



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # P2021-051 P&Z DATE _____ CC DATE _____ APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input checked="" type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22071-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **237 clem rd, Rockwall, Tx**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **SE corner of Clem Rd and FM 1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD 21-17**

CURRENT USE

Farm

PROPOSED ZONING **PD 21-17**

PROPOSED USE

Single Family

ACREAGE **Approx 58.8363**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **132**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Falcon Place SF, LTD**

APPLICANT **Skorburg Company**

CONTACT PERSON **John Arnold**

CONTACT PERSON **Humberto Johnson Jr, PE**

ADDRESS **8214 westchester Dr STE 900**

ADDRESS **8214 westchester Dr STE 900**

CITY, STATE & ZIP **Dallas, Tx 75225**

CITY, STATE & ZIP **Dallas, Tx 75225**

PHONE **214-522-4945**

PHONE **682-225-5834**

E-MAIL **jarnold@skorburgcompany.com**

E-MAIL **jrjohnson@skorburgcompany.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

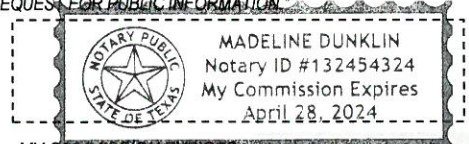
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF October, 2021

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madeline Dunklin

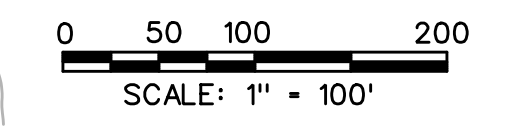


MY COMMISSION EXPIRES

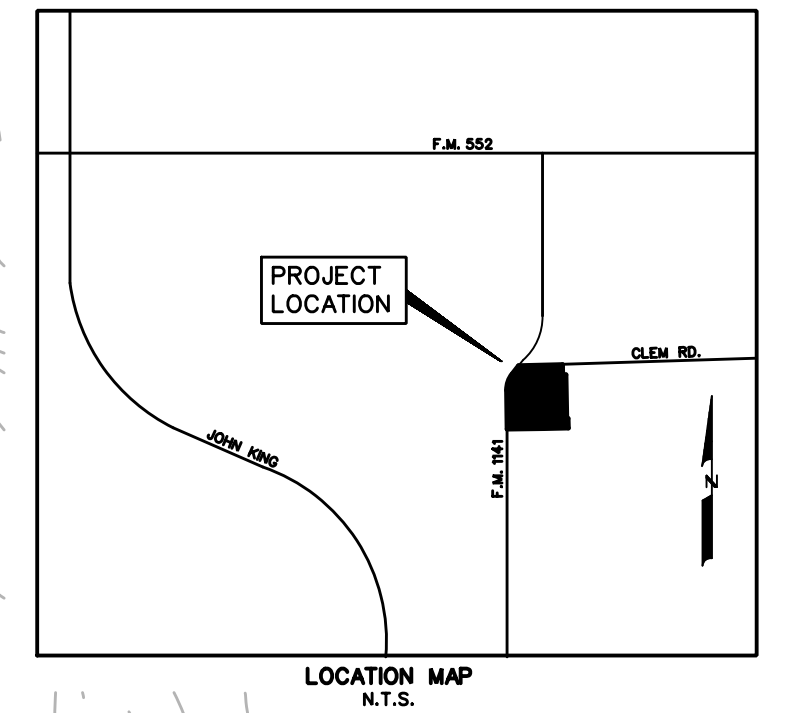
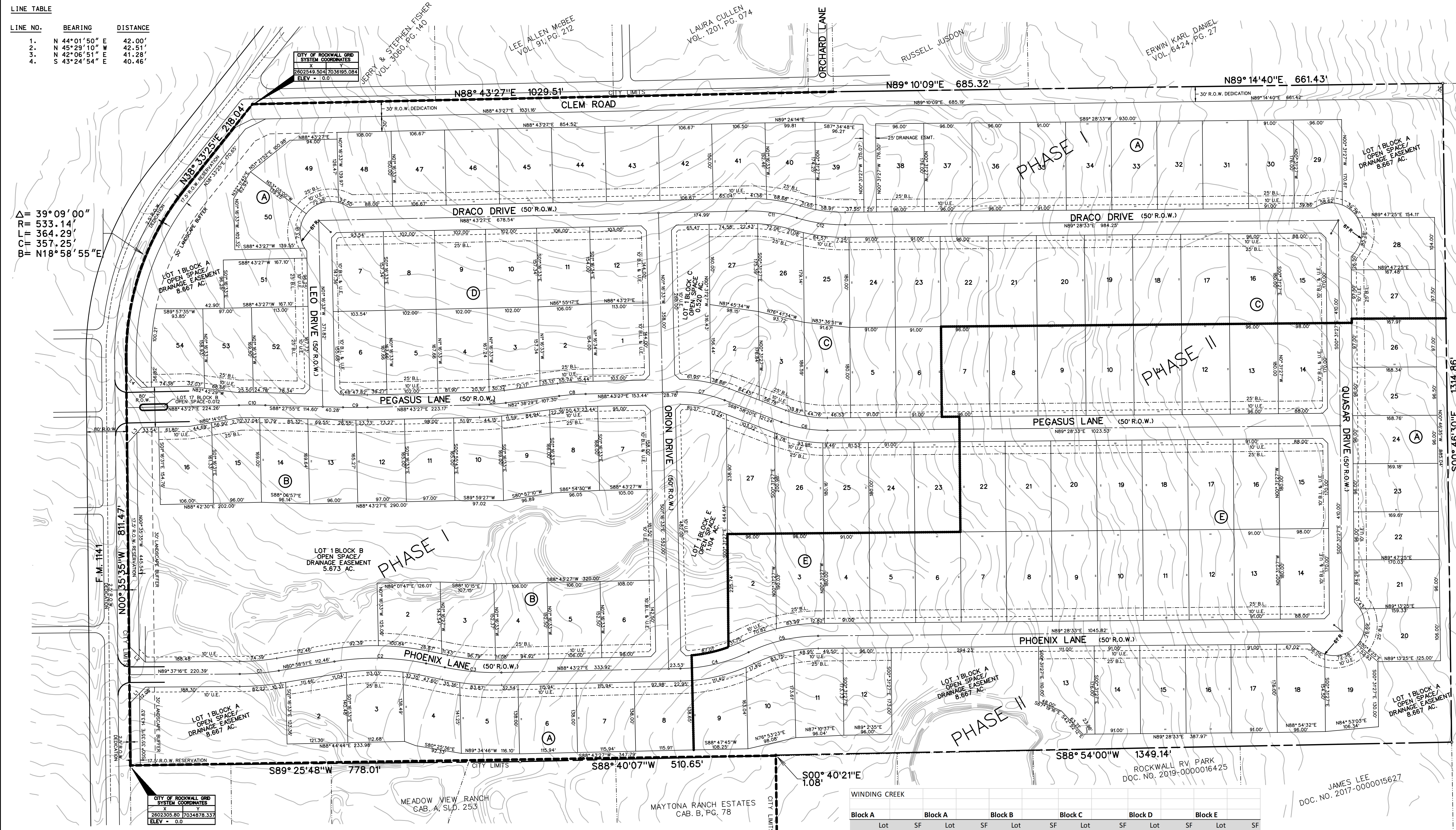
4/28/24

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44°01'50" E	42.00'
2.	N 45°29'10" W	42.51'
3.	N 42°06'51" W	41.28'
4.	S 43°24'54" E	40.46'



Δ = 39°09'00"
 R = 533.14'
 T = 364.29'
 C = 357.25'
 B = N18°58'55"E

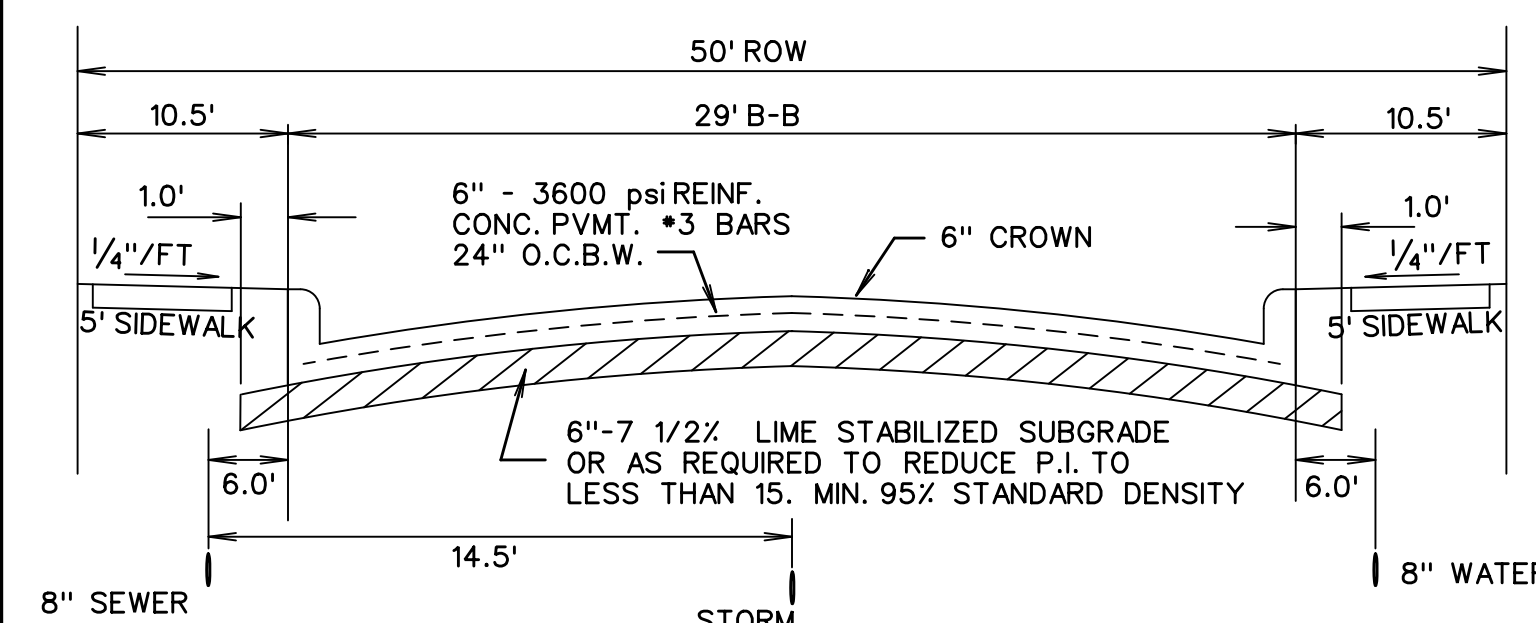


TOTAL ACRES	78.831
PHASE I TOTAL LOTS	85
PHASE II TOTAL LOTS	47
TOTAL RESIDENTIAL LOTS	132
DENSITY	1.674
EX. ZONING	PD-91
LAND USE	SINGLE FAMILY DEVELOPMENT

- LEGEND**
- B.L. - BUILDING LINE
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT OF WAY
 - H.O.A. - HOMEOWNERS ASSOCIATION
 - - - CITY LIMIT LINE
 - - - PHASE LINE

NOTES:

- ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
- HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.



CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	08°58'25"	500.00'	78.31'	78.23'	N85°08'03"E
2.	21°05'19"	500.00'	184.03'	183.00'	S88°48'30"E
3.	13°00'42"	500.00'	113.55'	113.31'	S84°46'12"E
4.	25°51'04"	325.00'	140.96'	139.86'	N76°33'26"E
5.	25°20'39"	325.00'	142.16'	142.59'	N76°48'14"E
6.	21°33'07"	250.00'	94.04'	93.49'	S79°44'53"E
7.	22°18'13"	250.00'	97.32'	96.71'	S80°07'26"E
8.	06°04'58"	500.00'	53.08'	53.06'	N85°40'58"E
9.	02°48'38"	1000.00'	49.05'	49.05'	S89°42'14"E
10.	02°48'42"	1077.43'	52.87'	52.87'	S89°58'11"E
11.	18°02'48"	325.00'	102.37'	101.94'	S82°15'09"E
12.	17°17'41"	325.00'	96.10'	97.73'	S81°52'36"E

Reviewed for preliminary Approval: _____ Date _____
 Planning & Zoning Commission Chairman

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2021.
 This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall City Secretary City Engineer

Block A		Block B		Block C		Block D		Block E	
Lot	SF	Lot	SF	Lot	SF	Lot	SF	Lot	SF
1*	377543	31	16016	1*	247097	1*	22691	1	17351
2	16002	32	16016	2	16625	2	16057	2	16369
3	16069	33	16016	3	16045	3	16659	3	16593
4	16000	34	16016	4	16164	4	16816	4	17098
5	16001	35	16016	5	16165	5	16380	5	17101
6	16000	36	16896	6	16420	6	16380	6	17265
7	16000	37	16896	7	17590	7	17280	7	16240
8	16000	38	16896	8	16143	8	17280	8	16048
9	16001	39	16976	9	16074	9	17280	9	16048
10	16403	40	16012	10	16053	10	17280	10	16048
11	16997	41	16009	11	16087	11	17280	11	16500
12	16642	42	16000	12	16007	12	17280	12	17352
13	16030	43	16000	13	16062	13	17280	13	16380
14	16016	44	16000	14	16257	14	17590	14	17590
15	16016	45	16000	15	16047	15	17590	15	17590
16	16016	46	16000	16	16548	16	17280	16	16380
17	16016	47	16000	17*	511	17	17280	17	16380
18	16489	48	16084	18	17280	18	17280	18	16380
19	16092	49	17353	19	17280	19	17280	19	16380
20	16035	50	16037	20	17280	20	17280	20	16380
21	16404	51	16083	21	17280	21	17280	21	16380
22	16302	52	19383	22	17280	22	17280	22	16380
23	16261	53	16064	23	16380	23	16380	23	16380
24	16221	54	16056	24	16380	24	16380	24	16380
25	16264	25	16160	25	16160	25	16380	25	16380
26	16307	26	16300	26	16300	26	18006	26	18006
27	16350	27	16300	27	16300	27	21114	27	21114
28	16125								
29	16482								
30	16016								

JAMES LEE
 DOC. NO. 2017-0000015627

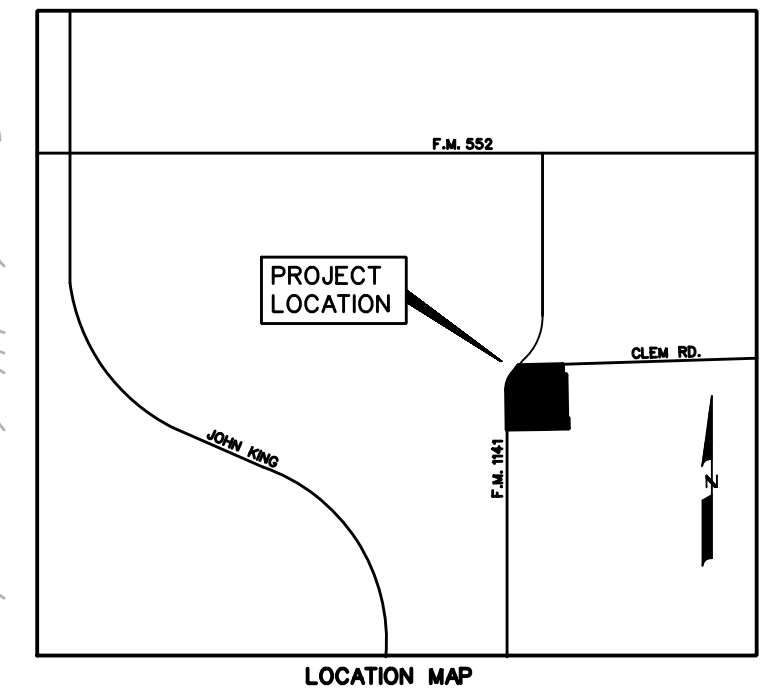
PRELIMINARY PLAT
 OF
WINDING CREEK
 LOTS 1-54, BLOCK A
 LOTS 1-16, BLOCK B
 LOTS 1-27, BLOCK C
 LOTS 1-12, BLOCK D
 LOTS 1-27, BLOCK E
 TOTAL ACRES 78.831
 TOTAL RESIDENTIAL LOTS 132
 TOTAL OPEN SPACE LOTS 4
 OUT OF THE
 J.M. GLASS SURVEY, ABSTRACT NO. 88
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNERS
 REDDY K. VASUNDHARA &
 ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080
 APPLICANT/OWNER
 FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945
 GORDON C. FOGG
 PO BOX 842
 ROCKWALL, TEXAS 75087
 OCTOBER 2021 SCALE 1" = 100'
 CASE #P2021-026

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44°01'50" E	42.00'
2.	N 45°29'10" W	42.51'
3.	N 42°06'51" E	41.23'
4.	S 43°24'54" E	40.46'

0 50 100 200
SCALE: 1" = 100'

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R = 533.14'
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MASTER PLAT OF
WINDING CREEK
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LOTS 1-16, BLOCK B
LOTS 1-27, BLOCK C
LOTS 1-12, BLOCK D
LOTS 1-27, BLOCK E
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TOTAL OPEN SPACE LOTS 4

OUT OF THE
J.M. GLASS SURVEY, ABSTRACT NO. 88

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNERS

REDDY K. VASUNDHARA &
ALEX R. FREEMAN
100 N. CENTRAL EXPRESSWAY, STE. 108
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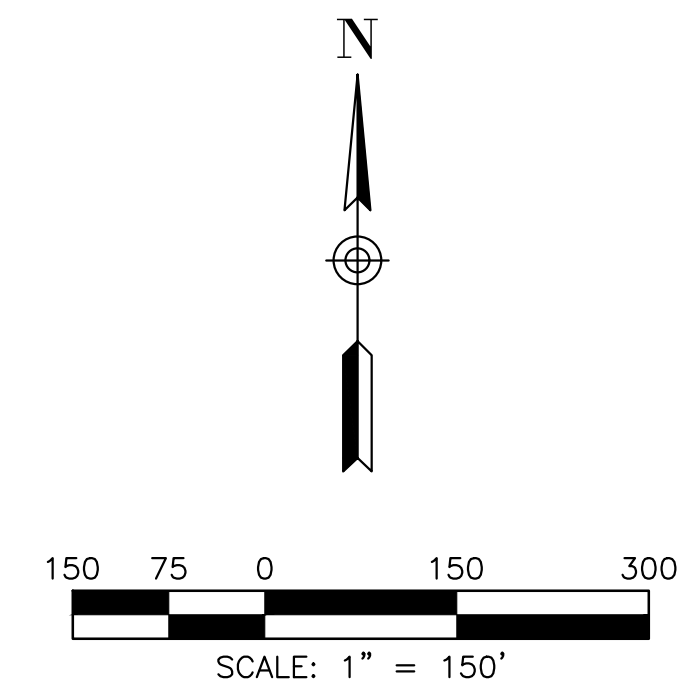
GORDON C. FOGG
PO BOX 842
ROCKWALL, TEXAS 75087

OCTOBER 2021 SCALE 1" = 100'

CASE #P2021-026

LEGEND	
— 544 —	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF
---	CONCEPTUAL STORM ALIGNMENT

PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN



PROPOSED RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
A1	0.57	10	0.5	9.8	2.8
A2	0.40	10	0.5	9.8	2.0
A3	1.64	10	0.5	9.8	8.0
A4	0.86	10	0.5	9.8	4.2
A5	1.01	10	0.5	9.8	4.9
A6	3.18	10	0.5	9.8	15.6
A7	1.73	10	0.5	9.8	8.5
A8	2.99	10	0.5	9.8	14.6
A9	2.81	10	0.5	9.8	13.8
A10	0.89	10	0.5	9.8	4.4
A11	2.21	10	0.5	9.8	10.8
A12	2.18	10	0.5	9.8	10.7
A13	3.28	10	0.5	9.8	16.1
A14	3.21	10	0.5	9.8	15.7
A15	1.84	10	0.5	9.8	9.0
A16	2.23	10	0.5	9.8	10.9
A17	3.20	10	0.5	9.8	15.7
A18	2.50	10	0.5	9.8	12.3
A19	0.44	10	0.5	9.8	2.1
A20	0.61	10	0.5	9.8	3.0
A21	1.76	10	0.5	9.8	8.6
A22	0.85	10	0.5	9.8	4.1
B1	2.43	10	0.5	9.8	11.9
B2	1.45	10	0.5	9.8	7.1
B3	2.13	10	0.5	9.8	10.4
B4	2.19	10	0.5	9.8	10.7
B5	2.37	10	0.5	9.8	11.6
B6	2.74	10	0.5	9.8	13.4
C1	1.40	10	0.5	9.8	6.8
C2	1.60	10	0.5	9.8	7.8
D1	2.25	10	0.5	9.8	11.0
D2	1.06	10	0.5	9.8	5.2
E1	3.45	10	0.5	9.8	16.9
F1	8.93	10	0.5	9.8	43.8
X1	12.60	20	0.5	8.33	52.5
X2	0.90	10	0.9	9.8	7.9
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X6	0.83	10	0.9	9.8	7.3
X7	0.56	10	0.9	9.8	4.9
X8	4.00	10	0.5	9.8	19.6
X9	2.92	10	0.5	9.8	14.3

PRELIMINARY
THIS IS A
PRELIMINARY
DOCUMENT, FOR
REVIEW ONLY.

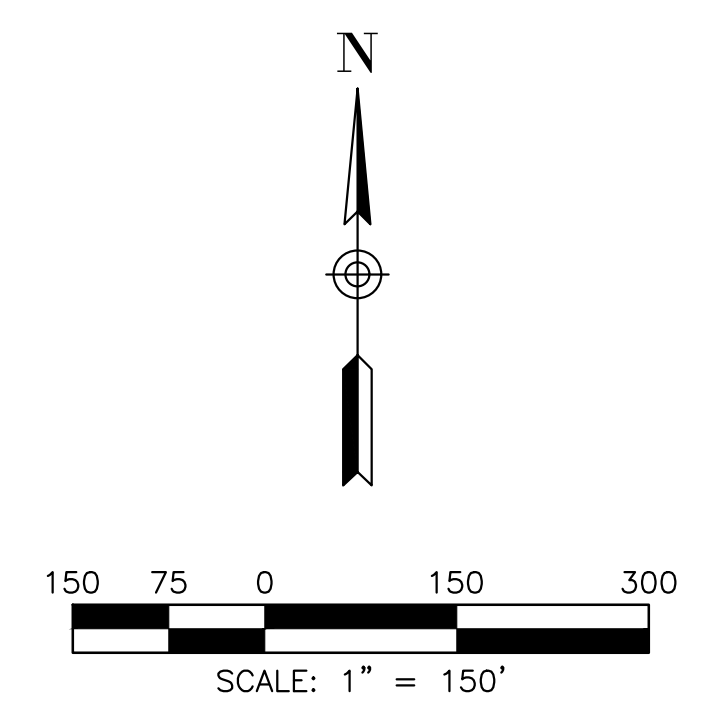
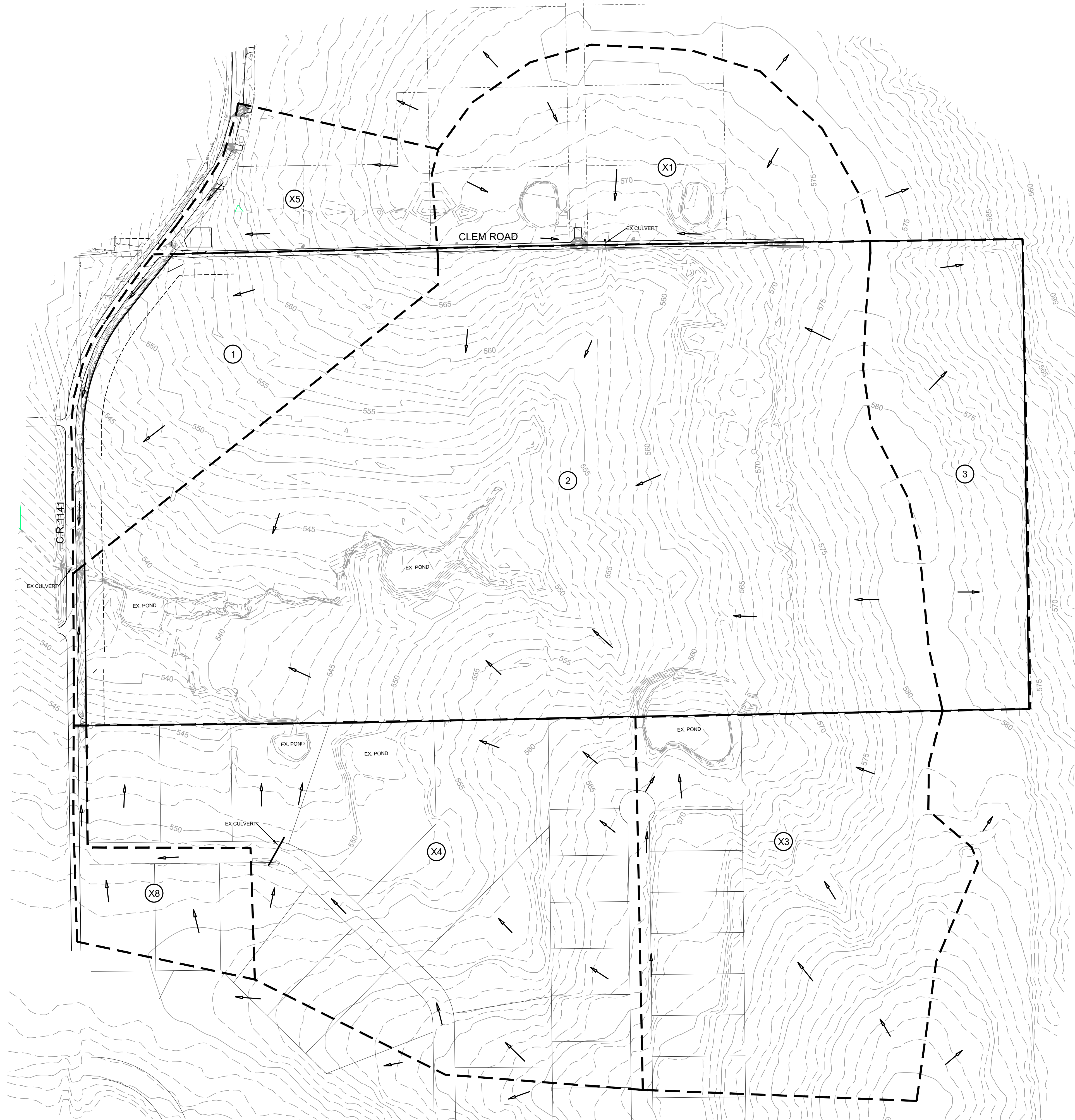
CONCEPTUAL DRAINAGE AREA MAP
WINDING CREEK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CIVIL ENGINEERING
DESIGN & CONSULTING
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com


DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		10/15/2021			1 OF 1

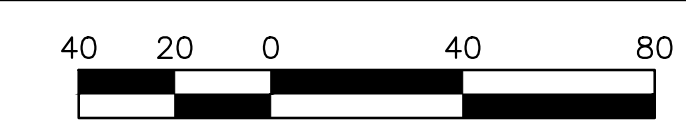


EXISTING RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
1	10.79	20	0.35	8.33	31.5
2	58.25	20	0.35	9.8	199.8
3	10.99	20	0.35	9.8	37.7
X1	12.60	20	0.5	8.33	52.5
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X8	4.00	10	0.5	9.8	19.6

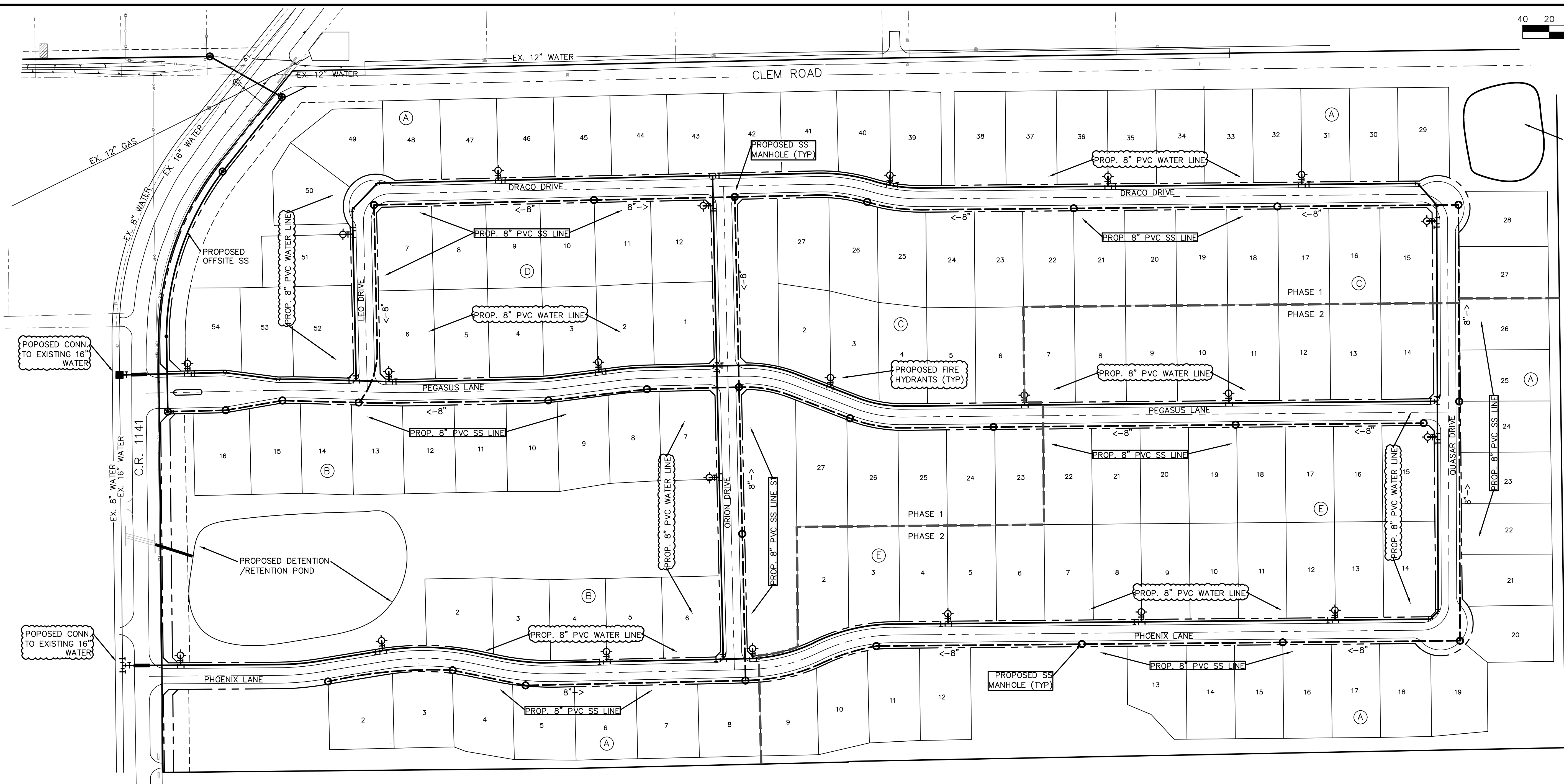
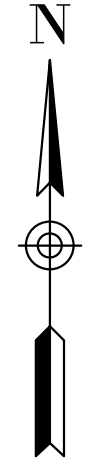
LEGEND	
-544	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF

PRELIMINARY
THIS IS A
PRELIMINARY
DOCUMENT, FOR
REVIEW ONLY.

EXISTING DRAINAGE AREA MAP				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		10/15/2021		
				SHEET NO. 1 OF 1



SCALE:
HORIZ: 1"=100'



- WATER NOTES:**
1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2016 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 4TH EDITION, DATED OCTOBER 2004. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
 3. ALL WATER PIPE SHALL BE AWWA C900 PVC PIPE, DR-14 PC 305 (BLUE IN COLOR), UNLESS SPECIFIED OTHERWISE IN CITY OF ROCKWALL STANDARDS.
 4. INSTALL BLUE EMS LOCATOR PADS ALONG WATER LINES AT EVERY TWO HUNDRED FIFTY (250') FEET, CHANGES IN DIRECTION, VALVE, CURB STOP AND SERVICE CONNECTION TO THE WATER MAIN AND ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
 5. REFER TO CITY OF ROCKWALL STANDARDS FOR WATER PIPE EMBEDMENT.
 6. MINIMUM COVER FOR WATER PIPE UNDER PAVEMENT IS 4'.
 7. WATER SERVICES SHALL BE SDR-9 (POLYTUBE) HAVING A MINIMUM SIZE OF ONE INCH (1"). METER BOXES SHALL BE SET BETWEEN THE SIDEWALK AND THE BACK OF CURB AS SPECIFIED IN CITY OF ROCKWALL STANDARDS.

- WASTEWATER NOTES:**
1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2016 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 4TH EDITION, DATED OCTOBER 2004. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WASTEWATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
 2. ALL WASTEWATER PIPE SHALL BE SDR 35 FOR DEPTHS UP TO 10 FEET AND SDR 26 FOR DEPTHS GREATER THAN 10 FEET.
 3. A GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN, AND AT ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
 4. MANHOLES SHALL CONFORM TO CITY OF ROCKWALL STANDARDS.
 5. RAVEN EPOXY COATING, CONSHIELD, OR APPROVED EQUAL, SHALL BE INSTALLED IN ALL MANHOLES.

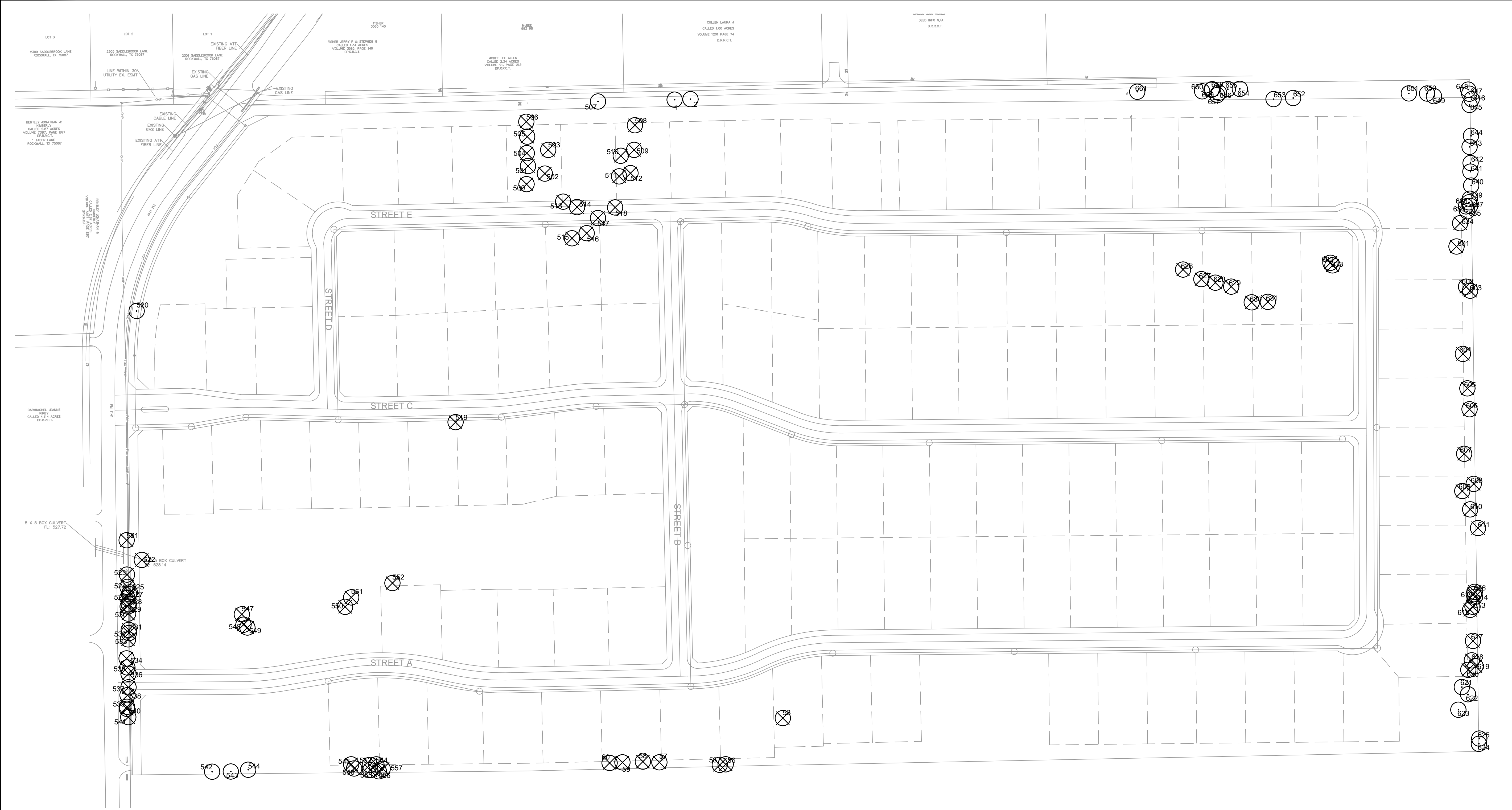
FINAL LOCATIONS OF SANITARY SEWER MANHOLES AND FIRE HYDRANTS WILL BE DETERMINED DURING FINAL DESIGN.

SYMBOL LEGEND	
	PROPOSED 8" WATER LINE
	PROPOSED 8" SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT

PRELIMINARY
THIS IS A
PRELIMINARY
DOCUMENT, FOR
REVIEW ONLY.

PRELIMINARY SANITARY SEWER PLAN				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED BCP	CHECKED SDA	DATE 10/15/2021	DWG FILE WC_Preliminary utility	PROJECT # SKO_WC
				SHEET NO.

File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg | Date Plotted: 10/14/2021 3:50 PM | Plotted By: mwilson



TOTAL MITIGATION REQUIRED	911.3
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	398.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(246.7)
REMAINING MITIGATION REQUIRED	0.0

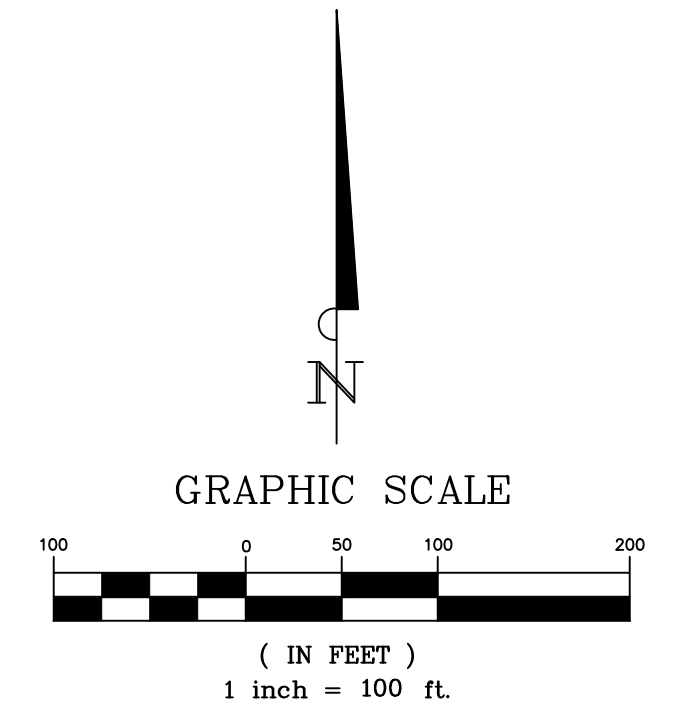
SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

APPLICANT
 SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

OWNERS
 REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087

- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

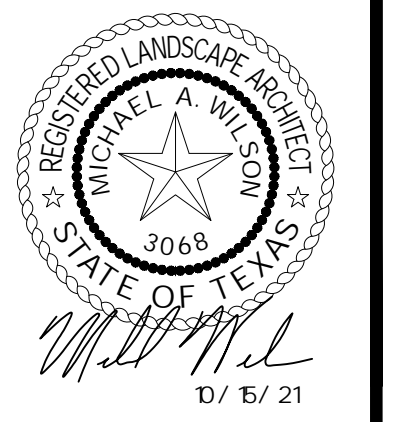


BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

TREESCAPE PLAN

No.	Date	Revision Description



SHEET NUMBER
L-3.00

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
1	32.0	sugarberry	20	Yes	Damaged	PRESERVED	-	-	-	-	-
2	17.0	sugarberry	18	No	Healthy	PRESERVED	-	-	-	-	-
53	26.6	eastern red cedar	20	Yes	Healthy	REMOVED	53.2	-	-	-	-
55	26.5	eastern red cedar	20	Yes	Healthy	REMOVED	53.0	-	-	-	-
56	20.4	eastern red cedar	20	Yes	Healthy	REMOVED	-	-	10.2	-	-
57	11.9	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-
58	11.6	eastern red cedar	11	No	Healthy	REMOVED	-	-	5.8	-	-
59	11.0	eastern red cedar	10	No	Healthy	REMOVED	-	-	5.5	-	-
60	12.2	eastern red cedar	12	No	Healthy	REMOVED	-	-	6.1	-	-
500	9.4	Scotch pine	7	No	Healthy	REMOVED	-	9.4	-	-	-
501	6.9	Scotch pine	5	No	Healthy	REMOVED	-	6.9	-	-	-
502	16.0	silver maple	16	No	Healthy	REMOVED	-	16.0	-	-	-
503	15.1	Scotch pine	13	No	Healthy	REMOVED	-	15.1	-	-	-
504	11.2	Scotch pine	6	No	Healthy	REMOVED	-	11.2	-	-	-
505	6.0	Scotch pine	4	No	Healthy	REMOVED	-	6.0	-	-	-
506	8.9	Scotch pine	7	No	Healthy	REMOVED	-	8.9	-	-	-
507	11.6	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-
508	15.1	Scotch pine	11	No	Healthy	REMOVED	-	15.1	-	-	-
509	11.9	Scotch pine	11	No	Healthy	REMOVED	-	11.9	-	-	-
510	27.1	Bradford pear	21	Yes	Healthy	REMOVED	54.2	-	-	-	-
511	6.0	bald cypress	6	No	Healthy	REMOVED	-	6.0	-	-	-
512	10.5	Scotch pine	7	No	Healthy	REMOVED	-	10.5	-	-	-
513	17.6	live oak	18	No	Healthy	REMOVED	-	17.6	-	-	-
514	20.3	live oak	22	No	Healthy	REMOVED	-	20.3	-	-	-
515	6.6	Shumard's oak	7	No	Damaged	REMOVED	-	-	-	-	-
516	15.6	live oak	14	Yes	Damaged	REMOVED	-	-	-	-	-
517	30.2	Bradford pear	25	Yes	Healthy	REMOVED	60.4	-	-	-	-
518	14.7	Shumard's oak	17	No	Healthy	REMOVED	-	14.7	-	-	-
519	11.8	cottonwood	7	No	Damaged	REMOVED	-	-	-	-	-
520	15.8	eastern red cedar	10	No	Healthy	PRESERVED	-	-	-	-	-
521	13.1	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-
522	13.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
523	14.3	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-
524	13.6	sugarberry	16	No	Healthy	REMOVED	-	-	6.8	-	-
525	11.8	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-
526	11.2	sugarberry	11	No	Healthy	REMOVED	-	-	5.6	-	-
527	12.9	sugarberry	18	No	Healthy	REMOVED	-	-	6.4	-	-
528	12.5	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-
529	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-
530	11.2	sugarberry	13	No	Healthy	REMOVED	-	-	5.6	-	-
531	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-
532	17.2	sugarberry	20	No	Healthy	REMOVED	-	-	8.6	-	-
533	21.7	sugarberry	27	No	Damaged	REMOVED	-	-	-	-	-
534	11.0	sugarberry	16	No	Healthy	REMOVED	-	-	5.5	-	-
535	22.3	sugarberry	24	No	Damaged	REMOVED	-	-	-	-	-
536	15.1	sugarberry	16	Yes	Damaged	REMOVED	-	-	-	-	-
537	13.5	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-
538	11.7	sugarberry	13	No	Healthy	REMOVED	-	-	5.8	-	-
539	11.0	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-
540	11.2	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-
541	16.8	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-
542	22.8	sugarberry	23	No	Healthy	PRESERVED	-	-	-	-	-
543	11.0	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-
544	11.1	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-
545	11.5	eastern red cedar	15	No	Damaged	REMOVED	-	-	-	-	-
546	12.3	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-
547	24.2	black willow	26	Yes	Healthy	REMOVED	-	-	-	N/A	-
548	13.5	black willow	10	No	Healthy	REMOVED	-	-	-	N/A	-
549	5.7	Hercules-club	6	Yes	Healthy	REMOVED	-	-	-	N/A	-
550	6.5	gum bumelia	6	Yes	Healthy	REMOVED	-	6.5	-	-	-
551	8.0	gum bumelia	6	Yes	Healthy	REMOVED	-	8.0	-	-	-
552	4.2	common persimmon	5	No	Healthy	REMOVED	-	4.2	-	-	-
553	12.4	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-
554	11.4	eastern red cedar	14	No	Healthy	REMOVED	-	-	5.7	-	-
555	11.0	sugarberry	10	No	Damaged	REMOVED	-	-	-	-	-
556	11.1	sugarberry	11	No	Healthy	REMOVED	-	-	5.6	-	-
557	15.7	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-
220.8							188.3		101.7		
							Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
601	11.5	eastern red cedar	14	No	Healthy	REMOVED	-	-	5.8	-	-
602	26.5	sugarberry	27	Yes	Healthy	REMOVED	53.0	-	-	-	-
603	13.4	sugarberry	14	No	Healthy	REMOVED	-	-	6.7	-	-
604	14.3	sugarberry	15	Yes	Healthy	REMOVED	-	-	7.2	-	-
605	11.3	eastern red cedar	1	No	Healthy	REMOVED	-	-	5.7	-	-
606	28.9	sugarberry	30	No	Healthy	REMOVED	57.8	-	-	-	-
607	13.0	sugarberry	14	No	Healthy	REMOVED	-	-	6.5	-	-
608	23.7	sugarberry	24	No	Healthy	REMOVED	-	-	11.9	-	-
609	14.6	eastern red cedar	15	No	Healthy	REMOVED	-	-	7.3	-	-
610	12.3	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-
611	33.3	sugarberry	30	Yes	Healthy	REMOVED	66.6	-	-	-	-
612	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-
613	11.6	sugarberry	12	No	Healthy	REMOVED	-	-	5.8	-	-
614	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-
615	14.9	sugarberry	15	No	Healthy	REMOVED	-	-	7.4	-	-
616	12.6	gum bumelia	13	No	Healthy	REMOVED	-	12.6	-	-	-
617	13.8	sugarberry	14	No	Healthy	REMOVED	-	-	6.9	-	-
618	18.8	Osage-orange	20	Yes	Healthy	REMOVED	-	-	-	N/A	-
619	30.3	Osage-orange	30	Yes	Healthy	REMOVED	-	-	-	N/A	-
620	6.0	American elm	6	No	Healthy	REMOVED	-	6.0	-	-	-
621	13.6	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-
622	14.6	eastern red cedar	15	No	Healthy	PRESERVED	-	-	-	-	-
623	11.7	eastern red cedar	13	No	Healthy	PRESERVED	-	-	-	-	-
624	19.4	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-
625	37.5	sugarberry	30	No	Healthy	PRESERVED	-	-	-	-	-
626	7.2	Bradford pear	8	No	Healthy	REMOVED	-	7.2	-	-	-
627	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-
628	6.2	Bradford pear	6	No	Healthy	REMOVED	-	6.2	-	-	-
629	29.8	sugarberry	30	Yes	Healthy	REMOVED	59.6	-	-	-	-
630	13.1	eastern red cedar	14	No	Healthy	REMOVED	-	-	6.6	-	-
631	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-
632	11.0	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.5	-	-
633	13.3	eastern red cedar	14	Yes	Healthy	REMOVED	-	-	6.7	-	-
634	23.7	sugarberry	24	Yes	Healthy	REMOVED	-	-	11.9	-	-
635	14.4	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
636	11.8	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-
637	13.5	sugarberry	14	No	Damaged	PRESERVED	-	-	-	-	-
638	13.6	sugarberry	14	No	Healthy	PRESERVED	-	-	-	-	-
639	14.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
640	11.1	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-
641	19.3	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-
642	15.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
643	16.6	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-
644	16.9	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-
645	16.7	sugarberry	17	Yes	Healthy	PRESERVED	-	-	-	-	-
646	12.4	sugarberry	13	No	Healthy	PRESERVED	-	-	-	-	-
647	12.4	sugarberry	13	No	Healthy	PRESERVED	-	-	-	-	-
648	14.6	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
649	14.8	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
650	27.1	eastern red cedar	28	No	Healthy	PRESERVED	-	-	-	-	-
651	5.3	Hercules-club	6	No	Healthy	PRESERVED	-	-	-	-	-
652	25.7	sugarberry	26	No	Healthy	PRESERVED	-	-	-	-	-
653	27.2	sugarberry	28	No	Healthy	PRESERVED	-	-	-	-	-
654	11.4	Osage-orange	11	No	Healthy	PRESERVED	-	-	-	-	-
655	27.6	Osage-orange	28	Yes	Healthy	PRESERVED	-	-	-	-	-
656	15.7	Osage-orange	17	Yes	Healthy	PRESERVED	-	-	-	-	-
657	11.8	eastern red cedar	12	No	Healthy	PRESERVED	-	-	-	-	-
658	18.4	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-
659	17.8	Osage-orange	18	No	Healthy	PRESERVED	-	-	-	-	-
660	11.8	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-
661	38.9	sugarberry	42	Yes	Healthy	PRESERVED	-	-	-	-	-
237.0							32.0		131.5		
							Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

457.8	220.3	233.2	-	-	911.3
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	TOTAL

TOTAL MITIGATION REQUIRED	911.3
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(246.7)
REMAINING MITIGATION REQUIRED	0.0

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
LIVE OAK	PRIMARY
BUR OAK	PRIMARY
BRADFORD PEAR	PRIMARY
RED MULBERRY	PRIMARY
BALD CYPRESS	PRIMARY
CRAPE MYRTLE	PRIMARY
YAUPOIN	PRIMARY
SCOTCH PINE	PRIMARY
SILVER MAPLE	PRIMARY
SHUMARD'S OAK	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN RED CEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
HERCULES-CLUB	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 237 clem rd, Rockwall, Tx

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION SE corner of Clem Rd and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD 21-17

CURRENT USE Farm

PROPOSED ZONING PD 21-17

PROPOSED USE Single Family

ACREAGE Approx 58.8363

LOTS [CURRENT] 0

LOTS [PROPOSED] 132

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Falcon Place SF, LTD

APPLICANT Skorburg Company

CONTACT PERSON John Arnold

CONTACT PERSON Humberto Johnson Jr, PE

ADDRESS 8214 westchester Dr STE 900

ADDRESS 8214 westchester Dr STE 900

CITY, STATE & ZIP Dallas, Tx 75225

CITY, STATE & ZIP Dallas, Tx 75225

PHONE 214-522-4945

PHONE 682-225-5834

E-MAIL jarnold@skorburgcompany.com

E-MAIL jrjohnson@skorburgcompany.com

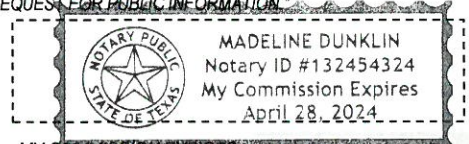
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF October, 2021

OWNER'S SIGNATURE _____

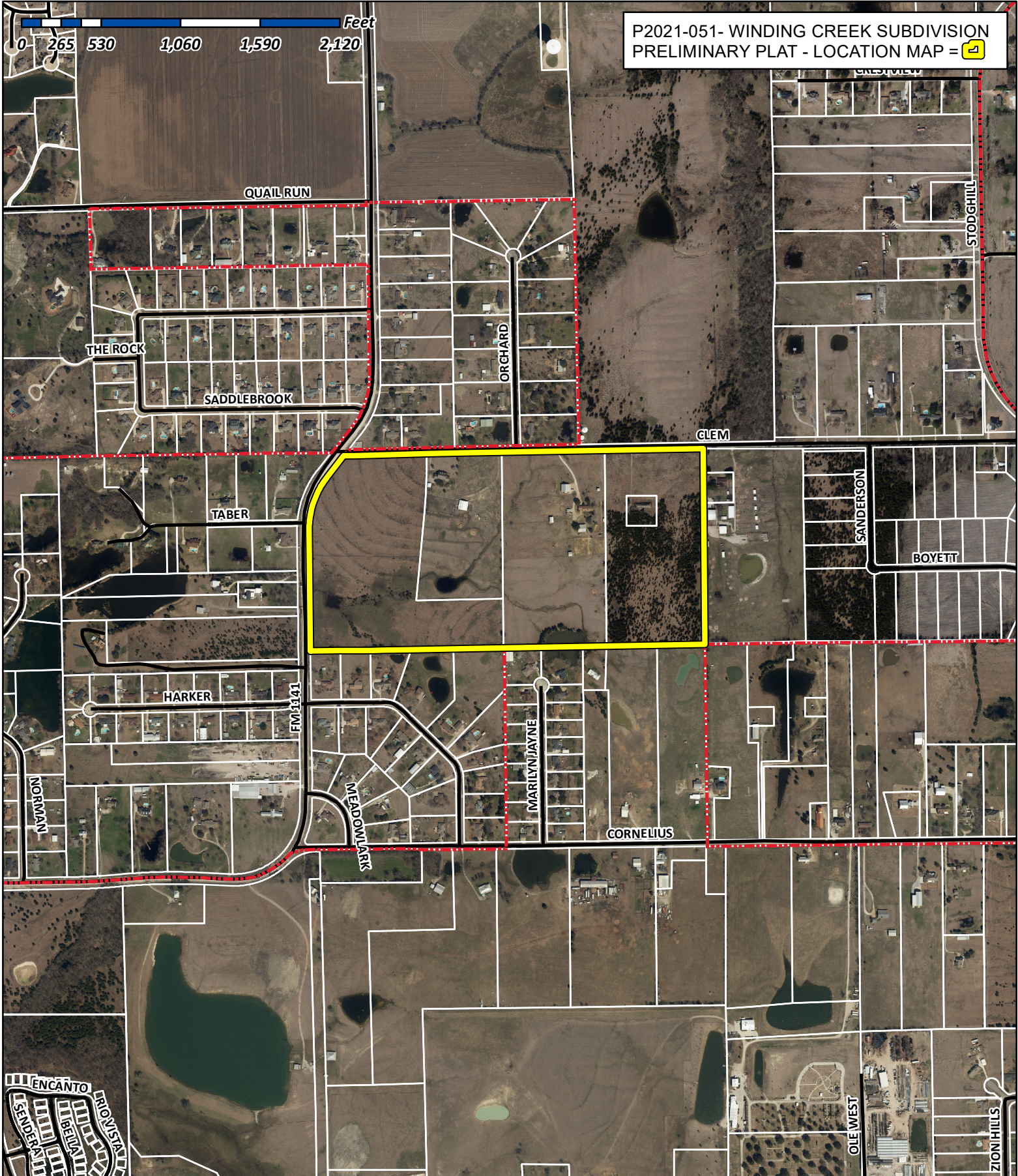


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

Madeline Dunklin

MY COMMISSION EXPIRES _____

4/28/24



P2021-051- WINDING CREEK SUBDIVISION
 PRELIMINARY PLAT - LOCATION MAP = 1



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

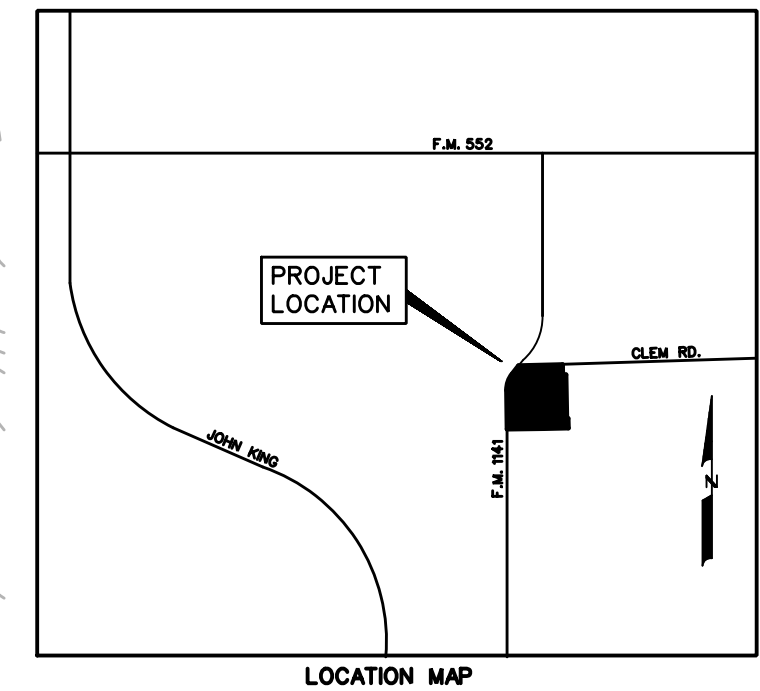
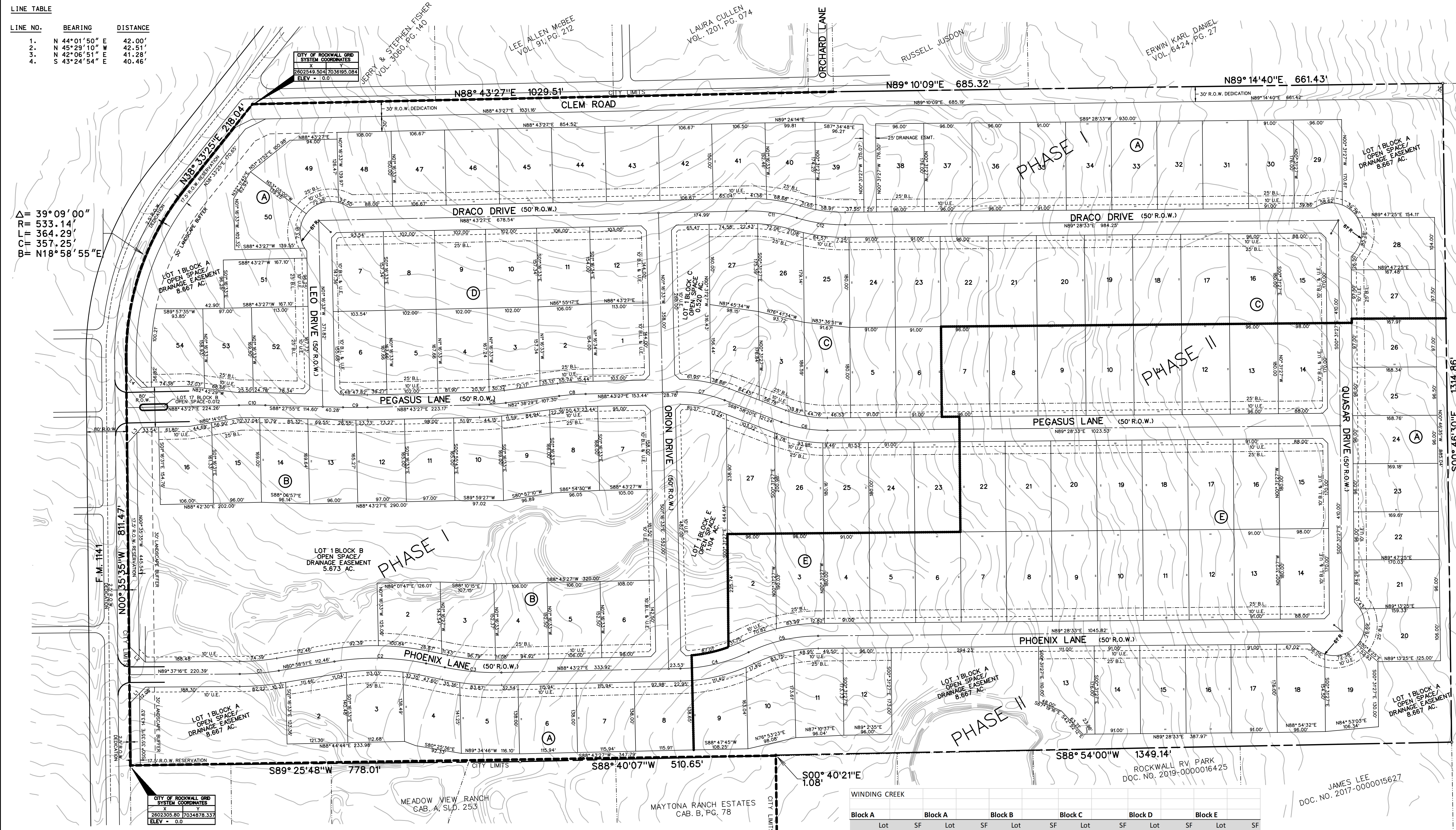


LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44°01'50" E	42.00'
2.	N 45°29'10" W	42.51'
3.	N 42°06'51" W	41.28'
4.	S 43°24'54" E	40.46'

0 50 100 200
SCALE: 1" = 100'

Δ = 39°09'00"
R = 533.14'
T = 364.29'
C = 357.25'
B = N18°58'55"E



TOTAL ACRES	78.831
PHASE I TOTAL LOTS	85
PHASE II TOTAL LOTS	47
TOTAL RESIDENTIAL LOTS	132
DENSITY	1.674
EX. ZONING	PD-91
LAND USE	SINGLE FAMILY DEVELOPMENT

- LEGEND**
- B.L. - BUILDING LINE
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT OF WAY
 - H.O.A. - HOMEOWNERS ASSOCIATION
 - - - CITY LIMIT LINE
 - - - PHASE LINE

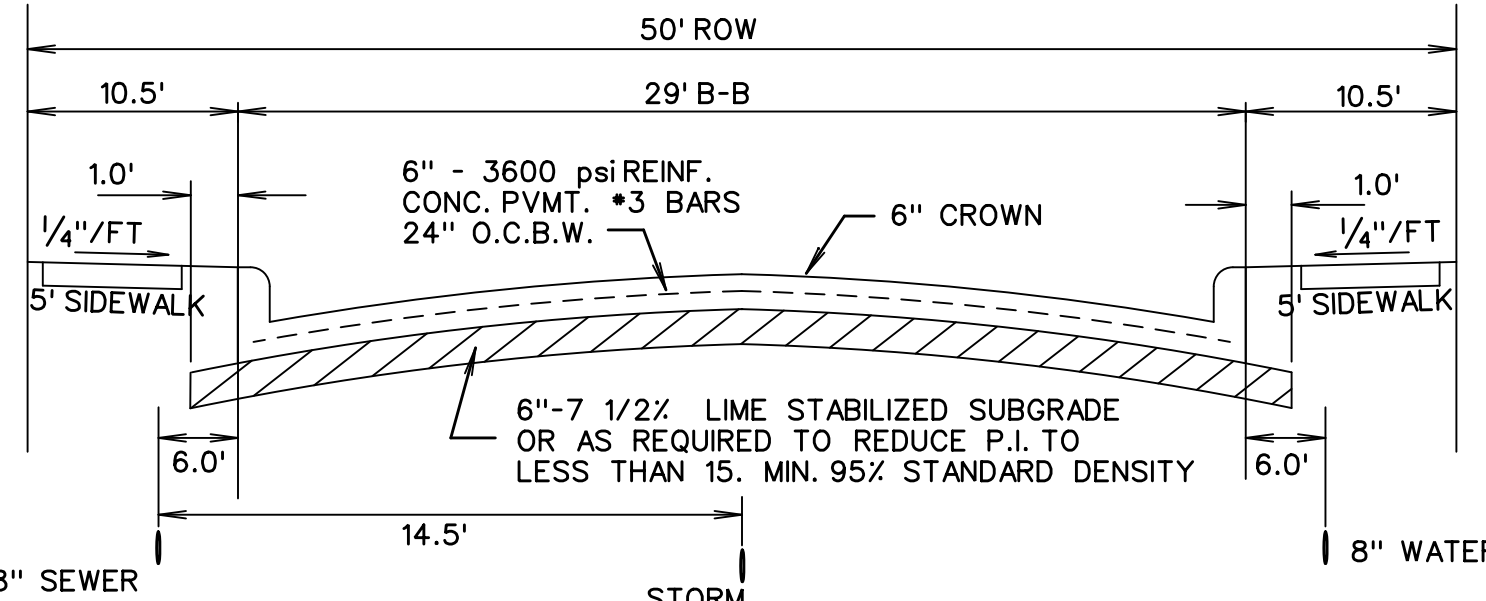
NOTES:

ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.

HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	08°58'25"	500.00'	78.31'	78.23'	N85°08'03"E
2.	21°05'19"	500.00'	184.03'	183.00'	S88°48'30"E
3.	13°00'42"	500.00'	113.55'	113.31'	S84°46'12"E
4.	25°51'04"	325.00'	140.96'	139.86'	N76°33'26"E
5.	25°20'39"	325.00'	142.16'	142.59'	N76°48'14"E
6.	21°33'07"	250.00'	94.04'	93.49'	S79°44'53"E
7.	22°18'13"	250.00'	97.32'	96.71'	S80°07'26"E
8.	06°04'58"	500.00'	53.08'	53.06'	N85°40'58"E
9.	02°48'38"	1000.00'	49.05'	49.05'	S89°42'14"E
10.	02°48'42"	1077.43'	52.87'	52.87'	S89°58'11"E
11.	18°02'48"	325.00'	102.37'	101.94'	S82°15'09"E
12.	17°17'41"	325.00'	96.10'	97.73'	S81°52'36"E



Reviewed for preliminary Approval:

Planning & Zoning Commission Chairman _____ Date _____

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

WINDING CREEK

Block A	Block A	Block B	Block C	Block D	Block E
1* 377543	31 16016	1* 247097	1* 22691	1 17351	1* 48106
2 16002	32 16016	2 16625	2 16057	2 16369	2 19827
3 16069	33 16016	3 16045	3 16659	3 16593	3 17556
4 16000	34 16016	4 16164	4 16816	4 17098	4 16380
5 16001	35 16016	5 16165	5 16380	5 17101	5 16380
6 16000	36 16896	6 16420	6 16380	6 17265	6 16380
7 16000	37 16896	7 17590	7 17280	7 16240	7 16380
8 16000	38 16896	8 16143	8 17280	8 16048	8 16380
9 16001	39 16976	9 16074	9 17280	9 16048	9 16380
10 16403	40 16012	10 16053	10 17280	10 16048	10 16380
11 16997	41 16009	11 16087	11 17280	11 16500	11 16380
12 16642	42 16000	12 16007	12 17280	12 17352	12 16380
13 16030	43 16000	13 16062	13 17280	13 16380	13 16380
14 16016	44 16000	14 16257	14 17590	14 17590	14 17590
15 16016	45 16000	15 16047	15 17590	15 17590	15 17590
16 16016	46 16000	16 16548	16 17280	16 16380	16 16380
17 16016	47 16000	17* 511	17 17280	17 16380	17 16380
18 16489	48 16084	18 17280	18 17280	18 16380	18 16380
19 16092	49 17353	19 17280	19 17280	19 16380	19 16380
20 16035	50 16037	20 17280	20 17280	20 16380	20 16380
21 16404	51 16083	21 17280	21 17280	21 16380	21 16380
22 16302	52 19383	22 17280	22 17280	22 16380	22 16380
23 16261	53 16064	23 16380	23 16380	23 16380	23 16380
24 16221	54 16056	24 16380	24 16380	24 16380	24 16380
25 16264	25 16160	25 16160	25 16160	25 16380	25 16380
26 16307	26 16300	26 16300	26 16300	26 18006	26 18006
27 16350	27 16300	27 16300	27 16300	27 21114	27 21114

JAMES LEE
DOC. NO. 2017-0000015627

PRELIMINARY PLAT
OF
WINDING CREEK
LOTS 1-54, BLOCK A
LOTS 1-16, BLOCK B
LOTS 1-27, BLOCK C
LOTS 1-12, BLOCK D
LOTS 1-27, BLOCK E
TOTAL ACRES 78.831
TOTAL RESIDENTIAL LOTS 132
TOTAL OPEN SPACE LOTS 4

OUT OF THE
J.M. GLASS SURVEY, ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNERS
REDDY K. VASUNDHARA &
ALEX R. FREEMAN
100 N. CENTRAL EXPRESSWAY, STE. 108
DALLAS, TEXAS 75080

APPLICANT/OWNER
FALCON PLACE SF, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

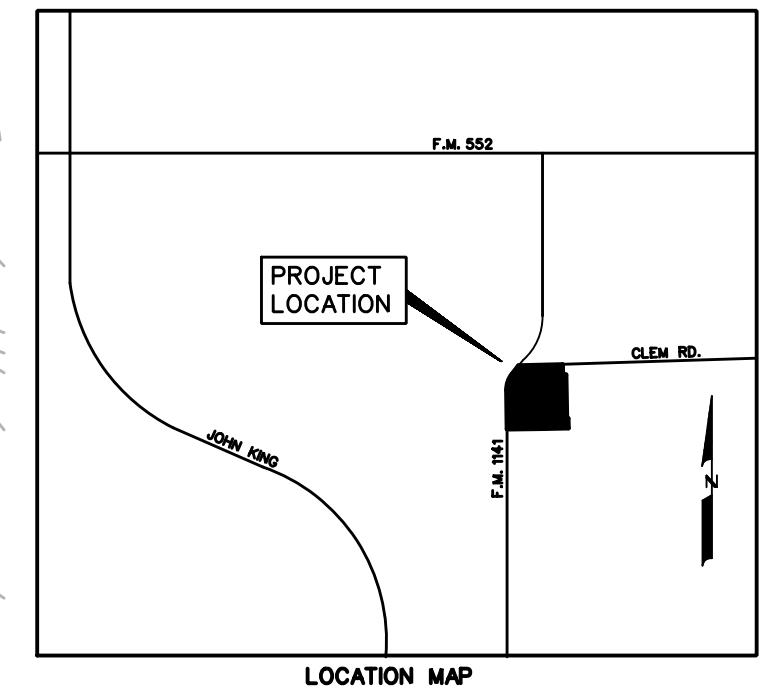
GORDON C. FOGG
PO BOX 842
ROCKWALL, TEXAS 75087
OCTOBER 2021 SCALE 1" = 100'

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1.	N 44°01'50" E	42.00'
2.	N 45°29'10" W	42.51'
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0 50 100 200
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12.	17°17'41"	325.00'	96.10'	97.73'	S81°52'36"E

MASTER PLAT OF
WINDING CREEK
LOTS 1-54, BLOCK A
LOTS 1-16, BLOCK B
LOTS 1-27, BLOCK C
LOTS 1-12, BLOCK D
LOTS 1-27, BLOCK E
TOTAL ACRES 78.831
TOTAL RESIDENTIAL LOTS 132
TOTAL OPEN SPACE LOTS 4

OUT OF THE
J.M. GLASS SURVEY, ABSTRACT NO. 88

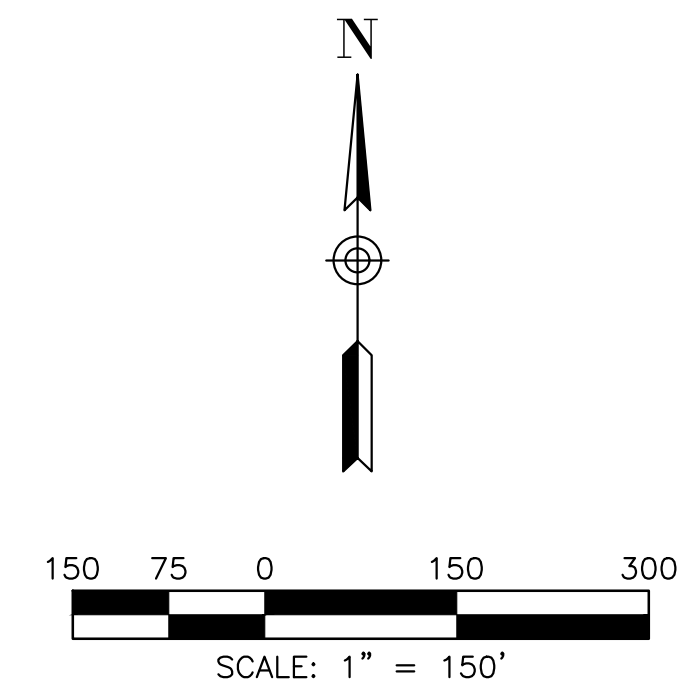
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNERS
REDDY K. VASUNDHARA &
ALEX R. FREEMAN
100 N. CENTRAL EXPRESSWAY, STE. 108
DALLAS, TEXAS 75080

APPLICANT/OWNER
FALCON PLACE SF, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

GORDON C. FOGG
PO BOX 842
ROCKWALL, TEXAS 75087
OCTOBER 2021 SCALE 1" = 100'

LEGEND	
— 544 —	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF
---	CONCEPTUAL STORM ALIGNMENT

PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN



PROPOSED RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
A1	0.57	10	0.5	9.8	2.8
A2	0.40	10	0.5	9.8	2.0
A3	1.64	10	0.5	9.8	8.0
A4	0.86	10	0.5	9.8	4.2
A5	1.01	10	0.5	9.8	4.9
A6	3.18	10	0.5	9.8	15.6
A7	1.73	10	0.5	9.8	8.5
A8	2.99	10	0.5	9.8	14.6
A9	2.81	10	0.5	9.8	13.8
A10	0.89	10	0.5	9.8	4.4
A11	2.21	10	0.5	9.8	10.8
A12	2.18	10	0.5	9.8	10.7
A13	3.28	10	0.5	9.8	16.1
A14	3.21	10	0.5	9.8	15.7
A15	1.84	10	0.5	9.8	9.0
A16	2.23	10	0.5	9.8	10.9
A17	3.20	10	0.5	9.8	15.7
A18	2.50	10	0.5	9.8	12.3
A19	0.44	10	0.5	9.8	2.1
A20	0.61	10	0.5	9.8	3.0
A21	1.76	10	0.5	9.8	8.6
A22	0.85	10	0.5	9.8	4.1
B1	2.43	10	0.5	9.8	11.9
B2	1.45	10	0.5	9.8	7.1
B3	2.13	10	0.5	9.8	10.4
B4	2.19	10	0.5	9.8	10.7
B5	2.37	10	0.5	9.8	11.6
B6	2.74	10	0.5	9.8	13.4
C1	1.40	10	0.5	9.8	6.8
C2	1.60	10	0.5	9.8	7.8
D1	2.25	10	0.5	9.8	11.0
D2	1.06	10	0.5	9.8	5.2
E1	3.45	10	0.5	9.8	16.9
F1	8.93	10	0.5	9.8	43.8
X1	12.60	20	0.5	8.33	52.5
X2	0.90	10	0.9	9.8	7.9
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X6	0.83	10	0.9	9.8	7.3
X7	0.56	10	0.9	9.8	4.9
X8	4.00	10	0.5	9.8	19.6
X9	2.92	10	0.5	9.8	14.3

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REVIEW ONLY.

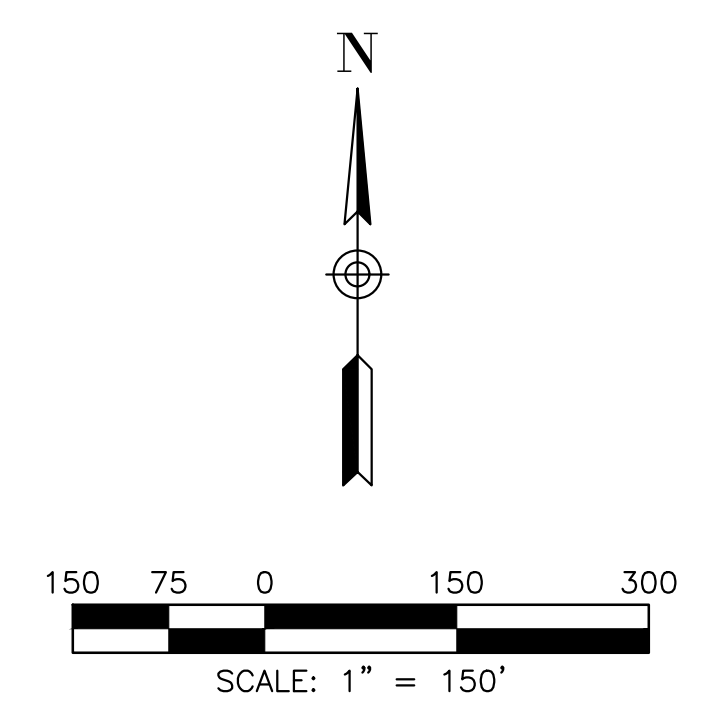
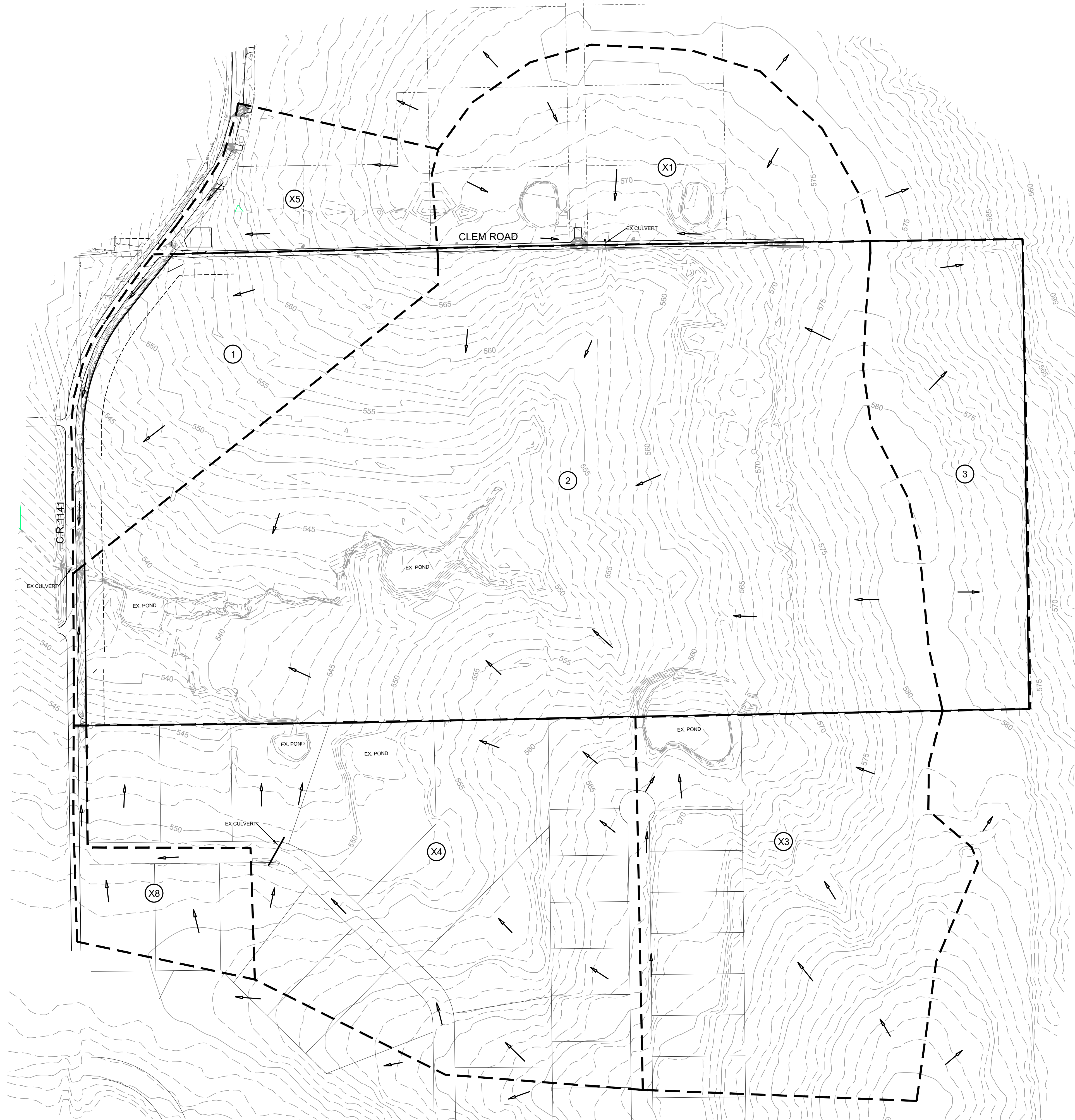
CONCEPTUAL DRAINAGE AREA MAP
WINDING CREEK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**CIVIL ENGINEERING
DESIGN & CONSULTING**
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com


DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		10/15/2021			1 OF 1

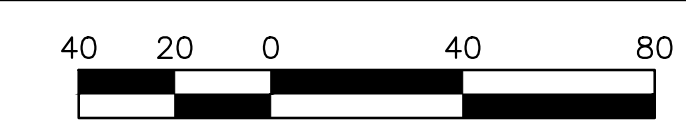


EXISTING RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
1	10.79	20	0.35	8.33	31.5
2	58.25	20	0.35	9.8	199.8
3	10.99	20	0.35	9.8	37.7
X1	12.60	20	0.5	8.33	52.5
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X8	4.00	10	0.5	9.8	19.6

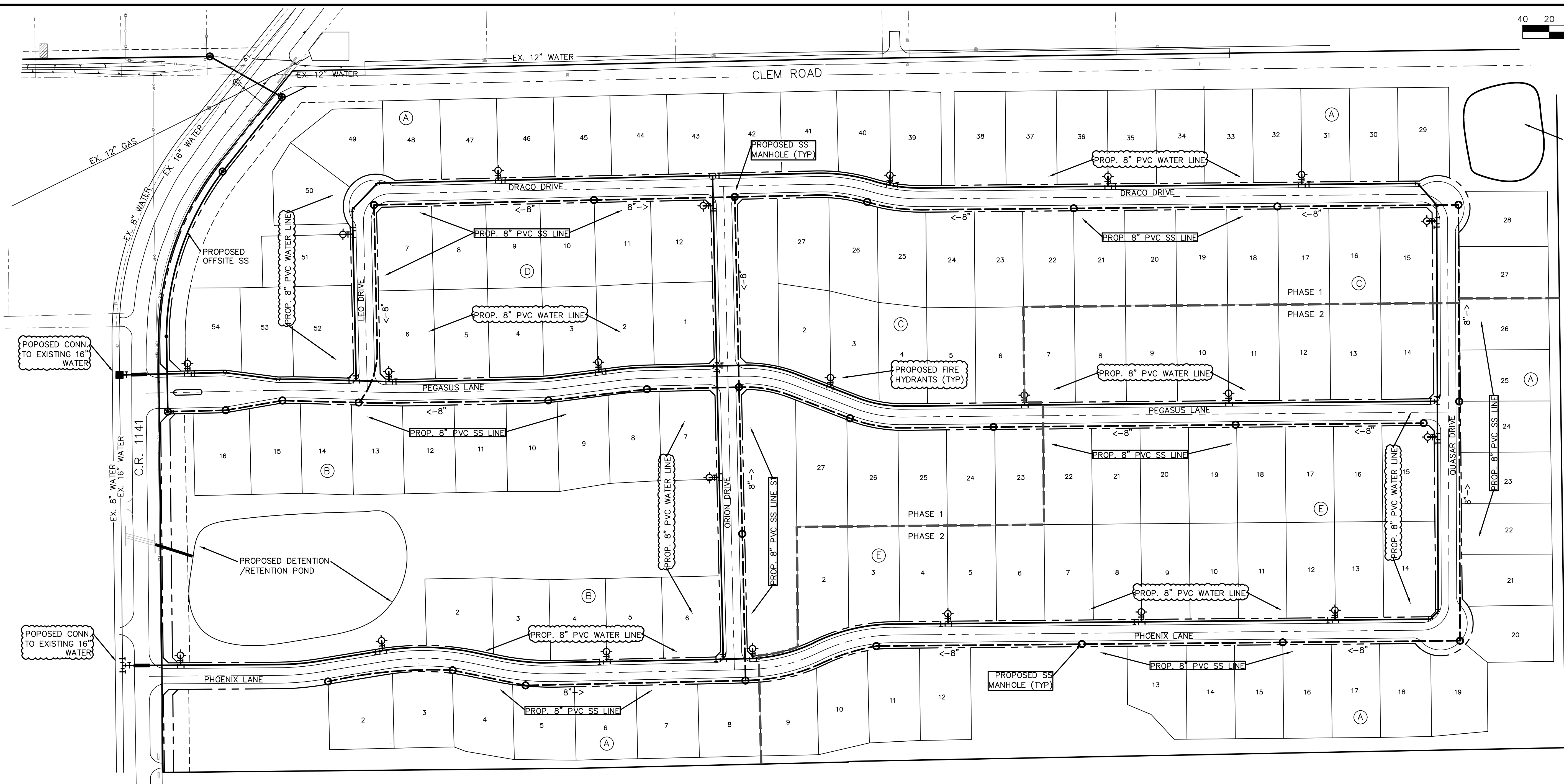
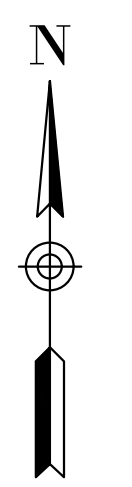
LEGEND	
-544	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF

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EXISTING DRAINAGE AREA MAP				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		10/15/2021		
				SHEET NO. 1 OF 1



SCALE:
HORIZ: 1"=100'



- WATER NOTES:**
1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2016 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 4TH EDITION, DATED OCTOBER 2004. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
 3. ALL WATER PIPE SHALL BE AWWA C900 PVC PIPE, DR-14 PC 305 (BLUE IN COLOR), UNLESS SPECIFIED OTHERWISE IN CITY OF ROCKWALL STANDARDS.
 4. INSTALL BLUE EMS LOCATOR PADS ALONG WATER LINES AT EVERY TWO HUNDRED FIFTY (250') FEET, CHANGES IN DIRECTION, VALVE, CURB STOP AND SERVICE CONNECTION TO THE WATER MAIN AND ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
 5. REFER TO CITY OF ROCKWALL STANDARDS FOR WATER PIPE EMBEDMENT.
 6. MINIMUM COVER FOR WATER PIPE UNDER PAVEMENT IS 4'.
 7. WATER SERVICES SHALL BE SDR-9 (POLYTUBE) HAVING A MINIMUM SIZE OF ONE INCH (1"). METER BOXES SHALL BE SET BETWEEN THE SIDEWALK AND THE BACK OF CURB AS SPECIFIED IN CITY OF ROCKWALL STANDARDS.

- WASTEWATER NOTES:**
1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2016 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 4TH EDITION, DATED OCTOBER 2004. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WASTEWATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
 2. ALL WASTEWATER PIPE SHALL BE SDR 35 FOR DEPTHS UP TO 10 FEET AND SDR 26 FOR DEPTHS GREATER THAN 10 FEET.
 3. A GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN, AND AT ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
 4. MANHOLES SHALL CONFORM TO CITY OF ROCKWALL STANDARDS.
 5. RAVEN EPOXY COATING, CONSHIELD, OR APPROVED EQUAL, SHALL BE INSTALLED IN ALL MANHOLES.

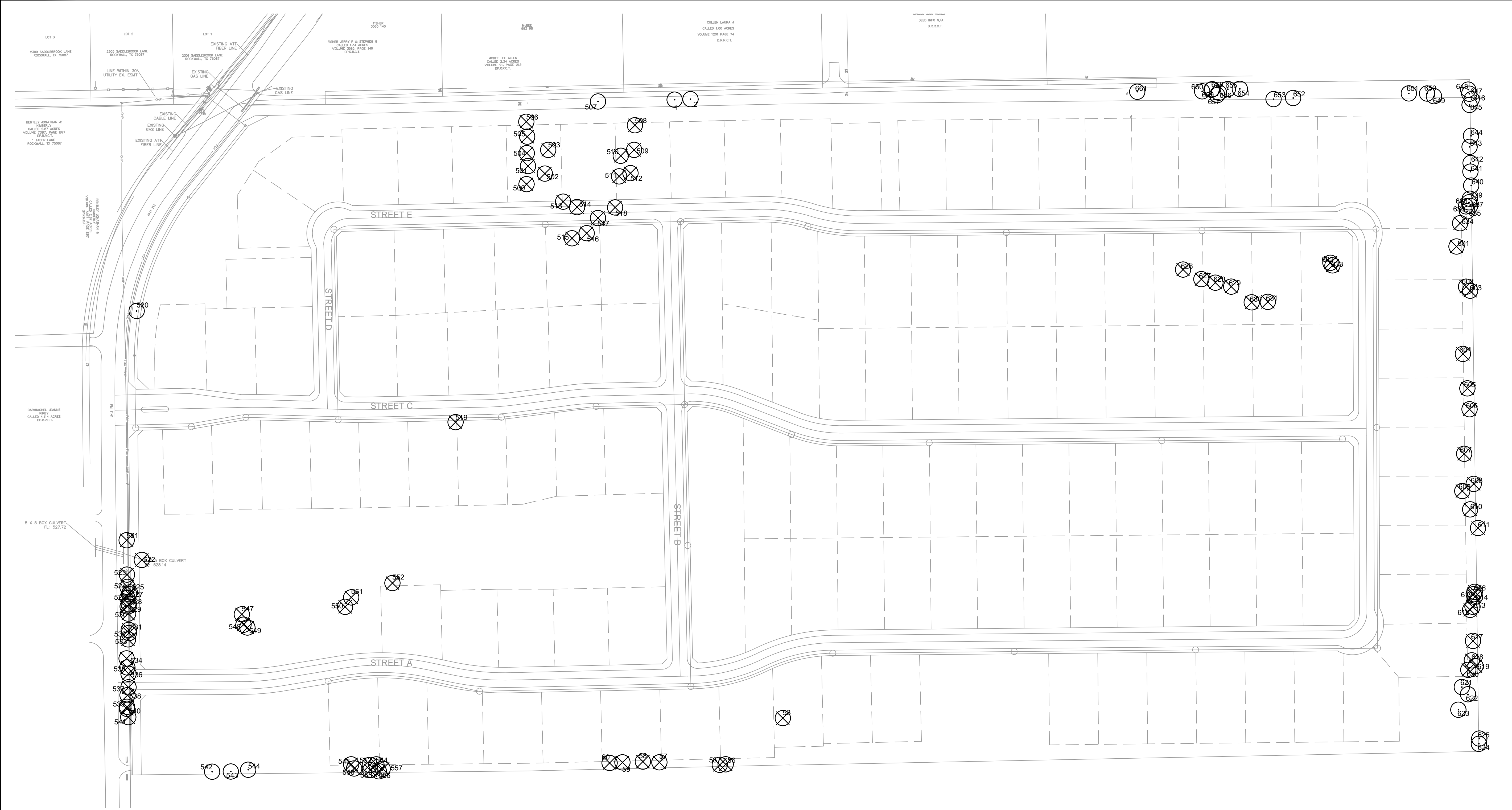
FINAL LOCATIONS OF SANITARY SEWER MANHOLES AND FIRE HYDRANTS WILL BE DETERMINED DURING FINAL DESIGN.

SYMBOL LEGEND	
	PROPOSED 8" WATER LINE
	PROPOSED 8" SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT

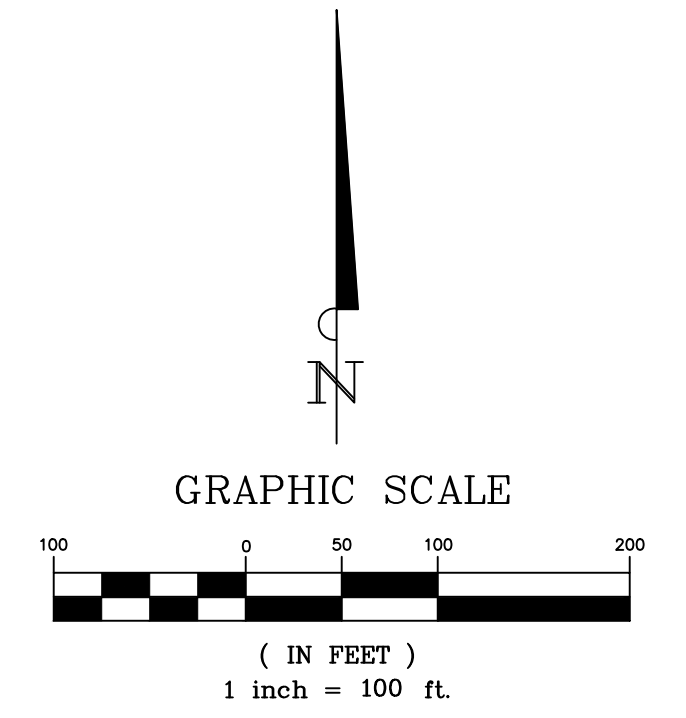
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PRELIMINARY SANITARY SEWER PLAN				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED BCP	CHECKED SDA	DATE 10/15/2021	DWG FILE WC_Preliminary utility	PROJECT # SKO_WC
				SHEET NO.

File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg || Date Plotted: 10/14/2021 3:50 PM || Plotted By: mwilson



- TREE LEGEND**
- PRESERVED EXISTING TREE
 - X REMOVED EXISTING TREE



TOTAL MITIGATION REQUIRED	911.3
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	398.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(246.7)
REMAINING MITIGATION REQUIRED	0.0

SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

APPLICANT
 SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

OWNERS
 REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

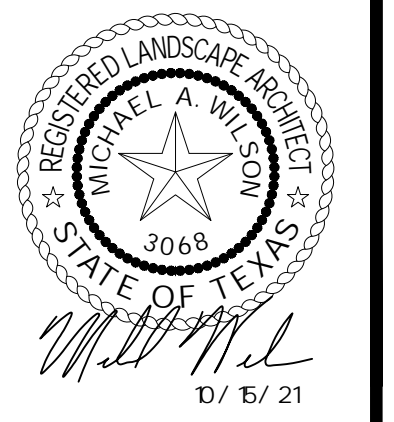
BANNISTER
ENGINEERING

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

TREESCAPE PLAN

No.	Date	Revision Description



SHEET NUMBER
L-3.00

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2021

PROJECT NUMBER: P2021-051
PROJECT NAME: Preliminary Plat for Winding Creek Subdivision
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of Gordon C. Fogg for the approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	10/21/2021	Approved w/ Comments

10/21/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2021-051) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District 91 (PD-91), and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Include the total square footage in the title block. There are also 5 open space lots, not 4 (Lot 1, Block A; Lot 1, Block B; Lot 17, Block B; Lot 1, Block C; Lot 1, Block E. [Subsection 04.01, of Article 11, UDC]

M.6 Correct the Title Block as follows:

Preliminary Plat
Winding Creek Subdivision
Being 78.831 Acres or 3,433,878.36 Square Feet
Residential Lots 132
Out of the J.M. Glass Survey, Abstract No. 88
City of Rockwall, Rockwall County, Texas

M.6 Preliminary Plat. Indicate the widths of the following lots at the front yard setback: Lot 19, Block A; Lot 20, Block A; Lot 49, Block A, and Lot 50, Block A. I need to verify the frontages on these lots. [Subsection 04.01, of Article 11, UDC]

M.7 Preliminary Plat. Clearly indicate the Corporate City Limits of Rockwall. [Subsection 04.01, of Article 11, UDC]

M.8 Preliminary Plat. Indicate all existing and proposed corner clips and any subsequent dedication. [Subsection 04.01, of Article 11, UDC]

M.9 Clearly indicate if the eastern third of the property has no primary or secondary protected trees, that are being removed, besides the ones shown on the treescape plan. Aerial imagery shows that this area is heavily treed and I need confirmation. [Subsection 04.01, of Article 11, UDC]

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections, and provide any additional information that is requested by staff. Revisions for this case will be due as soon as possible or within 30 days of approval.

M.11 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.12 Please note the scheduled meetings for this case:

Planning & Zoning meetings will be held on October 26, 2021 & November 9, 2021.

Parks Board meeting will be held on November 2, 2021.

City Council regular meeting will be held on November 15, 2021.

I.13 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM in the City's Council Chambers. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/21/2021	Needs Review

10/21/2021: M - 10' UE on back of ROW Reservation.

M - Streets to be 29' B-B.

M - Provide Future WW stub out in this location for Harker Trail Subdivision

M - NCTCOG is on the 5th edition dated Nov 2017 and Rockwall standards were updated October 2019.

M - Provide Future WW stub out in this location for Marilyn Jane Lane Subdivision.

M - Install the 12-inch Water Line per Master Plan.

M - There will be two water lines running along Orion Lane since there will be a water pressure zone break in the future.

M - Manholes to be installed for every point of curvature and point of tangent on the sewer line.

M - Do not do saw tooth for drainage area boundaries. Will have to keep track in building permits that it is being built that way, Just divide straight down center of lot.

The following items are informational for the engineering design phase.

General Items:

M - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

I - Must include a 10' utility easement along all street frontage.

Drainage Items:

- I - Detention is required. Manning's C-value is by zoning.
- I - Detention for 20 or more acres must be calculated using the unit hydrograph method and perform a detention/flood study. Review fees apply. (Must meet design requirements for Squabble Creek Basin)
- I - No lot-to-lot drainage is allowed.
- I - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- I - No vertical walls are allowed in detention easements.
- I - Must delineate the 100-yr fully developed localized floodplain for all creek, stream and low ares. Detention must be above the 100-year Water Surface Elevation.
- I - Must established drainage easements per erosion hazard setback and floodplain requirements.
- I - Floodplain and erosion hazard setback to be in its own separate lot to be owned and maintained by the HOA. lot/property line will vary based on this.

Water and Wastewater Items:

- I - Must loop 8" min. water line on site. Only one use allowed off a dead end line.
- I - Will need to have separate water system loop in subdivision so east half of system can be switched over to separate pressure plan in future. system can be switched. Installed dual Water Line in Orion Dr with connectors
- I - Must install a 12" water line through the site per the Master Plans.
- I - Pursue opting out of the Mt. Zion water district.
- I - Will need a letter from Mt. Zion stating that they can serve domestic and fire protection to meet City requirements if not opting out of Mt. Zion WD.
- I - Will need to connect the subdivision's sewer to the ex. sewer system that is located the west (approx. 3000ft). You may need additional easements.
- I - stub wastewater lines to south property line in the two locations shown for future connection for upstream subdivisions in the future.

Roadway Paving Items:

- I - Required 10' utility easement required along all street frontage.
- I - All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- I - Alleys to be 20' ROW, 12' wide paving.
- I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- I - Must meet driveway spacing requirements.
- I - TXDOT permit required for driveway on FM 1141 This will require TIA to be submitted.
- I - Dedicate ROW for FM 1141. 85' ROW for an M4D four lane divided roadway. Must dedicate 42.5' from the centerline if not existing. Reserve 17.5' for future FM 1141 right-of-way for TXDOT

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/21/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/20/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/19/2021	Approved w/ Comments

10/19/2021: Please submit CDA (.dwg) of road centerlines and lot lines to lsingleton@rockwall.com so addressing can begin.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Henry Lee	10/21/2021	Approved
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No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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PARKS	Travis Sales	10/19/2021	Approved w/ Comments
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10/19/2021: 1. Tree mitigation Plan approved
2. Provide landscape plans for common areas and detention
3. Fees
3. P2021-051 (Henry Lee) (Preliminary Plat)
Park District 8 (collect fees only)
Cash In Lieu of Land: \$609.00 x 132 lots = \$80,388.00
Pro Rata Equipment Fee: \$577.00 x 132 lots = \$76,164.00
Total per lot x lots = \$1,186.00 x 132 lots = \$156,552.00



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 237 clem rd, Rockwall, Tx

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION SE corner of Clem Rd and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD 21-17

CURRENT USE Farm

PROPOSED ZONING PD 21-17

PROPOSED USE Single Family

ACREAGE Approx 58.8363

LOTS [CURRENT] 0

LOTS [PROPOSED] 132

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Falcon Place SF, LTD

APPLICANT Skorburg Company

CONTACT PERSON John Arnold

CONTACT PERSON Humberto Johnson Jr, PE

ADDRESS 8214 westchester Dr STE 900

ADDRESS 8214 westchester Dr STE 900

CITY, STATE & ZIP Dallas, Tx 75225

CITY, STATE & ZIP Dallas, Tx 75225

PHONE 214-522-4945

PHONE 682-225-5834

E-MAIL jarnold@skorburgcompany.com

E-MAIL jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

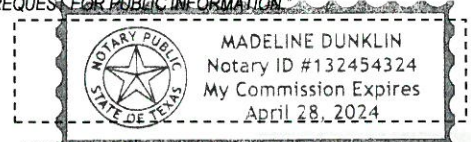
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF October, 2021

OWNER'S SIGNATURE _____

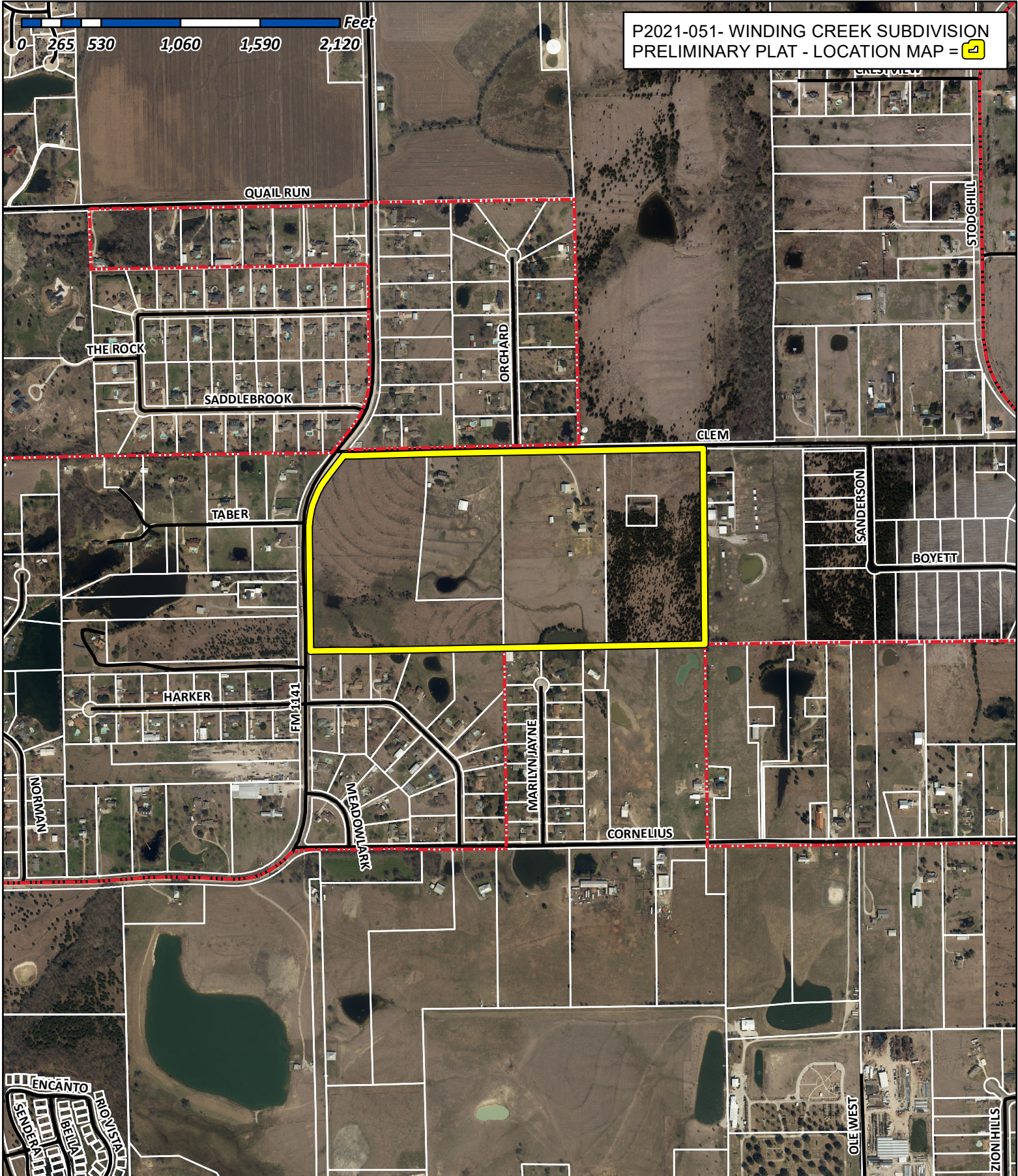
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

Madeline Dunklin



MY COMMISSION EXPIRES _____

4/28/24



P2021-051- WINDING CREEK SUBDIVISION
 PRELIMINARY PLAT - LOCATION MAP = 1



City of Rockwall

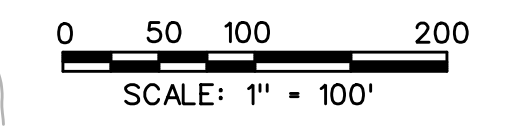
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

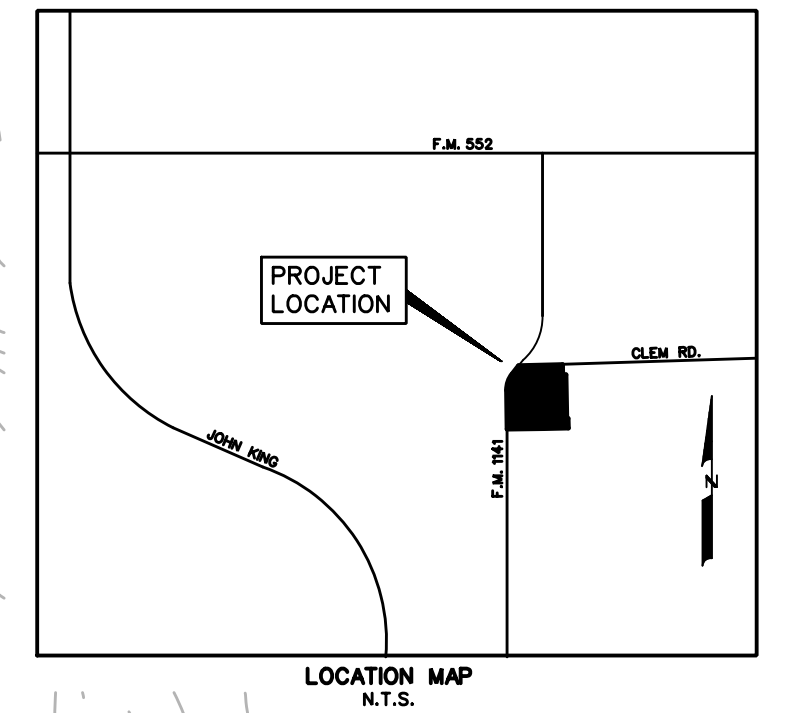
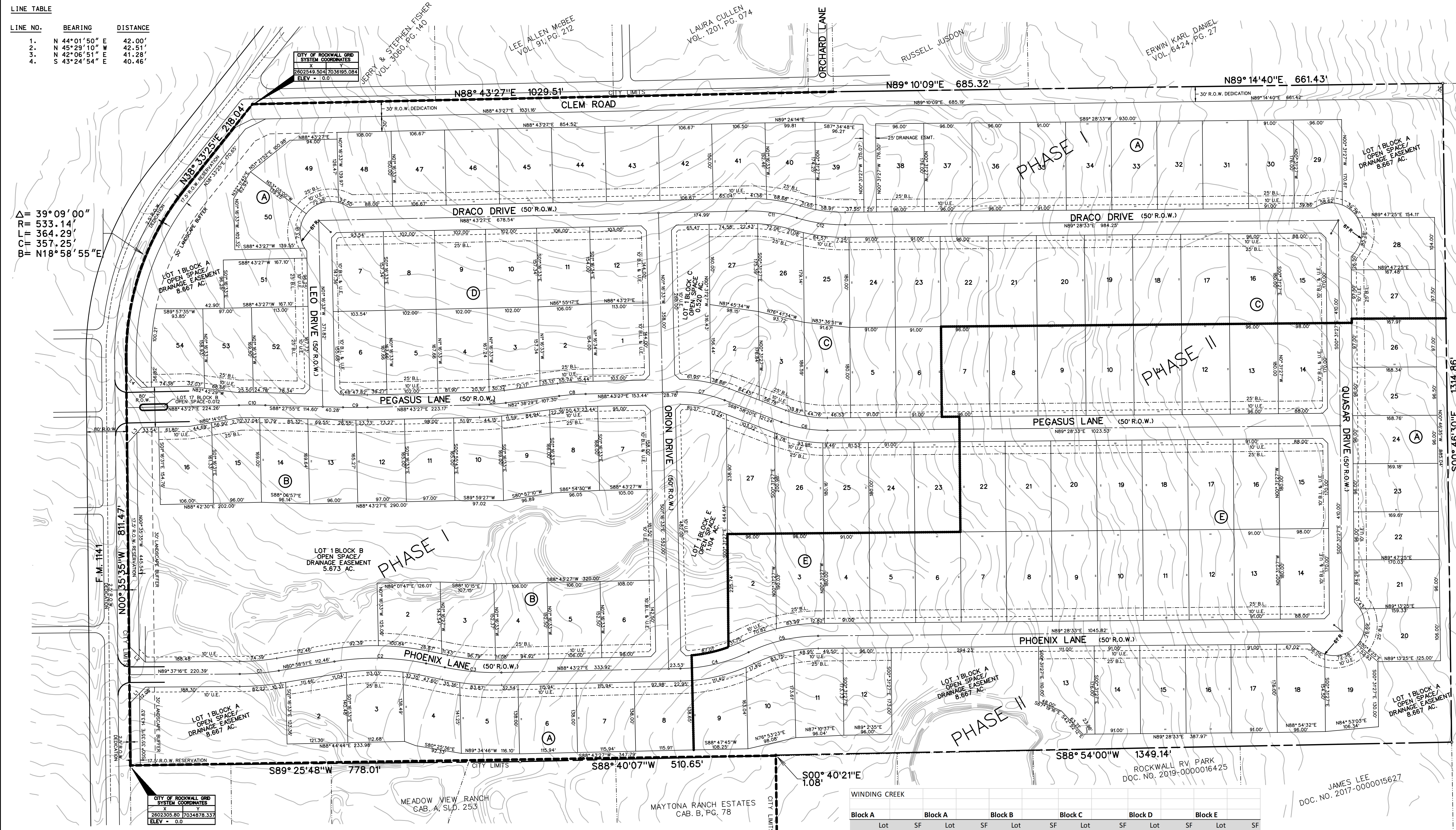


LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44°01'50" E	42.00'
2.	N 45°29'10" W	42.51'
3.	N 42°06'51" W	41.28'
4.	S 43°24'54" E	40.46'



Δ = 39°09'00"
 R = 533.14'
 L = 364.29'
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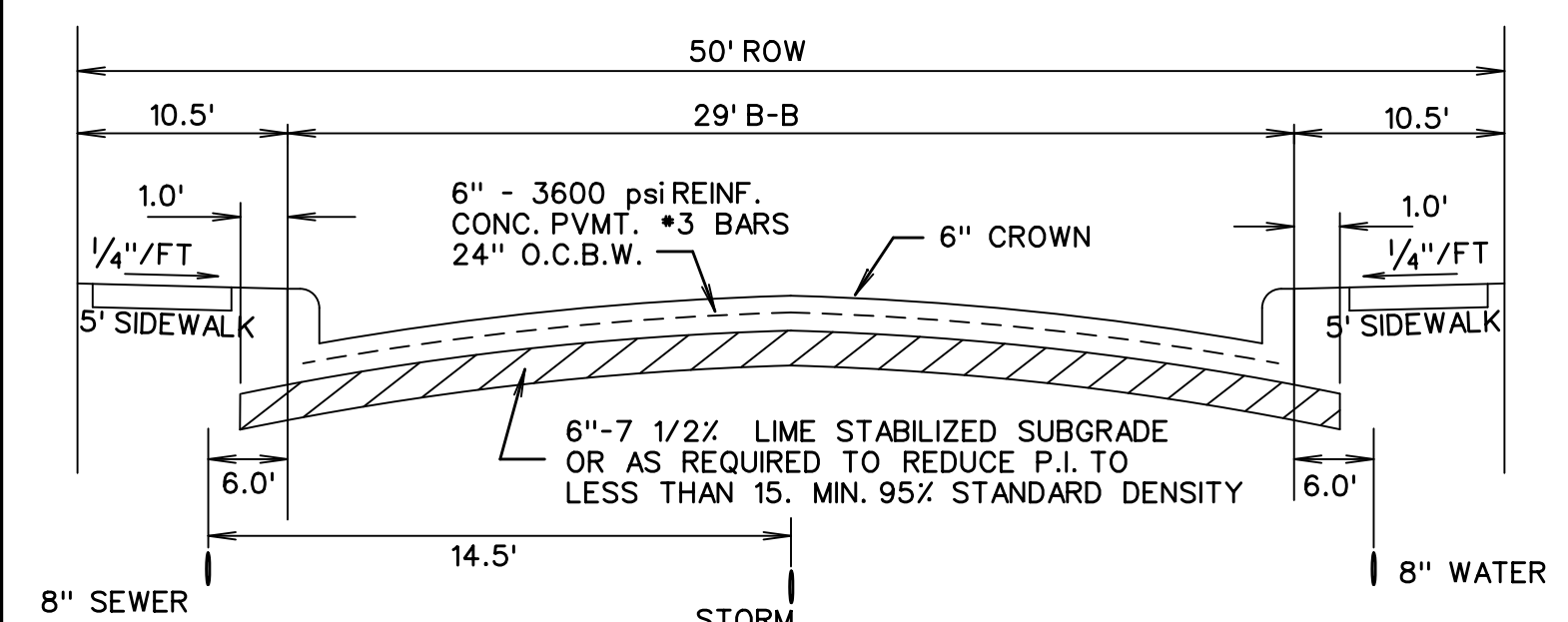


TOTAL ACRES	78.831
PHASE I TOTAL LOTS	85
PHASE II TOTAL LOTS	47
TOTAL RESIDENTIAL LOTS	132
DENSITY	1.674
EX. ZONING	PD-91
LAND USE	SINGLE FAMILY DEVELOPMENT

- LEGEND**
- B.L. - BUILDING LINE
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT OF WAY
 - H.O.A. - HOMEOWNERS ASSOCIATION
 - - - CITY LIMIT LINE
 - - - PHASE LINE

NOTES:

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CURVE TABLE

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9.	02°48'38"	1000.00'	49.05'	49.05'	S89°42'14"E
10.	02°48'42"	1077.43'	52.87'	52.87'	S89°58'11"E
11.	18°02'48"	325.00'	102.37'	101.94'	S82°15'09"E
12.	17°17'41"	325.00'	96.10'	97.73'	S81°52'36"E

Reviewed for preliminary Approval: _____ Date _____
 Planning & Zoning Commission Chairman

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2021.
 This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall City Secretary City Engineer

Block A		Block B		Block C		Block D		Block E	
Lot	SF	Lot	SF	Lot	SF	Lot	SF	Lot	SF
1*	377543	31	16016	1*	247097	1*	22691	1	17351
2	16002	32	16016	2	16625	2	16057	2	16369
3	16069	33	16016	3	16045	3	16659	3	16593
4	16000	34	16016	4	16164	4	16816	4	17098
5	16001	35	16016	5	16165	5	16380	5	17101
6	16000	36	16896	6	16420	6	16380	6	17265
7	16000	37	16896	7	17590	7	17280	7	16240
8	16000	38	16896	8	16143	8	17280	8	16048
9	16001	39	16976	9	16074	9	17280	9	16048
10	16403	40	16012	10	16053	10	17280	10	16048
11	16997	41	16009	11	16087	11	17280	11	16500
12	16642	42	16000	12	16007	12	17280	12	17352
13	16030	43	16000	13	16062	13	17280	13	16380
14	16016	44	16000	14	16257	14	17590	14	17590
15	16016	45	16000	15	16047	15	17590	15	17590
16	16016	46	16000	16	16548	16	17280	16	16380
17	16016	47	16000	17*	511	17	17280	17	16380
18	16489	48	16084	18	17280	18	17280	18	16380
19	16092	49	17353	19	17280	19	17280	19	16380
20	16035	50	16037	20	17280	20	17280	20	16380
21	16404	51	16083	21	17280	21	17280	21	16380
22	16302	52	19383	22	17280	22	17280	22	16380
23	16261	53	16064	23	16380	23	16380	23	16380
24	16221	54	16056	24	16380	24	16380	24	16380
25	16264			25	16160	25	16380	25	16380
26	16307			26	16300	26	18006	26	18006
27	16350			27	16300	27	16300	27	21114
28	16125								
29	16482								
30	16016								

JAMES LEE
 DOC. NO. 2017-0000015627

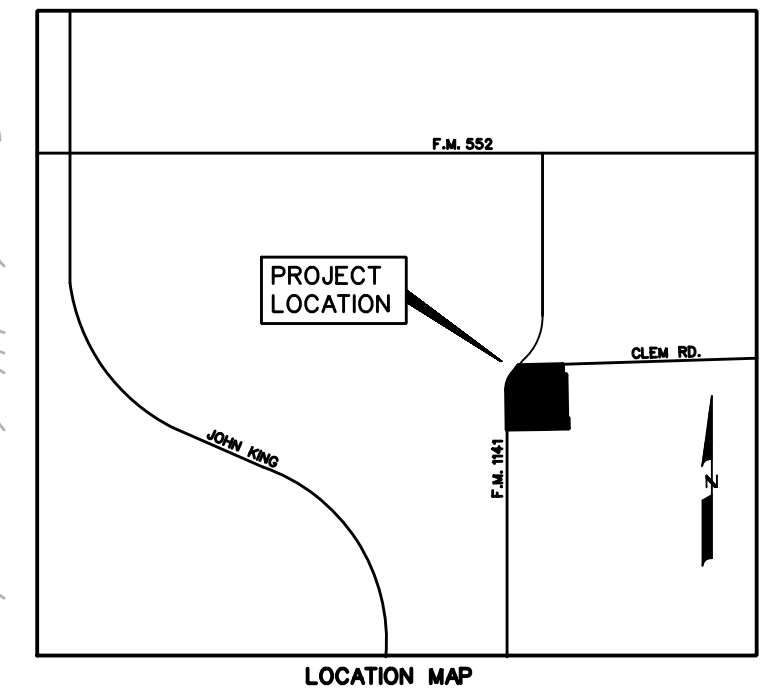
PRELIMINARY PLAT
 OF
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 LOTS 1-54, BLOCK A
 LOTS 1-16, BLOCK B
 LOTS 1-27, BLOCK C
 LOTS 1-12, BLOCK D
 LOTS 1-27, BLOCK E
 TOTAL ACRES 78.831
 TOTAL RESIDENTIAL LOTS 132
 TOTAL OPEN SPACE LOTS 4
 OUT OF THE
 J.M. GLASS SURVEY, ABSTRACT NO. 88
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNERS
 REDDY K. VASUNDHARA &
 ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080
 APPLICANT/OWNER
 FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945
 GORDON C. FOGG
 PO BOX 842
 ROCKWALL, TEXAS 75087
 OCTOBER 2021 SCALE 1" = 100'
 CASE #P2021-026

LINE TABLE

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1.	N 44°01'50" E	42.00'
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MASTER PLAT OF
WINDING CREEK
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LOTS 1-16, BLOCK B
LOTS 1-27, BLOCK C
LOTS 1-12, BLOCK D
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TOTAL ACRES 78.831
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OUT OF THE
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IN THE
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ROCKWALL COUNTY, TEXAS

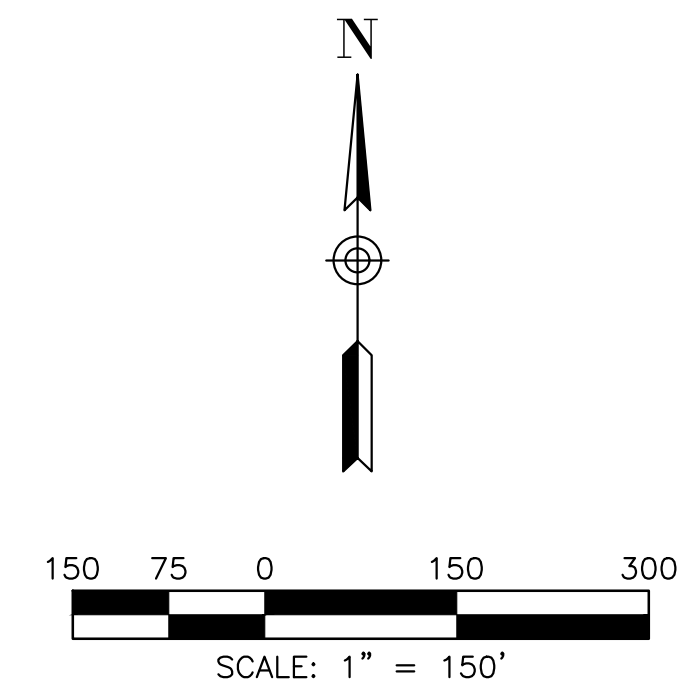
OWNERS
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GORDON C. FOGG
PO BOX 842
ROCKWALL, TEXAS 75087
OCTOBER 2021 SCALE 1" = 100'
CASE #P2021-026

LEGEND	
— 544 —	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF
---	CONCEPTUAL STORM ALIGNMENT

PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN



PROPOSED RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
A1	0.57	10	0.5	9.8	2.8
A2	0.40	10	0.5	9.8	2.0
A3	1.64	10	0.5	9.8	8.0
A4	0.86	10	0.5	9.8	4.2
A5	1.01	10	0.5	9.8	4.9
A6	3.18	10	0.5	9.8	15.6
A7	1.73	10	0.5	9.8	8.5
A8	2.99	10	0.5	9.8	14.6
A9	2.81	10	0.5	9.8	13.8
A10	0.89	10	0.5	9.8	4.4
A11	2.21	10	0.5	9.8	10.8
A12	2.18	10	0.5	9.8	10.7
A13	3.28	10	0.5	9.8	16.1
A14	3.21	10	0.5	9.8	15.7
A15	1.84	10	0.5	9.8	9.0
A16	2.23	10	0.5	9.8	10.9
A17	3.20	10	0.5	9.8	15.7
A18	2.50	10	0.5	9.8	12.3
A19	0.44	10	0.5	9.8	2.1
A20	0.61	10	0.5	9.8	3.0
A21	1.76	10	0.5	9.8	8.6
A22	0.85	10	0.5	9.8	4.1
B1	2.43	10	0.5	9.8	11.9
B2	1.45	10	0.5	9.8	7.1
B3	2.13	10	0.5	9.8	10.4
B4	2.19	10	0.5	9.8	10.7
B5	2.37	10	0.5	9.8	11.6
B6	2.74	10	0.5	9.8	13.4
C1	1.40	10	0.5	9.8	6.8
C2	1.60	10	0.5	9.8	7.8
D1	2.25	10	0.5	9.8	11.0
D2	1.06	10	0.5	9.8	5.2
E1	3.45	10	0.5	9.8	16.9
F1	8.93	10	0.5	9.8	43.8
X1	12.60	20	0.5	8.33	52.5
X2	0.90	10	0.9	9.8	7.9
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X6	0.83	10	0.9	9.8	7.3
X7	0.56	10	0.9	9.8	4.9
X8	4.00	10	0.5	9.8	19.6
X9	2.92	10	0.5	9.8	14.3

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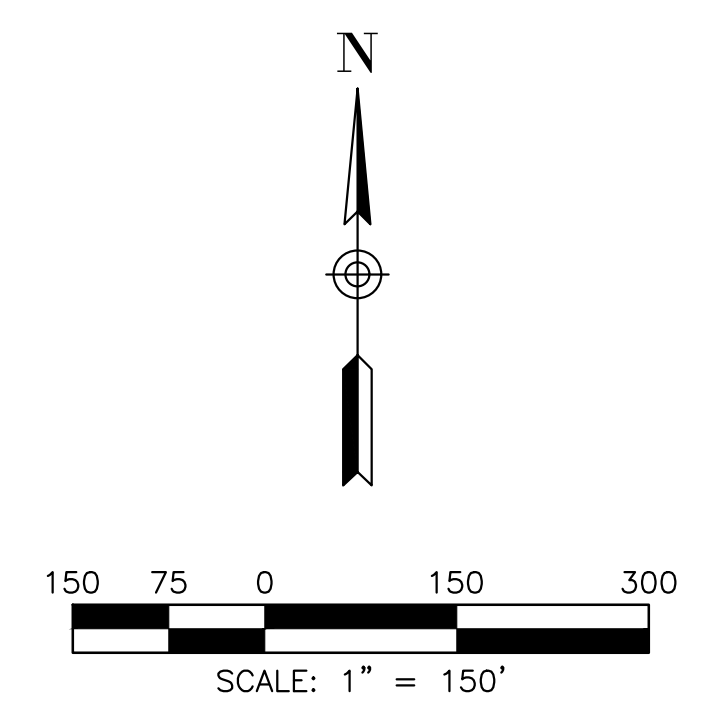
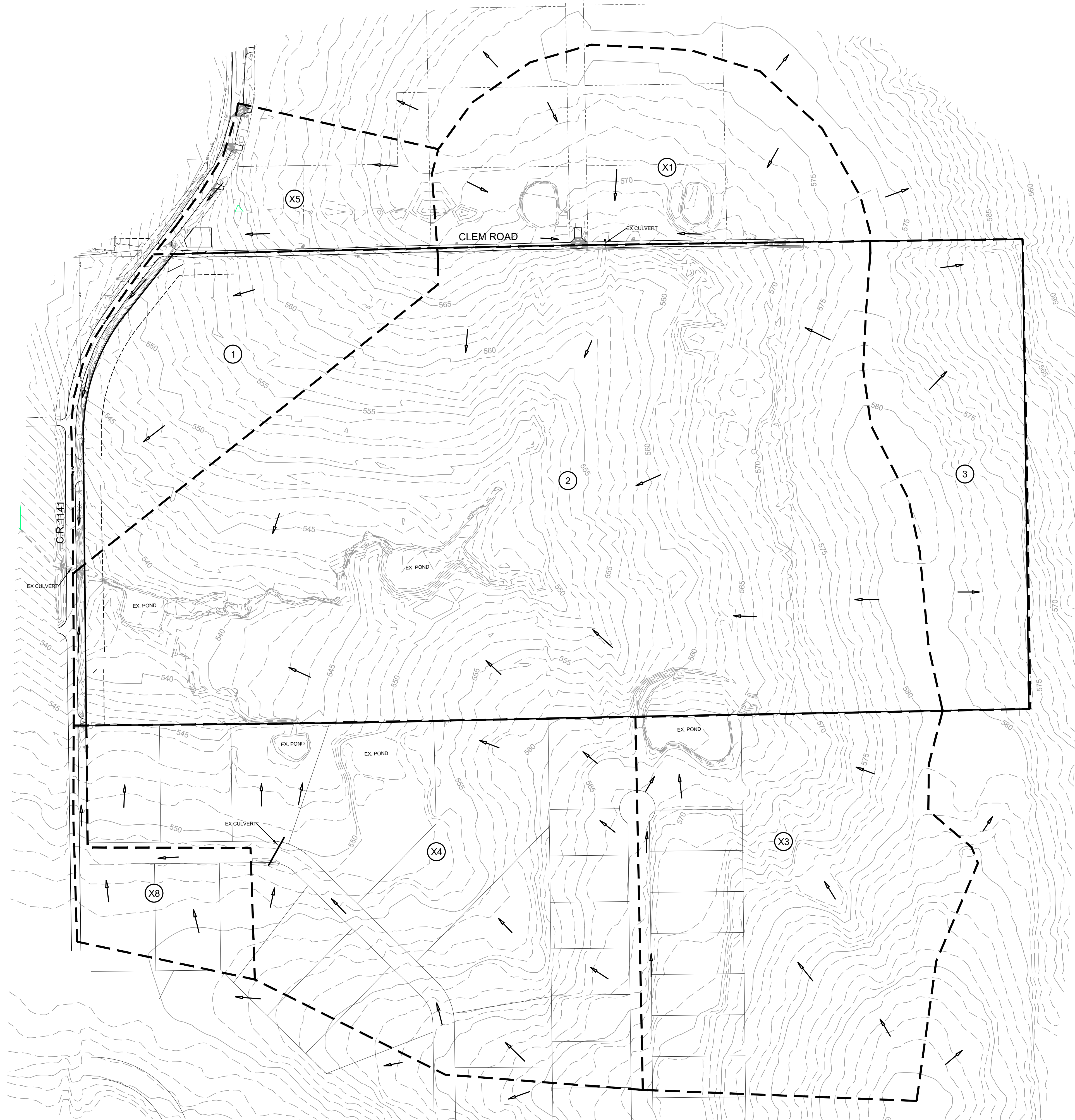
CONCEPTUAL DRAINAGE AREA MAP
WINDING CREEK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**CIVIL ENGINEERING
DESIGN & CONSULTING**
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com


DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		10/15/2021			1 OF 1

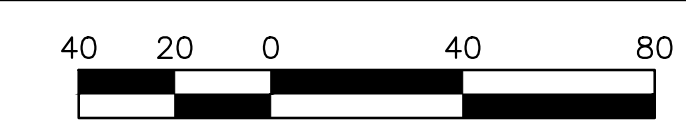


EXISTING RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
1	10.79	20	0.35	8.33	31.5
2	58.25	20	0.35	9.8	199.8
3	10.99	20	0.35	9.8	37.7
X1	12.60	20	0.5	8.33	52.5
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X8	4.00	10	0.5	9.8	19.6

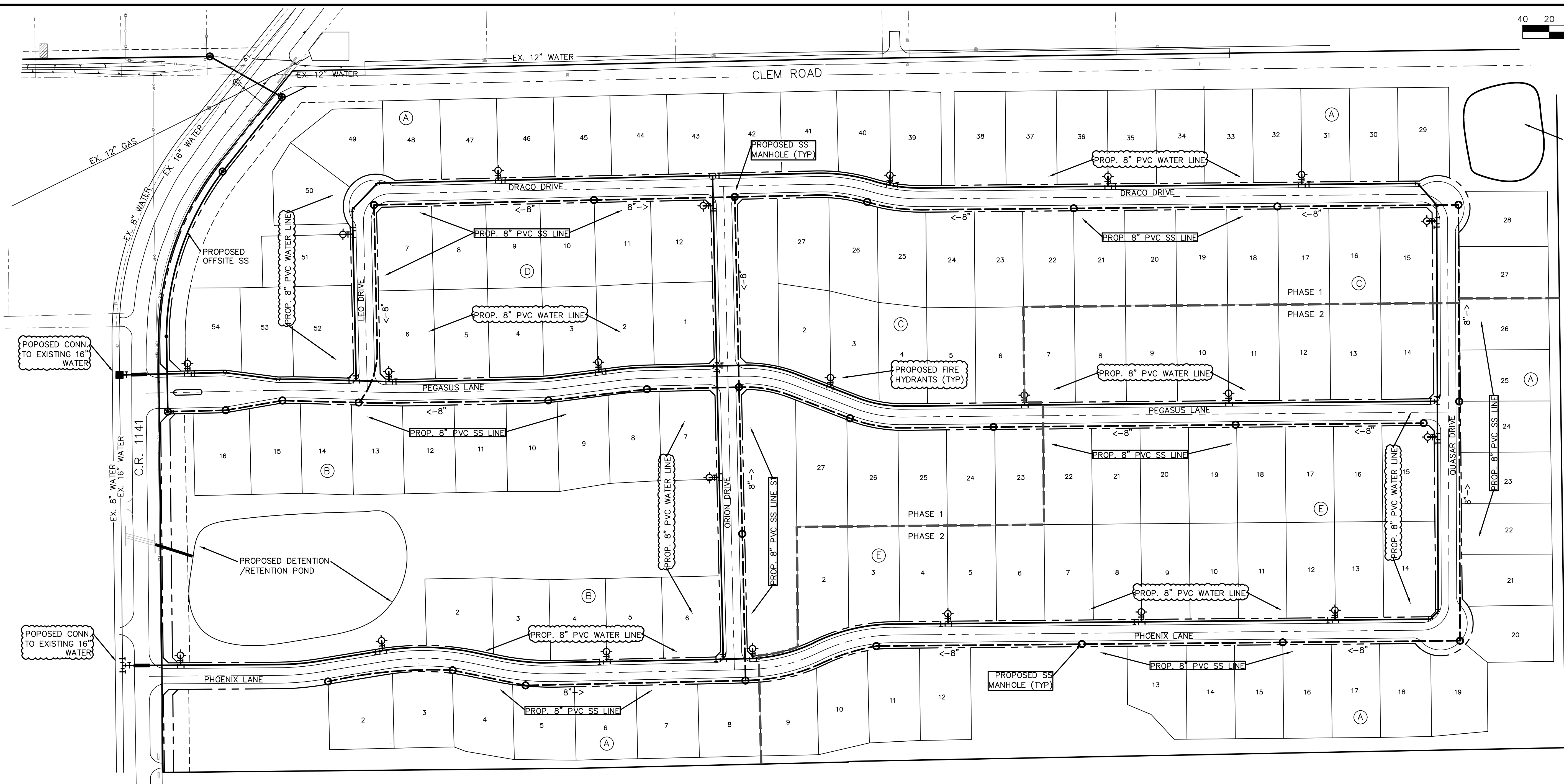
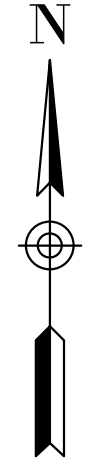
LEGEND	
-544	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF

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EXISTING DRAINAGE AREA MAP				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456)</small> 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		10/15/2021		
				SHEET NO. 1 OF 1



SCALE:
HORIZ: 1"=100'



PROPOSED DETENTION POND

- WATER NOTES:**
1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2016 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 4TH EDITION, DATED OCTOBER 2004. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
 3. ALL WATER PIPE SHALL BE AWWA C900 PVC PIPE, DR-14 PC 305 (BLUE IN COLOR), UNLESS SPECIFIED OTHERWISE IN CITY OF ROCKWALL STANDARDS.
 4. INSTALL BLUE EMS LOCATOR PADS ALONG WATER LINES AT EVERY TWO HUNDRED FIFTY (250') FEET, CHANGES IN DIRECTION, VALVE, CURB STOP AND SERVICE CONNECTION TO THE WATER MAIN AND ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
 5. REFER TO CITY OF ROCKWALL STANDARDS FOR WATER PIPE EMBEDMENT.
 6. MINIMUM COVER FOR WATER PIPE UNDER PAVEMENT IS 4'.
 7. WATER SERVICES SHALL BE SDR-9 (POLYTUBE) HAVING A MINIMUM SIZE OF ONE INCH (1"). METER BOXES SHALL BE SET BETWEEN THE SIDEWALK AND THE BACK OF CURB AS SPECIFIED IN CITY OF ROCKWALL STANDARDS.

- WASTEWATER NOTES:**
1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2016 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 4TH EDITION, DATED OCTOBER 2004. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
 2. ALL WASTEWATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
 2. ALL WASTEWATER PIPE SHALL BE SDR 35 FOR DEPTHS UP TO 10 FEET AND SDR 26 FOR DEPTHS GREATER THAN 10 FEET.
 3. A GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN, AND AT ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
 4. MANHOLES SHALL CONFORM TO CITY OF ROCKWALL STANDARDS.
 5. RAVEN EPOXY COATING, CONSHIELD, OR APPROVED EQUAL, SHALL BE INSTALLED IN ALL MANHOLES.

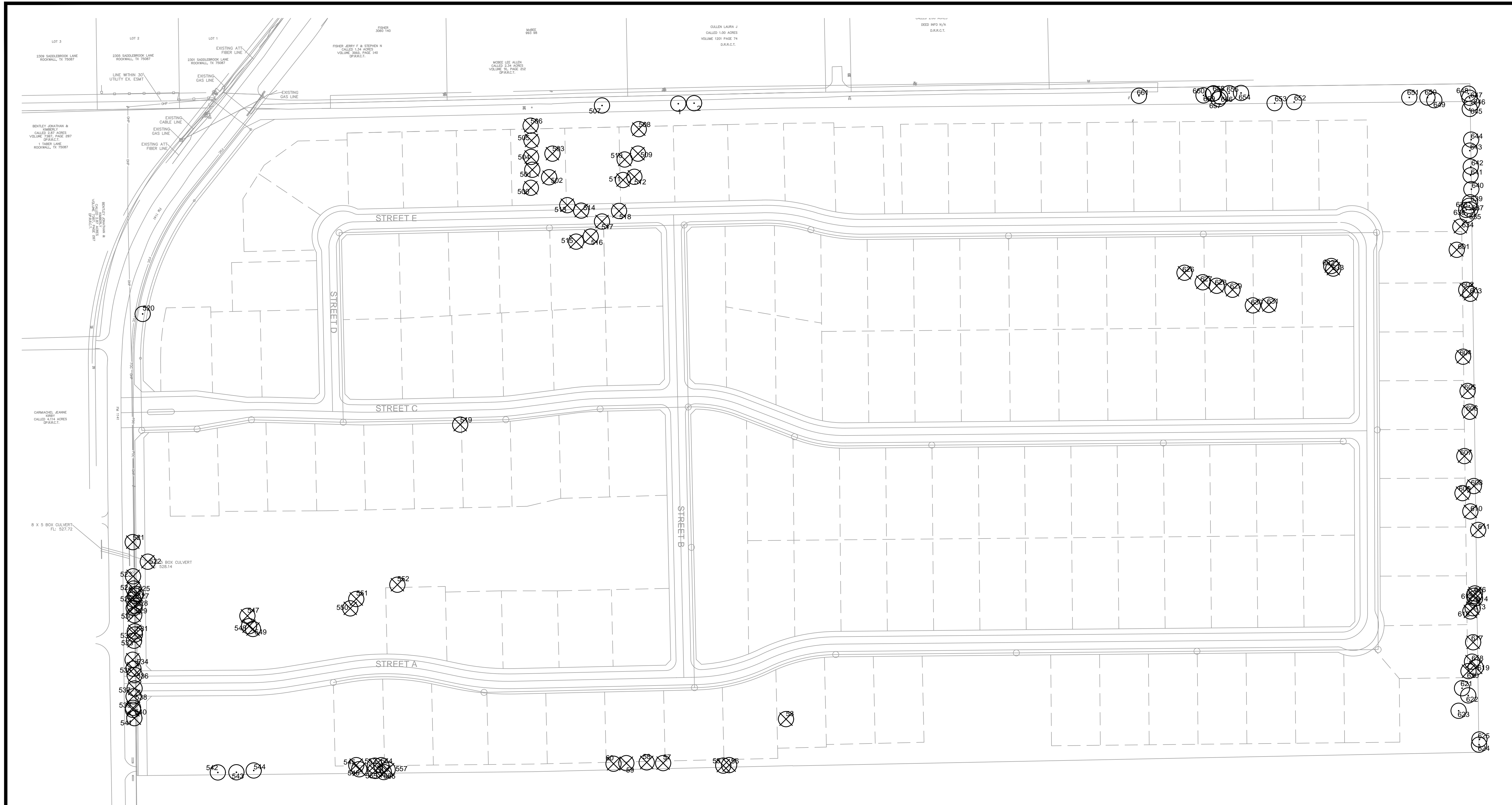
FINAL LOCATIONS OF SANITARY SEWER MANHOLES AND FIRE HYDRANTS WILL BE DETERMINED DURING FINAL DESIGN.

SYMBOL LEGEND	
	PROPOSED 8" WATER LINE
	PROPOSED 8" SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT

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PRELIMINARY SANITARY SEWER PLAN				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		DESIGN & CONSULTING (Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED BCP	CHECKED SDA	DATE 10/15/2021	DWG FILE WC_Preliminary utility	PROJECT # SKO_WC
				SHEET NO.

File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg | Date Plotted: 10/14/2021 3:50 PM | Plotted By: mwilson



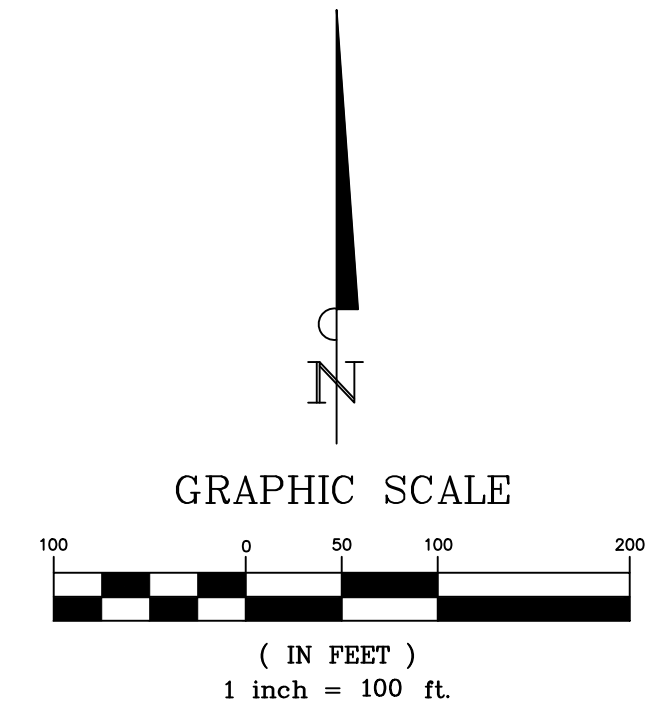
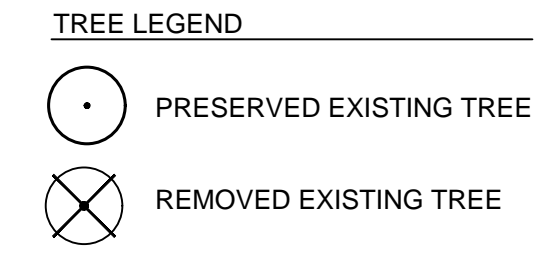
TOTAL MITIGATION REQUIRED	911.3
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	398.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(246.7)
REMAINING MITIGATION REQUIRED	0.0

SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

APPLICANT
 SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

OWNERS
 REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

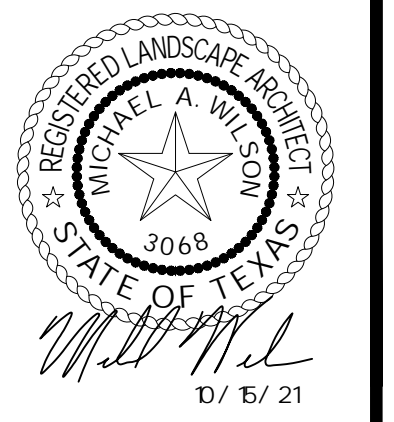
BANNISTER ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.642.2094 | 817.642.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

TREESCAPE PLAN

No.	Date	Revision Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-3.00

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
1	32.0	sugarberry	20	Yes	Damaged	PRESERVED	-	-	-	-	-
2	17.0	sugarberry	18	No	Healthy	PRESERVED	-	-	-	-	-
53	26.6	eastern red cedar	20	Yes	Healthy	REMOVED	53.2	-	-	-	-
55	26.5	eastern red cedar	20	Yes	Healthy	REMOVED	53.0	-	-	-	-
56	20.4	eastern red cedar	20	Yes	Healthy	REMOVED	-	-	10.2	-	-
57	11.9	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-
58	11.6	eastern red cedar	11	No	Healthy	REMOVED	-	-	5.8	-	-
59	11.0	eastern red cedar	10	No	Healthy	REMOVED	-	-	5.5	-	-
60	12.2	eastern red cedar	12	No	Healthy	REMOVED	-	-	6.1	-	-
500	9.4	Scotch pine	7	No	Healthy	REMOVED	-	9.4	-	-	-
501	6.9	Scotch pine	5	No	Healthy	REMOVED	-	6.9	-	-	-
502	16.0	silver maple	16	No	Healthy	REMOVED	-	16.0	-	-	-
503	15.1	Scotch pine	13	No	Healthy	REMOVED	-	15.1	-	-	-
504	11.2	Scotch pine	6	No	Healthy	REMOVED	-	11.2	-	-	-
505	6.0	Scotch pine	4	No	Healthy	REMOVED	-	6.0	-	-	-
506	8.9	Scotch pine	7	No	Healthy	REMOVED	-	8.9	-	-	-
507	11.6	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-
508	15.1	Scotch pine	11	No	Healthy	REMOVED	-	15.1	-	-	-
509	11.9	Scotch pine	11	No	Healthy	REMOVED	-	11.9	-	-	-
510	27.1	Bradford pear	21	Yes	Healthy	REMOVED	54.2	-	-	-	-
511	6.0	bald cypress	6	No	Healthy	REMOVED	-	6.0	-	-	-
512	10.5	Scotch pine	7	No	Healthy	REMOVED	-	10.5	-	-	-
513	17.6	live oak	18	No	Healthy	REMOVED	-	17.6	-	-	-
514	20.3	live oak	22	No	Healthy	REMOVED	-	20.3	-	-	-
515	6.6	Shumard's oak	7	No	Damaged	REMOVED	-	-	-	-	-
516	15.6	live oak	14	Yes	Damaged	REMOVED	-	-	-	-	-
517	30.2	Bradford pear	25	Yes	Healthy	REMOVED	60.4	-	-	-	-
518	14.7	Shumard's oak	17	No	Healthy	REMOVED	-	14.7	-	-	-
519	11.8	cottonwood	7	No	Damaged	REMOVED	-	-	-	-	-
520	15.8	eastern red cedar	10	No	Healthy	PRESERVED	-	-	-	-	-
521	13.1	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-
522	13.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
523	14.3	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-
524	13.6	sugarberry	16	No	Healthy	REMOVED	-	-	6.8	-	-
525	11.8	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-
526	11.2	sugarberry	11	No	Healthy	REMOVED	-	-	5.6	-	-
527	12.9	sugarberry	18	No	Healthy	REMOVED	-	-	6.4	-	-
528	12.5	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-
529	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-
530	11.2	sugarberry	13	No	Healthy	REMOVED	-	-	5.6	-	-
531	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-
532	17.2	sugarberry	20	No	Healthy	REMOVED	-	-	8.6	-	-
533	21.7	sugarberry	27	No	Damaged	REMOVED	-	-	-	-	-
534	11.0	sugarberry	16	No	Healthy	REMOVED	-	-	5.5	-	-
535	22.3	sugarberry	24	No	Damaged	REMOVED	-	-	-	-	-
536	15.1	sugarberry	16	Yes	Damaged	REMOVED	-	-	-	-	-
537	13.5	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-
538	11.7	sugarberry	13	No	Healthy	REMOVED	-	-	5.8	-	-
539	11.0	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-
540	11.2	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-
541	16.8	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-
542	22.8	sugarberry	23	No	Healthy	PRESERVED	-	-	-	-	-
543	11.0	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-
544	11.1	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-
545	11.5	eastern red cedar	15	No	Damaged	REMOVED	-	-	-	-	-
546	12.3	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-
547	24.2	black willow	26	Yes	Healthy	REMOVED	-	-	-	N/A	-
548	13.5	black willow	10	No	Healthy	REMOVED	-	-	-	N/A	-
549	5.7	Hercules-club	6	Yes	Healthy	REMOVED	-	-	-	N/A	-
550	6.5	gum bumelia	6	Yes	Healthy	REMOVED	-	6.5	-	-	-
551	8.0	gum bumelia	6	Yes	Healthy	REMOVED	-	8.0	-	-	-
552	4.2	common persimmon	5	No	Healthy	REMOVED	-	4.2	-	-	-
553	12.4	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-
554	11.4	eastern red cedar	14	No	Healthy	REMOVED	-	-	5.7	-	-
555	11.0	sugarberry	10	No	Damaged	REMOVED	-	-	-	-	-
556	11.1	sugarberry	11	No	Healthy	REMOVED	-	-	5.6	-	-
557	15.7	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-
220.8							188.3		101.7		
							Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
601	11.5	eastern red cedar	14	No	Healthy	REMOVED	-	-	5.8	-	-
602	26.5	sugarberry	27	Yes	Healthy	REMOVED	53.0	-	-	-	-
603	13.4	sugarberry	14	No	Healthy	REMOVED	-	-	6.7	-	-
604	14.3	sugarberry	15	Yes	Healthy	REMOVED	-	-	7.2	-	-
605	11.3	eastern red cedar	1	No	Healthy	REMOVED	-	-	5.7	-	-
606	28.9	sugarberry	30	No	Healthy	REMOVED	57.8	-	-	-	-
607	13.0	sugarberry	14	No	Healthy	REMOVED	-	-	6.5	-	-
608	23.7	sugarberry	24	No	Healthy	REMOVED	-	-	11.9	-	-
609	14.6	eastern red cedar	15	No	Healthy	REMOVED	-	-	7.3	-	-
610	12.3	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-
611	33.3	sugarberry	30	Yes	Healthy	REMOVED	66.6	-	-	-	-
612	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-
613	11.6	sugarberry	12	No	Healthy	REMOVED	-	-	5.8	-	-
614	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-
615	14.9	sugarberry	15	No	Healthy	REMOVED	-	-	7.4	-	-
616	12.6	gum bumelia	13	No	Healthy	REMOVED	-	12.6	-	-	-
617	13.8	sugarberry	14	No	Healthy	REMOVED	-	-	6.9	-	-
618	18.8	Osage-orange	20	Yes	Healthy	REMOVED	-	-	-	N/A	-
619	30.3	Osage-orange	30	Yes	Healthy	REMOVED	-	-	-	N/A	-
620	6.0	American elm	6	No	Healthy	REMOVED	-	6.0	-	-	-
621	13.6	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-
622	14.6	eastern red cedar	15	No	Healthy	PRESERVED	-	-	-	-	-
623	11.7	eastern red cedar	13	No	Healthy	PRESERVED	-	-	-	-	-
624	19.4	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-
625	37.5	sugarberry	30	No	Healthy	PRESERVED	-	-	-	-	-
626	7.2	Bradford pear	8	No	Healthy	REMOVED	-	7.2	-	-	-
627	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-
628	6.2	Bradford pear	6	No	Healthy	REMOVED	-	6.2	-	-	-
629	29.8	sugarberry	30	Yes	Healthy	REMOVED	59.6	-	-	-	-
630	13.1	eastern red cedar	14	No	Healthy	REMOVED	-	-	6.6	-	-
631	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-
632	11.0	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.5	-	-
633	13.3	eastern red cedar	14	Yes	Healthy	REMOVED	-	-	6.7	-	-
634	23.7	sugarberry	24	Yes	Healthy	REMOVED	-	-	11.9	-	-
635	14.4	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
636	11.8	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-
637	13.5	sugarberry	14	No	Damaged	PRESERVED	-	-	-	-	-
638	13.6	sugarberry	14	No	Healthy	PRESERVED	-	-	-	-	-
639	14.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
640	11.1	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-
641	19.3	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-
642	15.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
643	16.6	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-
644	16.9	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-
645	16.7	sugarberry	17	Yes	Healthy	PRESERVED	-	-	-	-	-
646	12.4	sugarberry	13	No	Healthy	PRESERVED	-	-	-	-	-
647	12.4	sugarberry	13	No	Healthy	PRESERVED	-	-	-	-	-
648	14.6	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
649	14.8	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-
650	27.1	eastern red cedar	28	No	Healthy	PRESERVED	-	-	-	-	-
651	5.3	Hercules-club	6	No	Healthy	PRESERVED	-	-	-	-	-
652	25.7	sugarberry	26	No	Healthy	PRESERVED	-	-	-	-	-
653	27.2	sugarberry	28	No	Healthy	PRESERVED	-	-	-	-	-
654	11.4	Osage-orange	11	No	Healthy	PRESERVED	-	-	-	-	-
655	27.6	Osage-orange	28	Yes	Healthy	PRESERVED	-	-	-	-	-
656	15.7	Osage-orange	17	Yes	Healthy	PRESERVED	-	-	-	-	-
657	11.8	eastern red cedar	12	No	Healthy	PRESERVED	-	-	-	-	-
658	18.4	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-
659	17.8	Osage-orange	18	No	Healthy	PRESERVED	-	-	-	-	-
660	11.8	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-
661	38.9	sugarberry	42	Yes	Healthy	PRESERVED	-	-	-	-	-
237.0							32.0		131.5		
							Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

457.8	220.3	233.2	-	-	911.3
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	TOTAL

TOTAL MITIGATION REQUIRED	911.3
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(246.7)
REMAINING MITIGATION REQUIRED	0.0

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
LIVE OAK	PRIMARY
BUR OAK	PRIMARY
BRADFORD PEAR	PRIMARY
RED MULBERRY	PRIMARY
BALD CYPRESS	PRIMARY
CRAPE MYRTLE	PRIMARY
YAUPOIN	PRIMARY
SCOTCH PINE	PRIMARY
SILVER MAPLE	PRIMARY
SHUMARD'S OAK	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN RED CEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
HERCULES-CLUB	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 30, 2021
APPLICANT: Humberto Johnson, Jr.; *Skorburg Co.*
CASE NUMBER: P2021-051; *Preliminary Plat for the Winding Creek Subdivision*

SUMMARY

Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of Gordon C. Fogg for the approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat the Winding Creek Subdivision. This subdivision is comprised of 132 single-family residential lots on a 78.831-acre tract of land. The proposed development will incorporate 16.197-acres (or 20.54%) of open space and will consist of lots constructed utilizing the Single-Family 16 (SF-16) District density and dimensional standards. Each lot will consist of a minimum size of 16,000 SF (*i.e. a minimum of 90' x 100'*). In addition to the Preliminary Plat, the applicant has also submitted preliminary drainage and utility plans showing how the development can be adequately served. With this submittal, the applicant also submitted a preliminary treescape plan; however, these plans will not be finalized until the submittal of the PD Site Plan.
- On January 18, 2011, the City Council annexed the subject property by adopting *Ordinance No. 11-03 [Case No. A2010-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 5, 2021, the City Council approved a request to rezone [*i.e. Case No. Z2021-005*] the subject property from an Agricultural (AG) District to Planned Development District 91 (PD-91) [*i.e. Ordinance No. 21-17*] for Single-Family 16 (SF-16) District land uses. On June 21, 2021, the City Council approved a preliminary plat [*Case No. P2021-026*] for a 38.012-acre portion of the subject property. On August 2, 2021, the City Council approved an amendment to Planned Development District 91 (PD-91) [*Case No. Z2021-027; Ordinance No. 21-36*] increasing the area of the Planned Development District to 58.842-acres. This ordinance also increased the overall lot count from 56 to 98 lots. On October 18, 2021, the City Council approved a request to again amend Planned Development District 91 (PD-91) [*Case No. Z2021-036; Ordinance No. 21-49*] to incorporate an additional 20.00-acres into the Planned Development District and increase the lot count to 132 lots.
- On November 2, 2021, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$76,164.00 (*i.e. \$577.00 x 132 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$80,388.00 (*i.e. \$609.00 x 132 Lots*), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Preliminary Plat* for the *Winding Creek Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22071-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **237 clem rd, Rockwall, Tx**

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION **SE corner of Clem Rd and FM 1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD 21-17**

CURRENT USE

Farm

PROPOSED ZONING **PD 21-17**

PROPOSED USE

Single Family

ACREAGE **Approx 58.8363**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **132**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Falcon Place SF, LTD**

APPLICANT **Skorburg Company**

CONTACT PERSON **John Arnold**

CONTACT PERSON **Humberto Johnson Jr, PE**

ADDRESS **8214 westchester Dr STE 900**

ADDRESS **8214 westchester Dr STE 900**

CITY, STATE & ZIP **Dallas, Tx 75225**

CITY, STATE & ZIP **Dallas, Tx 75225**

PHONE **214-522-4945**

PHONE **682-225-5834**

E-MAIL **jarnold@skorburgcompany.com**

E-MAIL **jrjohnson@skorburgcompany.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

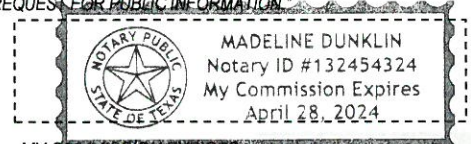
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF October, 2021

OWNER'S SIGNATURE

[Signature]

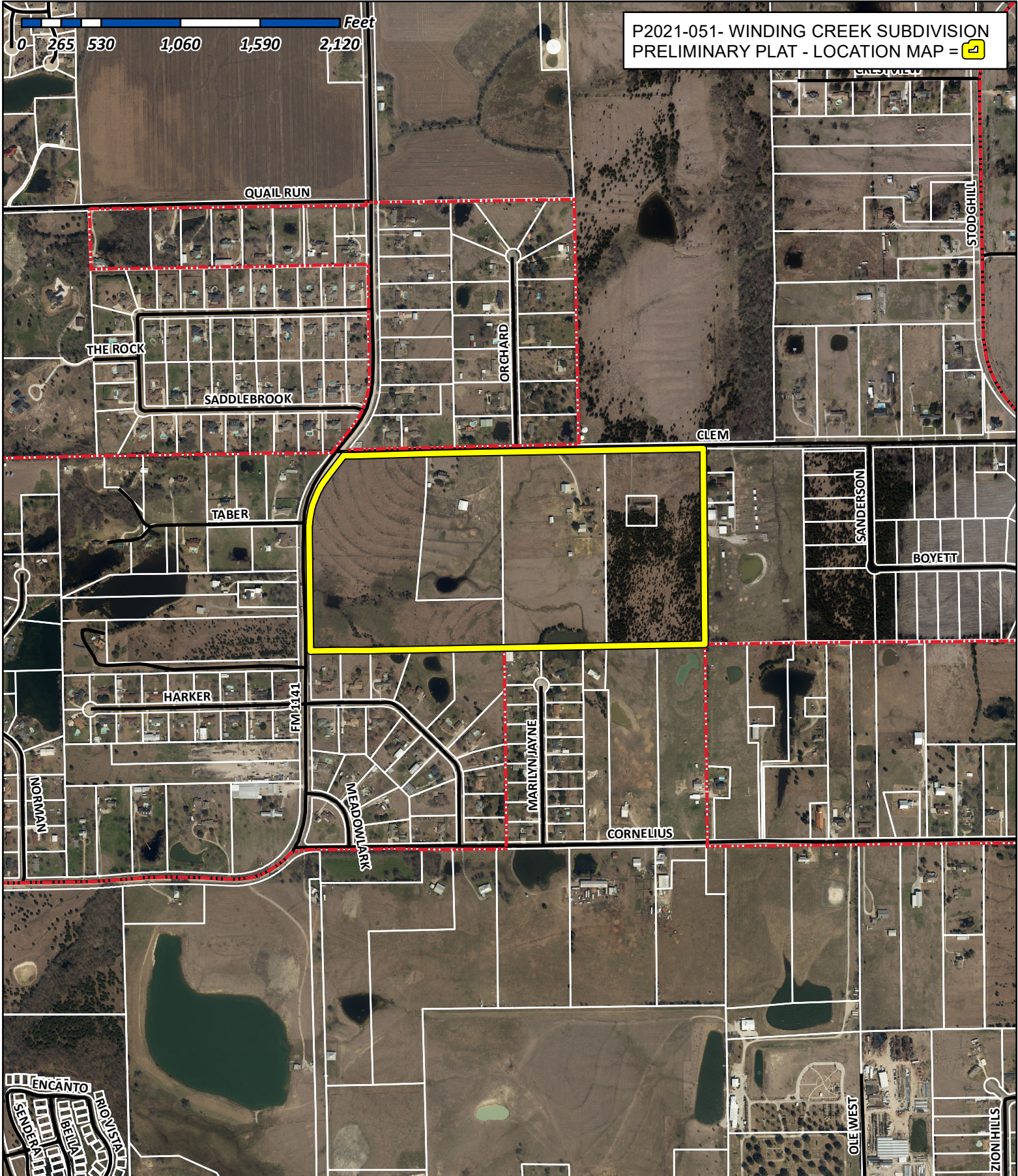
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madeline Dunklin



MY COMMISSION EXPIRES

4/28/24



P2021-051- WINDING CREEK SUBDIVISION
 PRELIMINARY PLAT - LOCATION MAP = 1



City of Rockwall

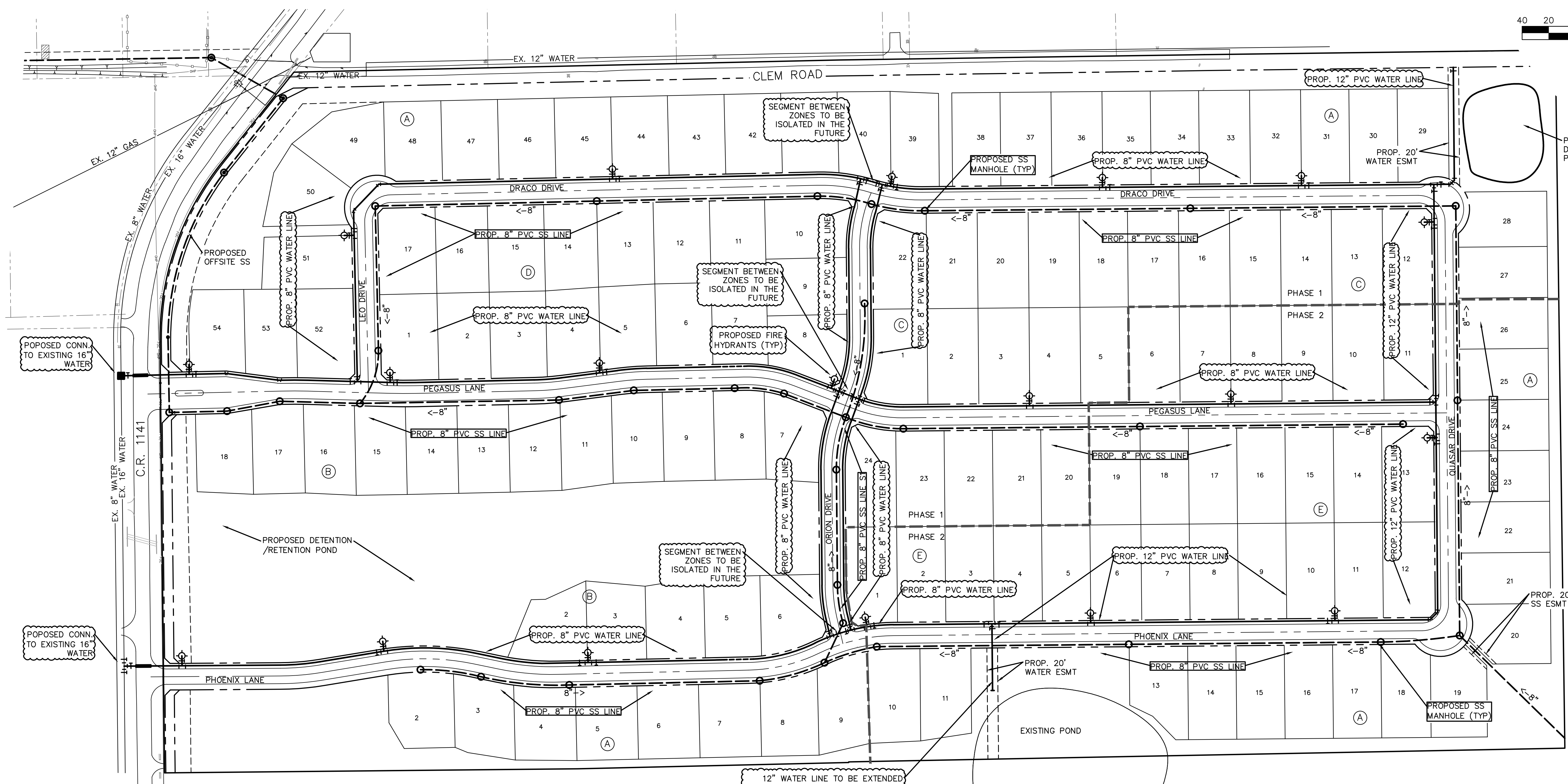
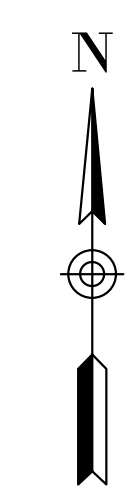
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SCALE:
HORIZ: 1"=100'



WATER NOTES:

1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2019 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 5TH EDITION, DATED NOVEMBER 2017. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
3. ALL WATER PIPE SHALL BE AWWA C900 PVC PIPE, DR-14 PC 305 (BLUE IN COLOR), UNLESS SPECIFIED OTHERWISE IN CITY OF ROCKWALL STANDARDS.
4. INSTALL BLUE EMS LOCATOR PADS ALONG WATER LINES AT EVERY TWO HUNDRED FIFTY (250') FEET, CHANGES IN DIRECTION, VALVE, CURB STOP AND SERVICE CONNECTION TO THE WATER MAIN AND ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
5. REFER TO CITY OF ROCKWALL STANDARDS FOR WATER PIPE EMBEDMENT.
6. MINIMUM COVER FOR WATER PIPE UNDER PAVEMENT IS 4'.
7. WATER SERVICES SHALL BE SDR-9 (POLYTUBE) HAVING A MINIMUM SIZE OF ONE INCH (1"). METER BOXES SHALL BE SET BETWEEN THE SIDEWALK AND THE BACK OF CURB AS SPECIFIED I CITY OF ROCKWALL STANDARDS.

WASTEWATER NOTES:

1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2019 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 5TH EDITION, DATED NOVEMBER 2017. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WASTEWATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
3. A GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN, AND AT ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
4. MANHOLES SHALL CONFORM TO CITY OF ROCKWALL STANDARDS.
5. RAVEN EPOXY COATING, CONSHIELD, OR APPROVED EQUAL, SHALL BE INSTALLED IN ALL MANHOLES.

FINAL LOCATIONS OF SANITARY SEWER MANHOLES AND FIRE HYDRANTS WILL BE DETERMINED DURING FINAL DESIGN.

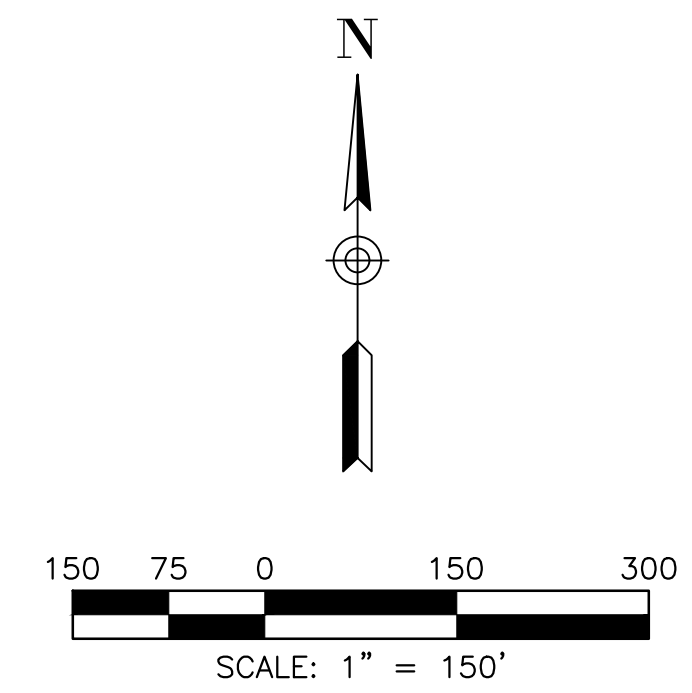
SYMBOL LEGEND	
	PROPOSED 8" WATER LINE
	PROPOSED 8" SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT

PRELIMINARY
THIS IS A
PRELIMINARY
DOCUMENT, FOR
REVIEW ONLY.

PRELIMINARY UTILITY PLAN					
WINDING CREEK					
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS					
		CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillip@macatee-engineering.com</small>			
DESIGNED BCP	CHECKED SDA	DATE 11/18/2021	DWG FILE WC_Preliminary utility	PROJECT # SKO_WC	SHEET NO.

LEGEND	
— 544 —	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF
---	CONCEPTUAL STORM ALIGNMENT

PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN



PROPOSED RUNOFF CALCULATIONS

AREA	ACRES	Tc (min)	C	I100	Q100
A1	0.24	10	0.5	9.8	1.2
A2	1.19	10	0.5	9.8	5.8
A3	2.03	10	0.5	9.8	9.9
A4	2.04	10	0.5	9.8	10.0
A5	1.36	10	0.5	9.8	6.7
A6	1.92	10	0.5	9.8	9.4
A7	1.02	10	0.5	9.8	5.0
A8	2.99	10	0.5	9.8	14.6
A9	2.81	10	0.5	9.8	13.8
A10	0.89	10	0.5	9.8	4.4
A11	1.63	10	0.5	9.8	8.0
A12	3.22	10	0.5	9.8	15.8
A13	3.28	10	0.5	9.8	16.1
A14	3.21	10	0.5	9.8	15.7
A15	3.20	10	0.5	9.8	15.7
A16	2.23	10	0.5	9.8	10.9
A17	0.86	10	0.5	9.8	4.2
A18	0.44	10	0.5	9.8	2.1
B1	2.43	10	0.5	9.8	11.9
B2	1.45	10	0.5	9.8	7.1
B3	2.76	10	0.5	9.8	13.5
B4	2.95	10	0.5	9.8	14.5
B5	3.78	10	0.5	9.8	18.5
B6	4.43	10	0.5	9.8	21.7
C1	1.51	10	0.5	9.8	7.4
C2	1.73	10	0.5	9.8	8.5
D1	2.25	10	0.5	9.8	11.0
D2	1.06	10	0.5	9.8	5.2
E1	3.28	10	0.5	9.8	16.1
F1	10.52	10	0.5	9.8	51.6
G1	1.72	10	0.5	9.8	8.4
X1	12.60	20	0.5	8.33	52.5
X2	0.90	10	0.9	9.8	7.9
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X6	0.83	10	0.9	9.8	7.3
X7	0.56	10	0.9	9.8	4.9
X8	4.00	10	0.5	9.8	19.6
X9	2.23	10	0.5	9.8	10.9
X10	2.92	10	0.5	9.8	14.3

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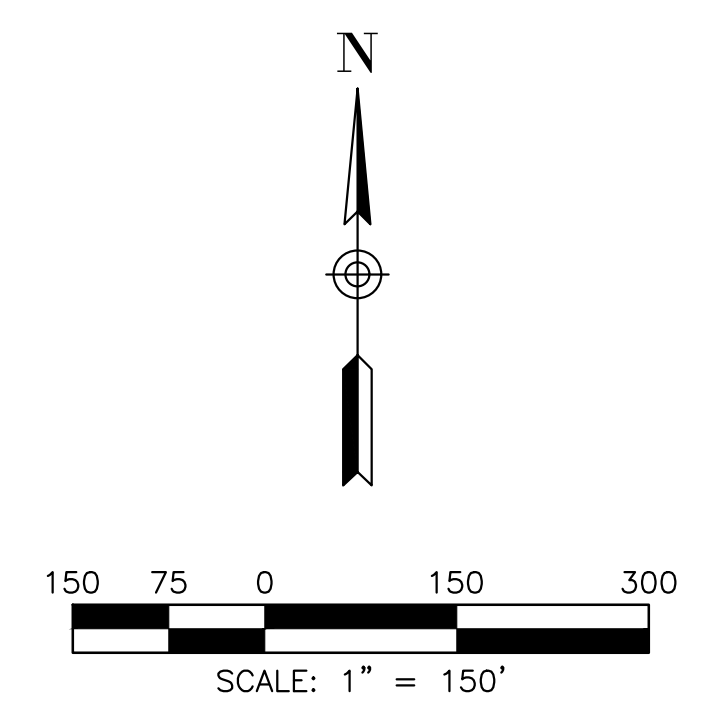
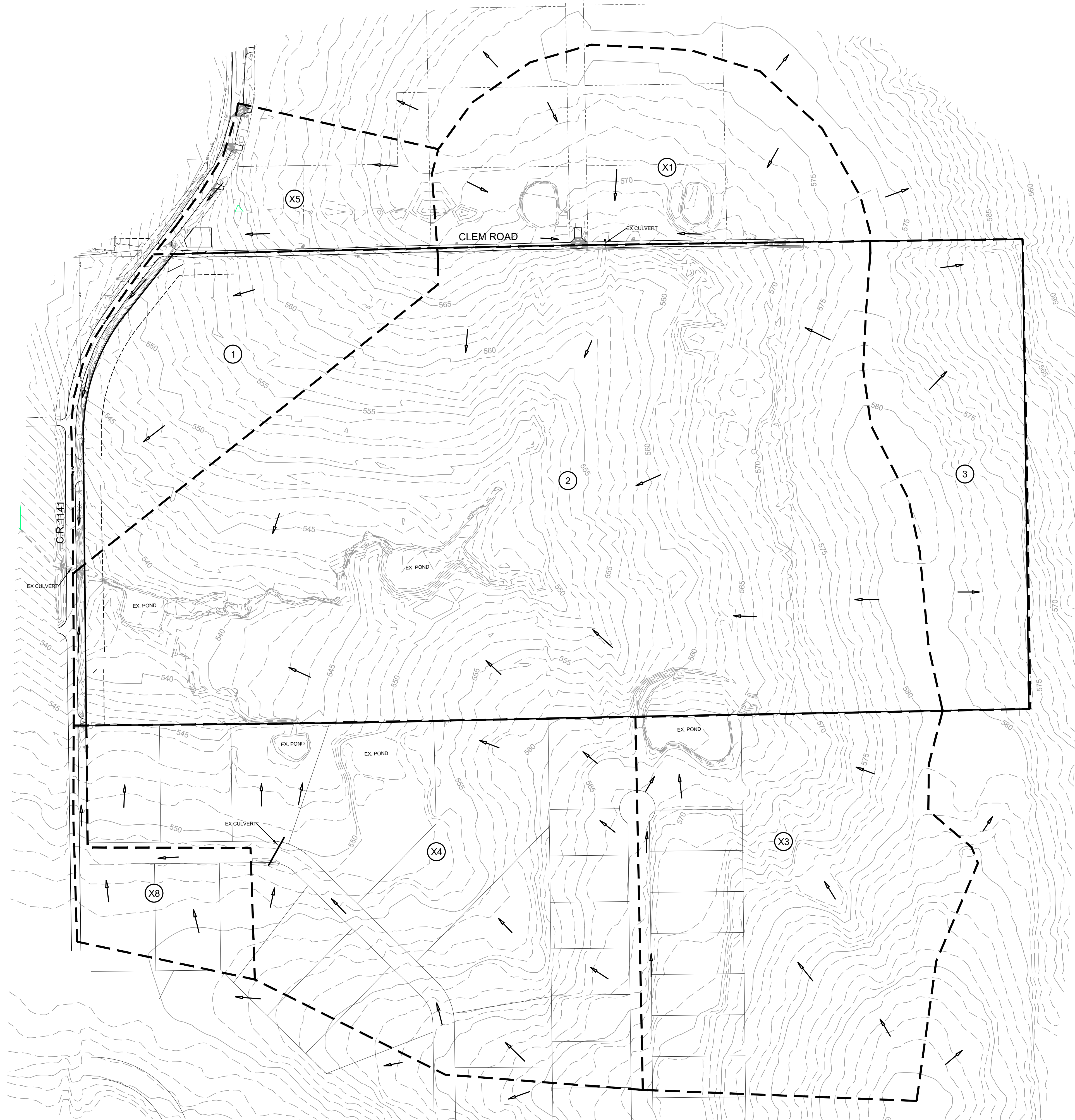
CONCEPTUAL DRAINAGE AREA MAP
WINDING CREEK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**CIVIL ENGINEERING
DESIGN & CONSULTING**
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com


DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		11/18/2021			1 OF 1



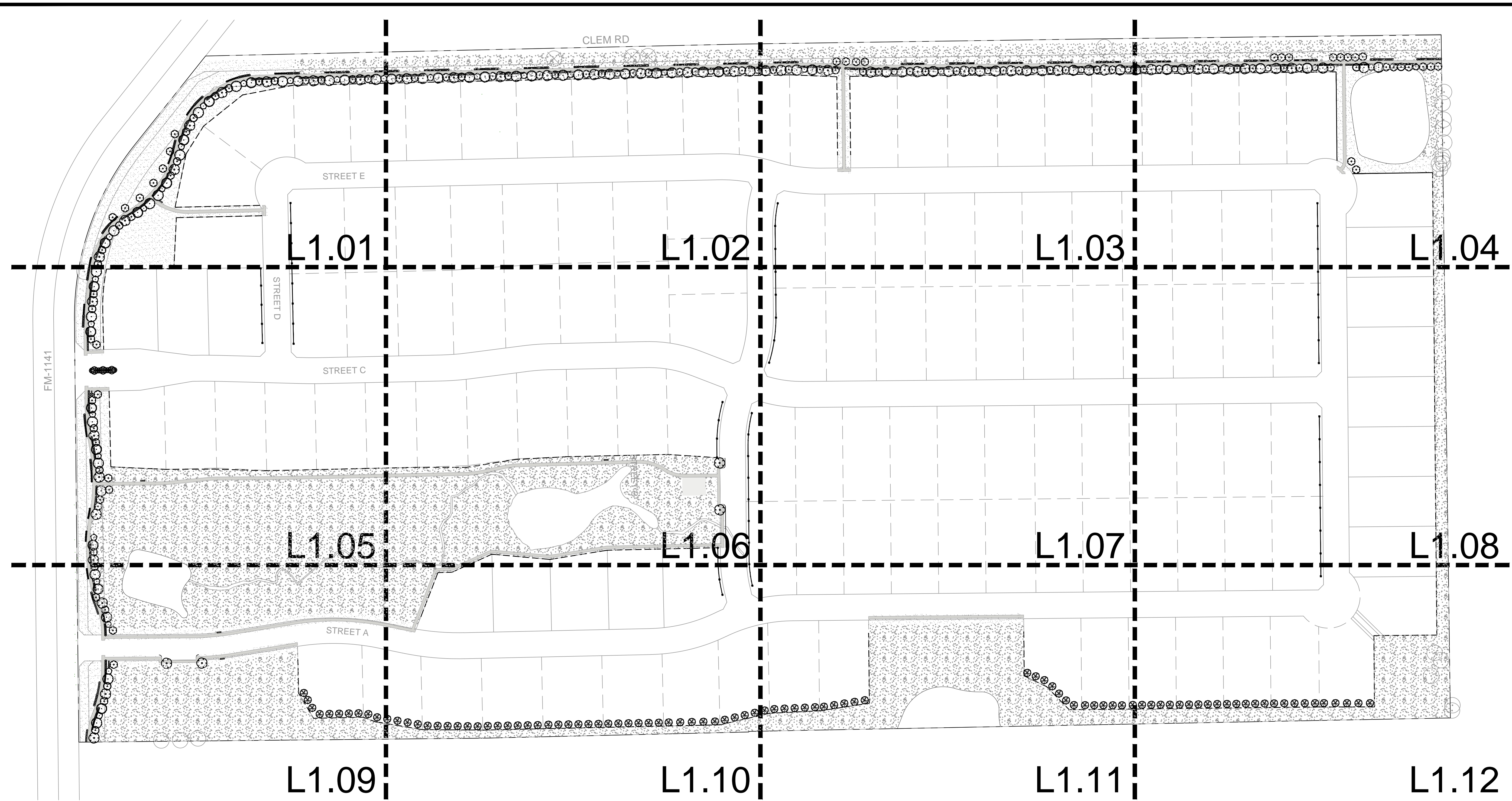
EXISTING RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
1	10.79	20	0.35	8.33	31.5
2	58.25	20	0.35	9.8	199.8
3	10.99	20	0.35	9.8	37.7
X1	12.60	20	0.5	8.33	52.5
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X8	4.00	10	0.5	9.8	19.6

LEGEND	
-544	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF

PRELIMINARY
THIS IS A
PRELIMINARY
DOCUMENT, FOR
REVIEW ONLY.

EXISTING DRAINAGE AREA MAP				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
		CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456)</small> 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com		
DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		10/15/2021		
				SHEET NO. 1 OF 1

File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\LS- 2.0 Landscape Plan.dwg || Date Plotted: 11/18/2021 9:12 AM || Plotted By: mwilson



PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	SHRUBS	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR		HESPERALOE PARVIFLORA / RED YUCCA
	QUERCUS MACROCARPA / BURR OAK		LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS RANGER
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK		ROSMARINUS OFFICINALIS / ROSEMARY
	ULMUS CRASSIFOLIA / CEDAR ELM		YUCCA RECURVIFOLIA / SOFT LEAF YUCCA
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	GROUND COVERS	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS / DESERT WILLOW		CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS (SOD)
	ILEX VOMITORIA / YAUPON HOLLY		CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS (SEED)
	SOPHORA AFFINIS / EVE'S NECKLACE		

PD CALCULATIONS		
	REQUIRED	PROVIDED
FM-1141		
3 CANOPY TREES AND 4 ACCENT TREES PER 100 LINEAR FEET (1,252')	38 CANOPY TREES AND 51 ACCENT TREES	38 CANOPY TREES AND 51 ACCENT TREES
CLEM ROAD		
3 CANOPY TREES AND 4 ACCENT TREES PER 100 LINEAR FEET (2,392')	72 CANOPY TREES AND 96 ACCENT TREES	72 CANOPY TREES AND 96 ACCENT TREES
SOUTH PROPERTY LINE		
EASTERN RED CEDAR PLANTED 20' O.C. (1,913')	99 TREES	99 TREES

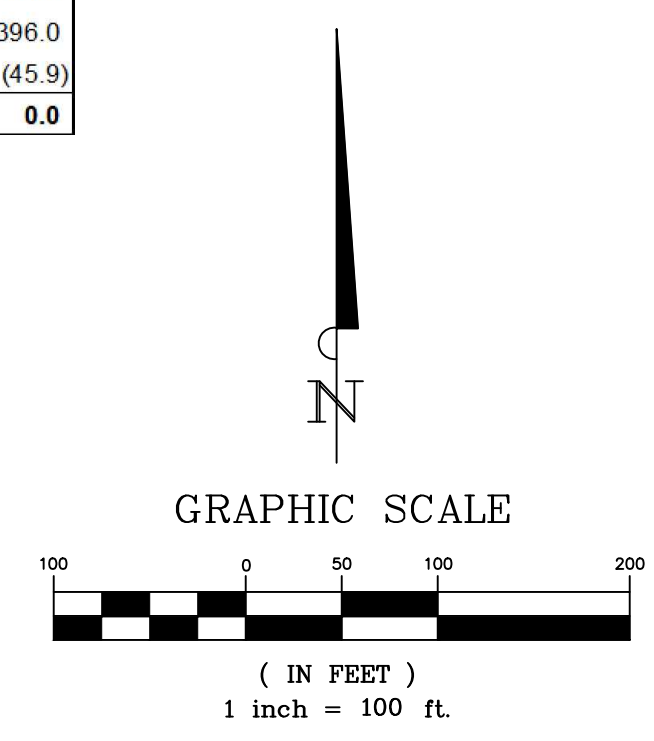
TOTAL MITIGATION REQUIRED	1,112.1
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(45.9)
REMAINING MITIGATION REQUIRED	0.0

APPLICANT
 SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

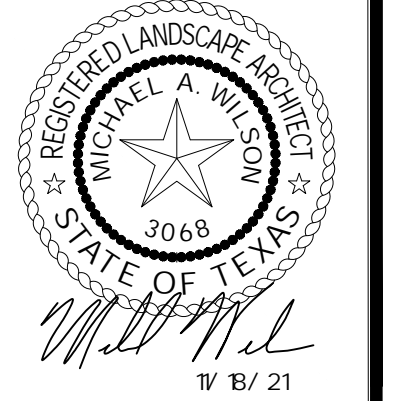
OWNERS
 REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087

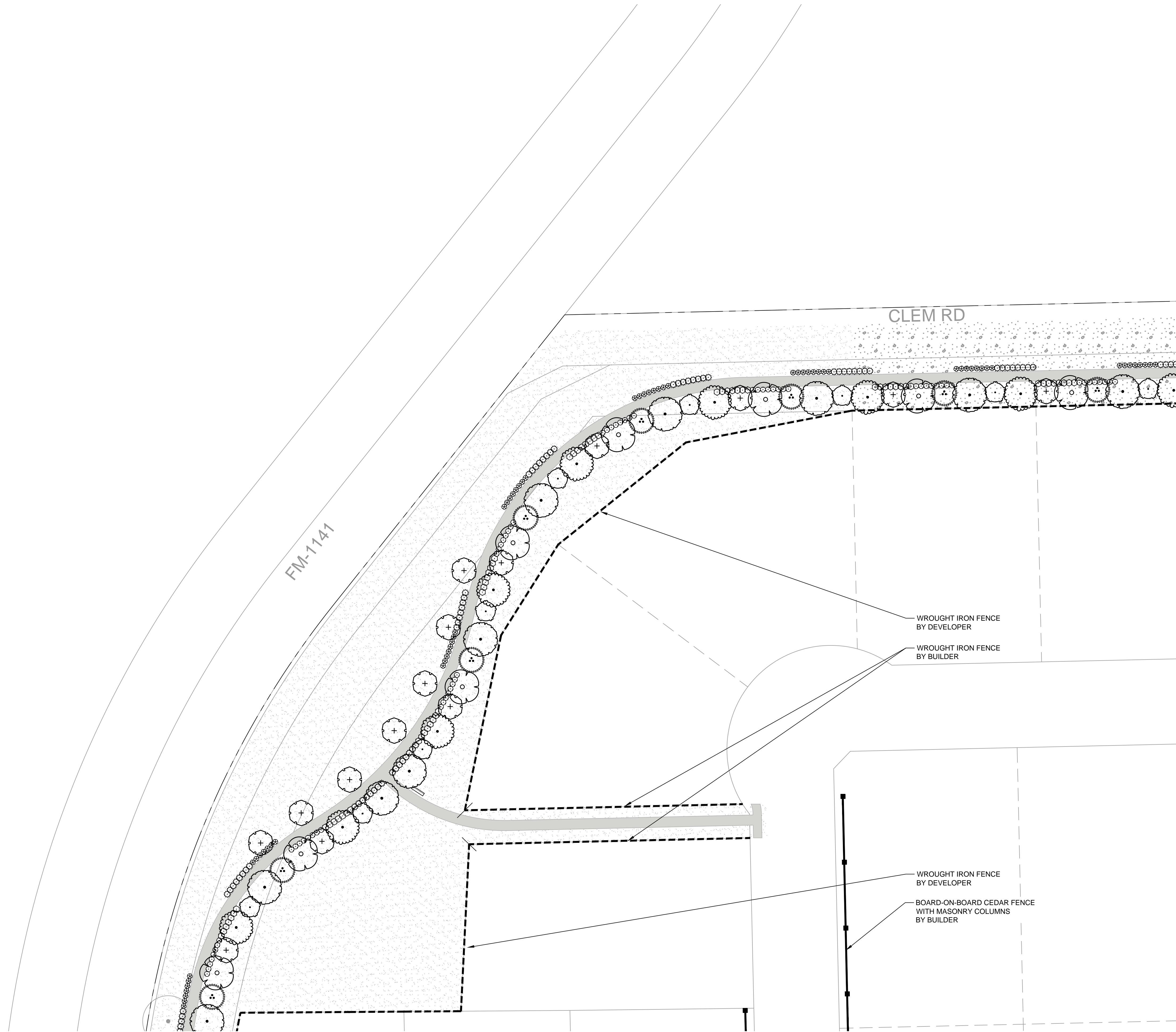


No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L- 2.0 Landscape Plan.dwg || Date Plotted: 11/18/2021 9:12 AM || Plotted By: mwilson



KEY

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM

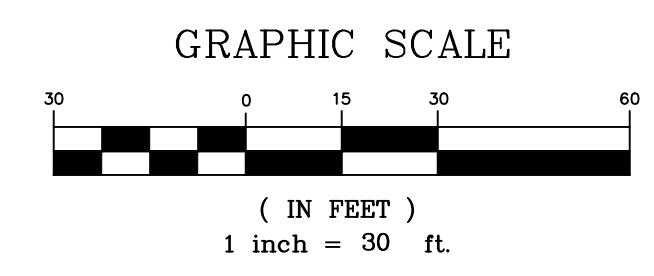
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE

SHRUBS	BOTANICAL / COMMON NAME
	HESPERALOE PARVIFLORA RED YUCCA
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	YUCCA RECURVIFOLIA SOFT LEAF YUCCA

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

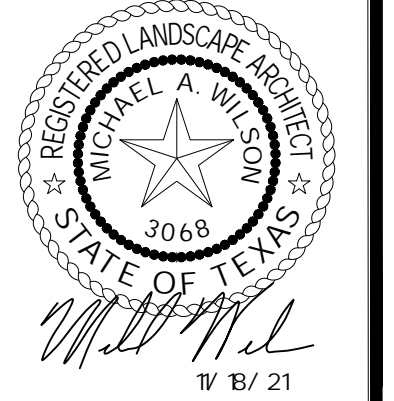
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	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
	BOARD - ON - BOARD CEDAR FENCE



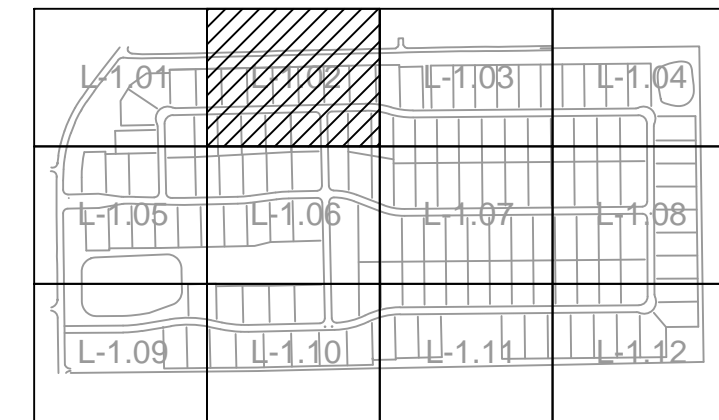
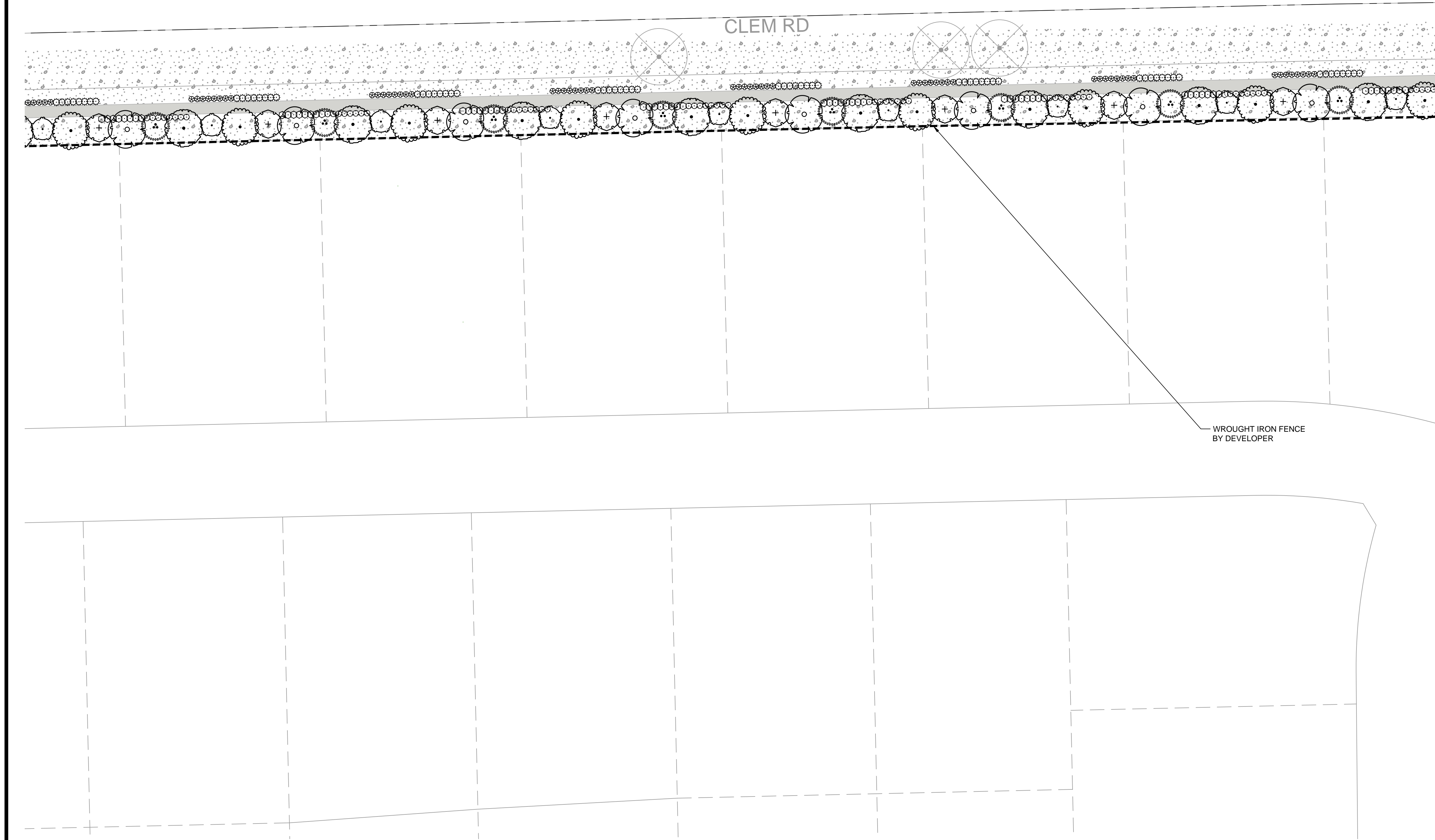
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240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS
LANDSCAPE ENLARGEMENT

No.	Date	Revision Description



SHEET NUMBER
L-1.01



KEY

PLANT SCHEDULE

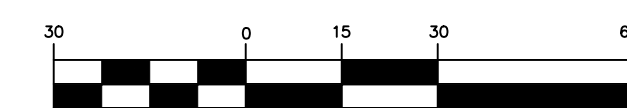
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GROUND COVERS	BOTANICAL / COMMON NAME
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	WROUGHT - IRON
	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
	BOARD - ON - BOARD CEDAR FENCE



GRAPHIC SCALE

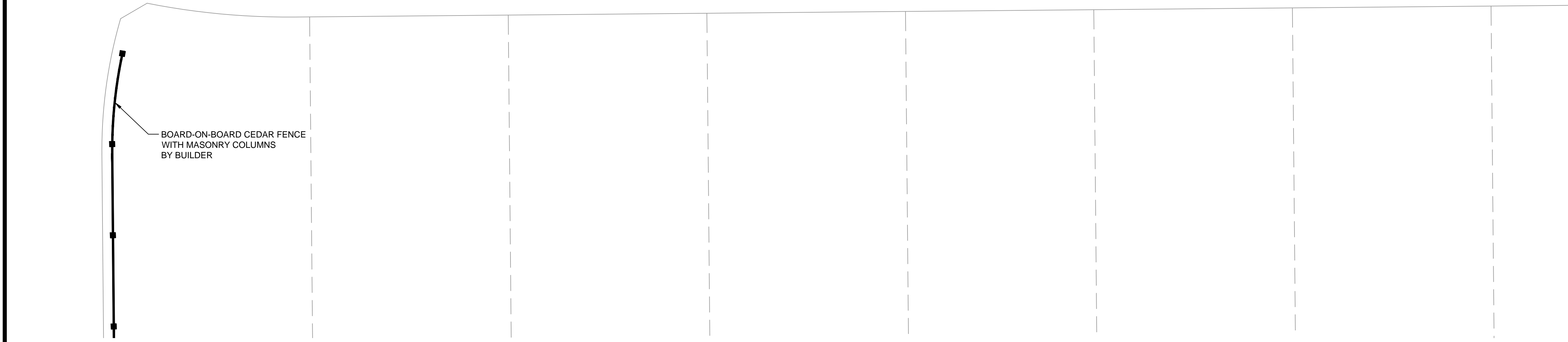
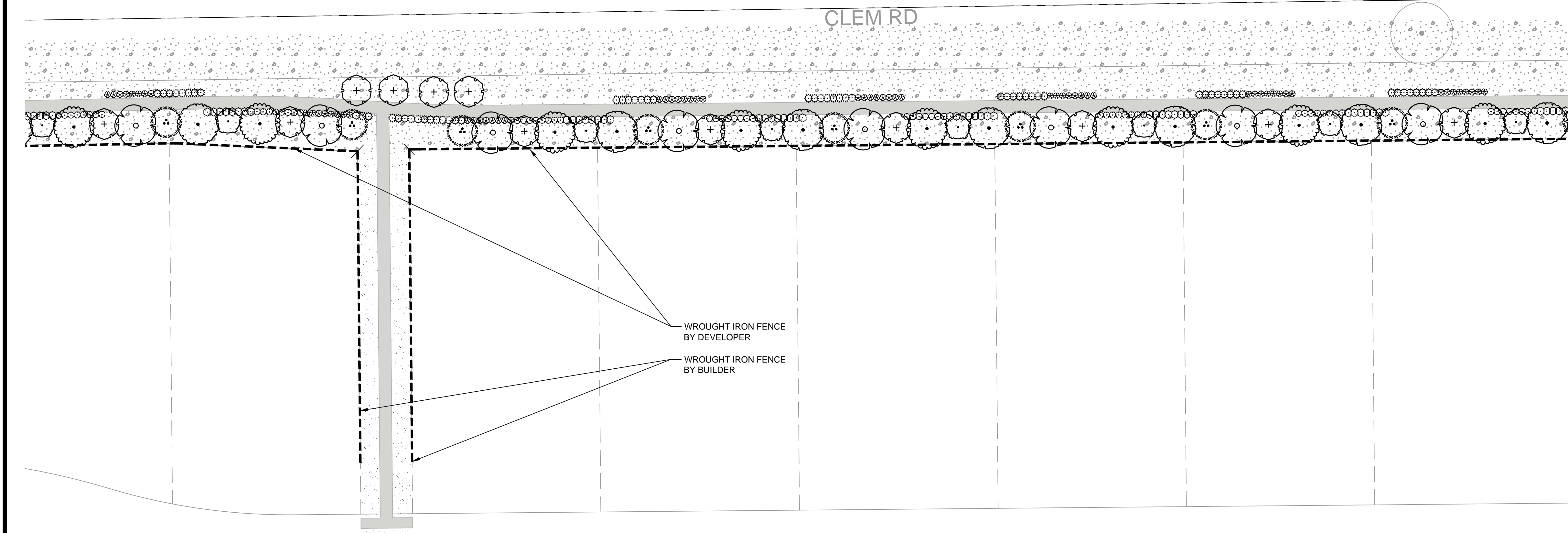


(IN FEET)
1 inch = 30 ft.

No.	Date	Revision Description



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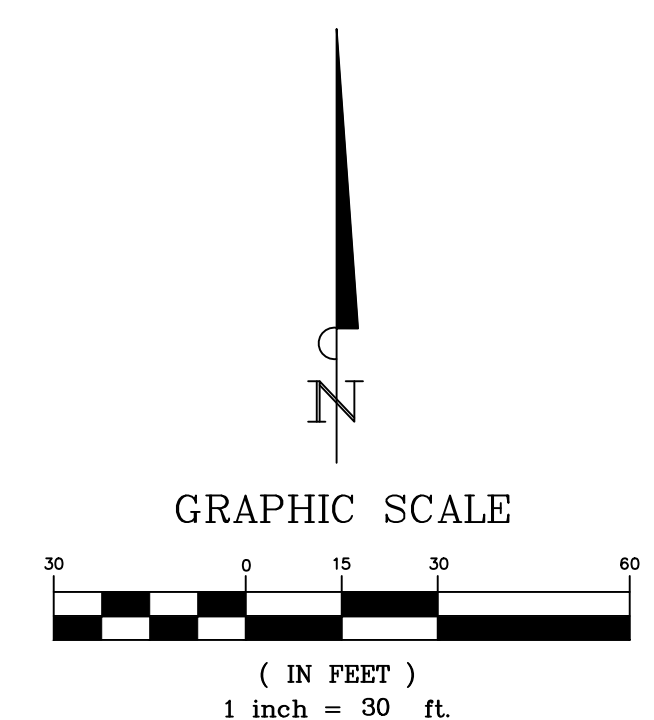
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PLANT SCHEDULE

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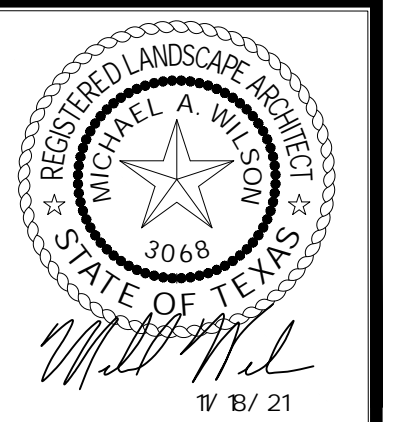
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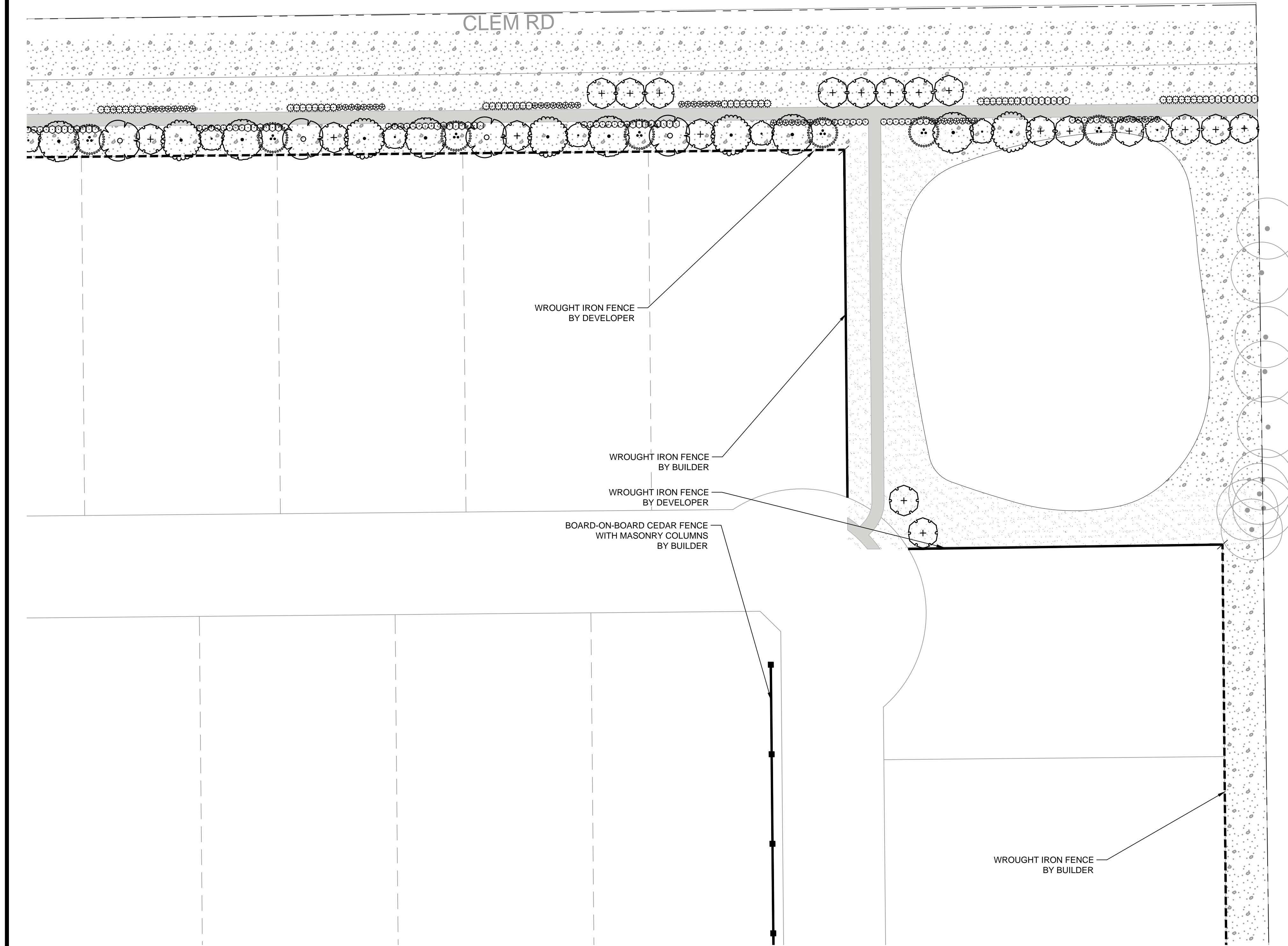
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 ROCKWALL, TEXAS
 LANDSCAPE ENLARGEMENT

No.	Date	Revision Description



SHEET NUMBER
L-1.03

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KEY

PLANT SCHEDULE

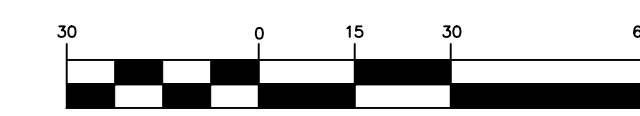
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	WROUGHT - IRON
	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
	BOARD - ON - BOARD CEDAR FENCE



GRAPHIC SCALE

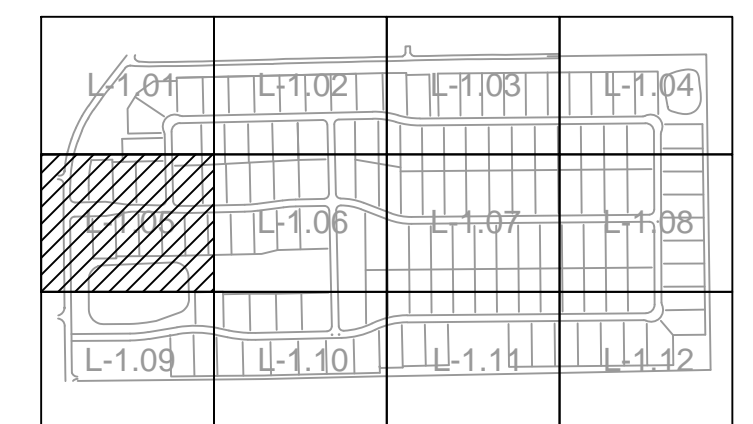


(IN FEET)
1 inch = 30 ft.

No.	Date	Revision Description



FM-1141



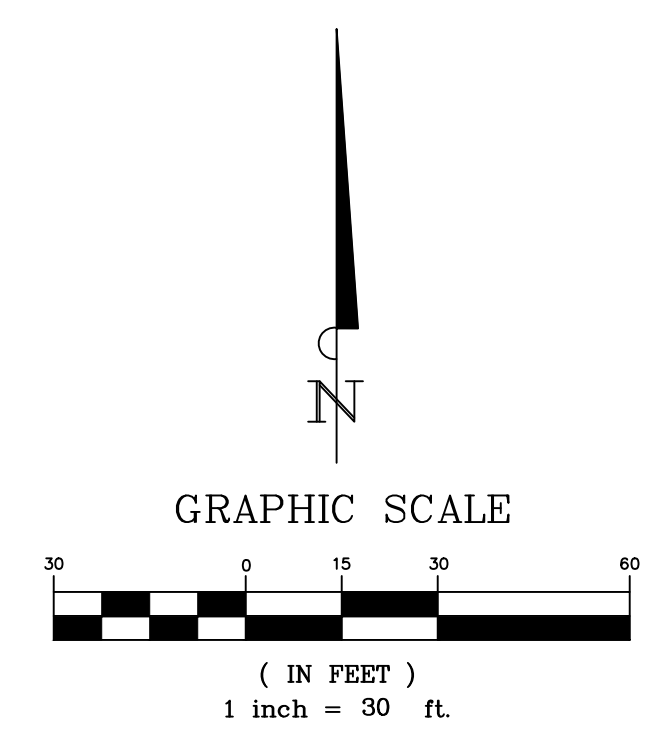
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PLANT SCHEDULE

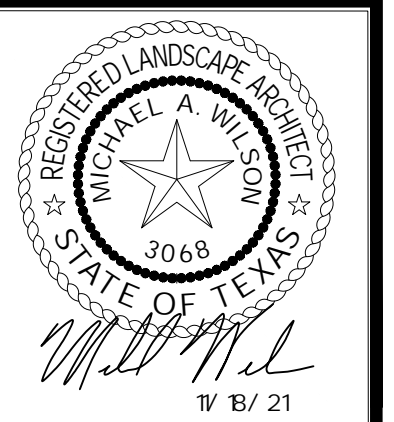
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

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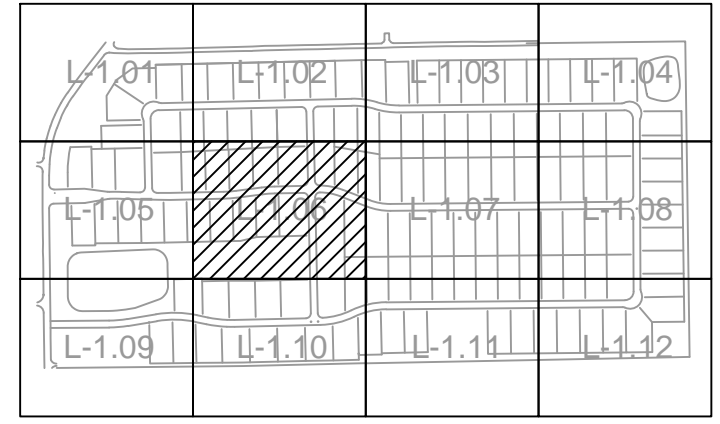
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	BOARD - ON - BOARD CEDAR FENCE



No.	Date	Revision Description



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KEY

PLANT SCHEDULE

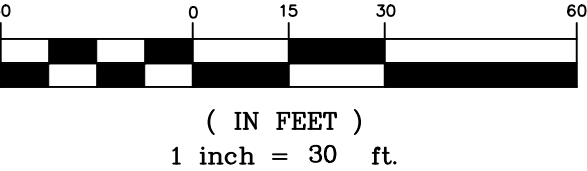
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FENCING LEGEND

	WROUGHT - IRON
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GRAPHIC SCALE



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ROCKWALL, TEXAS

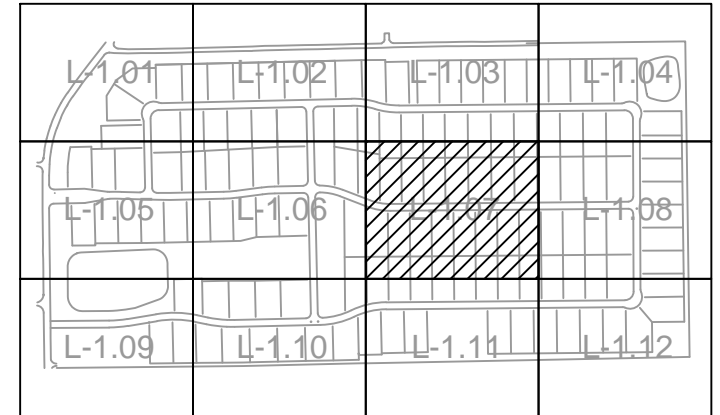
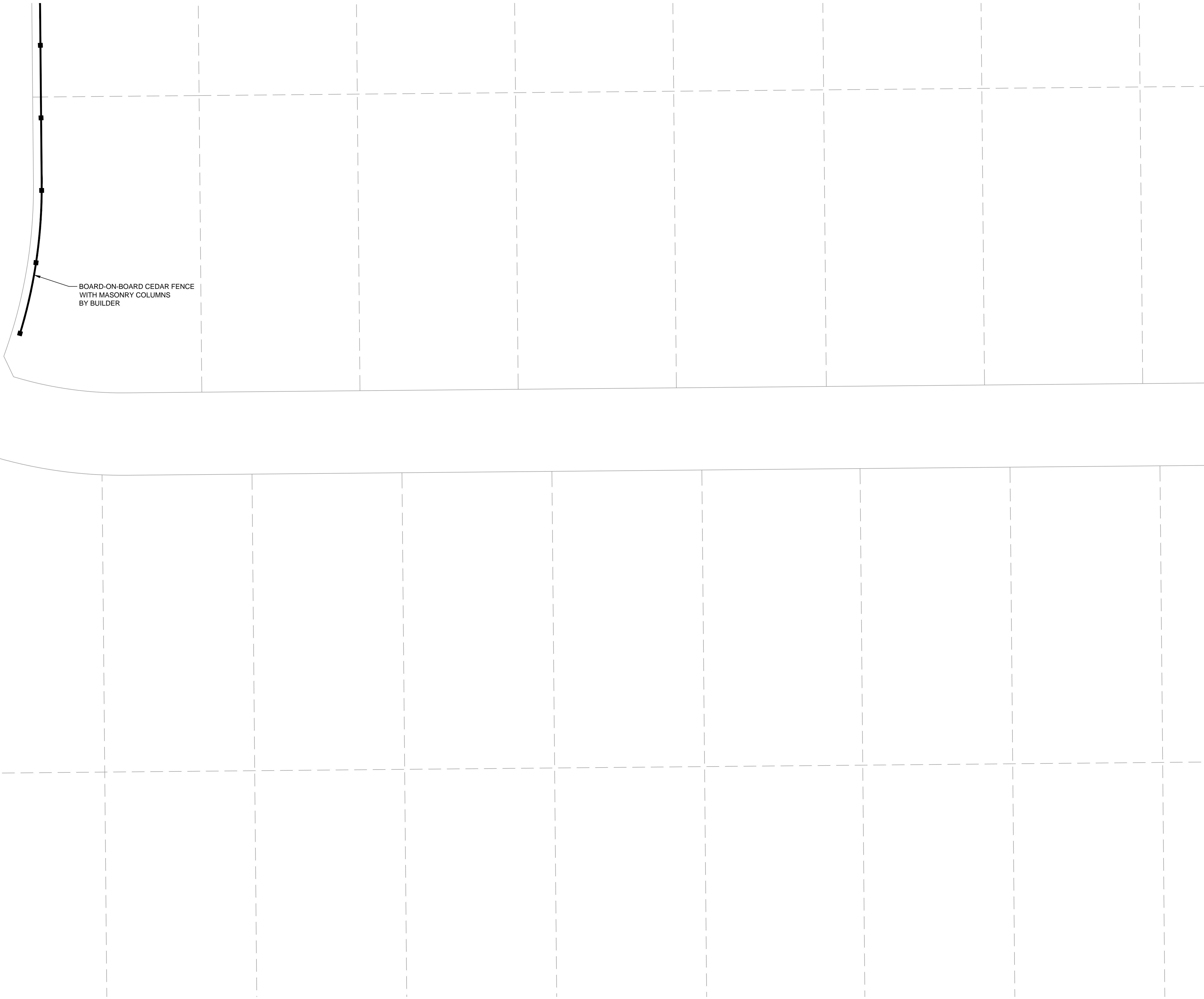
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No.	Date	Revision	Description



SHEET NUMBER
L-1.06

PROJECT NO.: TEMPLATE



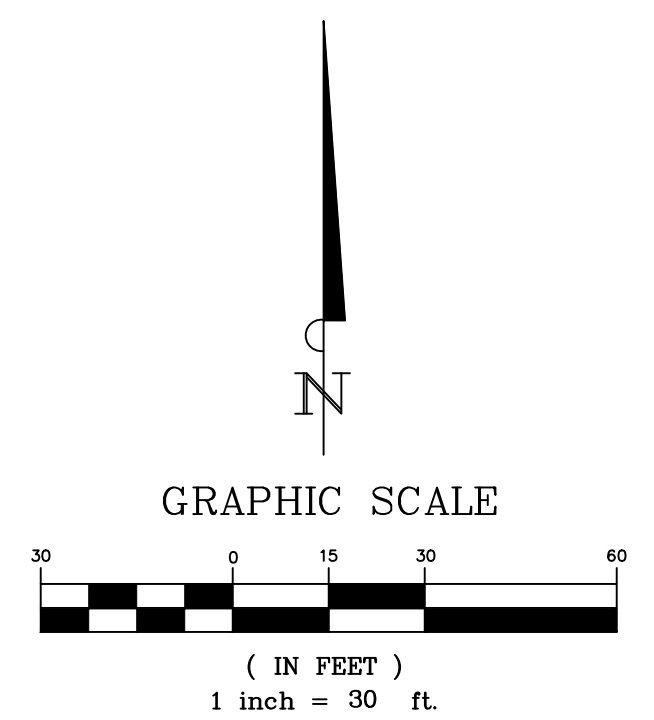
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PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

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	BOARD - ON - BOARD CEDAR FENCE



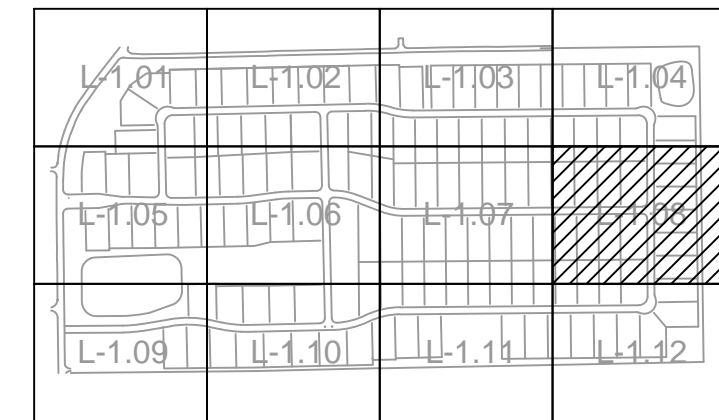
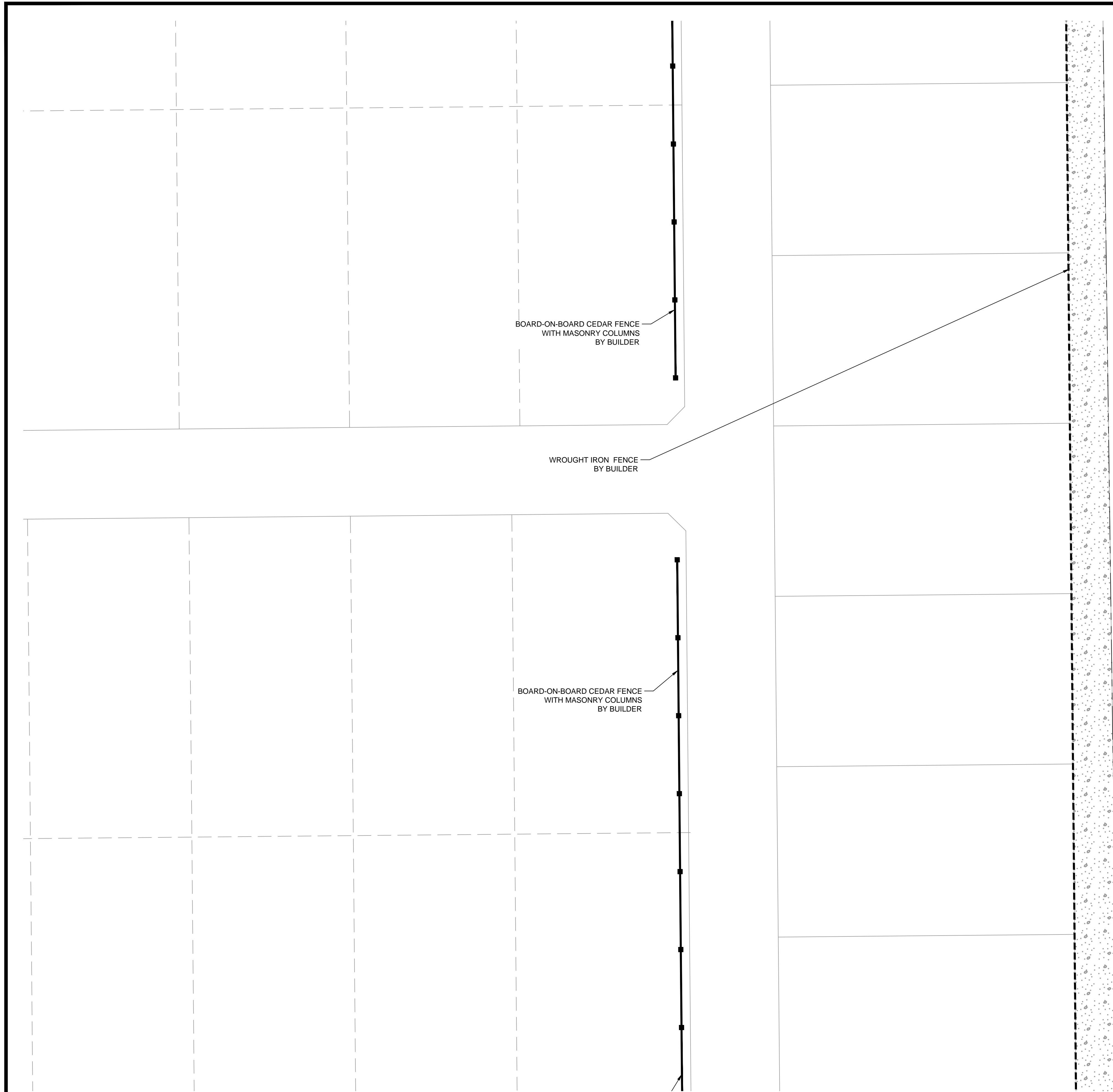
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LANDSCAPE ENLARGEMENT

No.	Date	Revision Description



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L-1.07



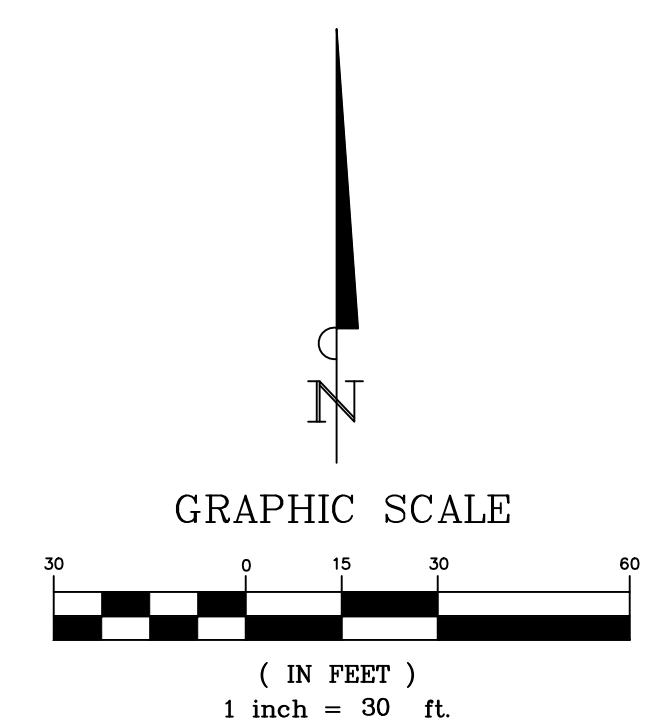
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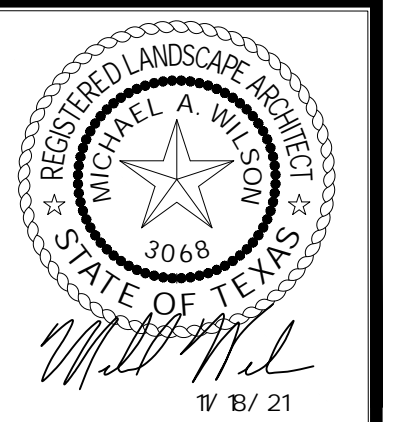
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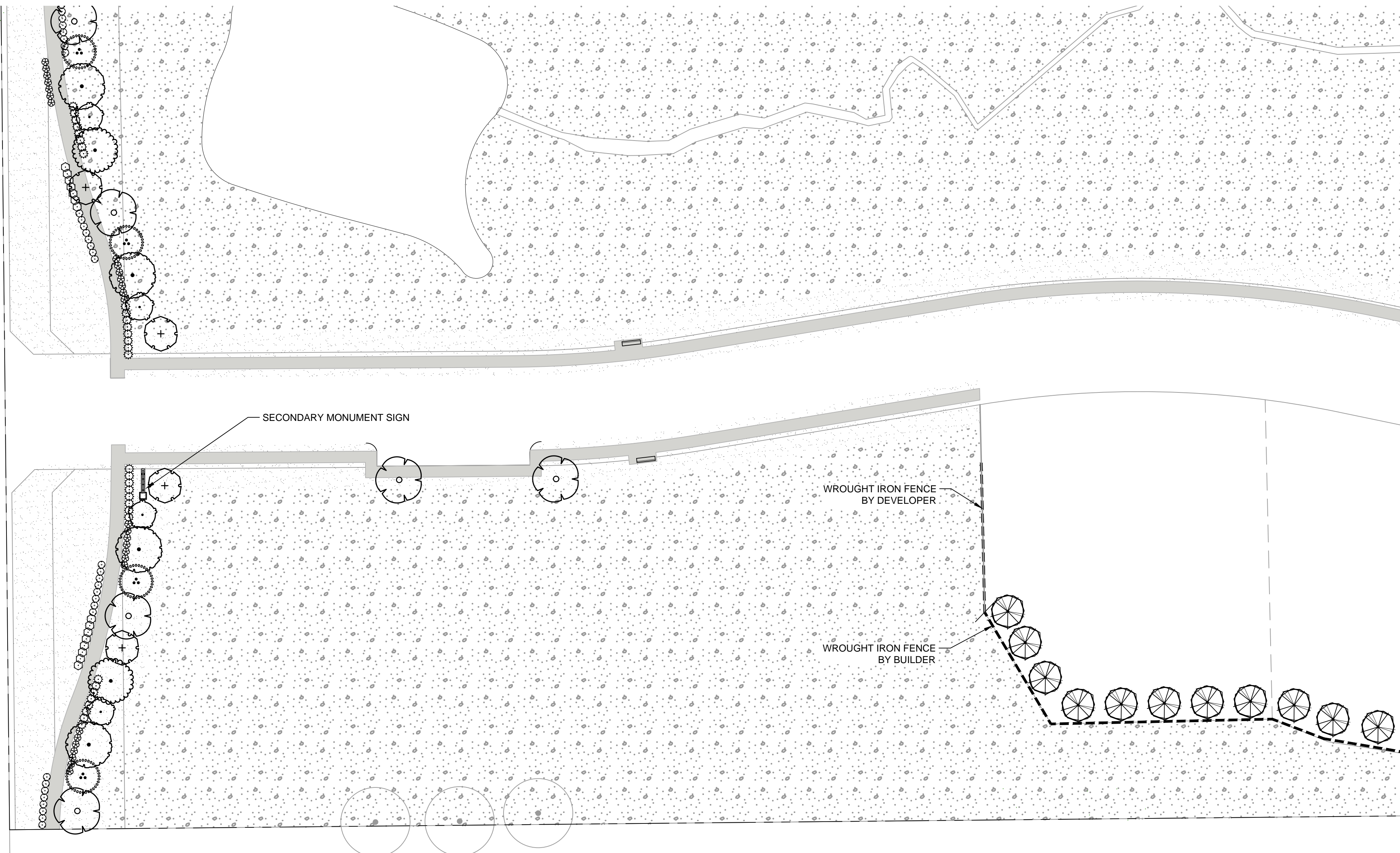
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No.	Date	Revision Description



FM-1141

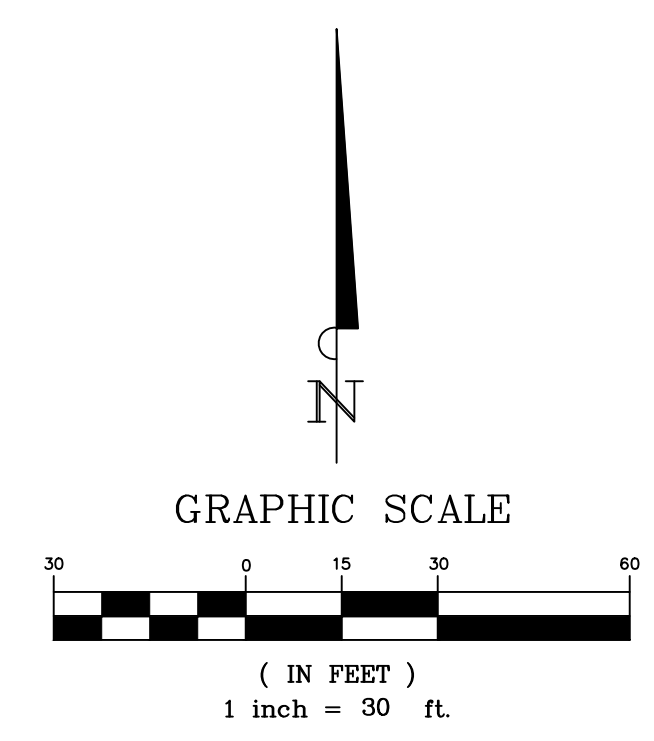


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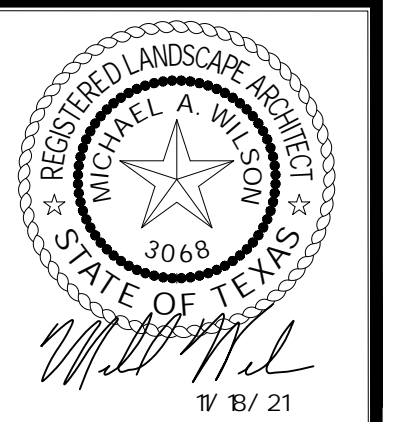
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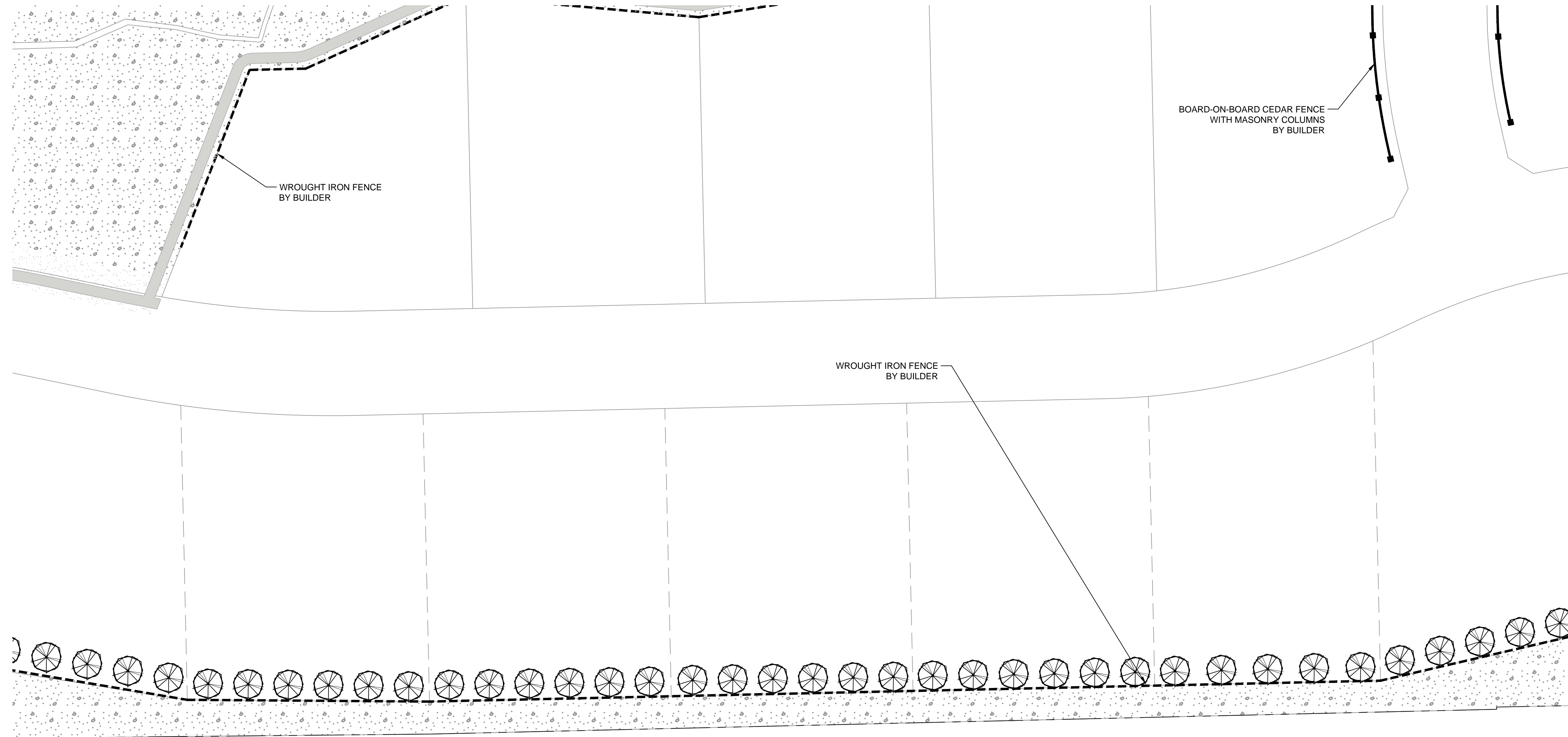
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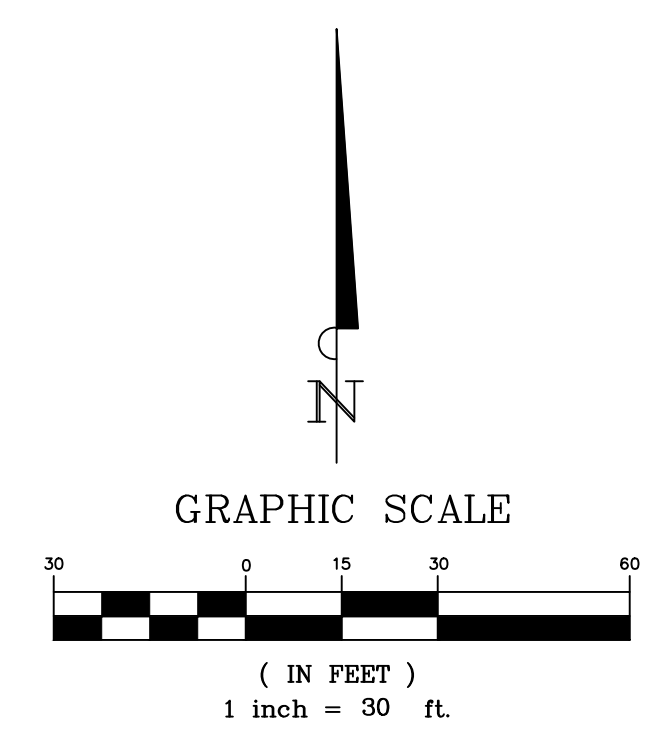
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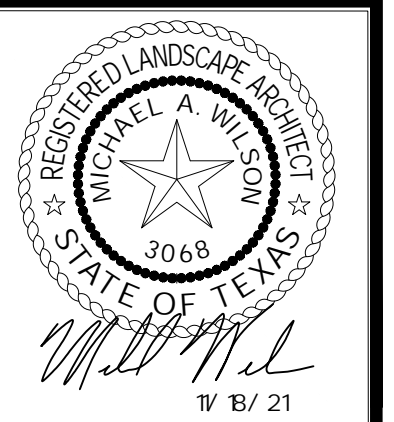
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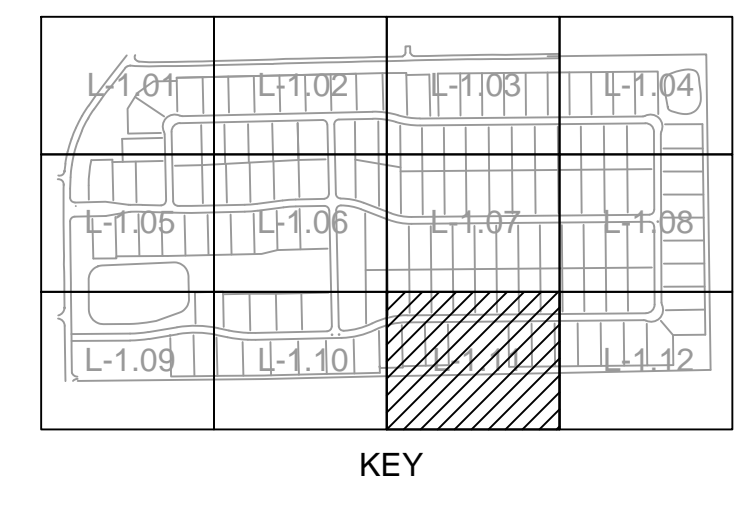
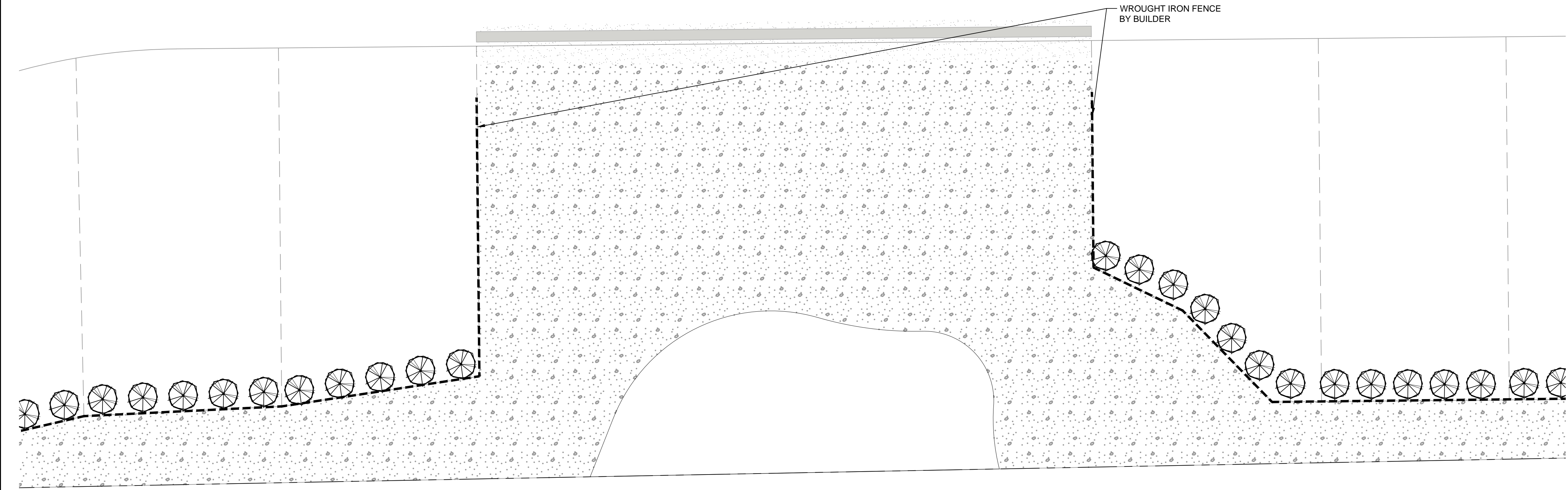
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No.	Date	Revision Description



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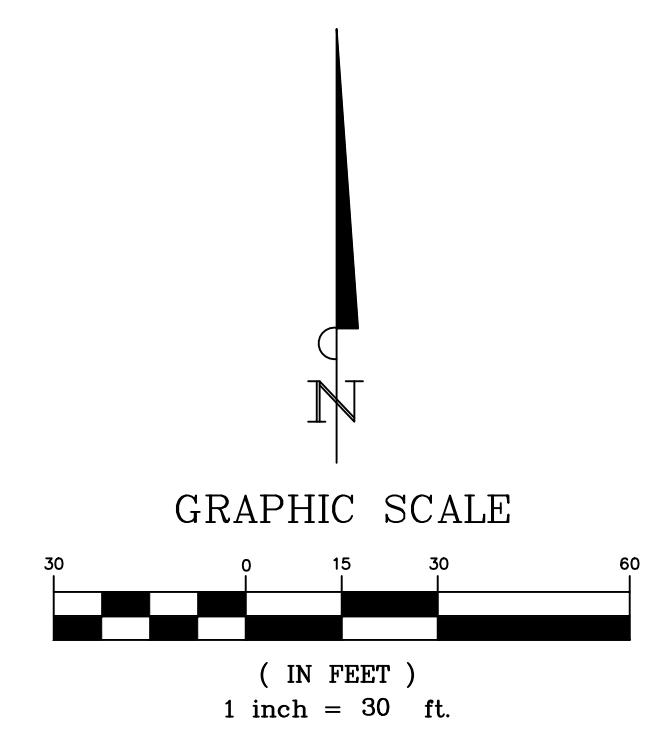


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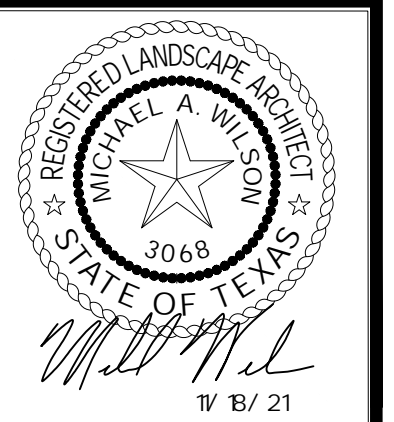
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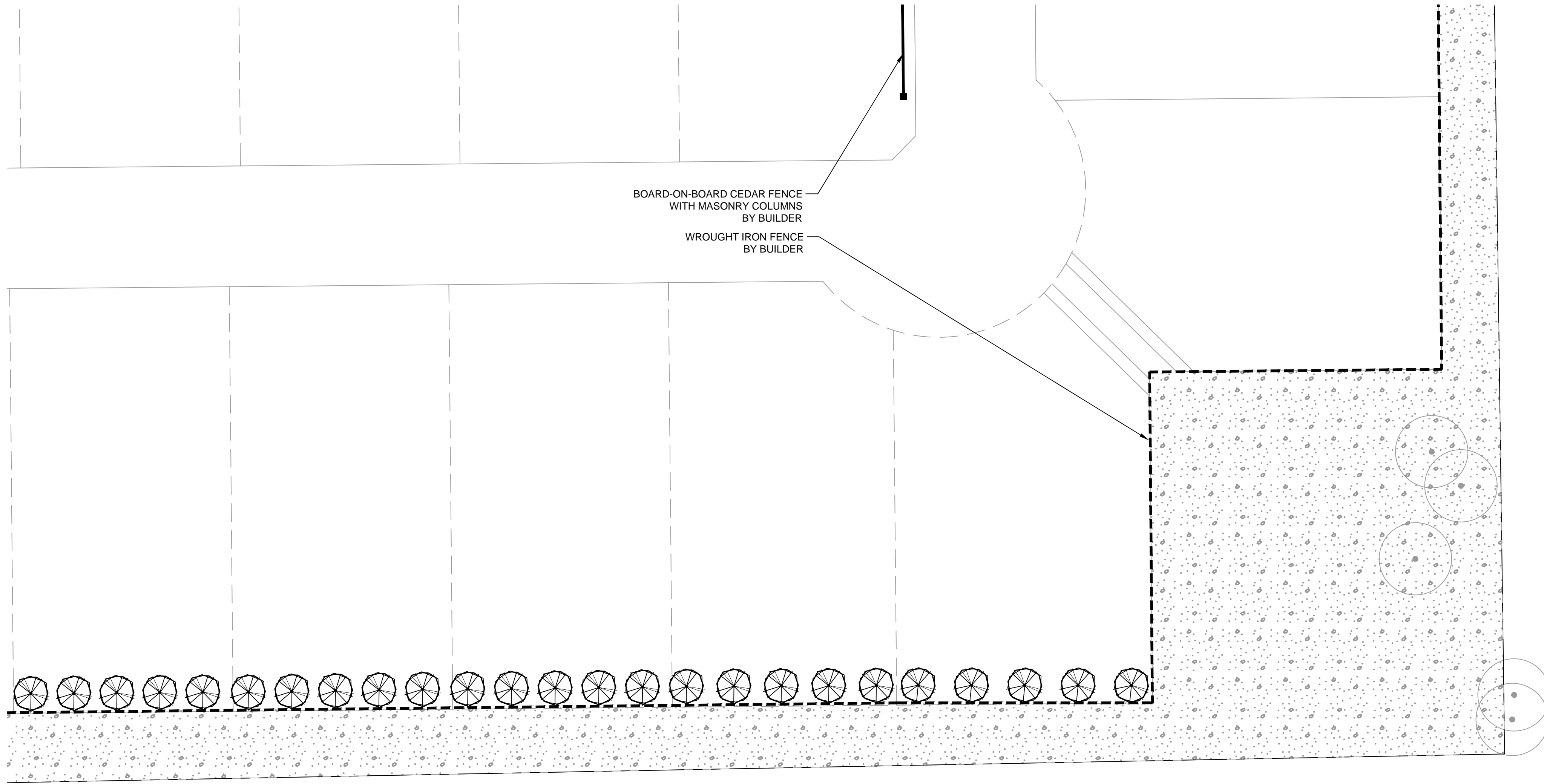
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SHEET NUMBER
L-1.11



KEY

PLANT SCHEDULE

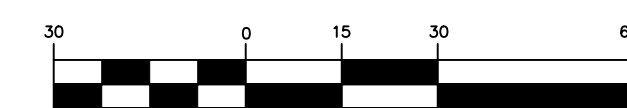
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GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

No.	Date	Revision Description



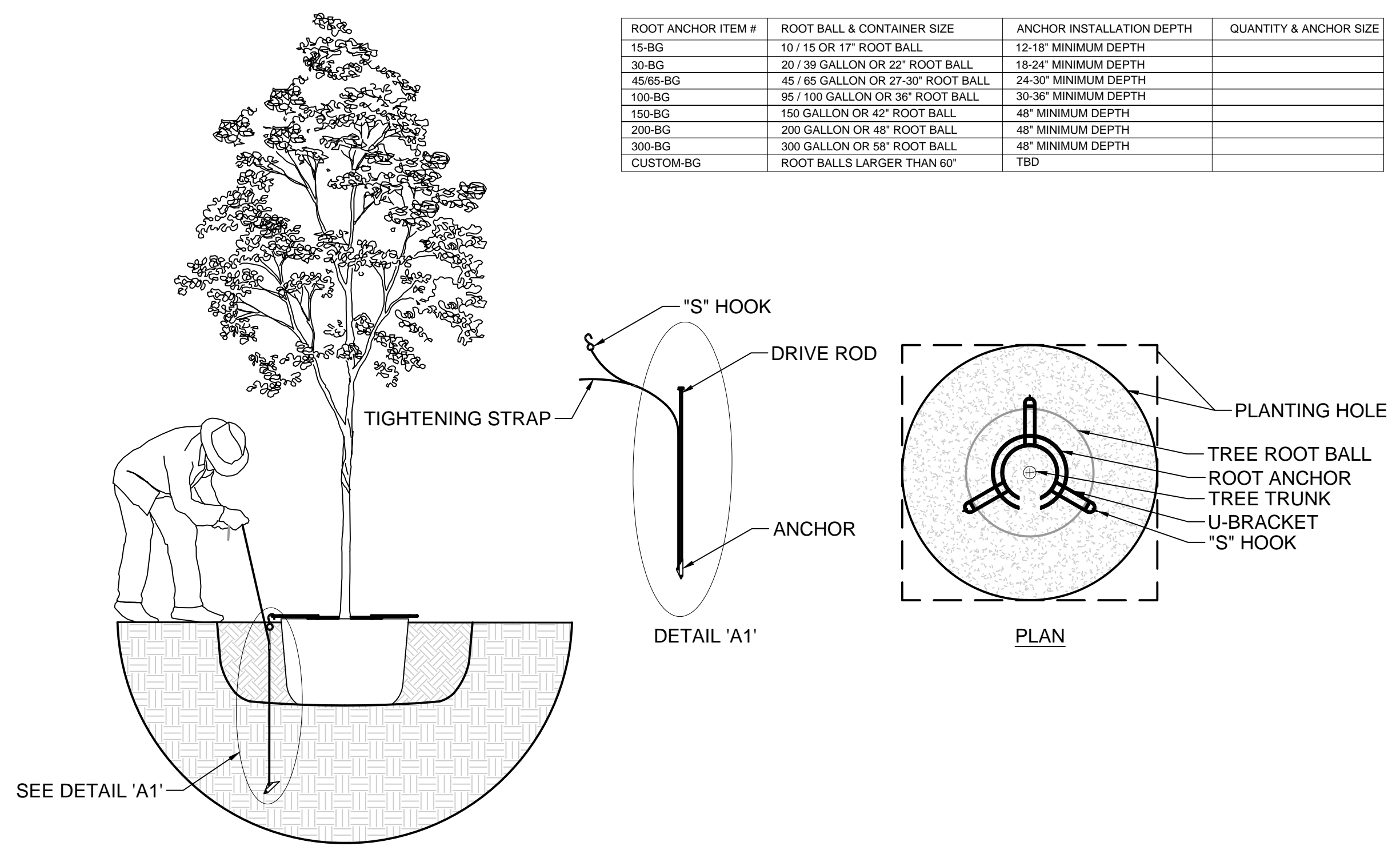
File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwell)\Civil\Sheet Set_- 2.0 Landscape Plan.dwg | Date Plotted: 11/18/2021 9:12 AM | Plotted By: mwinson

GENERAL NOTES:

- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS/HER WORK.
- CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENT OVER THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK.'
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT
- ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
- CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
- IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEERS GRADING PLAN.
- LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
- SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:
 3 O R AN C COMPO T
 -20 POUNDS OF ORGANIC FERTILIZER/ 1,000 SF OF BED AREA
 T LL BED TO A DEPT O 6 TO 8
 -CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
- TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL..
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
- TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OR-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE.
- CONTRACTOR SHALL WARRANTY ANY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON PART OF THE OWNER.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER OR WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON TREES IS PROHIBITED.
- INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS, MOWING AND TRIMMING TO BE INCLUDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BE SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
- ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTER CREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
- ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
- LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
- IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.

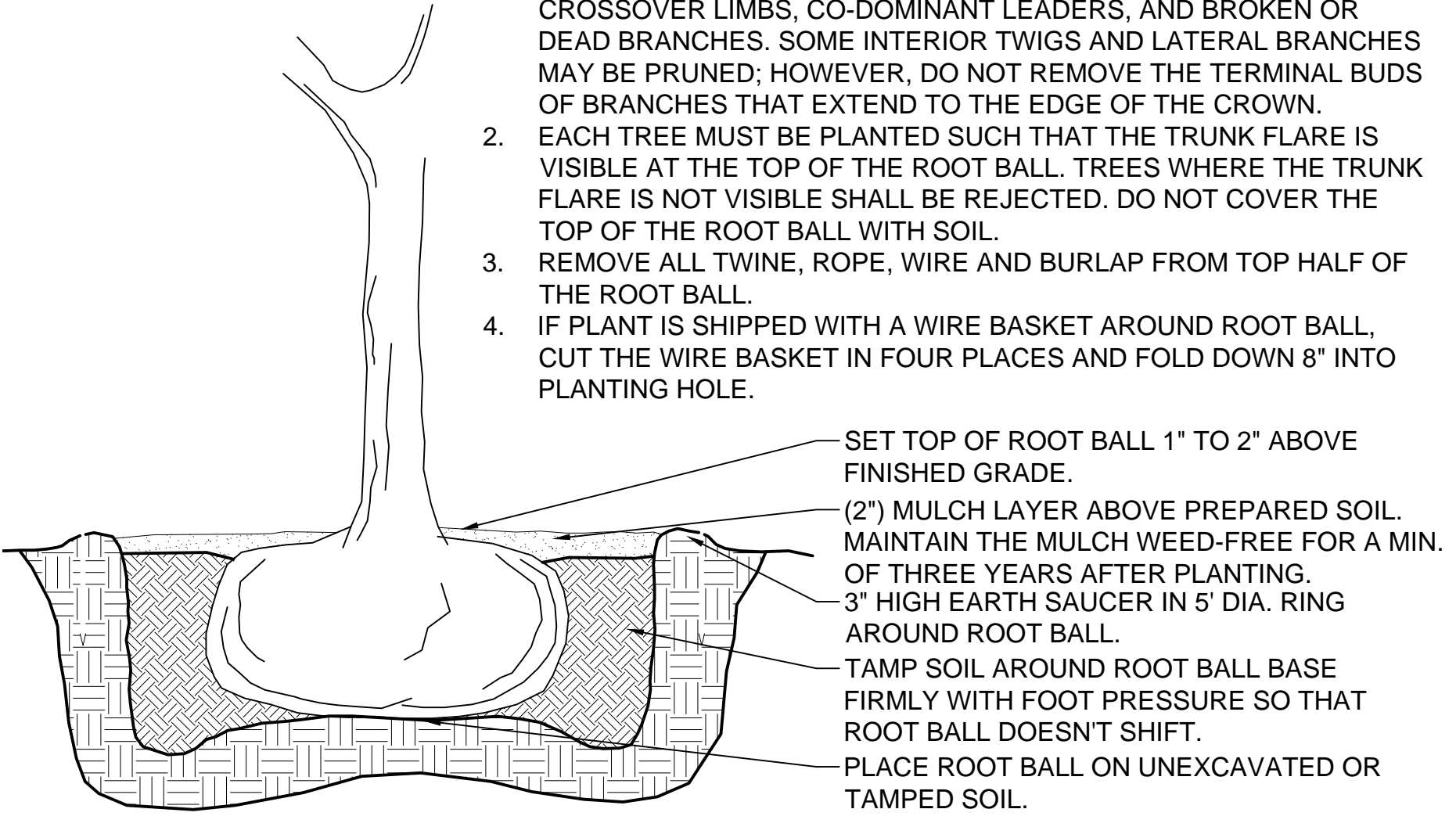
ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-BG	10 / 15 OR 17" ROOT BALL	12-18" MINIMUM DEPTH	
30-BG	20 / 39 GALLON OR 22" ROOT BALL	18-24" MINIMUM DEPTH	
45/65-BG	45 / 65 GALLON OR 27-30" ROOT BALL	24-30" MINIMUM DEPTH	
100-BG	85 / 100 GALLON OR 36" ROOT BALL	30-36" MINIMUM DEPTH	
150-BG	150 GALLON OR 42" ROOT BALL	48" MINIMUM DEPTH	
200-BG	200 GALLON OR 48" ROOT BALL	48" MINIMUM DEPTH	
300-BG	300 GALLON OR 58" ROOT BALL	48" MINIMUM DEPTH	
CUSTOM-BG	ROOT BALLS LARGER THAN 60"	TBD	

- STEP 1:**
- SET TREE IN PLANTING PIT.
 - PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
 - CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
 - ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.
- STEP 2:**
- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBBASE SOIL.
 - SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.
- STEP 3:**
- REMOVE DRIP ROD.
 - REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
 - PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-68 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
 - PLACE "S" HOOK OVER THE END OF THE U-BRACKET.
 - PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
 - TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.

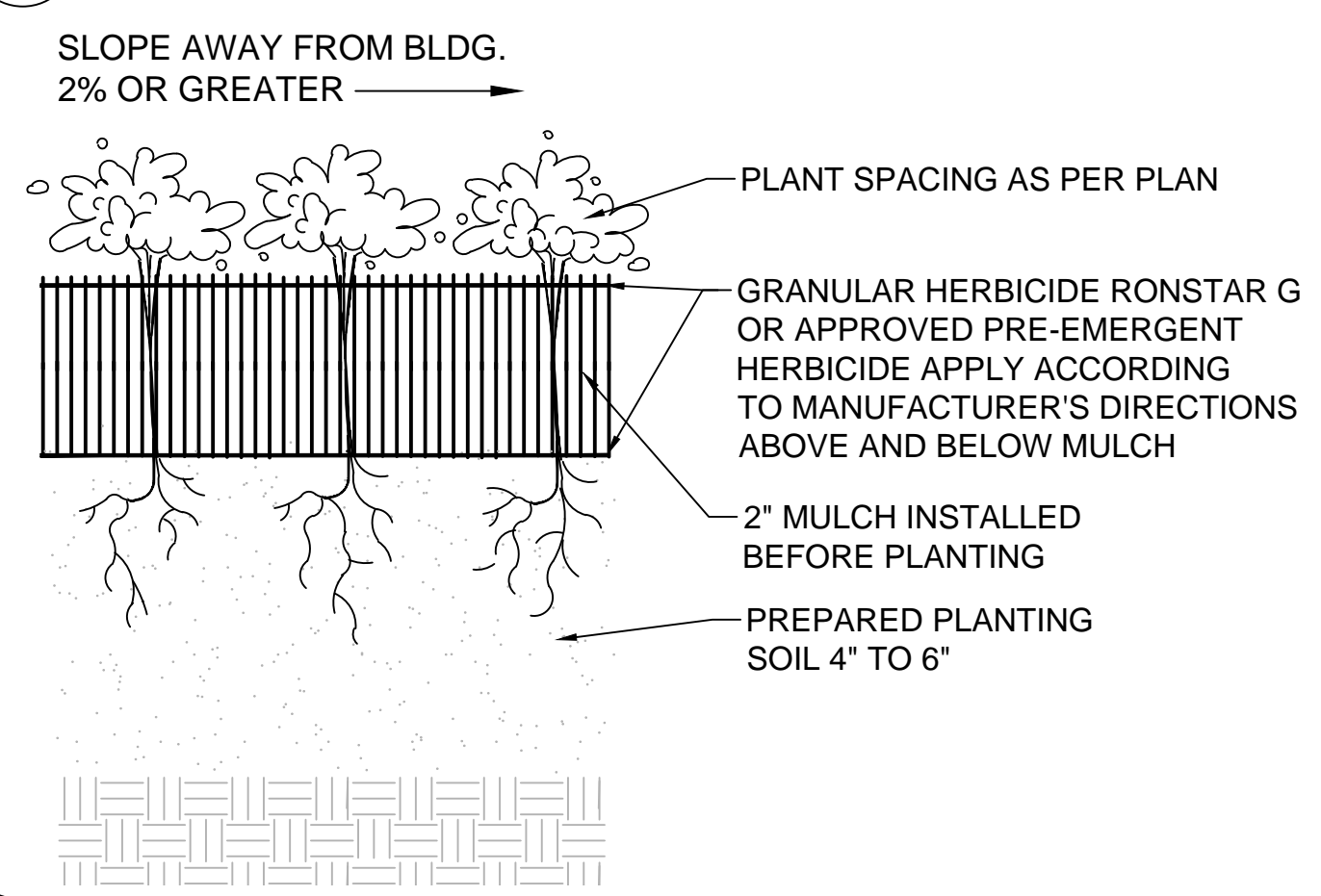


B TREE STAKING DETAIL

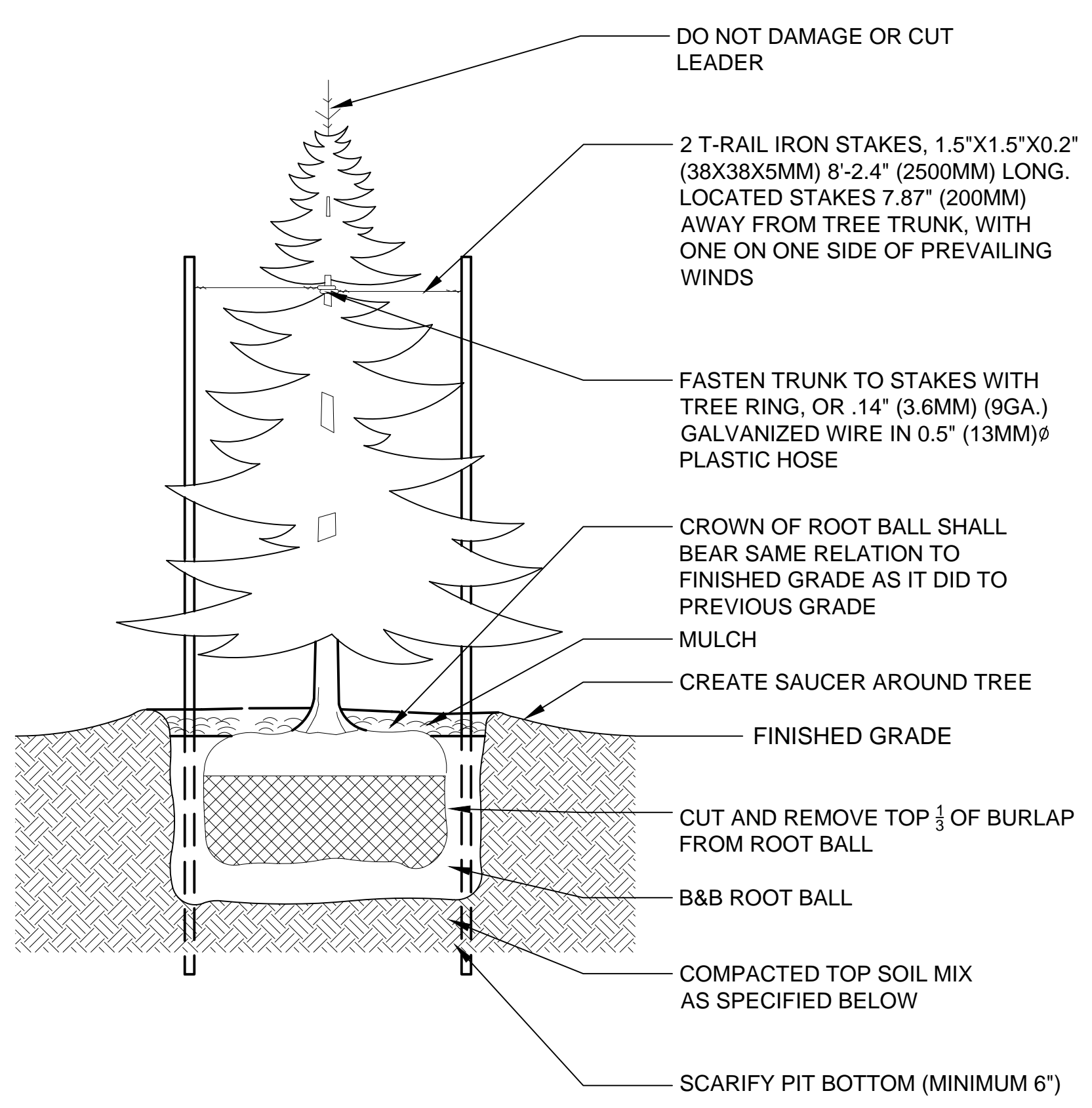
- NOTES:**
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
 - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



C TREE PLANTING DETAIL

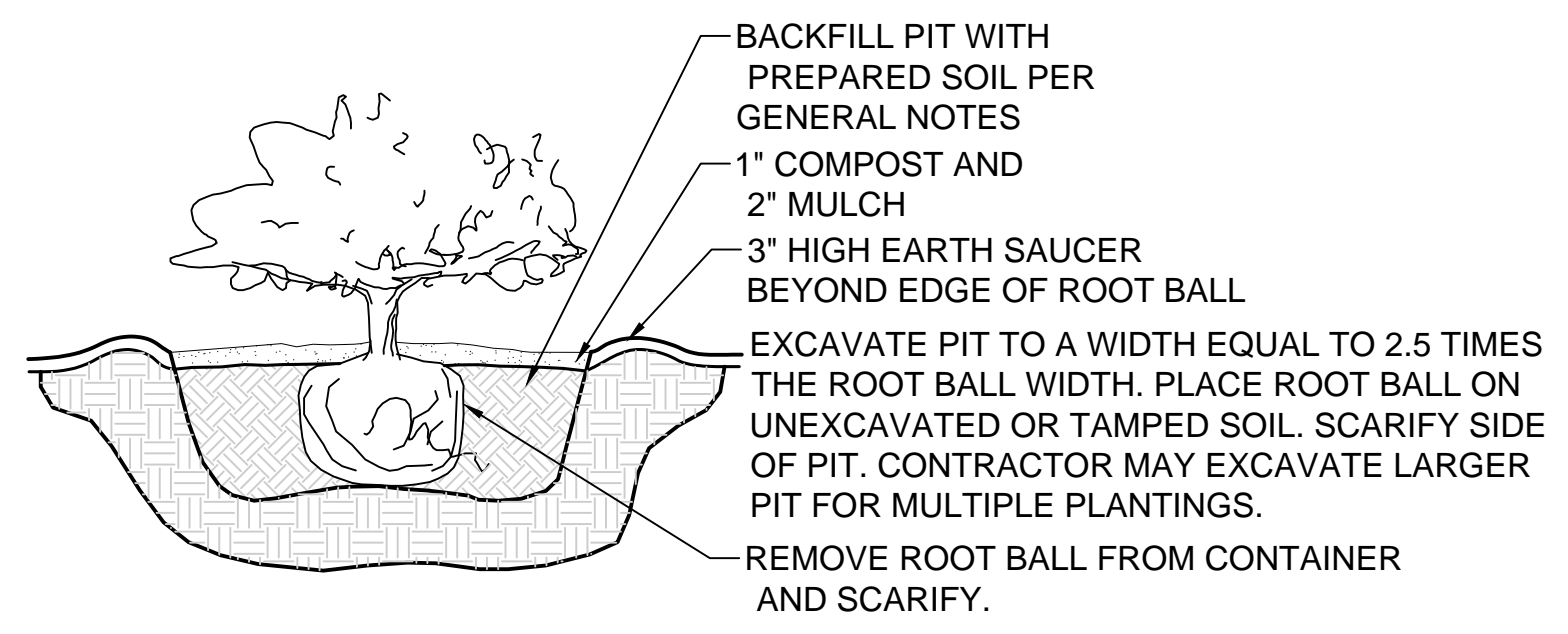


D GROUND COVER DETAIL



- SPECIFICATIONS:**
- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATIONS
 - PROVIDE DRAINAGE FOR PLANTING PUT IN IMPERMEABLE SOIL
 - TOPSOIL MIX, SEE SPEC.

E CONIFEROUS TREE STAKING DETAIL



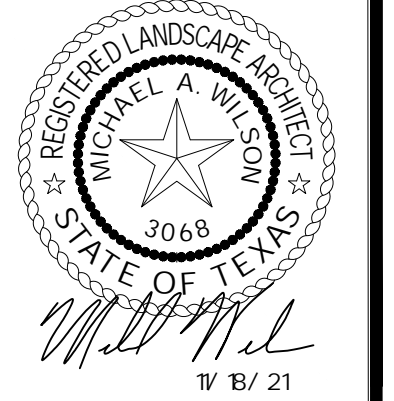
A SHRUB PLANTING DETAIL

BANNISTER ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

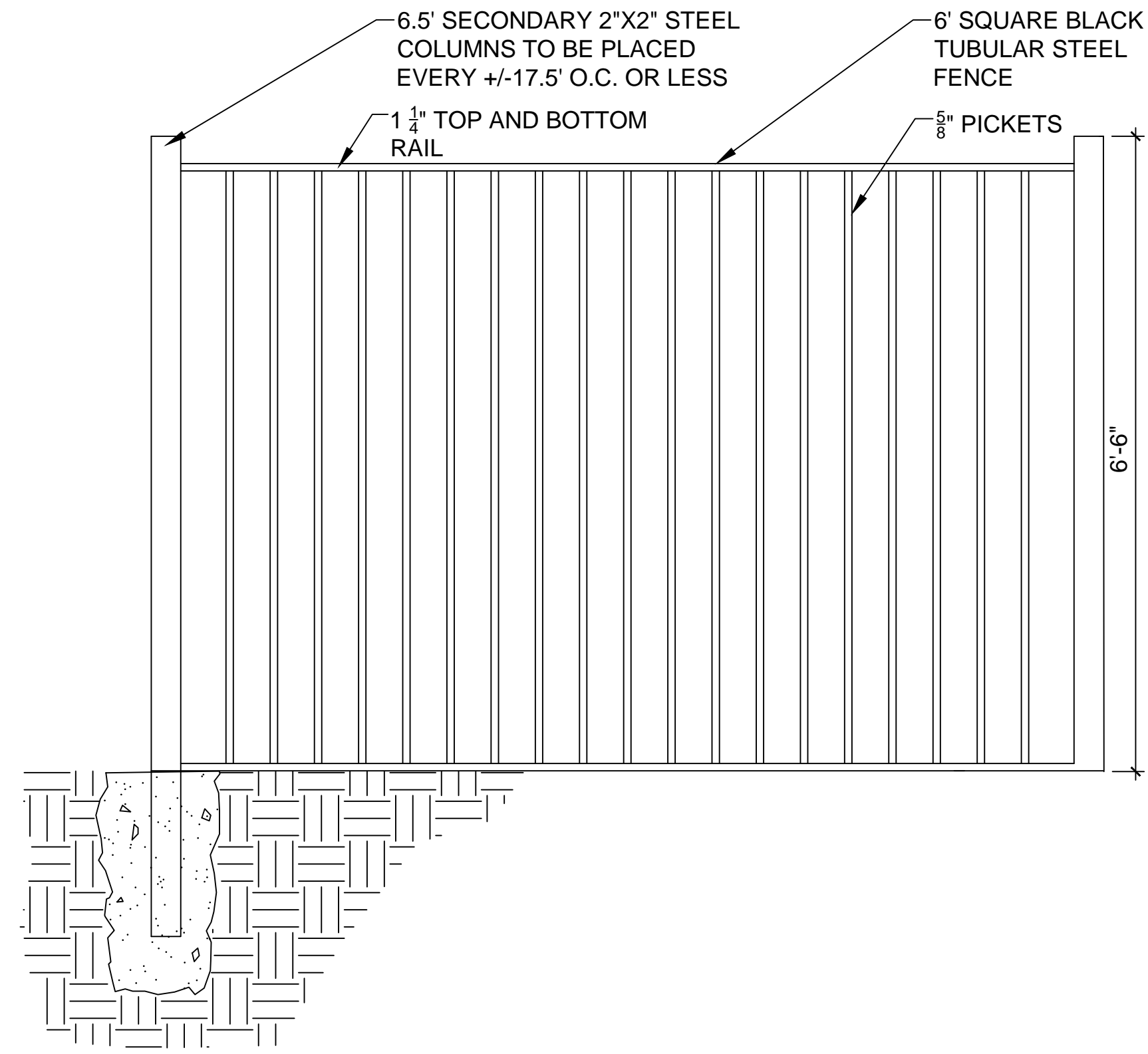
Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

LANDSCAPE NOTES & DETAILS

No.	Date	Revision	Description

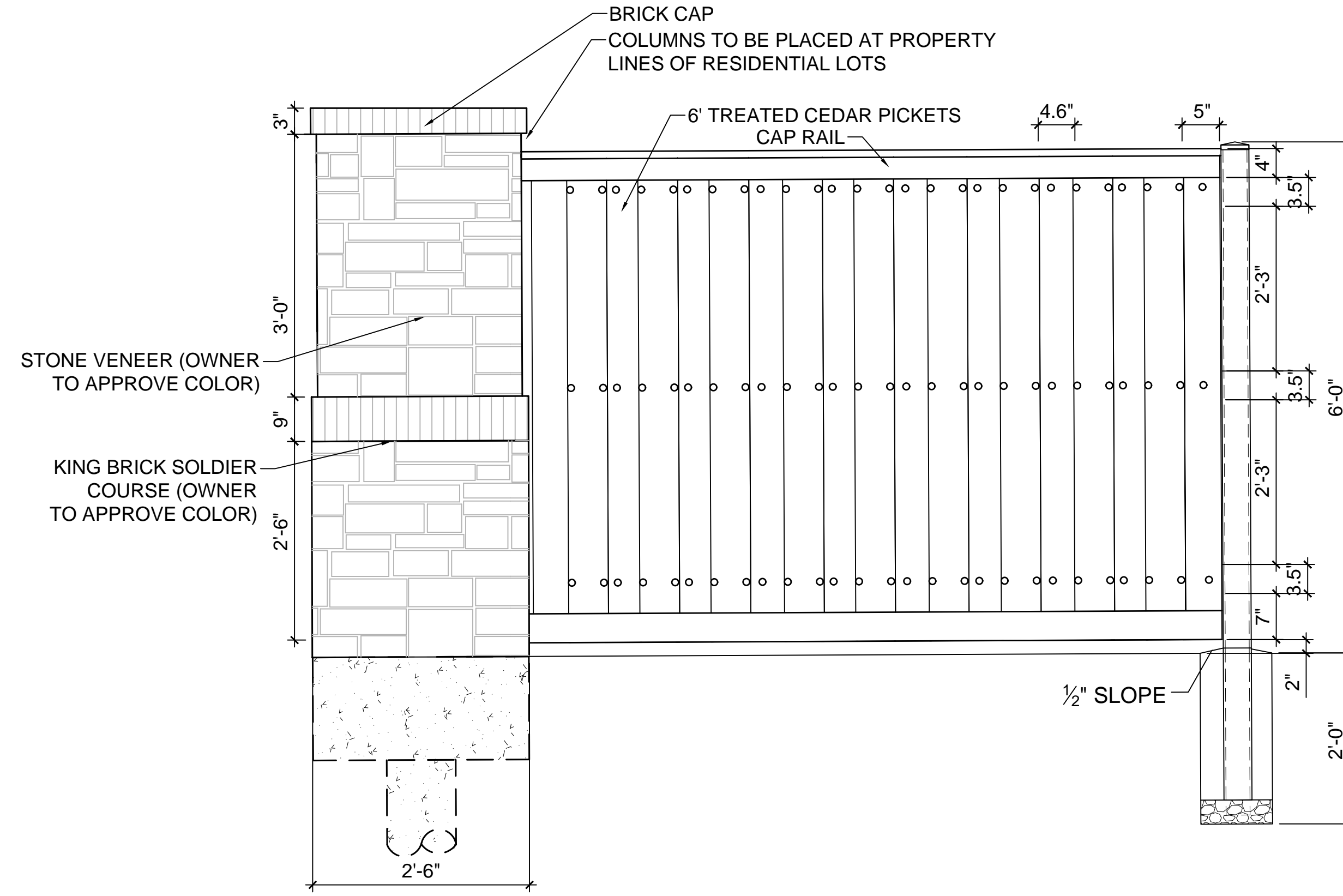


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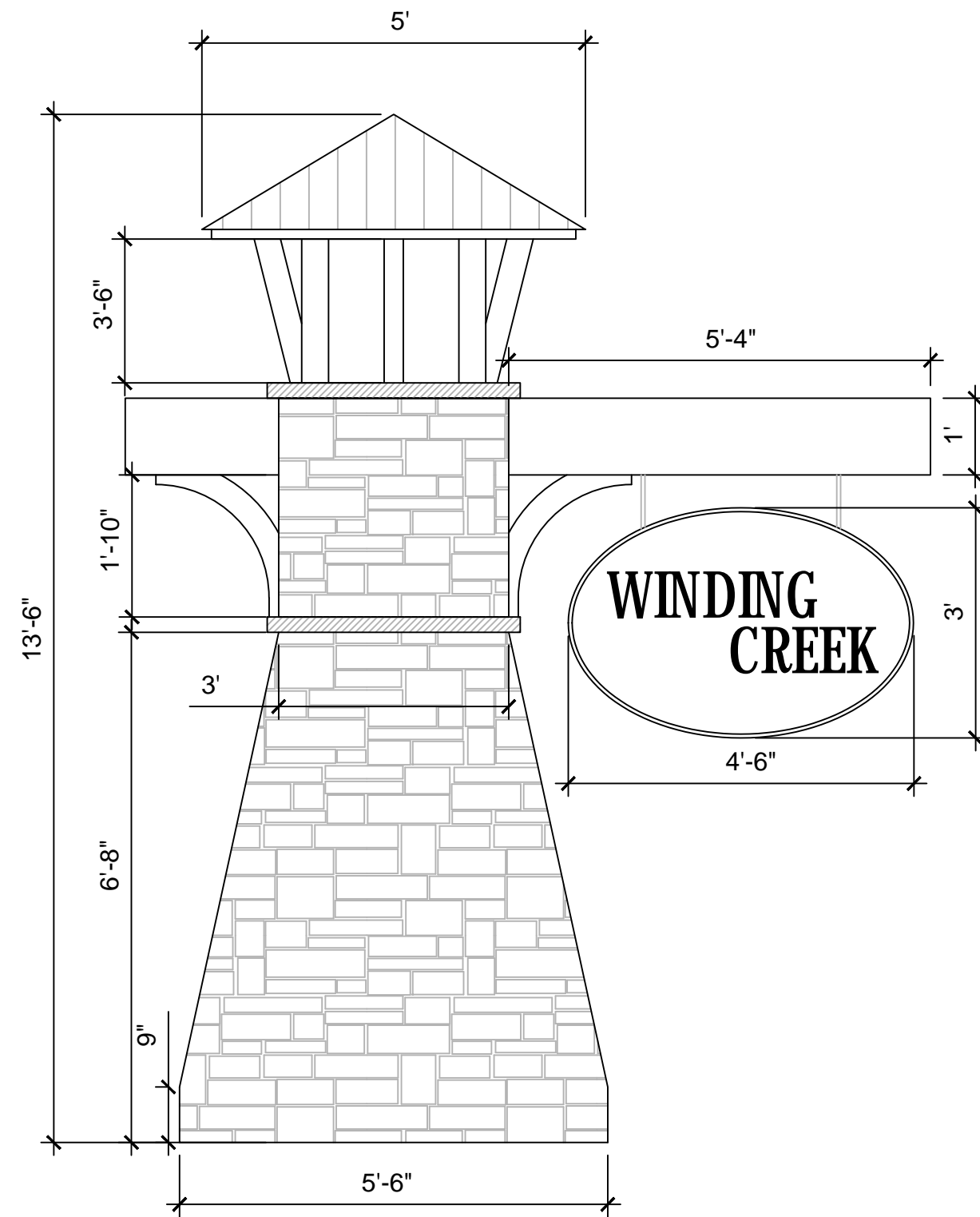
A WROUGHT IRON FENCE DETAIL

NOT TO SCALE



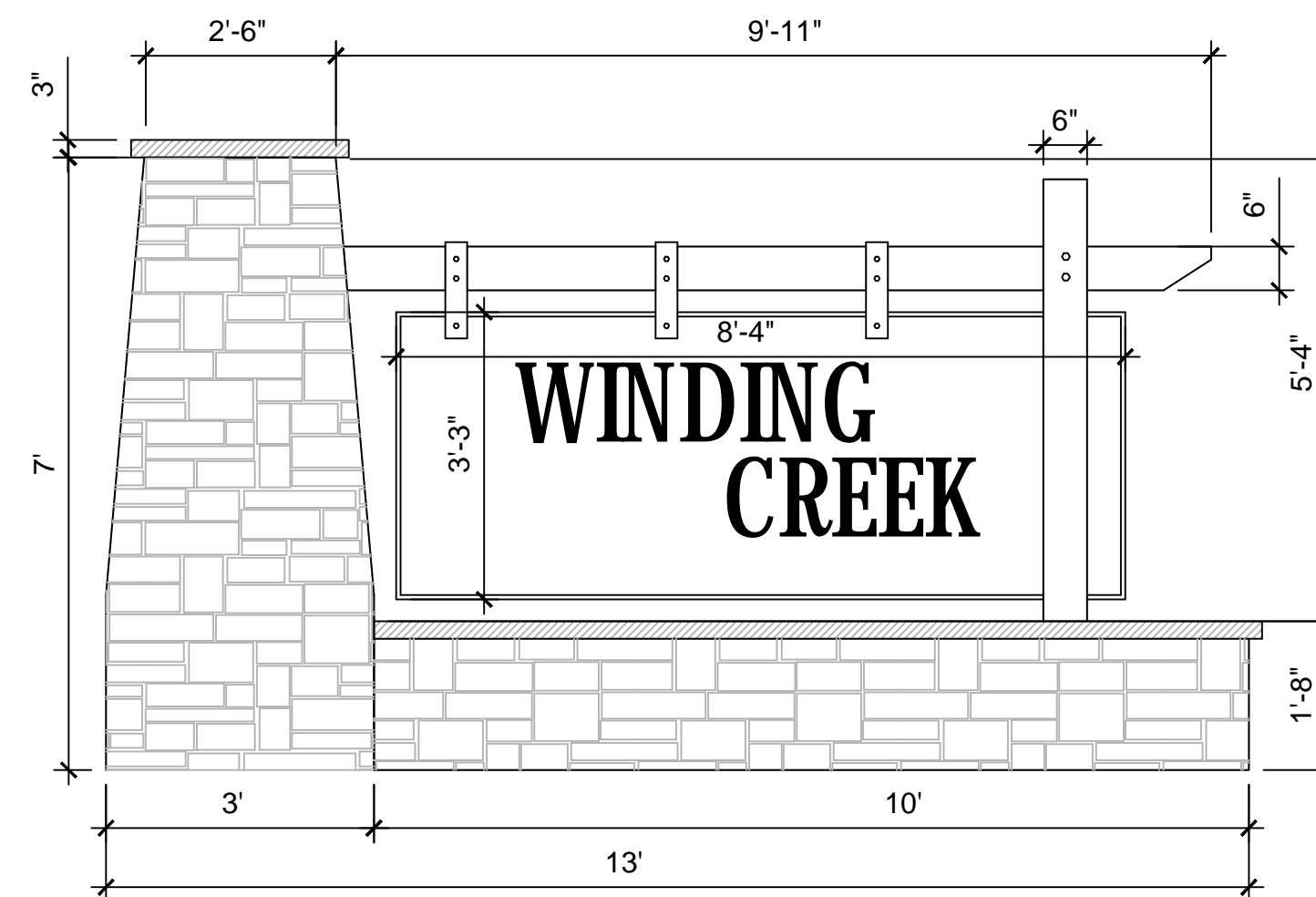
B CEDAR FENCE WITH MASONRY COLUMNS DETAIL

NOT TO SCALE



C PRIMARY MONUMENT SIGN DETAIL

NOT TO SCALE



D SECONDARY MONUMENT SIGN DETAIL

NOT TO SCALE

No.	Date	Revision	Description



PLANT SCHEDULE						
CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	99	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	45 GAL.	4"	10'-12'	FULL, MATCHING, SYMMETRICAL
	36	QUERCUS MACROCARPA BURR OAK	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	38	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	40	ULMUS CRASSIFOLIA CEDAR ELM	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	72	CHILOPSIS LINEARIS DESERT WILLOW	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
	39	ILEX VOMITORIA YAUPON HOLLY	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
	39	SOPHORA AFFINIS EVE'S NECKLACE	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	327	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	24" HT.	PER PLAN	FULL, MATCHING, SYMMETRICAL
	309	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	271	ROSMARINUS OFFICINALIS ROSEMARY	3 GAL.			
	309	YUCCA RECURVIFOLIA SOFT LEAF YUCCA	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	395,787 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SEED RATE PER MANUFACTURER			
	215,054 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SOD			

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

LANDSCAPE SCHEDULE

No.	Date	Revision	Description



SHEET NUMBER

L-2.02

PROJECT NO.: TEMPLATE



11/18/21

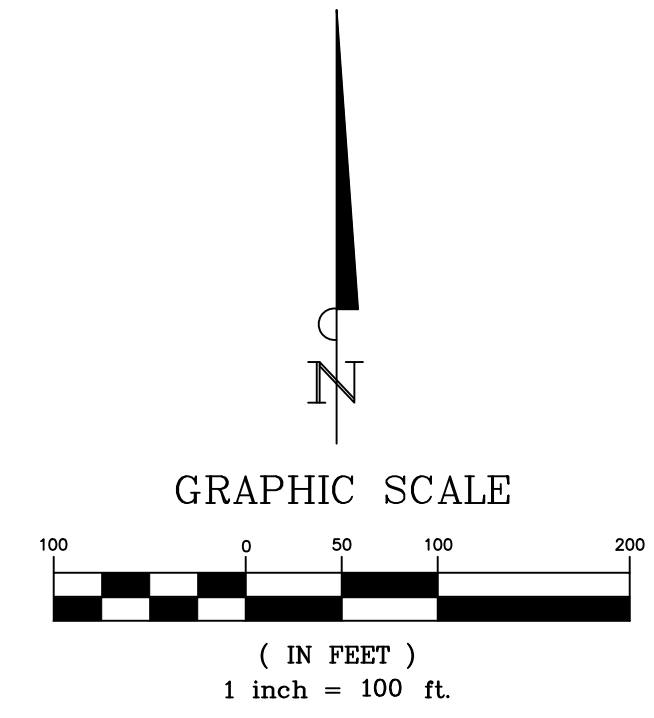


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TREE LEGEND

-  PRESERVED EXISTING TREE
-  REMOVED EXISTING TREE



TOTAL MITIGATION REQUIRED	1,112.1
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(45.9)
REMAINING MITIGATION REQUIRED	0.0

SITE DATA

ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

APPLICANT

SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

OWNERS

REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

**Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS**

TREESCAPE PLAN

No.	Date	Revision	Description



SHEET NUMBER

L-3.00

PROJECT NO.: TEMPLATE

11/18/21

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	
1	32.0	sugarberry	20	Yes	Damaged	REMOVED	-	-	-	-	-	
2	17.0	sugarberry	18	No	Healthy	REMOVED	-	-	8.5	-	-	
53	26.6	eastern red cedar	20	Yes	Healthy	REMOVED	53.2	-	-	-	-	
55	26.5	eastern red cedar	20	Yes	Healthy	REMOVED	53.0	-	-	-	-	
56	20.4	eastern red cedar	20	Yes	Healthy	REMOVED	-	-	10.2	-	-	
57	11.9	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-	
58	11.6	eastern red cedar	11	No	Healthy	REMOVED	-	-	5.8	-	-	
59	11.0	eastern red cedar	10	No	Healthy	REMOVED	-	-	5.5	-	-	
60	12.2	eastern red cedar	12	No	Healthy	REMOVED	-	-	6.1	-	-	
500	9.4	Scotch pine	7	No	Healthy	REMOVED	-	9.4	-	-	-	
501	6.9	Scotch pine	5	No	Healthy	REMOVED	-	6.9	-	-	-	
502	16.0	silver maple	16	No	Healthy	REMOVED	-	16.0	-	-	-	
503	15.1	Scotch pine	13	No	Healthy	REMOVED	-	15.1	-	-	-	
504	11.2	Scotch pine	6	No	Healthy	REMOVED	-	11.2	-	-	-	
505	6.0	Scotch pine	4	No	Healthy	REMOVED	-	6.0	-	-	-	
506	8.9	Scotch pine	7	No	Healthy	REMOVED	-	8.9	-	-	-	
507	11.6	sugarberry	11	No	Healthy	REMOVED	-	-	5.8	-	-	
508	15.1	Scotch pine	11	No	Healthy	REMOVED	-	15.1	-	-	-	
509	11.9	Scotch pine	11	No	Healthy	REMOVED	-	11.9	-	-	-	
510	27.1	Bradford pear	21	Yes	Healthy	REMOVED	54.2	-	-	-	-	
511	6.0	bald cypress	6	No	Healthy	REMOVED	-	6.0	-	-	-	
512	10.5	Scotch pine	7	No	Healthy	REMOVED	-	10.5	-	-	-	
513	17.6	live oak	18	No	Healthy	REMOVED	-	17.6	-	-	-	
514	20.3	live oak	22	No	Healthy	REMOVED	-	20.3	-	-	-	
515	6.6	Shumard's oak	7	No	Damaged	REMOVED	-	-	-	-	-	
516	15.6	live oak	14	Yes	Damaged	REMOVED	-	-	-	-	-	
517	30.2	Bradford pear	25	Yes	Healthy	REMOVED	60.4	-	-	-	-	
518	14.7	Shumard's oak	17	No	Healthy	REMOVED	-	14.7	-	-	-	
519	11.8	cottonwood	7	No	Damaged	REMOVED	-	-	-	-	-	
520	15.8	eastern red cedar	10	No	Healthy	PRESERVED	-	-	-	-	-	
521	13.1	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-	
522	13.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
523	14.3	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
524	13.6	sugarberry	16	No	Healthy	REMOVED	-	-	6.8	-	-	
525	11.8	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-	
526	11.2	sugarberry	11	No	Healthy	REMOVED	-	-	5.6	-	-	
527	12.9	sugarberry	18	No	Healthy	REMOVED	-	-	6.4	-	-	
528	12.5	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-	
529	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-	
530	11.2	sugarberry	13	No	Healthy	REMOVED	-	-	5.6	-	-	
531	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-	
532	17.2	sugarberry	20	No	Healthy	REMOVED	-	-	8.6	-	-	
533	21.7	sugarberry	27	No	Damaged	REMOVED	-	-	-	-	-	
534	11.0	sugarberry	16	No	Healthy	REMOVED	-	-	5.5	-	-	
535	22.3	sugarberry	24	No	Damaged	REMOVED	-	-	-	-	-	
536	15.1	sugarberry	16	Yes	Damaged	REMOVED	-	-	-	-	-	
537	13.5	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
538	11.7	sugarberry	13	No	Healthy	REMOVED	-	-	5.8	-	-	
539	11.0	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-	
540	11.2	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-	
541	16.8	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
542	22.8	sugarberry	23	No	Healthy	PRESERVED	-	-	-	-	-	
543	11.0	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-	
544	11.1	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-	
545	11.5	eastern red cedar	15	No	Damaged	PRESERVED	-	-	-	-	-	
546	12.3	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
547	24.2	black willow	26	Yes	Healthy	PRESERVED	-	-	-	-	-	
548	13.5	black willow	10	No	Healthy	PRESERVED	-	-	-	-	-	
549	5.7	Hercules-club	6	Yes	Healthy	PRESERVED	-	-	-	-	-	
550	6.5	gum bumelia	6	Yes	Healthy	PRESERVED	-	-	-	-	-	
551	8.0	gum bumelia	6	Yes	Healthy	PRESERVED	-	-	-	-	-	
552	4.2	common persimmon	5	No	Healthy	PRESERVED	-	-	-	-	-	
553	12.4	sugarberry	13	No	Damaged	PRESERVED	-	-	-	-	-	
554	11.4	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-	
555	11.0	sugarberry	10	No	Damaged	PRESERVED	-	-	-	-	-	
556	11.1	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-	
557	15.7	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
							220.8	169.6	104.7	-	-	
							Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	
601	11.5	eastern red cedar	14	No	Healthy	REMOVED	-	-	5.8	-	-	
602	26.5	sugarberry	27	Yes	Healthy	REMOVED	53.0	-	-	-	-	
603	13.4	sugarberry	14	No	Healthy	REMOVED	-	-	6.7	-	-	
604	14.3	sugarberry	15	Yes	Healthy	REMOVED	-	-	7.2	-	-	
605	11.3	eastern red cedar	1	No	Healthy	REMOVED	-	-	5.7	-	-	
606	28.9	sugarberry	30	No	Healthy	REMOVED	57.8	-	-	-	-	
607	13.0	sugarberry	14	No	Healthy	REMOVED	-	-	6.5	-	-	
608	23.7	sugarberry	24	No	Healthy	REMOVED	-	-	11.9	-	-	
609	14.6	eastern red cedar	15	No	Healthy	REMOVED	-	-	7.3	-	-	
610	12.3	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-	
611	33.3	sugarberry	30	Yes	Healthy	REMOVED	66.6	-	-	-	-	
612	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-	
613	11.6	sugarberry	12	No	Healthy	REMOVED	-	-	5.8	-	-	
614	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-	
615	14.9	sugarberry	15	No	Healthy	REMOVED	-	-	7.4	-	-	
616	12.6	gum bumelia	13	No	Healthy	REMOVED	-	12.6	-	-	-	
617	13.8	sugarberry	14	No	Healthy	REMOVED	-	-	6.9	-	-	
618	18.8	Osage-orange	20	Yes	Healthy	REMOVED	-	-	-	N/A	-	
619	30.3	Osage-orange	30	Yes	Healthy	REMOVED	-	-	-	N/A	-	
620	6.0	American elm	6	No	Healthy	REMOVED	-	6.0	-	-	-	
621	13.6	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-	
622	14.6	eastern red cedar	15	No	Healthy	PRESERVED	-	-	-	-	-	
623	11.7	eastern red cedar	13	No	Healthy	PRESERVED	-	-	-	-	-	
624	19.4	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-	
625	37.5	sugarberry	30	No	Healthy	PRESERVED	-	-	-	-	-	
626	7.2	Bradford pear	8	No	Healthy	REMOVED	-	7.2	-	-	-	
627	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-	
628	6.2	Bradford pear	6	No	Healthy	REMOVED	-	6.2	-	-	-	
629	29.8	sugarberry	30	Yes	Healthy	REMOVED	59.6	-	-	-	-	
630	13.1	eastern red cedar	14	No	Healthy	REMOVED	-	-	6.6	-	-	
631	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-	
632	11.0	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.5	-	-	
633	13.3	eastern red cedar	14	Yes	Healthy	REMOVED	-	-	6.7	-	-	
634	23.7	sugarberry	24	Yes	Healthy	REMOVED	-	-	11.9	-	-	
635	14.4	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
636	11.8	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-	
637	13.5	sugarberry	14	No	Damaged	PRESERVED	-	-	-	-	-	
638	13.6	sugarberry	14	No	Healthy	PRESERVED	-	-	-	-	-	
639	14.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
640	11.1	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-	
641	19.3	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-	
642	15.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
643	16.6	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-	
644	16.9	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-	
645	16.7	sugarberry	17	Yes	Healthy	REMOVED	-	-	8.4	-	-	
646	12.4	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-	
647	12.4	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-	
648	14.6	sugarberry	15	No	Healthy	REMOVED	-	-	7.3	-	-	
649	14.8	sugarberry	15	No	Healthy	REMOVED	-	-	7.4	-	-	
650	27.1	eastern red cedar	28	No	Healthy	REMOVED	54.2	-	-	-	-	
651	5.3	Hercules-club	6	No	Healthy	REMOVED	-	-	-	N/A	-	
652	25.7	sugarberry	26	No	Healthy	REMOVED	51.4	-	-	-	-	
653	27.2	sugarberry	28	No	Healthy	REMOVED	54.4	-	-	-	-	
654	11.4	Osage-orange	11	No	Healthy	REMOVED	-	-	-	N/A	-	
655	27.6	Osage-orange	28	Yes	Healthy	REMOVED	-	-	-	N/A	-	
656	15.7	Osage-orange	17	Yes	Healthy	REMOVED	-	-	-	N/A	-	
657	11.8	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-	
658	18.4	sugarberry	20	No	Healthy	REMOVED	-	-	9.2	-	-	
659	17.8	Osage-orange	18	No	Healthy	REMOVED	-	-	-	N/A	-	
660	11.8	sugarberry	12	No	Healthy	REMOVED	-	-	5.9	-	-	
661	38.9	sugarberry	42	Yes	Healthy	PRESERVED	-	-	-	-	-	
							397.0	32.0	188.0	-	-	
							Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

617.8	201.6	292.7	-	-	1,112.1
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	TOTAL

TOTAL MITIGATION REQUIRED	1,112.1
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(45.9)
REMAINING MITIGATION REQUIRED	0.0

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
LIVE OAK	PRIMARY
BUR OAK	PRIMARY
BRADFORD PEAR	PRIMARY
RED MULBERRY	PRIMARY
BALD CYPRESS	PRIMARY
CRAPE MYRTLE	PRIMARY
YAUAPON	PRIMARY
SCOTCH PINE	PRIMARY
SILVER MAPLE	PRIMARY
SHUMARD'S OAK	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN REDCEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
HERCULES-CLUB	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

TREESCAPE PLAN TABLES (1 OF 1)

No.	Date	Revision	Description



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: December 6, 2021
APPLICANT: Humberto Johnson, Jr.; *Skorburg Co.*
CASE NUMBER: P2021-051; *Preliminary Plat for the Winding Creek Subdivision*

SUMMARY

Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of Gordon C. Fogg for the approval of a Preliminary Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat the Winding Creek Subdivision. This subdivision is comprised of 132 single-family residential lots on a 78.831-acre tract of land. The proposed development will incorporate 16.197-acres (or 20.54%) of open space and will consist of lots constructed utilizing the Single-Family 16 (SF-16) District density and dimensional standards. Each lot will consist of a minimum size of 16,000 SF (*i.e. a minimum of 90' x 100'*). In addition to the Preliminary Plat, the applicant has also submitted preliminary drainage and utility plans showing how the development can be adequately served. With this submittal, the applicant also submitted a preliminary treescape plan; however, these plans will not be finalized until the submittal of the PD Site Plan.
- On January 18, 2011, the City Council annexed the subject property by adopting *Ordinance No. 11-03 [Case No. A2010-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 5, 2021, the City Council approved a request to rezone [*i.e. Case No. Z2021-005*] the subject property from an Agricultural (AG) District to Planned Development District 91 (PD-91) [*i.e. Ordinance No. 21-17*] for Single-Family 16 (SF-16) District land uses. On June 21, 2021, the City Council approved a preliminary plat [*Case No. P2021-026*] for a 38.012-acre portion of the subject property. On August 2, 2021, the City Council approved an amendment to Planned Development District 91 (PD-91) [*Case No. Z2021-027; Ordinance No. 21-36*] increasing the area of the Planned Development District to 58.842-acres. This ordinance also increased the overall lot count from 56 to 98 lots. On October 18, 2021, the City Council approved a request to again amend Planned Development District 91 (PD-91) [*Case No. Z2021-036; Ordinance No. 21-49*] to incorporate an additional 20.00-acres into the Planned Development District and increase the lot count to 132 lots.
- On November 2, 2021, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$76,164.00 (*i.e. \$577.00 x 132 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$80,388.00 (*i.e. \$609.00 x 132 Lots*), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the *Preliminary Plat* for the *Winding Creek Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 30, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat by a vote of 5-0, with Commissioners Chodon and Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. p2021-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 237 clem rd, Rockwall, Tx

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION SE corner of Clem Rd and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD 21-17

CURRENT USE Farm

PROPOSED ZONING PD 21-17

PROPOSED USE Single Family

ACREAGE Approx 58.8363

LOTS [CURRENT] 0

LOTS [PROPOSED] 132

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Falcon Place SF, LTD

APPLICANT Skorburg Company

CONTACT PERSON John Arnold

CONTACT PERSON Humberto Johnson Jr, PE

ADDRESS 8214 westchester Dr STE 900

ADDRESS 8214 westchester Dr STE 900

CITY, STATE & ZIP Dallas, Tx 75225

CITY, STATE & ZIP Dallas, Tx 75225

PHONE 214-522-4945

PHONE 682-225-5834

E-MAIL jarnold@skorburgcompany.com

E-MAIL jrjohnson@skorburgcompany.com

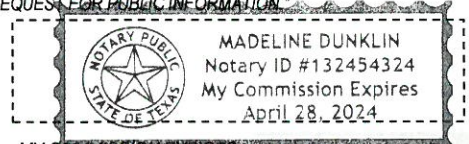
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 150 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF October, 2021

OWNER'S SIGNATURE _____

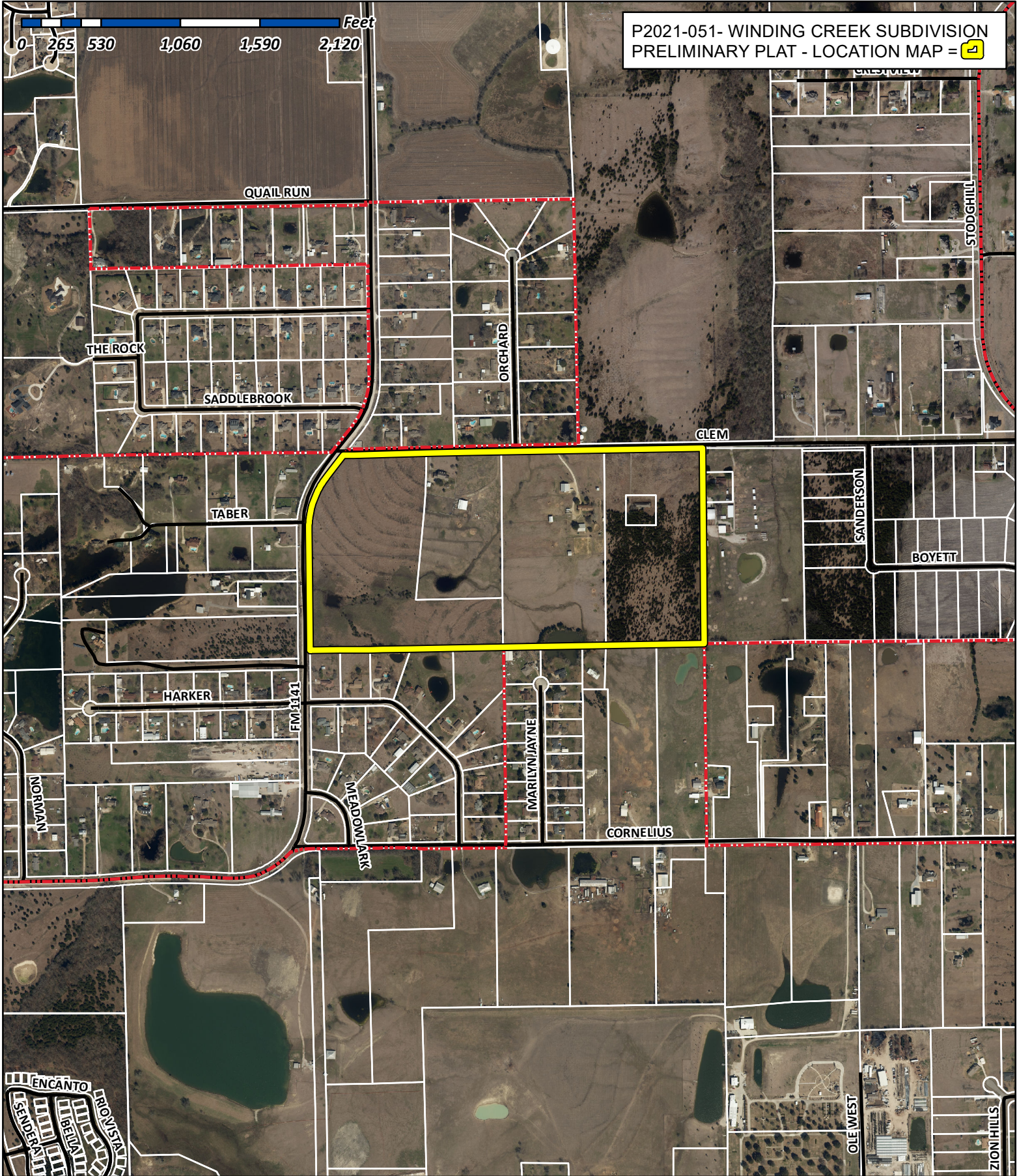


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

Madeline Dunklin

MY COMMISSION EXPIRES _____

4/28/24



P2021-051- WINDING CREEK SUBDIVISION
 PRELIMINARY PLAT - LOCATION MAP = 1



City of Rockwall

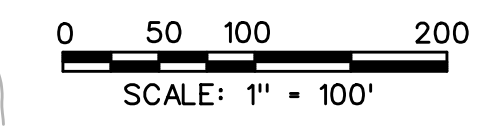
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

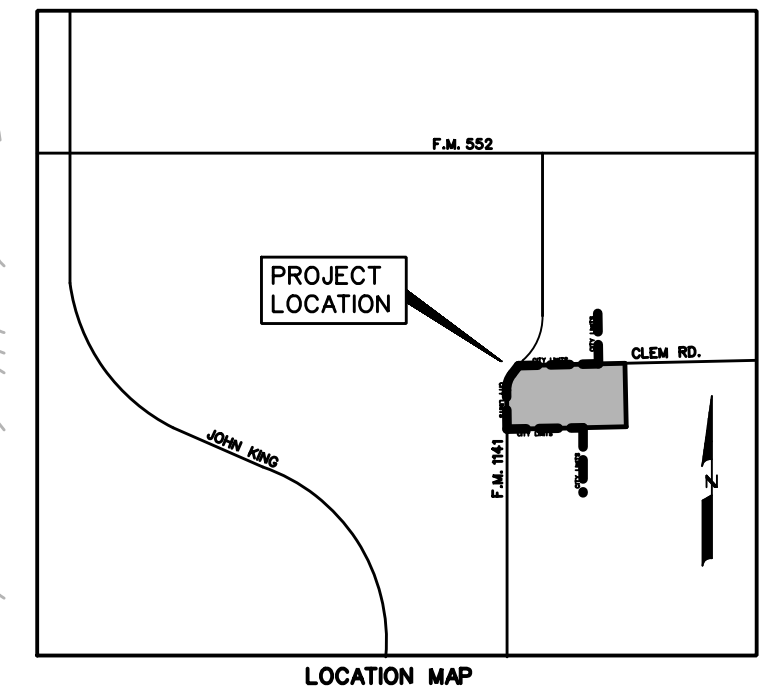
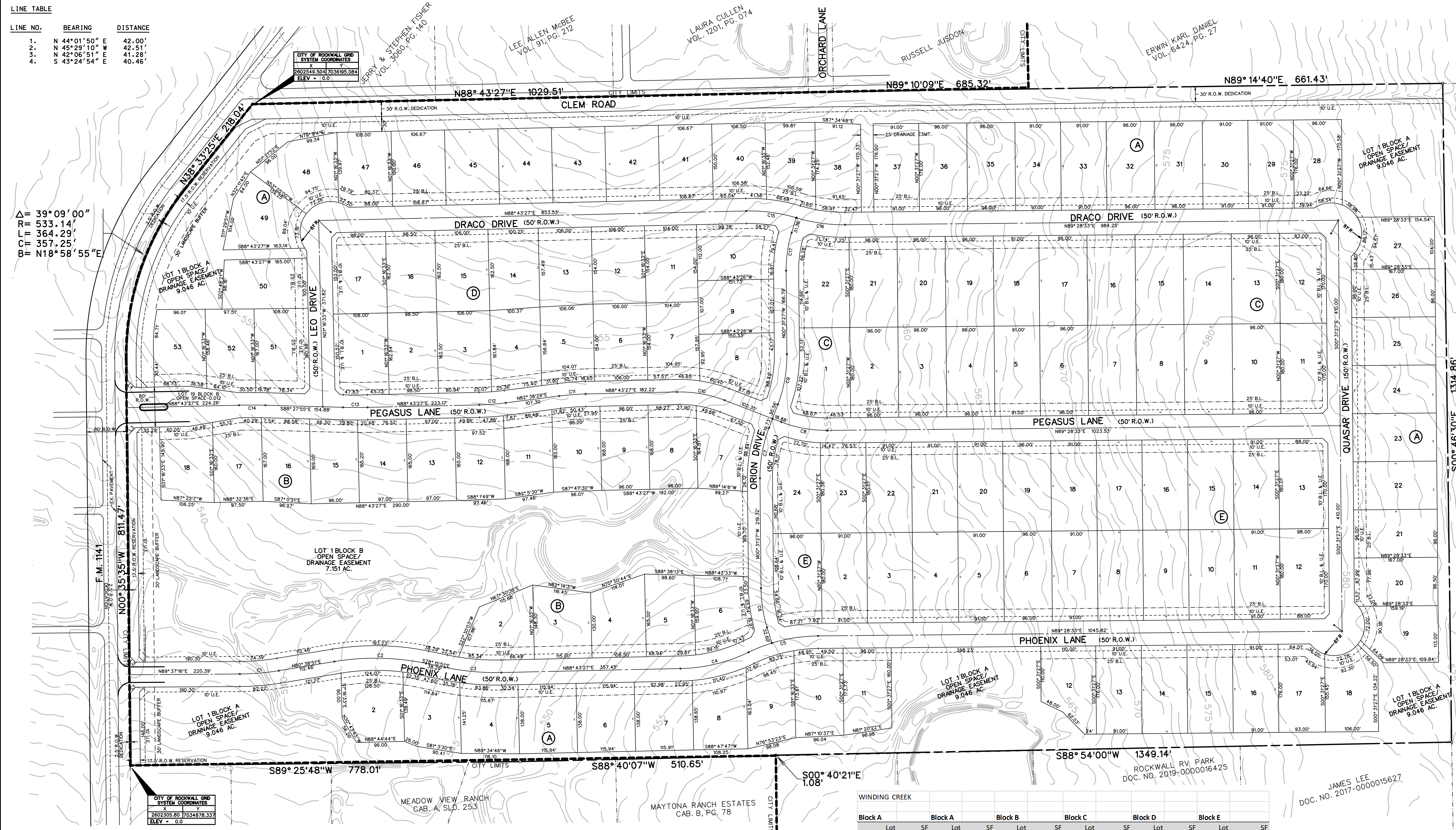


LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44°01'50" E	42.00'
2.	N 45°29'10" W	42.51'
3.	N 42°06'15" E	41.28'
4.	S 43°24'54" E	40.46'



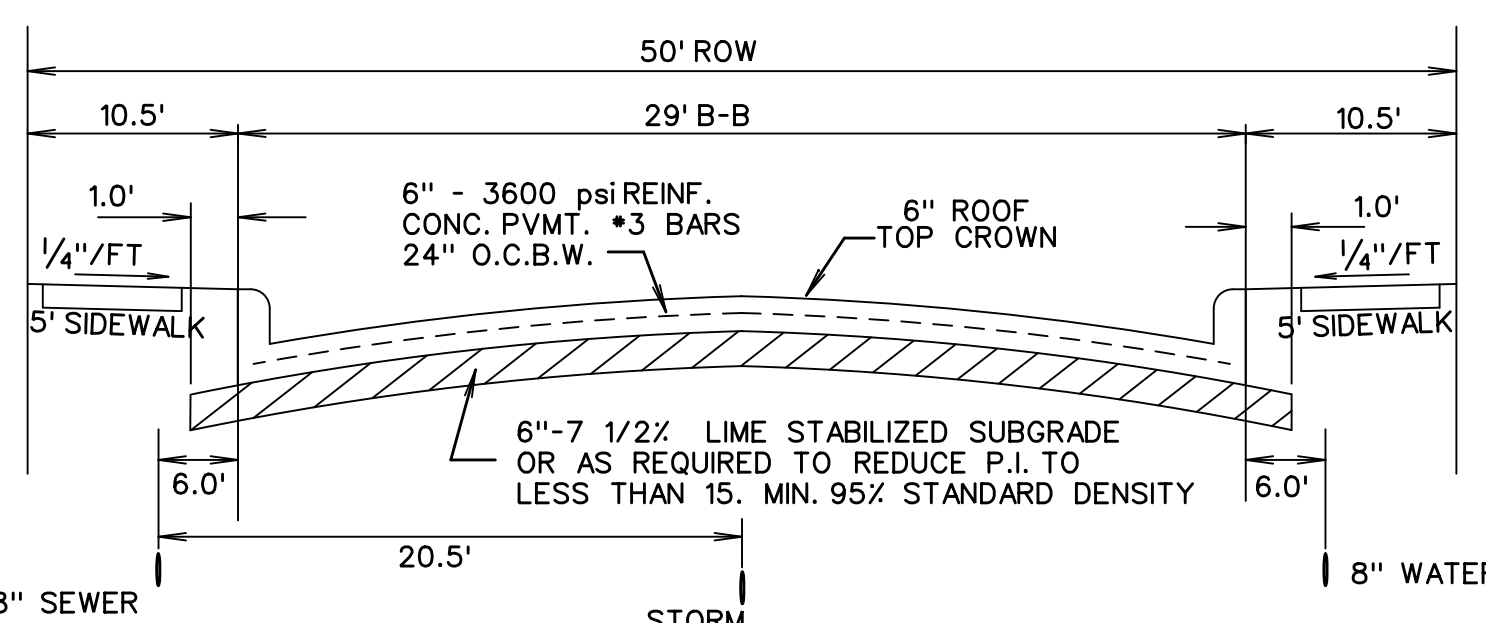
Δ = 39°09'00"
 R = 533.14'
 L = 364.29'
 C = 357.25'
 B = N18°58'55"E



TOTAL ACRES 78.831
 TOTAL RESIDENTIAL LOTS 132
 DENSITY 1.674
 EX. ZONING PD-91
 LAND USE SINGLE FAMILY DEVELOPMENT

LEGEND
 B.L. - BUILDING LINE
 D.E. - DRAINAGE EASEMENT
 U.E. - UTILITY EASEMENT
 R.O.W. - RIGHT OF WAY
 H.O.A. - HOMEOWNERS ASSOCIATION
 --- CITY LIMIT LINE

NOTES:
 ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
 HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.



TYPICAL PAVEMENT SECTION (29' B-B)
 N.T.S.

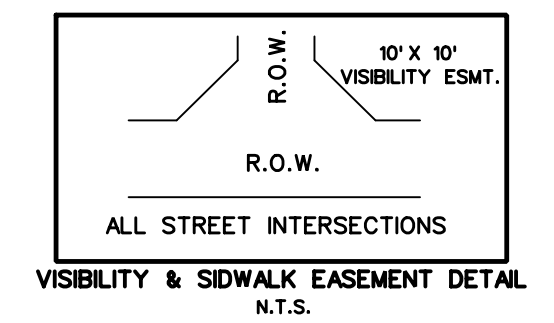
Reviewed for preliminary Approval:
 Planning & Zoning Commission Chairman _____ Date _____

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

Block A		Block B		Block C		Block D		Block E			
Lot	SF	Lot	SF	Lot	SF	Lot	SF	Lot	SF		
1*	394031	31	16896	1*	311524	1	18940	1	17455	1	17213
2	16851	32	16896	2	16003	2	17280	2	16006	2	16380
3	16054	33	16016	3	16002	3	17280	3	17219	3	16380
4	16001	34	16016	4	16004	4	17280	4	16002	4	16380
5	16000	35	16896	5	16015	5	16380	5	16341	5	16380
6	16000	36	16896	6	16008	6	17280	6	16324	6	17280
7	16000	37	16016	7	16040	7	17280	7	16077	7	16380
8	16001	38	16056	8	16088	8	17280	8	16807	8	16380
9	16403	39	16012	9	16128	9	17280	9	16160	9	16380
10	16997	40	16009	10	16094	10	17280	10	17378	10	16380
11	16019	41	16000	11	16019	11	16690	11	16016	11	16380
12	16017	42	16001	12	16056	12	16690	12	16324	12	17590
13	16016	43	16001	13	16005	13	17280	13	16509	13	17590
14	16016	44	16001	14	16006	14	17280	14	16040	14	16380
15	16016	45	16001	15	16025	15	17280	15	17225	15	16380
16	16016	46	16001	16	16129	16	17280	16	16006	16	16380
17	16007	47	16084	17	16146	17	17280	17	17500	17	16380
18	16550	48	17872	18	16007	18	16380	18	16380	18	16380
19	16175	49	17264	19*	511	19	17280	19	17280	19	17280
20	16080	50	16694	20	17280	20	17280	20	16380	20	16380
21	16032	51	18190	21	17280	21	17280	21	16380	21	16380
22	16032	52	16011	22	18192	22	18192	22	16380	22	16380
23	16032	53	16006					23	16382	23	16382
24	16032							24	17557		
25	16032										
26	16032										
27	16090										
28	16482										
29	16016										
30	16016										



PRELIMINARY PLAT
 OF
WINDING CREEK SUBDIVISION
 BEING
 78.831 ACRES or
 3,433,878.6 SF
 TOTAL RESIDENTIAL LOTS 132
 TOTAL OPEN SPACE LOTS 3

OUT OF THE
 J.M. GLASS SURVEY, ABSTRACT NO. 88

IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 APPLICANT/OWNERS
FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945

GORDON C. FOGG
 PO BOX 842
 ROCKWALL, TEXAS 75087

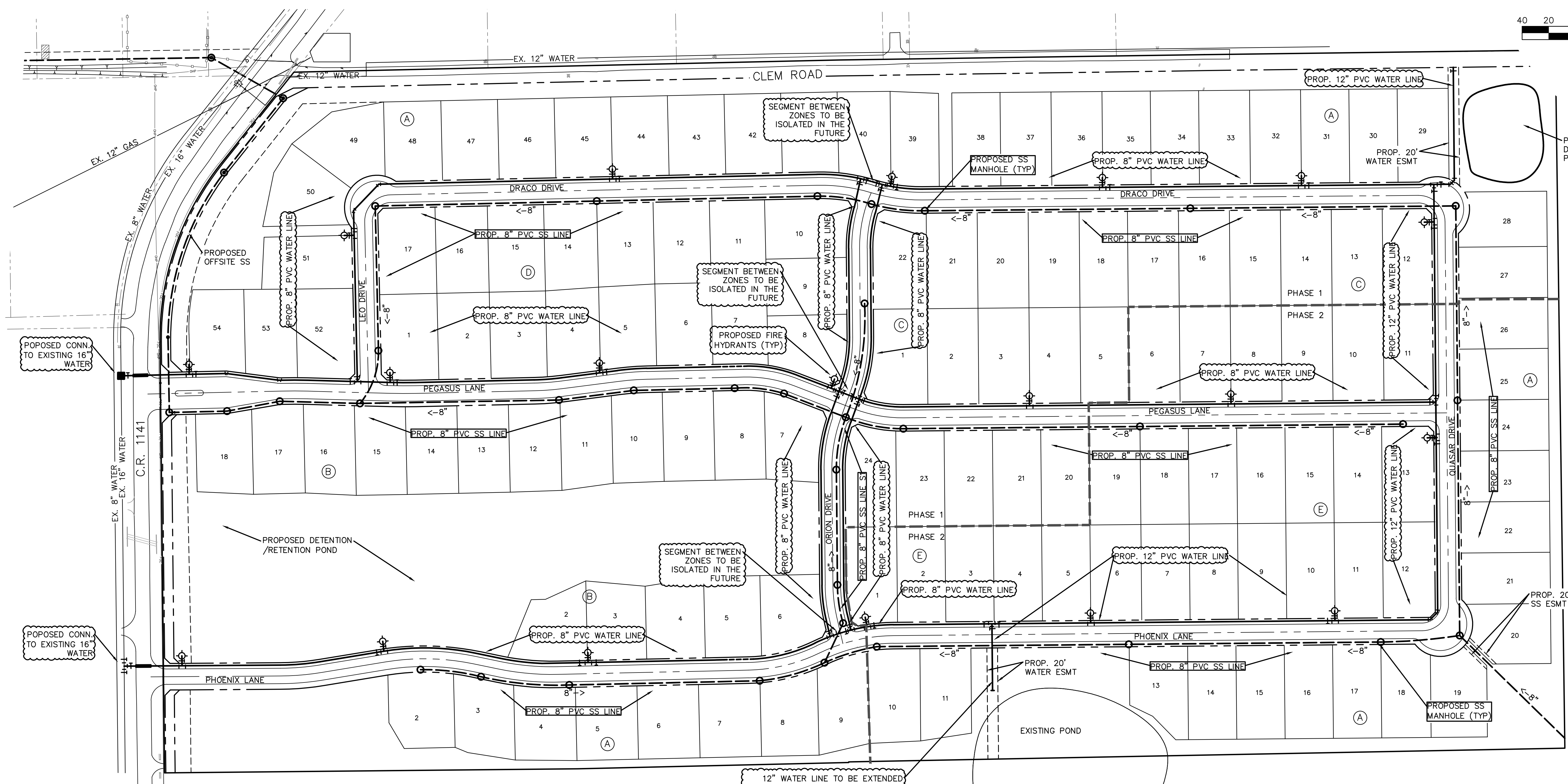
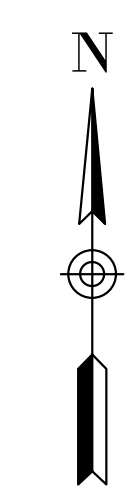
DECEMBER 2021 SCALE 1" = 100'

CASE #P2021-051

* Denotes open space.



SCALE:
HORIZ: 1"=100'



WATER NOTES:

1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2019 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 5TH EDITION, DATED NOVEMBER 2017. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
3. ALL WATER PIPE SHALL BE AWWA C900 PVC PIPE, DR-14 PC 305 (BLUE IN COLOR), UNLESS SPECIFIED OTHERWISE IN CITY OF ROCKWALL STANDARDS.
4. INSTALL BLUE EMS LOCATOR PADS ALONG WATER LINES AT EVERY TWO HUNDRED FIFTY (250') FEET, CHANGES IN DIRECTION, VALVE, CURB STOP AND SERVICE CONNECTION TO THE WATER MAIN AND ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
5. REFER TO CITY OF ROCKWALL STANDARDS FOR WATER PIPE EMBEDMENT.
6. MINIMUM COVER FOR WATER PIPE UNDER PAVEMENT IS 4'.
7. WATER SERVICES SHALL BE SDR-9 (POLYTUBE) HAVING A MINIMUM SIZE OF ONE INCH (1"). METER BOXES SHALL BE SET BETWEEN THE SIDEWALK AND THE BACK OF CURB AS SPECIFIED I CITY OF ROCKWALL STANDARDS.

WASTEWATER NOTES:

1. WITHIN THIS PLAN SET THE TERM "CITY OF ROCKWALL STANDARDS" IS MEANT TO INCLUDE THE CITY OF ROCKWALL STANDARDS OF DESIGN AND CONSTRUCTION MANUAL, DATED OCTOBER 2019 AND THE PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS, NORTH CENTRAL TEXAS, 5TH EDITION, DATED NOVEMBER 2017. CONTRACTOR SHALL REFER TO BOTH MANUALS PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WASTEWATER LINES AND APPURTENANCES THERETO SHALL BE CONSTRUCTED AND/OR INSTALLED PER CITY OF ROCKWALL STANDARDS.
3. A GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN, AND AT ANY OTHER LOCATION REQUIRED BY CITY OF ROCKWALL STANDARDS.
4. MANHOLES SHALL CONFORM TO CITY OF ROCKWALL STANDARDS.
5. RAVEN EPOXY COATING, CONSHIELD, OR APPROVED EQUAL, SHALL BE INSTALLED IN ALL MANHOLES.

FINAL LOCATIONS OF SANITARY SEWER MANHOLES AND FIRE HYDRANTS WILL BE DETERMINED DURING FINAL DESIGN.

SYMBOL LEGEND	
	PROPOSED 8" WATER LINE
	PROPOSED 8" SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT

PRELIMINARY
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PRELIMINARY UTILITY PLAN					
WINDING CREEK					
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS					
		CIVIL ENGINEERING DESIGN & CONSULTING <small>(Tex. Reg. No. F-456) 12655 N. CENTRAL EXPWY, SUITE 420 DALLAS, TEXAS 75243 TEL 214-373-1180 * FAX 214-373-6580 daytonm@macatee-engineering.com phillipf@macatee-engineering.com</small>			
DESIGNED BCP	CHECKED SDA	DATE 11/18/2021	DWG FILE WC_Preliminary utility	PROJECT # SKO_WC	SHEET NO.

LEGEND	
— 544 —	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF
---	CONCEPTUAL STORM ALIGNMENT

PROPOSED STORM SEWER LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING DESIGN



PROPOSED RUNOFF CALCULATIONS

AREA	ACRES	Tc (min)	C	I100	Q100
A1	0.24	10	0.5	9.8	1.2
A2	1.19	10	0.5	9.8	5.8
A3	2.03	10	0.5	9.8	9.9
A4	2.04	10	0.5	9.8	10.0
A5	1.36	10	0.5	9.8	6.7
A6	1.92	10	0.5	9.8	9.4
A7	1.02	10	0.5	9.8	5.0
A8	2.99	10	0.5	9.8	14.6
A9	2.81	10	0.5	9.8	13.8
A10	0.89	10	0.5	9.8	4.4
A11	1.63	10	0.5	9.8	8.0
A12	3.22	10	0.5	9.8	15.8
A13	3.28	10	0.5	9.8	16.1
A14	3.21	10	0.5	9.8	15.7
A15	3.20	10	0.5	9.8	15.7
A16	2.23	10	0.5	9.8	10.9
A17	0.86	10	0.5	9.8	4.2
A18	0.44	10	0.5	9.8	2.1
B1	2.43	10	0.5	9.8	11.9
B2	1.45	10	0.5	9.8	7.1
B3	2.76	10	0.5	9.8	13.5
B4	2.95	10	0.5	9.8	14.5
B5	3.78	10	0.5	9.8	18.5
B6	4.43	10	0.5	9.8	21.7
C1	1.51	10	0.5	9.8	7.4
C2	1.73	10	0.5	9.8	8.5
D1	2.25	10	0.5	9.8	11.0
D2	1.06	10	0.5	9.8	5.2
E1	3.28	10	0.5	9.8	16.1
F1	10.52	10	0.5	9.8	51.6
G1	1.72	10	0.5	9.8	8.4
X1	12.60	20	0.5	8.33	52.5
X2	0.90	10	0.9	9.8	7.9
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X6	0.83	10	0.9	9.8	7.3
X7	0.56	10	0.9	9.8	4.9
X8	4.00	10	0.5	9.8	19.6
X9	2.23	10	0.5	9.8	10.9
X10	2.92	10	0.5	9.8	14.3

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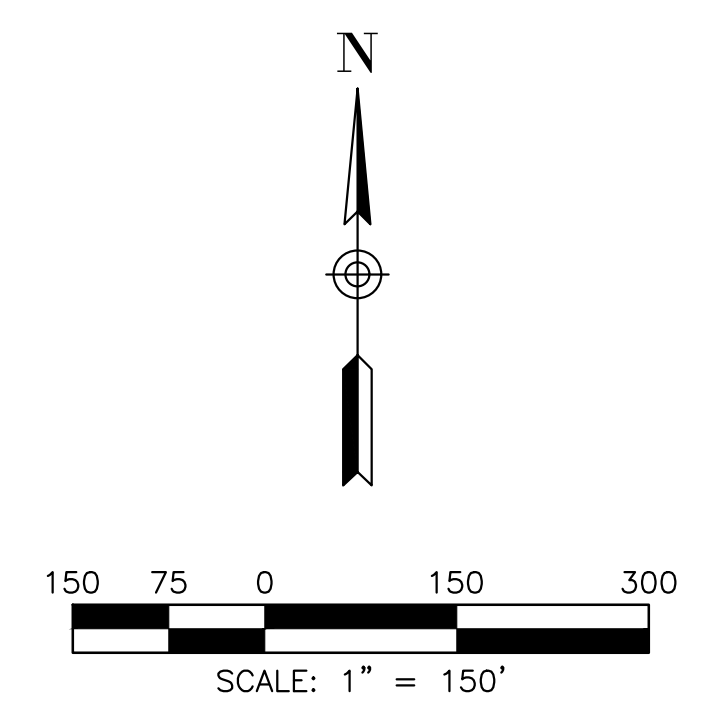
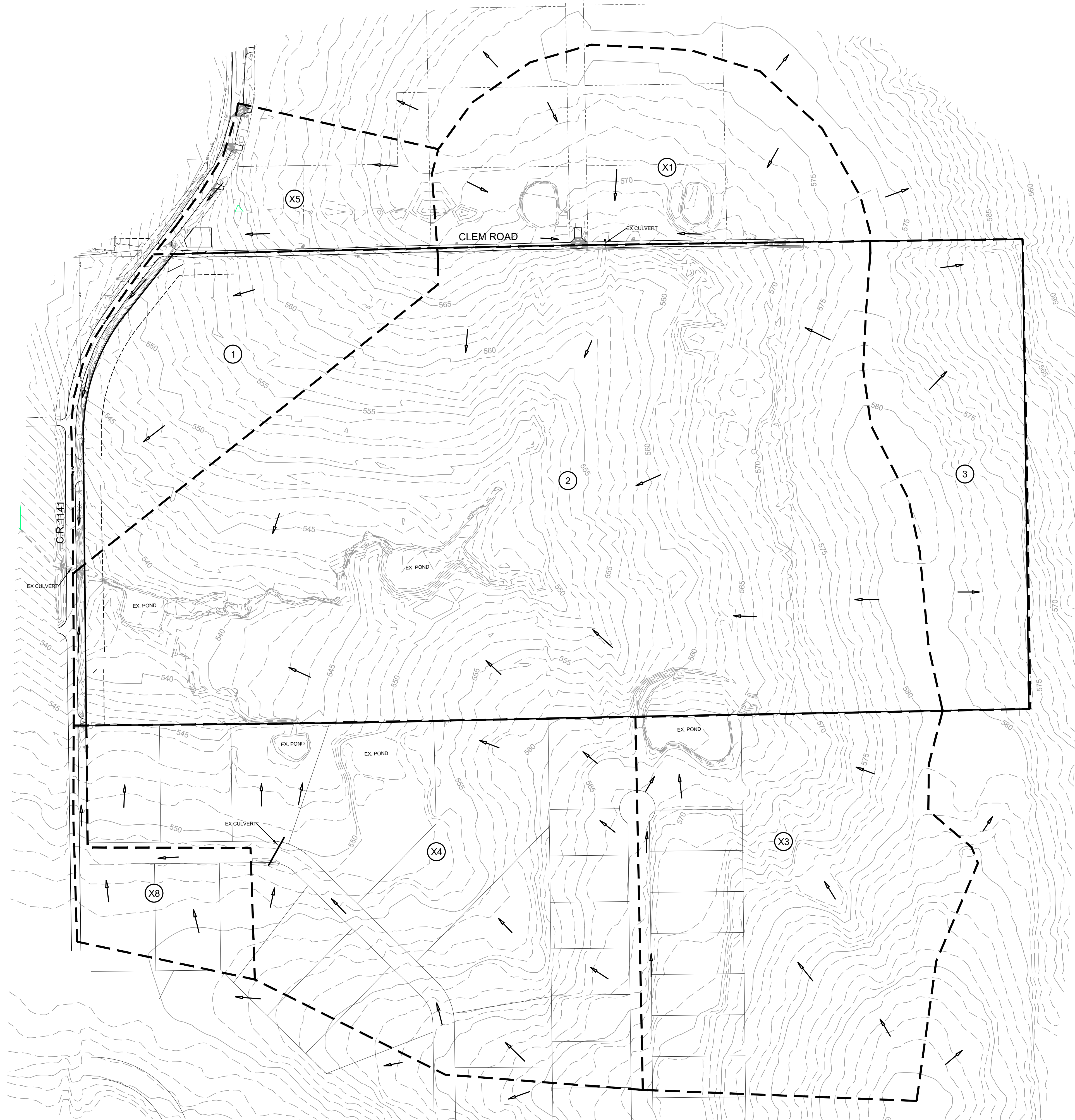
**CONCEPTUAL DRAINAGE AREA MAP
WINDING CREEK**

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



**CIVIL ENGINEERING
DESIGN & CONSULTING**
(Tex. Reg. No. F-456)
12655 N. CENTRAL EXPWY, SUITE 420
DALLAS, TEXAS 75243
TEL 214-373-1180 * FAX 214-373-6580
daytonm@macatee-engineering.com
phillipf@macatee-engineering.com


DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #	SHEET NO.
		11/18/2021			1 OF 1



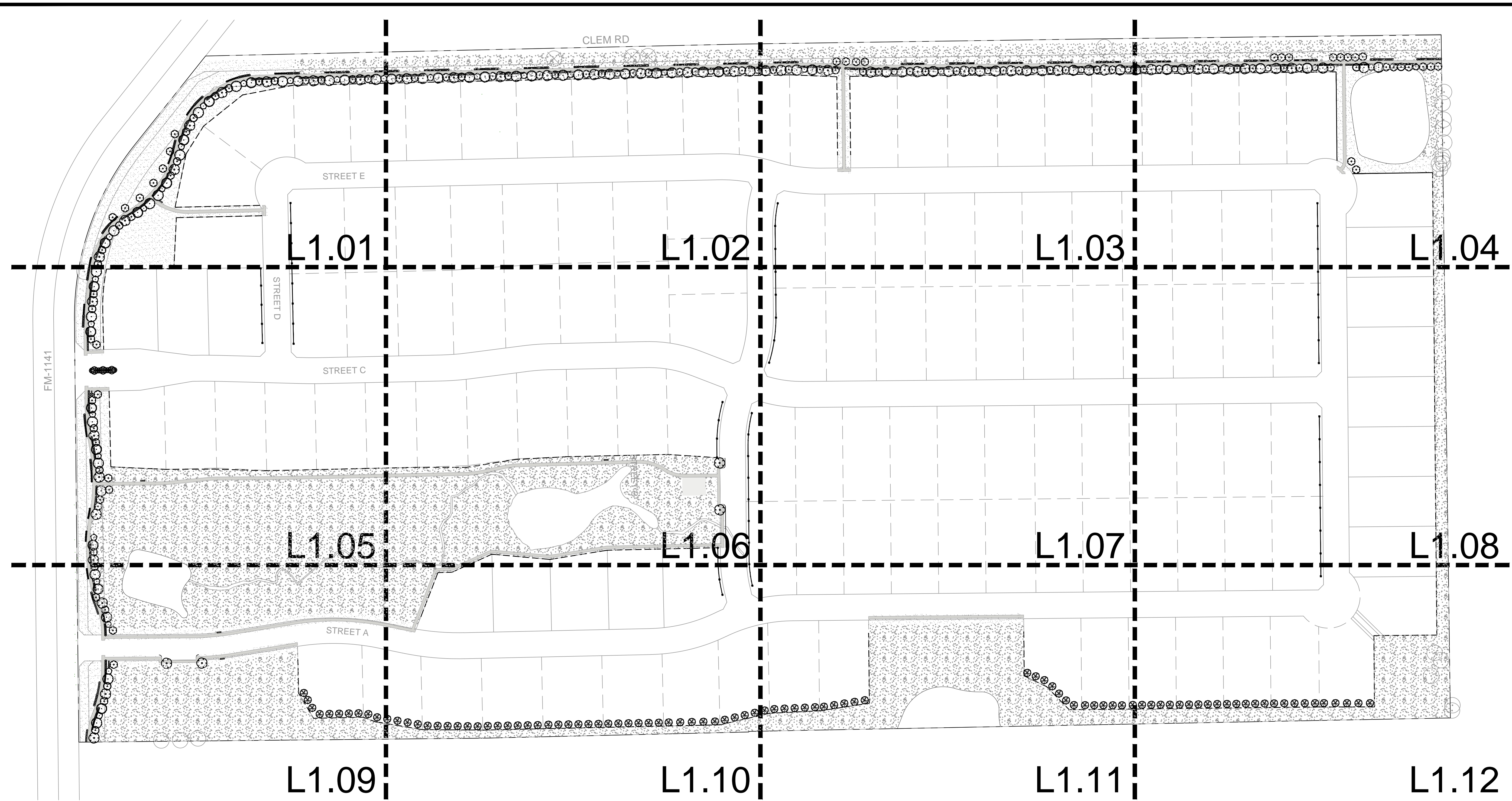
EXISTING RUNOFF CALCULATIONS					
AREA	ACRES	Tc (min)	C	I100	Q100
1	10.79	20	0.35	8.33	31.5
2	58.25	20	0.35	9.8	199.8
3	10.99	20	0.35	9.8	37.7
X1	12.60	20	0.5	8.33	52.5
X3	20.65	20	0.5	8.33	86.0
X4	27.35	20	0.5	8.33	113.9
X5	5.30	20	0.5	8.33	22.1
X8	4.00	10	0.5	9.8	19.6

LEGEND	
-544	EXISTING 1 FOOT CONTOUR INTERVAL
---	DRAINAGE DIVIDE
(B6)	DRAINAGE AREA
→	DIRECTION OF RUNOFF

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EXISTING DRAINAGE AREA MAP				
WINDING CREEK				
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS				
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DESIGNED	CHECKED	DATE	DWG FILE	PROJECT #
		10/15/2021		
				SHEET NO. 1 OF 1

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PLANT SCHEDULE

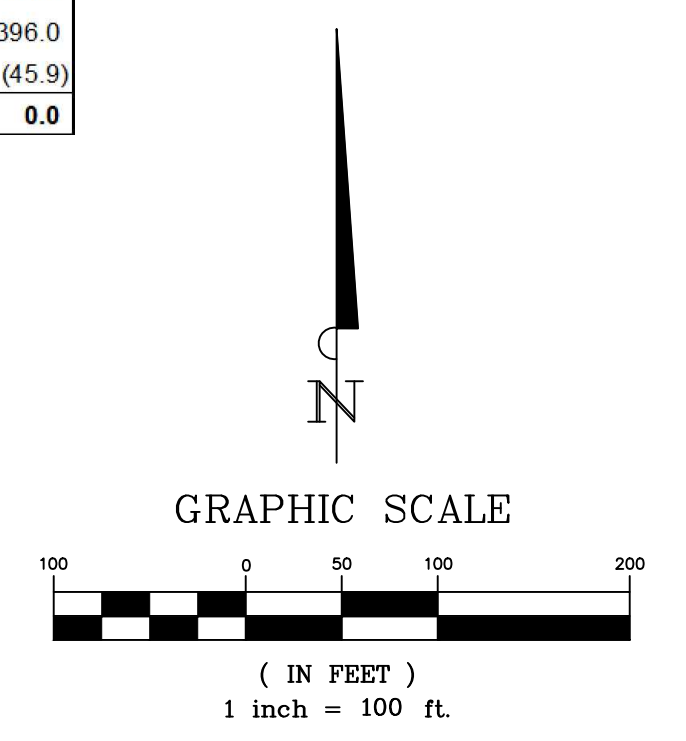
CANOPY TREES	BOTANICAL / COMMON NAME	SHRUBS	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR		HESPERALOE PARVIFLORA / RED YUCCA
	QUERCUS MACROCARPA / BURR OAK		LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS RANGER
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK		ROSMARINUS OFFICINALIS / ROSEMARY
	ULMUS CRASSIFOLIA / CEDAR ELM		YUCCA RECURVIFOLIA / SOFT LEAF YUCCA
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	GROUND COVERS	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS / DESERT WILLOW		CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS (SOD)
	ILEX VOMITORIA / YAUPON HOLLY		CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS (SEED)
	SOPHORA AFFINIS / EVE'S NECKLACE		

PD CALCULATIONS		
	REQUIRED	PROVIDED
FM-1141		
3 CANOPY TREES AND 4 ACCENT TREES PER 100 LINEAR FEET (1,252')	38 CANOPY TREES AND 51 ACCENT TREES	38 CANOPY TREES AND 51 ACCENT TREES
CLEM ROAD		
3 CANOPY TREES AND 4 ACCENT TREES PER 100 LINEAR FEET (2,392')	72 CANOPY TREES AND 96 ACCENT TREES	72 CANOPY TREES AND 96 ACCENT TREES
SOUTH PROPERTY LINE		
EASTERN RED CEDAR PLANTED 20' O.C. (1,913')	99 TREES	99 TREES

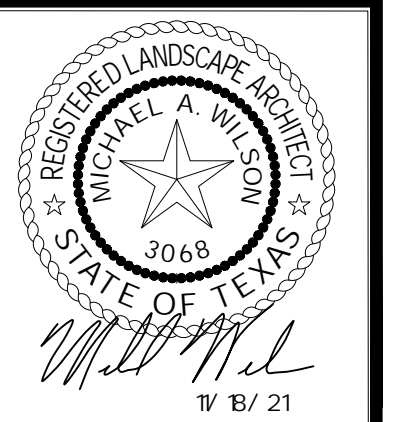
TOTAL MITIGATION REQUIRED	1,112.1
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(45.9)
REMAINING MITIGATION REQUIRED	0.0

APPLICANT
 SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225
SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

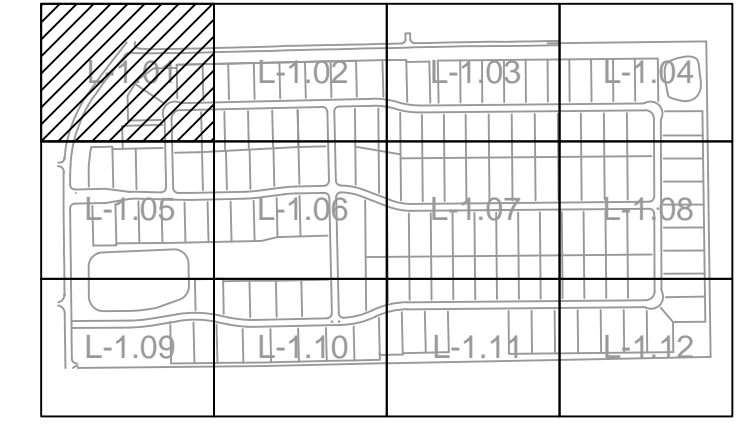
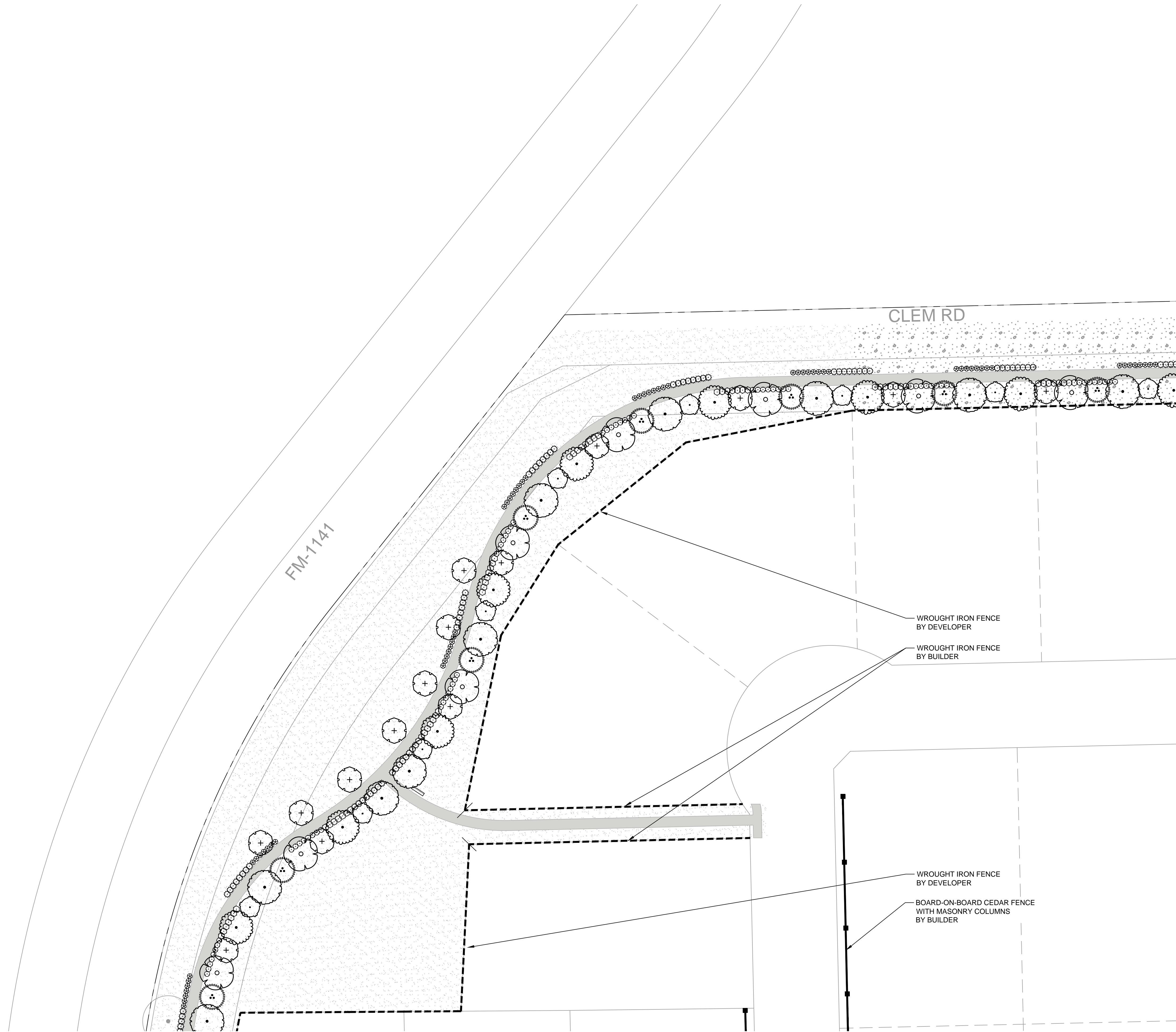
OWNERS
 REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080
 M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087



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KEY

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM

ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE

SHRUBS	BOTANICAL / COMMON NAME
	HESPERALOE PARVIFLORA RED YUCCA
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	YUCCA RECURVIFOLIA SOFT LEAF YUCCA

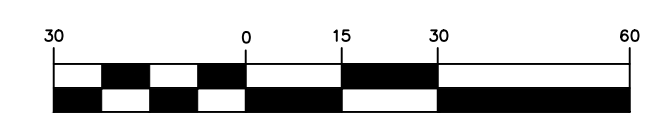
GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	WROUGHT - IRON
	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
	BOARD - ON - BOARD CEDAR FENCE



GRAPHIC SCALE

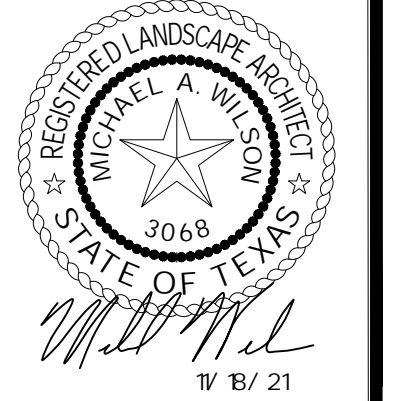


(IN FEET)
1 inch = 30 ft.

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REGISTRATION # F-10599 (TEXAS)

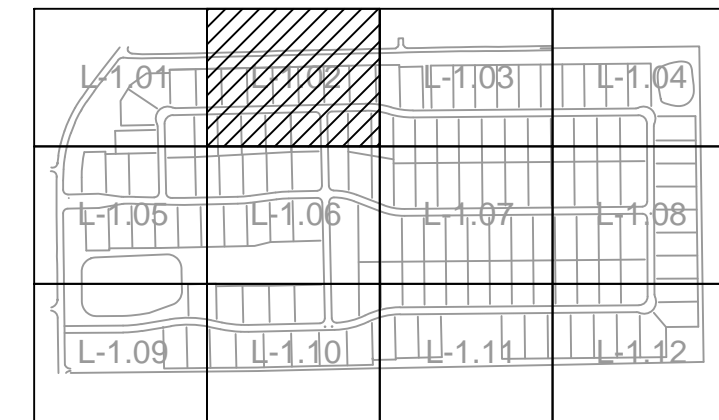
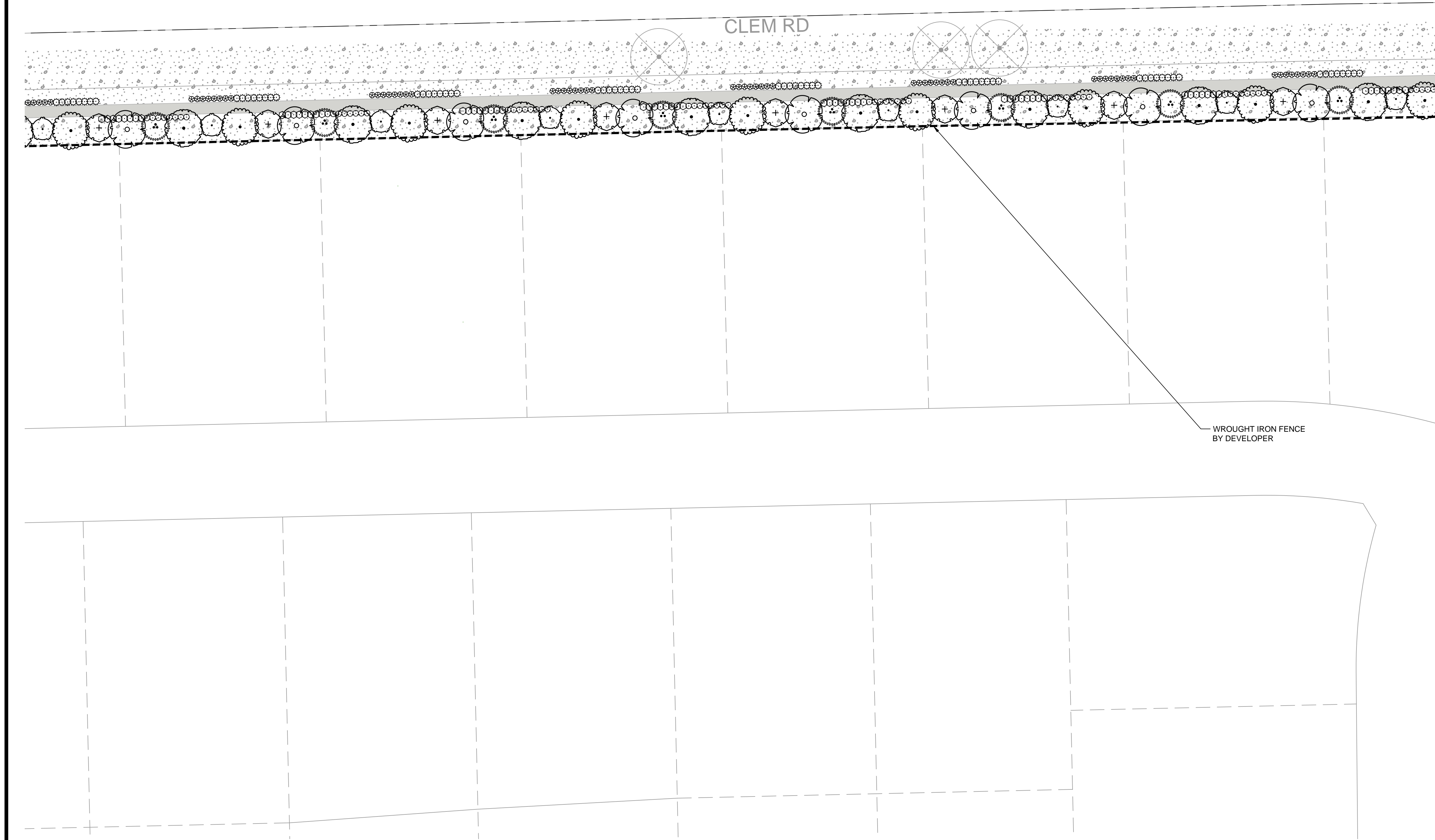
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ROCKWALL, TEXAS
LANDSCAPE ENLARGEMENT

No.	Date	Revision Description



SHEET NUMBER
L-1.01

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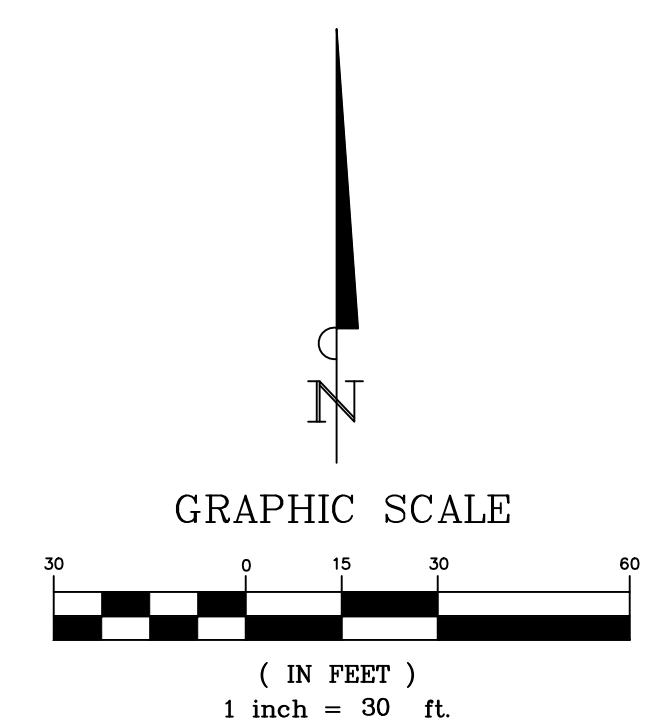
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PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	HESPERALOE PARVIFLORA RED YUCCA
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	YUCCA RECURVIFOLIA SOFT LEAF YUCCA
GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

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	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
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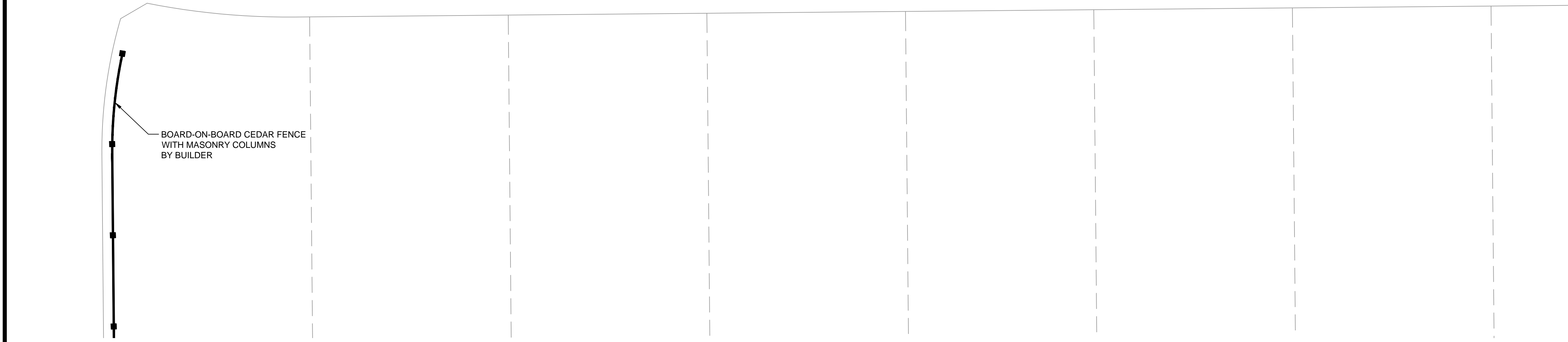
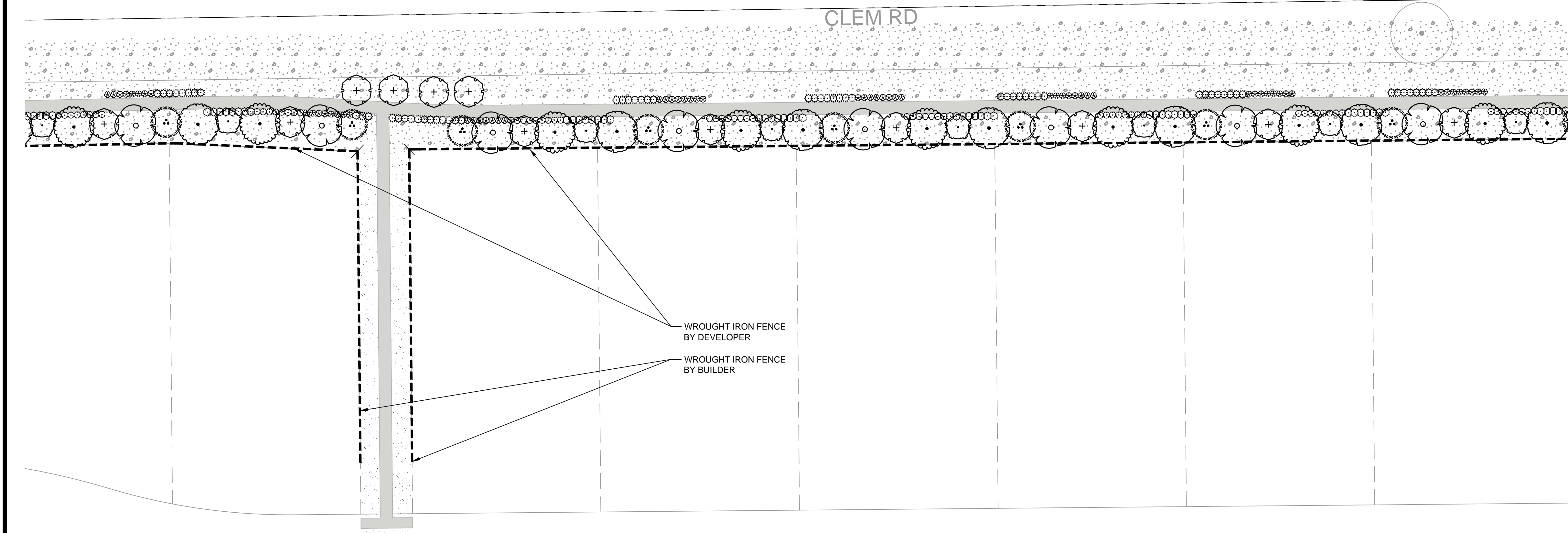
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 ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision Description



SHEET NUMBER
L-1.02



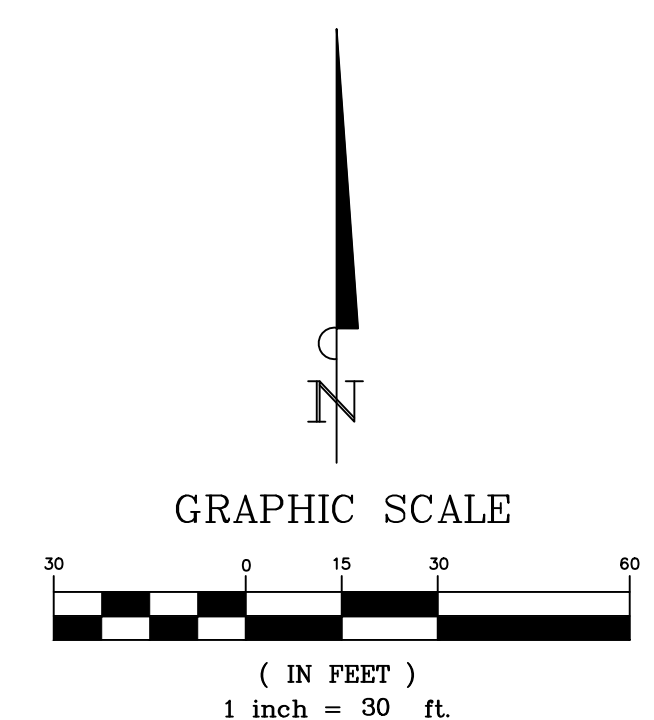
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PLANT SCHEDULE

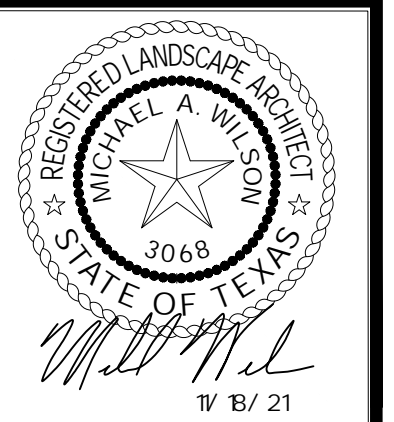
CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	HESPERALOE PARVIFLORA RED YUCCA
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	YUCCA RECURVIFOLIA SOFT LEAF YUCCA
GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

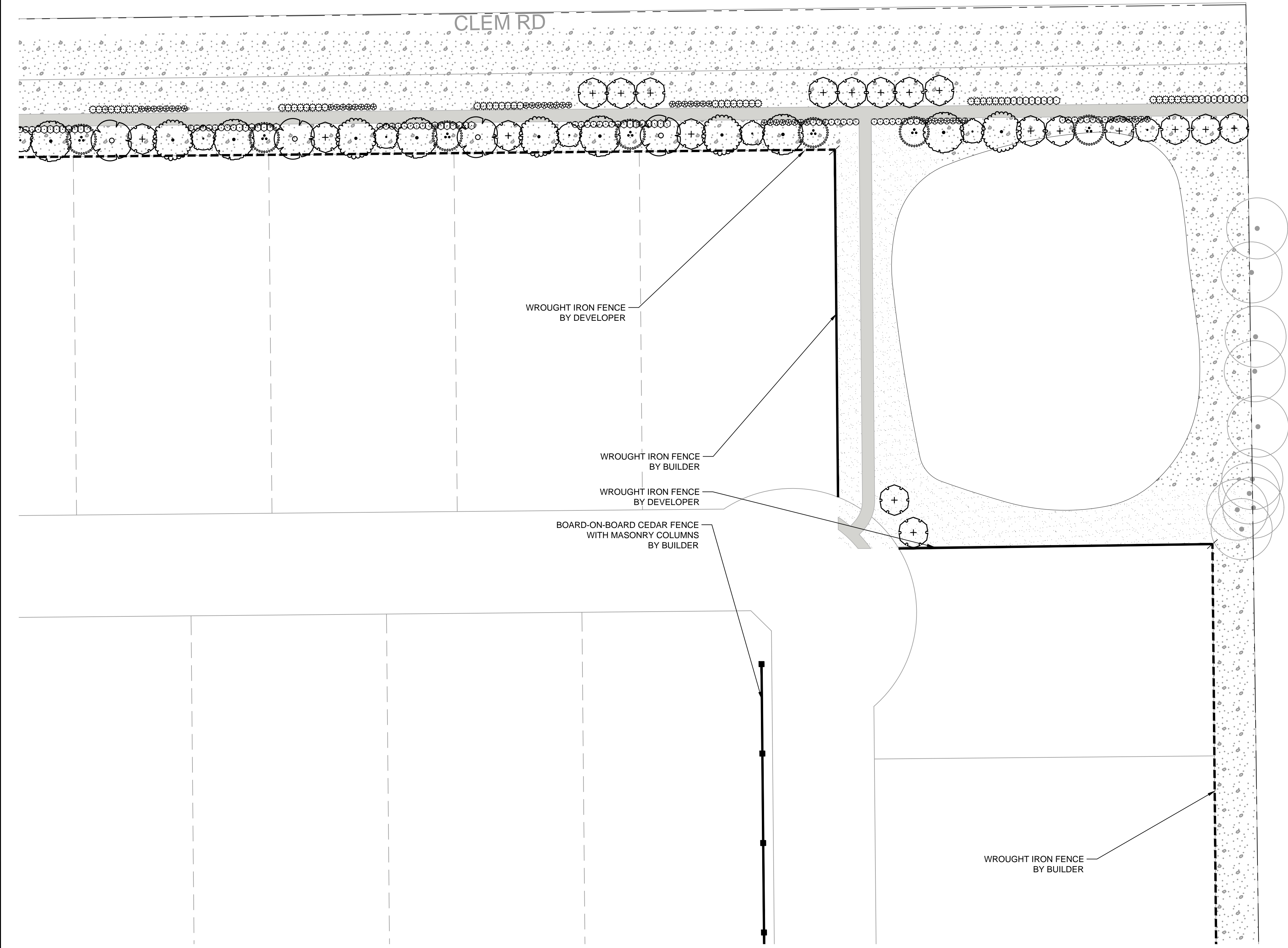
	WROUGHT - IRON
	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
	BOARD - ON - BOARD CEDAR FENCE



No.	Date	Revision	Description



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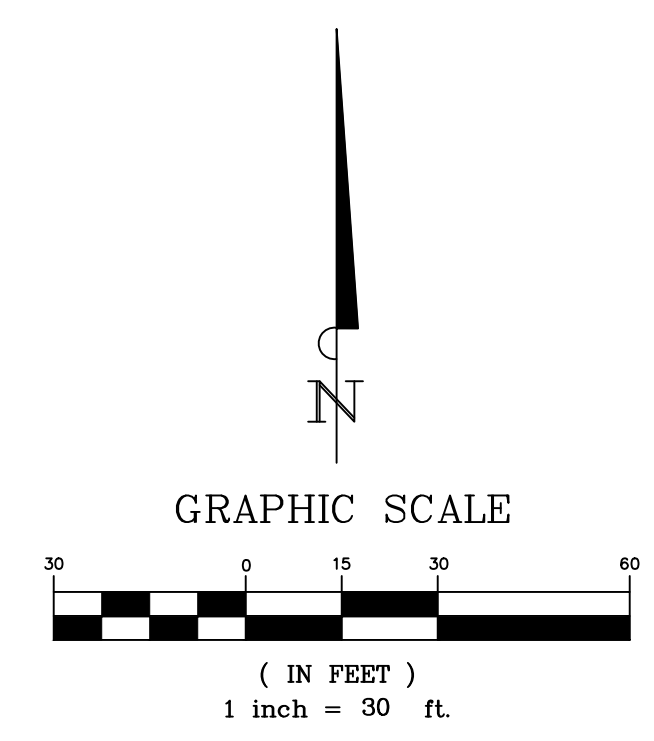
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PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA
	EASTERN RED CEDAR
	QUERCUS MACROCARPA
	BURR OAK
	QUERCUS VIRGINIANA
	SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA
	CEDAR ELM
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS
	DESERT WILLOW
	ILEX VOMITORIA
	YAUPON HOLLY
	SOPHORA AFFINIS
	EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	HESPERALOE PARVIFLORA
	RED YUCCA
	LEUCOPHYLLUM FRUTESCENS
	TEXAS RANGER
	ROSMARINUS OFFICINALIS
	ROSEMARY
	YUCCA RECURVIFOLIA
	SOFT LEAF YUCCA
GROUND COVERS	BOTANICAL / COMMON NAME
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	BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419'
	BERMUDA GRASS (SEED)

FENCING LEGEND

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	BOARD - ON - BOARD CEDAR FENCE

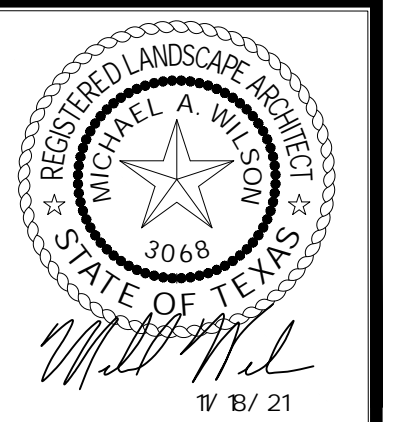


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REGISTRATION # F-10599 (TEXAS)

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ROCKWALL, TEXAS

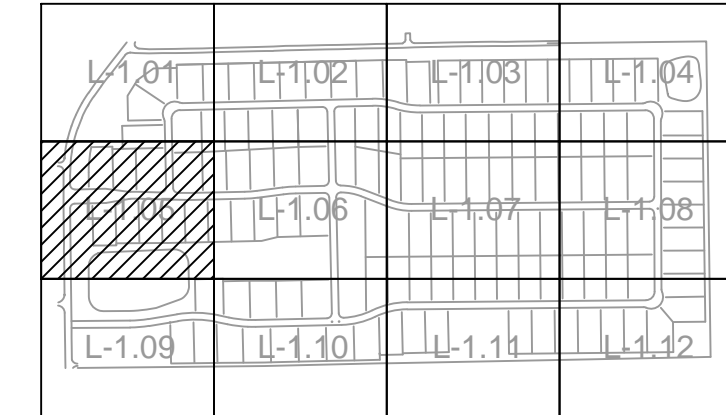
LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description



SHEET NUMBER
L-1.04

FM-1141



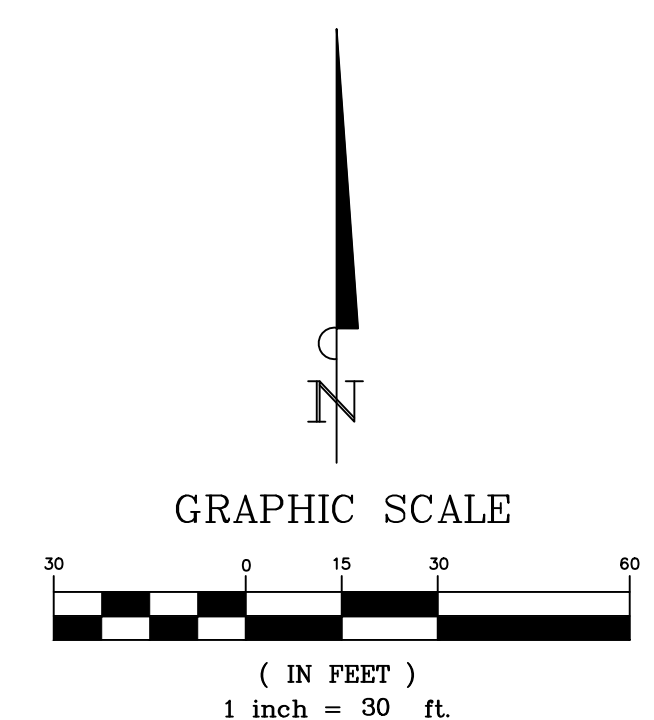
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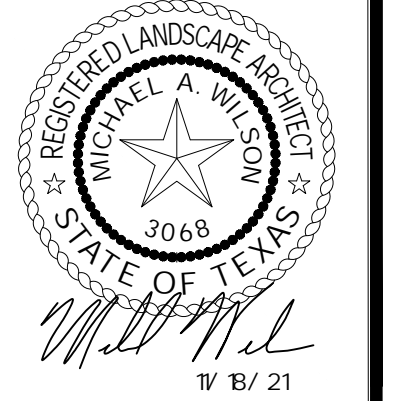
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

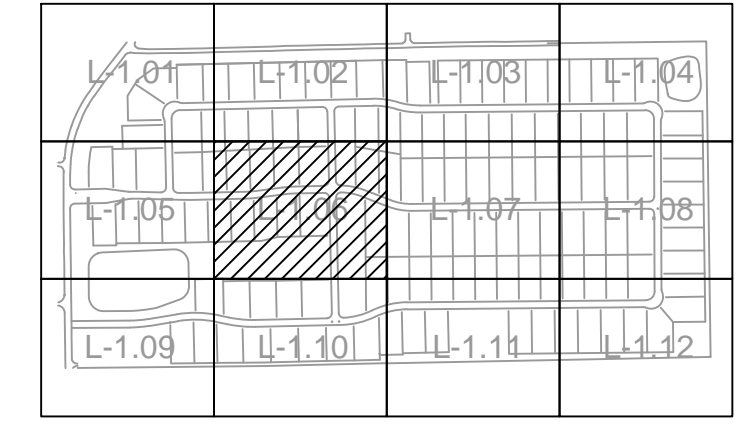
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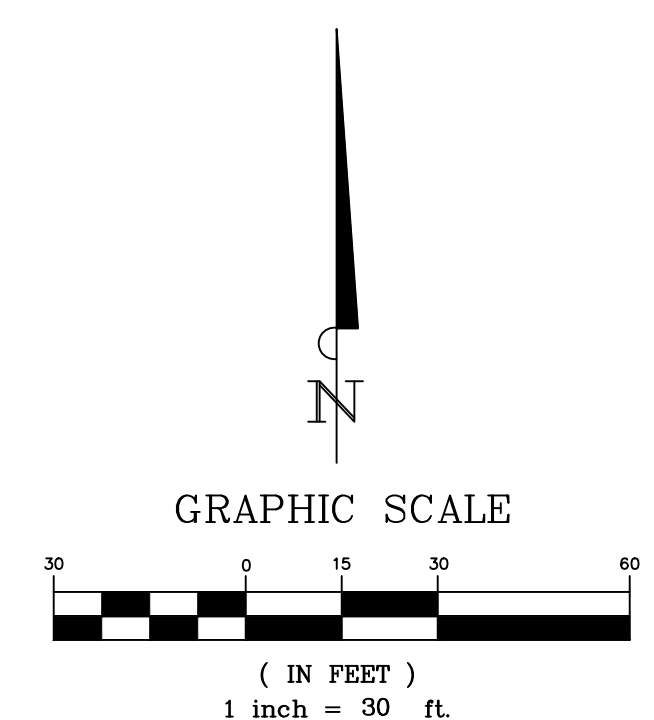


PLANT SCHEDULE

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	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
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SHRUBS	BOTANICAL / COMMON NAME
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

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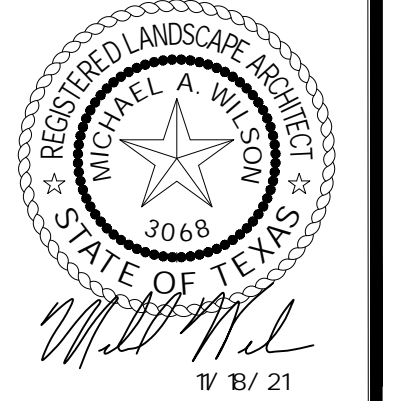
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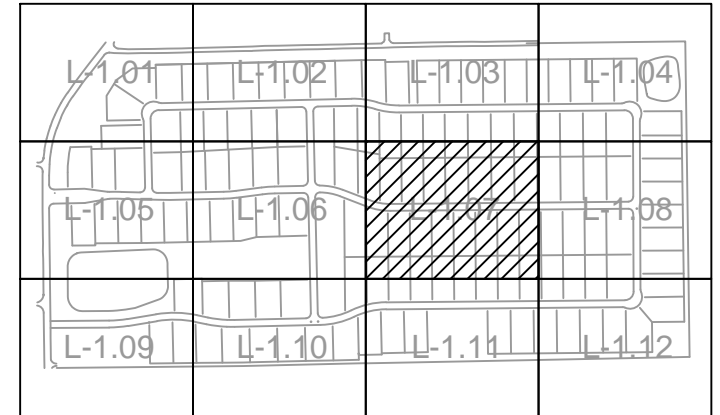
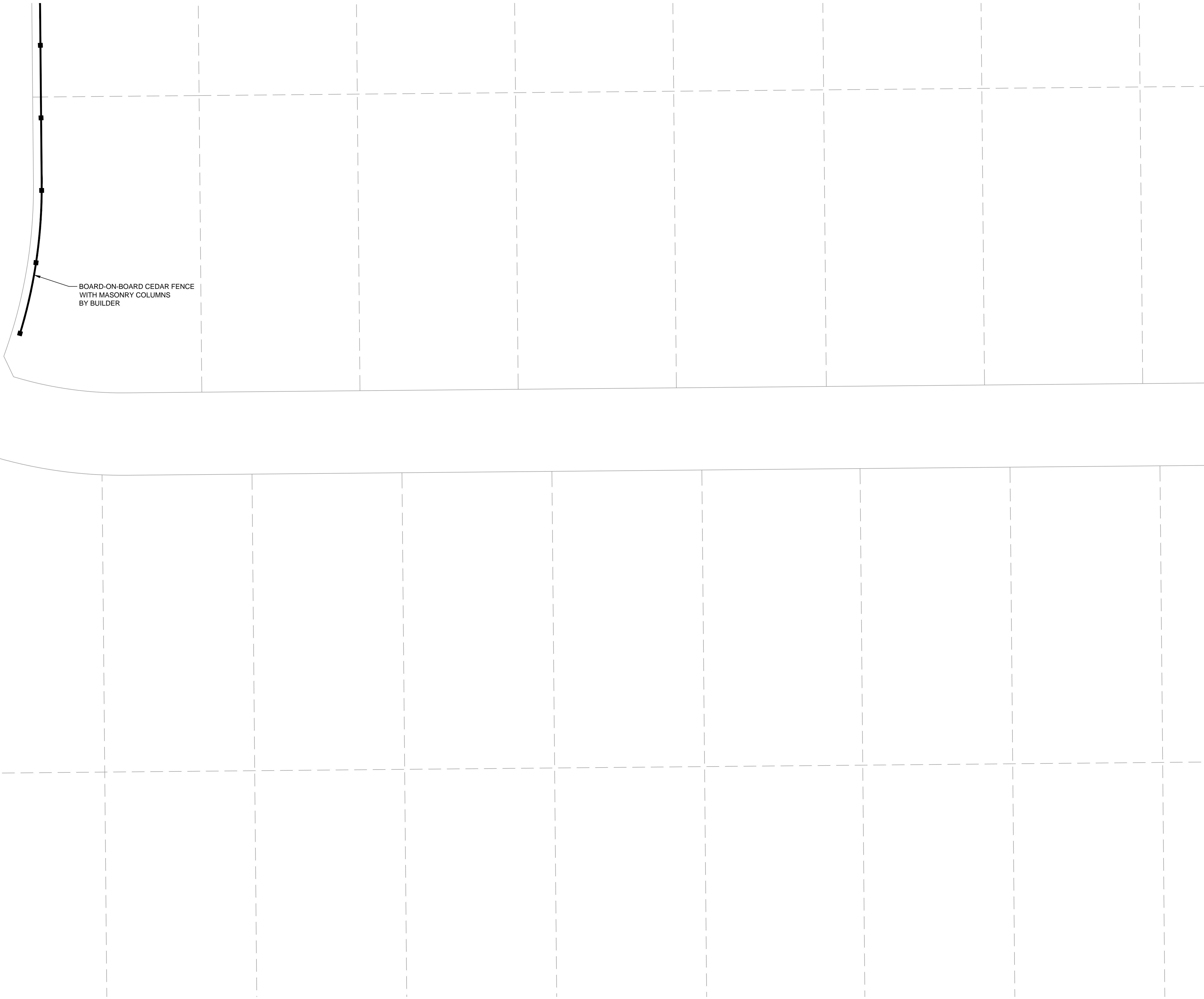
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LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description



SHEET NUMBER
L-1.06



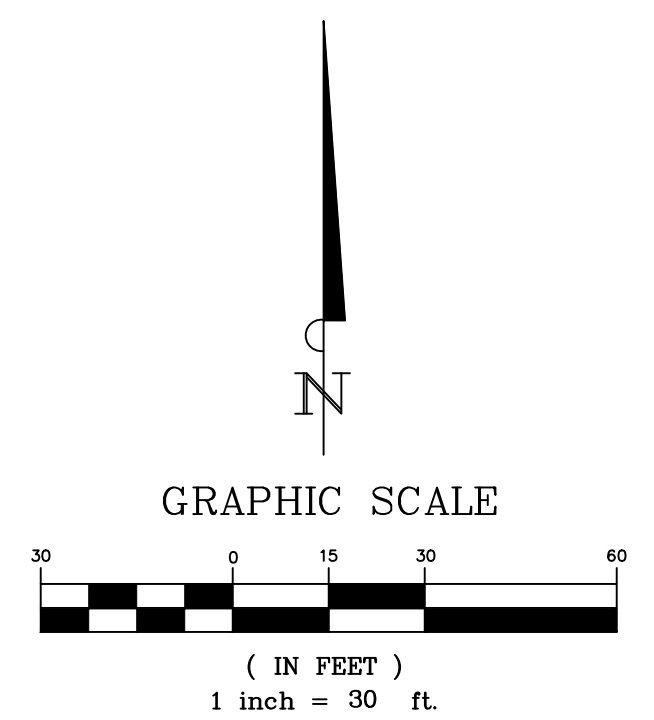
KEY

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	HESPERALOE PARVIFLORA RED YUCCA
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	YUCCA RECURVIFOLIA SOFT LEAF YUCCA
GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	WROUGHT - IRON
	BOARD - ON - BOARD CEDAR WITH MASONRY COLUMNS
	BOARD - ON - BOARD CEDAR FENCE



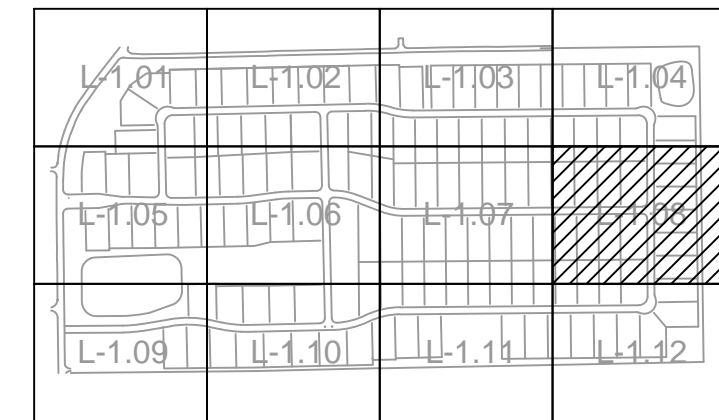
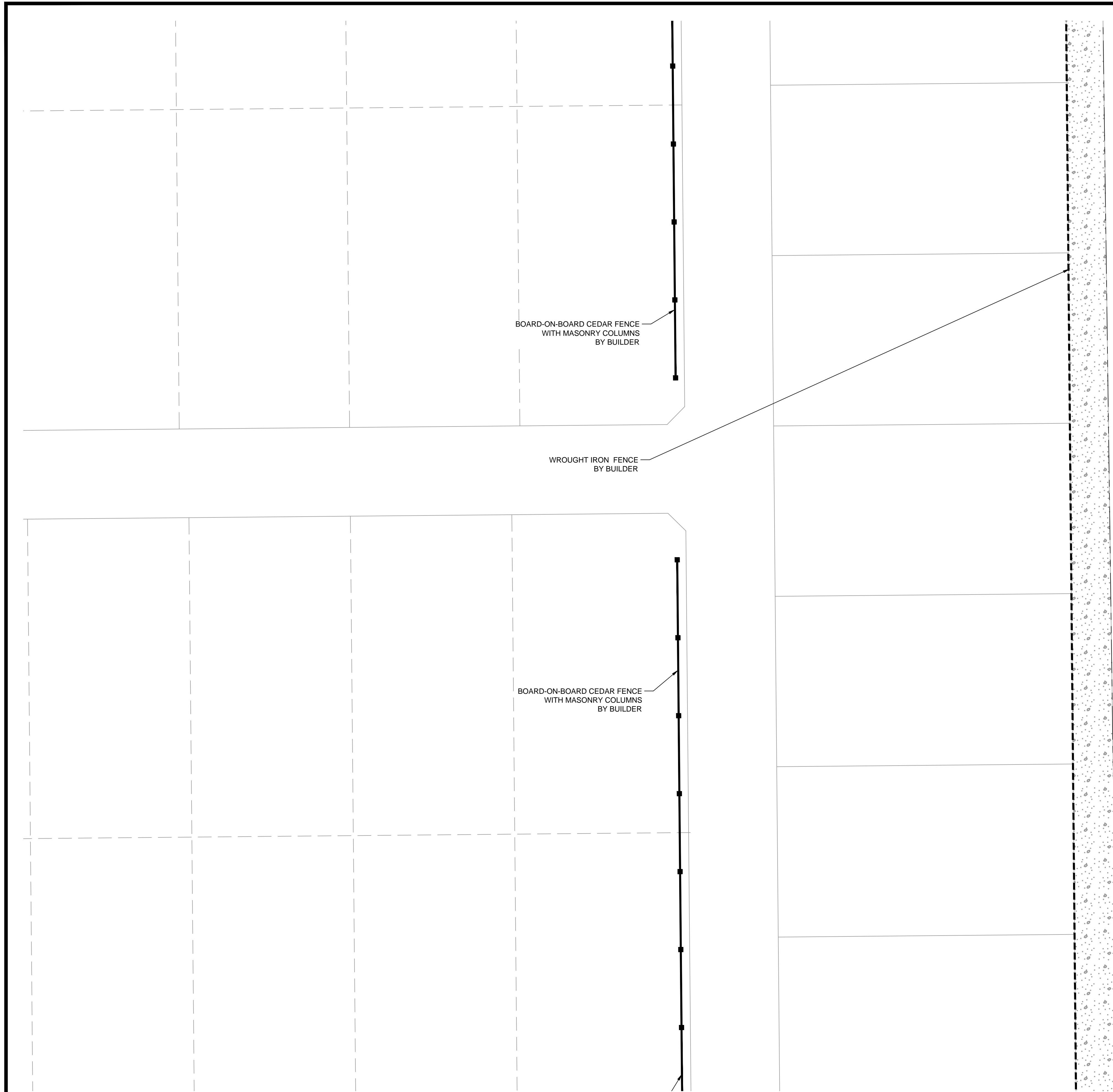
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No.	Date	Revision Description



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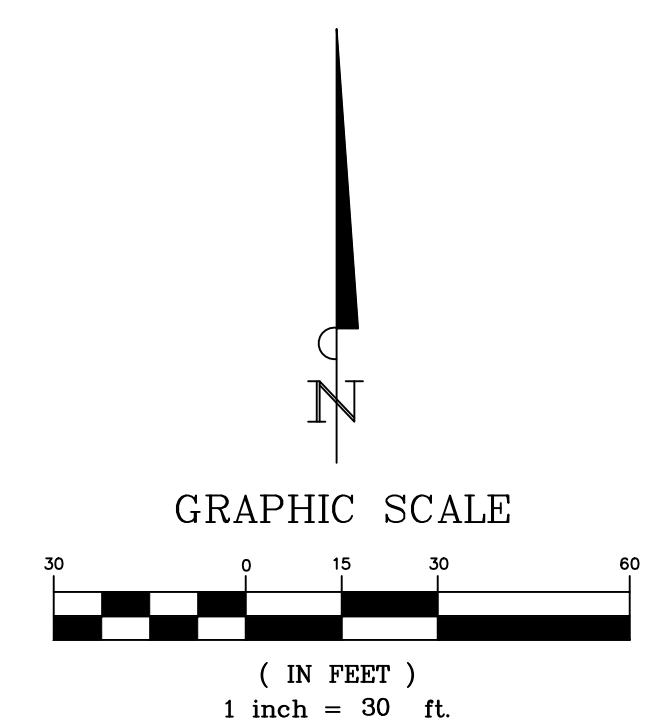
KEY

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
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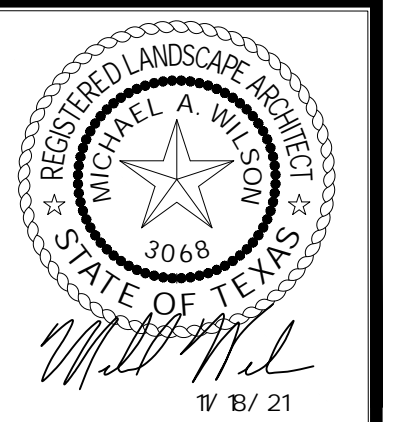


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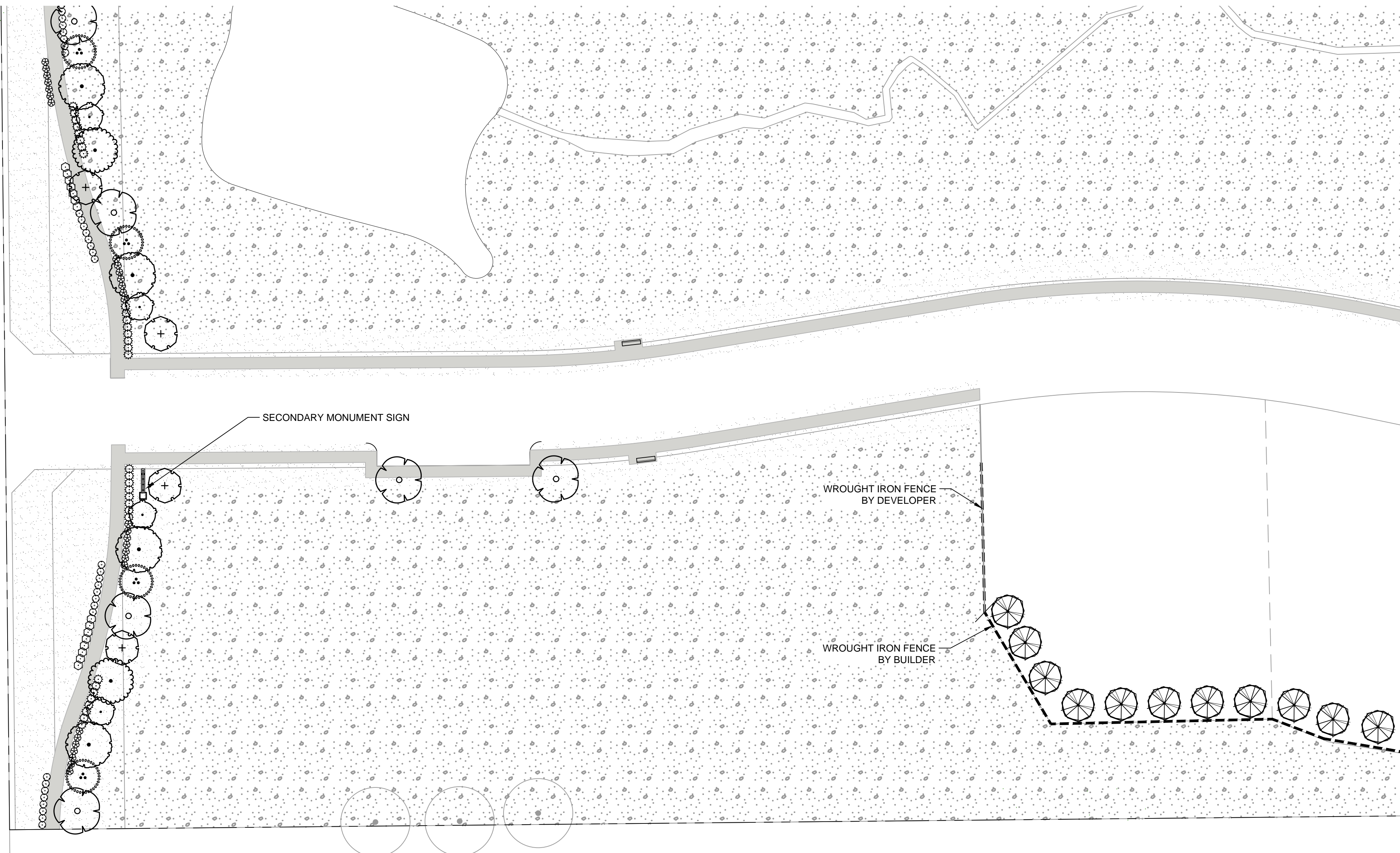
LANDSCAPE ENLARGEMENT

No.	Date	Revision Description



SHEET NUMBER
L-1.08

FM-1141

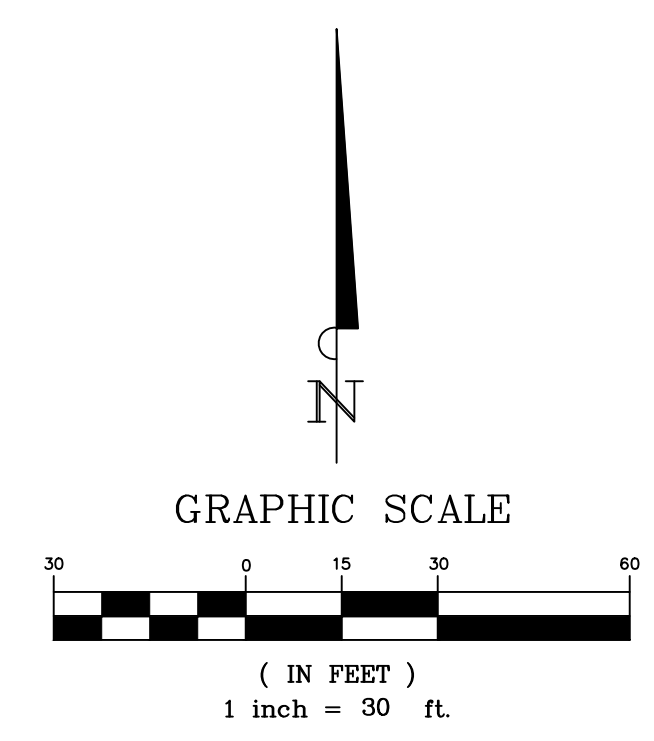


PLANT SCHEDULE

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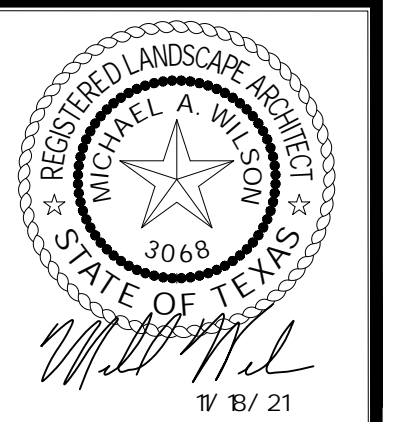


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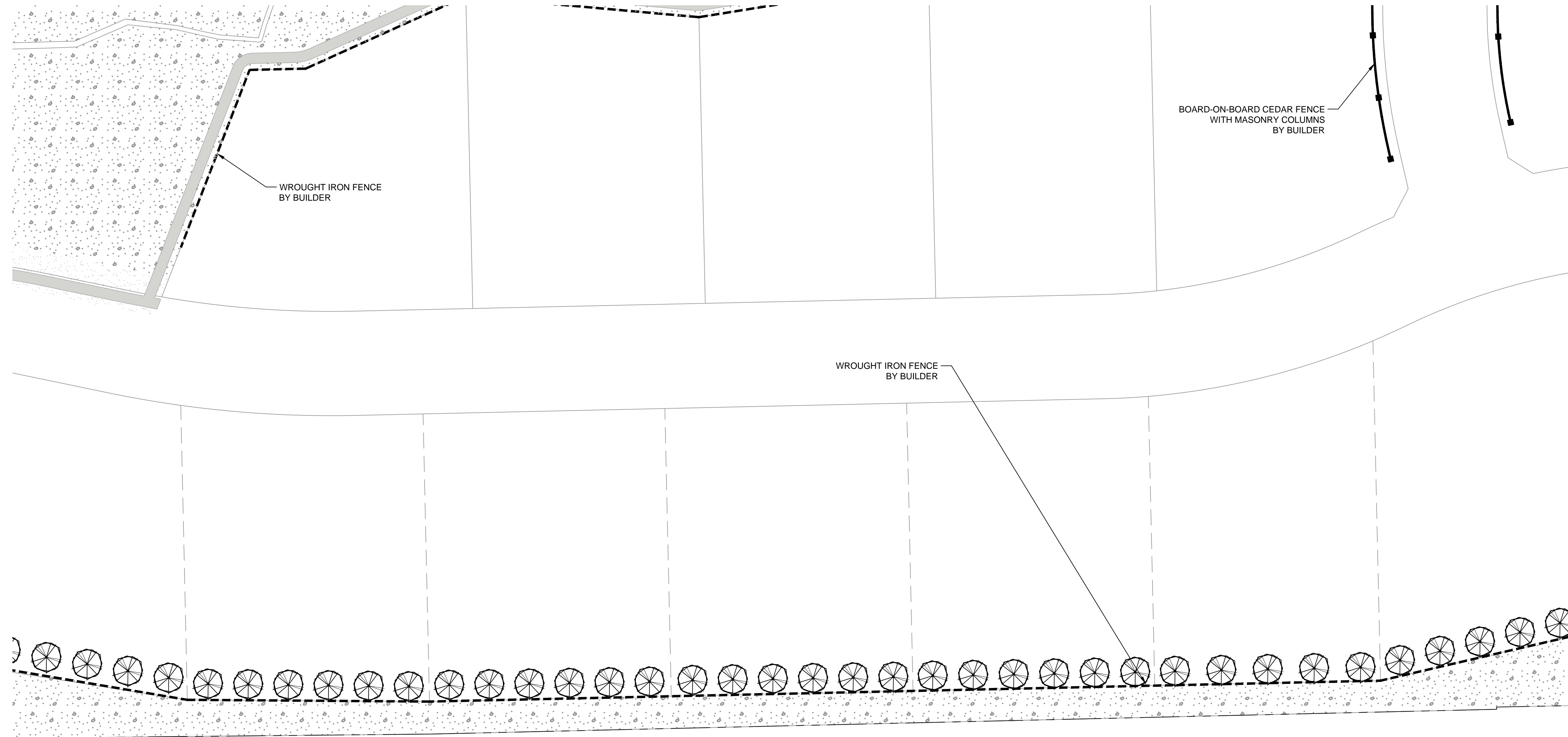
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No.	Date	Revision Description



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L-1.09



PLANT SCHEDULE

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	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
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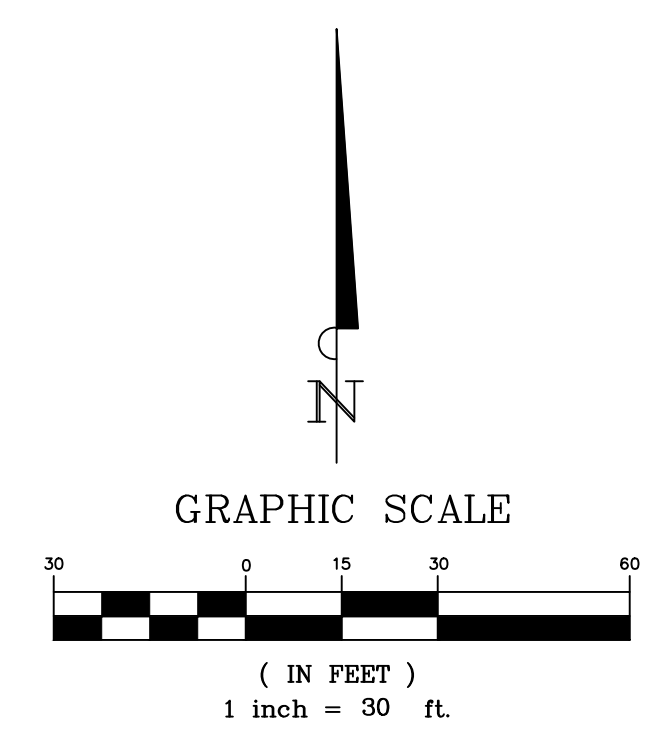
ORNAMENTAL TREES	BOTANICAL / COMMON NAME
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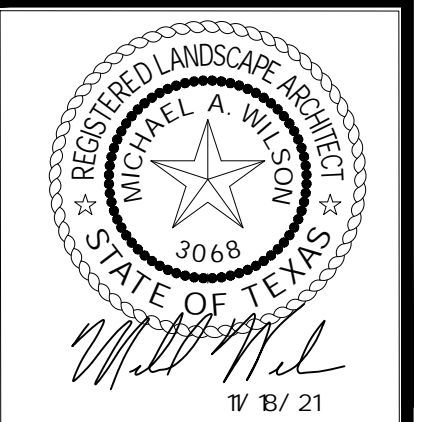
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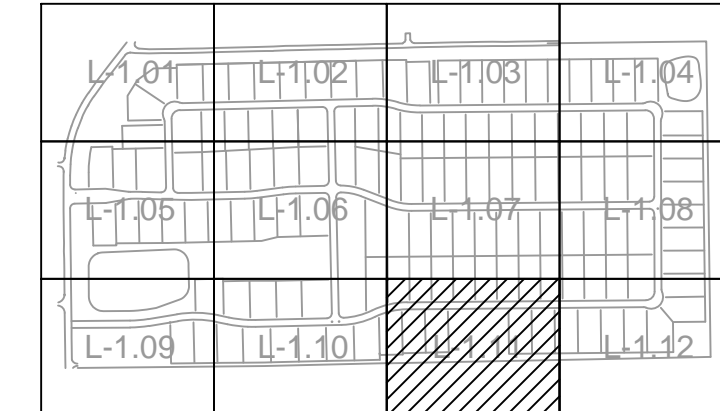
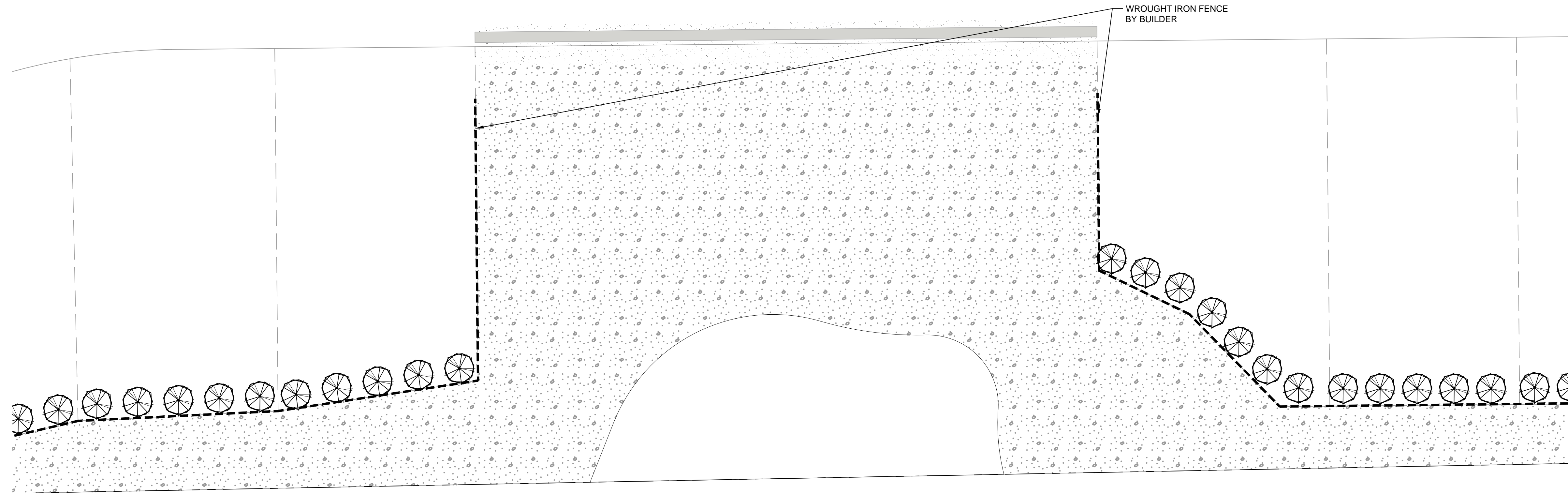
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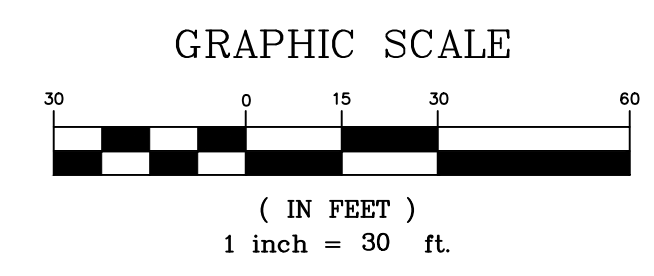
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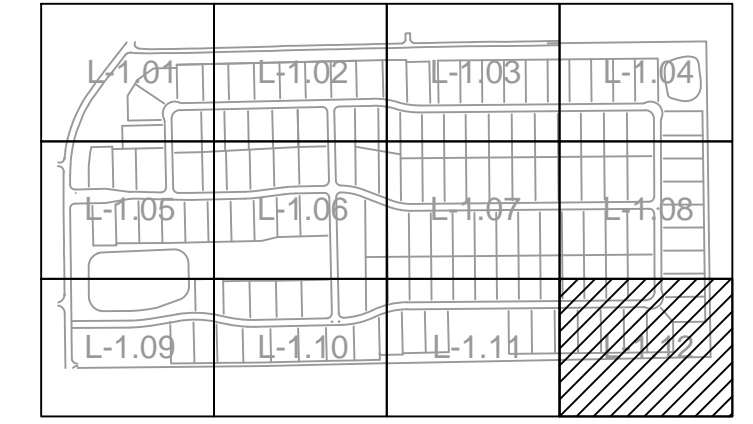
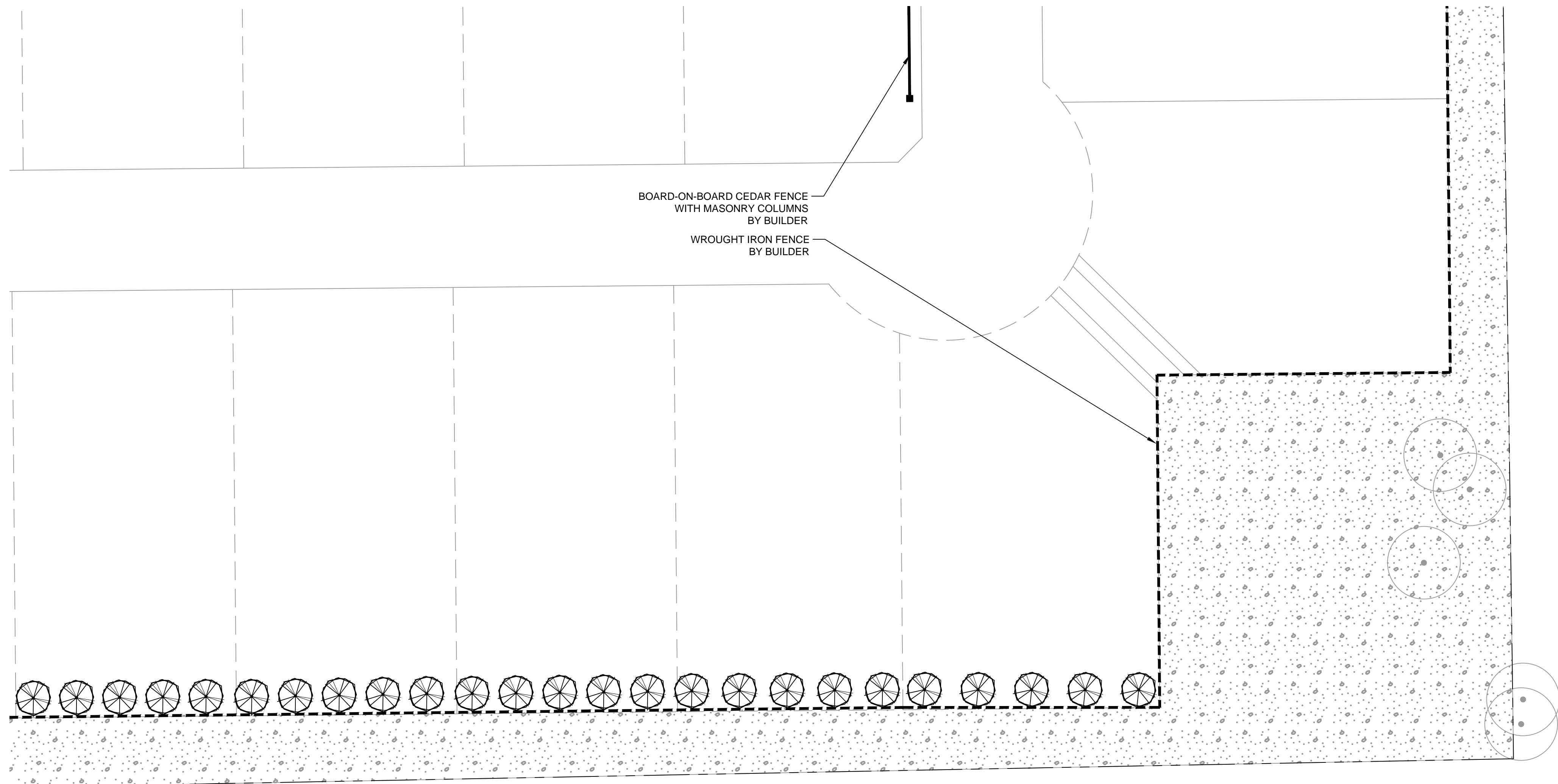
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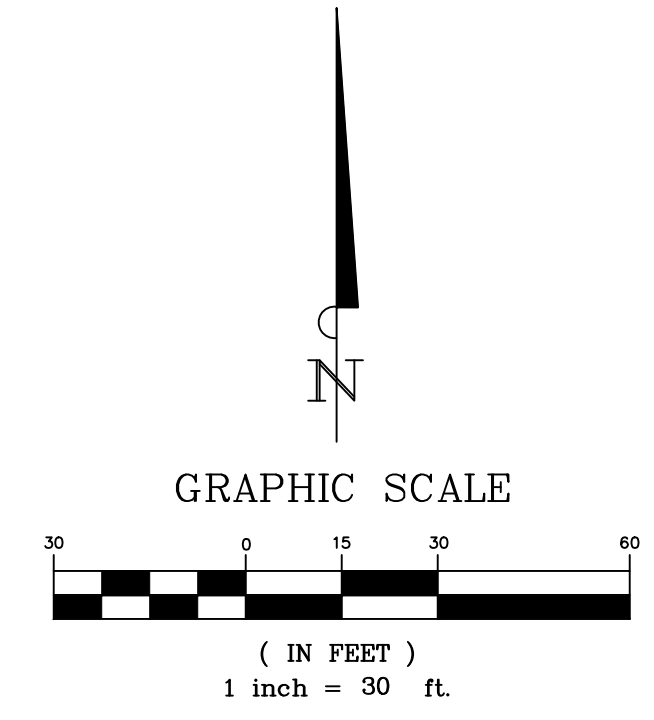
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PLANT SCHEDULE

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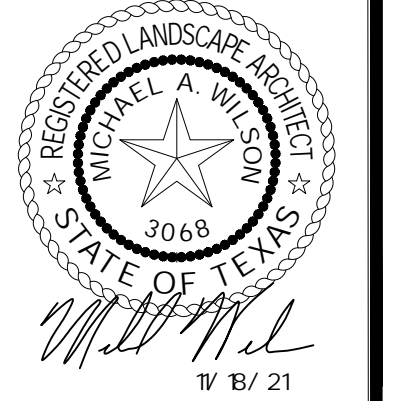
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SHEET NUMBER
L-1.12

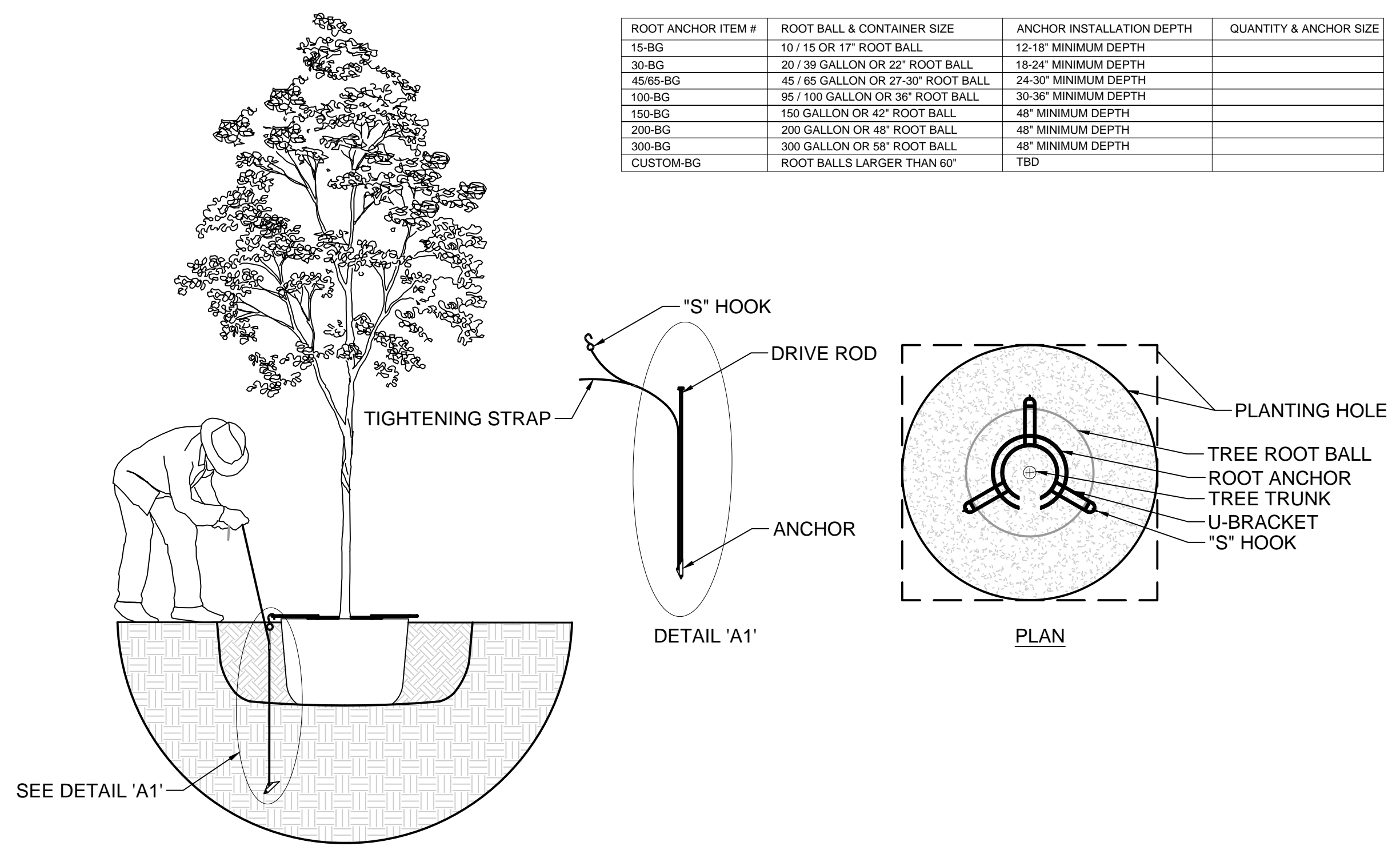
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GENERAL NOTES:

- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS/HER WORK.
- CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENT OVER THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK.'
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT
- ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
- CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
- IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEERS GRADING PLAN.
- LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
- SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:
 3 O R AN C COMPO T
 -20 POUNDS OF ORGANIC FERTILIZER/ 1,000 SF OF BED AREA
 T LL BED TO A DEPT O 6 TO 8
 -CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
- TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL..
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
- TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OR-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE.
- CONTRACTOR SHALL WARRANTY ANY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON PART OF THE OWNER.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER OR WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON TREES IS PROHIBITED.
- INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS, MOWING AND TRIMMING TO BE INCLUDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BE SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
- ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTER CREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
- ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
- LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
- IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.

ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-BG	10 / 15 OR 17" ROOT BALL	12-18" MINIMUM DEPTH	
30-BG	20 / 39 GALLON OR 22" ROOT BALL	18-24" MINIMUM DEPTH	
45/65-BG	45 / 65 GALLON OR 27-30" ROOT BALL	24-30" MINIMUM DEPTH	
100-BG	85 / 100 GALLON OR 36" ROOT BALL	30-36" MINIMUM DEPTH	
150-BG	150 GALLON OR 42" ROOT BALL	48" MINIMUM DEPTH	
200-BG	200 GALLON OR 48" ROOT BALL	48" MINIMUM DEPTH	
300-BG	300 GALLON OR 58" ROOT BALL	48" MINIMUM DEPTH	
CUSTOM-BG	ROOT BALLS LARGER THAN 60"	TBD	

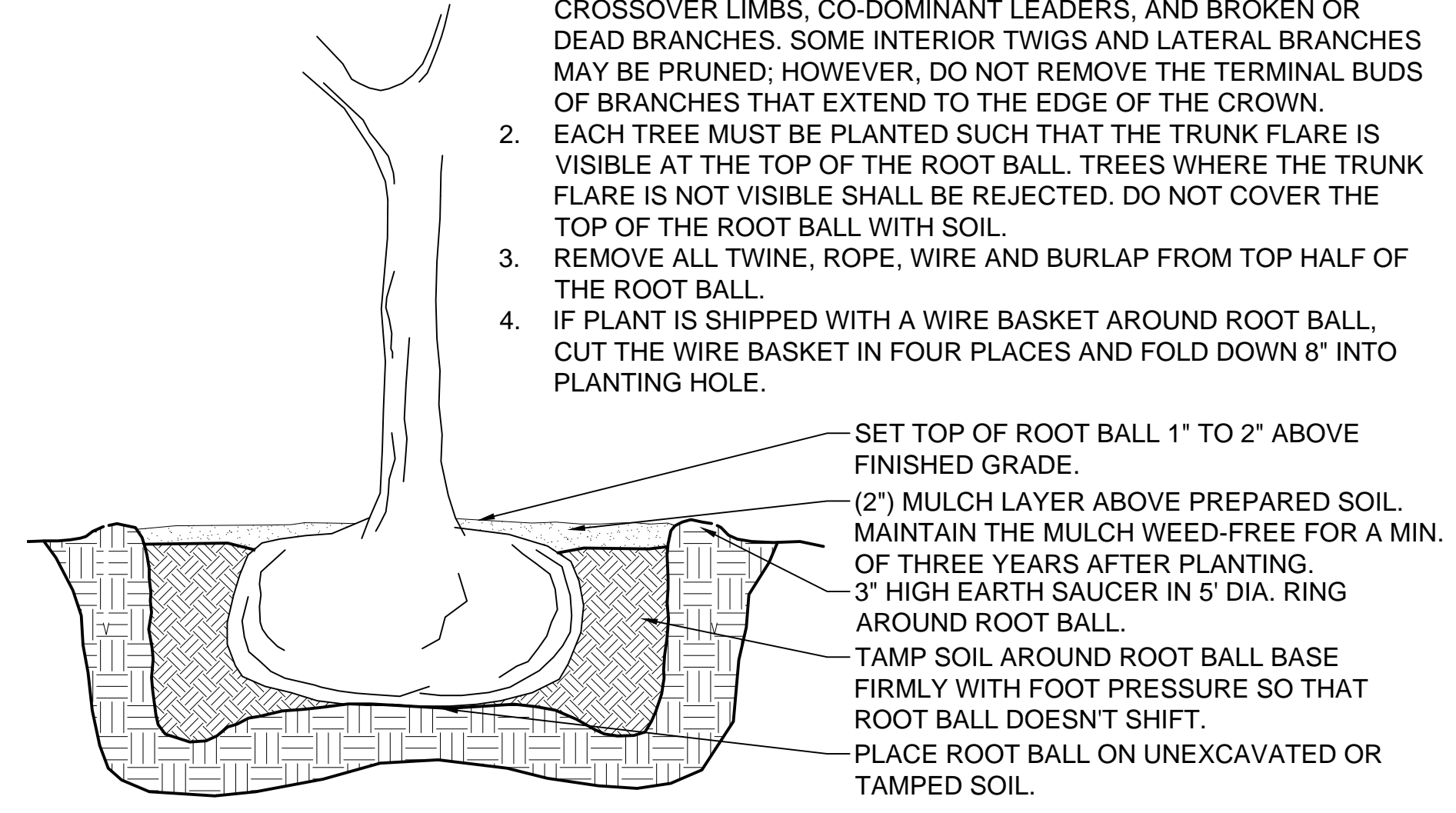
- STEP 1:**
- SET TREE IN PLANTING PIT.
 - PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
 - CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
 - ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.
- STEP 2:**
- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBBASE SOIL.
 - SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.
- STEP 3:**
- REMOVE DRIP ROD.
 - REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
 - PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-68 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
 - PLACE "S" HOOK OVER THE END OF THE U-BRACKET.
 - PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
 - TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.



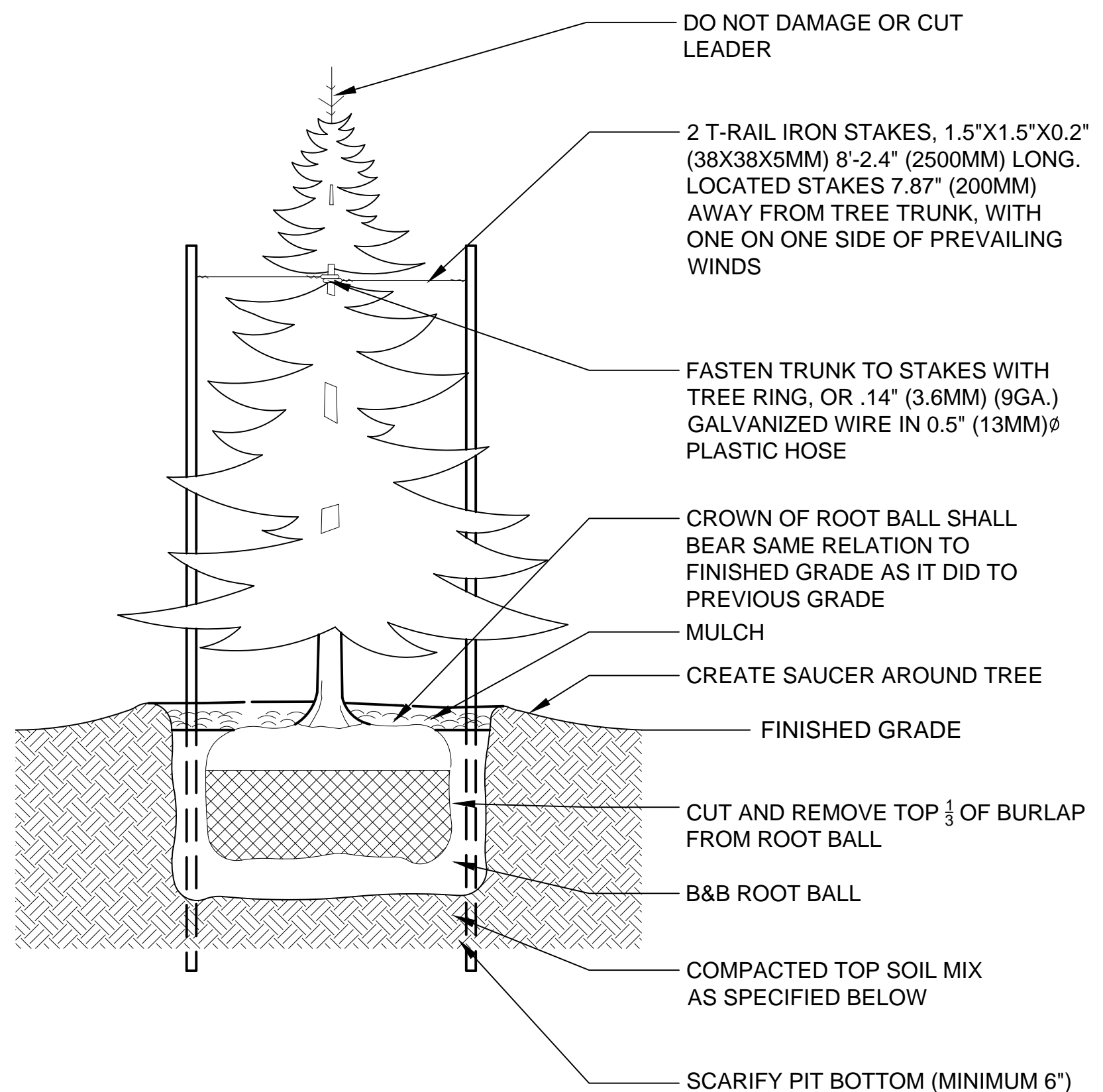
B TREE STAKING DETAIL

NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.

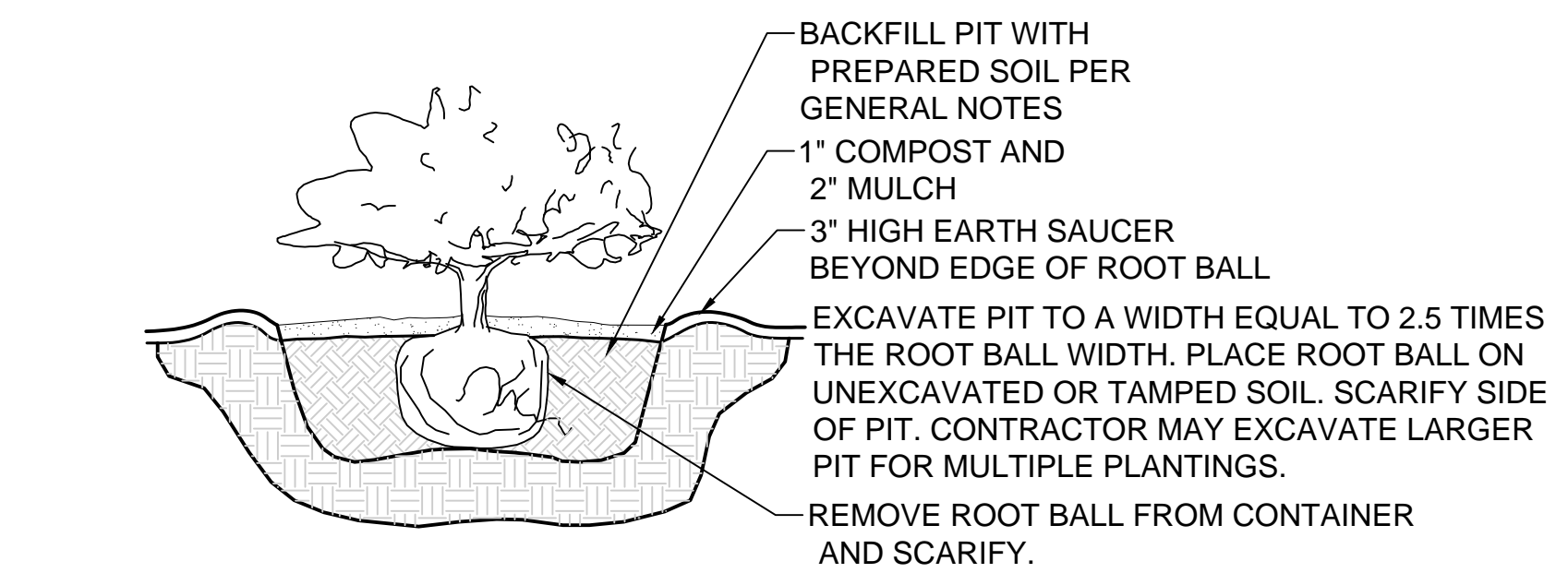


C TREE PLANTING DETAIL

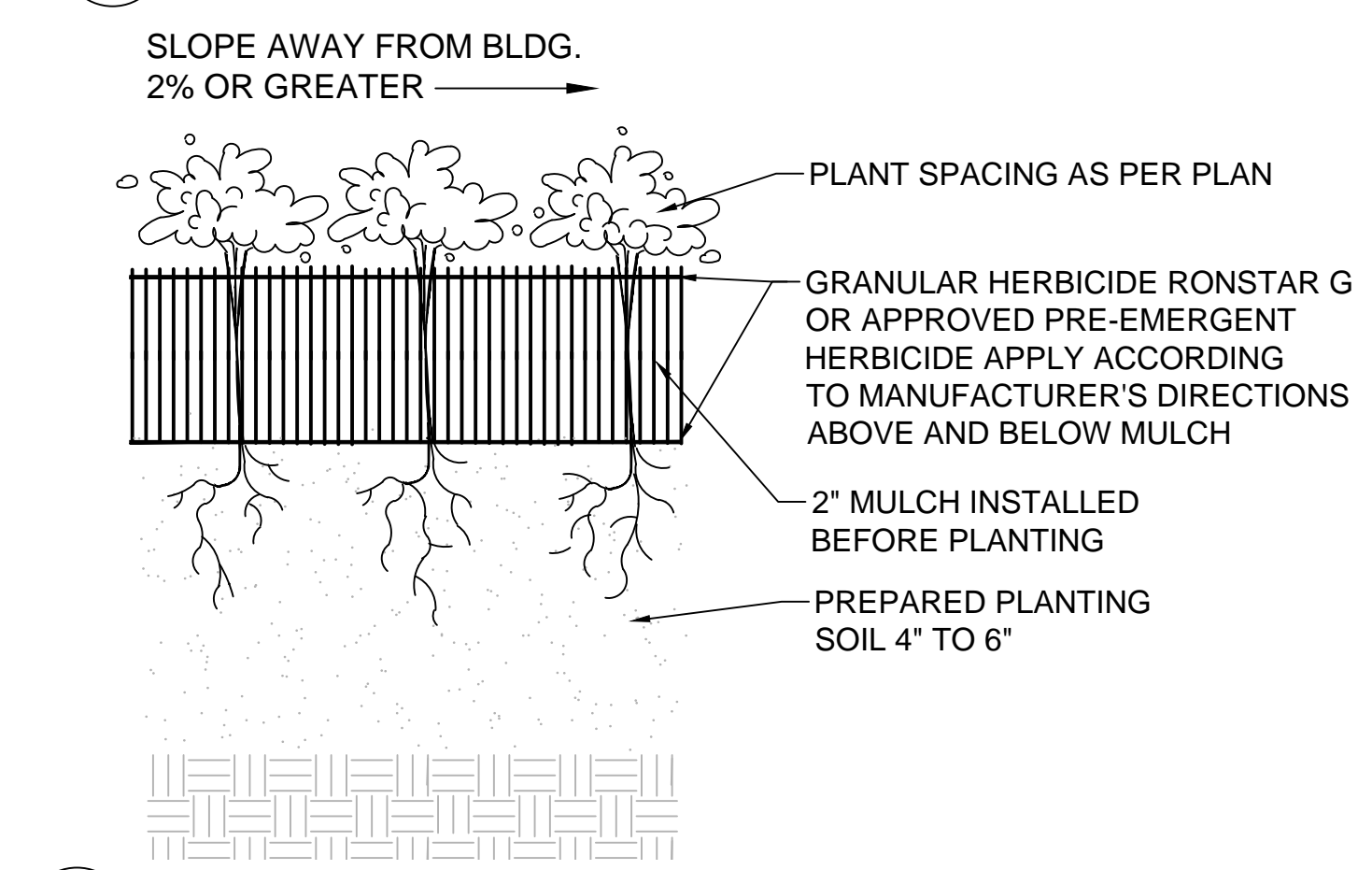


SPECIFICATIONS:

- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
- WATER THOROUGHLY AFTER INSTALLATION
- REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATIONS
- PROVIDE DRAINAGE FOR PLANTING PUT IN IMPERMEABLE SOIL
- TOPSOIL MIX, SEE SPEC.

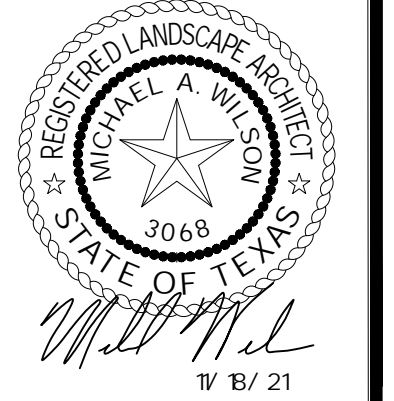


A SHRUB PLANTING DETAIL

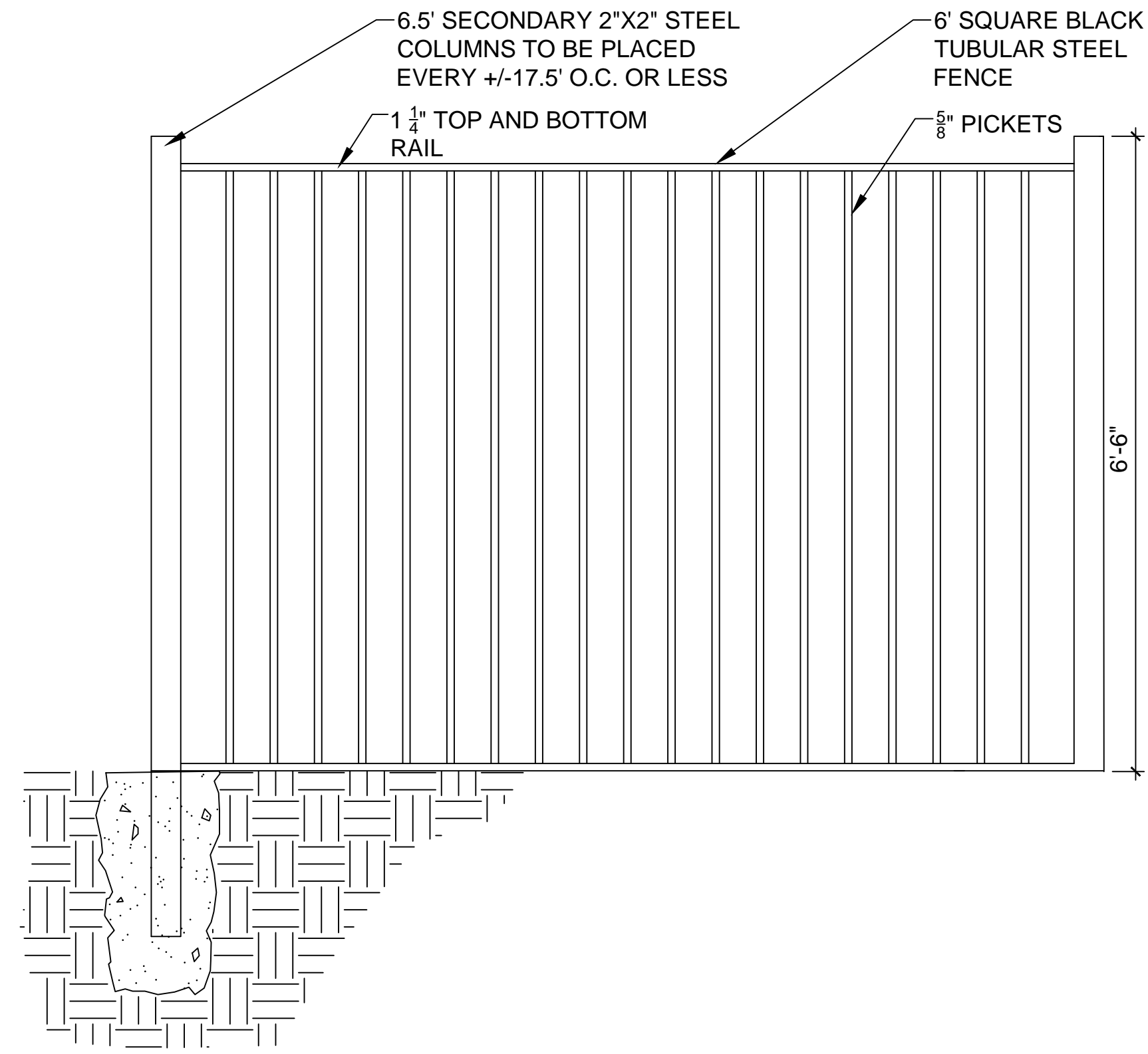


D GROUND COVER DETAIL

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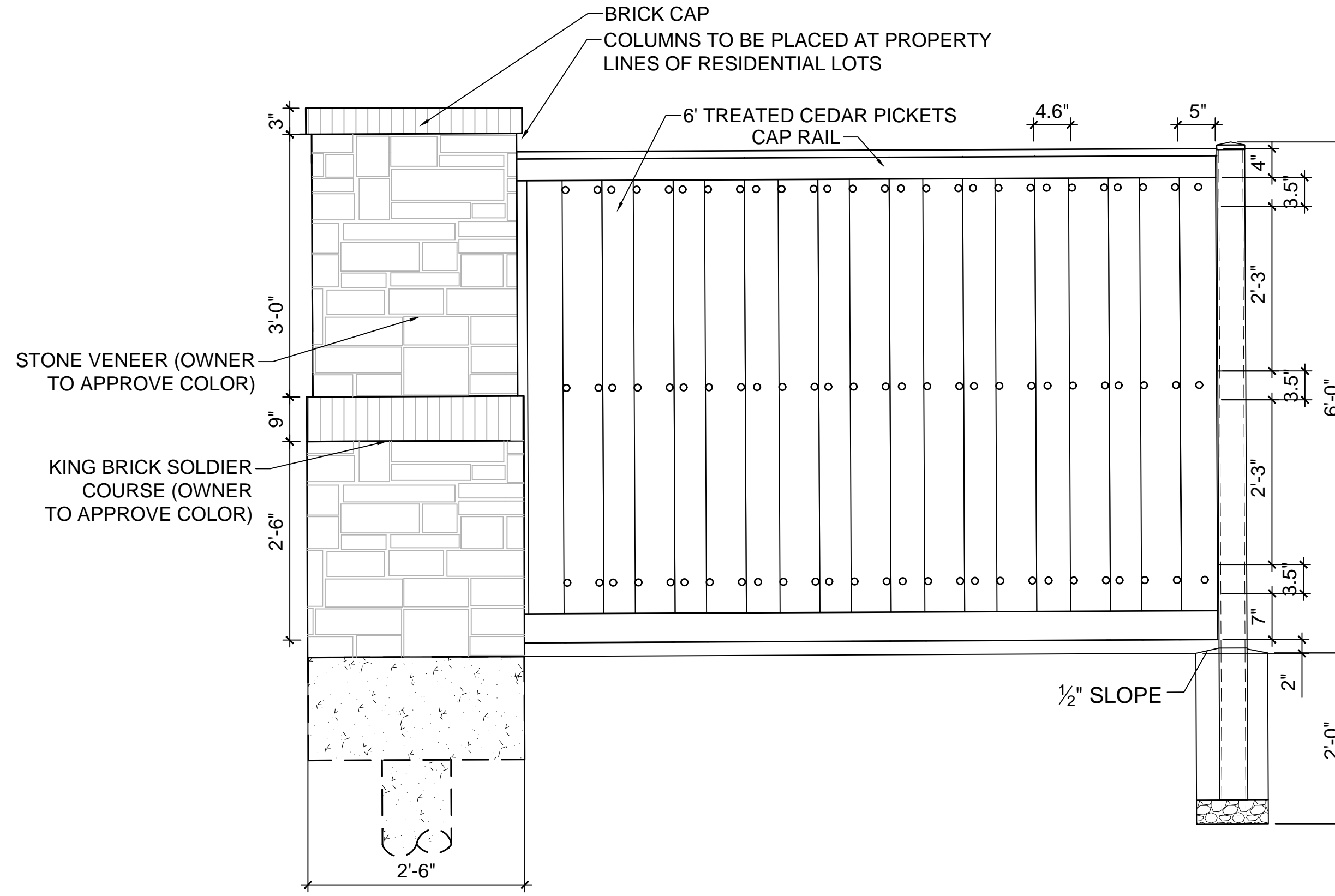


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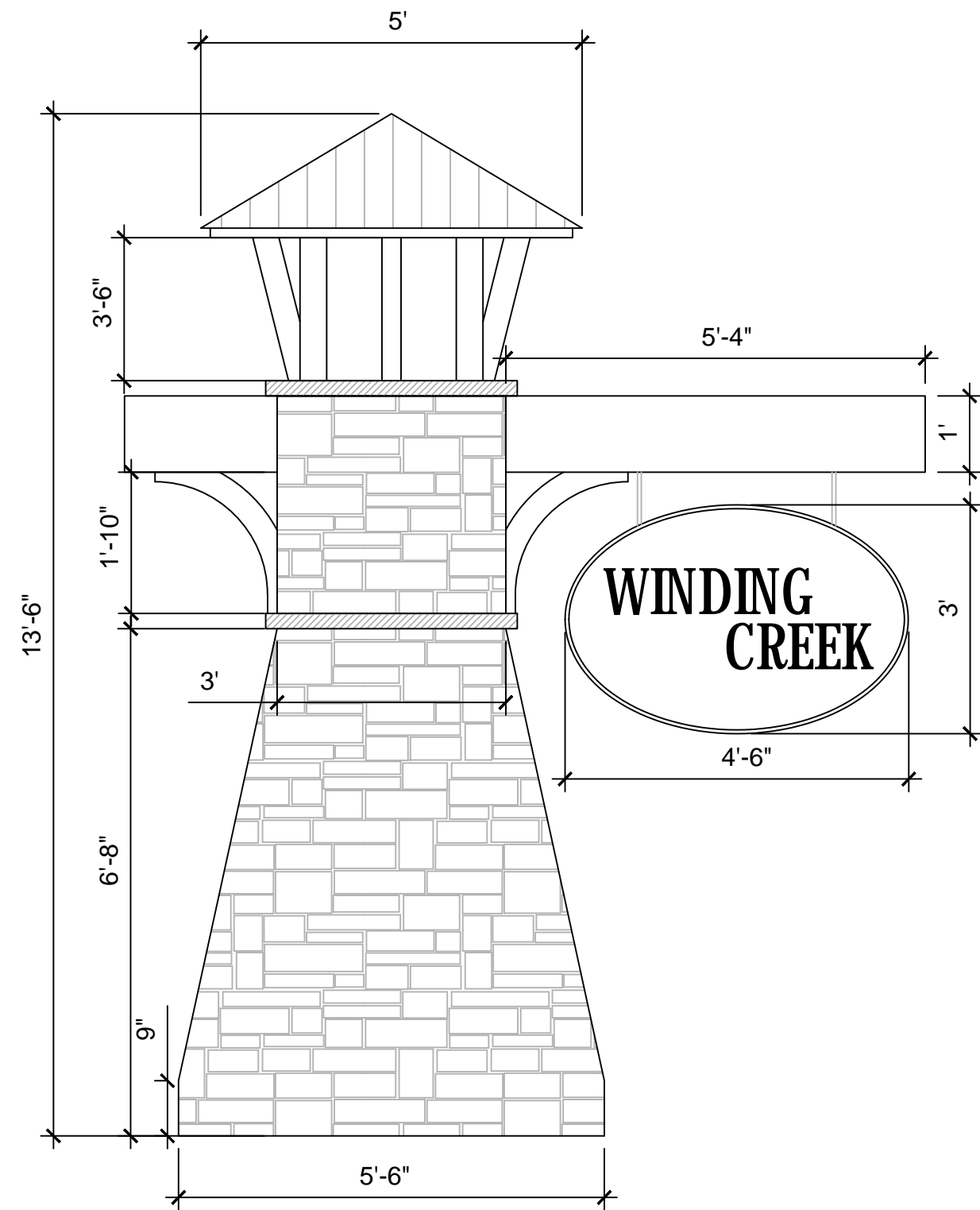
A WROUGHT IRON FENCE DETAIL

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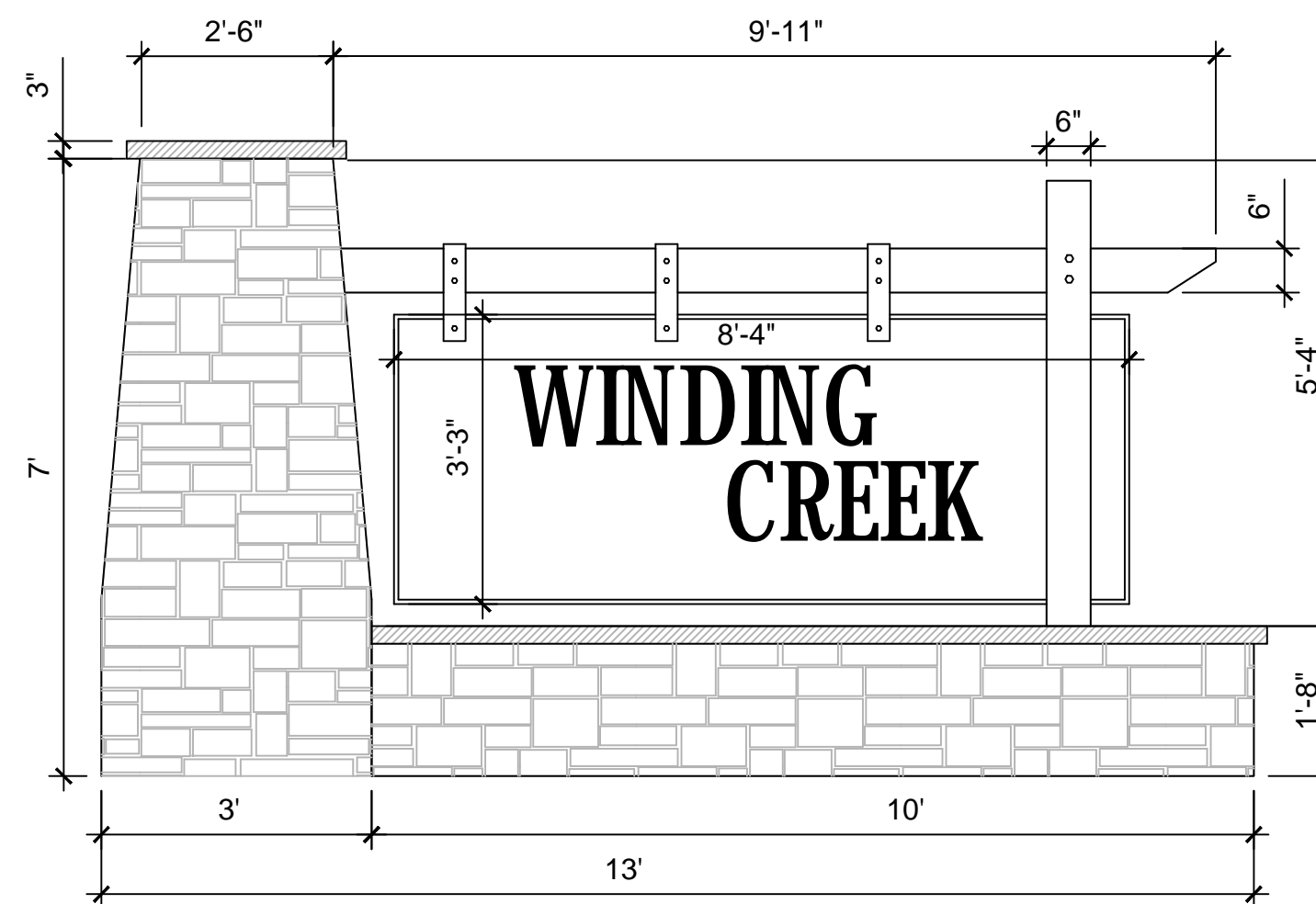
B CEDAR FENCE WITH MASONRY COLUMNS DETAIL

NOT TO SCALE



C PRIMARY MONUMENT SIGN DETAIL

NOT TO SCALE



D SECONDARY MONUMENT SIGN DETAIL

NOT TO SCALE

No.	Date	Revision	Description



PLANT SCHEDULE						
CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	99	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	45 GAL.	4"	10'-12'	FULL, MATCHING, SYMMETRICAL
	36	QUERCUS MACROCARPA BURR OAK	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	38	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	40	ULMUS CRASSIFOLIA CEDAR ELM	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	72	CHILOPSIS LINEARIS DESERT WILLOW	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
	39	ILEX VOMITORIA YAUPON HOLLY	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
	39	SOPHORA AFFINIS EVE'S NECKLACE	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	327	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	24" HT.	PER PLAN	FULL, MATCHING, SYMMETRICAL
	309	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	271	ROSMARINUS OFFICINALIS ROSEMARY	3 GAL.			
	309	YUCCA RECURVIFOLIA SOFT LEAF YUCCA	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	395,787 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SEED RATE PER MANUFACTURER			
	215,054 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SOD			



No.	Date	Revision	Description

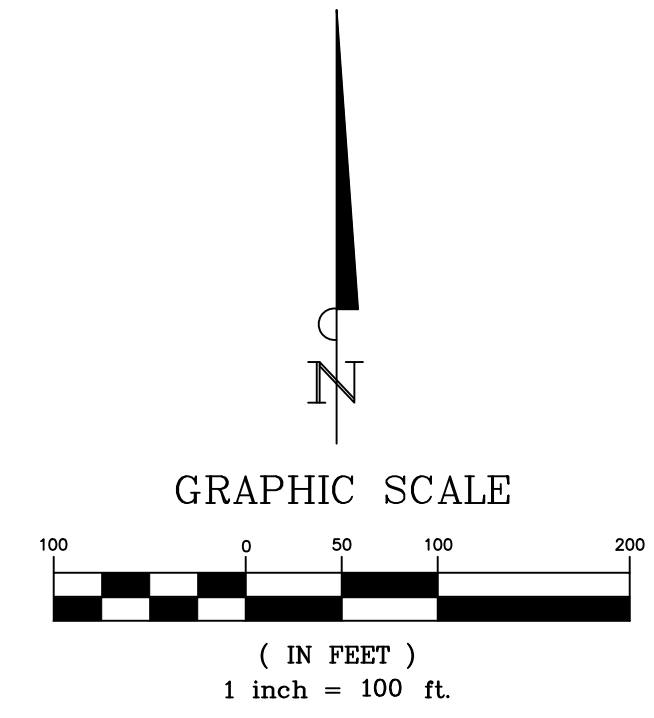


File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg || Date Plotted: 11/18/2021 8:18 AM || Plotted By: mwilson



TREE LEGEND

-  PRESERVED EXISTING TREE
-  REMOVED EXISTING TREE



TOTAL MITIGATION REQUIRED	1,112.1
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(45.9)
REMAINING MITIGATION REQUIRED	0.0

SITE DATA

ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

APPLICANT

SKORBURG COMPANY, LTD.
 8214 WESTCHESTER DRIVE, SUITE 710
 DALLAS, TEXAS 75225

OWNERS

REDDY K VASUNDHARA & ALEX R. FREEMAN
 100 N. CENTRAL EXPRESSWAY, STE. 108
 DALLAS, TEXAS 75080

M.G. & J.K. TAYLOR LIVING TRUST
 237 CLEM ROAD
 ROCKWALL, TEXAS 75087

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS
TREESCAPE PLAN

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-3.00

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	
1	32.0	sugarberry	20	Yes	Damaged	REMOVED	-	-	-	-	-	
2	17.0	sugarberry	18	No	Healthy	REMOVED	-	-	8.5	-	-	
53	26.6	eastern red cedar	20	Yes	Healthy	REMOVED	53.2	-	-	-	-	
55	26.5	eastern red cedar	20	Yes	Healthy	REMOVED	53.0	-	-	-	-	
56	20.4	eastern red cedar	20	Yes	Healthy	REMOVED	-	-	10.2	-	-	
57	11.9	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-	
58	11.6	eastern red cedar	11	No	Healthy	REMOVED	-	-	5.8	-	-	
59	11.0	eastern red cedar	10	No	Healthy	REMOVED	-	-	5.5	-	-	
60	12.2	eastern red cedar	12	No	Healthy	REMOVED	-	-	6.1	-	-	
500	9.4	Scotch pine	7	No	Healthy	REMOVED	-	9.4	-	-	-	
501	6.9	Scotch pine	5	No	Healthy	REMOVED	-	6.9	-	-	-	
502	16.0	silver maple	16	No	Healthy	REMOVED	-	16.0	-	-	-	
503	15.1	Scotch pine	13	No	Healthy	REMOVED	-	15.1	-	-	-	
504	11.2	Scotch pine	6	No	Healthy	REMOVED	-	11.2	-	-	-	
505	6.0	Scotch pine	4	No	Healthy	REMOVED	-	6.0	-	-	-	
506	8.9	Scotch pine	7	No	Healthy	REMOVED	-	8.9	-	-	-	
507	11.6	sugarberry	11	No	Healthy	REMOVED	-	-	5.8	-	-	
508	15.1	Scotch pine	11	No	Healthy	REMOVED	-	15.1	-	-	-	
509	11.9	Scotch pine	11	No	Healthy	REMOVED	-	11.9	-	-	-	
510	27.1	Bradford pear	21	Yes	Healthy	REMOVED	54.2	-	-	-	-	
511	6.0	bald cypress	6	No	Healthy	REMOVED	-	6.0	-	-	-	
512	10.5	Scotch pine	7	No	Healthy	REMOVED	-	10.5	-	-	-	
513	17.6	live oak	18	No	Healthy	REMOVED	-	17.6	-	-	-	
514	20.3	live oak	22	No	Healthy	REMOVED	-	20.3	-	-	-	
515	6.6	Shumard's oak	7	No	Damaged	REMOVED	-	-	-	-	-	
516	15.6	live oak	14	Yes	Damaged	REMOVED	-	-	-	-	-	
517	30.2	Bradford pear	25	Yes	Healthy	REMOVED	60.4	-	-	-	-	
518	14.7	Shumard's oak	17	No	Healthy	REMOVED	-	14.7	-	-	-	
519	11.8	cottonwood	7	No	Damaged	REMOVED	-	-	-	-	-	
520	15.8	eastern red cedar	10	No	Healthy	PRESERVED	-	-	-	-	-	
521	13.1	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-	
522	13.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
523	14.3	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
524	13.6	sugarberry	16	No	Healthy	REMOVED	-	-	6.8	-	-	
525	11.8	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-	
526	11.2	sugarberry	11	No	Healthy	REMOVED	-	-	5.6	-	-	
527	12.9	sugarberry	18	No	Healthy	REMOVED	-	-	6.4	-	-	
528	12.5	sugarberry	16	No	Damaged	REMOVED	-	-	-	-	-	
529	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-	
530	11.2	sugarberry	13	No	Healthy	REMOVED	-	-	5.6	-	-	
531	12.5	sugarberry	17	No	Healthy	REMOVED	-	-	6.3	-	-	
532	17.2	sugarberry	20	No	Healthy	REMOVED	-	-	8.6	-	-	
533	21.7	sugarberry	27	No	Damaged	REMOVED	-	-	-	-	-	
534	11.0	sugarberry	16	No	Healthy	REMOVED	-	-	5.5	-	-	
535	22.3	sugarberry	24	No	Damaged	REMOVED	-	-	-	-	-	
536	15.1	sugarberry	16	Yes	Damaged	REMOVED	-	-	-	-	-	
537	13.5	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
538	11.7	sugarberry	13	No	Healthy	REMOVED	-	-	5.8	-	-	
539	11.0	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-	
540	11.2	sugarberry	13	No	Damaged	REMOVED	-	-	-	-	-	
541	16.8	sugarberry	15	No	Damaged	REMOVED	-	-	-	-	-	
542	22.8	sugarberry	23	No	Healthy	PRESERVED	-	-	-	-	-	
543	11.0	sugarberry	12	No	Damaged	REMOVED	-	-	-	-	-	
544	11.1	sugarberry	12	No	Damaged	PRESERVED	-	-	-	-	-	
545	11.5	eastern red cedar	15	No	Damaged	PRESERVED	-	-	-	-	-	
546	12.3	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
547	24.2	black willow	26	Yes	Healthy	PRESERVED	-	-	-	-	-	
548	13.5	black willow	10	No	Healthy	PRESERVED	-	-	-	-	-	
549	5.7	Hercules-club	6	Yes	Healthy	PRESERVED	-	-	-	-	-	
550	6.5	gum bumelia	6	Yes	Healthy	PRESERVED	-	-	-	-	-	
551	8.0	gum bumelia	6	Yes	Healthy	PRESERVED	-	-	-	-	-	
552	4.2	common persimmon	5	No	Healthy	PRESERVED	-	-	-	-	-	
553	12.4	sugarberry	13	No	Damaged	PRESERVED	-	-	-	-	-	
554	11.4	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-	
555	11.0	sugarberry	10	No	Damaged	PRESERVED	-	-	-	-	-	
556	11.1	sugarberry	11	No	Healthy	PRESERVED	-	-	-	-	-	
557	15.7	sugarberry	16	No	Damaged	PRESERVED	-	-	-	-	-	
							220.8	169.6	104.7	-	-	
							Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

Tree #	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	
601	11.5	eastern red cedar	14	No	Healthy	REMOVED	-	-	5.8	-	-	
602	26.5	sugarberry	27	Yes	Healthy	REMOVED	53.0	-	-	-	-	
603	13.4	sugarberry	14	No	Healthy	REMOVED	-	-	6.7	-	-	
604	14.3	sugarberry	15	Yes	Healthy	REMOVED	-	-	7.2	-	-	
605	11.3	eastern red cedar	1	No	Healthy	REMOVED	-	-	5.7	-	-	
606	28.9	sugarberry	30	No	Healthy	REMOVED	57.8	-	-	-	-	
607	13.0	sugarberry	14	No	Healthy	REMOVED	-	-	6.5	-	-	
608	23.7	sugarberry	24	No	Healthy	REMOVED	-	-	11.9	-	-	
609	14.6	eastern red cedar	15	No	Healthy	REMOVED	-	-	7.3	-	-	
610	12.3	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-	
611	33.3	sugarberry	30	Yes	Healthy	REMOVED	66.6	-	-	-	-	
612	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-	
613	11.6	sugarberry	12	No	Healthy	REMOVED	-	-	5.8	-	-	
614	12.1	sugarberry	12	No	Healthy	REMOVED	-	-	6.1	-	-	
615	14.9	sugarberry	15	No	Healthy	REMOVED	-	-	7.4	-	-	
616	12.6	gum bumelia	13	No	Healthy	REMOVED	-	12.6	-	-	-	
617	13.8	sugarberry	14	No	Healthy	REMOVED	-	-	6.9	-	-	
618	18.8	Osage-orange	20	Yes	Healthy	REMOVED	-	-	-	N/A	-	
619	30.3	Osage-orange	30	Yes	Healthy	REMOVED	-	-	-	N/A	-	
620	6.0	American elm	6	No	Healthy	REMOVED	-	6.0	-	-	-	
621	13.6	eastern red cedar	14	No	Healthy	PRESERVED	-	-	-	-	-	
622	14.6	eastern red cedar	15	No	Healthy	PRESERVED	-	-	-	-	-	
623	11.7	eastern red cedar	13	No	Healthy	PRESERVED	-	-	-	-	-	
624	19.4	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-	
625	37.5	sugarberry	30	No	Healthy	PRESERVED	-	-	-	-	-	
626	7.2	Bradford pear	8	No	Healthy	REMOVED	-	7.2	-	-	-	
627	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-	
628	6.2	Bradford pear	6	No	Healthy	REMOVED	-	6.2	-	-	-	
629	29.8	sugarberry	30	Yes	Healthy	REMOVED	59.6	-	-	-	-	
630	13.1	eastern red cedar	14	No	Healthy	REMOVED	-	-	6.6	-	-	
631	11.1	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.6	-	-	
632	11.0	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.5	-	-	
633	13.3	eastern red cedar	14	Yes	Healthy	REMOVED	-	-	6.7	-	-	
634	23.7	sugarberry	24	Yes	Healthy	REMOVED	-	-	11.9	-	-	
635	14.4	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
636	11.8	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-	
637	13.5	sugarberry	14	No	Damaged	PRESERVED	-	-	-	-	-	
638	13.6	sugarberry	14	No	Healthy	PRESERVED	-	-	-	-	-	
639	14.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
640	11.1	sugarberry	12	No	Healthy	PRESERVED	-	-	-	-	-	
641	19.3	sugarberry	20	No	Healthy	PRESERVED	-	-	-	-	-	
642	15.0	sugarberry	15	No	Healthy	PRESERVED	-	-	-	-	-	
643	16.6	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-	
644	16.9	sugarberry	17	No	Healthy	PRESERVED	-	-	-	-	-	
645	16.7	sugarberry	17	Yes	Healthy	REMOVED	-	-	8.4	-	-	
646	12.4	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-	
647	12.4	sugarberry	13	No	Healthy	REMOVED	-	-	6.2	-	-	
648	14.6	sugarberry	15	No	Healthy	REMOVED	-	-	7.3	-	-	
649	14.8	sugarberry	15	No	Healthy	REMOVED	-	-	7.4	-	-	
650	27.1	eastern red cedar	28	No	Healthy	REMOVED	54.2	-	-	-	-	
651	5.3	Hercules-club	6	No	Healthy	REMOVED	-	-	-	N/A	-	
652	25.7	sugarberry	26	No	Healthy	REMOVED	51.4	-	-	-	-	
653	27.2	sugarberry	28	No	Healthy	REMOVED	54.4	-	-	-	-	
654	11.4	Osage-orange	11	No	Healthy	REMOVED	-	-	-	N/A	-	
655	27.6	Osage-orange	28	Yes	Healthy	REMOVED	-	-	-	N/A	-	
656	15.7	Osage-orange	17	Yes	Healthy	REMOVED	-	-	-	N/A	-	
657	11.8	eastern red cedar	12	No	Healthy	REMOVED	-	-	5.9	-	-	
658	18.4	sugarberry	20	No	Healthy	REMOVED	-	-	9.2	-	-	
659	17.8	Osage-orange	18	No	Healthy	REMOVED	-	-	-	N/A	-	
660	11.8	sugarberry	12	No	Healthy	REMOVED	-	-	5.9	-	-	
661	38.9	sugarberry	42	Yes	Healthy	PRESERVED	-	-	-	-	-	
							397.0	32.0	188.0	-	-	
							Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	

617.8	201.6	292.7	-	-	1,112.1
Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving	TOTAL

TOTAL MITIGATION REQUIRED	1,112.1
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	258.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	504.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED IN OPEN SPACE LOTS	(45.9)
REMAINING MITIGATION REQUIRED	0.0

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
LIVE OAK	PRIMARY
BUR OAK	PRIMARY
BRADFORD PEAR	PRIMARY
RED MULBERRY	PRIMARY
BALD CYPRESS	PRIMARY
CRAPE MYRTLE	PRIMARY
YAUAPON	PRIMARY
SCOTCH PINE	PRIMARY
SILVER MAPLE	PRIMARY
SHUMARD'S OAK	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN REDCEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
HERCULES-CLUB	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

TREESCAPE PLAN TABLES (1 OF 1)

No.	Date	Revision	Description



December 9, 2021

TO: Humberto Johnson Jr.
Skorburg Company
8214 Westchester Drive Suite 900
Dallas, TX 75225

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2021-051; *Preliminary Plat for Winding Creek*

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on December 6, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from City Staff (i.e. Engineering, Planning and Fire Department) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 30, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat by a vote of 5-0, with Commissioners Chodon and Moeller absent.

City Council

On December 6, 2021, the City Council approved a motion to approve the Preliminary Plat with the conditions of approval by a vote of 7-0.

Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee", written over a white background.

Henry Lee
Planner