



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2021-013 P&Z DATE 03/11/21 CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____
_____
_____
_____
_____
ZONING MAP UPDATED _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 408 S GOLIAD ST.

SUBDIVISION ROCK VILLA

LOT

BLOCK

GENERAL LOCATION CORNER OF S GOLIAD ST & LAKE MEXICO DR.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE ROTARY CLUB

PROPOSED ZONING DT - NO CHANGE

PROPOSED USE ROTARY CLUB - NO CHANGE

ACREAGE .69

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Rotary Foundation

APPLICANT Z Constructors Nationwide, LLC

CONTACT PERSON Ted Hoisington

CONTACT PERSON Chris Maynor

ADDRESS 408 S. Goliad St

ADDRESS 201 W. Ken Fman St.

CITY, STATE & ZIP Rockwall, TX

CITY, STATE & ZIP Richardson, TX 75081

PHONE 214-715-7790

PHONE 972-529-7930

E-MAIL tedhoisington@hotmail.com

E-MAIL cmaynor@zconstructors.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS MAYNOR [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

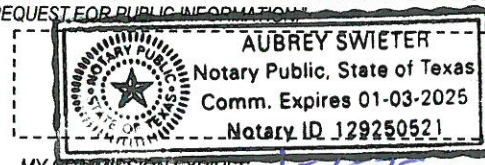
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 16.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 2021.

OWNER'S SIGNATURE

Chris Maynor  
A. Swieter

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 1-3-25



# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.A, of Art. 11
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference Table 3 of Article VI.	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	§05.03 C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	\$06.02.F, of Art 05
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### 2.4 SITE PLAN: SCREENING

Requirements	✓ = OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing.	\$08.02.F, of Art 08
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	\$01.05.C, of Art 05
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	\$01.05.C, of Art 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall -- and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	\$01.05.D, of Art 05
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	\$01.05.B, of Art 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	\$01.05.A, of Art 05
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	\$01.06, of Art 05
Residential Adjacency Standards	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

### 3.1 LANDSCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	\$01.01.B, of Art 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	\$05.03.B, of Art 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	\$05.03.B, of Art 08
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	\$05.01, of Art 08

Acceptable Landscape Materials:				Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix C
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix C
Protected Trees (That Will Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.	§07.01, of Art. 09
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.	§05.03.E, of Art. 08
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	§01.08, of Art. 05
Landscape Buffer - Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	§05.01, of Art. 08
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	§05.03.E, of Art. 08
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	§05.04, of Art. 08
Hydro mulch (or non-sod option)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.	Sec. 4.2, Coverage, Engr Standards of Design and Construction
Rights-of-Way & Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).	§05.03.G, of Art. 08

## 4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

### 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
<b>Adjacent Property with Common Lot Lines:</b>				
✓ Residential Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

### 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

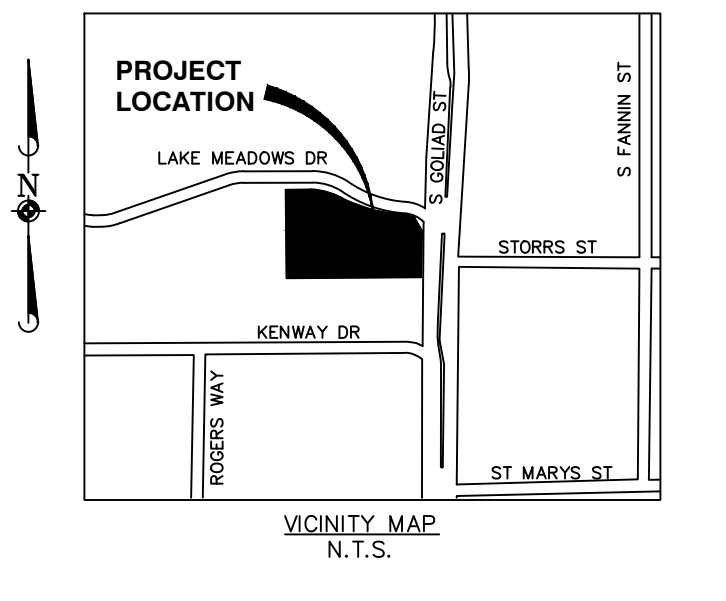
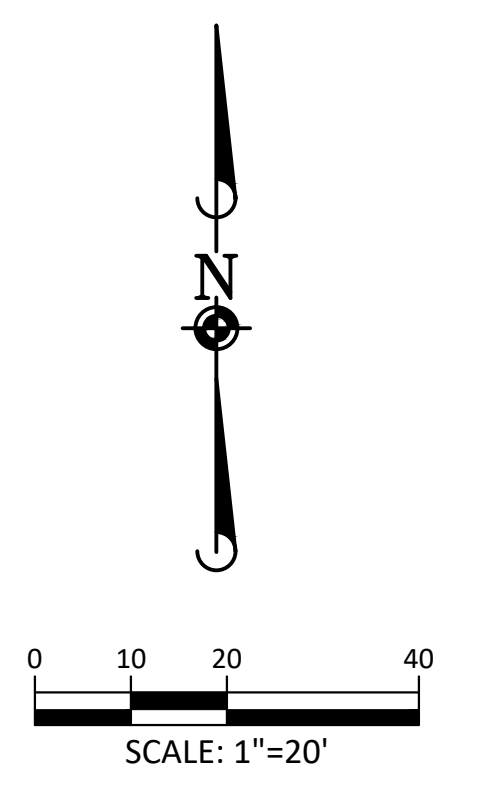
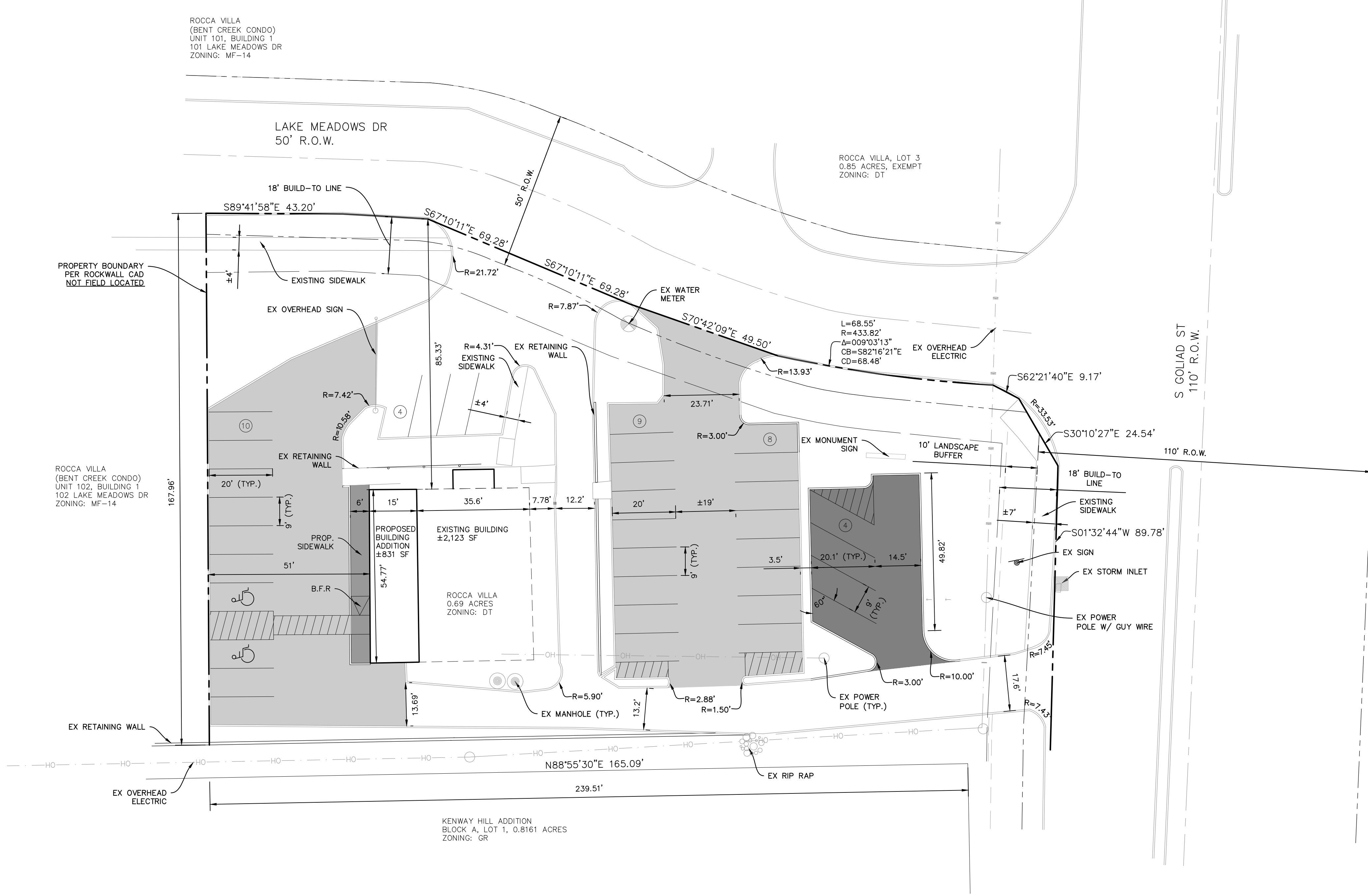
Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof, or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§04.01.C.2, of Art. 05

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.</b>				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§05.01.C.2, of Art. 05



April 16, 2021 - 12:17 Des Name: C:\Promotional Projects\2-Construction\Rockwall\Rockwall, TX\Site Plans\data Updated By: AVH/retrol



LEGEND	
●	DOUBLE CLEANOUT
○	SANITARY MANHOLE
□	JUNCTION BOX
▭	CURB INLET
⊠	GRATE INLET
⊕	FDC
▲	FIRE HYDRANT
⬶	BARRIER FREE RAMP
—	FIRE LANE

SITE DATA TABLE	
EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	33 STANDARD SPACES 2 ACCESSIBLE SPACES
NOTE: PROPERTY IS CURRENTLY PLATTED	

PAVING LEGEND	
	EXISTING ASPHALT TO BE MILLED AND OVERLAID
	LIGHT DUTY PAVING 5" 3,500 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	SIDEWALK 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
  - ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
  - REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
  - REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
  - FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

**OWNER**  
DR. STAN LOWRANCE  
ROCKWALL ROTARY FOUNDATION  
408 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**DEVELOPER**  
DR. STAN LOWRANCE  
ROCKWALL ROTARY FOUNDATION  
408 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**ENGINEER**  
MANHARD CONSULTING  
12225 GREENVILLE AVE STE 1000  
DALLAS, TEXAS 75243  
972.972.4250 PH  
JESSE CONRAD, P.E.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

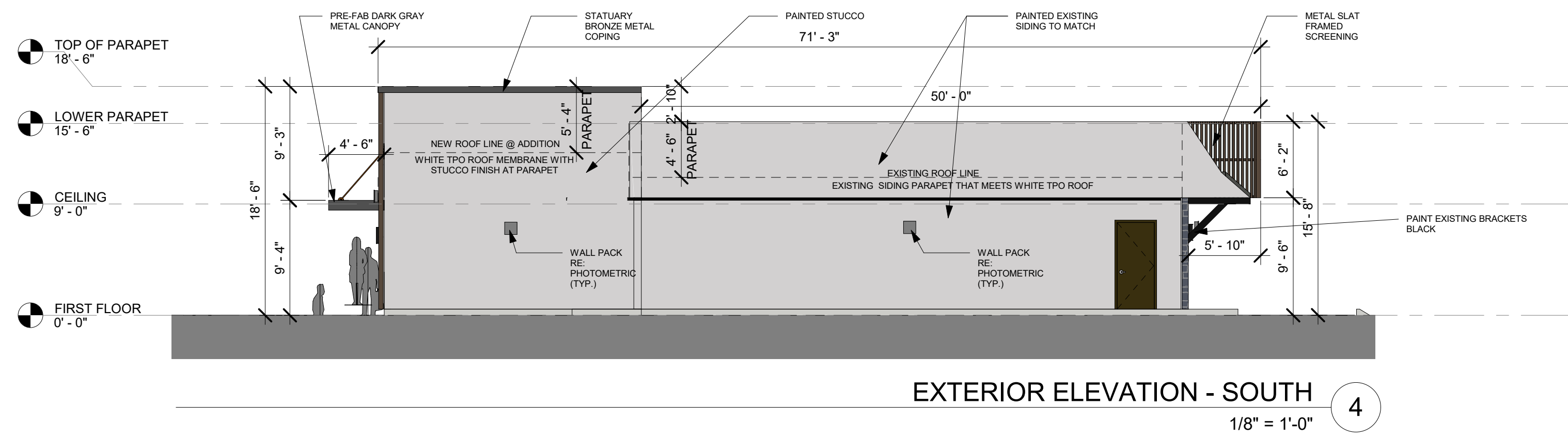
\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER:

<b>SITE PLAN</b>			
408 S GOLIAD STREET - 0.69 ACRES			
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS			
ROCCA VILLA			
REVISION LOG	DATE	DESIGN:	AR
	04/16/2021	DRAWN:	AV
		CHECKED:	JC

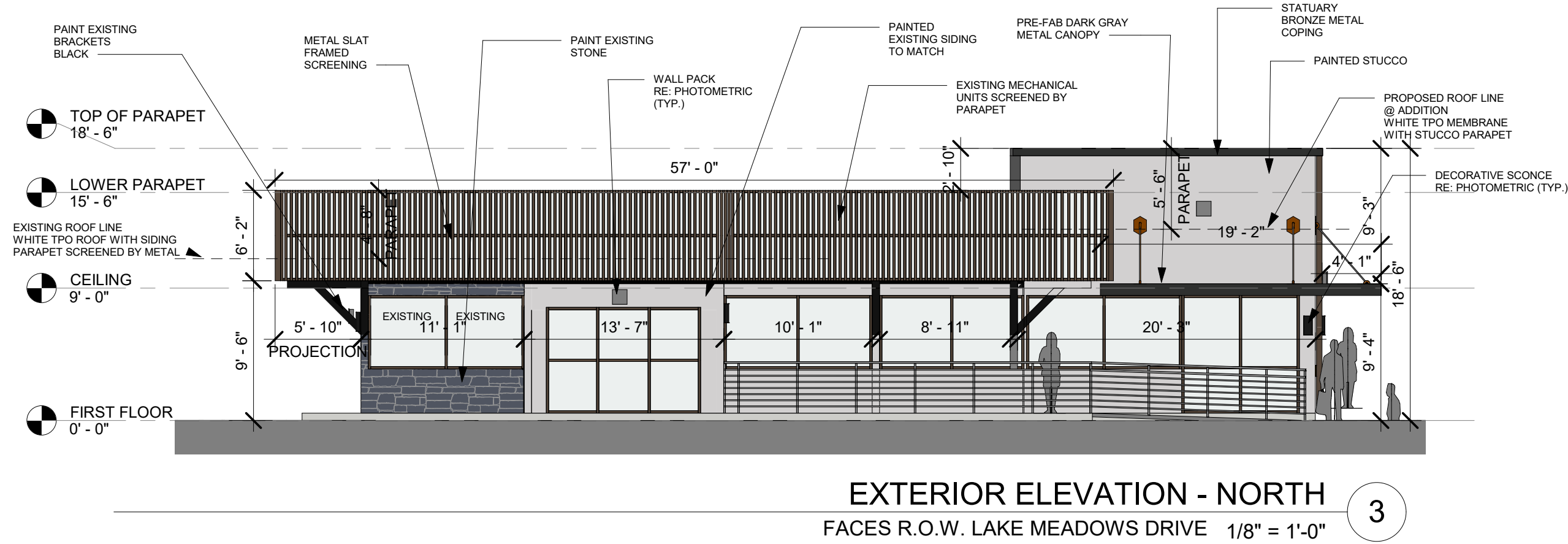
DATE	#	BY	REVISIONS	<h1 style="margin: 0;">Manhard CONSULTING</h1> <p style="font-size: small; margin: 0;">12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph: 972.972.4250 manhard.com Civil Engineers   Surveyors   Water Resource Engineers   Water &amp; Waste Water Engineers Construction Managers   Environmental Scientists   Landscape Architects   Planners Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732</p>
<p><b>ROCKWALL ROTARY CLUB</b></p> <p><b>408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</b></p> <p><b>SITE PLAN</b></p>				
FOR INTERIM REVIEW ONLY THIS DOCUMENT IS NOT ISSUED FOR CONSTRUCTION OR PERMITTING PURPOSES JESSE CONRAD, P.E. TEXAS P.E. No. 130104 ISSUED THIS DATE: 04/16/2021				
PROJ. MGR.:	JC	PROJ. ASSOC.:	AR	
DRAWN BY:	ANV	DATE:	04/16/2021	
SHEET		1		

PENDING



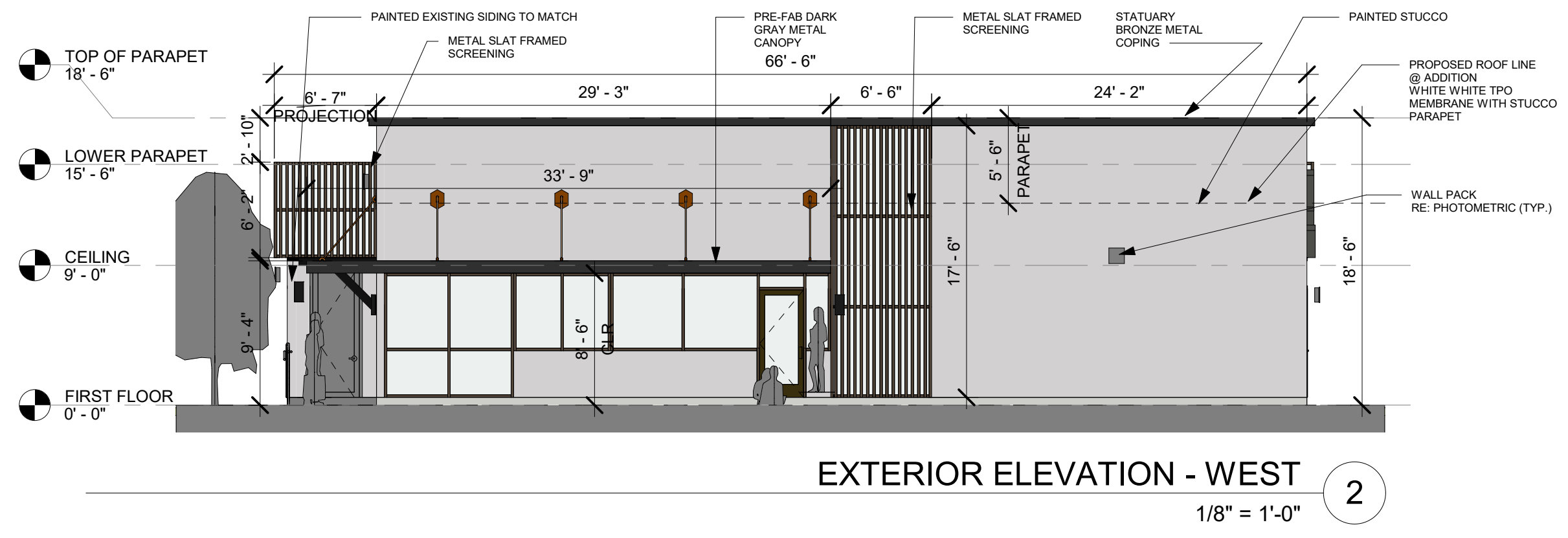
EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0" 4

SOUTH ELEVATION- SECONDARY FACADE		
NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%



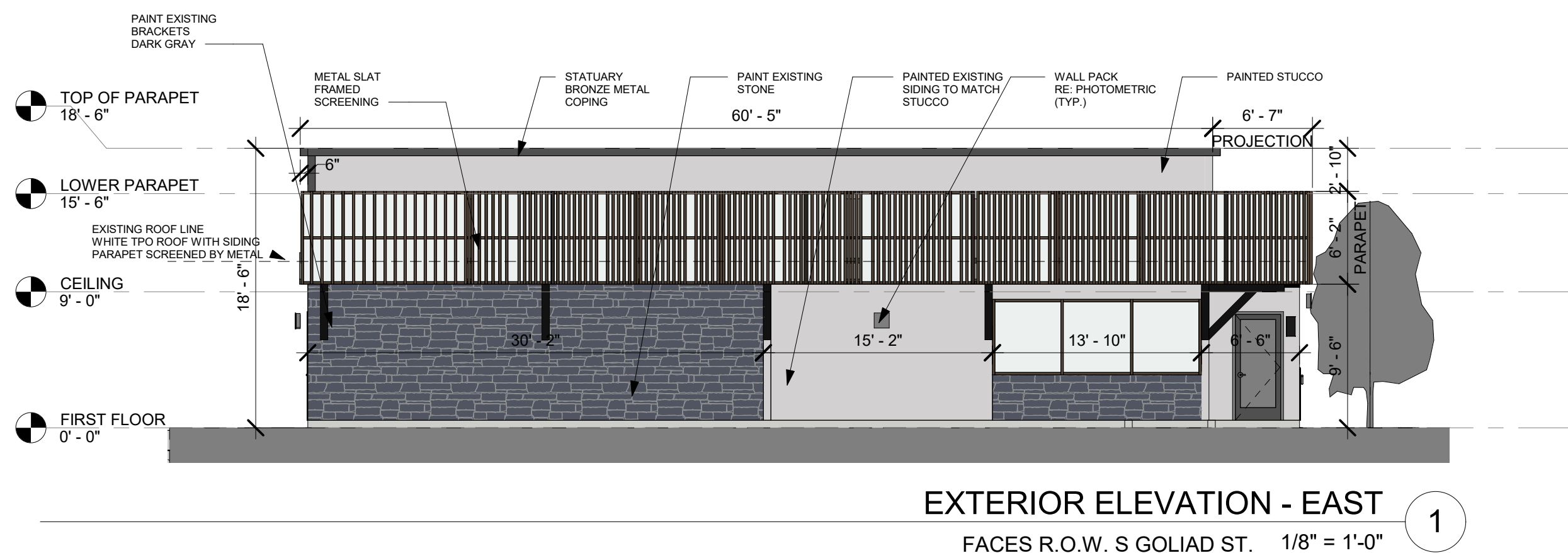
EXTERIOR ELEVATION - NORTH  
FACES R.O.W. LAKE MEADOWS DRIVE 1/8" = 1'-0" 3

NORTH ELEVATION- PRIMARY FACADE		
NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING- PAINTED	140.69 SF	16.9%
EXISTING STONE- PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%



EXTERIOR ELEVATION - WEST  
1/8" = 1'-0" 2

WEST ELEVATION- SECONDARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%



EXTERIOR ELEVATION - EAST  
FACES R.O.W. S GOLIAD ST. 1/8" = 1'-0" 1

EAST ELEVATION-PRIMARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING- PAINTED	185.24 SF	15.3%
EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

MATERIAL INDEX	
	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLAT SCREEN COLOR: DARK BRONZE FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENNG DOVE FINISH: MATTE

REVISIONS:

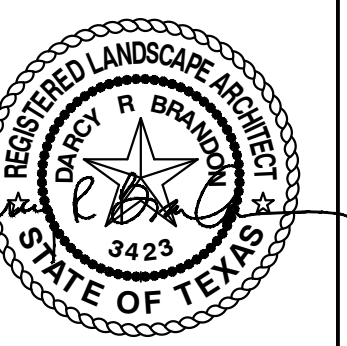
TBAE  
ARCHITECTURAL CONSULTING  
REGISTERED ARCHITECT

METHOD ARCHITECTURE, PLLC  
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**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	9	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	5	CANOPY TREE
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.					
<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	39	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFGORD HOLLY	5 gallon	87	
ILVO	ILEX VOMITORIA	YAUAPON HOLLY	15 gallon	2	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	55	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	19	
<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep				

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



04/16/2021

Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

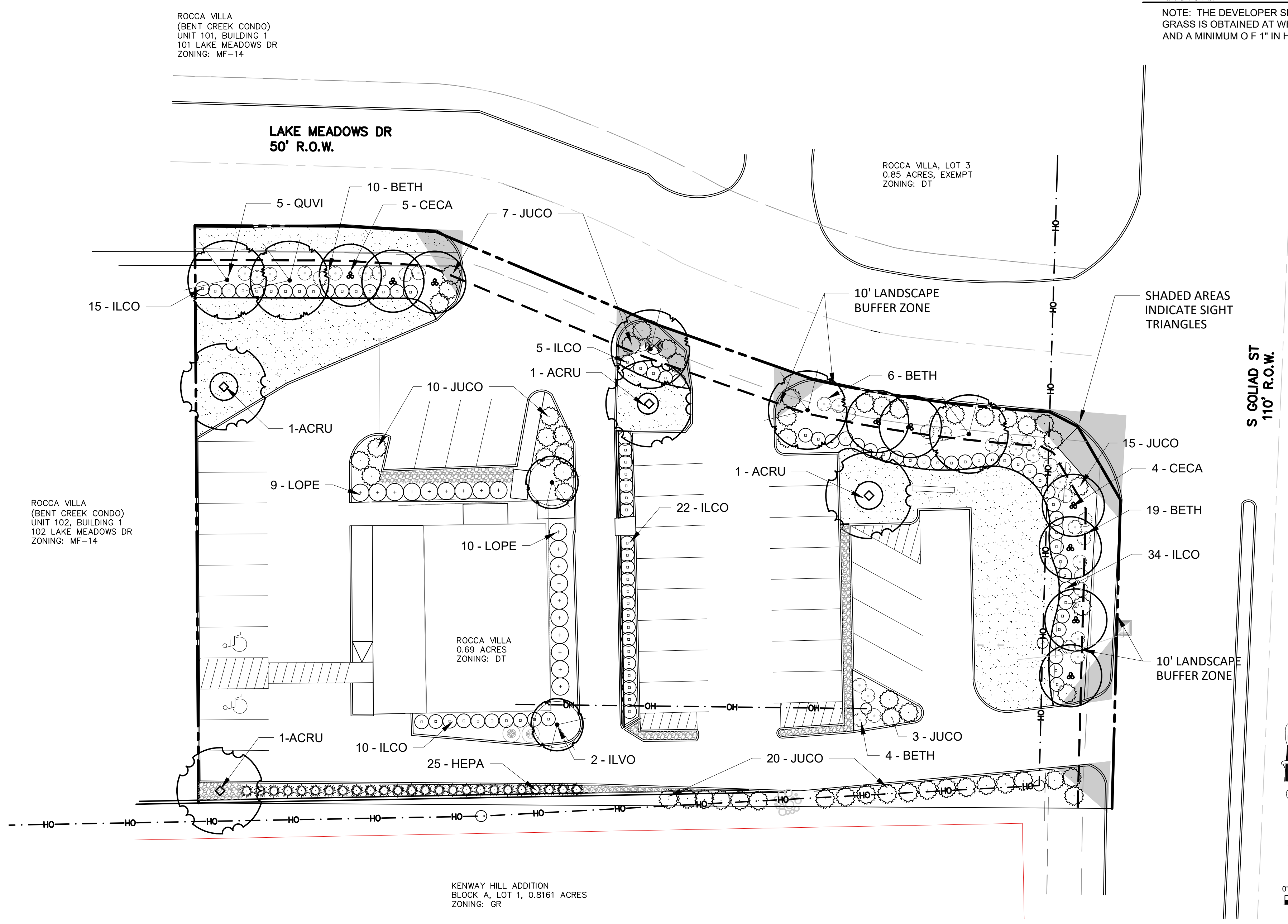
Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

**Landscape Planting Plan**

Date	Comment

Project Number: \_\_\_\_\_  
Date: 04/16/2021  
Drawn By: DB  
Checked By: DB/RM

LP-1

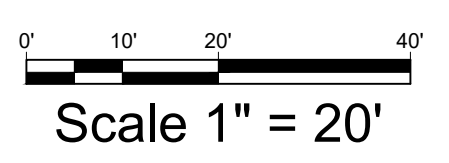


**LANDSCAPE STANDARDS**

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±102' OF STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 4 REDBUD (ACCENT) PROVIDED (NO CANOPY TREES DUE TO OVERHEAD POWER LINES)
LAKE MEADOWS DR. ±268' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 5 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS NOT APPLICABLE
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b>	
TOTAL SITE AREA:	±35,301 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±10,769 SF (30%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 6% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA
PROPOSED PARKING AREA:	±13,465 SF
REQ. PARKING LOT LANDSCAPING:	±673 SF
PROPOSED PARKING LOT LANDSCAPING:	±1,176 SF (8.7%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**GENERAL GRADING AND PLANTING NOTES**

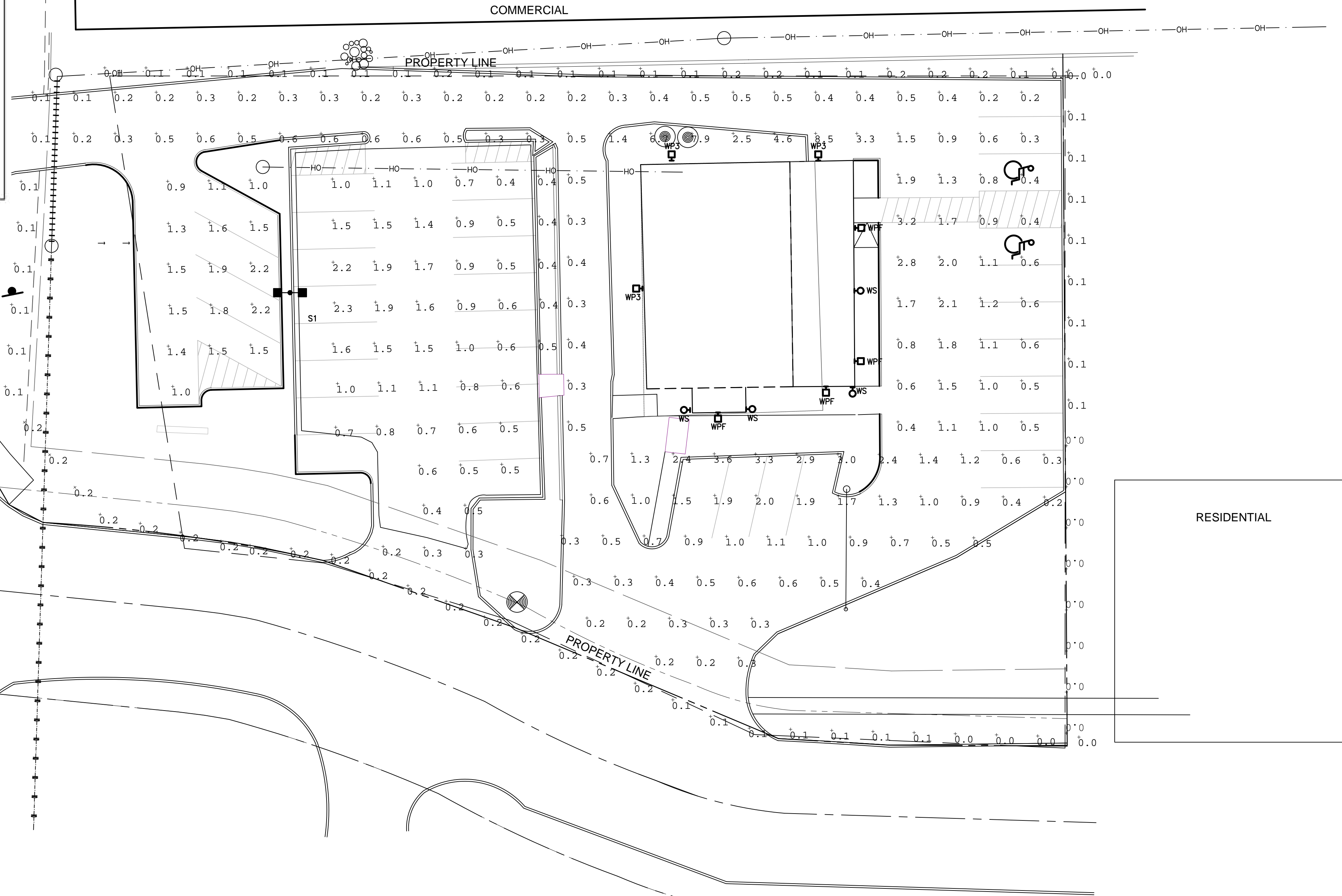
1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
  5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

SITE DATA TABLE

<b>EXISTING ZONING</b>	DT
<b>PROPOSED USE</b>	COMMERCIAL
<b>SITE AREA</b>	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,246 SF
PROPOSED BUILDING	525 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF 16 STANDARD STALLS 2 ACCESSIBLE STALLS
PARKING PROVIDED	25 STANDARD SPACES 2 ACCESSIBLE SPACES
<b>NOTE: PROPERTY IS CURRENTLY PLATTED</b>	

EXTERIOR LIGHTING SCHEDULE

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NO.	LAMPING TYPE		VOLTAGE	MOUNTING	FINISH	NOTES
					W	L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	38W	3327L	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W	5688L	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE=PROVIDE 90 MIN EM INVERTER	1	21W	1047L	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K TFM MVOLT NLTAIR2 HS SSS20-4C-DM28-DBLXD	1	54W	6963L	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43



1

SITE PLAN - ELECTRICAL  
SCALE: 1/16" = 1'-0"







# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 408 S GOLIAD ST.

SUBDIVISION ROCK VILLA

LOT

BLOCK

GENERAL LOCATION CORNER OF S GOLIAD ST & LAKE MEXCONS DR.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE ROTARY CLUB

PROPOSED ZONING DT - NO CHANGE

PROPOSED USE ROTARY CLUB - NO CHANGE

ACREAGE .69 LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Rotary Foundation

APPLICANT Z Constructors Nationwide, LLC

CONTACT PERSON Ted Hoisington

CONTACT PERSON Chris Maynor

ADDRESS 408 S. Goliad St

ADDRESS 201 W. Ken Fman St.

CITY, STATE & ZIP Rockwall, TX

CITY, STATE & ZIP Richardson, TX 75081

PHONE 214-715-7790

PHONE 972-529-7930

E-MAIL tedhoisington@hotmail.com

E-MAIL cmaynor@zconstructors.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS MAYNOR [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

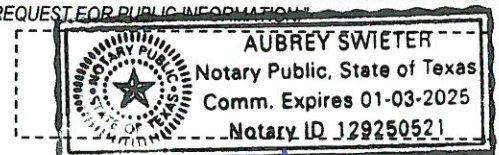
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 16.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF April, 2021.

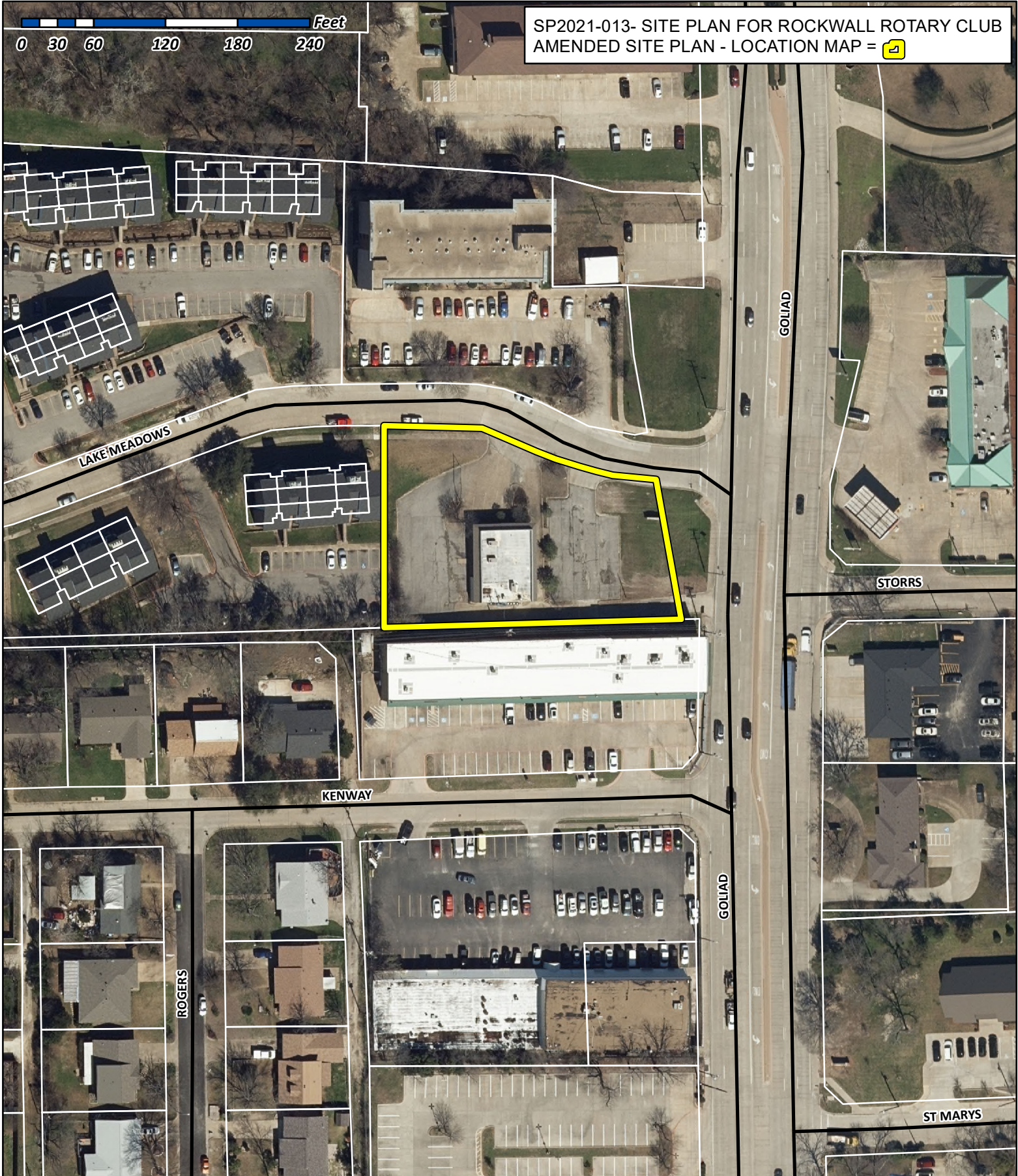
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES 1-3-25



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.A, of Art. 11
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	§03.04.A, of Art. 11
Case Number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	§03.04.A, of Art. 11
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	§03.04.A, of Art. 11
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11



Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art. 11
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants	<input type="checkbox"/>	<input checked="" type="checkbox"/>		§03.04.B, of Art. 11
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§03.04.B, of Art. 11

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	§05.03, of Art. 06
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		§05.04, of Art. 06
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference Table 3 of Article VI.	Table 5, Art. 06
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	§05.03 C, of Art. 06
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	§06.04, of Art. 06
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>	It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art. 06
Type and Depth of Paving Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				

Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	\$06.02.F, of Art 05
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### 2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing.	\$08.02.F, of Art 08
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	\$01.05.C, of Art 05
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	\$01.05.C, of Art 05
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall -- and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	\$01.05.D, of Art 05
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	\$01.05.B, of Art 05
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	\$01.05.A, of Art 05
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	\$01.06, of Art 05
Residential Adjacency Standards	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

### 3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	\$01.01.B, of Art 05
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	\$05.03.B, of Art 08
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	\$05.03.B, of Art 08
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	\$05.01, of Art 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.
Protected Trees (That Will Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag -- indicating the trees relationship to the treescape plan -- and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading spaces.
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.
Landscape Buffer - Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.
Hydro mulch (or non-sod option)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.
Rights-of-Way & Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).

## 4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	\$03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>		\$03.01.C, of Art. 09

Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Treescape Table	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

### 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
<b>Adjacent Property with Common Lot Lines:</b>				
✓ Residential Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	§03.03.C, of Art. 07
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

### 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

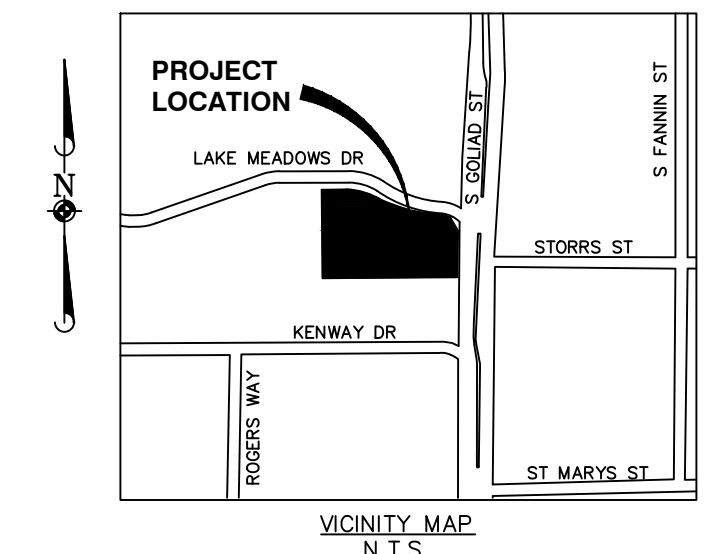
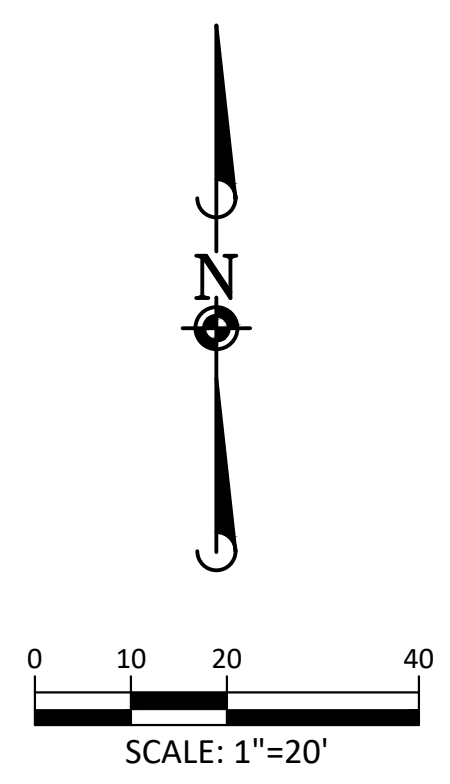
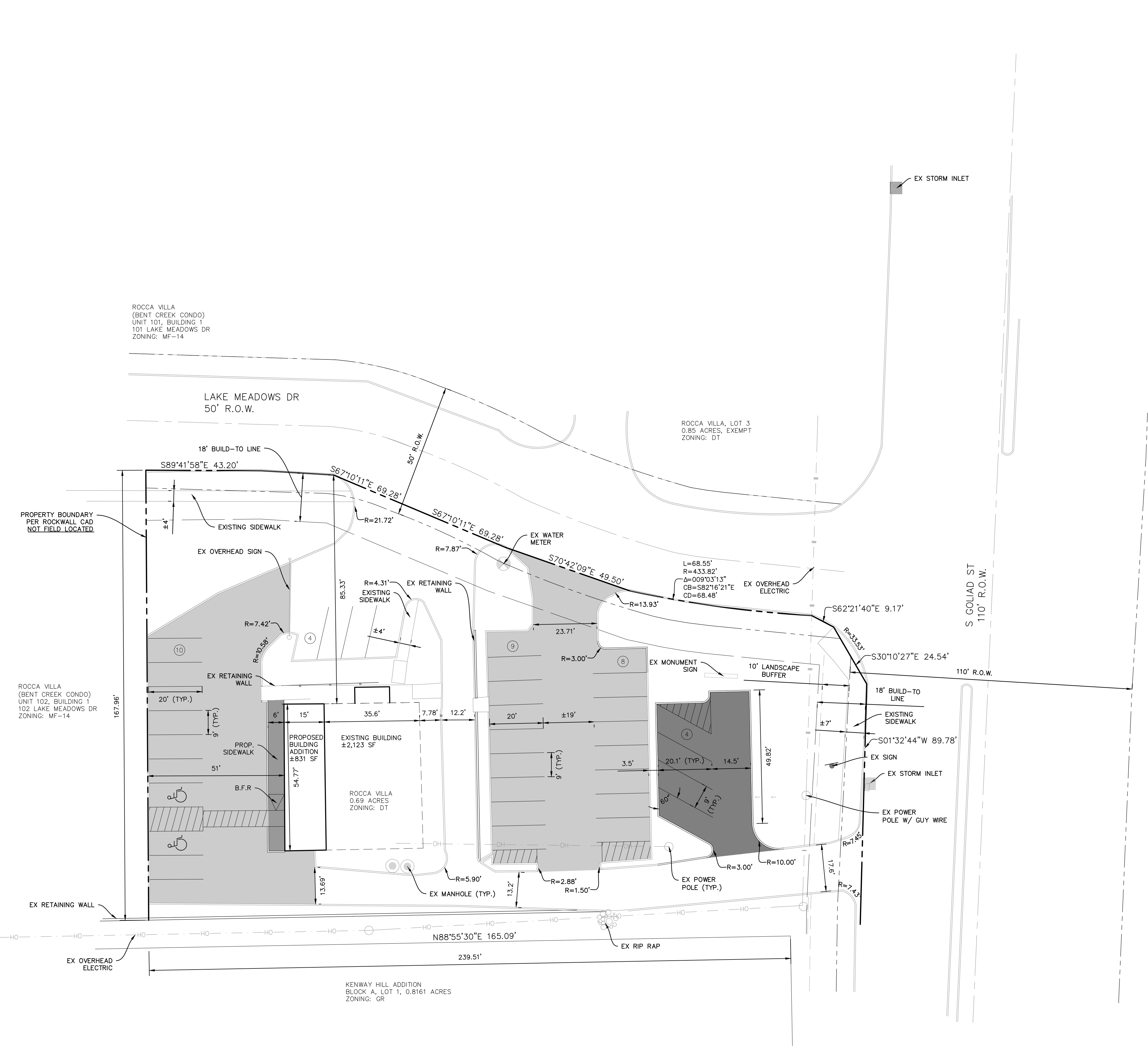
Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North South East West (Circle all that apply)	-
Minimum 90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof, or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Secondary Entry/Arch. Element Length = 15% x L 4. Secondary Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§04.01.C.2, of Art. 05

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.</b>				
Minimum 90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	§05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 4 x H 3. Wall Projection = 25% x H 4. Entry/Arch. Element Length = 33% x L 5. Projection Height = 25% x H 6. Entry/Arch. Element Width = 2 x (25% x H)	§05.01.C.1, of Art. 05
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Wall Height [H] = H 2. Wall Length [L] = 3 x H 3. Entry/Arch. Element Length = 15% x L 4. Entry/Arch. Element Width = 15% x H 5. Projection Height = 15% x H	§05.01.C.2, of Art. 05

April 16, 2021 - 12:17 Des Name: C:\Promotional Projects\2-Construction\Rockwall\Rockwall\_Tx\_Site Plan.dwg Updated By: AVilner



**LEGEND**

⊕	DOUBLE CLEANOUT
⊙	SANITARY MANHOLE
□	JUNCTION BOX
▭	CURB INLET
⊞	GRATE INLET
⚡	FDC
⚡	FIRE HYDRANT
⚡	BARRIER FREE RAMP
—	FIRE LANE

**SITE DATA TABLE**

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	33 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

**PAVING LEGEND**

[Pattern]	EXISTING ASPHALT TO BE MILLED AND OVERLAID
[Pattern]	LIGHT DUTY PAVING 5" 3,500 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
[Pattern]	SIDEWALK 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
  - ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
  - REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
  - REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
  - FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

**OWNER**  
DR. STAN LOWRANCE  
ROCKWALL ROTARY FOUNDATION  
408 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**DEVELOPER**  
DR. STAN LOWRANCE  
ROCKWALL ROTARY FOUNDATION  
408 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**ENGINEER**  
MANHARD CONSULTING  
12225 GREENVILLE AVE STE 1000  
DALLAS, TEXAS 75243  
972.972.4250 PH  
JESSE CONRAD, P.E.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER:

**SITE PLAN**

**408. S GOLIAD STREET - 0.69 ACRES**

**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**ROCCA VILLA**

<b>REVISION LOG</b>	<b>DATE:</b> 04/16/2021	<b>DESIGN:</b> AR
		<b>DRAWN:</b> AV
		<b>CHECKED:</b> JC

**REVISIONS**

NO.	DATE	DESCRIPTION

**Manhard CONSULTING**  
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com  
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners  
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

**ROCKWALL ROTARY CLUB**

**408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**SITE PLAN**

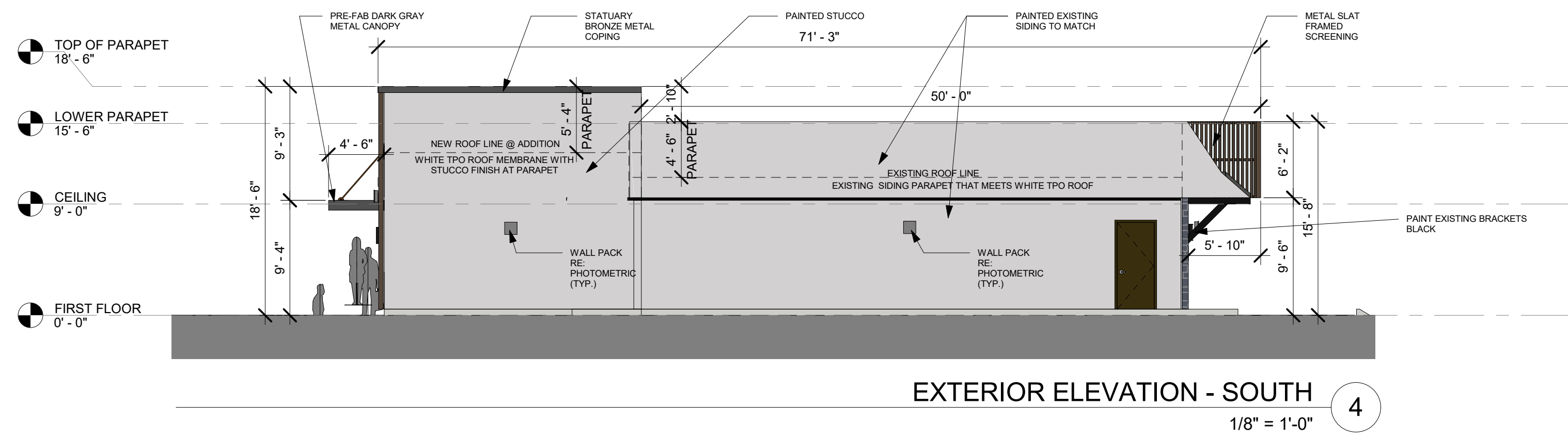
FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

JESSE CONRAD, P.E.  
TEXAS P.E. No. 130104  
ISSUED THIS DATE:  
04/16/2021

PROJ. MGR.: JC  
PROJ. ASSOC.: AR  
DRAWN BY: ANV  
DATE: 04/16/2021

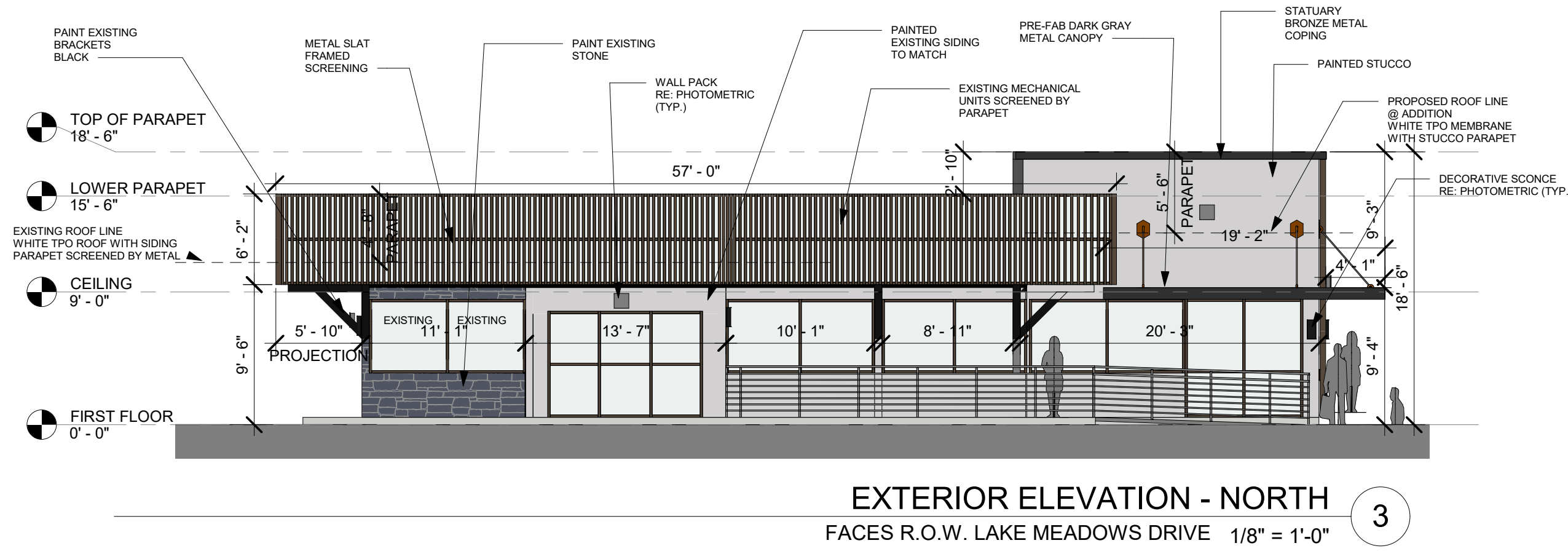
SHEET  
**1**

PENDING



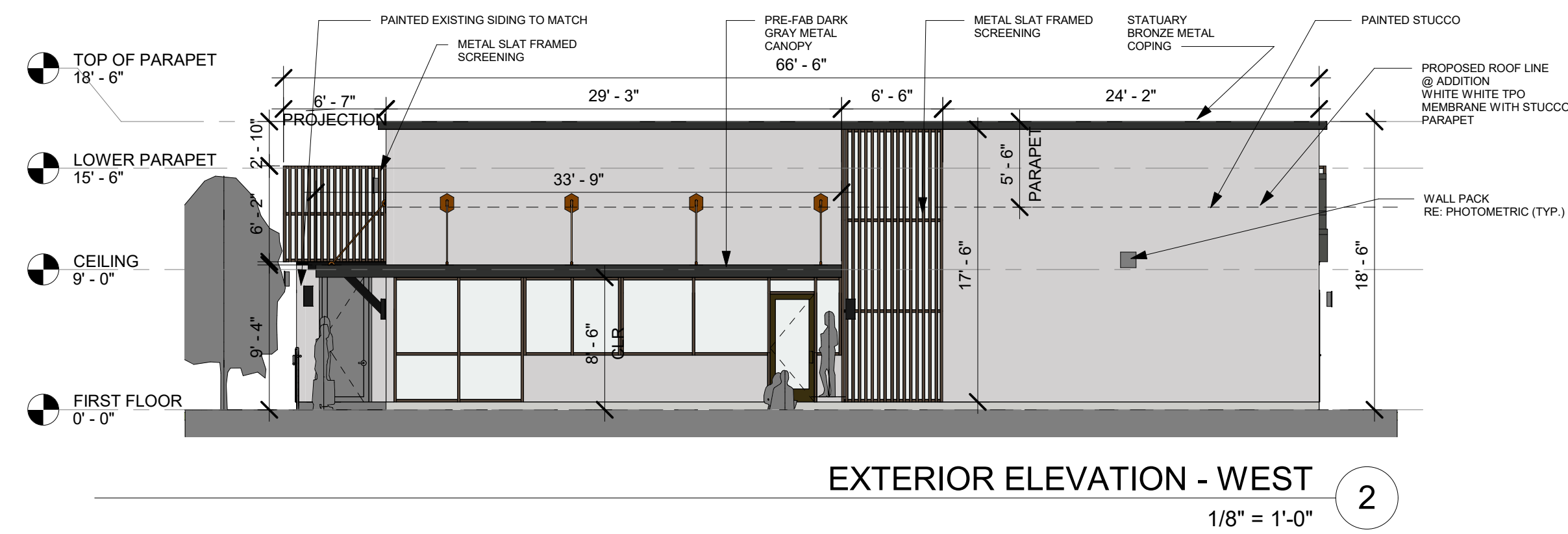
EXTERIOR ELEVATION - SOUTH 4  
1/8" = 1'-0"

SOUTH ELEVATION- SECONDARY FACADE		
NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%



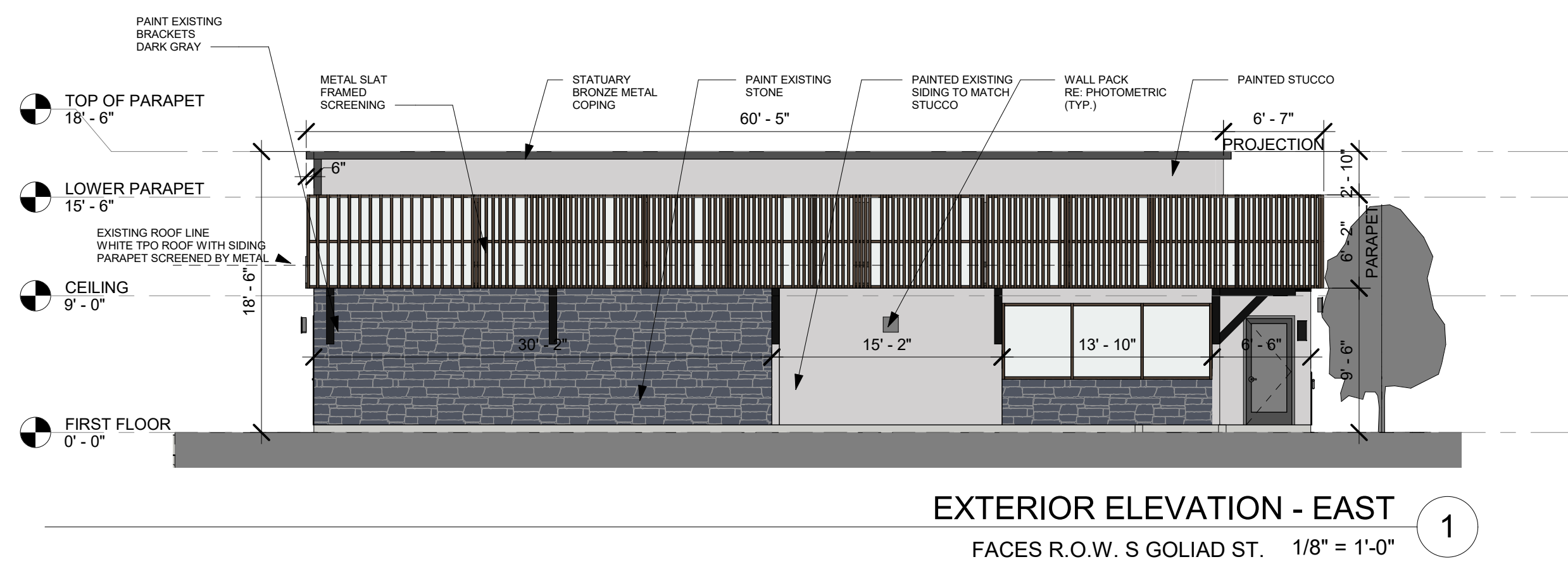
EXTERIOR ELEVATION - NORTH 3  
FACES R.O.W. LAKE MEADOWS DRIVE 1/8" = 1'-0"

NORTH ELEVATION- PRIMARY FACADE		
NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING- PAINTED	140.69 SF	16.9%
EXISTING STONE- PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%



EXTERIOR ELEVATION - WEST 2  
1/8" = 1'-0"

WEST ELEVATION- SECONDARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%



EXTERIOR ELEVATION - EAST 1  
FACES R.O.W. S GOLIAD ST. 1/8" = 1'-0"

EAST ELEVATION-PRIMARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING- PAINTED	185.24 SF	15.3%
EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

### MATERIAL INDEX

	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLAT SCREEN COLOR: DARK BRONZE FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE

**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	9	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	5	CANOPY TREE
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.					
<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	39	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFGORD HOLLY	5 gallon	87	
ILVO	ILEX VOMITORIA	YAUAPON HOLLY	15 gallon	2	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	55	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	19	
<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep				

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

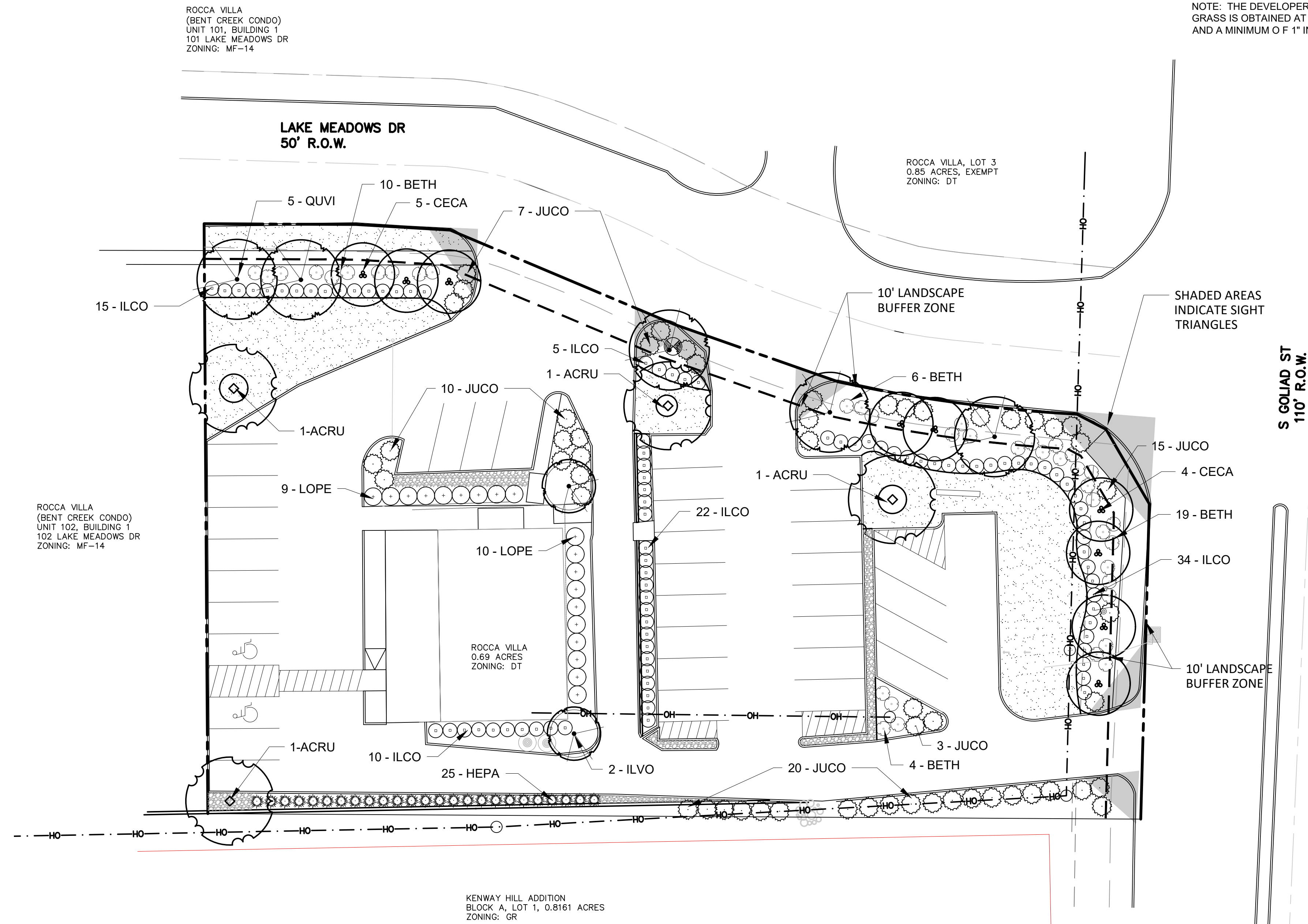
**LANDSCAPE STANDARDS**

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±102' OF STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 4 REDBUD (ACCENT) PROVIDED (NO CANOPY TREES DUE TO OVERHEAD POWER LINES)
LAKE MEADOWS DR. ±268' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 5 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS NOT APPLICABLE
PROVIDED SCREENING	
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b>	
TOTAL SITE AREA:	±35,301 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±10,769 SF (30%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 6% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA
PROPOSED PARKING AREA:	±13,465 SF
REQ. PARKING LOT LANDSCAPING:	±673 SF
PROPOSED PARKING LOT LANDSCAPING:	±1,176 SF (8.7%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

Scale 1" = 20'



**ROOT BARRIERS**

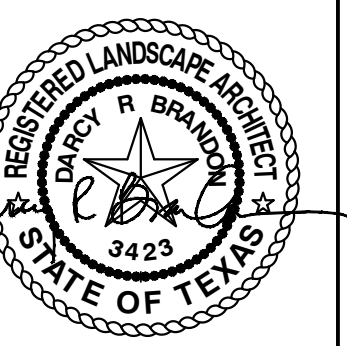
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
  5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



04/16/2021

Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

**Landscape Planting Plan**

Date	Comment

Project Number  
Date 04/16/2021  
Drawn By DB  
Checked By DB/RM

LP-1

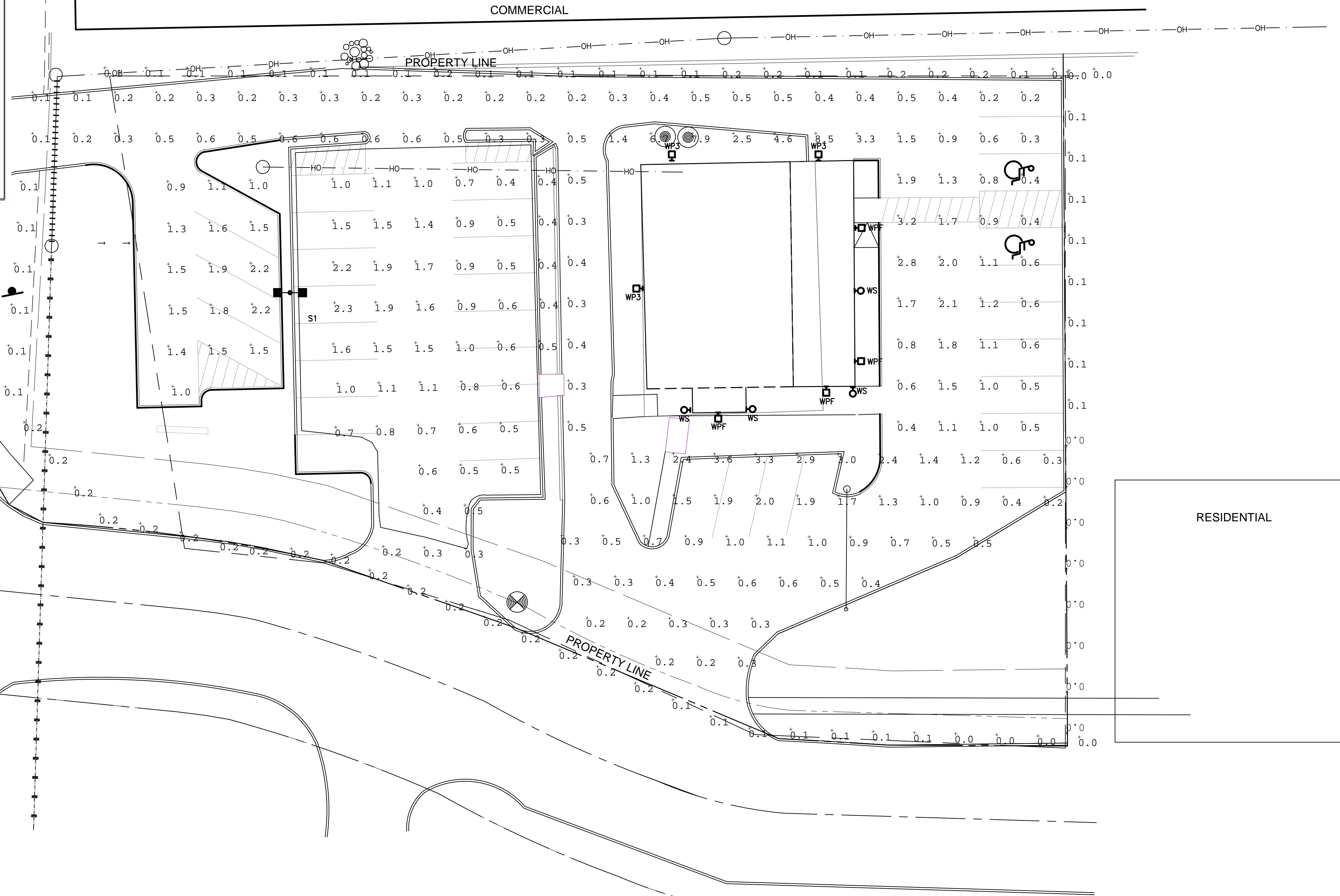


SITE DATA TABLE

<b>EXISTING ZONING</b>	DT
<b>PROPOSED USE</b>	COMMERCIAL
<b>SITE AREA</b>	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,246 SF
PROPOSED BUILDING	525 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF 16 STANDARD STALLS 2 ACCESSIBLE STALLS
PARKING PROVIDED	25 STANDARD SPACES 2 ACCESSIBLE SPACES
<b>NOTE: PROPERTY IS CURRENTLY PLATTED</b>	

EXTERIOR LIGHTING SCHEDULE

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NO.	LAMPING TYPE		VOLTAGE	MOUNTING	FINISH	NOTES
					W	L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	38W 4000K	3327L 70CFR1	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W 4000K	5688L 70CFR1	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE=PROVIDE 90 MIN EM INVERTER	1	21W 4000K	1047L 85CFR1	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K TFM MVOLT NLTAIR2 HS SSS20-4C-DM28-DBLXD	1	54W 4000K	6963L 85CFR1	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43



1

SITE PLAN - ELECTRICAL  
SCALE: 1/16" = 1'-0"





# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: SP2021-013  
PROJECT NAME:  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City or Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City or Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2021-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Downtown (DT) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. The signature block is required on all sheets of the plans. (Subsection 03.04.A, of Article 11)
2. Verify the acreage and square footage. The proposed site plan, landscape plan, and photometric plan do not depict the correct boundary of the property; these plans will need to be redrawn to reflect the correct boundary. See the Rocca Villa Subdivision Plat. (Subsection 03.04. B, of Article 11)
3. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
4. Indicate the distance between the building and the southern property line. (Subsection 03.04. B, of Article 11)
5. The four additional parking spaces on the east side of the property cannot be added. The proposed added parking does not meet engineering standards and is not located entirely on the property. However, spaces may be able to be added on the western property line, given that they meet all planning and engineering design standards. (Subsection 05.03. C, of Article 06)
6. Indicate the type and location of any proposed or existing fences. The height and type of fence must be included. (Subsection 08.02. F, of Article 08)
7. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Pad mounted must be screening from any public ROW and adjacent properties. Roof mounted must not be visible from the street or adjacent properties; consider crosshatching or outlining the units. (Subsection 01.05. C, of Article 05)
8. Indicate if there is a dumpster, if so meet these requirements: Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

1. Update the landscape plan to represent the property line found within the Rocca Villa Subdivision Plat. (Section 2.1 of this checklist)

2. Canopy trees are a 4" caliper minimum and shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Indicate all existing trees and shrubs. (Subsection 05.03. B, of Art. 08)
4. Indicate if any trees are to be removed. If so, a treescape plan must be submitted. (Subsection 03.01, of Article 09)
5. Include a statement that indicating that the irrigation will meet the requirements within the Unified Development Code. (Subsection 05.04, of Art. 08)
6. All landscaping must be located on the property. Consider moving the landscaping along S. Goliad Street to where the 4 parking spaces are currently proposed. As these parking spaces are not permitted the landscaping can go here. This would still need to meet all of the landscape buffer requirements within the Unified Development Code. (Subsection 05.01, of Article 08)

M.7 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. Currently the data does not all match. (Section 2.1 of this checklist)
2. Adjust your lighting to meet the following: The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Currently the 0.2 FC standard is not meet given the proposed photometric plan (Subsection 03.03. G, of Article 07)
3. Indicate the mounting height of all pole lighting, which shall not exceed 30-feet (03.03. D, of Article 07)
4. Verify and indicate the up lighting; no up lighting shall exceed 15W. (Subsection 03.03. A, of Article 07)

M.8 Building Elevations:

1. No TPO shall be visible from the property or adjacent properties. All parapets must be finished on both sides. (Subsection 04.01, of Art. 05)
2. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. Consider crosshatching on the elevations where any roof mounted units will be located. (Subsection 01.05. C, of Article 05)

I.9 All proposed and existing signage will be covered in the building permit.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 11, 2021.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Can't use TXDOT ROW for paving of parking area.

M - Drive isles to be 24' wide minimum.

M - How are vehicles able to get out of front parking area without backing into traffic?

M - Concrete to be 3,600 (min 6.5 sack mix).

M - No landscaping in TXODT ROW.

M - Check visibility clip for landscaping at corners.

The following items are informational for the engineering design process.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Property Boundary line don't match platted boundaries. This needs to be corrected.

Drainage Items:

- I - Will need detention for all new impervious areas.

Water and Wastewater Items:

- I - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- I - Check with the Fire Marshal regarding needing sprinklers in the building.
- I - If a new service/fire line to the building is required, the main line is across Lake Meadows. Full panel concrete replacement is required.
- M - Show and label existing and proposed water and sewer mains and services, and label sizes

Roadway Paving Items:

- I - Parking to be 20'x9'.
- I - Drive isles to be 24' wide.
- I - No dead-end parking allowed without a turnaround. Must have a 15'x64' turnaround striped as no parking.
- I - All paving to min 3,600 PSI (6.5 sack/CY)
- I - Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- M - No paving/parking allowed on TxDOT ROW.
- M - Must extend the sidewalk along Lake Meadows Drive.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No Landscaping in right-of-way.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Needs Review

04/22/2021: Show fire apparatus roadway coverage to the new addition. The fire apparatus access road shall extend to within 150 feet of all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. T existing public street can serve as the fire apparatus roadway if the distance requirement is met.

Show the location of any existing fire hydrants providing coverage to the new addition. Where a portion of a building hereafter constructed is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	04/22/2021	Approved
No Comments			

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DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

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PARKS

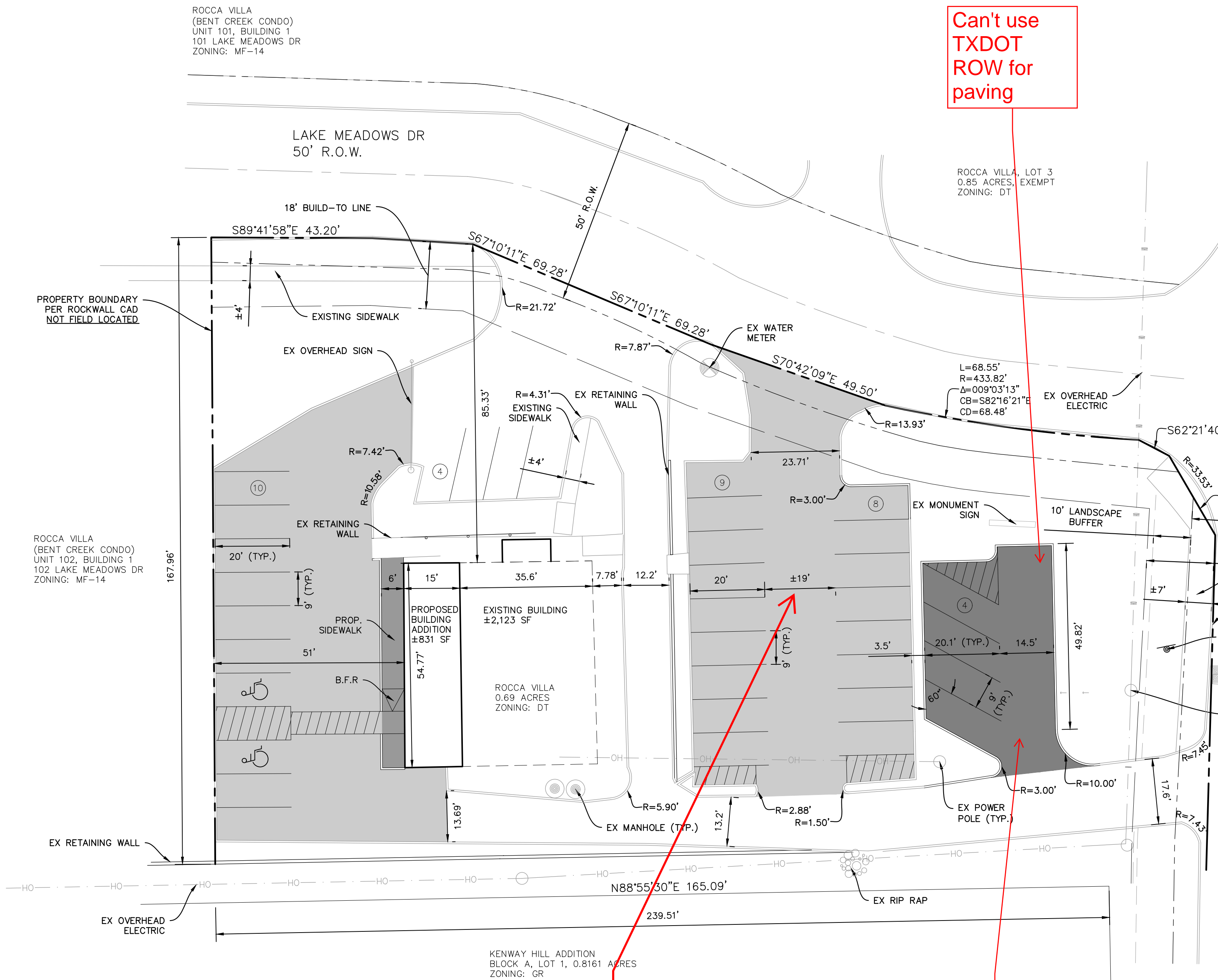
Travis Sales

04/19/2021

Approved

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04/19/2021: Trees not to be within 5' of water or sewer lines



Drive isles to be 24' wide minimum.

How are vehicles able to get out without backing into traffic?

**General Items:**

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Property Boundary line don't match platted boundaries. This needs to be corrected.

**Drainage Items:**

- I - Will need detention for all new impervious areas.

**Water and Wastewater Items:**

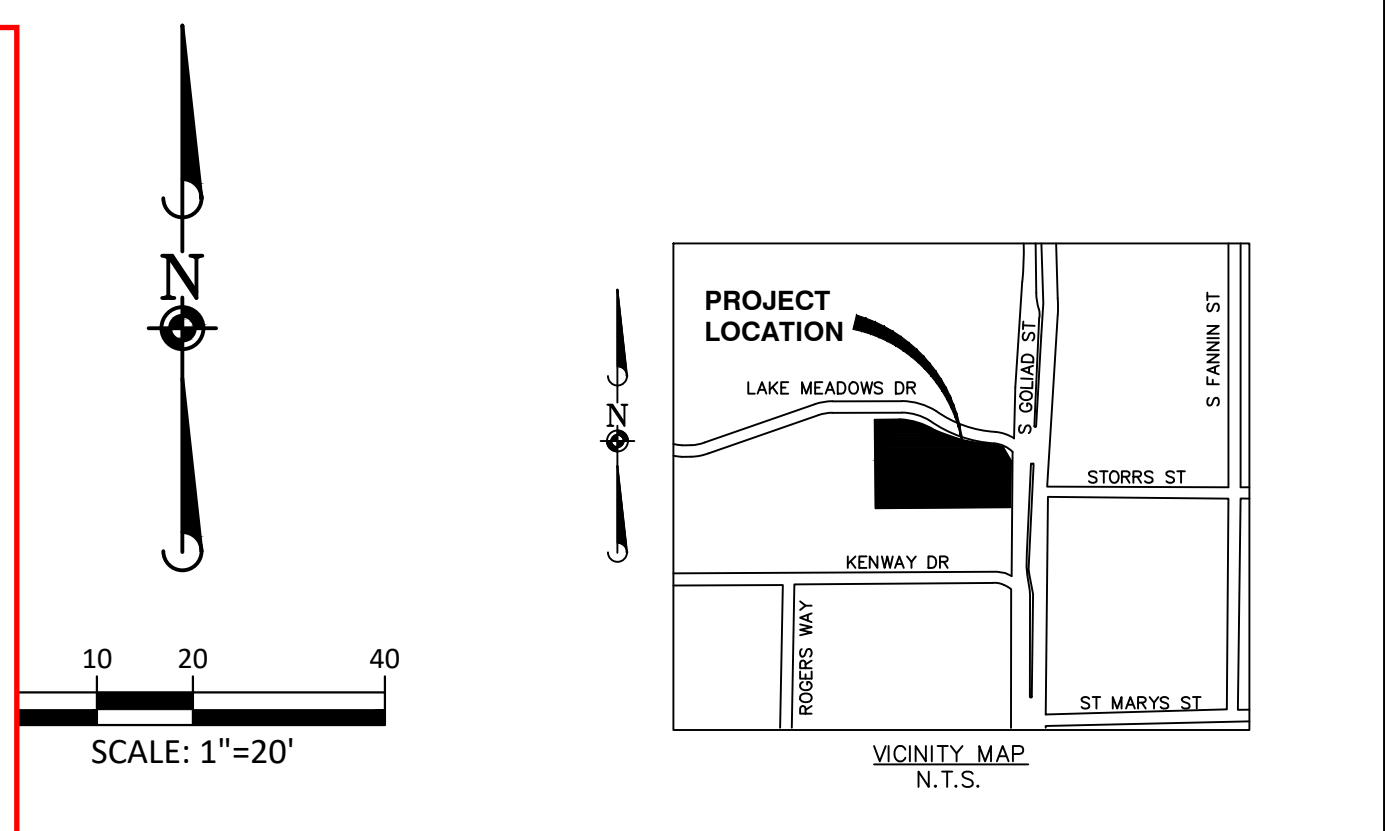
- I - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- I - Check with the Fire Marshal regarding needing sprinklers in the building.
- I - If a new service/fire line to the building is required, the main line is across Lake Meadows. Full panel concrete replacement is required.
- M - Show and label existing and proposed water and sewer mains and services, and label sizes

**Roadway Paving Items:**

- I - Parking to be 20'x9'.
- I - Drive isles to be 24' wide.
- I - No dead-end parking allowed without a turnaround. Must have a 15'x64' turnaround striped as no parking.
- I - All paving to min 3,600 PSI (6.5 sack/CY)
- I - Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- M - No paving/parking allowed on TxDOT ROW.
- M - Must extend the sidewalk along Lake Meadows Drive.

**Landscaping:**

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No Landscaping in right-of-way.



LEGEND		SITE DATA TABLE	
DOUBLE CLEANOUT		EXISTING ZONING	DT
SANITARY MANHOLE		PROPOSED USE	COMMERCIAL
JUNCTION BOX		SITE AREA	0.69 ACRES
CURB INLET		BUILDING AREA	
GRATE INLET		EXISTING BUILDING	2,123 SF
FDC		ADDITION	831 SF
FIRE HYDRANT		PROPOSED BUILDING	2,954 SF
BARRIER FREE RAMP		PARKING	
FIRE LANE		PARKING REQUIRED	1/200 SF
		15 STANDARD STALLS	
		1 ACCESSIBLE STALL	
		PARKING PROVIDED	33 STANDARD SPACES
		2 ACCESSIBLE SPACES	

NOTE: PROPERTY IS CURRENTLY PLATTED.

PAVING LEGEND	
	EXISTING ASPHALT TO BE MILLED AND OVERLAID
	LIGHT DAILY PAVING 5" 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
	SIDEWALK 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.  
CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.  
REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION LINES CROSSING PAVED AREAS.  
REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND POSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.  
LANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY MANUAL AND SPECIFICATIONS FOR EXACT LOCATION.

DEVELOPER	DR. STAN LOWRANCE	ENGINEER	MANHARD CONSULTING
FOUNDATION	ROCKWALL ROTARY FOUNDATION		12225 GREENVILLE AVE STE 1000
STREET	408 S. GOLIAD STREET		DALLAS, TEXAS 75243
	5 75087		972.972.4250 PH
			JESSE CONRAD, P.E

**PROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
City Manager and Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER:  
**SITE PLAN**

**408 S GOLIAD STREET - 0.69 ACRES**

**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**ROCCA VILLA**

DATE:	DESIGN:	AR
04/16/2021	DRAWN:	AV
	CHECKED:	JC

DRAWN BY	JC	AR	ANV	AV
REVISIONS				
DATE				

**Manhard CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com  
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners  
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

**ROCKWALL ROTARY CLUB**

**408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**SITE PLAN**

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

JESSE CONRAD, P.E.  
TEXAS P.E. No. 130104  
ISSUED THIS DATE:  
04/16/2021

PROJ. MGR.:	JC
PROJ. ASSOC.:	AR
DRAWN BY:	ANV
DATE:	04/16/2021

SHEET  
**1**

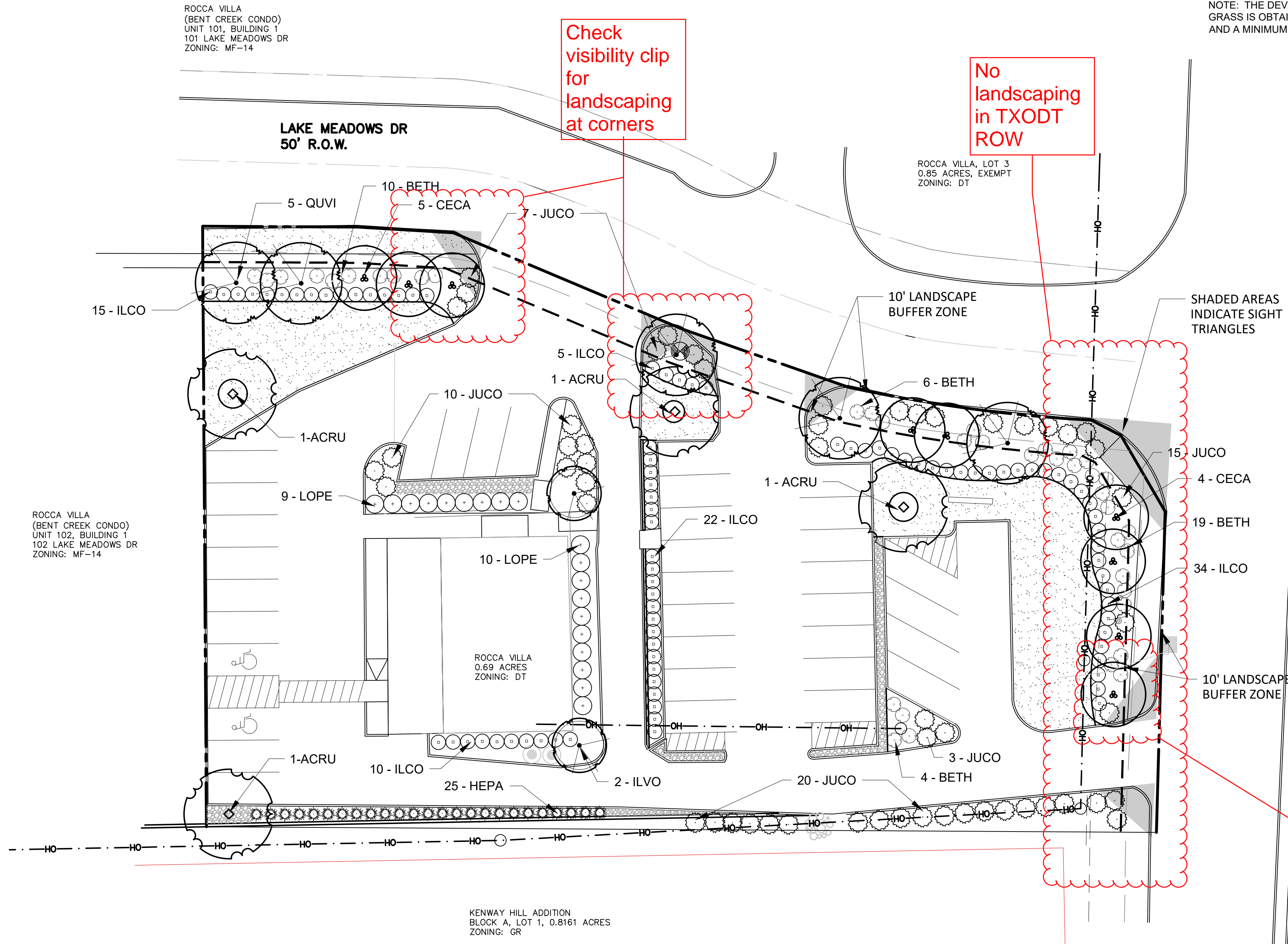
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**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	9	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	5	CANOPY TREE
<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	39	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFGORD HOLLY	5 gallon	87	
ILVO	ILEX VOMITORIA	YAUAPON HOLLY	15 gallon	2	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	55	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	19	
<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	
	2"-4" Texas River Cobble, 3" Deep				

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



**LANDSCAPE STANDARDS**

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±102' OF STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 4 REDBUD (ACCENT) PROVIDED (NO CANOPY TREES DUE TO OVERHEAD POWER LINES)
LAKE MEADOWS DR. ±268' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 5 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS NOT APPLICABLE
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b> TOTAL SITE AREA: LANDSCAPE AREA REQUIRED TOTAL SITE: LANDSCAPE PROVIDED, TOTAL SITE:	±35,301 SF ±7,060 SF (20%) ±10,769 SF (30%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 6% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±13,465 SF ±673 SF ±1,176 SF (8.7%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS DRY INPUT CAPABILITIES.

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

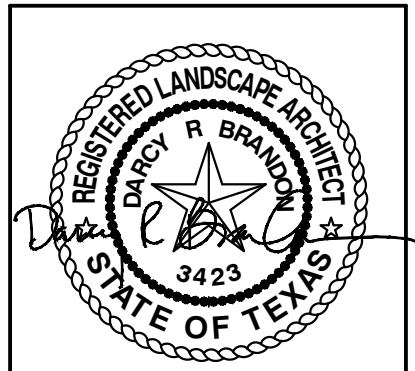
**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
5. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
6. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
7. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
8. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
9. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**EVERGREEN DESIGN GROUP**  
 (800) 680-6630  
 15455 Dallas Pkwy., Ste 600  
 Addison, TX 75001  
 www.EvergreenDesignGroup.com



04/16/2021

Owner  
**Rockwall Rotary Foundation**  
 408 S. Goliad Street  
 Rockwall, TX 75086

Project Name  
**Rockwall Rotary Foundation**  
 408 S. Goliad Street  
 Rockwall, TX 75086

Landscape Planting Plan

Date	Comment

Project Number  
 Date **04/16/2021**  
 Drawn By **DB**  
 Checked By **DB/RM**

**LP-1**





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 408 S GOLIAD ST.

SUBDIVISION ROCK VILLA

LOT

BLOCK

GENERAL LOCATION CORNER OF S GOLIAD ST & LAKE MEADOWS DR.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE ROTARY CLUB

PROPOSED ZONING DT - NO CHANGE

PROPOSED USE ROTARY CLUB - NO CHANGE

ACREAGE .69 LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Rotary Foundation

APPLICANT Z Constructors Nationwide, LLC

CONTACT PERSON Ted Hoisington

CONTACT PERSON Chris Maynor

ADDRESS 408 S. Goliad St

ADDRESS 201 W. Ken Sman St.

CITY, STATE & ZIP Rockwall, TX

CITY, STATE & ZIP Richardson, TX 75081

PHONE 214-715-7790

PHONE 972-529-7930

E-MAIL tedhoisington@hotmail.com

E-MAIL cmaynor@zconstructors.com

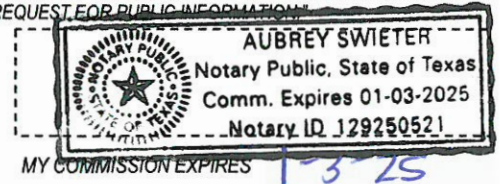
## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS MAYNOR [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16<sup>th</sup> DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

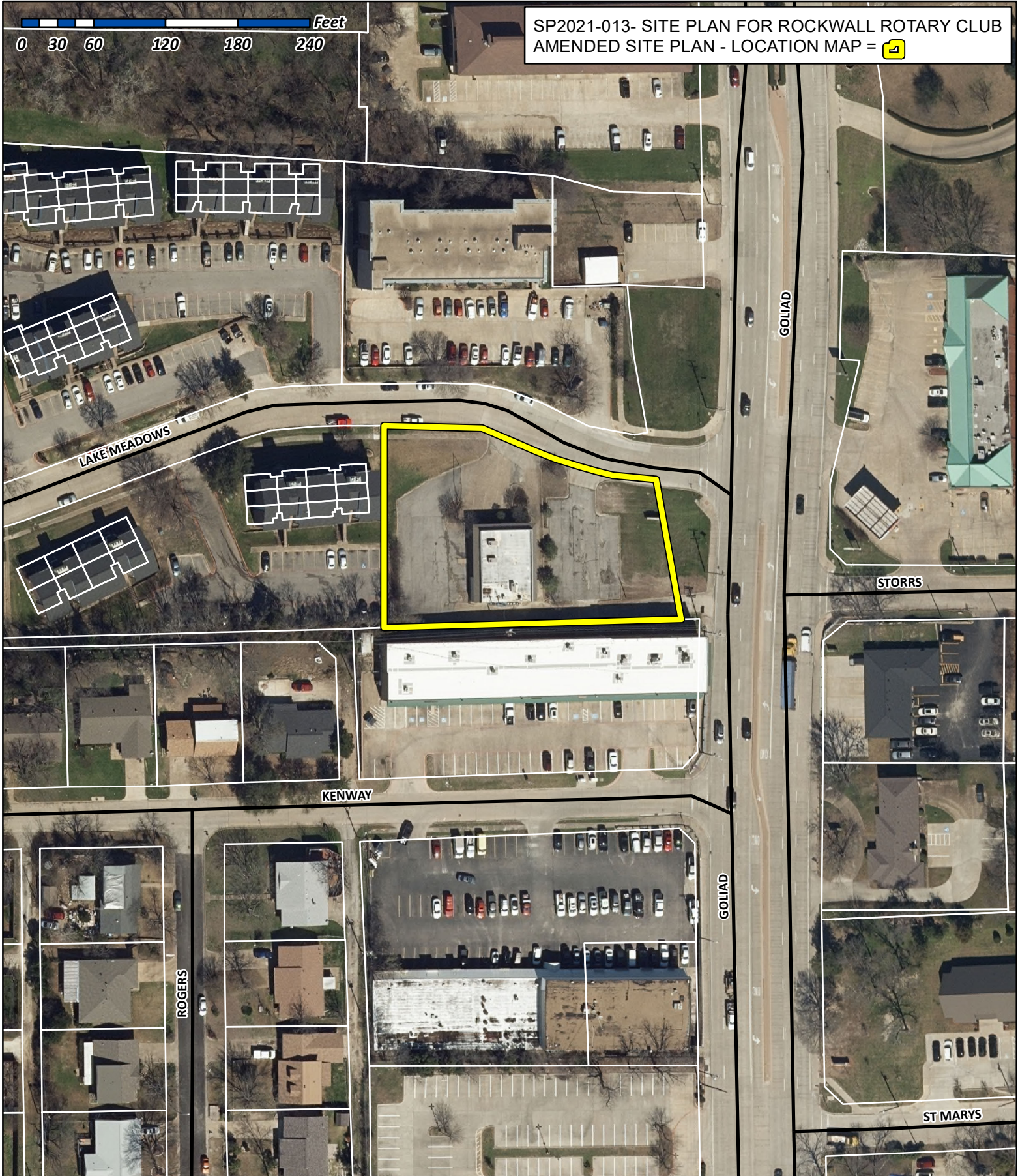
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16<sup>th</sup> DAY OF April, 2021.

OWNER'S SIGNATURE [Signature]  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



0 30 60 120 180 240 Feet

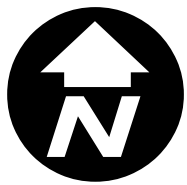
SP2021-013- SITE PLAN FOR ROCKWALL ROTARY CLUB  
AMENDED SITE PLAN - LOCATION MAP = 



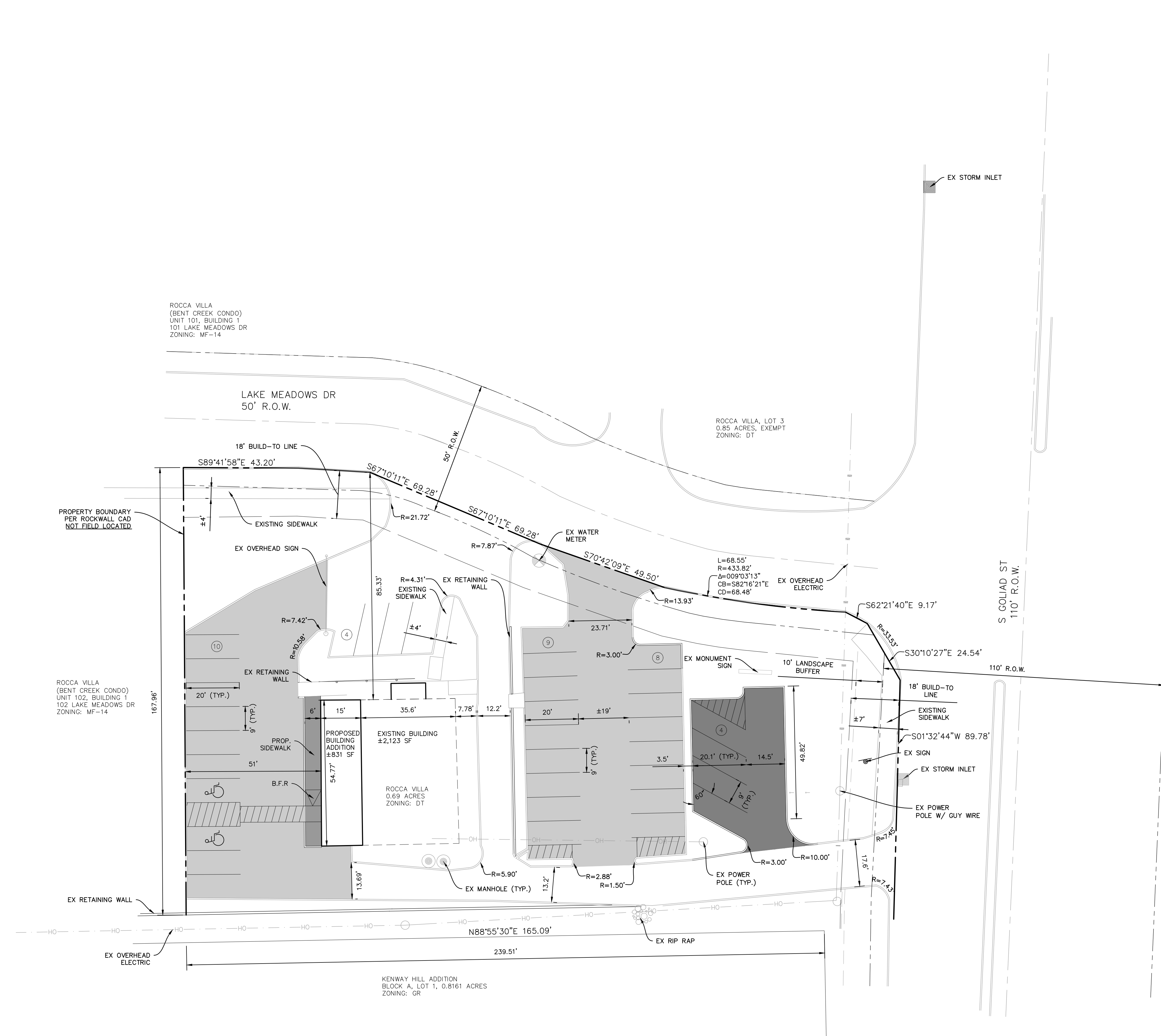
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



April 16, 2021 - 12:17 Des Name: C:\Promotional Projects\2-Construction\Rockwall, TX\Site Plan.dwg Updated By: AVilnerol



SCALE: 1"=20'

N

PROJECT LOCATION

VICINITY MAP  
N.T.S.

**LEGEND**

- DOUBLE CLEANOUT
- SANITARY MANHOLE
- JUNCTION BOX
- CURB INLET
- GRATE INLET
- FDC
- FIRE HYDRANT
- BARRIER FREE RAMP
- FIRE LANE

SITE DATA TABLE	
EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	33 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

**PAVING LEGEND**

- EXISTING ASPHALT TO BE MILLED AND OVERLAID
- LIGHT DUTY PAVING  
5" 3,500 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- SIDEWALK  
4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
  - ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
  - REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
  - REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
  - FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

**OWNER**  
DR. STAN LOWRANCE  
ROCKWALL ROTARY FOUNDATION  
408 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**DEVELOPER**  
DR. STAN LOWRANCE  
ROCKWALL ROTARY FOUNDATION  
408 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**ENGINEER**  
MANHARD CONSULTING  
12225 GREENVILLE AVE STE 1000  
DALLAS, TEXAS 75243  
972.972.4250 PH  
JESSE CONRAD, P.E.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER:

**SITE PLAN**

408. S GOLIAD STREET - 0.69 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ROCCA VILLA

REVISION LOG	DATE:	DESIGN:
	04/16/2021	AR
		AV
		JC

PROJ. MGR.: JC  
PROJ. ASSOC.: AR  
DRAWN BY: ANV  
DATE: 04/16/2021

SHEET

**1**

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

**Manhard CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com  
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners  
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

**ROCKWALL ROTARY CLUB**

408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**SITE PLAN**

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

JESSE CONRAD, P.E.  
TEXAS P.E. No. 130104  
ISSUED THIS DATE:  
04/16/2021

PROJ. MGR.: JC  
PROJ. ASSOC.: AR  
DRAWN BY: ANV  
DATE: 04/16/2021

SHEET

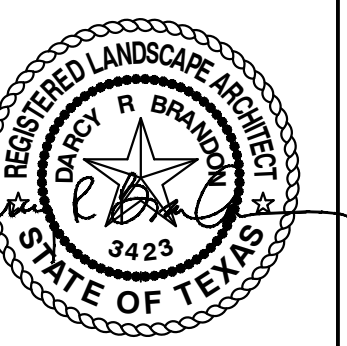
**1**

PENDING

**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	9	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	5	CANOPY TREE
<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	39	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFGORD HOLLY	5 gallon	87	
ILVO	ILEX VOMITORIA	YAUAPON HOLLY	15 gallon	2	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	55	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	19	
<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep				

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.



04/16/2021

Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

**Landscape Planting Plan**

Date	Comment

Project Number: \_\_\_\_\_  
Date: 04/16/2021  
Drawn By: DB  
Checked By: DB/RM

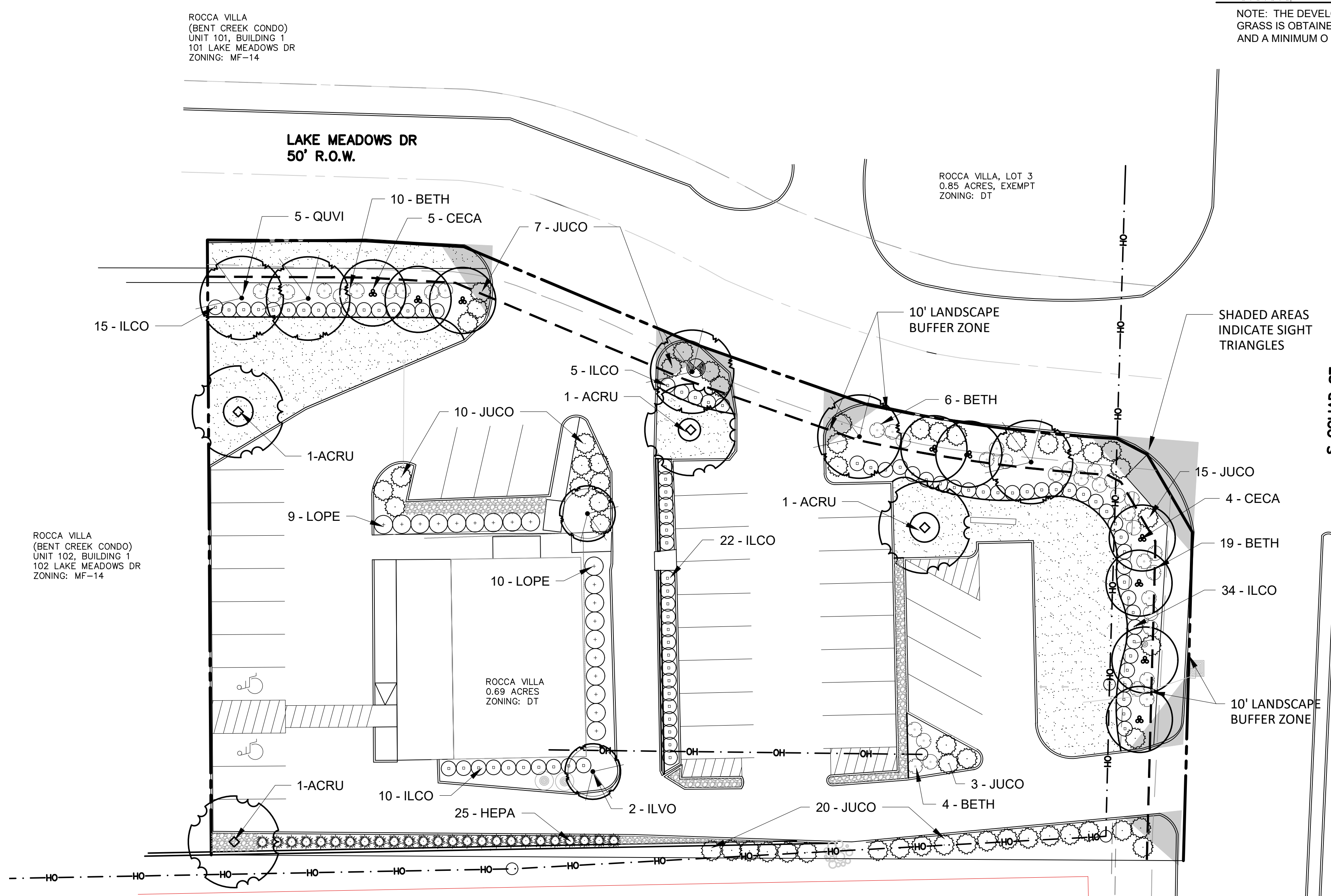
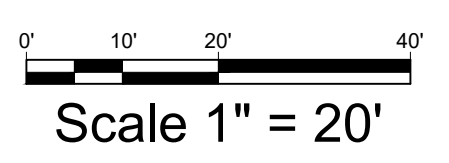
LP-1

**LANDSCAPE STANDARDS**

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±102' OF STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 4 REDBUD (ACCENT) PROVIDED (NO CANOPY TREES DUE TO OVERHEAD POWER LINES)
LAKE MEADOWS DR. ±268' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 5 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
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REQ. PARKING LOT LANDSCAPING:	±673 SF
PROPOSED PARKING LOT LANDSCAPING:	±1,176 SF (8.7%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

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THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**GENERAL GRADING AND PLANTING NOTES**

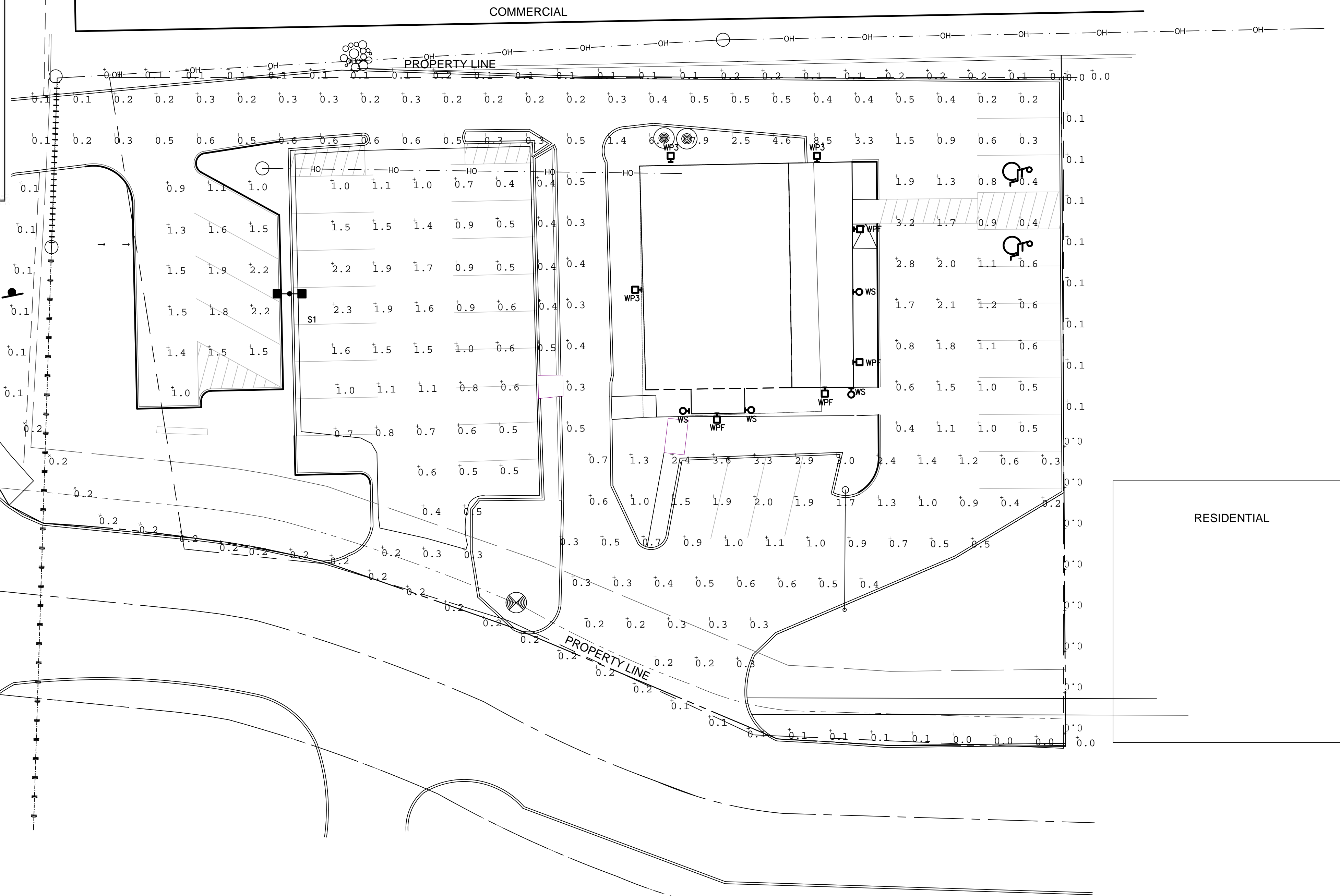
1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
  5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

SITE DATA TABLE

<b>EXISTING ZONING</b>	DT
<b>PROPOSED USE</b>	COMMERCIAL
<b>SITE AREA</b>	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,246 SF
PROPOSED BUILDING	525 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF 16 STANDARD STALLS 2 ACCESSIBLE STALLS
PARKING PROVIDED	25 STANDARD SPACES 2 ACCESSIBLE SPACES
<b>NOTE: PROPERTY IS CURRENTLY PLATTED</b>	

EXTERIOR LIGHTING SCHEDULE

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPING TYPE		VOLTAGE	MOUNTING	FINISH	NOTES
				NO.	W L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	38W 3327L 4000K 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W 5688L 4000K 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE=PROVIDE 90 MIN EM INVERTER	1	21W 1047L 4000K 85CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K TFTM MVOLT NLTAIR2 HS SSS20-4C-DM28-DBLXD	1	54W 6963L 4000K 85CRI	120V	Pole	Black	MOUNT AT 20' AFF



STATISTICS

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

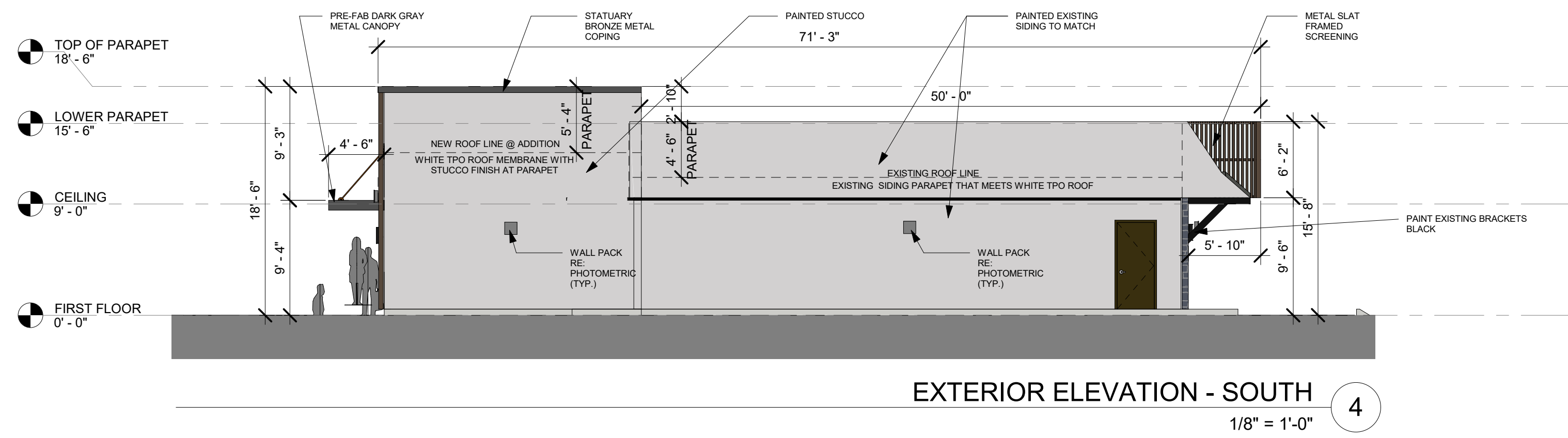


1

SITE PLAN - ELECTRICAL  
SCALE: 1/16" = 1'-0"

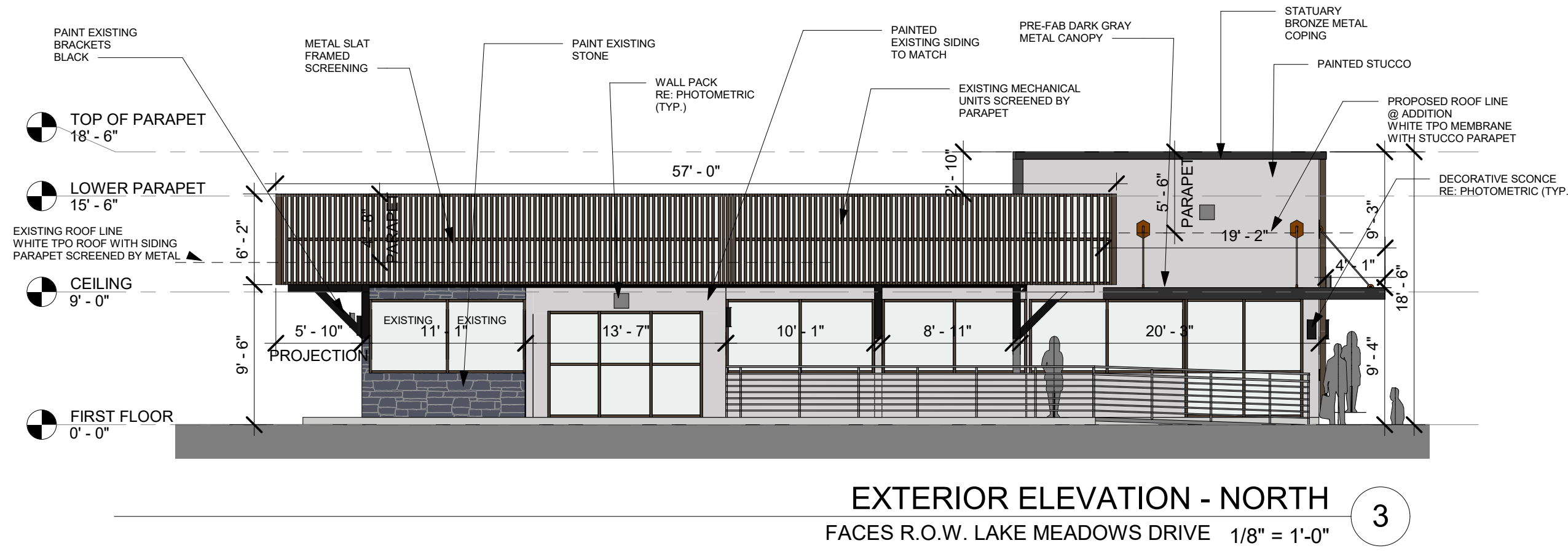






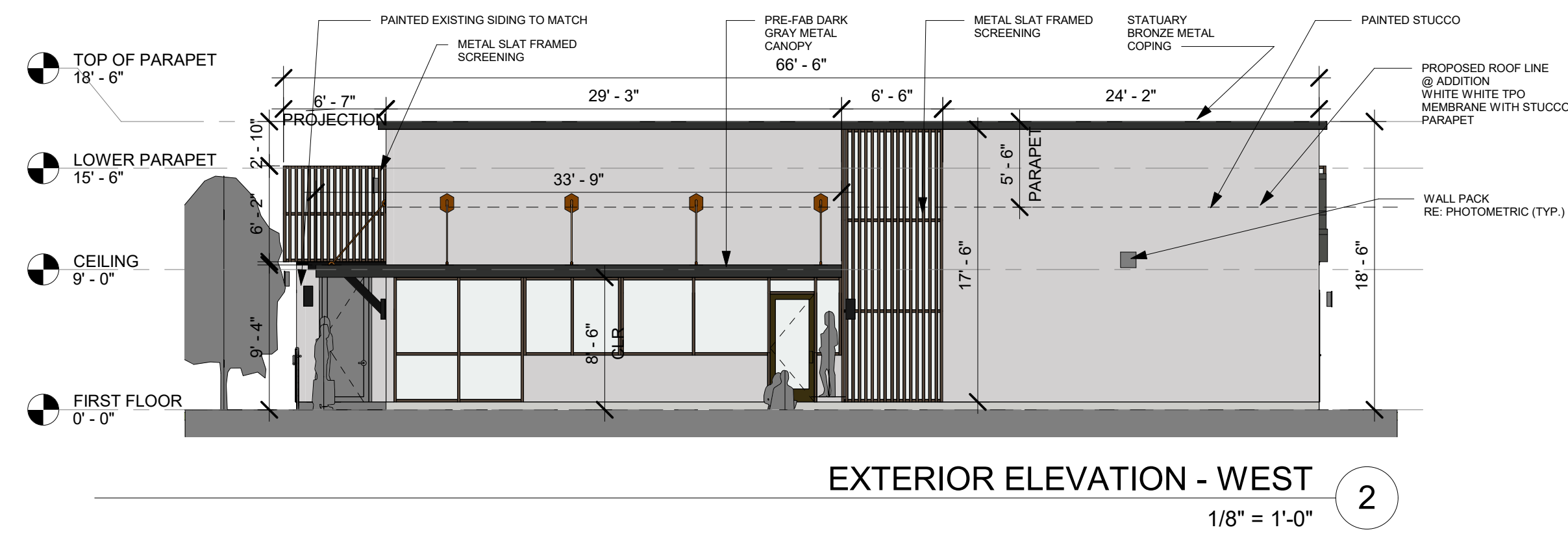
EXTERIOR ELEVATION - SOUTH 4  
1/8" = 1'-0"

SOUTH ELEVATION- SECONDARY FACADE		
NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%



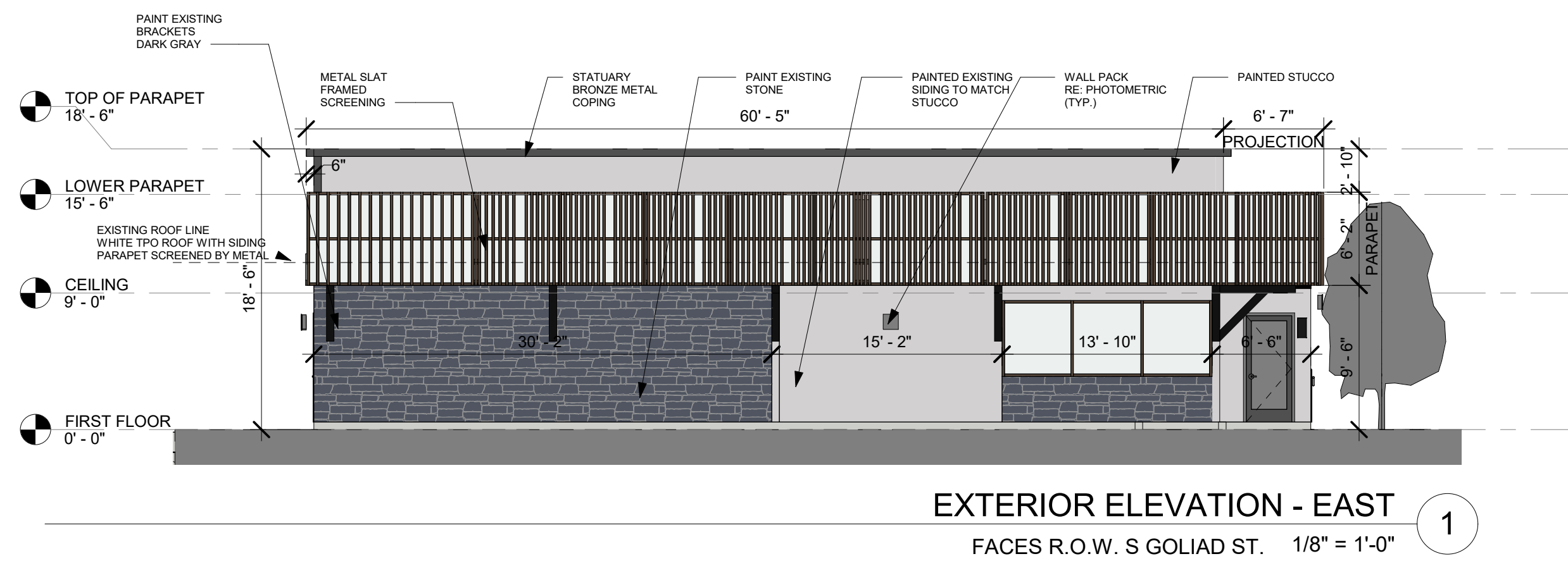
EXTERIOR ELEVATION - NORTH 3  
FACES R.O.W. LAKE MEADOWS DRIVE 1/8" = 1'-0"

NORTH ELEVATION- PRIMARY FACADE		
NEW METAL COPING	10.53 SF	1.1%
NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
EXISTING WOOD BRACKETS- PAINTED	9.15 SF	1.2%
NEW METAL SLAT SCREENING	350.92 SF	41.9%
EXISTING SIDING- PAINTED	140.69 SF	16.9%
EXISTING STONE- PAINTED	44.62 SF	5.2%
EXISTING GLAZING	52.46 SF	6.1%
NEW GLAZING	42.76 SF	5.1%
TOTAL	842.57 SF	100%



EXTERIOR ELEVATION - WEST 2  
1/8" = 1'-0"

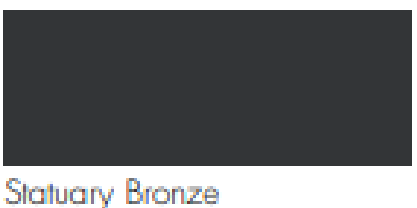

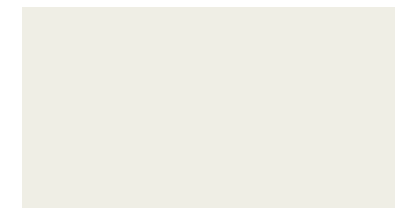


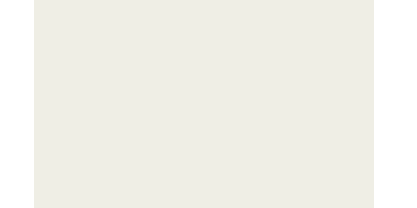

WEST ELEVATION- SECONDARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW METAL CANOPY	26.72 SF	2.3%
NEW PAINTED STUCCO	718.77 SF	62%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%



EXTERIOR ELEVATION - EAST 1  
FACES R.O.W. S GOLIAD ST. 1/8" = 1'-0"

EAST ELEVATION-PRIMARY FACADE		
NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
EXISTING SIDING- PAINTED	185.24 SF	15.3%
EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

### MATERIAL INDEX

	METAL COPING COLOR: STATUARY BRONZE FINISH: MATTE
	EXTRUDECK METAL CANOPY COLOR: DARK GREY FINISH: MATTE
	PAINTED STUCCO COLOR: WHITE DOVE FINISH: MATTE
	PAINTED EXISTING BRACKETS COLOR: BLACK FINISH: MATTE
	ALUMINUM SLAT SCREEN COLOR: DARK BRONZE FINISH: MATTE
	EXISTING SIDING - PAINTED TO MATCH STUCCO COLOR: WHITE DOVE FINISH: MATTE
	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** May 11, 2021  
**APPLICANT:** Chris Maynor; *Z Constructors Nationwide, LLC*  
**CASE NUMBER:** SP2021-013; *Site Plan for Rockwall Rotary Club*

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### SUMMARY

Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

### BACKGROUND

According to the August 25, 1934 Sanborn Maps, the subject property was annexed prior to April 1934. The January 3, 1972 zoning map indicates the subject property was zoned General Retail (GR) District. According to the Rockwall County Appraisal District (RCAD) the existing 2,675 SF building situated on the subject property was constructed in 1975. On April 11, 1980 the subject property was platted as the Roca Village Addition. On August 4, 2007, the City Council approved a zoning case rezoning the subject property from a General Retail (GR) District to Downtown (DT) District [Case No. Z2007-012]. No additional physical changes have been made to the subject property since the building was constructed in 1975.

### PURPOSE

On April 16, 2021, the applicant -- *Chris Maynor of Z Constructors Nationwide LLC* -- submitted an application requesting the approval of an amended site plan for the purpose of constructing an 831 SF addition to the existing 2,675 SF building on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 408 S. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Lake Meadows Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) developed parcels of land zoned Downtown (DT) District. Beyond this is S. Goliad Street, which is designated as a P3U (*i.e. principal arterial, three [3] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8161-acre parcel of land developed with a strip retail center zoned General Retail (GR) District. Beyond this is Kenway Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) developed parcels of land zoned General Retail (GR) District.

East: Directly east of the subject property is S. Goliad Street, which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.021-acre parcel of land developed with a strip retail center zoned Downtown (DT) District. East of this are two (2) vacant parcels of land zoned Downtown (DT) District.



West: Directly west of the subject property is a 1.62-acre parcel of land zoned Multi-Family 14 (MF-14) District. Beyond this are two (2) parcels of land with single-family homes situated on them that are zoned Single Family 7 (SF-7) District. West of this is Ridgeview Drive, which is designated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land with single-family homes situated on them that are zoned Single Family 7 (SF-7) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Private Club, Lodge or Fraternal Organization* building is permitted with a Specific Use Permit (SUP) in the Downtown (DT) District; however, this land use has existed on the subject property prior to this requirement and is considered to be legally non-conforming. Therefore, no additional approvals are necessary with regard to the proposed land use given this is an expansion of the existing use. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=30,056 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=233-Feet-In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=168-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>18-Feet</i>	<i>X=65-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=13-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=51-Feet; In Conformance</i>
<i>Landscape Buffer</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>16 Parking Spaces</i>	<i>X=35 Spaces; In Conformance</i>

**TREESCAPE PLAN**

The proposed landscape plan does not propose removing any trees on the subject property. Therefore, this case does not require a Treescape Plan.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 04.07, *Commercial District*, of Section 04, *Downtown (DT) District*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), “the purpose of the Downtown District is to implement the adopted recommendations of the comprehensive plan and Downtown Plan by encouraging new development and redevelopment in the Downtown area.” In this case, the existing building is considered legally non-conforming and does not meet the UDC standards, however the proposed elevations bring the existing building closer into conformance with the UDC. Also the proposed 831 SF addition meets all of the density and dimensional requirements within the UDC.

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Downtown District and is zoned as Downtown (DT) District. According to the district strategies, “... the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City, to ensure that the district retains its small town character.” In this case, the addition and updates to the existing elevations allow the same use to continue, while providing updates to an existing legally non-conforming building.

**ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On April 27, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval by a vote of 4-0, with Board Members Miller, Avenetti, and Neill absent.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an 831 SF addition to the existing building, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: SP2021-013  
PROJECT NAME:  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION: Discuss and consider a request by Chris Maynor of Z Constructors Nationwide, LLC on behalf of Ted Hoisington of the Rockwall Rotary Foundation for the approval of an Amended Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City or Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing building on a 0.69-acre parcel of land identified as lot with in the Roca Villa Addition, City or Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 408 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email [hlee@rockwall.com](mailto:hlee@rockwall.com).

M.3 For reference, include the case number (SP2021-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Downtown (DT) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. The signature block is required on all sheets of the plans. (Subsection 03.04.A, of Article 11)
2. Verify the acreage and square footage. The proposed site plan, landscape plan, and photometric plan do not depict the correct boundary of the property; these plans will need to be redrawn to reflect the correct boundary. See the Rocca Villa Subdivision Plat. (Subsection 03.04. B, of Article 11)
3. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
4. Indicate the distance between the building and the southern property line. (Subsection 03.04. B, of Article 11)
5. The four additional parking spaces on the east side of the property cannot be added. The proposed added parking does not meet engineering standards and is not located entirely on the property. However, spaces may be able to be added on the western property line, given that they meet all planning and engineering design standards. (Subsection 05.03. C, of Article 06)
6. Indicate the type and location of any proposed or existing fences. The height and type of fence must be included. (Subsection 08.02. F, of Article 08)
7. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Pad mounted must be screening from any public ROW and adjacent properties. Roof mounted must not be visible from the street or adjacent properties; consider crosshatching or outlining the units. (Subsection 01.05. C, of Article 05)
8. Indicate if there is a dumpster, if so meet these requirements: Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

1. Update the landscape plan to represent the property line found within the Rocca Villa Subdivision Plat. (Section 2.1 of this checklist)

2. Canopy trees are a 4" caliper minimum and shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Indicate all existing trees and shrubs. (Subsection 05.03. B, of Art. 08)
4. Indicate if any trees are to be removed. If so, a treescape plan must be submitted. (Subsection 03.01, of Article 09)
5. Include a statement that indicating that the irrigation will meet the requirements within the Unified Development Code. (Subsection 05.04, of Art. 08)
6. All landscaping must be located on the property. Consider moving the landscaping along S. Goliad Street to where the 4 parking spaces are currently proposed. As these parking spaces are not permitted the landscaping can go here. This would still need to meet all of the landscape buffer requirements within the Unified Development Code. (Subsection 05.01, of Article 08)

M.7 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. Currently the data does not all match. (Section 2.1 of this checklist)
2. Adjust your lighting to meet the following: The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Currently the 0.2 FC standard is not meet given the proposed photometric plan (Subsection 03.03. G, of Article 07)
3. Indicate the mounting height of all pole lighting, which shall not exceed 30-feet (03.03. D, of Article 07)
4. Verify and indicate the up lighting; no up lighting shall exceed 15W. (Subsection 03.03. A, of Article 07)

M.8 Building Elevations:

1. No TPO shall be visible from the property or adjacent properties. All parapets must be finished on both sides. (Subsection 04.01, of Art. 05)
2. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. Consider crosshatching on the elevations where any roof mounted units will be located. (Subsection 01.05. C, of Article 05)

I.9 All proposed and existing signage will be covered in the building permit.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 11, 2021.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Can't use TXDOT ROW for paving of parking area.

M - Drive isles to be 24' wide minimum.

M - How are vehicles able to get out of front parking area without backing into traffic?

M - Concrete to be 3,600 (min 6.5 sack mix).

M - No landscaping in TXODT ROW.

M - Check visibility clip for landscaping at corners.

The following items are informational for the engineering design process.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Property Boundary line don't match platted boundaries. This needs to be corrected.

Drainage Items:

- I - Will need detention for all new impervious areas.

Water and Wastewater Items:

- I - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- I - Check with the Fire Marshal regarding needing sprinklers in the building.
- I - If a new service/fire line to the building is required, the main line is across Lake Meadows. Full panel concrete replacement is required.
- M - Show and label existing and proposed water and sewer mains and services, and label sizes

Roadway Paving Items:

- I - Parking to be 20'x9'.
- I - Drive isles to be 24' wide.
- I - No dead-end parking allowed without a turnaround. Must have a 15'x64' turnaround striped as no parking.
- I - All paving to min 3,600 PSI (6.5 sack/CY)
- I - Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- M - No paving/parking allowed on TxDOT ROW.
- M - Must extend the sidewalk along Lake Meadows Drive.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No Landscaping in right-of-way.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Needs Review

04/22/2021: Show fire apparatus roadway coverage to the new addition. The fire apparatus access road shall extend to within 150 feet of all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. T existing public street can serve as the fire apparatus roadway if the distance requirement is met.

Show the location of any existing fire hydrants providing coverage to the new addition. Where a portion of a building hereafter constructed is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	04/22/2021	Approved
No Comments			

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DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

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PARKS

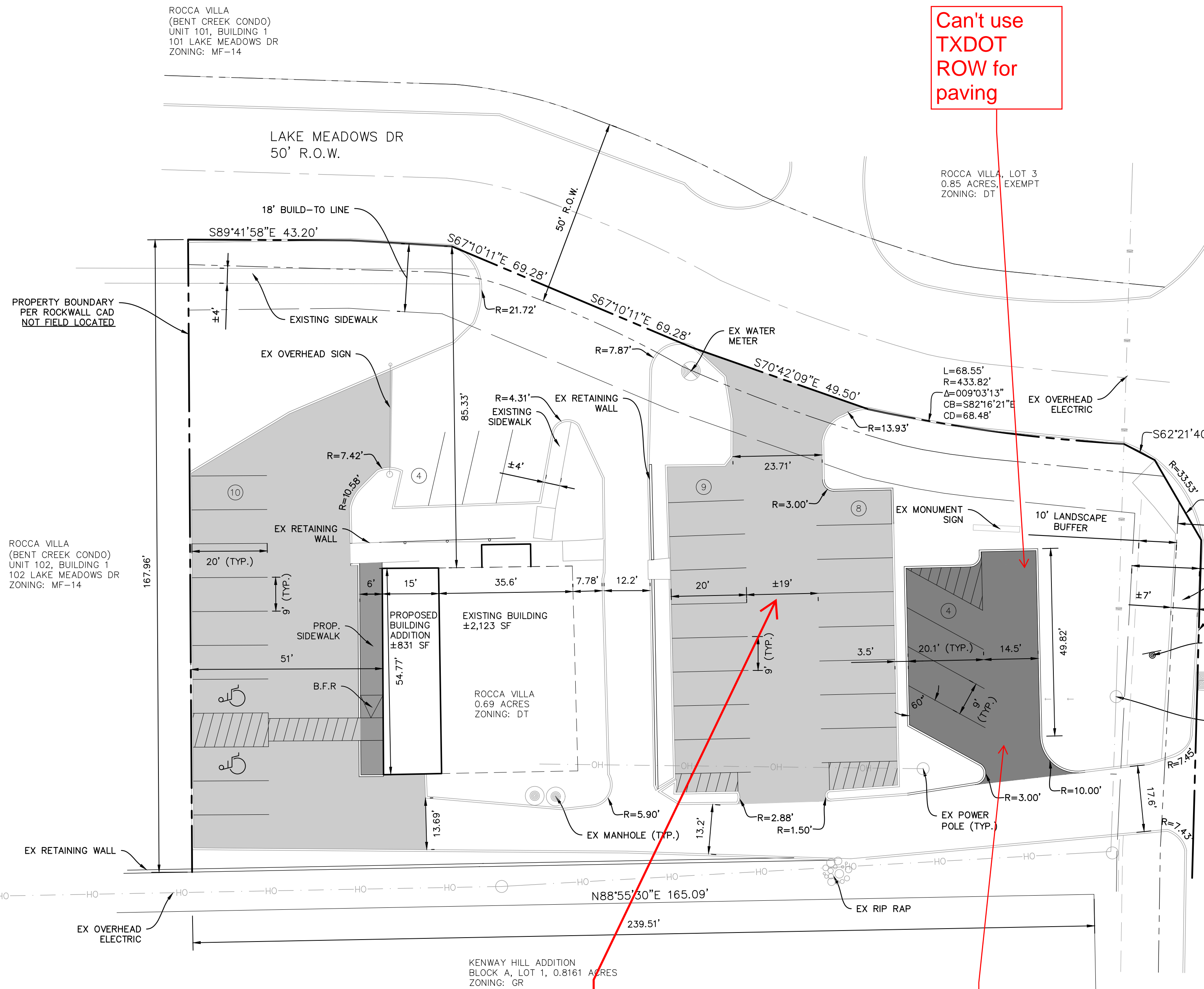
Travis Sales

04/19/2021

Approved

---

04/19/2021: Trees not to be within 5' of water or sewer lines



Can't use TXDOT ROW for paving

Drive isles to be 24' wide minimum.

How are vehicles able to get out without backing into traffic?

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**Water and Wastewater Items:**

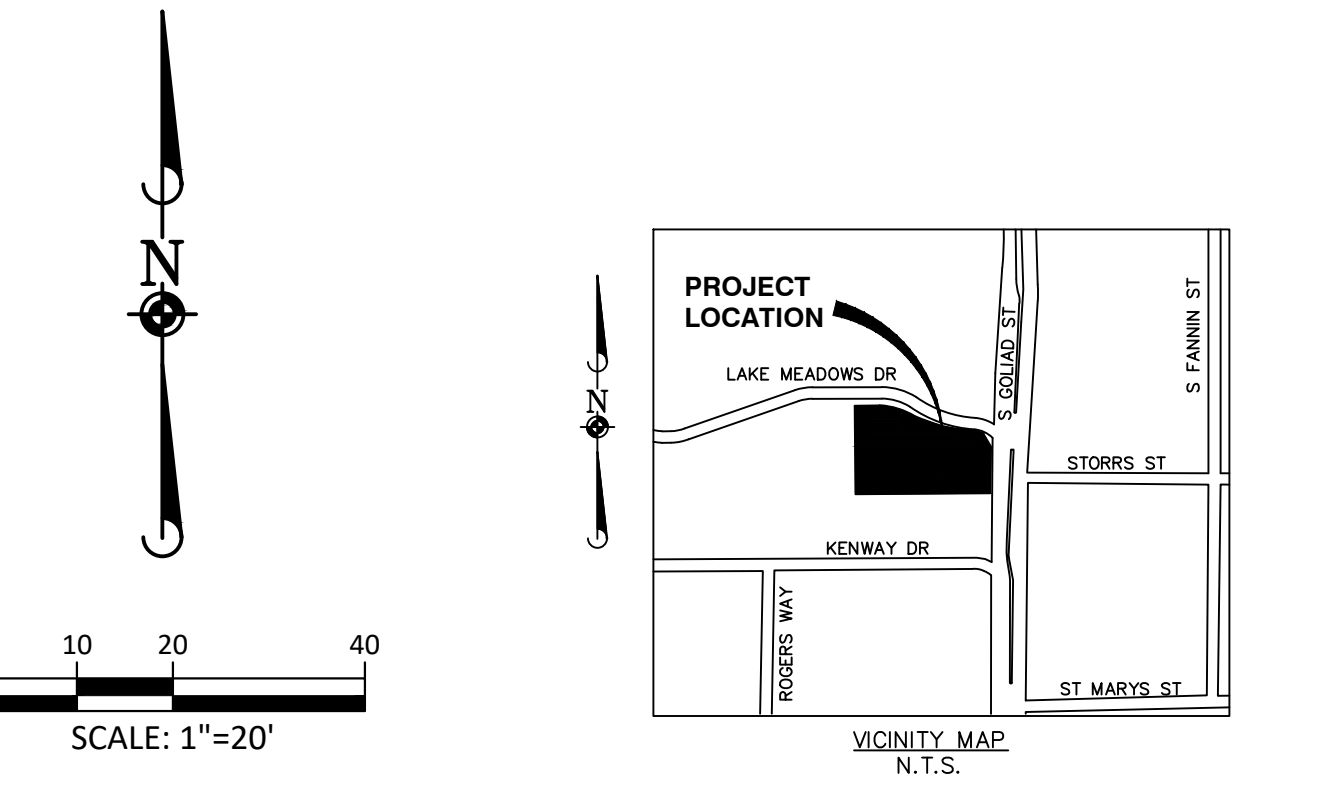
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- No Landscaping in right-of-way.



**LEGEND**

DOUBLE CLEANOUT
SANITARY MANHOLE
JUNCTION BOX
CURB INLET
GRATE INLET
FDC
FIRE HYDRANT
BARRIER FREE RAMP
FIRE LANE

**SITE DATA TABLE**

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
BUILDING AREA	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
PARKING	
PARKING REQUIRED	1/200 SF
	15 STANDARD STALLS
	1 ACCESSIBLE STALL
PARKING PROVIDED	33 STANDARD SPACES
	2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED.

**PAVING LEGEND**

EXISTING ASPHALT TO BE MILLED AND OVERLAID
LIGHT DUTY PAVING 5" 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 6" COMPACTED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
SIDEWALK 4" 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED. CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.

REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION EYES CROSSING PAVED AREAS.

REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND POSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.

LANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY MAIL AND SPECIFICATIONS FOR EXACT LOCATION.

DEVELOPER	DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087
ENGINEER	MANHARD CONSULTING 12225 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75243 972.972.4250 PH JESSE CONRAD, P.E.

**PROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_ Planning and Zoning Commission, Chairman

\_\_\_\_\_ Director of Planning and Zoning

CASE NUMBER:

**SITE PLAN**

**408 S GOLIAD STREET - 0.69 ACRES**

**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**ROCCA VILLA**

DATE:	04/16/2021	DESIGN:	AR
		DRAWN:	AV
		CHECKED:	JC

DATE: 04/16/2021

PROJ. MGR.: JC

PROJ. ASSOC.: AR

DRAWN BY: ANV

DATE: 04/16/2021

SHEET

**1**

**Manhard CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph:972.972.4250 manhard.com

Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners  
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

**ROCKWALL ROTARY CLUB**

**408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**SITE PLAN**

FOR INTERIM REVIEW ONLY THIS DOCUMENT IS NOT ISSUED FOR CONSTRUCTION OR PERMITTING PURPOSES

JESSE CONRAD, P.E.

TEXAS P.E. No. 130104

ISSUED THIS DATE: 04/16/2021

PROJ. MGR.: JC

PROJ. ASSOC.: AR

DRAWN BY: ANV

DATE: 04/16/2021

SHEET

**1**

PENDING

Date	Comment

**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	9	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	5	CANOPY TREE
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.					
<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	39	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFGORD HOLLY	5 gallon	87	
ILVO	ILEX VOMITORIA	YAUAPON HOLLY	15 gallon	2	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	55	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	19	
<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	
	2"-4" Texas River Cobble, 3" Deep				

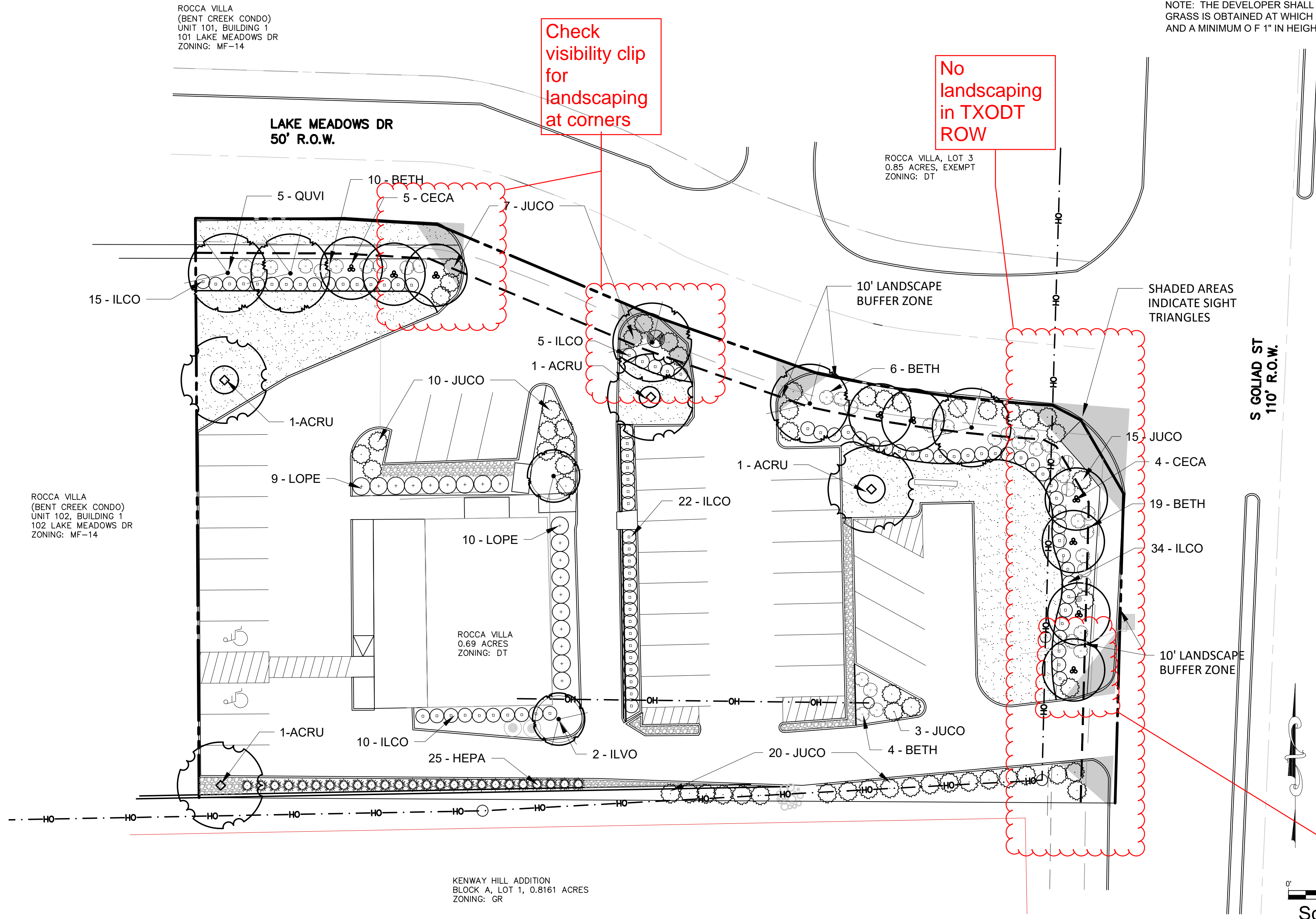
NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

**LANDSCAPE STANDARDS**

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b> REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
S. GOLIAD ST. - ±102' OF STREET FRONTAGE:	2 CANOPY TREES, 2 ACCENT TREES REQUIRED 4 REDBUD (ACCENT) PROVIDED (NO CANOPY TREES DUE TO OVERHEAD POWER LINES)
LAKE MEADOWS DR. ±268' STREET FRONTAGE:	5 CANOPY TREES, 5 ACCENT TREES REQUIRED 5 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED
<b>05.02 LANDSCAPE SCREENING</b> REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS NOT APPLICABLE
PROVIDED SCREENING	
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b>	
TOTAL SITE AREA:	±35,301 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	±7,060 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±10,769 SF (30%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 6% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA
PROPOSED PARKING AREA: REQ. PARKING LOT LANDSCAPING: PROPOSED PARKING LOT LANDSCAPING:	±13,465 SF ±673 SF ±1,176 SF (8.7%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS:  
MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS DRY INPUT CAPABILITIES.



**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  5. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  6. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  7. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
  8. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  9. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROCCA VILLA  
 (BENT CREEK CONDO)  
 UNIT 101, BUILDING 1  
 101 LAKE MEADOWS DR  
 ZONING: MF-14

ROCCA VILLA  
 (BENT CREEK CONDO)  
 UNIT 102, BUILDING 1  
 102 LAKE MEADOWS DR  
 ZONING: MF-14

KENWAY HILL ADDITION  
 BLOCK A, LOT 1, 0.8161 ACRES  
 ZONING: GR

Scale 1" = 20'





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 408 S GOLIAD ST.

SUBDIVISION ROCK VILLA

LOT

BLOCK

GENERAL LOCATION CORNER OF S GOLIAD ST & LAKE MEADOWS DR.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DT

CURRENT USE ROTARY CLUB

PROPOSED ZONING DT - NO CHANGE

PROPOSED USE ROTARY CLUB - NO CHANGE

ACREAGE .69 LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Rotary Foundation

APPLICANT Z Constructors Nationwide, LLC

CONTACT PERSON Ted Hoisington

CONTACT PERSON Chris Maynor

ADDRESS 408 S. Goliad St

ADDRESS 201 W. Ken Sman St.

CITY, STATE & ZIP Rockwall, TX

CITY, STATE & ZIP Richardson, TX 75081

PHONE 214-715-7790

PHONE 972-529-7930

E-MAIL tedhoisington@hotmail.com

E-MAIL cmaynor@zconstructors.com

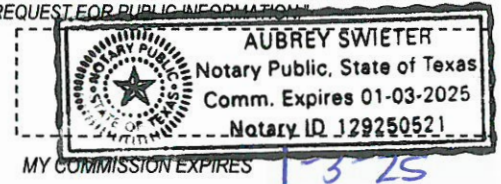
## NOTARY VERIFICATION [REQUIRED]

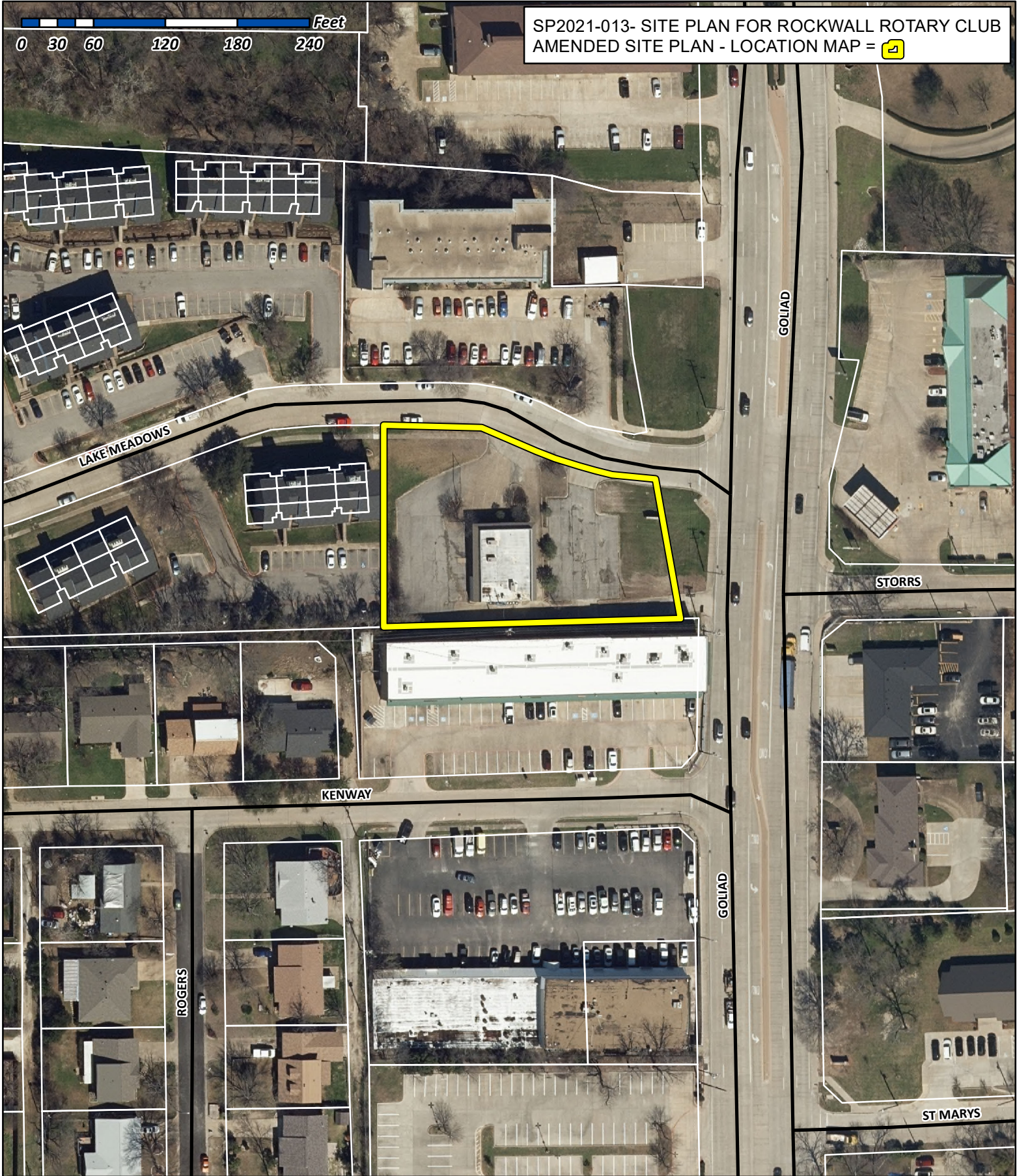
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHRIS MAYNOR [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16<sup>th</sup> DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16<sup>th</sup> DAY OF April, 2021.

OWNER'S SIGNATURE [Signature]  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





# City of Rockwall

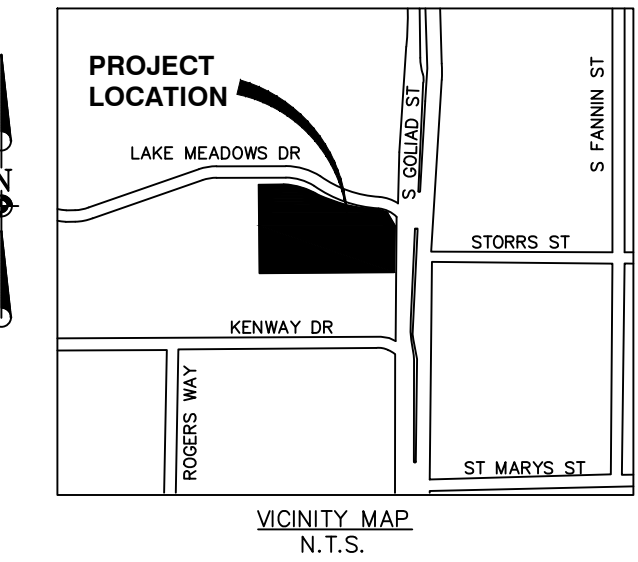
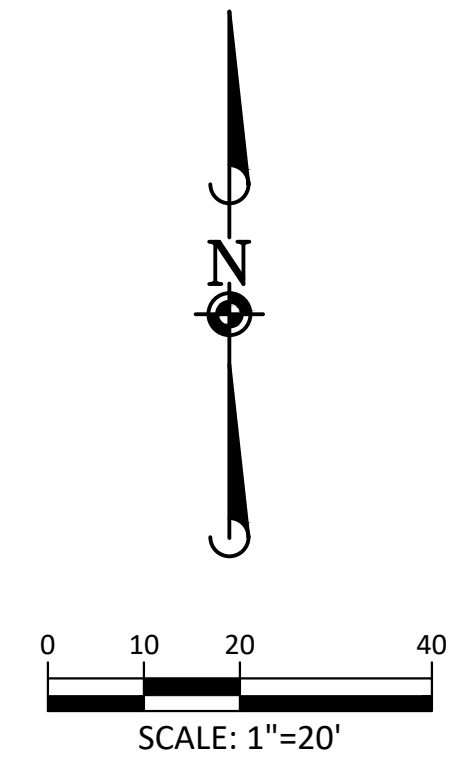
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**NOTES**

1. NO EXISTING OR PROPOSED FENCES.
2. NO UTILITY EQUIPMENT PAD/GROUND OR ROOF MOUNTED.
3. NO EXISTING OR PROPOSED DUMPSTER.



**LEGEND**

⊙	DOUBLE CLEANOUT
⊙	SANITARY MANHOLE
□	JUNCTION BOX
□	CURB INLET
⊗	GRATE INLET
⊕	FDC
⊕	FIRE HYDRANT
⊕	BARRIER FREE RAMP
—	FIRE LANE

**SITE DATA TABLE**

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	29 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

**PAVING LEGEND**

[Pattern]	EXISTING ASPHALT TO BE MILLED AND OVERLAID
[Pattern]	<b>SIDEWALK</b> 4" 3,600 PSI (MIN. 6.5 SACK MIX) CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS

**NOTES**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
2. ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
3. REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
4. REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
5. FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

<b>OWNER</b> DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	<b>DEVELOPER</b> DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	<b>ENGINEER</b> MANHARD CONSULTING 12225 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75243 972.972.4250 PH JESSE CONRAD, P.E.
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**SITE PLAN SIGNATURE BLOCK**

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER: 2021-013

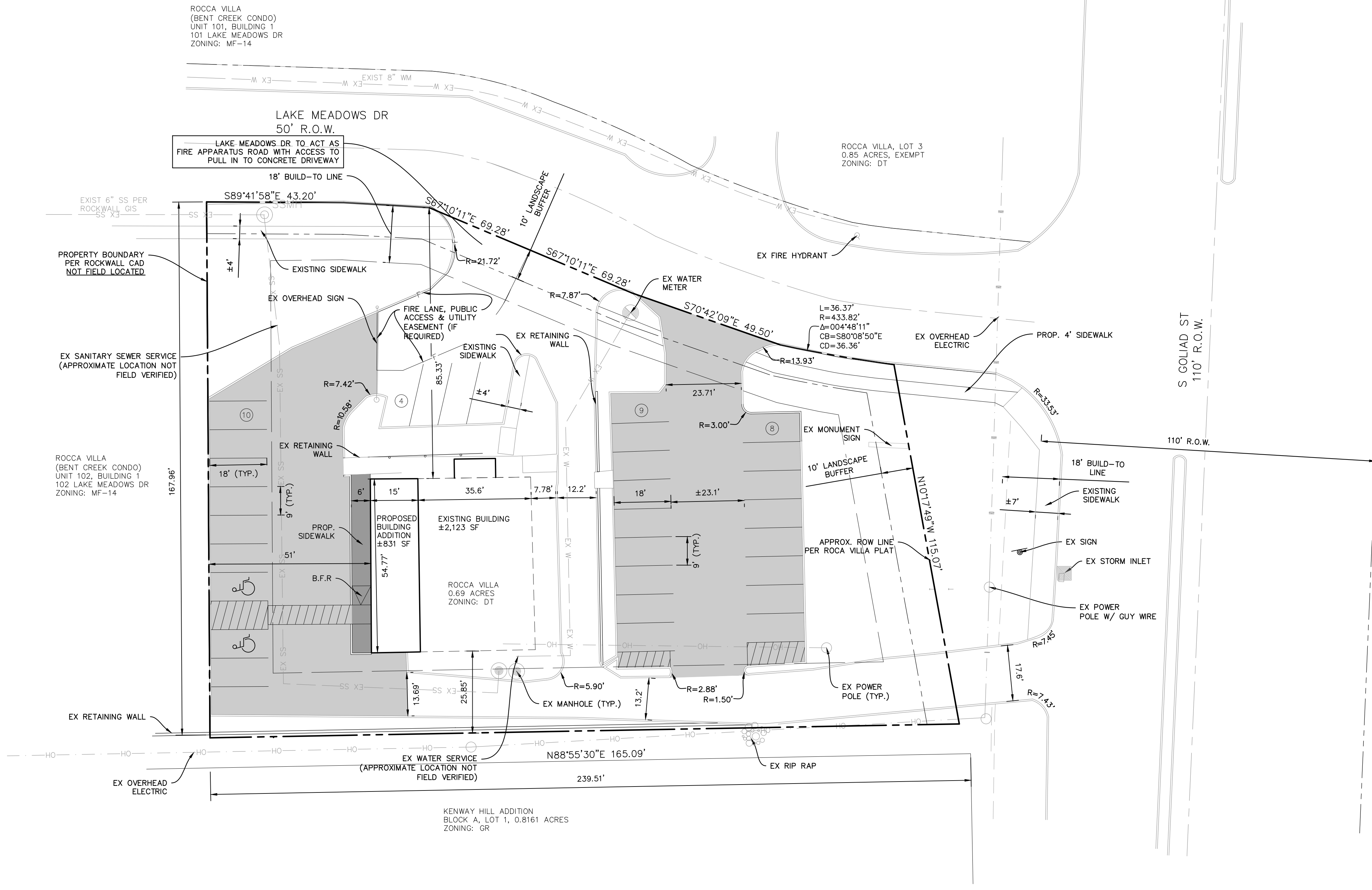
**SITE PLAN**

**408 S GOLIAD STREET - 0.69 ACRES**

**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**ROCCA VILLA**

<b>REVISION LOG</b>	05/03/2021 - REVISION #1 PER 1ST CITY COMMENTS	DATE:	04/16/2021	DESIGN:	AR
	05/04/2021 - REVISION #2 PER 1ST CITY COMMENTS			DRAWN:	AV
				CHECKED:	JC



**Manhard CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com  
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners  
Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

**ROCKWALL ROTARY CLUB**

**408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**SITE PLAN**

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

JESSE CONRAD, P.E.  
TEXAS P.E. No. 130104  
ISSUED THIS DATE:  
04/16/2021

PROJ. MGR.: JC  
PROJ. ASSOC.: AR  
DRAWN BY: ANV  
DATE: 04/16/2021

SHEET

**1**

May 4, 2021 - 10:28 Data Name: P:\811070\_Rockwall Rotary Foundation\001\_Parking Lot Expansion\Drawings\Site Plan.dwg Updated By: AR

PENDING

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	7	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	4	CANOPY TREE

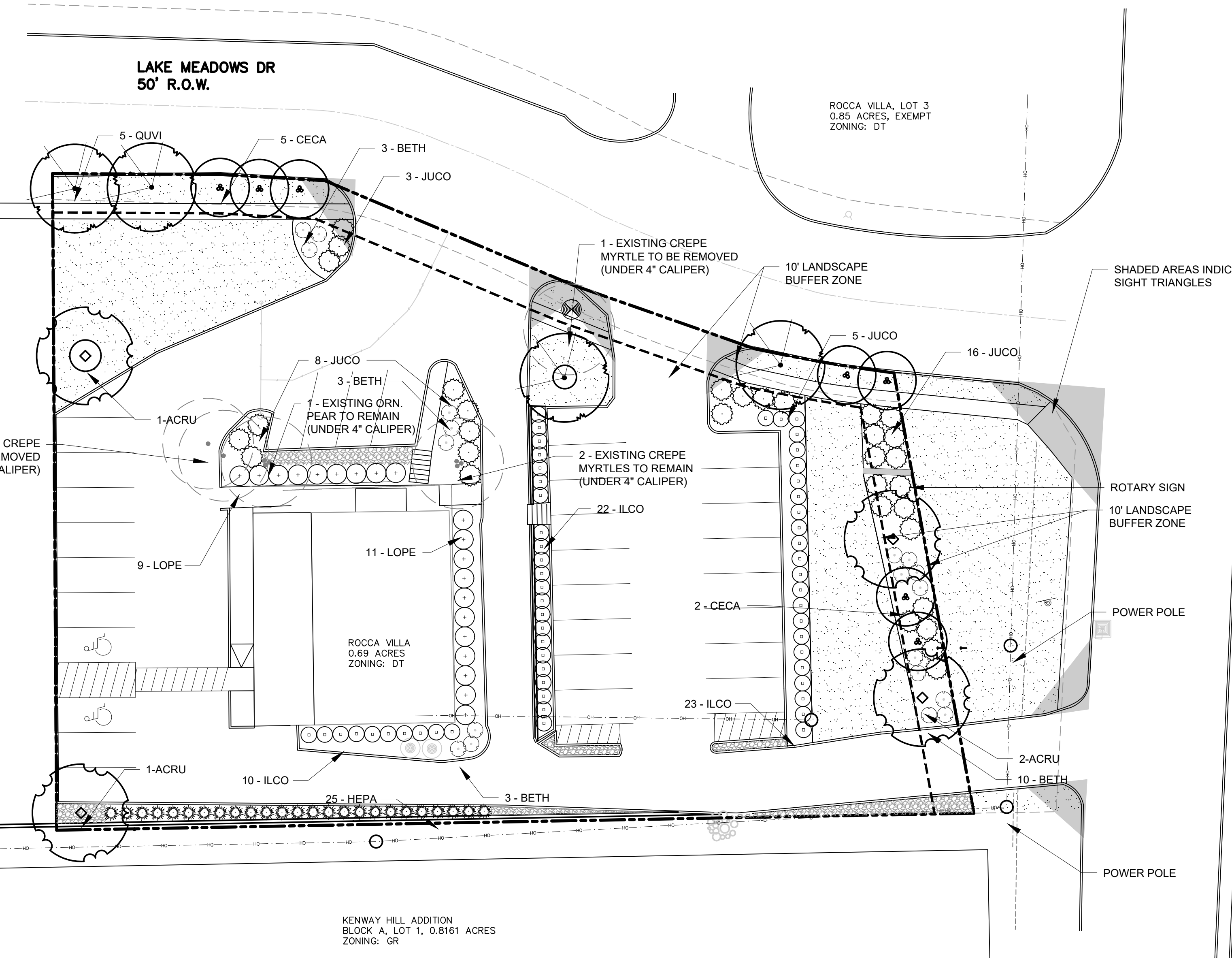
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	19	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFORD HOLLY	5 gallon	55	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	32	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	20	

<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep, Lay over permeable landscape fabric				

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

ROCCA VILLA  
(BENT CREEK CONDO)  
UNIT 101, BUILDING 1  
101 LAKE MEADOWS DR  
ZONING: MF-14

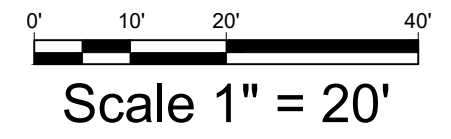


**LANDSCAPE STANDARDS**

- 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**  
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY: 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
- S. GOLIAD ST. - ±116' STREET FRONTAGE:**  
2 CANOPY TREES, 2 ACCENT TREES REQUIRED  
2 MAPLE (CANOPY), 2 REDBUD (ACCENT) PROVIDED
- LAKE MEADOWS DR. ±225' STREET FRONTAGE:**  
5 CANOPY TREES, 5 ACCENT TREES REQUIRED  
4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED  
UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS
- 05.02 LANDSCAPE SCREENING**  
REQ. HEADLIGHT SCREENING: HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS  
PROVIDED SCREENING: HOLLY SHRUBS PLANTED ALONG PARKING SPACES
- 05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT**  
TOTAL SITE AREA: ±35,301 SF  
LANDSCAPE AREA REQUIRED TOTAL SITE: ±7,060 SF (20%)  
LANDSCAPE PROVIDED, TOTAL SITE: ±10,769 SF (30%)
- LOCATION OF LANDSCAPING:** MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS:** ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASINS:** NONE PROPOSED
- PARKING LOT LANDSCAPING:** MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.  
PROPOSED PARKING AREA: ±11,824 SF  
REQ. PARKING LOT LANDSCAPING: ±591 SF (6.3%)  
PROPOSED PARKING LOT LANDSCAPING: ±750 SF (6.3%)  
REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

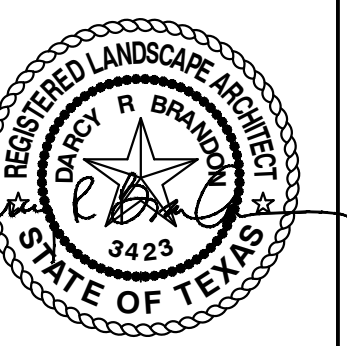
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning



05/05/2021

Owner  
Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

Project Name  
Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

**Landscape Planting Plan**

Date	Comment

Project Number: SP2021-013  
Date: 05/05/2021  
Drawn By: DB  
Checked By: DB/RM

**LP-1**

**PLANTING SPECIFICATIONS**

**GENERAL**

**A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**

- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

**B. SCOPE OF WORK**

- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES AND DETAILS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

**PRODUCTS**

- ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
  - FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITH A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS S-SHARED ROOTS).
  - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN DIAMETER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER; pH RANGE OF 6.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING AGENCY (SEE BELOW).
- MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- TREE STAKING AND GUYING:
  - STAKES: 6' LONG GREEN METAL T-POSTS.
  - CUT AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

**METHODS**

**A. SOIL PREPARATION**

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- SOIL TESTING:
  - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
  - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
  - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
  - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERALS, ORNAMENTAL PLANTS, PERENNIALS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT AND FOR LONG TERM MAINTENANCE.
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
  - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
    - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
    - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
    - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

**B. SUBMITTALS**

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
- SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

**C. GENERAL PLANTING**

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES:
  - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD. TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

**D. TREE PLANTING**

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
- INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE FINISH GRADE.
- BACKFILL THE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD REMOVAL OF ALL DEBRIS BE DETERMINED TO STILL BE NECESSARY, IMPORT TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
- TREES SHALL NOT BE PLANTED IN AREAS WITH HIGH WINDS OR SLOPES. REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. TREE STAKING SHALL BE PERFORMED AS FOLLOWS:
  - 1-1/2" TREES: THREE STAKES PER TREE
  - 2-1/2" - 4" TREES: THREE STAKES PER TREE
  - TREES OVER 4" CALIPER: GUY AS NEEDED
  - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
  - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

**E. SHRUB, PERENNIAL, AND GROUND COVER PLANTING**

- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
- WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

**F. SODDING**

- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
- LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO FORM JOINTS IN ADJACENT COURSES.
- ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

**G. MULCH**

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
- DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

**H. CLEAN UP**

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

**I. INSPECTION AND ACCEPTANCE**

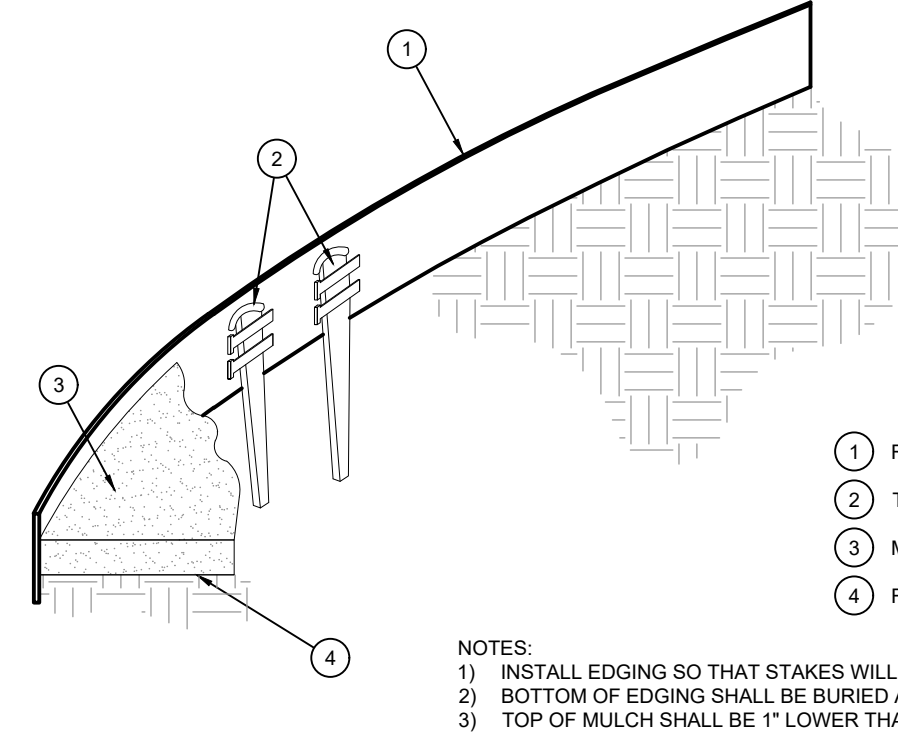
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

**J. LANDSCAPE MAINTENANCE**

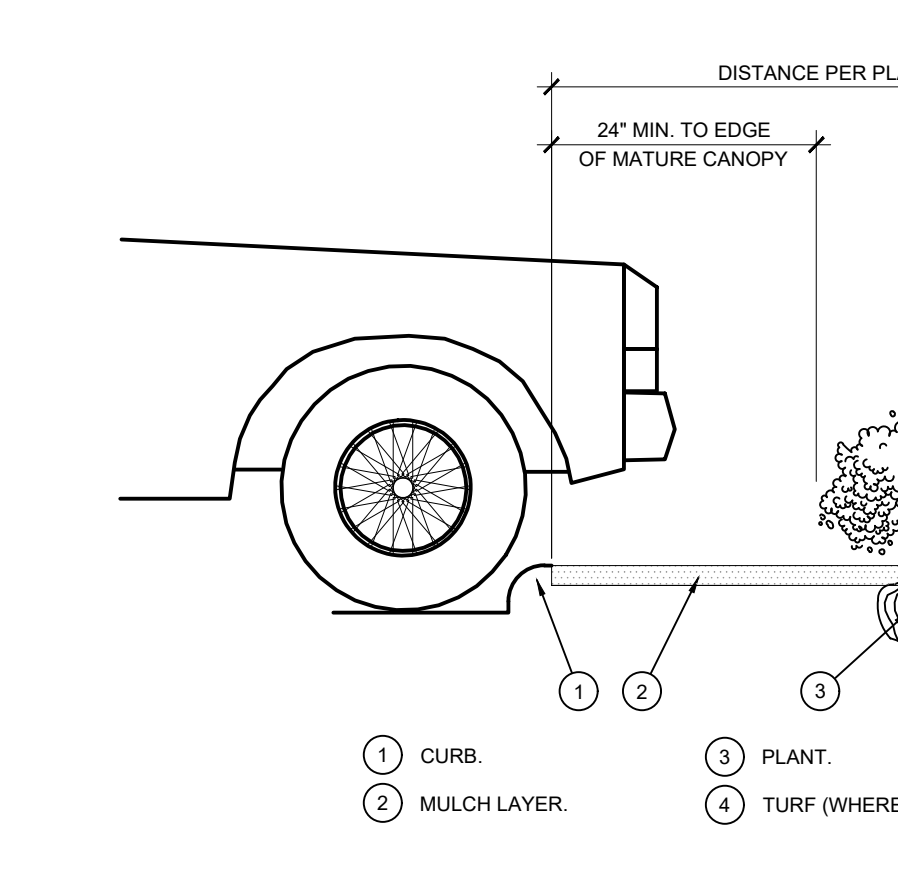
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING, AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
  - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

**L. DRAWINGS**

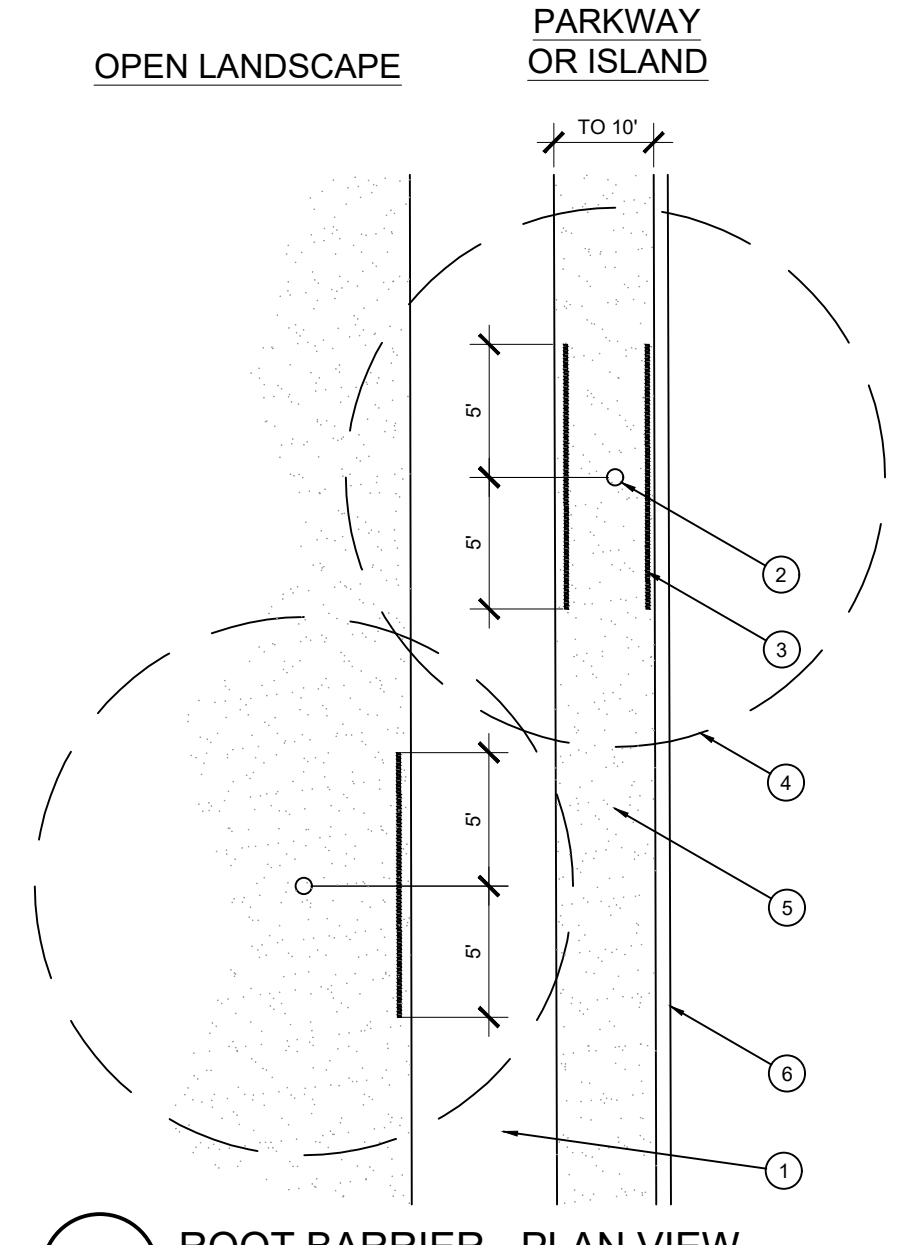
- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDUM, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



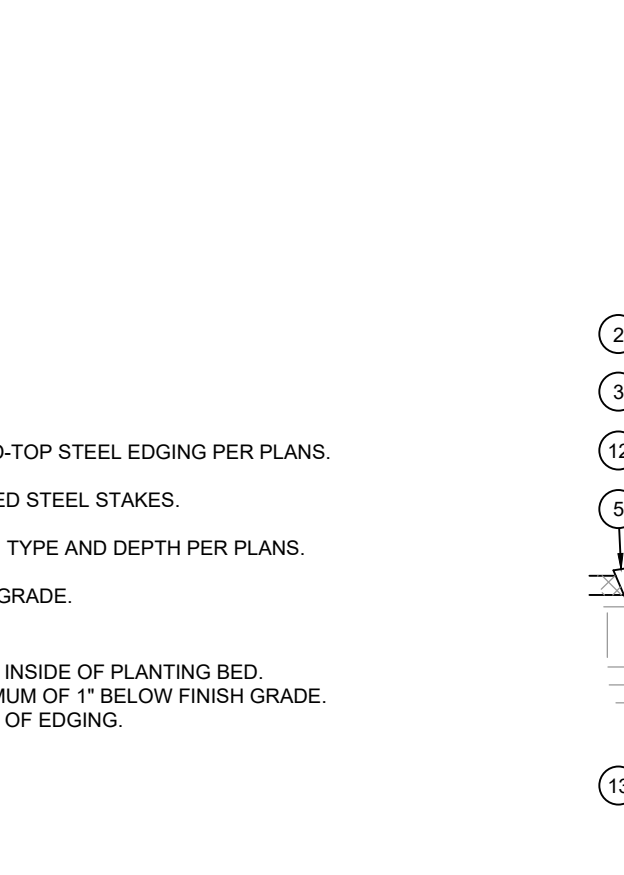
**D STEEL EDGING**  
SCALE: NOT TO SCALE



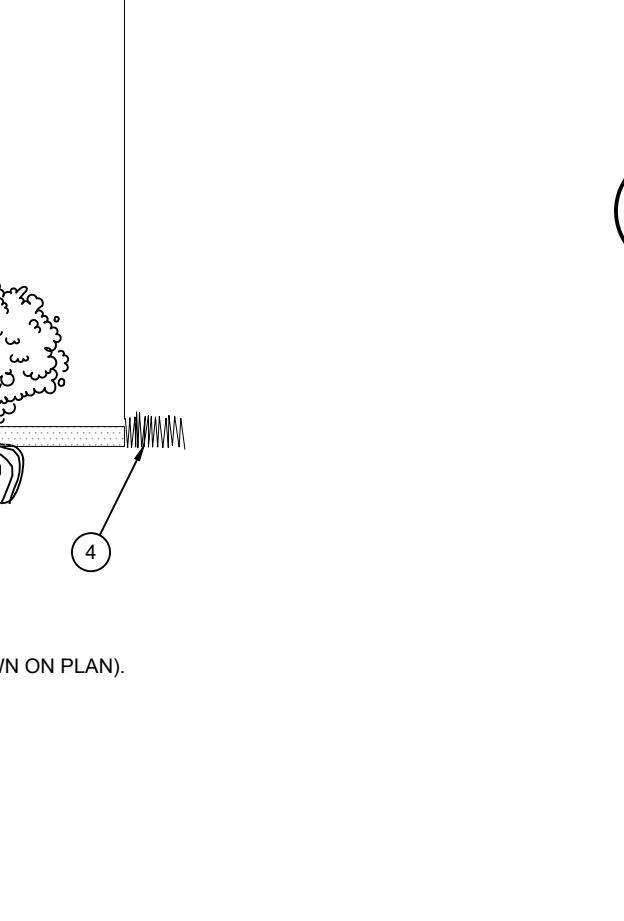
**E PLANTING AT PARKING AREA**  
SCALE: NOT TO SCALE



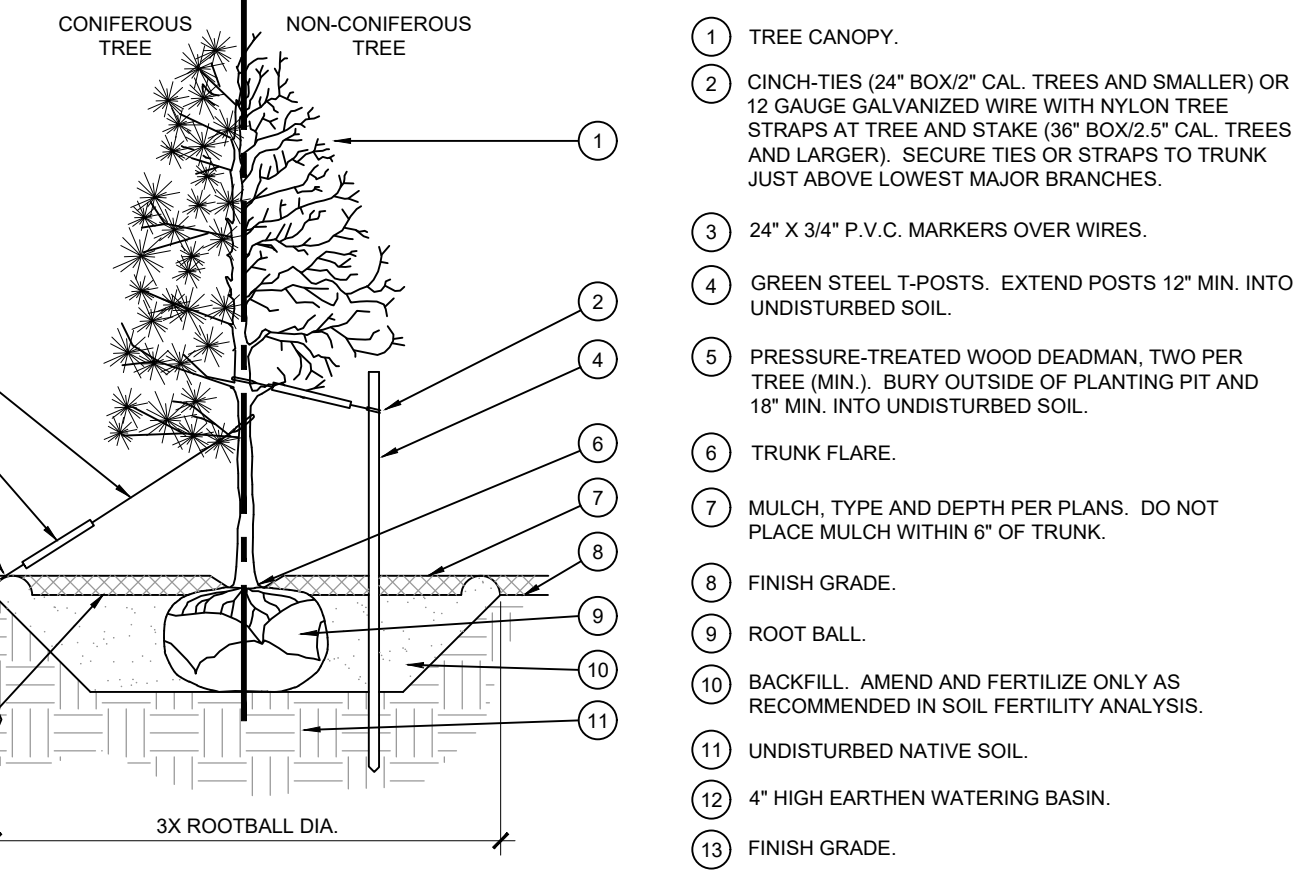
**F ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



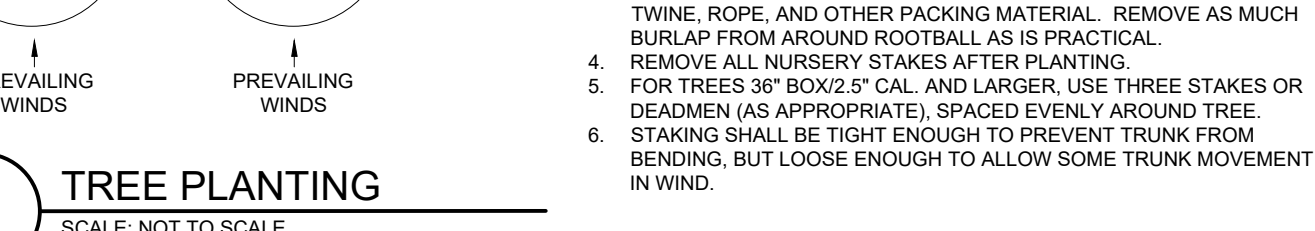
**A TREE PLANTING**  
SCALE: NOT TO SCALE



**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



**C STAKING EXAMPLES (PLAN VIEW)**



**D PREVALUING WINDS**

- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  - REMOVE EXCESS SOIL COVERED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
  - FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  - REMOVE ALL NURSERY STAKES AFTER PLANTING.
  - FOR TREES 36" BOX/2.5' CAL. AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
  - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK MOVEMENT IN WIND.

- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

(800) 680-6630  
15455 Dallas Pkwy., Ste 600  
Addicks, TX 75001  
www.EvergreenDesignGroup.com

05/05/2021

Owner  
**Rockwall Rotary Foundation**  
408 S. Goliad Street  
Rockwall, TX 75086

Project Name  
**Rockwall Rotary Foundation**  
408 S. Goliad Street  
Rockwall, TX 75086

**Landscape Planting Details & Specs.**

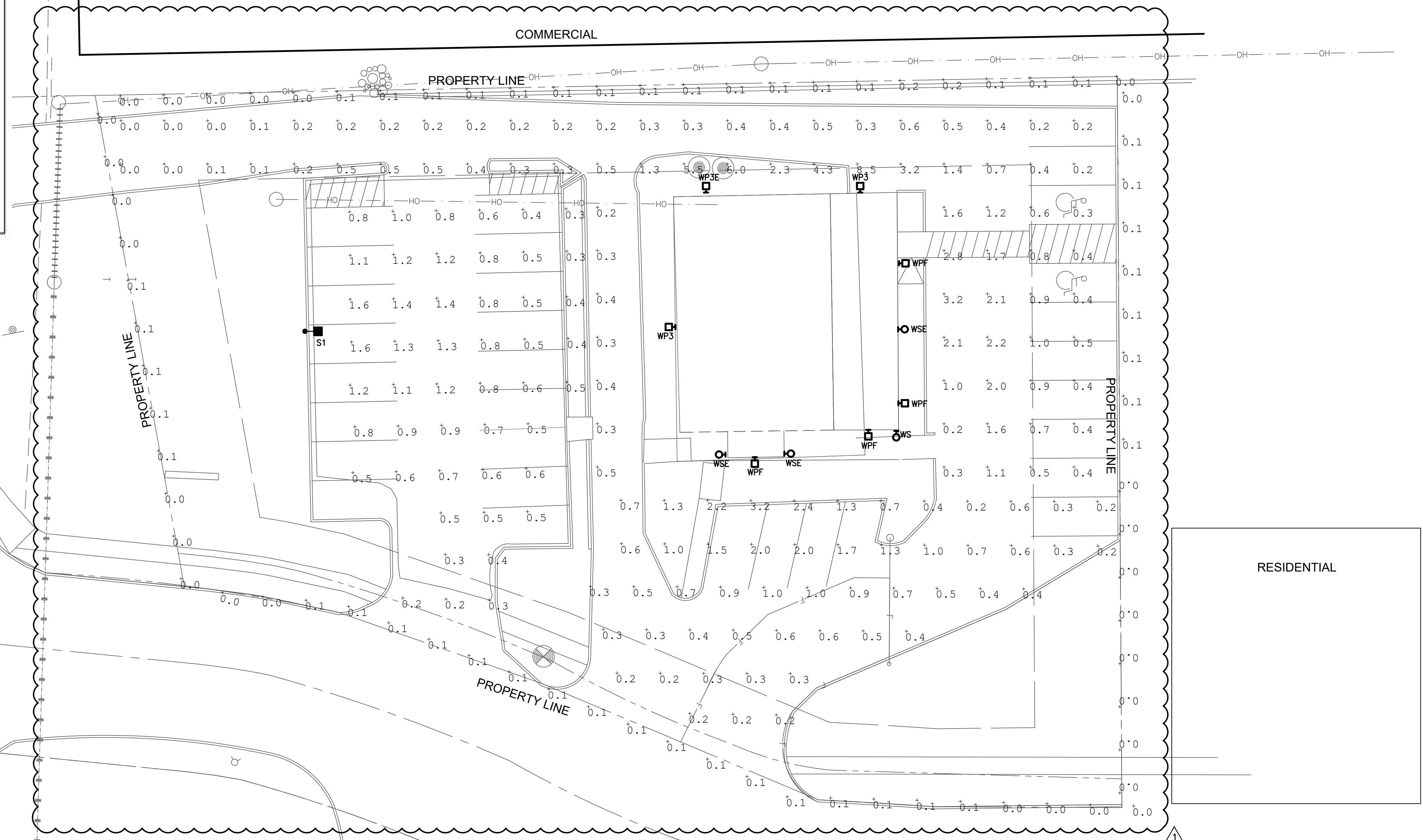
Date	Comment

Project Number **SP2021-013**  
Date **05/05/2021**  
Drawn By **DB**  
Checked By **DB/RM**

SITE DATA TABLE

<b>EXISTING ZONING</b>	DT
<b>PROPOSED USE</b>	COMMERCIAL
<b>SITE AREA</b>	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF
	15 STANDARD STALLS
	1 ACCESSIBLE STALLS
PARKING PROVIDED	29 STANDARD SPACES
	2 ACCESSIBLE SPACES
<b>NOTE: PROPERTY IS CURRENTLY PLATTED</b>	

FIXTURE TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPING TYPE		VOLTAGE	MOUNTING	FINISH	NOTES
				NO.					
				K	L				
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10WC"	1	38W 3327L 4000K 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WPF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	1	69W 5688L 4000K 70CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF UON
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE=PROVIDE 90 MIN EM INVERTER	1	21W 1047L 4000K 85CRI	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	CSX1 LED P1 40K 1FTM MVOLT NLTAIR2 HS SSS20-4C-DM 19-DBLXD	1	54W 6963L 4000K 85CRI	120V	Pole	Black	MOUNT AT 20' AFF



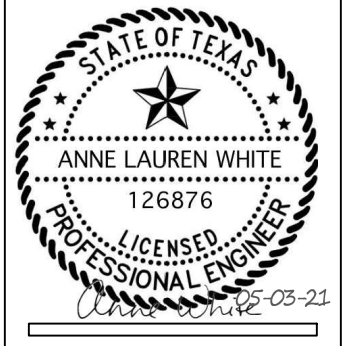
STATISTICS					
AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

**1** SITE PLAN - PHOTOMETRIC  
SCALE: 1/16" = 1'-0"

**SITE PLAN SIGNATURE BLOCK**  
**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.  
**WITNESS OUR HANDS,** this \_\_\_\_\_ day of \_\_\_\_\_, 2016.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

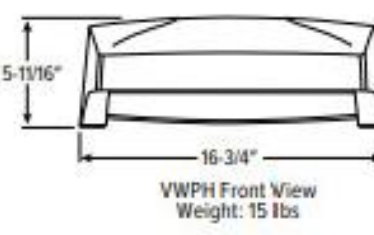
**SIMS ENGINEERING, LLC**  
 11700 EASTON ROAD, SUITE 600 #154  
 DALLAS, TEXAS 75220 | 214.255.5571  
 WWW.SIMS-ENG.COM | REG. # 10774

**METHOD architecture**  
 1919 MCKINNEY AVE., SUITE 2011  
 DALLAS, TEXAS 75201  
 (469) 640-6331



**ROTARY CLUB**  
 ROCKWALL  
 488 S GOLIAD ST.  
 ROCKWALL, TX 75087  
 PM: \_\_\_\_\_ DR: \_\_\_\_\_  
 PROJECT: **MB205016**  
 SHEET: **E1.02**  
 SITE PLAN  
 PHOTOMETRIC  
 SP2021-013

**VWP LED**  
Voitaire Architectural Wall Pack



CATALOG # \_\_\_\_\_  
TYPE \_\_\_\_\_  
PROJECT \_\_\_\_\_

**FEATURES**

- Designed to illuminate sidewalks, entryways, porches or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here® in the USA

**SPECIFICATIONS**

- HOUSING** – Die-cast aluminum enclosure.
- THERMAL MANAGEMENT** – Integral die-cast aluminum heat sink and LED assembly provide passive thermal management. Rated 30°C to 40°C ambient operating temperature (20°C to 40°C with EM10WC, 0°C to 35°C with EM14W).
- OPTICAL SYSTEM** – Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY** – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
- LED DRIVER** – 0-10V dimming.
- ELECTRICAL** – 120-277, 347, and 480 VAC input range; 50-60Hz; power factor > 90; THD < 20% at full load; FCC Class A compliant; 50A/100V surge protection standard. Quick-disconnect wiring provided. L70 > 50,000 hours per IES TM-21.
- FINISH** – Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal. Meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING** – Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPV = 15 lbs, VWPV = 23 lbs).
- LISTINGS** – eSaves certified as luminaire suitable for wet locations.
- DesignLights Consortium qualified

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

**ORDERING INFO**

SERIES	TYPE	LUMENS (1)	CRI	CCT	DISTRIBUTION (2)
VWP	H Horizontal	L30 3,000lm	70	30 3000K	T3 Type III
	V Vertical	L60 6,000lm	40	40 4000K	TFT Type Forward throw
			50	50 5000K	

**FINISH OPTIONS (3)**

FINISH	SHIELDING
BLK Black (RAL #9004)	SDGL Micro-prismatic tempered glass lens
DBZ Dark bronze	CGL Clear tempered glass lens
DBR Medium bronze	
GRAY Standard gray	
SLV Satin aluminum (RAL #9006)	
WHT White (RAL #9003)	

**OPTIONS**

OPTION	CONTROL	VOLTAGE
EM14W 4-watt integral emergency LED driver (4)	DIM Dimming driver prewired for 0-10V controls	120 120V
SF Single fuse (4)		208 208V
DF Double fuse (4)		240 240V
PC Factory-installed button-style photocell (7)		277 277V
HS6X Empty housing extension used to match units with EM, OCC, or conduit entry options.		UNV 120-277V
TP Tamper-resistant Torx head screws (4)		347 347V (4)
		480 480V (4)

**CONDUIT ENTRY (8)**

OPTION	CONTROL	VOLTAGE
CR Right side conduit entry (TM)		
CL Left side conduit entry (TM)		
CD Dual conduit entry		

**VWPV ONLY**

OPTION	CONTROL	VOLTAGE
EM10WC 10-watt emergency LED driver (12)		
OCCWS FSP-311-L Factory-installed occupancy sensor (12)		

**ACCESSORIES**

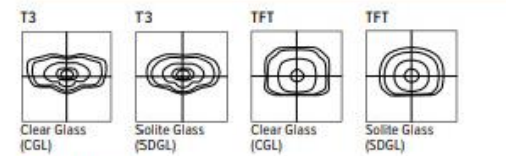
OPTION	CONTROL	VOLTAGE
TPFX-25 TOOL Tamper-resistant tool for Torx head screws. (TM)		

**VWP LED**  
Voitaire Architectural Wall Pack

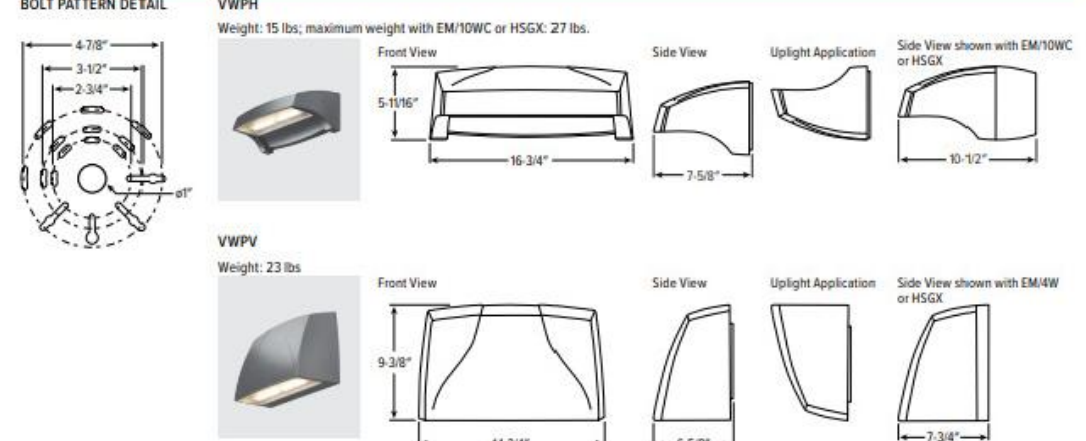
**FIXTURE PERFORMANCE DATA**

LED PACKAGE	DISTRIBUTION	MATRIX	CCT	DEPTH (CLASSIFIED)	DEPTH (CLASSIFIED)	DEPTH (CLASSIFIED)	DEPTH (CLASSIFIED)	DEPTH (CLASSIFIED)	DEPTH (CLASSIFIED)	BUS RATINGS
L30	T3	36	3000	3750	88.2	2953	82.3			B1-100-01
			4000	3327	82.4	2595	76.3			
			5000	3438	85.5	2359	89.1			
			5000	2779	79.4	2133	79.4			
L60	T3	70	3000	2844	79.0	2055	73.8			B1-100-01
			4000	2579	81.6	1841	82.3			
			5000	2619	84.8	1687	84.1			
			5000	2129	81.4	1572	82.2			
L30	TFT	36	3000	3895	94.0	3160	87.8			B1-100-01
			4000	3450	88.2	2886	80.4			
			5000	3501	91.2	2636	83.4			
			5000	2980	86.2	2401	77.8			
L60	TFT	70	3000	3023	88.2	2385	80.4			B2-100-01
			4000	2701	88.2	2157	80.2			
			5000	2722	87.2	1937	82.2			
			5000	2229	87.2	1800	82.0			

**DISTRIBUTION DETAILS**



**BOLT PATTERN DETAILS**



using extension when specified with conduit tube depth. Conduit entry provided with 1/2" lead and plug. Increases fixture height, e supplied by others. Left and right when if fixture.  
viewed from behind fixture.  
viewed from behind fixture.  
includes housing extension increases fixture height, not available with CR and CD options. See DETAILS.  
extension (increases fixture depth), must age 3 for OCCUPANCY SENSOR DETAILS. transformer.  
Note: must be ordered separately. Please consult our contact.

Wall luminaire – two-sided narrow beam light distribution



**Application**

LED wall mounted luminaire with light emission on two sides. The narrow beam light distribution of the luminaire is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

**Materials**

Luminaire housing and faceplates constructed of extruded and die-cast marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy  
Clear safety glass  
Reflectors made of pure anodized aluminum  
High temperature silicone gaskets  
Mechanically captive stainless steel fasteners  
Stainless steel helicoils

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP 65  
Weight: 7.5 lbs

**Electrical**

Operating voltage 120-277VAC  
Minimum start temperature -40° C  
LED module wattage 15.8W  
System wattage 21.0W  
System wattage 0-10V dimmable  
Color rendering index Ra > 80  
Luminaire lumens 1,047 lumens (3000K)  
LED service life (L70) 60,000 hours

**LED color temperature**

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**
- Amber - Product number + **AMB**

**Wildlife friendly amber LED - Optional**

Luminaire is optionally available with a narrow bandwidth, amber LED source (565-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

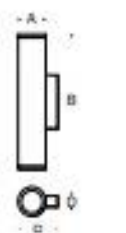
**LED module wattage**

18.0W (Amber)  
22.5W (Amber)  
384 lumens (Amber)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors:  Black (BK)  White (WHT)  RAI  Bronze (BRZ)  Silver (SLV)  CUS



Wall luminaire – two-sided narrow beam light distribution

LED	β	A	B	C	D	Required wiring box	
66516	15.8W	20°	4%	19%	6%	1%	19537

β = Beam angle

**Available Accessories**

- **70547** Surface mounted wiring box
- See individual accessory spec sheet for details.

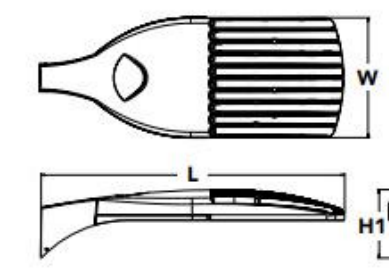


**D-Series Size 1**  
LED Area Luminaire



**Specifications**

EPA:	1.01 ft <sup>2</sup> (0.094 m <sup>2</sup> )
Length:	33" (843mm)
Width:	13" (330mm)
Height H1:	7-1/2" (190mm)
Height H2:	3-1/2" (89mm)
Weight (max):	27 lbs (12.3kg)



The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

**Ordering Information** EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DBDXD

Series	LED	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	P7	40K	T3M	MVOLT	SPA
	P7	40K	T3M	SPA	NLTAIR2
	P7	40K	T3M	SPA	PIRHN
	P7	40K	T3M	SPA	DBDXD

Control options	Other options	Finish	Accessories
Shipped installed NLTAIR2 Night 48 generation 2 enabled (1) PIRHN Night 48 generation 2 enabled (1) PIRHN Night 48 generation 2 enabled (1) PIRHN Night 48 generation 2 enabled (1) PIRHN Night 48 generation 2 enabled (1)	FR High flow, medium/ambient beam, 8-15 mounting height, ambient sensor enabled at 36" PRN High flow, medium/ambient beam, 15-30 mounting height, ambient sensor enabled at 36" PRN High flow, medium/ambient beam, 8-15 mounting height, ambient sensor enabled at 36" PRN High flow, medium/ambient beam, 15-30 mounting height, ambient sensor enabled at 36" PRN High flow, medium/ambient beam, 8-15 mounting height, ambient sensor enabled at 36"	DBDXD Dark bronze DBDXD Black DNAXD Natural aluminum PIRND White DBDXD Beveled dark bronze DBDXD Beveled black	70547 Surface mounted wiring box

**Performance Data**

**Lumen Output**

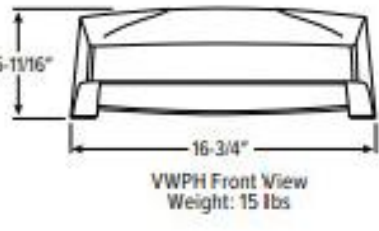
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Contact Factory for performance data on any configurations not shown here.

LED Config	Drive Current	Power Package	System Watts	Dist. Type	Beam										
					15°					30°					
					Lumens	lm/W	lm/ft <sup>2</sup>	lm/ft <sup>2</sup>	lm/ft <sup>2</sup>	Lumens	lm/W	lm/ft <sup>2</sup>	lm/ft <sup>2</sup>	lm/ft <sup>2</sup>	
30	530	P1	54W	T15	4,457	21.0	2.126	4,956	23.0	2.126	7,044	21.0	2.126		
				T5	4,457	21.0	2.126	4,956	23.0	2.126	7,044	21.0	2.126		
				T3M	4,483	21.0	2.126	4,984	23.0	2.126	7,073	21.0	2.126		
				T3M	4,279	21.0	2.126	4,784	22.0	2.126	6,870	21.0	2.126		
30	700	P2	70W	T15	4,480	21.0	2.126	4,984	23.0	2.126	7,073	21.0	2.126		
				T5	4,480	21.0	2.126	4,984	23.0	2.126	7,073	21.0	2.126		
				T3M	4,327	21.0	2.126	4,831	22.0	2.126	6,920	21.0	2.126		
				T3M	4,124	21.0	2.126	4,628	21.0	2.126	6,710	21.0	2.126		
30	1050	P3	102W	T15	4,732	21.0	2.126	5,236	24.0	2.126	7,324	21.0	2.126		
				T5	4,732	21.0	2.126	5,236	24.0	2.126	7,324	21.0	2.126		
				T3M	4,528	21.0	2.126	5,032	23.0	2.126	7,120	21.0	2.126		
				T3M	4,325	21.0	2.126	4,829	22.0	2.126	6,910	21.0	2.126		
30	1250	P4	120W	T15	4,979	21.0	2.126	5,483	25.0	2.126	7,576	21.0	2.126		
				T5	4,979	21.0	2.126	5,483	25.0	2.126	7,576	21.0	2.126		
				T3M	4,775	21.0	2.126	5,277	24.0	2.126	7,372	21.0	2.126		
				T3M	4,572	21.0	2.126	5,074	23.0	2.126	7,168	21.0	2.126		

**SITE PLAN SIGNATURE BLOCK**  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
\_\_\_\_\_  
Director of Planning and Zoning

# VWP LED

Voitairre Architectural Wall Pack



CATALOG #:

TYPE:

PROJECT:



## FEATURES

- Designed to illuminate sidewalks, entryways, porches or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here® in the USA

## SPECIFICATIONS

- HOUSING** – Die-cast aluminum enclosure.
- THERMAL MANAGEMENT** – Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated 30°C to 40°C ambient operating temperature (20°C to 40°C with EM10WC, 0°C to 35°C with EM14W).
- OPTICAL SYSTEM** – Precision, injection-molded, reflective acrylic lensing produces standard IES distributions.
- LED ASSEMBLY** – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CR LEDs.
- LED DRIVER** – 0-10V dimming.
- ELECTRICAL** – 120-277, 347, and 480 VAC input range; 50-60Hz; power factor > 90, THD < 20%, at full load; FCC Class A compliant; 50A/10kV surge protection standard. Quick-disconnect wiring provided. L70 > 50,000 hours per IES TM-21.
- FINISH** – Super durable polyester powder coat bonded to phosphate-free, multi-stage pre-treated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING** – Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPV = 15 lbs, VWPV = 23 lbs).
- LISTINGS**
  - cULus certified as luminaire suitable for wet locations.
  - DesignLights Consortium qualified

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

## ORDERING INFO

SERIES	TYPE	LUMENS <sup>(1)</sup>	CRI	CCT	DISTRIBUTION <sup>(2)</sup>
VWP	H Horizontal	L30 3,000lm	70	30 3000K	T3 Type III
	V Vertical	L60 6,000lm	40 4000K	50 5000K	TFT Type Forward throw

## FINISH OPTIONS<sup>(3)</sup>

FINISH	DESCRIPTION
BLK	Black (RAL #9004)
DBZ	Dark bronze
DBR	Medium bronze
GRAY	Standard gray
SLV	Satin aluminum (RAL #9006)
WHT	White (RAL #9003)

## SHIELDING

SHIELDING	DESCRIPTION
SDGL	Micro-prismatic tempered glass lens
CGL	Clear tempered glass lens

## OPTIONS

OPTION	DESCRIPTION
EM14W	4-watt integral emergency LED driver <sup>(4)</sup>
SF	Single fuse <sup>(4)</sup>
DF	Double fuse <sup>(4)</sup>
PC	Factory-installed button-style photocell <sup>(7)</sup>
HS6X	Empty housing extension used to match units with EM, OCC, or conduit entry options.
TP	Tamper-resistant Torx head screws. <sup>(8)</sup>

## CONTROL

CONTROL	DESCRIPTION
DIM	Dimming driver prewired for 0-10V controls

## VOLTAGE

VOLTAGE	DESCRIPTION
120 120V	
208 208V	
240 240V	
277 277V	
UNV 120-277V	
347 347V <sup>(6)</sup>	
480 480V <sup>(6)</sup>	

## CONDUIT ENTRY<sup>(9)</sup>

CONDUIT ENTRY	DESCRIPTION
CR	Right side conduit entry <sup>(10)</sup>
CL	Left side conduit entry <sup>(10)</sup>
CD	Dual conduit entry

## VWPV ONLY

VWPV ONLY	DESCRIPTION
EM10WC	10-watt emergency LED driver <sup>(12)</sup>
OCCWS FSP-311-L	Factory-installed occupancy sensor <sup>(13)</sup>

## ACCESSORIES

ACCESSORY	DESCRIPTION
TPFX-25 TOOL	Tamper-resistant tool for Torx head screws. <sup>(14)</sup>

# VWP LED

Voitairre Architectural Wall Pack

## FIXTURE PERFORMANCE DATA

LEDRATING	DISTRIBUTION	MATERIAL	CCT	CLEAR GLASS (CGL)			SMOKE GLASS (SDGL)			BUG RATINGS
				BEHAVIOR (LUMENS)	STRUCTURE (W)	BEHAVIOR (LUMENS)	STRUCTURE (W)	BEHAVIOR (LUMENS)	STRUCTURE (W)	
L30	T3	36	3000	3750	88.2	2953	82.3	B100-01		
			5000	3327	82.4	2555	76.3			
		5000	3438	85.5	2329	69.1				
		5000	2770	79.4	2153	70.4				
	TFT	36	3000	2844	79.0	2055	73.8	B100-01		
			5000	2178	81.6	2143	80.2			
		70	3000	5833	84.8	5887	84.1	B100-01		
			5000	4570	86.4	4772	88.2			
L60	T3	70	3000	4833	87.6	3776	85.1	B2100-01		
			5000	3438	81.3	3329	75.8	R2100-01		
		TFT	3000	3438	81.3	3329	75.8	B2100-01		
			5000	2178	81.6	2143	80.2			
	36	70	3000	3750	88.5	2958	80.8	B100-01		
			5000	2850	84.0	2170	77.8			
		TFT	3000	3023	86.2	2896	80.4	B2100-01		
			5000	2088	81.2	2071	77.6			
L90	T3	10	3000	4737	86.7	3377	80.2	B2100-02		
			5000	3438	81.3	3029	77.4			
		TFT	3000	3438	81.3	3029	77.4	B2100-01		
			5000	2178	81.6	2143	80.2			
	36	10	3000	3885	84.0	2856	77.8	B100-01		
			5000	2850	79.0	2170	74.8			
		TFT	3000	3023	86.2	2896	80.4	B2100-01		
			5000	2088	81.2	2071	77.6			
L120	T3	10	3000	6737	86.7	4377	80.2	B3100-01		
			5000	5029	81.3	4000	80.0			
		TFT	3000	5029	81.3	4000	80.0	B3100-01		
			5000	3438	81.3	3029	77.4			
	36	10	3000	3885	84.0	2856	77.8	B100-01		
			5000	2850	79.0	2170	74.8			
		TFT	3000	3023	86.2	2896	80.4	B2100-01		
			5000	2088	81.2	2071	77.6			

- Photometric tested in accordance with IESNA LM-79. Results shown are based on 10°C ambient temperature.
- Medium beam settings for 120V through 277V input.

using extension when specified with conduit tube depth. Conduit entry provided with 1/2" thread and plug. Increases fixture height, as supplied by others. Left and right when 0 fixture.

viewed from behind fixture.

viewed from behind fixture.

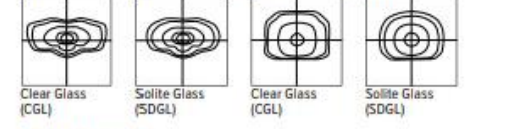
includes housing extension increases fixture height, not available with CR and CD options. See DETAILS.

extension (increases fixture depth), must age 3 for OCCUPANCY SENSOR DETAILS.

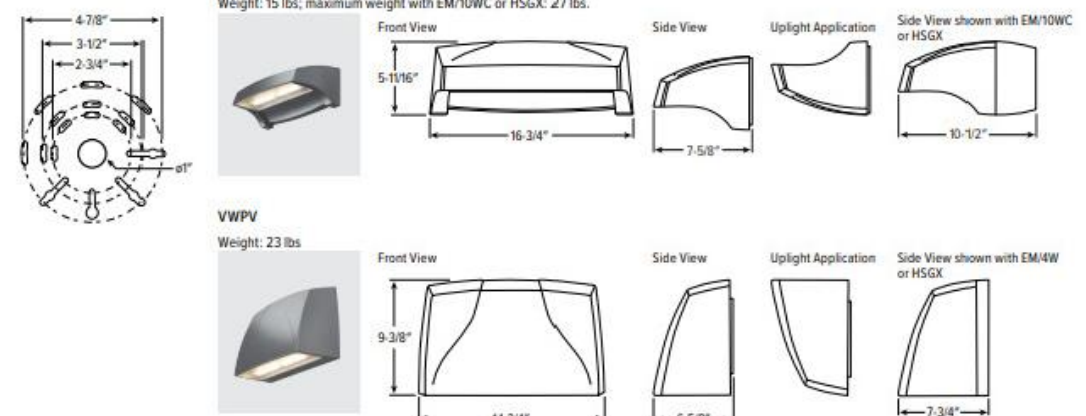
transformer.

Model must be ordered separately. Please consult our contact.

## DISTRIBUTION DETAILS



## BOLT PATTERN DETAIL



## Wall luminaire – two-sided narrow beam light distribution

BEGA

## Application

LED wall mounted luminaire with light emission on two sides. The narrow beam light distribution of the luminaire is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

## Materials

Luminaire housing and faceplates constructed of extruded and die-cast marine grade, copper free (≤ 0.3% copper content) A380.0 aluminum alloy. Clear safety glass. Reflectors made of pure anodized aluminum. High temperature silicone gaskets. Mechanically captive stainless steel fasteners. Stainless steel helicoils.

NRTL listed to North American Standards, suitable for wet locations. Protection class IP 65. Weight: 7.5 lbs.

## Electrical

Operating voltage: 120-277VAC  
Minimum start temperature: -40° C  
LED module wattage: 15.8W  
System wattage: 21.0W  
Controllability: 0-10V dimmable  
Color rendering index: Ra > 80  
Luminaire lumens: 1,047 lumens (3000K)  
LED service life (L70): 60,000 hours

## LED color temperature

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

## Wildlife friendly amber LED - Optional

Luminaire is optionally available with a narrow bandwidth, amber LED source (565-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

## LED module wattage

LED module wattage: 18.0W (Amber)  
System wattage: 22.5W (Amber)  
Luminaire lumens: 384 lumens (Amber)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

## Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors:  Black (BK)  White (MNT)  RAL  
 Bronze (BRZ)  Silver (SLV)  CUS:



LED	β	A	B	C	D	Required wiring box	
66516	15.8W	20°	4%	19%	6%	1%	19537

β = Beam angle

## Available Accessories

- 70547** Surface mounted wiring box. See individual accessory spec sheet for details.



## D-Series Size 1

LED Area Luminaire



Specification	Value
EPA:	1.01 ft <sup>2</sup> (0.09m <sup>2</sup> )
Length:	33" (838mm)
Width:	13" (330mm)
Height H1:	7-1/2" (190mm)
Height H2:	3-1/2" (89mm)
Weight (max):	27 lbs (12.3kg)

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBX0

Series	LED	Color temperature	Distribution	Voltage	Mounting	Shipped included
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 4000K 5000K	T15 Type I short (Microbeam) T25 Type I short T3M Type II medium T35 Type III medium T4M Type IV medium T7M Forward throw medium	MVOLT <sup>(1)</sup> XVELT <sup>(2)</sup> 077V-480V <sup>(1)(3)</sup> 120 <sup>(1)</sup> 208 <sup>(1)</sup> 240 <sup>(1)</sup> 277 <sup>(1)</sup> 347 <sup>(1)</sup> 480 <sup>(1)</sup>		WXL1 Square pole mounting WXL2 Round pole mounting WBA Wall bracket SPURABA Square pole universal mounting adapter SPURABA Round pole universal mounting adapter

Control options	Other options	Shipped included
NSLR2 Night 10 generation 2 enabled <sup>(4)</sup>	FR High-flow, medium/ambient beam, 5-15 mounting height, ambient sensor enabled at 36"	DDBX0 Dark bronze DDBX2 Black DDBX4 Natural aluminum DDBX6 White DDBX8 Bronze DDBX00 Sealed back
PR0N Network, high/low medium/ambient sensor <sup>(5)</sup>	PRHN High-flow, medium/ambient beam, 15-30 mounting height, ambient sensor enabled at 36"	SF Single fuse (120, 277, 347V) <sup>(6)</sup>
PR0S Non-network, high/low medium/ambient sensor <sup>(5)</sup>	PRHCV High-flow, medium/ambient beam, 5-15 mounting height, ambient sensor enabled at 36"	SR Single fuse (208, 240, 480V) <sup>(6)</sup>
PER7 Seven-pin receptacle only (controls ordered separately) <sup>(7)</sup>	PRHICV Hi-beam, medium/ambient beam, 15-30 mounting height, ambient sensor enabled at 36"	LD0 Left-hand optics <sup>(8)</sup>

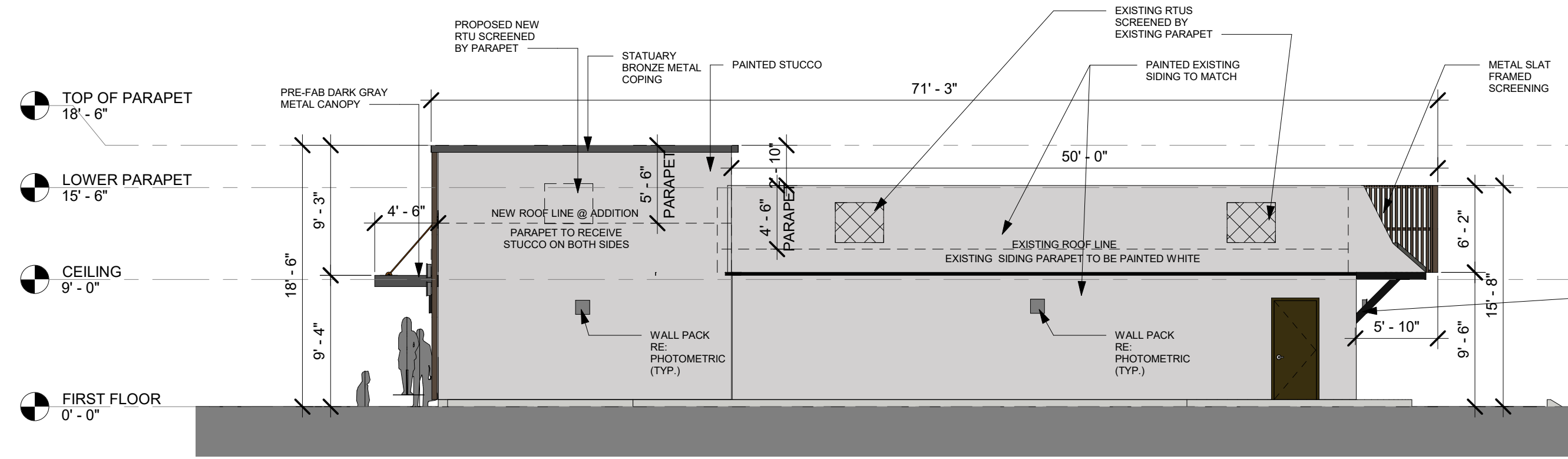
## Performance Data

### Lumen Output

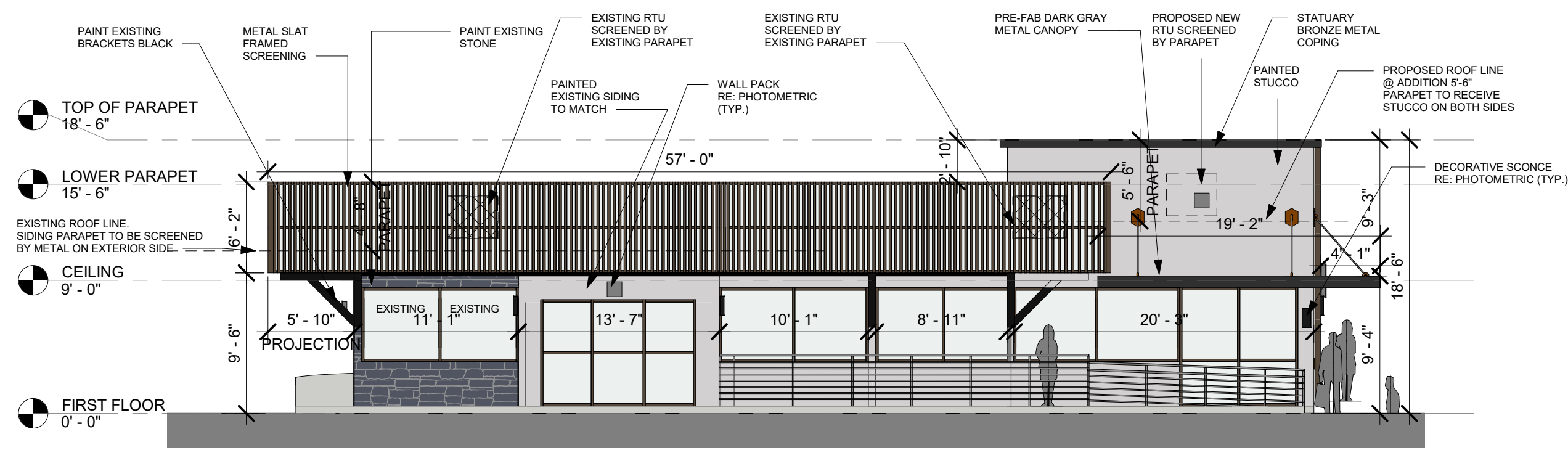
Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Contact Factory for luminaire data on any configurations not shown here.

LED Config	Beam Spread	Mounting Height	System Watts	Dist. Type	Forward Optics											
					50° (2000 K, 70-100)						15° (3000 K, 70-100)					
					Lumens	lm/W	lm/ft <sup>2</sup>	Lumens	lm/W	lm/ft <sup>2</sup>	Lumens	lm/W	lm/ft <sup>2</sup>	Lumens	lm/W	lm/ft <sup>2</sup>
30	530	P1	54W	T15	4,457	210	2	136	4,956	210	2	159	7,044	210	2	188
				T25	4,459	210	2	119	4,969	210	2	139	7,057	210	2	189
				T3M	4,483	210	1	100	4,984	210	2	129	7,073	210	2	191
				T35	4,279	210	2	116	4,764	210	2	125	6,830	210	2	177
				T4M	4,440	210	2	120	4,940	210	2	130	7,029	210	2	187
				T7M	4,327	210	2	117	4,816	210	2	126	6,962	210	2	182
				SDGL	4,464	210	2	129	4,961	210	2	138	7,051	210	2	190
				CGL	4,732	210	0	124	7,242	310	0	134	7,314	310	0	194
				REC0	4,738	210	0	125	7,248	310	0	134	7,348	310	0	194
				T4M	4,440	210	2	119	4,940	210	2	130	7,029	210	2	187
				T7M	4,467	210	2	123	5,012	210	2	133	7,213	210	2	192
				SDGL	4,464	210	2	129	4,961	210	2	138	7,051	210	2	190
CGL	4,943	210	0	123	4,444	110	2	79	4,302	110	2	80				
REC0	4,943	210	0	123	4,444	110	2	79	4,302	110	2	80				
T15	4,249	210	2	118	4,886	210	2	127	6,899	210	2	182				
T25	4,240	210	2	118	4,877	210	2	127	6,899	210	2	182				
T35	4,388	210	2	123	5,029	210	2	132	7,098	210	2	191				
T4M	4,431	210	2	115	4,841	210	2	123	6,975	210	2	185				
T7M	4,263	210	2	118												

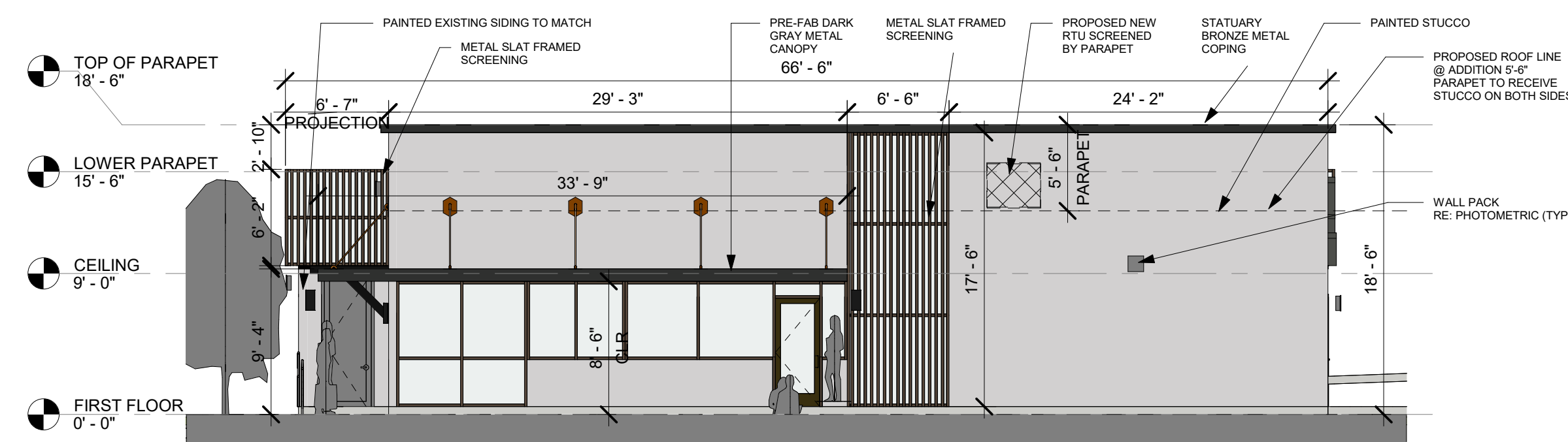




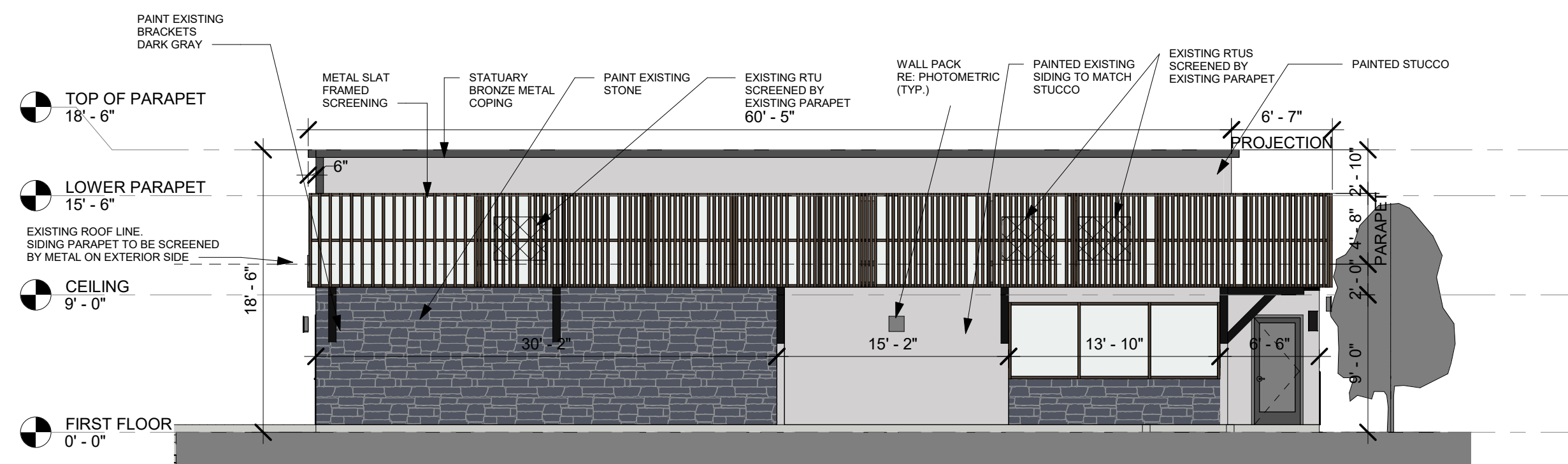
EXTERIOR ELEVATION - SOUTH 4  
1/8" = 1'-0"



EXTERIOR ELEVATION - NORTH 3  
FACES R.O.W. LAKE MEADOWS DRIVE 1/8" = 1'-0"



EXTERIOR ELEVATION - WEST 2  
1/8" = 1'-0"



EXTERIOR ELEVATION - EAST 1  
FACES R.O.W. S GOLIAD ST. 1/8" = 1'-0"

SOUTH ELEVATION-  
SECONDARY FACADE

NEW METAL COPING	22.53 SF	1.9%
NEW METAL CANOPY	3.56 SF	1.7%
NEW PAINTED STUCCO	373.5 SF	33%
EXISTING WOOD BRACKETS- PAINTED	5.47 SF	0.5%
NEW METAL SLAT SCREENING	22.75 SF	1.9%
EXISTING SIDING- PAINTED	670.73 SF	61%
TOTAL	1098.54 SF	100%

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PRIMARY FACADE

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NEW METAL CANOPY	15.14 SF	1.6%
NEW PAINTED STUCCO	176.3 SF	20.9%
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WEST ELEVATION-  
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NEW METAL SLAT SCREENING	155.87 SF	13.4%
EXISTING SIDING- PAINTED	24.39 SF	2.1%
NEW GLAZING	204.78 SF	17.1%
TOTAL	1,166.46 SF	100%

EAST ELEVATION-PRIMARY  
FACADE

NEW METAL COPING	30.46 SF	2.6%
NEW PAINTED STUCCO	170.46 SF	14.1%
EXISTING WOOD BRACKETS- PAINTED	22.81 SF	2%
NEW METAL SLAT SCREENING	410.48 SF	34%
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EXISTING STONE- PAINTED	317.38 SF	26.3%
EXISTING GLAZING	69.17 SF	5.7%
TOTAL	1206 SF	100%

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

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	EXISTING STONE - PAINTED COLOR: EVENING DOVE FINISH: MATTE



May 12, 2021

TO: Chris Maynor  
Z Constructors Nationwide, LLC  
201 W. Kaufman Street  
Richardson, Texas 75081

FROM: Henry Lee  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2021-013; *Site Plan for Rockwall Rotary Club*

Chris Maynor:

This letter serves to notify you that the above referenced case that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on May 11, 2021. The following is a record of all conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 771-7745.

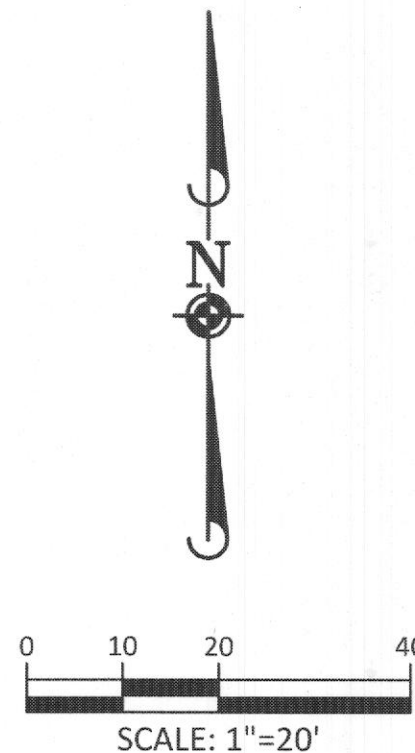
Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a circular stamp.

Henry Lee  
Planner

**NOTES**

1. NO EXISTING OR PROPOSED FENCES.
2. NO UTILITY EQUIPMENT PAD/GROUND OR ROOF MOUNTED.
3. NO EXISTING OR PROPOSED DUMPSTER.
4. FIRE HYDRANT DISTANCE IS LESS THAN 400' FROM BUILDING EXTERIOR, R=250' SHOWN TO FIT ON SITE PLAN.



**LEGEND**

⊕	DOUBLE CLEANOUT
⊙	SANITARY MANHOLE
□	JUNCTION BOX
□	CURB INLET
⊠	GRATE INLET
△	FDC
⊕	FIRE HYDRANT
—	BARRIER FREE RAMP
—	FIRE LANE

**SITE DATA TABLE**

EXISTING ZONING	DT
PROPOSED USE	COMMERCIAL
SITE AREA	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF 15 STANDARD STALLS 1 ACCESSIBLE STALL
PARKING PROVIDED	29 STANDARD SPACES 2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

**PAVING LEGEND**

[Hatched Box]	EXISTING ASPHALT TO BE MILLED AND OVERLAID
[Solid Grey Box]	SIDEWALK 4" 3,600 PSI (MIN. 6.5 SACK MIX) CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 6" COMPACTED SUBGRADE PER CITY OF ROCKWALL STANDARDS
[Diagonal Lines Box]	LOOP IN ACCESS TO ASSIST LAKE MEADOWS DRIVE AS FIRE APPARATUS TO ATTAIN 150' HOSE LAY DISTANCE (EXISTING CONCRETE)

**NOTES**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
2. ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
3. REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
4. REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DUMPSTER ENCLOSURE FOUNDATION DESIGNS AND DETAILS.
5. FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.

<b>OWNER</b> DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	<b>DEVELOPER</b> DR. STAN LOWRANCE ROCKWALL ROTARY FOUNDATION 408 S. GOLIAD STREET ROCKWALL, TEXAS 75087	<b>ENGINEER</b> MANHARD CONSULTING 12225 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75243 972.972.4250 PH JESSE CONRAD, P.E.
--	--	--

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNESS OUR HANDS, this 11 day of May, 2021.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER: 2021-013

**SITE PLAN**

**408. S GOLIAD STREET - 0.69 ACRES**

**CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

**ROCCA VILLA**

REVISION LOG	DATE:	DESIGN:
05/03/2021 - REVISION #1 PER 1ST CITY COMMENTS	04/16/2021	AR
05/04/2021 - REVISION #2 PER 1ST CITY COMMENTS		AV
		JC

**Manhard CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph:972.972.4250 manhard.com  
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners  
Texas Board of Professional Engineers and Land Surveyors Registration No. P-E17152

**ROCKWALL ROTARY CLUB**

408 S. GOLIAD, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**SITE PLAN**

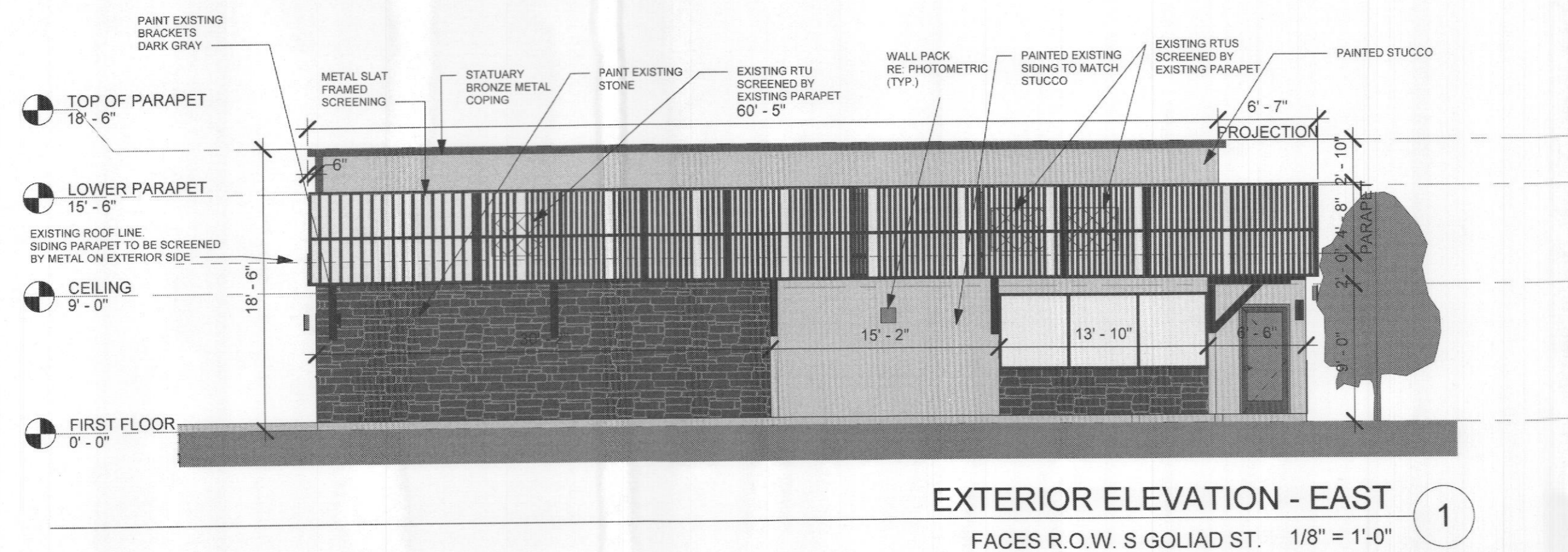
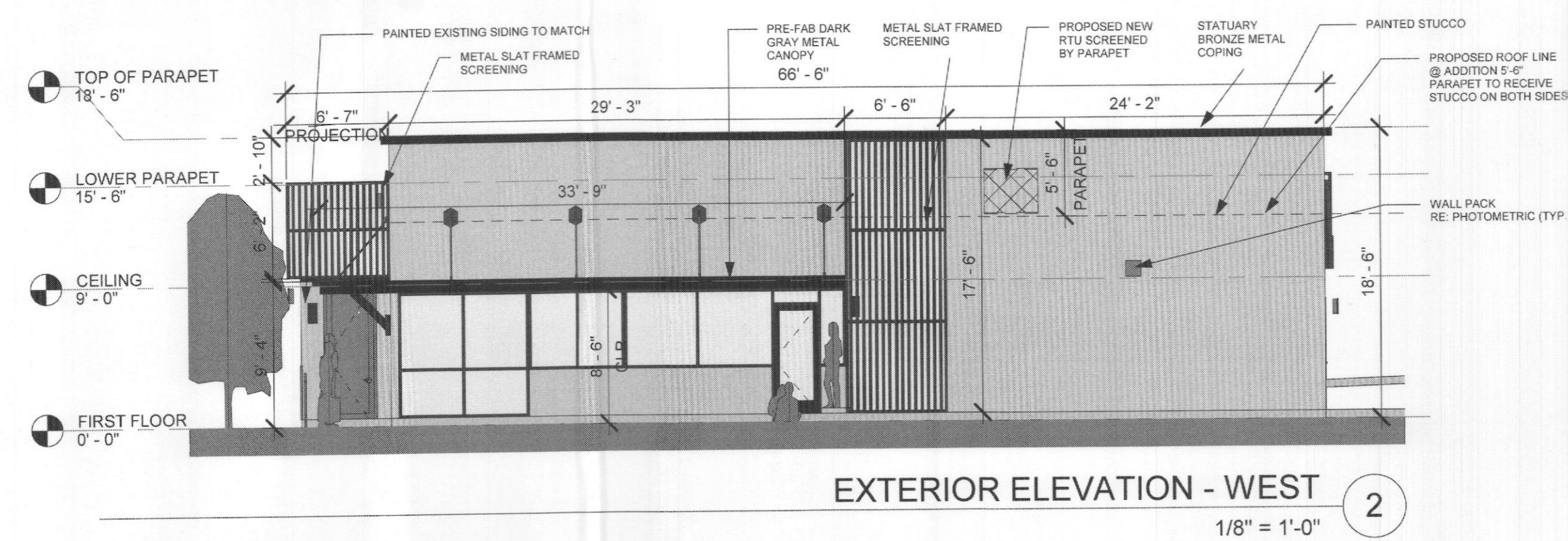
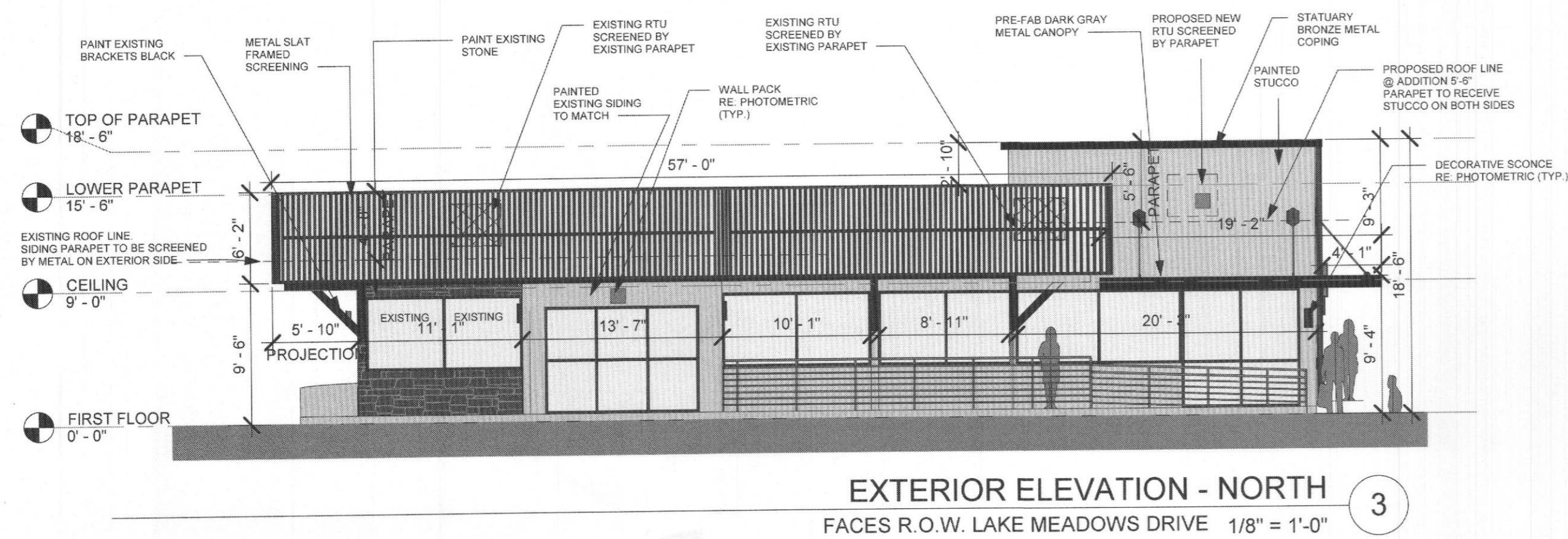
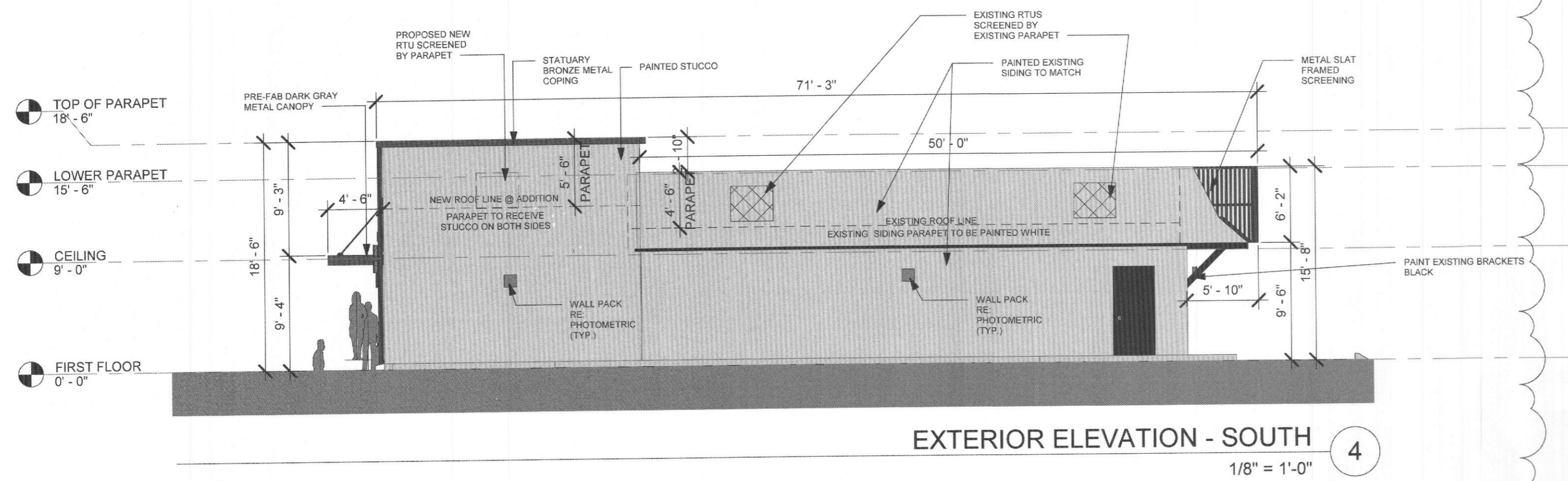
FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

JESSE CONRAD, P.E.  
TEXAS P.E. No. 130104  
ISSUED THIS DATE:  
04/16/2021

PROJ. MGR.: JC  
PROJ. ASSOC.: AR  
DRAWN BY: ANV  
DATE: 04/16/2021

SHEET  
**1**

May 27, 2021 - 2013 Date Name: P:\8110701 Rockwall Rotary Foundation\001\_Plan\Site Expansion\Site Plan Set - Downtown\Site Plan.dwg Updated By: AReves



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*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

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CASE NUMBER: SP2021-013

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING...

B. SCOPE OF WORK

- 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK...

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINERS GALLED AND BURGLAPPED PLANTS. 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z90.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK...

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.

B. SUBMITTALS

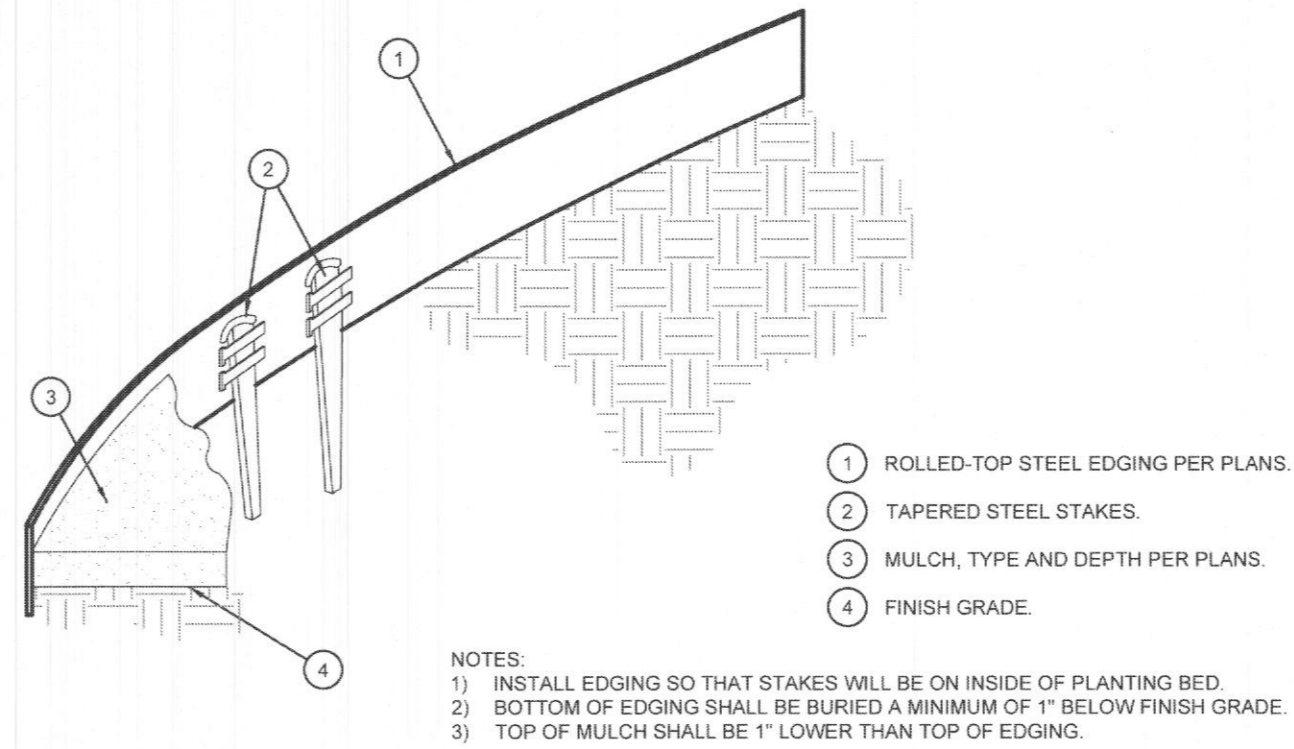
- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES...

C. GENERAL PLANTING

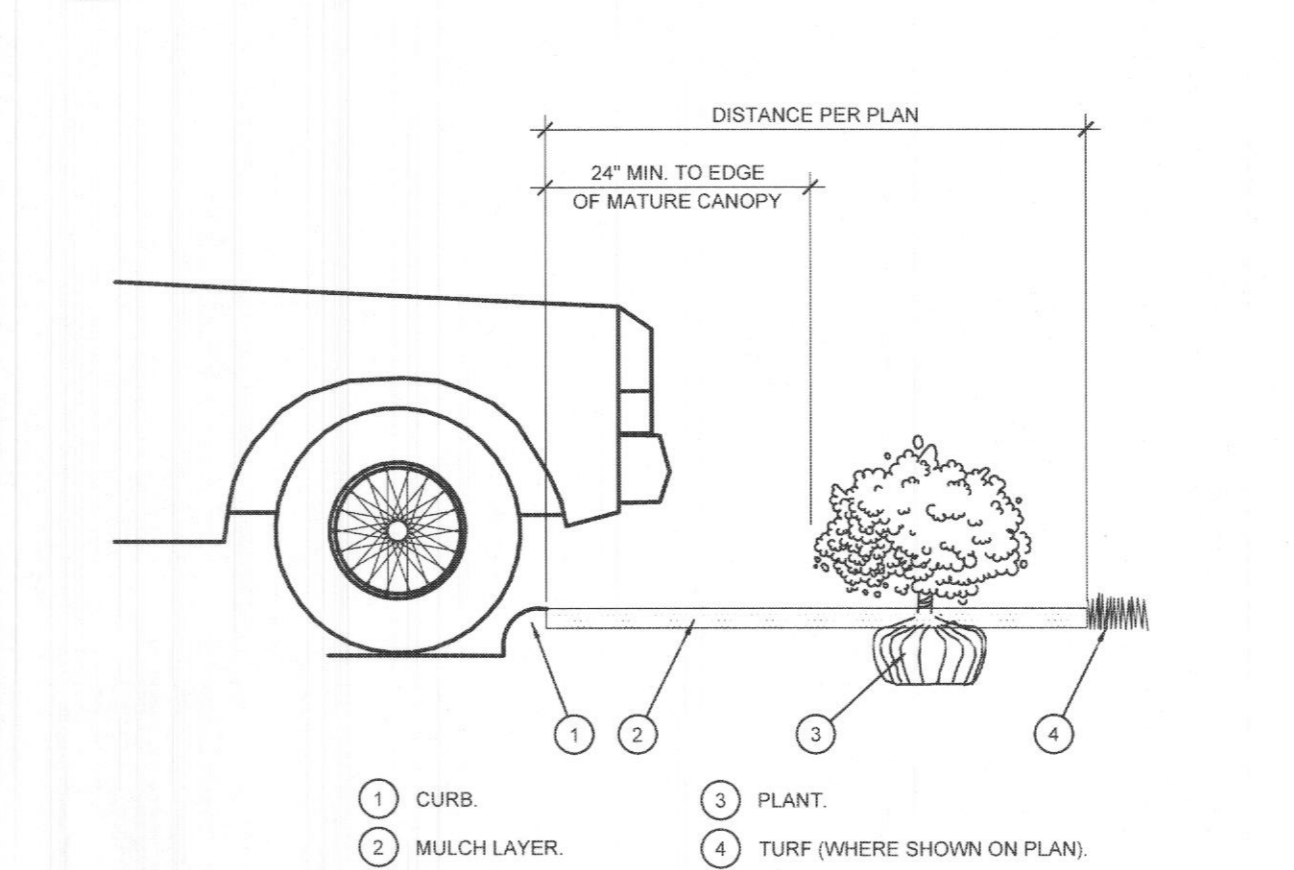
- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.

D. TREE PLANTING

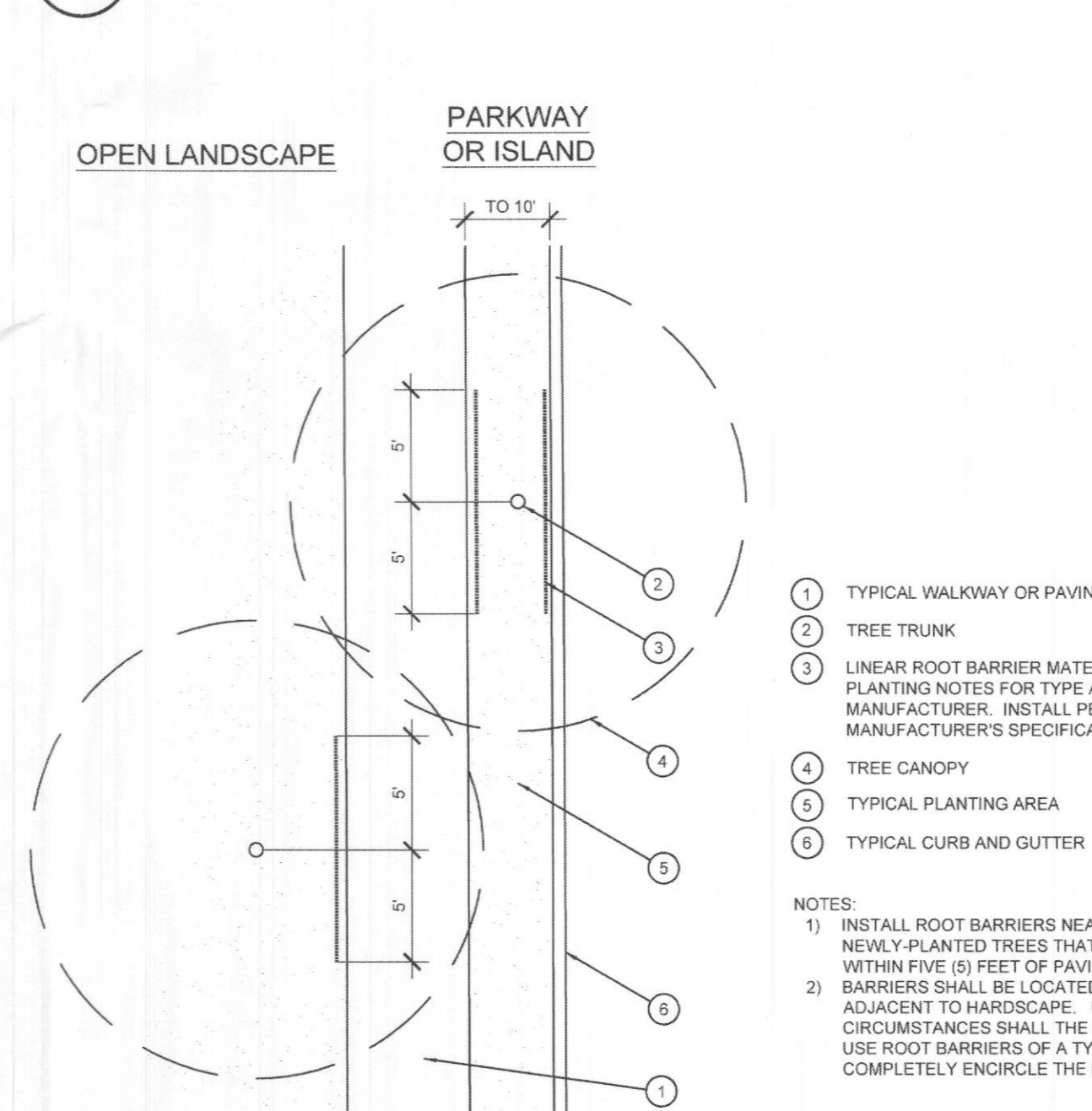
- 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES...



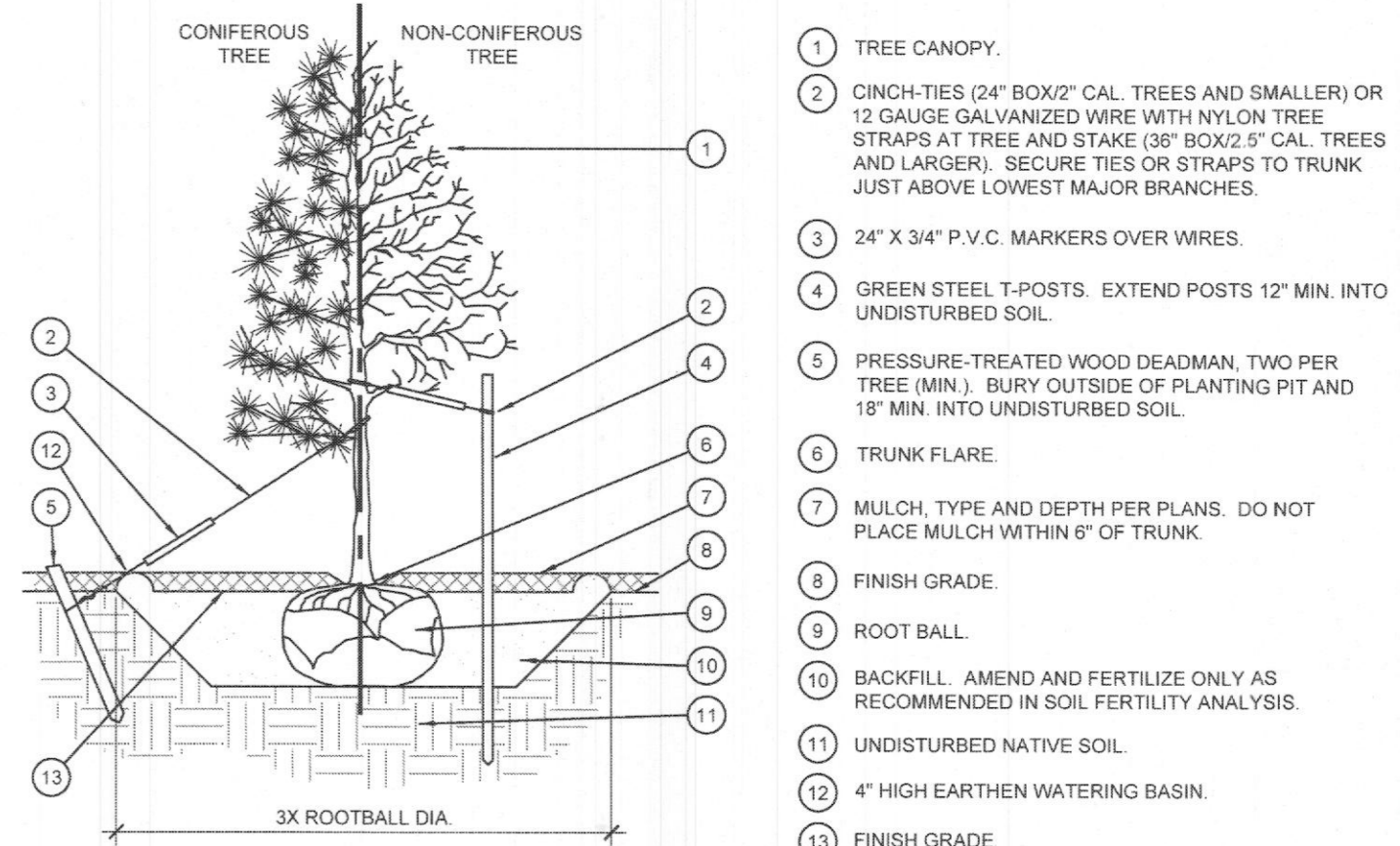
D STEEL EDGING SCALE: NOT TO SCALE



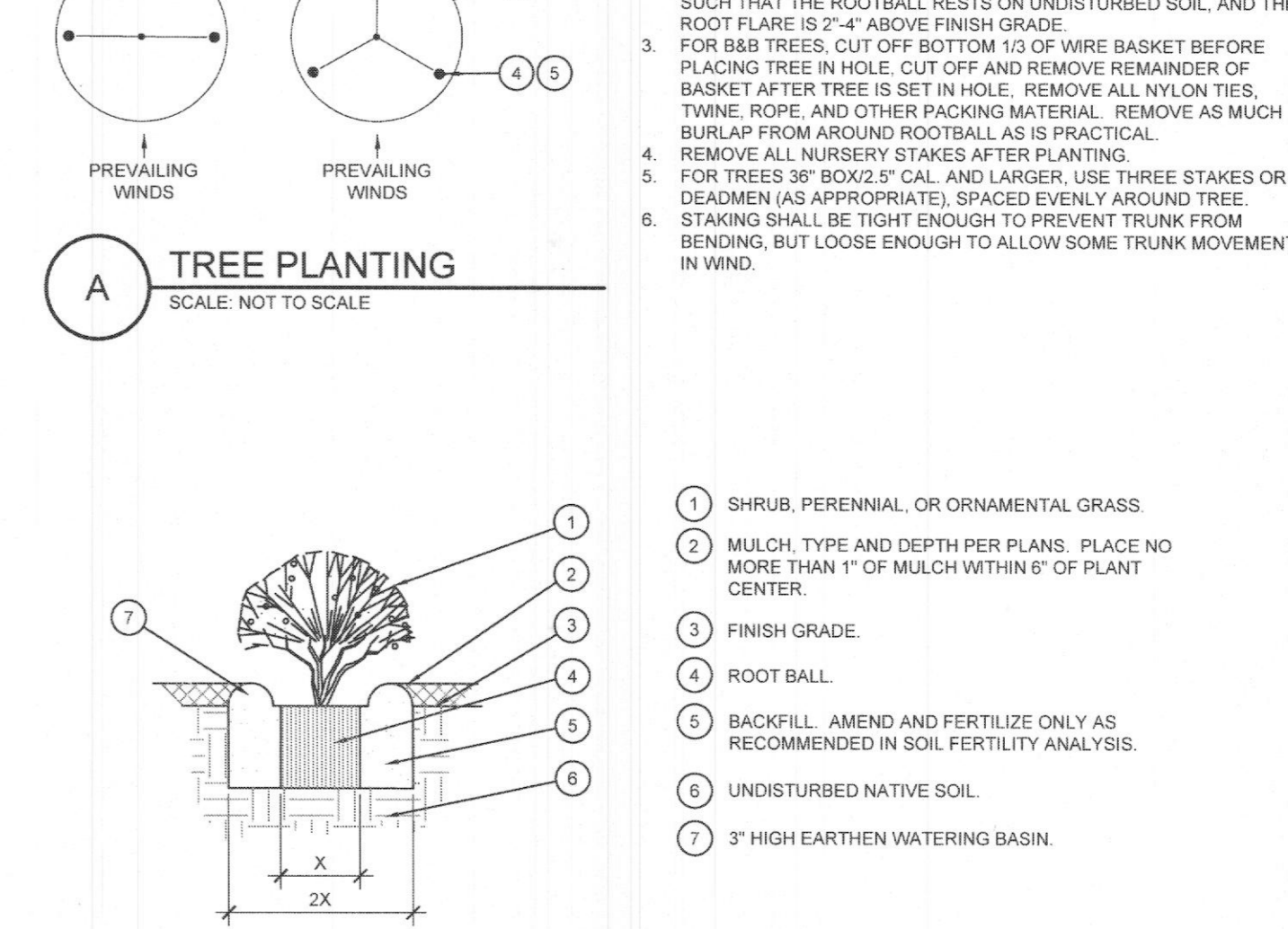
E PLANTING AT PARKING AREA SCALE: NOT TO SCALE



F ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE



A TREE PLANTING SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING SCALE: NTS

EVERGREEN DESIGN GROUP (800) 680-6630 15455 Dallas Pkwy., Ste 600 Addison, TX 75001 www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT STATE OF TEXAS 3423 05/11/2021

Rockwall Rotary Foundation 408 S. Goliad Street Rockwall, TX 75086

Rockwall Rotary Foundation 408 S. Goliad Street Rockwall, TX 75086

Project Name: Rockwall Rotary Foundation, Date Comment, Project Number: SP2021-013, Date: 05/05/2021, Drawn By: DB, Checked By: DB/RM, LP-2

SITE PLAN SIGNATURE BLOCK
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WITNESS OUR HANDS, this 11 day of May, 2021.
Planning & Zoning Commission, Chairman Director of Planning and Zoning

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS. "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
4. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
5. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
6. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
7. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
8. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
10. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
11. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
12. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
13. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

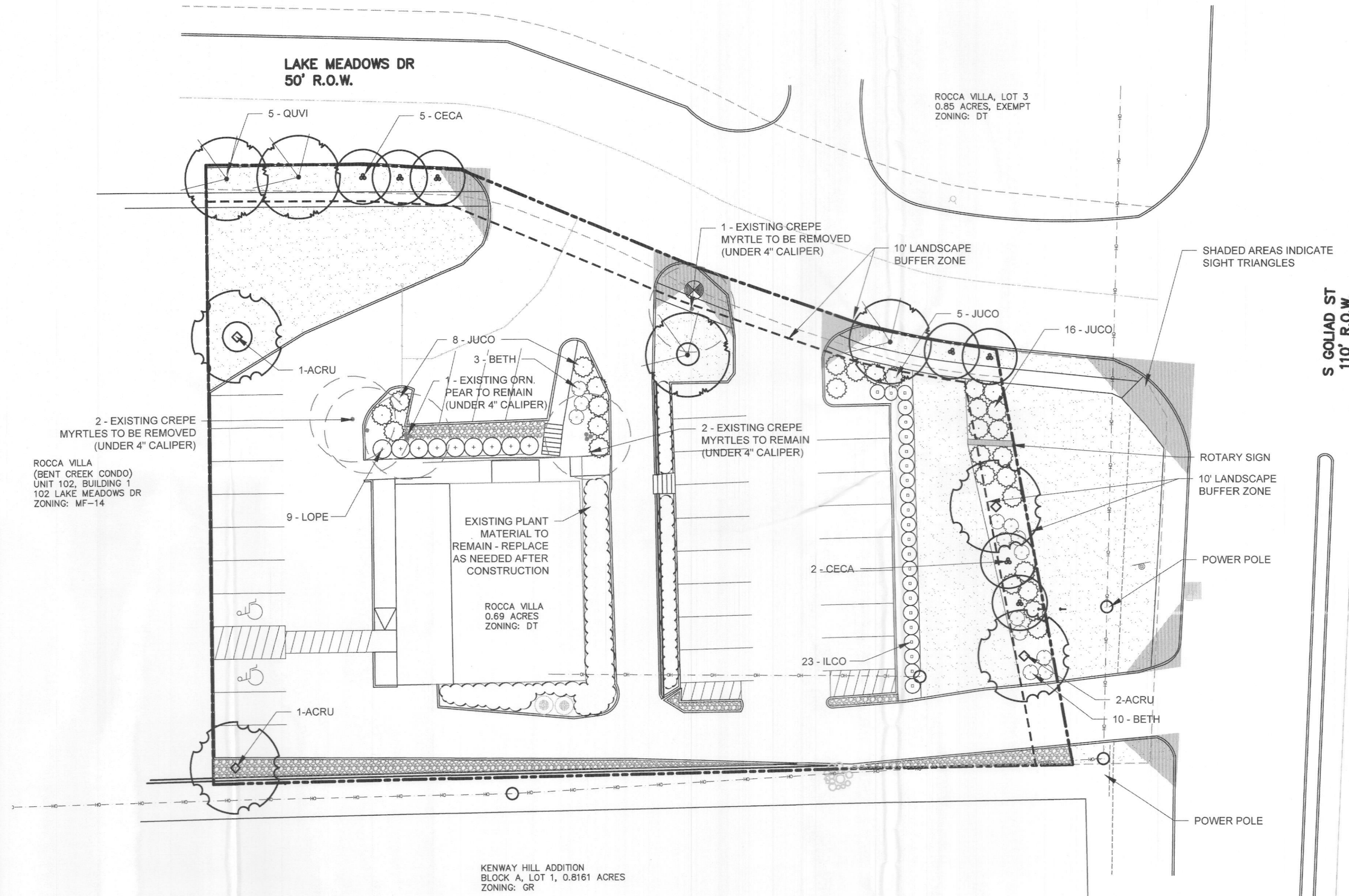
**PLANTING LEGEND**

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	QUANTITY	REMARKS
<b>TREES</b>					
ACRU	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	4" cal., 14' high	4	CANOPY TREE
CECA	CERCIS CANADENSIS	EASTERN REDBUD	2" cal., 6'-8' high	7	ACCENT TREE
QUVI	QUERCUS VIRGINIANA	LIVE OAK	4" cal., 14' high	4	CANOPY TREE
<b>SHRUBS</b>					
BETH	BERBERIS THUN. 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 gallon	13	
HEPA	HESPERALOE PARVIFLORA	RED YUCCA	5 gallon	25	
ILCO	ILEX CORNUTA 'BURFORDII NANA'	DWARF BUFORD HOLLY	5 gallon	23	
JUCO	JUNIPERUS CONFERTA 'PACIFIC BLUE'	PACIFIC BLUE SHORE JUNIPER	5 gallon	29	
LOPE	LOROPETALUM CHINENSE 'RUBRUM'	CHINESE FRINGEFLOWER	5 gallon	9	
<b>TURF AND SEED</b>					
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	---	
	2"-4" Texas River Cobble, 3" Deep, Lay over permeable landscape fabric				

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECS. FOR PROPER ROOT QUALITY.

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

ROCCA VILLA  
(BENT CREEK CONDO)  
UNIT 101, BUILDING 1  
101 LAKE MEADOWS DR  
ZONING: MF-14



**LANDSCAPE STANDARDS**

**05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**  
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:  
10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE  
2 CANOPY TREES, 2 ACCENT TREES REQUIRED  
2 MAPLE (CANOPY), 2 REDBUD (ACCENT) PROVIDED

**S. GOLIAD ST. - ±116' STREET FRONTAGE:**  
5 CANOPY TREES, 5 ACCENT TREES REQUIRED  
4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED  
UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS

**LAKE MEADOWS DR. ±225' STREET FRONTAGE:**  
5 CANOPY TREES, 5 ACCENT TREES REQUIRED  
4 LIVE OAK (CANOPY), 5 REDBUD (ACCENT) PROVIDED  
UNABLE TO MEET CANOPY REQ. DUE TO SITE CONSTRAINTS

**05.02 LANDSCAPE SCREENING**  
REQ. HEADLIGHT SCREENING  
PROVIDED SCREENING  
HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS  
HOLLY SHRUBS PLANTED ALONG PARKING SPACES

**05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT**  
TOTAL SITE AREA: ±35,301 SF  
LANDSCAPE AREA REQUIRED, TOTAL SITE: ±7,060 SF (20%)  
LANDSCAPE PROVIDED, TOTAL SITE: ±10,769 SF (30%)

**LOCATION OF LANDSCAPING:**  
MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.

**MIN. SIZE OF AREAS**  
ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA

**DETENTION BASINS**  
NONE PROPOSED

**PARKING LOT LANDSCAPING**  
MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.

**PROPOSED PARKING AREA:**  
REQ. PARKING LOT LANDSCAPING: ±11,824 SF  
PROPOSED PARKING LOT LANDSCAPING: ±591 SF  
REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

**IRRIGATION CONCEPT**

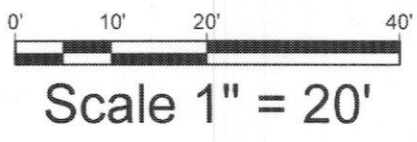
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



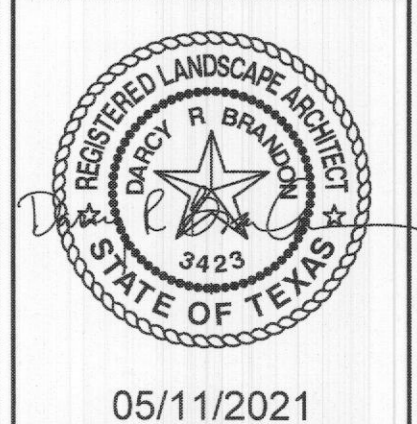
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11 day of May, 2021.

WITNESS OUR HANDS, this 11 day of May, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Owner  
Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

Project Name  
Rockwall Rotary Foundation  
408 S. Goliad Street  
Rockwall, TX 75086

**Landscape Planting Plan**

Date	Comment

Project Number: SP2021-013  
Date: 05/05/2021  
Drawn By: DB  
Checked By: DB/RM

**LP-1**

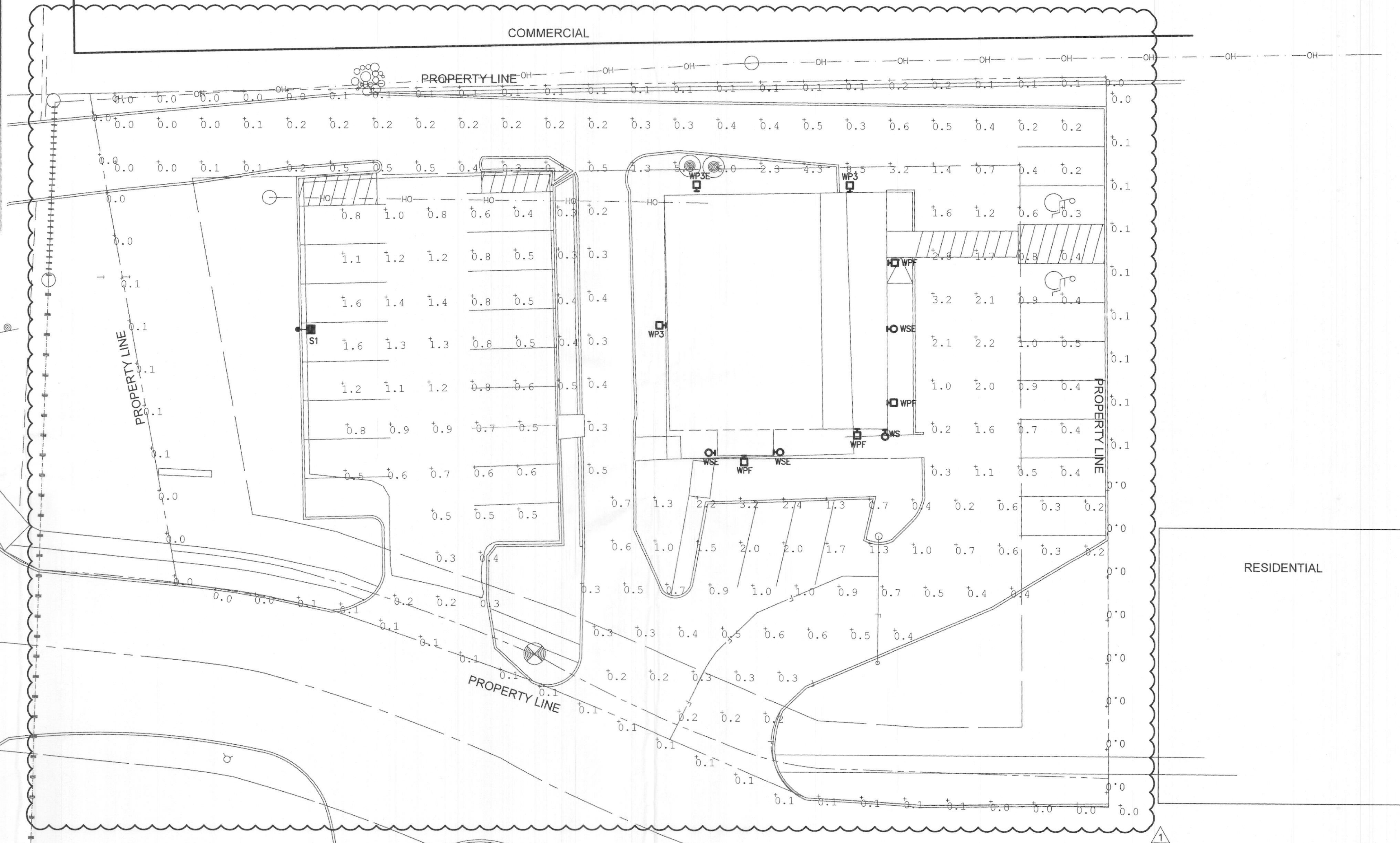
**SITE DATA TABLE**

<b>EXISTING ZONING</b>	DT
<b>PROPOSED USE</b>	COMMERCIAL
<b>SITE AREA</b>	0.69 ACRES
<b>BUILDING AREA</b>	
EXISTING BUILDING	2,123 SF
ADDITION	831 SF
PROPOSED BUILDING	2,954 SF
<b>PARKING</b>	
PARKING REQUIRED	1/200 SF
	15 STANDARD STALLS
	1 ACCESSIBLE STALLS
PARKING PROVIDED	29 STANDARD SPACES
	2 ACCESSIBLE SPACES

NOTE: PROPERTY IS CURRENTLY PLATTED

**EXTERIOR LIGHTING SCHEDULE**

FIXTURE TAG	DESCRIPTION:	MANUFACTURER	MODEL NUMBER	LAMPING TYPE		NO.	VOLTAGE	MOUNTING	FINISH	NOTES:
				W	L					
WP3 (WP3E)	LED Exterior Wall Pack	HE Williams	VWPH-L30-740-T3-BLK-CGL-DIM-UNV WP3E = "EM/10W/C"	36W	3327L	1	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 7.5' AFF
WFF	LED Exterior Wall Pack	HE Williams	VWPH-L60-740-TFT-BLK-CGL-DIM-UNV	69W	5688L	1	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 14' AFF U/CN
WS (WSE)	LED Exterior Wall Sconce	Bega	66516 WSE-PROVIDE 90 MIN EM INVERTER	21W	1047L	1	120V	Surface (Wall)	Black	Wet Listed, Mtd @ 6' AFF
S1	LED Pole Light	Lithonia	DSX1 LED P1 40K 1FTM MVOLT NLTAIR2 HS SSS20-4C-DM19-DBLXD	54W	6963L	1	120V	Pole	Black	MOUNT AT 20' AFF



**STATISTICS**

AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
DRIVE/PARKING	1.0	8.5	0.2	5.0	43

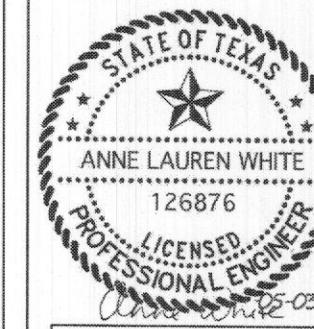


1 SITE PLAN - PHOTOMETRIC  
SCALE: 1/16" = 1'-0"

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 11 day of May, 2024.

*[Signature]*  
Director of Planning & Zoning

**METHOD architecture**  
1919 MCKINNEY AVE, SUITE 2011  
DALLAS, TEXAS 75201  
(469) 640-6331



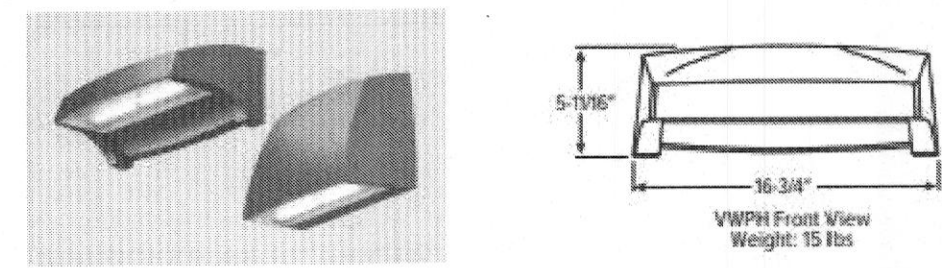
**ROTARY CLUB**  
ROCKWALL  
408 S GOLIAD ST.  
ROCKWALL, TX 75087

PROJECT: MB205016  
SHEET: E12  
SITE PLAN  
PHOTOMETRIC

**STMS ENGINEERING, LLC**  
11700 PRESTON ROAD | SUITE 650 | #104  
DALLAS, TEXAS 75240 | 214-390-9978  
WWW.STMSINC.COM | REG. # 20274

# VWP LED

Voltaire Architectural Wall Pack



- FEATURES**
- Designed to illuminate sidewalks, entryways, porches and facades
  - Intended for use in both uplight and downlight applications
  - Savings of up to 80% energy compared to HID systems
  - Blends seamlessly with a variety of architectural styles
  - Made Right Here<sup>®</sup> in the USA

- SPECIFICATIONS**
- HOUSING** - Die-cast aluminum enclosure, THERMAL MANAGEMENT - Integral die-cast aluminum heat-sink and LED assembly provide passive thermal management. Rated 30°C to 40°C ambient operating temperature (30°C to 40°C with EM10WC, 0°C to 35°C with EM4W).
  - OPTICAL SYSTEM** - Precision, injection-molded, refractive acrylic lensing produces standardIES distributions.
  - LED ASSEMBLY** - ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
  - LED DRIVER** - 0-10V dimming.
  - ELECTRICAL** - 120-277, 347, and 480 VAC input range; 50-60Hz; power factor >90; THD <20% at full load; FCC Class A compliant; 10kA/100V surge protection standard. Quick-disconnect wiring provided; 1.70-15.000 hours per IES TM 21.
  - FINISH** - Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal; exceeds AAMA 2604 specifications for outdoor durability.
  - MOUNTING** - Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWP = 15 lbs, VWPV = 23 lbs).
  - LISTINGS** -
    - cULus certified as luminaire suitable for wet locations.
    - DesignLights Consortium qualified.



CATALOG #:  
TYPE:  
PROJECT:

ORDERING EXAMPLE: VWP H • L30/740 • T3 • DBZ • SDGL - OPTIONS - DIM - UVV

**ORDERING INFO**

SERIES	TYPE	LUMENS (L)	CRI	CCT	DISTRIBUTION (D)
VWP	H Horizontal	L30 3,000lm	7 70	30 3000K	T3 Type III
	V Vertical	L60 6,000lm	40 4000K	50 5000K	TFT Type Forward Throw

FINISH OPTIONS (F)	SHIELDING
BLK Black (RAL 9004)	SDGL Micro-prismatic tempered glass lens
DBZ Dark bronze	CGL Clear tempered glass lens
DBR Medium bronze	
GRAY Standard gray	
SLV Satin aluminum (RAL #9006)	
WHT White (RAL #9003)	

OPTIONS	CONTROL	VOLTAGE
EM4W 4-watt integral emergency LED driver (4)	DIM Dimming driver prewired for 0-10V control	120 120V
SF Single fuse (4)		208 208V
DF Double fuse (4)		240 240V
PC Factory-installed button-style photocell (7)		277 277V
HSGX Empty housing extension used to match units with EM, OCC, or conduit entry options.	UVV UV2-277V	480 480V (1)
TP Tamper-resistant Torx head screws (4)		

**CONDUIT ENTRY (4)**

CR Right side conduit entry (4)  
CL Left side conduit entry (4)  
CD Dual conduit entry

**VWPV ONLY**  
EM10WC 10-watt emergency LED driver (12)  
OCCV5 FSP-311-L Factory-installed occupancy sensor (12)

**ACCESSORIES**  
TPIX-25 TOOL Tamper-resistant tool for Torx head screws (14)

Wall luminaire - two-sided narrow beam light distribution

BEGA

**Application**  
LED wall mounted luminaire with light emission on two sides. The narrow beam light distribution of the luminaire is identical in both directions. Arranged individually or in groups, they are great design elements for a host of lighting applications.

**Materials**  
Luminaire housing and faceplates constructed of extruded and die-cast marine grade, copper free (≤ 0.3% copper content) A380.0 aluminum alloy. Clear safety glass. Reflector made of pure anodized aluminum. High temperature silicone gaskets. Mechanically captive stainless steel fasteners. Stainless steel helicoils.

**NRTL** listed to North American Standards, suitable for wet locations. Protection class IP65. Weight: 7.5 lbs.

**Electrical**  
Operating voltage: 120-277V AC  
Minimum start temperature: -40°C  
LED module wattage: 15.8W  
System wattage: 21.0W  
Controllability: 0-10V dimmable  
Color rendering index: Ra > 80  
Luminaire lumens: 1,047 lumens (3000K)  
LED service life (L70): 60,000 hours

**LED color temperature**  
 4000K - Product number + **K4**  
 3500K - Product number + **K35**  
 3000K - Product number + **K3**  
 2700K - Product number + **K27**  
 Amber - Product number + **AMB**

**Wildlife friendly amber LED - Optional**  
Luminaire is optionally available with a narrow bandwidth, amber LED source (565-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

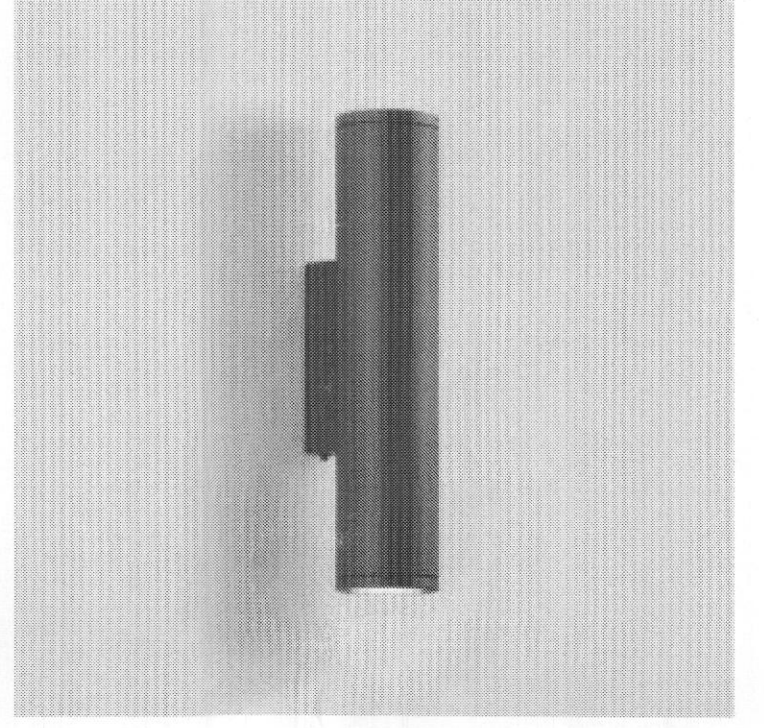
**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors:  Black (RI K)  White (W4T)  RAI -  Bronze (BRZ)  Silver (SLV)  CUS:

Type:  
BEGA Product:  
Project:  
Modified:

**Available Accessories**  
 79547 Surface mounted wiring box  
 See individual accessory spec sheet for details.



Wall luminaire - two-sided narrow beam light distribution

LED	B	A	B	A	B	C	D	Required wiring box
06516	15.8W	20°	4%	19%	6%	1%	19537	

B = Beam angle

## D-Series Size 1 LED Area Luminaire



**Specifications**

EPA: 1.01 ft-cd  
Length: 33" (840mm)  
Width: 13" (330mm)  
Height H1: 7-1/2" (190mm)  
Height H2: 3-1/2" (90mm)  
Weight: 27 lbs (12.5kg)

**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTA2Z PIRHN DOB3D

DSX1 LED	Code	Manufacturer	Part Number	Wattage	Beam Angle	Height	Notes
Forward optics	P1 P1	40K	300K	T35	Type I short	TS95	Type I very short
Reverse optics	P2 P2	40K	300K	T35	Type I short	TS95	Type I very short

**Shipped installed**

NUM2 Night 40 generation 2 module (1)  
PRBN Network, high-flow metal halide luminaire sensor (1)  
PER 1600A metal halide replacement only luminaire without capacitor (1)  
PERS See per replacement only luminaire selected separately (1)  
RFX See per replacement only luminaire selected separately (1)

**Shipped installed**

FIR High-flow, metal halide luminaire sensor, 8-15 mounting height, ambient sensor module, at 50, 100"  
FIR High-flow, metal halide luminaire sensor, 15-17 mounting height, ambient sensor module, at 50, 100"  
PBRICV High-flow, metal halide luminaire sensor, 8-15 mounting height, ambient sensor module, at 50, 100"  
PBRICV High-flow, metal halide luminaire sensor, 15-17 mounting height, ambient sensor module, at 50, 100"

**Shipped included**

HS House side sheet (4)  
SF Single fuse (120, 277, 347V) (1)  
DF Double fuse (208, 240, 480V) (1)  
LSP Left side sheet (1)  
RSP Right side sheet (1)

**Shipped separately**

KAH1000000 Mounting bracket adaptor (specify finish) (1)

### Performance Data

**Lumen Output**  
Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Certified factory for performance data on any configurations not shown here.

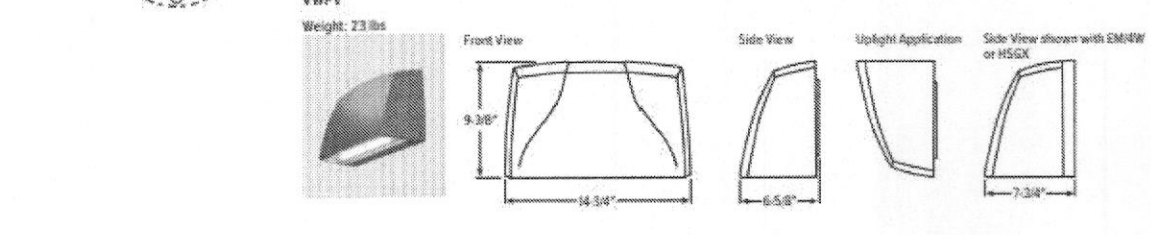
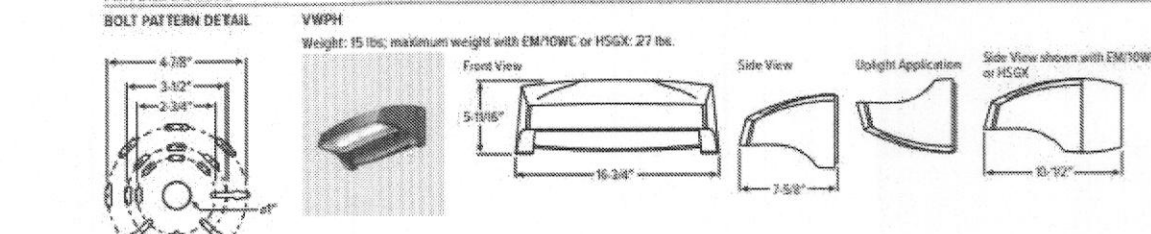
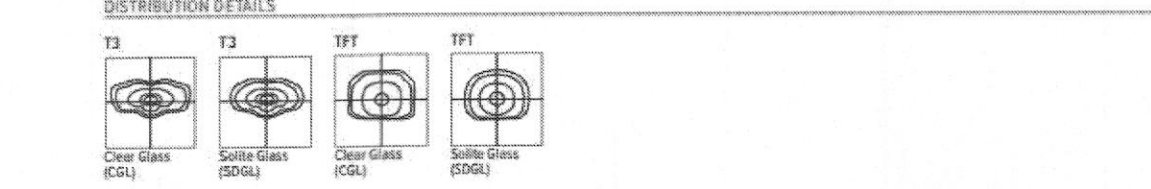
Forward Optics	Code	Beam Angle	Beam Spread	Beam Diameter	Beam Length	Beam Area	Beam Volume	Beam Power	Beam Flux	Beam Density	Beam Uniformity	Beam Distribution	Beam Shape
DSX1 LED	P1 P1	40K	300K	T35	Type I short	TS95	Type I very short	15.8W	20°	4%	19%	6%	1%

# VWP LED

Voltaire Architectural Wall Pack

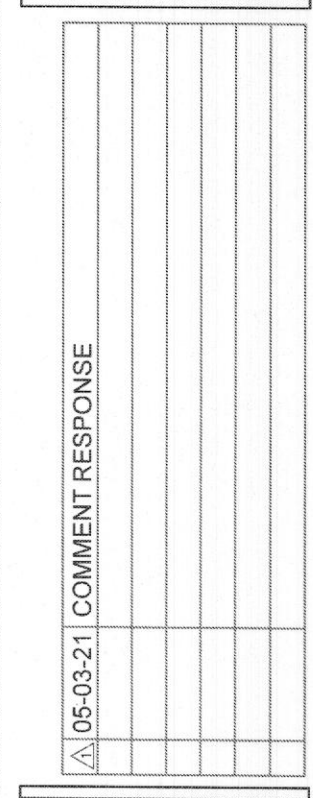
**FIXTURE PERFORMANCE DATA**

LED PACK	OPERATION	CCT	BEAM ANGLE	BEAM SPREAD	BEAM DIAMETER	BEAM LENGTH	BEAM AREA	BEAM VOLUME	BEAM POWER	BEAM FLUX	BEAM DENSITY	BEAM DISTRIBUTION	BEAM SHAPE
L30	T3	3000K	20°	4%	19%	6%	1%	19537	15.8W	20°	4%	19%	6%



using extension when specified with conduit tube depth. Conduit entry provided with 1/2" bend and plug, increases fixture height, extension (increases fixture depth), must also specify OCCUPANCY SENSOR DETAILS. **Important:** tool must be ordered separately. Please refer to user manual.

**METHOD architecture**  
1919 MCKINNEY AVE, SUITE 2011  
DALLAS, TEXAS 75201  
(469) 640 - 6331

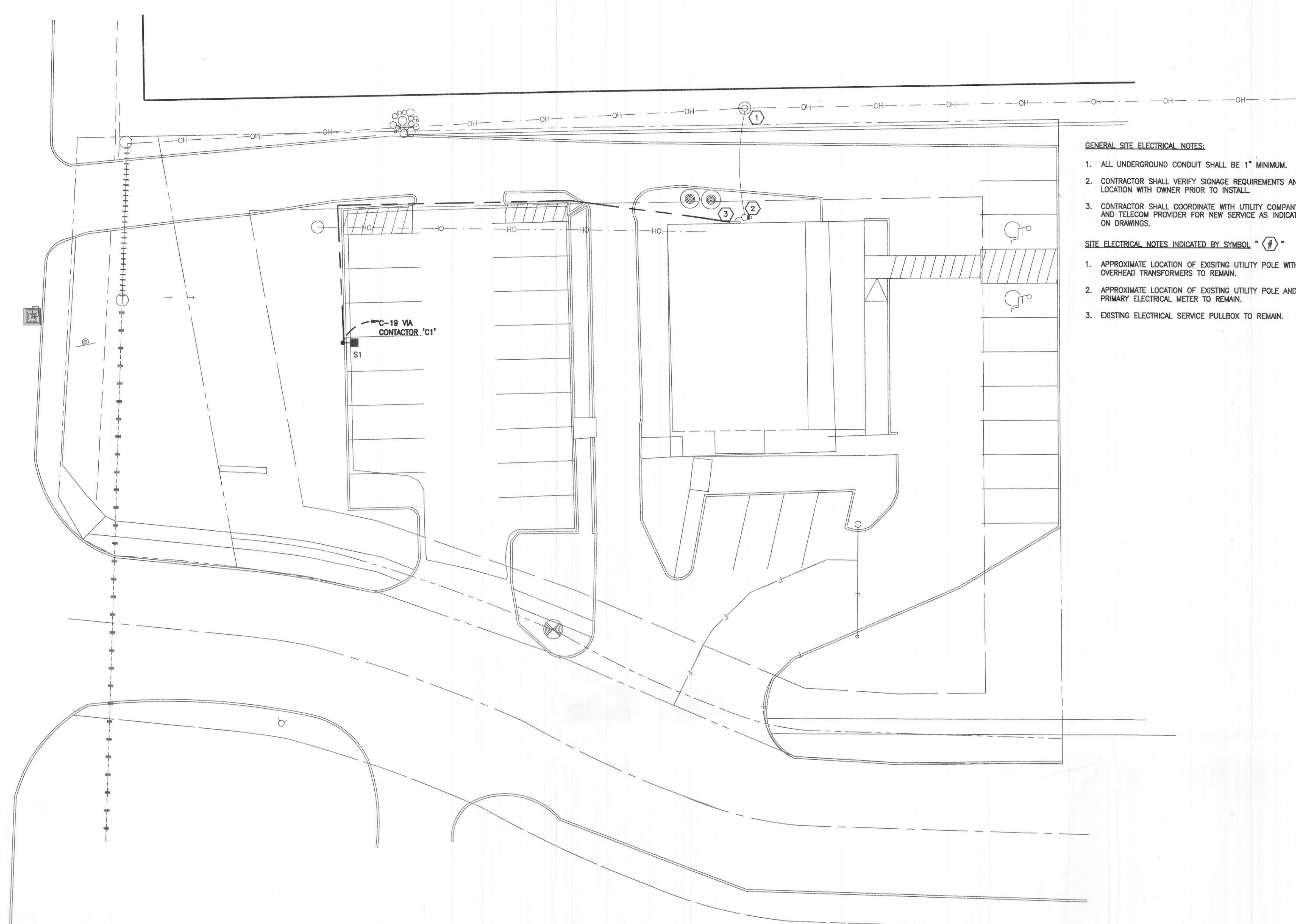


ANNE LAUREN WHITE  
126876  
LICENSED PROFESSIONAL ENGINEER

**ROTARY CLUB ROCKWALL**  
PROJECT: MB205016  
SHEET: E1.3 LIGHTING CUTSHEETS

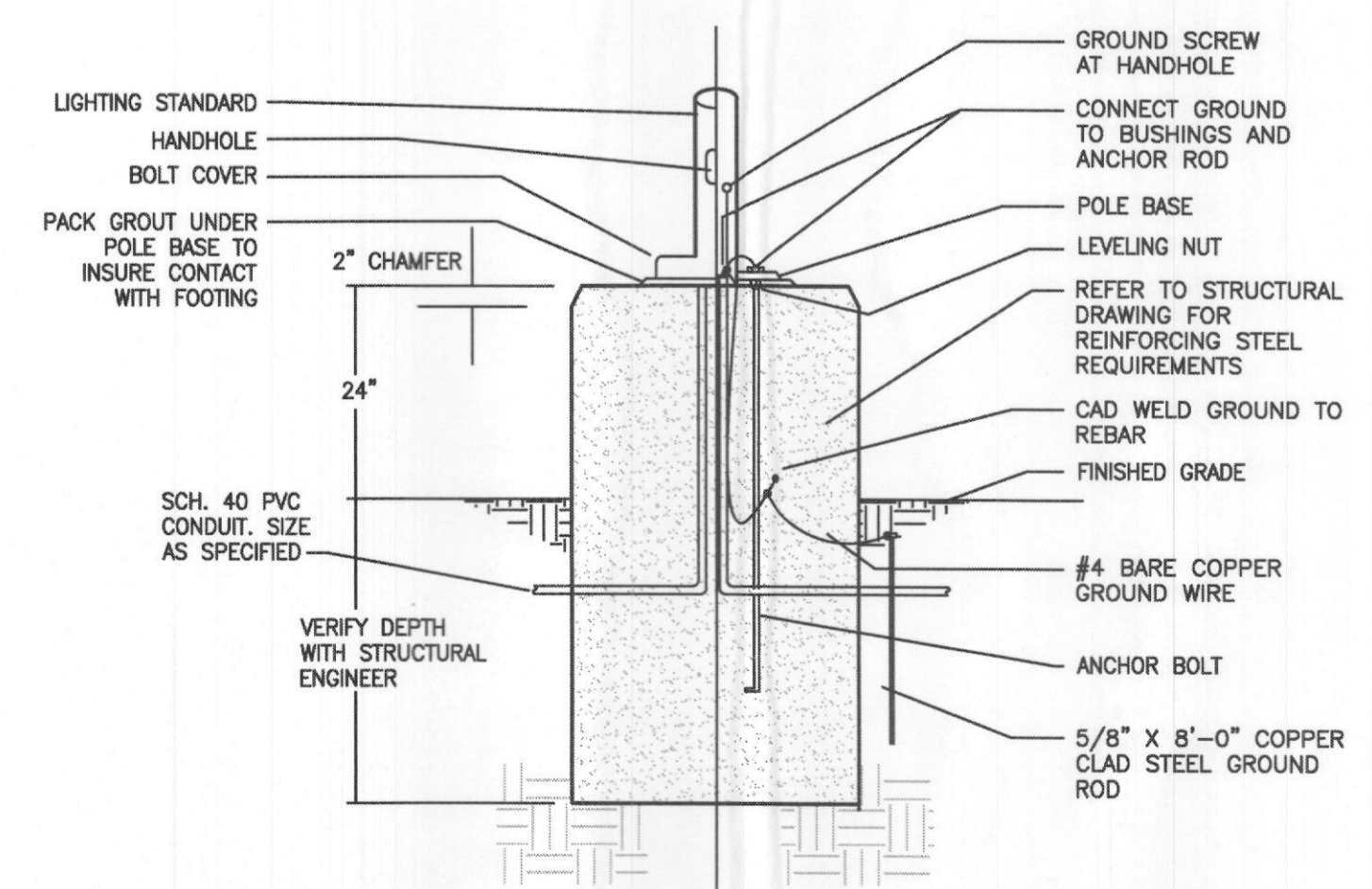
SIMS ENGINEERING, LLC  
13700 PRESTON ROAD | SUITE 600 #104  
DALLAS, TEXAS 75220 | 214.295.9974  
WWW.SIMS-ENG.COM | REG. P. 30574





- GENERAL SITE ELECTRICAL NOTES:**
1. ALL UNDERGROUND CONDUIT SHALL BE 1" MINIMUM.
  2. CONTRACTOR SHALL VERIFY SIGNAGE REQUIREMENTS AND LOCATION WITH OWNER PRIOR TO INSTALL.
  3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY AND TELECOM PROVIDER FOR NEW SERVICE AS INDICATED ON DRAWINGS.
- SITE ELECTRICAL NOTES INDICATED BY SYMBOL "Ⓢ":**
1. APPROXIMATE LOCATION OF EXISTING UTILITY POLE WITH OVERHEAD TRANSFORMERS TO REMAIN.
  2. APPROXIMATE LOCATION OF EXISTING UTILITY POLE AND PRIMARY ELECTRICAL METER TO REMAIN.
  3. EXISTING ELECTRICAL SERVICE PULLBOX TO REMAIN.

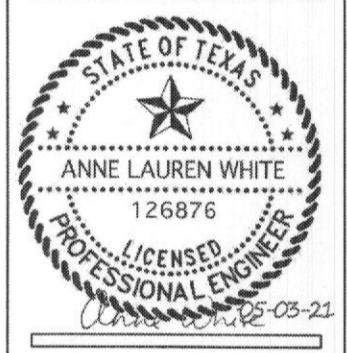
**1 SITE PLAN - ELECTRICAL**  
SCALE: 1/16" = 1'-0"



**2 POLE BASE DETAIL**  
SCALE: NONE

**METHOD architecture**  
1919 MCKINNEY AVE, SUITE 2011  
DALLAS, TEXAS 75201  
(469) 640-6331

05-0321	COMMENT RESPONSE
---------	------------------



**ROTARY CLUB  
ROCKWALL**  
408 S. COLIAD ST.  
ROCKWALL, TX 75087

PM: DR:  
PROJECT:  
**MB205016**  
SHEET:  
**E1.1**  
SITE PLAN  
ELECTRICAL

**SIMS ENGINEERING, LLC**  
11700 PRESTON ROAD | SUITE 660 #504  
DALLAS, TEXAS 75230 | 214.296.9571  
WWW.SIMSENG.COM | REG. # 10371