



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2021-035 P&Z DATE 01/11/21 CC DATE \_\_\_\_\_ APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. SP2021-035

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Address not available

SUBDIVISION Allen Anderson Addition

LOT 2 BLOCK 2

GENERAL LOCATION Northwest corner of Rockwall Parkway and FM 3097

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-009

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Financial Institution with Drive-Through

ACREAGE 1.198

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Frost Bank

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Ross Wood

CONTACT PERSON Priya Acharya

ADDRESS 3833 Roger Road

ADDRESS 2201 E. Lamar Blvd. Suite 200E

CITY, STATE & ZIP San Antonio, Texas, 78251

CITY, STATE & ZIP Arlington, Texas, 76006

PHONE (210) 220-5842

PHONE (817) 467-7700

E-MAIL ross.wood@frostbank.com

E-MAIL priyaa@wierassociates.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ross Wood [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$                      TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17<sup>th</sup> DAY OF December, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND PERMITTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF December, 2021

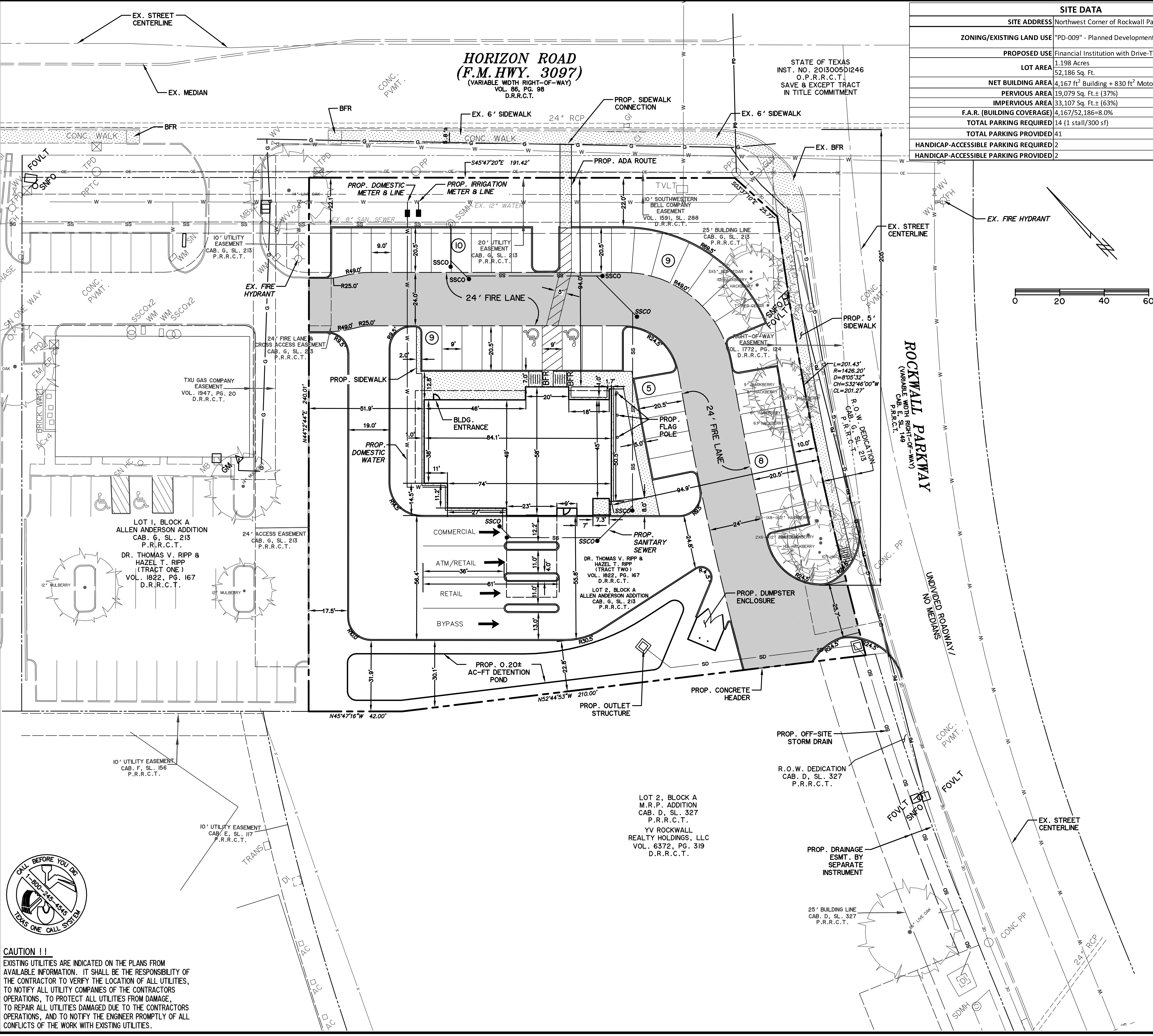
OWNER'S SIGNATURE

*Ross Wood*

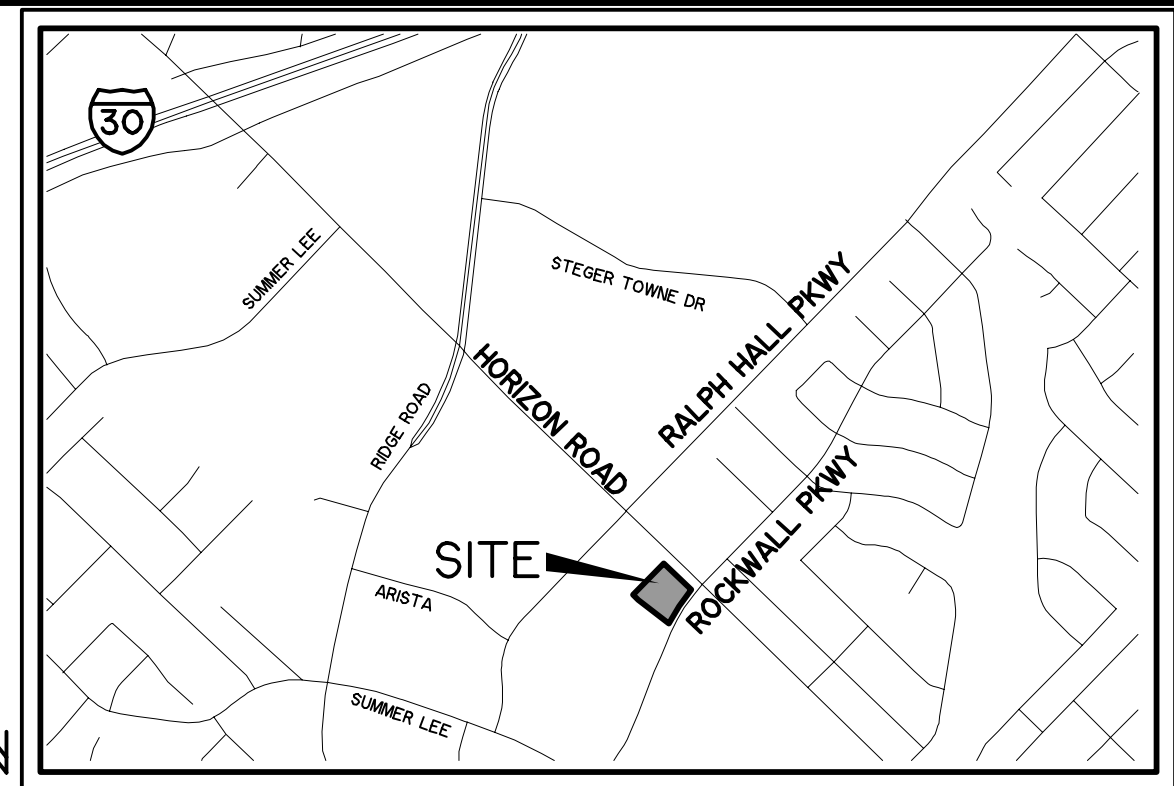
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



PRINTED: 12/17/2021 9:27 AM FILE: PRIYAA FILE: CITY-SITE-PLAN-21089.DWG



SITE DATA	
SITE ADDRESS	Northwest Corner of Rockwall Parkway and FM 3097
ZONING/EXISTING LAND USE	PD-009 - Planned Development; Vacant
PROPOSED USE	Financial Institution with Drive-Through
LOT AREA	1.198 Acres 52,186 Sq. Ft.
NET BUILDING AREA	4,167 ft <sup>2</sup> Building + 830 ft <sup>2</sup> Motor Bank
PERVIOUS AREA	19,079 Sq. Ft. ± (37%)
IMPERVIOUS AREA	33,107 Sq. Ft. ± (63%)
F.A.R. (BUILDING COVERAGE)	4,167/52,186=8.0%
TOTAL PARKING REQUIRED	14 (1 stall/300 sf)
TOTAL PARKING PROVIDED	41
HANDICAP-ACCESSIBLE PARKING REQUIRED	2
HANDICAP-ACCESSIBLE PARKING PROVIDED	2



VICINITY MAP NOT TO SCALE

TOPOGRAPHIC LEGEND	
BOL	BOLLARD
CI	CURB INLET
EB	ELECTRIC BOX
EM	ELECTRIC METER
FB	FIBER OPTIC VAULT
GM	GAS METER
GS	GAS TEST STATION
GUY	GUY WIRE
HC	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IRF	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE W/CONDUIT
PPC	POWER POLE W/LIGHT POLE
PPF	POWER POLE W/TRANSFORMER
RCP	CONCRETE STORM DRAIN PIPE
RPTC	POWER POL W/CONDUIT AND TRANSFORMER
SDMH	STORM DRAIN MANHOLE
SGH	UNDERGROUND TELEPHONE SIGN
SNT	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPO	TELEPHONE PEDestal
TMB	TRAFFIC SIGNAL BOX
TMH	TELEPHONE MANHOLE
TRNS	TRANSFORMER PAD
TSP	TRAFFIC SIGNAL POLE
TVLT	TRAFFIC SIGNAL VAULT
WM	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVLT	WATER VAULT
WVLE	OVERHEAD ELECTRIC LINE
WVLE	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
WVLE	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
UT	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE

SITE LEGEND	
[Symbol]	PROP. FIRE LANE & CROSS ACCESS EASEMENT
[Symbol]	PROP. SIDEWALK
[Symbol]	PROPOSED 12" OR SMALLER WATER MAIN
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED 12" OR SMALLER SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED GRATE INLET
[Symbol]	PROPOSED CURB INLET
[Symbol]	HANDICAP-ACCESSIBLE PARKING STALL
[Symbol]	BARRIER FREE RAMP
[Symbol]	PROPERTY LINE
[Symbol]	LIGHT POLE
[Symbol]	MEASUREMENT TO BACK OF CURB
[Symbol]	PROPOSED DROP INLET
[Symbol]	PROPOSED JUNCTION BOX
[Symbol]	PROPOSED SANITARY SEWER CLEANOUT

- NOTE:**
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADII WITHIN PROPERTY ARE 2.5' B/C UNLESS SPECIFIED OTHERWISE.
  - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ON-SITE PAVEMENT SHALL BE:
- |            |                                 |
|------------|---------------------------------|
| PARKING:   | 5' REINFORCED CONCRETE PAVEMENT |
| FIRE LANE: | 6' REINFORCED CONCRETE PAVEMENT |
| DUMPSTER:  | 7' REINFORCED CONCRETE PAVEMENT |

OWNER: THOMAS AND HAZEL RIPP  
2266 LAFAYETTE LNDG  
HEATH, TEXAS 75032

DEVELOPER/APPLICANT: FROST BANK  
3833 ROGER ROAD  
SAN ANTONIO, TEXAS 78251  
PHONE: (210)-220-5842  
CONTACT: ROSS WOOD

ENGINEER: WIER & ASSOCIATES, INC.  
2201 E. LAMAR BLVD., STE 200E  
ARLINGTON, TEXAS 76006  
PHONE: (817) 467-7700  
CONTACT: PRIYA ACHARYA, P.E.  
PriyaA@WierAssociates.com

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

## SITE PLAN FROST BANK

SOUTHWEST CORNER OF HORIZON RD. AND ROCKWALL PKWY.  
LOT 2, BLOCK A  
ALLEN ANDERSON ADDITION  
CITY OF ROCKWALL, TEXAS

CASE # \_\_\_\_\_  
EXISTING ZONING: PD-009  
PROPOSED LAND USE: FINANCIAL  
INSTITUTION W/ DRIVE-THRU  
PREPARED BY:

**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS

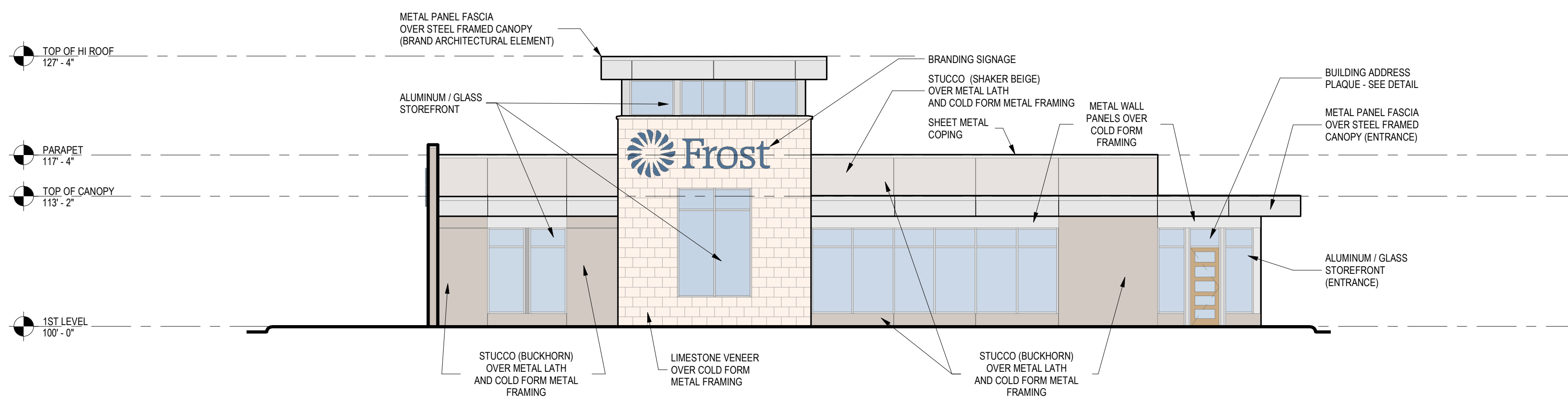
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776      www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
Prepared By/Or Under Direct Supervision Of Priya Acharya, PE  
Texas Registration No. 110146 On Date Shown Below.

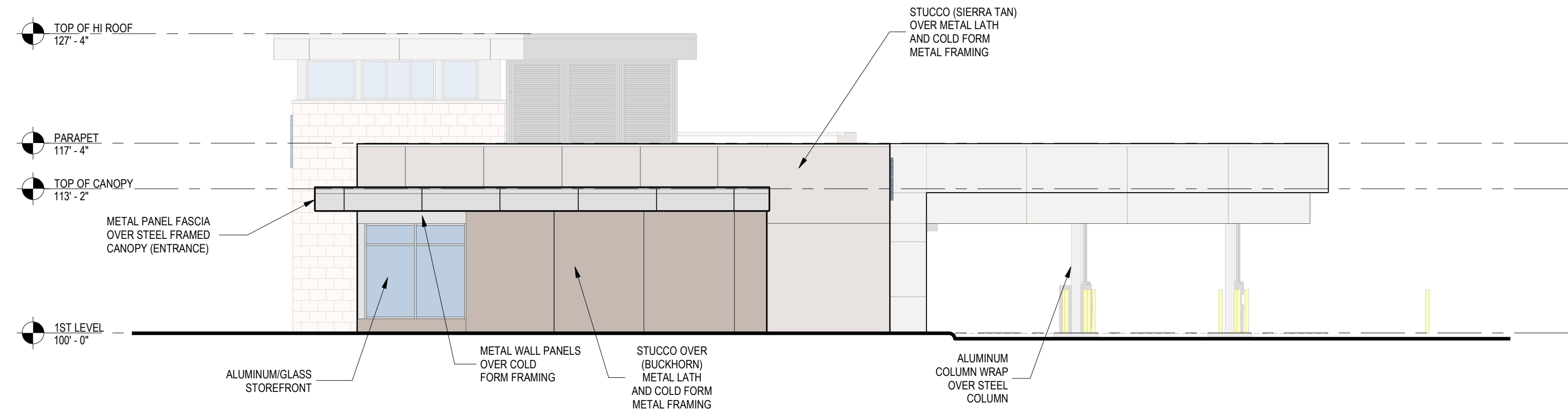
DATE: 12/17/2021  
W.A. No. 21089



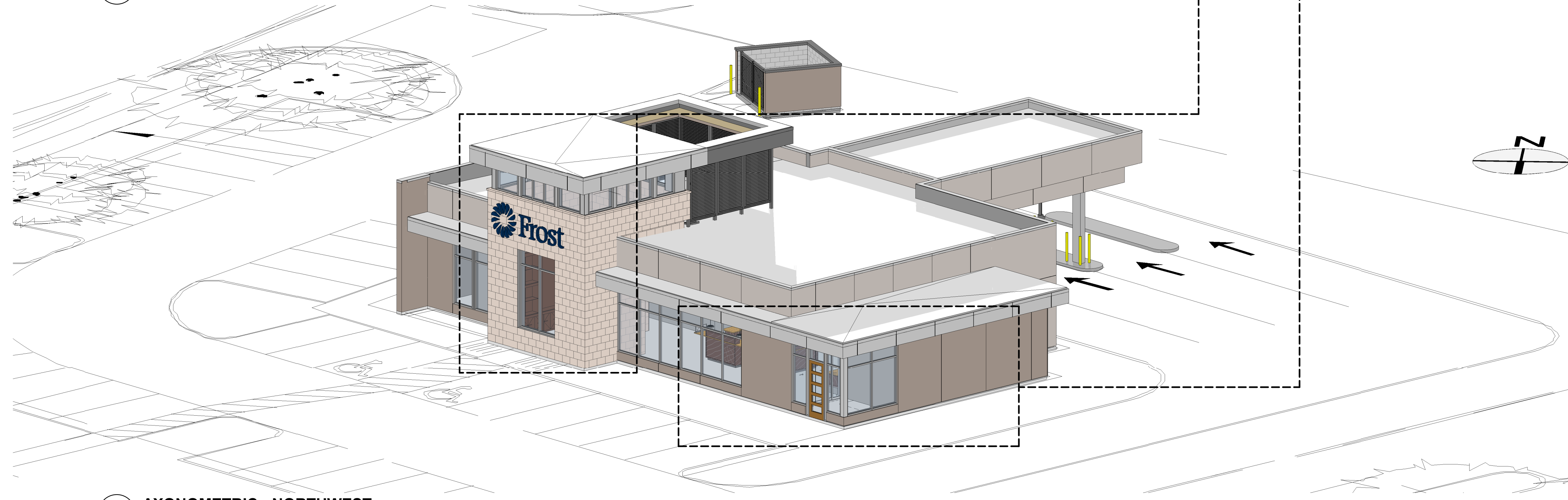
**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



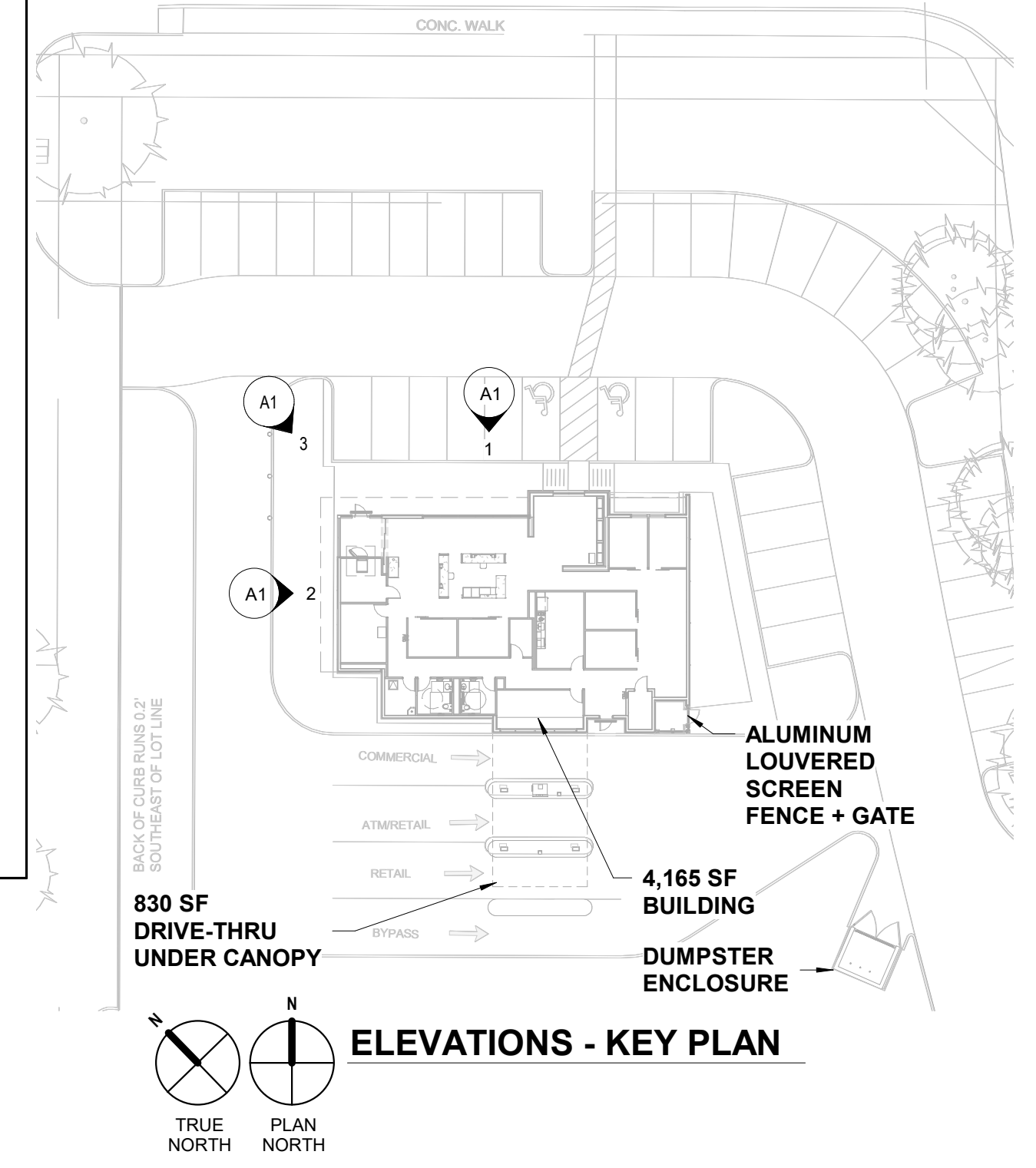
**3 AXONOMETRIC - NORTHWEST**  
N.T.S.

**6 REPRESENTATIVE PROJECT PHOTOGRAPHS**  
N.T.S.



**EXTERIOR MATERIALS SCHEDULE**

MATERIAL	AREA	PERCENTAGE
<b>WEST ELEVATION (SIDE)</b>		
ACM PANELS	13 SF	1%
LIMESTONE VENEER	209 SF	14%
STUCCO	1228 SF	85%
<b>NORTH ELEVATION (FRONT)</b>		
ACM PANELS	52 SF	5%
LIMESTONE VENEER	334 SF	32%
STUCCO	658 SF	63%
<b>Grand total</b>	<b>2494 SF</b>	



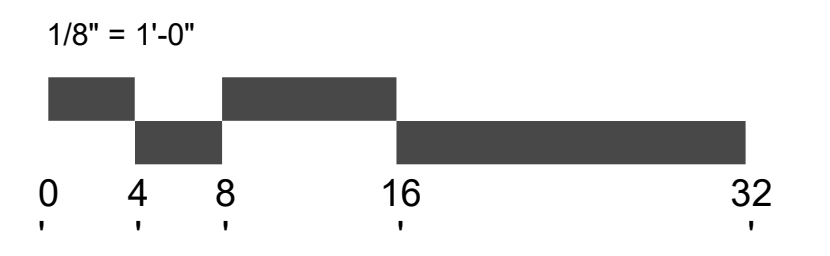
**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF

HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A1**

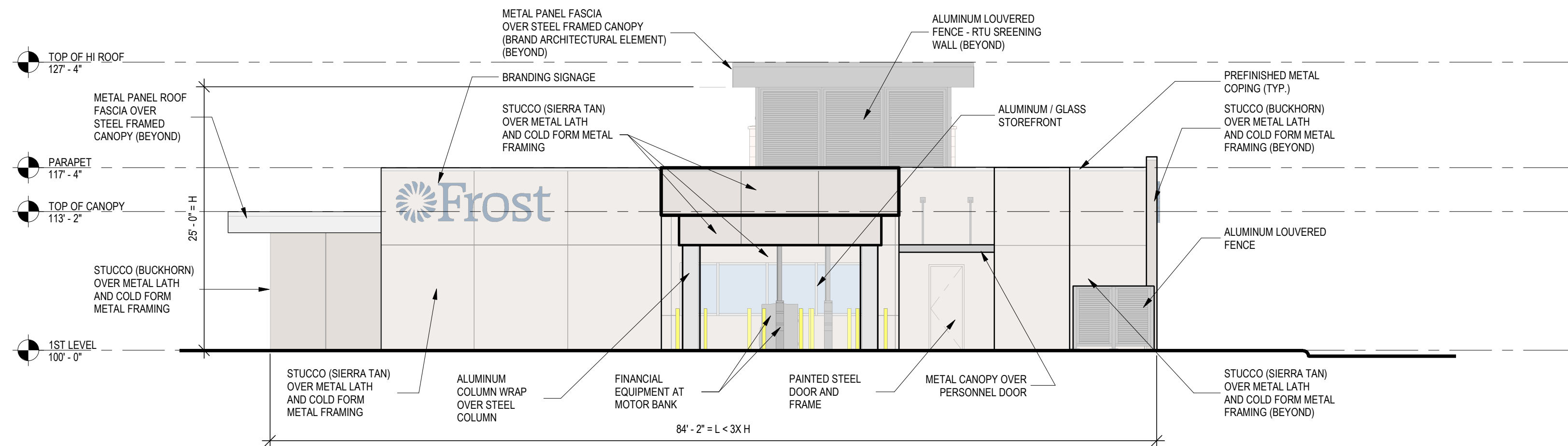
THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.

DATE: 12/17/2021

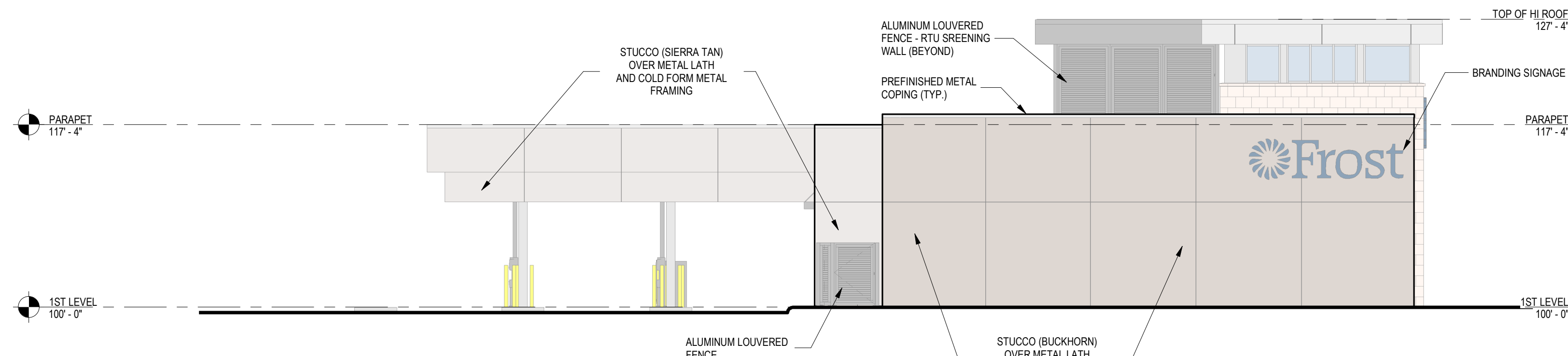
**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com  
Firm Reg. #F-16549



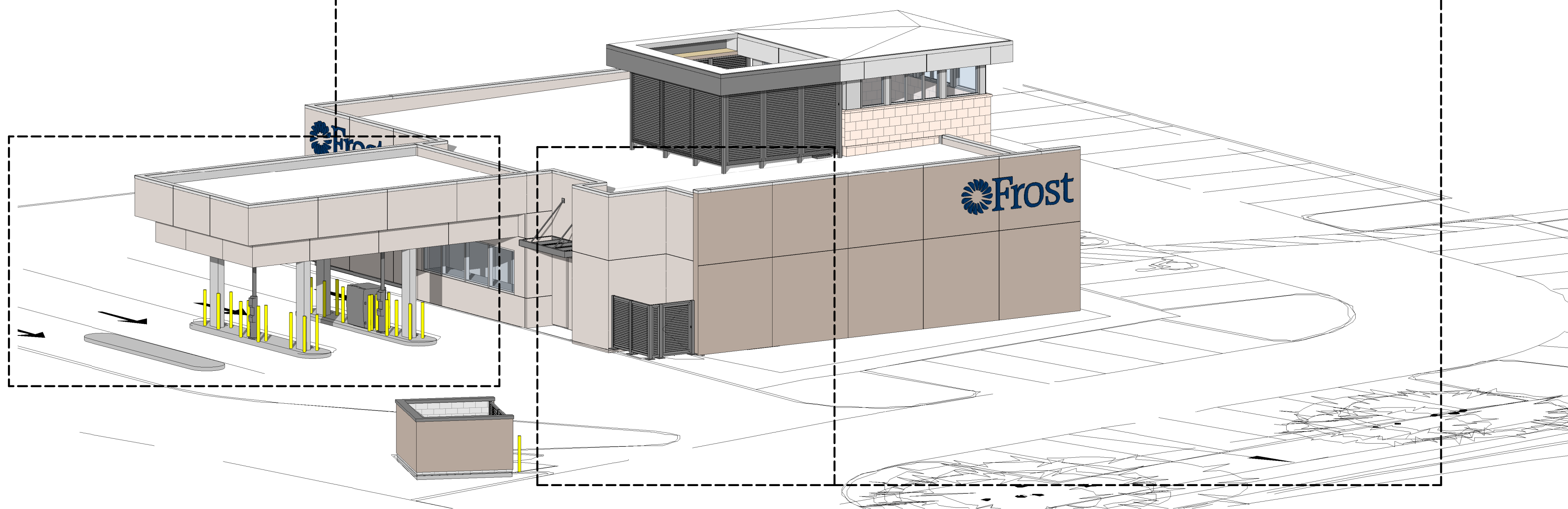
DATE: 12/17/2021



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



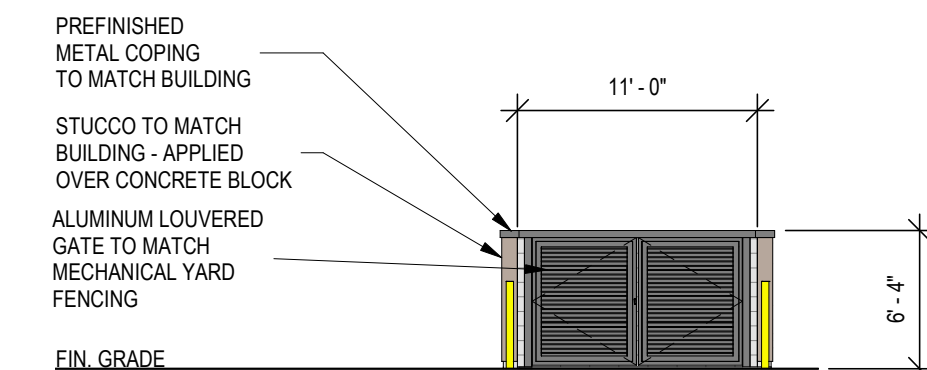
**2 EAST ELEVATION**  
1/8" = 1'-0"



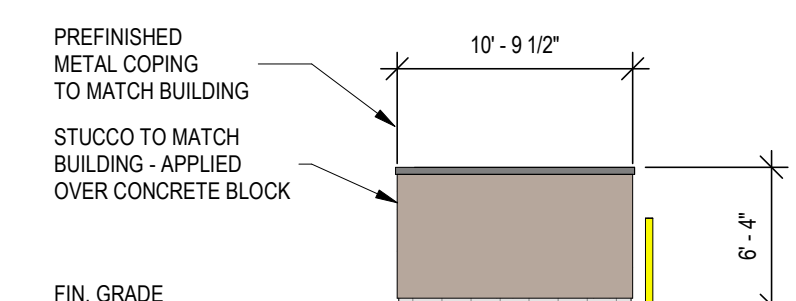
**3 AXONOMETRIC - SOUTHEAST**



**4 REPRESENTATIVE PROJECT PHOTOGRAPHS**  
1/8" = 1'-0"



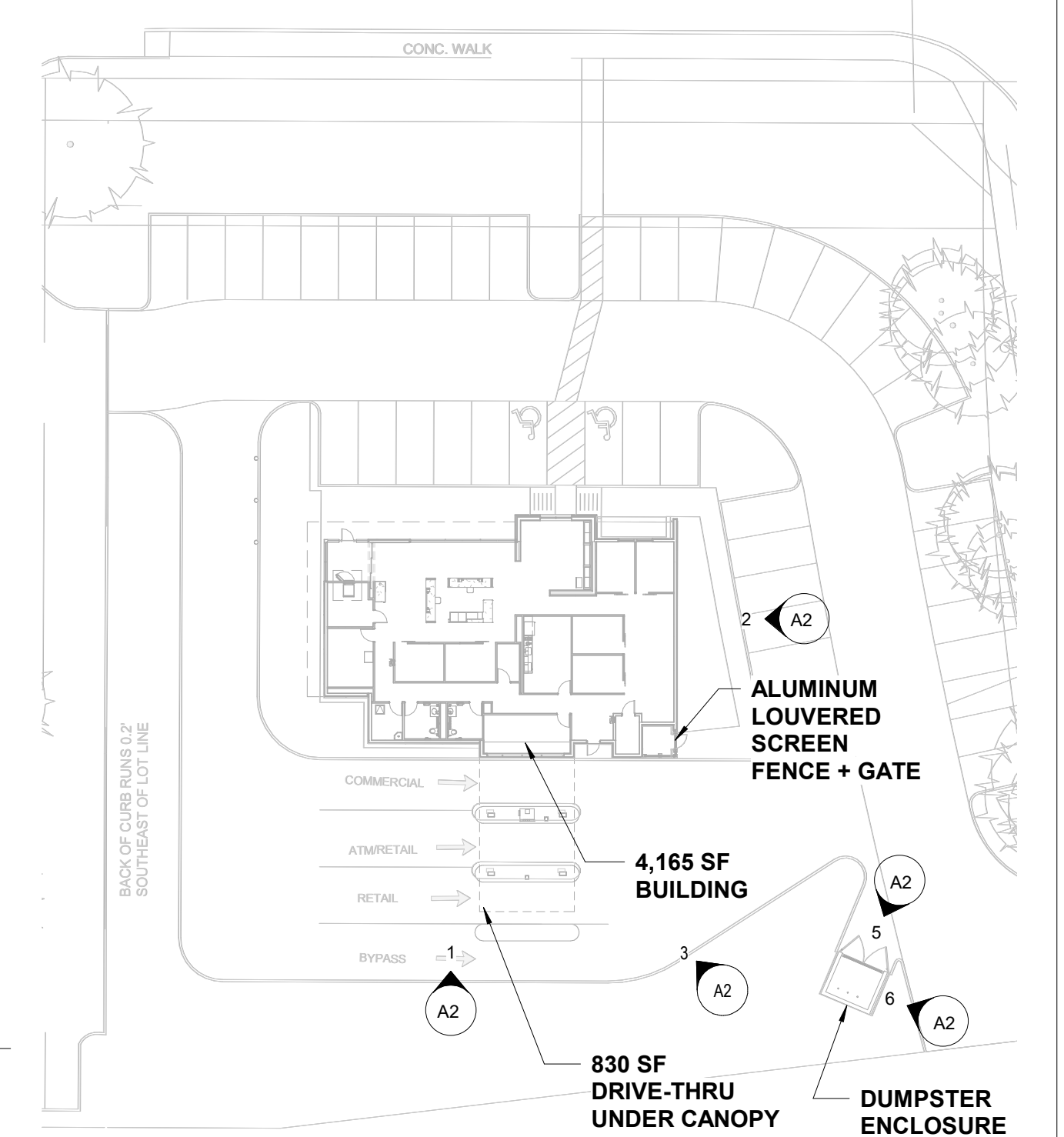
**5 DUMPSTER ENCLOSURE**  
1/8" = 1'-0"



**6 DUMPSTER ENCLOSURE**  
1/8" = 1'-0"

**EXTERIOR MATERIALS SCHEDULE**

MATERIAL	AREA	PERCENTAGE
<b>EAST ELEVATION (SIDE)</b>		
LIMESTONE VENEER	211 SF	4%
STUCCO	4988 SF	96%
<b>SOUTH ELEVATION (REAR)</b>		
STUCCO	1483 SF	100%
<b>Grand total</b>	<b>6681 SF</b>	



**ELEVATIONS - KEY PLAN**

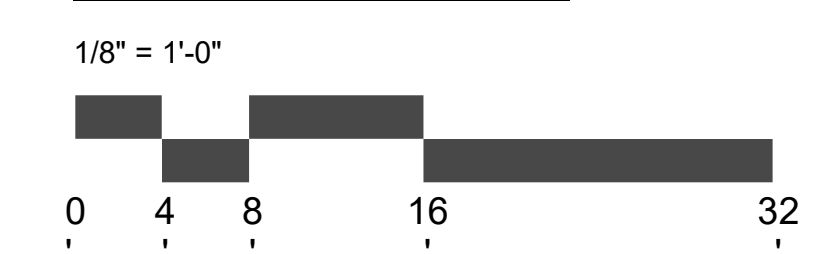
**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF

HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

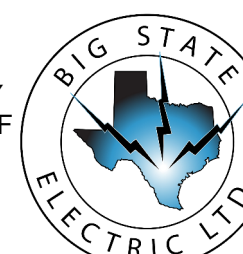
DATE: 12/17/2021

**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A2**

THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.  
DATE: 12/17/2021



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com #F-16549  
Firm Reg.



**W&A WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



**Hahnfeld  
Hoffer  
Stanford**

architects  
planners  
interiors





- 1 METAL WALL PANELS:  
ZINC COTE
- 2 LIMESTONE VENEER:  
IVORY
- 3 PORTLAND CEMENT PLASTER:  
SHAKER BEIGE
- 4 PORTLAND CEMENT PLASTER:  
BUCKHORN
- 5 METAL COPING:  
SIERRA TAN
- 6 METAL COPING:  
BUCKSKIN



**BIG STATE ELECTRIC**  
 1075 Apple Street, P.O. Box 1001  
 East Providence, RI 02917  
 401-438-1001  
 www.bigstateelectric.com  
 24 HOURS

**CCA**  
 LANDSCAPE  
 ARCHITECTS

**VWA**  
 WIER & ASSOCIATES, INC.  
 ARCHITECTURE INTERIORS LANDSCAPE PLANNING

**Hahnfeld  
Hoffer  
Stanford**  
 architects  
planners  
interiors

**Frost**  
 architects  
planners  
interiors

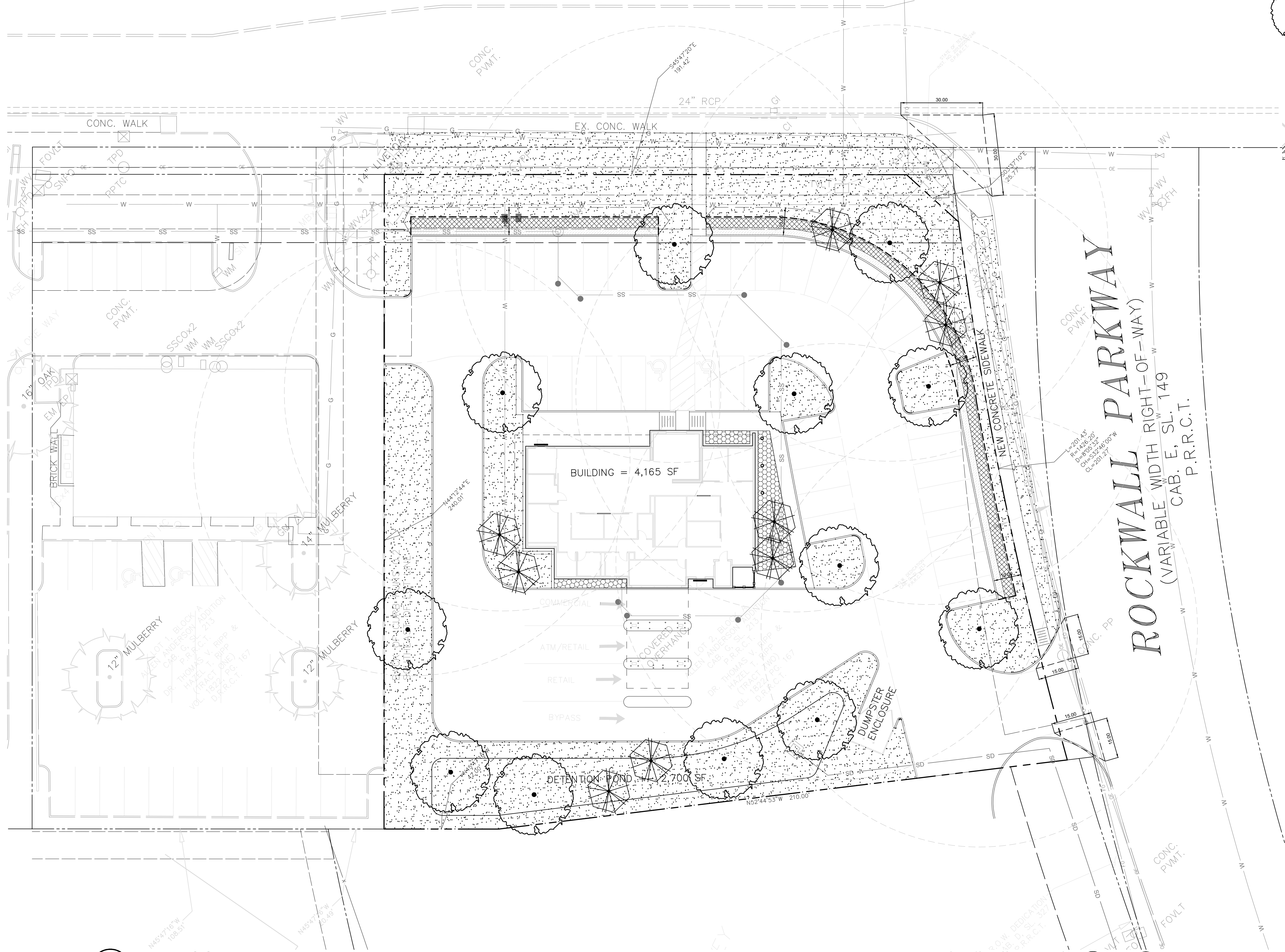
**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

---

**MATERIAL FINISH BOARD**

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



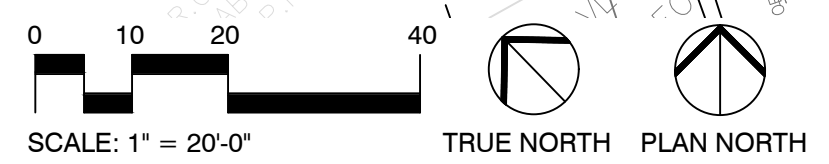
## PLANT AND MATERIAL SCHEDULE - Preliminary Selection List

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT.	CAL.	SIZE	REMARKS	QTY
		NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL PER SPECIFICATIONS. NOTE: SIZES AND SPECIES LISTED ARE REQUIRED BY ROCKWALL UDC.					
		ACCENT TREE OPTIONS:					
	CMN	EVE'S NECKLACE / SOPHORA AFFINIS	CONT. OR B&B	200 GAL. MIN.	10'-12" H X 5' W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, MULTI-TRUNK, NO CROSSING OR RUBBING BRANCHES	X
	SM	SHANTUNG MAPLE / ACER TRUNCATUM 'BABY DRAGON'	CONT. OR B&B	4" CAL. MIN.	10'-12" H X 5' W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, SINGLE TRUNK, CENTRAL LEADER	X
		CANOPY TREE OPTIONS:					
	LE	LACEBARK ELM / ULMUS PARVIFOLIA	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	OM	OCTOBER GLORY MAPLE / ACER RUBRUM 'OCTOBER GLORY'	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	CO	CHINKAPIN OAK / QUERCUS MUEHLENBERGII	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, NO CROSSING BRANCHES	X
	TD	TEXAS RED OAK / QUERCUS BUCKLEYI	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	CM	CADDO MAPLE / ACER SACCHARUM 'CADDO'	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	BC	BALD CYPRESS / TAXODIUM DISTICHUM	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
		SHRUBS / GRASSES					
		NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL PER SPECIFICATIONS. NOTE: SIZES AND SPECIES LISTED ARE REQUIRED BY ROCKWALL UDC.					
		ACCENT TREE OPTIONS:					
	AS	AUTUMN SAGE / SALVIA GREGGII	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	GCM	GULF COAST MUHLY / MUHLENBERGIA CAPILLARIS 'GULF COAST - REGAL MIST'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C.	0.18 PLANTS / SF	X
	HDS	HENRY DUELBURG SAGE / SALVIA PARVIFLORA 'HENRY DUELBURG'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	LM	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C.	0.12 PLANTS / SF	X
	ISO	INLAND SEA OATS / CHASMANTHUM LATIFOLIUM	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	PS	PINK SKULLCAP / SCUTELLARIA SUFFRUTESCENS	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	YRY	YELLOW YUCCA / HESPERALOE PARVIFLORA 'YELLOW'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C.	0.18 PLANTS / SF	X
	RY	RED YUCCA / HESPERALOE PARVIFLORA	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	DYH	DWARF YALPON HOLLY / ILEX VOMITORIA 'NANA' VARIETY	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	KA	KALIDOSCOPE ABELIA / ABELIA X GRANDIFLORA 'KALIDOSCOPE'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	RCA	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C.	0.28 PLANTS / SF	X
	DBH	DWARF BURFORD HOLLY / ILEX CORNUTA 'DWARF BURFORD'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C.	0.12 PLANTS / SF, MIN. 24"	X
	TSG	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	3 GAL.	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C.	0.12 PLANTS / SF, MIN. 24"	X
	LS	BIG BLUE LIRIOPE / LIRIOPE MUCSARI 'BIG BLUE' (DEEP SHADE AT OVERHANGS OF BUILDING ON NORTH)	4" POT	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 12" O.C.	1.25 PLANTS / SF	X
		GRASSES / TURF					
		NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY. ALL DISTURBED AREAS TO BE GRASSED AND SOIL PREPARED PER SPECIFICATIONS. NOTE: SAMPLES / SUBMITTALS TO BE PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.					
		TURF					
	BG	BERMUDA GRASS / CYNODON DACTYLON 'TIFFWAY 419'	SOD	SOLID SOD, REF. SPEC 329200			X

### SITE DATA

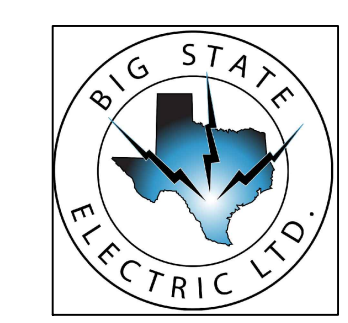
Site Address	Northwest Corner of Rockwall Parkway and FM 3097
Zoning/Existing Land Use	PD-9 - Planned Development, vacant
Proposed Use	Bank
Building	4,165.00 SF
Lot Area	1.20 Acres
	58,186.00 SF
Landscape / Open Space Area	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min. 18,535.00 SF 32% Provided
Pervious Area	18,535.00 SF
Impervious Area	39,651.00 SF
Parking Lot Landscaping	10' Buffer on 2' Berm (determine if allowed in utility easement along FM 3097)
Parking Spaces	18 (1 stall/300 SF)
Landscape Buffer - Street Trees	418.62 LF Frontage - trees restricted due to underground Utilities and Easements One (1) canopy tree and Three (3) accent trees at corner of lot provided
Tree Locations	One tree located min. 80' from parking spaces Trees set back min. 5' from head-in parking
Detention Pond Trees	2,700.00 SF +/- 4 One canopy tree per 750 SF 2 One accent tree per 1,500 SF
Visibility Triangles	As reflected on plan per the UDC
Irrigation	Shall meet all requirements per the UDC
Rights-of-Way & Landscape Buffers	Shall meet all requirements per the UDC - improved with grass (sod)

1 LANDSCAPE PLAN  
1" = 20'-0"



DATE: 12/17/2021

## LANDSCAPE PLAN



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549

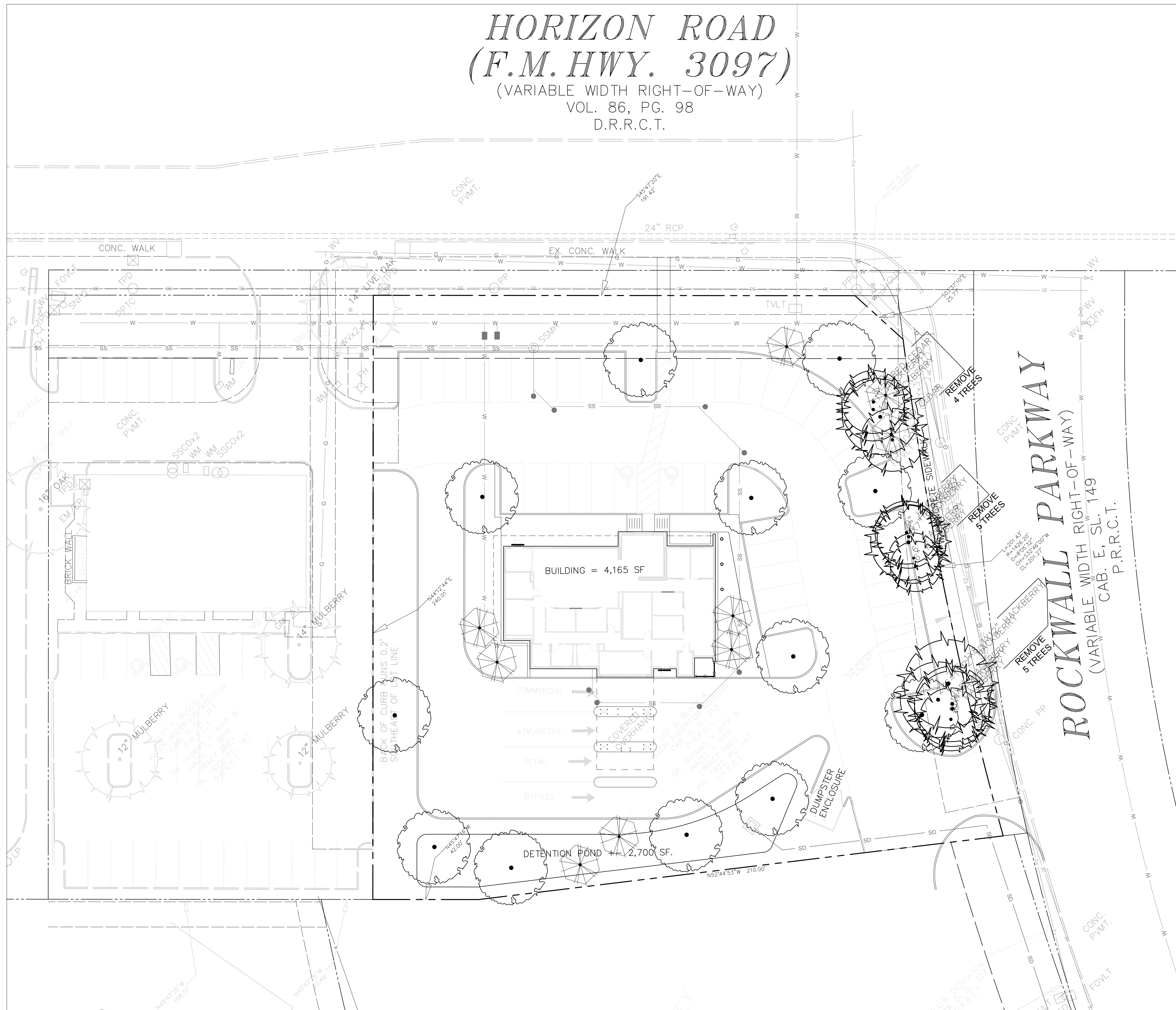


**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**L1**

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



### TREE REMOVAL AND MITIGATION LIST - FROST BANK

Tree Number	Description	Trunk Diameters	Cal Inches	Protected	Removed	Type of Tree	Mitigation Ratio	Cal Inches to Mitigate	Cal Inches Removed	Note
1	HACKBERRY	10"	10	N	Y	Non	0	0.00	10.00	Remove
2	HACKBERRY	14"	14	Y	Y	Secondary	0.5:1	7.00	14.00	Remove
3	HACKBERRY (MT)	(2) 8"	12	Y	Y	Secondary	0.5:1	6.00	12.00	Remove
4	HACKBERRY (MT)	(2) 6", (1) 12"	18	Y	Y	Secondary	0.5:1	9.00	24.00	Remove
5	HACKBERRY (MT)	(2) 6", (1) 8", (1) 12"	22	Y	Y	Secondary	0.5:1	11.00	32.00	Remove
6	HACKBERRY	6"	6	Y	Y	Non	0	0.00	6.00	Remove
7	HACKBERRY	6"	6	Y	Y	Non	0	0.00	6.00	Remove
8	HACKBERRY (MT)	(2) 7"	10.5	Y	Y	Non	0	0.00	14.00	Remove
9	HACKBERRY	8"	8	Y	Y	Non	0	0.00	8.00	Remove
10	HACKBERRY	9"	9	Y	Y	Non	0	0.00	9.00	Remove
11	RED CEDAR	7"	7	Y	Y	Non	0	0.00	7.00	Remove
12	HACKBERRY	12"	12	Y	Y	Secondary	0.5:1	6.00	12.00	Remove
13	HACKBERRY	11"	11	Y	Y	Secondary	0.5:1	5.50	11.00	Remove
14	RED CEDAR (MT)	(3) 5"	10	Y	Y	Non	0	0.00	10.00	Remove
<b>TOTALS:</b>			<b>0</b>	<b>155.5</b>				<b>44.50</b>	<b>175.00</b>	

Tree Classifications	Ratio	Ratio	Fee Per Caliper Inch	
Primary	1.0:1	1.0:1	\$579	Trees 4" to 25"
Secondary Tree	0.5:1	0.5:1	\$290	Hackberry and Cedar 11" to 25"
Featured Tree	2.0:1	2.0:1	\$193	All trees greater than 25"
Non-Protected Tree	0	0	\$135	Any tree less than 4" to 11" for Hackberry and Cedar

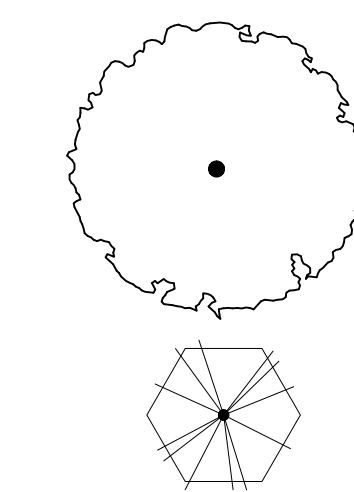
Non-protected Species: All Bois d'Arc, Willow, Cottonwood, Locust and Chinaberry, and Hackberry and Red Cedar trees less than 11" shall be considered non-protected trees and do not require mitigation to be removed.  
Mitigation shall be provided with 4" caliper x min. 7' height trees from the Reclamation/Tree Preservation List. PROVIDE: Minimum of Twelve (12) trees at 4" DBH shall be planted on the site for total of 48".

### EXISTING TREE LEGEND



EXISTING TREES ON SITE TO BE REMOVED

### TREE REPLACEMENT LEGEND

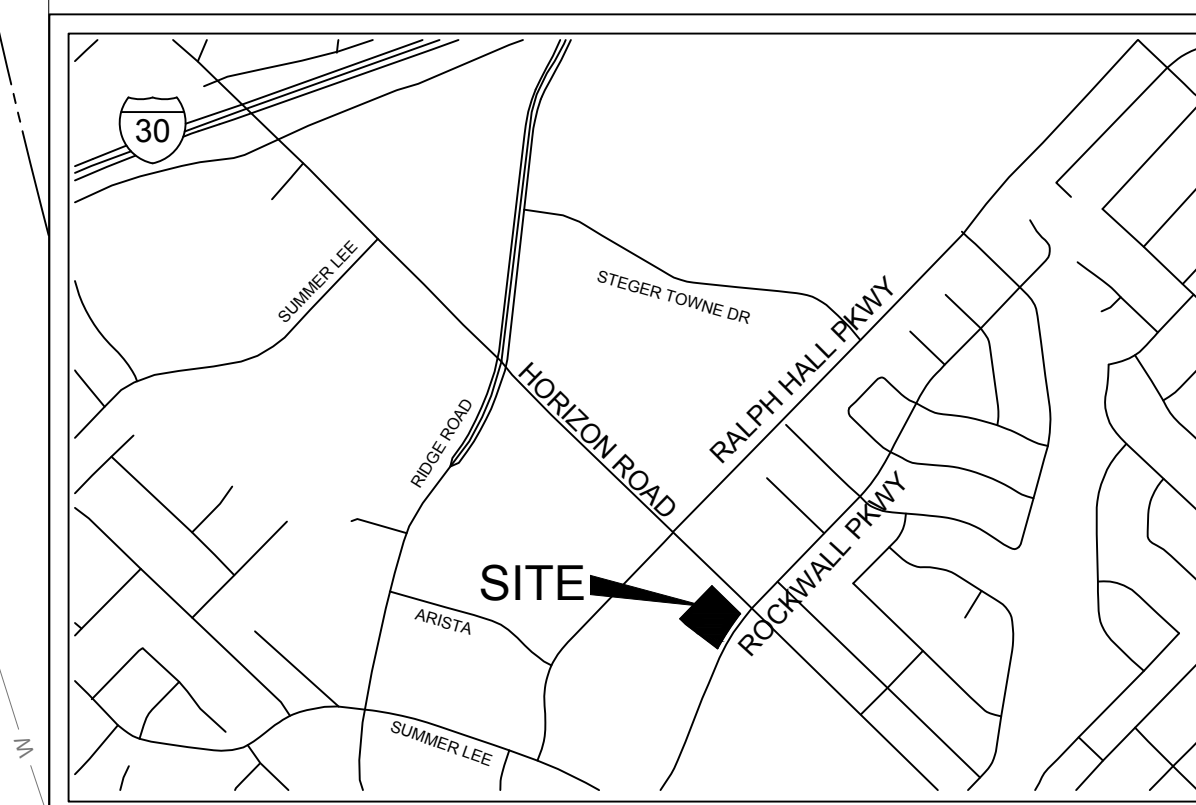


CANOPY TREE - FINAL QUANTITY PENDING UTILITY CONFLICTS

ACCENT TREE - FINAL QUANTITY PENDING

### SITE DATA

<b>Site Address</b>	Northwest Corner of Rockwall Parkway and FM 3097
<b>Zoning/Existing Land Use</b>	PD-9 - Planned Development, vacant
<b>Proposed Use</b>	Bank
<b>Building</b>	4,165.00 SF
<b>Lot Area</b>	1.20 Acres
<b>Landscape / Open Space Area</b>	58,186.00 SF
	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min.
	18,535.00 SF 32% Provided
<b>Pervious Area</b>	18,535.00 SF
<b>Impervious Area</b>	39,651.00 SF
<b>Parking Lot Landscaping</b>	10' Buffer on 2' Berm (determine if allowed in utility easement along FM 3097)
<b>Parking Spaces</b>	18 (1 stall/300 SF)
<b>Landscape Buffer - Street Trees</b>	418.62 LF Frontage - trees restricted due to underground Utilities and Easements
	One (1) canopy tree and Three (3) accent trees at corner of lot provided
<b>Tree Locations</b>	One tree located min. 80' from parking spaces
	Trees set back min. 5' from head-in parking
<b>Detention Pond Trees</b>	2,700.00 SF +
	4 One canopy tree per 750 SF
	2 One accent tree per 1,500 SF
<b>Visibility Triangles</b>	As reflected on plan per the UDC
<b>Irrigation</b>	Shall meet all requirements per the UDC
<b>Rights-of-Way &amp; Landscape Buffers</b>	Shall meet all requirements per the UDC - improved with grass (sod)

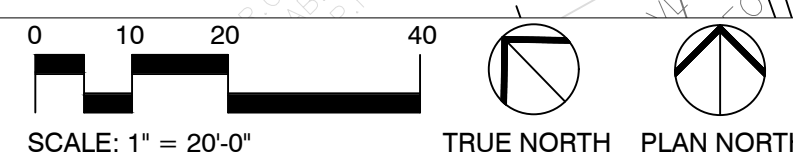


VICINITY MAP  
NOT TO SCALE

DATE: 12/17/2021

### 1 TREESCAPE PLAN

1" = 20'-0"



### TREESCAPE PLAN

**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549

**CCA LANDSCAPE ARCHITECTS**

**WIA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS

**Hahnfeld Hoffer Stanford** architects planners interiors

**Frost**

**FROST BANK  
ROCKWALL FINANCIAL CENTER**

**T1**





ROCKWALL

ROCKWAL PKWY  
ROCKWALL, TX US 75032

EXTERIOR SIGNAGE

12.16.2021

21OP5428



*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown are as close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWALL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
 21OP5428

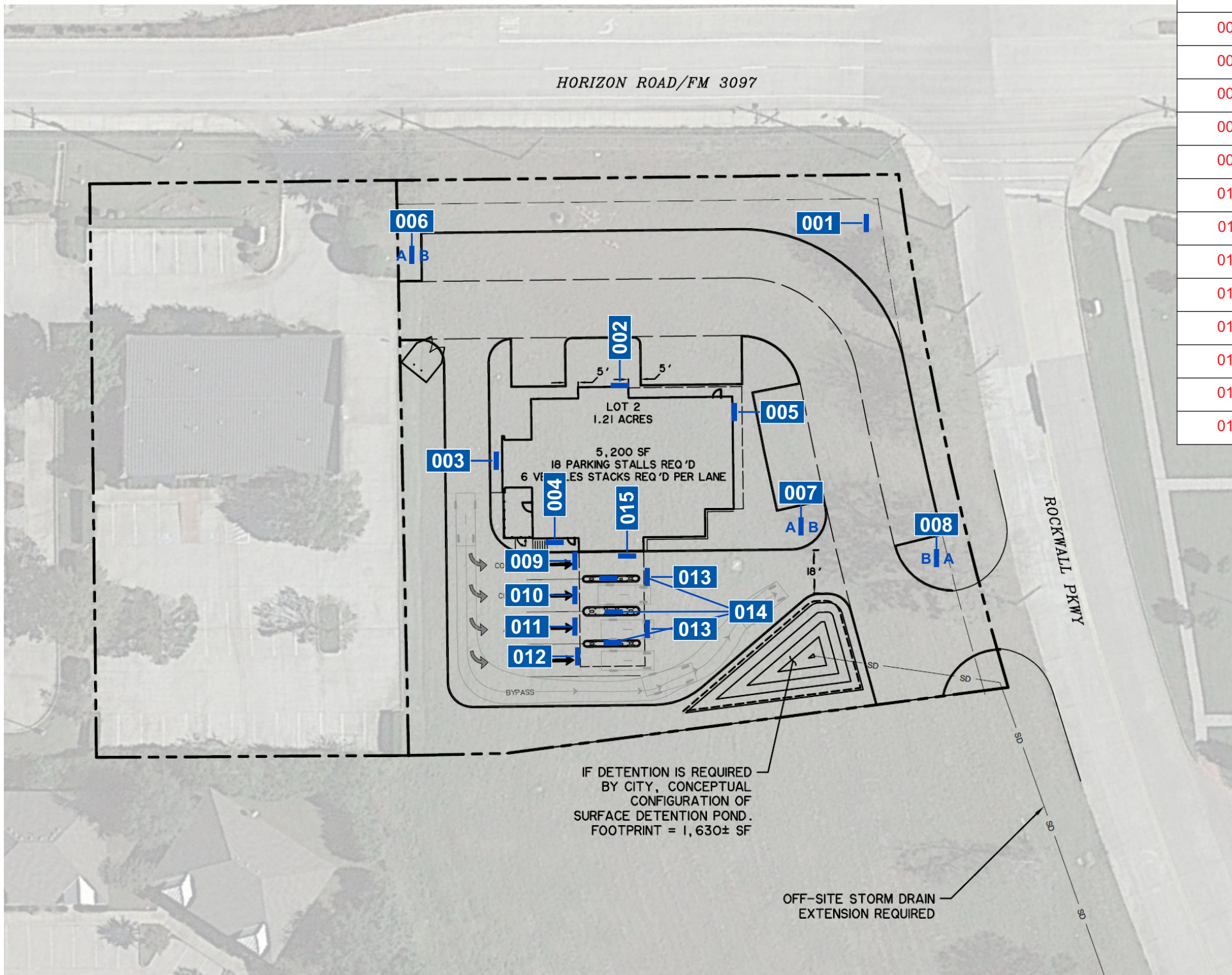
REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

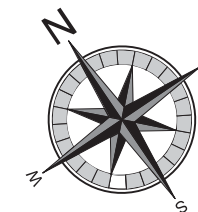
LOCATION	SIGN TYPE	QTY	ITEM DESCRIPTION
001	PL.20	1	ILLUMINATED PYLON SIGN
002	ICL.30	1	ILLUMINATED CHANNEL LETTERS
003	ICL.24	1	ILLUMINATED CHANNEL LETTERS
004	ICL.30	1	ILLUMINATED CHANNEL LETTERS
005	ICL.30	1	ILLUMINATED CHANNEL LETTERS
006	DS.01	1	DIRECTIONAL SIGN
007	DS.01	1	DIRECTIONAL SIGN
008	DS.01	1	DIRECTIONAL SIGN
009	LD.01	1	LANE DESIGNATOR COMMERCIAL
010	LD.01	1	LANE DESIGNATOR COMMERCIAL
011	LD.01	1	LANE DESIGNATOR ATM/PERSONAL
012	LD.01	1	LANE DESIGNATOR PERSONAL
013	LD.02	2	LANE DESIGNATOR DO NOT ENTER
014	DSS.01	3	DEPOSIT SLIP STAND
015	DSB.01	1	DEPOSIT SLIP BOX
016	PS.01	1	PARKING SIGN W/ VAN
017	PS.01	1	PARKING SIGN



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



1. FABRICATED ALUMINUM SIGN CABINET  
PAINTED SOLID COLOR TO MATCH STONE  
AKZO NOBEL COLORMAP 422A2.

2. FABRICATED ALUMINUM CLADDING  
PAINTED AKZO NOBELCOLORMAP 422A2.

3. SANDED 3/16" CLEAR FACE. 1/4" INSET  
EDGE TO BE ILLUMINATED. 1ST SURFACED  
APPLIED PERFORATED VINYL W/ 2ND  
SURFACE APPLIED 70% WHITE DIFFUSER.  
3" DEEP CHANNEL LETTERS. .063 ALUM.  
RETURNS PAINTED TO MATCH  
PMS 540C BLUE. RETAINING BAND SIZE TO  
BE PROPORTIONAL TO LETTERS SIZE

4. ALUMINUM TRIM PAINTED MED FROST  
BEIGE SW6107 NOMADIC DESERT

5. 4" CONCRETE PAD

**\*\*RETAILORED LOGO**

CLIENT

FROST  
ROCKWALL

ADDRESS

ROCKWAL PKWY  
ROCKWALL, TX US 75032

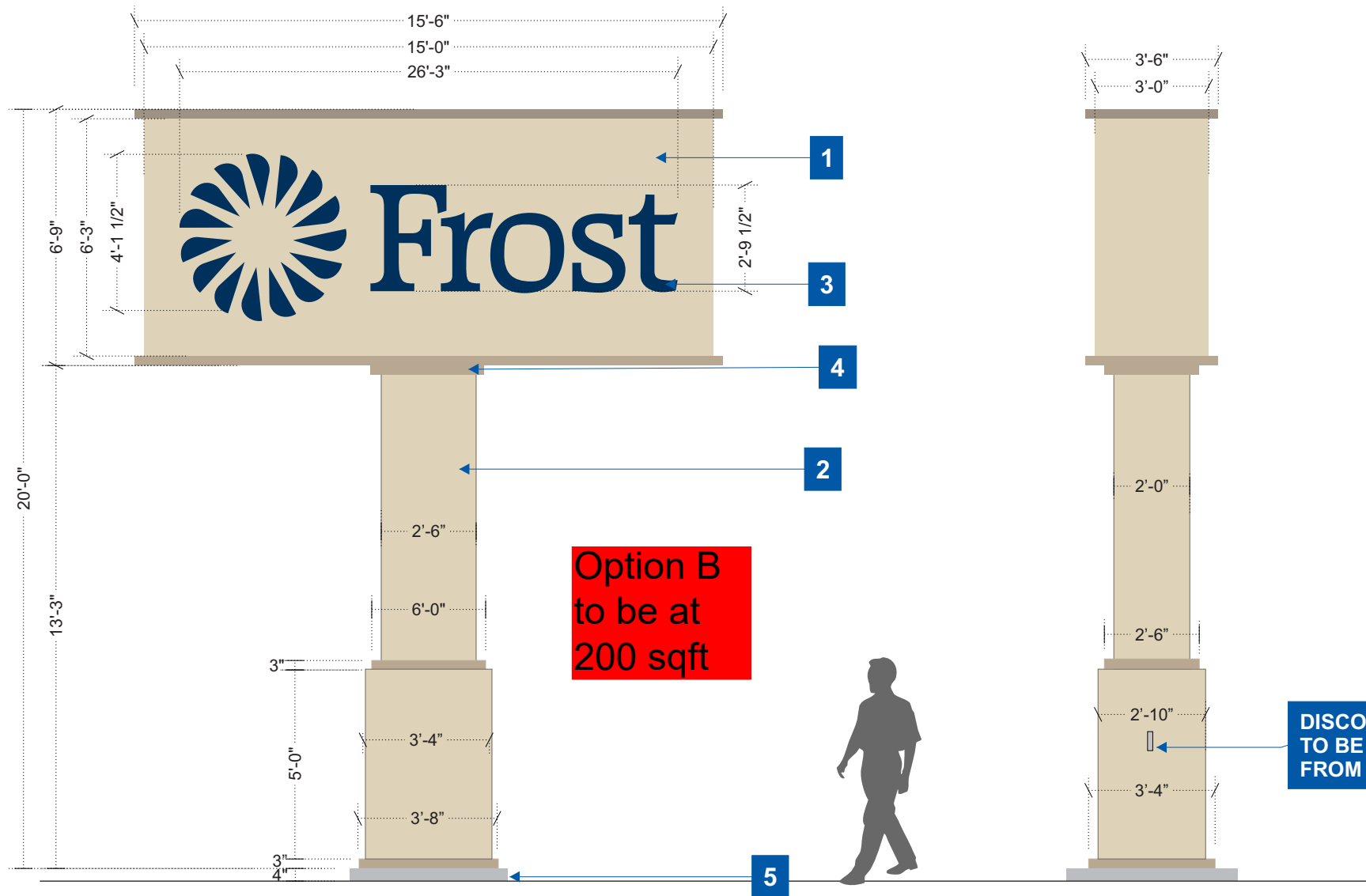
DATE 12.16.2021

DESIGNER - RSH

DRAWING NO.

210P5428

REVISION	DATE

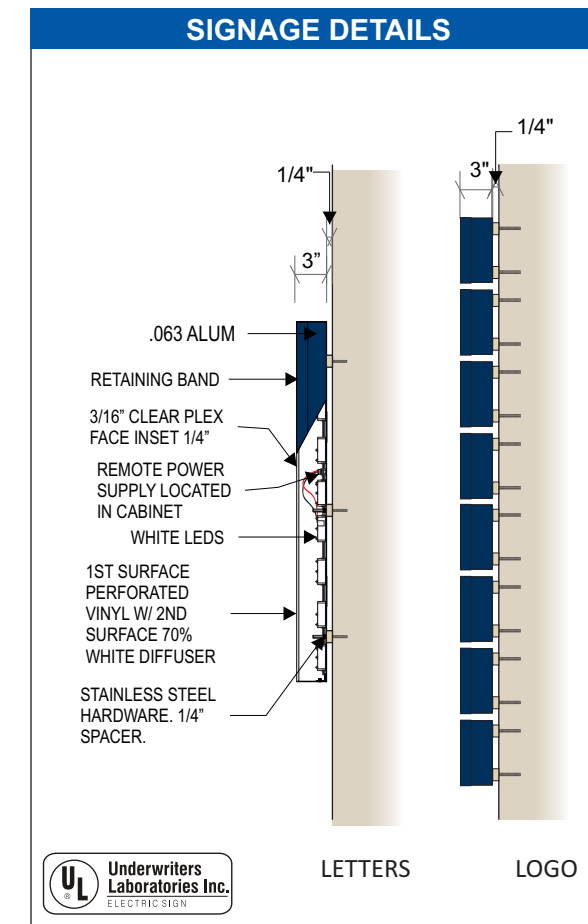


**001** PL.20 - ILLUMINATED PYLON  
SCALE: 1/4" = 1'      100 SQ. FT.

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN  
THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING  
COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN      \_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING



- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V2 - 3M SCOTCHCAL TO MATCH PMS540C
- V5 - DIFFUSER 70% WHITE
- P2 - PAINT TO MATCH COLOR A AKZO NOBEL 422A2
- P4 - PAINT TO MATCH COLOR B SW6107 NOMADIC DESERT

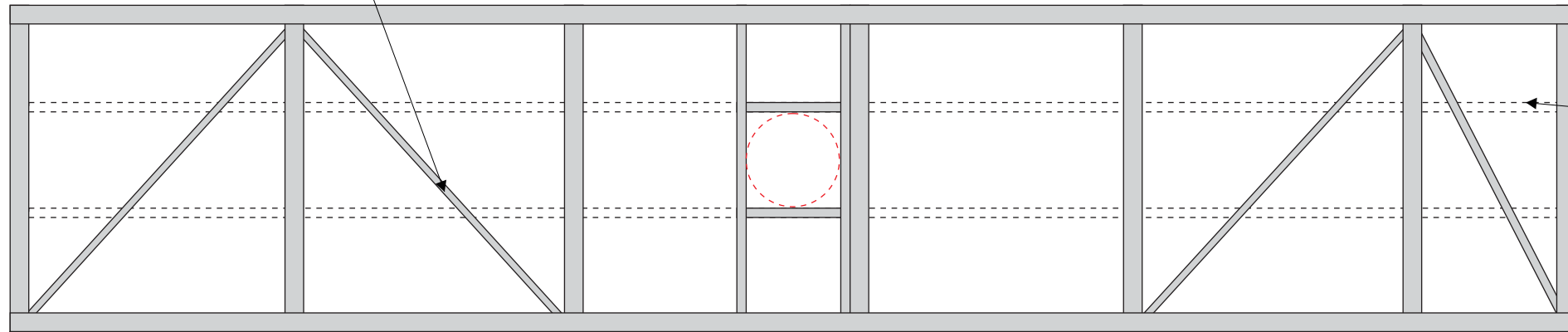
APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

**PYLON FRAME DETAIL**

2" x 2" x .187" ALUMINUM JACK BRACES



SAG BRACES

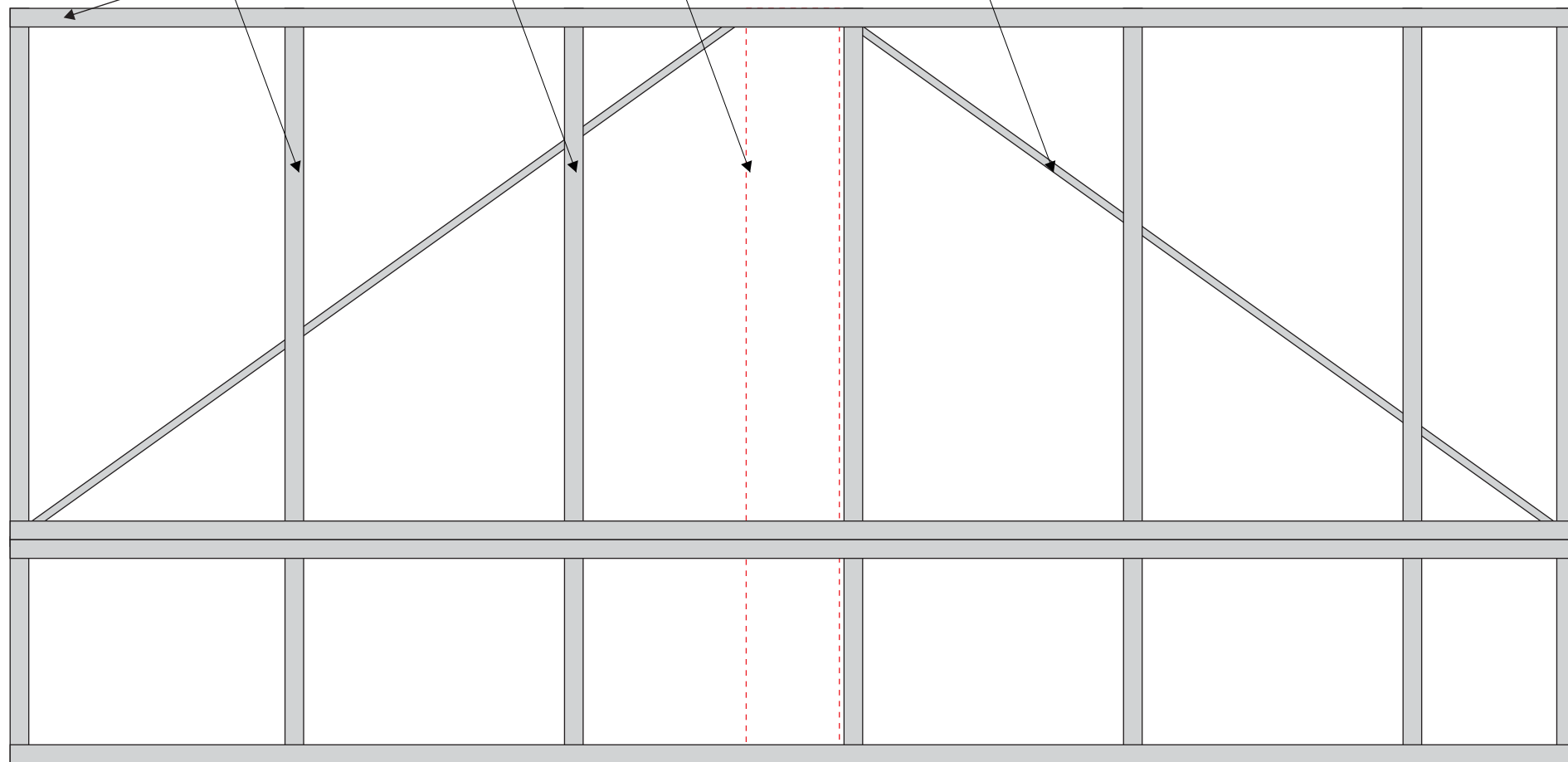
**TOP ELEVATION**

4" X 4" X .25" ALUMINUM ANGLE

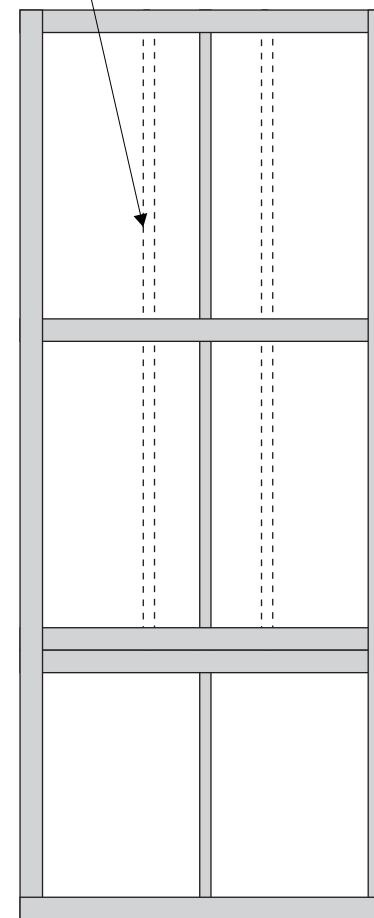
4" X 4" X .25" ALUMINUM ANGLE

2" x 2" x .187" ALUMINUM SADDLE

SAG BRACES 2" X 2" X .187" STEEL



SAG BRACES



**FRONT ELEVATION**

**SIDE ELEVATION**

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER** - RSH  
**DRAWING NO.**  
 21OP5428

REVISION	DATE

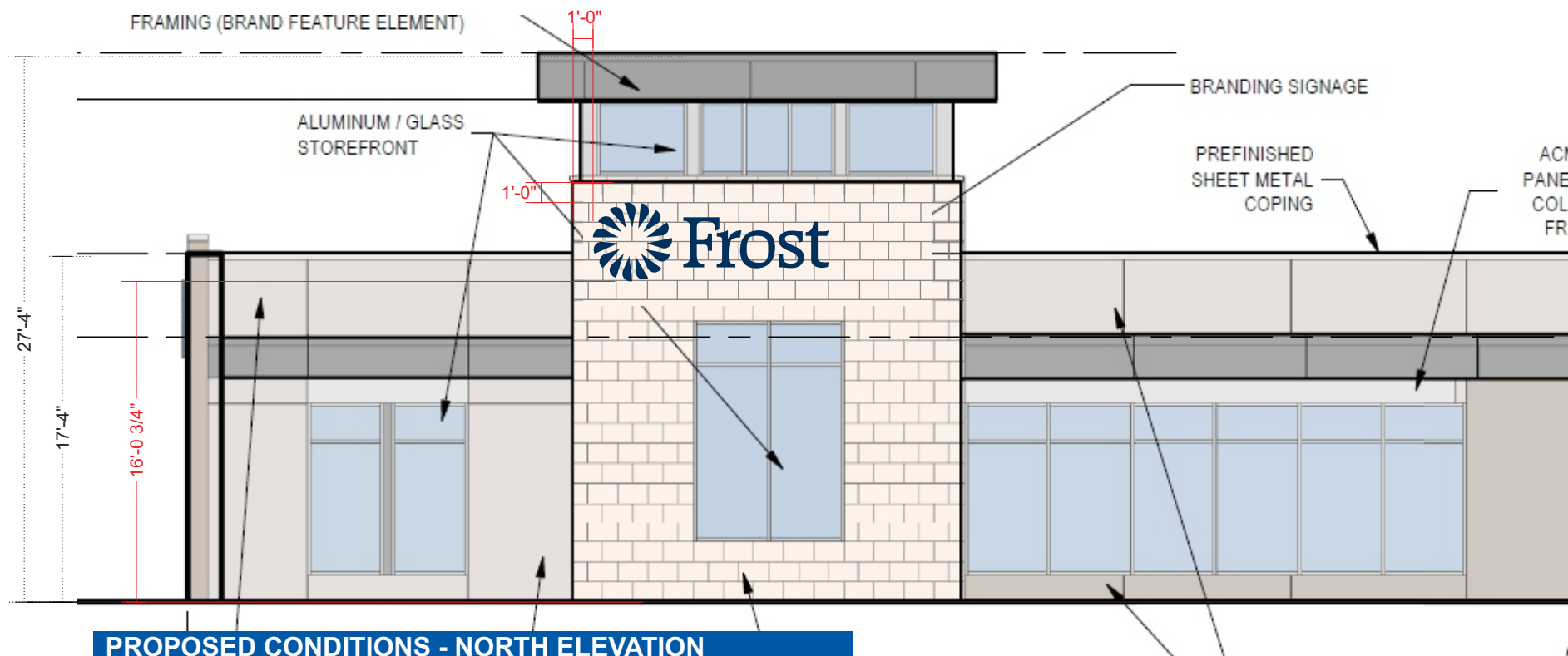
**APPROVAL DATE** -

**APPROVED BY** -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



**002** ICL.30 - ILLUMINATED CHANNEL LETTERS  
 SCALE: 1/2" = 1' - QTY 1 34 SQ FT.



**PROPOSED CONDITIONS - NORTH ELEVATION**  
 SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 21OP5428

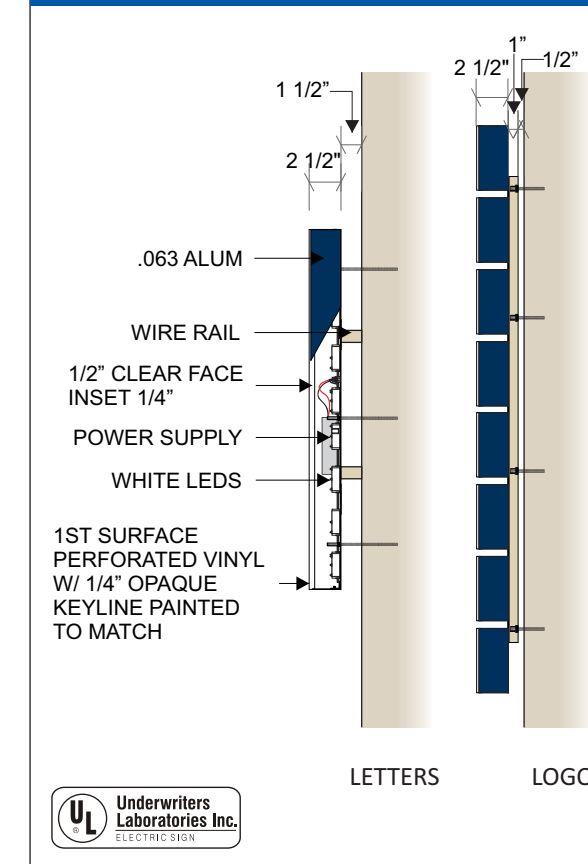
REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

SIGNAGE DETAILS



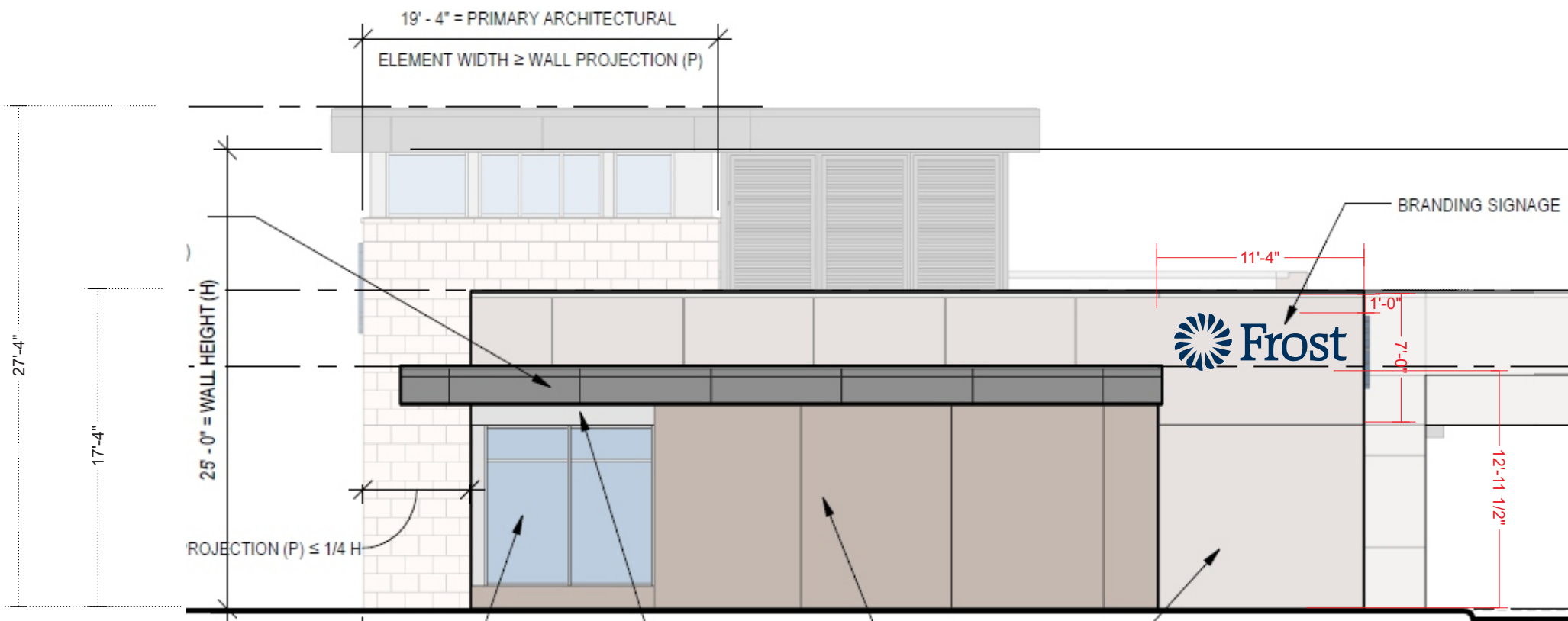
**ELECTRICAL NOTE**  
 ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR

ICL.24 - ILLUMINATED CHANNEL LETTERS - WEST ELEVATION



**003** ICL.24 - ILLUMINATED CHANNEL LETTERS  
 SCALE: 1/2" = 1' - QTY 1 29 SQ FT.



**PROPOSED CONDITIONS - WEST ELEVATION**  
 SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

SIGN SCHEDULE

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 21OP5428

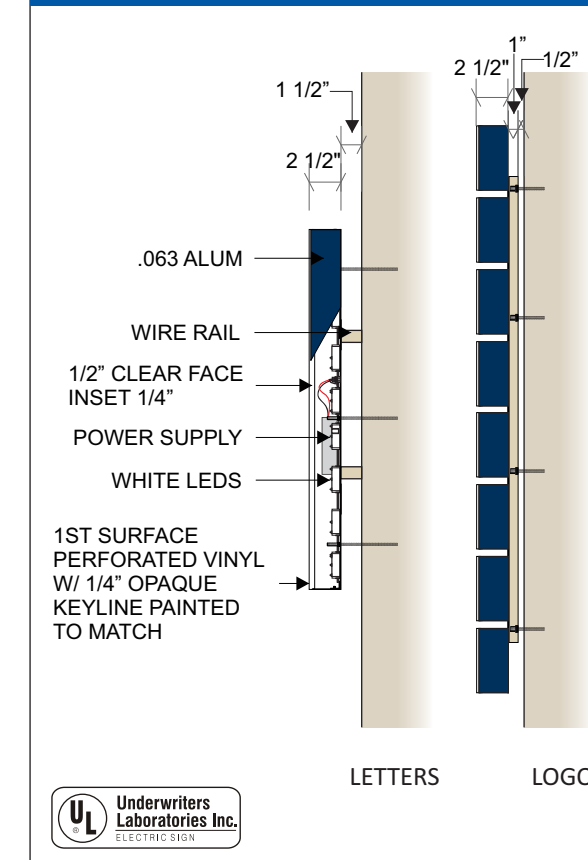
REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

SIGNAGE DETAILS



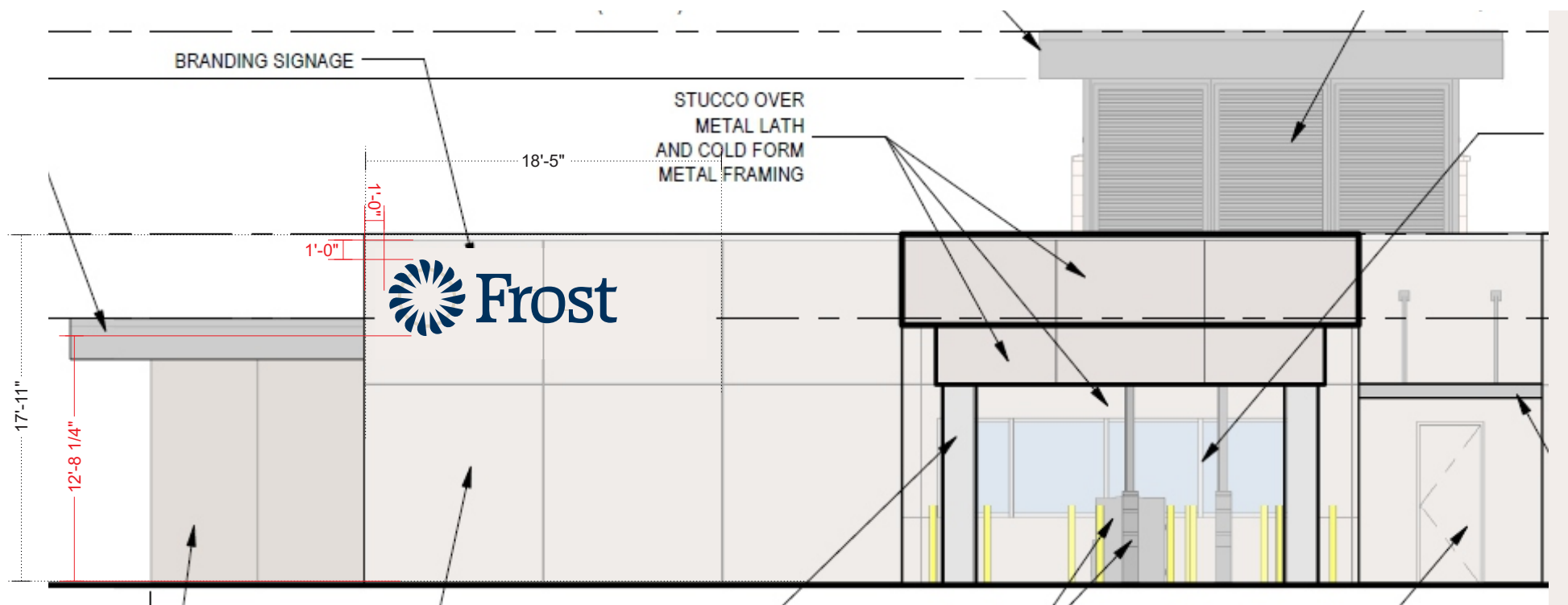
**ELECTRICAL NOTE**  
 ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR

ICL.30 - ILLUMINATED CHANNEL LETTERS - SOUTH ELEVATION



**004** ICL.30 - ILLUMINATED CHANNEL LETTERS  
 SCALE: 1/2" = 1' - QTY 1 34 SQ FT.



PROPOSED CONDITIONS - SOUTH ELEVATION

SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

SIGN SCHEDULE

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 21OP5428

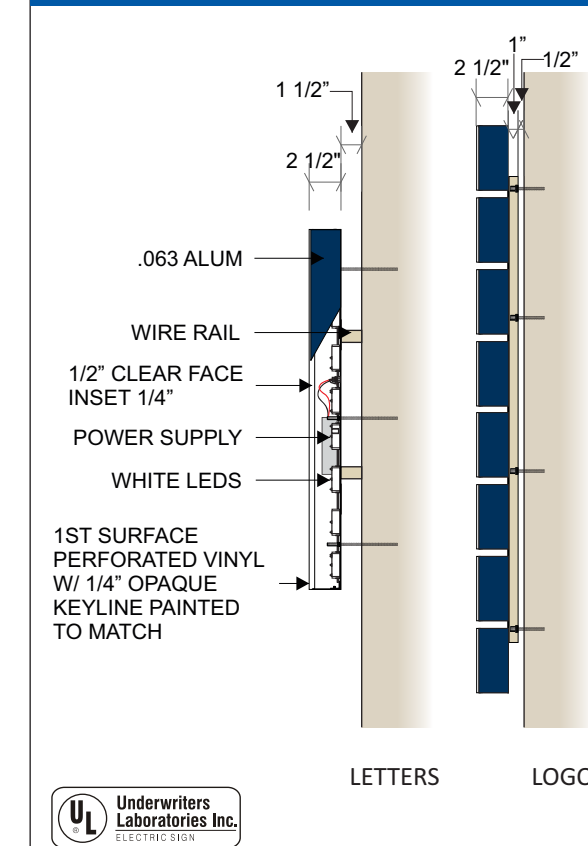
REVISION      DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

SIGNAGE DETAILS

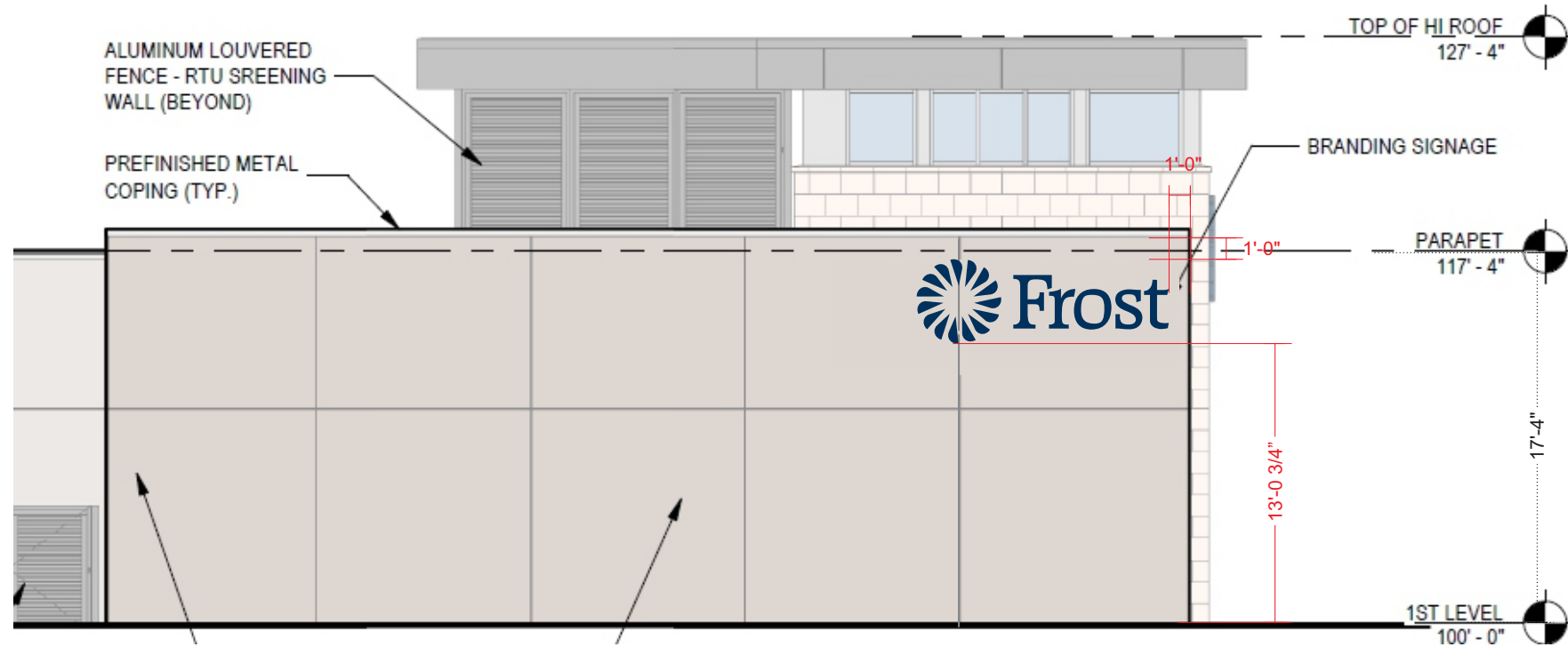


**ELECTRICAL NOTE**  
 ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR



**005** ICL.30 - ILLUMINATED CHANNEL LETTERS  
SCALE: 1/2" = 1' - QTY 1 34 SQ. FT.



**PROPOSED CONDITIONS - EAST ELEVATION**  
SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
RETURN MATERIAL: .063 ALUMINUM  
RETURN FINISH: PAINT TO MATCH PMS540 C  
RETURN DEPTH: 2 1/2"  
SPACED OFF WALL: RACE WAY LOGO- 1/2"  
FROST- 1 1/2" PTM BUILDING EXTRIOR  
BACK MATERIAL: .090 ALUMINUM  
INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

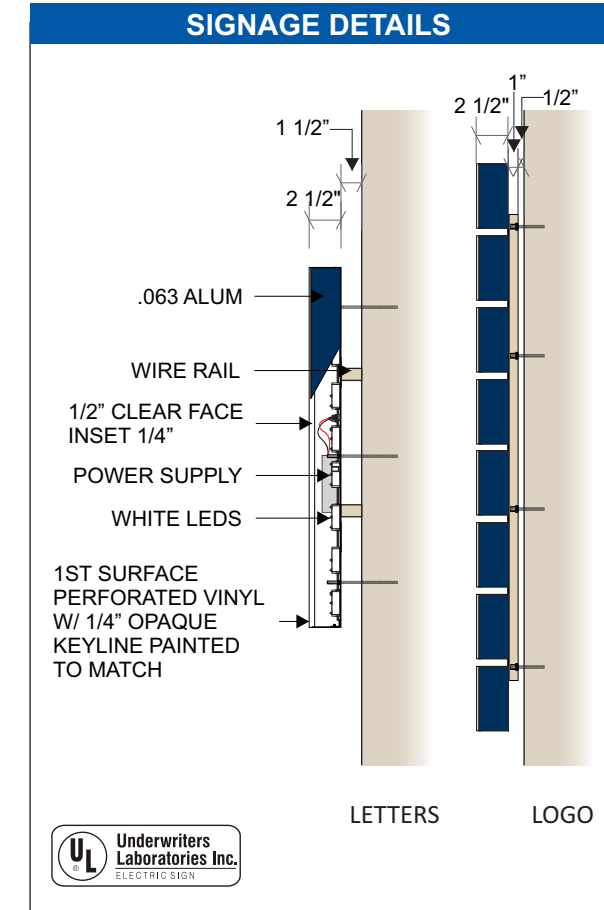
\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



CLIENT  
FROST  
ROCKWALL  
ADDRESS  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
DATE 12.16.2021  
DESIGNER - RSH  
DRAWING NO.  
21OP5428

REVISION	DATE

APPROVAL DATE -  
APPROVED BY -



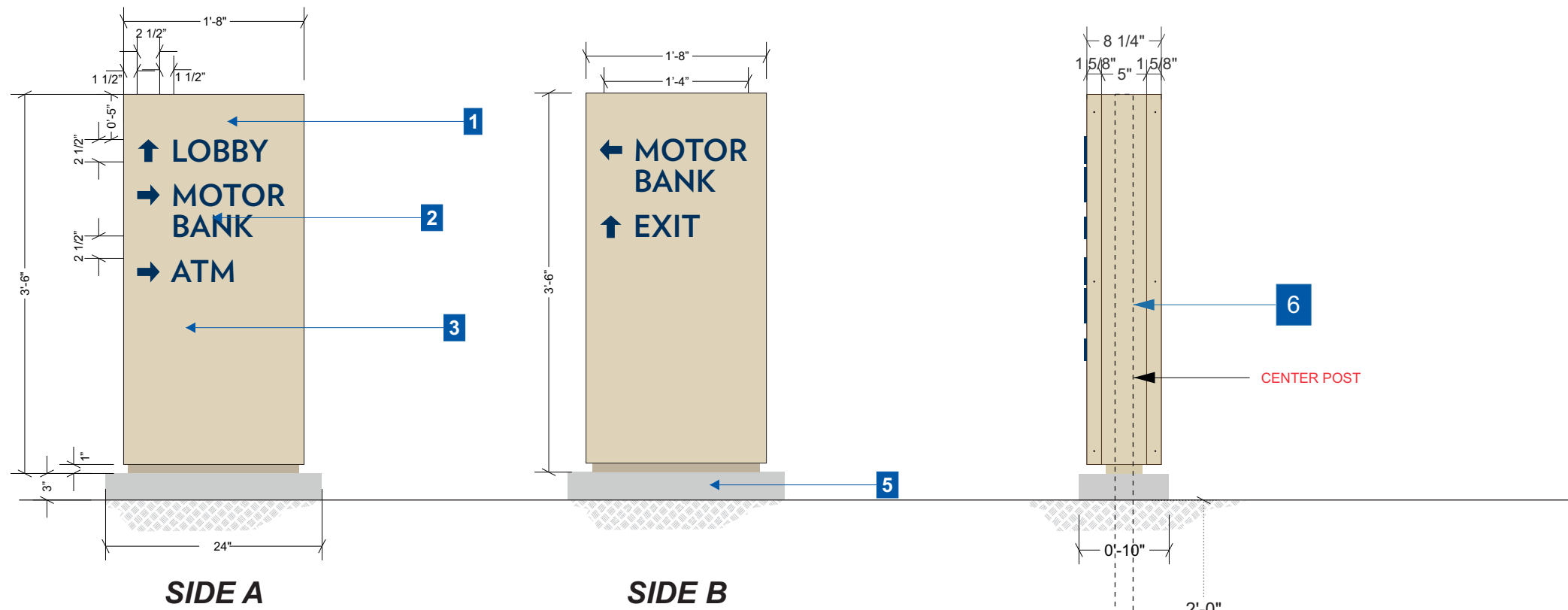
**ELECTRICAL NOTE**  
ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR

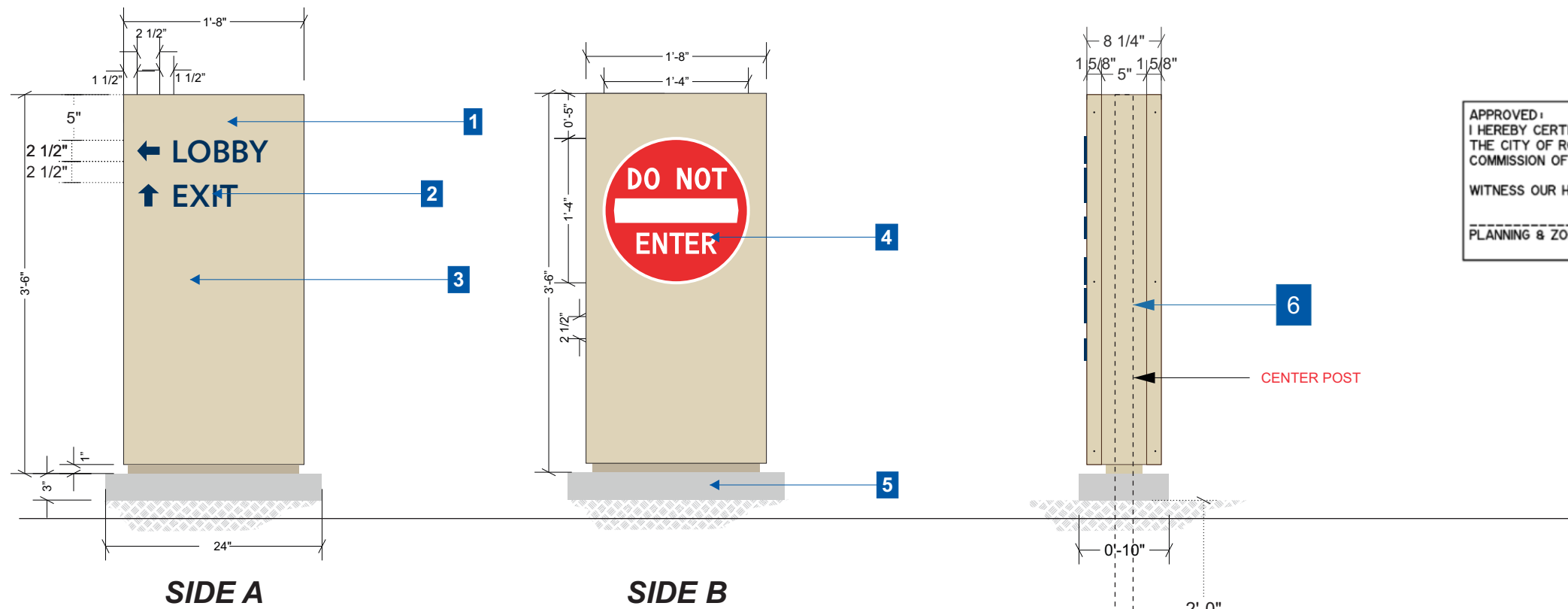
*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



DS.01 - DIRECTIONAL SIGNAGE



**006** DS.01 - DIRECTIONAL SIGNAGE  
SCALE: 3/4" = 1'



**007** DS.01 - DIRECTIONAL SIGNAGE  
SCALE: 3/4" = 1'

SPECIFICATIONS

1. FABRICATED ALUMINUM CABINET W/ EMS 24-63-215 SIGN FRAME & EMS 24-63-216 SIGN RETAINER. BASE REVEAL TRIM TO BE .125" ALUMINUM .CABINET TO BE PAINTED AKZO NOBEL COLORMAP 422A2.

2. 1/2" PUSHED THRU ACRYLIC PAINTED TO MATCH PMS 540C BLUE.

FONT: VERLAG BOLD

3. .125 ROUTED ALUMINUM FACES PAINTED AKZO NOBEL COLORMAP 422A2

4. "STOP SIGN"/"DO NOT ENTER" DIGITAL PRINTED TO 3M REFLECTIVE.

5. NEW CONCRETE PAD

6. CENTER POST IS 2" X 2" X 70" ALUMINUM SQ. TUBE

**\*CABINET TO BE SCREWED TO CENTER POLE**

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_\_.

\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN                      DIRECTOR OF PLANNING AND ZONING

- V5 - VINYL - DG REFLECTIVE SHEETING 4090DS
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2



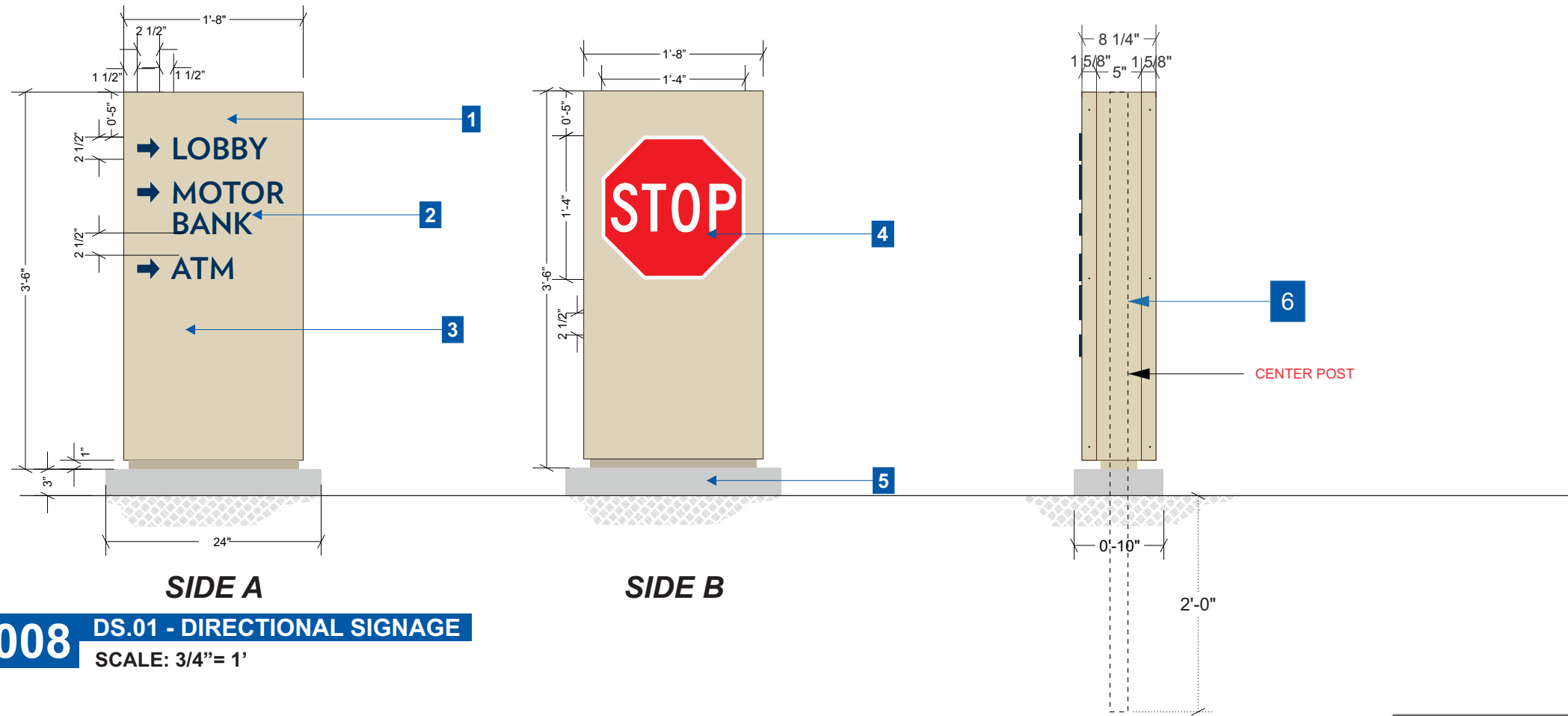
**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
210P5428

REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



1. FABRICATED ALUMINUM CABINET W/ EMS 24-63-215 SIGN FRAME & EMS 24-63-216 SIGN RETAINER. BASE REVEAL TRIM TO BE .125" ALUMINUM .CABINET TO BE PAINTED AKZO NOBLE COLORMAP 422A2.

2. 1/2" PUSHED THRU ACRYLIC PAINTED TO MATCH PMS 540C BLUE.

FONT: VERLAG BOLD

3. .125 ROUTED ALUMINUM FACES PAINTED AKZO NOBEL COLORMAP 422A2

4. "STOP SIGN"/"DO NOT ENTER" DIGITAL PRINTED TO 3M REFLECTIVE.

5. NEW CONCRETE PAD

6. CENTER POST IS 2" X 2" X 70" ALUMINUM SQ. TUBE

**\*CABINET TO BE SCREWED TO CENTER POLE**

**008** DS.01 - DIRECTIONAL SIGNAGE  
 SCALE: 3/4" = 1'

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_, \_\_\_\_\_.  
 \_\_\_\_\_ PLANNING & ZONING COMMISSION, CHAIRMAN      \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING

- V5 - VINYL - DG REFLECTIVE SHEETING 4090DS
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
 210P5428

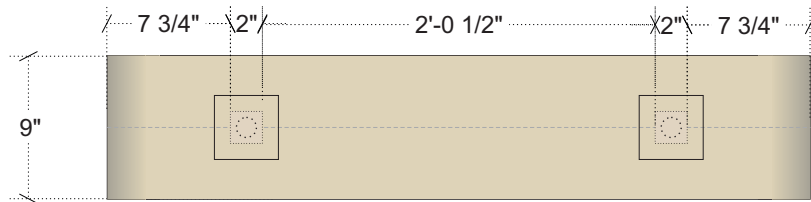
REVISION	DATE

APPROVAL DATE -

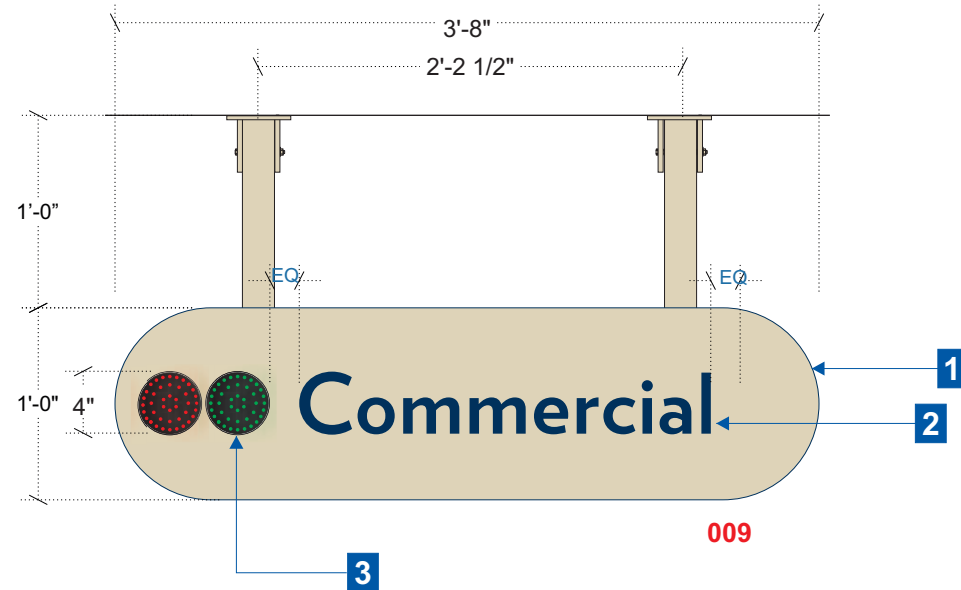
APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

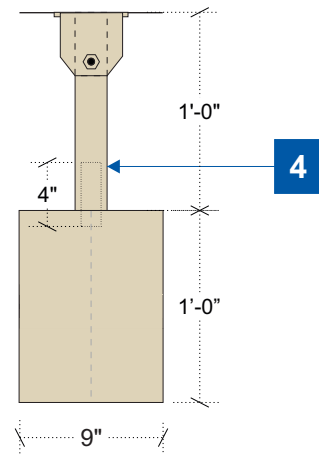
**LD.01 - LANE DESIGNATOR - WEST ELEVATION**



**A TOP DETAIL**  
SCALE: 1"= 1'

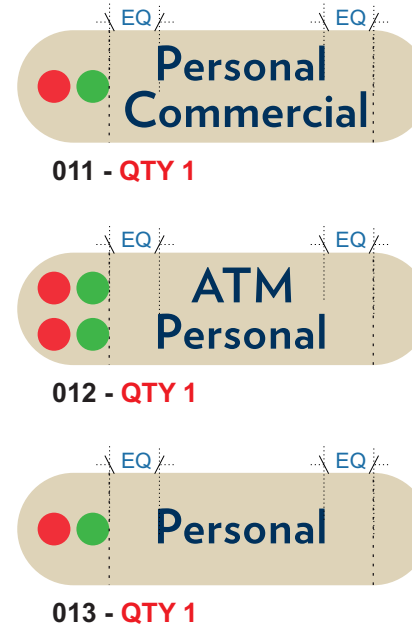


**009-012 LD.01 - LANE DESIGNATORS**  
SCALE: 1"= 1' - QTY: 4



**B SIDE DETAIL**  
SCALE: 1"= 1'

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN                      DIRECTOR OF PLANNING AND ZONING



**SPECIFICATIONS**

1. ALUMINUM SIGN CABINET PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE
2. ROUTED ALUMINUM FACE PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE. BACKED UP WHITE PLEX COPY W/ APPLIED 3M SCOTCHCAL 3635-210 PMS540C
3. 1 SIGNS RED & GREEN LED LIGHT INDICATORS
4. 2"x 2" ALUMINUM TUBE ABLE TO BE CUT IN FIELD TO FIT FOR INSTALLATION WITH MOUNTED TO CABINET WITH 1 1/4" ALUMINUM PIPE WITH MECHANICAL FASTENERS

FONT: VERLAG BOLD



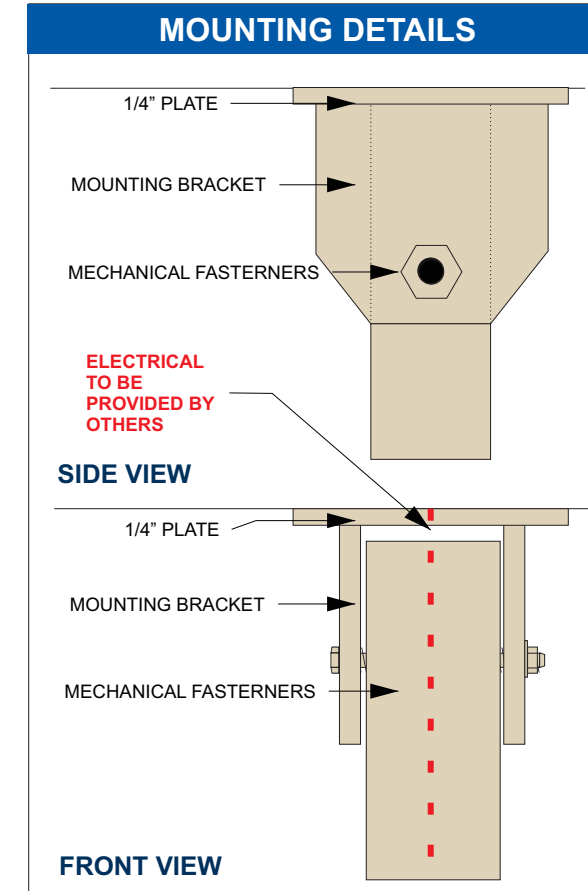
**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
21OP5428

REVISION	DATE

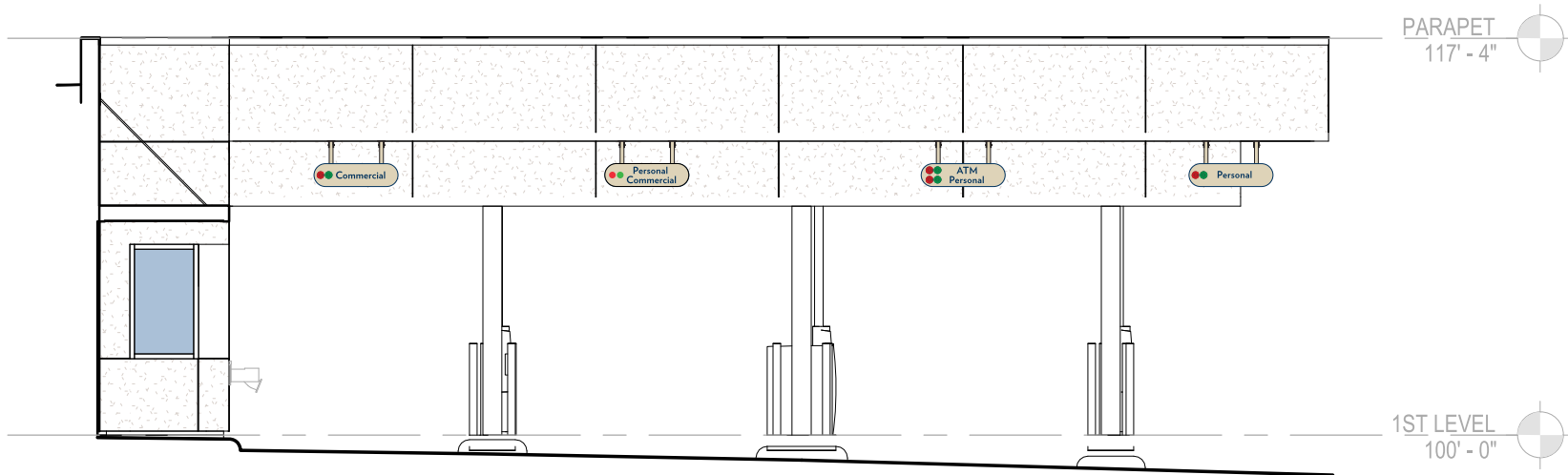
APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

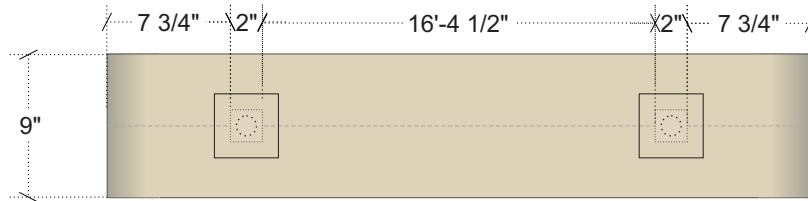


- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

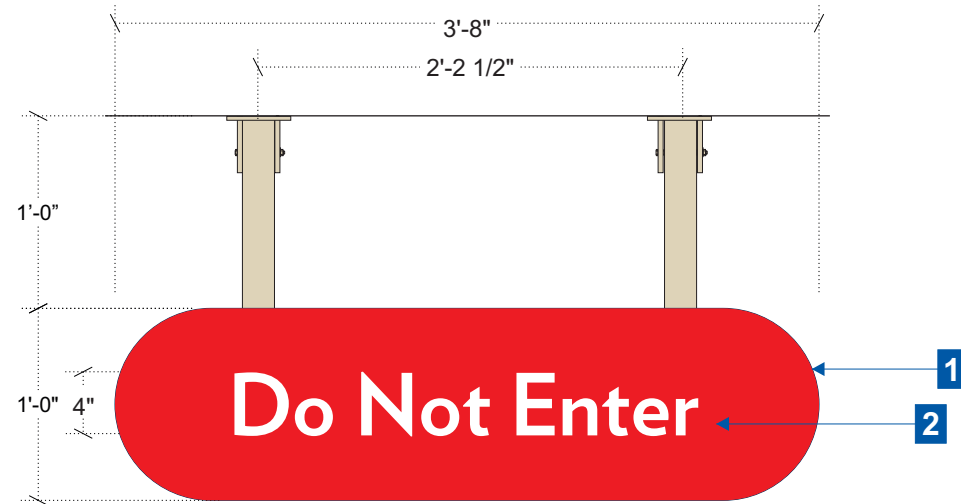


**PROPOSED CONDITIONS - WEST ELEVATION**  
SCALE: 1/8" = 1'

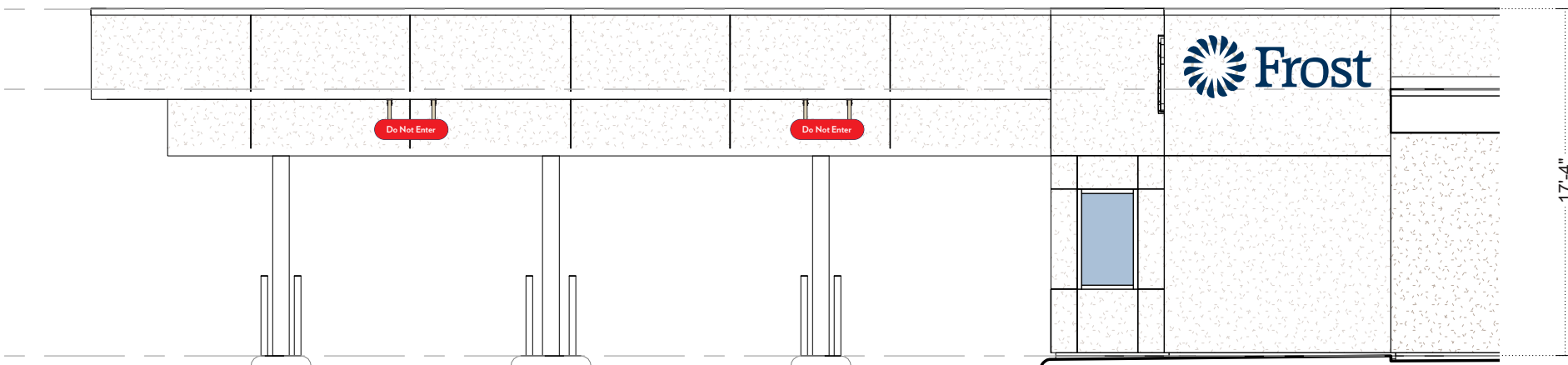
**LD.02 - LANE DESIGNATOR**



**A TOP DETAIL**  
SCALE: 1" = 1'



**013 LD.02 - LANE DESIGNATORS**  
SCALE: 1" = 1' - QTY: 2



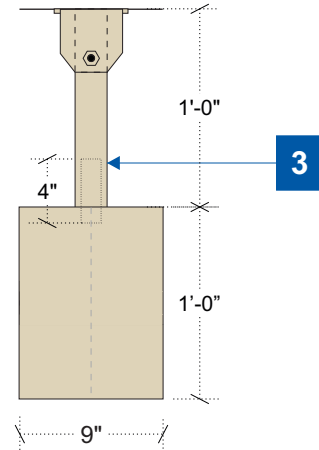
**PROPOSED CONDITIONS - EAST ELEVATION**  
SCALE: 1/8" = 1'

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING



**B SIDE DETAIL**  
SCALE: 1" = 1'

**SPECIFICATIONS**

1. ALUMINUM SIGN CABINET PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE

2. ROUTED ALUMINUM FACE PAINTED TO MATCH CARDINAL RED. BACKED UP WHITE PLEX COPY W/ APPLIED PERF VINYL TO MATCH WHITE

FONT: VERLAG BOLD

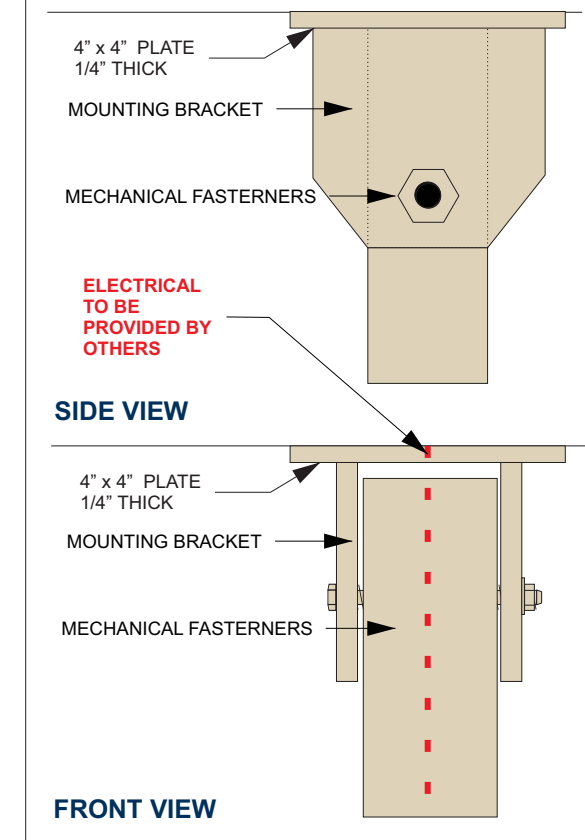
3.2"x 2" ALUMINUM TUBE ABLE TO BE CUT IN FIELD TO FIT FOR INSTALLATION WITH MOUNTED TO CABINET WITH 1 1/4" ALUMINUM PIPE WITH MECHANICAL FASTENERS



**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
21OP5428

**REVISION**      **DATE**

**MOUNTING DETAILS**

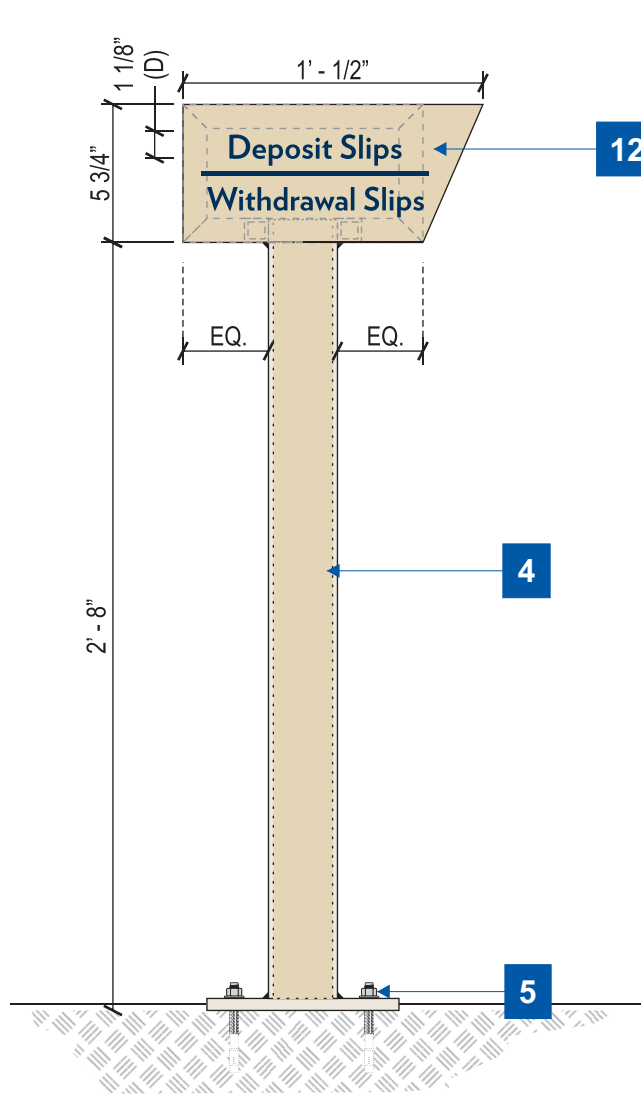


- P2 - PAINT TO MATCH AKZO NOBEL 422A2
- P5 - PAINT TO MATCH CARDINAL RED
- V3 - VINYL- 3M SCOTCHCAL 7725-10 WHITE

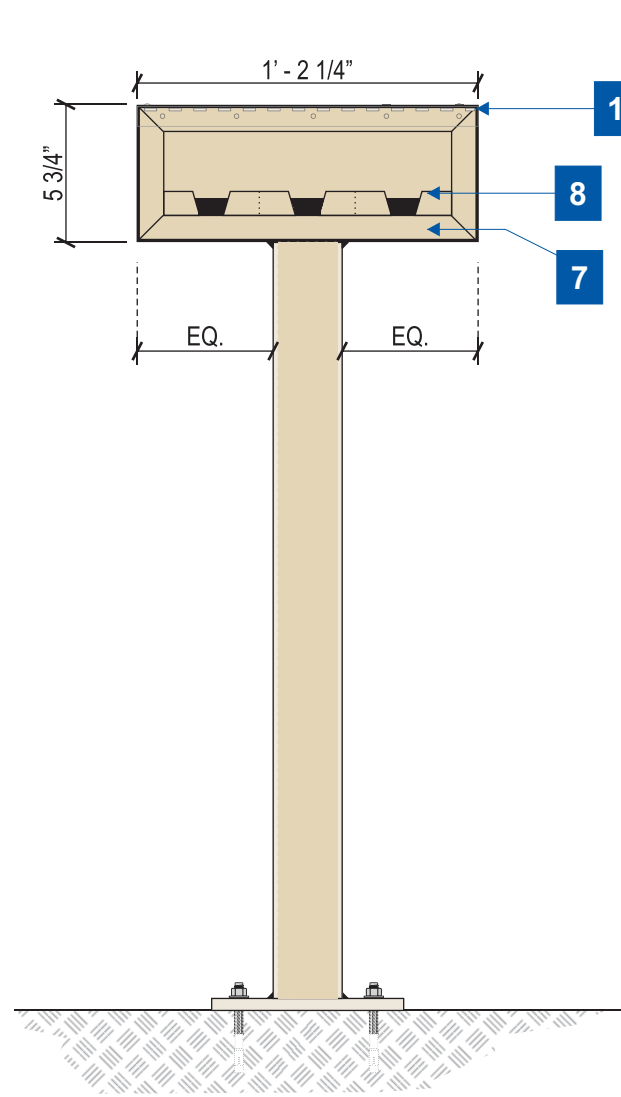
**APPROVAL DATE -**

**APPROVED BY -**

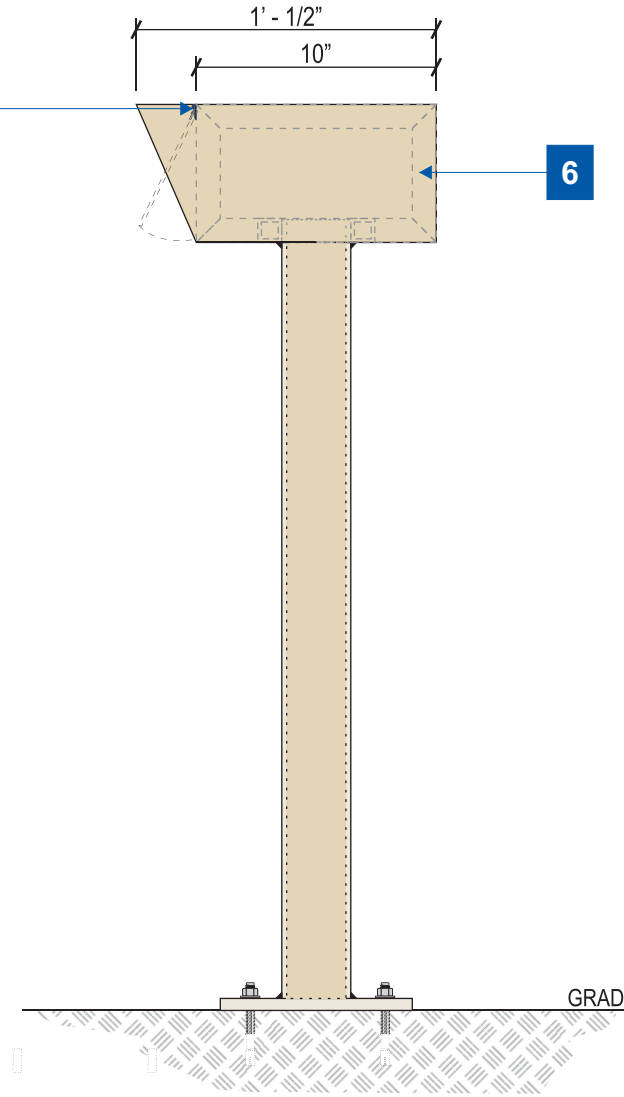
*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



SIDE DETAIL



**014** DSS.01 - DEPOSIT SLIP STANDS  
 SCALE: 1 1/2" = 1' QTY (3)



SIDE DETAIL

1. 1/2"X8"X8" ALUM PLATE 3M 3630-36 DARK FONT: VERLAG BOLD
2. 1/2" HOLES FOR 3/8" HARDWARE
3. 2 1/2" SCH. 40 ALUM. PIPE (2 7/8" X 4.469 X .203). POWDERCOATED FROST BEIGE
4. 2 1/2" SCH. 40 ALUM. PIPE (2 7/8" X 4.469 X .203). POWDER COATED FROST BEIGE
5. 3/8" HILTI KWICK-BOLT III STAINLESS STEEL (4 PLCS REQ'D) SEE PLATE DETAIL
6. 1"X 1/4" ALUM. SQ TUBE INNER FRAME. POWDER COATED FROST BEIGE (SHOWN BY DOTTED GRAY LINES)
7. 1/4" BREAK FORMED ALUM. SKIN AROUND BANKING SLIP BOX. POWDER COATED FROST BEIGE
8. .080"X 4" SIDE TRAY FOR BANKING SLIPS (3 TOTAL TRAYS REQ'D WITH ALUMINUM SPACER.)
9. 2 1/2" SCH. 40 ALUM PIPE (2 7/8" X 2.469 X .203). POWDER COATED FROST BEIGE.
10. PIPE TO INNER TUBE FRAME
11. 1/8" CLEAR LEXAN DOOR WITH .050 LEAF X 1 1/2" PIANO HINGE. POWDER COATED FROST BEIGE (MCMASTER-CARR 15665A247) SPRING LOADED
12. BLUE VINYL COPY TO MATCH PMS 540C.

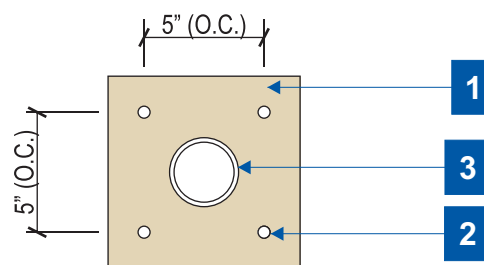
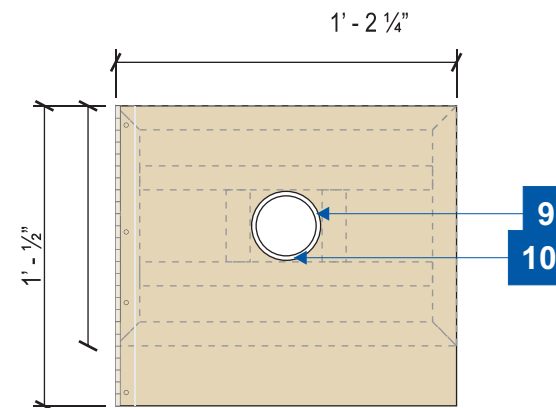


PLATE DETAIL



PLAN VIEW

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

- V1 - VINYL- 3M SCOTCHCAL 3630-36 DK. BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

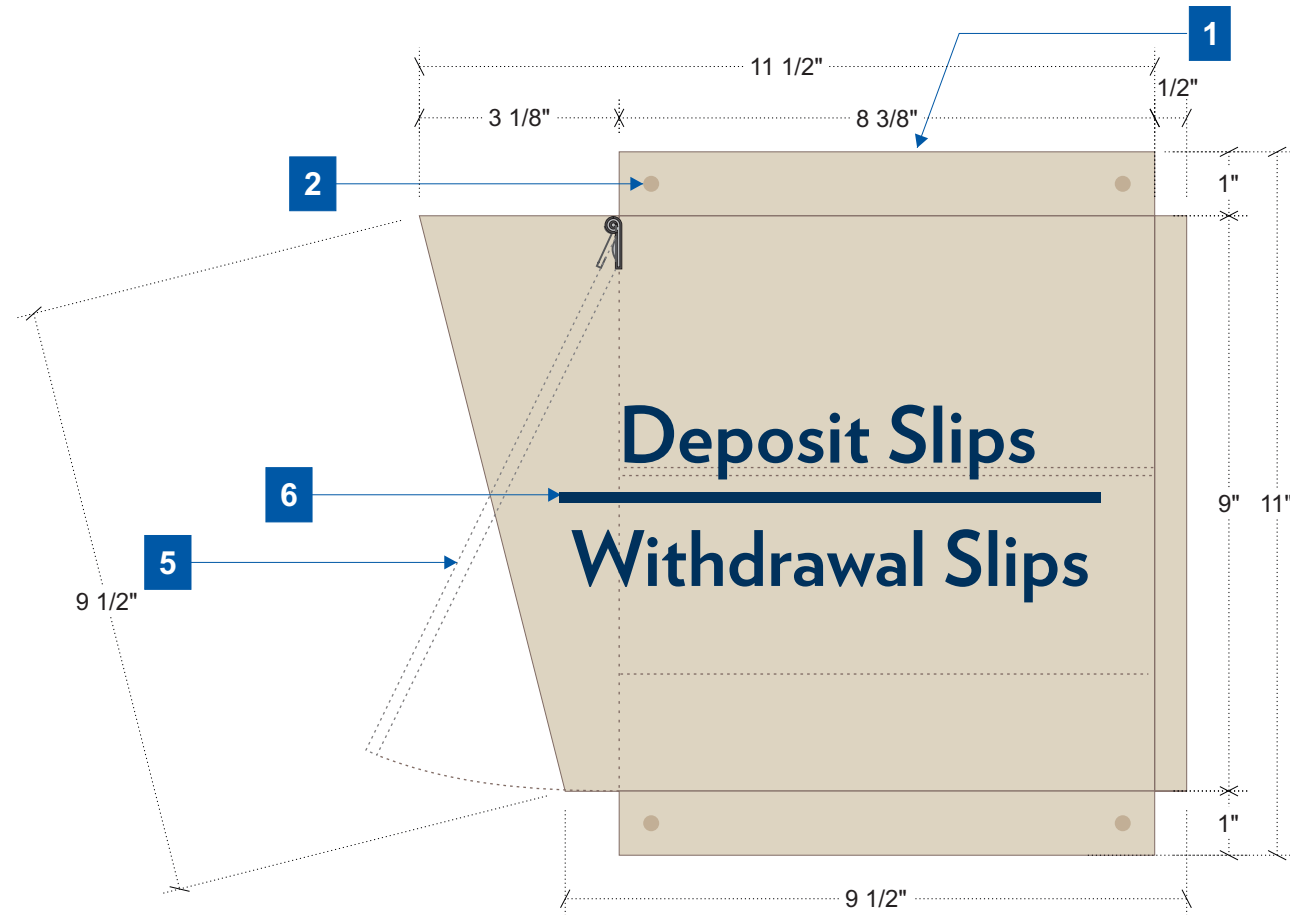
**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER** - RSH  
**DRAWING NO.**  
 21OP5428

REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



1. 1/4" ALUM PLATE TO MOUNT TO WALL. POWDER COATED FROST BEIGE
  2. 1/2" HOLES FOR 3/8" HARDWARE
  3. 1/4" BREAK FORMED ALUM. SKIN AROUND BANKING SLIP BOX. POWDER COATED FROST BEIGE
  4. 1/8" ALUMINUM TRAY FOR BANKING SLIPS.
  5. 1/8" CLEAR LEXAN DOOR WITH .050 LEAF X 1 1/2" PIANO HINGE. POWDER COATED FROST BEIGE SPRING LOADED
  6. BLUE VINYL COPY TO MATCH PMS 540C.
- FONT: VERLAG BOLD

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER** - RSH  
**DRAWING NO.**  
 21OP5428

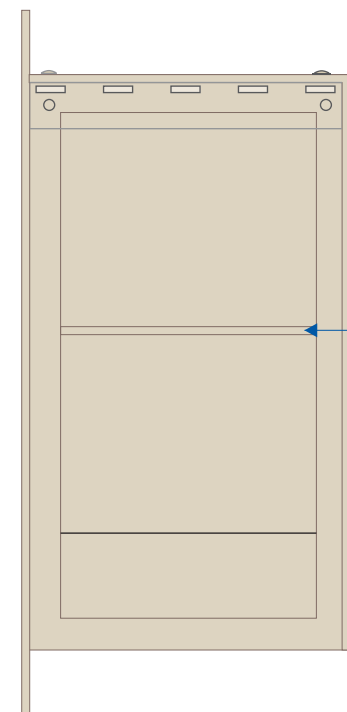
REVISION	DATE

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

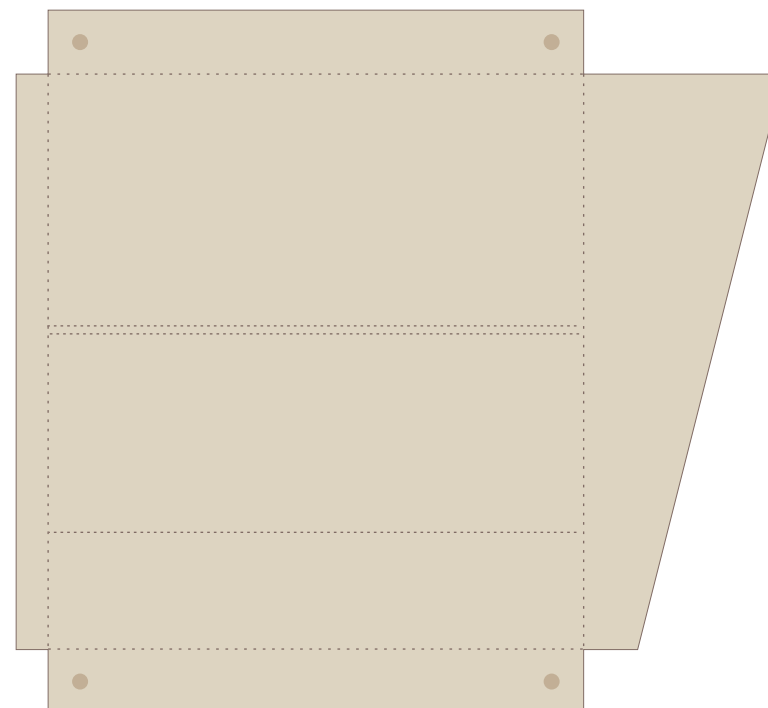
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_, \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**015** DSB.01 - DEPOSIT SLIP STANDS  
 SCALE: 1:3 QTY 1



FRONT VIEW



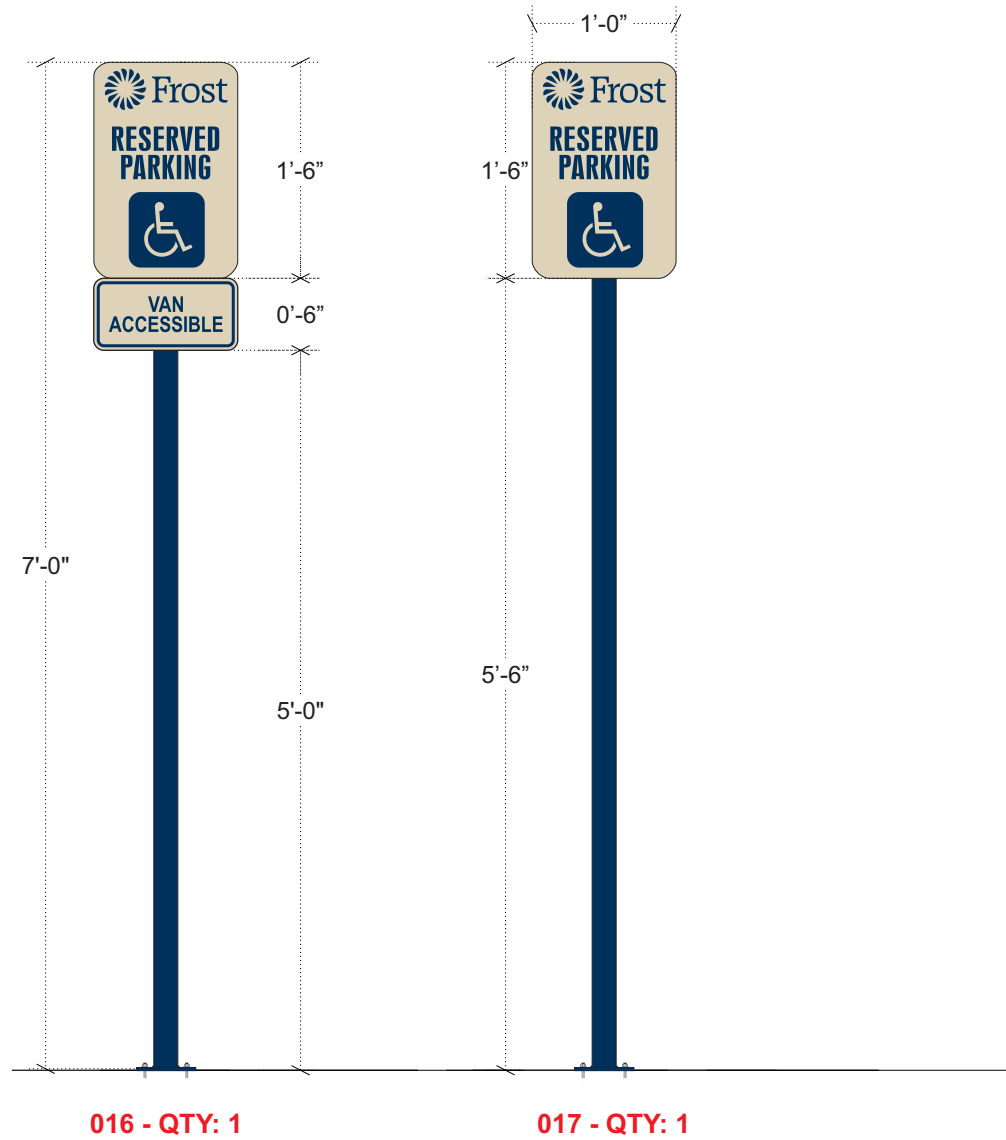
SIDE DETAIL

- V1 - VINYL- 3M SCOTCHCAL 3630-36 DK. BLUE
- P2 - POWDER COATED TO MATCH AKZO NOBEL 422A2

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



016 - QTY: 1

017 - QTY: 1

HARDSCAPE MOUNT

**016-017** PS.01 - PARKING SIGNAGE  
SCALE: 3/4" = 1' - QTY: 2

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

- V1 - VINYL- 3M SCOTCHCAL 3630-36 DK. BLUE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

SPECIFICATIONS

1. .080 ALUMINUM PANEL FINISHED IN AKO COLORMAP 422A2 BEIGE WILL BE MOUNTED TO 1" ANGLE USING STRUCTURAL ADHESIVE. BRACKET WILL BE MOUNTED TO USING MECHANICAL FASTENERS
2. 3M SCHOTCAL 3630-36 DARK BLUE VINYL GRAPHICS.
3. 2" X 2" X 1/8" ALUMINUM SQ TUBE SUPPORT PAINTED TO MATCH PMS 540C BLUE.



CLIENT

FROST  
ROCKWALL  
ADDRESS  
ROCKWAL PKWY  
ROCKWALL, TX US 75032

DATE 12.16.2021

DESIGNER - RSH

DRAWING NO.

21OP5428

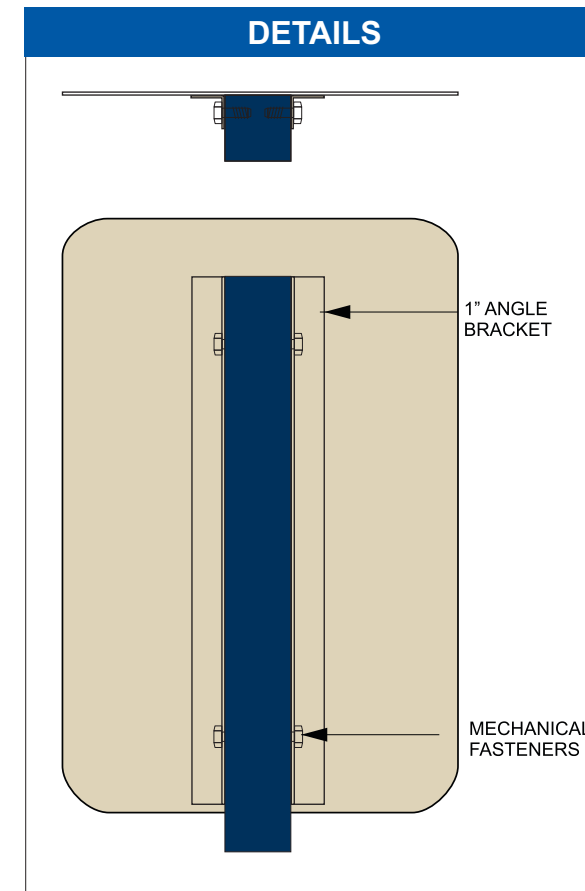
REVISION	DATE

APPROVAL DATE -

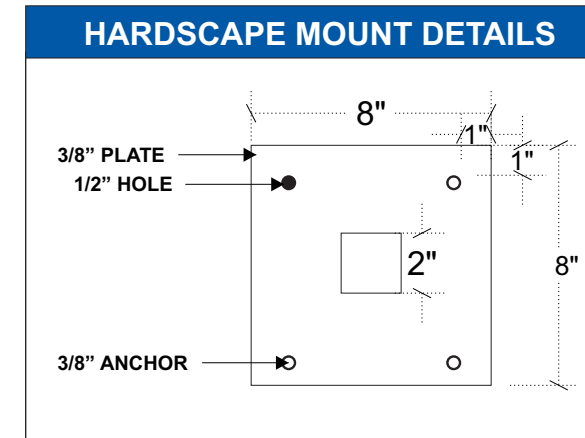
APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

DETAILS



HARDSCAPE MOUNT DETAILS



# CLIENT, MANUFACTURING, AND INSTALLATION NOTES FOR ALL DESIGNS



## CLIENT NOTES:

- 1) CLIENT TO PROVIDE VECTOR ARTWORK INCLUDING CORRECT FONTS.
- 2) CLIENT TO PROVIDE ALL COLORS FOR SIGNS WITHIN DESIGN INCLUDING RACEWAY COLORS. COLORS TO BE PROVIDED ARE TO BE IN A SHERWIN WILLIAMS OR PANTONE / PMS COLORS. CMYK COLORS ARE NOT USABLE.
- 3) CLIENT TO APPROVE AND INITIAL DESIGNS THEN RETURN TO SSC SIGNS & LIGHTING ONCE APPROVED.
- 4) CLIENT TO PROVIDE ELECTRICAL TO ALL ILLUMINATED SIGNS. ELECTRICAL TO BE WITHIN 5'-0" OF SIGNAGE PRIOR TO INSTALL DATE.
- 5) ALL ELECTRICAL SCOPE TO BE INSTALLED BY TENANT CONTRACTOR

## MANUFACTURING NOTES:

- 1) IF SIGN NEEDS TO BE PERMITTED, MANUFACTURING WILL START AS SOON AS PERMITS ARE APPROVED BY CITY.
- 2) MANUFACTURING TO SUPPLY ALL NEEDED HARDWARE AND ELECTRICAL COMPONENTS NEEDED FOR INSTALLATION OF SIGN.
- 3) A MINIMUM OF 6'-0" WHIPS FROM THE BACK OF EACH CHANNEL LETTERS FOR INSTALLATION WHEN NEEDED.

## INSTALLATION NOTES:

- 1) INSTALLER TO INSPECT SIGN UPON RECEIPT AND REPORT ANY ISSUES OR DAMAGED ITEMS. INSTALLER WILL BE HELD LIABLE FOR ANY DAMAGES OR ISSUES REPORTED AFTER DAY SIGN IS RECEIVED.
- 2) INSTALLER TO VERIFY WITH CLIENT THAT SIGN IS BEING INSTALLED IN CORRECT LOCATION.
- 3) INSTALLER TO VERIFY ALL SERVICE IS COMPLETE PRIOR TO LEAVING THE SITE FOR THAT DAY AND/OR NIGHT INCLUDING COMPLETION PHOTOS OF SIGNS INSTALLED AND ILLUMINATED.
- 4) INSTALLER TO CLEAN UP ALL TRASH AND DEBRIS. ALSO, CLEAN ALL SIGNS AS NEEDED INCLUDING FACES.

### CLIENT

FROST  
ROCKWALL

### ADDRESS

ROCKWAL PKWY  
ROCKWALL, TX US 75032

DATE 12.16.2021

DESIGNER - RSH

DRAWING NO.

21OP5428

REVISION	DATE
_____	_____
_____	_____
_____	_____
_____	_____

APPROVAL DATE -

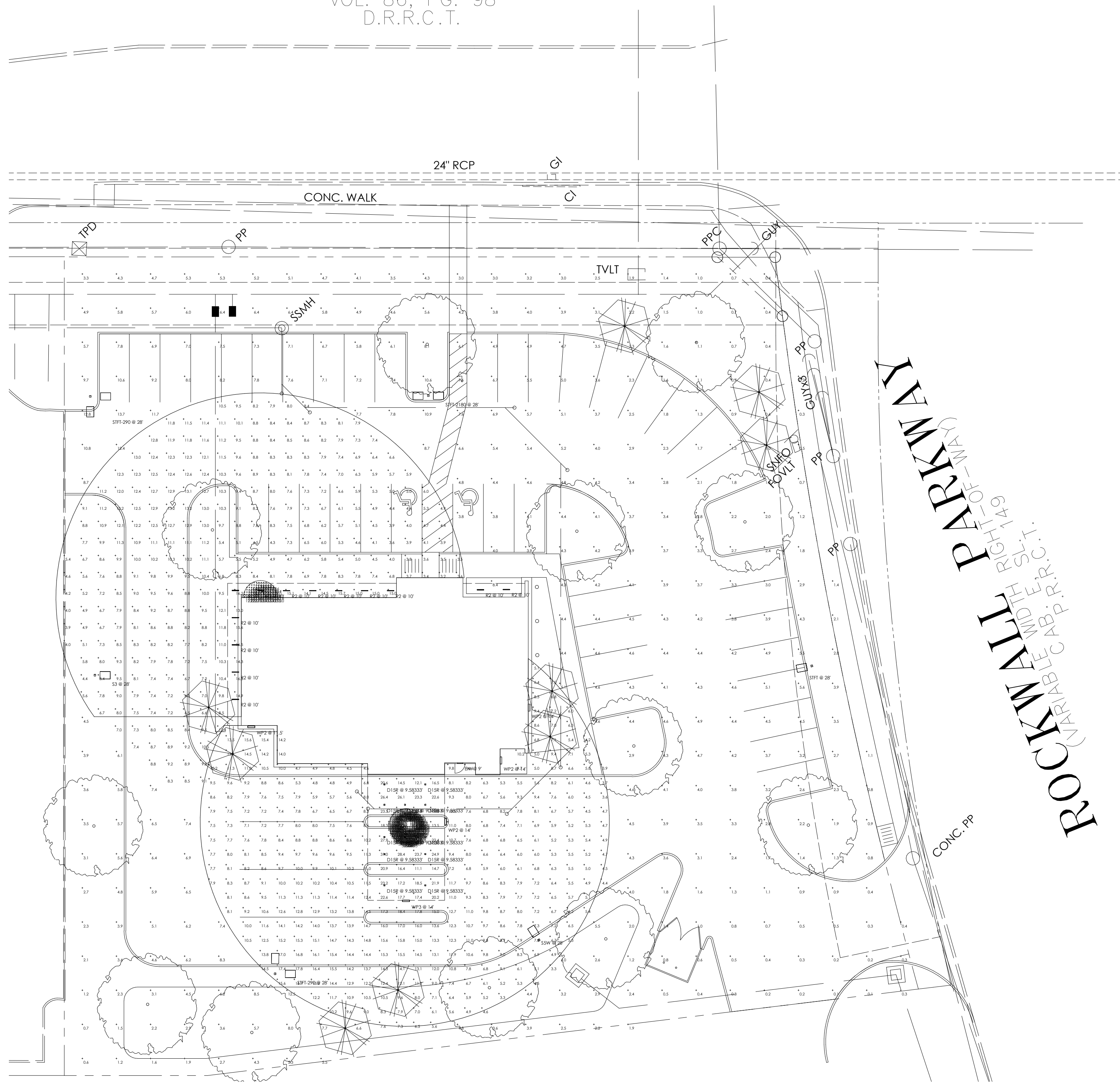
APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

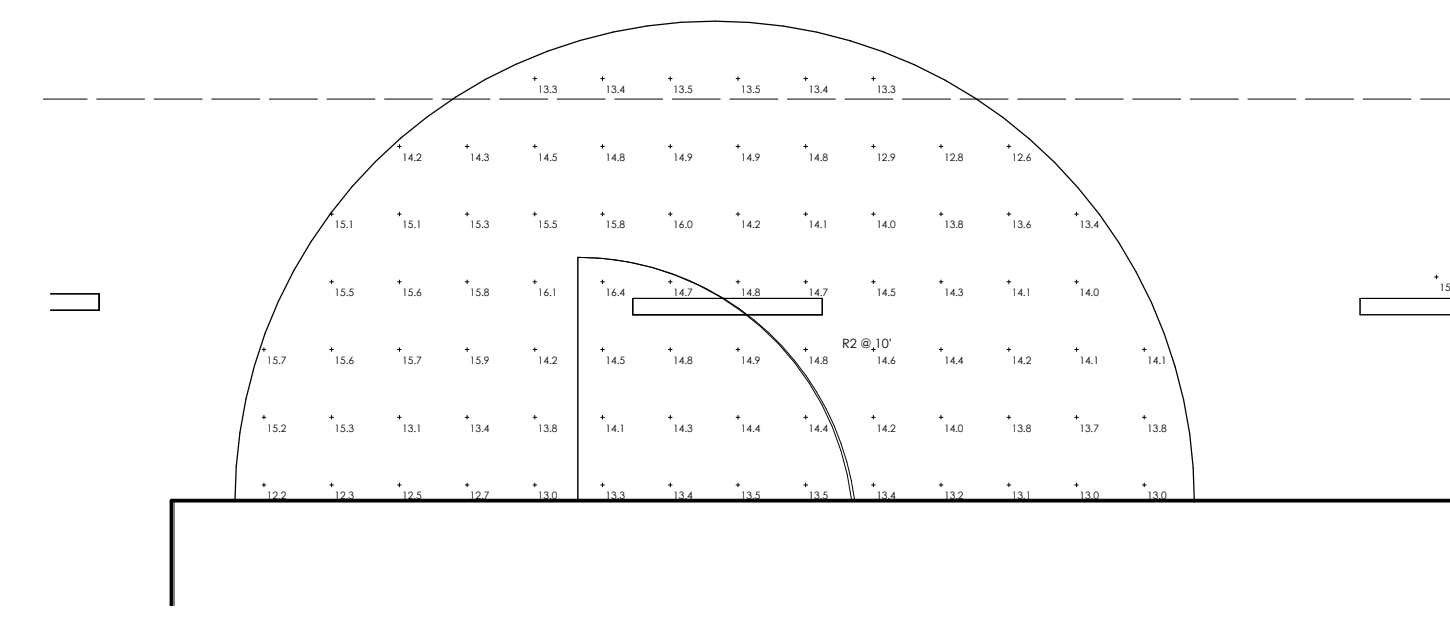
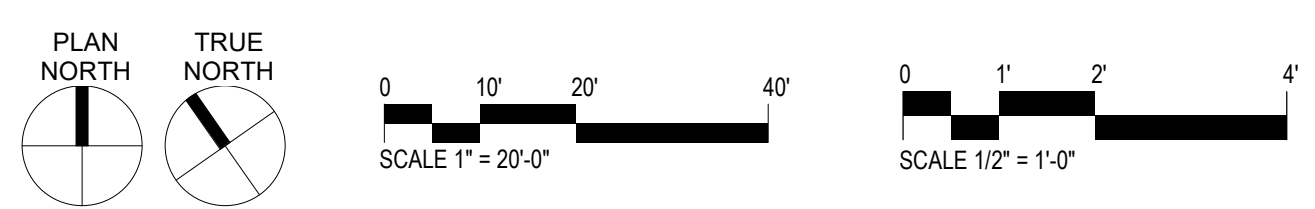


# HORIZON ROAD (F.M.HWY. 3097)

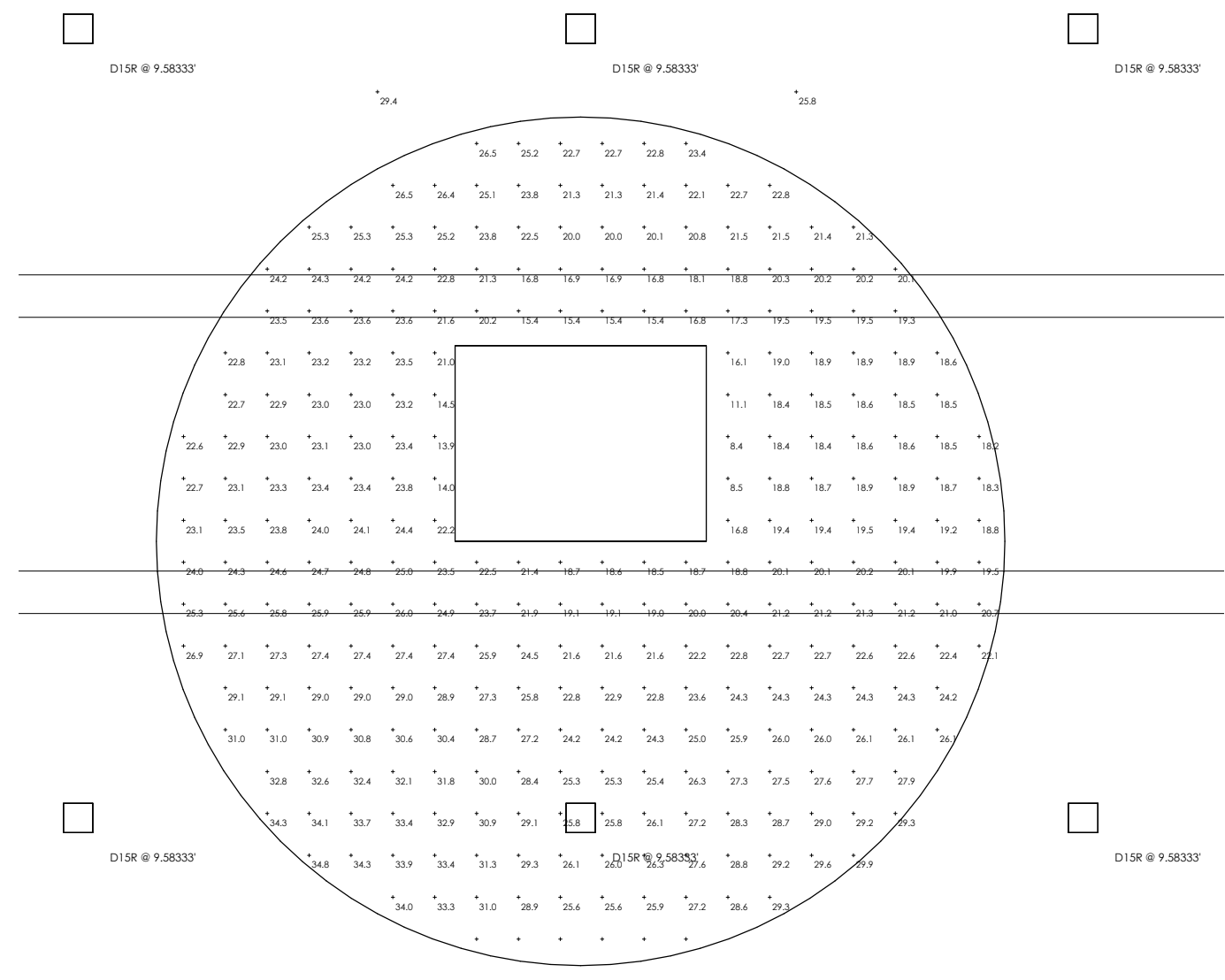
(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



1 SITE PLAN - PHOTOMETRICS  
EPM1 1" = 20'-0"



2 PHOTOMETRICS - ENTRANCE ATM  
EPM1 1/2" = 1'-0"



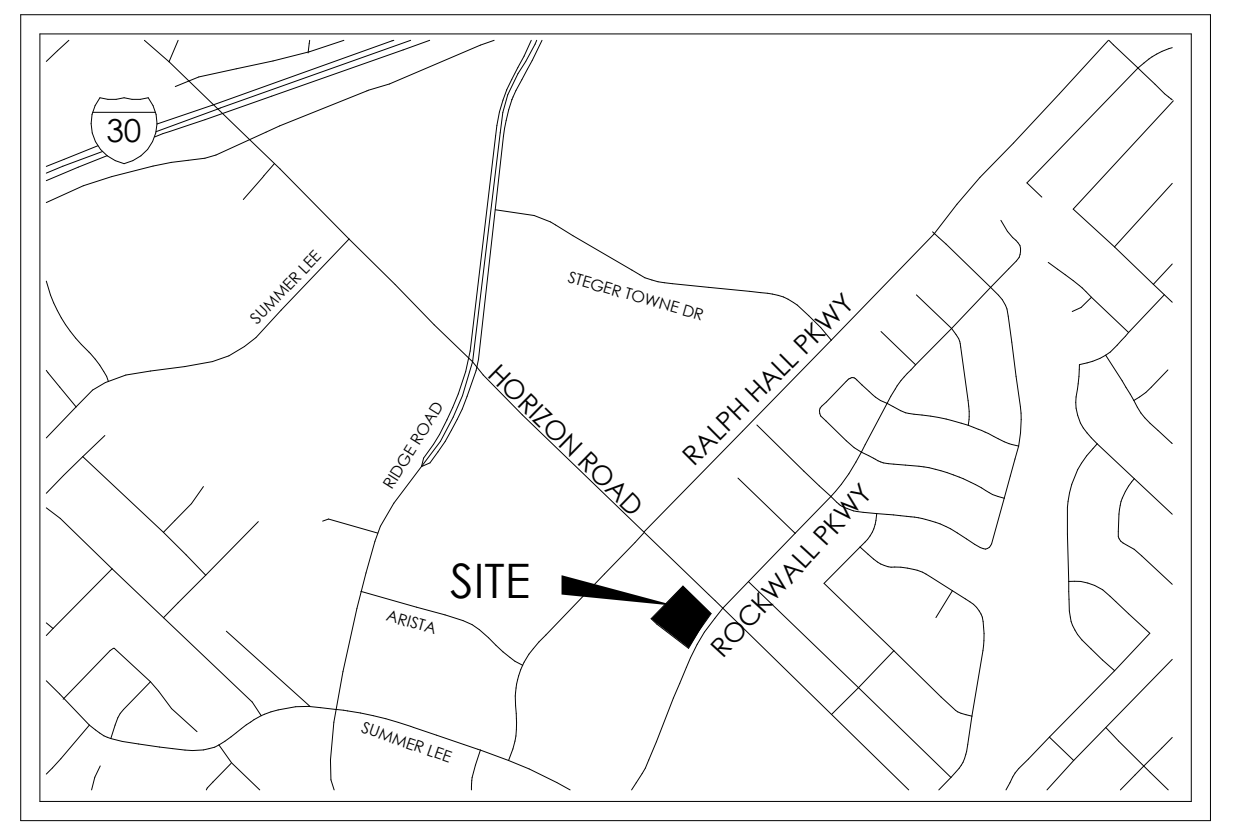
3 PHOTOMETRICS - MOTOR BANK ATM  
EPM1 1/2" = 1'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE THRU ATM 5'	+	23.7 fc	34.8 fc	8.4 fc	4.1:1	2.8:1
FRONT ATM 5'	+	14.2 fc	16.4 fc	12.2 fc	1.3:1	1.2:1
FRONT ATM 60'	+	8.5 fc	16.5 fc	3.2 fc	5.2:1	2.7:1
SITE	+	3.9 fc	13.7 fc	0.1 fc	137.0:1	39.0:1
DRIVE THRU ATM 40'	+	10.0 fc	31.0 fc	3.3 fc	9.4:1	3.0:1

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	R2	13	Aark Architectural Lighting	SLZL 2 FLP 80CRI 40K 600LMF	Slot 2 LED, 2ft Length, Flushed Lens Position, 80CRI, 4000K LED Boards, 600LMF	1	2192	0.45	23.3
□	S3	1	Lithonia Lighting	DSX2 LED P5 40K T3M MVOLT	DSX2 LED P5 40K T3M MVOLT	1	36864	0.9	321
□	STFT	1	Lithonia Lighting	DSX2 LED P5 40K TTFM MVOLT	DSX2 LED P5 40K TTFM MVOLT	1	37949	0.9	321
□	STFT-290	2	Lithonia Lighting	DSX2 LED P7 40K TTFM MVOLT	DSX2 LED P7 40K TTFM MVOLT	1	45935	0.9	796
□	STFT-2180	1	Lithonia Lighting	DSX2 LED P5 40K TTFM MVOLT	DSX2 LED P5 40K TTFM MVOLT	1	37949	0.9	642
—	WP2	4	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA.	1	7572	0.9	73.2
—	WP3	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K TTFM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TTFM OPTIC, 4000K, @ 1000mA.	1	7711	0.9	73.2
□	S5W	1	Lithonia Lighting	DSX2 LED P5 40K T5W MVOLT	DSX2 LED P5 40K T5W MVOLT	1	39142	0.9	321
—	EM	1	SIGNTEX, INC	MUE10X-T	EXTRUDED ALUMINUM HOUSING, FROSTED PLASTIC ENCLOSURE.	1	494	0.9	10.7
□	D1SR	12	Lithonia Lighting	LDN45Q 40/15 LS4AR LSS	4IN LDN SQUARE, 4000K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CR180	1	1267	0.9	17.5

**COMPLIANCE NOTE:**  
ALL CONTENTS WITHIN THIS SHEET ARE NOT FOR CONSTRUCTION. THIS SHEET AND THE CONTENT WITHIN ARE FOR THE SOLE PURPOSE OF LIGHTING COORDINATION REQUIREMENTS PER THE CITY OF ROCKWALL AND ATM LIGHTING TEXAS FINANCE CODE SECTION 59.307 IN ORDER TO ENSURE PATRON SAFETY AND SECURITY.

**CALCULATION NOTES:**  
1. ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN.  
2. ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.  
3. ATM CALCULATIONS ARE TAKEN AT 3'-0" AFG.  
4. VALUE NEXT TO LUMINAIRE LABEL ON DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.  
5. TREES REFLECTANCE/TRANSMITTANCE VALUES ARE ASSUMED BASED ON ROUGH ESTIMATIONS OF TREE TYPES.  
6. PHOTOMETRY ANALYSIS WAS DONE USING VISUAL LIGHTING 2020 R2 SOFTWARE

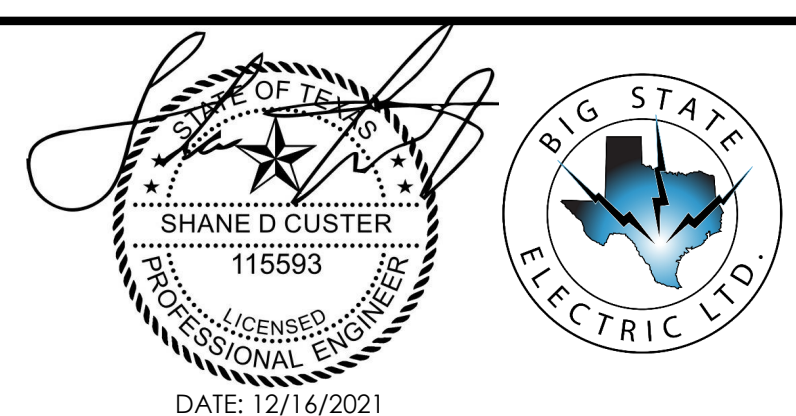


VICINITY MAP  
NOT TO SCALE

DATE: 12/16/2021

## SITE PLAN - PHOTOMETRICS

### FROST BANK ROCKWALL FINANCIAL EPM1 CENTER



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549



**WIA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



architects  
planners  
interiors



Notes



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Durable square metal reflectors retained by torsion springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".

**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes.

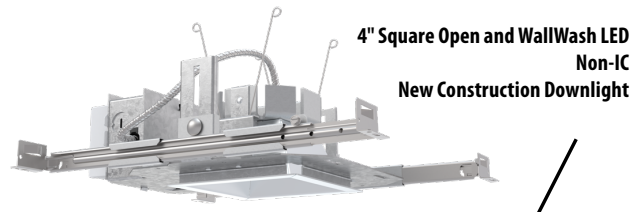
**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.

**LISTINGS** — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

# LDN4SQ



**4" Square Open and WallWash LED Non-IC New Construction Downlight**



A+ Capable options indicated by this color background.

**ORDERING INFORMATION** Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN4SQ 35/15 LS4AR LSS MVOLT EZ1

LDN4SQ	40/30	LS4AR				LSS	MVOLT
Series	Color temperature	Aperture/Trim Color				Finish	Voltage
LDN4SQ 4" square	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens	20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens	LS4 Downlight LSW4 Wallwash	AR Clear WR? White BR? Black	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 <sup>3</sup> 347V

EZ10		WL	
Driver	Options		
GZ10 0-10V driver dims to 10%	SF <sup>4</sup> Single fuse	NPS80EZ <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).	
GZ1 0-10V driver dims to 1%	TRW <sup>5</sup> White painted flange	NPS80EZER <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.	
D10 Minimum dimming 10% driver for use with JOT	TRBL <sup>5</sup> Black painted flange	NLTAIR2 <sup>8,10</sup> nLight® Air enabled	
D1 Minimum dimming 1% driver for use with JOT	EL <sup>6</sup> Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIRER2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options	
<b>EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%</b>	ELR <sup>6</sup> Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIREM2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	
<b>EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%</b>	ELSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS	N80 <sup>9</sup> nLight™ Lumen Compensation	
EDAB eldoLED DALI SOLDRIVE dim to dark	ELRSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS	JOT <sup>13</sup> Wireless room control with "Just One Touch" pairing	
	E10WCP <sup>6</sup> Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB	HAO <sup>11</sup> High ambient option (40°C)	
	E10WCPR <sup>6</sup> Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB	CP <sup>12</sup> Chicago Plenum	
	NPP16D <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).	RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.	
	NPP16DER <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	USPOM US point of manufacture	
		90CRI High CRI (90+)	

- Notes**
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
  - Not available with finishes.
  - Not available with emergency options.
  - Must specify voltage 120V or 277V.
  - Available with clear (AR) reflector only.
  - 12.5" of plenum depth or top access required for battery pack maintenance.
  - Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
  - NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
  - Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
  - Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
  - Fixture height is 5-11/16" for all lumen packages with HAO.
  - Must specify voltage for 3000lm. Not available with emergency battery pack option.
  - Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

## Mullion Mount Outdoor Emergency Egress Lighting

**Series MUE**  
REV #: MUE.11.20.17

PROJECT: \_\_\_\_\_

TYPE: \_\_\_\_\_

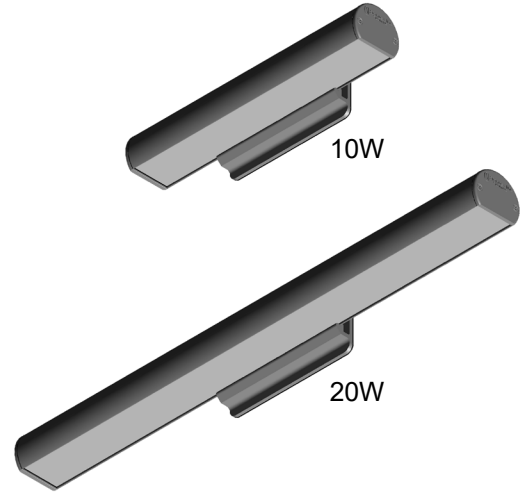
CATALOG #: \_\_\_\_\_

### OVERVIEW

Linear LED outdoor egress with both emergency lighting and night lighting function. The MUE series is designed to mount directly on mullion frames used in typical glass panel entrance structures, with vertical mounting surface as small as 2". High efficiency LEDs and full 90° cut-off provide uniform emergency and night lighting on the extended egress pathway. All models are outdoor rated, UL wet location, ADA compliant, and exceed requirements of UL Standard 924 and NFPA 101. Designed and manufactured in the USA, complies with ARRA (American Recovery and Reinvestment Act) and Buy American requirements.

### SPECIAL FEATURES

- Very low profile extruded aluminum housing and mount bracket blend seamlessly with structural metal frames
- Remote power supply for 10W and 20W BB and AC model single fixtures, or Central Battery System power for RE model multiple fixtures.
- Option for 20 watt models to operate for 2 hours in emergency mode
- Options for mount bracket height, from 2" to 5"
- Standard finishes include Brushed Aluminum, Satin White, Bronze or Black. Custom colors available on request
- Custom satin finishes for extended outdoor use are available to match any surface
- IP66 housing seals against heavy water spray and fine dust
- Universal side or top mount
- Wide lighting distribution designed for entrance walkways
- 10W or 20W emergency power models
- Optional normal-on switch allows timed control of night lighting
- Self-Test Diagnostics is standard for central battery models and optional for integral battery models.
- Certified IP66 housing withstands multi direction water spray and fine dust ingress
- Wall mount version available (see Series MAE)
- Standard CRI 5000K, with optional color corrections filters for 2900K, 3200K and 3800K.
- Code compliant emergency lighting layouts provided



### FIXTURE ORDERING INFORMATION EXAMPLE: MUEBB10AW-DG

MODEL SERIES		OPERATION	POWER	HOUSING COLOR	MOUNT	OPTIONS
MUE	RE	Central Battery	10 10 Watts emergency and normal on power	W Satin White	T Top	DG Self-test diagnostics (BB models only)
	BB	Battery backup (includes RPS)	20 20 Watts emergency and normal on power	A Aluminum	W Wall	SD Night Lighting Control Switch for models with DG option (120/277VAC)
	AC	No battery (includes RPS)		B Dark Bronze		SB120 Night Lighting Control Switch for standard BB models (120VAC)
				X Custom		SB277 Night Lighting Control Switch for standard BB models (277VAC)
						REC 20W RPS panel recessed mount
						2EM 2 hrs emergency operation for BB models
						CW1 Color temp. - 3800K
						CW2 Color temp. - 3200K
						CW3 Color temp. - 2900K
						DAC Dual AC input
						2HT 2" Mount Bracket height
						5HT 5" Mount Bracket height

### Mullion Mount Outdoor Emergency Egress Lighting

#### CONSTRUCTION

- Extruded aluminum lamp housing 2" diameter, with gasketed mount bracket only 2 1/2"Ht that includes a waterproof compression seal for universal wall or top mount.
- Available models include:
  - RE: Multiple fixtures powered from a Central Battery System
  - BB and AC: Single fixtures powered from a Remote Power Supply
  - AC: 120/277 VAC input, with or without battery
- Wet location listed, UL924 and certified IP66
- Gasketed, molded end caps and Sealed acrylic lens
- Stainless steel hardware

#### LIGHTING

- Lamps connected in parallel allow continuous lighting after failure of one lamp, meeting NEC and NFPA requirements.
- Standard output color 5000K. Optional outputs available 2900K, 3200K and 3800K.
- Dual function available for emergency or normally -on operation.
- Standard Operating Temperature
  - RE: -40C to 50C (-40F to 120F)
  - BB: -20C to 40C (-4F to 104F)
  - AC: -20C to 40C (-4F to 104F)

#### ELECTRONICS

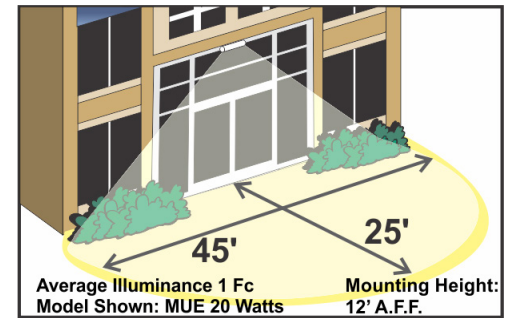
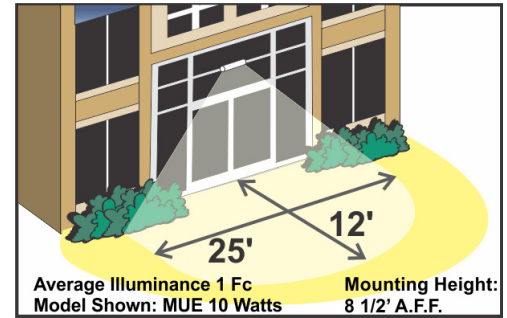
- Self-Test/Self-Diagnostic operation is standard for all RE models, and optional for BB models with the Remote Power Supply.
- Line latch circuit prevents unwanted emergency activation at installation.
- Low Voltage Disconnect prevents deep battery discharge

#### CODES

- Manufactured and tested to UL Standard 924, NFPA Life Safety Code 101, and certified to IP66.

#### WARRANTY

- 10 year total customer satisfaction warranty. For details see Signtex product catalog technical data section.



**NOTE:** FOR REFERENCE ONLY. STANDARD REFLECTANCES 80/50/20. SIGNTEX IS NOT RESPONSIBLE FOR SPECIFIC CONDITIONS THAT MAY ALTER THE RESULTS.



#### Self-test Diagnostic Functions (BB models)

STATUS	LED DISPLAY
Normal Full Charge	● GREEN ON
Normal Fast Charge	● ORANGE ON
Failed Battery	● ● RED FLASH FAST
Failed Lamp	● ● GREEN FLASH
Failed Transfer	● ● ORANGE FLASH
Failed Charger	● ● RED FLASH SLOW



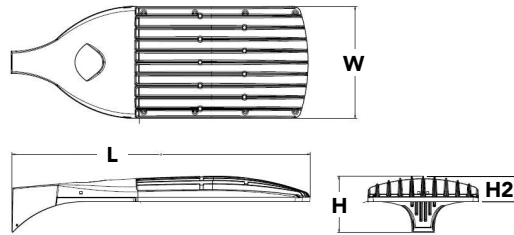
## D-Series Size 2 LED Area Luminaire

d<sup>series</sup>



### Specifications

<b>EPA:</b>	1.1 ft <sup>2</sup> (0.10 m <sup>2</sup> )
<b>Length:</b>	40" (101.6 cm)
<b>Width:</b>	15" (38.1 cm)
<b>Height 1:</b>	7-1/4" (18.4 cm)
<b>Height 2: (max):</b>	3.5"
<b>Weight:</b>	36lbs



### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

### Ordering Information

**EXAMPLE:** DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED	P5	40K	T5W	MVOLT	SPA	
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX2 LED	<b>Forward optics</b> P1 → P5 <sup>1</sup> P2 → P6 P3 → P7 <sup>1</sup> P4 → P8 <sup>1</sup> <b>Rotated optics</b> P10 <sup>2</sup> P13 <sup>1,2</sup> P11 <sup>2</sup> P14 <sup>1,2</sup> P12 <sup>2</sup>	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I Short (Automotive) T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	T5VS Type V Very Short <sup>3</sup> T5S Type V Short <sup>3</sup> T5M Type V Medium <sup>3</sup> T5W Type V Wide <sup>3</sup> BLC Backlight control <sup>4</sup> LCCO Left corner cutoff <sup>4</sup> RCCO Right corner cutoff <sup>4</sup>	MVOLT <sup>5</sup> XVOLT (277V-480V) <sup>6,7,8</sup> 120 <sup>9</sup> 208 <sup>9</sup> 240 <sup>9</sup> 277 <sup>9</sup> 347 <sup>9</sup> 480 <sup>9</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>10</sup> WBA Wall bracket <sup>3</sup> SPUMBA Square pole universal mounting adaptor <sup>11</sup> RPUMBA Round pole universal mounting adaptor <sup>11</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>10</sup>

Control options	Other options	Finish (required)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>13</sup> PIRHN Network, Bi-Level motion/ambient sensor <sup>14</sup> PER NEMA twist-lock receptacle only (no controls) <sup>15</sup> PER5 Five-wire receptacle only (no controls) <sup>15,16</sup> PER7 Seven-wire receptacle only (no controls) <sup>15,16</sup> DMG 0-10V dimming extend out back of housing for external control (no controls) <sup>17</sup> DS Dual switching <sup>18,19</sup>	<b>Shipped installed</b> HS House-side shield <sup>22</sup> SF Single fuse (120, 277, 347V) <sup>9</sup> DF Double fuse (208, 240, 480V) <sup>9</sup> L90 Left rotated optics <sup>2</sup> R90 Right rotated optics <sup>2</sup> HA 50°C ambient operations <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>21</sup> EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

S3: DSX2 LED P5 40K T3M MVOLT  
 S5W: DSX2 LED P5 40K T5W MVOLT  
 STFT: DSX2 LED P5 40K TFTM MVOLT  
 STFT-2180: (2@180DEGREES)DSX2 LED P5 40K TFTM MVOLT  
 STFT-290: (2@90DEGREES) DSX2 LED P5 40K TFTM MVOLT

S3  
 S5W  
 STFT  
 STFT-2180  
 STFT-290

## Ordering Information

### Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>24</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>24</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>24</sup>
DSHORT SBK U	Shorting cap <sup>24</sup>
DSX2HS 80C U	House-side shield for 80 LED unit <sup>22</sup>
DSX2HS 90C U	House-side shield for 90 LED unit <sup>22</sup>
DSX2HS 100C U	House-side shield for 100 LED unit <sup>22</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>25</sup>
KMA8 DDBXD U	Most arm mounting bracket adaptor (specify finish) <sup>12</sup>
DSX2EGS (FINISH) U	External glare shield

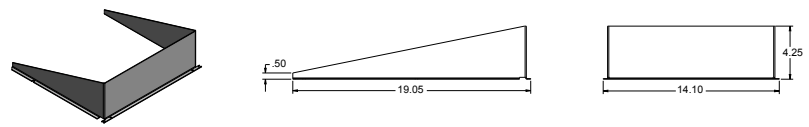
For more control options, visit [DTL](#) and [ROAM](#) online.

### NOTES

- HA not available with P5, P7, P8, P13, and P14.
- P10, P11, P12, P13 or P14 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- XVOLT is only suitable for use with P5, P6, P7, P8, P13 and P14.
- XVOLT works with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIRH or PIRH1FC3V.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting bracket intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover only available in dark bronze, black, white or natural aluminum color.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIRH1FC3V or PIRH1FC3V, FAO.
- Requires (2) separately switched circuits with isolated neutrals.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available with P1, P2, P10.
- Reference Controls Options table settings table on page 4. Reference Motion Sensor Default table on page 4 to see functionality.
- Reference controls options table on page 4.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessories; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 and PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

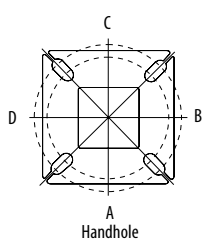
## Options

### EGS - External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

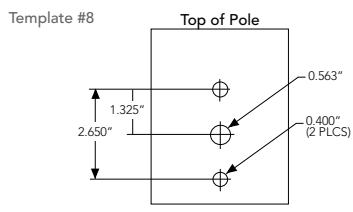
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

### DSX2 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX2 LED	1.100	2.200	2.120	3.300	2.850	4.064

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

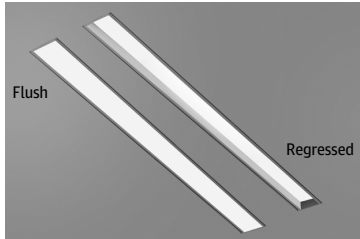


# MARK ARCHITECTURAL LIGHTING™

## Slot 2 LED Recessed Linear

Slot 2 LED takes both form and function a step further with increased efficacy and integral controls creating a digitally addressable luminaire that is perfect where visually harmonious illumination and energy efficiency are desired.

Slot 2 LED is the ideal choice for spaces that emphasize lines and clean contemporary design. It is a perfect fit for Armstrong TechZone™ ceiling systems. A regressed lens option provides added dimension to the sleek, slender design and the flush lens now has a Wet Label option.



### Specification Features (continued on page 2)

#### Housing

Nominal 2" x 2', 3', 4', 5', 6', 7', 8' and continuous rows in 1" increments as standard, upper housing fabricated from cold-rolled steel with extruded aluminum ceiling trim.

#### Finish

Painted high reflectance matte white powder coat.

#### Reflector

Precision-formed steel; high reflectance matte white powder coat; 93% reflectivity.

#### Shielding

Flush Lens: Snap-in 90% transmissive satin acrylic lens.

Regressed Lens: Lay-in 90% transmissive satin acrylic lens.

#### Mounting

Recessed. Available for sheetrock, 9/16" slot grid or 15/16" inverted tee ceilings, or 9/16" inverted tee.

#### Certification

CSA tested to UL 1598 standards. Optional Damp or Wet location listings available, see ordering tree. This product is IC rated.

#### Warranty

5-year limited warranty. Complete warranty terms located at:

[www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

#### Fixture Performance - SL2L\*

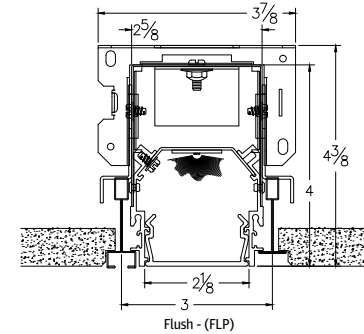
Lumens Output	400 LMF		600 LMF**		800LMF**		1000LMF	
	RLP	FLP	RLP	FLP	RLP	FLP	RLP	FLP
Delivered Lumens/FT	234	308	404	533	534	705	654	862
Input Watts/FT	4	4	6	6	8	8	11	11
Lumen/Watt	68	89	69	91	67	88	62	82

\* CCT (35K)

\* Consult factory for customized lumen output and wattage

\*\*Based on calculated values

### Technical Drawing



#### LED Components

Linear: Nichia® - 757 Series LED chips (available in 80 or 90 CRI)

#### LED Life

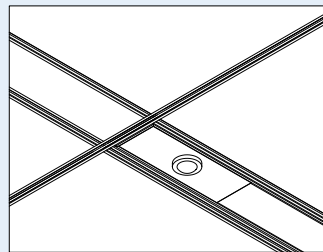
Rated 65,000 hours (L80) at 25 °C ambient temperature.

#### Color Consistency

The Acuity Brands circuit boards for the linear LED components use a precise binning algorithm which creates a consistent color temperature from board to board. Color variation is no greater than a 2.5 Step MacAdam (2.5SDCM) along the black body locus from board to board.

#### Driver

eldoLED constant current driver options delivers ultra-smooth dimming resolution from 100% to 0.1%, while assuring flicker free, low current inrush, 89% efficiency and low EMI.



Occupancy Sensor (PDT) and/or Photocell (ADC)

#### Integrated Controls

Optional nLight® embedded controls make luminaire addressable- allowing it to digitally communicate with other nLight enabled controls such as dimmers, switches, occupancy sensors and photocontrols. Simply connect all the nLight enabled control devices using standard CAT5 Cabling. (Input option: nLIGHT)

#### Photometry

For photometric information refer to [www.marklighting.com](http://www.marklighting.com).



# D-Series Size 1 LED Wall Luminaire



## d"series

### Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

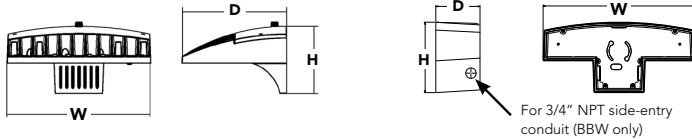
### Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		

### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



### Ordering Information

**EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DBBXTD

DSXW1 LED	20C	1000	40K	T3M	MVOLT		
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	Shipped installed PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant <sup>8,9</sup>

Other Options		DNAXD	
		Finish (required)	
<b>Shipped installed</b>	<b>Shipped separately</b> <sup>11</sup>	DBBXD Dark bronze	DSSXD Sandstone
SF Single fuse (120, 277 or 347V) <sup>3,10</sup>	BSW Bird-deterrent spikes	DBLXD Black	DBBXTD Textured dark bronze
DF Double fuse (208, 240 or 480V) <sup>3,10</sup>	VG Vandal guard	DNAXD Natural aluminum	DBLBXD Textured black
HS House-side shield <sup>11</sup>	DDL Diffused drop lens	DWHXD White	DNATXD Textured natural aluminum
SPD Separate surge protection <sup>12</sup>			

### Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- Not available with ELCW.





## TEXAS FINANCE CODE

### TITLE 3. FINANCIAL INSTITUTIONS AND BUSINESSES

#### SUBTITLE A. BANKS

#### CHAPTER 59. MISCELLANEOUS PROVISIONS

##### Subchapter D. Safety at Unmanned Teller Machines<sup>3</sup>

**Sec. 59.301. Definitions.** In this subchapter:

(1) "Access area" means a paved walkway or sidewalk that is within 50 feet of an unmanned teller machine. The term does not include a public right-of-way or any structure, sidewalk, facility, or appurtenance incidental to the right-of-way.

(2) "Access device" has the meaning assigned by Regulation E (12 C.F.R. Section 205.2), as amended, adopted under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.), as amended.

(3) "Candlefoot power" means the light intensity of candles on a horizontal plane at 36 inches above ground level and five feet in front of the area to be measured.

(4) "Control" means the authority to determine how, when, and by whom an access area or defined parking area may be used, maintained, lighted, and landscaped.

(5) "Customer" means an individual to whom an access device is issued for personal, family, or household use.

(6) "Defined parking area" means the portion of a parking area open for unmanned teller machine customer parking that is contiguous to an access area, is regularly, principally, and lawfully used during the period beginning 30 minutes after sunset and ending 30 minutes before sunrise for parking by customers using the machine, and is owned or leased by the owner or operator of the machine or owned or controlled by a person leasing the machine site to the owner or operator of the machine. The term does not include:

(A) a parking area that is physically closed or on which one or more conspicuous signs indicate that the area is closed; or

(B) a level of a multiple-level parking area other than the level considered by the operator of the unmanned teller machine to be the most directly accessible to a customer.

(7) "Financial institution" has the meaning assigned by Section 201.101.

(8) "Operator" means the person primarily responsible for the operation of an unmanned teller machine.

(9) "Owner" means a person having the right to determine which financial institutions are permitted to use or participate in the use of an unmanned teller machine.

(10) "Unmanned teller machine" means a machine, other than a telephone, capable of being operated solely by a customer to communicate to a financial institution:

(A) a request to withdraw money from the customer's account directly or under a line of credit previously authorized by the financial institution for the customer;

(B) an instruction to deposit money in the customer's account with the financial institution;

(C) an instruction to transfer money between one or more accounts maintained by the customer with the financial institution;

(D) an instruction to apply money against an indebtedness of the customer to the financial institution; or

(E) a request for information concerning the balance of the account of the customer with the financial institution.

**Sec. 59.302. Exception for Certain Unmanned Teller Machines.** This subchapter does not apply to an unmanned teller machine:

(1) by which:

(A) a customer of a financial institution can authorize and effect the electronic transfer of money from the customer's account at the financial institution to a merchant's account at a financial institution in the county or municipality in which the terminal is located to obtain cash or to purchase, rent, or pay for goods or services; and

(B) the merchant can ascertain that the transaction has been completed and the money has been or will be transferred to the merchant's account at the merchant's financial institution in the county or municipality in which the terminal is located; or

(2) located:

(A) inside a building:

(i) unless the building is a freestanding installation existing solely to provide an enclosure for the machine; or

(ii) except to the extent a transaction can be conducted from outside the building; or

(B) in an area not controlled by the owner or operator of the machine.

**Sec. 59.303. Applicability to Certain Persons Who Are Not Owners or Operators.** (a) A person is not an owner or operator solely because the person's primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data.

(b) A person whose primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data and who is not an owner or operator is not liable to a customer or user of an unmanned teller machine for a claim arising out of or in connection with a use or attempted use of the machine.

**Sec. 59.304. Construction of Subchapter.** (a) This subchapter does not require the relocation or modification of an unmanned teller machine on the occurrence of a particular event or circumstance.

(b) A violation of this subchapter or a rule adopted under this subchapter is not negligence per se. Substantial compliance with this subchapter and each rule adopted under this subchapter is prima facie evidence that a person has provided adequate safety protection measures relating to an unmanned teller machine under this subchapter.

**Sec. 59.305. Lighting Required.** During the period beginning 30 minutes after sunset and ending 30 minutes before sunrise, lighting shall be provided for:

- (1) an unmanned teller machine;
- (2) the machine's access area and defined parking area; and
- (3) the exterior of the machine's enclosure, if the machine is located in an enclosure.

**Sec. 59.306. Persons Required to Provide Lighting.** (a) Except as provided by Subsection (b), the owner or operator shall provide the lighting required by this subchapter.

(b) A person who leases the site where an unmanned teller machine is located shall provide the lighting required by this subchapter if the person controls the access area or defined parking area for the machine and the owner or operator does not control the access area or defined parking area.

**Sec. 59.307. Standards for Lighting.** The lighting must be at least:

- (1) 10 candlefoot power at the face of the unmanned teller machine and extending in an unobstructed direction outward five feet;
- (2) two candlefoot power within 50 feet from any unobstructed direction from the face of the machine, except as provided by Subdivision (3);
- (3) if the machine is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, two candlefoot power along the first 40 unobstructed feet of the adjacent side of the building; and
- (4) two candlefoot power in the part of the defined parking area within 60 feet of the unmanned teller machine.

**Sec. 59.308. Safety Evaluation.** (a) An owner or operator shall in good faith evaluate the safety of each unmanned teller machine that the person owns or operates.

(b) In making the evaluation, the owner or operator shall consider:

- (1) the extent to which the lighting for the machine complies with Section 59.307;
- (2) the presence of obstructions, including landscaping and vegetation, in the area of the machine and the access area and defined parking area for the machine; and

(3) the incidence of violent crimes in the immediate neighborhood of the machine as shown by local law enforcement records and of which the owner or operator has actual knowledge.

**Sec. 59.309. Notice of Safety Precautions.** (a) An issuer of an access device shall give the customer a notice of basic safety precautions that the customer should follow while using an unmanned teller machine.

(b) The issuer shall personally deliver or mail the notice to each customer whose mailing address is in this state according to records for the account to which the access device relates. If the issuer furnishes an access device to more than one customer on the same account, the issuer is required to furnish a notice to only one of the customers.

(c) The issuer may furnish information under this section with other disclosures related to the access device, including an initial or periodic disclosure statement furnished under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.).

**Sec. 59.310. Enforcement and Rules.** (a) The finance commission and the Credit Union Commission shall enforce this subchapter and adopt rules to implement this subchapter.<sup>4</sup>

(b) The rules must establish security requirements to be implemented by a financial institution for the operation of an unmanned teller machine. The rules may require the financial institution to install and maintain security devices in addition to those required by this subchapter to be operated in conjunction with the machine for the protection of customers using the machine, including:

(1) video surveillance equipment that is maintained in working order and operated continuously during the hours of operation of the machine; and

(2) adequate lighting around the premises that contain the machine.

(c) A financial institution that violates a rule adopted under this section is subject to a civil penalty of not less than \$50 or more than \$1,000 for each day of violation and each act of violation.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. SP2021-035

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS Address not available

SUBDIVISION Allen Anderson Addition

LOT 2 BLOCK 2

GENERAL LOCATION Northwest corner of Rockwall Parkway and FM 3097

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING PD-009

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Financial Institution with Drive-Through

ACREAGE 1.198

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER Frost Bank

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Ross Wood

CONTACT PERSON Priya Acharya

ADDRESS 3833 Roger Road

ADDRESS 2201 E. Lamar Blvd. Suite 200E

CITY, STATE & ZIP San Antonio, Texas, 78251

CITY, STATE & ZIP Arlington, Texas, 76006

PHONE (210) 220-5842

PHONE (817) 467-7700

E-MAIL ross.wood@frostbank.com

E-MAIL priyaa@wierassociates.com

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ross Wood [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$                      TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17<sup>th</sup> DAY OF December, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND PERMITTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

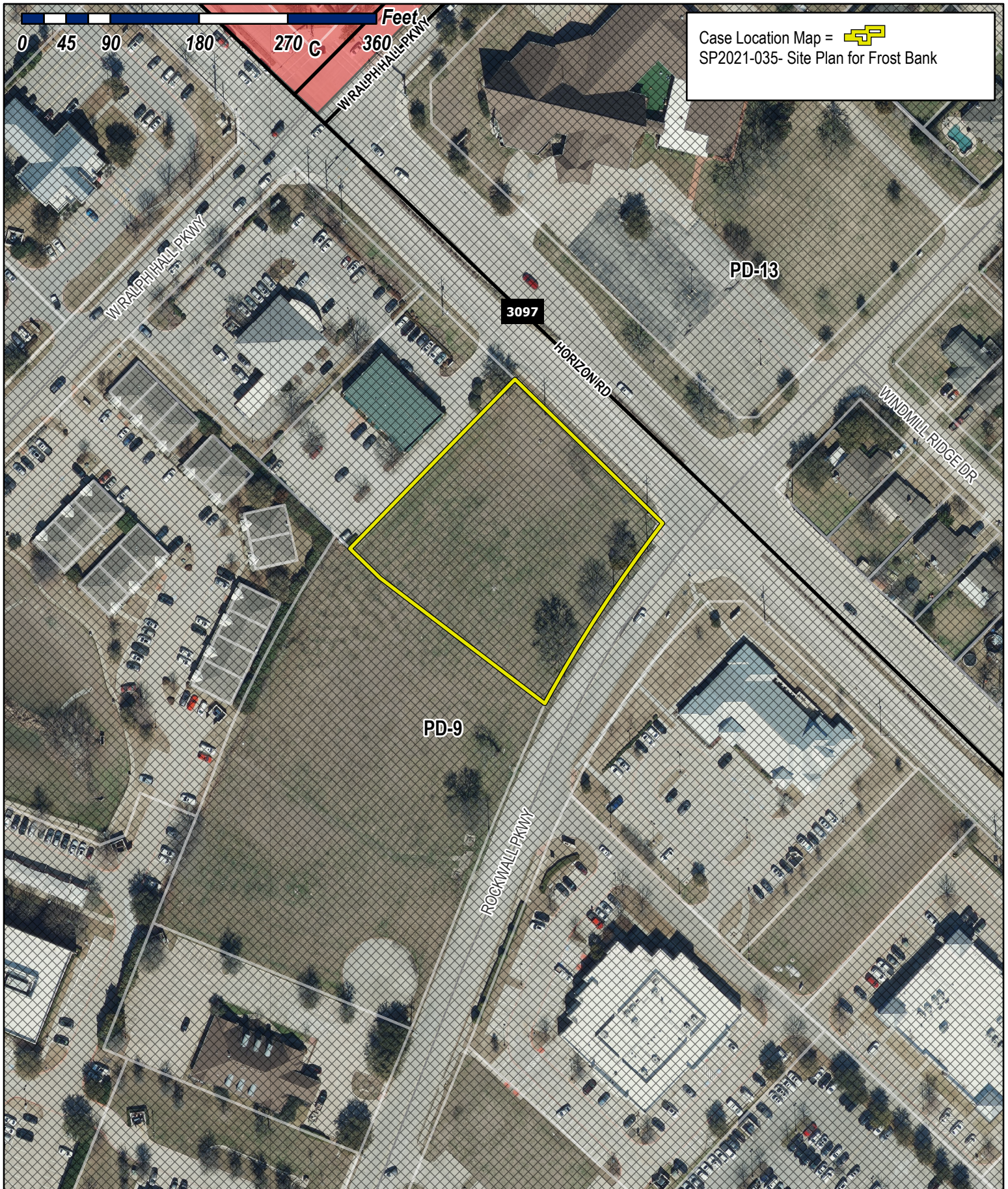
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF December, 2021


OWNER'S SIGNATURE

*Ross Wood*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map =   
 SP2021-035- Site Plan for Frost Bank



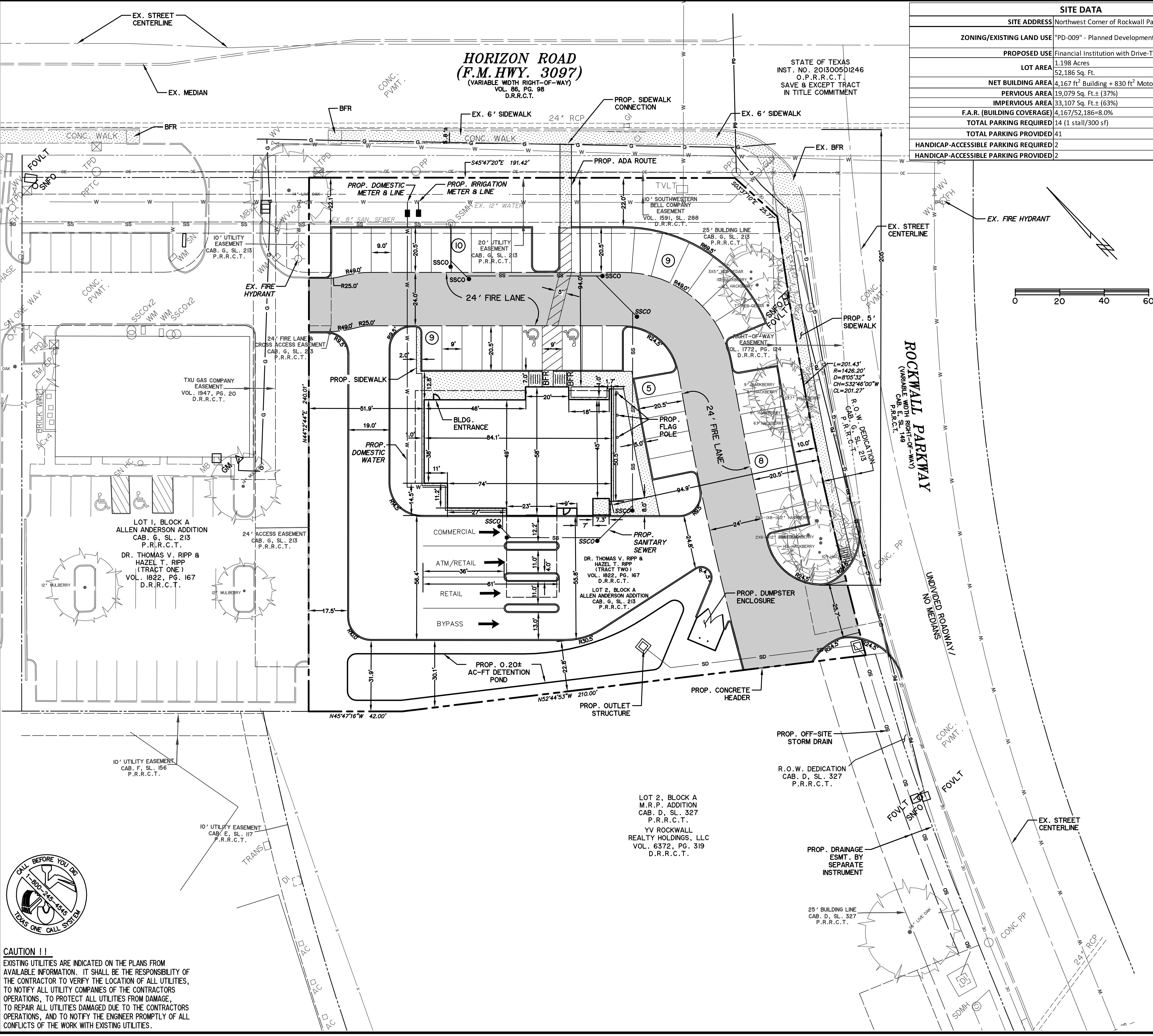
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

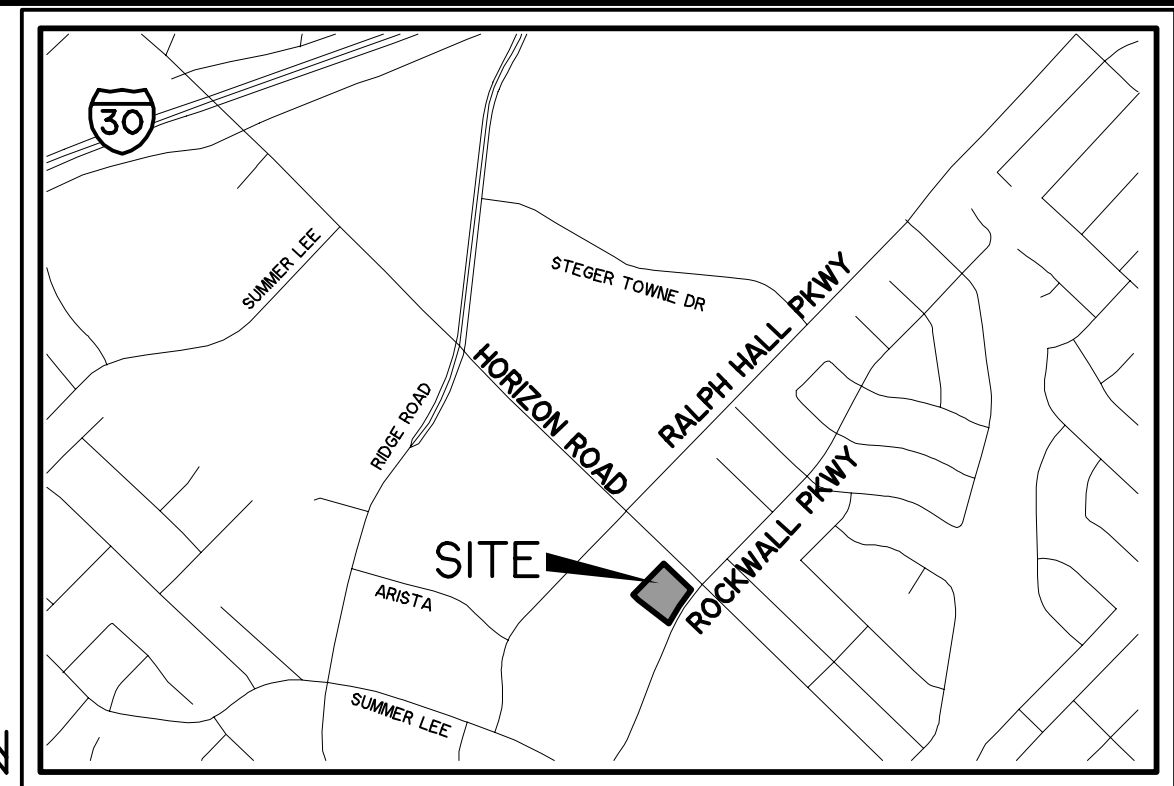
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 12/17/2021 9:27 AM FILE: PRIYAA STB FILE: WIER-PAVING.STB LAST SAVED: 12/17/2021 9:27 AM CITY-SITE-PLAN-21089.DWG



SITE DATA	
SITE ADDRESS	Northwest Corner of Rockwall Parkway and FM 3097
ZONING/EXISTING LAND USE	PD-009 - Planned Development; Vacant
PROPOSED USE	Financial Institution with Drive-Through
LOT AREA	1.198 Acres 52,186 Sq. Ft.
NET BUILDING AREA	4,167 ft <sup>2</sup> Building + 830 ft <sup>2</sup> Motor Bank
PERVIOUS AREA	19,079 Sq. Ft. ± (37%)
IMPERVIOUS AREA	33,107 Sq. Ft. ± (63%)
F.A.R. (BUILDING COVERAGE)	4,167/52,186=8.0%
TOTAL PARKING REQUIRED	14 (1 stall/300 sf)
TOTAL PARKING PROVIDED	41
HANDICAP-ACCESSIBLE PARKING REQUIRED	2
HANDICAP-ACCESSIBLE PARKING PROVIDED	2



VICINITY MAP  
NOT TO SCALE

TOPOGRAPHIC LEGEND	
BOL	BOLLARD
CI	CURB INLET
EB	ELECTRIC BOX
EM	ELECTRIC METER
FB	FIBER OPTIC VAULT
GM	GAS METER
GTS	GAS TEST STATION
GUY	GUY WIRE
HWL	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IRF	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE W/CONDUIT
PPC	POWER POLE W/LIGHT POLE
PPF	POWER POLE W/TRANSFORMER
RPT	CONCRETE STORM DRAIN PIPE
RPC	POWER POL W/CONDUIT AND TRANSFORMER
SDMH	STORM DRAIN MANHOLE
SGH	UNDERGROUND TELEPHONE SIGN
SNT	GAS PIPELINE MARKER
SWP	SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
TPO	TELEPHONE PEDestal
TMB	TRAFFIC SIGNAL BOX
TMBL	TELEPHONE MANHOLE
TRM	TRANSFORMER PAD
TRNS	TRAFFIC SIGNAL POLE
TSP	TRAFFIC SIGNAL VAULT
TVLT	TRAFFIC SIGNAL VAULT
WM	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVLT	WATER VAULT
UE	UNDERGROUND ELECTRIC LINE
UL	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
US	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
UG	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE

SITE LEGEND	
[Symbol]	PROP. FIRE LANE & CROSS ACCESS EASEMENT
[Symbol]	PROP. SIDEWALK
[Symbol]	PROPOSED 12" OR SMALLER WATER MAIN
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED 12" OR SMALLER SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED GRATE INLET
[Symbol]	PROPOSED CURB INLET
[Symbol]	HANDICAP-ACCESSIBLE PARKING STALL
[Symbol]	BARRIER FREE RAMP
[Symbol]	PROPERTY LINE
[Symbol]	LIGHT POLE
[Symbol]	MEASUREMENT TO BACK OF CURB
[Symbol]	PROPOSED DROP INLET
[Symbol]	PROPOSED JUNCTION BOX
[Symbol]	PROPOSED SANITARY SEWER CLEANOUT

- NOTE:**
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADII WITHIN PROPERTY ARE 2.5' B/C UNLESS SPECIFIED OTHERWISE.
  - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ON-SITE PAVEMENT SHALL BE:
- |           |                                 |
|-----------|---------------------------------|
| PARKING   | 5' REINFORCED CONCRETE PAVEMENT |
| FIRE LANE | 6' REINFORCED CONCRETE PAVEMENT |
| DUMPSTER  | 7' REINFORCED CONCRETE PAVEMENT |

OWNER: THOMAS AND HAZEL RIPP  
2266 LAFAYETTE LNDG  
HEATH, TEXAS 75032

DEVELOPER/APPLICANT: FROST BANK  
3833 ROGER ROAD  
SAN ANTONIO, TEXAS 78251  
PHONE: (210)-220-5842  
CONTACT: ROSS WOOD

ENGINEER: WIER & ASSOCIATES, INC.  
2201 E. LAMAR BLVD., STE 200E  
ARLINGTON, TEXAS 76006  
PHONE: (817) 467-7700  
CONTACT: PRIYA ACHARYA, P.E.  
PriyaA@WierAssociates.com

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**FROST BANK**  
SOUTHWEST CORNER OF HORIZON RD. AND ROCKWALL PKWY.  
**LOT 2, BLOCK A**  
**ALLEN ANDERSON ADDITION**  
**CITY OF ROCKWALL, TEXAS**

CASE # \_\_\_\_\_  
EXISTING ZONING: PD-009  
PROPOSED LAND USE: FINANCIAL INSTITUTION W/ DRIVE-THRU  
PREPARED BY:

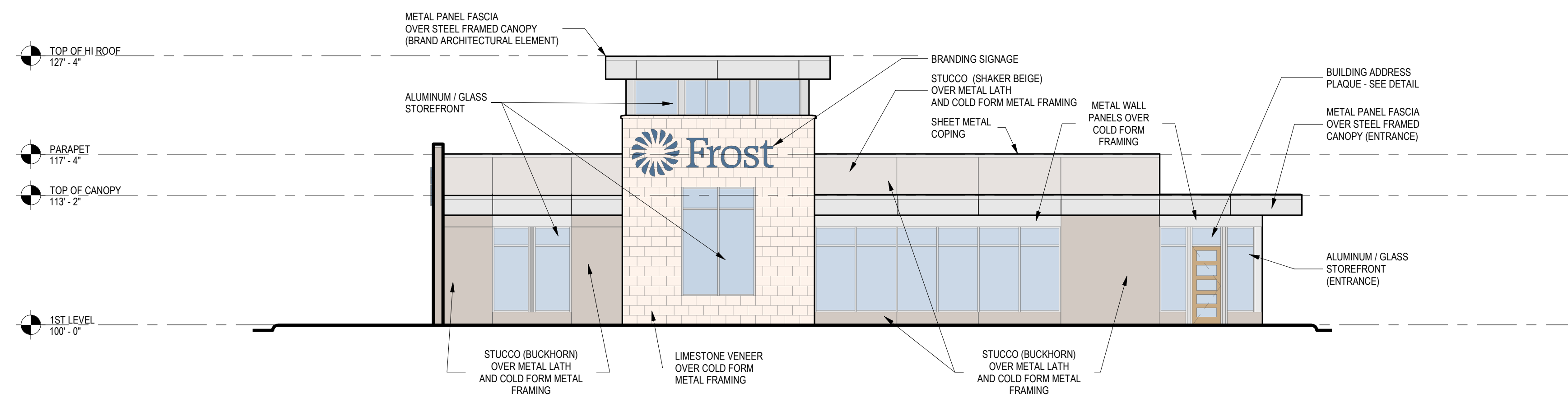
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776    www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
Prepared By/Or Under Direct Supervision Of Priya Acharya, PE  
Texas Registration No. 110146 On Date Shown Below.

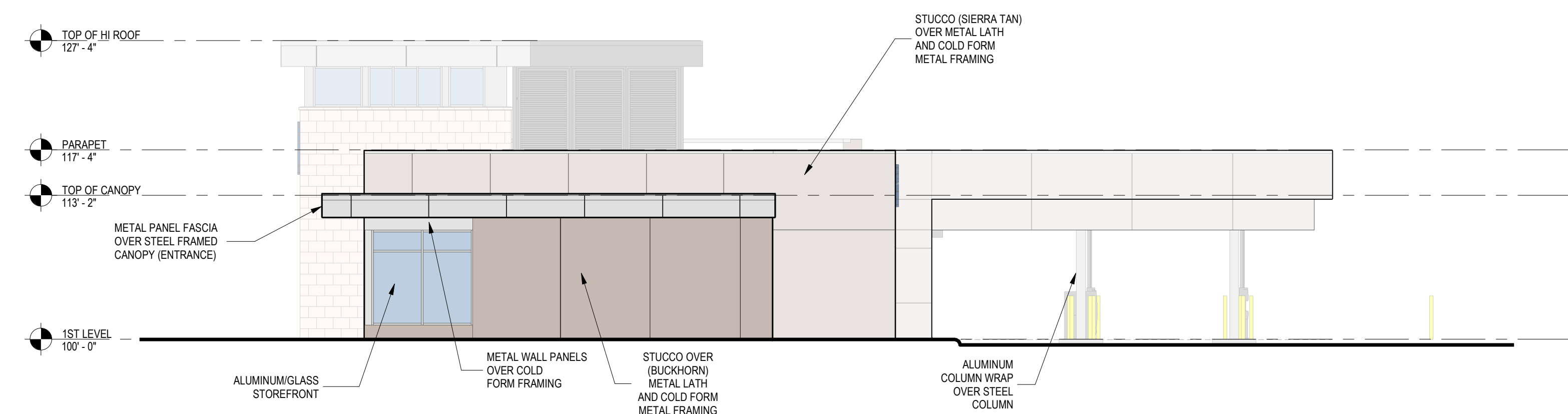
DATE: 12/17/2021  
W.A. No. 21089

**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

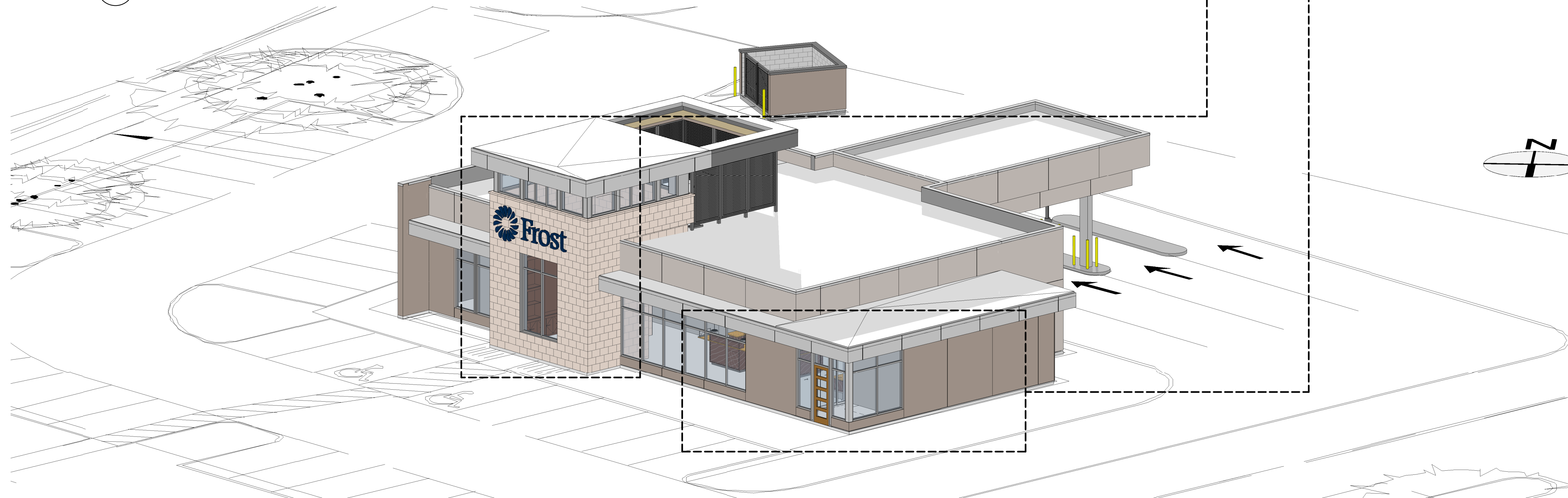
CALL BEFORE YOU DIG  
800-4-A-S-5454  
TEXAS ONE CALL SYSTEM



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



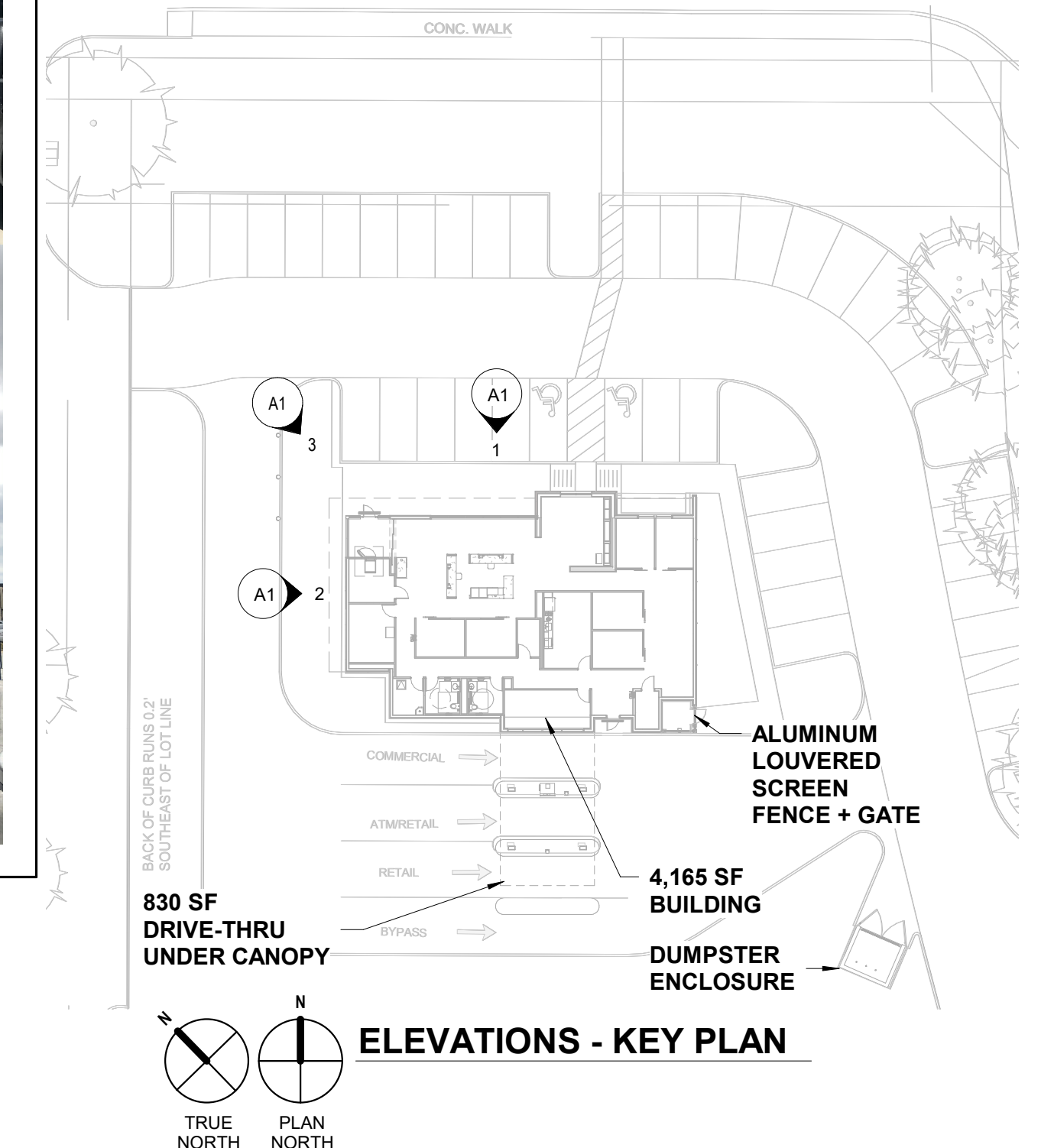
**3 AXONOMETRIC - NORTHWEST**  
N.T.S.

**6 REPRESENTATIVE PROJECT PHOTOGRAPHS**  
N.T.S.



**EXTERIOR MATERIALS SCHEDULE**

MATERIAL	AREA	PERCENTAGE
<b>WEST ELEVATION (SIDE)</b>		
ACM PANELS	13 SF	1%
LIMESTONE VENEER	209 SF	14%
STUCCO	1228 SF	85%
<b>NORTH ELEVATION (FRONT)</b>		
ACM PANELS	52 SF	5%
LIMESTONE VENEER	334 SF	32%
STUCCO	658 SF	63%
<b>Grand total</b>	<b>2494 SF</b>	



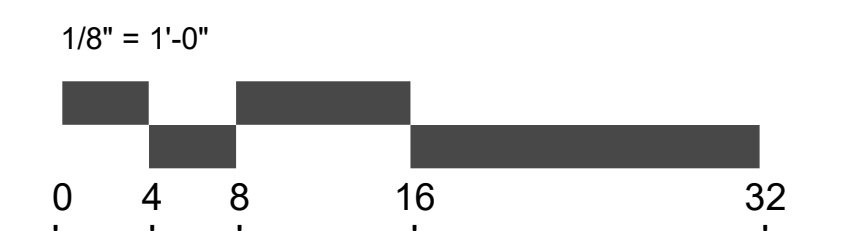
**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF

HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

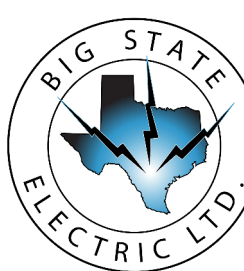
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A1**

THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.  
DATE: 12/17/2021



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com  
Firm Reg. #F-16549



**W&A WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



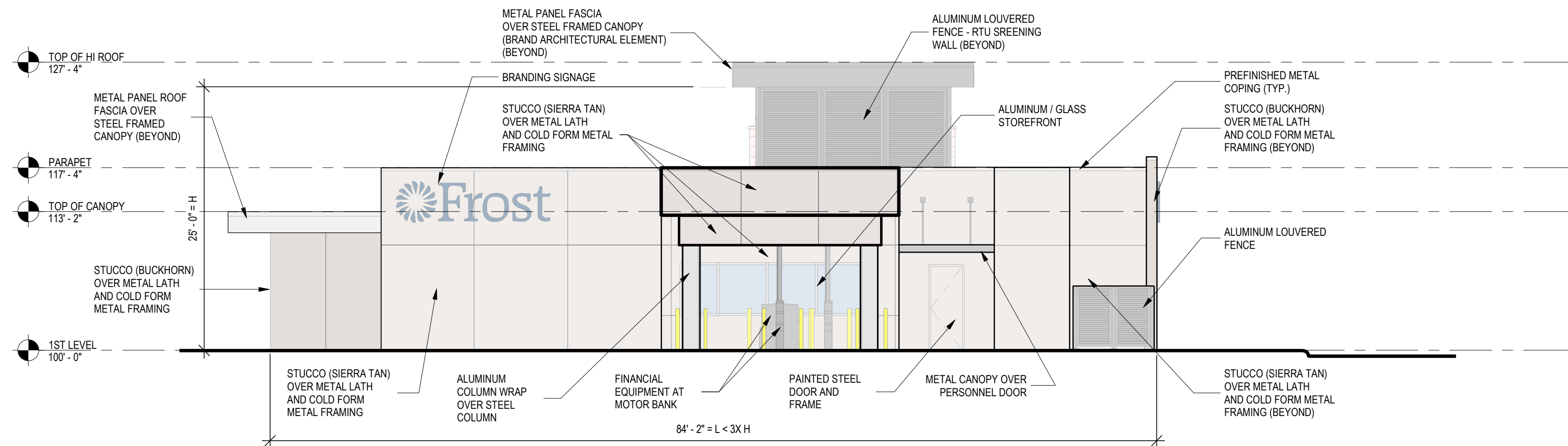
**Hahnfeld Hoffer Stanford**

architects  
planners  
interiors

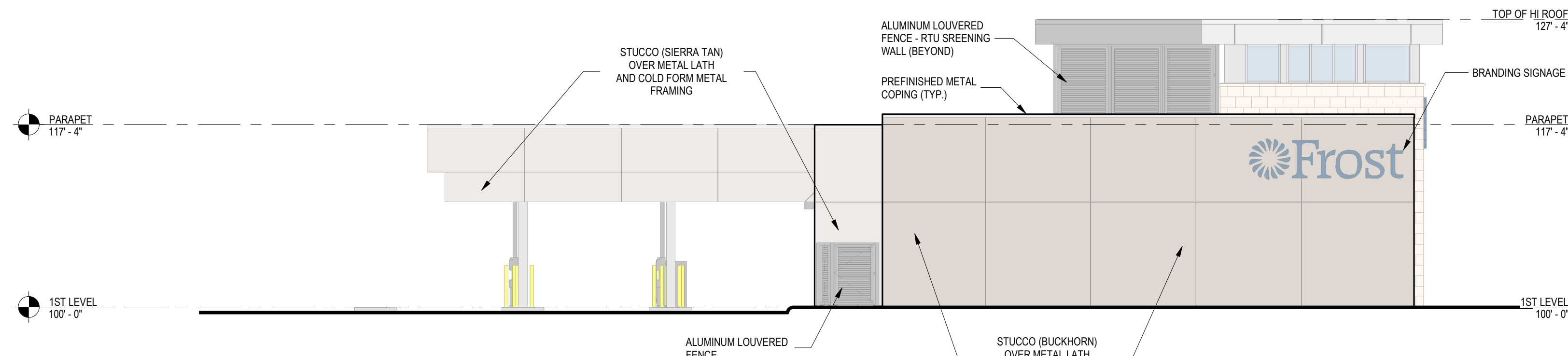


DATE: 12/17/2021

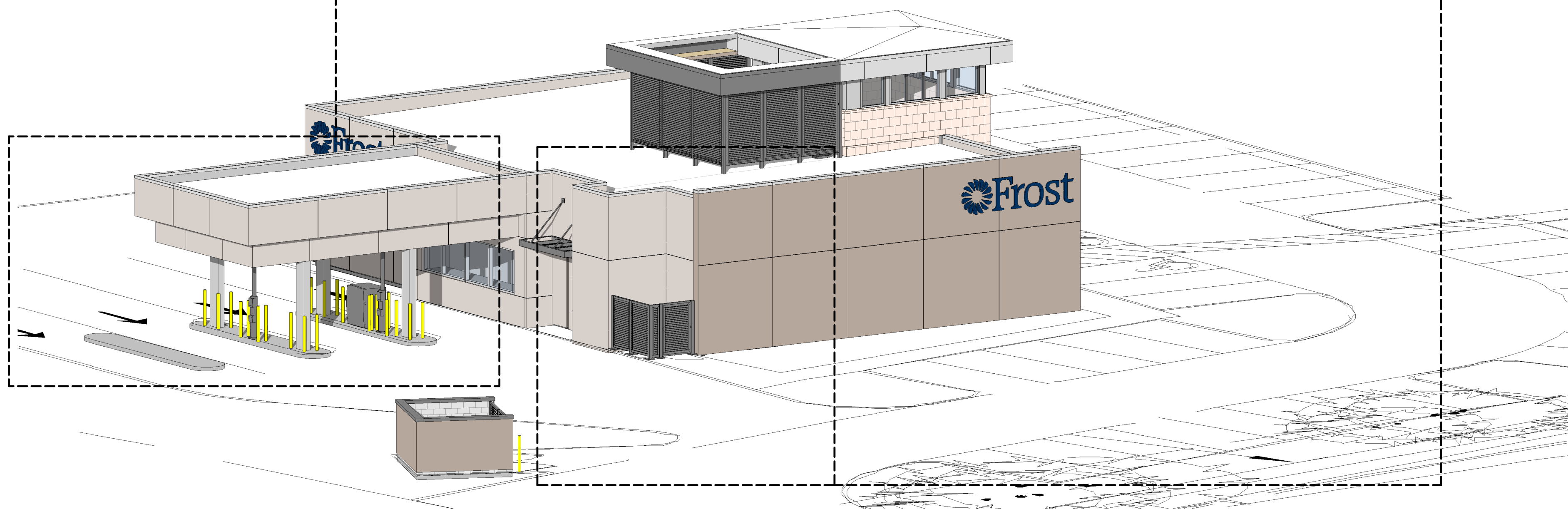




**1 SOUTH ELEVATION**  
1/8" = 1'-0"



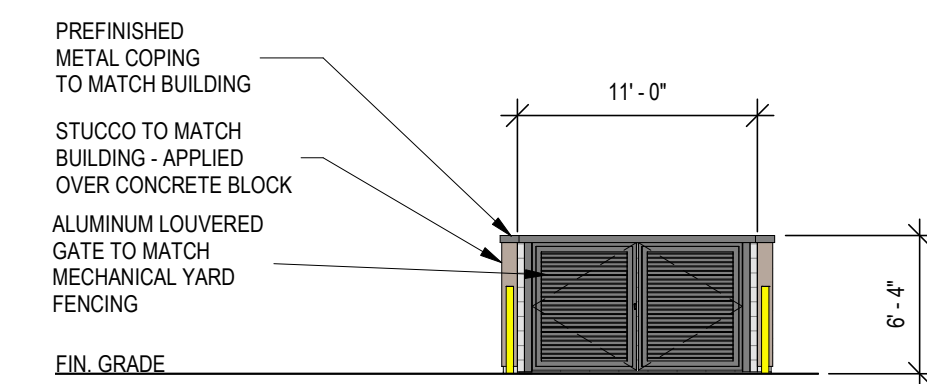
**2 EAST ELEVATION**  
1/8" = 1'-0"



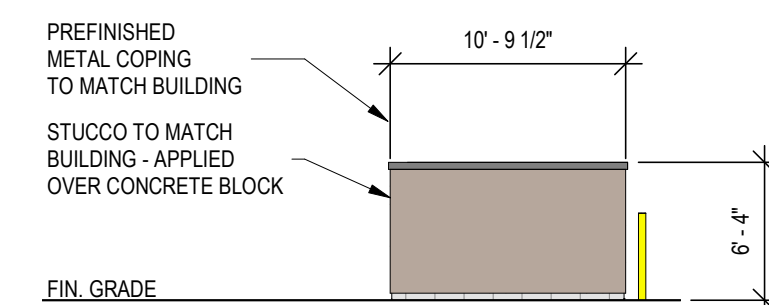
**3 AXONOMETRIC - SOUTHEAST**



**4 REPRESENTATIVE PROJECT PHOTOGRAPHS**  
1/8" = 1'-0"



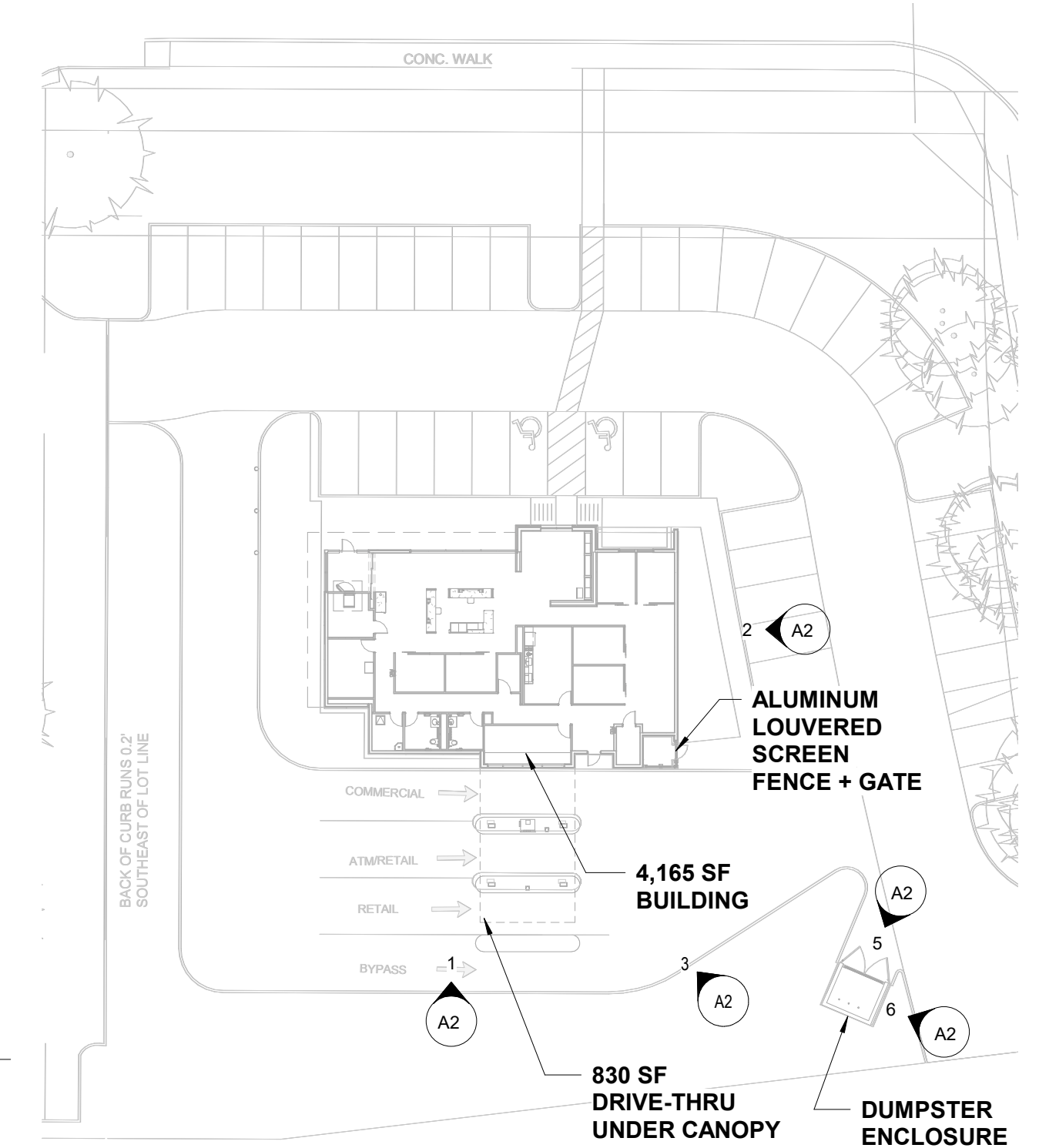
**5 DUMPSTER ENCLOSURE**  
1/8" = 1'-0"



**6 DUMPSTER ENCLOSURE**  
1/8" = 1'-0"

**EXTERIOR MATERIALS SCHEDULE**

MATERIAL	AREA	PERCENTAGE
<b>EAST ELEVATION (SIDE)</b>		
LIMESTONE VENEER	211 SF	4%
STUCCO	4988 SF	96%
<b>SOUTH ELEVATION (REAR)</b>		
STUCCO	1483 SF	100%
<b>Grand total</b>	<b>6681 SF</b>	



**ELEVATIONS - KEY PLAN**

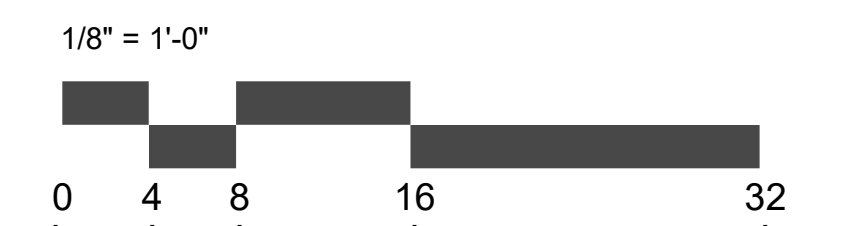
**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF

HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

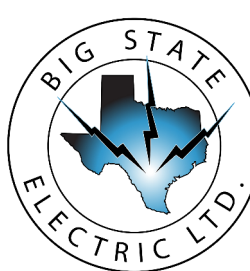
DATE: 12/17/2021

**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A2**

THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.  
DATE: 12/17/2021



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com #F-16549  
Firm Reg.



**W&A**  
**WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



**Hahnfeld  
Hoffer  
Stanford**

architects  
planners  
interiors





- 1 METAL WALL PANELS:  
ZINC COTE
- 2 LIMESTONE VENEER:  
IVORY
- 3 PORTLAND CEMENT PLASTER:  
SHAKER BEIGE
- 4 PORTLAND CEMENT PLASTER:  
BUCKHORN
- 5 METAL COPING:  
SIERRA TAN
- 6 METAL COPING:  
BUCKSKIN



BIG STATE ELECTRIC  
LTD.  
1075 Apple Street  
Dartmouth, VT 05741  
www.bigstateelectric.com  
703.261.1011  
#11549



CCA  
LANDSCAPE  
ARCHITECTURE  
WIER & ASSOCIATES, INC.  
ARCHITECTURE INTERIORS | LANDSCAPE ARCHITECTURE | LAND PLANNING



Hahnfeld  
Hoffer  
Stanford  
architects  
planners  
interiors



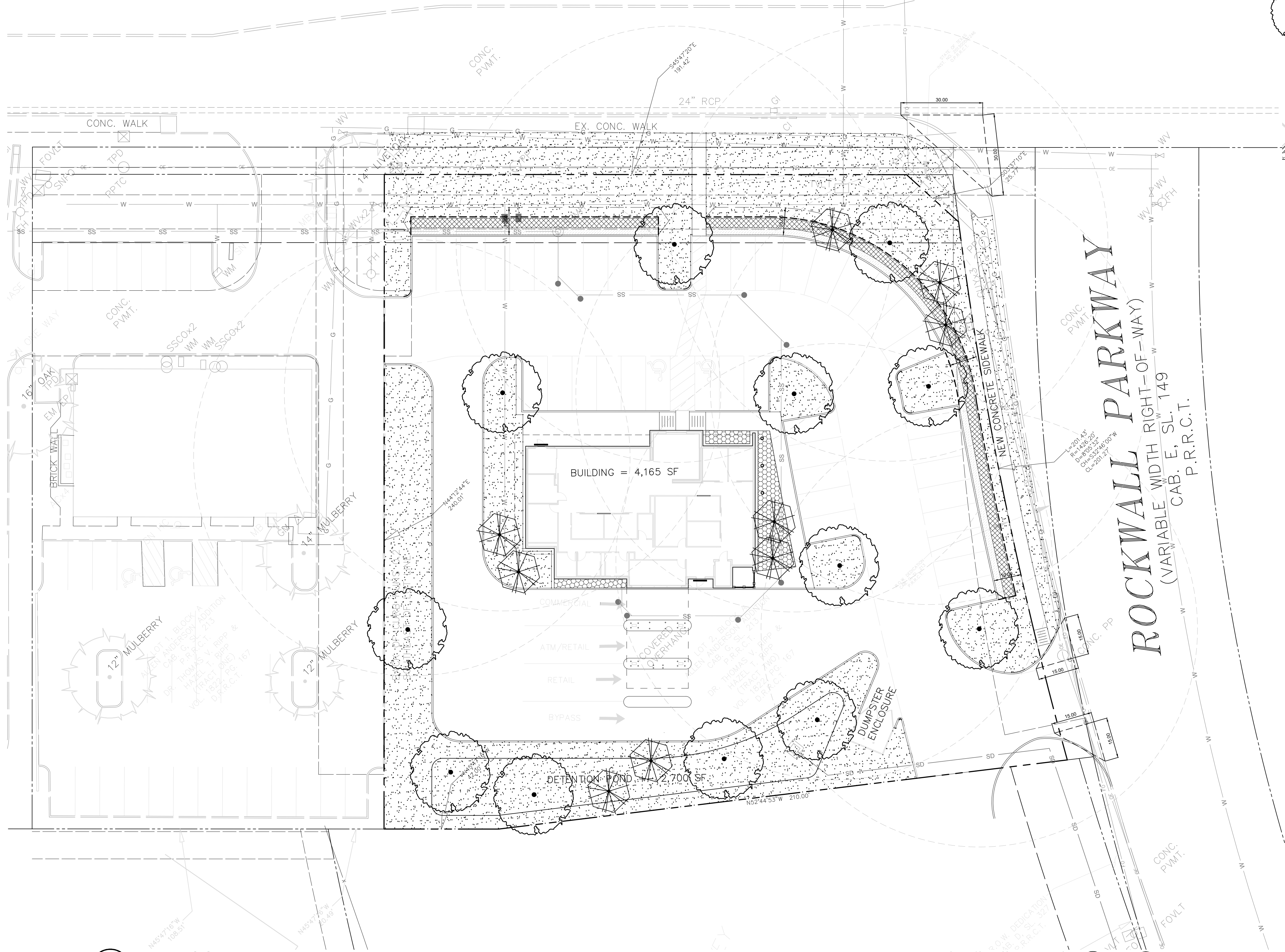
Frost

FROST BANK  
ROCKWALL FINANCIAL  
CENTER

MATERIAL FINISH BOARD

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



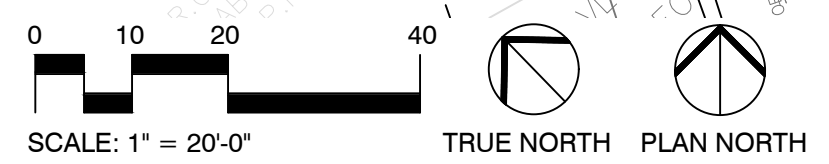
## PLANT AND MATERIAL SCHEDULE - Preliminary Selection List

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT.	CAL.	SIZE	REMARKS	QTY
NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL PER SPECIFICATIONS. NOTE: SIZES AND SPECIES LISTED ARE REQUIRED BY ROCKWALL UDC.							
ACCENT TREE OPTIONS:	CMN	EVE'S NECKLACE / SOPHORA AFFINIS	CONT. OR B&B	200 GAL. MIN.	10'-12" H X 5' W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, MULTI-TRUNK, NO CROSSING OR RUBBING BRANCHES	X
	SM	SHANTUNG MAPLE / ACER TRUNCATUM 'BABY DRAGON'	CONT. OR B&B	4" CAL. MIN.	10'-12" H X 5' W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, SINGLE TRUNK, CENTRAL LEADER	X
CANOPY TREE OPTIONS:							
	LE	LACEBARK ELM / ULMUS PARVIFOLIA	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	OM	OCTOBER GLORY MAPLE / ACER RUBRUM 'OCTOBER GLORY'	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	CO	CHINKAPIN OAK / QUERCUS MUEHLENBERGII	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, NO CROSSING BRANCHES	X
	TD	TEXAS RED OAK / QUERCUS BUCKLEYI	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	CM	CADDO MAPLE / ACER SACCHARUM 'CADDO'	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	BC	BALD CYPRESS / TAXODIUM DISTICHUM	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
SHRUBS / GRASSES							
NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL PER SPECIFICATIONS. NOTE: SIZES AND SPECIES LISTED ARE REQUIRED BY ROCKWALL UDC.							
	AS	AUTUMN SAGE / SALVIA GREGGII	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	GCM	GULF COAST MUHLY / MUHLENBERGIA CAPILLARIS 'GULF COAST - REGAL MIST'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C., 0.18 PLANTS / SF		X
	HDS	HENRY DUELBURG SAGE / SALVIA PARVIFLORA 'HENRY DUELBURG'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	LM	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C., 0.12 PLANTS / SF		X
	ISO	INLAND SEA OATS / CHASMANTHUM LATIFOLIUM	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	PS	PINK SKULLCAP / SCUTELLARIA SUFFRUTESCENS	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	YRY	YELLOW YUCCA / HESPERALOE PARVIFLORA 'YELLOW'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C., 0.18 PLANTS / SF		X
	RY	RED YUCCA / HESPERALOE PARVIFLORA	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	DYH	DWARF YALPON HOLLY / ILEX VOMITORIA 'NANA' VARIETY	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	KA	KALIDOSCOPE ABELIA / ABELIA X GRANDIFLORA 'KALIDOSCOPE'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	RCA	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	DBH	DWARF BURFORD HOLLY / ILEX CORNUTA 'DWARF BURFORD'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C., 0.12 PLANTS / SF, MIN. 24"		X
	TSG	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	3 GAL.	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C., 0.12 PLANTS / SF, MIN. 24" 'GREEN CLOUD'		X
	LS	BIG BLUE LIRIOPE / LIRIOPE MUCSARI 'BIG BLUE' (DEEP SHADE AT OVERHANGS OF BUILDING ON NORTH)	4" POT	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 12" O.C., 1.25 PLANTS / SF		X
GRASSES / TURF							
NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY. ALL DISTURBED AREAS TO BE GRASSED AND SOIL PREPARED PER SPECIFICATIONS. NOTE: SAMPLES / SUBMITTALS TO BE PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.							
	TURF	BERMUDA GRASS / CYNODON DACTYLON 'TIFFWAY 419'	SOD	SOLID SOD, REF. SPEC 329200			X

### SITE DATA

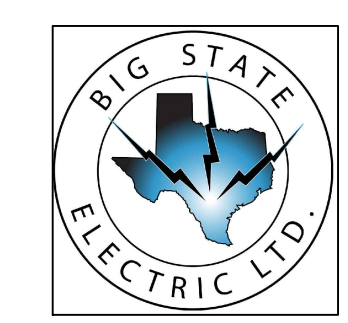
Site Address	Northwest Corner of Rockwall Parkway and FM 3097
Zoning/Existing Land Use	PD-9 - Planned Development, vacant
Proposed Use	Bank
Building	4,165.00 SF
Lot Area	1.20 Acres
	58,186.00 SF
Landscape / Open Space Area	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min. 18,535.00 SF 32% Provided
Pervious Area	18,535.00 SF
Impervious Area	39,651.00 SF
Parking Lot Landscaping	10' Buffer on 2' Berm (determine if allowed in utility easement along FM 3097)
Parking Spaces	18 (1 stall/300 SF)
Landscape Buffer - Street Trees	418.62 LF Frontage - trees restricted due to underground Utilities and Easements One (1) canopy tree and Three (3) accent trees at corner of lot provided
Tree Locations	One tree located min. 80' from parking spaces Trees set back min. 5' from head-in parking
Detention Pond Trees	2,700.00 SF +/- 4 One canopy tree per 750 SF 2 One accent tree per 1,500 SF
Visibility Triangles	As reflected on plan per the UDC
Irrigation	Shall meet all requirements per the UDC
Rights-of-Way & Landscape Buffers	Shall meet all requirements per the UDC - improved with grass (sod)

1 LANDSCAPE PLAN  
1" = 20'-0"



DATE: 12/17/2021

## LANDSCAPE PLAN



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX  
Voice (210)735-1051  
Web www.bigstateelectric.com  
Firm Reg. #F-16549

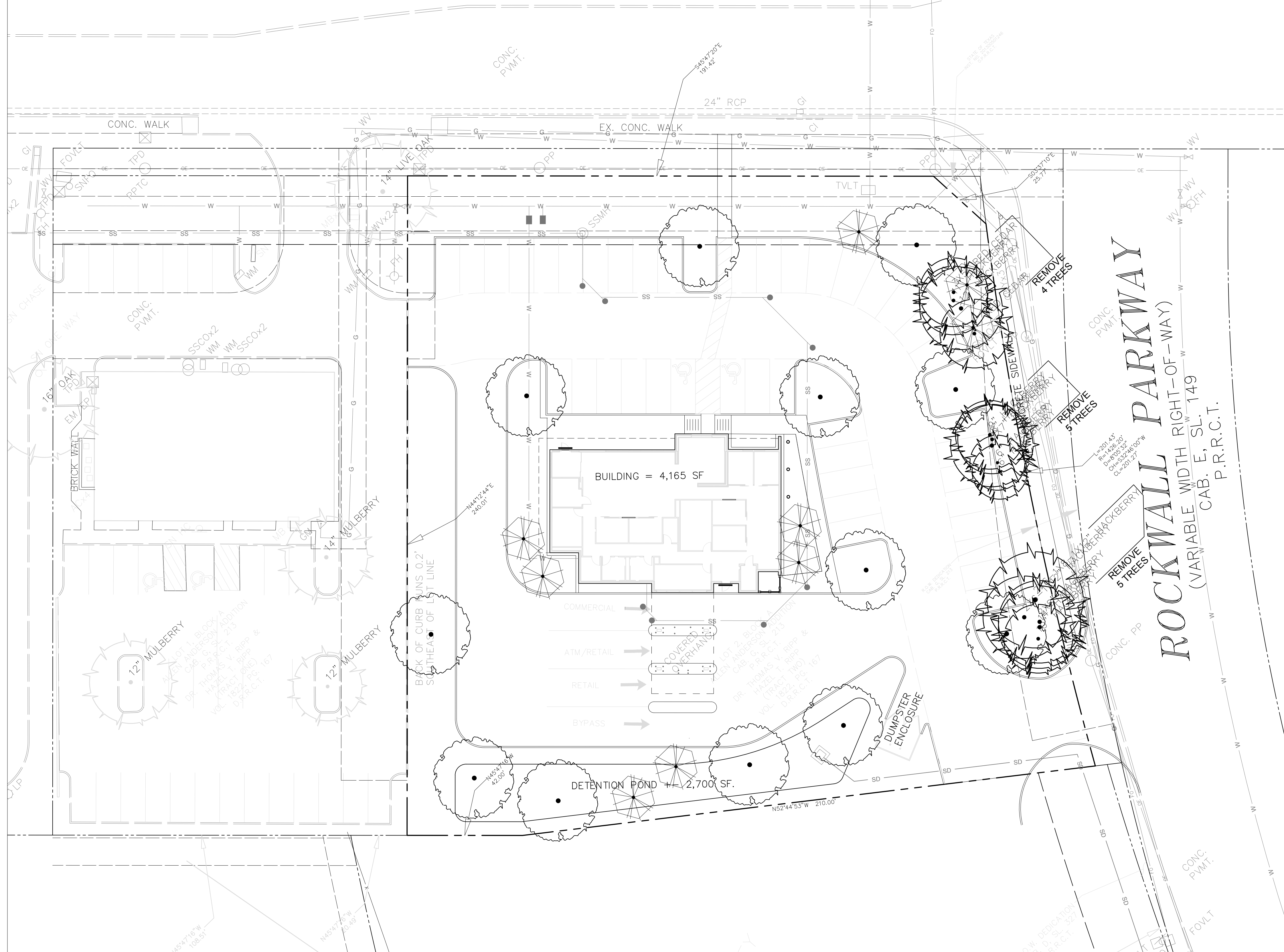


**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**L1**

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



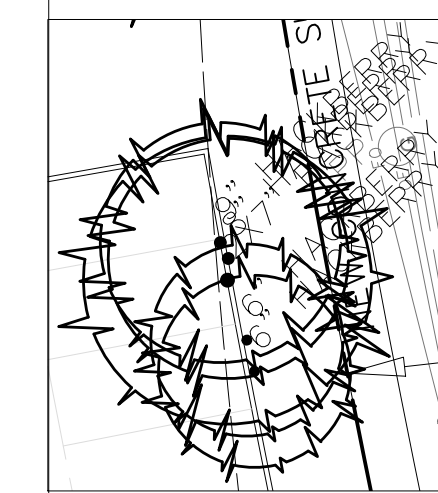
### TREE REMOVAL AND MITIGATION LIST - FROST BANK

Tree Number	Description	Trunk Diameters	Cal Inches	Protected	Removed	Type of Tree	Mitigation Ratio	Cal Inches to Mitigate	Cal Inches Removed	Note
1	HACKBERRY	10"	10	N	Y	Non	0	0.00	10.00	Remove
2	HACKBERRY	14"	14	Y	Y	Secondary	0.5:1	7.00	14.00	Remove
3	HACKBERRY (MT)	(2) 8"	12	Y	Y	Secondary	0.5:1	6.00	12.00	Remove
4	HACKBERRY (MT)	(2) 6", (1) 12"	18	Y	Y	Secondary	0.5:1	9.00	24.00	Remove
5	HACKBERRY (MT)	(2) 6", (1) 8", (1) 12"	22	Y	Y	Secondary	0.5:1	11.00	32.00	Remove
6	HACKBERRY	6"	6	Y	Y	Non	0	0.00	6.00	Remove
7	HACKBERRY	6"	6	Y	Y	Non	0	0.00	6.00	Remove
8	HACKBERRY (MT)	(2) 7"	10.5	Y	Y	Non	0	0.00	14.00	Remove
9	HACKBERRY	8"	8	Y	Y	Non	0	0.00	8.00	Remove
10	HACKBERRY	9"	9	Y	Y	Non	0	0.00	9.00	Remove
11	RED CEDAR	7"	7	Y	Y	Non	0	0.00	7.00	Remove
12	HACKBERRY	12"	12	Y	Y	Secondary	0.5:1	6.00	12.00	Remove
13	HACKBERRY	11"	11	Y	Y	Secondary	0.5:1	5.50	11.00	Remove
14	RED CEDAR (MT)	(3) 5"	10	Y	Y	Non	0	0.00	10.00	Remove
<b>TOTALS:</b>			<b>0</b>	<b>155.5</b>				<b>44.50</b>	<b>175.00</b>	

Tree Classifications	Ratio	Ratio	Fee Per Caliper Inch	
Primary	1.0:1	1.0:1	\$579	Trees 4" to 25"
Secondary Tree	0.5:1	0.5:1	\$290	Hackberry and Cedar 11" to 25"
Featured Tree	2.0:1	2.0:1	\$193	All trees greater than 25"
Non-Protected Tree	0	0	\$135	Any tree less than 4" to 11" for Hackberry and Cedar

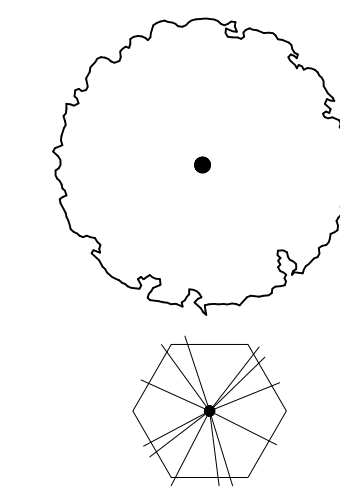
Non-protected Species: All Bois d'Arc, Willow, Cottonwood, Locust and Chinaberry, and Hackberry and Red Cedar trees less than 11" shall be considered non-protected trees and do not require mitigation to be removed.  
Mitigation shall be provided with 4" caliper x min. 7' height trees from the Reclamation/Tree Preservation List. PROVIDE: Minimum of Twelve (12) trees at 4" DBH shall be planted on the site for total of 48".

### EXISTING TREE LEGEND



EXISTING TREES ON SITE TO BE REMOVED

### TREE REPLACEMENT LEGEND

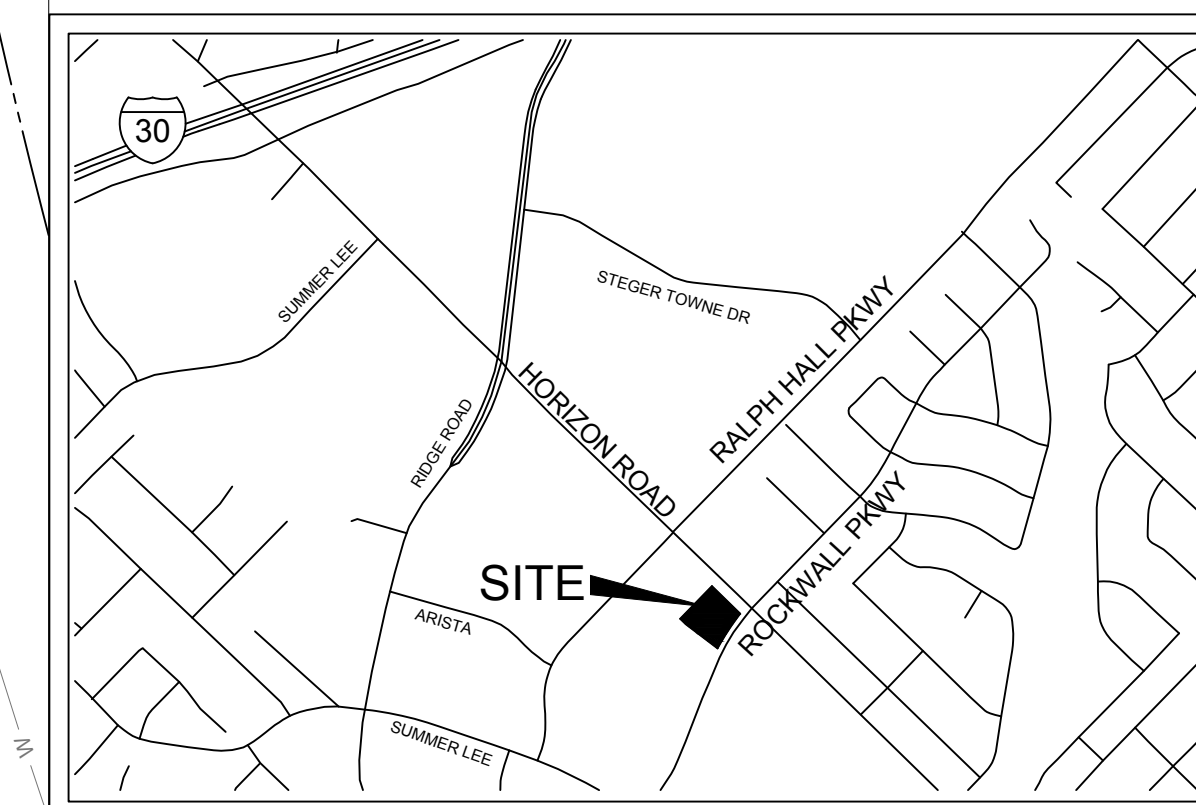


CANOPY TREE - FINAL QUANTITY PENDING UTILITY CONFLICTS

ACCENT TREE - FINAL QUANTITY PENDING

### SITE DATA

<b>Site Address</b>	Northwest Corner of Rockwall Parkway and FM 3097
<b>Zoning/Existing Land Use</b>	PD-9 - Planned Development, vacant
<b>Proposed Use</b>	Bank
<b>Building</b>	4,165.00 SF
<b>Lot Area</b>	1.20 Acres
<b>Landscape / Open Space Area</b>	58,186.00 SF
	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min.
	18,535.00 SF 32% Provided
<b>Pervious Area</b>	18,535.00 SF
<b>Impervious Area</b>	39,651.00 SF
<b>Parking Lot Landscaping</b>	10' Buffer on 2' Berm (determine if allowed in utility easement along FM 3097)
<b>Parking Spaces</b>	18 (1 stall/300 SF)
<b>Landscape Buffer - Street Trees</b>	418.62 LF Frontage - trees restricted due to underground Utilities and Easements
	One (1) canopy tree and Three (3) accent trees at corner of lot provided
<b>Tree Locations</b>	One tree located min. 80' from parking spaces
	Trees set back min. 5' from head-in parking
<b>Detention Pond Trees</b>	2,700.00 SF +
	4 One canopy tree per 750 SF
	2 One accent tree per 1,500 SF
<b>Visibility Triangles</b>	As reflected on plan per the UDC
<b>Irrigation</b>	Shall meet all requirements per the UDC
<b>Rights-of-Way &amp; Landscape Buffers</b>	Shall meet all requirements per the UDC - improved with grass (sod)

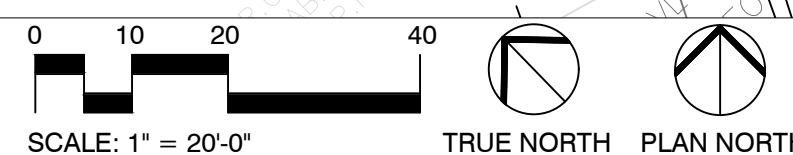


VICINITY MAP  
NOT TO SCALE

DATE: 12/17/2021

### 1 TREESCAPE PLAN

1" = 20'-0"



### TREESCAPE PLAN

**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210) 735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549

**CCA LANDSCAPE ARCHITECTS**

**WIA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS

**Hahnfeld Hoffer Stanford** architects planners interiors

**Frost**

**FROST BANK  
ROCKWALL FINANCIAL CENTER**

**T1**



ROCKWALL

ROCKWAL PKWY  
ROCKWALL, TX US 75032

EXTERIOR SIGNAGE

12.16.2021

21OP5428



*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown are as close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWALL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
 21OP5428

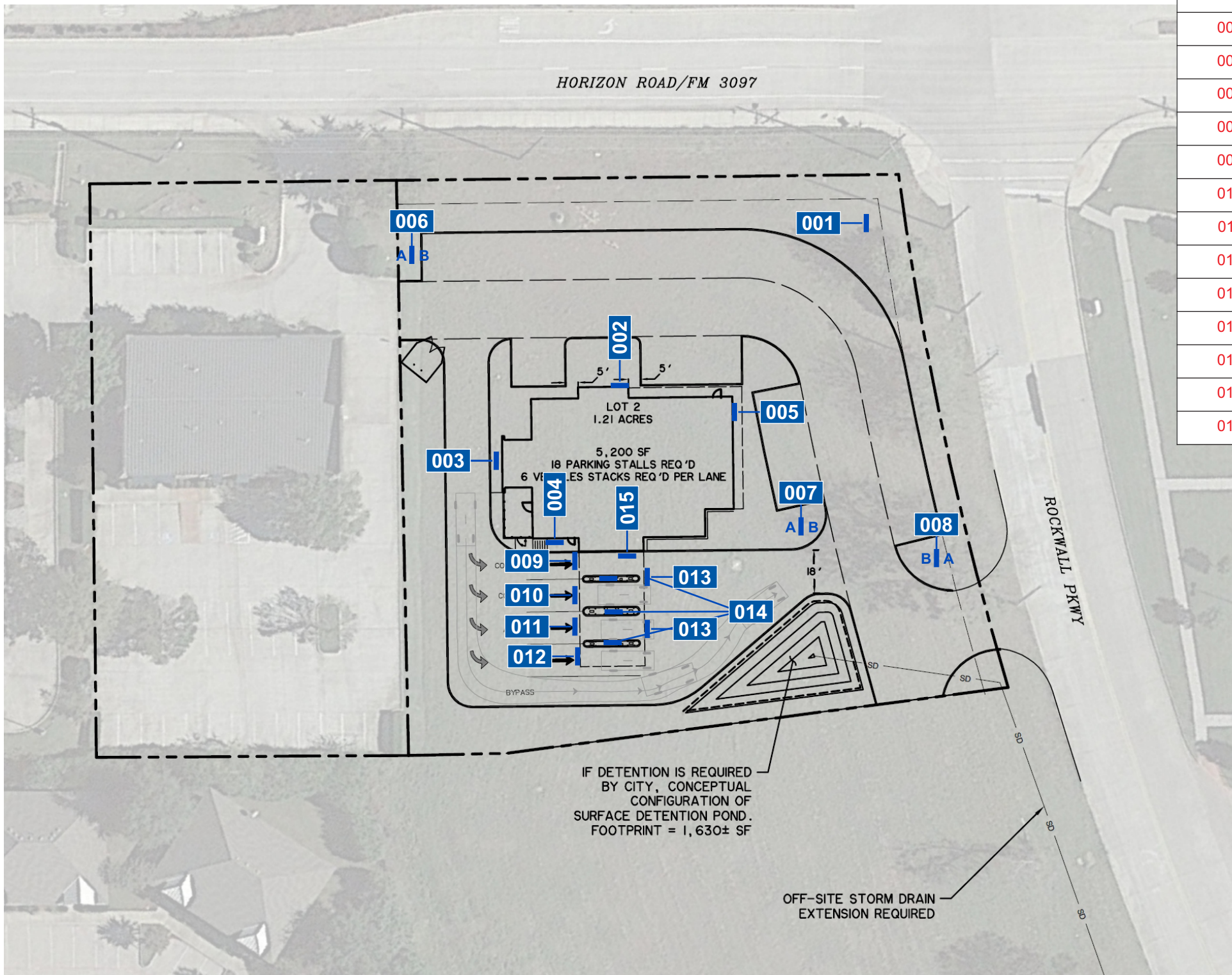
REVISION	DATE

**APPROVAL DATE -**

**APPROVED BY -**

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

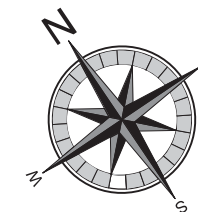
LOCATION	SIGN TYPE	QTY	ITEM DESCRIPTION
001	PL.20	1	ILLUMINATED PYLON SIGN
002	ICL.30	1	ILLUMINATED CHANNEL LETTERS
003	ICL.24	1	ILLUMINATED CHANNEL LETTERS
004	ICL.30	1	ILLUMINATED CHANNEL LETTERS
005	ICL.30	1	ILLUMINATED CHANNEL LETTERS
006	DS.01	1	DIRECTIONAL SIGN
007	DS.01	1	DIRECTIONAL SIGN
008	DS.01	1	DIRECTIONAL SIGN
009	LD.01	1	LANE DESIGNATOR COMMERCIAL
010	LD.01	1	LANE DESIGNATOR COMMERCIAL
011	LD.01	1	LANE DESIGNATOR ATM/PERSONAL
012	LD.01	1	LANE DESIGNATOR PERSONAL
013	LD.02	2	LANE DESIGNATOR DO NOT ENTER
014	DSS.01	3	DEPOSIT SLIP STAND
015	DSB.01	1	DEPOSIT SLIP BOX
016	PS.01	1	PARKING SIGN W/ VAN
017	PS.01	1	PARKING SIGN



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



1. FABRICATED ALUMINUM SIGN CABINET  
PAINTED SOLID COLOR TO MATCH STONE  
AKZO NOBEL COLORMAP 422A2.

2. FABRICATED ALUMINUM CLADDING  
PAINTED AKZO NOBELCOLORMAP 422A2.

3. SANDED 3/16" CLEAR FACE. 1/4" INSET  
EDGE TO BE ILLUMINATED. 1ST SURFACED  
APPLIED PERFORATED VINYL W/ 2ND  
SURFACE APPLIED 70% WHITE DIFFUSER.  
3" DEEP CHANNEL LETTERS. .063 ALUM.  
RETURNS PAINTED TO MATCH  
PMS 540C BLUE. RETAINING BAND SIZE TO  
BE PROPORTIONAL TO LETTERS SIZE

4. ALUMINUM TRIM PAINTED MED FROST  
BEIGE SW6107 NOMADIC DESERT

5. 4" CONCRETE PAD

**\*\*RETAILORED LOGO**

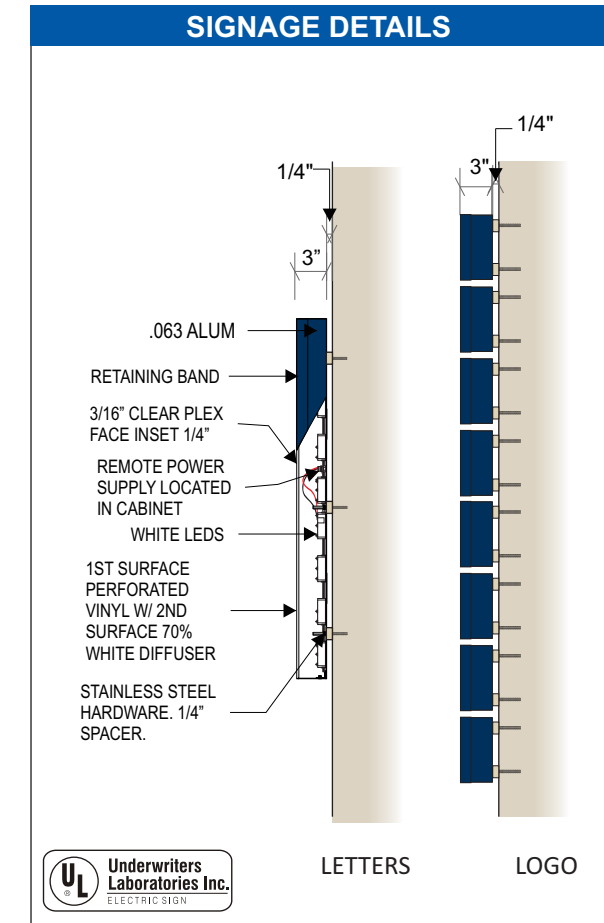
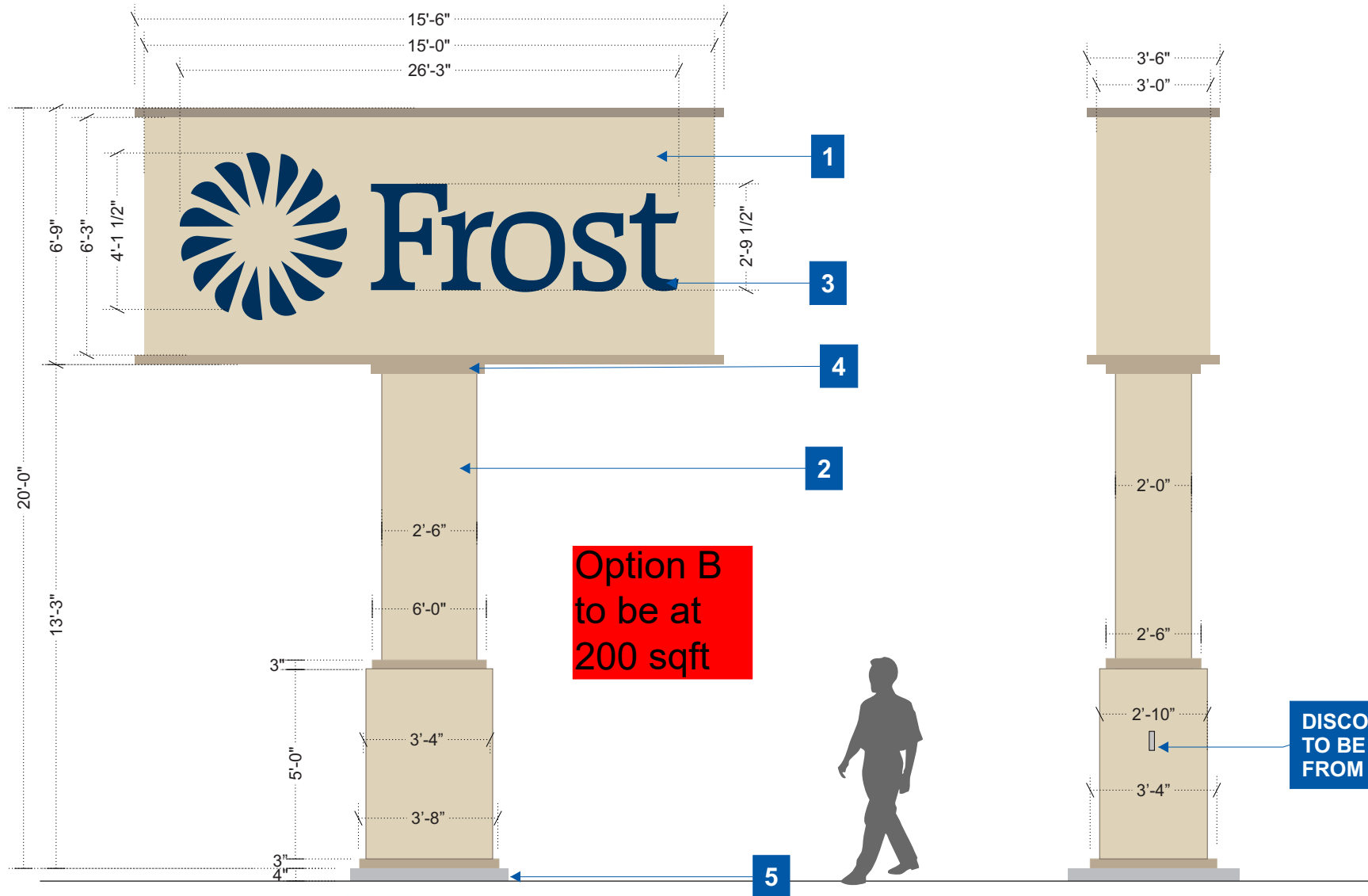
**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
21OP5428

REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



**001** PL.20 - ILLUMINATED PYLON  
SCALE: 1/4" = 1'      100 SQ. FT.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

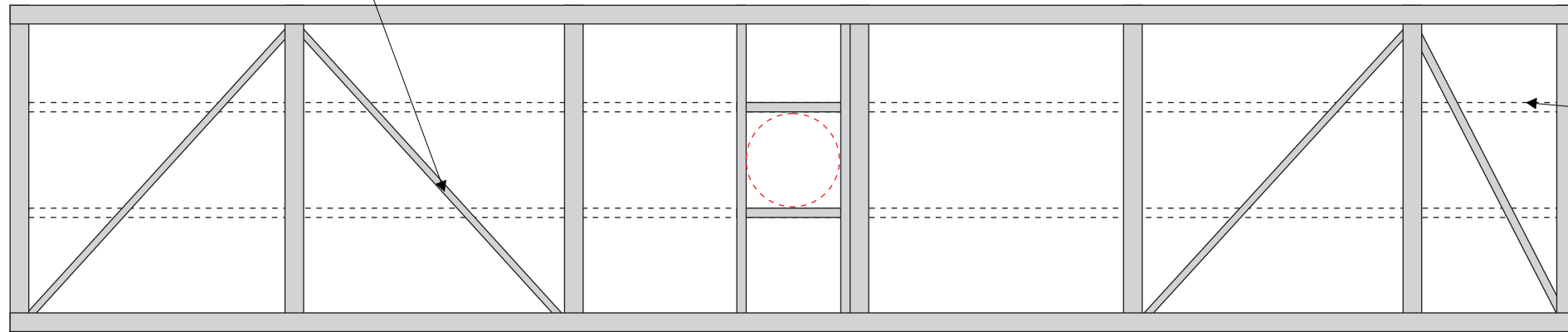
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V2 - 3M SCOTCHCAL TO MATCH PMS540C
- V5 - DIFFUSER 70% WHITE
- P2 - PAINT TO MATCH COLOR A AKZO NOBEL 422A2
- P4 - PAINT TO MATCH COLOR B SW6107 NOMADIC DESERT

**PYLON FRAME DETAIL**

2" x 2" x .187" ALUMINUM JACK BRACES



SAG BRACES

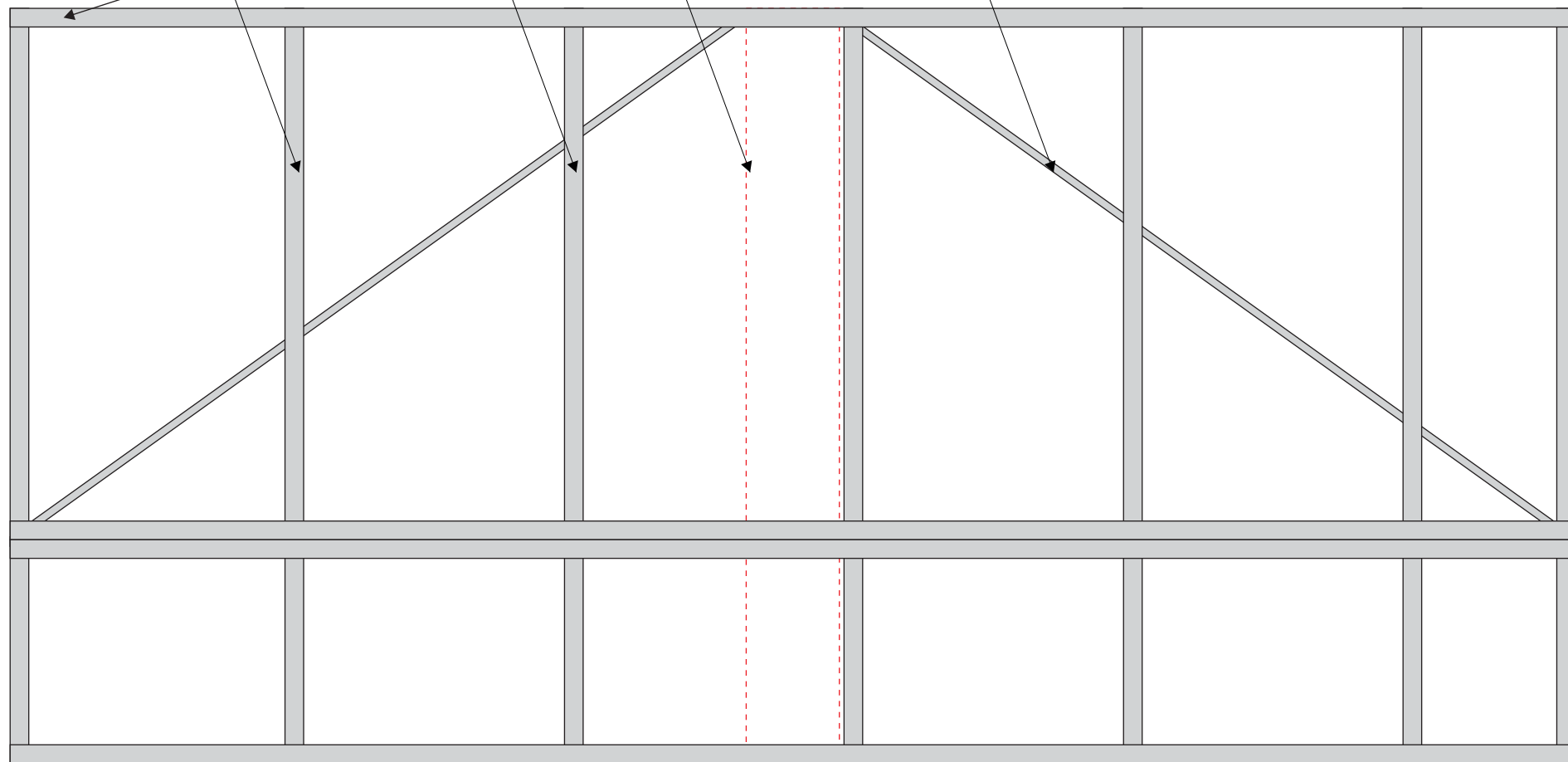
**TOP ELEVATION**

4" X 4" X .25" ALUMINUM ANGLE

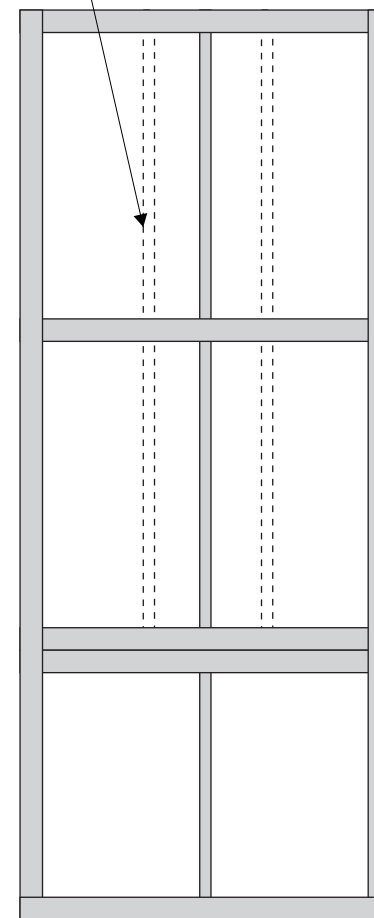
4" X 4" X .25" ALUMINUM ANGLE

2" x 2" x .187" ALUMINUM SADDLE

SAG BRACES  
2" X 2" X .187" STEEL



SAG BRACES



**FRONT ELEVATION**

**SIDE ELEVATION**

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
 \_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
 21OP5428

REVISION	DATE

**APPROVAL DATE -**

**APPROVED BY -**

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



LOGO AND LETTERS:

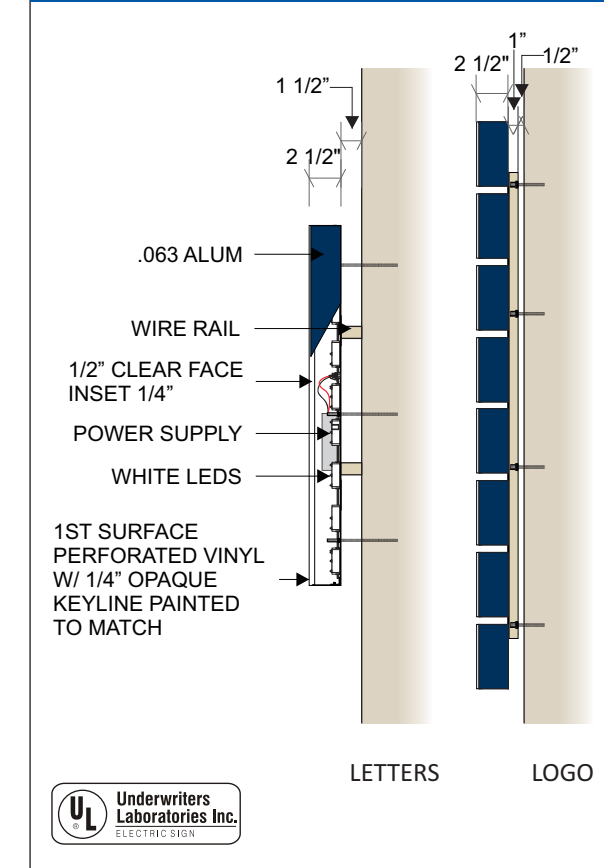
FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING

CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 21OP5428

SIGNAGE DETAILS



**ELECTRICAL NOTE**  
 ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR



- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR

WWW.SSCSIGNS.COM

REVISION DATE

APPROVAL DATE -

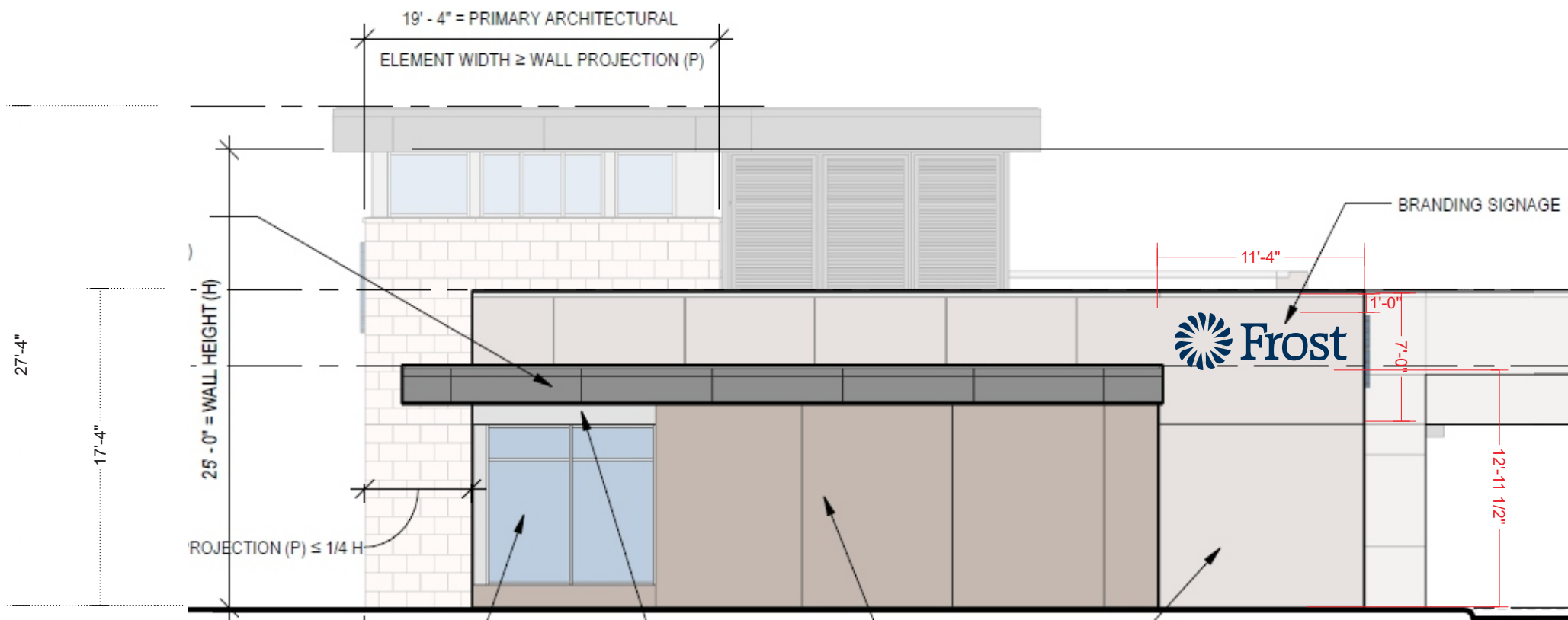
APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

ICL.24 - ILLUMINATED CHANNEL LETTERS - WEST ELEVATION



**003** ICL.24 - ILLUMINATED CHANNEL LETTERS  
 SCALE: 1/2" = 1' - QTY 1 29 SQ FT.



**PROPOSED CONDITIONS - WEST ELEVATION**  
 SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
 WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
 PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

SIGN SCHEDULE

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 21OP5428

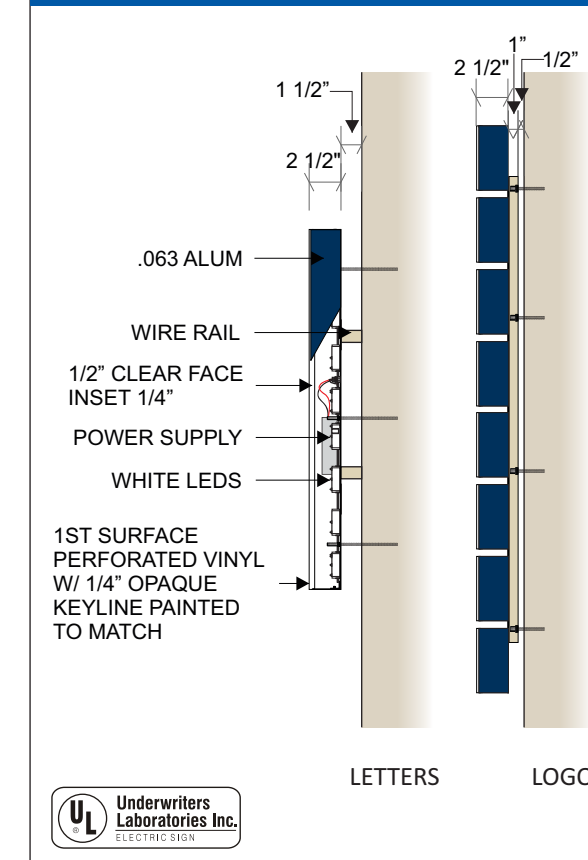
REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

SIGNAGE DETAILS



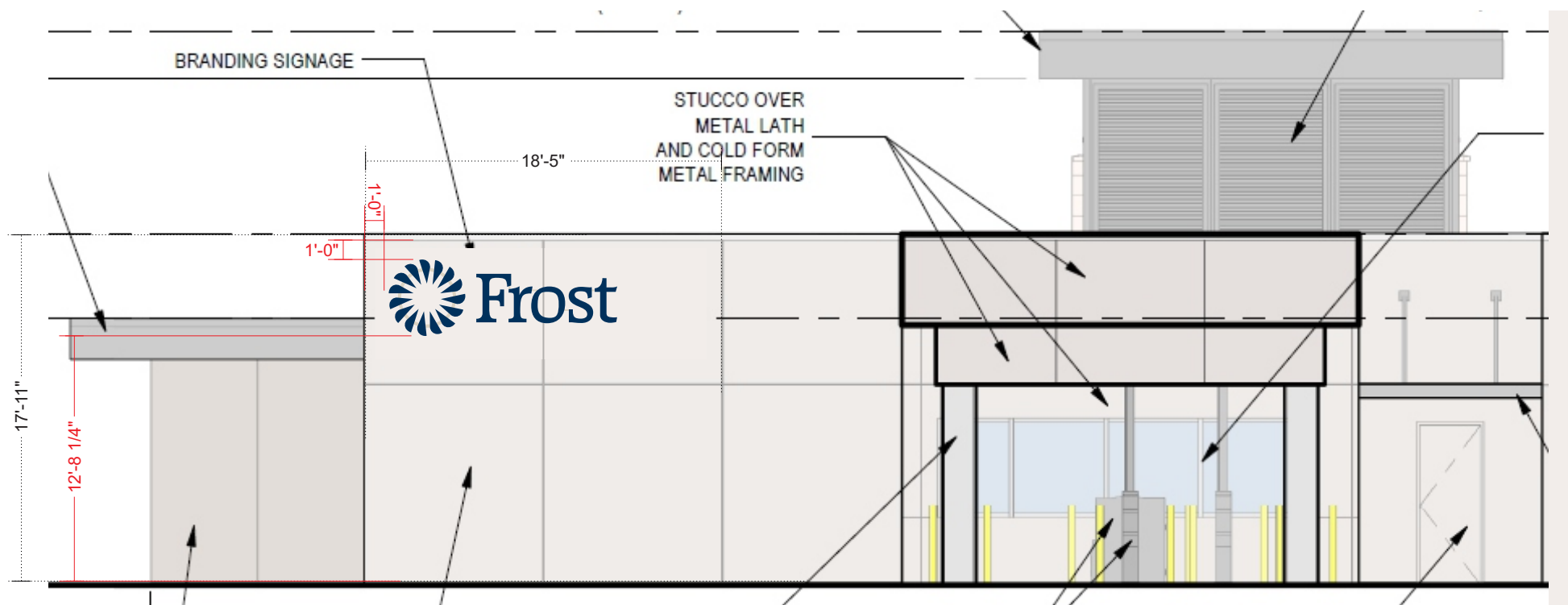
**ELECTRICAL NOTE**  
 ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR

ICL.30 - ILLUMINATED CHANNEL LETTERS - SOUTH ELEVATION



**004** ICL.30 - ILLUMINATED CHANNEL LETTERS  
 SCALE: 1/2" = 1' - QTY 1 34 SQ FT.



PROPOSED CONDITIONS - SOUTH ELEVATION

SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

SIGN SCHEDULE

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 21OP5428

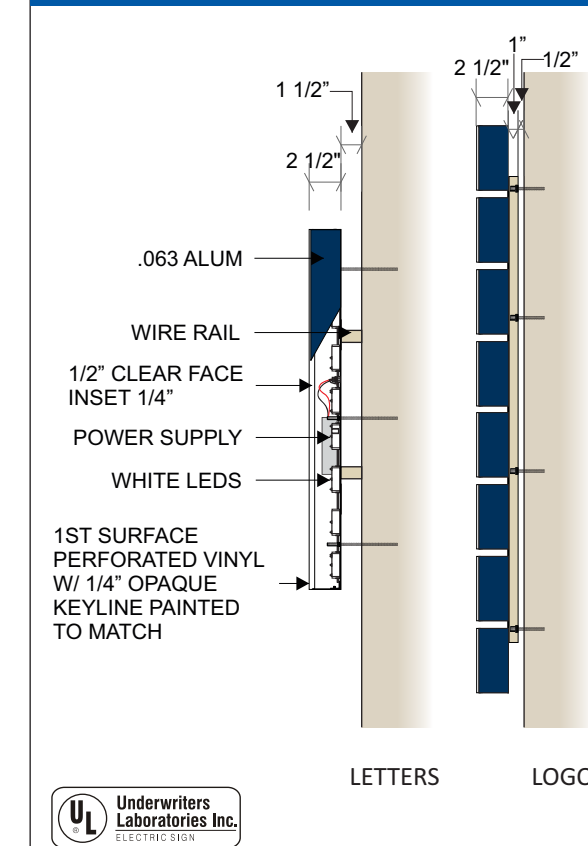
REVISION      DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

SIGNAGE DETAILS



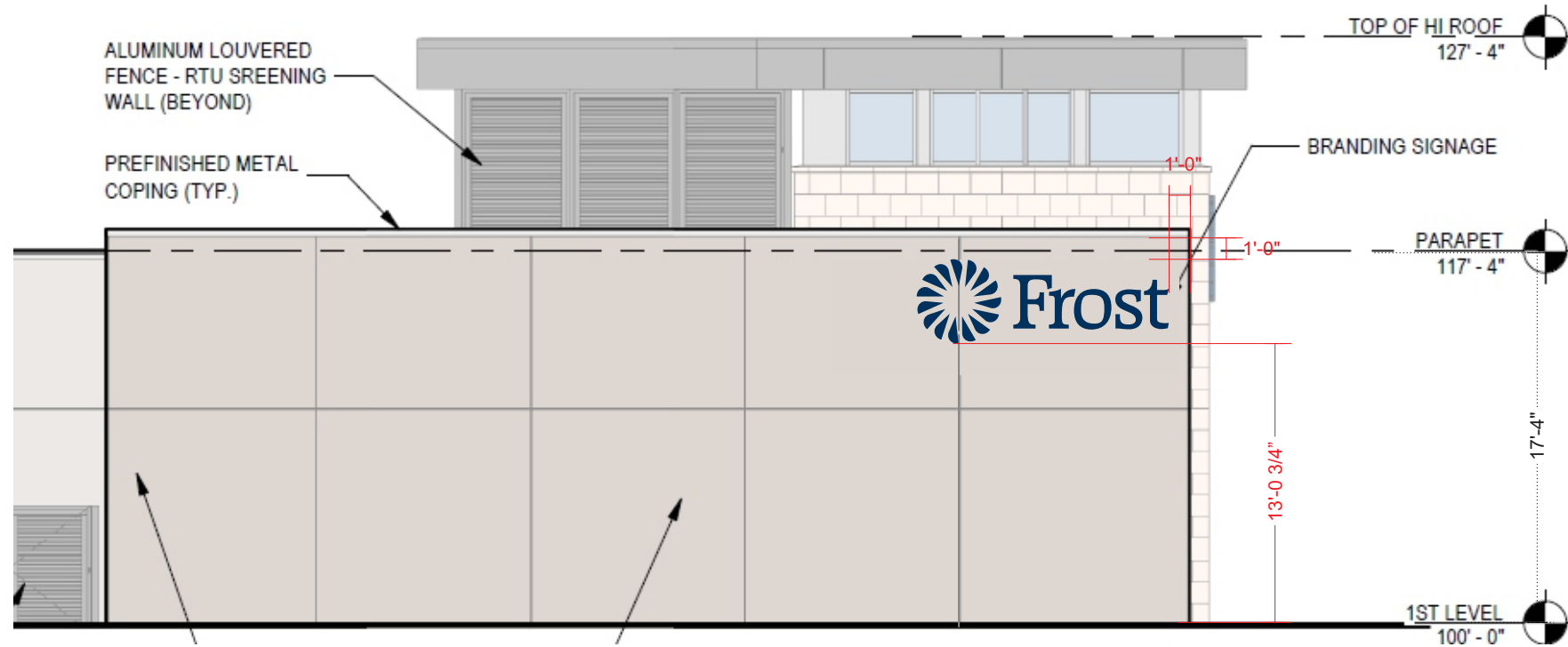
ELECTRICAL NOTE

ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR



**005** ICL.30 - ILLUMINATED CHANNEL LETTERS  
 SCALE: 1/2" = 1' - QTY 1 34 SQ. FT.



**PROPOSED CONDITIONS - EAST ELEVATION**  
 SCALE: 1/8" = 1'

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR FACE. 1/4" INSET.  
 FACE FINISH: 3635-210 PMS540C / 1/4" PMS 540C OUTLINE - OPQ  
 RETURN MATERIAL: .063 ALUMINUM  
 RETURN FINISH: PAINT TO MATCH PMS540 C  
 RETURN DEPTH: 2 1/2"  
 SPACED OFF WALL: RACE WAY LOGO- 1/2"  
 FROST- 1 1/2" PTM BUILDING EXTRIOR  
 BACK MATERIAL: .090 ALUMINUM  
 INTERNAL ILLUMINATION: WHITE LED'S

\*RETAILORED LOGO

\*RAILWAYS TO MATCH EXTERIOR OF BUILDING



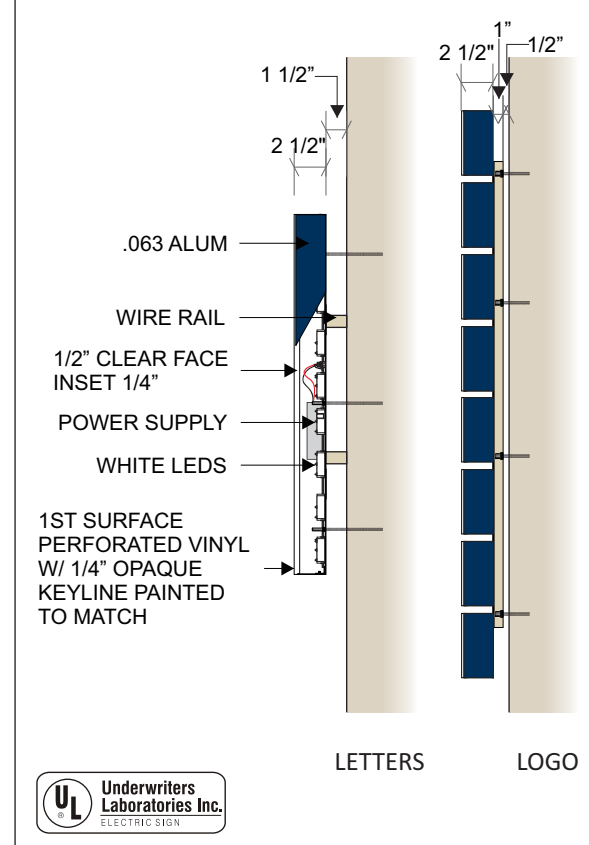
CLIENT  
 FROST  
 ROCKWALL  
 ADDRESS  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
 DATE 12.16.2021  
 DESIGNER - RSH  
 DRAWING NO.  
 210P5428

REVISION	DATE

APPROVAL DATE -  
 APPROVED BY -

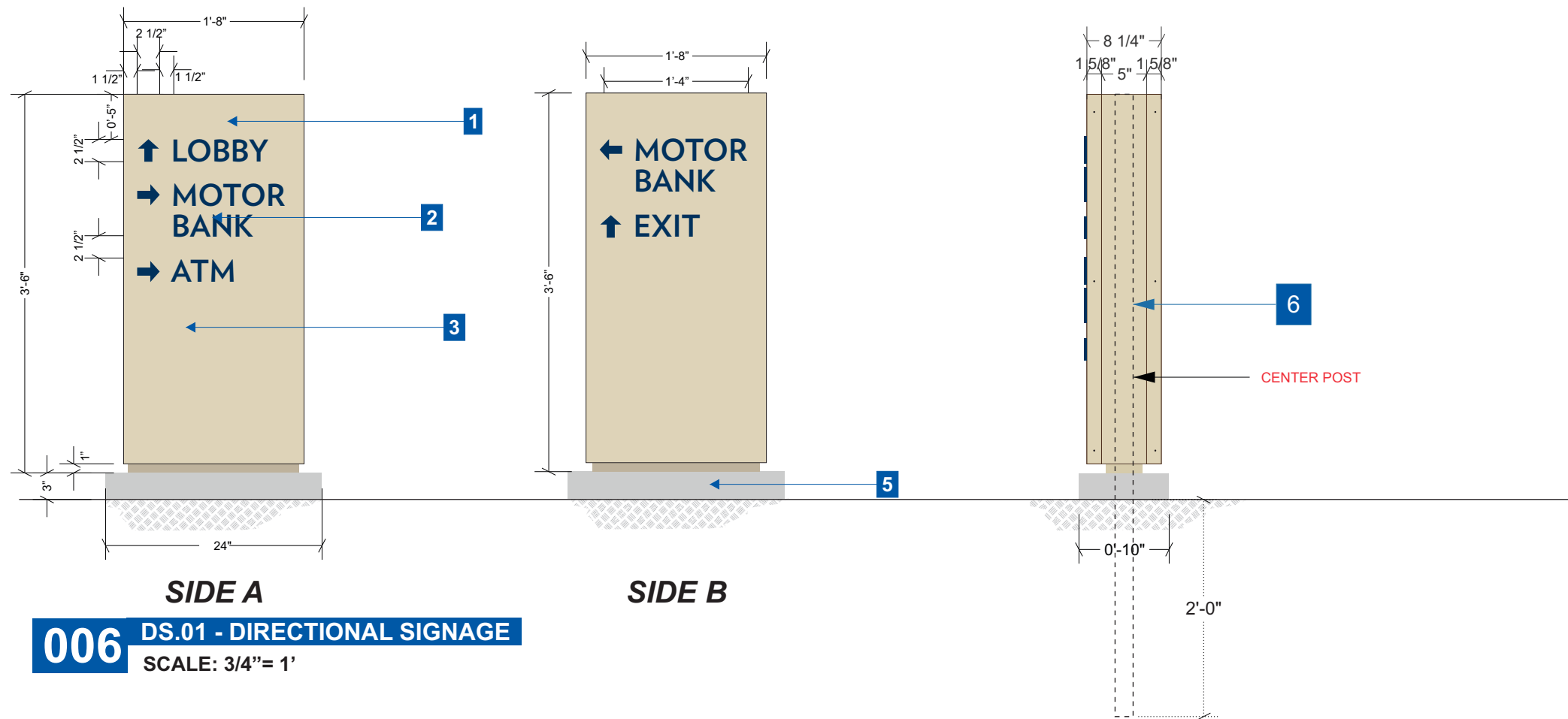
*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

SIGNAGE DETAILS



**ELECTRICAL NOTE**  
 ELECTRICAL BY OTHERS

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V4 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- PAINT TO MATCH BUILDING EXTRIOR



**006** DS.01 - DIRECTIONAL SIGNAGE  
SCALE: 3/4" = 1'

1. FABRICATED ALUMINUM CABINET W/ EMS 24-63-215 SIGN FRAME & EMS 24-63-216 SIGN RETAINER. BASE REVEAL TRIM TO BE .125" ALUMINUM .CABINET TO BE PAINTED AKZO NOBLE COLORMAP 422A2.

2. 1/2" PUSHED THRU ACRYLIC PAINTED TO MATCH PMS 540C BLUE.

FONT: VERLAG BOLD

3. .125 ROUTED ALUMINUM FACES PAINTED AKZO NOBEL COLORMAP 422A2

4. "STOP SIGN"/"DO NOT ENTER" DIGITAL PRINTED TO 3M REFLECTIVE.

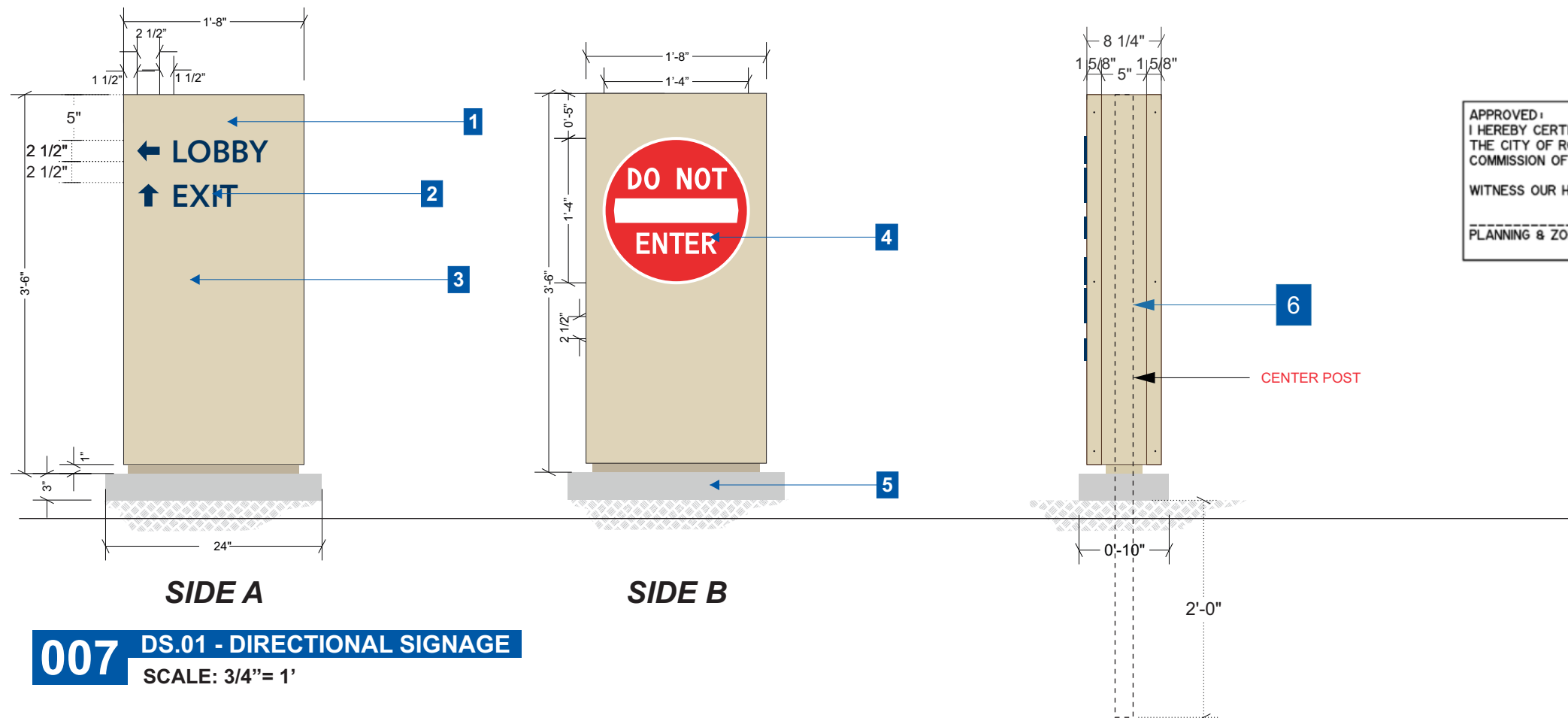
5. NEW CONCRETE PAD

6. CENTER POST IS 2" X 2" X 70" ALUMINUM SQ. TUBE

**\*CABINET TO BE SCREWED TO CENTER POLE**

**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER** - RSH  
**DRAWING NO.**  
210P5428

REVISION	DATE



**007** DS.01 - DIRECTIONAL SIGNAGE  
SCALE: 3/4" = 1'

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_\_, \_\_\_\_\_.  
\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

- V5 - VINYL - DG REFLECTIVE SHEETING 4090DS
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

1. FABRICATED ALUMINUM CABINET W/ EMS 24-63-215 SIGN FRAME & EMS 24-63-216 SIGN RETAINER. BASE REVEAL TRIM TO BE .125" ALUMINUM .CABINET TO BE PAINTED AKZO NOBLE COLORMAP 422A2.

2. 1/2" PUSHED THRU ACRYLIC PAINTED TO MATCH PMS 540C BLUE.

FONT: VERLAG BOLD

3. .125 ROUTED ALUMINUM FACES PAINTED AKZO NOBEL COLORMAP 422A2

4. "STOP SIGN"/"DO NOT ENTER" DIGITAL PRINTED TO 3M REFLECTIVE.

5. NEW CONCRETE PAD

6. CENTER POST IS 2" X 2" X 70" ALUMINUM SQ. TUBE

**\*CABINET TO BE SCREWED TO CENTER POLE**

CLIENT

FROST  
ROCKWALL

ADDRESS

ROCKWAL PKWY  
ROCKWALL, TX US 75032

DATE 12.16.2021

DESIGNER - RSH

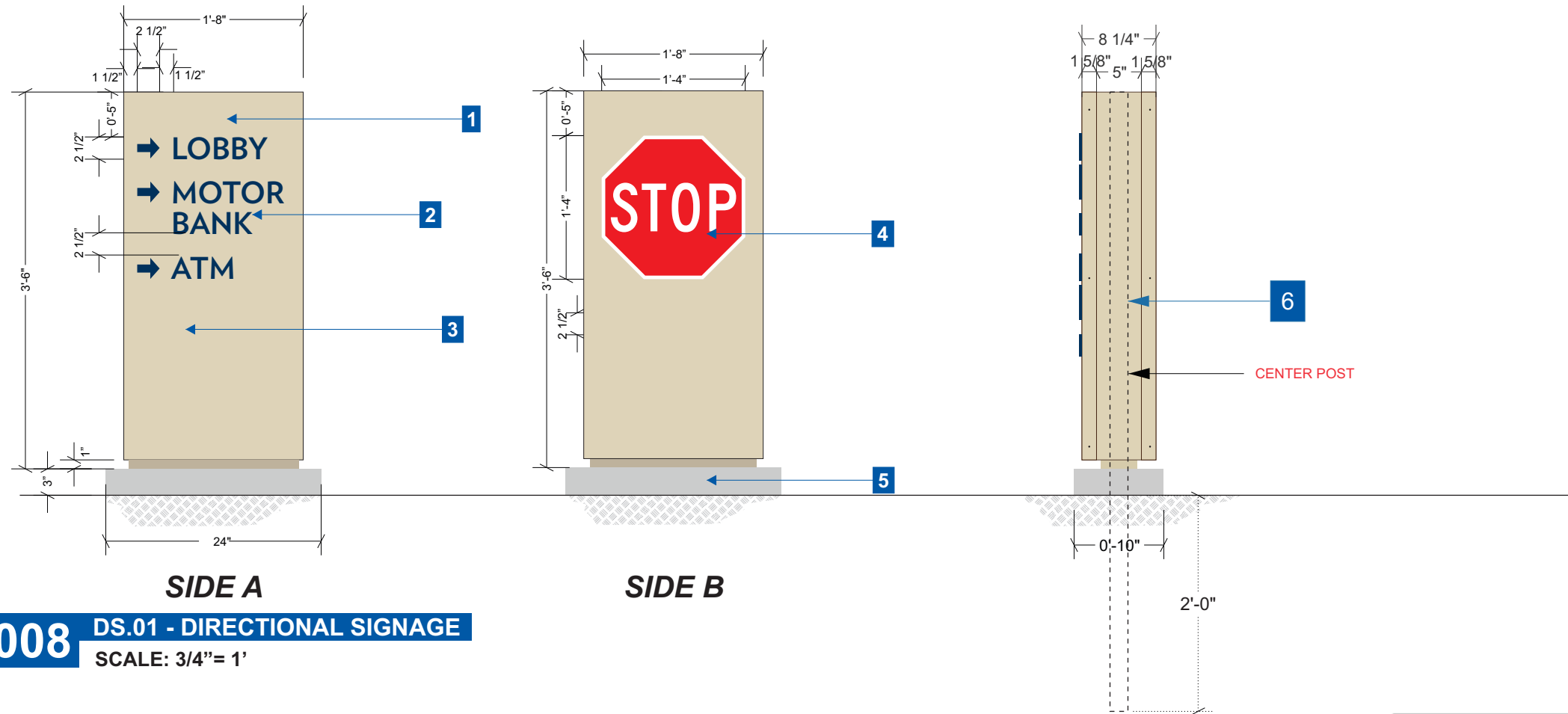
DRAWING NO.

210P5428

REVISION	DATE

APPROVAL DATE -

APPROVED BY -



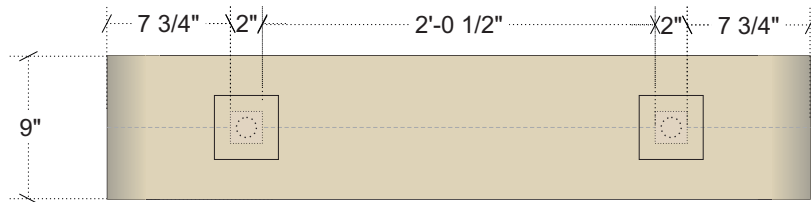
**008** DS.01 - DIRECTIONAL SIGNAGE  
SCALE: 3/4" = 1'

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_, \_\_\_\_\_.  
\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN                      DIRECTOR OF PLANNING AND ZONING

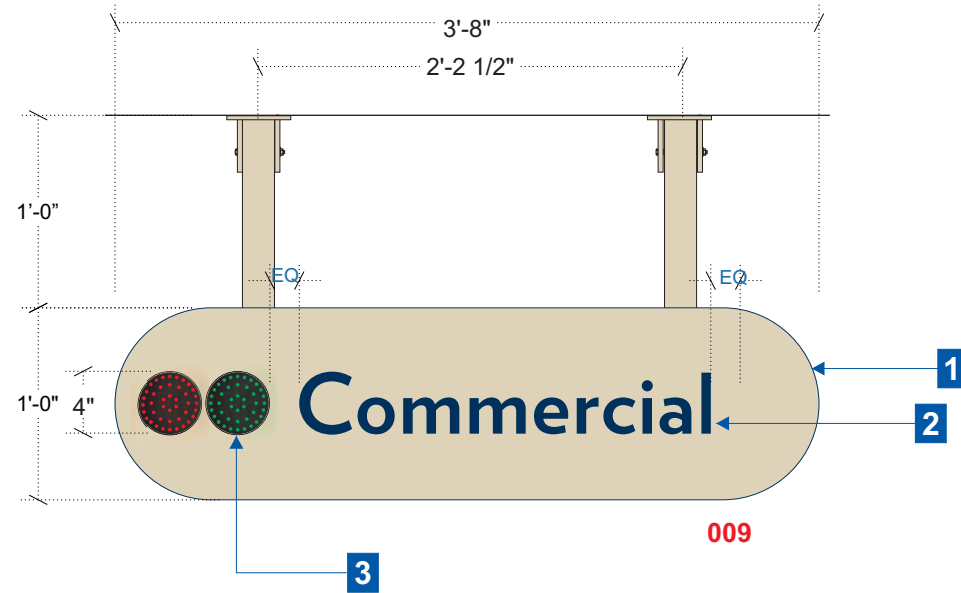
- V5 - VINYL - DG REFLECTIVE SHEETING 4090DS
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

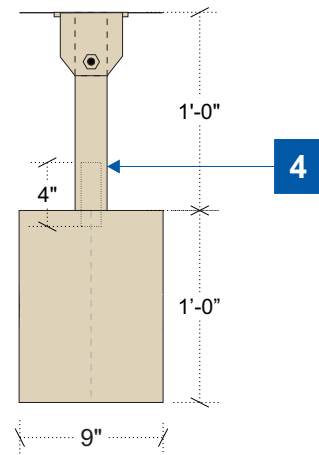
**LD.01 - LANE DESIGNATOR - WEST ELEVATION**



**A TOP DETAIL**  
SCALE: 1" = 1'

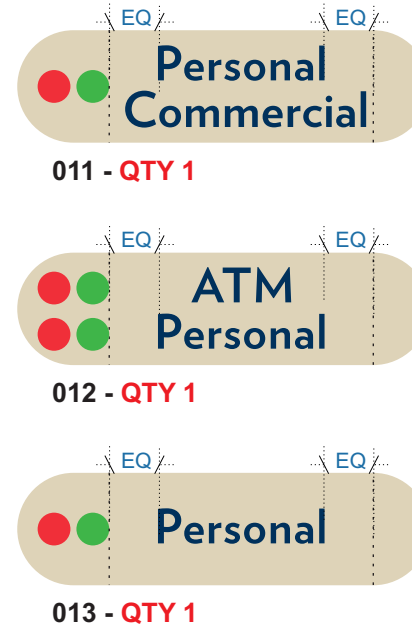


**009-012 LD.01 - LANE DESIGNATORS**  
SCALE: 1" = 1' - QTY: 4



**B SIDE DETAIL**  
SCALE: 1" = 1'

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



**SPECIFICATIONS**

1. ALUMINUM SIGN CABINET PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE
2. ROUTED ALUMINUM FACE PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE. BACKED UP WHITE PLEX COPY W/ APPLIED 3M SCOTCHCAL 3635-210 PMS540C
3. 1 SIGNS RED & GREEN LED LIGHT INDICATORS
4. 2"x 2" ALUMINUM TUBE ABLE TO BE CUT IN FIELD TO FIT FOR INSTALLATION WITH MOUNTED TO CABINET WITH 1 1/4" ALUMINUM PIPE WITH MECHANICAL FASTENERS

FONT: VERLAG BOLD



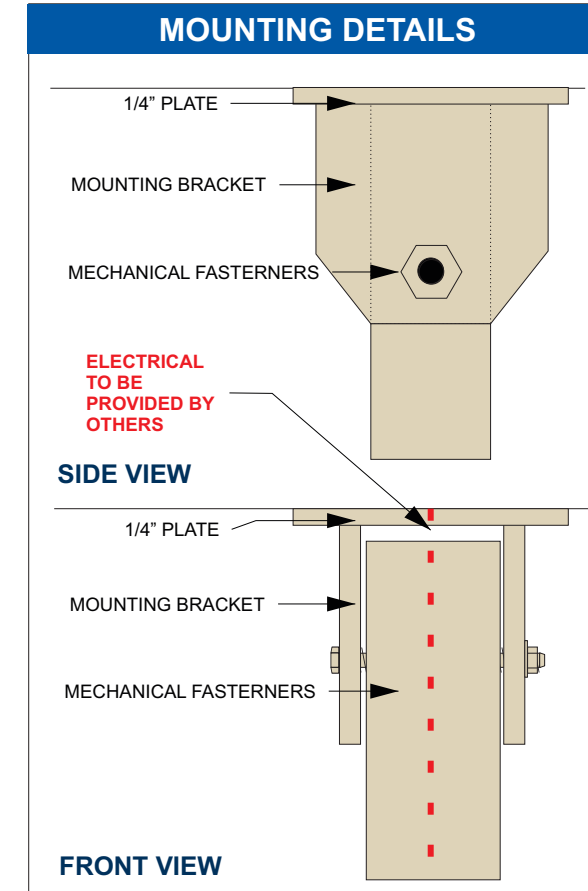
**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
21OP5428

REVISION	DATE

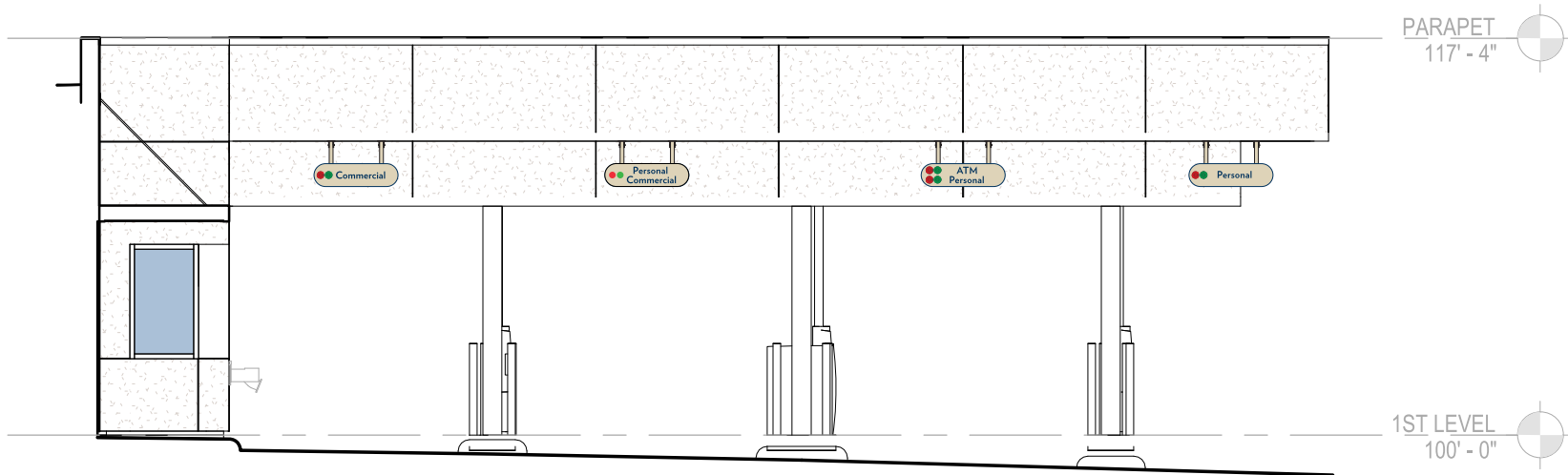
APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

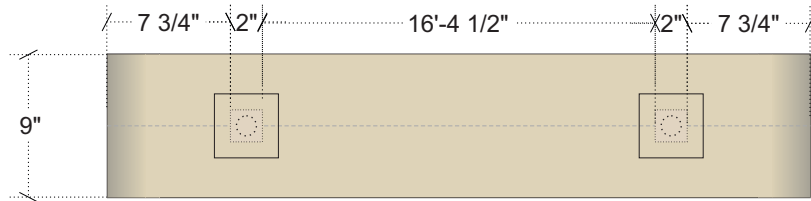


- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

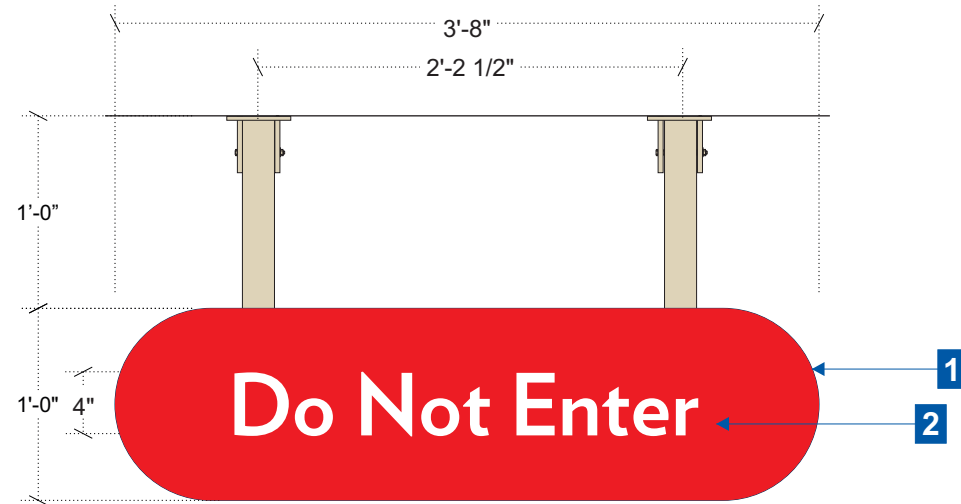


**PROPOSED CONDITIONS - WEST ELEVATION**  
SCALE: 1/8" = 1'

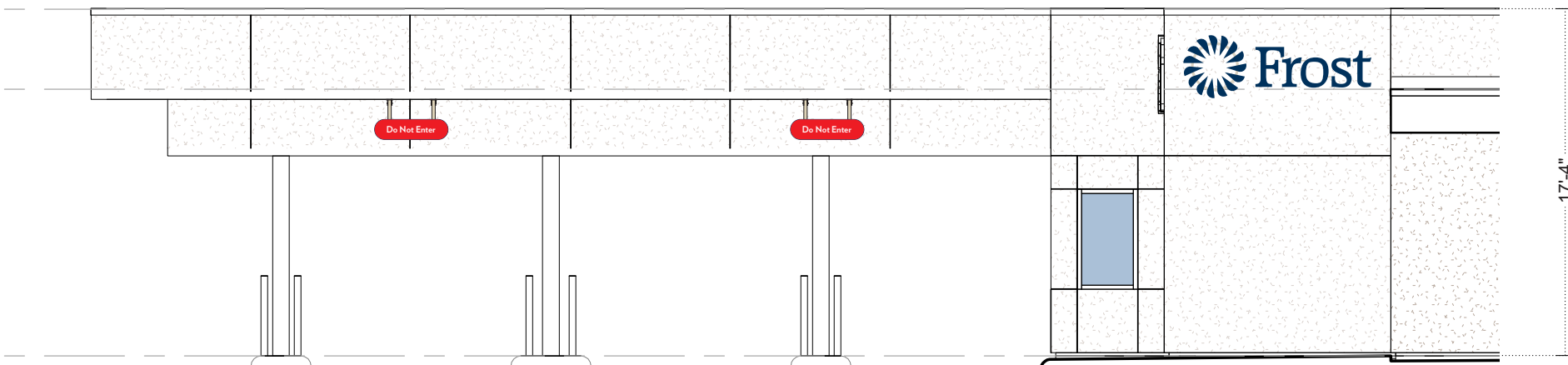
**LD.02 - LANE DESIGNATOR**



**A TOP DETAIL**  
SCALE: 1" = 1'



**013 LD.02 - LANE DESIGNATORS**  
SCALE: 1" = 1' - QTY: 2



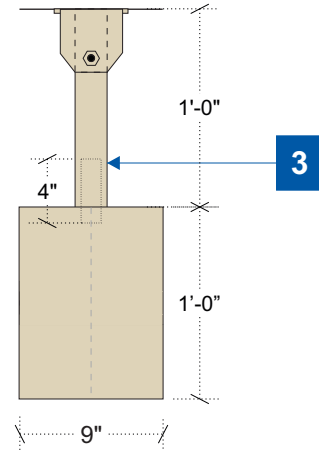
**PROPOSED CONDITIONS - EAST ELEVATION**  
SCALE: 1/8" = 1'

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

\_\_\_\_\_  
PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING



**B SIDE DETAIL**  
SCALE: 1" = 1'

**SPECIFICATIONS**

1. ALUMINUM SIGN CABINET PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE

2. ROUTED ALUMINUM FACE PAINTED TO MATCH CARDINAL RED. BACKED UP WHITE PLEX COPY W/ APPLIED PERF VINYL TO MATCH WHITE

FONT: VERLAG BOLD

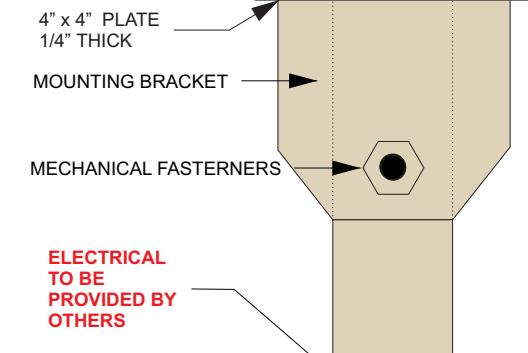
3.2"x 2" ALUMINUM TUBE ABLE TO BE CUT IN FIELD TO FIT FOR INSTALLATION WITH MOUNTED TO CABINET WITH 1 1/4" ALUMINUM PIPE WITH MECHANICAL FASTENERS



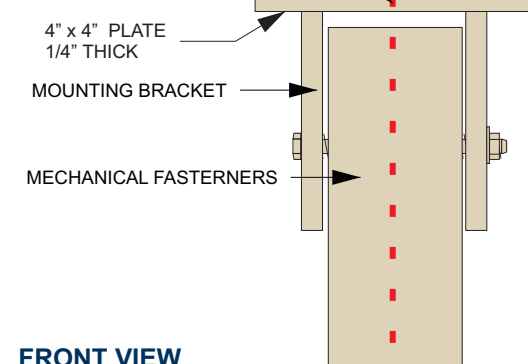
**CLIENT**  
FROST  
ROCKWALL  
**ADDRESS**  
ROCKWAL PKWY  
ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER - RSH**  
**DRAWING NO.**  
21OP5428

**REVISION**      **DATE**

**MOUNTING DETAILS**



**SIDE VIEW**



**FRONT VIEW**

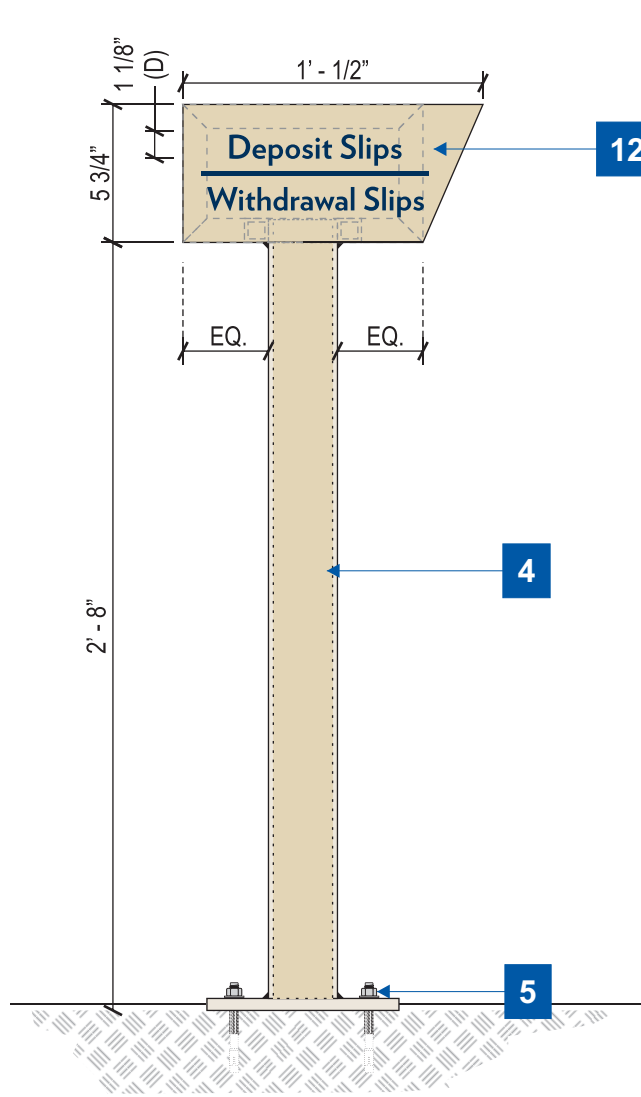
- P2 - PAINT TO MATCH AKZO NOBEL 422A2
- P5 - PAINT TO MATCH CARDINAL RED
- V3 - VINYL- 3M SCOTCHCAL 7725-10 WHITE

**APPROVAL DATE -**

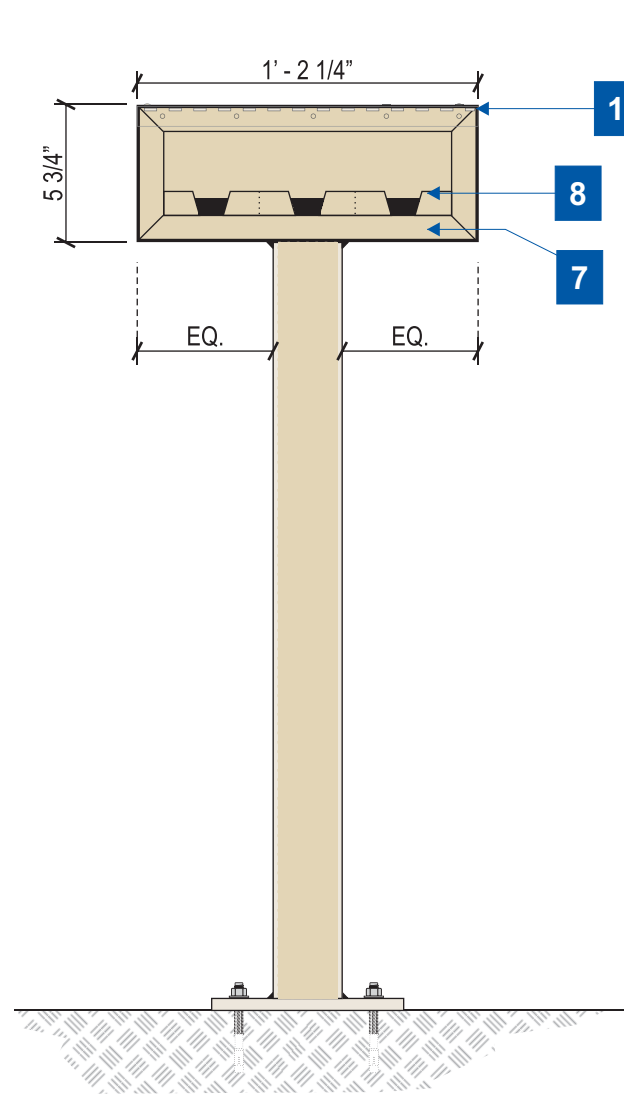
**APPROVED BY -**

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

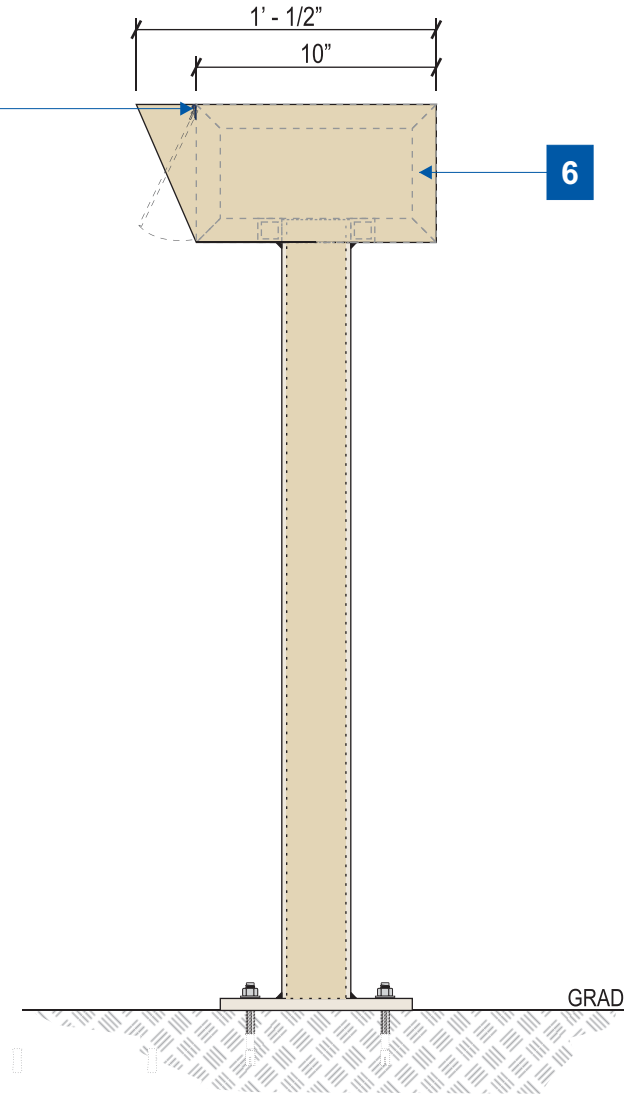




SIDE DETAIL



**014** DSS.01 - DEPOSIT SLIP STANDS  
 SCALE: 1 1/2" = 1' QTY (3)



SIDE DETAIL

1. 1/2"X8"X8" ALUM PLATE 3M 3630-36 DARK FONT: VERLAG BOLD
2. 1/2" HOLES FOR 3/8" HARDWARE
3. 2 1/2" SCH. 40 ALUM. PIPE (2 7/8" X 4.469 X .203). POWDERCOATED FROST BEIGE
4. 2 1/2" SCH. 40 ALUM. PIPE (2 7/8" X 4.469 X .203). POWDER COATED FROST BEIGE
5. 3/8" HILTI KWICK-BOLT III STAINLESS STEEL (4 PLCS REQ'D) SEE PLATE DETAIL
6. 1"X 1/4" ALUM. SQ TUBE INNER FRAME. POWDER COATED FROST BEIGE (SHOWN BY DOTTED GRAY LINES)
7. 1/4" BREAK FORMED ALUM. SKIN AROUND BANKING SLIP BOX. POWDER COATED FROST BEIGE
8. .080"X 4" SIDE TRAY FOR BANKING SLIPS (3 TOTAL TRAYS REQ'D WITH ALUMINUM SPACER.)
9. 2 1/2" SCH. 40 ALUM PIPE (2 7/8" X 2.469 X .203). POWDER COATED FROST BEIGE.
10. PIPE TO INNER TUBE FRAME
11. 1/8" CLEAR LEXAN DOOR WITH .050 LEAF X 1 1/2" PIANO HINGE. POWDER COATED FROST BEIGE (MCMASTER-CARR 15665A247) SPRING LOADED
12. BLUE VINYL COPY TO MATCH PMS 540C.

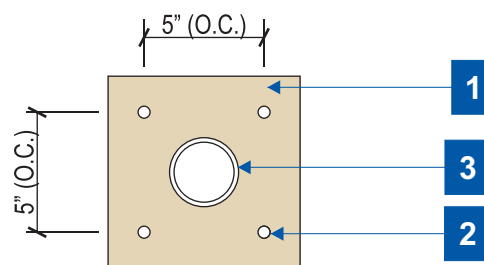
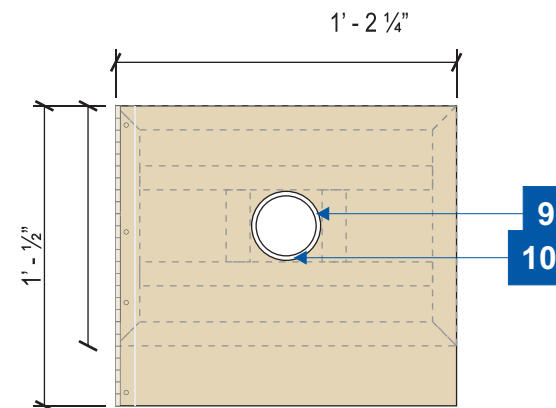


PLATE DETAIL



PLAN VIEW

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_\_.

\_\_\_\_\_  
 PLANNING & ZONING COMMISSION, CHAIRMAN

\_\_\_\_\_  
 DIRECTOR OF PLANNING AND ZONING

- V1 - VINYL- 3M SCOTCHCAL 3630-36 DK. BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

**CLIENT**  
 FROST  
 ROCKWALL

**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032

**DATE** 12.16.2021

**DESIGNER - RSH**

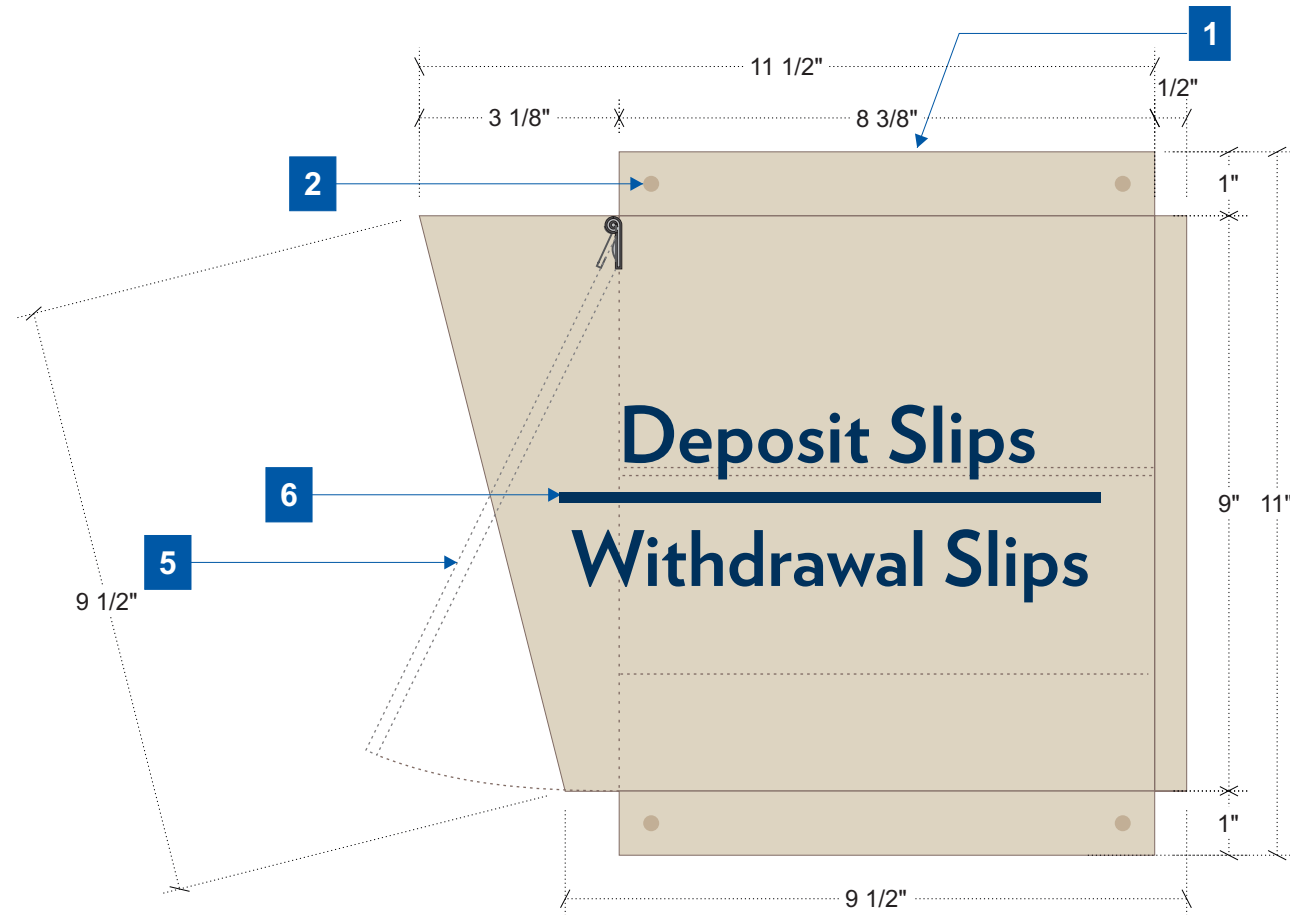
**DRAWING NO.**  
 21OP5428

REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



1. 1/4" ALUM PLATE TO MOUNT TO WALL. POWDER COATED FROST BEIGE
  2. 1/2" HOLES FOR 3/8" HARDWARE
  3. 1/4" BREAK FORMED ALUM. SKIN AROUND BANKING SLIP BOX. POWDER COATED FROST BEIGE
  4. 1/8" ALUMINUM TRAY FOR BANKING SLIPS.
  5. 1/8" CLEAR LEXAN DOOR WITH .050 LEAF X 1 1/2" PIANO HINGE. POWDER COATED FROST BEIGE SPRING LOADED
  6. BLUE VINYL COPY TO MATCH PMS 540C.
- FONT: VERLAG BOLD

**CLIENT**  
 FROST  
 ROCKWALL  
**ADDRESS**  
 ROCKWAL PKWY  
 ROCKWALL, TX US 75032  
**DATE** 12.16.2021  
**DESIGNER** - RSH  
**DRAWING NO.**  
 21OP5428

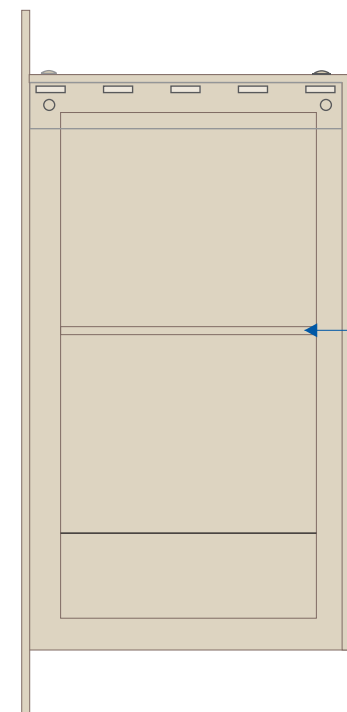
REVISION	DATE

APPROVED:  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

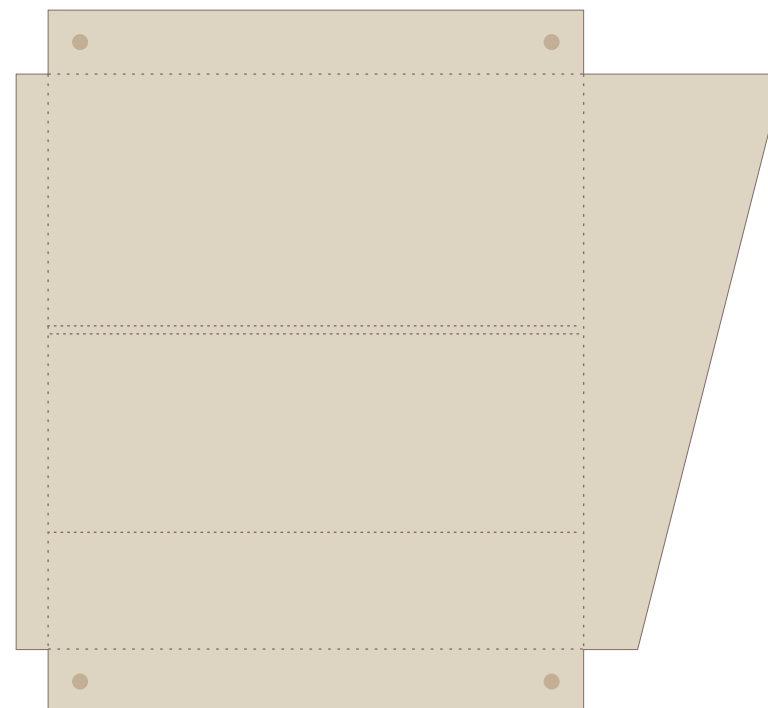
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_, \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**015** DSB.01 - DEPOSIT SLIP STANDS  
 SCALE: 1:3 QTY 1



FRONT VIEW



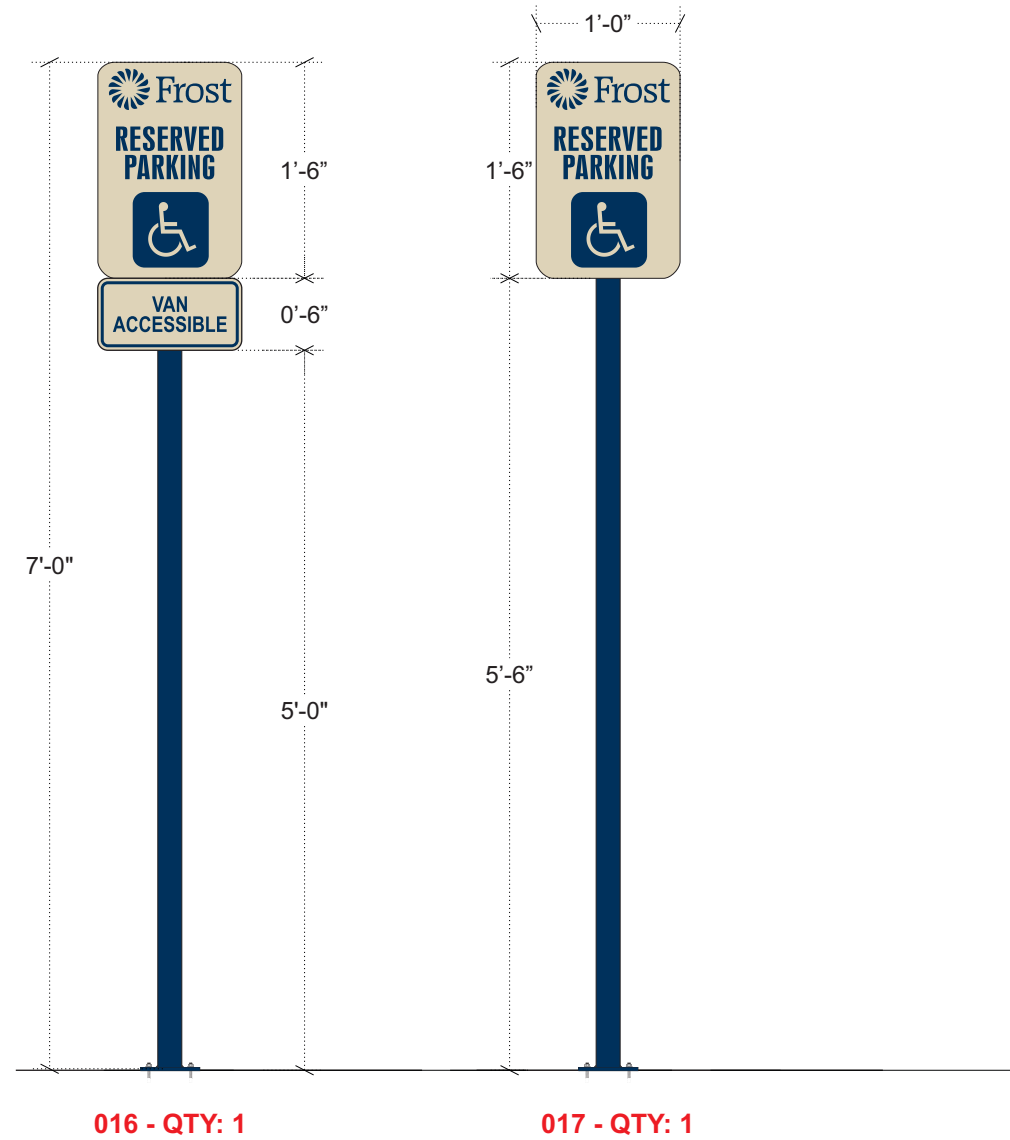
SIDE DETAIL

- V1 - VINYL- 3M SCOTCHCAL 3630-36 DK. BLUE
- P2 - POWDER COATED TO MATCH AKZO NOBEL 422A2

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved: This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*



016 - QTY: 1

017 - QTY: 1

HARDSCAPE MOUNT

**016-017** PS.01 - PARKING SIGNAGE  
SCALE: 3/4" = 1' - QTY: 2

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

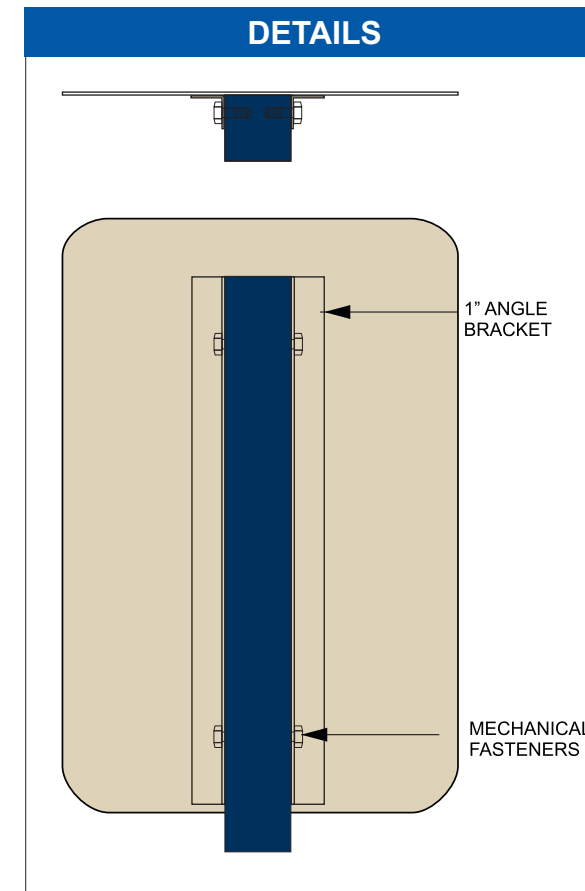
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

- V1 - VINYL- 3M SCOTCHCAL 3630-36 DK. BLUE
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

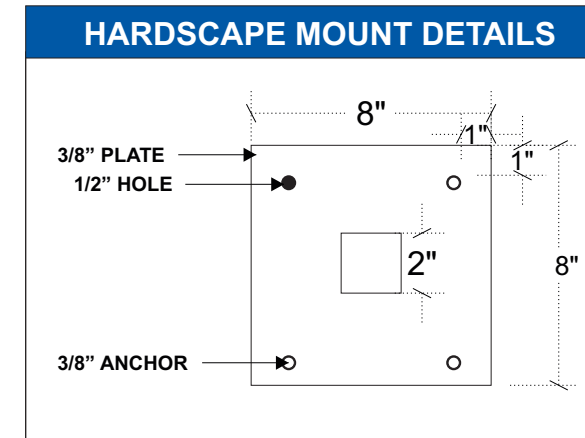
SPECIFICATIONS

1. .080 ALUMINUM PANEL FINISHED IN AKO COLORMAP 422A2 BEIGE WILL BE MOUNTED TO 1" ANGLE USING STRUCTURAL ADHESIVE. BRACKET WILL BE MOUNTED TO USING MECHANICAL FASTENERS
2. 3M SCHOTCAL 3630-36 DARK BLUE VINYL GRAPHICS.
3. 2" X 2" X 1/8" ALUMINUM SQ TUBE SUPPORT PAINTED TO MATCH PMS 540C BLUE.

DETAILS



HARDSCAPE MOUNT DETAILS



CLIENT

FROST  
ROCKWALL  
ADDRESS  
ROCKWAL PKWY  
ROCKWALL, TX US 75032

DATE 12.16.2021

DESIGNER - RSH

DRAWING NO.

21OP5428

REVISION	DATE

APPROVAL DATE -

APPROVED BY -

*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

# CLIENT, MANUFACTURING, AND INSTALLATION NOTES FOR ALL DESIGNS



## CLIENT NOTES:

- 1) CLIENT TO PROVIDE VECTOR ARTWORK INCLUDING CORRECT FONTS.
- 2) CLIENT TO PROVIDE ALL COLORS FOR SIGNS WITHIN DESIGN INCLUDING RACEWAY COLORS. COLORS TO BE PROVIDED ARE TO BE IN A SHERWIN WILLIAMS OR PANTONE / PMS COLORS. CMYK COLORS ARE NOT USABLE.
- 3) CLIENT TO APPROVE AND INITIAL DESIGNS THEN RETURN TO SSC SIGNS & LIGHTING ONCE APPROVED.
- 4) CLIENT TO PROVIDE ELECTRICAL TO ALL ILLUMINATED SIGNS. ELECTRICAL TO BE WITHIN 5'-0" OF SIGNAGE PRIOR TO INSTALL DATE.
- 5) ALL ELECTRICAL SCOPE TO BE INSTALLED BY TENANT CONTRACTOR

## MANUFACTURING NOTES:

- 1) IF SIGN NEEDS TO BE PERMITTED, MANUFACTURING WILL START AS SOON AS PERMITS ARE APPROVED BY CITY.
- 2) MANUFACTURING TO SUPPLY ALL NEEDED HARDWARE AND ELECTRICAL COMPONENTS NEEDED FOR INSTALLATION OF SIGN.
- 3) A MINIMUM OF 6'-0" WHIPS FROM THE BACK OF EACH CHANNEL LETTERS FOR INSTALLATION WHEN NEEDED.

## INSTALLATION NOTES:

- 1) INSTALLER TO INSPECT SIGN UPON RECEIPT AND REPORT ANY ISSUES OR DAMAGED ITEMS. INSTALLER WILL BE HELD LIABLE FOR ANY DAMAGES OR ISSUES REPORTED AFTER DAY SIGN IS RECEIVED.
- 2) INSTALLER TO VERIFY WITH CLIENT THAT SIGN IS BEING INSTALLED IN CORRECT LOCATION.
- 3) INSTALLER TO VERIFY ALL SERVICE IS COMPLETE PRIOR TO LEAVING THE SITE FOR THAT DAY AND/OR NIGHT INCLUDING COMPLETION PHOTOS OF SIGNS INSTALLED AND ILLUMINATED.
- 4) INSTALLER TO CLEAN UP ALL TRASH AND DEBRIS. ALSO, CLEAN ALL SIGNS AS NEEDED INCLUDING FACES.

### CLIENT

FROST  
ROCKWALL

### ADDRESS

ROCKWAL PKWY  
ROCKWALL, TX US 75032

DATE 12.16.2021

DESIGNER - RSH

DRAWING NO.

21OP5428

REVISION	DATE
_____	_____
_____	_____
_____	_____
_____	_____

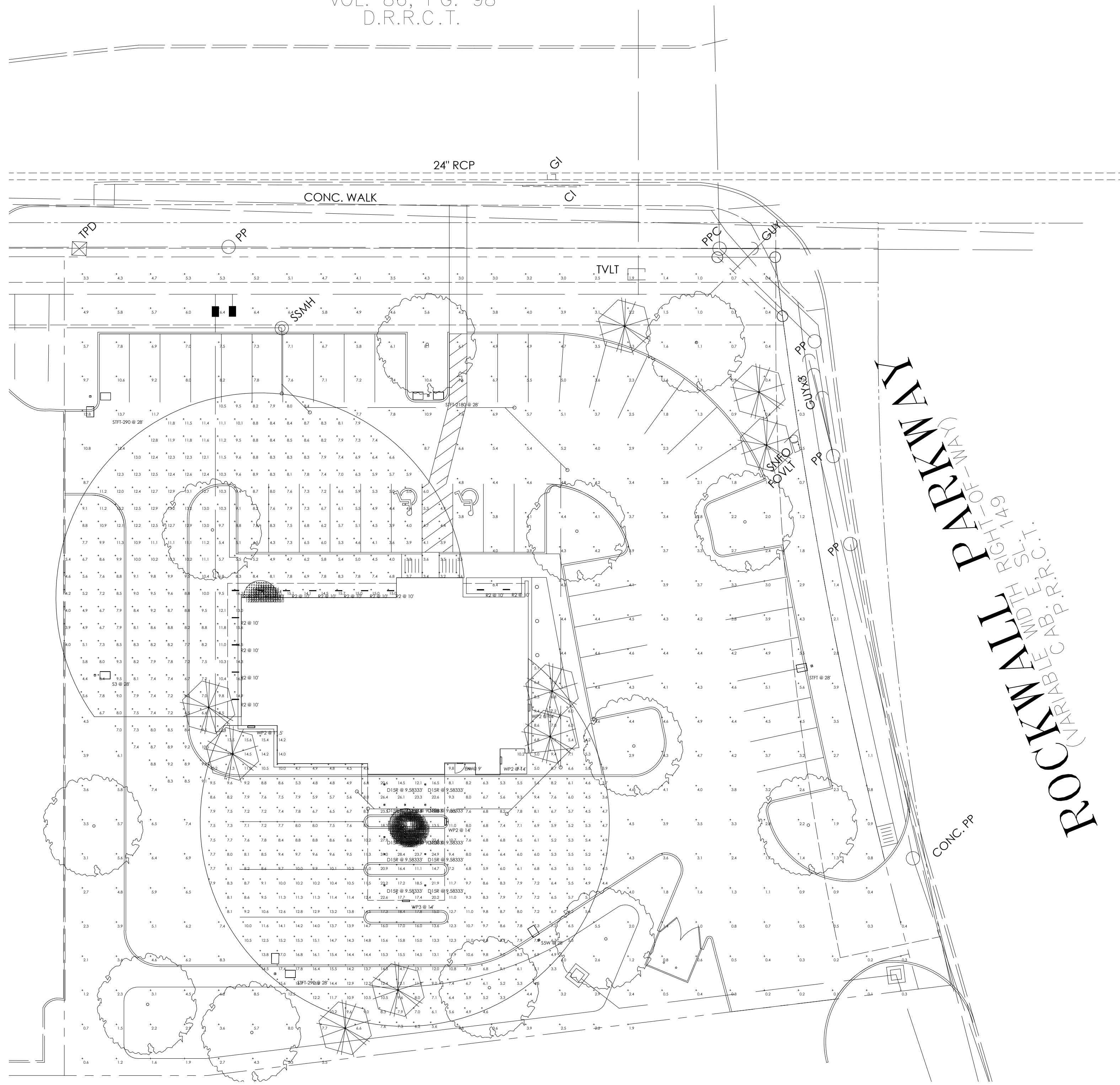
APPROVAL DATE -

APPROVED BY -

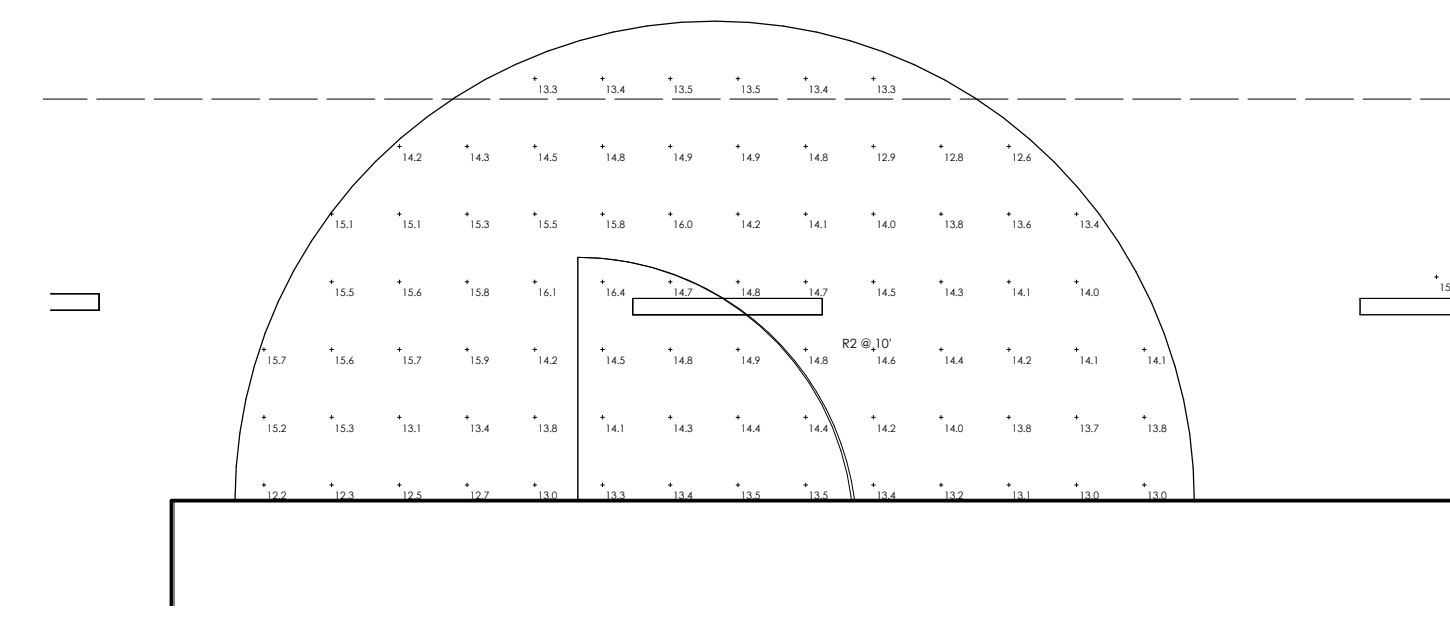
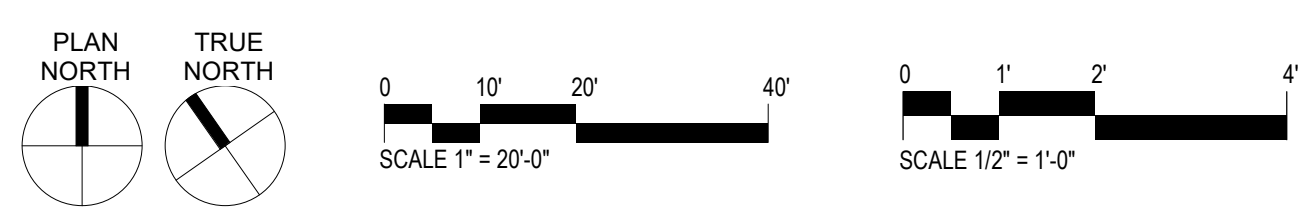
*This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. Dimensions are approximate & may change due to construction factors or exact field conditions. Color shown areas close as printing will allow; Always follow written specifications. All rights reserved. This design has been created for you in connection with a project being planned for you by SSC Signs & Lighting. It may not be reproduced in any manner without prior consent.*

# HORIZON ROAD (F.M.HWY. 3097)

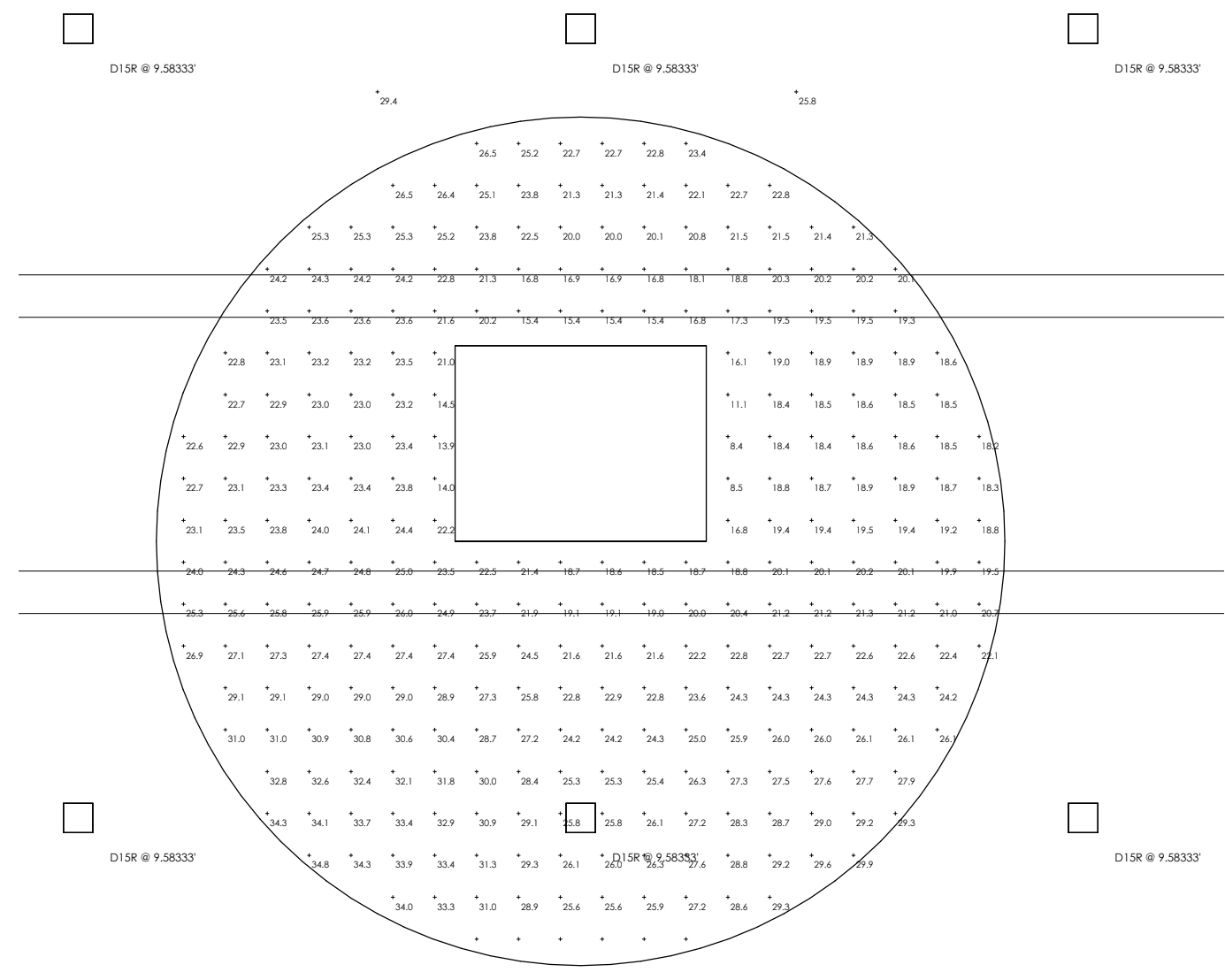
(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



1 SITE PLAN - PHOTOMETRICS  
EPM1 1" = 20'-0"



2 PHOTOMETRICS - ENTRANCE ATM  
EPM1 1/2" = 1'-0"



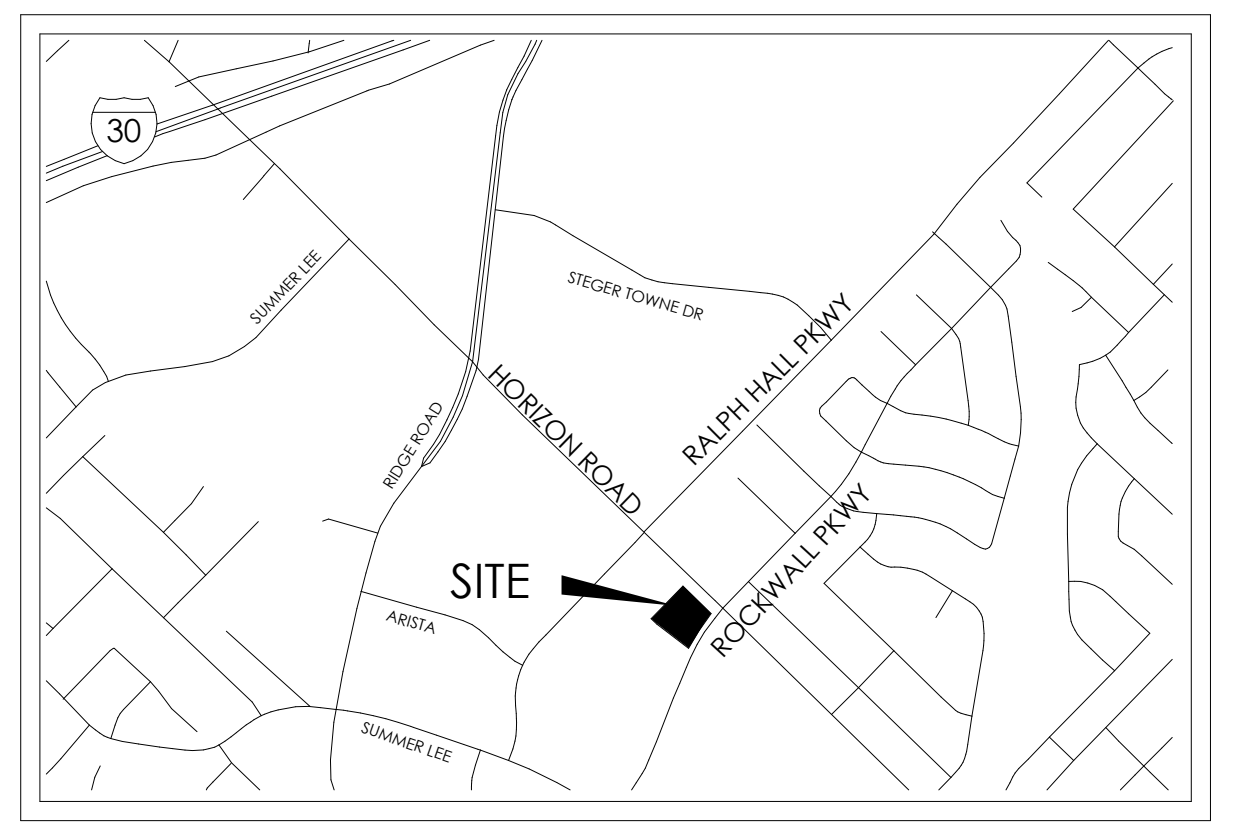
3 PHOTOMETRICS - MOTOR BANK ATM  
EPM1 1/2" = 1'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE THRU ATM S'	+	23.7 fc	34.8 fc	8.4 fc	4.1:1	2.8:1
FRONT ATM S'	+	14.2 fc	16.4 fc	12.2 fc	1.3:1	1.2:1
FRONT ATM 60'	+	8.5 fc	16.5 fc	3.2 fc	5.2:1	2.7:1
SITE	+	3.9 fc	13.7 fc	0.1 fc	137.0:1	39.0:1
DRIVE THRU ATM 40'	+	10.0 fc	31.0 fc	3.3 fc	9.4:1	3.0:1

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	R2	13	Atrak Architectural Lighting	SLZL 2 FLP 80CRI 40K 600LMF	Slot 2 LED, 2ft Length, Flushed Lens Position, 80CRI, 4000K LED Boards, 600LMF	1	2192	0.45	23.3
□	S3	1	Lithonia Lighting	DSX2 LED P5 40K T3M MVOLT	DSX2 LED P5 40K T3M MVOLT	1	36864	0.9	321
□	STFT	1	Lithonia Lighting	DSX2 LED P5 40K TTFM MVOLT	DSX2 LED P5 40K TTFM MVOLT	1	37949	0.9	321
□	STFT-290	2	Lithonia Lighting	DSX2 LED P7 40K TTFM MVOLT	DSX2 LED P7 40K TTFM MVOLT	1	45935	0.9	796
□	STFT-2180	1	Lithonia Lighting	DSX2 LED P5 40K TTFM MVOLT	DSX2 LED P5 40K TTFM MVOLT	1	37949	0.9	642
—	WP2	4	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA.	1	7572	0.9	73.2
—	WP3	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K TTFM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TTFM OPTIC, 4000K, @ 1000mA.	1	7711	0.9	73.2
□	S5W	1	Lithonia Lighting	DSX2 LED P5 40K T5W MVOLT	DSX2 LED P5 40K T5W MVOLT	1	39142	0.9	321
—	EM	1	SIGNTEX, INC	MUE10X-T	EXTRUDED ALUMINUM HOUSING, FROSTED PLASTIC ENCLOSURE.	1	494	0.9	10.7
□	D1SR	12	Lithonia Lighting	LDN45Q 40/15 LS4AR LSS	4IN LDN SQUARE, 4000K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CR180	1	1267	0.9	17.5

**COMPLIANCE NOTE:**  
ALL CONTENTS WITHIN THIS SHEET ARE NOT FOR CONSTRUCTION. THIS SHEET AND THE CONTENT WITHIN ARE FOR THE SOLE PURPOSE OF LIGHTING COORDINATION REQUIREMENTS PER THE CITY OF ROCKWALL AND ATM LIGHTING TEXAS FINANCE CODE SECTION 59.307 IN ORDER TO ENSURE PATRON SAFETY AND SECURITY.

**CALCULATION NOTES:**  
1. ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN.  
2. ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.  
3. ATM CALCULATIONS ARE TAKEN AT 3'-0" AFG.  
4. VALUE NEXT TO LUMINAIRE LABEL ON DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.  
5. TREES REFLECTANCE/TRANSMITTANCE VALUES ARE ASSUMED BASED ON ROUGH ESTIMATIONS OF TREE TYPES.  
6. PHOTOMETRY ANALYSIS WAS DONE USING VISUAL LIGHTING 2020 R2 SOFTWARE

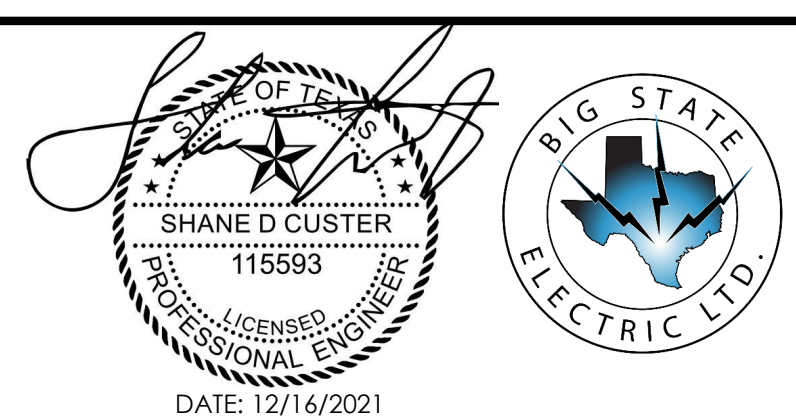


VICINITY MAP  
NOT TO SCALE

DATE: 12/16/2021

## SITE PLAN - PHOTOMETRICS

### FROST BANK ROCKWALL FINANCIAL EPM1 CENTER



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549



**WIA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



architects  
planners  
interiors



Notes



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Durable square metal reflectors retained by torsion springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".

**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes.

**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.

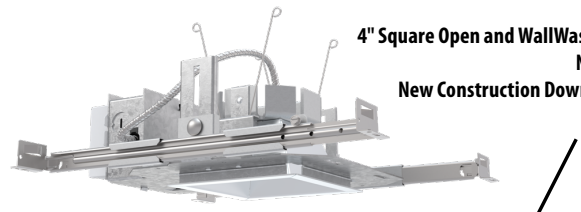
**LISTINGS** — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

# LDN4SQ

**4" Square Open and WallWash LED Non-IC New Construction Downlight**



A+ Capable options indicated by this color background.

**ORDERING INFORMATION** Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN4SQ 35/15 LS4AR LSS MVOLT EZ1

LDN4SQ	40/30	LS4AR				LSS	MVOLT
Series	Color temperature	Aperture/Trim Color				Finish	Voltage
LDN4SQ 4" square	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens	20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens	LS4 Downlight LSW4 Wallwash	AR Clear WR? White BR? Black	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 <sup>3</sup> 347V

EZ10		WL	
Driver	Options		
GZ10 0-10V driver dims to 10%	SF <sup>4</sup> Single fuse	NPS80EZ <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).	
GZ1 0-10V driver dims to 1%	TRW <sup>5</sup> White painted flange	NPS80EZER <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.	
D10 Minimum dimming 10% driver for use with JOT	TRBL <sup>5</sup> Black painted flange	NLTAIR2 <sup>8,10</sup> nLight® Air enabled	
D1 Minimum dimming 1% driver for use with JOT	EL <sup>6</sup> Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIRER2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options	
<b>EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%</b>	ELR <sup>6</sup> Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIREM2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	
<b>EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%</b>	ELSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS	N80 <sup>9</sup> nLight™ Lumen Compensation	
EDAB eldoLED DALI SOLDRIVE dim to dark	ELRSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS	JOT <sup>13</sup> Wireless room control with "Just One Touch" pairing	
	E10WCP <sup>6</sup> Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB	HAO <sup>11</sup> High ambient option (40°C)	
	E10WCPR <sup>6</sup> Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB	CP <sup>12</sup> Chicago Plenum	
	NPP16D <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).	RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.	
	NPP16DER <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	USPOM US point of manufacture	
		90CRI High CRI (90+)	

- Notes**
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
  - Not available with finishes.
  - Not available with emergency options.
  - Must specify voltage 120V or 277V.
  - Available with clear (AR) reflector only.
  - 12.5" of plenum depth or top access required for battery pack maintenance.
  - Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
  - NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
  - Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
  - Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
  - Fixture height is 5-11/16" for all lumen packages with HAO.
  - Must specify voltage for 3000lm. Not available with emergency battery pack option.
  - Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

## Mullion Mount Outdoor Emergency Egress Lighting

**Series MUE**  
REV #: MUE.11.20.17

PROJECT: \_\_\_\_\_

TYPE: \_\_\_\_\_

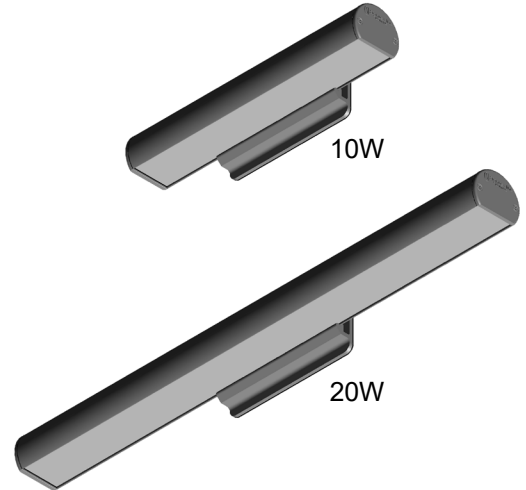
CATALOG #: \_\_\_\_\_

### OVERVIEW

Linear LED outdoor egress with both emergency lighting and night lighting function. The MUE series is designed to mount directly on mullion frames used in typical glass panel entrance structures, with vertical mounting surface as small as 2". High efficiency LEDs and full 90° cut-off provide uniform emergency and night lighting on the extended egress pathway. All models are outdoor rated, UL wet location, ADA compliant, and exceed requirements of UL Standard 924 and NFPA 101. Designed and manufactured in the USA, complies with ARRA (American Recovery and Reinvestment Act) and Buy American requirements.

### SPECIAL FEATURES

- Very low profile extruded aluminum housing and mount bracket blend seamlessly with structural metal frames
- Remote power supply for 10W and 20W BB and AC model single fixtures, or Central Battery System power for RE model multiple fixtures.
- Option for 20 watt models to operate for 2 hours in emergency mode
- Options for mount bracket height, from 2" to 5"
- Standard finishes include Brushed Aluminum, Satin White, Bronze or Black. Custom colors available on request
- Custom satin finishes for extended outdoor use are available to match any surface
- IP66 housing seals against heavy water spray and fine dust
- Universal side or top mount
- Wide lighting distribution designed for entrance walkways
- 10W or 20W emergency power models
- Optional normal-on switch allows timed control of night lighting
- Self-Test Diagnostics is standard for central battery models and optional for integral battery models.
- Certified IP66 housing withstands multi direction water spray and fine dust ingress
- Wall mount version available (see Series MAE)
- Standard CRI 5000K, with optional color corrections filters for 2900K, 3200K and 3800K.
- Code compliant emergency lighting layouts provided



intertek  
2013529  
CONFORMS TO  
JL 924/CSA 22.2 #141

### FIXTURE ORDERING INFORMATION EXAMPLE: MUEBB10AW-DG

MODEL SERIES		OPERATION	POWER	HOUSING COLOR	MOUNT	OPTIONS
MUE	RE	Central Battery	10 10 Watts emergency and normal on power	W Satin White	T Top	DG Self-test diagnostics (BB models only)
	BB	Battery backup (includes RPS)	20 20 Watts emergency and normal on power	A Aluminum	W Wall	SD Night Lighting Control Switch for models with DG option (120/277VAC)
	AC	No battery (includes RPS)		B Dark Bronze		SB120 Night Lighting Control Switch for standard BB models (120VAC)
				X Custom		SB277 Night Lighting Control Switch for standard BB models (277VAC)
						REC 20W RPS panel recessed mount
						2EM 2 hrs emergency operation for BB models
						CW1 Color temp. - 3800K
						CW2 Color temp. - 3200K
						CW3 Color temp. - 2900K
						DAC Dual AC input
						2HT 2" Mount Bracket height
						5HT 5" Mount Bracket height

### Mullion Mount Outdoor Emergency Egress Lighting

#### CONSTRUCTION

- Extruded aluminum lamp housing 2" diameter, with gasketed mount bracket only 2 1/2"Ht that includes a waterproof compression seal for universal wall or top mount.
- Available models include:
  - RE: Multiple fixtures powered from a Central Battery System
  - BB and AC: Single fixtures powered from a Remote Power Supply
  - AC: 120/277 VAC input, with or without battery
- Wet location listed, UL924 and certified IP66
- Gasketed, molded end caps and Sealed acrylic lens
- Stainless steel hardware

#### LIGHTING

- Lamps connected in parallel allow continuous lighting after failure of one lamp, meeting NEC and NFPA requirements.
- Standard output color 5000K. Optional outputs available 2900K, 3200K and 3800K.
- Dual function available for emergency or normally -on operation.
- Standard Operating Temperature
  - RE: -40C to 50C (-40F to 120F)
  - BB: -20C to 40C (-4F to 104F)
  - AC: -20C to 40C (-4F to 104F)

#### ELECTRONICS

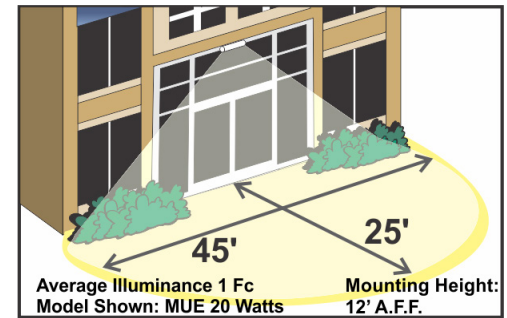
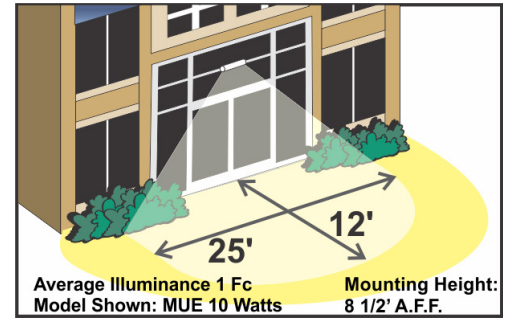
- Self-Test/Self-Diagnostic operation is standard for all RE models, and optional for BB models with the Remote Power Supply.
- Line latch circuit prevents unwanted emergency activation at installation.
- Low Voltage Disconnect prevents deep battery discharge

#### CODES

- Manufactured and tested to UL Standard 924, NFPA Life Safety Code 101, and certified to IP66.

#### WARRANTY

- 10 year total customer satisfaction warranty. For details see Signtex product catalog technical data section.



**NOTE:** FOR REFERENCE ONLY. STANDARD REFLECTANCES 80/50/20. SIGNTEX IS NOT RESPONSIBLE FOR SPECIFIC CONDITIONS THAT MAY ALTER THE RESULTS.



#### Self-test Diagnostic Functions (BB models)

STATUS	LED DISPLAY
Normal Full Charge	● GREEN ON
Normal Fast Charge	● ORANGE ON
Failed Battery	● ● RED FLASH FAST
Failed Lamp	● ● GREEN FLASH
Failed Transfer	● ● ORANGE FLASH
Failed Charger	● ● RED FLASH SLOW





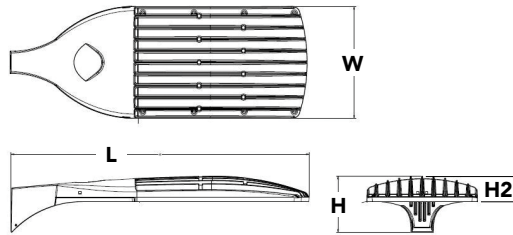
## D-Series Size 2 LED Area Luminaire

d<sup>series</sup>



### Specifications

<b>EPA:</b>	1.1 ft <sup>2</sup> (0.10 m <sup>2</sup> )
<b>Length:</b>	40" (101.6 cm)
<b>Width:</b>	15" (38.1 cm)
<b>Height 1:</b>	7-1/4" (18.4 cm)
<b>Height 2: (max):</b>	3.5"
<b>Weight:</b>	36lbs



### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

### Ordering Information

**EXAMPLE:** DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED	P5	40K	T5W	MVOLT	SPA
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	<b>Forward optics</b>	30K 3000 K	T1S Type I Short (Automotive)	MVOLT <sup>5</sup> XVOLT (277V-480V) <sup>6,7,8</sup> 120 <sup>9</sup> 208 <sup>9</sup> 240 <sup>9</sup> 277 <sup>9</sup> 347 <sup>9</sup> 480 <sup>9</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>10</sup> WBA Wall bracket <sup>3</sup> SPUMBA Square pole universal mounting adaptor <sup>11</sup> RPUMBA Round pole universal mounting adaptor <sup>11</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>10</sup>
	P1 → P5 <sup>1</sup>	40K 4000 K	T2S Type II Short		
	P2 → P6	50K 5000 K	T2M Type II Medium		
	P3 → P7 <sup>1</sup>		T3S Type III Short		
	P4 → P8 <sup>1</sup>		T3M Type III Medium		
	<b>Rotated optics</b>		T4M Type IV Medium		
	P10 <sup>2</sup> P13 <sup>1,2</sup>		TFTM Forward Throw Medium		
	P11 <sup>2</sup> P14 <sup>1,2</sup>				
	P12 <sup>2</sup>				
			T5VS Type V Very Short <sup>3</sup>		
			T5S Type V Short <sup>3</sup>		
			TSM Type V Medium <sup>3</sup>		
		T5W Type V Wide <sup>3</sup>			
		BLC Backlight control <sup>4</sup>			
		LCCO Left corner cutoff <sup>4</sup>			
		RCCO Right corner cutoff <sup>4</sup>			

Control options	Other options	Finish (required)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>13</sup> PIRHN Network, Bi-Level motion/ambient sensor <sup>14</sup> PER NEMA twist-lock receptacle only (no controls) <sup>15</sup> PER5 Five-wire receptacle only (no controls) <sup>15,16</sup> PER7 Seven-wire receptacle only (no controls) <sup>15,16</sup> DMG 0-10V dimming extend out back of housing for external control (no controls) <sup>17</sup> DS Dual switching <sup>18,19</sup>	<b>Shipped installed</b> HS House-side shield <sup>22</sup> SF Single fuse (120, 277, 347V) <sup>9</sup> DF Double fuse (208, 240, 480V) <sup>9</sup> L90 Left rotated optics <sup>2</sup> R90 Right rotated optics <sup>2</sup> HA 50°C ambient operations <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>21</sup> EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
PIRH Bi-level, motion/ambient sensor, 15-30" mounting height, ambient sensor enable at 5fc <sup>20</sup> PIRH1FC3V High/low, motion/ambient sensor, 15-30" mounting height, ambient sensor enable at 1fc <sup>20</sup> FAO Field Adjustable Output <sup>23</sup>		

**S3: DSX2 LED P5 40K T3M MVOLT**  
**S5W: DSX2 LED P5 40K T5W MVOLT**  
**STFT: DSX2 LED P5 40K TFTM MVOLT**  
**STFT-2180: (2@180DEGREES)DSX2 LED P5 40K TFTM MVOLT**  
**STFT-290: (2@90DEGREES) DSX2 LED P5 40K TFTM MVOLT**

**S3**  
**S5W**  
**STFT**  
**STFT-2180**  
**STFT-290**

## Ordering Information

### Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>24</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>24</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>24</sup>
DSHORT SBK U	Shorting cap <sup>24</sup>
DSX2HS 80C U	House-side shield for 80 LED unit <sup>22</sup>
DSX2HS 90C U	House-side shield for 90 LED unit <sup>22</sup>
DSX2HS 100C U	House-side shield for 100 LED unit <sup>22</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>25</sup>
KMA8 DDBXD U	Most arm mounting bracket adaptor (specify finish) <sup>12</sup>
DSX2EGS (FINISH) U	External glare shield

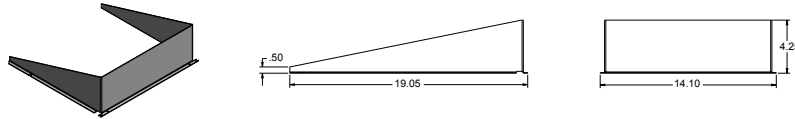
For more control options, visit [DTL](#) and [ROAM](#) online.

### NOTES

- HA not available with P5, P7, P8, P13, and P14.
- P10, P11, P12, P13 or P14 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- XVOLT is only suitable for use with P5, P6, P7, P8, P13 and P14.
- XVOLT works with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIRH or PIRH1FC3V.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting bracket intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover only available in dark bronze, black, white or natural aluminum color.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIRH1FC3V or PIRH1FC3V, FAO.
- Requires (2) separately switched circuits with isolated neutrals.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available with P1, P2, P10.
- Reference Controls Options table settings table on page 4. Reference Motion Sensor Default table on page 4 to see functionality.
- Reference controls options table on page 4.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessories; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 and PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

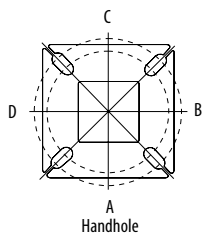
## Options

### EGS - External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

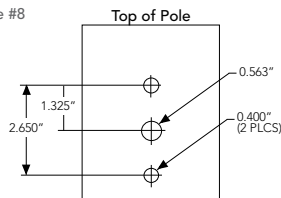
### DSX2 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX2 LED	1.100	2.200	2.120	3.300	2.850	4.064

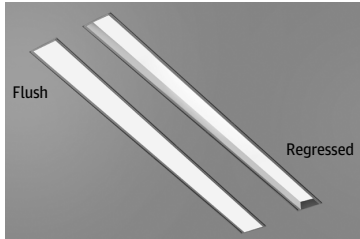
	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Template #8



# MARK ARCHITECTURAL LIGHTING™

## Slot 2 LED Recessed Linear



Slot 2 LED takes both form and function a step further with increased efficacy and integral controls creating a digitally addressable luminaire that is perfect where visually harmonious illumination and energy efficiency are desired.

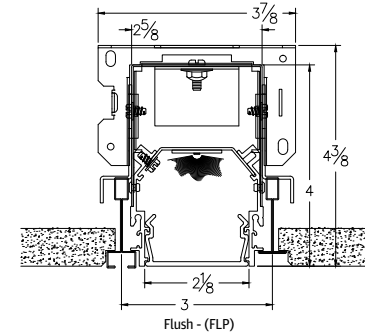
Slot 2 LED is the ideal choice for spaces that emphasize lines and clean contemporary design. It is a perfect fit for Armstrong TechZone™ ceiling systems. A regressed lens option provides added dimension to the sleek, slender design and the flush lens now has a Wet Label option.

### Specification Features (continued on page 2)

- Housing**  
Nominal 2" x 2', 3', 4', 5', 6', 7', 8' and continuous rows in 1" increments as standard, upper housing fabricated from cold-rolled steel with extruded aluminum ceiling trim.
- Finish**  
Painted high reflectance matte white powder coat.
- Reflector**  
Precision-formed steel; high reflectance matte white powder coat; 93% reflectivity.
- Shielding**  
Flush Lens: Snap-in 90% transmissive satin acrylic lens.  
Regressed Lens: Lay-in 90% transmissive satin acrylic lens.

- Mounting**  
Recessed. Available for sheetrock, 9/16" slot grid or 15/16" inverted tee ceilings, or 9/16" inverted tee.
- Certification**  
CSA tested to UL 1598 standards. Optional Damp or Wet location listings available, see ordering tree. This product is IC rated.
- Warranty**  
5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)  
**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

### Technical Drawing



#### Fixture Performance - SL2L\*

Lumens Output	400 LMF		600 LMF**		800LMF**		1000LMF	
	RLP	FLP	RLP	FLP	RLP	FLP	RLP	FLP
Delivered Lumens/FT	234	308	404	533	534	705	654	862
Input Watts/FT	4	4	6	6	8	8	11	11
Lumen/Watt	68	89	69	91	67	88	62	82

\* CCT (35K)  
\* Consult factory for customized lumen output and wattage  
\*\*Based on calculated values



#### LED Components

Linear: Nichia® - 757 Series LED chips (available in 80 or 90 CRI)

#### LED Life

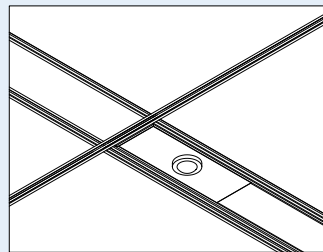
Rated 65,000 hours (L80) at 25 °C ambient temperature.

#### Color Consistency

The Acuity Brands circuit boards for the linear LED components use a precise binning algorithm which creates a consistent color temperature from board to board. Color variation is no greater than a 2.5 Step MacAdam (2.5SDCM) along the black body locus from board to board.

#### Driver

eldoLED constant current driver options delivers ultra-smooth dimming resolution from 100% to 0.1%, while assuring flicker free, low current inrush, 89% efficiency and low EMI.



Occupancy Sensor (PDT) and/or Photocell (ADC)

#### Integrated Controls

Optional nLight® embedded controls make luminaire addressable- allowing it to digitally communicate with other nLight enabled controls such as dimmers, switches, occupancy sensors and photocontrols. Simply connect all the nLight enabled control devices using standard CAT5 Cabling. (Input option: nLIGHT)

#### Photometry

For photometric information refer to [www.marklighting.com](http://www.marklighting.com).



# D-Series Size 1 LED Wall Luminaire



## d"series

### Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

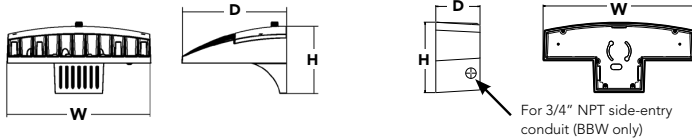
### Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		

### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



### Ordering Information

**EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DBBXTD

DSXW1 LED	20C	1000	40K	T3M	MVOLT		
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	Shipped installed PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant <sup>8,9</sup>

Other Options		DNAXD	
		Finish (required)	
<b>Shipped installed</b>	<b>Shipped separately</b> <sup>11</sup>	DBBXTD Dark bronze	DSSXD Sandstone
SF Single fuse (120, 277 or 347V) <sup>3,10</sup>	BSW Bird-deterrent spikes	DBLXDD Black	DBBXTD Textured dark bronze
DF Double fuse (208, 240 or 480V) <sup>3,10</sup>	VG Vandal guard	DNAXD Natural aluminum	DBLBXD Textured black
HS House-side shield <sup>11</sup>	DDL Diffused drop lens	DWHXD White	DNATXD Textured natural aluminum
SPD Separate surge protection <sup>12</sup>			

### Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- Not available with ELCW.



## TEXAS FINANCE CODE

### TITLE 3. FINANCIAL INSTITUTIONS AND BUSINESSES

#### SUBTITLE A. BANKS

#### CHAPTER 59. MISCELLANEOUS PROVISIONS

##### Subchapter D. Safety at Unmanned Teller Machines<sup>3</sup>

**Sec. 59.301. Definitions.** In this subchapter:

(1) "Access area" means a paved walkway or sidewalk that is within 50 feet of an unmanned teller machine. The term does not include a public right-of-way or any structure, sidewalk, facility, or appurtenance incidental to the right-of-way.

(2) "Access device" has the meaning assigned by Regulation E (12 C.F.R. Section 205.2), as amended, adopted under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.), as amended.

(3) "Candlefoot power" means the light intensity of candles on a horizontal plane at 36 inches above ground level and five feet in front of the area to be measured.

(4) "Control" means the authority to determine how, when, and by whom an access area or defined parking area may be used, maintained, lighted, and landscaped.

(5) "Customer" means an individual to whom an access device is issued for personal, family, or household use.

(6) "Defined parking area" means the portion of a parking area open for unmanned teller machine customer parking that is contiguous to an access area, is regularly, principally, and lawfully used during the period beginning 30 minutes after sunset and ending 30 minutes before sunrise for parking by customers using the machine, and is owned or leased by the owner or operator of the machine or owned or controlled by a person leasing the machine site to the owner or operator of the machine. The term does not include:

(A) a parking area that is physically closed or on which one or more conspicuous signs indicate that the area is closed; or

(B) a level of a multiple-level parking area other than the level considered by the operator of the unmanned teller machine to be the most directly accessible to a customer.

(7) "Financial institution" has the meaning assigned by Section 201.101.

(8) "Operator" means the person primarily responsible for the operation of an unmanned teller machine.

(9) "Owner" means a person having the right to determine which financial institutions are permitted to use or participate in the use of an unmanned teller machine.

(10) "Unmanned teller machine" means a machine, other than a telephone, capable of being operated solely by a customer to communicate to a financial institution:

(A) a request to withdraw money from the customer's account directly or under a line of credit previously authorized by the financial institution for the customer;

(B) an instruction to deposit money in the customer's account with the financial institution;

(C) an instruction to transfer money between one or more accounts maintained by the customer with the financial institution;

(D) an instruction to apply money against an indebtedness of the customer to the financial institution; or

(E) a request for information concerning the balance of the account of the customer with the financial institution.

**Sec. 59.302. Exception for Certain Unmanned Teller Machines.** This subchapter does not apply to an unmanned teller machine:

(1) by which:

(A) a customer of a financial institution can authorize and effect the electronic transfer of money from the customer's account at the financial institution to a merchant's account at a financial institution in the county or municipality in which the terminal is located to obtain cash or to purchase, rent, or pay for goods or services; and

(B) the merchant can ascertain that the transaction has been completed and the money has been or will be transferred to the merchant's account at the merchant's financial institution in the county or municipality in which the terminal is located; or

(2) located:

(A) inside a building:

(i) unless the building is a freestanding installation existing solely to provide an enclosure for the machine; or

(ii) except to the extent a transaction can be conducted from outside the building; or

(B) in an area not controlled by the owner or operator of the machine.

**Sec. 59.303. Applicability to Certain Persons Who Are Not Owners or Operators.** (a) A person is not an owner or operator solely because the person's primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data.

(b) A person whose primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data and who is not an owner or operator is not liable to a customer or user of an unmanned teller machine for a claim arising out of or in connection with a use or attempted use of the machine.

**Sec. 59.304. Construction of Subchapter.** (a) This subchapter does not require the relocation or modification of an unmanned teller machine on the occurrence of a particular event or circumstance.

(b) A violation of this subchapter or a rule adopted under this subchapter is not negligence per se. Substantial compliance with this subchapter and each rule adopted under this subchapter is prima facie evidence that a person has provided adequate safety protection measures relating to an unmanned teller machine under this subchapter.

**Sec. 59.305. Lighting Required.** During the period beginning 30 minutes after sunset and ending 30 minutes before sunrise, lighting shall be provided for:

- (1) an unmanned teller machine;
- (2) the machine's access area and defined parking area; and
- (3) the exterior of the machine's enclosure, if the machine is located in an enclosure.

**Sec. 59.306. Persons Required to Provide Lighting.** (a) Except as provided by Subsection (b), the owner or operator shall provide the lighting required by this subchapter.

(b) A person who leases the site where an unmanned teller machine is located shall provide the lighting required by this subchapter if the person controls the access area or defined parking area for the machine and the owner or operator does not control the access area or defined parking area.

**Sec. 59.307. Standards for Lighting.** The lighting must be at least:

- (1) 10 candlefoot power at the face of the unmanned teller machine and extending in an unobstructed direction outward five feet;
- (2) two candlefoot power within 50 feet from any unobstructed direction from the face of the machine, except as provided by Subdivision (3);
- (3) if the machine is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, two candlefoot power along the first 40 unobstructed feet of the adjacent side of the building; and
- (4) two candlefoot power in the part of the defined parking area within 60 feet of the unmanned teller machine.

**Sec. 59.308. Safety Evaluation.** (a) An owner or operator shall in good faith evaluate the safety of each unmanned teller machine that the person owns or operates.

(b) In making the evaluation, the owner or operator shall consider:

- (1) the extent to which the lighting for the machine complies with Section 59.307;
- (2) the presence of obstructions, including landscaping and vegetation, in the area of the machine and the access area and defined parking area for the machine; and

(3) the incidence of violent crimes in the immediate neighborhood of the machine as shown by local law enforcement records and of which the owner or operator has actual knowledge.

**Sec. 59.309. Notice of Safety Precautions.** (a) An issuer of an access device shall give the customer a notice of basic safety precautions that the customer should follow while using an unmanned teller machine.

(b) The issuer shall personally deliver or mail the notice to each customer whose mailing address is in this state according to records for the account to which the access device relates. If the issuer furnishes an access device to more than one customer on the same account, the issuer is required to furnish a notice to only one of the customers.

(c) The issuer may furnish information under this section with other disclosures related to the access device, including an initial or periodic disclosure statement furnished under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.).

**Sec. 59.310. Enforcement and Rules.** (a) The finance commission and the Credit Union Commission shall enforce this subchapter and adopt rules to implement this subchapter.<sup>4</sup>

(b) The rules must establish security requirements to be implemented by a financial institution for the operation of an unmanned teller machine. The rules may require the financial institution to install and maintain security devices in addition to those required by this subchapter to be operated in conjunction with the machine for the protection of customers using the machine, including:

(1) video surveillance equipment that is maintained in working order and operated continuously during the hours of operation of the machine; and

(2) adequate lighting around the premises that contain the machine.

(c) A financial institution that violates a rule adopted under this section is subject to a civil penalty of not less than \$50 or more than \$1,000 for each day of violation and each act of violation.



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 12/21/2021

PROJECT NUMBER: SP2021-035  
PROJECT NAME: Site Plan for Frost Bank  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Henry Lee  
CASE MANAGER PHONE: 972.772.6434  
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a Site Plan for a Financial Institution with Drive-Through (i.e. Frost Bank) on a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	12/21/2021	Approved w/ Comments

12/21/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Financial Institution with Drive-Through (i.e. Frost Bank) on a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6488 or email hlee@rockwall.com. January 4, 2022 is the deadline to have all comments; please provide staff revised plans before January 4, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2021-035) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Planned Development 9 (PD-9) District standards, and the Development Standards of Article V, that are applicable to the subject property.

I.5 The subject property will be replat after the engineering process to establish the property line and new easements.

M.6 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

M.7 Site Plan:

1. Indicate the building setback adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
2. Please label the fire lanes as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
3. Rockwall Parkway is required to have a 5-foot sidewalk. (Subsection 03.04. B, of Article 11)
4. Signage will be covered at the time of building permit. (Subsection 06.02. F, of Article 05)
5. The dumpster enclosure cannot shall not face public Right-f-Way. Also, provide dumpster enclosure elevations that indicate the materials and height; the dumpster enclosure gate must be self-latching. (Subsection 01.05. B, of Article 05)

M.8 Landscape Plan:

1. All shrubs shall be a 5-gallon minimum. (Subsection 05.01, of Article 08)
2. All trees and scrubs shall be delineated on the plan. Crosshatching the planting areas does not suffice. (Subsection 05.01, of Article 08)
3. Indicate the landscape buffers required along Rockwall Parkway and Horizon Road. The buffers shall include a berm, shrubs, and 1 canopy and 1 accent tree per 50-feet of frontage. There will need to be 4 canopy and 4 accent trees along Rockwall Parkway and Horizon Road. (Subsection 06.02. E, of Article 05)

M.9 Treescape Plan

1. Remove the fee table from the plans. The mitigation balance is zero as there are more inches being planted than removed. (Subsection 03.01. G, of Article 09)

M.10 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one-foot candle. In this the 0.2 FC is exceeded over the property line. Please make the necessary corrections to meet the UDC requirements. (Subsection 03.03. G, of Article 07)

M.11 Building Elevations:

1. According to the definition of masonry within Subsection 02.01, of Article 13 stucco, ACM panels, and limestone veneer are not masonry. Masonry materials by the Unified Development Code definition are Brick, Natural or Quarried Stone, Cast or Cultured Stone, and Custom Concrete Burnished Blocks. If requested as a variance you would be requesting a 100% non-masonry building that is required to be 90% masonry. This would be a requested variance to the UDC per a variance request letter. (Subsection 05.01. C.2, of Article 05)
2. Indicate the height of the parapet. The parapet must be finished on both sides with the same material as the exterior facing wall. (Subsection 04.01, of Article 05)

I.12 Please inform staff of any variances that will be requested along with the required compensatory measures. At this time staff has identified 1 variance: [1] to utilize no masonry material. Per the Unified Development Code Subsection 09.01, of Article 11, two (2) compensatory measures are required for each variance requested, which none have been provided. The variances are discretionary decision for the Planning and Zoning Commission.

M.13 Provide staff with a variance request letter outlining the variances requested, the reasons for the request, and the subsequent compensatory measures. (Subsection 09.01, of Article 11)

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on January 4, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 11, 2022 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on December 28, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on January 11, 2021.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Amy Williams	12/21/2021	Approved w/ Comments

12/21/2021: General Items:

- See markups
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures or signage allowed in easements.
- Retaining wall 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Must include a 10' utility easement along street frontage

Drainage Items:

- Detention is required. Manning's C-value is by zoning
- No vertical walls are allowed in detention easements
- All drainage to the detention pond which is to drain to inlet offsite

Water and Wastewater Items:

- Only one use allowed off a dead end line.
- Must connect to a min. 8" public sewer line.

Roadway Paving Items:

- Parking to be 20'x9'
- Drive aisles to be a min. 24' wide
- Fire lane to have a min. radius of 20' if buildings are less than 30' tall. If any building is over 30' tall, the fire lane min. radius is 30'.
- Fire lane to be platted
- Must install a 5' wide sidewalk along Rockwall Parkway.
- Drive through lanes must be 13' (b-b) minimum

Landscaping:

- No trees to be within 5' of any public water, sewer, or storm line that is less than 10" in diameter.
- No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.
- No shrubs or trees on the sewer line along Horizon

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/20/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/20/2021	Approved
No Comments			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. SP2021-035

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Address not available

SUBDIVISION Allen Anderson Addition

LOT 2 BLOCK 2

GENERAL LOCATION Northwest corner of Rockwall Parkway and FM 3097

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-009

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Financial Institution with Drive-Through

ACREAGE 1.198

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Frost Bank

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Ross Wood

CONTACT PERSON Priya Acharya

ADDRESS 3833 Roger Road

ADDRESS 2201 E. Lamar Blvd. Suite 200E

CITY, STATE & ZIP San Antonio, Texas, 78251

CITY, STATE & ZIP Arlington, Texas, 76006

PHONE (210) 220-5842

PHONE (817) 467-7700

E-MAIL ross.wood@frostbank.com

E-MAIL priyaa@wierassociates.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ross Wood [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$                      TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17<sup>th</sup> DAY OF December, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND PERMITTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

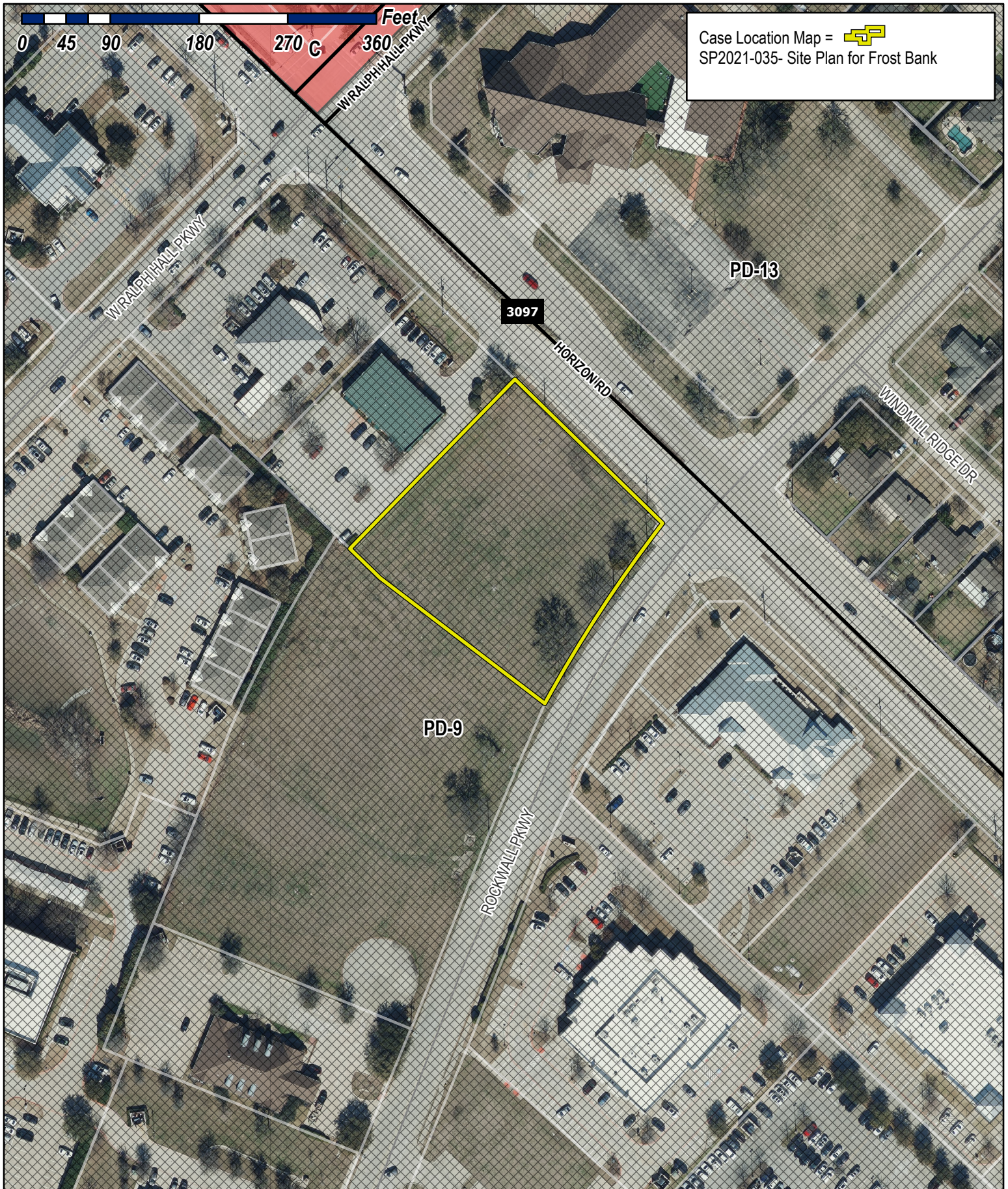
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF December, 2021


OWNER'S SIGNATURE

*Ross Wood*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map =   
 SP2021-035- Site Plan for Frost Bank



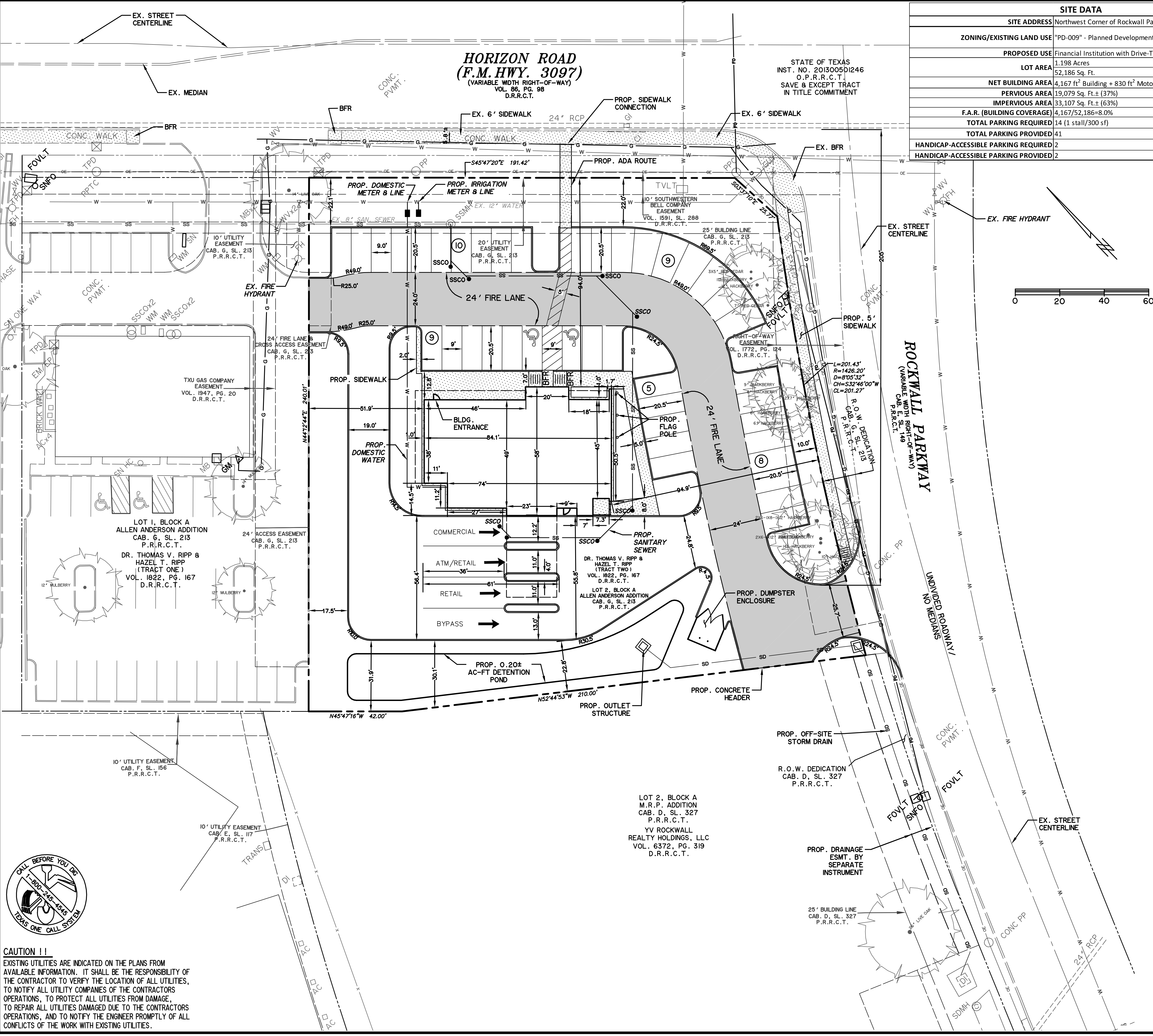
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

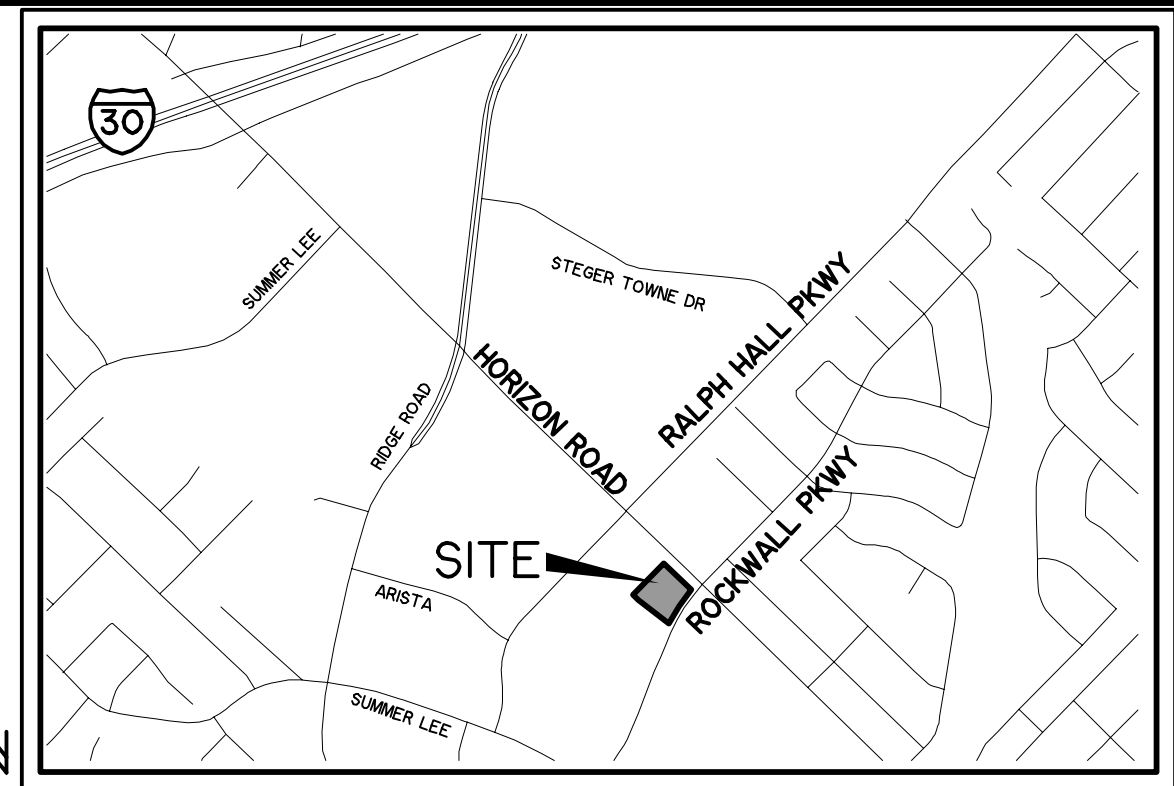
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PRINTED: 12/17/2021 9:27 AM FILE: PRIYAA STB FILE: WIER-PAVING.STB LAST SAVED: 12/17/2021 9:27 AM CITY-SITE-PLAN-21089.DWG



SITE DATA	
SITE ADDRESS	Northwest Corner of Rockwall Parkway and FM 3097
ZONING/EXISTING LAND USE	PD-009 - Planned Development; Vacant
PROPOSED USE	Financial Institution with Drive-Through
LOT AREA	1.198 Acres 52,186 Sq. Ft.
NET BUILDING AREA	4,167 ft <sup>2</sup> Building + 830 ft <sup>2</sup> Motor Bank
PERVIOUS AREA	19,079 Sq. Ft. ± (37%)
IMPERVIOUS AREA	33,107 Sq. Ft. ± (63%)
F.A.R. (BUILDING COVERAGE)	4,167/52,186=8.0%
TOTAL PARKING REQUIRED	14 (1 stall/300 sf)
TOTAL PARKING PROVIDED	41
HANDICAP-ACCESSIBLE PARKING REQUIRED	2
HANDICAP-ACCESSIBLE PARKING PROVIDED	2



VICINITY MAP  
NOT TO SCALE

TOPOGRAPHIC LEGEND	
BOL	BOLLARD
CI	CURB INLET
EB	ELECTRIC BOX
EM	ELECTRIC METER
FB	FIBER OPTIC VAULT
GM	GAS METER
GTS	GAS TEST STATION
GUY	GUY WIRE
HWL	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IRF	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE W/CONDUIT
PPC	POWER POLE W/LIGHT POLE
PPF	POWER POLE W/TRANSFORMER
RCP	CONCRETE STORM DRAIN PIPE
RPTC	POWER POL W/CONDUIT AND TRANSFORMER
SDMH	STORM DRAIN MANHOLE
SGH	UNDERGROUND TELEPHONE SIGN
SNT	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPO	TELEPHONE PEDestal
TMB	TRAFFIC SIGNAL BOX
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER PAD
TSP	TRAFFIC SIGNAL POLE
TVLT	TRAFFIC SIGNAL VAULT
WM	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVLT	WATER VAULT
UE	UNDERGROUND ELECTRIC LINE
UL	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
US	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
UG	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE

SITE LEGEND	
[Symbol]	PROP. FIRE LANE & CROSS ACCESS EASEMENT
[Symbol]	PROP. SIDEWALK
[Symbol]	PROPOSED 12" OR SMALLER WATER MAIN
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED 12" OR SMALLER SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED GRATE INLET
[Symbol]	PROPOSED CURB INLET
[Symbol]	HANDICAP-ACCESSIBLE PARKING STALL
[Symbol]	BARRIER FREE RAMP
[Symbol]	PROPERTY LINE
[Symbol]	LIGHT POLE
[Symbol]	MEASUREMENT TO BACK OF CURB
[Symbol]	PROPOSED DROP INLET
[Symbol]	PROPOSED JUNCTION BOX
[Symbol]	PROPOSED SANITARY SEWER CLEANOUT

- NOTE:**
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADII WITHIN PROPERTY ARE 2.5' B/C UNLESS SPECIFIED OTHERWISE.
  - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ON-SITE PAVEMENT SHALL BE:
- |            |                                 |
|------------|---------------------------------|
| PARKING:   | 5' REINFORCED CONCRETE PAVEMENT |
| FIRE LANE: | 6' REINFORCED CONCRETE PAVEMENT |
| DUMPSTER:  | 7' REINFORCED CONCRETE PAVEMENT |

OWNER: THOMAS AND HAZEL RIPP  
2266 LAFAYETTE LNDG  
HEATH, TEXAS 75032

DEVELOPER/APPLICANT: FROST BANK  
3833 ROGER ROAD  
SAN ANTONIO, TEXAS 78251  
PHONE: (210)-220-5842  
CONTACT: ROSS WOOD

ENGINEER: WIER & ASSOCIATES, INC.  
2201 E. LAMAR BLVD., STE 200E  
ARLINGTON, TEXAS 76006  
PHONE: (817) 467-7700  
CONTACT: PRIYA ACHARYA, P.E.  
PriyaA@WierAssociates.com

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

## SITE PLAN FROST BANK

SOUTHWEST CORNER OF HORIZON RD. AND ROCKWALL PKWY.  
LOT 2, BLOCK A  
ALLEN ANDERSON ADDITION  
CITY OF ROCKWALL, TEXAS

CASE # \_\_\_\_\_  
EXISTING ZONING: PD-009  
PROPOSED LAND USE: FINANCIAL  
INSTITUTION W/ DRIVE-THRU

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS

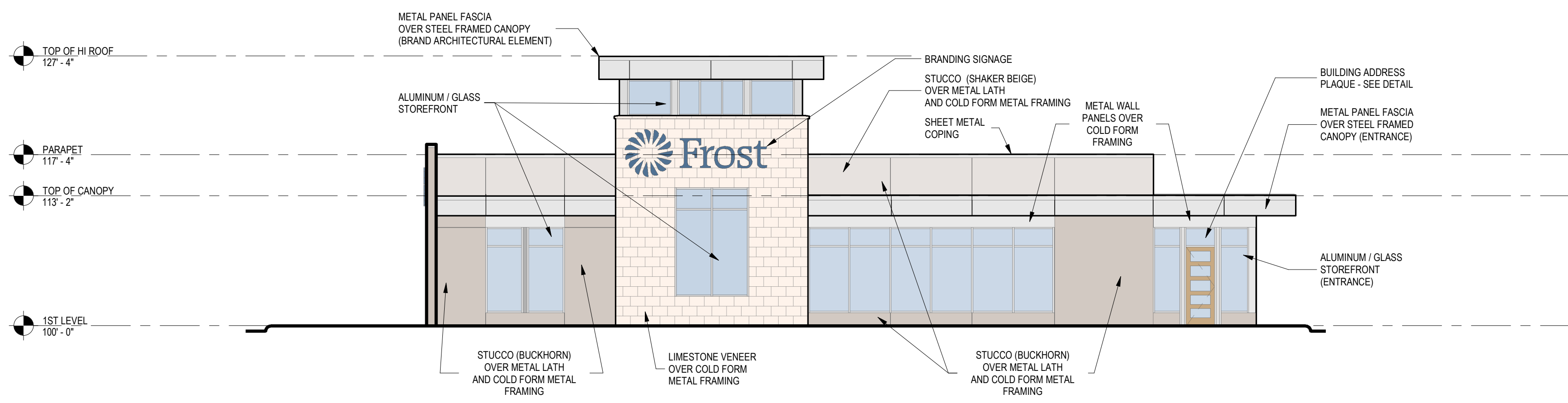
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776    www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
Prepared By/Or Under Direct Supervision Of Priya Acharya, PE  
Texas Registration No. 110146 On Date Shown Below.

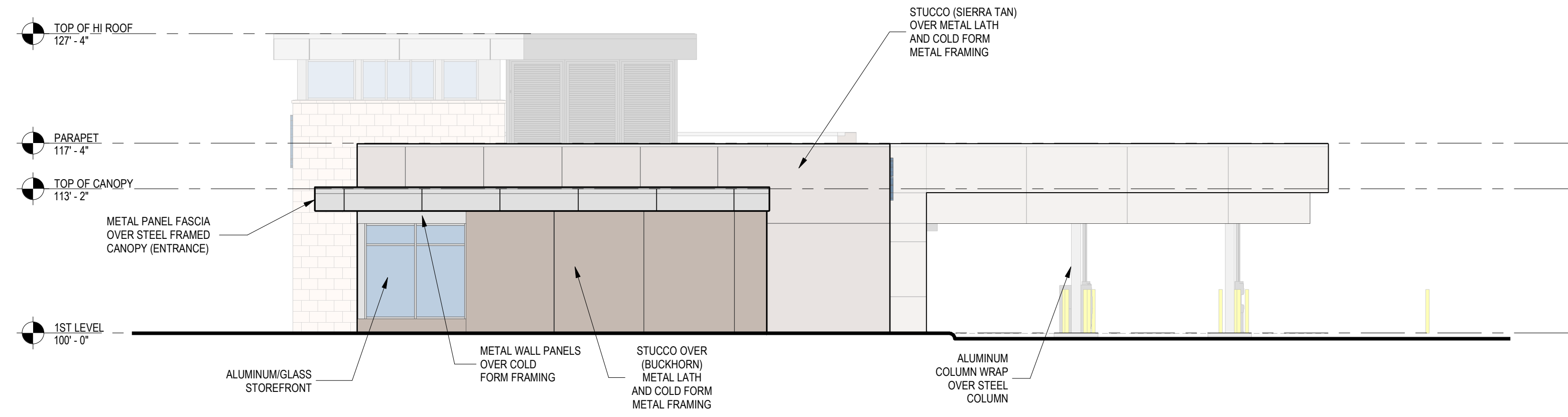
DATE: 12/17/2021  
W.A. No. 21089



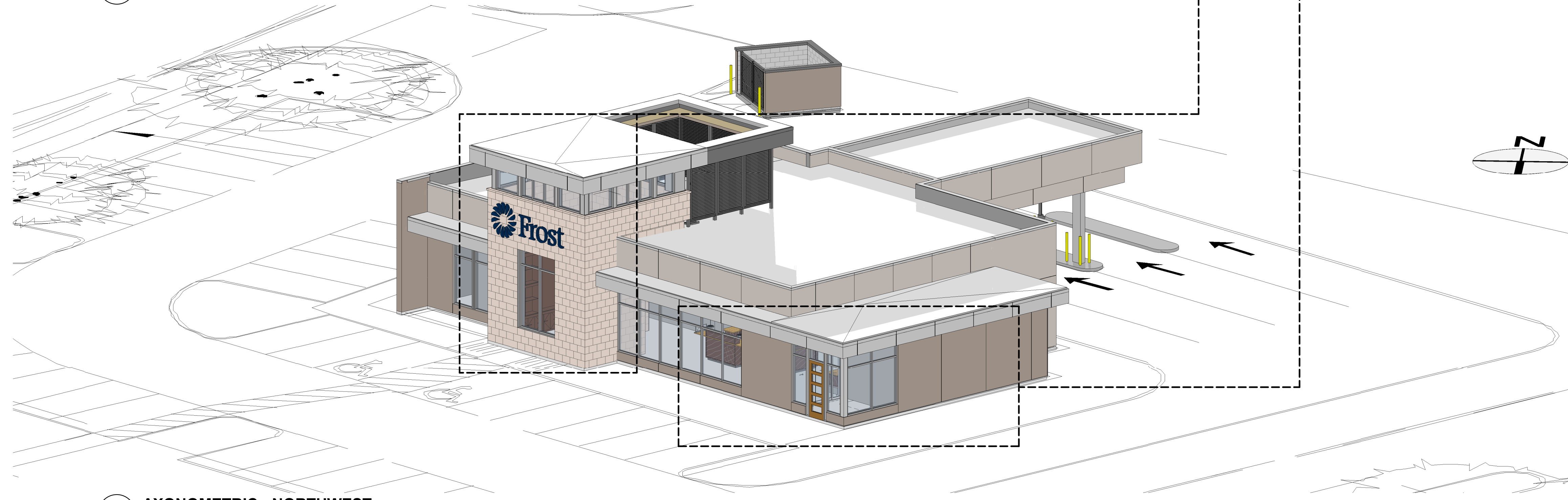
**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



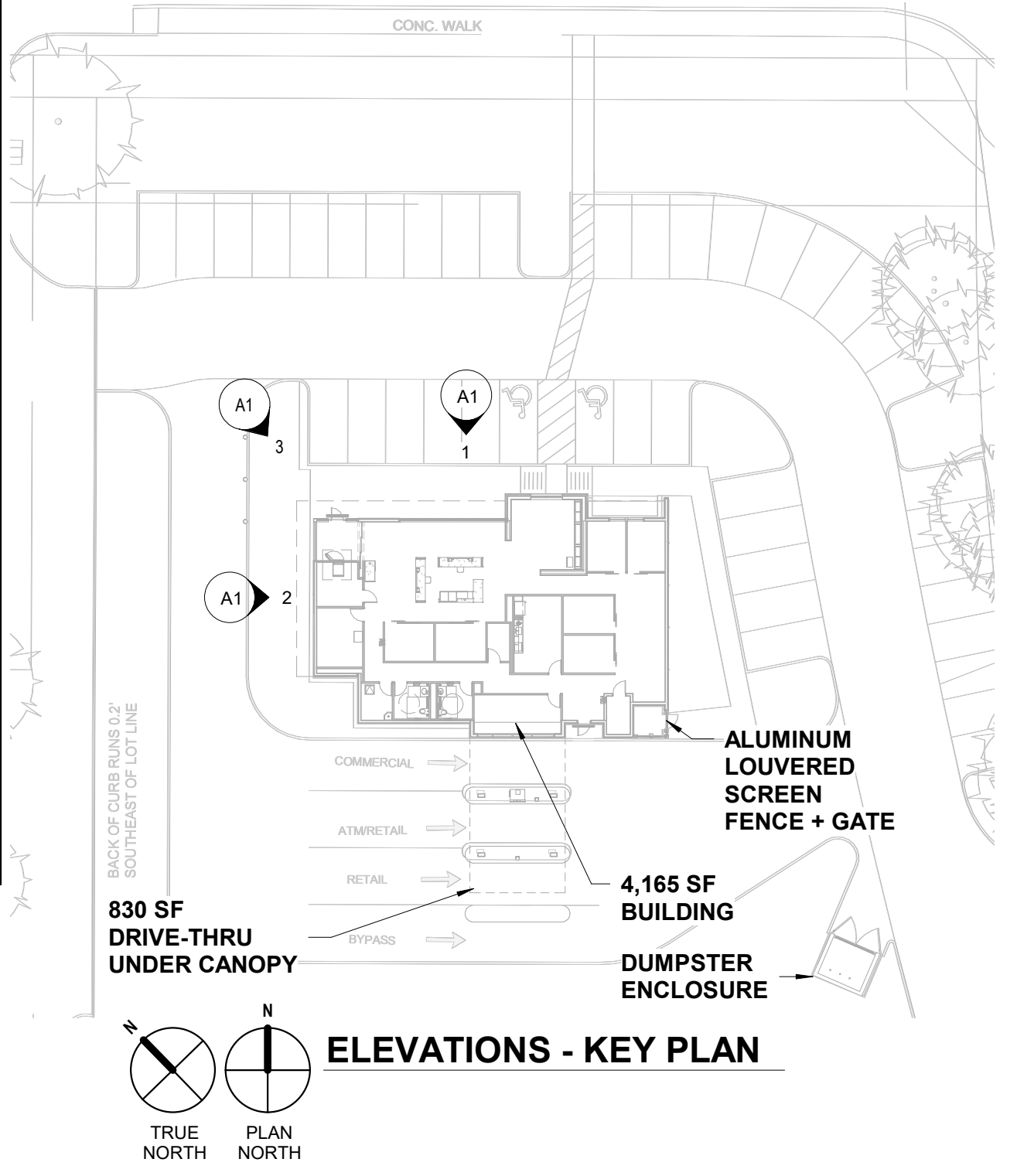
**3 AXONOMETRIC - NORTHWEST**  
N.T.S.

**6 REPRESENTATIVE PROJECT PHOTOGRAPHS**  
N.T.S.



**EXTERIOR MATERIALS SCHEDULE**

MATERIAL	AREA	PERCENTAGE
<b>WEST ELEVATION (SIDE)</b>		
ACM PANELS	13 SF	1%
LIMESTONE VENEER	209 SF	14%
STUCCO	1228 SF	85%
<b>NORTH ELEVATION (FRONT)</b>		
ACM PANELS	52 SF	5%
LIMESTONE VENEER	334 SF	32%
STUCCO	658 SF	63%
<b>Grand total</b>	<b>2494 SF</b>	



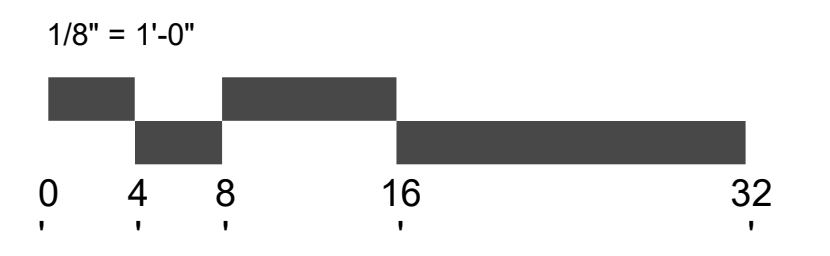
**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF

HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A1**

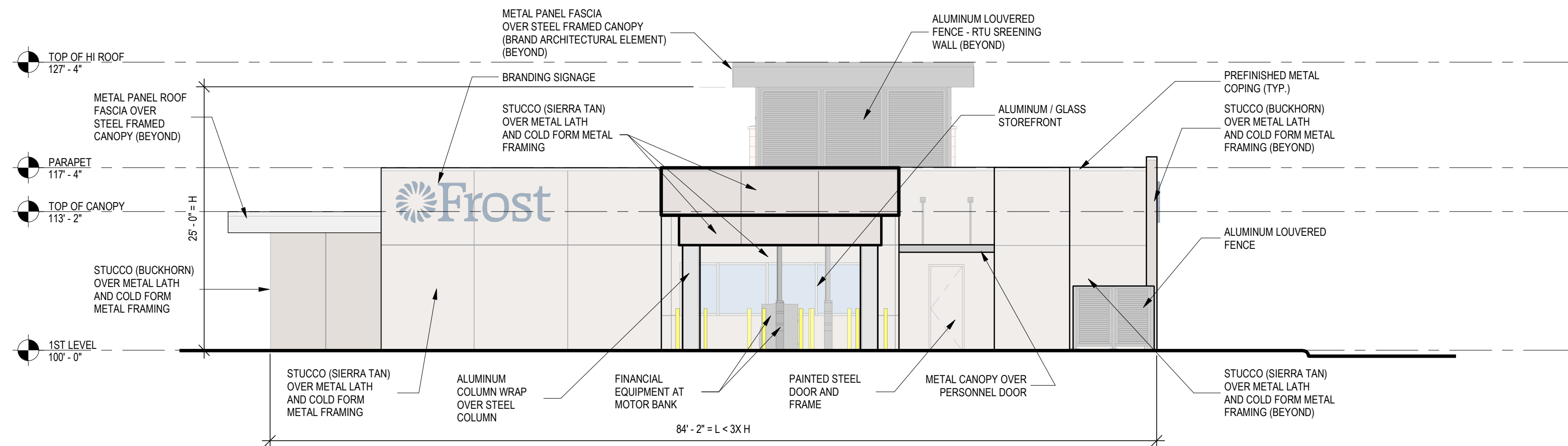
THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.

DATE: 12/17/2021

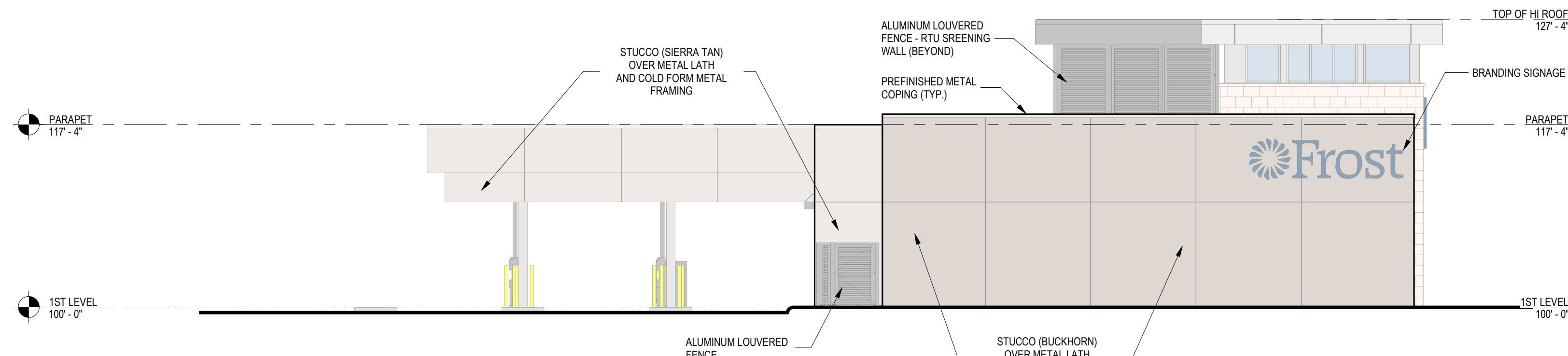
**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com  
Firm Reg. #F-16549



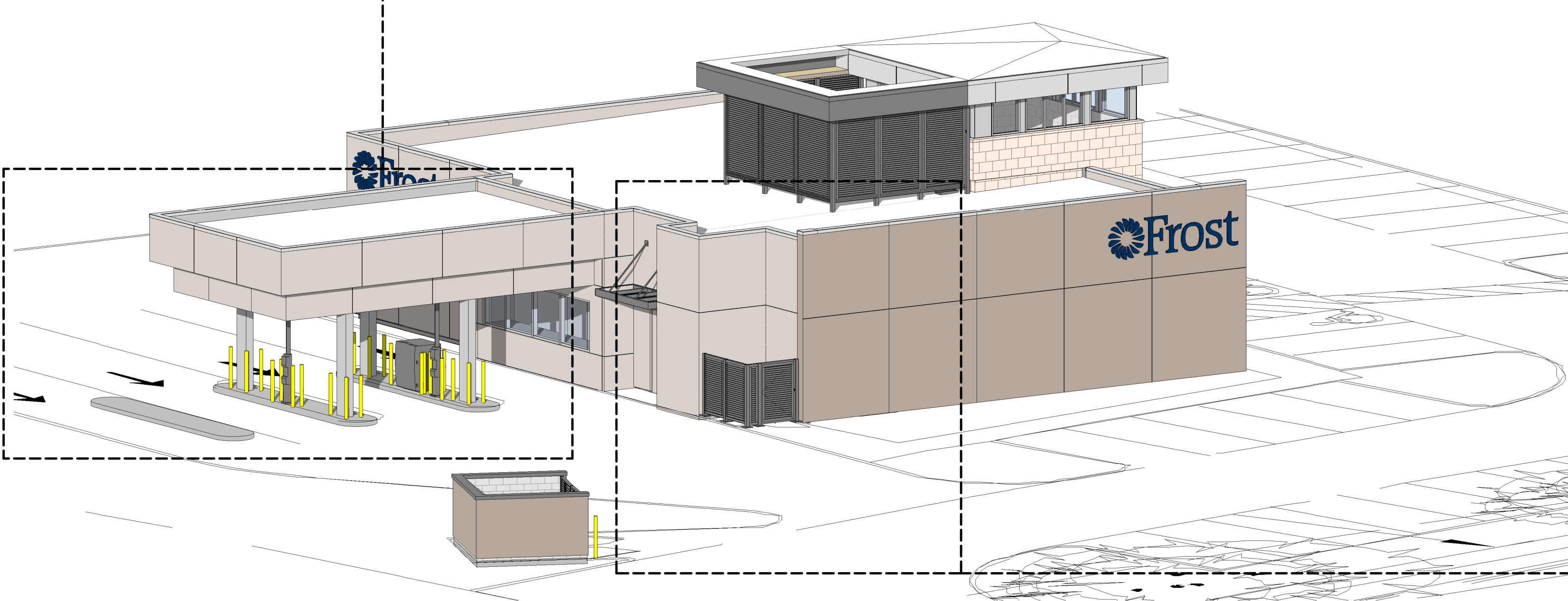
DATE: 12/17/2021



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



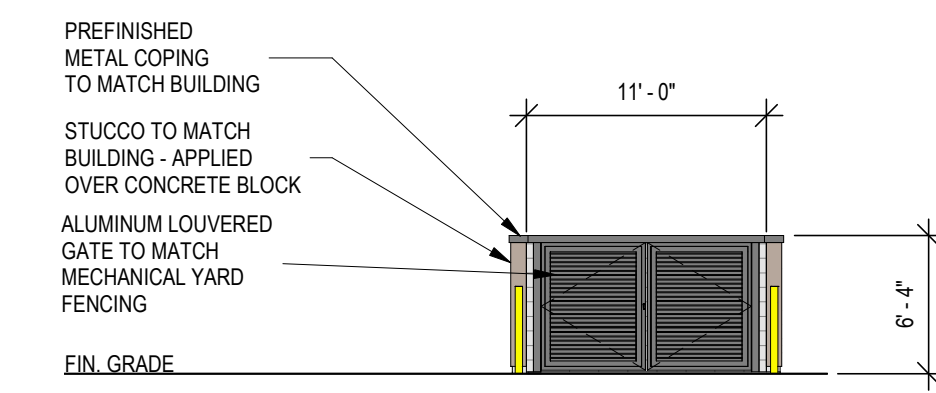
**2 EAST ELEVATION**  
1/8" = 1'-0"



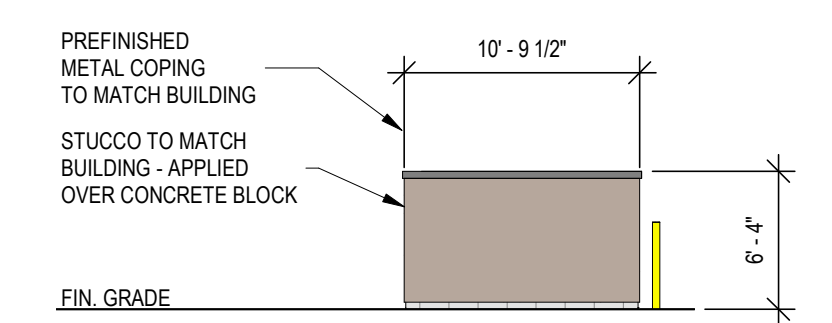
**3 AXONOMETRIC - SOUTHEAST**



**4 REPRESENTATIVE PROJECT PHOTOGRAPHS**  
1/8" = 1'-0"



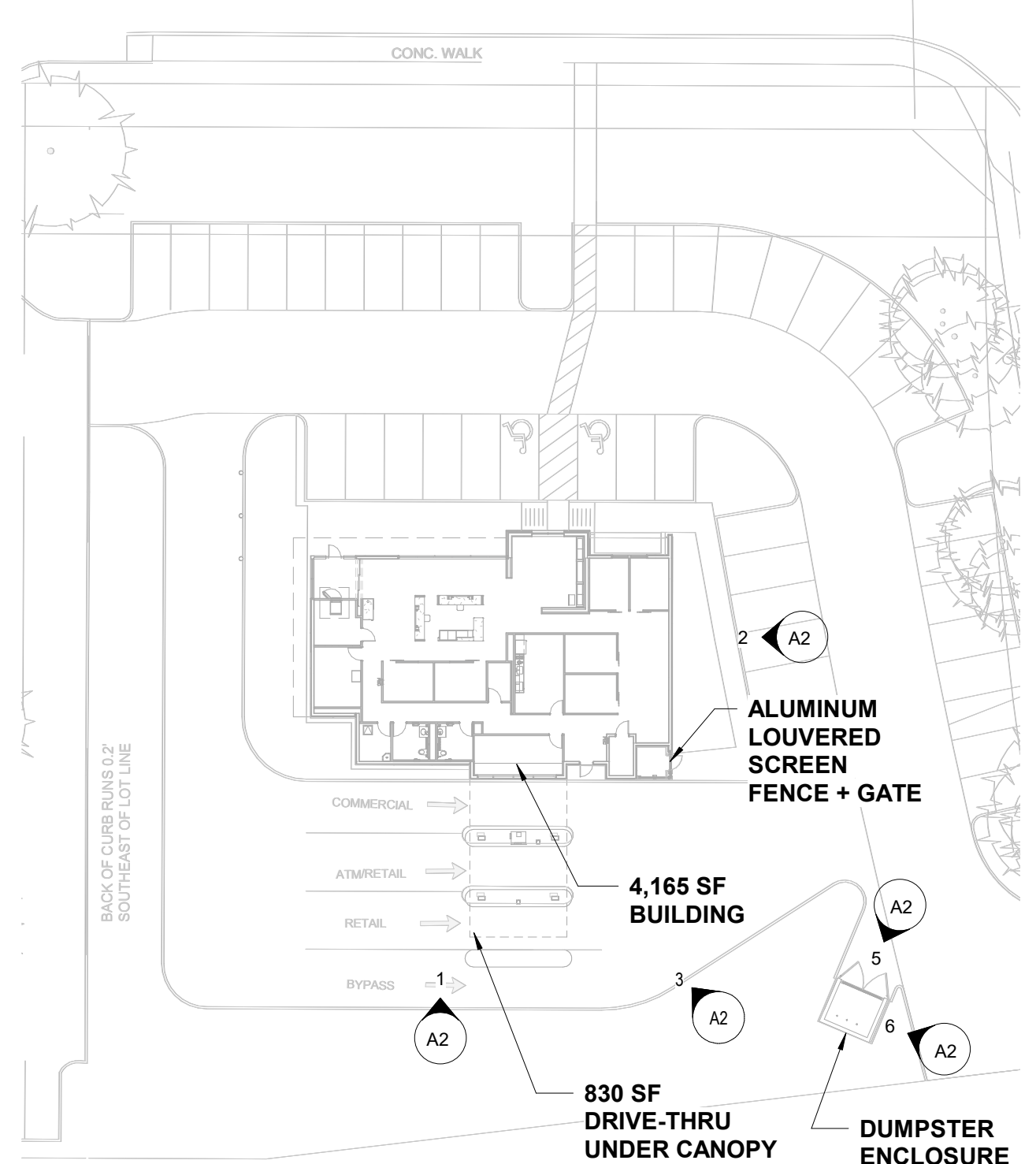
**5 DUMPSTER ENCLOSURE**  
1/8" = 1'-0"



**6 DUMPSTER ENCLOSURE**  
1/8" = 1'-0"

**EXTERIOR MATERIALS SCHEDULE**

MATERIAL	AREA	PERCENTAGE
<b>EAST ELEVATION (SIDE)</b>		
LIMESTONE VENEER	211 SF	4%
STUCCO	4988 SF	96%
<b>SOUTH ELEVATION (REAR)</b>		
STUCCO	1483 SF	100%
<b>Grand total</b>	<b>6681 SF</b>	



**ELEVATIONS - KEY PLAN**

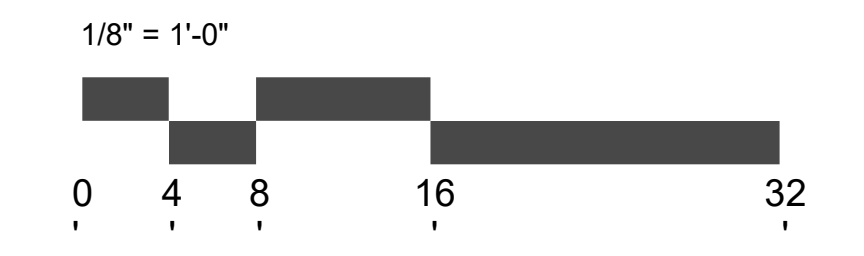
**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF

HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

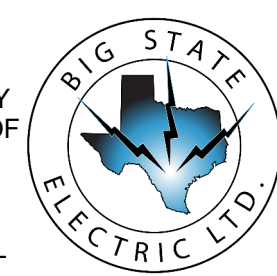
DATE: 12/17/2021

**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A2**

THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.  
DATE: 12/17/2021



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com #F-16549  
Firm Reg.



**W&A**  
**WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



**Hahnfeld  
Hoffer  
Stanford**

architects  
planners  
interiors







- 1 METAL WALL PANELS:  
ZINC COTE
- 2 LIMESTONE VENEER:  
IVORY
- 3 PORTLAND CEMENT PLASTER:  
SHAKER BEIGE
- 4 PORTLAND CEMENT PLASTER:  
BUCKHORN
- 5 METAL COPING:  
SIERRA TAN
- 6 METAL COPING:  
BUCKSKIN



**BIG STATE ELECTRIC**  
 LTD.  
 8075 Arrow Road  
 San Antonio, TX 78217  
 (210) 236-1001  
 www.bigstateelectric.com  
 P.O. Box 11548  
 Fort Worth, TX 76111



**CCA**  
 LANDSCAPE  
 ARCHITECTURE  
 WIER & ASSOCIATES, INC.  
 ARCHITECTURE | INTERIORS | LAND PLANNING



**Hahnfeld  
 Hoffer  
 Stanford**

architects  
 planners  
 interiors



**Frost**

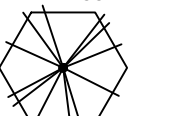

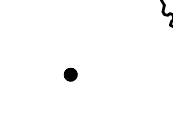

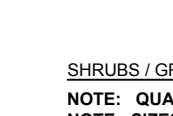
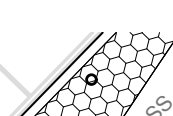
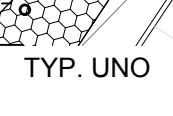



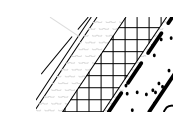

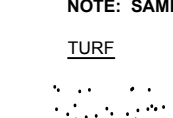
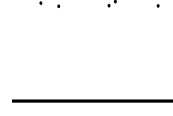









FROST BANK  
**ROCKWALL FINANCIAL  
 CENTER**

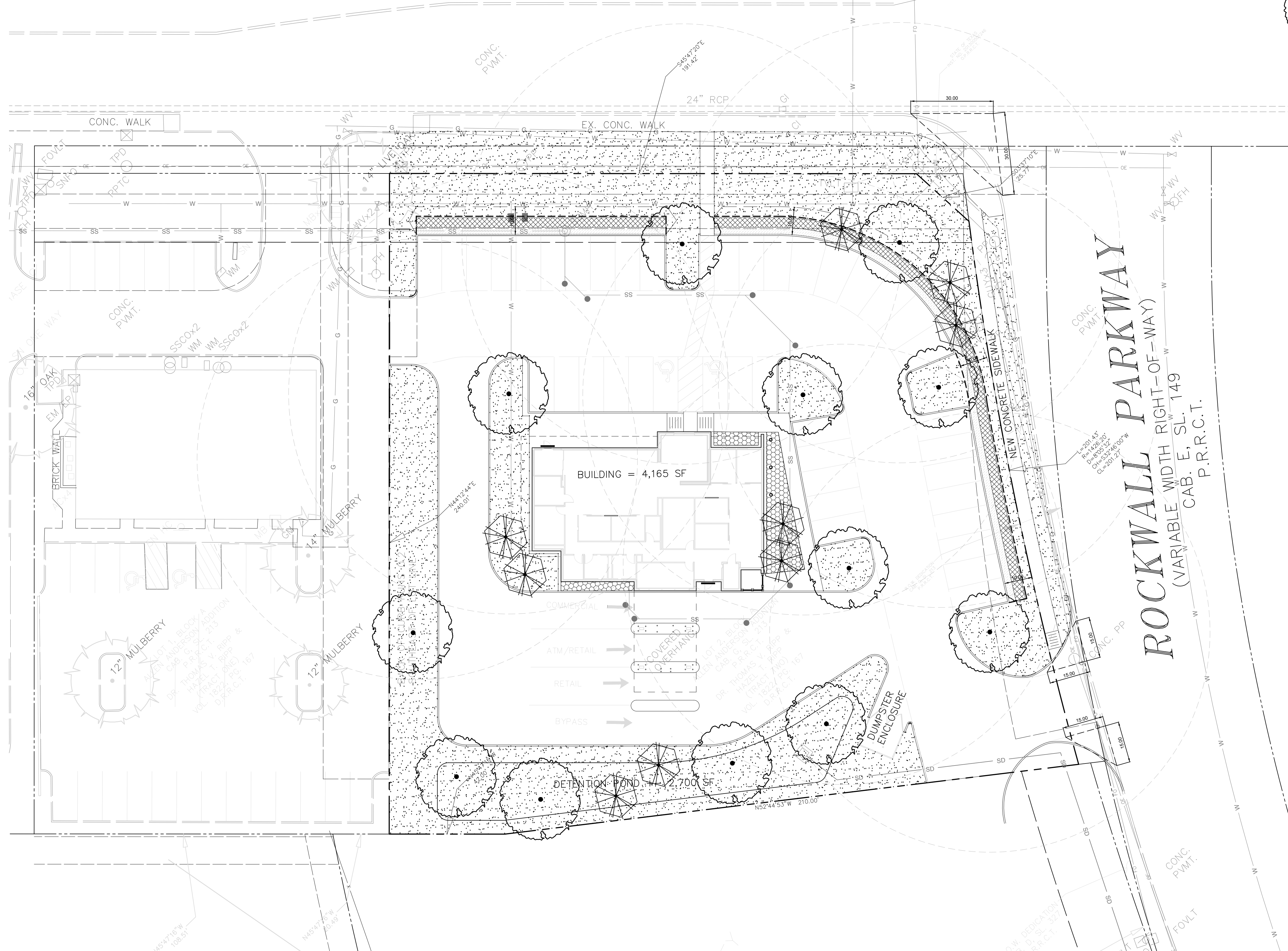
**MATERIAL FINISH BOARD**

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.

## PLANT AND MATERIAL SCHEDULE - Preliminary Selection List

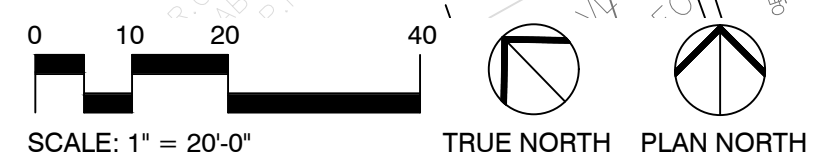
TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT.	CAL.	SIZE	REMARKS	QTY
NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL PER SPECIFICATIONS. NOTE: SIZES AND SPECIES LISTED ARE REQUIRED BY ROCKWALL UDC.							
ACCENT TREE OPTIONS:							
	CMN	EVE'S NECKLACE / SOPHORA AFFINIS	CONT. OR B&B	200 GAL. MIN.	10'-12" H X 5' W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, MULTI-TRUNK, NO CROSSING OR RUBBING BRANCHES	X
	SM	SHANTUNG MAPLE / ACER TRUNCATUM 'BABY DRAGON'	CONT. OR B&B	4" CAL. MIN.	10'-12" H X 5' W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, SINGLE TRUNK, CENTRAL LEADER	X
CANOPY TREE OPTIONS:							
	LE	LACEBARK ELM / ULMUS PARVIFOLIA	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	OM	OCTOBER GLORY MAPLE / ACER RUBRUM 'OCTOBER GLORY'	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	CO	CHINKAPIN OAK / QUERCUS MUEHLENBERGII	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, NO CROSSING BRANCHES	X
	TD	TEXAS RED OAK / QUERCUS BUCKLEYI	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	CM	CADD MAPLE / ACER SACCHARUM 'CADD'	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
	BC	BALD CYPRESS / TAXODIUM DISTICHUM	CONT. OR B&B	4" CAL. MIN.	12'-15" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	X
SHRUBS / GRASSES:							
NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL PER SPECIFICATIONS. NOTE: SIZES AND SPECIES LISTED ARE REQUIRED BY ROCKWALL UDC.							
SPACING:							
	AS	AUTUMN SAGE / SALVIA GREGGII	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	GCM	GULF COAST MUHLY / MUHLENBERGIA CAPILLARIS 'GULF COAST - REGAL MIST'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C., 0.18 PLANTS / SF		X
	HDS	HENRY DUELBURG SAGE / SALVIA PARVIFLORA 'HENRY DUELBURG'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	LM	LINDHEIMER'S MUHLY / MUHLENBERGIA LINDHEIMERI	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C., 0.12 PLANTS / SF		X
	ISO	INLAND SEA OATS / CHASMANTHUM LATIFOLIUM	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	PS	PINK SKULLCAP / SCUTELLARIA SUFFRUTESCENS	1 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	YRY	YELLOW YUCCA / HESPERALOE PARVIFLORA 'YELLOW'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 30" O.C., 0.18 PLANTS / SF		X
	RY	RED YUCCA / HESPERALOE PARVIFLORA	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	DYH	DWARF YALPON HOLLY / ILEX VOMITORIA 'NANA' VARIETY	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	KA	KALIDOSCOPE ABELIA / ABELIA X GRANDIFLORA 'KALIDOSCOPE'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	RCA	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 24" O.C., 0.28 PLANTS / SF		X
	DBH	DWARF BURFORD HOLLY / ILEX CORNUTA 'DWARF BURFORD'	3 GAL.	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C., 0.12 PLANTS / SF, MIN. 24"		X
	TSG	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	3 GAL.	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C., 0.12 PLANTS / SF, MIN. 24" 'GREEN CLOUD'		X
	LS	BIG BLUE LIRIOPE / LIRIOPE MUCSARI 'BIG BLUE' (DEEP SHADE AT OVERHANGS OF BUILDING ON NORTH)	4" POT	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 12" O.C., 1.25 PLANTS / SF		X
GRASSES / TURF:							
NOTE: QUANTITIES ARE APPROXIMATE. FIELD VERIFY. ALL DISTURBED AREAS TO BE GRASSED AND SOIL PREPARED PER SPECIFICATIONS. NOTE: SAMPLES / SUBMITTALS TO BE PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.							
	TURF	BERMUDA GRASS / CYNODON DACTYLON 'TIFFWAY 419'	SOD	SOLID SOD, REF. SPEC 329200			X



### SITE DATA

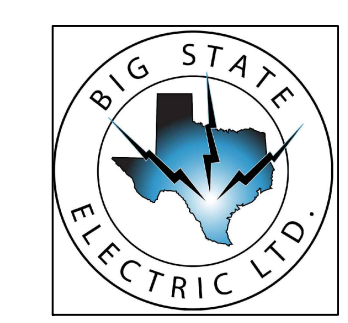
<b>Site Address</b>	Northwest Corner of Rockwall Parkway and FM 3097
<b>Zoning/Existing Land Use</b>	PD-9 - Planned Development, vacant
<b>Proposed Use</b>	Bank
<b>Building</b>	4,165.00 SF
<b>Lot Area</b>	1.20 Acres
<b>Landscape / Open Space Area</b>	58,186.00 SF
	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min. 32% Provided
<b>Pervious Area</b>	18,535.00 SF
<b>Impervious Area</b>	39,651.00 SF
<b>Parking Lot Landscaping</b>	10' Buffer on 2' Berm (determine if allowed in utility easement along FM 3097)
<b>Parking Spaces</b>	18 (1 stall/300 SF)
<b>Landscape Buffer - Street Trees</b>	418.62 LF Frontage - trees restricted due to underground Utilities and Easements One (1) canopy tree and Three (3) accent trees at corner of lot provided
<b>Tree Locations</b>	One tree located min. 80' from parking spaces Trees set back min. 5' from head-in parking
<b>Detention Pond Trees</b>	2,700.00 SF +/- 4 One canopy tree per 750 SF 2 One accent tree per 1,500 SF
<b>Visibility Triangles</b>	As reflected on plan per the UDC
<b>Irrigation</b>	Shall meet all requirements per the UDC
<b>Rights-of-Way &amp; Landscape Buffers</b>	Shall meet all requirements per the UDC - improved with grass (sod)

1 LANDSCAPE PLAN  
1" = 20'-0"



DATE: 12/17/2021

## LANDSCAPE PLAN



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549

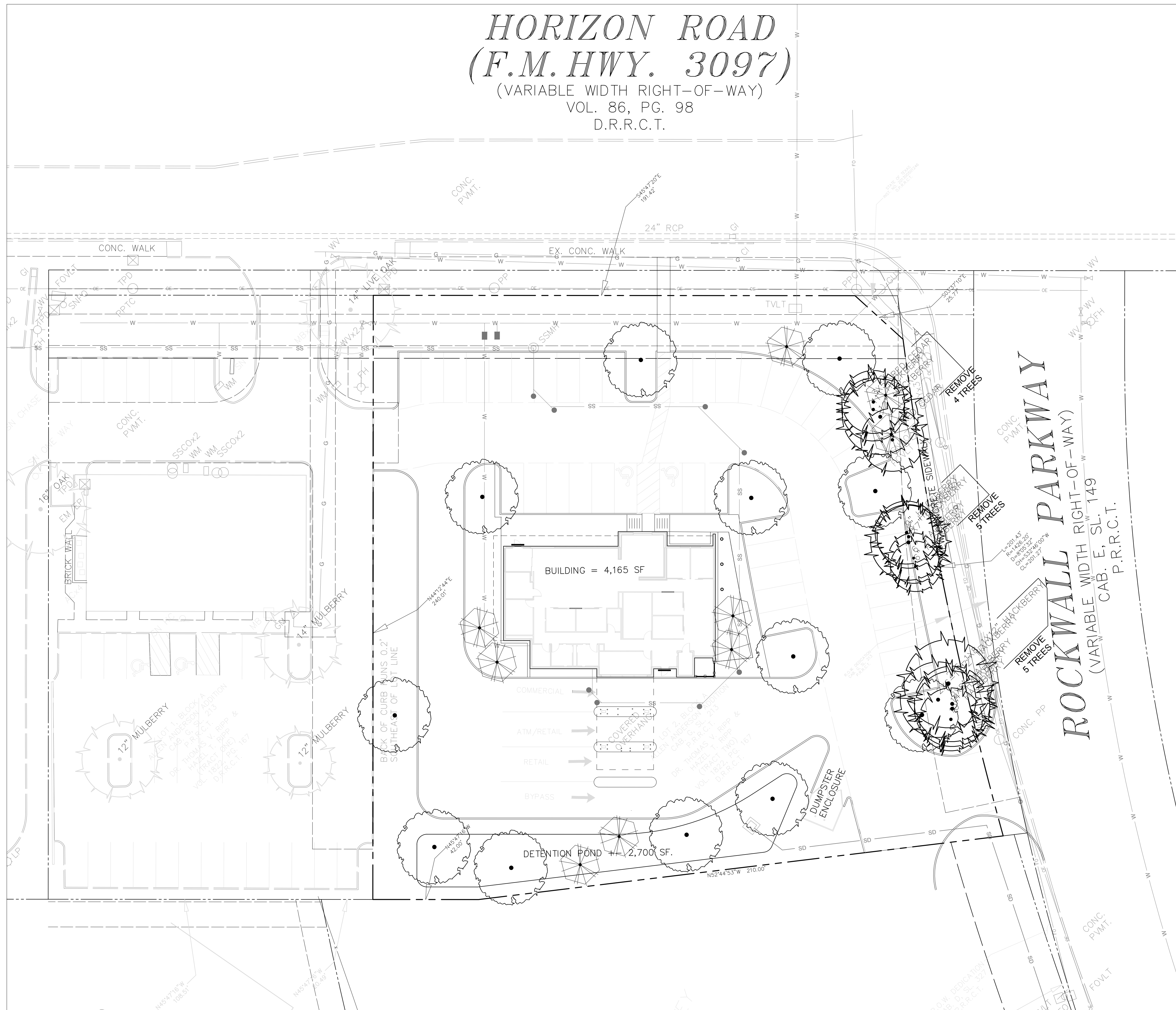


**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**L1**

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



### TREE REMOVAL AND MITIGATION LIST - FROST BANK

Tree Number	Description	Trunk Diameters	Cal Inches	Protected	Removed	Type of Tree	Mitigation Ratio	Cal Inches to Mitigate	Cal Inches Removed	Note
1	HACKBERRY	10"	10	N	Y	Non	0	0.00	10.00	Remove
2	HACKBERRY	14"	14	Y	Y	Secondary	0.5:1	7.00	14.00	Remove
3	HACKBERRY (MT)	(2) 8"	12	Y	Y	Secondary	0.5:1	6.00	12.00	Remove
4	HACKBERRY (MT)	(2) 6", (1) 12"	18	Y	Y	Secondary	0.5:1	9.00	24.00	Remove
5	HACKBERRY (MT)	(2) 6", (1) 8", (1) 12"	22	Y	Y	Secondary	0.5:1	11.00	32.00	Remove
6	HACKBERRY	6"	6	Y	Y	Non	0	0.00	6.00	Remove
7	HACKBERRY	6"	6	Y	Y	Non	0	0.00	6.00	Remove
8	HACKBERRY (MT)	(2) 7"	10.5	Y	Y	Non	0	0.00	14.00	Remove
9	HACKBERRY	8"	8	Y	Y	Non	0	0.00	8.00	Remove
10	HACKBERRY	9"	9	Y	Y	Non	0	0.00	9.00	Remove
11	RED CEDAR	7"	7	Y	Y	Non	0	0.00	7.00	Remove
12	HACKBERRY	12"	12	Y	Y	Secondary	0.5:1	6.00	12.00	Remove
13	HACKBERRY	11"	11	Y	Y	Secondary	0.5:1	5.50	11.00	Remove
14	RED CEDAR (MT)	(3) 5"	10	Y	Y	Non	0	0.00	10.00	Remove
<b>TOTALS:</b>			<b>0</b>	<b>155.5</b>				<b>44.50</b>	<b>175.00</b>	

Tree Classifications	Ratio	Ratio	Fee Per Caliper Inch	
Primary	1.0:1	1.0:1	\$579	Trees 4" to 25"
Secondary Tree	0.5:1	0.5:1	\$290	Hackberry and Cedar 11" to 25"
Featured Tree	2.0:1	2.0:1	\$193	All trees greater than 25"
Non-Protected Tree	0	0	\$135	Any tree less than 4" to 11" for Hackberry and Cedar

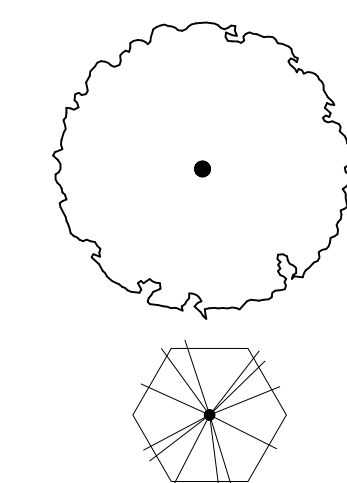
Non-protected Species: All Bois d'Arc, Willow, Cottonwood, Locust and Chinaberry, and Hackberry and Red Cedar trees less than 11" shall be considered non-protected trees and do not require mitigation to be removed.  
Mitigation shall be provided with 4" caliper x min. 7' height trees from the Reclamation/Tree Preservation List. PROVIDE: Minimum of Twelve (12) trees at 4" DBH shall be planted on the site for total of 48".

### EXISTING TREE LEGEND



EXISTING TREES ON SITE TO BE REMOVED

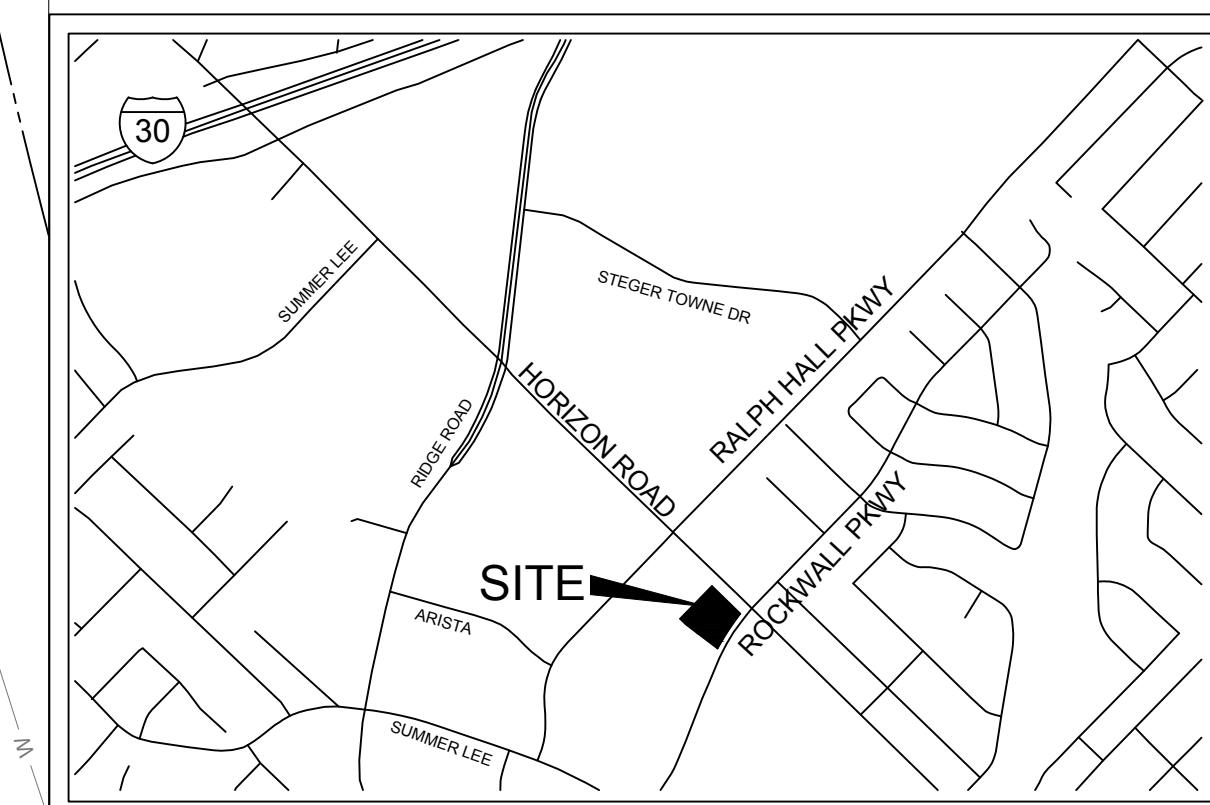
### TREE REPLACEMENT LEGEND



CANOPY TREE - FINAL QUANTITY PENDING UTILITY CONFLICTS  
ACCENT TREE - FINAL QUANTITY PENDING

### SITE DATA

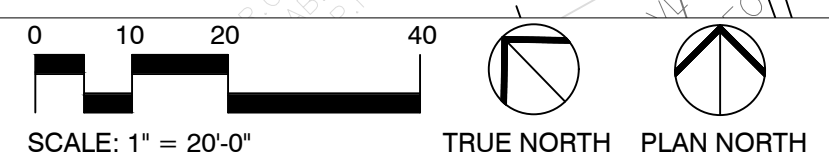
<b>Site Address</b>	Northwest Corner of Rockwall Parkway and FM 3097
<b>Zoning/Existing Land Use</b>	PD-9 - Planned Development, vacant
<b>Proposed Use</b>	Bank
<b>Building</b>	4,165.00 SF
<b>Lot Area</b>	1.20 Acres
<b>Landscape / Open Space Area</b>	58,186.00 SF
	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min.
	18,535.00 SF 32% Provided
<b>Pervious Area</b>	18,535.00 SF
<b>Impervious Area</b>	39,651.00 SF
<b>Parking Lot Landscaping</b>	10' Buffer on 2' Berm (determine if allowed in utility easement along FM 3097)
<b>Parking Spaces</b>	18 (1 stall/300 SF)
<b>Landscape Buffer - Street Trees</b>	418.62 LF Frontage - trees restricted due to underground Utilities and Easements
	One (1) canopy tree and Three (3) accent trees at corner of lot provided
<b>Tree Locations</b>	One tree located min. 80' from parking spaces
	Trees set back min. 5' from head-in parking
<b>Detention Pond Trees</b>	2,700.00 SF +
	4 One canopy tree per 750 SF
	2 One accent tree per 1,500 SF
<b>Visibility Triangles</b>	As reflected on plan per the UDC
<b>Irrigation</b>	Shall meet all requirements per the UDC
<b>Rights-of-Way &amp; Landscape Buffers</b>	Shall meet all requirements per the UDC - improved with grass (sod)



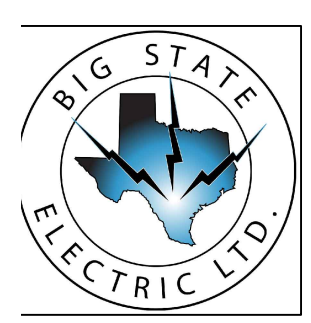
VICINITY MAP  
NOT TO SCALE

DATE: 12/17/2021

1 TREESCAPE PLAN  
1" = 20'-0"



## TREESCAPE PLAN



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549

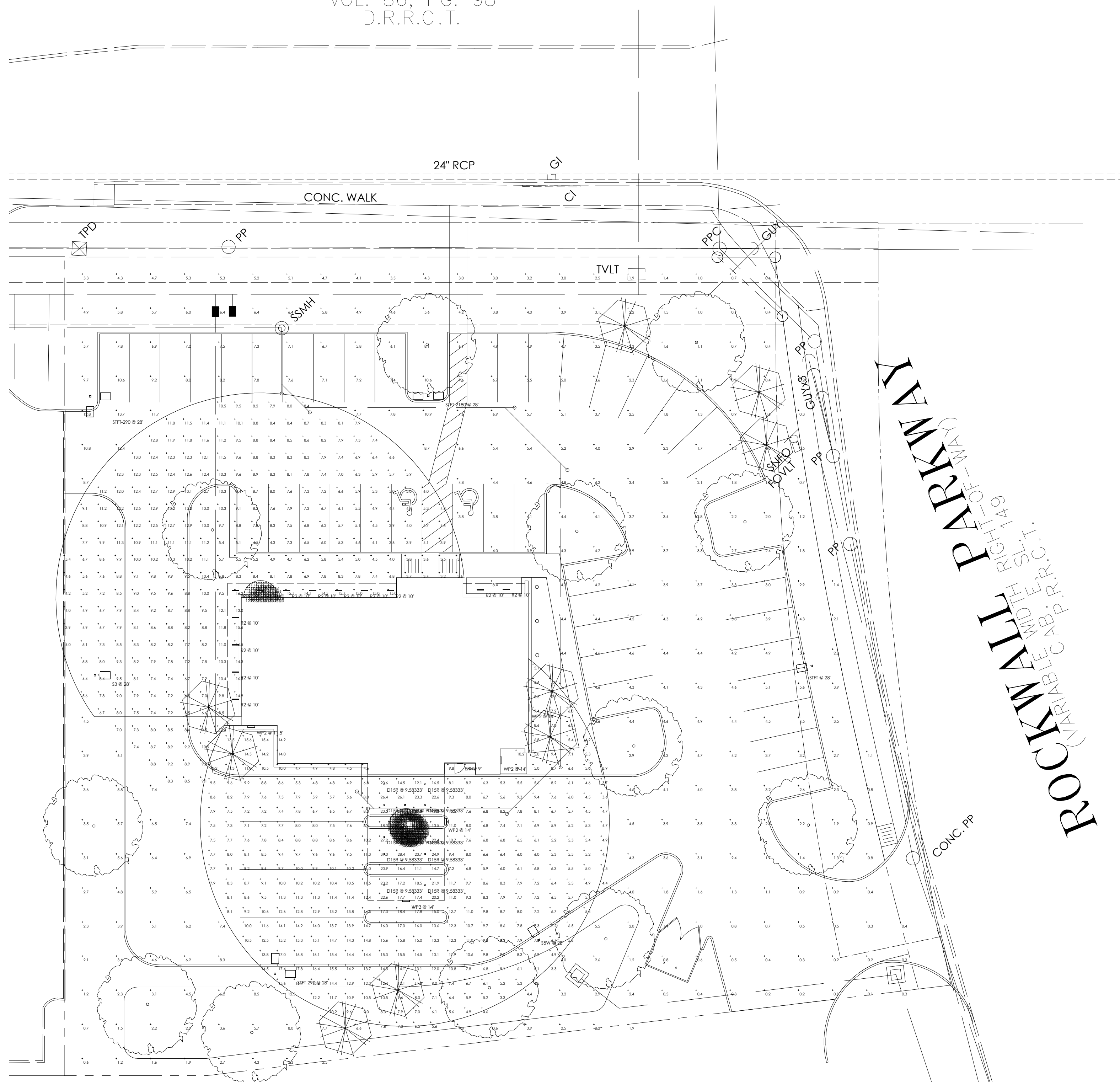


**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

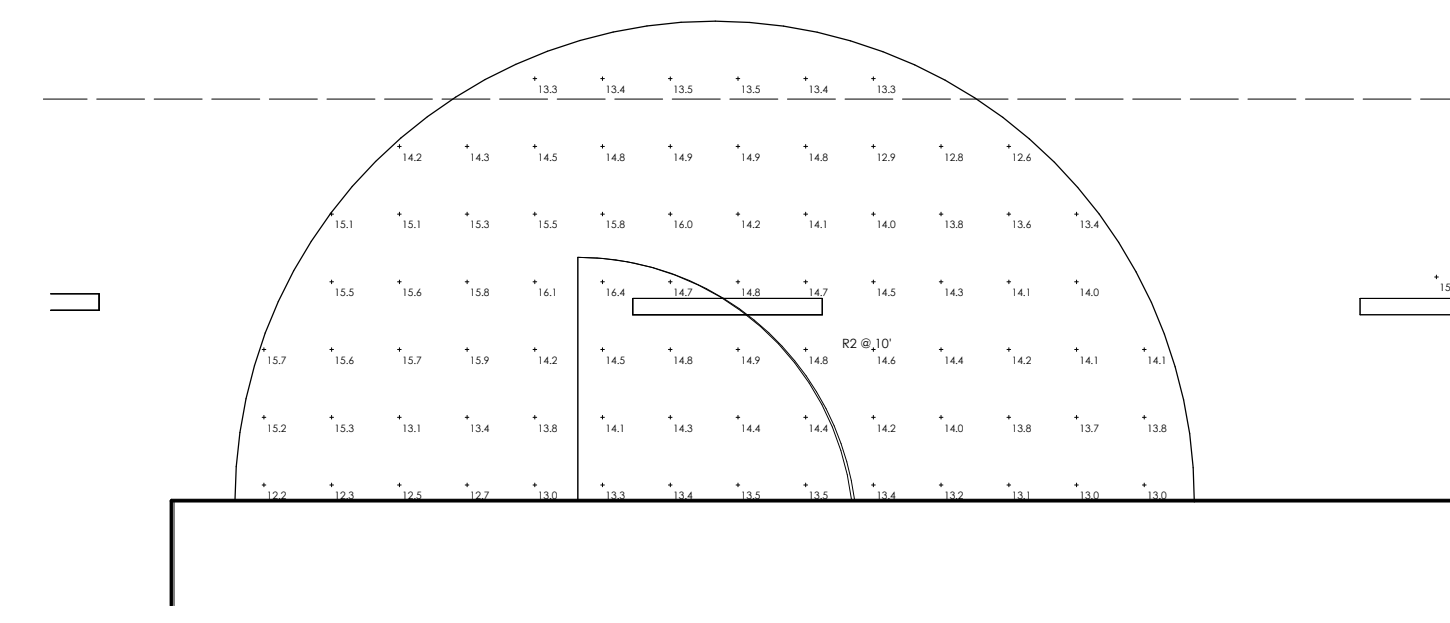
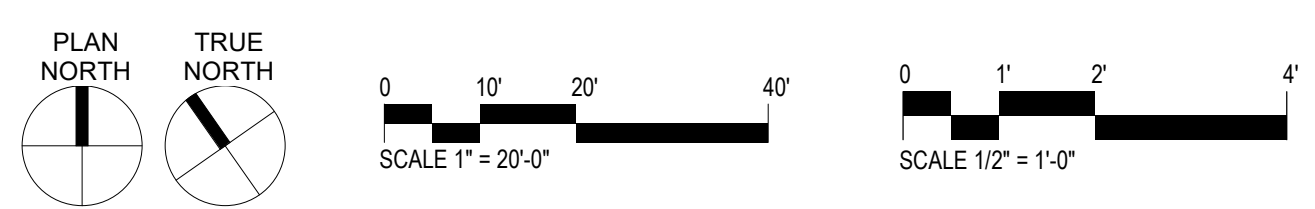
**T1**

# HORIZON ROAD (F.M.HWY. 3097)

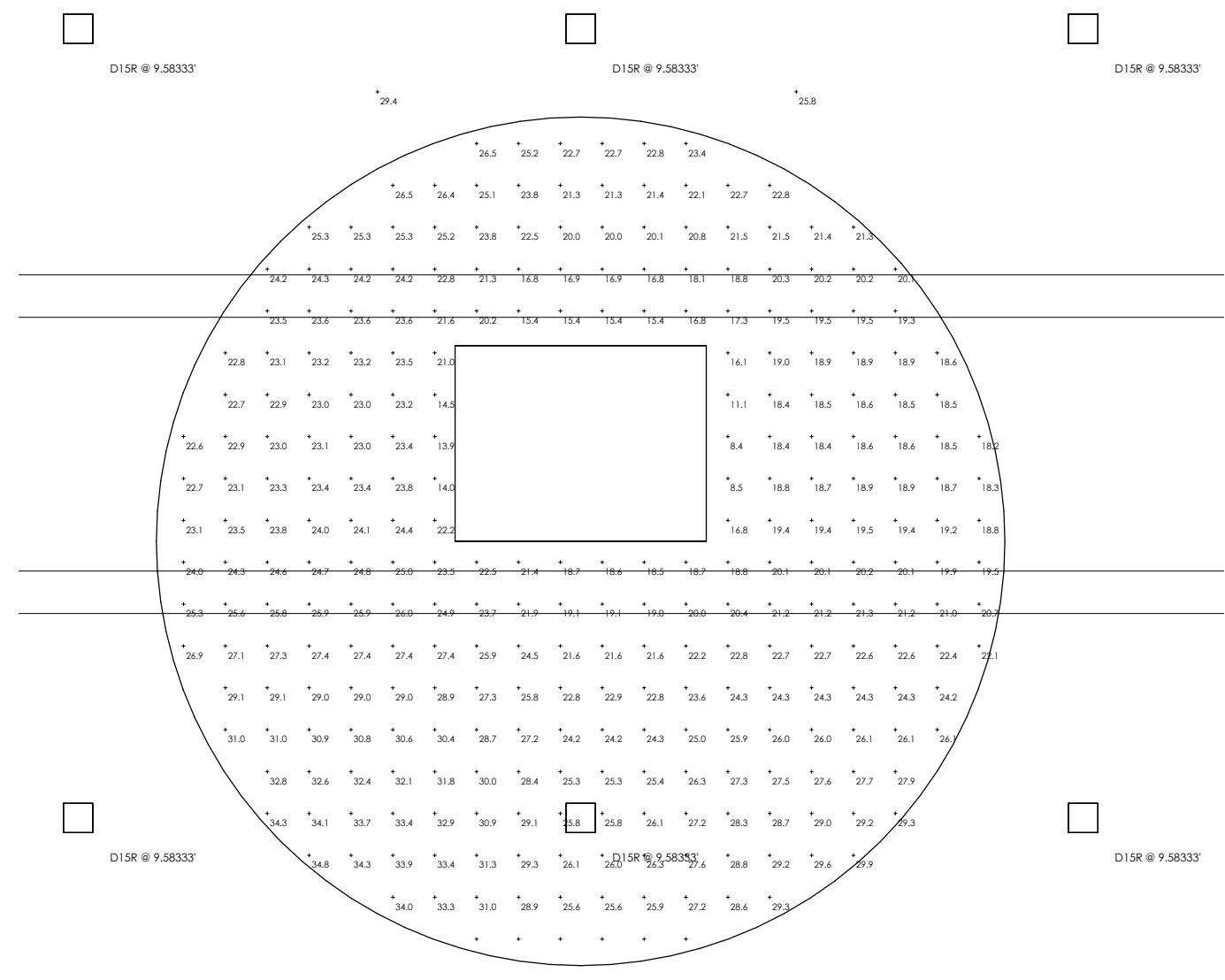
(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.



1 SITE PLAN - PHOTOMETRICS  
EPM1 1" = 20'-0"



2 PHOTOMETRICS - ENTRANCE ATM  
EPM1 1/2" = 1'-0"



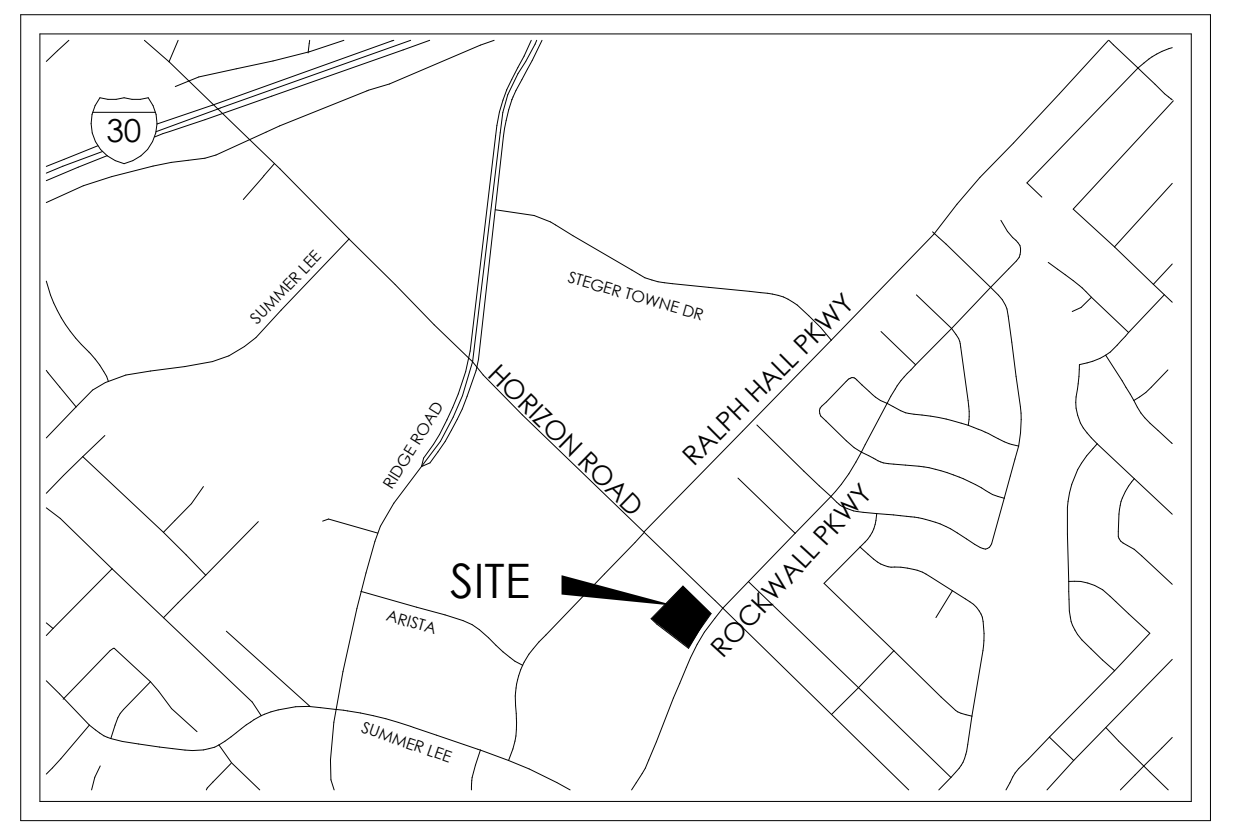
3 PHOTOMETRICS - MOTOR BANK ATM  
EPM1 1/2" = 1'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE THRU ATM S'	+	23.7 fc	34.8 fc	8.4 fc	4.1:1	2.8:1
FRONT ATM S'	+	14.2 fc	16.4 fc	12.2 fc	1.3:1	1.2:1
FRONT ATM 60'	+	8.5 fc	16.5 fc	3.2 fc	5.2:1	2.7:1
SITE	+	3.9 fc	13.7 fc	0.1 fc	137.0:1	39.0:1
DRIVE THRU ATM 40'	+	10.0 fc	31.0 fc	3.3 fc	9.4:1	3.0:1

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	R2	13	Aark Architectural Lighting	SLZL 2 FLP 80CRI 40K 600LMF	Slot 2 LED, 2ft Length, Flushed Lens Position, 80CRI, 4000K LED Boards, 600LMF	1	2192	0.45	23.3
□	S3	1	Lithonia Lighting	DSX2 LED P5 40K T3M MVOLT	DSX2 LED P5 40K T3M MVOLT	1	36864	0.9	321
□	STFT	1	Lithonia Lighting	DSX2 LED P5 40K TTFM MVOLT	DSX2 LED P5 40K TTFM MVOLT	1	37949	0.9	321
□	STFT-290	2	Lithonia Lighting	DSX2 LED P7 40K TTFM MVOLT	DSX2 LED P7 40K TTFM MVOLT	1	45935	0.9	796
□	STFT-2180	1	Lithonia Lighting	DSX2 LED P5 40K TTFM MVOLT	DSX2 LED P5 40K TTFM MVOLT	1	37949	0.9	642
—	WP2	4	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA.	1	7572	0.9	73.2
—	WP3	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K TTFM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TTFM OPTIC, 4000K, @ 1000mA.	1	7711	0.9	73.2
□	S5W	1	Lithonia Lighting	DSX2 LED P5 40K T5W MVOLT	DSX2 LED P5 40K T5W MVOLT	1	39142	0.9	321
—	EM	1	SIGNTEX, INC	MUE10X-T	EXTRUDED ALUMINUM HOUSING, FROSTED PLASTIC ENCLOSURE.	1	494	0.9	10.7
□	D1SR	12	Lithonia Lighting	LDN45Q 40/15 LS4AR LSS	4IN LDN SQUARE, 4000K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CR180	1	1267	0.9	17.5

**COMPLIANCE NOTE:**  
ALL CONTENTS WITHIN THIS SHEET ARE NOT FOR CONSTRUCTION. THIS SHEET AND THE CONTENT WITHIN ARE FOR THE SOLE PURPOSE OF LIGHTING COORDINATION REQUIREMENTS PER THE CITY OF ROCKWALL AND ATM LIGHTING TEXAS FINANCE CODE SECTION 59.307 IN ORDER TO ENSURE PATRON SAFETY AND SECURITY.

**CALCULATION NOTES:**  
1. ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN.  
2. ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.  
3. ATM CALCULATIONS ARE TAKEN AT 3'-0" AFG.  
4. VALUE NEXT TO LUMINAIRE LABEL ON DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.  
5. TREES REFLECTANCE/TRANSMITTANCE VALUES ARE ASSUMED BASED ON ROUGH ESTIMATIONS OF TREE TYPES.  
6. PHOTOMETRY ANALYSIS WAS DONE USING VISUAL LIGHTING 2020 R2 SOFTWARE

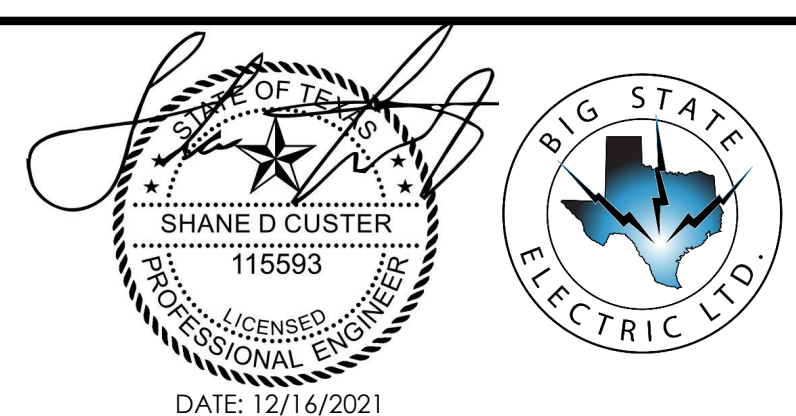


VICINITY MAP  
NOT TO SCALE

DATE: 12/16/2021

## SITE PLAN - PHOTOMETRICS

### FROST BANK ROCKWALL FINANCIAL EPM1 CENTER



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549



**WIA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



architects  
planners  
interiors





## FEATURES & SPECIFICATIONS

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Durable square metal reflectors retained by torsion springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".

**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes.

**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.

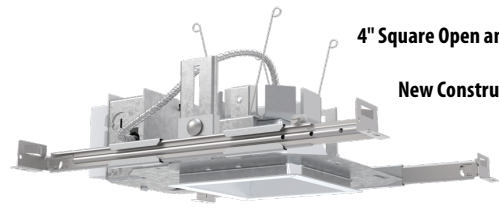
**LISTINGS** — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

# LDN4SQ

**4" Square Open and WallWash LED Non-IC New Construction Downlight**



A+ Capable options indicated by this color background.

**ORDERING INFORMATION** Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN4SQ 35/15 LS4AR LSS MVOLT EZ1

LDN4SQ	40/30	LS4AR	LSS	MVOLT	
Series	Color temperature	Lumens <sup>1</sup>	Aperture/Trim Color	Finish	
LDN4SQ 4" square	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens	20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens	LS4 Downlight LSW4 Wallwash	AR Clear WR? White BR? Black
				LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 <sup>3</sup> 347V

EZ10		WL	
Driver	Options		
GZ10 0-10V driver dims to 10%	SF <sup>4</sup> Single fuse	NPS80EZ <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).	
GZ1 0-10V driver dims to 1%	TRW <sup>5</sup> White painted flange	NPS80EZER <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.	
D10 Minimum dimming 10% driver for use with JOT	TRBL <sup>5</sup> Black painted flange	NLTAIR2 <sup>8,10</sup> nLight® Air enabled	
D1 Minimum dimming 1% driver for use with JOT	EL <sup>6</sup> Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIRER2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options	
<b>EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%</b>	ELR <sup>6</sup> Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIREM2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	
<b>EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%</b>	ELSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS	N80 <sup>9</sup> nLight™ Lumen Compensation	
EDAB eldoLED DALI SOLDRIVE dim to dark	ELRSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS	JOT <sup>13</sup> Wireless room control with "Just One Touch" pairing	
	E10WCP <sup>6</sup> Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB	HAO <sup>11</sup> High ambient option (40°C)	
	E10WCPR <sup>6</sup> Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB	CP <sup>12</sup> Chicago Plenum	
	NPP16D <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).	RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.	
	NPP16DER <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	USPOM US point of manufacture	
		90CRI High CRI (90+)	

- Notes**
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
  - Not available with finishes.
  - Not available with emergency options.
  - Must specify voltage 120V or 277V.
  - Available with clear (AR) reflector only.
  - 12.5" of plenum depth or top access required for battery pack maintenance.
  - Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
  - NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
  - Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
  - Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
  - Fixture height is 5-11/16" for all lumen packages with HAO.
  - Must specify voltage for 3000lm. Not available with emergency battery pack option.
  - Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

## Mullion Mount Outdoor Emergency Egress Lighting

**Series MUE**  
REV #: MUE.11.20.17

PROJECT: \_\_\_\_\_

TYPE: \_\_\_\_\_

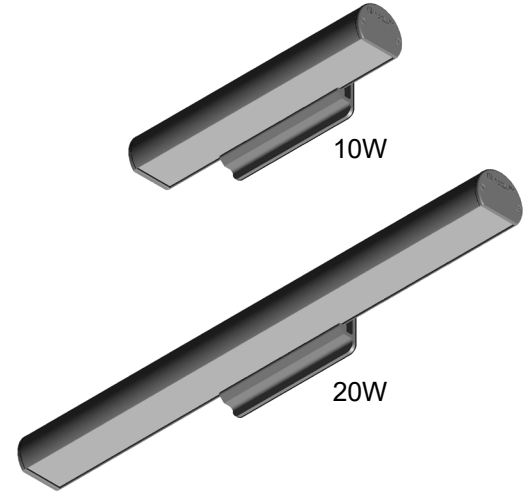
CATALOG #: \_\_\_\_\_

### OVERVIEW

Linear LED outdoor egress with both emergency lighting and night lighting function. The MUE series is designed to mount directly on mullion frames used in typical glass panel entrance structures, with vertical mounting surface as small as 2". High efficiency LEDs and full 90° cut-off provide uniform emergency and night lighting on the extended egress pathway. All models are outdoor rated, UL wet location, ADA compliant, and exceed requirements of UL Standard 924 and NFPA 101. Designed and manufactured in the USA, complies with ARRA (American Recovery and Reinvestment Act) and Buy American requirements.

### SPECIAL FEATURES

- Very low profile extruded aluminum housing and mount bracket blend seamlessly with structural metal frames
- Remote power supply for 10W and 20W BB and AC model single fixtures, or Central Battery System power for RE model multiple fixtures.
- Option for 20 watt models to operate for 2 hours in emergency mode
- Options for mount bracket height, from 2" to 5"
- Standard finishes include Brushed Aluminum, Satin White, Bronze or Black. Custom colors available on request
- Custom satin finishes for extended outdoor use are available to match any surface
- IP66 housing seals against heavy water spray and fine dust
- Universal side or top mount
- Wide lighting distribution designed for entrance walkways
- 10W or 20W emergency power models
- Optional normal-on switch allows timed control of night lighting
- Self-Test Diagnostics is standard for central battery models and optional for integral battery models.
- Certified IP66 housing withstands multi direction water spray and fine dust ingress
- Wall mount version available (see Series MAE)
- Standard CRI 5000K, with optional color corrections filters for 2900K, 3200K and 3800K.
- Code compliant emergency lighting layouts provided



### FIXTURE ORDERING INFORMATION EXAMPLE: MUEBB10AW-DG

MODEL SERIES		OPERATION	POWER	HOUSING COLOR	MOUNT	OPTIONS
MUE	RE	Central Battery	10 10 Watts emergency and normal on power	W Satin White	T Top	DG Self-test diagnostics (BB models only)
	BB	Battery backup (includes RPS)	20 20 Watts emergency and normal on power	A Aluminum	W Wall	SD Night Lighting Control Switch for models with DG option (120/277VAC)
	AC	No battery (includes RPS)		B Dark Bronze		SB120 Night Lighting Control Switch for standard BB models (120VAC)
				X Custom		SB277 Night Lighting Control Switch for standard BB models (277VAC)
						REC 20W RPS panel recessed mount
						2EM 2 hrs emergency operation for BB models
						CW1 Color temp. - 3800K
						CW2 Color temp. - 3200K
						CW3 Color temp. - 2900K
						DAC Dual AC input
						2HT 2" Mount Bracket height
						5HT 5" Mount Bracket height

### Mullion Mount Outdoor Emergency Egress Lighting

#### CONSTRUCTION

- Extruded aluminum lamp housing 2" diameter, with gasketed mount bracket only 2 1/2"Ht that includes a waterproof compression seal for universal wall or top mount.
- Available models include:
  - RE: Multiple fixtures powered from a Central Battery System
  - BB and AC: Single fixtures powered from a Remote Power Supply
  - AC: 120/277 VAC input, with or without battery
- Wet location listed, UL924 and certified IP66
- Gasketed, molded end caps and Sealed acrylic lens
- Stainless steel hardware

#### LIGHTING

- Lamps connected in parallel allow continuous lighting after failure of one lamp, meeting NEC and NFPA requirements.
- Standard output color 5000K. Optional outputs available 2900K, 3200K and 3800K.
- Dual function available for emergency or normally -on operation.
- Standard Operating Temperature
  - RE: -40C to 50C (-40F to 120F)
  - BB: -20C to 40C (-4F to 104F)
  - AC: -20C to 40C (-4F to 104F)

#### ELECTRONICS

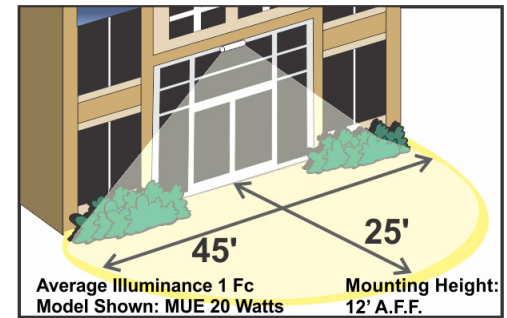
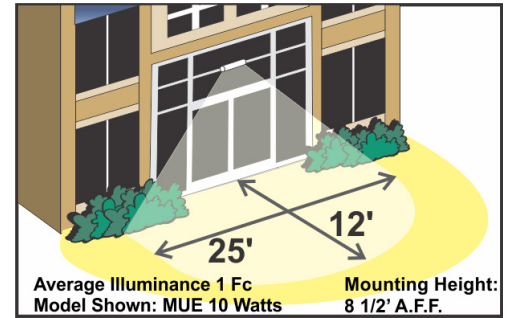
- Self-Test/Self-Diagnostic operation is standard for all RE models, and optional for BB models with the Remote Power Supply.
- Line latch circuit prevents unwanted emergency activation at installation.
- Low Voltage Disconnect prevents deep battery discharge

#### CODES

- Manufactured and tested to UL Standard 924, NFPA Life Safety Code 101, and certified to IP66.

#### WARRANTY

- 10 year total customer satisfaction warranty. For details see Signtex product catalog technical data section.



**NOTE:** FOR REFERENCE ONLY. STANDARD REFLECTANCES 80/50/20. SIGNTEX IS NOT RESPONSIBLE FOR SPECIFIC CONDITIONS THAT MAY ALTER THE RESULTS.



#### Self-test Diagnostic Functions (BB models)

STATUS	LED DISPLAY
Normal Full Charge	● GREEN ON
Normal Fast Charge	● ORANGE ON
Failed Battery	● ● RED FLASH FAST
Failed Lamp	● ● GREEN FLASH
Failed Transfer	● ● ORANGE FLASH
Failed Charger	● ● RED FLASH SLOW

S3: DSX2 LED P5 40K T3M MVOLT  
 S5W: DSX2 LED P5 40K T5W MVOLT  
 STFT: DSX2 LED P5 40K TFTM MVOLT  
 STFT-2180: (2@180DEGREES)DSX2 LED P5 40K TFTM MVOLT  
 STFT-290: (2@90DEGREES) DSX2 LED P5 40K TFTM MVOLT

S3  
 S5W  
 STFT  
 STFT-2180  
 STFT-290



## D-Series Size 2 LED Area Luminaire

d<sup>series</sup>



### Specifications

**EPA:** 1.1 ft<sup>2</sup>  
(0.10 m<sup>2</sup>)

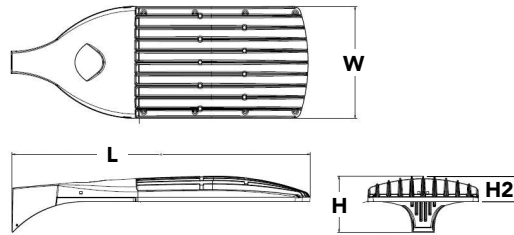
**Length:** 40"  
(101.6 cm)

**Width:** 15"  
(38.1 cm)

**Height 1:** 7-1/4"  
(18.4 cm)

**Height 2: (max):** 3.5"

**Weight:** 36lbs



### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

### Ordering Information

**EXAMPLE:** DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED	P5	40K	T5W	MVOLT	SPA	
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX2 LED	<b>Forward optics</b>	30K 3000 K	T1S Type I Short (Automotive) T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	T5VS Type V Very Short <sup>3</sup> T5S Type V Short <sup>3</sup> T5M Type V Medium <sup>3</sup> T5W Type V Wide <sup>3</sup> BLC Backlight control <sup>4</sup> LCCO Left corner cutoff <sup>4</sup> RCCO Right corner cutoff <sup>4</sup>	MVOLT <sup>5</sup> XVOLT (277V-480V) <sup>6,7,8</sup> 120 <sup>9</sup> 208 <sup>9</sup> 240 <sup>9</sup> 277 <sup>9</sup> 347 <sup>9</sup> 480 <sup>9</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>10</sup> WBA Wall bracket <sup>3</sup> SPUMBA Square pole universal mounting adaptor <sup>11</sup> RPUMBA Round pole universal mounting adaptor <sup>11</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>10</sup>
	P1 → P5 <sup>1</sup>	40K 4000 K				
	P2 → P6	50K 5000 K				
	P3 P7 <sup>1</sup>					
	P4 P8 <sup>1</sup>					
	<b>Rotated optics</b>					
	P10 <sup>2</sup> P13 <sup>1,2</sup>					
	P11 <sup>2</sup> P14 <sup>1,2</sup>					
	P12 <sup>2</sup>					

Control options	Other options	Finish (required)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>13</sup> PIRHN Network, Bi-Level motion/ambient sensor <sup>14</sup> PER NEMA twist-lock receptacle only (no controls) <sup>15</sup> PER5 Five-wire receptacle only (no controls) <sup>15,16</sup> PER7 Seven-wire receptacle only (no controls) <sup>15,16</sup> DMG 0-10V dimming extend out back of housing for external control (no controls) <sup>17</sup> DS Dual switching <sup>18,19</sup>	<b>Shipped installed</b> HS House-side shield <sup>22</sup> SF Single fuse (120, 277, 347V) <sup>9</sup> DF Double fuse (208, 240, 480V) <sup>9</sup> L90 Left rotated optics <sup>2</sup> R90 Right rotated optics <sup>2</sup> HA 50°C ambient operations <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>21</sup> EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



S3: DSX2 LED P5 40K T3M MVOLT  
S5W: DSX2 LED P5 40K T5W MVOLT  
STFT: DSX2 LED P5 40K TFTM MVOLT  
STFT-2180: (2@180DEGREES)DSX2 LED P5 40K TFTM MVOLT  
STFT-290: (2@90DEGREES) DSX2 LED P5 40K TFTM MVOLT

S3  
S5W  
STFT  
STFT-2180  
STFT-290

## Ordering Information

### Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>24</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>24</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>24</sup>
DSHORT SBK U	Shorting cap <sup>24</sup>
DSX2HS 80C U	House-side shield for 80 LED unit <sup>22</sup>
DSX2HS 90C U	House-side shield for 90 LED unit <sup>22</sup>
DSX2HS 100C U	House-side shield for 100 LED unit <sup>22</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>25</sup>
KMA8 DDBXD U	Most arm mounting bracket adaptor (specify finish) <sup>12</sup>
DSX2EGS (FINISH) U	External glare shield

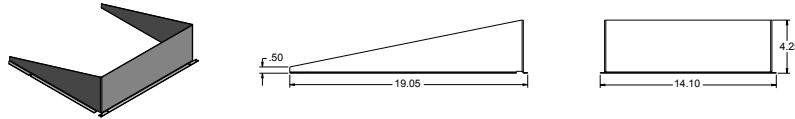
For more control options, visit [DTL](#) and [ROAM](#) online.

### NOTES

- HA not available with P5, P7, P8, P13, and P14.
- P10, P11, P12, P13 or P14 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- XVOLT is only suitable for use with P5, P6, P7, P8, P13 and P14.
- XVOLT works with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIRH or PIRH1FC3V.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting bracket intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover only available in dark bronze, black, white or natural aluminum color.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIRH1FC3V or PIRH1FC3V, FAO.
- Requires (2) separately switched circuits with isolated neutrals.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available with P1, P2, P10.
- Reference Controls Options table settings table on page 4. Reference Motion Sensor Default table on page 4 to see functionality.
- Reference controls options table on page 4.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessories; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 and PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

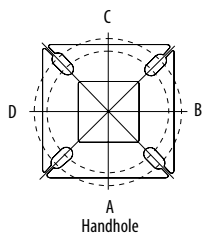
## Options

### EGS - External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

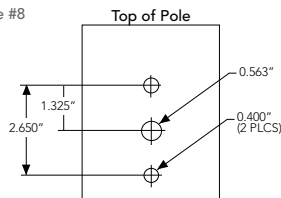
### DSX2 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX2 LED	1.100	2.200	2.120	3.300	2.850	4.064

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Template #8

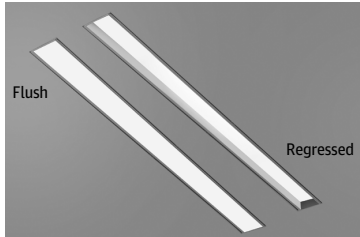


# MARK ARCHITECTURAL LIGHTING™

## Slot 2 LED Recessed Linear

Slot 2 LED takes both form and function a step further with increased efficacy and integral controls creating a digitally addressable luminaire that is perfect where visually harmonious illumination and energy efficiency are desired.

Slot 2 LED is the ideal choice for spaces that emphasize lines and clean contemporary design. It is a perfect fit for Armstrong TechZone™ ceiling systems. A regressed lens option provides added dimension to the sleek, slender design and the flush lens now has a Wet Label option.



### Specification Features (continued on page 2)

**Housing**  
Nominal 2" x 2', 3', 4', 5', 6', 7', 8' and continuous rows in 1" increments as standard, upper housing fabricated from cold-rolled steel with extruded aluminum ceiling trim.

**Finish**  
Painted high reflectance matte white powder coat.

**Reflector**  
Precision-formed steel; high reflectance matte white powder coat; 93% reflectivity.

**Shielding**  
Flush Lens: Snap-in 90% transmissive satin acrylic lens.  
Regressed Lens: Lay-in 90% transmissive satin acrylic lens.

**Mounting**  
Recessed. Available for sheetrock, 9/16" slot grid or 15/16" inverted tee ceilings, or 9/16" inverted tee.

**Certification**  
CSA tested to UL 1598 standards. Optional Damp or Wet location listings available, see ordering tree. This product is IC rated.

**Warranty**  
5-year limited warranty. Complete warranty terms located at:  
[www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

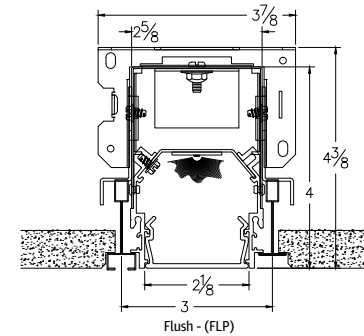
**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

#### Fixture Performance - SL2L\*

Lumens Output	400 LMF		600 LMF**		800LMF**		1000LMF	
	RLP	FLP	RLP	FLP	RLP	FLP	RLP	FLP
Delivered Lumens/FT	234	308	404	533	534	705	654	862
Input Watts/FT	4	4	6	6	8	8	11	11
Lumen/Watt	68	89	69	91	67	88	62	82

\* CCT (35K)  
\* Consult factory for customized lumen output and wattage  
\*\*Based on calculated values

### Technical Drawing



#### LED Components

Linear: Nichia® - 757 Series LED chips (available in 80 or 90 CRI)

#### LED Life

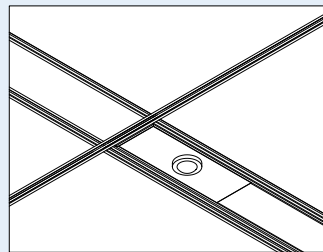
Rated 65,000 hours (L80) at 25 °C ambient temperature.

#### Color Consistency

The Acuity Brands circuit boards for the linear LED components use a precise binning algorithm which creates a consistent color temperature from board to board. Color variation is no greater than a 2.5 Step MacAdam (2.5SDCM) along the black body locus from board to board.

#### Driver

eldoLED constant current driver options delivers ultra-smooth dimming resolution from 100% to 0.1%, while assuring flicker free, low current inrush, 89% efficiency and low EMI.



Occupancy Sensor (PDT) and/or Photocell (ADC)

#### Integrated Controls

Optional nLight® embedded controls make luminaire addressable- allowing it to digitally communicate with other nLight enabled controls such as dimmers, switches, occupancy sensors and photocontrols. Simply connect all the nLight enabled control devices using standard CAT5 Cabling. (Input option: nLIGHT)

#### Photometry

For photometric information refer to [www.marklighting.com](http://www.marklighting.com).



# D-Series Size 1 LED Wall Luminaire



## d"series

### Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

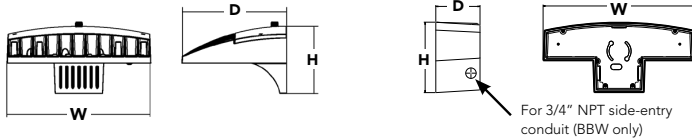
### Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		

### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



### Ordering Information

**EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DBBXTD

DSXW1 LED	20C	1000	40K	T3M	MVOLT		
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	Shipped installed PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant <sup>8,9</sup>

Other Options		DNAXD	
		Finish (required)	
<b>Shipped installed</b>	<b>Shipped separately</b> <sup>11</sup>	DBBXTD Dark bronze	DSSXD Sandstone
SF Single fuse (120, 277 or 347V) <sup>3,10</sup>	BSW Bird-deterrent spikes	DBLXDD Black	DBBXTD Textured dark bronze
DF Double fuse (208, 240 or 480V) <sup>3,10</sup>	VG Vandal guard	DNAXD Natural aluminum	DBLBXD Textured black
HS House-side shield <sup>11</sup>	DDL Diffused drop lens	DWHXD White	DNATXD Textured natural aluminum
SPD Separate surge protection <sup>12</sup>			

### Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- Not available with ELCW.



## TEXAS FINANCE CODE

### TITLE 3. FINANCIAL INSTITUTIONS AND BUSINESSES

#### SUBTITLE A. BANKS

#### CHAPTER 59. MISCELLANEOUS PROVISIONS

##### Subchapter D. Safety at Unmanned Teller Machines<sup>3</sup>

**Sec. 59.301. Definitions.** In this subchapter:

(1) "Access area" means a paved walkway or sidewalk that is within 50 feet of an unmanned teller machine. The term does not include a public right-of-way or any structure, sidewalk, facility, or appurtenance incidental to the right-of-way.

(2) "Access device" has the meaning assigned by Regulation E (12 C.F.R. Section 205.2), as amended, adopted under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.), as amended.

(3) "Candlefoot power" means the light intensity of candles on a horizontal plane at 36 inches above ground level and five feet in front of the area to be measured.

(4) "Control" means the authority to determine how, when, and by whom an access area or defined parking area may be used, maintained, lighted, and landscaped.

(5) "Customer" means an individual to whom an access device is issued for personal, family, or household use.

(6) "Defined parking area" means the portion of a parking area open for unmanned teller machine customer parking that is contiguous to an access area, is regularly, principally, and lawfully used during the period beginning 30 minutes after sunset and ending 30 minutes before sunrise for parking by customers using the machine, and is owned or leased by the owner or operator of the machine or owned or controlled by a person leasing the machine site to the owner or operator of the machine. The term does not include:

(A) a parking area that is physically closed or on which one or more conspicuous signs indicate that the area is closed; or

(B) a level of a multiple-level parking area other than the level considered by the operator of the unmanned teller machine to be the most directly accessible to a customer.

(7) "Financial institution" has the meaning assigned by Section 201.101.

(8) "Operator" means the person primarily responsible for the operation of an unmanned teller machine.

(9) "Owner" means a person having the right to determine which financial institutions are permitted to use or participate in the use of an unmanned teller machine.

(10) "Unmanned teller machine" means a machine, other than a telephone, capable of being operated solely by a customer to communicate to a financial institution:

(A) a request to withdraw money from the customer's account directly or under a line of credit previously authorized by the financial institution for the customer;

(B) an instruction to deposit money in the customer's account with the financial institution;

(C) an instruction to transfer money between one or more accounts maintained by the customer with the financial institution;

(D) an instruction to apply money against an indebtedness of the customer to the financial institution; or

(E) a request for information concerning the balance of the account of the customer with the financial institution.

**Sec. 59.302. Exception for Certain Unmanned Teller Machines.** This subchapter does not apply to an unmanned teller machine:

(1) by which:

(A) a customer of a financial institution can authorize and effect the electronic transfer of money from the customer's account at the financial institution to a merchant's account at a financial institution in the county or municipality in which the terminal is located to obtain cash or to purchase, rent, or pay for goods or services; and

(B) the merchant can ascertain that the transaction has been completed and the money has been or will be transferred to the merchant's account at the merchant's financial institution in the county or municipality in which the terminal is located; or

(2) located:

(A) inside a building:

(i) unless the building is a freestanding installation existing solely to provide an enclosure for the machine; or

(ii) except to the extent a transaction can be conducted from outside the building; or

(B) in an area not controlled by the owner or operator of the machine.

**Sec. 59.303. Applicability to Certain Persons Who Are Not Owners or Operators.** (a) A person is not an owner or operator solely because the person's primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data.

(b) A person whose primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data and who is not an owner or operator is not liable to a customer or user of an unmanned teller machine for a claim arising out of or in connection with a use or attempted use of the machine.

**Sec. 59.304. Construction of Subchapter.** (a) This subchapter does not require the relocation or modification of an unmanned teller machine on the occurrence of a particular event or circumstance.

(b) A violation of this subchapter or a rule adopted under this subchapter is not negligence per se. Substantial compliance with this subchapter and each rule adopted under this subchapter is prima facie evidence that a person has provided adequate safety protection measures relating to an unmanned teller machine under this subchapter.

**Sec. 59.305. Lighting Required.** During the period beginning 30 minutes after sunset and ending 30 minutes before sunrise, lighting shall be provided for:

- (1) an unmanned teller machine;
- (2) the machine's access area and defined parking area; and
- (3) the exterior of the machine's enclosure, if the machine is located in an enclosure.

**Sec. 59.306. Persons Required to Provide Lighting.** (a) Except as provided by Subsection (b), the owner or operator shall provide the lighting required by this subchapter.

(b) A person who leases the site where an unmanned teller machine is located shall provide the lighting required by this subchapter if the person controls the access area or defined parking area for the machine and the owner or operator does not control the access area or defined parking area.

**Sec. 59.307. Standards for Lighting.** The lighting must be at least:

- (1) 10 candlefoot power at the face of the unmanned teller machine and extending in an unobstructed direction outward five feet;
- (2) two candlefoot power within 50 feet from any unobstructed direction from the face of the machine, except as provided by Subdivision (3);
- (3) if the machine is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, two candlefoot power along the first 40 unobstructed feet of the adjacent side of the building; and
- (4) two candlefoot power in the part of the defined parking area within 60 feet of the unmanned teller machine.

**Sec. 59.308. Safety Evaluation.** (a) An owner or operator shall in good faith evaluate the safety of each unmanned teller machine that the person owns or operates.

(b) In making the evaluation, the owner or operator shall consider:

- (1) the extent to which the lighting for the machine complies with Section 59.307;
- (2) the presence of obstructions, including landscaping and vegetation, in the area of the machine and the access area and defined parking area for the machine; and

(3) the incidence of violent crimes in the immediate neighborhood of the machine as shown by local law enforcement records and of which the owner or operator has actual knowledge.

**Sec. 59.309. Notice of Safety Precautions.** (a) An issuer of an access device shall give the customer a notice of basic safety precautions that the customer should follow while using an unmanned teller machine.

(b) The issuer shall personally deliver or mail the notice to each customer whose mailing address is in this state according to records for the account to which the access device relates. If the issuer furnishes an access device to more than one customer on the same account, the issuer is required to furnish a notice to only one of the customers.

(c) The issuer may furnish information under this section with other disclosures related to the access device, including an initial or periodic disclosure statement furnished under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.).

**Sec. 59.310. Enforcement and Rules.** (a) The finance commission and the Credit Union Commission shall enforce this subchapter and adopt rules to implement this subchapter.<sup>4</sup>

(b) The rules must establish security requirements to be implemented by a financial institution for the operation of an unmanned teller machine. The rules may require the financial institution to install and maintain security devices in addition to those required by this subchapter to be operated in conjunction with the machine for the protection of customers using the machine, including:

(1) video surveillance equipment that is maintained in working order and operated continuously during the hours of operation of the machine; and

(2) adequate lighting around the premises that contain the machine.

(c) A financial institution that violates a rule adopted under this section is subject to a civil penalty of not less than \$50 or more than \$1,000 for each day of violation and each act of violation.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** January 11, 2022  
**APPLICANT:** Priya Acharya; *Weir & Associates, Inc.*  
**CASE NUMBER:** SP2021-035; *Site Plan for Frost Bank*

---

### SUMMARY

Discuss and consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a Site Plan for a *Financial Institution with Drive-Through (i.e. Frost Bank)* on a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on November 7, 1960 by *Ordinance No. 60-03 [Case No. A1960-003]*. On November 12, 1973 the City Council approved *Ordinance No. 73-49* rezoning the subject property from an Agricultural (AG) District to Planned Development District 9 (PD-9) for General Retail (GR) District land uses. On November 16, 2007, the City Council approved a final plat [*Case No. P2007-031*] establishing the subject property as Lot 2, Block A, Allen Anderson Addition. Since the time of annexation, the subject property has remained vacant. Since the original approval of Planned Development District 9 (PD-9), *Ordinance No. 73-49* has been amended nine (9) times (*Ordinance No.'s 86-55, 87-30, 88-13, 88-20, 95-17, 01-43, 04-02, 11-31, & 13-43*), with the most recent being approved by City Council on November 4, 2013. That being said the land uses permitted on the subject property (*i.e. General Retail (GR) District land uses*) have not changed since the original approval of Planned Development District 9 (PD-9).

### PURPOSE

On December 17, 2021, the applicant -- *Priya Acharya of Weir & Associates, Inc.* -- submitted an application requesting the approval of a site plan for the purpose of constructing a bank building on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located southwest corner of the intersection of Horizon Road and Rockwall Parkway. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Horizon Road [*FM-3097*], which is identified as a TxDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 4.0152-acre parcel of land zoned Planned Development District 13 (PD-13) and developed with a *House of Worship (i.e. Our Savior Lutheran Church)*. Beyond this is W. Ralph Hall Parkway, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Rockwall Parkway, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several developed parcels of land zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.



East: Directly east of the subject property is the intersection of Horizon Road [FM-3097] and Rockwall Parkway. Horizon Road [FM-3097] is identified as a TxDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway) and Rockwall Parkway is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Windmill Ridge and Windmill Ridge Estates 2A Subdivisions, which are zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses.

West: Directly west of the subject property are four (4) parcels of land, three (3) developed and one (1) vacant. All of these parcels are zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses. Beyond this is W. Ralph Hall Parkway, which is designated as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land developed with non-residential land uses that are zoned Planned development District 9 (PD-9) for General Retail (GR) District land uses.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Financial Institution with Drive-Through* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, treescapes plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=1.198-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	X= 191.42-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=240.01-feet; In Conformance
<i>Minimum Front Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	120-Feet	X<120-feet; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=7.98%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (14 Required)	x=30; In-Conformance
<i>Minimum Landscaping Percentage</i>	10%	In Conformance
<i>Maximum Impervious Coverage</i>	90%	x<90%; In Conformance

**TREESCAPE PLAN**

The treescapes plan provided by the applicant indicates that the total mitigation balance is 44.50 caliper inches of tree, which will be mitigated for on an inch-for-inch basis by trees being planted as part of the proposed landscape plan for the subject property.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 02.02(D)(2), *Financial Institution*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a financial institution is defined as “(a) facility that is open to the public for the deposit, custody, loan, exchange or issue of money, the extension of credit, and/or facilitating the transmission of funds and that is licensed by the appropriate state or federal agency as a bank, savings and loan association, or credit union.” In this case the applicant is requesting a *Financial Institution with Drive-Through*, which conforms to the *Financial Institution with Drive-Through* land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). In addition, according to Subsection 02.03 (D)(1), *Financial Institution with Drive-Through*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the following additional conditions shall be placed on the proposed land use:

- (1) Drive-throughs shall not be located on a property adjacent to a residentially zoned or used property. Drive-throughs shall be separated from residentially zoned or used properties by an intervening building or parcel of land.
- (2) Drive-throughs shall not have access to local residential streets.

- (3) Stacking lanes for drive-through service windows shall accommodate at least six (6) standard sized motor vehicles per lane, unless specifically approved by the Planning and Zoning Commission.

The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

### **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

- (1) *Building Materials*. According to the building material requirements contained in *Ordinance No. 87-55*, properties in a General Retail (GR) District shall utilize 90% masonry material on all building facades. In addition, according to the definition of *Masonry* as specified in Subsection 02.01 of Article 13, *Definitions*, of the Unified Development Code (UDC), stucco is not a listed masonry material for properties outside of an overlay district. In this case, the applicant is proposing the use of Stone, Aluminum Composite Metal (ACM) Panels, and Stucco; however, the proposed elevations do not meet the minimum 90% masonry requirement stipulated by Planned Development District 9 (PD-9).
- (2) *Non-Residential Lighting Standards*. According to Subsection 03.03 (C), *Light at Non-Residential Property Line*, of Article 07, *Environmental Performance*, of the Unified Development Code (UDC), "(t)he allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) footcandle or 0.2 FC." In this case the proposed Photometric Plan exceeds the 0.2 FC requirement on each property line of the subject property.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, as a compensatory measure the applicant is proposing to plant one (1) additional canopy tree and one (1) additional accent tree. Requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Medical District*. The *Medical District* is a "...highly specialized district that is characterized by the medical and professional offices, which line Horizon Road [FM-3097], Rockwall Parkway, and Tubbs Road." Within the district the subject property is located within a transitional area that is shifting land uses from "...medical and professional office uses to the commercial/retail land uses that are more typical of the uses found along Ridge Road." Within the *Medical District District Strategies*, it specifically states that financial services are required to support the district and the residential subdivisions surrounding this area. Based on this, the applicant's request appears to conform with the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on December 28, 2021. The ARB made the following recommendations concerning the proposed elevations: [1] provide more masonry materials, [2] raise the main building parapet and shrink the canopy parapet, [3] remove the louvers from the building, and [4] face the dumpster enclosure with a similar materials at similar percentages as the primary building.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the Bank on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The subject property will be required to be replatted prior to the issuance of a building permit.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. SP2021-035

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE) †
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

†: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Address not available

SUBDIVISION Allen Anderson Addition

LOT 2 BLOCK 2

GENERAL LOCATION Northwest corner of Rockwall Parkway and FM 3097

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-009

CURRENT USE Vacant

PROPOSED ZONING N/A

PROPOSED USE Financial Institution with Drive-Through

ACREAGE 1.198

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Frost Bank

APPLICANT Wier & Associates, Inc.

CONTACT PERSON Ross Wood

CONTACT PERSON Priya Acharya

ADDRESS 3833 Roger Road

ADDRESS 2201 E. Lamar Blvd. Suite 200E

CITY, STATE & ZIP San Antonio, Texas, 78251

CITY, STATE & ZIP Arlington, Texas, 76006

PHONE (210) 220-5842

PHONE (817) 467-7700

E-MAIL ross.wood@frostbank.com

E-MAIL priyaa@wierassociates.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ross Wood [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 19 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19<sup>th</sup> DAY OF December, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY UNPUBLISHED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF December, 2021

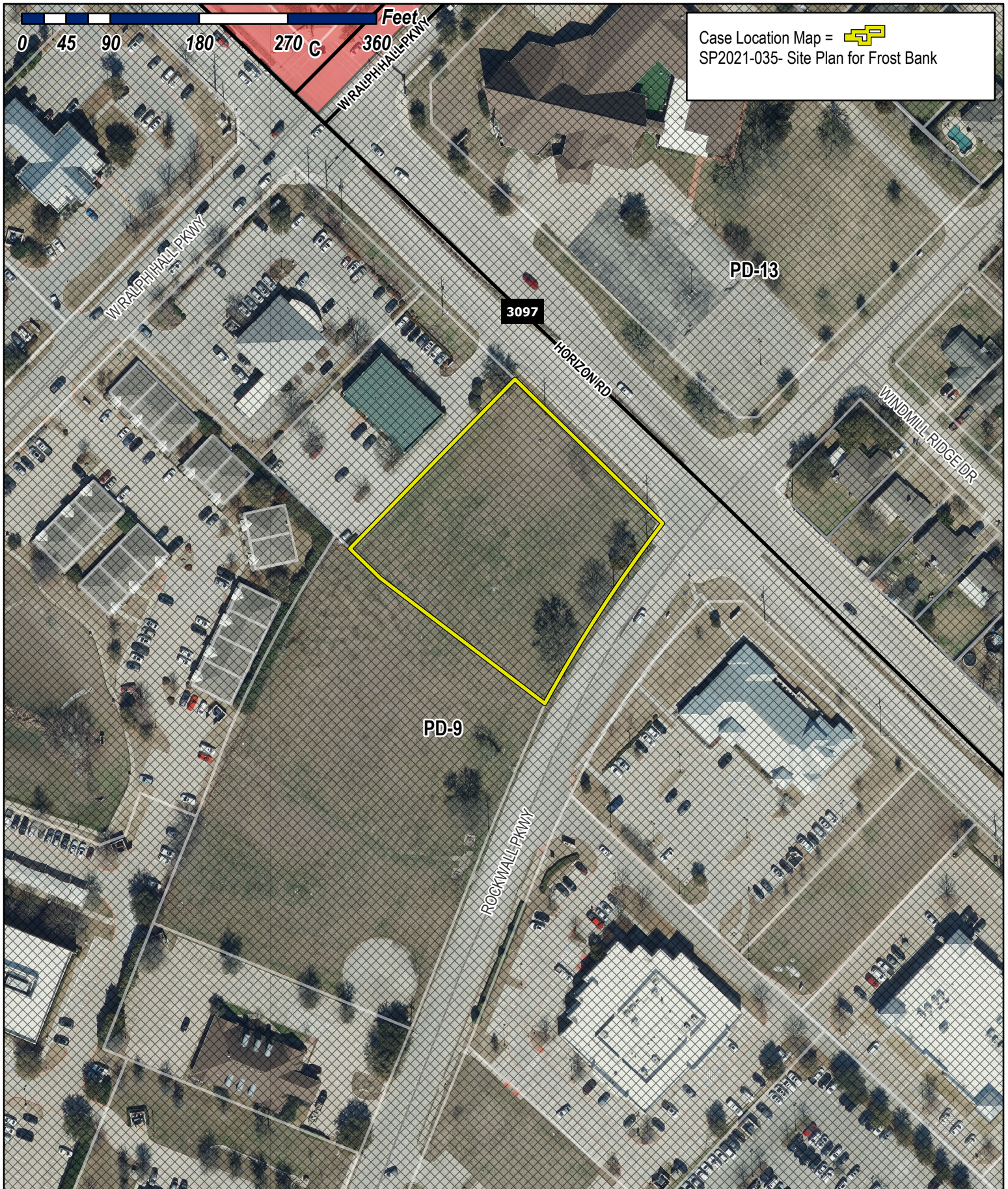
OWNER'S SIGNATURE


*Ross Wood*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*





Case Location Map =  SP2021-035- Site Plan for Frost Bank



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



January 5, 2022

City of Rockwall  
Attn: Mr. Harry Lee  
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**Re: Site Plan SP2021-035  
Frost Bank @ NWC of Horizon Road & Rockwall Parkway**

Dear Mr. Lee:

In response to your comments about the exterior elevations for the above referenced bank project, we respectfully request a variance from the 90% masonry requirement in order to use exterior stucco on the motor bank canopy which occurs on the southside of the building. The main building will have honed 1'-0" x 1'-6" Alamo Ivory stone veneer that meets ASTM C568 – Standards for Dimensional Stone. It is distributed by Upchurch Kimbrough, contact Laura Langley, [laura@upchurchkimbrough.com](mailto:laura@upchurchkimbrough.com), and cell number 512.560.7988. This product is Frost Bank's standard for exterior stone veneer on all projects.

The ACM product is equal to Alucobond, a 1/4" thick aluminum composite wall panel with a clear anodic finish, mounted to a 1-1/2" extruded aluminum furring system. This is not a corrugated metal panel product! It is a highly finished, contemporary building material being used for canopies above windows and main entrance door.

The exterior stucco only occurs at the vertical walls and soffit of the motor bank. It will be a hardrock stucco over metal lathe. City of Rockwall, Section 4 Commercial District Standards, A. Construction Materials, states that "All exterior walls shall be constructed of stone, brick, glass and a combination of other materials. The use of other cementaceous products (e.g., stucco, Hardy Plank, or other similar materials approved by Building Official) shall be limited to 50% of the building exterior where deemed important as a design feature and where it will be applied under the highest standard for quality and durability. However, stucco may not be located in the first 8 feet above grade on a façade visible from a street."

The stucco we are proposing will only occur 10'-0" above finish floor on the motor bank canopy walls and soffit. We believe this exception to the 90% masonry rule should be allowed. In our opinion, this building exterior design is going well beyond Frost Bank's standard design since we have added honed stone on all walls and by deleting stucco to meet your requirements.

Thank you for your consideration of this variance to use hardrock stucco at the motor bank canopy.

If you need to clarify any part of this request, please advise.

Sincerely,

**HAHNFELD HOFFER STANFORD**  
architects planners interiors

  
Michael J. Hoffer, AIA  
Principal



BIG STATE ELECTRIC POWER DISTRIBUTION ENGINEERING  
8923 Aero St.  
SAN ANTONIO TX 78217  
TBPE FIRM REGISTRATION #16549

VARIANCE REQUEST

DATE: January 5, 2022  
PROJECT: SITE PLAN FOR FROST BANK ROCKWALL FINANCIAL CENTER  
PROJECT NO.: SP2021-035

---

To, Henry Lee Planning and Zoning Department of Rockwall, TX;

A code variance is requested regarding UDC Subsection 03.03. G, of Article 7 due to conflicts with Texas Finance Code Title 3, Subtitle A, Chapter 59, Subchapter D. for Unmanned Teller Machines. This state law governs lighting for unmanned ATM's with 24/7 access to have a minimum 2.0fc within a radius of 60ft. Frost Bank – Rockwall Location will have (2) of these conditions that can be approached by pedestrian access at all hours. Reference lighting photometric drawing “FB-2118 - Frost Rockwall Financial Center - EMP1” for further information.

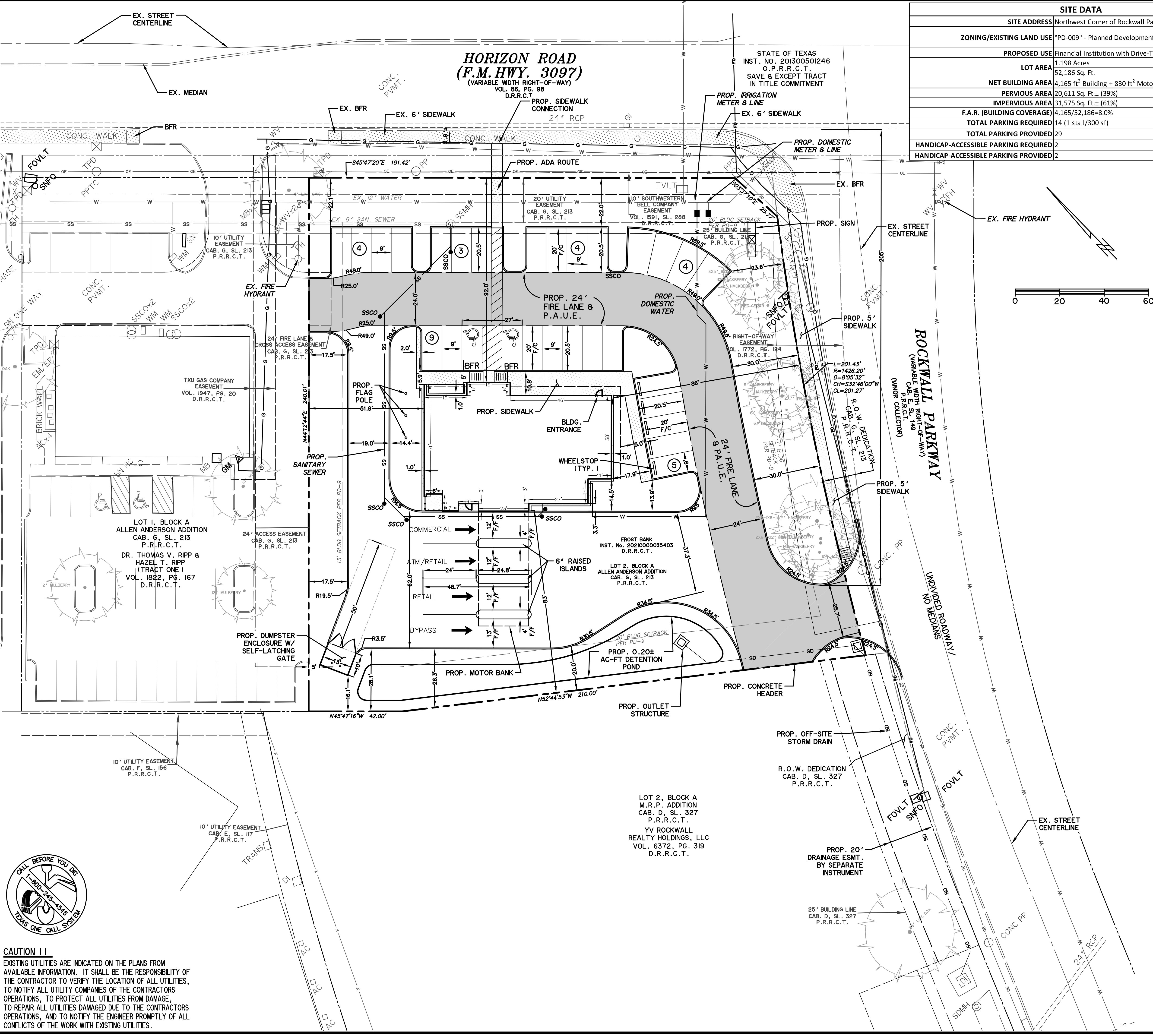
The referenced provisions of the Texas Finance Code are in conflict with the referenced Rockwall UDC provisions in several locations on our site, where lighting crosses property lines and for maximum lighting allowed within the site. In order to meet the Texas Finance code and provide maximum safety for patrons of Frost Bank.

Compensatory Measures to account for this variance include the addition of landscaping in the amount of (1) canopy, and (1) accent tree in addition to the minimum UDC requirements, reference landscaping plans for further information.

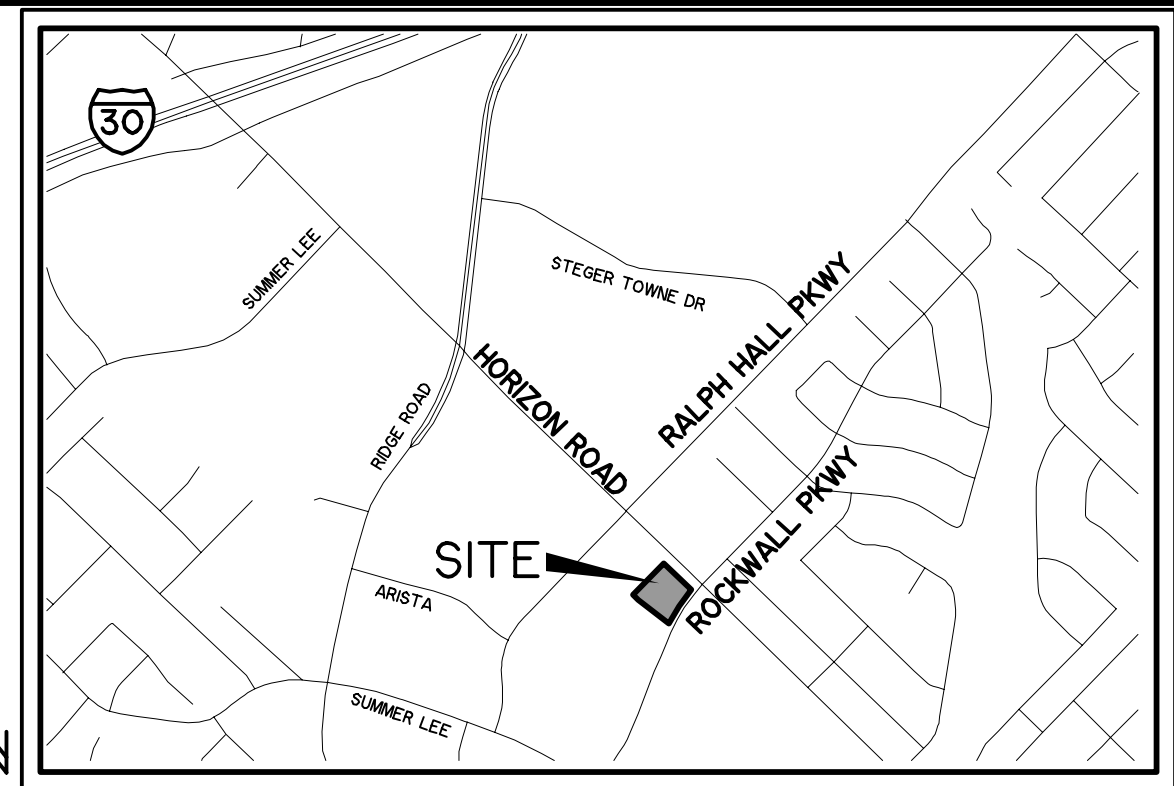
*Shane Custer, P.E.*

Big State Electric, Ltd.  
(210) 735-1051

PRINTED: 1/5/2022 5TB FILE: WIER-PAVING-STB LAST SAVED: 1/5/2022 3:21 PM FILE: CITY-SITE-PLAN-21089.DWG



SITE DATA	
SITE ADDRESS	Northwest Corner of Rockwall Parkway and FM 3097
ZONING/EXISTING LAND USE	PD-009 - Planned Development; Vacant
PROPOSED USE	Financial Institution with Drive-Through
LOT AREA	1.198 Acres
NET BUILDING AREA	4,165 sq. ft. Building + 830 sq. ft. Motor Bank
PERVIOUS AREA	20,611 Sq. Ft. ± (39%)
IMPERVIOUS AREA	31,575 Sq. Ft. ± (61%)
F.A.R. (BUILDING COVERAGE)	4,165/52,186=8.0%
TOTAL PARKING REQUIRED	14 (1 stall/300 sf)
TOTAL PARKING PROVIDED	29
HANDICAP-ACCESSIBLE PARKING REQUIRED	2
HANDICAP-ACCESSIBLE PARKING PROVIDED	2



VICINITY MAP  
NOT TO SCALE

TOPOGRAPHIC LEGEND	
BOL	BOLLARD
CI	CURB INLET
EB	ELECTRIC BOX
EM	ELECTRIC METER
FB	FIBER OPTIC VAULT
FOVLT	FIBER OPTIC VAULT
GM	GAS METER
GTS	GAS TEST STATION
GUY	GUY WIRE
HWL	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IRF	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE W/CONDUIT
PPC	POWER POLE W/LIGHT POLE
PPT	POWER POLE W/TRANSFORMER
RPC	CONCRETE STORM DRAIN PIPE
RPTC	POWER POLE W/CONDUIT AND TRANSFORMER
SDMH	STORM DRAIN MANHOLE
SN	SIGN
SN T	UNDERGROUND TELEPHONE SIGN
SN T	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPO	TELEPHONE PEDESTAL
TSP	TRAFFIC SIGNAL BOX
TSM	TELEPHONE MANHOLE
TRANS	TRANSFORMER PAD
TSP	TRAFFIC SIGNAL POLE
TVLT	TRAFFIC SIGNAL VAULT
WM	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVLT	WATER VAULT
UE	OVERHEAD ELECTRIC LINE
UL	UNDERGROUND ELECTRIC LINE
WL	WATER LINE
US	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
UG	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE

SITE LEGEND	
[Symbol]	PROP. FIRE LANE, PUBLIC ACCESS, AND UTILITY EASEMENT
[Symbol]	SIDEWALK
[Symbol]	PROPOSED 12" OR SMALLER WATER MAIN
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED WATER METER
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPOSED 12" OR SMALLER SANITARY SEWER
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED GRATE INLET
[Symbol]	PROPOSED CURB INLET
[Symbol]	HANDICAP-ACCESSIBLE PARKING STALL
[Symbol]	BARRIER FREE RAMP
[Symbol]	PROPERTY LINE
[Symbol]	LIGHT POLE
[Symbol]	MEASUREMENT TO BACK OF CURB
[Symbol]	PROPOSED DROP INLET
[Symbol]	PROPOSED JUNCTION BOX
[Symbol]	PROPOSED SANITARY SEWER CLEANOUT
[Symbol]	P.A.U.E.

- NOTE:
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADII WITHIN PROPERTY ARE 2.5' B/C UNLESS SPECIFIED OTHERWISE.
  - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ON-SITE PAVEMENT SHALL BE:

PARKING	5' REINFORCED CONCRETE PAVEMENT
FIRE LANE	6' REINFORCED CONCRETE PAVEMENT
DUMPSTER	7' REINFORCED CONCRETE PAVEMENT

DEVELOPER/OWNER: FROST BANK  
3833 ROGER ROAD  
SAN ANTONIO, TEXAS 78251  
PHONE: (210)-220-5842  
CONTACT: ROSS WOOD

ENGINEER: WIER & ASSOCIATES, INC.  
2201 E. LAMAR BLVD., STE 200E  
ARLINGTON, TEXAS 76006  
PHONE: (817) 467-7700  
CONTACT: PRIYA ACHARYA, P.E.  
PriyaA@WierAssociates.com

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**SITE PLAN**  
**FROST BANK**  
SOUTHWEST CORNER OF HORIZON RD. AND ROCKWALL PKWY.  
**LOT 2, BLOCK A**  
**ALLEN ANDERSON ADDITION**  
**CITY OF ROCKWALL, TEXAS**  
CASE # SP2021-035  
EXISTING ZONING: PD-009  
PROPOSED LAND USE: FINANCIAL INSTITUTION W/ DRIVE-THRU  
PREPARED BY:

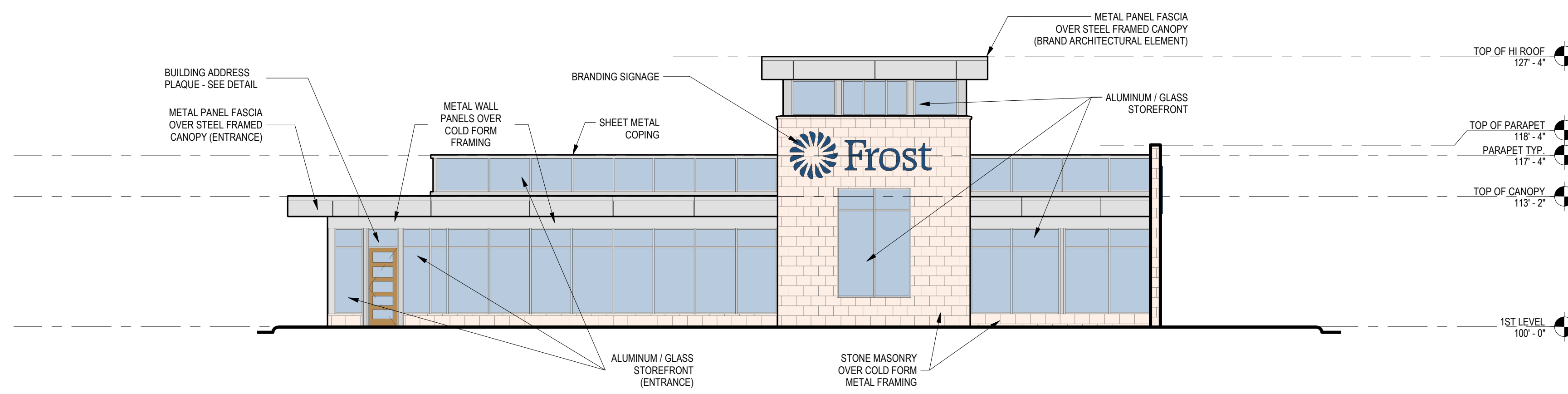
**WIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
Prepared By/Or Under Direct Supervision Of Priya Acharya, PE  
Texas Registration No. 110146 On Date Shown Below.  
DATE: 1/5/2022  
W.A. No. 21089

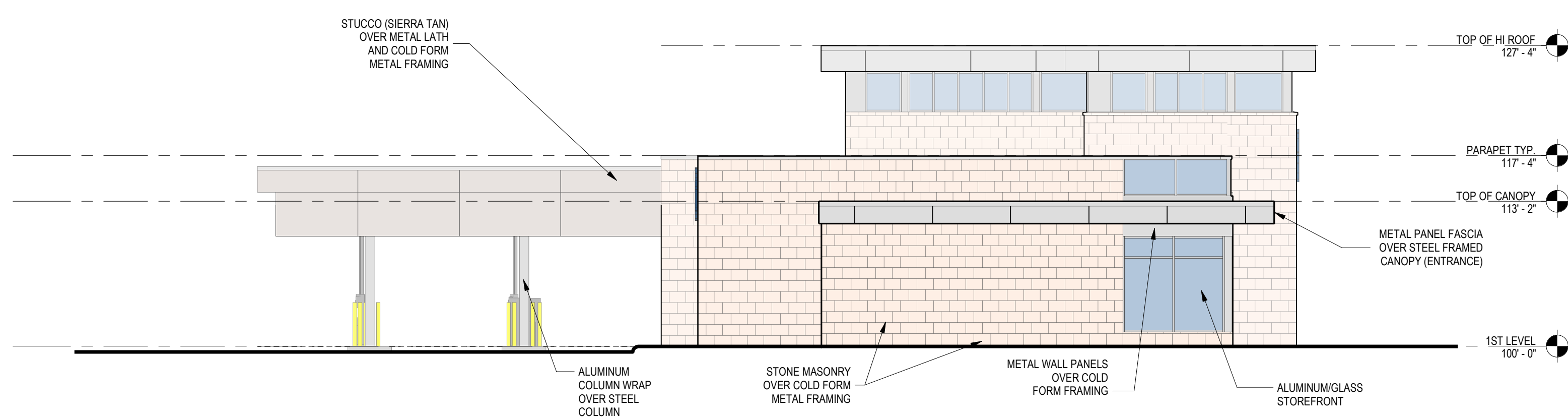
**CAUTION !!**  
EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

CALL BEFORE YOU DIG  
800-4-A-S-5454  
TEXAS ONE CALL SYSTEM

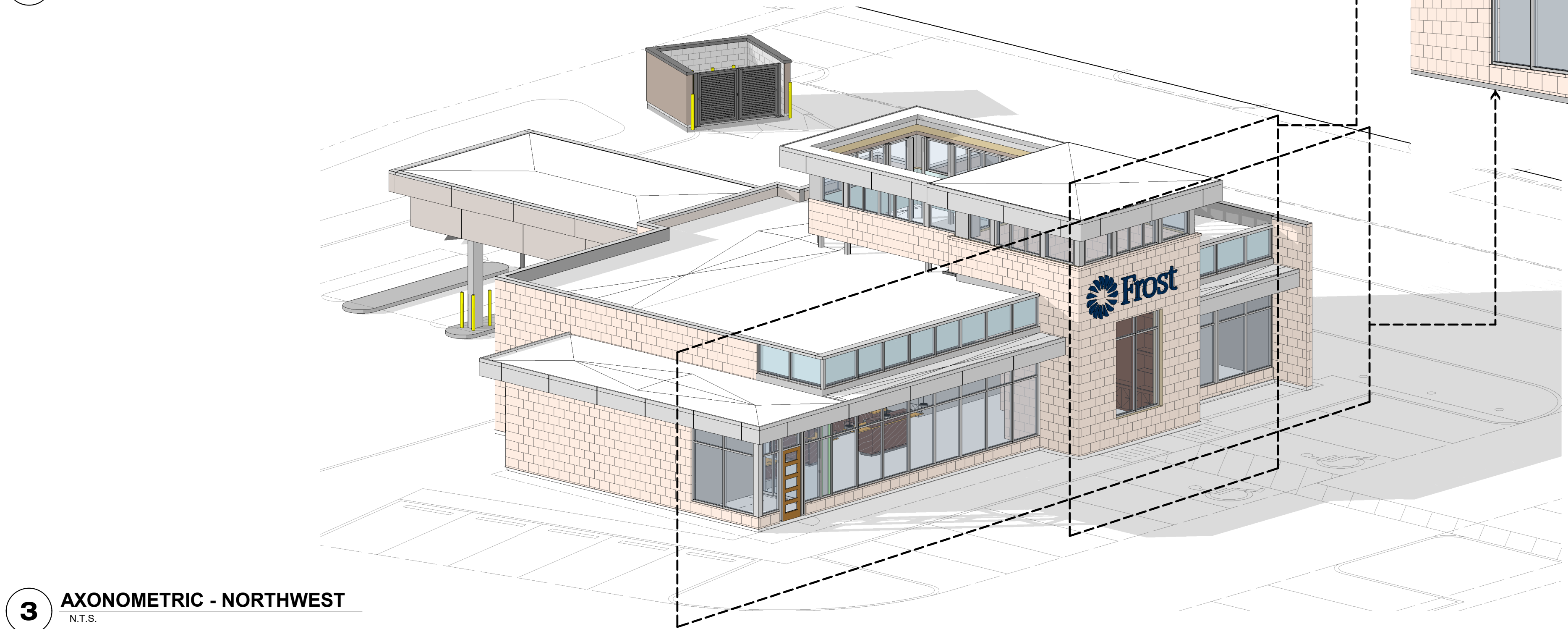




**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"



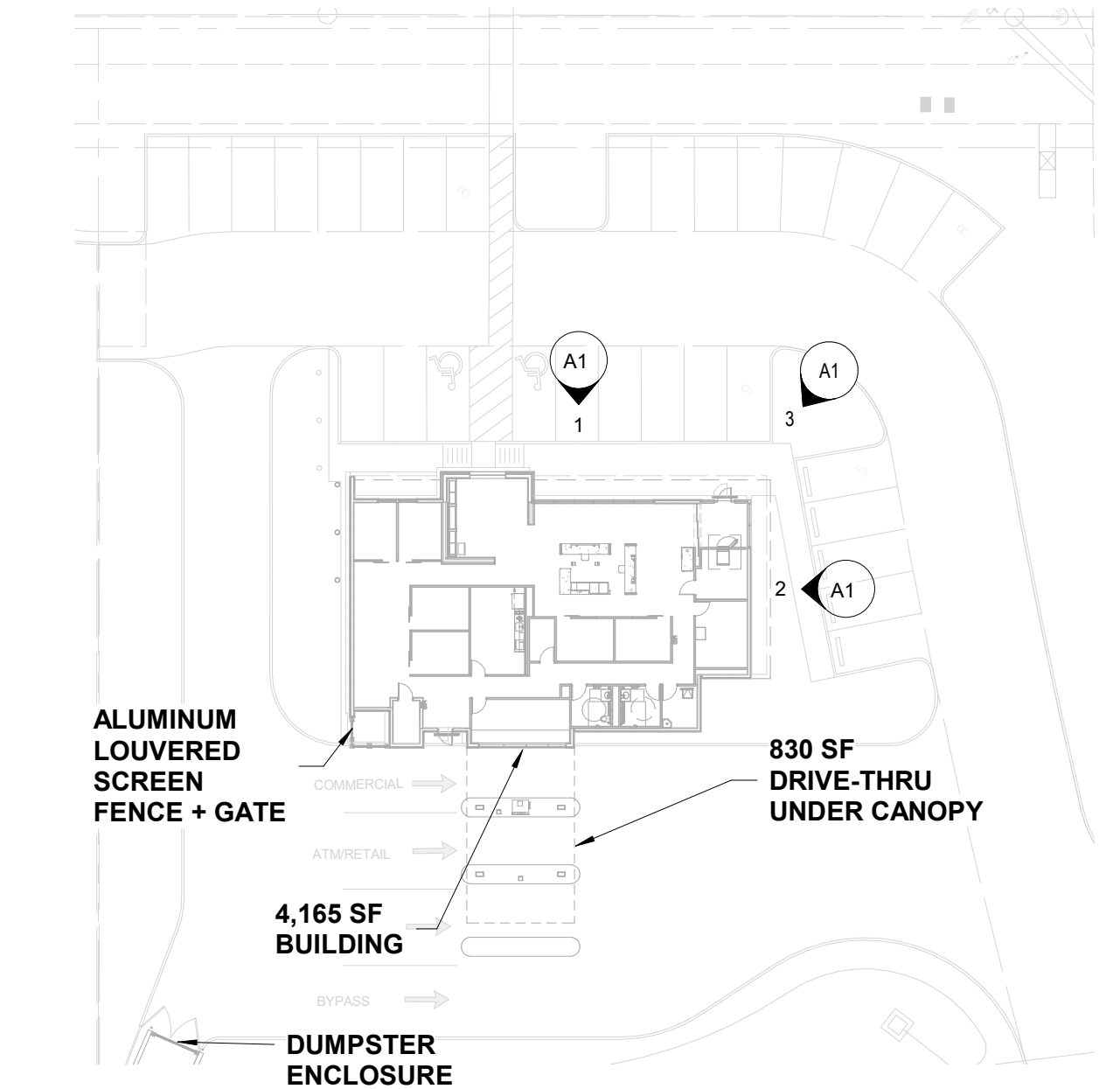
**3 AXONOMETRIC - NORTHWEST**  
N.T.S.

**MATERIALS DESCRIPTION**

**MATERIALS DESCRIPTION**  
STONE MASONRY:  
Alamo Ivory stone veneer (1'-0" x 1'-6") meeting ASTM C568 - standards for Dimensional Stone  
ACM (METAL PANEL):  
Manufactured by Alucobond or equal; 1/4" thick aluminum composite wall panel with a clear anodic finish, mounted to 1-1/2" extruded aluminum furring system.

**EXTERIOR MATERIALS SCHEDULE**

	Stone	ACM	Stucco
North Elevation	429sf (85%)	15sf (03%)	0sf (0%)
East Elevation	939sf (81%)	12sf (01%)	214sf (19%)
<b>Total</b>	<b>1368sf (82%)</b>	<b>27sf (02%)</b>	<b>214sf (13%)</b>



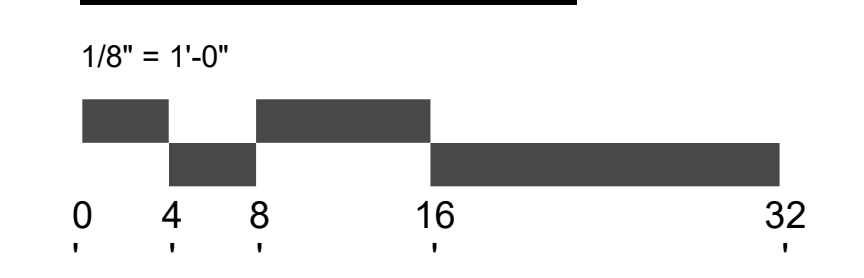
**ELEVATIONS - KEY PLAN**  
TRUE NORTH PLAN NORTH

**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF  
HEIGHT:  
27'-4" above grade line

NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_.

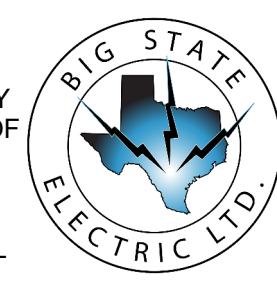
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

DATE: 12/17/2021

**ELEVATIONS**



THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.  
DATE: 12/17/2021



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com Firm Reg. #F-16549



**W&A WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



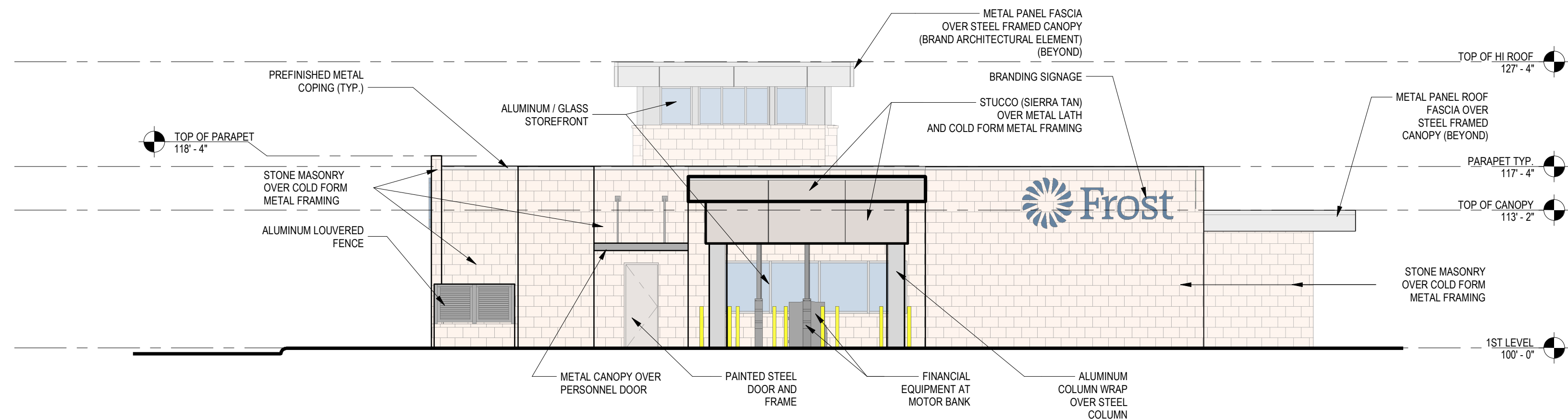
**Hahnfeld Hoffer Stanford**

architects planners interiors

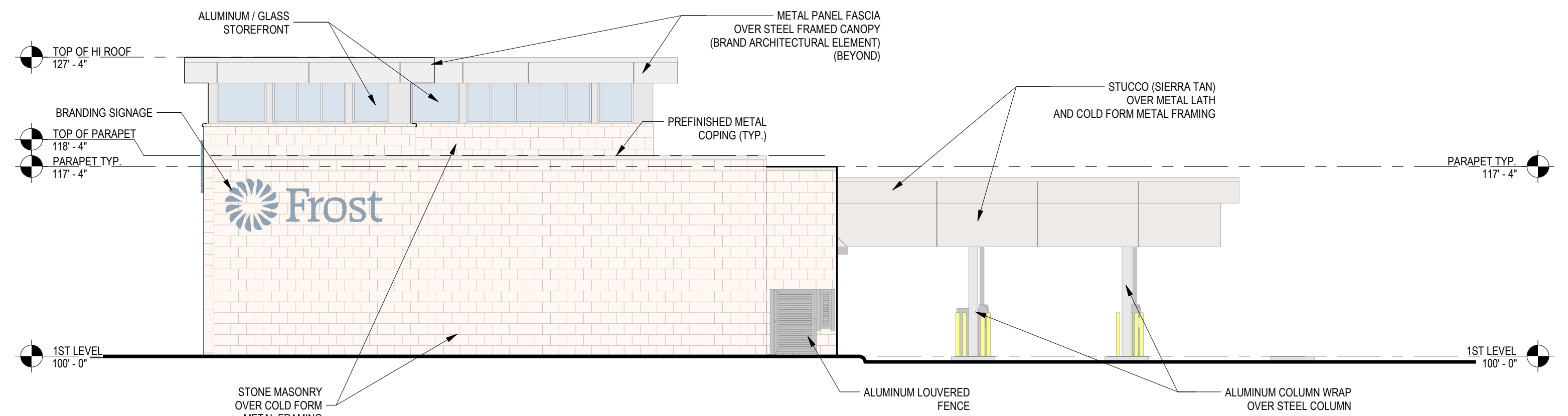


**FROST BANK ROCKWALL FINANCIAL CENTER**

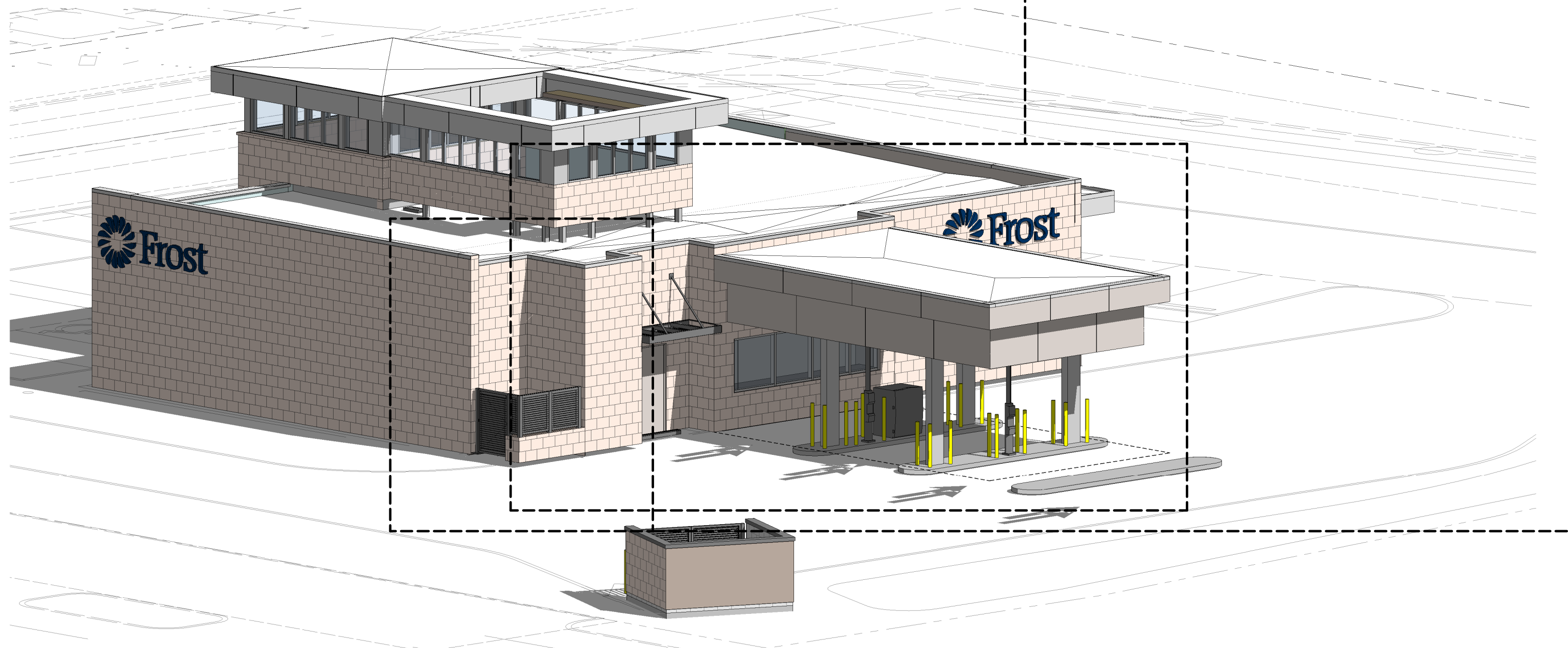
**A1**



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



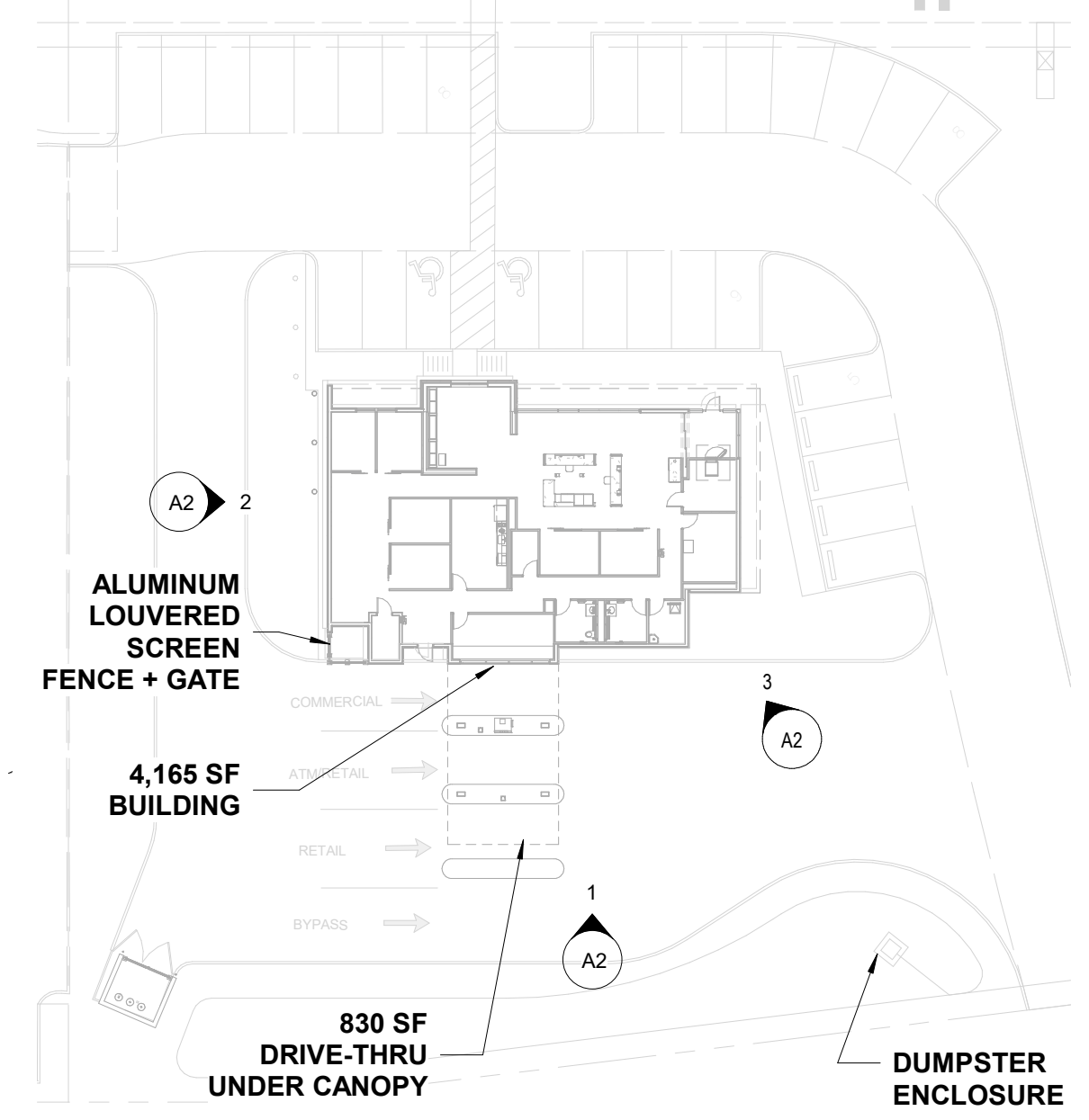
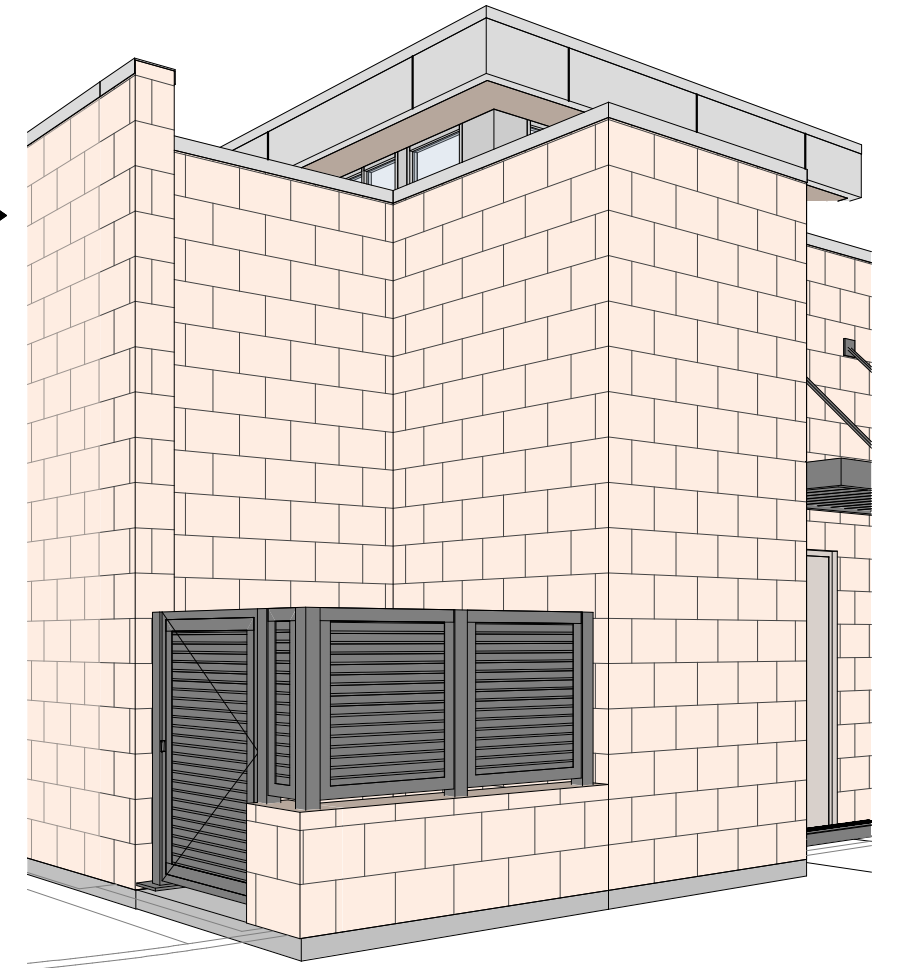
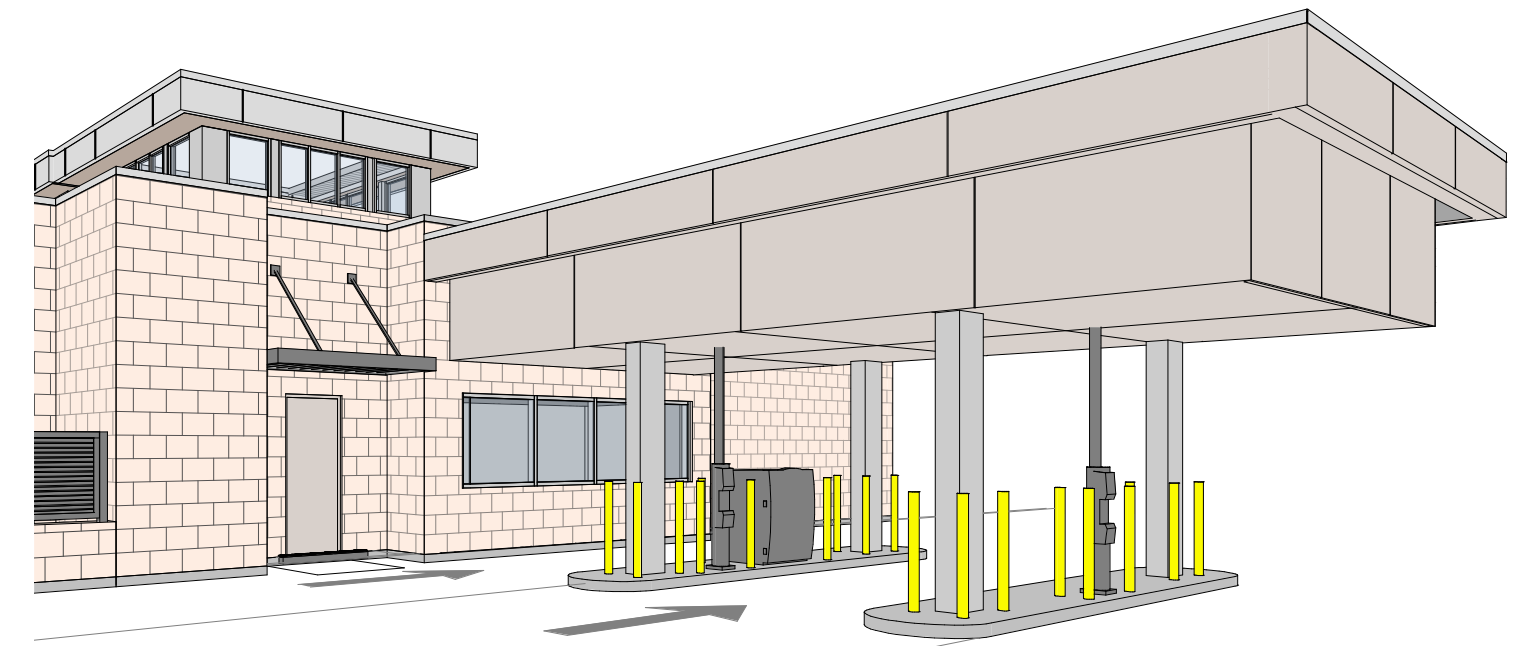
**3 AXONOMETRIC -SOUTHWEST**

**MATERIALS DESCRIPTION**

**MATERIALS DESCRIPTION**  
STONE MASONRY:  
Alamo Ivory stone veneer (1'-0" x 1'-6") meeting ASTM C568 – standards for Dimensional Stone  
ACM (METAL PANEL):  
Manufactured by Alucobond or equal; 1/4" thick aluminum composite wall panel with a clear anodic finish, mounted to 1-1/2" extruded aluminum furring system.

**EXTERIOR MATERIALS SCHEDULE**

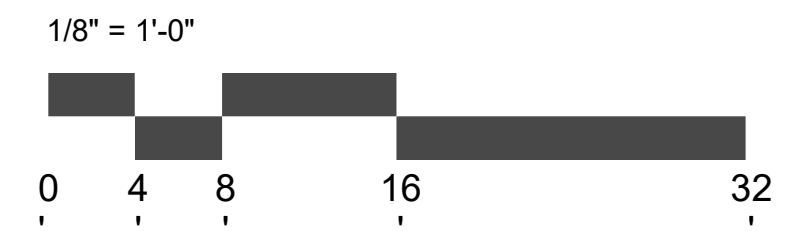
	Stone	ACM	Stucco
South Elevation	1195sf (91%)	0sf (0%)	122sf (09%)
West Elevation	1172sf (84%)	0sf (0%)	215sf (16%)
<b>Total</b>	<b>2367sf (88%)</b>	<b>0sf (07%)</b>	<b>337sf (12%)</b>



**PROJECT DESCRIPTION**

GROSS BUILDING FLOOR AREA:  
Building 4,165 SF  
Canopy 830 SF  
HEIGHT :  
27'-4" above grade line  
NUMBER OF FLOORS:  
1

**GRAPHIC SCALE**



APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_.  
WITNESS OUR HANDS, THIS \_\_\_ OF \_\_\_\_\_.  
PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

DATE: 12/17/2021

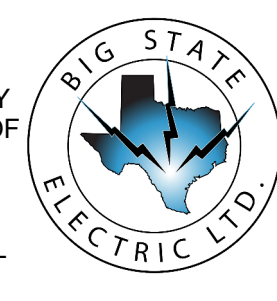
**ELEVATIONS**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**A2**



THIS DOCUMENT IS RELEASED FOR PRELIMINARY DESIGN REVIEW PURPOSES ONLY UNDER THE AUTHORITY OF SHANE CUSTER, P.E. 115593. NOT FOR CONSTRUCTION REGULATORY APPROVAL OR PERMIT.  
DATE: 12/17/2021



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice (210)735-1051  
Web www.bigstateelectric.com  
Firm Reg. #F-16549



**WMA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



**Hahnfeld Hoffer Stanford**

architects  
planners  
interiors





- 1 METAL WALL PANELS:  
ZINC COTE
- 2 LIMESTONE VENEER:  
IVORY
- 3 PORTLAND CEMENT PLASTER:  
SHAKER BEIGE
- 4 PORTLAND CEMENT PLASTER:  
BUCKHORN
- 5 METAL COPING:  
SIERRA TAN
- 6 METAL COPING:  
BUCKSKIN



**BIG STATE ELECTRIC**  
LTD.  
1075 Apple Street  
Dartmouth, N.S.  
Canada  
www.bigstateelectric.com  
P. 1-866-888-8888



**CCA**  
LANDSCAPE  
ARCHITECTURE  
**WIER & ASSOCIATES, INC.**  
ARCHITECTURE | INTERIORS | LAND PLANNING

**Hahnfeld  
Hoffer  
Stanford**

architects  
planners  
interiors



**Frost**

**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**MATERIAL FINISH BOARD**

# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.

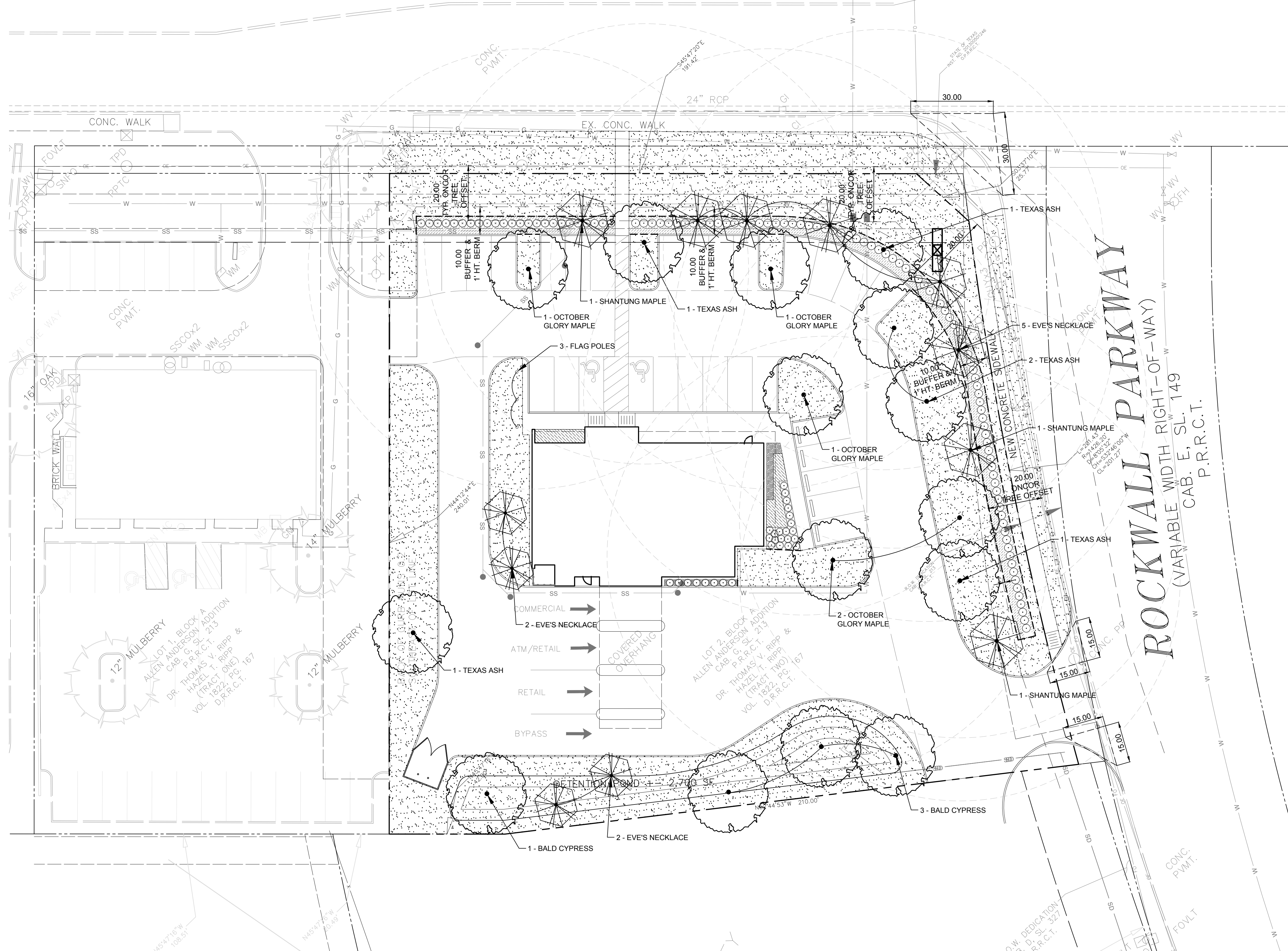
APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

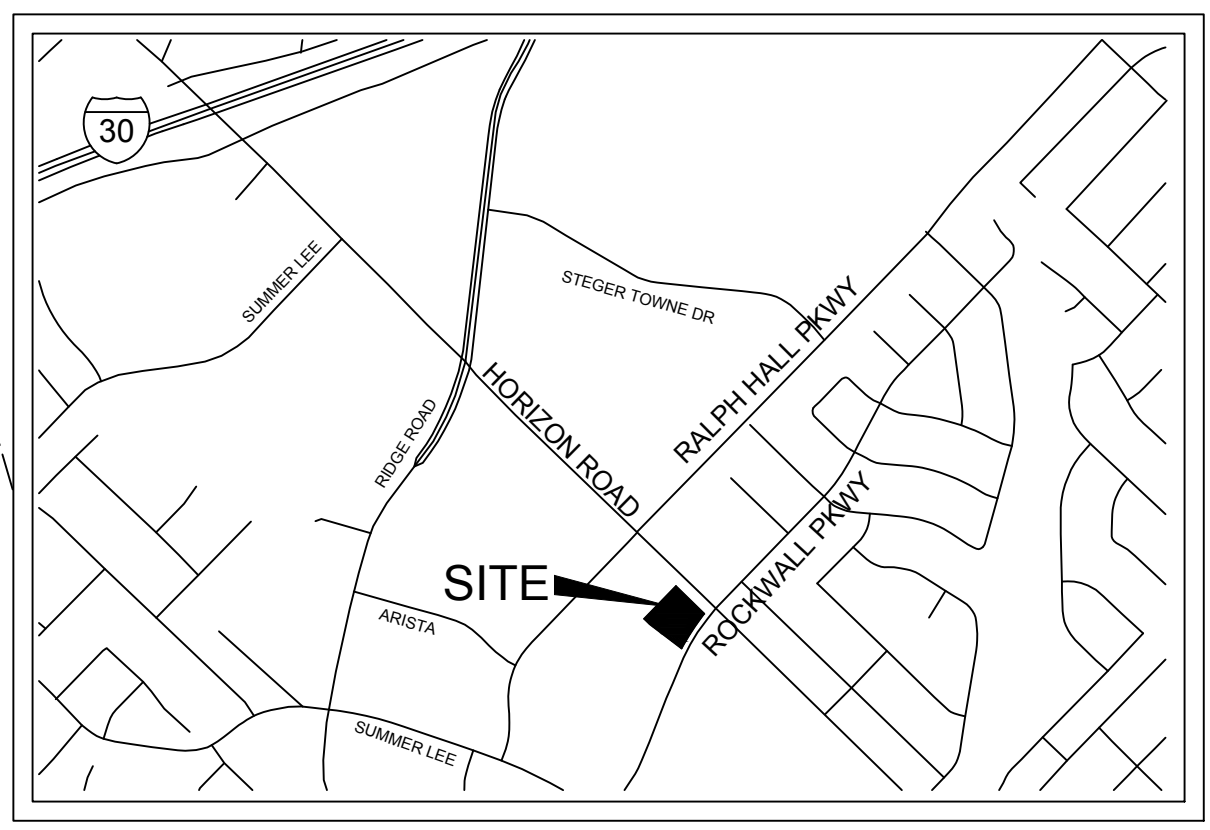
### PLANT AND MATERIAL SCHEDULE - Preliminary Selection List

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT.	SIZE	REMARKS	QTY
EN	EN	EVE'S NECKLACE / SOPHORA AFFINIS	CONT. OR BAB	4" CAL. MIN.	10'-12" H X 5' W MIN. FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, MULTY TRUNK, NO CROSSING OR RUBBING BRANCHES	9
SM	SM	SHANTUNG MAPLE / ACER TRUNCATUM	CONT. OR BAB	4" CAL. MIN.	10'-12" H X 5' W MIN. FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, SINGLE TRUNK, CENTRAL LEADER	3
CANOPY TREE OPTIONS:						
TA	TA	TEXAS ASH / FRAXINUS TEXENSIS	CONT. OR BAB	4" CAL. MIN.	12'-15" H X 5'-6" W MIN. FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	6
OGM	OGM	OCTOBER GLORY MAPLE / ACER RUBRUM 'OCTOBER GLORY'	CONT. OR BAB	4" CAL. MIN.	12'-15" H X 5'-6" W MIN. FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	5
BC	BC	BALD CYPRESS / TAXODIUM DISTICHUM	CONT. OR BAB	4" CAL. MIN.	12'-15" H X 5'-6" W MIN. FULL, WELL BRANCHED, VERTICAL GROWTH HABIT, STRAIGHT CENTRAL LEADER, NO CROSSING BRANCHES	4
GROUNDCOVERS / SPREAD GRASSES:						
CODE	COMMON NAME / BOTANICAL NAME	SIZE	REMARKS	SPACING	QTY	
DRY	DESERT DUSK RED YUCCA / HESPERALOE PARVIFLORA 'DESERT DUSK'	5 GAL	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 28" O.C. - 0.21 PLANTS / SF	43	
RCA	ROSE CREEK ABELIA / ABELIA X GRANDIFLORA 'ROSE CREEK'	5 GAL	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C. MIN. 24" HT. AT INSTALLATION	30	
DBH	DWARF BURFORD HOLLY / ILEX CORNUTA 'DWARF BURFORD'	5 GAL	FULL TO BASE, HEAVILY ROOTED	SINGLE ROW AT 36" O.C. MIN. 24" HT. AT INSTALLATION	68	
LS	BIG BLUE LIRIOPE / LIRIOPE MUCCSARI 'BIG BLUE' (DEEP SHADE AT OVERHANGS OF BUILDING ON NORTH)	1 GAL	FULL TO BASE, HEAVILY ROOTED	TRIANGULAR SPACING AT 12" O.C. - 1.15 PLANTS / SF	X	
GRASSES / TURF:						
CODE	COMMON NAME / BOTANICAL NAME	CONT.	REMARKS	QTY		
BS	BERMUDA GRASS / CYNODON DACTYLON 'TIFFINWAY 419'	SOD	SOLID SOD, REF. SPEC 32200	FIELD VERIFY		
MATERIALS:						
ITEM	DEPTH	REMARKS	QTY			
AGGREGATE	3" DEPTH	WASHED RIVER ROCK OR AGGREGATE OVER DOUBLE LAYER OF FILTER FABRIC	X			
LANDSCAPE EDGING		BETWEEN PLANTING & TURF, OR AGG. & PLANTING, ALUMINUM EDGING, REF. SPEC 32 9300	X			
MULCH - TOPDRESSING	3" DEPTH	RUSTIC CUT HARDWOOD OR APPROVED EQUIVALENT, COMPACTED DEPTH, REF. SPEC 32 9300	FIELD VERIFY			
MANUFACTURED TOPSOIL	2" DEPTH	MANUFACTURED TOPSOIL, SUPPLIED BY SOIL BUILDING SYSTEMS OR APPROVED EQ. REF. SPEC 32 9200 AND 32 9300	FIELD VERIFY			
COMPOST - PLANTING BEDS	3" DEPTH	ORGANIC, WELL-DECOMPOSED, REF. SPEC 32 9300	FIELD VERIFY			
WEED BARRIER - NEWSPRINT	8 LAYERS	1 ITEM: 8 LAYERS OF NEWSPRINT AT PLANTING BEDS, REF. DETAILS AND SPEC 32 9300	FIELD VERIFY			
EXPANDED SHALE	3" DEPTH	PLANTING BEDS, SUPPLIED BY SOIL BUILDING SYSTEMS OR APPROVED EQUAL, REF. SPEC 32 9300	FIELD VERIFY			
ORGANIC BIOLOGICAL FERTILIZER		REF. SPEC 32 9200 FOR MATERIAL AND APPLICATION RATE	FIELD VERIFY			
LAWN / TURF GRASS: NOTE: FIELD VERIFY ALL QUANTITIES. ALL DISTURBED AREAS TO BE GRASSED. REFER TO DETAILS AND SPECS.						
TOPSOIL - LAWN / TURF GRASS	1 1/2" DEPTH AT TURF/LAWN AREAS -	REF. DETAILS AND SPECS	FIELD VERIFY			
COMPOST - LAWN / TURF GRASS	1 1/2" DEPTH AT TURF/LAWN AREAS -	ORGANIC, WELL-DECOMPOSED, REF. DETAILS AND SPECS SUPPLIED BY SOIL SYSTEMS OR APPROVED EQUAL, REF. SPEC 32 9300	FIELD VERIFY			
ORGANIC BIOLOGICAL FERTILIZER		REF. SPEC 32 9200 FOR MATERIAL AND APPLICATION RATE	FIELD VERIFY			

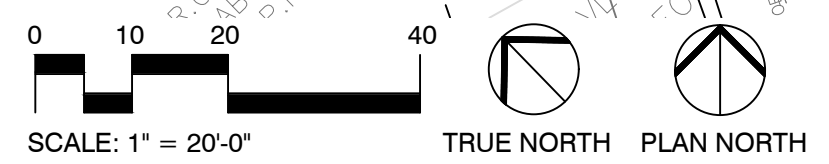


### SITE DATA

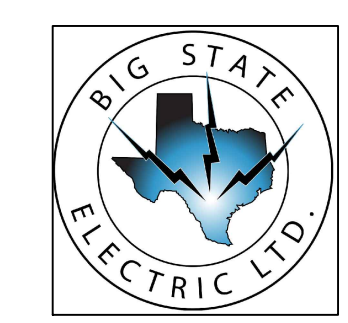
<b>Site Address</b>	Northwest Corner of Rockwall Parkway and FM 3097
<b>Zoning/Existing Land Use</b>	PD-9 - Planned Development, vacant
<b>Proposed Use</b>	Bank
<b>Building</b>	4,165.00 SF
<b>Lot Area</b>	1.20 Acres
<b>Landscape / Open Space Area</b>	58,186.00 SF
	Required per PD-9 - Whittle Development - Exhibit "C" - 10% Min. 20,400.16 SF 35% Provided
<b>Pervious Area</b>	20,400.16 SF
<b>Impervious Area</b>	37,785.84 SF
<b>Parking Lot Landscaping</b>	10' Buffer on 1' Berm (determine if allowed in utility easement along FM 3097)
<b>Parking Spaces</b>	18 (1 stall / 300 SF)
<b>Landscape Buffer - Street Trees</b>	418.62 LF Frontage
	Four (4) canopy trees and Four (4) accent trees provided along Rockwall Parkway
	Four (4) canopy trees and Four (4) accent trees provided along Horizon Road
<b>Tree Locations</b>	One tree located min. 80' from parking spaces
	Trees set back min. 5' from head-in parking
<b>Detention Pond Trees</b>	2,700.00 SF +/-
	4 Canopy trees - 1 tree per 750 SF
	2 Accent trees - 1 tree per 1,500 SF
<b>Visibility Triangles</b>	As reflected on plan per the UDC
<b>Irrigation</b>	Shall meet all requirements per the UDC
<b>Rights-of-Way &amp; Landscape Buffers</b>	Shall meet all requirements per the UDC - improved with grass (sod)



1 LANDSCAPE PLAN  
1" = 20'-0"



VICINITY MAP  
NOT TO SCALE  
DATE: 1/5/2022  
**LANDSCAPE PLAN**



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549



**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**L1**

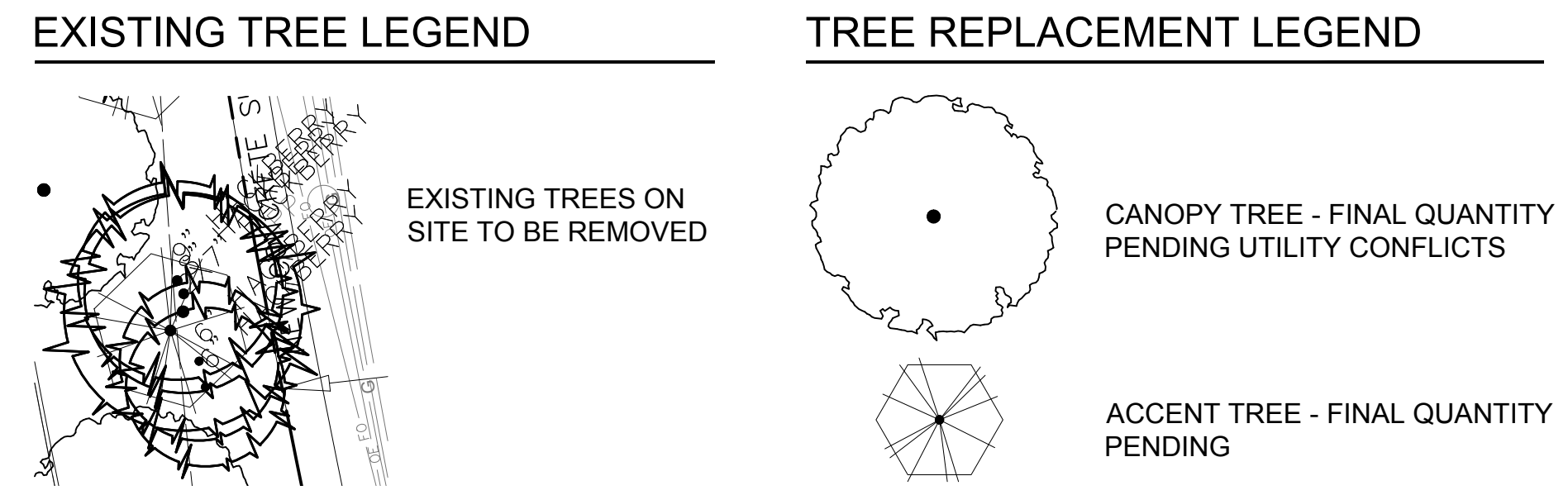
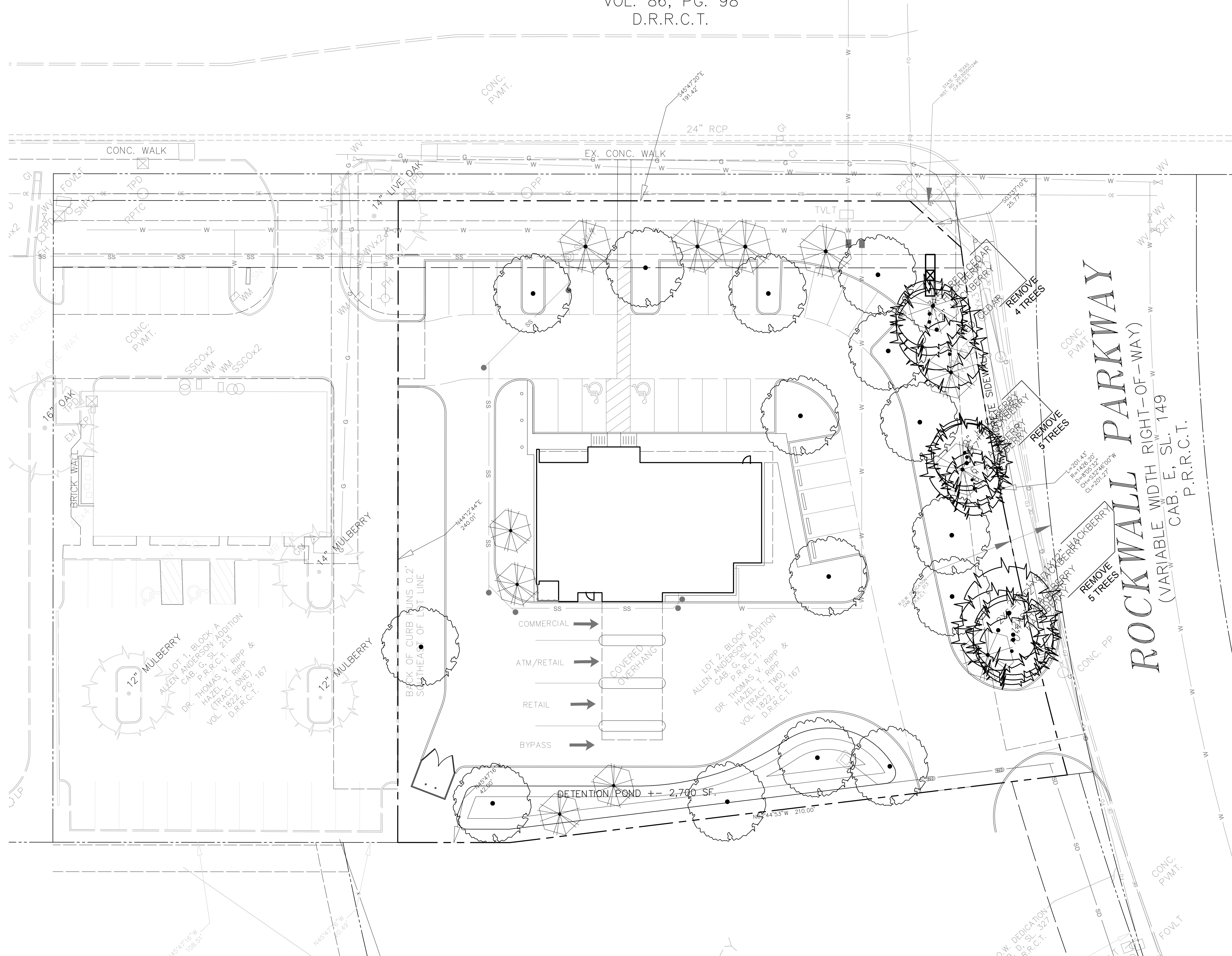
# HORIZON ROAD (F.M. HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

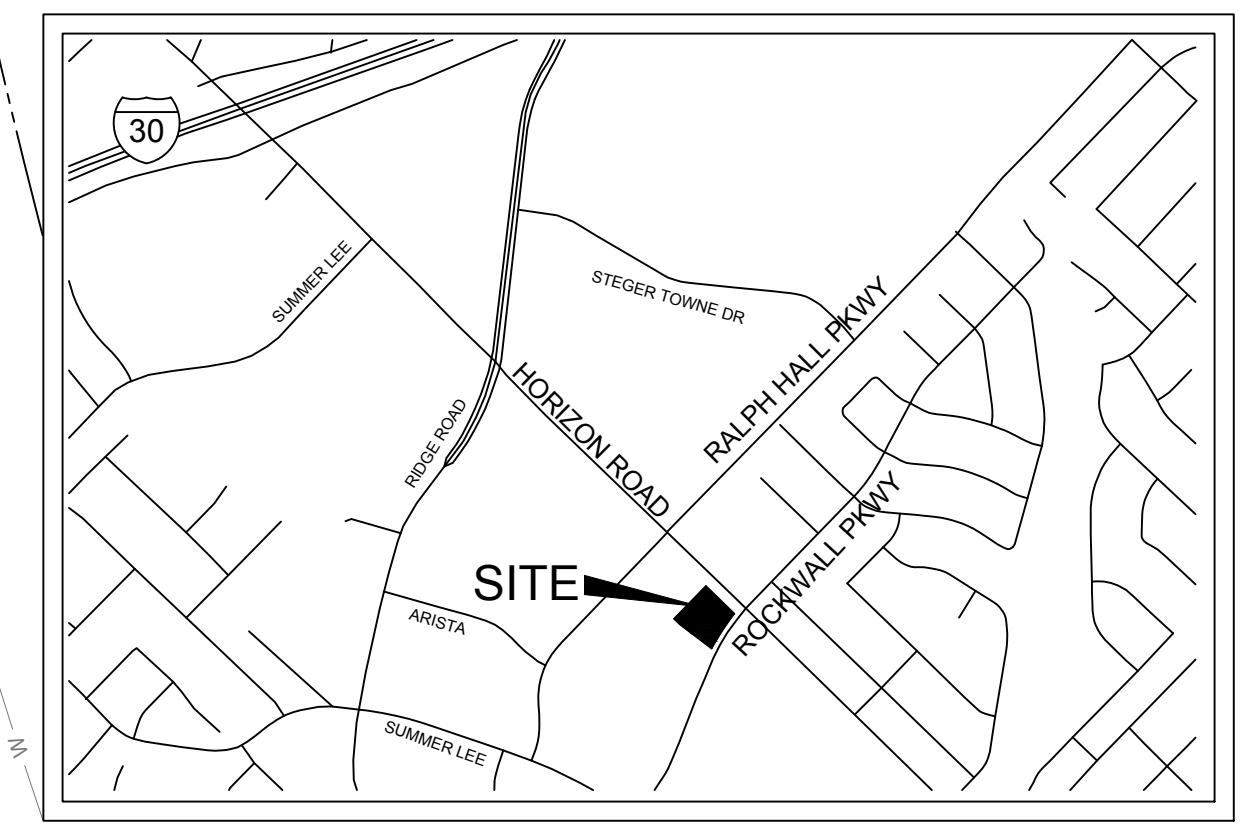
WITNESS OUR HANDS, THIS \_\_\_\_ OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



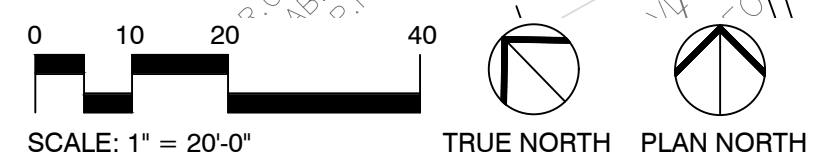
**SITE DATA**

Site Address	Northwest Corner of Rockwall Parkway and FM 3097
Zoning/Existing Land Use	PD-9 - Planned Development, vacant
Proposed Use	Bank
Building Area	4,165.00 SF
Lot Area	1.20 Acres
Landscape / Open Space Area	58,186.00 SF
	Required per PD 9 - Whittle Development - Exhibit "C" - 10% Min. 20,400.16 SF      35% Provided
Pervious Area	20,400.16 SF
Impervious Area	37,785.84 SF
Parking Lot Landscaping	10' Buffer on 1' Berm (determine if allowed in utility easement along FM 3097)
Parking Spaces	18 (1 stall / 300 SF)
Landscape Buffer - Street Trees	418.62 LF Frontage
	Four (4) canopy trees and Four (4) accent trees provided along Rockwall Parkway
	Four (4) canopy trees and Four (4) accent trees provided along Horizon Road
Tree Locations	One tree located min. 80' from parking spaces
	Trees set back min. 5' from head-in parking
Detention Pond Trees	2,700.00 SF +
	4 Canopy trees - 1 tree per 750 SF
	2 Accent trees - 1 tree per 1,500 SF
Visibility Triangles	As reflected on plan per the UDC
Irrigation	Shall meet all requirements per the UDC
Rights-of-Way & Landscape Buffers	Shall meet all requirements per the UDC - improved with grass (sod)

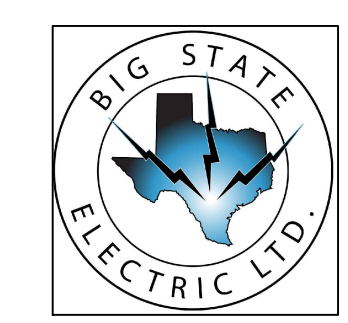


DATE: 1/5/2022

**1 TREESCAPE PLAN**  
1" = 20'-0"



## TREESCAPE PLAN



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549



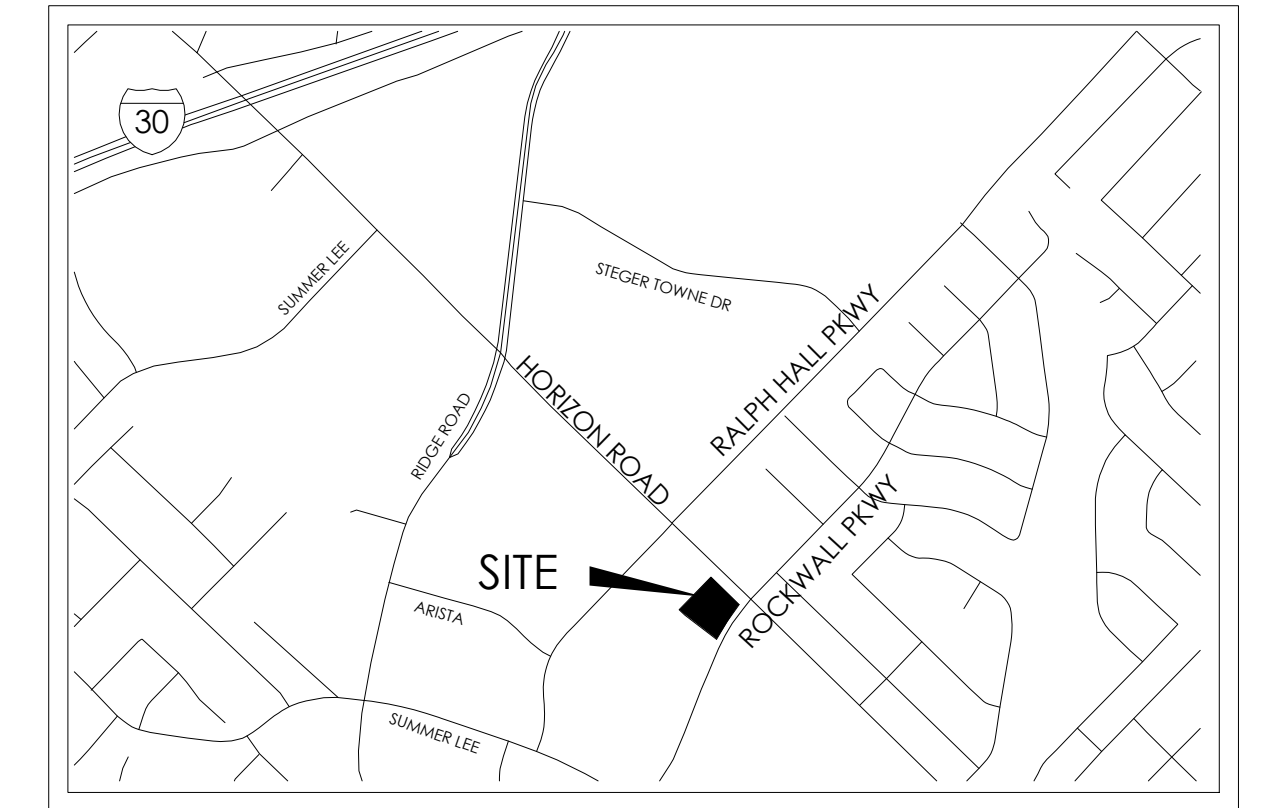
**FROST BANK  
ROCKWALL FINANCIAL  
CENTER**

**T1**

# HORIZON ROAD (F.M.HWY. 3097)

(VARIABLE WIDTH RIGHT-OF-WAY)  
VOL. 86, PG. 98  
D.R.R.C.T.

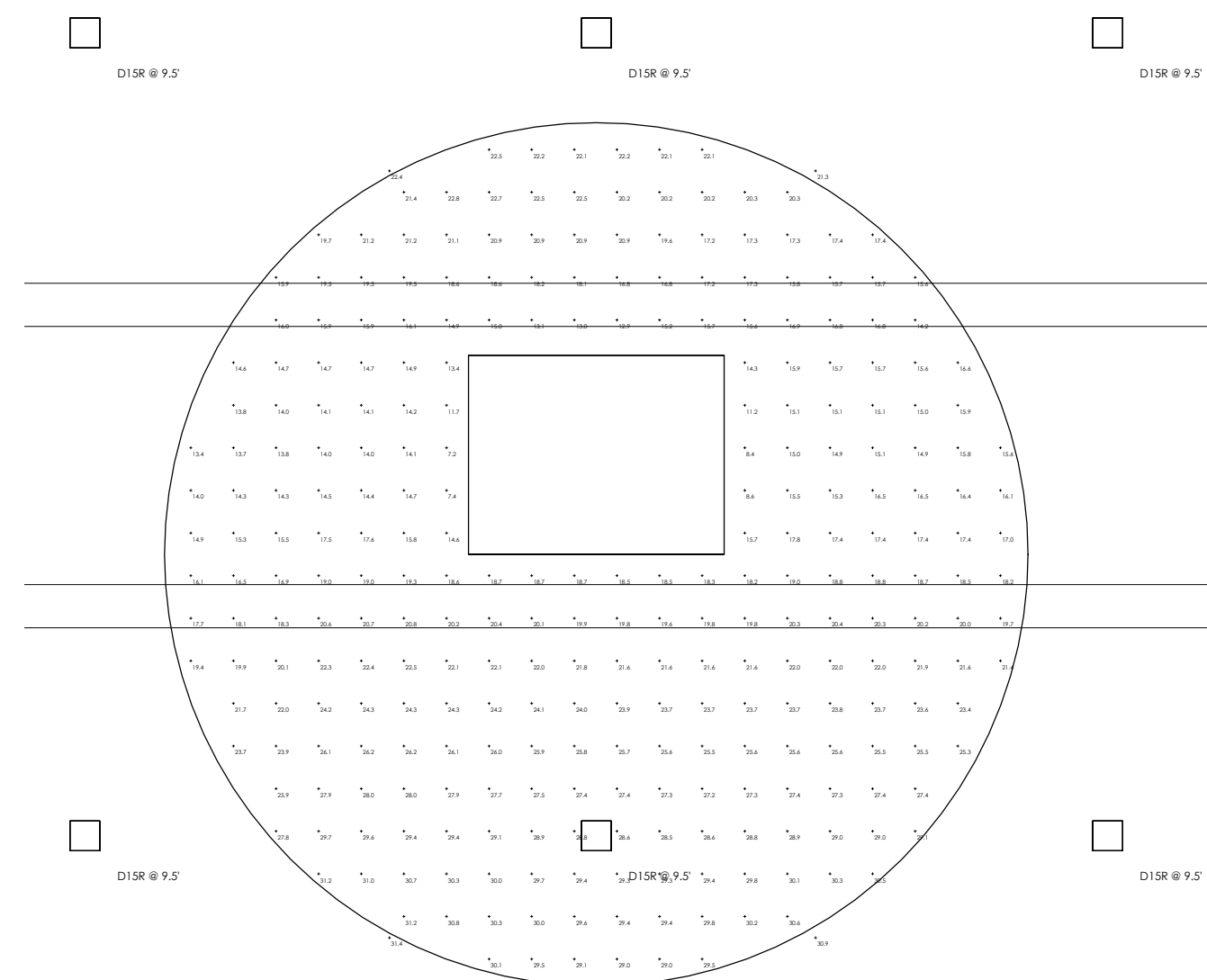
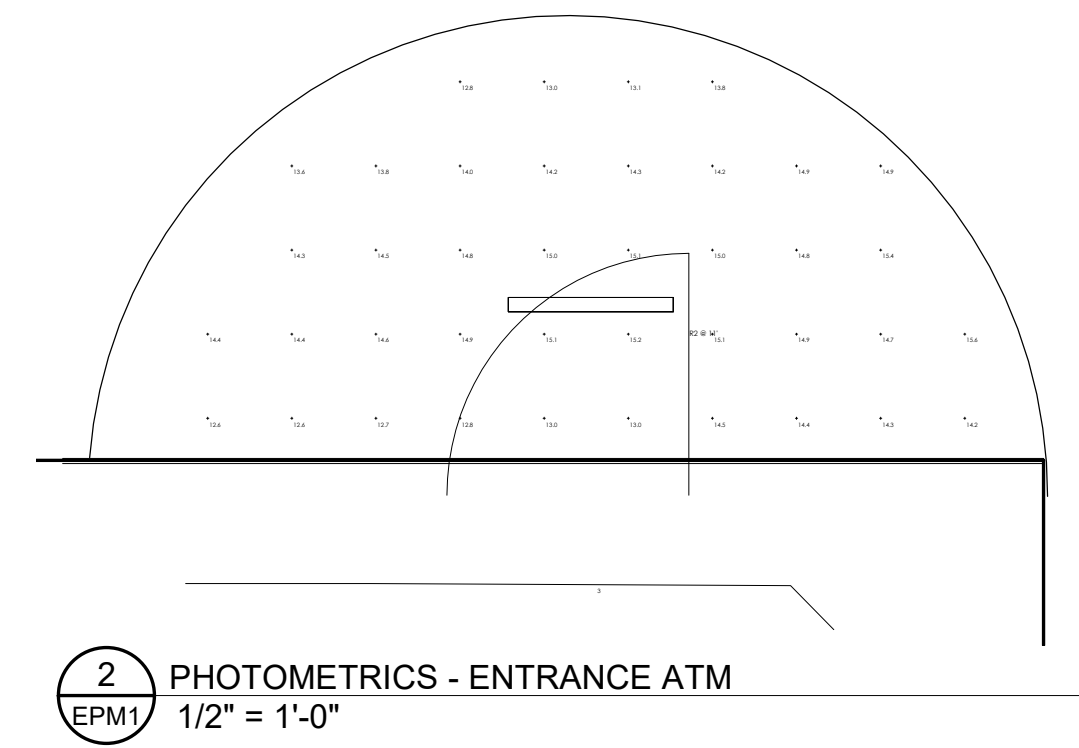
STATE OF TEXAS  
INST. NO. 201300501246  
O.P.R.R.C.T.



VICINITY MAP  
NOT TO SCALE

SITE DATA	
SITE ADDRESS	NORTHWEST CORNER OF ROCKWALL PARKWAY AND FM 3097
PROPOSED USE	FINANCIAL INSTITUTION WITH DRIVE-THRU
LOT AREA	1.198 ACRES
	52,189 SQFT
NET BUILDING AREA	4,167 SQFT BUILDING + 830 SQFT MOTOR BANK

**COMPLIANCE NOTE:**  
ALL CONTENTS WITHIN THIS SHEET ARE NOT FOR CONSTRUCTION. THIS SHEET AND THE CONTENT WITHIN ARE FOR THE SOLE PURPOSE OF LIGHTING COORDINATION REQUIREMENTS PER THE CITY OF ROCKWALL AND ATM LIGHTING TEXAS FINANCE CODE SECTION 59.307 IN ORDER TO ENSURE PATRON SAFETY AND SECURITY.



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE-THRU ATM 5'	+	21.0 fc	31.2 fc	7.2 fc	4.3:1	2.9:1
FRONT ATM 5'	+	14.2 fc	15.6 fc	12.6 fc	1.2:1	1.1:1
FRONT ATM 60'	+	7.6 fc	16.7 fc	1.9 fc	8.8:1	4.0:1
PROPERTY LINE	+	0.5 fc	5.2 fc	0.0 fc	N/A	N/A
SITE	+	2.8 fc	12.2 fc	0.0 fc	N/A	N/A
60' DRIVE-THRU ATM	+	8.5 fc	31.4 fc	1.8 fc	17.4:1	4.7:1

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	R2	14	Mark Architectural Lighting	SL2L 2 FLP 80CRI 40K 600LMF	Slot 2 LED, 2ft Length, Flushed Lens Position, 80CRI, 4000K LED boards, 600LMF	1	2192	0.45	23.3
□	STFT-HS	5	Lithonia Lighting	DSX2 LED P5 40K TFM MVOLT HS	DSX2 LED P5 40K TFM MVOLT with houside shield	1	29630	0.9	321
□	WP2	3	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1000mA.	1	7572	0.9	73.2
□	SP1	2	Lithonia Lighting	MRP LED 42C 530 40K SRS MVOLT	MRP POST TOP LIGHT 42 LEDS 530 mA DRIVE CURRENT 40K COLOR TEMP TYPE 5 DISTRIBUTION	1	6959	0.9	75
□	SBLC	1	Lithonia Lighting	DSX2 LED P5 40K BLC MVOLT	DSX2 LED P5 40K BLC MVOLT	1	31114	0.9	321
□	EM	1	SIGNTEX, INC	MUE10X-1	EXTRUDED ALUMINIUM HOUSING, FROSTED PLASTIC ENCLOSURE.	1	494	0.9	10.7
□	D15R	14	Lithonia Lighting	LDN4SQ 40/15 L54AR LSS	4IN LDN SQUARE, 4000K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CR180	1	1267	0.9	17.5
□	SLCCO	3	Lithonia Lighting	DSX2 LED P5 40K LCCO MVOLT	DSX2 LED P5 40K LCCO MVOLT	1	23152	0.9	321

- CALCULATION NOTES:**
- ALL EXTERIOR CALCULATIONS ARE ASSUMED ON EVEN OR FLAT TERRAIN.
  - ALL EXTERIOR CALCULATIONS ARE TAKEN AT 0'-0" AFG.
  - ATM CALCULATIONS ARE TAKEN AT 3'-0" AFG.
  - VALUE NEXT TO LUMINAIRE LABEL ON DRAWING REPRESENTS OVERALL MOUNTING HEIGHT.
  - TREES REFLECTANCE/TRANSMITTANCE VALUES ARE ASSUMED BASED ON ROUGH ESTIMATIONS OF TREE TYPES.
  - PHOTOMETRY ANALYSIS WAS DONE USING VISUAL LIGHTING 2020 R2 SOFTWARE

1 EPM1 SITE PLAN - PHOTOMETRICS  
1" = 20'-0"

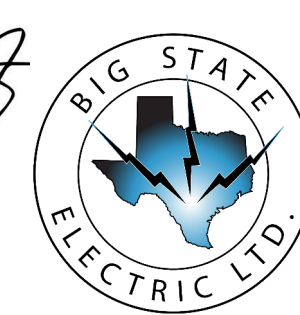
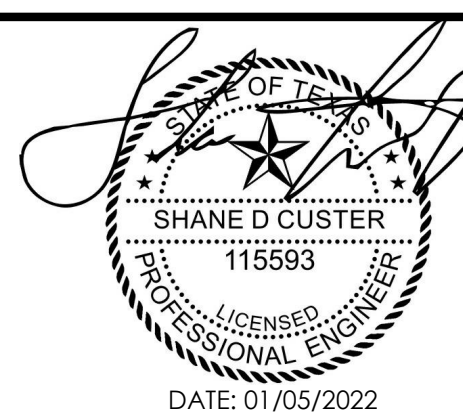


DATE: 01/05/2022

## SITE PLAN - PHOTOMETRICS

FROST BANK  
ROCKWALL FINANCIAL EPM1  
CENTER

CASE NUMBER: SP2021-035



**BIG STATE ELECTRIC LTD.**  
8923 Aero Street  
San Antonio, TX 78217  
Voice: (210)735-1051  
Web: www.bigstateelectric.com  
Firm Reg. #F-16549



**WMA WIER & ASSOCIATES, INC.**  
CONSULTING ENGINEERS | LAND SURVEYORS | LAND PLANNERS



**Hahnfeld Hoffer Stanford**

architects  
planners  
interiors



# LITHONIA LIGHTING®

## FEATURES & SPECIFICATIONS

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.

**CONSTRUCTION** — Durable square metal reflectors retained by torsion springs. Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C. Accommodates 12"-24" joist spacing. Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling. Max ceiling thickness 1-1/2".

**OPTICS** — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional. LED light source concealed with diffusing optical lens. General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors. Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes.

**ELECTRICAL** — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available. 0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled. 70% lumen maintenance at 60,000 hours.

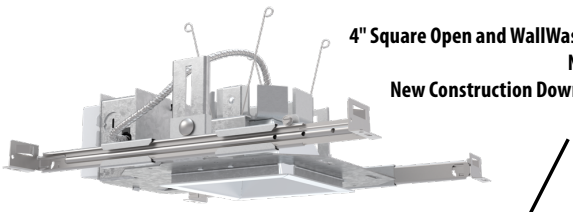
**LISTINGS** — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

# LDN4SQ

**4" Square Open and WallWash LED Non-IC New Construction Downlight**



A+ Capable options indicated by this color background.

**ORDERING INFORMATION** Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN4SQ 35/15 LS4AR LSS MVOLT EZ1

LDN4SQ	40/30	LS4AR				LSS	MVOLT
Series	Color temperature	Aperture/Trim Color				Finish	Voltage
LDN4SQ 4" square	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens	20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens	LS4 Downlight LSW4 Wallwash	AR Clear WR? White BR? Black	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 <sup>3</sup> 347V

EZ10		WL	
Driver	Options		
GZ10 0-10V driver dims to 10%	SF <sup>4</sup> Single fuse	NPS80EZ <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).	
GZ1 0-10V driver dims to 1%	TRW <sup>5</sup> White painted flange	NPS80EZER <sup>7</sup> nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.	
D10 Minimum dimming 10% driver for use with JOT	TRBL <sup>5</sup> Black painted flange	NLTAIR2 <sup>8,10</sup> nLight® Air enabled	
D1 Minimum dimming 1% driver for use with JOT	EL <sup>6</sup> Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIRER2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options	
<b>EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%</b>	ELR <sup>6</sup> Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS	NLTAIREM2 <sup>8,10</sup> nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	
<b>EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%</b>	ELSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, integral test switch. Not Certified in CA Title 20 MAEDBS	N80 <sup>9</sup> nLight™ Lumen Compensation	
EDAB eldoLED DALI SOLDRIVE dim to dark	ELRSD <sup>6</sup> Emergency battery pack with self-diagnostics, 10W Constant Power, remote test switch. Not Certified in CA Title 20 MAEDBS	JOT <sup>13</sup> Wireless room control with "Just One Touch" pairing	
	E10WCP <sup>6</sup> Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB	HAO <sup>11</sup> High ambient option (40°C)	
	E10WCPR <sup>6</sup> Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB	CP <sup>12</sup> Chicago Plenum	
	NPP16D <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).	RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.	
	NPP16DER <sup>7</sup> nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	USPOM US point of manufacture	
		90CRI High CRI (90+)	

- Notes**
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
  - Not available with finishes.
  - Not available with emergency options.
  - Must specify voltage 120V or 277V.
  - Available with clear (AR) reflector only.
  - 12.5" of plenum depth or top access required for battery pack maintenance.
  - Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
  - NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
  - Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
  - Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
  - Fixture height is 5-11/16" for all lumen packages with HAO.
  - Must specify voltage for 3000lm. Not available with emergency battery pack option.
  - Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

## Mullion Mount Outdoor Emergency Egress Lighting

**Series MUE**  
REV #: MUE.11.20.17

PROJECT: \_\_\_\_\_

TYPE: \_\_\_\_\_

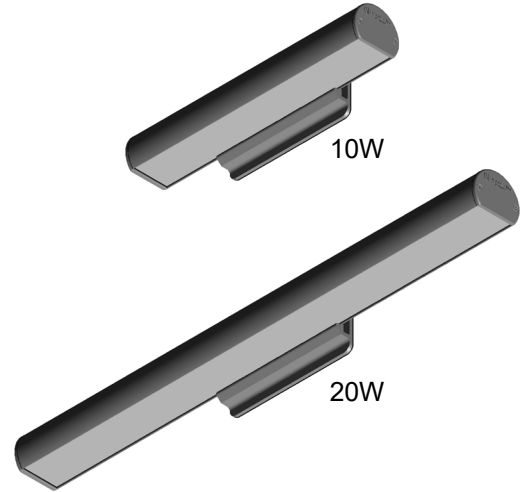
CATALOG #: \_\_\_\_\_

### OVERVIEW

Linear LED outdoor egress with both emergency lighting and night lighting function. The MUE series is designed to mount directly on mullion frames used in typical glass panel entrance structures, with vertical mounting surface as small as 2". High efficiency LEDs and full 90° cut-off provide uniform emergency and night lighting on the extended egress pathway. All models are outdoor rated, UL wet location, ADA compliant, and exceed requirements of UL Standard 924 and NFPA 101. Designed and manufactured in the USA, complies with ARRA (American Recovery and Reinvestment Act) and Buy American requirements.

### SPECIAL FEATURES

- Very low profile extruded aluminum housing and mount bracket blend seamlessly with structural metal frames
- Remote power supply for 10W and 20W BB and AC model single fixtures, or Central Battery System power for RE model multiple fixtures.
- Option for 20 watt models to operate for 2 hours in emergency mode
- Options for mount bracket height, from 2" to 5"
- Standard finishes include Brushed Aluminum, Satin White, Bronze or Black. Custom colors available on request
- Custom satin finishes for extended outdoor use are available to match any surface
- IP66 housing seals against heavy water spray and fine dust
- Universal side or top mount
- Wide lighting distribution designed for entrance walkways
- 10W or 20W emergency power models
- Optional normal-on switch allows timed control of night lighting
- Self-Test Diagnostics is standard for central battery models and optional for integral battery models.
- Certified IP66 housing withstands multi direction water spray and fine dust ingress
- Wall mount version available (see Series MAE)
- Standard CRI 5000K, with optional color corrections filters for 2900K, 3200K and 3800K.
- Code compliant emergency lighting layouts provided



### FIXTURE ORDERING INFORMATION EXAMPLE: MUEBB10AW-DG

MUE

MODEL SERIES	OPERATION	POWER	HOUSING COLOR	MOUNT	OPTIONS
MUE	RE Central Battery	10 10 Watts emergency and normal on power	W Satin White	T Top	DG Self-test diagnostics (BB models only)
	BB Battery backup (includes RPS)	20 20 Watts emergency and normal on power	A Aluminum	W Wall	SD Night Lighting Control Switch for models with DG option (120/277VAC)
	AC No battery (includes RPS)		B Dark Bronze		SB120 Night Lighting Control Switch for standard BB models (120VAC)
			X Custom		SB277 Night Lighting Control Switch for standard BB models (277VAC)
					REC 20W RPS panel recessed mount
					2EM 2 hrs emergency operation for BB models
					CW1 Color temp. - 3800K
					CW2 Color temp. - 3200K
					CW3 Color temp. - 2900K
					DAC Dual AC input
					2HT 2" Mount Bracket height
					5HT 5" Mount Bracket height



### Mullion Mount Outdoor Emergency Egress Lighting

#### CONSTRUCTION

- Extruded aluminum lamp housing 2" diameter, with gasketed mount bracket only 2 1/2"Ht that includes a waterproof compression seal for universal wall or top mount.
- Available models include:
  - RE: Multiple fixtures powered from a Central Battery System
  - BB and AC: Single fixtures powered from a Remote Power Supply
  - AC: 120/277 VAC input, with or without battery
- Wet location listed, UL924 and certified IP66
- Gasketed, molded end caps and Sealed acrylic lens
- Stainless steel hardware

#### LIGHTING

- Lamps connected in parallel allow continuous lighting after failure of one lamp, meeting NEC and NFPA requirements.
- Standard output color 5000K. Optional outputs available 2900K, 3200K and 3800K.
- Dual function available for emergency or normally -on operation.
- Standard Operating Temperature
  - RE: -40C to 50C (-40F to 120F)
  - BB: -20C to 40C (-4F to 104F)
  - AC: -20C to 40C (-4F to 104F)

#### ELECTRONICS

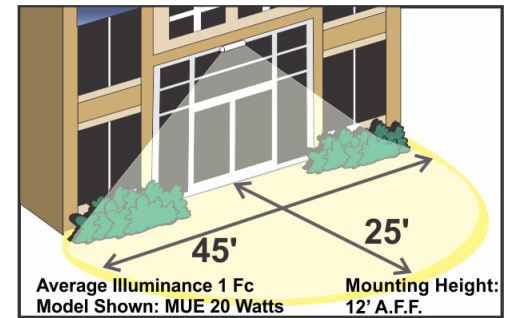
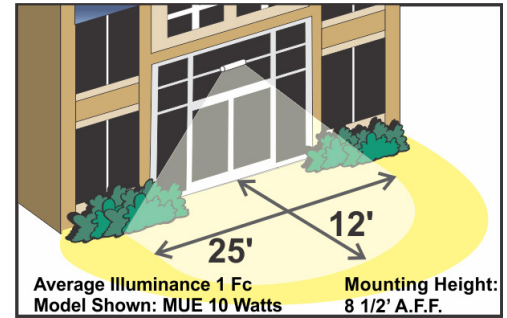
- Self-Test/Self-Diagnostic operation is standard for all RE models, and optional for BB models with the Remote Power Supply.
- Line latch circuit prevents unwanted emergency activation at installation.
- Low Voltage Disconnect prevents deep battery discharge

#### CODES

- Manufactured and tested to UL Standard 924, NFPA Life Safety Code 101, and certified to IP66.

#### WARRANTY

- 10 year total customer satisfaction warranty. For details see Signtex product catalog technical data section.



**NOTE:** FOR REFERENCE ONLY. STANDARD REFLECTANCES 80/50/20. SIGNTEX IS NOT RESPONSIBLE FOR SPECIFIC CONDITIONS THAT MAY ALTER THE RESULTS.



#### Self-test Diagnostic Functions (BB models)

STATUS	LED DISPLAY
Normal Full Charge	● GREEN ON
Normal Fast Charge	● ORANGE ON
Failed Battery	● ● RED FLASH FAST
Failed Lamp	● ● GREEN FLASH
Failed Transfer	● ● ORANGE FLASH
Failed Charger	● ● RED FLASH SLOW

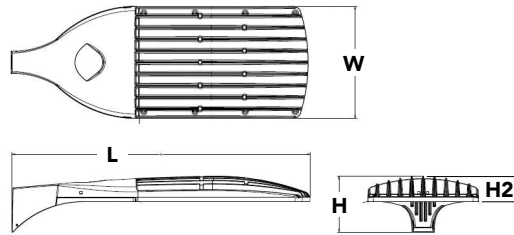


## D-Series Size 2 LED Area Luminaire

d<sup>series</sup>



- Specifications**
- EPA:** 1.1 ft<sup>2</sup> (0.10 m<sup>2</sup>)
  - Length:** 40" (101.6 cm)
  - Width:** 15" (38.1 cm)
  - Height 1:** 7-1/4" (18.4 cm)
  - Height 2: (max):** 3.5"
  - Weight:** 36lbs



### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

### Ordering Information

**EXAMPLE:** DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED	P5	40K	T5W	MVOLT	SPA	
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX2 LED	<b>Forward optics</b>	30K 3000 K	T1S Type I Short (Automotive) T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	T5VS Type V Very Short <sup>3</sup> T5S Type V Short <sup>3</sup> T5M Type V Medium <sup>3</sup> T5W Type V Wide <sup>3</sup> BLC Backlight control <sup>4</sup> LCCO Left corner cutoff <sup>4</sup> RCCO Right corner cutoff <sup>4</sup>	MVOLT <sup>5</sup> XVOLT (277V-480V) <sup>6,7,8</sup> 120 <sup>9</sup> 208 <sup>9</sup> 240 <sup>9</sup> 277 <sup>9</sup> 347 <sup>9</sup> 480 <sup>9</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>10</sup> WBA Wall bracket <sup>3</sup> SPUMBA Square pole universal mounting adaptor <sup>11</sup> RPUMBA Round pole universal mounting adaptor <sup>11</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>10</sup>
	P1 → P5 <sup>1</sup>	40K 4000 K				
	P2 → P6	50K 5000 K				
	P3 P7 <sup>1</sup>					
	P4 P8 <sup>1</sup>					
	<b>Rotated optics</b>					
	P10 <sup>2</sup> P13 <sup>1,2</sup>					
	P11 <sup>2</sup> P14 <sup>1,2</sup>					
	P12 <sup>2</sup>					

Control options	Other options	Finish (required)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>13</sup> PIRHN Network, Bi-Level motion/ambient sensor <sup>14</sup> PER NEMA twist-lock receptacle only (no controls) <sup>15</sup> PER5 Five-wire receptacle only (no controls) <sup>15,16</sup> PER7 Seven-wire receptacle only (no controls) <sup>15,16</sup> DMG 0-10V dimming extend out back of housing for external control (no controls) <sup>17</sup> DS Dual switching <sup>18,19</sup>	<b>Shipped installed</b> HS House-side shield <sup>22</sup> SF Single fuse (120, 277, 347V) <sup>9</sup> DF Double fuse (208, 240, 480V) <sup>9</sup> L90 Left rotated optics <sup>2</sup> R90 Right rotated optics <sup>2</sup> HA 50°C ambient operations <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>21</sup> EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

**S3: DSX2 LED P5 40K T3M MVOLT**  
**S5W: DSX2 LED P5 40K T5W MVOLT**  
**STFT: DSX2 LED P5 40K TFTM MVOLT**  
**STFT-2180: (2@180DEGREES)DSX2 LED P5 40K TFTM MVOLT**  
**STFT-290: (2@90DEGREES) DSX2 LED P5 40K TFTM MVOLT**

**S3**  
**S5W**  
**STFT**  
**STFT-2180**  
**STFT-290**

## Ordering Information

### Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>24</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>24</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>24</sup>
DSHORT SBK U	Shorting cap <sup>24</sup>
DSX2HS 80C U	House-side shield for 80 LED unit <sup>22</sup>
DSX2HS 90C U	House-side shield for 90 LED unit <sup>22</sup>
DSX2HS 100C U	House-side shield for 100 LED unit <sup>22</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>25</sup>
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>12</sup>
DSX2EGS (FINISH) U	External glare shield

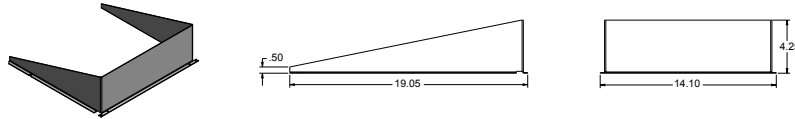
For more control options, visit [DTL](#) and [ROAM](#) online.

### NOTES

- HA not available with P5, P7, P8, P13, and P14.
- P10, P11, P12, P13 or P14 and rotated optics (L90, R90) only available together.
- Any Type 5 distribution with photocell, is not available with WBA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- XVOLT is only suitable for use with P5, P6, P7, P8, P13 and P14.
- XVOLT works with any voltage between 277V and 480V.
- XVOLT not available with fusing (SF or DF) and not available with PIRH or PIRH1FC3V.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Suitable for mounting to round poles between 3.5" and 12" diameter.
- Universal mounting bracket intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- Must be ordered with PIRHN. Sensor cover only available in dark bronze, black, white or natural aluminum color.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming. .
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIRH1FC3V or PIRH1FC3V, FAO.
- Requires (2) separately switched circuits with isolated neutrals.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available with P1, P2, P10.
- Reference Controls Options table settings table on page 4. Reference Motion Sensor Default table on page 4 to see functionality.
- Reference controls options table on page 4.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessories; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 and PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

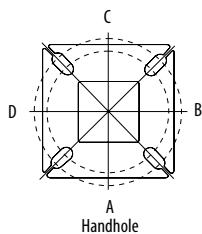
## Options

### EGS - External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

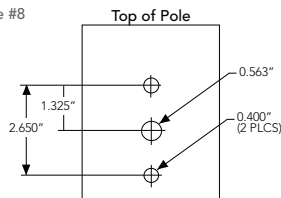
### DSX2 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX2 LED	1.100	2.200	2.120	3.300	2.850	4.064

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Template #8

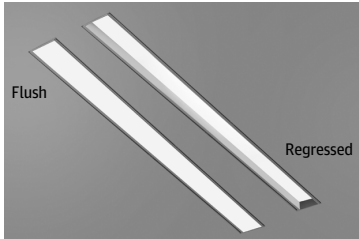


# MARK ARCHITECTURAL LIGHTING™

## Slot 2 LED Recessed Linear

Slot 2 LED takes both form and function a step further with increased efficacy and integral controls creating a digitally addressable luminaire that is perfect where visually harmonious illumination and energy efficiency are desired.

Slot 2 LED is the ideal choice for spaces that emphasize lines and clean contemporary design. It is a perfect fit for Armstrong TechZone™ ceiling systems. A regressed lens option provides added dimension to the sleek, slender design and the flush lens now has a Wet Label option.

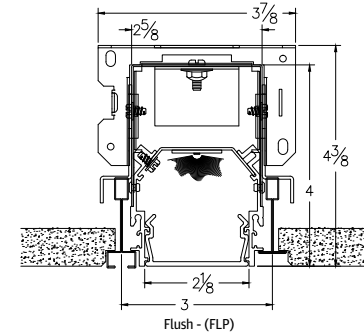


### Specification Features (continued on page 2)

- Housing**  
Nominal 2" x 2', 3', 4', 5', 6', 7', 8' and continuous rows in 1" increments as standard, upper housing fabricated from cold-rolled steel with extruded aluminum ceiling trim.
- Finish**  
Painted high reflectance matte white powder coat.
- Reflector**  
Precision-formed steel; high reflectance matte white powder coat; 93% reflectivity.
- Shielding**  
Flush Lens: Snap-in 90% transmissive satin acrylic lens.  
Regressed Lens: Lay-in 90% transmissive satin acrylic lens.

- Mounting**  
Recessed. Available for sheetrock, 9/16" slot grid or 15/16" inverted tee ceilings, or 9/16" inverted tee.
- Certification**  
CSA tested to UL 1598 standards. Optional Damp or Wet location listings available, see ordering tree. This product is IC rated.
- Warranty**  
5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)
- Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

### Technical Drawing



#### Fixture Performance - SL2L\*

Lumens Output	400 LMF		600 LMF**		800LMF**		1000LMF	
	RLP	FLP	RLP	FLP	RLP	FLP	RLP	FLP
Delivered Lumens/FT	234	308	404	533	534	705	654	862
Input Watts/FT	4	4	6	6	8	8	11	11
Lumen/Watt	68	89	69	91	67	88	62	82

\* CCT (35K)  
\* Consult factory for customized lumen output and wattage  
\*\*Based on calculated values



#### LED Components

Linear: Nichia® - 757 Series LED chips (available in 80 or 90 CRI)

#### LED Life

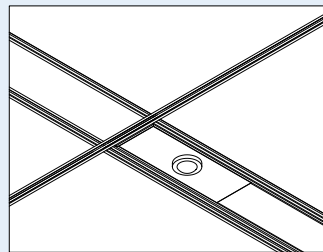
Rated 65,000 hours (L80) at 25 °C ambient temperature.

#### Color Consistency

The Acuity Brands circuit boards for the linear LED components use a precise binning algorithm which creates a consistent color temperature from board to board. Color variation is no greater than a 2.5 Step MacAdam (2.5SDCM) along the black body locus from board to board.

#### Driver

eldoLED constant current driver options delivers ultra-smooth dimming resolution from 100% to 0.1%, while assuring flicker free, low current inrush, 89% efficiency and low EMI.



Occupancy Sensor (PDT) and/or Photocell (ADC)

#### Integrated Controls

Optional nLight® embedded controls make luminaire addressable- allowing it to digitally communicate with other nLight enabled controls such as dimmers, switches, occupancy sensors and photocontrols. Simply connect all the nLight enabled control devices using standard CAT5 Cabling. (Input option: NLIGHT)

#### Photometry

For photometric information refer to [www.marklighting.com](http://www.marklighting.com).



# D-Series Size 1 LED Wall Luminaire



## d"series

### Specifications Luminaire

<b>Width:</b>	13-3/4" (34.9 cm)	<b>Weight:</b>	12 lbs (5.4 kg)
<b>Depth:</b>	10" (25.4 cm)		
<b>Height:</b>	6-3/8" (16.2 cm)		

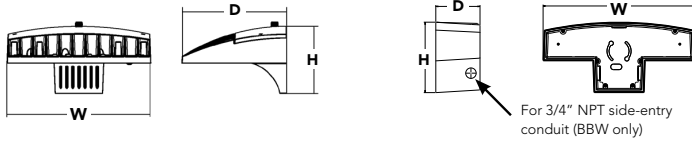
### Back Box (BBW, ELCW)

<b>Width:</b>	13-3/4" (34.9 cm)	<b>BBW Weight:</b>	5 lbs (2.3 kg)
<b>Depth:</b>	4" (10.2 cm)	<b>ELCW Weight:</b>	10 lbs (4.5 kg)
<b>Height:</b>	6-3/8" (16.2 cm)		

### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



### Ordering Information

**EXAMPLE:** DSXW1 LED 20C 1000 40K T3M MVOLT DBBXTD

DSXW1 LED	20C	1000	40K	T3M	MVOLT		
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) <sup>1</sup>	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFM Forward Throw Medium	MVOLT <sup>2</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 <sup>3,4</sup> 480 <sup>3,4</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) <sup>5</sup>	Shipped installed PE Photoelectric cell, button type <sup>6</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht <sup>1,7</sup> PIRH 180° motion/ambient light sensor, 15-30' mtg ht <sup>1,7</sup> PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>1,7</sup> ELCW Emergency battery backup (includes external component enclosure), CA Title 20 Noncompliant <sup>8,9</sup>

Other Options		DNAXD	
		Finish (required)	
<b>Shipped installed</b>	<b>Shipped separately</b> <sup>11</sup>	DBBXTD Dark bronze	DSSXD Sandstone
SF Single fuse (120, 277 or 347V) <sup>3,10</sup>	BSW Bird-deterrent spikes	DBLXDD Black	DBBXTD Textured dark bronze
DF Double fuse (208, 240 or 480V) <sup>3,10</sup>	VG Vandal guard	DNAXD Natural aluminum	DBLBXD Textured black
HS House-side shield <sup>11</sup>	DDL Diffused drop lens	DWHXD White	DNATXD Textured natural aluminum
SPD Separate surge protection <sup>12</sup>			

### Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

### NOTES

- 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
- Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Reference Motion Sensor table on page 3.
- Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at [www.lithonia.com](http://www.lithonia.com)
- Not available with SPD.
- Not available with ELCW.
- Also available as a separate accessory; see Accessories information.
- Not available with ELCW.



## TEXAS FINANCE CODE

### TITLE 3. FINANCIAL INSTITUTIONS AND BUSINESSES

#### SUBTITLE A. BANKS

#### CHAPTER 59. MISCELLANEOUS PROVISIONS

##### Subchapter D. Safety at Unmanned Teller Machines<sup>3</sup>

**Sec. 59.301. Definitions.** In this subchapter:

(1) "Access area" means a paved walkway or sidewalk that is within 50 feet of an unmanned teller machine. The term does not include a public right-of-way or any structure, sidewalk, facility, or appurtenance incidental to the right-of-way.

(2) "Access device" has the meaning assigned by Regulation E (12 C.F.R. Section 205.2), as amended, adopted under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.), as amended.

(3) "Candlefoot power" means the light intensity of candles on a horizontal plane at 36 inches above ground level and five feet in front of the area to be measured.

(4) "Control" means the authority to determine how, when, and by whom an access area or defined parking area may be used, maintained, lighted, and landscaped.

(5) "Customer" means an individual to whom an access device is issued for personal, family, or household use.

(6) "Defined parking area" means the portion of a parking area open for unmanned teller machine customer parking that is contiguous to an access area, is regularly, principally, and lawfully used during the period beginning 30 minutes after sunset and ending 30 minutes before sunrise for parking by customers using the machine, and is owned or leased by the owner or operator of the machine or owned or controlled by a person leasing the machine site to the owner or operator of the machine. The term does not include:

(A) a parking area that is physically closed or on which one or more conspicuous signs indicate that the area is closed; or

(B) a level of a multiple-level parking area other than the level considered by the operator of the unmanned teller machine to be the most directly accessible to a customer.

(7) "Financial institution" has the meaning assigned by Section 201.101.

(8) "Operator" means the person primarily responsible for the operation of an unmanned teller machine.

(9) "Owner" means a person having the right to determine which financial institutions are permitted to use or participate in the use of an unmanned teller machine.

(10) "Unmanned teller machine" means a machine, other than a telephone, capable of being operated solely by a customer to communicate to a financial institution:

(A) a request to withdraw money from the customer's account directly or under a line of credit previously authorized by the financial institution for the customer;

(B) an instruction to deposit money in the customer's account with the financial institution;

(C) an instruction to transfer money between one or more accounts maintained by the customer with the financial institution;

(D) an instruction to apply money against an indebtedness of the customer to the financial institution; or

(E) a request for information concerning the balance of the account of the customer with the financial institution.

**Sec. 59.302. Exception for Certain Unmanned Teller Machines.** This subchapter does not apply to an unmanned teller machine:

(1) by which:

(A) a customer of a financial institution can authorize and effect the electronic transfer of money from the customer's account at the financial institution to a merchant's account at a financial institution in the county or municipality in which the terminal is located to obtain cash or to purchase, rent, or pay for goods or services; and

(B) the merchant can ascertain that the transaction has been completed and the money has been or will be transferred to the merchant's account at the merchant's financial institution in the county or municipality in which the terminal is located; or

(2) located:

(A) inside a building:

(i) unless the building is a freestanding installation existing solely to provide an enclosure for the machine; or

(ii) except to the extent a transaction can be conducted from outside the building; or

(B) in an area not controlled by the owner or operator of the machine.

**Sec. 59.303. Applicability to Certain Persons Who Are Not Owners or Operators.** (a) A person is not an owner or operator solely because the person's primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data.

(b) A person whose primary function is to provide for the exchange, transfer, or dissemination of electronic fund transfer data and who is not an owner or operator is not liable to a customer or user of an unmanned teller machine for a claim arising out of or in connection with a use or attempted use of the machine.

**Sec. 59.304. Construction of Subchapter.** (a) This subchapter does not require the relocation or modification of an unmanned teller machine on the occurrence of a particular event or circumstance.

(b) A violation of this subchapter or a rule adopted under this subchapter is not negligence per se. Substantial compliance with this subchapter and each rule adopted under this subchapter is prima facie evidence that a person has provided adequate safety protection measures relating to an unmanned teller machine under this subchapter.

**Sec. 59.305. Lighting Required.** During the period beginning 30 minutes after sunset and ending 30 minutes before sunrise, lighting shall be provided for:

- (1) an unmanned teller machine;
- (2) the machine's access area and defined parking area; and
- (3) the exterior of the machine's enclosure, if the machine is located in an enclosure.

**Sec. 59.306. Persons Required to Provide Lighting.** (a) Except as provided by Subsection (b), the owner or operator shall provide the lighting required by this subchapter.

(b) A person who leases the site where an unmanned teller machine is located shall provide the lighting required by this subchapter if the person controls the access area or defined parking area for the machine and the owner or operator does not control the access area or defined parking area.

**Sec. 59.307. Standards for Lighting.** The lighting must be at least:

- (1) 10 candlefoot power at the face of the unmanned teller machine and extending in an unobstructed direction outward five feet;
- (2) two candlefoot power within 50 feet from any unobstructed direction from the face of the machine, except as provided by Subdivision (3);
- (3) if the machine is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, two candlefoot power along the first 40 unobstructed feet of the adjacent side of the building; and
- (4) two candlefoot power in the part of the defined parking area within 60 feet of the unmanned teller machine.

**Sec. 59.308. Safety Evaluation.** (a) An owner or operator shall in good faith evaluate the safety of each unmanned teller machine that the person owns or operates.

(b) In making the evaluation, the owner or operator shall consider:

- (1) the extent to which the lighting for the machine complies with Section 59.307;
- (2) the presence of obstructions, including landscaping and vegetation, in the area of the machine and the access area and defined parking area for the machine; and



(3) the incidence of violent crimes in the immediate neighborhood of the machine as shown by local law enforcement records and of which the owner or operator has actual knowledge.

**Sec. 59.309. Notice of Safety Precautions.** (a) An issuer of an access device shall give the customer a notice of basic safety precautions that the customer should follow while using an unmanned teller machine.

(b) The issuer shall personally deliver or mail the notice to each customer whose mailing address is in this state according to records for the account to which the access device relates. If the issuer furnishes an access device to more than one customer on the same account, the issuer is required to furnish a notice to only one of the customers.

(c) The issuer may furnish information under this section with other disclosures related to the access device, including an initial or periodic disclosure statement furnished under the Electronic Fund Transfer Act (15 U.S.C. Section 1693 et seq.).

**Sec. 59.310. Enforcement and Rules.** (a) The finance commission and the Credit Union Commission shall enforce this subchapter and adopt rules to implement this subchapter.<sup>4</sup>

(b) The rules must establish security requirements to be implemented by a financial institution for the operation of an unmanned teller machine. The rules may require the financial institution to install and maintain security devices in addition to those required by this subchapter to be operated in conjunction with the machine for the protection of customers using the machine, including:

(1) video surveillance equipment that is maintained in working order and operated continuously during the hours of operation of the machine; and

(2) adequate lighting around the premises that contain the machine.

(c) A financial institution that violates a rule adopted under this section is subject to a civil penalty of not less than \$50 or more than \$1,000 for each day of violation and each act of violation.



January 24, 2022

TO: Priya Acharya  
Wier & Associates, Inc.  
2201 E. Lamar Boulevard, Suite 200E  
Arlington, Texas 76006

FROM: Henry Lee  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2021-035; *Site Plan for a Frost Bank*

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on January 11, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The subject property will be required to be replatted prior to the issuance of a building permit.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On January 11, 2022, the Planning and Zoning Commission approved a motion to approve of the site plan with the conditions of approval, and only the masonry material variance by a vote of 6-0, with Commissioner Thomas absent. The variance to the lighting standards was denied.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue horizontal line.

Henry Lee  
Planner