



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # P2021-013 P&Z DATE 04/13/21 CC DATE 04/19/21 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input checked="" type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____
_____
_____
_____
_____
_____
ZONING MAP UPDATED _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> #69502 33 AC
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS STREETMAN RD

SUBDIVISION THE STANDARDS Phase 1 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Mon Streetman Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING N/A PROPOSED USE Single Family - Estate

ACREAGE 32.6 LOTS [CURRENT] 0 LOTS [PROPOSED] 19

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON <u>BART CARROLL</u>
ADDRESS	ADDRESS <u>PO Box 11</u>
CITY, STATE & ZIP	CITY, STATE & ZIP <u>LAVON TX 75166</u>
PHONE	PHONE <u>972 742 4411</u>
E-MAIL	E-MAIL <u>bart.carroll@yahoo.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART CARROLL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 695.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MARCH, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

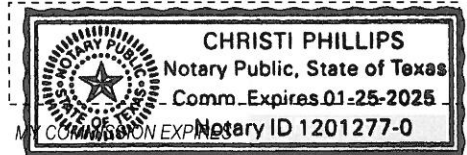
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MARCH, 2021.

OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*





# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
  - MINOR/AMENDING PLAT.
  - MASTER PLAT.
  - PRELIMINARY PLAT.
  - FINAL PLAT.
  - REPLAT.
  - VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
  - ONE (1) PDF COPY OF THE PLAT
  - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
  - SITE PLAN.
  - LANDSCAPE PLAN.
  - TREESCAPE PLAN.
  - PHOTOMETRIC PLAN.
  - BUILDING ELEVATIONS.

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the *Material Sample Board Design Guidelines* in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



# CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

**Case Type:**

- Minor/Amending Plat  
 Final Plat  
 Master Plat  
 Replat  
 Preliminary Plat  
 Vacation Plat

**Case Number**

**Reviewed By:**

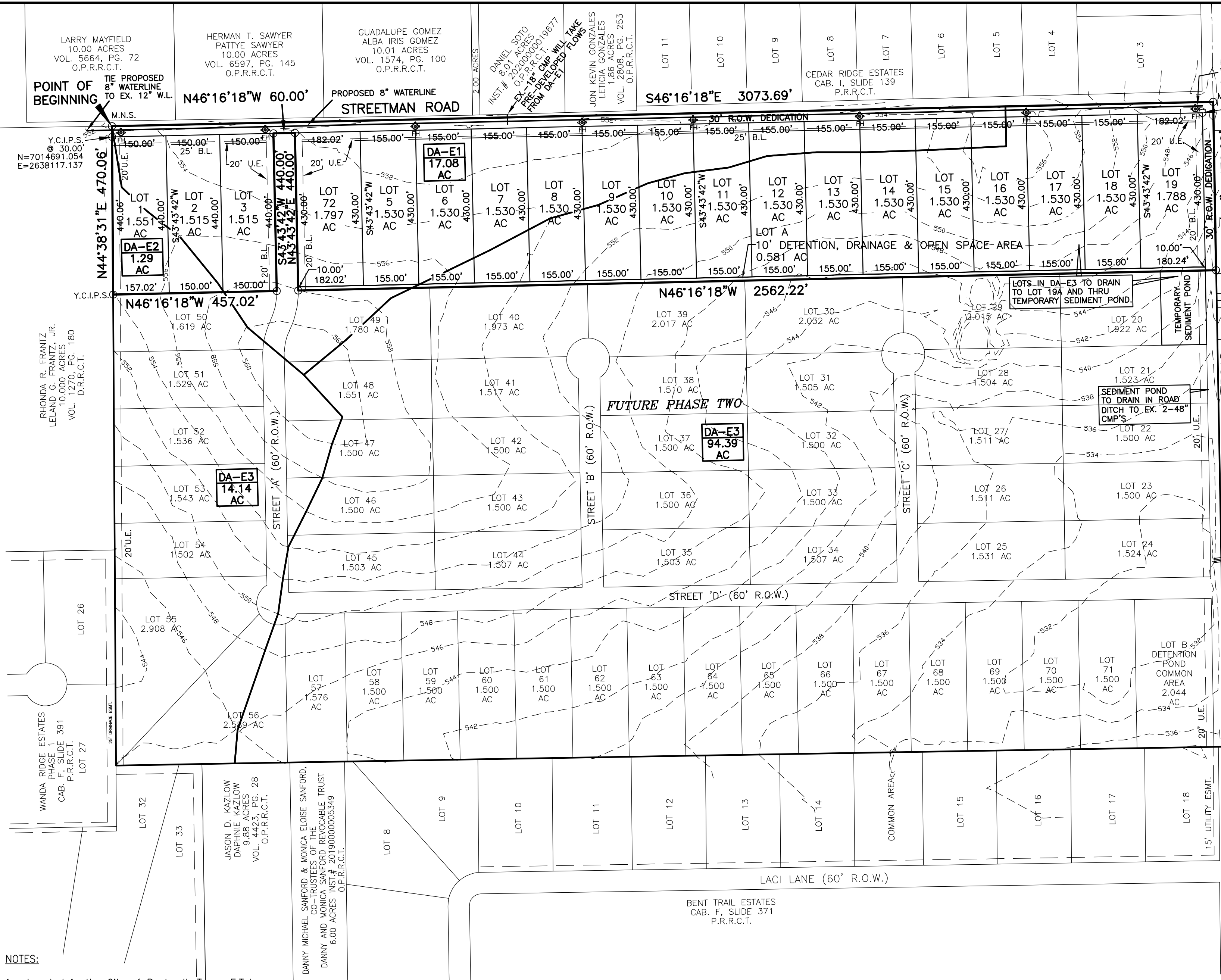
**Review Date:**

**NOTES:** The requirements listed below are based on the case type, which is indicated in the '[ ]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓ = OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") <b>folded</b> copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. <b>ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.</b>
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.
City Limits [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.

Property Lines <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.
Dedication Language <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.

Compliance with Preliminary Plat <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.



**PROPOSED FIRE HYDRANT LOCATIONS**

END WATERLINE WITH FIRE HYDRANT AND FLUSH VALVE

M.N.S.  
Y.C.I.P.S.  
N=7012586.893  
E=2640316.839

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.

M.N.S.  
LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

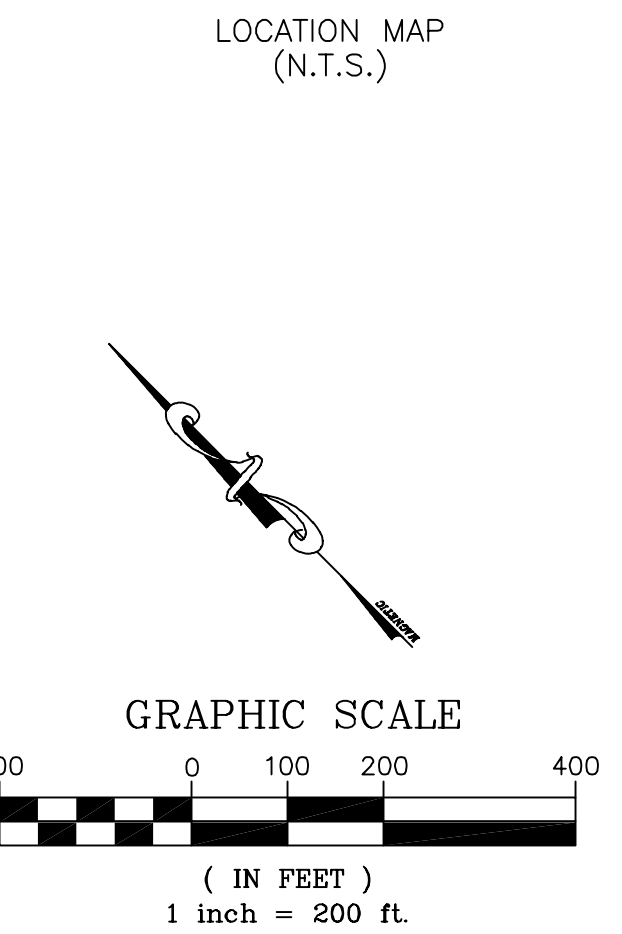
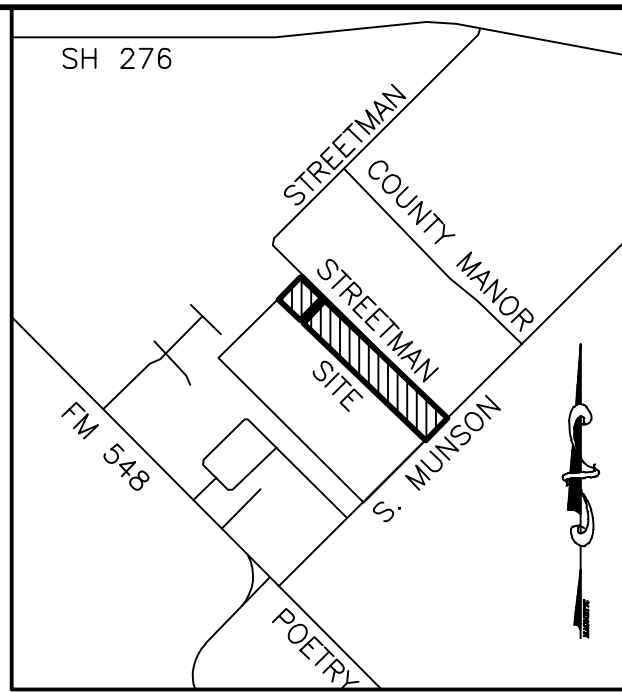
SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

EXISTING:  
2-48" CMP'S

JOHN D. BISHOP  
AUDREY K. BISHOP  
30.09 ACRES  
VOL. 6742, PG. 25  
O.P.R.R.C.T.

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.



- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. OSSF permits are required prior to construction.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**LEGEND**

I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

**FLOOD NOTE:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**CARROLL CONSULTING GROUP, INC.**

972-742-4411

P.O. BOX 11  
LAVON, TEXAS 75166

TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP

**OWNER:**  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

**PRELIMINARY PLAT**

**THE STANDARDS PHASE ONE**

LOTS 1-19 & 19A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:

STATE OF TEXAS  
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a mag nail set for corner in the center of Streetman Road for the north corner of said 65 acre tract and the east corner of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas;

Thence, South 46°16'18" East, along Streetman Road and the northeast lines of said 65 acre tract and the 65.8 acre tract, a distance of 3073.69 feet to a mag nail set for the east corner of said 65.8 acre tract and being the centerline intersection of Streetman Road and S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 470.00 feet to a mag nail set for corner;

Thence, North 46°16'18" West, a distance of 2562.22 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43°43'42" East, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the southwest line of said Streetman Road;

Thence, North 46°16'18" West, along the southwest line of said Streetman Road, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43°43'42" West, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 46°16'18" West, a distance of 457.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the northwest line of said 65 acre tract and on the southeast line of said 10.000 acre tract;

Thence, North 44°38'31" East, along the northwest line of said 65 acre tract and the southeast line of said 10.000 acre tract, passing at a distance of 440.06 feet a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for reference and for a total distance of 470.06 feet to the Point of Beginning and containing 1,419,536 square feet or 32.588 acres of land.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE STANDARDS PHASE ONE subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the Avery Farm Addition subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Robert John Crowell, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

\_\_\_\_\_  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

THE STANDARDS PHASE ONE

LOTS 1-19 & 19A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

OWNER:  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

of the City of Rockwall  
Rockwall County, Texas

Case No.:

CARROLL CONSULTING GROUP, INC.

P.O. BOX 11 972-742-4411  
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP



BOUNDARY CLOSURE REPORT  
**THE STANDARDS PHASE ONE**

North: 7014712.4019' East: 2638138.2199'

Segment #1 : Line

Course: S46° 16' 18.09"E Length: 3073.687'  
North: 7012587.7479' East: 2640359.3451'

Segment #2 : Line

Course: S43° 57' 57.75"W Length: 470.004'  
North: 7012249.4619' East: 2640033.0533'

Segment #3 : Line

Course: N46° 16' 18.09"W Length: 2562.215'  
North: 7014020.5662' East: 2638181.5309'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 440.000'  
North: 7014338.5215' East: 2638485.6763'

Segment #5 : Line

Course: N46° 16' 18.09"W Length: 60.000'  
North: 7014379.9959' East: 2638442.3187'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 440.000'  
North: 7014062.0405' East: 2638138.1734'

Segment #7 : Line

Course: N46° 16' 18.09"W Length: 457.018'  
North: 7014377.9495' East: 2637807.9204'

Segment #8 : Line

Course: N44° 38' 31.33"E Length: 470.060'  
North: 7014712.4022' East: 2638138.2199'

Perimeter: 7972.983' Area: 1419536.06 Sq.  
Ft.

Error Closure: 0.0003 Course: N13° 46'  
58.03"E

Error North: 0.00031 East: 0.00008

Precision 1: 26576613.333



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> #69502 33 AC
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS STREETMAN RD

SUBDIVISION THE STANDARDS Phase 1 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Mon Streetman Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING N/A PROPOSED USE Single Family - Estate

ACREAGE 32.6 LOTS [CURRENT] 0 LOTS [PROPOSED] 19

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON <u>BART CARROLL</u>
ADDRESS	ADDRESS <u>PO Box 11</u>
CITY, STATE & ZIP	CITY, STATE & ZIP <u>LAVON TX 75166</u>
PHONE	PHONE <u>972 742 4411</u>
E-MAIL	E-MAIL <u>bart.carroll@yahoo.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART CARROLL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 695.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MARCH, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

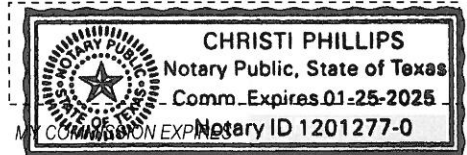
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MARCH, 2021.

OWNER'S SIGNATURE

*[Signature]*

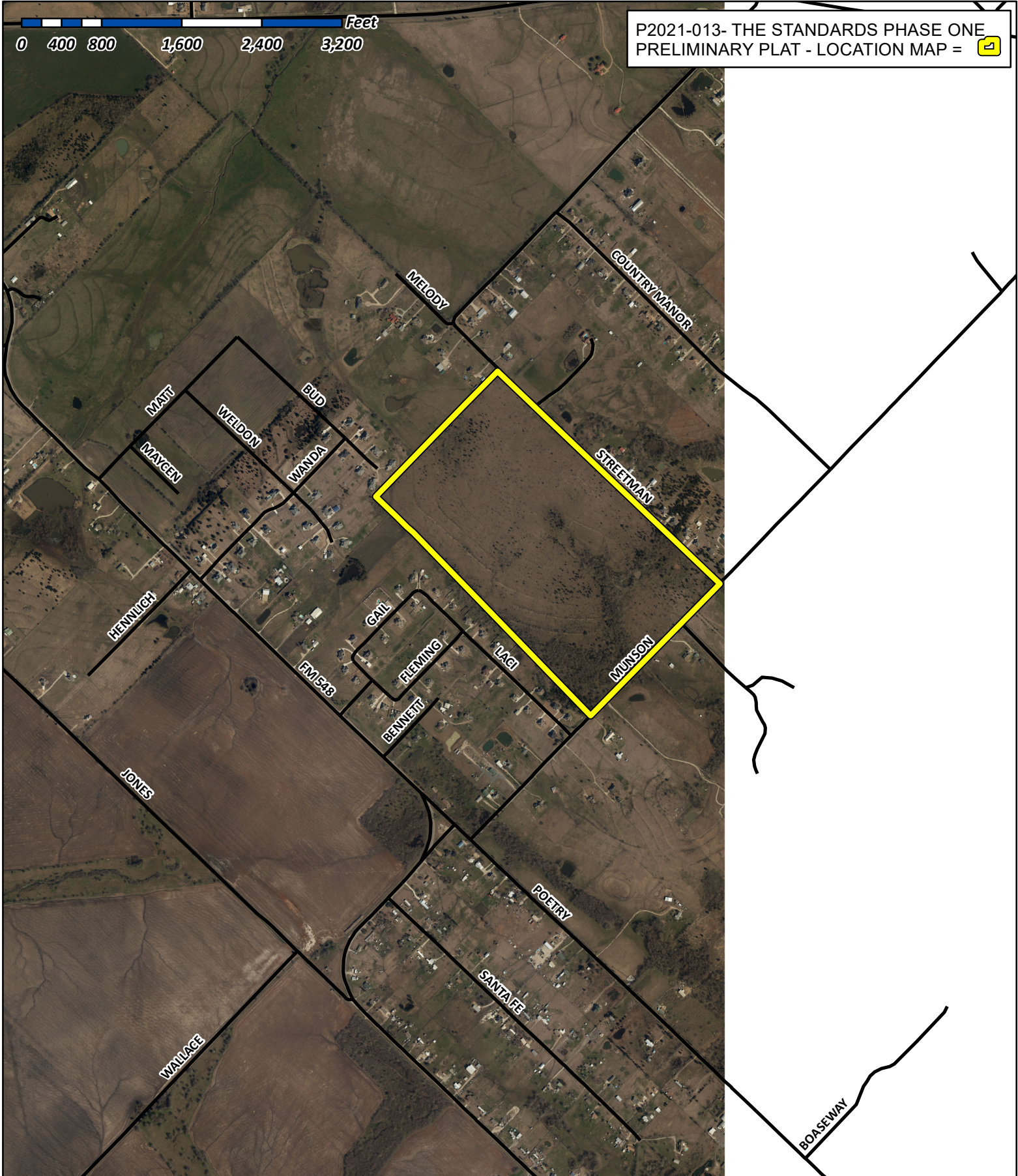
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



0 400 800 1,600 2,400 3,200 Feet

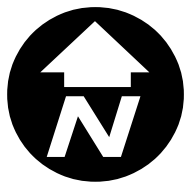
P2021-013- THE STANDARDS PHASE ONE  
PRELIMINARY PLAT - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
  - MINOR/AMENDING PLAT.
  - MASTER PLAT.
  - PRELIMINARY PLAT.
  - FINAL PLAT.
  - REPLAT.
  - VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
  - ONE (1) PDF COPY OF THE PLAT
  - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
  - SITE PLAN.
  - LANDSCAPE PLAN.
  - TREESCAPE PLAN.
  - PHOTOMETRIC PLAN.
  - BUILDING ELEVATIONS.

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the *Material Sample Board Design Guidelines* in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



# CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

**Case Type:**

- Minor/Amending Plat  
 Final Plat  
 Master Plat  
 Replat  
 Preliminary Plat  
 Vacation Plat

**Case Number**

**Reviewed By:**

**Review Date:**

**NOTES:** The requirements listed below are based on the case type, which is indicated in the '[' ]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓ = OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") <b>folded</b> copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. <b>ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.</b>
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.
City Limits [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.

Property Lines <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.
Dedication Language <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.

Compliance with Preliminary Plat <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.



**PROPOSED FIRE HYDRANT LOCATIONS**

END WATERLINE WITH FIRE HYDRANT AND FLUSH VALVE

M.N.S.  
Y.C.I.P.S.  
N=7012586.893  
E=2640316.839

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.

M.N.S.  
LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

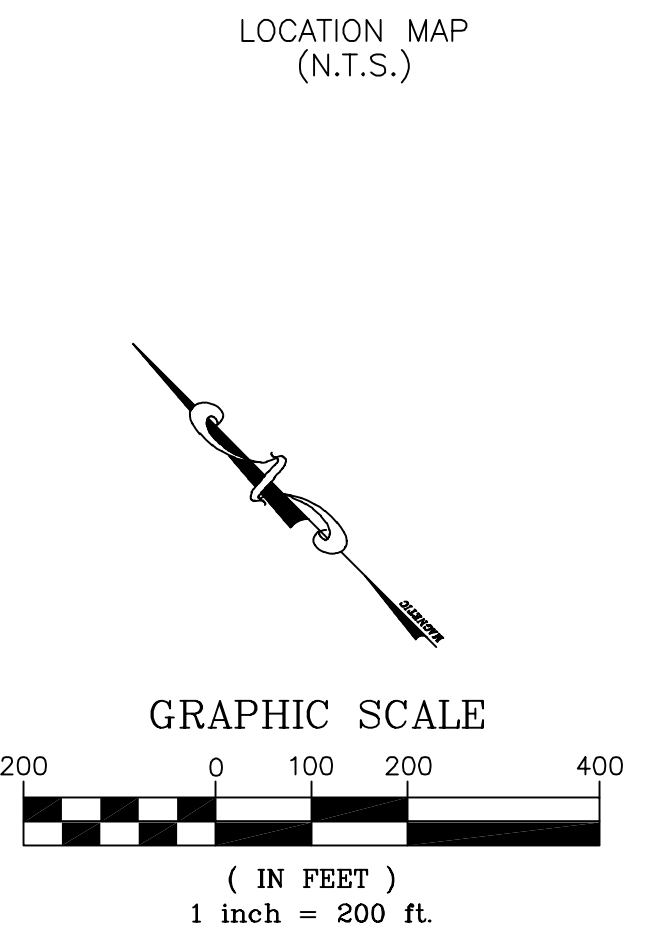
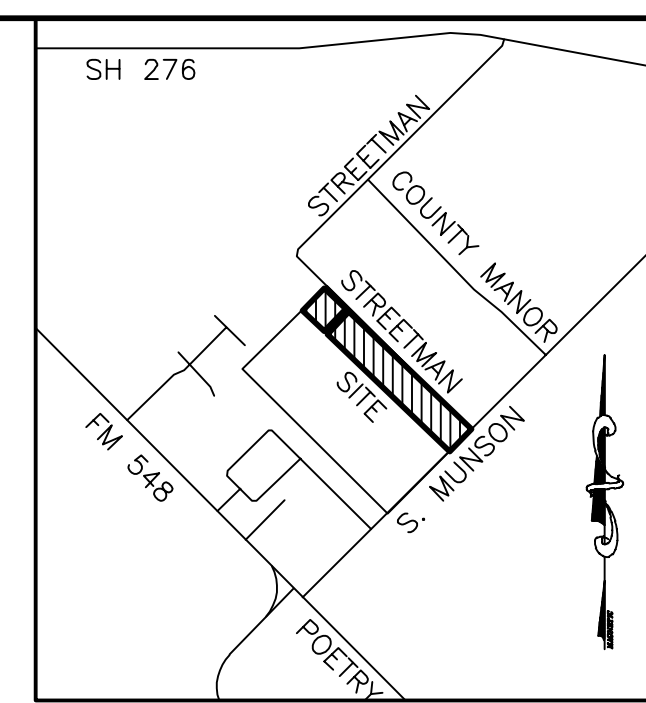
SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

EXISTING:  
2-48" CMP'S

JOHN D. BISHOP  
AUDREY K. BISHOP  
30.09 ACRES  
VOL. 6742, PG. 25  
O.P.R.R.C.T.

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.



- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. OSSF permits are required prior to construction.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**LEGEND**

I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

**FLOOD NOTE:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**CARROLL CONSULTING GROUP, INC.**

972-742-4411  
TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP

**OWNER:**  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

**PRELIMINARY PLAT**

**THE STANDARDS PHASE ONE**

LOTS 1-19 & 19A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:



STATE OF TEXAS  
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a mag nail set for corner in the center of Streetman Road for the north corner of said 65 acre tract and the east corner of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas;

Thence, South 46°16'18" East, along Streetman Road and the northeast lines of said 65 acre tract and the 65.8 acre tract, a distance of 3073.69 feet to a mag nail set for the east corner of said 65.8 acre tract and being the centerline intersection of Streetman Road and S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 470.00 feet to a mag nail set for corner;

Thence, North 46°16'18" West, a distance of 2562.22 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43°43'42" East, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the southwest line of said Streetman Road;

Thence, North 46°16'18" West, along the southwest line of said Streetman Road, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43°43'42" West, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 46°16'18" West, a distance of 457.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the northwest line of said 65 acre tract and on the southeast line of said 10.000 acre tract;

Thence, North 44°38'31" East, along the northwest line of said 65 acre tract and the southeast line of said 10.000 acre tract, passing at a distance of 440.06 feet a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for reference and for a total distance of 470.06 feet to the Point of Beginning and containing 1,419,536 square feet or 32.588 acres of land.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE STANDARDS PHASE ONE subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the Avery Farm Addition subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Robert John Crowell, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

\_\_\_\_\_  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

**THE STANDARDS PHASE ONE**

LOTS 1-19 & 19A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situating within the  
Extraterritorial Jurisdiction (ETJ)

OWNER:  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

of the City of Rockwall  
Rockwall County, Texas

Case No.:

**CARROLL CONSULTING GROUP, INC.**

P.O. BOX 11  
LAVON, TEXAS 75166  
972-742-4411  
TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP

BOUNDARY CLOSURE REPORT  
THE STANDARDS PHASE ONE

North: 7014712.4019' East: 2638138.2199'

Segment #1 : Line

Course: S46° 16' 18.09"E Length: 3073.687'  
North: 7012587.7479' East: 2640359.3451'

Segment #2 : Line

Course: S43° 57' 57.75"W Length: 470.004'  
North: 7012249.4619' East: 2640033.0533'

Segment #3 : Line

Course: N46° 16' 18.09"W Length: 2562.215'  
North: 7014020.5662' East: 2638181.5309'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 440.000'  
North: 7014338.5215' East: 2638485.6763'

Segment #5 : Line

Course: N46° 16' 18.09"W Length: 60.000'  
North: 7014379.9959' East: 2638442.3187'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 440.000'  
North: 7014062.0405' East: 2638138.1734'

Segment #7 : Line

Course: N46° 16' 18.09"W Length: 457.018'  
North: 7014377.9495' East: 2637807.9204'

Segment #8 : Line

Course: N44° 38' 31.33"E Length: 470.060'  
North: 7014712.4022' East: 2638138.2199'

Perimeter: 7972.983' Area: 1419536.06 Sq.  
Ft.

Error Closure: 0.0003 Course: N13° 46'  
58.03"E

Error North: 0.00031 East: 0.00008

Precision 1: 26576613.333

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/25/2021

PROJECT NUMBER: P2021-013  
PROJECT NAME: Lots 1-19, The Standards Phase One  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: David Gonzales  
CASE MANAGER PHONE: (972) 772-6488  
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Bart Carroll for the approval of a Preliminary Plat for the Standards Subdivision being a 32.60-acre tract of land identified as Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	03/24/2021	Needs Review

03/24/2021: P2021-013; Preliminary Plat for the Standards Subdivision Addition - ETJ  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for the Standards Subdivision being a 32.60-acre tract of land identified as Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2021-013) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (§04.01, Art. 11, UDC)

M.5 Title Block: Add "Block A" after Lots 1-19 & 19A (i.e. Lots 1-19 & 19A, Block A) [Chapter 38, Subdivision Ordinance, Municipal Code of Ordinances]

M.6 Provide a label indicating Block A on the platted lots. [Chapter 38, Subdivision Ordinance, Municipal Code of Ordinances]

M.7 Remove the proposed Phase 2 from the preliminary plat where Phase 1 is the only properties shown for approval. [Chapter 38, Subdivision Ordinance, Municipal Code of Ordinances]

M.8 Provide Preliminary Drainage & Utility Plans for Phase 1. [Chapter 38, Subdivision Ordinance, Municipal Code of Ordinances]

M.9 Correct the subdivision name on page 2 from Avery Farm Addition to The Standards Addition under the dedication language (i.e. Now, Therefore...State of Texas) [Chapter 38, Subdivision Ordinance, Municipal Code of Ordinances]

M.10 Rockwall County to review and approve the sewage disposal method. (Section (4)(a)(2), Adequate Public Utilities (Wastewater), Exhibit 'A', ILA)

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by April 6, 2021, and provide any additional information that is requested.

I.12 Please provide two (2) large copies and one PDF version for review by staff.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on March 30, 2021
- 2) Planning & Zoning Regular meeting will be held on April 13, 2021
- 3) City Council meeting will be held on April 19, 2021

I.14 Staff requires that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/24/2021	Needs Review

03/24/2021: M - Remove all lot lines except for the detention easement from Future Phase Two

M - See Water Note about CCN Service Areas.

M - Must dedicate a 20' easement along the northwest property line per the Master Water Plan.

M - Must dedicate a 20' easement connecting Laci Ln to Streetman Rd.

M - This property has two water CCN service areas on it. You may chose to opt out of one of them to have the whole area on one system.

The following items are your information for the engineering review process.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

I - May need off-site easements for detention outfall.

Roadway Paving Items:

I - No dead-end streets allowed without City approved turnaround

I - Internal streets must have 29' B-B paving. Curb and gutter design, reinforced concrete construction. No asphalt or rock streets.

I -Alleys are required. Must get variance

Water and Wastewater Items:

M - Must dedicate a 20' easement along the northwest property line per the Master Water Plan.

M - Must dedicate a 20' easement connecting Laci Ln to Streetman Rd.

M - This property has two water CCN service areas on it. You may chose to opt out of one of them to have the whole area on one system.

I - Blackland water supply does not have any additional water service connections allowed with the current agreement with Rockwall as water supplier.

I - Based on the acreage, it appears that you will be on septic. Septic systems must be permitted through Rockwall County.

Drainage Items:

I - Detention is required. There are two drainage basins on this property. See attached map.

I - No vertical walls are allowed in detention easement or the floodplain.

I - Areas of 20 acres or more must use the unit hydrograph method for detention calculations. Review fees apply.

I - Manning's C-value is per zoning type.

I - Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.

I - No lot to lot drainage allowed

Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

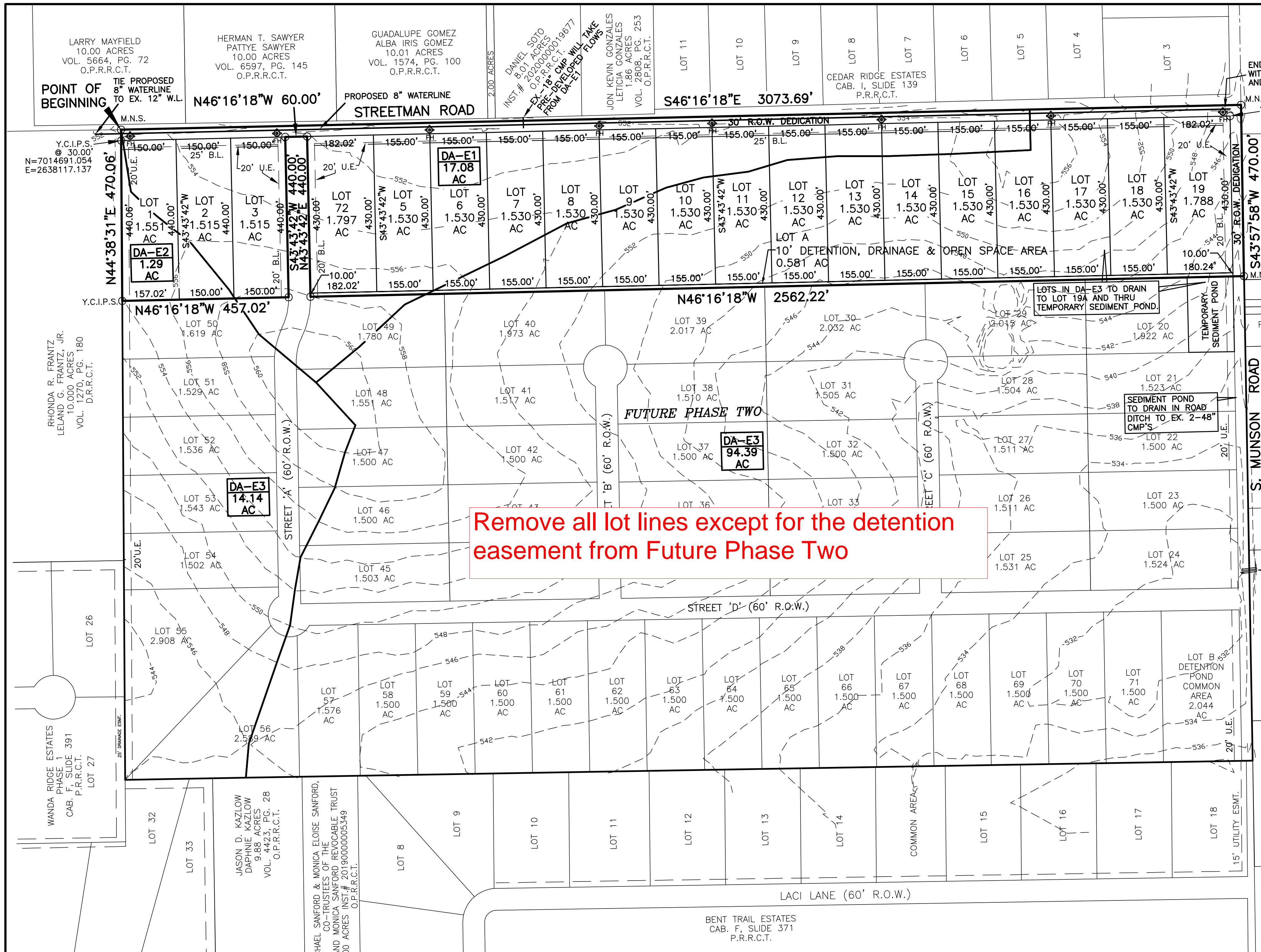
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/22/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/24/2021	Approved w/ Comments
03/24/2021: The Needed Fire Flow shall be verified/provided prior to any construction on these lots.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/22/2021	Approved w/ Comments
03/22/2021: To avoid future conflicts, please consider renaming the plat to something else since we already have a 'The Standard' Addition inside the City of Rockwall and this property is in our ETJ.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	03/25/2021	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/22/2021	Approved
03/22/2021: No comments			



TH - PROPOSED FIRE HYDRANT LOCATIONS

**General Items:**  
 I - Must meet City Standards of Design and Construction  
 I - 4% Engineering Inspection Fees  
 I - Impact Fees (Water, Wastewater & Roadway)  
 I - Minimum easement width is 20' for new easements. No structures allowed in easements.  
 I - Retaining walls 3' and over must be engineered.  
 I - All retaining walls must be rock or stone face. No smooth concrete walls.  
 I - May need off-site easements for detention outfall.

**Roadway Paving Items:**  
 I - No dead-end streets allowed without City approved turnaround  
 I - Internal streets must have 29" B-B paving. Curb and gutter design, reinforced concrete construction. No asphalt or rock streets.  
 I - Alleys are required. Must get variance

**Water and Wastewater Items:**  
 M - Must dedicate a 20' easement along the northwest property line per the Master Water Plan.  
 M - Must dedicate a 20' easement connecting Laci Ln to Streetman Rd.  
 M - This property has two water CCN service areas on it. You may chose to opt out of one of them to have the whole area on one system.  
 I - Blackland water supply does not have any additional water service connections allowed with the current agreement with Rockwall as water supplier.  
 I - Based on the acreage, it appears that you will be on septic. Septic systems must be permitted through Rockwall County.

**Drainage Items:**  
 I - Detention is required. There are two drainage basins on this property. See attached map.  
 I - No vertical walls are allowed in detention easement or the floodplain.  
 I - Areas of 20 acres or more must use the unit hydrograph method for detention calculations. Review fees apply.  
 I - Manning's C-value is per zoning type.  
 I - Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.  
 I - No lot to lot drainage allowed

**Landscaping:**  
 I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.  
 I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Remove all lot lines except for the detention easement from Future Phase Two

See Water Note about CCN Service Areas

- NOTES:
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plain Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. OSSF permits are required prior to construction.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**CARROLL CONSULTING GROUP, INC.**  
 972-742-4411  
 P.O. BOX 11  
 LAVON, TEXAS 75166  
 TEXAS FIRM REGISTRATION NO.: 10007200  
 TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP

**LEGEND**  
 I.P.F. - IRON PIN FOUND  
 D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS  
 O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS  
 Y.C.I.P.S. - YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

FLOOD NOTE:  
 ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**THE STANDARDS PHASE ONE**  
 LOTS 1-19 & 19A  
 19 Residential Lots  
 Being 32.588 - Acres of Land  
 Samuel McFadgin Survey, Abstract No. 142  
 Situated within the  
 Extraterritorial Jurisdiction (ETJ)  
 of the City of Rockwall  
 Rockwall County, Texas  
 Case No.:  
 OWNER:  
 ROBERT JOHN CROWELL  
 PO BOX 466  
 ROYSE CITY, TEXAS 75189  
 PHONE: (214) 460-4444



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> #69502 33 AC
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS STREETMAN RD

SUBDIVISION THE STANDARDS Phase 1 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Mon Streetman Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING N/A PROPOSED USE Single Family - Estate

ACREAGE 32.6 LOTS [CURRENT] 0 LOTS [PROPOSED] 19

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON <u>BART CARROLL</u>
ADDRESS	ADDRESS <u>PO Box 11</u>
CITY, STATE & ZIP	CITY, STATE & ZIP <u>LAVON TX 75166</u>
PHONE	PHONE <u>972 742 4411</u>
E-MAIL	E-MAIL <u>bart.carroll@yahoo.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART CARROLL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 695.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MARCH, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

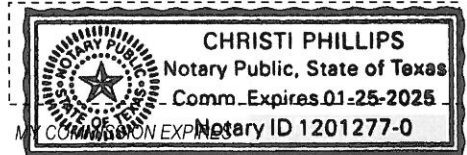
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MARCH, 2021.

OWNER'S SIGNATURE

*[Signature]*

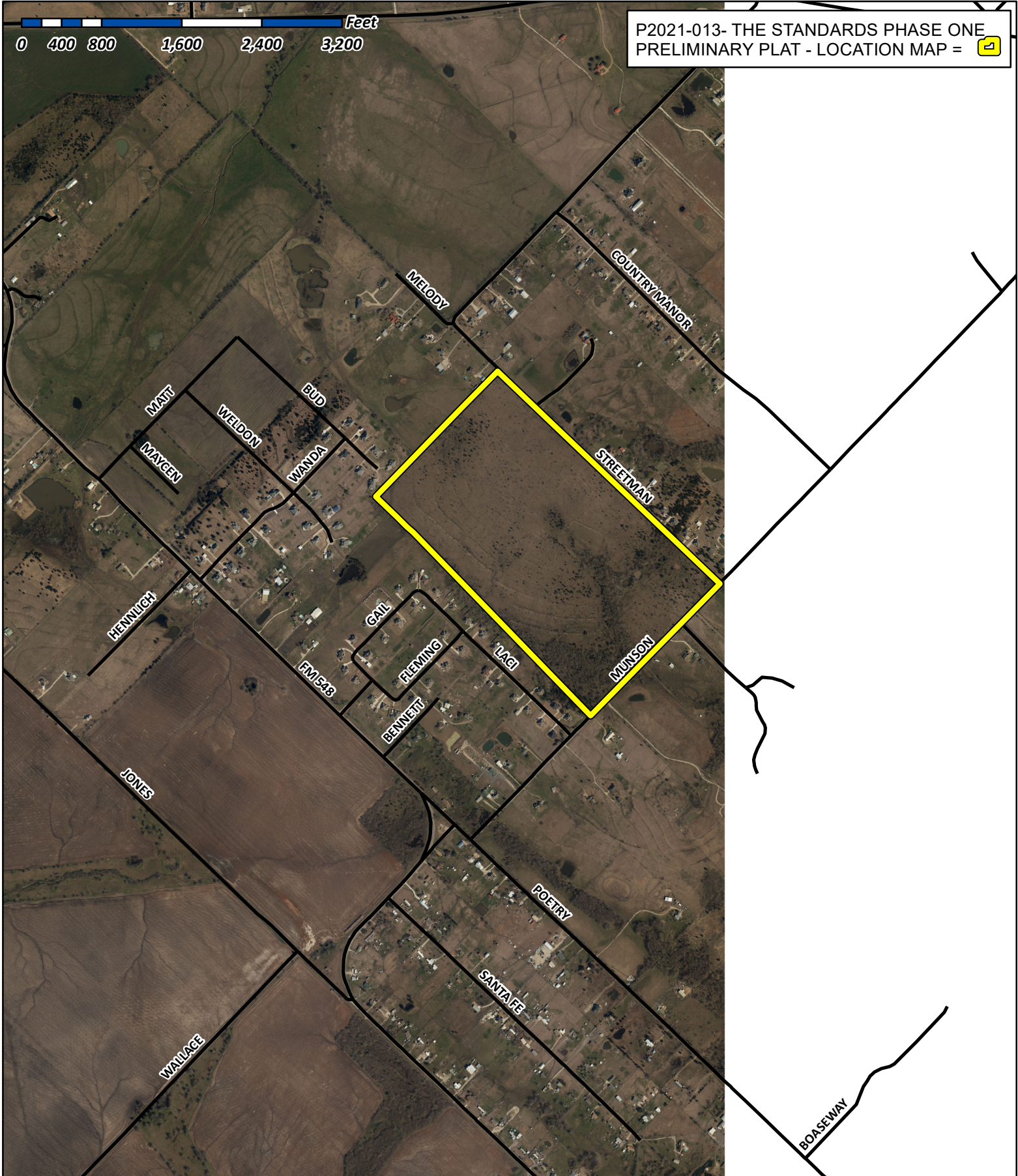
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



0 400 800 1,600 2,400 3,200 Feet

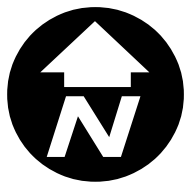
P2021-013- THE STANDARDS PHASE ONE  
PRELIMINARY PLAT - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







## CASH SPECIAL UTILITY DISTRICT

172 FM 1564 EAST  
P.O. BOX 8129  
GREENVILLE, TEXAS 75404-8129  
PHONE (903) 883-2695 FAX (903) 883-4045

January 19, 2021

The Honorable David Sweet, County Judge  
Rockwall County Courthouse  
101 E. Rusk St  
Suite 202  
Rockwall TX, 75087

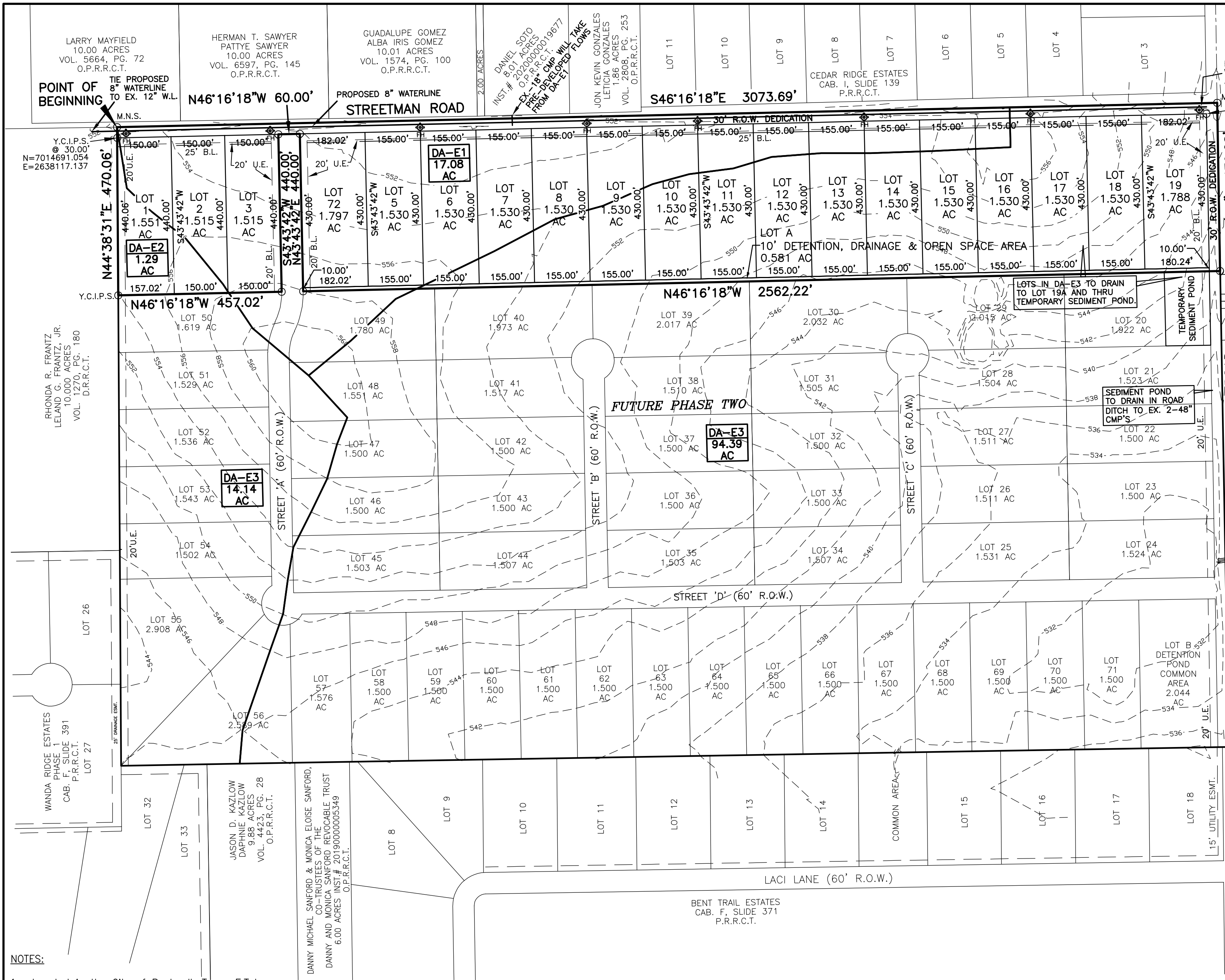
Dear Sir:

The District holds the Certificate of Convenience and Necessity (CCN) No. 10824 for the area where Robert Crowell owns property on Streetman Road. Upon installation of the approved on-site and off-site facilities and execution of the Non-Standard Water Utility Service Agreement between the District and Robert Crowell, the District will supply water to his property.

If you should have any questions regarding service to the subdivision, please feel free to contact me.

Sincerely,

Clay Hodges, General Manager  
Cash Special Utility District



**PROPOSED FIRE HYDRANT LOCATIONS**

END WATERLINE WITH FIRE HYDRANT AND FLUSH VALVE

M.N.S.  
Y.C.I.P.S.  
N=7012586.893  
E=2640316.839

RICHARD A. GRESCHAW  
MARY J. GRESCHAW  
5.500 ACRES  
VOL. 1636 PG. 251  
O.P.R.R.C.T.

M.N.S.  
LARRY CALDWELL 5.00 ACRES  
VOL. 6028, PG. 287

RALPH MAXWELL BUTLER & KAY ANN BUTLER  
24.32 ACRES INST.# 20170000021259

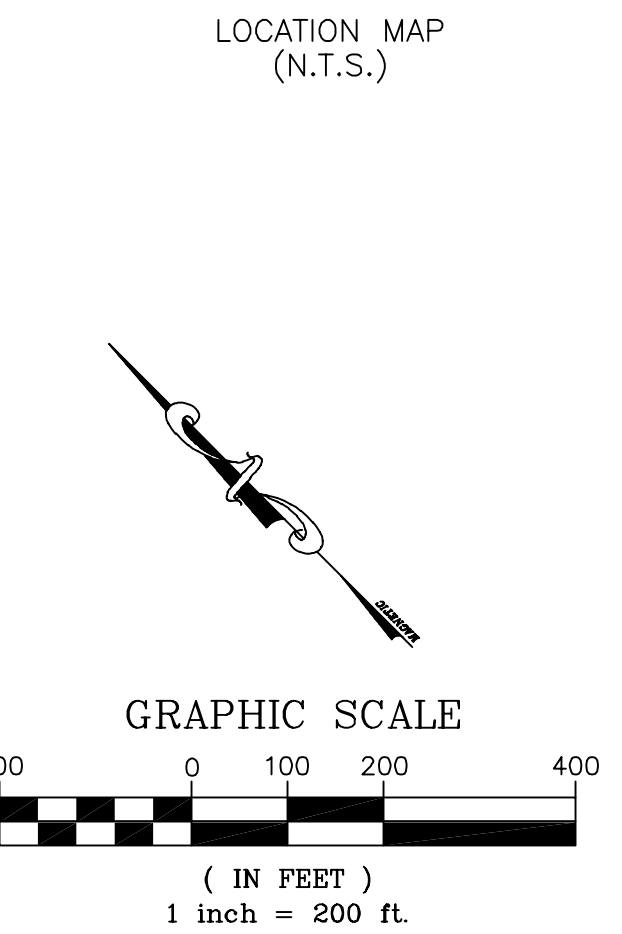
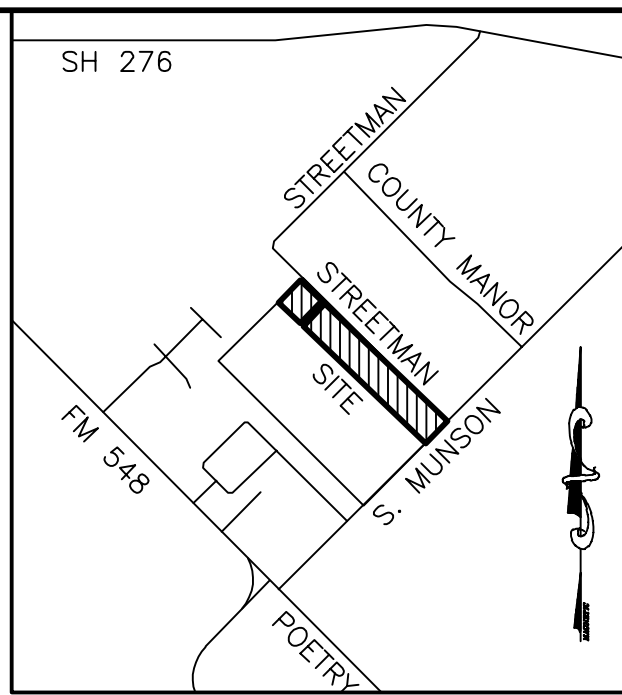
SUSAN P. DEWITT  
6.50 ACRES  
VOL. 6510, PG. 272  
O.P.R.R.C.T.

FELIX DIAZ  
10.000 ACRES  
INST.# 20160000009790

EXISTING:  
2-48" CMP'S

JOHN D. BISHOP  
AUDREY K. BISHOP  
30.09 ACRES  
VOL. 6742, PG. 25  
O.P.R.R.C.T.

SUSAN J. DAHSE  
WALTER D. DAYSE  
12.000 ACRES  
VOL. 5357, PG. 124  
O.P.R.R.C.T.



- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plane Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. OSSF permits are required prior to construction.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**LEGEND**

I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

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**CARROLL CONSULTING GROUP, INC.**

972-742-4411

P.O. BOX 11  
LAVON, TEXAS 75166

TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP

**OWNER:**  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

**PRELIMINARY PLAT**

**THE STANDARDS PHASE ONE**

LOTS 1-19 & 19A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.:

STATE OF TEXAS  
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a mag nail set for corner in the center of Streetman Road for the north corner of said 65 acre tract and the east corner of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas;

Thence, South 46°16'18" East, along Streetman Road and the northeast lines of said 65 acre tract and the 65.8 acre tract, a distance of 3073.69 feet to a mag nail set for the east corner of said 65.8 acre tract and being the centerline intersection of Streetman Road and S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 470.00 feet to a mag nail set for corner;

Thence, North 46°16'18" West, a distance of 2562.22 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43°43'42" East, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the southwest line of said Streetman Road;

Thence, North 46°16'18" West, along the southwest line of said Streetman Road, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43°43'42" West, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 46°16'18" West, a distance of 457.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the northwest line of said 65 acre tract and on the southeast line of said 10.000 acre tract;

Thence, North 44°38'31" East, along the northwest line of said 65 acre tract and the southeast line of said 10.000 acre tract, passing at a distance of 440.06 feet a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for reference and for a total distance of 470.06 feet to the Point of Beginning and containing 1,419,536 square feet or 32.588 acres of land.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE STANDARDS PHASE ONE subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the Avery Farm Addition subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Robert John Crowell, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

\_\_\_\_\_  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

**THE STANDARDS PHASE ONE**

LOTS 1-19 & 19A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

OWNER:  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

of the City of Rockwall  
Rockwall County, Texas

Case No.:

**CARROLL CONSULTING GROUP, INC.**

P.O. BOX 11  
LAVON, TEXAS 75166  
972-742-4411  
TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 17, 2021	CP

BOUNDARY CLOSURE REPORT  
THE STANDARDS PHASE ONE

North: 7014712.4019' East: 2638138.2199'

Segment #1 : Line

Course: S46° 16' 18.09"E Length: 3073.687'  
North: 7012587.7479' East: 2640359.3451'

Segment #2 : Line

Course: S43° 57' 57.75"W Length: 470.004'  
North: 7012249.4619' East: 2640033.0533'

Segment #3 : Line

Course: N46° 16' 18.09"W Length: 2562.215'  
North: 7014020.5662' East: 2638181.5309'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 440.000'  
North: 7014338.5215' East: 2638485.6763'

Segment #5 : Line

Course: N46° 16' 18.09"W Length: 60.000'  
North: 7014379.9959' East: 2638442.3187'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 440.000'  
North: 7014062.0405' East: 2638138.1734'

Segment #7 : Line

Course: N46° 16' 18.09"W Length: 457.018'  
North: 7014377.9495' East: 2637807.9204'

Segment #8 : Line

Course: N44° 38' 31.33"E Length: 470.060'  
North: 7014712.4022' East: 2638138.2199'

Perimeter: 7972.983' Area: 1419536.06 Sq.  
Ft.

Error Closure: 0.0003 Course: N13° 46'  
58.03"E

Error North: 0.00031 East: 0.00008

Precision 1: 26576613.333



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** April 13, 2021  
**APPLICANT:** Bart Carroll  
**CASE NUMBER:** P2021-013; *Preliminary Plat for Lots 1-19, Block A, Landon Subdivision*

---

### SUMMARY

Consider a request by Bart Carroll for the approval of a Preliminary Plat for the Landon Subdivision being a 32.60-acre tract of land identified as Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a Preliminary Plat for a single-family residential subdivision (*i.e. The Landon Addition*), which will be situated on a 32.60-acre tract of land located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). According to the preliminary plat, the development will consist of 19 single-family residential lots that will be a minimum of 1½-acres in size. The development will be accessible via a 50-foot roadway (*i.e. Streetman Road*) that will connect to the existing S. Munson Road. The preliminary plat also shows that an additional 30-feet of right-of-way will be dedicated to Streetman Road. This dedication conforms to the *Rockwall County Thoroughfare Plan*.
- In addition to the preliminary plat, the applicant has submitted preliminary drainage and utility plans indicating how the development will be served. According to Section 38-5(d)(1), *Policy*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances, "(l)and proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities .... Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities whether the facilities are to be located within the property being developed or offsite." The applicant's proposed preliminary plat appears to show the provision of sufficient public facilities. Additionally, the applicant has provided a *Will Serve Letter* from Cash Special Utility District indicating this district holds the Certificate of Convenience and Necessity (CCN) for the subject property and is able to provide water to the property.
- The purpose of the *preliminary plat* is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*. In addition, the preliminary plat is required to meet all of the requirements of the *Interim Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality* between Rockwall County and the City of Rockwall, the City of Rockwall's *Standards of Design and Construction Manual*, and Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the *Preliminary Plat* for *Lots 1-19, Block A, the Landon Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) Any construction resulting from the approval of this *Preliminary Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/9/2021

PROJECT NUMBER: P2021-013  
PROJECT NAME: Lots 1-19, The Landon Phase One  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: David Gonzales  
CASE MANAGER PHONE: (972) 772-6488  
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Bart Carroll for the approval of a Preliminary Plat for the Landon Subdivision being a 32.60-acre tract of land identified as Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	04/08/2021	Approved w/Condition

04/08/2021: P2021-013; Preliminary Plat for the Standards Subdivision Addition - ETJ  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.2 Title Block: Change to add Lot 19A (i.e. Lots 1-19 & 19A, Block A). [Chapter 38, Subdivision Ordinance, Municipal Code of Ordinances]

I.3 Please provide one (1) large copies and one PDF version for review by staff.

I.4 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Regular meeting will be held on April 13, 2021
- 2) City Council meeting will be held on April 19, 2021

I.5 Although this will be on the consent agenda, staff requires that a representative be present for the meetings as scheduled regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	David Gonzales	04/09/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	04/08/2021	N/A
No Comments			

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/08/2021	N/A

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	04/08/2021	N/A

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No Comments

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	04/08/2021	N/A

---

No Comments





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-013

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> #69502 33 AC
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS STREETMAN RD

SUBDIVISION THE STANDARDS Phase 1 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Mon Streetman Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING N/A PROPOSED USE Single Family - Estate

ACREAGE 32.6 LOTS [CURRENT] 0 LOTS [PROPOSED] 19

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON <u>BART CARROLL</u>
ADDRESS	ADDRESS <u>PO Box 11</u>
CITY, STATE & ZIP	CITY, STATE & ZIP <u>LAVON TX 75166</u>
PHONE	PHONE <u>972 742 4411</u>
E-MAIL	E-MAIL <u>bart.carroll@yahoo.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART CARROLL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 695.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MARCH, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

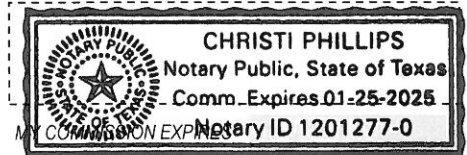
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MARCH, 2021.

OWNER'S SIGNATURE

*[Signature]*

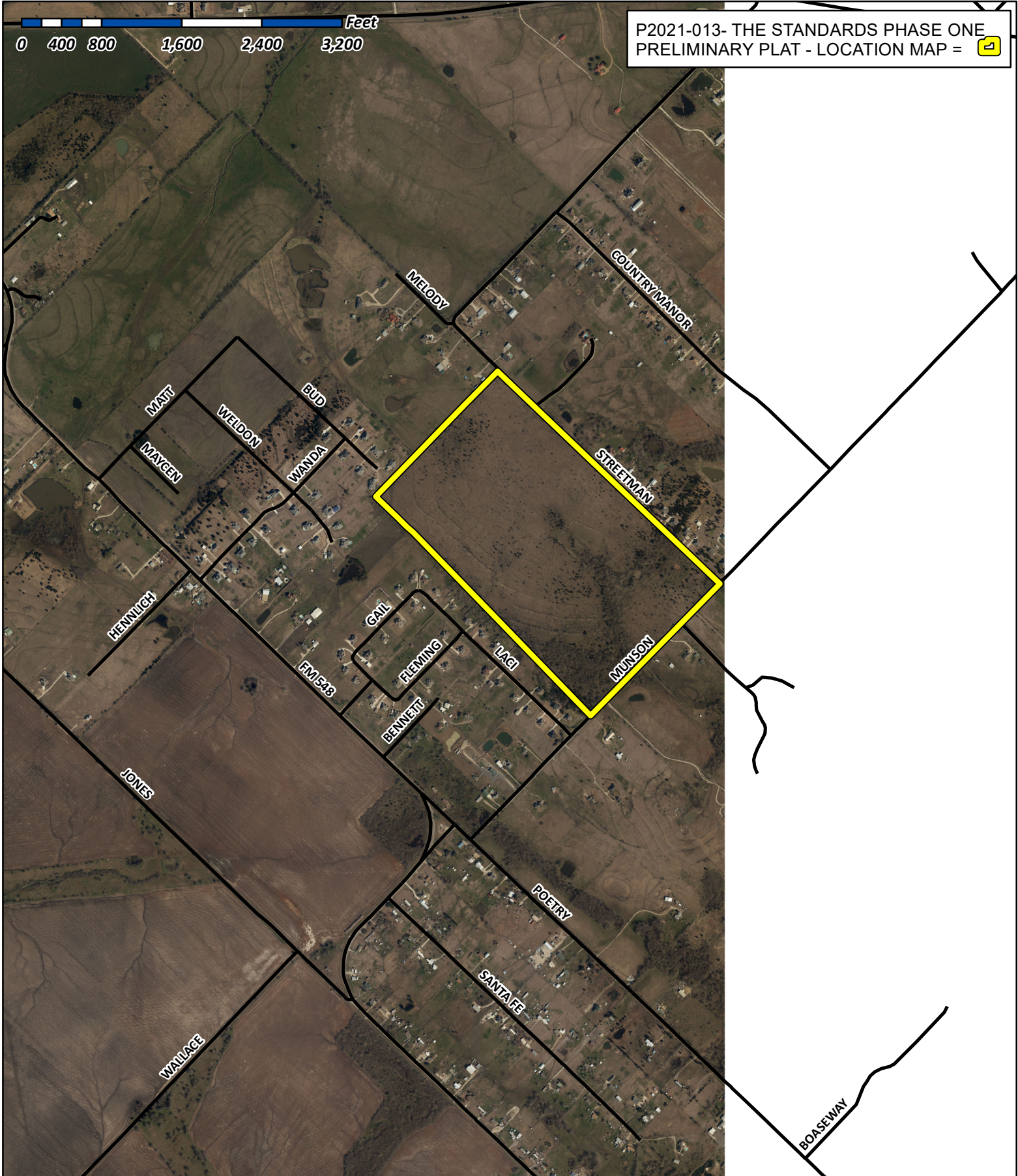
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



0 400 800 1,600 2,400 3,200 Feet

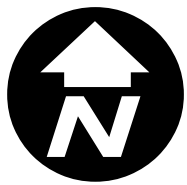
P2021-013- THE STANDARDS PHASE ONE  
PRELIMINARY PLAT - LOCATION MAP = 

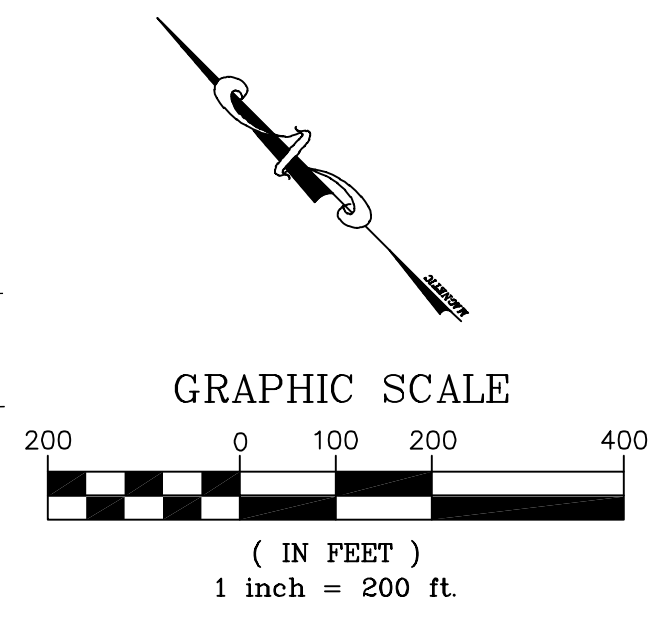
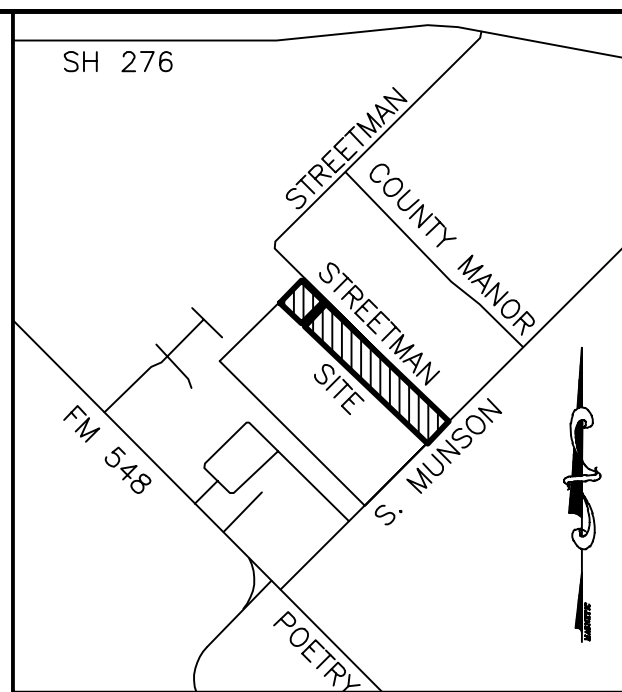
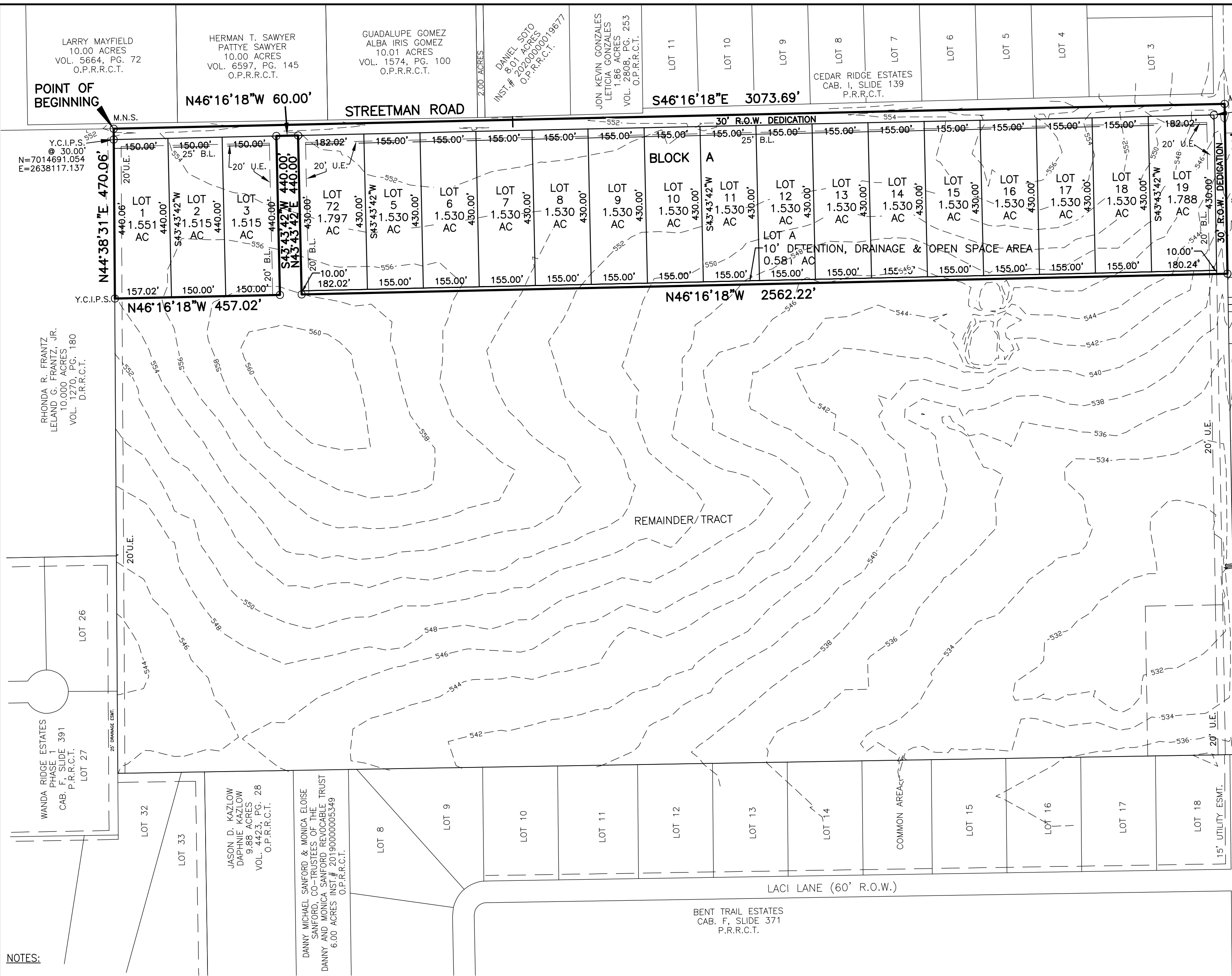


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plain Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

**LEGEND**

I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

**FLOOD NOTE:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**OWNER:**  
 ROBERT JOHN CROWELL  
 PO BOX 466  
 ROYSE CITY, TEXAS 75189  
 PHONE: (214) 460-4444

**CARROLL CONSULTING GROUP, INC.**

972-742-4411  
 TEXAS FIRM REGISTRATION NO.: 10007200  
 TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 29, 2021	CP

**PRELIMINARY PLAT**

**THE LANDON PHASE ONE**

LOTS 1-19 & LOT A, BLOCK A  
 19 Residential Lots  
 Being 32.588 - Acres of Land  
 Samuel McFadgin Survey, Abstract No. 142  
 Situated within the  
 Extraterritorial Jurisdiction (ETJ)  
 of the City of Rockwall  
 Rockwall County, Texas  
 Case No.: P2021-013

STATE OF TEXAS  
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a mag nail set for corner in the center of Streetman Road for the north corner of said 65 acre tract and the east corner of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas;

Thence, South 46'16"18" East, along Streetman Road and the northeast lines of said 65 acre tract and the 65.8 acre tract, a distance of 3073.69 feet to a mag nail set for the east corner of said 65.8 acre tract and being the centerline intersection of Streetman Road and S. Munson Road;

Thence, South 43'57"58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 470.00 feet to a mag nail set for corner;

Thence, North 46'16"18" West, a distance of 2562.22 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43'43"42" East, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the southwest line of said Streetman Road;

Thence, North 46'16"18" West, along the southwest line of said Streetman Road, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43'43"42" West, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 46'16"18" West, a distance of 457.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the northwest line of said 65 acre tract and on the southeast line of said 10.000 acre tract;

Thence, North 44'38"31" East, along the northwest line of said 65 acre tract and the southeast line of said 10.000 acre tract, passing at a distance of 440.06 feet a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for reference and for a total distance of 470.06 feet to the Point of Beginning and containing 1,419,536 square feet or 32.588 acres of land.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE ONE subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase One subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Robert John Crowell, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

\_\_\_\_\_  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

**THE LANDON PHASE ONE**

LOTS 1-19 & LOT A, BLOCK A  
19 Residential Lots  
Being 32.588 - Acres of Land

Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)

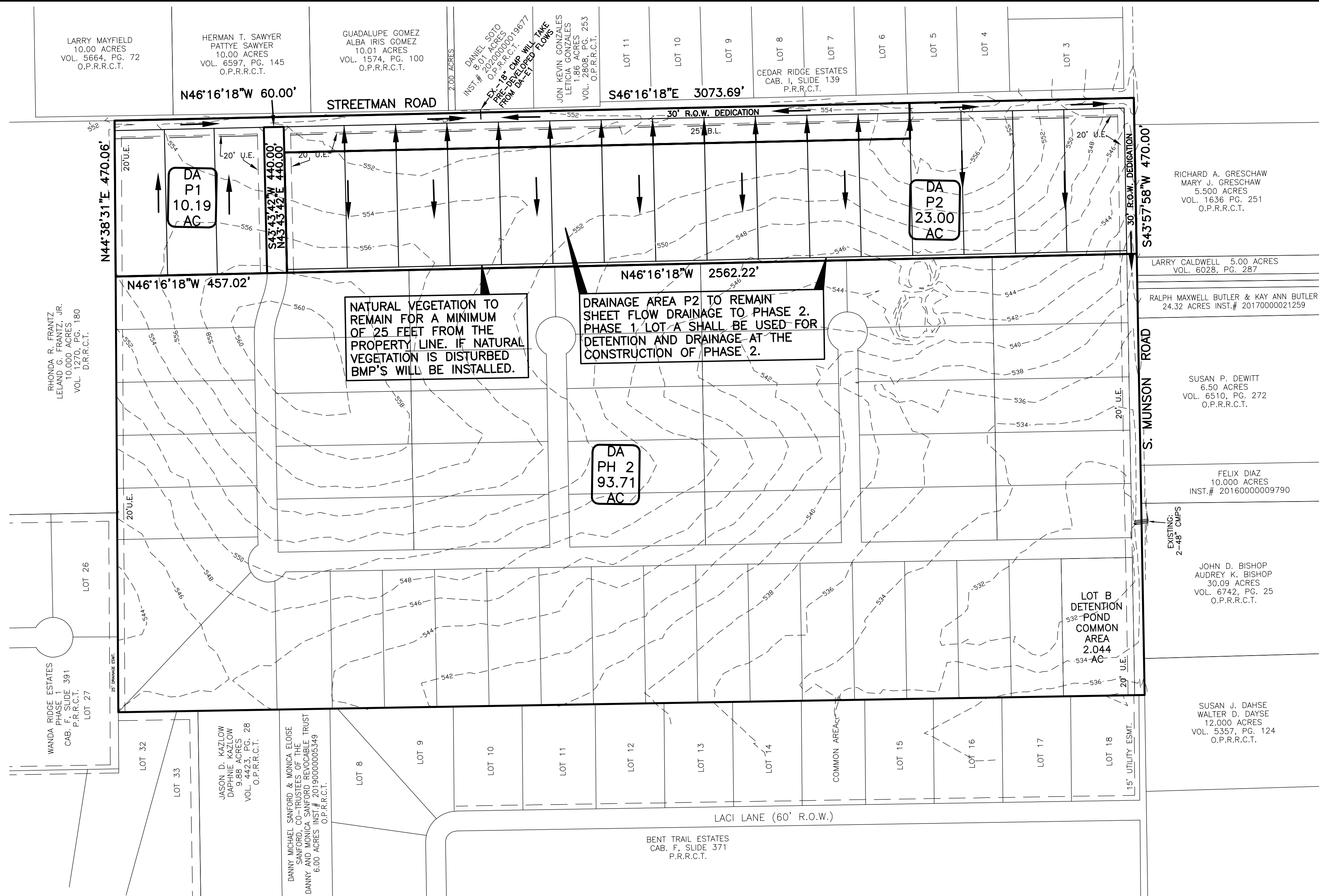
of the City of Rockwall  
Rockwall County, Texas  
Case No.: P2021-013

OWNER:  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

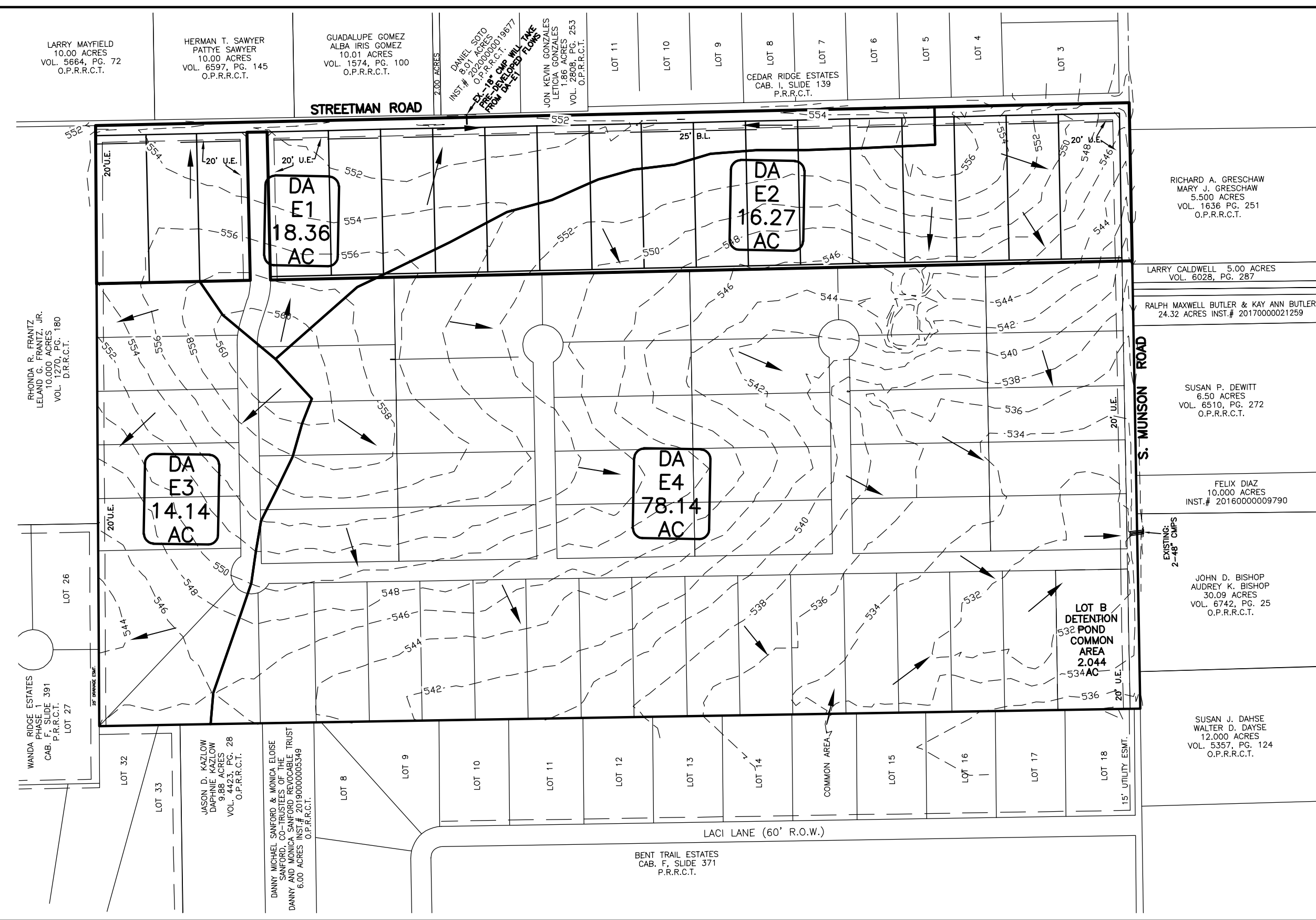
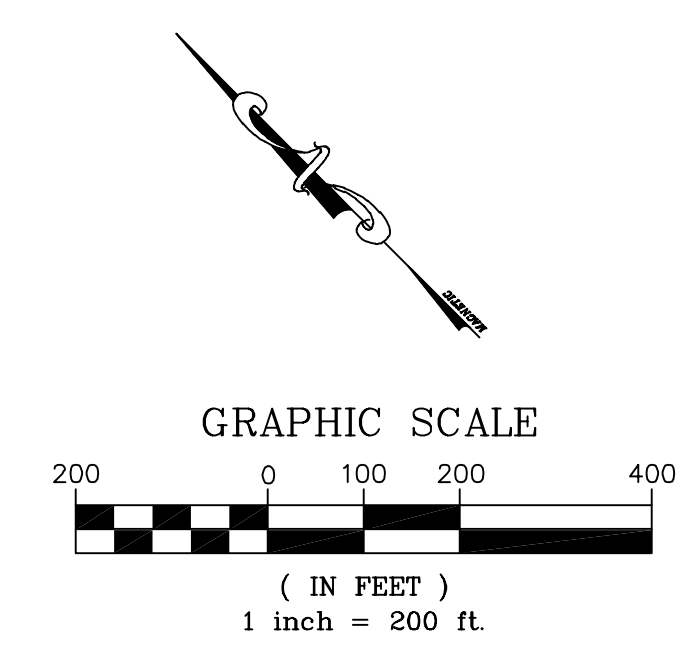
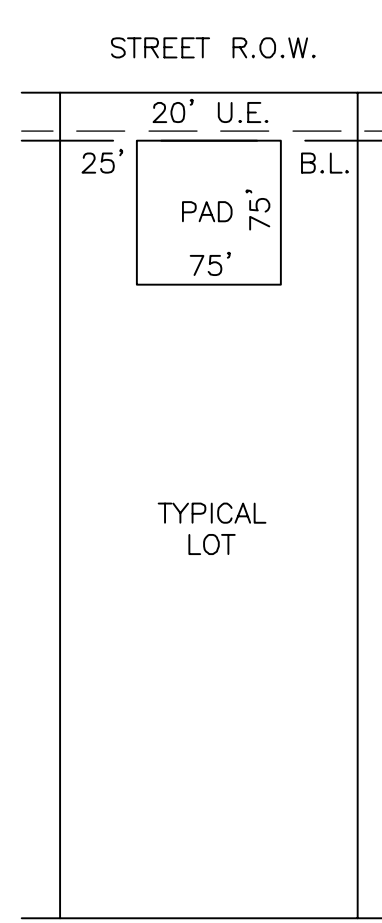
**CARROLL CONSULTING GROUP, INC.**

P.O. BOX 11 972-742-4411  
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

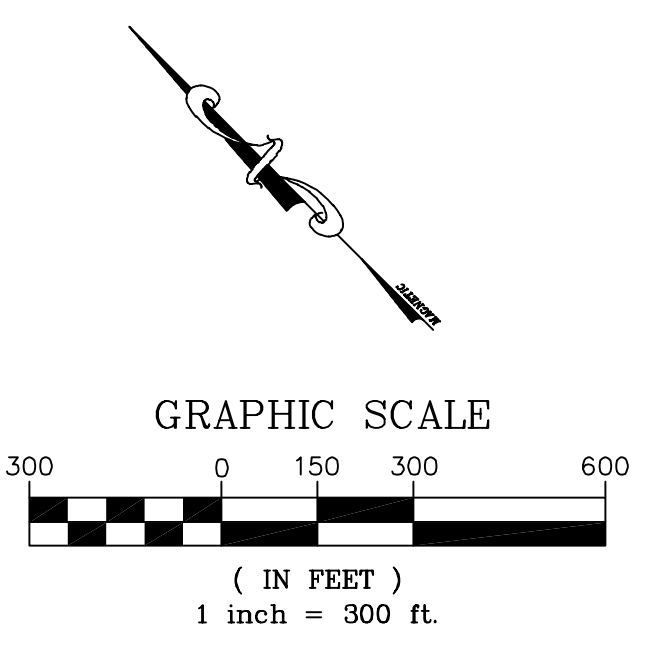
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	MARCH 29, 2021	CP



PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q cfs	
Tc = 10 min.					
DA-P1	10.19	0.500	9.80	49.93	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	23.00	0.500	9.80	112.70	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-REM	93.72	0.350	8.30	272.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
<b>TOTALS</b>	<b>126.91</b>			<b>434.89</b>	



EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
<b>TOTALS</b>	<b>126.91</b>			<b>368.67</b>	



PRELIMINARY DRAINAGE PLAN

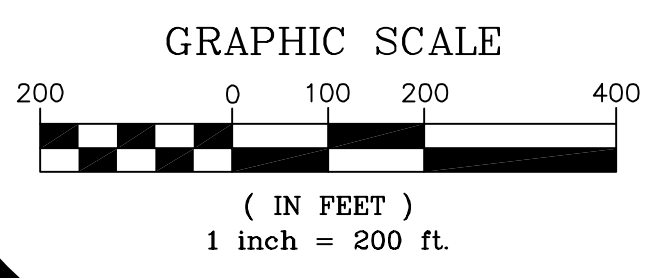
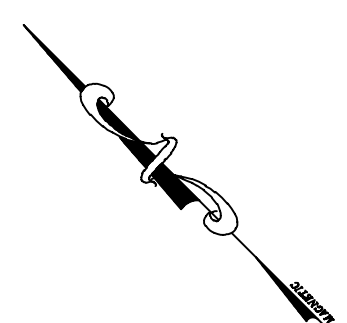
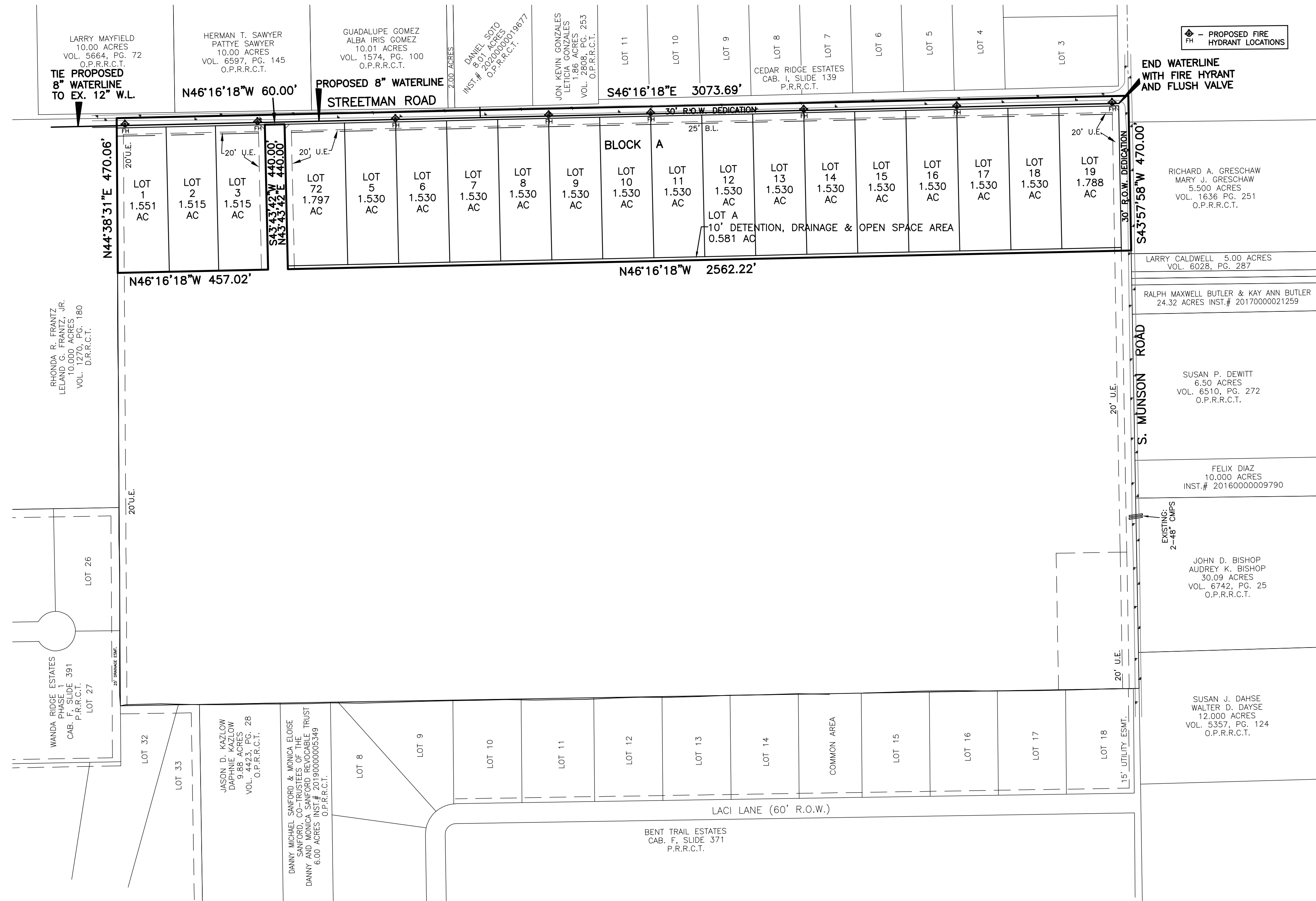
**THE LANDON PHASE ONE**

CARROLL CONSULTING GROUP, INC.

P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608  
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE:	SCALE:	DRAWN BY:
THE LANDON	MARCH 29, 2021	1"=200'	CP

1



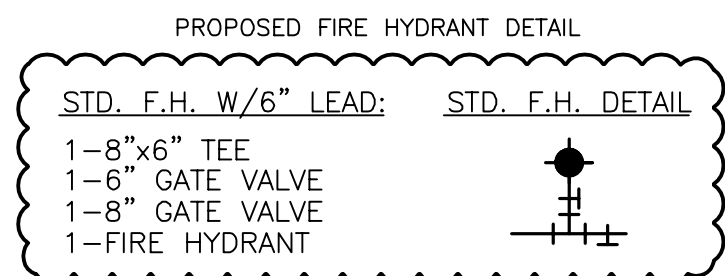
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



⊕ - PROPOSED WATER METER

PRELIMINARY WATER PLAN			
THE LANDON PHASE ONE			
CARROLL CONSULTING GROUP, INC.			
P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608			
LAVON, TEXAS 75166		TEXAS FIRM REGISTRATION NO.: 10007200	
DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON	MARCH 29, 2021	1"=200'	CP



## CASH SPECIAL UTILITY DISTRICT

172 FM 1564 EAST  
P.O. BOX 8129  
GREENVILLE, TEXAS 75404-8129  
PHONE (903) 883-2695 FAX (903) 883-4045

January 19, 2021

The Honorable David Sweet, County Judge  
Rockwall County Courthouse  
101 E. Rusk St  
Suite 202  
Rockwall TX, 75087

Dear Sir:

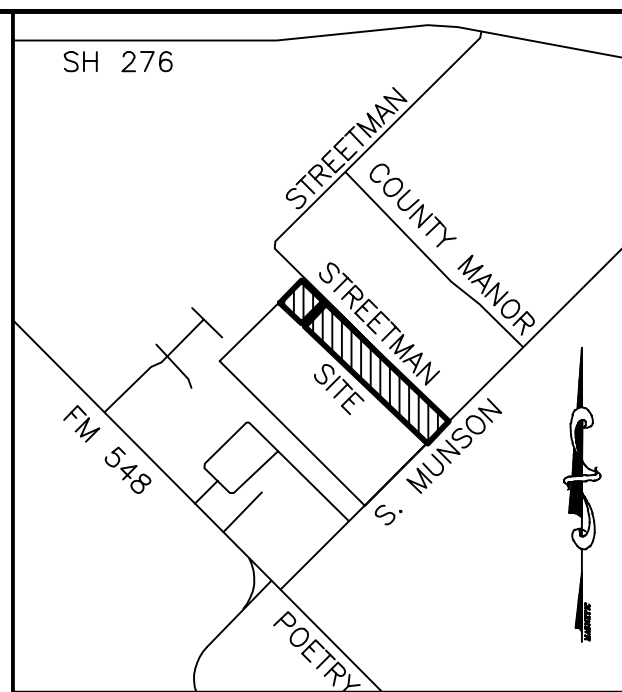
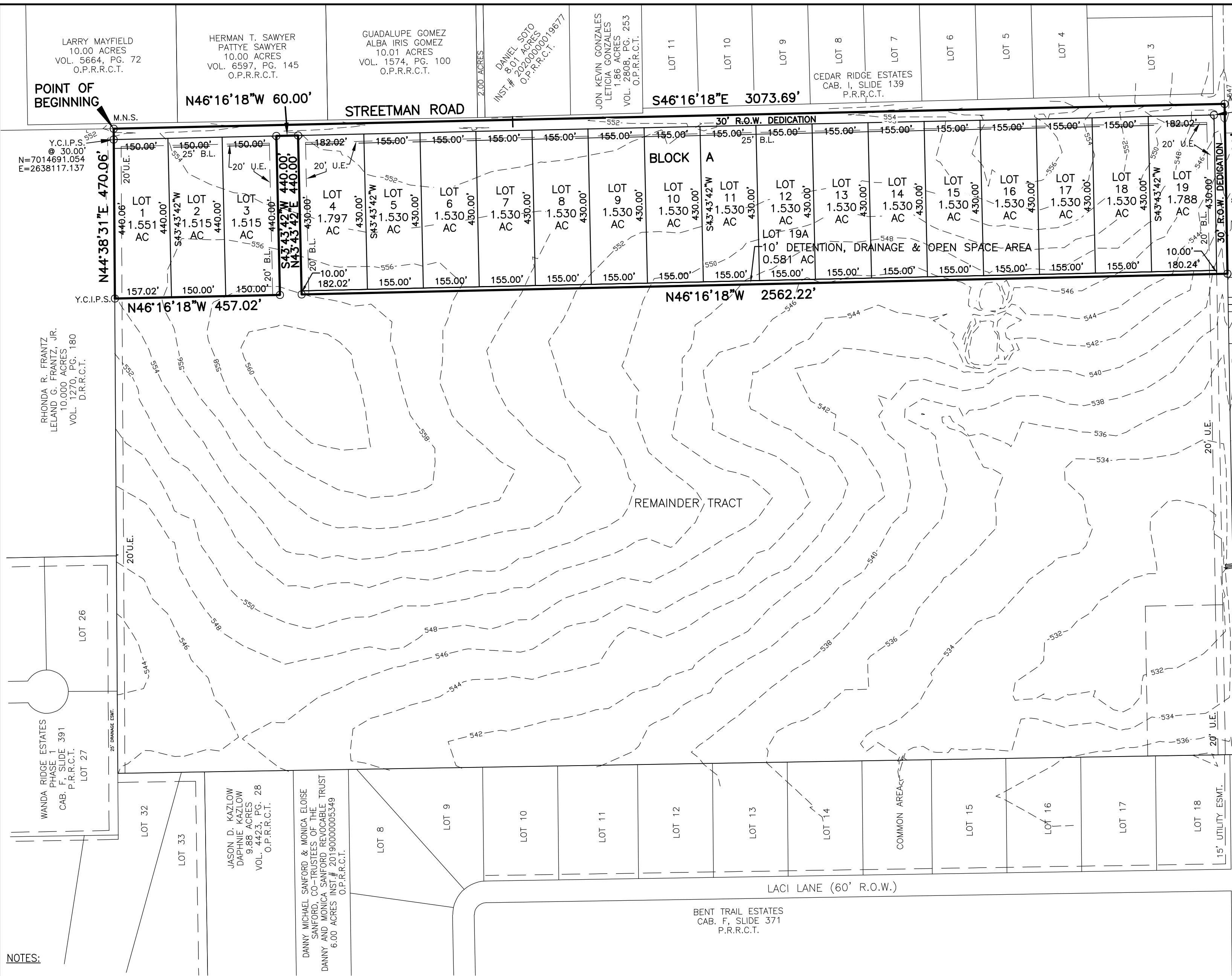
The District holds the Certificate of Convenience and Necessity (CCN) No. 10824 for the area where Robert Crowell owns property on Streetman Road. Upon installation of the approved on-site and off-site facilities and execution of the Non-Standard Water Utility Service Agreement between the District and Robert Crowell, the District will supply water to his property.

If you should have any questions regarding service to the subdivision, please feel free to contact me.

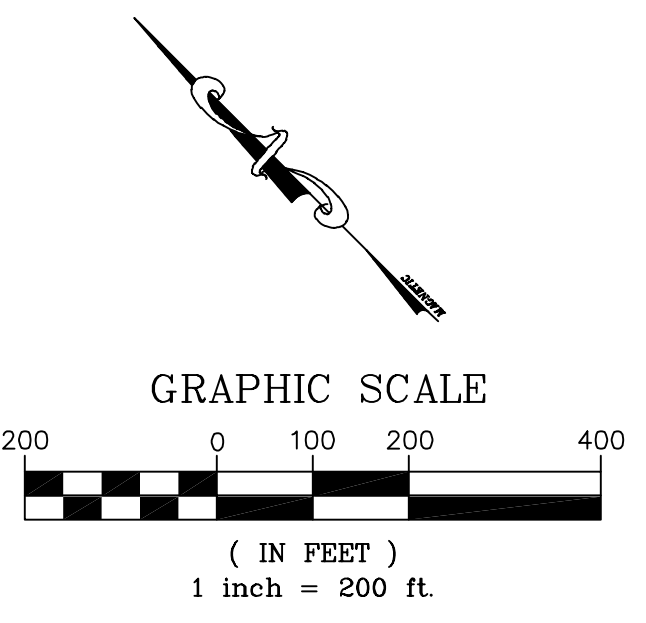
Sincerely,

A handwritten signature in blue ink that reads "Clay Hodges".

Clay Hodges, General Manager  
Cash Special Utility District



LOCATION MAP (N.T.S.)



- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plain Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

LEGEND	
I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

**FLOOD NOTE:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**OWNER:**  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

<b>CARROLL CONSULTING GROUP, INC.</b>			
P.O. BOX 11		972-742-4411	
LAVON, TEXAS 75166		TEXAS FIRM REGISTRATION NO.: 10007200	
		TBPELS REGISTRATION NO.: F-21608	
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	APRIL 12, 2021	CP

**PRELIMINARY PLAT**

**THE LANDON PHASE ONE**

LOTS 1-19 & LOT 19A, BLOCK A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.: P2021-013



STATE OF TEXAS  
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a mag nail set for corner in the center of Streetman Road for the north corner of said 65 acre tract and the east corner of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas;

Thence, South 46'16"18" East, along Streetman Road and the northeast lines of said 65 acre tract and the 65.8 acre tract, a distance of 3073.69 feet to a mag nail set for the east corner of said 65.8 acre tract and being the centerline intersection of Streetman Road and S. Munson Road;

Thence, South 43'57"58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 470.00 feet to a mag nail set for corner;

Thence, North 46'16"18" West, a distance of 2562.22 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43'43"42" East, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the southwest line of said Streetman Road;

Thence, North 46'16"18" West, along the southwest line of said Streetman Road, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43'43"42" West, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 46'16"18" West, a distance of 457.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the northwest line of said 65 acre tract and on the southeast line of said 10.000 acre tract;

Thence, North 44'38"31" East, along the northwest line of said 65 acre tract and the southeast line of said 10.000 acre tract, passing at a distance of 440.06 feet a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for reference and for a total distance of 470.06 feet to the Point of Beginning and containing 1,419,536 square feet or 32.588 acres of land.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE ONE subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase One subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Robert John Crowell, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

\_\_\_\_\_  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

THE LANDON PHASE ONE

LOTS 1-19 & LOT 19A, BLOCK A

19 Residential Lots

Being 32.588 - Acres of Land

Samuel McFadgin Survey, Abstract No. 142

Situated within the

Extraterritorial Jurisdiction (ETJ)

of the City of Rockwall

Rockwall County, Texas

Case No.: P2021-013

OWNER:  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

CARROLL CONSULTING GROUP, INC.

P.O. BOX 11  
LAVON, TEXAS 75166  
972-742-4411  
TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	APRIL 12, 2021	CP



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** April 19, 2021  
**APPLICANT:** Bart Carroll  
**CASE NUMBER:** P2021-013; *Preliminary Plat for Lots 1-19, Block A, Landon Subdivision*

---

### SUMMARY

Consider a request by Bart Carroll for the approval of a Preliminary Plat for the Landon Subdivision being a 32.60-acre tract of land identified as Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a Preliminary Plat for a single-family residential subdivision (*i.e. The Landon Addition*), which will be situated on a 32.60-acre tract of land located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). According to the preliminary plat, the development will consist of 19 single-family residential lots that will be a minimum of 1½-acres in size. The development will be accessible via a 50-foot roadway (*i.e. Streetman Road*) that will connect to the existing S. Munson Road. The preliminary plat also shows that an additional 30-feet of right-of-way will be dedicated to Streetman Road. This dedication conforms to the *Rockwall County Thoroughfare Plan*.
- In addition to the preliminary plat, the applicant has submitted preliminary drainage and utility plans indicating how the development will be served. According to Section 38-5(d)(1), *Policy*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances, "(l)and proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities .... Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities whether the facilities are to be located within the property being developed or offsite." The applicant's proposed preliminary plat appears to show the provision of sufficient public facilities. Additionally, the applicant has provided a *Will Serve Letter* from Cash Special Utility District indicating this district holds the Certificate of Convenience and Necessity (CCN) for the subject property and is able to provide water to the property.
- The purpose of the *preliminary plat* is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*. In addition, the preliminary plat is required to meet all of the requirements of the *Interim Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality* between Rockwall County and the City of Rockwall, the City of Rockwall's *Standards of Design and Construction Manual*, and Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

### **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the Preliminary Plat for *Lots 1-19, Block A, the Landon Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On March 13, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat with the conditions of approval by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-013

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> #69502 33 AC
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS STREETMAN RD

SUBDIVISION THE STANDARDS Phase 1 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Mon Streetman Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE AG

PROPOSED ZONING N/A PROPOSED USE Single Family - Estate

ACREAGE 32.6 LOTS [CURRENT] 0 LOTS [PROPOSED] 19

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON <u>BART CARROLL</u>
ADDRESS	ADDRESS <u>PO Box 11</u>
CITY, STATE & ZIP	CITY, STATE & ZIP <u>LAVON TX 75166</u>
PHONE	PHONE <u>972 742 4411</u>
E-MAIL	E-MAIL <u>bart.carroll@yahoo.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BART CARROLL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 695.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF MARCH, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

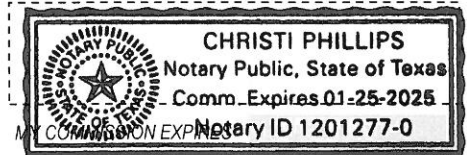
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF MARCH, 2021.

OWNER'S SIGNATURE

*[Signature]*

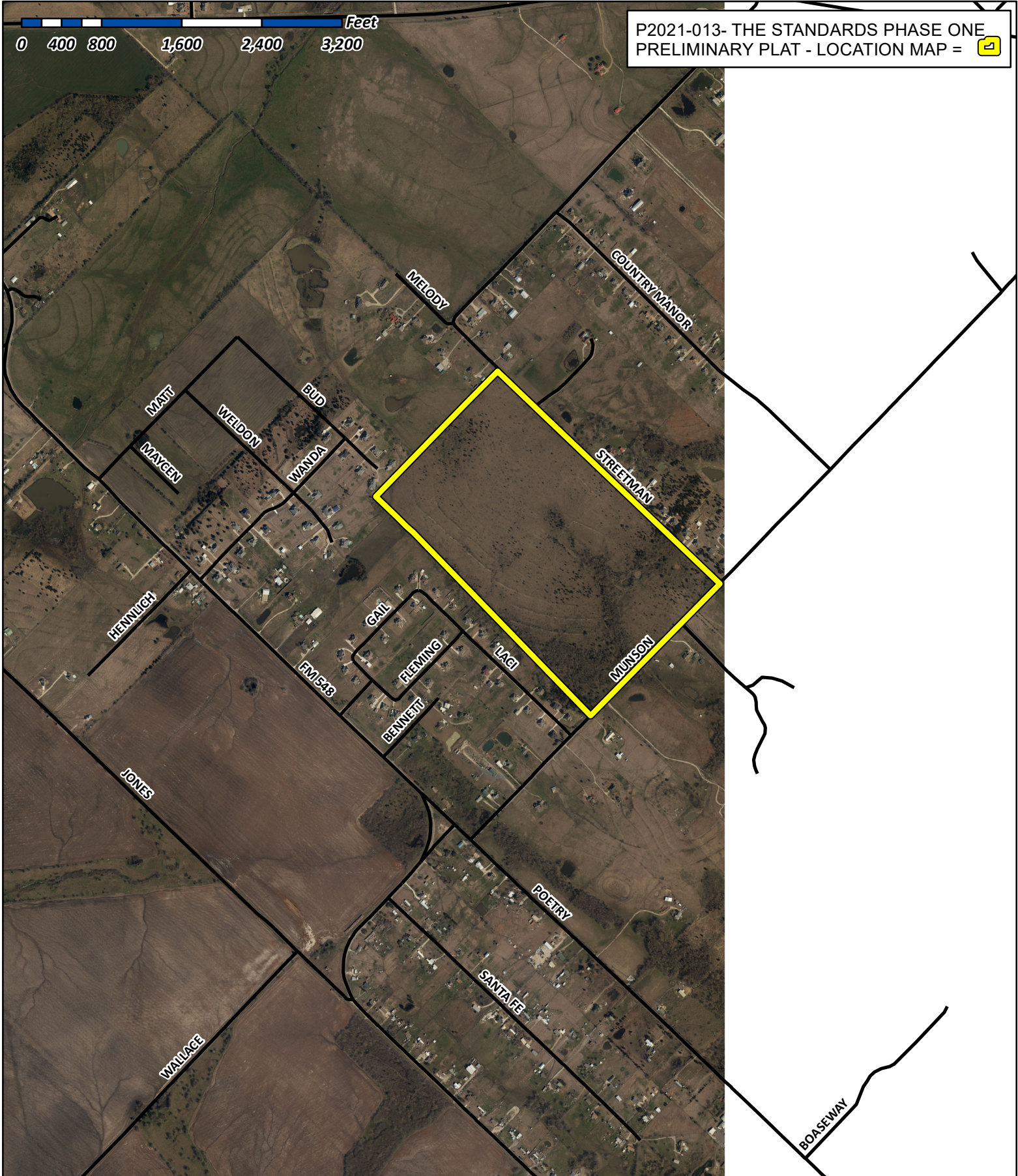
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*



0 400 800 1,600 2,400 3,200 Feet

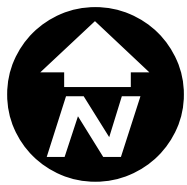
P2021-013- THE STANDARDS PHASE ONE  
PRELIMINARY PLAT - LOCATION MAP = 

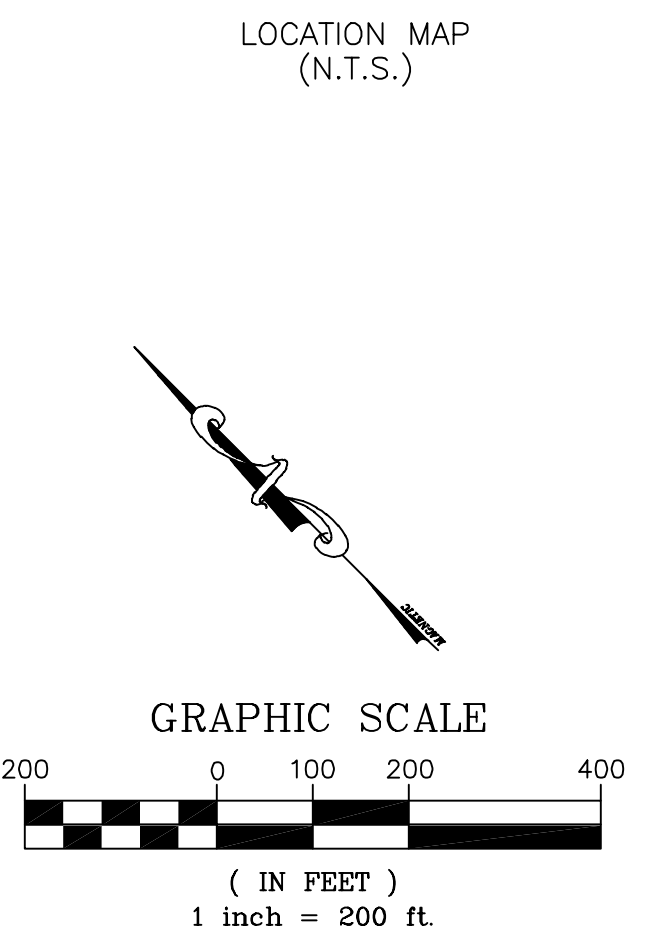
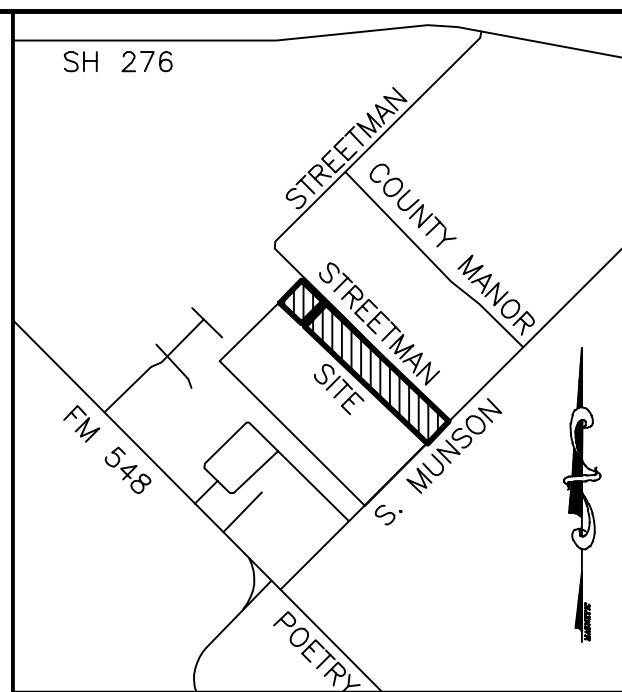
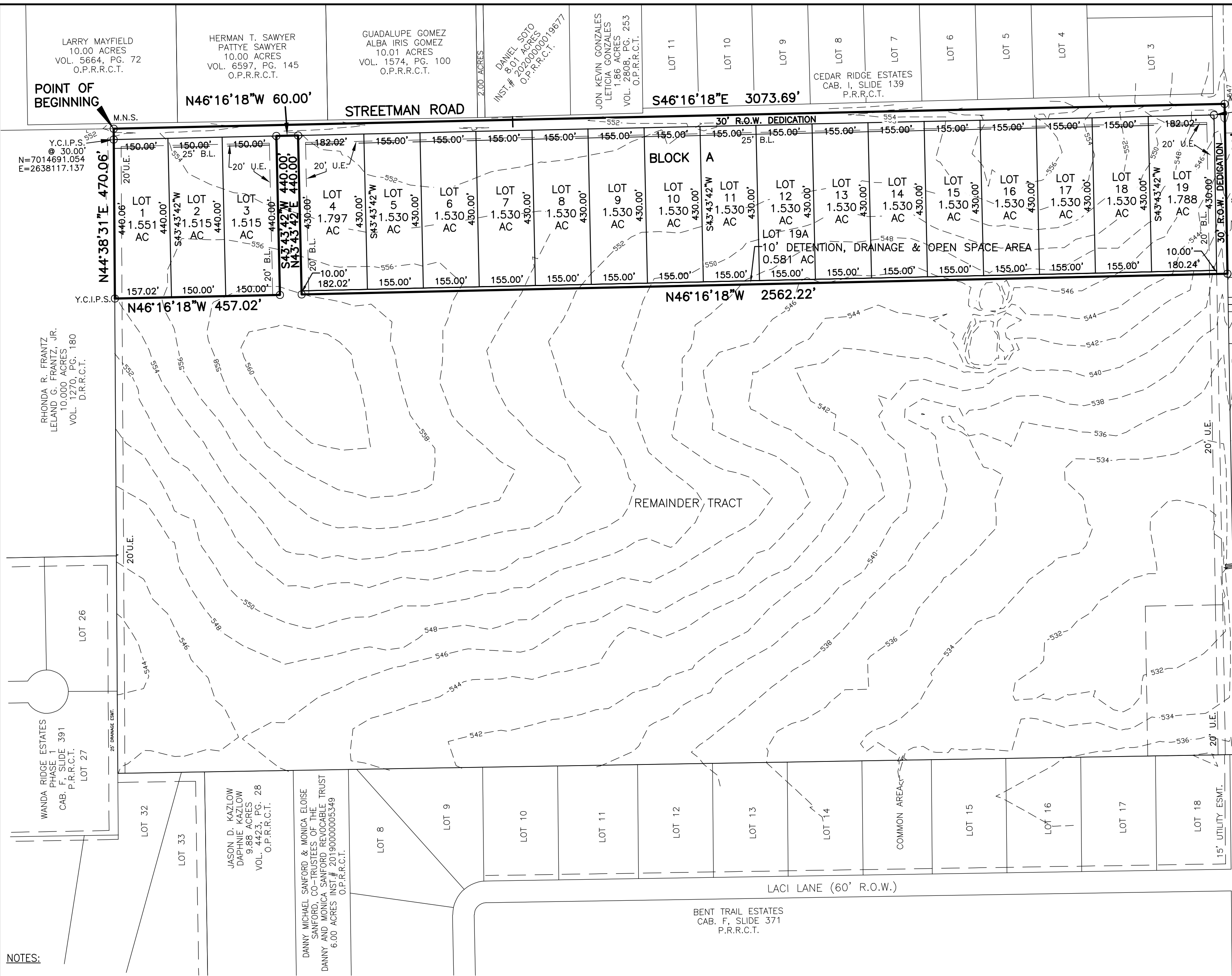


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
  2. Water supplied by Cash SUD.
  3. State Plain Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
  4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
  5. All street intersections to have a 15'x15' visibility easement.
  6. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.

**NOTICE:** Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

LEGEND	
I.P.F.	- IRON PIN FOUND
D.R.R.C.T.	- DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	- OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S.	- YELLOW CAPPED IRON PIN SET STAMPED "CCG INC RPLS 5129"

**FLOOD NOTE:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**OWNER:**  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

<b>CARROLL CONSULTING GROUP, INC.</b>			
P.O. BOX 11		972-742-4411	
LAVON, TEXAS 75166		TEXAS FIRM REGISTRATION NO.: 10007200	
		TBPELS REGISTRATION NO.: F-21608	
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	APRIL 12, 2021	CP

**PRELIMINARY PLAT**

**THE LANDON PHASE ONE**

LOTS 1-19 & LOT 19A, BLOCK A  
19 Residential Lots  
Being 32.588 - Acres of Land  
Samuel McFadgin Survey, Abstract No. 142  
Situated within the  
Extraterritorial Jurisdiction (ETJ)  
of the City of Rockwall  
Rockwall County, Texas  
Case No.: P2021-013

STATE OF TEXAS  
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a mag nail set for corner in the center of Streetman Road for the north corner of said 65 acre tract and the east corner of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas;

Thence, South 46'16"18" East, along Streetman Road and the northeast lines of said 65 acre tract and the 65.8 acre tract, a distance of 3073.69 feet to a mag nail set for the east corner of said 65.8 acre tract and being the centerline intersection of Streetman Road and S. Munson Road;

Thence, South 43'57"58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 470.00 feet to a mag nail set for corner;

Thence, North 46'16"18" West, a distance of 2562.22 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43'43"42" East, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the southwest line of said Streetman Road;

Thence, North 46'16"18" West, along the southwest line of said Streetman Road, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43'43"42" West, a distance of 440.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 46'16"18" West, a distance of 457.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner on the northwest line of said 65 acre tract and on the southeast line of said 10.000 acre tract;

Thence, North 44'38"31" East, along the northwest line of said 65 acre tract and the southeast line of said 10.000 acre tract, passing at a distance of 440.06 feet a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for reference and for a total distance of 470.06 feet to the Point of Beginning and containing 1,419,536 square feet or 32.588 acres of land.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
City Secretary

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Rockwall County Judge

\_\_\_\_\_  
Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE ONE subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase One subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Robert John Crowell, Owner

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public for the State of Texas  
My Commission expires \_\_\_\_\_

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

*Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.*

\_\_\_\_\_  
James Bart Carroll  
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public in and for the State of Texas.  
My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

**THE LANDON PHASE ONE**

LOTS 1-19 & LOT 19A, BLOCK A

19 Residential Lots

Being 32.588 - Acres of Land

Samuel McFadgin Survey, Abstract No. 142

Situated within the

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of the City of Rockwall

Rockwall County, Texas

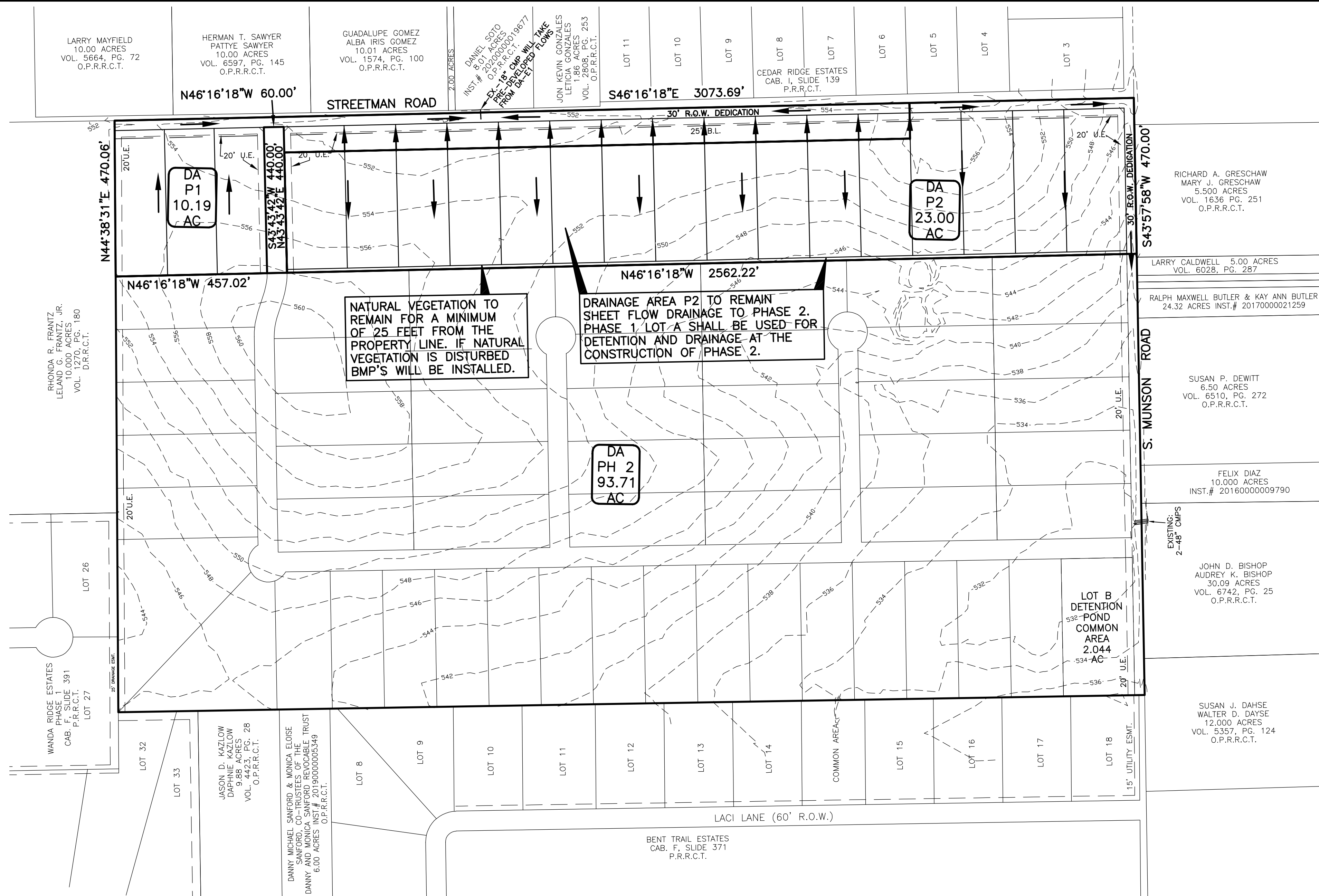
Case No.: P2021-013

OWNER:  
ROBERT JOHN CROWELL  
PO BOX 466  
ROYSE CITY, TEXAS 75189  
PHONE: (214) 460-4444

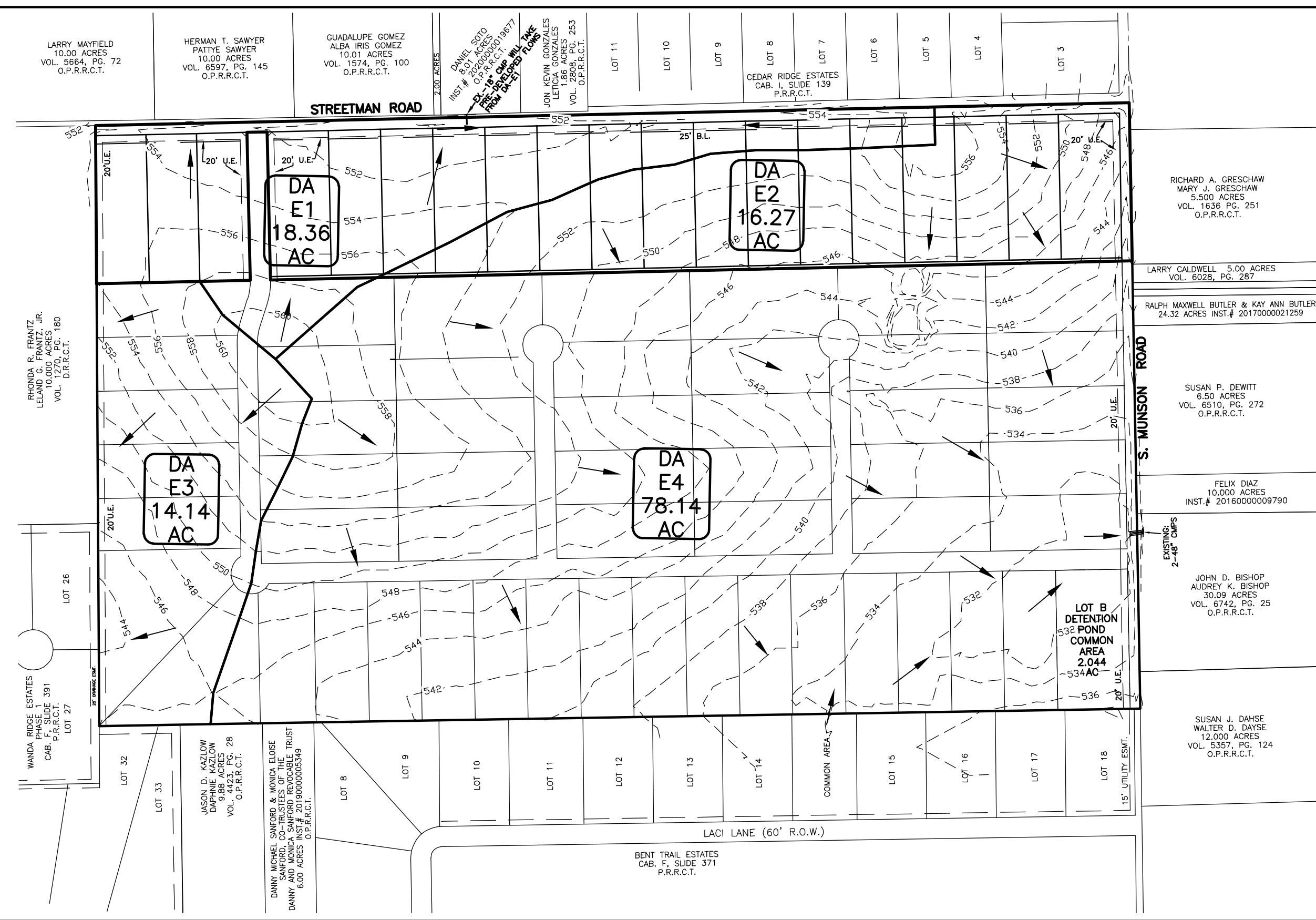
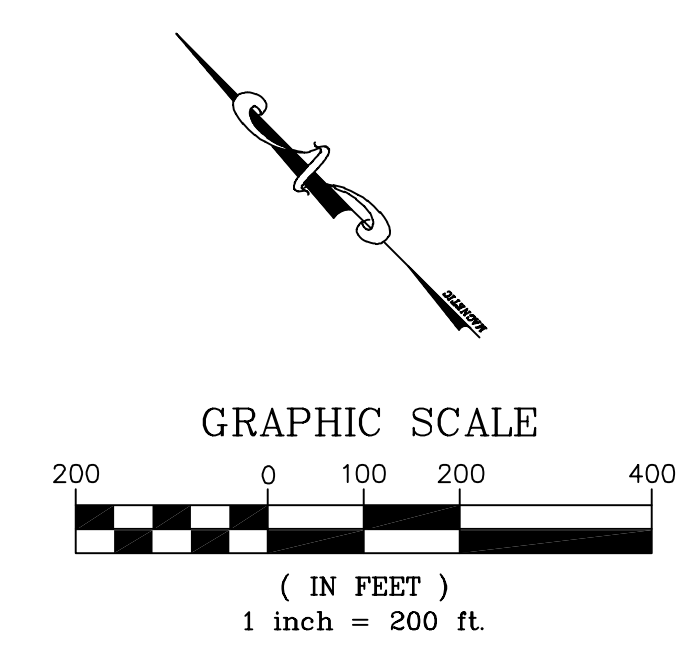
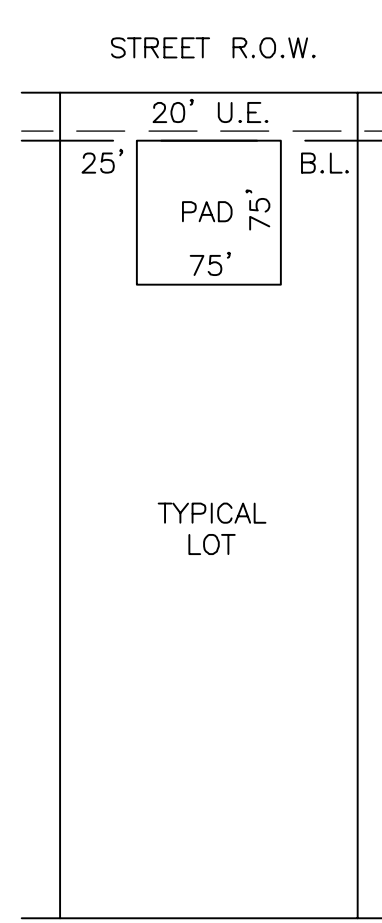
**CARROLL CONSULTING GROUP, INC.**

P.O. BOX 11  
LAVON, TEXAS 75166  
972-742-4411  
TEXAS FIRM REGISTRATION NO.: 10007200  
TBPELS REGISTRATION NO.: F-21608

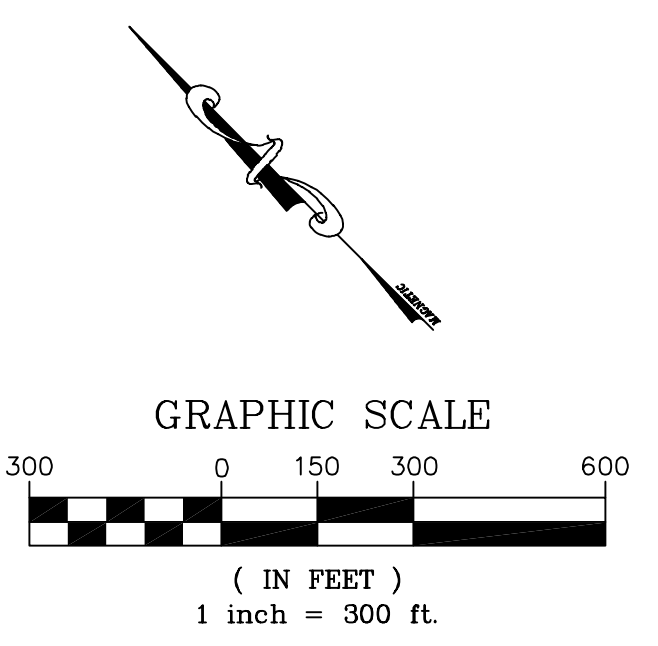
JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	APRIL 12, 2021	CP



PROPOSED DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q cfs	
Tc = 10 min.					
DA-P1	10.19	0.500	9.80	49.93	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-P2	23.00	0.500	9.80	112.70	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-REM	93.72	0.350	8.30	272.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
<b>TOTALS</b>	<b>126.91</b>			<b>434.89</b>	



EXISTING DRAINAGE AREAS					NOTES
DA	ACRES	C	I100	Q cfs	
Tc = 20 min.					
DA-E1	18.36	0.350	8.30	53.34	DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD
DA-E2	16.27	0.350	8.30	47.26	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E3	14.14	0.350	8.30	41.08	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
DA-E4	78.14	0.350	8.30	227.00	SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S
<b>TOTALS</b>	<b>126.91</b>			<b>368.67</b>	



PRELIMINARY DRAINAGE PLAN

**THE LANDON PHASE ONE**

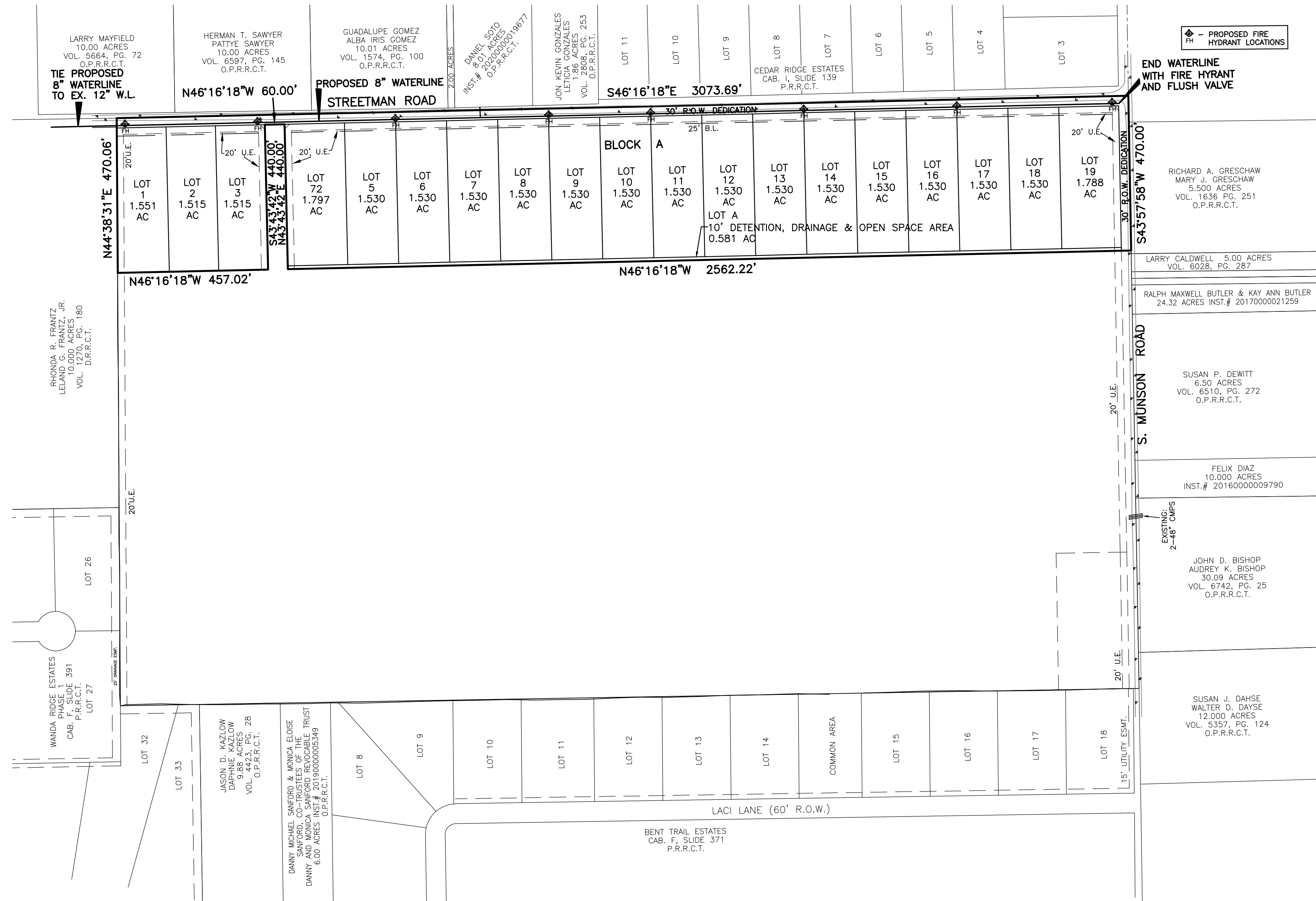
CARROLL CONSULTING GROUP, INC.

P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608  
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE:	SCALE:	DRAWN BY:
THE LANDON	MARCH 29, 2021	1"=200'	CP

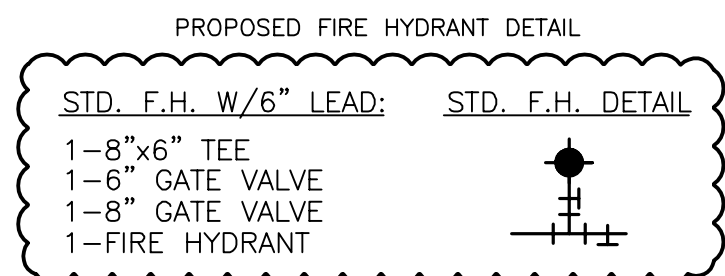
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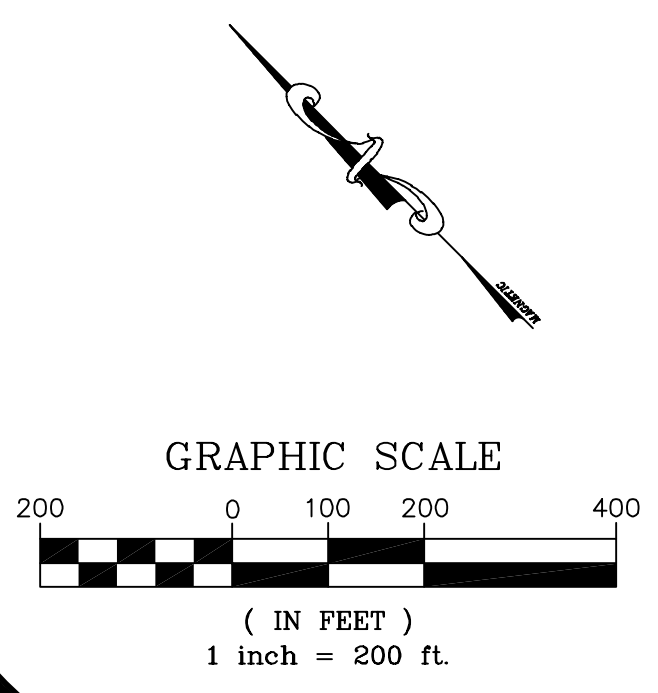
- PROPOSED FIRE HYDRANT LOCATIONS

END WATERLINE WITH FIRE HYDRANT AND FLUSH VALVE



- PROPOSED WATER METER

ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.  
 ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.  
 UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.  
 ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)  
 ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.



PRELIMINARY WATER PLAN			
THE LANDON PHASE ONE			
CARROLL CONSULTING GROUP, INC.			
P.O. BOX 11    PHONE: (972) 742-4411    TBPELS REG NO. F-21608 LAVON, TEXAS 75166    TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE:	SCALE:	DRAWN BY:
THE LANDON	MARCH 29, 2021	1"=200'	CP



## CASH SPECIAL UTILITY DISTRICT

172 FM 1564 EAST  
P.O. BOX 8129  
GREENVILLE, TEXAS 75404-8129  
PHONE (903) 883-2695 FAX (903) 883-4045

January 19, 2021

The Honorable David Sweet, County Judge  
Rockwall County Courthouse  
101 E. Rusk St  
Suite 202  
Rockwall TX, 75087

Dear Sir:

The District holds the Certificate of Convenience and Necessity (CCN) No. 10824 for the area where Robert Crowell owns property on Streetman Road. Upon installation of the approved on-site and off-site facilities and execution of the Non-Standard Water Utility Service Agreement between the District and Robert Crowell, the District will supply water to his property.

If you should have any questions regarding service to the subdivision, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Clay Hodges".

Clay Hodges, General Manager  
Cash Special Utility District



April 29, 2021

TO: Bart Carroll  
*Carroll Consulting Group, Inc.*  
P O BOX 11  
Lavon, TX 75166

FROM: David Gonzales, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: P2021-013; *Preliminary Plat for Lots 1-19, Block A, Landon Subdivision*

Mr. Carroll:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on April 19, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission


On April 13, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat with the conditions of approval by a vote of 7-0.

City Council

On April 19, 2021, the City Council approved a motion to approve the preliminary plat with the conditions of approval by a vote of 7-0.

Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP  
Planning and Zoning Manager

## Gonzales, David

---

**From:** Ron Merritt <[rmerritt@rockwallcountytexas.com](mailto:rmerritt@rockwallcountytexas.com)>  
**Sent:** Tuesday, April 6, 2021 1:53 PM  
**To:** Gonzales, David  
**Subject:** RE: Plats in ETJ for Review

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Looks good

---

**From:** Gonzales, David  
**Sent:** Thursday, April 1, 2021 4:38 PM  
**To:** Ron Merritt  
**Subject:** FW: Plats in ETJ for Review

Ron, I was checking to see if you have any comments for the attached plats.

Thank you,



**DAVID GONZALES, AICP**  
PLANNING & ZONING MANAGER  
PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6488 OFFICE  
[DGONZALES@ROCKWALL.COM](mailto:DGONZALES@ROCKWALL.COM)

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

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**From:** Gonzales, David  
**Sent:** Monday, March 22, 2021 1:40 PM  
**To:** 'Ron Merritt' <[rmerritt@rockwallcountytexas.com](mailto:rmerritt@rockwallcountytexas.com)>  
**Cc:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Subject:** Plats in ETJ for Review

Ron,

Please review the attached plats and provide comments within the next 10 days so that staff may prepare these and forward to the applicant. Let us know if you have any questions.

Thank you,



**DAVID GONZALES, AICP**  
PLANNING & ZONING MANAGER  
PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6488 OFFICE  
[DGONZALES@ROCKWALL.COM](mailto:DGONZALES@ROCKWALL.COM)

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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## Gonzales, David

---

**From:** Bart Carroll <bart.carroll@yahoo.com>  
**Sent:** Monday, March 29, 2021 2:10 PM  
**To:** Gonzales, David  
**Subject:** Re: P&Z Work Session Next Week  
**Attachments:** PRELIMINARY DRAINAGE.pdf; PRELIMINARY WATER.pdf; THE LONDON PHASE ONE.pdf

David

Please find the revisions to the plat, water, and the preliminary drainage plan for our project. We have renamed it "The Landon".

Thank you.

***Bart Carroll RPLS***  
***Carroll Consulting Group Inc.***  
***P.O. Box 11, Lavon Texas 75166***  
*Texas RPLS Firm No. 10007200*  
*Texas PE Firm No. F-21608*  
*bart.carroll@yahoo.com*  
*972-742-4411*

On Friday, March 26, 2021, 11:35:31 AM CDT, Gonzales, David wrote:

Bart,

Please find attached staff's comments for your request. The Planning Commission will be conducting a work session next week on Tuesday, March 30, 2021. As the applicant, you will be presenting your case before the commission to discuss your project and receive feedback. The Planning and Zoning Commission meeting is scheduled for 6:00 p.m. in the City's Council Chambers. Please be sure that you and/or your representative(s) are present to answer any questions the Commission may have regarding your request.

Please see dates for all meetings in staff comments.

Do not hesitate to contact me should you have any questions.

Thank you,



**DAVID GONZALES, AICP**  
PLANNING & ZONING MANAGER

PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6488 OFFICE

[DGONZALES@ROCKWALL.COM](mailto:DGONZALES@ROCKWALL.COM)

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

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## Gonzales, David

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**From:** Miller, Ryan  
**Sent:** Wednesday, March 24, 2021 8:08 AM  
**To:** Gonzales, David  
**Subject:** FW: Cash will serve letter.  
**Attachments:** cidD4AC7F1C-2116-46C1-8C75-F538F7B68939.pdf

Here is a pdf copy.



**RYAN C. MILLER, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
RMILLER@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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HELPFUL LINKS | CITY OF ROCKWALL WEBSITE | PLANNING & ZONING DIVISION WEBSITE | MUNICIPAL CODE WEBSITE  
GIS DIVISION WEBSITE | CITY OF ROCKWALL INTERACTIVE MAPS | UNIFIED DEVELOPMENT CODE

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NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

---

**From:** Bart C  
**Sent:** Tuesday, March 23, 2021 11:47 AM  
**To:** Williams, Amy ; Miller, Ryan  
**Subject:** Cash will serve letter.

Any / Ryan

I forgot to include the Cash SUD will serve letter in my package.

It's attached here

Bart Carroll RPLS  
Carroll Consulting Group Inc  
[bart.carroll@yahoo.com](mailto:bart.carroll@yahoo.com)

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## Gonzales, David

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**From:** Gonzales, David  
**Sent:** Monday, March 29, 2021 3:13 PM  
**To:** Johnston, Sarah; Kistner, Ariana  
**Subject:** FW: P&Z Work Session Next Week  
**Attachments:** PRELIMINARY DRAINAGE.pdf; PRELIMINARY WATER.pdf; THE LANDON PHASE ONE.pdf

Revision for the preliminary plat for The Standards in the ETJ [Case No. P2021-013] that is on this cycle.

Thank you,



**DAVID GONZALES, AICP**

PLANNING & ZONING MANAGER  
PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6488 OFFICE  
[DGONZALES@ROCKWALL.COM](mailto:DGONZALES@ROCKWALL.COM)

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

---

---

**From:** Bart Carroll [mailto:[bart.carroll@yahoo.com](mailto:bart.carroll@yahoo.com)]  
**Sent:** Monday, March 29, 2021 2:10 PM  
**To:** Gonzales, David  
**Subject:** Re: P&Z Work Session Next Week

David

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***Carroll Consulting Group Inc.***  
***P.O. Box 11, Lavon Texas 75166***  
*Texas RPLS Firm No. 10007200*  
*Texas PE Firm No. F-21608*  
[\*bart.carroll@yahoo.com\*](mailto:bart.carroll@yahoo.com)  
***972-742-4411***

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Bart,

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Please see dates for all meetings in staff comments.

Do not hesitate to contact me should you have any questions.

Thank you,



**DAVID GONZALES, AICP**  
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## Gonzales, David

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**From:** Gonzales, David  
**Sent:** Monday, March 22, 2021 1:40 PM  
**To:** 'Ron Merritt'  
**Cc:** Lee, Henry  
**Subject:** Plats in ETJ for Review  
**Attachments:** Preliminary Plat (03.19.2021).pdf; Replat (03.19.2021).pdf

Ron,

Please review the attached plats and provide comments within the next 10 days so that staff may prepare these and forward to the applicant. Let us know if you have any questions.

Thank you,



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