



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2021-012 P&Z DATE 05/11/21 CC DATE _____ APPROVED/DENIED _____

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN <i>(Amended)</i>
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 259 Ranch Trail

SUBDIVISION Rainbo Acres LOT 22 BLOCK

GENERAL LOCATION Ranch Trail & Horizon Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial CURRENT USE Commercial

PROPOSED ZONING PROPOSED USE

ACREAGE 1.2 LOTS [CURRENT] 1.2 LOTS [PROPOSED] 1.2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Truman Heights LLC APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON

ADDRESS 259 Ranch Trail ADDRESS

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP

PHONE 972-722-2408 PHONE

E-MAIL mike@rdmoormaninc.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN MOOLMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

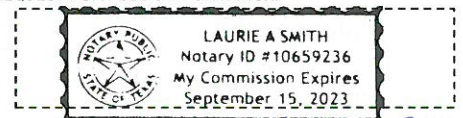
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF APRIL, 2021

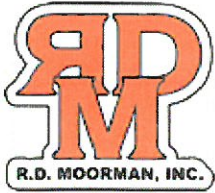
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Handwritten Signature]



MY COMMISSION EXPIRES 9-15-23



Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Roof Pitch

The following items are the compensatory measures we are offering:

- Dedicated 5' additional for ROW on Ranch Trail.
- Increased landscape buffer facing Ranch Trail.
- Increased the building articulation.
- Included 20% masonry.
- Added canopy over main entrance.
- Added 4 additional live oak trees.

Ryan Moorman

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259 Ranch Trail, Rockwall Texas 75032

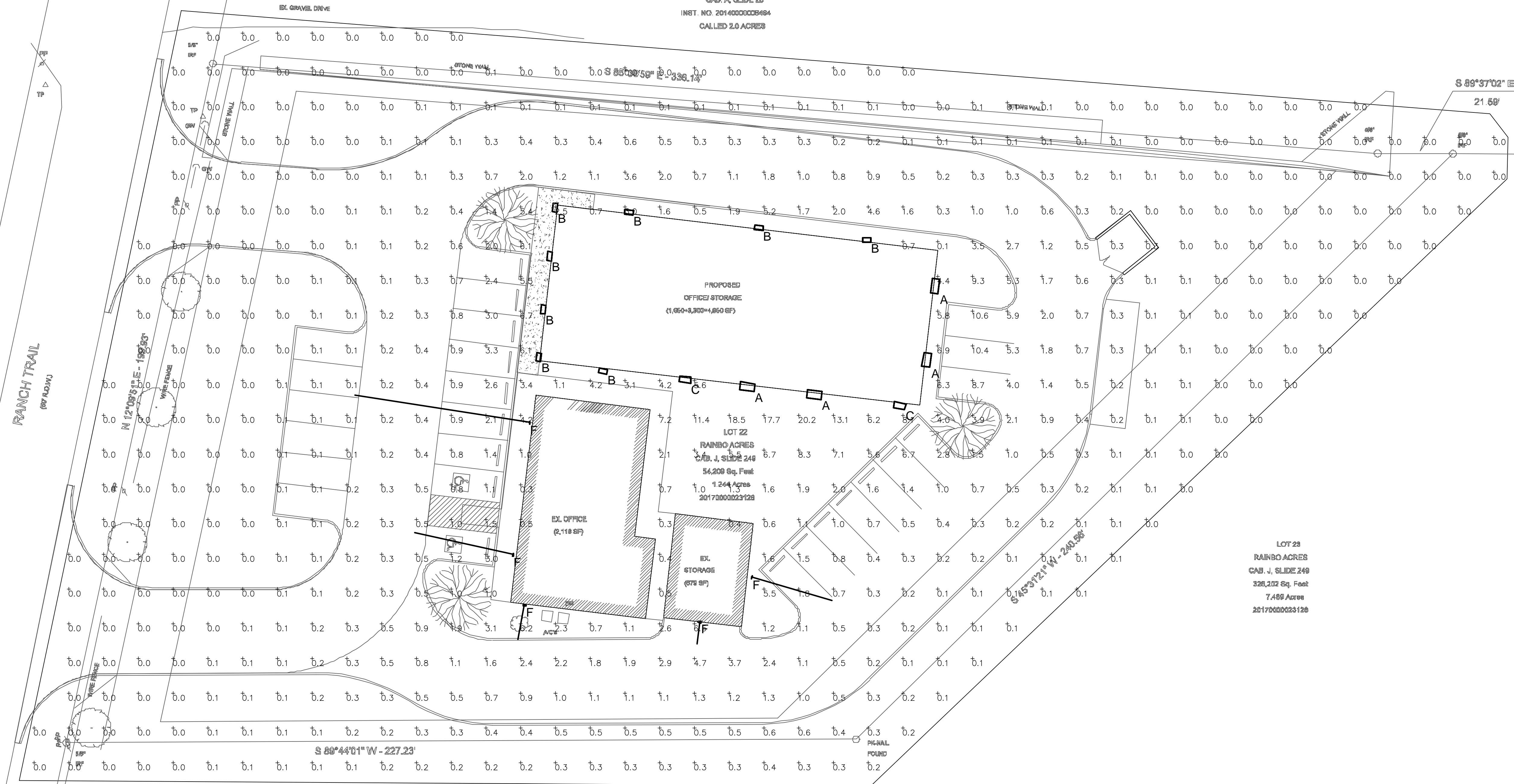
PHOTOMETRIC DISCLAIMER

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	20.2 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	4	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	D	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 5000K, @ 700mA, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_MA.ies	15214	1	130.65
□	E	0	Lithonia Lighting	DSX1 LED P5 50K T3S MVOLT HS	DSX1 LED P5 50K T3S MVOLT with houside shield	LED	1	DSX1_LED_P5_50K_T3S_MVOLT_HS.ies	13311	1	138
□	H	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT HS MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, RIGHT ROTATED TYPE T3M OPTIC, 5000K, @ 700mA WITH HOUSE SIDE SHIELD, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_HS_MA.ies	10103	1	130.39
□	F	5	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

EPIC ROCKWALL VENTURE LLC
PART OF LOT 18
RAINBO ACRES
CAB. A, SLIDE 20
INST. NO. 2014000009464
CALLED 2.0 ACRES



LOT 23
RAINBO ACRES
CAB. J, SLIDE 248
328,202 Sq. Feet
7.488 Acres
20170000023128

LOT 28
RAINBO ACRES
CAB. J, SLIDE 249
328,202 Sq. Feet
7.488 Acres
20170000023128

1 SITE PLAN
SCALE: 1/16" = 1'-0"

REVISIONS		
NO.	ITEM	DATE

PERMIT SET 02-11-21

RAINBO ACRES
Rockwall, Texas

3/12/2021

rtm
engineering consultants
14901 Quorum Dr. #565
Dallas, TX 75254
rtmassociates.com
972.387.3500
firm registration# 17316

DRAWN BY: TJ
CHECKED BY: DL

DATE 02-11-21

PROJECT 21.RDA.001

SITE PLAN
PHOTOMETRICS

SHEET **SL1**

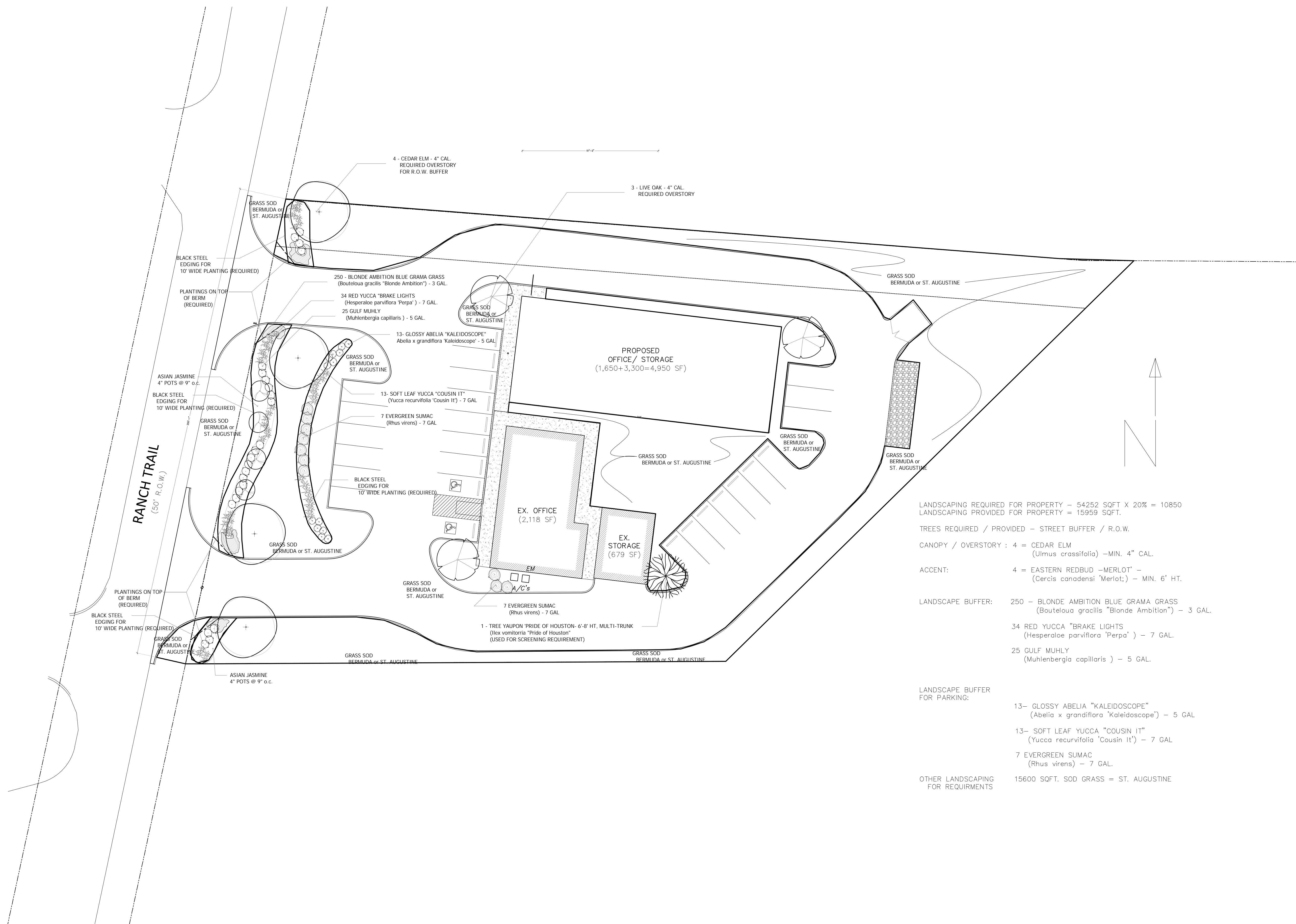


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LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM
 (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT-
 (Cercis canadensis 'Merlot'); - MIN. 6' HT.

LANDSCAPE BUFFER: 250 - BLONDE AMBITION BLUE GRAMA GRASS
 (Bouteloua gracilis "Blonde Ambition") - 3 GAL.

34 RED YUCCA "BRAKE LIGHTS
 (Hesperaloe parviflora 'Perpa') - 7 GAL.

25 GULF MUHLY
 (Muhlenbergia capillaris) - 5 GAL.

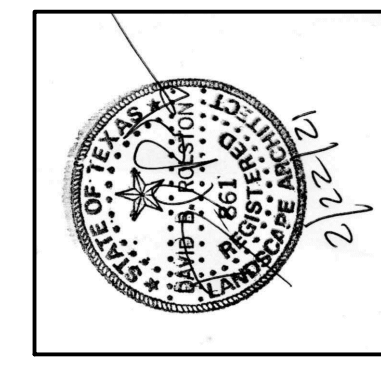
LANDSCAPE BUFFER FOR PARKING:

13- GLOSSY ABELIA "KALEIDOSCOPE"
 (Abelia x grandiflora 'Kaleidoscope') - 5 GAL

13- SOFT LEAF YUCCA "COUSIN IT"
 (Yucca recurvifolia 'Cousin It') - 7 GAL

7 EVERGREEN SUMAC
 (Rhus virens) - 7 GAL.

OTHER LANDSCAPING FOR REQUIREMENTS
 15600 SQFT. SOD GRASS = ST. AUGUSTINE



Date: 22 FEB 2021
 Revisions:
 Scale: 1/20 = 1'-0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

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CITY ENGINEER:

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OWNER Truman Heights LLC APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON _____

ADDRESS 259 Ranch Trail ADDRESS _____

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP _____

PHONE 972-722-2408 PHONE _____

E-MAIL mike@rdmoormaninc.com E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

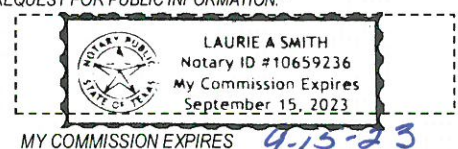
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF APRIL, 2021

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





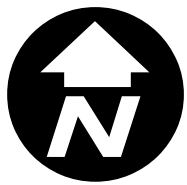
SP2021-012- AMENDED SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

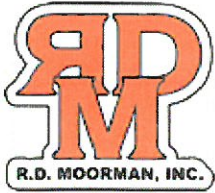


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Roof Pitch

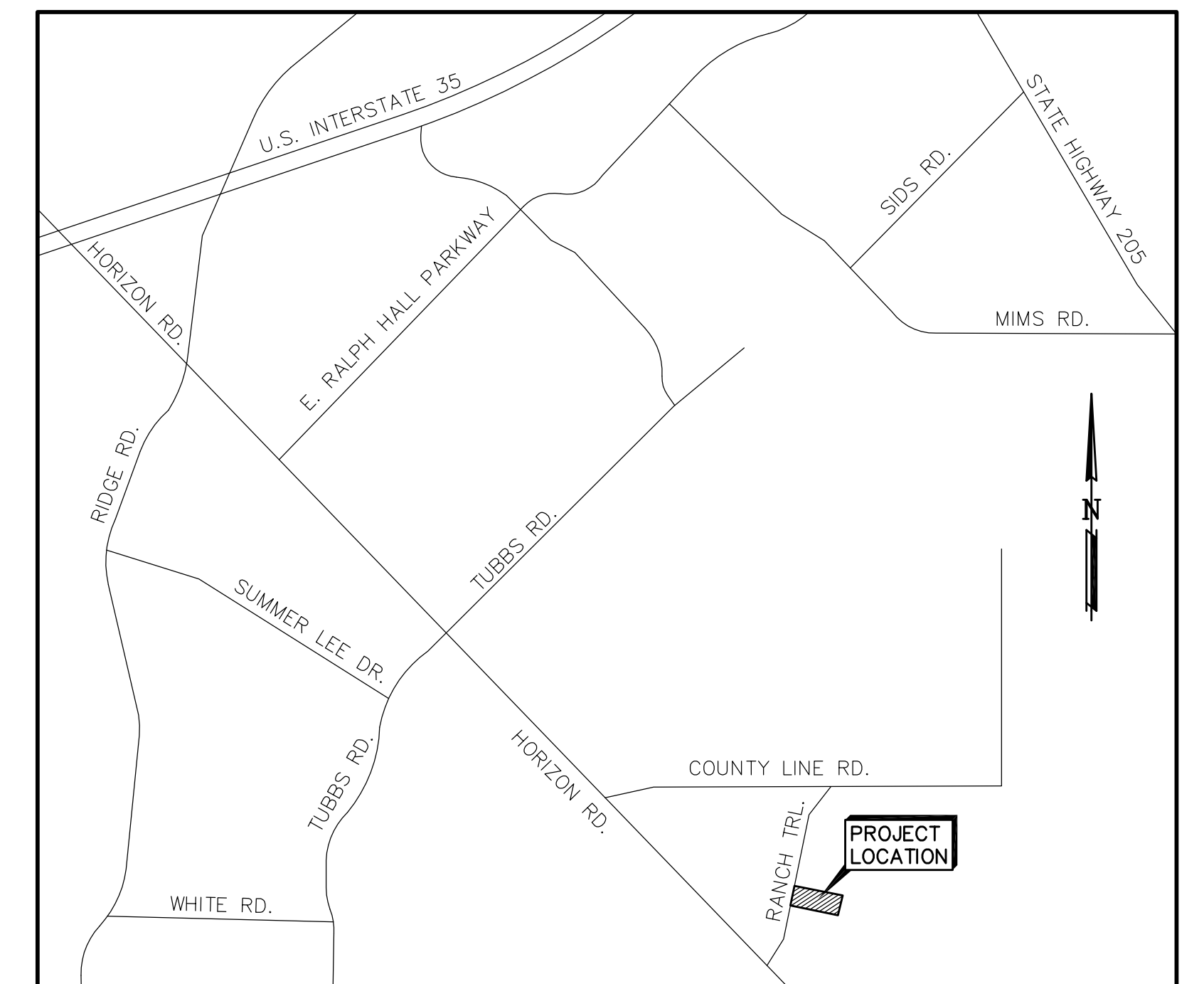
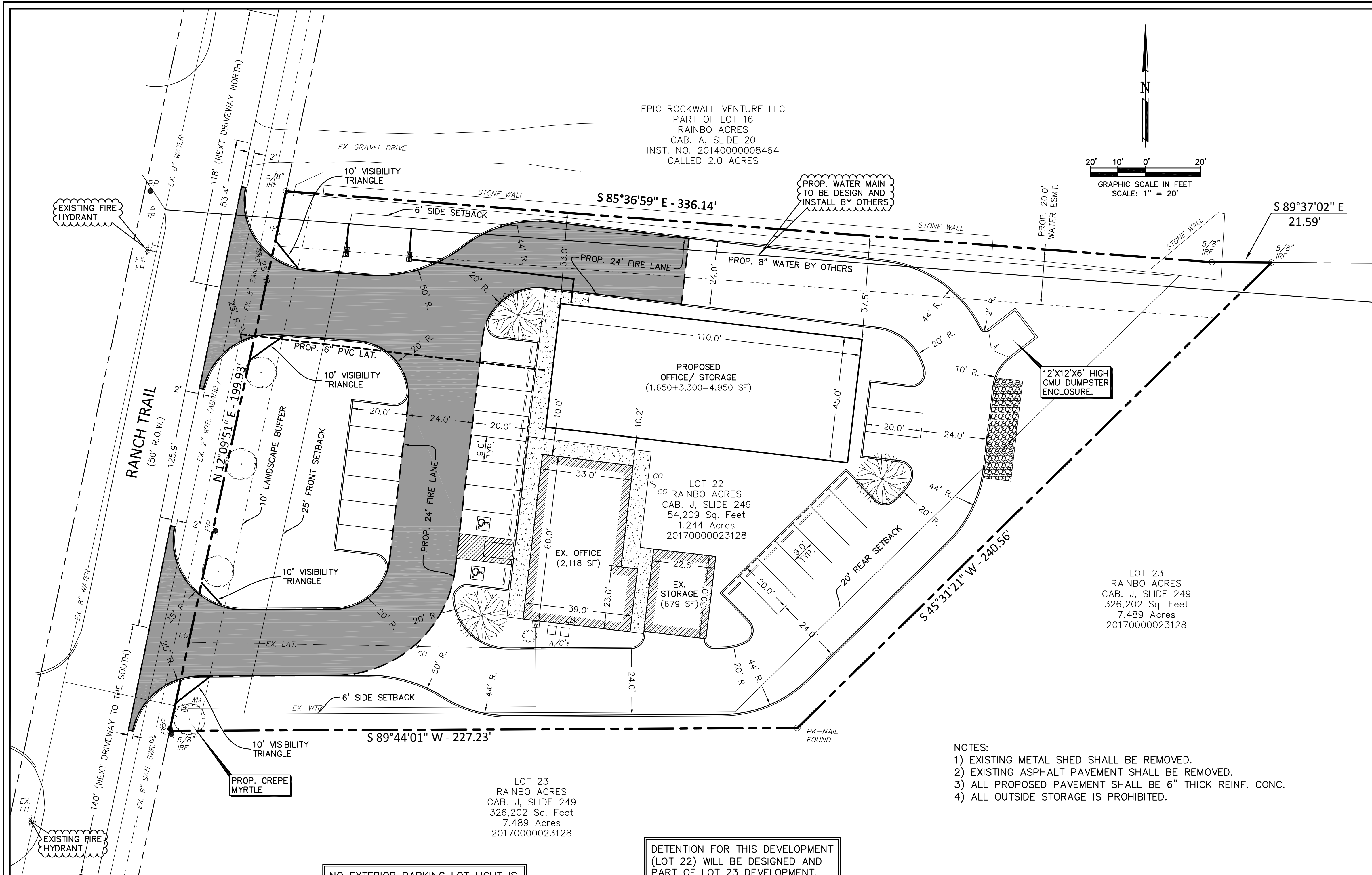
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Ryan Moorman

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259 Ranch Trail, Rockwall Texas 75032



VICINITY MAP
N.T.S.

SITE DATA

LOT AREA	22,740.74
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

PARKING CALCULATION

PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

- NOTES:**
- EXISTING METAL SHED SHALL BE REMOVED.
 - EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETECTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETECTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032
(972) 722-2408



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 10/16/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

SITE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

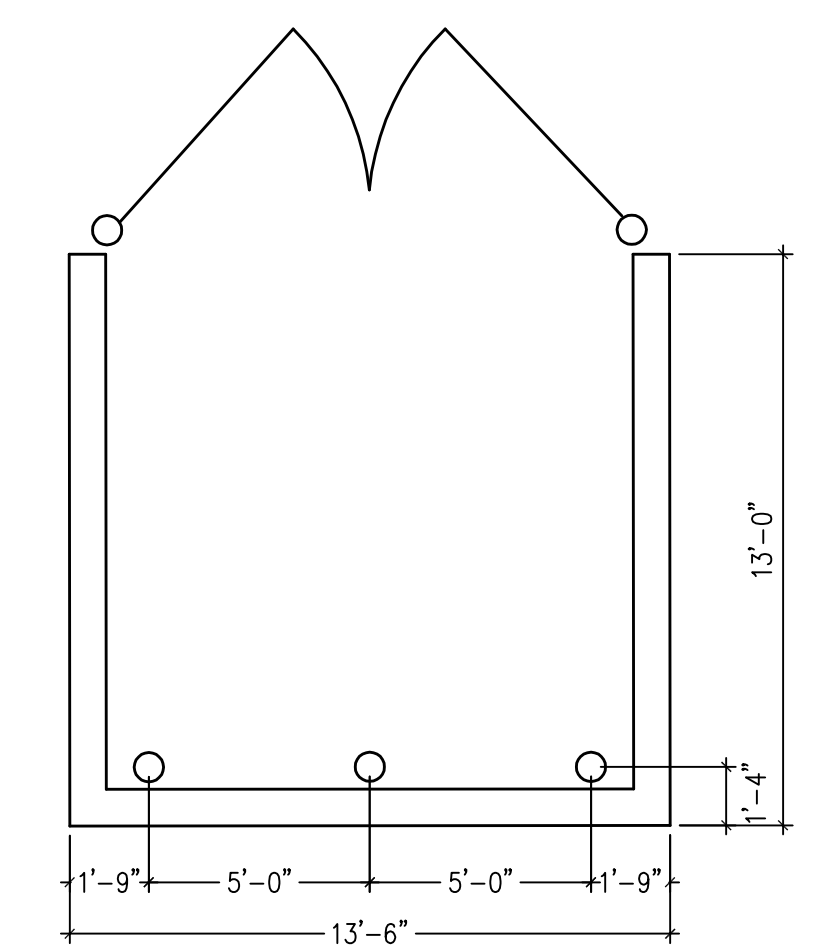
DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19

2 of 9

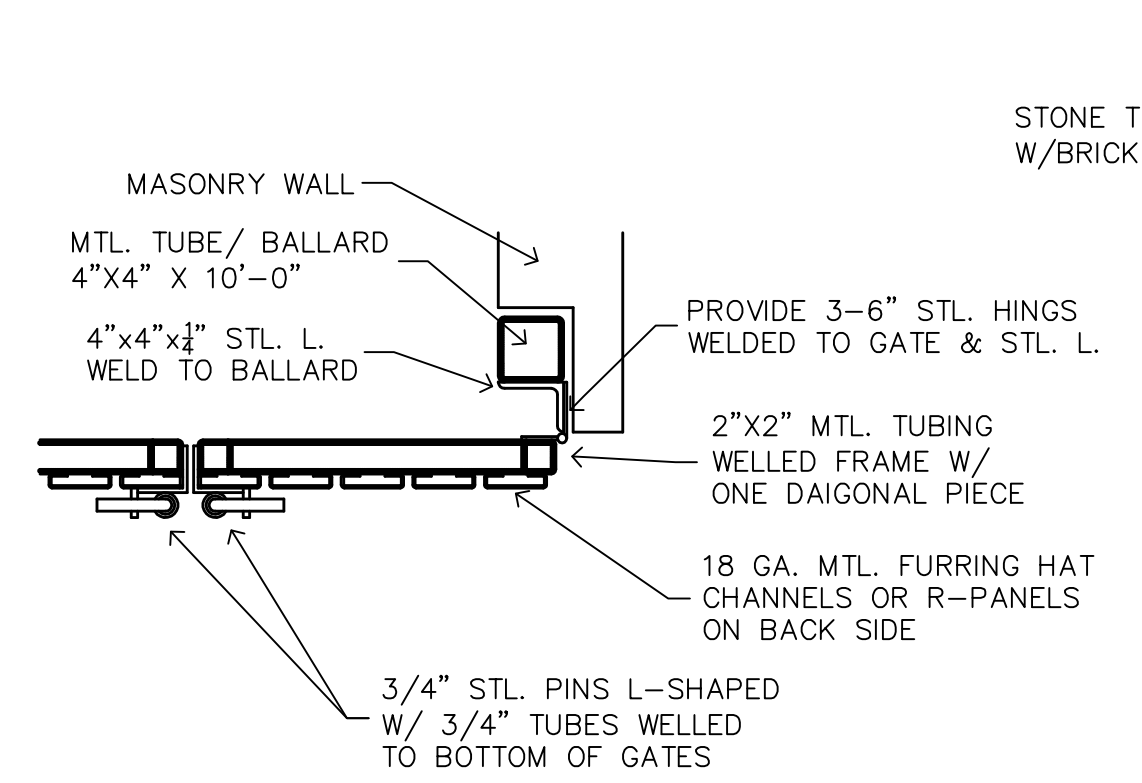
SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

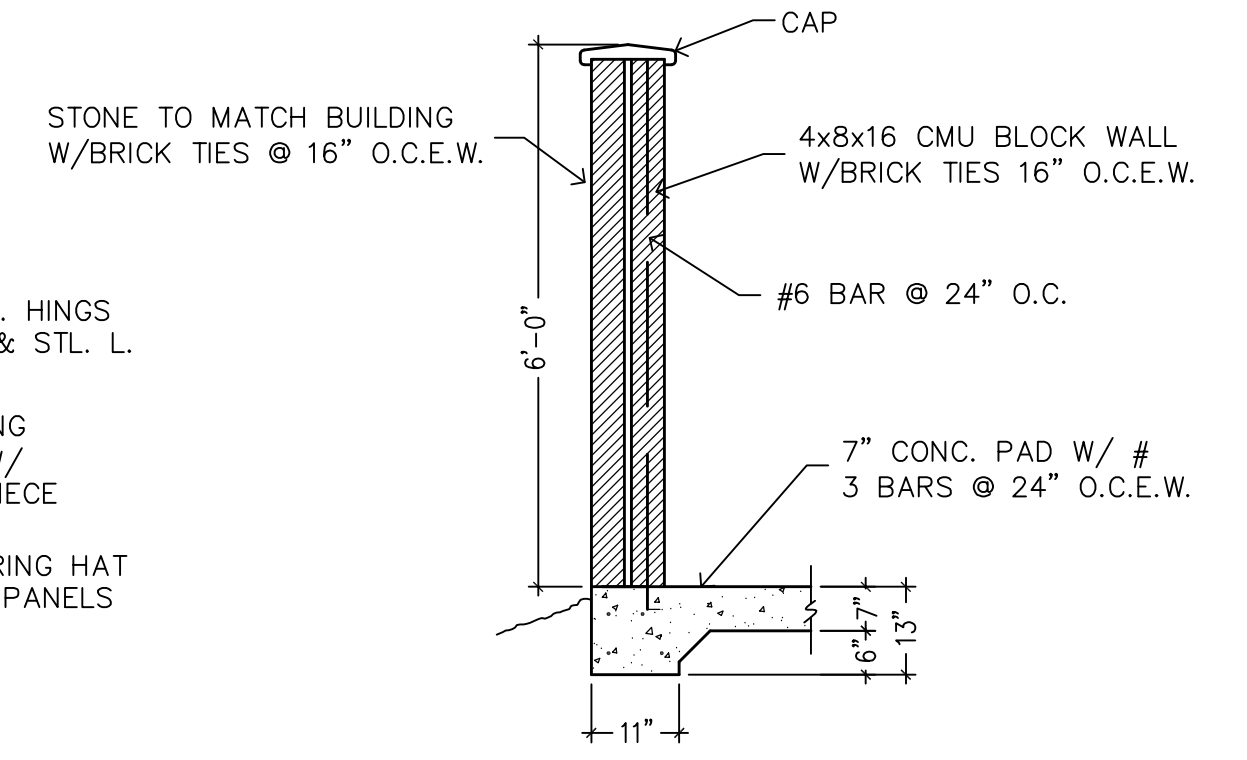
THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS



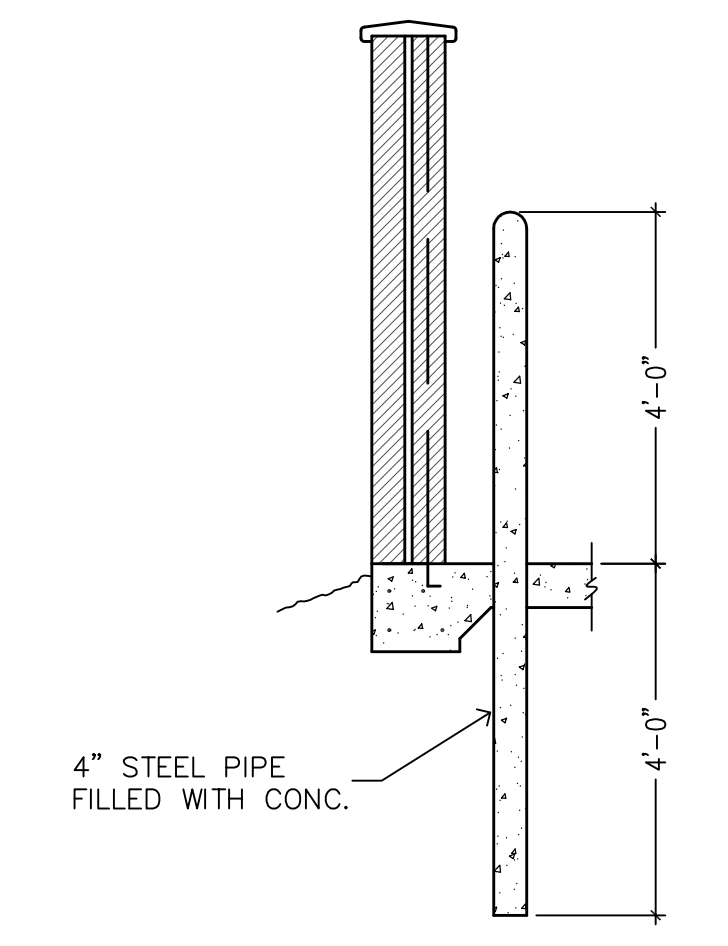
1 DUMPSTER PLAN
N.T.S.



2 DETAIL @ BALLARD
N.T.S.



3 SECTION @ DUMPSTER WALL
N.T.S.



4 DETAIL @ BALLARD
N.T.S.

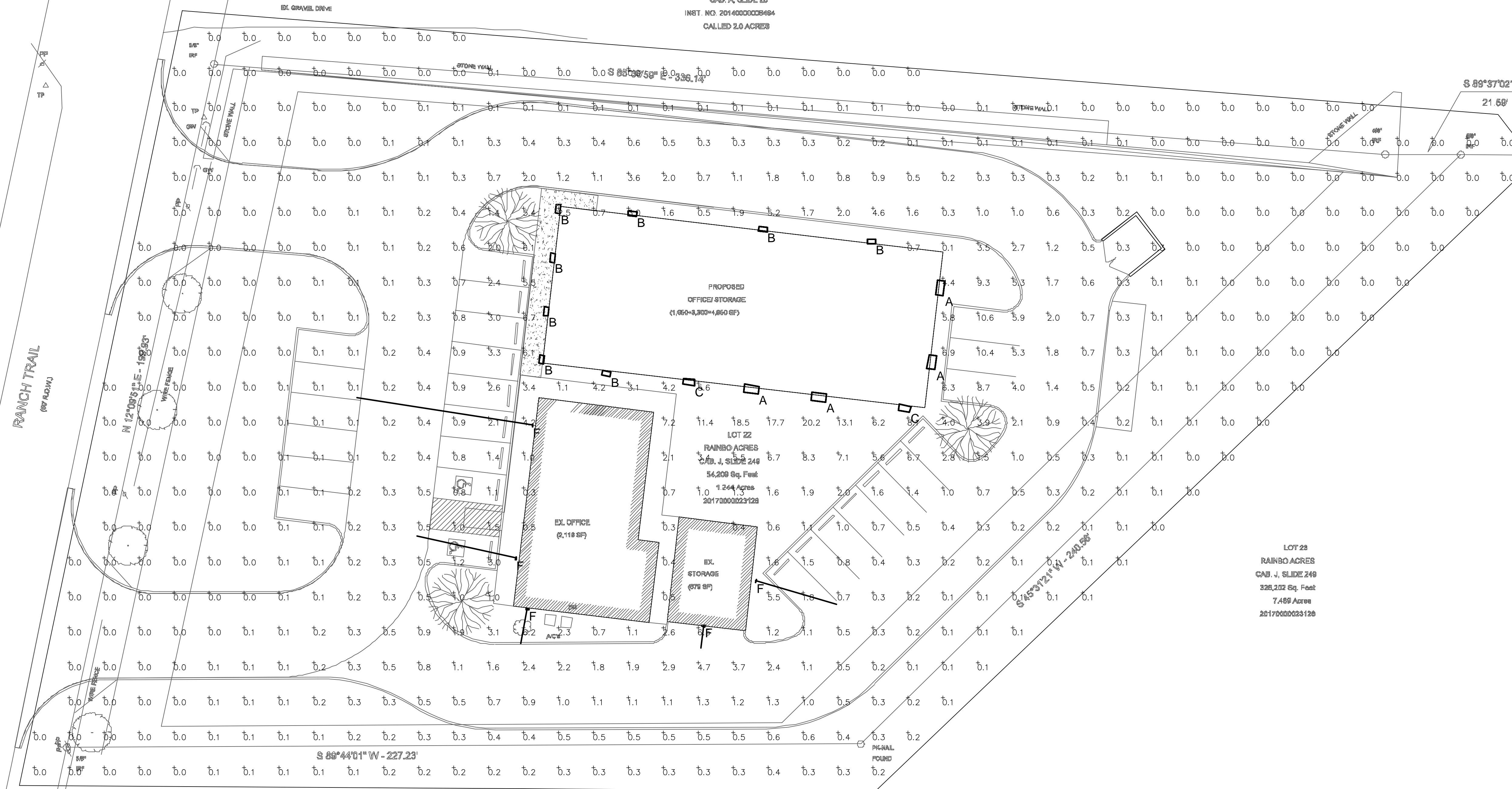
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□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	D	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 5000K, @ 700mA, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_MA.ies	15214	1	130.65
□	E	0	Lithonia Lighting	DSX1 LED P5 50K T3S MVOLT HS	DSX1 LED P5 50K T3S MVOLT with houside shield	LED	1	DSX1_LED_P5_50K_T3S_MVOLT_HS.ies	13311	1	138
□	H	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT HS MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, RIGHT ROTATED TYPE T3M OPTIC, 5000K, @ 700mA WITH HOUSE SIDE SHIELD, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_HS_MA.ies	10103	1	130.39
□	F	5	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

EPIC ROCKWALL VENTURE LLC
PART OF LOT 18
RAINBO ACRES
CAB. A, SLIDE 20
INST. NO. 2014000009464
CALLED 2.0 ACRES



LOT 23
RAINBO ACRES
CAB. J, SLIDE 248
328,202 Sq. Feet
7.488 Acres
20170000023128

LOT 28
RAINBO ACRES
CAB. J, SLIDE 249
328,202 Sq. Feet
7.488 Acres
20170000023128

1 SITE PLAN
SCALE: 1/16" = 1'-0"

REVISIONS		
NO.	ITEM	DATE

PERMIT SET 02-11-21

RAINBO ACRES
Rockwall, Texas

3/12/2021

rtm
engineering consultants
14901 Quorum Dr. #565
Dallas, TX 75254
rtmassociates.com
972.387.3500
firm registration# 17316

DRAWN BY: TJ
CHECKED BY: DL

DATE 02-11-21

PROJECT 21.RDA.001

SITE PLAN
PHOTOMETRICS

SHEET **SL1**

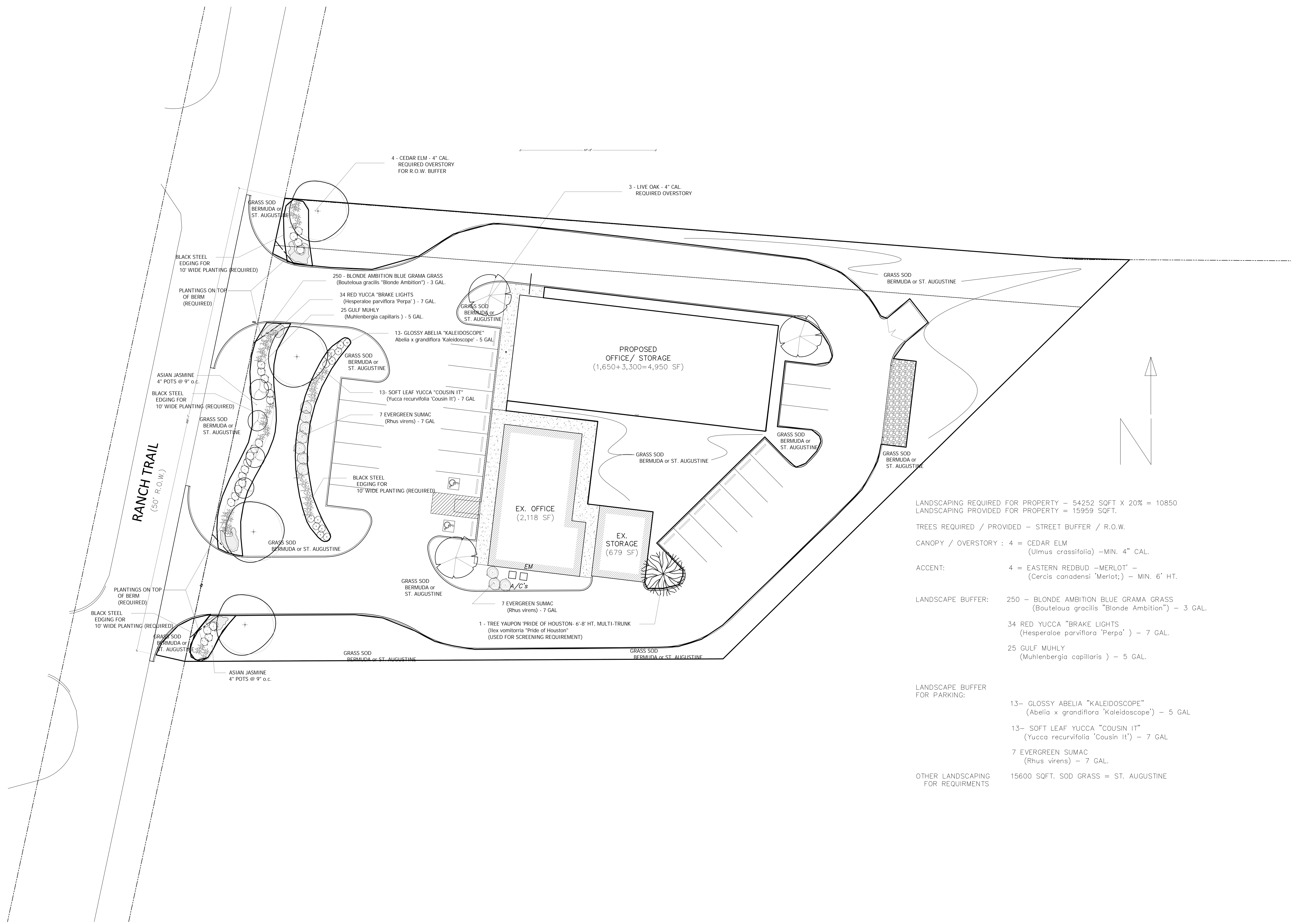


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LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM
 (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT-
 (Cercis canadensis 'Merlot'); - MIN. 6' HT.

LANDSCAPE BUFFER: 250 - BLONDE AMBITION BLUE GRAMA GRASS
 (Bouteloua gracilis "Blonde Ambition") - 3 GAL.

34 RED YUCCA "BRAKE LIGHTS
 (Hesperaloe parviflora 'Perpa') - 7 GAL.

25 GULF MUHLY
 (Muhlenbergia capillaris) - 5 GAL.

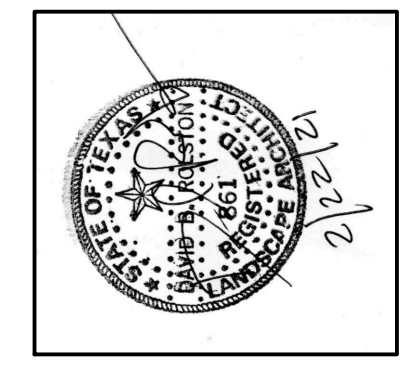
LANDSCAPE BUFFER FOR PARKING:

13- GLOSSY ABELIA "KALEIDOSCOPE"
 (Abelia x grandiflora 'Kaleidoscope') - 5 GAL

13- SOFT LEAF YUCCA "COUSIN IT"
 (Yucca recurvifolia 'Cousin It') - 7 GAL

7 EVERGREEN SUMAC
 (Rhus virens) - 7 GAL.

OTHER LANDSCAPING FOR REQUIREMENTS
 15600 SQFT. SOD GRASS = ST. AUGUSTINE



Date: 22 FEB 2021
 Revisions:
 Scale: 1/20 = 1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: SP2021-012
PROJECT NAME: Amended Site Plan for 259 Ranch Trail
SITE ADDRESS/LOCATIONS: 259 RANCH TRL, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2021-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. The signature block is required on all sheets of the plans. (Subsection 03.04.A, of Article 11)
2. If the plans have been updated since 2019 the date created needs to be updated. (Subsection 03.04. A, of Article 11)
3. The distance between the existing building and the proposed building is less than the required 15-feet. The fire department will require the south wall to be fire rated. For this requirement consult the fire department. (Subsection 03.04. B, of Article 11)
4. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
5. The Ranch Trail right-of-way (ROW) is 60-feet and requires 30-feet of ROW on each side of the centerline. Correct the plans to reflect this; subsequently more ROW may need to be dedicated. Consult with the engineering department on this requirement. (Subsection 03.04. B, of Article 11)
6. Indicate the Ranch Trail centerline. (Subsection 03.04. B, of Article 11)
7. Indicate the type and location of any proposed or existing fences. The height and type of fence must be included. (Subsection 08.02. F, of Article 08)
8. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Pad mounted must be screening from any public ROW and adjacent properties; the existing units are still visible from the southern property. Roof mounted must not be visible from the street or adjacent properties. (Subsection 01.05. C, of Article 05)
9. Clearly identify the material utilized in the dumpster screening; confirm that the gate is self-latching and opaque. Please review the requirement: Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Indicate all existing trees and shrubs. (Subsection 05.03. B, of Art. 08)
4. Indicate if any trees are to be removed. If so, a treescape plan must be submitted. (Subsection 03.01, of Article 09)
5. Include a statement that indicating that the irrigation will meet the requirements within the Unified Development Code. (Subsection 05.04, of Art. 08)

M.7 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Adjust your lighting to meet the following: The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Currently both of these standards are not meet given the proposed photometric plan (Subsection 03.03. G, of Article 07)
3. Verify and indicate the up lighting; no up lighting shall exceed 15W. (Subsection 03.03. A, of Article 07)
4. Provide cutsheets of all proposed lighting. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

1. Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, of Art. 05)
2. Indicate the style of the metal roofing, as lapped seam, bituminous built-up roofs, and/or flat membranetype roofs that are visible from adjacent properties or public right-of-way shall be prohibited. (Subsection 04.01, of Art. 05)
3. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. Consider crosshatching on the elevations where any roof mounted units will be located. (Subsection 01.05. C, of Article 05)
4. The proposed elevations do not meet the horizontal articulation, vertical articulation, and roof pitch. (Subsection 04.01 C. 1, of Article 05)

I.9 All proposed and existing signage will be covered in the building permit.

M.10 There are currently three (3) variances with the proposed plans, which are as follows: horizontal articulation, vertical articulation, and roof pitch. The letter requesting the variances will need to be updated to include the vertical articulation.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 11, 2021.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Dimensions for separation between driveways is measured from edge of paving to edge of paving.

M - Dimension all driveway spacing distances.

The following items are informational for the engineering design process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees for expansion (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.

- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - Must plat

Drainage Items:

- I - Dumpster areas to drain to oil/water separator and then to the storm lines.

Roadway Paving Items:

- I - Parking to be 20'x9' facing the building or nose-to-nose.
- I - No dead-end parking allowed.
- I - Drive isles to be 24' wide.
- I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- I - Fire lane to be in a platted easement.
- M - Fix Driveway Spacing labeling between driveways and existing driveways north and south on Ranch Trail. Measured from edge to edge of each driveway. 100 ft spacing between driveways min required.
- I - Full Panel Concrete replacement on Ranch Trail for proposed utilities.

Water and Wastewater Items:

- I - Sanitary Sewer Pro-Rata \$94.41 per acre
- I - Do you plan on changing the water or sewer services? Impact fees will apply to up sizing the meter.

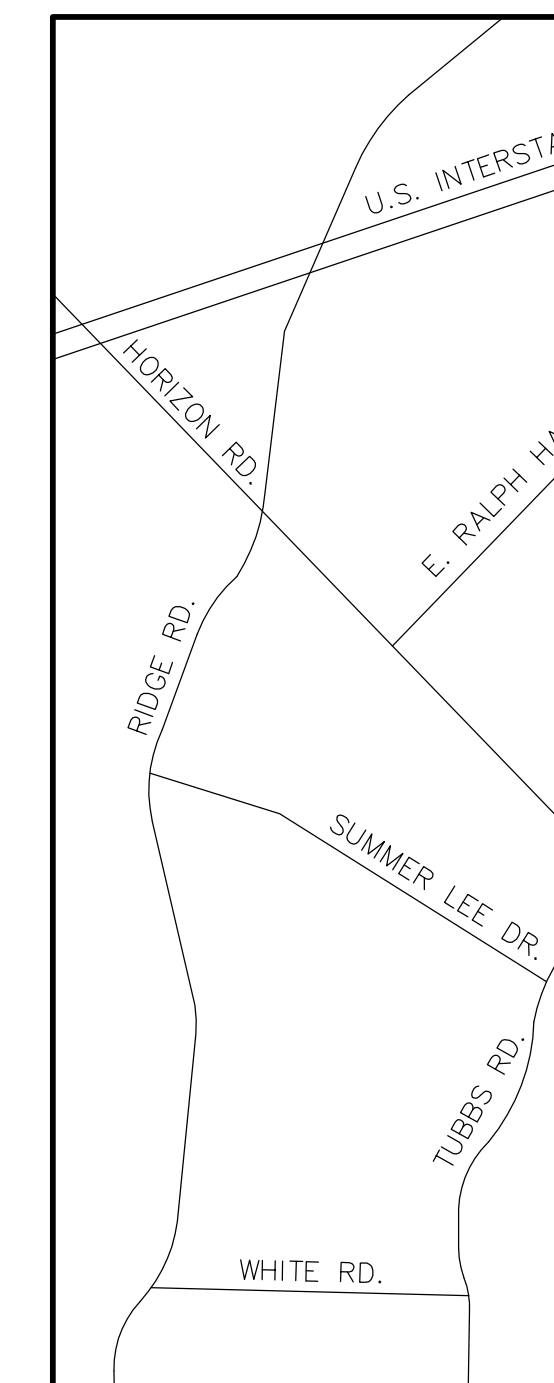
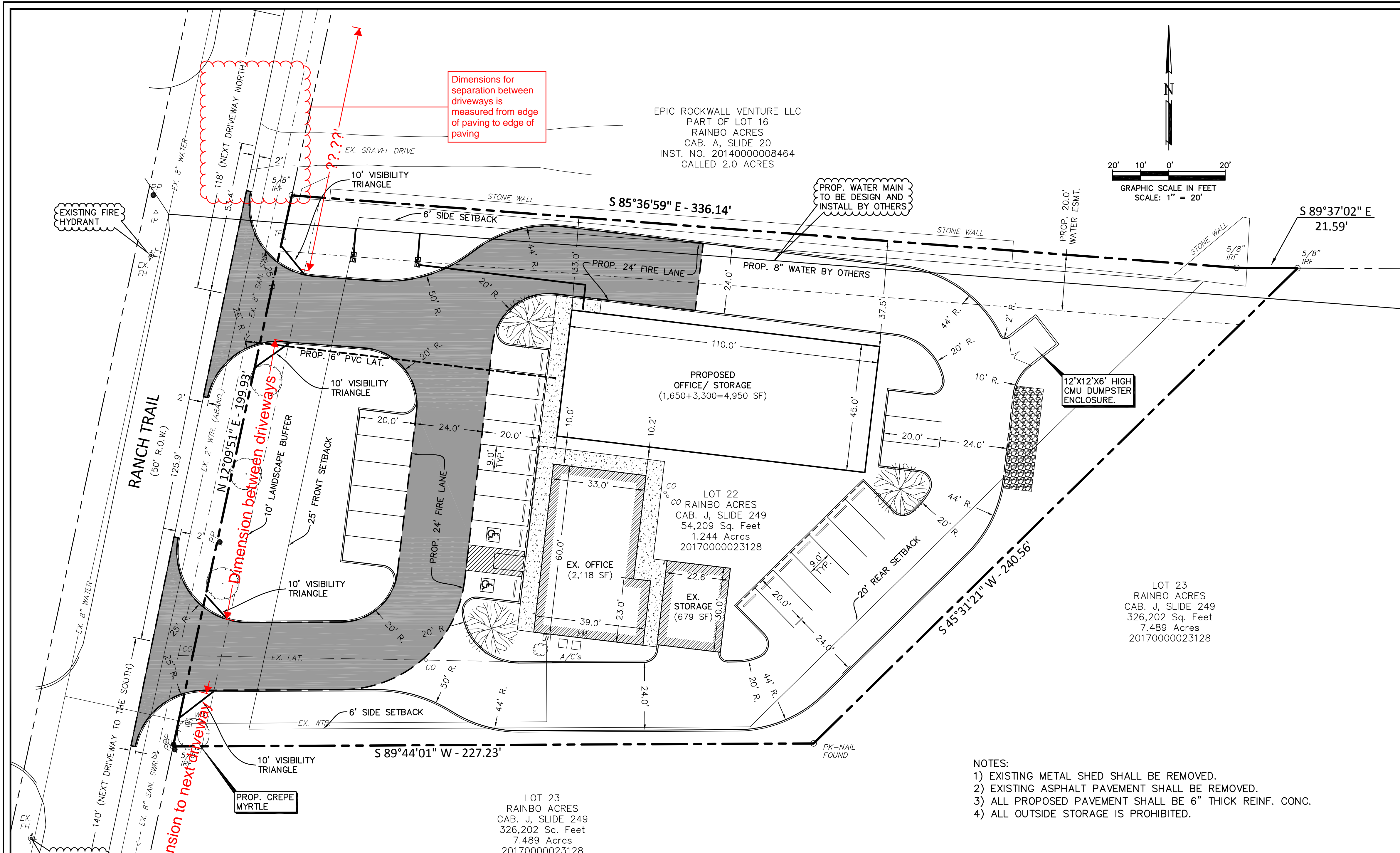
Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments

04/19/2021: Trees not to be within 5' of water and sewer lines



- General Items:**
- I - Must meet City Standards of Design and Construction
 - I - 4% Engineering Inspection Fees
 - I - Impact Fees for expansion (Water, Wastewater & Roadway)
 - I - Minimum easement width is 20' for new easements. No structures allowed in easements.
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- Landscaping:**
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 - I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

SITE DATA

LOT AREA
ZONING
IMPERVIOUS AREA - BUILDING
IMPERVIOUS AREA - PAVEMENT
TOTAL IMPERVIOUS AREA
LANDSCAPE AREA

PARKING CALCULATION

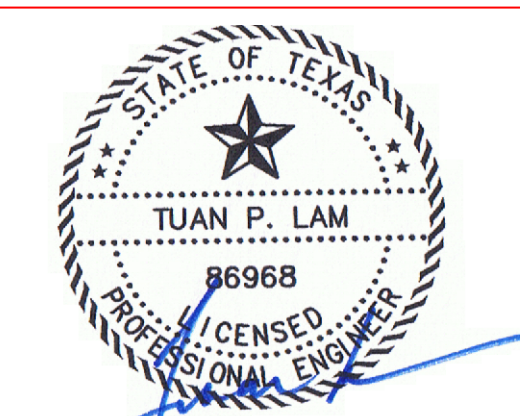
PARKING REQUIRED (OFF-STREET)
PARKING REQUIRED (OFF-STREET)
PARKING REQUIRED (STREET)
PARKING REQUIRED (STREET)
TOTAL PARKING REQUIRED
PARKING PROVIDED

- NOTES:**
- 1) EXISTING METAL SHED SHALL BE REMOVED.
 - 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - 4) ALL OUTSIDE STORAGE IS PROHIBITED.

DETECTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETENTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032
(972) 722-2408



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 10/16/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

SITE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

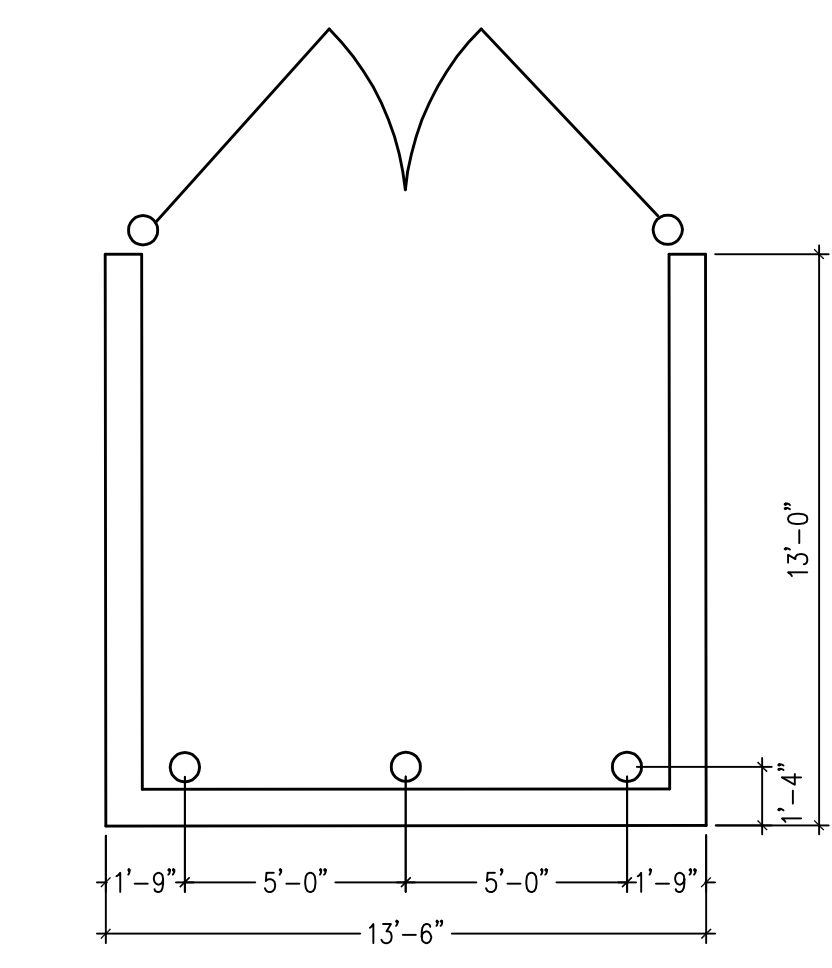
LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	2 of 9
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	

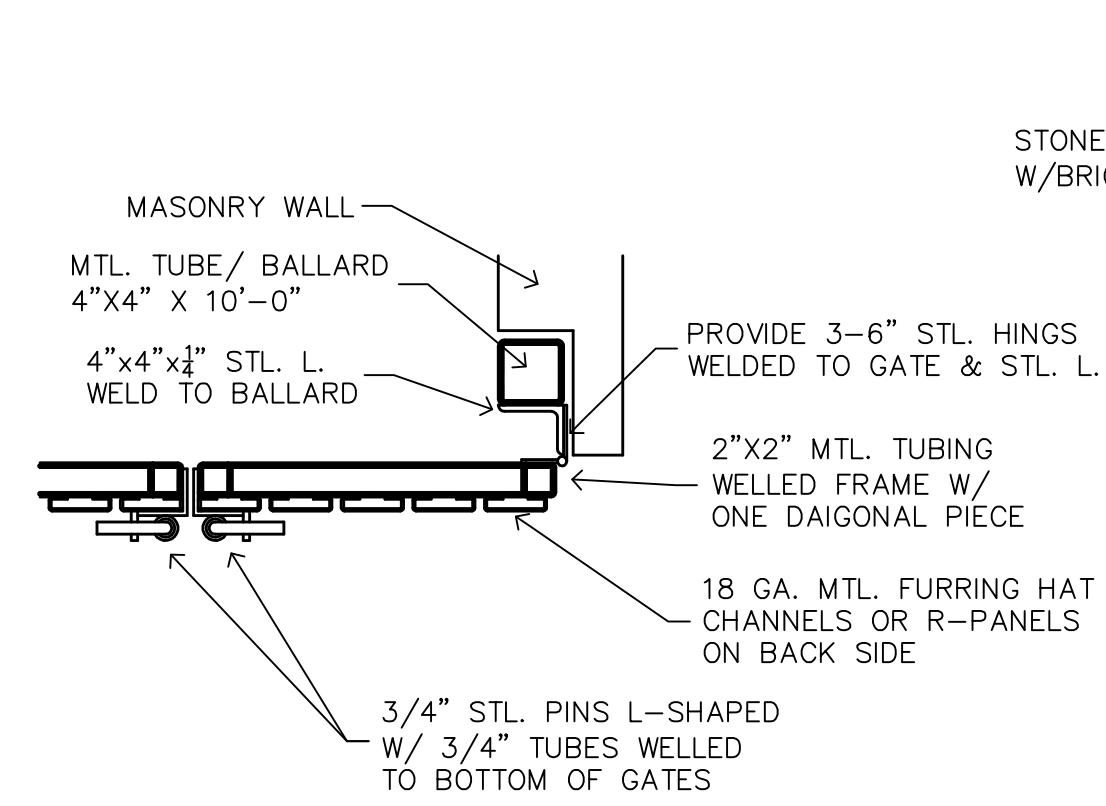
SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

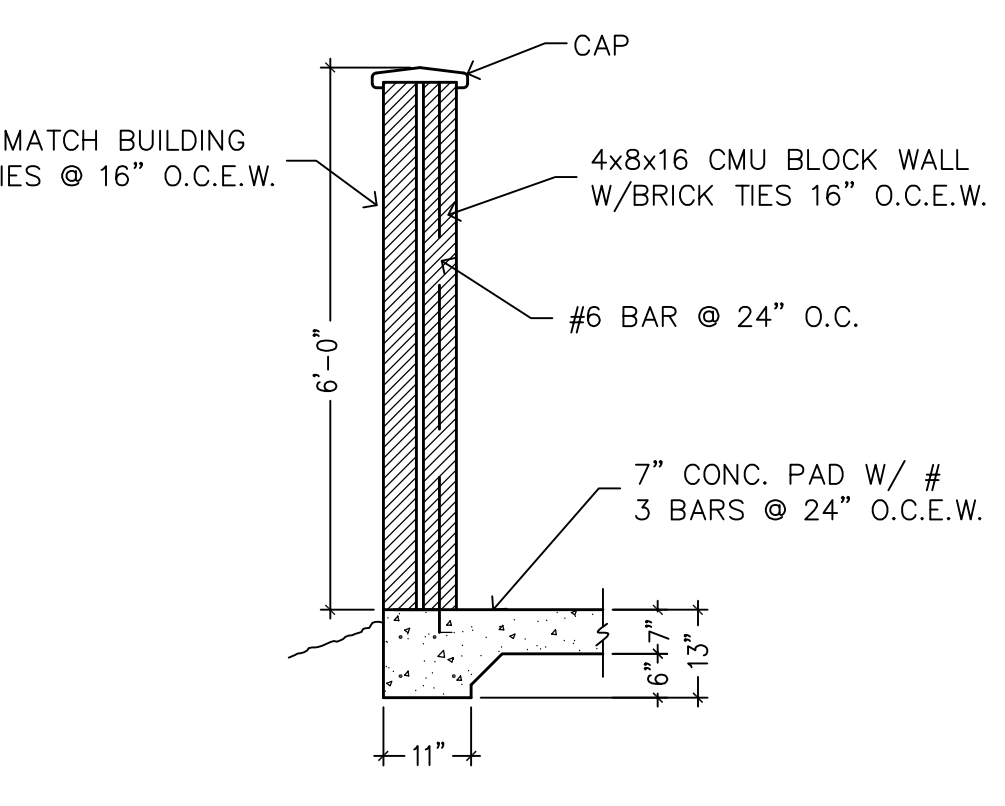
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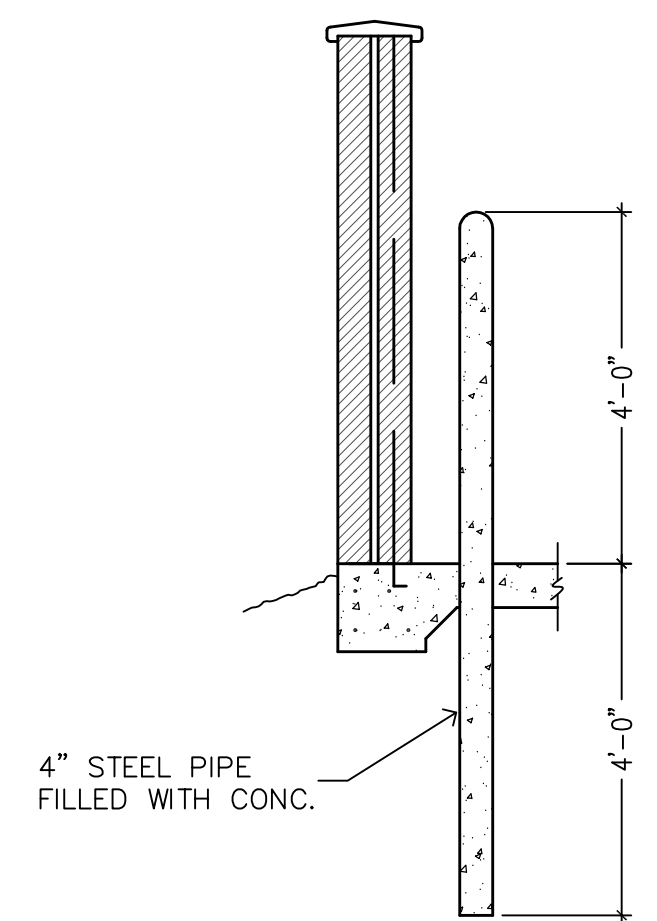
1 DUMPSTER PLAN
N.T.S.



2 DETAIL @ BALLARD
N.T.S.



3 SECTION @ DUMPSTER WALL
N.T.S.



4 DETAIL @ BALLARD
N.T.S.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 259 Ranch Trail

SUBDIVISION Rainbo Acres LOT 22 BLOCK

GENERAL LOCATION Ranch Trail & Horizon Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial CURRENT USE Commercial

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE 1.2 LOTS [CURRENT] 1.2 LOTS [PROPOSED] 1.2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Truman Heights LLC APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON _____

ADDRESS 259 Ranch Trail ADDRESS _____

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP _____

PHONE 972-722-2408 PHONE _____

E-MAIL mike@rdmoormaninc.com E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

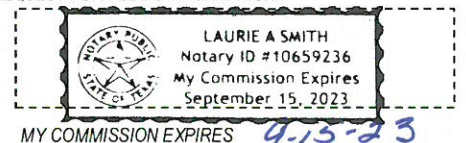
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN MOOLMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF APRIL, 2021

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





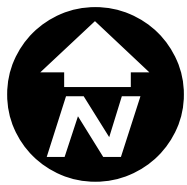
SP2021-012- AMENDED SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP =

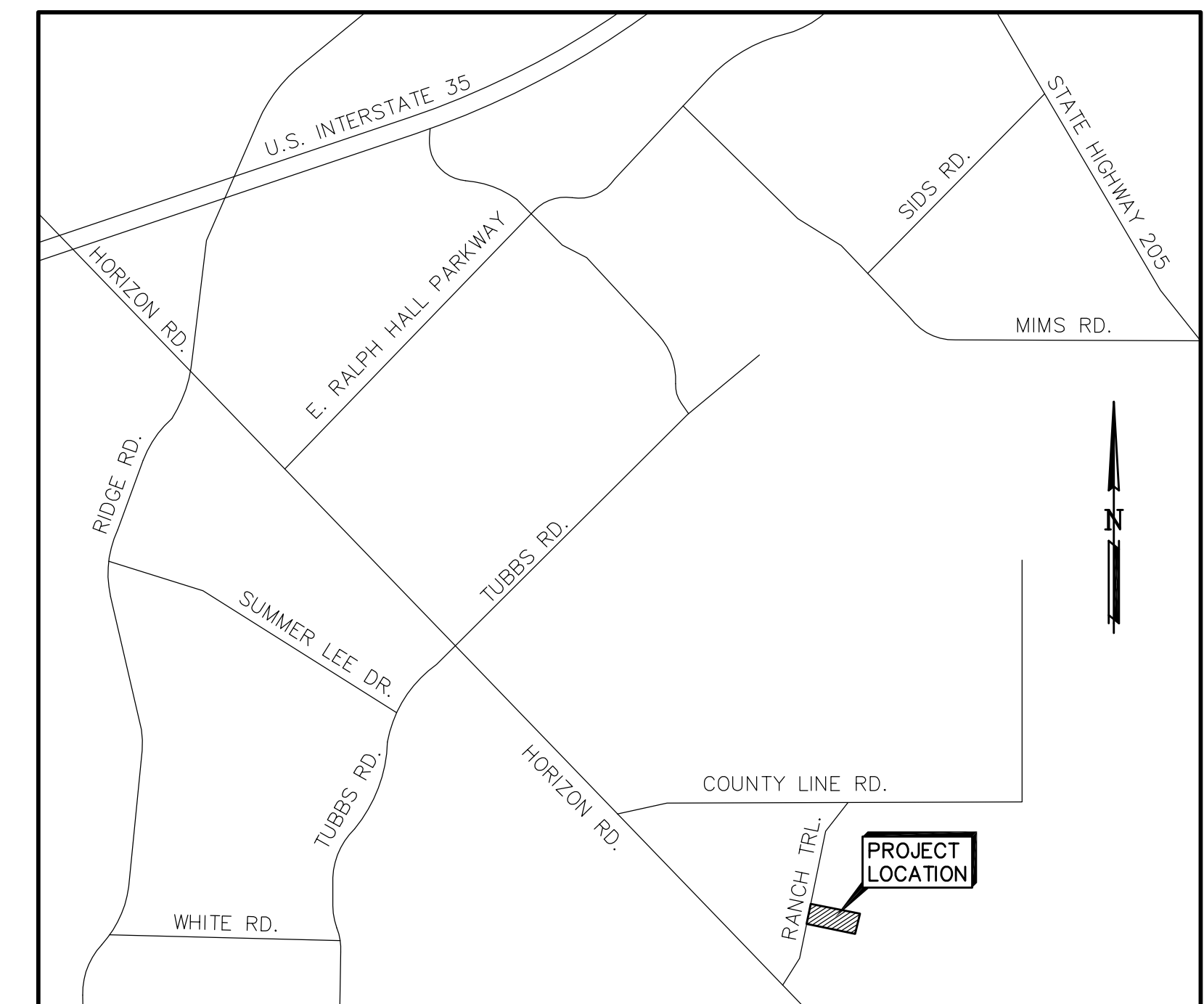
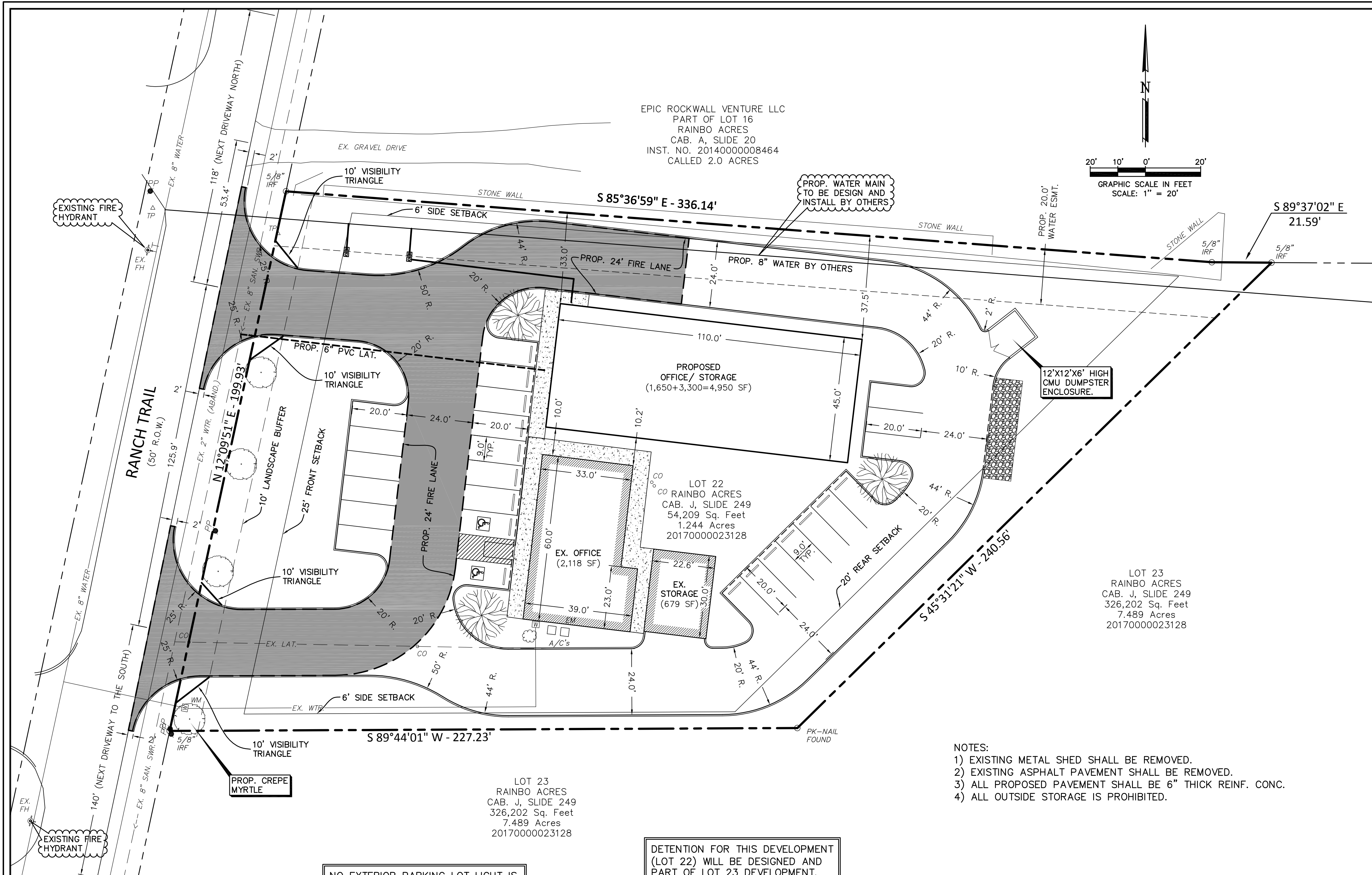


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

SITE DATA	
LOT AREA	22,740.74
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

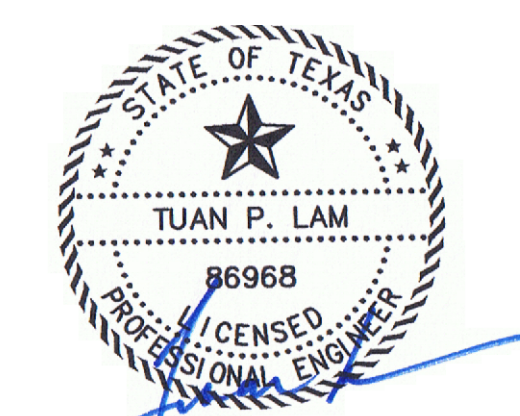
PARKING CALCULATION	
PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

- NOTES:
- EXISTING METAL SHED SHALL BE REMOVED.
 - EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETONATION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETONATION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

OWNER:
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032
(972) 722-2408



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 10/16/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

SITE PLAN

RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

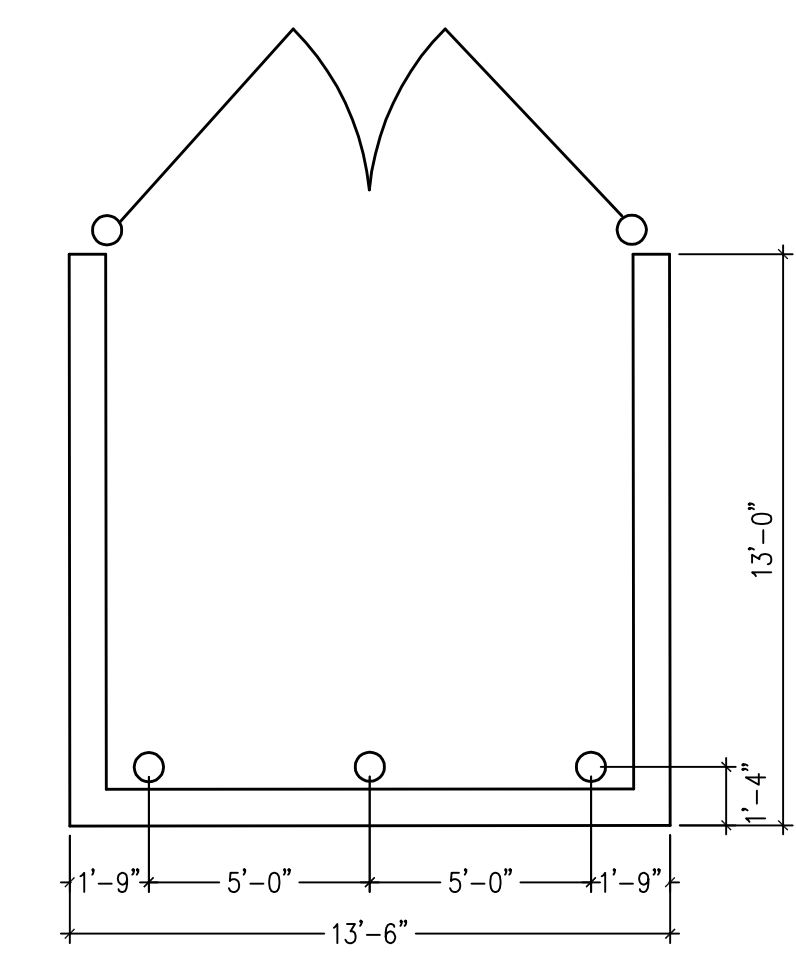
LAM CONSULTING ENGINEERING
6804 WILHELMINA DRIVE
SACHSE, TEXAS 75048
Phone (214) 766-1011
www.lamcivil.com
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	2 of 9
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	

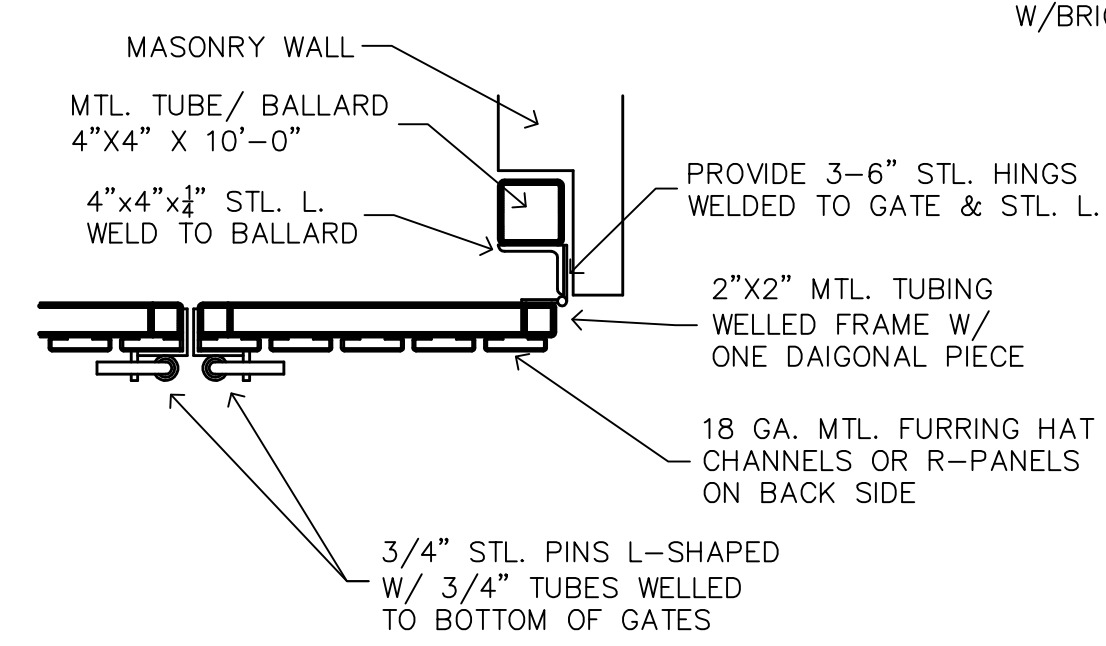
SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

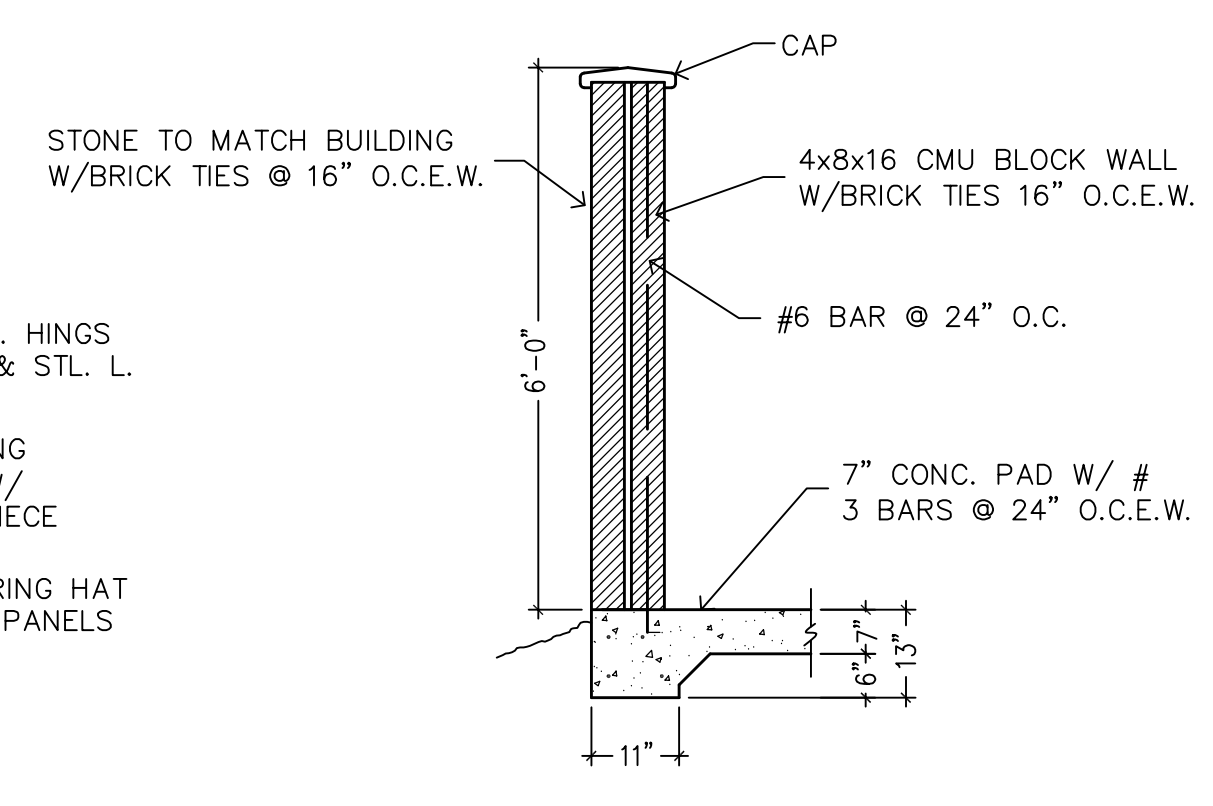
THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS



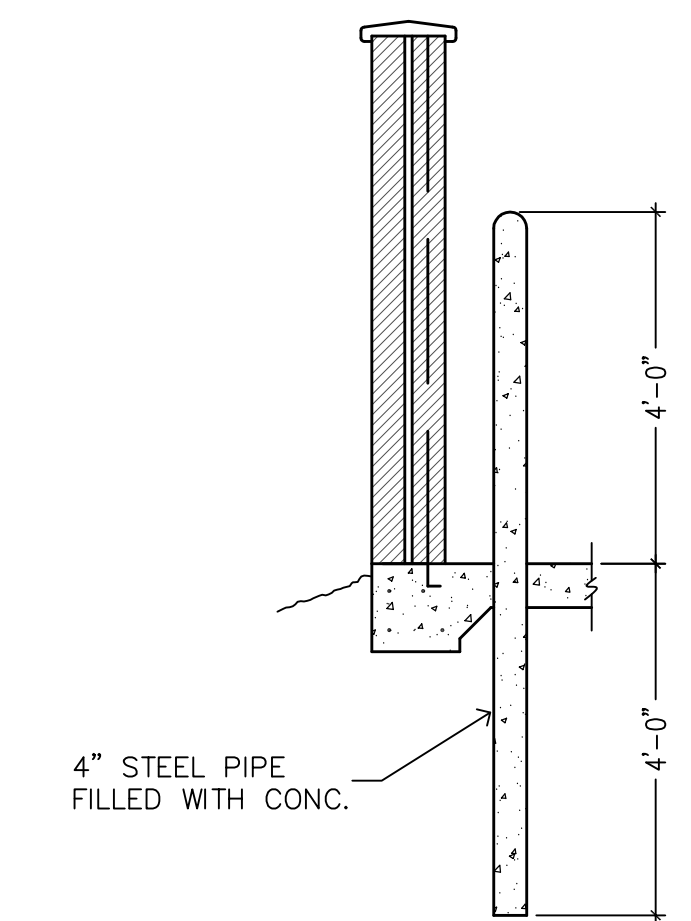
1 DUMPSTER PLAN
N.T.S.



2 DETAIL @ BALLARD
N.T.S.



3 SECTION @ DUMPSTER WALL
N.T.S.



4 DETAIL @ BALLARD
N.T.S.

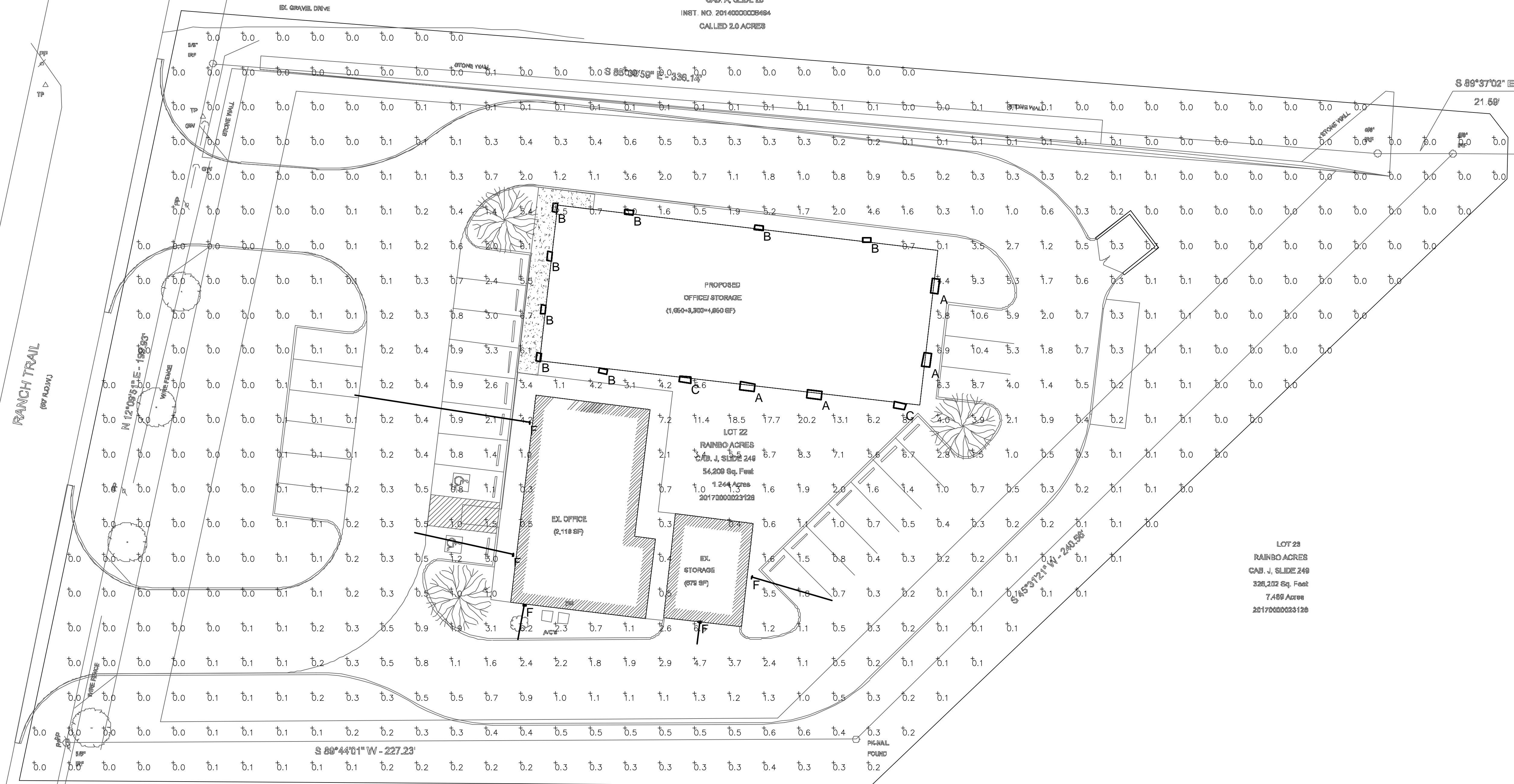
PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	20.2 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	4	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	D	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 5000K, @ 700mA, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_MA.ies	15214	1	130.65
□	E	0	Lithonia Lighting	DSX1 LED P5 50K T3S MVOLT HS	DSX1 LED P5 50K T3S MVOLT with houseshield	LED	1	DSX1_LED_P5_50K_T3S_MVOLT_HS.ies	13311	1	138
□	H	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT HS MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, RIGHT ROTATED TYPE T3M OPTIC, 5000K, @ 700mA WITH HOUSE SIDE SHIELD, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_HS_MA.ies	10103	1	130.39
□	F	5	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

EPIC ROCKWALL VENTURE LLC
PART OF LOT 18
RAINBO ACRES
CAB. A, SLIDE 20
INST. NO. 2014000009464
CALLED 2.0 ACRES



LOT 23
RAINBO ACRES
CAB. J, SLIDE 248
328,202 Sq. Feet
7.488 Acres
20170000023128

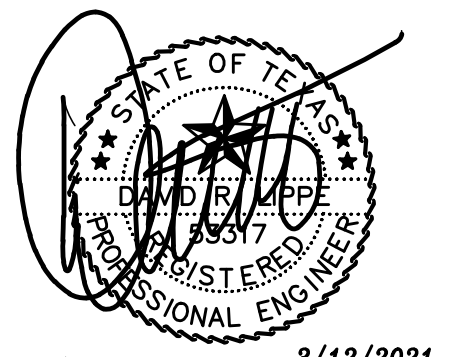
LOT 28
RAINBO ACRES
CAB. J, SLIDE 249
328,202 Sq. Feet
7.488 Acres
20170000023128

1 SITE PLAN
SCALE: 1/16" = 1'-0"

REVISIONS		
NO.	ITEM	DATE

PERMIT SET 02-11-21

RAINBO ACRES
Rockwall, Texas



3/12/2021
rtm
engineering consultants
14901 Quorum Dr. #565
Dallas, TX 75254
rtmassociates.com
972.387.3500
firm registration# 17316

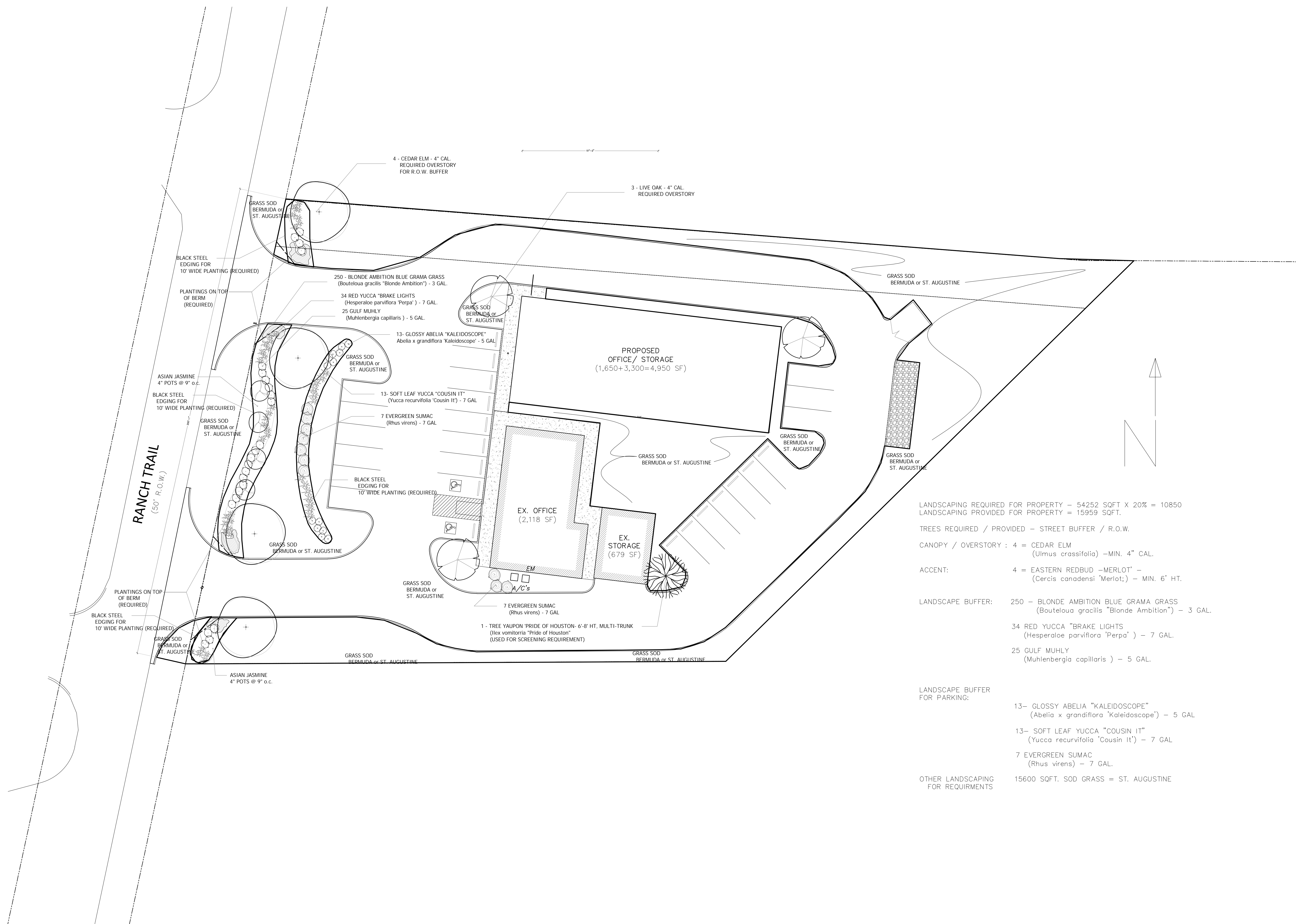
DRAWN BY: TJ
CHECKED BY: DL

DATE 02-11-21

PROJECT 21.RDA.001

SITE PLAN
PHOTOMETRICS

SHEET **SL1**



LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM
 (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT-
 (Cercis canadensis 'Merlot'); - MIN. 6' HT.

LANDSCAPE BUFFER: 250 - BLONDE AMBITION BLUE GRAMA GRASS
 (Bouteloua gracilis "Blonde Ambition") - 3 GAL.

34 RED YUCCA "BRAKE LIGHTS
 (Hesperaloe parviflora 'Perpa') - 7 GAL.

25 GULF MUHLY
 (Muhlenbergia capillaris) - 5 GAL.

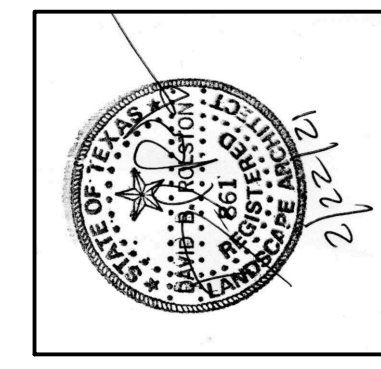
LANDSCAPE BUFFER FOR PARKING:

13- GLOSSY ABELIA "KALEIDOSCOPE"
 (Abelia x grandiflora 'Kaleidoscope') - 5 GAL

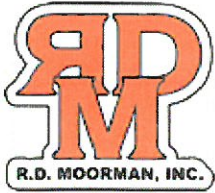
13- SOFT LEAF YUCCA "COUSIN IT"
 (Yucca recurvifolia 'Cousin It') - 7 GAL

7 EVERGREEN SUMAC
 (Rhus virens) - 7 GAL.

OTHER LANDSCAPING FOR REQUIRMENTS
 15600 SQFT. SOD GRASS = ST. AUGUSTINE



Date: 22 FEB 2021
 Revisions:
 Scale: 1/20 = 1'-0"



Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Roof Pitch

The following items are the compensatory measures we are offering:

- Dedicated 5' additional for ROW on Ranch Trail.
- Increased landscape buffer facing Ranch Trail.
- Increased the building articulation.
- Included 20% masonry.
- Added canopy over main entrance.
- Added 4 additional live oak trees.

Ryan Moorman

A handwritten signature in black ink, appearing to read 'Ryan Moorman', is written over a horizontal line.

259 Ranch Trail, Rockwall Texas 75032



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 11, 2021
APPLICANT: Mike Prince; *Truman Heights LLC*
CASE NUMBER: SP2021-012; *Amended Site Plan for 259 Ranch Trail*

SUMMARY

Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of an Amended Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

BACKGROUND

The subject property was annexed in 2004 [*Ordinance No. 04-34*] and zoned Commercial (C) District. In 2017, the City Council approved a replat [*Case No. P2017-050*] to subdivide the subject property (*i.e. Lots 22 & 23 of the Rainbow Acres Addition*) from the adjacent property in order for a mini-warehouse facility to be developed on Lot 23. On September 10, 2019, the Planning and Zoning Commission approved a site plan [*Case No. SP2019-031*] for the purpose of constructing a 4,950 SF office building, and converting the existing 2,366 SF single-family home into an office building. Associated with the site plan was a variance for the horizontal articulation; however, this request failed to get a supermajority vote, failing 4-2 with Commissioners Womble and Welch dissenting and Commissioner Moeller absent. The applicant appealed the variance denial to the City Council, where the City Council denied the appeal on November 7, 2019 by a vote of 7-0. After this denial the applicant proceeded with converting the existing single-family home into an office building, but abandoned the request to add a new 4,950 SF office building to the subject property.

PURPOSE

On April 16, 2021, the applicant -- *Mike Prince of Truman Heights LLC* -- submitted an application requesting the approval of a site plan for the purpose of constructing a 4,950 SF office building on the subject property adjacent to the existing (*converted*) 2,366 SF office building.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 259 Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several commercial structures. Beyond this is vacant tract of land adjacent to County Line Road. County Line Road is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. These areas are all zoned Commercial (C) District.

South: Directly south of the subject property several are commercial structures. Beyond this is vacant tract of land that is adjacent to FM-3097. FM-3097 is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a 7.489-acre parcel of land that is currently being operated as a mini-warehouse facility. This property is zoned Commercial (C) District. Following this is a 131.39-acre tract of vacant land (*i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80 [commonly referred to as the Wallace Tract]*)

zoned Agricultural (AG) District. Beyond this are two (2) single-family residential subdivisions (*i.e. the Oaks of Buffalo Way and Willowcrest Estates Subdivisions*), which are zoned Single-Family Estates 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several commercial structures that are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an office building is permitted *by-right* in a Commercial (C) District and no additional approvals are necessary with regard to the proposed land use. With the exception of the variances being requested the submitted landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=54,210 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=200-Feet-In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=227-336-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X=15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=16-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=14%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>17 Parking Spaces</i>	<i>X=26 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=41%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=41%; In Conformance</i>

TREESCAPE PLAN

The proposed landscape plan does not propose removing any trees on the subject property. Therefore, this case does not require a Treescape Plan.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is a district "...intended to provide commercial land uses such as retail, large shopping centers, and restaurants. Commercial (C) Districts are generally situated in close proximity to an arterial or major collector that is capable of carrying the traffic generated by the land uses in the district..." In addition, these areas "...may require increased water, fire protection, and wastewater and drainage capacity. Since the Commercial (C) District is general in nature, development standards are less stringent as lower intensity districts such as Residential-Office (RO), Neighborhood Services (NS), and General Retail (GR) Districts..." In this case, the applicant's request appears to conform to the requirements of the Unified Development Code (UDC). Specifically, the subject property is adjacent to Ranch Trail Road -- *identified as a Minor Collector on the City's Master Thoroughfare Plan* --, and the proposed land use (*i.e. office*) is not typically a high-volume water/wastewater user. With regard to the land use, an office building is permitted *by-right* in a Commercial (C) District.

EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

- (1) *Building Articulation.*

- (a) Secondary Building Façade: According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that “(a) secondary building façade is any building façade that does not have a primary entryway or an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property ... (a)ll commercial buildings shall meet the standards for articulation on secondary building façades as depicted in Figure 7.” The reference figure goes on to require that the maximum wall length shall not exceed three (3) times the wall height. In this case, the north and south elevations show that the wall of the proposed addition is 110-feet long and 23-feet 9-inches tall. This exceeds the wall length requirements (*i.e.* $23.67' \times 3 = 71'$). Based on this, the applicant is requesting an exception. The reference figure also requires that projections must be 25% taller than the wall height. In this case, the east elevation shows that the projection is 23-feet 8-inches and the wall height is 19-feet 8-inches. This does not meet the wall projection requirements (*i.e.* $19.67' \times 1.25 = 24.6'$). Based on this, the applicant is requesting an exception.

(2) Construction Standards

- (a) Roof Design Standards: According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that “(a)ll structures shall have the option of being constructed with either a pitched (*minimum of a 6:12 roof pitch*), parapet, or mansard roof system as long as the roof system is enclosed on all sides.” In this case, the applicant has a pitched roof with a pitch of 3:12. Based on this, the applicant is requesting an exception.

According to Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, “(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception. In this case, the applicant is providing additional landscaping, 100% masonry on the east elevation, a brick wainscot around the building, and a canopy over the primary entrance to the proposed building. Staff should note that these compensatory measures coupled with the off-set in the building elevations is a substantially different request from the original request that was denied in 2019. In approving exceptions, the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested exception. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a supermajority vote (*i.e.* *a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Southwest Residential District and is situated within an area that is identified as a Transitional Area. According to the district, the Transitional Area is defined as, “...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties...” In this case, this use and the proposed metal building is similar to the existing buildings in the area, and the proposed improvements are similar to other buildings that have been approved along Ranch Trail since this area was annexed by the City in 2004.

The Comprehensive Plan aims to encourage quality commercial development throughout the city by ensuring that industrial/office uses are adequately buffered and/or screening from residential land uses. Roadways and open space serve as a natural separation between non-residential areas and residential subdivisions. Landscape buffers utilizing a combination of berms and mature landscaping should be utilized for non-residential properties that area adjacent to residential or agricultural land. In this case, the subject property is largely surrounded by commercial/industrial uses. The applicant is also providing a landscape buffer adjacent to Ranch Trail. Due to these reasons, this request seems to generally conform to the policies of the Comprehensive Plan regarding screening of non-residential properties.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On April 27, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval by a vote of 3-0, with Board Members Miller, Avenetti, Neill, and Meyrat absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan for the construction of a 4,950 SF building, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/23/2021

PROJECT NUMBER: SP2021-012
PROJECT NAME: Amended Site Plan for 259 Ranch Trail
SITE ADDRESS/LOCATIONS: 259 RANCH TRL, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Mike Prince of Truman Heights, LLC for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City or Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	04/22/2021	Approved w/ Comments

04/22/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an office building on a 1.244-acre parcel of land identified as Lot 22, Rainbow Acres Addition, City or Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 259 Ranch Trail.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2021-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. The signature block is required on all sheets of the plans. (Subsection 03.04.A, of Article 11)
2. If the plans have been updated since 2019 the date created needs to be updated. (Subsection 03.04. A, of Article 11)
3. The distance between the existing building and the proposed building is less than the required 15-feet. The fire department will require the south wall to be fire rated. For this requirement consult the fire department. (Subsection 03.04. B, of Article 11)
4. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
5. The Ranch Trail right-of-way (ROW) is 60-feet and requires 30-feet of ROW on each side of the centerline. Correct the plans to reflect this; subsequently more ROW may need to be dedicated. Consult with the engineering department on this requirement. (Subsection 03.04. B, of Article 11)
6. Indicate the Ranch Trail centerline. (Subsection 03.04. B, of Article 11)
7. Indicate the type and location of any proposed or existing fences. The height and type of fence must be included. (Subsection 08.02. F, of Article 08)
8. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Pad mounted must be screening from any public ROW and adjacent properties; the existing units are still visible from the southern property. Roof mounted must not be visible from the street or adjacent properties. (Subsection 01.05. C, of Article 05)
9. Clearly identify the material utilized in the dumpster screening; confirm that the gate is self-latching and opaque. Please review the requirement: Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Shrubs are a 5-gallon minimum. (Subsection 05.03. B, of Art. 08)
3. Indicate all existing trees and shrubs. (Subsection 05.03. B, of Art. 08)
4. Indicate if any trees are to be removed. If so, a treescape plan must be submitted. (Subsection 03.01, of Article 09)
5. Include a statement that indicating that the irrigation will meet the requirements within the Unified Development Code. (Subsection 05.04, of Art. 08)

M.7 Photometric Plan:

1. Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (Section 2.1 of this checklist)
2. Adjust your lighting to meet the following: The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. Currently both of these standards are not meet given the proposed photometric plan (Subsection 03.03. G, of Article 07)
3. Verify and indicate the up lighting; no up lighting shall exceed 15W. (Subsection 03.03. A, of Article 07)
4. Provide cutsheets of all proposed lighting. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

1. Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, of Art. 05)
2. Indicate the style of the metal roofing, as lapped seam, bituminous built-up roofs, and/or flat membranetype roofs that are visible from adjacent properties or public right-of-way shall be prohibited. (Subsection 04.01, of Art. 05)
3. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. Consider crosshatching on the elevations where any roof mounted units will be located. (Subsection 01.05. C, of Article 05)
4. The proposed elevations do not meet the horizontal articulation, vertical articulation, and roof pitch. (Subsection 04.01 C. 1, of Article 05)

I.9 All proposed and existing signage will be covered in the building permit.

M.10 There are currently three (3) variances with the proposed plans, which are as follows: horizontal articulation, vertical articulation, and roof pitch. The letter requesting the variances will need to be updated to include the vertical articulation.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on May 4, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 4, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 11, 2021 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 27, 2021.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 11, 2021.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/22/2021	Needs Review

04/22/2021: M - Dimensions for separation between driveways is measured from edge of paving to edge of paving.

M - Dimension all driveway spacing distances.

The following items are informational for the engineering design process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees for expansion (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.

- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - Must plat

Drainage Items:

- I - Dumpster areas to drain to oil/water separator and then to the storm lines.

Roadway Paving Items:

- I - Parking to be 20'x9' facing the building or nose-to-nose.
- I - No dead-end parking allowed.
- I - Drive isles to be 24' wide.
- I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- I - Fire lane to be in a platted easement.
- M - Fix Driveway Spacing labeling between driveways and existing driveways north and south on Ranch Trail. Measured from edge to edge of each driveway. 100 ft spacing between driveways min required.
- I - Full Panel Concrete replacement on Ranch Trail for proposed utilities.

Water and Wastewater Items:

- I - Sanitary Sewer Pro-Rata \$94.41 per acre
- I - Do you plan on changing the water or sewer services? Impact fees will apply to up sizing the meter.

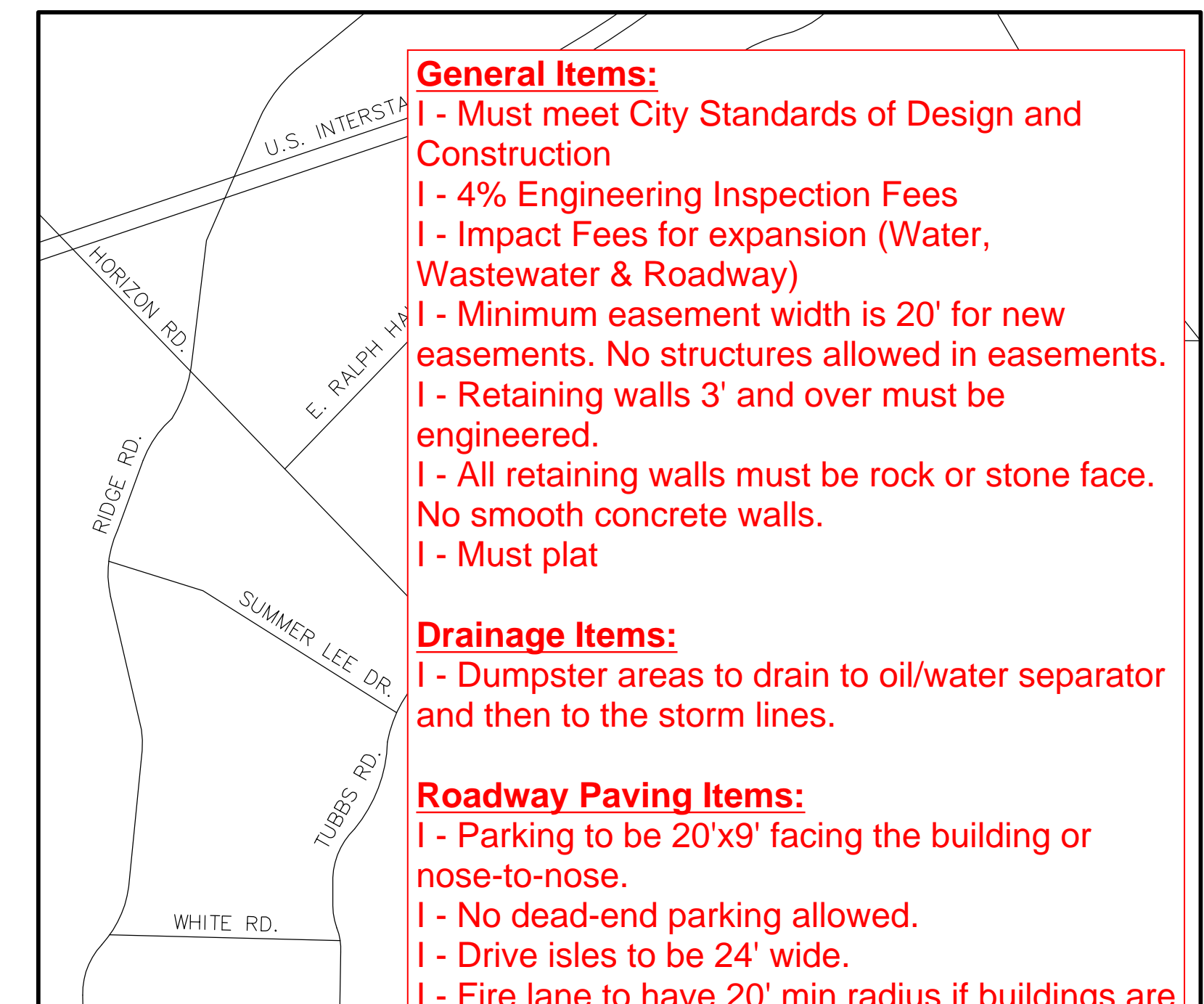
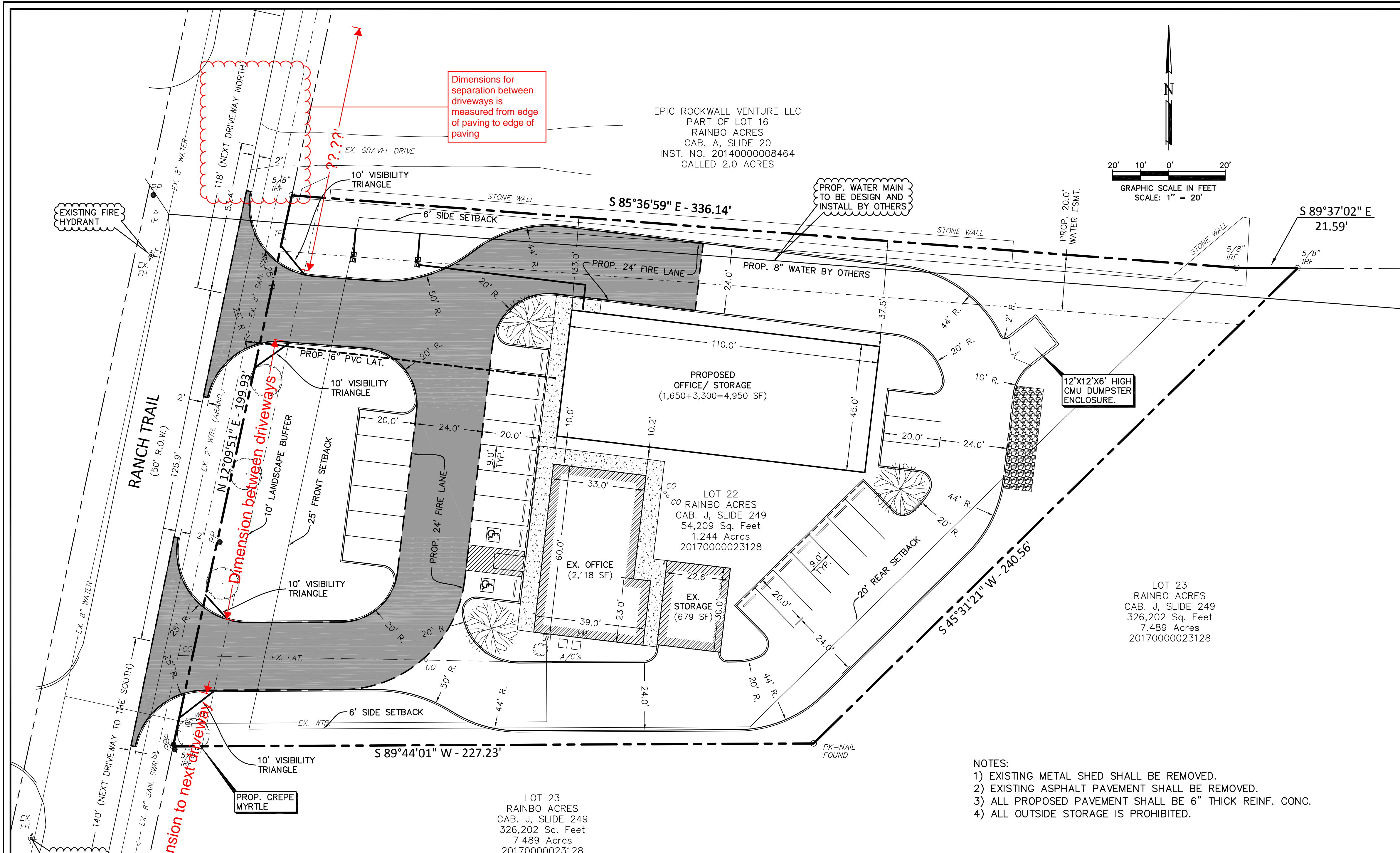
Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/19/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	04/22/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/19/2021	Approved

04/19/2021: No comments

04/19/2021: Trees not to be within 5' of water and sewer lines



SITE DATA

LOT AREA
ZONING
IMPERVIOUS AREA - BUILDING
IMPERVIOUS AREA - PAVEMENT
TOTAL IMPERVIOUS AREA
LANDSCAPE AREA

PARKING CALCULATION

PARKING REQUIRED (OFF-STREET)
PARKING REQUIRED (OFF-STREET)
PARKING REQUIRED (STREET)
PARKING REQUIRED (STREET)
TOTAL PARKING REQUIRED
PARKING PROVIDED

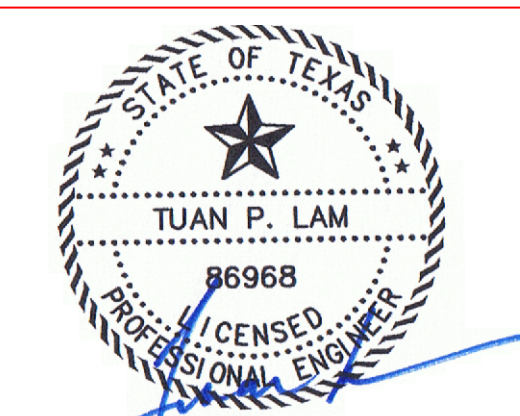
- General Items:**
- I - Must meet City Standards of Design and Construction
 - I - 4% Engineering Inspection Fees
 - I - Impact Fees for expansion (Water, Wastewater & Roadway)
 - I - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - I - Retaining walls 3' and over must be engineered.
 - I - All retaining walls must be rock or stone face. No smooth concrete walls.
 - I - Must plat
- Drainage Items:**
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 - I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

- NOTES:**
- 1) EXISTING METAL SHED SHALL BE REMOVED.
 - 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 - 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 - 4) ALL OUTSIDE STORAGE IS PROHIBITED.

DETECTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETENTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

OWNER:
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 (972) 722-2408



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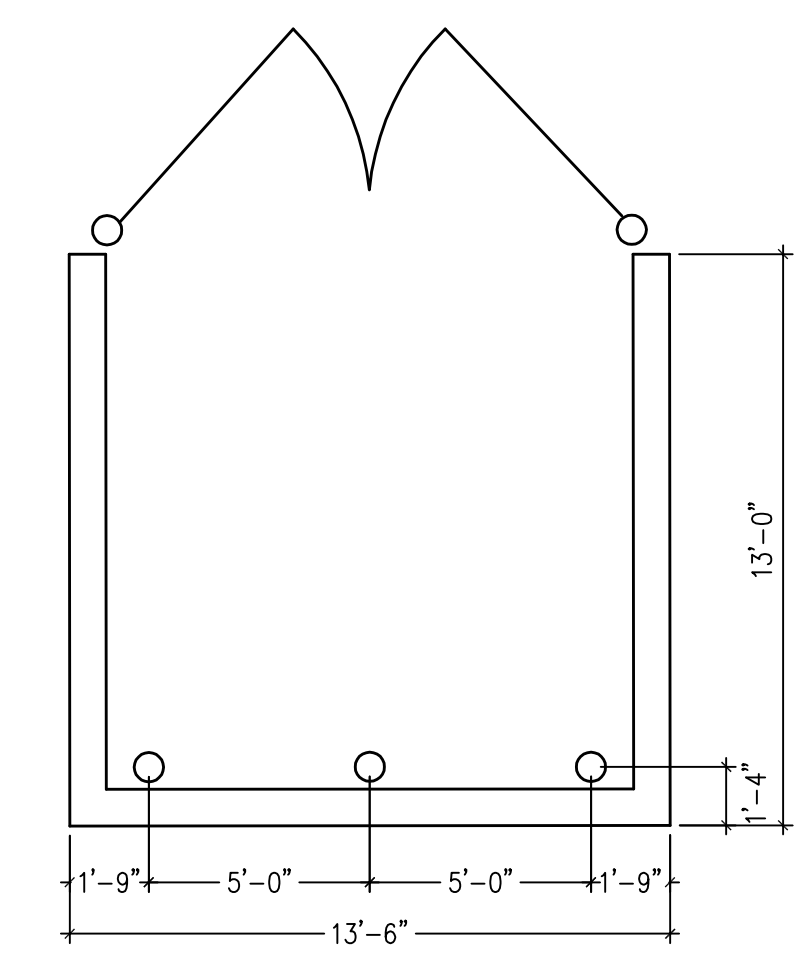
CASE# SP2019-031

SITE PLAN

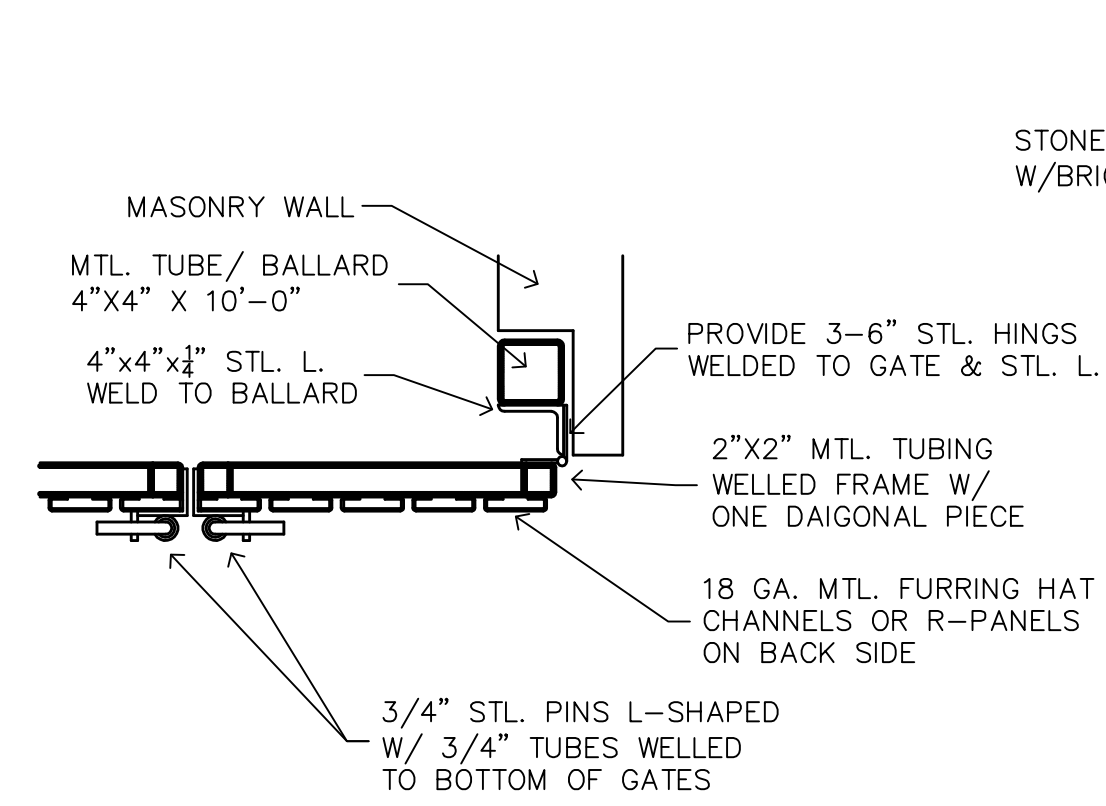
RAINBO ACRES - LOT 22
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
 6804 WILHELMINA DRIVE
 SACHSE, TEXAS 75048
 Phone (214) 766-1011
 www.lamcivil.com
 Firm #F-9763

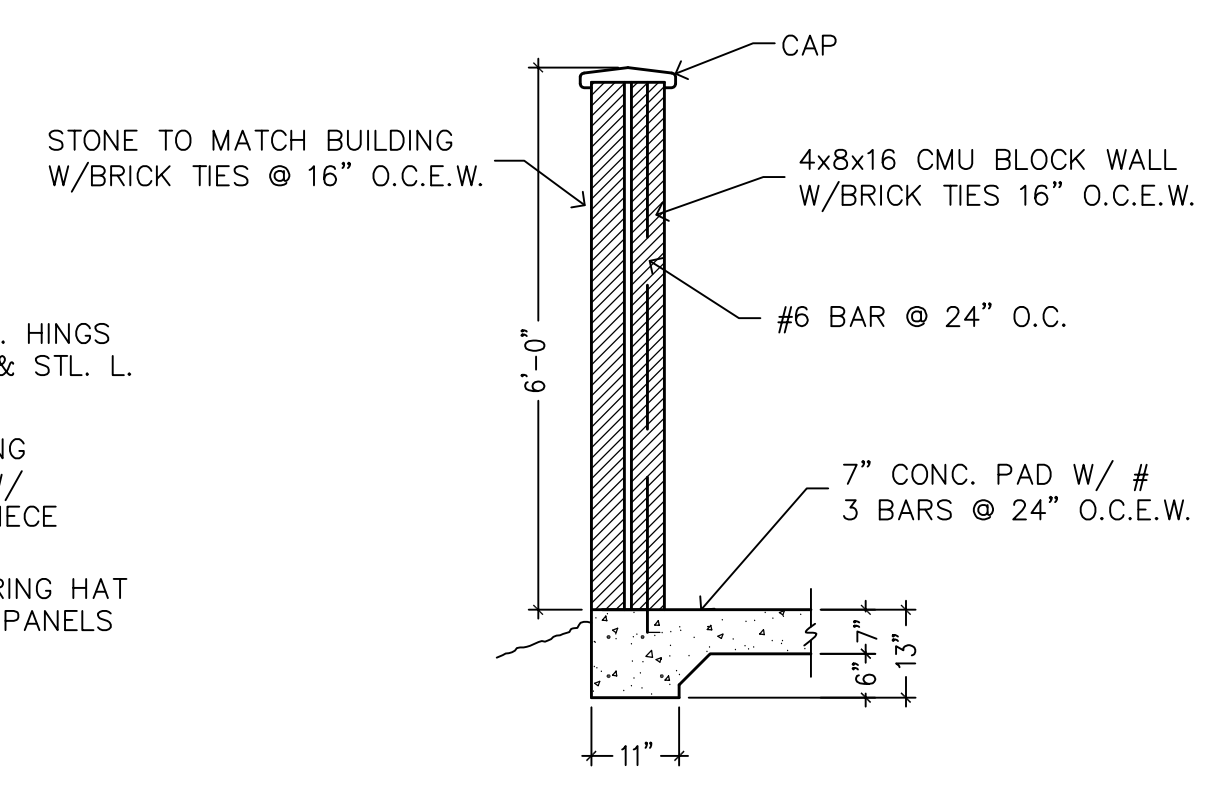
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DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	



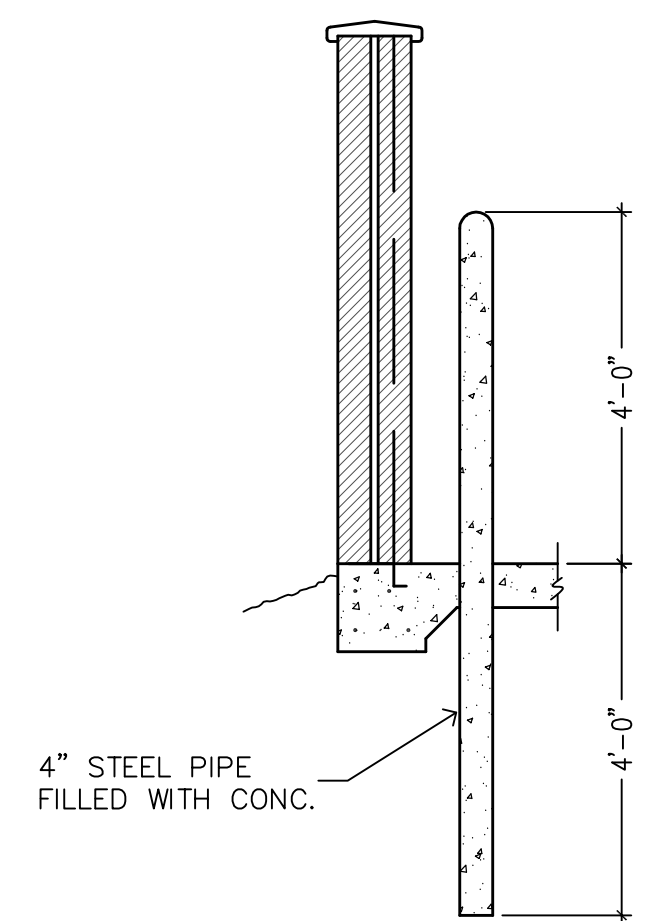
1 DUMPSTER PLAN
 N.T.S.



2 DETAIL @ BALLARD
 N.T.S.



3 SECTION @ DUMPSTER WALL
 N.T.S.



4 DETAIL @ BALLARD
 N.T.S.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 259 Ranch Trail

SUBDIVISION Rainbo Acres LOT 22 BLOCK

GENERAL LOCATION Ranch Trail & Horizon Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial CURRENT USE Commercial

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE 1.2 LOTS [CURRENT] 1.2 LOTS [PROPOSED] 1.2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Truman Heights LLC APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON _____

ADDRESS 259 Ranch Trail ADDRESS _____

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP _____

PHONE 972-722-2408 PHONE _____

E-MAIL mike@rdmoormaninc.com E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

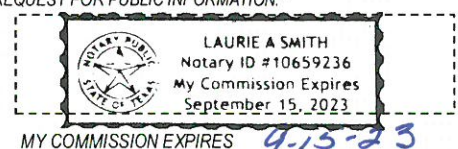
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN MOOLMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF APRIL, 2021

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





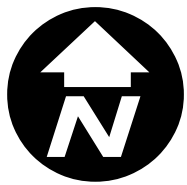
SP2021-012- AMENDED SITE PLAN FOR 259 RANCH TRAIL
SITE PLAN - LOCATION MAP =

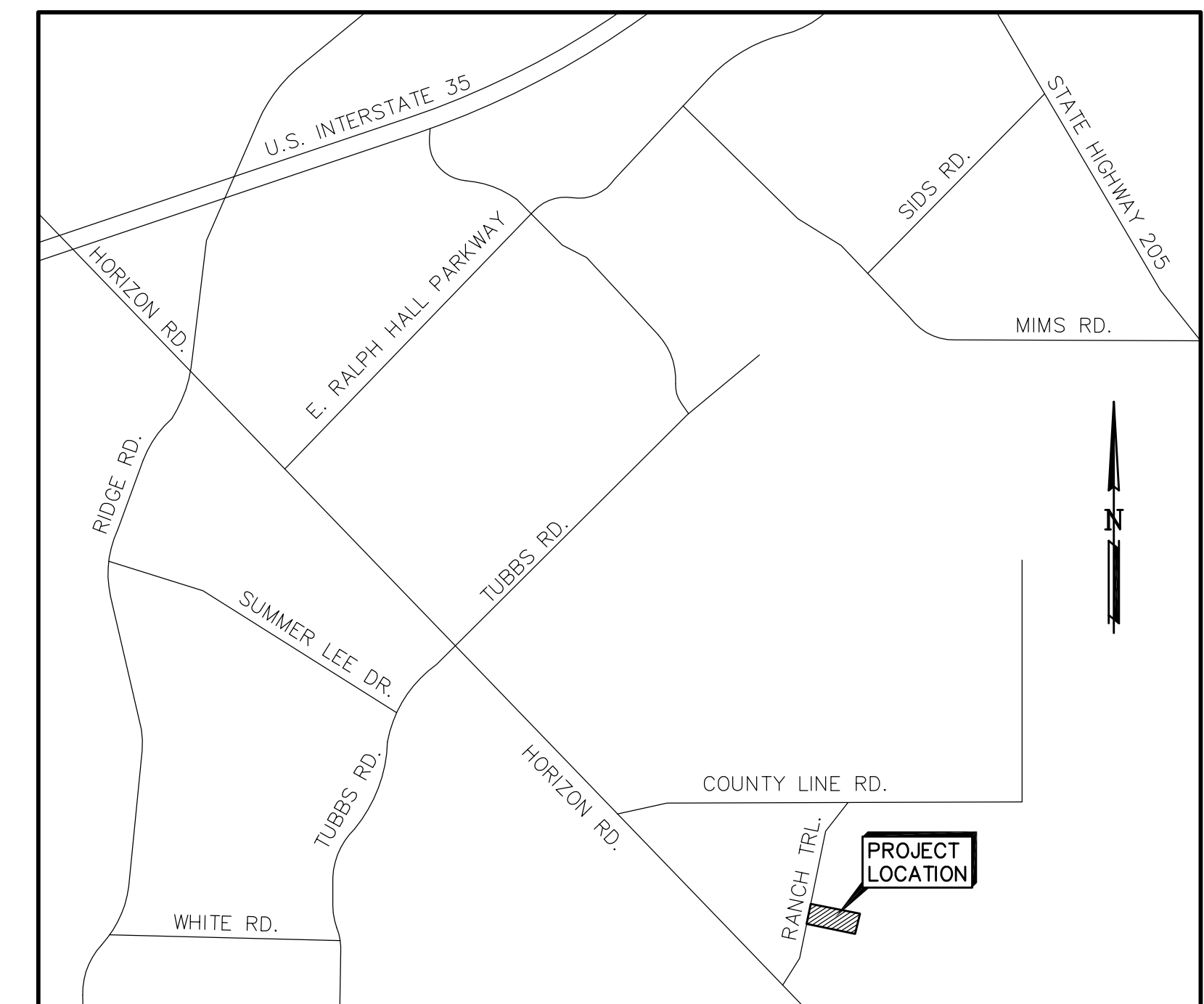
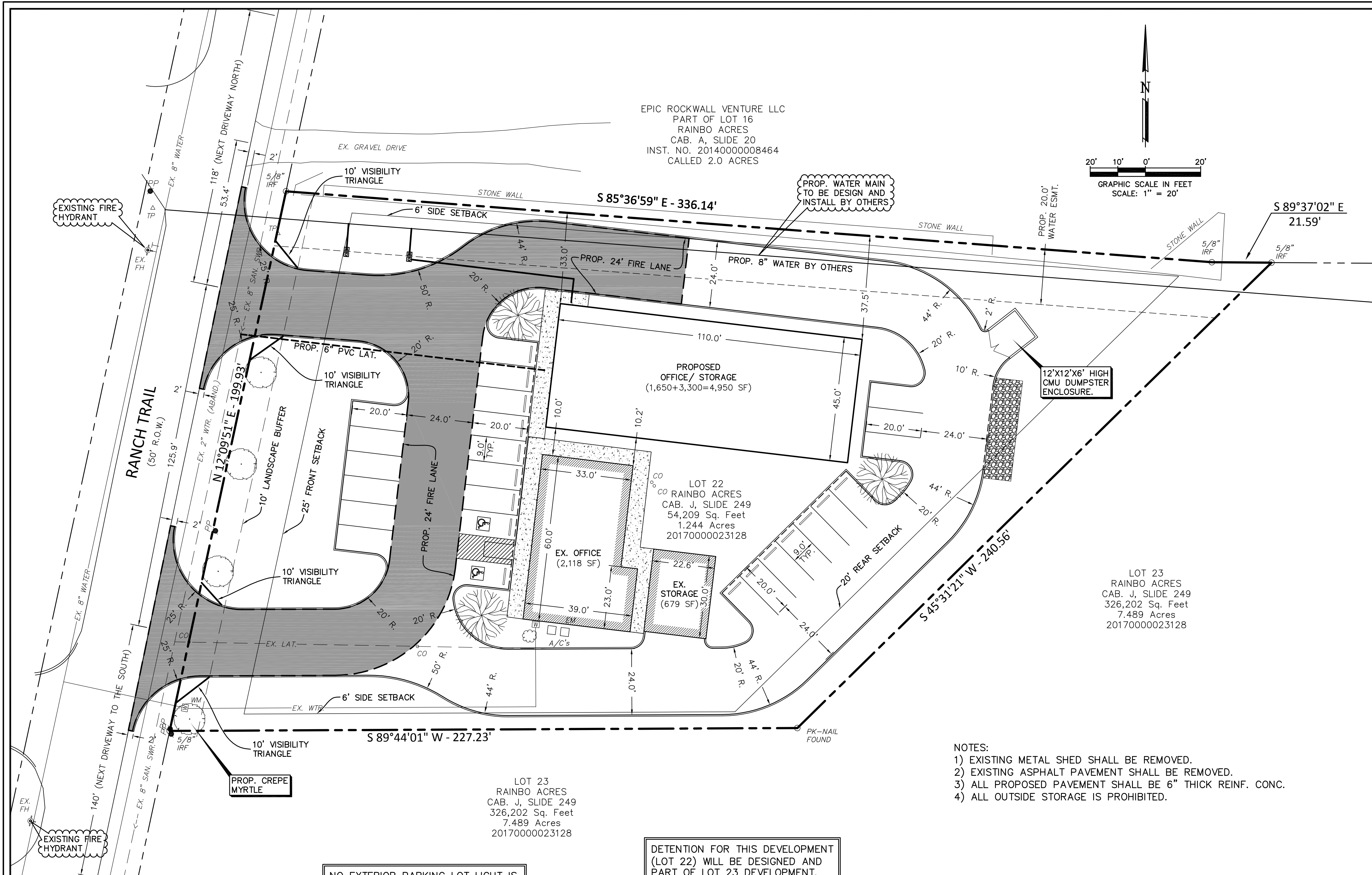


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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SITE DATA	
LOT AREA	22,740.74
LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

PARKING CALCULATION	
PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

- NOTES:
 1) EXISTING METAL SHED SHALL BE REMOVED.
 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
 4) ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETECTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETECTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

OWNER:
 R.D. MOORMAN, INC.
 259 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 (972) 722-2408



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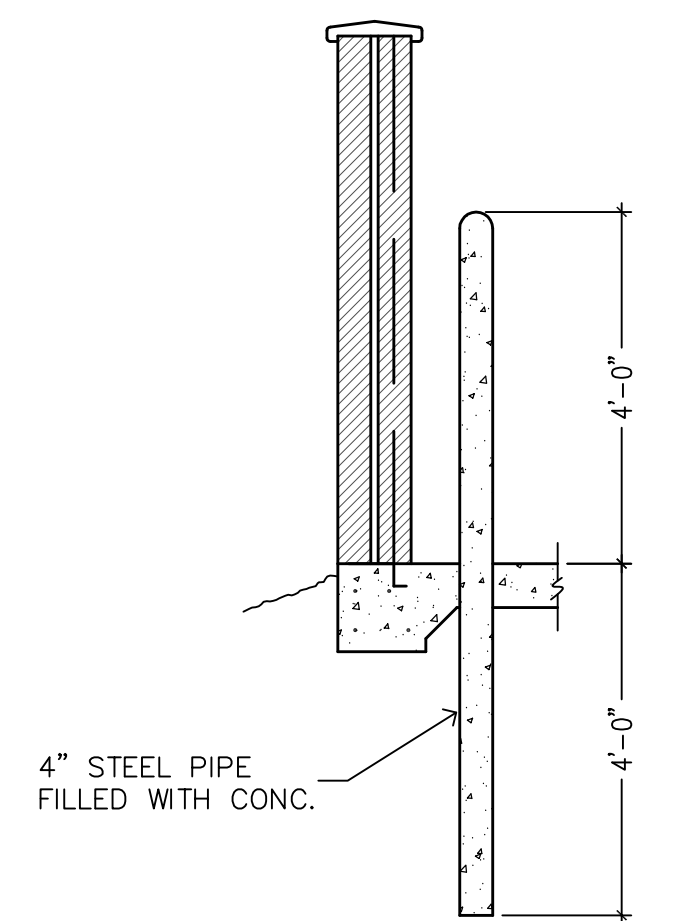
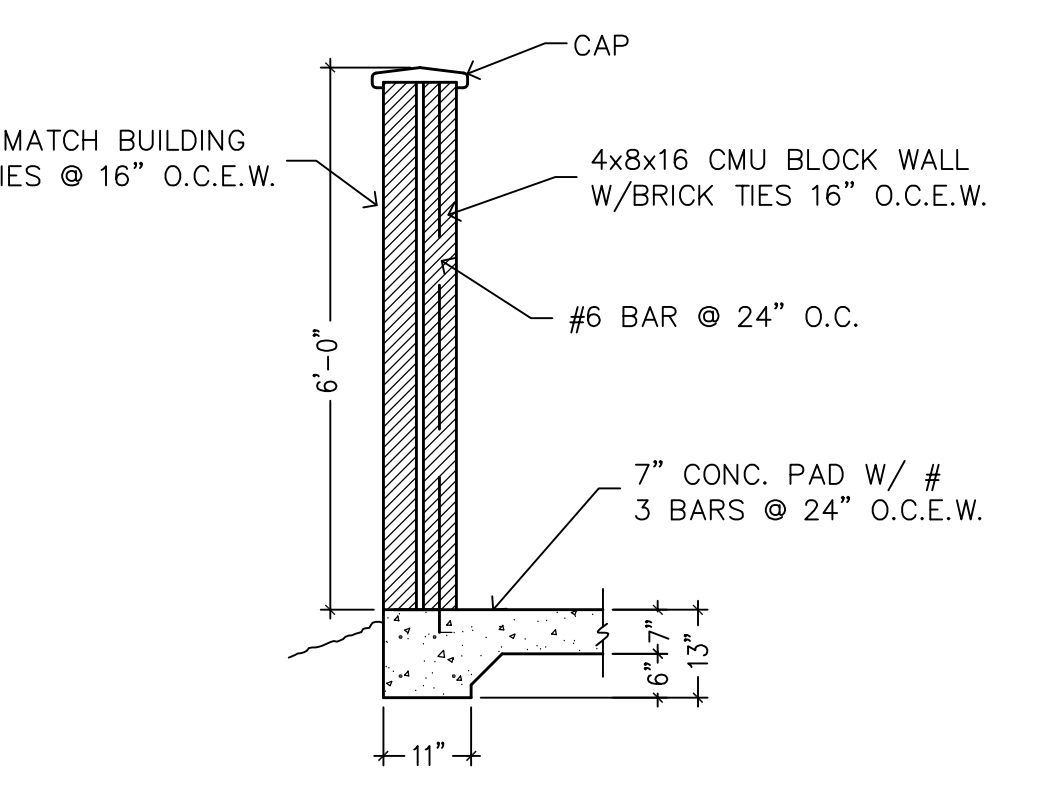
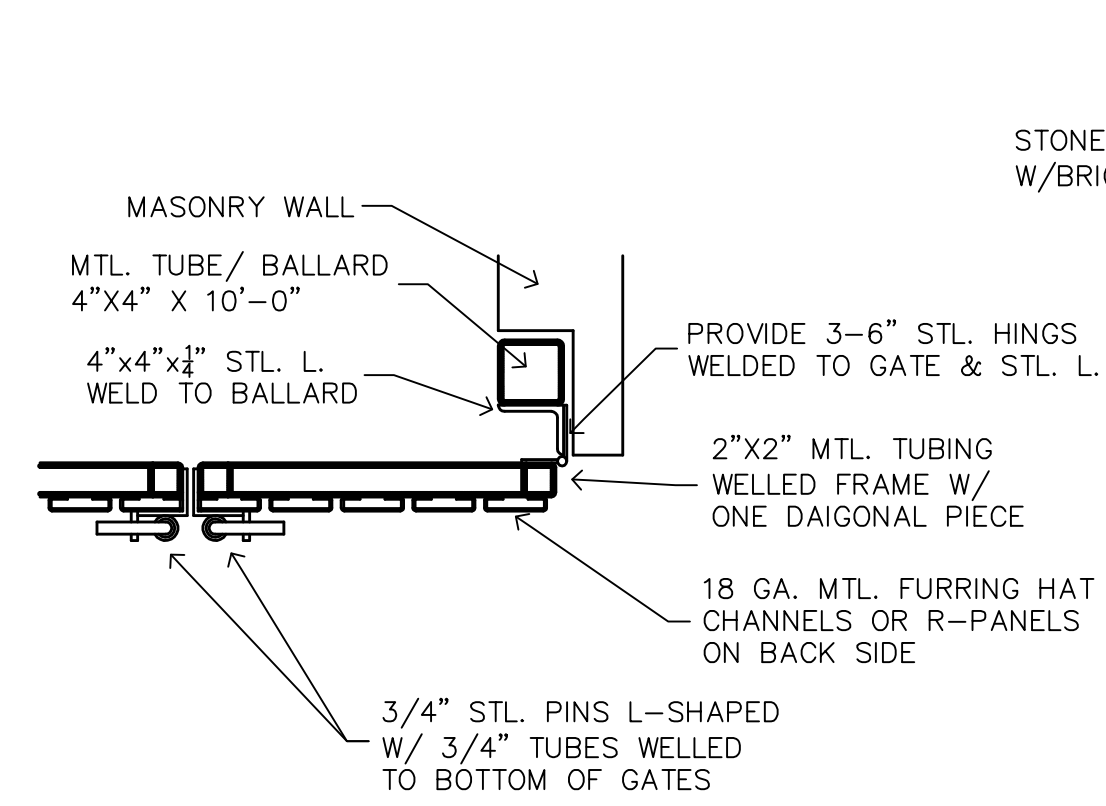
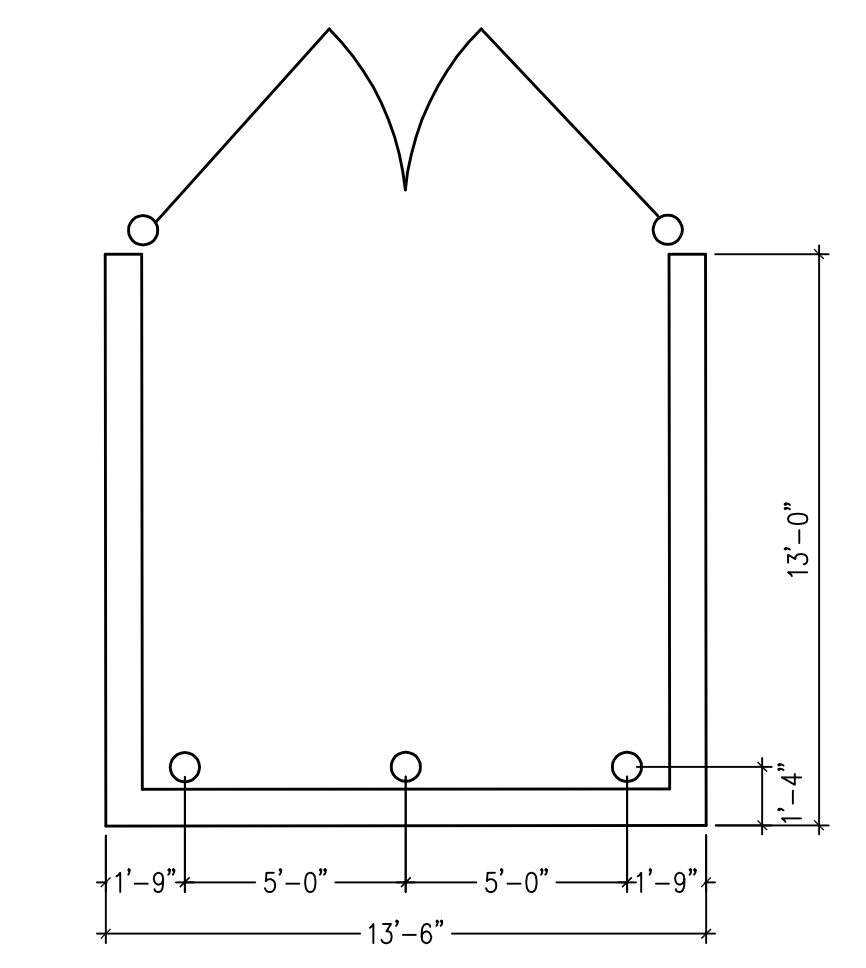
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CASE# SP2019-031

SITE PLAN
RAINBO ACRES - LOT 22
R.D. MOORMAN, INC.
259 RANCH TRAIL
ROCKWALL, TEXAS 75032

LAM CONSULTING ENGINEERING
 6804 WILHELMINA DRIVE
 SACHSE, TEXAS 75048
 Phone (214) 766-1011
 www.lamcivil.com
 Firm #F-9763

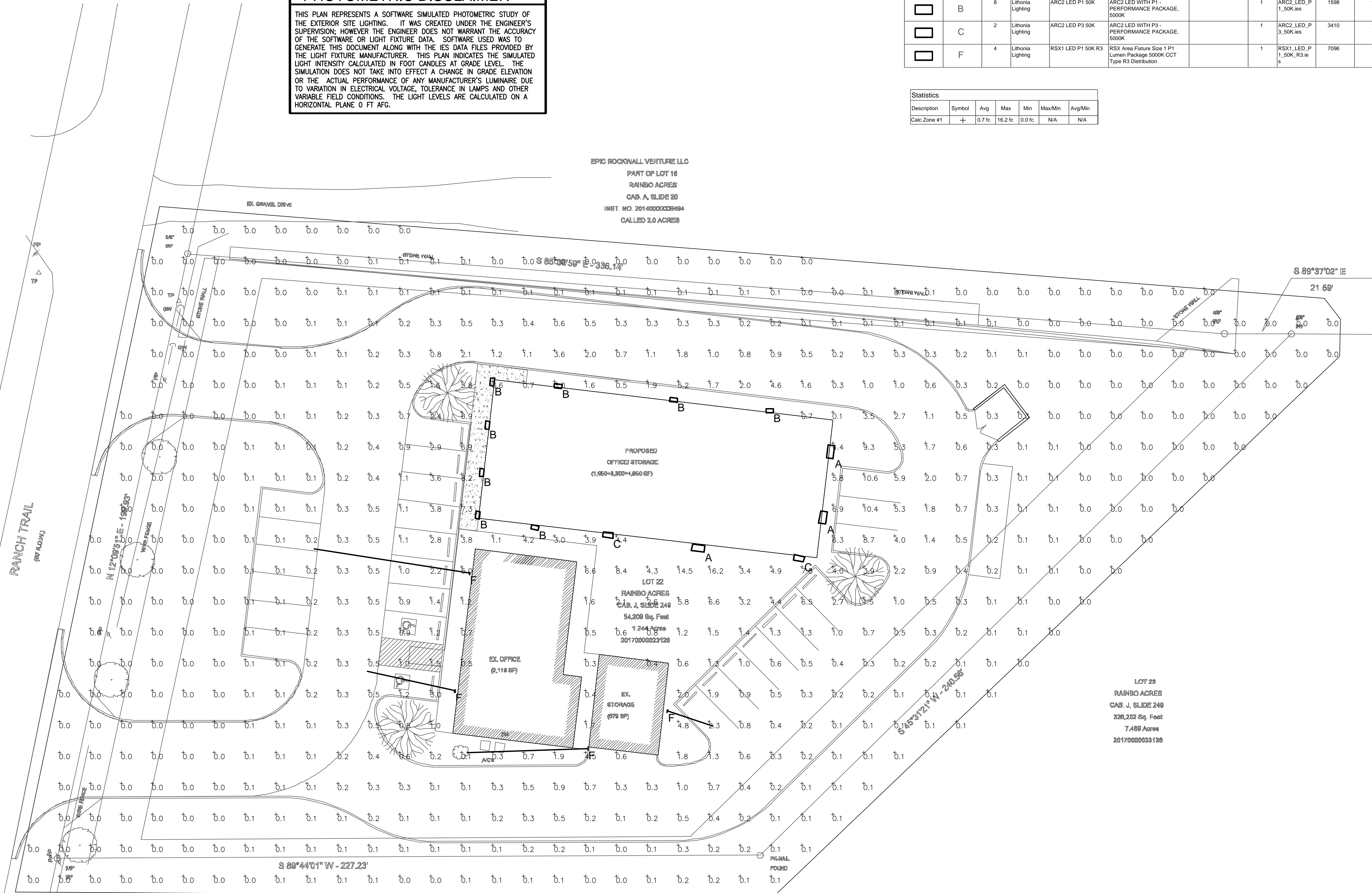
DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	2 OF 9
DRAWN: CTL	DATE: AUGUST 2019	PROJECT: 0643-19	



PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

EPIC ROCKWALL VENTURE LLC
PART OF LOT 18
RAINBO ACRES
CAB. A, SLIDE 20
INST. NO. 20140000008494
CALLED 2.0 ACRES



LOT 23
RAINBO ACRES
CAB. J, SLIDE 24#
328,282 Sq. Feet
7.488 Acres
20170000023128

LOT 25
RAINBO ACRES
CAB. J, SLIDE 24#
328,282 Sq. Feet
7.489 Acres
20170000023128

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	3	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	F	4	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	16.2 fc	0.0 fc	N/A	N/A

NO	REVISIONS	ITEM	DATE

PERMIT SET 02-11-21

RAINBO ACRES
Rockwall, Texas



rtm
engineering consultants
14901 Quorum Dr. #565
Dallas, TX 75254
rtmassociates.com
972.387.3500
firm registration# 17316

DRAWN BY: TJ
CHECKED BY: DL
DATE: 02-11-21
PROJECT: 21.RDA.001

SITE PLAN
PHOTOMETRICS

SL1

1 SITE PLAN
SCALE: 1/16" = 1'-0"

CASE NUMBER: SP2021-012

SHEET



ARC2 LED

Architectural Wall Luminaire



Catalog Number

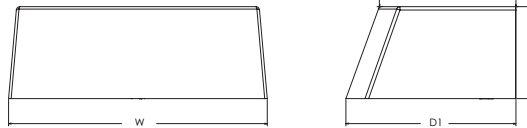
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 9.25"
Depth (D2): 7.5"
Height: 5"
Width: 14"
Weight: 11 lbs
 (without options)



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 ¹	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ¹	DDBXD Dark bronze
	P2 2,000 Lumens	40K 4000K		E8WC Emergency battery backup, CEC compliant (8W, -20°C min) ¹	DBLXD Black
	P3 3,000 Lumens	50K 5000K		PE Button type photocell for dusk-to-dawn operation	DNAXD Natural aluminum
	P4 4,000 Lumens			DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ²	DWHXD White
	P5 6,500 Lumens			SPD6KV 6kV surge protection ¹	DSSXD Sandstone
			FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ²	DDBTXD Textured dark bronze	
				DBLTXD Textured black	
				DNATXD Textured natural aluminum	
				DWHGXD Textured white	
				DSSTXD Textured sandstone	

Accessories

Ordered and shipped separately.

WSBBW DDBXD U Surface - mounted back box (specify finish)

NOTES

- 347V not available with E4WH, E8WC and SPD6KV.
- FAO not available with DMG.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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ARC2 LED
 Rev. 10/14/20

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	11W	1,502	142	0	0	1	1,587	150	0	0	1	1,598	151	0	0	1
P2	16W	2,250	140	0	0	1	2,377	147	0	0	1	2,393	148	0	0	1
P3	24W	3,206	135	0	0	1	3,387	143	0	0	1	3,410	144	0	0	1
P4	30W	3,903	128	1	0	1	4,124	136	1	0	1	4,152	136	1	0	1
P5	51W	6,260	122	1	0	1	6,615	129	1	0	1	6,659	130	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	11W	0.090	0.055	0.049	0.046	0.045
P2	16W	0.141	0.081	0.072	0.064	0.059
P3	24W	0.202	0.117	0.103	0.091	0.079
P4	30W	0.280	0.162	0.144	0.128	0.095
P5	51W	0.471	0.272	0.239	0.212	0.158

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Lumens
E4WH	693
E8WC	1,413

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

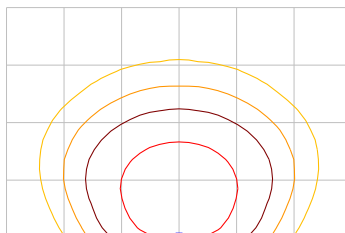
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.88

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc



ARC2 LED P3 40K

MH = 15ft
Grid = 15ft x 15ft

Emergency Egress Options

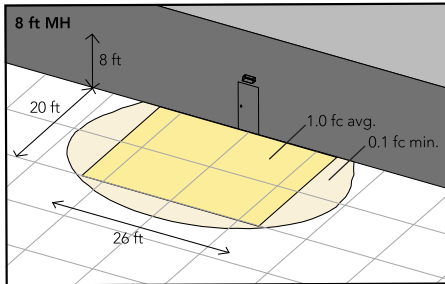
Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

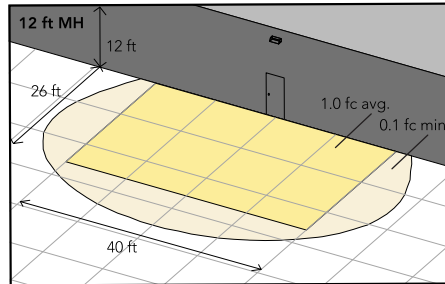
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode.

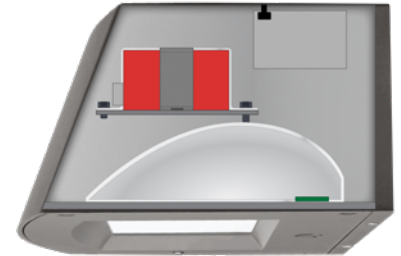
Grid = 10ft x 10ft



ARC2 LED 40K MVOLT E4WH



ARC2 LED 40K MVOLT E8WC



Self-contained solution for clean aesthetic

Mounting, Options & Accessories

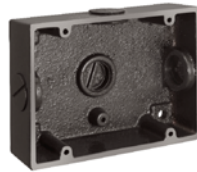


E4WH and E8WC – Emergency Battery Backup

D = 6.5"

H = 5"

W = 11"



BBW – Standard Back Box

D = 1.5"

H = 4"

W = 5.5"

For surface conduit applications.
3/4" conduit entry holes.

FEATURES & SPECIFICATIONS

INTENDED USE

The clean architectural shape of the ARC LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The die-cast aluminum housing and door act as heat sinks to optimize thermal transfer from the light engine and driver to promote long-life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Recessed lens to cut off high angle light and reduce glare. Combination of diffused lens and reflector design has low surface brightness creating a visually comfortable environment with great distribution. LEDs are fully hidden from view to eliminate pixelization and harsh glare. The ARC LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long-life (up to L88/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

INSTALLATION

The universal wall plate, supplied with the luminaire, fits multiple size junction boxes and supports it during wiring for easy installation. Built-in wet location wiring compartment on the luminaire to accommodate wiring connections for applications with no junction box. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International DarkSky Association (IDA) Fixture Seal of approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

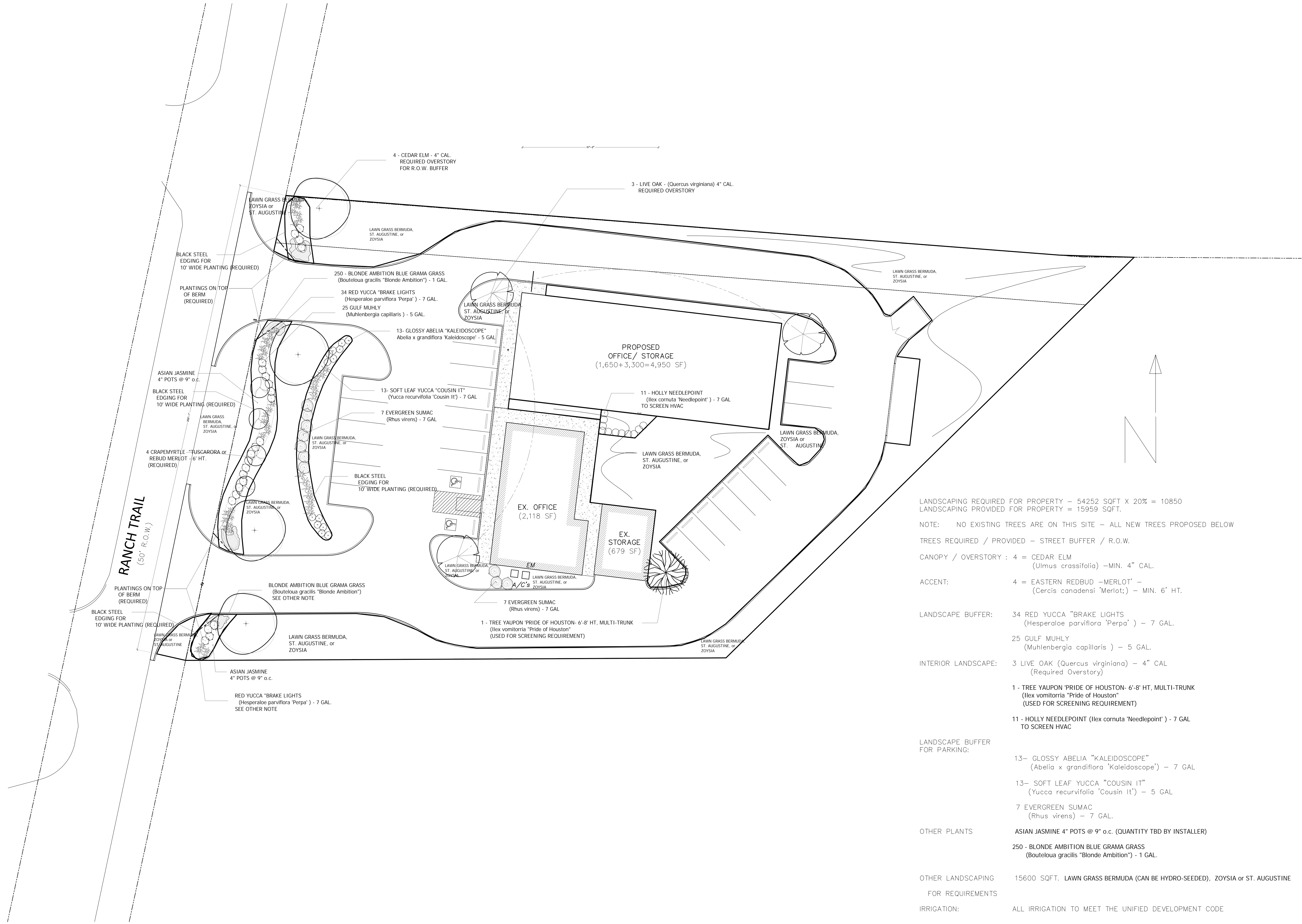
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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ARC2 LED
Rev. 10/14/20



LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

NOTE: NO EXISTING TREES ARE ON THIS SITE - ALL NEW TREES PROPOSED BELOW

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT- (Cercis canadensi 'Merlot') - MIN. 6' HT.

LANDSCAPE BUFFER: 34 RED YUCCA "BRAKE LIGHTS (Hesperaloe parviflora 'Perpa') - 7 GAL.
 25 GULF MUHLY (Muhlenbergia capillaris) - 5 GAL.

INTERIOR LANDSCAPE: 3 LIVE OAK (Quercus virginiana) - 4" CAL (Required Overstory)
 1 - TREE YAUPON 'PRIDE OF HOUSTON- 6'-8' HT, MULTI-TRUNK (Ilex vomitoria 'Pride of Houston' (USED FOR SCREENING REQUIREMENT)
 11 - HOLLY NEEDLEPOINT (Ilex cornuta 'Needlepoint') - 7 GAL TO SCREEN HVAC

LANDSCAPE BUFFER FOR PARKING:
 13- GLOSSY ABELIA "KALEIDOSCOPE" (Abelia x grandiflora 'Kaleidoscope') - 7 GAL
 13- SOFT LEAF YUCCA "COUSIN IT" (Yucca recurvifolia 'Cousin It') - 5 GAL
 7 EVERGREEN SUMAC (Rhus virens) - 7 GAL.

OTHER PLANTS
 ASIAN JASMINE 4" POTS @ 9" o.c. (QUANTITY TBD BY INSTALLER)
 250 - BLONDE AMBITION BLUE GRAMA GRASS (Bouteloua gracilis 'Blonde Ambition') - 1 GAL.

OTHER LANDSCAPING FOR REQUIREMENTS
 15600 SQFT. LAWN GRASS BERMUDA (CAN BE HYDRO-SEEDED), ZOYSIA OR ST. AUGUSTINE

IRRIGATION: ALL IRRIGATION TO MEET THE UNIFIED DEVELOPMENT CODE

David Rolston

Registered Landscape Architects

5607 Dyer Street
 Dallas, TX 75206
 214.354.5383
 www.dallasgardens.com



Date: ~~22 FEB 2021~~
 Revisions: 27 APRIL 2021
 Scale: 1/20 = 1'-0"

R.D. Moorman Inc - Landscape Plan

259 Ranch Trail Rd
 Rockwall, TX 75032

CASE # SP2021-012



Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Vertical Articulation
- Roof Pitch

The following items are the compensatory measures we are offering:

- Dedicated 5' additional for ROW on Ranch Trail.
- Increased landscape buffer facing Ranch Trail.
- Increased the building articulation.
- Included 20% masonry.
- Added canopy over main entrance.
- Added 4 additional live oak trees.

Ryan Moorman

A handwritten signature in blue ink, appearing to read 'Ryan Moorman', is written over a horizontal line. The signature is stylized and cursive.



May 12, 2021

TO: Mike Prince
Truman Heights LLC.
259 Ranch Trail
Rockwall, Texas 75032

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2021-012; *Site Plan for 259 Ranch Trail*

Mike Prince:

This letter serves to notify you that the above referenced case that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on May 11, 2021. The following is a record of all conditions of approval:

Staff Recommendations

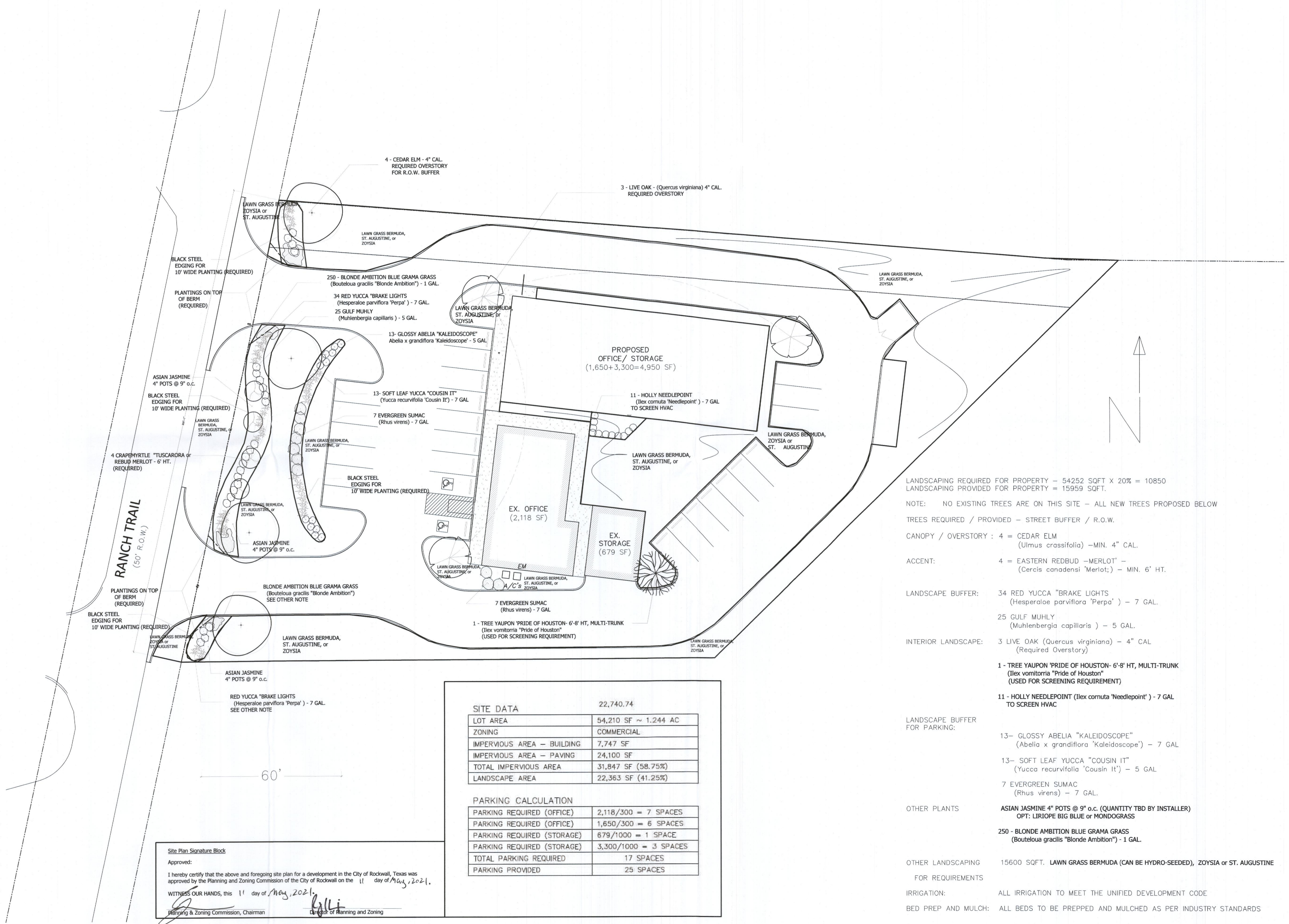
- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue circular stamp.

Henry Lee
Planner



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ACCENT:

LANDSCAPE BUFFER: 34 RED YUCCA "BRAKE LIGHTS" (Hesperaloe parviflora 'Perpa') - 7 GAL.
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INTERIOR LANDSCAPE: 3 LIVE OAK (Quercus virginiana) - 4" CAL (Required Overstory)
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 ASIAN JASMINE 4" POTS @ 9" o.c. (QUANTITY TBD BY INSTALLER)
 OPT: LIRIOPE BIG BLUE or MONDOGRASS
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OTHER LANDSCAPING: 15600 SQFT. LAWN GRASS BERMUDA (CAN BE HYDRO-SEEDED), ZOYSIA or ST. AUGUSTINE

IRRIGATION: ALL IRRIGATION TO MEET THE UNIFIED DEVELOPMENT CODE

BED PREP AND MULCH: ALL BEDS TO BE PREPPED AND MULCHED AS PER INDUSTRY STANDARDS

SITE DATA	
LOT AREA	22,740.74
LOT AREA	54,210 SF ~ 1.244 AC
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

PARKING CALCULATION	
PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

Site Plan Signature Block
 Approved:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the 11 day of May, 2021.
 WITNESS OUR HANDS, this 11 day of May, 2021.
 [Signature] Director of Planning and Zoning

David Rolston

Registered Landscape Architects

5607 Dyer Street
Dallas, TX 75206

214.354.5383
www.dallasgardens.com

R.D. Moorman Inc - Landscape Plan

259 Ranch Trail Rd

Rockwall, TX 75032

Date: ~~22-MAY-2021~~
 Revisions: 07 May 2021

Scale: 1/20 = 1'-0"

CASE # SP2021-012

PHOTOMETRIC DISCLAIMER

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

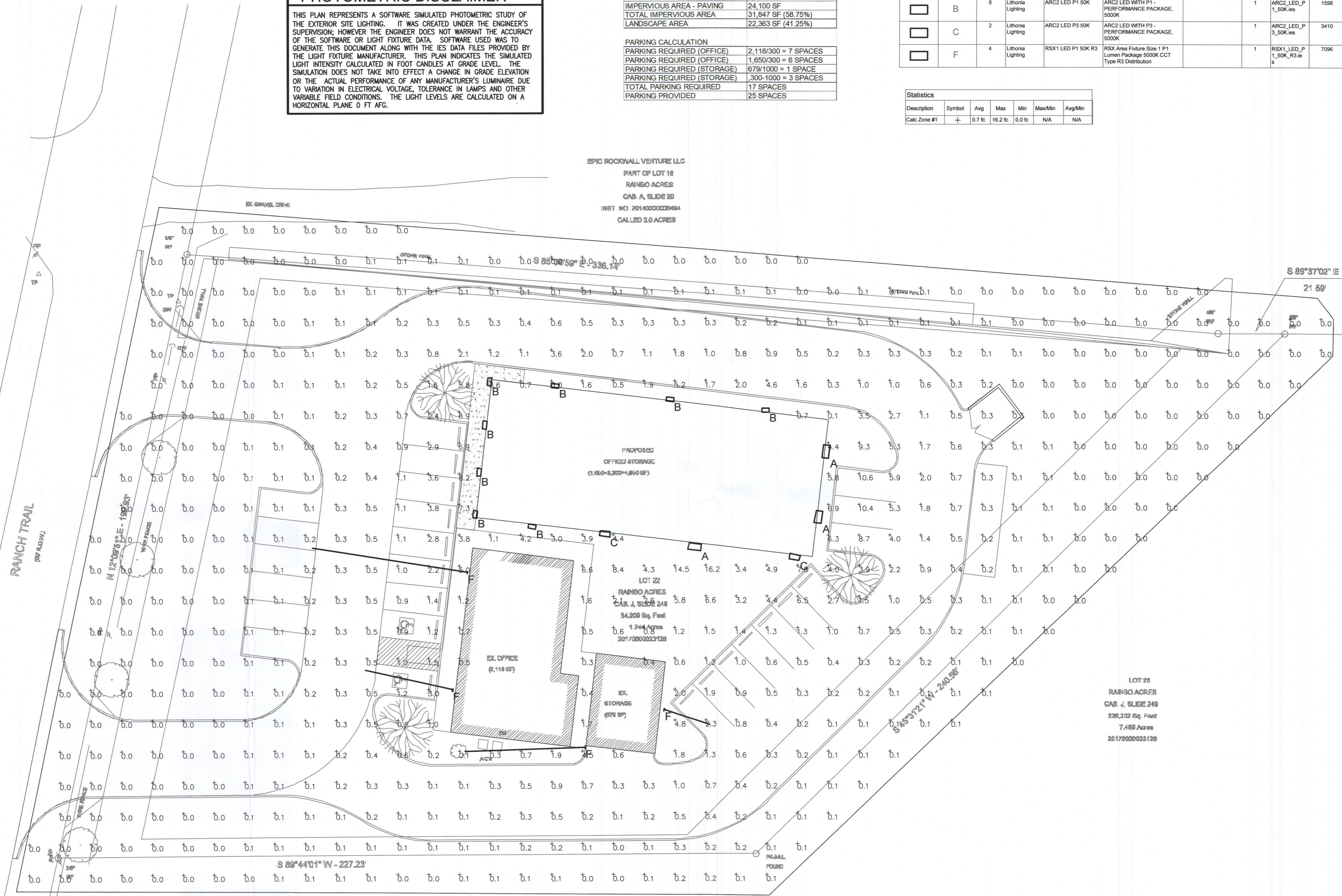
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PARKING PROVIDED	25 SPACES

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	3	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	F	4	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	16.2 fc	0.0 fc	N/A	N/A

EPIC ROCKWALL VENTURE LLC
 PART OF LOT 18
 RAINBO ACRES
 CAB. A, SLIDE 2D
 INST. NO. 20140000034694
 CALLED 2.0 ACRES



RANCH TRAIL (67' R.O.W.)

S 89°44'01" W - 227.23'

LOT 23
 RAINBO ACRES
 CAB. J, SLIDE 248
 326,202 Sq. Feet
 7.488 Acres
 20170000023128

LOT 22
 RAINBO ACRES
 CAB. J, SLIDE 248
 54,209 Sq. Feet
 1.244 Acres
 20170000022128

LOT 22
 RAINBO ACRES
 CAB. J, SLIDE 248
 326,202 Sq. Feet
 7.488 Acres
 20170000023128

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the aboveand foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City Of Rockwall on the 11 day of May, 2021.
 WITNESS OUR HANDS, this 11 day of May, 2021.
 [Signature] Director of Planning and Zoning
 [Signature] Planning & Zoning Commission, Chairman

1 SITE PLAN
 SCALE: 1/16" = 1'-0"

CASE NUMBER: SP2021-012

NO	REVISIONS	DATE
	ITEM	

PERMIT SET 02-11-21

RAINBO ACRES
 Rockwall, Texas

STATE OF TEXAS
 PROFESSIONAL ENGINEER
 3/12/2021

 engineering consultants
 14901 Quorum Dr. #565
 Dallas, TX 75254
 rtmassociates.com
 972.387.3600
 firm registration# 17316

DRAWN BY: T.J.
 CHECKED BY: DL

DATE 02-11-21

PROJECT 21.RDA.001

SITE PLAN
 PHOTOMETRICS

SHEET **SL1**