feet on center. A 6 inch wide trench is to be cut 6 inches deep at the toe of the fence to allow the fabric to be laid below the surface and backfilled with compacted earth or gravel. This entrenchment prevents any bypass of runoff under the fence

Block and Gravel Protection (Curb and Drop Inlets) Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends obutting. Opening in the block should face outword, not upword.

1/2" x 1/2" wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. in appropriately sized geolextile fabric bags. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.

An excavated impoundment shall be sized to provide a storage volume of between 1800 and 3600 cubic feet per acre of disturbed area. The trap shall have a minimum death of one foot and a maximum depth of 2 feet as measured from the top of the inlet and shall have sideslopes of 2:1 or flatter. Weep holes are to be installed in the inlet walls to allow for the complete dewotering of the trap. When the storage capacity of the impoundment has been reduced by one-half, the silt shall be removed and disposed in a proper manner

Inlet inserts are commercially available to remove sediment, constituents (pollutants) adsorbed to sediment, and oil and grease. Maintenance is required to remove sediment and debris that could clog the filters. Inlet inserts must have a bypass function to prevent flooding from clogging or high flows.

Special caution must be exercised when installing inlet protection on publicly traveled streets or in developed areas. Ensure that inlet protection is properly designed, installed and maintained to avoid flooding of the roadway or adjacent properties and structures.

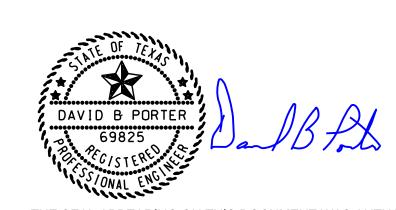
Inlet protection is only viable at low point inlets. Inlets that are on a slope connot be effectively protected because storm water will bypass the inlet and continue downstream, causing an overload condition at inlets downstream.

MAINTENANCE REQUIREMENTS Inlet protection should be inspected regularly (at least as often as required by the TPDES Construction General Permit, Appendix A). When silt fence is used and the fabric becomes clogged, it should be cleaned or, if necessary, replaced. Also, sediment should be removed when it reaches approximately one-half the height of the inlet protection device. If a sump is used, sediment should be removed when the volume of the basin is reduced by 50%.

For systems using filter stone, when the filter stone becomes clogged with sediment, the stones must be pulled away from the inlet and cleaned or replaced. Since cleaning of stone at a construction site may be difficult, an alternative approach would be to use the clagged stone as fill material and put new stone around the inlet.

Specifications for construction of this item may be found in the Standard Specifications for Public Works Construction - North Central Texas Council of Governments, Section 201.5 Intel Protection.

* (SEE SHEET 4 FOR S-4 DRAWINGS)



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021, ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Stabilized Construction Entrance Perimeter Control Slope Protection Sediment Trapping Channel Protection Temporary Stabilization Stabilized Construction Permanent Stabilization Waste Management Housekeeping Practices **Targeted Constituents** Sediment O Nutrients A stablized construction entrance consists of a pad consisting of crushed stone, recycled concrete or other rock like materi on top of the geolextile filter cloth to facilitate the removal of O 0il & Greose sediment and other debris from construction equipment prior to exiting the construction site. This directly addresses the problem O Flootoble Moterials of sill and mud deposition in roadways used for construction sit

O Other Construction

Requirements

Legend

O Significant Impact

→ Medium Impact

Unknown or

Fe=N/A

S-9

O Low Impact

O Copital Costs

O Suilobility for

Training

PRIMARY USE Stabilized construction entrances are used primarily for sites in which significant truck traffic occurs on a daily, basis. It properly, it also directs the majority of traffic to a single location, reducing the number and quantity of disturbed areas on the site and providing protection for other structural controls APPLICATIONS

access. For added effectiveness, a wash rack area can be

incorporated into the design to further reduce sediment tracking (See Wheel Wash, Fact Sheet S-10).

Stabilized construction entrances are a required part of the erosion controlplan for all site developments larger than one acre and a recommended practice for all construction sites. If possible, controlled entrances should be incorporated into small lot construction due to the large percentage of disturbed area on the site and the high potential for offsite tracking

DESIGN CRITERIA □ Stabilized construction entrances are to be constructed such that drainage across the entrance is directed to a controlled, stabilized outlet on site with provisions for storage, proper filtration, and removal of wash water. The entrance must be sloped away from the paved surface

so that storm water is not allowed to leave the site onto

roodways.

Minimum width of entrance shall be 15 feet. Stone shall be placed in a layer of at least 12-inches thickness. The stone shall be minimum of 3 to 5 inch

Prevent shortcutting of the full length of the construction entrance by installing barriers as necessary.

The geotextile fabric must meet the following minimum

O Tensile Strength, ASTM D4632 Test Method for Grob Breoking Lood and Elongation of Geotextiles, 300-lbs. O Puncture Strength, ASTM D4833 Test Method for Index Puncture Resistance of Geotextiles, Geomembrances, and Related Products, 120-lbs. Mullen Burst Rating, ASTM D3786 Standard Test Method for Hydraulic Bursting

Strength of Textile Fobrics-Diophrogm Bursting Strength Tester Method, 600-psi. Apparent Opening Size, ASTM D4751 Test Method for Determining Apparent Opening Size of a Geolextile, U.S. Sieve No. 30 (max).

When necessary, vehicles must be cleaned to remove sediment prior to entrance onto paved roads, streets, or parking lots. When washing is required, it shall be done on a constructed wheel wash facility that drains into an approved sediment

trap or sediment basin or other sedimentation/filtration device.

Minimum dimensions for the entrance shall be as follows: Min. Depth of Entrance Tract Area 15 feet 20 feet < 1 Acre 100 feet 20 feet 50 feet < 5 Acre

25 feet 75-100 feet

Selection of the construction entrance location is critical. To be effective, it must be

labilized entrances are rather expensive considering that it must be installed in combination with one or more other sediment control techniques, but it may be cost effective comparade to labor-intensive street cleaning.

MAINTENANCE REQUIREMENTS Construction entrances should be inspected regularly (at least as often as required by the TPDES Construction General Permit, Appendix A). When sediment has substantially

clagged the void area between the rocks, the aggregate mat must be washed down or replaced. Periodic re-grading and top dressing with additional stone must be done to keep the efficiency If the stabilized construction entrance is not effectively removing sediment from wheels

then a wheel wash should be considered

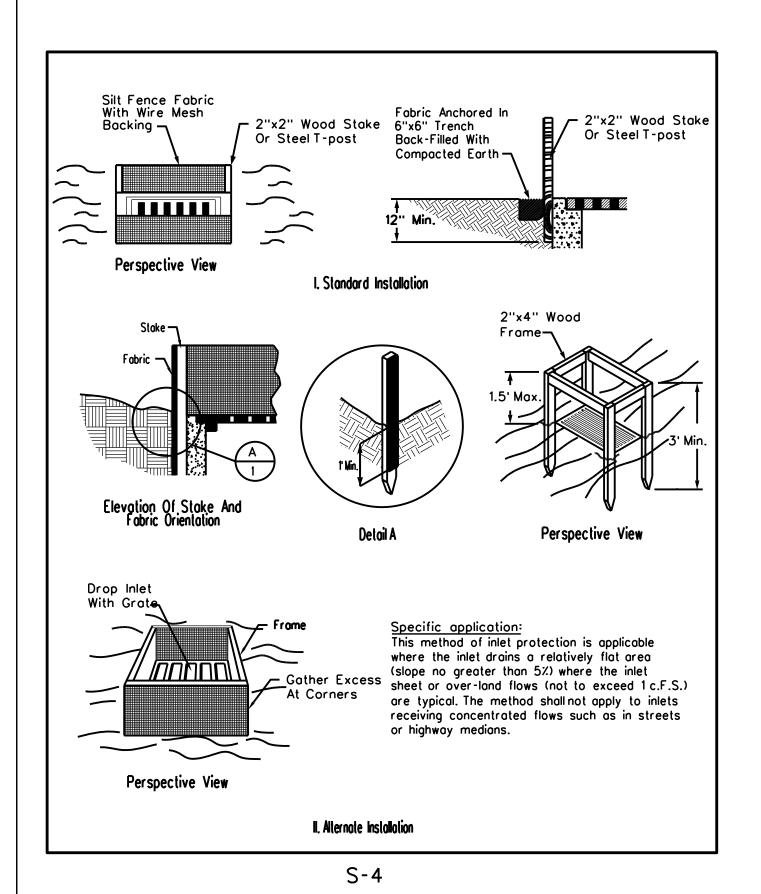
* (SEE SHEET 4 FOR S-9 DRAWINGS)

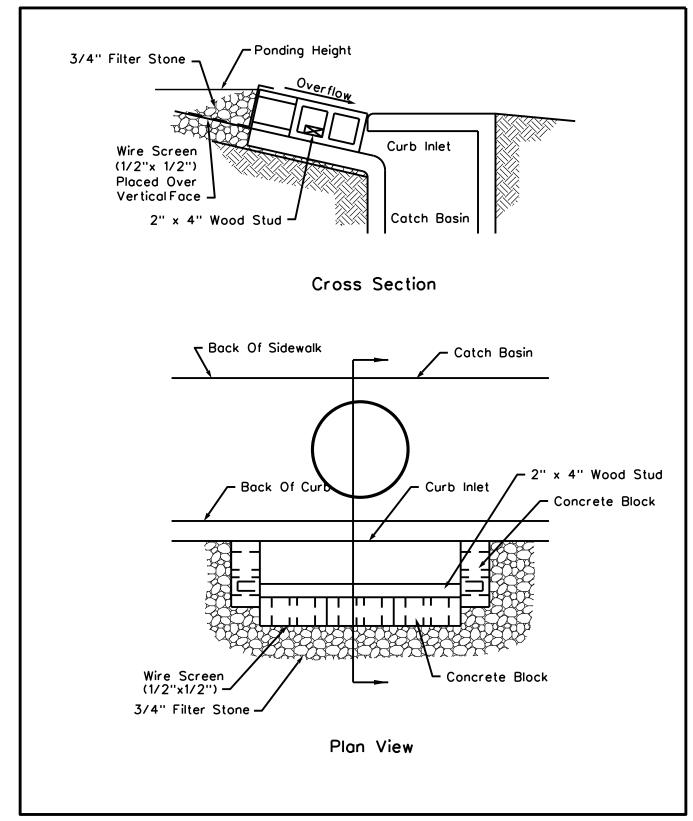
REV 🛆	DATE	DESCRIPTION
\triangle		

STANDARD EROSION CONTROL DETAILS

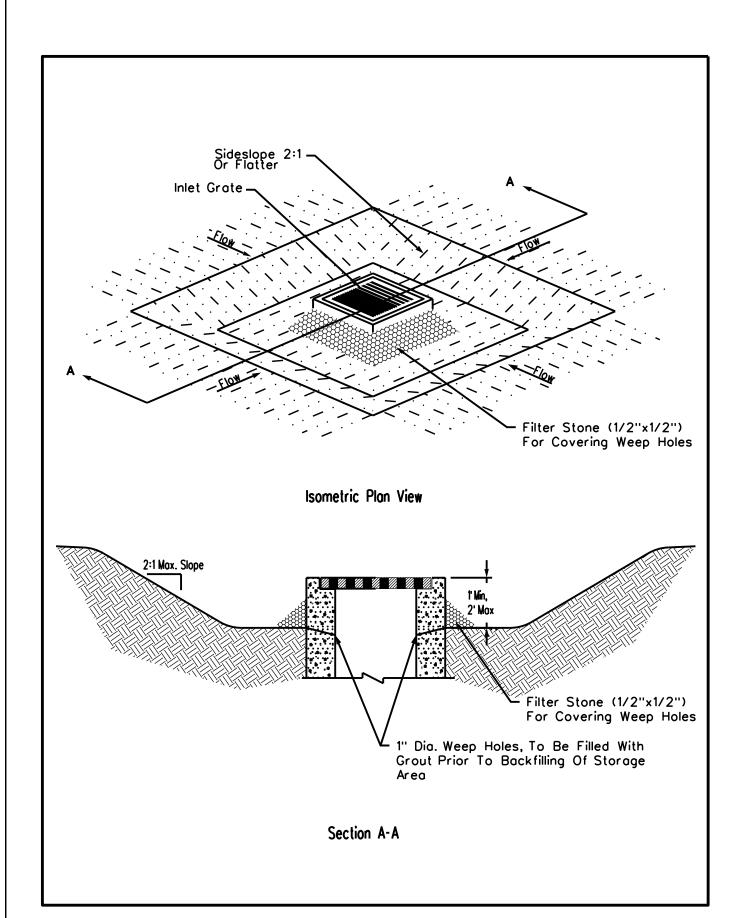
305 BLANCHE DRIVE **LOT 888A ROCKWALL LAKE ESTATES #2** ROCKWALL. TEXAS

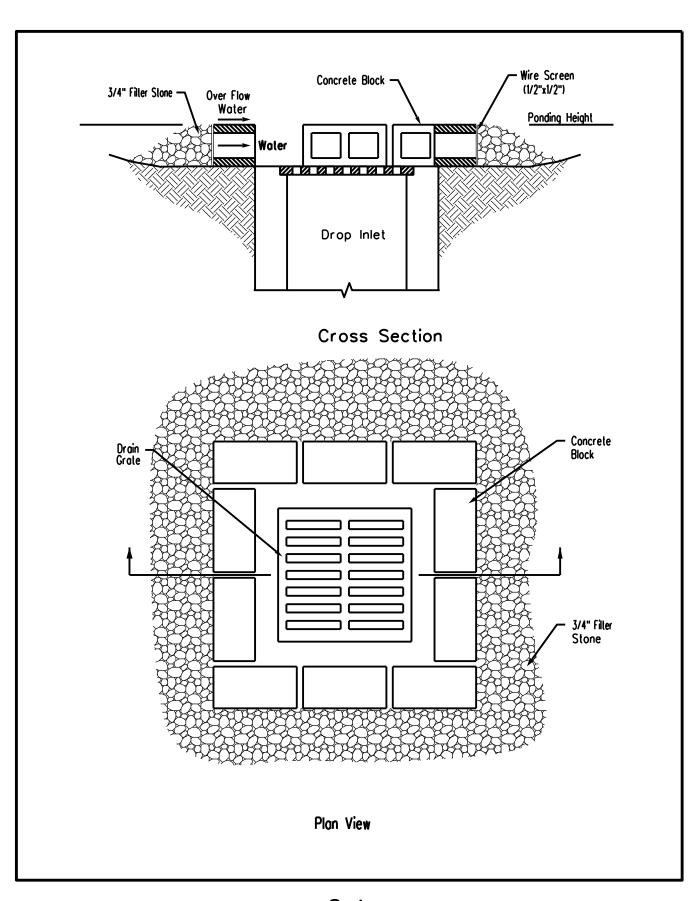
618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530		
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:	
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	3 of 5	



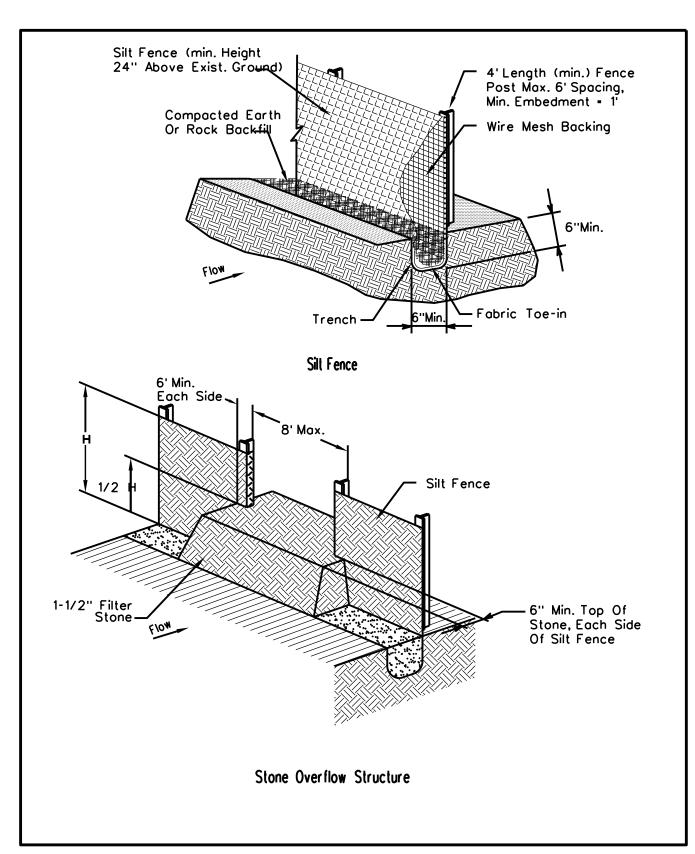


S-4





Length As Shown On Plans Grade To Prevent Runoff From Leaving Site **└** Existing Grade Length As Shown On Plans Grade To Drain Away From Stabilization And Street Paved Surface Away From Entrance Entrance Must Be Sloped So That Storm Water Is Not Allowed To Leave The Site And Enter Roadways. Plan View S-9 THE FOLLOWING NON-STORM WATER DISCHARGES FROM SITES AUTHORIZED UNDER THE GENERAL PERMIT ARE ALSO ELIGIBLE FOR AUTHORIZATION UNDER THE GENERAL PERMIT:



S-1

.DISCHARGES FROM FIRE FIGHTING ACTIVITIES (FIRE FIGHTING ACTIVITIES DO NOT INCLUDE WASHING OF TRUCKS, RUN-OFF WATER FROM TRAINING ACTIVITIES, TEST WATER FROM FIRE SUPPRESSION SYSTEMS, AND SIMILAR ACTIVITIES);

* UNCONTAMINATED FIRE HYDRANT FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE), WHICH INCLUDE FLUSHINGS FROM SYSTEMS THAT UTILIZE POTABLE WATER, SURFACE WATER, OR GROUNDWATER THAT DOES NOT CONTAIN ADDITIONAL POLLUTANTS (UNCONTAMINATED FIRE HYDRANT FLUSHINGS DO NOT INCLUDE SYSTEMS UTILIZING RECLAIMED WASTEWATER AS A SOURCE WATER);

. WATER FROM THE ROUTINE EXTERNAL WASHING OF VEHICLES, THE EXTERNAL PORTION OF BUILDINGS OR STRUCTURES, AND PAVEMENT, WHERE DETERGENTS AND SOAPS ARE NOT USED AND WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED; AND IF LOCAL STATE, OR FEDERAL REGULATIONS ARE APPLICABLE, THE MATERIALS ARE REMOVED ACCORDING TO THOSE REGULATIONS), AND WHERE THE PURPOSE IS TO REMOVE MUD, DIRT, OR DUST;

.UNCONTAMINATED WATER USED TO CONTROL DUST;

* POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND

DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE);

.UNCONTAMINATED GROUND WATER OR SPRING WATER, INCLUDING FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH INDUSTRIAL MATERIALS SUCH

AS SOLVENTS; AND . LAWN WATERING AND SIMILAR IRRIGATION DRAINAGE.

AFFECT AQUATIC LIFE.

PREPARED BY:

.UNCONTAMINATED AIR CONDITIONING CONDENSATE;

*HYPERCHLORINATED WATER 13.5 MG/L OR GREATER OF FREE CHLORINE) RESULTING FROM WATERLINE STERILIZATION SHALL BE DECHLORINATED AND NOT EXPECTED TO ADVERSELY

NOTE:

1. DISTURBED AREAS, INCLUDING HOUSE LOTS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED(TEMPORARILY OR PERMANENTLY), SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.

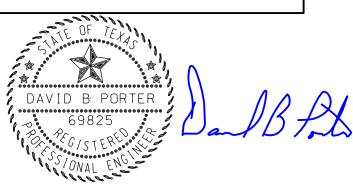
2. MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR GREATER.

HABITAT FOR HUMANITY PROJECT NAME & LOCATION: 305 BLANCHE DRIVE ROCKWALL, TEXAS 75032 OPERATOR NAME & ADDRESS: RESIDENTIAL CONSTRUCTION DETAILED PROJECT DESCRIPTION: GRADING, HOME CONSTRUCTION, AND EROSION CONTROL TOTAL PROJECT AREA: SO FT TOTAL AREA TO BE DISTURBED: SO FJ ESTIMATED PROJECT START DATE: JULY 2021 ESTIMATED PROJECT END DATE: OCTOBER 2021 S-1, S-9 EROSION & SEDIMENT BMPS: M-1, M-2, M-3, M-4, M-5, M-6, M-7 HOUSEKEEPING BMPS: ESTABLISHED VEGETATION, ESTABLISHED PERENNIAL VEGETATION, PAVING STABILIZATION PRACTICES: NOTE: BMPs to be used shall be those from the City of Rockwall "Standard Erosion Control" sheets, or from the most

GREATER. IF A REPAIR IS NECCESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE BUT WITHIN 48 HOURS.

SIGNATORY REQUIREMENT
I CERTIFY THAT THE INFORMATION PROVIDED IN THIS DOCUMENT REPRESENTS EROSION CONTROL MEASURES PLANNED FOR THE SUBJECT PROJECT AND IS TRUE, ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF. IFURTHER CERTIFY THAT LUNDERSTAND MY RESPONSIBILITIES UNDER THE CONDITIONS OF THIS EROSION CONTROL PLAN. PROJECT OPERATOR: PRINTED NAME TITLE: SIGNATURE: R-DELTA ENGINEERS, INC.

recent version of the "NCTCOG iSWM Design Manual For Construction".



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

TBPE Registration No. F-001515

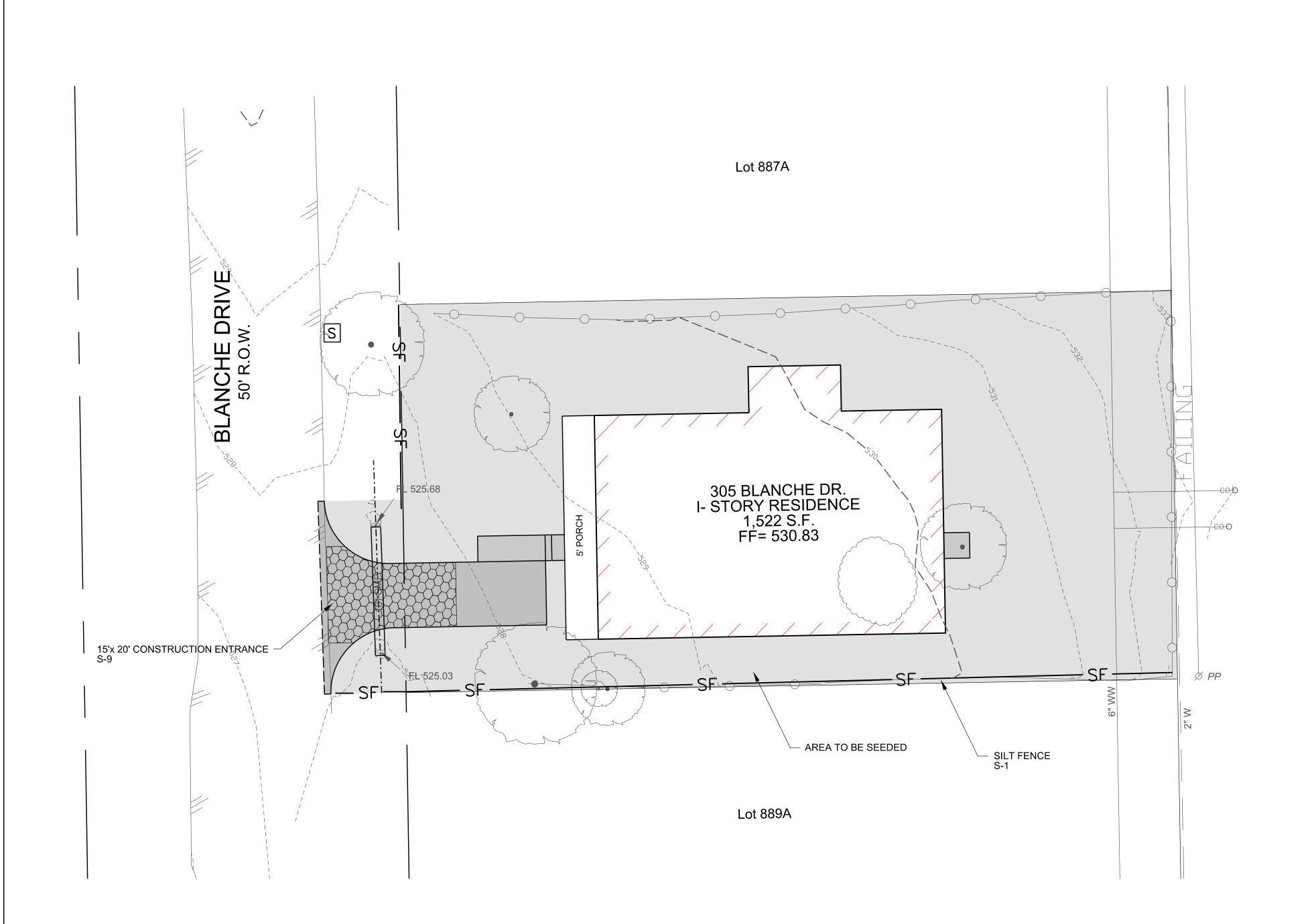
REV 🛆	DESCRIPTION					
\triangle						
EROSION CONTROL DETAILS						

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

rde E N G I N E	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530		
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:	
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	4 of 5	

S-4

S-4



EROSION AND SEDIMENTATION CONTROL NOTES

1) EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK AND SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

2) EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.

3) SURFACE WATER RUNOFF SHALL BE KEPT FROM ENTERING INTO ANY EXCAVATED AREAS AND UTILITY TRENCHES AT ALL TIMES.

4)THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.

5) THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING, OR OTHER APPROVED EROSION CONTROL PRODUCTS, AS NEEDED. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE CITY ENGINEER'S OFFICE DURING ON-SITE INSPECTIONS.

6) ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE GITY OF ROCKWALL STANDARDS OR THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) MANUAL OF "STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES" (BMP MANUAL).

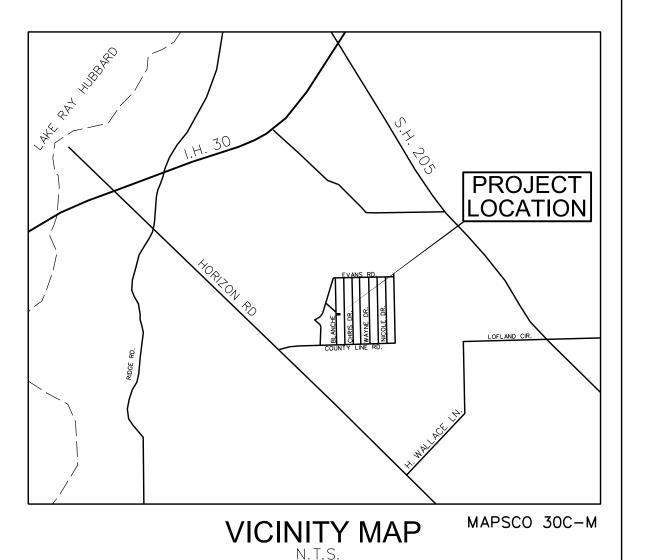
7) RECEIVING WATERS SHALL BE PROTECTED FROM UNFILTERED STORM WATER RUNOFF AT ALL TIMES.

8) THE LOCATIONS OF EROSION CONTROL DEVICES SHOWN ON THIS PLAN ARE APPROXIMATE AND WILL BE MODIFIED AS DIRECTED BY THE ENGINEERING DEPARTMENT AS TO PREVENT UNFILTERED STORMWATER FROM EXITING CONSTRUCTION AREAS.

9) STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT ANY OTHER POINT OF ENTRY/EXIT TO THE PROJECT AS APPROVED BY THE CITY ENGINEER'S OFFICE. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE PROJECT AREA VIA THIS STABILIZED CONSTRUCTION ENTRANCE.

NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.

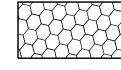


LEGEND

CONCRETE DRIVEWAY/SIDEWALK



AREA TO BE SEEDED



CONSTRUCTION ENTRANCE

S SANITARY FACILITY

— SF — SILT FENCE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

REV △	DATE	DESCRIPTION

EROSION CONTROL PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

ENGINEER DESIGN: DRP CHECK		618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530		
	DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:	
	DDAWN: MDD	DATE: ILINE 2024	DDO 1507 #- 0045 04	5 5	



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY		
PLANNING & ZONING CASE NO.	Z2021-039	
NOTE: THE ADDITION IS NOT	CONCIDENCE ACCEPTED BY T	

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

	PLEASE CHECK THE AR	PPROPRIATE BOX BELOW TO	INDICATE THE TYPE OF DEVE	ELOPMENT REQUEST (SELECT	ONLY ONE BOX1
--	---------------------	-------------------------	---------------------------	--------------------------	---------------

☐ PRELIMINARY P ☐ FINAL PLAT (\$30 ☐ REPLAT (\$300.0) ☐ AMENDING OR I	\$100.00 + \$15.00 ACRE) ¹ LAT (\$200.00 + \$15.00 ACRE) ¹ 00.00 + \$20.00 ACRE) ¹		ZONING APPLICA ZONING CHAN SPECIFIC USE PD DEVELOPN OTHER APPLICA TREE REMOVA VARIANCE RE	GE (\$200.00 + : PERMIT (\$200 MENT PLANS (\$ TION FEES: AL (\$75.00)	.00 + \$15.00 ÁCF 200.00 + \$15.00	
	ATION FEES: 0.00 + \$20.00 ACRE) ¹ PLAN/ELEVATIONS/LANDSCAPING	G PLAN (\$100.00)		E PER ACRE AMO		EXACT ACREAGE WHEN ESTS ON LESS THAN ONE
DDODEDTY INCO	RMATION [PLEASE PRINT]					
	305 Blanche	DY				
SUBDIVISION			1 L 2221	LOT	2004	BLOCK
		LE EST Z	- LOT OUDA	LOT	888 A	BLOCK
GENERAL LOCATION						
	AN AND PLATTING INFO	CONTRACTOR OF THE PARTY OF THE				
CURRENT ZONING	5 0 1 0011111	Contract to the contract of th	CURRENT USE	Empty		
PROPOSED ZONING	Single Family	Home	PROPOSED USE	Hom	e	
ACREAGE	.1650	LOTS [CURRENT]	1	LOTS	[PROPOSED]	1
REGARD TO ITS A	PLATS: BY CHECKING THIS BOX YO APPROVAL PROCESS, AND FAILURE T ENIAL OF YOUR CASE.					
OWNER/APPLICA	ANT/AGENT INFORMATIO	N [PLEASE PRINT/CHE	CK THE PRIMARY CONTA	CT/ORIGINAL SIG	SNATURES ARE F	REQUIRED]
▼ OWNER	A Rockwall Habi	tat for Hui	man APPLICANT			
	Peter Muhi		CONTACT PERSON			
ADDRESS	1101 Ridge Rd#	4	ADDRESS			
CITY, STATE & ZIP	Rockwall, TX 75	io87	CITY, STATE & ZIP			
PHONE	214-704-3455		PHONE			
E-MAIL	peter@northmesqui	teplumbing	E-MAIL			
NOTARY VERIFICE BEFORE ME, THE UNDER		ERSONALLY APPEARED	sally Mu	hL	[OWNER]	THE UNDERSIGNED, WHO
\$ 215:00 SENTENTION CONTAINE		THIS APPLICATION, HAS S APPLICATION, I AGRE PUBLIC. THE CITY IS	S BEEN PAID TO THE CITY OF E THAT THE CITY OF ROCK ALSO AUTHORIZED AND P	FROCKWALL ON WALL (I.E. "CITY") ERMITTED TO RI	THIS THE IS AUTHORIZED / EPRODUCE ANY (AND PERMITTED TO PROVIDE COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE	54 DAY OF SUD	tember 2021		STAR! PUR JEAN	INE RENEE FITZGERALD
	OWNER'S SIGNATURE S	ely mi	al VP		My WY	Commission Expires
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	JEANNE NOTAL	RENEE FIAZGERALD y ID #7398728	MY COMN	MISSION EXPIRES	10 12 00 WON 17 1 2
DEVELOPME	ENT APPLICATION & CITY OF ROCKS A	LE 385 BUTH GOLD	The state of the s	X 75087 • [P] (S	772) 771-7745 • [1 (972) 771-7727





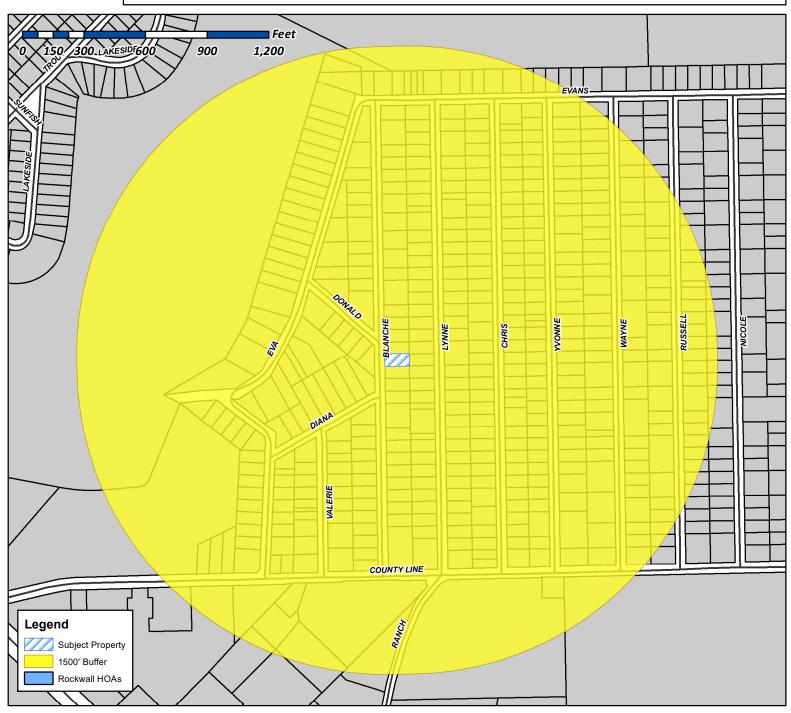
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

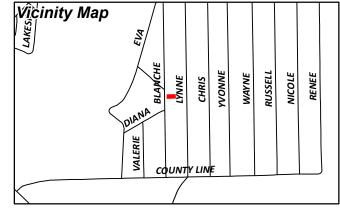
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

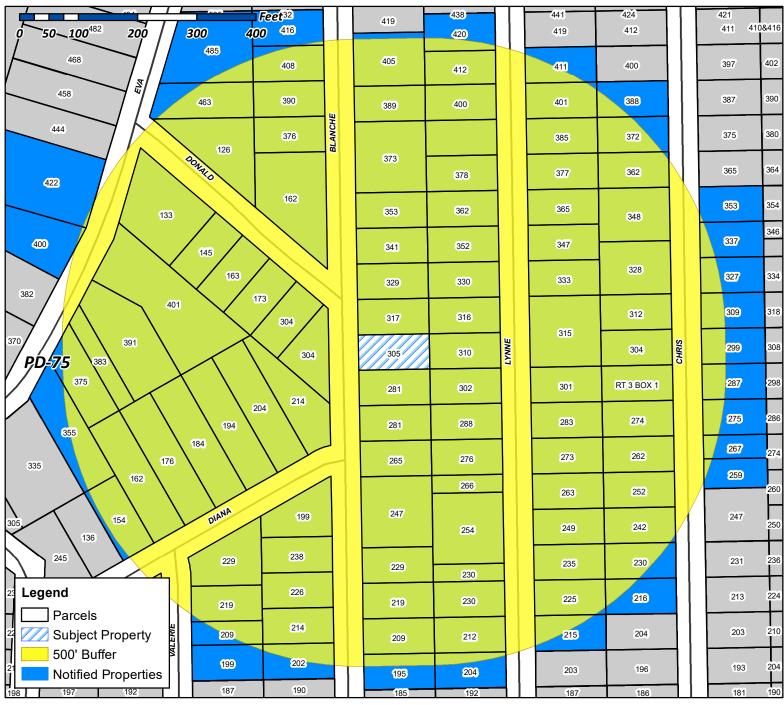
For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

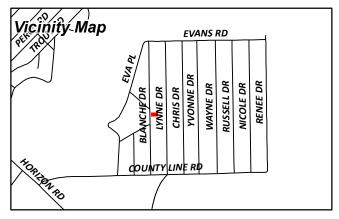
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

For Questions on this Case Call (972) 771-7745



SALAS HECTOR JABIER & CAROLINA ORTIZ 1000 W YELLOWJACKET LANE APT 2507 ROCKWALL, TX 75087 MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 11540 SINCLAIR AVENUE DALLAS, TX 75218

NAVA ANA L 1167 SMITH ACRES DR ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL 118 ALTHEA RD ROCKWALL, TX 75032 FERNANDEZ URBANO ALVARADOO & SON ARMADO FERNANDEZ 1235 VZ COUNTY ROAD 3425 WILLS POINT, TX 75169

ADAMS JAMES W 126 DONALD DR ROCKWALL, TX 75032

MORRIS AUBREY KEITH 133 DONALD DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 1414 BUFFALO WOODS CT KATY, TX 77494

CROWDER DAVID 145 BETHEL RD GREENVILLE, TX 75402

MARTINEZ PERLA 145 DONALD DR ROCKWALL, TX 75087 ESPARZA JUANA 15047 SE 152ND DR CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL 154 DIANA DR ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 162 DIANA ROCKWALL, TX 75032 GRAY DOROTHY M 162 DONALD DR ROCKWALL, TX 75032 MORENO FABIOLA 163 DONALD ROCKWALL, TX 75032

LOZANO ISIDRO 1705 HIGH MEADOW DR GARLAND, TX 75043 FIELDS JIMMIE 173 DONALD DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 176 DIANA ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 184 LILLIAN DR ROCKWALL, TX 75032 SARABIA SILVESTRE 194 DIANA ROCKWALL, TX 75032 GARCIA JOSE 195 BLANCHE DR ROCKWALL, TX 75032

MELENDEZ HOPE 199 DIANA DR ROCKWALL, TX 75032 CANADY JERRY ANN 199 VALERIE PL ROCKWALL, TX 75032 ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G 2027 MIDLAKE LN ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

BODEN ERIC (MR) 204 DIANA ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D 204 LYNNE DR ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 208 SUMMIT RIDGE DR ROCKWALL, TX 75087 URBINA ARACELI C 209 BLANCHE DR ROCKWALL, TX 75032 CANADY JERRY ANN 209 VALERIE PL ROCKWALL, TX 75032 CRUZ MARIA D AND IGNACIO D 212 LYNNE DR ROCKWALL, TX 75032 RICO RUIZ CARLOS AND MARIA 212 VALERIE PL ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ 214 BLANCHE DR ROCKWALL, TX 75032 BODEN ERIC (MR) 214 DIANA ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F 216 CHRIS DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 218 LAKESIDE DR ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 219 BLANCHE DR ROCKWALL, TX 75032

RUIZ JOSE C 219 VALERIE PL ROCKWALL, TX 75032 CARMONA JOEL 221 NICOLE DR ROCKWALL, TX 75032 ESPARZA JUANA 225 LYNNE DR ROCKWALL, TX 75032

MENDOZA ERICK CRUZ 226 BLANCHE DRIVE ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 229 BLANCHE DR ROCKWALL, TX 75032

MUK YAN CHING 229 VALERIE PL ROCKWALL, TX 75032

YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ 230 CHRIS DRIVE ROCKWALL, TX 75032

PEREZ FERMIN 230 LYNN DRIVE ROCKWALL, TX 75032 CONFIDENTIAL 230 LYNNE DR ROCKWALL, TX 75032

UGALDE VICENTE R 234 BLANCHE DR ROCKWALL, TX 75032 CARMONA MARTIN SALVADOR 235 LYNNE DR ROCKWALL, TX 75032 RAMIREZ MARTHA E 235 LYNNE DRIVE ROCKWALL, TX 75032

UGALDE VICENTE R 238 BLANCHE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 2418 HILLGLENN RD DALLAS, TX 75228 CARRILLO JAIME 242 CHRIS DR ROCKWALL, TX 75032

TONG VINCENT 247 BLANCHE DR ROCKWALL, TX 75032 CARMONA EVELIA 249 LYNNE DR ROCKWALL, TX 75032 MARTINEZ CARLOS ALONZO 252 CHRIS DR ROCKWALL, TX 75032

RAMIREZ MARTHA E 254 LYNNE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 259 CHRIS DR ROCKWALL, TX 75032 NAVA ANA L 262 CHRIS DR ROCKWALL, TX 75032 SALAZAR-CARMONA MIRIAM GUADALUPE 263 LYNNE DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 265 BLANCHE DR ROCKWALL, TX 75032 CITY OF ROCKWALL ATTN;MARY SMITH 266 LYNNE DR ROCKWALL, TX 75032

MARTINEZ RUTH A 267 CHRIS DR ROCKWALL, TX 75032 FERNANDEZ URBANO 273 LYNNE DR ROCKWALL, TX 75032 CHAPELA AARON JAIME 274 CHRIS DR ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE 276 LYNNE DR ROCKWALL, TX 75032 CROWDER DAVID 281 BLANCHE DR ROCKWALL, TX 75032

FERNANDEZ URBANO 283 LYNNE DR ROCKWALL, TX 75032 SLEDGE PATTI RENE 287 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE 288 LYNNE DR ROCKWALL, TX 75032

QUEVEDO OSCAR F 293 YVONNE ROCKWALL, TX 75032 GREER RICHARD & MARLENE 299 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ ANTONIO & LAURA 301 LYNNE DR ROCKWALL, TX 75032

GUEVARA JOSE 302 LYNNE DR ROCKWALL, TX 75032 VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA 304 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA 304 CHRIS DR ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY 305 BLANCHE DR ROCKWALL, TX 75032 MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA 310 LYNNE DR ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 311 E I-30 ROCKWALL, TX 75087 BALDERAS JOSE G 312 CHRIS DR ROCKWALL, TX 75032 CARMONA JOEL 315 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 316 LYNNE DR ROCKWALL, TX 75032 STRANGE MARY JANNETTE 317 BLANCHE DR ROCKWALL, TX 75032 ROSAS ALEXANDRA 327 CHRIS DR ROCKWALL, TX 75032

PADRON CELSA 328 CHRIS DR ROCKWALL, TX 75032 UC F JOSE FAUSTO 329 BLANCHE DR ROCKWALL, TX 75032 MORENO SALVADOR 330 LYNNE DR ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND BERNARDA AGUILAR LEDEZMA 337 CHRIS DRIVE ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL 341 BLANCHE DR ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L 348 CHRIS DR ROCKWALL, TX 75032 MORENO SALVADOR 352 LYNNE DR ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 353 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE L 353 CHRIS DR ROCKWALL, TX 75032

BARNARD DANIEL 353 CHRIS DRIVE ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH 355 EVA ROCKWALL, TX 75032 GALLEGOS MAURO & MARIA 362 CHRIS DR ROCKWALL, TX 75032 LOZANO ISIDRO 362 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 365 LYNNE DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 372 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ HERMAN & APRIL 373 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 375 EVA ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 376 BLANCHE DR ROCKWALL, TX 75032

SILVA ROBERTO 377 LYNNE DR ROCKWALL, TX 75032

TOSCANO ANTONIA 378 LYNNE DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 383 EVA PL ROCKWALL, TX 75032 ESPINOZA ROBERTO & MARIA 385 LYNNE DR ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA 388 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 389 BLANCHE DR ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 390 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 391 EVA ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 400 EVA ROCKWALL, TX 75032 CONTRERAS-AYALA JORGE 400 LYNNE ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 401 EVA ROCKWALL, TX 75032 VARGAS FRANCISCO 401 LYNNE DR ROCKWALL, TX 75032 GUEVARA JOSE E 405 BLANCHE DR ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 408 BLANCHE DR ROCKWALL, TX 75032 VARGAS FRANCISCO 411 LYNNE DR ROCKWALL, TX 75032 DOMINGUEZ SALVADOR & DIANA 412 LYNNE DR ROCKWALL, TX 75032

CARRILLO OMAR ROSALES MARIA M 416 BLANCHE DR ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA 420 LYNNE DRIVE ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 4219 ASHMONT CT DALLAS, TX 75287

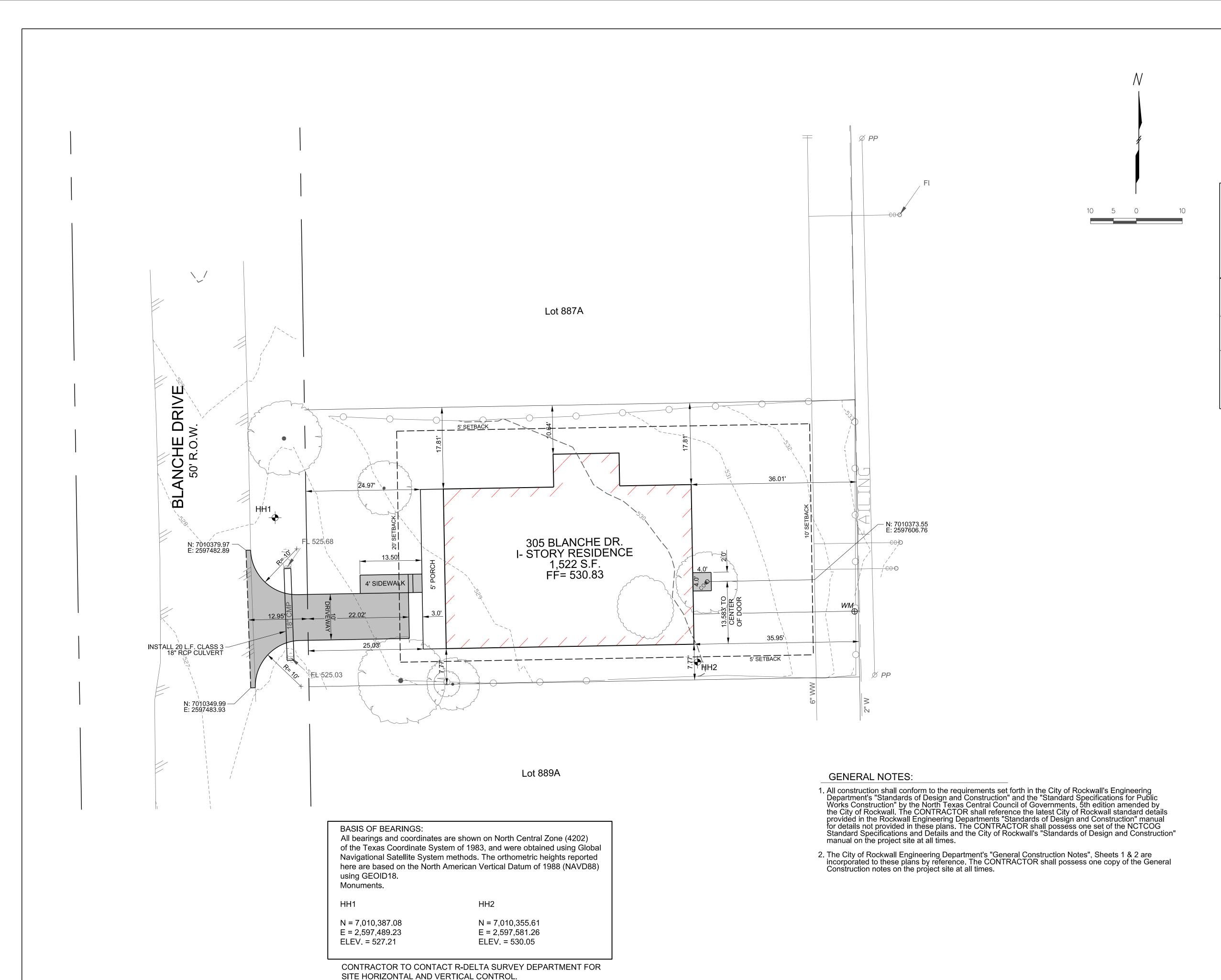
RAOFPUR DAVID 422 EVA ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 463 EVA PL ROCKWALL, TX 75032

ADAMS JAMES W 485 EVA ROCKWALL, TX 75032 LORENZ SABINA AND MICHAEL 513 BASS RD ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 5245 COUNTY ROAD 2515 ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA 532 BLANCHE DRIVE ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 6938 STATE HIGHWAY 50 COMMERCE, TX 75428 LAKE POINTE BAPTIST CHURCH 701 E INTERSTATE 30 ROCKWALL, TX 75087

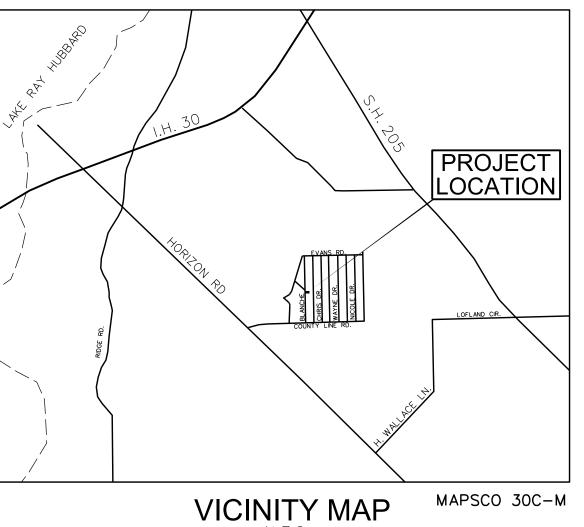
SILVA ROBERTO 8766 CR 2586 ROYSE CITY, TX 75189 MUK YAN CHING 908 S WEATHERED DR UNIT 8 RICHARDSON, TX 75080 SARABIA SILVESTRE 929 S PEORIA ST APT G21S AURORA, CO 80012

FIELDS JIMMIE PO BOX 1115 ROYSE CITY, TX 75189 ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087 YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ RT 3 BOX 1 CHRIS DR ROCKWALL, TX 75032



NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITION'S DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



ZONING: PD-75 (AREA 2)

SETBACKS: FRONT - 20' REAR - 10' SIDES - 5'

MAXIMUM HEIGHT - 32' LOT COVERAGE - 30.3%

OWNER: HABITAT FOR HUMANITY CONTACT - PETER MUHL (214)704-3455



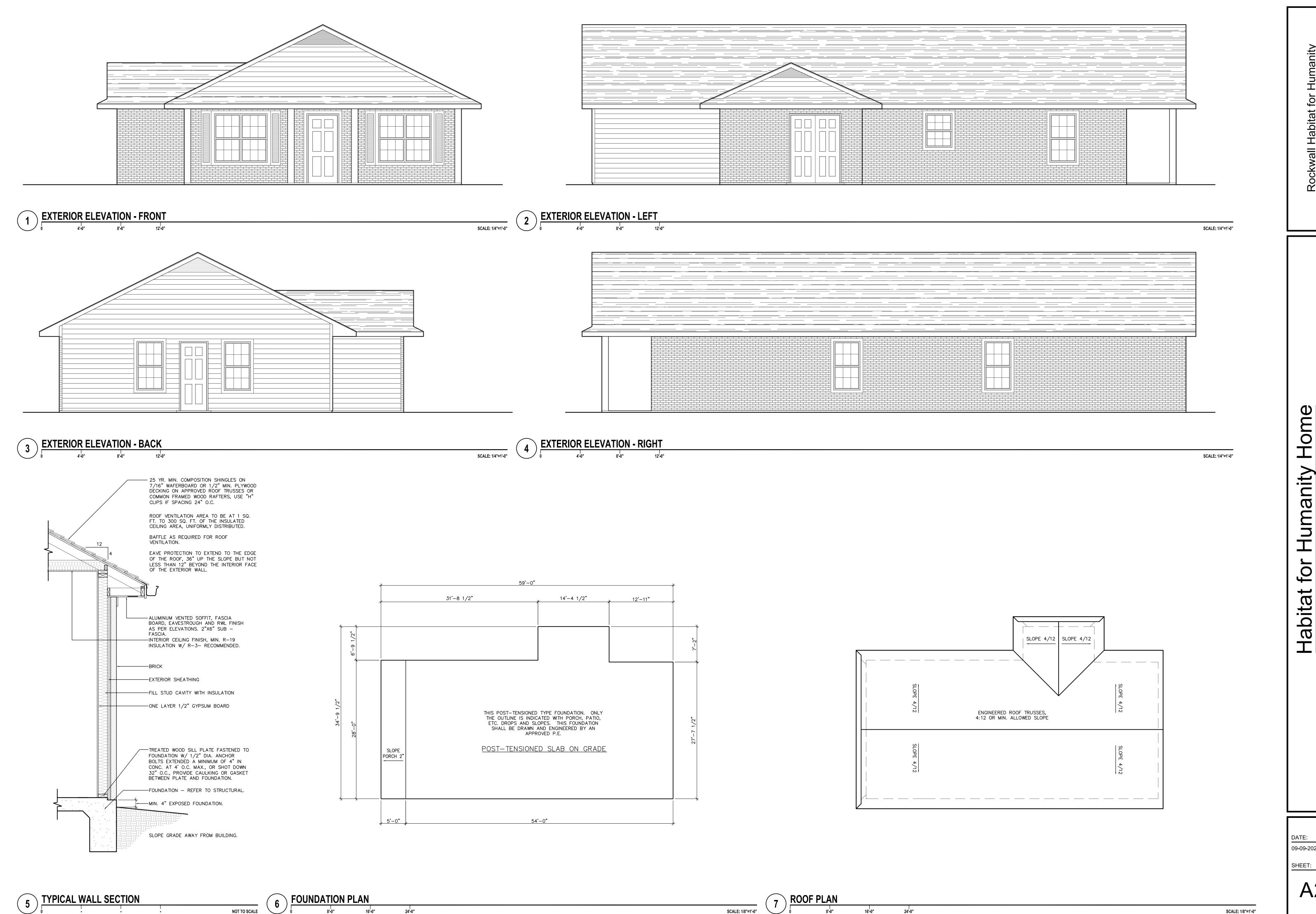
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

ENGINE	ERING PRACTI	CE ACT.
REV 🛆	DATE	DESCRIPTION
\triangle		

SITE PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

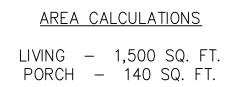
rdel ENGINE	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HI OF GREATER GARLAI 2350 CRIST SUITE 70 GARLAND, TEXA TEL. (972) 272	ND, INC. RD, O S 75040
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	1 of 5

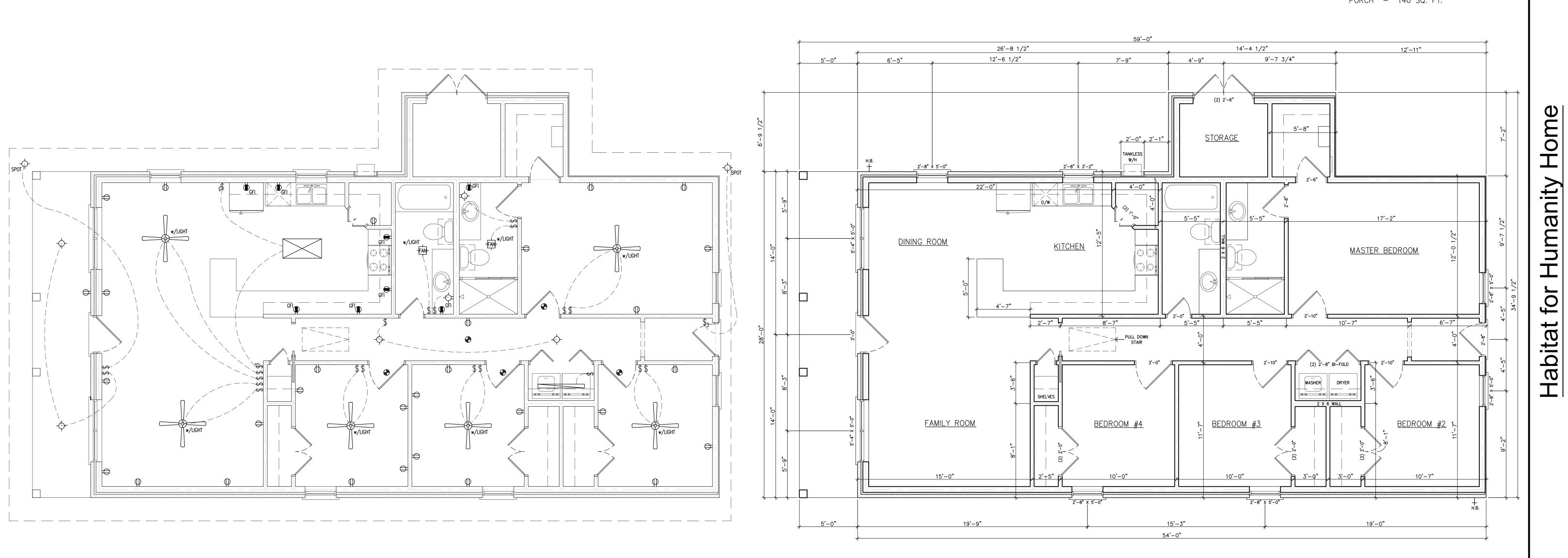


Human Rockwall, Tx for

DATE: 09-09-2021







ELECTRIC SYMBOL LEGEND

CEILING LIGHT

FAN- W/LIGHT EXHAUST FAN / LIGHT

CEILING FAN / LIGHT

WALL MOUNT LIGHT _____ FLUORESCENT UTILITY LIGHT

4' 4-LAMP FLUORESCENT LIGHT

3 LAMP EXTERIOR FLOOD LIGHT

110 V DUPLEX WALL OUTLET

110 V CEILING OUTLET

3-WAY LIGHT SWITCH

SMOKE DETECTOR

LIGHT SWITCH

110 V GFI DUPLEX OUTLET - ABOVE COUNTER

POWER/LIGHTING PLAN

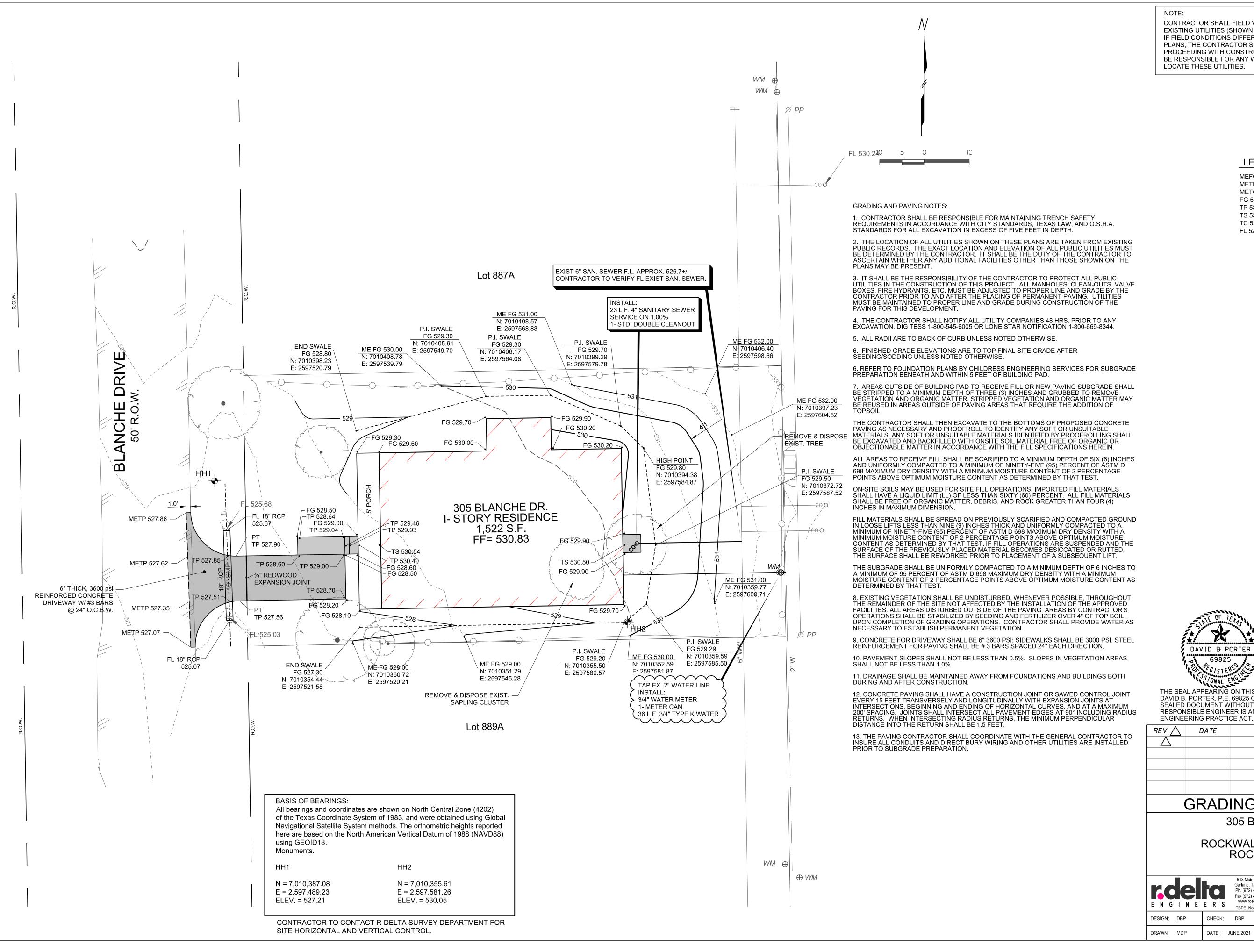
PLOOR PLAN

SCALE: 1/4"=1'-0"

DATE: 09-09-2021 SHEET:

SCALE: 1/4"=1'-0"

Habitat



CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO

LEGEND

MEFG 531.14

METP 531.06

METC 530.78

FG 530.90

TP 531.52

TS 531.52

TC 530.63

FL 525.00

MATCH EXIST. FINISHED GRADE MATCH EXIST. TOP OF PAVEMENT MATCH EXIST. TOP OF CURB FINISHED GRADE TOP OF PAVEMENT TOP OF SLAB TOP OF CURB

FLOW LINE ELEVATION

DAVID & PORTER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS

REV △	DATE	DESCRIPTION
\triangle		

GRADING & UTILITY PLAN

305 BLANCHE DRIVE **LOT 888A** ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

618 Main Stree Garland, TX 750 Ph. (972) 494-5 Fax (972) 487-2 www.rdelta.co TBPE No. F-18		HABITAT FOR HI OF GREATER GARLAI 2350 CRIST SUITE 70 GARLAND, TEXA TEL. (972) 272	ND, INC. RD, IO S 75040
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT #: 2915-21	2 of 5

Perimeter Control

Slope Protection

Sediment Trapping

Channel Protection

Temporary Stabilization

Permonent Stabilization

Waste Management

Housekeeping Proctices

Torgeted Constituents

Toxic Materials

Oil & Grease

C Floatable Materials

Copital Costs

→ Maintenance

O Suitobility for

Legend

O Significant Impact

→ Medium Impact

O Low Impact

Training

O Other Construction

Implementation

Sediment

Chemical Management

Chemical management addresses the problem of storm water polluted with chemical pollutants through spills or other forms of

construction chemicals through appropriate recognition handling.

t is not the intent of chemical management to supersede or

replaced normal site assessment and remediation procedures.

contamination should be immediately reported to regulatory

authorities and protective actions taken. Significant spills should be reported to the National Response Center (NRC)

oil, grease, lertilizer, and pesticide are present at most

Targeted Chemical Materials

Wood preservatives

Fuels & lube oils

Pesticides herbicides & fertilizer

materials handling procedures.

Use only licensed hazardous waste haulers.

Culting oils

Storage Procedures

These management practices along with applicable OSHA and EPA guidelines should be incorporated at all construction sites that

use or generate hazardous wastes. Many chemicals such as fuel,

INSTALLATION, APPLICATION AND DISPOSAL CRITERIA

The chemical management techniques presented here are based on proper recognition, handling, and disposal practices by

construction workers and supervisors. Key elements are

education, proper disposal practices, as well as provisions for

safe storage and disposal. Following are lists describing the

Wherever possible, minimize use of hazardous materials.

Minimize generation of hazardous wastes on the job-site

Segregate potentially hazardous waste from non-hazardou

construction site debris.

Designate a foreman or supervisor to oversee hazardous

Waste Handling
□ Ensure that adequate hazardous waste storage volume is available.

Do not allow potentially hazardous waste materials to accumulate.

Keep chemicals in appropriate containers (closed drums or similar) and under cover.

Use containment berms in fueling and maintenance areas and where the potential for spills

Clearly mark on all hazardous waste containers which materials are acceptable for the

Store chemicals away from drainage ditches, swales and catch basins.

Ensure that hazardous waste collection containers are conveniently located.

Ensure that adequate cleanup and containment materials are available ansite.

Regularly schedule hazardous waste removal to minimize on-site storage.

Instruct workers on safety procedures for construction site chemical storag

Educate all workers on chemical storage and disposal procedures.

Instruct workers in identification of chemical pollutants.
Ensure that workers are trained in procedures for spill prevention and response.

Have regular meetings to discuss and reinforce identification, handling, and disposa

procedures (incorporate in regular safety seminars).
Establish a continuing education program to indoctrinate new employees.

Ouality Assurance

Foreman and/or construction supervisor shall monitor on site chemical storage

Ensure that the hazardous waste disposal contractor is reputable and licensed.

 $\begin{array}{ll} \textit{Requirements} \\ \square & \textit{Job-site} \end{condition} \text{ ond observed and observed and observed one of the condition of$

program.

Commitment by management to implement chemical storage and hazardous waste

Compliance by workers.
Sufficient and appropriate chemical and hazardous waste storage containers.

Small cost impact for training and monitoring.

Potential cost impact for hazardous waste collection and disposal by licensed

This practice is not intended to address site-assessments and pre-existing contamination.

Major contamination, large spills and other serious hazardous waste incidents require

Demolition activities and potential pre-existing materials, such as lead and asbestos, are

Sanitary Facilities

not addressed by this program. Site-specific information on plans is necessary.

Possible modest cost impact for additional chemical storage containers.

Timely removal of stored hazardous waste materials.

hauler-actual cost depends on type of material and volume.

Educate and if necessary, discipline workers who violate procedures.

Educate workers of potential dangers to humans and the environment from chemical

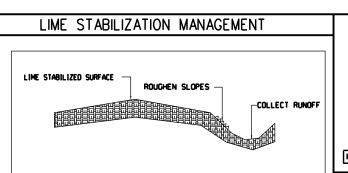
PRIMARY USE

significant spills and/or contamination warrant immediate

response by trained professionals. Suspected job-site

contact. The objective of the chemical management is to

minimize the potential of storm water contamination from



One part of a comprehensive construction site management program

Lime stabilization is used extensively in the North Central Texas region to stabilize pavement subbases for roadways, parking lots, and other paved surfaces, and as a subgrade amendment for building pad sites. Hydrated lim is applied to the soil and mixed through disking and other techniques, then allowed to cure. This practice will reduce the potential for runoff to carry time offsite, where it may impact equatic life by changing the pH belance of streams.

This BMP should be implemented when time is required for soil stabilization

APPLICATIONS time stabilization can be used under a variety of conditions. The engineer should determine the applicability of time stabilization based on site conditions such as available open space, quantity of area to be stabilized, proximity of nearby water courses and other BMPs employed at the site. The use of diversion dikes and interceptor sucles (see appropriate fact sheets) to divert runoff away from areas to be stabilized can be used in conjunction with these techniques to reduce the impact of the lime.

DESIGN CRITERIA ☐ The contractor shall limit lime operations to that which can be thoroughly

mixed and compacted by the end of each workday.

No traffic other than water trucks and mixing equipment shall be allowed to

Legend pass over the spread line until after completion of mixing.

Areas adjacent and downstream of stabilized areas shall be roughened to intercept line from runoff and reduce runoff velocity.

Geotextile fabrics such as those used for stilt fence should not be used to Medium Impact Low Impact

address lime since the grain size of lime is significantly smaller than the apparent opening size of the fabric. For areas for which phasing of time operations is impractical, use of a curing seal such as Liquid Asphalt, Grade MC-250 or MC-800 applied at a rate of 0.15 gollons per sq. yd. of surface can be used to protect the base.

Use of sediment bosins with a significant ()36 hour) drawdown time is encouraged for large areas to be stabilized (see 5-6, Sediment Bosin). Provide containment around lime storage, loading, and dispensing areas.

Line stabilization can be part of an overall plan to reduce pollutants from an active construction site. In the case of pollution due to lime, prevention of contamination is the only effective method to address this pollutant. Proper application and mixing along with avoiding applications when there is a significant probability of rain will reduce time runoff.

Temporary Stabilization Permanent Stabilization Waste Management Housekeeping Practices Targeted Constituents Sediment Nutrients Toxic Materials Oil & Grease Floatable Materials Other Construction Capital Costs

Unknown or

Questionable Impact M-6

Slope Protection

Sediment Trapping

Channel Protection

Facilities for collection and disposal of sanitary waste must be provided and properly managed to minimize the potential contamination of surface water with septic waste. Location of portable facilities away from storm drain systems and surface waters or containment is necessary in case of spills. PROCEDURES

Contaminated soils are not addressed.

management practices.

Maintenance Training Suitability for Slope

proximity to areas where people are working.

Portable toilets must be provided if no permanent facilities Locate portable toilets a minimum of 20 feet away from storm drain inlets, conveyance channels, or surface waters. If unable to meet 20-foot distance requirements, provide

Sonitory facilities must be provided on the site in close containment for portable toilets.
Portable toilets should be regularly serviced.

Applications Perimeter Control Slope Protection Sediment Trapping Channel Protection Temporary Stabilization Permonent Stabilization Waste Management Housekeeping Proctices Targeted Constituents Sediment Nutrients Toxic Materials O Oil & Greose O Floatable Materials O Other Construction Requirements O Capital Costs

Training

Slopes > 5%

O Significant Impact

O Low Impact

Legend

Questionable Impact

M-7

Concrete Waste Management Perimeter Control Concrete waste at construction sites comes in two forms:
1) excess fresh concrete mix including truck and equipment Slope Protection Sediment Trapping washing, and 2) concrete dust and concrete debris resulting from Channel Protection demolition. Both forms have the potential to impact water quality Temporary Stabilization through storm water runoff contact with the waste. Permanent Stabilization PRIMARY USE Concrete waste is present at most construction sites. This BMP Waste Management Housekeeping Practices should be utilized at sites in which concrete waste is present APPLICATIONS A number of water quality parameters can be affected by Targeted Constituents introduction of concrete - especially fresh concrete. Concrete affects the pH of runoff, cousing significant chemical changes water bodies and harming aquatic life. Suspended solids in the O Sediment form of both cement and aggregate dust are also generated Nutrients from both fresh and demolished concrete waste Unacceptable Waste Concrete Disposal Practices Oil & Grease Dumping in vacant areas on the job-site. Hicit dumping off-jobsite. Dumping into ditches or drainage facilities. O Floatable Materials Recommended Disposal Practices

Avoid unacceptable disposal practices listed above. Develop pre-determined, safe concrete disposal greas. Provide a washout area with a minimum of 6 cubic feet of containment area volume for every 10 cubic yards of Never dump woste concrete illicitly or without property owners knowledge and consent.

Overflow of washdown water shall be discharged in an area Capital Costs protected by one or more sediment removal BMPs and shall pe done in a manner that does not result in a violation of aroundwater or surface water quality standards Training Suitability for Drivers and equipment operators should be instructed on

O Other Construction Implementation proper disposal and equipment washing practices (see above). Supervisors must be made aware of the potential enviornmental consequences of improperly handled concrete Legend O Significant Impact Enforcement The construction site manager or foreman must ensure that employees and pre-mix companies follow proper procedures for concrete disposal and equipment washing.
Employees violating disposal or equipment cleaning directives O Low Impoct must be re-educated or disciplined if necessary Demolition Practices Monitor weather and wind direction to ensure concrete dust in not entering drainage structures and surface waters. Where appropriate, construct sediment traps or other types of sediment detention devices downstream of demolition octivities Use pre-determined disposal sites for waste concrete.

Prohibit dumping woste concrete onywhere but pre-determined Educate drivers and operators on proper disposal and equipment cleaning procedures Minimal cost impact for training and monitoring.

Concrete disposal cost depends on availability and distance to suitable disposal areas.

Additional costs involved in equipment washing could be significant. Concrete waste management is one part of a comprehensive construction site waste management program.

SANDBLASTING WASTE MANAGEMENT Perimeter Control Slope Protection Sediment Trapping Channel Protection The objective of sandblosting waste management is to minimize the potential of storm water quality degradation from sandblosting activities at construction sites. The key issues in this program are prudent handling and storage of Temporary Stabilization Permanent Stabilization sandblast media, dust suppression, and proper collection and disposal of spent media. It is not the intent of this BMP to outline all of the worker safety issues Waste Management Housekeeping Practices pertinent to this practice. Safety issues should be addressed by construction safety programs as well as local, state, and federal regulations. largeted Constituent INSTALLATION/APPLICATION CRITERIA

Nutrients Toxic

Oil & Grease

Wostes

Capital Costs

Maintenance

Suitability for Slopes

Legend

Medium Impact

Low impact

Unknown or

Questionable Impact

M-5

MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT

LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR

DATE BUT WITHIN 48 HOURS.

GREATER. IF A REPAIR IS NECCESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE

Training

Floatable Material

Other Construction

Since the sandblasting media consists of fine abrasive granules, it can be easily transported by running water. Sandblasting activities typically create a significant dust problem that must be contained and collected to prevent off-site migration of lines. Perticular attention must be peid to sandblasting work on bridges, box culverts, and headwalls that span or are immediately adjacent to Operational Procedures Use only mert, non-degradable sandblast media. Use appropriate equipment for the job; do not over-blast l Install a windsock or other wind direction instrumen

Cease blasting activities in high winds or if wind direction could transport grit to drainage facilities.
Install dust shielding around sandblasting areas. Collect and dispose of all spent sandblast grit, use dust containment fabrics

☐ Mon-hazardous sandblast grit may be disposed in permitted construction debris landfills or permitted senitary landfills.

If sandblast media cannot be fully contained construct sediment traps downstream from blasting area where appropriate.

Use sand fencing where appropriate in areas where blast media cannot be

fully contained.

If necessary, install misting equipment to remove sandblast grit from the air prevent runoff from misting operations from entering drainage systems. Use vacuum grit collection systems where possible.

☐ Keep records of sandblasting materials procedures and weather onditions on a daily basis. ☐ Take all reasonable precautions to ensure that sandblasting grit is contained and kept away from drainage structures. ☐ Educate all on-site employees of potential dangers to humans and the

environment from sandblast grit.

Instruct all on-site employees of the potential hazardous nature of sandblast grit and the possible symptoms of over exposure to sandblast grit. ☐ Instruct operators of sandblasting equipment on safety procedures and Instruct operators on proper procedures regarding storage, handling and containment of sandblast grit.

SANDBLASTING WASTE MANAGEMENT

Concrete Sawcutting Waste Management

Sawcutling of concrete pavement is a routine practice,

necessary to control shrinkage cracking immediately following

placement of plastic concrete. It is also used to remove curb

sections and povement sections for povement repairs, utility trenches, and driveways. Sawcutting for joints involves sowing

Water is used to control saw blade temperature and to flush the detritus from the sawed groove. The resulting slurry

A number of water quality parameters can be affected by

cousing significant chemical changes in water bodies and

harming aquatic life. Suspended solids in the form of sow

Slurry Collection

During sow culting operations, the slurry and culting

The slurry and cutting shall not be allowed to drain to the

Develop pre-determined, safe slurry disposal areas.
 Collected slurry and cultings shall be discharged in an area

protected by one or more sediment removal BMPs and

violation of groundwater or surface water quality standards Never dump waste illicitly or without property owner's

shall be done in a manner that does not result in a

knowledge and consent.'
Slurry may be disposed of in facilities designated for

washdown of concrete trucks (see M-3, Concrete Waste

Project personnel should inspect the operations to assure that

operators are diligent in controlling the water produced by the

saw cutting activities. Following operations the povement should be inspected to ensure that waste removal has been

storm drain system, swale, stream or other water body. The slurry and cutting shall not be allowed to remain on the

from the operation site.

povement to dry out.

MAINTENANCE

introduction of concrete fines. Concrete affects the pH of runoff.

of process water and line particles and high pH must be

a narrow, shallow argove in the concrete, while sawcutting

for removals is usually done full depth through the slab.

Perimeter Control

Slope Protection

Sediment Trapping

Channel Protection

Temporary Stabilization

Permanent Stabilization

Woste Monogement

Housekeeping Proctices

Targeted Constituents

O Sediment

O Nutrients

Oil & Grease

O Flootable Material

O Capital Costs

O Suilability for Slopes > 5

Legend

O Significant Impact

← Medium Impact

O Low Impact

Unknown or

Questionable Impact

M-4

← Training

Other Construction

Implementation

☐ Instruct operators to recognize unfavorable meether conditions regarding sandblasting activities.☐ Instruct operators and supervisors on current local, state and federal regulations regarding fugitive dust and hazardous weste from sandblest grit.

Here weekly meetings with operators to discuss and reinforce proper operational procedures.

Materials Handling Recommendations

Sandblast media should always be stored under cover away from drainage structures.

Ensure that stored media or grit is not subject to transport by wind.

Ensure that all sandblasting equipment as well as storage containers comply with current local, state and fortune that all sandblasting equipment. federal regulations.

Refer to Hazardous Waste BMP fact sheet if sandblast grit is known or suspected to contain hazardous components.

Capture and treat runoff, which comes into contact with sandblasting material or waste.

☐ Foremen and/or construction supervisor should monitor all sandblasting activities and safety procedures. □ Educate and if necessary, discipline workers who violate procedures.
□ Take all reasonable precautions to ensure that sandblast grit is not transported off site or into drainage

Requirements

Education and awareness program for all employees regarding control of sandblasting and potential Operator and supervisor education program for those directly involved in sendolasting activities instructions on material handling, proper equipment operation, personal protective equipment, fugitive dust control, record keeping and reporting.

Proper sandblast equipment for the job.
 Site-specific fugitive dust control and containment equipment.

Minimal cost for training and monitoring.

Potential for significant cost for containment procedures on large jobs.

Potential for significant costs associated with cleanup, correction and remediation if contamination

Site-specific solutions to sandblasting problems may be required.
Sandblasting operations on structures known to contain hazardous materials require special procedures not specifically outlined above including professional hazardous waste specialists.
Where hazardous materials are known or suspected, a site assessment and remediation plan may be necessary. Sandblasting waste management is one part of a comprehensive construction site waste management

EROSION & SEDIMENT CONTROL BMPs

Perimeter Control

Channel Protection

Waste Management

O Capital Costs

Maintenance

Training

O Suitability for Slopes > 5

Legend

O Significant Impact

→ Medium Impact

O Low Impact

Unknown or

Varies

S-4

Slope Protection

Concrete blocks or other dam device Sediment Trapping Temporary Stabilization Permonent Stabilization Housekeeping Practices Targeted Constituents DESCRIPTION O Nutrients Inlet protection consists of a variety of methods of intercepting sediment at low point inlets through the use of stone, filter fabric, inlet inserts, and other materials. This is normally located O Oil & Greose at the inlet, providing either detention or filtration to reduce Flootoble Moterials O Other Construction

PRIMARY USE Inlet protection should be considered a secondary defense in site erosion control due to the limited effectiveness and applicability of the technique. It is normally used in new developments that include new inlets or roads with new curb inlet or during major repairs to existing roadways.

Inlet protection has limited use in developed areas due to the potential for flooding, traffic safety, pedestrion safety, and maintenance problems. Inlet protection can reduce sediment in storm sewer systems by serving as a back up system to onsite controls or by reducing sediment loads from controls with

APPLICATIONS Different inlet protection variations are used for different conditions as follows:

□ Filter barrier protection (similar to a silt fence barrier around the inlet) is appropriate when the drainage area is less tha one acre and the basin slope is less than five (5) percent. This type of protection is not applicable in payed areas Block and gravel (crushed stone, recycled concrete is also appropriate) protection is used when flows exceed 0.5 c.f.s.

and it is necessary to allow for overtopping to prevent Excavated impoundment protection around a drop inlet may be used for protection against sediment entering a storm drain system. With this method, it is necessary to install weep holes to allow the impoundment to drain completely

The impoundment shall be sized such that the volume of acre of disturbed area entering the inlet for full effectiveness.

DESIGN CRITERIA

□ Special coulion must be exercised when installing inlet protection on publicly traveled streets or in developed areas. Ensure that inlet protection is

properties and structures. Filter fabric protection shall be designed and maintained in a manner similar to silt fence.

Where applicable, filter fabric, posts, and wire backing shall meet the material requirements specified in BMP Fact Sheet S-1, Silt Fence.

Filter gravelshall be 3/4 inch (Block and Gravel Protection) or 1-1/2 to 2 inch (Excavated Impoundment Protection) washed stone containing no fines. Angular shaped

stone is preferable to rounded shapes.

Concrete blocks shall be standard 8" x 8" x 16" concrete masonry units. Maximum death of flow shall be eight (8) inches or less.

Positive drainage is critical in the design of inlet protection. If overflow is not provided for at the inlet, excess flows shall be routed through established swales, streets, or other watercourses to minimize damage due to flooding.

Filter Barrier Protection
Silt Fence shall consist of nylon geotextile supported by wire mesh, W1.4 x W1.4, and galvanized steel posts set a minimum of 1 foot depth and spaced not more than 6 feet on center. A 6 inch wide trench is to be cut 6 inches deep at the toe of the fence to allow the fabric to be laid below the surface and backfilled with compacted earth or gravel. This entrenchment prevents any bypass of runoff under the fence

Block and Gravel Protection (Curb and Drop Inlets) Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends obutting. Opening in the block should face outward, not upward.

1/2" x 1/2" wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. in appropriately sized geotextile fabric boas. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.

Excavated Impoundment Protection An excavated impoundment shall be sized to provide a storage volume of between 1800 and 3600 cubic feet per acre of disturbed area. The trap shall have a minimum death of one foot and a maximum depth of 2 feet as measured from the top of the inlet and shall have sideslopes of 2:1 or flatter. Weep holes are to be installed in the inlet walls to allow has been reduced by one-half, the silt shall be removed and disposed in a proper manne Inlet inserts are commercially available to remove sediment constituents (pollutants)

adsorbed to sediment, and oil and grease. Maintenance is required to remove sediment and debris that could clog the filters. Inlet inserts must have a bypass function to prevent flooding from clogging or high flows.

special caution must be exercised when installing inlet protection on publicly traveled streets or in developed areas. Ensure that inlet protection is properly designed, installed and maintained to avoid flooding of the roadway or adjacent properties and structures.

Inlet protection is only viable at low point inlets. Inlets that are on a slope connot be effectively protected because storm water will bypass the inlet and continue downstream, causing an overload condition at inlets downstream.

MAINTENANCE REQUIREMENTS Inlet protection should be inspected regularly (at least as often as required by the TPDES Construction General Permit, Appendix A). When silt fence is used and the fabric becomes clogged, it should be cleaned or, if necessary, replaced. Also, sediment should be removed when it reaches approximately one-half the height of the inlet protection device. If a sump is used, sediment should be removed when the volume of the basin is reduced by 50%.

For systems using filter stone, when the filter stone becomes clogged with sediment, the stones must be pulled away from the inlet and cleaned or replaced. Since cleaning of stone at a construction site may be difficult, an alternative approach would be to use the clagged stone as fill material and put new stone around the inlet.

Specifications for construction of this item may be found in the Standard Specifications for Public Works Construction - North Central Texas Council of Governments, Section 201.5 Intel Protection.

* (SEE SHEET 4 FOR S-4 DRAWINGS)



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021, ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Stabilized Construction Entrance Stabilized Construction

> A stablized construction entrance consists of a pad consisting of crushed stone, recycled concrete or other rock like materi on top of the geolextile filter cloth to facilitate the removal of sediment and other debris from construction equipment prior to exiting the construction site. This directly addresses the problem of sill and mud deposition in roadways used for construction sit access. For added effectiveness, a wash rack area can be incorporated into the design to further reduce sediment tracking (See Wheel Wash, Fact Sheet S-10).

Perimeter Control

Slope Protection

Sediment Trapping

Channel Protection

Permanent Stabilization

Waste Management

Housekeeping Practices

Targeted Constituents

Sediment

O 0il & Greose

O Flootoble Moterials

O Other Construction

Requirements

Legend

O Significant Impact

Unknown or

Fe=N/A

S-9

O Low Impact

O Capital Costs

Suilobiily for

Training

O Nutrients

Temporary Stabilization

PRIMARY USE Stabilized construction entrances are used primarily for sites in which significant truck traffic occurs on a daily, basis. It properly, it also directs the majority of traffic to a single location, reducing the number and quantity of disturbed areas on the site and providing protection for other structural controls APPLICATIONS

Stabilized construction entrances are a required part of the erosion controlplan for all site developments larger than one acre and a recommended practice for all construction sites. If possible, controlled entrances should be incorporated into small lot construction due to the large percentage of disturbed area on the site and the high potential for offsite tracking

DESIGN CRITERIA □ Stabilized construction entrances are to be constructed such that drainage across the entrance is directed to a controlled, stabilized outlet on site with provisions for storage, proper filtration, and removal of wash water.

The entrance must be sloped away from the paved surface so that storm water is not allowed to leave the site onto roddways.

Minimum width of entrance shall be 15 feet. Stone shall be placed in a layer of at least 12-inches

thickness. The stone shall be minimum of 3 to 5 inch Prevent shortcutting of the full length of the construction entrance by installing barriers as necessary.

The geotextile fabric must meet the following minimum

O Tensile Strength, ASTM D4632 Test Method for Grob Breaking Lood and Elongotion of Geotextiles, 300-lbs. O Puncture Strength, ASTM D4833 Test Method for Index

Puncture Resistance of Geotextiles, Geomembrances, and Related Products, 120-lbs. Mullen Burst Rating, ASTM D3786 Standard Test Method for Hydraulic Bursting

Strength of Textile Fobrics-Diophrogm Bursting Strength Tester Method, 600-psi. Apparent Opening Size, ASTM D4751 Test Method for Determining Apparent Opening Size of a Geotextile, U.S. Sieve No. 30 (max). When necessary, vehicles must be cleaned to remove sediment prior to entrance onto paved roads, streets, or parking lots. When washing is required, it shall be

done on a constructed wheel wash facility that drains into an approved sediment trop or sediment basin or other sedimentation/filtration device. Minimum dimensions for the entrance shall be as follows:

Tract Area	Avg. Tract Depth	Min, Width of Entrance	Min, Depth of Entrance	
< 1 Acre	100 feet	15 feet	20 feet	
< 5 Acre	200 feet	20 feet	50 feet	
> 5 Acres	>200 feet	25 feet	75-100 feet	

Selection of the construction entrance location is critical. To be effective, it must be

labilized entrances are rather expensive considering that it must be installed in combination with one or more other sediment control techniques, but it may be cost effective comparade to labor-intensive street cleaning.

MAINTENANCE REQUIREMENTS Construction entrances should be inspected regularly (at least as often as required by the TPDES Construction General Permit, Appendix A). When sediment has substantially

clagged the void area between the rocks, the aggregate mat must be washed down or replaced. Periodic re-grading and top dressing with additional stone must be done to keep the efficiency

If the stabilized construction entrance is not effectively removing sediment from wheels then a wheel wash should be considered

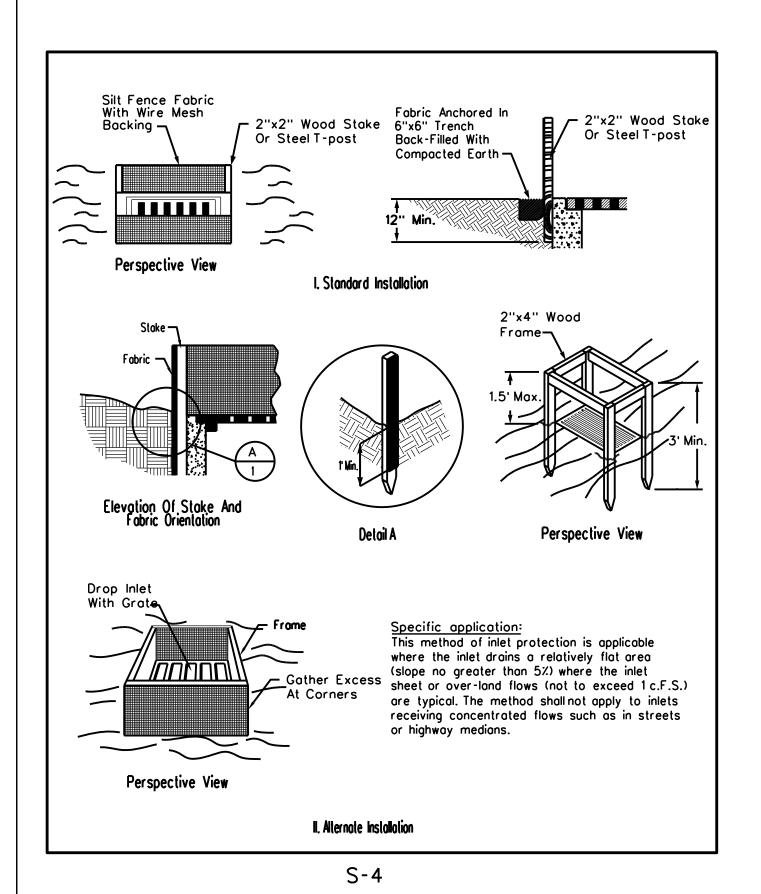
* (SEE SHEET 4 FOR S-9 DRAWINGS)

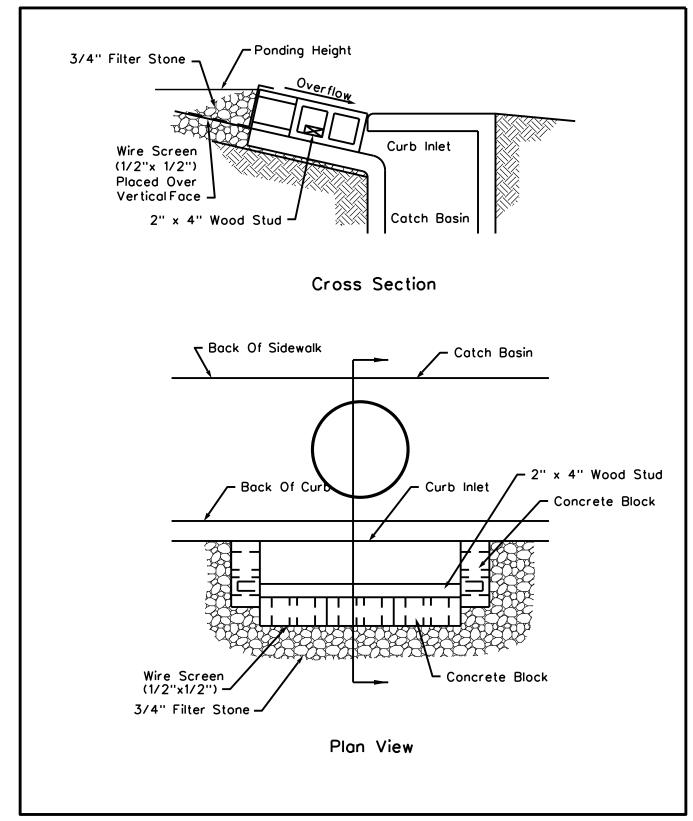
DESCRIPTION REV /\ DATE

STANDARD EROSION CONTROL DETAILS

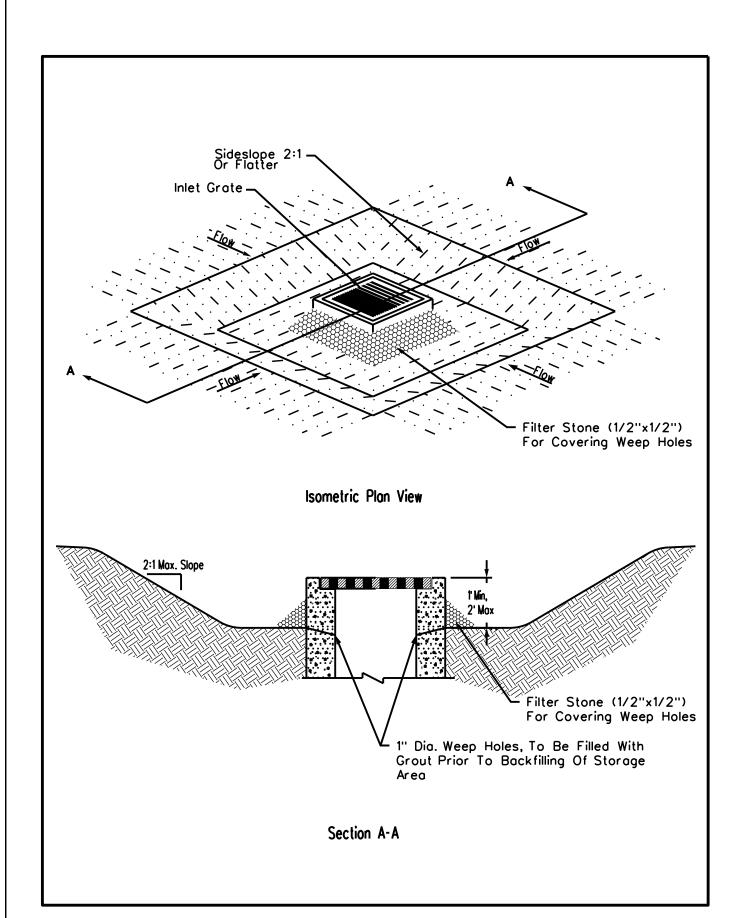
305 BLANCHE DRIVE **LOT 888A** ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

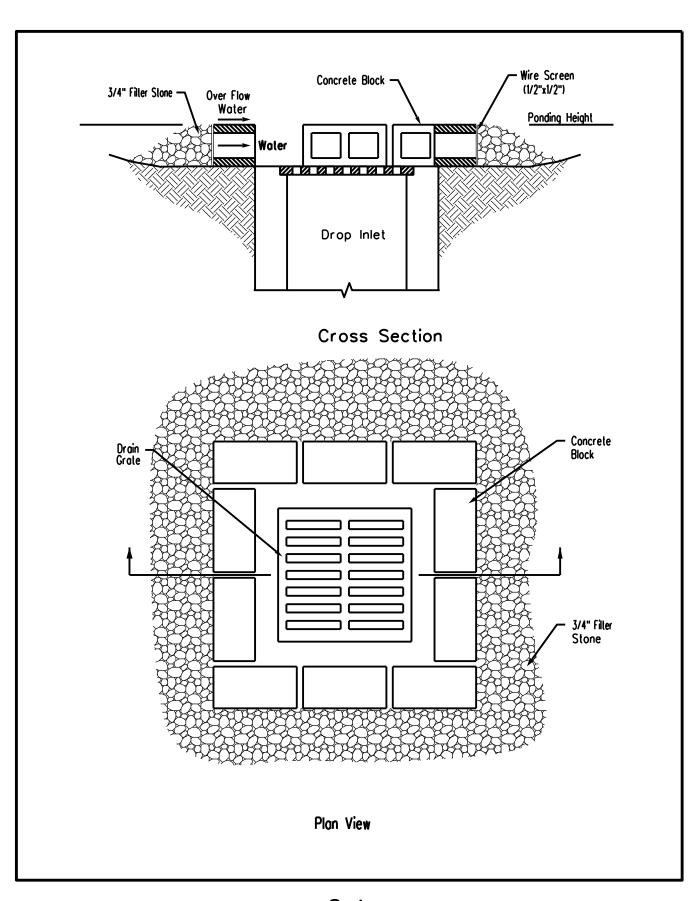
HABITAT FOR HUMANITY Garland, TX 75040 OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com ENGINEERS TEL. (972) 272-8530 TBPE No. F-1515 DESIGN: DBP CHECK: DBP SCALE: AS SHOWN SHEET: DRAWN: MDP DATE: JUNE 2021 PROJECT #: 2915-21 3 of 5



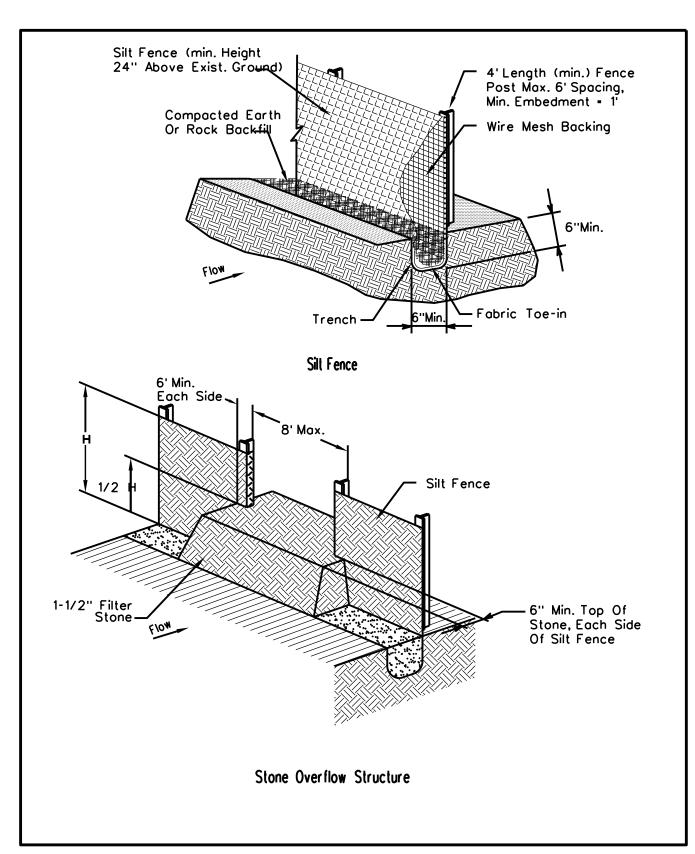


S-4





Length As Shown On Plans Grade To Prevent Runoff From Leaving Site **└** Existing Grade Length As Shown On Plans Grade To Drain Away From Stabilization And Street Paved Surface Away From Entrance Entrance Must Be Sloped So That Storm Water Is Not Allowed To Leave The Site And Enter Roadways. Plan View S-9 THE FOLLOWING NON-STORM WATER DISCHARGES FROM SITES AUTHORIZED UNDER THE GENERAL PERMIT ARE ALSO ELIGIBLE FOR AUTHORIZATION UNDER THE GENERAL PERMIT:



S-1

.DISCHARGES FROM FIRE FIGHTING ACTIVITIES (FIRE FIGHTING ACTIVITIES DO NOT INCLUDE WASHING OF TRUCKS, RUN-OFF WATER FROM TRAINING ACTIVITIES, TEST WATER FROM FIRE SUPPRESSION SYSTEMS, AND SIMILAR ACTIVITIES);

* UNCONTAMINATED FIRE HYDRANT FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE), WHICH INCLUDE FLUSHINGS FROM SYSTEMS THAT UTILIZE POTABLE WATER, SURFACE WATER, OR GROUNDWATER THAT DOES NOT CONTAIN ADDITIONAL POLLUTANTS (UNCONTAMINATED FIRE HYDRANT FLUSHINGS DO NOT INCLUDE SYSTEMS UTILIZING RECLAIMED WASTEWATER AS A SOURCE WATER);

. WATER FROM THE ROUTINE EXTERNAL WASHING OF VEHICLES, THE EXTERNAL PORTION OF BUILDINGS OR STRUCTURES, AND PAVEMENT, WHERE DETERGENTS AND SOAPS ARE NOT USED AND WHERE SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED (UNLESS SPILLED MATERIALS HAVE BEEN REMOVED; AND IF LOCAL STATE, OR FEDERAL REGULATIONS ARE APPLICABLE, THE MATERIALS ARE REMOVED ACCORDING TO THOSE REGULATIONS), AND WHERE THE PURPOSE IS TO REMOVE MUD, DIRT, OR DUST;

.UNCONTAMINATED WATER USED TO CONTROL DUST;

* POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS (EXCLUDING DISCHARGES OF HYPERCHLORINATED WATER, UNLESS THE WATER IS FIRST DECHLORINATED AND

DISCHARGES ARE NOT EXPECTED TO ADVERSELY AFFECT AQUATIC LIFE);

.UNCONTAMINATED GROUND WATER OR SPRING WATER, INCLUDING FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH INDUSTRIAL MATERIALS SUCH

AS SOLVENTS; AND . LAWN WATERING AND SIMILAR IRRIGATION DRAINAGE.

AFFECT AQUATIC LIFE.

PREPARED BY:

.UNCONTAMINATED AIR CONDITIONING CONDENSATE;

*HYPERCHLORINATED WATER 13.5 MG/L OR GREATER OF FREE CHLORINE) RESULTING FROM WATERLINE STERILIZATION SHALL BE DECHLORINATED AND NOT EXPECTED TO ADVERSELY

NOTE:

1. DISTURBED AREAS, INCLUDING HOUSE LOTS ON WHICH CONSTRUCTION ACTIVITY HAS CEASED(TEMPORARILY OR PERMANENTLY), SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITIES ARE SCHEDULED TO RESUME WITHIN 21 DAYS.

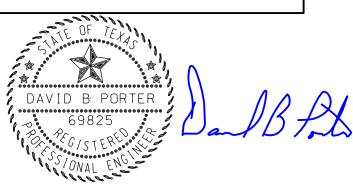
2. MAINTENANCE AND INSPECTION PROCEDURES: CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF ANY STORM EVENT OR 0.5 INCHES OR GREATER.

HABITAT FOR HUMANITY PROJECT NAME & LOCATION: 305 BLANCHE DRIVE ROCKWALL, TEXAS 75032 OPERATOR NAME & ADDRESS: RESIDENTIAL CONSTRUCTION DETAILED PROJECT DESCRIPTION: GRADING, HOME CONSTRUCTION, AND EROSION CONTROL TOTAL PROJECT AREA: SO FT TOTAL AREA TO BE DISTURBED: SO FJ ESTIMATED PROJECT START DATE: JULY 2021 ESTIMATED PROJECT END DATE: OCTOBER 2021 S-1, S-9 EROSION & SEDIMENT BMPS: M-1, M-2, M-3, M-4, M-5, M-6, M-7 HOUSEKEEPING BMPS: ESTABLISHED VEGETATION, ESTABLISHED PERENNIAL VEGETATION, PAVING STABILIZATION PRACTICES: NOTE: BMPs to be used shall be those from the City of Rockwall "Standard Erosion Control" sheets, or from the most

GREATER. IF A REPAIR IS NECCESSARY IT WILL BE DONE AT THE EARLIEST PRACTICABLE DATE BUT WITHIN 48 HOURS.

SIGNATORY REQUIREMENT
I CERTIFY THAT THE INFORMATION PROVIDED IN THIS DOCUMENT REPRESENTS EROSION CONTROL MEASURES PLANNED FOR THE SUBJECT PROJECT AND IS TRUE, ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF. IFURTHER CERTIFY THAT LUNDERSTAND MY RESPONSIBILITIES UNDER THE CONDITIONS OF THIS EROSION CONTROL PLAN. PROJECT OPERATOR: PRINTED NAME TITLE: SIGNATURE: R-DELTA ENGINEERS, INC.

recent version of the "NCTCOG iSWM Design Manual For Construction".



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

TBPE Registration No. F-001515

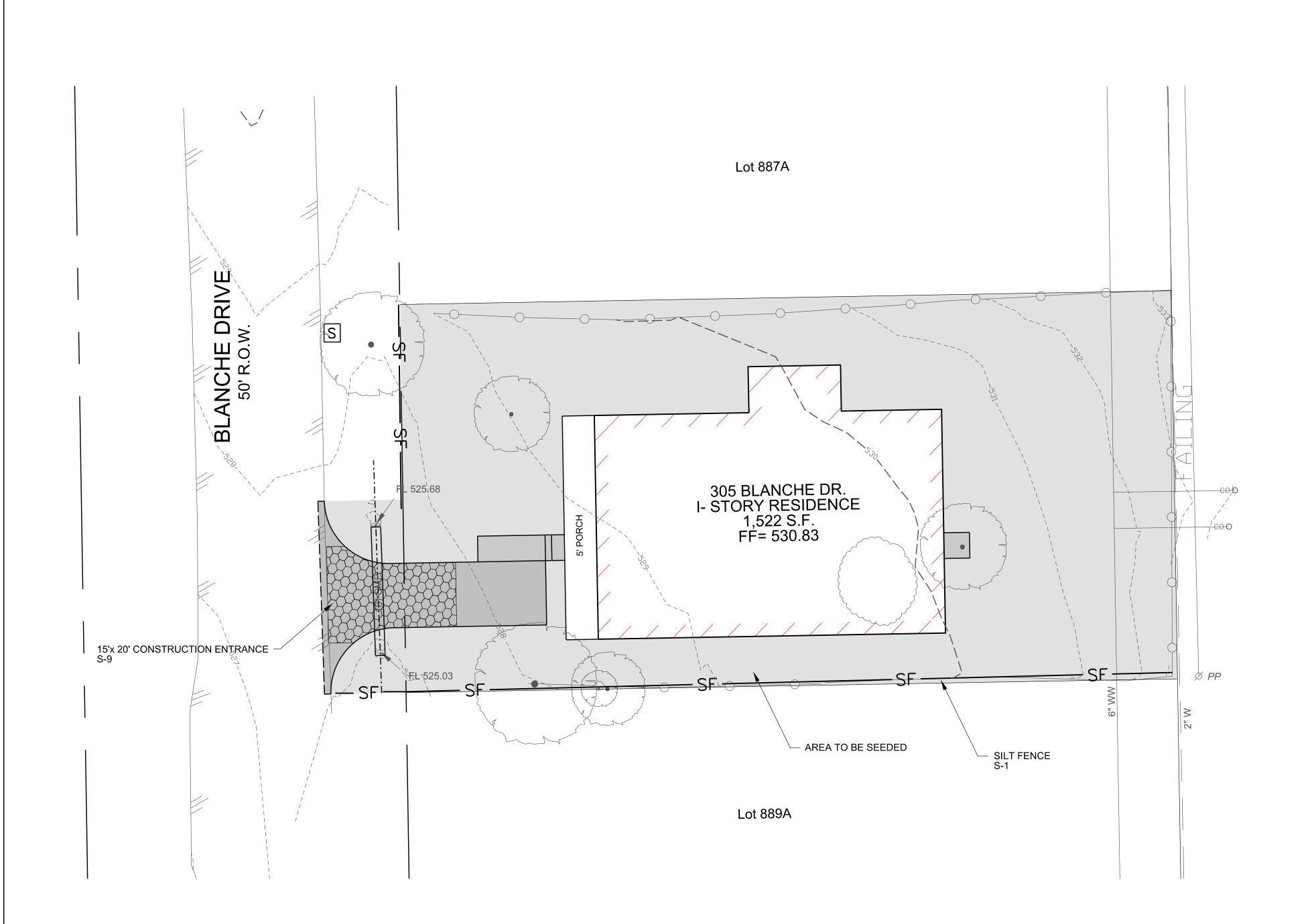
REV 🛆	DATE	DESCRIPTION
\triangle		
EF	ROSIO	N CONTROL DETAILS

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

rde E N G I N E	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HI OF GREATER GARLAI 2350 CRIST SUITE 70 GARLAND, TEXA TEL. (972) 272	ND, INC. RD, IO S 75040
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	4 of 5

S-4

S-4



EROSION AND SEDIMENTATION CONTROL NOTES

1) EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK AND SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

2) EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, AT THE EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER EACH RAIN. ANY ITEM DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED.

3) SURFACE WATER RUNOFF SHALL BE KEPT FROM ENTERING INTO ANY EXCAVATED AREAS AND UTILITY TRENCHES AT ALL TIMES.

4)THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND WILL CLEAN ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.

5) THE CONTRACTOR SHALL PREVENT EROSION OF THE SITE AND PROTECT ALL DRAINAGE STRUCTURES BY THE USE OF SILT FENCING, OR OTHER APPROVED EROSION CONTROL PRODUCTS, AS NEEDED. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE CITY ENGINEER'S OFFICE DURING ON-SITE INSPECTIONS.

6) ALL POLLUTION PREVENTION CONTROL DEVICES SHALL CONFORM TO THE GITY OF ROCKWALL STANDARDS OR THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) MANUAL OF "STORM WATER QUALITY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES" (BMP MANUAL).

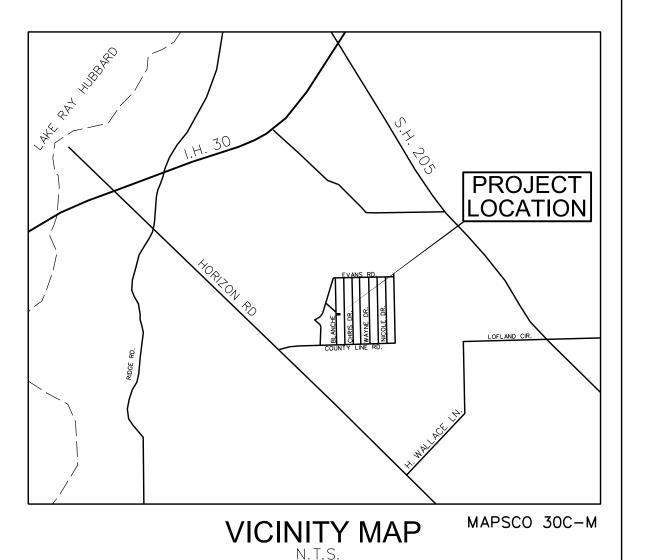
7) RECEIVING WATERS SHALL BE PROTECTED FROM UNFILTERED STORM WATER RUNOFF AT ALL TIMES.

8) THE LOCATIONS OF EROSION CONTROL DEVICES SHOWN ON THIS PLAN ARE APPROXIMATE AND WILL BE MODIFIED AS DIRECTED BY THE ENGINEERING DEPARTMENT AS TO PREVENT UNFILTERED STORMWATER FROM EXITING CONSTRUCTION AREAS.

9) STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGH THE DURATION OF THE PROJECT. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT ANY OTHER POINT OF ENTRY/EXIT TO THE PROJECT AS APPROVED BY THE CITY ENGINEER'S OFFICE. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE PROJECT AREA VIA THIS STABILIZED CONSTRUCTION ENTRANCE.

NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.

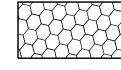


LEGEND

CONCRETE DRIVEWAY/SIDEWALK



AREA TO BE SEEDED



CONSTRUCTION ENTRANCE

S SANITARY FACILITY

— SF — SILT FENCE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

REV △	DATE	DESCRIPTION

EROSION CONTROL PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

rde E N G I N E	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HI OF GREATER GARLAI 2350 CRIST SUITE 70 GARLAND, TEXA TEL. (972) 272	ND, INC. RD, O S 75040
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DDAWN: MDD	DATE: ILINE 2024	DDO 1507 #- 0045 04	5 5

PROJECT COMMENTS



Angelica Gamez

agamez@rockwall.com

972-772-6438

CASE MANAGER:

CASE MANAGER PHONE:

CASE MANAGER EMAIL:

DATE: 9/23/2021

CASE CAPTION:

PROJECT NUMBER: Z2021-039

PROJECT NAME: SUP for Residential Infill at 305 Blanche Drive

SITE ADDRESS/LOCATIONS: 305 BLANCHE DR, ROCKWALL, 75032

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific

Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas,

zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and

take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Angelica Gamez	09/23/2021	Approved w/ Comments	

09/23/2021: Z2021-039; Specific Use Permit (SUP) for Residential Infill for 305 Blanche Drive Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650 -acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive.
- I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (Z2021-039) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- 1.6 The addition of a garage or carport must meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage or carport be situated a minimum of 20-feet behind the front façade of the single-family home.
- M.7 Please review the attached Draft Ordinance prior to the September 28, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 5, 2021.
- 1.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 5, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 12, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 28, 2021.
- I.9 The projected City Council meeting dates for this case will be October 18, 2021 [1st Reading] and November 1, 2021 [2nd Reading].

DEPARTMENT REVIEWER DATE OF REVIEW STATUS OF PROJECT

ENGINEERING	Sarah Johnston	09/23/2021	Approved w/ Comments	
09/23/2021: I - Driveway culve	rt to be designed by an engineer for the building	permit. Culvert may need to be larger diameter.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	09/22/2021	Approved	
No Comments				_
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	09/22/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	09/20/2021	Approved w/ Comments	
	05 BLANCHE DR, ROCKWALL, 75032	***************************************	TP	
	,			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	09/20/2021	Approved w/ Comments	

09/20/2021: No comments



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY	
PLANNING & ZONING CASE NO.	Z2021-039
NOTE: THE APPLICATION IS NOT	CONSIDERED ACCEPTED BY TH

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

DI EACE CHECK THE AD	DDDODDIATE DOV DELO	W TO INDICATE THE TYPE OF DEV	IEL ODMENT DECLIECT	ICELECT ONLY ONE DOVI
LEASE UNEUN THE AF	PROPRIATE DUX DELU	W TO INDICATE THE THE OF DET	ELUPIVIENI REQUEST	ISELECT UNLT UNE DUXI.

PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)	ZONING APPLICATION FEES: ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST (\$100.00)
SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	NOTES: 1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
PROPERTY INFORMATION [PLEASE PRINT]	
ADDRESS 305 Blanche Rd	
SUBDIVISION ROCKWall Lake Est	#2 Lot 888A LOT 888A BLOCK
GENERAL LOCATION	
ZONING, SITE PLAN AND PLATTING INFORMATION [PLI	EASE PRINT]
current zoning Single Family Home	CURRENT USE Empty Lot
PROPOSED ZONING Single Family Home	PROPOSED USE Home
ACREAGE .1650 LOTS [CURRE	ENT] LOTS [PROPOSED]
	TICHECK THE PRIMARY CONTACTIONIGINAL SIGNATURES ARE REQUIRED] APPLICANT CONTACT PERSON ADDRESS
CITY, STATE & ZIP ROCKWall, TX 75087	CITY, STATE & ZIP
PHONE 214-704-3455	PHONE
E-MAIL peter@northmesquite plumbin	ng. com
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEASTATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED	ARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO
\$ 215.00 TO COVER THE COST OF THIS APPLICATION 1 A 2021. BY SIGNING THIS APPLICATION, I A	IN: ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF N. HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE Y IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 157 DAY OF 2 OWNER'S SIGNATURE	DEANNE RENEE FITZGERALD Notary 10 #7398728 AND Commission Expires
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS	NNE RENEE FITZGERALD MY COMMISSION EXPIRES SEC 4 MOUT 4 3035
DEVELOPMENT APPLICATION . CITY OF ROCK PALES STUTING	Commission = xpiserw kt, TX 75087 • [P] (972) 771-7745 • [I] (972) 771-7727 eptember 14, 2025





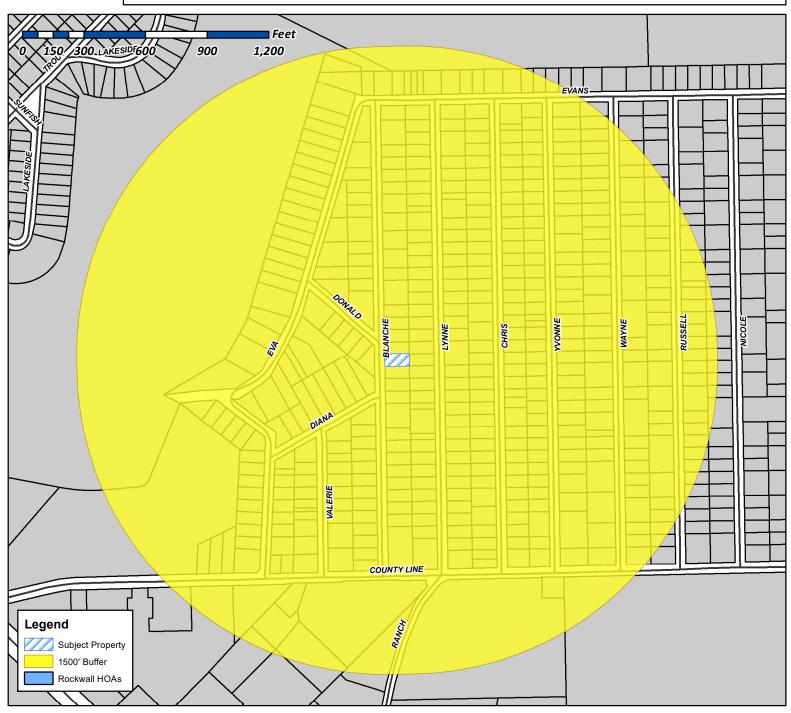
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

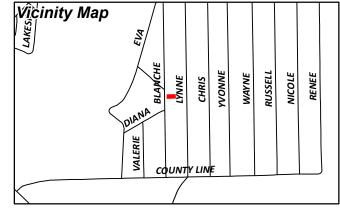
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

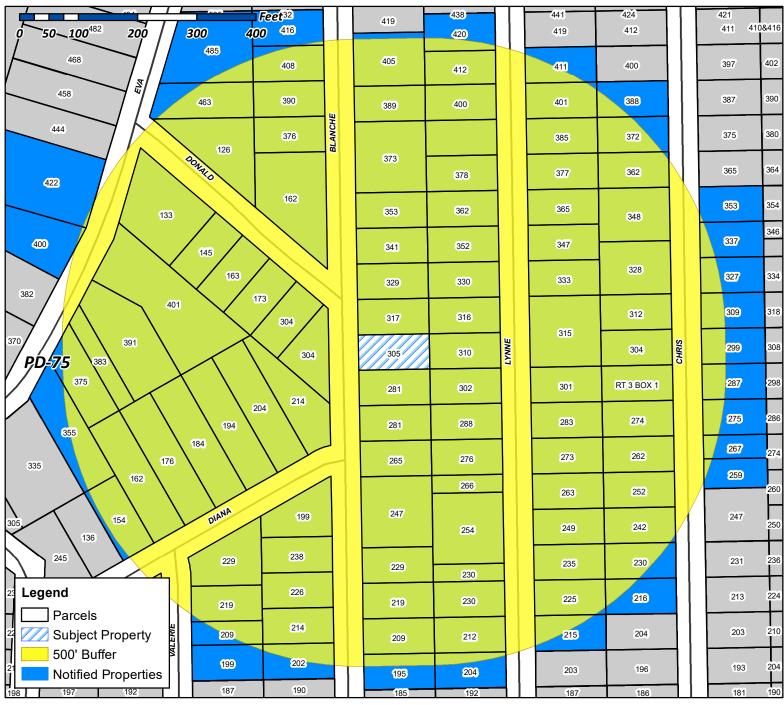
For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

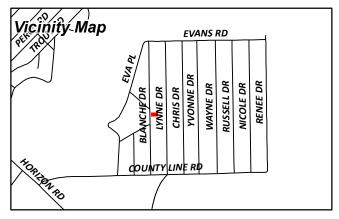
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

For Questions on this Case Call (972) 771-7745



SALAS HECTOR JABIER & CAROLINA ORTIZ 1000 W YELLOWJACKET LANE APT 2507 ROCKWALL, TX 75087 MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 11540 SINCLAIR AVENUE DALLAS, TX 75218

NAVA ANA L 1167 SMITH ACRES DR ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL 118 ALTHEA RD ROCKWALL, TX 75032 FERNANDEZ URBANO ALVARADOO & SON ARMADO FERNANDEZ 1235 VZ COUNTY ROAD 3425 WILLS POINT, TX 75169

ADAMS JAMES W 126 DONALD DR ROCKWALL, TX 75032

MORRIS AUBREY KEITH 133 DONALD DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 1414 BUFFALO WOODS CT KATY, TX 77494

CROWDER DAVID 145 BETHEL RD GREENVILLE, TX 75402

MARTINEZ PERLA 145 DONALD DR ROCKWALL, TX 75087 ESPARZA JUANA 15047 SE 152ND DR CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL 154 DIANA DR ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 162 DIANA ROCKWALL, TX 75032 GRAY DOROTHY M 162 DONALD DR ROCKWALL, TX 75032 MORENO FABIOLA 163 DONALD ROCKWALL, TX 75032

LOZANO ISIDRO 1705 HIGH MEADOW DR GARLAND, TX 75043 FIELDS JIMMIE 173 DONALD DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 176 DIANA ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 184 LILLIAN DR ROCKWALL, TX 75032 SARABIA SILVESTRE 194 DIANA ROCKWALL, TX 75032 GARCIA JOSE 195 BLANCHE DR ROCKWALL, TX 75032

MELENDEZ HOPE 199 DIANA DR ROCKWALL, TX 75032 CANADY JERRY ANN 199 VALERIE PL ROCKWALL, TX 75032 ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G 2027 MIDLAKE LN ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

BODEN ERIC (MR) 204 DIANA ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D 204 LYNNE DR ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 208 SUMMIT RIDGE DR ROCKWALL, TX 75087 URBINA ARACELI C 209 BLANCHE DR ROCKWALL, TX 75032 CANADY JERRY ANN 209 VALERIE PL ROCKWALL, TX 75032 CRUZ MARIA D AND IGNACIO D 212 LYNNE DR ROCKWALL, TX 75032 RICO RUIZ CARLOS AND MARIA 212 VALERIE PL ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ 214 BLANCHE DR ROCKWALL, TX 75032 BODEN ERIC (MR) 214 DIANA ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F 216 CHRIS DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 218 LAKESIDE DR ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 219 BLANCHE DR ROCKWALL, TX 75032

RUIZ JOSE C 219 VALERIE PL ROCKWALL, TX 75032 CARMONA JOEL 221 NICOLE DR ROCKWALL, TX 75032 ESPARZA JUANA 225 LYNNE DR ROCKWALL, TX 75032

MENDOZA ERICK CRUZ 226 BLANCHE DRIVE ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 229 BLANCHE DR ROCKWALL, TX 75032

MUK YAN CHING 229 VALERIE PL ROCKWALL, TX 75032

YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ 230 CHRIS DRIVE ROCKWALL, TX 75032

PEREZ FERMIN 230 LYNN DRIVE ROCKWALL, TX 75032 CONFIDENTIAL 230 LYNNE DR ROCKWALL, TX 75032

UGALDE VICENTE R 234 BLANCHE DR ROCKWALL, TX 75032 CARMONA MARTIN SALVADOR 235 LYNNE DR ROCKWALL, TX 75032 RAMIREZ MARTHA E 235 LYNNE DRIVE ROCKWALL, TX 75032

UGALDE VICENTE R 238 BLANCHE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 2418 HILLGLENN RD DALLAS, TX 75228 CARRILLO JAIME 242 CHRIS DR ROCKWALL, TX 75032

TONG VINCENT 247 BLANCHE DR ROCKWALL, TX 75032 CARMONA EVELIA 249 LYNNE DR ROCKWALL, TX 75032 MARTINEZ CARLOS ALONZO 252 CHRIS DR ROCKWALL, TX 75032

RAMIREZ MARTHA E 254 LYNNE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 259 CHRIS DR ROCKWALL, TX 75032 NAVA ANA L 262 CHRIS DR ROCKWALL, TX 75032 SALAZAR-CARMONA MIRIAM GUADALUPE 263 LYNNE DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 265 BLANCHE DR ROCKWALL, TX 75032 CITY OF ROCKWALL ATTN;MARY SMITH 266 LYNNE DR ROCKWALL, TX 75032

MARTINEZ RUTH A 267 CHRIS DR ROCKWALL, TX 75032 FERNANDEZ URBANO 273 LYNNE DR ROCKWALL, TX 75032 CHAPELA AARON JAIME 274 CHRIS DR ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE 276 LYNNE DR ROCKWALL, TX 75032 CROWDER DAVID 281 BLANCHE DR ROCKWALL, TX 75032

FERNANDEZ URBANO 283 LYNNE DR ROCKWALL, TX 75032 SLEDGE PATTI RENE 287 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE 288 LYNNE DR ROCKWALL, TX 75032

QUEVEDO OSCAR F 293 YVONNE ROCKWALL, TX 75032 GREER RICHARD & MARLENE 299 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ ANTONIO & LAURA 301 LYNNE DR ROCKWALL, TX 75032

GUEVARA JOSE 302 LYNNE DR ROCKWALL, TX 75032 VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA 304 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA 304 CHRIS DR ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY 305 BLANCHE DR ROCKWALL, TX 75032 MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA 310 LYNNE DR ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 311 E I-30 ROCKWALL, TX 75087 BALDERAS JOSE G 312 CHRIS DR ROCKWALL, TX 75032 CARMONA JOEL 315 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 316 LYNNE DR ROCKWALL, TX 75032 STRANGE MARY JANNETTE 317 BLANCHE DR ROCKWALL, TX 75032 ROSAS ALEXANDRA 327 CHRIS DR ROCKWALL, TX 75032

PADRON CELSA 328 CHRIS DR ROCKWALL, TX 75032 UC F JOSE FAUSTO 329 BLANCHE DR ROCKWALL, TX 75032 MORENO SALVADOR 330 LYNNE DR ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND BERNARDA AGUILAR LEDEZMA 337 CHRIS DRIVE ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL 341 BLANCHE DR ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L 348 CHRIS DR ROCKWALL, TX 75032 MORENO SALVADOR 352 LYNNE DR ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 353 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE L 353 CHRIS DR ROCKWALL, TX 75032

BARNARD DANIEL 353 CHRIS DRIVE ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH 355 EVA ROCKWALL, TX 75032 GALLEGOS MAURO & MARIA 362 CHRIS DR ROCKWALL, TX 75032 LOZANO ISIDRO 362 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 365 LYNNE DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 372 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ HERMAN & APRIL 373 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 375 EVA ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 376 BLANCHE DR ROCKWALL, TX 75032

SILVA ROBERTO 377 LYNNE DR ROCKWALL, TX 75032

TOSCANO ANTONIA 378 LYNNE DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 383 EVA PL ROCKWALL, TX 75032 ESPINOZA ROBERTO & MARIA 385 LYNNE DR ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA 388 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 389 BLANCHE DR ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 390 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 391 EVA ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 400 EVA ROCKWALL, TX 75032 CONTRERAS-AYALA JORGE 400 LYNNE ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 401 EVA ROCKWALL, TX 75032 VARGAS FRANCISCO 401 LYNNE DR ROCKWALL, TX 75032 GUEVARA JOSE E 405 BLANCHE DR ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 408 BLANCHE DR ROCKWALL, TX 75032 VARGAS FRANCISCO 411 LYNNE DR ROCKWALL, TX 75032 DOMINGUEZ SALVADOR & DIANA 412 LYNNE DR ROCKWALL, TX 75032

CARRILLO OMAR ROSALES MARIA M 416 BLANCHE DR ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA 420 LYNNE DRIVE ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 422 EVA ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 463 EVA PL ROCKWALL, TX 75032

ADAMS JAMES W 485 EVA ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 513 BASS RD ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 5245 COUNTY ROAD 2515 ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA 532 BLANCHE DRIVE ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 6938 STATE HIGHWAY 50 COMMERCE, TX 75428 LAKE POINTE BAPTIST CHURCH 701 E INTERSTATE 30 ROCKWALL, TX 75087

SILVA ROBERTO 8766 CR 2586 ROYSE CITY, TX 75189 MUK YAN CHING 908 S WEATHERED DR UNIT 8 RICHARDSON, TX 75080 SARABIA SILVESTRE 929 S PEORIA ST APT G21S AURORA, CO 80012

FIELDS JIMMIE PO BOX 1115 ROYSE CITY, TX 75189

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ RT 3 BOX 1 CHRIS DR ROCKWALL, TX 75032 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday</u>. <u>October</u> <u>12</u>, <u>2021 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday</u>, <u>October 18</u>, <u>2021 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by <u>Monday, October 18, 2021 at 4:00 PM</u> to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

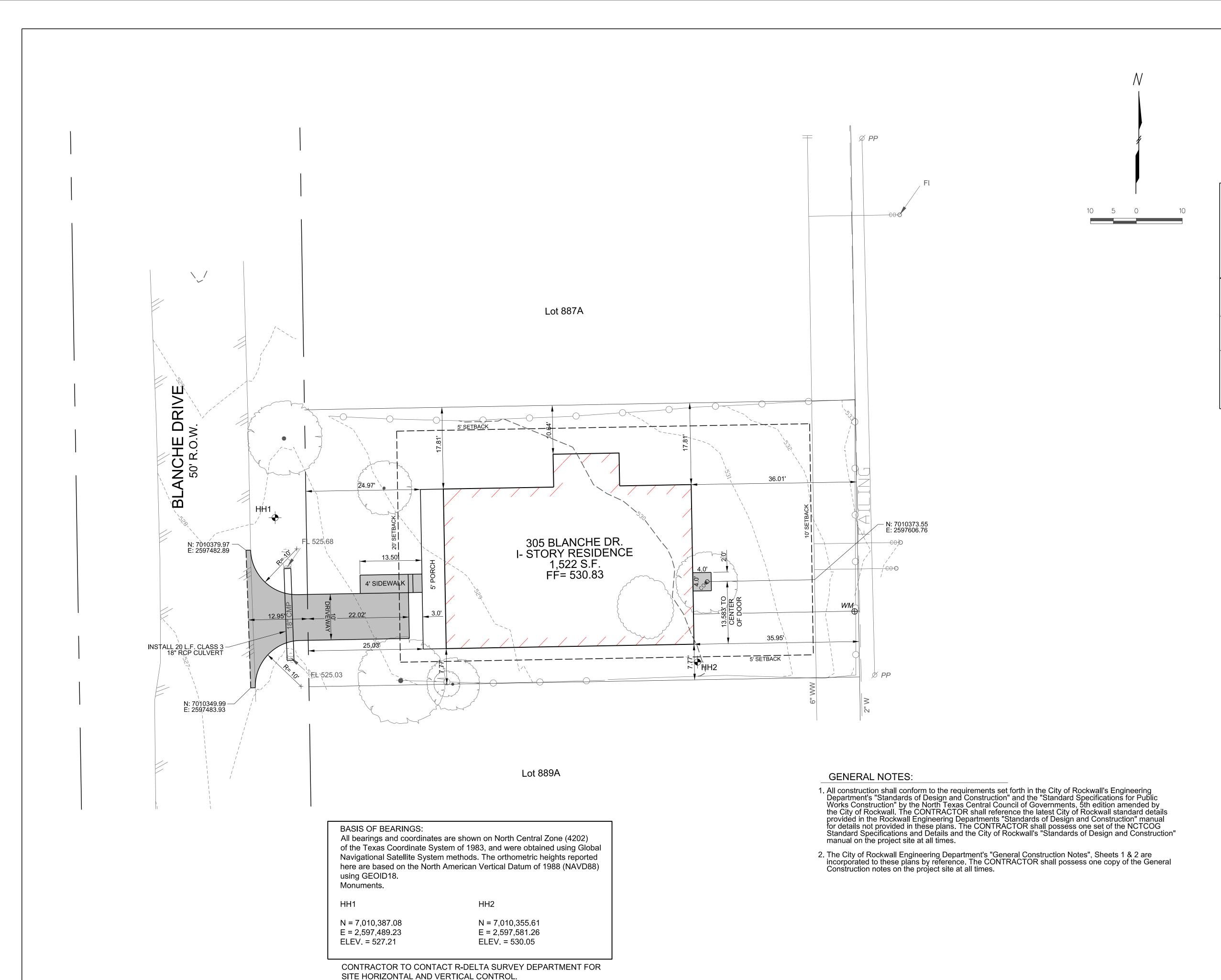
TO GO DIRECTLY

TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT. https://sites.google.com/site/rockwaliplanning/development-cases
PLEASE RETURN THE BELOW FORM
Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

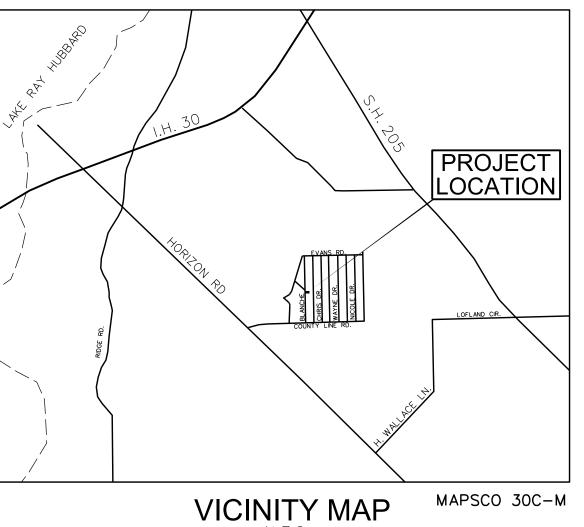
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



ZONING: PD-75 (AREA 2)

SETBACKS: FRONT - 20' REAR - 10' SIDES - 5'

MAXIMUM HEIGHT - 32' LOT COVERAGE - 30.3%

OWNER: HABITAT FOR HUMANITY CONTACT - PETER MUHL (214)704-3455



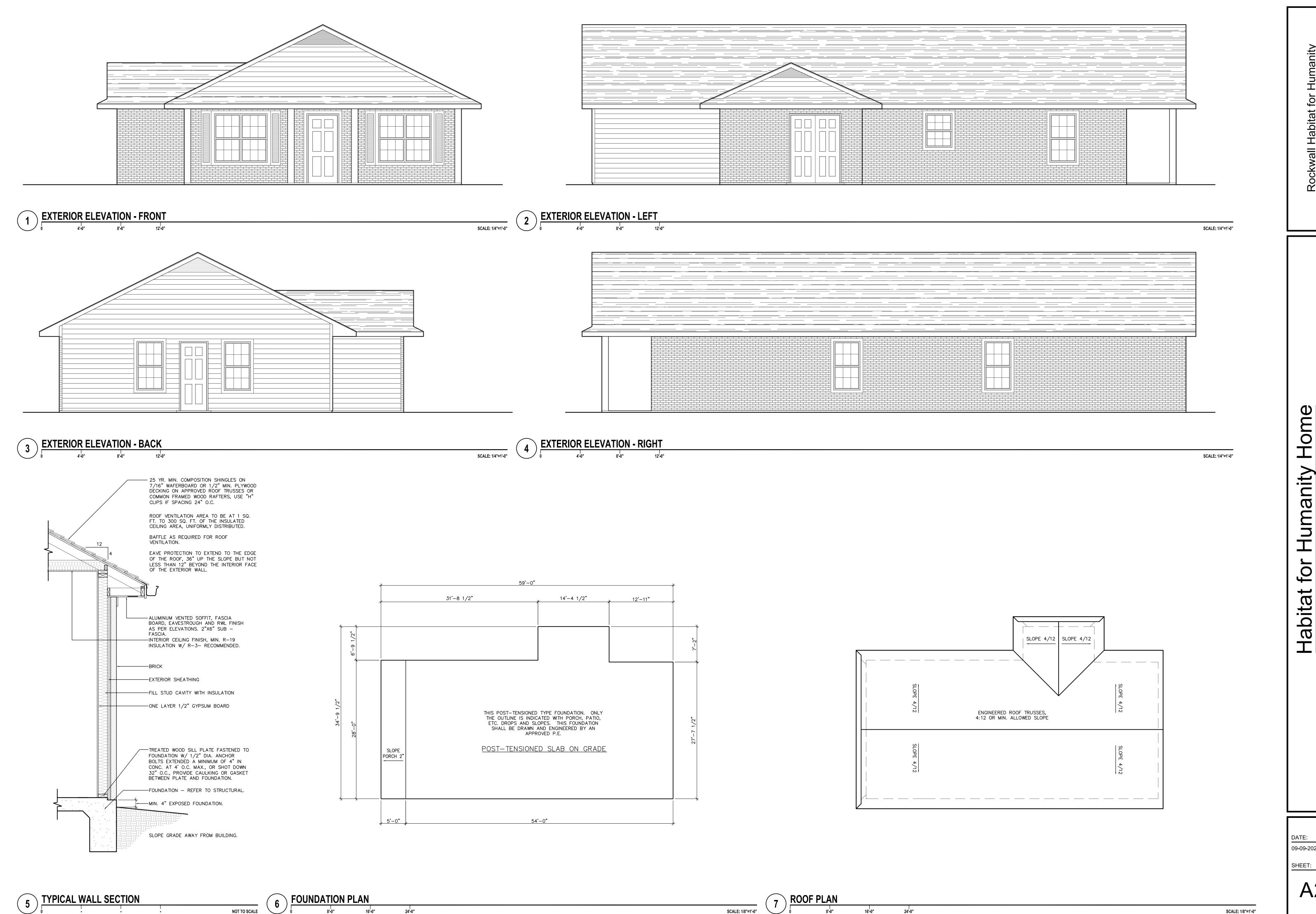
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

ENGINEERING PRACTICE ACT.		
REV 🛆	DATE	DESCRIPTION
\triangle		

SITE PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

rdel ENGINE	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HI OF GREATER GARLAI 2350 CRIST SUITE 70 GARLAND, TEXA TEL. (972) 272	ND, INC. RD, O S 75040
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	1 of 5



Human Rockwall, Tx for

DATE: 09-09-2021

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. <u>S-2XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO **EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)** FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR Α REPEALER PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF NOVEMBER, 2021.

	Kevin Fowler, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	7
Frank J. Garza, City Attorney	

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A'Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition



Exhibit 'B': Residential Plot Plan

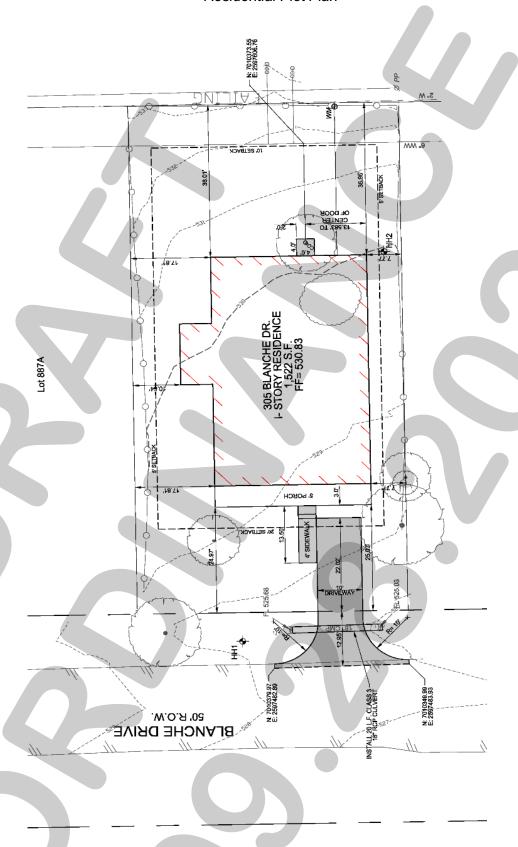
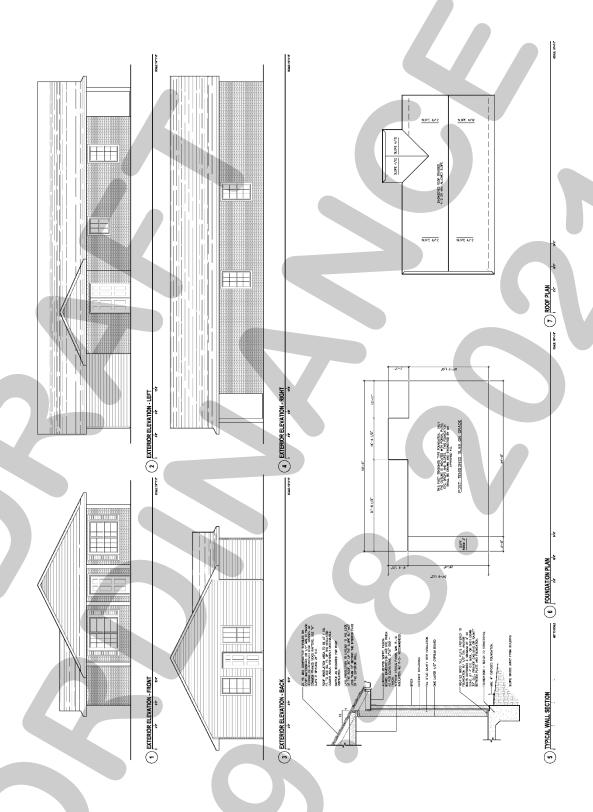


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: October 12, 2021

APPLICANT: Peter Muhl; Rockwall Habitat for Humanity

CASE NUMBER: Z2021-039; Specific Use Permit (SUP) for a Residential Infill for 305 Blanche Drive

SUMMARY

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 888-A of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- along with the rest of the Lake Rockwall Estates Subdivision -- was annexed into the City of Rockwall by Ordinance No. 09-07. At the time of annexation, one (1) manufactured homes were situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [Ordinance No. 09-37] for Single-Family 7 (SF-7) District land uses. Based on aerial imagery the manufactured home that was situated on the subject property at the time of annexation was demolished between August 2012 and October 2013. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with Ordinance No. 16-01, which made minor changes to the Consideration of a Special Request section of the ordinance.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 305 Blanche Drive. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South:

Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

<u>East</u>: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Lynne Drive, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

<u>West</u>: Directly west of the subject property is Blanche Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Blanche Drive, Diana Drive, and Donald Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive, Diana Drive, and Donald Drive	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Blanche Drive are oriented toward Blanche Drive.	The front elevation of the home will face onto Blanche Drive.
Year Built	1975-2000	N/A
Building SF on Property	672 SF - 1,808 SF	1,522 SF
Building Architecture	Various (Majority Mobile/Manufactured Homes)	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated Between 15-Feet and 20-Feet	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	36.01-Feet
Building Materials	Hardie Board, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of Hardie Board Siding and Brick
Paint and Color	Yellow, Tan, Brown, White, Green, and Teal	Undefined by the Applicant
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle on Waferboard or Plywood decking
Driveways/Garages	Driveways are all in the front and visible from Blanche Drive; however, some are behind front yard fences. None of the homes have enclosed garages.	The proposed home does not include a garage/carport.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is not proposing a garage with the home. The addition of a garage or carport must meet the standards established in Subsection 07.04, *Accessory Structure Development Standards* of Article 04, of the Unified Development Code (UDC). With the exception of not having a garage, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Blanche Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On September 23, 2021, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY	
PLANNING & ZONING CASE NO.	Z2021-039
NOTE: THE APPLICATION IS NOT	CONSIDERED ACCEPTED BY THE

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

DI EACE CHECK THE A	DDDODDIATE DOV DEL	OW TO INDICATE THE TYPE O	DE DEVELOPMENT DECLIECT	ICELECT ONLY ONE DOVE
LEASE UNEUN THE A	PPROPRIATE DUA DEL	OW TO INDICATE THE LIFE C	IF DEVELOPIVIEIVI REQUEST	ISELECT UNLT UNE DUXI.

PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)	ZONING APPLICATION FEES: ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST (\$100.00)
SITE PLAN APPLICATION FEES: SITE PLAN (\$250.00 + \$20.00 ACRE) AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	NOTES: 1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
PROPERTY INFORMATION [PLEASE PRINT]	
ADDRESS 305 Blanche Rd	
SUBDIVISION ROCKWall Lake Est	#2 Lot 888A LOT 888A BLOCK
GENERAL LOCATION	
ZONING, SITE PLAN AND PLATTING INFORMATION [PLI	EASE PRINT]
current zoning Single Family Home	CURRENT USE Empty Lot
PROPOSED ZONING Single Family Home	PROPOSED USE Home
ACREAGE .1650 LOTS [CURRE	ENT] LOTS [PROPOSED]
	TICHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED] APPLICANT CONTACT PERSON ADDRESS
CITY, STATE & ZIP ROCKWall, TX 75087	CITY, STATE & ZIP
PHONE 214-704-3455	PHONE
E-MAIL peter@northmesquite plumbin	ng. com
NOTARY VERIFICATION [REQUIRED] BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEASTATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED	ARED Sally Muhl [OWNER] THE UNDERSIGNED, WHO
\$ 215.00 TO COVER THE COST OF THIS APPLICATION 1 A 2021. BY SIGNING THIS APPLICATION, I A	IN: ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF N. HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE DAY OF AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE Y IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 157 DAY OF 2 OWNER'S SIGNATURE	DEANNE RENEE FITZGERALD Notary 10 #7398728 AND Commission Expires
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS	NNE RENEE FITZGERALD MY COMMISSION EXPIRES SEC 4 MOUT 4 3035
DEVELOPMENT APPLICATION . CITY OF ROCK PALES STUTING	Commission = xpiserw kt, TX 75087 • [P] (972) 771-7745 • [I] (972) 771-7727 eptember 14, 2025





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

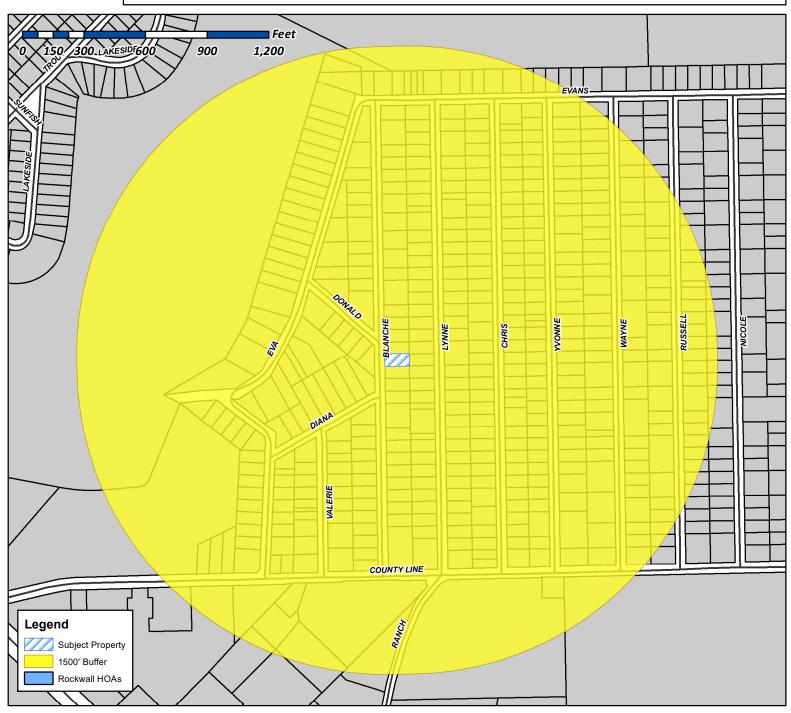




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

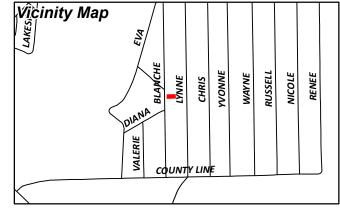
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

For Questions on this Case Call (972) 771-7745

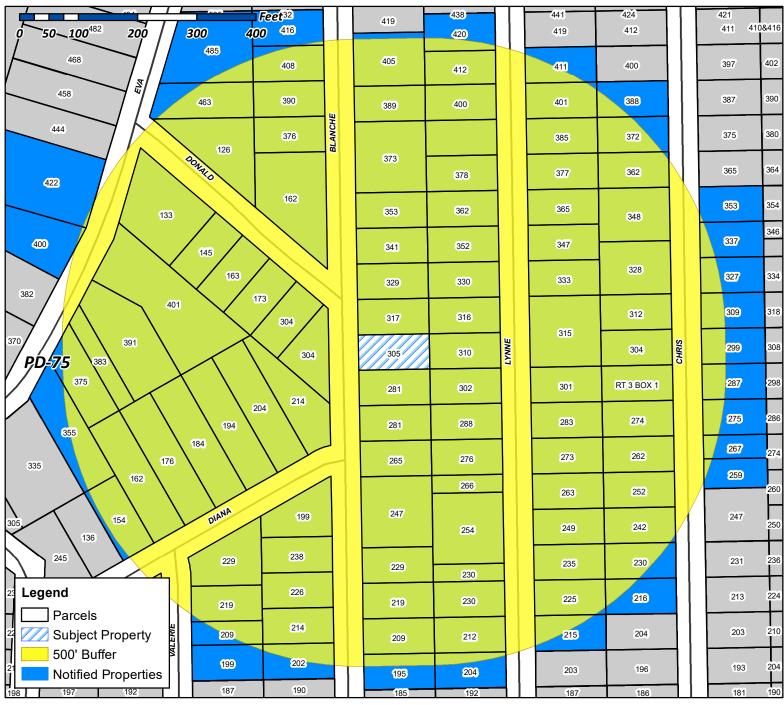




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

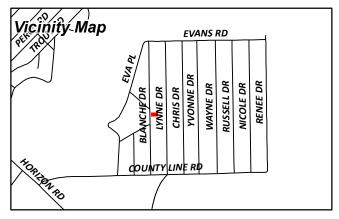
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

For Questions on this Case Call (972) 771-7745



SALAS HECTOR JABIER & CAROLINA ORTIZ 1000 W YELLOWJACKET LANE APT 2507 ROCKWALL, TX 75087 MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 11540 SINCLAIR AVENUE DALLAS, TX 75218

NAVA ANA L 1167 SMITH ACRES DR ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL 118 ALTHEA RD ROCKWALL, TX 75032 FERNANDEZ URBANO ALVARADOO & SON ARMADO FERNANDEZ 1235 VZ COUNTY ROAD 3425 WILLS POINT, TX 75169

ADAMS JAMES W 126 DONALD DR ROCKWALL, TX 75032

MORRIS AUBREY KEITH 133 DONALD DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 1414 BUFFALO WOODS CT KATY, TX 77494

CROWDER DAVID 145 BETHEL RD GREENVILLE, TX 75402

MARTINEZ PERLA 145 DONALD DR ROCKWALL, TX 75087 ESPARZA JUANA 15047 SE 152ND DR CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL 154 DIANA DR ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 162 DIANA ROCKWALL, TX 75032 GRAY DOROTHY M 162 DONALD DR ROCKWALL, TX 75032 MORENO FABIOLA 163 DONALD ROCKWALL, TX 75032

LOZANO ISIDRO 1705 HIGH MEADOW DR GARLAND, TX 75043 FIELDS JIMMIE 173 DONALD DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 176 DIANA ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 184 LILLIAN DR ROCKWALL, TX 75032 SARABIA SILVESTRE 194 DIANA ROCKWALL, TX 75032 GARCIA JOSE 195 BLANCHE DR ROCKWALL, TX 75032

MELENDEZ HOPE 199 DIANA DR ROCKWALL, TX 75032 CANADY JERRY ANN 199 VALERIE PL ROCKWALL, TX 75032 ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G 2027 MIDLAKE LN ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

BODEN ERIC (MR) 204 DIANA ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D 204 LYNNE DR ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 208 SUMMIT RIDGE DR ROCKWALL, TX 75087 URBINA ARACELI C 209 BLANCHE DR ROCKWALL, TX 75032 CANADY JERRY ANN 209 VALERIE PL ROCKWALL, TX 75032 CRUZ MARIA D AND IGNACIO D 212 LYNNE DR ROCKWALL, TX 75032 RICO RUIZ CARLOS AND MARIA 212 VALERIE PL ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ 214 BLANCHE DR ROCKWALL, TX 75032 BODEN ERIC (MR) 214 DIANA ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F 216 CHRIS DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 218 LAKESIDE DR ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 219 BLANCHE DR ROCKWALL, TX 75032

RUIZ JOSE C 219 VALERIE PL ROCKWALL, TX 75032 CARMONA JOEL 221 NICOLE DR ROCKWALL, TX 75032 ESPARZA JUANA 225 LYNNE DR ROCKWALL, TX 75032

MENDOZA ERICK CRUZ 226 BLANCHE DRIVE ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 229 BLANCHE DR ROCKWALL, TX 75032

MUK YAN CHING 229 VALERIE PL ROCKWALL, TX 75032

YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ 230 CHRIS DRIVE ROCKWALL, TX 75032

PEREZ FERMIN 230 LYNN DRIVE ROCKWALL, TX 75032 CONFIDENTIAL 230 LYNNE DR ROCKWALL, TX 75032

UGALDE VICENTE R 234 BLANCHE DR ROCKWALL, TX 75032 CARMONA MARTIN SALVADOR 235 LYNNE DR ROCKWALL, TX 75032 RAMIREZ MARTHA E 235 LYNNE DRIVE ROCKWALL, TX 75032

UGALDE VICENTE R 238 BLANCHE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 2418 HILLGLENN RD DALLAS, TX 75228 CARRILLO JAIME 242 CHRIS DR ROCKWALL, TX 75032

TONG VINCENT 247 BLANCHE DR ROCKWALL, TX 75032 CARMONA EVELIA 249 LYNNE DR ROCKWALL, TX 75032 MARTINEZ CARLOS ALONZO 252 CHRIS DR ROCKWALL, TX 75032

RAMIREZ MARTHA E 254 LYNNE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 259 CHRIS DR ROCKWALL, TX 75032 NAVA ANA L 262 CHRIS DR ROCKWALL, TX 75032 SALAZAR-CARMONA MIRIAM GUADALUPE 263 LYNNE DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 265 BLANCHE DR ROCKWALL, TX 75032 CITY OF ROCKWALL ATTN;MARY SMITH 266 LYNNE DR ROCKWALL, TX 75032

MARTINEZ RUTH A 267 CHRIS DR ROCKWALL, TX 75032 FERNANDEZ URBANO 273 LYNNE DR ROCKWALL, TX 75032 CHAPELA AARON JAIME 274 CHRIS DR ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE 276 LYNNE DR ROCKWALL, TX 75032 CROWDER DAVID 281 BLANCHE DR ROCKWALL, TX 75032

FERNANDEZ URBANO 283 LYNNE DR ROCKWALL, TX 75032 SLEDGE PATTI RENE 287 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE 288 LYNNE DR ROCKWALL, TX 75032

QUEVEDO OSCAR F 293 YVONNE ROCKWALL, TX 75032 GREER RICHARD & MARLENE 299 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ ANTONIO & LAURA 301 LYNNE DR ROCKWALL, TX 75032

GUEVARA JOSE 302 LYNNE DR ROCKWALL, TX 75032 VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA 304 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA 304 CHRIS DR ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY 305 BLANCHE DR ROCKWALL, TX 75032 MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
309 CHRIS DR
ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA 310 LYNNE DR ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 311 E I-30 ROCKWALL, TX 75087 BALDERAS JOSE G 312 CHRIS DR ROCKWALL, TX 75032 CARMONA JOEL 315 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 316 LYNNE DR ROCKWALL, TX 75032 STRANGE MARY JANNETTE 317 BLANCHE DR ROCKWALL, TX 75032 ROSAS ALEXANDRA 327 CHRIS DR ROCKWALL, TX 75032

PADRON CELSA 328 CHRIS DR ROCKWALL, TX 75032 UC F JOSE FAUSTO 329 BLANCHE DR ROCKWALL, TX 75032 MORENO SALVADOR 330 LYNNE DR ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND BERNARDA AGUILAR LEDEZMA 337 CHRIS DRIVE ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL 341 BLANCHE DR ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L 348 CHRIS DR ROCKWALL, TX 75032 MORENO SALVADOR 352 LYNNE DR ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 353 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE L 353 CHRIS DR ROCKWALL, TX 75032

BARNARD DANIEL 353 CHRIS DRIVE ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH 355 EVA ROCKWALL, TX 75032 GALLEGOS MAURO & MARIA 362 CHRIS DR ROCKWALL, TX 75032 LOZANO ISIDRO 362 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 365 LYNNE DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 372 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ HERMAN & APRIL 373 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 375 EVA ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 376 BLANCHE DR ROCKWALL, TX 75032

SILVA ROBERTO 377 LYNNE DR ROCKWALL, TX 75032

TOSCANO ANTONIA 378 LYNNE DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 383 EVA PL ROCKWALL, TX 75032 ESPINOZA ROBERTO & MARIA 385 LYNNE DR ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA 388 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 389 BLANCHE DR ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 390 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 391 EVA ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 400 EVA ROCKWALL, TX 75032 CONTRERAS-AYALA JORGE 400 LYNNE ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 401 EVA ROCKWALL, TX 75032 VARGAS FRANCISCO 401 LYNNE DR ROCKWALL, TX 75032 GUEVARA JOSE E 405 BLANCHE DR ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 408 BLANCHE DR ROCKWALL, TX 75032 VARGAS FRANCISCO 411 LYNNE DR ROCKWALL, TX 75032 DOMINGUEZ SALVADOR & DIANA 412 LYNNE DR ROCKWALL, TX 75032

CARRILLO OMAR ROSALES MARIA M 416 BLANCHE DR ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA 420 LYNNE DRIVE ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 422 EVA ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 463 EVA PL ROCKWALL, TX 75032

ADAMS JAMES W 485 EVA ROCKWALL, TX 75032 LORENZ SABINA AND MICHAEL 513 BASS RD ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 5245 COUNTY ROAD 2515 ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA 532 BLANCHE DRIVE ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 6938 STATE HIGHWAY 50 COMMERCE, TX 75428 LAKE POINTE BAPTIST CHURCH 701 E INTERSTATE 30 ROCKWALL, TX 75087

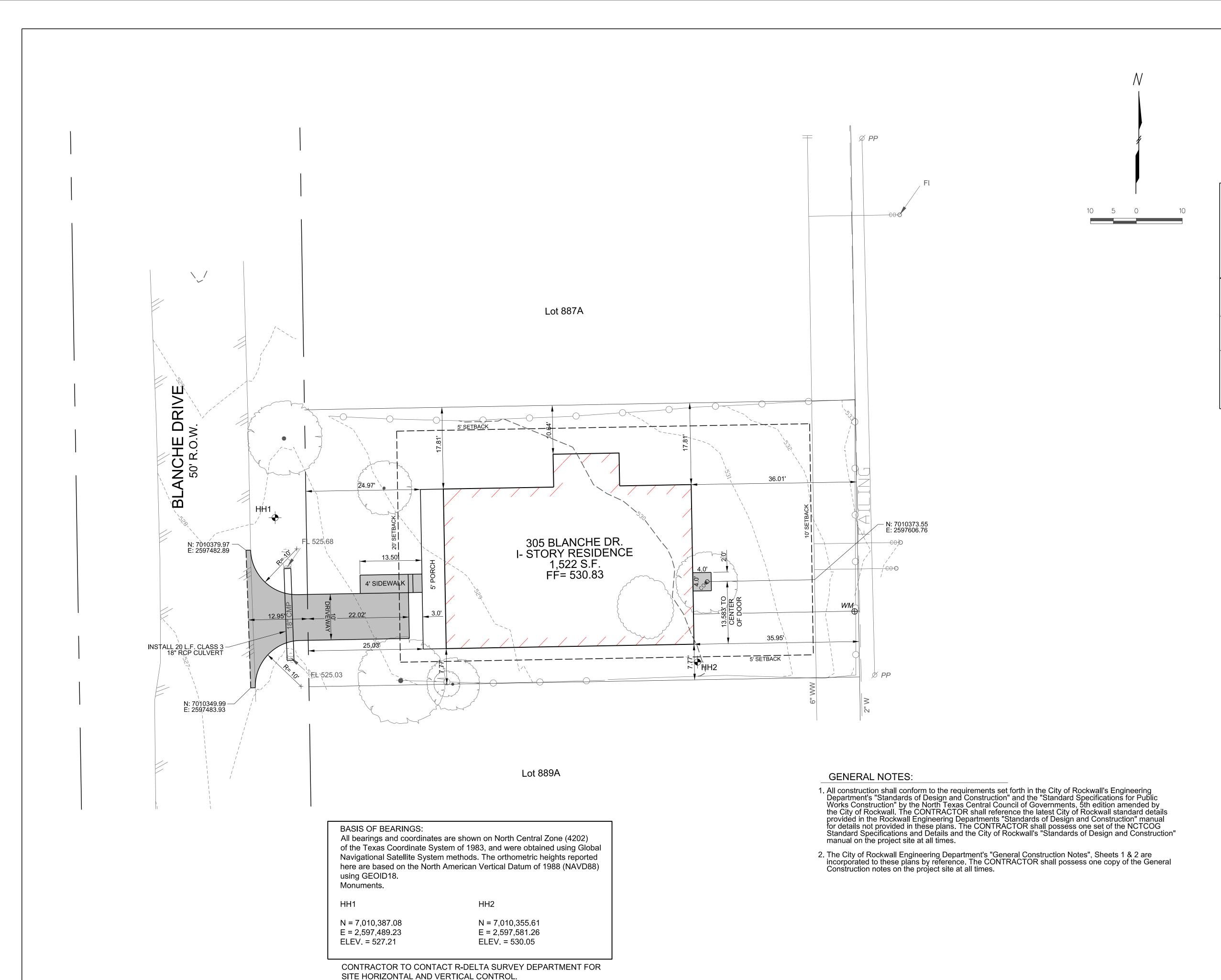
SILVA ROBERTO 8766 CR 2586 ROYSE CITY, TX 75189 MUK YAN CHING 908 S WEATHERED DR UNIT 8 RICHARDSON, TX 75080 SARABIA SILVESTRE 929 S PEORIA ST APT G21S AURORA, CO 80012

FIELDS JIMMIE PO BOX 1115 ROYSE CITY, TX 75189 ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087 YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ RT 3 BOX 1 CHRIS DR ROCKWALL, TX 75032

the state of the s	
Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision	
Please place a check mark on the appropriate line below:	
I am in favor of the request for the reasons listed below.	
☐ I am opposed to the request for the reasons listed below.	
Increases Property Values /Encourage Clean-in	D
Pave the way for sidewalks & street lights	
Our neighborhood is predominatly LATINO	
and we love it here.	
Name: Richard / Marlene Greer	
Address: 299 Chris Arive	

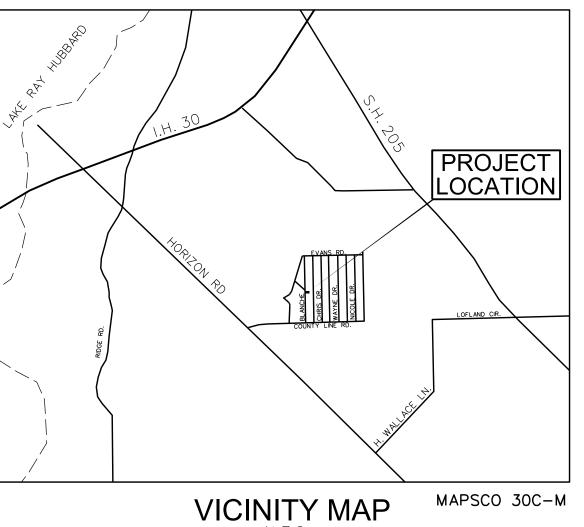
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



ZONING: PD-75 (AREA 2)

SETBACKS: FRONT - 20' REAR - 10' SIDES - 5'

MAXIMUM HEIGHT - 32' LOT COVERAGE - 30.3%

OWNER: HABITAT FOR HUMANITY CONTACT - PETER MUHL (214)704-3455



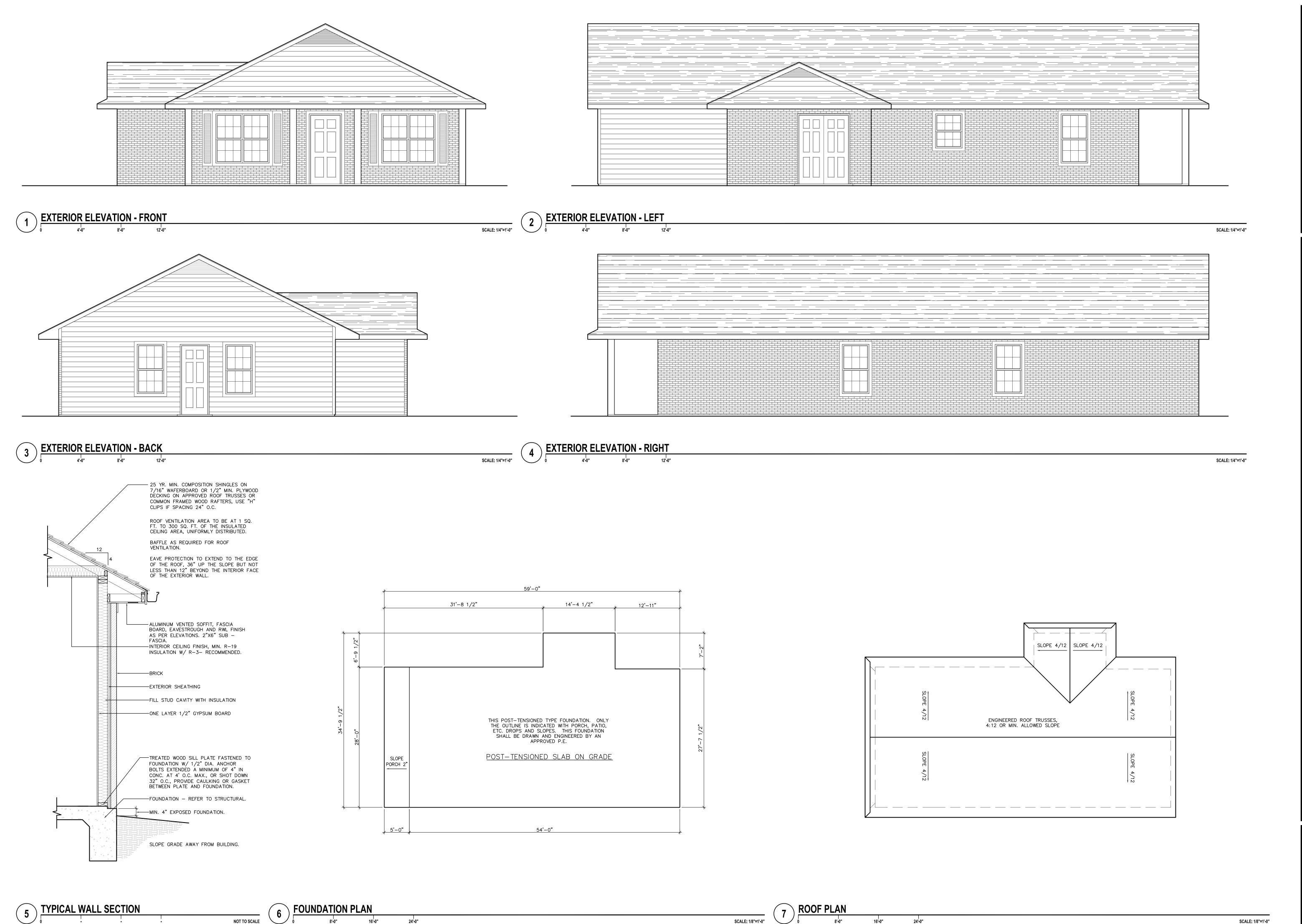
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

ENGINEERING PRACTICE ACT.		
REV 🛆	DATE	DESCRIPTION
\triangle		

SITE PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515		HABITAT FOR HUMANITY OF GREATER GARLAND, INC. 2350 CRIST RD, SUITE 700 GARLAND, TEXAS 75040 TEL. (972) 272-8530		
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:	
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	1 of 5	



Human Rockwall, Tx

for

DATE: 09-09-2021 SHEET

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
229 Blanche	N/A	N/A	N/A	N/A	N/A
247 Blanche	Modular Home	1969	1310	976	Siding
265 Blanche	Vacant	N/A	N/A	N/A	N/A
281 Blanche	Modular Home	N/A	N/A	N/A	Siding
291 Blanche	Vacant	N/A	N/A	N/A	N/A
305 Blanche	Subject Property				
317 Blanche	Vacant	N/A	N/A	N/A	N/A
329 Blanche	N/A	N/A	N/A	N/A	N/A
341 Blanche	Storage Building	2003	N/A	252	N/A
353 Blanche	Vacant	2003	N/A	252	N/A
363 Blanche	Single-Family Home	1999	1664	1110	Siding
162 Donald	Modular Home	1990	1344	528	Siding
304 Blanche	Modular Home	1986	1568	592	Siding
214 Diana	Vacant	N/A	N/A	N/A	N/A
199 Diana	Single-Family Home	1980	1568	N/A	Siding
Averages:		1990	1490.8	618	



162 Donald



199 Diana



247 Blanche



281 Blanche



304 Blanche



341 Blanche



363 Blanche

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. <u>S-2XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' ORDINANCE; PROVIDING FOR CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO **EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)** FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR Α REPEALER PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF NOVEMBER, 2021.

	Kevin Fowler, <i>Mayor</i>
ATTECT	
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: October 18, 2021	

2nd Reading: November 1, 2021

Exhibit 'A'Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition



Exhibit 'B': Residential Plot Plan

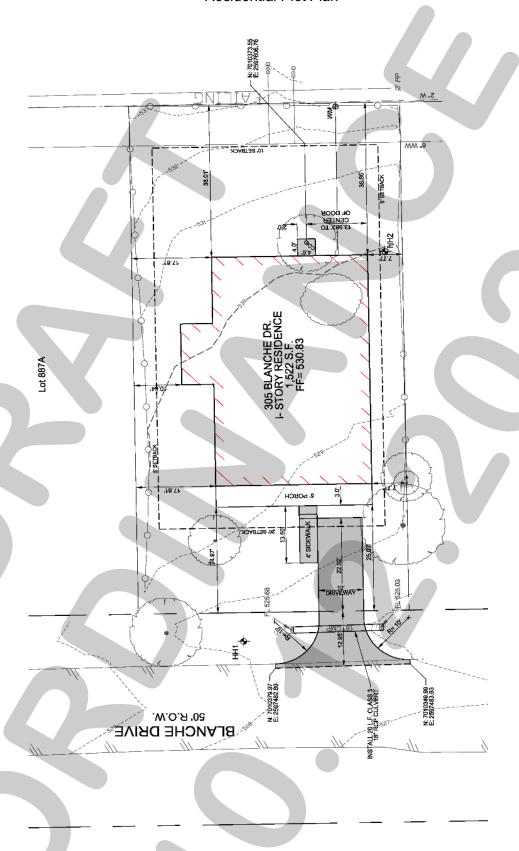
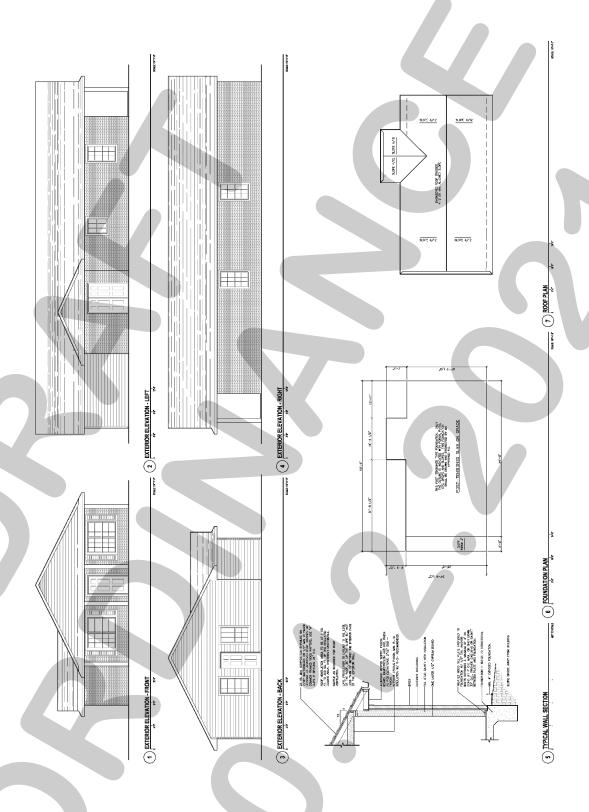


Exhibit 'C':
Building Elevations



PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: October 18, 2021

APPLICANT: Peter Muhl; Rockwall Habitat for Humanity

CASE NUMBER: Z2021-039; Specific Use Permit (SUP) for a Residential Infill for 305 Blanche Drive

SUMMARY

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 888-A of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- along with the rest of the Lake Rockwall Estates Subdivision -- was annexed into the City of Rockwall by Ordinance No. 09-07. At the time of annexation, one (1) manufactured homes were situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [Ordinance No. 09-37] for Single-Family 7 (SF-7) District land uses. Based on aerial imagery the manufactured home that was situated on the subject property at the time of annexation was demolished between August 2012 and October 2013. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with Ordinance No. 16-01, which made minor changes to the Consideration of a Special Request section of the ordinance.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 305 Blanche Drive. The land uses adjacent to the subject property are as follows:

North:

Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2* (*i.e. residential, two* [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South:

Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Lynne Drive, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

<u>West</u>: Directly west of the subject property is Blanche Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Blanche Drive, Diana Drive, and Donald Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive, Diana Drive, and Donald Drive	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Blanche Drive are oriented toward Blanche Drive.	The front elevation of the home will face onto Blanche Drive.
Year Built	1975-2000	N/A
Building SF on Property	672 SF - 1,808 SF	1,522 SF
Building Architecture	Various (Majority Mobile/Manufactured Homes)	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated Between 15-Feet and 20-Feet	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	36.01-Feet
Building Materials	Hardie Board, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of Hardie Board Siding and Brick
Paint and Color	Yellow, Tan, Brown, White, Green, and Teal	Undefined by the Applicant
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle on Waferboard or Plywood decking
Driveways/Garages	Driveways are all in the front and visible from Blanche Drive; however, some are behind front yard fences. None of the homes have enclosed garages.	The proposed home does not include a garage/carport.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is not proposing a garage with the home. The addition of a garage or carport must meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). With the exception of not having a garage, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Blanche Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On September 23, 2021, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request and one (1) notice in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

CONDITIONS OF APPROVAL

On October 12, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY		
PLANNING & ZONING CASE NO.	Z2021-039	
NOTE: THE ADDITION IS NOT	CONCIDENCE ACCEPTED BY T	

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

	PLEASE CHECK THE AR	PPROPRIATE BOX BELOW TO	INDICATE THE TYPE OF DEVE	ELOPMENT REQUEST (SELECT	ONLY ONE BOX1
--	---------------------	-------------------------	---------------------------	--------------------------	---------------

PLATTING APPLICATION FEES: ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)		ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST (\$100.00)				
	ATION FEES: 0.00 + \$20.00 ACRE) ¹ PLAN/ELEVATIONS/LANDSCAPING	G PLAN (\$100.00)		E PER ACRE AMO		EXACT ACREAGE WHEN ESTS ON LESS THAN ONE
DDODEDTY INCO	RMATION [PLEASE PRINT]					
	305 Blanche	DY				
SUBDIVISION			1 L 2221	LOT	2004	BLOCK
		LE EST Z	- LOT OUDA	LOT	888 A	BLOCK
GENERAL LOCATION						
	AN AND PLATTING INFO	CONTRACTOR OF THE PARTY OF THE				
CURRENT ZONING	5 0 1 0011111	Contract to the contract of th	CURRENT USE	Empty		
PROPOSED ZONING	Single Family	Home	PROPOSED USE	Hom	e	
ACREAGE	.1650	LOTS [CURRENT]	1	LOTS	[PROPOSED]	1
REGARD TO ITS A	PLATS: BY CHECKING THIS BOX YO APPROVAL PROCESS, AND FAILURE T ENIAL OF YOUR CASE.					
OWNER/APPLICA	ANT/AGENT INFORMATIO	N [PLEASE PRINT/CHE	CK THE PRIMARY CONTA	CT/ORIGINAL SIG	SNATURES ARE F	REQUIRED]
▼ OWNER	A Rockwall Habi	tat for Hui	man APPLICANT			
	Peter Muhi		CONTACT PERSON			
ADDRESS	1101 Ridge Rd#	4	ADDRESS			
CITY, STATE & ZIP	Rockwall, TX 75	io87	CITY, STATE & ZIP			
PHONE	214-704-3455		PHONE			
E-MAIL	peter@northmesqui	teplumbing	E-MAIL			
NOTARY VERIFICE BEFORE ME, THE UNDER		ERSONALLY APPEARED	sally Mu	hL	[OWNER]	THE UNDERSIGNED, WHO
\$ 215:00 SENTENTION CONTAINE		THIS APPLICATION, HAS S APPLICATION, I AGRE PUBLIC. THE CITY IS	S BEEN PAID TO THE CITY OF E THAT THE CITY OF ROCK ALSO AUTHORIZED AND P	FROCKWALL ON WALL (I.E. "CITY") ERMITTED TO RI	THIS THE IS AUTHORIZED / EPRODUCE ANY (AND PERMITTED TO PROVIDE COPYRIGHTED INFORMATION
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE	54 DAY OF SUD	tember 2021		STAR! PUR JEAN	INE RENEE FITZGERALD
	OWNER'S SIGNATURE S	ely mi	al VP		My WY	Commission Expires
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	JEANNE NOTAL	RENEE FIAZGERALD y ID #7398728	MY COMN	MISSION EXPIRES	10 12 00 WON 17 1 2
DEVELOPME	ENT APPLICATION & CITY OF ROCKS A	LE 385 BUTH GOLD	The state of the s	X 75087 • [P] (S	772) 771-7745 • [1 (972) 771-7727

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday, October 12, 2021 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday, October 18, 2021 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by <u>Monday, October 18, 2021 at 4:00 PM</u> to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

TO GO DIRECTLY

TO THE WEBSITE

PLEASE RETURN THE BELOW FORM

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Fam not confident that RHFH will enforce their own standards for the property listed above.

Name

David Crowder

Address:

145 Bethe 1 Rd Greenville Tx 75402

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

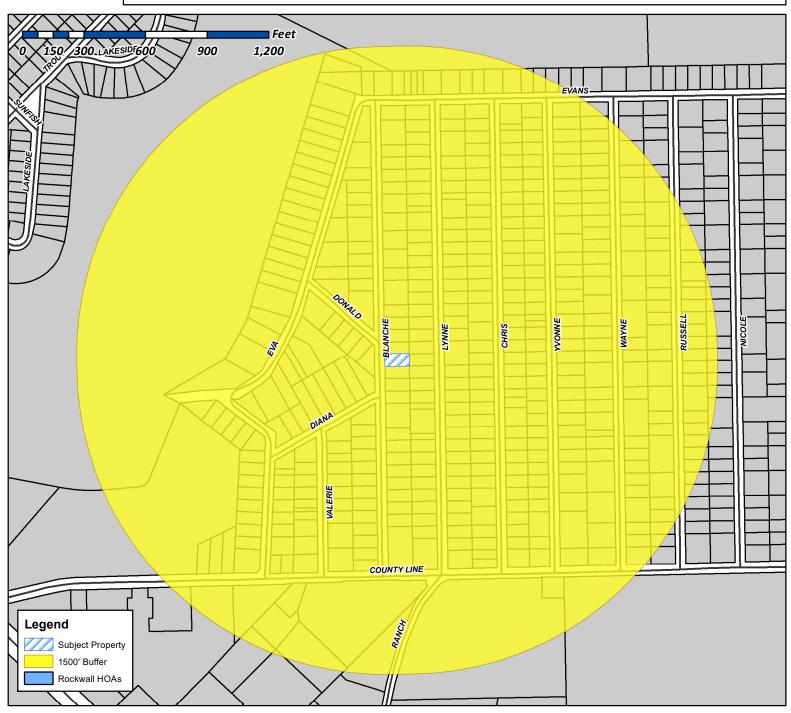




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

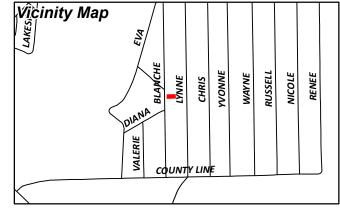
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

For Questions on this Case Call (972) 771-7745

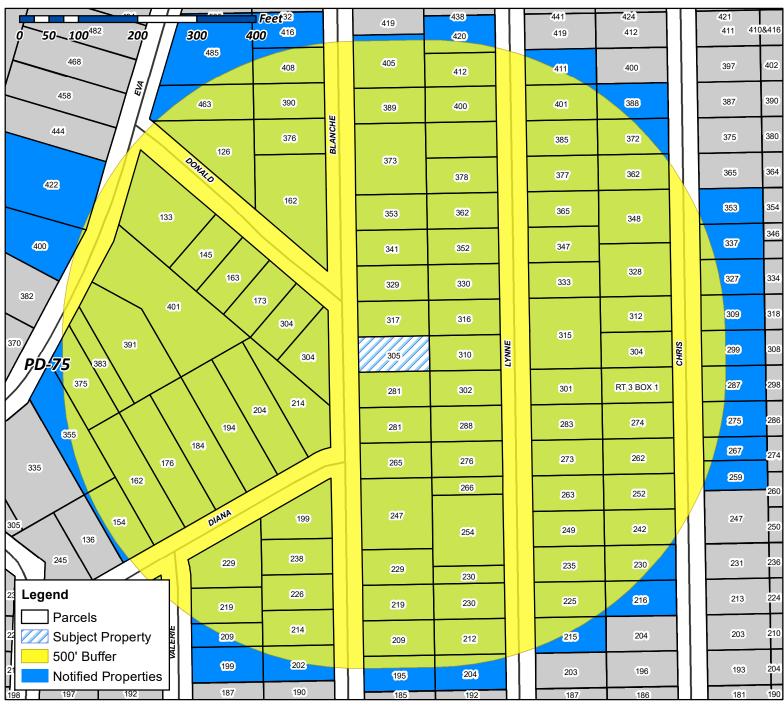




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2021-039

Case Name: SUP for Residential Infill

Case Type: Zoning

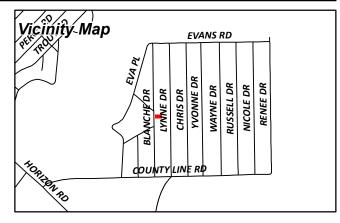
Zoning: Planned Development District 75

(PD-75)

Case Address: 305 Blanche Drive

Date Created: 9/16/2021

For Questions on this Case Call (972) 771-7745



SALAS HECTOR JABIER & CAROLINA ORTIZ 1000 W YELLOWJACKET LANE APT 2507 ROCKWALL, TX 75087 MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 11540 SINCLAIR AVENUE DALLAS, TX 75218

NAVA ANA L 1167 SMITH ACRES DR ROYSE CITY, TX 75189

ESCOBAR SERGIO & ANABEL 118 ALTHEA RD ROCKWALL, TX 75032 FERNANDEZ URBANO ALVARADOO & SON ARMADO FERNANDEZ 1235 VZ COUNTY ROAD 3425 WILLS POINT, TX 75169

ADAMS JAMES W 126 DONALD DR ROCKWALL, TX 75032

MORRIS AUBREY KEITH 133 DONALD DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 1414 BUFFALO WOODS CT KATY, TX 77494

CROWDER DAVID 145 BETHEL RD GREENVILLE, TX 75402

MARTINEZ PERLA 145 DONALD DR ROCKWALL, TX 75087 ESPARZA JUANA 15047 SE 152ND DR CLACKAMAS, OR 97015

ROMAN JAIME A & MA GUADALUPE SANDOVAL 154 DIANA DR ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 162 DIANA ROCKWALL, TX 75032 GRAY DOROTHY M 162 DONALD DR ROCKWALL, TX 75032 MORENO FABIOLA 163 DONALD ROCKWALL, TX 75032

LOZANO ISIDRO 1705 HIGH MEADOW DR GARLAND, TX 75043 FIELDS JIMMIE 173 DONALD DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 176 DIANA ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 184 LILLIAN DR ROCKWALL, TX 75032 SARABIA SILVESTRE 194 DIANA ROCKWALL, TX 75032 GARCIA JOSE 195 BLANCHE DR ROCKWALL, TX 75032

MELENDEZ HOPE 199 DIANA DR ROCKWALL, TX 75032 CANADY JERRY ANN 199 VALERIE PL ROCKWALL, TX 75032 ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

BALDERAS JOSE G 2027 MIDLAKE LN ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

BODEN ERIC (MR) 204 DIANA ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D 204 LYNNE DR ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 208 SUMMIT RIDGE DR ROCKWALL, TX 75087 URBINA ARACELI C 209 BLANCHE DR ROCKWALL, TX 75032 CANADY JERRY ANN 209 VALERIE PL ROCKWALL, TX 75032 CRUZ MARIA D AND IGNACIO D 212 LYNNE DR ROCKWALL, TX 75032 RICO RUIZ CARLOS AND MARIA 212 VALERIE PL ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ 214 BLANCHE DR ROCKWALL, TX 75032 BODEN ERIC (MR) 214 DIANA ROCKWALL, TX 75032 WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVISWILSON
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F 216 CHRIS DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 218 LAKESIDE DR ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 219 BLANCHE DR ROCKWALL, TX 75032

RUIZ JOSE C 219 VALERIE PL ROCKWALL, TX 75032 CARMONA JOEL 221 NICOLE DR ROCKWALL, TX 75032 ESPARZA JUANA 225 LYNNE DR ROCKWALL, TX 75032

MENDOZA ERICK CRUZ 226 BLANCHE DRIVE ROCKWALL, TX 75032 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 229 BLANCHE DR ROCKWALL, TX 75032

MUK YAN CHING 229 VALERIE PL ROCKWALL, TX 75032

YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ 230 CHRIS DRIVE ROCKWALL, TX 75032

PEREZ FERMIN 230 LYNN DRIVE ROCKWALL, TX 75032 CONFIDENTIAL 230 LYNNE DR ROCKWALL, TX 75032

UGALDE VICENTE R 234 BLANCHE DR ROCKWALL, TX 75032 CARMONA MARTIN SALVADOR 235 LYNNE DR ROCKWALL, TX 75032 RAMIREZ MARTHA E 235 LYNNE DRIVE ROCKWALL, TX 75032

UGALDE VICENTE R 238 BLANCHE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 2418 HILLGLENN RD DALLAS, TX 75228 CARRILLO JAIME 242 CHRIS DR ROCKWALL, TX 75032

TONG VINCENT 247 BLANCHE DR ROCKWALL, TX 75032 CARMONA EVELIA 249 LYNNE DR ROCKWALL, TX 75032 MARTINEZ CARLOS ALONZO 252 CHRIS DR ROCKWALL, TX 75032

RAMIREZ MARTHA E 254 LYNNE DR ROCKWALL, TX 75032 MARTINEZ RUTH A 259 CHRIS DR ROCKWALL, TX 75032 NAVA ANA L 262 CHRIS DR ROCKWALL, TX 75032 SALAZAR-CARMONA MIRIAM GUADALUPE 263 LYNNE DR ROCKWALL, TX 75032 TONG VINCENT HIEU AND TIFFANY PHU 265 BLANCHE DR ROCKWALL, TX 75032 CITY OF ROCKWALL ATTN;MARY SMITH 266 LYNNE DR ROCKWALL, TX 75032

MARTINEZ RUTH A 267 CHRIS DR ROCKWALL, TX 75032 FERNANDEZ URBANO 273 LYNNE DR ROCKWALL, TX 75032 CHAPELA AARON JAIME 274 CHRIS DR ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO MORENO OSORNIA 275 CHRIS DR ROCKWALL, TX 75032

GUEVARA JOSE 276 LYNNE DR ROCKWALL, TX 75032

CROWDER DAVID 281 BLANCHE DR ROCKWALL, TX 75032

FERNANDEZ URBANO 283 LYNNE DR ROCKWALL, TX 75032 SLEDGE PATTI RENE 287 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE 288 LYNNE DR ROCKWALL, TX 75032

QUEVEDO OSCAR F 293 YVONNE ROCKWALL, TX 75032 GREER RICHARD & MARLENE 299 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ ANTONIO & LAURA 301 LYNNE DR ROCKWALL, TX 75032

GUEVARA JOSE 302 LYNNE DR ROCKWALL, TX 75032 VAZQUEZ JUAN MIGUEL & MARTHA PATRICIA 304 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA 304 CHRIS DR ROCKWALL, TX 75032

ROCKWALL HABITAT FOR HUMANITY 305 BLANCHE DR ROCKWALL, TX 75032 MORENO LUCINA ALONSO DE AND RICARDO MORENO OSORNIA 309 CHRIS DR ROCKWALL, TX 75032

BARRON INOCENCIO & MARTHA 310 LYNNE DR ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 311 E I-30 ROCKWALL, TX 75087 BALDERAS JOSE G 312 CHRIS DR ROCKWALL, TX 75032 CARMONA JOEL 315 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 316 LYNNE DR ROCKWALL, TX 75032 STRANGE MARY JANNETTE 317 BLANCHE DR ROCKWALL, TX 75032 ROSAS ALEXANDRA 327 CHRIS DR ROCKWALL, TX 75032

PADRON CELSA 328 CHRIS DR ROCKWALL, TX 75032 UC F JOSE FAUSTO 329 BLANCHE DR ROCKWALL, TX 75032 MORENO SALVADOR 330 LYNNE DR ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND BERNARDA AGUILAR LEDEZMA 337 CHRIS DRIVE ROCKWALL, TX 75032

ESCOBAR SERGIO & ANABEL 341 BLANCHE DR ROCKWALL, TX 75032

DIAZ JUAN AND ANA
347 LYNN DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE L 348 CHRIS DR ROCKWALL, TX 75032 MORENO SALVADOR 352 LYNNE DR ROCKWALL, TX 75032

MARTINEZ FLORENTINO TREJO AND MARIA DEL ROCIO RUBIO DE TREJO 353 BLANCHE DR ROCKWALL, TX 75032

CONTRERAS JOSE L 353 CHRIS DR ROCKWALL, TX 75032

BARNARD DANIEL 353 CHRIS DRIVE ROCKWALL, TX 75032

LAKEPOINTE BAPTIST CHURCH 355 EVA ROCKWALL, TX 75032 GALLEGOS MAURO & MARIA 362 CHRIS DR ROCKWALL, TX 75032 LOZANO ISIDRO 362 LYNNE DR ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E 365 LYNNE DR ROCKWALL, TX 75032 MEJIA JOEL & EMMA HERRERA & JOEL MEJIA JR 372 CHRIS DR ROCKWALL, TX 75032 RODRIGUEZ HERMAN & APRIL 373 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 375 EVA ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 376 BLANCHE DR ROCKWALL, TX 75032

SILVA ROBERTO 377 LYNNE DR ROCKWALL, TX 75032

TOSCANO ANTONIA 378 LYNNE DR ROCKWALL, TX 75032 LAKE POINTE BAPTIST CHURCH 383 EVA PL ROCKWALL, TX 75032 ESPINOZA ROBERTO & MARIA 385 LYNNE DR ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS & CRISTINA 388 CHRIS DR ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 389 BLANCHE DR ROCKWALL, TX 75032 RAMIREZ RIGOBERTO AND MARGARITA ESCOBAR 390 BLANCHE DR ROCKWALL, TX 75032

LAKE POINTE BAPTIST CHURCH 391 EVA ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 400 EVA ROCKWALL, TX 75032 CONTRERAS-AYALA JORGE 400 LYNNE ROCKWALL, TX 75032

NEXTEL PARTS & SUPPLIES INC 401 EVA ROCKWALL, TX 75032 VARGAS FRANCISCO 401 LYNNE DR ROCKWALL, TX 75032 GUEVARA JOSE E 405 BLANCHE DR ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 408 BLANCHE DR ROCKWALL, TX 75032 VARGAS FRANCISCO 411 LYNNE DR ROCKWALL, TX 75032 DOMINGUEZ SALVADOR & DIANA 412 LYNNE DR ROCKWALL, TX 75032

CARRILLO OMAR ROSALES MARIA M 416 BLANCHE DR ROCKWALL, TX 75032

DOMINGUEZ SALVADOR & DIANA 420 LYNNE DRIVE ROCKWALL, TX 75032 PAY LESS 4 MORE LLC 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 4219 ASHMONT CT DALLAS, TX 75287

RAOFPUR DAVID 422 EVA ROCKWALL, TX 75032 ADAMS JAMES & DEBBIE 463 EVA PL ROCKWALL, TX 75032

ADAMS JAMES W 485 EVA ROCKWALL, TX 75032 LORENZ SABINA AND MICHAEL 513 BASS RD ROCKWALL, TX 75032 GONZALEZ JOSE & LAUREN 5245 COUNTY ROAD 2515 ROYSE CITY, TX 75189

CARMONA-SANCHEZ CARLOS & CRISTINA 532 BLANCHE DRIVE ROCKWALL, TX 75032 GUEVARA JOSE E & MARIS 6938 STATE HIGHWAY 50 COMMERCE, TX 75428 LAKE POINTE BAPTIST CHURCH 701 E INTERSTATE 30 ROCKWALL, TX 75087

SILVA ROBERTO 8766 CR 2586 ROYSE CITY, TX 75189 MUK YAN CHING 908 S WEATHERED DR UNIT 8 RICHARDSON, TX 75080 SARABIA SILVESTRE 929 S PEORIA ST APT G21S AURORA, CO 80012

FIELDS JIMMIE PO BOX 1115 ROYSE CITY, TX 75189 ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087 YANEZ MARIA TERESA AND MARIA DEL ROSARIO YANEZ RT 3 BOX 1 CHRIS DR ROCKWALL, TX 75032 Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on <u>Tuesday</u>. <u>October</u> <u>12</u>, <u>2021 at 6:00 PM</u>, and the City Council will hold a public hearing on <u>Monday</u>, <u>October 18</u>, <u>2021 at 6:00 PM</u>. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez

Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by <u>Monday, October 18, 2021 at 4:00 PM</u> to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP

Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

TO GO DIRECTLY

TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT. https://sites.google.com/site/rockwaliplanning/development-cases
PLEASE RETURN THE BELOW FORM
Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision
Please place a check mark on the appropriate line below:
☐ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

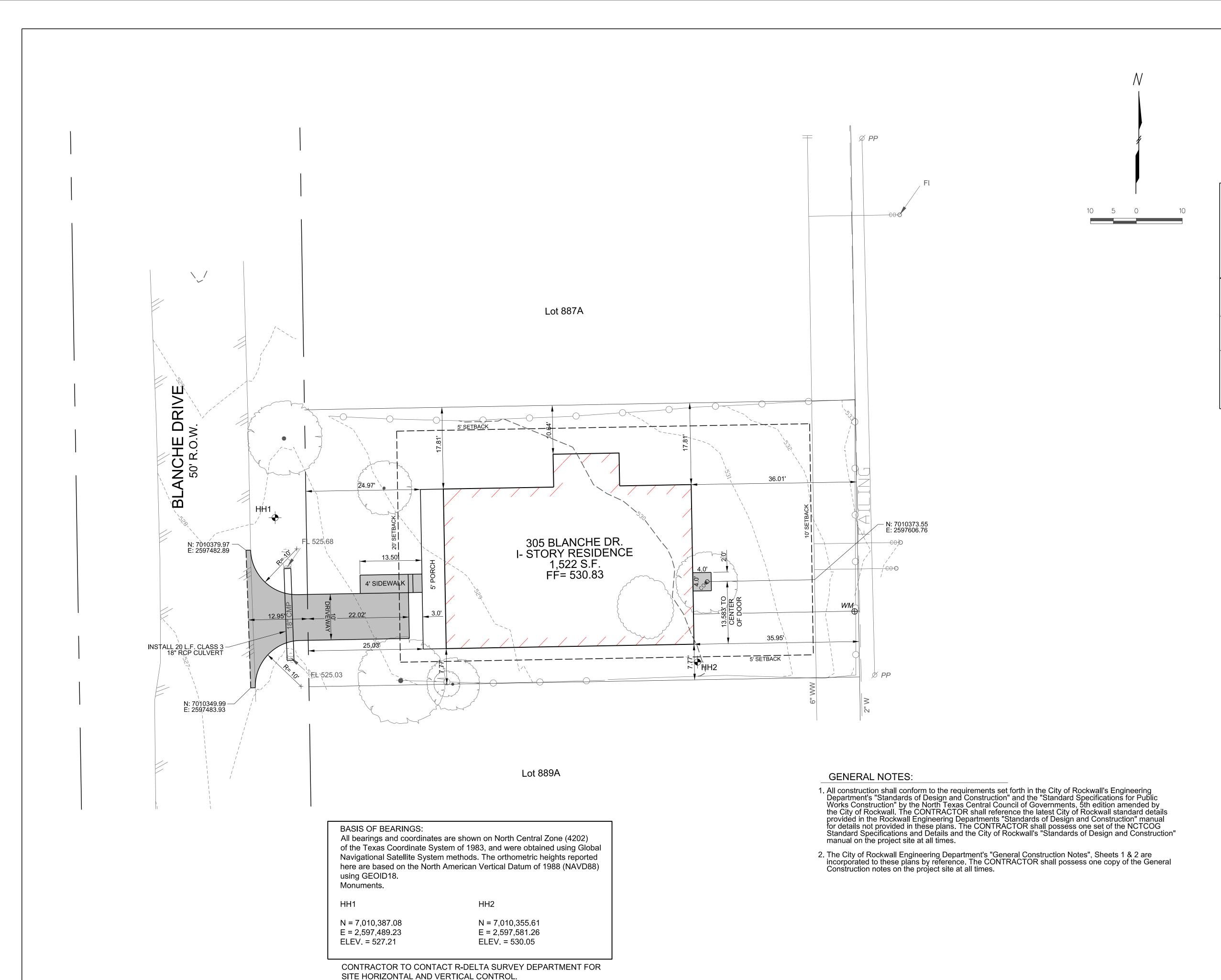
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

and the second s	
Case No. Z2021-039: SUP for Residential Infill in an Established Subdivision	
Please place a check mark on the appropriate line below:	
I am in favor of the request for the reasons listed below.	
☐ I am opposed to the request for the reasons listed below.	
Increases Property Values /Encourage Clean-in	D
Pave the way for sidewalks & street lights	
Our neighborhood is predominatly LATINO	
and we love it here.	
Name: Richard / Marlene Greer	
Address: 299 Chris Arive	

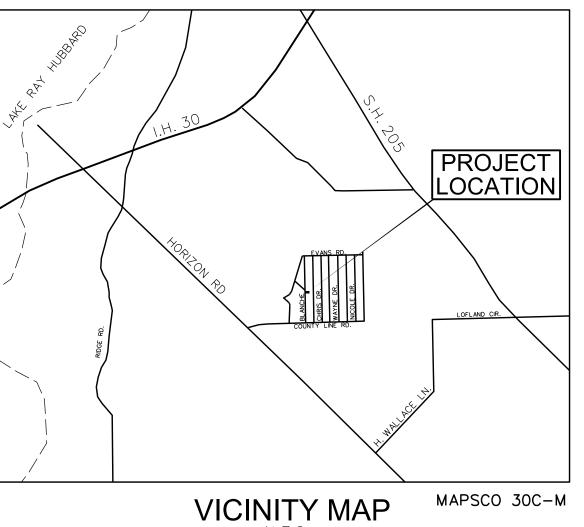
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTE:

CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (SHOWN ON PLANS OR NOT) PRIOR TO CONSTRUCTION. IF FIELD CONDITION'S DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. R-DELTA ENGINEERS, INC. WILL NOT BE RESPONSIBLE FOR ANY WORK BY THE CONTRACTOR NEGLECTING TO LOCATE THESE UTILITIES.



ZONING: PD-75 (AREA 2)

SETBACKS: FRONT - 20' REAR - 10' SIDES - 5'

MAXIMUM HEIGHT - 32' LOT COVERAGE - 30.3%

OWNER: HABITAT FOR HUMANITY CONTACT - PETER MUHL (214)704-3455



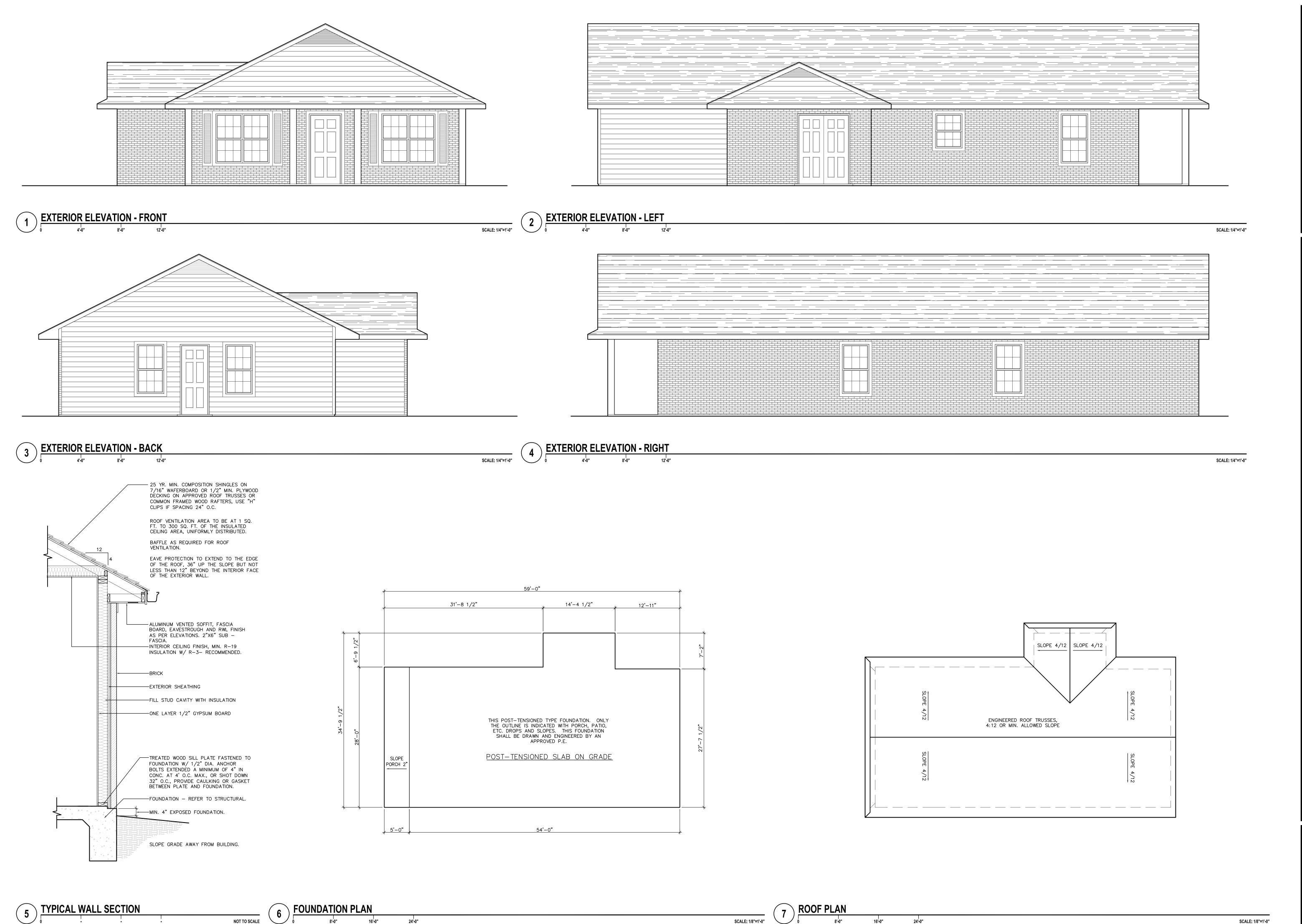
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY DAVID B. PORTER, P.E. 69825 ON JUNE 10, 2021. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT

ENGINEERING PRACTICE ACT.				
REV 🛆	DATE	DESCRIPTION		
\triangle				

SITE PLAN

305 BLANCHE DRIVE LOT 888A ROCKWALL LAKE ESTATES #2 ROCKWALL, TEXAS

rdel ENGINE	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515	HABITAT FOR HI OF GREATER GARLAI 2350 CRIST SUITE 70 GARLAND, TEXA TEL. (972) 272	ND, INC. RD, O S 75040
DESIGN: DBP	CHECK: DBP	SCALE: AS SHOWN	SHEET:
DRAWN: MDP	DATE: JUNE 2021	PROJECT#: 2915-21	1 of 5



Human Rockwall, Tx

for

DATE: 09-09-2021 SHEET

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
229 Blanche	N/A	N/A	N/A	N/A	N/A
247 Blanche	Modular Home	1969	1310	976	Siding
265 Blanche	Vacant	N/A	N/A	N/A	N/A
281 Blanche	Modular Home	N/A	N/A	N/A	Siding
291 Blanche	Vacant	N/A	N/A	N/A	N/A
305 Blanche	Subject Property				
317 Blanche	Vacant	N/A	N/A	N/A	N/A
329 Blanche	N/A	N/A	N/A	N/A	N/A
341 Blanche	Storage Building	2003	N/A	252	N/A
353 Blanche	Vacant	2003	N/A	252	N/A
363 Blanche	Single-Family Home	1999	1664	1110	Siding
162 Donald	Modular Home	1990	1344	528	Siding
304 Blanche	Modular Home	1986	1568	592	Siding
214 Diana	Vacant	N/A	N/A	N/A	N/A
199 Diana	Single-Family Home	1980	1568	N/A	Siding
Averages:		1990	1490.8	618	



162 Donald



199 Diana



247 Blanche



281 Blanche



304 Blanche



341 Blanche



363 Blanche

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. <u>S-2XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, **AMENDING** THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' ORDINANCE; PROVIDING FOR CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO **EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)** FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR Α REPEALER PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF NOVEMBER, 2021.

	Kevin Fowler, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	X

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A' Location Map and Survey

Address: 305 Blanche Drive

Legal Description: Lot 888-A, Rockwall Lake Estates #2 Addition

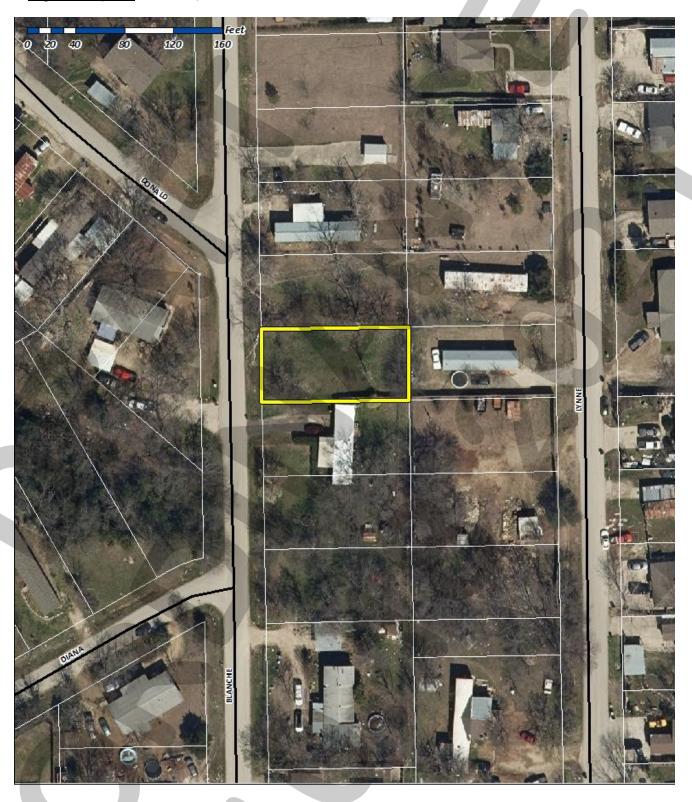


Exhibit 'B': Residential Plot Plan

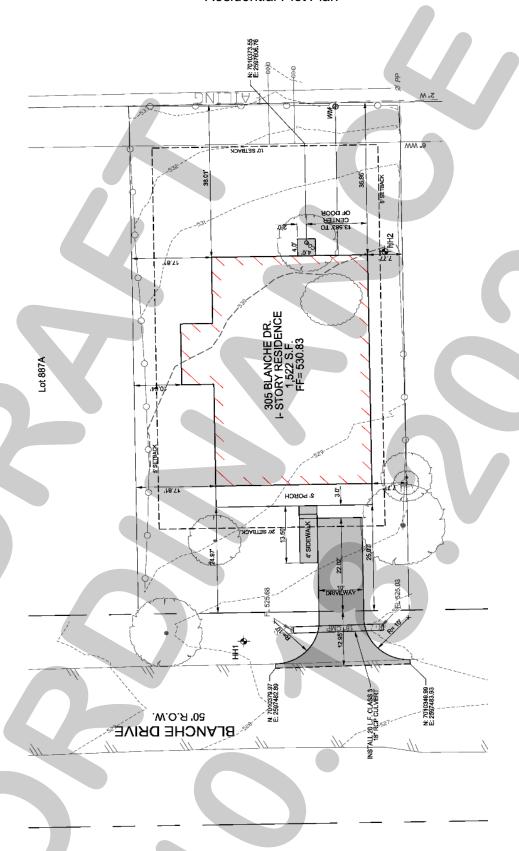
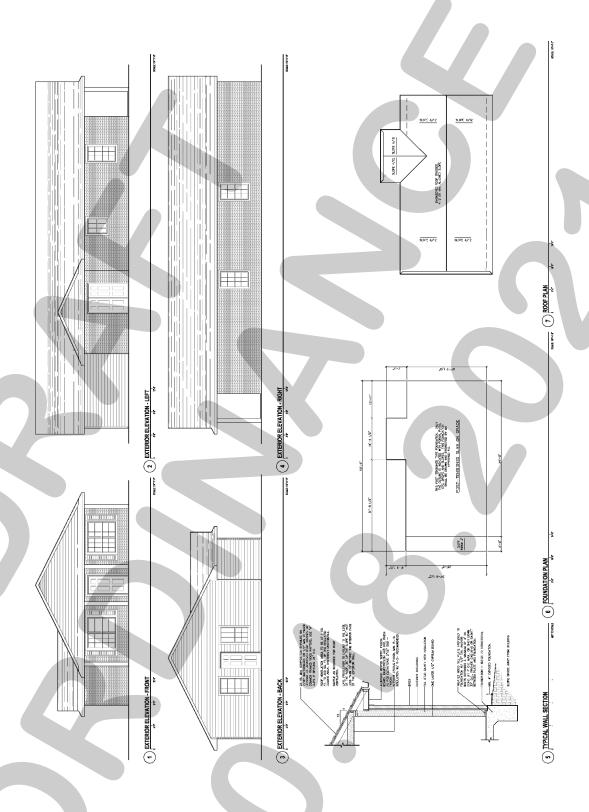


Exhibit 'C':
Building Elevations



CITY OF ROCKWALL

ORDINANCE NO. 21-51

SPECIFIC USE PERMIT NO. S-259

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A. ROCKWALL LAKE ESTATES #2 ADDITION. CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter Muhl for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 888-A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit* 'B' of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- **SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.
- **SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.
- **SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.
- **SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF NOVEMBER, 2021.

Kevin Fowler, Mayor

A CHARLESTER STATE OF THE STATE

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J/Garza, City Attorney

1st Reading: October 18, 2021

2nd Reading: November 1, 2021

Exhibit 'A' Location Map and Survey

<u>Address:</u> 305 Blanche Drive <u>Legal Description:</u> Lot 888-A, Rockwall Lake Estates #2 Addition



Exhibit 'B': Residential Plot Plan

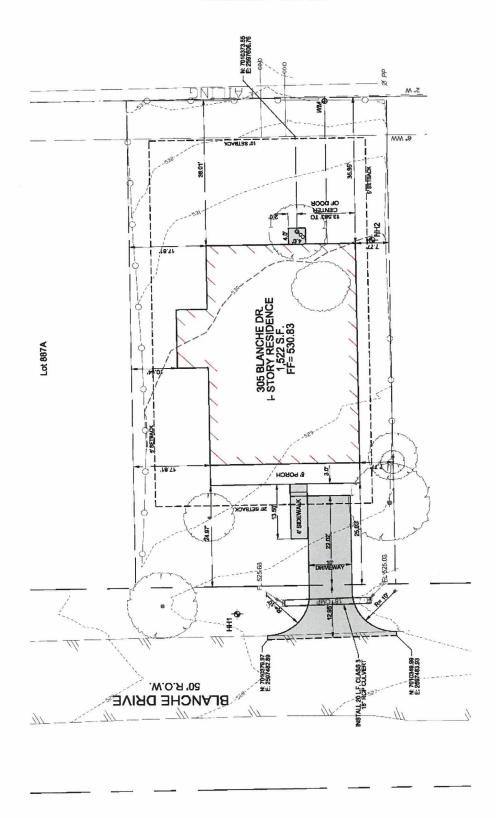
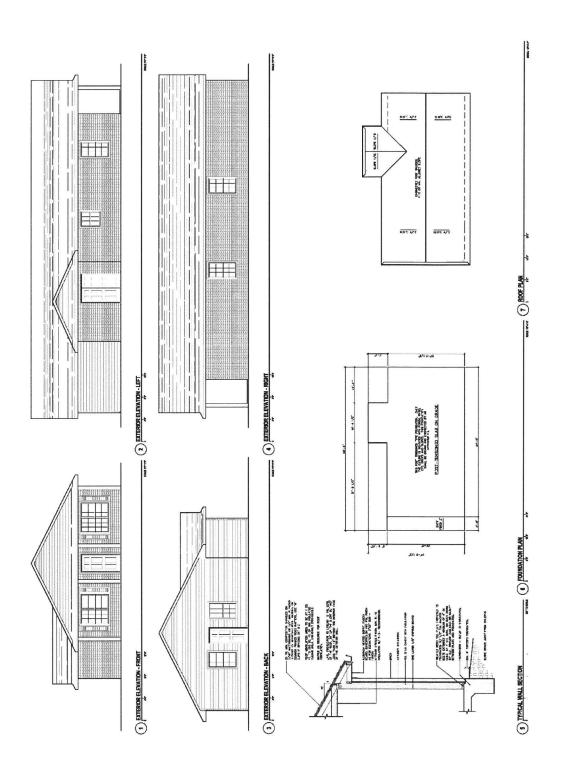


Exhibit 'C':
Building Elevations





November 2, 2021

TO:

Peter Muhi

1101 Ridge Road, #4 Rockwall, TX 75087

FROM:

Angelica Gamez

City of Rockwall Planning and Zoning Department

385 S. Goliad Street Rockwall, TX 75087

SUBJECT:

Z2021-039; Specific Use Permit (SUP) for 305 Blanche

Mr. Muhl:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on November 1, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On October 12, 2021, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Deckard absent.

City Council

On November 1, 2021, the City Council approved a motion to approve the specific use permit with the conditions of approval by a vote of 7-0.

Included with this letter is a copy of Ordinance No. 21-51, S-259, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-6438.

Sincerely

Angelica Gamez

Planning and Zoning Coordinator