



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 22021-029 P&Z DATE \_\_\_\_\_ CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECEIPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____
_____
_____
_____
_____
_____
ZONING MAP UPDATED _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT** (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION** [PLEASE PRINT]

ADDRESS

104 BELLEVUE CT

SUBDIVISION

CHANDLER LAUNDRY

LOT

28

BLOCK

A

GENERAL LOCATION

**ZONING, SITE PLAN AND PLATTING INFORMATION** [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CAVENDISH HOMES

CONTACT PERSON

CONTACT PERSON

ED CAVENDISH

ADDRESS

ADDRESS

1017 NATIVE TRL

CITY, STATE & ZIP

CITY, STATE & ZIP

HEATH TX 75032

PHONE

PHONE

214-202-4667

E-MAIL

E-MAIL

EDCAVENDISH@CCHOMES.NET

**NOTARY VERIFICATION** [REQUIRED]

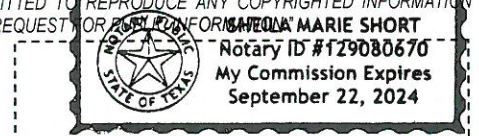
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ed Cavendish [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR SUCH INFORMATION."

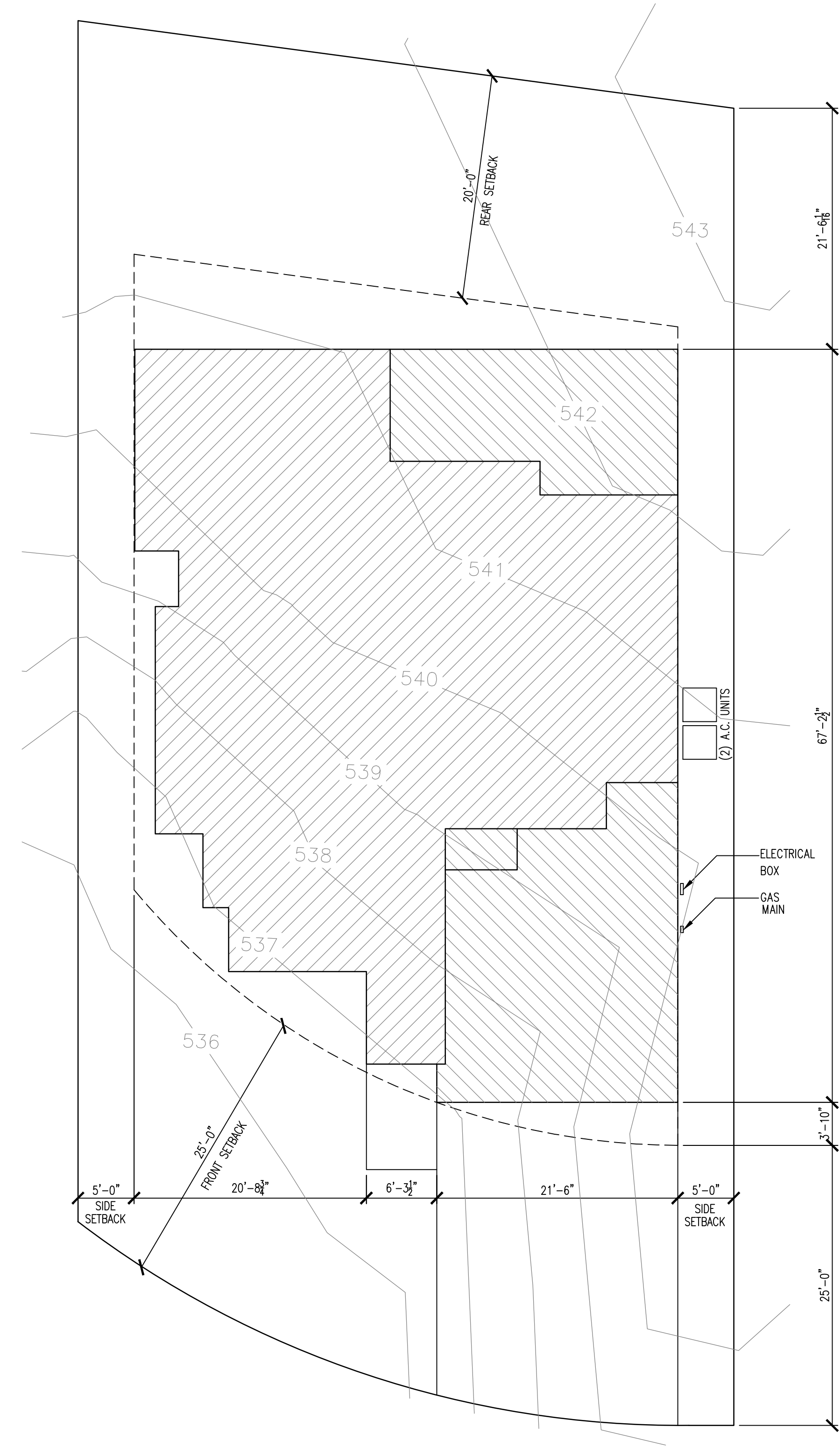
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2021

OWNER'S SIGNATURE

*Ed Cavendish*  
*Shale Marie Short*



MY COMMISSION EXPIRES 9/22/2024



**SLAB PROFILE ON SITE PLAN**  
SCALE: 1/8"=1'-0"

- NOTES:
1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. ALLEN GUSTAVSON IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.
  2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
  3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
  4. LOT COVERAGE CALCULATIONS:  
LOT SIZE: 6797 SQUARE FEET  
COVERAGE: 2850 SQUARE FEET (INCLUDES ONLY SLAB COVERAGE)  
TOTAL ROOF COVERAGE OF LOT IS 41.93%

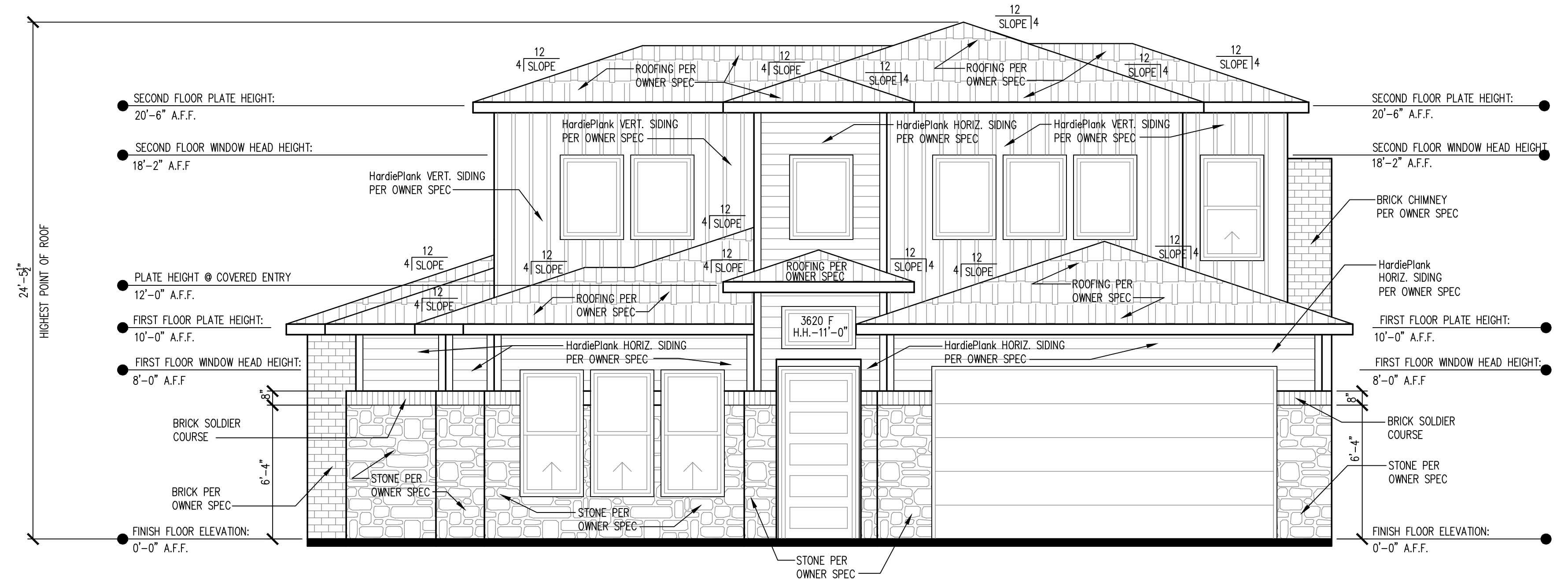
**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

PROJECT  
**LOT #21**  
HEATH GOLF & YACHT CLUB  
HEATH, TEXAS

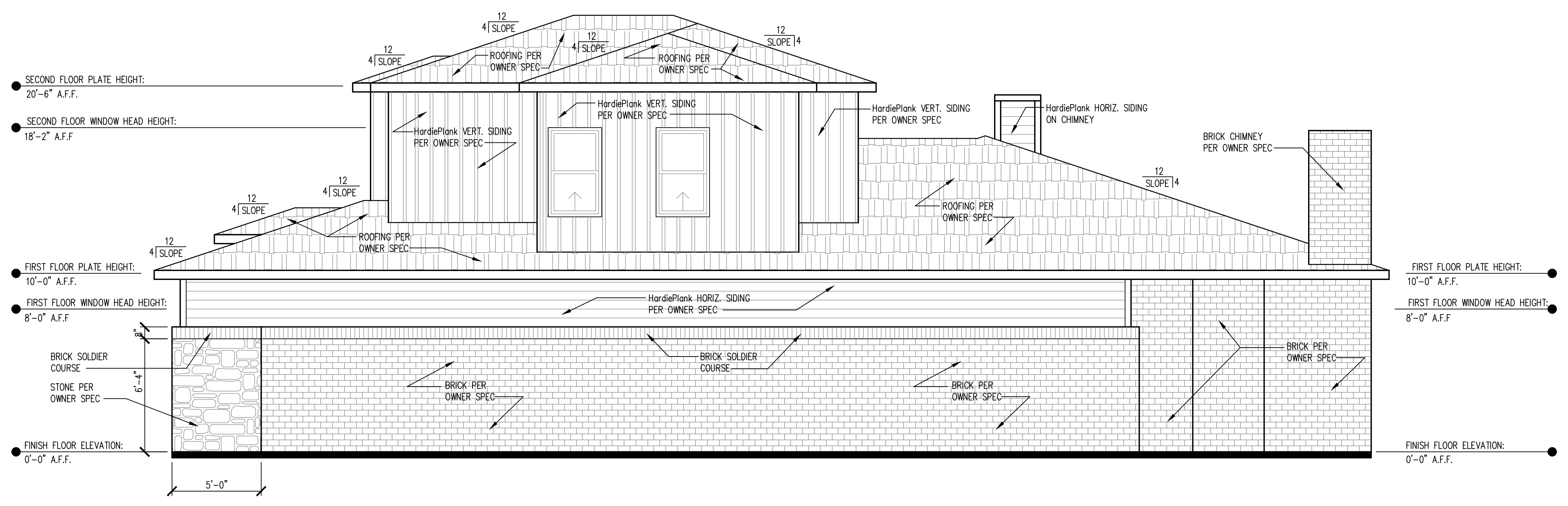
BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

SHEET NAME  
**SLAB PROFILE PLAN**

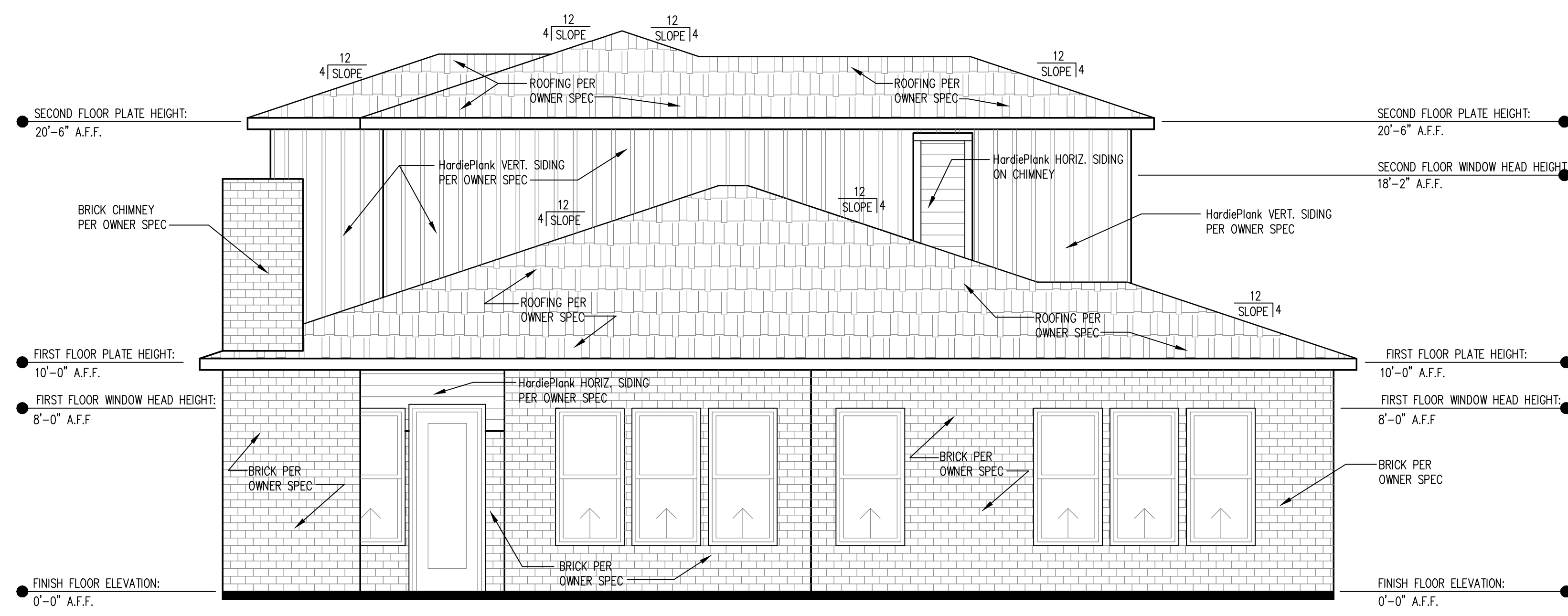
SCALE:  
1/8"=1'-0"  
DATE:  
7-20-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-8**



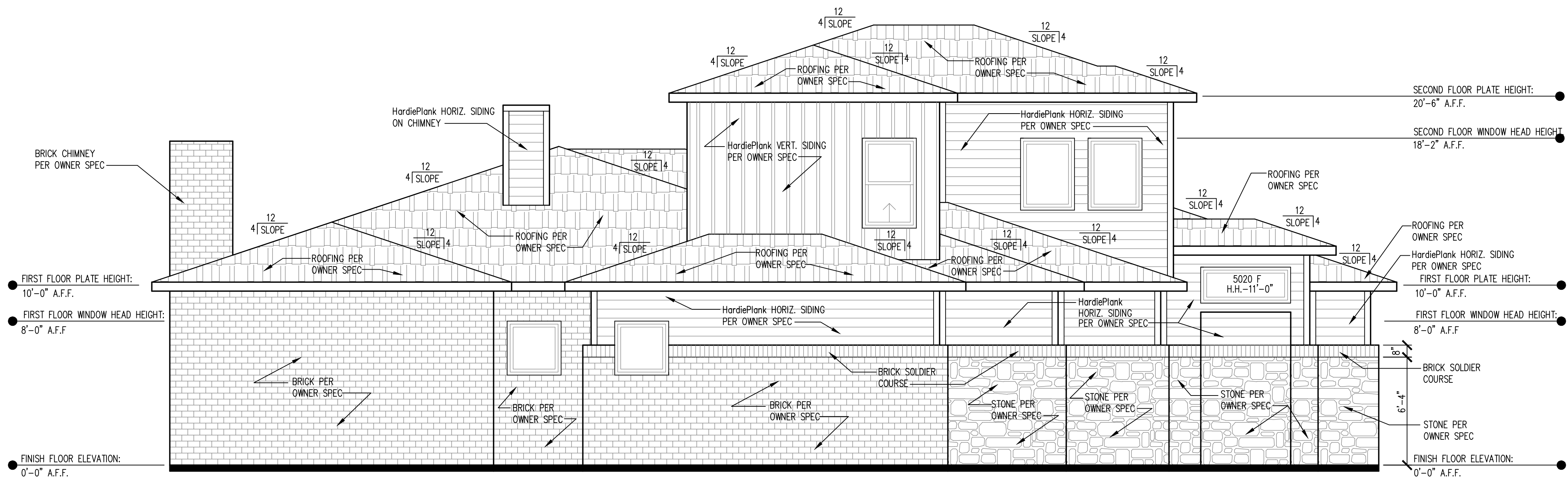
**FRONT ELEVATION**  
 1/4"=1'-0"



**RIGHT ELEVATION**  
 1/4"=1'-0"



**REAR ELEVATION**  
 1/4"=1'-0"



**LEFT ELEVATION**  
 1/4"=1'-0"



# DEVELOPMENT APPLICATION

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ADDRESS

104 BELLAIR ET

SUBDIVISION

CHANDLER LAUNDRY

LOT

28

BLOCK

A

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

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OWNER

APPLICANT

CAVENDISH HOMES

CONTACT PERSON

CONTACT PERSON

ED CAVENDISH

ADDRESS

ADDRESS

1017 NATIVE TRL

CITY, STATE & ZIP

CITY, STATE & ZIP

HEATH TX 75032

PHONE

PHONE

214-202-4667

E-MAIL

E-MAIL

EDCAVENDISH@CCHOMES.NET

## NOTARY VERIFICATION [REQUIRED]

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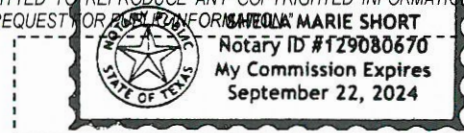
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF July, 2021

OWNER'S SIGNATURE

*Ed Cavendish*  
*Shale Marie Short*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 9/22/2024



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

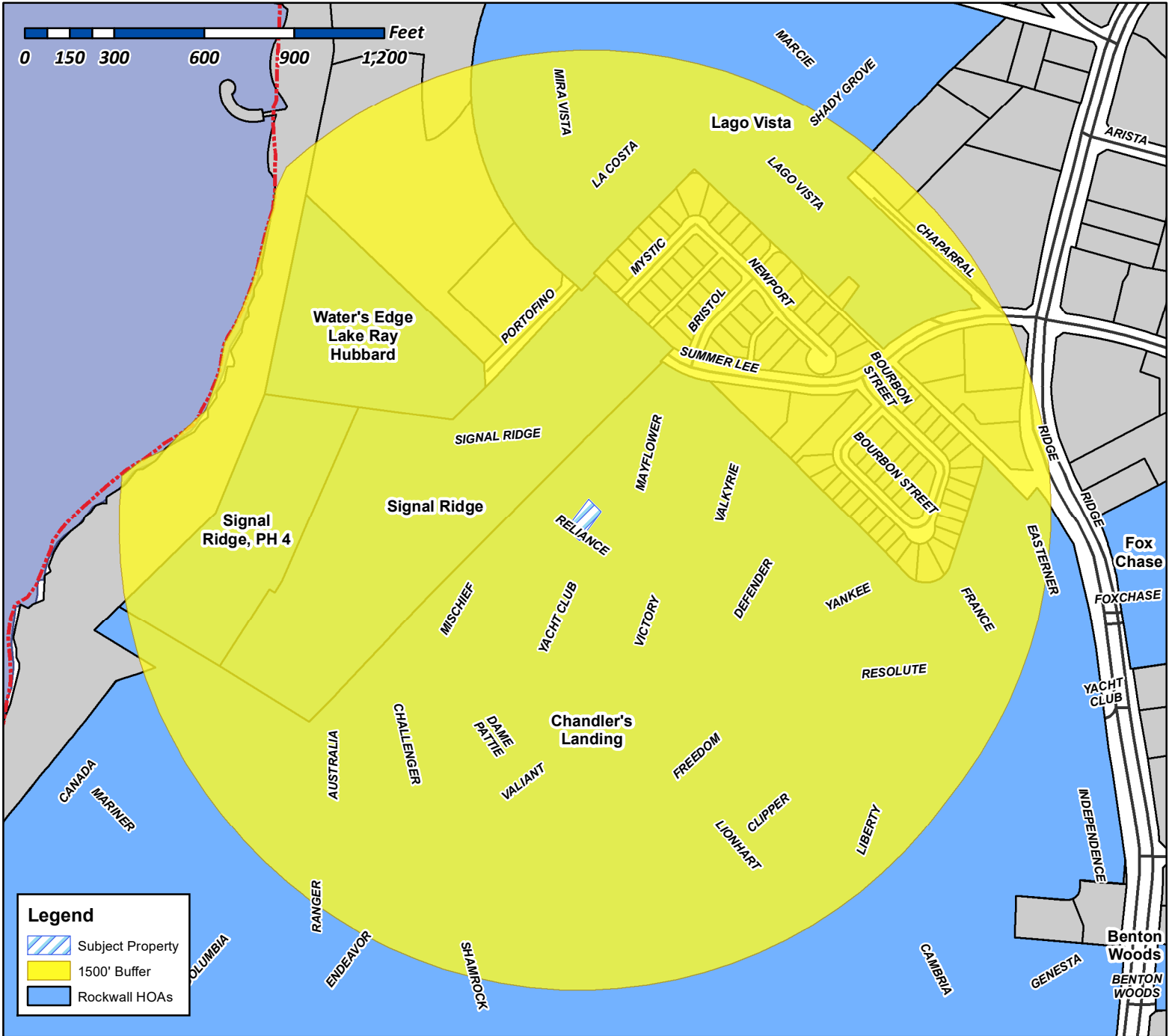




# City of Rockwall

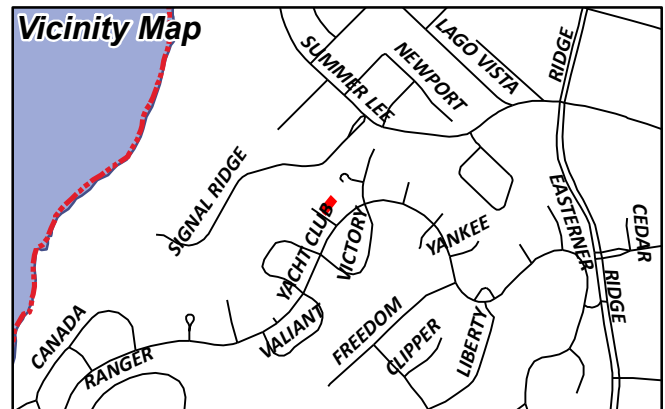
Planning & Zoning Department  
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**Case Number:** Z2021-029  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
**For Questions on this Case Call** (972) 771-7745



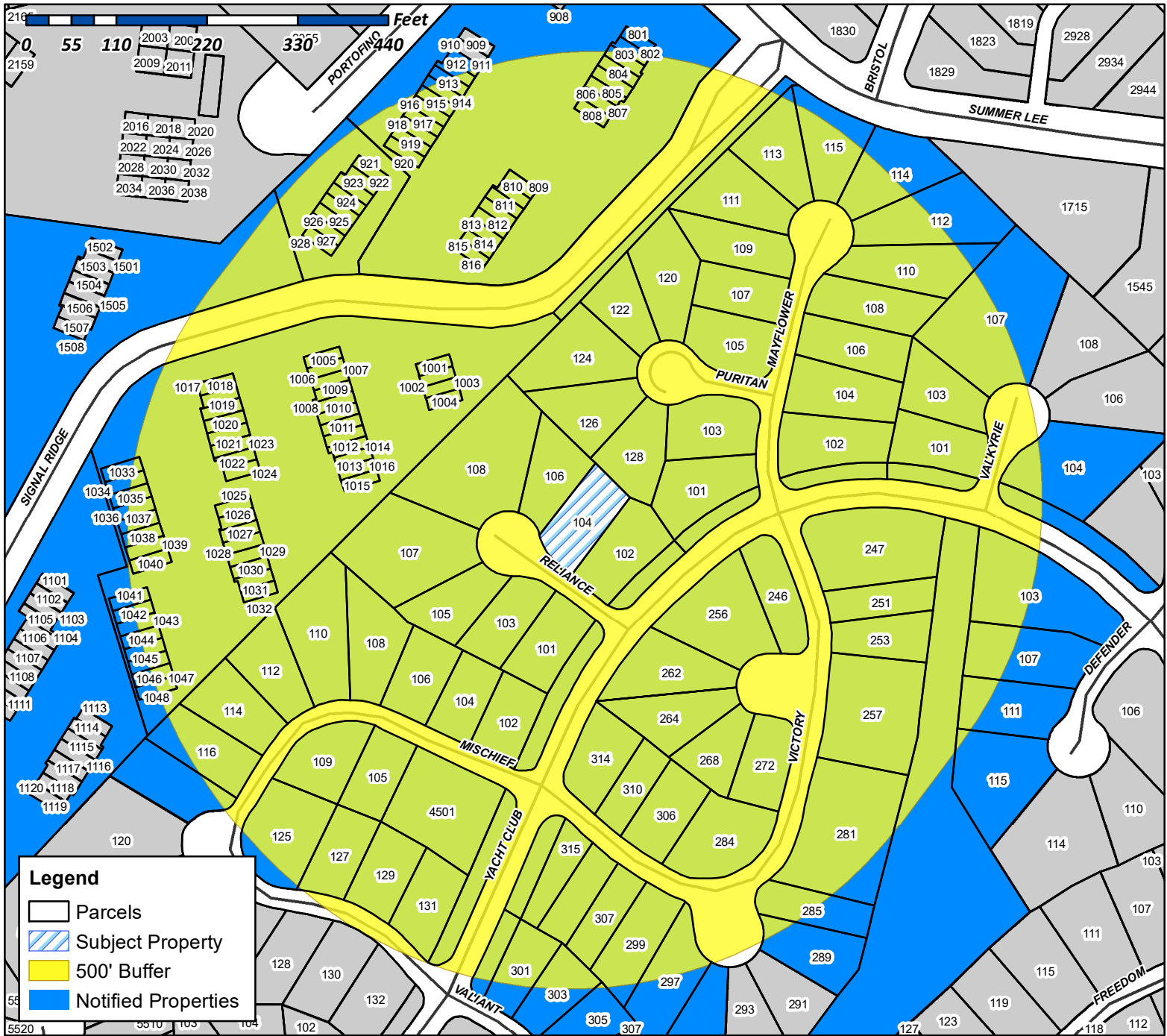




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

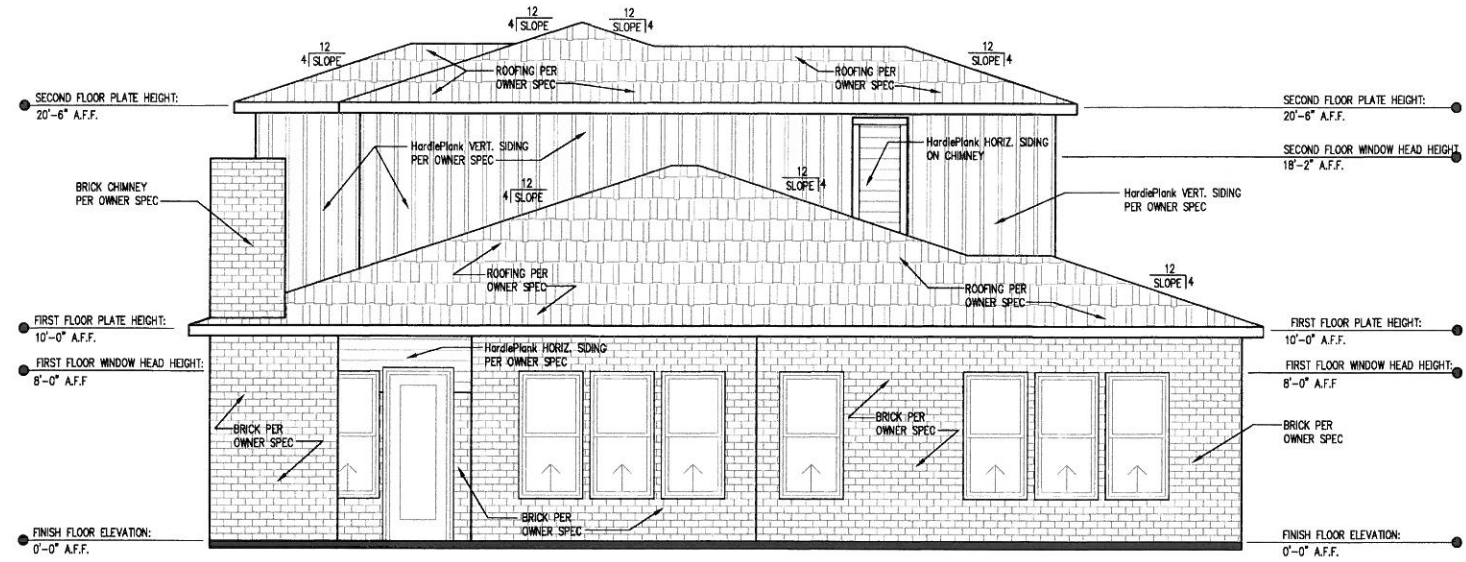
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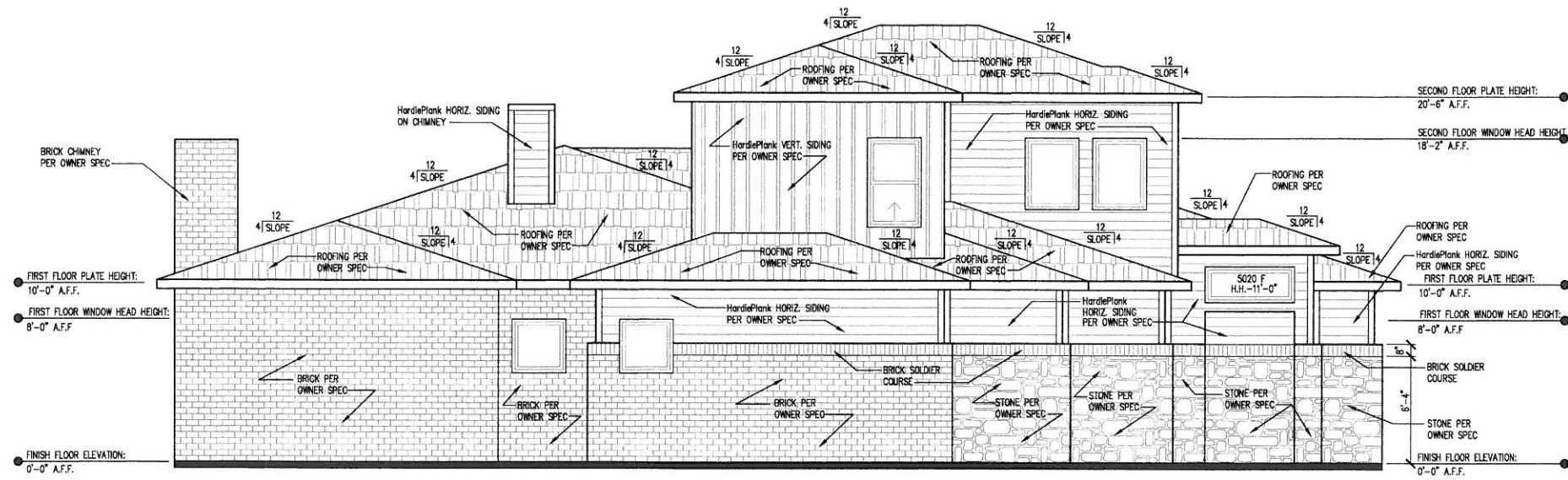
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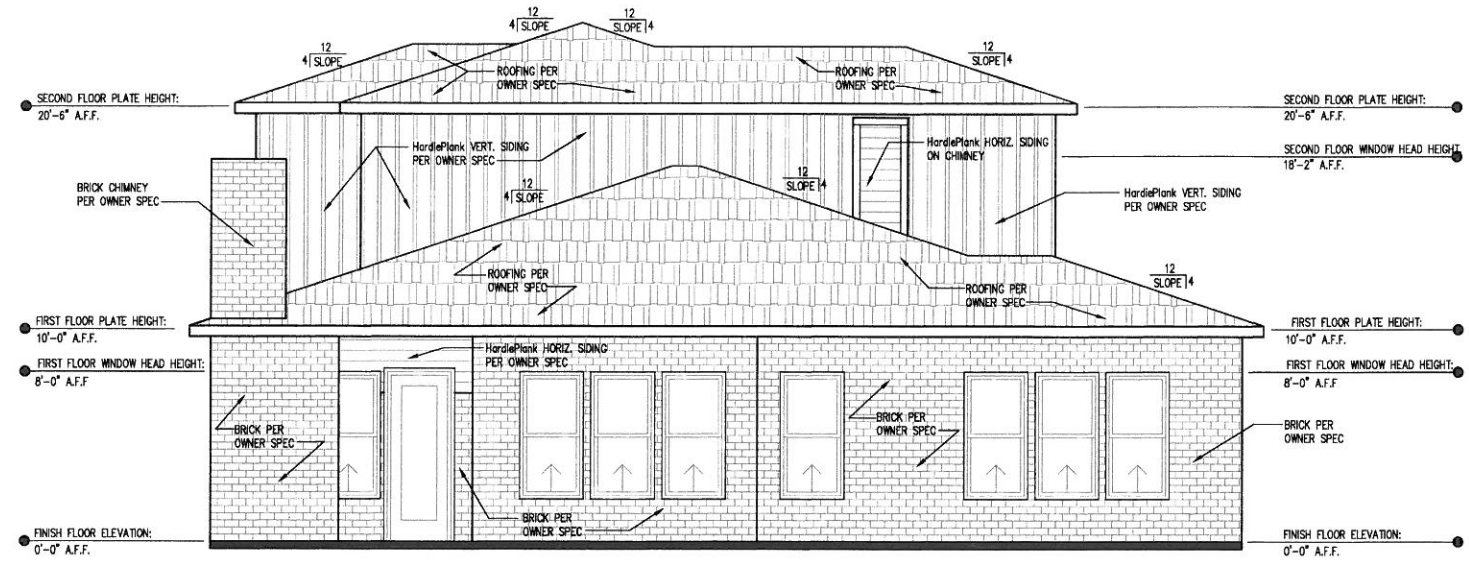




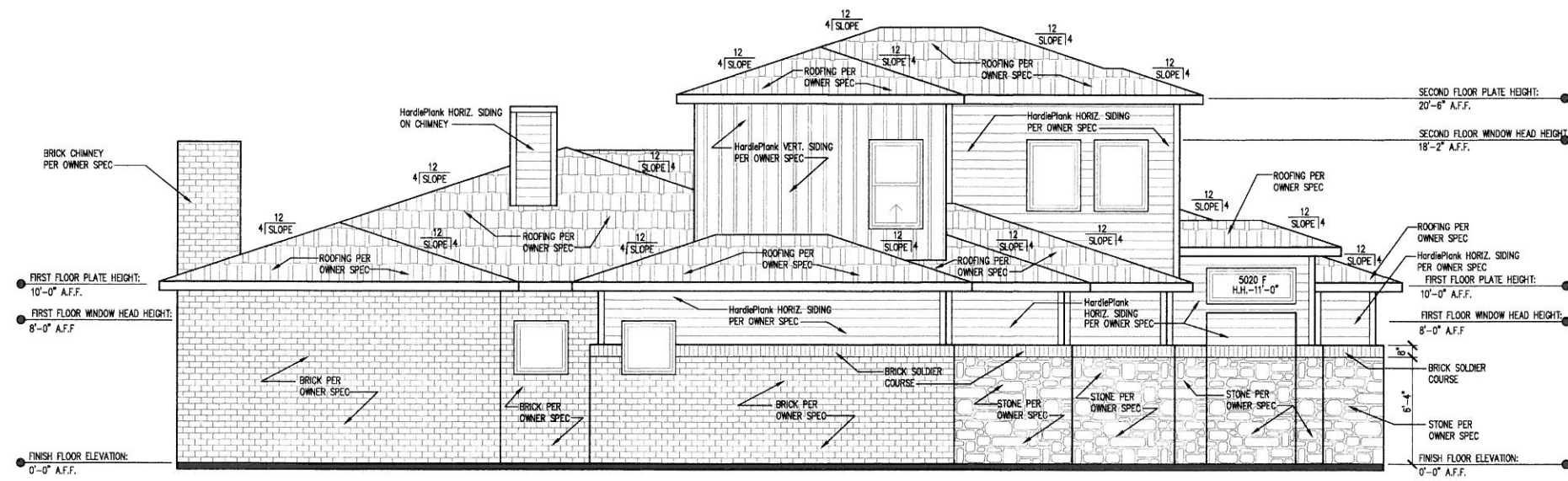
**REAR ELEVATION**  
 1/4"=1'-0"



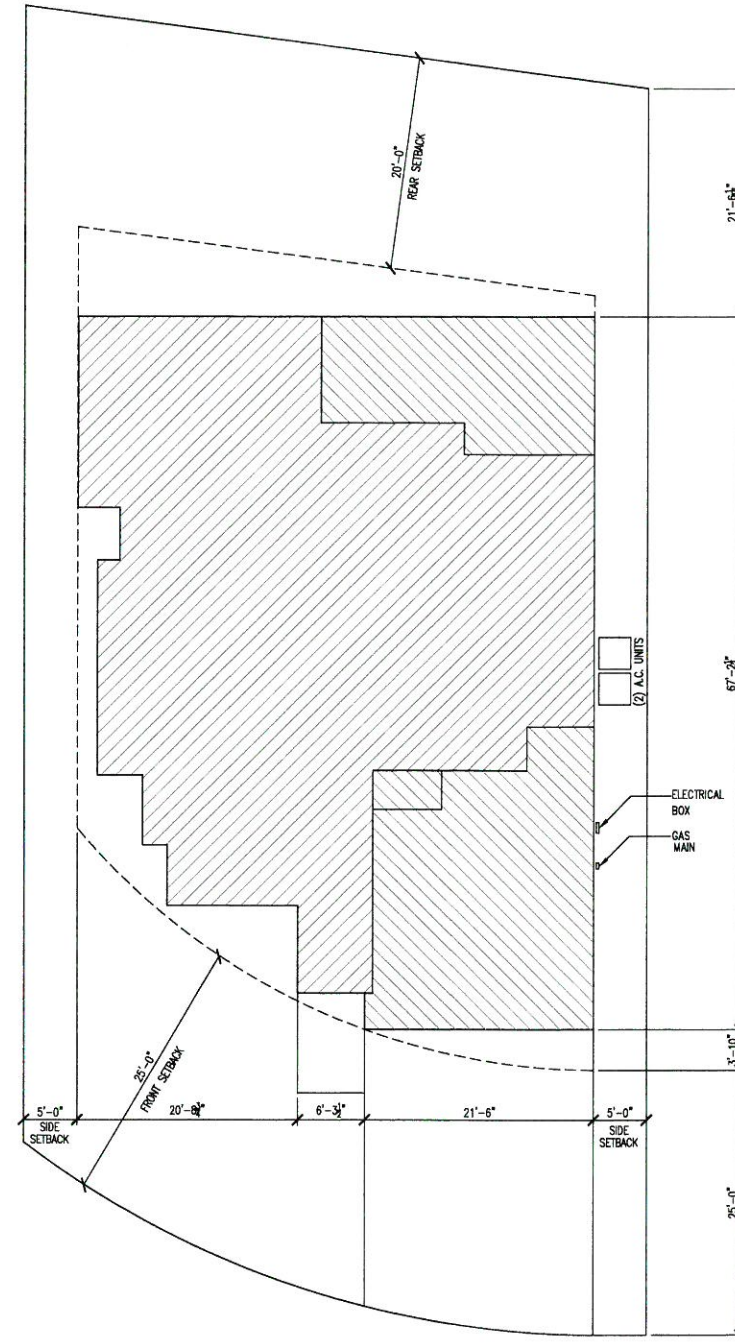
**LEFT ELEVATION**  
 1/4"=1'-0"



**REAR ELEVATION**  
 1/4"=1'-0"



**LEFT ELEVATION**  
 1/4"=1'-0"



**SLAB PROFILE ON SITE PLAN**  
SCALE: 1/8"=1'-0"

- NOTES:
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  2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
  3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
  4. LOT COVERAGE CALCULATIONS:  
LOT SIZE: 5395 SQUARE FEET  
COVERAGE: 2861 SQUARE FEET  
(INCLUDES ONLY ROOF COVERAGE)  
TOTAL ROOF COVERAGE OF LOT IS 53%

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

**PROJECT**  
**LOT #21**  
HEATH GOLF & YACHT CLUB  
HEATH, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

**SHEET NAME**  
**SLAB PROFILE PLAN**

**SCALE:**  
1/8"=1'-0"

**DATE:**  
1-30-2021

**DRAWN BY:**  
AEG

**CHECKED BY:**  
AEG

**SHEET NUMBER:**  
**A-8**

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/23/2021

PROJECT NUMBER: Z2021-029  
PROJECT NAME: SUP for Residential Infill at 104 Reliance Court  
SITE ADDRESS/LOCATIONS: 104 RELIANCE CT, ROCKWALL, 75032

CASE MANAGER: Henry Lee  
CASE MANAGER PHONE: 972.772.6434  
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	07/23/2021	Approved w/ Comments

07/23/2021: Z2021-029; Specific Use Permit (SUP) for Residential Infill for 104 Reliance Court  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com
- M.3 For reference, include the case number (Z2021-029) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Chandler's Landing Phase 20 Subdivision, which is 90% or more developed and has been in existence for more than 10 years.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.6 The front yard setback is 20-feet.
- I.7 According to the Unified Development Code front facing garages must be set back 20' behind the front façade of the home. In this case the garage is approximately 10'-9" in front of the front façade. This will require a waiver to the garage setback requirement, which is a discretionary decision for the Planning and Zoning Commission and City Council.
- I.8 During the foundation inspection if the slab is within 10 feet of a home on an adjacent property our Buildings Department will require a fire rated wall to be constructed between the homes.
- M.9 Please review the attached Draft Ordinance prior to the July 27, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 3, 2021.
- I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 2, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 10, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session

Meeting for this case will be held on July 27, 2021.

I.11 The projected City Council meeting dates for this case will be August 16, 2021 [1st Reading] and September 7, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/22/2021	Needs Review

07/22/2021: M - Show the 7.5' wide utility easement at the back of the lot.

The following items are for the building permit process.

The Building Permit will require a grading plan for approval.

General Items:

I - Must meet City Standards of Design and Construction

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

I - No structures, landscaping, and fencing can be in easements or flood plain

Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	07/23/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/21/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/19/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	07/23/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/21/2021	Approved

No Comments



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(W): [www.rockwall.com](http://www.rockwall.com)

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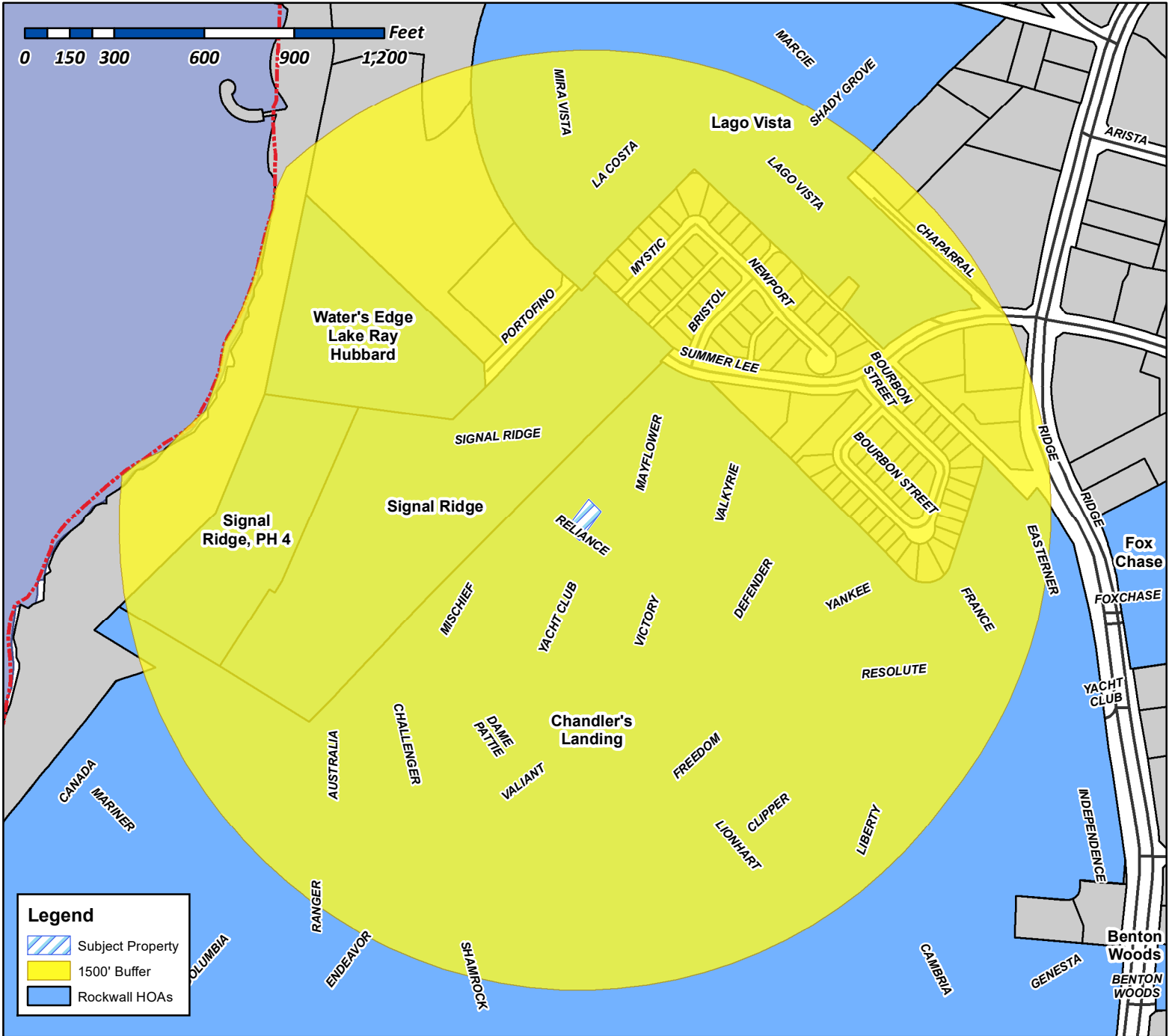




# City of Rockwall

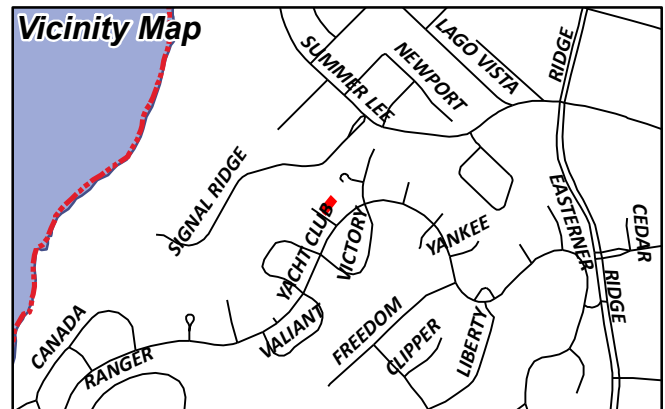
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-029  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
**For Questions on this Case Call** (972) 771-7745



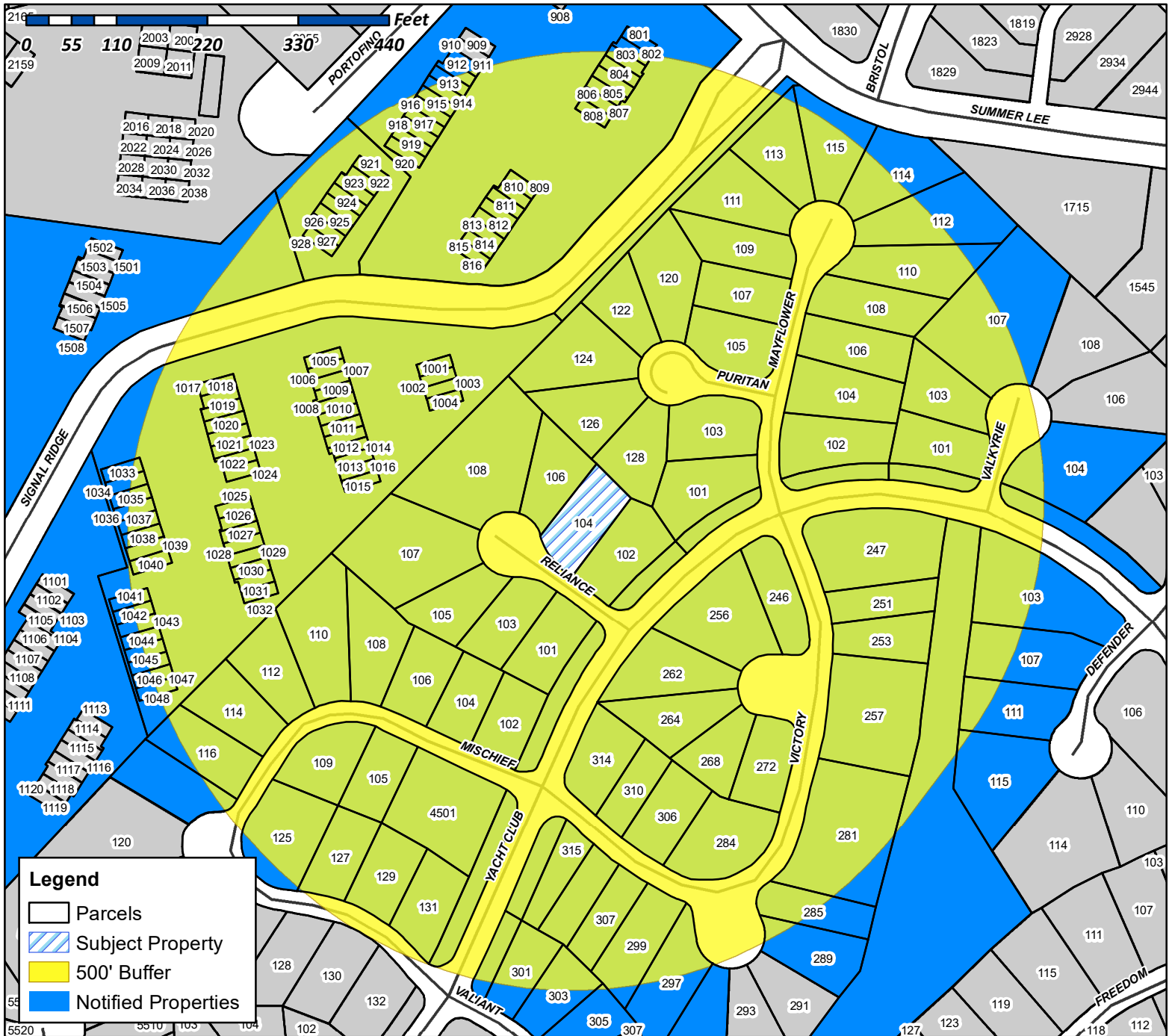




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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SIGNAL RIDGE OWNERS ASSOCIATION  
1000 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DWYER REX ETUX AMY  
1001 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL  
1002 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
1003 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

BLANKINSHIP TERRI  
1004 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

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1005 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

SEPEHRI SUSAN M  
1006 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BROYLES STEPHANIE  
1007 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN  
1008 SIGNAL RIDGE  
ROCKWALL, TX 75032

MIEROW SHARON A  
1009 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA  
101 MAYFLOWER CT  
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R  
101 RELIANCE CT  
ROCKWALL, TX 75032

WELCH JANIS M  
101 VALKYRIE PL  
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S  
1010 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

FOREMAN JANET  
1011 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R  
1012 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MOORE GREGORY J  
1013 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

JOHNSON ASHLEY  
1014 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

GRAGG CAROL  
1016 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
1017 NATIVE TR  
HEATH, TX 75032

GARDNER DAVID L REV LIV TR  
1017 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

TROTTER STEVEN D  
1018 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
1019 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HARRELL STEVEN R AND ROBERTA J  
102 MAYFLOWER CT  
ROCKWALL, TX 75032

HALL JASON & CORI  
102 MISCHIEF LN  
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE  
102 RELIANCE COURT  
ROCKWALL, TX 75032

WAGNER JULIE A  
1020 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1021 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA  
1022 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
1023 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VAIL SYDNEY  
1024 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCMURTRE DREW  
1025 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WHITE RANDY  
1026 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCPARTLAND MARY C  
1027 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ALVARADO KRESHA  
1028 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE  
1029 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CEPAK JANET BAIN  
103 DEFENDER COURT  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
103 GROSS RD BLDG A  
MESQUITE, TX 75149

2019-1 IH BORROWER LP  
103 MAYFLOWER CT  
ROCKWALL, TX 75032

SINCLAIR SUE AND  
JEREMY LEE SINCLAIR  
103 RELIANCE CT  
ROCKWALL, TX 75032

HALAMA STEFAN & ANN  
103 VALKYRIE PL  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
1030 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
1031 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PERROTTA SHARON  
1032 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSTON SHARRON  
1033 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON  
1034 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
1035 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRYOR MICA MALONEY  
1036 SIGNAL RIDGE PLACE #1036  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
1037 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
1038 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
1039 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YATES KIMBERLY  
104 MAYFLOWER COURT  
ROCKWALL, TX 75032

CARR LORI  
104 MISCHIEF LN  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
104 RELIANCE CT  
ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL  
104 VALKYRIE PLACE  
ROCKWALL, TX 75032

ARMSTRONG D  
1040 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1041 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG D  
1042 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

NICHOLS JANET  
1043 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TRINGALI CAHTERINE  
1044 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

KILGORE MADISON  
1045 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YANGER LISA  
1046 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
1047 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ZAJDL SALLY A  
1048 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

OCONNOR MICHAEL  
105 MAYFLOWER CT  
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES  
105 MISCHIEF LN  
ROCKWALL, TX 75032

HAYES BRANDON  
105 RELIANCE CT  
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO  
LLC  
106 MAYFLOWER CT  
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA  
106 MISCHIEF LANE  
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE  
106 RELIANCE CT  
ROCKWALL, TX 75032

ROARK BOBBIE ETAL  
107 DEFENDER CT  
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER  
107 MAYFLOWER CT  
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-  
GILBREATH  
107 RELIANCE CT  
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D  
107 VALKYRIE PL  
ROCKWALL, TX 75032

LONG JOHN AND LINDSAY  
108 MAYFLOWER CT  
ROCKWALL, TX 75032

CARRILLO VICTOR G  
108 MISCHIEF LN  
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY  
108 RELIANCE CT  
ROCKWALL, TX 75032

NORTEX PROPERTIES INC  
% JOSEPH L ZEHR  
10808 LA CABREAH LN  
FORT WAYNE, IN 46845

LYONS ELIZABETH  
109 MAYFLOWER COURT  
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE  
109 MISCHIEF LN  
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J  
110 MAYFLOWER CT  
ROCKWALL, TX 75032

DILOV VANIO  
110 MISCHIEF LN  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
1105 51ST ST W  
BRADENTON, FL 34209

STEBBINS GREGORY & KRISTEN  
111 DEFENDER CT  
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C  
111 MAYFLOWER CT  
ROCKWALL, TX 75032

PHILLIPS LOVIE  
1110 VAIL COURT  
ROCKWALL, TX 75087

FAIRCHILD REVOCABLE LIVING TRUST  
112 MAYFLOWER CT  
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K  
112 MISCHIEF LANE  
ROCKWALL, TX 75032

CASTRO CRISTINA  
113 MAYFLOWER CT  
ROCKWALL, TX 75032

FAIRCHILD CARL F & TONI A TRUSTEES  
FAIRCHILD JOINT REVOCABLE LIVING TRUST  
114 MAYFLOWER CT  
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J  
114 MISCHIEF LANE  
ROCKWALL, TX 75032

WEBSTER LIDIA  
115 DEFENDER CT  
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J  
115 MAYFLOWER CT  
ROCKWALL, TX 75032

LETT LORNA  
116 MISCHIEF LN  
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J  
120 PURITAN CT  
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1213 STONEWALL TRL  
ROCKWALL, TX 75032

HOLDER TOM  
122 PURITAN CT  
ROCKWALL, TX 75032

POTISKA PATRICIA  
124 PURITAN CT  
ROCKWALL, TX 75032

ODOM LACEY AND JOSH  
125 MISCHIEF LN  
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY  
126 PURITAN CT  
ROCKWALL, TX 75032

MARTIN NAN YI  
127 MICHIEF LANE  
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B  
REV LIVING TRUST AGREEMENT  
128 PURITAN CT  
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J  
129 MISCHIEF LANE  
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D  
131 MISCHIEF LANE  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
145 WESTON CT  
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE  
1501 S LAKESHORE DR  
ROCKWALL, TX 75087

COLLINS FAMILY TRUST  
EWELL D COLLINS AND JENNIFER R TRUSTEES  
1512 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

MEDINA ALEJANDRO  
1800 DALROCK #100  
ROWLETT, TX 75088

DWA EQUITIES LLC  
1802 SIGNAL RIDGE  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1910 SIGNAL RIDGE  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
2001 SPRING RD SUITE 700  
OAK BROOK, IL 60523

MOORE GREGORY J  
2140 PORTOFINO DR  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
2215 ARRINGTON ST  
DURHAM, NC 27707

ODOM LACEY AND JOSH  
2402 YACHT CLUB DR  
ROCKWALL, TX 75032

PARRISH WENDY R  
246 VICTORY LN  
ROCKWALL, TX 75032

GATZKE LISA AND JAMES  
247 VICTORY LANE  
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE  
251 VICTORY LN  
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY  
253 VICTORY LN  
ROCKWALL, TX 75032

TONA CHAD J & MARTI  
256 VICTORY LANE  
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
257 VICTORYLN  
ROCKWALL, TX 75032

HANSEN J D & PATRICIA  
262 VICTORY LN  
ROCKWALL, TX 75032

2019-1 IH BORROWER LP  
264 VICTORYLN  
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN  
268 VICTORY LN  
ROCKWALL, TX 75032

DILOV VANIO  
2717 LAKEWOOD DR  
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON  
272 VICTORY LN  
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L  
2752 E FM 552  
ROCKWALL, TX 75087

BURKETT MARY REBECCA EASON  
277 TERRY LN  
HEATH, TX 75032

WILLIAMS ROBERT C  
281 VICTORY LN  
ROCKWALL, TX 75032

HALL JASON M & CORI M  
284 VICTORY LN  
ROCKWALL, TX 75032

BROWN TERRI LYNN  
285 VICTORY LN  
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L  
289 VICTORY LN  
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE  
291 VICTORY LANE  
ROCKWALL, TX 75032

BAILEY RONALD C ET UX  
2919 COUNTRY PLACE CIR  
CARROLLTON, TX 75006

SEEDS DAVID R  
2961 S CHERRY WAY  
DENVER, CO 80222

LYNN JASON AND DANIELLE  
297 VICTORYLN  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
2977 OAK DR  
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE  
299 VICTORY LN  
ROCKWALL, TX 75032

MCMURTRE DREW  
3000 TWIN LAKES DR  
PROSPER, TX 75078

STOUFFER AMY JACKSON AND MITCH  
301 VALIANT  
ROCKWALL, TX 75032

WARD ANDREA N  
303 VALIANT DRIVE  
ROCKWALL, TX 75032

DEAL ROBERT  
305 VALIANT DRIVE  
ROCKWALL, TX 75032

MCMINN KIMBERLY  
306 VICTORYLN  
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC  
30601 AGOURA RD SUITE 200  
AGOURA HILLS, CA 91301

AMERICAN HOMES 4 RENT PROPERTIES TWO  
LLC  
30601 AGOURA ROAD SUITE 200  
AGOURA HILLS, CA 91301

MCNAIR KELLY  
307 VICTORY LN  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

AMH 2014-2 BORROWER LLC  
310 VICTORYLN  
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY  
314 VICTORY LN  
ROCKWALL, TX 75032

LOREDO SARAHI  
315 VICTORY LN  
ROCKWALL, TX 75032

SINCLAIR SUE AND  
JEREMY LEE SINCLAIR  
32 LAKEWAY DRIVE  
HEATH, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
331 MOCKINGBIRD LN  
AUBURN, AL 36830

RUBENSTEIN ALAN J AND  
GINA L STRICKLIN  
4501 YACHT CLUB DR  
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR  
520 TERRY W  
HEATH, TX 75032

LOGAN PAULINE K  
554 VZ COUNTY ROAD 2139  
CANTON, TX 75103

DWYER REX ETUX AMY  
6101 VOLUNTEER PL  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
643 TURTLE COVE BLVD  
ROCKWALL, TX 75087

HYATT FAMILY TRUST  
JAMES T HYATT- TRUSTEE  
6525 NORTH FLY IN LAKE RD  
ATHENS, TX 75751

ALVARADO KRESHA  
710 BRAZOS WAY  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
801 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

LONON DEBORAH J  
802 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR  
803 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
804 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PATTON ROXANNE LOUISE & KURTIS LEE  
805 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE  
TRUST  
RAYMOND B & PHYLLIS F WALKER TRUSTEES  
806 SIGNAL RIDGE PLACE UNIT 806  
ROCKWALL, TX 75032

POPP LEILA  
807 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R  
808 SIGNAL RIDGE  
ROCKWALL, TX 75032

HART DARIN AND RANDI  
809 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RENNER BEVERLY  
810 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MEDINA ALEJANDRO  
811 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

LOGAN PAULINE K  
812 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DUNN FAMILY LOVING TRUST  
ALMA JEAN DUNN- TRUSTEE  
813 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BRASHEARS KARI  
814 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ANDREW JONATHON  
815 SIGNAL RIDGE  
ROCKWALL, TX 75032

HYATT FAMILY TRUST  
JAMES T HYATT- TRUSTEE  
816 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

SHEPHERD ADDIE  
911 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

WHITE DEBORAH  
912 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DISMUKE JAMIE M  
913 SIGNAL RIDGE PLACE #913  
ROCKWALL, TX 75032

CARTER DAVID  
914 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

COLLINS FAMILY TRUST  
EWELL D COLLINS AND JENNIFER R TRUSTEES  
915 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L  
916 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DEZEE CAROLE H  
917 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DASILVA JOHN M  
918 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
919 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

INZILLO FRANCA  
920 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
921 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MURRAY NORMA C  
922 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DWA EQUITIES LLC  
923 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

BAILEY RONALD C ET UX  
924 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GREEN MAUREEN  
925 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PHILLIPS LOVIE  
926 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
927 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
928 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GREEN MAUREEN  
945 BREEZY HILL LANE  
ROCKWALL, TX 75087

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
P.O. BOX 2195  
TELLURIDE, CO 81435

MCMINN KIMBERLY  
PMB 239 11654 PLAZA AMERICA DR  
RESTON, VA 20190

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
PO BOX 1179  
ROCKWALL, TX 75087

RENNER BEVERLY  
PO BOX 2121  
QUINLAN, TX 75474

MARICH ENTERPRISE CORPORATION  
PO BOX 2319  
ROCKWALL, TX 75087

DASILVA JOHN M  
PO BOX 2601  
ROWLETT, TX 75030

WHITTLE & JOHNSON CUSTOM HOMES INC  
PO BOX 369  
ROCKWALL, TX 75087

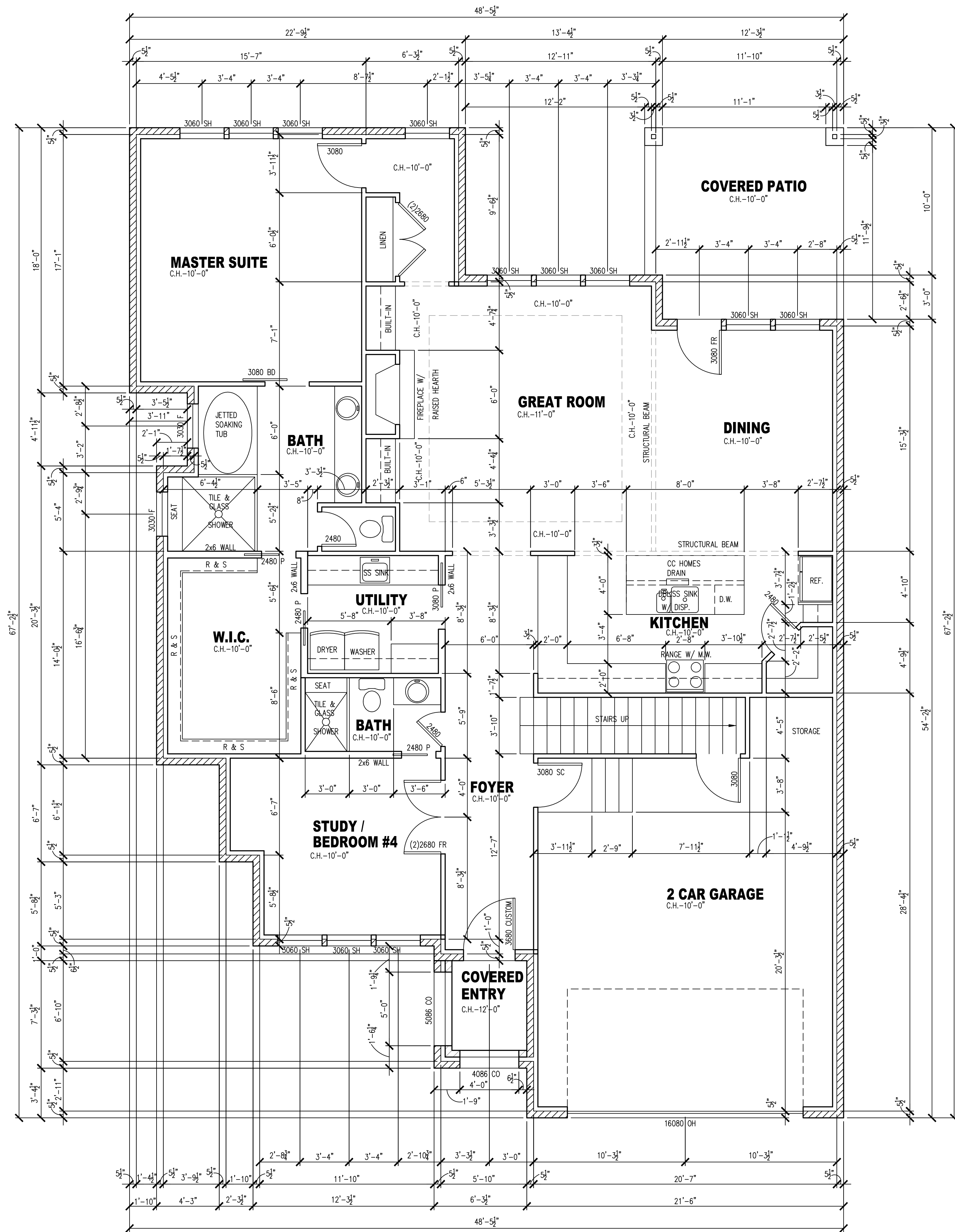
CHANDLERS LANDING COMMUNITY ASSOC  
PO BOX 638  
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
PO BOX 743612  
DALLAS, TX 75374

RUSH MAJOR  
PO BOX 760794  
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S  
PO BOX 850225  
MESQUITE, TX 75185





SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR A.C.:	1,926
SECOND FLOOR A.C.:	675
TOTAL A.C.:	2,601
COVERED ENTRY:	53
COVERED PATIO :	184
GARAGE :	549
MECHANICAL ROOM:	57
TOTAL S.F. UNDER ROOF: 3,444	

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com



**PROJECT**  
**104 RELIANCE COURT**  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

**SHEET NAME**  
**FIRST FLOOR PLAN**

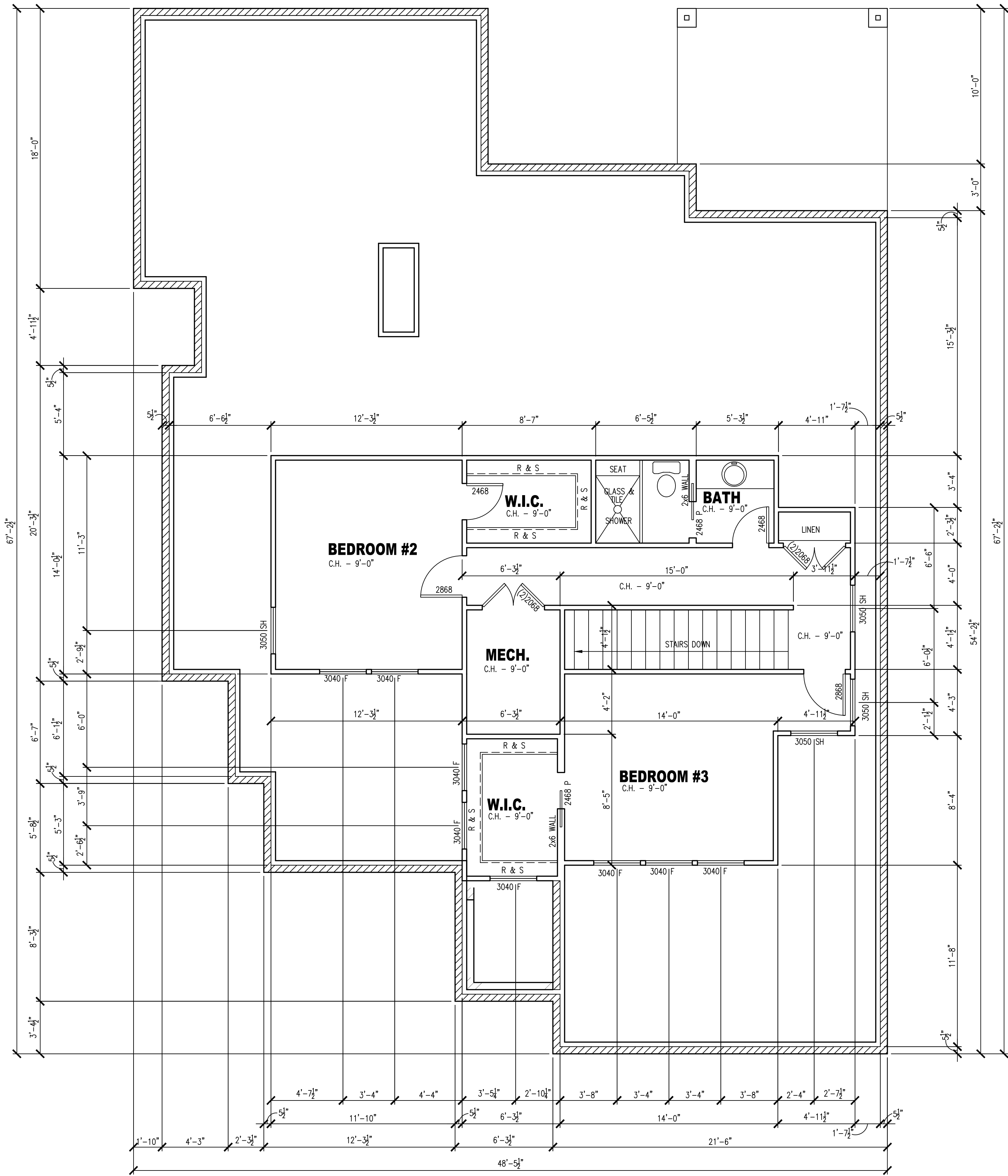
**SCALE:**  
 1/4" = 1'-0"

**DATE:**  
 7-22-2021

**DRAWN BY:**  
 AEG

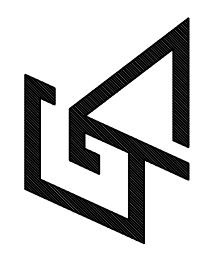
**CHECKED BY:**  
 AEG

**SHEET NUMBER:**  
**A-1**



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com



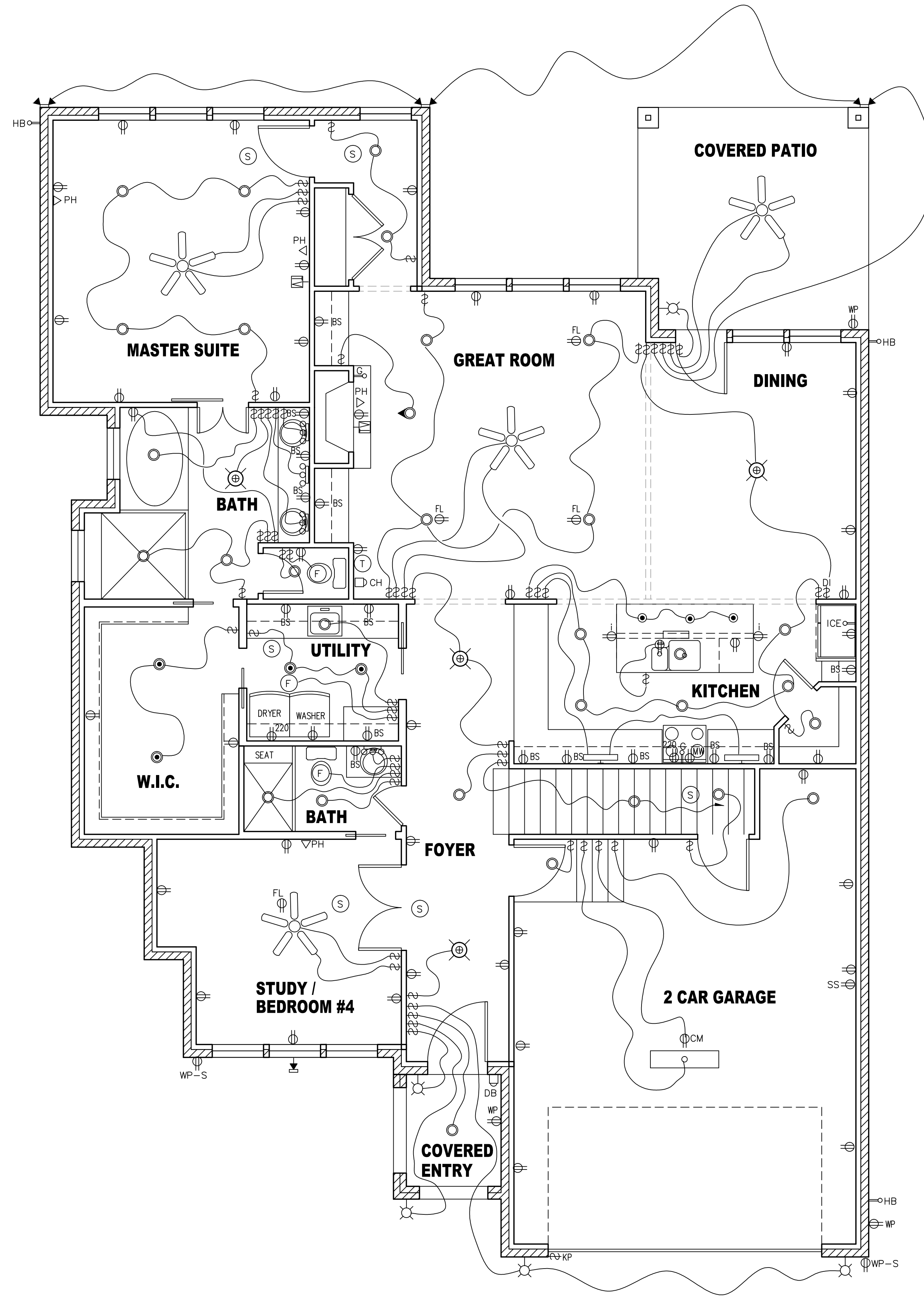
**PROJECT**  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

**SHEET NAME**  
**SECOND FLOOR PLAN**

**SCALE:** 1/4"=1'-0"  
**DATE:** 7-22-2021  
**DRAWN BY:** AEG  
**CHECKED BY:** AEG  
**SHEET NUMBER:** **A-2**

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WP-S WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WP WATER PROOF OUTLET
	CM 110 VOLT - CEILING MOUNTED OUTLET
	i 110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	v 110 VOLT - STOVE TOP VENT
	ICE ICE MAKER WATER SUPPLY
	HB FROST PROOF HOSE BIB
	G GAS OUTLET
	CH DOOR BELL CHIME
	DB DOOR BELL
	T THERMOSTAT
	S SMOKE / CARBON MONOXIDE DETECTOR
	C-5 CATEGORY 5 NETWORK JACK
	CABLE OUTLET
	PH PHONE OUTLET
	TG TOGGLE SWITCH
	NT NON-TOGGLE SWITCH
	DA DOOR ACTIVATED SWITCH
	DI DIMMER SWITCH
	KP KEY PAD SWITCH
	F EXHAUST FAN
	PCP POOL CONTROL PANEL



**FIRST FLOOR UTILITY PLAN**  
SCALE: 1/4"=1'-0"

GUSTAVSON & ASSOCIATES  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

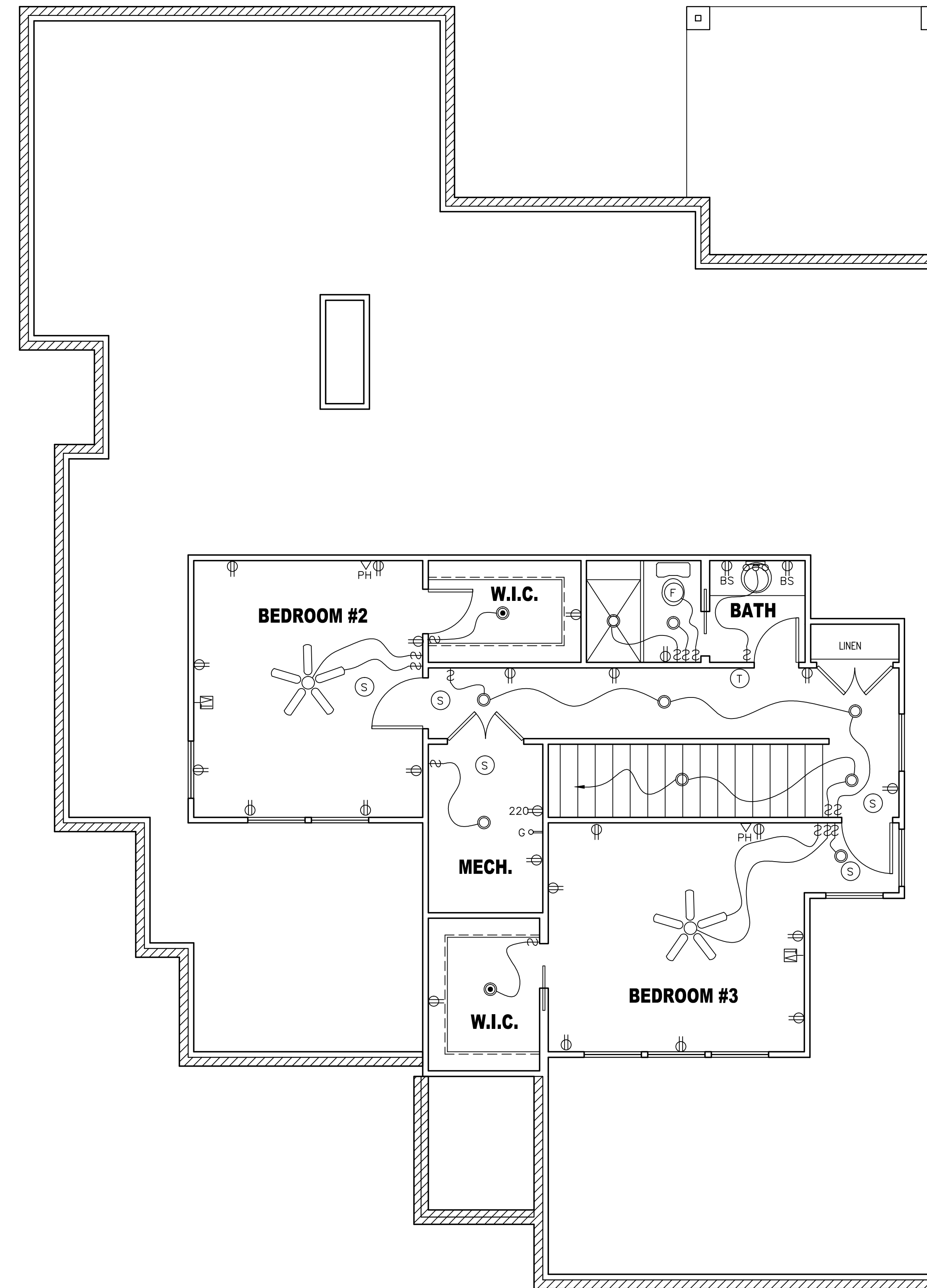
PROJECT  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

SHEET NAME  
**FIRST FLOOR UTILITY PLAN**

SCALE:  
1/4"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-3**

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
FL	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
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	DEDICATED SPRINKLER SYSTEM OUTLET
	WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WATER PROOF OUTLET
	110 VOLT - CEILING MOUNTED OUTLET
	110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	110 VOLT - STOVE TOP VENT
	ICE MAKER WATER SUPPLY
	FROST PROOF HOSE BIB
	GAS OUTLET
	DOOR BELL CHIME
	DOOR BELL
	THERMOSTAT
	SMOKE / CARBON MONOXIDE DETECTOR
	CATEGORY 5 NETWORK JACK
	CABLE OUTLET
	PHONE OUTLET
	TOGGLE SWITCH
	NON-TOGGLE SWITCH
	DOOR ACTIVATED SWITCH
	DIMMER SWITCH
	KEY PAD SWITCH
	EXHAUST FAN
	POOL CONTROL PANEL



**SECOND FLOOR UTILITY LAYOUT PLAN**  
SCALE: 1/4"=1'-0"

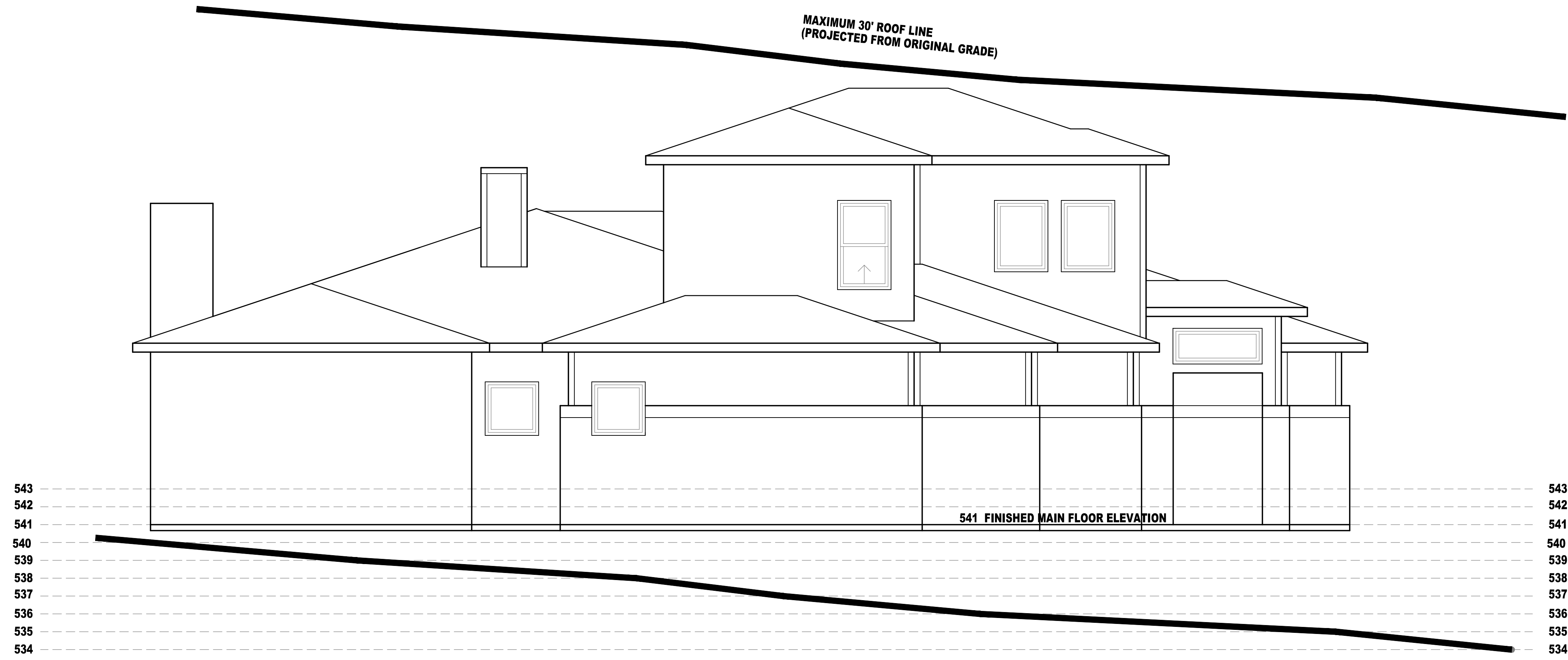
GUSTAVSON & ASSOCIATES  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

PROJECT  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

SHEET NAME  
**SECOND FLOOR UTILITY PLAN**

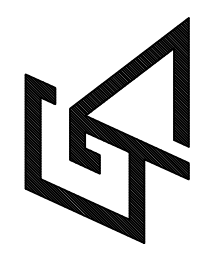
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1/4"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-4**



**GRADE PROFILE SECTION**  
1/4"=1'-0"

NOTES:  
 1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. GUSTAVSON AND ASSOCIATES IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.  
 2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

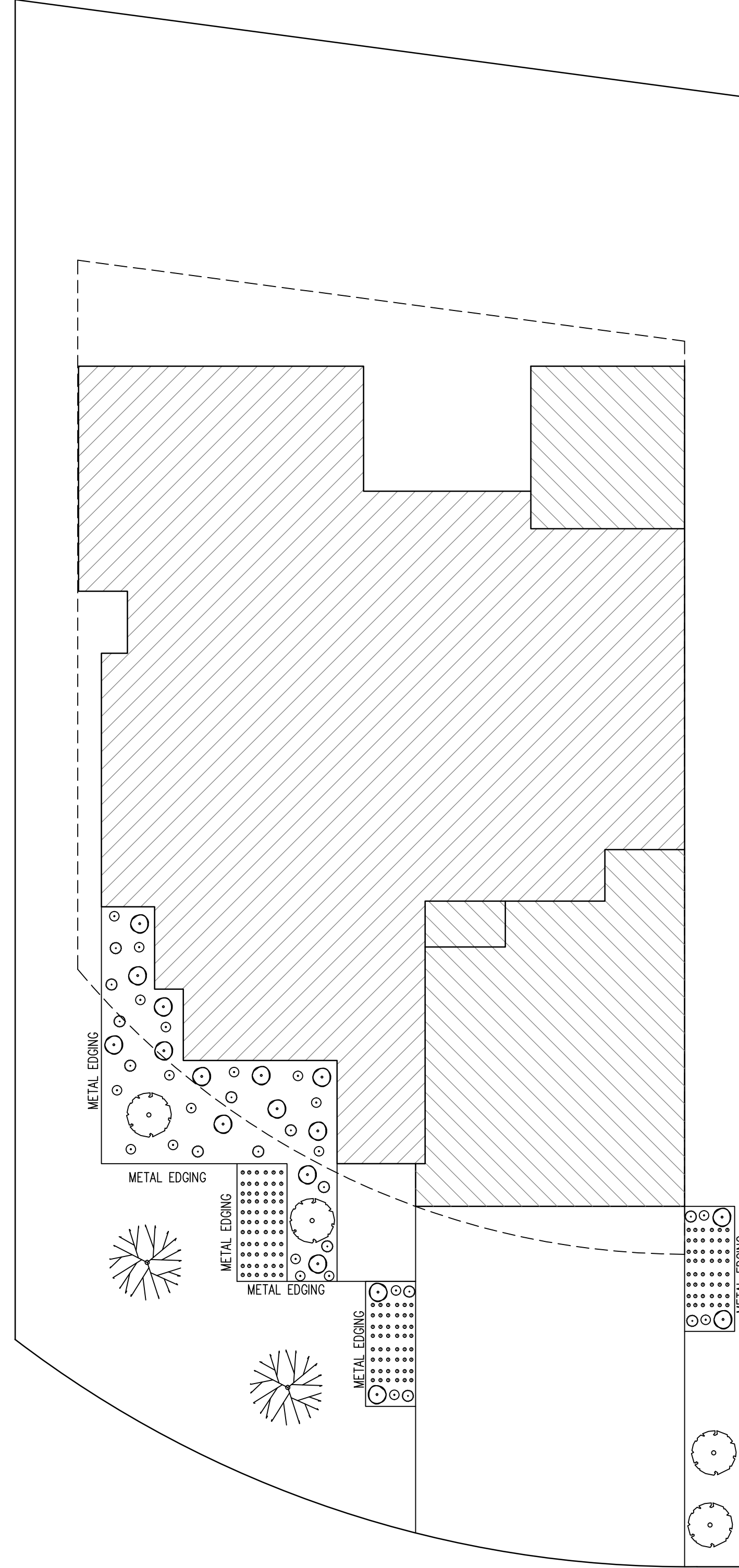


**PROJECT**  
**104 RELIANCE COURT**  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

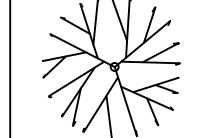
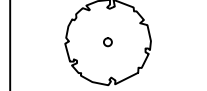
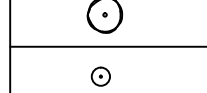
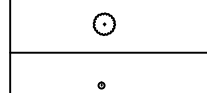

**BUILDER**  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

**SHEET NAME**  
**GRADE PROFILE SECTION**

SCALE:  
 1/4"=1'-0"  
 DATE:  
 7-22-2021  
 DRAWN BY:  
 AEG  
 CHECKED BY:  
 AEG  
 SHEET NUMBER:  
**A-9**



**LANDSCAPE PLAN**  
SCALE: 1/8"=1'-0"

PLANT LEGEND	
	PISTACHE, CHINESE - 3 1/2-4 INCH
	YAUUPON - 24 INCH
	INDIA HAWTHORNE, PINK LADY - 5 GALLON
	DAYLILLY - 1 GALLON
	HOSTA, HYACINTHIA - 1 GALLON
	BEGONIA - BEDDING

SCALE:  
1/8"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-10**

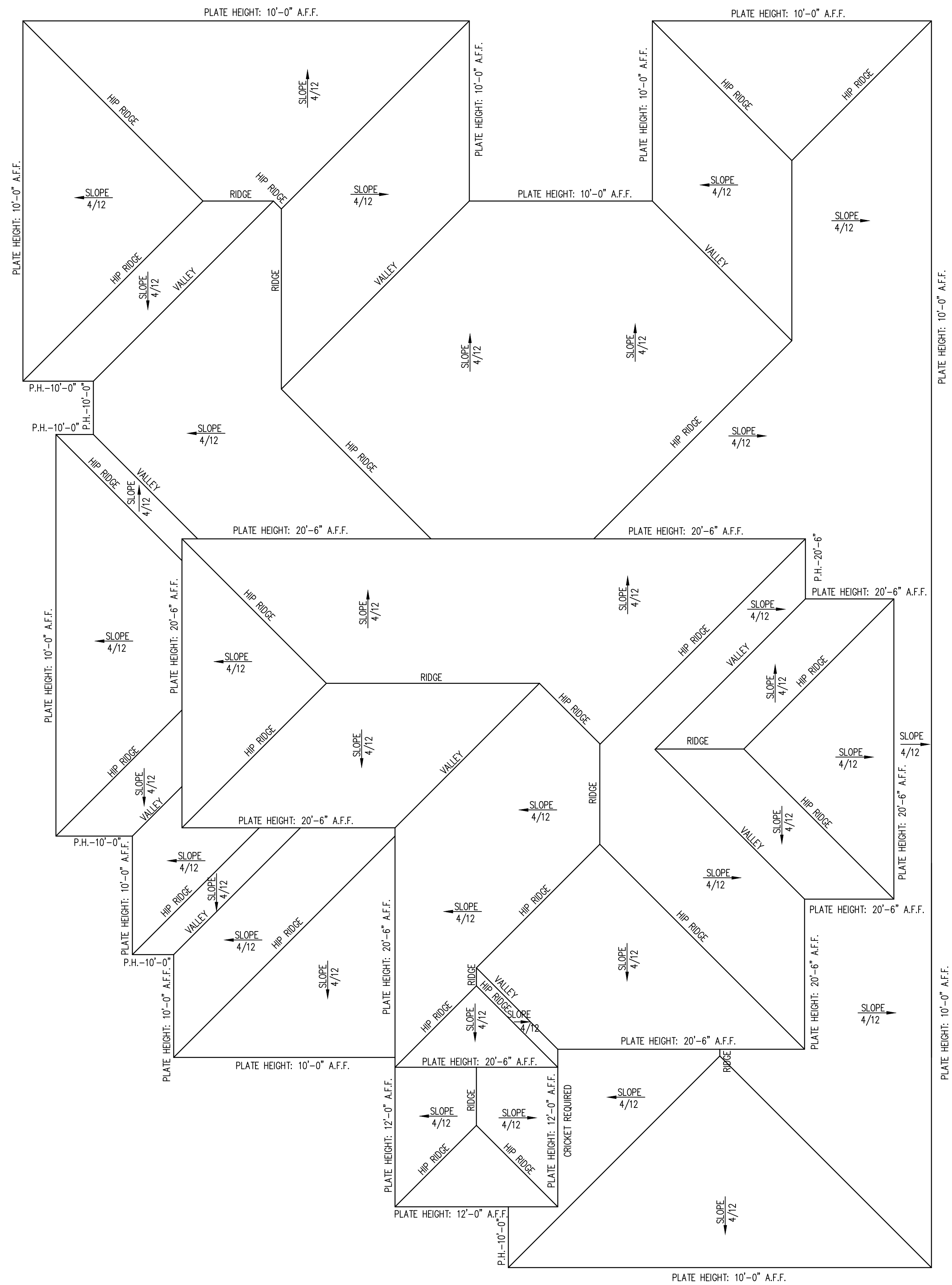
SHEET NAME  
**LANDSCAPE PLAN**

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

PROJECT  
**LOT #21**  
HEATH GOLF & YACHT CLUB  
HEATH, TEXAS

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com





**ROOF LINE PLAN**

1/4"=1'-0"

**NOTES:**

1. CONTRACTOR SHALL PROVIDE FULL GUTTER AND DOWNSPOUTS.
2. ALL ROOF OVERHANGS SHALL BE 1'-0"

SHEET NAME  
**ROOF LINE PLAN**

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

PROJECT  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

GUSTAVSON & ASSOCIATES  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

SCALE:  
1/4"=1'-0"  
DATE:  
1-30-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:

**A-5**



**FRONT ELEVATION**  
1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

**EXTERIOR MATERIALS CALCULATIONS**  
(MEASURED IN SQUARE FEET)

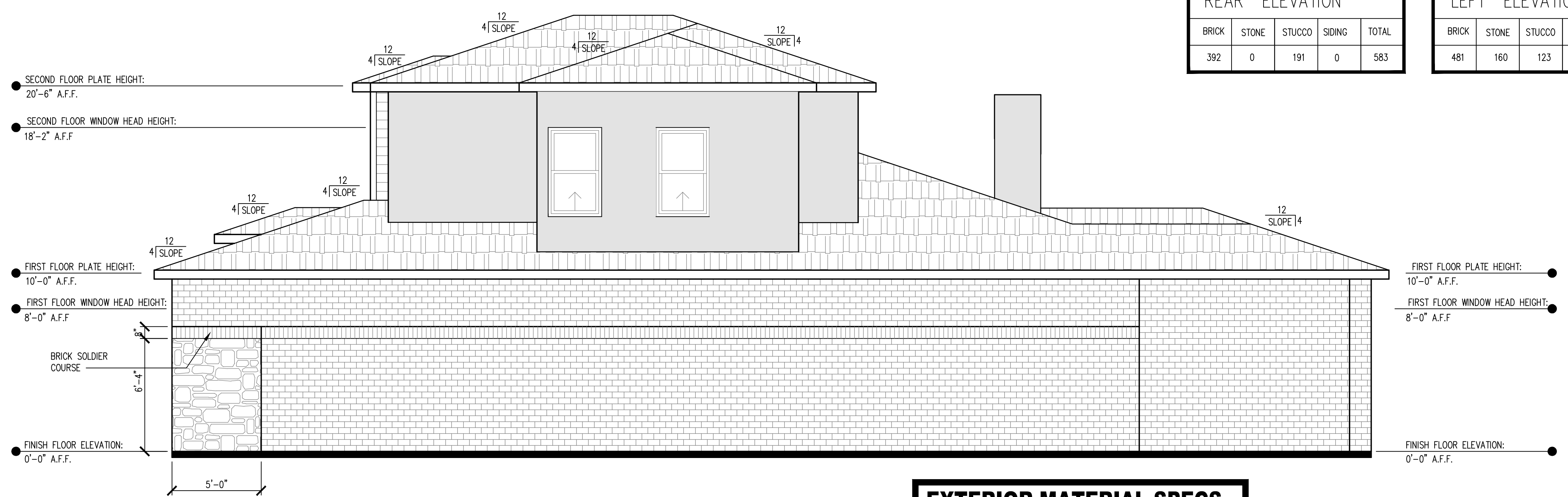
TOTAL		FROM ALL 4 ELEVATIONS		
BRICK	STONE	STUCCO	SIDING	TOTAL
1,714	334	632	157	2837
60.42	11.77%	22.28	5.53	100%

FRONT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
144	139	124	47	454

RIGHT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
697	35	194	6	932

REAR ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
392	0	191	0	583

LEFT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
481	160	123	104	868



**RIGHT ELEVATION**  
1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

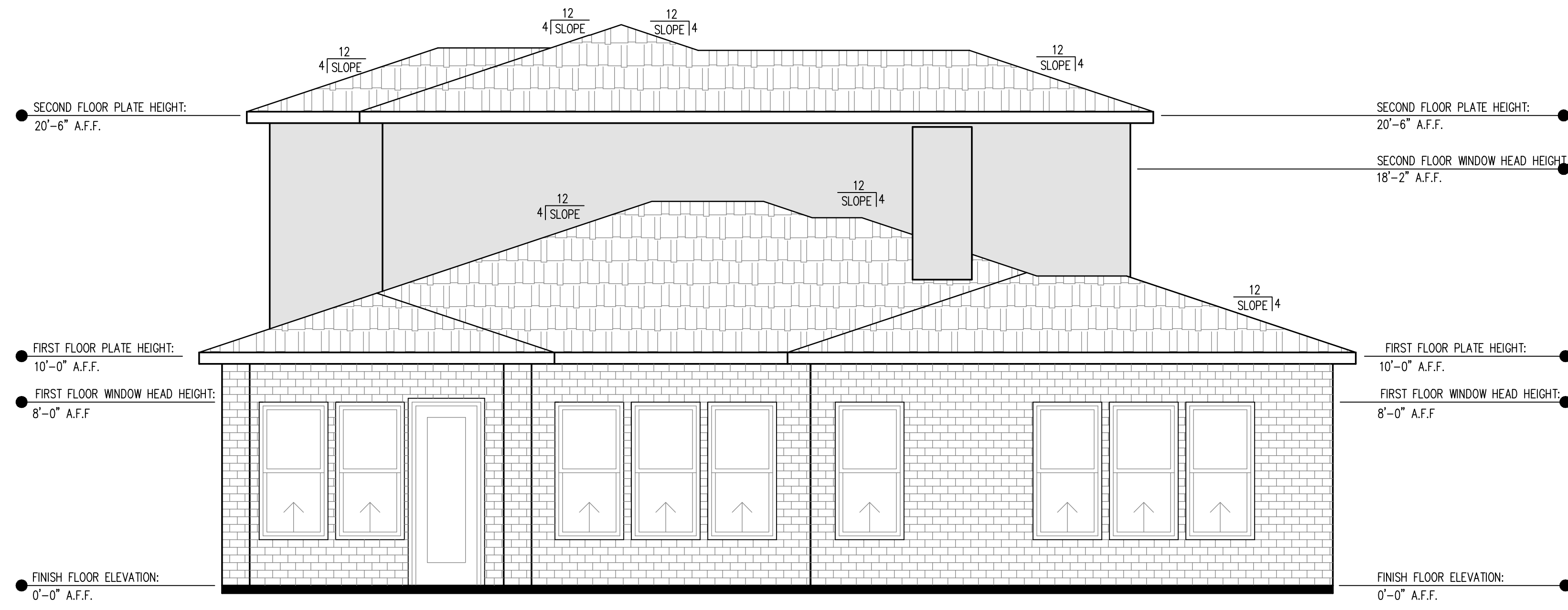
**PROJECT**  
**104 RELIANCE COURT**  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

**SHEET NAME**  
**EXTERIOR ELEVATIONS "A"**

**SCALE:**  
1/4"=1'-0"  
**DATE:**  
7-22-2021  
**DRAWN BY:**  
AEG  
**CHECKED BY:**  
AEG  
**SHEET NUMBER:**  
**A-6**

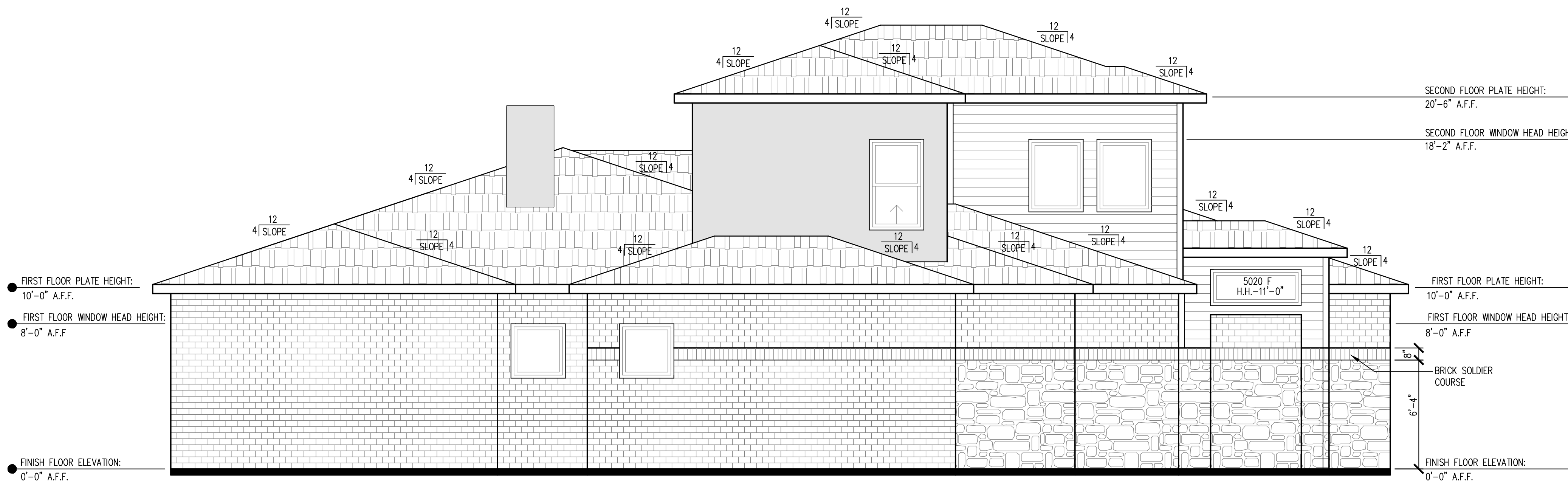




**REAR ELEVATION**

1/4"=1'-0"

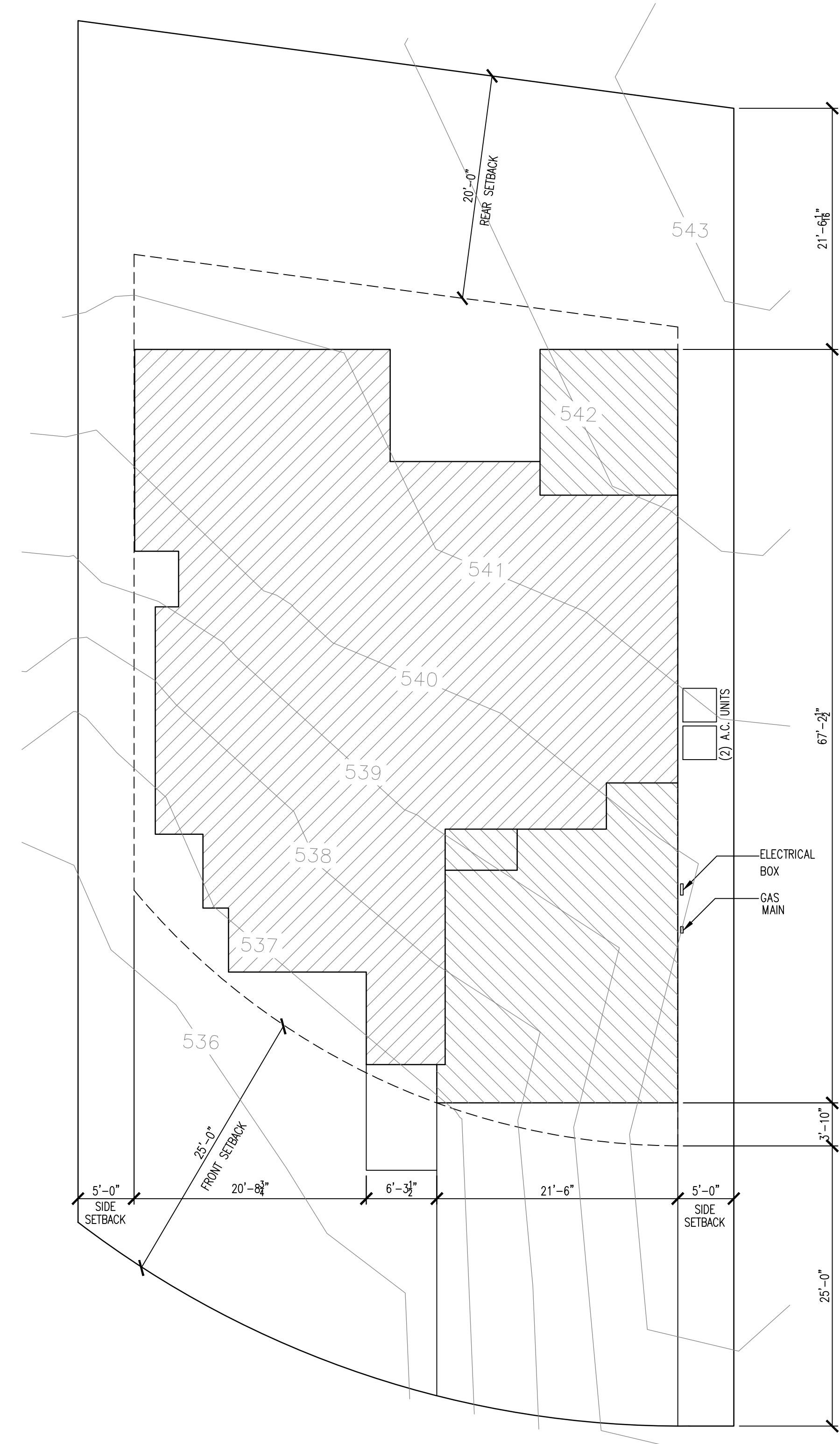
**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK



**LEFT ELEVATION**

1/4"=1'-0"

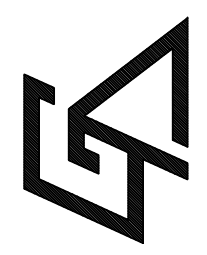
**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK



**SLAB PROFILE ON SITE PLAN**  
SCALE: 1/8"=1'-0"

- NOTES:
1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. ALLEN GUSTAVSON IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.
  2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
  3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
  4. LOT COVERAGE CALCULATIONS:  
LOT SIZE: 6797 SQUARE FEET  
COVERAGE: 2716 SQUARE FEET  
(INCLUDES ONLY SLAB COVERAGE)  
TOTAL ROOF COVERAGE OF LOT IS 39.96%

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com



PROJECT  
**LOT #21**  
HEATH GOLF & YACHT CLUB  
HEATH, TEXAS

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

SHEET NAME  
**SLAB PROFILE PLAN**

SCALE:  
1/8"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-8**

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1465-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 28, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ed Cavendish for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1465-acre parcel of land being described as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF SEPTEMBER, 2021.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 16, 2021

2<sup>nd</sup> Reading: September 7, 2021

**Exhibit 'A'**  
*Location Map and Survey*

Address: 104 Reliance Court

Legal Description: Lot 28, Block A, Chandler's Landing, Phase 20

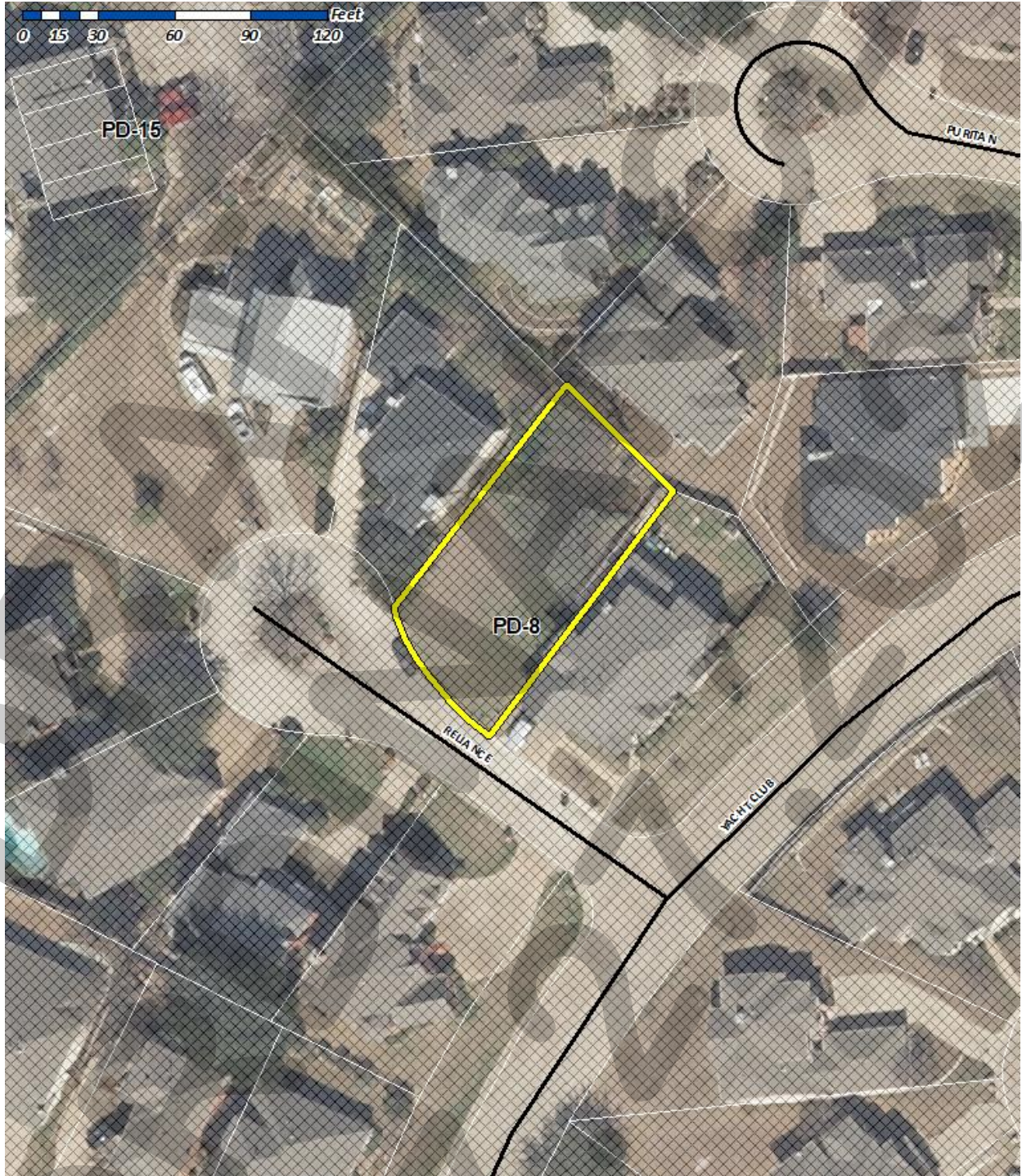
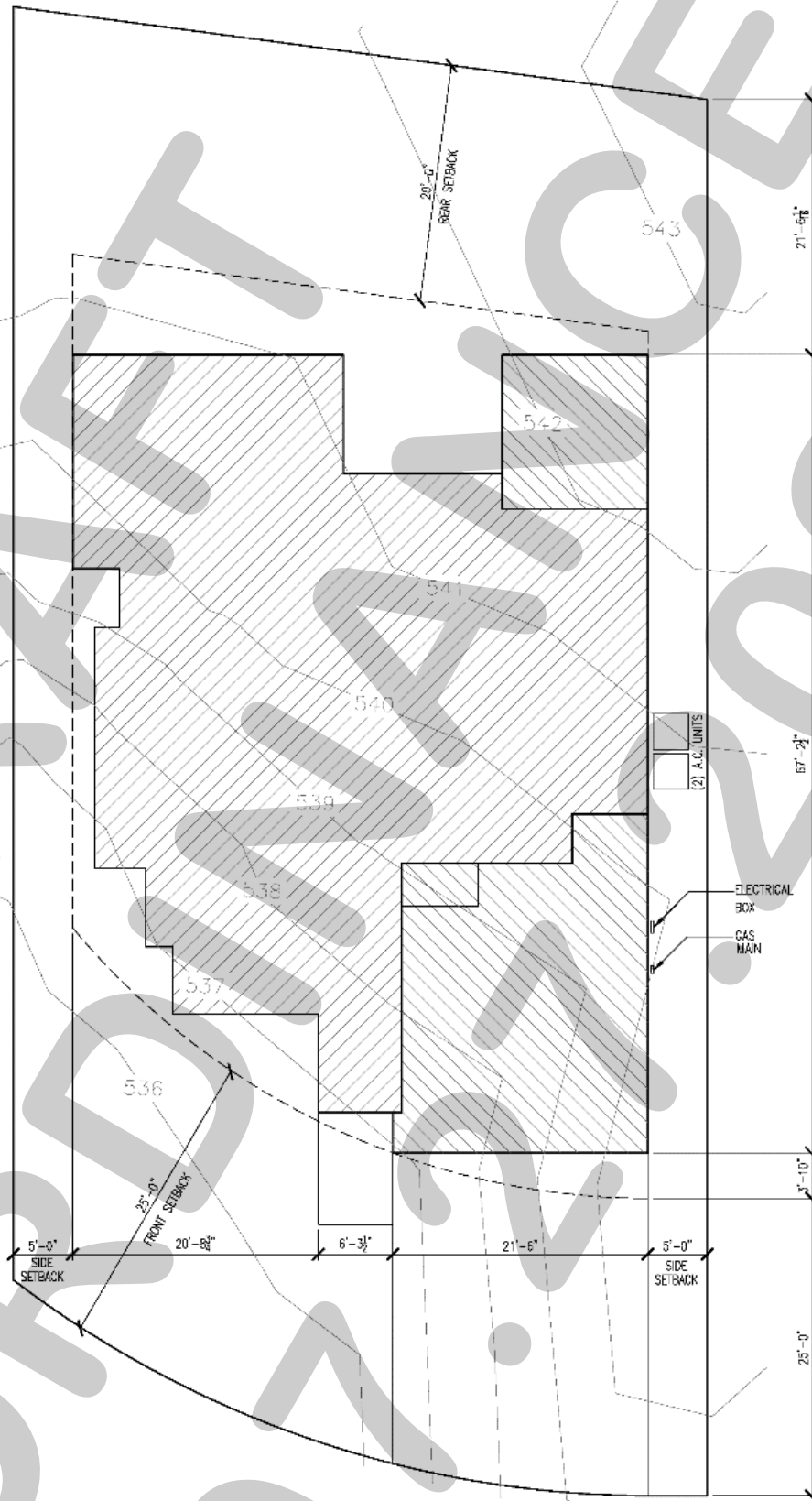
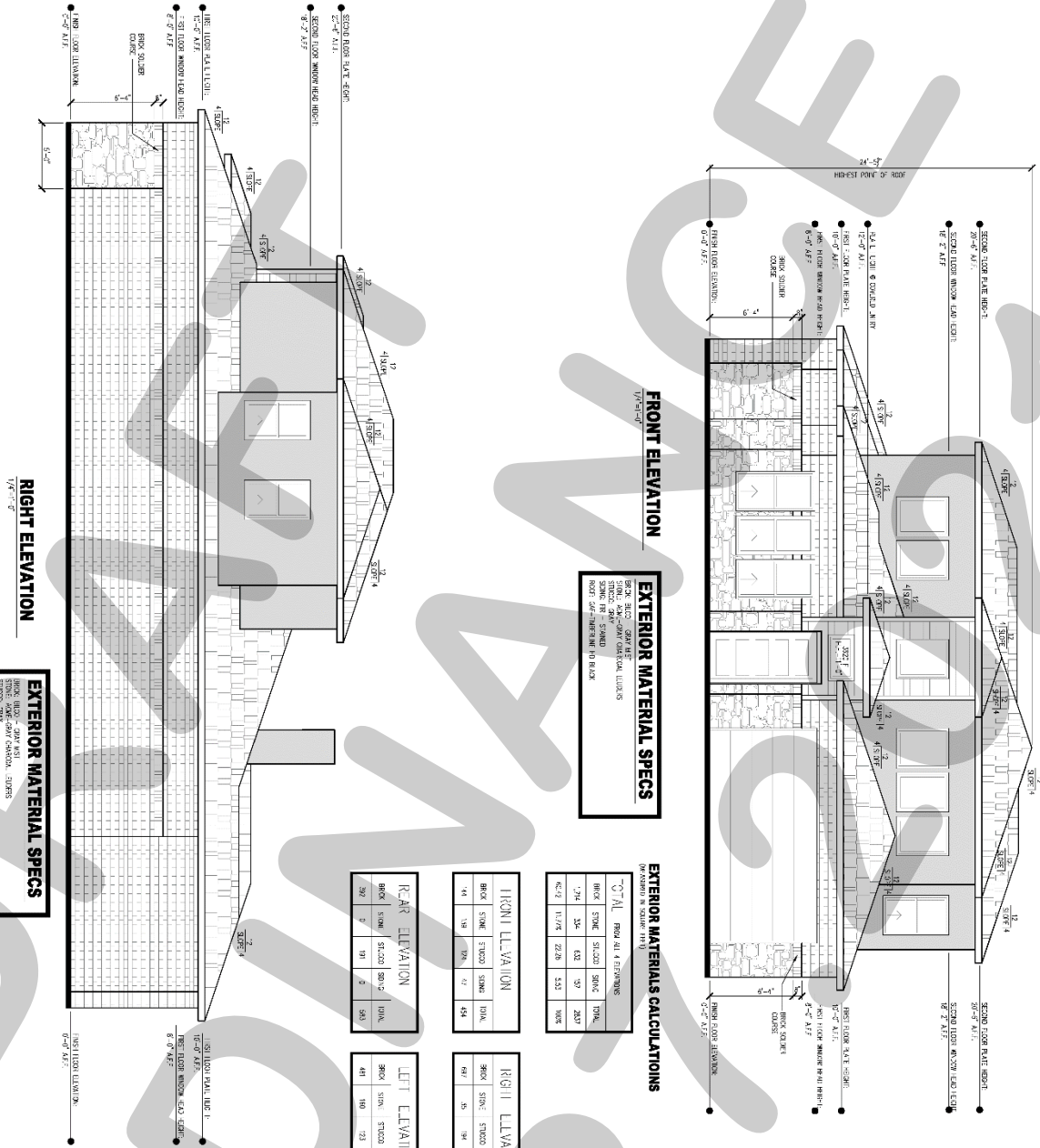


Exhibit 'B':  
Residential Plot Plan



# Exhibit 'C': Building Elevations









# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** August 10, 2021  
**APPLICANT:** Ed Cavendish; *Cavendish Homes*  
**CASE NUMBER:** Z2021-029; *Specific Use Permit (SUP) for a Residential Infill for 104 Reliance Court*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465- acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision were later approved on July 2, 1985. This established the subject property as Lot 28, Block A, Chandler's Landing, Phase 20. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

### PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 104 Reliance Court. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e. 106 Reliance Court and 124, 126, and 128 Puritan Court*) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is Single Ridge Place, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Signal Ridge Phase 1 subdivision, which consists of 37 townhomes on 4.39-acres and is zoned Planned Development District 15 (PD-15) for *condominium* land uses.

South: Directly south of the subject property is a 0.1558-acre parcel of land (*i.e. 102 Reliance Court*) developed with a single-family home and zoned Planned Development District 8 (PD-8). Beyond this is the intersection of Reliance Court and Yacht Club Drive. Reliance Court is identified as a *R2 (residential, two [2] lane, undivided roadway)* and Yacht Club Drive is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Chandler's Landing Phase 16 subdivision, which consists of 46 single-family homes on 13-acres.

East: Directly east of the subject property are three (3) parcels of land (i.e. 128 Puritan Court and 101& 103 Mayflower Court) developed with single-family homes. Beyond this is the intersection Mayflower Court and Yacht Club Drive. Mayflower Court is identified as a R2 (residential, two [2] lane, undivided roadway) and Yacht Club Drive is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Reliance Court, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (i.e. 105, 107, and 108 Reliance Court) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is the Signal Ridge Phase 2 subdivision, which consists of 57 townhomes on 3.98-acres and is zoned Planned Development District 15 (PD-15) for condominium land uses.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 20 of the Chandler’s Landing Subdivision, which has been in existence since 1985 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Reliance Court compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Reliance Court	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Reliance Court are oriented towards Reliance Court.	The front elevation of the home will face onto Reliance Court.
Year Built	1994-2012	N/A
Building SF on Property	1,875 SF – 3,652 SF	[Estimated] 2,716 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Stone, Brick, Fir Siding, and Stucco
Paint and Color	White, Cream, Red, Beige, and Brown	Gray
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Reliance Court with the orientations being <i>flat front entry, garage forward entry, side entry, and ‘J’ or traditional swing entry.</i>	The garage will be situated 10.75-feet in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home by 10.75-feet. Staff should point out that since the construction range for housing in this area extends from 1994-2012, the houses in this area already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*); this aspect is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Reliance Court and the proposed building elevations in the attached packet.

## **NOTIFICATIONS**

On July 27, 2021, staff mailed 208 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water’s Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista, and Chandler’s Landing Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

104 RECLAMER CT

SUBDIVISION

CHANDLER LAUNDRY

LOT

28

BLOCK

A

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

CAVENDISH HOMES

ED CAVENDISH

1017 NATIVE TR

HEATH TX 75032

214-202-4667

EDCAVENDISH@CCHOMES.NET

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ed Cavendish [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

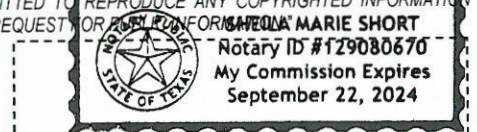
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR SUCH INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF July, 2021

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Shale Marie Short*



MY COMMISSION EXPIRES 9/22/2024



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

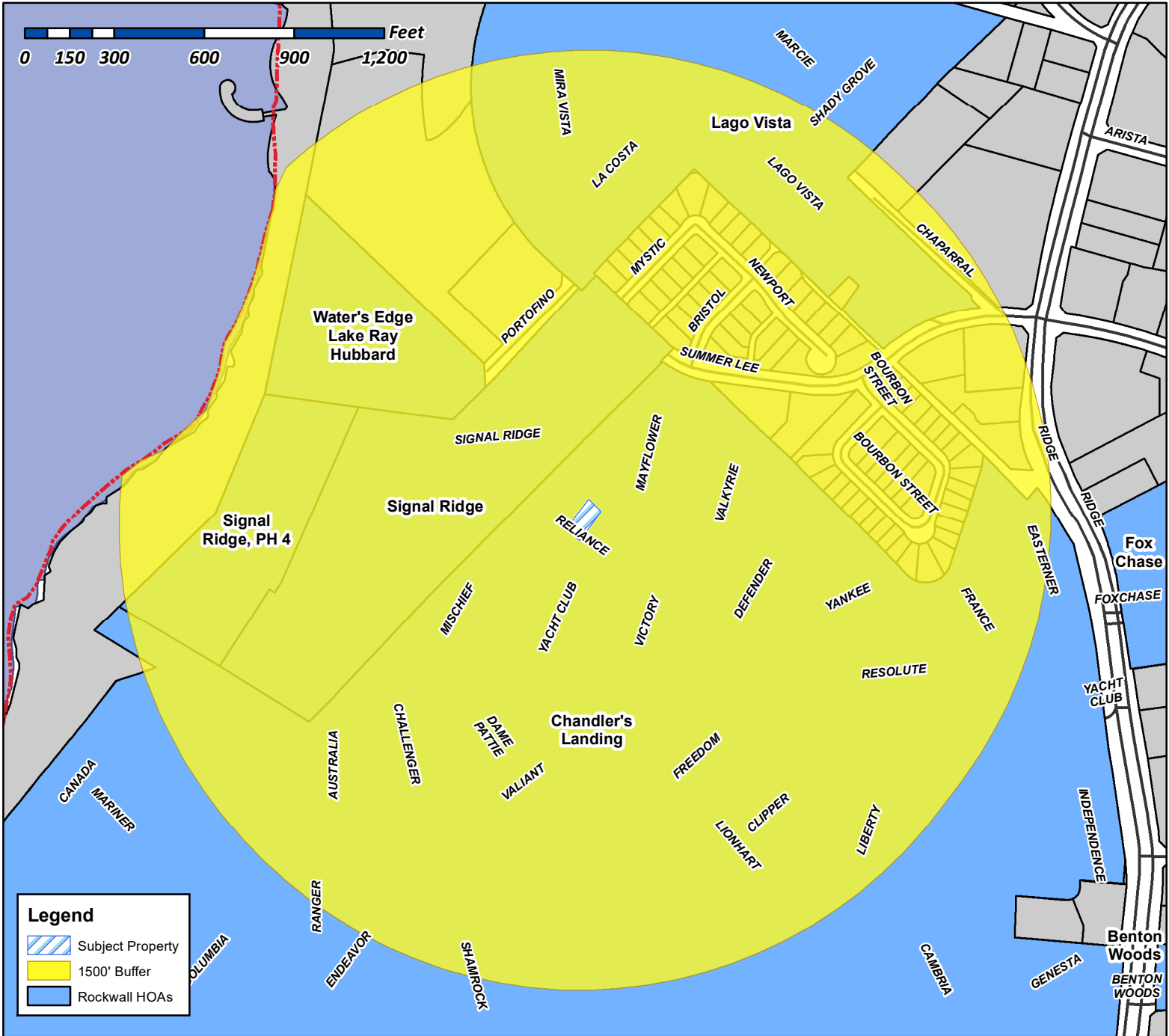




# City of Rockwall

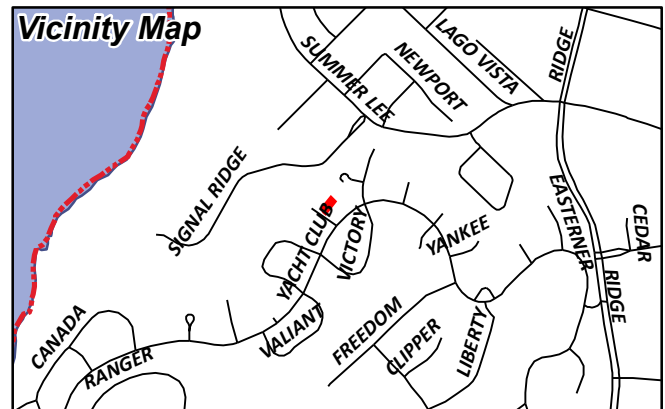
Planning & Zoning Department  
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**Case Number:** Z2021-029  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
**For Questions on this Case Call** (972) 771-7745



## Lee, Henry

---

**From:** Gamez, Angelica  
**Sent:** Monday, July 26, 2021 11:52 AM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2021-029]  
**Attachments:** HOA Map Z2021-029.pdf; Public Notice (07.26.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *July 23, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 10, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 16, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2021-029 Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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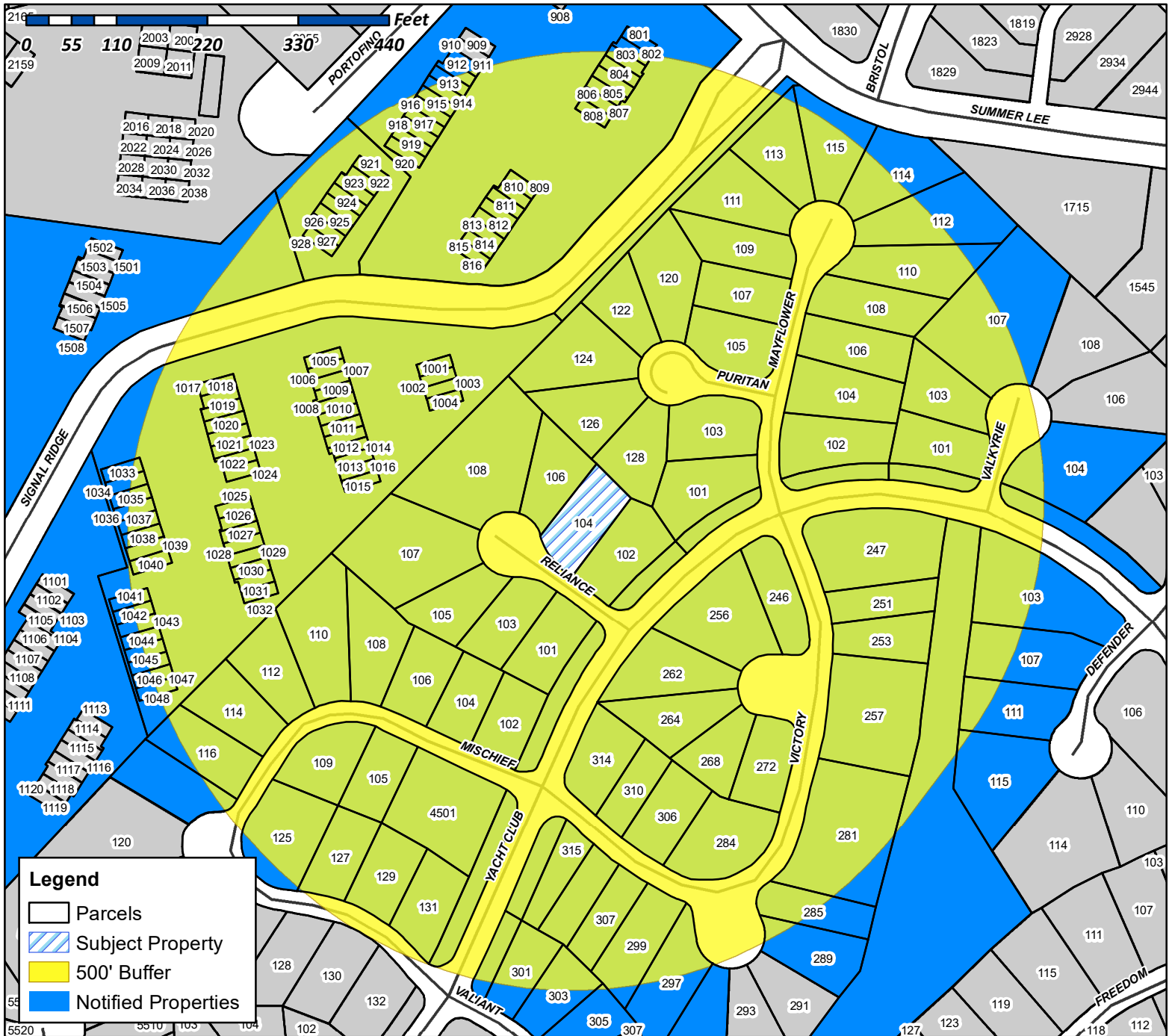




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**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
**For Questions on this Case Call (972) 771-7745**



SIGNAL RIDGE OWNERS ASSOCIATION  
1000 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DWYER REX ETUX AMY  
1001 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL  
1002 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
1003 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BLANKINSHIP TERRI  
1004 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MARICH ENTERPRISE CORPORATION  
1005 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

SEPEHRI SUSAN M  
1006 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BROYLES STEPHANIE  
1007 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN  
1008 SIGNAL RIDGE  
ROCKWALL, TX 75032

MIEROW SHARON A  
1009 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA  
101 MAYFLOWER CT  
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R  
101 RELIANCE CT  
ROCKWALL, TX 75032

WELCH JANIS M  
101 VALKYRIE PL  
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S  
1010 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

FOREMAN JANET  
1011 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R  
1012 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MOORE GREGORY J  
1013 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSON ASHLEY  
1014 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

GRAGG CAROL  
1016 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
1017 NATIVE TR  
HEATH, TX 75032

GARDNER DAVID L REV LIV TR  
1017 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TROTTER STEVEN D  
1018 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
1019 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HARRELL STEVEN R AND ROBERTA J  
102 MAYFLOWER CT  
ROCKWALL, TX 75032

HALL JASON & CORI  
102 MISCHIEF LN  
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE  
102 RELIANCE COURT  
ROCKWALL, TX 75032

WAGNER JULIE A  
1020 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1021 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA  
1022 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
1023 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VAIL SYDNEY  
1024 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCMURTRE DREW  
1025 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WHITE RANDY  
1026 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCPARTLAND MARY C  
1027 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ALVARADO KRESHA  
1028 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE  
1029 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CEPAK JANET BAIN  
103 DEFENDER COURT  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
103 GROSS RD BLDG A  
MESQUITE, TX 75149

2019-1 IH BORROWER LP  
103 MAYFLOWER CT  
ROCKWALL, TX 75032

SINCLAIR SUE AND  
JEREMY LEE SINCLAIR  
103 RELIANCE CT  
ROCKWALL, TX 75032

HALAMA STEFAN & ANN  
103 VALKYRIE PL  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
1030 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
1031 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PERROTTA SHARON  
1032 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSTON SHARRON  
1033 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON  
1034 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
1035 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRYOR MICA MALONEY  
1036 SIGNAL RIDGE PLACE #1036  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
1037 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
1038 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
1039 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YATES KIMBERLY  
104 MAYFLOWER COURT  
ROCKWALL, TX 75032

CARR LORI  
104 MISCHIEF LN  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
104 RELIANCE CT  
ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL  
104 VALKYRIE PLACE  
ROCKWALL, TX 75032

ARMSTRONG D  
1040 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1041 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG D  
1042 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

NICHOLS JANET  
1043 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TRINGALI CAHTERINE  
1044 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

KILGORE MADISON  
1045 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YANGER LISA  
1046 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
1047 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ZAJDL SALLY A  
1048 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

OCONNOR MICHAEL  
105 MAYFLOWER CT  
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES  
105 MISCHIEF LN  
ROCKWALL, TX 75032

HAYES BRANDON  
105 RELIANCE CT  
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO  
LLC  
106 MAYFLOWER CT  
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA  
106 MISCHIEF LANE  
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE  
106 RELIANCE CT  
ROCKWALL, TX 75032

ROARK BOBBIE ETAL  
107 DEFENDER CT  
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER  
107 MAYFLOWER CT  
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-  
GILBREATH  
107 RELIANCE CT  
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D  
107 VALKYRIE PL  
ROCKWALL, TX 75032

LONG JOHN AND LINDSAY  
108 MAYFLOWER CT  
ROCKWALL, TX 75032

CARRILLO VICTOR G  
108 MISCHIEF LN  
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY  
108 RELIANCE CT  
ROCKWALL, TX 75032

NORTEX PROPERTIES INC  
% JOSEPH L ZEHR  
10808 LA CABREAH LN  
FORT WAYNE, IN 46845

LYONS ELIZABETH  
109 MAYFLOWER COURT  
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE  
109 MISCHIEF LN  
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J  
110 MAYFLOWER CT  
ROCKWALL, TX 75032

DILOV VANIO  
110 MISCHIEF LN  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
1105 51ST ST W  
BRADENTON, FL 34209

STEBBINS GREGORY & KRISTEN  
111 DEFENDER CT  
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C  
111 MAYFLOWER CT  
ROCKWALL, TX 75032

PHILLIPS LOVIE  
1110 VAIL COURT  
ROCKWALL, TX 75087

FAIRCHILD REVOCABLE LIVING TRUST  
112 MAYFLOWER CT  
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K  
112 MISCHIEF LANE  
ROCKWALL, TX 75032

CASTRO CRISTINA  
113 MAYFLOWER CT  
ROCKWALL, TX 75032

FAIRCHILD CARL F & TONI A TRUSTEES  
FAIRCHILD JOINT REVOCABLE LIVING TRUST  
114 MAYFLOWER CT  
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J  
114 MISCHIEF LANE  
ROCKWALL, TX 75032

WEBSTER LIDIA  
115 DEFENDER CT  
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J  
115 MAYFLOWER CT  
ROCKWALL, TX 75032

LETT LORNA  
116 MISCHIEF LN  
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J  
120 PURITAN CT  
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1213 STONEWALL TRL  
ROCKWALL, TX 75032

HOLDER TOM  
122 PURITAN CT  
ROCKWALL, TX 75032

POTISKA PATRICIA  
124 PURITAN CT  
ROCKWALL, TX 75032

ODOM LACEY AND JOSH  
125 MISCHIEF LN  
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY  
126 PURITAN CT  
ROCKWALL, TX 75032

MARTIN NAN YI  
127 MICHIEF LANE  
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B  
REV LIVING TRUST AGREEMENT  
128 PURITAN CT  
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J  
129 MISCHIEF LANE  
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D  
131 MISCHIEF LANE  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
145 WESTON CT  
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE  
1501 S LAKESHORE DR  
ROCKWALL, TX 75087

COLLINS FAMILY TRUST  
EWELL D COLLINS AND JENNIFER R TRUSTEES  
1512 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

MEDINA ALEJANDRO  
1800 DALROCK #100  
ROWLETT, TX 75088

DWA EQUITIES LLC  
1802 SIGNAL RIDGE  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1910 SIGNAL RIDGE  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
2001 SPRING RD SUITE 700  
OAK BROOK, IL 60523

MOORE GREGORY J  
2140 PORTOFINO DR  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
2215 ARRINGTON ST  
DURHAM, NC 27707

ODOM LACEY AND JOSH  
2402 YACHT CLUB DR  
ROCKWALL, TX 75032

PARRISH WENDY R  
246 VICTORY LN  
ROCKWALL, TX 75032

GATZKE LISA AND JAMES  
247 VICTORY LANE  
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE  
251 VICTORY LN  
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY  
253 VICTORY LN  
ROCKWALL, TX 75032

TONA CHAD J & MARTI  
256 VICTORY LANE  
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
257 VICTORYLN  
ROCKWALL, TX 75032

HANSEN J D & PATRICIA  
262 VICTORY LN  
ROCKWALL, TX 75032

2019-1 IH BORROWER LP  
264 VICTORYLN  
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN  
268 VICTORY LN  
ROCKWALL, TX 75032

DILOV VANIO  
2717 LAKEWOOD DR  
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON  
272 VICTORY LN  
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L  
2752 E FM 552  
ROCKWALL, TX 75087

BURKETT MARY REBECCA EASON  
277 TERRY LN  
HEATH, TX 75032

WILLIAMS ROBERT C  
281 VICTORY LN  
ROCKWALL, TX 75032

HALL JASON M & CORI M  
284 VICTORY LN  
ROCKWALL, TX 75032

BROWN TERRI LYNN  
285 VICTORY LN  
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L  
289 VICTORY LN  
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE  
291 VICTORY LANE  
ROCKWALL, TX 75032

BAILEY RONALD C ET UX  
2919 COUNTRY PLACE CIR  
CARROLLTON, TX 75006

SEEDS DAVID R  
2961 S CHERRY WAY  
DENVER, CO 80222

LYNN JASON AND DANIELLE  
297 VICTORYLN  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
2977 OAK DR  
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE  
299 VICTORY LN  
ROCKWALL, TX 75032

MCMURTRE DREW  
3000 TWIN LAKES DR  
PROSPER, TX 75078

STOUFFER AMY JACKSON AND MITCH  
301 VALIANT  
ROCKWALL, TX 75032

WARD ANDREA N  
303 VALIANT DRIVE  
ROCKWALL, TX 75032

DEAL ROBERT  
305 VALIANT DRIVE  
ROCKWALL, TX 75032

MCMINN KIMBERLY  
306 VICTORYLN  
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC  
30601 AGOURA RD SUITE 200  
AGOURA HILLS, CA 91301

AMERICAN HOMES 4 RENT PROPERTIES TWO  
LLC  
30601 AGOURA ROAD SUITE 200  
AGOURA HILLS, CA 91301

MCNAIR KELLY  
307 VICTORY LN  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

AMH 2014-2 BORROWER LLC  
310 VICTORYLN  
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY  
314 VICTORY LN  
ROCKWALL, TX 75032

LOREDO SARAHI  
315 VICTORY LN  
ROCKWALL, TX 75032

SINCLAIR SUE AND  
JEREMY LEE SINCLAIR  
32 LAKEWAY DRIVE  
HEATH, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
331 MOCKINGBIRD LN  
AUBURN, AL 36830

RUBENSTEIN ALAN J AND  
GINA L STRICKLIN  
4501 YACHT CLUB DR  
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR  
520 TERRY W  
HEATH, TX 75032

LOGAN PAULINE K  
554 VZ COUNTY ROAD 2139  
CANTON, TX 75103

DWYER REX ETUX AMY  
6101 VOLUNTEER PL  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
643 TURTLE COVE BLVD  
ROCKWALL, TX 75087

HYATT FAMILY TRUST  
JAMES T HYATT- TRUSTEE  
6525 NORTH FLY IN LAKE RD  
ATHENS, TX 75751

ALVARADO KRESHA  
710 BRAZOS WAY  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
801 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

LONON DEBORAH J  
802 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR  
803 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
804 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PATTON ROXANNE LOUISE & KURTIS LEE  
805 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE  
TRUST  
RAYMOND B & PHYLLIS F WALKER TRUSTEES  
806 SIGNAL RIDGE PLACE UNIT 806  
ROCKWALL, TX 75032

POPP LEILA  
807 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R  
808 SIGNAL RIDGE  
ROCKWALL, TX 75032

HART DARIN AND RANDI  
809 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RENNER BEVERLY  
810 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MEDINA ALEJANDRO  
811 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

LOGAN PAULINE K  
812 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DUNN FAMILY LOVING TRUST  
ALMA JEAN DUNN- TRUSTEE  
813 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BRASHEARS KARI  
814 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ANDREW JONATHON  
815 SIGNAL RIDGE  
ROCKWALL, TX 75032

HYATT FAMILY TRUST  
JAMES T HYATT- TRUSTEE  
816 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

SHEPHERD ADDIE  
911 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

WHITE DEBORAH  
912 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DISMUKE JAMIE M  
913 SIGNAL RIDGE PLACE #913  
ROCKWALL, TX 75032

CARTER DAVID  
914 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

COLLINS FAMILY TRUST  
EWELL D COLLINS AND JENNIFER R TRUSTEES  
915 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L  
916 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DEZEE CAROLE H  
917 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DASILVA JOHN M  
918 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
919 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

INZILLO FRANCA  
920 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
921 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MURRAY NORMA C  
922 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DWA EQUITIES LLC  
923 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

BAILEY RONALD C ET UX  
924 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GREEN MAUREEN  
925 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PHILLIPS LOVIE  
926 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
927 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
928 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GREEN MAUREEN  
945 BREEZY HILL LANE  
ROCKWALL, TX 75087

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
P.O. BOX 2195  
TELLURIDE, CO 81435

MCMINN KIMBERLY  
PMB 239 11654 PLAZA AMERICA DR  
RESTON, VA 20190

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
PO BOX 1179  
ROCKWALL, TX 75087

RENNER BEVERLY  
PO BOX 2121  
QUINLAN, TX 75474

MARICH ENTERPRISE CORPORATION  
PO BOX 2319  
ROCKWALL, TX 75087

DASILVA JOHN M  
PO BOX 2601  
ROWLETT, TX 75030

WHITTLE & JOHNSON CUSTOM HOMES INC  
PO BOX 369  
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC  
PO BOX 638  
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
PO BOX 743612  
DALLAS, TX 75374

RUSH MAJOR  
PO BOX 760794  
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S  
PO BOX 850225  
MESQUITE, TX 75185



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2021-029: Specific Use Permit for Residential Infill**

*Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 10, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2021-029: Specific Use Permit for Residential Infill**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

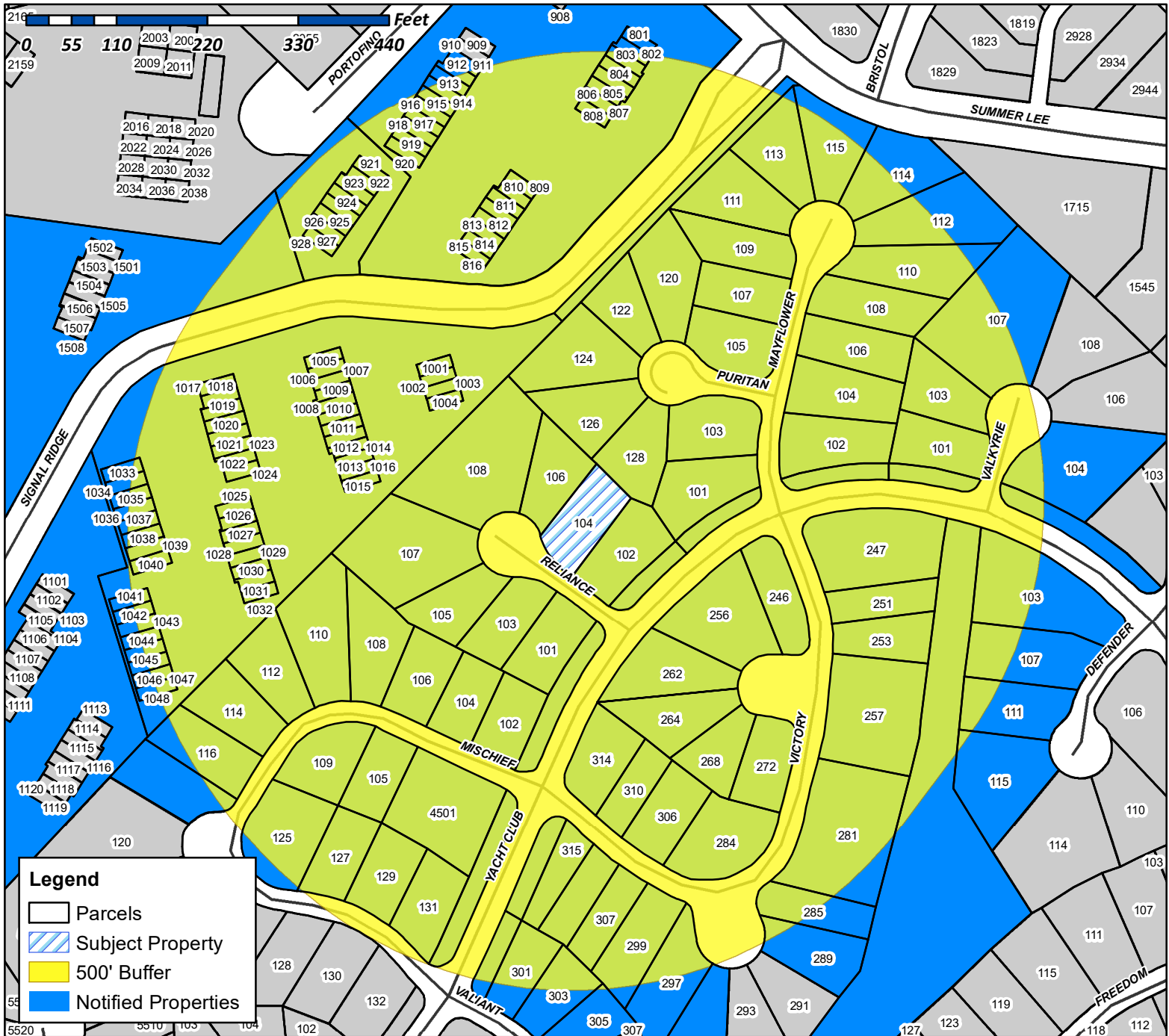
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

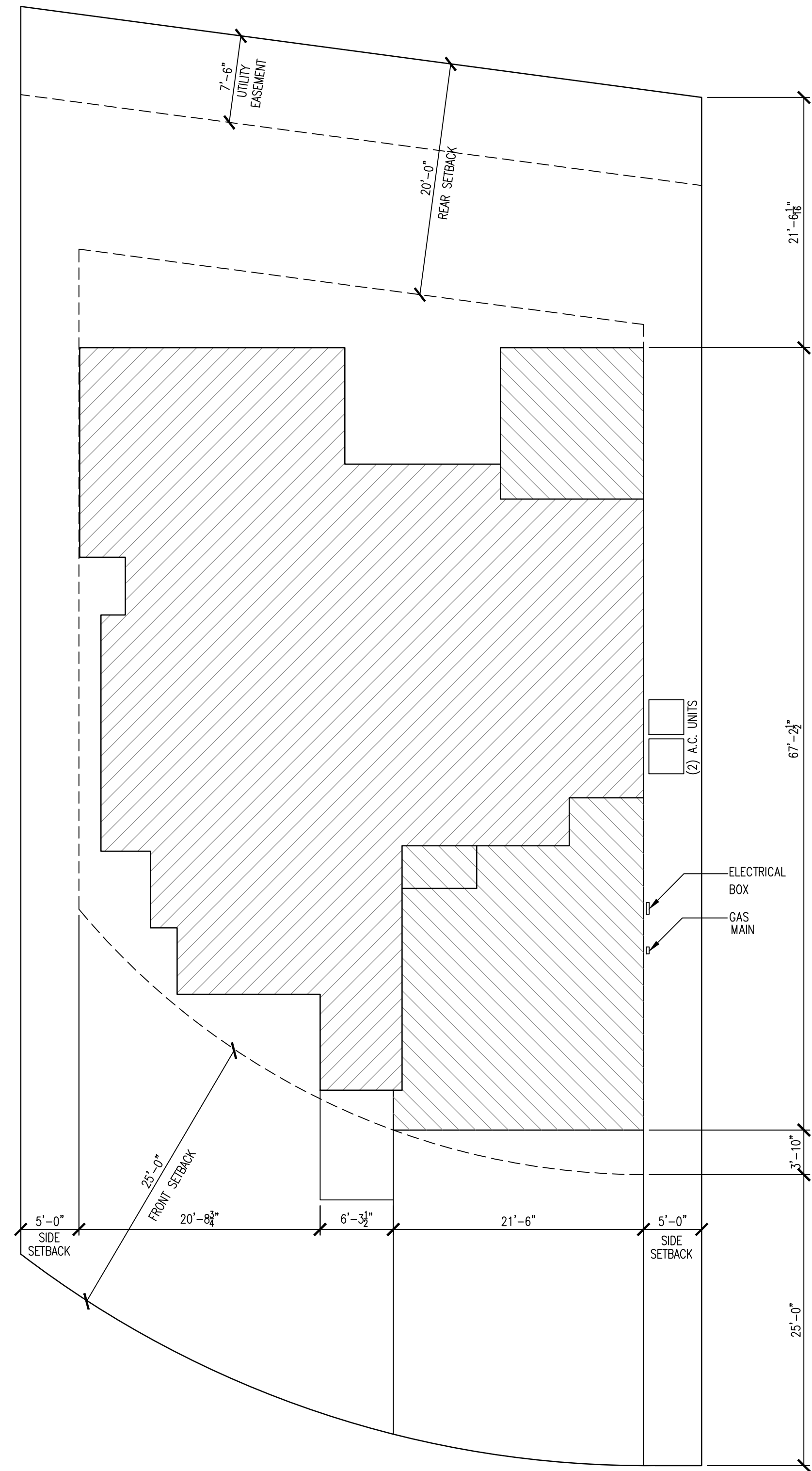
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2021-029  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
 For Questions on this Case Call (972) 771-7745



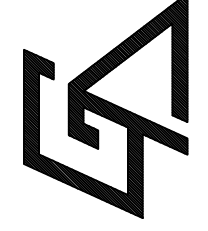


**SLAB PROFILE ON SITE PLAN**

SCALE: 1/8"=1'-0"

- NOTES:
1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. ALLEN GUSTAVSON IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.
  2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
  3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
  4. LOT COVERAGE CALCULATIONS:  
 LOT SIZE: 6797 SQUARE FEET  
 COVERAGE: 2716 SQUARE FEET  
 (INCLUDES ONLY SLAB COVERAGE)  
 TOTAL ROOF COVERAGE OF LOT IS 39.96%

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

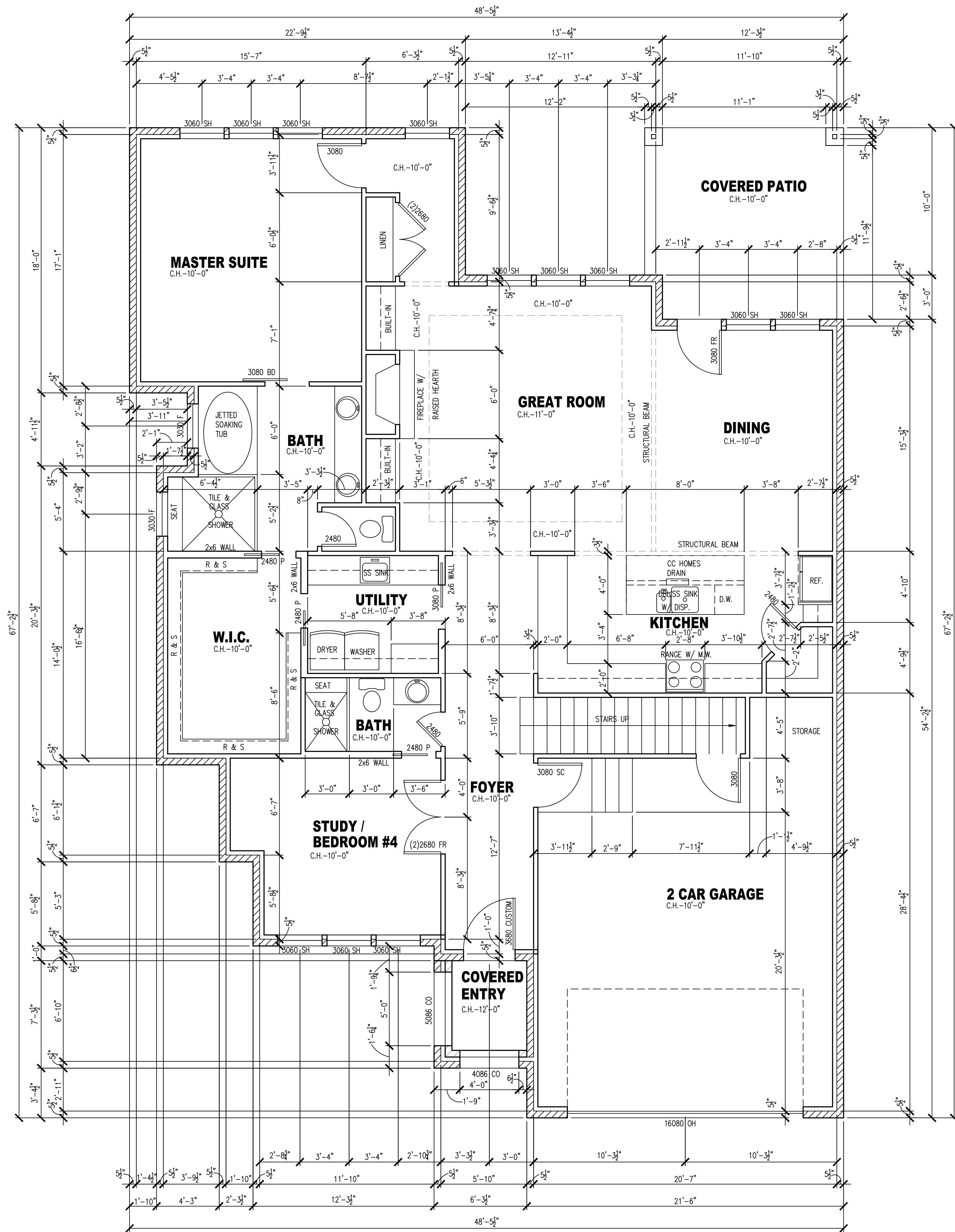


PROJECT  
**LOT #21**  
 HEATH GOLF & YACHT CLUB  
 HEATH, TEXAS

BUILDER  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

SHEET NAME  
**SLAB PROFILE PLAN**

SCALE:  
 1/8"=1'-0"  
 DATE:  
 7-22-2021  
 DRAWN BY:  
 AEG  
 CHECKED BY:  
 AEG  
 SHEET NUMBER:  
**A-8**



SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR A.C.:	1,926
SECOND FLOOR A.C.:	675
TOTAL A.C.:	2,601
COVERED ENTRY:	53
COVERED PATIO :	184
GARAGE :	549
MECHANICAL ROOM:	57
TOTAL S.F. UNDER ROOF: 3,444	

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

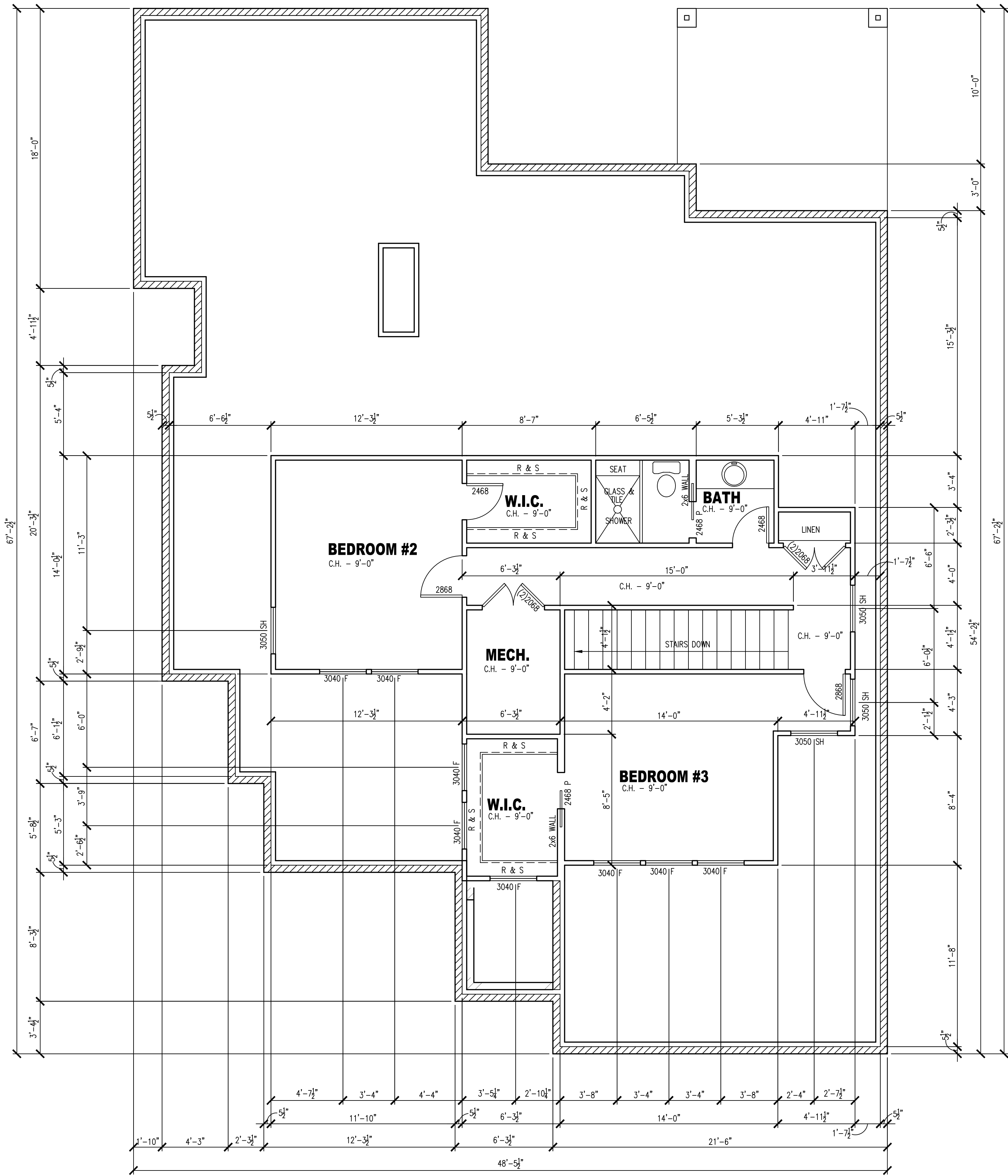


**PROJECT**  
**104 RELIANCE COURT**  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

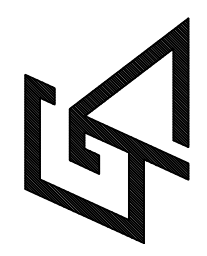
**SHEET NAME**  
**FIRST FLOOR PLAN**

**SCALE:**  
 1/4"=1'-0"  
**DATE:**  
 7-22-2021  
**DRAWN BY:**  
 AEG  
**CHECKED BY:**  
 AEG  
**SHEET NUMBER:**  
**A-1**



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com



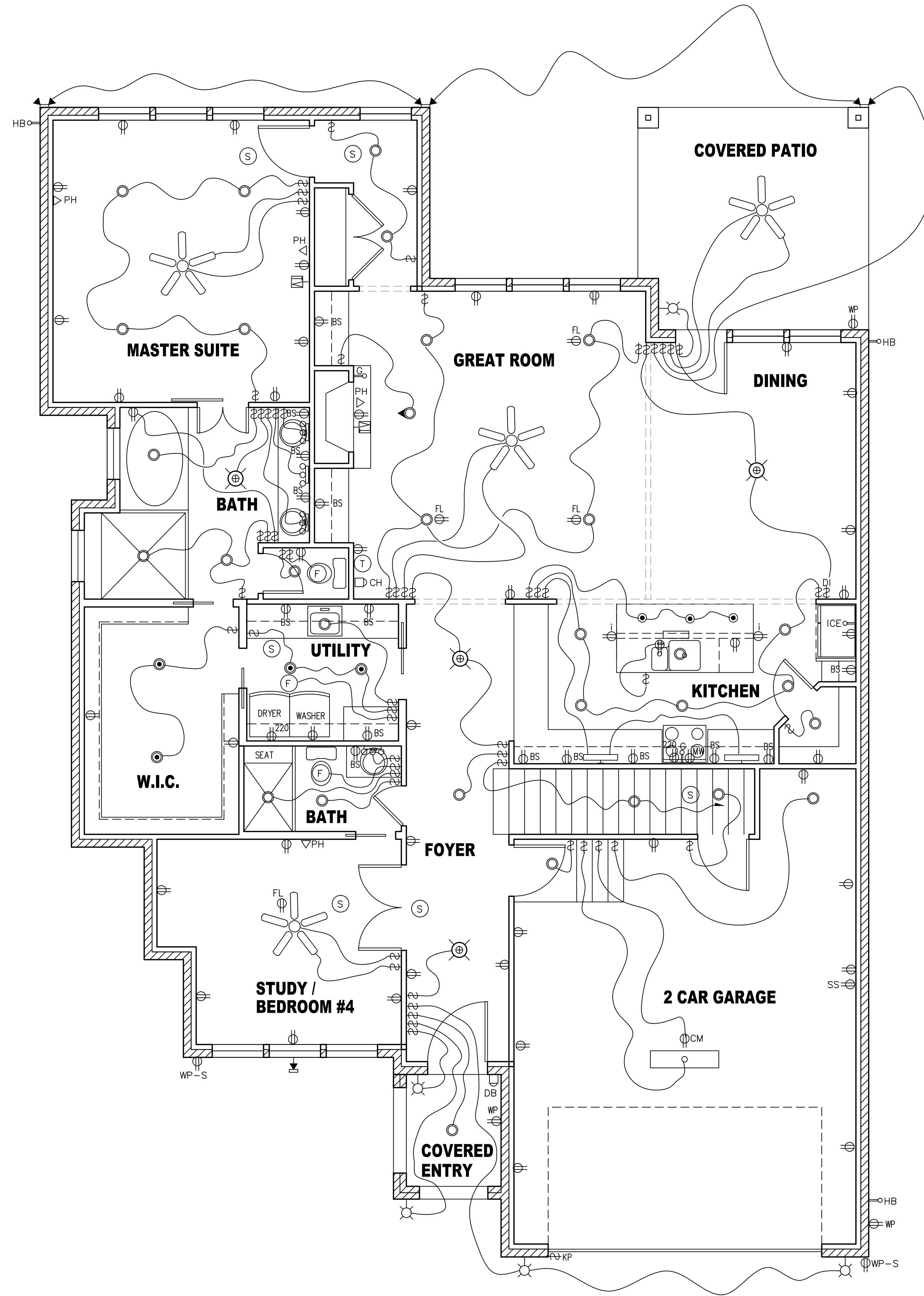
**PROJECT**  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

**SHEET NAME**  
**SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"  
DATE: 7-22-2021  
DRAWN BY: AEG  
CHECKED BY: AEG  
SHEET NUMBER: **A-2**

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WP-S WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WP WATER PROOF OUTLET
	CM 110 VOLT - CEILING MOUNTED OUTLET
	i 110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	v 110 VOLT - STOVE TOP VENT
	ICE ICE MAKER WATER SUPPLY
	HB FROST PROOF HOSE BIB
	G GAS OUTLET
	CH DOOR BELL CHIME
	DB DOOR BELL
	T THERMOSTAT
	S SMOKE / CARBON MONOXIDE DETECTOR
	C-5 CATEGORY 5 NETWORK JACK
	CO CABLE OUTLET
	PH PHONE OUTLET
	TG TOGGLE SWITCH
	NT NON-TOGGLE SWITCH
	DA DOOR ACTIVATED SWITCH
	DI DIMMER SWITCH
	KP KEY PAD SWITCH
	F EXHAUST FAN
	PCP POOL CONTROL PANEL



**FIRST FLOOR UTILITY PLAN**  
SCALE: 1/4"=1'-0"

GUSTAVSON & ASSOCIATES  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

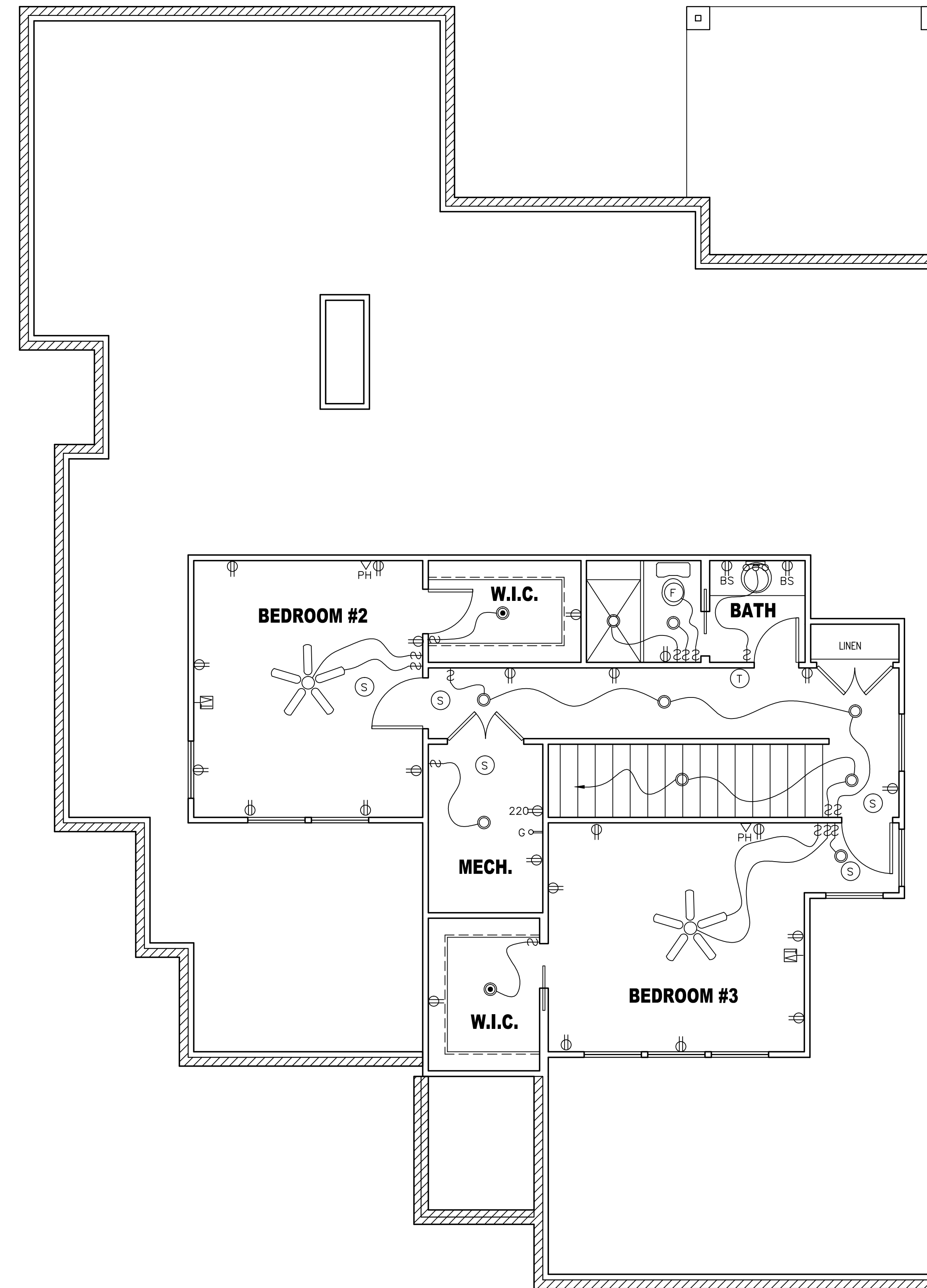
PROJECT  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

SHEET NAME  
**FIRST FLOOR UTILITY PLAN**

SCALE:  
1/4"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-3**

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
FL	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WATER PROOF OUTLET
	110 VOLT - CEILING MOUNTED OUTLET
	110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	110 VOLT - STOVE TOP VENT
	ICE MAKER WATER SUPPLY
	FROST PROOF HOSE BIB
	GAS OUTLET
	DOOR BELL CHIME
	DOOR BELL
	THERMOSTAT
	SMOKE / CARBON MONOXIDE DETECTOR
	CATEGORY 5 NETWORK JACK
	CABLE OUTLET
	PHONE OUTLET
	TOGGLE SWITCH
	NON-TOGGLE SWITCH
	DOOR ACTIVATED SWITCH
	DIMMER SWITCH
	KEY PAD SWITCH
	EXHAUST FAN
	POOL CONTROL PANEL



**SECOND FLOOR UTILITY LAYOUT PLAN**  
SCALE: 1/4"=1'-0"

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

**PROJECT**  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

**SHEET NAME**  
**SECOND FLOOR UTILITY PLAN**

SCALE:  
1/4"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-4**



**FRONT ELEVATION**  
1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

**EXTERIOR MATERIALS CALCULATIONS**  
(MEASURED IN SQUARE FEET)

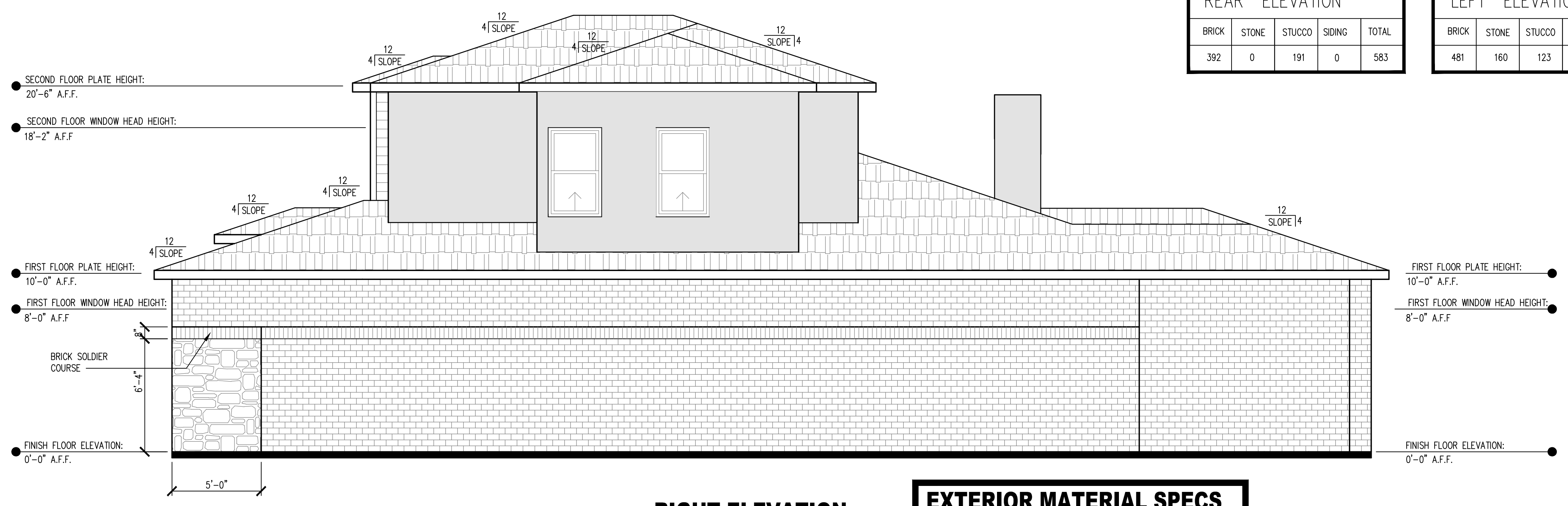
TOTAL		FROM ALL 4 ELEVATIONS		
BRICK	STONE	STUCCO	SIDING	TOTAL
1,714	334	632	157	2837
60.42	11.77%	22.28	5.53	100%

FRONT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
144	139	124	47	454

RIGHT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
697	35	194	6	932

REAR ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
392	0	191	0	583

LEFT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
481	160	123	104	868



**RIGHT ELEVATION**  
1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

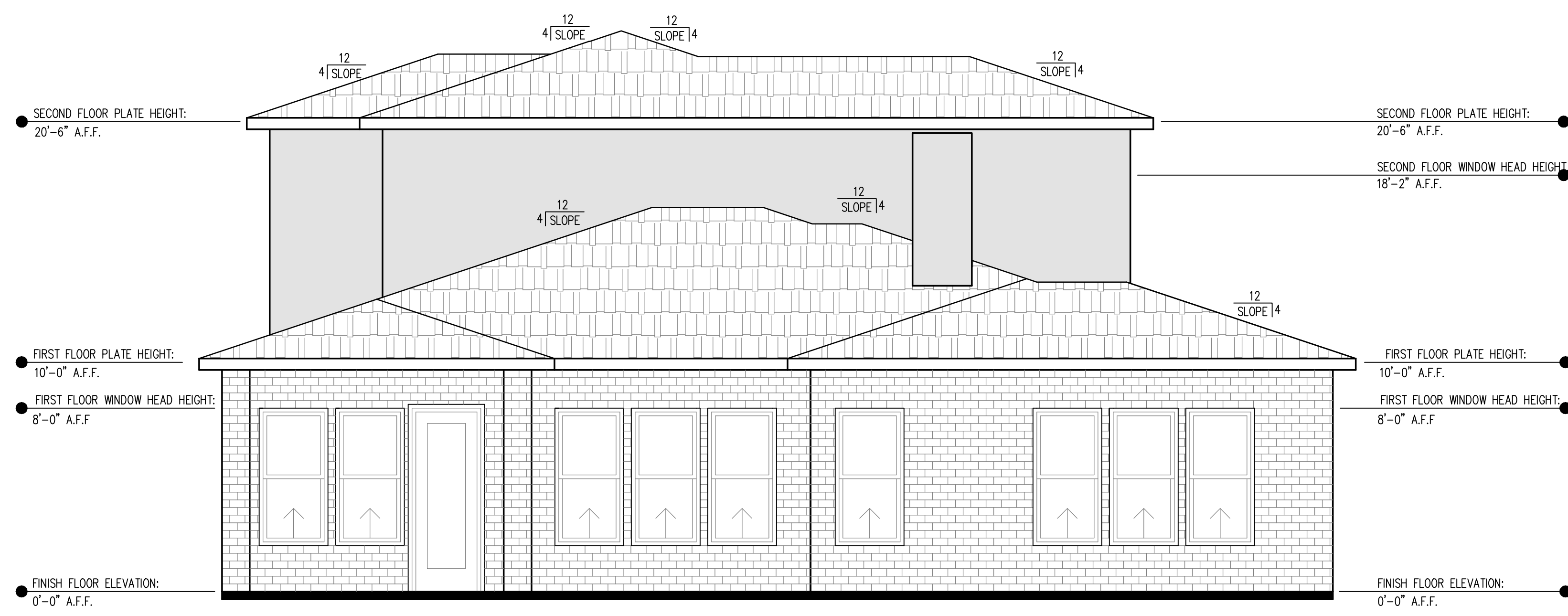
**PROJECT**  
**104 RELIANCE COURT**  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

**SHEET NAME**  
**EXTERIOR ELEVATIONS "A"**

**SCALE:**  
1/4"=1'-0"  
**DATE:**  
7-22-2021  
**DRAWN BY:**  
AEG  
**CHECKED BY:**  
AEG  
**SHEET NUMBER:**  
**A-6**



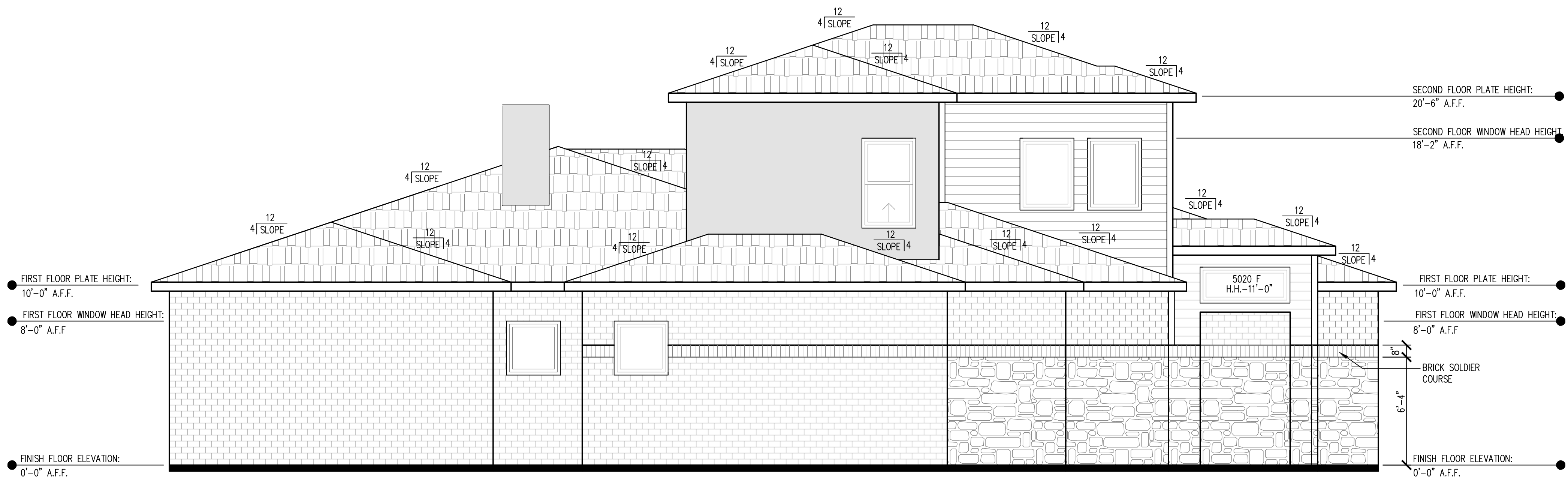


**REAR ELEVATION**

1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**

BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

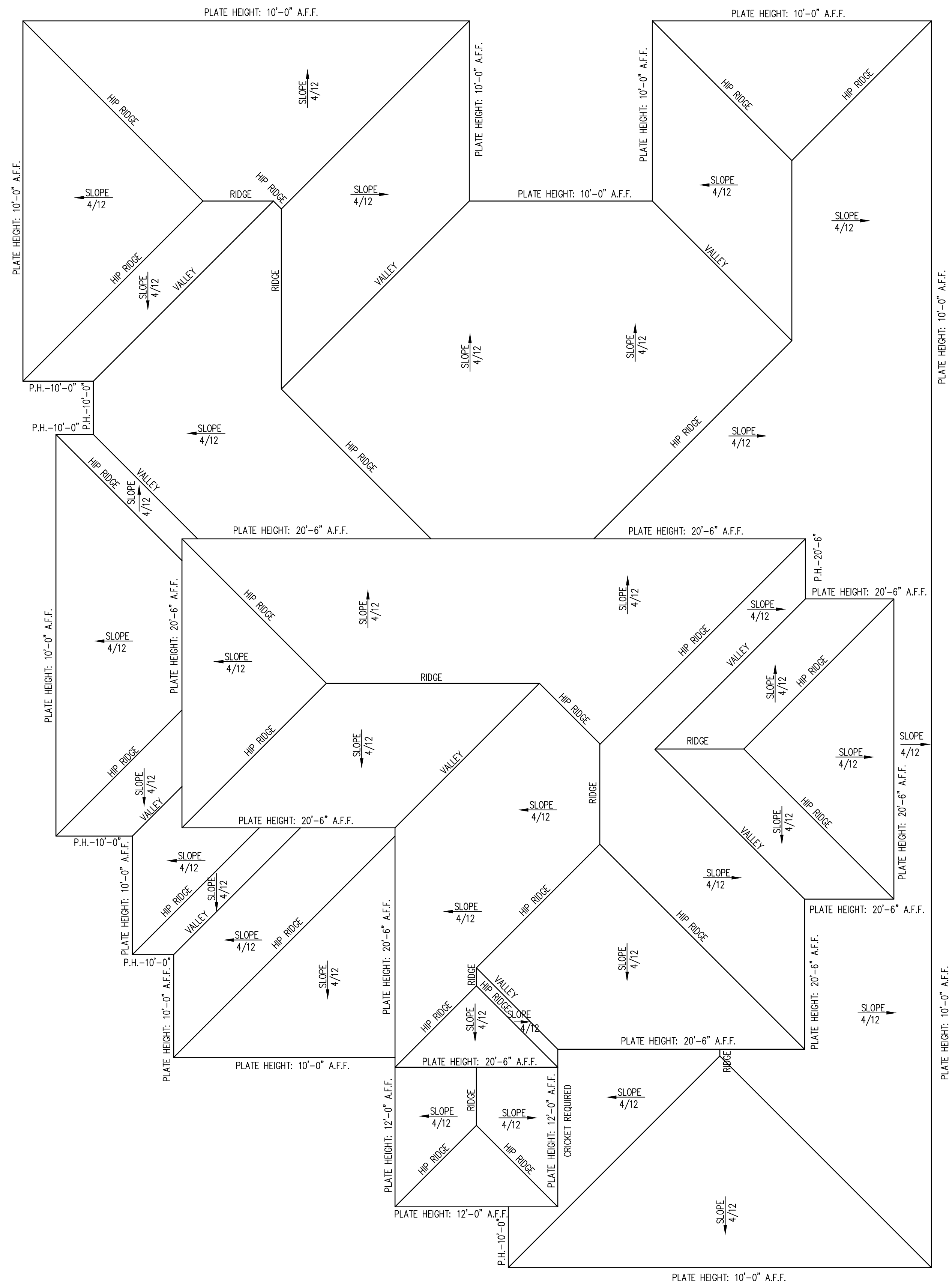


**LEFT ELEVATION**

1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**

BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK



**ROOF LINE PLAN**

1/4"=1'-0"

**NOTES:**

1. CONTRACTOR SHALL PROVIDE FULL GUTTER AND DOWNSPOUTS.
2. ALL ROOF OVERHANGS SHALL BE 1'-0"

SHEET NAME  
**ROOF LINE PLAN**

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

PROJECT  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

GUSTAVSON & ASSOCIATES  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

SCALE:  
1/4"=1'-0"  
DATE:  
1-30-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:

**A-5**

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
101 Reliance Court	Single-Family Home	1994	2,530	N/A	Brick
102 Reliance Court	Single-Family Home	2012	3,652	N/A	Stone
103 Reliance Court	Single-Family Home	1994	1,875	N/A	Brick
104 Reliance Court	<i>Subject Property</i>				
105 Reliance Court	Single-Family Home	1995	2,829	N/A	Brick
106 Reliance Court	Single-Family Home	2000	2,434	N/A	Stucco
107 Reliance Court	Single-Family Home	1994	3,101	N/A	Brick
108 Reliance Court	Single-Family Home	1994	2,538	N/A	Brick
Averages:		1998	2,708		



101 Reliance Court



102 Reliance Court



103 Reliance Court



105 Reliance Court



106 Reliance Court



107 Reliance Court



108 Reliance Court

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1465-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 28, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ed Cavendish for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1465-acre parcel of land being described as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in



Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF SEPTEMBER, 2021.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 16, 2021

2<sup>nd</sup> Reading: September 7, 2021

**Exhibit 'A'**  
*Location Map and Survey*

Address: 104 Reliance Court

Legal Description: Lot 28, Block A, Chandler's Landing, Phase 20

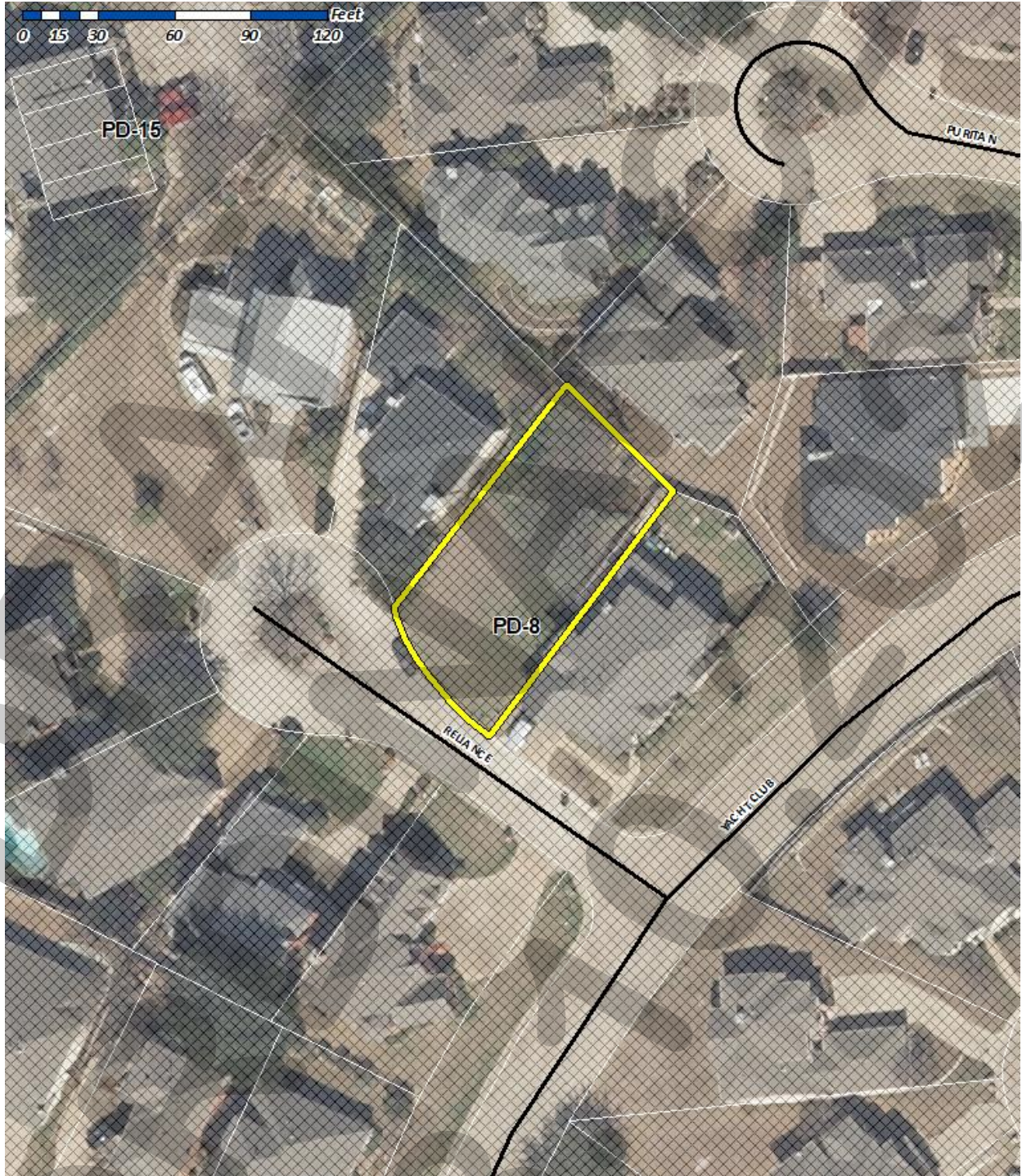
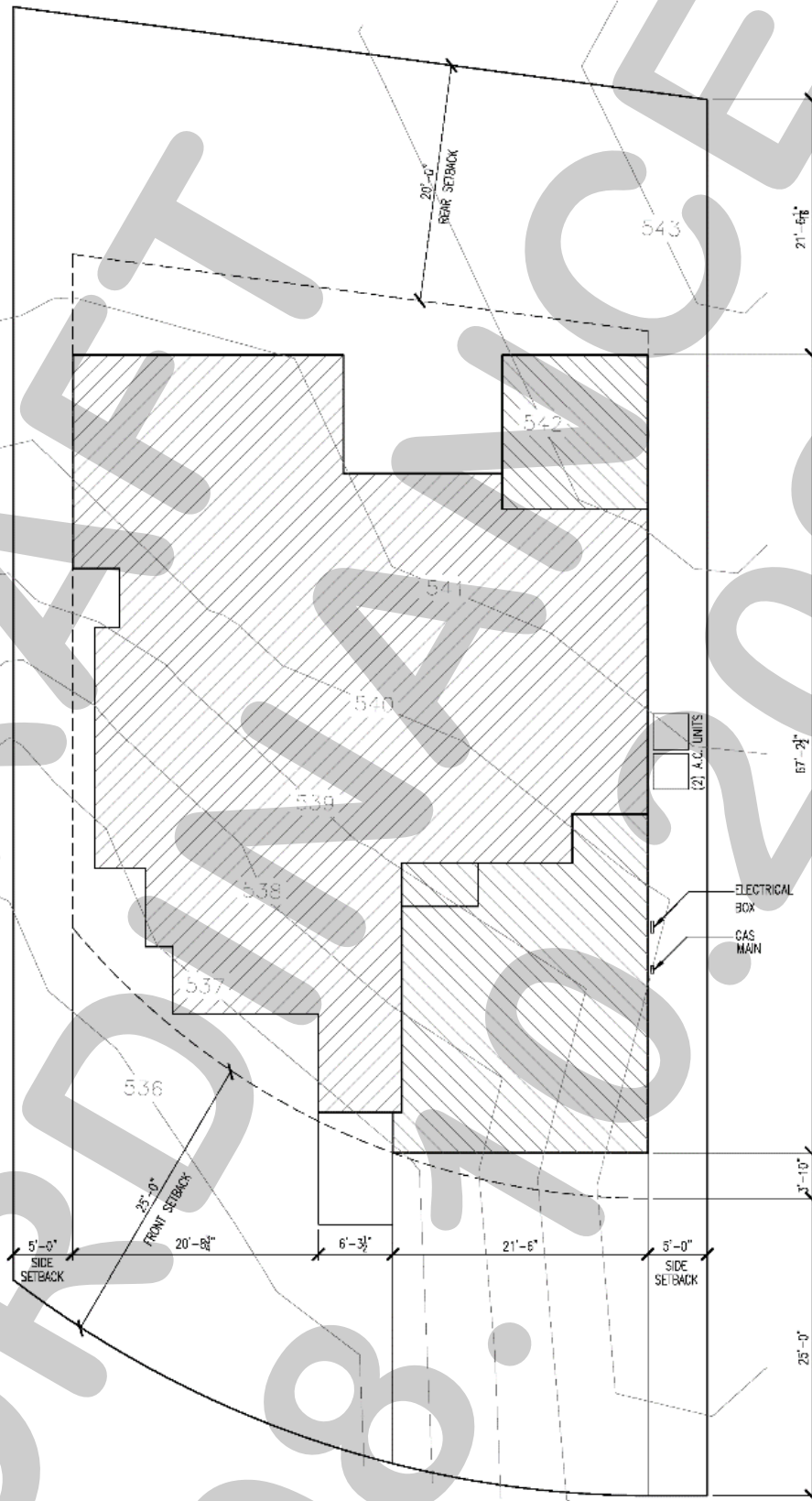
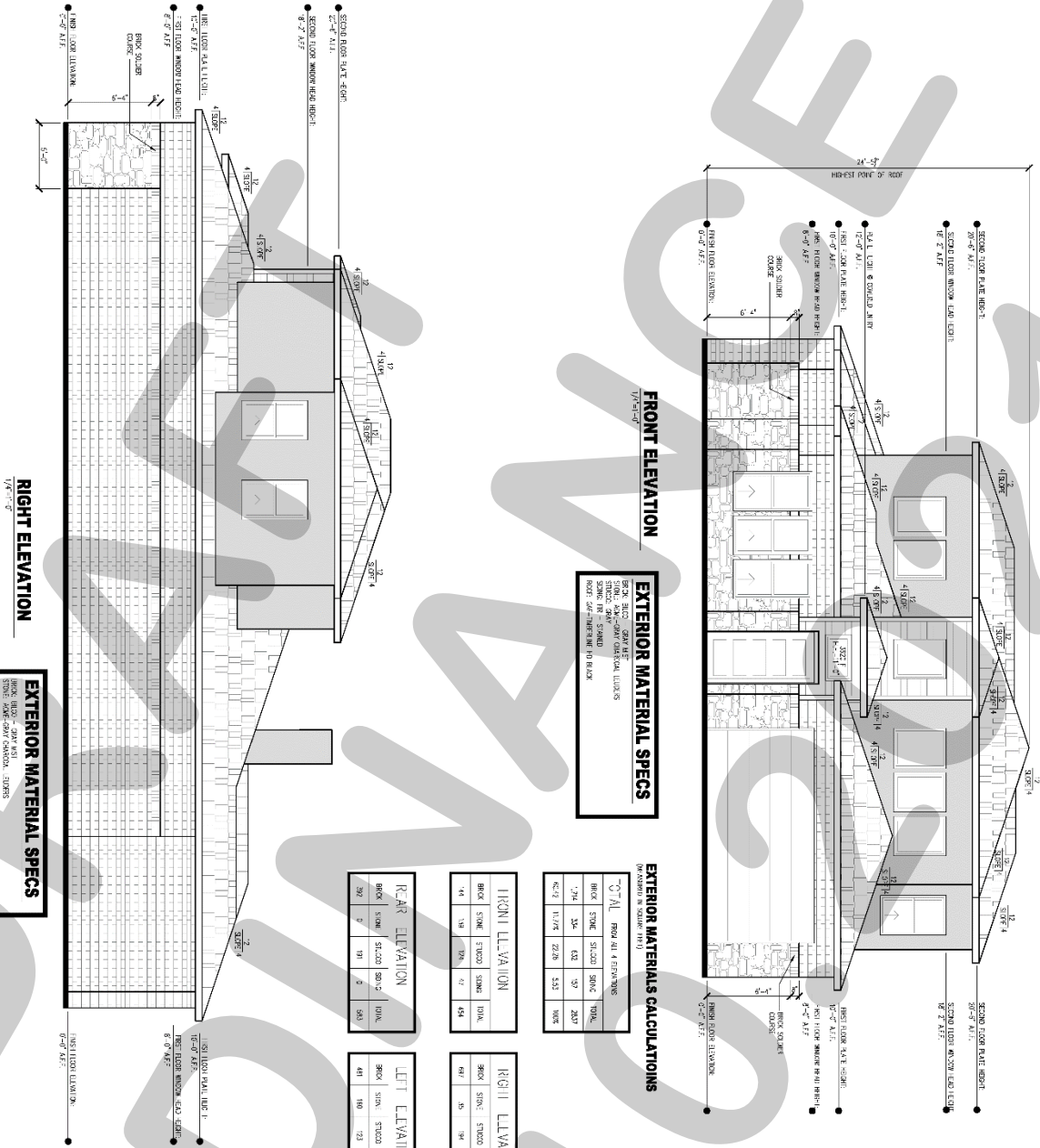


Exhibit 'B':  
Residential Plot Plan



# Exhibit 'C': Building Elevations







# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** August 16, 2021  
**APPLICANT:** Ed Cavendish; *Cavendish Homes*  
**CASE NUMBER:** Z2021-029; *Specific Use Permit (SUP) for a Residential Infill for 104 Reliance Court*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465- acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision were later approved on July 2, 1985. This established the subject property as Lot 28, Block A, Chandler's Landing, Phase 20. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

### PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 104 Reliance Court. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e. 106 Reliance Court and 124, 126, and 128 Puritan Court*) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is Single Ridge Place, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Signal Ridge Phase 1 subdivision, which consists of 37 townhomes on 4.39-acres and is zoned Planned Development District 15 (PD-15) for *condominium* land uses.

South: Directly south of the subject property is a 0.1558-acre parcel of land (*i.e. 102 Reliance Court*) developed with a single-family home and zoned Planned Development District 8 (PD-8). Beyond this is the intersection of Reliance Court and Yacht Club Drive. Reliance Court is identified as a *R2 (residential, two [2] lane, undivided roadway)* and Yacht Club Drive is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Chandler's Landing Phase 16 subdivision, which consists of 46 single-family homes on 13-acres.

East: Directly east of the subject property are three (3) parcels of land (i.e. 128 Puritan Court and 101& 103 Mayflower Court) developed with single-family homes. Beyond this is the intersection Mayflower Court and Yacht Club Drive. Mayflower Court is identified as a R2 (residential, two [2] lane, undivided roadway) and Yacht Club Drive is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Reliance Court, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (i.e. 105, 107, and 108 Reliance Court) developed with single-family homes and zoned Planned Development District 8 (PD-8). Beyond this is the Signal Ridge Phase 2 subdivision, which consists of 57 townhomes on 3.98-acres and is zoned Planned Development District 15 (PD-15) for condominium land uses.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 20 of the Chandler’s Landing Subdivision, which has been in existence since 1985 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Reliance Court compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Reliance Court	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Reliance Court are oriented towards Reliance Court.	The front elevation of the home will face onto Reliance Court.
Year Built	1994-2012	N/A
Building SF on Property	1,875 SF – 3,652 SF	[Estimated] 2,716 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Stone, Brick, Fir Siding, and Stucco
Paint and Color	White, Cream, Red, Beige, and Brown	Gray
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Reliance Court with the orientations being <i>flat front entry, garage forward entry, side entry, and ‘J’ or traditional swing entry.</i>	The garage will be situated 10.75-feet in front of the front façade of the home.



According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i) in single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home by 10.75-feet. Staff should point out that since the construction range for housing in this area extends from 1994-2012, the houses in this area already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*); this aspect is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Reliance Court and the proposed building elevations in the attached packet.

### **NOTIFICATIONS**

On July 27, 2021, staff mailed 208 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water’s Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista, and Chandler’s Landing Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) email in opposition to the request.

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On August 10, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the SUP with the conditions of approval by a vote of 6-0, with Commissioner Moeller absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

104 BELLAIR ET

SUBDIVISION

CHANDLER LAUNDRY

LOT

28

BLOCK

A

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CAVENDISH HOMES

CONTACT PERSON

CONTACT PERSON

ED CAVENDISH

ADDRESS

ADDRESS

1017 NATIVE TRL

CITY, STATE & ZIP

CITY, STATE & ZIP

HEATH TX 75032

PHONE

PHONE

214-202-4667

E-MAIL

E-MAIL

EDCAVENDISH@CCHOMES.NET

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ed Cavendish [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

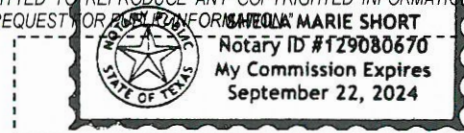
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF July, 2021

OWNER'S SIGNATURE

*Ed Cavendish*  
*Shale Marie Short*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 9/22/2024



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

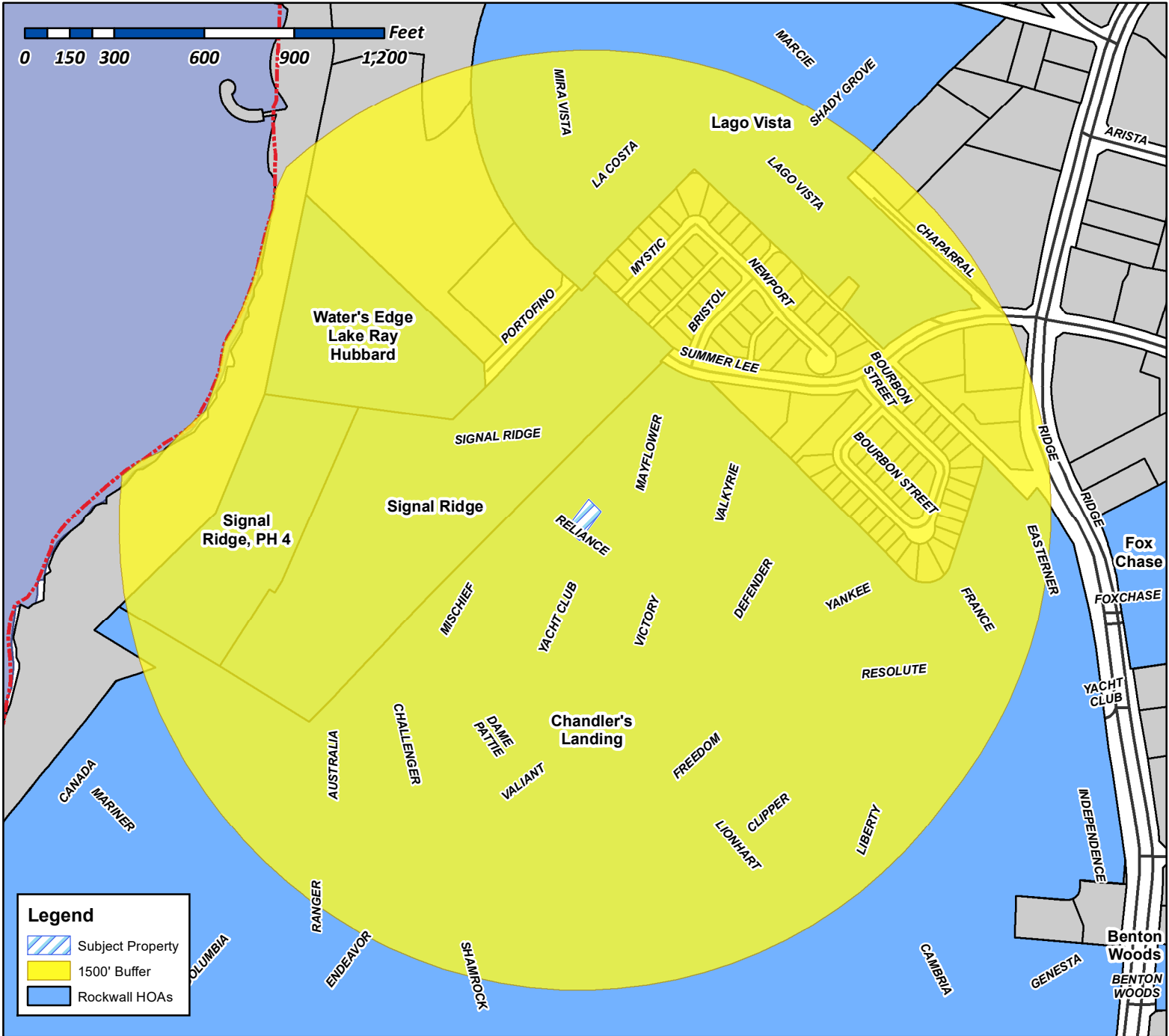




# City of Rockwall

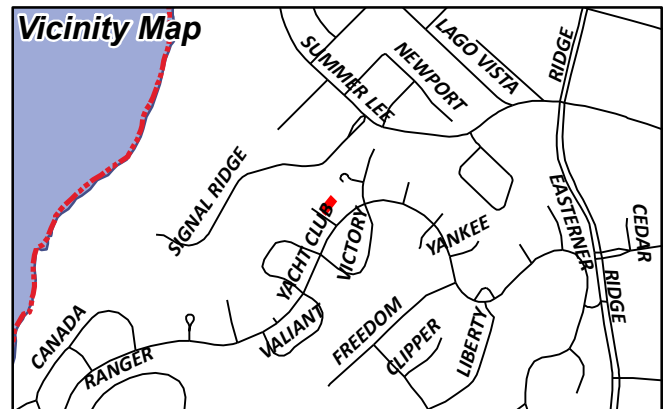
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-029  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Gamez, Angelica  
**Sent:** Monday, July 26, 2021 11:52 AM  
**Cc:** Miller, Ryan; Gonzales, David; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2021-029]  
**Attachments:** HOA Map Z2021-029.pdf; Public Notice (07.26.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on July 23, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, August 10, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 16, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2021-029 Specific Use Permit for Residential Infill**

Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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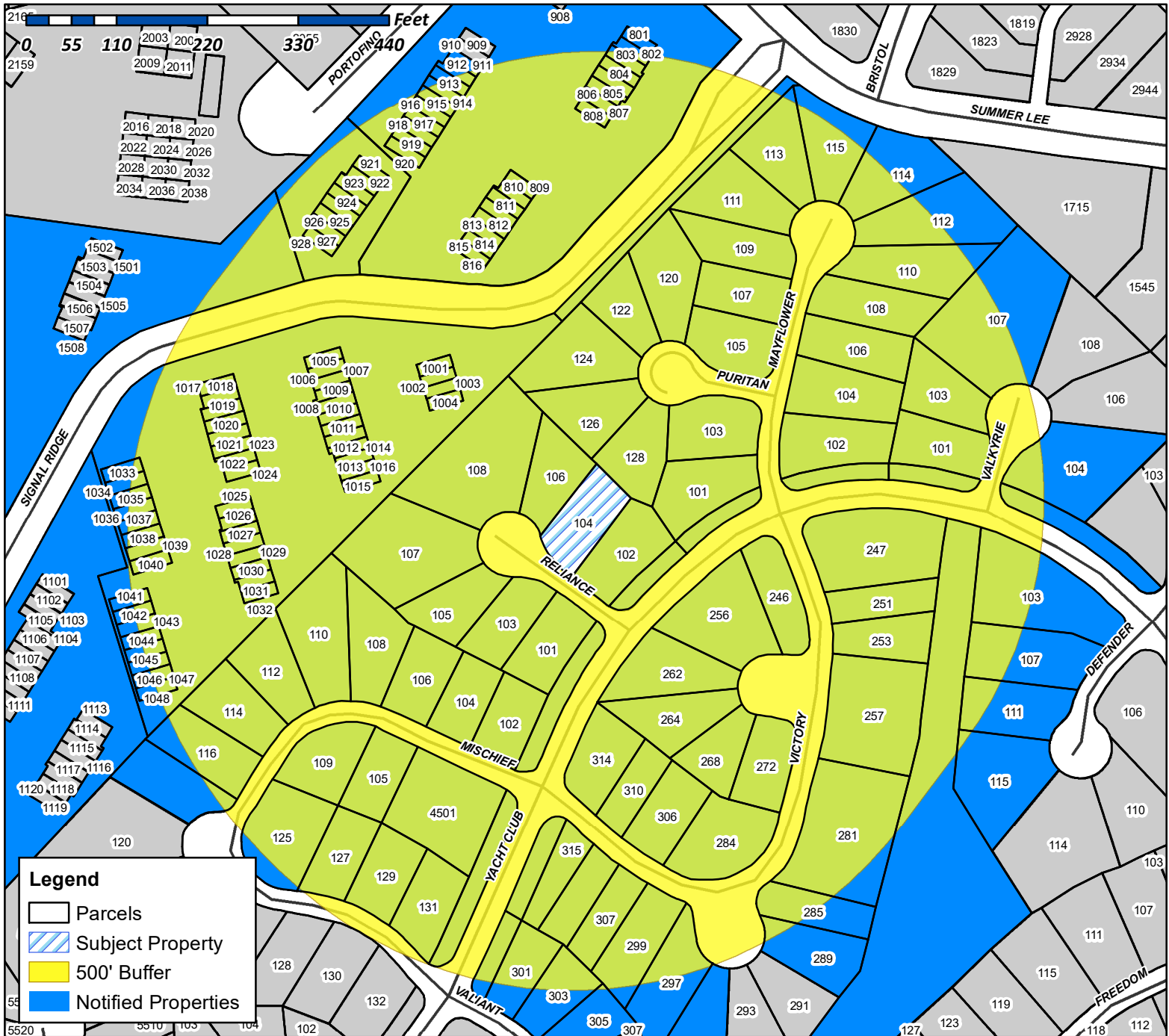
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# City of Rockwall

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(P): (972) 771-7745  
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SIGNAL RIDGE OWNERS ASSOCIATION  
1000 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DWYER REX ETUX AMY  
1001 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL  
1002 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
1003 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

BLANKINSHIP TERRI  
1004 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MARICH ENTERPRISE CORPORATION  
1005 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

SEPEHRI SUSAN M  
1006 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BROYLES STEPHANIE  
1007 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN  
1008 SIGNAL RIDGE  
ROCKWALL, TX 75032

MIEROW SHARON A  
1009 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA  
101 MAYFLOWER CT  
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R  
101 RELIANCE CT  
ROCKWALL, TX 75032

WELCH JANIS M  
101 VALKYRIE PL  
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S  
1010 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

FOREMAN JANET  
1011 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R  
1012 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MOORE GREGORY J  
1013 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

JOHNSON ASHLEY  
1014 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

GRAGG CAROL  
1016 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
1017 NATIVE TR  
HEATH, TX 75032

GARDNER DAVID L REV LIV TR  
1017 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

TROTTER STEVEN D  
1018 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
1019 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HARRELL STEVEN R AND ROBERTA J  
102 MAYFLOWER CT  
ROCKWALL, TX 75032

HALL JASON & CORI  
102 MISCHIEF LN  
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE  
102 RELIANCE COURT  
ROCKWALL, TX 75032

WAGNER JULIE A  
1020 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1021 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA  
1022 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
1023 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

VAIL SYDNEY  
1024 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCMURTRE DREW  
1025 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

WHITE RANDY  
1026 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MCPARTLAND MARY C  
1027 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ALVARADO KRESHA  
1028 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE  
1029 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

CEPAK JANET BAIN  
103 DEFENDER COURT  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
103 GROSS RD BLDG A  
MESQUITE, TX 75149

2019-1 IH BORROWER LP  
103 MAYFLOWER CT  
ROCKWALL, TX 75032

SINCLAIR SUE AND  
JEREMY LEE SINCLAIR  
103 RELIANCE CT  
ROCKWALL, TX 75032

HALAMA STEFAN & ANN  
103 VALKYRIE PL  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
1030 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
1031 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PERROTTA SHARON  
1032 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

JOHNSTON SHARRON  
1033 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON  
1034 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
1035 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PRYOR MICA MALONEY  
1036 SIGNAL RIDGE PLACE #1036  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
1037 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
1038 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BCL REAL ESTATE LLC  
ATTN:TOM LORENZ  
1039 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YATES KIMBERLY  
104 MAYFLOWER COURT  
ROCKWALL, TX 75032

CARR LORI  
104 MISCHIEF LN  
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC  
104 RELIANCE CT  
ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL  
104 VALKYRIE PLACE  
ROCKWALL, TX 75032

ARMSTRONG D  
1040 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1041 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG D  
1042 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

NICHOLS JANET  
1043 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

TRINGALI CAHTERINE  
1044 SIGNAL RIDGE PL  
ROCKWALL, TX 75032



KILGORE MADISON  
1045 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

YANGER LISA  
1046 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
1047 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ZAJDL SALLY A  
1048 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

OCONNOR MICHAEL  
105 MAYFLOWER CT  
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES  
105 MISCHIEF LN  
ROCKWALL, TX 75032

HAYES BRANDON  
105 RELIANCE CT  
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO  
LLC  
106 MAYFLOWER CT  
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA  
106 MISCHIEF LANE  
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE  
106 RELIANCE CT  
ROCKWALL, TX 75032

ROARK BOBBIE ETAL  
107 DEFENDER CT  
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER  
107 MAYFLOWER CT  
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-  
GILBREATH  
107 RELIANCE CT  
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D  
107 VALKYRIE PL  
ROCKWALL, TX 75032

LONG JOHN AND LINDSAY  
108 MAYFLOWER CT  
ROCKWALL, TX 75032

CARRILLO VICTOR G  
108 MISCHIEF LN  
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY  
108 RELIANCE CT  
ROCKWALL, TX 75032

NORTEX PROPERTIES INC  
% JOSEPH L ZEHR  
10808 LA CABREAH LN  
FORT WAYNE, IN 46845

LYONS ELIZABETH  
109 MAYFLOWER COURT  
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE  
109 MISCHIEF LN  
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J  
110 MAYFLOWER CT  
ROCKWALL, TX 75032

DILOV VANIO  
110 MISCHIEF LN  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
1105 51ST ST W  
BRADENTON, FL 34209

STEBBINS GREGORY & KRISTEN  
111 DEFENDER CT  
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C  
111 MAYFLOWER CT  
ROCKWALL, TX 75032

PHILLIPS LOVIE  
1110 VAIL COURT  
ROCKWALL, TX 75087

FAIRCHILD REVOCABLE LIVING TRUST  
112 MAYFLOWER CT  
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K  
112 MISCHIEF LANE  
ROCKWALL, TX 75032

CASTRO CRISTINA  
113 MAYFLOWER CT  
ROCKWALL, TX 75032

FAIRCHILD CARL F & TONI A TRUSTEES  
FAIRCHILD JOINT REVOCABLE LIVING TRUST  
114 MAYFLOWER CT  
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J  
114 MISCHIEF LANE  
ROCKWALL, TX 75032

WEBSTER LIDIA  
115 DEFENDER CT  
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J  
115 MAYFLOWER CT  
ROCKWALL, TX 75032

LETT LORNA  
116 MISCHIEF LN  
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J  
120 PURITAN CT  
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC  
1213 STONEWALL TRL  
ROCKWALL, TX 75032

HOLDER TOM  
122 PURITAN CT  
ROCKWALL, TX 75032

POTISKA PATRICIA  
124 PURITAN CT  
ROCKWALL, TX 75032

ODOM LACEY AND JOSH  
125 MISCHIEF LN  
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY  
126 PURITAN CT  
ROCKWALL, TX 75032

MARTIN NAN YI  
127 MICHIEF LANE  
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B  
REV LIVING TRUST AGREEMENT  
128 PURITAN CT  
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J  
129 MISCHIEF LANE  
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D  
131 MISCHIEF LANE  
ROCKWALL, TX 75032

HAIL CHRIS & MELODY  
145 WESTON CT  
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE  
1501 S LAKESHORE DR  
ROCKWALL, TX 75087

COLLINS FAMILY TRUST  
EWELL D COLLINS AND JENNIFER R TRUSTEES  
1512 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

MEDINA ALEJANDRO  
1800 DALROCK #100  
ROWLETT, TX 75088

DWA EQUITIES LLC  
1802 SIGNAL RIDGE  
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES  
BREZ FAMILY TRUST  
1910 SIGNAL RIDGE  
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC  
CUSTODIAN FBO WILLIAM COMPTON  
2001 SPRING RD SUITE 700  
OAK BROOK, IL 60523

MOORE GREGORY J  
2140 PORTOFINO DR  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
2215 ARRINGTON ST  
DURHAM, NC 27707

ODOM LACEY AND JOSH  
2402 YACHT CLUB DR  
ROCKWALL, TX 75032

PARRISH WENDY R  
246 VICTORY LN  
ROCKWALL, TX 75032

GATZKE LISA AND JAMES  
247 VICTORY LANE  
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE  
251 VICTORY LN  
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY  
253 VICTORY LN  
ROCKWALL, TX 75032

TONA CHAD J & MARTI  
256 VICTORY LANE  
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
257 VICTORYLN  
ROCKWALL, TX 75032

HANSEN J D & PATRICIA  
262 VICTORY LN  
ROCKWALL, TX 75032

2019-1 IH BORROWER LP  
264 VICTORYLN  
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN  
268 VICTORY LN  
ROCKWALL, TX 75032

DILOV VANIO  
2717 LAKEWOOD DR  
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON  
272 VICTORY LN  
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L  
2752 E FM 552  
ROCKWALL, TX 75087

BURKETT MARY REBECCA EASON  
277 TERRY LN  
HEATH, TX 75032

WILLIAMS ROBERT C  
281 VICTORY LN  
ROCKWALL, TX 75032

HALL JASON M & CORI M  
284 VICTORY LN  
ROCKWALL, TX 75032

BROWN TERRI LYNN  
285 VICTORY LN  
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L  
289 VICTORY LN  
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE  
291 VICTORY LANE  
ROCKWALL, TX 75032

BAILEY RONALD C ET UX  
2919 COUNTRY PLACE CIR  
CARROLLTON, TX 75006

SEEDS DAVID R  
2961 S CHERRY WAY  
DENVER, CO 80222

LYNN JASON AND DANIELLE  
297 VICTORYLN  
ROCKWALL, TX 75032

BEVILL HELEN M AND  
CHANDRA KARLEN  
2977 OAK DR  
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE  
299 VICTORY LN  
ROCKWALL, TX 75032

MCMURTRE DREW  
3000 TWIN LAKES DR  
PROSPER, TX 75078

STOUFFER AMY JACKSON AND MITCH  
301 VALIANT  
ROCKWALL, TX 75032

WARD ANDREA N  
303 VALIANT DRIVE  
ROCKWALL, TX 75032

DEAL ROBERT  
305 VALIANT DRIVE  
ROCKWALL, TX 75032

MCMINN KIMBERLY  
306 VICTORYLN  
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC  
30601 AGOURA RD SUITE 200  
AGOURA HILLS, CA 91301

AMERICAN HOMES 4 RENT PROPERTIES TWO  
LLC  
30601 AGOURA ROAD SUITE 200  
AGOURA HILLS, CA 91301

MCAIR KERRY  
307 VICTORY LN  
ROCKWALL, TX 75032

FALLS DAVID & TERRI  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

AMH 2014-2 BORROWER LLC  
310 VICTORYLN  
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY  
314 VICTORY LN  
ROCKWALL, TX 75032

LOREDO SARAHI  
315 VICTORY LN  
ROCKWALL, TX 75032

SINCLAIR SUE AND  
JEREMY LEE SINCLAIR  
32 LAKEWAY DRIVE  
HEATH, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
331 MOCKINGBIRD LN  
AUBURN, AL 36830

RUBENSTEIN ALAN J AND  
GINA L STRICKLIN  
4501 YACHT CLUB DR  
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR  
520 TERRY W  
HEATH, TX 75032

LOGAN PAULINE K  
554 VZ COUNTY ROAD 2139  
CANTON, TX 75103

DWYER REX ETUX AMY  
6101 VOLUNTEER PL  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
643 TURTLE COVE BLVD  
ROCKWALL, TX 75087

HYATT FAMILY TRUST  
JAMES T HYATT- TRUSTEE  
6525 NORTH FLY IN LAKE RD  
ATHENS, TX 75751

ALVARADO KRESHA  
710 BRAZOS WAY  
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI  
801 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

LONON DEBORAH J  
802 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR  
803 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL  
804 EAGLE PASS  
HEATH, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
804 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PATTON ROXANNE LOUISE & KURTIS LEE  
805 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE  
TRUST  
RAYMOND B & PHYLLIS F WALKER TRUSTEES  
806 SIGNAL RIDGE PLACE UNIT 806  
ROCKWALL, TX 75032

POPP LEILA  
807 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R  
808 SIGNAL RIDGE  
ROCKWALL, TX 75032

HART DARIN AND RANDI  
809 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

RENNER BEVERLY  
810 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MEDINA ALEJANDRO  
811 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

LOGAN PAULINE K  
812 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DUNN FAMILY LOVING TRUST  
ALMA JEAN DUNN- TRUSTEE  
813 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

BRASHEARS KARI  
814 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

ANDREW JONATHON  
815 SIGNAL RIDGE  
ROCKWALL, TX 75032

HYATT FAMILY TRUST  
JAMES T HYATT- TRUSTEE  
816 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

SHEPHERD ADDIE  
911 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

WHITE DEBORAH  
912 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DISMUKE JAMIE M  
913 SIGNAL RIDGE PLACE #913  
ROCKWALL, TX 75032

CARTER DAVID  
914 SIGNAL RIDGE PLACE  
ROCKWALL, TX 75032

COLLINS FAMILY TRUST  
EWELL D COLLINS AND JENNIFER R TRUSTEES  
915 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L  
916 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

DEZEE CAROLE H  
917 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DASILVA JOHN M  
918 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS  
919 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

INZILLO FRANCA  
920 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN  
C/O MRS AMY JENSEN  
921 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

MURRAY NORMA C  
922 SIGNAL RIDGE PL  
ROCKWALL, TX 75032

DWA EQUITIES LLC  
923 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

BAILEY RONALD C ET UX  
924 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GREEN MAUREEN  
925 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

PHILLIPS LOVIE  
926 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
927 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR  
928 SIGNAL RIDGEPL  
ROCKWALL, TX 75032

GREEN MAUREEN  
945 BREEZY HILL LANE  
ROCKWALL, TX 75087

MCKINSTRY FRITZ AND KATHY LIVING TRUST  
P.O. BOX 2195  
TELLURIDE, CO 81435

MCMINN KIMBERLY  
PMB 239 11654 PLAZA AMERICA DR  
RESTON, VA 20190

AMHILL FINANCIAL LP  
ATTN JIM PETERS  
PO BOX 1179  
ROCKWALL, TX 75087

RENNER BEVERLY  
PO BOX 2121  
QUINLAN, TX 75474

MARICH ENTERPRISE CORPORATION  
PO BOX 2319  
ROCKWALL, TX 75087

DASILVA JOHN M  
PO BOX 2601  
ROWLETT, TX 75030

WHITTLE & JOHNSON CUSTOM HOMES INC  
PO BOX 369  
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC  
PO BOX 638  
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST  
MOLLIE PRICE TRUSTEE  
PO BOX 743612  
DALLAS, TX 75374

RUSH MAJOR  
PO BOX 760794  
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S  
PO BOX 850225  
MESQUITE, TX 75185

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2021-029: Specific Use Permit for Residential Infill**

*Hold a public hearing to discuss and consider a request by Ed Cavendish of Cavendish Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1465-acre parcel of land identified as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 10, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2021-029: Specific Use Permit for Residential Infill**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

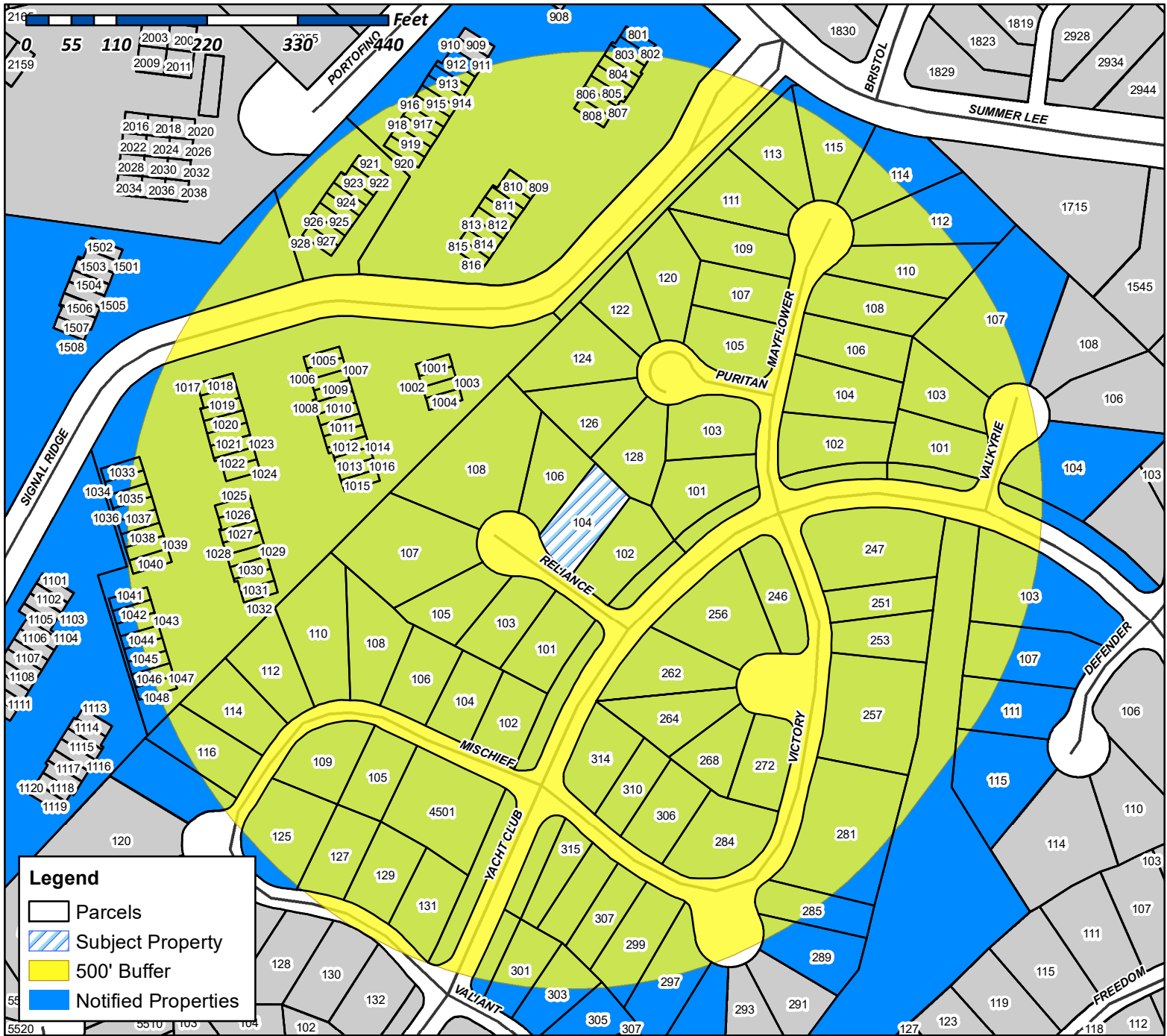
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2021-029  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 104 Reliance Court

**Date Created:** 7/16/2021  
 For Questions on this Case Call (972) 771-7745



PLEASE RETURN THE BELOW FORM

**Case No. Z2021-029: Specific Use Permit for Residential Infill**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

THIS PERMIT IS FOR RESIDENTIAL INFILL. NO INFO IS PROVIDED SHOWING WHERE THE FILL IS LOCATED, HOW MUCH IS REQUIRED WHERE THE FOUNDATION IS IN RELATION TO THE EXISTING FOUNDATIONS ON EACH SIDE. EXPLAIN WHY DIRT REMOVED NOT USED INSTEAD OF FILL

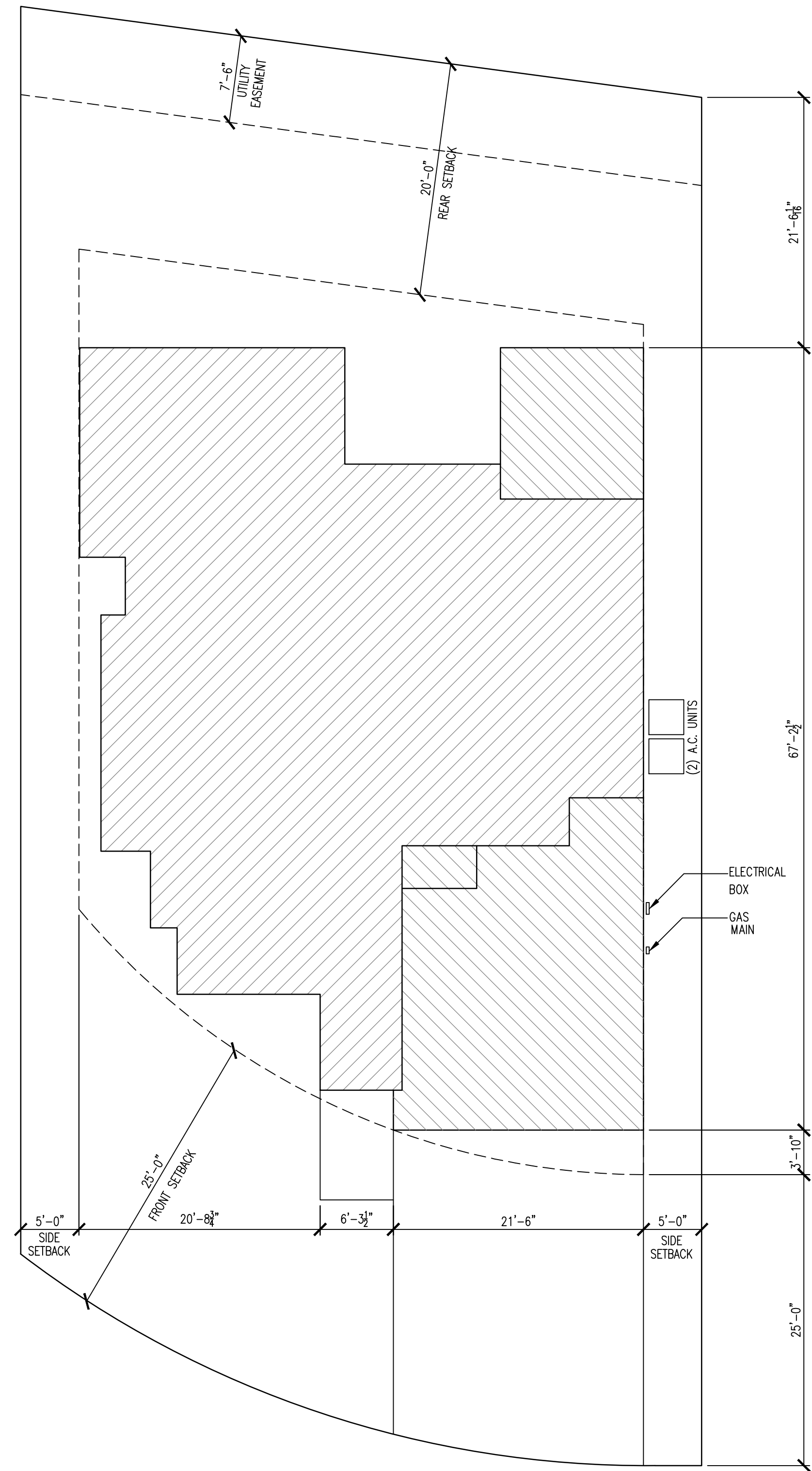
Name: MORT SULLIVAN

Address: 128 PURITAN CT

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



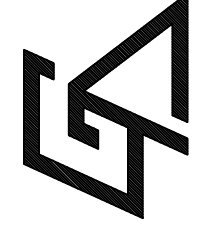


**SLAB PROFILE ON SITE PLAN**

SCALE: 1/8"=1'-0"

- NOTES:
1. TOPO INFORMATION WAS PROVIDED BY A THIRD PARTY. ALLEN GUSTAVSON IS NOT RESPONSIBLE FOR ANY OF THE TOPO OR SITE SURVEY INFORMATION. TOPO AND BEARINGS SHOWN FOR LAYOUT PURPOSES ONLY.
  2. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING IF BUILDING MEETS ALL SETBACK AND GRADING REQUIREMENTS
  3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS
  4. LOT COVERAGE CALCULATIONS:  
 LOT SIZE: 6797 SQUARE FEET  
 COVERAGE: 2716 SQUARE FEET  
 (INCLUDES ONLY SLAB COVERAGE)  
 TOTAL ROOF COVERAGE OF LOT IS 39.96%

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

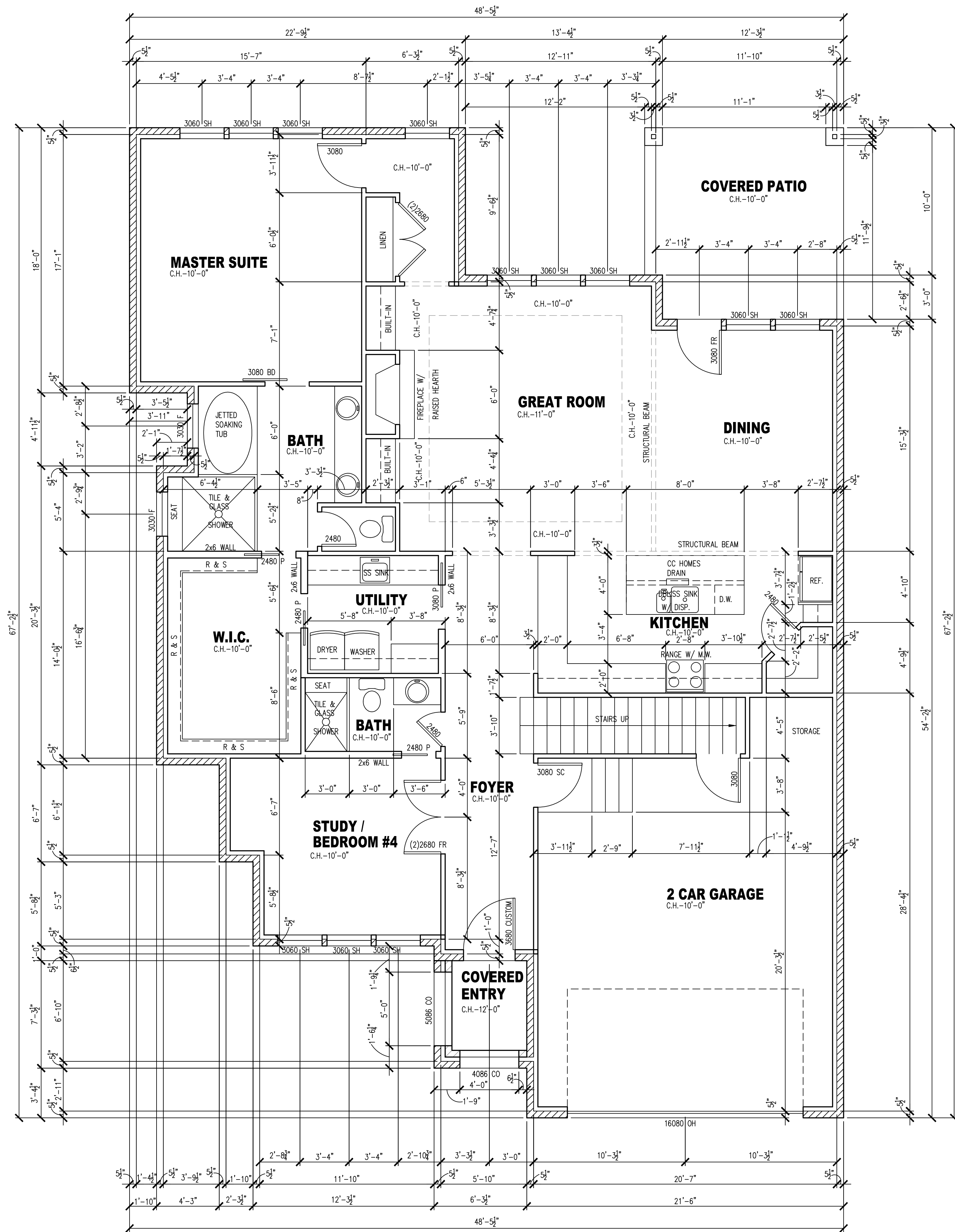


PROJECT  
**LOT #21**  
 HEATH GOLF & YACHT CLUB  
 HEATH, TEXAS

BUILDER  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

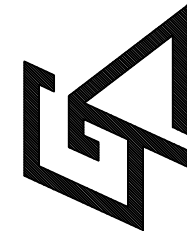
SHEET NAME  
**SLAB PROFILE PLAN**

SCALE:  
 1/8"=1'-0"  
 DATE:  
 7-22-2021  
 DRAWN BY:  
 AEG  
 CHECKED BY:  
 AEG  
 SHEET NUMBER:  
**A-8**



SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR A.C.:	1,926
SECOND FLOOR A.C.:	675
TOTAL A.C.:	2,601
COVERED ENTRY:	53
COVERED PATIO :	184
GARAGE :	549
MECHANICAL ROOM:	57
TOTAL S.F. UNDER ROOF: 3,444	

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com

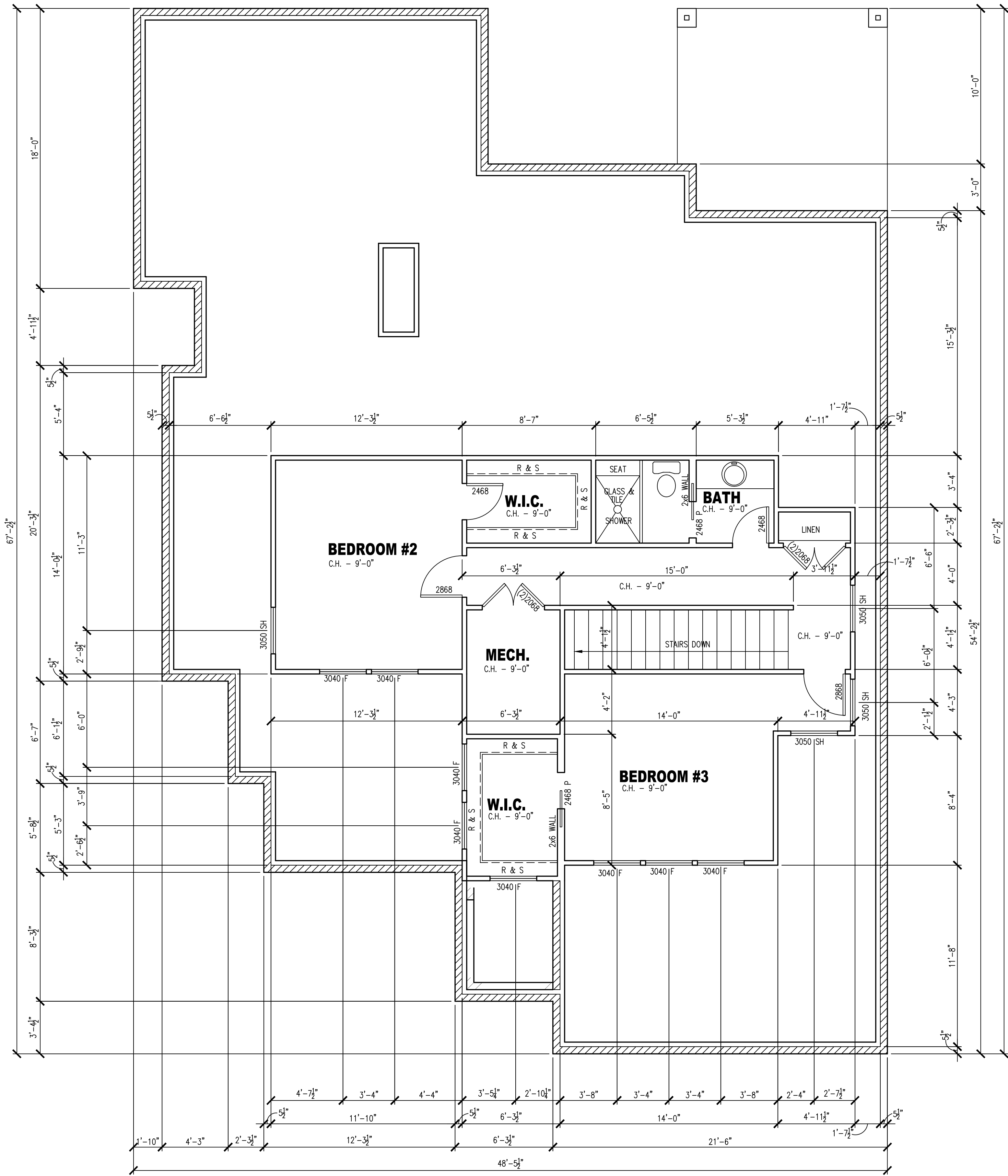


**PROJECT**  
**104 RELIANCE COURT**  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
 ROCKWALL, TEXAS

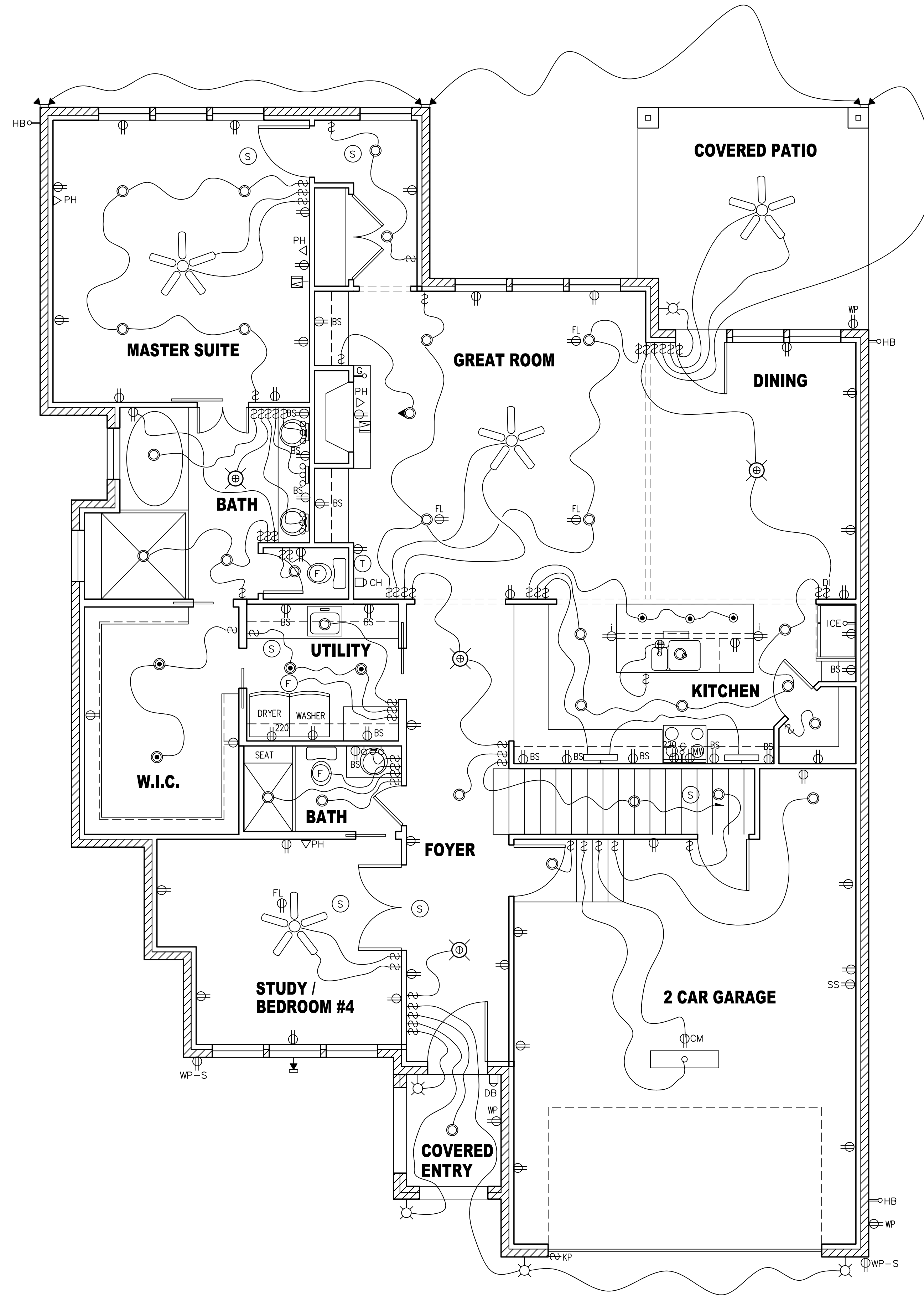
**SHEET NAME**  
**FIRST FLOOR PLAN**

**SCALE:**  
 1/4" = 1'-0"  
**DATE:**  
 7-22-2021  
**DRAWN BY:**  
 AEG  
**CHECKED BY:**  
 AEG  
**SHEET NUMBER:**  
**A-1**



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WP-S WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WP WATER PROOF OUTLET
	CM 110 VOLT - CEILING MOUNTED OUTLET
	i 110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	v 110 VOLT - STOVE TOP VENT
	ICE ICE MAKER WATER SUPPLY
	HB FROST PROOF HOSE BIB
	G GAS OUTLET
	CH DOOR BELL CHIME
	DB DOOR BELL
	T THERMOSTAT
	S SMOKE / CARBON MONOXIDE DETECTOR
	C-5 CATEGORY 5 NETWORK JACK
	CO CABLE OUTLET
	PH PHONE OUTLET
	TG TOGGLE SWITCH
	NT NON-TOGGLE SWITCH
	DA DOOR ACTIVATED SWITCH
	DI DIMMER SWITCH
	KP KEY PAD SWITCH
	F EXHAUST FAN
	PCP POOL CONTROL PANEL



**FIRST FLOOR UTILITY PLAN**  
SCALE: 1/4"=1'-0"

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

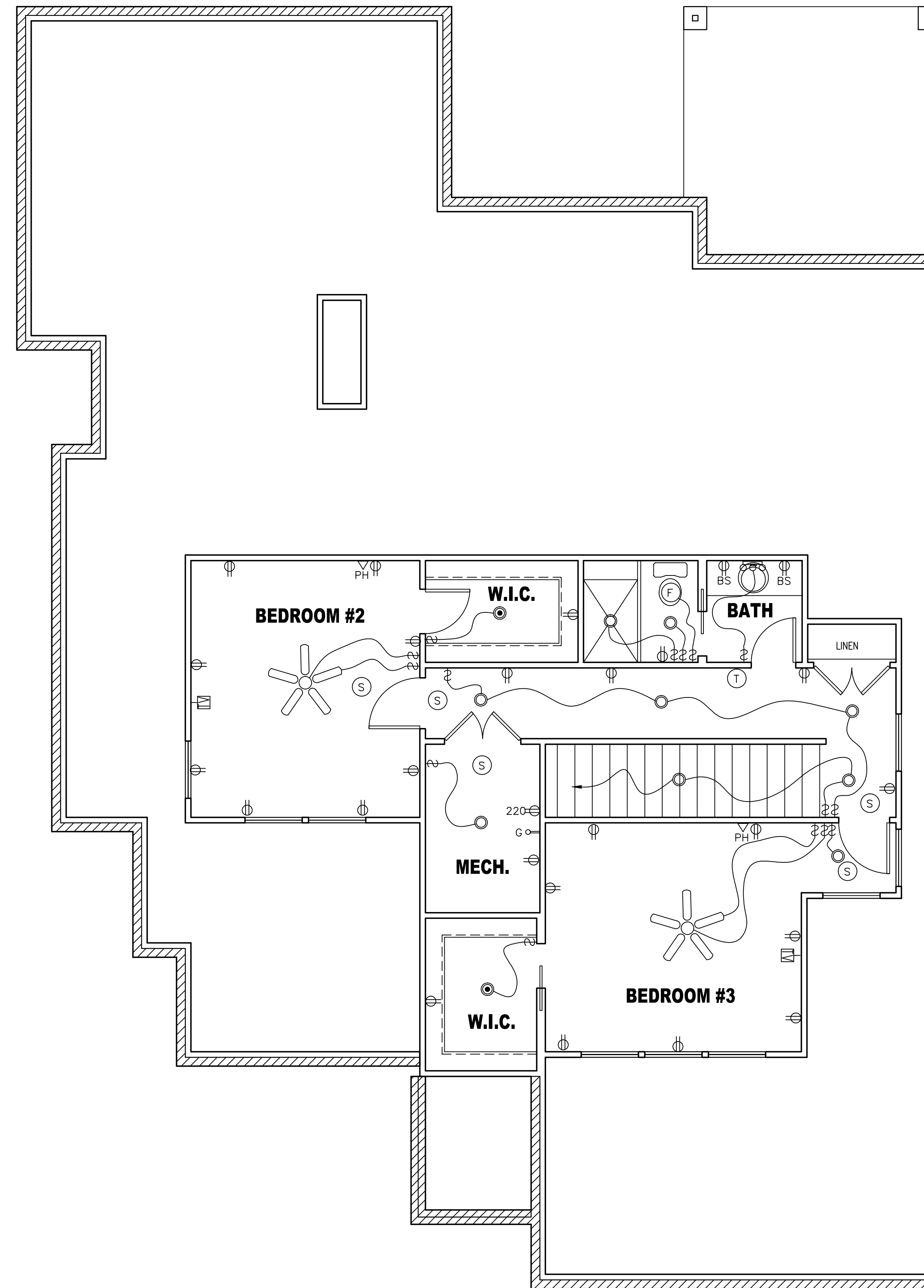
**PROJECT**  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

**SHEET NAME**  
**FIRST FLOOR UTILITY PLAN**

SCALE:  
1/4"=1'-0"  
DATE:  
7-22-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:  
**A-3**

LEGEND	
	CHANDELIER FIXTURE
	CEILING LIGHT
	WALL MOUNTED SCONCE FIXTURE
	ROPE ACCENT LIGHTING HIDDEN IN COFFERED CEILING
	MINI-PENDANT LIGHT FIXTURE
	HANGING EXTERIOR PENDANT LIGHT FIXTURE
	RECESSED CEILING LIGHT
	RECESSED CEILING LIGHT-FLUORESCENT
FL	FLOOR LIGHT AT STAIRS
	CEILING MOUNTED FLUORESCENT FIXTURE
	UNDER CABINET FLUORESCENT FIXTURE
	52" CEILING FAN WITH LIGHT KIT
	POLE MOUNTED YARD LIGHT FIXTURE TO BE MOUNTED 16'-0" ABOVE FINISH GRADE
	LANDSCAPE DIRECTIONAL LIGHTS
	EXTERIOR FLOOD LIGHTS
	EXTERIOR WALL MOUNTED ACCENT LIGHT NIGHTTIME AUTO ACTIVATED
	WALL MOUNTED MAKE-UP LIGHT
	DIRECTIONAL INTERIOR SPOT LIGHT
	WALL MOUNTED EXT. FIXTURE
	WALL MOUNTED EXT. GAS FIXTURE
	110 VOLT OUTLET
	110 VOLT OUTLET-BS BACK SPLASH
	FLOOR MOUNTED OUTLET (CONTRACTOR TO COORD. LOCATION)
	220 VOLT OUTLET
	DEDICATED SPRINKLER SYSTEM OUTLET
	WATER PROOF OUTLET IN ROOF SOFFIT (HOLIDAY LIGHTING)
	WATER PROOF OUTLET
	110 VOLT - CEILING MOUNTED OUTLET
	110 VOLT - MOUNTED ON ISLAND-32" A.F.F.
	110 VOLT - STOVE TOP VENT
	ICE MAKER WATER SUPPLY
	FROST PROOF HOSE BIB
	GAS OUTLET
	DOOR BELL CHIME
	DOOR BELL
	THERMOSTAT
	SMOKE / CARBON MONOXIDE DETECTOR
	CATEGORY 5 NETWORK JACK
	CABLE OUTLET
	PHONE OUTLET
	TOGGLE SWITCH
	NON-TOGGLE SWITCH
	DOOR ACTIVATED SWITCH
	DIMMER SWITCH
	KEY PAD SWITCH
	EXHAUST FAN
	POOL CONTROL PANEL



**SECOND FLOOR UTILITY LAYOUT PLAN**  
SCALE: 1/4"=1'-0"

**GUSTAVSON & ASSOCIATES**  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

**PROJECT**  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

**BUILDER**  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

**SHEET NAME**  
**SECOND FLOOR UTILITY PLAN**

SCALE: 1/4"=1'-0"  
DATE: 7-22-2021  
DRAWN BY: AEG  
CHECKED BY: AEG  
SHEET NUMBER: **A-4**



**FRONT ELEVATION**

1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**

BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

**EXTERIOR MATERIALS CALCULATIONS**  
 (MEASURED IN SQUARE FEET)

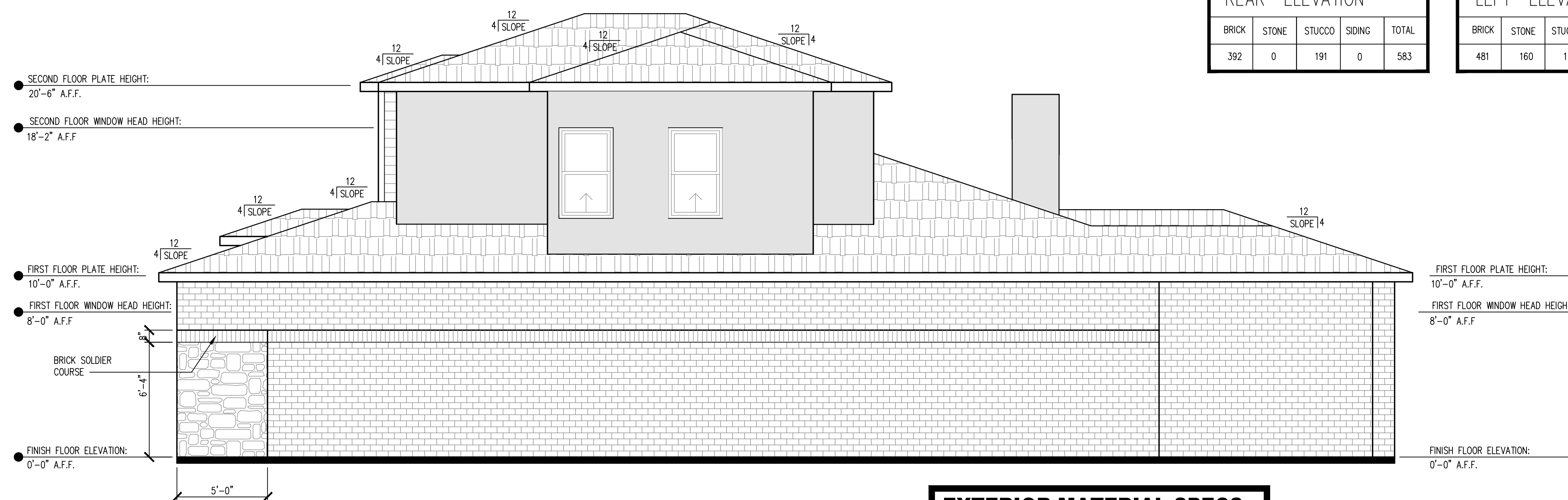
TOTAL		FROM ALL 4 ELEVATIONS		
BRICK	STONE	STUCCO	SIDING	TOTAL
1,714	334	632	157	2837
60.42	11.77%	22.28	5.53	100%

FRONT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
144	139	124	47	454

RIGHT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
697	35	194	6	932

REAR ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
392	0	191	0	583

LEFT ELEVATION				
BRICK	STONE	STUCCO	SIDING	TOTAL
481	160	123	104	868



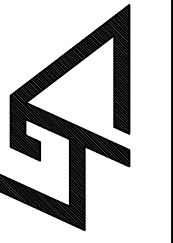
**RIGHT ELEVATION**

1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**

BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK

**GUSTAVSON & ASSOCIATES**  
 113 Lantana Lane  
 Wylie, TX 75098  
 Phone: 214-675-3172  
 Email: Allen@GusTX.com



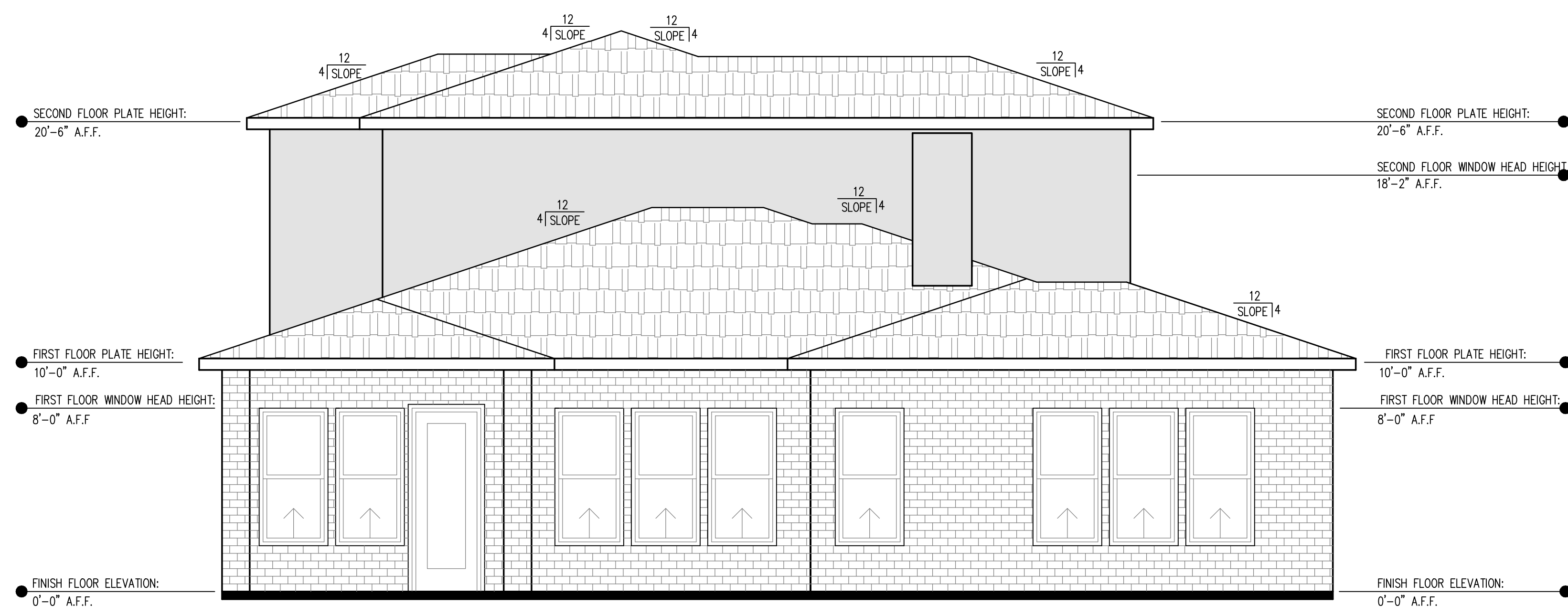
**PROJECT**  
 104 RELIANCE COURT  
 CHANDLER'S LANDING  
 ROCKWALL, TEXAS

**BUILDER**  
 CAVENDISH  
 HOMES  
 ROCKWALL, TEXAS

**SHEET NAME**  
 EXTERIOR ELEVATIONS "A"

**SCALE:**  
 1/4"=1'-0"  
**DATE:**  
 7-22-2021  
**DRAWN BY:**  
 AEG  
**CHECKED BY:**  
 AEG  
**SHEET NUMBER:**

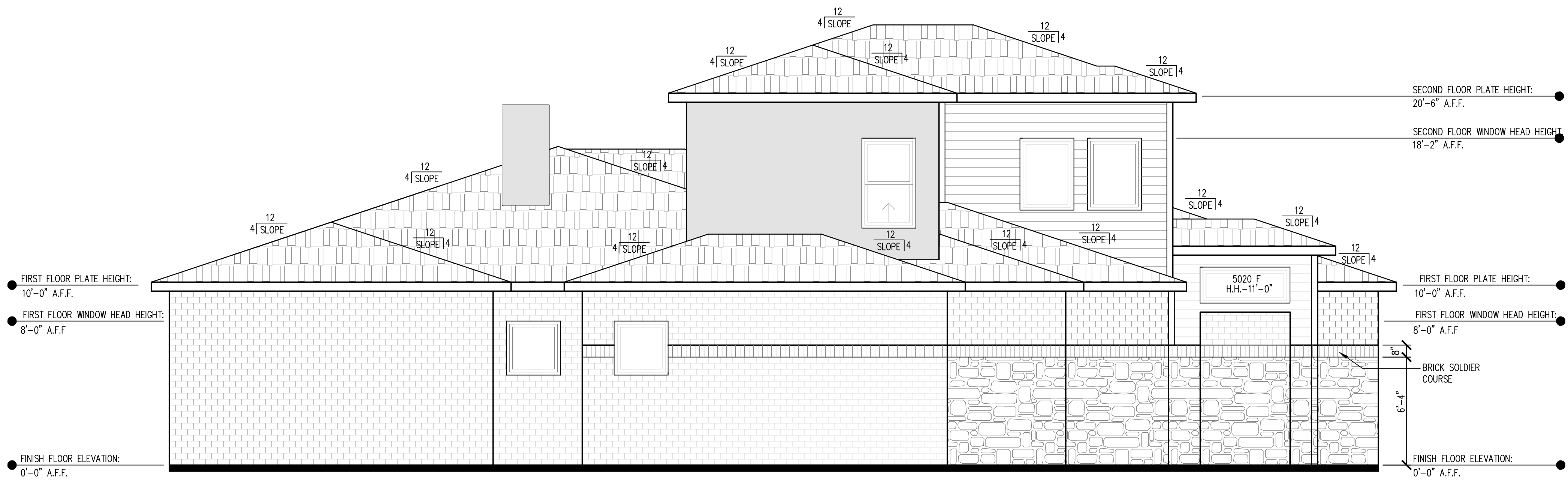
**A-6**



**REAR ELEVATION**

1/4"=1'-0"

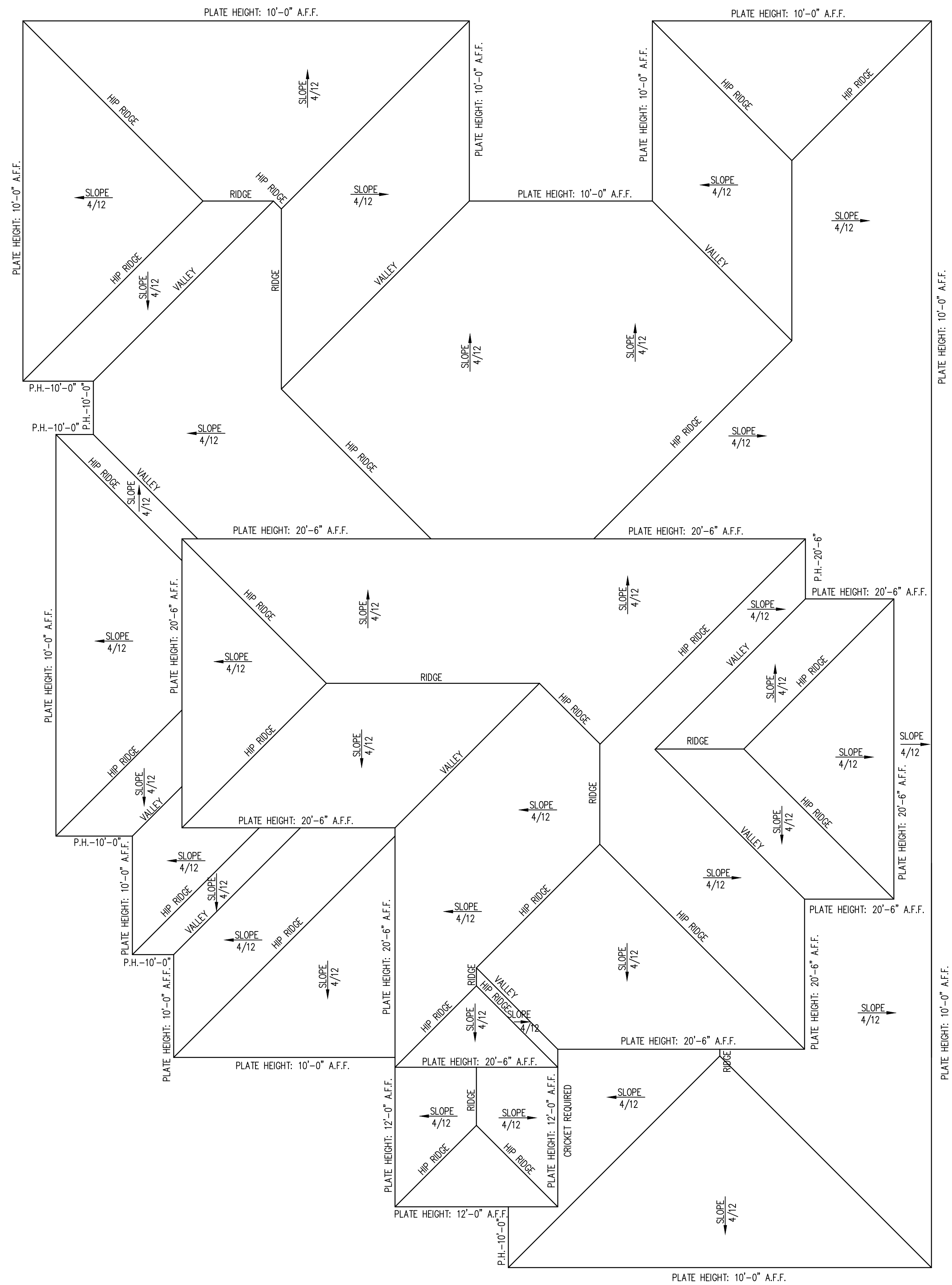
**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK



**LEFT ELEVATION**

1/4"=1'-0"

**EXTERIOR MATERIAL SPECS**  
 BRICK: BILCO - GRAY MIST  
 STONE: ACME-GRAY CHARCOAL LEUDERS  
 STUCCO: GRAY  
 SIDING: FIR - STAINED  
 ROOF: GAF-TIMBERLINE HD BLACK



**ROOF LINE PLAN**

1/4"=1'-0"

**NOTES:**

1. CONTRACTOR SHALL PROVIDE FULL GUTTER AND DOWNSPOUTS.
2. ALL ROOF OVERHANGS SHALL BE 1'-0"

SHEET NAME  
**ROOF LINE PLAN**

BUILDER  
**CAVENDISH HOMES**  
ROCKWALL, TEXAS

PROJECT  
**104 RELIANCE COURT**  
CHANDLER'S LANDING  
ROCKWALL, TEXAS

GUSTAVSON & ASSOCIATES  
113 Lantana Lane  
Wylie, TX 75098  
Phone: 214-675-3172  
Email: Allen@GusTX.com

SCALE:  
1/4"=1'-0"  
DATE:  
1-30-2021  
DRAWN BY:  
AEG  
CHECKED BY:  
AEG  
SHEET NUMBER:

**A-5**



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
101 Reliance Court	Single-Family Home	1994	2,530	N/A	Brick
102 Reliance Court	Single-Family Home	2012	3,652	N/A	Stone
103 Reliance Court	Single-Family Home	1994	1,875	N/A	Brick
104 Reliance Court	<i>Subject Property</i>				
105 Reliance Court	Single-Family Home	1995	2,829	N/A	Brick
106 Reliance Court	Single-Family Home	2000	2,434	N/A	Stucco
107 Reliance Court	Single-Family Home	1994	3,101	N/A	Brick
108 Reliance Court	Single-Family Home	1994	2,538	N/A	Brick
Averages:		1998	2,708		



101 Reliance Court



102 Reliance Court



103 Reliance Court



105 Reliance Court



106 Reliance Court



107 Reliance Court



108 Reliance Court

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1465-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 28, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ed Cavendish for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1465-acre parcel of land being described as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF SEPTEMBER, 2021.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 16, 2021

2<sup>nd</sup> Reading: September 7, 2021



**Exhibit 'A'**  
*Location Map and Survey*

Address: 104 Reliance Court

Legal Description: Lot 28, Block A, Chandler's Landing, Phase 20

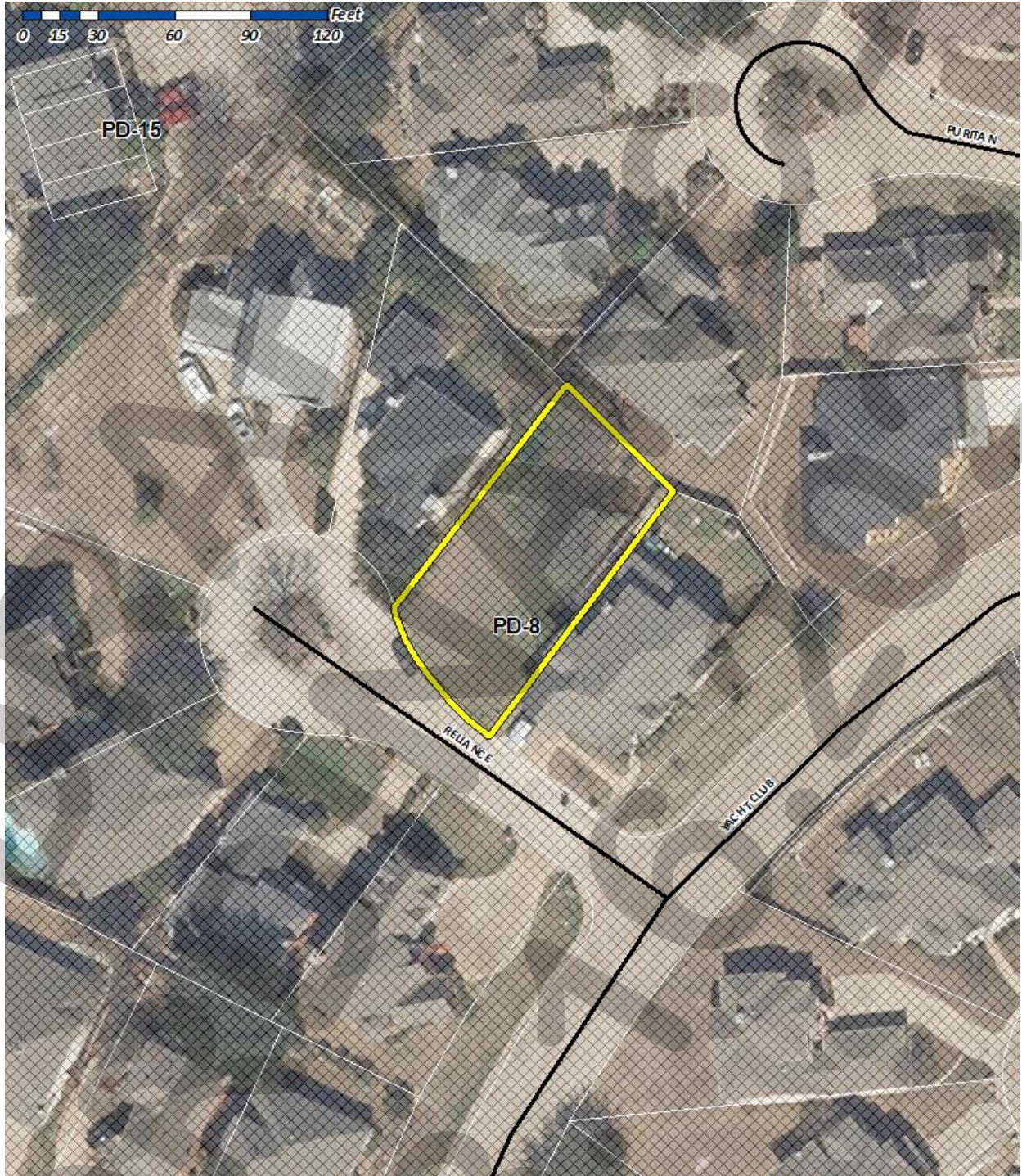
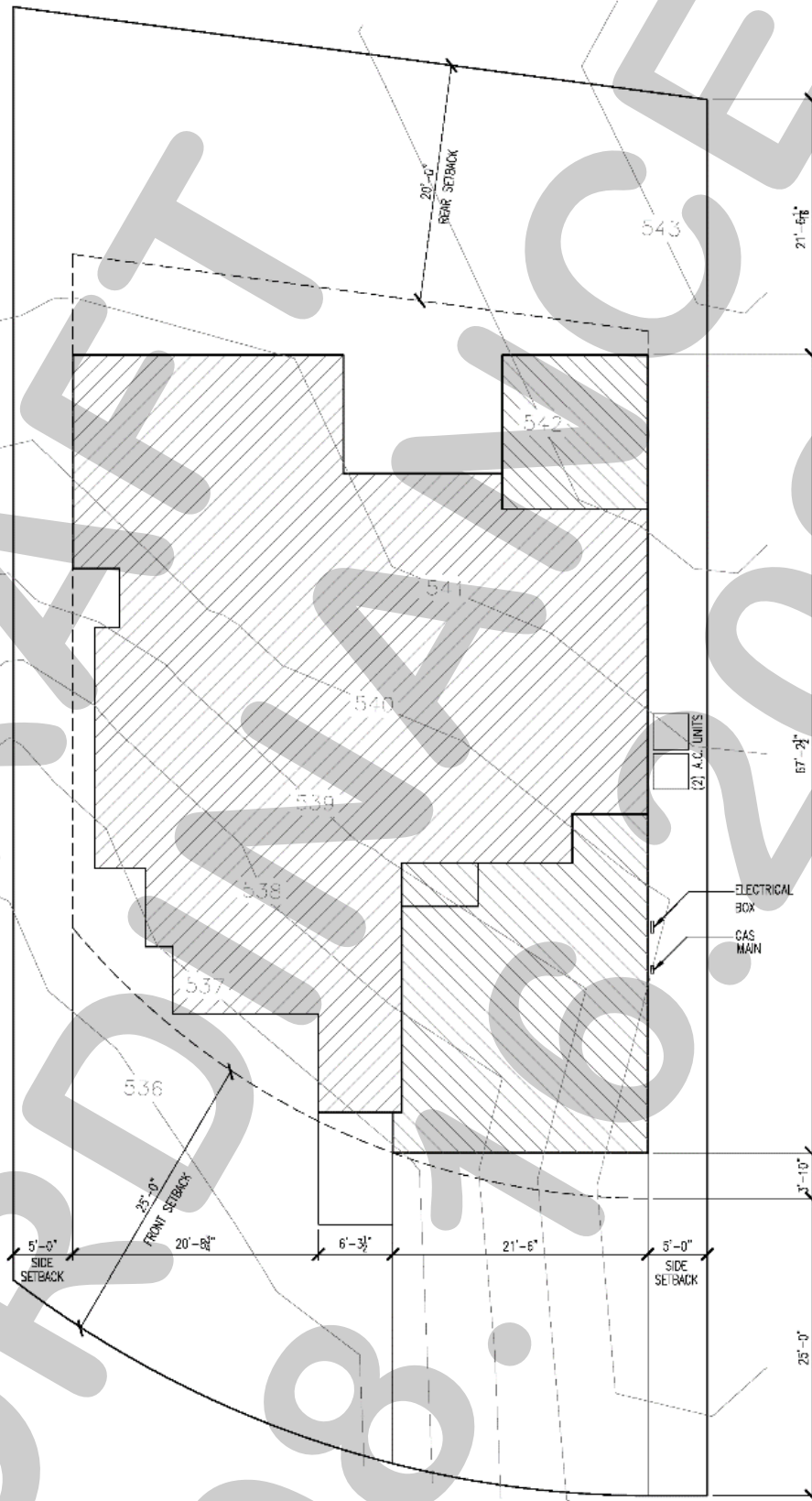
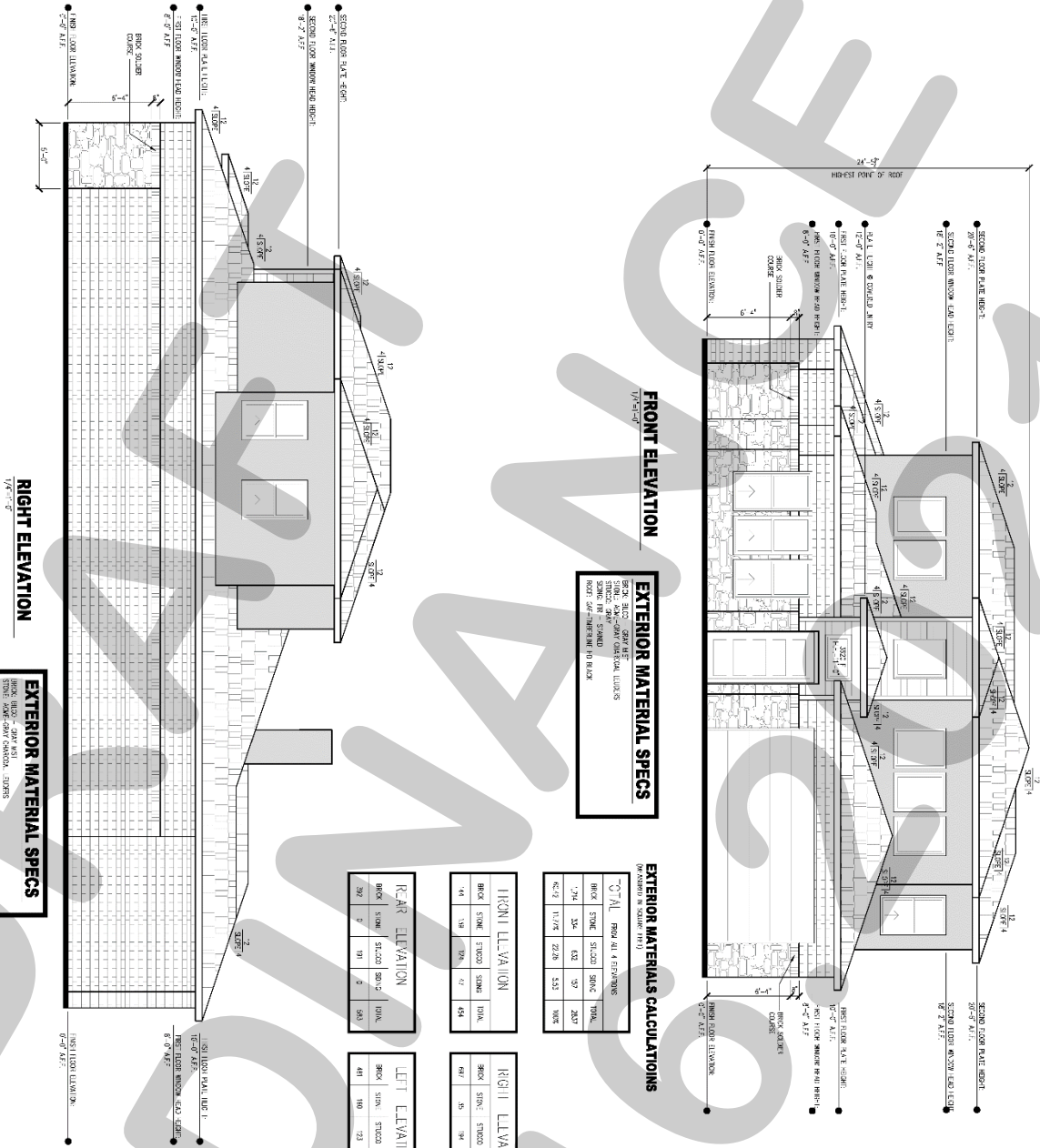


Exhibit 'B':  
Residential Plot Plan



# Exhibit 'C': Building Elevations







September 8, 2021

TO: Ed Cavendish  
Cavendish Homes  
9097 Native Trail  
Heath, TX, 75032

FROM: Henry Lee, *Planner*  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2021-029; *Specific Use Permit (SUP) for 104 Reliance Court*

Ed Cavendish:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on September 7, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
  - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On August 10, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the SUP with the conditions of approval by a vote of 6-0, with Commissioner Moeller absent.

City Council

On September 7, 2021, the City Council approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 7-0. 2nd Reading

Included with this letter is a copy of Ordinance No. 21-40, S-254, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

Henry Lee,  
Planner

**CITY OF ROCKWALL**

**ORDINANCE NO. 21-40**

**SPECIFIC USE PERMIT NO. S-254**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1465-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 28, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City has received a request from Ed Cavendish for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1465-acre parcel of land being described as Lot 28, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 104 Reliance Court, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF SEPTEMBER, 2021.

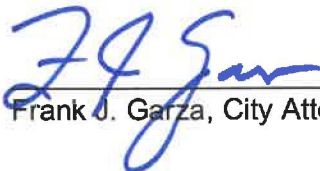
  
\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Cole, City Secretary



**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: August 16, 2021

2<sup>nd</sup> Reading: September 7, 2021



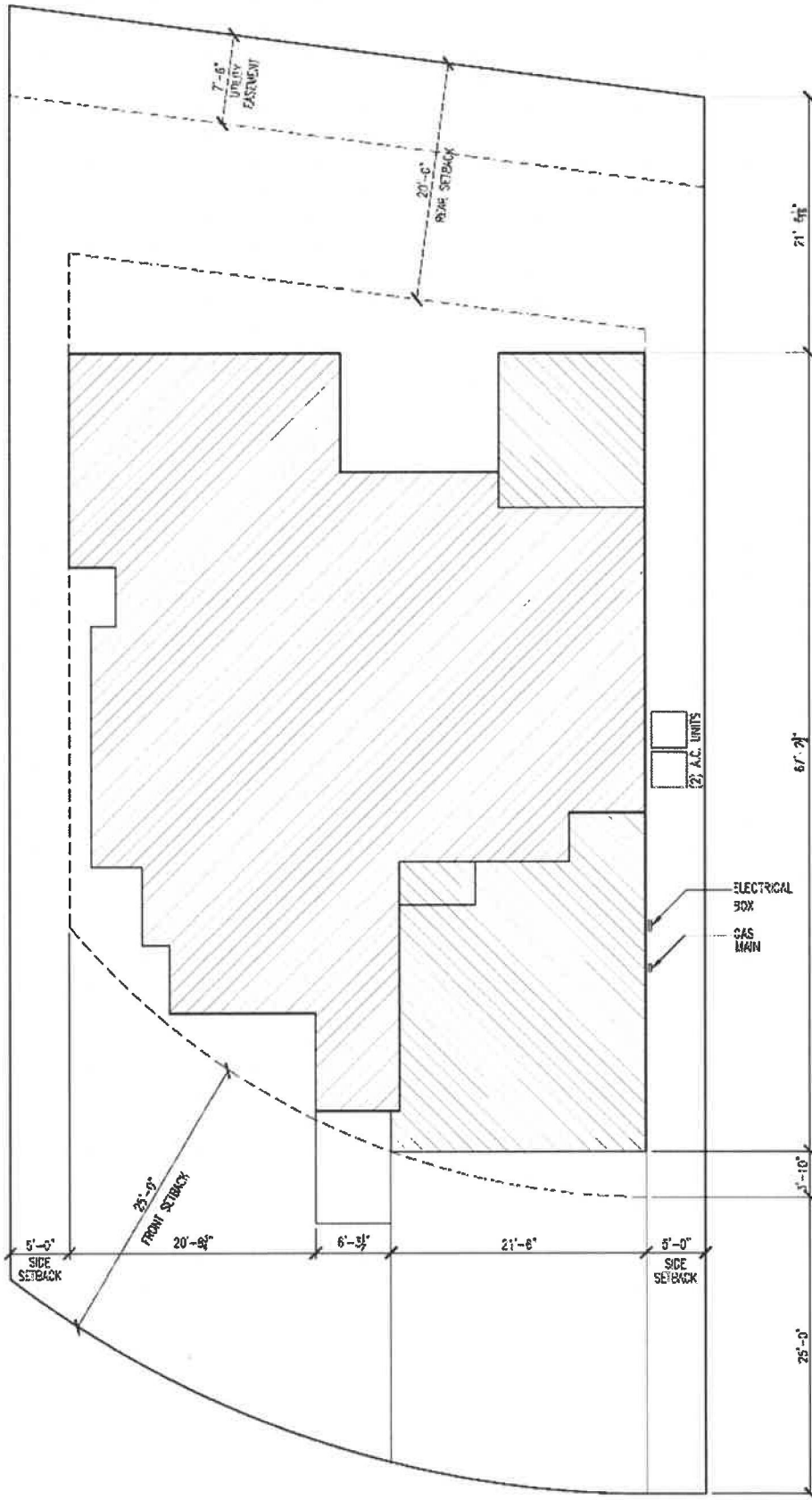
**Exhibit 'A'**  
*Location Map and Survey*

Address: 104 Reliance Court

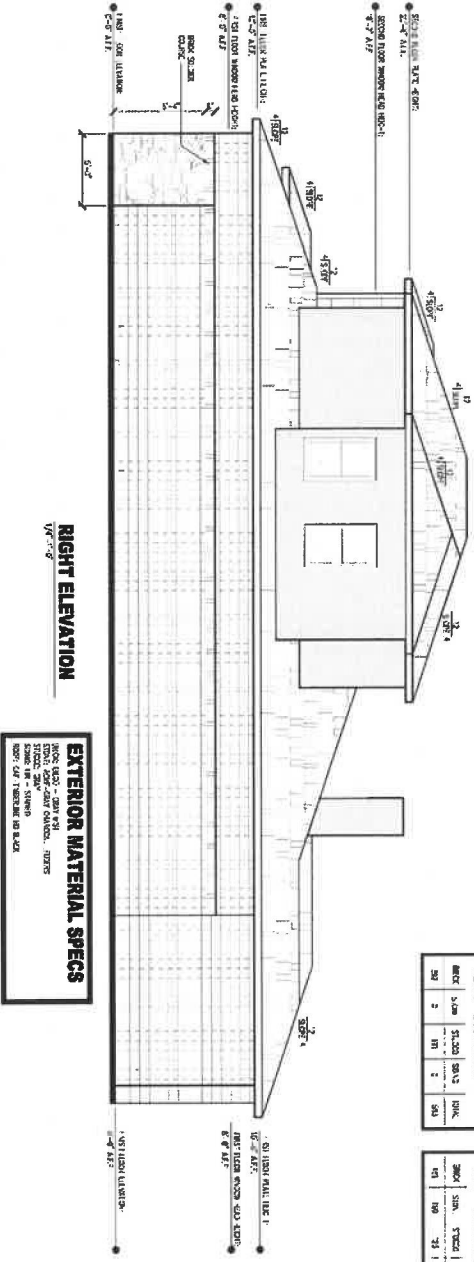
Legal Description: Lot 28, Block A, Chandler's Landing, Phase 20



**Exhibit 'B':  
Residential Plot Plan**



# Exhibit 'C': Building Elevations



**FRONT ELEVATION**  
1/8" = 1'-0"

**RIGHT ELEVATION**  
1/8" = 1'-0"

**FRONT ELEVATION**  
1/8" = 1'-0"

**EXTERIOR MATERIAL SPECS**

ROOF: GABLE - DARK GRAY  
WALLS: BRICK - RED  
ACCENT WALLS: BRICK - RED  
SILLING: BRICK - RED  
SILLING: BRICK - RED  
SILLING: BRICK - RED

**EXTERIOR MATERIALS CALCULATIONS**  
(Square Feet)

NO.	AL.	FROM	HT.	FT.	WIDE	THICK.
1	ROOF	50.00	12.00	1200	12.00	1200
2	WALL	120	12	1440	12	1440
3	WALL	120	12	1440	12	1440
4	WALL	120	12	1440	12	1440
5	WALL	120	12	1440	12	1440

**FRONT ELEVATION**

NO.	AL.	FROM	HT.	FT.	WIDE	THICK.
1	ROOF	50.00	12.00	1200	12.00	1200
2	WALL	120	12	1440	12	1440
3	WALL	120	12	1440	12	1440
4	WALL	120	12	1440	12	1440
5	WALL	120	12	1440	12	1440

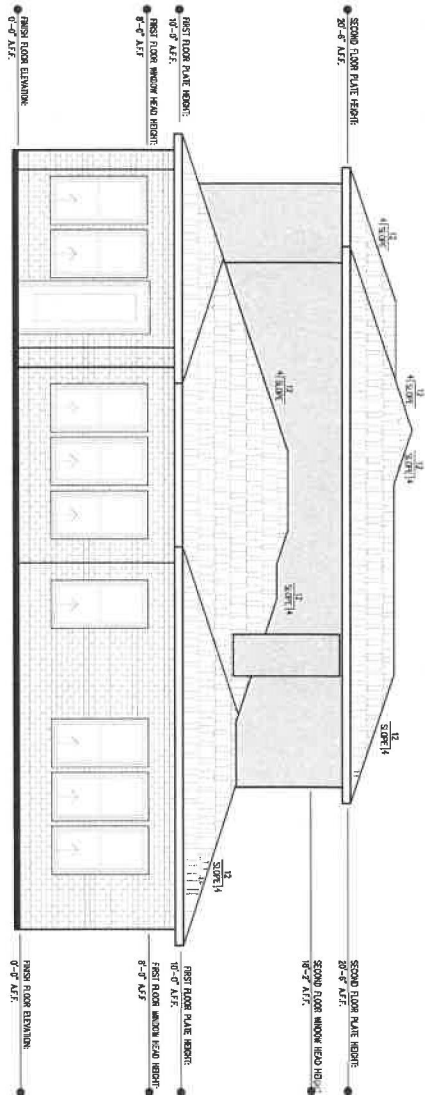
**RIGHT ELEVATION**

NO.	AL.	FROM	HT.	FT.	WIDE	THICK.
1	ROOF	50.00	12.00	1200	12.00	1200
2	WALL	120	12	1440	12	1440
3	WALL	120	12	1440	12	1440
4	WALL	120	12	1440	12	1440
5	WALL	120	12	1440	12	1440

**EXTERIOR MATERIAL SPECS**

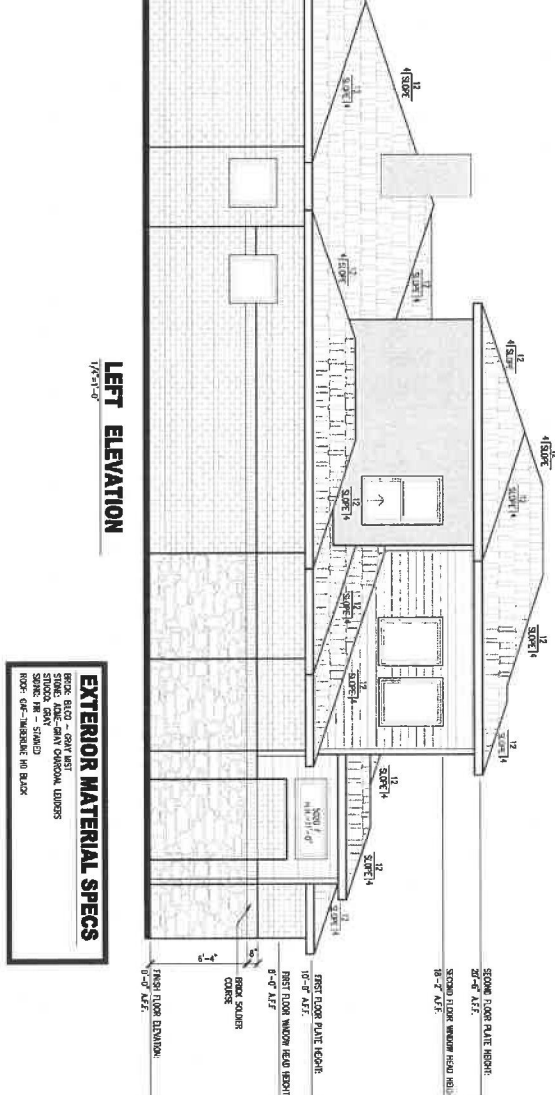
ROOF: GABLE - DARK GRAY  
WALLS: BRICK - RED  
ACCENT WALLS: BRICK - RED  
SILLING: BRICK - RED  
SILLING: BRICK - RED  
SILLING: BRICK - RED

# Exhibit 'C': Building Elevations



**EXTERIOR MATERIAL SPECS**

BRICK: RED  
PAINT: WHITE  
SILLING: ASPEN-DOWN ORANGEWOOD LUMBERS  
WOOD: 2x4  
ROOF: 2x12-16  
ROOF: 2x12-16



**EXTERIOR MATERIAL SPECS**

BRICK: RED  
PAINT: WHITE  
SILLING: ASPEN-DOWN ORANGEWOOD LUMBERS  
WOOD: 2x4  
ROOF: 2x12-16  
ROOF: 2x12-16