



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2021-029 P&Z DATE 11/9/21 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

| ZONING APPLICATION |
|--|
| <input type="checkbox"/> SPECIFIC USE PERMIT |
| <input type="checkbox"/> ZONING CHANGE |
| <input type="checkbox"/> PD CONCEPT PLAN |
| <input type="checkbox"/> PD DEVELOPMENT PLAN |

| SITE PLAN APPLICATION |
|---|
| <input checked="" type="checkbox"/> SITE PLAN |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |
| <input type="checkbox"/> PHOTOMETRIC PLAN |
| <input type="checkbox"/> BUILDING ELEVATIONS |
| <input type="checkbox"/> MATERIAL SAMPLES |
| <input type="checkbox"/> COLOR RENDERING |

| PLATTING APPLICATION |
|--|
| <input type="checkbox"/> MASTER PLAT |
| <input type="checkbox"/> PRELIMINARY PLAT |
| <input type="checkbox"/> FINAL PLAT |
| <input type="checkbox"/> REPLAT |
| <input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT |
| <input type="checkbox"/> VACATION PLAT |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |

| |
|--|
| <input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____) |
| <input checked="" type="checkbox"/> APPLICATIONS |
| <input checked="" type="checkbox"/> RECEIPT |
| <input checked="" type="checkbox"/> LOCATION MAP |
| <input type="checkbox"/> HOA MAP |
| <input type="checkbox"/> PON MAP |
| <input type="checkbox"/> FLU MAP |
| <input type="checkbox"/> NEWSPAPER PUBLIC NOTICE |
| <input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE |
| <input type="checkbox"/> PROJECT REVIEW |
| <input type="checkbox"/> STAFF REPORT |
| <input type="checkbox"/> CORRESPONDENCE |
| <input type="checkbox"/> COPY-ALL PLANS REQUIRED |
| <input type="checkbox"/> COPY-MARK-UPS |
| <input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE |
| <input type="checkbox"/> MINUTES-LASERFICHE |
| <input type="checkbox"/> PLAT FILED DATE _____ |
| <input type="checkbox"/> CABINET # _____ |
| <input type="checkbox"/> SLIDE # _____ |
| NOTES: _____ |
| _____ |
| _____ |
| _____ |
| _____ |
| ZONING MAP UPDATED _____ |



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION SOMERSET PARK PH.2

LOT -

BLOCK -

GENERAL LOCATION NEOF THE INTERSECTION OF SH 205 AND FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-63

CURRENT USE VACANT

PROPOSED ZONING PD-63

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 82.809

LOTS [CURRENT] 1

LOTS [PROPOSED] 165 (RS.) 6 (HOA)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ARCADIA LAKES OF SOMERSET HOLDINGS, LLC

APPLICANT SPINES ENGINEERING, INC.

CONTACT PERSON BILL BIEHEMA

CONTACT PERSON GREG HESSEL

ADDRESS 3500 MAPLE AVENUE

ADDRESS 765 CUSTER RD.

SUITE 1165

CITY, STATE & ZIP DALLAS, TX 75219

CITY, STATE & ZIP PLANO, TX 75075

PHONE (214) 986-5024

PHONE (903) 408-7486

E-MAIL bill@arcadiarealty.net

E-MAIL greg.hessel@spinesengineering.com

NOTARY VERIFICATION [REQUIRED]

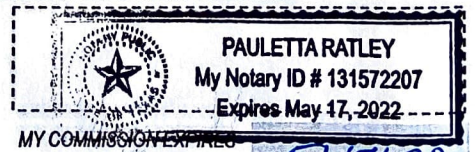
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William BieHEMA Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 + 20.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2021.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER:
 OVERLAY DISTRICT:

REVIEWED BY:
 REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|---|-------------------------------------|-------------------------------------|--|------------------------|
| Items Necessary for Site Plan Review: | | | | <i>Per Application</i> |
| ✓ Site Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | §03.04.A, of Art. 11 |
| ✓ Landscape Plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | - |
| ✓ Treescape Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | - |
| ✓ Photometric Plan | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | - |
| ✓ Building Elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | - |
| Building Material Sample Board and Color Rendering of Building Elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project. | §03.04.A, of Art. 11 |
| Submittal Requirements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal. | §03.04.A, of Art. 11 |
| Is the property properly platted? | <input type="checkbox"/> | <input type="checkbox"/> | Indicate if the property has been properly platted. | - |
| Title Block (Project Name, Legal Description and/or Address) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation. | §03.04.A, of Art. 11 |
| Case Number | <input type="checkbox"/> | <input type="checkbox"/> | The case number should be placed in the lower right-hand corner below the title block of all sheets. | §03.04.A, of Art. 11 |
| Owners (Name, Address, and Phone Number) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block. | §03.04.A, of Art. 11 |
| Developer (Name, Address, and Phone Number) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block. | §03.04.A, of Art. 11 |
| North Point | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position. | §03.04.A, of Art. 11 |
| Numeric and Graphic Scale | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'. | §03.04.A, of Art. 11 |
| Vicinity Map | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius. | §03.04.A, of Art. 11 |
| Signature Block | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director. | §03.04.A, of Art. 11 |
| Date | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The date that the plans were prepared is required on all submittals. | §03.04.A, of Art. 11 |
| Proposed Land Use: | | | Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures. | §03.04.A, of Art. 11 |
| ✓ Commercial | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances. | - |
| ✓ Industrial | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances. | - |

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|--|-------------------------------------|--------------------------|--|----------------------|
| Total Lot or Site Area (Acreage and Square Footage) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned. | §03.04.B, of Art. 11 |

| | | | | |
|---|-------------------------------------|-------------------------------------|--|----------------------|
| Perimeter Dimensions of the Site | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the perimeter dimensions of the site in feet. | §03.04.B, of Art. 11 |
| Buildings (Square Footage) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the location and total square footage of all existing and planned buildings on the site. | §03.04.B, of Art. 11 |
| Perimeter Dimensions of all Buildings | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the wall lengths of all buildings on the site. | §03.04.B, of Art. 11 |
| Distance Between Buildings | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the distance between all existing and planned buildings located on the site. | §03.04.B, of Art. 11 |
| Distance Between Buildings and Property Lines | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the distance between all property lines and existing and planned buildings located on the site. | §03.04.B, of Art. 11 |
| Indicate all Property Lines | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight. | §03.04.B, of Art. 11 |
| Indicate all Building Setbacks | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate all building setbacks adjacent to right-of-way. | §03.04.B, of Art. 11 |
| Indicate all Easements | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Additionally, indicate all utilities both existing and proposed. | §03.04.B, of Art. 11 |
| Indicate all Drive/Turning Radii | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | §03.04.B, of Art. 11 |
| Indicate all Drive Widths | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | §03.04.B, of Art. 11 |
| Indicate all Fire Lanes | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate and label the widths of all fire lanes existing and proposed for the site. | §03.04.B, of Art. 11 |
| Indicate location of all Fire Hydrants | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | §03.04.B, of Art. 11 |
| Indicate all Sidewalks | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate and label the widths of all sidewalks existing and proposed for the site. | §03.04.B, of Art. 11 |
| Adjacent Street Right-Of-Way | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Reference the City's Master Transportation Plan for right-of-way information. | §03.04.B, of Art. 11 |
| Label all Adjacent Street Name | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Label all adjacent existing and proposed street names. | §03.04.B, of Art. 11 |
| Adjacent Street Centerlines | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the street centerline for all existing and proposed streets. | §03.04.B, of Art. 11 |
| Median Breaks in Adjacent Streets | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | §03.04.B, of Art. 11 |

2.2 SITE PLAN: PARKING INFORMATION

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|--------------------------------------|--------------------------|-------------------------------------|--|----------------------|
| Dimension of a Typical Parking Space | <input type="checkbox"/> | <input checked="" type="checkbox"/> | See the comment section in <i>Adequate Parking and Maneuvering</i> below. | §05.03, of Art. 06 |
| Parking Table | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided. | §05.01, of Art. 06 |
| Handicap Parking Spaces Shown | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | §05.04, of Art. 06 |
| Adequate Parking | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <i>Reference Table 3 of Article VI.</i> | Table 5, Art. 06 |
| Adequate Parking and Maneuvering | <input type="checkbox"/> | <input checked="" type="checkbox"/> | All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>). | §05.03.C, of Art. 06 |
| Adequate Loading Area | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>). | §06.04, of Art. 06 |
| Adequate Loading Maneuvering | <input type="checkbox"/> | <input checked="" type="checkbox"/> | It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes. | §01.02, of Art. 06 |
| Type and Depth of Paving Material | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. | §03.02, of Art. 06 |

2.3 SITE PLAN: SIGNAGE

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|---|-------|-----|----------|---------------|
| NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements. | | | | |

| | | | | |
|------------------------------|--------------------------|-------------------------------------|---|----------------------|
| Proposed or Existing Signage | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage. | §06.02.F, of Art. 05 |
|------------------------------|--------------------------|-------------------------------------|---|----------------------|

2.4 SITE PLAN: SCREENING

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|---|-------------------------------------|-------------------------------------|---|----------------------|
| Indicate the Type and Location of any Existing and/or Proposed Fences | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Label the height and type of fence proposed or existing. | §08.02.F, of Art. 08 |
| Utility Equipment Screening (Pad or Ground Mounted) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure. | §01.05.C, of Art. 05 |
| Utility Equipment Screening (Roof Mounted) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. | §01.05.C, of Art. 05 |
| Above Ground Storage Tanks | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan. | §01.05.D, of Art. 05 |
| Dumpster Screening | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. | §01.05.B, of Art. 05 |
| Outside Storage | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above. | §01.05.A, of Art. 05 |
| Off-Street Loading Dock Screening | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2). | §01.06, of Art. 05 |
| Residential Adjacency Standards | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | |

3.1 LANDSCAPE PLAN

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|--|-------------------------------------|-------------------------------------|---|--------------------------------|
| Provide Site Data | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. | See Sec. 2.1 of this checklist |
| Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided. | §01.01.B, of Art. 05 |
| Landscape Table | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. | §05.03.B, of Art. 08 |
| Indicate all Landscaping | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the locations of all existing and proposed landscaping. | §05.03.B, of Art. 08 |
| Location of Water Courses and Significant Drainage Features | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features. | - |
| Indicate all Landscape Buffers | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the locations and dimensions of the required landscape buffers. | §05.01, of Art. 08 |

| Acceptable Landscape Materials: | | | Sec. 04., of Art. 08 |
|---|-------------------------------------|-------------------------------------|---|
| ✓ Trees allowed in Street Landscape Buffers | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon) |
| ✓ Trees not allowed in Landscape Buffers | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree. |
| Protected Trees (That Will Remain On-Site) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required. |
| Parking Lot Landscaping | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces. |
| Location of all Site Amenities | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities. |
| Identify Visibility Triangles | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Identify visibility triangles on all lots for all driveway intersections and public streets. |
| Landscape Buffer - Street Trees | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage. |
| Tree Locations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Trees must be planted at least five (5) feet from water, sewer and storm sewer lines. |
| Irrigation Requirements Note | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Provide note indicating irrigation will meet requirements of UDC. |
| Hydro mulch (or non-sod option) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City. |
| Rights-of-Way & Landscape Buffers | <input checked="" type="checkbox"/> | <input type="checkbox"/> | All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). |

4.1 TREESCAPE PLAN

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|---|--------------------------|-------------------------------------|---|--------------------------------|
| Provide Site Data | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. | See Sec. 2.1 of this checklist |
| Buildings | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan. | §03.01.A, of Art. 09 |
| Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | §03.01.C, of Art. 09 |

| | | | | |
|--|--------------------------|-------------------------------------|---|----------------------|
| Protected Trees (To Remain On Site) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work. | §03.01.E, of Art. 09 |
| Protected Trees (To be Removed from the Site) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. | §03.01.F, of Art. 09 |
| Treescape Table | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. | §03.01.G, of Art. 09 |

5.1 PHOTOMETRIC AND LIGHTING PLANS

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|--|--------------------------|-------------------------------------|---|----------------------------------|
| Provide Site Data Table | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist. | See Sec. 2.1 of this checklist - |
| Indicate Lighting Levels (in Foot Candles [FC]) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property. | §03.03, of Art. 07 |
| Adjacent Property with Common Lot Lines: | | | | |
| ✓ Residential Use | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle. | §03.03.B, of Art. 07 |
| ✓ Commercial Use | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i> | §03.03.C, of Art. 07 |
| Under-Canopy Lighting | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below). | §03.03.E.1, of Art. 07 |
| Lighting for Motor Vehicle Dealerships | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle. | §03.03.E.2, of Art. 07 |
| Lighting in Parking Areas | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships) | §03.03.G, of Art. 07 |
| Building and Pole Mounted Lighting | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc. | §03.03.E, of Art. 07 |
| Indicate the Mounting Height for all Proposed Light Fixtures | <input type="checkbox"/> | <input checked="" type="checkbox"/> | No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District. | §03.03.D of Art. 07 |
| Indicate the Wattage of all Light Sources | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. | §03.03.A, of Art. 07 |
| Proposed Light Fixtures | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan. | §03.03, of Art. 07 |

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

| Requirements | ✓= OK | N/A | Comments | UDC Reference |
|--|-------------------------------------|-------------------------------------|--|----------------------|
| Provide Exterior Elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply) | - |
| Indicate Exterior Elevations Adjacent to Public Right-of-Way | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply) | - |
| Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Exterior walls should consist of 90% masonry materials excluding doors and windows. | §06.02.C, of Art. 05 |
| Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Applies to facades that are visible from a public right-of-way and/or open space. | §06.02.C, of Art. 05 |
| Indicate the Surface Area of Each Facade | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade. | §04.01, of Art. 05 |
| Proposed Building Materials | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Specifications and description of all proposed building materials, on all proposed buildings. | §04.01, of Art. 05 |
| Indicate the Roofing Materials and Color | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | |

| | | | | |
|---|-------------------------------------|-------------------------------------|--|------------------------|
| Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. | §04.01, of Art. 05 |
| Indicate all Roof Mounted Mechanical Equipment (If Applicable) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. | §01.05.C, of Art. 05 |
| Indicate Any Additional Design Elements Proposed (If Applicable) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure. | |
| Indicate Building Height(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof. | §07.03 of Art. 05 |
| Minimum Standards for Articulation: | | | | |
| Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L) | §04.01.C.1, of Art. 05 |
| Secondary Facades | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H | §04.01.C.2, of Art. 05 |

6.2 BUILDING ELEVATIONS: INDUSTRIAL

| Requirements | ✓ = OK | N/A | Comments | UDC Reference |
|---|--------------------------|-------------------------------------|---|----------------------------|
| NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards. | | | | |
| Minimum 90% Masonry Requirement | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Exterior walls should consist of 90% masonry materials excluding doors and windows. | §05.01.A.1, of Art. 05 |
| Indicate Amount and Location of the Minimum 20% Stone Requirement | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Applies to facades that are visible from a public right-of-way and/or open space. | §05.01.A.1.a.1, of Art. 05 |
| Minimum Standards for Articulation: | | | | |
| Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H) | §05.01.C.1, of Art. 05 |
| Secondary Facades | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <ol style="list-style-type: none"> 1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H | §05.01.C.2, of Art. 05 |

October 15, 2021

Mr. Ryan Miller
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Contacts Affiliated with
Somerset Park Phase II
Rockwall, Texas
SEI Project No.: 20-112

Dear Mr. Miller:

Please find below a list of all affiliated contacts for the above mentioned project:

Owner/Developer:

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue
Suite 1165
Dallas, Texas 75219
katherine@arcadiarealty.net

Project Representative:

Greg T. Helsel, P.E.
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
972-215-7129
972-422-0075 fax
greg.helsel@spiarsengineering.com

If you have any questions, please do not hesitate to contact me.

Sincerely,
Spiars Engineering, Inc.



Greg T. Helsel, P.E.





City of Rockwall
385 S Goliad Street
Rockwall, TX 75087

RE: Somerset Park- Park Improvement Fee

This letter shall detail the estimated costs Arcadia Lakes of Somerset Holdings, LLC will be spending on park improvements in Phase 2 of Somerset Park. Per City policy, the Park Improvement Fee will be waived provided these outlined costs are equal to or greater than the calculated Park Improvement Fees.

Below we have provided an outline of the cost of the park improvements we will be making in Somerset Park Phase 2 to offset the fee. There will be approximately 21,896 square feet of trail in Phase 2, priced at \$4.85 per square foot for a total of \$116,815.16 including a 10% contingency to provide for potential cost increases. Additionally, not included in the costs below Arcadia will be building an Amenity Center that can offset any remaining difference. Please let us know if we can provide any additional information.

*Please see the landscaping plan included in the submittal for sheet numbers.

| Somerset Park Phase 2: Hike/Bike Trail Costs | | | | | |
|---|------------|--------------------|-------------|-------------------|---------------------|
| Item | Qty | Description | Unit | Unit Price | Extension |
| Sheet LS1.01 Olmsted Drive ROW | | | | | |
| 1 | 6,144 | 8' Trail | SF | \$4.85 | \$29,798.40 |
| Sheet LS1.02 Olmsted Drive ROW | | | | | |
| 2 | 4,928 | 8' Trail | SF | \$4.85 | \$23,900.80 |
| Sheet LS1.04 Olmsted Drive ROW | | | | | |
| 3 | 7,104 | 8' Trail | SF | \$4.85 | \$34,454.40 |
| Sheet LS1.05 Olmsted Drive (Open Space ROW) | | | | | |
| 4 | 3,720 | 8' Trail | SF | \$4.85 | \$18,042.00 |
| Subtotal | | | | | \$106,195.60 |
| 10% Contingency | | | | | \$10,619.56 |
| TOTAL | | | | | \$116,815.16 |

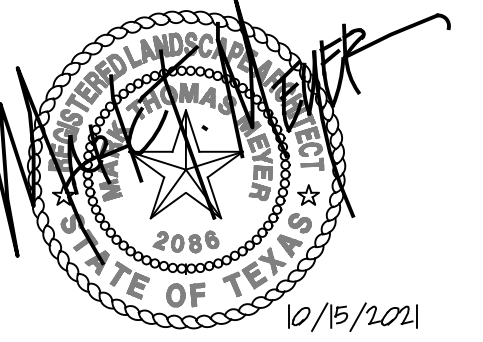
Regards,

A handwritten signature in blue ink, appearing to read "Katherine Hamilton".

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, TX 75219



TBG
 landscape architects, planners & designers
 2001 bryan street
 suite 1450
 dallas, tx 75201
 (214) 744-0757
 tbgpartners.com



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
D21053

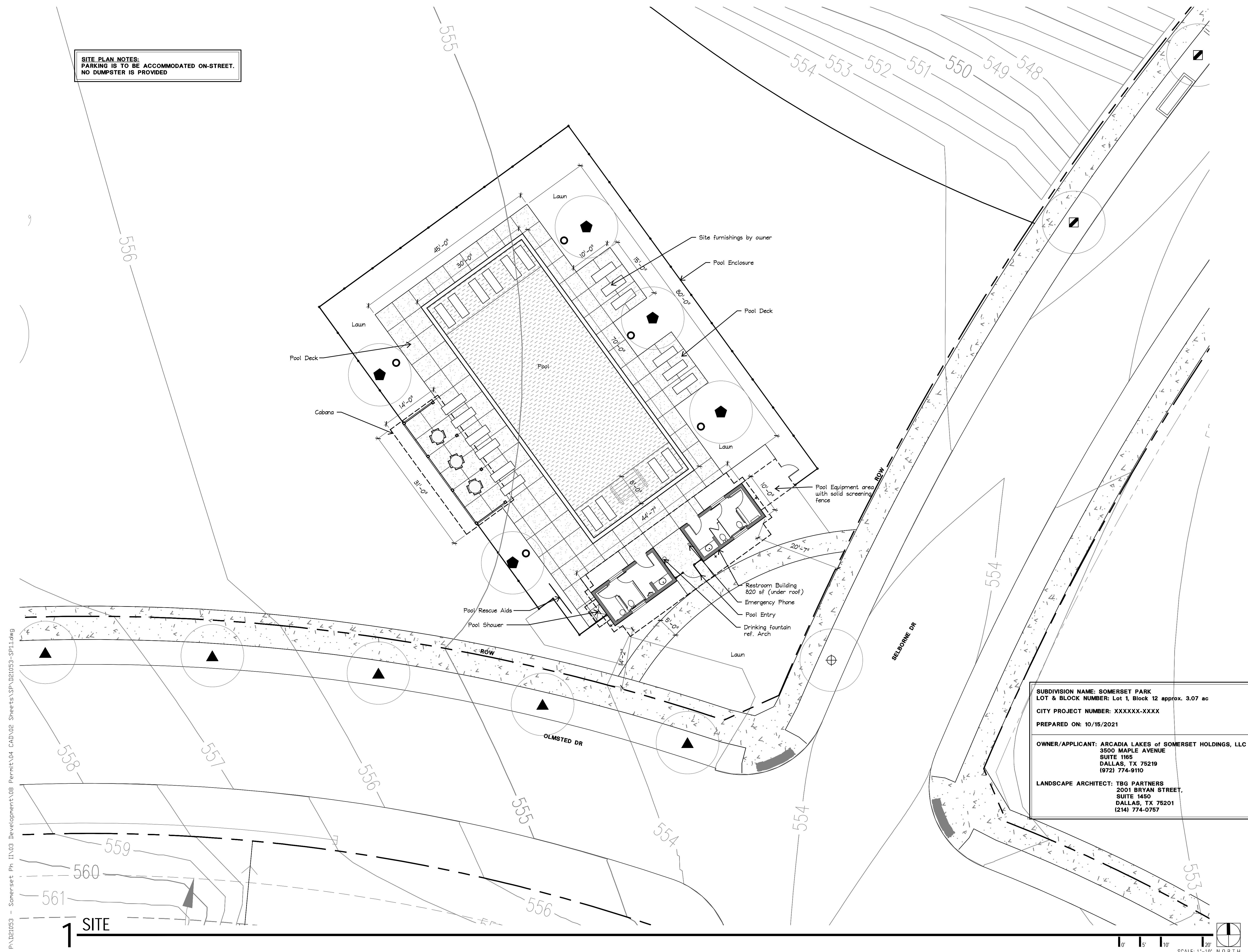
issue date
 10/15/2021

designed: JD, BD
 drawn: BD, AC
 reviewed: JD, MM

sheet title
site plan

sheet
SP 1.1

SITE PLAN NOTES:
 PARKING IS TO BE ACCOMMODATED ON-STREET.
 NO DUMPSTER IS PROVIDED



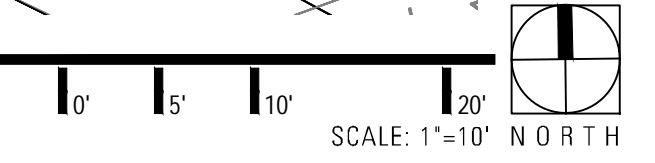
SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10/15/2021

OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
 3500 MAPLE AVENUE
 SUITE 1165
 DALLAS, TX 75219
 (972) 774-9110

LANDSCAPE ARCHITECT: TBG PARTNERS
 2001 BRYAN STREET,
 SUITE 1450
 DALLAS, TX 75201
 (214) 774-0757

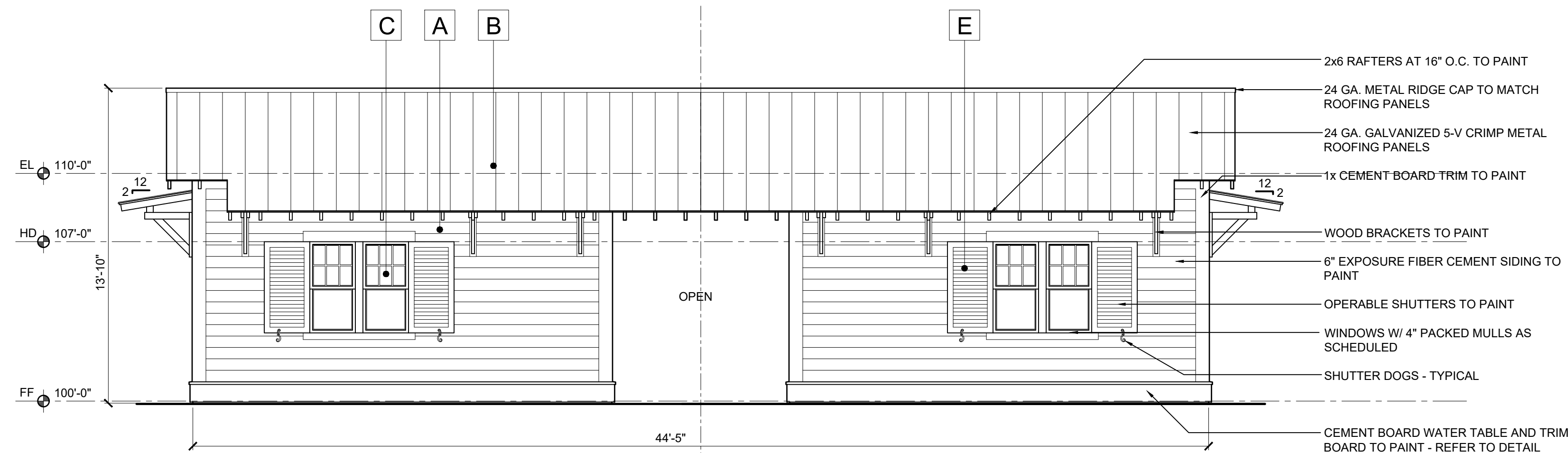
P:\D21053 - Somerset Ph II\03 Development\08 Permit\04 CAD\02 Sheets\SP\21053-SP11.dwg

1 SITE



MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 248 S.F. | 44% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 32 S.F. | 6% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



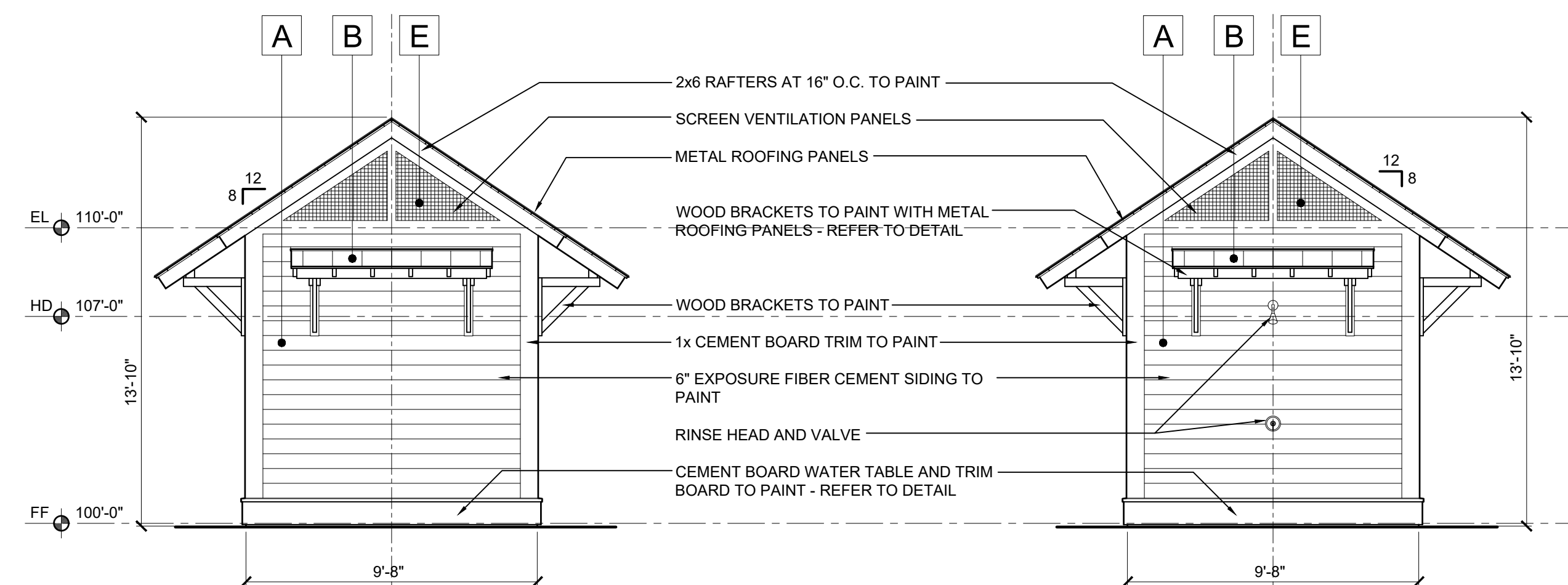
4 SOUTH ELEVATION
1/4" = 1'-0"

TABULATIONS

| | |
|-----------------------------|-----------------------|
| CONSTRUCTION TYPE: | 5-B (NON-SPRINKLERED) |
| SQUARE FOOTAGE: | 352 SF |
| SQUARE FOOTAGE ALLOWED: | 5500 SF |
| OCCUPANCY: | U |
| OCCUPANT LOAD @ 1/50 GROSS: | 7 |
| HEIGHT: | 13'-10" |
| HEIGHT ALLOWED: | 40' |
| STORIES: | 1 |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |



3 EAST ELEVATION
1/4" = 1'-0"

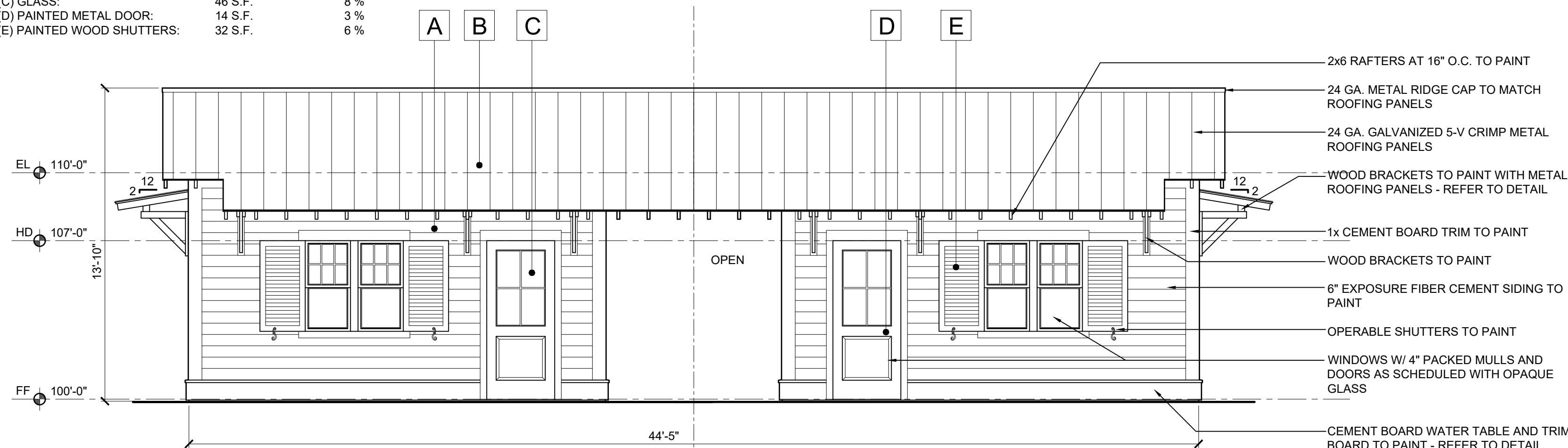
2 WEST ELEVATION
1/4" = 1'-0"

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

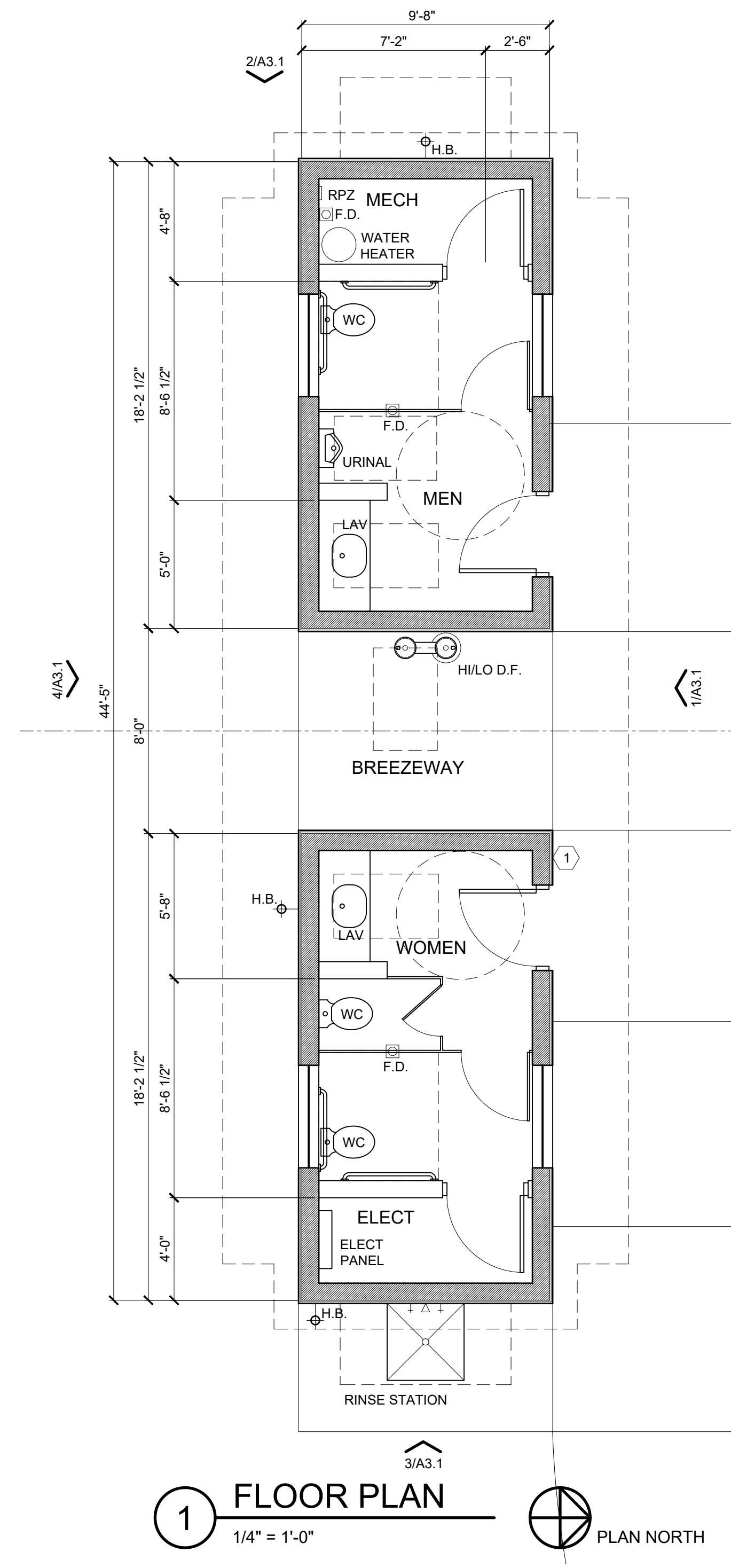
| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 220 S.F. | 39% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 46 S.F. | 6% |
| (D) PAINTED METAL DOOR: | 14 S.F. | 3% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



1 NORTH ELEVATION
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



BUILDING FACADE / ELEVATION PLAN

SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10-15-2021

OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110
ARCHITECT: LARSON & PEDIGO ARCHITECTS
3012 CANTON STREET
DALLAS, TX 75226
(214) 939-0995

SUBMISSION / REVISION LOG:

| SUBMISSION DATE | REVISION DATE |
|-----------------|---------------|
| 10/15/2021 | |
| | |

FACADE PLAN NOTES:
• ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE

PRELIMINARY
NOT FOR CONSTRUCTION



Exterior Elevation Example

This is a representative photo, the finished building will have revised colors. Please see color board as a part of this submittal.

Somerset Park – HOA Lot 1, Block 12

15 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529



Shutters

Benjamin Moore 840 – Kensington Blue



Painted Trim

Benjamin Moore OC-85 – Mayonnaise



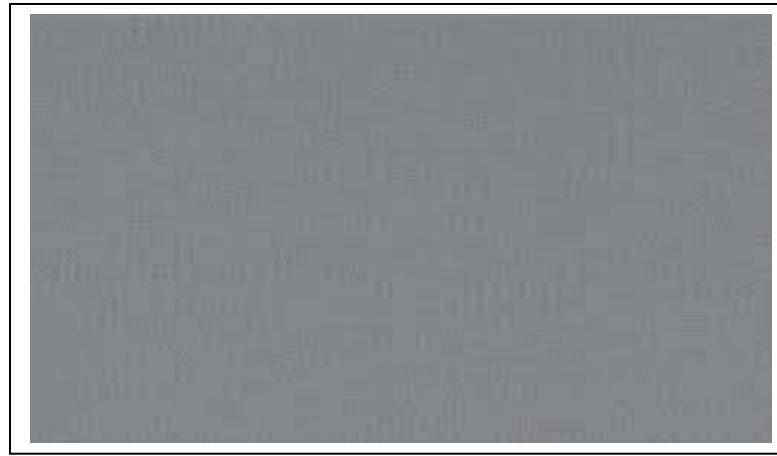
Painted Doors

Benjamin Moore 2021-50 – Yellow Lotus



Painted Siding

Benjamin Moore 2062-70 – Harbor Fog



Metal Roofing

Preweathered Galvalume, Berridge

Somerset Park – HOA Lot 1, Block 12

10 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529

ISSUE FOR PERMIT:

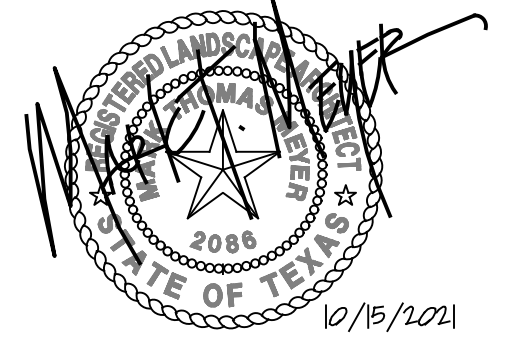
SOMERSET PARK

Rockwall, Texas

Sitework / Planting



TBG
 landscape architects, planners & designers
 2001 bryan street
 suite 1450
 dallas, tx 75201
 [214] 744-0757
 tbgpartners.com



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
D21053

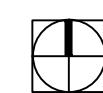
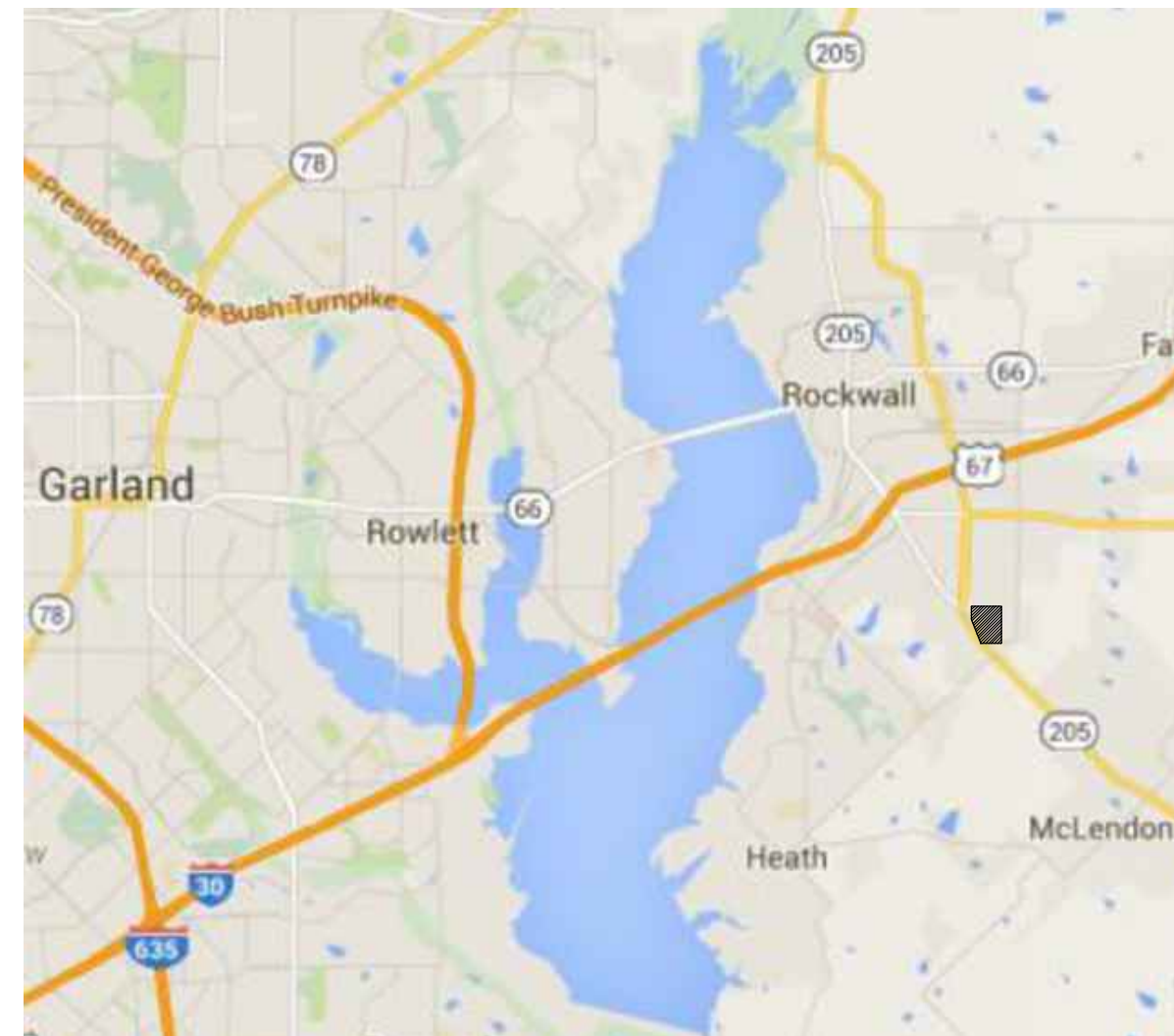
issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

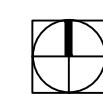
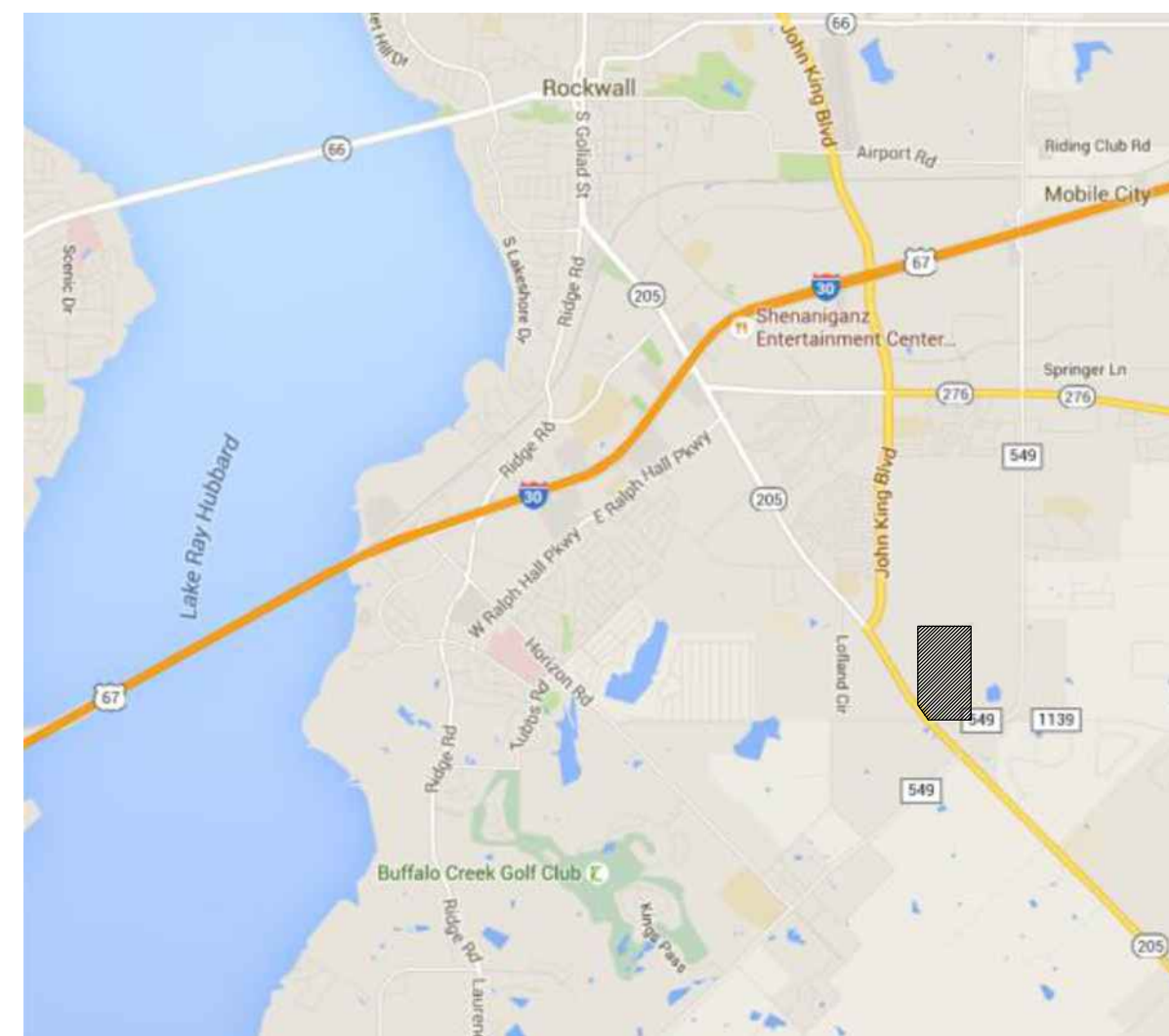
sheet title
cover sheet

sheet
LC 1.00

VICINITY MAP



LOCATION MAP



A PROJECT BY

OWNER:
 Arcadia Realty

CONTACT: Will Gietema/ Katherine Hamilton
 Arcadia Lakes of Somerset Holdings, LLC
 3500 Maple Ave., Suite 1165
 Dallas, Texas 75219
 O: 214.986.5024

LANDSCAPE ARCHITECT:
 TBG PARTNERS

CONTACT: Jonathan Dunbar
 2001 Bryan Street, Suite 1450
 Dallas, Texas 75201
 O: 214.744.0757

CIVIL ENGINEER:
 Spiars Engineering & Surveying

CONTACT: Greg Helsel
 765 Custer Road, Suite 100
 Plano, TX 75075
 O: 469.395.0529

INDEX OF SHEETS

| INC. | DATE | ISSUE | SHEET TITLE | PAGE # |
|------------------|------------------|--------|----------------------|---------|
| Reference | | | | |
| ■ | OCTOBER 15, 2021 | PERMIT | Cover Sheet | LC 1.00 |
| ■ | OCTOBER 15, 2021 | PERMIT | General Notes | LC 1.01 |
| ■ | OCTOBER 15, 2021 | PERMIT | Material Schedule | LC 1.02 |
| ■ | OCTOBER 15, 2021 | PERMIT | Keymap | LC 1.03 |
| Grading | | | | |
| ■ | OCTOBER 15, 2021 | PERMIT | Grading Enlargement | LG 3.01 |
| Sitework | | | | |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.01 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.02 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.03 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.04 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.05 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.01 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.02 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.03 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.04 |
| ■ | OCTOBER 15, 2021 | PERMIT | Sitework Enlargement | LS 3.01 |
| Planting | | | | |
| ■ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.01 |
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| ■ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.03 |
| ■ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.04 |
| ■ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.05 |
| ■ | OCTOBER 15, 2021 | PERMIT | Planting Details | LP 2.01 |
| ■ | OCTOBER 15, 2021 | PERMIT | Planting Schedule | LP 2.02 |
| ■ | OCTOBER 15, 2021 | PERMIT | Planting Enlargement | LP 3.01 |



TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

[214] 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

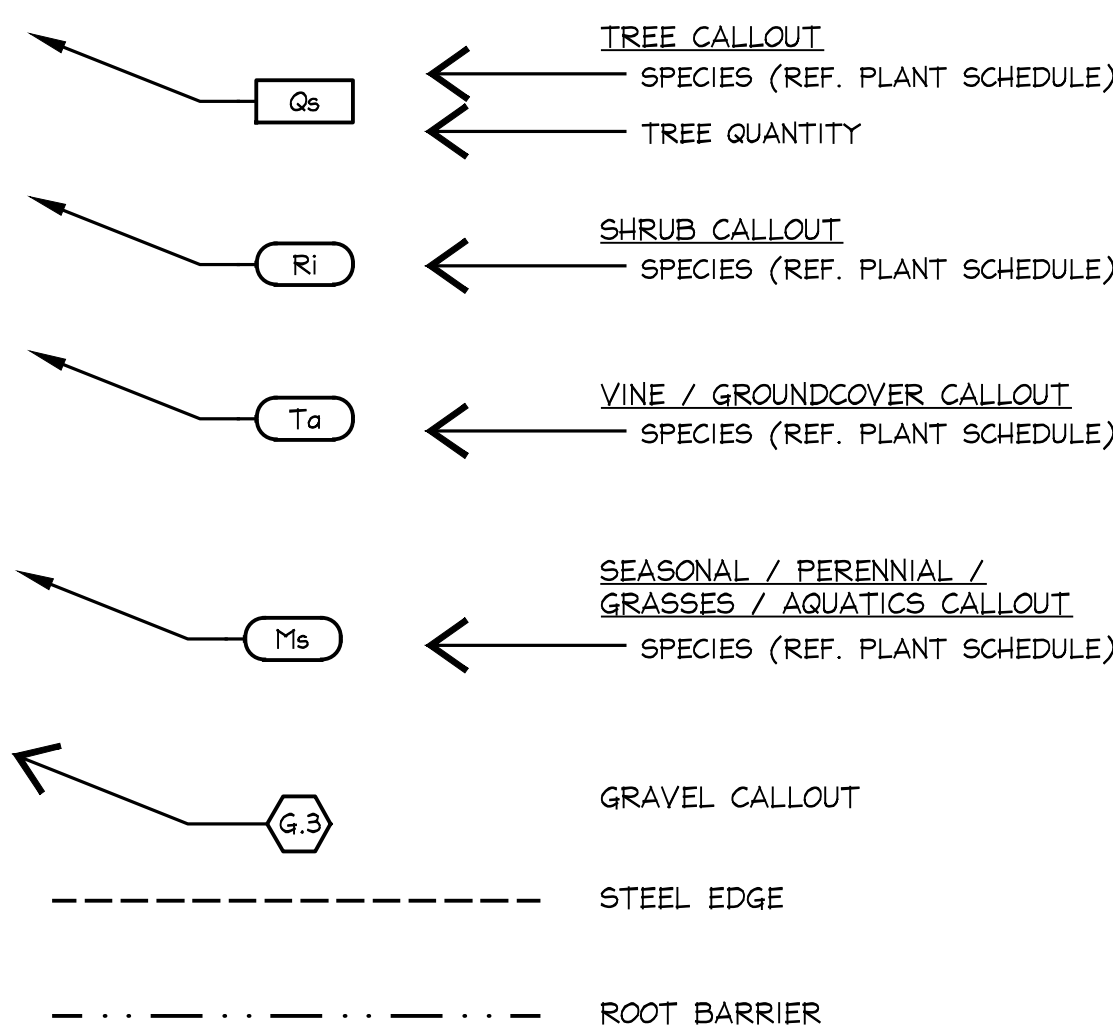
issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD MM

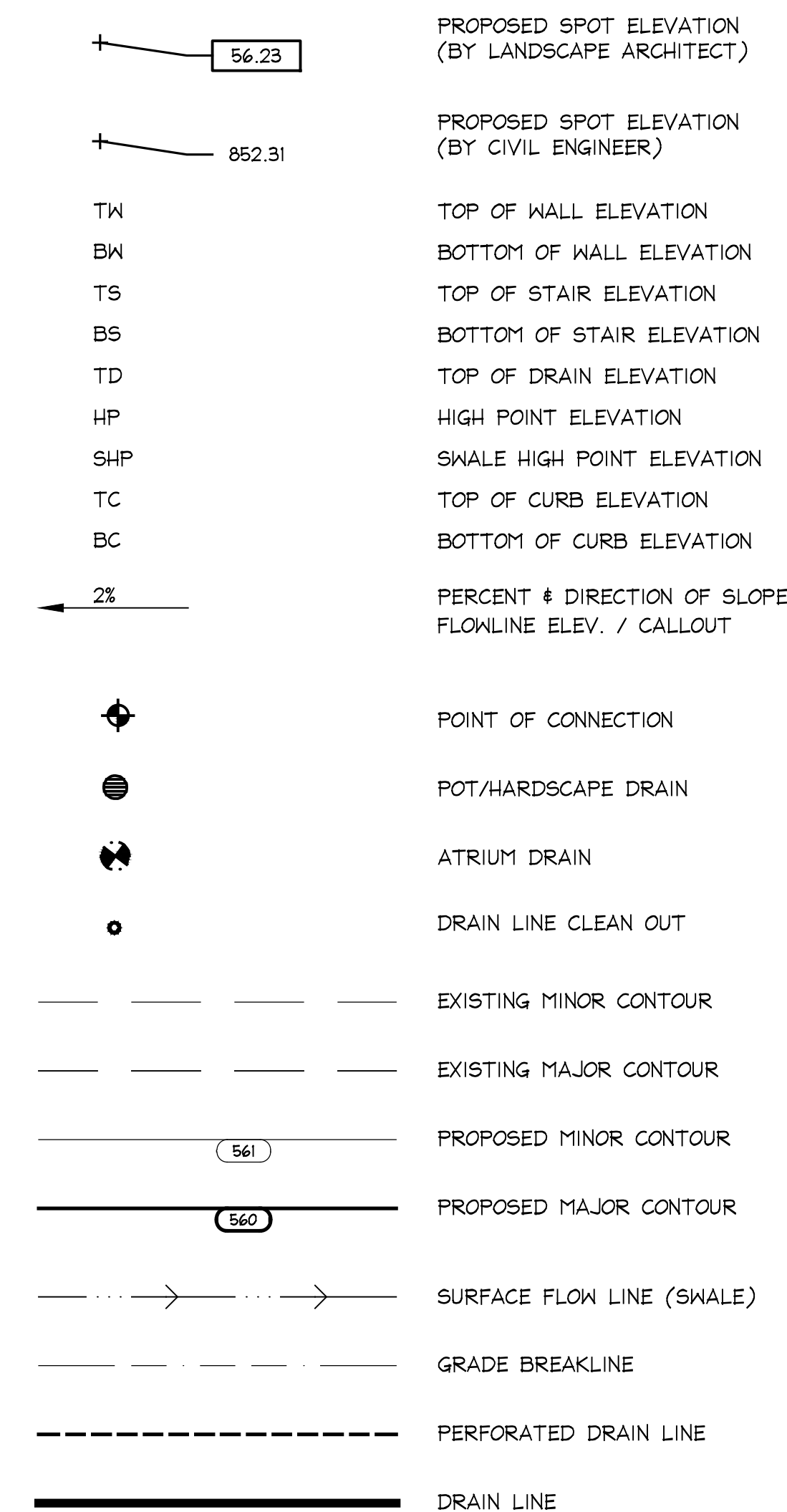
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general notes

sheet
LC 1.01

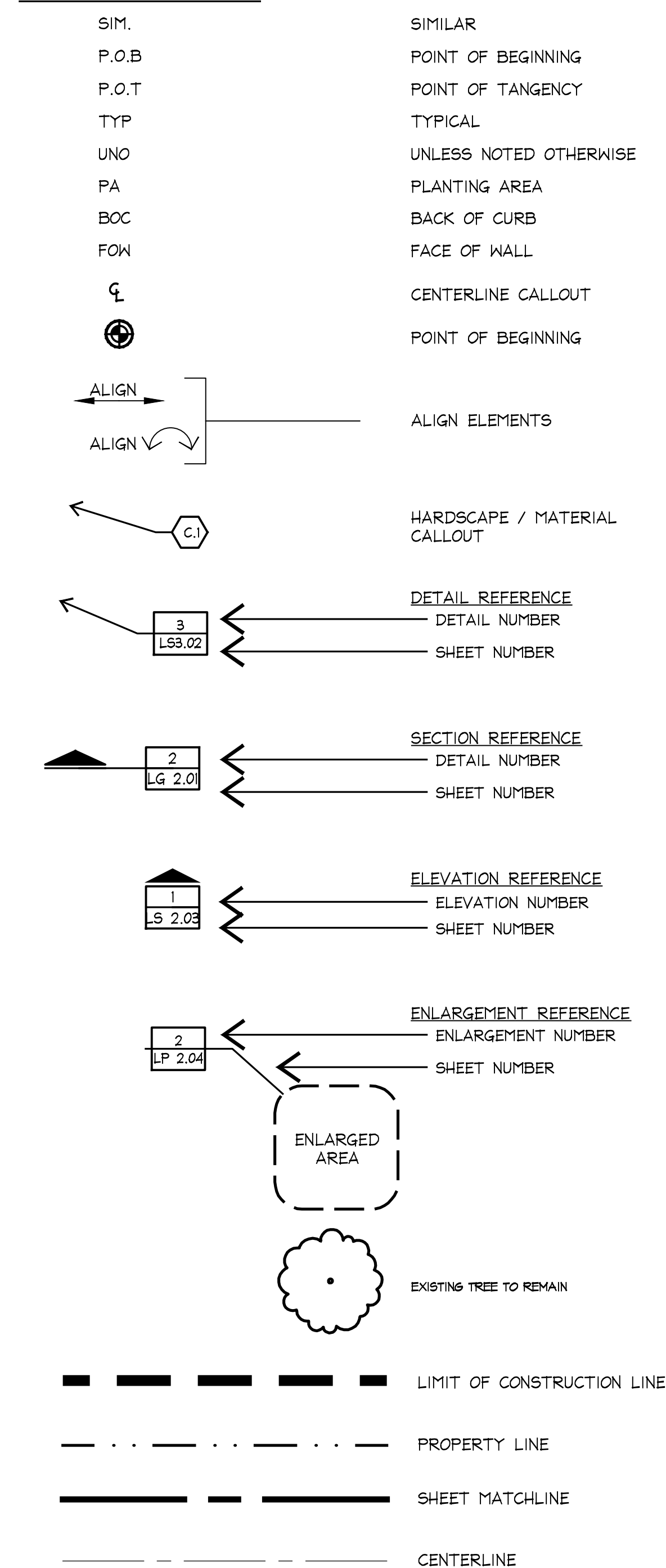
PLANTING LEGEND



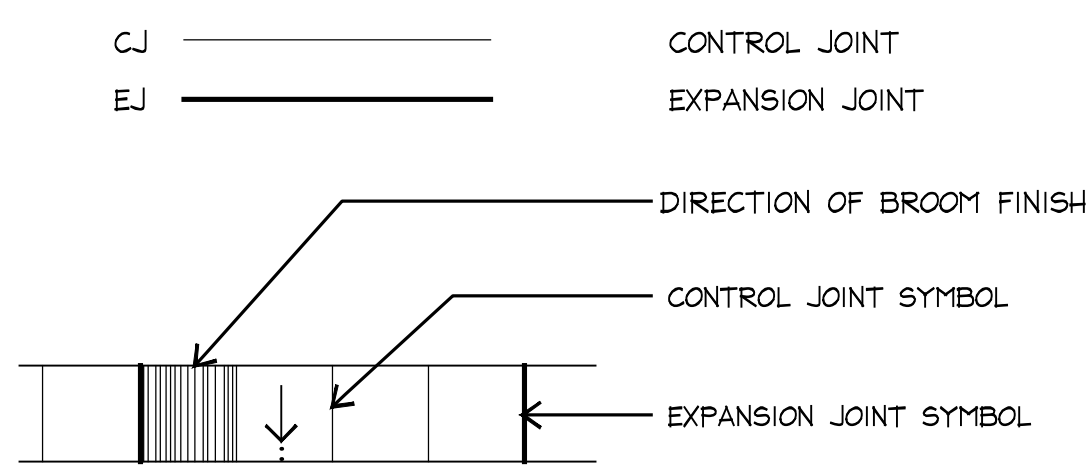
GRADING LEGEND



GENERAL LEGEND



SITWORK LEGEND



LANDSCAPE PLANTING NOTES:

- THE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINAL GRADE. ALL SLOPES SHALL BE SMOOTH AND UNIFORM WITH A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE NOTED. TIE INTO EXISTING ADJACENT GRADES SMOOTHLY AND FINE GRADE FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING. CUT SWALES TO DIRECT WATER AWAY FROM ALL STRUCTURES AND PROPERTY LINES, AND TOWARDS STORM SEWER INLETS. DO NOT DRAIN ANY WATER TOWARDS LOTS/EASEMENTS. THE FINAL LOCATION AND HEIGHT OF BERMS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- TREE PLANTING: REFERENCE SPECIFICATIONS AND DETAILS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION, (INCLUDING STAKING METHODS, PLANT PIT DIMENSIONS, AND BACKFILL REQUIREMENTS.) REFERENCE DETAILS FOR PROPER STAKING METHOD, STAKE SIZE AND COMPANY INFORMATION.

BACKFILL ALL TREE PITS WITH SPECIFIED PLANTING MIX AND INCORPORATE 5 LBS OF 13-13-13 FERTILIZER PER CU. YD. OF MIX INTO ALL TREE PITS. ALL TREE WATER RETENTION BASINS SHALL RECEIVE MIN. 3" DEEP COMPOSTED HARDWOOD BARK MULCH TO WITHIN 1' OF THE TREE ROOT FLARE. 2" WITHIN 1' OF THE ROOT FLARE.
- MACHINE MOVE OR HAND DUG TREES: ALL TREES TO BE MACHINE MOVED OR HAND DUG DIRECTLY FROM SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO RELOCATION. COORDINATE TREE PRUNING TO BALANCE ROOT LOSS WITH LANDSCAPE ARCHITECT. TREES TO BE MECHANICALLY TRANSPLANTED USING TREE SPADE MUST ALLOW 9" OF ROOTBALL PER CALIPER INCH OF TREE.

SET TREE STRAIGHT AND PLUMB, AND FILL ANY AIR SPACES AROUND TREE WITH SPECIFIED SAND OR SANDY LOAM TOPSOIL. WATER IN TO DISPLACE AIR POCKETS. INSTALL 3" HIGH WATER RETENTION BASIN PER SPECIFICATIONS WITH 2" DEEP COMPOSTED BARK MULCH AND WATER THE SPADED TREES THE DAY OF TRANSPLANTING.
- TREES SHALL BE LOCATED A MINIMUM OF 5' - 0" FROM WALLS, OVERHEADS, WALKS, EDGING, CURBS AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. ALL MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LAWN INSTALLATION: PRIOR TO APPLICATION OF HYDROMULCH OR SOD, THE CONTRACTOR SHALL APPLY CONTACT HERBICIDE (RECOMMENDED MIXTURE OF IMAGE AND ROUNDUP) TO REMOVE ALL EXISTING WEEDS AS NECESSARY, AND SCARIFY EXISTING SOIL TO SPECIFIED DEPTHS. REMOVE ALL LUMPS, CLODS, TRASH AND STICKS GREATER THAN 1". FINE GRADE TO PROVIDE POSITIVE DRAINAGE AND SMOOTH LAWN AREAS AND CUT SWALES AS NECESSARY TO ENSURE NO PONDING OF WATER. FINISHED GRADE OF LAWN AND PLANTING BED AREAS TO BE MINIMUM 1/2" BELOW FINISHED GRADE OF ADJACENT PAVEMENT.
- ALL QUANTITIES ON THIS PLAN ARE FOR INFORMATION ONLY (PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- THE CONTRACTOR SHALL PROVIDE THE SOILS TESTING LAB SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACKFILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, AND ON GRADE SOILS. REFER TO SPECIFICATIONS.
- THE CONTRACTOR SHALL APPLY RECOMMENDED PRE-EMERGENT HERBICIDE FOR PREVENTION OF NUTGRASS AND WEEDS UPON ESTABLISHMENT OF BERMUDA LAWN APPROXIMATELY ONE MONTH AFTER HYDROMULCH APPLICATION. FERTILIZE AT SPECIFIED RATES MONTHLY DURING 90 DAY MAINTENANCE PERIOD.

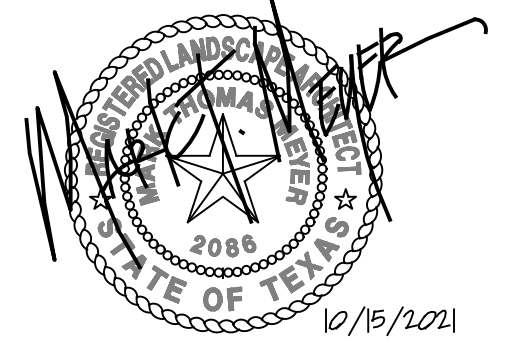
GENERAL SITEWORK NOTES:

- THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, SMALL PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO BODILY INJURY AND/OR DAMAGE TO OWNER'S PROPERTY OR SAID UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL HAND DIG PLANTING PITS AND HAND RAKE LAWN AREAS AS REQUIRED.
- ALL CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS AND/OR PURCHASE OF ANY MATERIAL. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. ALL CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.
- ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES & CODE REQUIREMENTS. REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES BASED UPON THE QUANTITIES SHOWN WITHIN THE DOCUMENTS. FIELD CONDITIONS MAY REVISE ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.
- UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (I.E. BACKFILL MIX, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (I.E. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS OR ANY SETTLLING OR EROSION OCCURRING PRIOR TO COMPLETION.

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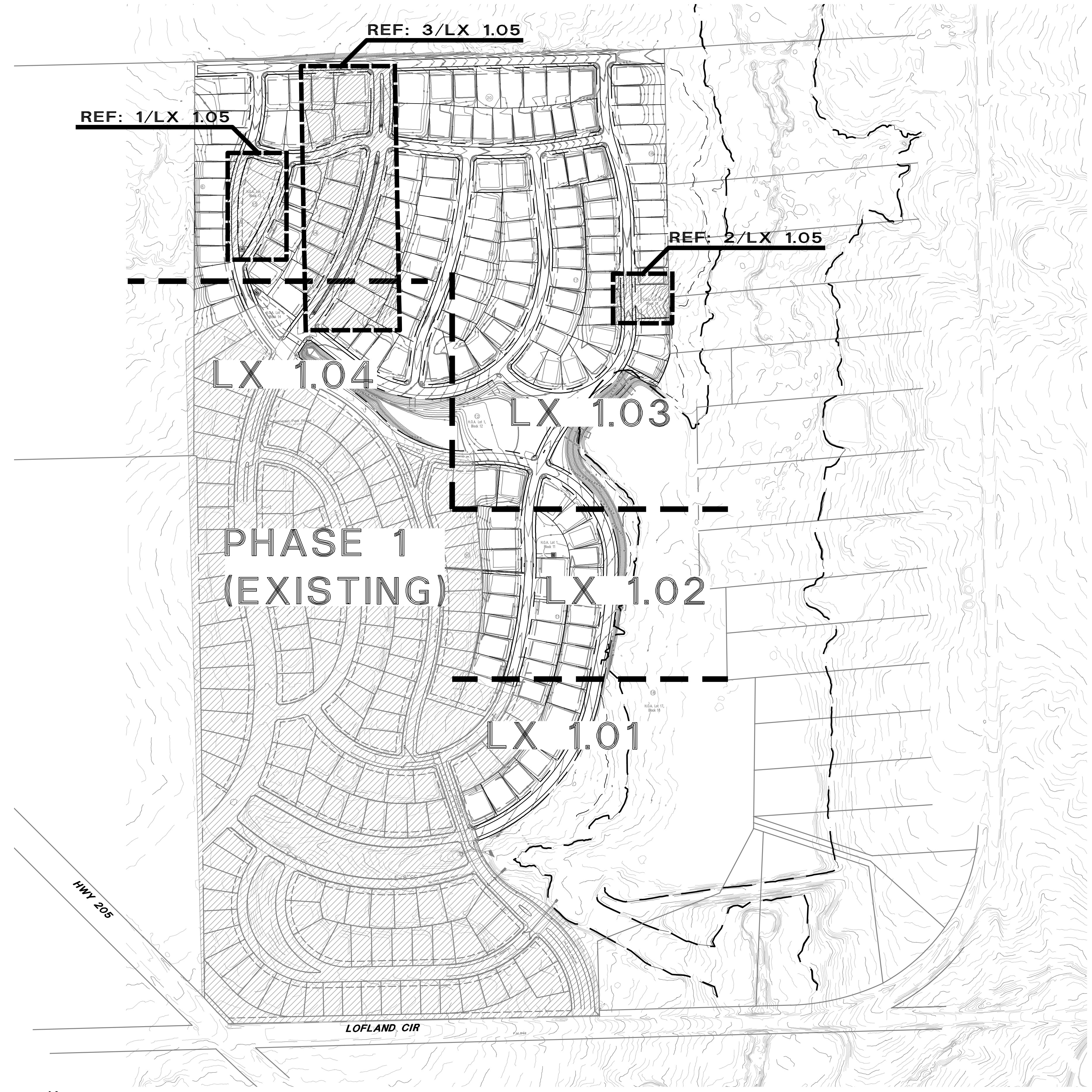
designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
**material
 schedule**

sheet
LC 1.02

| MATERIALS SCHEDULE | | | | | |
|--------------------|---|-------------------------------|---------------------|--|---|
| CONCRETE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| C.1 | STANDARD GRAY CONCRETE | GRAY | MEDIUM BROOM | | |
| C.2 | CONCRETE PAVING STANDARD GRAY CONCRETE @ POOL | GRAY | ROCK SALT FINISH | | CONTRACTOR TO PROVIDE MOCK-UP FOR FINAL APPROVAL BY OWNERSHIP AND LANDSCAPE ARCHITECT. REF. SPECIFICATION FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT. |
| DRAINAGE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| D.1 | DECK DRAIN NDS 12" FLAT SQUARE CAST IRON HINGED GRATE | | | COMPANY: NDS PHONE: 1 (800) 726-1990 | REF. TO LANDSCAPE GRADING PLANS |
| EDGING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| E.1 | 3/4" X 4" STEEL EDGING | BLACK | POWDERCOAT | COMPANY: J.D. RUSSELL CONTACT: 270.826.7008 | OR APPROVED EQUAL |
| FENCING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| F.1 | 4' HEIGHT POOL FENCE COMPLIANT WITH TEXAS POOL CODE | | | | |
| LIGHTING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| L.1 | BOLLARD LIGHT | BLACK | FACTORY | N/A | LOCATION AS PER PLANS AT BASE OF TREES OR BACK OF THE WALL. CONTRACTOR TO SUBMIT CUT SHEET FOR APPROVAL; WRAP STRING LIGHTS TO 12' HT IN TREE. |
| POOL | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| PL.1 | PRECAST POOL COPING | TBD | TBD | | EASE ALL EXPOSED EDGES AT COPING OVERHANG; COLOR & FINISH TO MATCH C.6 CAST STONE CAP |
| PL.2 | POOL TILE | TBD | | | |
| PL.3 | WARNING STRIP TILE NON-SLIP TILE | TBD | | | |
| PL.4 | 6" DEPTH MARKER & 6" NO DIVING TILE | WHITE W/BLACK LETTERING | NON-SLIP | | |
| PL.5 | POOL PLASTER | TBD | | | |
| PL.6 | POOL HANDRAIL - 1-1/2" DIA. TUBE STAINLESS STEEL | BRUSHED STAINLESS STEEL | #4 FINISH | | |
| PL.7 | POOL LIFT | | | | |

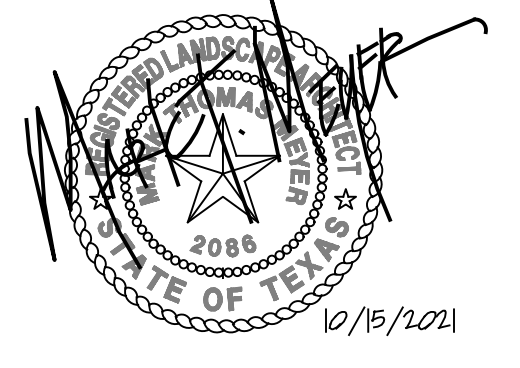
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1 Keymap
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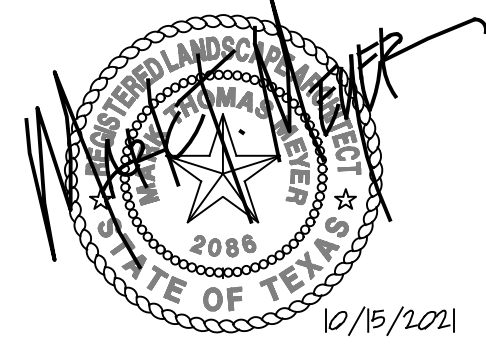
designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
keymap

sheet
LC 1.03



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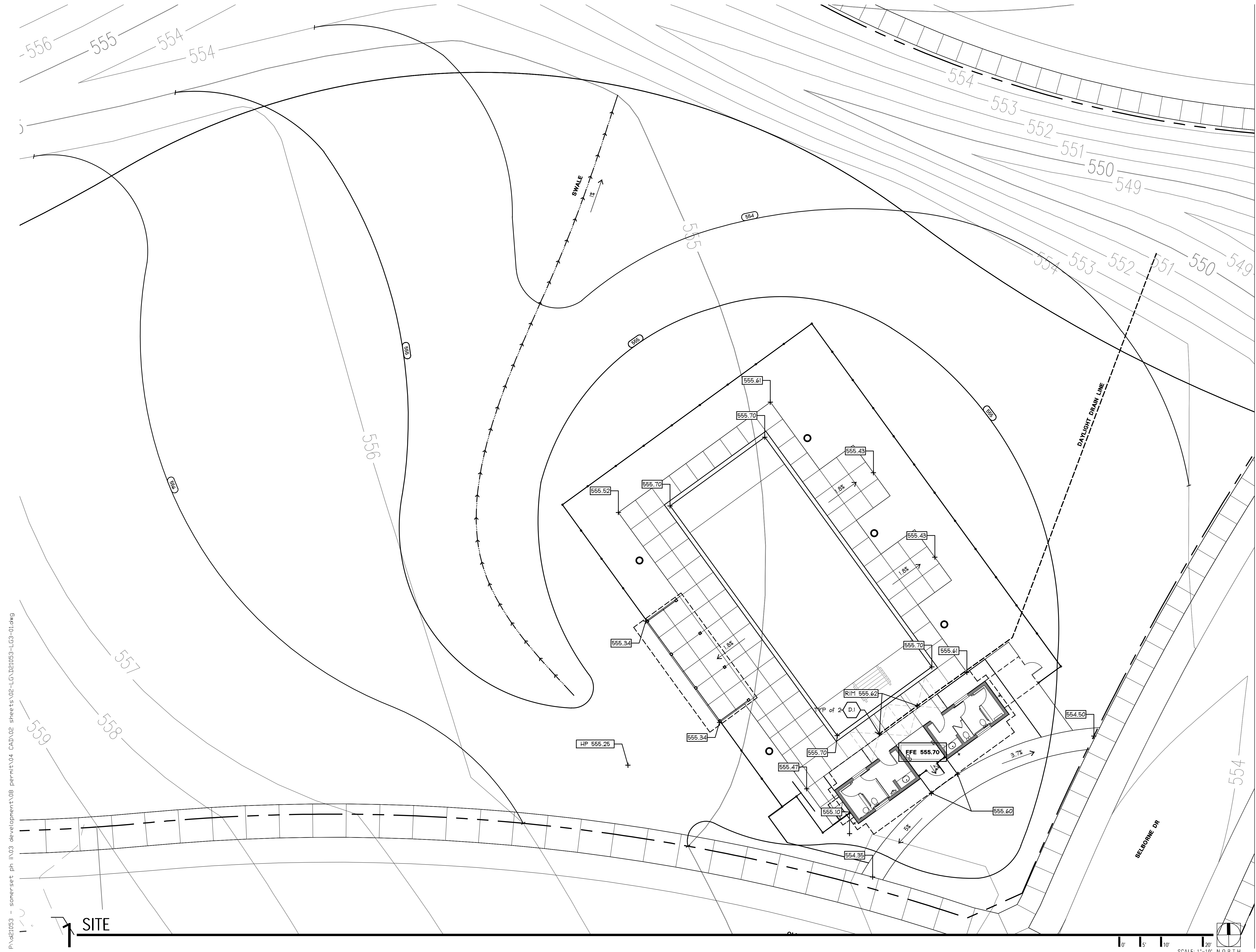
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 drawn: BD JP
 reviewed: BD

sheet title
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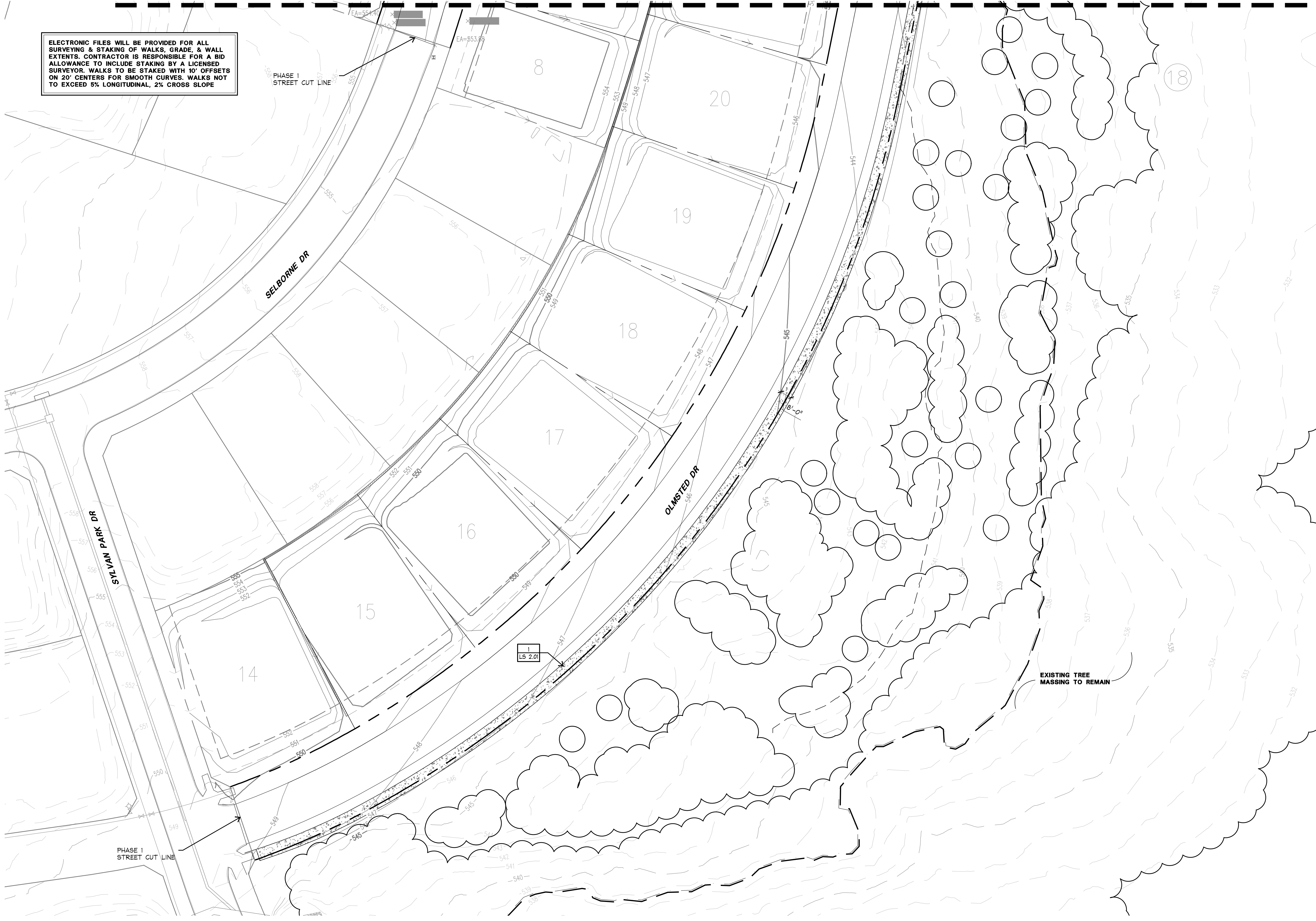
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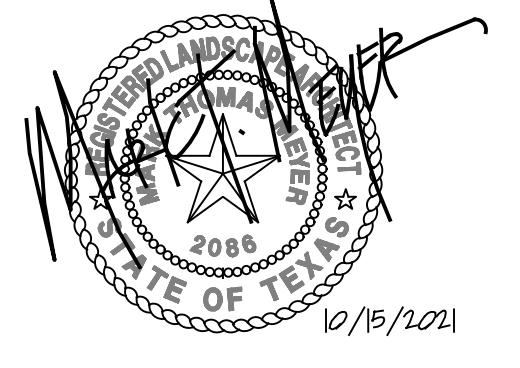
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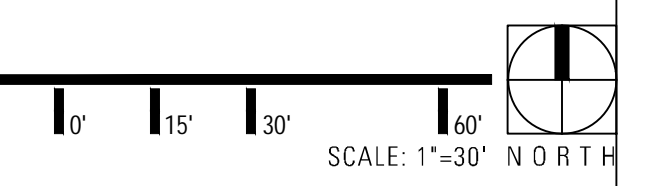
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drawn: BD, AC
reviewed: JD, MM

sheet title
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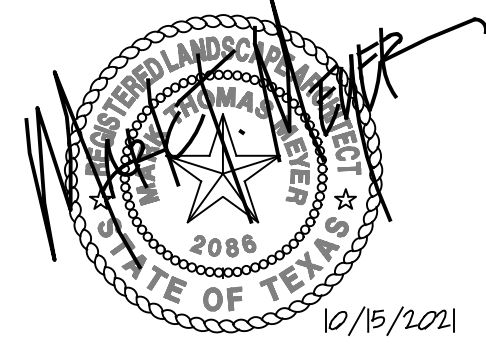
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1 Site
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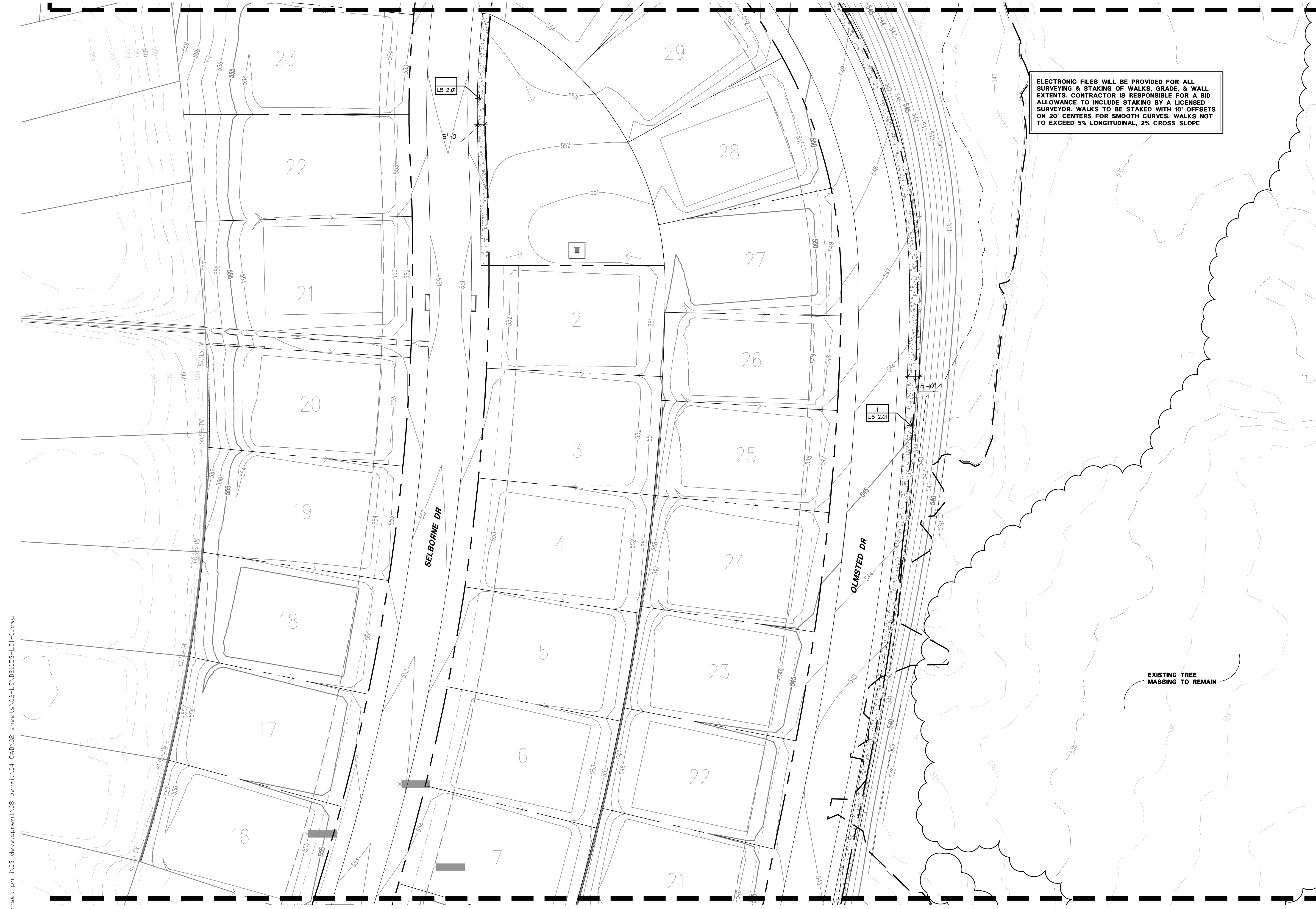
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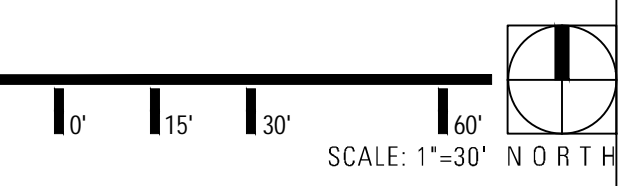
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EXISTING TREE MASSING TO REMAIN



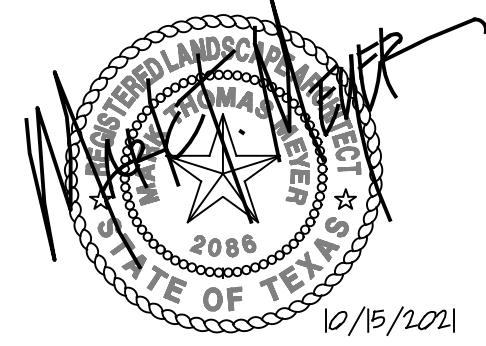
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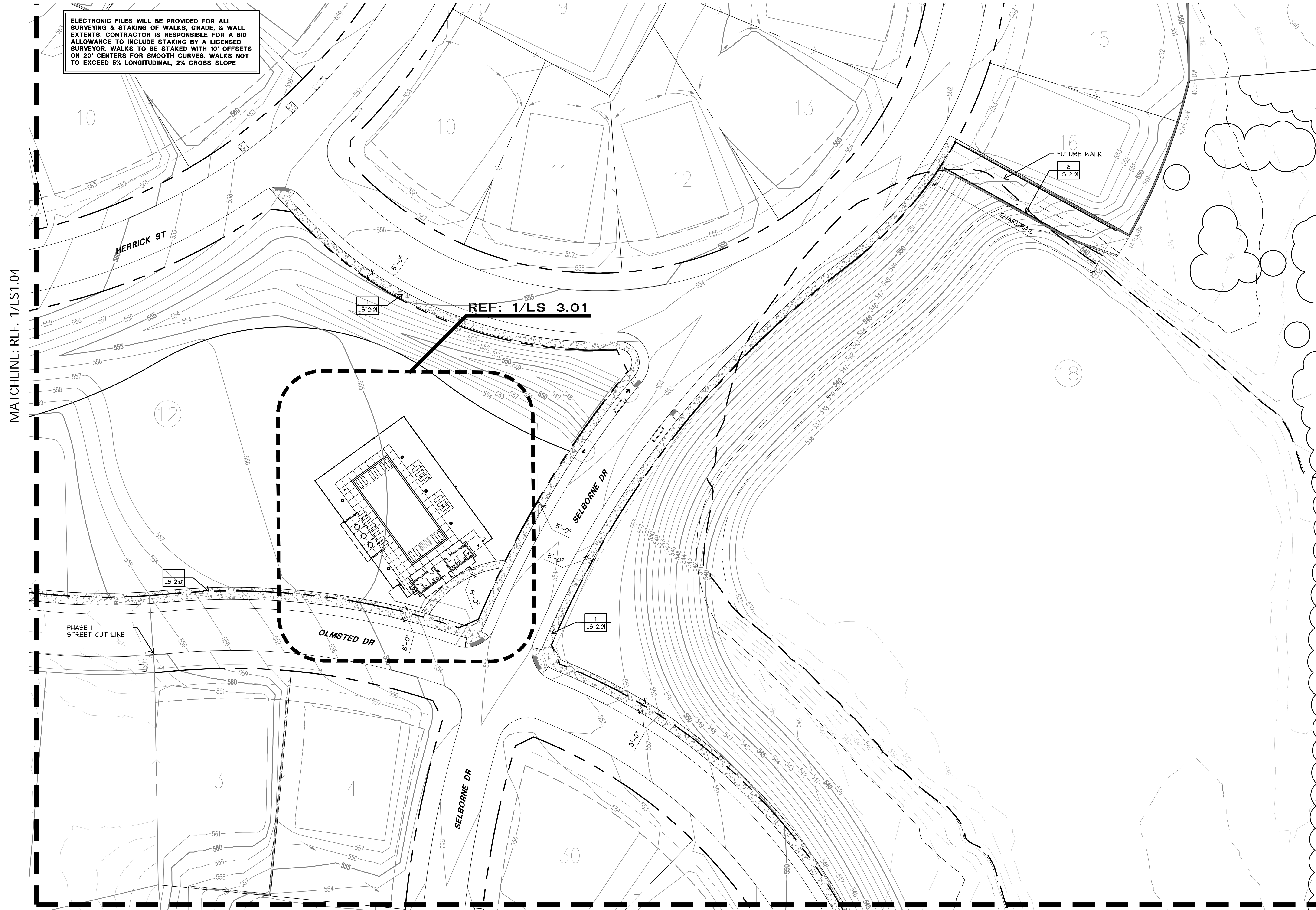
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sheet title
sitework plan

sheet
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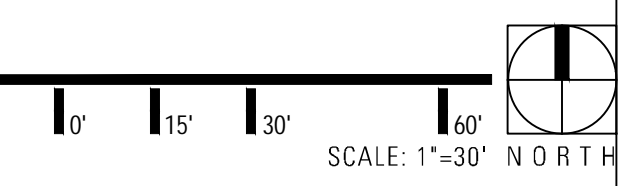
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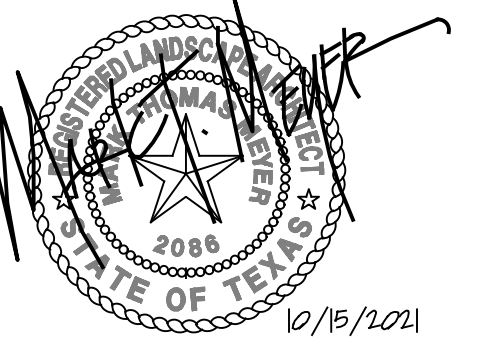
MATCHLINE: REF. 1/LS1.02

1 Site
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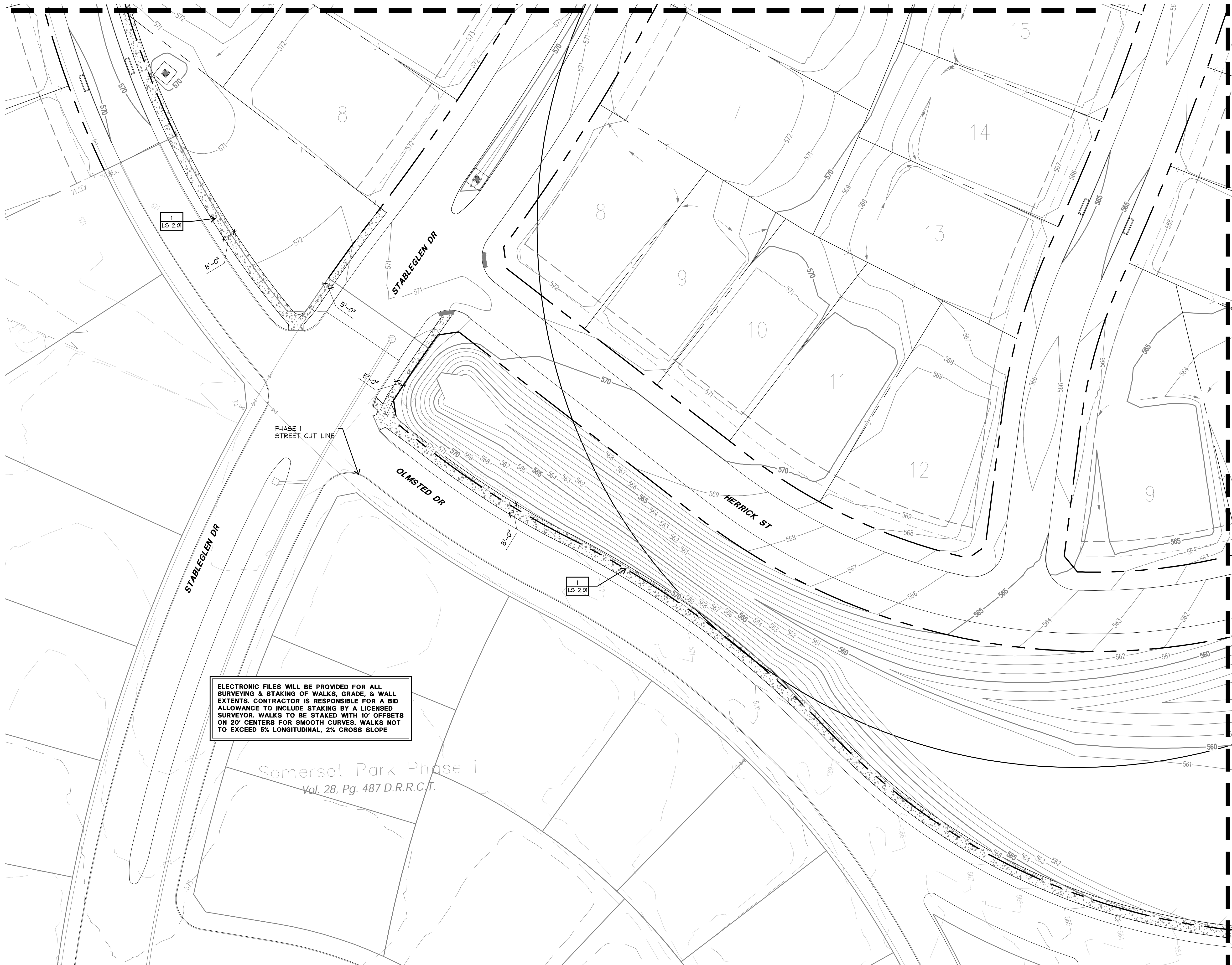
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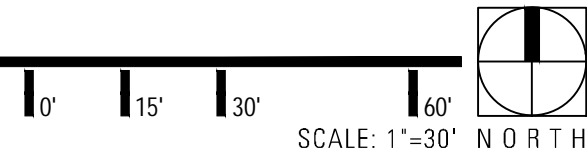


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Vol. 28, Pg. 487 D.R.R.C.T.

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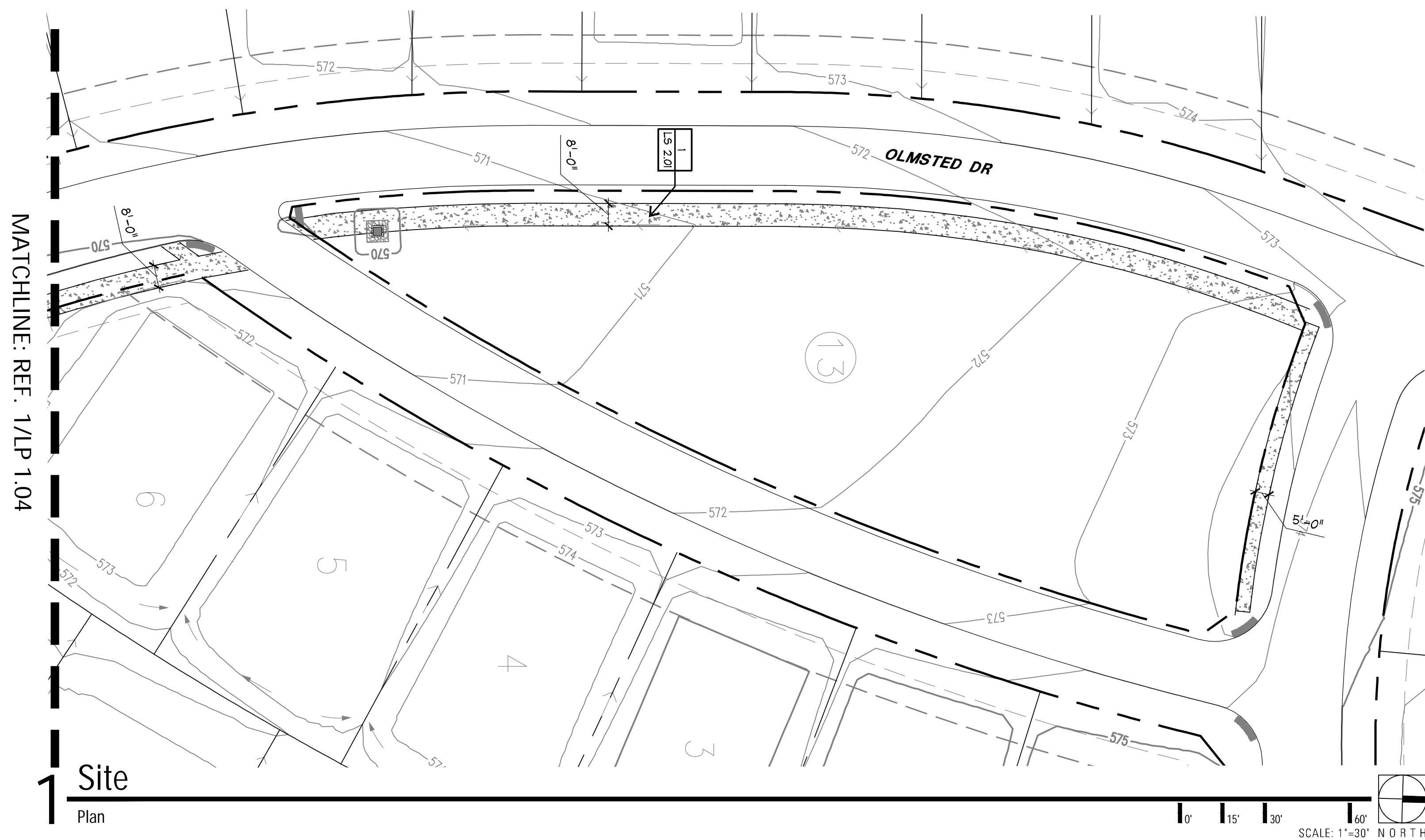
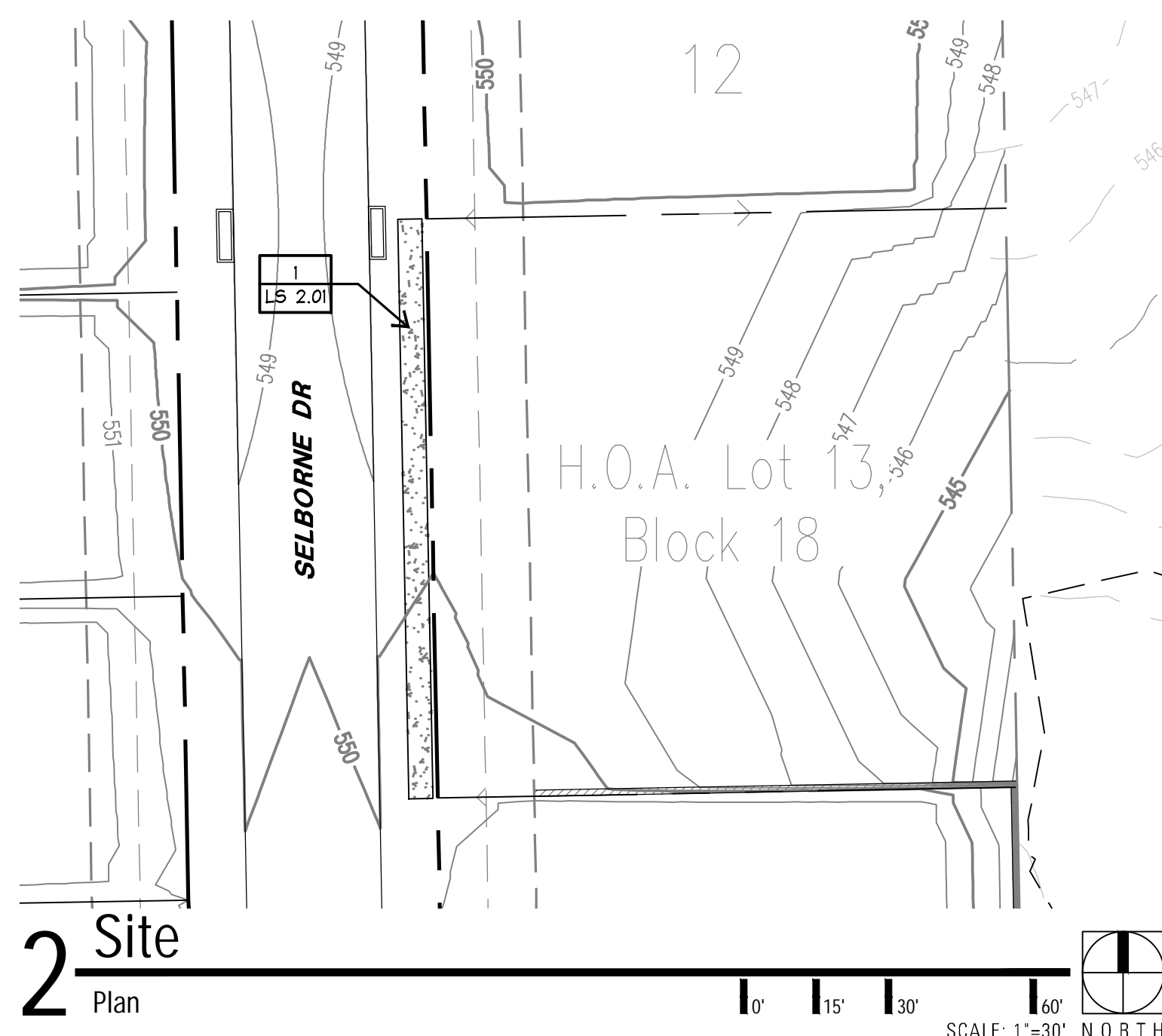
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 drawn: BD AC
 reviewed: JD, MM

sheet title
sitework plan

sheet
LS 1.05



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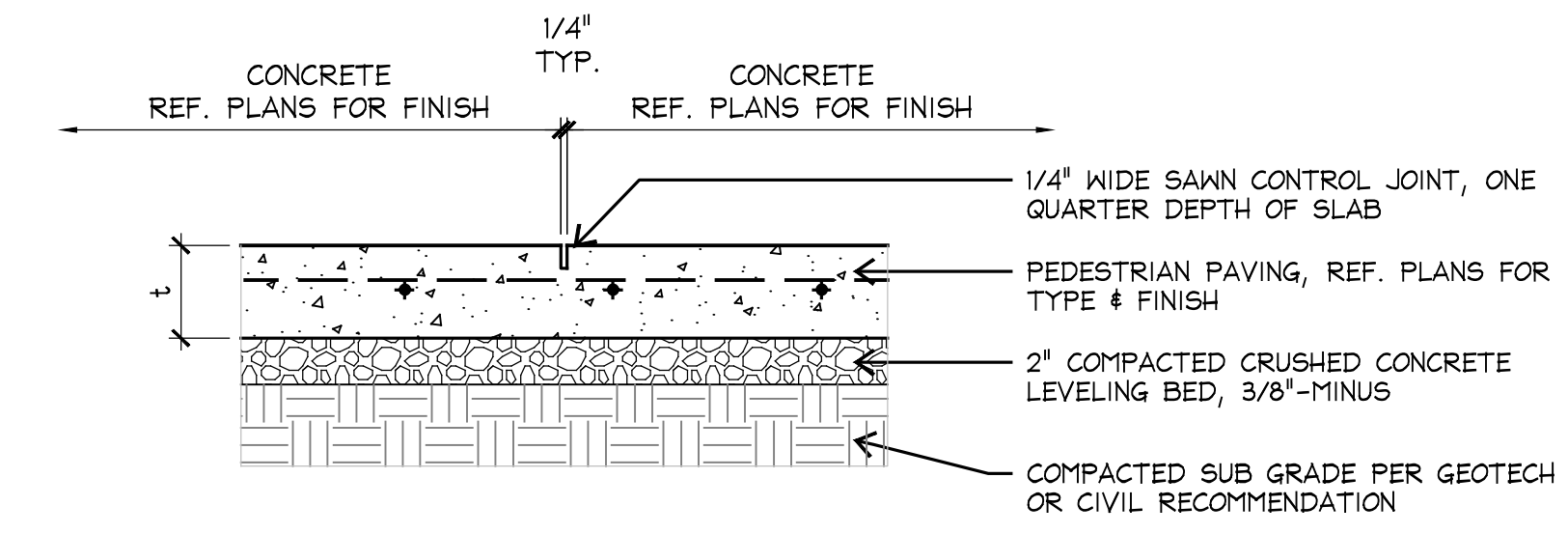
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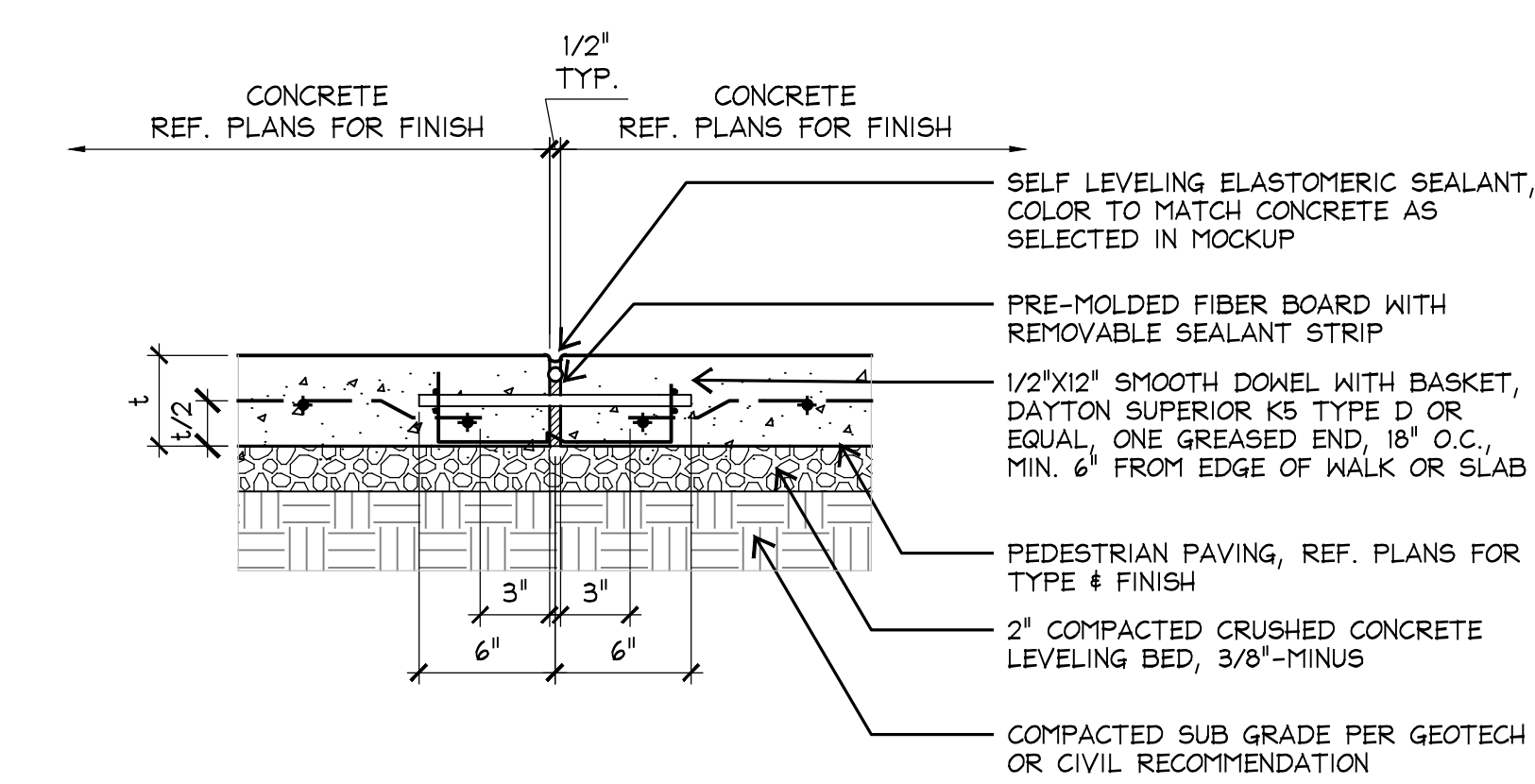
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sheet title
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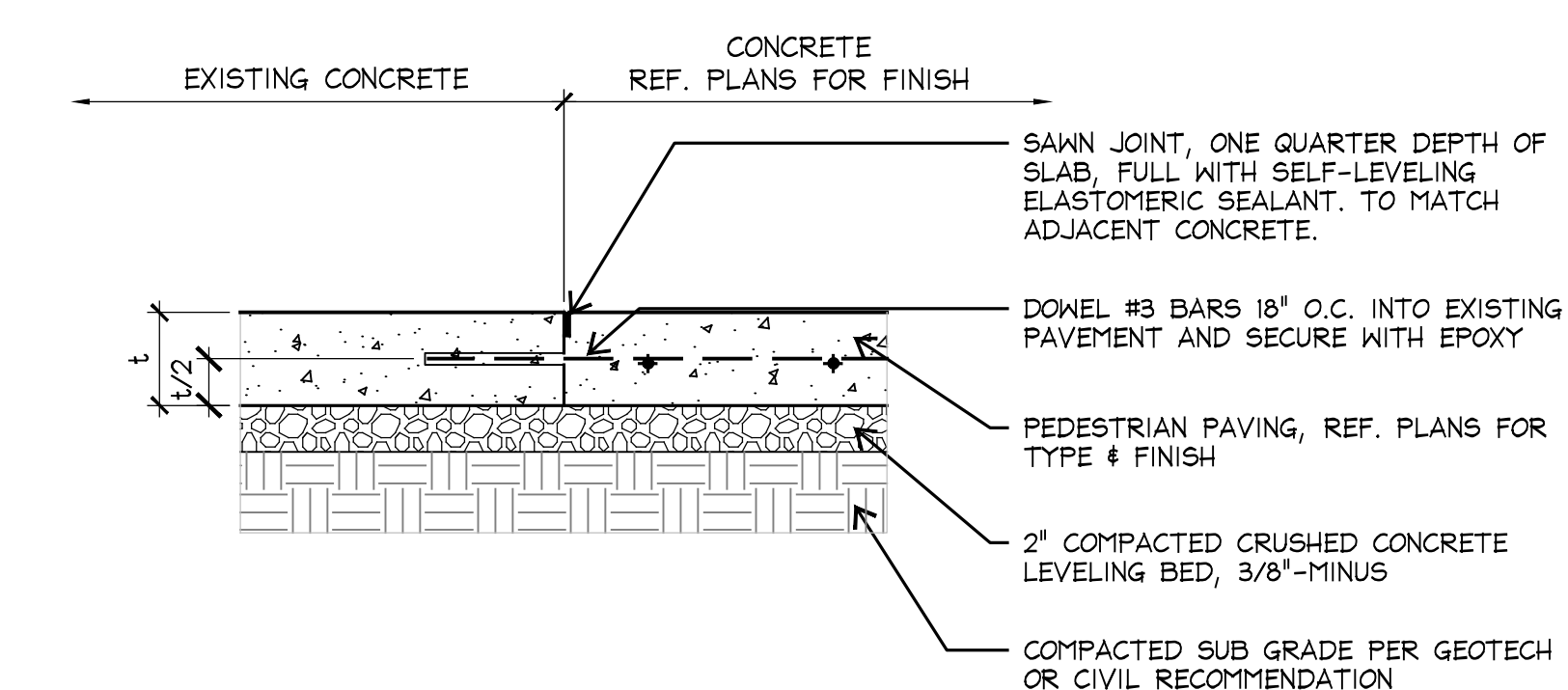
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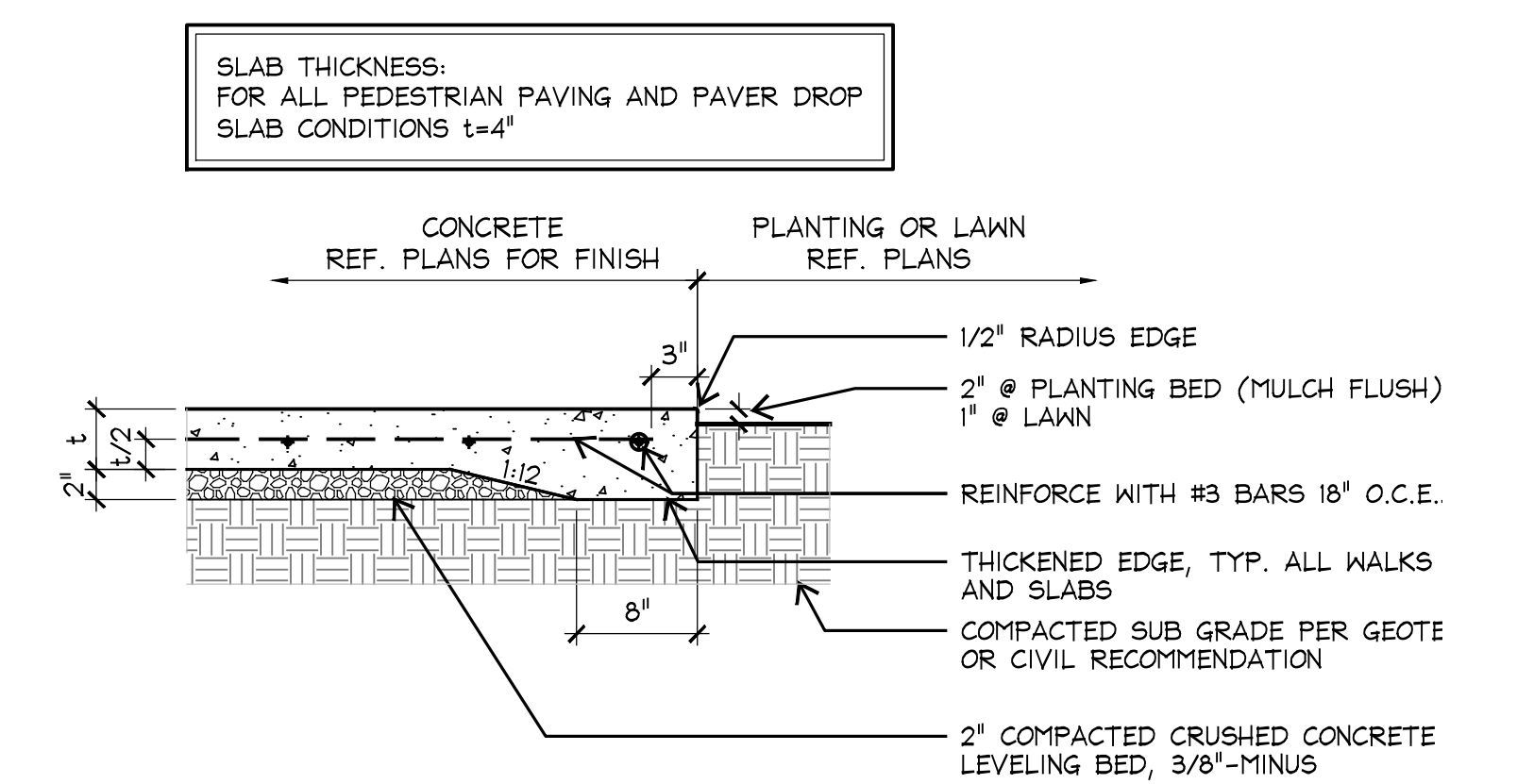
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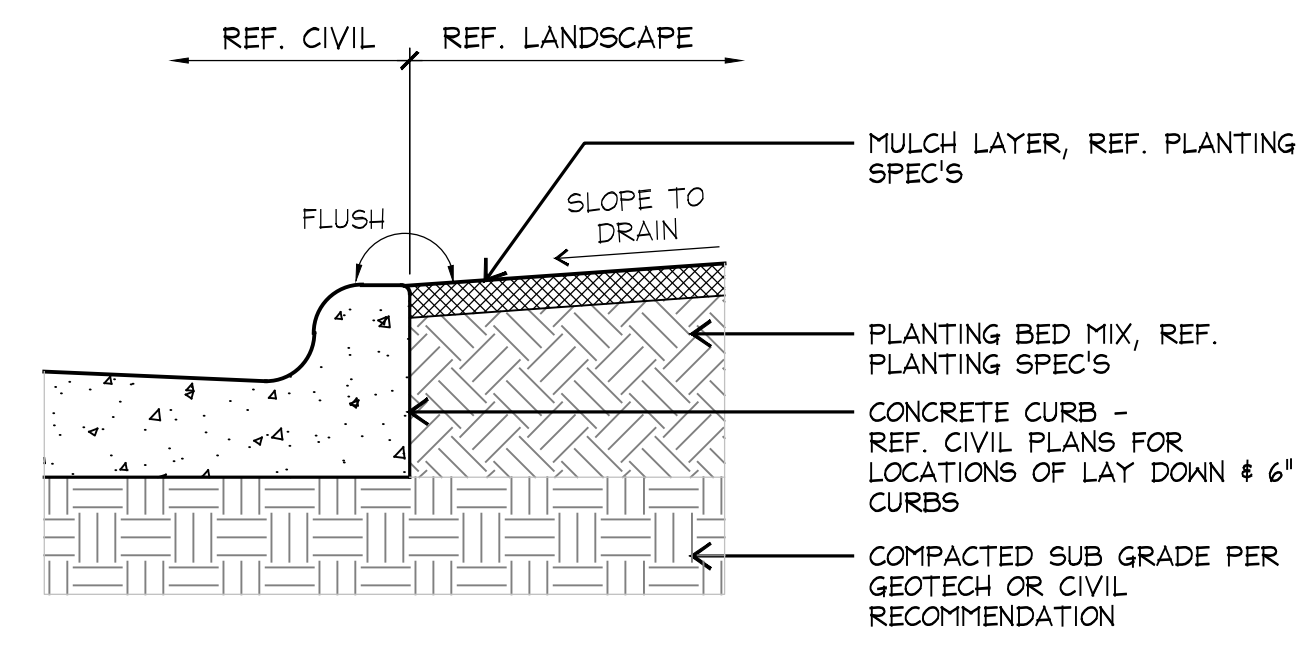
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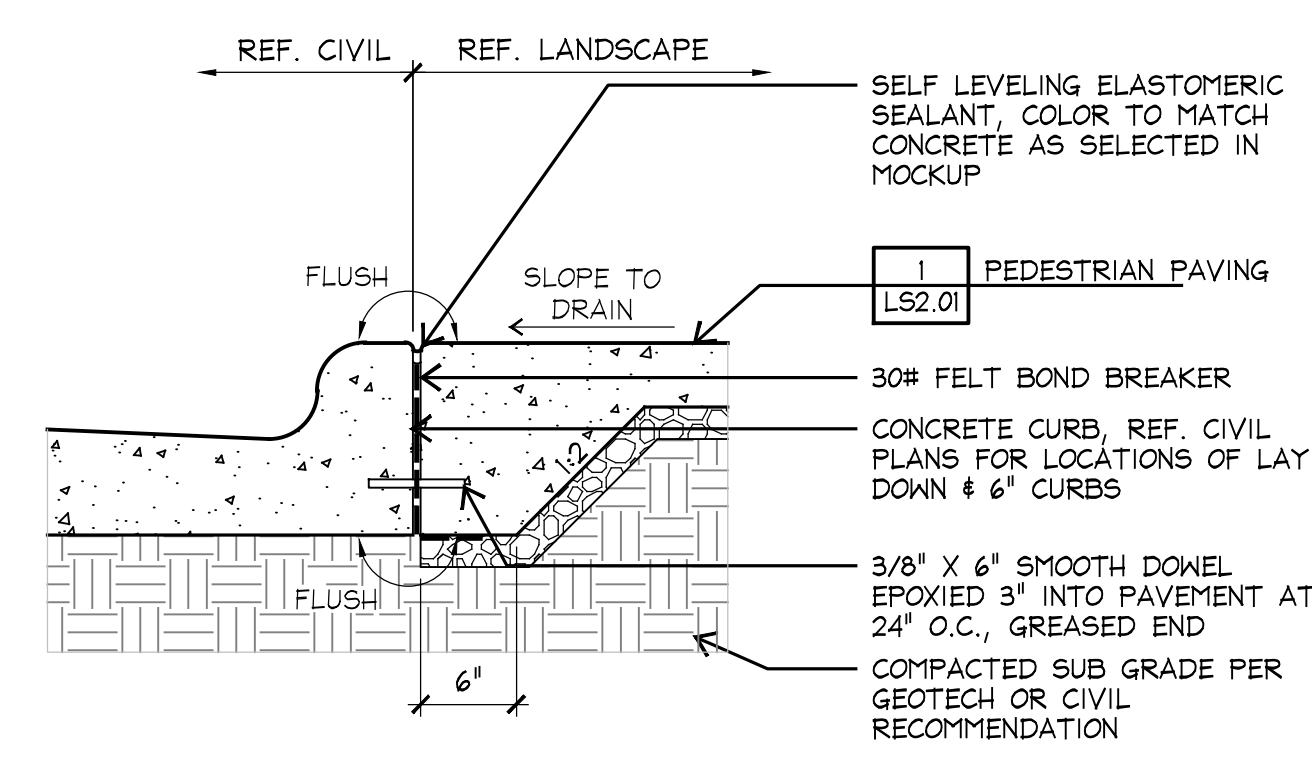
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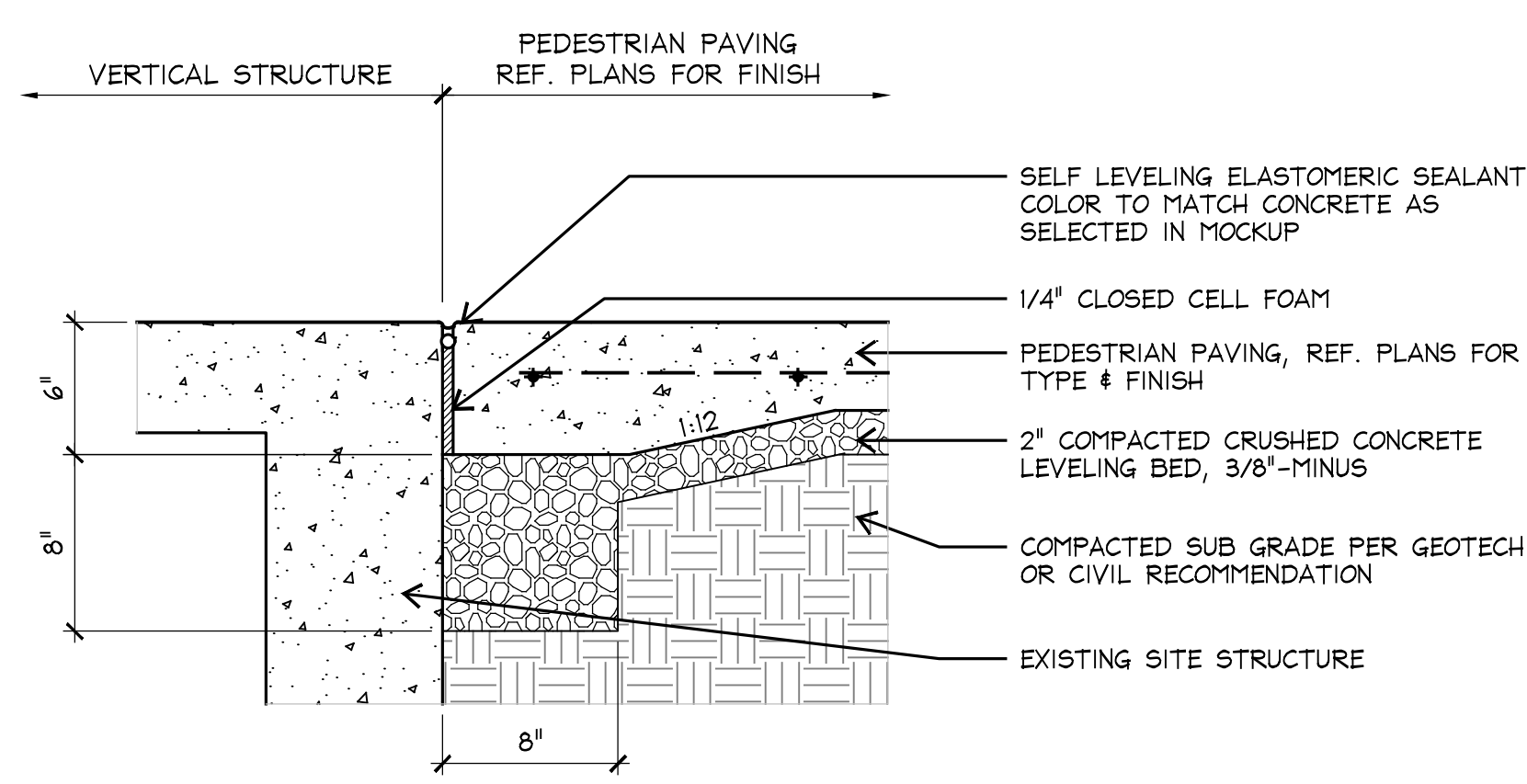
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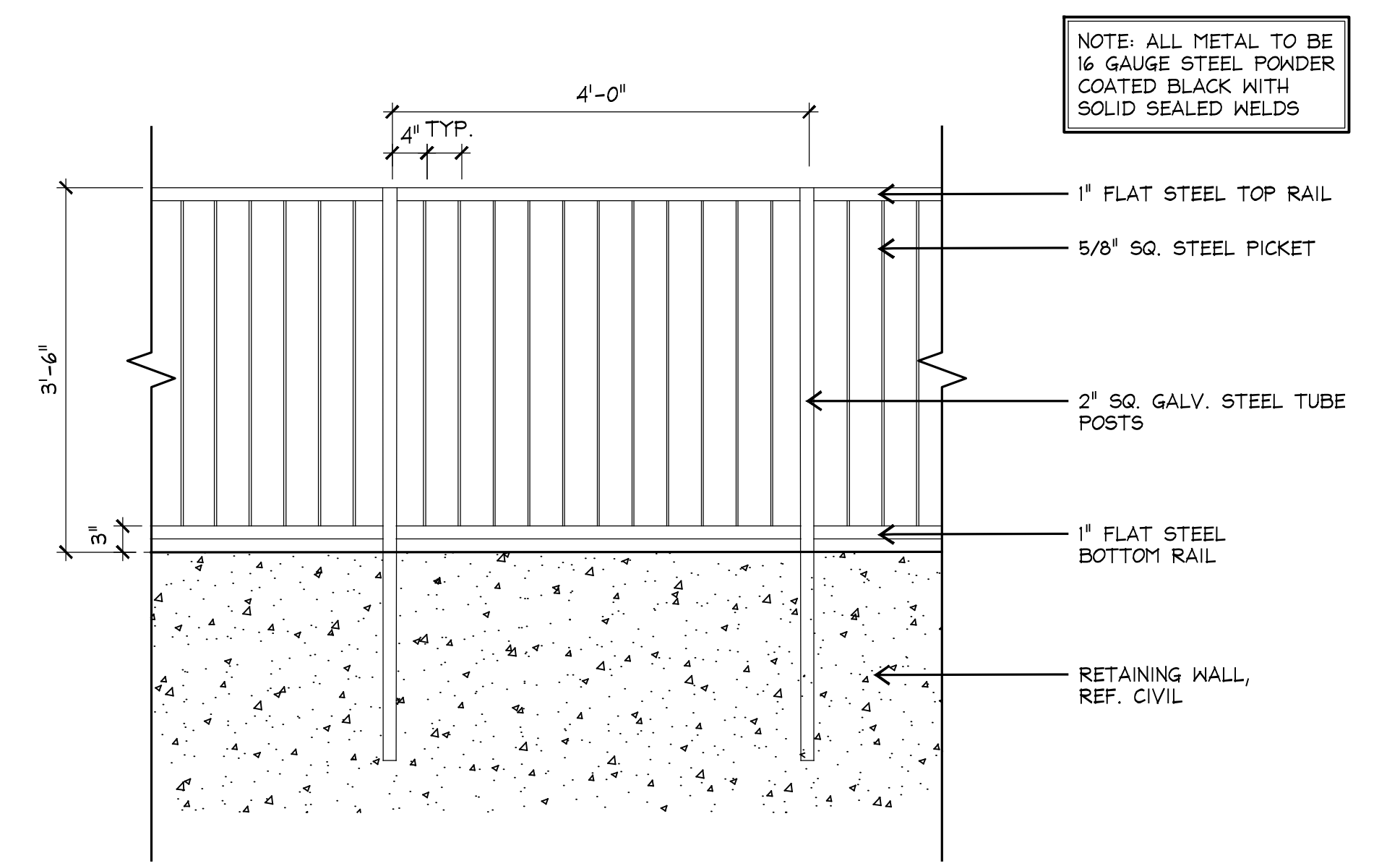
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 SECTION SCALE: 1"=1'-0"



6 CONCRETE AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



5 ISOLATION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



8 RAILING AT RETAINING WALL
 SECTION SCALE: 3/4"=1'-0"

NOTE: ALL METAL TO BE
 16 GAUGE STEEL POWDER
 COATED BLACK WITH
 SOLID SEALED WELDS

P:\021053 - somerset ph ii\03 development\08 permit\04 CAD\02 sheets\03-LS\021053-LS2-01.dwg



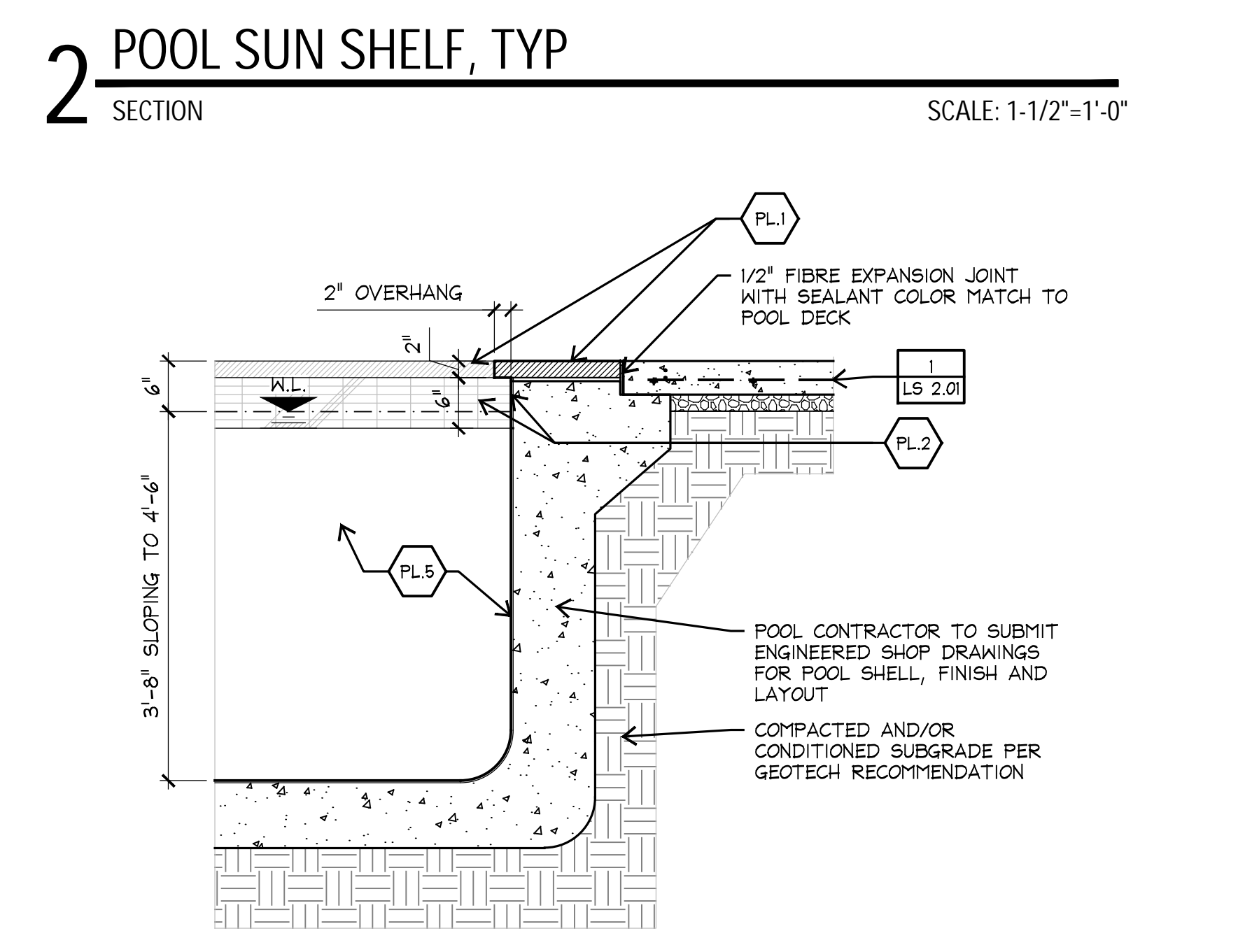
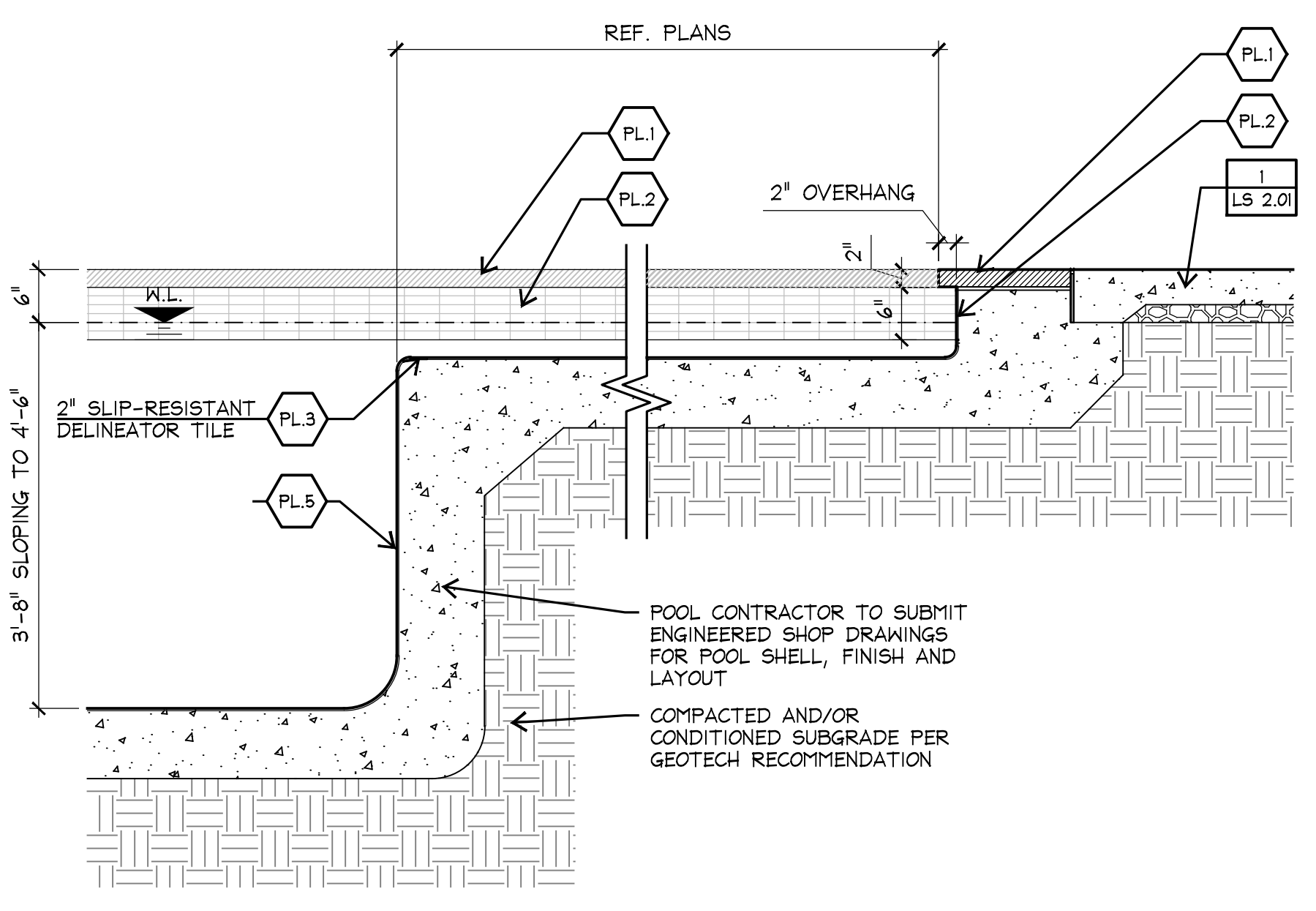
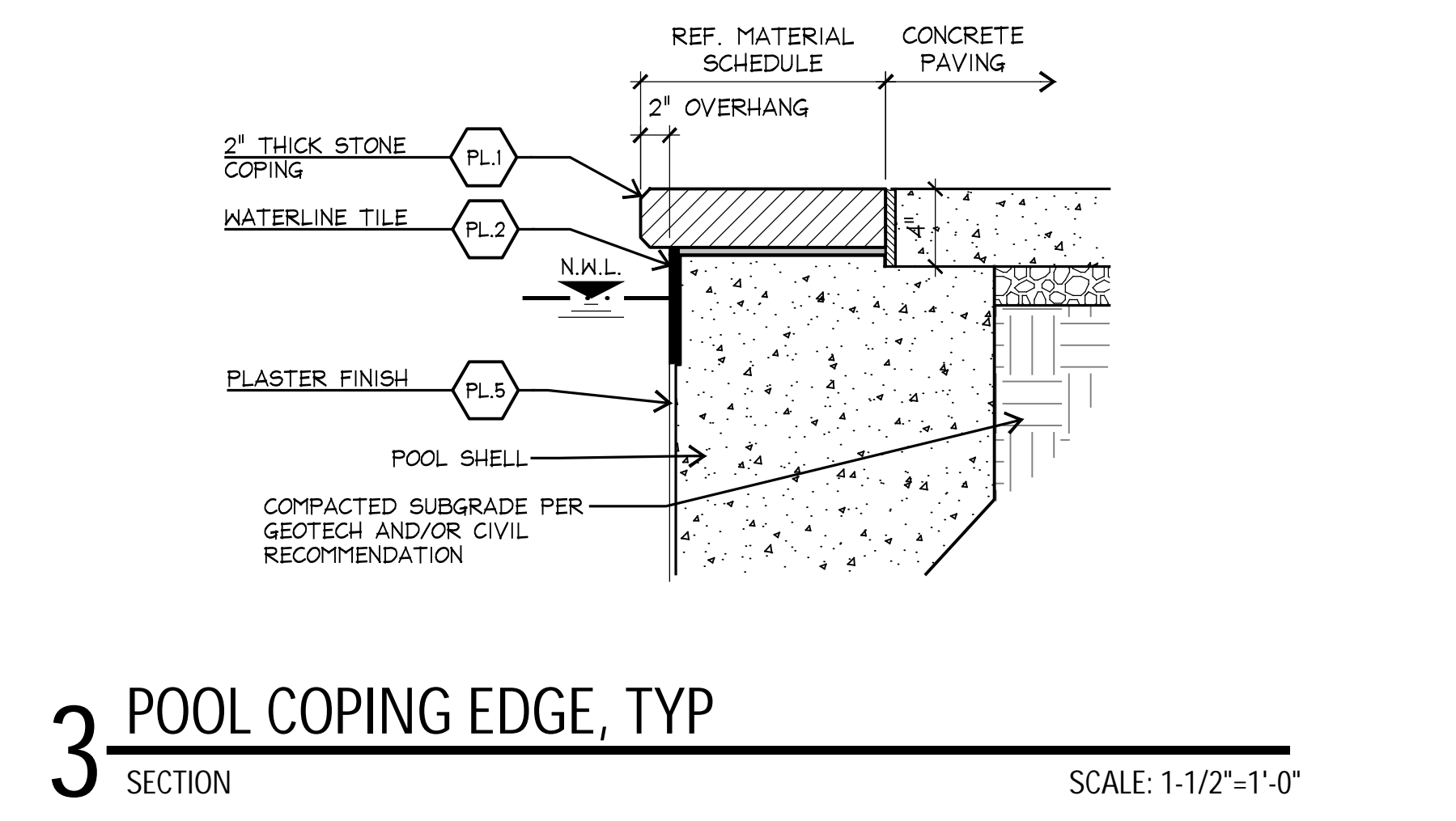
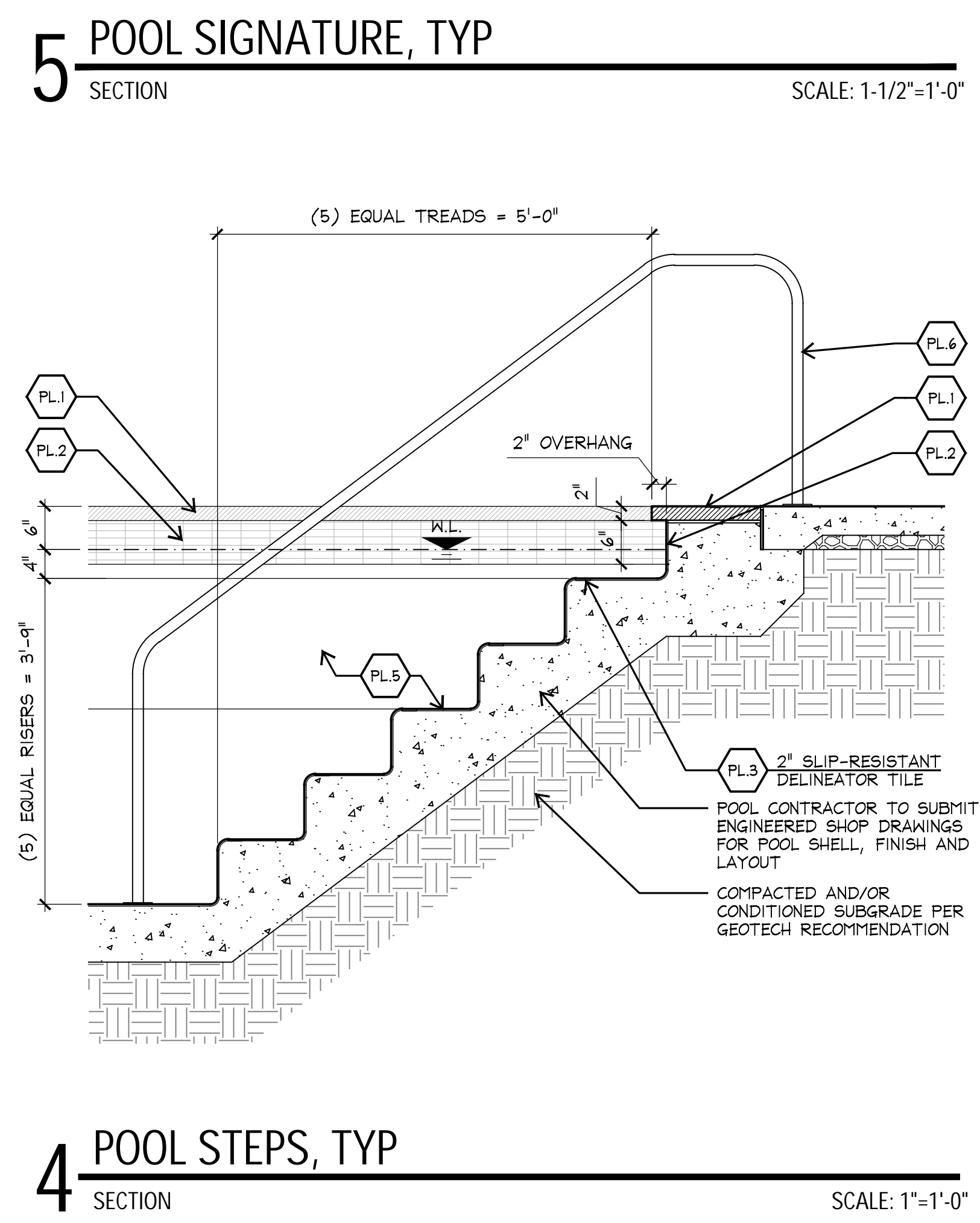
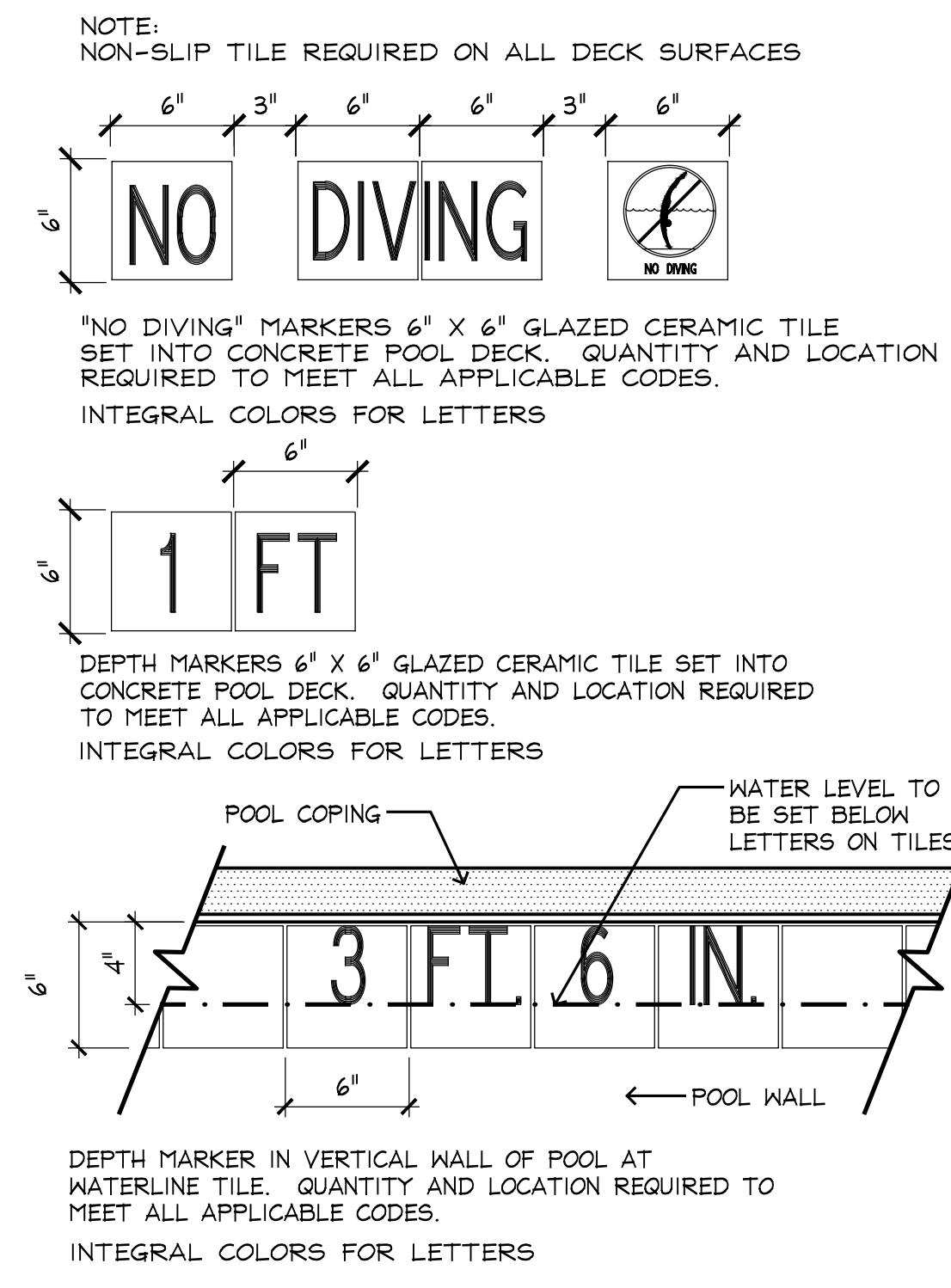
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NOTE:
 SWIMMING POOL DETAILS PROVIDED FOR DESIGN INTENT ONLY. POOL CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF DESIGN OR LAYOUT CONFLICTS. CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.

TILE TO BE FLUSH AT EDGE CONDITIONS W/ EVEN GROUT SPACING BETWEEN TILES. TILE PLACED ON THE SLOPE TO LAY OVER TILE PLACED ON VERTICAL WALL AS NOT TO REVEAL ANY ROUGH TILE EDGES. TILE ON SLOPE MUST BE FLUSH WITH TILE ON VERTICAL WALLS.

POOL MEP, LIGHTING, SHELL DESIGN & ENGINEERING BY POOL CONTRACTOR.



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
D21053

issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
**Sitework
 details**

sheet
LS 2.02

P:\021053 - somerset ph II\03 development\08 permit\04 CAD\02 sheets\03-LS\021053-LS2-01.dwg

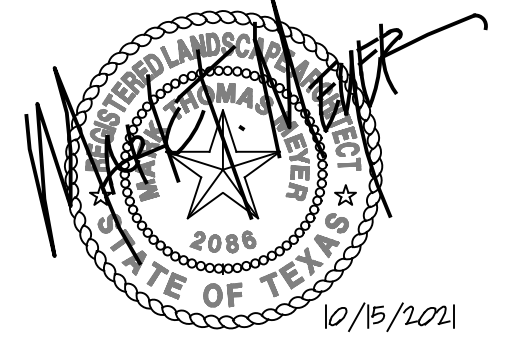


TBG

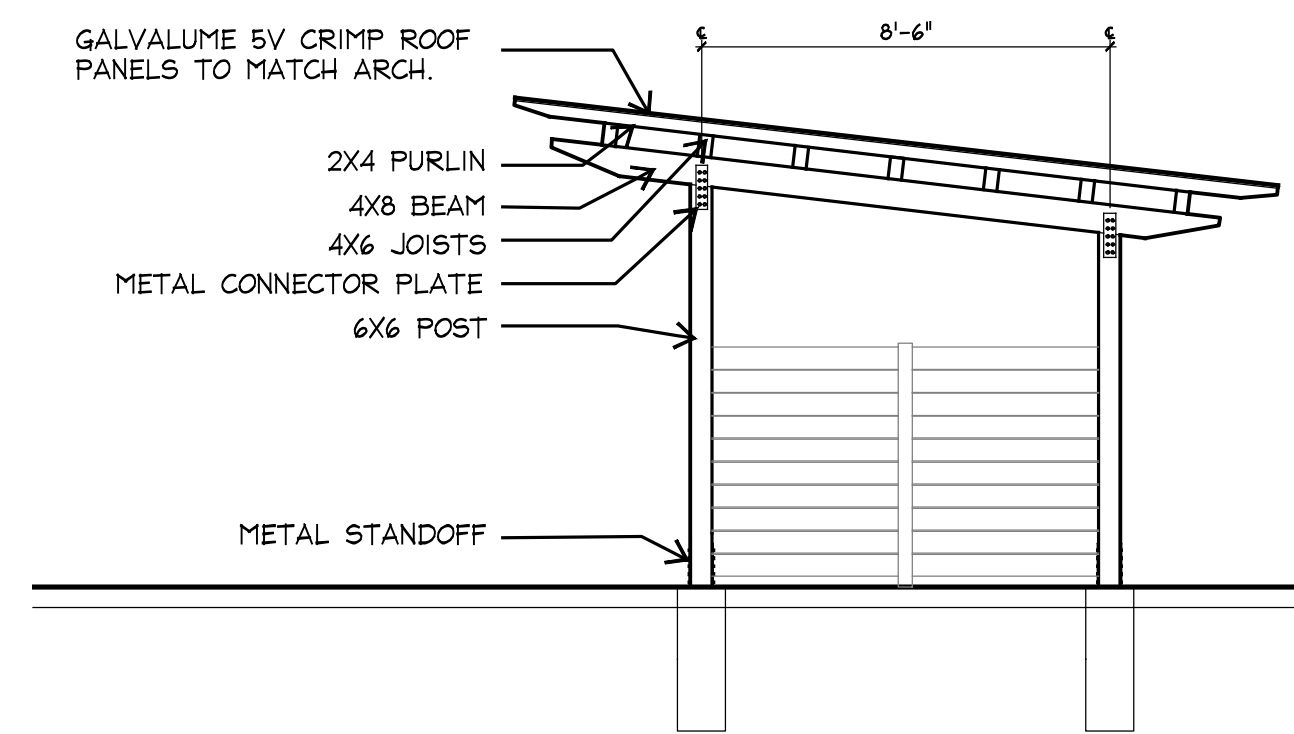
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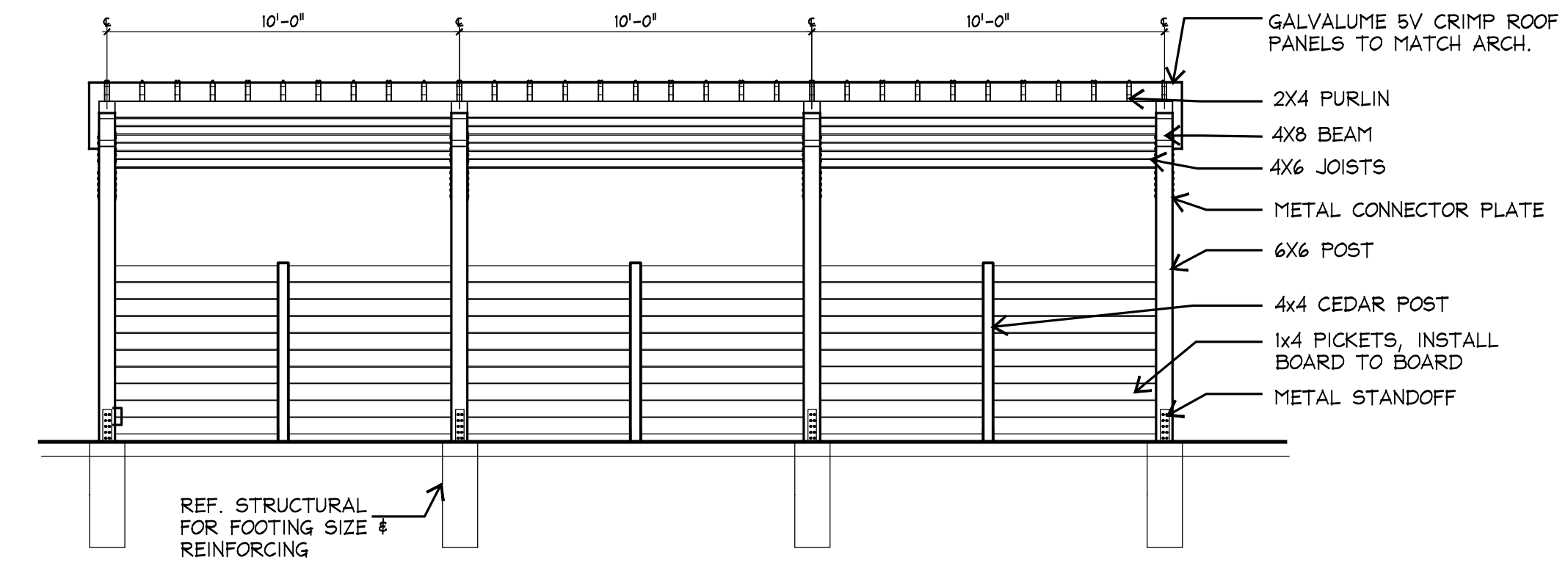


NOTE:
ALL WOOD TO BE DOUGLAS FIR #2 OR BETTER.
ALL WOOD TO RECEIVE STAIN AS SELECTED IN MOCKUP.
ALL EXTERIOR PLATES, FASTENERS & METAL TO BE GALVANIZED.



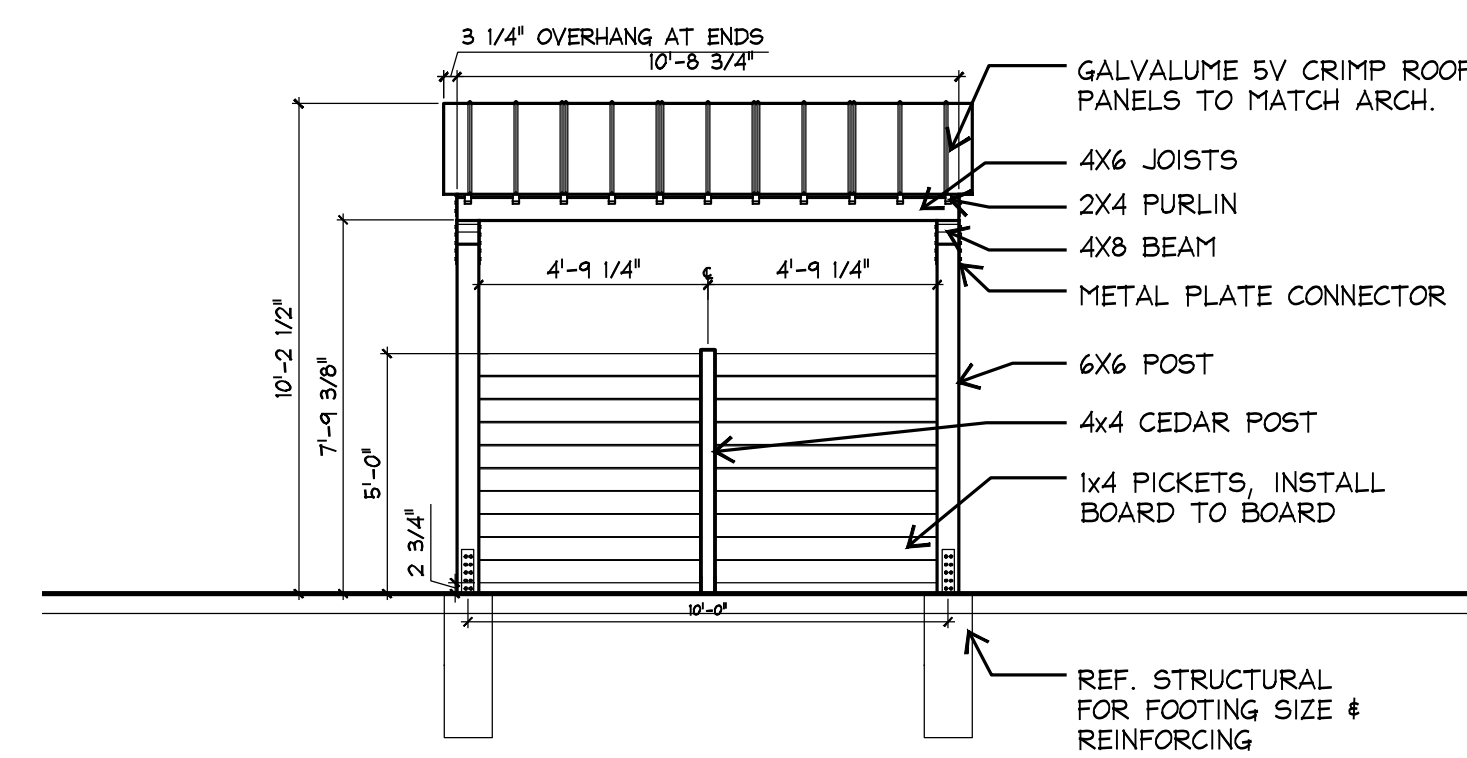
SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS

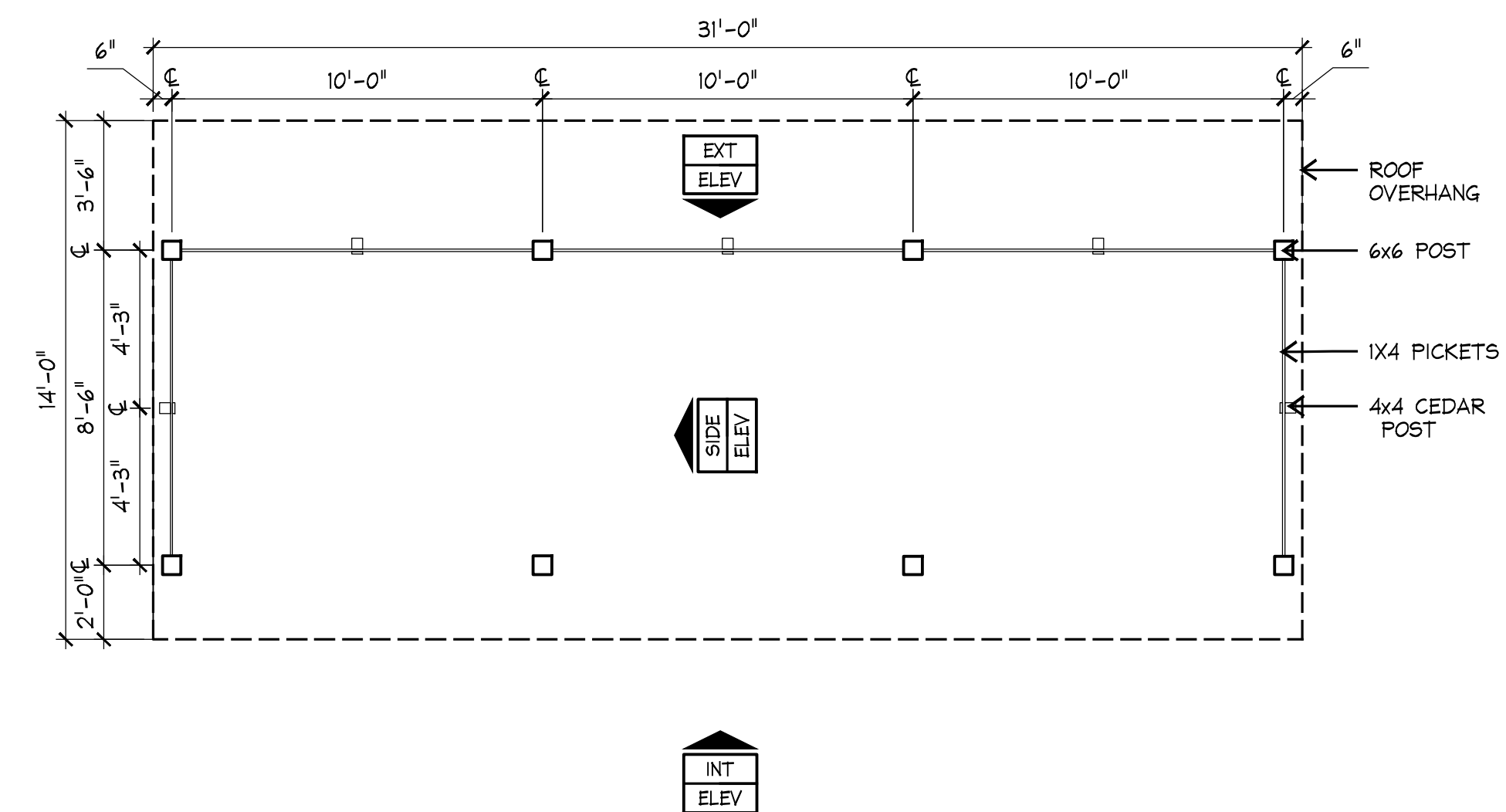


INTERNAL ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS



EXTERNAL ELEVATION
SCALE: 1/4"=1'-0"



PLAN
SCALE: 1/4"=1'-0"

1 CABANA
AS SHOWN

SCALE: 1/4"=1'-0"

project
**Somerset
Phase 2**

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10/15/2021

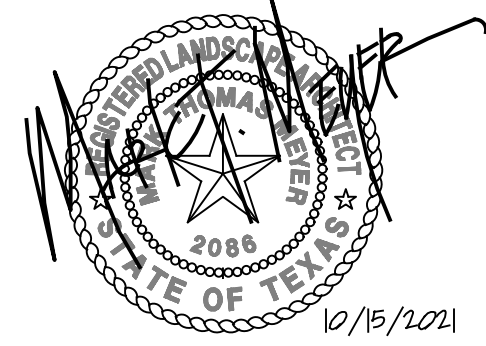
designed: JD BD
drawn: BD AC
reviewed: JD MM

sheet title
**Sitework
details**

sheet
LS 2.03



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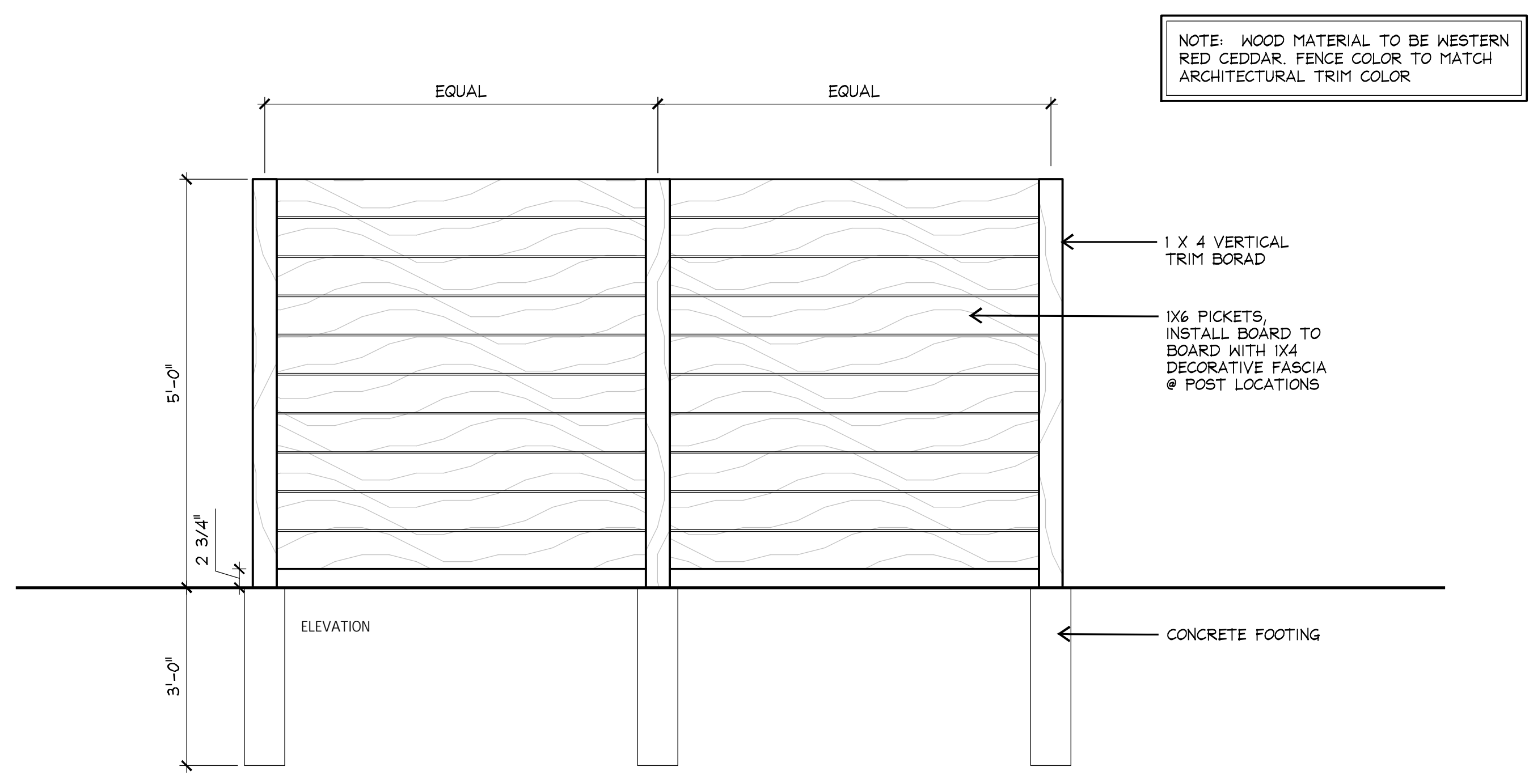
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issue date
 10/15/2021

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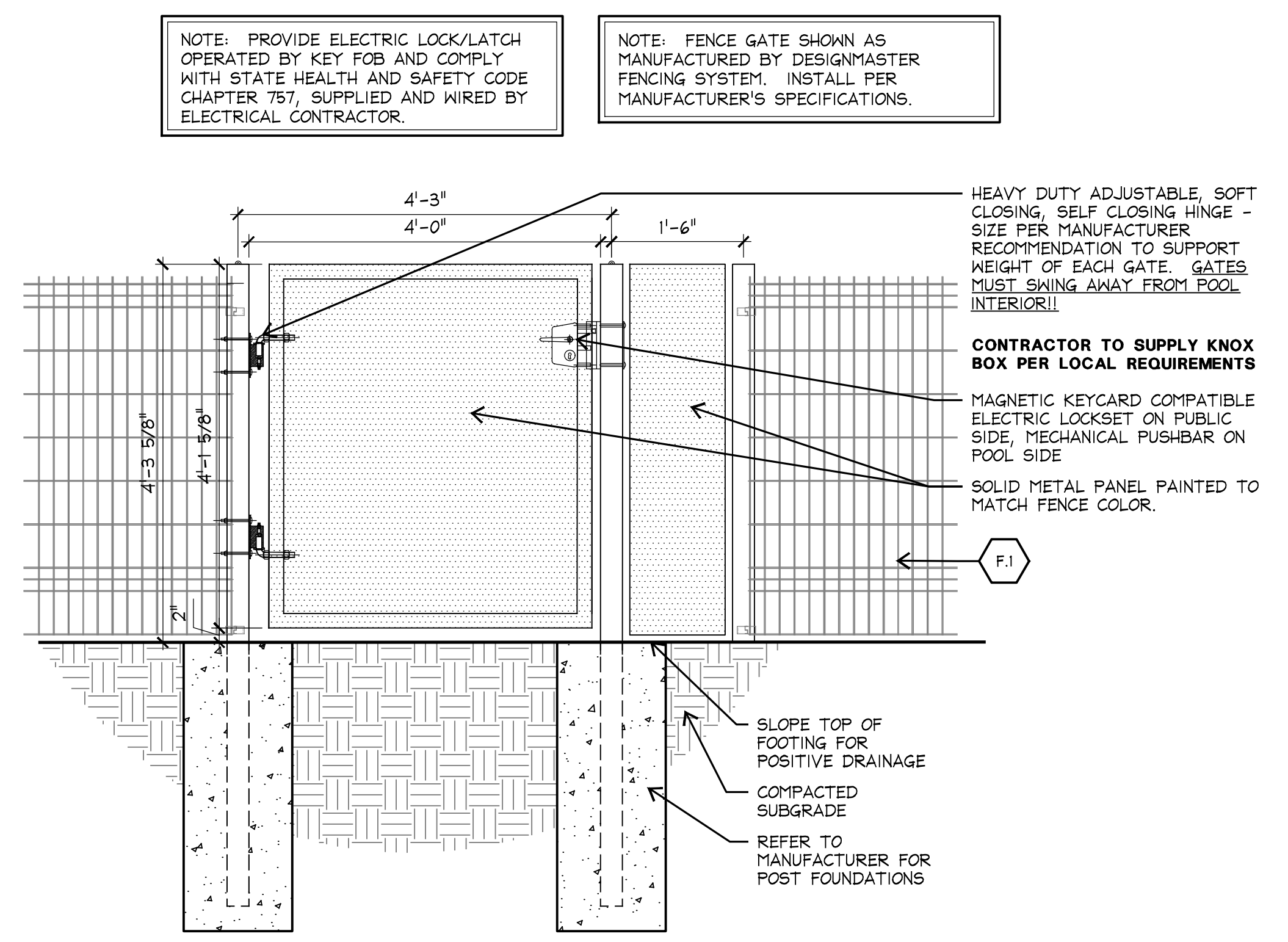
sheet title
**Sitework
 details**

sheet
LS 2.04



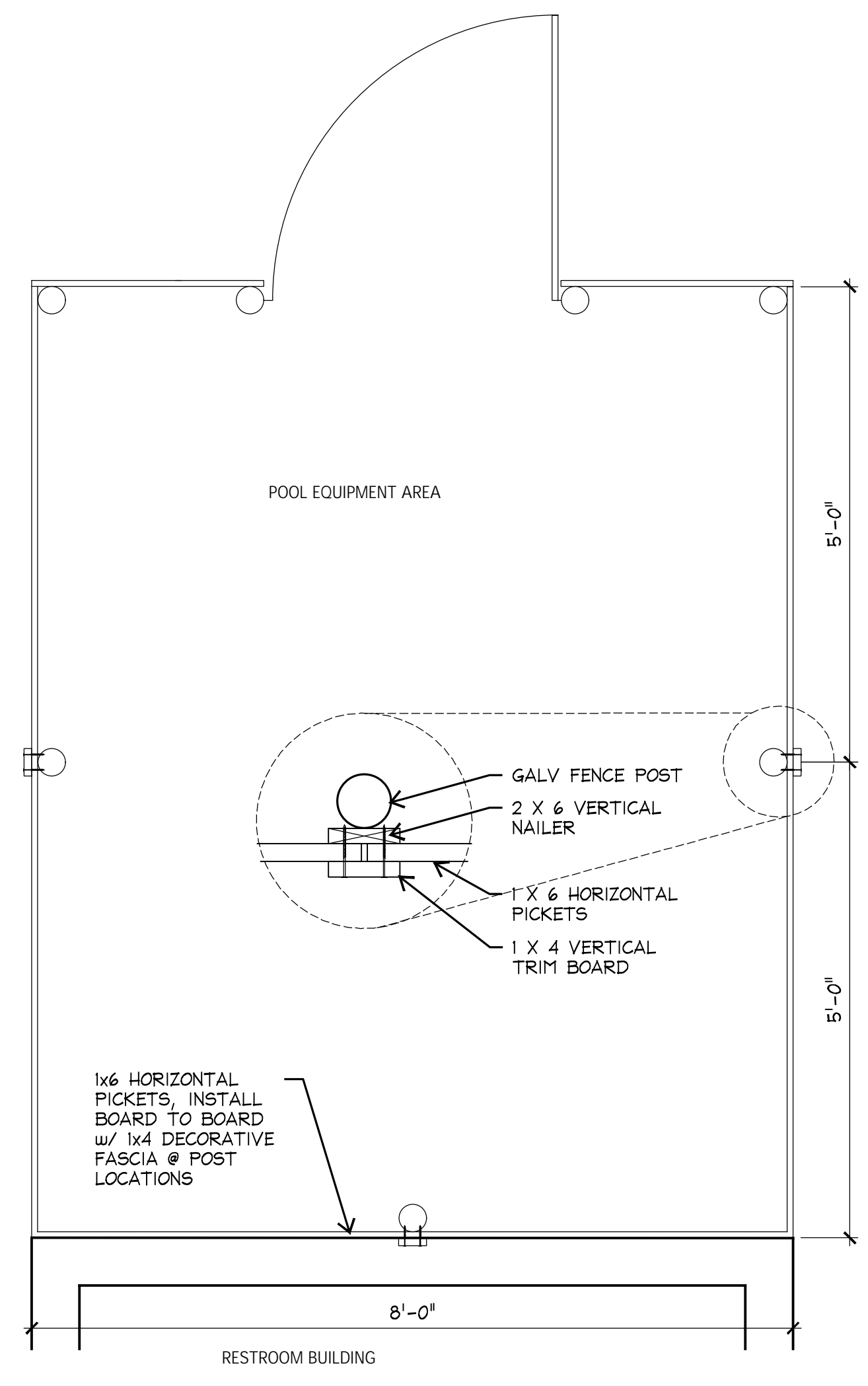
2 POOL EQUIPMENT - SCREEN FENCE
 ELEVATION

SCALE: 3/4"=1'-0"



3 POOL ENTRY DOOR
 ELEVATION

SCALE: 3/4"=1'-0"



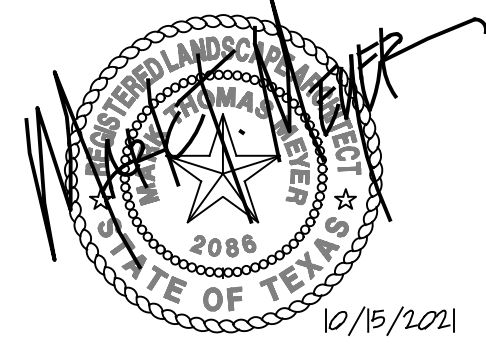
1 POOL EQUIPMENT- SCREEN FENCE
 PLAN

SCALE: 3/4"=1'-0"

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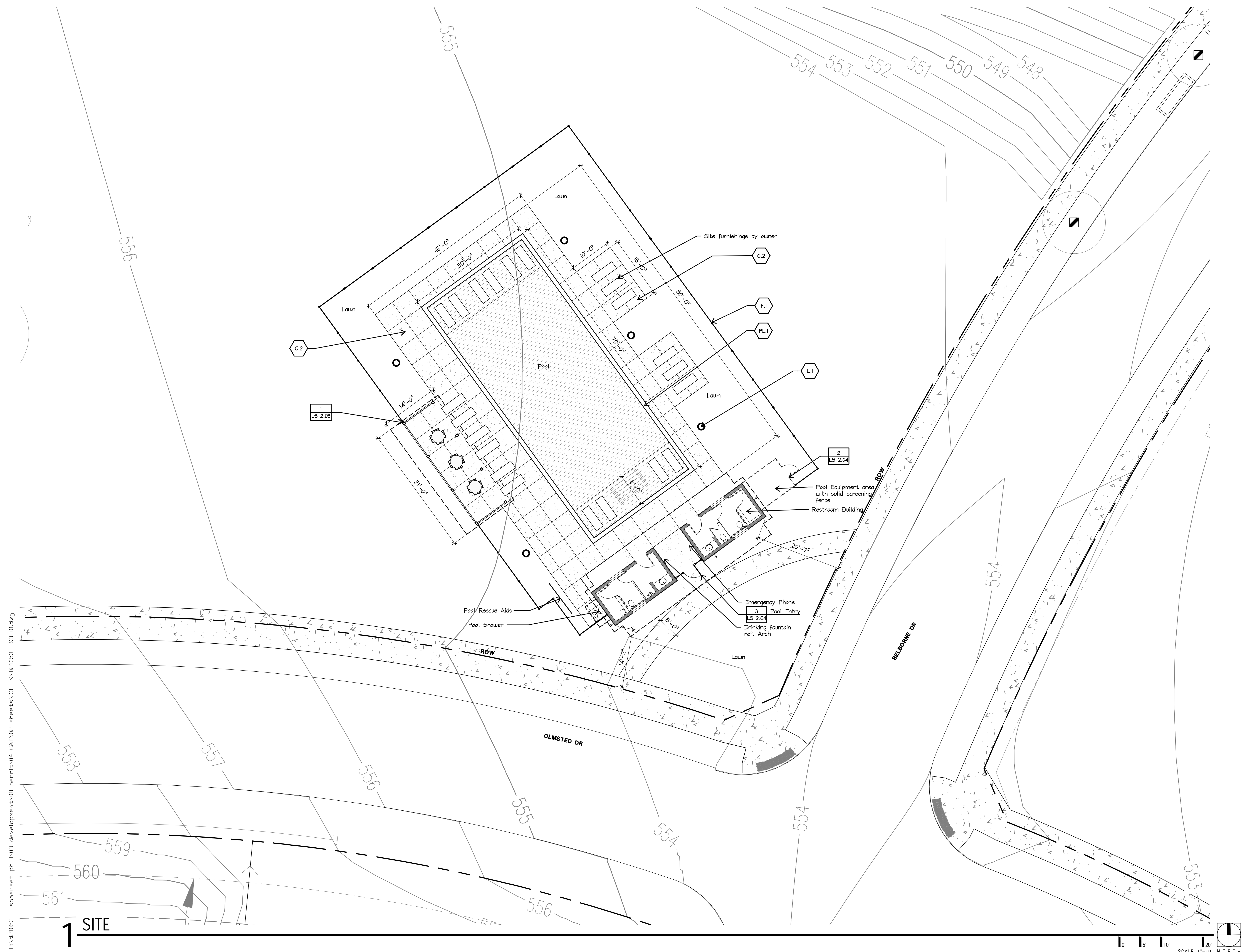
project number
D21053

issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
sitework plan

sheet
LS 3.01



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1 SITE

1" = 10'
 SCALE: 1"=10' NORTH

MATCHLINE: REF. 1/LP 1.02



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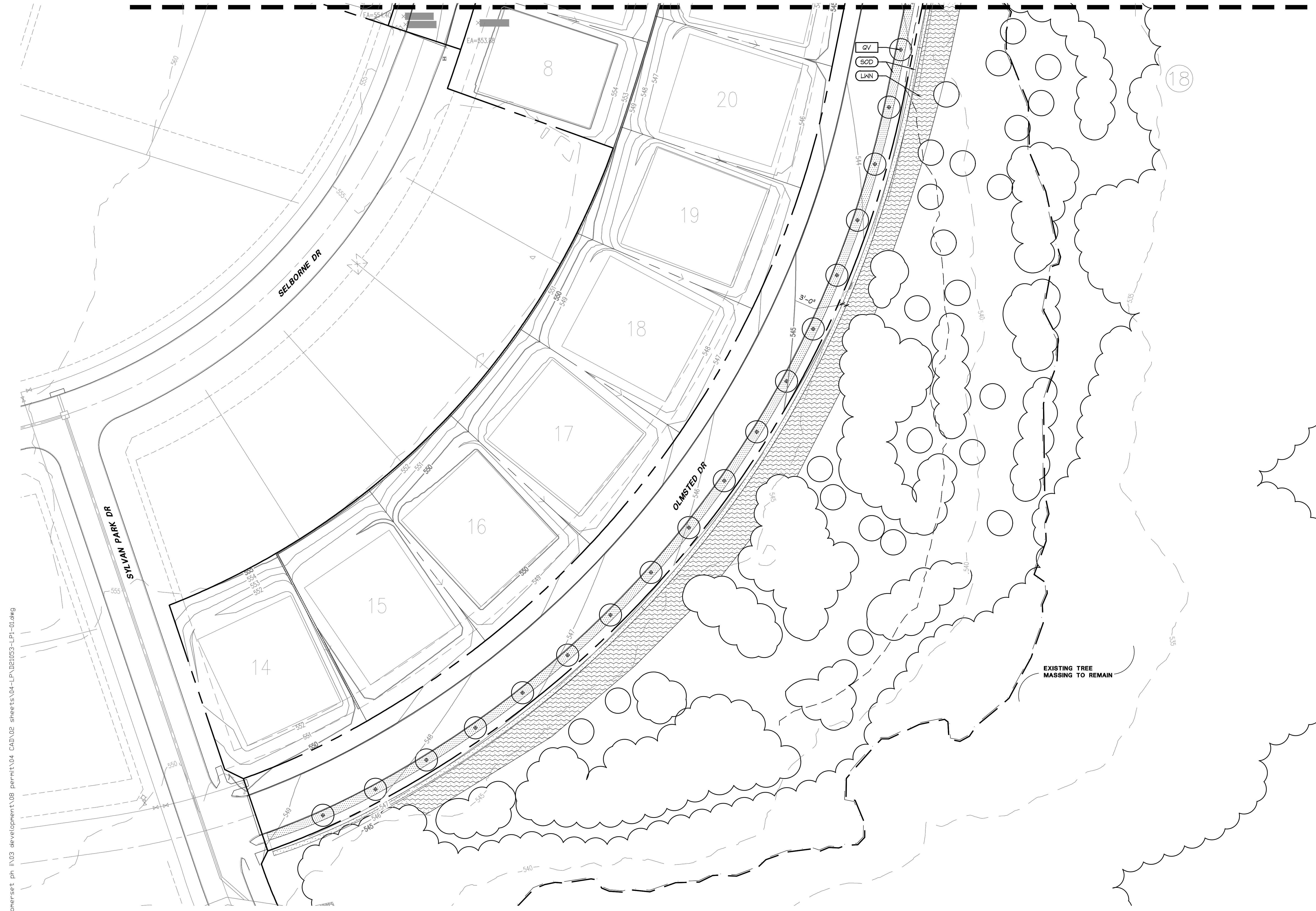
project number
D21053

issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD, MM

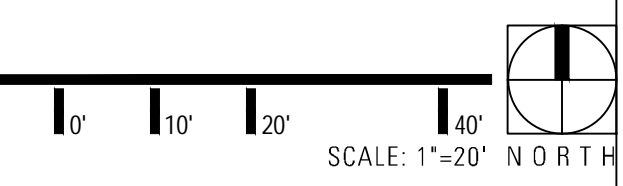
sheet title
planting plan

sheet
LP 1.01



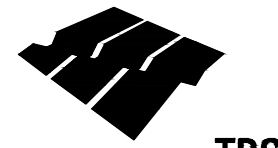
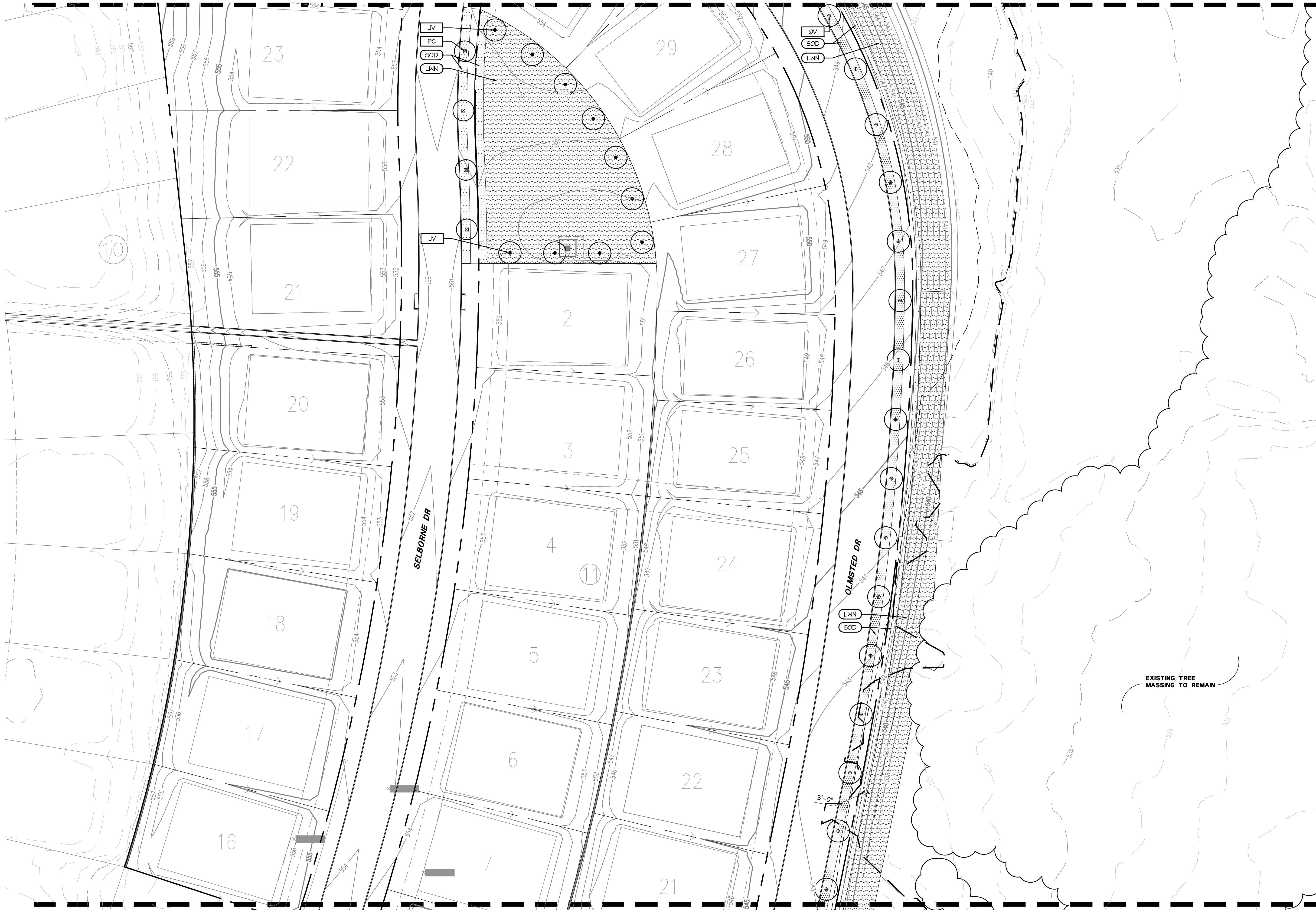
P:\21053 - somerset ph ii\03 development\08 permit\04 CAD\02 sheets\04-LP\21053-LP1-01.dwg

1 Site
Plan

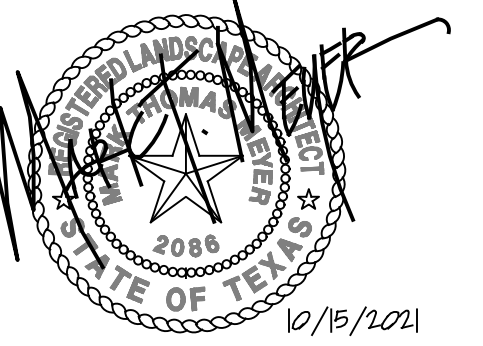


MATCHLINE: REF. 1/LP 1.03

MATCHLINE: REF. 1/LP 1.01



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designed: JD, BD
 drawn: BD, AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 1.02

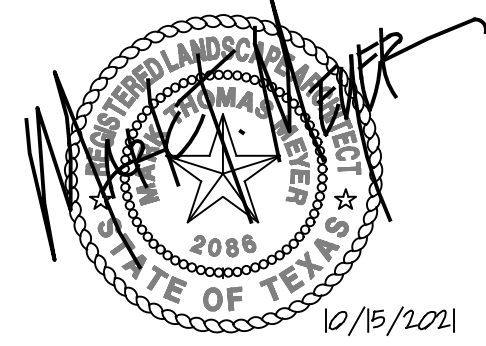
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1 Site
 Plan





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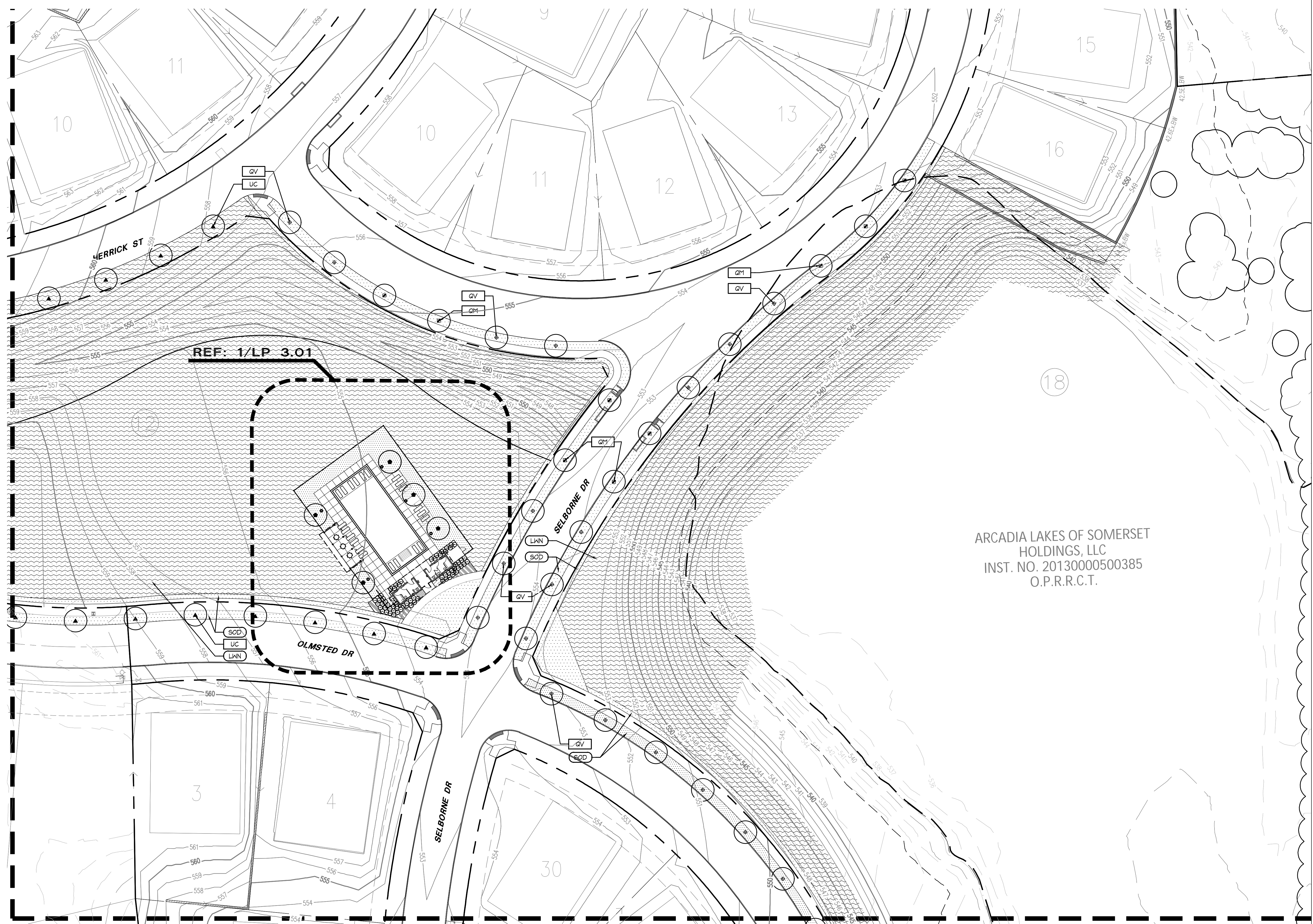
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planting plan

sheet
LP 1.03

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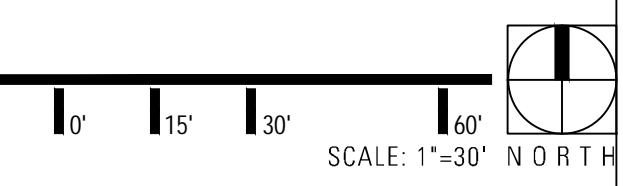
MATCHLINE: REF. 1/LS1.04

MATCHLINE: REF. 1/LS1.02

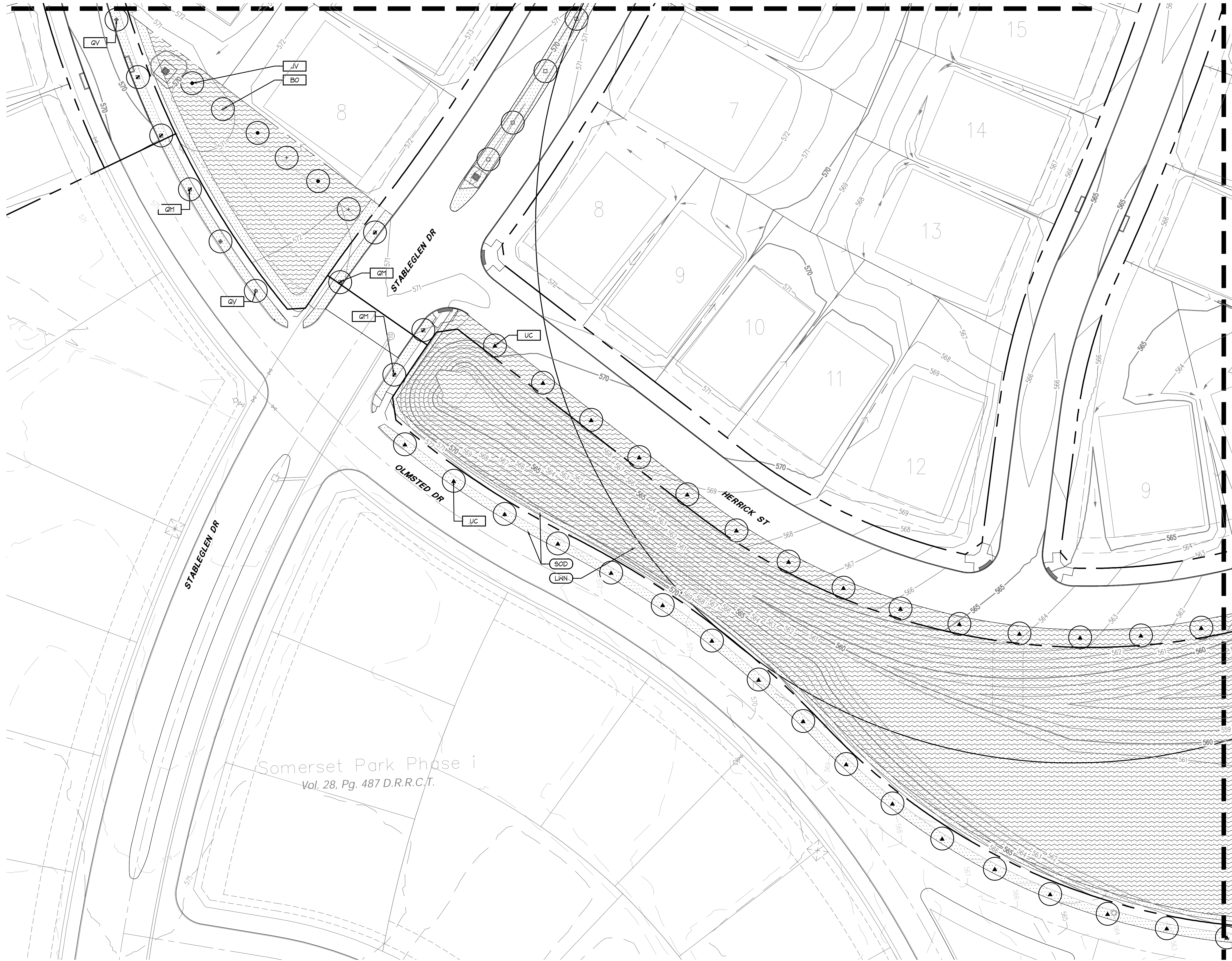


ARCADIA LAKES OF SOMERSET
 HOLDINGS, LLC
 INST. NO. 20130000500385
 O.P.R.R.C.T.

1 Site
 Plan



MATCHLINE: REF. 1/LS 1.05

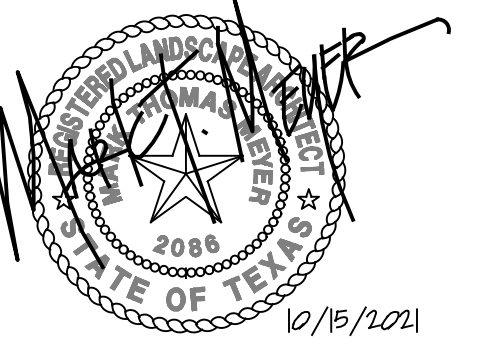


Somerset Park Phase i
Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03



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project number
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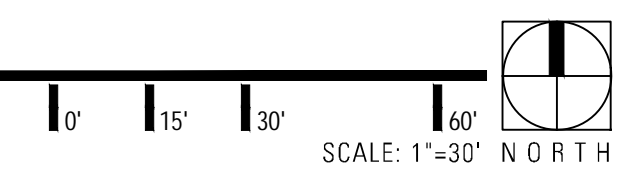
designed: JD, BD
 drawn: BD, AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 1.04

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1 Site
 Plan





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 Rockwall, TX

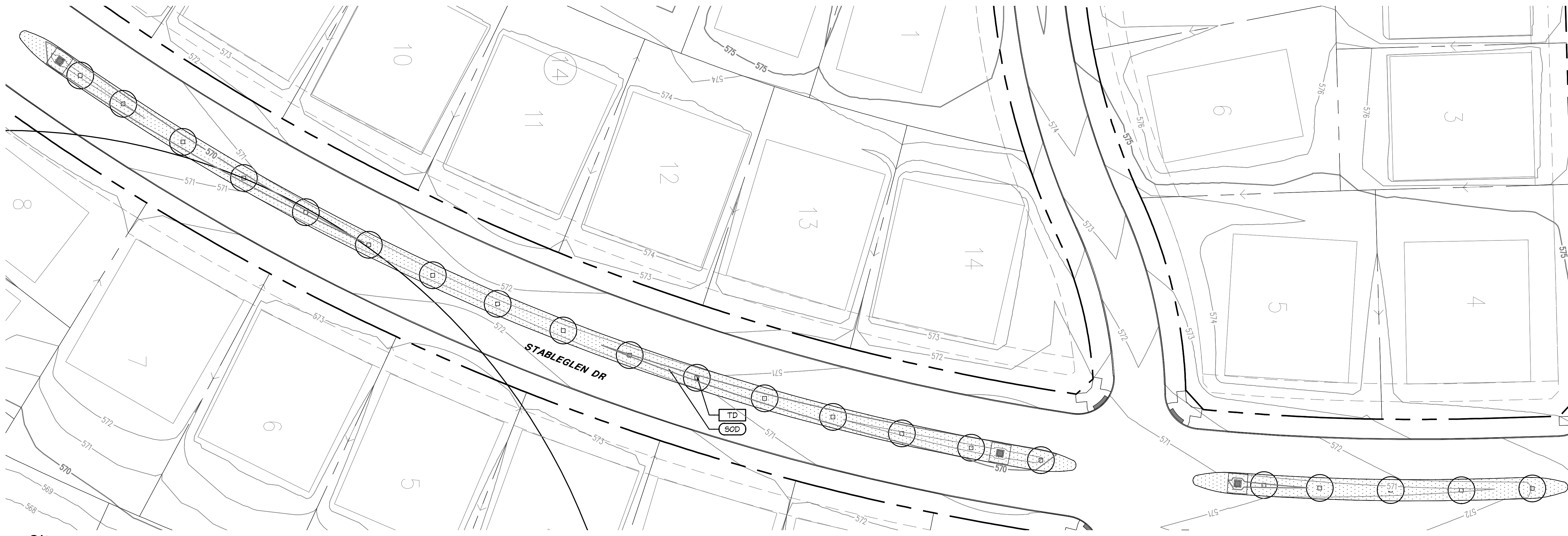
project number
D21053

issue date
 10/15/2021

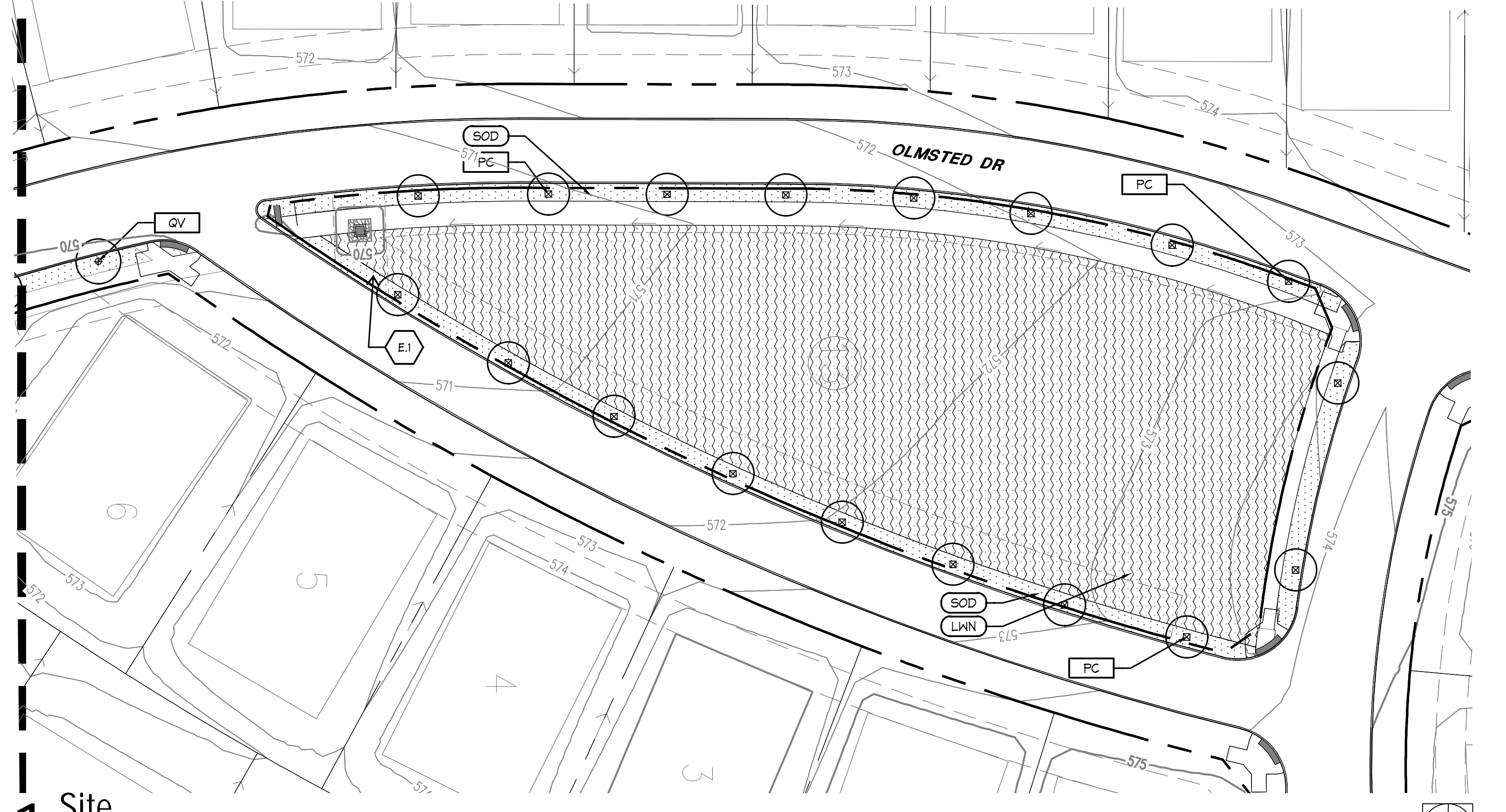
designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
planting plan

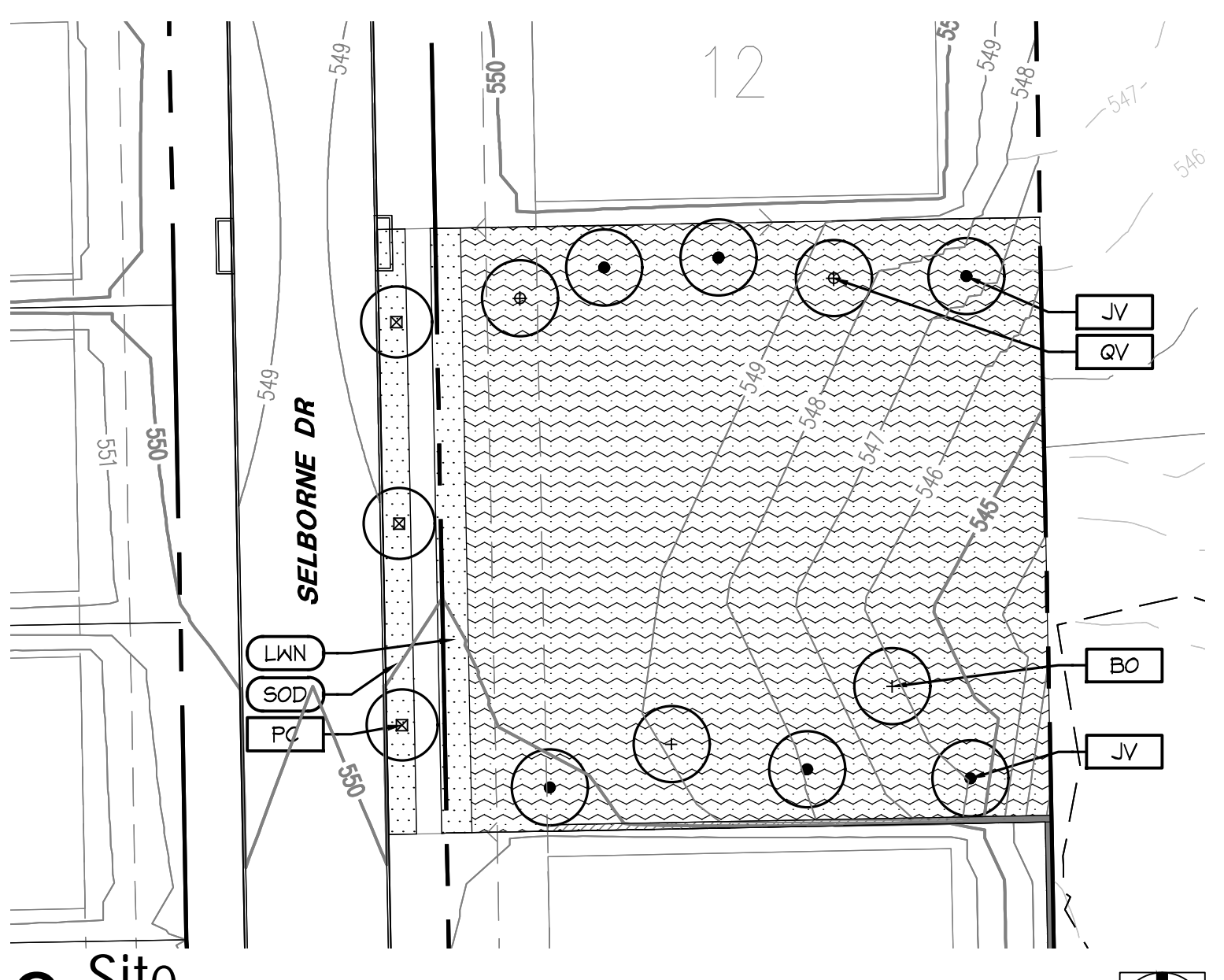
sheet
LP 1.05



3 Site
 Plan
 SCALE: 1"=30' N O R T H

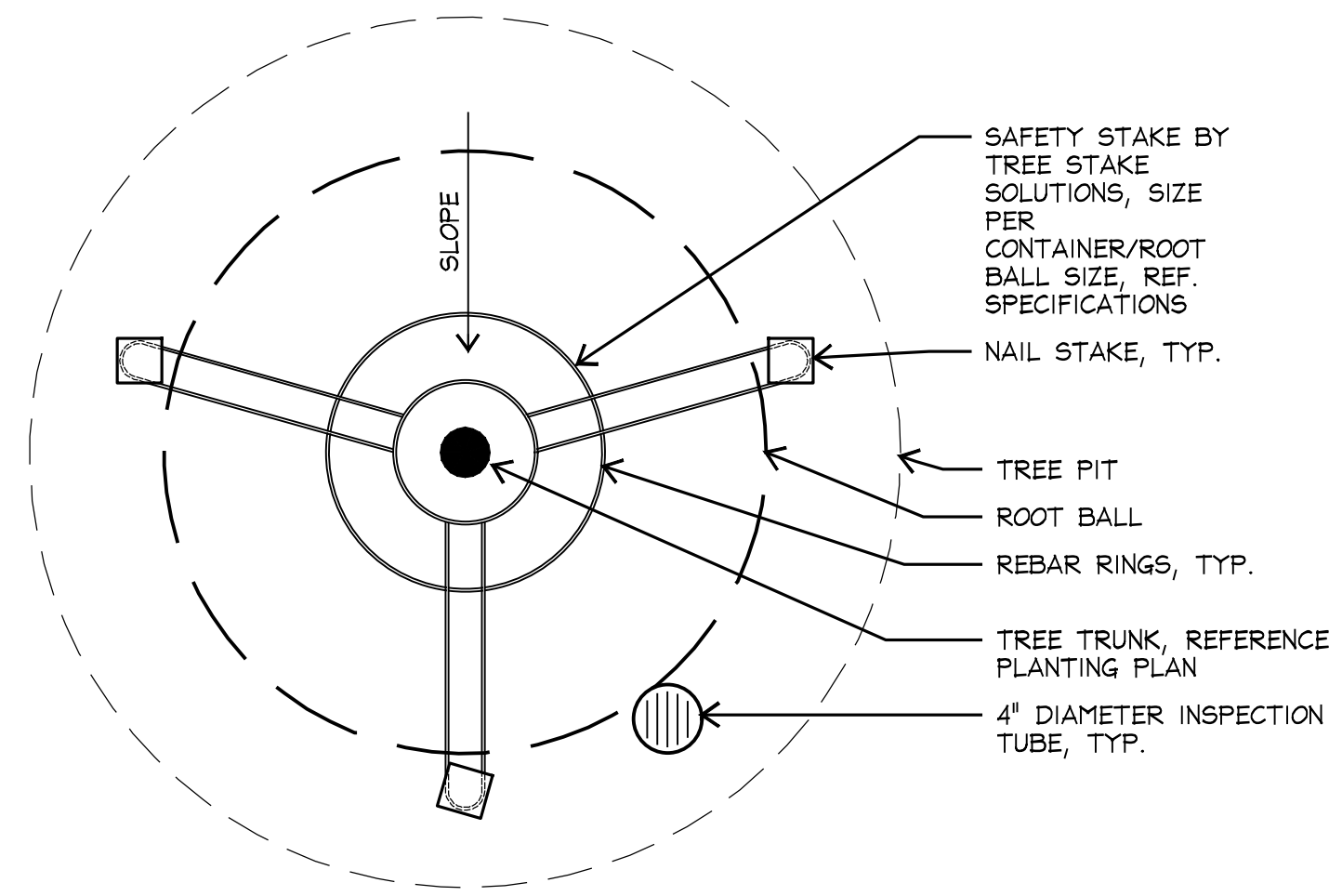


1 Site
 Plan
 MATCHLINE: REF. 1/LP 1.04
 SCALE: 1"=30' N O R T H

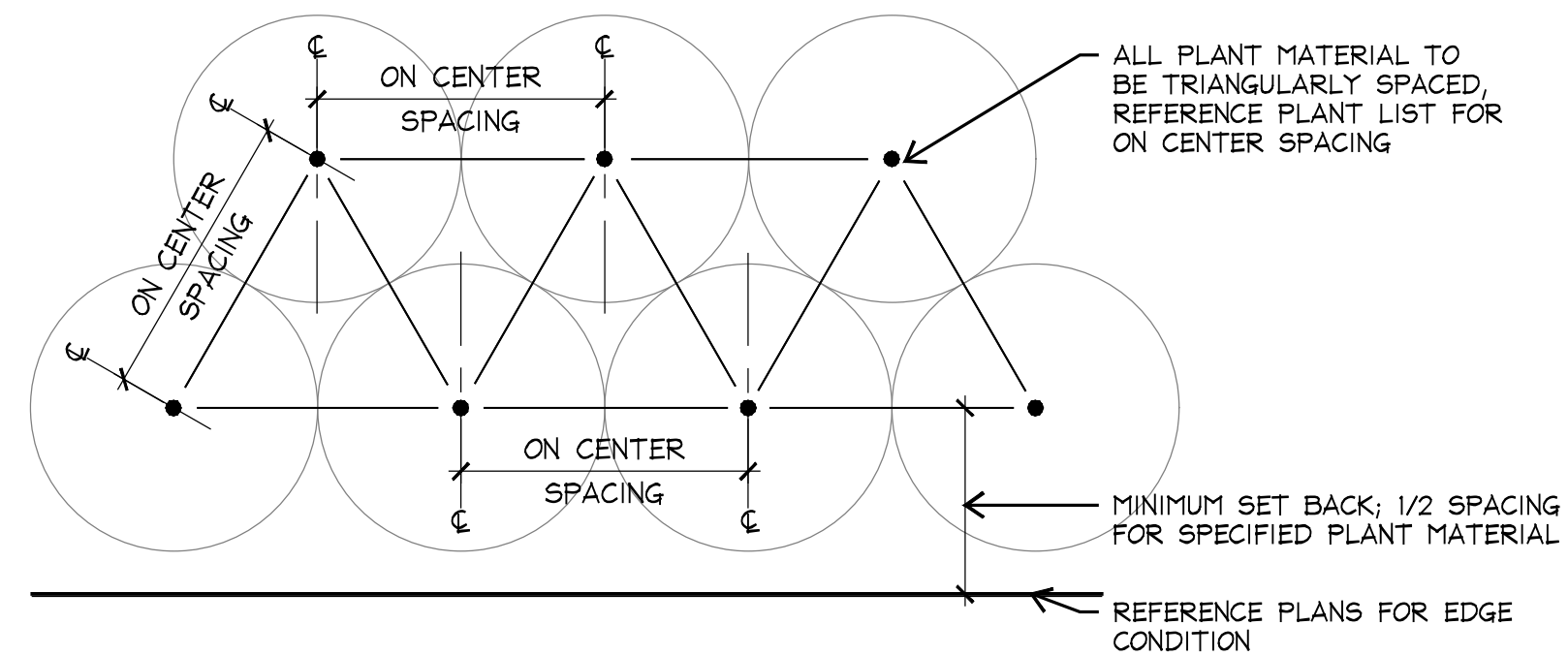


2 Site
 Plan
 SCALE: 1"=30' N O R T H

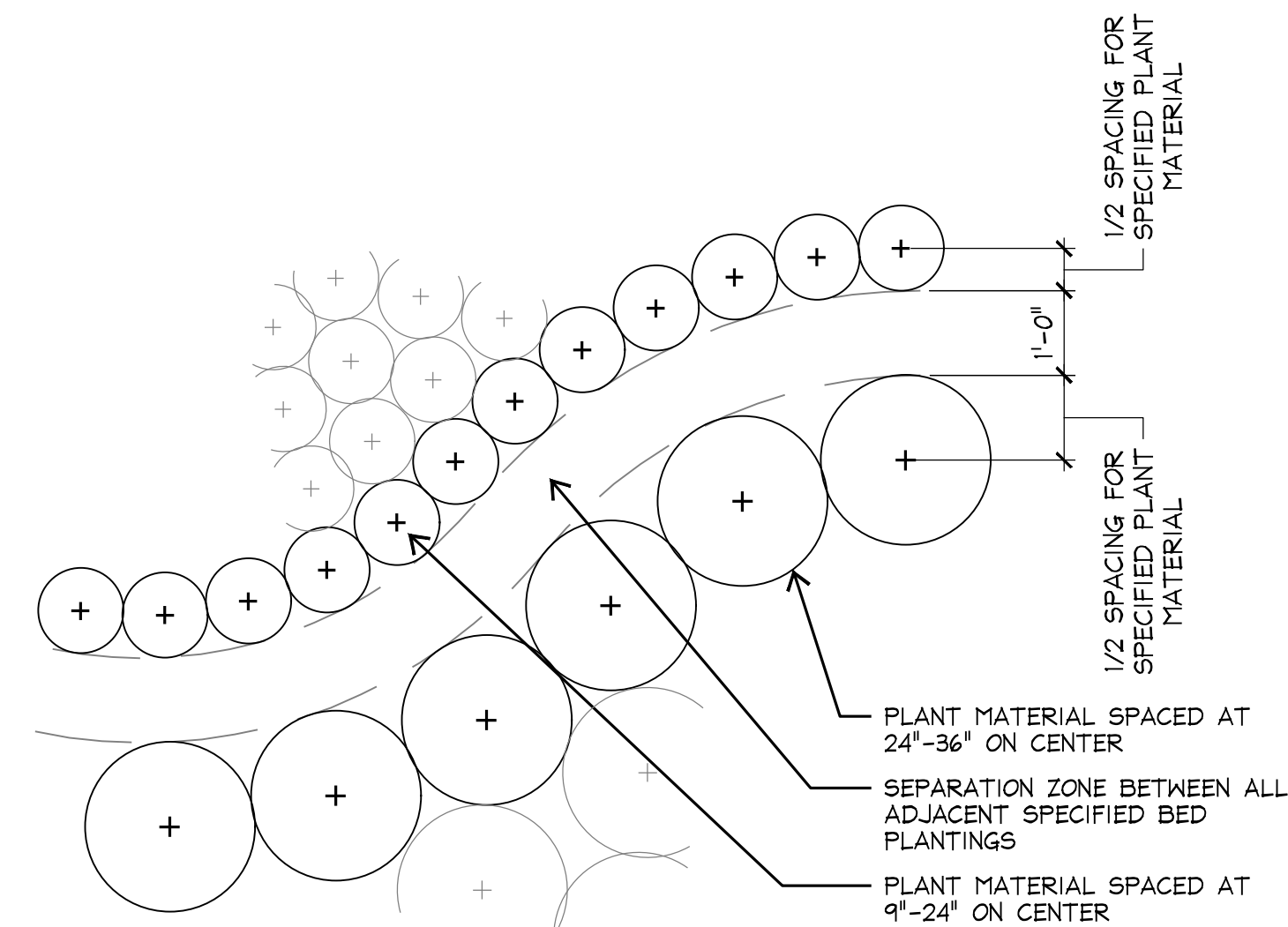
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5 TYPICAL TREE STAKING
PLAN NOT TO SCALE

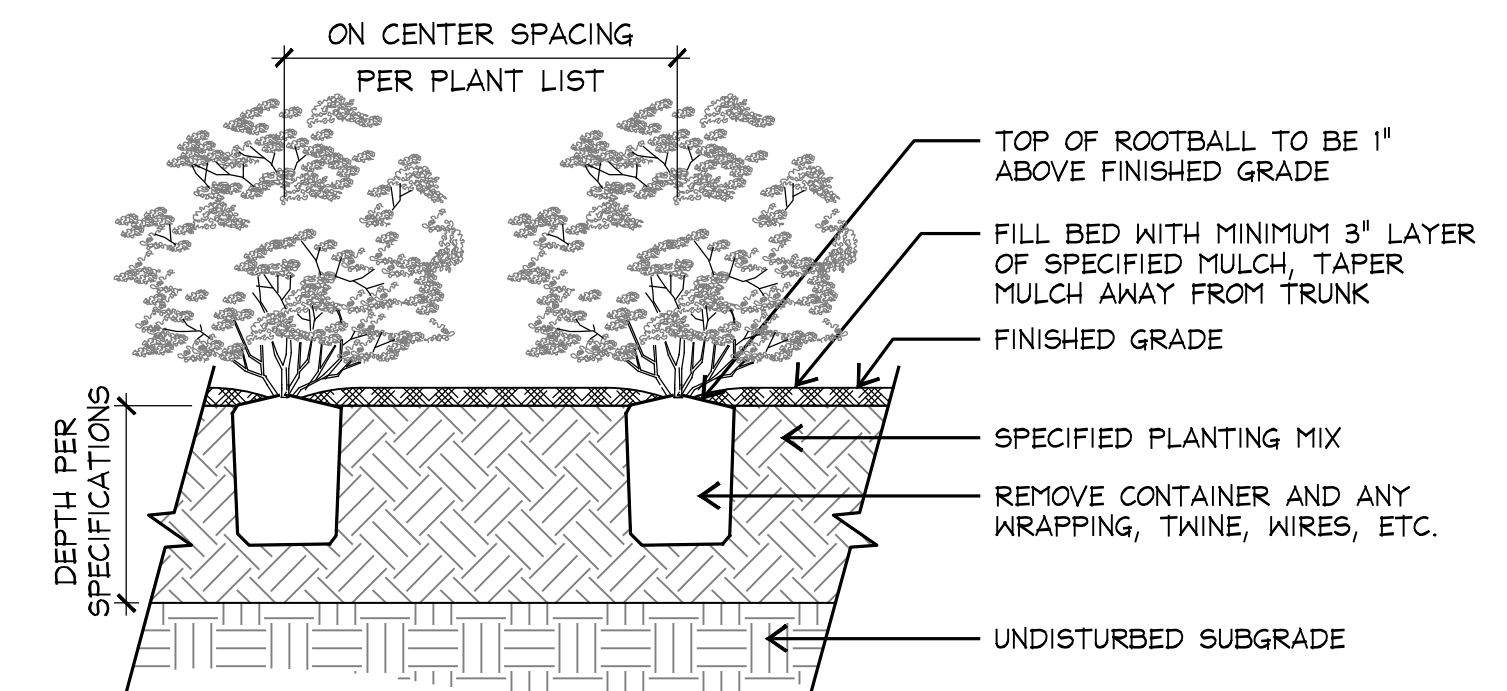


4 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

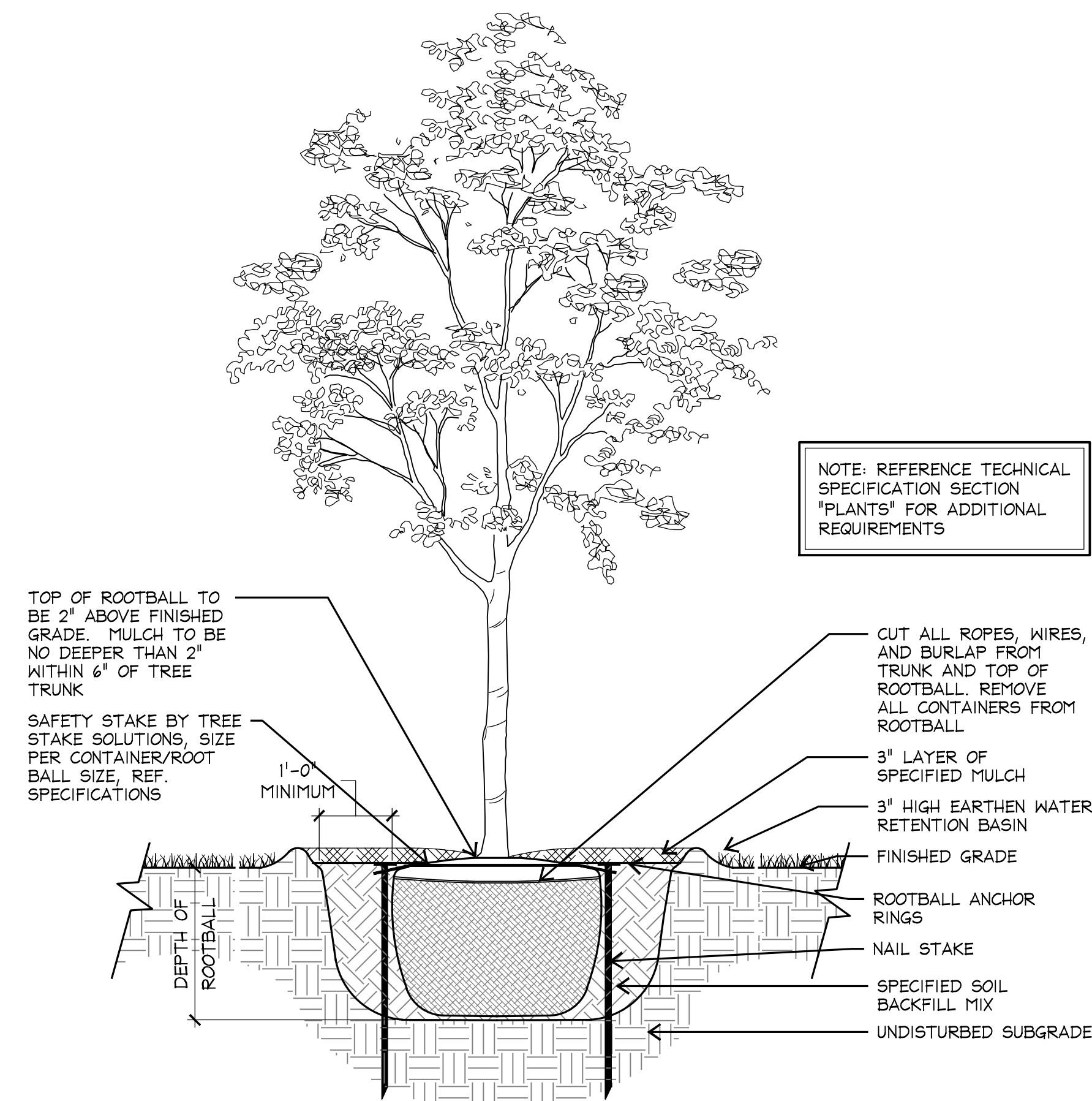


NOTE:
THIS DETAIL IS DRAWN TO SHOW THE INTENDED PLANTING LAYOUT OF ADJACENT SHRUB BEDS ALONG CURVES. CONTRACTOR TO PLANT ALL PERIMETER OF BED AREAS AS SHOWN AND THEN PLANT THE REMAINDER OF THE BED TRIANGULARLY AT THE SPECIFIED SPACING.

3 CURVED BED LAYOUT
PLAN NOT TO SCALE



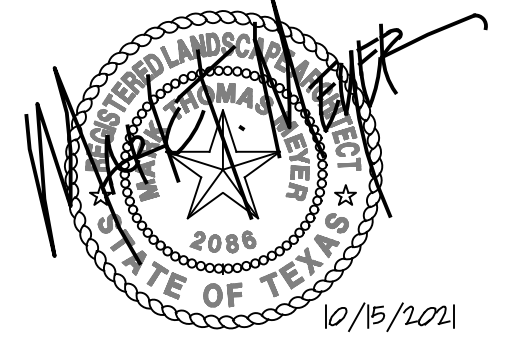
2 SHRUB BED PLANTING
SECTIONS NOT TO SCALE



1 TREE PLANTING - STANDARD TRUNK
SECTION NOT TO SCALE



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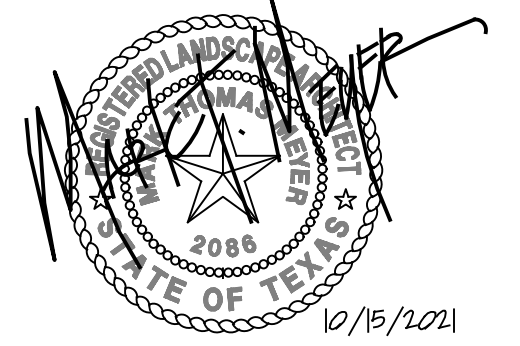
sheet title
**planting
details**

sheet
LP 2.01

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sheet title
**planting
 schedule**

sheet
LP 2.02

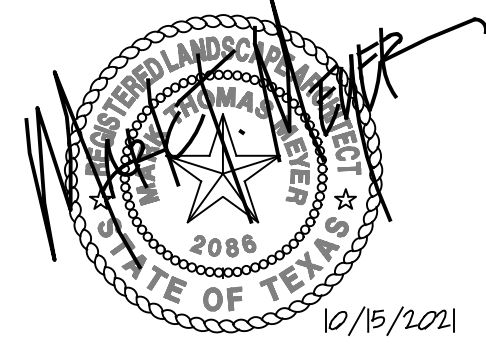
| PLANT LIST | | | | | | |
|---------------------------------------|---------|-----|----------------------|------------------------------|------------------|---------------------------------|
| SHADE TREES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 5 | | BO | BUR OAK | QUERCUS MACROCARPA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 19 | | JV | EASTERN RED CEDAR | JUNIPERUS VIRGINIANA | ---- | ---- |
| 25 | | PC | CHINESE PISTACHE | PISTACHIA CHINENSIS | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 16 | | QM | CHINQUAPIN OAK | QUERCUS MUEHLENBERGII | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 59 | | QV | LIVE OAK | QUERCUS VIRGINIANA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 21 | | TD | BALD CYPRESS | TAXODIUM DISTICHUM | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 42 | | UC | CEDAR ELM | ULMUS CRASSIFOLIA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 6 | | UP | LACEBARK ELM | ULMUS PARVIFOLIA | NONE | None |
| SHRUBS, ORNAMENTAL GRASSES, AND VINES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| | | MSA | ADAGIO MISCANTHUS | MISCANTHUS SINENSIS 'ADAGIO' | 3 GAL. @36" O.C. | None |
| PERENNIALS, GROUNDCOVERS, AND ANNUALS | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 25 | | LNK | NEW GOLD LANTANA | LANTANA X 'NEW GOLD' | 1 GAL. 18" O.C. | DENSE. UNIFORM. |
| 40 | | SG | LIPSTICK AUTUMN SAGE | SALVIA GREGGII 'LIPSTICK' | 3 GAL. 24" O.C. | DENSE. UNIFORM. |
| TURF GRASS AND SEED MIXES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 82408 | | LNK | COMMON BERMUDA | CYNODON DACTYLON | HYDROSEED | HYDROSEED |
| 22494 | | SOD | COMMON BERMUDA | CYNODON DACTYLON | SOD | SOD |

1 Planting Schedule





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project
**Somerset
 Phase 2**

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 Rockwall, TX

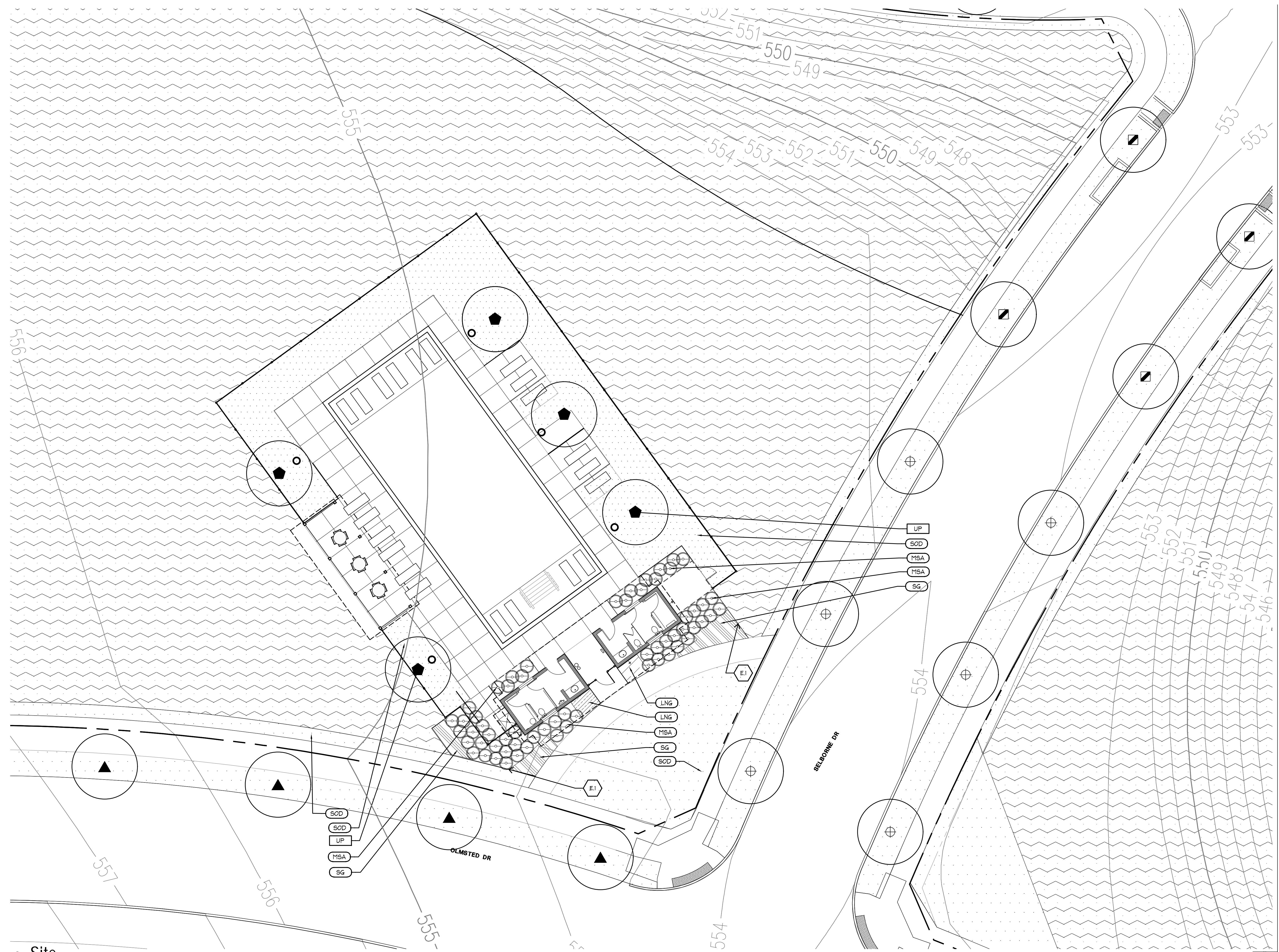
project number
D21053

issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 3.01



1 Site
 Plan

SCALE: 1"=10' N O R T H

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION SOMERSET PARK PH.2

LOT -

BLOCK -

GENERAL LOCATION NEOF THE INTERSECTION OF SH 205 AND FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-63

CURRENT USE VACANT

PROPOSED ZONING PD-63

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 82.809

LOTS [CURRENT] 1

LOTS [PROPOSED] 165 (RES.) 6 (HOT)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ARCADIA LAKES OF SOMERSET HOLDINGS, LLC

APPLICANT SPINES ENGINEERING, INC.

CONTACT PERSON BILL BETERMA

CONTACT PERSON GREG HESSEL

ADDRESS 3500 MAPLE AVENUE

ADDRESS 765 CUSTER RD.

SUITE 1165

CITY, STATE & ZIP DALLAS, TX 75219

CITY, STATE & ZIP PLANO, TX 75075

PHONE (214) 986-5024

PHONE (903) 408-7486

E-MAIL bill@arcadiarealty.net

E-MAIL greg.hessel@spinesengineering.com

NOTARY VERIFICATION [REQUIRED]

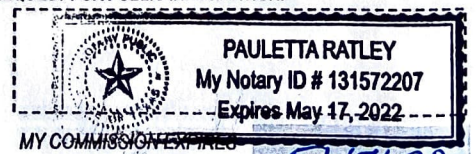
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Beterma Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

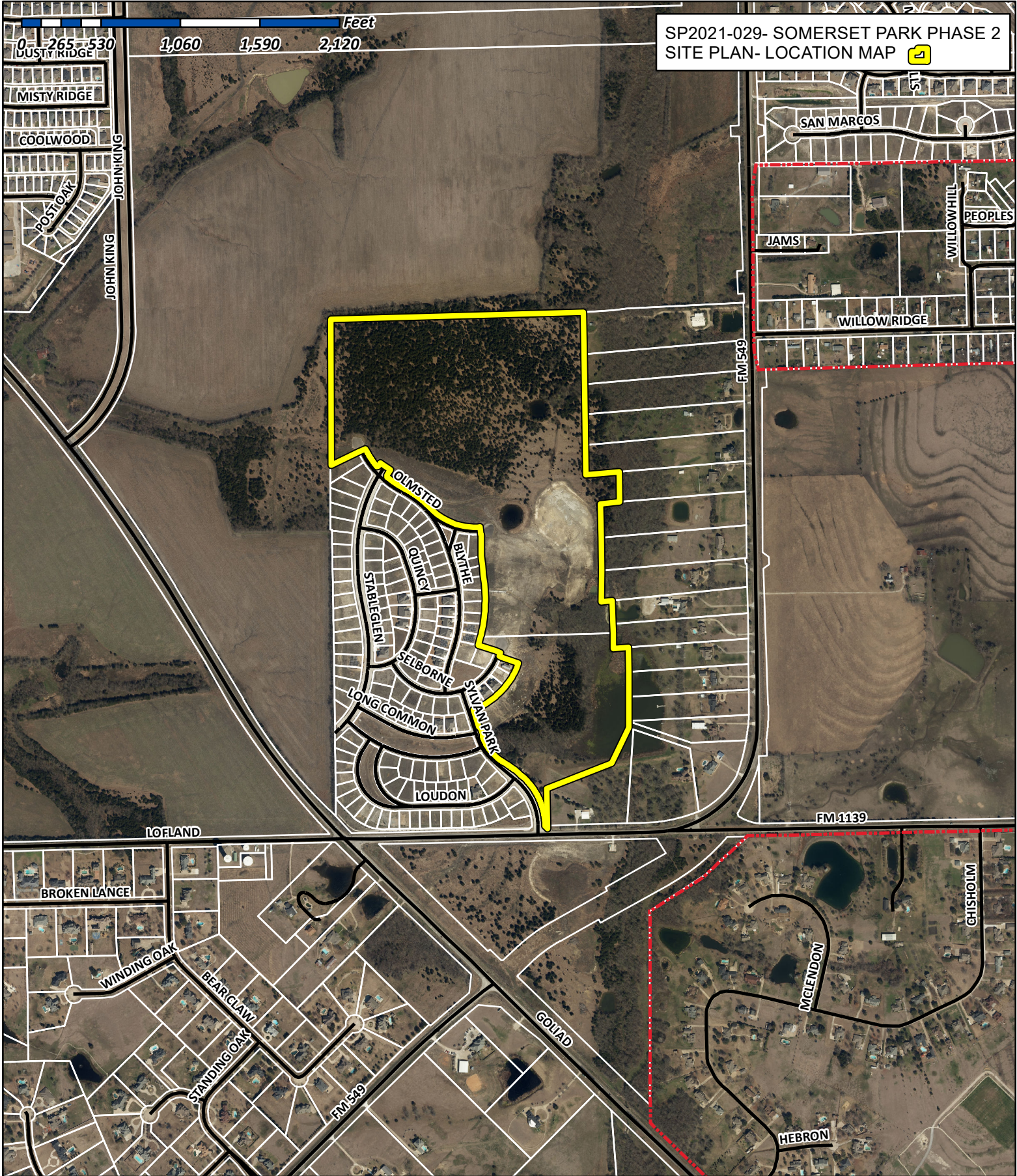
¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 + 20.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2021.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2021-029- SOMERSET PARK PHASE 2
 SITE PLAN- LOCATION MAP



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



October 15, 2021

Mr. Ryan Miller
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Contacts Affiliated with
Somerset Park Phase II
Rockwall, Texas
SEI Project No.: 20-112

Dear Mr. Miller:

Please find below a list of all affiliated contacts for the above mentioned project:

Owner/Developer:

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue
Suite 1165
Dallas, Texas 75219
katherine@arcadiarealty.net

Project Representative:

Greg T. Helsel, P.E.
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
972-215-7129
972-422-0075 fax
greg.helsel@spiarsengineering.com

If you have any questions, please do not hesitate to contact me.

Sincerely,
Spiars Engineering, Inc.



Greg T. Helsel, P.E.





City of Rockwall
385 S Goliad Street
Rockwall, TX 75087

RE: Somerset Park- Park Improvement Fee

This letter shall detail the estimated costs Arcadia Lakes of Somerset Holdings, LLC will be spending on park improvements in Phase 2 of Somerset Park. Per City policy, the Park Improvement Fee will be waived provided these outlined costs are equal to or greater than the calculated Park Improvement Fees.

Below we have provided an outline of the cost of the park improvements we will be making in Somerset Park Phase 2 to offset the fee. There will be approximately 21,896 square feet of trail in Phase 2, priced at \$4.85 per square foot for a total of \$116,815.16 including a 10% contingency to provide for potential cost increases. Additionally, not included in the costs below Arcadia will be building an Amenity Center that can offset any remaining difference. Please let us know if we can provide any additional information.

*Please see the landscaping plan included in the submittal for sheet numbers.

| Somerset Park Phase 2: Hike/Bike Trail Costs | | | | | |
|---|------------|--------------------|-------------|-------------------|---------------------|
| Item | Qty | Description | Unit | Unit Price | Extension |
| Sheet LS1.01 Olmsted Drive ROW | | | | | |
| 1 | 6,144 | 8' Trail | SF | \$4.85 | \$29,798.40 |
| Sheet LS1.02 Olmsted Drive ROW | | | | | |
| 2 | 4,928 | 8' Trail | SF | \$4.85 | \$23,900.80 |
| Sheet LS1.04 Olmsted Drive ROW | | | | | |
| 3 | 7,104 | 8' Trail | SF | \$4.85 | \$34,454.40 |
| Sheet LS1.05 Olmsted Drive (Open Space ROW) | | | | | |
| 4 | 3,720 | 8' Trail | SF | \$4.85 | \$18,042.00 |
| Subtotal | | | | | \$106,195.60 |
| 10% Contingency | | | | | \$10,619.56 |
| TOTAL | | | | | \$116,815.16 |

Regards,

A handwritten signature in blue ink, appearing to read "Katherine Hamilton".

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, TX 75219

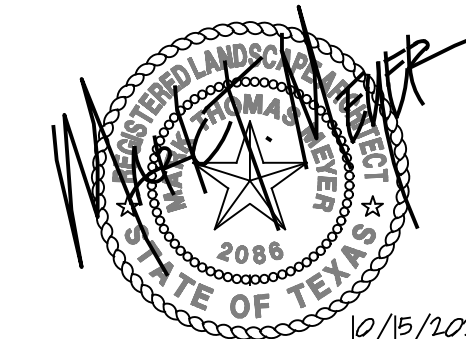


TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

(214) 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

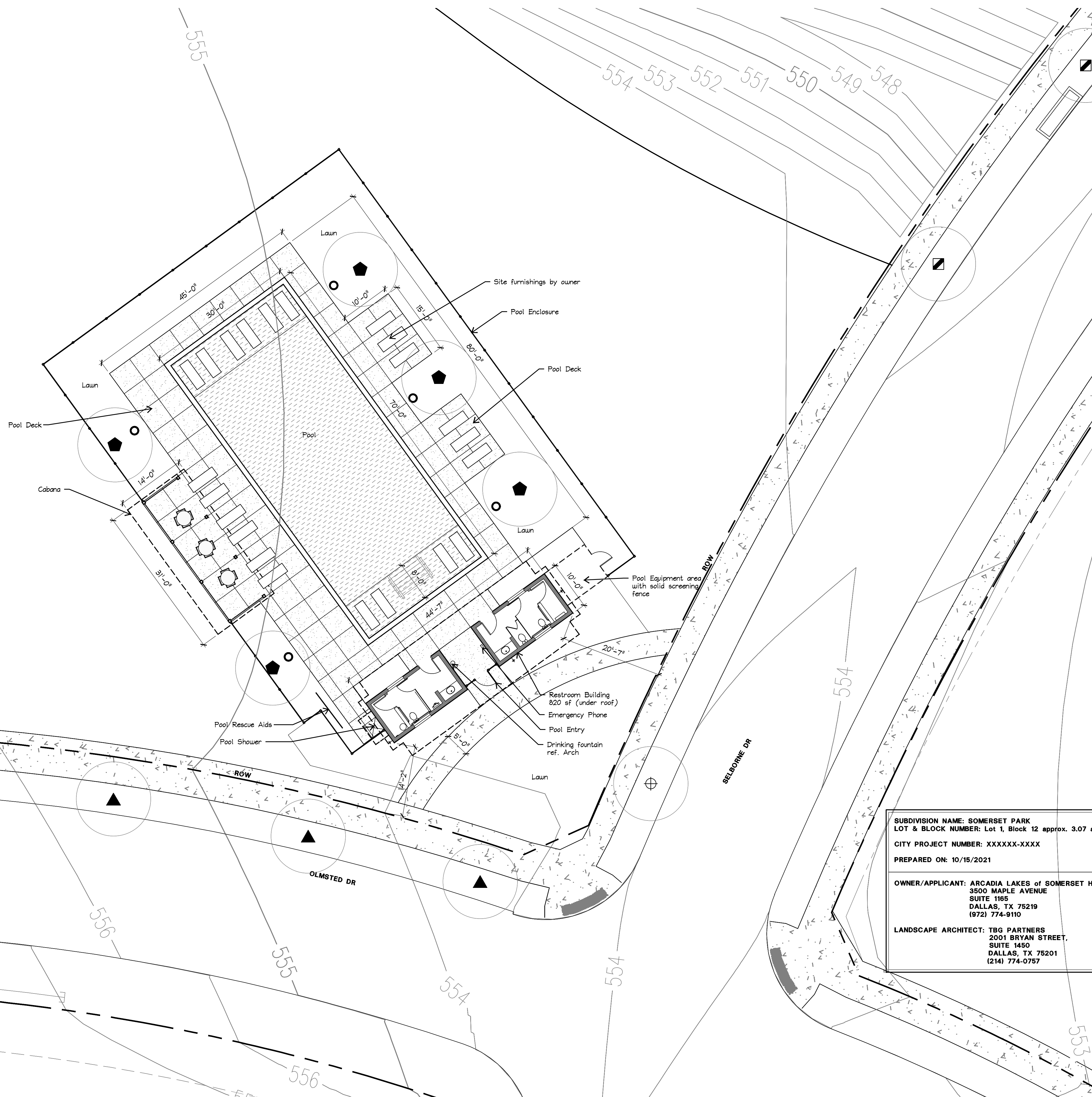
issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD, MM

sheet title
site plan

sheet
SP 1.1

SITE PLAN NOTES:
PARKING IS TO BE ACCOMMODATED ON-STREET.
NO DUMPSTER IS PROVIDED



SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10/15/2021
OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110
LANDSCAPE ARCHITECT: TBG PARTNERS
2001 BRYAN STREET,
SUITE 1450
DALLAS, TX 75201
(214) 774-0757

P:\D21053 - Somerset Ph II\03 Development\08 Permit\04 CAD\02 Sheets\SP\21053-SP1.1.dwg

1 SITE

1" = 10' SCALE: 1"=10' NORTH

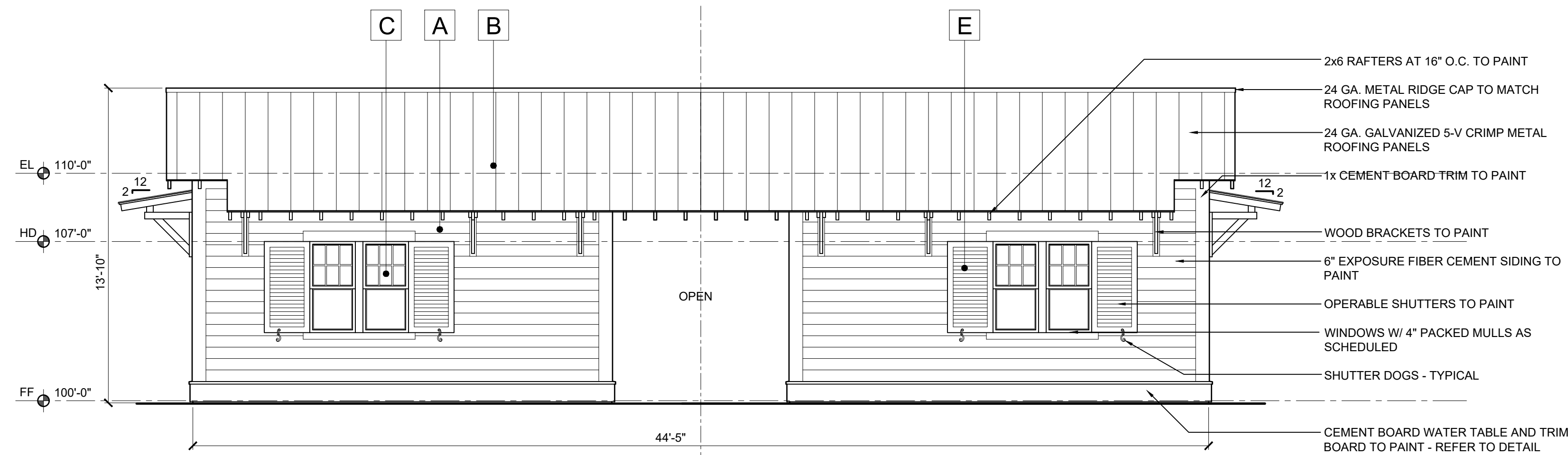
OCTOBER 15, 2021

SOMERSET PARK ROCKWALL, TEXAS FACADE PLAN SUBMITTAL

A2.1

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 248 S.F. | 44% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 32 S.F. | 6% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



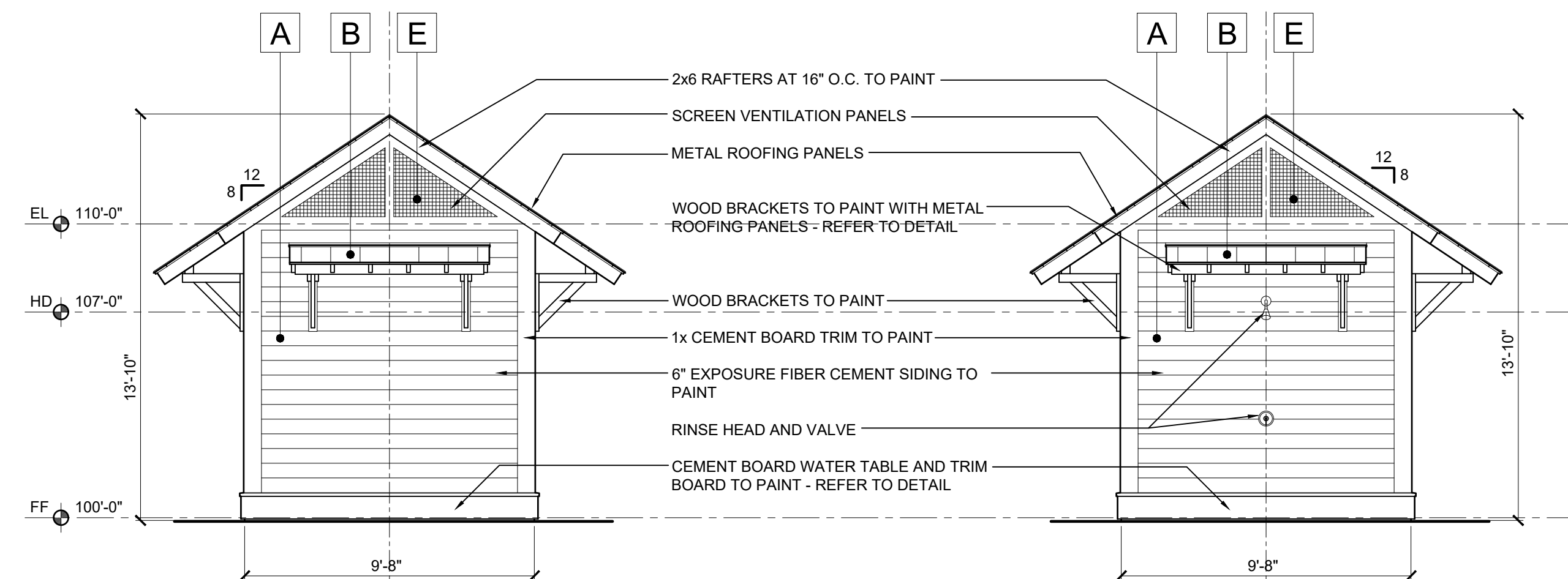
4 SOUTH ELEVATION
1/4" = 1'-0"

TABULATIONS

| | |
|-----------------------------|-----------------------|
| CONSTRUCTION TYPE: | 5-B (NON-SPRINKLERED) |
| SQUARE FOOTAGE: | 352 SF |
| SQUARE FOOTAGE ALLOWED: | 5500 SF |
| OCCUPANCY: | U |
| OCCUPANT LOAD @ 1/50 GROSS: | 7 |
| HEIGHT: | 13'-10" |
| HEIGHT ALLOWED: | 40' |
| STORIES: | 1 |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |



3 EAST ELEVATION
1/4" = 1'-0"

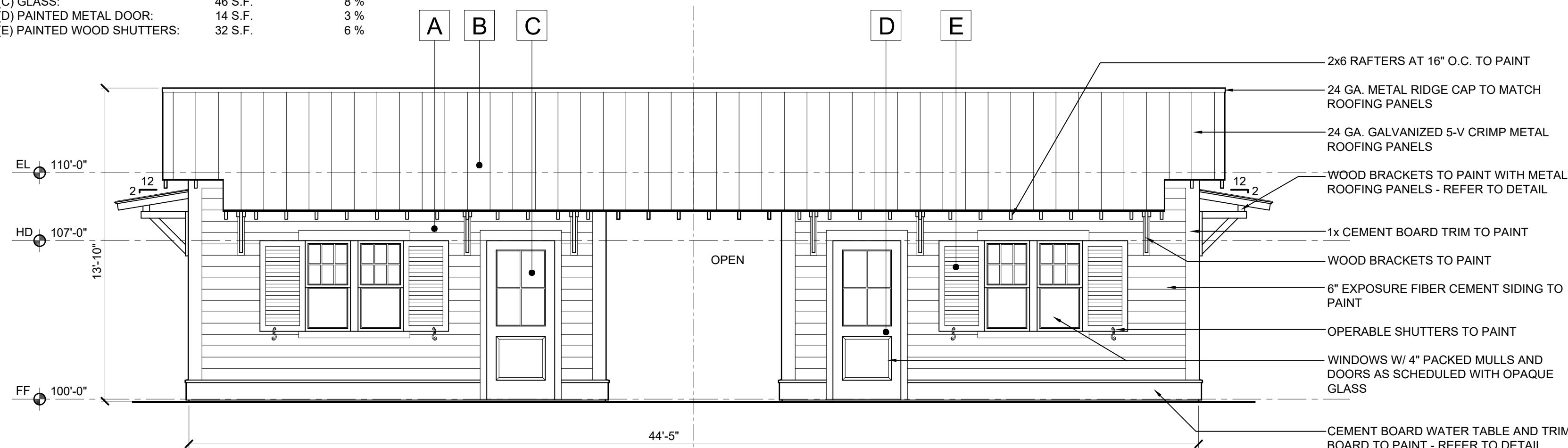
2 WEST ELEVATION
1/4" = 1'-0"

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

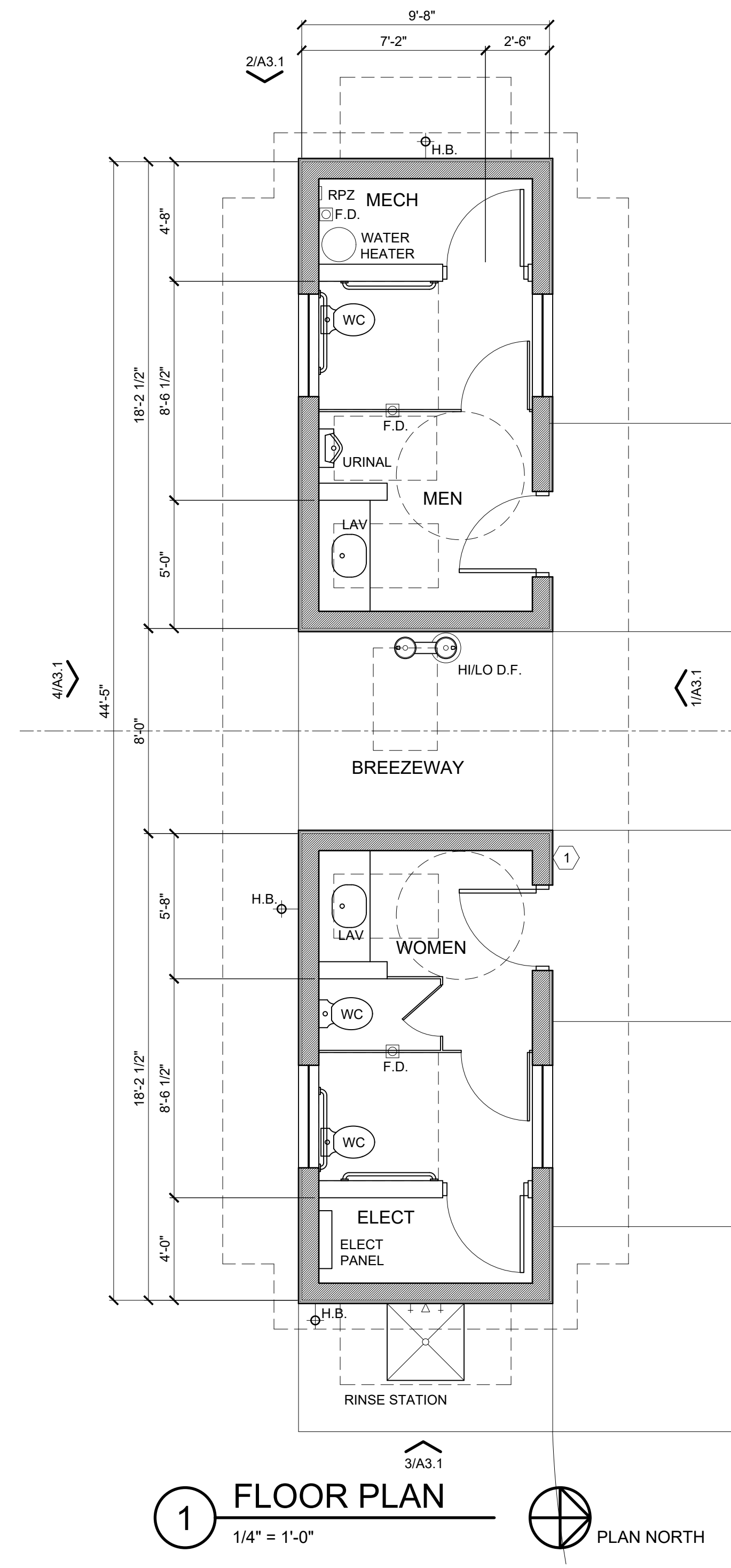
| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 220 S.F. | 39% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 46 S.F. | 8% |
| (D) PAINTED METAL DOOR: | 14 S.F. | 3% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



1 NORTH ELEVATION
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

BUILDING FACADE / ELEVATION PLAN

SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10-15-2021

OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110
ARCHITECT: LARSON & PEDIGO ARCHITECTS
3012 CANTON STREET
DALLAS, TX 75226
(214) 939-0995

SUBMISSION / REVISION LOG:

| SUBMISSION DATE | REVISION DATE |
|-----------------|---------------|
| 10/15/2021 | |

FACADE PLAN NOTES:
• ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE

PRELIMINARY
NOT FOR CONSTRUCTION



Exterior Elevation Example

This is a representative photo, the finished building will have revised colors. Please see color board as a part of this submittal.

Somerset Park – HOA Lot 1, Block 12

15 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529



Shutters

Benjamin Moore 840 – Kensington Blue



Painted Trim

Benjamin Moore OC-85 – Mayonnaise



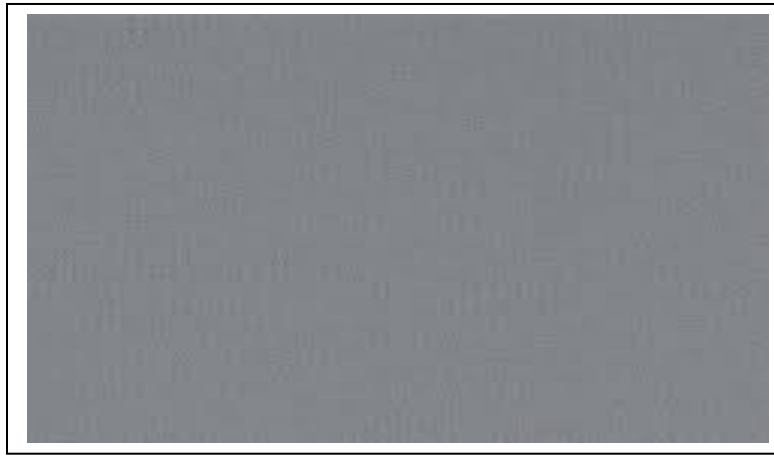
Painted Doors

Benjamin Moore 2021-50 – Yellow Lotus



Painted Siding

Benjamin Moore 2062-70 – Harbor Fog



Metal Roofing

Preweathered Galvalume, Berridge

Somerset Park – HOA Lot 1, Block 12

10 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529

ISSUE FOR PERMIT:

SOMERSET PARK

Rockwall, Texas

Sitework / Planting



TBG
 landscape architects, planners & designers
 2001 bryan street
 suite 1450
 dallas, tx 75201
 [214] 744-0757
 tbgpartners.com



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
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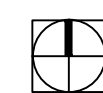
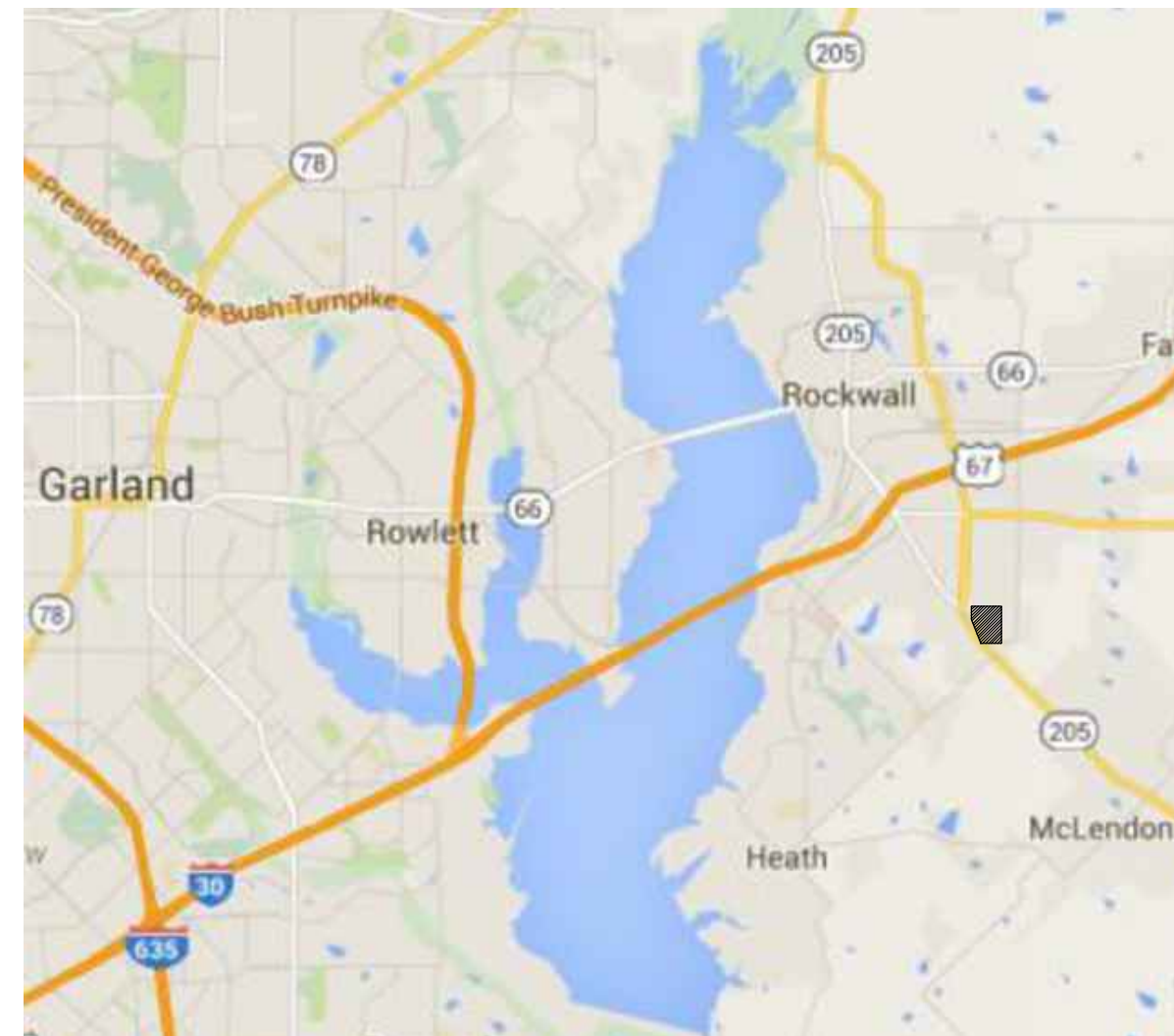
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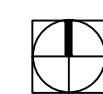
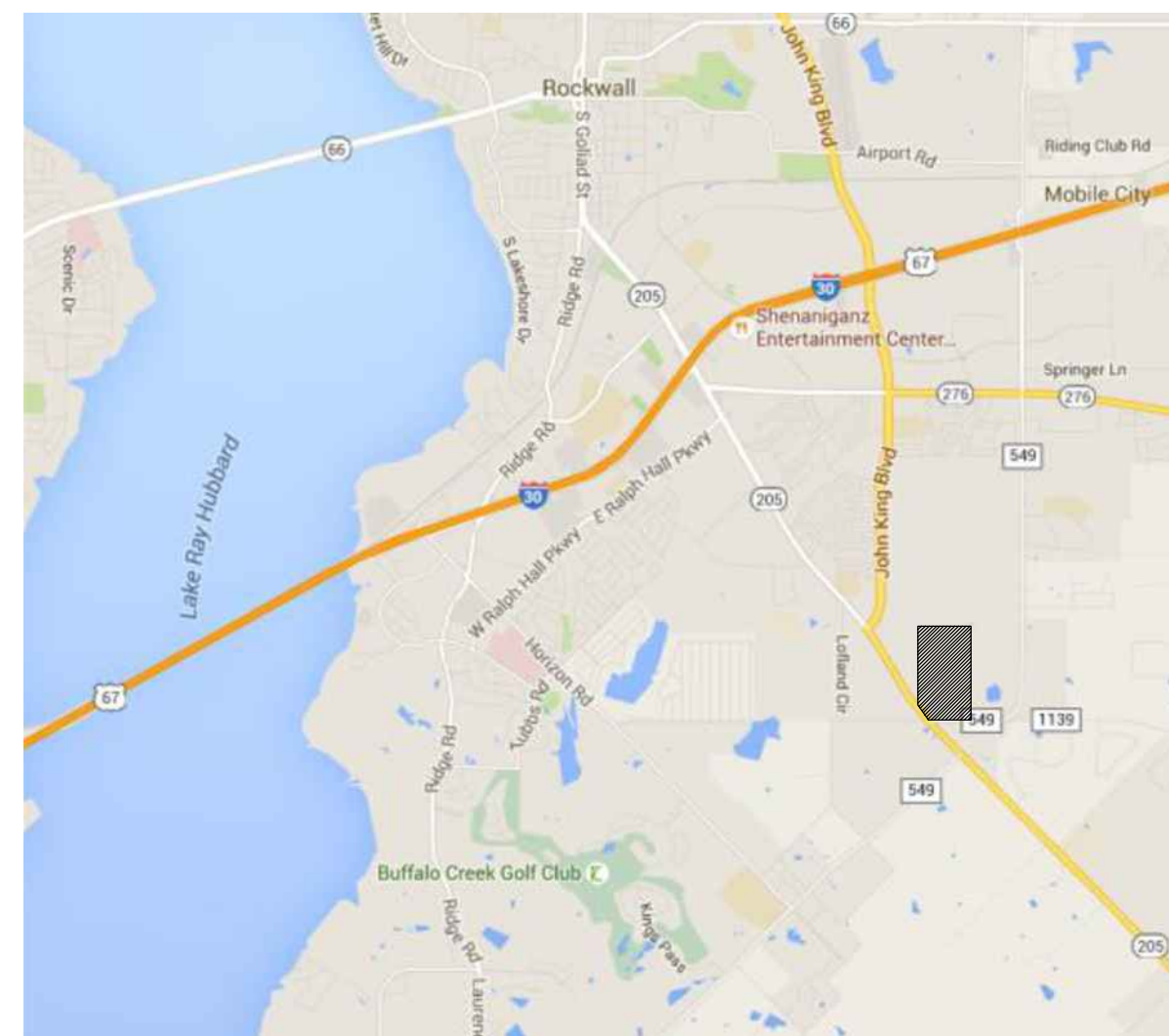
sheet title
cover sheet

sheet
LC 1.00

VICINITY MAP



LOCATION MAP



A PROJECT BY

OWNER:
 Arcadia Realty

CONTACT: Will Gietema/ Katherine Hamilton
 Arcadia Lakes of Somerset Holdings, LLC
 3500 Maple Ave., Suite 1165
 Dallas, Texas 75219
 O: 214.986.5024

LANDSCAPE ARCHITECT:
 TBG PARTNERS

CONTACT: Jonathan Dunbar
 2001 Bryan Street, Suite 1450
 Dallas, Texas 75201
 O: 214.744.0757

CIVIL ENGINEER:
 Spiars Engineering & Surveying

CONTACT: Greg Helsel
 765 Custer Road, Suite 100
 Plano, TX 75075
 O: 469.395.0529

INDEX OF SHEETS

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| █ | OCTOBER 15, 2021 | PERMIT | General Notes | LC 1.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Material Schedule | LC 1.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Keymap | LC 1.03 |
| Grading | | | | |
| █ | OCTOBER 15, 2021 | PERMIT | Grading Enlargement | LG 3.01 |
| Sitework | | | | |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.01 |
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| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.03 |
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| █ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.03 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.04 |
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| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.03 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.04 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.05 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Details | LP 2.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Schedule | LP 2.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Enlargement | LP 3.01 |

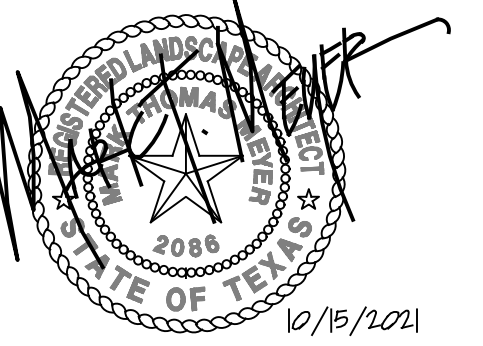


TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

[214] 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

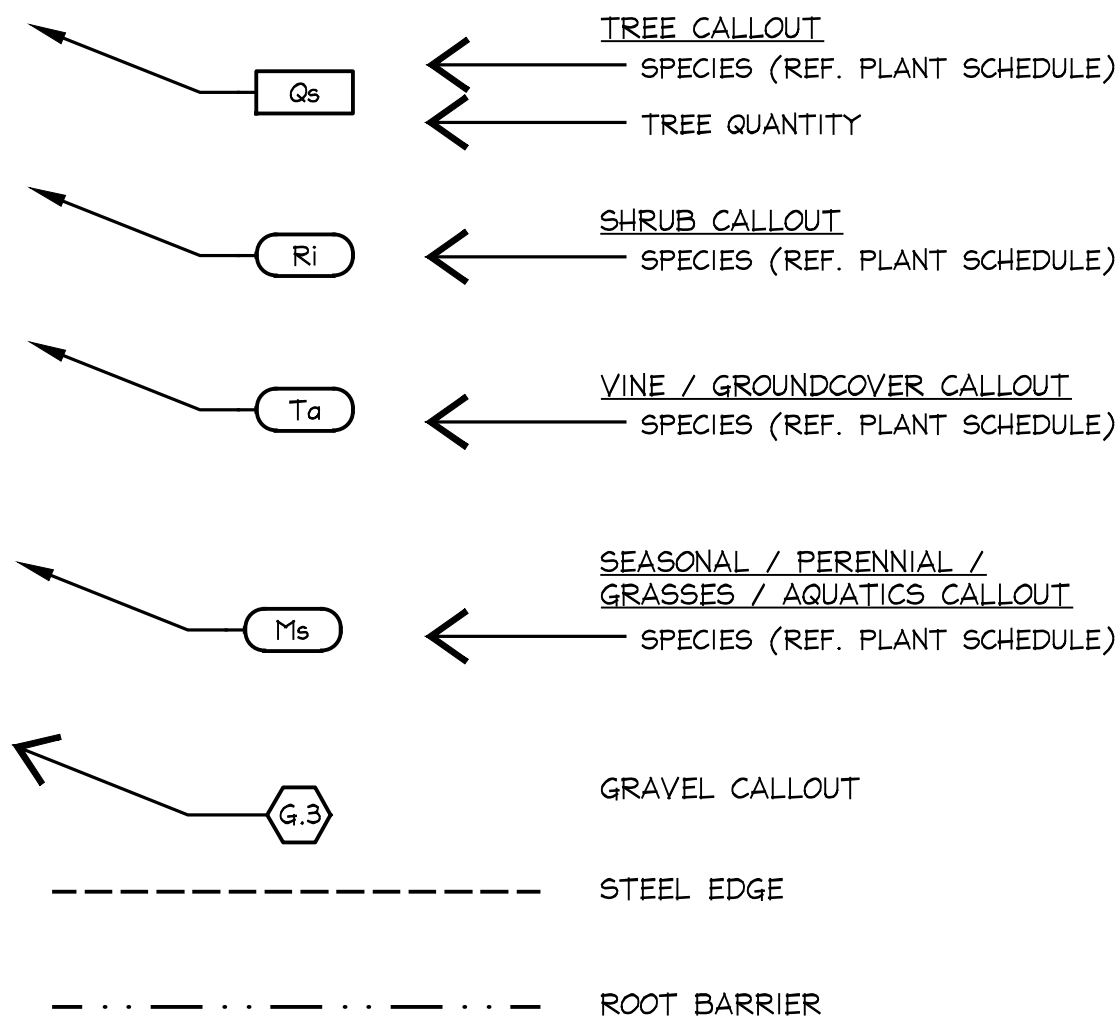
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designed: JD BD
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reviewed: JD MM

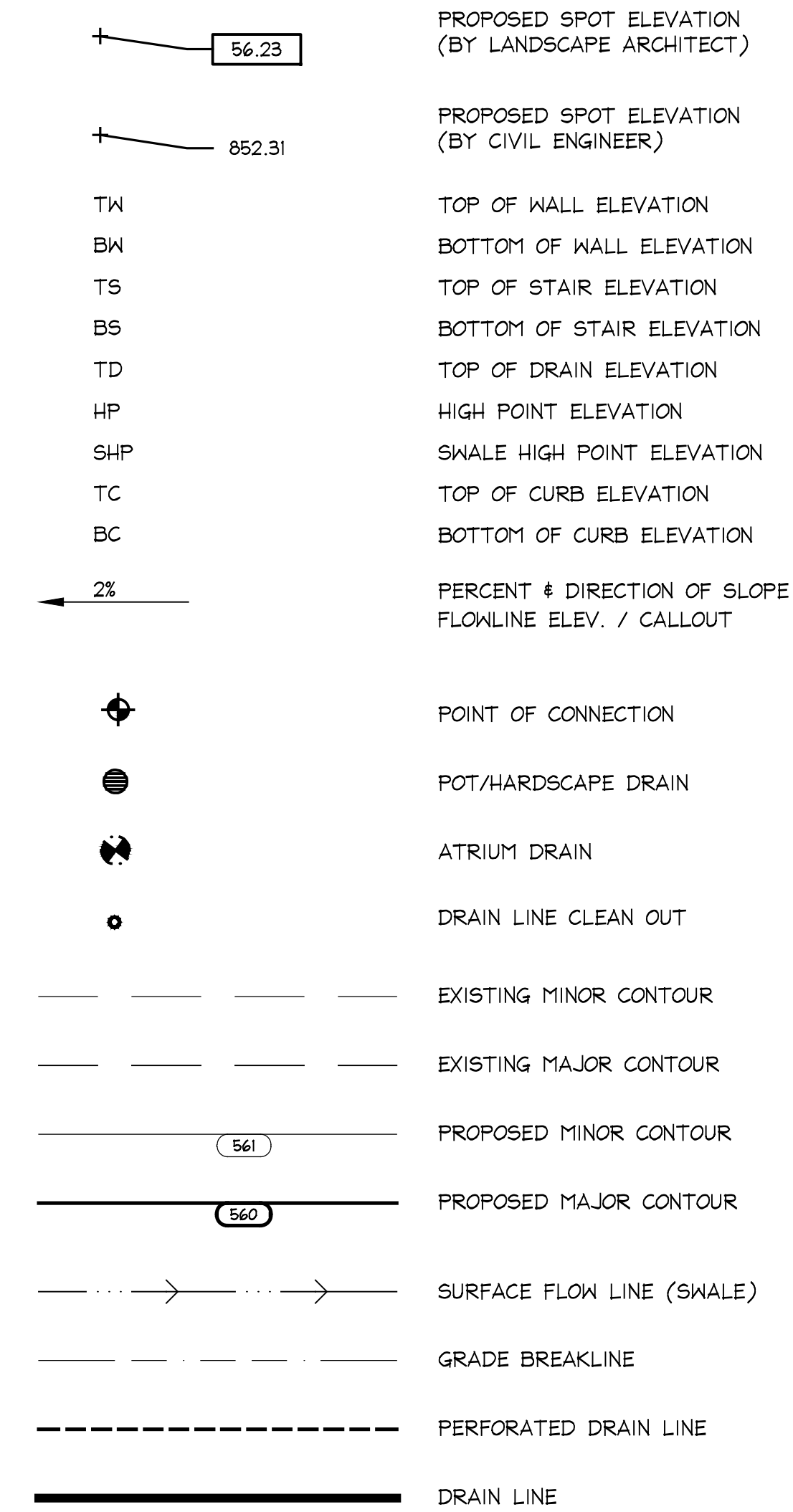
sheet title
general notes

sheet
LC 1.01

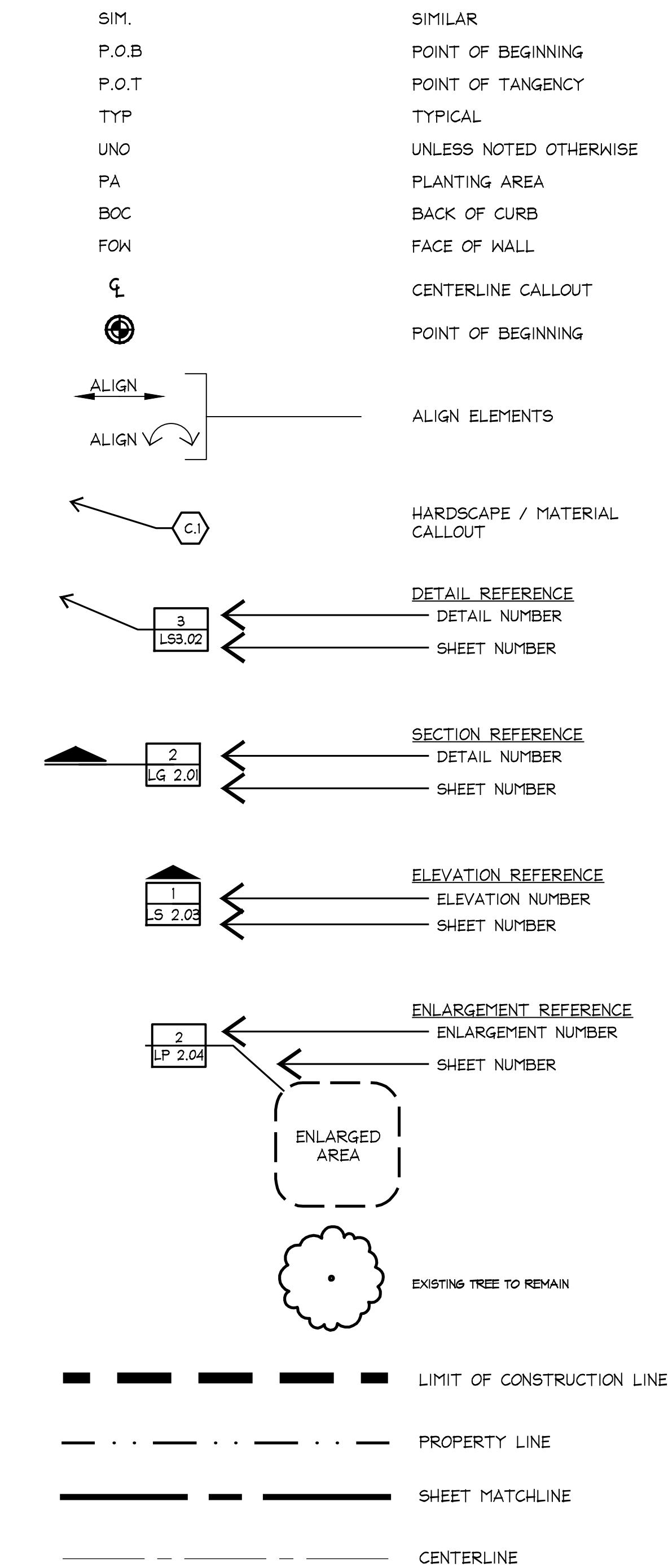
PLANTING LEGEND



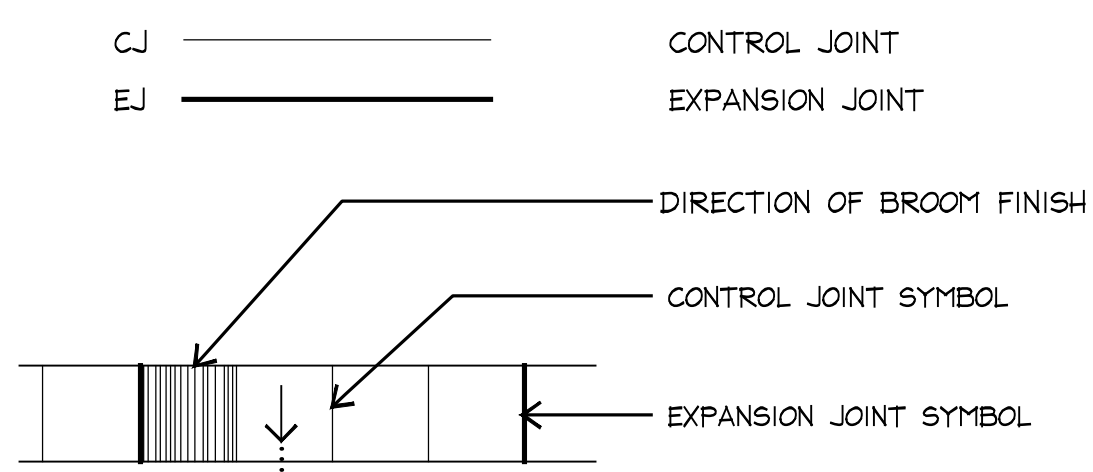
GRADING LEGEND



GENERAL LEGEND



SITework LEGEND



LANDSCAPE PLANTING NOTES:

- THE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINAL GRADE. ALL SLOPES SHALL BE SMOOTH AND UNIFORM WITH A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE NOTED. TIE INTO EXISTING ADJACENT GRADES SMOOTHLY AND FINE GRADE FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING. CUT SWALES TO DIRECT WATER AWAY FROM ALL STRUCTURES AND PROPERTY LINES, AND TOWARDS STORM SEWER INLETS. DO NOT DRAIN ANY WATER TOWARDS LOTS/EASEMENTS. THE FINAL LOCATION AND HEIGHT OF BERMS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- TREE PLANTING: REFERENCE SPECIFICATIONS AND DETAILS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION, (INCLUDING STAKING METHODS, PLANT PIT DIMENSIONS, AND BACKFILL REQUIREMENTS.) REFERENCE DETAILS FOR PROPER STAKING METHOD, STAKE SIZE AND COMPANY INFORMATION.

BACKFILL ALL TREE PITS WITH SPECIFIED PLANTING MIX AND INCORPORATE 5 LBS OF 13-13-13 FERTILIZER PER CU. YD. OF MIX INTO ALL TREE PITS. ALL TREE WATER RETENTION BASINS SHALL RECEIVE MIN. 3" DEEP COMPOSTED HARDWOOD BARK MULCH TO WITHIN 1' OF THE TREE ROOT FLARE. 2" WITHIN 1' OF THE ROOT FLARE.
- MACHINE MOVE OR HAND DUG TREES: ALL TREES TO BE MACHINE MOVED OR HAND DUG DIRECTLY FROM SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO RELOCATION. COORDINATE TREE PRUNING TO BALANCE ROOT LOSS WITH LANDSCAPE ARCHITECT. TREES TO BE MECHANICALLY TRANSPLANTED USING TREE SPADE MUST ALLOW 9" OF ROOTBALL PER CALIPER INCH OF TREE.

SET TREE STRAIGHT AND PLUMB, AND FILL ANY AIR SPACES AROUND TREE WITH SPECIFIED SAND OR SANDY LOAM TOPSOIL. WATER IN TO DISPLACE AIR POCKETS. INSTALL 3" HIGH WATER RETENTION BASIN PER SPECIFICATIONS WITH 2" DEEP COMPOSTED BARK MULCH AND WATER THE SPADED TREES THE DAY OF TRANSPLANTING.
- TREES SHALL BE LOCATED A MINIMUM OF 5' - 0" FROM WALLS, OVERHEADS, WALKS, EDGING, CURBS AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. ALL MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LAWN INSTALLATION: PRIOR TO APPLICATION OF HYDROMULCH OR SOD, THE CONTRACTOR SHALL APPLY CONTACT HERBICIDE (RECOMMENDED MIXTURE OF IMAGE AND ROUNDUP) TO REMOVE ALL EXISTING WEEDS AS NECESSARY, AND SCARIFY EXISTING SOIL TO SPECIFIED DEPTHS. REMOVE ALL LUMPS, CLODS, TRASH AND STICKS GREATER THAN 1". FINE GRADE TO PROVIDE POSITIVE DRAINAGE AND SMOOTH LAWN AREAS AND CUT SWALES AS NECESSARY TO ENSURE NO PONDING OF WATER. FINISHED GRADE OF LAWN AND PLANTING BED AREAS TO BE MINIMUM 1/2" BELOW FINISHED GRADE OF ADJACENT PAVEMENT.
- ALL QUANTITIES ON THIS PLAN ARE FOR INFORMATION ONLY (PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- THE CONTRACTOR SHALL PROVIDE THE SOILS TESTING LAB SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACKFILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, AND ON GRADE SOILS. REFER TO SPECIFICATIONS.
- THE CONTRACTOR SHALL APPLY RECOMMENDED PRE-EMERGENT HERBICIDE FOR PREVENTION OF NUTGRASS AND WEEDS UPON ESTABLISHMENT OF BERMUDA LAWN APPROXIMATELY ONE MONTH AFTER HYDROMULCH APPLICATION. FERTILIZE AT SPECIFIED RATES MONTHLY DURING 90 DAY MAINTENANCE PERIOD.

GENERAL SITEWORK NOTES:

- THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, SMALL PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO BODILY INJURY AND/OR DAMAGE TO OWNER'S PROPERTY OR SAID UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL HAND DIG PLANTING PITS AND HAND RAKE LAWN AREAS AS REQUIRED.
- ALL CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS AND/OR PURCHASE OF ANY MATERIAL. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. ALL CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.
- ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES & CODE REQUIREMENTS. REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES BASED UPON THE QUANTITIES SHOWN WITHIN THE DOCUMENTS. FIELD CONDITIONS MAY REVISE ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.
- UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (I.E. BACKFILL MIX, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (I.E. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS OR ANY SETTLLING OR EROSION OCCURRING PRIOR TO COMPLETION.

P:\21053 - somerset ph ll\03 development\08 permit\04 CAD\02 sheets\01-LC\21053-LC1-00.dwg



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 Phase 2**

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project number
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issue date
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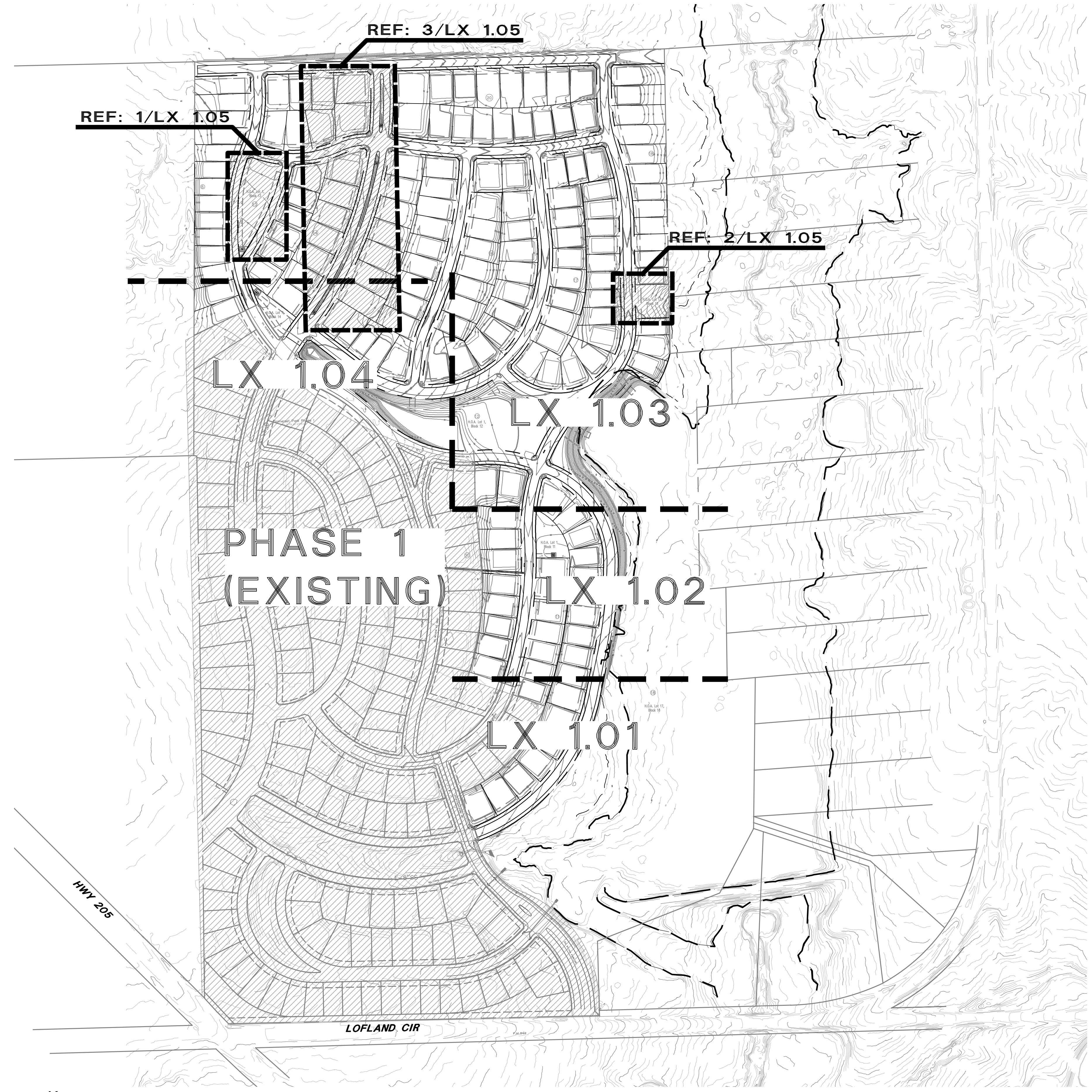
designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
**material
 schedule**

sheet
LC 1.02

| MATERIALS SCHEDULE | | | | | |
|--------------------|---|-------------------------------|---------------------|--|---|
| CONCRETE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| C.1 | STANDARD GRAY CONCRETE | GRAY | MEDIUM BROOM | | |
| C.2 | CONCRETE PAVING STANDARD GRAY CONCRETE @ POOL | GRAY | ROCK SALT FINISH | | CONTRACTOR TO PROVIDE MOCK-UP FOR FINAL APPROVAL BY OWNERSHIP AND LANDSCAPE ARCHITECT. REF. SPECIFICATION FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT. |
| DRAINAGE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| D.1 | DECK DRAIN NDS 12" FLAT SQUARE CAST IRON HINGED GRATE | | | COMPANY: NDS PHONE: 1 (800) 726-1990 | REF. TO LANDSCAPE GRADING PLANS |
| EDGING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| E.1 | 3/4" X 4" STEEL EDGING | BLACK | POWDERCOAT | COMPANY: J.D. RUSSELL CONTACT: 270.826.7008 | OR APPROVED EQUAL |
| FENCING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| F.1 | 4' HEIGHT POOL FENCE COMPLIANT WITH TEXAS POOL CODE | | | | |
| LIGHTING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| L.1 | BOLLARD LIGHT | BLACK | FACTORY | N/A | LOCATION AS PER PLANS AT BASE OF TREES OR BACK OF THE WALL. CONTRACTOR TO SUBMIT CUT SHEET FOR APPROVAL; WRAP STRING LIGHTS TO 12' HT IN TREE. |
| POOL | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| PL.1 | PRECAST POOL COPING | TBD | TBD | | EASE ALL EXPOSED EDGES AT COPING OVERHANG; COLOR & FINISH TO MATCH C.6 CAST STONE CAP |
| PL.2 | POOL TILE | TBD | | | |
| PL.3 | WARNING STRIP TILE NON-SLIP TILE | TBD | | | |
| PL.4 | 6" DEPTH MARKER & 6" NO DIVING TILE | WHITE W/BLACK LETTERING | NON-SLIP | | |
| PL.5 | POOL PLASTER | TBD | | | |
| PL.6 | POOL HANDRAIL - 1-1/2" DIA. TUBE STAINLESS STEEL | BRUSHED STAINLESS STEEL | #4 FINISH | | |
| PL.7 | POOL LIFT | | | | |

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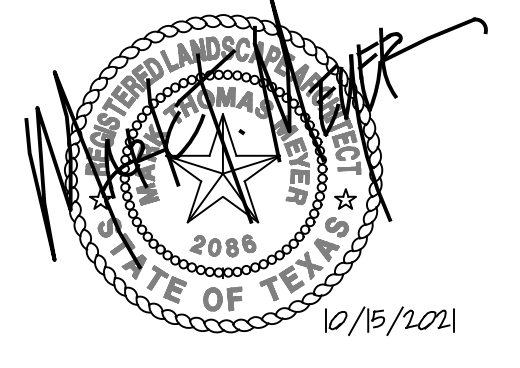


1 Keymap
Plan

0' 100' 200' 400'
SCALE: 1"=200' NORTH



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designed: JD BD
drawn: BD AC
reviewed: JD MM

sheet title
keymap

sheet
LC 1.03



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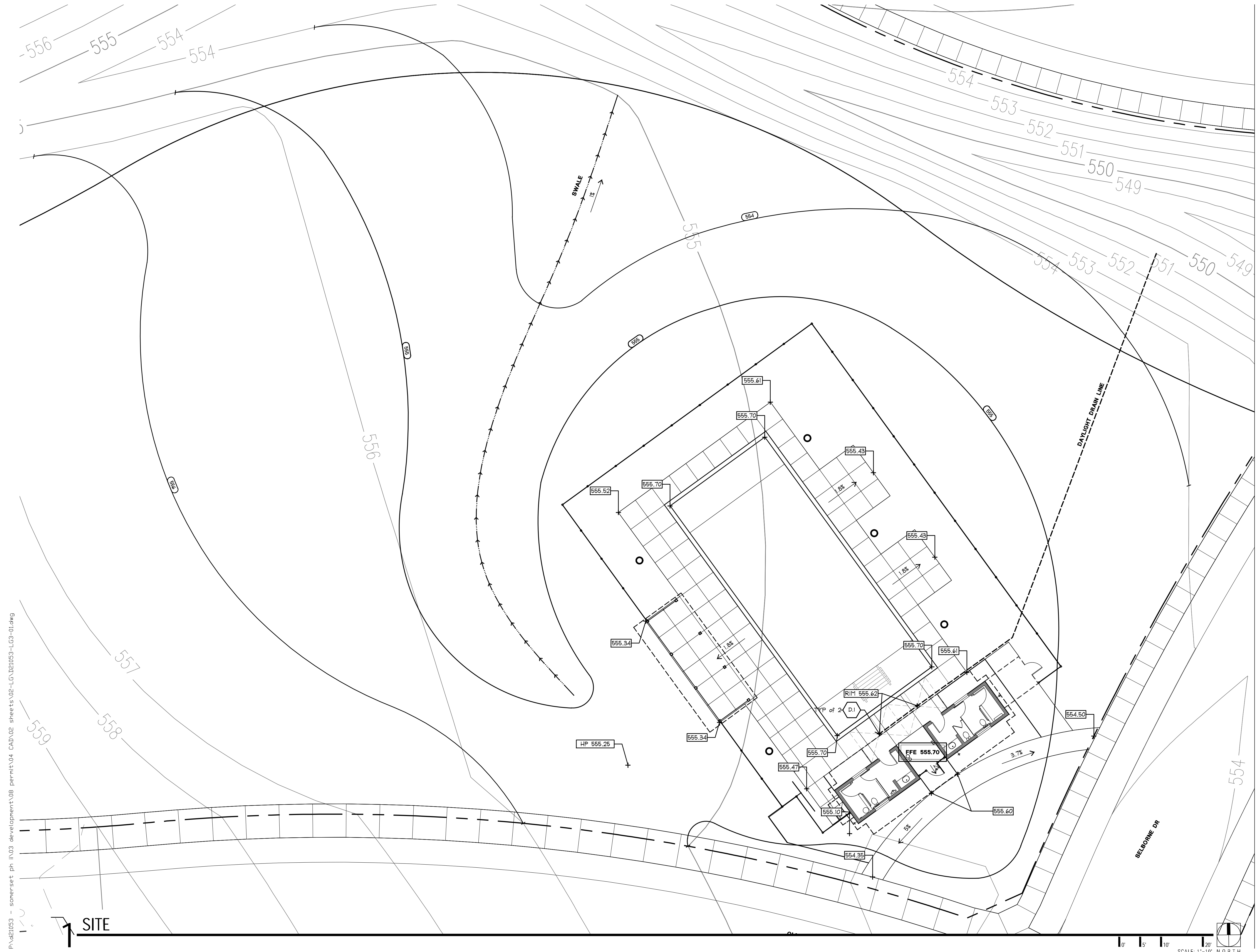
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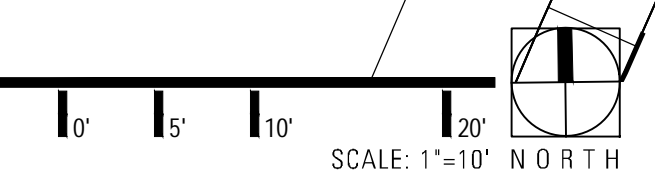
designed: JD BD JP
 drawn: BD JP
 reviewed: BD

sheet title
**grading
 enlargement**

sheet
LG 3.01

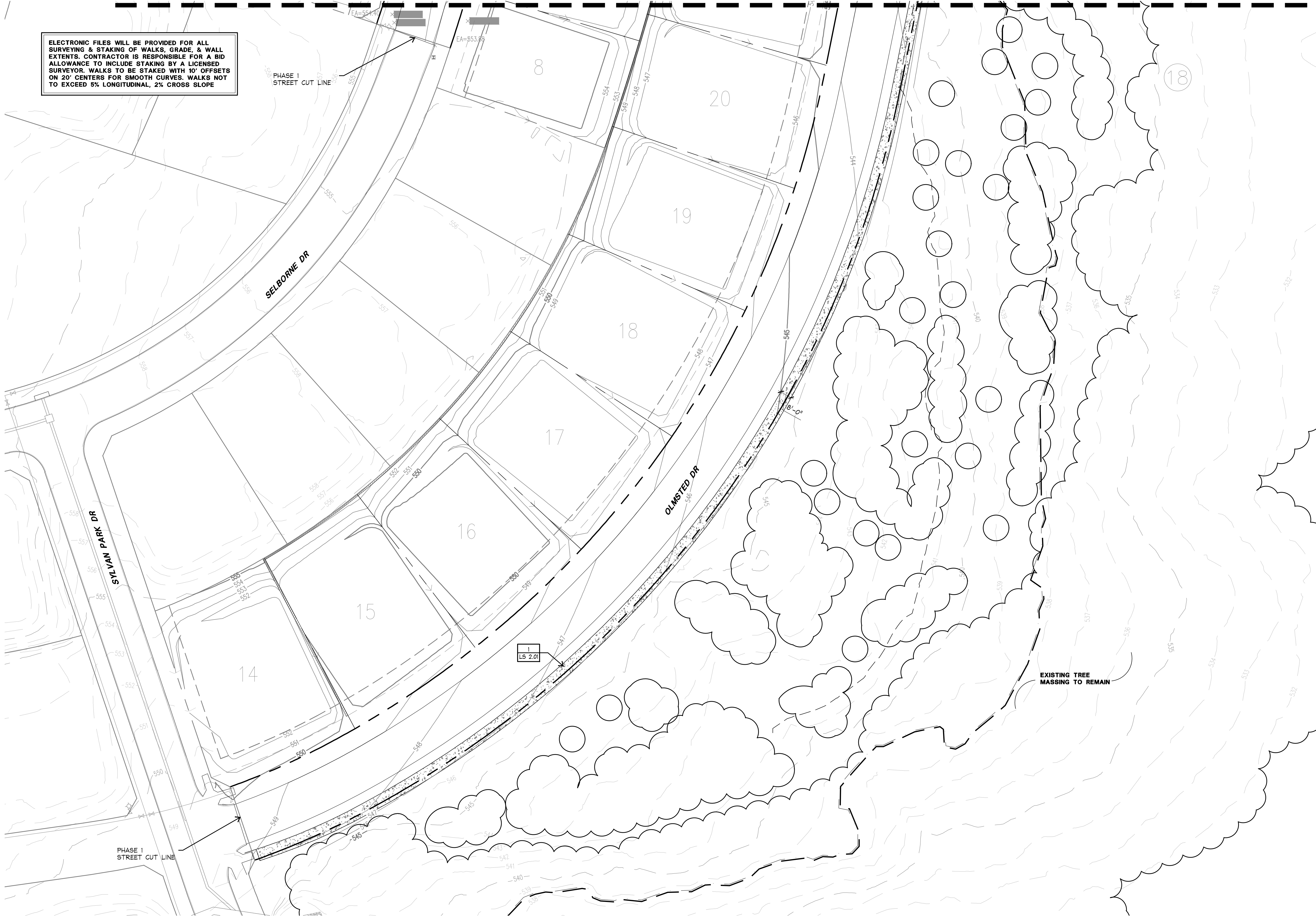


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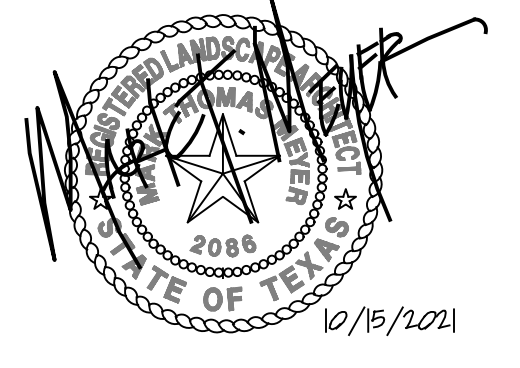
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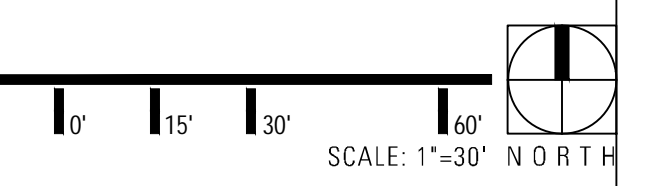
issue date
10/15/2021

designed: JD, BD
drawn: BD, AC
reviewed: JD, MM

sheet title
sitework plan

sheet
LS 1.01

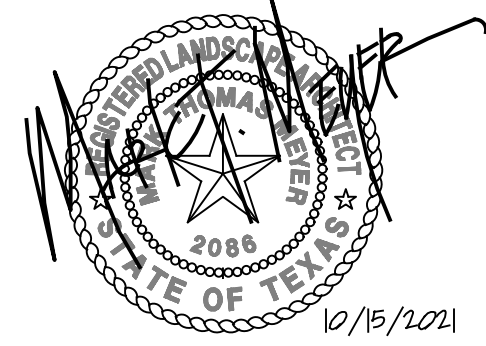
1 Site
Plan



SCALE: 1"=30' N O R T H



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 drawn: BD AC
 reviewed: JD, MM

sheet title
sitework plan

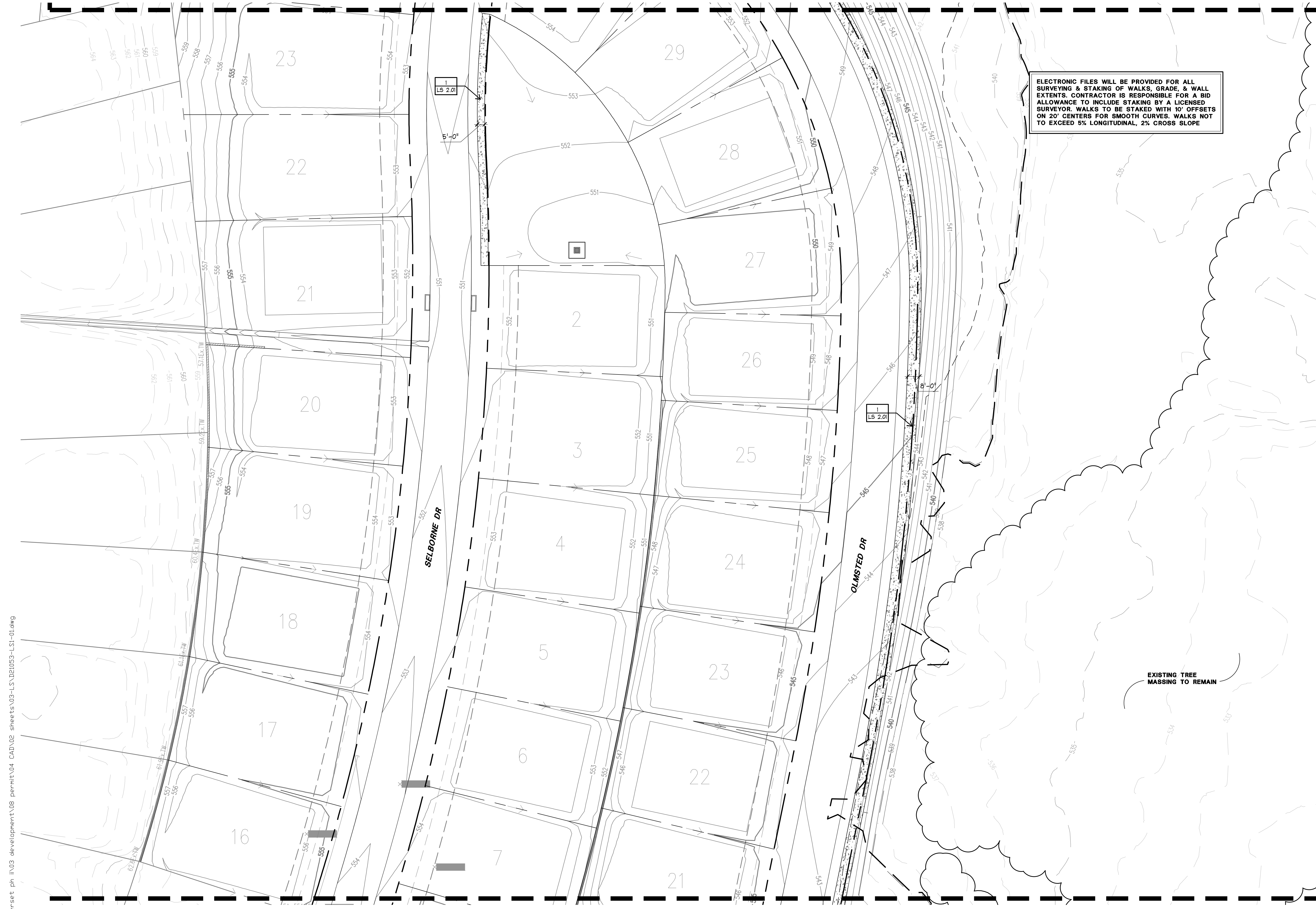
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MATCHLINE: REF. 1/LS1.03

MATCHLINE: REF. 1/LS1.01

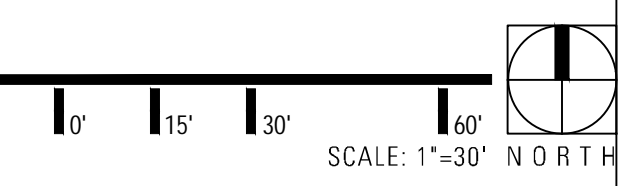
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EXISTING TREE MASSING TO REMAIN



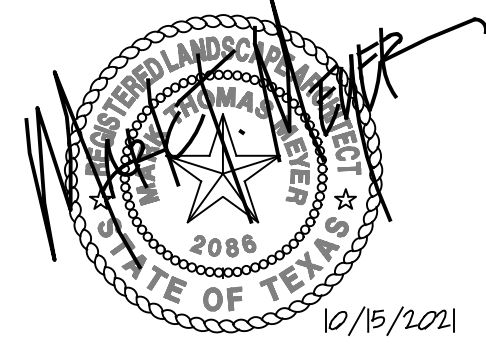
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1 Site
 Plan





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 drawn: BD AC
 reviewed: JD, MM

sheet title
sitework plan

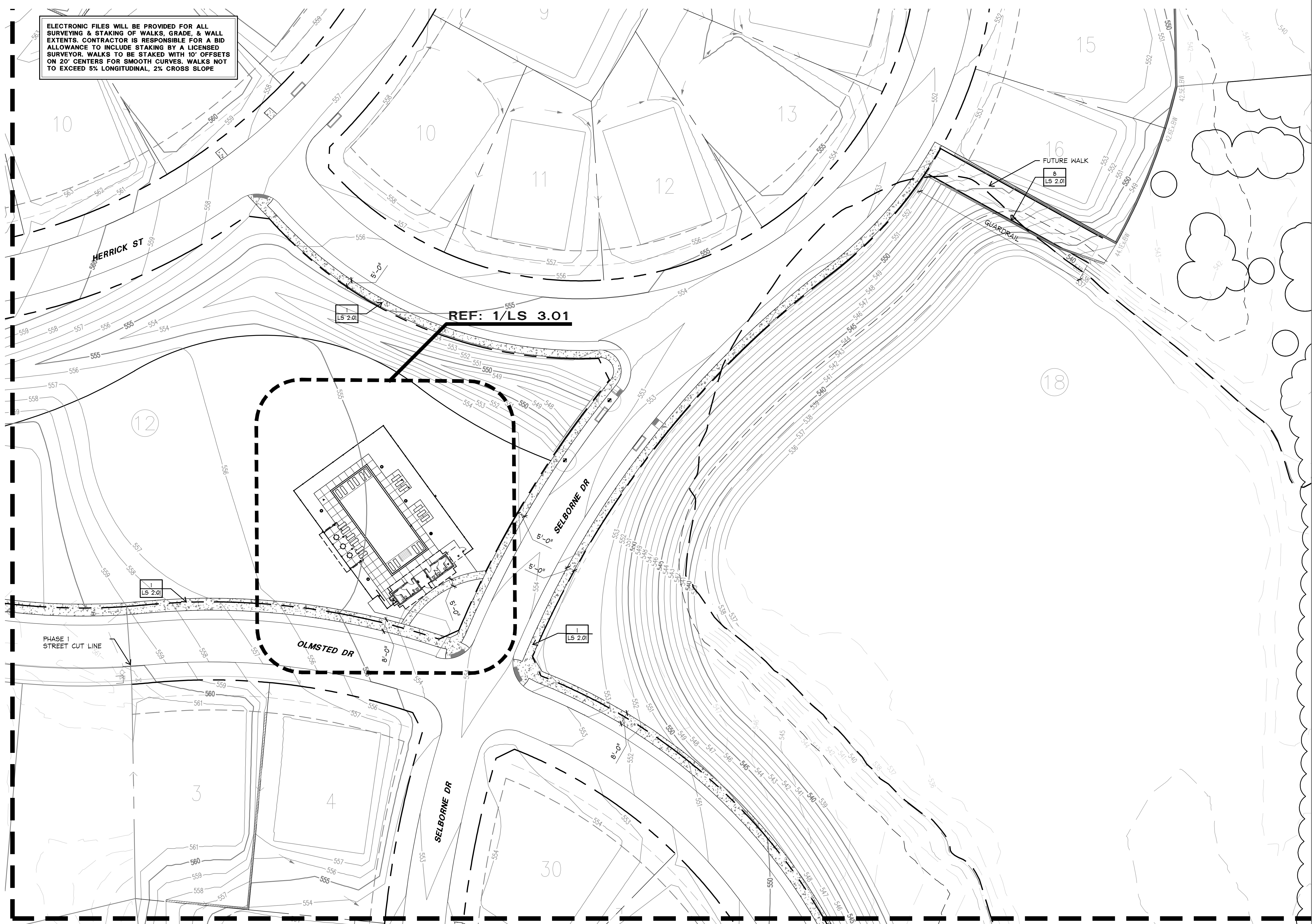
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LS 1.03

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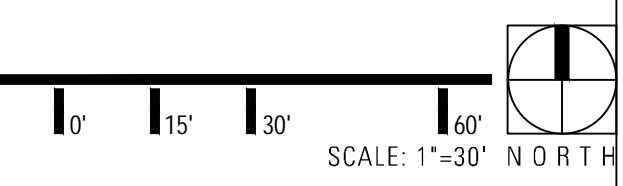
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MATCHLINE: REF. 1/LS1.04

MATCHLINE: REF. 1/LS1.02



1 Site
 Plan





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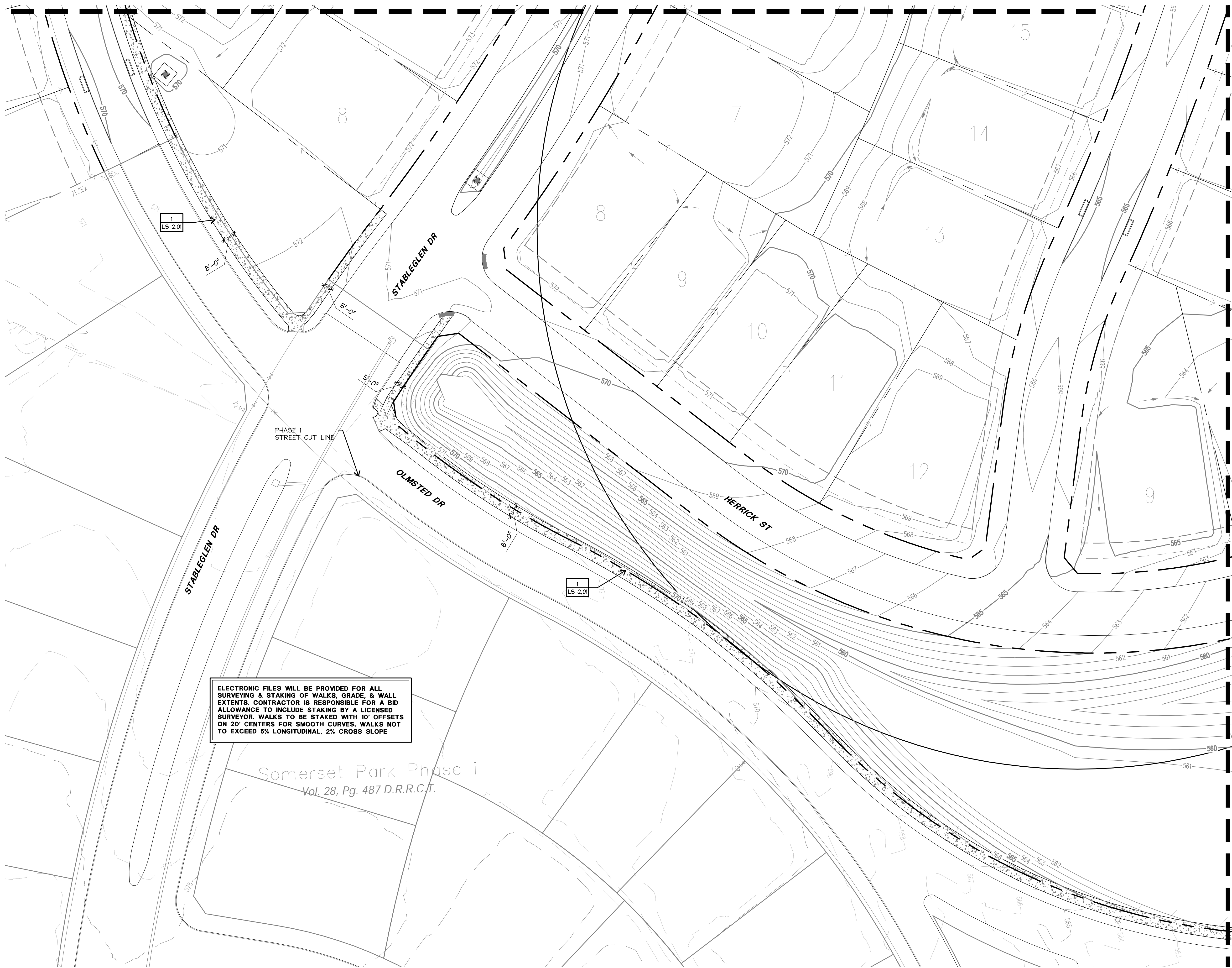
project number
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issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD, MM

sheet title
sitework plan

sheet
LS 1.04

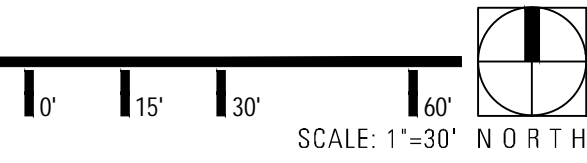


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Somerset Park Phase I
Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03

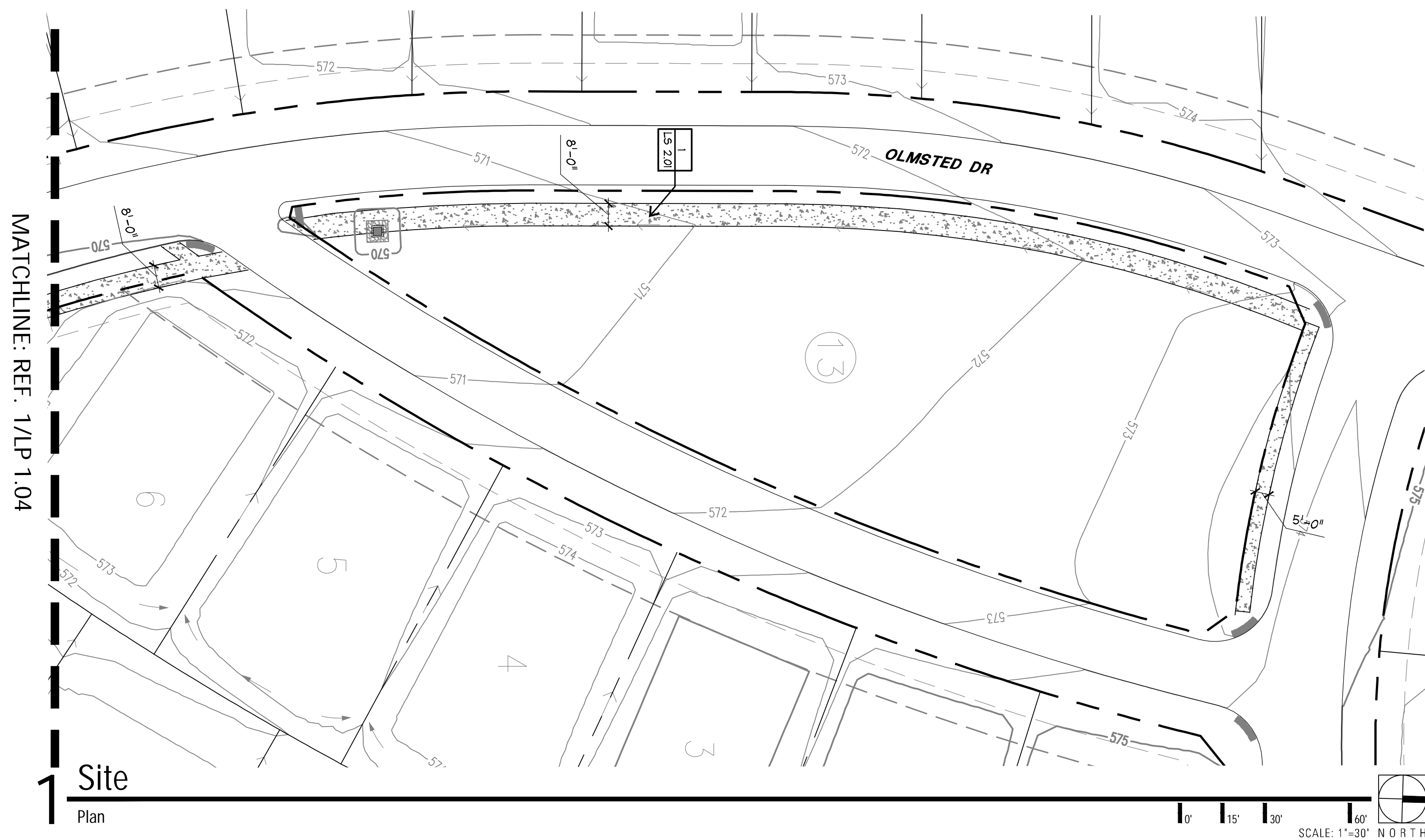
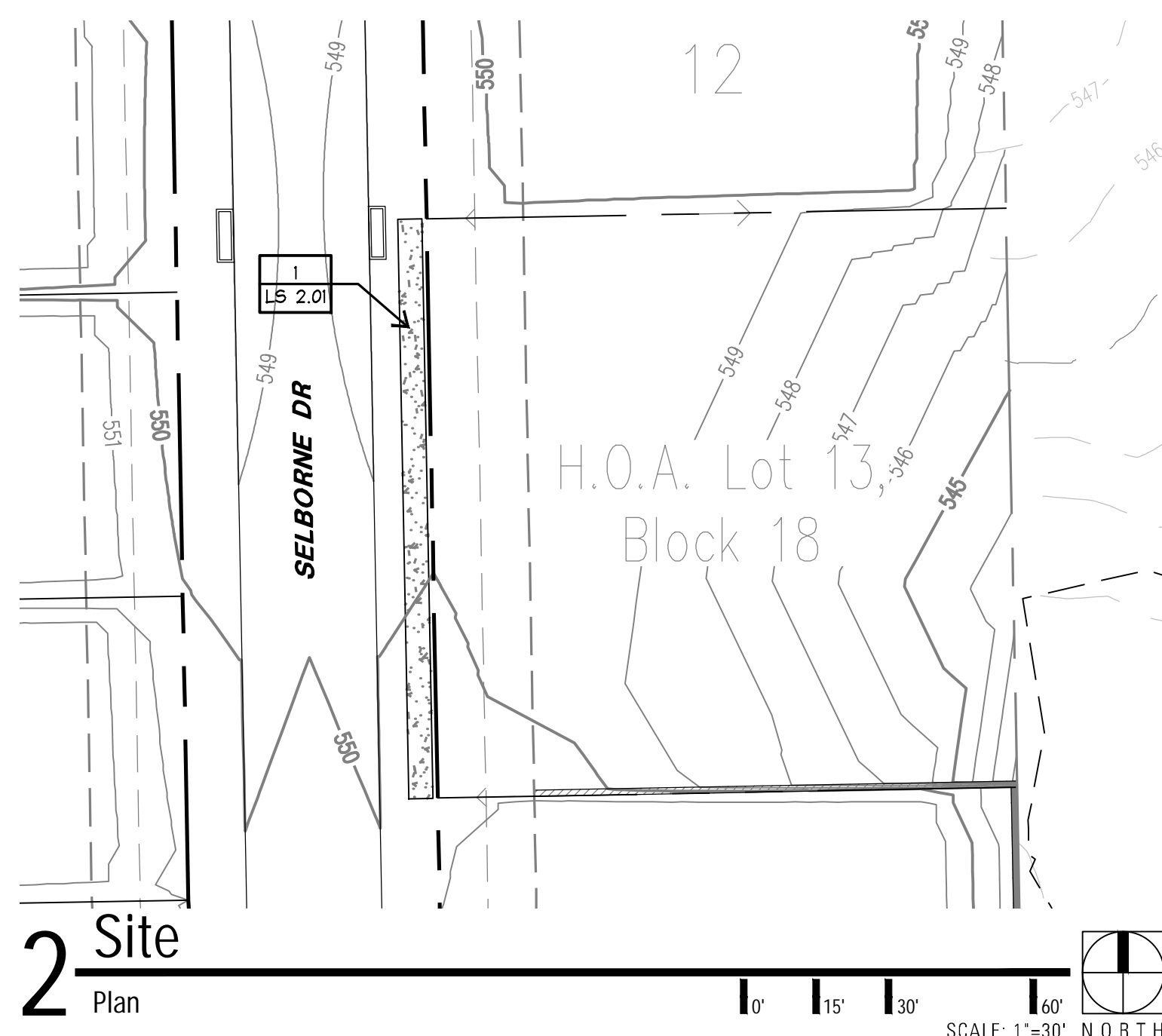
1 Site
Plan



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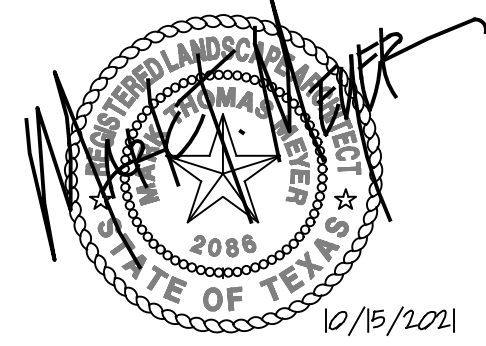
project number
D21053

issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD, MM

sheet title
sitework plan

sheet
LS 1.05



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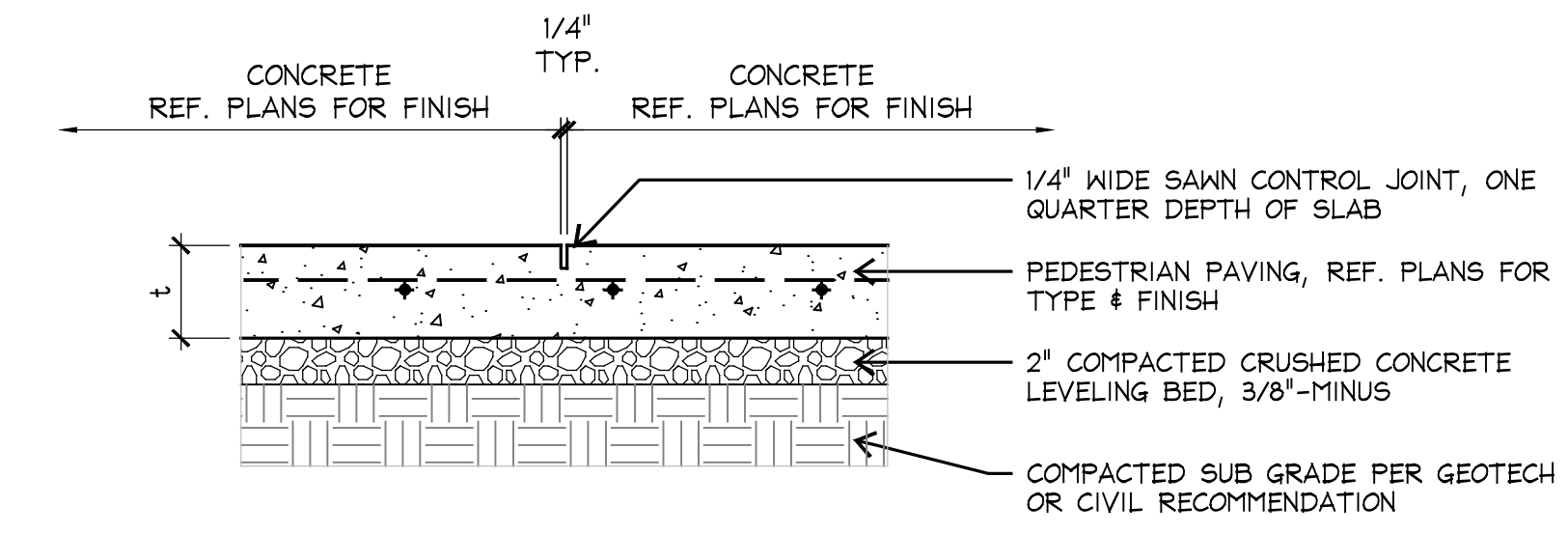
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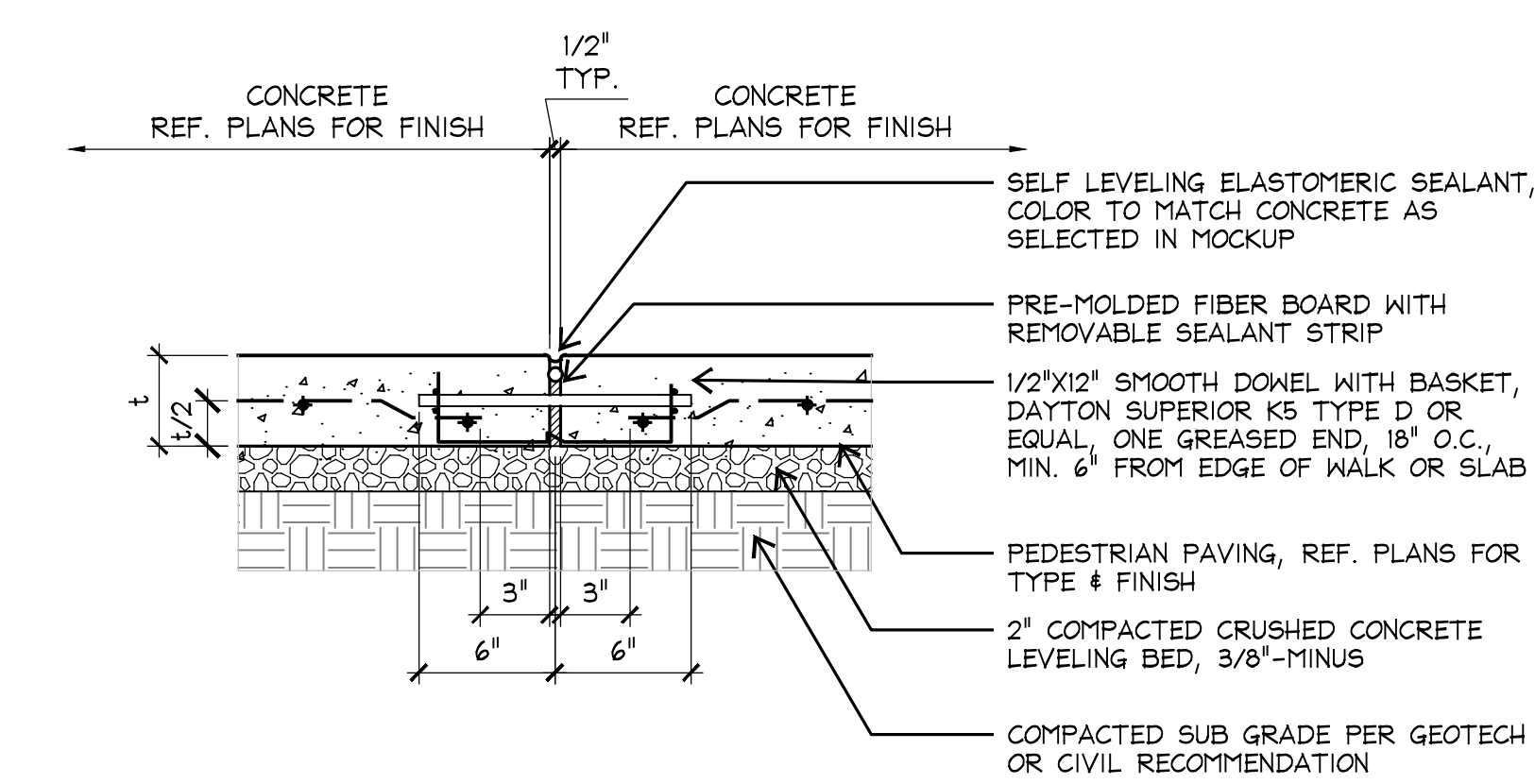
designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
**Sitework
 details**

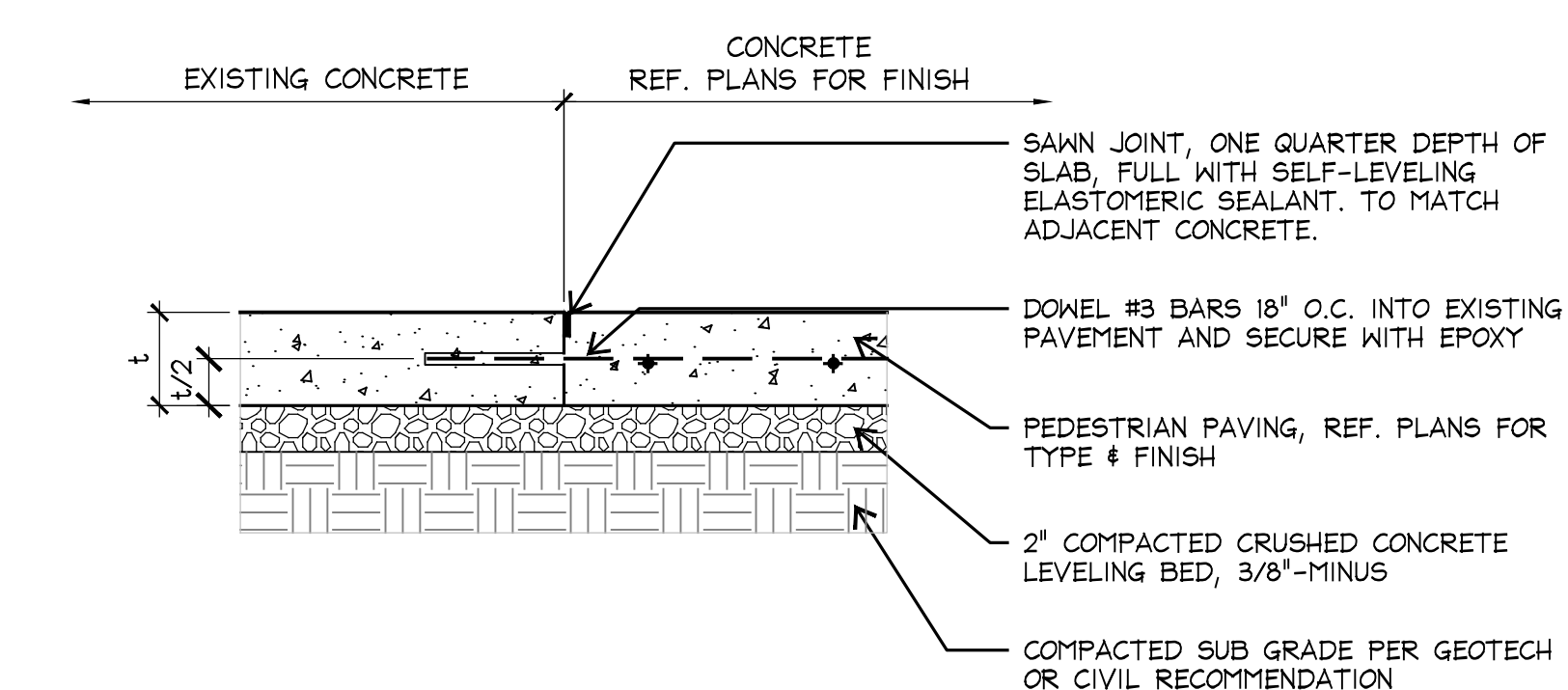
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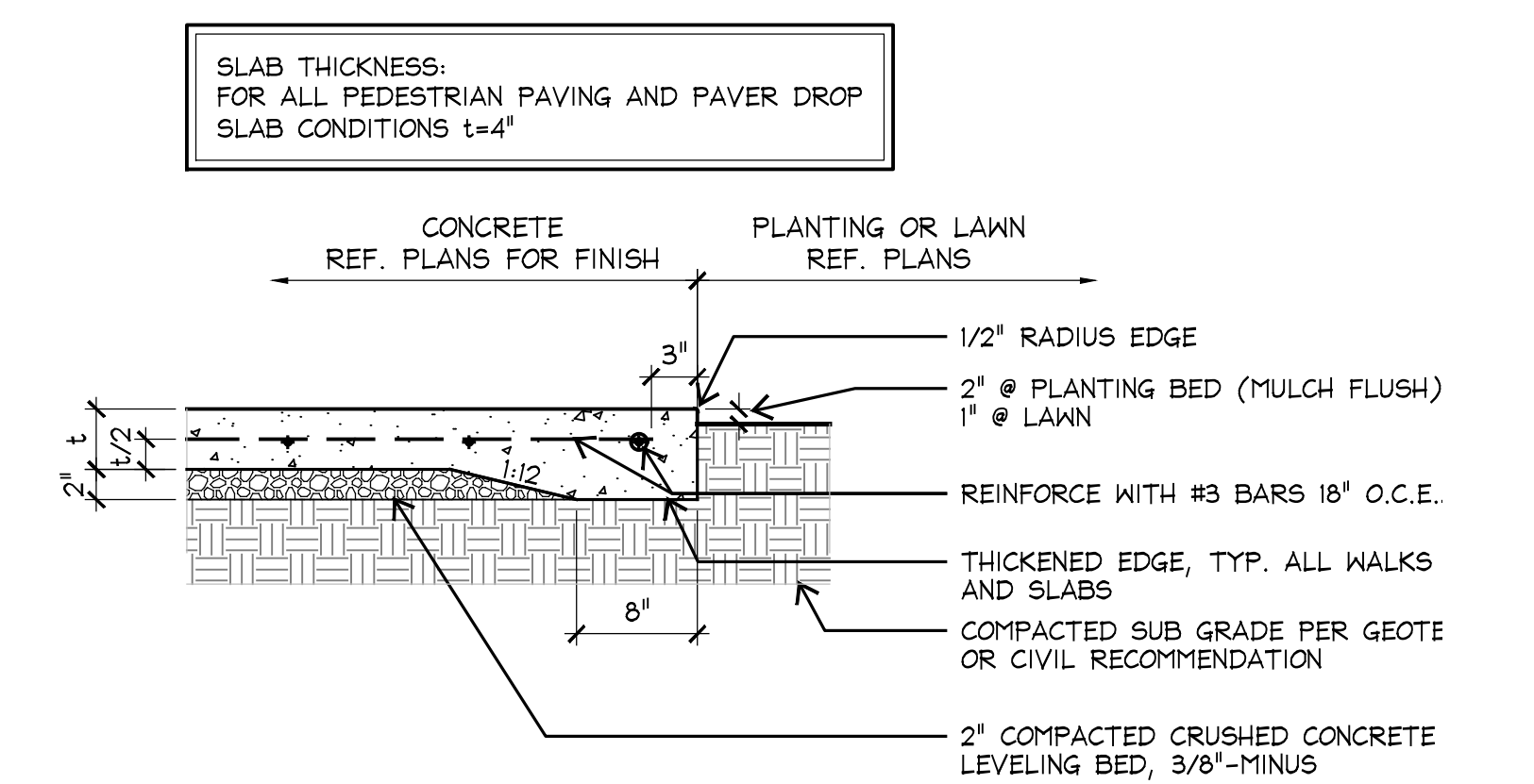
4 CONTROL JOINT
 SECTION SCALE: 1-1/2"=1'-0"



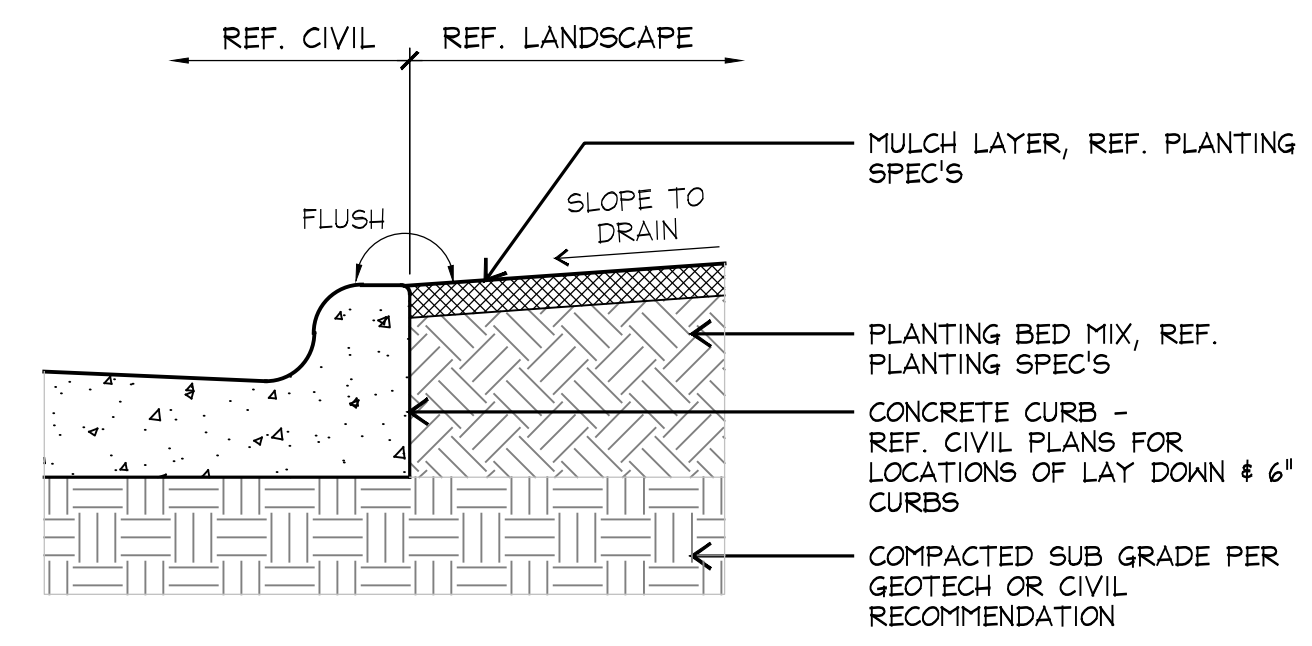
3 EXPANSION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



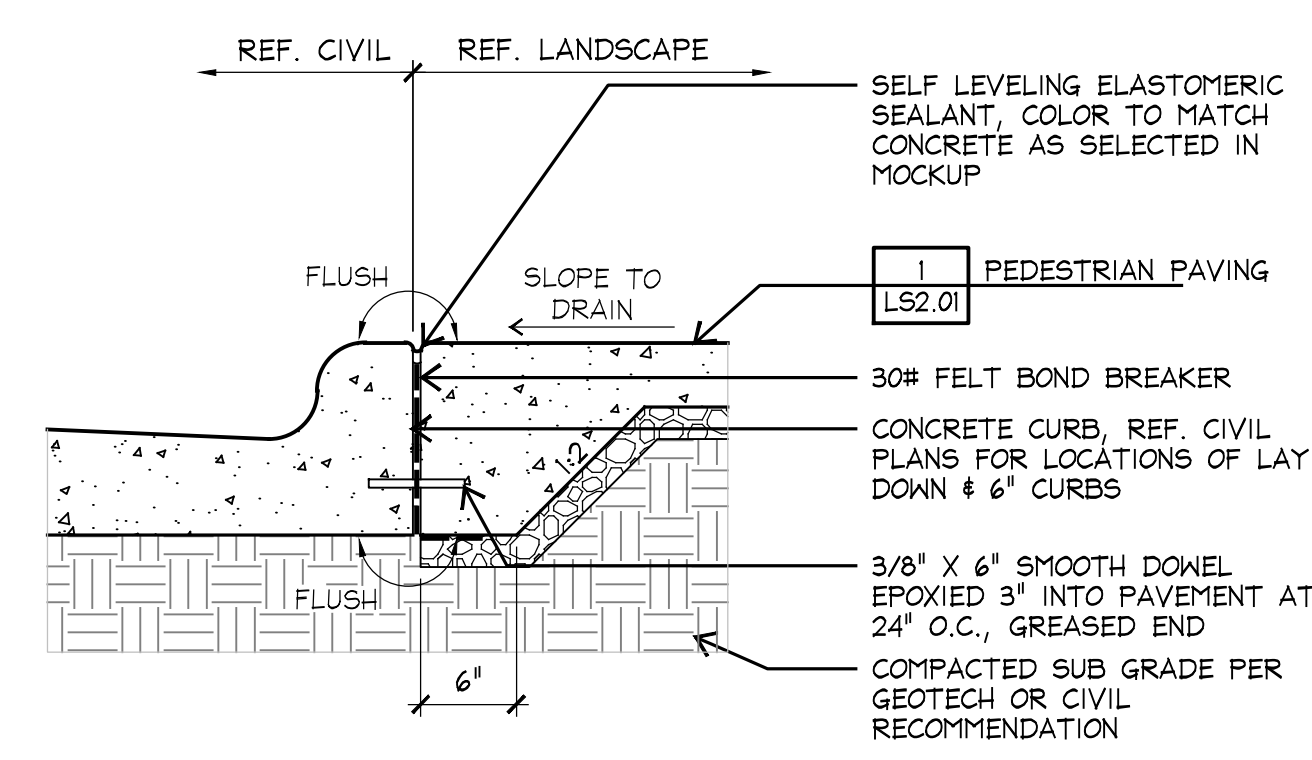
2 COLD JOINT
 SECTION SCALE: 1-1/2"=1'-0"



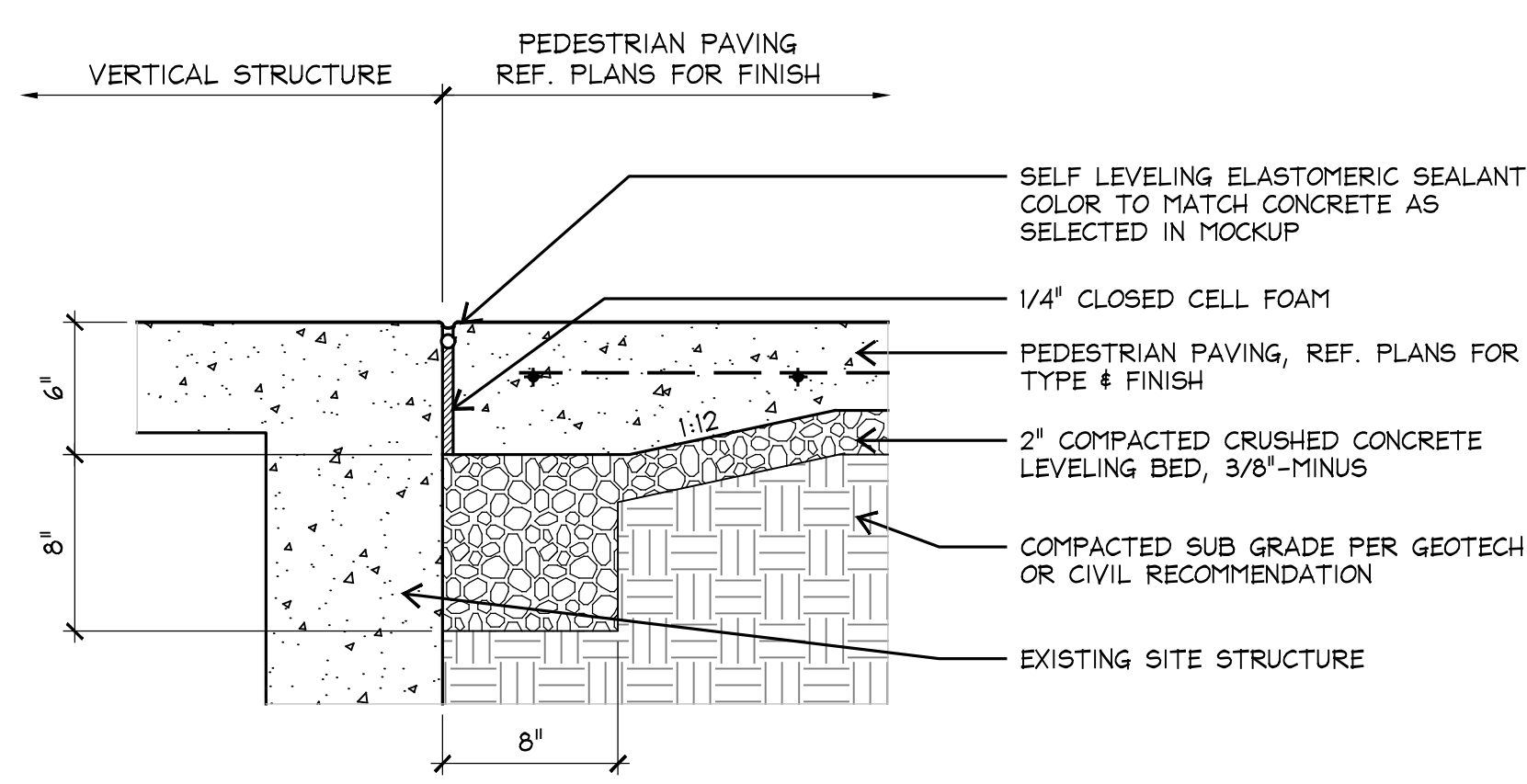
1 SIDEWALK DETAIL
 SECTION SCALE: 1"=1'-0"



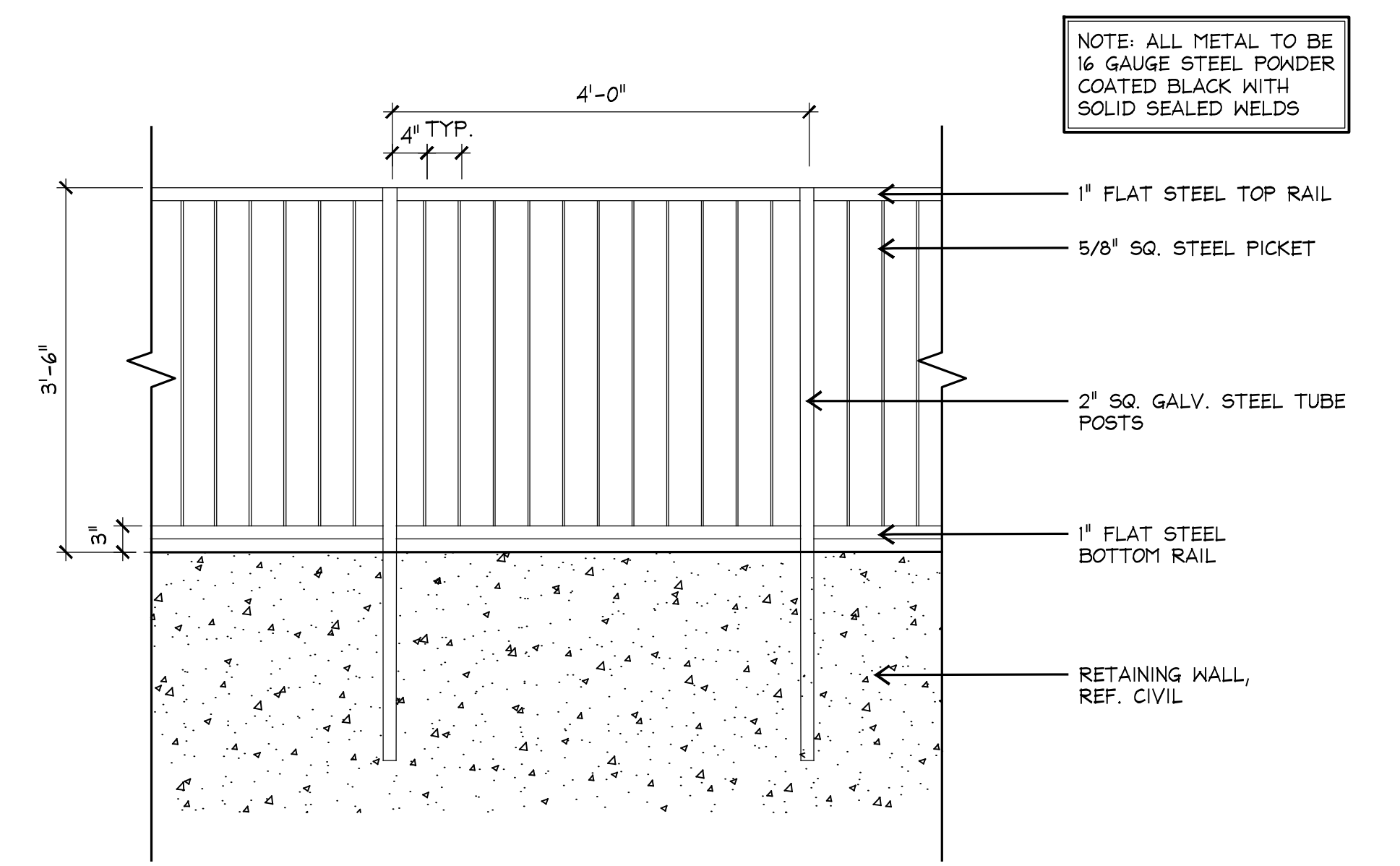
7 PLANTING AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



6 CONCRETE AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



5 ISOLATION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



8 RAILING AT RETAINING WALL
 SECTION SCALE: 3/4"=1'-0"

NOTE: ALL METAL TO BE
 16 GAUGE STEEL POWDER
 COATED BLACK WITH
 SOLID SEALED WELDS

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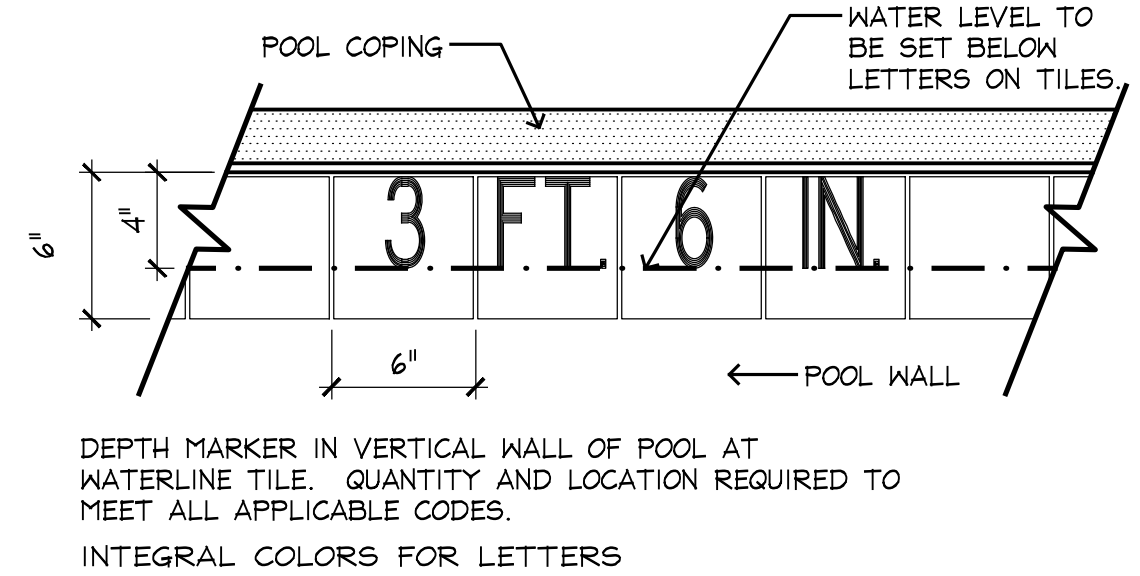
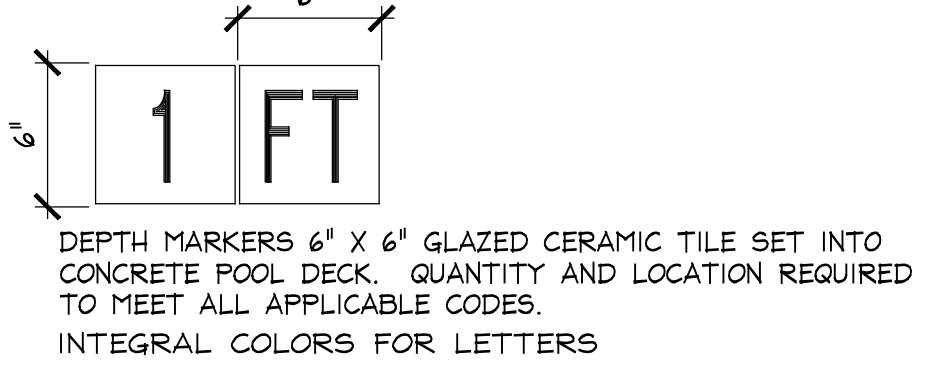
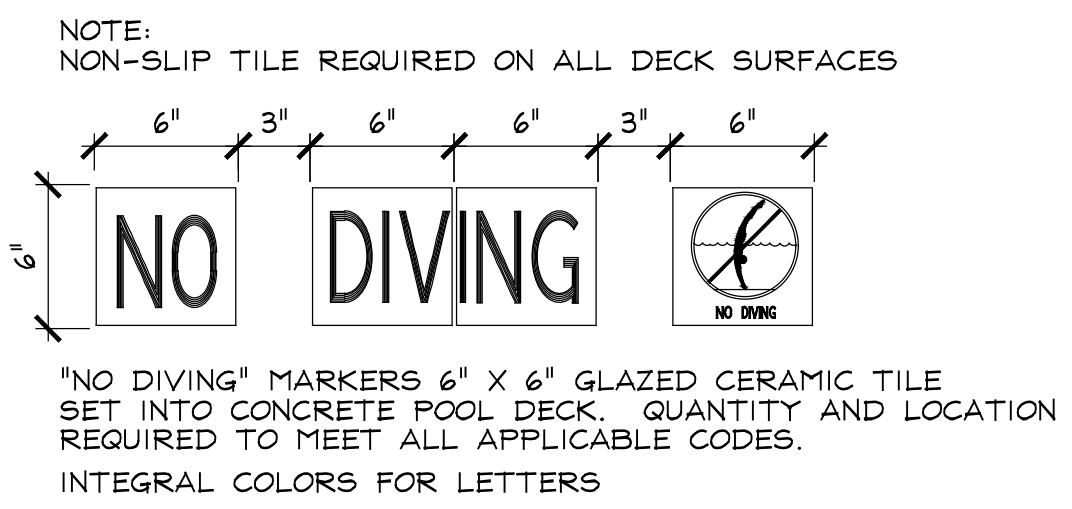
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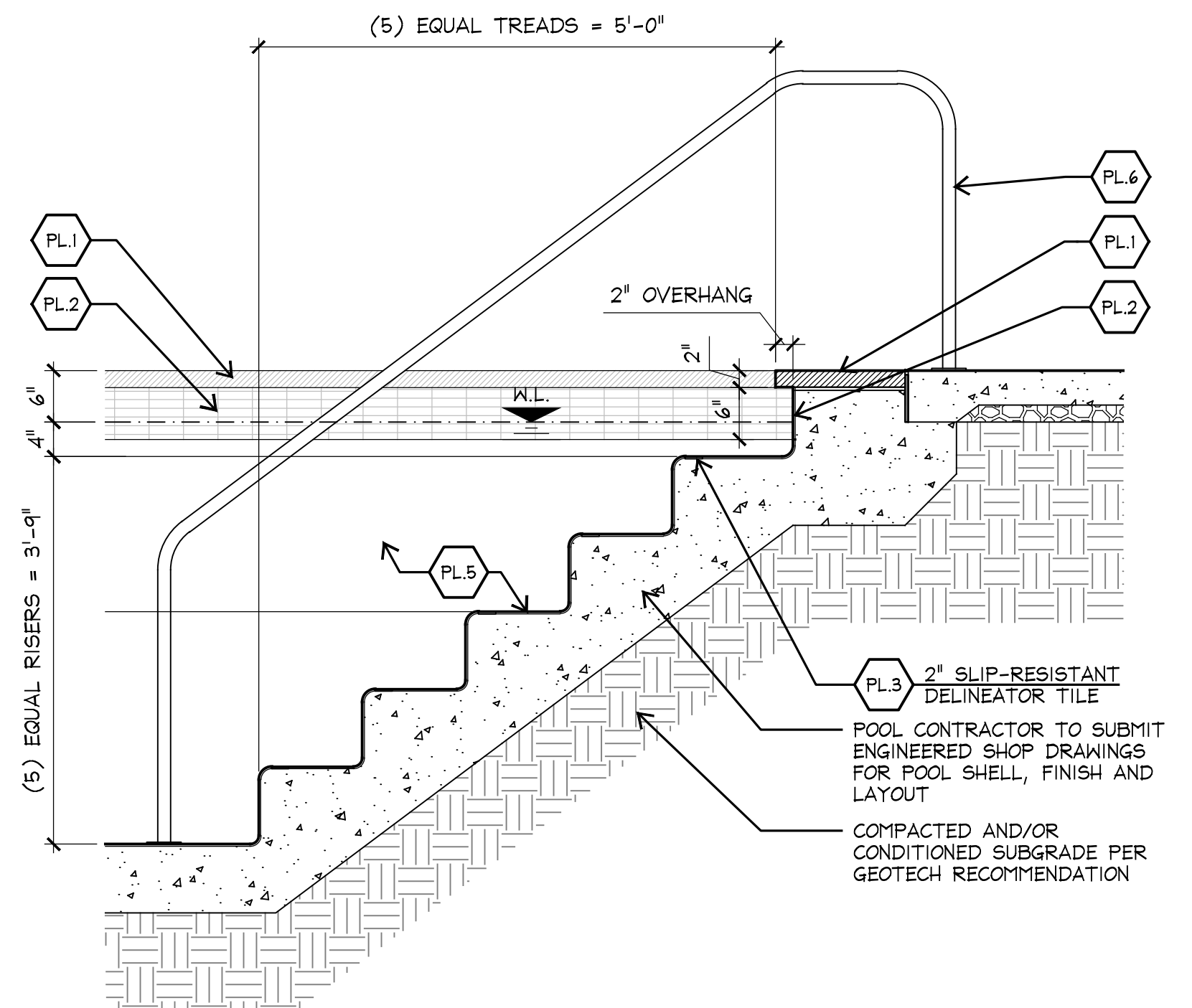
NOTE:
 SWIMMING POOL DETAILS PROVIDED FOR DESIGN INTENT ONLY. POOL CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF DESIGN OR LAYOUT CONFLICTS. CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.

TILE TO BE FLUSH AT EDGE CONDITIONS W/ EVEN GROUT SPACING BETWEEN TILES. TILE PLACED ON THE SLOPE TO LAY OVER TILE PLACED ON VERTICAL WALL AS NOT TO REVEAL ANY ROUGH TILE EDGES. TILE ON SLOPE MUST BE FLUSH WITH TILE ON VERTICAL WALLS.

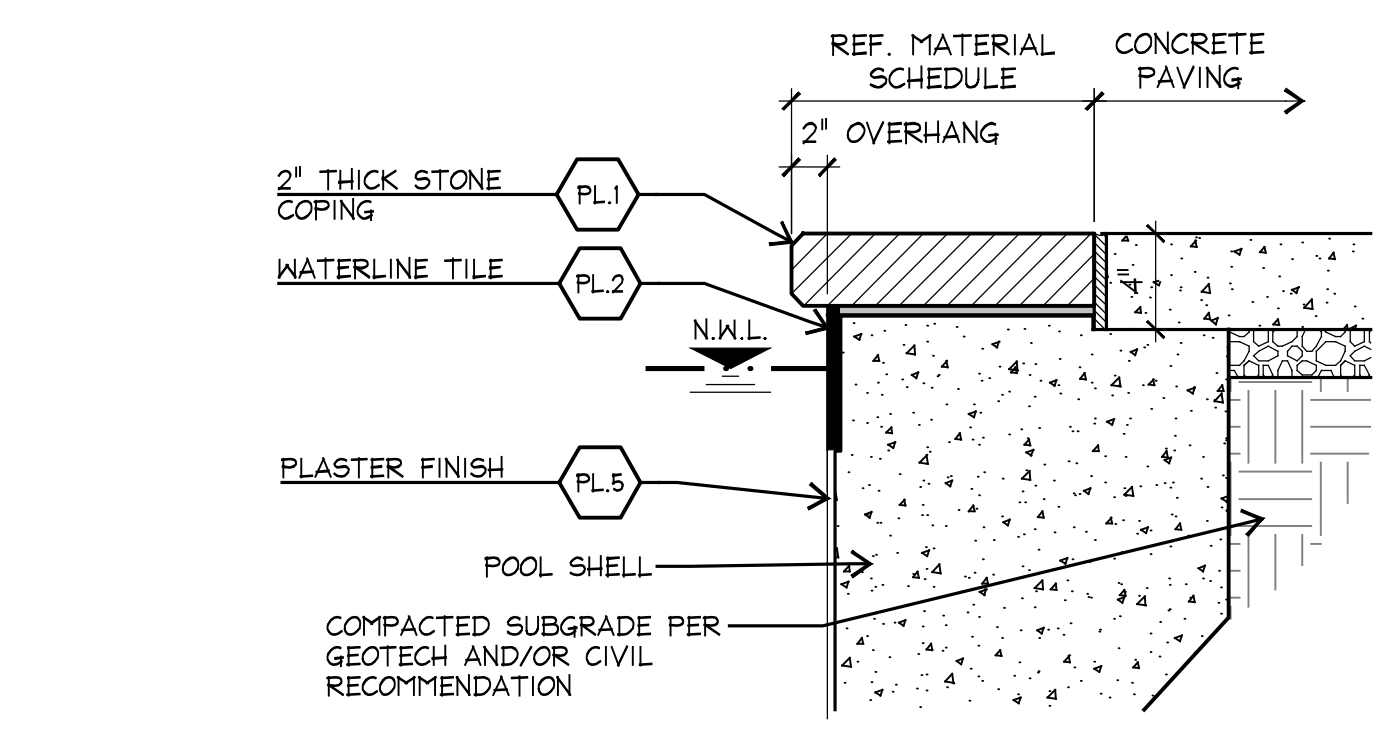
POOL MEP, LIGHTING, SHELL DESIGN & ENGINEERING BY POOL CONTRACTOR.



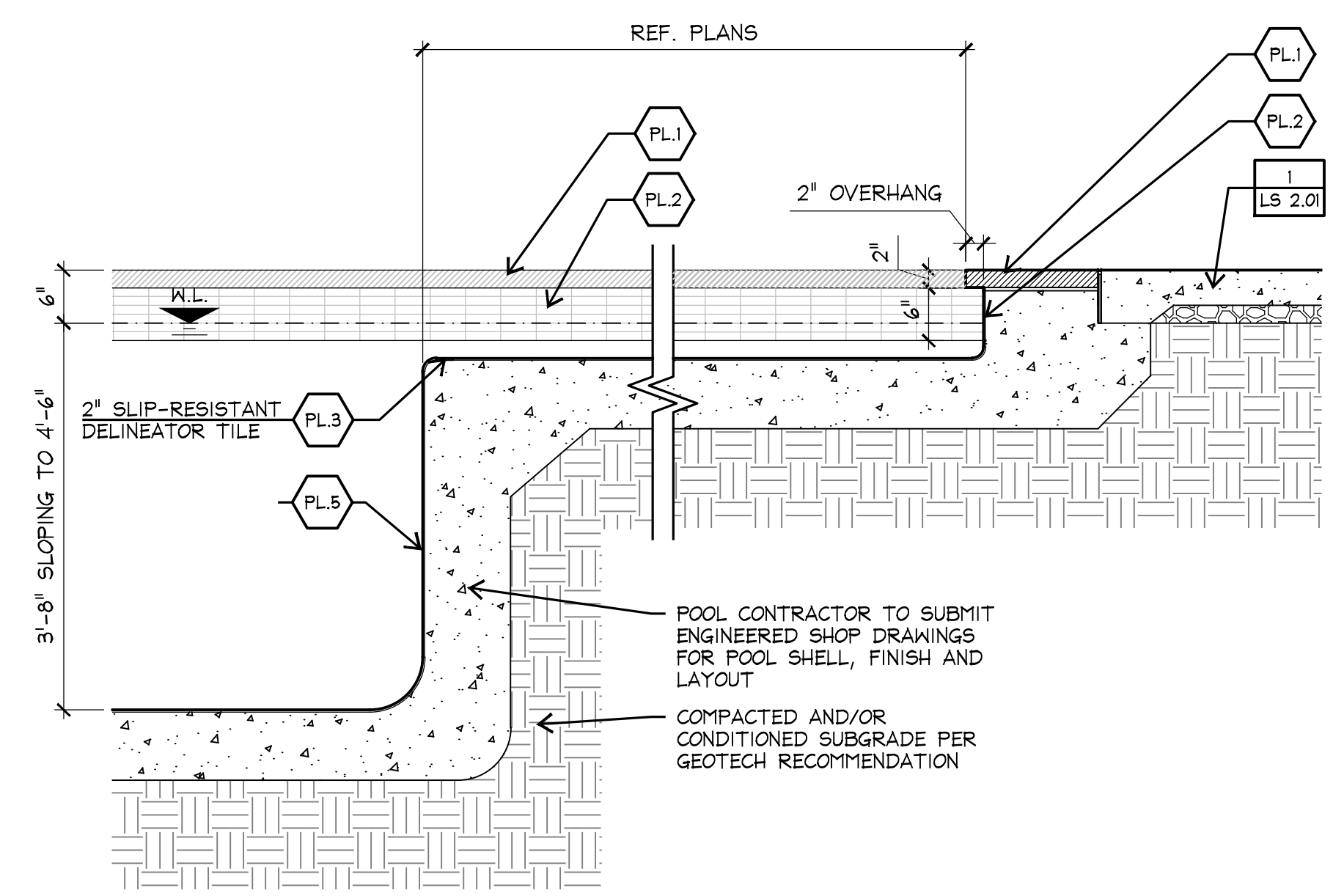
5 POOL SIGNATURE, TYP
 SECTION SCALE: 1-1/2"=1'-0"



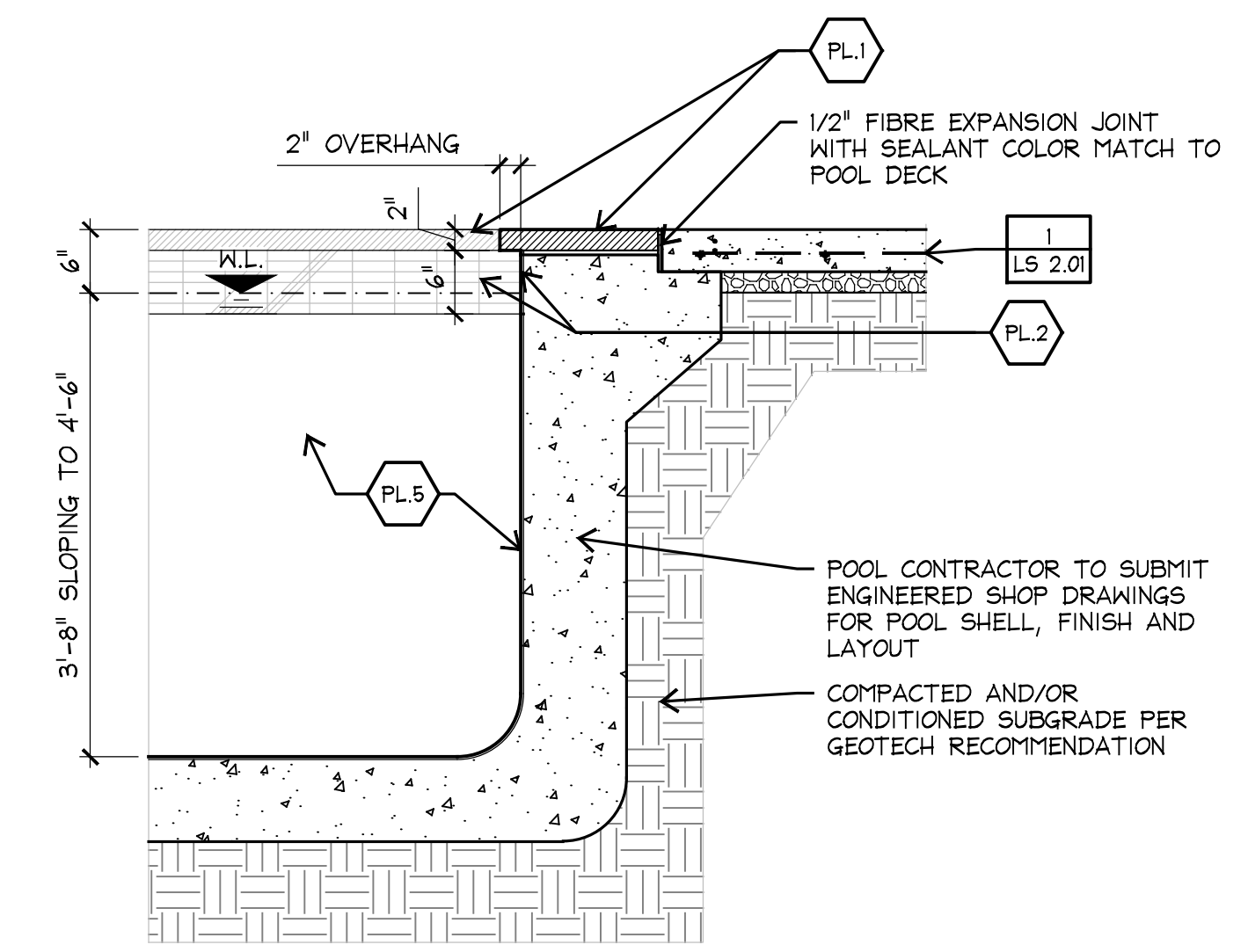
4 POOL STEPS, TYP
 SECTION SCALE: 1"=1'-0"



3 POOL COPING EDGE, TYP
 SECTION SCALE: 1-1/2"=1'-0"



2 POOL SUN SHELF, TYP
 SECTION SCALE: 1-1/2"=1'-0"



1 POOL WALL, TYP
 SECTION SCALE: 1"=1'-0"

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**Somerset
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project number
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issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
**Sitework
 details**

sheet
LS 2.02

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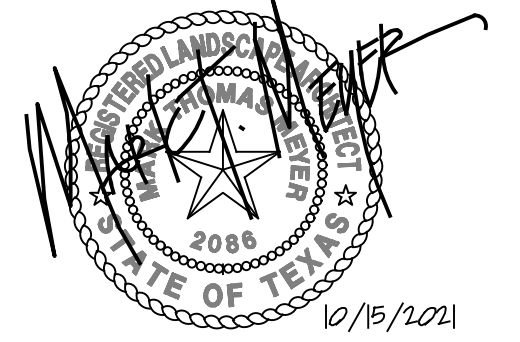


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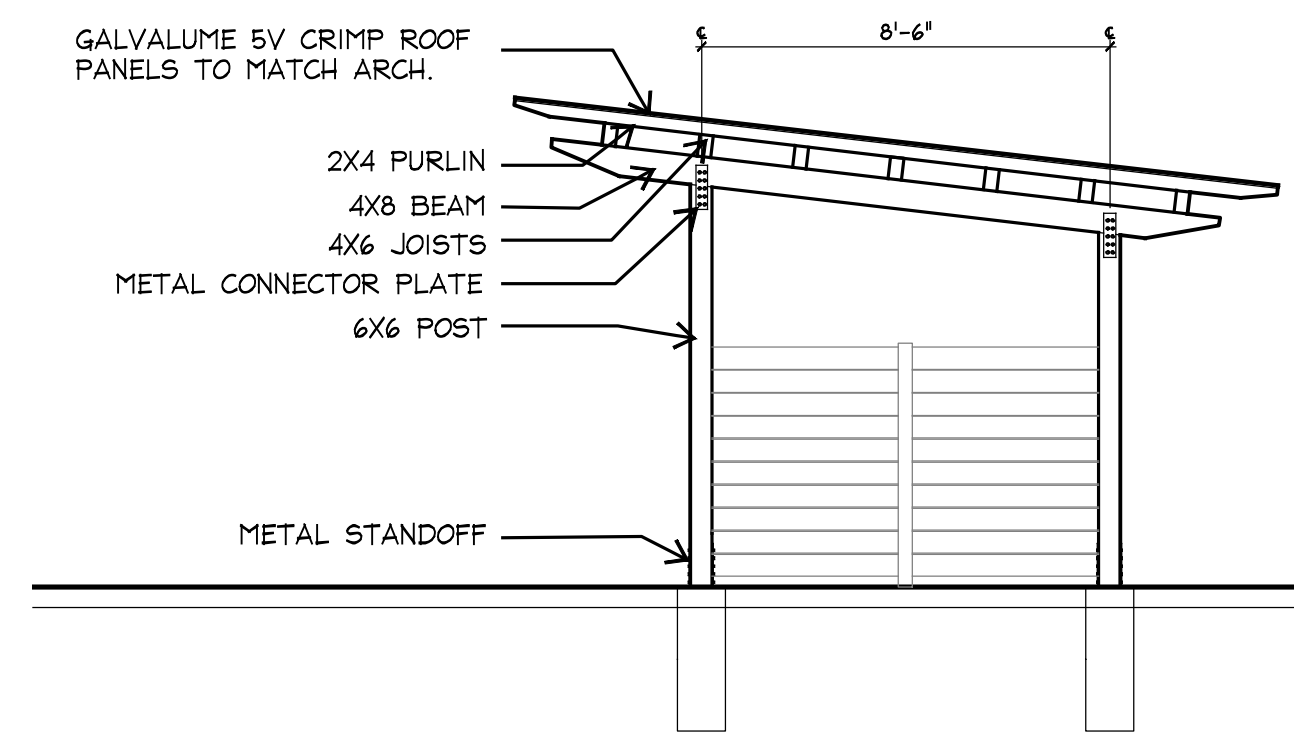
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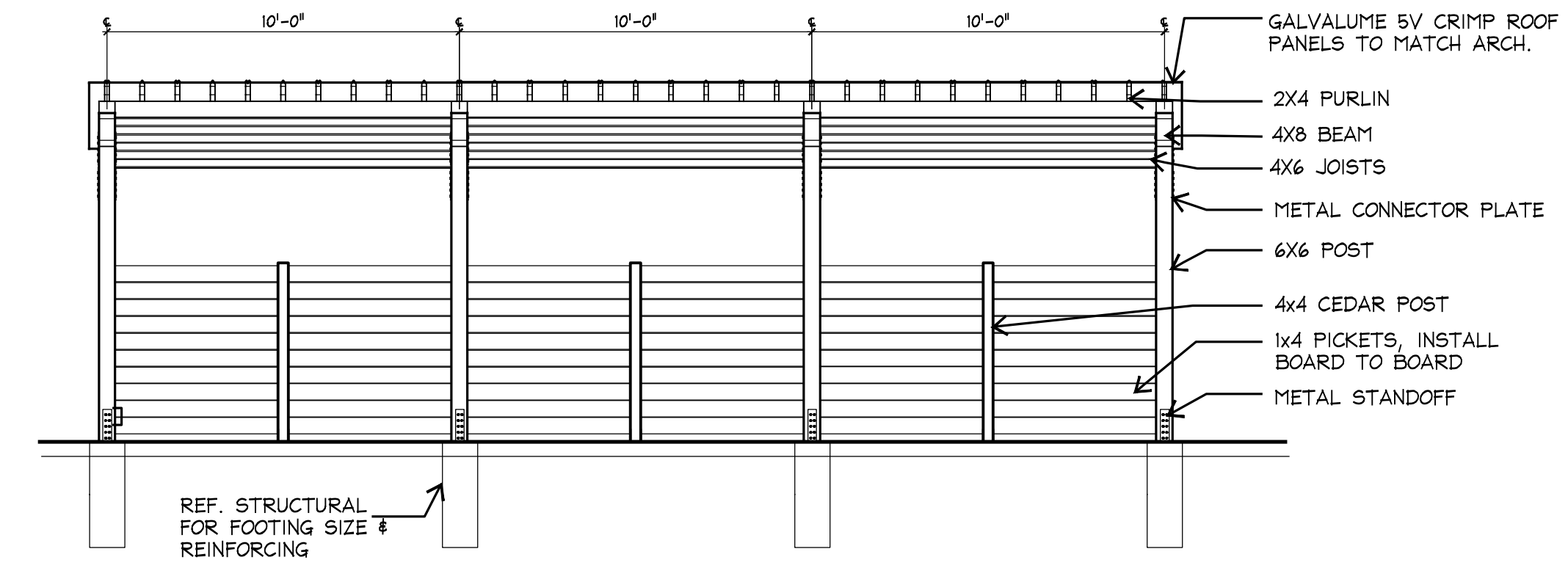


NOTE:
ALL WOOD TO BE DOUGLAS FIR #2 OR BETTER.
ALL WOOD TO RECEIVE STAIN AS SELECTED IN MOCKUP.
ALL EXTERIOR PLATES, FASTENERS & METAL TO BE GALVANIZED.



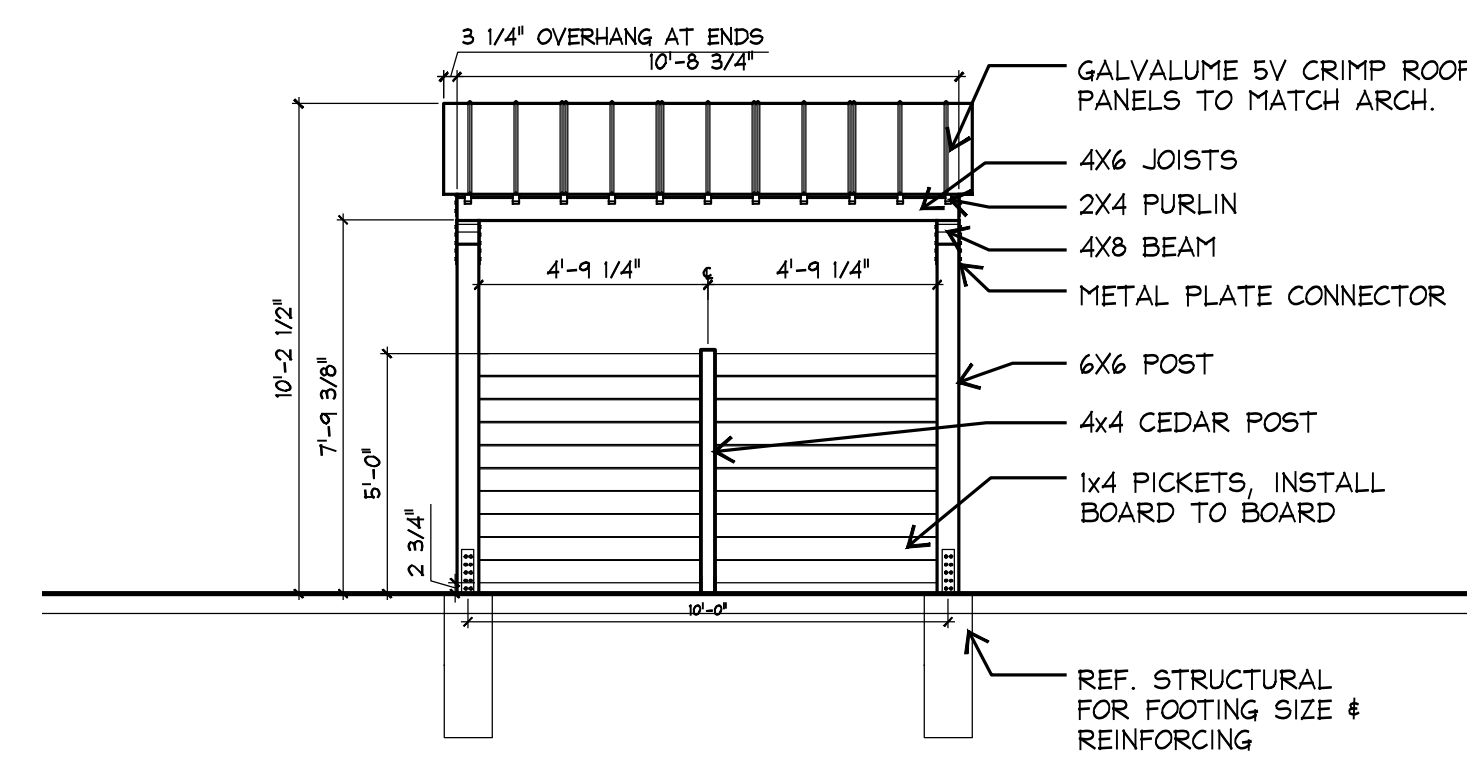
SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS

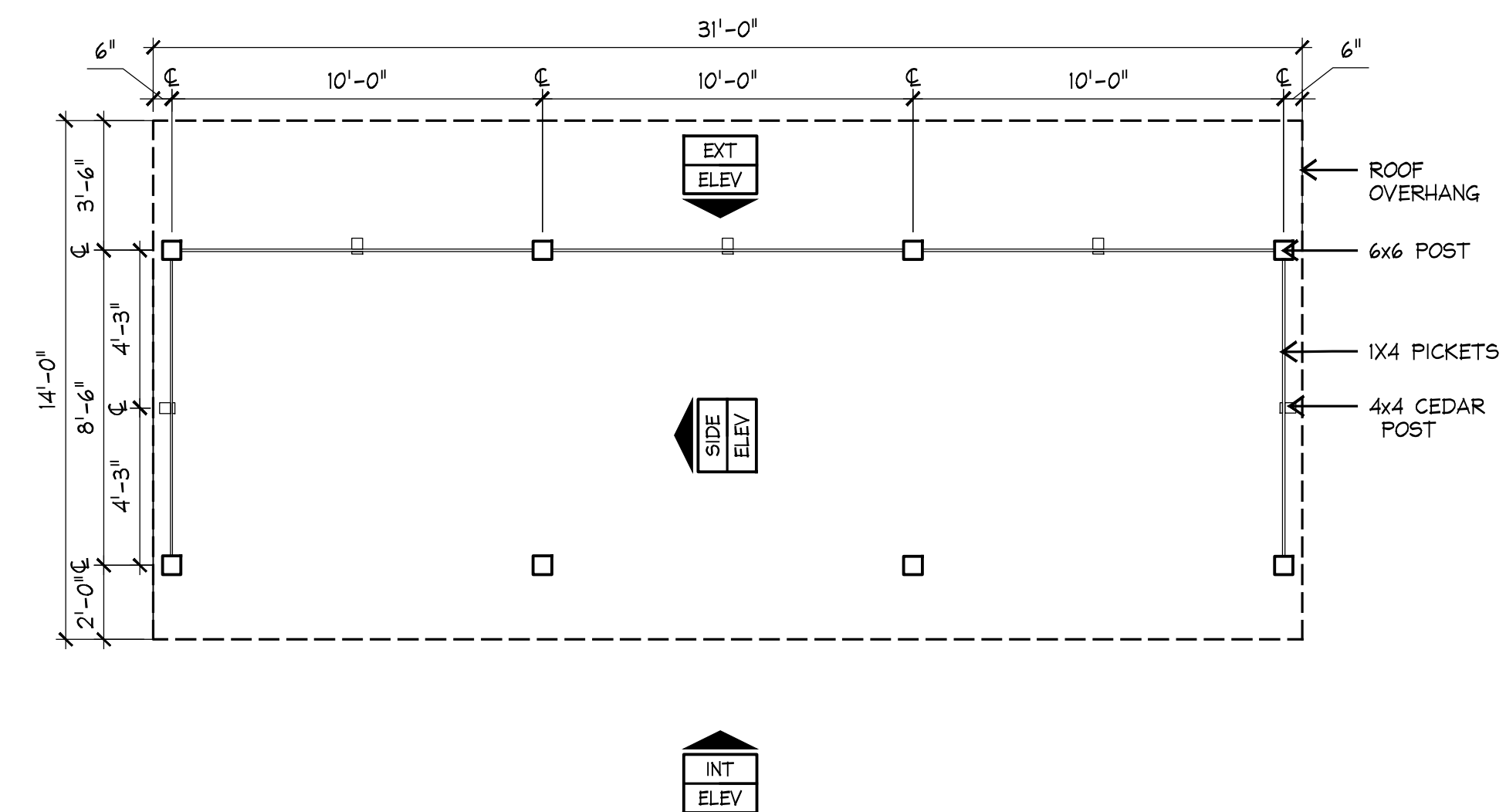


INTERNAL ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS



EXTERNAL ELEVATION
SCALE: 1/4"=1'-0"



PLAN
SCALE: 1/4"=1'-0"

1 CABANA
AS SHOWN

SCALE: 1/4"=1'-0"

P:\021053 - somerset ph II\03 development\08 permit\04 CAD\02 sheets\03-LS\021053-LS2-01.dwg

project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

issue date
10/15/2021

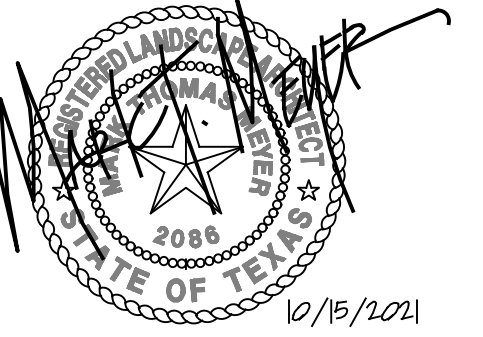
designed: JD BD
drawn: BD AC
reviewed: JD MM

sheet title
**Sitework
details**

sheet
LS 2.03



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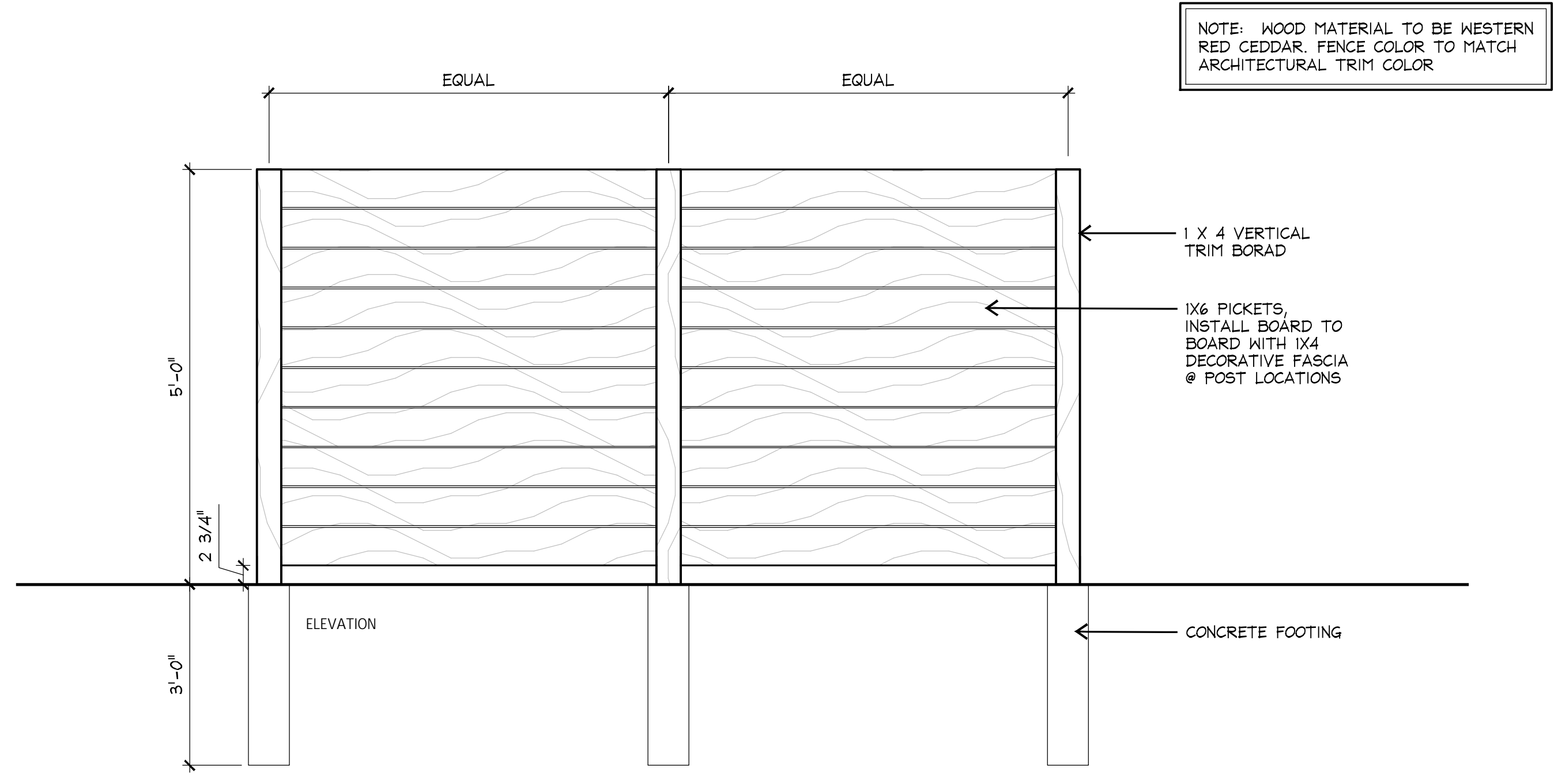
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 drawn: BD AC
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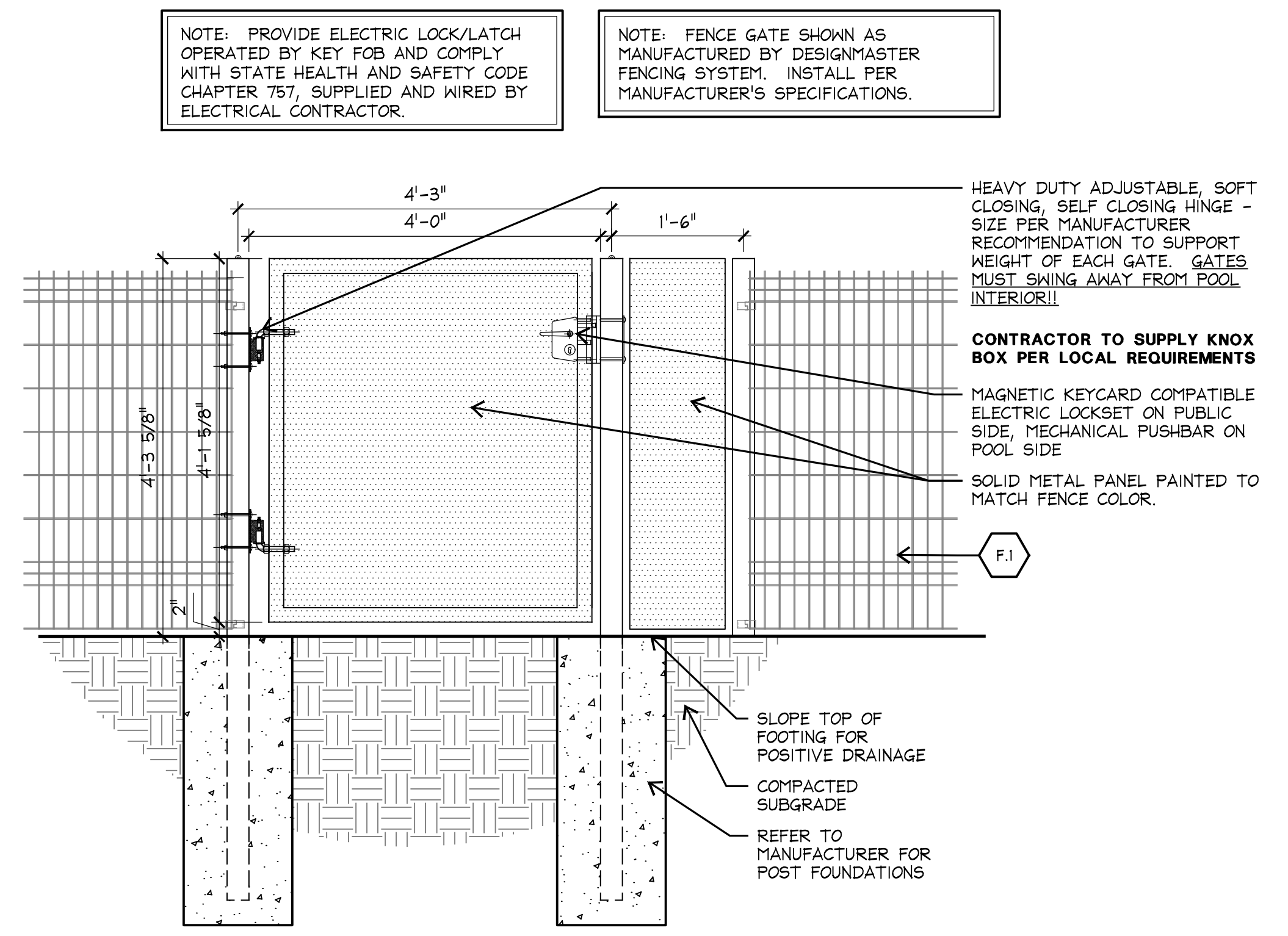
sheet title
**Sitework
 details**

sheet
LS 2.04



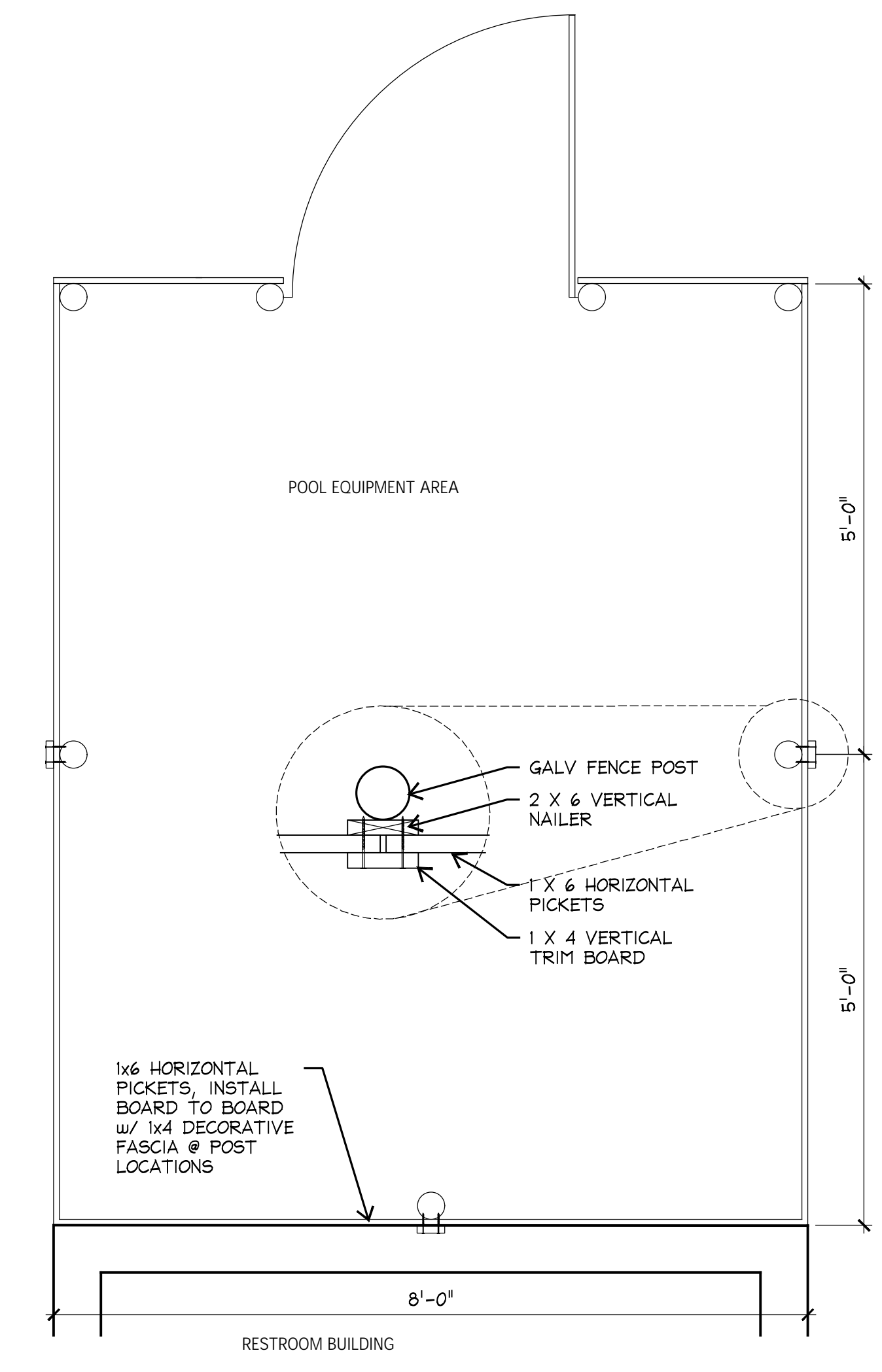
2 POOL EQUIPMENT - SCREEN FENCE
 ELEVATION

SCALE: 3/4"=1'-0"



3 POOL ENTRY DOOR
 ELEVATION

SCALE: 3/4"=1'-0"



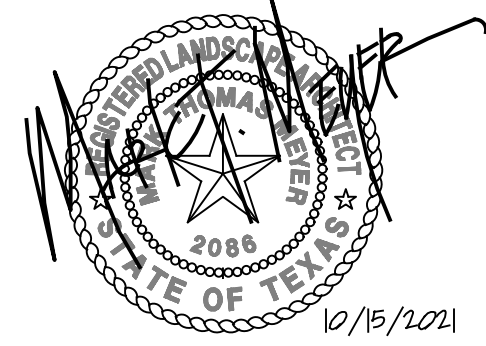
1 POOL EQUIPMENT- SCREEN FENCE
 PLAN

SCALE: 3/4"=1'-0"

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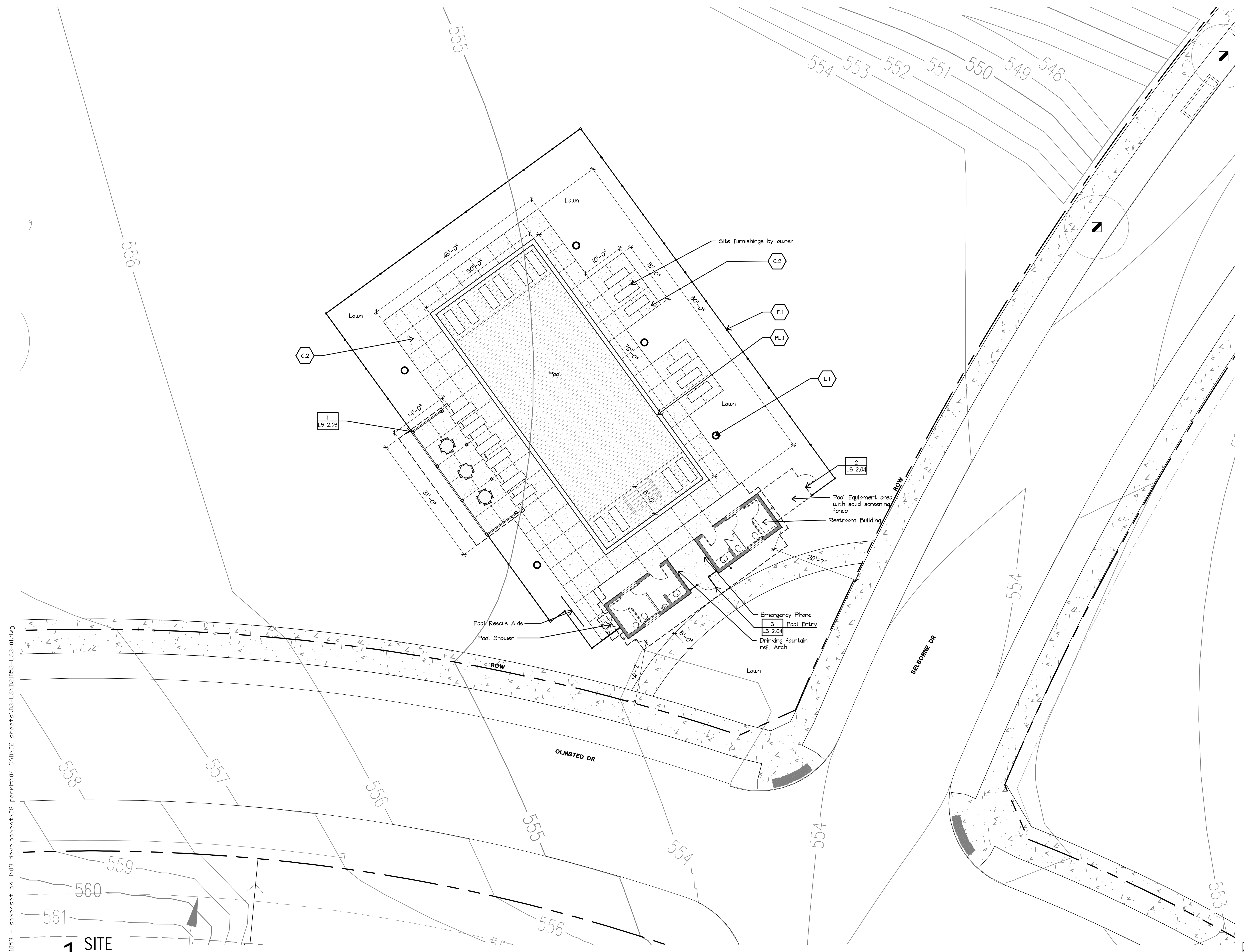
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 reviewed: JD, MM

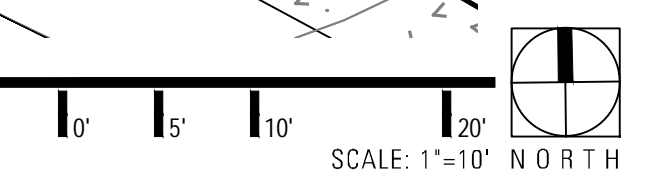
sheet title
sitework plan

sheet
LS 3.01



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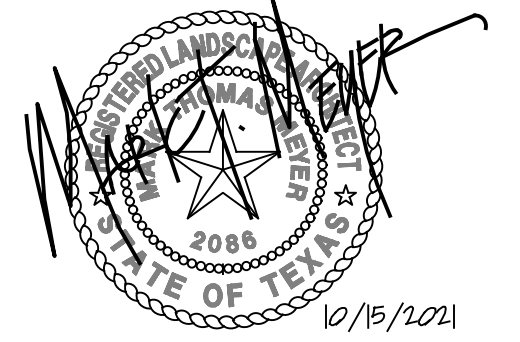
1 SITE



MATCHLINE: REF. 1/LP 1.02



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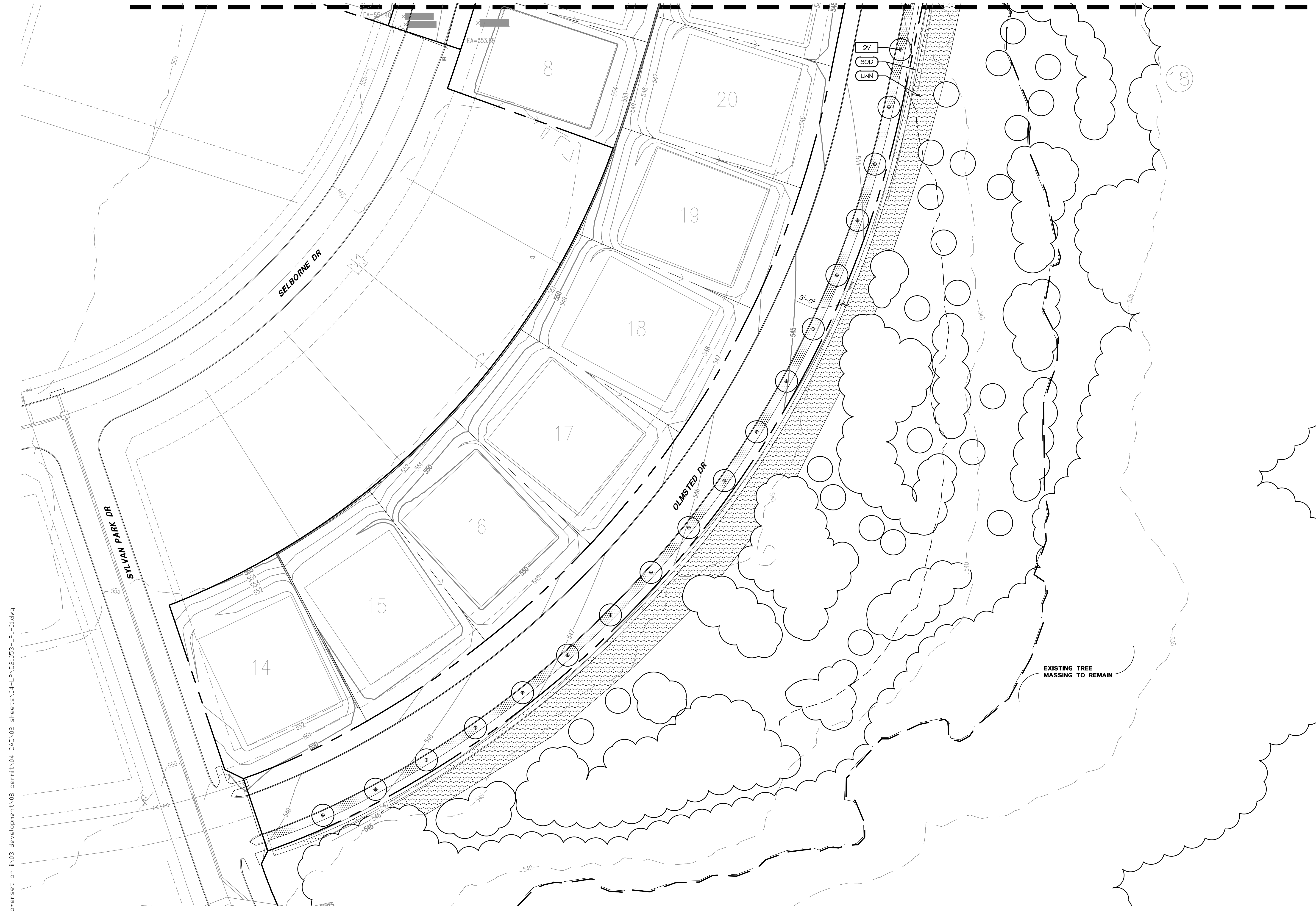
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issue date
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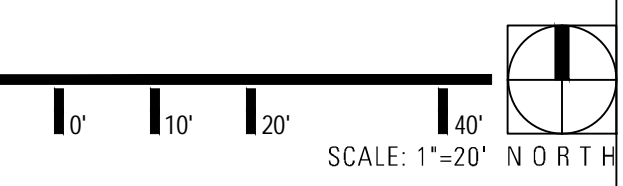
sheet title
planting plan

sheet
LP 1.01



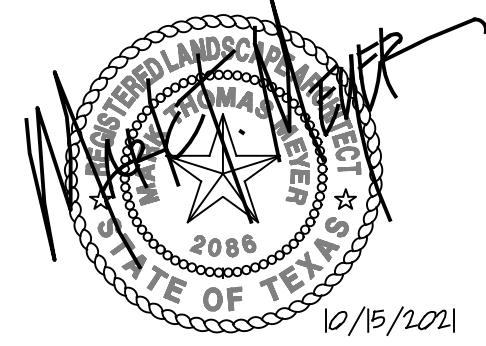
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1 Site
Plan





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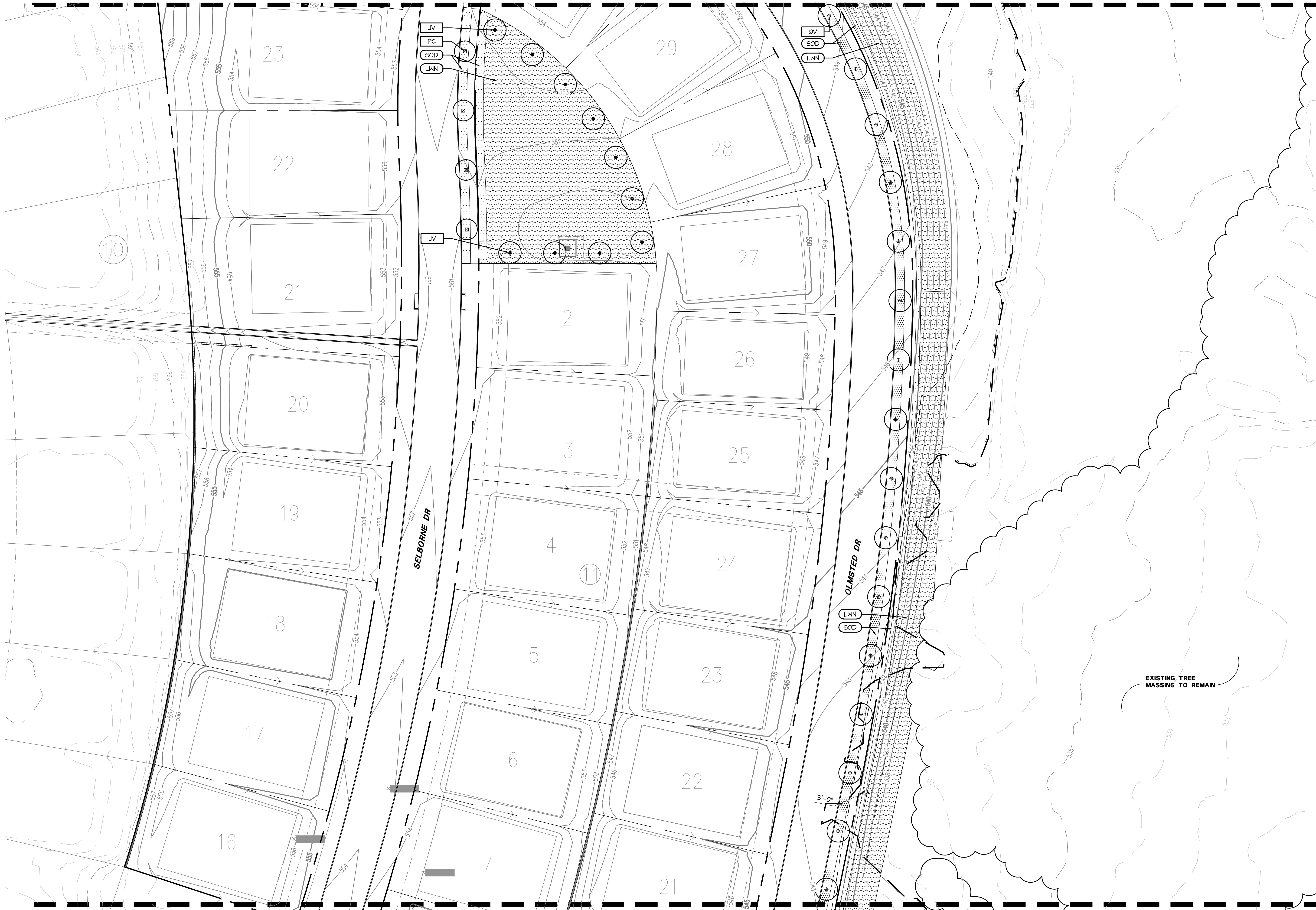
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sheet title
planting plan

sheet
LP 1.02

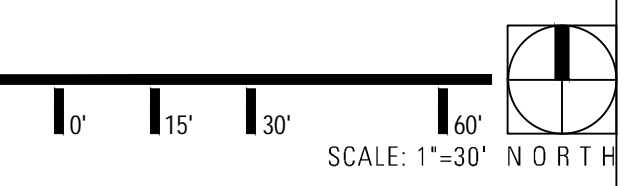
MATCHLINE: REF. 1/LP 1.03

MATCHLINE: REF. 1/LP 1.01



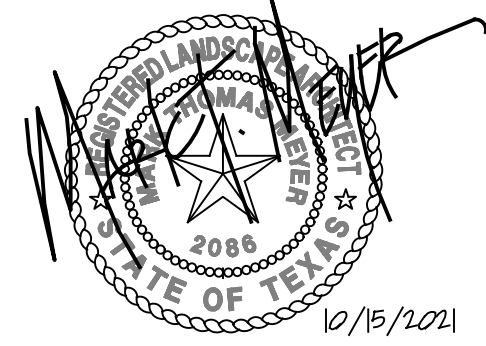
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1 Site
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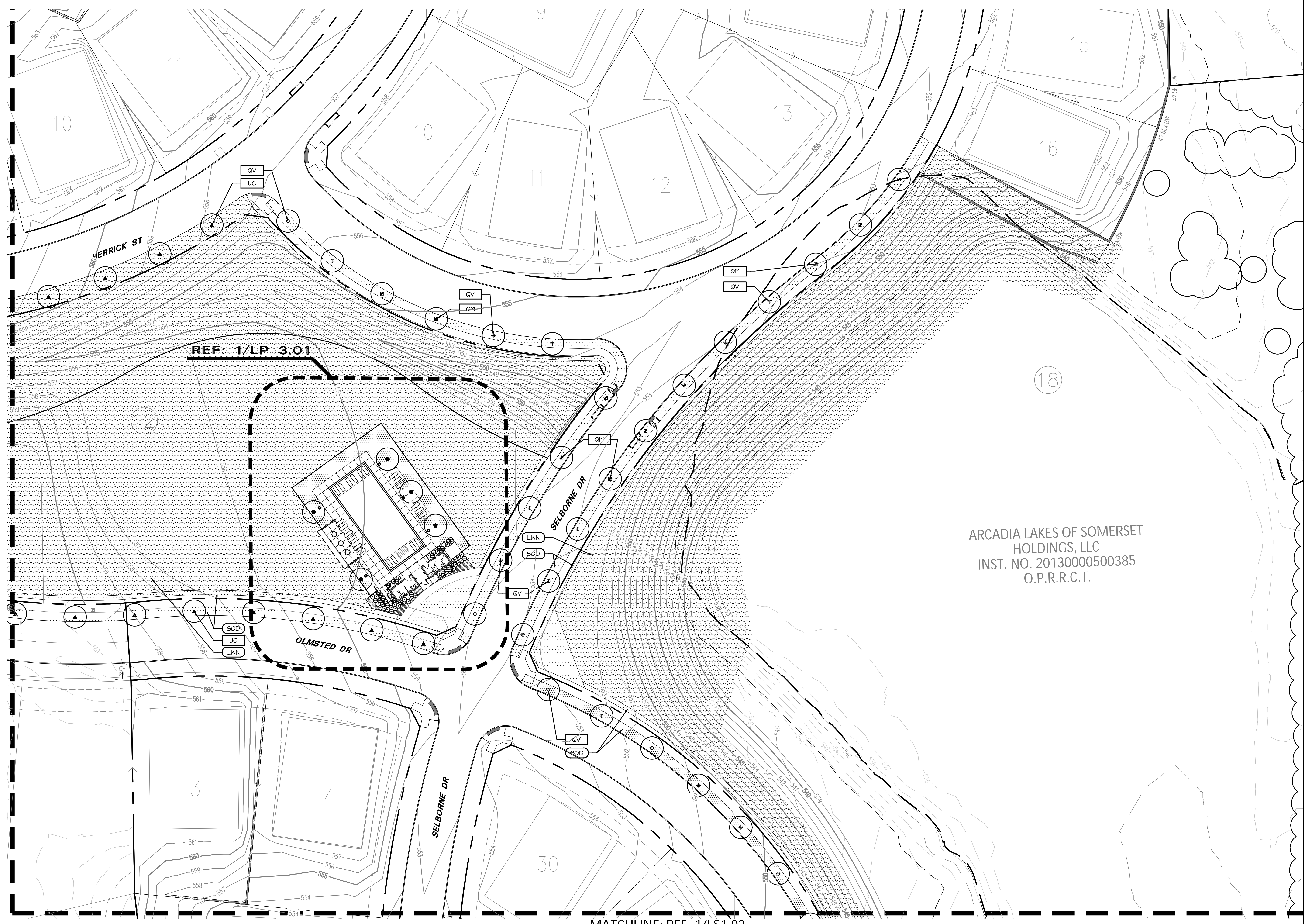
project number
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sheet title
planting plan

sheet
LP 1.03



MATCHLINE: REF. 1/LS1.04

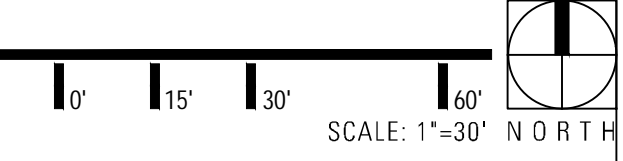
MATCHLINE: REF. 1/LS1.02

REF: 1/LP 3.01

ARCADIA LAKES OF SOMERSET
 HOLDINGS, LLC
 INST. NO. 20130000500385
 O.P.R.R.C.T.

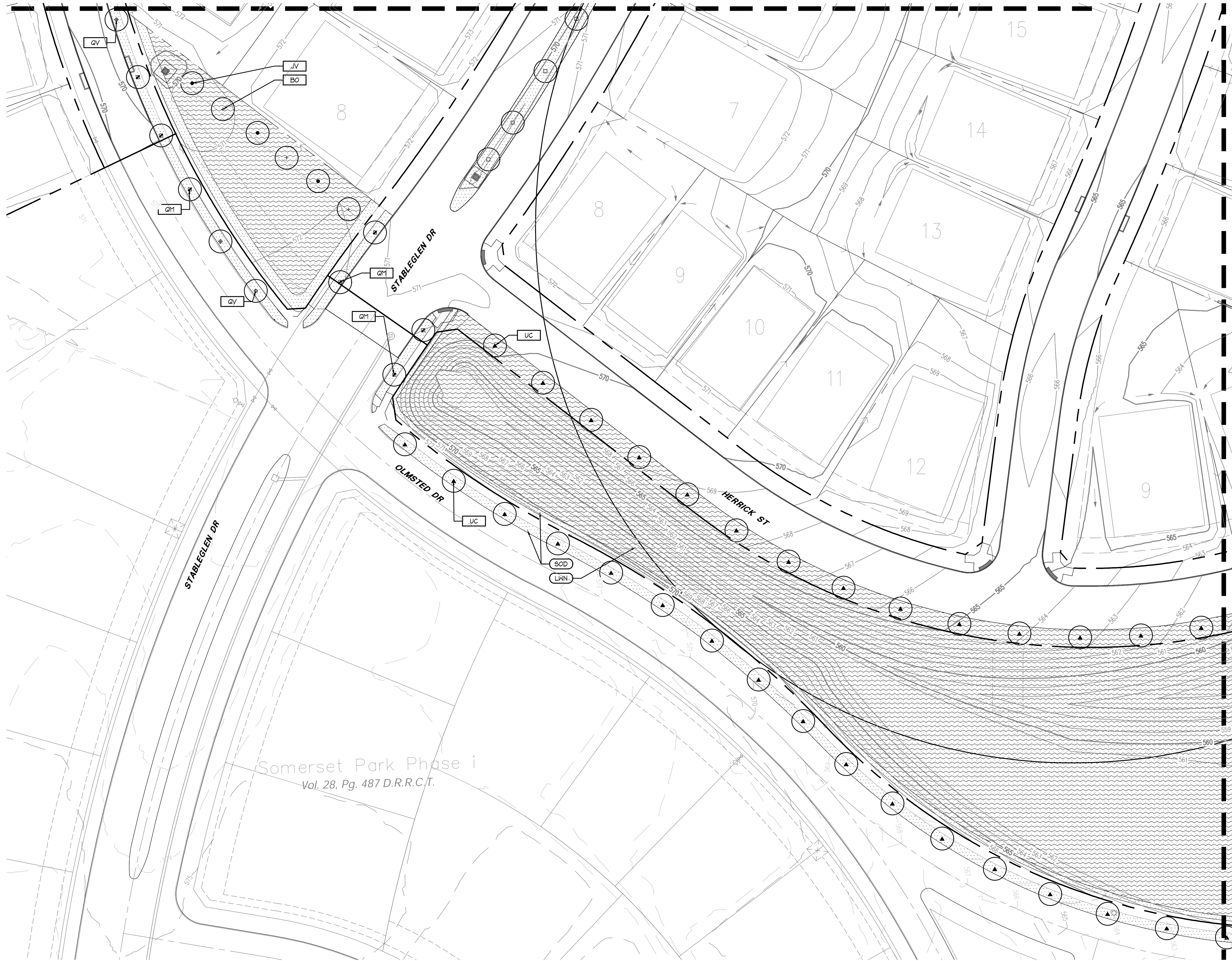
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1 Site
 Plan



SCALE: 1"=30' N O R T H

MATCHLINE: REF. 1/LS 1.05



Somerset Park Phase i
Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03

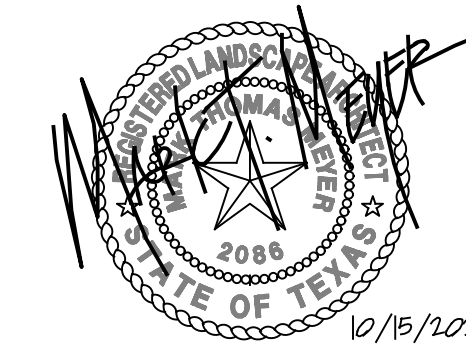


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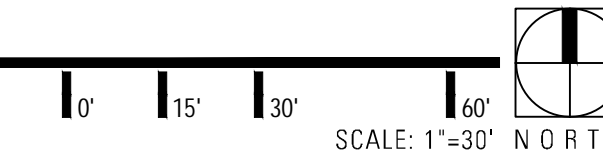
designed: JD, BD
drawn: BD, AC
reviewed: JD, MM

sheet title
planting plan

sheet
LP 1.04

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1 Site
Plan





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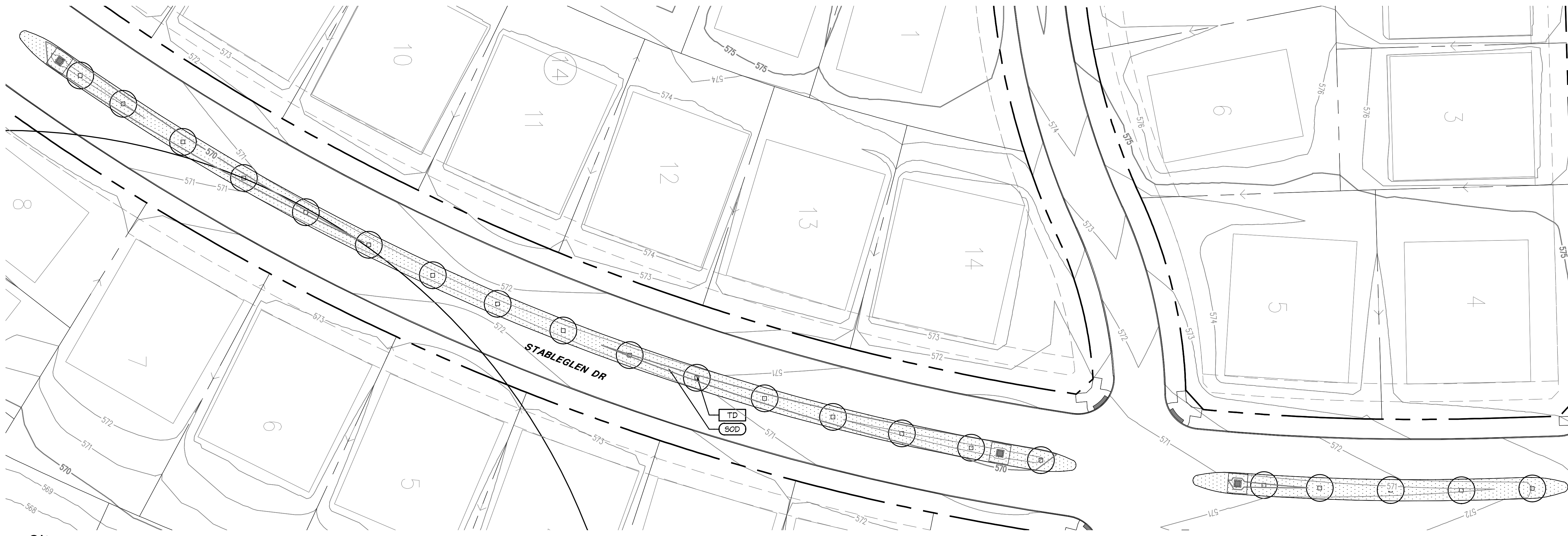
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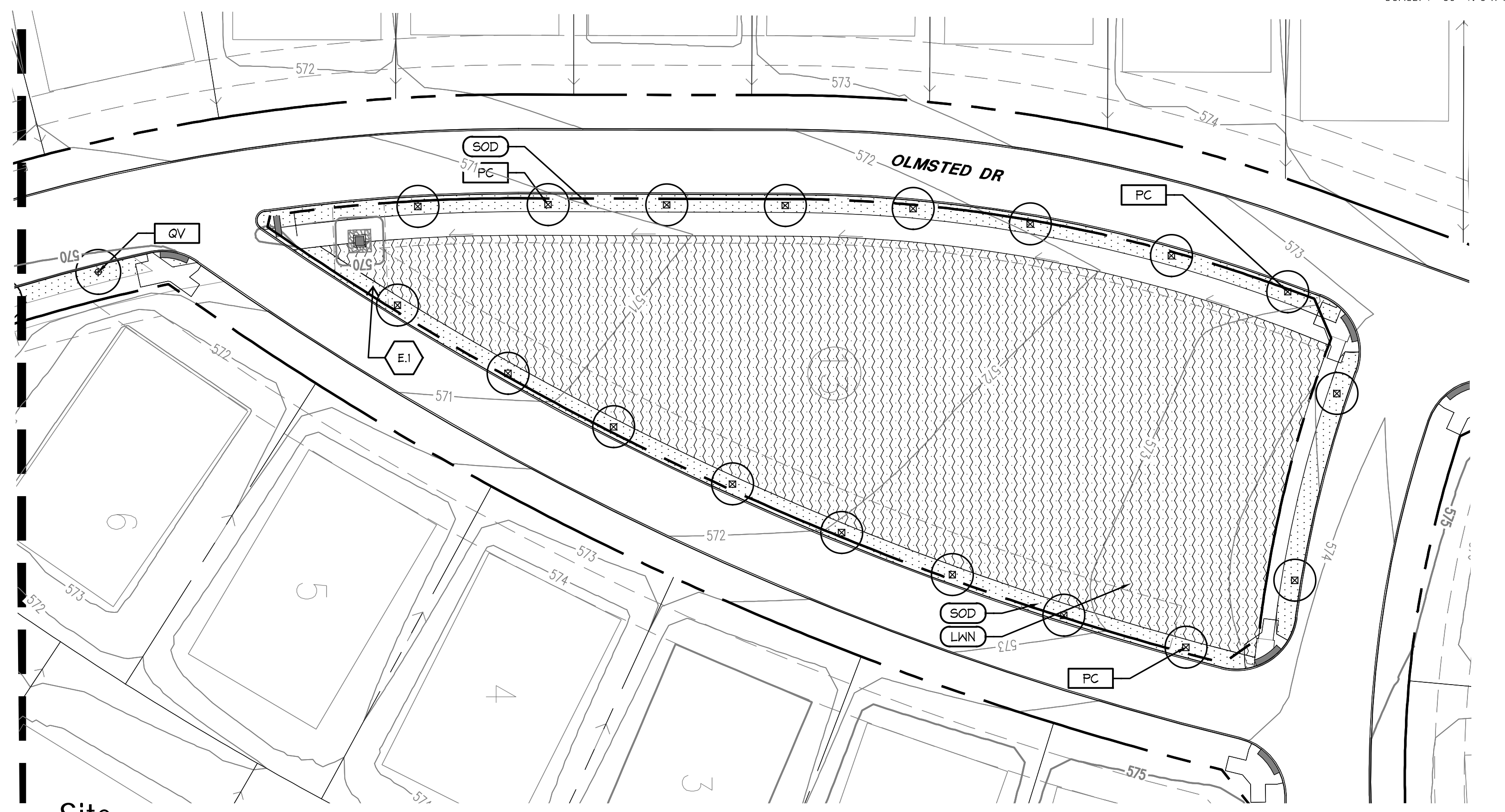
designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 1.05

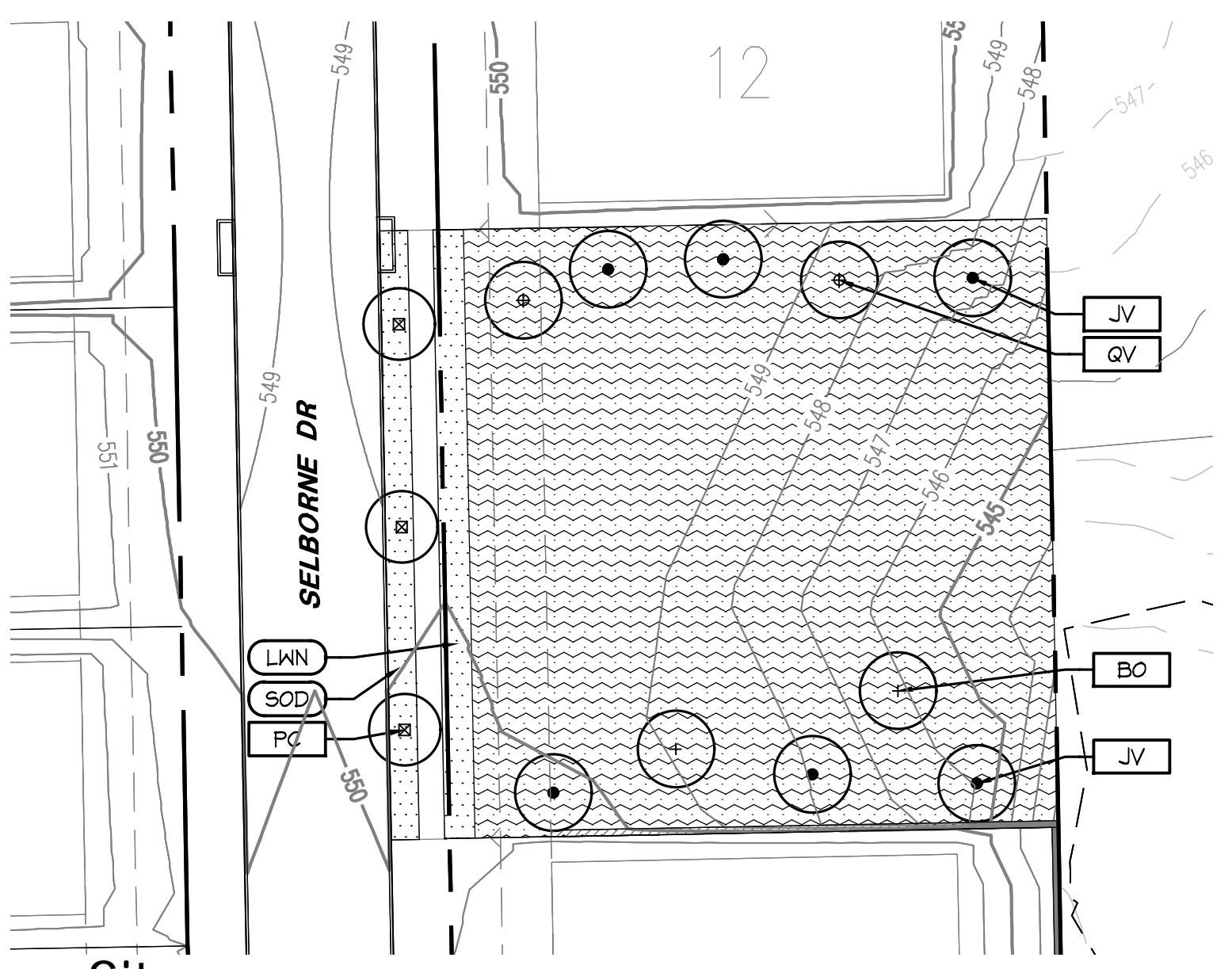


3 Site
 Plan



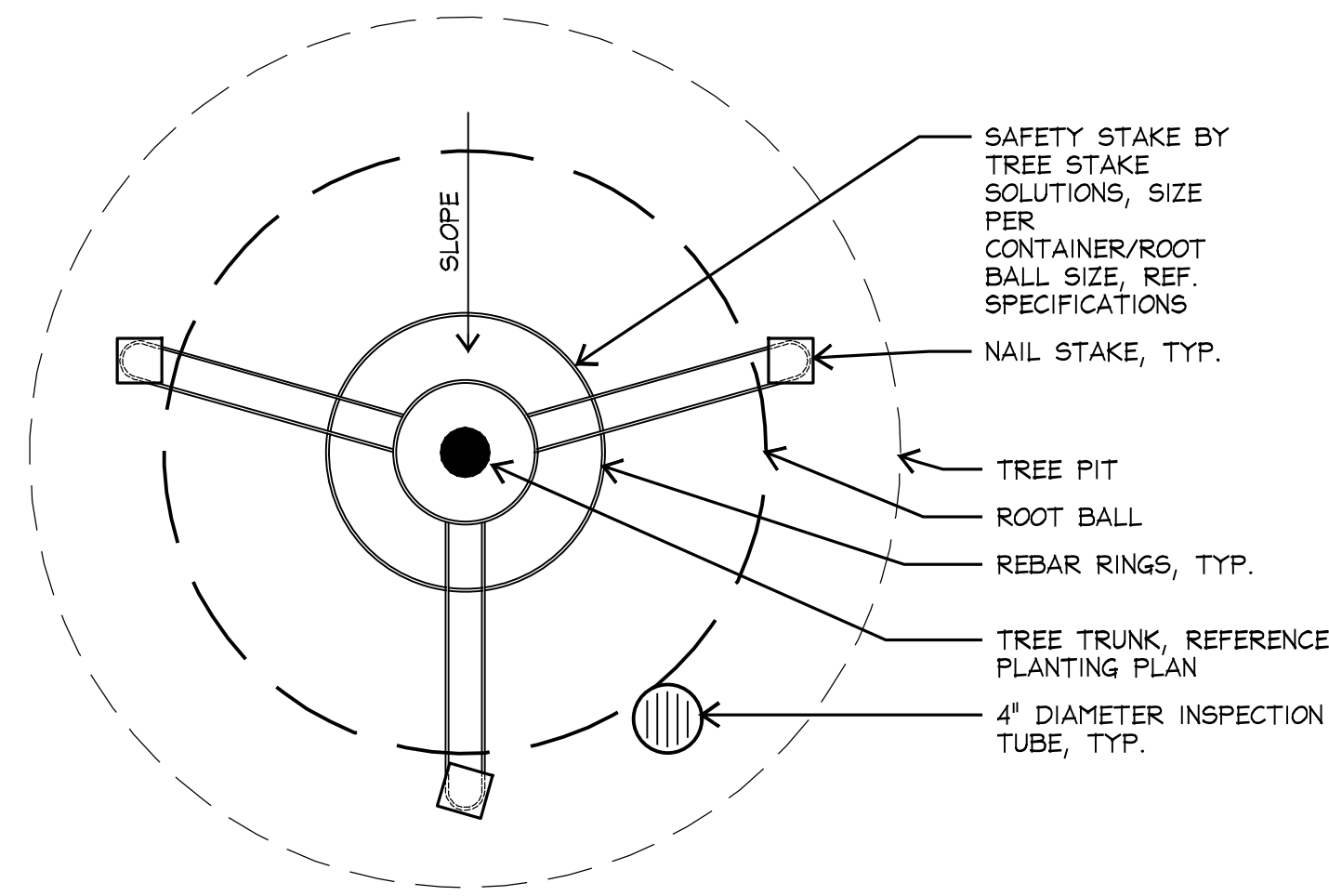
1 Site
 Plan

MATCHLINE: REF. 1/LP 1.04

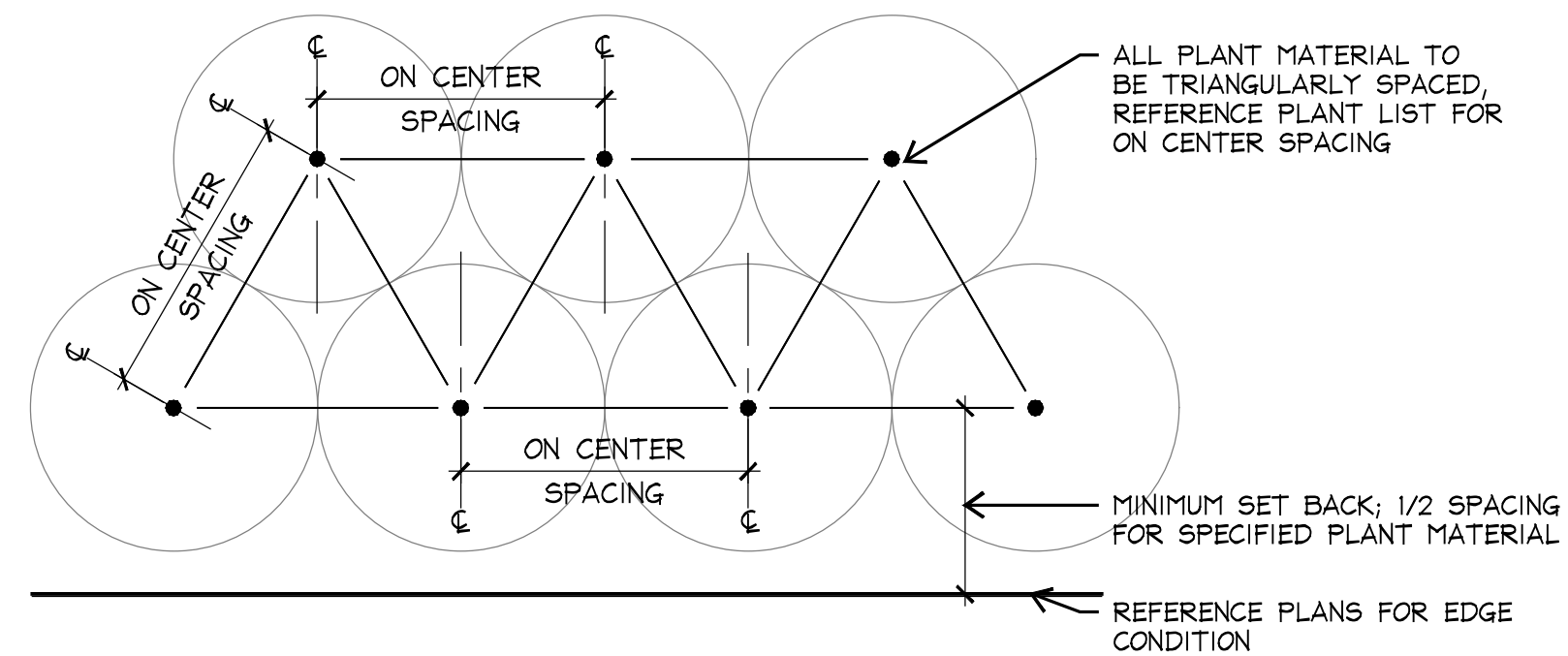


2 Site
 Plan

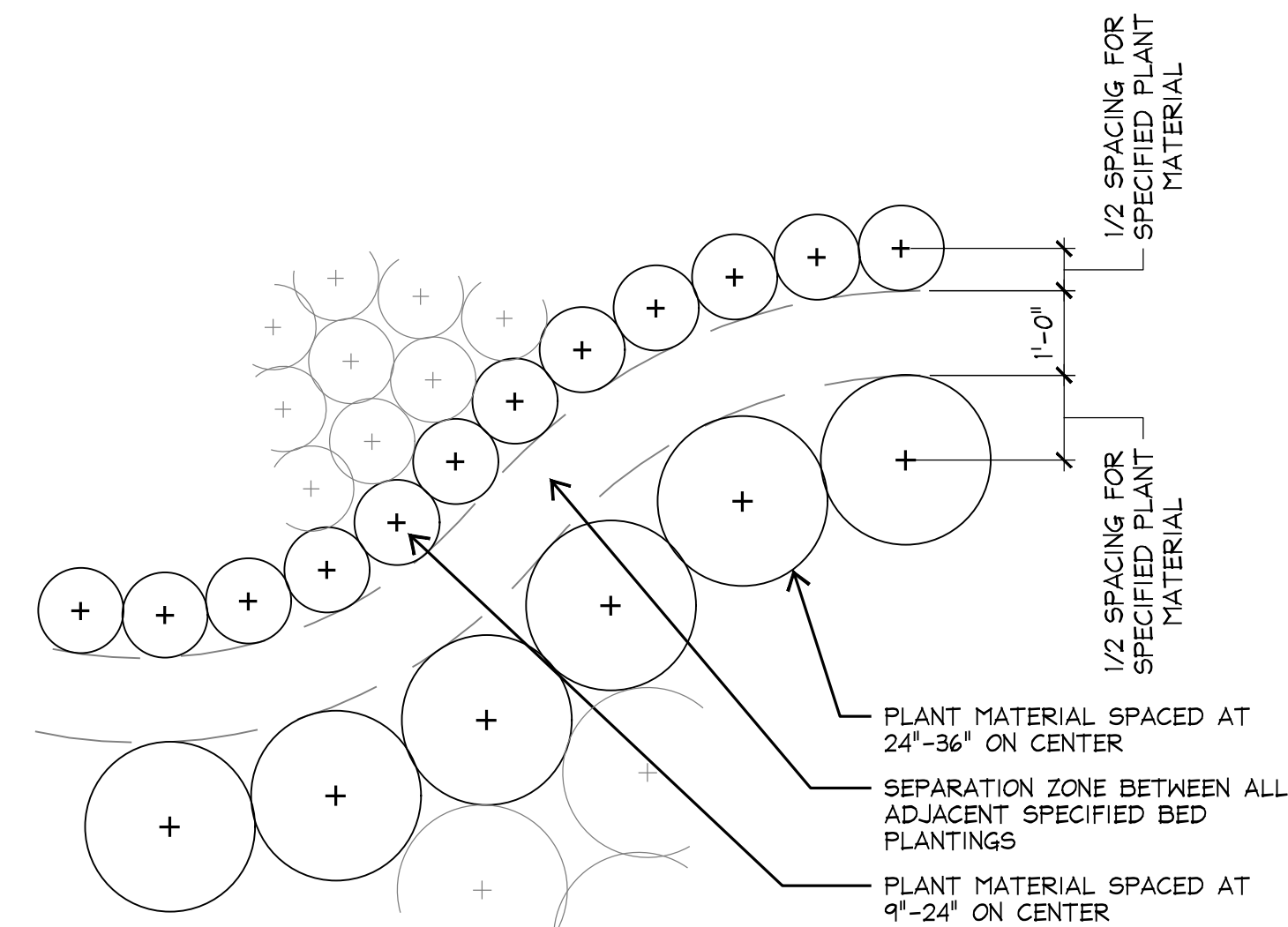
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5 TYPICAL TREE STAKING
PLAN NOT TO SCALE

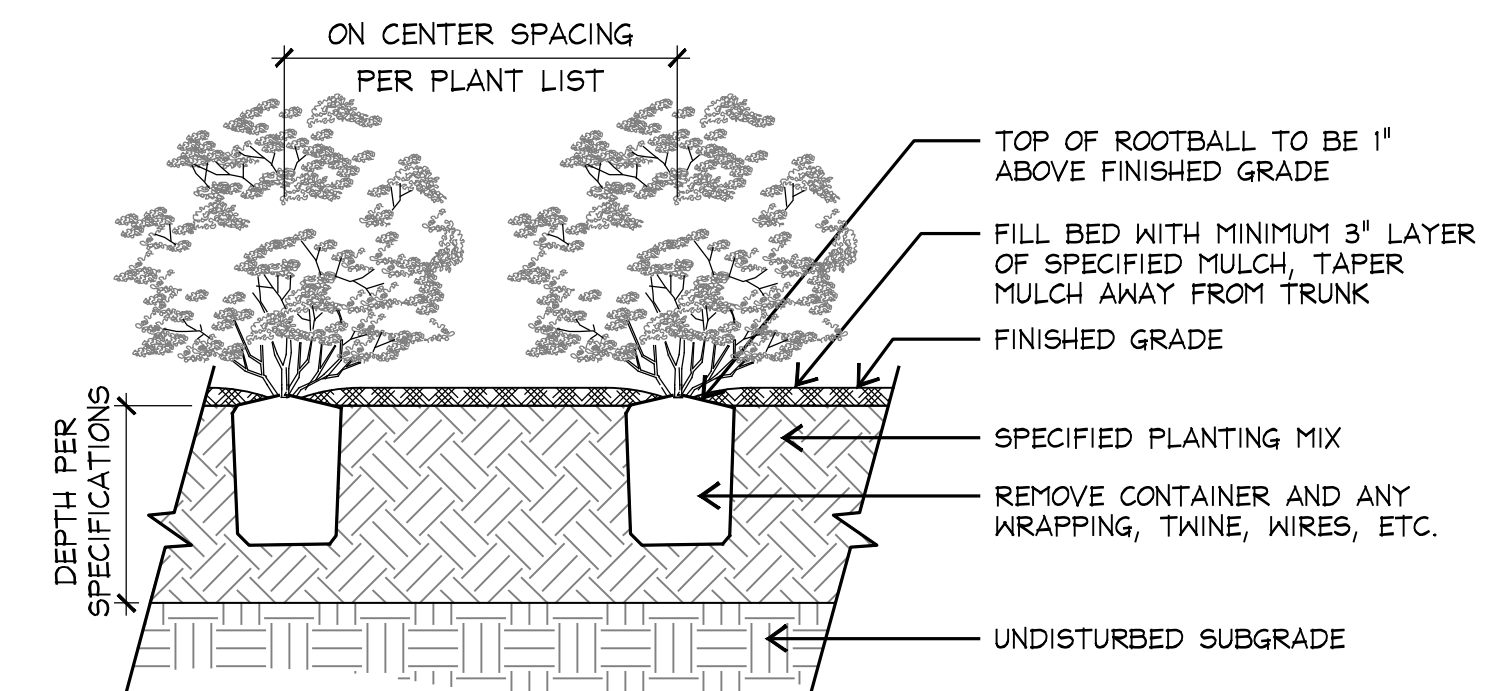


4 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

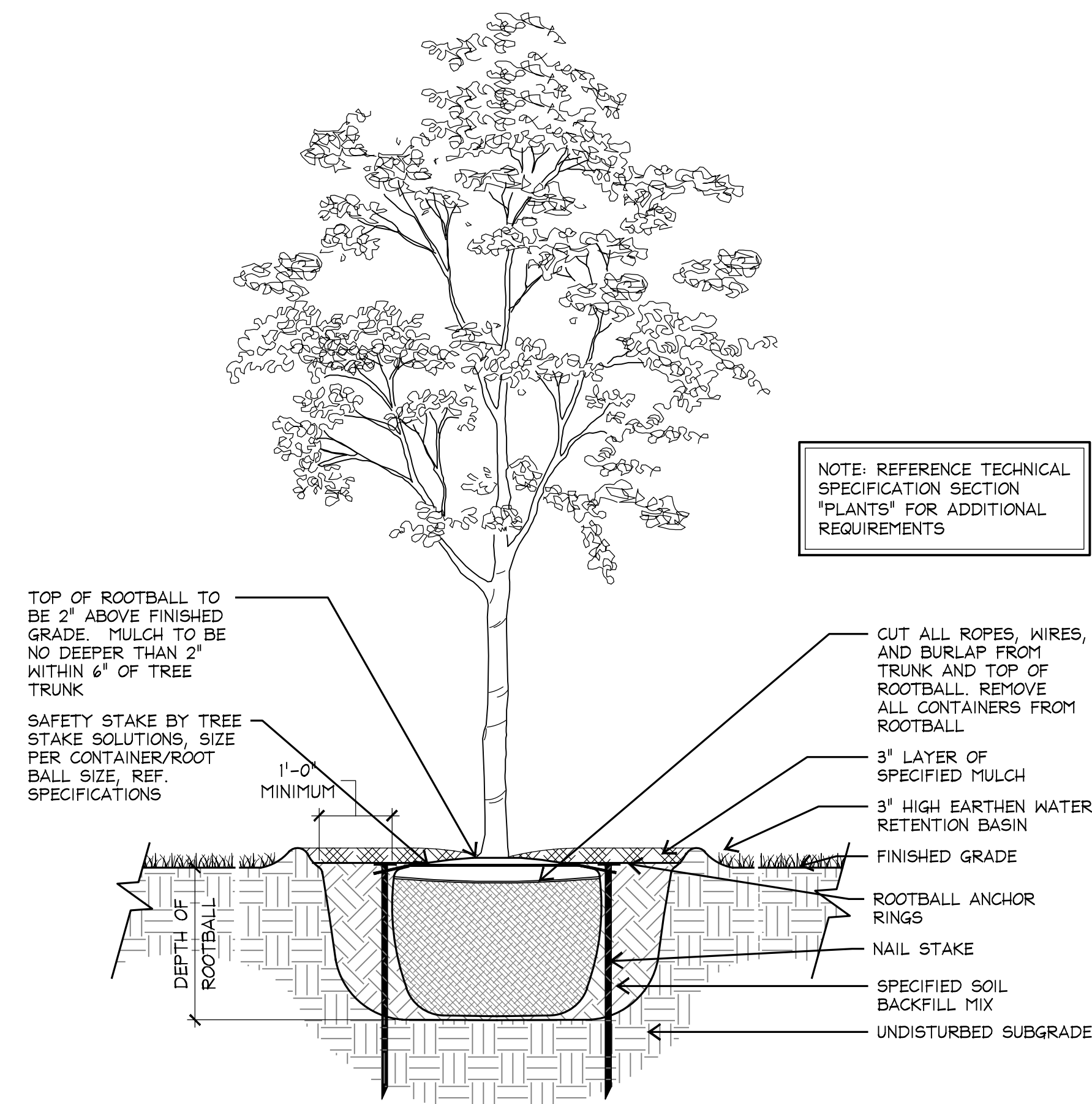


NOTE:
THIS DETAIL IS DRAWN TO SHOW THE INTENDED PLANTING LAYOUT OF ADJACENT SHRUB BEDS ALONG CURVES. CONTRACTOR TO PLANT ALL PERIMETER OF BED AREAS AS SHOWN AND THEN PLANT THE REMAINDER OF THE BED TRIANGULARLY AT THE SPECIFIED SPACING.

3 CURVED BED LAYOUT
PLAN NOT TO SCALE



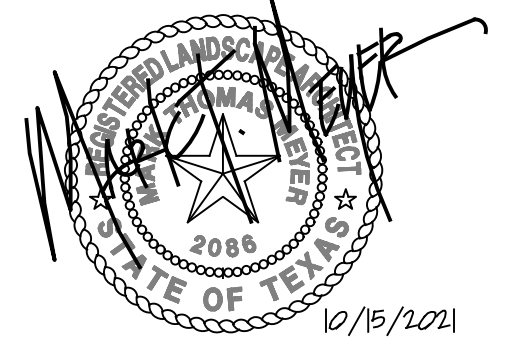
2 SHRUB BED PLANTING
SECTIONS NOT TO SCALE



1 TREE PLANTING - STANDARD TRUNK
SECTION NOT TO SCALE



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designed: JD BD
drawn: BD AC
reviewed: JD MM

sheet title
**planting
details**

sheet
LP 2.01

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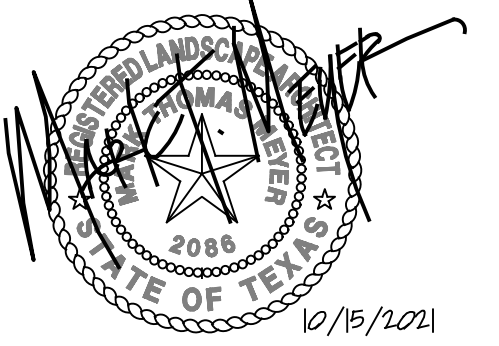


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designed: JD BD
drawn: BD AC
reviewed: JD MM

sheet title
**planting
schedule**

sheet
LP 2.02

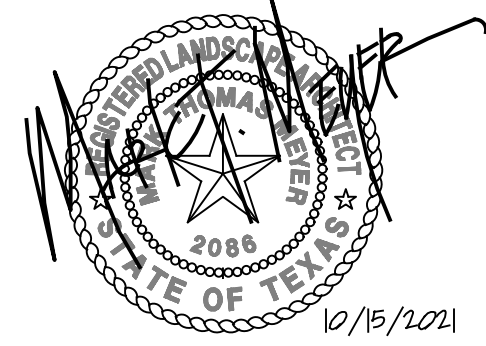
| PLANT LIST | | | | | | |
|---------------------------------------|---------|-----|----------------------|------------------------------|------------------|---------------------------------|
| SHADE TREES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 5 | | BO | BUR OAK | QUERCUS MACROCARPA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 19 | | JV | EASTERN RED CEDAR | JUNIPERUS VIRGINIANA | ---- | ---- |
| 25 | | PC | CHINESE PISTACHE | PISTACHIA CHINENSIS | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 16 | | QM | CHINQUAPIN OAK | QUERCUS MUEHLENBERGII | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 59 | | QV | LIVE OAK | QUERCUS VIRGINIANA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 21 | | TD | BALD CYPRESS | TAXODIUM DISTICHUM | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 42 | | UC | CEDAR ELM | ULMUS CRASSIFOLIA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 6 | | UP | LACEBARK ELM | ULMUS PARVIFOLIA | NONE | None |
| SHRUBS, ORNAMENTAL GRASSES, AND VINES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| | | MSA | ADAGIO MISCANTHUS | MISCANTHUS SINENSIS 'ADAGIO' | 3 GAL. @36" O.C. | None |
| PERENNIALS, GROUNDCOVERS, AND ANNUALS | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 25 | | LNQ | NEW GOLD LANTANA | LANTANA X 'NEW GOLD' | 1 GAL. 18" O.C. | DENSE. UNIFORM. |
| 40 | | SG | LIPSTICK AUTUMN SAGE | SALVIA GREGGII 'LIPSTICK' | 3 GAL. 24" O.C. | DENSE. UNIFORM. |
| TURF GRASS AND SEED MIXES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 82408 | | LNW | COMMON BERMUDA | CYNODON DACTYLON | HYDROSEED | HYDROSEED |
| 22494 | | SOD | COMMON BERMUDA | CYNODON DACTYLON | SOD | SOD |

1 Planting Schedule

SCALE: AS SHOWN



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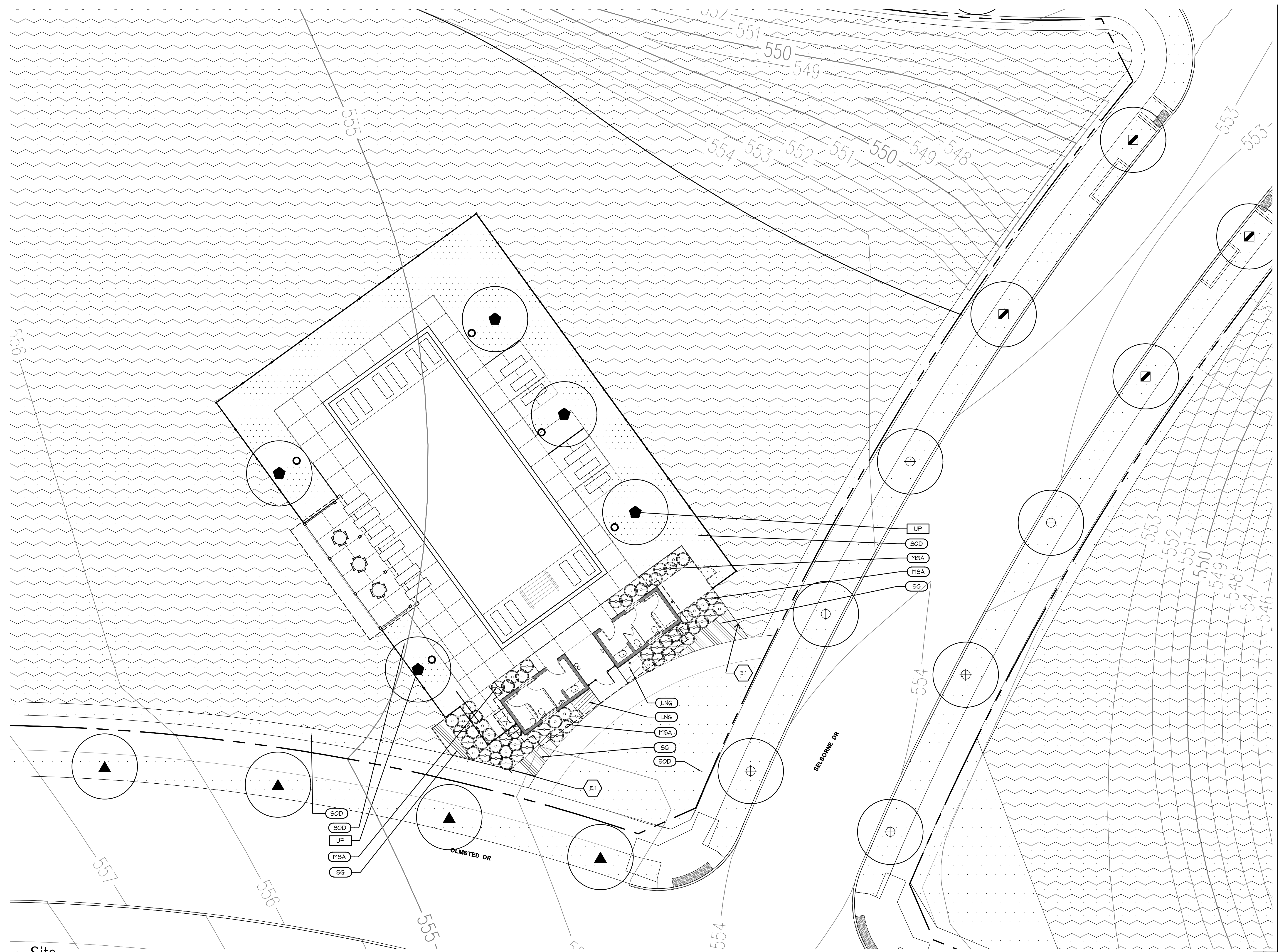
project number
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issue date
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designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 3.01



1 Site
 Plan

SCALE: 1"=10' N O R T H

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PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2021

PROJECT NUMBER: SP2021-029
PROJECT NAME: Site Plan for Phase 2 of the Somerset Park Subdivision
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Andrew Reyna
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: areyna@rockwall.com

CASE CAPTION: Discuss and consider a request by Greg Helsel of Spiars Engineering, Inc. on behalf of Bill Gietema of Arcadia Lakes of Somerset Holdings, LLC for the approval of a Site Plan for Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------|----------------|----------------------|
| PLANNING | Henry Lee | 10/21/2021 | Approved w/ Comments |

10/21/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6488 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2021-029) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the requirements stipulated by Planned Development District 63 (PD-63), and the Development Standards of Article V, that are applicable to the subject property.
- M.5 Provide the standard signature block with signature space for the Planning & Zoning Chairman and Planning Director. (Subsection 03.04.A, of Article 11)

Planning & Zoning Commission, Chairman Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the DAY day of MONTH, YEAR. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this DAY day of MONTH, YEAR.

Mayor, City of Rockwall City Secretary City Engineer

M.6 Site Plan:

- 1. Provide the lot square footage. (Subsection 03.04.B, of Article 11)

2. Provide the dimensions of the site. In this case provide the dimensions for the enclosure for the pool. (Subsection 03.04. B, of Article 11)
3. Indicate the building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
4. Indicate the all easements existing and proposed. In this case the final plat for this case indicates a 10' utility easement; incorporate this into the site plan. (Subsection 03.04. B, of Article 11)
5. Indicate any proposed fire hydrants. (Subsection 03.04. B, of Article 11)
6. Please label the sidewalk shown on the site plan. (Subsection 03.04. B, of Article 11)
7. Indicate the adjacent street Right-of-Ways and the centerlines. (Subsection 03.04. B, of Article 11)
8. All subdivision signage or features shall be reviewed during the PD site plan process. If any signage is to added in Somerset Phase 2 it should be reviewed now; provide any exhibits for proposed signage associated with this phase. (Exhibit G, item 17, of Ordinance No. 14-49)
9. The proposed opaque screening for the pool utility equipment does not meet the PD ordinance (Ordinance No. 14-49). Please review Exhibit G, subsections d & f and make the necessary changes. (Subsection 01.05. C, of Article 05)

M.7 Landscape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. Included in the site data should be the Impervious Area vs. Pervious Area. (Section 2.1 of this checklist; Subsection 01.01. B, of Article 05)
2. Shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Include accent trees around the 4' wrought iron pool fence to screen the opaque fence screening the utility equipment. (Subsection 05.03. B, of Art. 08)
4. Add a note on sheet 1 indicating that the irrigation will meet the requirements of the Unified Development Code (UDC). (Subsection 05.04, of Article 08)

M.8 Treescap Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Reviewing the Treescap Plan the mitigation balance was found to be 69-inches; errors were found in the tree table with the following items: 615, 616-620, 624-626, 639, 640, 642, 643, 645-647, 649, 650, 659-661. The plan also indicates that their will be a mitigation fee, however given that more than 69-inches are being planted on site then there is no mitigation fee.

M.9 Photometric Plan

1. If any lighting is being added to the site please provide a photometric plan and cutsheets of each light fixture. (03.03, of Article 07)

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on November 2, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 2, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 9, 2021 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 26, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on November 9, 2021.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|----------------|----------------|-------------------|
| ENGINEERING | Sarah Johnston | 10/21/2021 | Needs Review |

10/21/2021: M - Show 10 Utility Easement that fronts ROW. no structures allowed in easement.

M - All trees planting in the right-of-way to include root barrier

M - All landscape and hardscape plans to show proposed/existing water, sewer, and storm lines
M - All trees to be planted 5' from all water, sewer, and storm lines.

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|-----------|----------------|-------------------|
| BUILDING | Henry Lee | 10/22/2021 | N/A |
| No Comments | | | |

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|----------------|----------------|-------------------|
| FIRE | Ariana Kistner | 10/20/2021 | Approved |
| No Comments | | | |

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|-------------|-----------------|----------------|-------------------|
| GIS | Lance Singleton | 10/19/2021 | Approved |
| No Comments | | | |

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------|----------------|-------------------|
| POLICE | Ed Fowler | 10/19/2021 | Approved |

10/19/2021: There are numerous suggestions and comments that are appropriate to potentially enhance the safety and security of the development. I would be more than willing to meet with the developers to discuss these suggestions.

EMF#902

| DEPARTMENT | REVIEWER | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|----------------------|
| PARKS | Travis Sales | 10/19/2021 | Approved w/ Comments |

10/19/2021: Same as P2021-056 on fees

Landscape approved

10/19/2021: Landscape approved but all trees are 4" caliper minimum



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION SOMERSET PARK PH.2

LOT - BLOCK -

GENERAL LOCATION NEOF THE INTERSECTION OF SH 205 AND FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-63

CURRENT USE VACANT

PROPOSED ZONING PD-63

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 82.809

LOTS [CURRENT] 1

LOTS [PROPOSED] 165 (RES.) 6 (HOA)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ARCADIA LAKES OF SOMERSET HOLDINGS, LLC APPLICANT SPINES ENGINEERING, INC.

CONTACT PERSON BILL BEETEMA

CONTACT PERSON GREG HELSEL

ADDRESS 3500 MAPLE AVENUE
SUITE 1165

ADDRESS 765 CUSTER RD.

CITY, STATE & ZIP DALLAS, TX 75219

CITY, STATE & ZIP PLANO, TX 75075

PHONE (214) 986-5024

PHONE (903) 408-7486

E-MAIL bill@arcadiarealty.net

E-MAIL greg.helsel@spinesengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Beetema Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

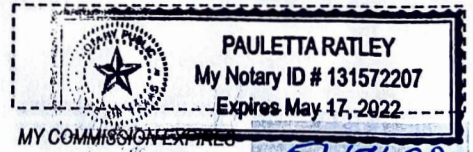
¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 + 20.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

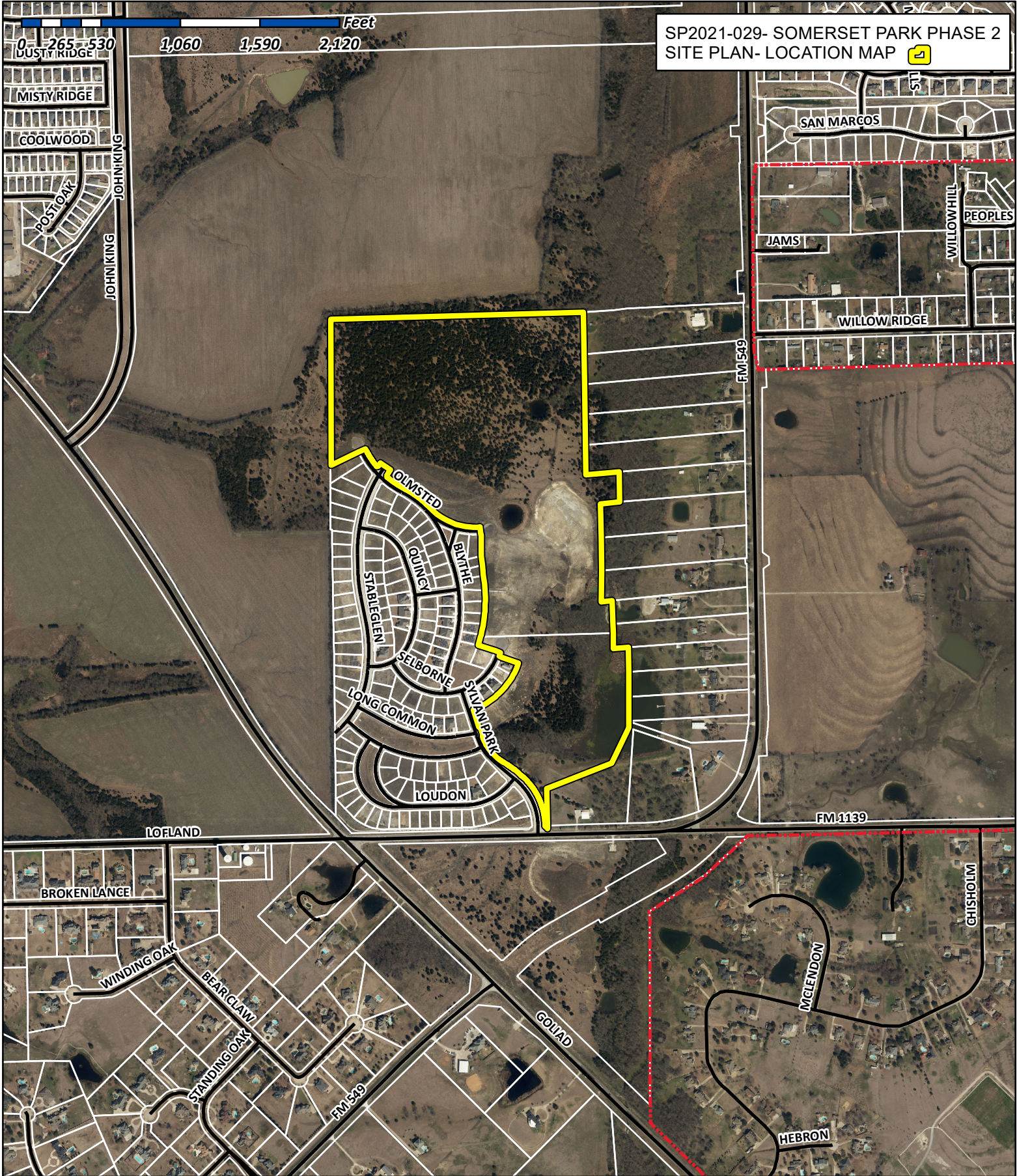
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2021.

OWNER'S SIGNATURE

[Signature]
Pauletta Ratley

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2021-029- SOMERSET PARK PHASE 2
 SITE PLAN- LOCATION MAP



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



October 15, 2021

Mr. Ryan Miller
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Contacts Affiliated with
Somerset Park Phase II
Rockwall, Texas
SEI Project No.: 20-112

Dear Mr. Miller:

Please find below a list of all affiliated contacts for the above mentioned project:

Owner/Developer:

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue
Suite 1165
Dallas, Texas 75219
katherine@arcadiarealty.net

Project Representative:

Greg T. Helsel, P.E.
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
972-215-7129
972-422-0075 fax
greg.helsel@spiarsengineering.com

If you have any questions, please do not hesitate to contact me.

Sincerely,
Spiars Engineering, Inc.



Greg T. Helsel, P.E.





City of Rockwall
385 S Goliad Street
Rockwall, TX 75087

RE: Somerset Park- Park Improvement Fee

This letter shall detail the estimated costs Arcadia Lakes of Somerset Holdings, LLC will be spending on park improvements in Phase 2 of Somerset Park. Per City policy, the Park Improvement Fee will be waived provided these outlined costs are equal to or greater than the calculated Park Improvement Fees.

Below we have provided an outline of the cost of the park improvements we will be making in Somerset Park Phase 2 to offset the fee. There will be approximately 21,896 square feet of trail in Phase 2, priced at \$4.85 per square foot for a total of \$116,815.16 including a 10% contingency to provide for potential cost increases. Additionally, not included in the costs below Arcadia will be building an Amenity Center that can offset any remaining difference. Please let us know if we can provide any additional information.

*Please see the landscaping plan included in the submittal for sheet numbers.

| Somerset Park Phase 2: Hike/Bike Trail Costs | | | | | |
|---|------------|--------------------|-------------|-------------------|---------------------|
| Item | Qty | Description | Unit | Unit Price | Extension |
| Sheet LS1.01 Olmsted Drive ROW | | | | | |
| 1 | 6,144 | 8' Trail | SF | \$4.85 | \$29,798.40 |
| Sheet LS1.02 Olmsted Drive ROW | | | | | |
| 2 | 4,928 | 8' Trail | SF | \$4.85 | \$23,900.80 |
| Sheet LS1.04 Olmsted Drive ROW | | | | | |
| 3 | 7,104 | 8' Trail | SF | \$4.85 | \$34,454.40 |
| Sheet LS1.05 Olmsted Drive (Open Space ROW) | | | | | |
| 4 | 3,720 | 8' Trail | SF | \$4.85 | \$18,042.00 |
| Subtotal | | | | | \$106,195.60 |
| 10% Contingency | | | | | \$10,619.56 |
| TOTAL | | | | | \$116,815.16 |

Regards,

A handwritten signature in blue ink, appearing to read "Katherine Hamilton".

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, TX 75219



TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

(214) 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

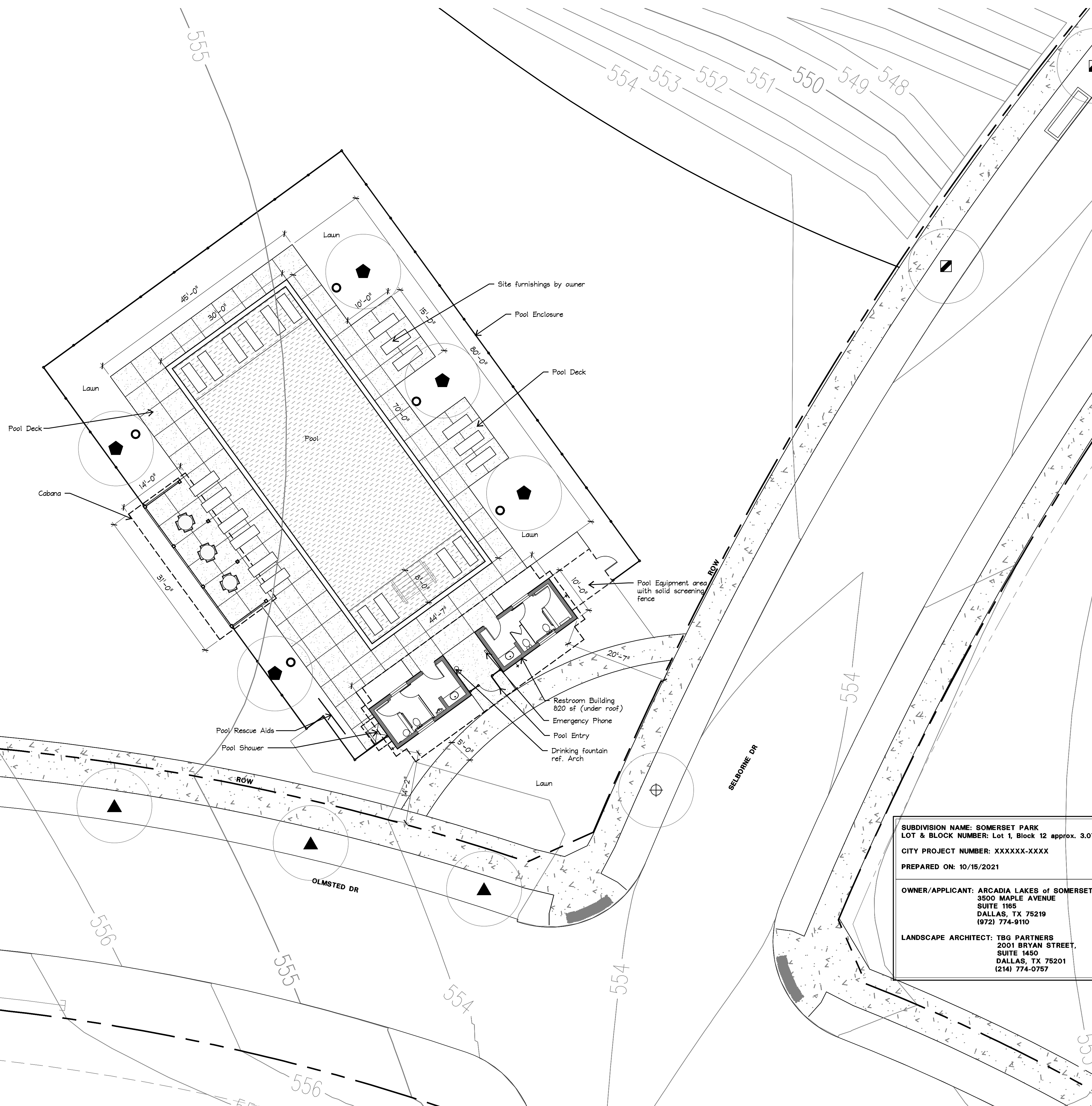
issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD, MM

sheet title
site plan

sheet
SP 1.1

SITE PLAN NOTES:
PARKING IS TO BE ACCOMMODATED ON-STREET.
NO DUMPSTER IS PROVIDED



SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10/15/2021
OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110
LANDSCAPE ARCHITECT: TBG PARTNERS
2001 BRYAN STREET,
SUITE 1450
DALLAS, TX 75201
(214) 774-0757

P:\D21053 - Somerset Ph II\03 Development\08 Permit\04 CAD\02 Sheets\SP\21053-SP1.1.dwg

1 SITE

1" = 10' NORTH
SCALE: 1"=10' N O R T H

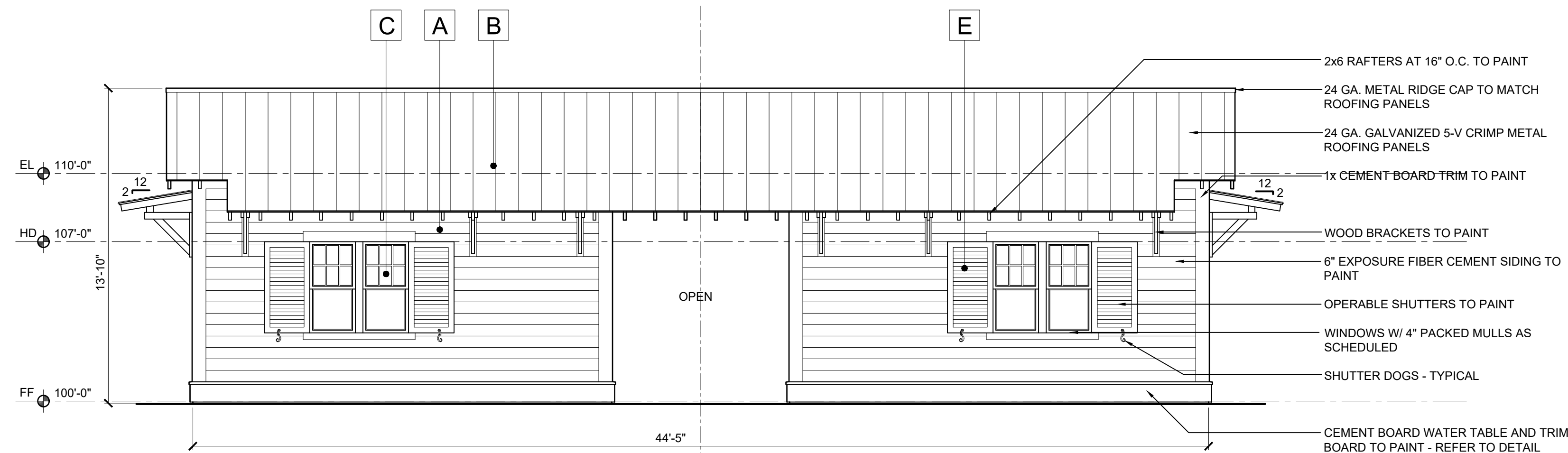
OCTOBER 15, 2021

SOMERSET PARK ROCKWALL, TEXAS FACADE PLAN SUBMITTAL

A2.1

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 248 S.F. | 44% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 32 S.F. | 6% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



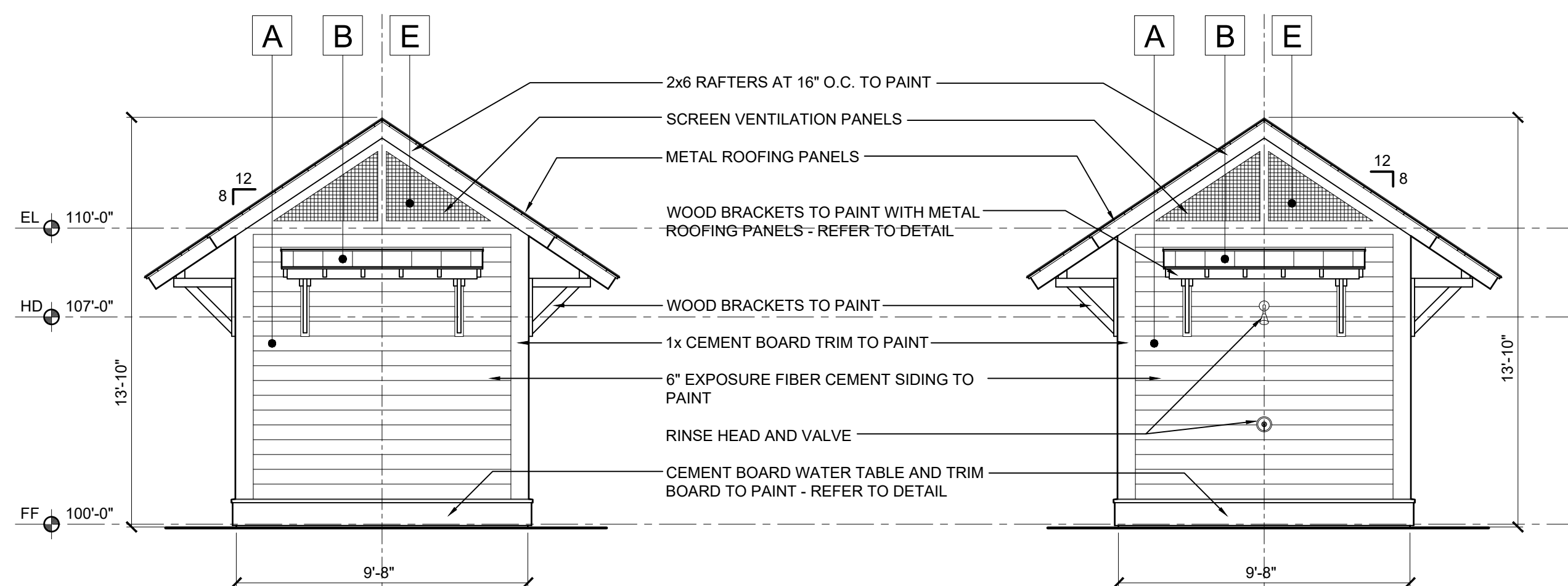
4 SOUTH ELEVATION
1/4" = 1'-0"

TABULATIONS

| | |
|-----------------------------|-----------------------|
| CONSTRUCTION TYPE: | 5-B (NON-SPRINKLERED) |
| SQUARE FOOTAGE: | 352 SF |
| SQUARE FOOTAGE ALLOWED: | 5500 SF |
| OCCUPANCY: | U |
| OCCUPANT LOAD @ 1/50 GROSS: | 7 |
| HEIGHT: | 13'-10" |
| HEIGHT ALLOWED: | 40' |
| STORIES: | 1 |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |



3 EAST ELEVATION
1/4" = 1'-0"

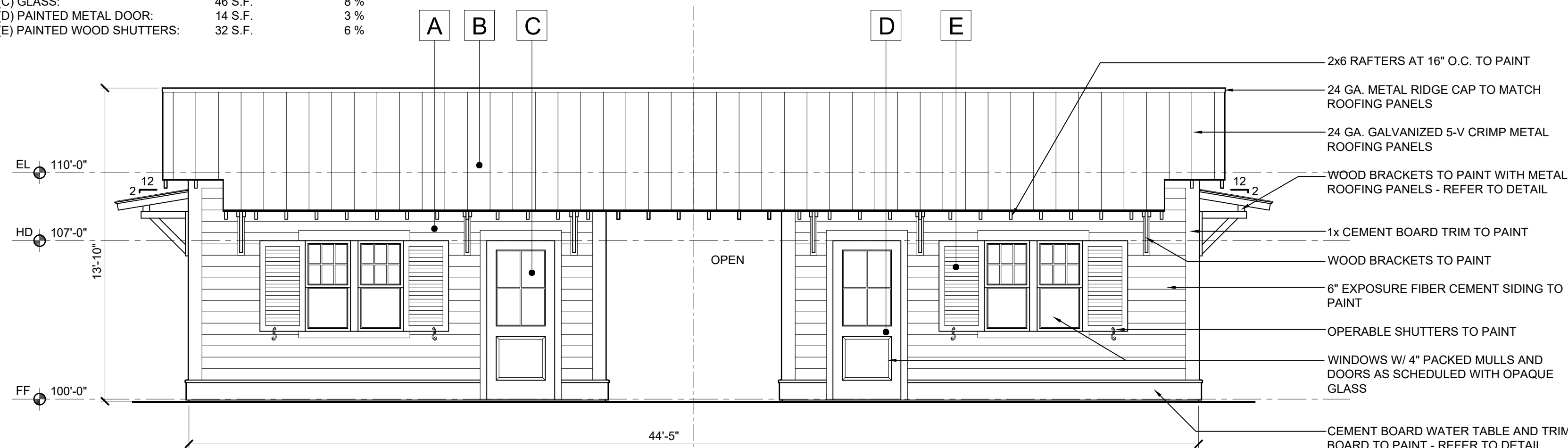
2 WEST ELEVATION
1/4" = 1'-0"

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

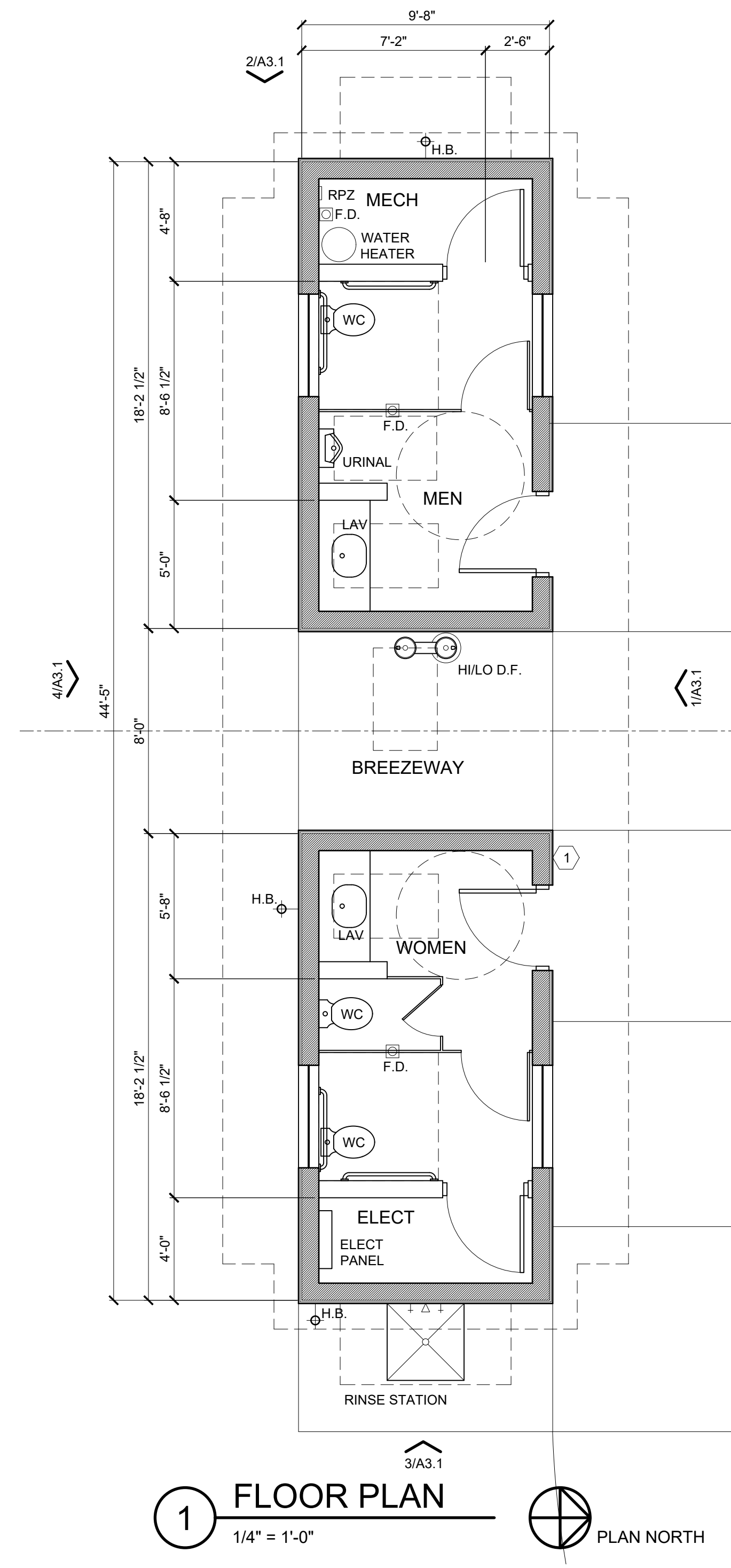
| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 220 S.F. | 39% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 46 S.F. | 6% |
| (D) PAINTED METAL DOOR: | 14 S.F. | 3% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



1 NORTH ELEVATION
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



BUILDING FACADE / ELEVATION PLAN

SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10-15-2021

OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110
ARCHITECT: LARSON & PEDIGO ARCHITECTS
3012 CANTON STREET
DALLAS, TX 75226
(214) 939-0995

SUBMISSION / REVISION LOG:

| SUBMISSION DATE | REVISION DATE |
|-----------------|---------------|
| 10/15/2021 | |
| | |

FACADE PLAN NOTES:
• ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE

PRELIMINARY
NOT FOR CONSTRUCTION



Exterior Elevation Example

This is a representative photo, the finished building will have revised colors. Please see color board as a part of this submittal.

Somerset Park – HOA Lot 1, Block 12

15 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529



Shutters

Benjamin Moore 840 – Kensington Blue



Painted Trim

Benjamin Moore OC-85 – Mayonnaise



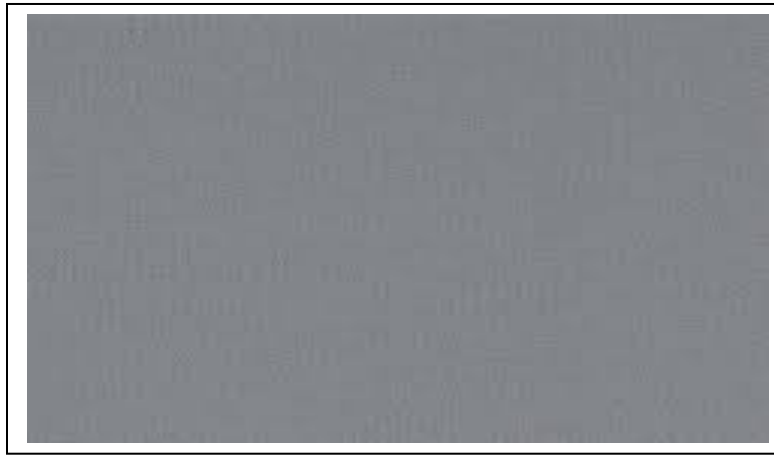
Painted Doors

Benjamin Moore 2021-50 – Yellow Lotus



Painted Siding

Benjamin Moore 2062-70 – Harbor Fog



Metal Roofing

Preweathered Galvalume, Berridge

Somerset Park – HOA Lot 1, Block 12

10 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
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Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529

ISSUE FOR PERMIT:

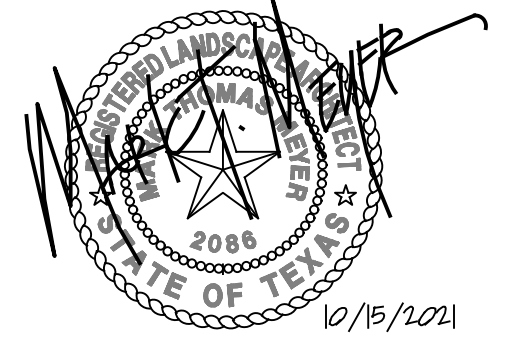
SOMERSET PARK

Rockwall, Texas

Sitework / Planting



TBG
 landscape architects, planners & designers
 2001 bryan street
 suite 1450
 dallas, tx 75201
 [214] 744-0757
 tbgpartners.com



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
D21053

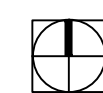
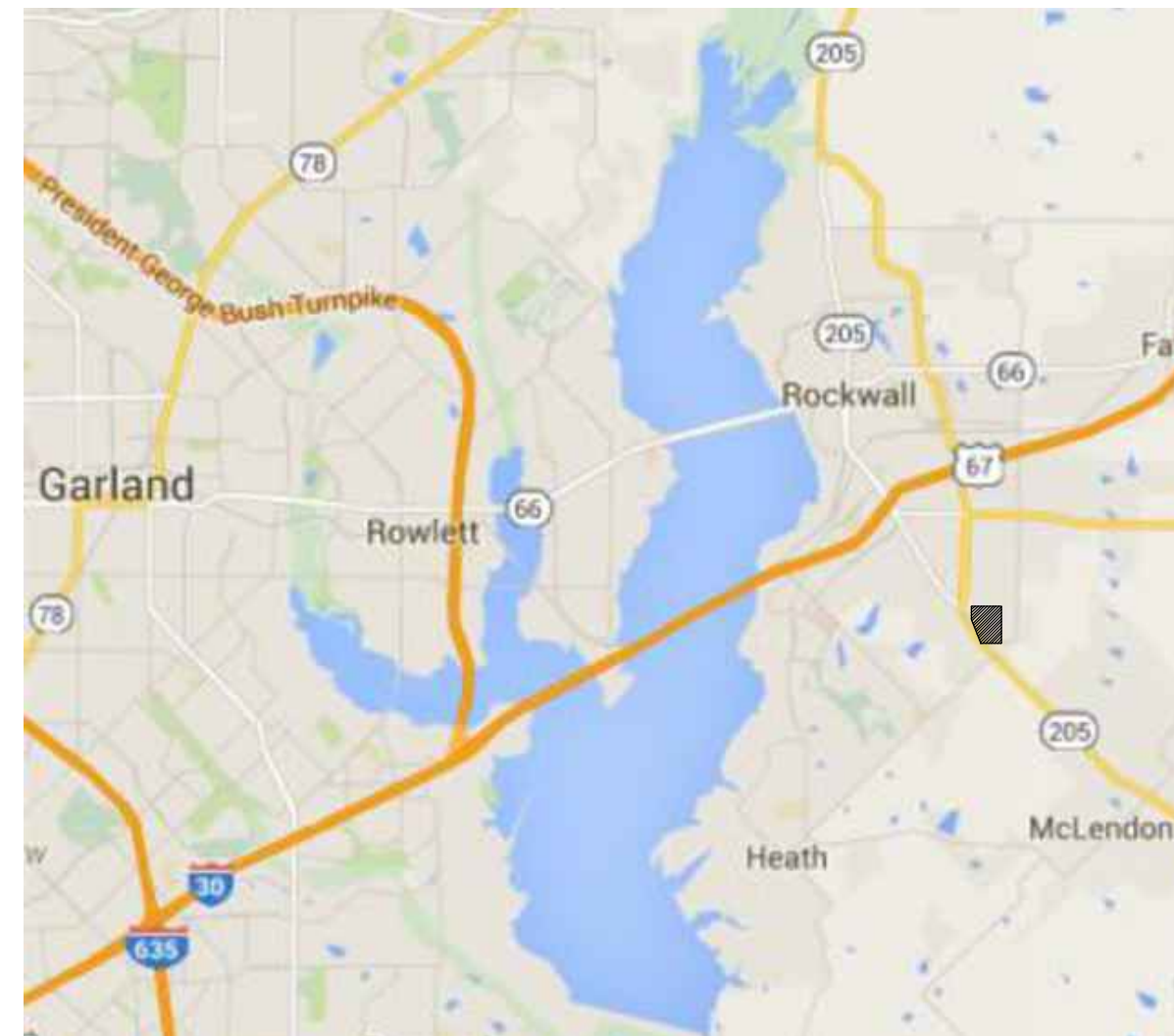
issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

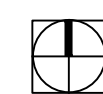
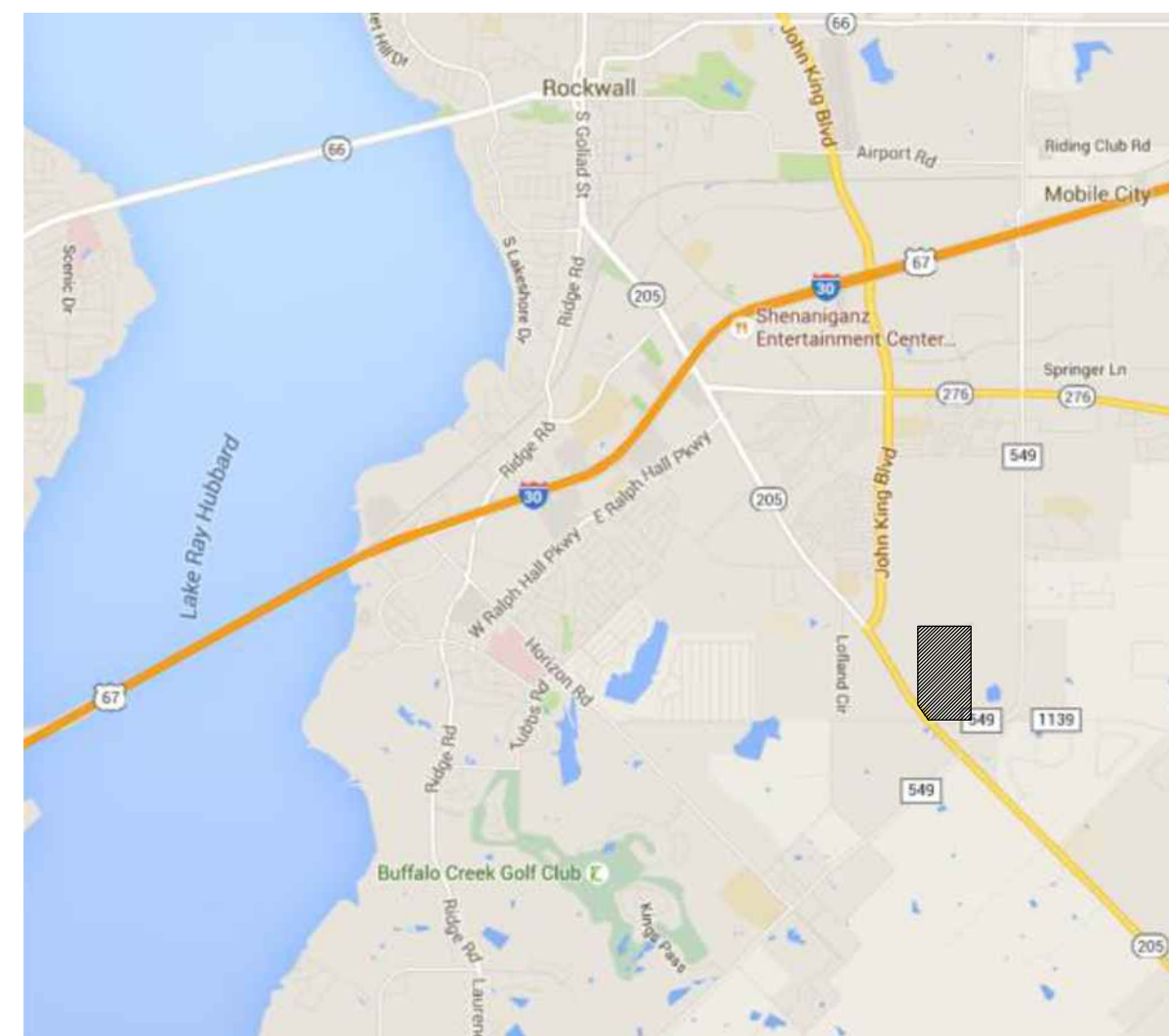
sheet title
cover sheet

sheet
LC 1.00

VICINITY MAP



LOCATION MAP



A PROJECT BY

OWNER:
 Arcadia Realty

CONTACT: Will Gietema/ Katherine Hamilton
 Arcadia Lakes of Somerset Holdings, LLC
 3500 Maple Ave., Suite 1165
 Dallas, Texas 75219
 O: 214.986.5024

LANDSCAPE ARCHITECT:
 TBG PARTNERS

CONTACT: Jonathan Dunbar
 2001 Bryan Street, Suite 1450
 Dallas, Texas 75201
 O: 214.744.0757

CIVIL ENGINEER:
 Spiars Engineering & Surveying

CONTACT: Greg Helsel
 765 Custer Road, Suite 100
 Plano, TX 75075
 O: 469.395.0529

INDEX OF SHEETS

| INC. | DATE | ISSUE | SHEET TITLE | PAGE # |
|------------------|------------------|--------|----------------------|---------|
| Reference | | | | |
| █ | OCTOBER 15, 2021 | PERMIT | Cover Sheet | LC 1.00 |
| █ | OCTOBER 15, 2021 | PERMIT | General Notes | LC 1.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Material Schedule | LC 1.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Keymap | LC 1.03 |
| Grading | | | | |
| █ | OCTOBER 15, 2021 | PERMIT | Grading Enlargement | LG 3.01 |
| Sitework | | | | |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.03 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.04 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Plan | LS 1.05 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.03 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Details | LS 2.04 |
| █ | OCTOBER 15, 2021 | PERMIT | Sitework Enlargement | LS 3.01 |
| Planting | | | | |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.03 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.04 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Plan | LP 1.05 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Details | LP 2.01 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Schedule | LP 2.02 |
| █ | OCTOBER 15, 2021 | PERMIT | Planting Enlargement | LP 3.01 |

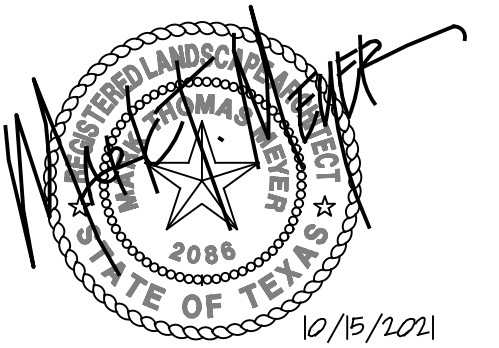


TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

[214] 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

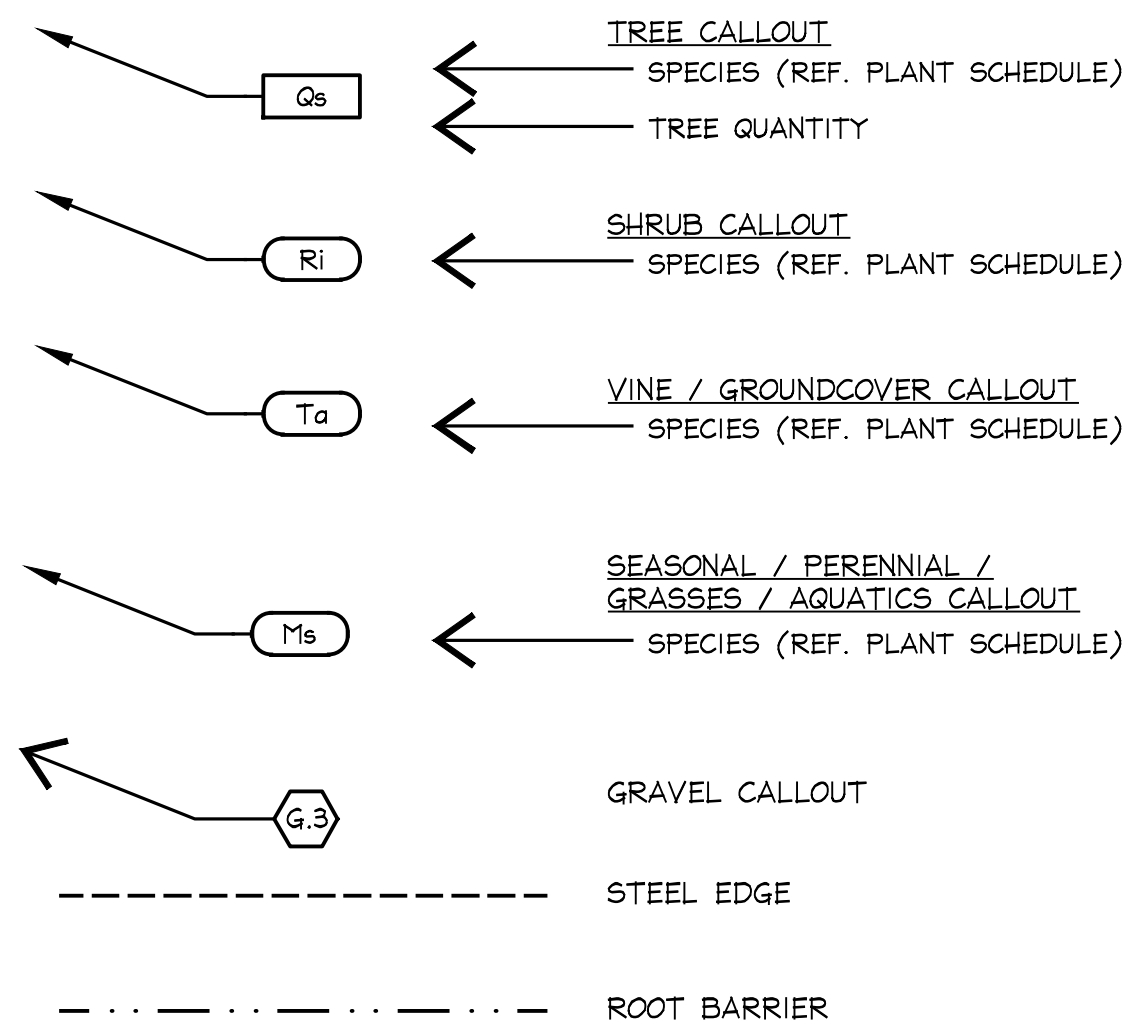
issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD MM

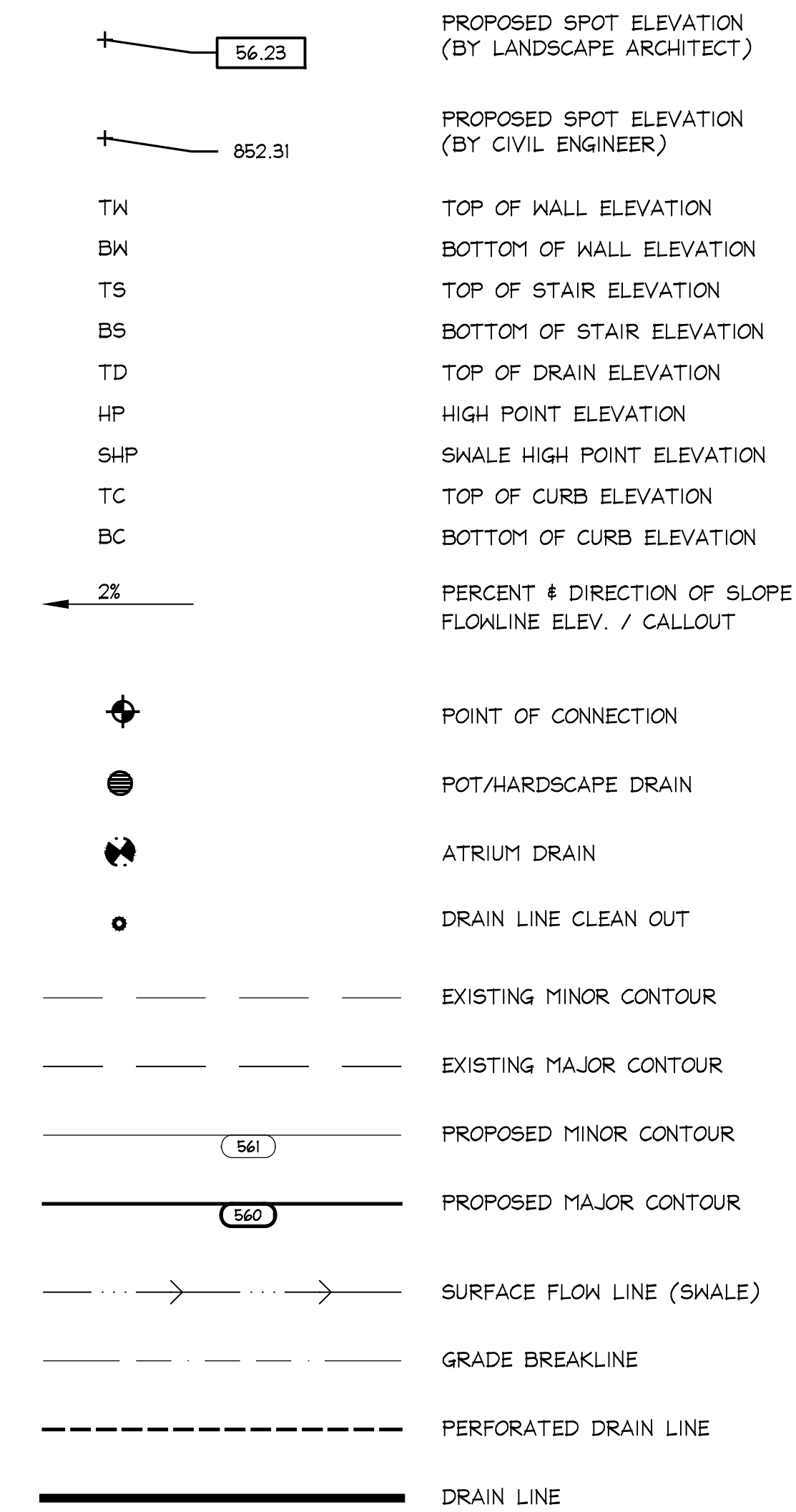
sheet title
general notes

sheet
LC 1.01

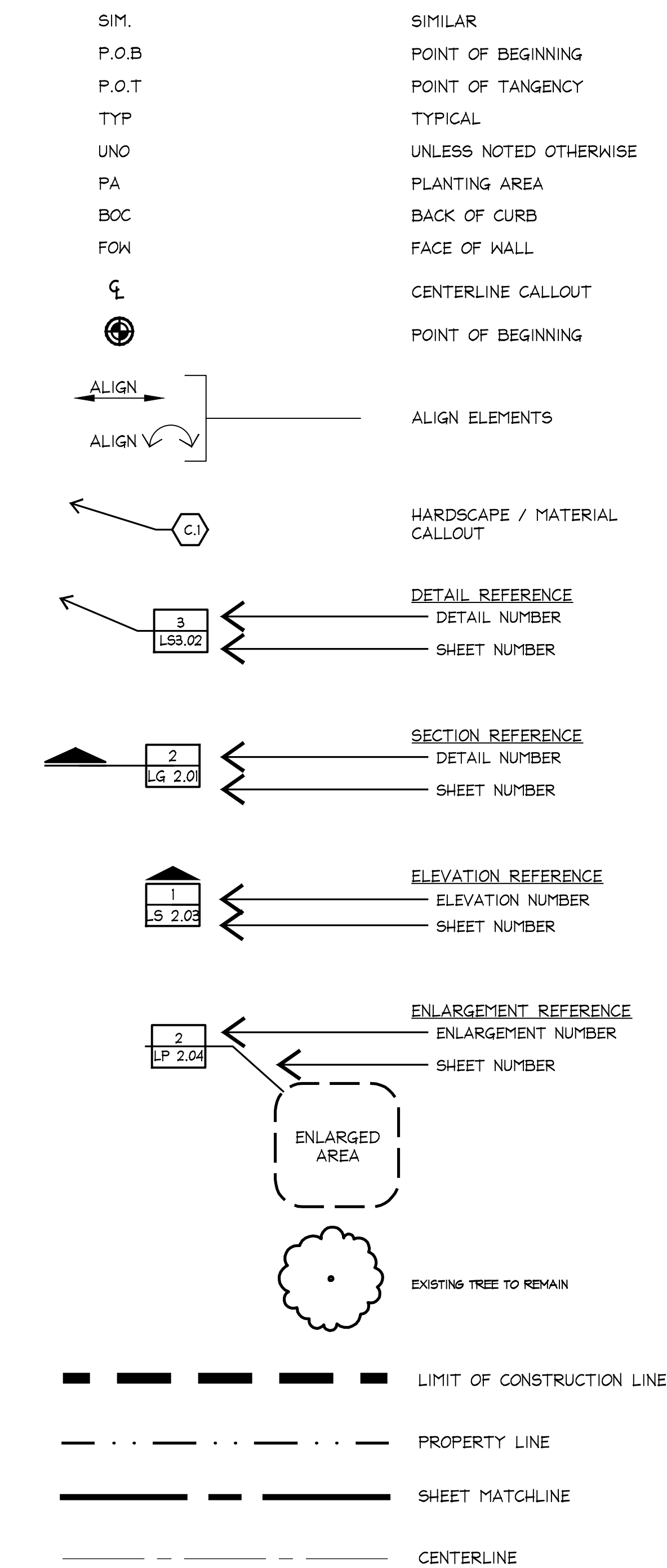
PLANTING LEGEND



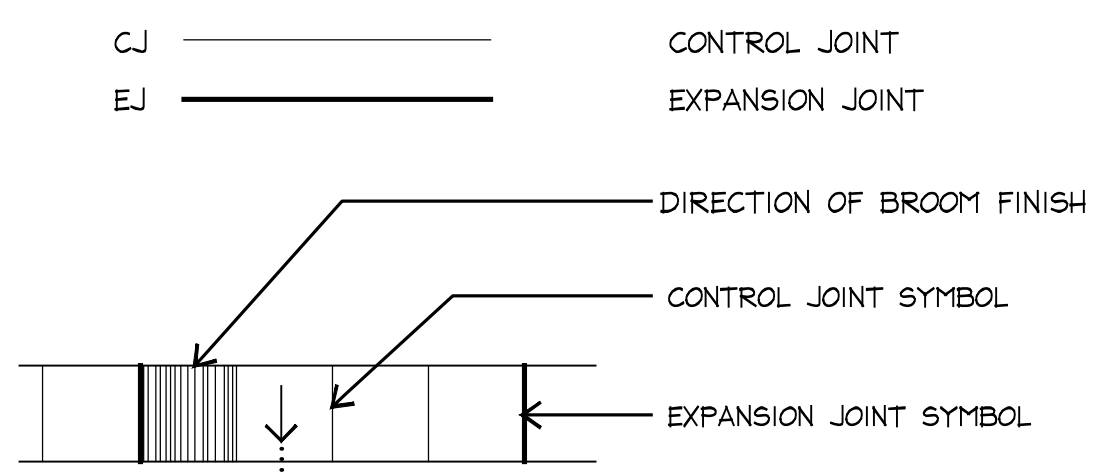
GRADING LEGEND



GENERAL LEGEND



SITework LEGEND



LANDSCAPE PLANTING NOTES:

- THE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINAL GRADE. ALL SLOPES SHALL BE SMOOTH AND UNIFORM WITH A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE NOTED. TIE INTO EXISTING ADJACENT GRADES SMOOTHLY AND FINE GRADE FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING. CUT SWALES TO DIRECT WATER AWAY FROM ALL STRUCTURES AND PROPERTY LINES, AND TOWARDS STORM SEWER INLETS. DO NOT DRAIN ANY WATER TOWARDS LOTS/EASEMENTS. THE FINAL LOCATION AND HEIGHT OF BERMS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- TREE PLANTING: REFERENCE SPECIFICATIONS AND DETAILS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION, (INCLUDING STAKING METHODS, PLANT PIT DIMENSIONS, AND BACKFILL REQUIREMENTS.) REFERENCE DETAILS FOR PROPER STAKING METHOD, STAKE SIZE AND COMPANY INFORMATION.

BACKFILL ALL TREE PITS WITH SPECIFIED PLANTING MIX AND INCORPORATE 5 LBS OF 13-13-13 FERTILIZER PER CU. YD. OF MIX INTO ALL TREE PITS. ALL TREE WATER RETENTION BASINS SHALL RECEIVE MIN. 3" DEEP COMPOSTED HARDWOOD BARK MULCH TO WITHIN 1' OF THE TREE ROOT FLARE. 2" WITHIN 1' OF THE ROOT FLARE.
- MACHINE MOVE OR HAND DUG TREES: ALL TREES TO BE MACHINE MOVED OR HAND DUG DIRECTLY FROM SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO RELOCATION. COORDINATE TREE PRUNING TO BALANCE ROOT LOSS WITH LANDSCAPE ARCHITECT. TREES TO BE MECHANICALLY TRANSPLANTED USING TREE SPADE MUST ALLOW 9" OF ROOTBALL PER CALIPER INCH OF TREE.

SET TREE STRAIGHT AND PLUMB, AND FILL ANY AIR SPACES AROUND TREE WITH SPECIFIED SAND OR SANDY LOAM TOPSOIL. WATER IN TO DISPLACE AIR POCKETS. INSTALL 3" HIGH WATER RETENTION BASIN PER SPECIFICATIONS WITH 2" DEEP COMPOSTED BARK MULCH AND WATER THE SPADED TREES THE DAY OF TRANSPLANTING.
- TREES SHALL BE LOCATED A MINIMUM OF 5' - 0" FROM WALLS, OVERHEADS, WALKS, EDGING, CURBS AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. ALL MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LAWN INSTALLATION: PRIOR TO APPLICATION OF HYDROMULCH OR SOD, THE CONTRACTOR SHALL APPLY CONTACT HERBICIDE (RECOMMENDED MIXTURE OF IMAGE AND ROUNDUP) TO REMOVE ALL EXISTING WEEDS AS NECESSARY, AND SCARIFY EXISTING SOIL TO SPECIFIED DEPTHS. REMOVE ALL LUMPS, CLODS, TRASH AND STICKS GREATER THAN 1". FINE GRADE TO PROVIDE POSITIVE DRAINAGE AND SMOOTH LAWN AREAS AND CUT SWALES AS NECESSARY TO ENSURE NO PONDING OF WATER. FINISHED GRADE OF LAWN AND PLANTING BED AREAS TO BE MINIMUM 1/2" BELOW FINISHED GRADE OF ADJACENT PAVEMENT.
- ALL QUANTITIES ON THIS PLAN ARE FOR INFORMATION ONLY (PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- THE CONTRACTOR SHALL PROVIDE THE SOILS TESTING LAB SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACKFILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, AND ON GRADE SOILS. REFER TO SPECIFICATIONS.
- THE CONTRACTOR SHALL APPLY RECOMMENDED PRE-EMERGENT HERBICIDE FOR PREVENTION OF NUTGRASS AND WEEDS UPON ESTABLISHMENT OF BERMUDA LAWN APPROXIMATELY ONE MONTH AFTER HYDROMULCH APPLICATION. FERTILIZE AT SPECIFIED RATES MONTHLY DURING 90 DAY MAINTENANCE PERIOD.

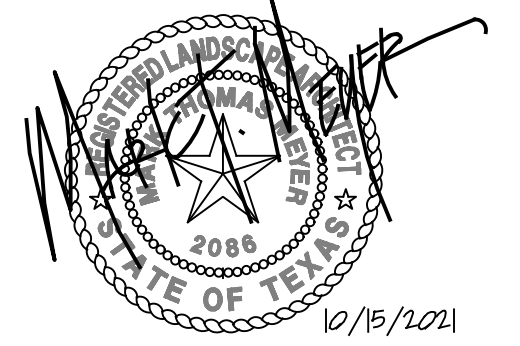
GENERAL SITEWORK NOTES:

- THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, SMALL PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO BODILY INJURY AND/OR DAMAGE TO OWNER'S PROPERTY OR SAID UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL HAND DIG PLANTING PITS AND HAND RAKE LAWN AREAS AS REQUIRED.
- ALL CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS AND/OR PURCHASE OF ANY MATERIAL. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. ALL CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.
- ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES & CODE REQUIREMENTS. REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES BASED UPON THE QUANTITIES SHOWN WITHIN THE DOCUMENTS. FIELD CONDITIONS MAY REVISE ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.
- UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (I.E. BACKFILL MIX, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (I.E. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS OR ANY SETTLLING OR EROSION OCCURRING PRIOR TO COMPLETION.

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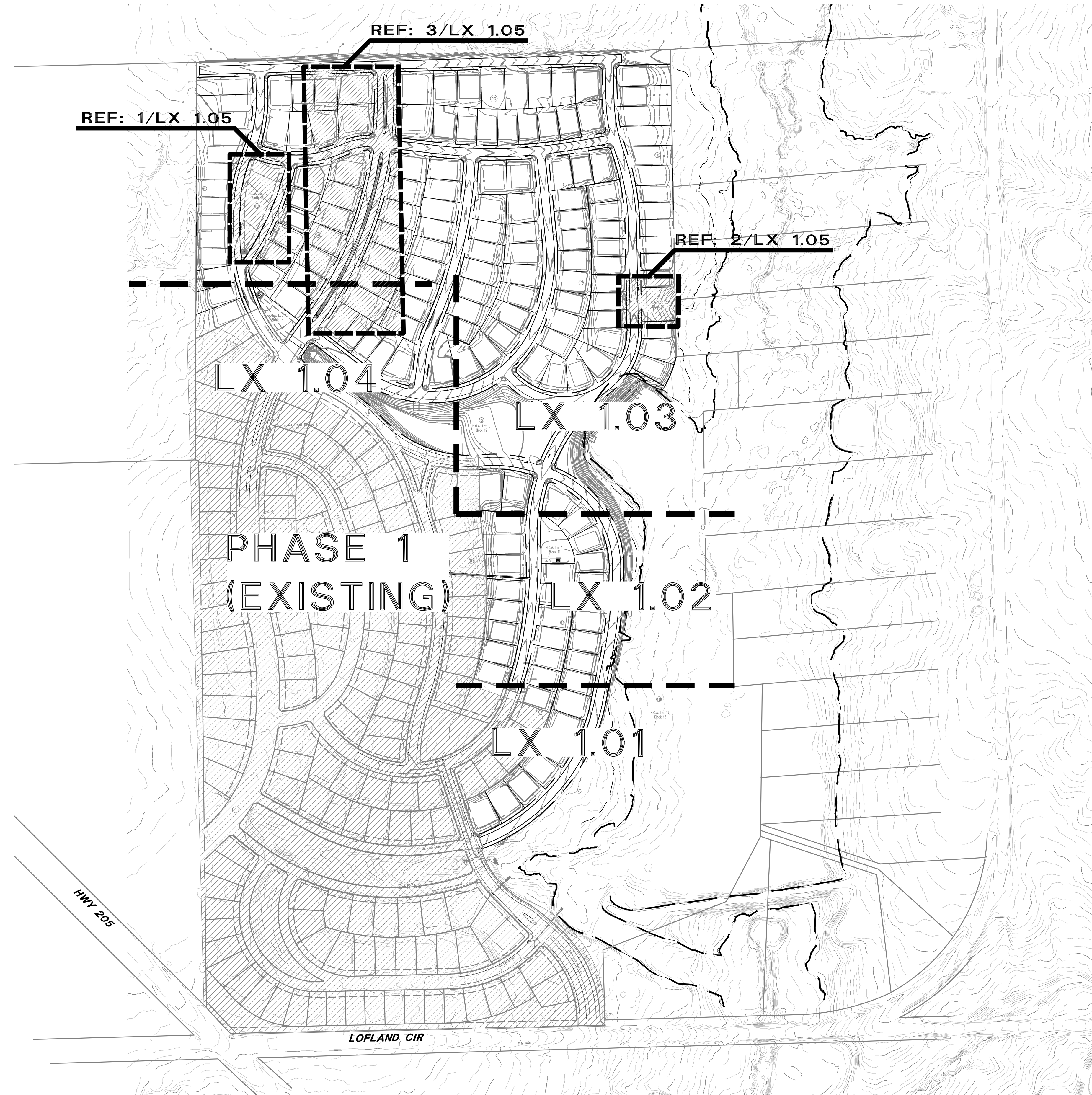
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 drawn: BD AC
 reviewed: JD MM

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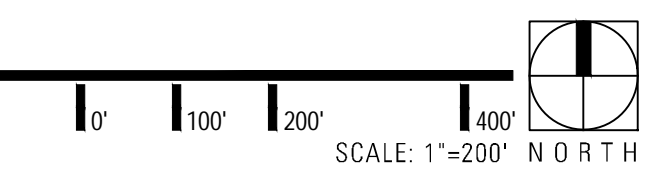
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| MATERIALS SCHEDULE | | | | | |
|--------------------|---|-------------------------------|---------------------|--|---|
| CONCRETE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| C.1 | STANDARD GRAY CONCRETE | GRAY | MEDIUM BROOM | | |
| C.2 | CONCRETE PAVING STANDARD GRAY CONCRETE @ POOL | GRAY | ROCK SALT FINISH | | CONTRACTOR TO PROVIDE MOCK-UP FOR FINAL APPROVAL BY OWNERSHIP AND LANDSCAPE ARCHITECT. REF. SPECIFICATION FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT. |
| DRAINAGE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| D.1 | DECK DRAIN NDS 12" FLAT SQUARE CAST IRON HINGED GRATE | | | COMPANY: NDS PHONE: 1 (800) 726-1990 | REF. TO LANDSCAPE GRADING PLANS |
| EDGING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| E.1 | 3/4" X 4" STEEL EDGING | BLACK | POWDERCOAT | COMPANY: J.D. RUSSELL CONTACT: 270.826.7008 | OR APPROVED EQUAL |
| FENCING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| F.1 | 4' HEIGHT POOL FENCE COMPLIANT WITH TEXAS POOL CODE | | | | |
| LIGHTING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| L.1 | BOLLARD LIGHT | BLACK | FACTORY | N/A | LOCATION AS PER PLANS AT BASE OF TREES OR BACK OF THE WALL. CONTRACTOR TO SUBMIT CUT SHEET FOR APPROVAL; WRAP STRING LIGHTS TO 12' HT IN TREE. |
| POOL | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| PL.1 | PRECAST POOL COPING | TBD | TBD | | EASE ALL EXPOSED EDGES AT COPING OVERHANG; COLOR & FINISH TO MATCH C.6 CAST STONE CAP |
| PL.2 | POOL TILE | TBD | | | |
| PL.3 | WARNING STRIP TILE NON-SLIP TILE | TBD | | | |
| PL.4 | 6" DEPTH MARKER & 6" NO DIVING TILE | WHITE W/BLACK LETTERING | NON-SLIP | | |
| PL.5 | POOL PLASTER | TBD | | | |
| PL.6 | POOL HANDRAIL - 1-1/2" DIA. TUBE STAINLESS STEEL | BRUSHED STAINLESS STEEL | #4 FINISH | | |
| PL.7 | POOL LIFT | | | | |

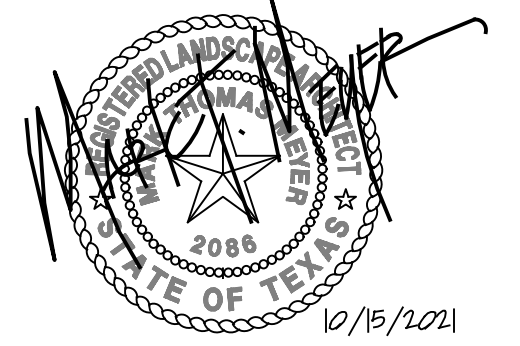
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1 Keymap
Plan



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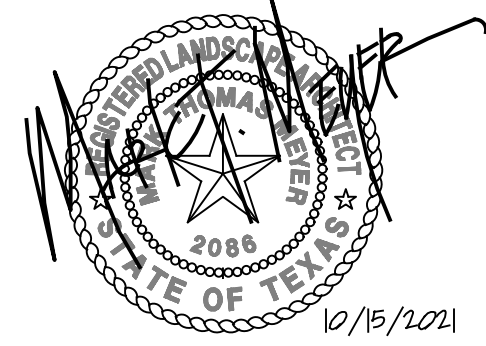
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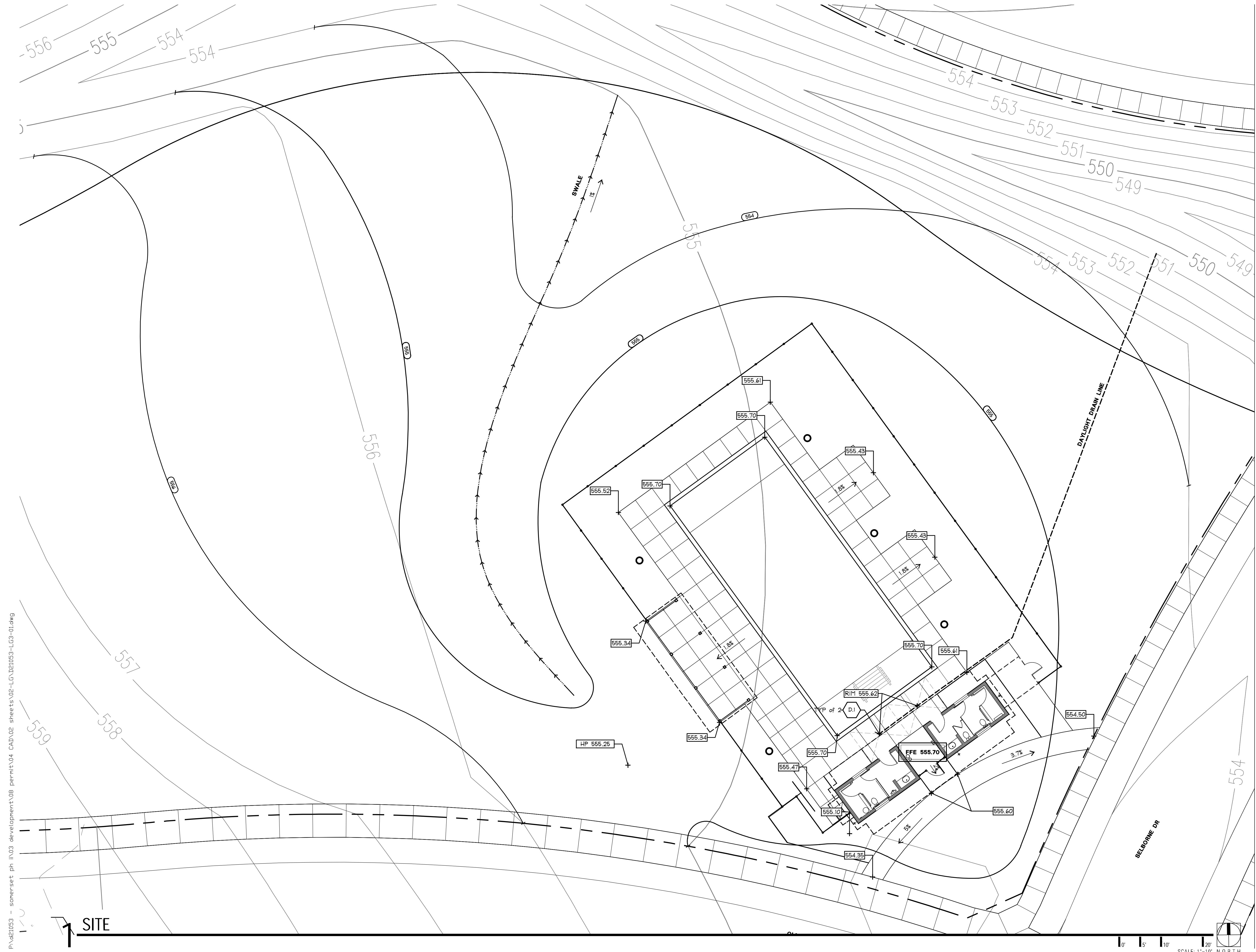
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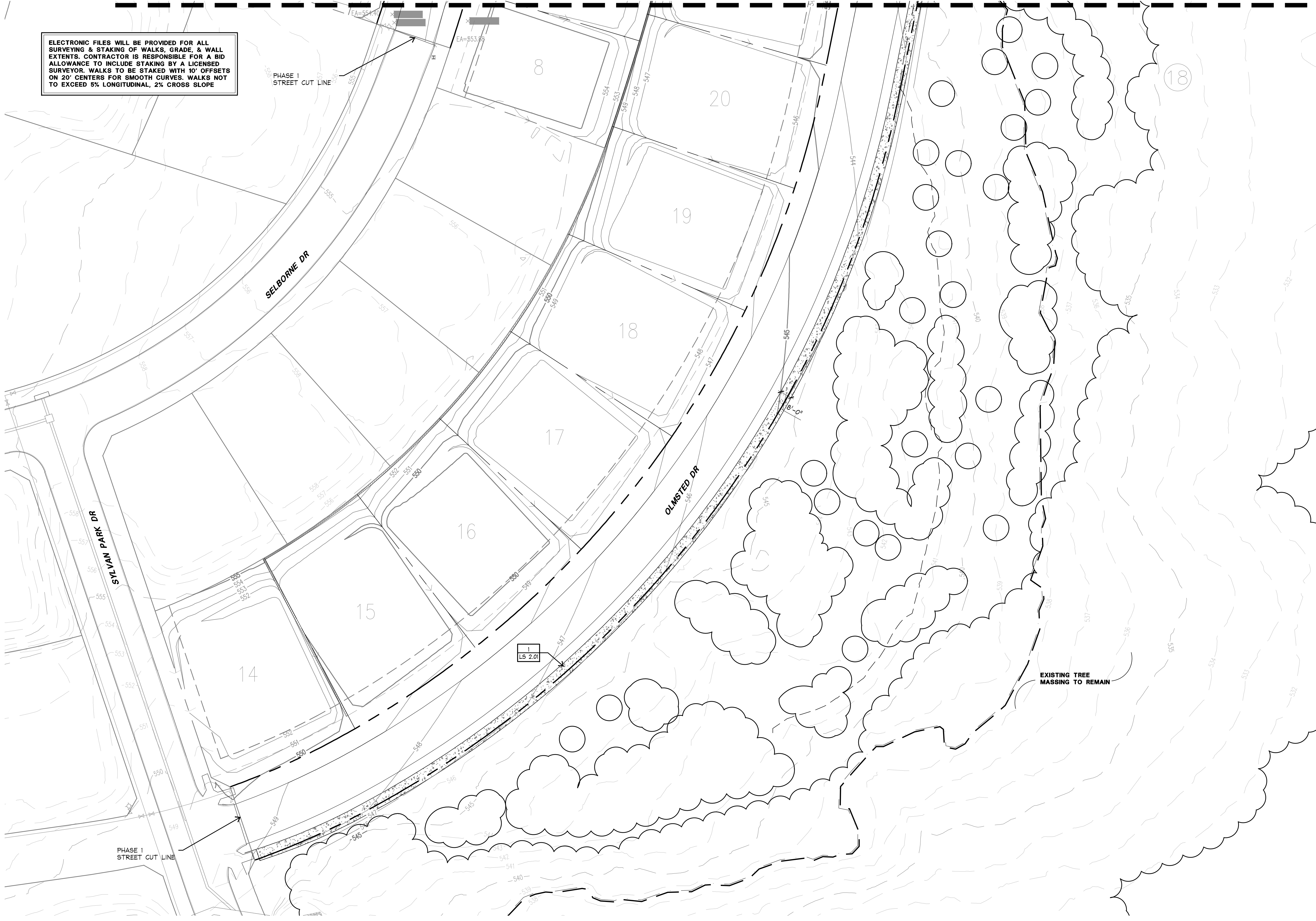
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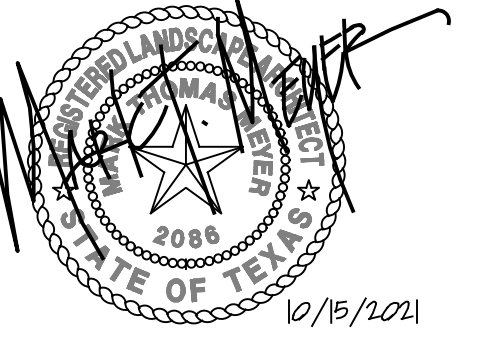
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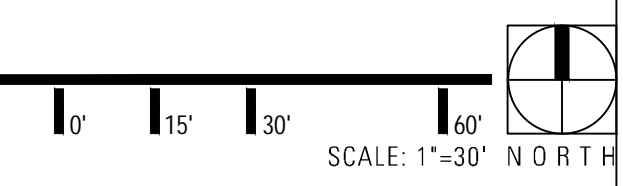
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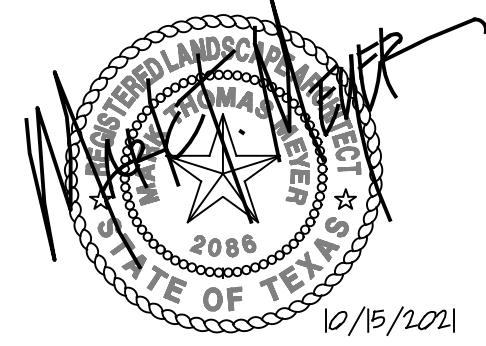
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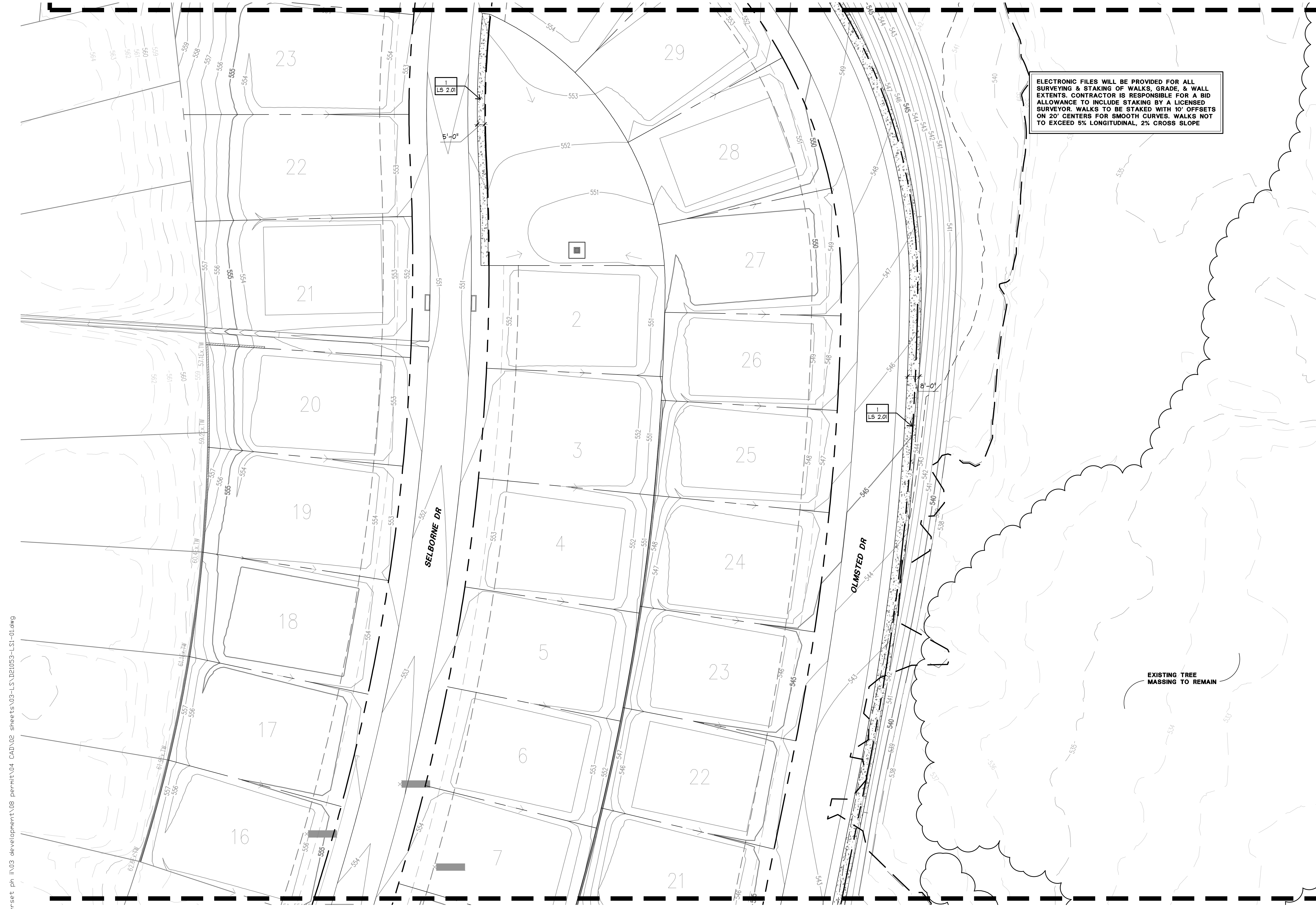
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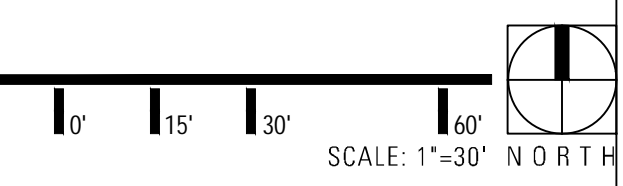
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EXISTING TREE MASSING TO REMAIN



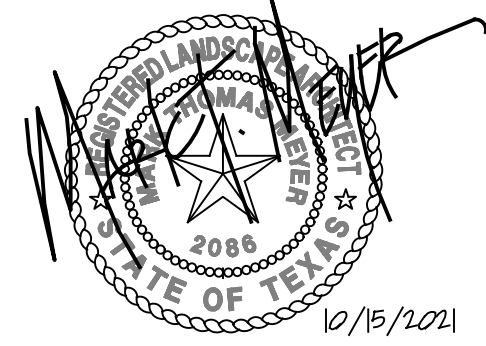
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1 Site
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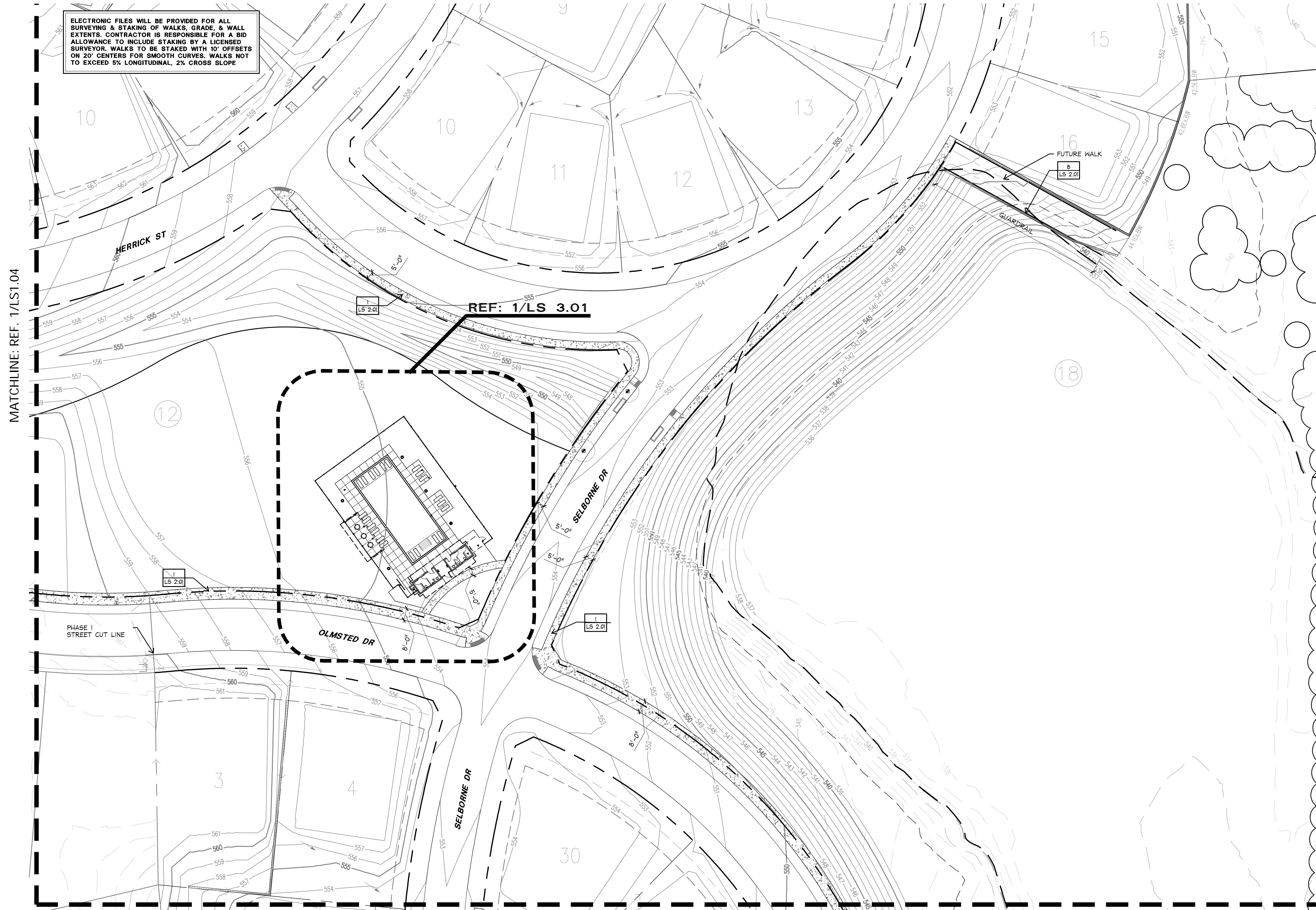
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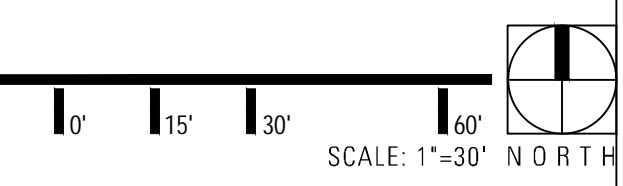
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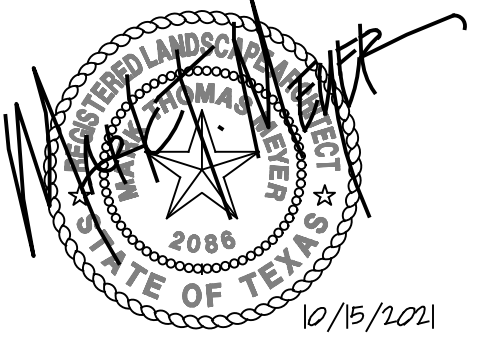
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MATCHLINE: REF. 1/LS1.02





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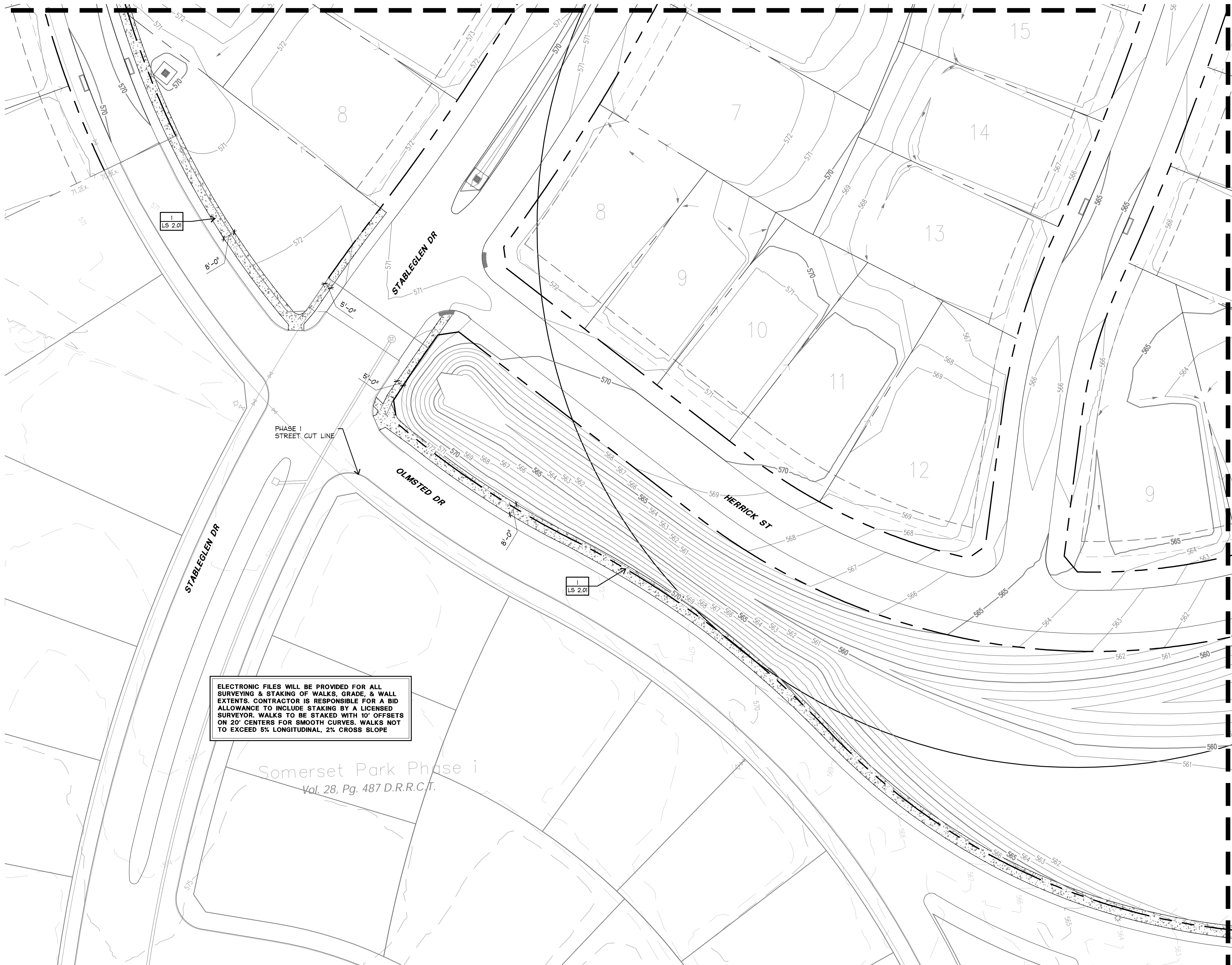
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drawn: BD AC
reviewed: JD, MM

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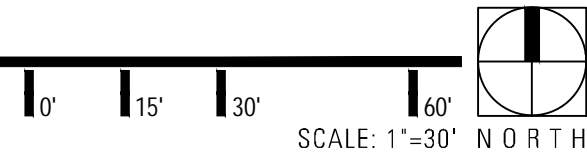


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Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03

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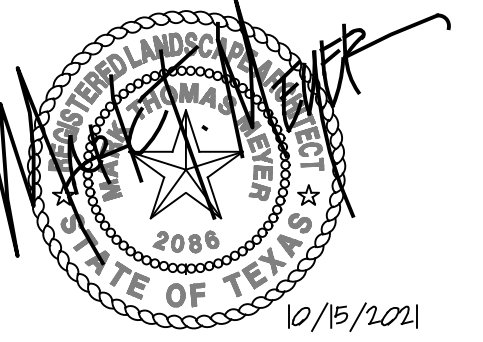


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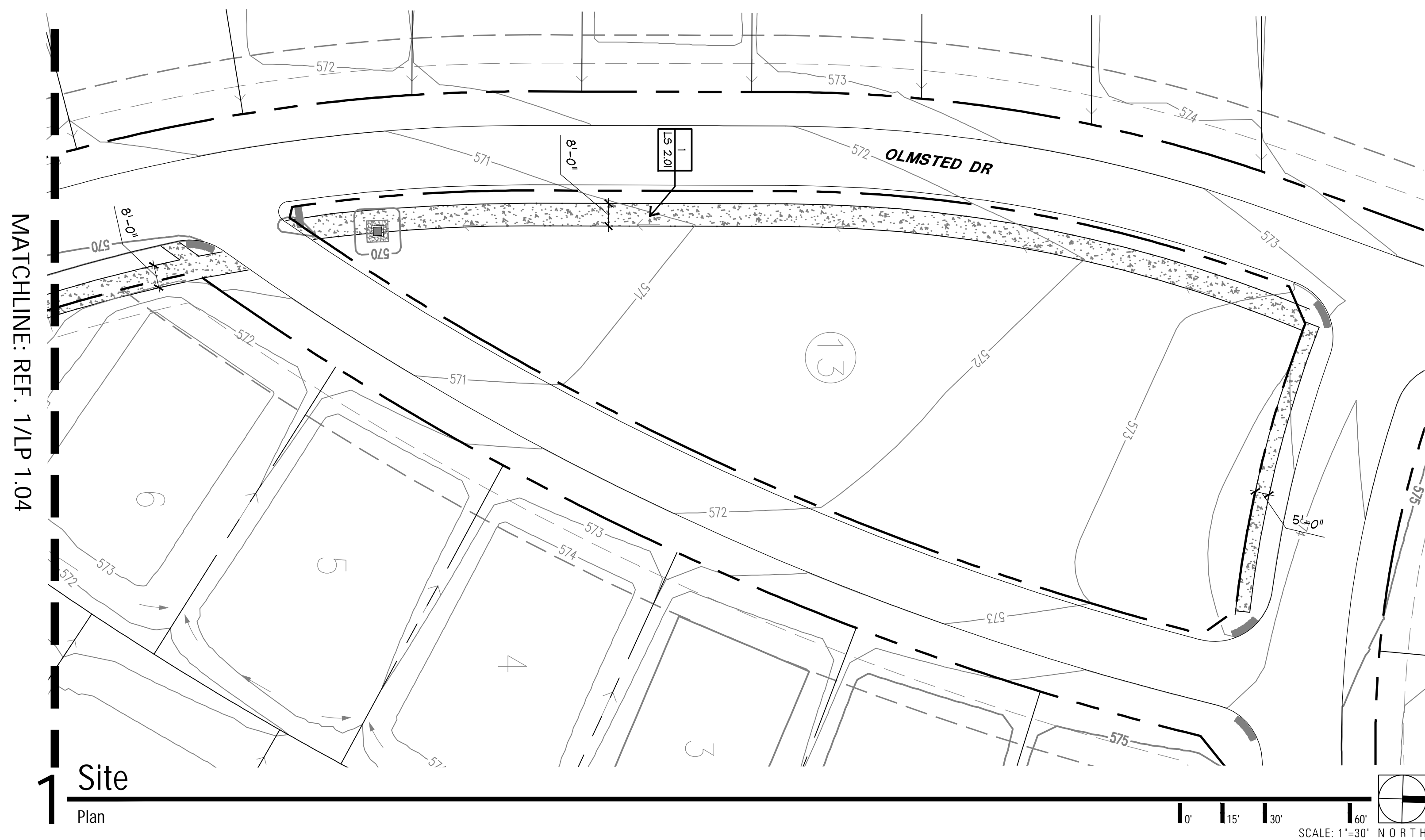
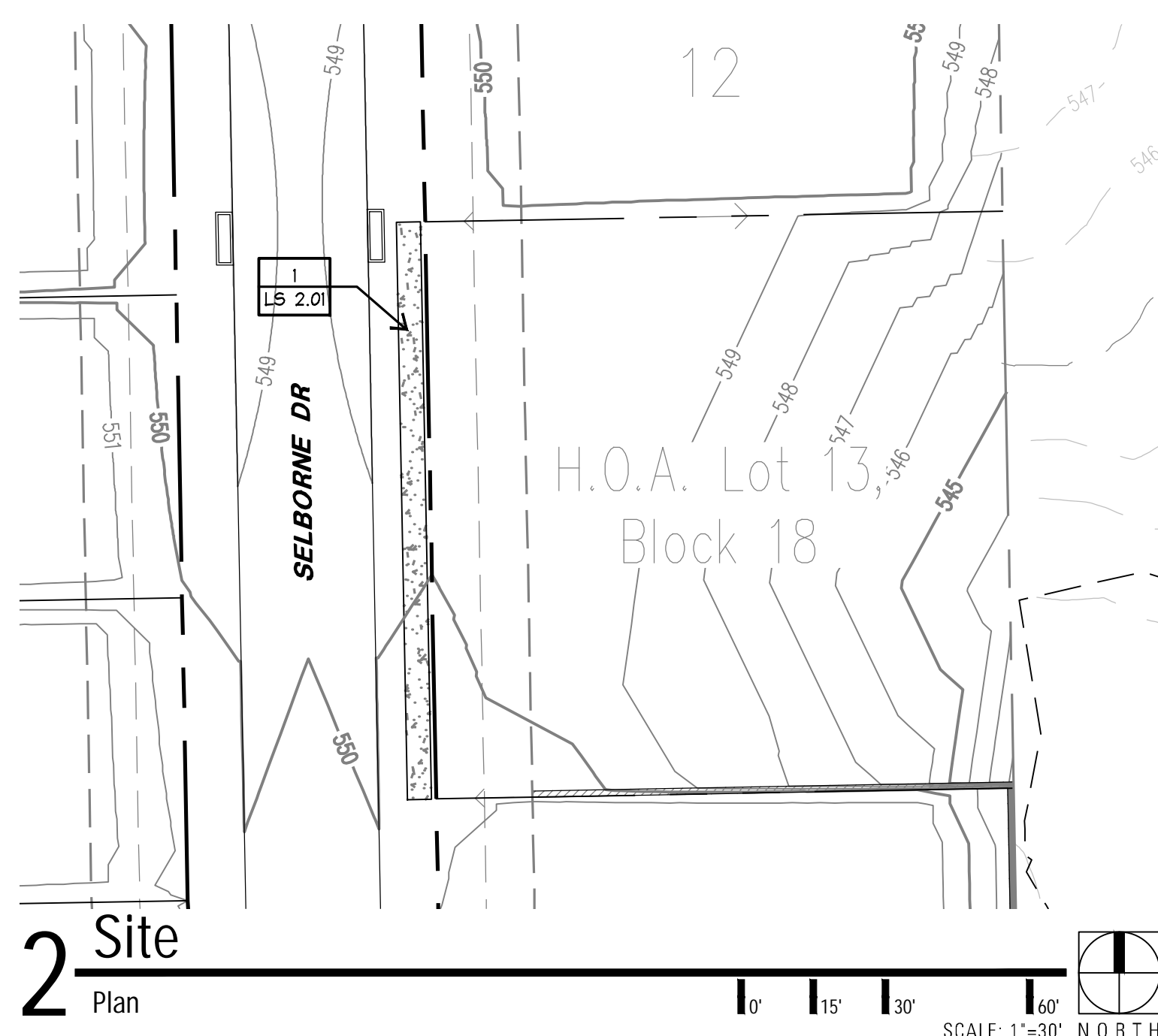
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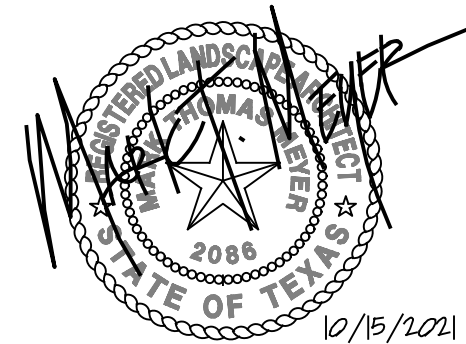
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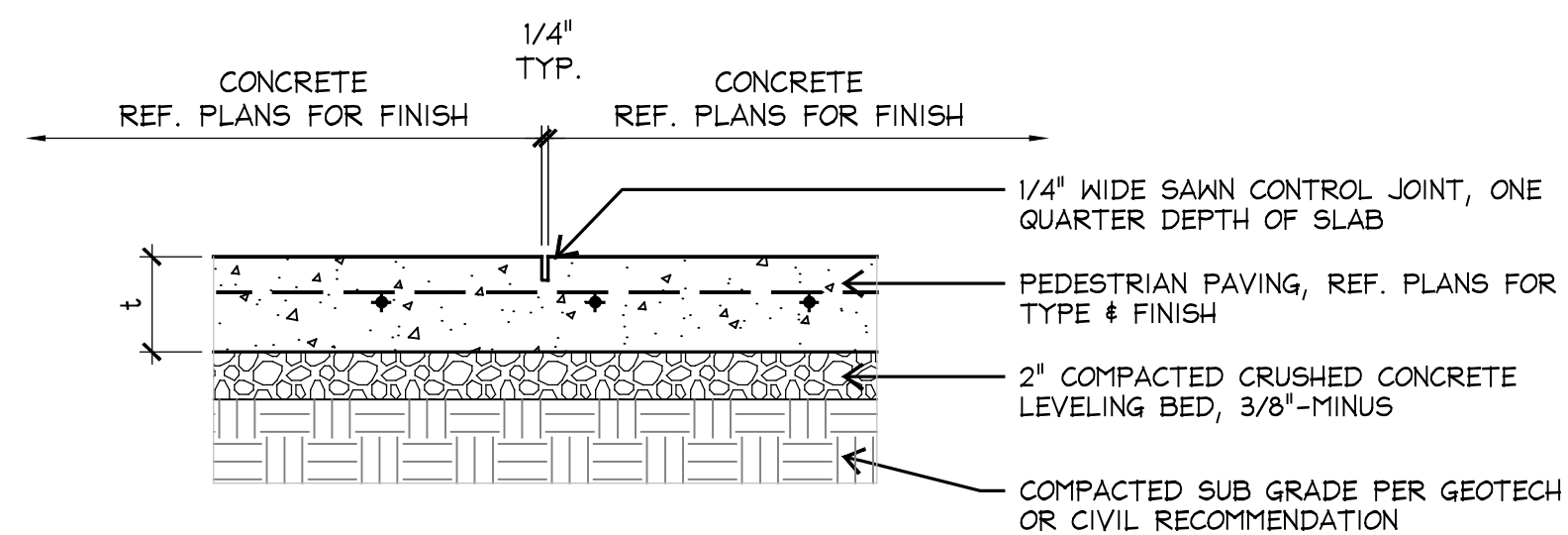
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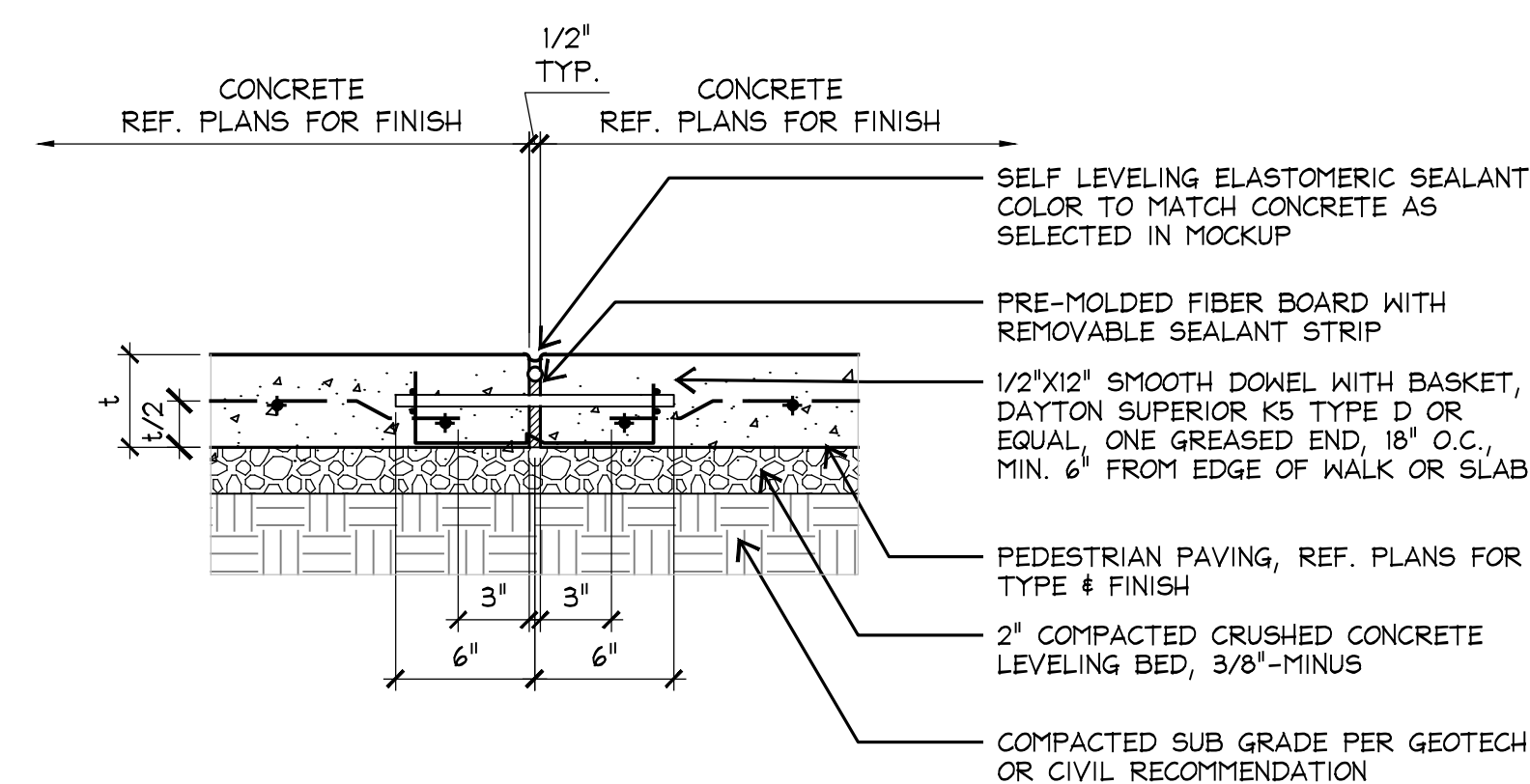
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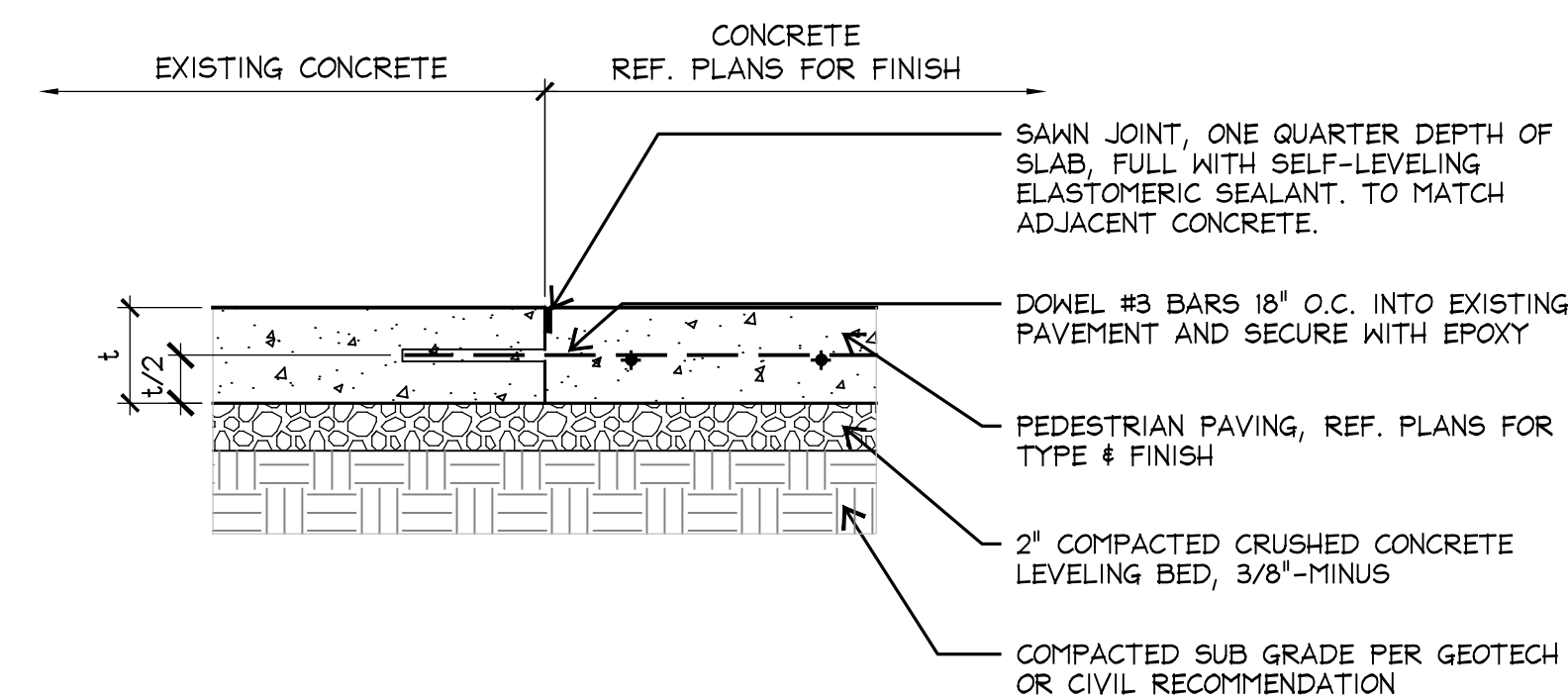
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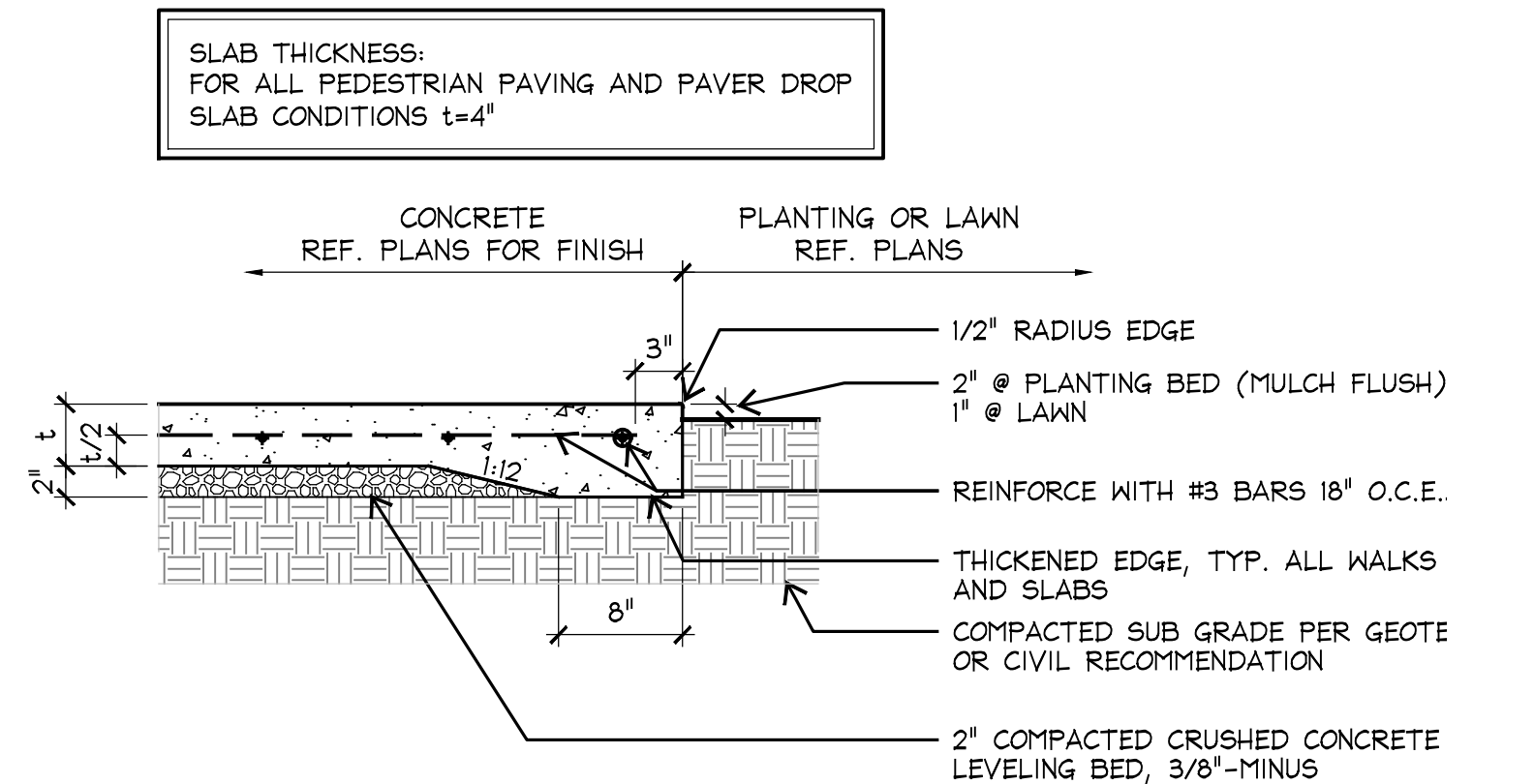
4 CONTROL JOINT
 SECTION SCALE: 1-1/2"=1'-0"



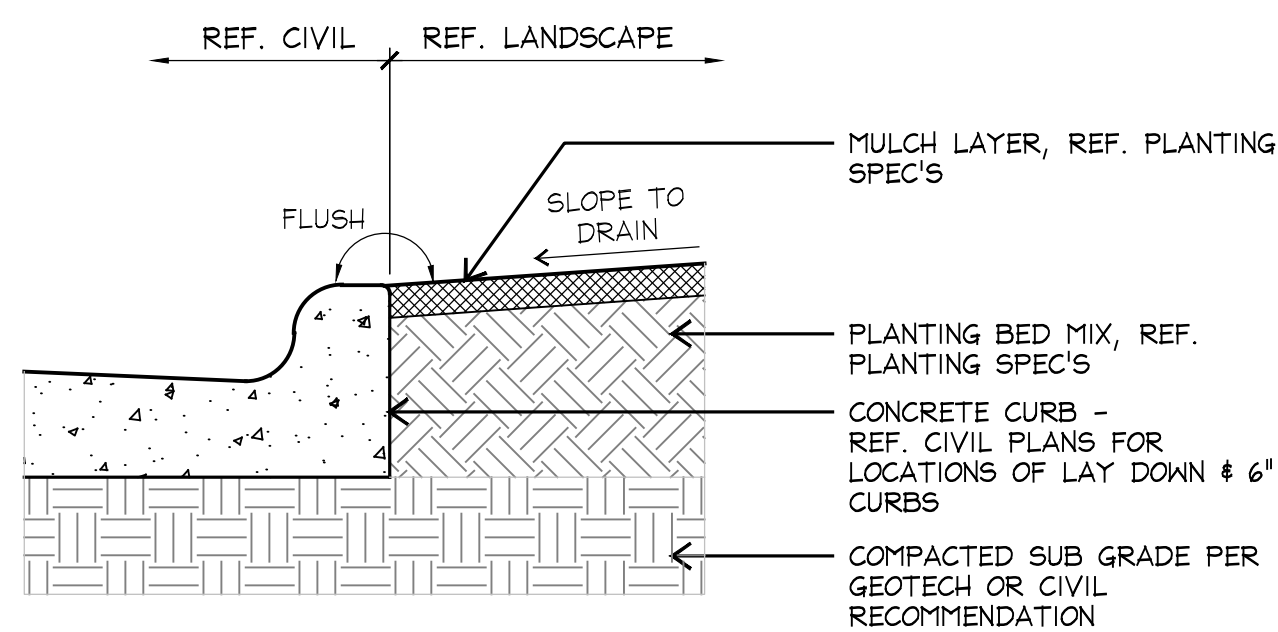
3 EXPANSION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



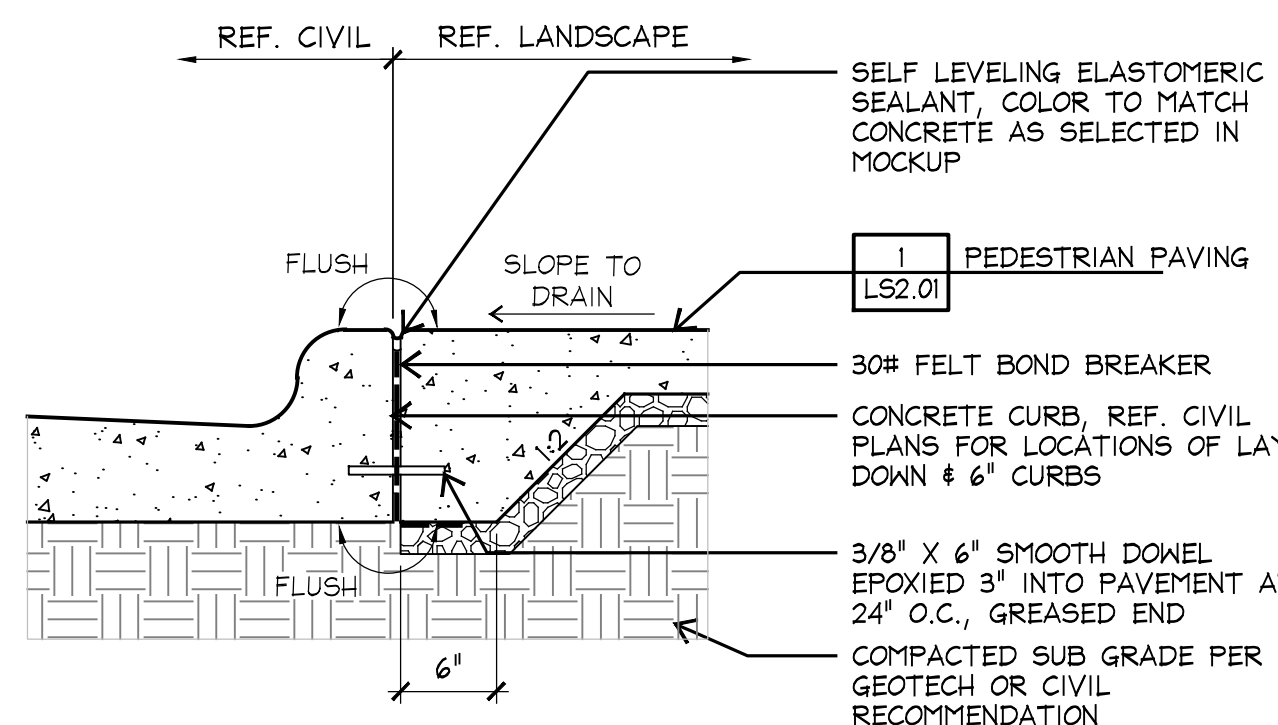
2 COLD JOINT
 SECTION SCALE: 1-1/2"=1'-0"



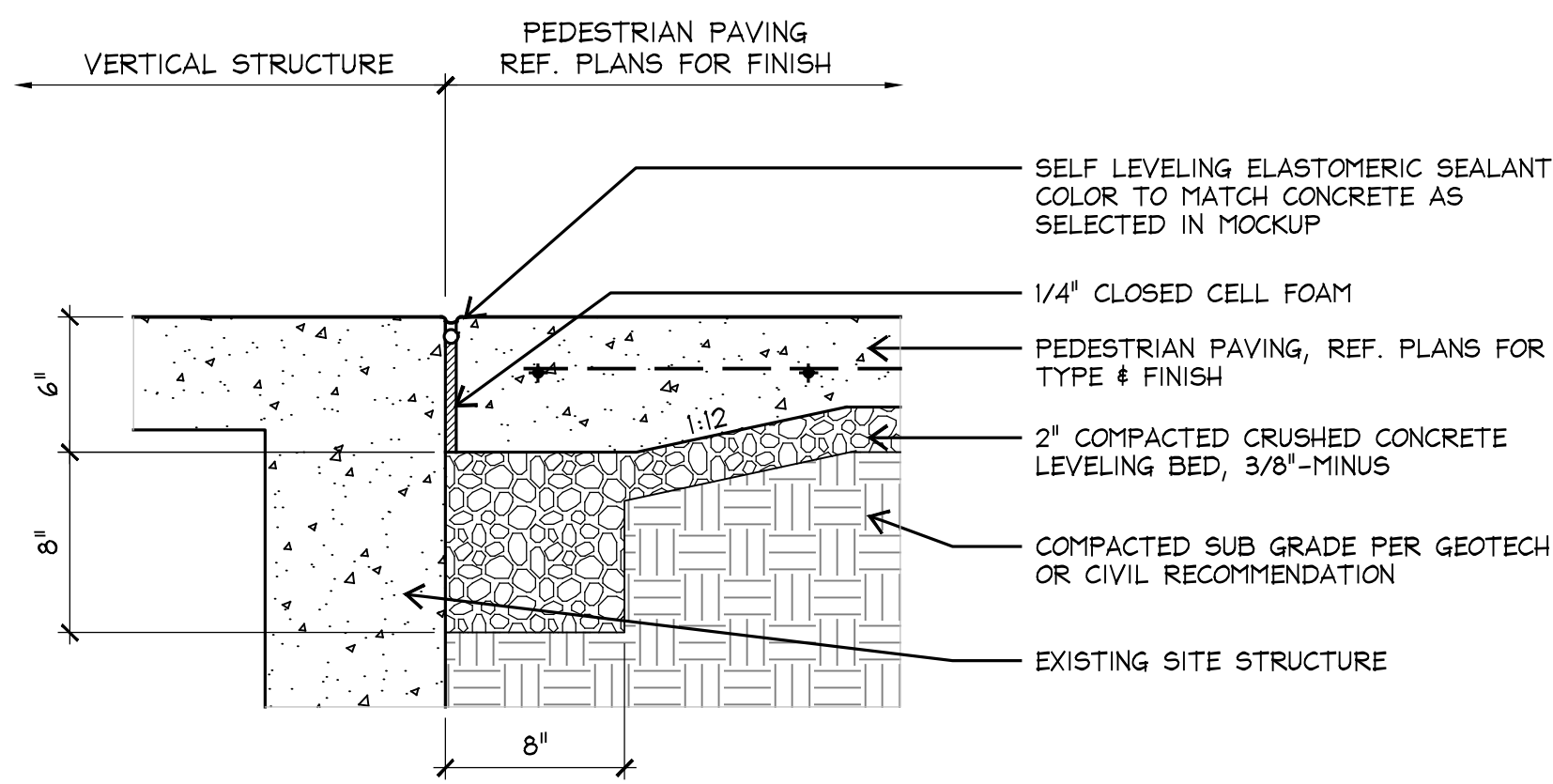
1 SIDEWALK DETAIL
 SECTION SCALE: 1"=1'-0"



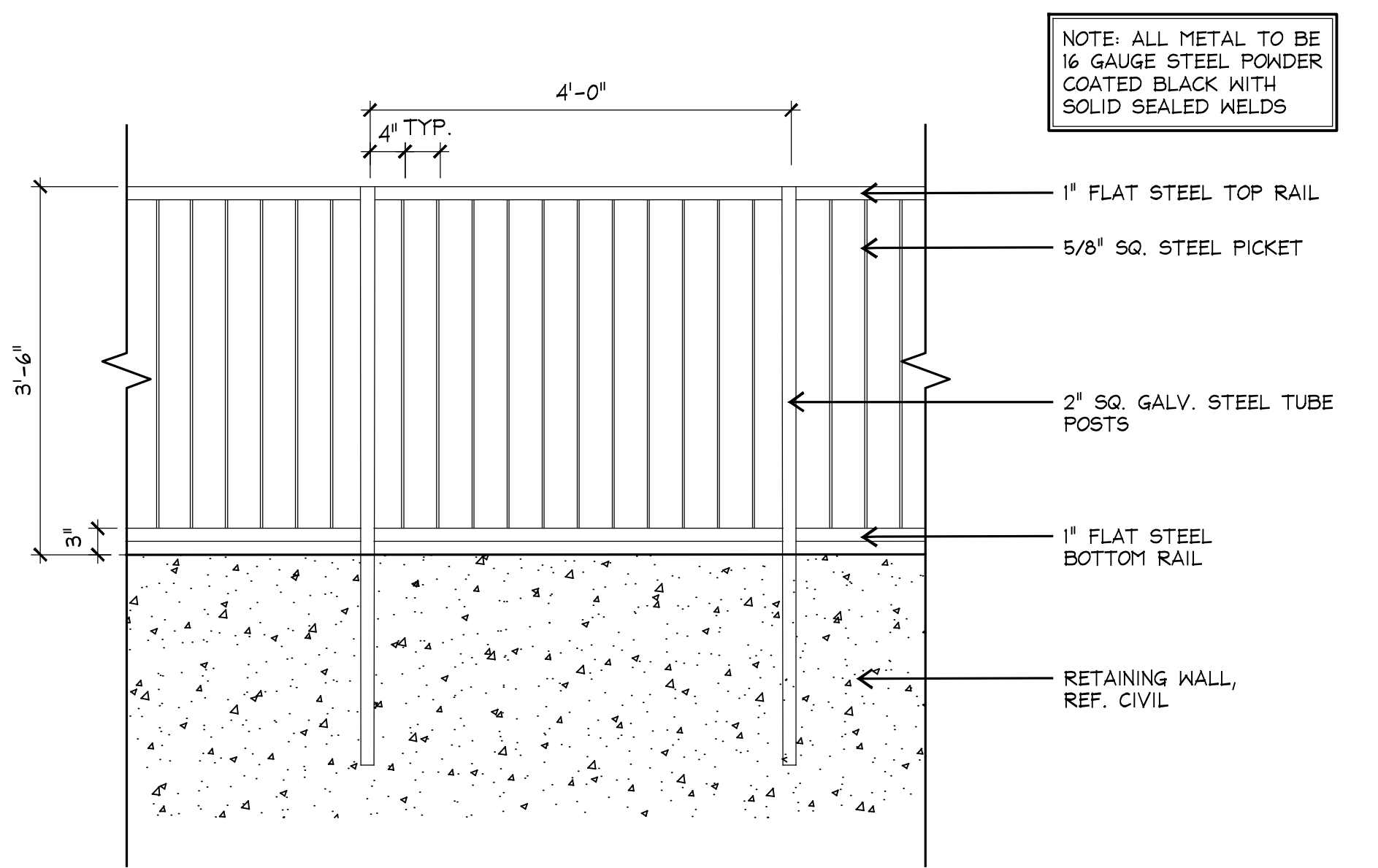
7 PLANTING AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



6 CONCRETE AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



5 ISOLATION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



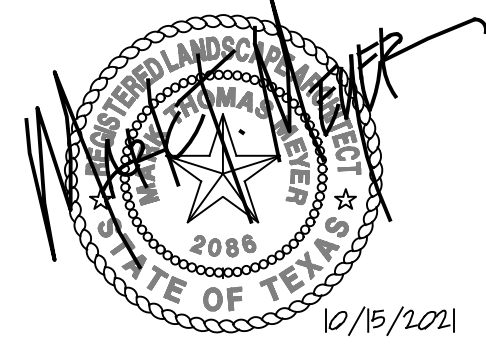
8 RAILING AT RETAINING WALL
 SECTION SCALE: 3/4"=1'-0"

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NOTE: ALL METAL TO BE
 16 GAUGE STEEL POWDER
 COATED BLACK WITH
 SOLID SEALED WELDS



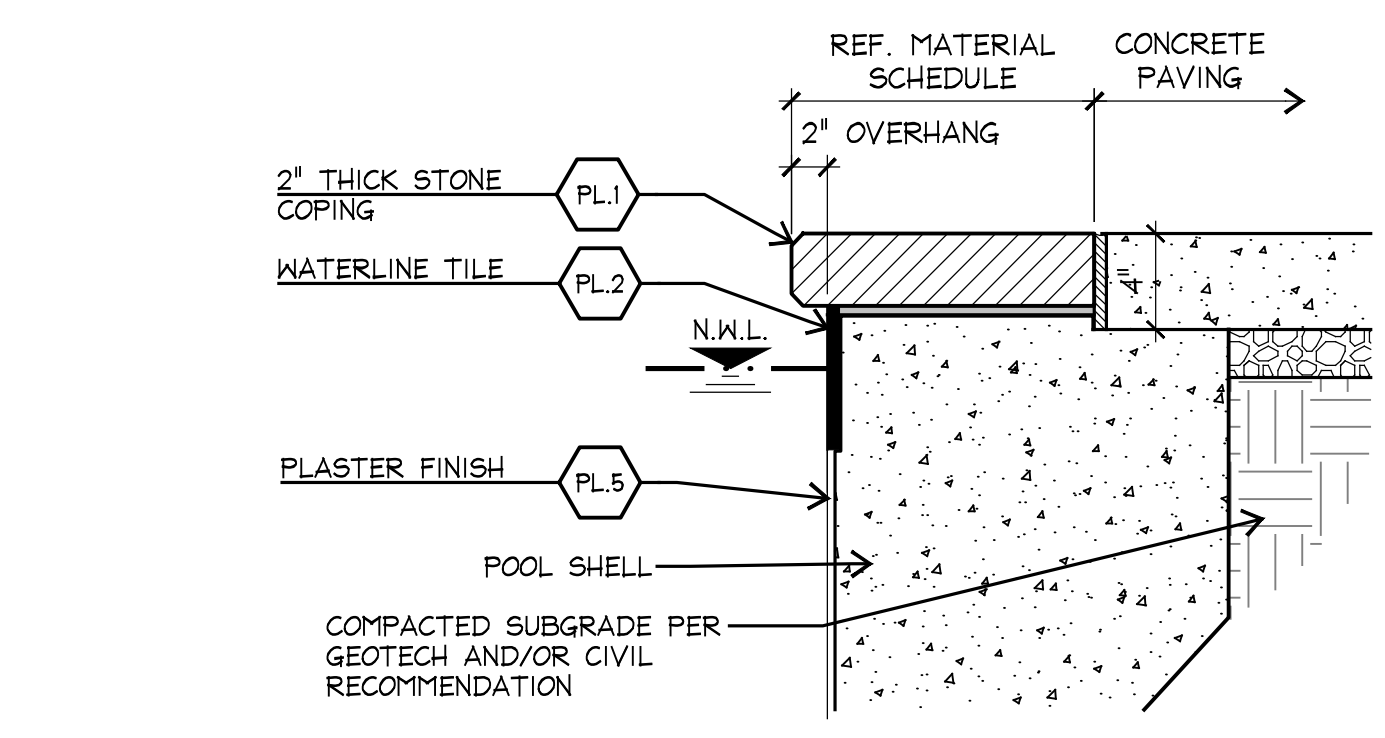
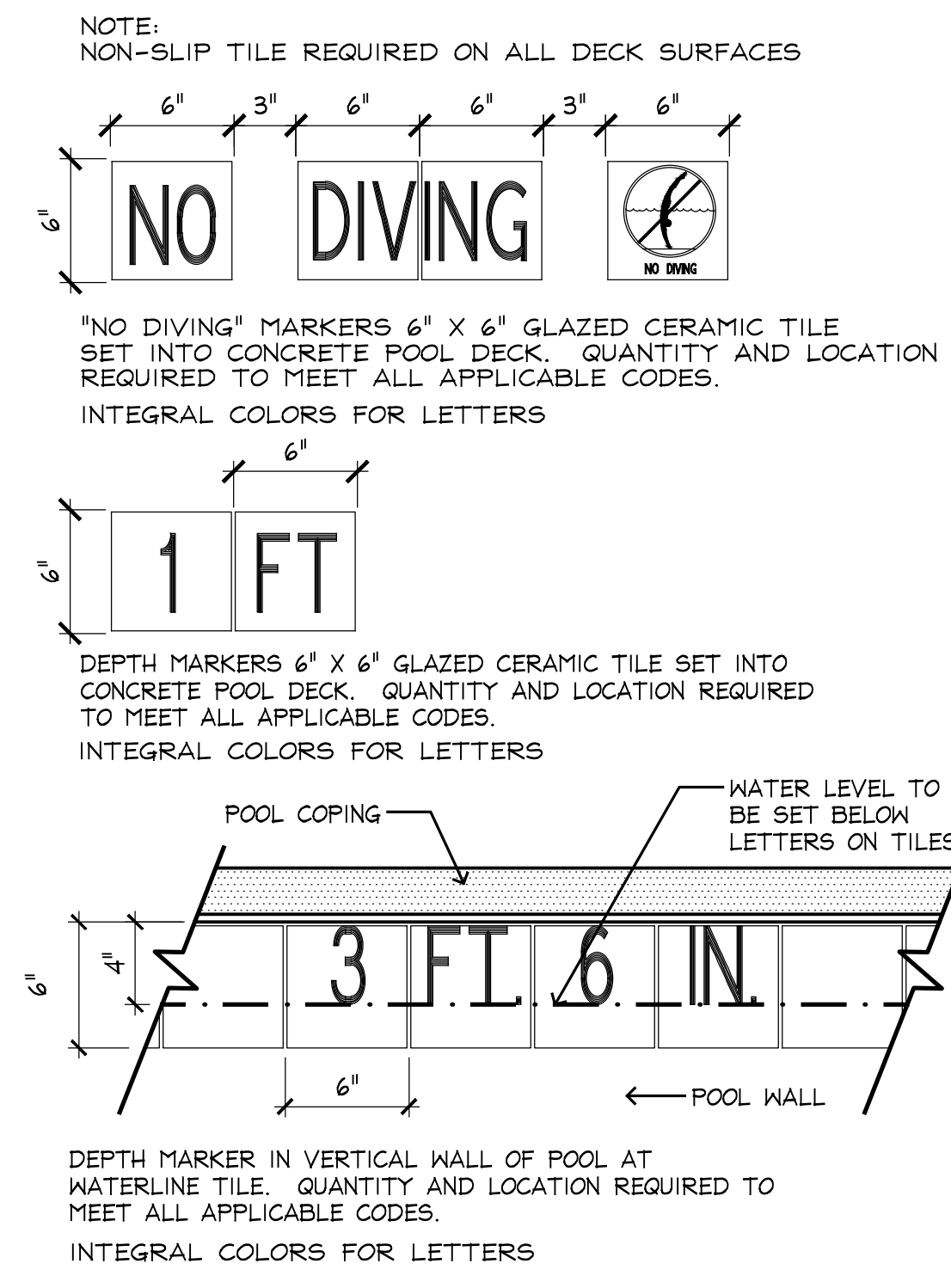
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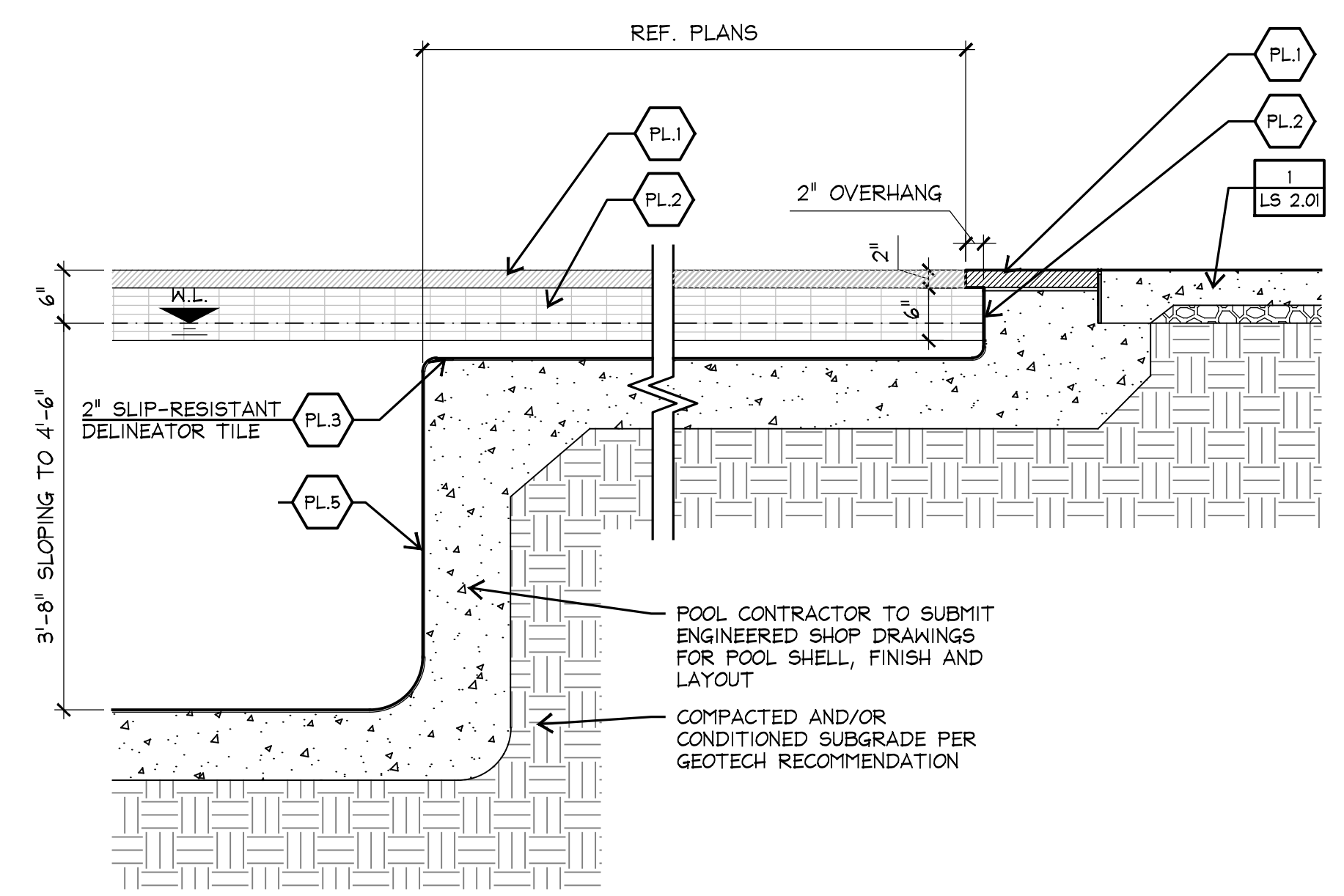
NOTE:
 SWIMMING POOL DETAILS PROVIDED FOR DESIGN INTENT ONLY. POOL CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF DESIGN OR LAYOUT CONFLICTS. CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.

TILE TO BE FLUSH AT EDGE CONDITIONS W/ EVEN GROUT SPACING BETWEEN TILES. TILE PLACED ON THE SLOPE TO LAY OVER TILE PLACED ON VERTICAL WALL AS NOT TO REVEAL ANY ROUGH TILE EDGES. TILE ON SLOPE MUST BE FLUSH WITH TILE ON VERTICAL WALLS.

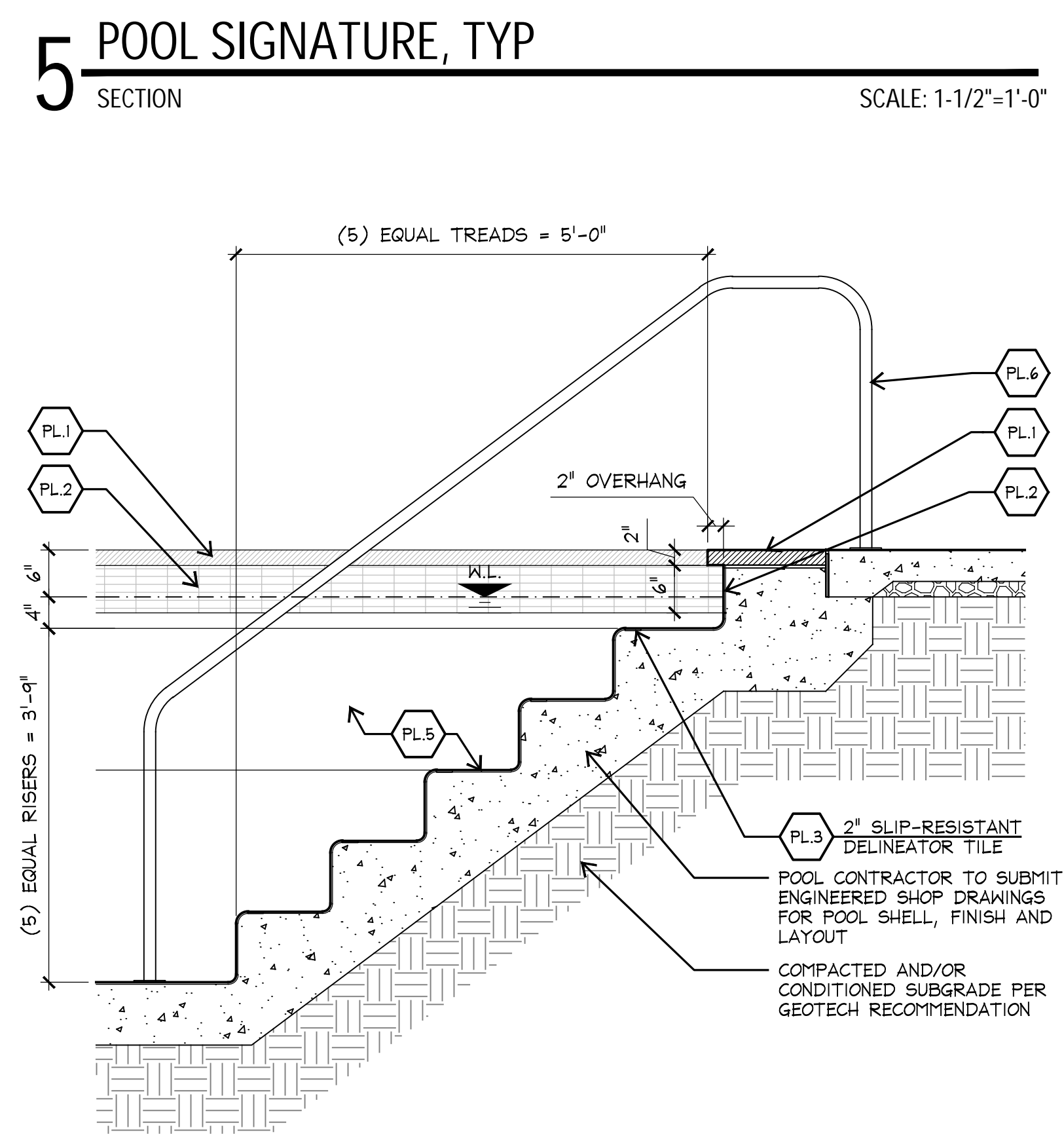
POOL MEP, LIGHTING, SHELL DESIGN & ENGINEERING BY POOL CONTRACTOR.



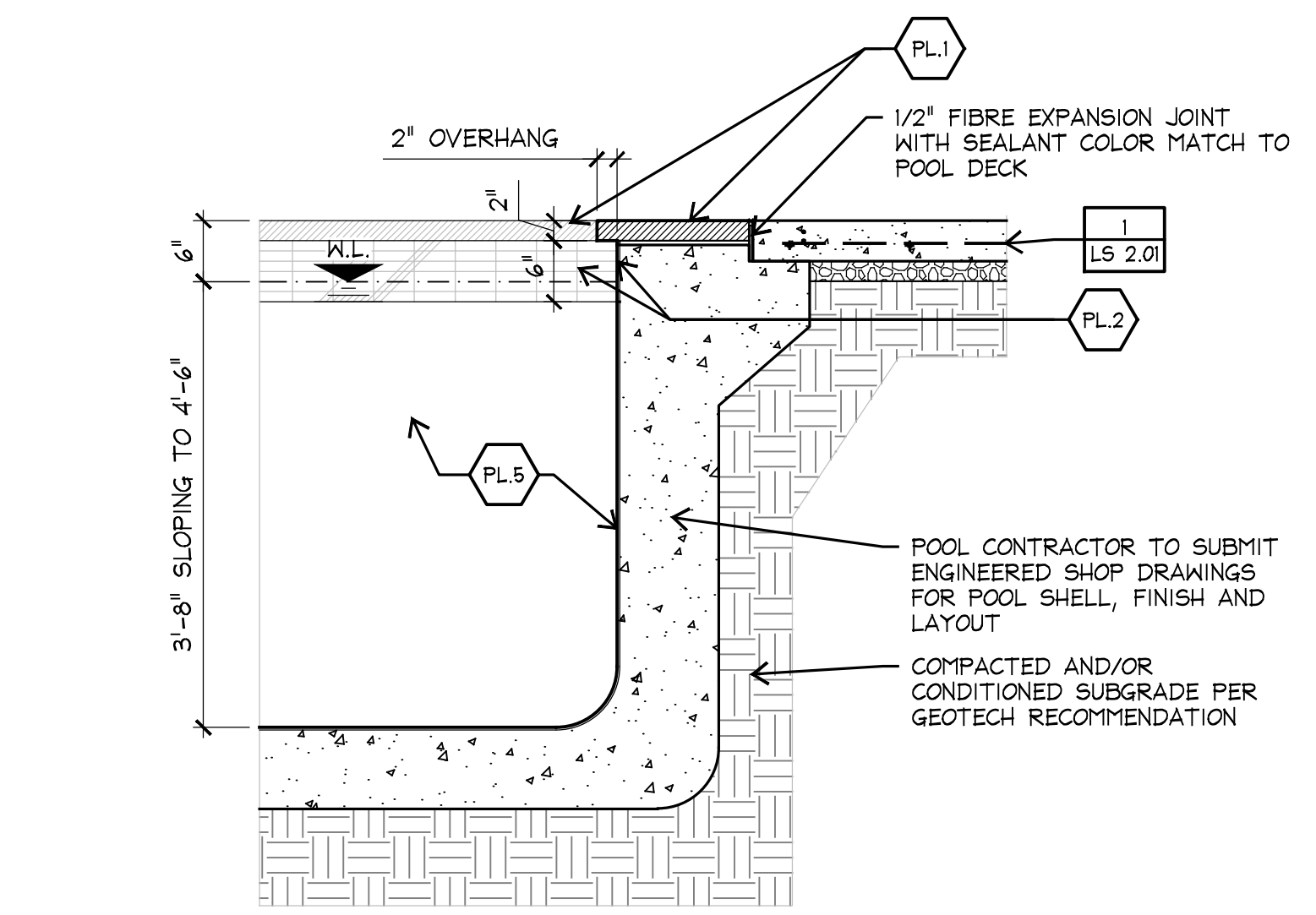
3 POOL COPING EDGE, TYP
 SECTION SCALE: 1-1/2"=1'-0"



2 POOL SUN SHELF, TYP
 SECTION SCALE: 1-1/2"=1'-0"



4 POOL STEPS, TYP
 SECTION SCALE: 1"=1'-0"



1 POOL WALL, TYP
 SECTION SCALE: 1"=1'-0"

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issue date
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designed: JD BD
 drawn: BD AC
 reviewed: JD MM

sheet title
**Sitework
 details**

sheet
LS 2.02

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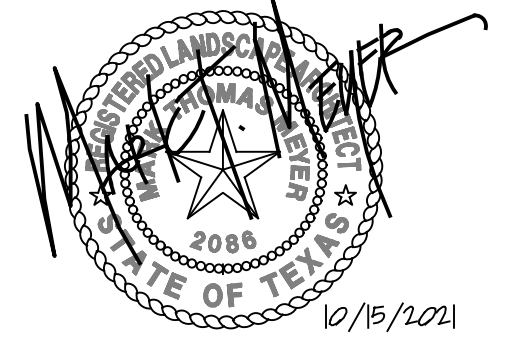


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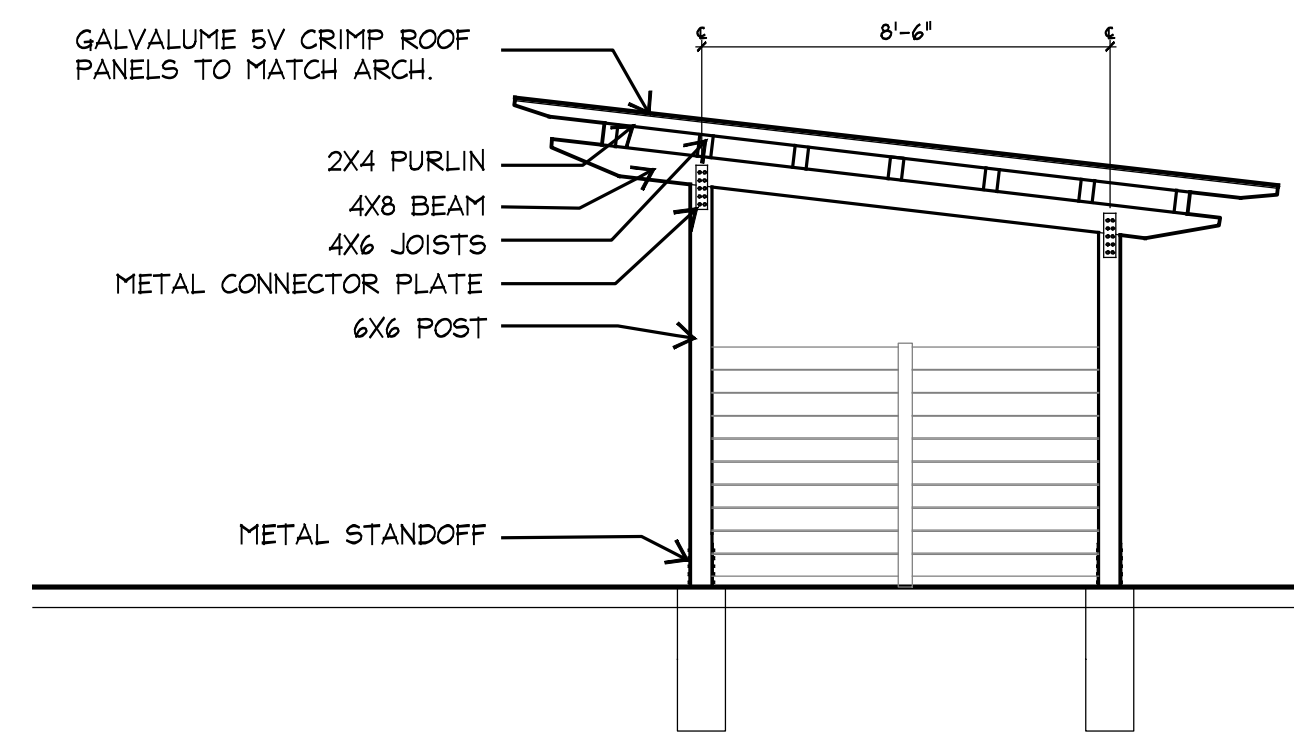
issue date
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designed: JD BD
drawn: BD AC
reviewed: JD MM

sheet title
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details**

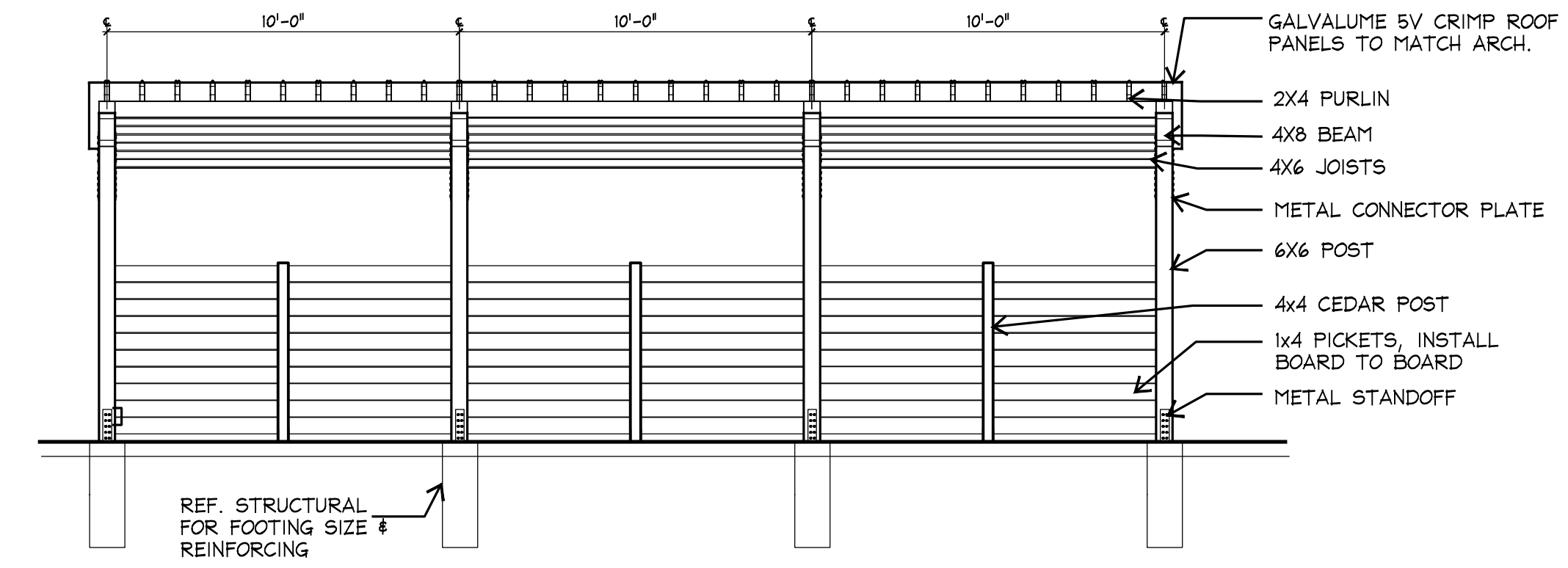
sheet
LS 2.03

NOTE:
ALL WOOD TO BE DOUGLAS FIR #2 OR BETTER.
ALL WOOD TO RECEIVE STAIN AS SELECTED IN MOCKUP.
ALL EXTERIOR PLATES, FASTENERS & METAL TO BE GALVANIZED.



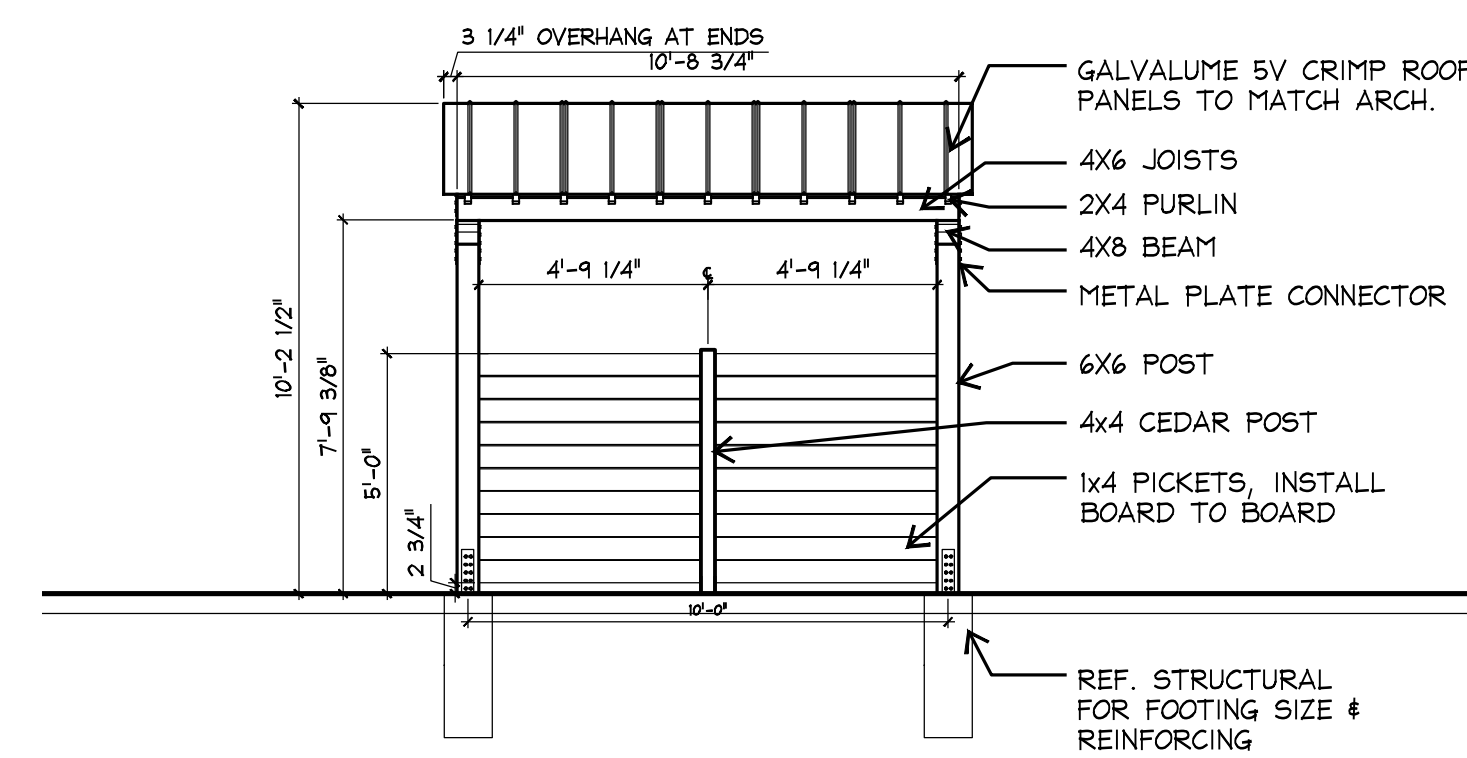
SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS

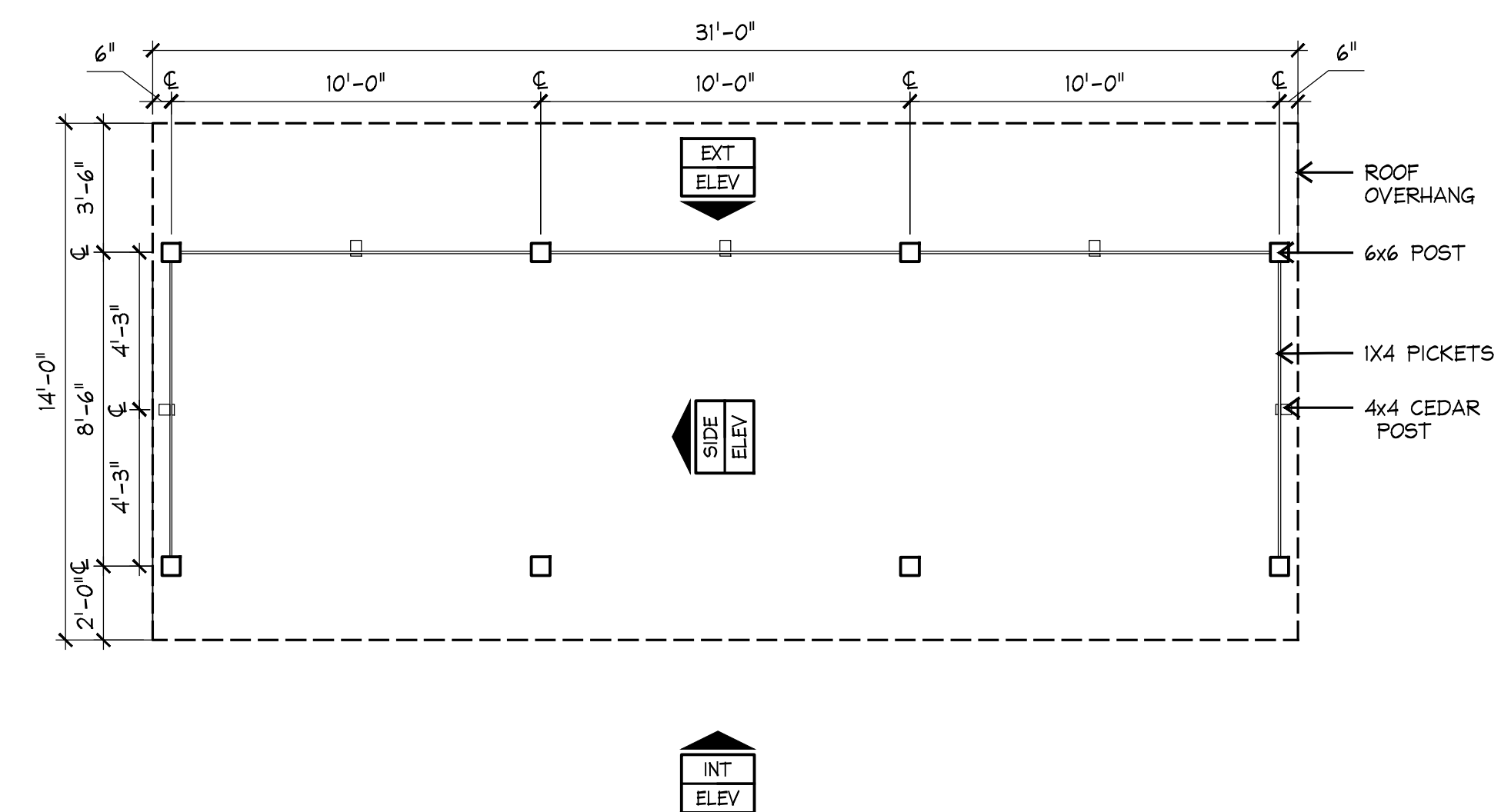


INTERNAL ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS



EXTERNAL ELEVATION
SCALE: 1/4"=1'-0"



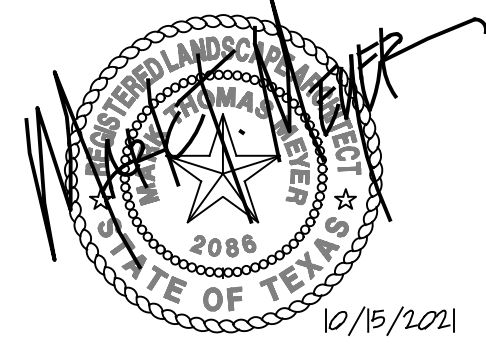
PLAN
SCALE: 1/4"=1'-0"

1 CABANA
AS SHOWN

SCALE: 1/4"=1'-0"



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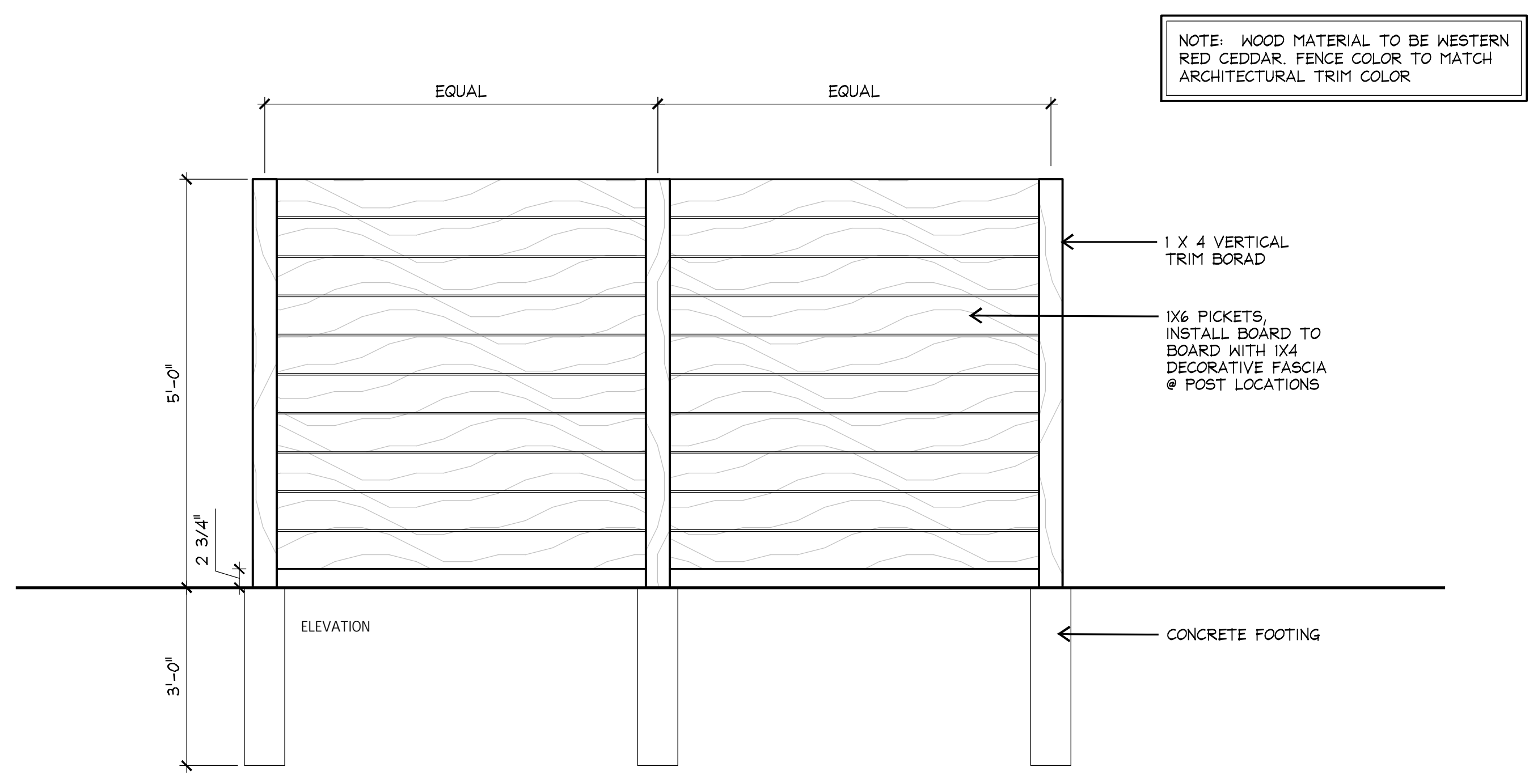
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issue date
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designed: JD BD
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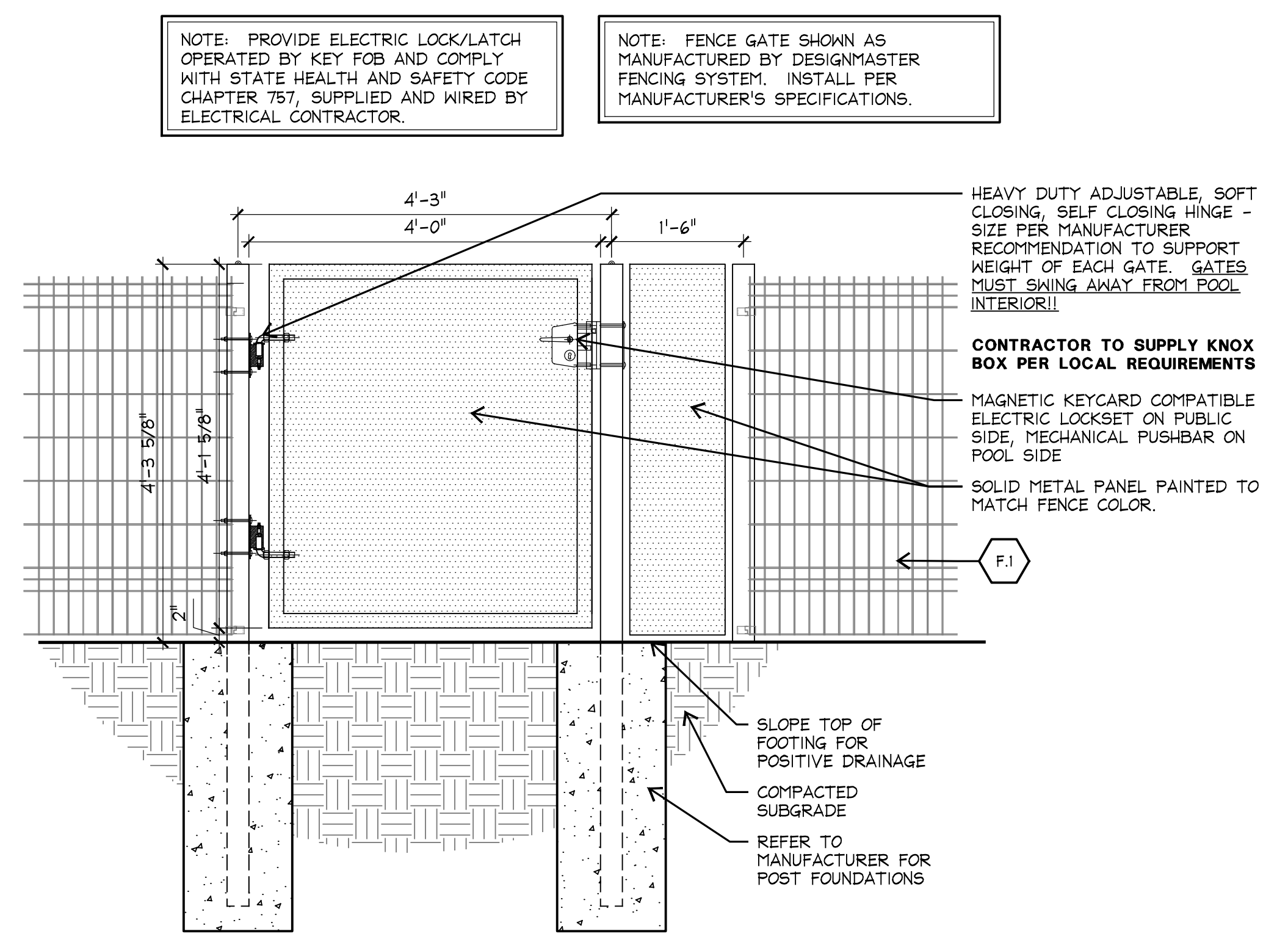
sheet title
**Sitework
 details**

sheet
LS 2.04



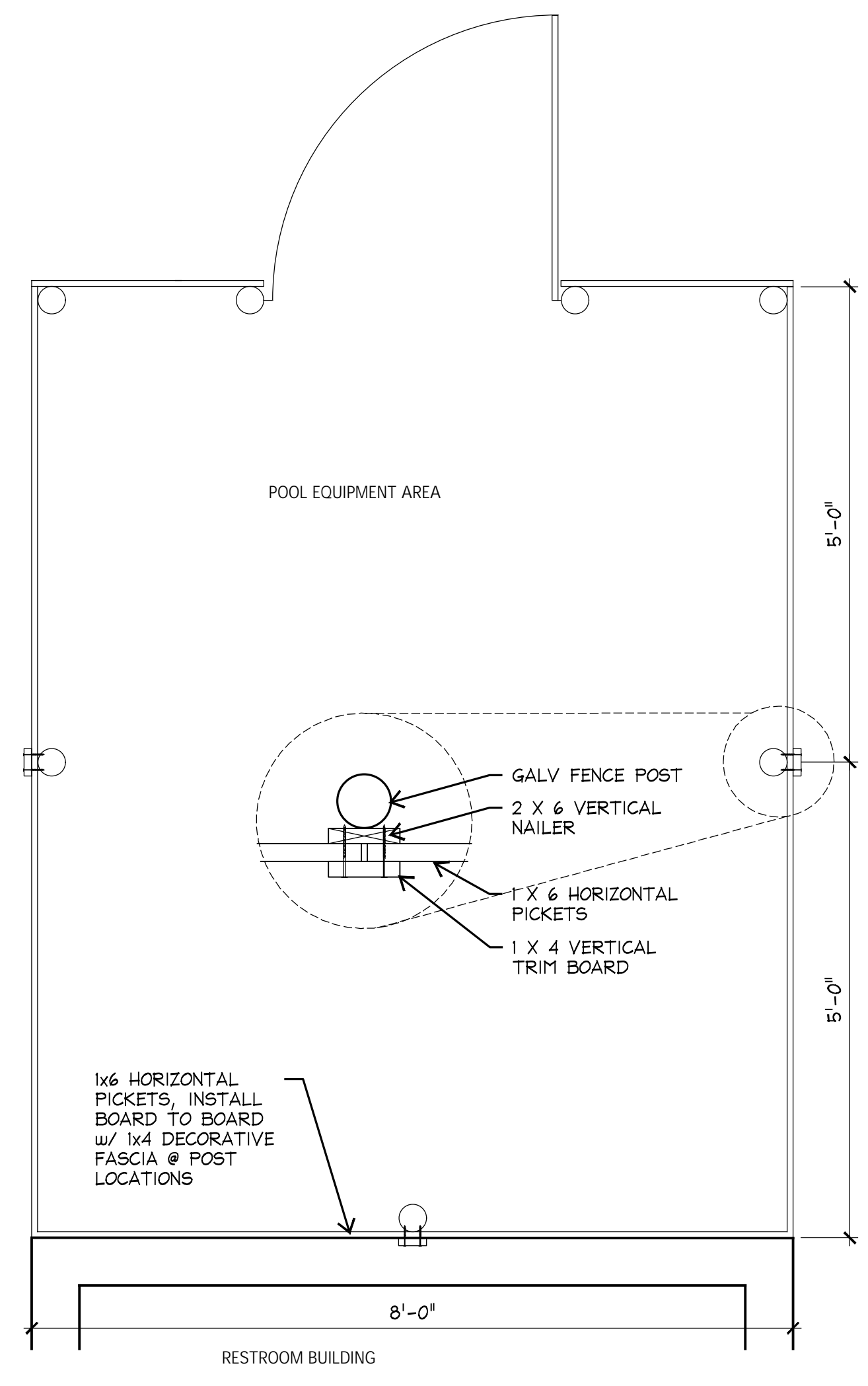
2 POOL EQUIPMENT - SCREEN FENCE
 ELEVATION

SCALE: 3/4"=1'-0"



3 POOL ENTRY DOOR
 ELEVATION

SCALE: 3/4"=1'-0"



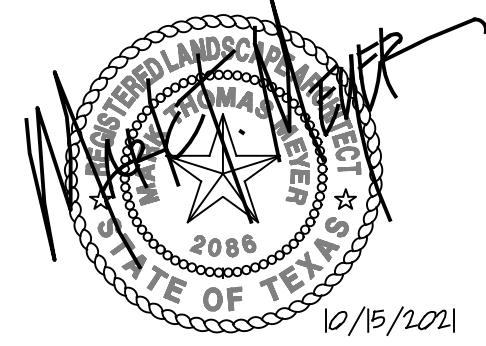
1 POOL EQUIPMENT- SCREEN FENCE
 PLAN

SCALE: 3/4"=1'-0"

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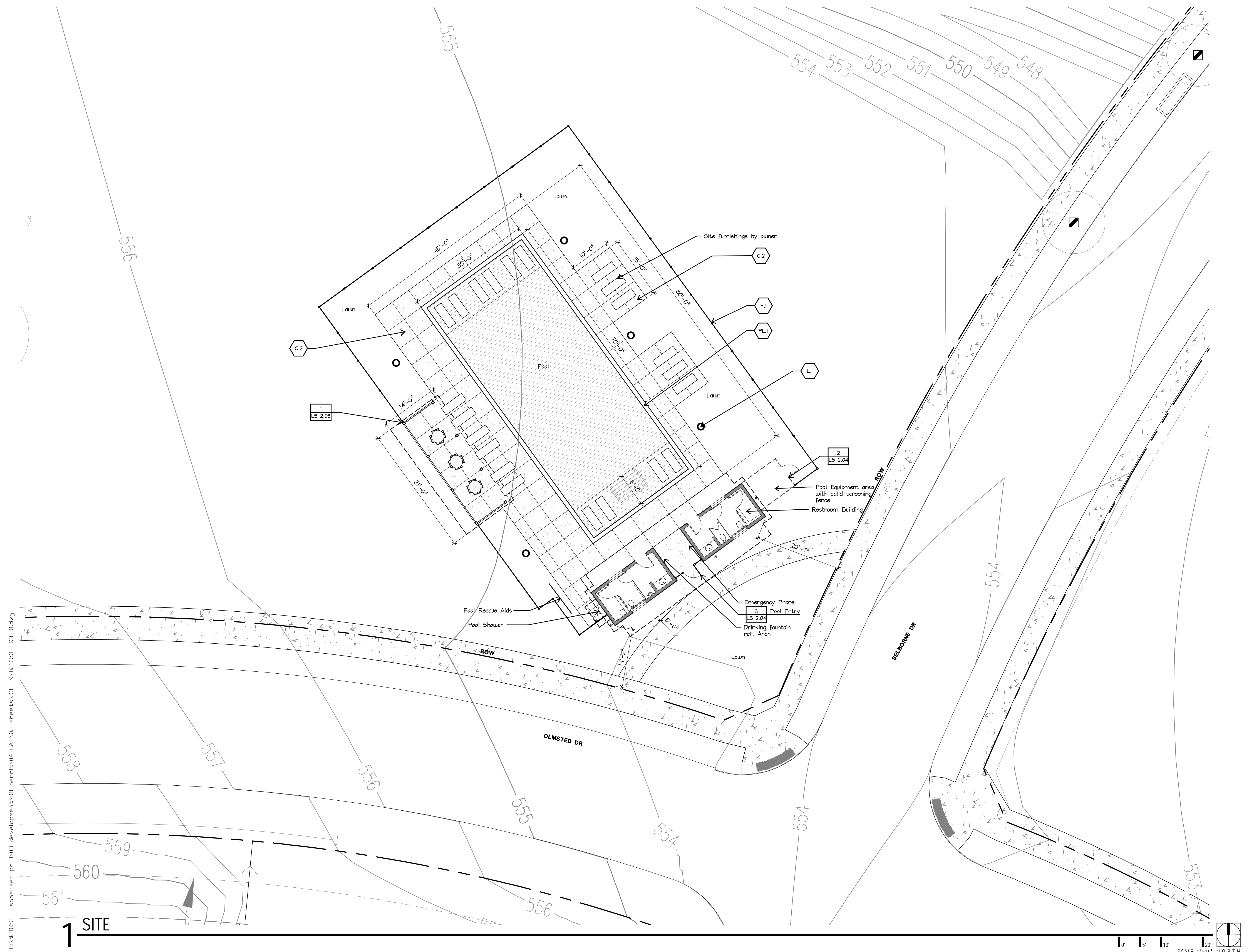
project number
D21053

issue date
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designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
sitework plan

sheet
LS 3.01



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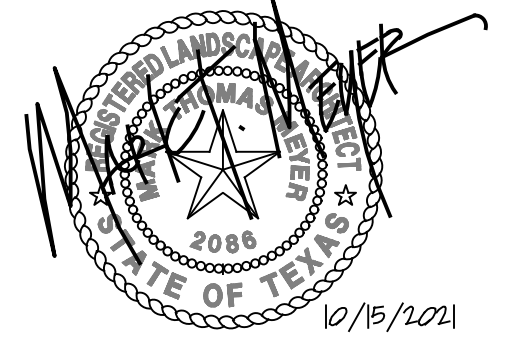
1 SITE

1" = 10' NORTH

MATCHLINE: REF. 1/LP 1.02



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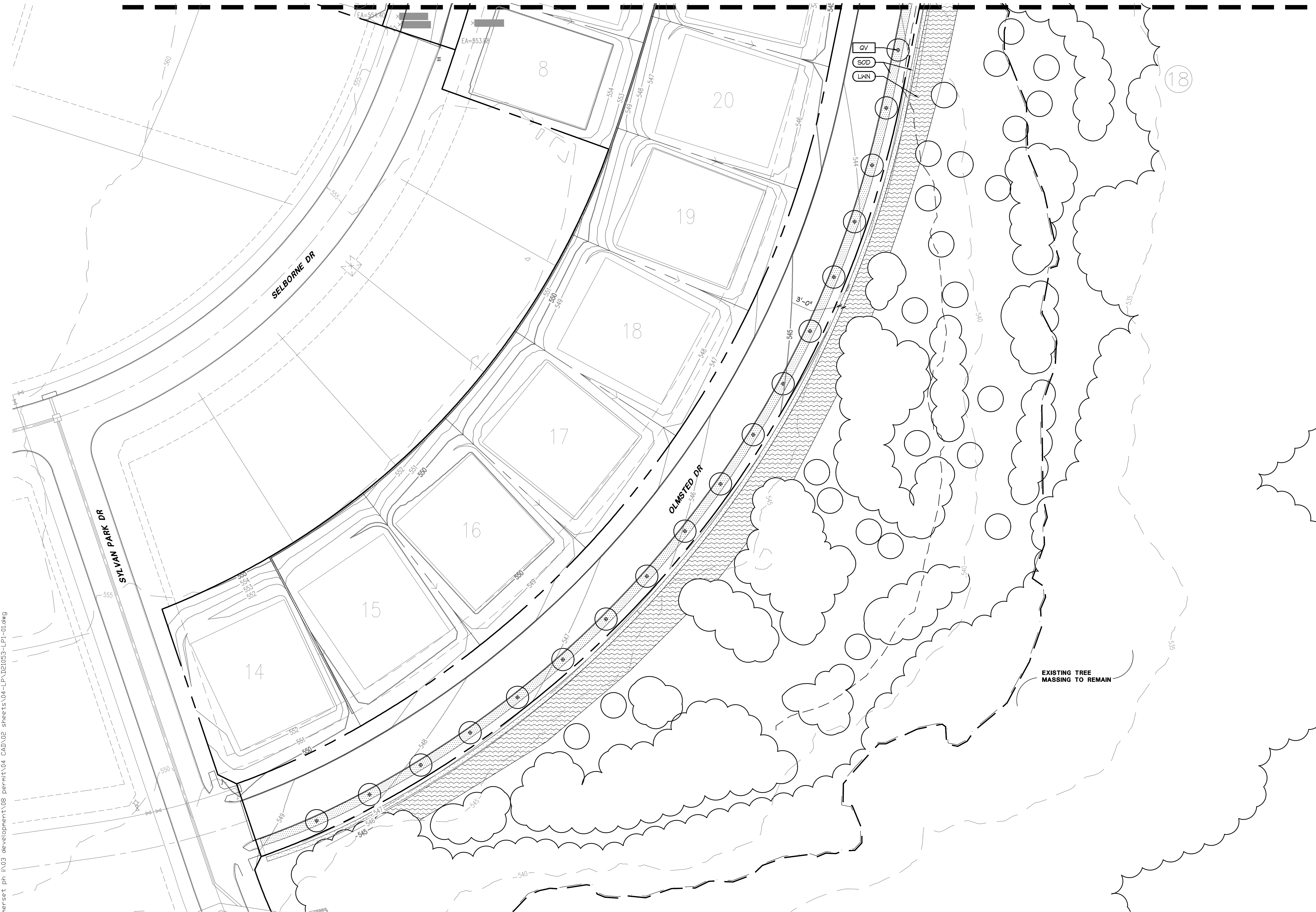
project number
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issue date
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designed: JD BD
drawn: BD AC
reviewed: JD, MM

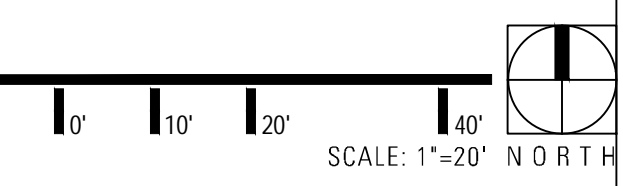
sheet title
planting plan

sheet
LP 1.01



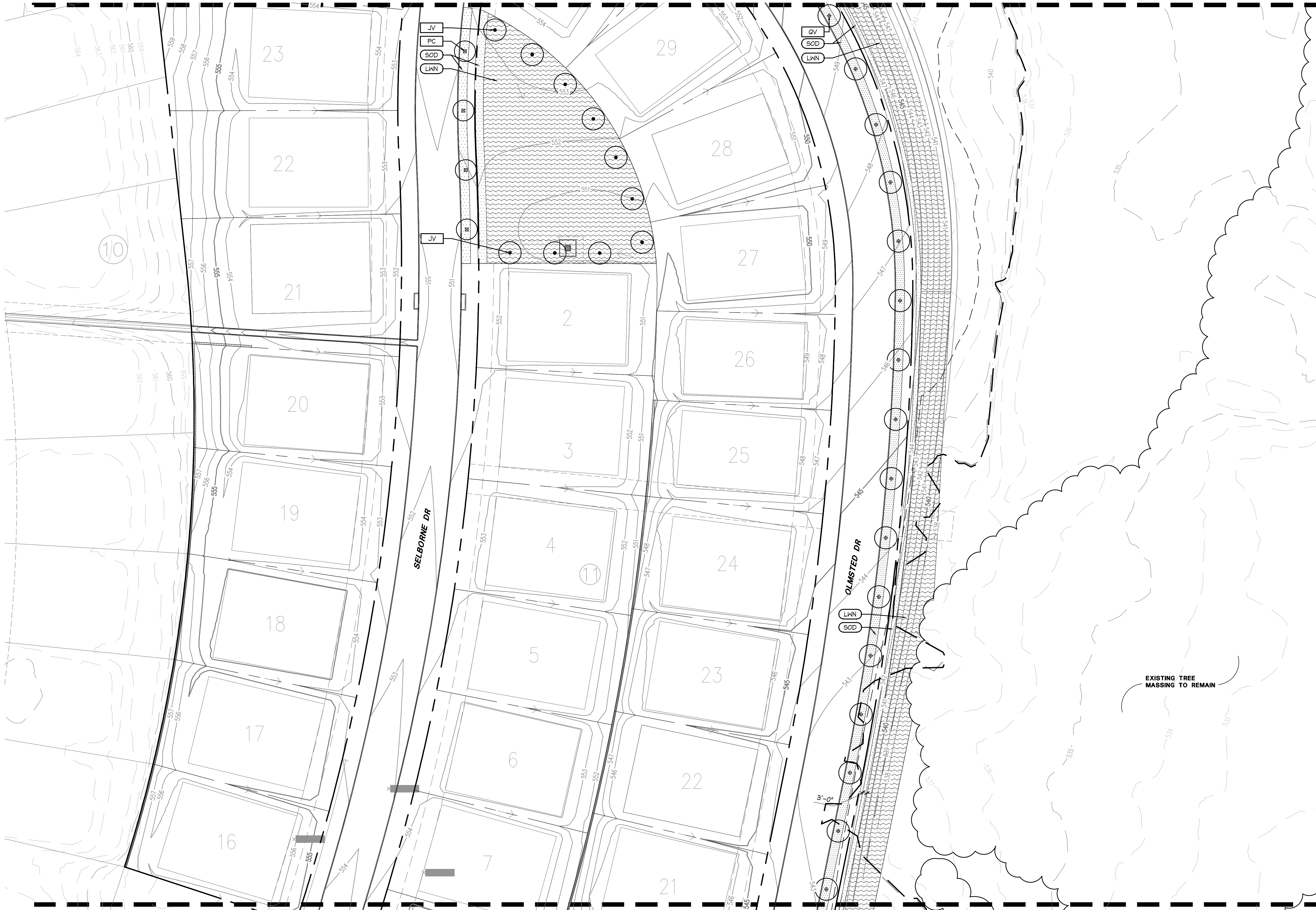
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1 Site
Plan

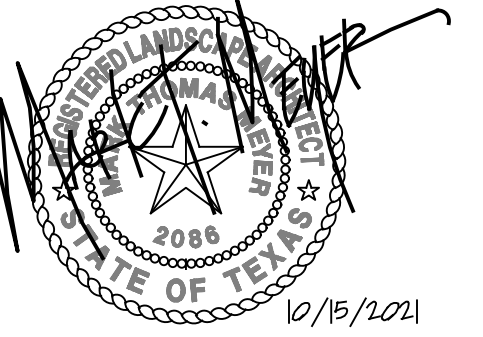


MATCHLINE: REF. 1/LP 1.03

MATCHLINE: REF. 1/LP 1.01



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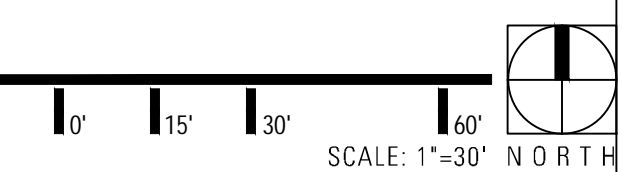
designed: JD, BD
 drawn: BD, AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 1.02

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1 Site
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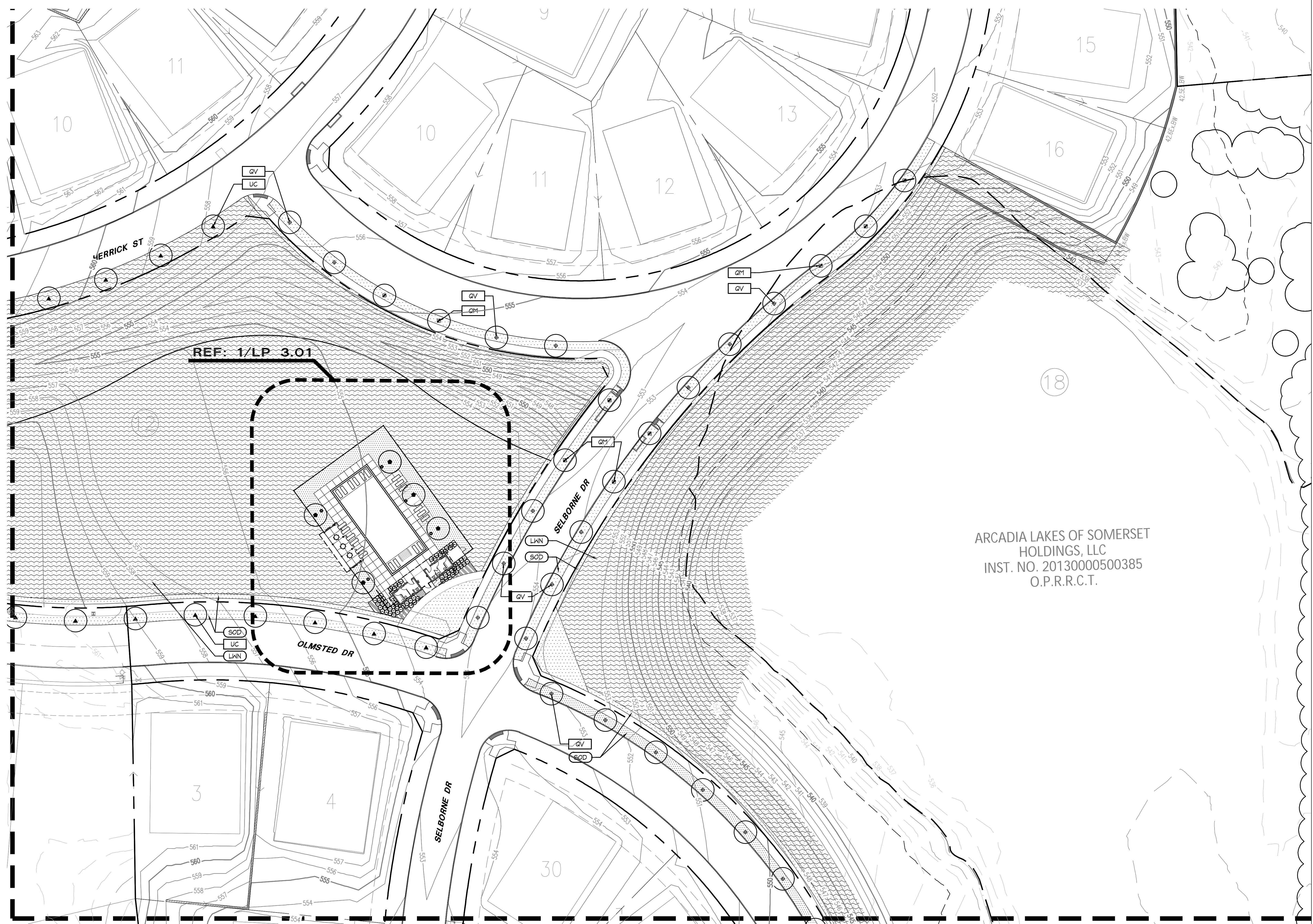
sheet title
planting plan

sheet
LP 1.03

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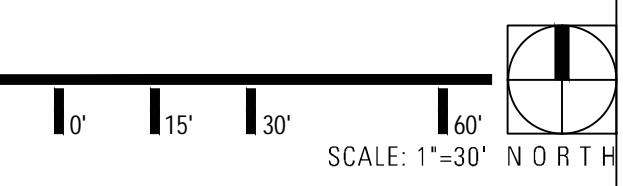
MATCHLINE: REF. 1/LS1.04

MATCHLINE: REF. 1/LS1.02

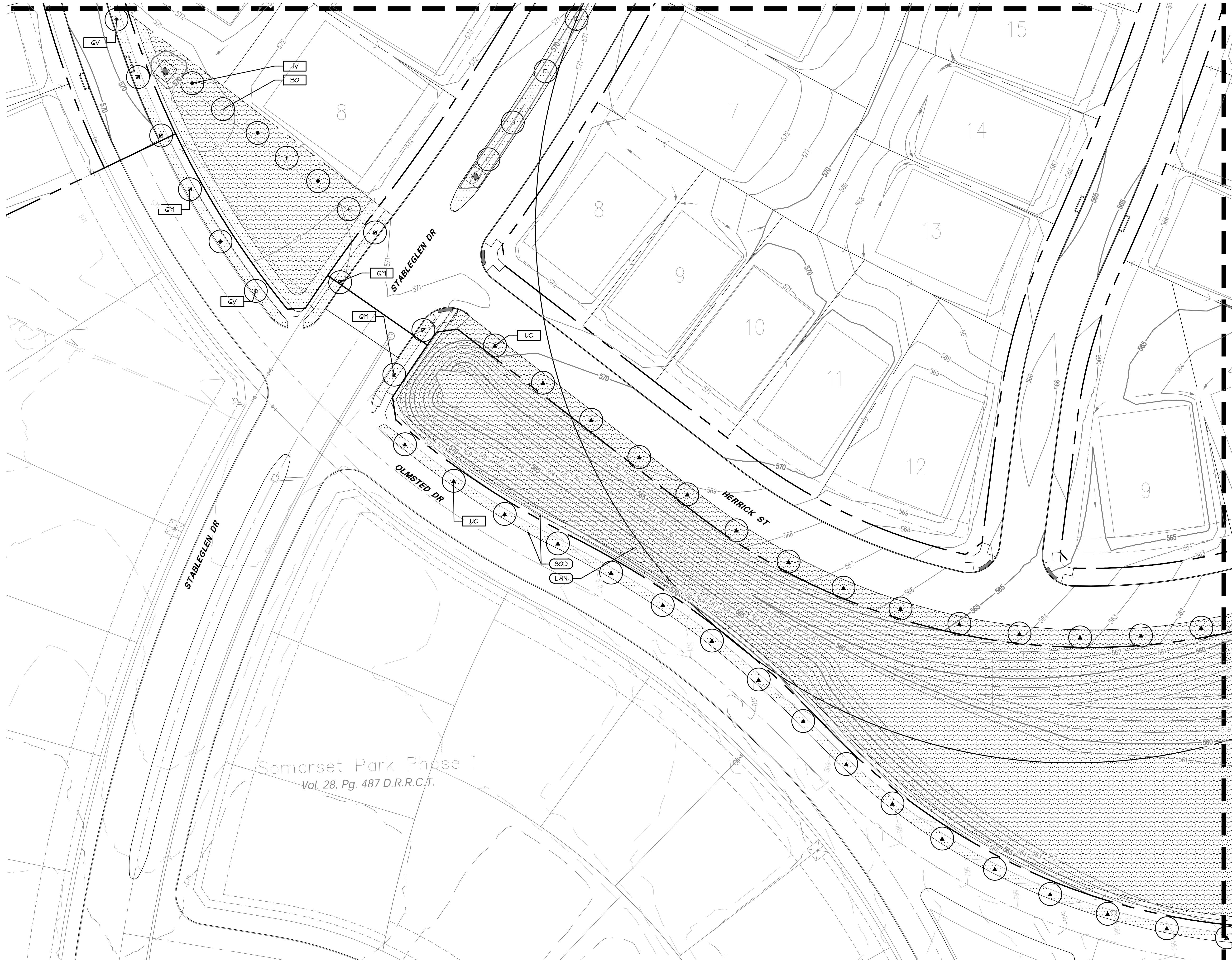


ARCADIA LAKES OF SOMERSET
 HOLDINGS, LLC
 INST. NO. 20130000500385
 O.P.R.R.C.T.

1 Site
 Plan



MATCHLINE: REF. 1/LS 1.05

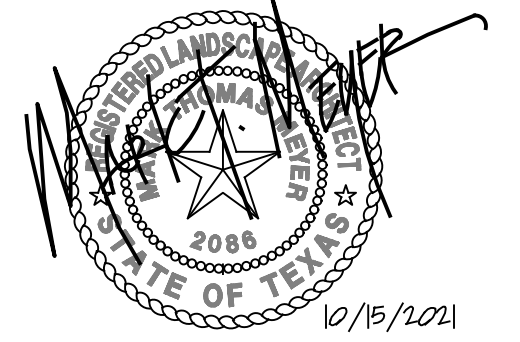


Somerset Park Phase i
Vol. 28, Pg. 487 D.R.R.C.T.

MATCHLINE: REF. 1/LS 1.03



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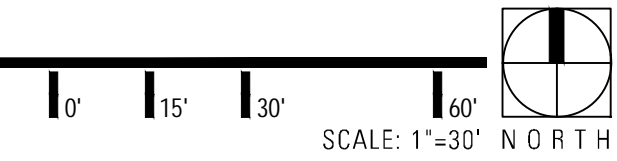
designed: JD, BD
 drawn: BD, AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 1.04

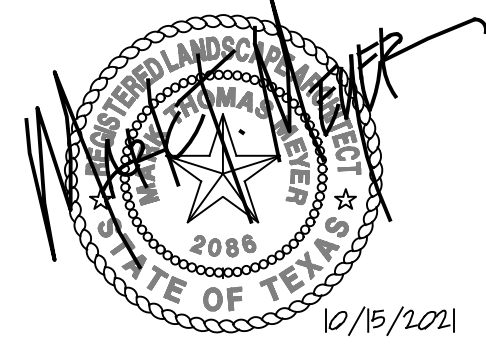
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1 Site
 Plan





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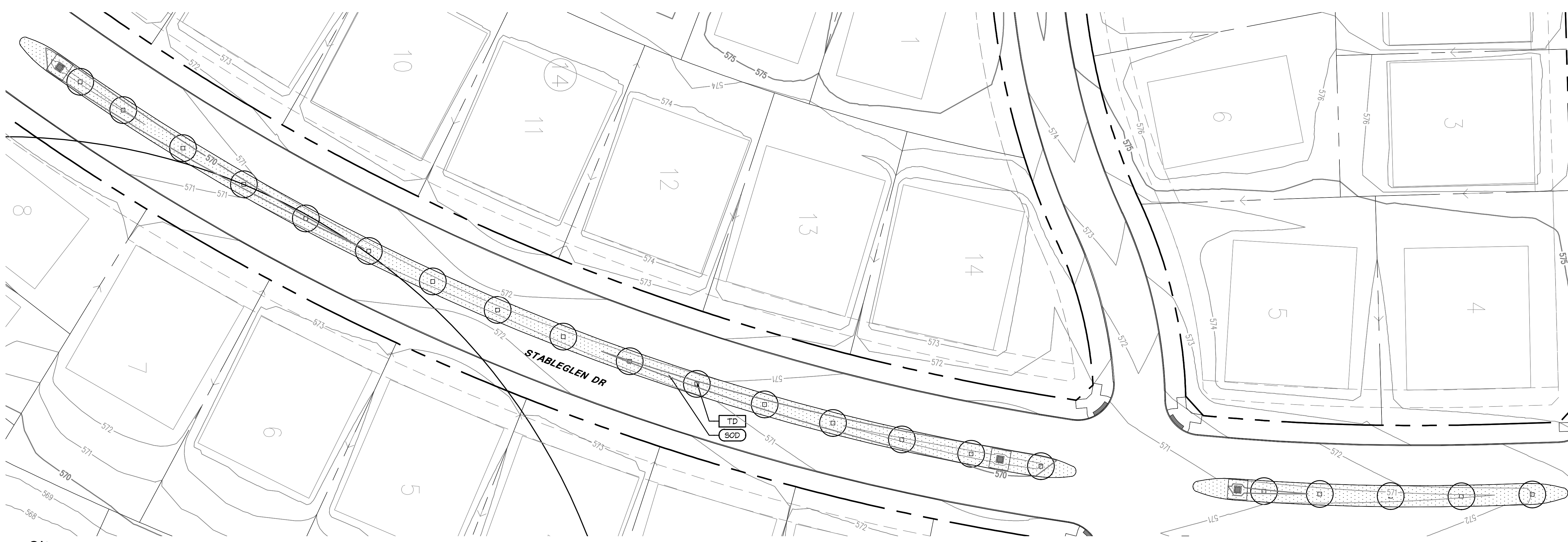
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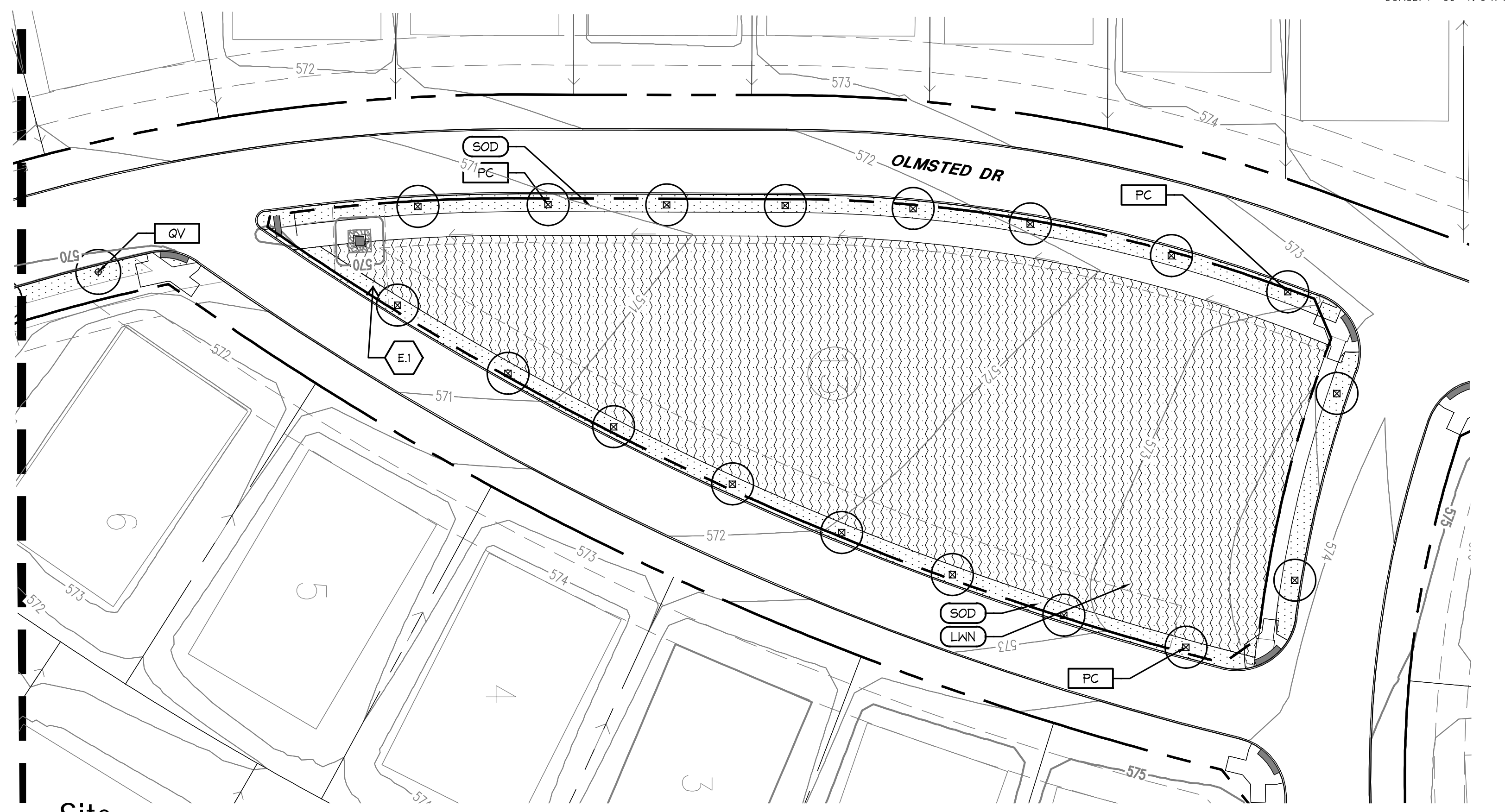
designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
planting plan

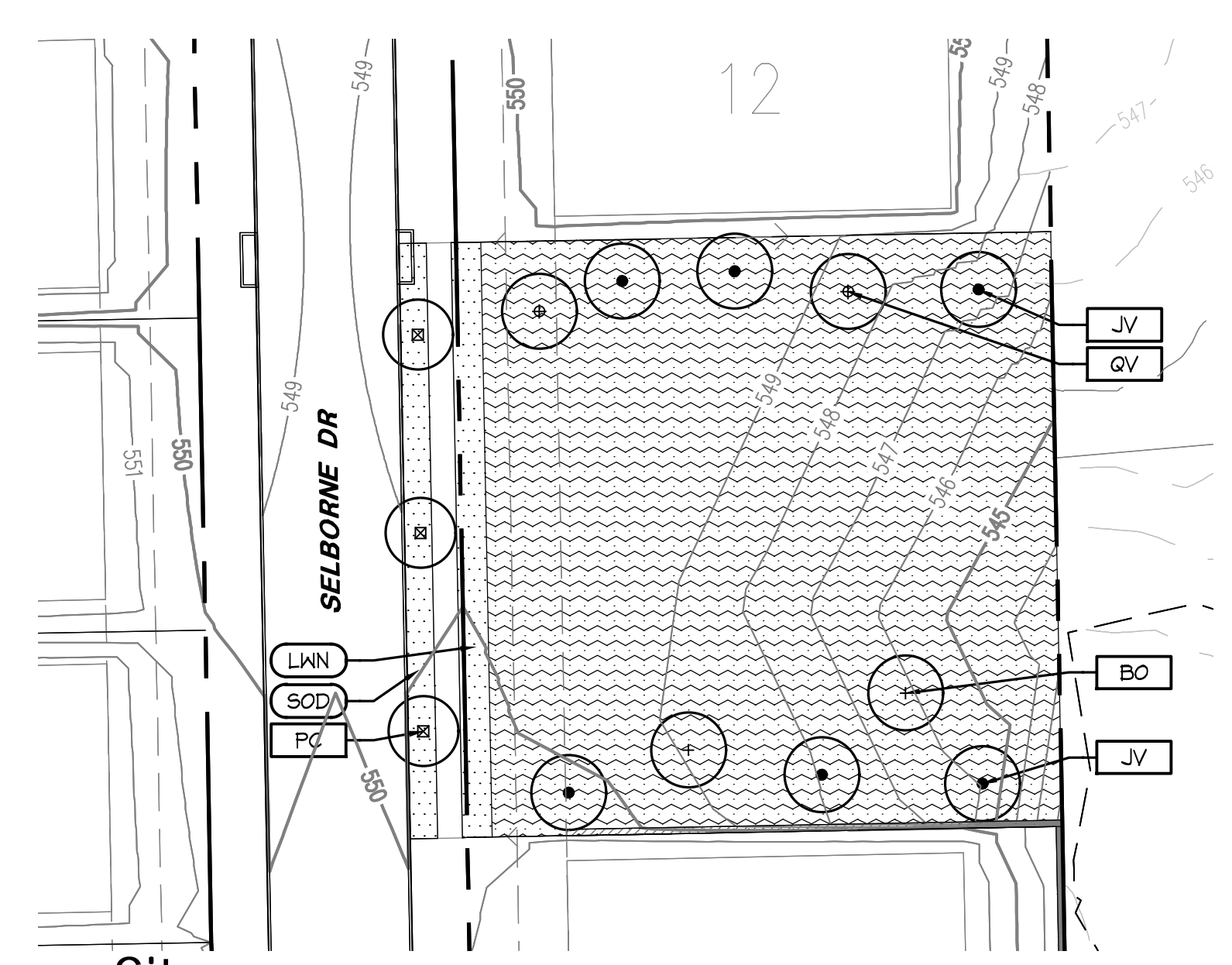
sheet
LP 1.05



3 Site
 Plan

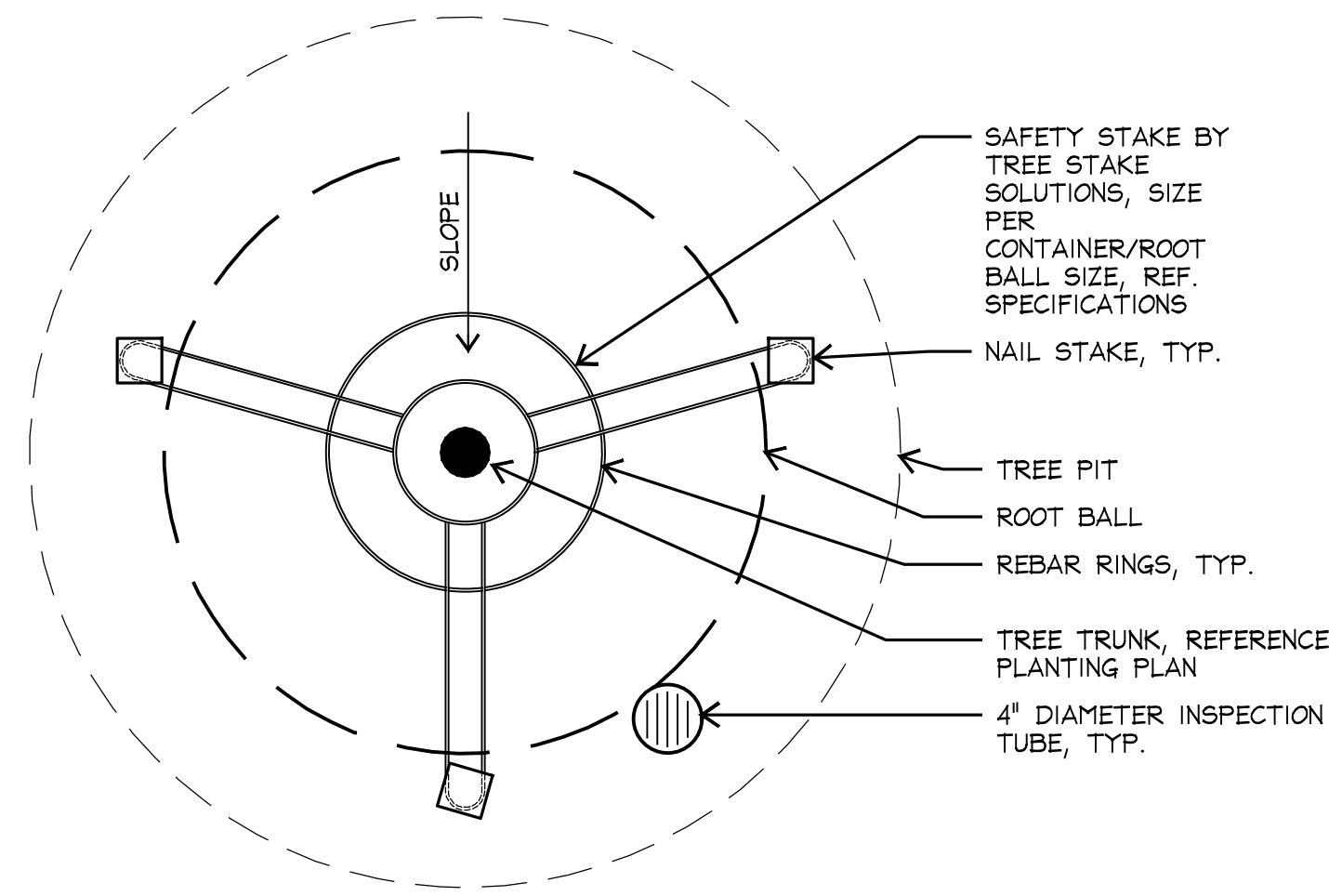


1 Site
 Plan

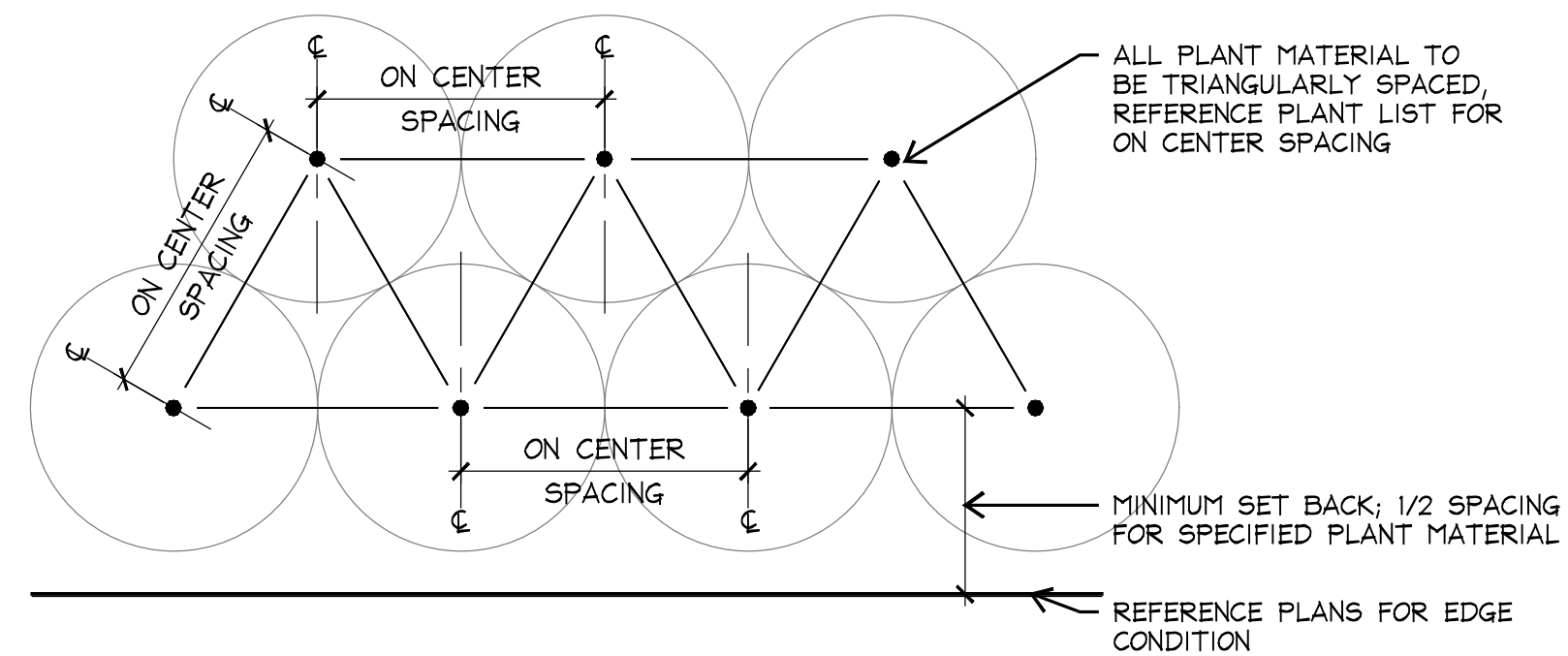


2 Site
 Plan

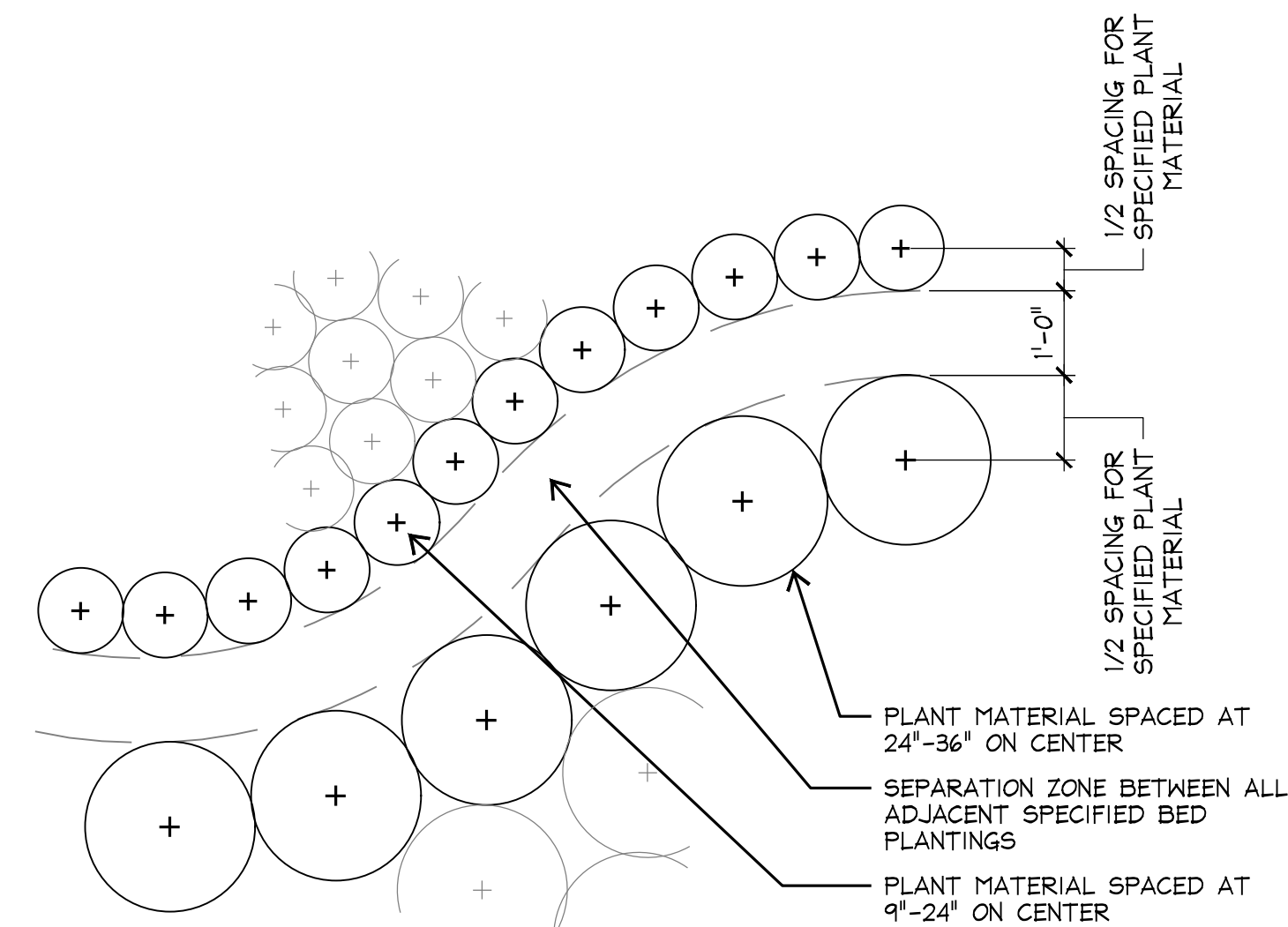
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5 TYPICAL TREE STAKING
PLAN NOT TO SCALE

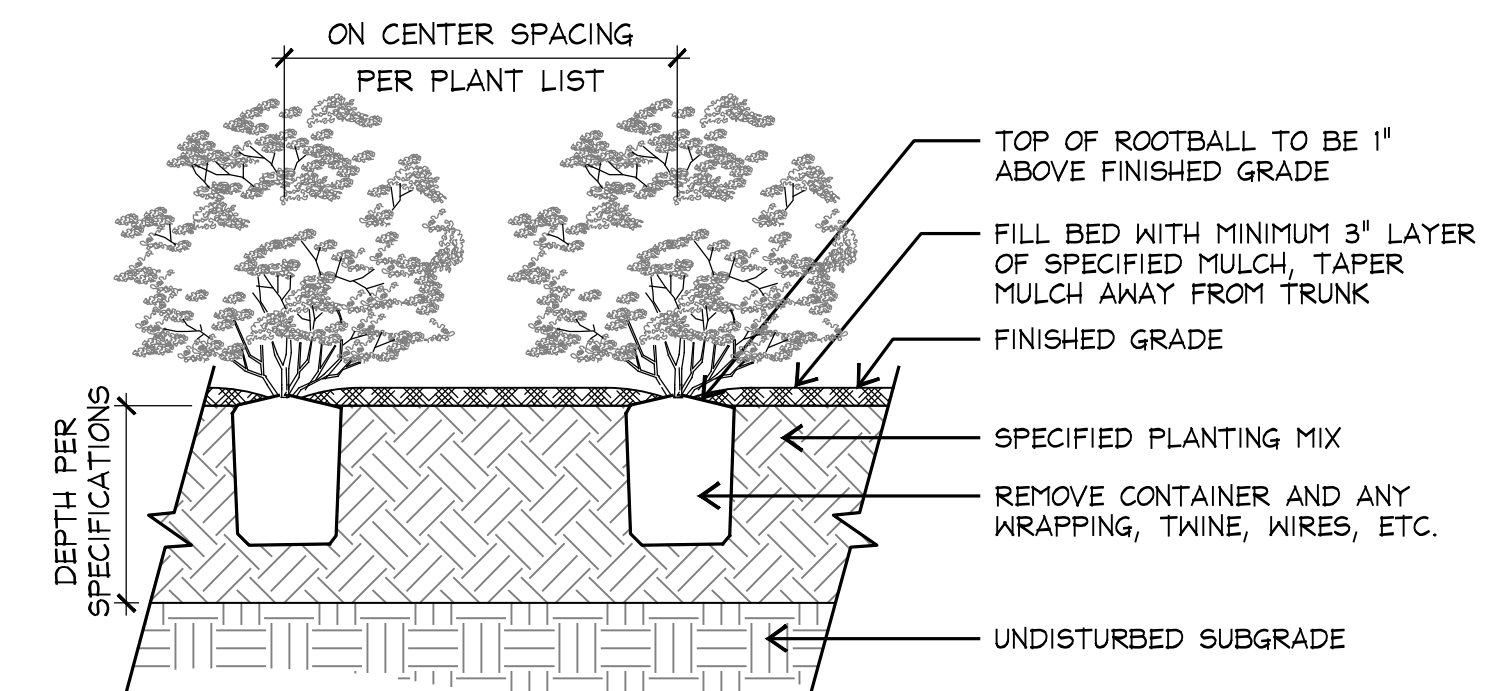


4 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

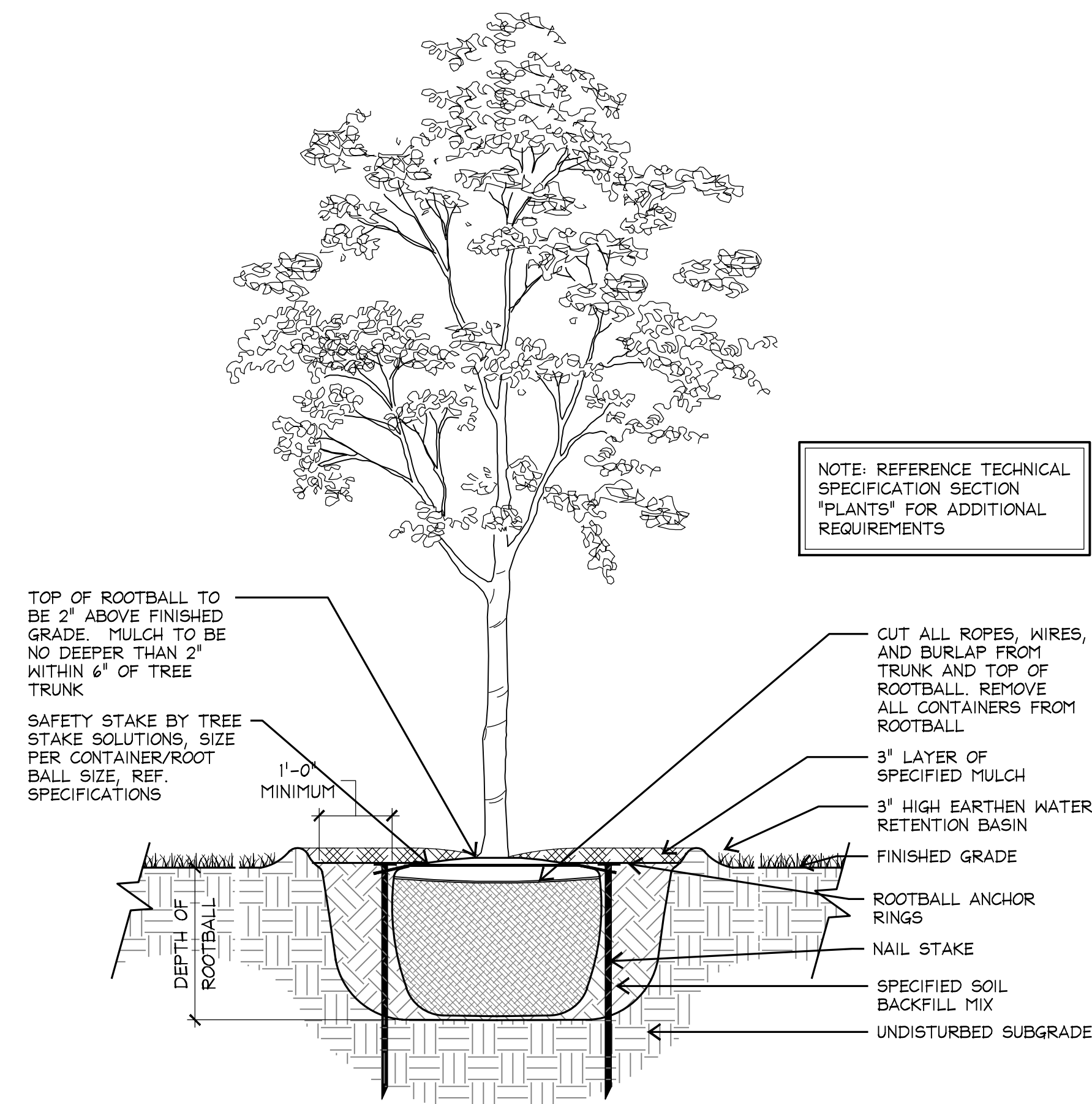


NOTE:
THIS DETAIL IS DRAWN TO SHOW THE INTENDED PLANTING LAYOUT OF ADJACENT SHRUB BEDS ALONG CURVES. CONTRACTOR TO PLANT ALL PERIMETER OF BED AREAS AS SHOWN AND THEN PLANT THE REMAINDER OF THE BED TRIANGULARLY AT THE SPECIFIED SPACING.

3 CURVED BED LAYOUT
PLAN NOT TO SCALE



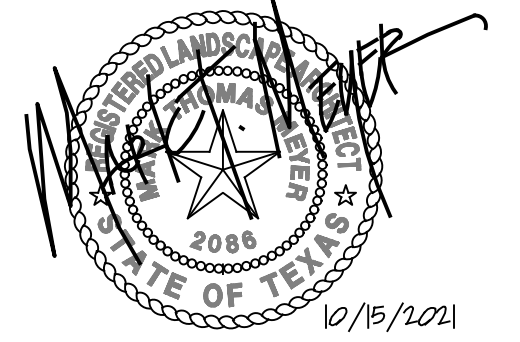
2 SHRUB BED PLANTING
SECTIONS NOT TO SCALE



1 TREE PLANTING - STANDARD TRUNK
SECTION NOT TO SCALE



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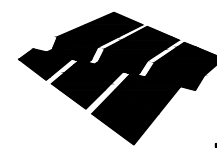
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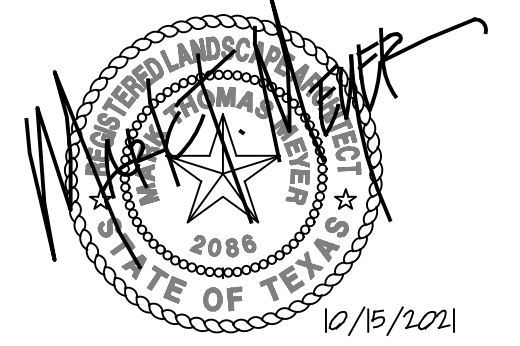
sheet title
**planting
details**

sheet
LP 2.01

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 reviewed: JD MM

sheet title
**planting
 schedule**

sheet
LP 2.02

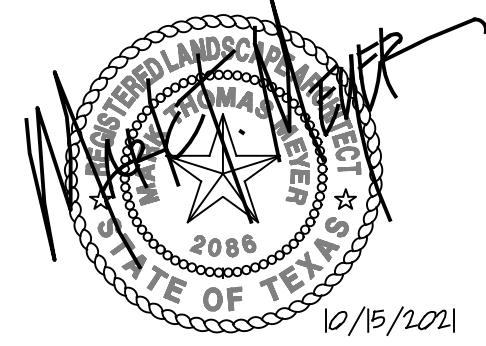
| PLANT LIST | | | | | | |
|---------------------------------------|---------|-----|----------------------|------------------------------|-----------------|---------------------------------|
| SHADE TREES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 5 | | BO | BUR OAK | QUERCUS MACROCARPA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 19 | | JV | EASTERN RED CEDAR | JUNIPERUS VIRGINIANA | ---- | ---- |
| 25 | | PC | CHINESE PISTACHE | PISTACHIA CHINENSIS | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 16 | | QM | CHINQUAPIN OAK | QUERCUS MUEHLENBERGII | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 59 | | QV | LIVE OAK | QUERCUS VIRGINIANA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 21 | | TD | BALD CYPRESS | TAXODIUM DISTICHUM | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 42 | | UC | CEDAR ELM | ULMUS CRASSIFOLIA | 3 CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 6 | | UP | LACEBARK ELM | ULMUS PARVIFOLIA | NONE | None |
| SHRUBS, ORNAMENTAL GRASSES, AND VINES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| | | MSA | ADAGIO MISCANTHUS | MISCANTHUS SINENSIS 'ADAGIO' | 3 GAL. @36" OC | None |
| PERENNIALS, GROUNDCOVERS, AND ANNUALS | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 25 | | LNK | NEW GOLD LANTANA | LANTANA X 'NEW GOLD' | 1 GAL. 18" O.C. | DENSE. UNIFORM. |
| 40 | | SG | LIPSTICK AUTUMN SAGE | SALVIA GREGGII 'LIPSTICK' | 3 GAL. 24" O.C. | DENSE. UNIFORM. |
| TURF GRASS AND SEED MIXES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 82408 | | LNK | COMMON BERMUDA | CYNODON DACTYLON | HYDROSEED | HYDROSEED |
| 22494 | | SOD | COMMON BERMUDA | CYNODON DACTYLON | SOD | SOD |

1 Planting Schedule

SCALE: AS SHOWN



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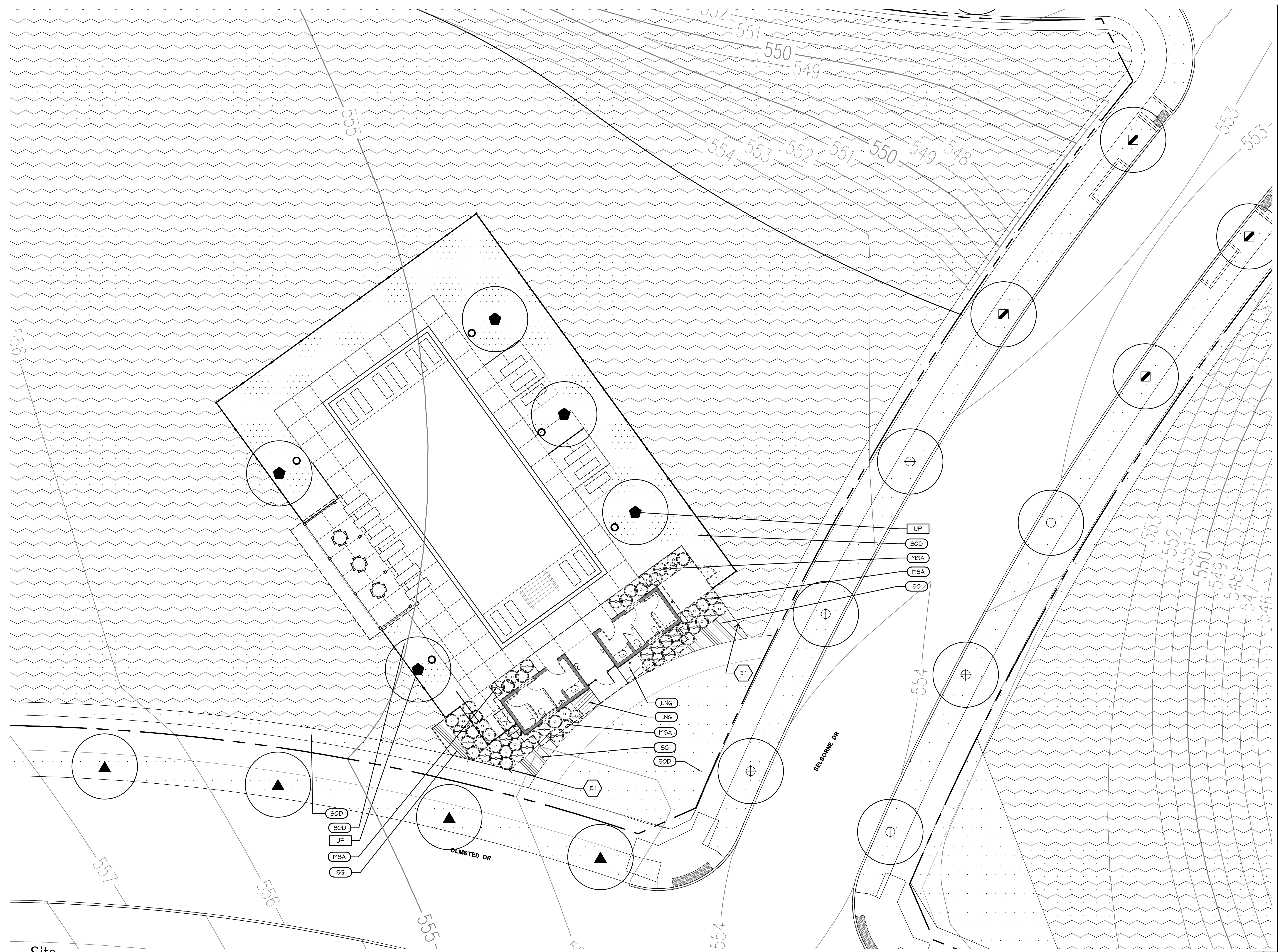
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issue date
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designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

sheet title
planting plan

sheet
LP 3.01



1 Site
 Plan

SCALE: 1"=10' N O R T H

P:\21053 - somerset ph II\03 development\08 permit\04 CAD\02 sheets\04-LP\021053-LP3-01.dwg



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: November 9, 2021
SUBJECT: SP2021-029; *Site Plan for Somerset Park Phase 2 Subdivision*

The applicant, Greg Helsel of Spiars Engineering, Inc., is requesting the approval of a site plan for Phase 2 of the Somerset Park Subdivision. The subject property is an 82.809-acre tract of land (*Tract 7 of the A. Johnson Survey, Abstract No. 123*) generally located at the northwest corner of the intersection of S. Goliad Street [*SH-205*] and FM-549. Following the development schedule outlined in Planned Development District 63 (PD-63), Phase 2 of the Somerset Park Subdivision has been approved for a *Master Plat* [*Case No. P2015-003*] and *Preliminary Plat* [*Case No. P2015-004*]. It should be noted that concurrently with the site plan request the applicant has submit a *Final Plat* [*Case No. P2021-056*]. As part of this case the applicant has submitted a site plan, a landscape and hardscape plans, and a treescape plan for the proposed phase. In addition, the applicant has submitted building elevations for the proposed amenity center, which will be constructed with this phase of the subdivision.

The submitted site plan, landscape plan, hardscape plan, treescape plan, and building elevations conform to the technical requirements contained within Planned Development District 63 (PD-63) and the Unified Development Code (UDC). Associated with the amenity center, the site plan indicates an outdoor pool with a solid screening fence will be constructed on a portion of Phase 2. The hardscape plan shows that a wood fence -- *that meets the requirements within Planned Development District 63 (PD-63)* -- will screen the pool equipment along with accent trees. The treescape plan depicts 276.5 caliper inches will be removed during the construction of Phase 2 of the Somerset Park Subdivision; however, the landscape plan indicates that 772 caliper inches (*i.e. 193, four [4] inch caliper trees will be planted equating to 772 caliper inches of trees*) will be planted, reducing the total mitigation balance to zero (0). The proposed elevations for the restroom building meet all the applicable building standards outlined in Planned Development District 63 (PD-63). Based on the site plan conforming with all applicable technical requirements of Planned Development District 63 (PD-63) and the Unified Development Code (UDC), this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the November 9, 2021 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION SOMERSET PARK PH.2

LOT -

BLOCK -

GENERAL LOCATION NEOF THE INTERSECTION OF SH 205 AND FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-63

CURRENT USE VACANT

PROPOSED ZONING PD-63

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 82.809

LOTS [CURRENT] 1

LOTS [PROPOSED] 165 (RES.) 6 (HOT)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ARCADIA LAKES OF SOMERSET HOLDINGS, LLC APPLICANT SPINES ENGINEERING, INC.

CONTACT PERSON BILL BETERMA

CONTACT PERSON GREG HESSEL

ADDRESS 3500 MAPLE AVENUE

ADDRESS 765 CUSTER RD.

SUITE 1165

CITY, STATE & ZIP DALLAS, TX 75219

CITY, STATE & ZIP PLANO, TX 75075

PHONE (214) 986-5024

PHONE (903) 408-7486

E-MAIL bill@arcadiarealty.net

E-MAIL greg.hessel@spinesengineering.com

NOTARY VERIFICATION [REQUIRED]

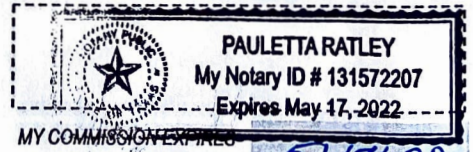
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Beterma Jr [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

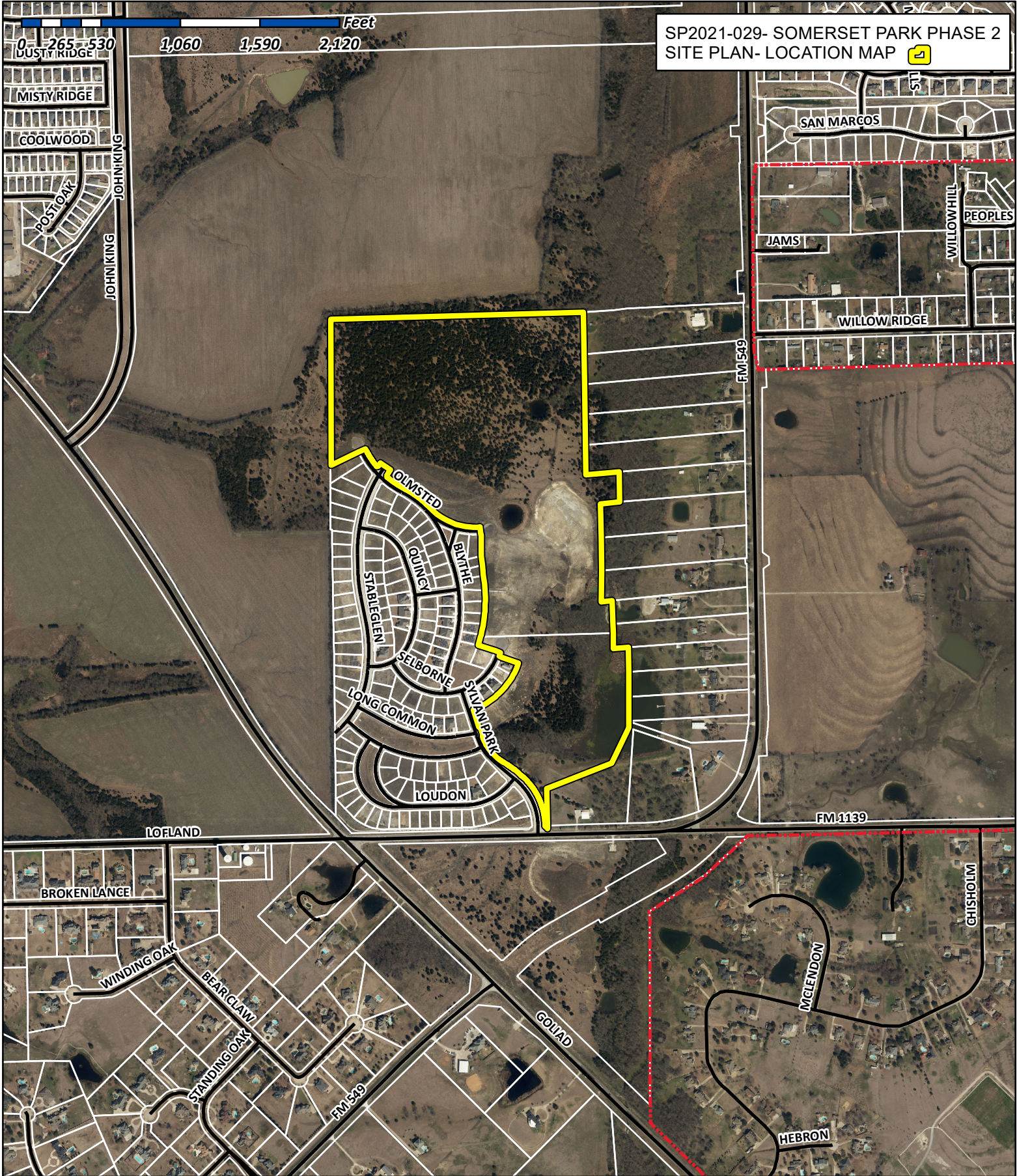
¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 + 20.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2021.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2021-029- SOMERSET PARK PHASE 2
 SITE PLAN- LOCATION MAP



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



October 15, 2021

Mr. Ryan Miller
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Re: Contacts Affiliated with
Somerset Park Phase II
Rockwall, Texas
SEI Project No.: 20-112

Dear Mr. Miller:

Please find below a list of all affiliated contacts for the above mentioned project:

Owner/Developer:

Katherine Hamilton
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue
Suite 1165
Dallas, Texas 75219
katherine@arcadiarealty.net

Project Representative:

Greg T. Helsel, P.E.
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
972-215-7129
972-422-0075 fax
greg.helsel@spiarsengineering.com

If you have any questions, please do not hesitate to contact me.

Sincerely,
Spiars Engineering, Inc.



Greg T. Helsel, P.E.





City of Rockwall
 385 S Goliad Street
 Rockwall, TX 75087

RE: Somerset Park- Park Improvement Fee

This letter shall detail the estimated costs Arcadia Lakes of Somerset Holdings, LLC will be spending on park improvements in Phase 2 of Somerset Park. Per City policy, the Park Improvement Fee will be waived provided these outlined costs are equal to or greater than the calculated Park Improvement Fees.

Below we have provided an outline of the cost of the park improvements we will be making in Somerset Park Phase 2 to offset the fee. There will be approximately 21,896 square feet of trail in Phase 2, priced at \$4.85 per square foot for a total of \$116,815.16 including a 10% contingency to provide for potential cost increases. Additionally, not included in the costs below Arcadia will be building an Amenity Center that can offset any remaining difference. Please let us know if we can provide any additional information.

*Please see the landscaping plan included in the submittal for sheet numbers.

| Somerset Park Phase 2: Hike/Bike Trail Costs | | | | | |
|---|------------|--------------------|-------------|-------------------|---------------------|
| Item | Qty | Description | Unit | Unit Price | Extension |
| Sheet LS1.01 Olmsted Drive ROW | | | | | |
| 1 | 6,144 | 8' Trail | SF | \$4.85 | \$29,798.40 |
| Sheet LS1.02 Olmsted Drive ROW | | | | | |
| 2 | 4,928 | 8' Trail | SF | \$4.85 | \$23,900.80 |
| Sheet LS1.04 Olmsted Drive ROW | | | | | |
| 3 | 7,104 | 8' Trail | SF | \$4.85 | \$34,454.40 |
| Sheet LS1.05 Olmsted Drive (Open Space ROW) | | | | | |
| 4 | 3,720 | 8' Trail | SF | \$4.85 | \$18,042.00 |
| Subtotal | | | | | \$106,195.60 |
| 10% Contingency | | | | | \$10,619.56 |
| TOTAL | | | | | \$116,815.16 |

Regards,

Katherine Hamilton
 Arcadia Lakes of Somerset Holdings, LLC
 3500 Maple Avenue, Suite 1165
 Dallas, TX 75219



TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

(214) 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

issue date
10/15/2021

designed: JD BD
drawn: BD AC
reviewed: JD, MM

RE-SUBMITTAL 11/02/2021

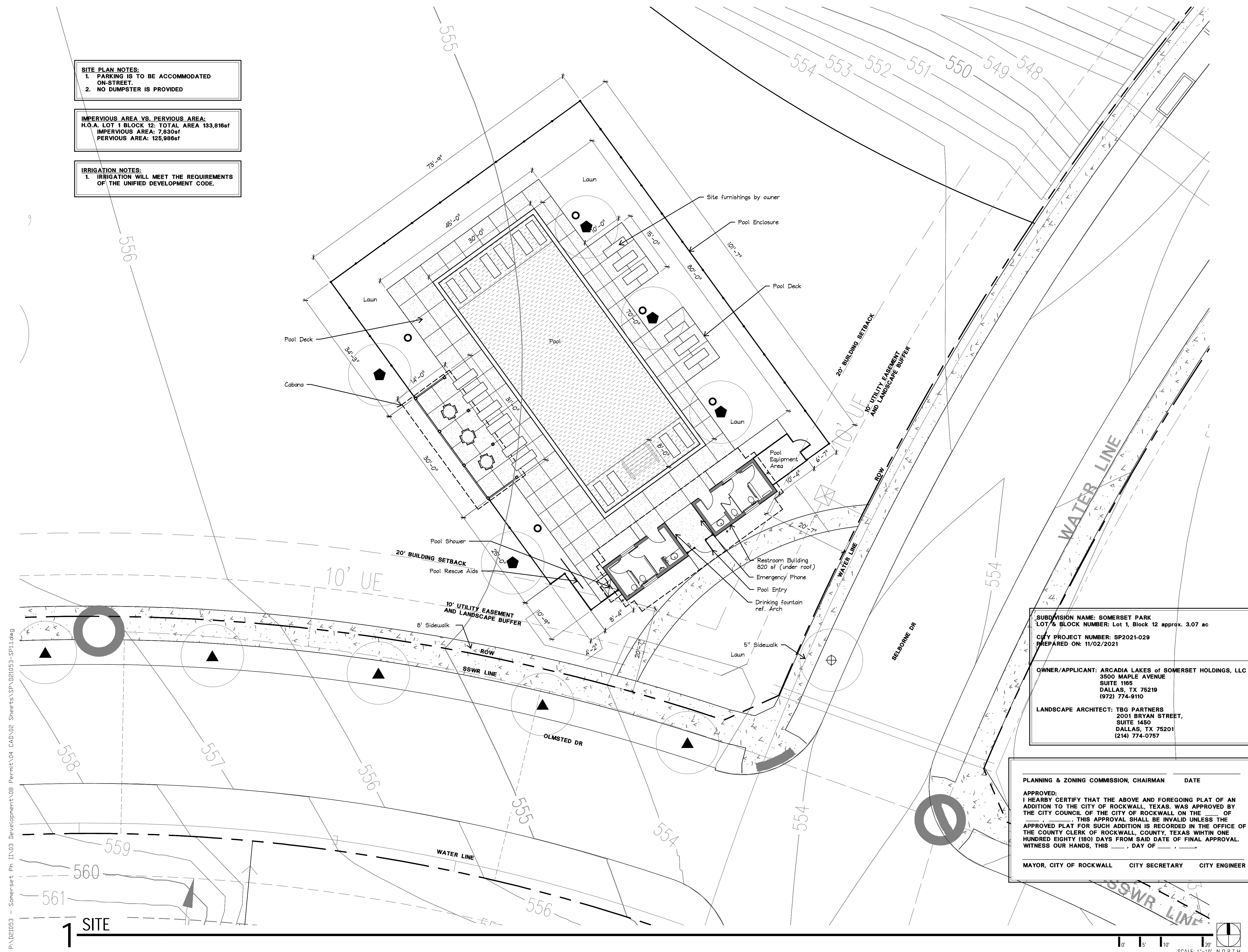
sheet title
site plan

sheet
SP 1.1

SITE PLAN NOTES:
1. PARKING IS TO BE ACCOMMODATED ON-STREET.
2. NO DUMPSTER IS PROVIDED

IMPERVIOUS AREA VS. PERVIOUS AREA:
H.O.A. LOT 1 BLOCK 12: TOTAL AREA 133,816sf
IMPERVIOUS AREA: 7,830sf
PERVIOUS AREA: 125,986sf

IRRIGATION NOTES:
1. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.



SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: SP2021-029
PREPARED ON: 11/02/2021

OWNER/APPLICANT: ARCADIA LAKES OF SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110

LANDSCAPE ARCHITECT: TBG PARTNERS
2001 BRYAN STREET,
SUITE 1450
DALLAS, TX 75201
(214) 774-0757

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DATE _____

APPROVED:
I HEARBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE _____ OF _____. THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL. WITNESS OUR HANDS, THIS _____ DAY OF _____

MAYOR, CITY OF ROCKWALL CITY SECRETARY CITY ENGINEER

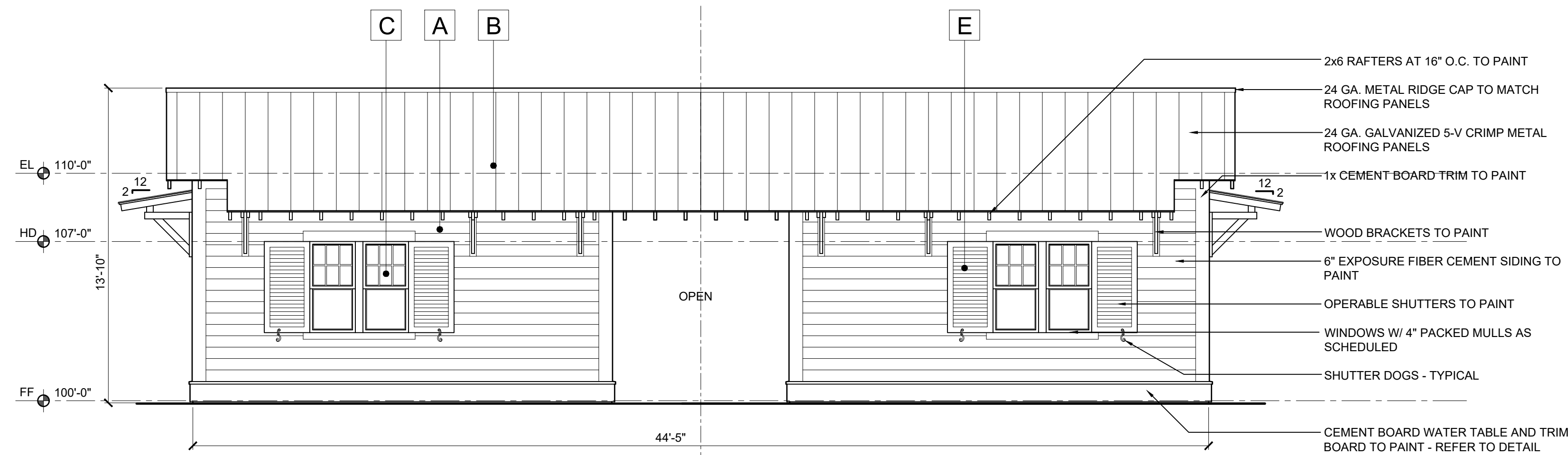
P:\D21053 - Somerset Ph II\03 Development\08 Permit\04 CAD\02 Sheets\SP\21053-SP1.1.dwg

1 SITE

1" = 10' N O R T H

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 248 S.F. | 44% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 32 S.F. | 6% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



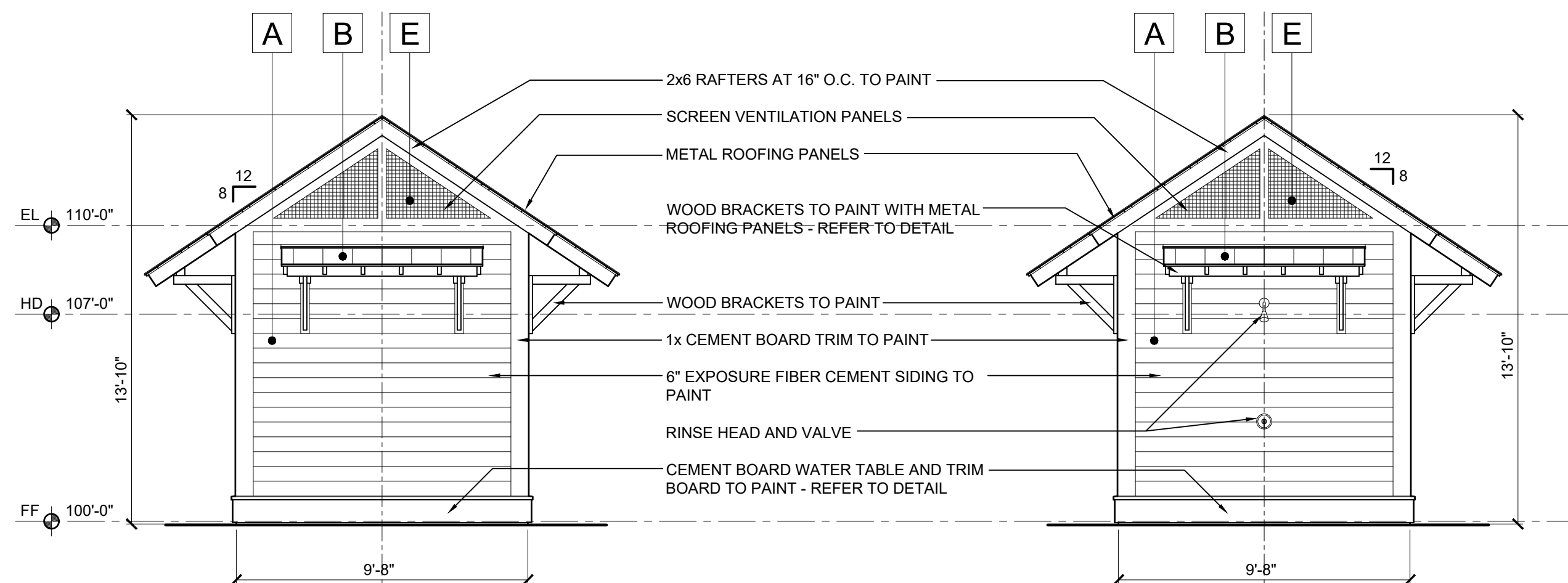
4 SOUTH ELEVATION
1/4" = 1'-0"

TABULATIONS

| | |
|-----------------------------|-----------------------|
| CONSTRUCTION TYPE: | 5-B (NON-SPRINKLERED) |
| SQUARE FOOTAGE: | 352 SF |
| SQUARE FOOTAGE ALLOWED: | 5500 SF |
| OCCUPANCY: | U |
| OCCUPANT LOAD @ 1/50 GROSS: | 7 |
| HEIGHT: | 13'-10" |
| HEIGHT ALLOWED: | 40' |
| STORIES: | 1 |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |



3 EAST ELEVATION
1/4" = 1'-0"

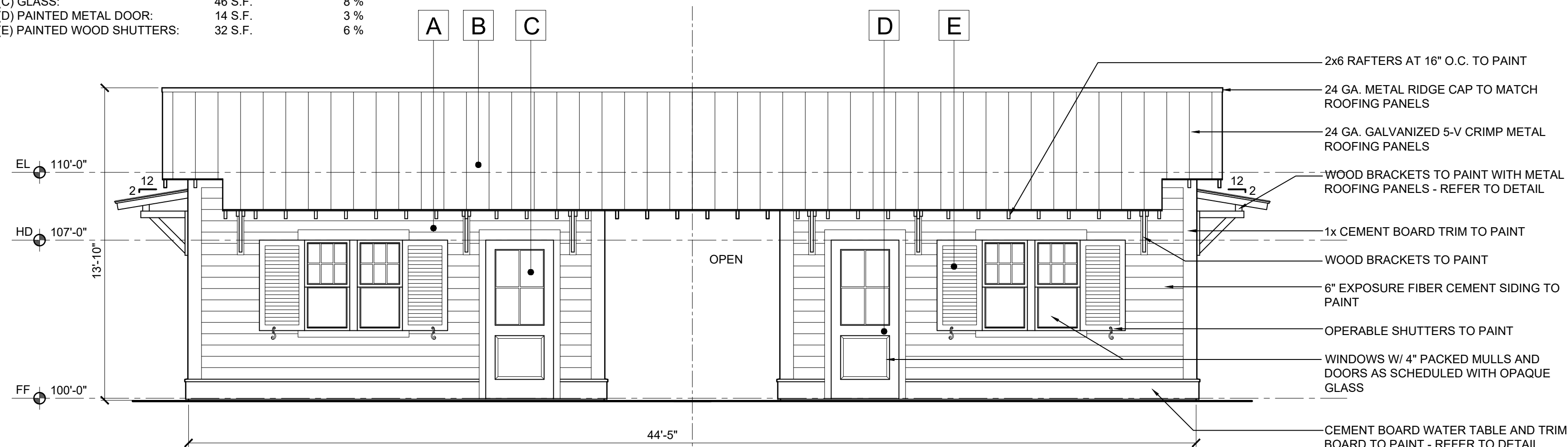
2 WEST ELEVATION
1/4" = 1'-0"

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 123 S.F.)

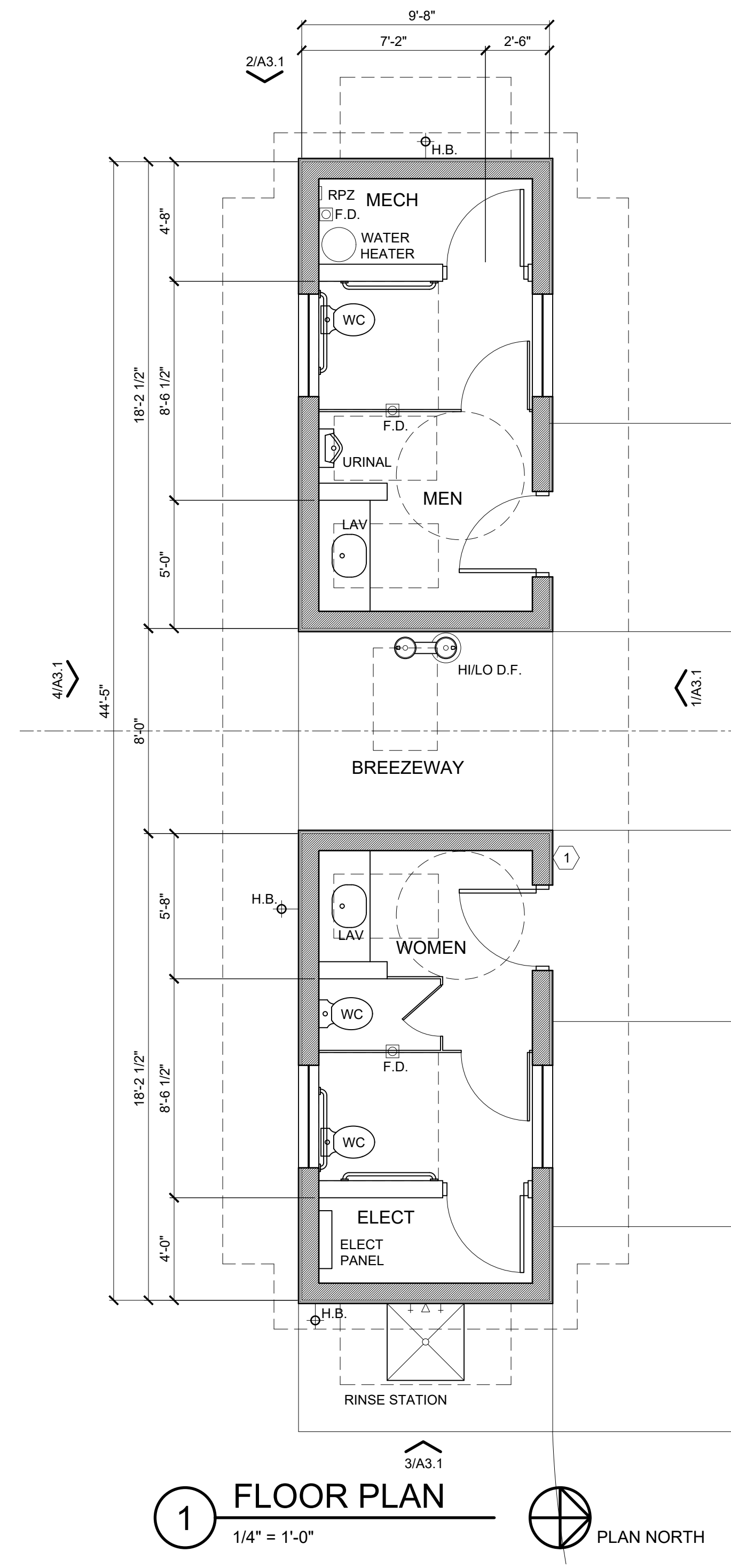
| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 111 S.F. | 90% |
| (B) GALVANIZED METAL ROOFING: | 4 S.F. | 3% |
| (E) BRONZE SCREEN: | 8 S.F. | 7% |

MATERIALS CALCULATIONS TABLE:
(TOTAL SURFACE AREA: 560 S.F.)

| | SQUARE FOOTAGE | PERCENTAGE |
|-------------------------------|----------------|------------|
| (A) PAINTED HARDI SIDING: | 220 S.F. | 39% |
| (B) GALVANIZED METAL ROOFING: | 248 S.F. | 44% |
| (C) GLASS: | 46 S.F. | 8% |
| (D) PAINTED METAL DOOR: | 14 S.F. | 3% |
| (E) PAINTED WOOD SHUTTERS: | 32 S.F. | 6% |



1 NORTH ELEVATION
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

BUILDING FACADE / ELEVATION PLAN

SUBDIVISION NAME: SOMERSET PARK
LOT & BLOCK NUMBER: Lot 1, Block 12 approx. 3.07 ac
CITY PROJECT NUMBER: XXXXXX-XXXX
PREPARED ON: 10-15-2021

OWNER/APPLICANT: ARCADIA LAKES of SOMERSET HOLDINGS, LLC
3500 MAPLE AVENUE
SUITE 1165
DALLAS, TX 75219
(972) 774-9110
ARCHITECT: LARSON & PEDIGO ARCHITECTS
3012 CANTON STREET
DALLAS, TX 75226
(214) 939-0995

SUBMISSION / REVISION LOG:

| SUBMISSION DATE | REVISION DATE |
|-----------------|---------------|
| 10/15/2021 | |

FACADE PLAN NOTES:
• ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE

PRELIMINARY
NOT FOR CONSTRUCTION



Exterior Elevation Example

This is a representative photo, the finished building will have revised colors. Please see color board as a part of this submittal.

Somerset Park – HOA Lot 1, Block 12

15 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529



Shutters

Benjamin Moore 840 – Kensington Blue



Painted Trim

Benjamin Moore OC-85 – Mayonnaise



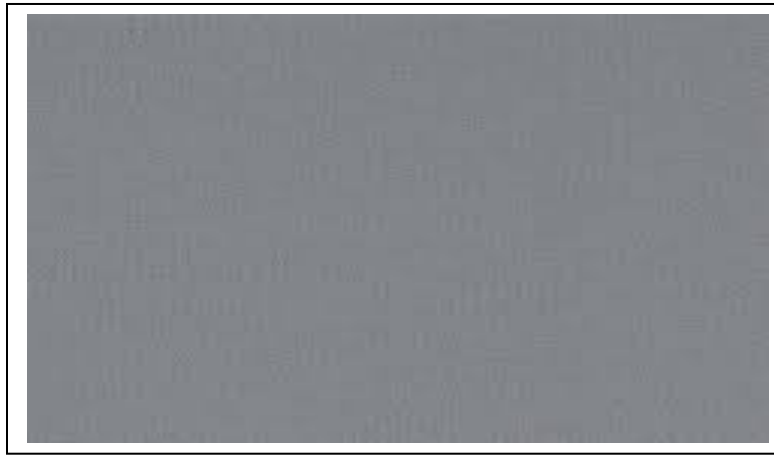
Painted Doors

Benjamin Moore 2021-50 – Yellow Lotus



Painted Siding

Benjamin Moore 2062-70 – Harbor Fog



Metal Roofing

Preweathered Galvalume, Berridge

Somerset Park – HOA Lot 1, Block 12

10 October 2021

Architect:
Larson & Pedigo Architects
3012 Canton Street
Dallas, Texas 75226
214.939.0995

Owner/Applicant:
Arcadia Lakes of Somerset Holdings, LLC
3500 Maple Avenue * 1165
Dallas, Texas 75219
972.774.9110

Engineer/Surveyor:
Spiars Engineering & Surveying
765 Custer Rd., Suite 100
Plano, Texas 75075
469.395.0529

ISSUE FOR PERMIT:

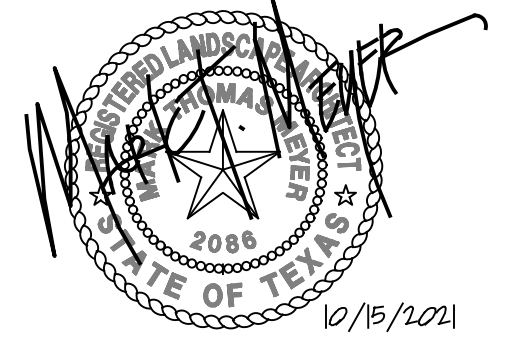
SOMERSET PARK

Rockwall, Texas

Sitework / Planting



TBG
 landscape architects, planners & designers
 2001 bryan street
 suite 1450
 dallas, tx 75201
 [214] 744-0757
 tbgpartners.com



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
D21053

issue date
 10/15/2021

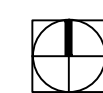
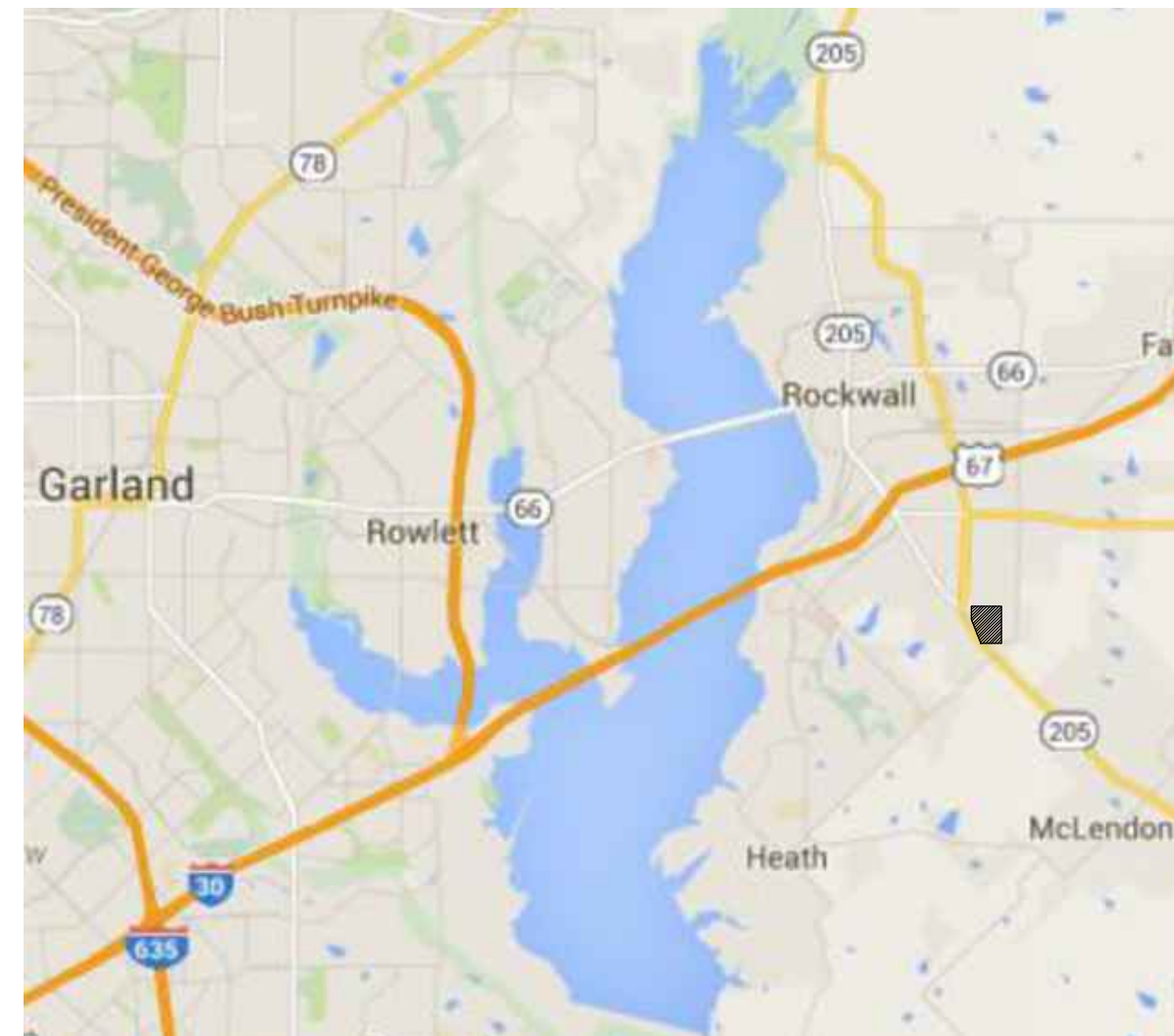
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 drawn: BD AC
 reviewed: JD, MM

RE-SUBMITTAL 11 / 02 / 2021

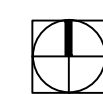
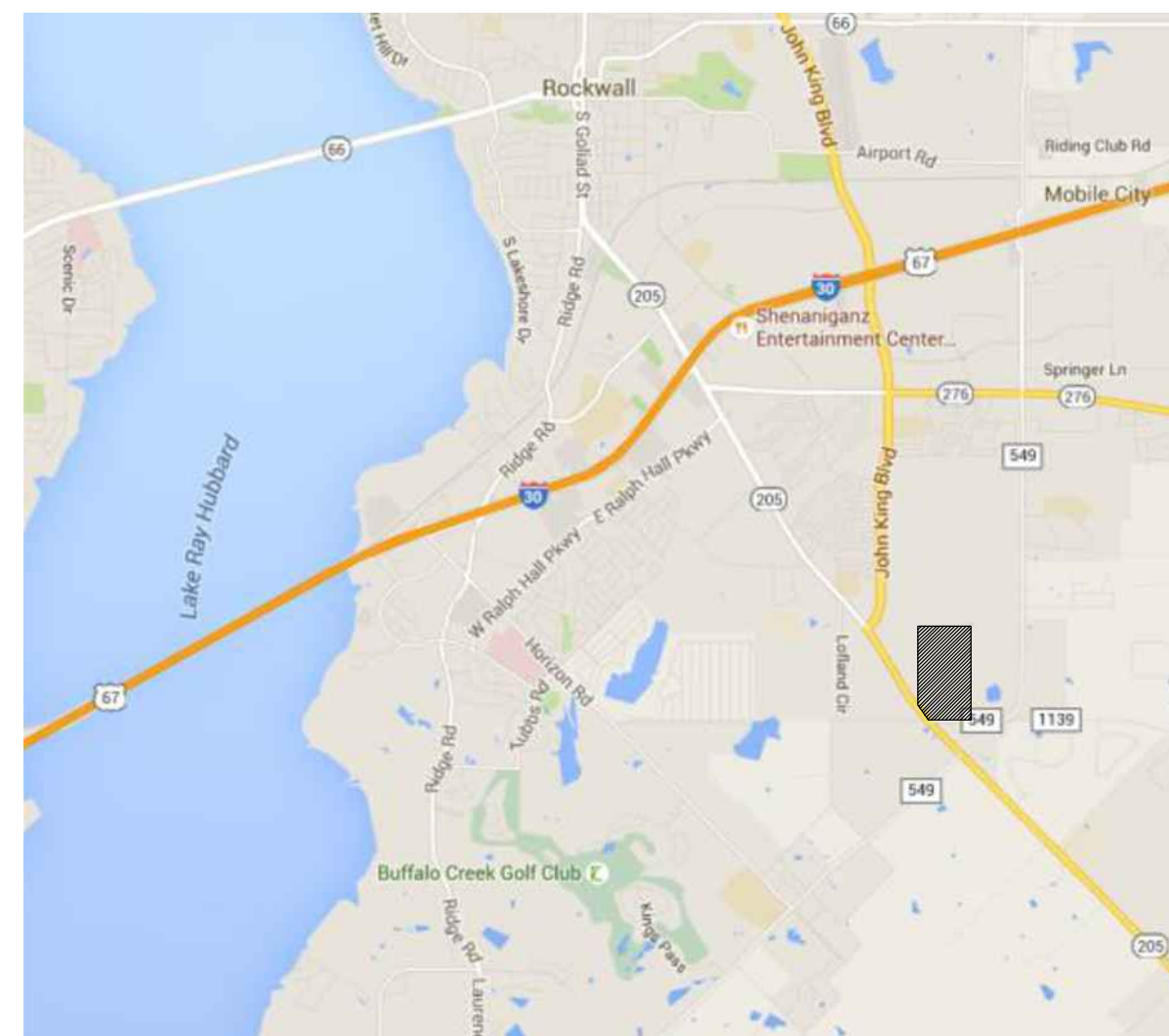
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sheet
LC 1.00

VICINITY MAP



LOCATION MAP



A PROJECT BY

OWNER:
 Arcadia Realty

CONTACT: Will Gietema/ Katherine Hamilton
 Arcadia Lakes of Somerset Holdings, LLC
 3500 Maple Ave., Suite 1165
 Dallas, Texas 75219
 O: 214.986.5024

LANDSCAPE ARCHITECT:
 TBG PARTNERS

CONTACT: Jonathan Dunbar
 2001 Bryan Street, Suite 1450
 Dallas, Texas 75201
 O: 214.744.0757

CIVIL ENGINEER:
 Spiars Engineering & Surveying

CONTACT: Greg Helsel
 765 Custer Road, Suite 100
 Plano, TX 75075
 O: 469.395.0529

INDEX OF SHEETS

| INC. | DATE | ISSUE | SHEET TITLE | PAGE # |
|------------------|-------------------|--------|----------------------|---------|
| Reference | | | | |
| ■ | NOVEMBER 02, 2021 | PERMIT | Cover Sheet | LC 1.00 |
| ■ | NOVEMBER 02, 2021 | PERMIT | General Notes | LC 1.01 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Material Schedule | LC 1.02 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Keymap | LC 1.03 |
| Grading | | | | |
| ■ | NOVEMBER 02, 2021 | PERMIT | Grading Enlargement | LG 3.01 |
| Sitework | | | | |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Plan | LS 1.01 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Plan | LS 1.02 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Plan | LS 1.03 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Plan | LS 1.04 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Plan | LS 1.05 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Details | LS 2.01 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Details | LS 2.02 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Details | LS 2.03 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Details | LS 2.04 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Sitework Enlargement | LS 3.01 |
| Planting | | | | |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Plan | LP 1.01 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Plan | LP 1.02 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Plan | LP 1.03 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Plan | LP 1.04 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Plan | LP 1.05 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Details | LP 2.01 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Schedule | LP 2.02 |
| ■ | NOVEMBER 02, 2021 | PERMIT | Planting Enlargement | LP 3.01 |

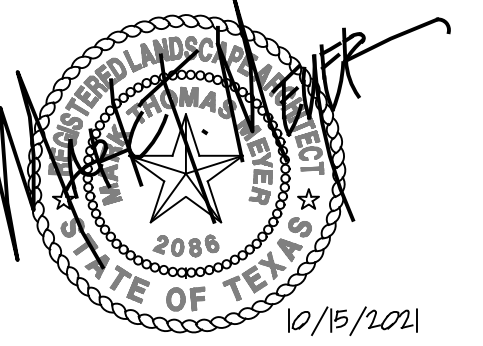


TBG

landscape architects, planners & designers

2001 bryan street
suite 1450
dallas, tx 75201

[214] 744-0757
tbgpartners.com



project
**Somerset
Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
Rockwall, TX

project number
D21053

issue date
10/15/2021

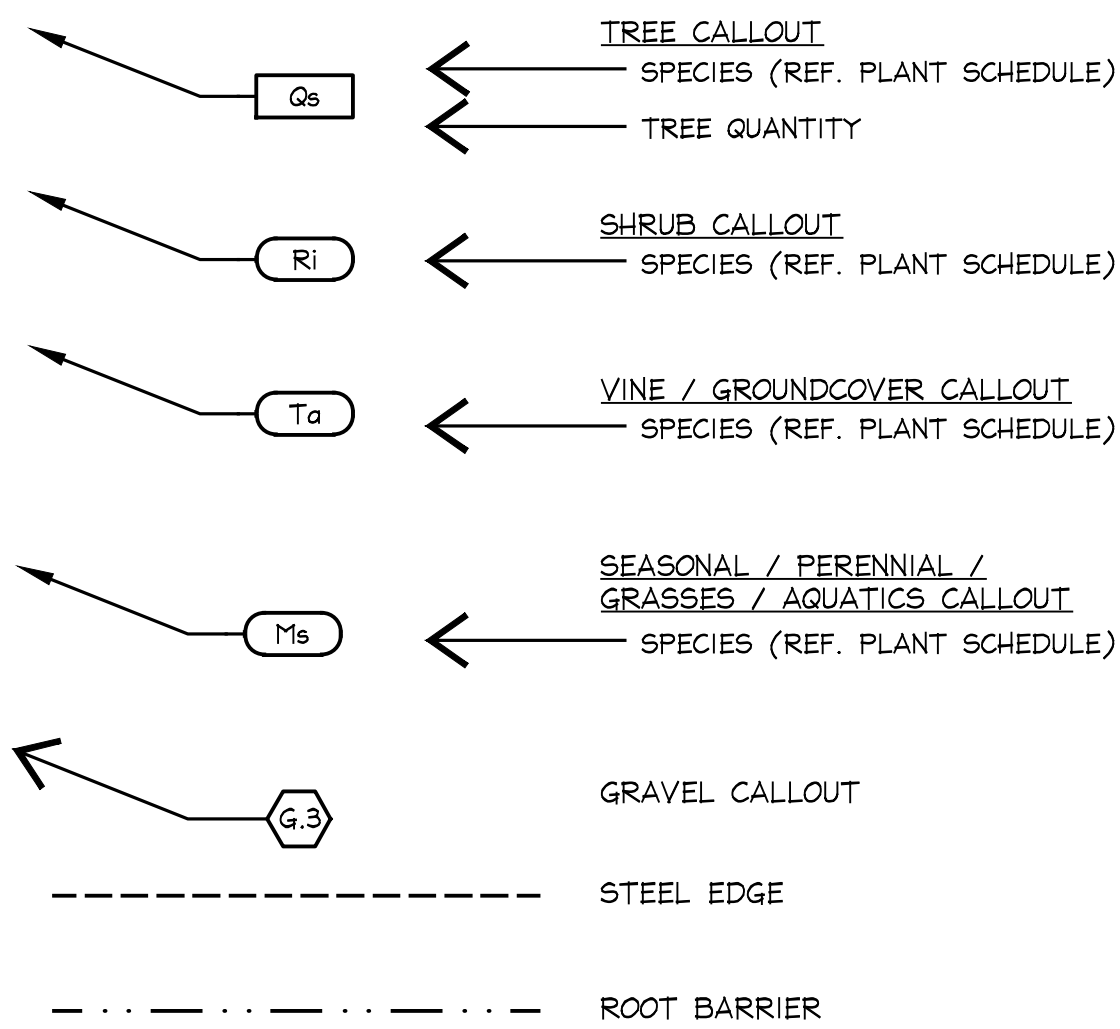
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drawn: BD AC
reviewed: JM MM

RE-SUBMITTAL 11 / 02 / 2021

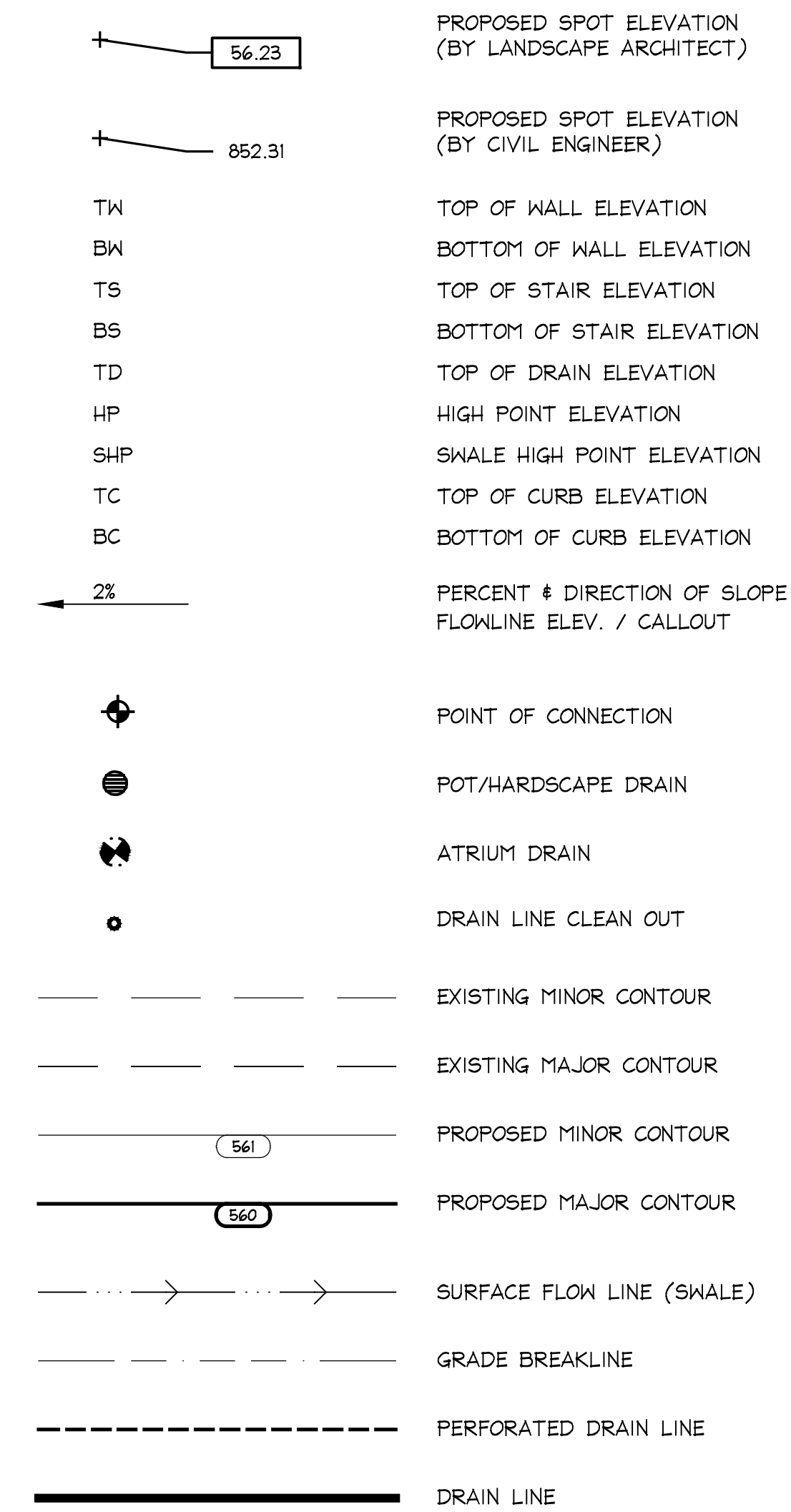
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general notes

sheet
LC 1.01

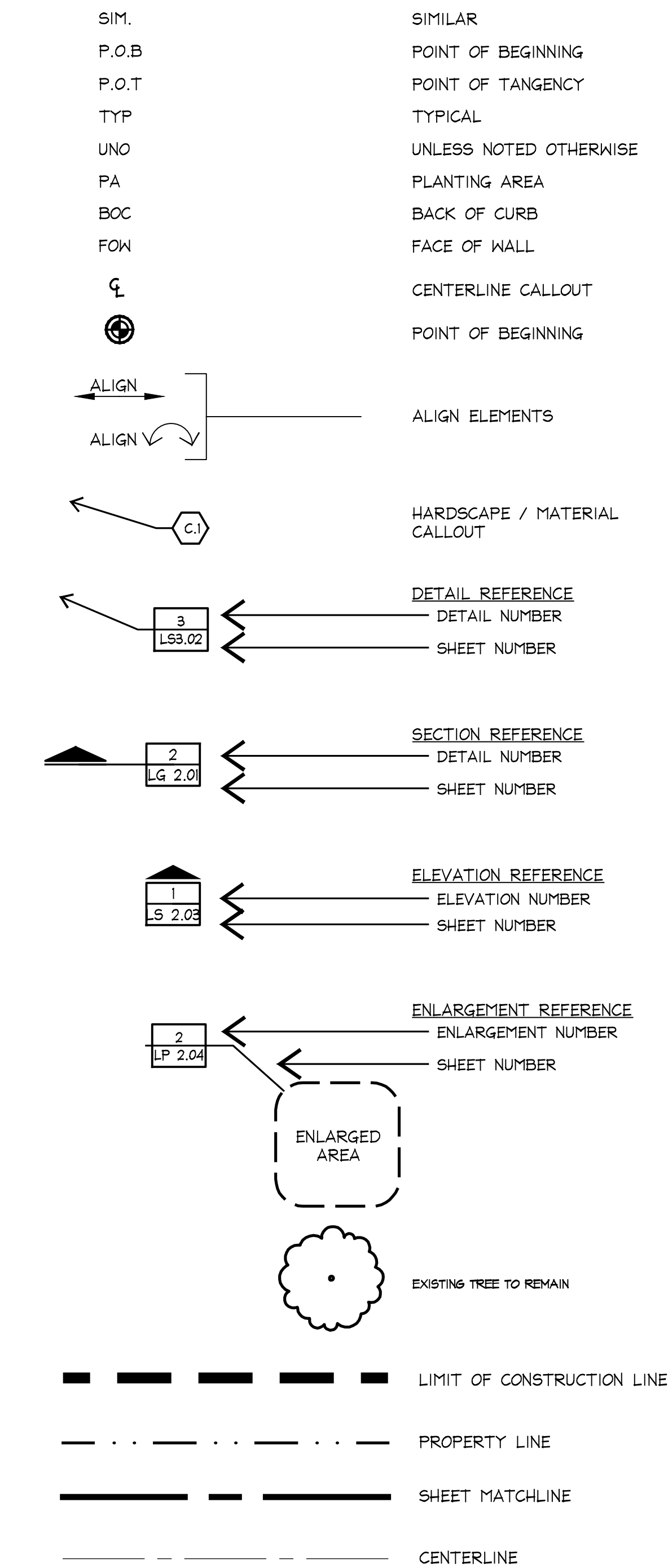
PLANTING LEGEND



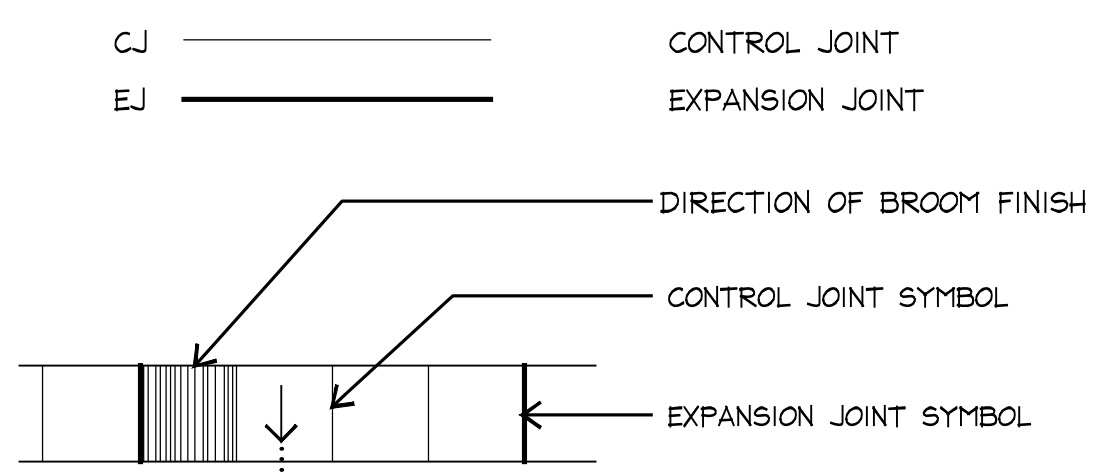
GRADING LEGEND



GENERAL LEGEND



SITework LEGEND



LANDSCAPE PLANTING NOTES:

- THE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINAL GRADE. ALL SLOPES SHALL BE SMOOTH AND UNIFORM WITH A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE NOTED. TIE INTO EXISTING ADJACENT GRADES SMOOTHLY AND FINE GRADE FOR POSITIVE DRAINAGE AND TO PREVENT WATER FROM STANDING. CUT SWALES TO DIRECT WATER AWAY FROM ALL STRUCTURES AND PROPERTY LINES, AND TOWARDS STORM SEWER INLETS. DO NOT DRAIN ANY WATER TOWARDS LOTS/EASEMENTS. THE FINAL LOCATION AND HEIGHT OF BERMS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- TREE PLANTING: REFERENCE SPECIFICATIONS AND DETAILS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION, (INCLUDING STAKING METHODS, PLANT PIT DIMENSIONS, AND BACKFILL REQUIREMENTS.) REFERENCE DETAILS FOR PROPER STAKING METHOD, STAKE SIZE AND COMPANY INFORMATION.

BACKFILL ALL TREE PITS WITH SPECIFIED PLANTING MIX AND INCORPORATE 5 LBS OF 13-13-13 FERTILIZER PER CU. YD. OF MIX INTO ALL TREE PITS. ALL TREE WATER RETENTION BASINS SHALL RECEIVE MIN. 3" DEEP COMPOSTED HARDWOOD BARK MULCH TO WITHIN 1' OF THE TREE ROOT FLARE. 2" WITHIN 1' OF THE ROOT FLARE.
- MACHINE MOVE OR HAND DUG TREES: ALL TREES TO BE MACHINE MOVED OR HAND DUG DIRECTLY FROM SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO RELOCATION. COORDINATE TREE PRUNING TO BALANCE ROOT LOSS WITH LANDSCAPE ARCHITECT. TREES TO BE MECHANICALLY TRANSPLANTED USING TREE SPADE MUST ALLOW 9" OF ROOTBALL PER CALIPER INCH OF TREE.

SET TREE STRAIGHT AND PLUMB, AND FILL ANY AIR SPACES AROUND TREE WITH SPECIFIED SAND OR SANDY LOAM TOPSOIL. WATER IN TO DISPLACE AIR POCKETS. INSTALL 3" HIGH WATER RETENTION BASIN PER SPECIFICATIONS WITH 2" DEEP COMPOSTED BARK MULCH AND WATER THE SPADED TREES THE DAY OF TRANSPLANTING.
- TREES SHALL BE LOCATED A MINIMUM OF 5' - 0" FROM WALLS, OVERHEADS, WALKS, EDGING, CURBS AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT MAY RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. ALL MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LAWN INSTALLATION: PRIOR TO APPLICATION OF HYDROMULCH OR SOD, THE CONTRACTOR SHALL APPLY CONTACT HERBICIDE (RECOMMENDED MIXTURE OF IMAGE AND ROUNDUP) TO REMOVE ALL EXISTING WEEDS AS NECESSARY, AND SCARIFY EXISTING SOIL TO SPECIFIED DEPTHS. REMOVE ALL LUMPS, CLODS, TRASH AND STICKS GREATER THAN 1". FINE GRADE TO PROVIDE POSITIVE DRAINAGE AND SMOOTH LAWN AREAS AND CUT SWALES AS NECESSARY TO ENSURE NO PONDING OF WATER. FINISHED GRADE OF LAWN AND PLANTING BED AREAS TO BE MINIMUM 1/2" BELOW FINISHED GRADE OF ADJACENT PAVEMENT.
- ALL QUANTITIES ON THIS PLAN ARE FOR INFORMATION ONLY (PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- THE CONTRACTOR SHALL PROVIDE THE SOILS TESTING LAB SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACKFILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, AND ON GRADE SOILS. REFER TO SPECIFICATIONS.
- THE CONTRACTOR SHALL APPLY RECOMMENDED PRE-EMERGENT HERBICIDE FOR PREVENTION OF NUTGRASS AND WEEDS UPON ESTABLISHMENT OF BERMUDA LAWN APPROXIMATELY ONE MONTH AFTER HYDROMULCH APPLICATION. FERTILIZE AT SPECIFIED RATES MONTHLY DURING 90 DAY MAINTENANCE PERIOD.

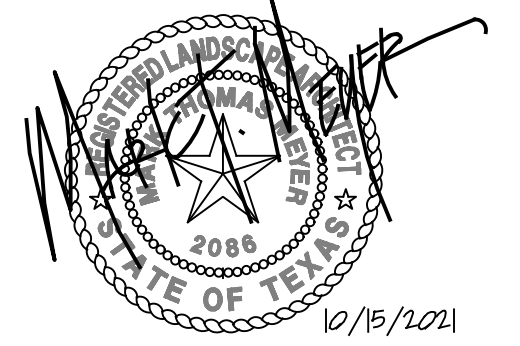
GENERAL SITEWORK NOTES:

- THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, SMALL PIPES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO BODILY INJURY AND/OR DAMAGE TO OWNER'S PROPERTY OR SAID UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES BEFORE EXCAVATION.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE CONDITION OF UTILITIES PRIOR TO ANY EXCAVATION. EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL HAND DIG PLANTING PITS AND HAND RAKE LAWN AREAS AS REQUIRED.
- ALL CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY HAVE NOT BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS TO ACCOMPLISH HIS SCOPE OF WORK. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS AND/OR PURCHASE OF ANY MATERIAL. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. ALL CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR.
- ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER FOR APPROVAL.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF MATERIALS, PARKING OF VEHICLES AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS OR PARK VEHICLES UNDER THE CANOPY OF EXISTING TREES.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES & CODE REQUIREMENTS. REQUIRED PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES BASED UPON THE QUANTITIES SHOWN WITHIN THE DOCUMENTS. FIELD CONDITIONS MAY REVISE ACTUAL LOCATION, INCREASING OR DECREASING THE EXTENT OF WORK PERFORMED. CHANGES TO THE EXTENT OF WORK RESULTING IN AN INCREASE OR DECREASE WILL BE BASED ON UNIT PRICES AND PERFORMED SUBJECT TO APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT IN THE FORM OF A CHANGE ORDER.
- UNIT PRICES SHALL NOT ONLY INCLUDE THE COST OF THE ITEM BUT ALSO ALL LABOR, EQUIPMENT, AND OTHER MATERIALS (I.E. BACKFILL MIX, MULCH, STEEL EDGING, ETC.) ASSOCIATED WITH AND NECESSARY TO DELIVER THE ITEM COMPLETE AS DOCUMENTED IN THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND NOTED ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVAL OF TRASH AND REPAIR OF HAZARDOUS CONDITIONS (I.E. TOOLS, OPEN HOLES, ETC.) ON A DAILY BASIS BY END OF WORK DAY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN UP THE PROJECT SITE OF ALL TRASH, SCRAPS, BRICK, ROCKS, MORTAR, ETC. REPAIR ALL DAMAGE TO FINISH GRADE INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS OR ANY SETTLLING OR EROSION OCCURRING PRIOR TO COMPLETION.

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project
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ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

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 reviewed: JD MM

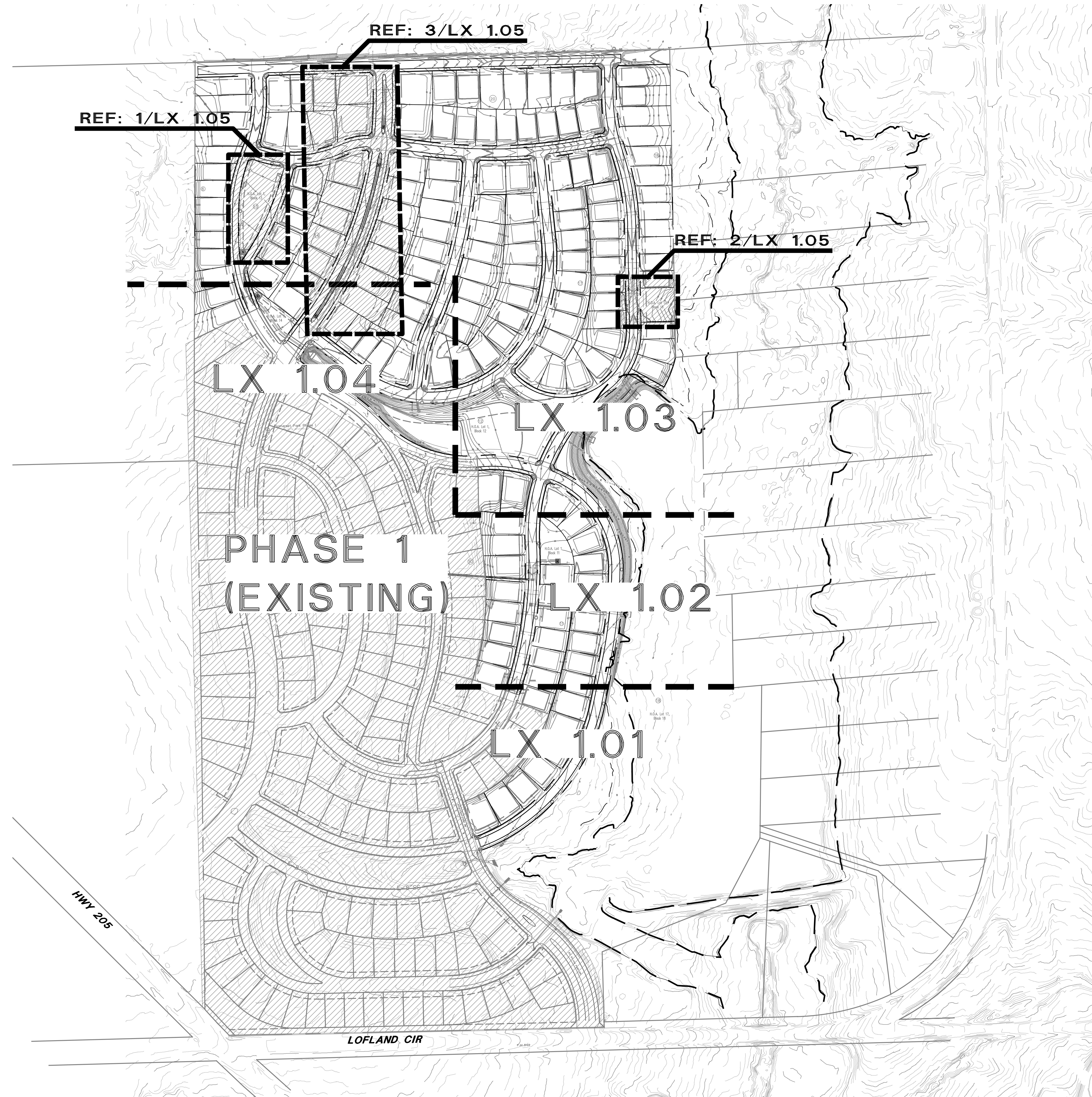
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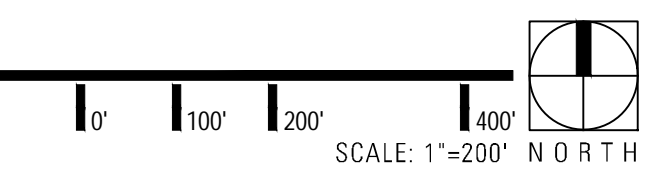
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| MATERIALS SCHEDULE | | | | | |
|--------------------|---|-------------------------------|---------------------|--|---|
| CONCRETE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| C.1 | STANDARD GRAY CONCRETE | GRAY | MEDIUM BROOM | | |
| C.2 | CONCRETE PAVING STANDARD GRAY CONCRETE @ POOL | GRAY | ROCK SALT FINISH | | CONTRACTOR TO PROVIDE MOCK-UP FOR FINAL APPROVAL BY OWNERSHIP AND LANDSCAPE ARCHITECT. REF. SPECIFICATION FOR MOCK-UP SIZE REF. PLANS FOR LAYOUT. |
| DRAINAGE | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| D.1 | DECK DRAIN NDS 12" FLAT SQUARE CAST IRON HINGED GRATE | | | COMPANY: NDS PHONE: 1 (800) 726-1990 | REF. TO LANDSCAPE GRADING PLANS |
| EDGING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| E.1 | 3/4" X 4" STEEL EDGING | BLACK | POWDERCOAT | COMPANY: J.D. RUSSELL CONTACT: 270.826.7008 | OR APPROVED EQUAL |
| FENCING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| F.1 | 4' HEIGHT POOL FENCE COMPLIANT WITH TEXAS POOL CODE | | | | |
| LIGHTING | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| L.1 | BOLLARD LIGHT | BLACK | FACTORY | N/A | LOCATION AS PER PLANS AT BASE OF TREES OR BACK OF THE WALL. CONTRACTOR TO SUBMIT CUT SHEET FOR APPROVAL; WRAP STRING LIGHTS TO 12' HT IN TREE. |
| POOL | | | | | |
| KEY | DESCRIPTION /MODEL NUMBER | COLOR | FINISH | CONTACT | REMARKS |
| PL.1 | PRECAST POOL COPING | TBD | TBD | | EASE ALL EXPOSED EDGES AT COPING OVERHANG; COLOR & FINISH TO MATCH C.6 CAST STONE CAP |
| PL.2 | POOL TILE | TBD | | | |
| PL.3 | WARNING STRIP TILE NON-SLIP TILE | TBD | | | |
| PL.4 | 6" DEPTH MARKER & 6" NO DIVING TILE | WHITE W/BLACK LETTERING | NON-SLIP | | |
| PL.5 | POOL PLASTER | TBD | | | |
| PL.6 | POOL HANDRAIL - 1-1/2" DIA. TUBE STAINLESS STEEL | BRUSHED STAINLESS STEEL | #4 FINISH | | |
| PL.7 | POOL LIFT | | | | |

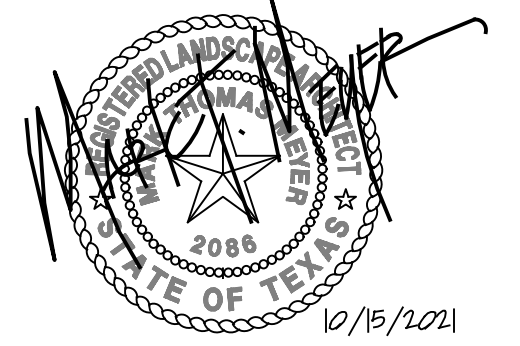
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1 Keymap
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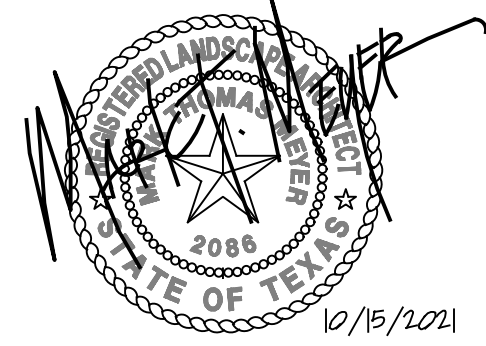
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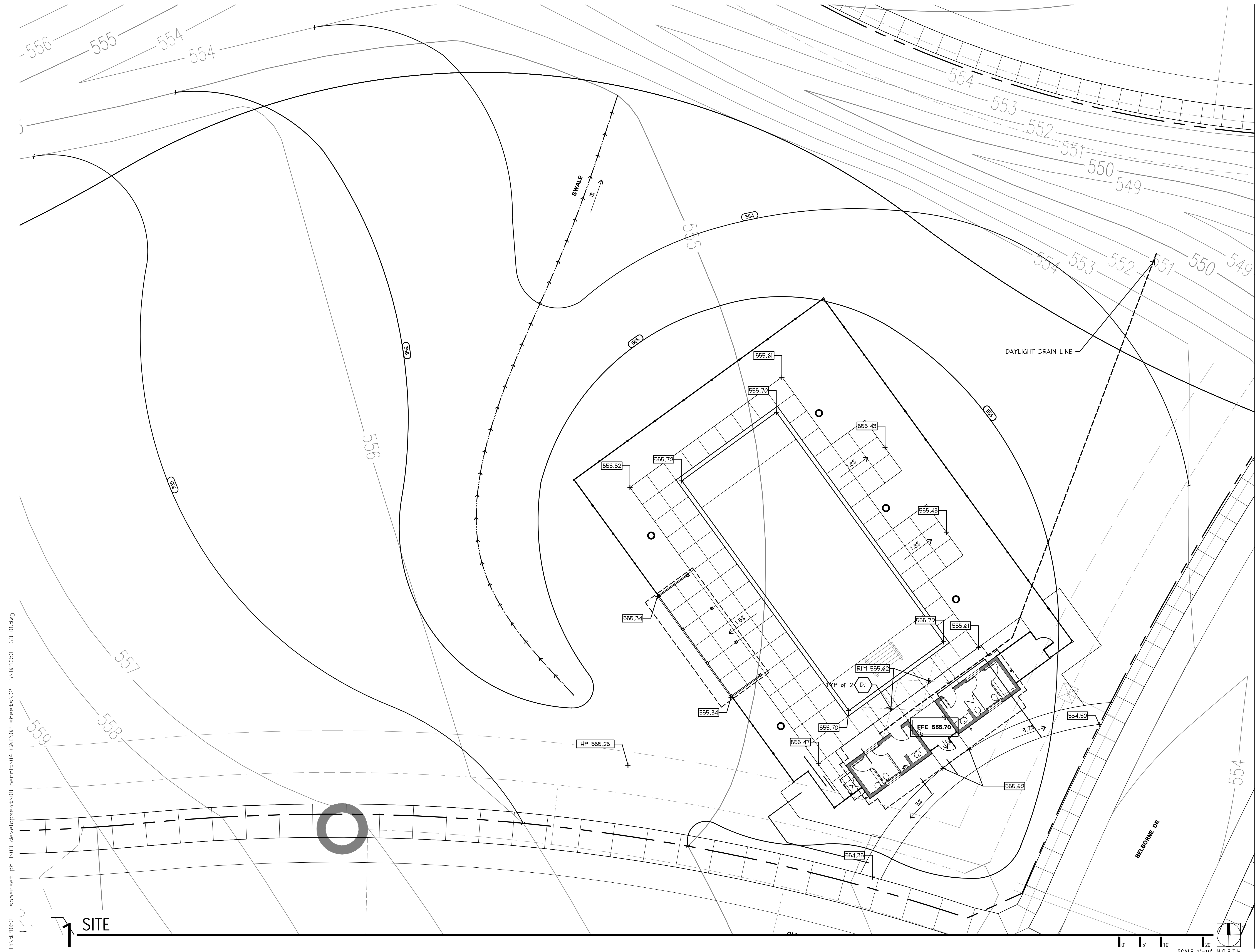
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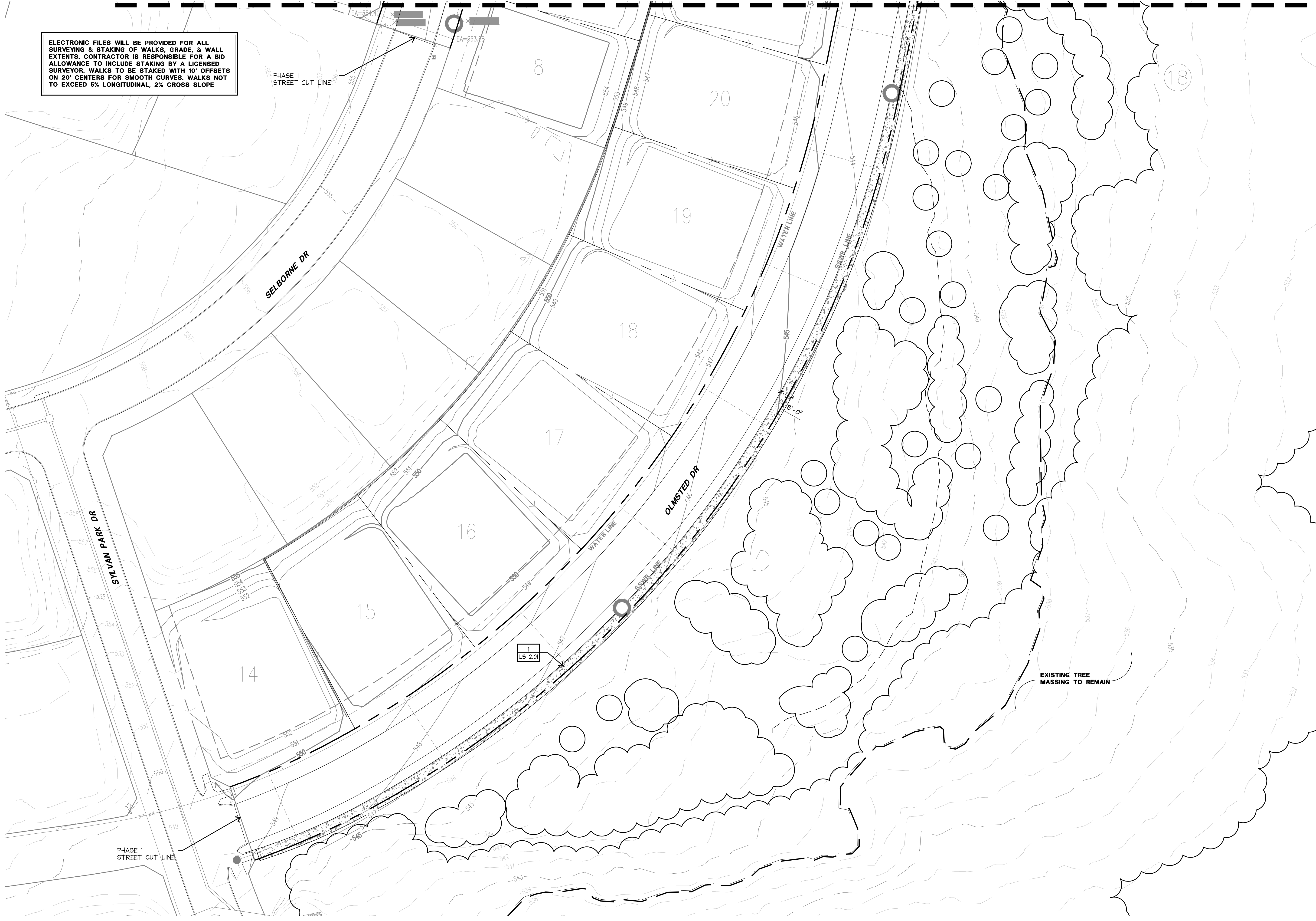
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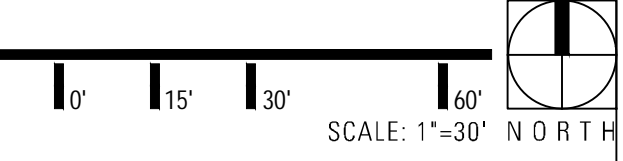
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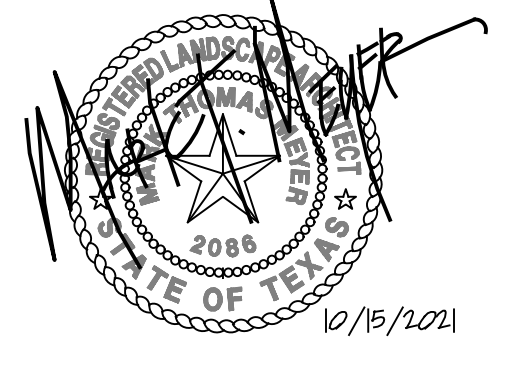


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1 Site
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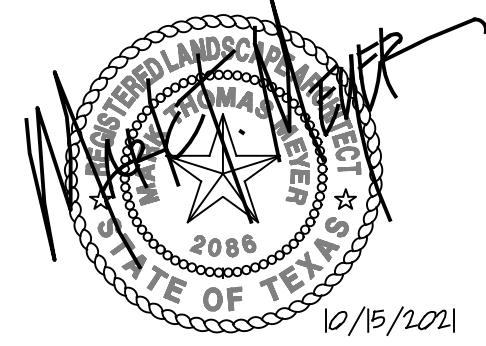
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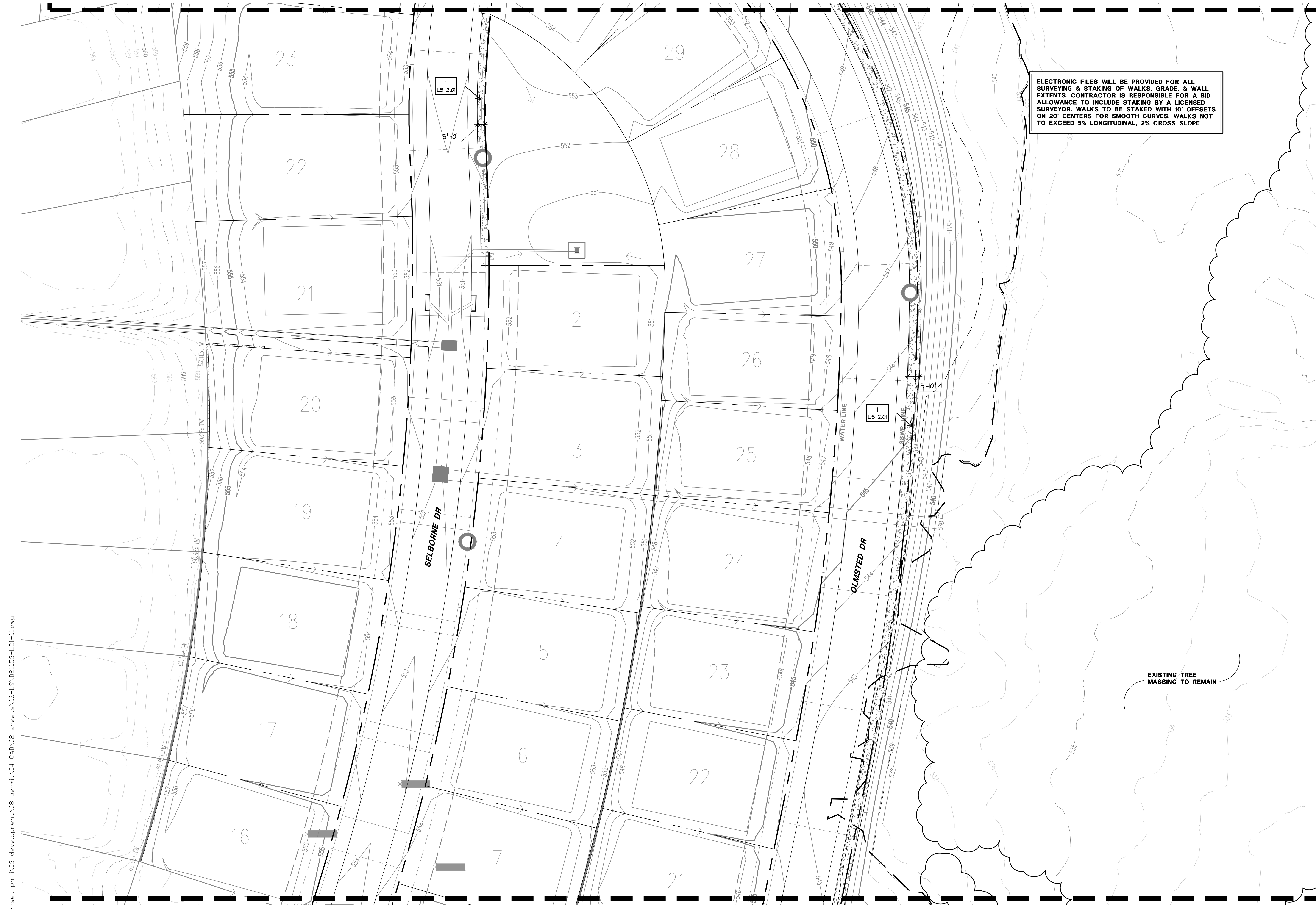
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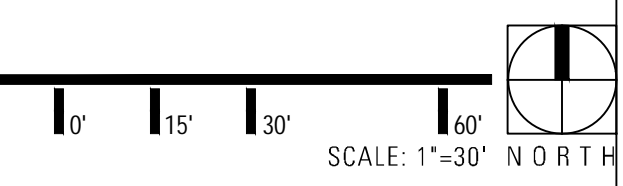
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EXISTING TREE MASSING TO REMAIN



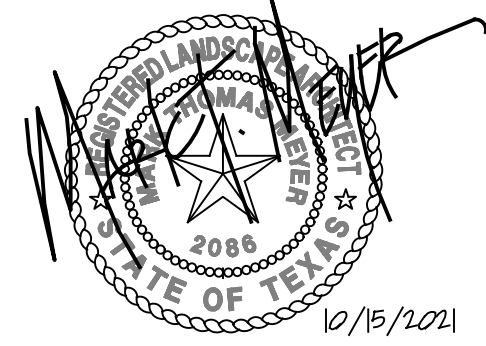
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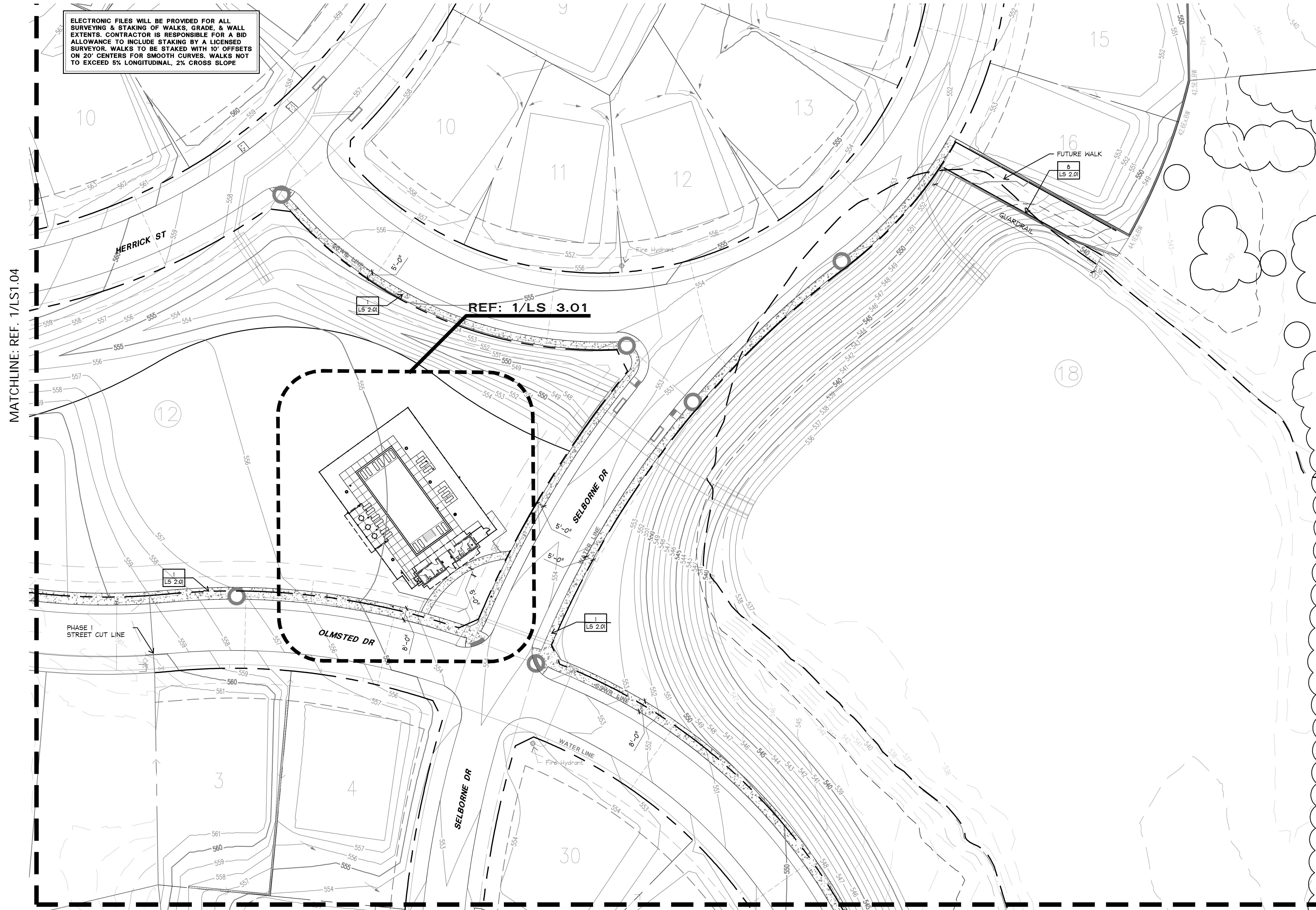
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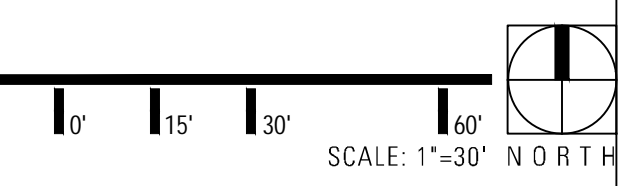


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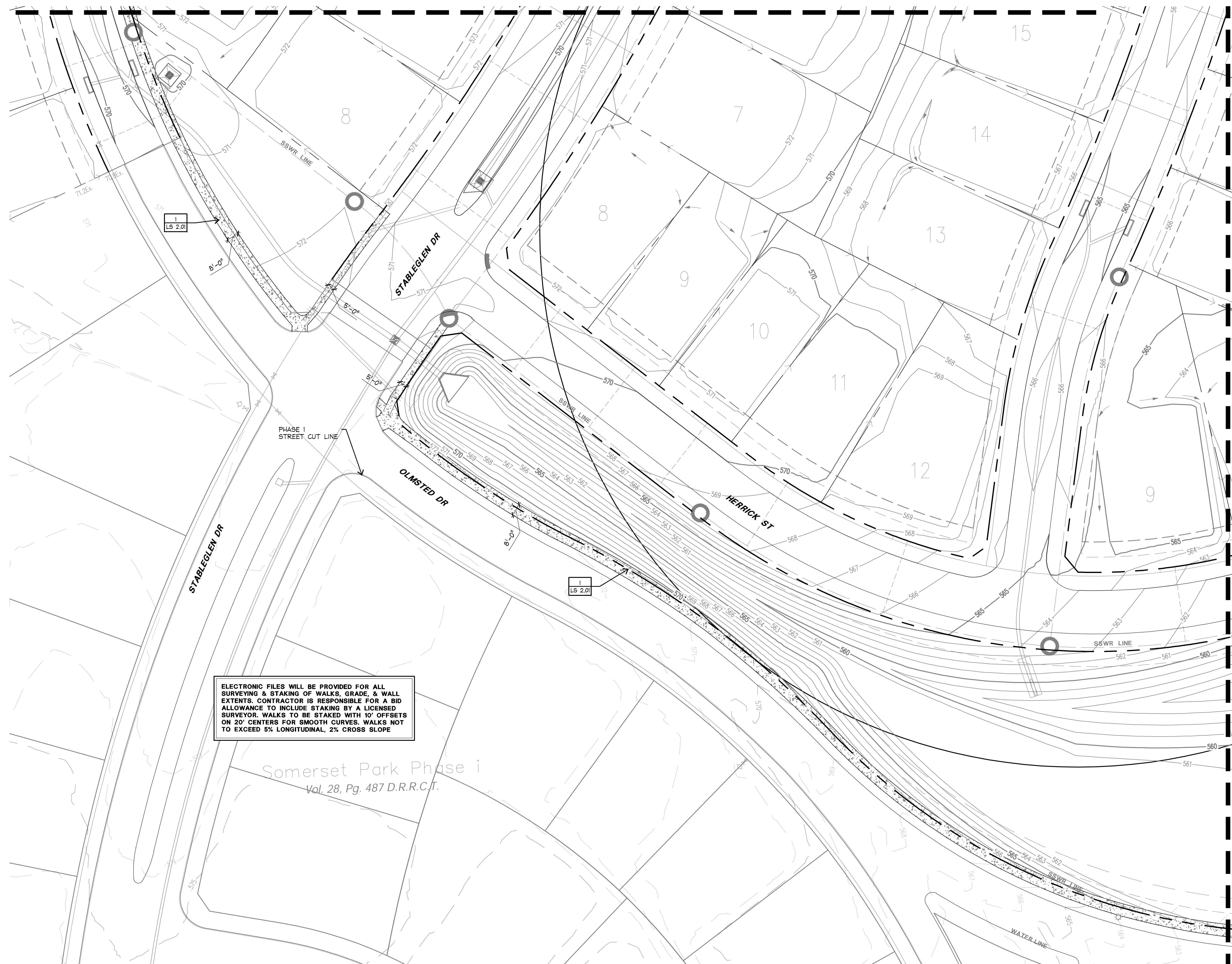
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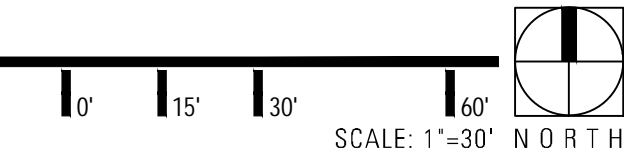
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Somerset Park Phase I
Vol. 28, Pg. 487 D.R.R.C.T.

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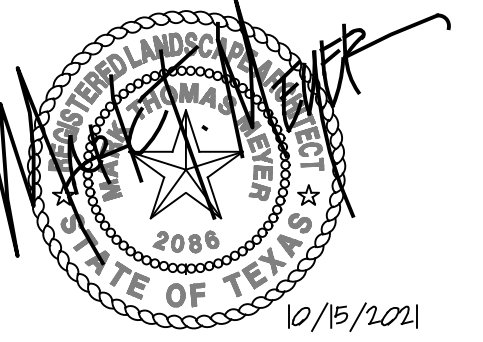


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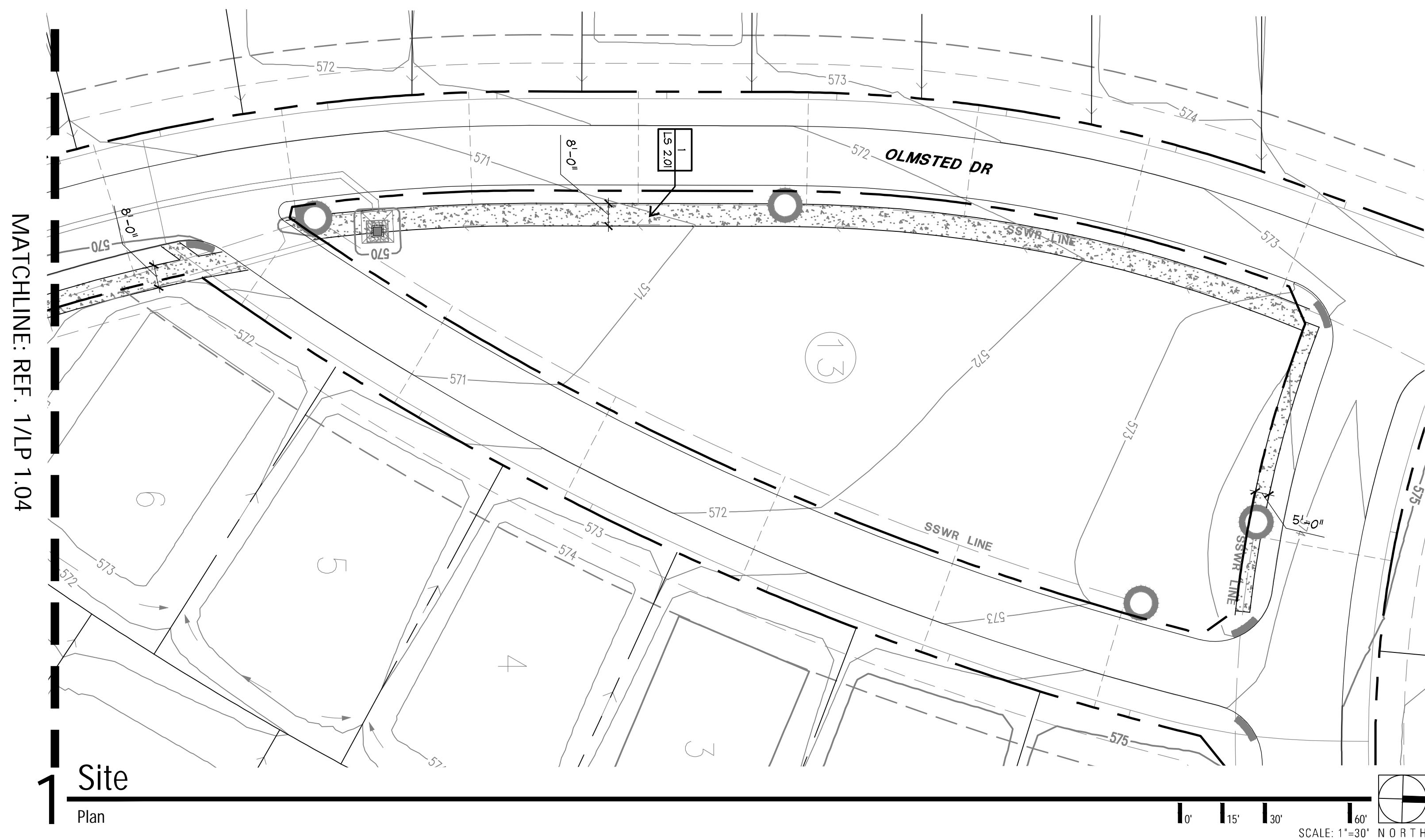
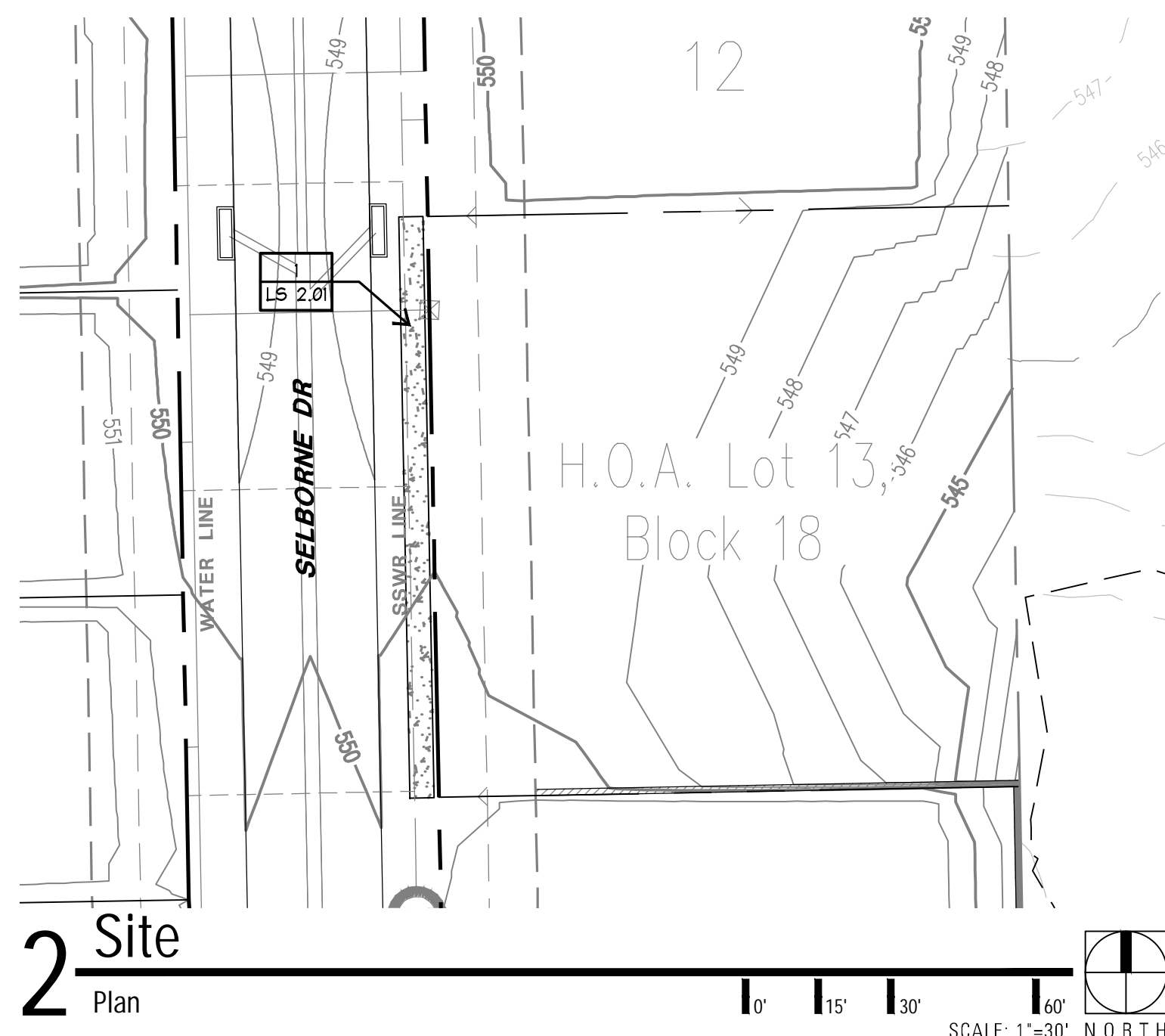
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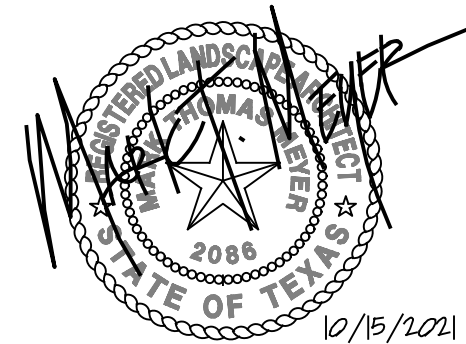
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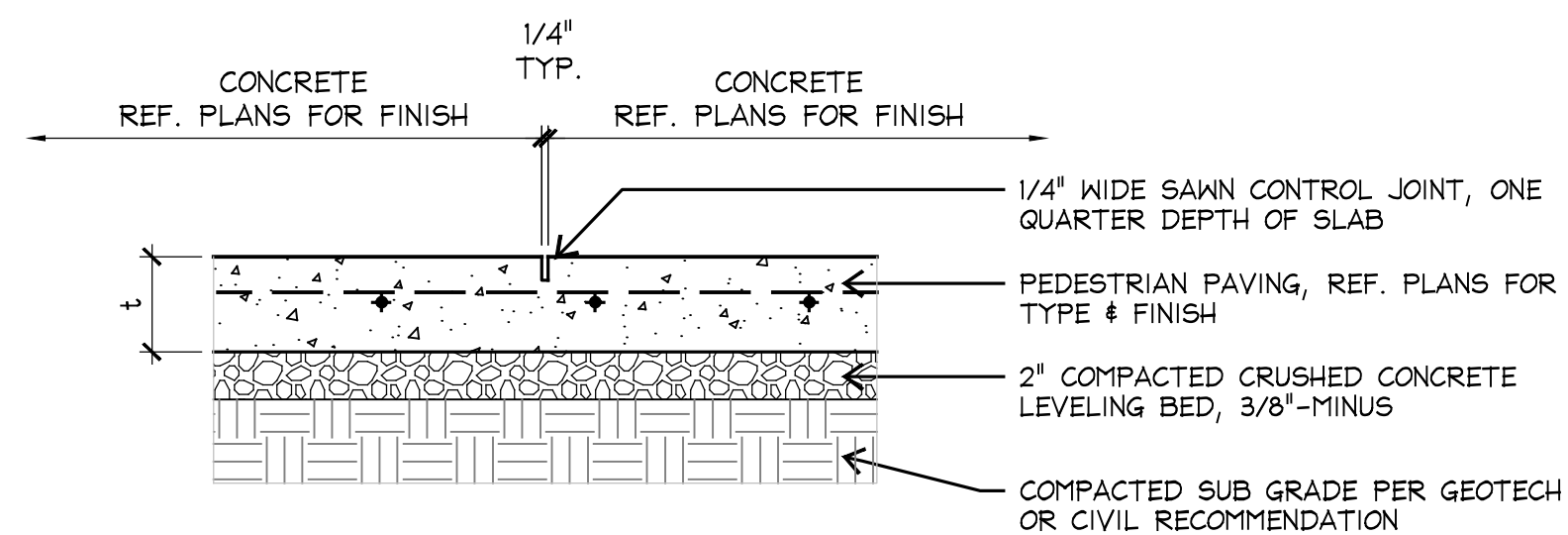
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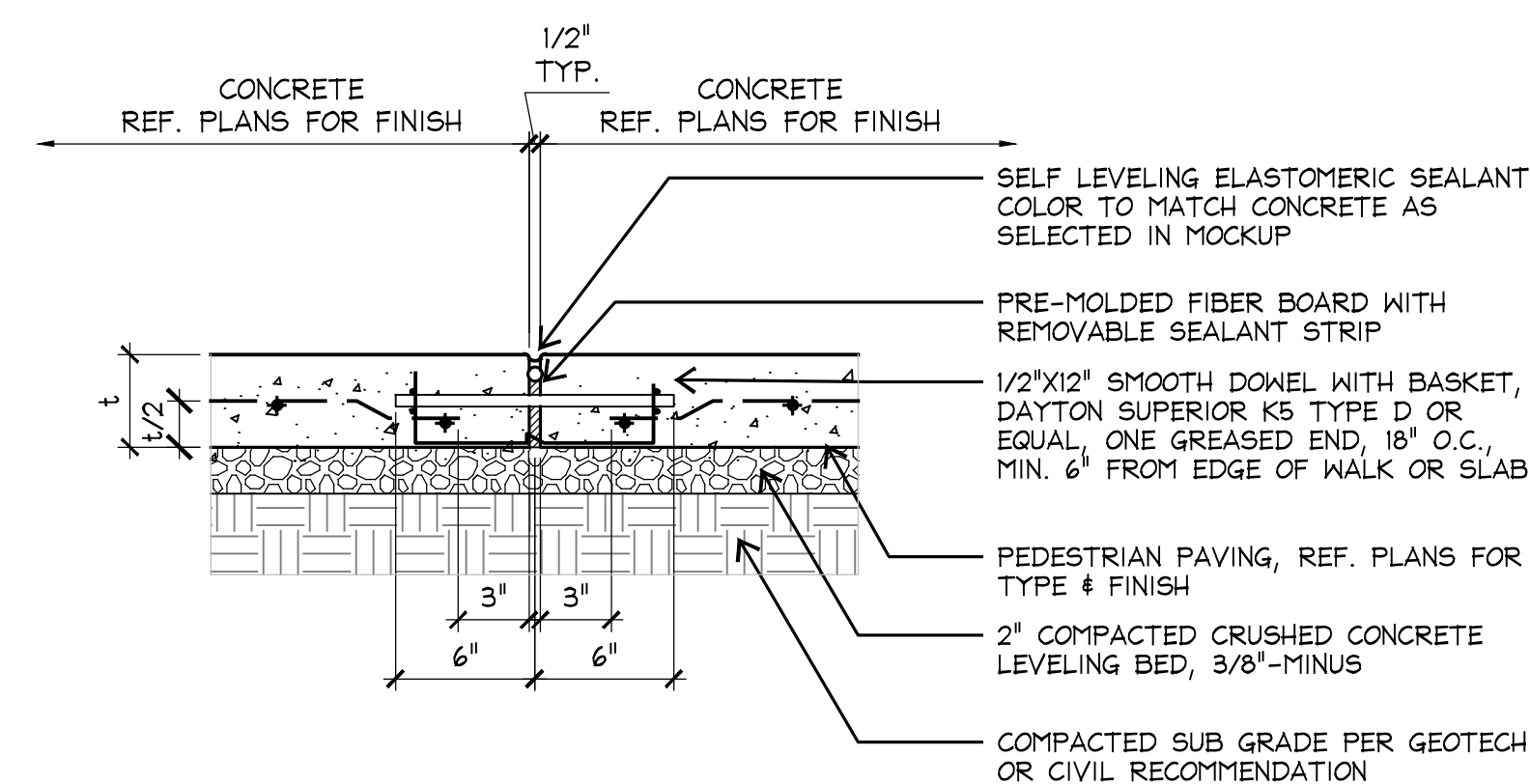
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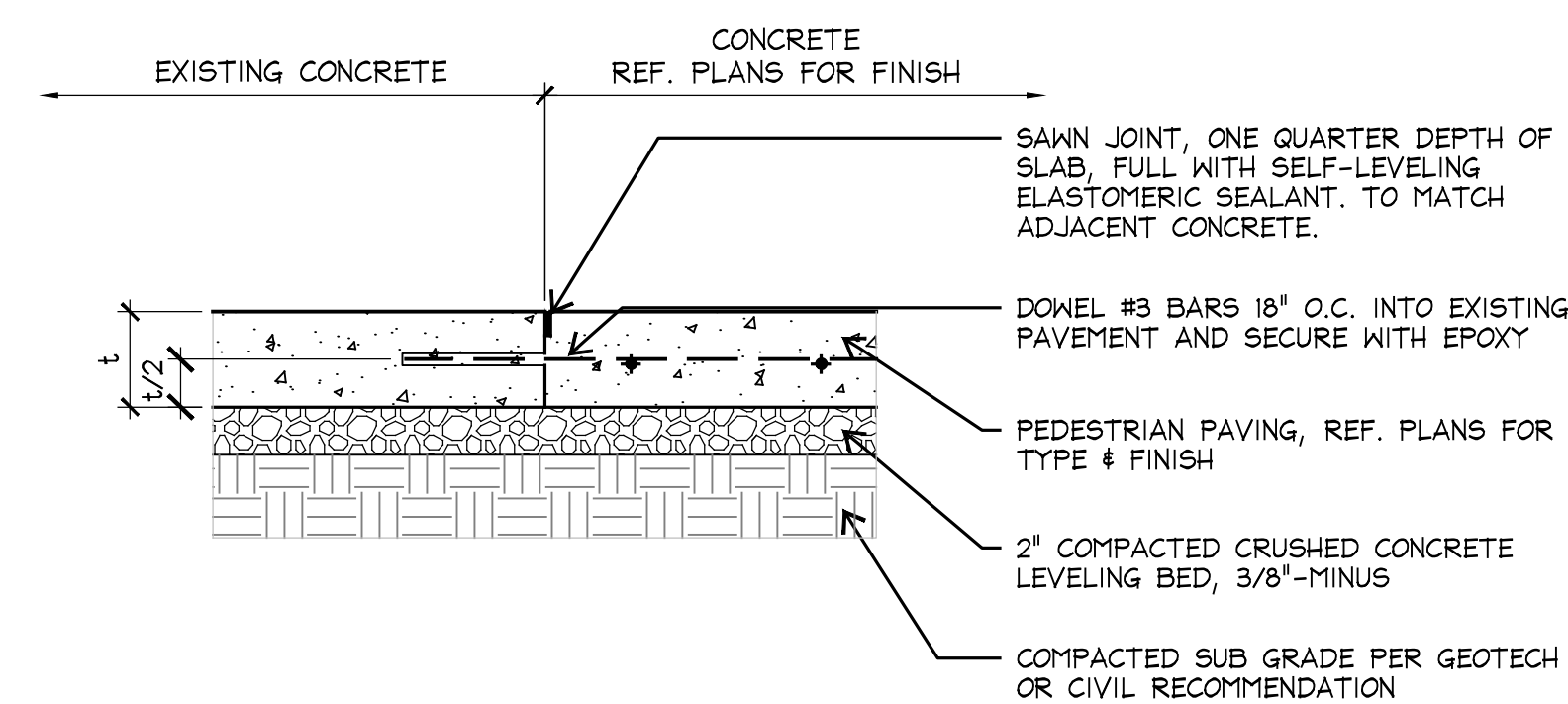
sheet
LS 2.01



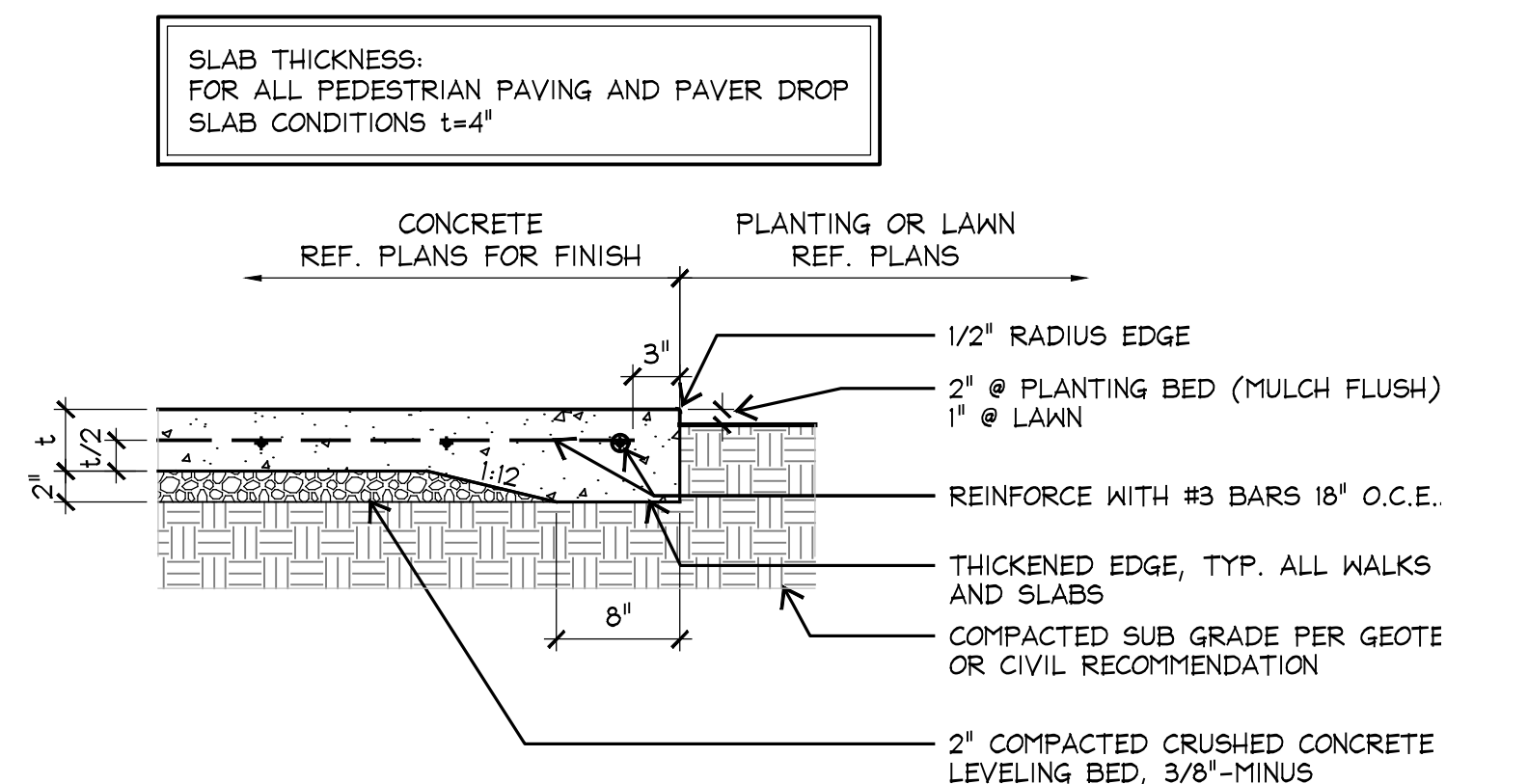
4 CONTROL JOINT
 SECTION SCALE: 1-1/2"=1'-0"



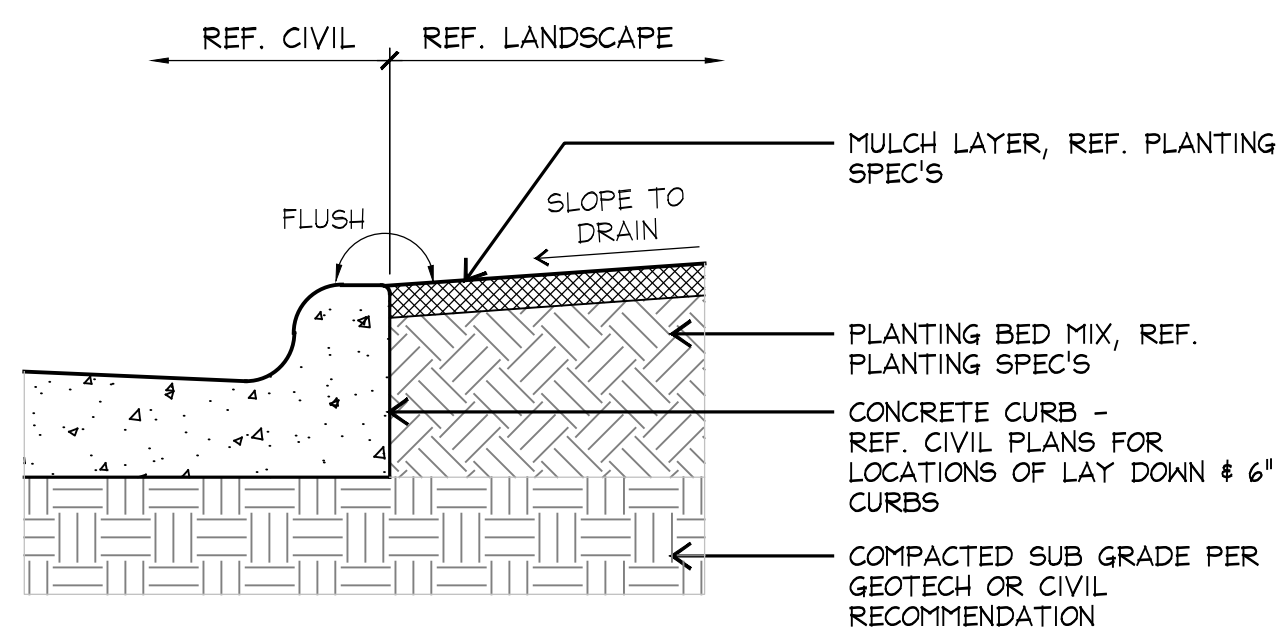
3 EXPANSION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



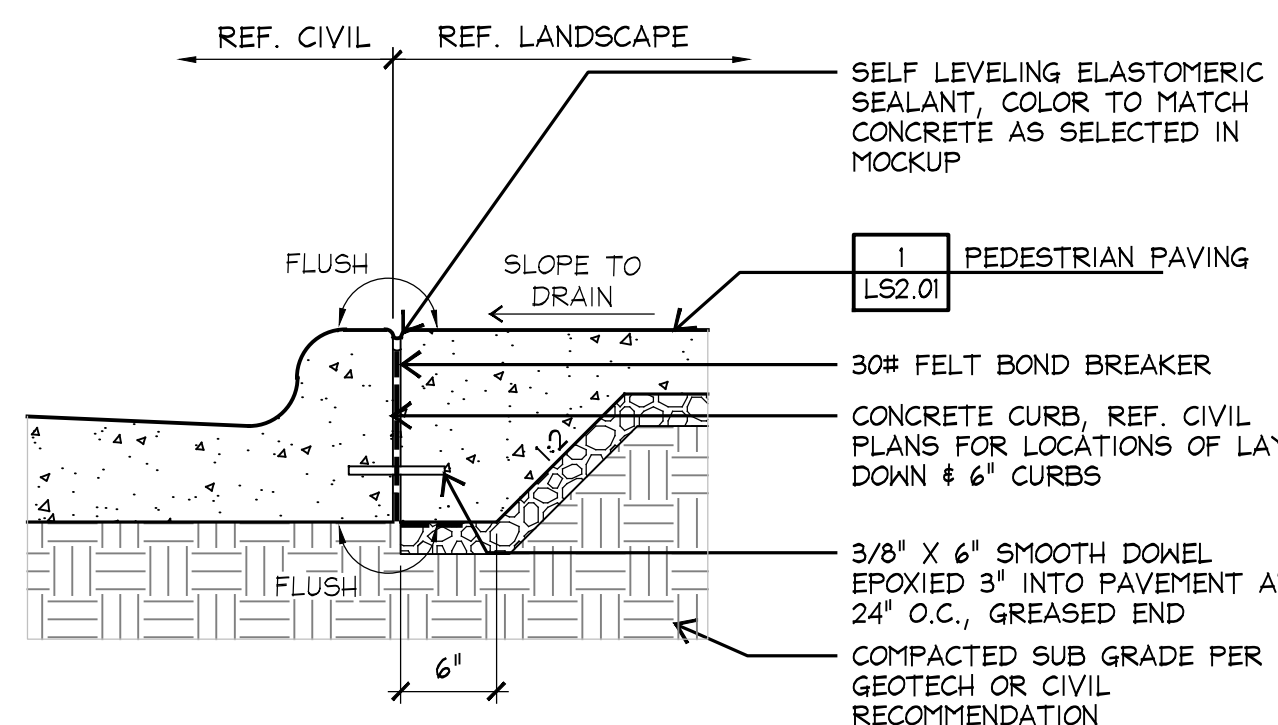
2 COLD JOINT
 SECTION SCALE: 1-1/2"=1'-0"



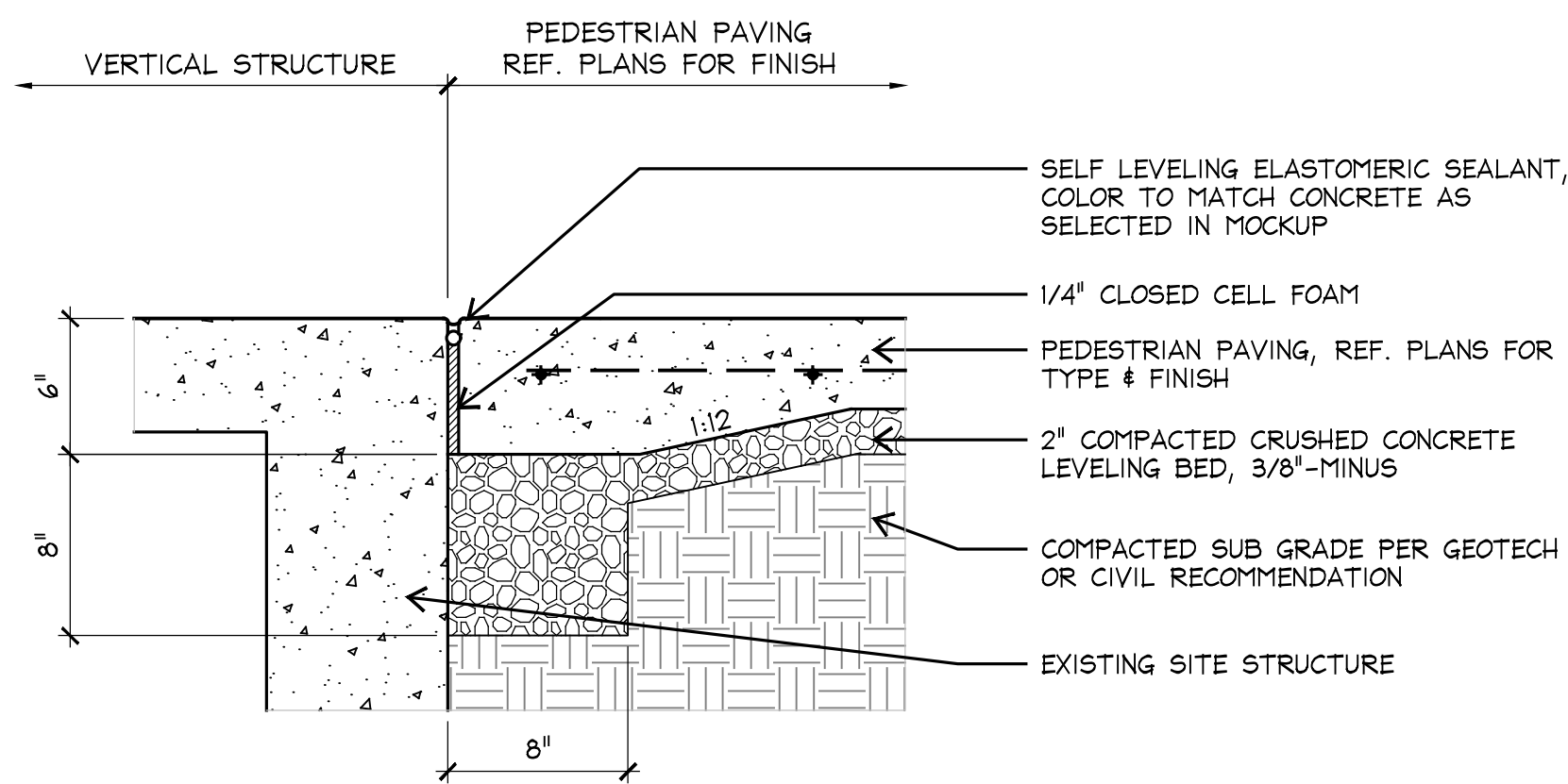
1 SIDEWALK DETAIL
 SECTION SCALE: 1"=1'-0"



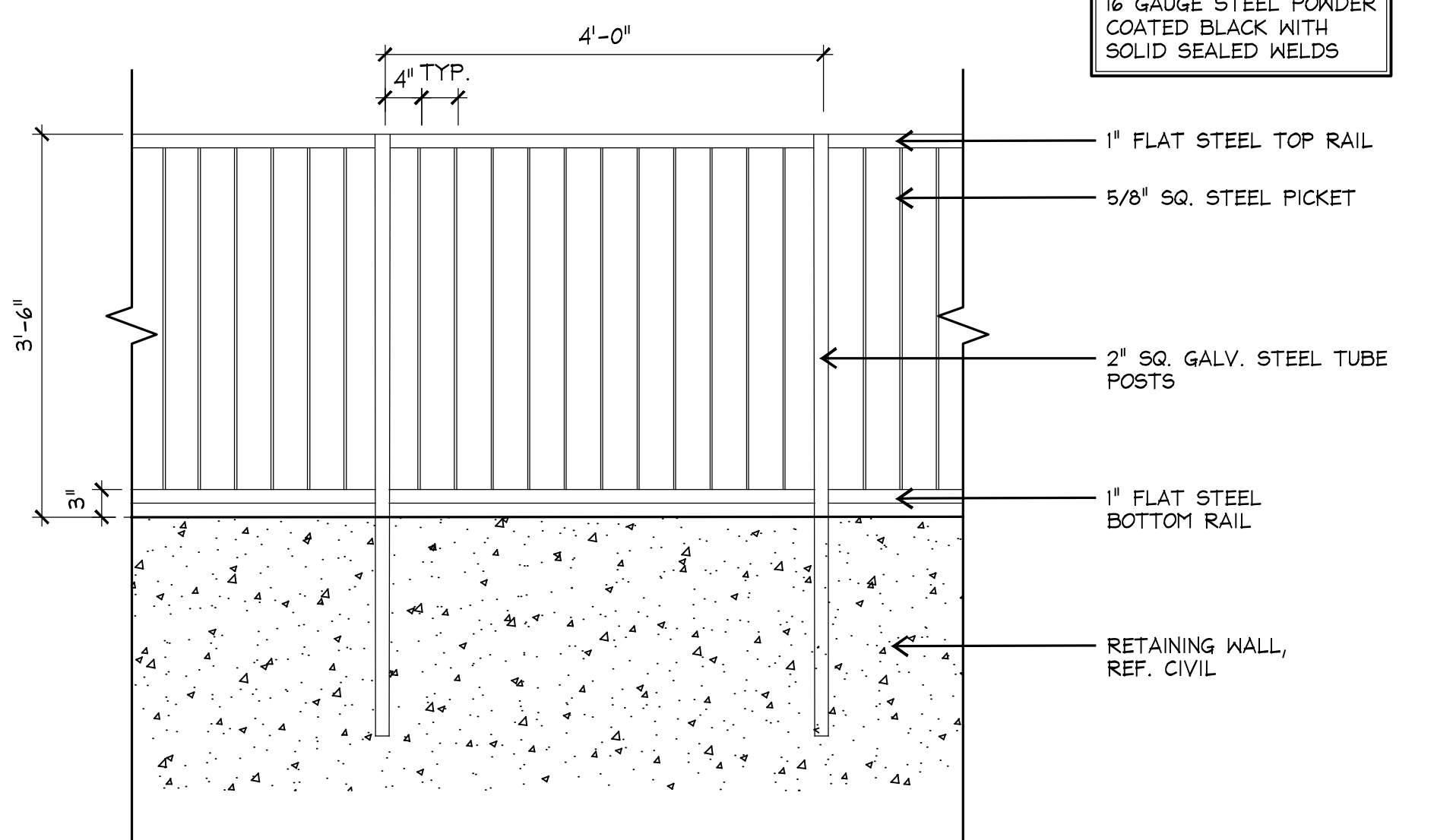
7 PLANTING AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



6 CONCRETE AT BACK OF CURB
 SECTION SCALE: 1"=1'-0"



5 ISOLATION JOINT
 SECTION SCALE: 1-1/2"=1'-0"



8 RAILING AT RETAINING WALL
 SECTION SCALE: 3/4"=1'-0"

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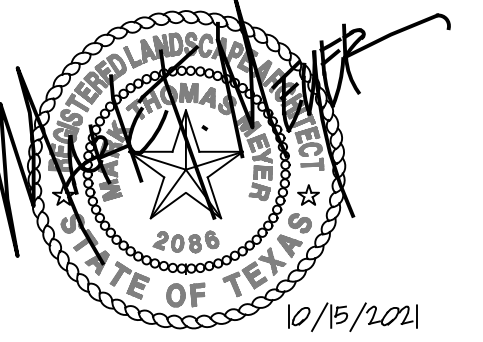


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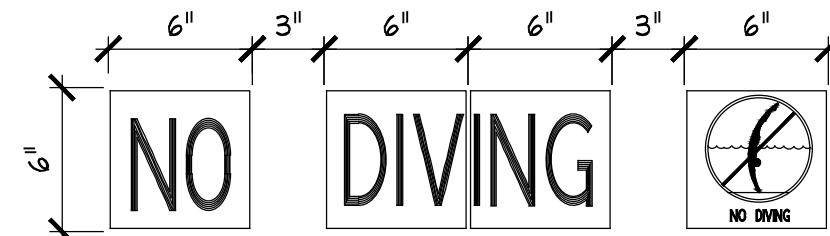
NOTE:

SWIMMING POOL DETAILS PROVIDED FOR DESIGN INTENT ONLY. POOL CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER REPRESENTATIVE PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF DESIGN OR LAYOUT CONFLICTS. CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.

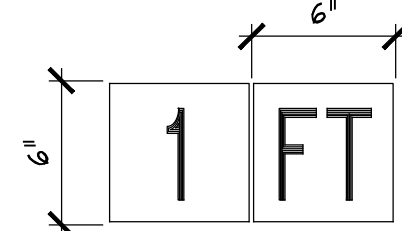
TILE TO BE FLUSH AT EDGE CONDITIONS W/ EVEN GROUT SPACING BETWEEN TILES. TILE PLACED ON THE SLOPE TO LAY OVER TILE PLACED ON VERTICAL WALL AS NOT TO REVEAL ANY ROUGH TILE EDGES. TILE ON SLOPE MUST BE FLUSH WITH TILE ON VERTICAL WALLS.

POOL MEP, LIGHTING, SHELL DESIGN & ENGINEERING BY POOL CONTRACTOR.

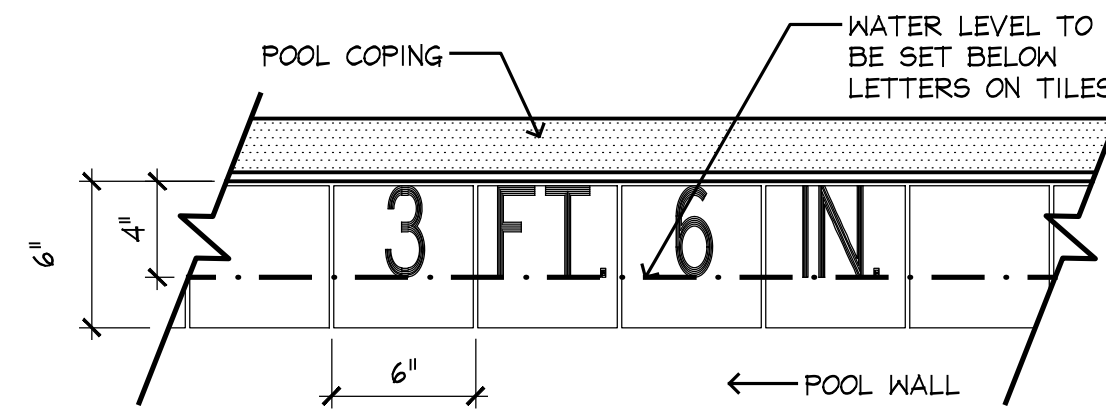
NOTE:
NON-SLIP TILE REQUIRED ON ALL DECK SURFACES



"NO DIVING" MARKERS 6" X 6" GLAZED CERAMIC TILE SET INTO CONCRETE POOL DECK. QUANTITY AND LOCATION REQUIRED TO MEET ALL APPLICABLE CODES. INTEGRAL COLORS FOR LETTERS



DEPTH MARKERS 6" X 6" GLAZED CERAMIC TILE SET INTO CONCRETE POOL DECK. QUANTITY AND LOCATION REQUIRED TO MEET ALL APPLICABLE CODES. INTEGRAL COLORS FOR LETTERS

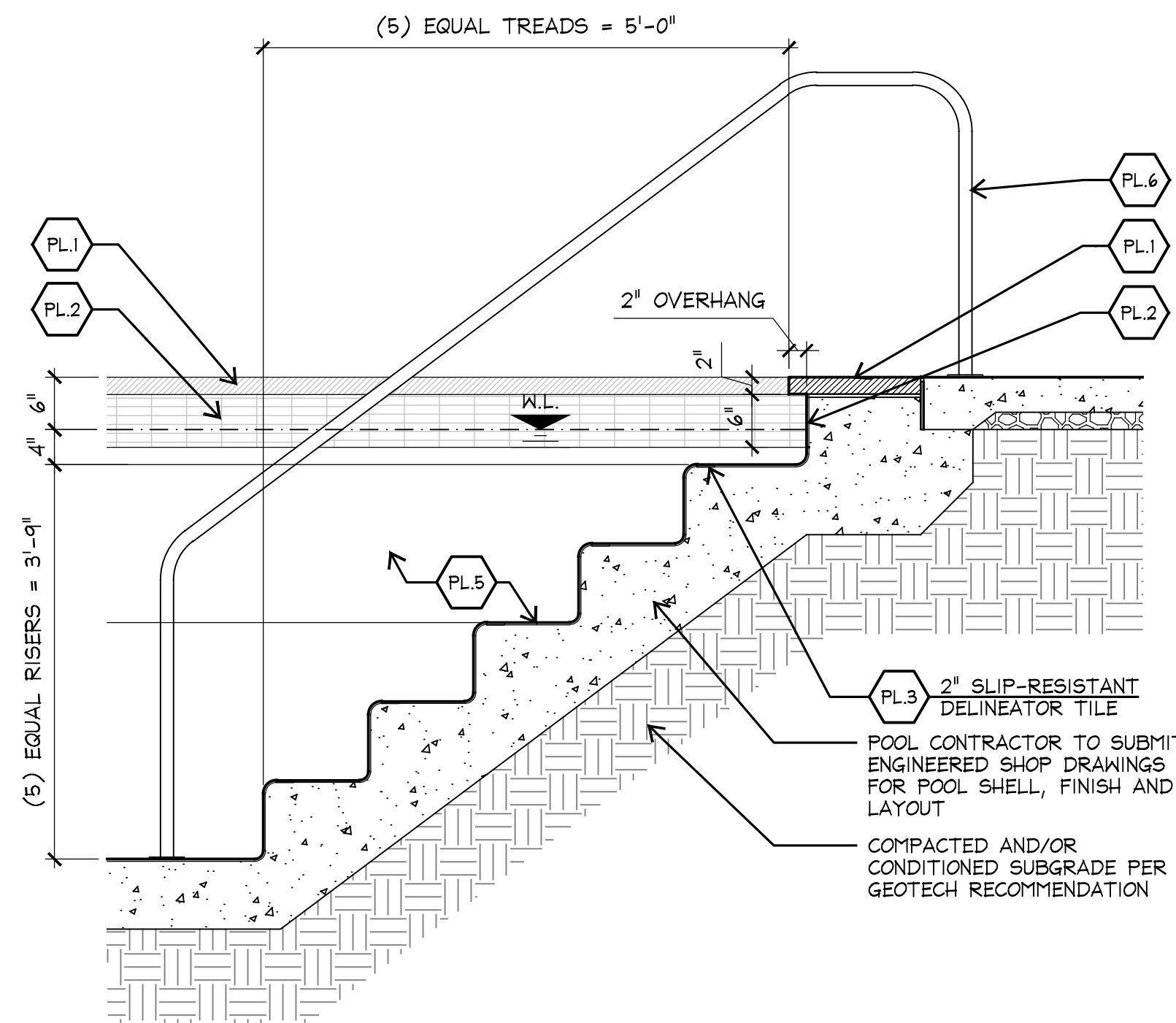


DEPTH MARKER IN VERTICAL WALL OF POOL AT WATERLINE TILE. QUANTITY AND LOCATION REQUIRED TO MEET ALL APPLICABLE CODES. INTEGRAL COLORS FOR LETTERS

5 POOL SIGNATURE, TYP

SECTION

SCALE: 1-1/2"=1'-0"



4 POOL STEPS, TYP

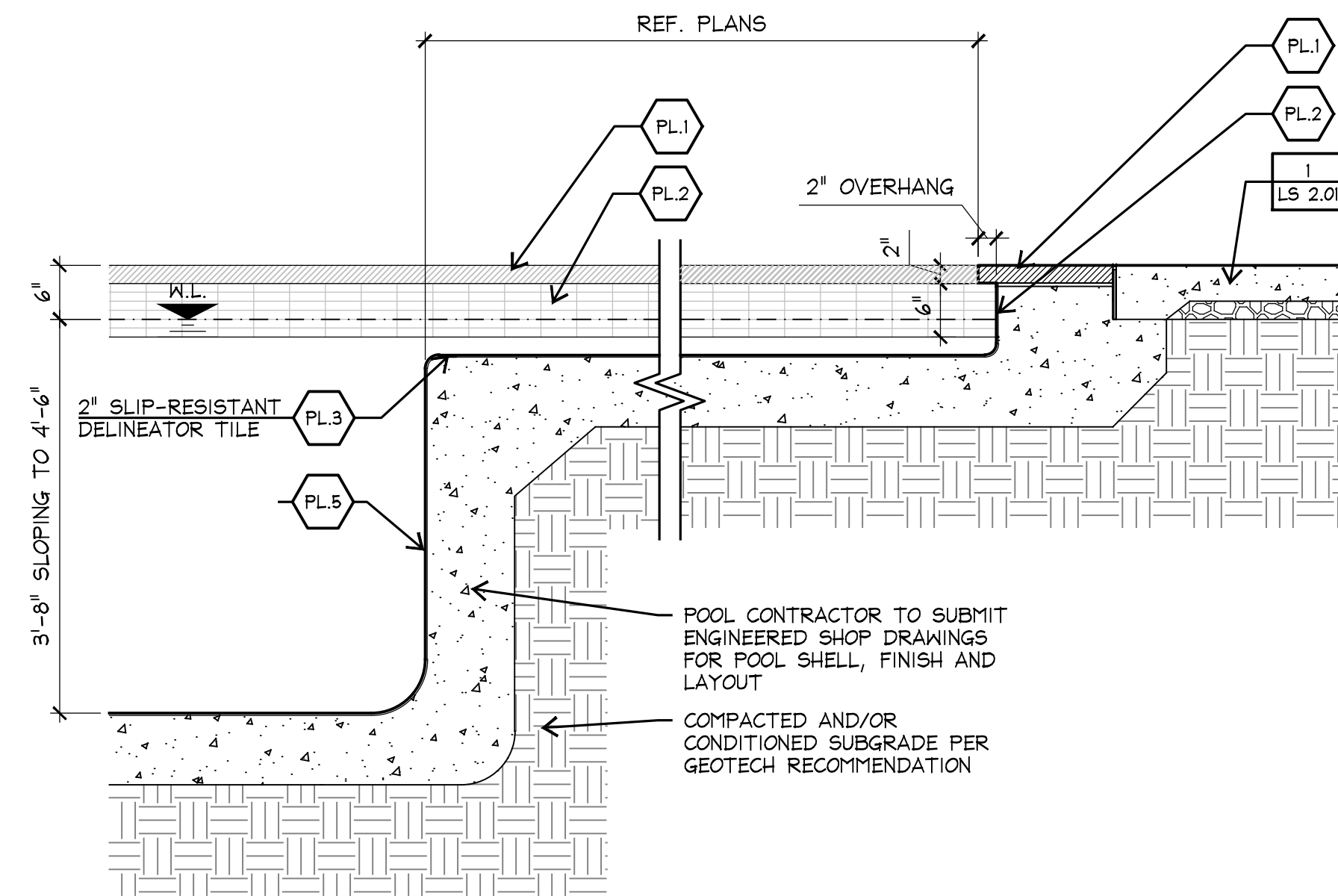
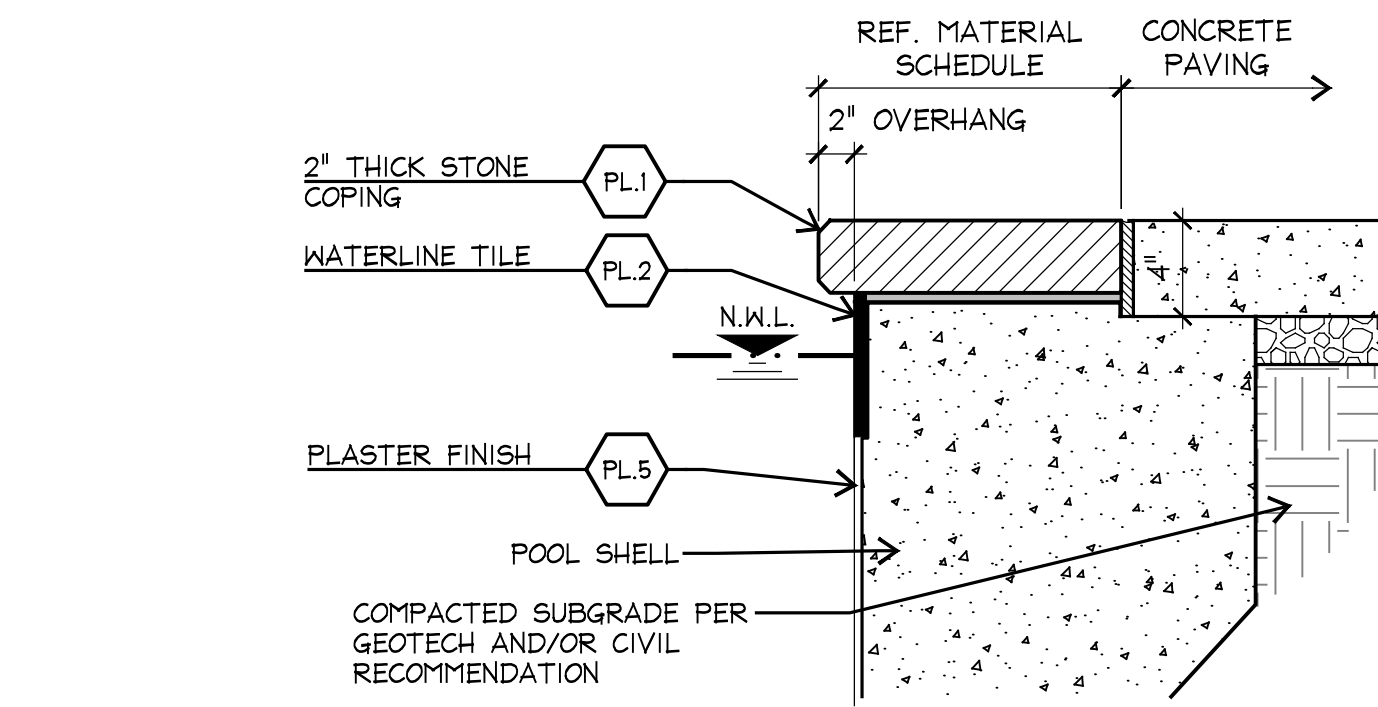
SECTION

SCALE: 1"=1'-0"

3 POOL COPING EDGE, TYP

SECTION

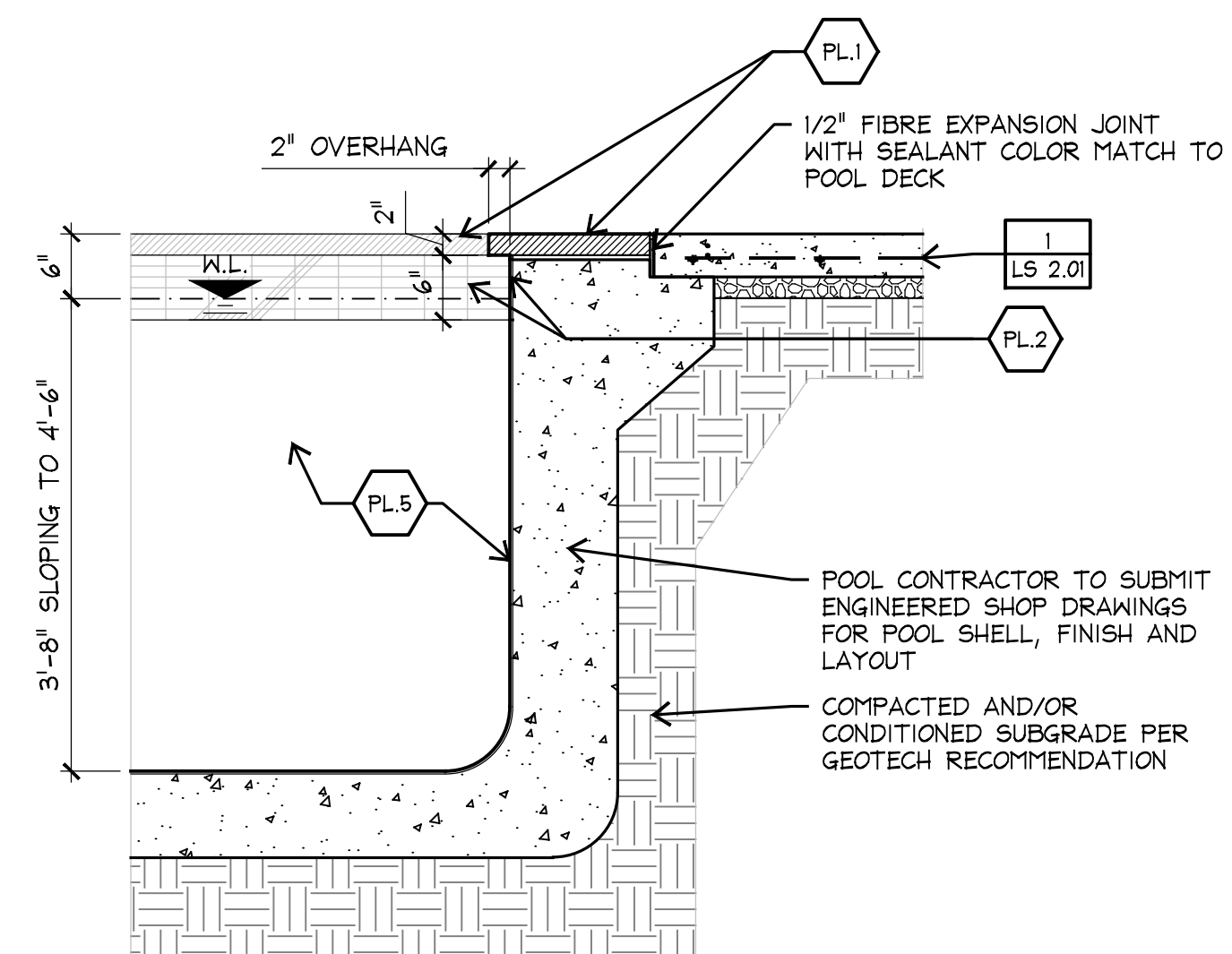
SCALE: 1-1/2"=1'-0"



2 POOL SUN SHELF, TYP

SECTION

SCALE: 1-1/2"=1'-0"



1 POOL WALL, TYP

SECTION

SCALE: 1"=1'-0"

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reviewed: JD MM

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sheet title
**Sitework
details**

sheet
LS 2.02

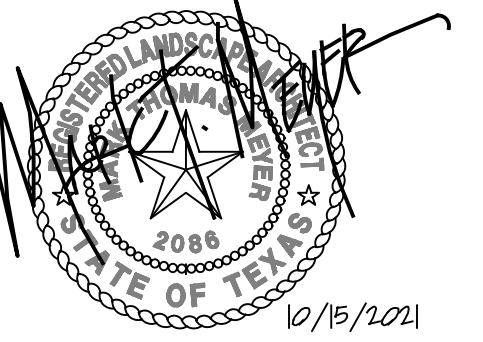


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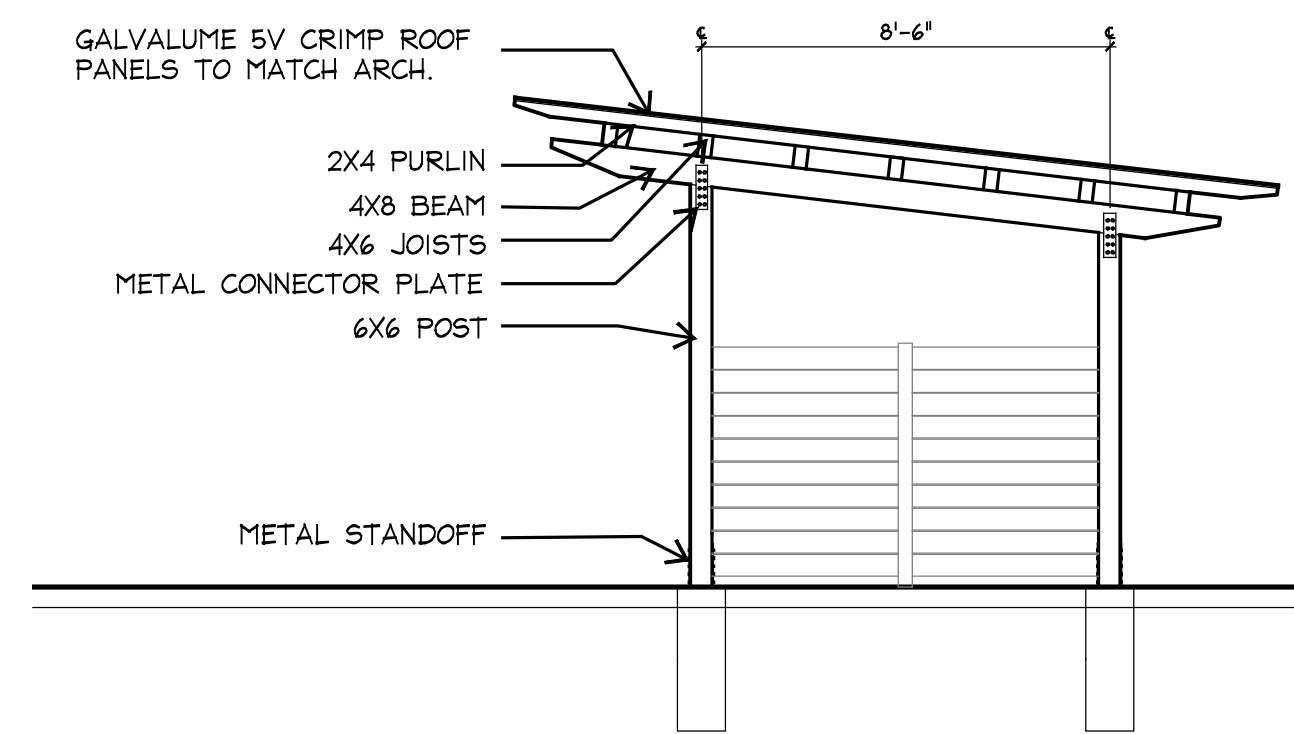
designed: JD BD
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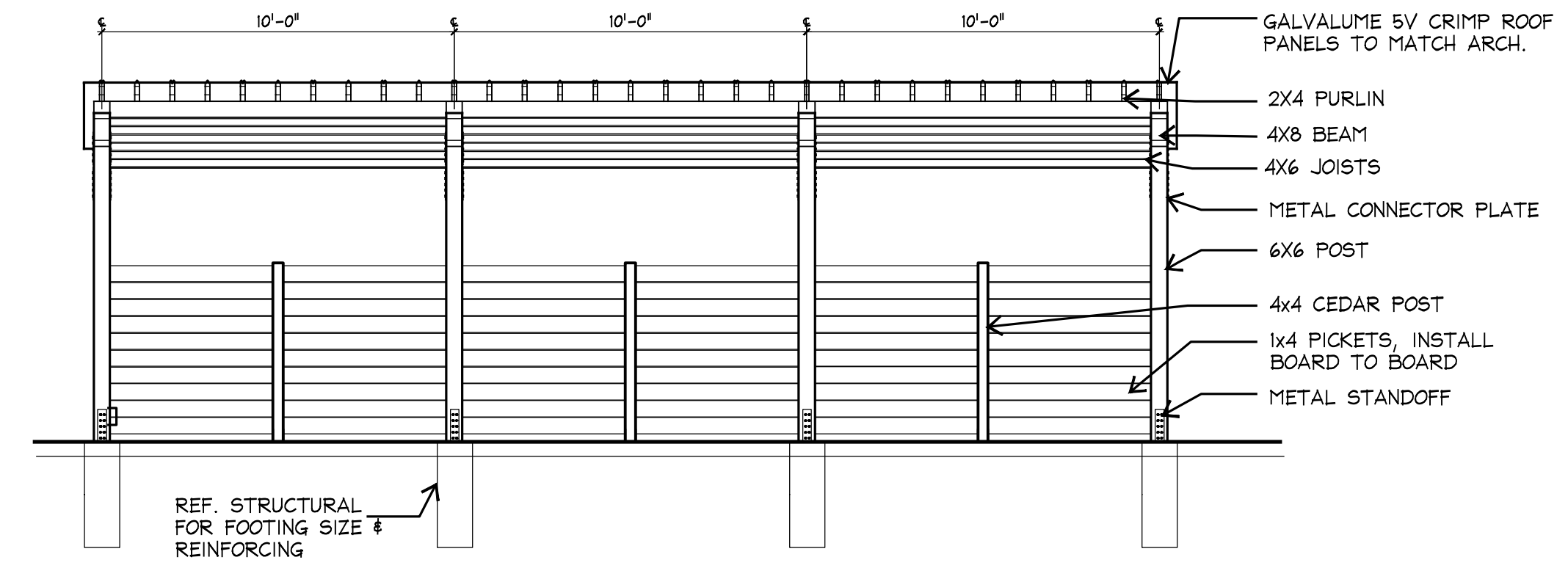
sheet
LS 2.03

NOTE:
ALL WOOD TO BE DOUGLAS FIR #2 OR BETTER.
ALL WOOD TO RECEIVE STAIN AS SELECTED IN MOCKUP.
ALL EXTERIOR PLATES, FASTENERS & METAL TO BE GALVANIZED.



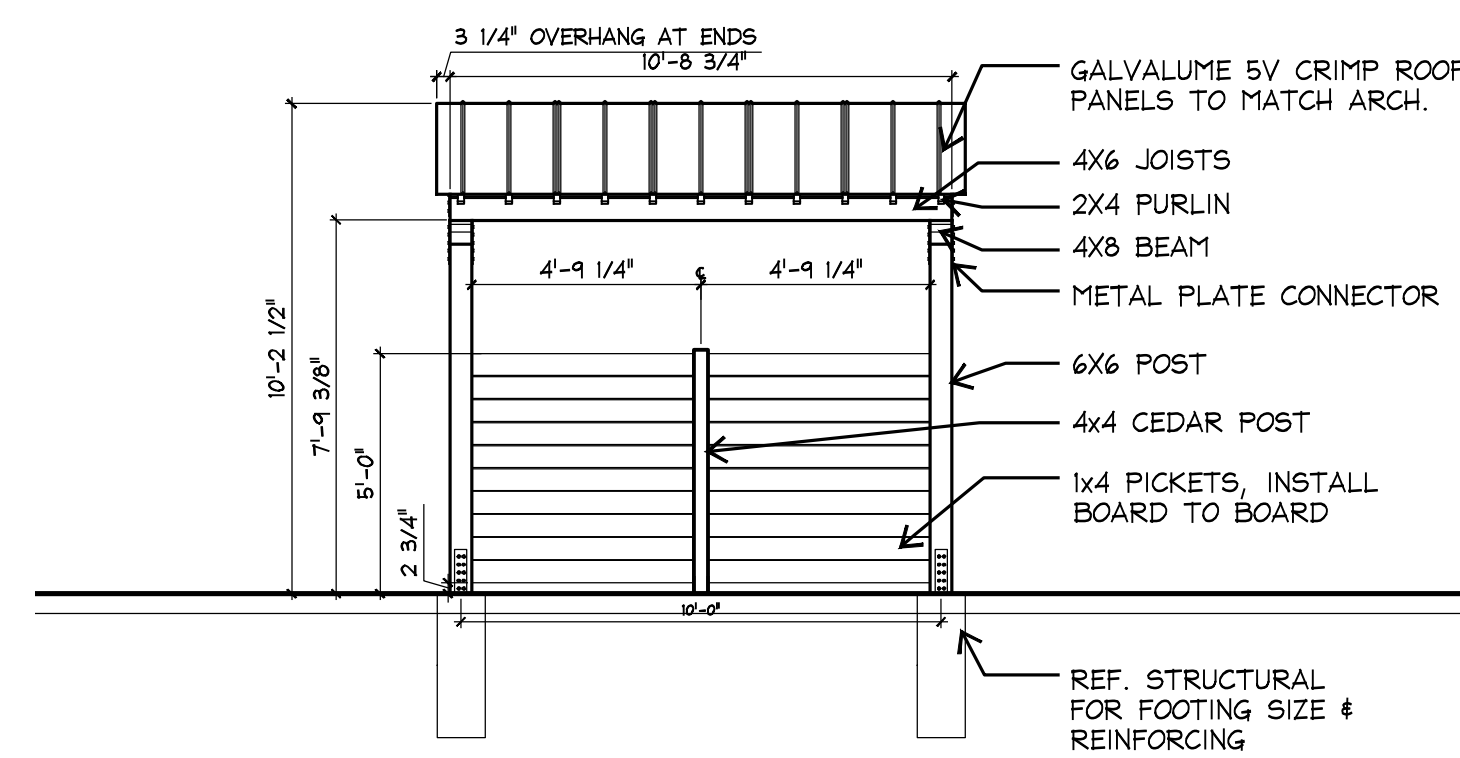
SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS

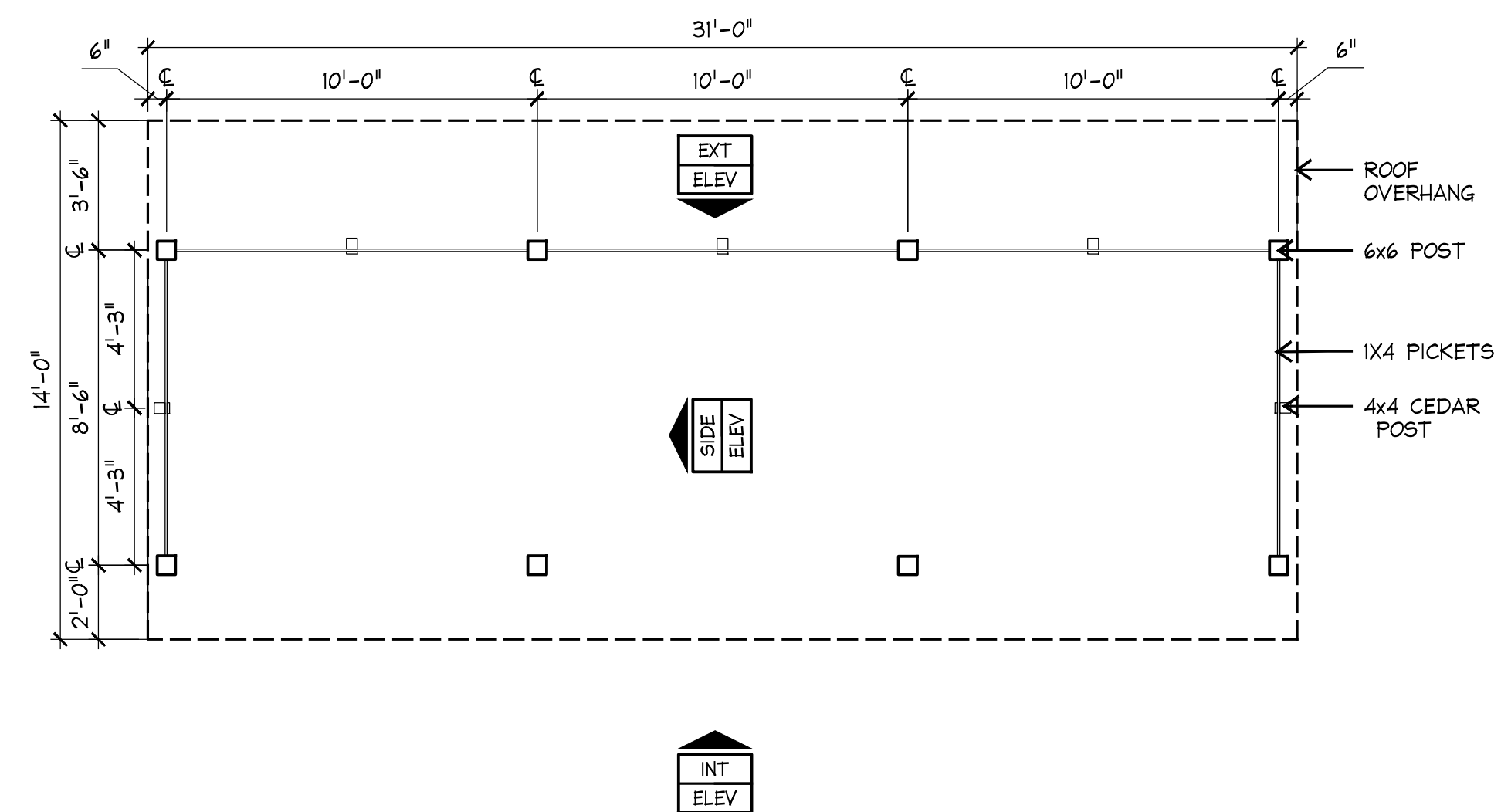


INTERNAL ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
WOOD PICKETS TO BE #1 GRADE ROUGH CEDAR, TYP.
STAIN w/ TWO (2) COATS BEHR SEMI-TRANSPARENT STAIN, COLOR TBS



EXTERNAL ELEVATION
SCALE: 1/4"=1'-0"



PLAN
SCALE: 1/4"=1'-0"

1 CABANA
AS SHOWN

SCALE: 1/4"=1'-0"



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NOT USED

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sheet title
**Sitework
 details**

sheet
LS 2.04

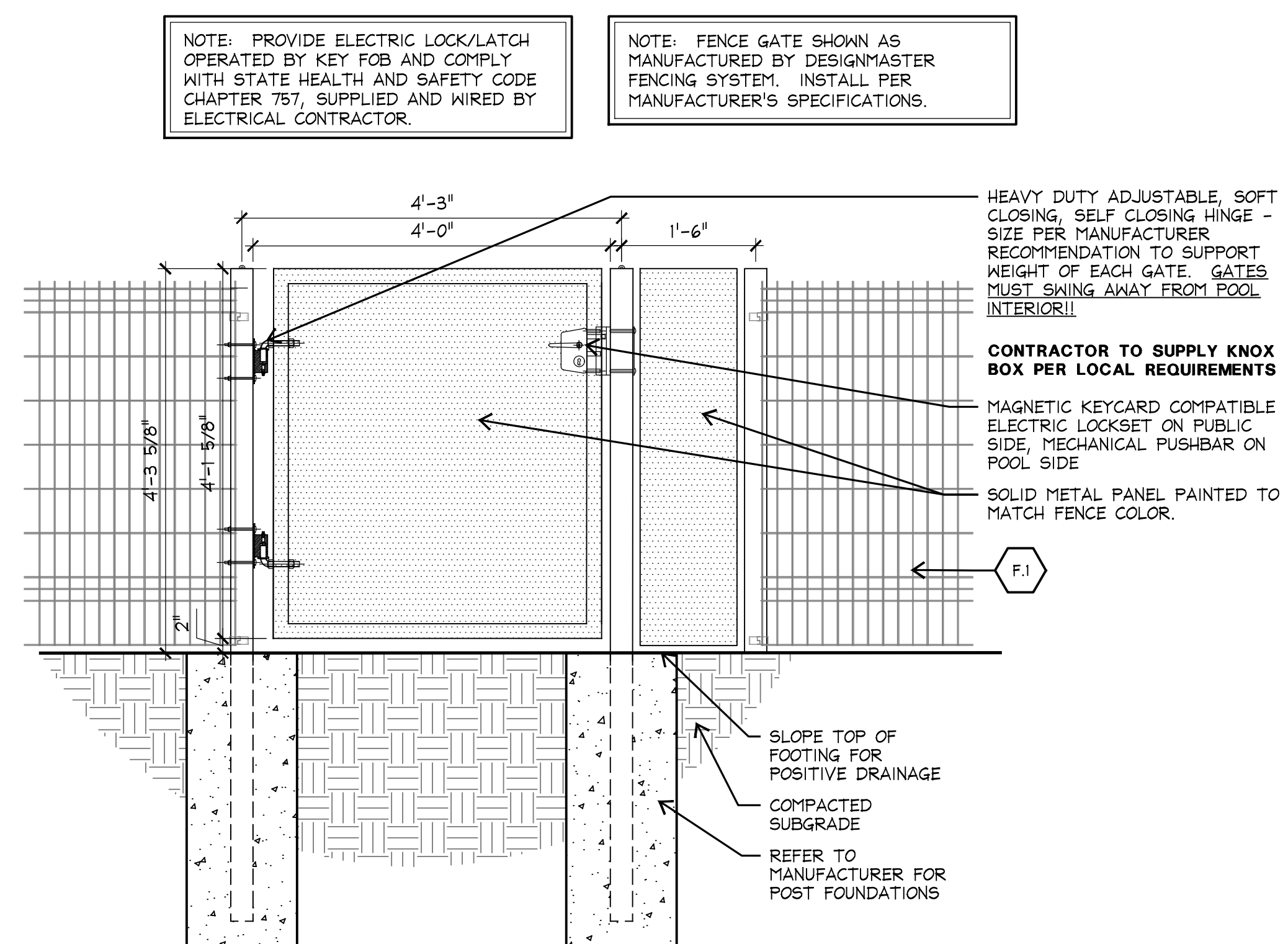
2 POOL EQUIPMENT - SCREEN FENCE
 ELEVATION

SCALE: 3/4"=1'-0"

NOT USED

1 POOL EQUIPMENT- SCREEN FENCE
 PLAN

SCALE: 3/4"=1'-0"



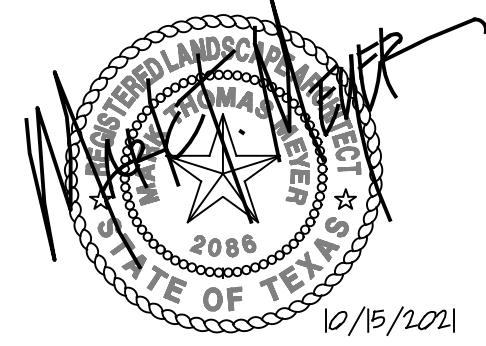
3 POOL ENTRY DOOR
 ELEVATION

SCALE: 3/4"=1'-0"

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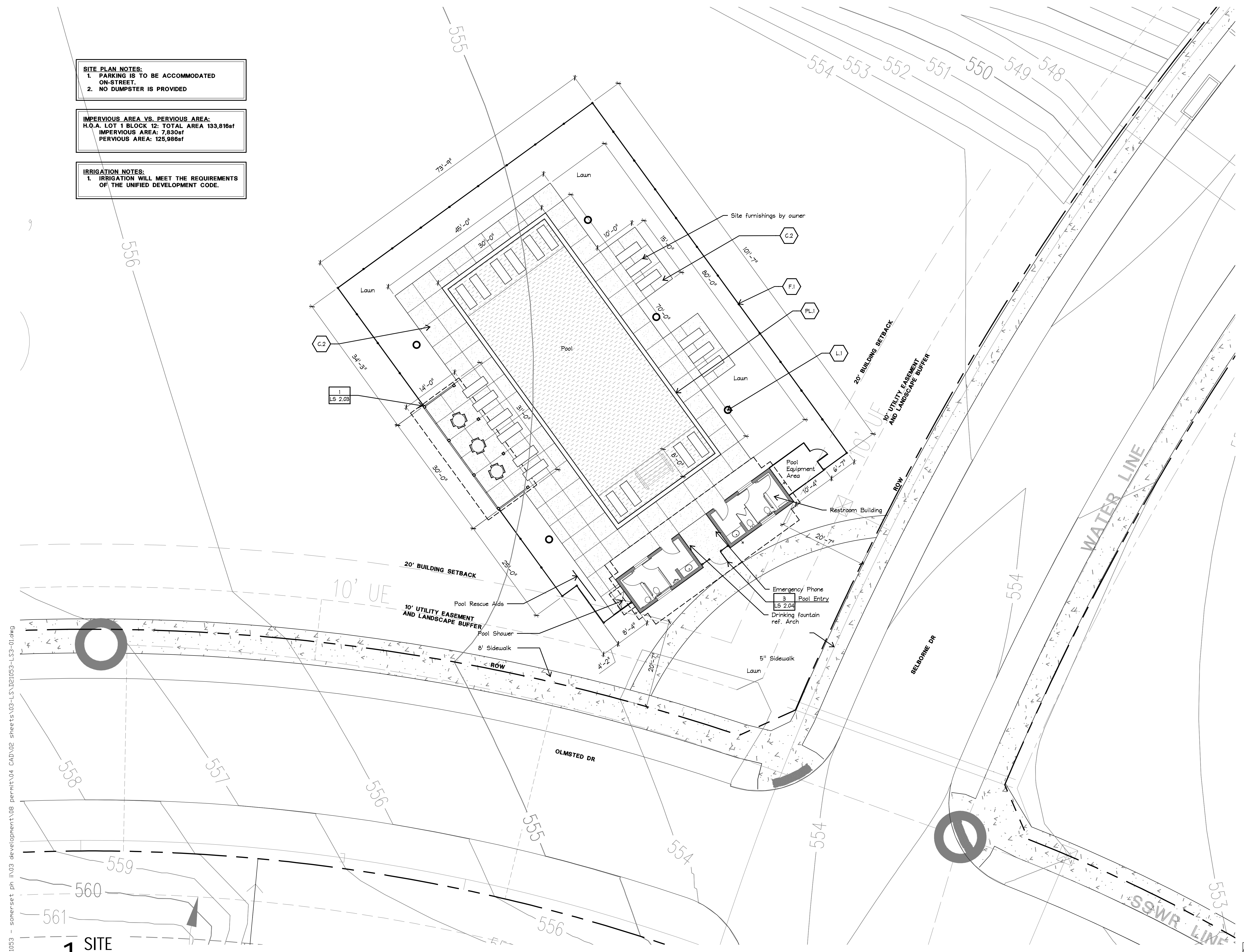
sheet title
sitework plan

sheet
LS 3.01

SITE PLAN NOTES:
 1. PARKING IS TO BE ACCOMMODATED ON-STREET.
 2. NO DUMPSTER IS PROVIDED

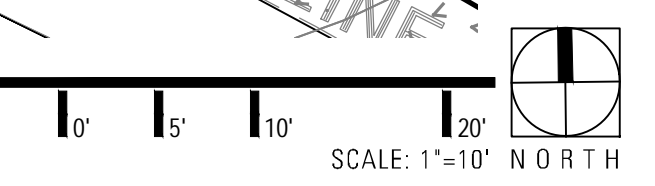
IMPERVIOUS AREA VS. PERVIOUS AREA:
 H.O.A. LOT 1 BLOCK 12: TOTAL AREA 133,816sf
 IMPERVIOUS AREA: 7,830sf
 PERVIOUS AREA: 125,986sf

IRRIGATION NOTES:
 1. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.



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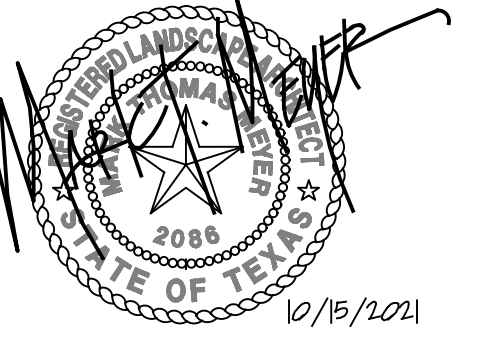
1 SITE



MATCHLINE: REF. 1/LP 1.02



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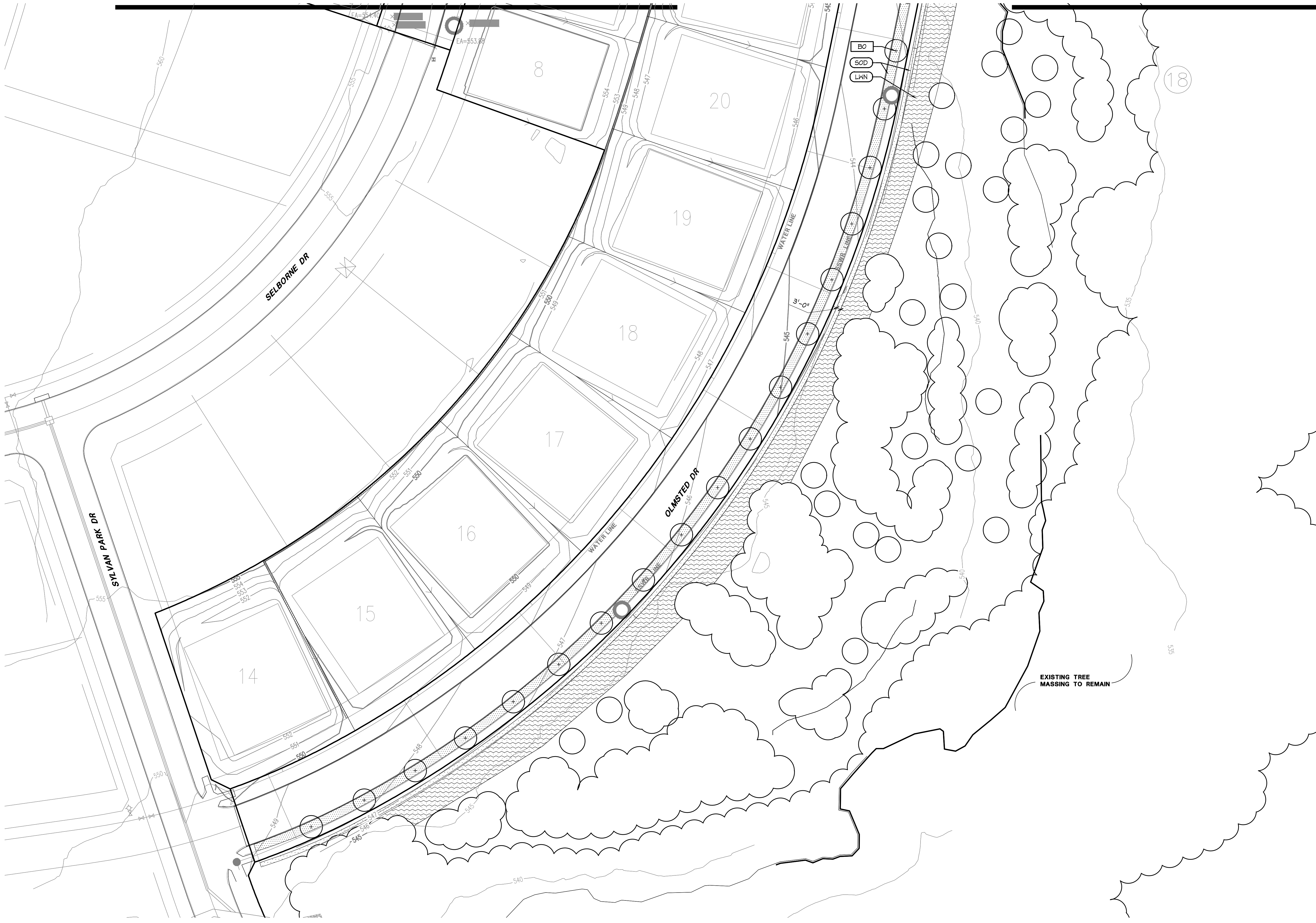
issue date
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designed: JD BD
drawn: BD AC
reviewed: JD, MM

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sheet title
planting plan

sheet
LP 1.01



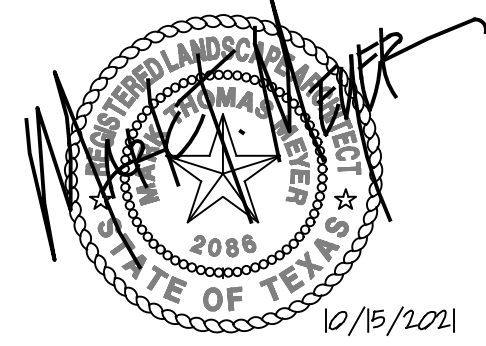
P:\21053 - somerset ph ii\03 development\08 permit\04 CAD\02 sheets\04-LP\21053-LP1-01.dwg

1 Site
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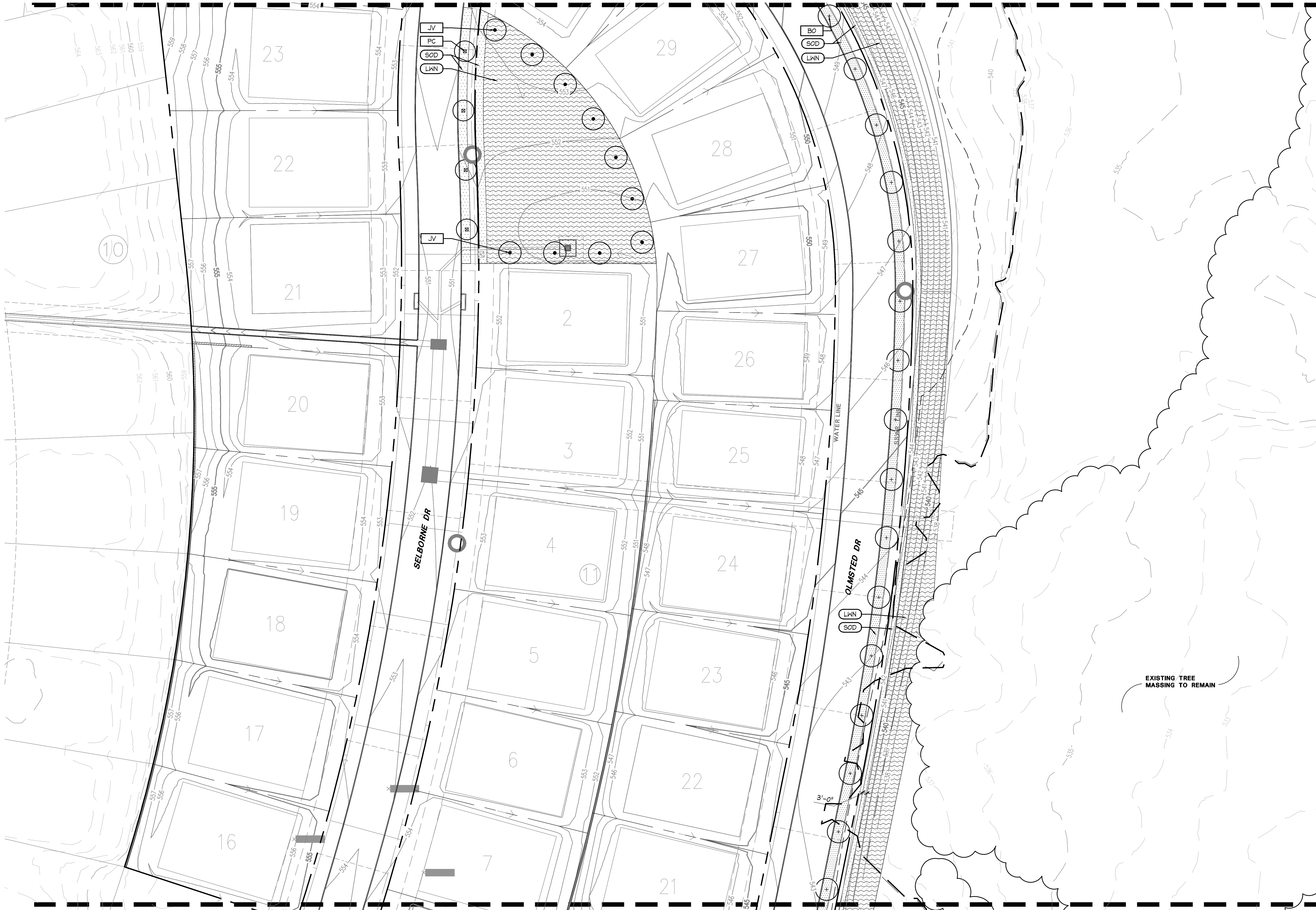
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sheet title
planting plan

sheet
LP 1.02

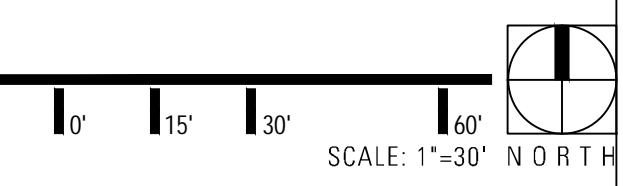
MATCHLINE: REF. 1/LP 1.03

MATCHLINE: REF. 1/LP 1.01



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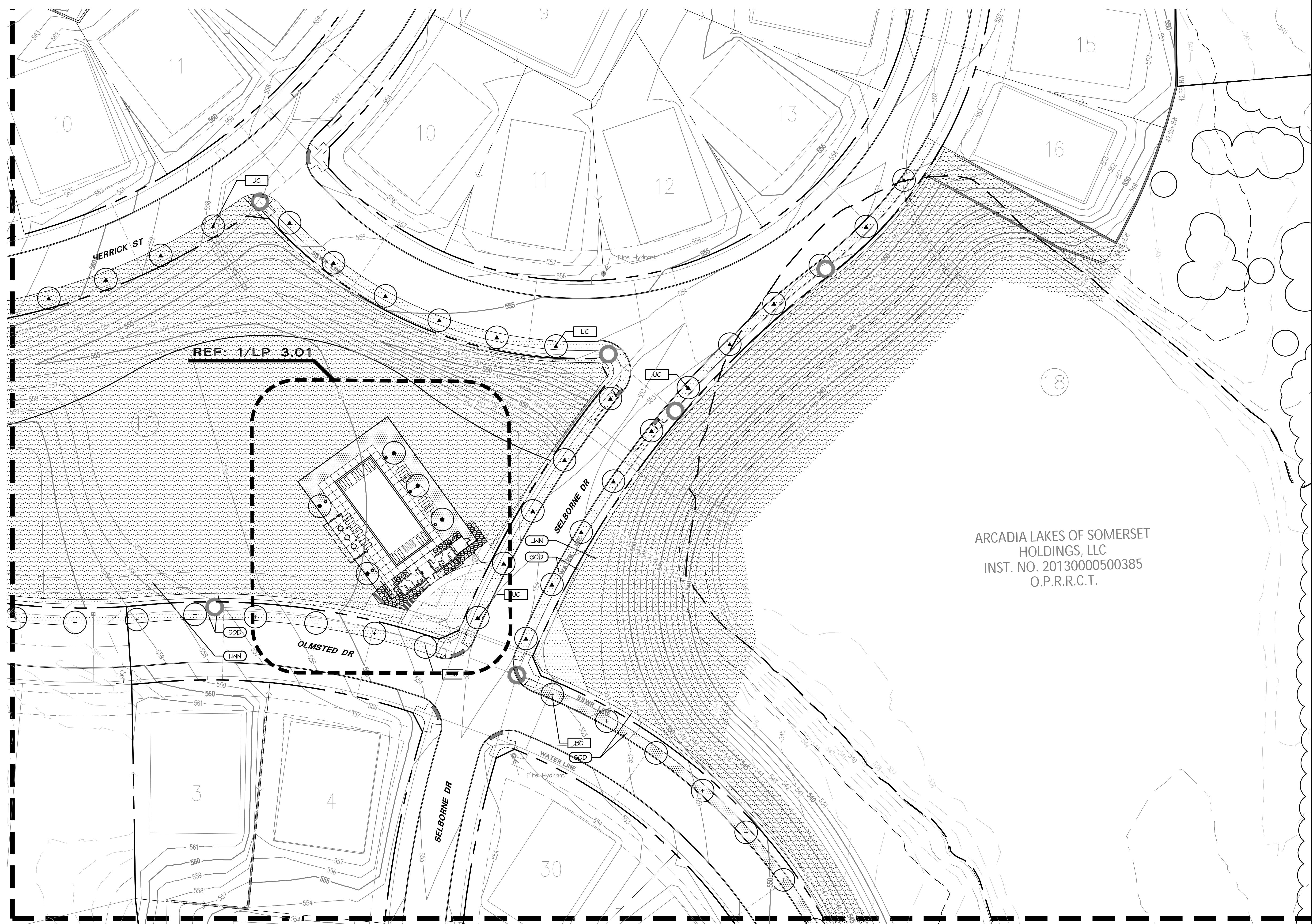
sheet title
planting plan

sheet
LP 1.03

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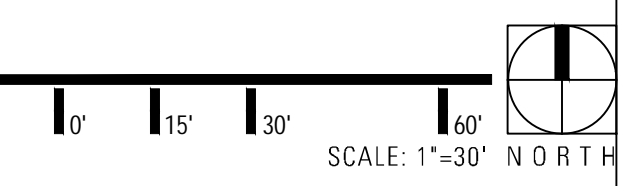
MATCHLINE: REF. 1/LS1.04

MATCHLINE: REF. 1/LS1.02



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 HOLDINGS, LLC
 INST. NO. 20130000500385
 O.P.R.R.C.T.

1 Site
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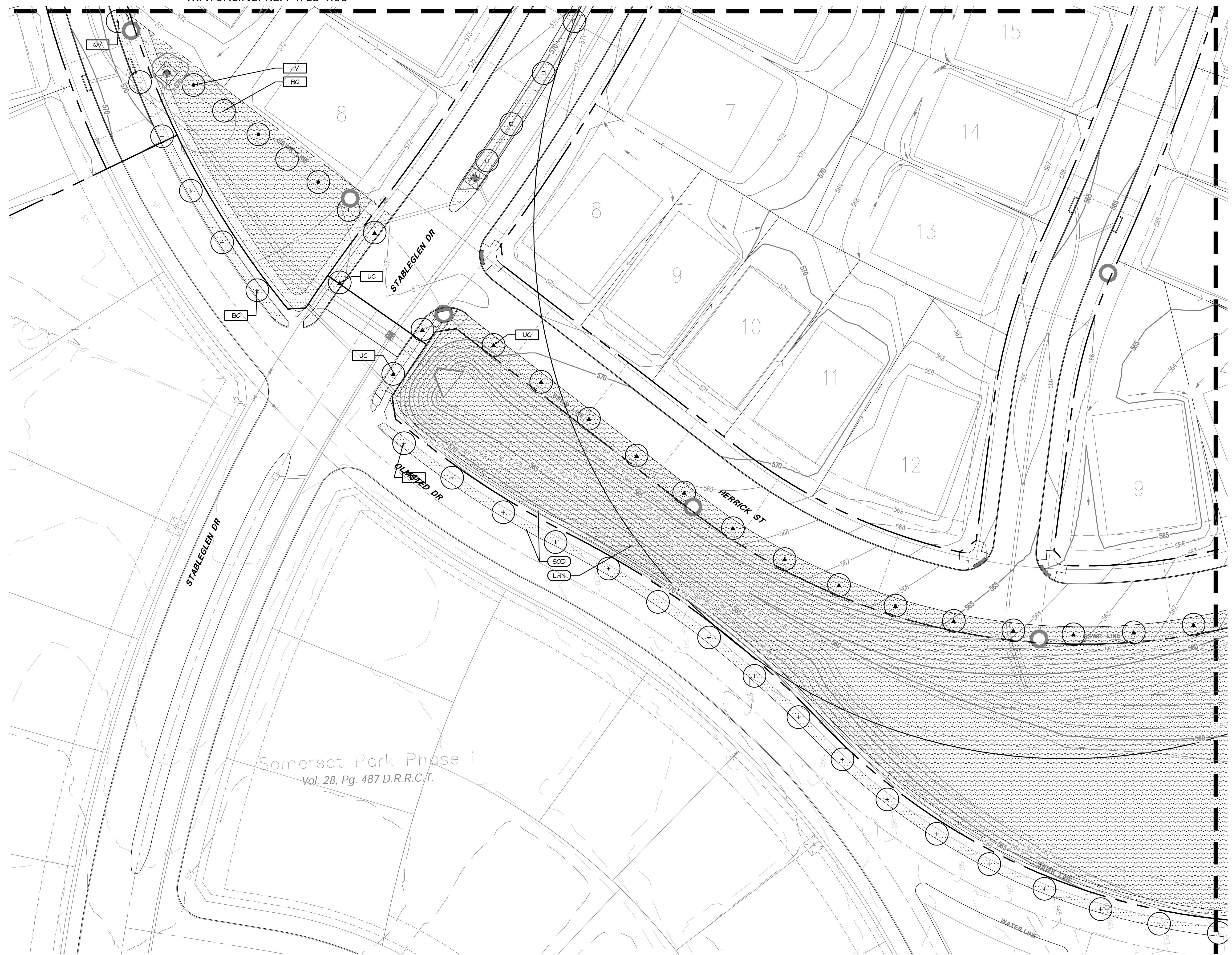
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sheet title
planting plan

sheet
LP 1.04

MATCHLINE: REF. 1/LS 1.05

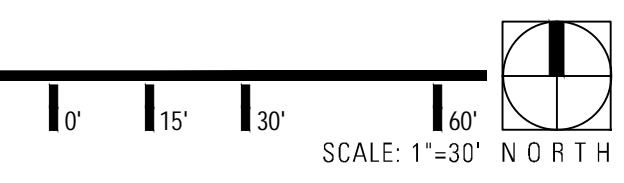
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Somerset Park Phase i
 Vol. 28, Pg. 487 D.R.R.C.T.

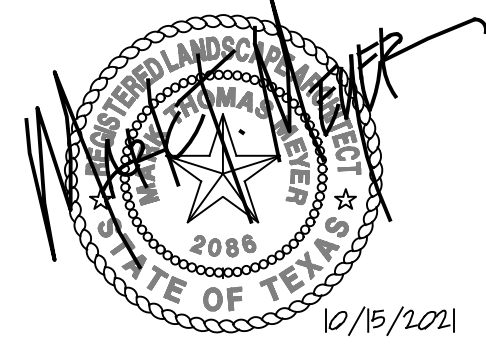
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1 Site
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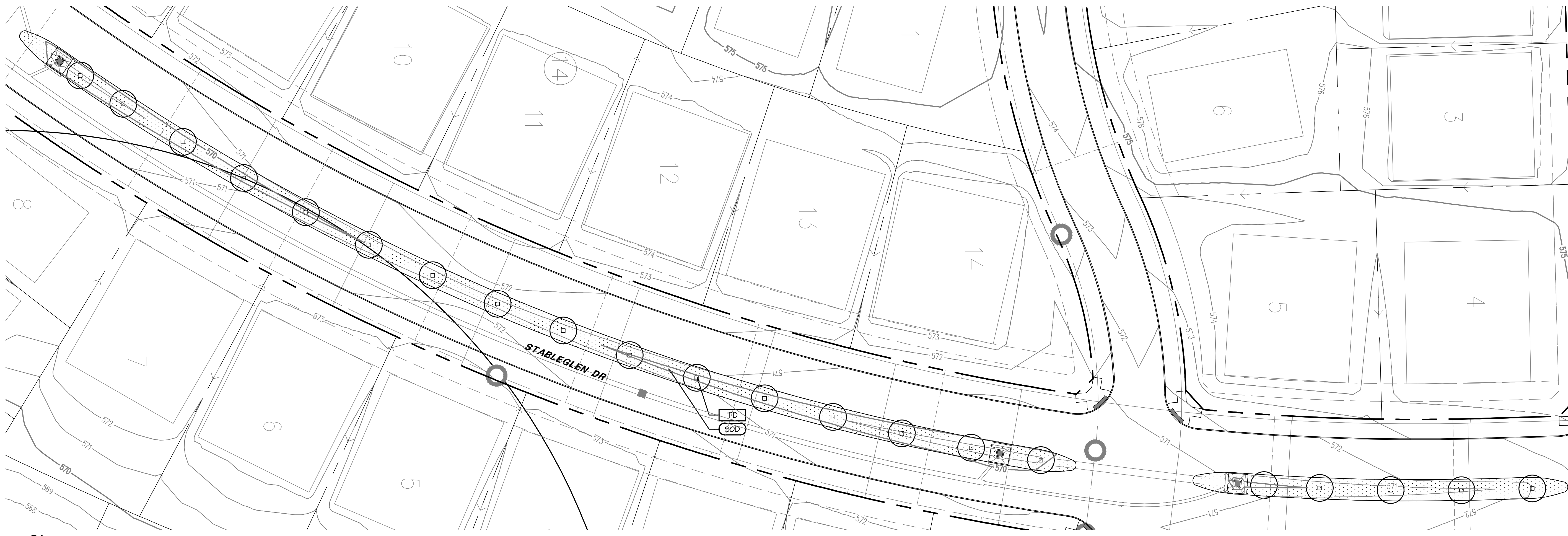
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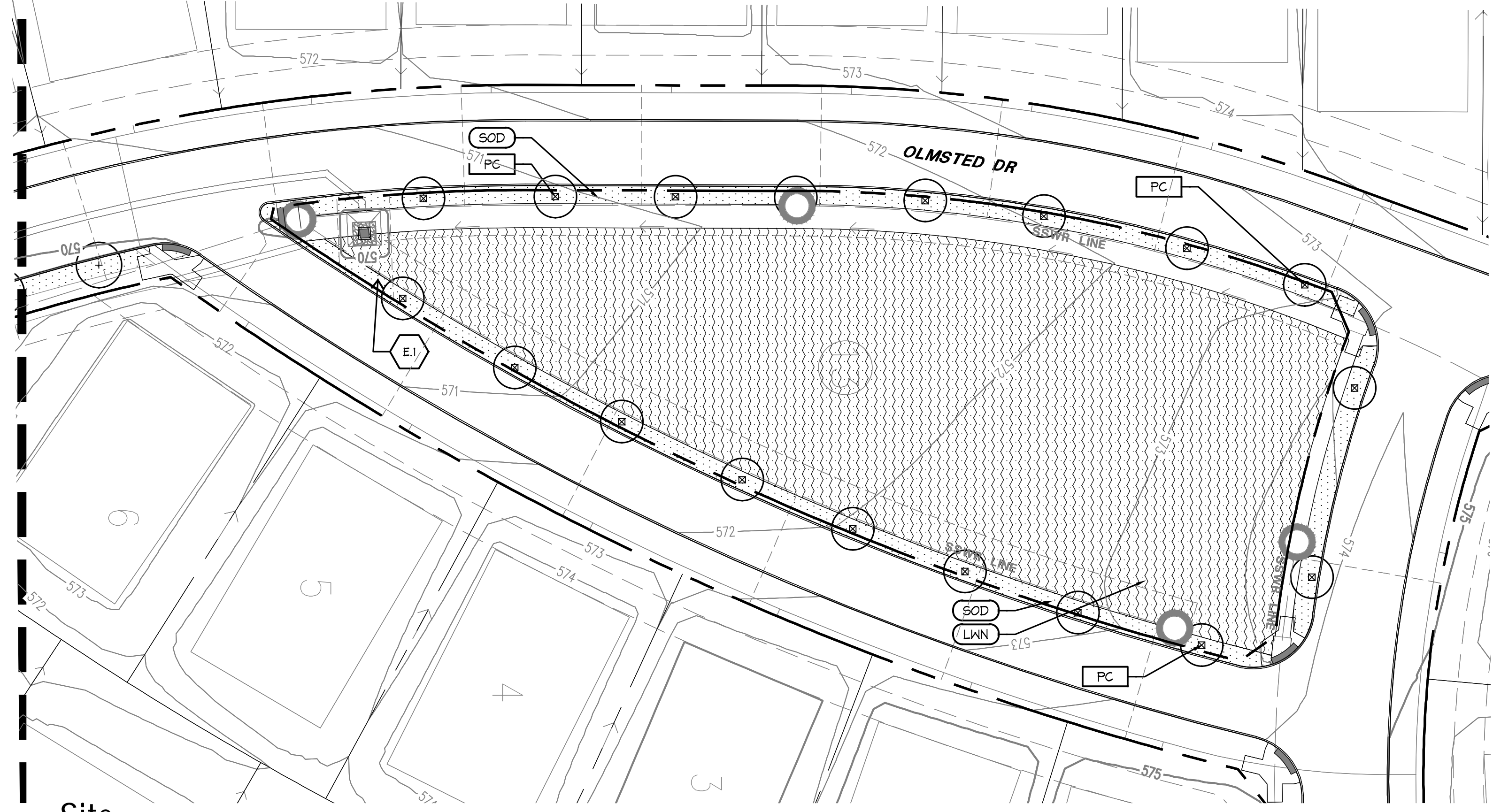
RE-SUBMITTAL 11 / 02 / 2021

sheet title
planting plan

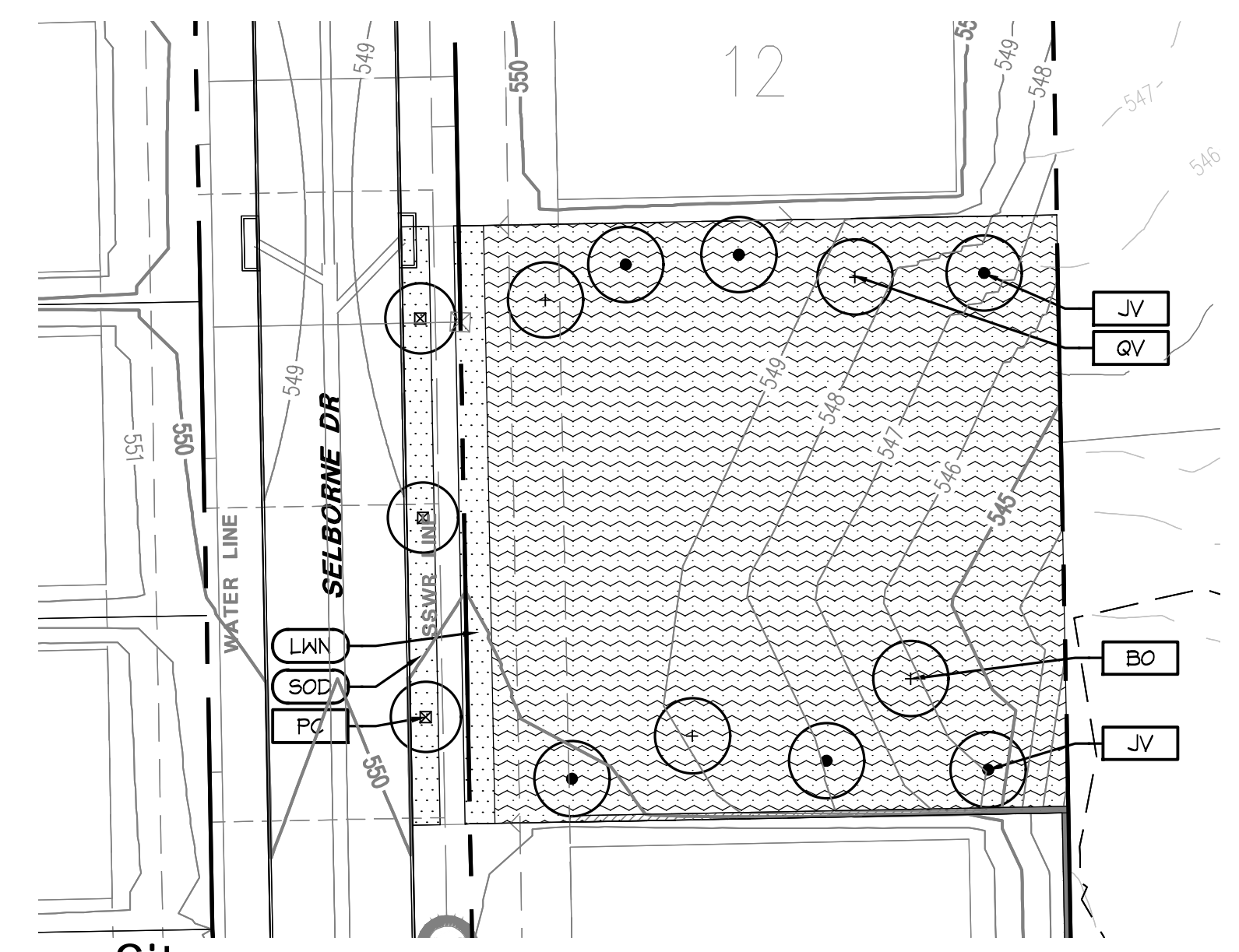
sheet
LP 1.05



3 Site
 Plan
 SCALE: 1"=30' N O R T H

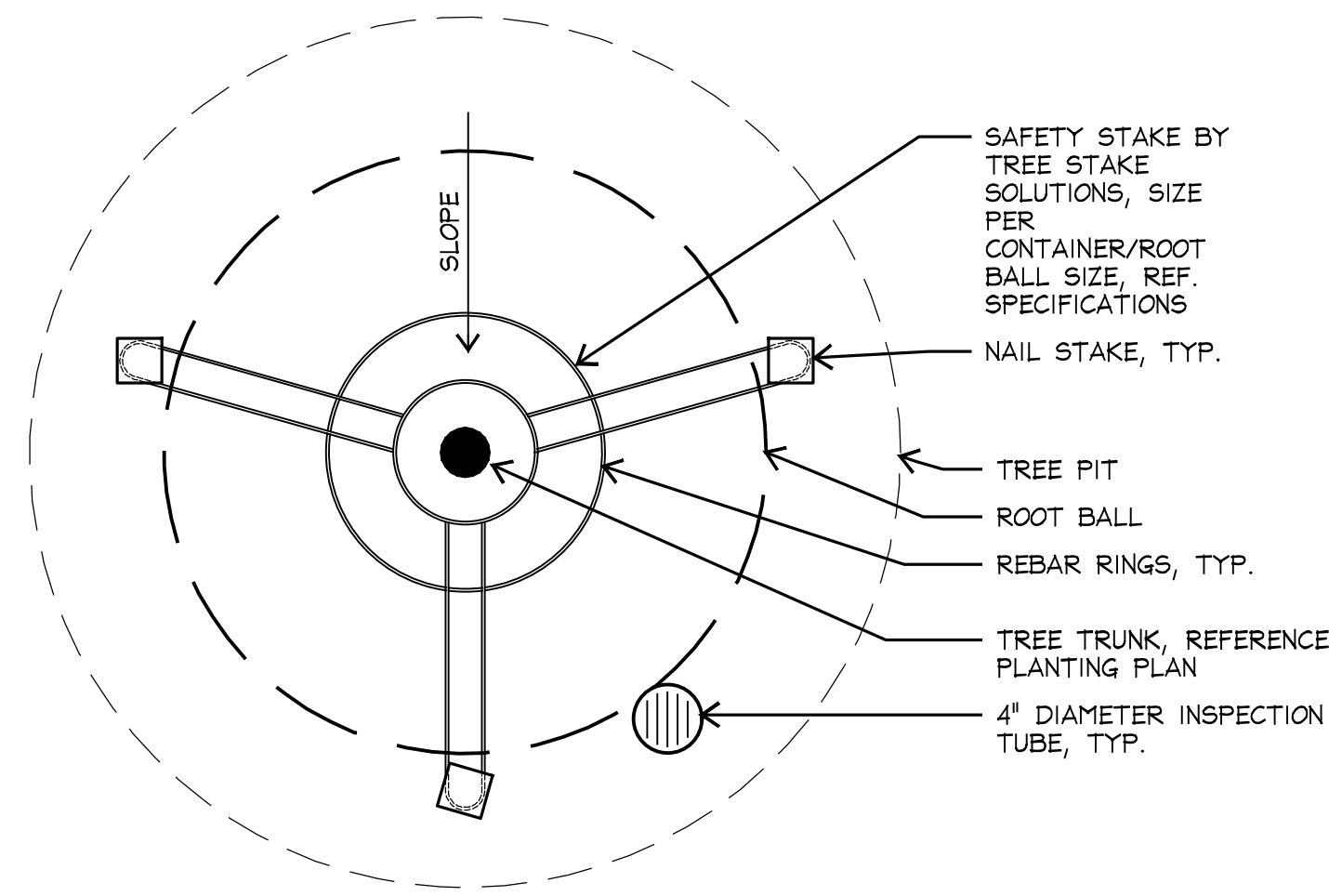


1 Site
 Plan
 SCALE: 1"=30' N O R T H

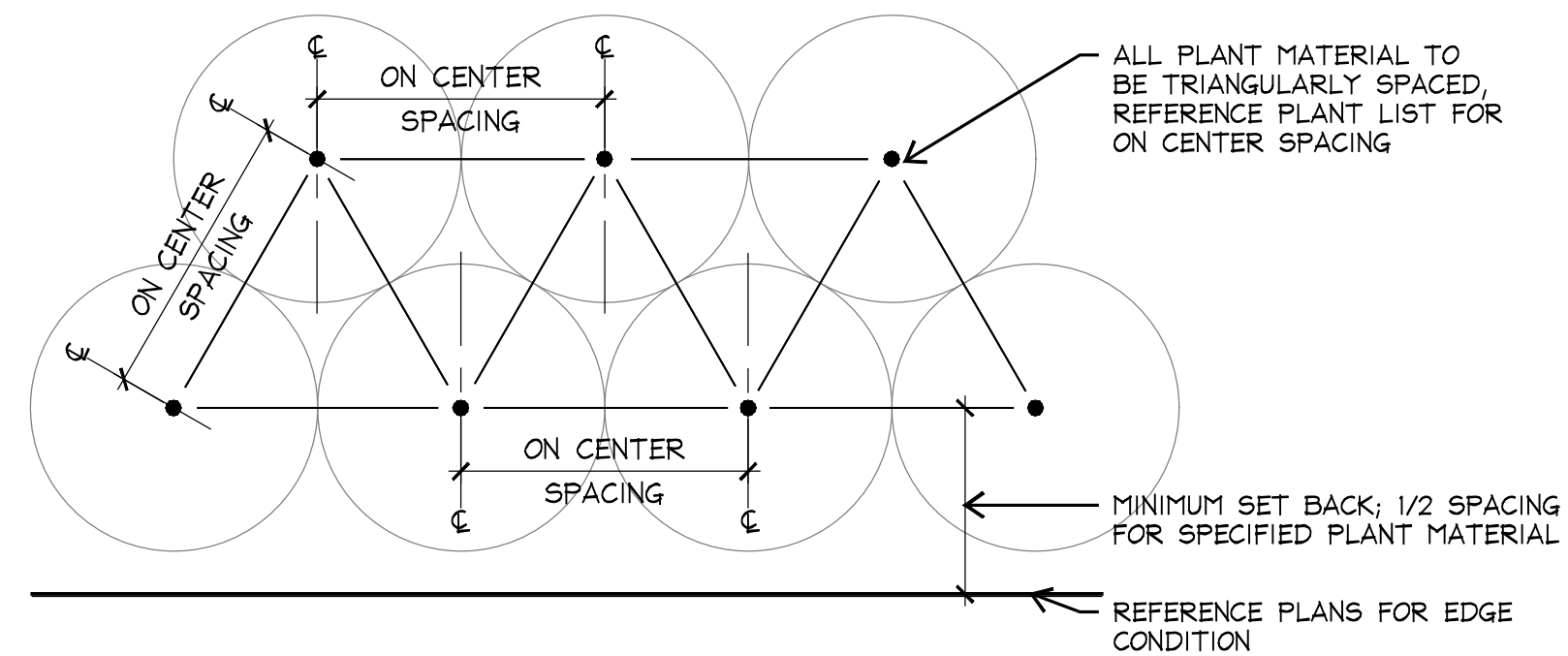


2 Site
 Plan
 SCALE: 1"=30' N O R T H

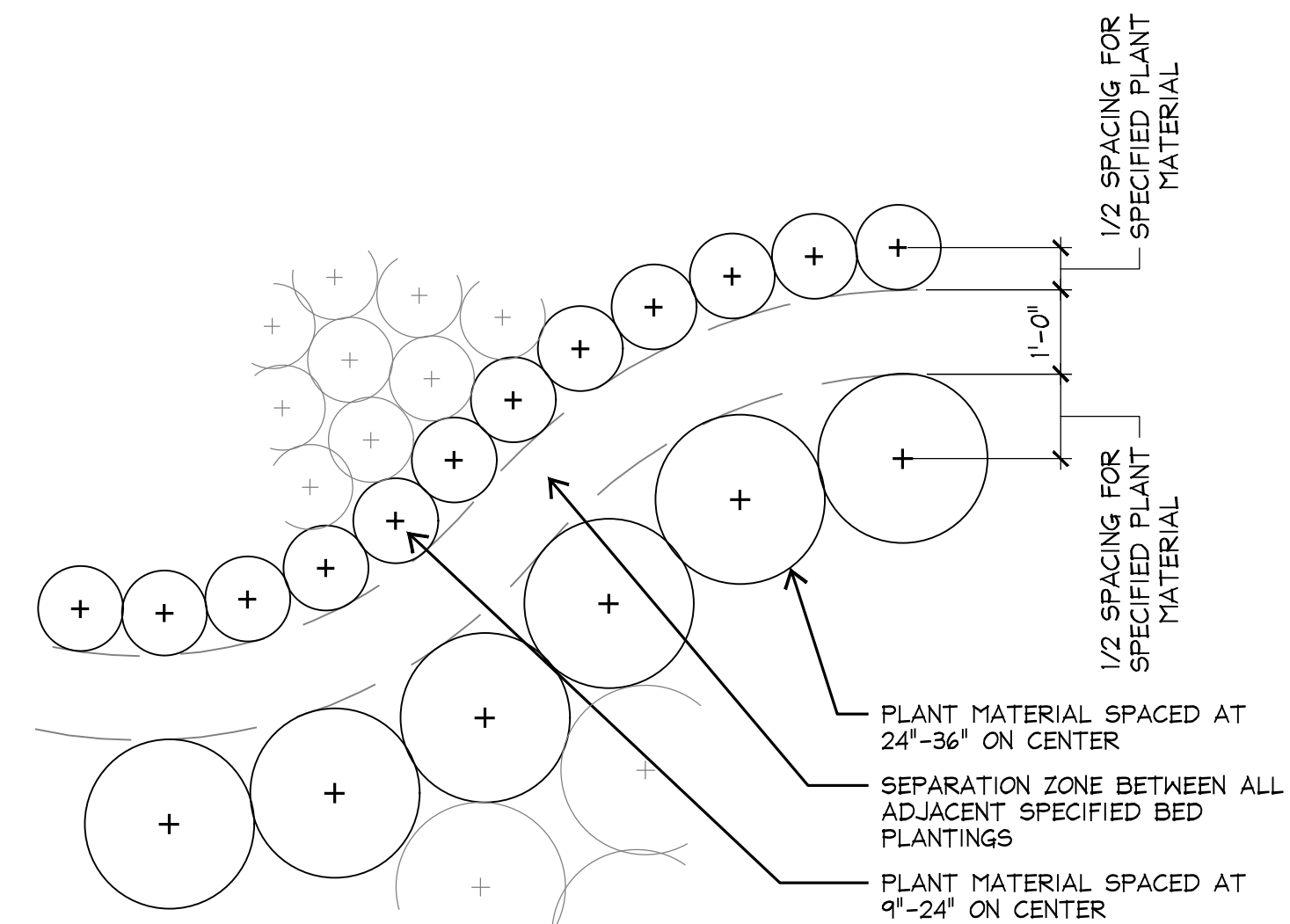
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5 TYPICAL TREE STAKING
PLAN NOT TO SCALE

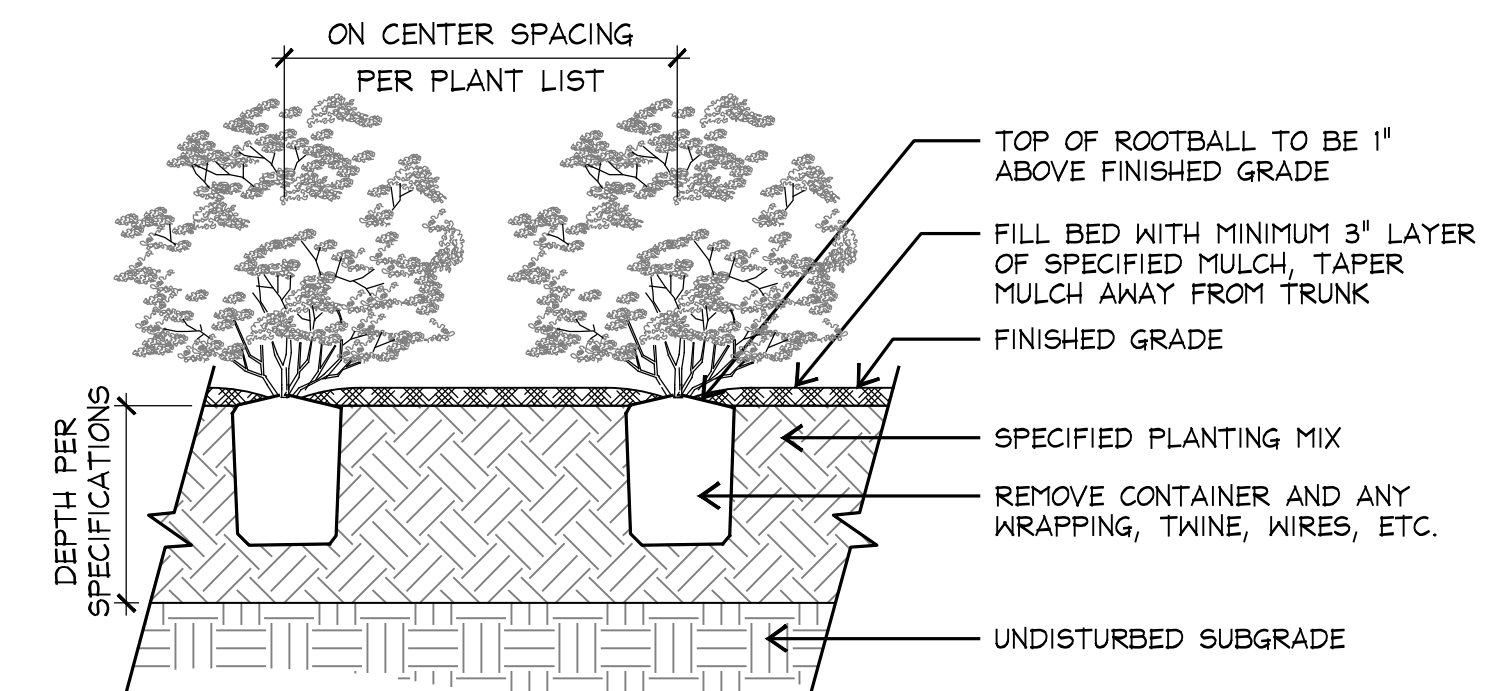


4 PLANT SPACING DIAGRAM
PLAN NOT TO SCALE

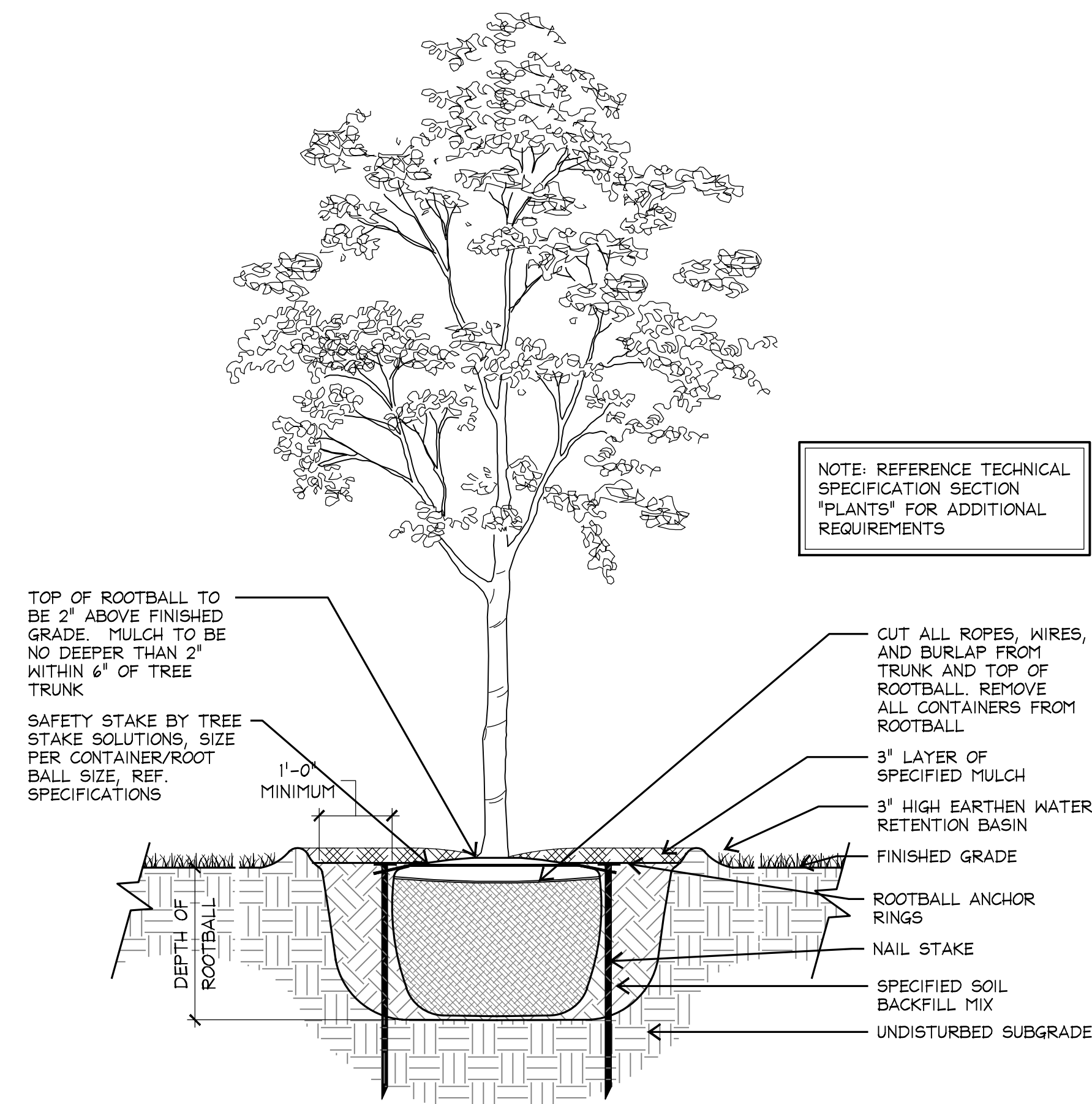


NOTE: THIS DETAIL IS DRAWN TO SHOW THE INTENDED PLANTING LAYOUT OF ADJACENT SHRUB BEDS ALONG CURVES. CONTRACTOR TO PLANT ALL PERIMETER OF BED AREAS AS SHOWN AND THEN PLANT THE REMAINDER OF THE BED TRIANGULARLY AT THE SPECIFIED SPACING.

3 CURVED BED LAYOUT
PLAN NOT TO SCALE



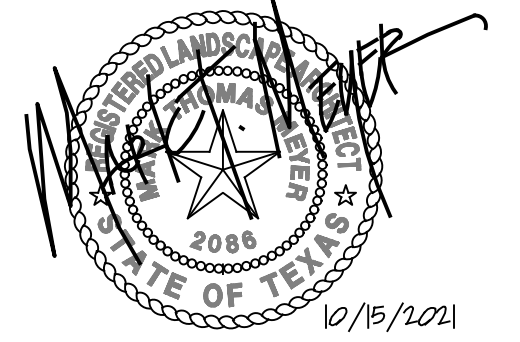
2 SHRUB BED PLANTING
SECTIONS NOT TO SCALE



1 TREE PLANTING - STANDARD TRUNK
SECTION NOT TO SCALE



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sheet title
**planting
details**

sheet
LP 2.01

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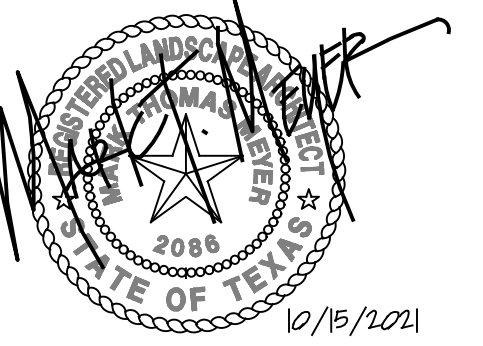


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sheet title
**planting
schedule**

sheet
LP 2.02

TREE MITIGATION:
TOTAL REPLACEMENT TREES = 174 @ 4" CAL = 696"

IRRIGATION NOTES:
1. IRRIGATION WILL MEET THE REQUIREMENTS
OF THE UNIFIED DEVELOPMENT CODE.

| PLANT LIST | | | | | | |
|---------------------------------------|---------|-----|----------------------|------------------------------|-----------------|---------------------------------|
| SHADE TREES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 76 | | BO | BUR OAK | QUERCUS MACROCARPA | 4" CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 19 | | JV | EASTERN RED CEDAR | JUNIPERUS VIRGINIANA | ---- | ---- |
| 25 | | PC | CHINESE PISTACHE | PISTACHIA CHINENSIS | 4" CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 21 | | TD | BALD CYPRESS | TAXODIUM DISTICHUM | 4" CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 44 | | UC | CEDAR ELM | ULMUS CRASSIFOLIA | 4" CAL. | SINGLE TRUNK. UPRIGHT. UNIFORM. |
| 6 | | UP | LACEBARK ELM | ULMUS PARVIFOLIA | 4" CAL. | None |
| SHRUBS, ORNAMENTAL GRASSES, AND VINES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| | | MSA | ADAGIO MISCANTHUS | MISCANTHUS SINENSIS 'ADAGIO' | 5 GAL @40" OC | None |
| PERENNIALS, GROUNDCOVERS, AND ANNUALS | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 25 | | LNG | NEW GOLD LANTANA | LANTANA X 'NEW GOLD' | 5 GAL. 24" O.C. | DENSE. UNIFORM. |
| 40 | | SG | LIPSTICK AUTUMN SAGE | SALVIA GREGGII 'LIPSTICK' | 5 GAL. 24" O.C. | DENSE. UNIFORM. |
| TURF GRASS AND SEED MIXES | | | | | | |
| QTY | GRAPHIC | KEY | COMMON NAME | SCIENTIFIC NAME | SIZE | REMARKS |
| 82406 | | LNK | COMMON BERMUDA | CYNODON DACTYLON | HYDROSEED | HYDROSEED |
| 22494 | | SOD | COMMON BERMUDA | CYNODON DACTYLON | SOD | SOD |

1 Planting Schedule

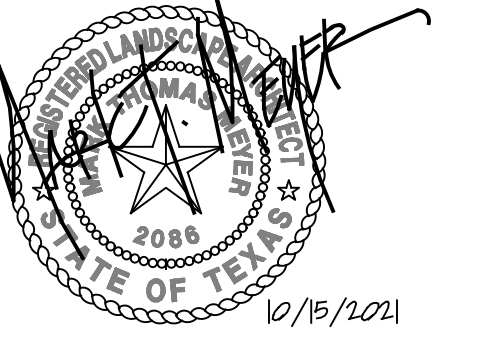
SCALE: AS SHOWN

IRRIGATION NOTES:
 1. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

IMPERVIOUS AREA VS. PERVIOUS AREA:
 H.O.A. LOT 1 BLOCK 12: TOTAL AREA 133,816sf
 IMPERVIOUS AREA: 7,830sf
 PERVIOUS AREA: 125,986sf



TBG
 landscape architects, planners & designers
 2001 bryan street
 suite 1450
 dallas, tx 75201
 (214) 744-0757
 tbgpartners.com



project
**Somerset
 Phase 2**

ISSUE FOR PERMIT

Arcadia Realty Corp
 Rockwall, TX

project number
D21053

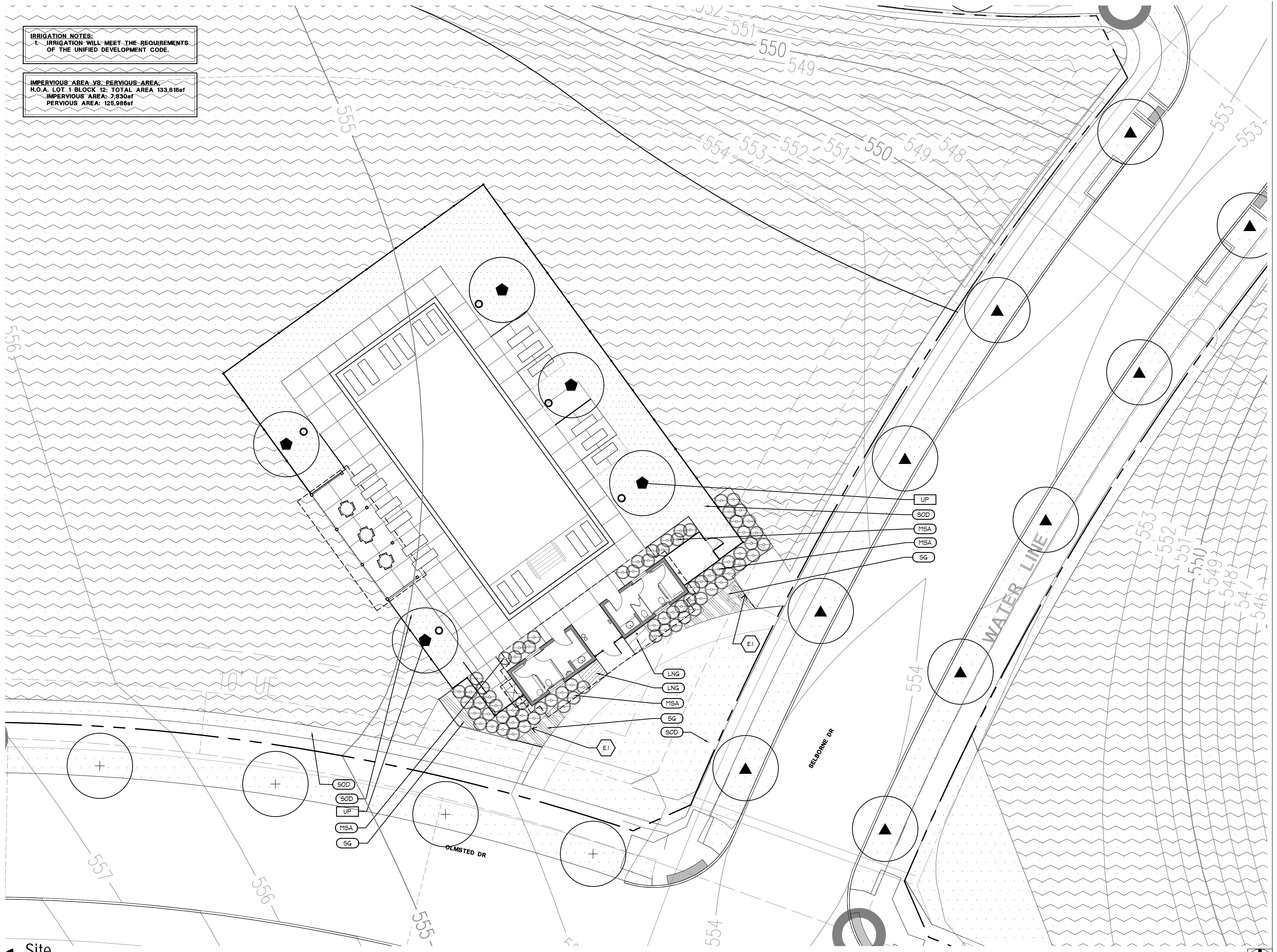
issue date
 10/15/2021

designed: JD BD
 drawn: BD AC
 reviewed: JD, MM

RE-SUBMITTAL 11 / 02 / 2021

sheet title
planting plan

sheet
LP 3.01



1 Site
 Plan



P:\21053 - somerset ph ii\03 development\08 permit\04 CAD\02 sheets\04-LP\021053-LP3-01.dwg



November 19, 2021

TO: Greg Helsel
Spiars Engineering, Inc.
765 Custer Road
Plano, Texas 75075

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2021-029; *Site Plan for Somerset Park Phase 2 Subdivision*

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on November 9, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 9, 2021, The Planning & Zoning Commission approved a motion to approve the site plan by a vote of 5-0, with Commissioner Moeller and Thomas absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue horizontal line.

Henry Lee
Planner