



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-035 P&Z DATE 09/15/20 CC DATE 09/21/20 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
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- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 906 S. Goliad St

Subdivision Jack Canup Addition

Lot 1 Block B

General Location Southwest Corner of S. Goliad St & Bourn St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-62

Current Use Vacant

Proposed Zoning PD-62

Proposed Use Restaurant (>2,000sf) w/ drive-thru

Acreage 1.131

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ADLOR ENTERPRISES, LLC

Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKESHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 21697, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

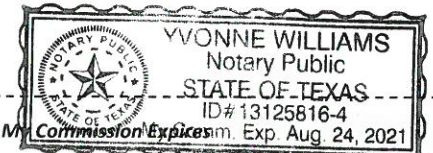
Given under my hand and seal of office on this the 8 day of 14, 20 20.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]





RockwallPLL

Receipt#: 1078

Date: 8/14/2020

City of Rockwall
The New Horizon

Payment Receipt

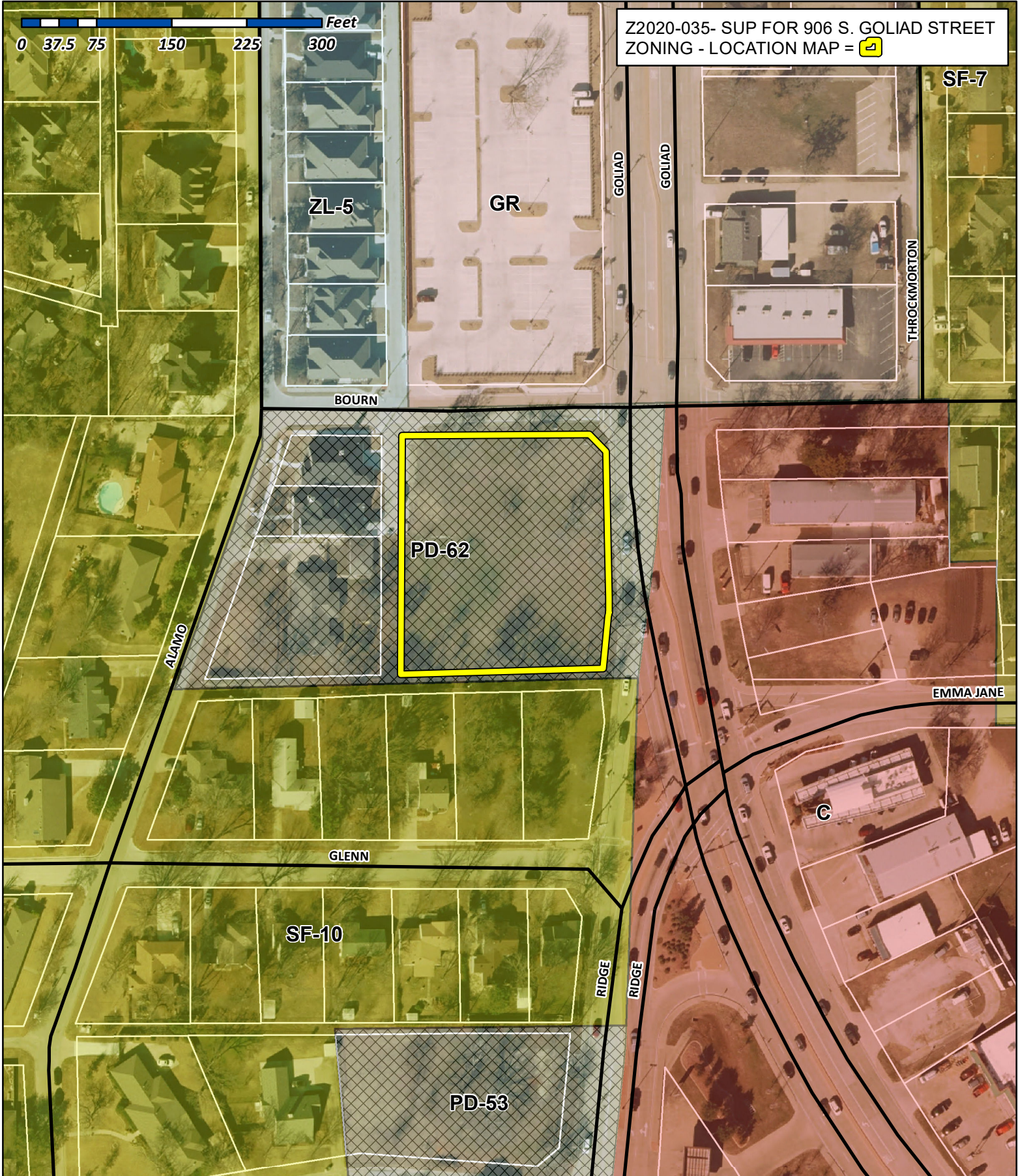
Invoice #	Case Type	Case Number	Sub Type
	PZZONING	Z2020-035	PZSUP

Tender Type / Description	Amount
CASH- CASH	216.96
Sub Total:	216.96

Fees:

Fee Codes / Description	Amount
PZSPECIFIC- PZ - Specific Use Permit App Fee	216.96
Sub Total:	216.96

Total Amount Due:	216.96
Total Payment:	216.96



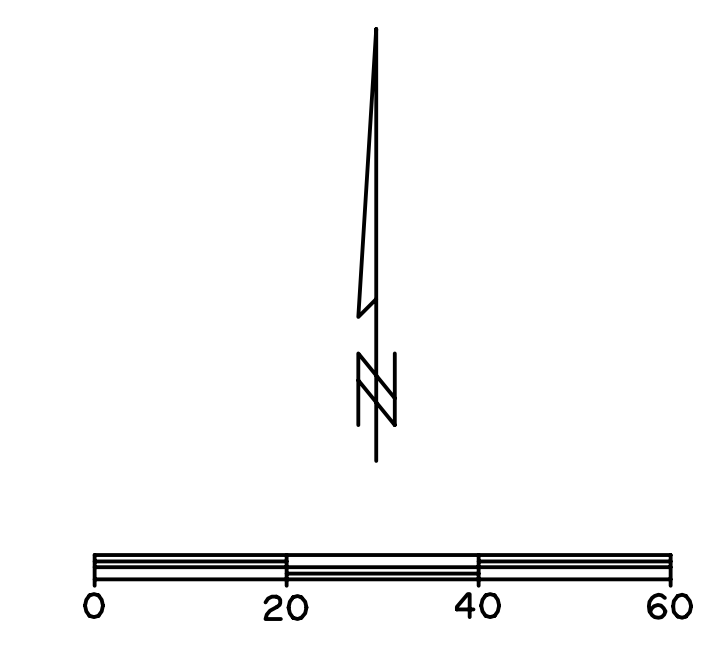
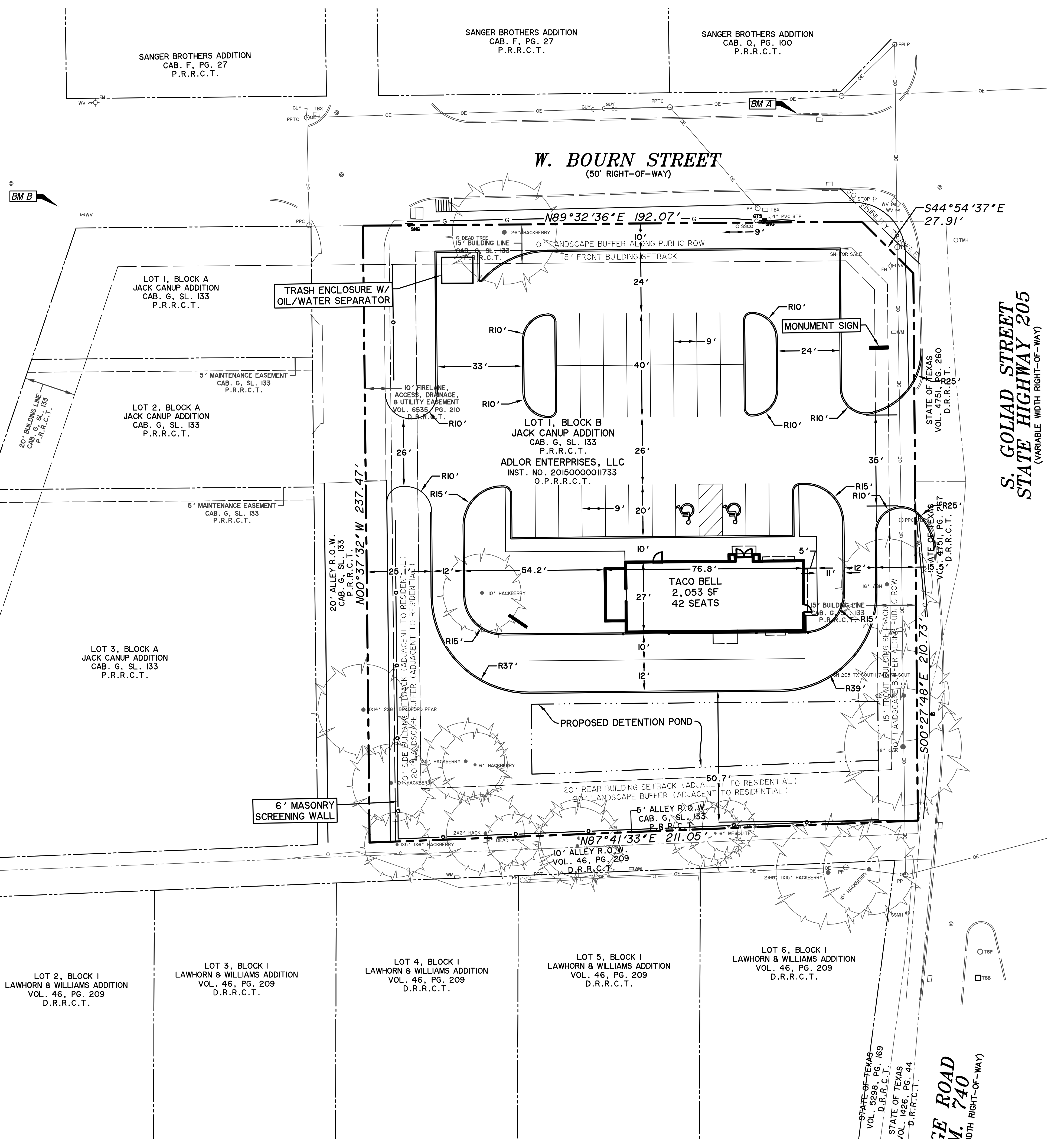
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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PRINTED: 8/6/2020 5:25 PM WIER-PAVING STB LAST SAVED: 8/6/2020 5:25 PM SAVED BY: CASEYO FILE: SITE PLAN - 20075 (2).DWG



SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.13± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF / 1/100 SF = 21
TOTAL PARKING PROVIDED	27
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

PRELIMINARY
FOR REVIEW PURPOSES ONLY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

SUP SITE PLAN
LOT 1, BLOCK B
JACK CANUP ADDITION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, LLC, AS RECORDED IN INSTRUMENT NUMBER 20150000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

August 6, 2020

OWNER / DEVELOPER
 ETX BELL PROPERTIES, LLC
 101 EAST CHEROKEE
 JACKSONVILLE, TEXAS 75766
 CONTACT: TOBY GOWIN
 PH: (903) 589-1671
 EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
 WIER & ASSOCIATES, INC.
 121 S. MAIN ST.
 HENDERSON, TEXAS 75654
 CONTACT: CASEY ORR, P.E.
 PH: (903) 722-9030
 FAX: (844) 325-0445

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76066 METRO 1817 1467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 10033900

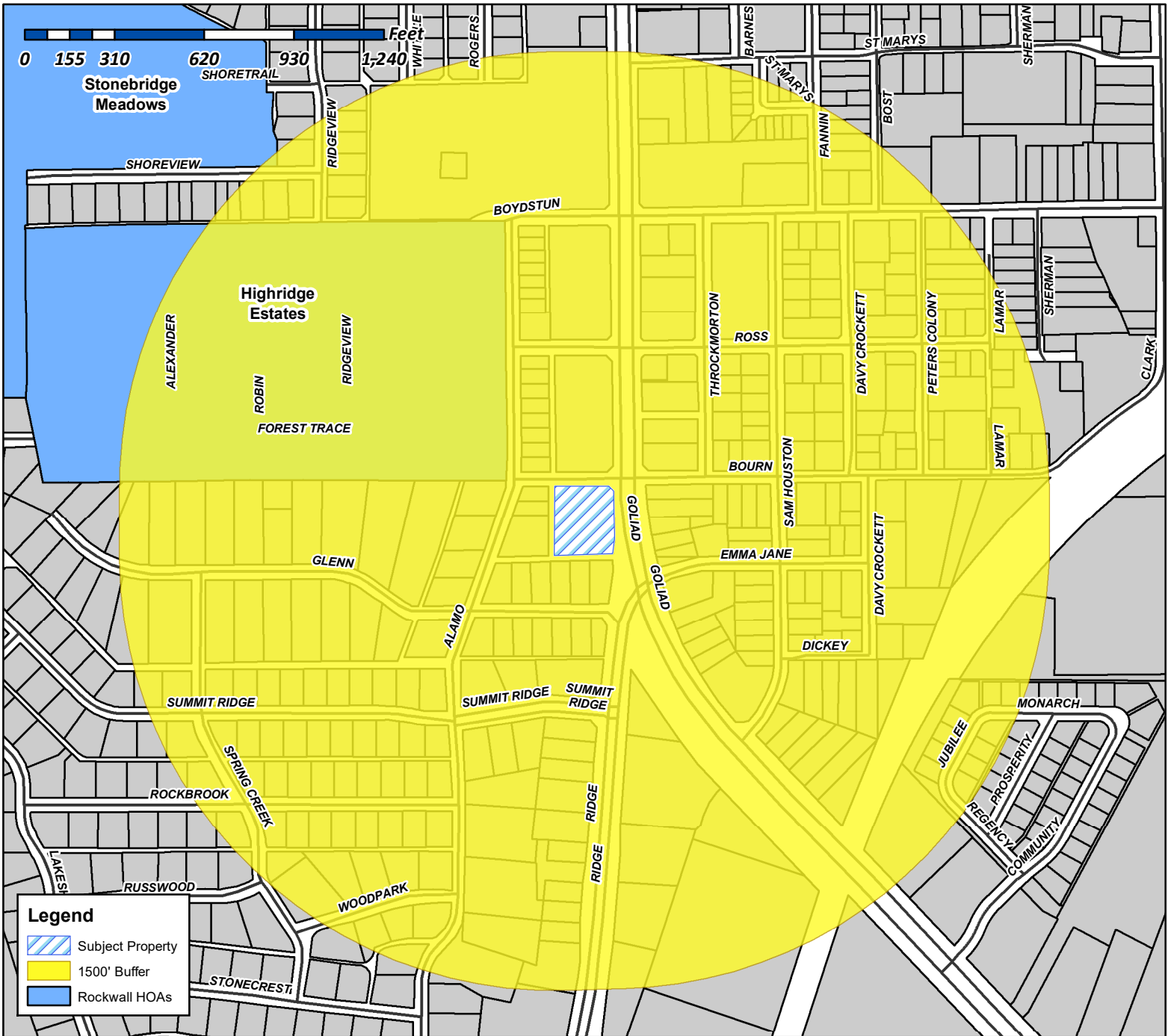
CASE No.: Z####-###



City of Rockwall

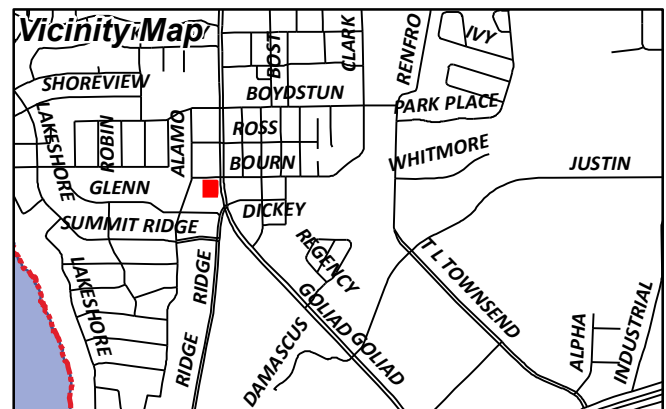
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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745

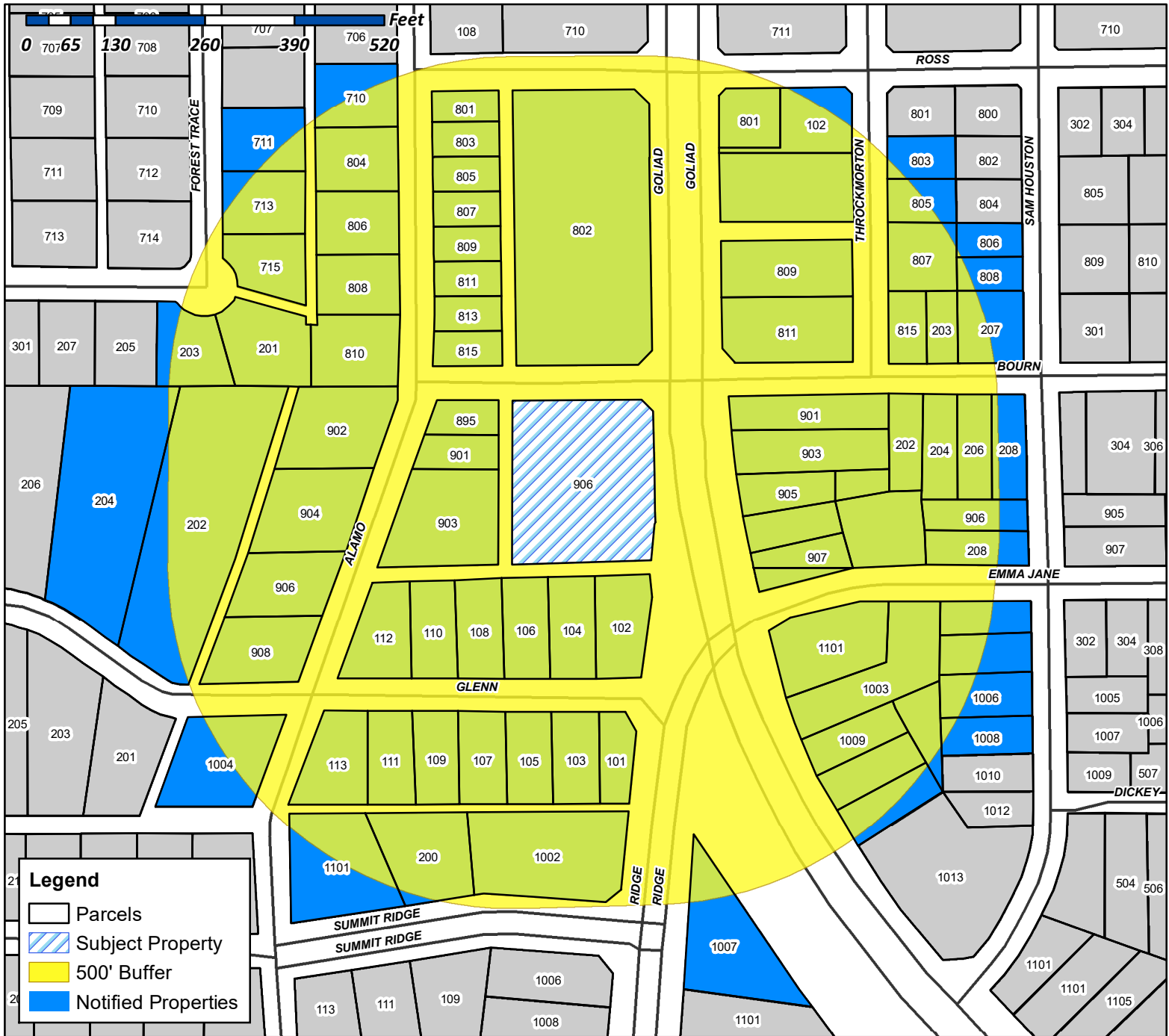




City of Rockwall

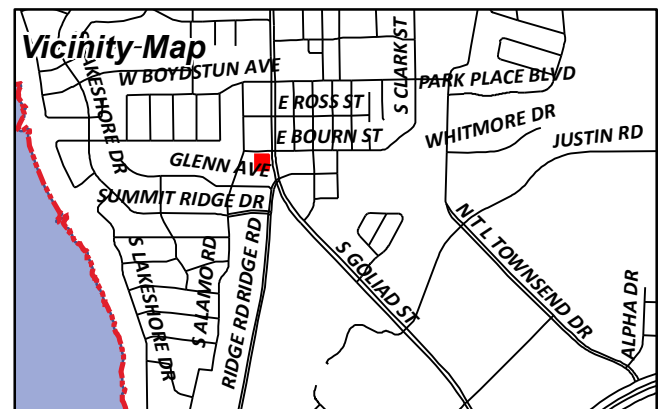
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EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENN
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
102 GLENN
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVENUE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K
C/O SONIC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200 SUMMIT RIDGE
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
2002 GREENHILL DRIVE
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
208 EMMA JANEST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

JONES MICHAEL G
27 SHADY BROOK CIR
ABILENE, TX 79605

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WILMINGTON, DE 19801

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313 STONEBRIDGE DR
ROCKWALL, TX 75087

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4 SUNSET TR
HEATH, TX 75032

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4349 S PENINSULA DR
PONCE INLET, FL 32127

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA
710 S ALAMO RD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
7117 STEFANI DRIVE
DALLAS, TX 75225

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ALLEN FRANKIE MAE
80 THROCKMORTON
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

MERRIMAN R C ET UX
804 S ALAMO
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F
805 S ALAMO RD
ROCKWALL, TX 75087

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805 THROCKMORTON
ROCKWALL, TX 75087

CROSS WESLEY AND
MISTY THOMPSON
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

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807 THROCKMORTON
ROCKWALL, TX 75087

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807SALAMO
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

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809 ALAMO
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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813 S ALAMO
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
8306 LIGHTHOUSE DR
ROWLETT, TX 75089

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895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
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ROCKWALL, TX 75087

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905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

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Owner ADLOR ENTERPRISES, LLC

Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKESHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 21697, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

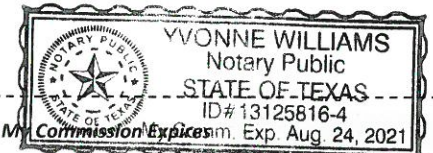
Given under my hand and seal of office on this the 8 day of 14, 20 20.

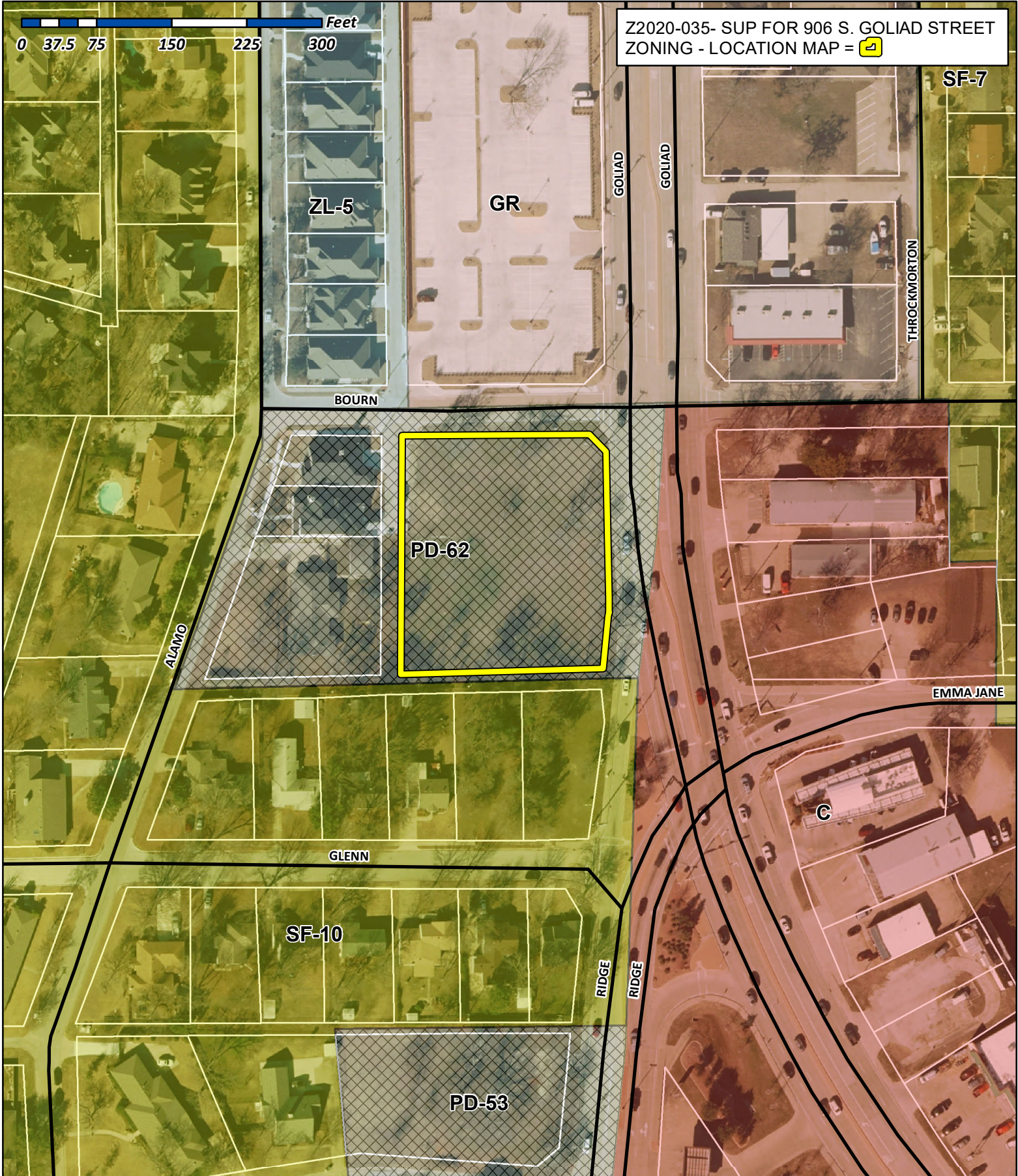
Owner's Signature

[Handwritten Signature]

Notary Public in and for the State of Texas

[Handwritten Signature]

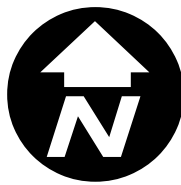




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

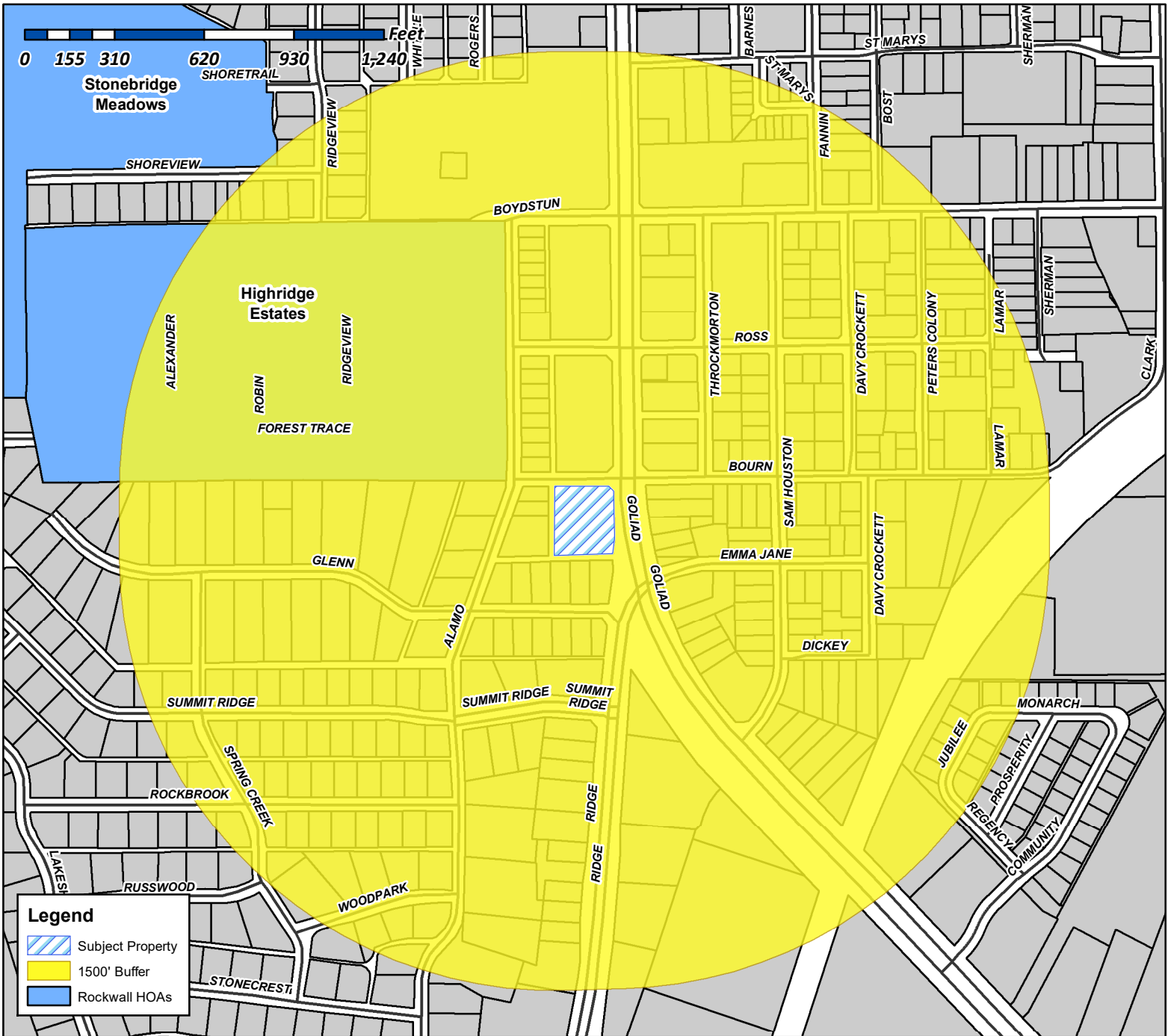




City of Rockwall

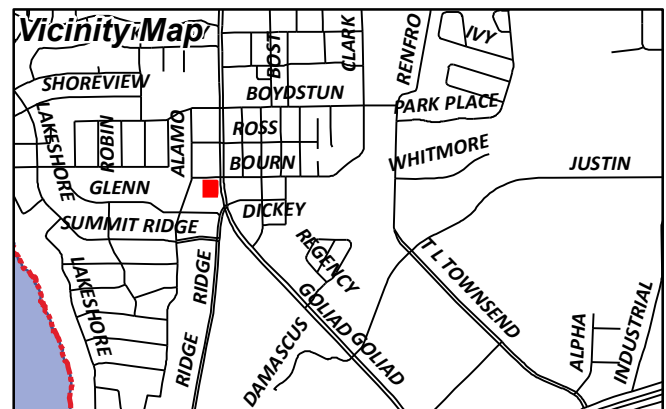
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745

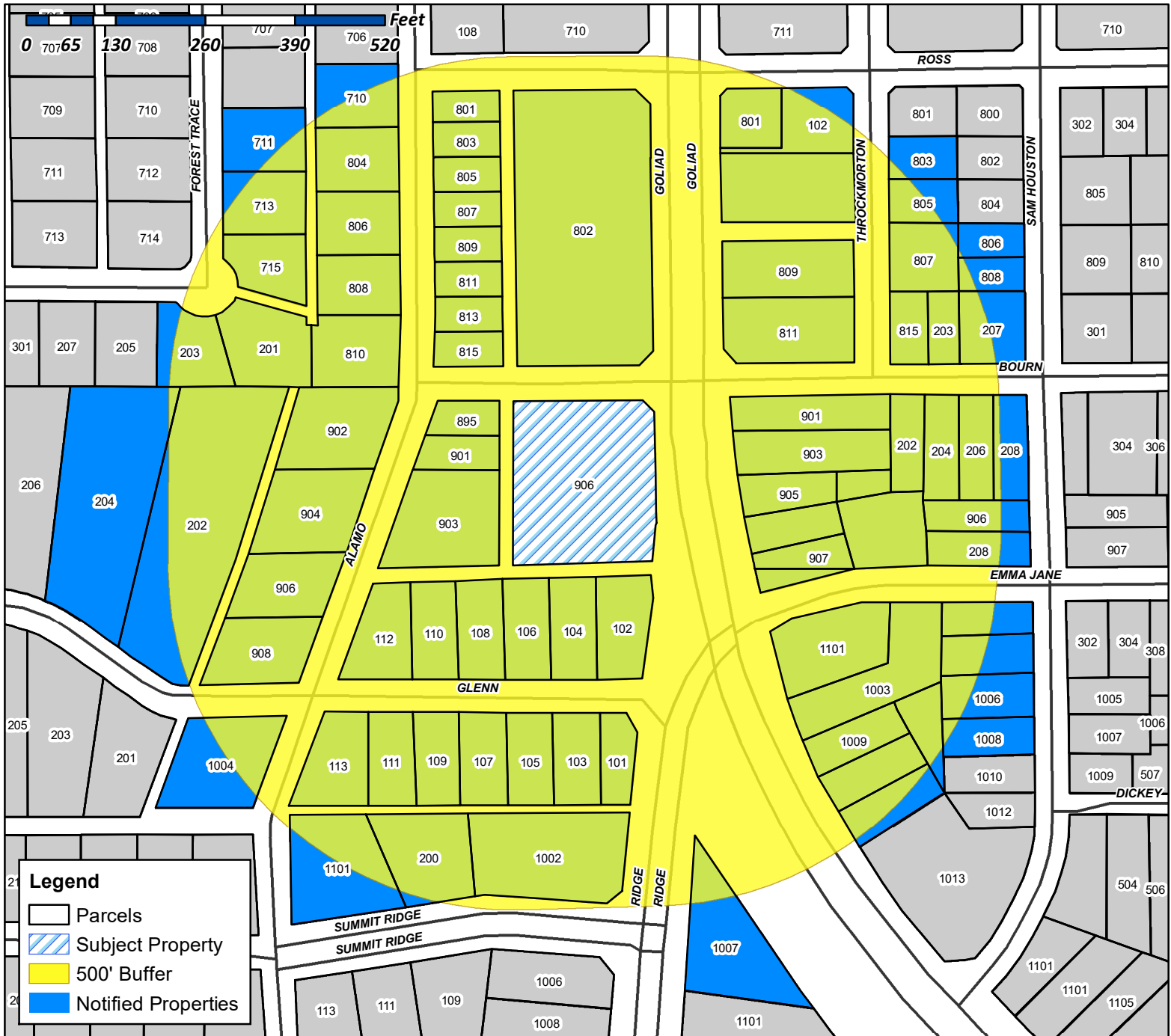
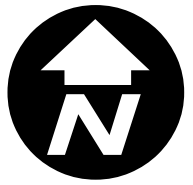




City of Rockwall

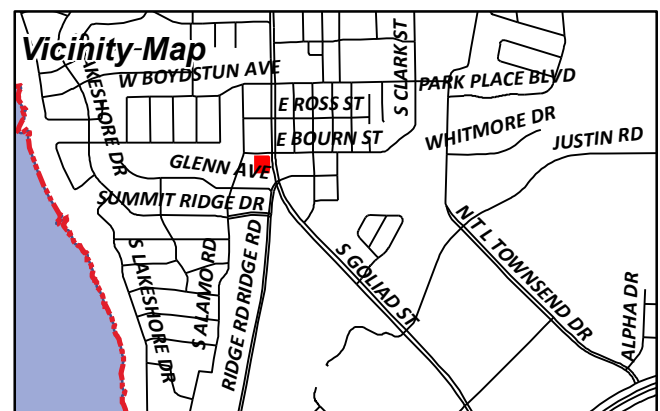
Planning & Zoning Department
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(P): (972) 771-7745
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For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENN
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
102 GLENN
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVENUE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K
C/O SONIC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200 SUMMIT RIDGE
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
2002 GREENHILL DRIVE
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
208 EMMA JANEST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

JONES MICHAEL G
27 SHADY BROOK CIR
ABILENE, TX 79605

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA
710 S ALAMO RD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
7117 STEFANI DRIVE
DALLAS, TX 75225

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ALLEN FRANKIE MAE
80 THROCKMORTON
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

MERRIMAN R C ET UX
804 S ALAMO
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F
805 S ALAMO RD
ROCKWALL, TX 75087

ALLEN FRANKIE MAE
805 THROCKMORTON
ROCKWALL, TX 75087

CROSS WESLEY AND
MISTY THOMPSON
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807SALAMO
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
8306 LIGHTHOUSE DR
ROWLETT, TX 75089

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087



WIER & ASSOCIATES, INC.
 ENGINEERS
 SURVEYORS
 LAND PLANNERS

August 14, 2020

City of Rockwall
 Planning & Zoning Dept.
 385 S. Goliad St
 Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT
 LOT 1, BLOCK B, JACK CANUP ADDITION
 W&A# 20075**

PRINCIPALS
 JOHN P. WIER, P.E., R.P.L.S.
 ULYS LANE III, P.E., R.P.L.S., CFM
 CARLO SILVESTRI, P.E.
 GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
 PHILIP L. GRAHAM, P.E.
 JAKE H. FEARS, P.E., LEED AP BD+C
 RANDALL S. EARDLEY, P.E.

ASSOCIATES
 TOBY W. RODGERS
 CASEY D. YORK
 PRIYA N. ACHARYA, P.E.
 TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

ETX Bell Properties, LLC intends to develop Lot 1, Block B of the Jack Canup Addition. The subject tract is a 1.131-acre parcel of land, currently zoned as PD-62, and situated within the J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas. Said property is generally located at the southwest corner of Goliad St (SH-205) and W. Bourn St and is currently addressed as 906 S. Goliad St.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 2,053-sf restaurant with drive-thru. This development requires a Specific Use Permit due to being a restaurant, more than 2,000-sf, with drive-thru facilities.

We appreciate your acceptance of our Specific Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this SUP. Please contact the developer, Toby Gowin with ETX Bell Properties, LLC, by phone at 903-589-1671 or via email at tgowin@smi-tex.com or the developer's engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

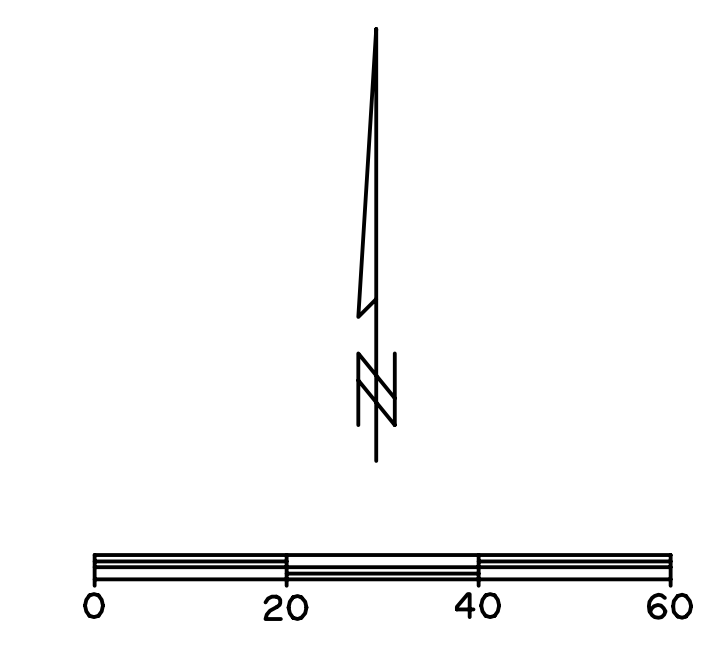
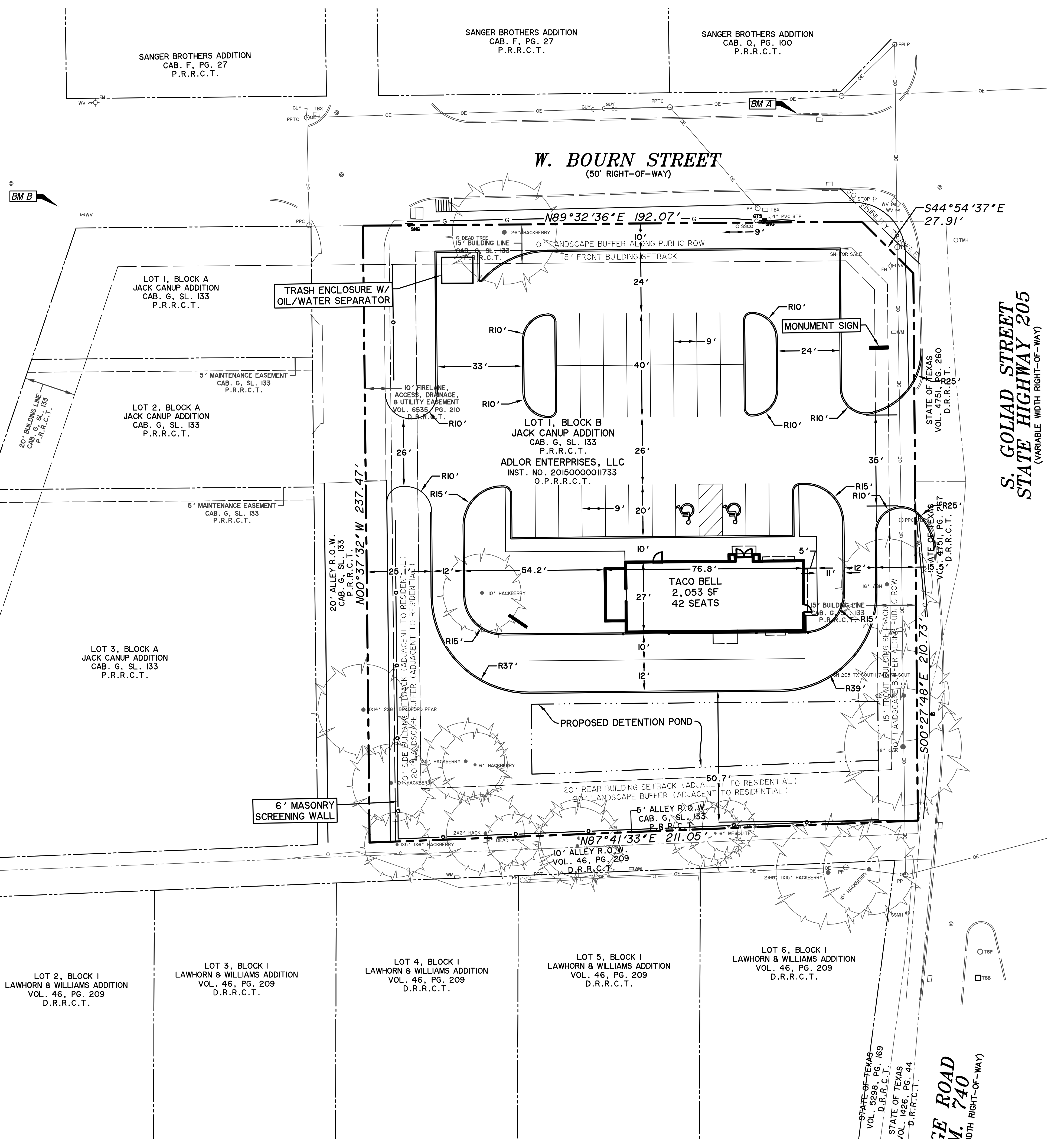
Casey Orr, P.E.
 Project Manager

2201 E. LAMAR BLVD., SUITE 200E
 ARLINGTON, TEXAS 76006-7440
 (817) 467-7700
 FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
 HENDERSON, TEXAS 75654-3559
 (903) 722-9030
 TOLL FREE FAX (844) 325-0445

PRINTED: 8/6/2020 5:25 PM WIER-PAVING STB LAST SAVED: 8/6/2020 5:25 PM SAVED BY: CASEYO FILE: SITE PLAN - 20075 (2).DWG



SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF / 1/100 SF = 21
TOTAL PARKING PROVIDED	27
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

PRELIMINARY
FOR REVIEW PURPOSES ONLY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

SUP SITE PLAN
LOT 1, BLOCK B
JACK CANUP ADDITION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, LLC, AS RECORDED IN INSTRUMENT NUMBER 20150000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

August 6, 2020

OWNER / DEVELOPER
 ETX BELL PROPERTIES, LLC
 101 EAST CHEROKEE
 JACKSONVILLE, TEXAS 75766
 CONTACT: TOBY GOWIN
 PH: (903) 589-1671
 EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
 WIER & ASSOCIATES, INC.
 121 S. MAIN ST.
 HENDERSON, TEXAS 75654
 CONTACT: CASEY ORR, P.E.
 PH: (903) 722-9030
 FAX: (844) 325-0445

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76066 METRO 1817 1467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 10033900

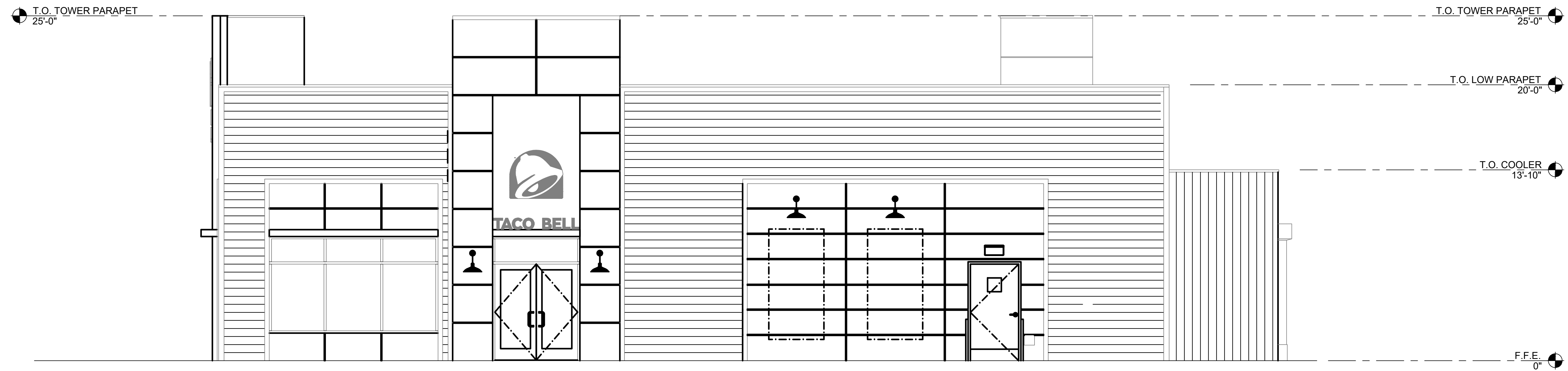
CASE No.: Z####-###
 SHEET 1 OF 1 DATE: 8/6/2020 W.A. No. 20075

STATE OF TEXAS
 VOL. 5298, PG. 169
 D.R.R.C.T.
 STATE OF TEXAS
 VOL. 1426, PG. 44
 D.R.R.C.T.
E ROAD
M. 740
 10TH RIGHT-OF-WAY

LONNIE SMITH
ARCHITECT

PHONE 888.624.5778
TEL 650.624.5745

519 Hampton Way, Suite 8
Richmond, KY 40475



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

NOT USED **I**

SIGNAGE **G**

GENERAL NOTES **F**

PAINT NOTES **E**

NOT USED **B**

NOT USED **C**

DATE	REMARKS

CONTRACT DATE: ###
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL
BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.0

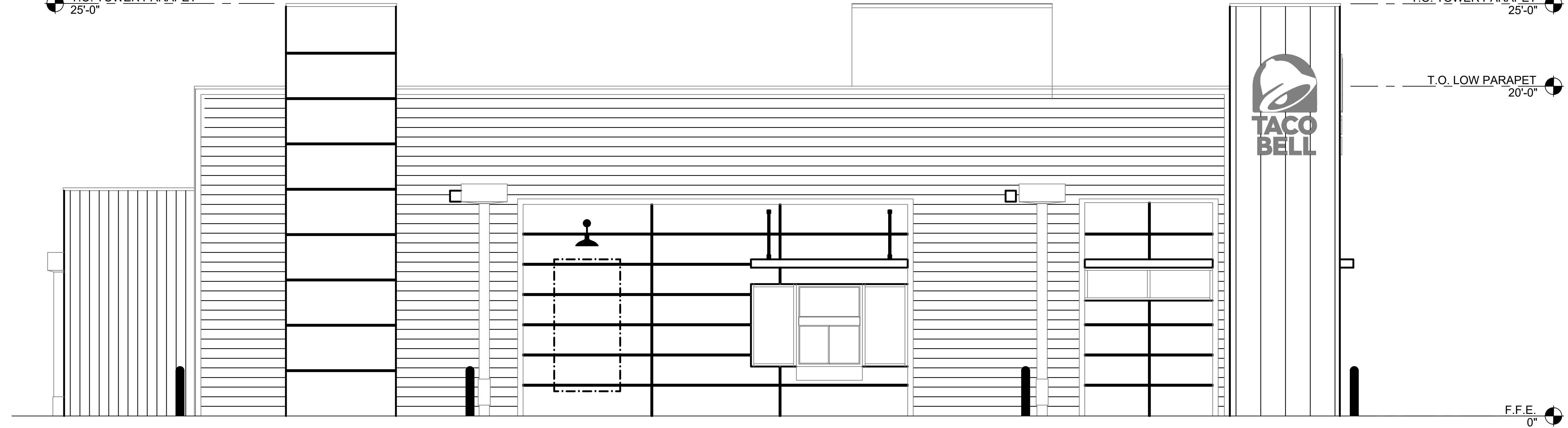
SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144" X 8.25"W. 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1x5.5'	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	-	-	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

- 316 METAL PARAPET CAP.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.
- 421 EXTERIOR ARTWORK.

EXTERIOR FINISH SCHEDULE **H**

KEY NOTES **D**

T.O. TOWER PARAPET
25'-0"



F.F.E.
0"

- 316 METAL PARAPET CAP.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 409 ASSUME DIT LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 411 CONCRETE CURB.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.

REAR ELEVATION 1/4" = 1'-0" 1

KEY NOTES A

DATE	REMARKS

CONTRACT DATE: ###
 BUILDING TYPE: END. MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: ###
 STORE NUMBER: ###
 PA/PM: LS
 DRAWN BY.: WCS
 JOB NO.: 20756

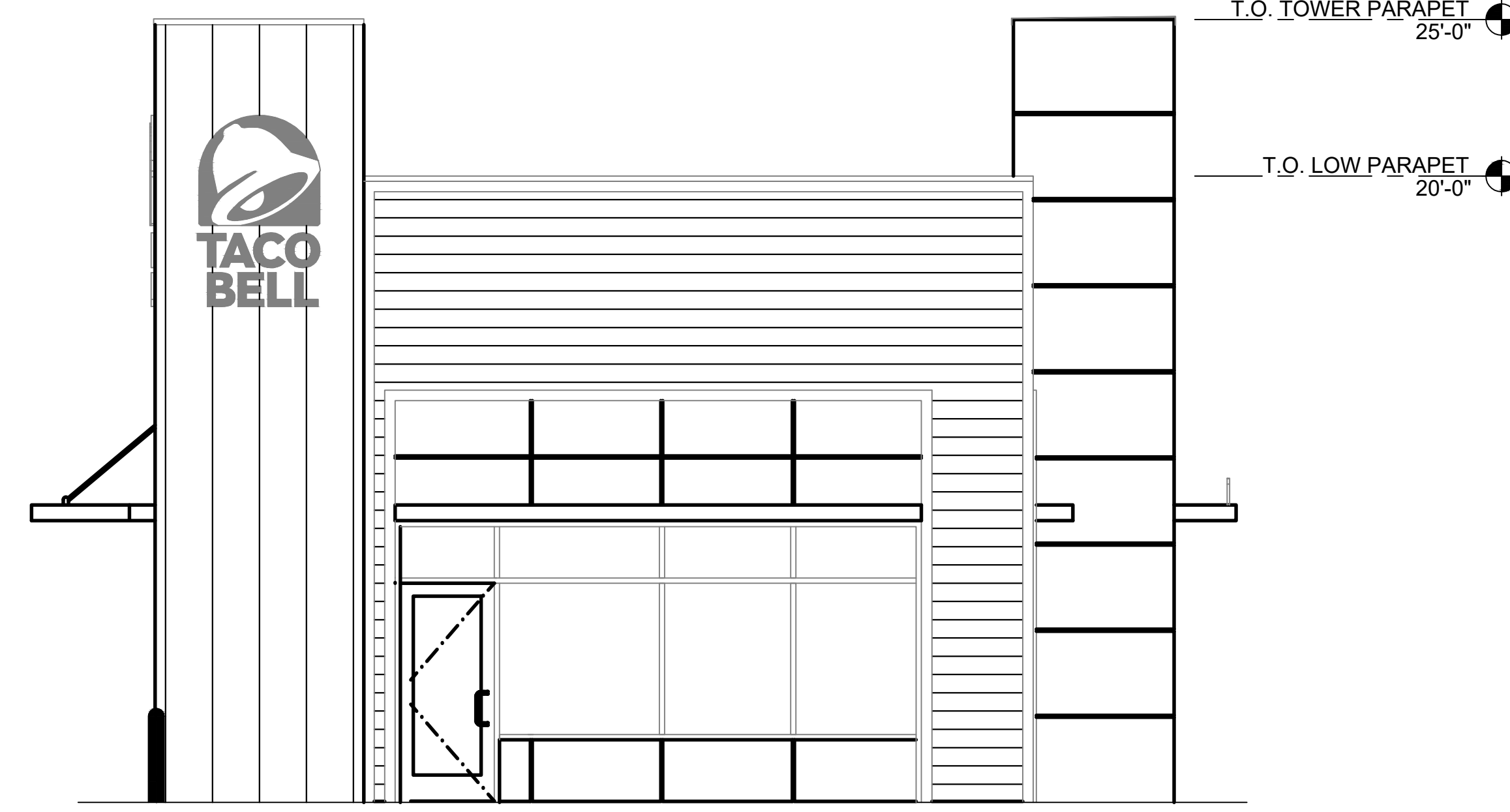
TACO BELL
 BOURN STREET
 ROCKWALL, TX



ENDEAVOR 1.0
 EXTERIOR
 ELEVATIONS

A4.1

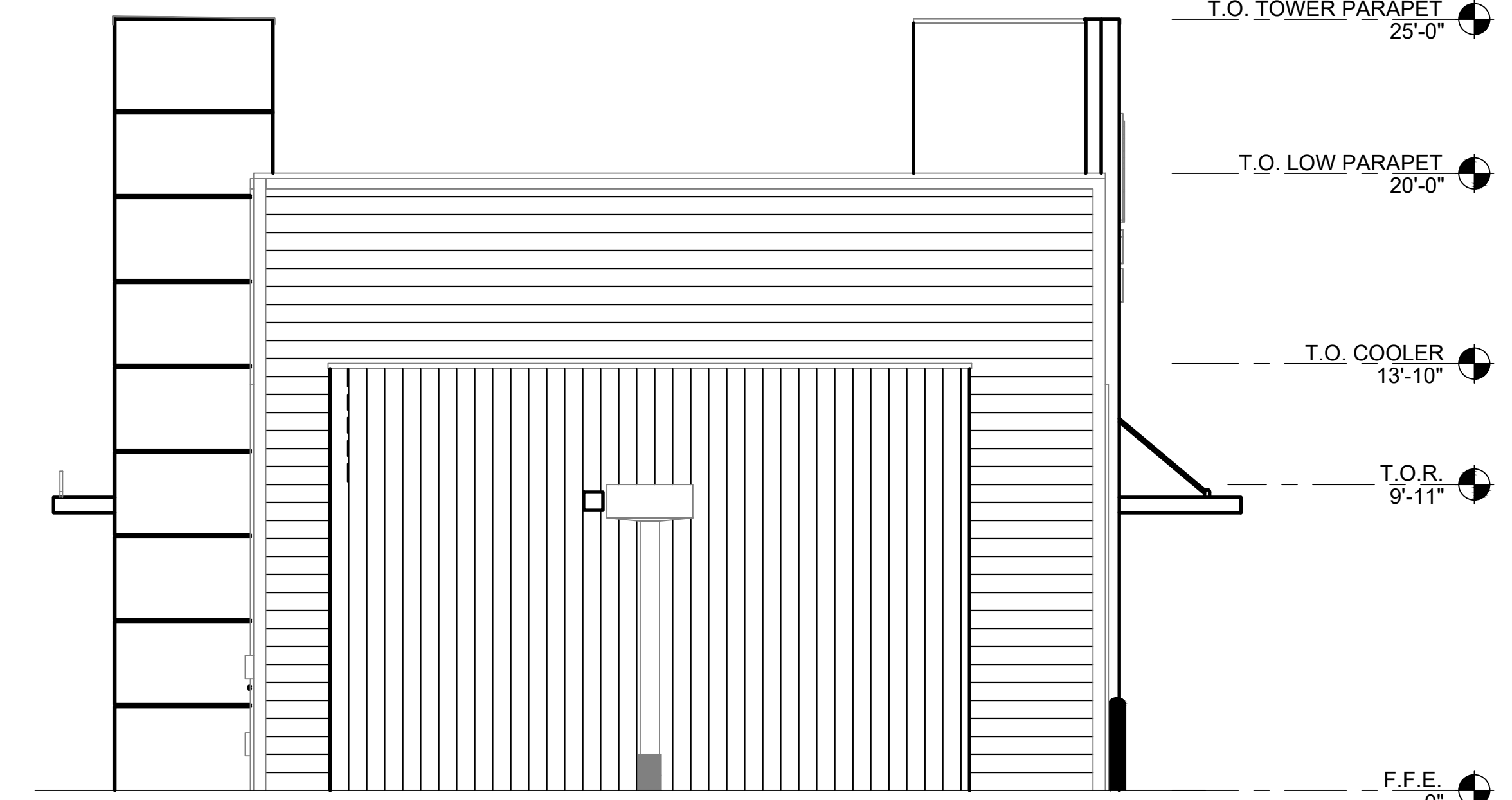
T.O. TOWER PARAPET
25'-0"



T.O. LOW PARAPET
20'-0"

FRONT ELEVATION 1/4" = 1'-0" 2

T.O. TOWER PARAPET
25'-0"



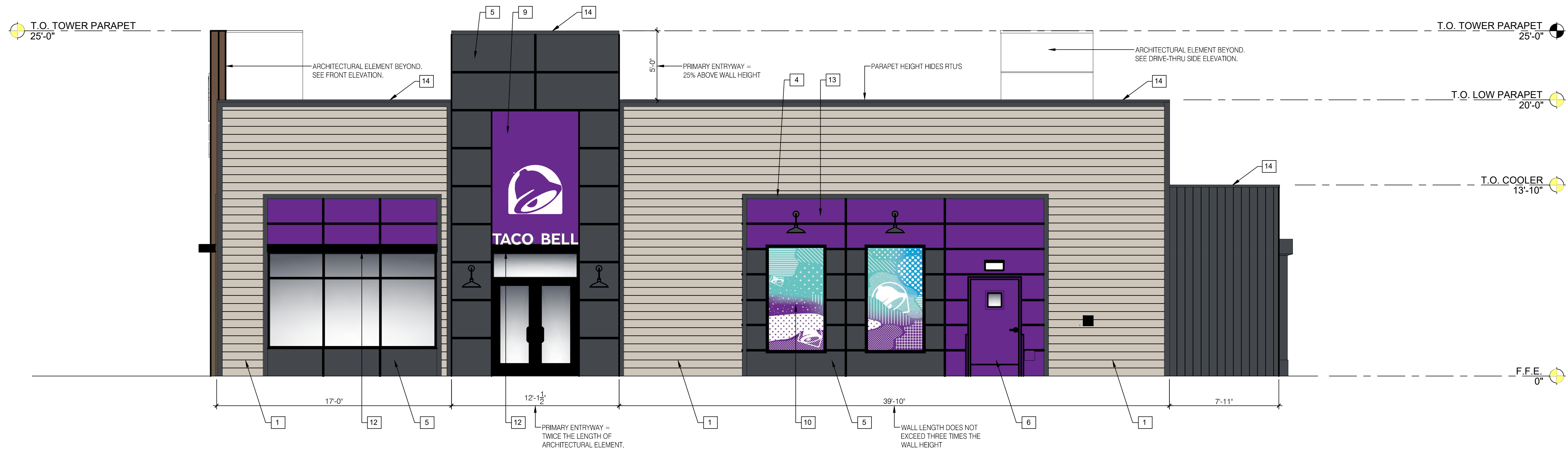
T.O. LOW PARAPET
20'-0"

T.O. COOLER
13'-10"

T.O.R.
9'-11"

F.F.E.
0"

REAR ELEVATION 1/4" = 1'-0" 3



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
 A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
SEALERS (REFER TO SPECS)
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W8300
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
 A-100 EXTERIOR LATEX SATIN.

NOT USED

I

SIGNAGE

G

GENERAL NOTES

F

PAINT NOTES

E

NOT USED

C

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 14.1" X 8.25"W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
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14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE

H

NOT USED

D

LONNIE SMITH
 ARCHITECT
 phone 888.624.5776
 fax 639.624.3745
 519 Hampton Way, Suite 8
 Richmond, KY 40475

DATE	REMARKS

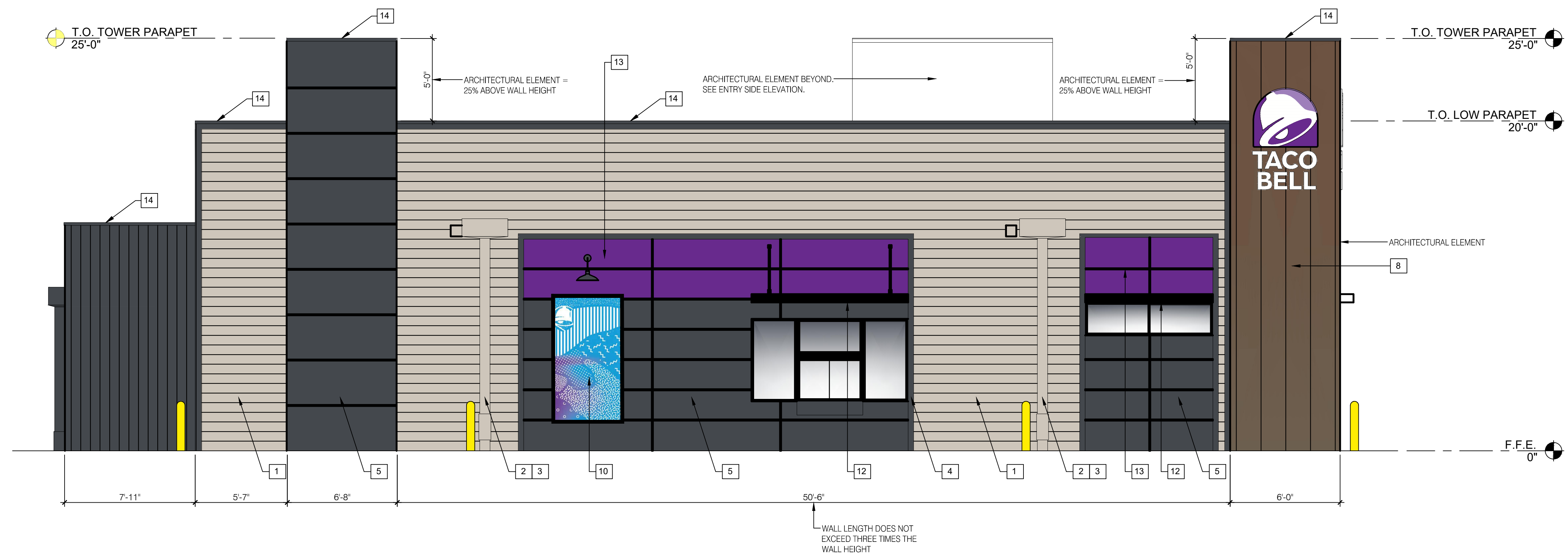
CONTRACT DATE: ###
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 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: ###
 STORE NUMBER: ###
 PA/PM: LS
 DRAWN BY.: WCS
 JOB NO.: 20756

TACO BELL
 BOURN STREET
 ROCKWALL, TX



ENDEAVOR 1.0
 EXTERIOR
 ELEVATIONS

A4.0



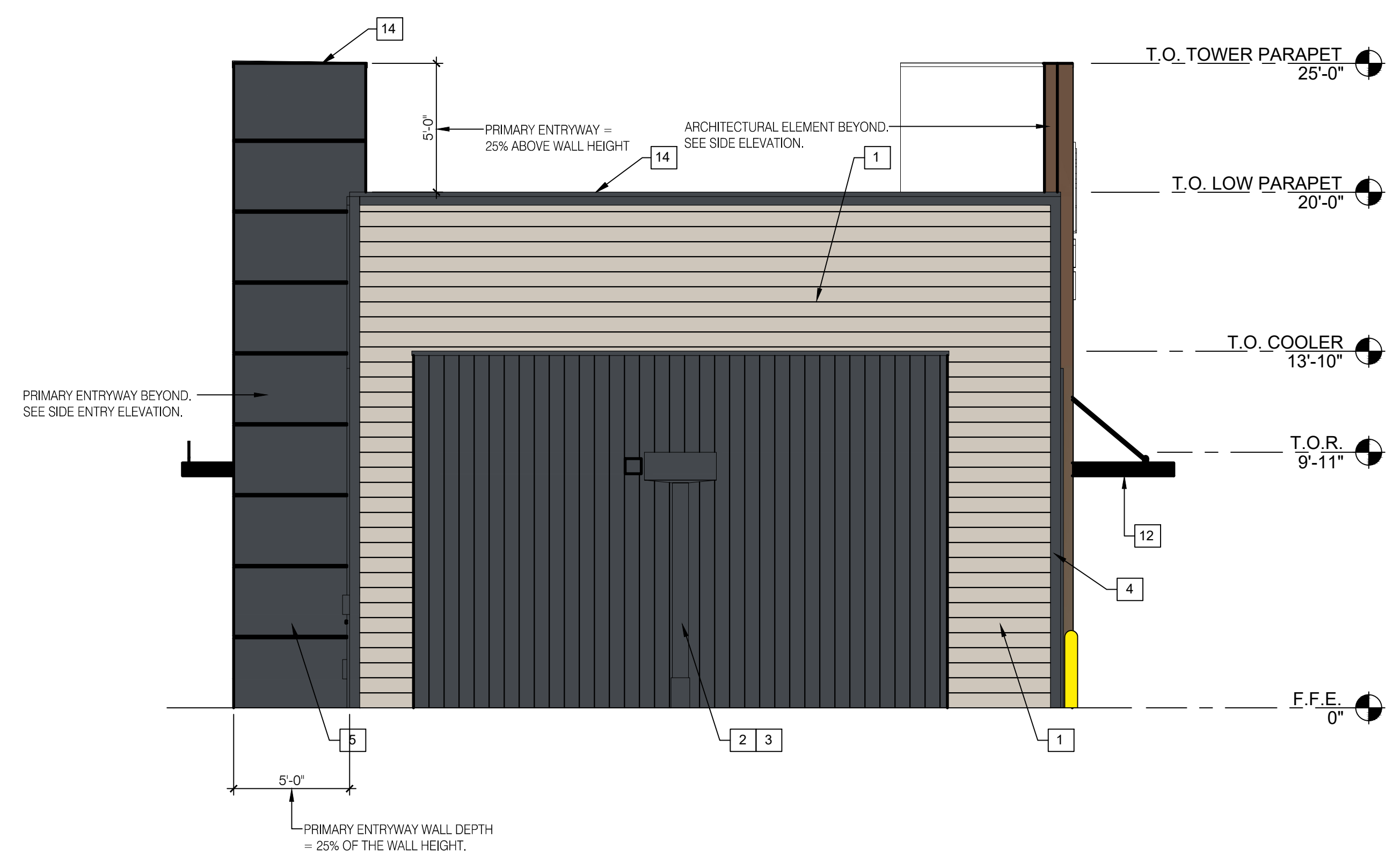
REAR ELEVATION 1/4" = 1'-0" 1

NOT USED

A



FRONT ELEVATION 1/4" = 1'-0" 2



REAR ELEVATION 1/4" = 1'-0" 3

DATE	REMARKS

CONTRACT DATE: ###
 BUILDING TYPE: END_MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: ###
 STORE NUMBER: ###
 PA/PM: LS
 DRAWN BY.: WCS
 JOB NO.: 20756

TACO BELL
 BOURN STREET
 ROCKWALL, TX



ENDEAVOR 1.0
 EXTERIOR
 ELEVATIONS

A4.1

LONNIE SMITH
 ARCHITECT
 phone 888.684.5785
 fax 888.624.3745
 519 Hampton Way, Suite 8
 Richmond, KY 40475

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/20/2020

PROJECT NUMBER: Z2020-035
PROJECT NAME: SUP for 902 & 906 S. Goliad Street
SITE ADDRESS/LOCATIONS: 906 S GOLIAD ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	08/19/2020	Approved w/ Comments

08/19/2020: Z2020-035; Specific Use Permit (SUP) for Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In at 902 & 906 S. Goliad Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, and addressed as 902 & 906 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-035) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ny use containing individual speakers shall not be permitted within 150 feet of any residential district unless the speaker is appropriately screened and shall meet the standards established in Article IV, Noise, of Chapter 16, Environment, of the Municipal Code of Ordinances. The Planning and Zoning Commission may require wing walls, landscape screens, changes in building orientation, and/or other design elements to screen and minimize the impact of individual service speakers."

M.5 The point of order/speakers appears to be located directly adjacent to the residential areas and facing towards the existing housing. Please consider revising the concept plan to relocate the restaurant so that the point of order is adjacent to S. Goliad Street. If the point of order is being proposed in its current location, please indicate the distance from the order box to the closest residential property and provide a screening plan showing how the applicant intends to mitigate for the adjacency.

I.6 According to Subsection 01.06, Residential Adjacency Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(w)here adjacent to residential districts, off-street loading areas shall be fully screened from view of the residential district ... (t)he director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses containing loading docks within 150 feet of any residential district."

M.7 Please indicate on the concept plan the proposed loading zone for all deliveries for the proposed restaurant.

I.8 The driveway depicted off of S. Goliad Street does not meet the City's or the Texas Department of Transportation's standards for driveways spacing; however, it is an existing driveway approach. When considering the proposed land use, this driveway is a safety issue, and will be pointed out as such in staff's case memo. In addition, staff will be requiring a Traffic Impact Analysis (TIA) for this project as part of the site plan process if the Specific Use Permit (SUP) is approved.

I.9 According to Subsection 01.05, Screening Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "...these (trash enclosures) shall be located to the side or rear of the primary building and shall not front onto a public street."

M.10 The location of the proposed trash enclosure is shown adjacent to a street and is not located within the rear or side of the site. In addition, the enclosure is situated within the 15-foot building setback line along W. Bourn Street. No structures are permitted within the building setback. Please correct these issues on the concept plan or remove the trash

enclosure.

I.11 According to the conditional use standards for a Restaurant, 2,000 SF of More, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "(d)rive-through lanes shall not have access to a local residential street."

M.12 Currently, the concept plan shows the proposed business using a residential alleyway as a primary entrance into the site. Please correct the concept plan so that all access is located off of either W. Bourn Street or S. Goliad Street. It should be noted that any access off of the residential alleyway or W. Bourn Street will not meet the requirements of the Unified Development Code (UDC) and will require the City Council's discretionary approval.

I.13 According to the conditional use standards for a Restaurant, 2,000 SF of More, with Drive-Through or Drive-In contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), "...stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane."

M.14 Please show the stacking from the point of order to ensure compliance with the requirements of the Unified Development Code (UDC).

M.15 Please remove all signage from the concept plan exhibit.

I.16 The submitted building elevations do not appear to not conform to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC). Specifically, the building design does not meet the articulation or massing requirements. Since this property is adjacent to two (2) roadways and has residential adjacency on two (2) sides, all sides of the building would need to meet the primary building façade requirements.

I.17 The subject property has two (2) frontages (i.e. along W. Bourn Street and S. Goliad Street) that are considered front yards (i.e. require a front yard building setback). According to Subsection 07.03, Non-Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), properties in a General Retail (GR) District are not permitted to have parking between the front façade of the building and property line.

M.18 Please reorient the building so that the parking is situated to the side or rear of the property and is not between the front façade of the building and the property lines along on W. Bourn Street or S. Goliad Street.

I.19 Based on the current plans staff has identified the following waivers associated with this request that will need to be considered by the Planning and Zoning Commission and City Council:

- (1) Parking lot location.
- (2) Dumpster location.
- (3) Building articulation.
- (4) Ingress/Egress locations.
- (5) Land use conditional standards.

M.20 Please review the City's variance/exception standards contained in Section 09, Exceptions and Variances, in Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) and provide a letter addressing each requested waiver and indicate the provided off-setting compensatory measures that will be incorporated for this request.

I.21 Based on the proposed land uses' incompatibility with the adjacent and established residential land uses, the deficiencies of the proposed concept plan in conforming to the requirements of the Unified Development Code (UDC), and the deficiencies of the proposed building elevations with the City's minimum standards, staff is recommending that at a minimum the applicant make the following changes/additions to the proposed request:

- (1) Reorient the building so that the drive-through lane and point of order are directly adjacent to S. Goliad Street. The building will also need to be reoriented so that no parking exists between the front façade of the building and the property lines adjacent to W. Bourn Street and S. Goliad Street.
- (2) The building elevations should be reworked to meet the City's minimum standards. In addition, if variances/exceptions are requested the applicant should consider the compensatory measures that will be proposed (i.e. materials, landscaping, etc.) and provide updated elevations for the draft ordinance.
- (3) An exhibit showing the proposed screening adjacent to the existing residential land uses should be provided. In this case, staff suggests that at a minimum a six (6) to eight (8) foot masonry wall with mature canopy trees be provided on 20-foot centers along the southern and western property lines.
- (4) Considering the intensity of the land use, all ingress and egress should be taken off of W. Bourn Street.
- (5) No structures should encroach into established building lines.
- (6) A 20-foot landscape buffer with heavy screening should be provided adjacent to S. Goliad Street to inhibit headlights from creating a hazard to motorist on S. Goliad Street.
- (7) A bailout lane should be provided in the drive-through lane (if not already provided; if provided please label).
- (8) The applicant should limit the hours of operation to prevent further potential issues for the existing residential land uses.

These suggestions have been included into the draft ordinance.

I.22 Please review the attached Draft Ordinance prior to the August 25, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 1, 2020.

I.23 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 15, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 25, 2020.

I.24 The projected City Council meeting dates for this case will be September 21, 2020 (1st Reading) and October 5, 2020 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jeremy White	08/19/2020	Approved w/ Comments

08/19/2020:

- I - 4% Engineering Inspection Fees.
- I - Impact Fees.
- I - Engineering plan review fees.
- I - No dead end parking allowed.
- I - TXDOT permits required.
- I - Dumpster area oil/water separator to drain to storm line.
- I - Detention is required.
- I - Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- I - No vertical walls in detention easements.
- I - Minimum utility easement width is 20'.
- I - Label distances between driveways. (measured from edge to edge)
- I - All parking 20'x9'.
- I - Minimum drive aisle width is 24'.
- I - TIA required for TXDOT including City review fees.
- I - TXDOT Driveway Permit Required
- I - TXDOT Permit Required to connect to Storm Sewer in SH 205.
- I - See planning department comment on connection to alley.
- I - If driveway on Bourn St. need spacing variance
- I - \$2.50/sf of sidewalk pro-rata along SH 205 due to City.
- I - Retaining walls 3' and taller must be designed by a structural engineer.
- I - All walls must be rock or stone face. No smooth concrete walls.
- I - No trees within 10' of non-steel encased public utilities over 10" & 5' for less than n 10".
- I - 10' Utility Easement on all ROW frontage.
- I - Install 5' sidewalk along Bourn, 2 ft off ROW
- I - Must meet City of Rockwall Standards of Design.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/18/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Kevin Clark	08/18/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	08/20/2020	N/A

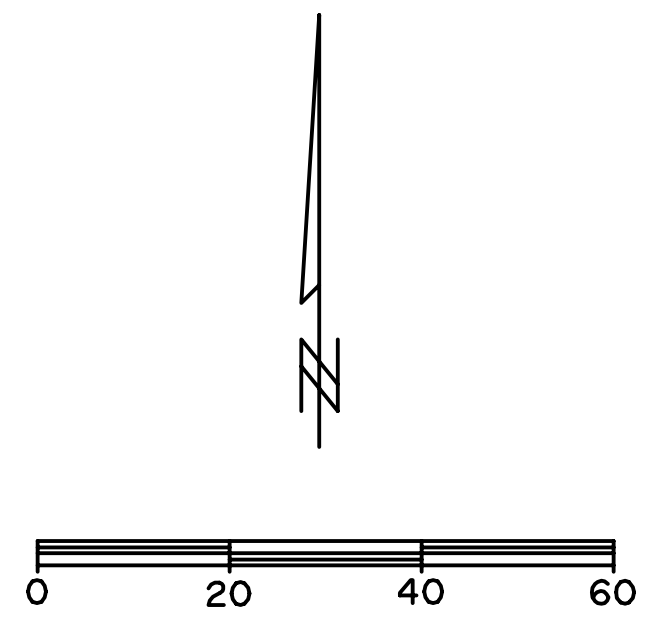
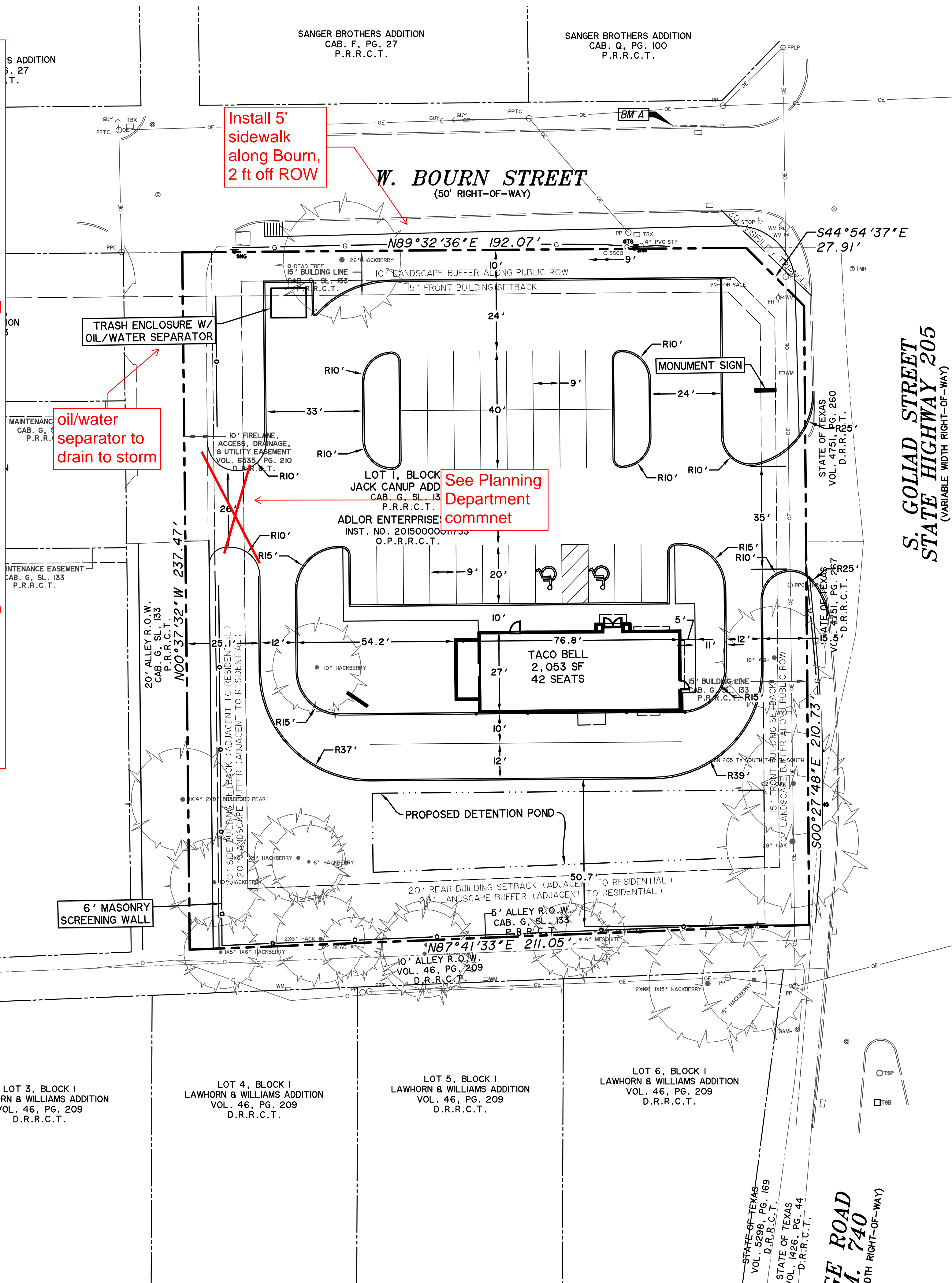
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	08/17/2020	Approved w/ Comments

08/17/2020: 1. Please expand existing tree site plan to submit a Tree Mitigation Plan
2. Please provide Landscape and Tree Plans

PRINTED: 8/6/2020 5:25 PM WIER-PAVING STB LAST SAVED: 8/6/2020 5:25 PM SAVED BY: CASEYO FILE: SITE PLAN - 20075 (2).DWG

- I - 4% Engineering Inspection Fees.
- I - Impact Fees.
- I - Engineering plan review fees.
- I - No dead end parking allowed.
- I - TXDOT permits required.
- I - Dumpster area oil/water separator to drain to storm line.
- I - Detention is required.
- I - Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- I - No vertical walls in detention easements.
- I - Minimum utility easement width is 20'.
- I - Label distances between driveways. (measured from edge to edge)
- I - All parking 20'x9'.
- I - Minimum drive aisle width is 24'.
- I - TIA required for TXDOT including City review fees.
- I - TXDOT Driveway Permit Required
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- I - \$2.50/sf of sidewalk pro-rata along SH 205 due to City.
- I - Retaining walls 3' and taller must be designed by a structural engineer.
- I - All walls must be rock or stone face. No smooth concrete walls.
- I - No trees within 10' of non-steel encased public utilities over 10" & 5' for less than 10".
- I - 10' Utility Easement on all ROW frontage.
- I - Install 5' sidewalk along Bourn, 2 ft off ROW
- I - Must meet City of Rockwall Standards of Design.



SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF; 1/100 SF = 21
TOTAL PARKING PROVIDED	27
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 4. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

PRELIMINARY
FOR REVIEW PURPOSES ONLY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

SUP SITE PLAN
LOT 1, BLOCK B
JACK CANUP ADDITION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, L.L.C., AS RECORDED IN INSTRUMENT NUMBER 2015000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

August 6, 2020

OWNER / DEVELOPER
 ETX BELL PROPERTIES, LLC
 101 EAST CHEROKEE
 JACKSONVILLE, TEXAS 75766
 CONTACT: TOBY GOWIN
 PH: (903) 589-1671
 EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
 WIER & ASSOCIATES, INC.
 121 S. MAIN ST.
 HENDERSON, TEXAS 75654
 CONTACT: CASEY ORR, P.E.
 PH: (903) 722-9030
 FAX: (844) 325-0445

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 METRO 1817 1467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 10033900

CASE No.: Z####-###
 SHEET 1 OF 1 DATE: 8/6/2020 W.A. No. 20075



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 906 S. Goliad St

Subdivision Jack Canup Addition

Lot 1 Block B

General Location Southwest Corner of S. Goliad St & Bourn St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-62

Current Use Vacant

Proposed Zoning PD-62

Proposed Use Restaurant (>2,000sf) w/ drive-thru

Acreage 1.131

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ADLOR ENTERPRISES, LLC

Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKE SHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 21697, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

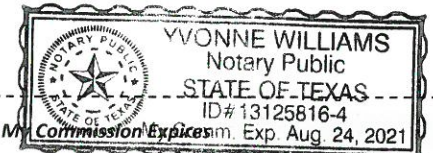
Given under my hand and seal of office on this the 8 day of 14, 20 20.

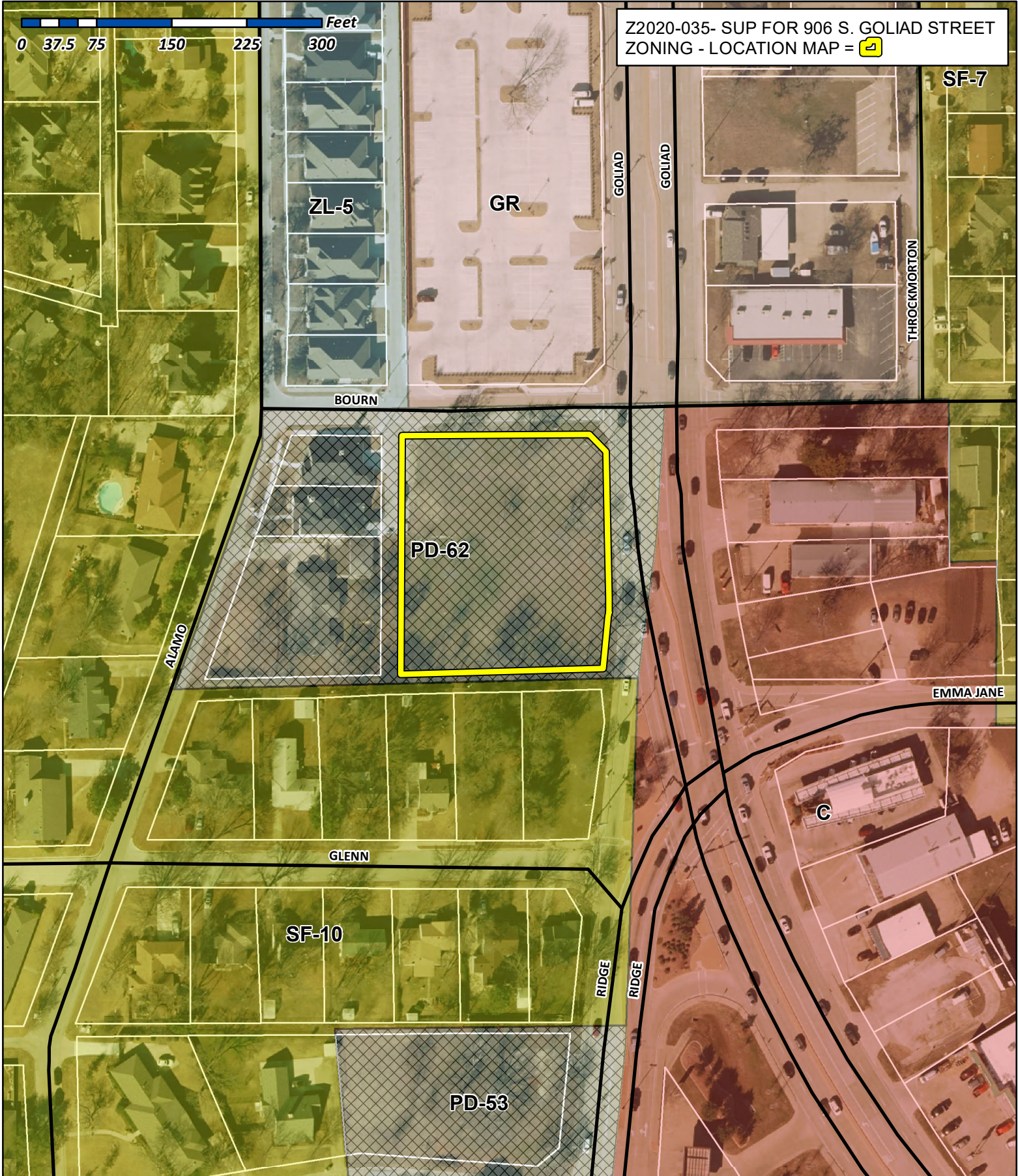
Owner's Signature

[Handwritten Signature]

Notary Public in and for the State of Texas

[Handwritten Signature]

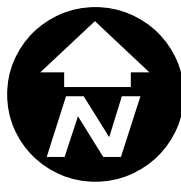




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

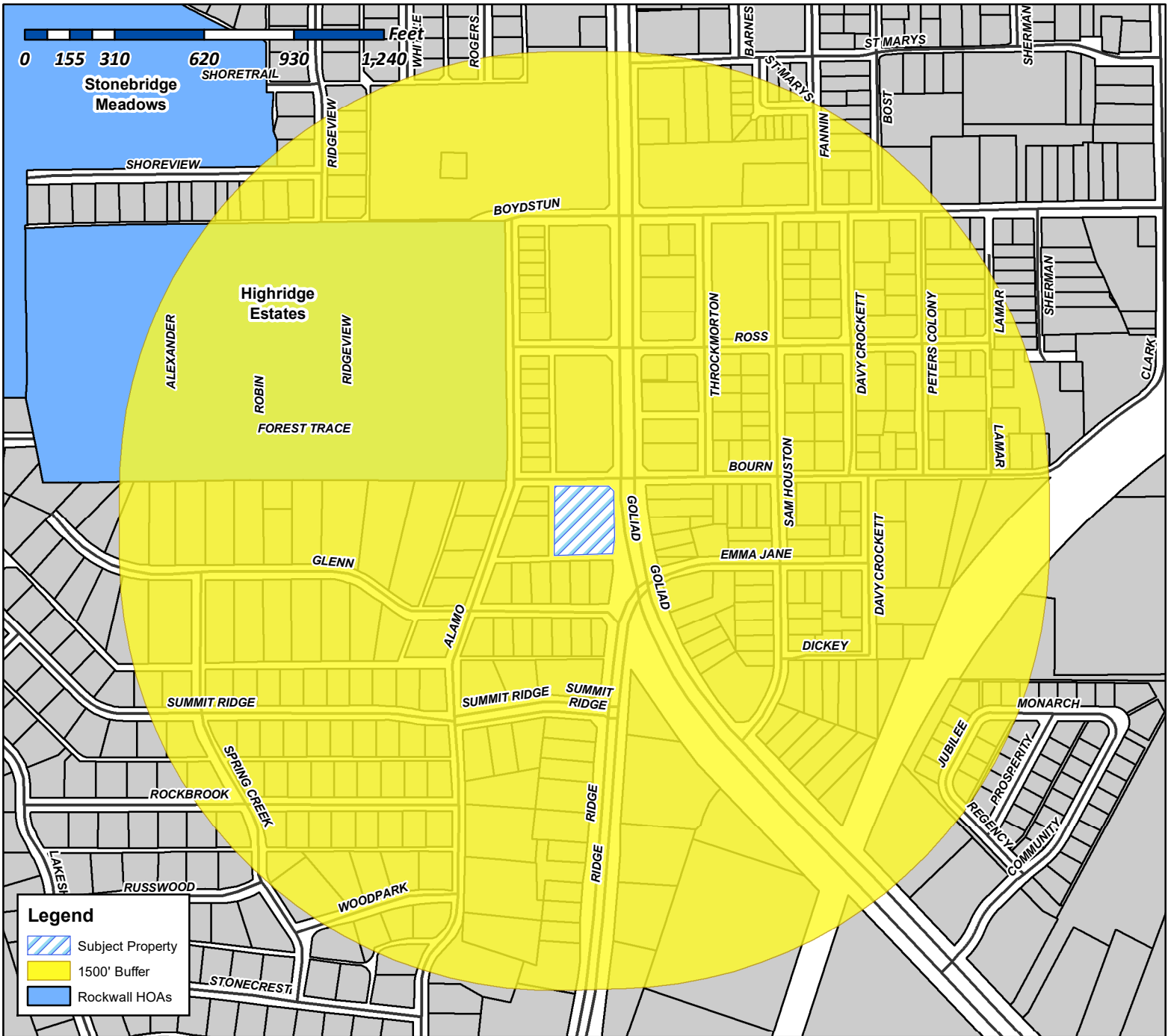




City of Rockwall

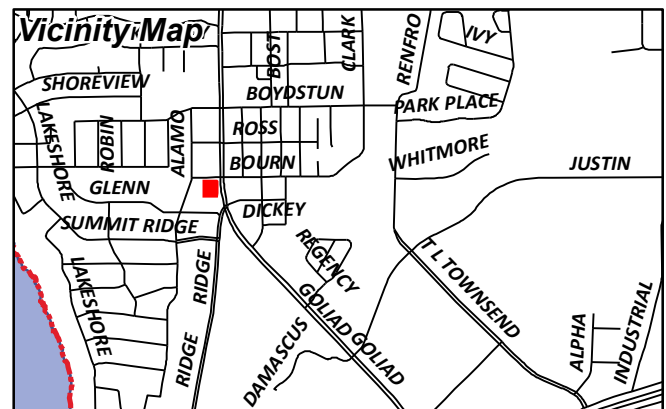
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENN
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
102 GLENN
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVENUE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K
C/O SONIC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200 SUMMIT RIDGE
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
2002 GREENHILL DRIVE
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
208 EMMA JANEST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

JONES MICHAEL G
27 SHADY BROOK CIR
ABILENE, TX 79605

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA
710 S ALAMO RD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
7117 STEFANI DRIVE
DALLAS, TX 75225

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ALLEN FRANKIE MAE
80 THROCKMORTON
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

MERRIMAN R C ET UX
804 S ALAMO
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F
805 S ALAMO RD
ROCKWALL, TX 75087

ALLEN FRANKIE MAE
805 THROCKMORTON
ROCKWALL, TX 75087

CROSS WESLEY AND
MISTY THOMPSON
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807SALAMO
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
8306 LIGHTHOUSE DR
ROWLETT, TX 75089

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087



WIER & ASSOCIATES, INC.
 ENGINEERS
 SURVEYORS
 LAND PLANNERS

August 14, 2020

City of Rockwall
 Planning & Zoning Dept.
 385 S. Goliad St
 Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT
 LOT 1, BLOCK B, JACK CANUP ADDITION
 W&A# 20075**

PRINCIPALS
 JOHN P. WIER, P.E., R.P.L.S.
 ULYS LANE III, P.E., R.P.L.S., CFM
 CARLO SILVESTRI, P.E.
 GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
 PHILIP L. GRAHAM, P.E.
 JAKE H. FEARS, P.E., LEED AP BD+C
 RANDALL S. EARDLEY, P.E.

ASSOCIATES
 TOBY W. RODGERS
 CASEY D. YORK
 PRIYA N. ACHARYA, P.E.
 TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

ETX Bell Properties, LLC intends to develop Lo1 1, Block B of the Jack Canup Addition. The subject tract is a 1.131-acre parcel of land, currently zoned as PD-62, and situated within the J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas. Said property is generally located at the southwest corner of Goliad St (SH-205) and W. Bourn St and is currently addressed as 906 S. Goliad St.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 2,053-sf restaurant with drive-thru. This development requires a Specific Use Permit due to being a restaurant, more than 2,000-sf, with drive-thru facilities.

We appreciate your acceptance of our Specific Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this SUP. Please contact the developer, Toby Gowin with ETX Bell Properties, LLC, by phone at 903-589-1671 or via email at tgowin@smi-tex.com or the developer’s engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

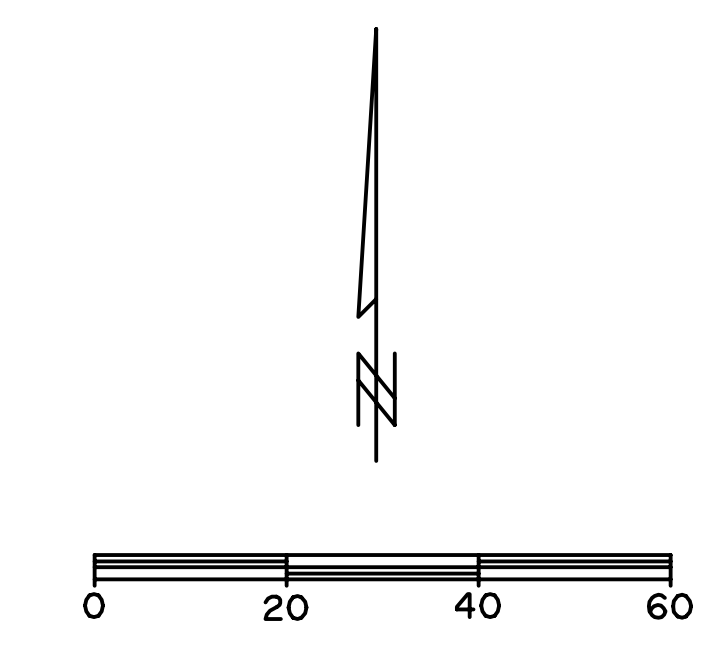
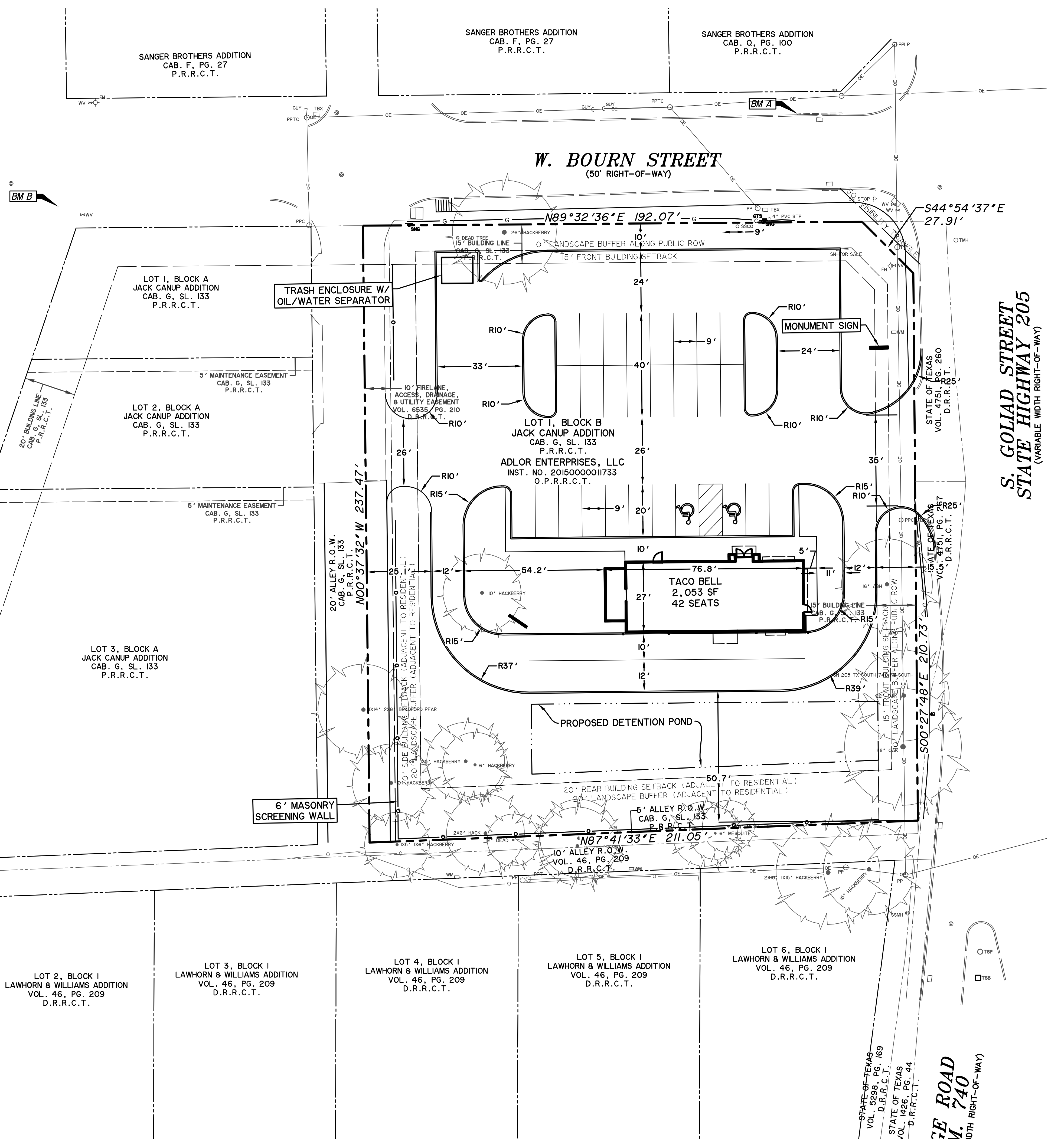
Casey Orr, P.E.
 Project Manager

2201 E. LAMAR BLVD., SUITE 200E
 ARLINGTON, TEXAS 76006-7440
 (817) 467-7700
 FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
 HENDERSON, TEXAS 75654-3559
 (903) 722-9030
 TOLL FREE FAX (844) 325-0445

PRINTED: 8/6/2020 5:25 PM WIER-PAVING STB LAST SAVED: 8/6/2020 5:25 PM SAVED BY: CASEYO FILE: SITE PLAN - 20075 (2).DWG



SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF / 1/100 SF = 21
TOTAL PARKING PROVIDED	27
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

PRELIMINARY
FOR REVIEW PURPOSES ONLY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

SUP SITE PLAN
LOT 1, BLOCK B
JACK CANUP ADDITION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, LLC, AS RECORDED IN INSTRUMENT NUMBER 20150000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

August 6, 2020

OWNER / DEVELOPER
 ETX BELL PROPERTIES, LLC
 101 EAST CHEROKEE
 JACKSONVILLE, TEXAS 75766
 CONTACT: TOBY GOWIN
 PH: (903) 589-1671
 EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
 WIER & ASSOCIATES, INC.
 121 S. MAIN ST.
 HENDERSON, TEXAS 75654
 CONTACT: CASEY ORR, P.E.
 PH: (903) 722-9030
 FAX: (844) 325-0445

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76010 METRO 1817 1467-7700
 Texas Firm Registration No. F-2776 www.WierAssociates.com
 Texas Board of Professional Land Surveying Registration No. 10033900

CASE No.: Z####-###
 SHEET 1 OF 1 DATE: 8/6/2020
 W.A. No. 20075

LONNIE SMITH
ARCHITECT

PHONE 888.624.5778
TEL 659.624.5745

519 Hampton Way, Suite 8
Richmond, KY 40475

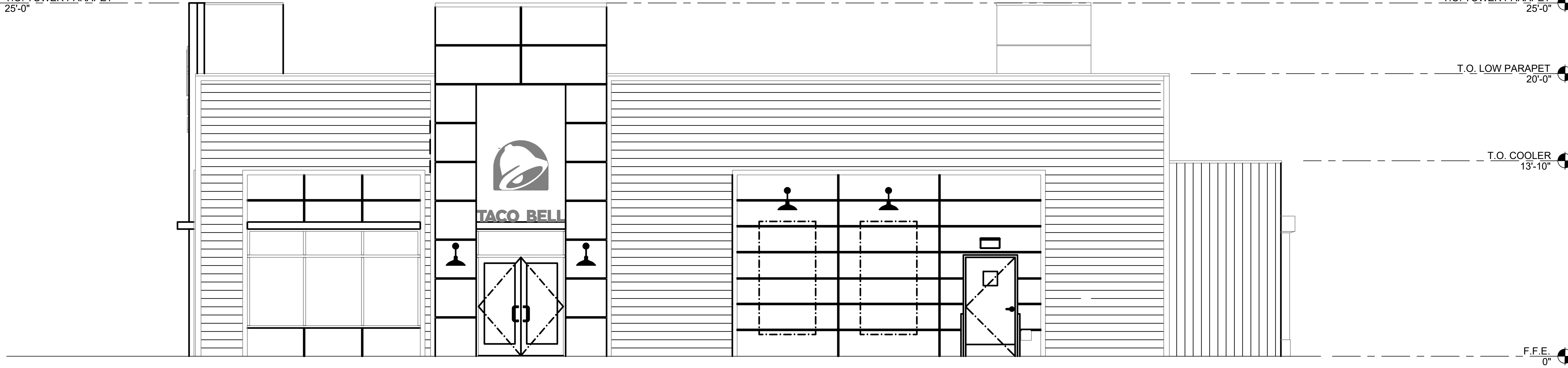
T.O. TOWER PARAPET
25'-0"

T.O. TOWER PARAPET
25'-0"

T.O. LOW PARAPET
20'-0"

T.O. COOLER
13'-10"

F.F.E.
0"



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

NOT USED

I

SIGNAGE

G

GENERAL NOTES

F

PAINT NOTES

E

NOT USED

C

DATE	REMARKS

CONTRACT DATE: ###
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL

BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.0

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144" X 8.25"W. 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1x5.5'	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	-	-	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

- 316 METAL PARAPET CAP.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.
- 421 EXTERIOR ARTWORK.

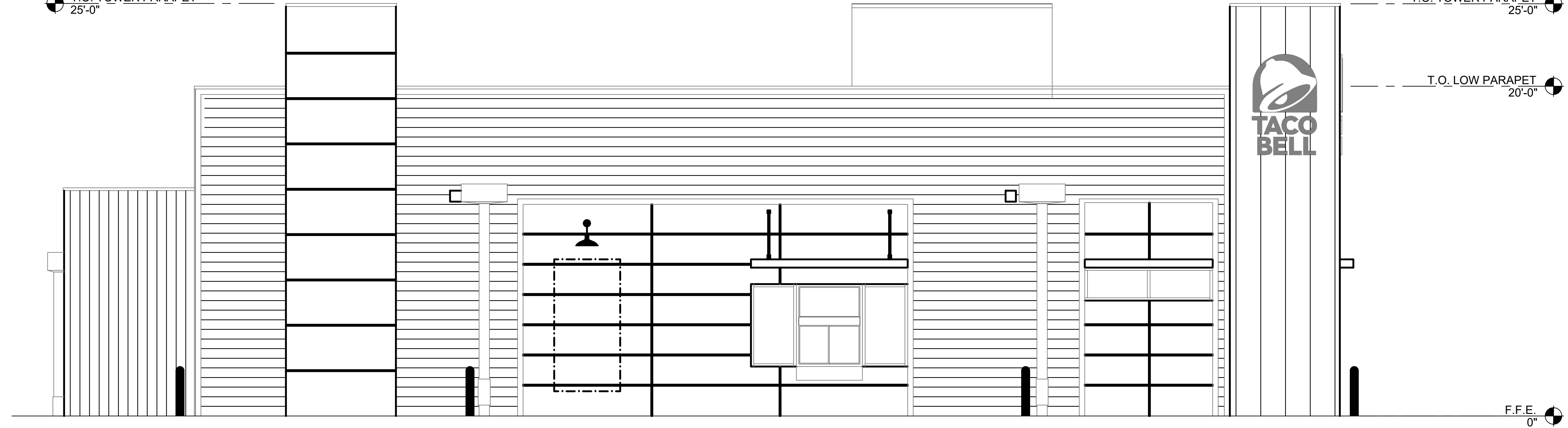
EXTERIOR FINISH SCHEDULE

H

KEY NOTES

D

T.O. TOWER PARAPET
25'-0"



F.F.E.
0"

- 316 METAL PARAPET CAP.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 409 ASSUME DIT LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 411 CONCRETE CURB.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.

REAR ELEVATION 1/4" = 1'-0" 1

KEY NOTES A

DATE	REMARKS

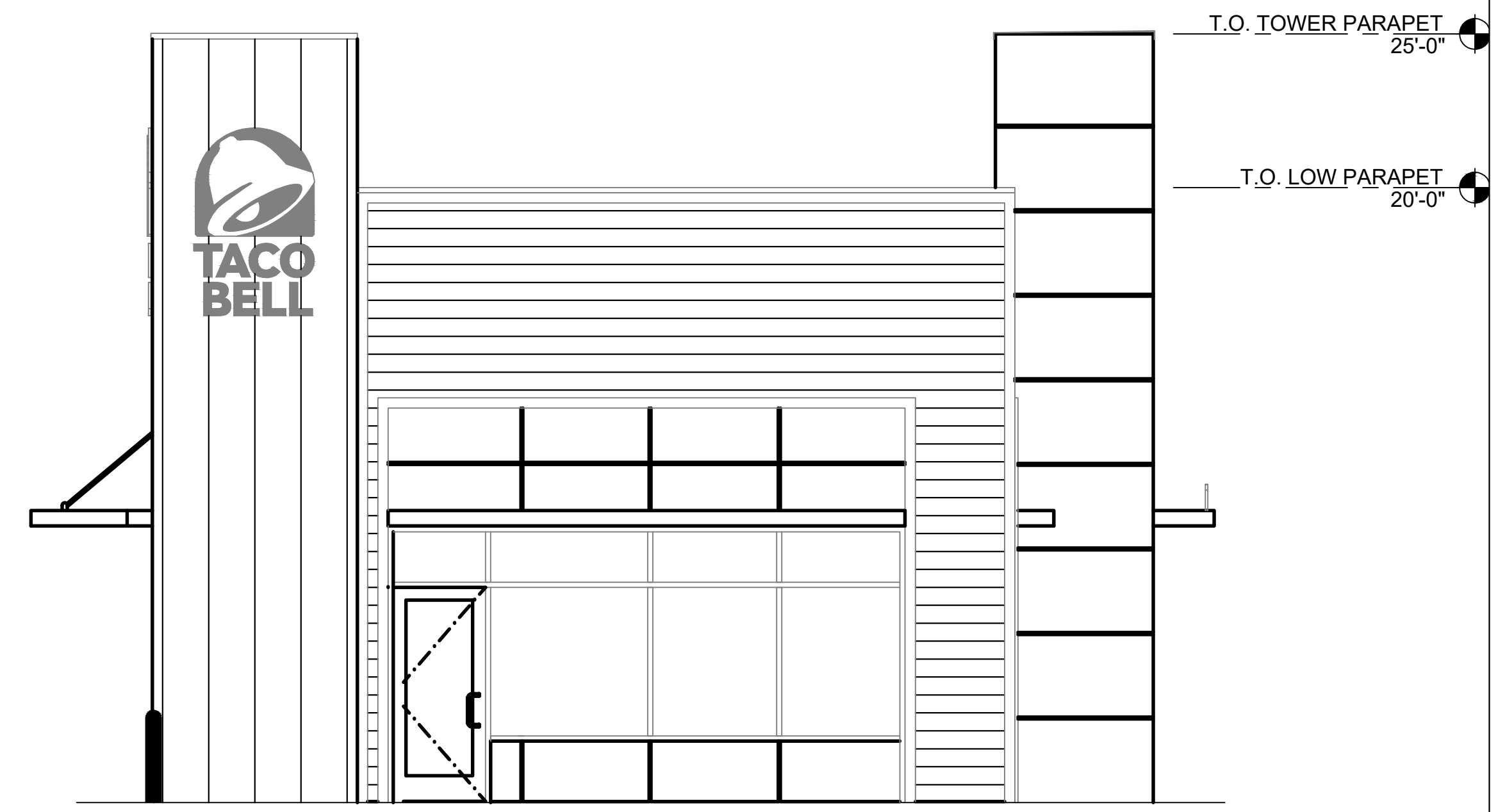
CONTRACT DATE: ###
 BUILDING TYPE: END. MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: ###
 STORE NUMBER: ###
 PA/PM: LS
 DRAWN BY.: WCS
 JOB NO.: 20756

TACO BELL
 BOURN STREET
 ROCKWALL, TX

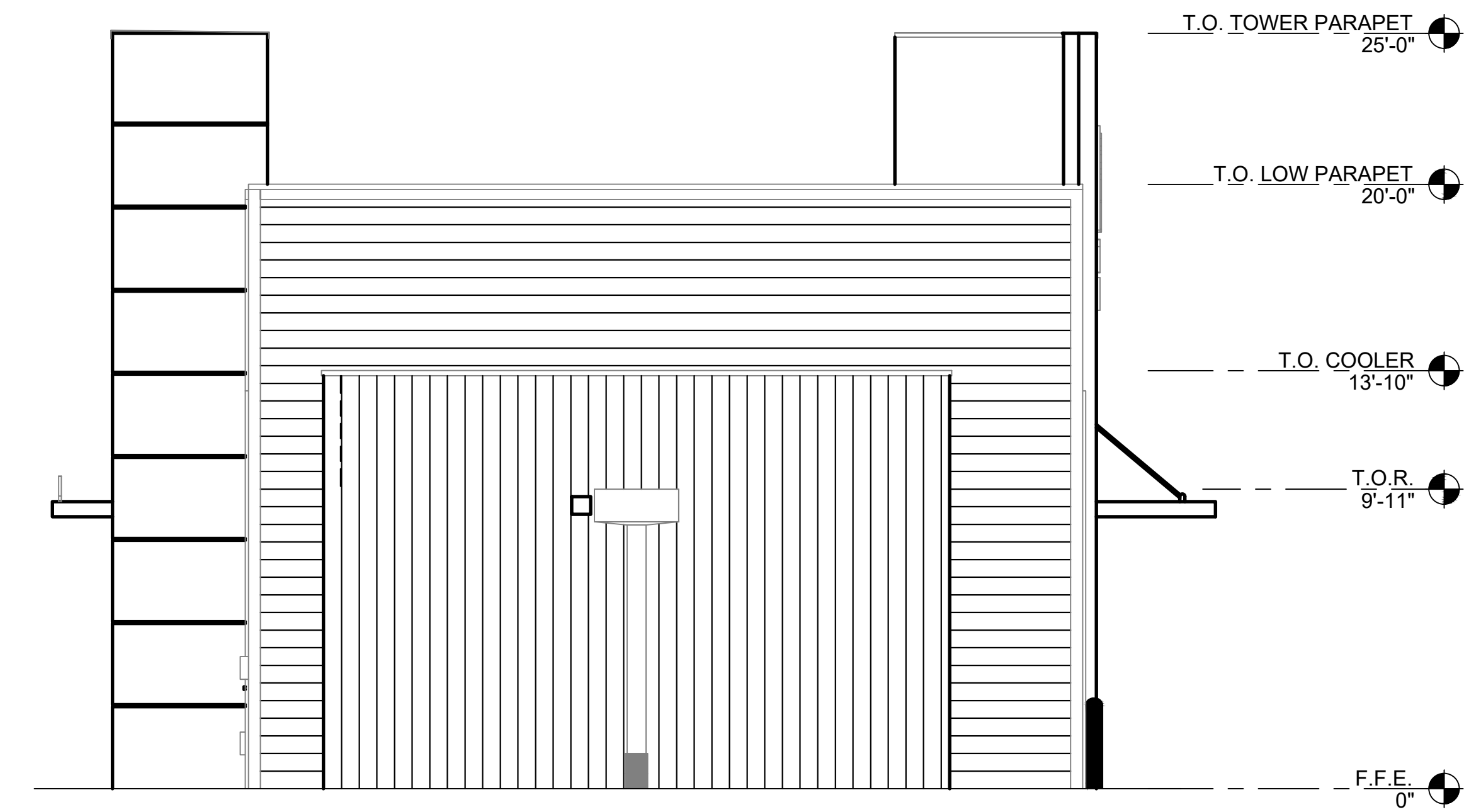


ENDEAVOR 1.0
 EXTERIOR
 ELEVATIONS

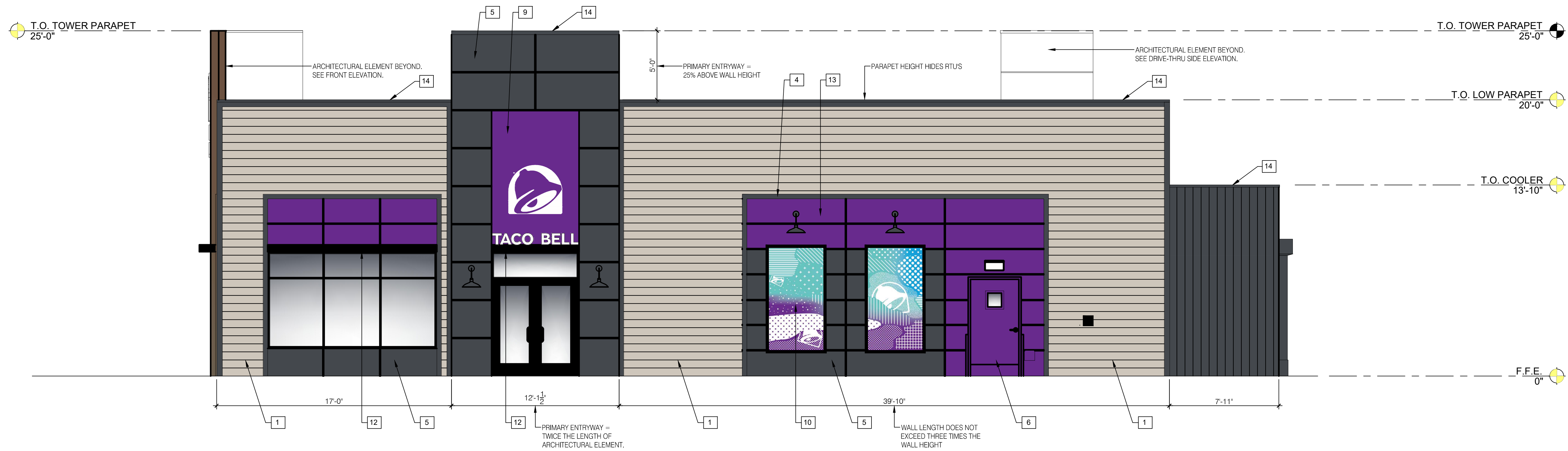
A4.1



FRONT ELEVATION 1/4" = 1'-0" 2



REAR ELEVATION 1/4" = 1'-0" 3



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
 A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W8300
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
 A-100 EXTERIOR LATEX SATIN.

NOT USED **I**

SIGNAGE **G**

GENERAL NOTES **F**

PAINT NOTES **E**

NOT USED **C**

NOT USED **B**

DATE	REMARKS

CONTRACT DATE: ###
 BUILDING TYPE: END. MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: ###
 STORE NUMBER: ###
 PA/PM: LS
 DRAWN BY.: WCS
 JOB NO.: 20756

TACO BELL
 BOURN STREET
 ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR ELEVATIONS

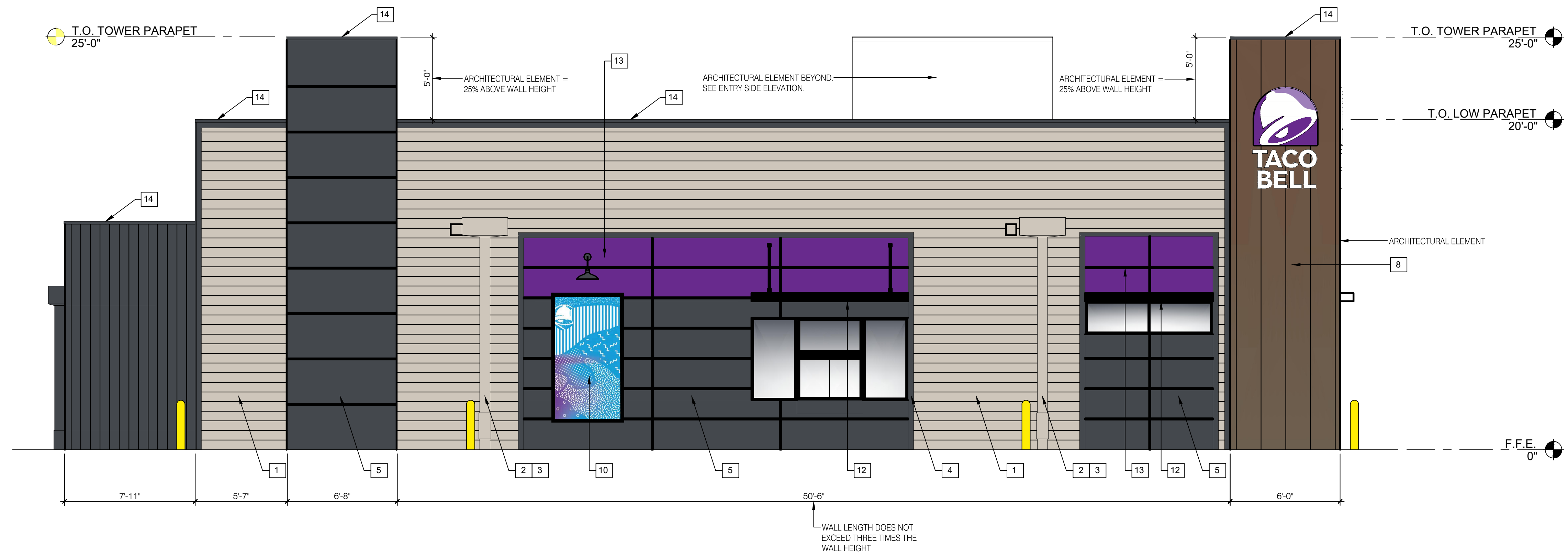
A4.0

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 14.1" X 8.25"W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
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11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE **H**

NOT USED **D**

LONNIE SMITH
 ARCHITECT
 phone 888.624.5726
 fax 888.624.5745
 519 Hampton Way, Suite 8
 Richmond, KY 40475



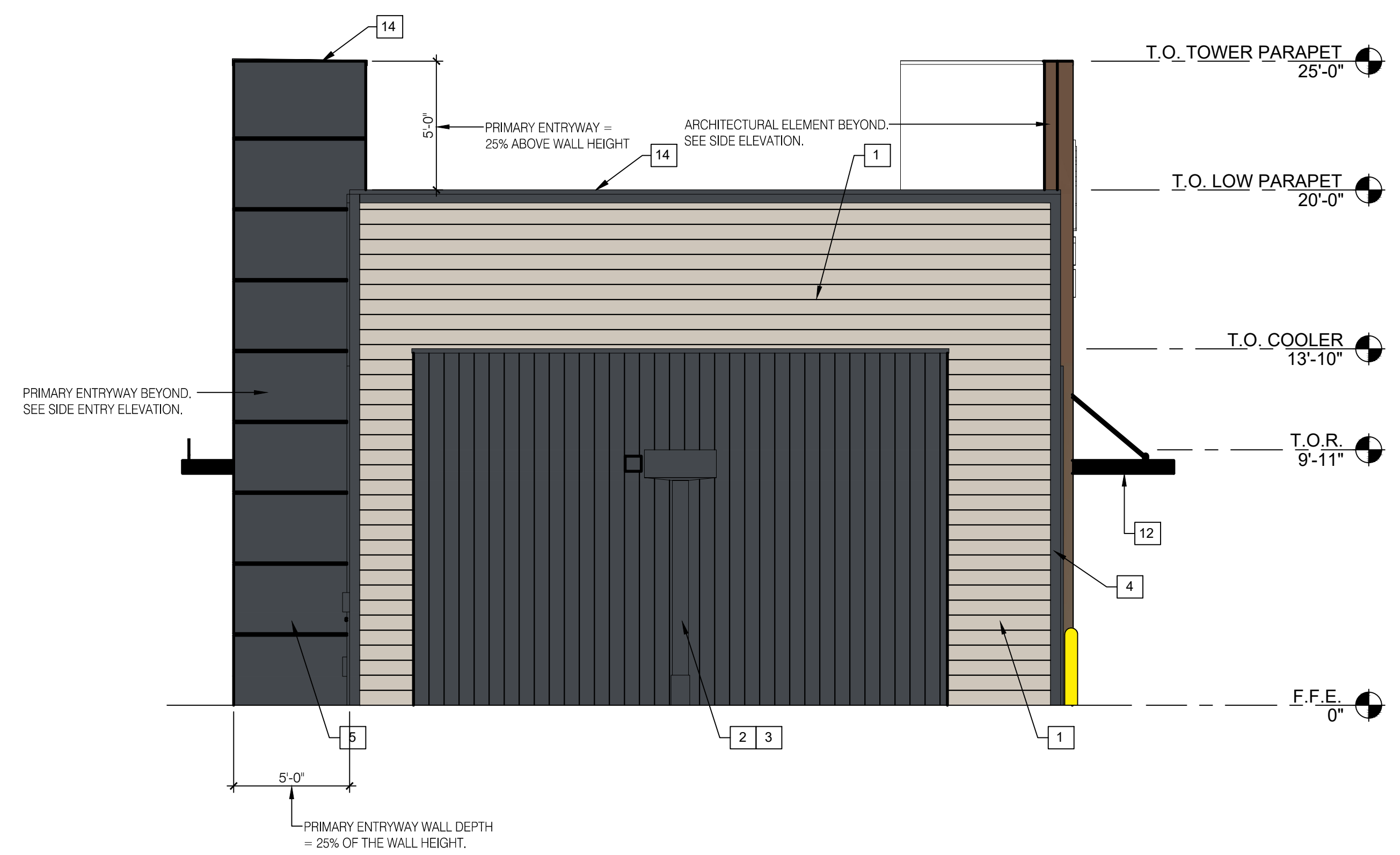
REAR ELEVATION 1/4" = 1'-0" 1

NOT USED

A



FRONT ELEVATION 1/4" = 1'-0" 2



REAR ELEVATION 1/4" = 1'-0" 3

DATE	REMARKS

CONTRACT DATE: ###
 BUILDING TYPE: END_MED40
 PLAN VERSION: MARCH 2020
 BRAND DESIGNER:
 SITE NUMBER: ###
 STORE NUMBER: ###
 PA/PM: LS
 DRAWN BY.: WCS
 JOB NO.: 20756

TACO BELL
 BOURN STREET
 ROCKWALL, TX



ENDEAVOR 1.0
 EXTERIOR
 ELEVATIONS

A4.1

LONNIE SMITH
 ARCHITECT
 phone 888.684.5785
 fax 888.624.3745
 519 Hampton Way, Suite 8
 Richmond, KY 40475

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, 2,000 SF OR MORE, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [SH-205], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- 3) The hours of operation for the *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* shall be limited to Monday through Sunday 7:00 AM to 10:00 PM.
- 4) A minimum of an eight (8) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 5) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall

be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map

Address: 902 & 906 S. Goliad Street

Legal Description: Lot 1, Block B, Jack Canup Addition

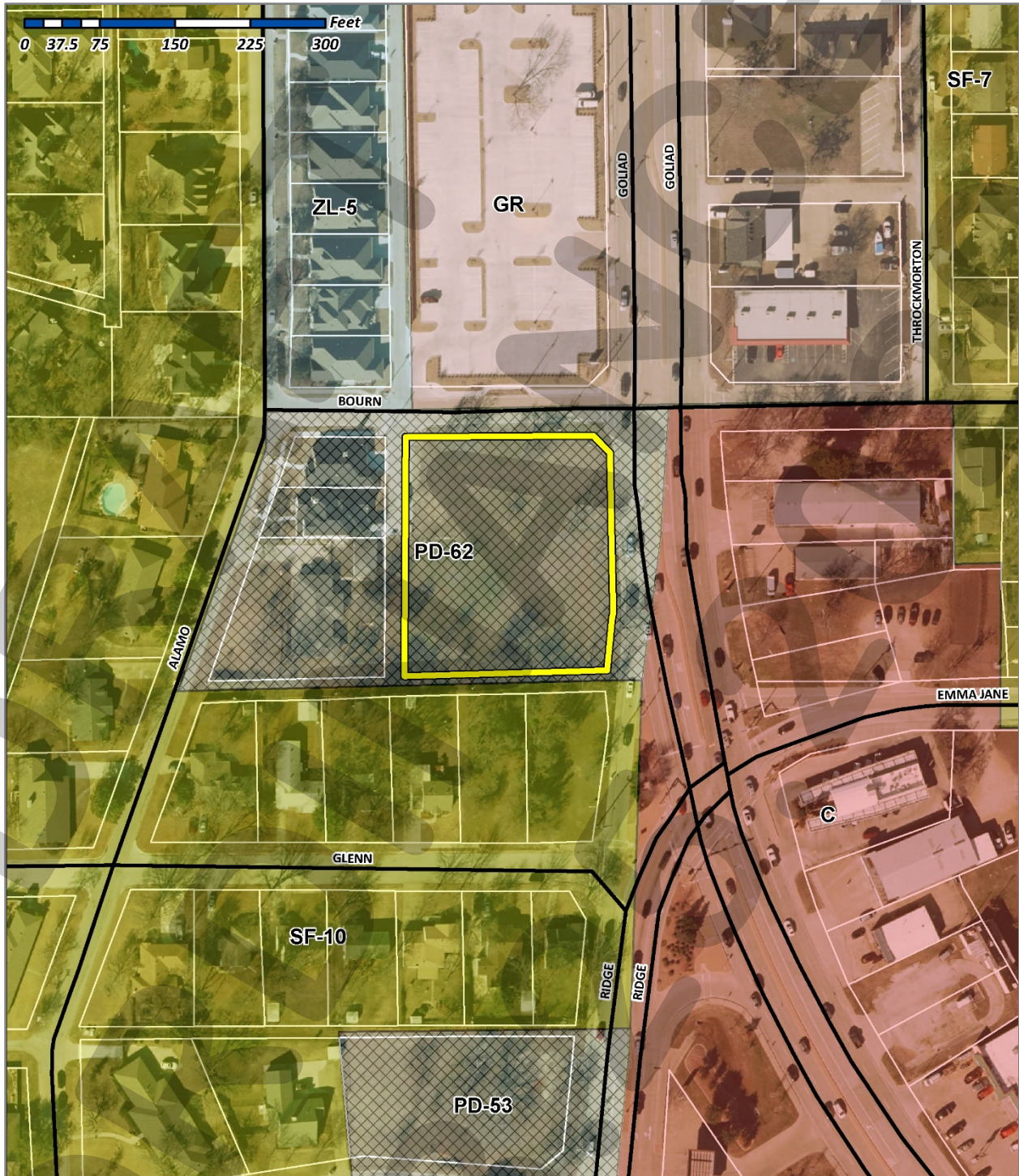


Exhibit 'B':
Concept Plan

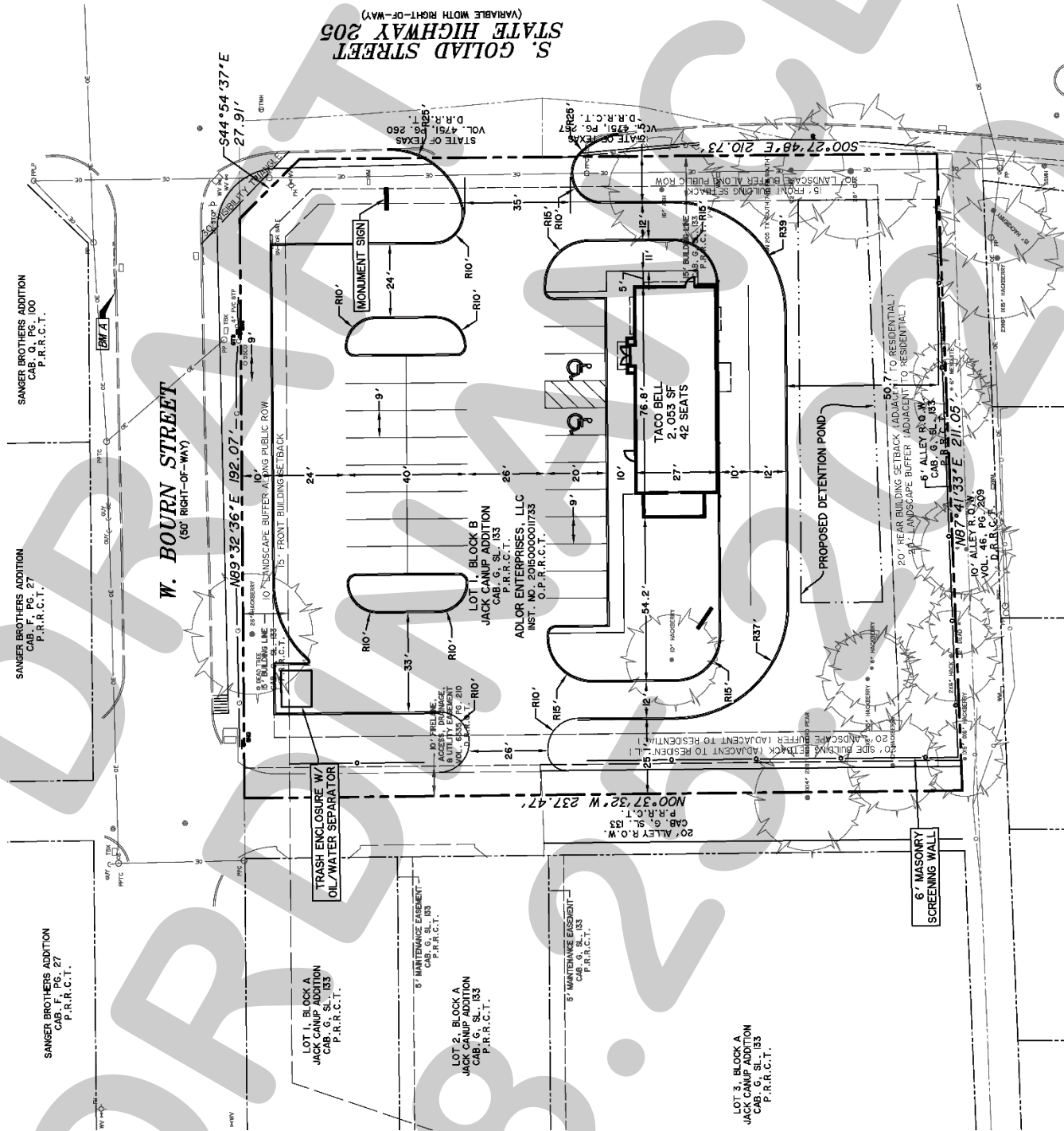
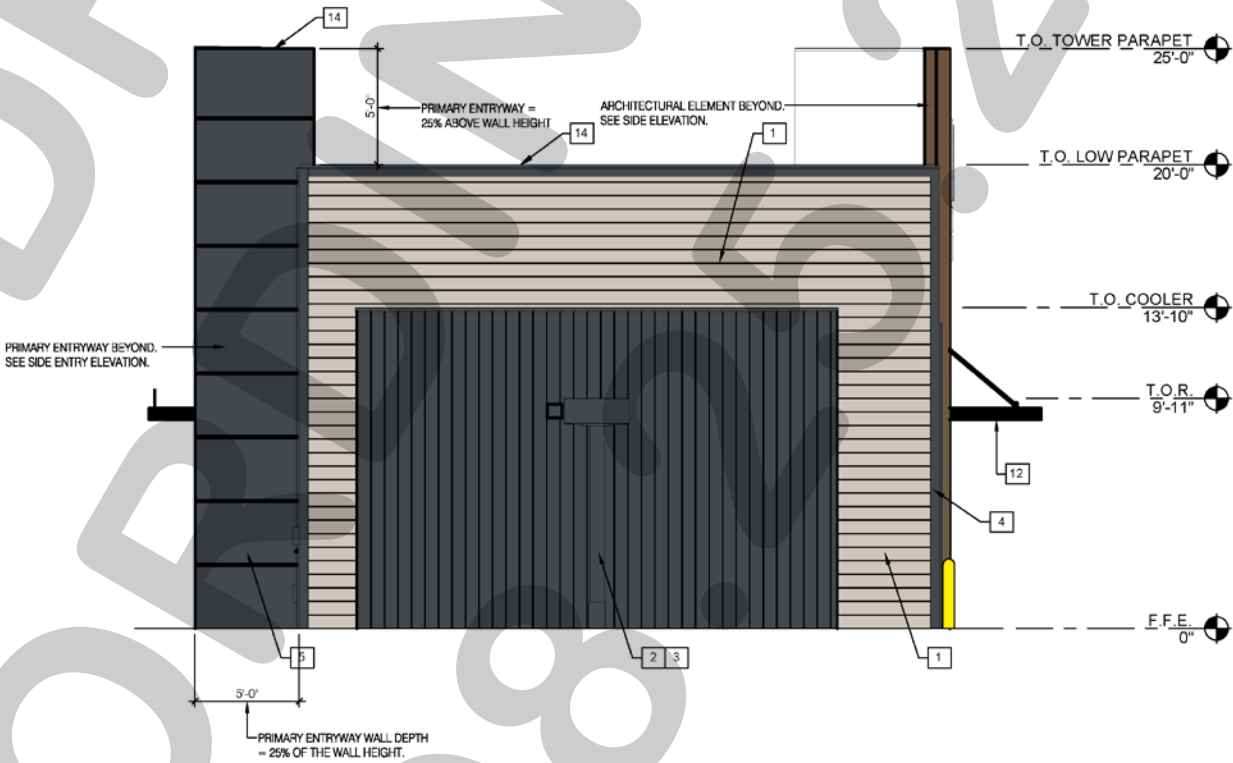


Exhibit 'C':
Concept Building Elevations



Exhibit 'C':
Concept Building Elevations





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 906 S. Goliad St

Subdivision Jack Canup Addition

Lot 1 Block B

General Location Southwest Corner of S. Goliad St & Bourn St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-62

Current Use Vacant

Proposed Zoning PD-62

Proposed Use Restaurant (>2,000sf) w/ drive-thru

Acreage 1.131

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ADLOR ENTERPRISES, LLC

Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKESHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 21697, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

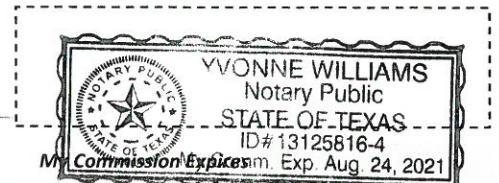
Given under my hand and seal of office on this the 8 day of 14, 20 20.

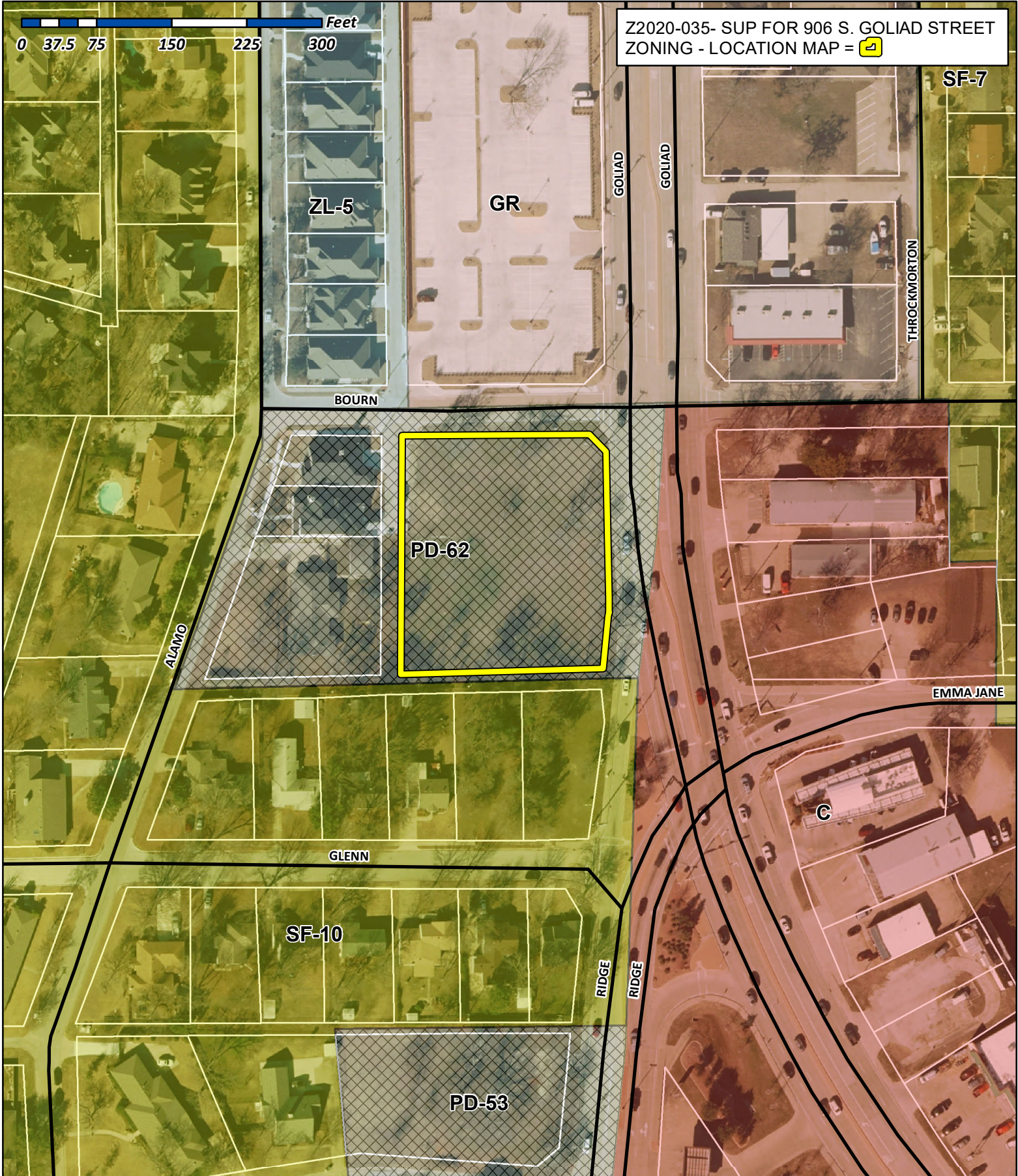
Owner's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]

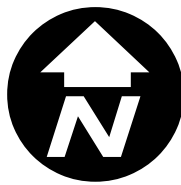




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

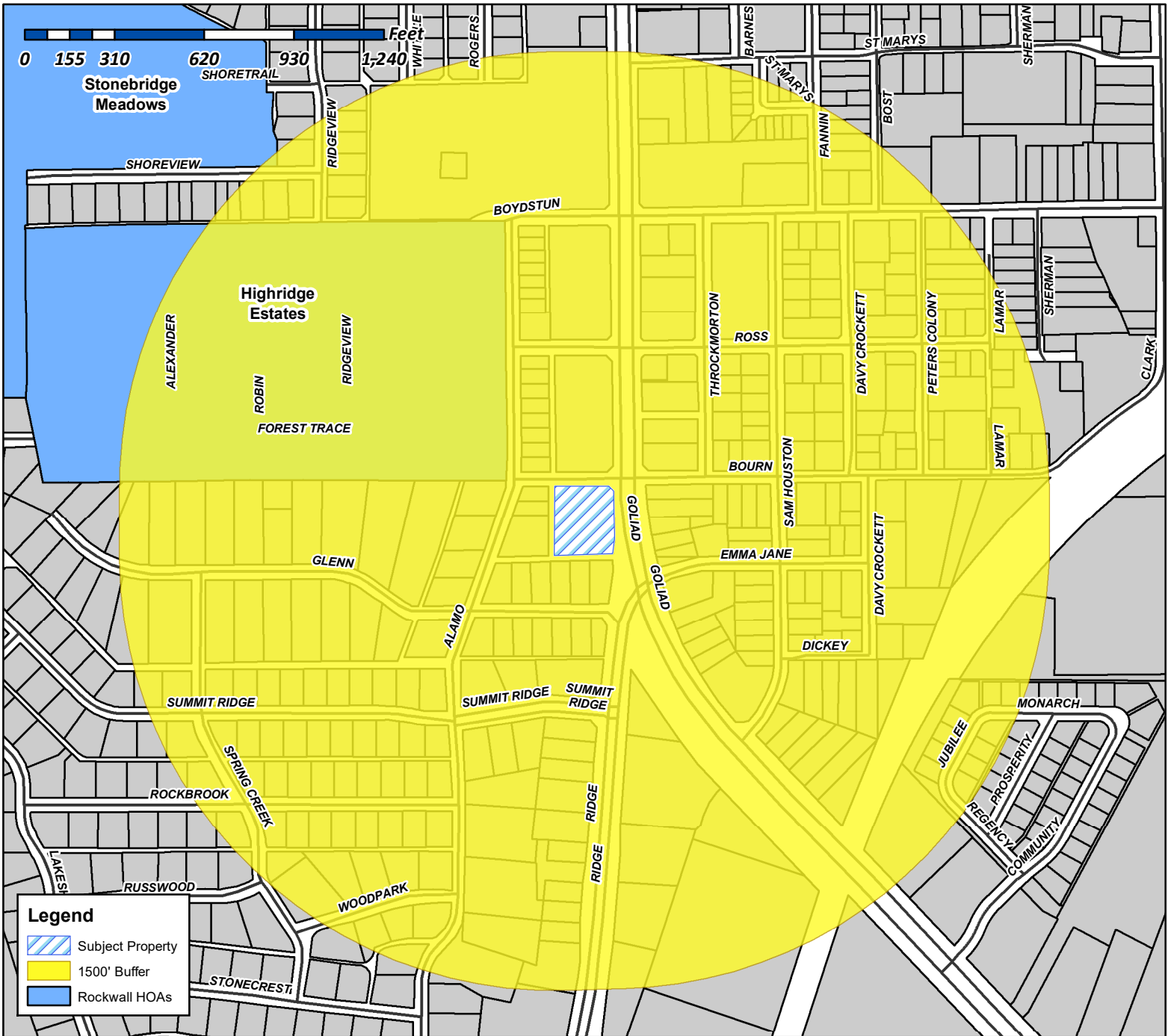




City of Rockwall

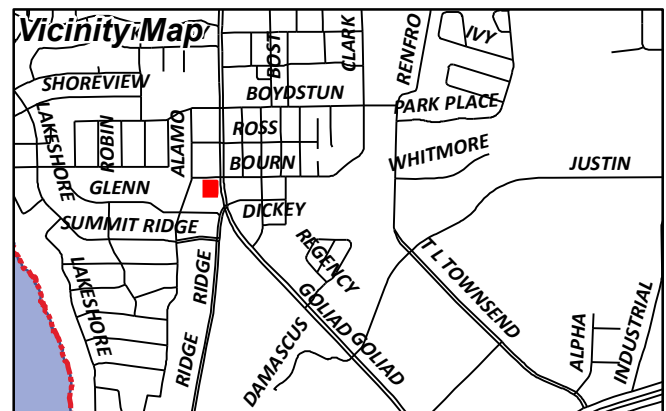
Planning & Zoning Department
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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program
Date: Thursday, September 3, 2020 9:07:30 AM
Attachments: [HOA Map \(08.14.2020\).pdf](#)
[Public Notice \(08.18.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-035 SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

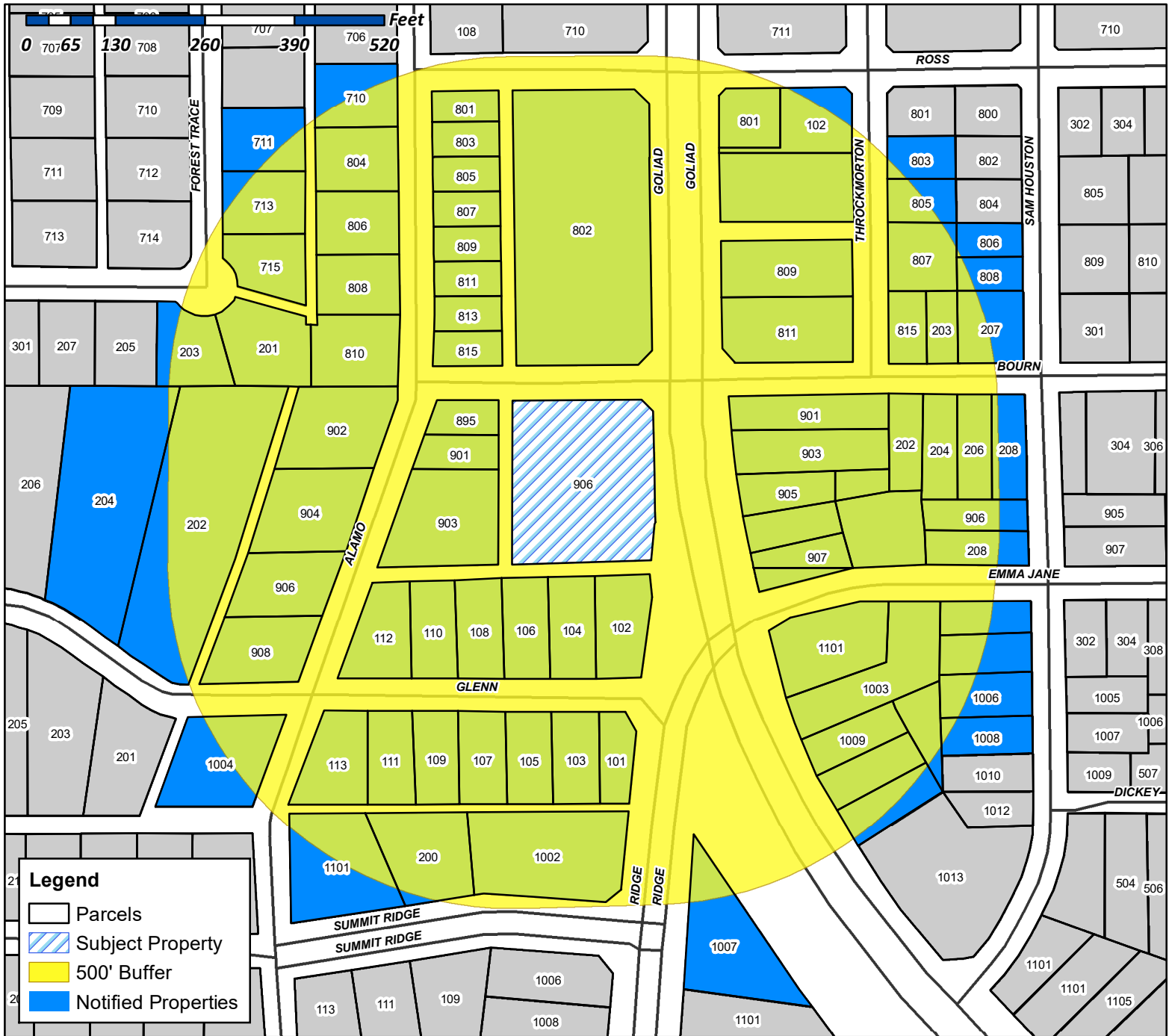
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

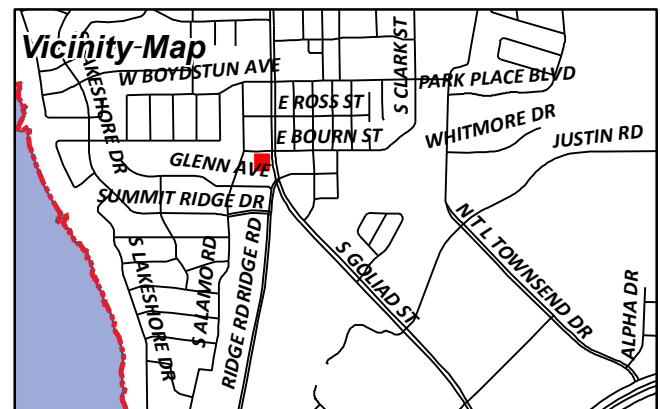


Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
 For Questions on this Case Call (972) 771-7745



NOTE: HIGHLIGHTED NAMES ARE THE NAMES OF PROPERTY OWNERS WHO PROVIDED OPPOSITION LETTERS

EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENN
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
102 GLENN
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVENUE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K
C/O SONIC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200 SUMMIT RIDGE
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
2002 GREENHILL DRIVE
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
208 EMMA JANEST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

JONES MICHAEL G
27 SHADY BROOK CIR
ABILENE, TX 79605

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA
710 S ALAMO RD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
7117 STEFANI DRIVE
DALLAS, TX 75225

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ALLEN FRANKIE MAE
80 THROCKMORTON
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

MERRIMAN R C ET UX
804 S ALAMO
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F
805 S ALAMO RD
ROCKWALL, TX 75087

ALLEN FRANKIE MAE
805 THROCKMORTON
ROCKWALL, TX 75087

CROSS WESLEY AND
MISTY THOMPSON
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807SALAMO
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
8306 LIGHTHOUSE DR
ROWLETT, TX 75089

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-035 restaurant at 906 S Goliad st

Please place a check mark on the appropriate line below: *

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Chris

Last Name *

Knox

Address *

109 Glenn ave

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

chrisknox@me.com

Phone Number

214-478-9802

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Gamez, Angelica

From: Chuck Scroggs <cscroggs@canddcommercial.com>
Sent: Monday, August 31, 2020 5:42 PM
To: Planning
Subject: Case No. Z2020-035

To- Rockwall Planning and Zoning

From- Charles Scroggs
813 S. Alamo
Rockwall Texas

Dear Mr. Ryan Miller:

I am very much opposed to granting a special use permit for the subject lot to be used as a Restaurant For the following reasons:

- 1] The land was never intended to be used as a restaurant. You have 8 Home owners that purchased and or built homes all the way up to \$450,000 dollars based on the cities zoning as a commercial office use.
- 2] A review of the Restaurants plans show that there are two entrances to the site proposed. One off of Goliad a state highway very congested with traffic and within 100 yards of a major intersection where cars are changing lanes to go down Ridge Road and down Hwy 205 . The second entrance is on the rear alley 20 feet from two residential houses . There will be a constant flow of lights into the homes.
- 3] There are families with children that play and walk in the alley behind these homes, cars exiting the property will be traveling the alley and therefore creating a risk of striking a child. Allies are not intended to be used forentrance or exit from a restaurant .
- 4] Residences normally purchase a home to enjoy their back yard without the noise of cars, restaurant patrons talking all hours of the night, the parking lot lights burning all of the night time hours, disturbing peace and sleeping of residents.
- 5] The light pollution is already a problem in a city and we do not need to add the bright lights and towering signage streaming into our homes.
- 6] Loitering is another risk that comes with a business of this type especially when home owners have a property backed up to a restaurant where people can see into the back yards where owners have valuables stored or see into the garages when the garage doors are up. This is inviting crime .

7] Trash and debris blowing from the restaurant onto the street , homeowners property and the church property.

8] This request to change the zoning or give a special use to is next door to the First Baptist Church of Rockwall's youth facility . This can potentially put our young children in contact with the wrong crowd of people. This is something that the Restaurant has no control over when it come to the clientele that visit the facility.

9] Property values will go down which is a major concern. Who will pay for the devaluation of the property, the city or the restaurant owners?

With all of this being said the City of Rockwall works for the citizens. As a tax payer I do not feel that granting this special use permit is in the best interest of the homeowners and tax payers. It is my request the the City Council deny the request.

Sincerely,

Charles Scroggs

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Gamez, Angelica

From: Dawn Scroggs <dawn@canddcommercial.com>
Sent: Monday, August 31, 2020 4:36 PM
To: Planning
Cc: Dawn Scroggs; JLLAP@schwab
Subject: Case No. Z2020-035

Attention: Ryan Miller

Homeowner 813 S. Alamo

In the above mentioned case for 906 S. Goliad Street I am very much opposed to this plan for reasons below:

Traffic which is already a problem in this area.
Light pollution
Noise in a residential area
Devaluation of our property
Nuisance to the neighborhood
Loitering in our alley
Loitering on the church parking lot directly behind our home.
Littering of streets, parking lot and alleys
Right of neighbors to a peaceful and quiet place to reside
Lack of privacy
Trash and debris on our streets, yards and alleys
Congestion on quiet streets due to forced traffic being routed for restaurant use.
Interference of church parking which is adjacent to entrance.
Inviting criminal activity due to restaurant being open into the late night hours of operation.

This is not a resident friendly business establishment and should not be permitted. The homeowners are established on all sides of this proposed site and want to remain in the peaceful and quiet neighborhood that it is. We do not need a drive through restaurant disrupting our way of life. This is the worst case scenario that a planning and zoning committee could propose. I cannot believe that this is even being considered for our quiet community in which I've lived since 1992.

This is outrageous.

Sincerely,



Dawn Scroggs

Vice President

C & D Commercial Services

p: 972.475.2271

a: 5030 Dexham Rd., Ste. 102, Rowlett, TX 75088

w: canddservicesinc.com e: Dawn@canddcommercial.com

Sweeping | Striping | Pressure Washing | Concrete | and More



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From: [Justin Scroggs](#)
To: [Planning](#)
Subject: Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad street
Date: Sunday, August 30, 2020 3:10:07 PM

OPPOSED

Justin Scroggs
1512 S Alamo Road
Rockwall TX

We are opposed to the Taco Bell being proposed at the above address for the following reasons.

1. **DENSITY.** There is a taco bell located in Rockwall less than 2.3 miles from this location. There is another Taco Bell in Rowlett located 4.1 miles away. We don't need another Taco Bell as there are already other Taco Bells and countless other fast food restaurants within a 5 minute drive of this location.
2. **TRAFFIC.** The proposed located is right where 205 and Ridge Road splits. This is already a congested area with many cars in the right-hand lane preparing to split off and many more merging into this lane from the center lane. It will be extremely difficult to pull out into this traffic and to turn left into this traffic. This will result in: A. an increase in car accidents, injuries and potentially fatalities, B. an increase in traffic. and C. the traffic situation will cause drivers to use S. Alamo (a residential street) as a cut through street to access this location. They will either have drive back to Boydston and use the red light to pull back out onto 205 or drive down to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they put their drive through exit onto a residential street - backing right up to peoples back yards.
3. **RESIDENTIAL AREA.** The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant.
4. **LATE OPERATING HOURS.** Taco bell is known for it's late operating hours - and being the last stop after night of partying. The other Taco Bell (two miles away) is open until 2AM. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.
5. **INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "[How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals](#)". There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.
6. **WHO ARE WE SERVING?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?
7. **INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind

will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses.

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant. Busy road, in a residential area in the heart of an established part of Rockwall. It seems very out of place when you consider where the rest of the fast food restaurants are located in Rockwall and where the vast majority of other Taco Bells are located in other parts of the DFW area. I don't see how an out of place fast food restaurant will make Rockwall a better place. It certainly will not make our neighborhood a better place.

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From: [LYNN RAMSEY](#)
To: [Planning](#)
Subject: Attn Ryan Miller
Date: Friday, August 21, 2020 3:45:38 PM

Re: Item (6) Z2020-035

Mr. Miller:

I live at 815 South Alamo Road on the corner side street that this proposed restaurant is asking to be constructed. My neighbors and I would be negatively impacted by having a drive through restaurant on this corner. Before I built my home I was told by the city that the properties facing South Goliad were only allowed to build minimal traffic commercial activities such as law offices, insurance agencies, etc. Please let me and my neighbors know how and when to voice our opposition to this proposed change in zoning.

Thank you,

Lynn Ramsey
940-224-5864
lramseykjl@aol.com

Sent from my iPhone

This email was scanned by Bitdefender

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

1. TRAFFIC
2. LONG HOURS OF OP.
3. LIGHTING
4. TRASH DUMPSTER

Name: **MIKE SHIELDS**
Address: **811 S. ALAMO RD.**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

De-Value Homes in the area
Aweful buffer property being that close to residential (Smell & trash Traffic

Name: Ryan Kelly, Lucy Kelly
Address: 808 S Alamo Rd Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Scott and Michelle McNary](#)
To: [Planning](#)
Subject: Zoning Change
Date: Friday, August 21, 2020 1:35:43 PM

Good afternoon!

We just received the zoning change notice in our mail a few minutes ago. Given that we only have until Monday to make our opinions known I felt it would be better to email rather than mail back the notice.

We live at 113 Glenn Ave

We are 100% AGAINST this change. It would back up on two sides to homes with yards. While I understand the "need" for progress in our town, we just don't want it in our neighborhood.

We already have traffic issues going up and down South Alamo when people decide to cut through our neighborhood. People drive fast and don't stop at stop signs.

Adding a restaurant to the edge of our neighborhood would increase traffic not to mention bring in other unwanted pests like rats and mice. Please please please do not allow this to pass. We're already flanked with Goliad traffic and noise, please don't add to it.

We absolutely adore our neighborhood and have no plans on leaving but if ever we had to, I feel that placing a restaurant on the edge of our neighborhood would decrease the desirability of being in our neighborhood and thus affect the value of our home.

Thank you for taking the time to consider how the residents of this neighborhood feel about this situation. I also hope you will take into consideration the lack of time people have to respond to this public notice and don't interpret the lack of response as a reflection of disinterest or being in favor of this zoning change. Many of our residents are older/elderly and two different homeowners (one on Glenn and one on S Alamo) just passed away THIS week...obviously you won't be hearing from them.

I apologize for the lengthiness of this email - we're just really opposed to this zoning change.

Thank you for your time.

Scott and Michelle McNary
113 Glenn Ave

This email was scanned by Bitdefender

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WIER & ASSOCIATES, INC.
ENGINEERS
SURVEYORS
LAND PLANNERS

August 14, 2020

City of Rockwall
Planning & Zoning Dept.
385 S. Goliad St
Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT
LOT 1, BLOCK B, JACK CANUP ADDITION
W&A# 20075**

PRINCIPALS
JOHN P. WIER, P.E., R.P.L.S.
ULYS LANE III, P.E., R.P.L.S., CFM
CARLO SILVESTRI, P.E.
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
PHILIP L. GRAHAM, P.E.
JAKE H. FEARS, P.E., LEED AP BD+C
RANDALL S. EARDLEY, P.E.

ASSOCIATES
TOBY W. RODGERS
CASEY D. YORK
PRIYA N. ACHARYA, P.E.
TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

ETX Bell Properties, LLC intends to develop Lot 1, Block B of the Jack Canup Addition. The subject tract is a 1.131-acre parcel of land, currently zoned as PD-62, and situated within the J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas. Said property is generally located at the southwest corner of Goliad St (SH-205) and W. Bourn St and is currently addressed as 906 S. Goliad St.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 2,053-sf restaurant with drive-thru. This development requires a Specific Use Permit due to being a restaurant, more than 2,000-sf, with drive-thru facilities.

We appreciate your acceptance of our Specific Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this SUP. Please contact the developer, Toby Gowin with ETX Bell Properties, LLC, by phone at 903-589-1671 or via email at tgowin@smi-tex.com or the developer's engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

Casey Orr, P.E.
Project Manager

2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006-7440
(817) 467-7700
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
HENDERSON, TEXAS 75654-3559
(903) 722-9030
TOLL FREE FAX (844) 325-0445



WIER & ASSOCIATES, INC.
 ENGINEERS
 SURVEYORS
 LAND PLANNERS

September 1, 2020

City of Rockwall
 Planning & Development Services
 385 S. Goliad Street Rockwall, TX 75087
 Attn: Angelica Gamez

PRINCIPALS
 JOHN P. WIER, P.E., R.P.L.S.
 ULYS LANE III, P.E., R.P.L.S., CFM
 CARLO SILVESTRI, P.E.
 GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
 PHILIP L. GRAHAM, P.E.
 JAKE H. FEARS, P.E., LEED AP BD+C
 RANDALL S. EARDLEY, P.E.

ASSOCIATES
 TOBY W. RODGERS
 CASEY D. YORK
 PRIYA ACHARYA, P.E.

RE: WA # 20075 – 906 S GOLIAD ST, ROCKWALL, TX 75087 (Z2020-035)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

Land Use Conditional Standards: applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

Ingress/Egress Locations: applicant is requesting a waiver from the required driveway spacing for the proposed driveway on Bourn St. In an effort to prevent traffic from accessing the site via the alley, a proposed curb cut is located 102' from the Goliad St face-of-curb.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

Casey Orr, P.E.

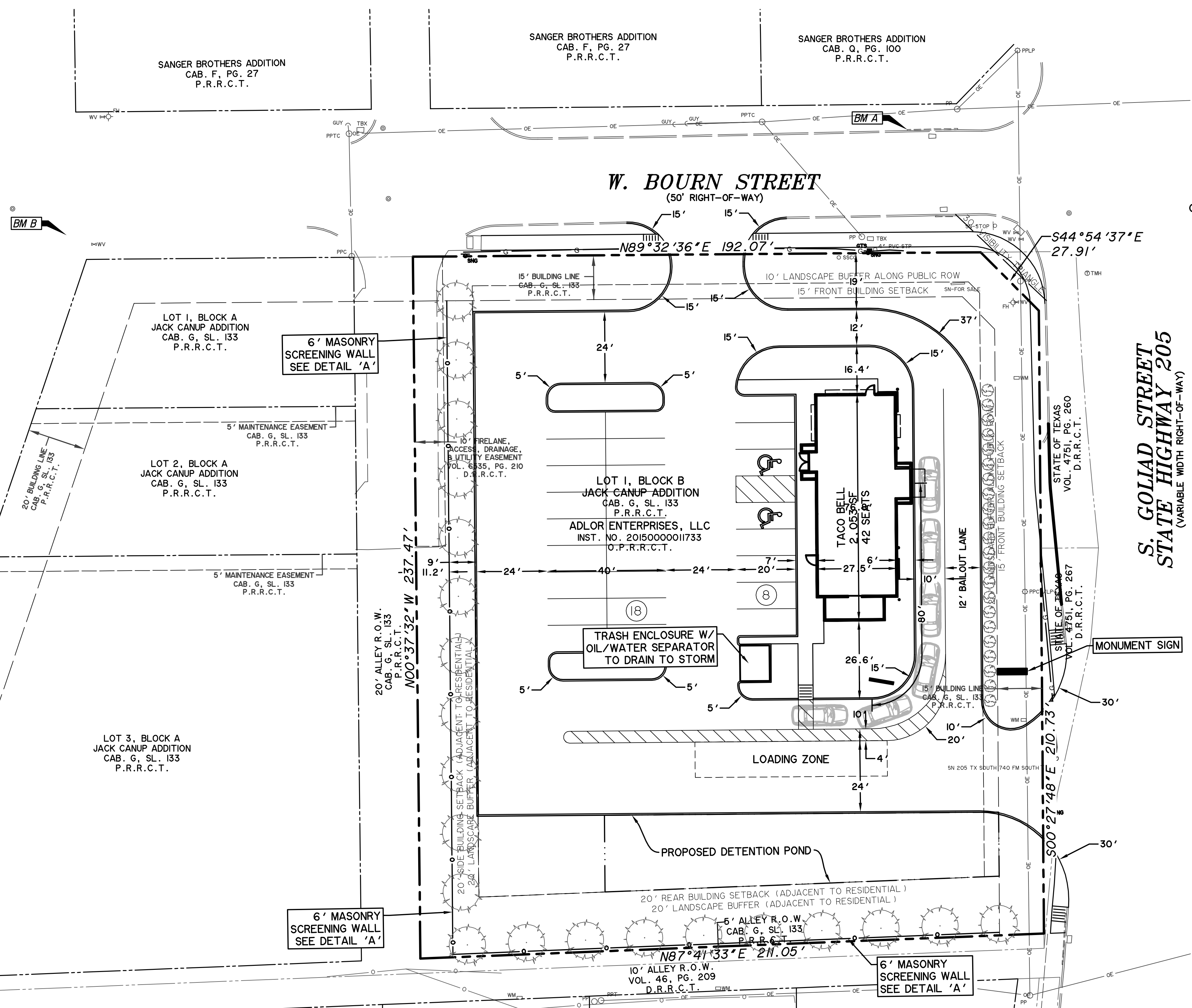
2201 E. LAMAR BLVD., SUITE 200E
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WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
 HENDERSON, TEXAS 75654-3559
 (903) 722-9030
 TOLL FREE FAX (844) 325-0445

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

PRINTED: 9/1/2020 5TB FILE: WIER-PAVING-STB LAST SAVED: 9/1/2020 11:34 AM SAVED BY: CASEYO FILE: SUP SITE PLAN-20075.DWG

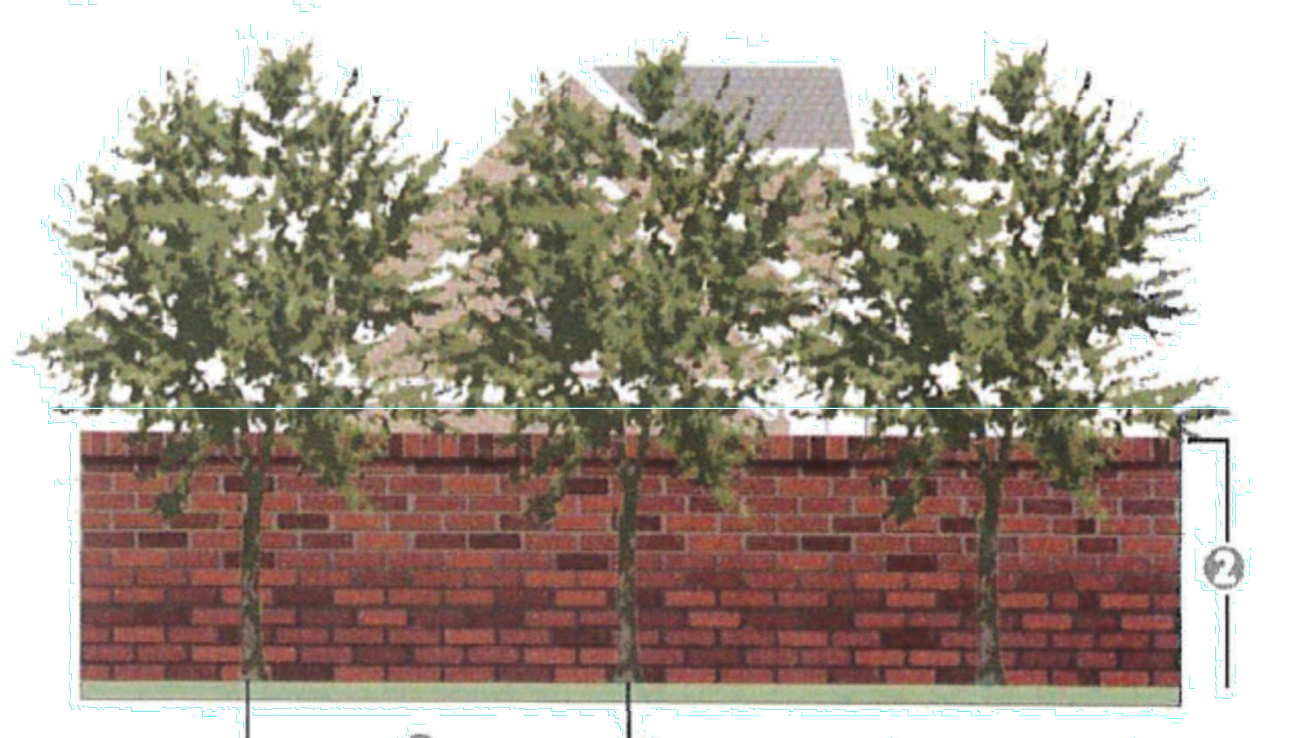


SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF: 1/100 SF = 21
TOTAL PARKING PROVIDED	26
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

1. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

FIGURE 7: MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



1: CANOPY TREES-20 FOOT ON CENTER 2: SIX (6)FOOT MASONRY WALL

DETAIL 'A'
REFER TO ARCHITECT

**SUP SITE PLAN
LOT 1, BLOCK B
JACK CANUP ADDITION**

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, LLC, AS RECORDED IN INSTRUMENT NUMBER 2015000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

September 1, 2020

OWNER / DEVELOPER
ETX BELL PROPERTIES, LLC
101 EAST CHEROKEE
JACKSONVILLE, TEXAS 75766
CONTACT: TOBY GOWIN
PH: (903) 589-1671
EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
121 S. MAIN ST.
HENDERSON, TEXAS 75654
CONTACT: CASEY ORR, P.E.
PH: (903) 722-9030
FAX: (844) 325-0445

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO 1817 1467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

CASE No.: Z2020-035

SHEET 1 OF 1

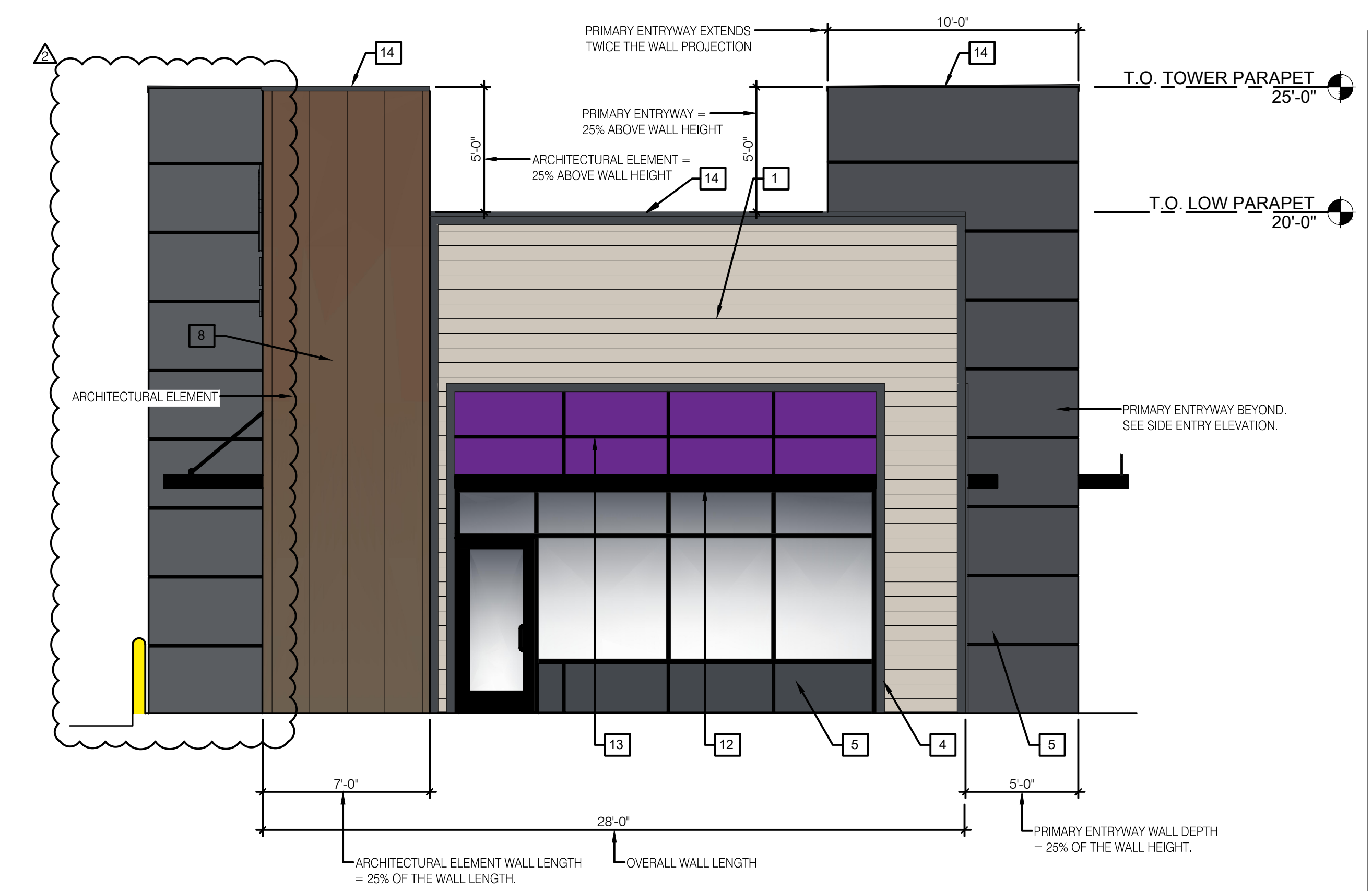
DATE: 9/1/2020
W.A. No. 20075

**PRELIMINARY
FOR REVIEW PURPOSES ONLY**
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

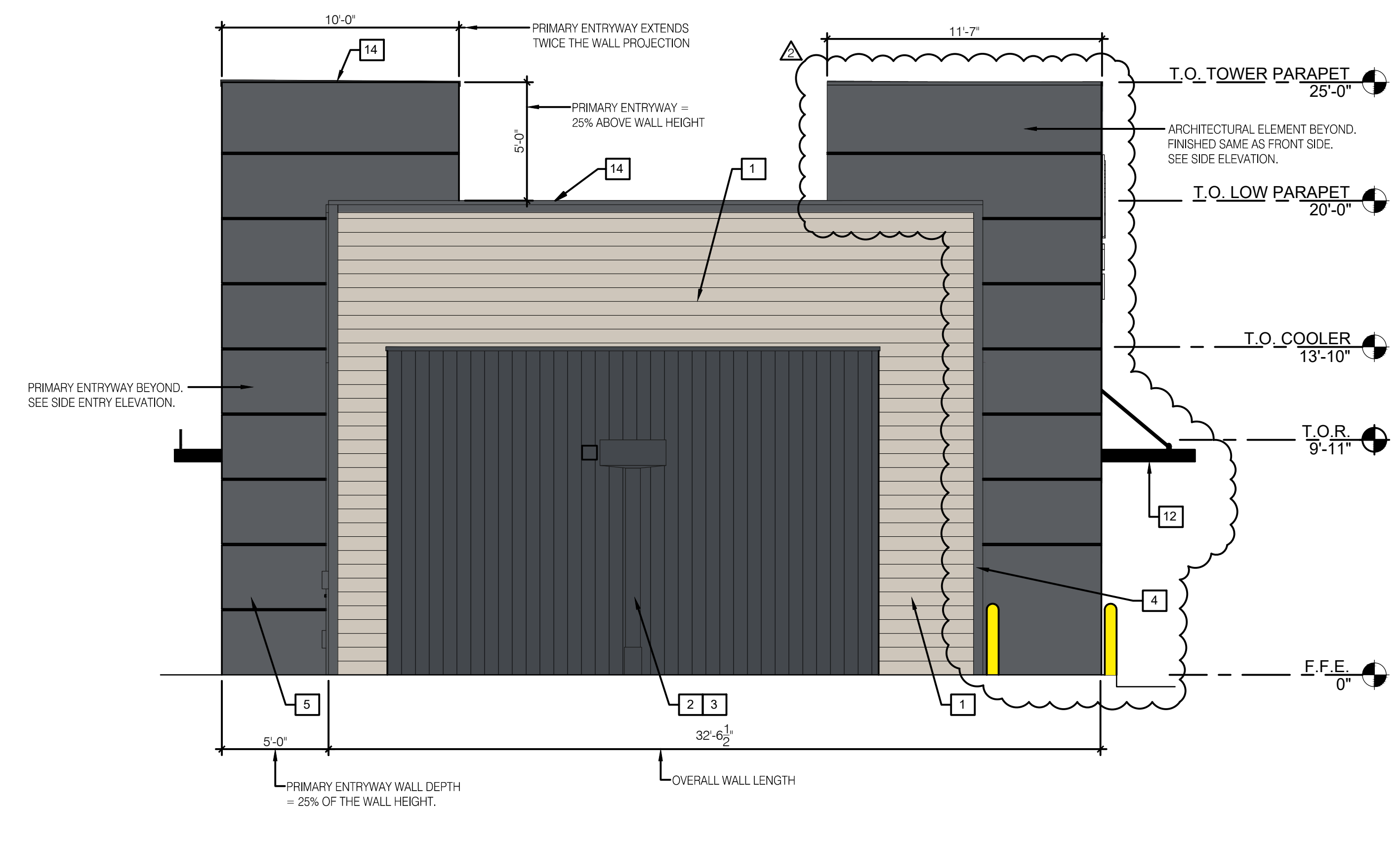


REAR ELEVATION 1/4" = 1'-0" **1**

NOT USED **A**



FRONT ELEVATION 1/4" = 1'-0" **2**



REAR ELEVATION 1/4" = 1'-0" **3**

LONNIE SMITH
ARCHITECT
phone 858.624.3745
fax 858.624.3745
519 Hampton Way, Suite 8
Richmond, KY 40475

DATE	REMARKS
1 08-26-20	REV.
2 08-27-20	REV.

CONTRACT DATE: ###
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL
BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR ELEVATIONS

A4.1



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

NOT USED **I**

SIGNAGE **G**

GENERAL NOTES **F**

PAINT NOTES **E**

NOT USED **C**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144"L X 8.25"W; 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1 1/2" X 5'	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	-	-	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE **H**

NOT USED **D**

DATE	REMARKS
08-26-20	REV.
08-27-20	REV.

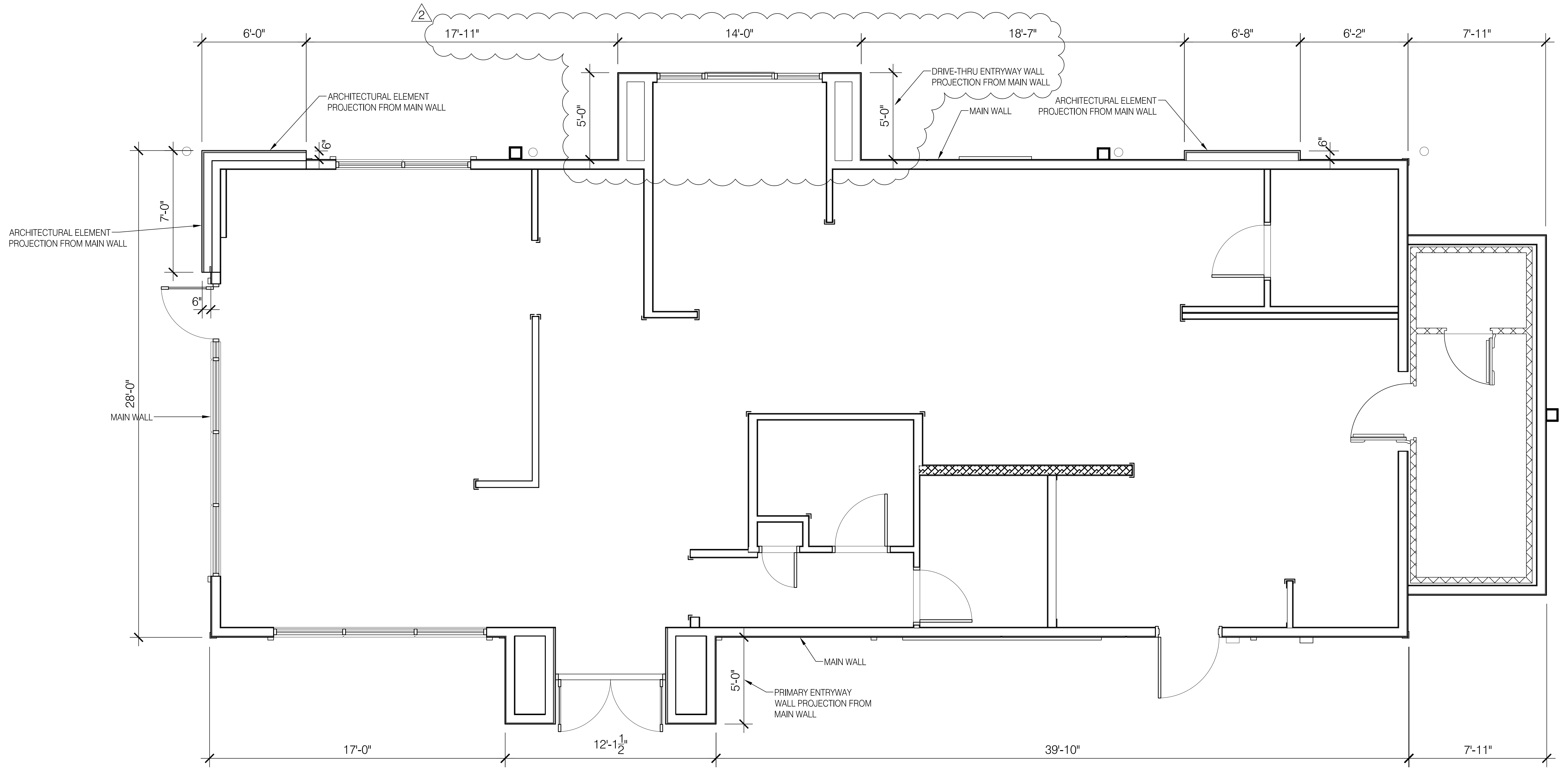
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BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL
BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.0



Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- ~~3) The hours of operation for the *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* shall be limited to Monday through Sunday 7:00 AM to 10:00 PM.~~
- 4) A minimum of an eight (8) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 5) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, 2,000 SF OR MORE, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [SH-205], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- 3) A minimum of a six (6) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 4) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map

Address: 902 & 906 S. Goliad Street

Legal Description: Lot 1, Block B, Jack Canup Addition

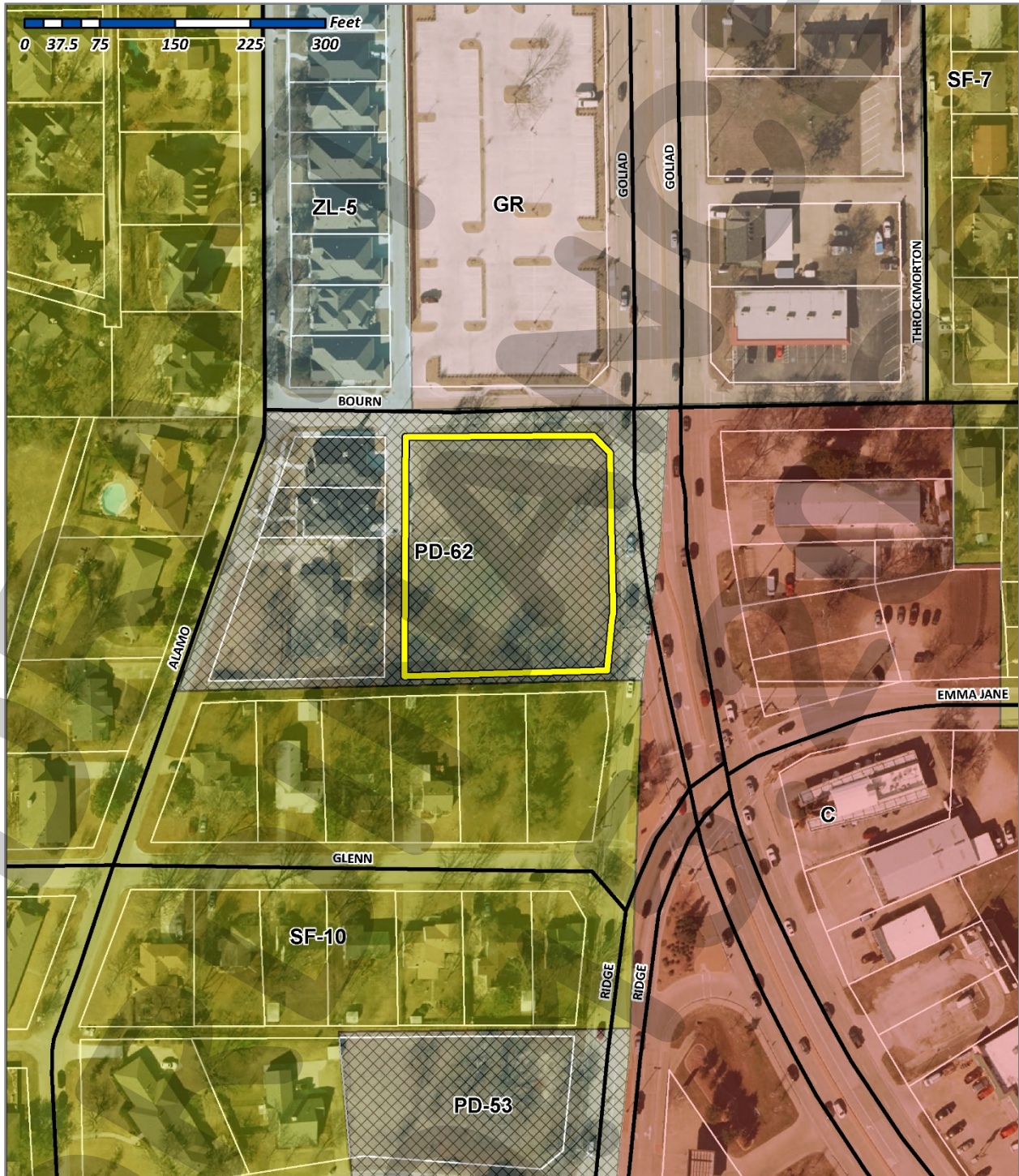


Exhibit 'B':
Concept Plan

SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,256 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW) : 15' SIDE (ALONG RESIDENTIAL) : 20' REAR (ALONG RESIDENTIAL) : 20'
PARKING REQ'D	2,053 SF / 100 SF = 21
TOTAL PARKING PROVIDED	26
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB RADII ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 4. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

1. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

FIGURE 7. MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



1. CANOPY TREES-20 FOOT ON CENTER
 2. SIX (6) FOOT MASONRY WALL
 REFER TO ARCHITECT DETAIL 'A'

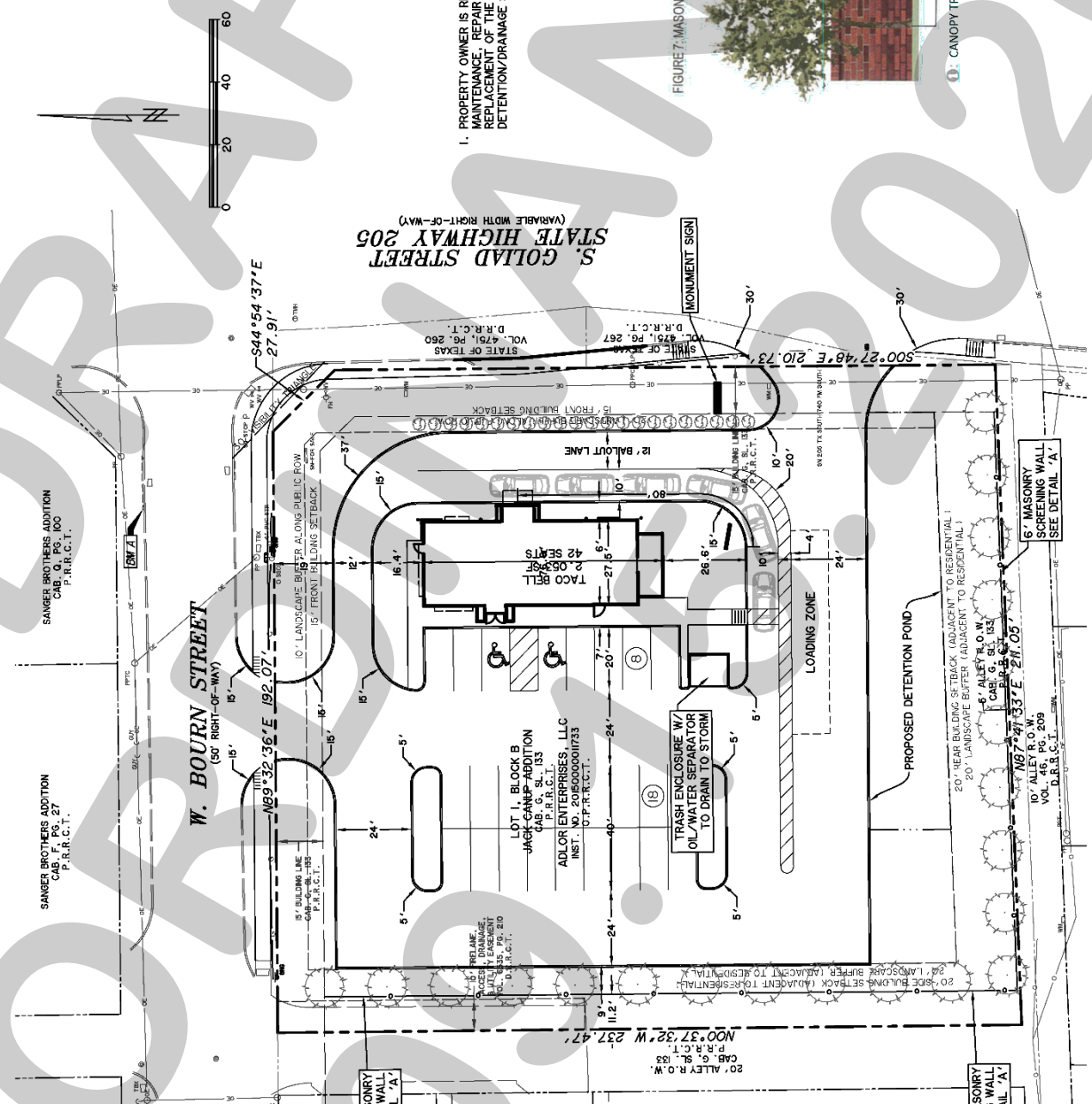
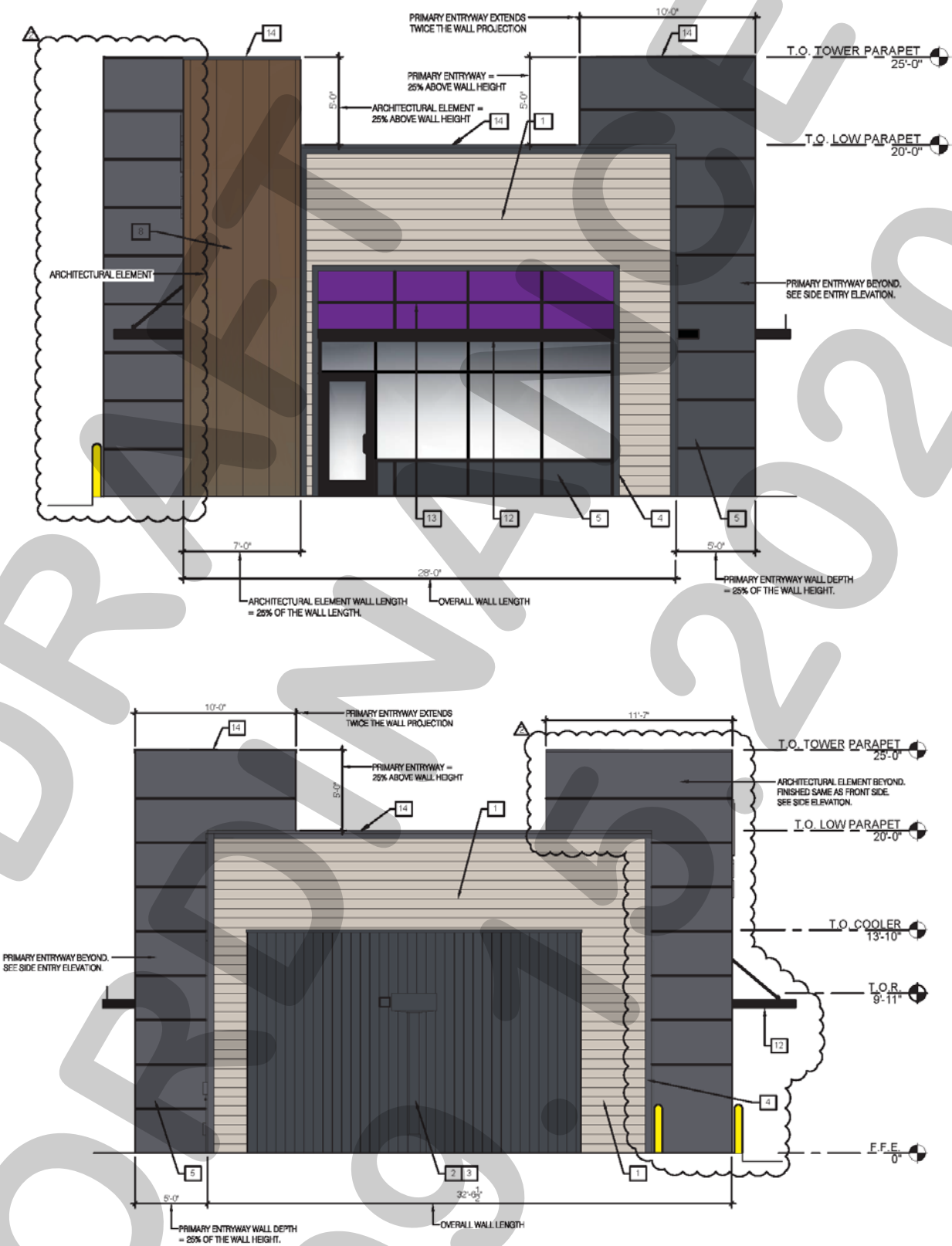


Exhibit 'C': Concept Building Elevations





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: September 21, 2020
APPLICANT: Allen Anderson, *Adlor Enterprises, LLC*
CASE NUMBER: Z2020-035; *Specific Use Permit for a Restaurant, 2,000 SF or More, with a Drive-Through at 902 & 906 S. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was annexed prior to 1934 based on the August 25, 1934 Sanborn Maps. According to the January 3, 1972 zoning map, the subject property was zoned Single-Family 2 (SF-2) District. At some point between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 10 (SF-10) District according to the 1983 zoning map. The subject property retained the Single-Family 10 (SF-10) District zoning designation until September 6, 2005 when the City Council approved Planned Development District 62 (PD-62) by adopting *Ordinance No. 05-42 [Case No. Z2005-031]*. This Planned Development District re-designated the subject property for General Retail (GR) District land uses. In addition, the Planned Development District also re-designated the 0.7329-acre tract of land directly west of the subject property for Zero Lot Line (ZL-5) District land uses. At the time of the zoning change, situated on the 0.7329-acre tract of land was an existing 2,773 SF single-family home that was constructed in 1980. This tract of land, along with the subject property, were platted into Lots 1-3, Block A (*i.e. the 0.7329-acre tract of land*) and Lot 1, Block B (*i.e. the subject property*), Jack Canup Addition (*Case No. P2006-040*), which was filed with Rockwall County on April 11, 2007. The two (2) undeveloped lots west of the subject property (*i.e. Lots 1 & 2, Block A*) were developed with single-family homes in 2016. The subject property was vacant at the time the area was rezoned to Planned Development District 62 (PD-62), and has remained vacant since.

PURPOSE

The applicant -- *Allen Anderson* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with a Drive-Through/Drive-In* to allow the development of a restaurant (*i.e. Taco Bell*) on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 902 & 906 S. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W, Bourn Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway is a 1.8046-acre parcel of land (*i.e. Lot 14, Block M, Sanger Addition*) that serves as an overflow parking lot for the First Baptist Church of Rockwall. The parking lot is zoned General Retail (GR) District. West of this land use, and northwest of the subject property, are eight (8) single-family homes (*i.e. Lots 6-13, Block M, Sanger Addition*) that are zoned Zero Lot Line (ZL-5) District.

South: Directly south of the subject property is a 15-foot undeveloped alleyway. Beyond this are 13 single-family residential lots (*i.e. Lots 1-6, Block 1 and Lots 1-7, Block 2, L&W Addition*) with 12 single-family homes situated on them. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the beginning of the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split, where a portion of S. Goliad Street proceeds south and a portion of the street splits and turns into Ridge Road. Ridge Road is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) and S. Goliad Street is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. Lots 1-5, Block A, Canup Addition*) that have two (2) buildings situated on them (*i.e. Mattress Depot and Rockwall Floor Covering*). These five (5) parcels of land are zoned Commercial (C) District.

West: Directly west of the subject property is a 20-foot alleyway that is partially developed. Beyond this are three (3) single-family, residential lots (*i.e. Lots 1-3, Block A, Jack Canup Addition*) with three (3) single-family homes situated on them. These properties are zoned Planned Development District 62 (PD-62) for Zero Lot Line (ZL-5) District land uses. Beyond these parcels of land is S. Alamo Street, which is designated as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family residential lots (*i.e. Lots 1-4, Block A and Lots 1-2, Block B, John Spong Subdivision #1*) with five (5) single-family homes situated on them. These lots are followed by the Lake Meadows Subdivision, which consists of 26 residential lots that were established in 1968. All of these properties are zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a 2,053 SF restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented so that the drive-through and *bailout* lanes will be adjacent to S. Goliad Street. The *food delivery/payment window* will also be located adjacent S. Goliad Street, with the *restaurant ordering board* (*i.e. the point of order*) being oriented toward the southern property line. It should be noted that the *restaurant ordering board* is ~101-feet from the closest residential property line to the south, and ~173-feet from the closest residential property line to the west. The concept plan also depicts five (5) vehicles being able to be cued from the *restaurant ordering board* to the *food delivery/payment window*, with one (1) vehicle being able to be cued behind the car at the *restaurant ordering board*. On the southside of the drive-through lane -- *in close proximity to the restaurant ordering board* -- is the loading zone, which is located ~72-feet from the closest residential property line to the south and ~114-feet from the closest residential property line to the west.

Ingress and egress for the property will be provided via a driveway off of S. Goliad Street and a driveway off of W. Bourn Street. Staff should note that the subject property currently has a driveway off of S. Goliad Street that is located in approximately the center of the subject property. The concept plan shows this driveway being moved further south on the subject property closer to the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split. The parking requirement for a *Full-Service Restaurant* (*i.e. a restaurant that provides indoor ordering, seating and dining*) is one (1) parking space per 100 SF of floor area. In this case, the parking requirement for the proposed restaurant would be 21 parking spaces. The concept plan shows the provision of 26 parking spaces and is over parked by four (4) spaces per the parking requirements. Along the southern and western property lines the applicant is proposing to construct a six (6) foot masonry wall with canopy trees being planted on 20-foot centers. The concept plan also shows a shrub row being provided adjacent to S. Goliad Street.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant with 2,000 SF or More with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of requiring a Specific Use Permit (SUP) for this land use in a General Retail (GR) District is tied to the fact that this zoning designation is typically located directly adjacent to or in close proximity to single-family residentially zoned districts. According to the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide limited retail and service uses for one (1) or more neighborhoods ... [i]f is not a major commercial/retail district and should try to avoid intensive commercial land uses that carry large volumes of retail traffic." Based on the potential

ability of the *Restaurant with 2,000 SF or More with a Drive-Through or Drive-In* land use to generate higher traffic volumes, this land use was identified as needing discretionary oversight from the Planning and Zoning Commission and City Council. More simply stated, this land use may not be appropriate on all properties zoned General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements and provides shrubs along S. Goliad Street to help impair the visibility of headlights; however, the proposed concept plan shows the business making use of W. Bourn Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. This non-conformity would need to be considered as part of this request. Staff should also point out that additional landscaping may need to be provided at the corner of S. Goliad Street and W. Bourn Street to further impair the visibility of headlights on to W. Bourn Street. This can be determined on the *Landscape Plan* submittal with the *Site Plan*, and this requirement has been added to the operational conditions in the attached draft ordinance.

According to the *Residential Adjacency Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he residential adjacency standards shall apply when a use is proposed for a non-residential building or site that is adjacent to a residential district, and both of the following conditions apply: (a) An existing or proposed building, structure, or device on the lot is within 150-feet of a residential district boundary ... (b) One or more of the following uses are proposed: (2) Restaurants, including accessory outdoor seating, with drive-in or drive-through facilities." In this case, the subject property is directly adjacent to residentially zoned and used property on the southern and western boundaries. In addition, the building is 124-feet from the residentially zoned and used property to the south, and the *restaurant ordering board -- which is defined as an individual service speaker and falls under devices --* is 101-feet from the residentially zoned and used property to the south. Based on this, the following *Residential Adjacency Standards* would apply:

- (1) Noise. Any use containing individual service speakers shall not be permitted within 150-feet of any residential district unless the speaker is appropriately screened and shall meet the standards established in Article IV, *Noise*, of Chapter 16, *Environment*, of the Municipal Code of Ordinances. The Planning and Zoning Commission may require wing walls, landscape screens, changes in building orientation, and/or other design elements to screen and minimize the impact of the individual service speakers.

In this case, it may be prudent -- *if the City Council chooses to approve the request* -- to require the applicant to add additional landscape screening directly south of *restaurant ordering board*; however, requiring this would be a discretionary decision. Staff has added this as a condition of approval for the consideration of the City Council.

According to the City's *Engineering Standards of Design Manual*, the driveway along S. Goliad Street does not meet the minimum 200-foot spacing requirement; however, as previously stated the subject property currently has an existing driveway that is located in approximately the center of the eastern property line. The applicant's plan shows this driveway being widened and moved further south toward the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split. The total distance from the intersection of W. Bourn Street and S. Goliad Street [*SH-205*] and the new driveway would be 175-feet, and ~220-feet from the intersection of Glenn Avenue and Ridge Road [*FM-740*]. Staff should note that the driveway location does not meet the Texas Department of Transportation's (TXDOT's) requirements, which are 425-feet from any existing drive location. This will need to be appealed to TXDOT for approval of a variance, which they can issue at their discretion through the civil engineering process.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District. The submitted building elevations will be subject to review by the Architectural Review Board (ARB) at the time of site plan; however, the elevations are being tied down in the draft ordinance to ensure that no major changes will be made if the City Council chooses to approve the applicant's request.

STAFF ANALYSIS

When this request was originally reviewed, staff recommended to the applicant that they limit the hours of operation to 7:00 AM to 10:00 PM due to the close proximity of the restaurant to residential properties. This has typically been done in areas where a higher intensity commercial use (e.g. a fast food restaurant with drive-through/drive-in), requires a Specific Use Permit (SUP), and is directly adjacent to -- and/or within 150-feet of -- a residentially zoned or used property. A good example of this would be the Specific Use Permits (SUPs) that have been approved in the N. Goliad Street area north of the Downtown (DT) District. In this case, a representative of the applicant indicated at the work session that the proposed restaurant would have similar hours as the other location on Ridge Road [FM-740], which are 9:30 AM - 3:00 AM on Fridays and Saturdays, and 9:30 AM – 2:00 AM on Mondays through Thursdays.

Another suggestion from staff was to increase the required screening adjacent to the residential areas due to the close proximity of the proposed restaurant to the existing residential properties to the south and west. This was also driven by the *Residential Adjacency Standards* that ask for increased screening -- *that is above and beyond the ordinance requirements* -- to help mitigate the impact of a commercial business that is within 150-feet of a residential property. The following is a breakdown of the distances for structures referenced in the *Residential Adjacency Standards* as proposed by the applicant's concept plan:

	Residential Properties to the West	Residential Properties to the South
Restaurant Building	156-feet	124-feet
Restaurant Ordering Board	173-feet	101-feet
Loading Zone	114-feet	72-feet
Drive Through Cueing Lane	70-feet and 131-feet	87-feet

Based on this information staff requested that the applicant provide an exhibit showing the increased screening that was being proposed, and requested that the applicant consider increasing the height of the proposed masonry wall to eight (8) feet. The returned concept plan shows conformance to the *minimum* standard, which is a six (6) foot masonry wall with canopy trees (a *minimum of four [4] caliper inches*) being provided on 20-foot centers. Staff should note that no additional screening or sound attenuation was provided.

Should the City Council choose to approve the applicant's request staff has included conditions of approval requiring a Traffic Impact Analysis (TIA), Noise Study, and additional landscaping at the intersection of S. Goliad Street and W. Bourn Street, and approval of a variance from the Texas Department of Transportation (TXDOT) for the widening and moving of the driveway along S. Goliad Street. In addition, the City Council has the discretion to require additional landscaping south of the *restaurant ordering board* and adjacent to the residential homes along the southern and western property lines per the *Residential Adjacency Standards*. Based on staff's review of the submitted concept plan it appears that this site would warrant consideration of additional landscape screening. As a result, staff has included these as conditions of approval in the below case memo. It may also be appropriate for the City Council -- *if choosing to approve this request* -- to establish hours of operation, in the Specific Use Permit (SUP) ordinance, that are more suitable for residential adjacency than the hours of operation indicated by the applicant during the work session; however, since the applicant has requested that these be removed from the draft ordinance staff has not included them as an operational condition or a condition of approval. If the City Council chooses to recommend hours of operation, this would need to be indicated in a motion. With all this being said, a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 15, 2020, staff mailed 107 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stonebridge Meadows Homeowners Association (HOA), which is the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program (*the Highridge Estates Homeowners Association [HOA] is listed on the notification map, but has not provided contact information*). Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 22 responses (*i.e. one [1] online notification form, seven [7] notices, ten [10] emails and four [4] letters*) in opposition to the applicant's request and two (2) notices from one (1) property owner in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. Taco Bell*), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
 - (b) The construction of a Restaurant, 2,000 SF or More, with a Drive Through or Drive-In on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
 - (c) A minimum of a six (6) foot masonry wall (constructed with materials matching the primary structure) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
 - (d) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.
- (2) Concurrently with the submittal of a site plan the applicant shall submit a *Noise Study* showing that no potential impacts will be created by the construction of the restaurant to the existing single-family homes situated along the southern and western property lines.
- (3) A Traffic Impact Analysis (TIA) shall be submitted and reviewed by the City of Rockwall prior to accepting a site plan application for the subject property.
- (4) A variance request will be approved by the Texas Department of Transportation (TXDOT) prior to the acceptance of a site plan application.
- (5) Additional trees, bushes, and shrubs will be required at: [1] the corner of S. Goliad Street and W. Bourn Street; [2] adjacent to the masonry wall along the southern and western property boundaries (*i.e. adjacent to the residential adjacency*), and [3] south of the *restaurant ordering board*. These will be required to be shown on the landscape plan submitted with the site plan.
- (6) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."
- (7) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 6-0, with Commissioner Conway absent. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f such change [zoning change or Specific Use Permit (SUP)] is recommended for denial by the Planning and Zoning Commission,

such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval.”



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 906 S. Goliad St

Subdivision Jack Canup Addition

Lot 1 Block B

General Location Southwest Corner of S. Goliad St & Bourn St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-62

Current Use Vacant

Proposed Zoning PD-62

Proposed Use Restaurant (>2,000sf) w/ drive-thru

Acreage 1.131

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ADLOR ENTERPRISES, LLC

Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKE SHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

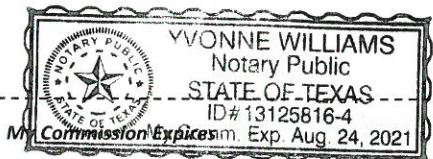
Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

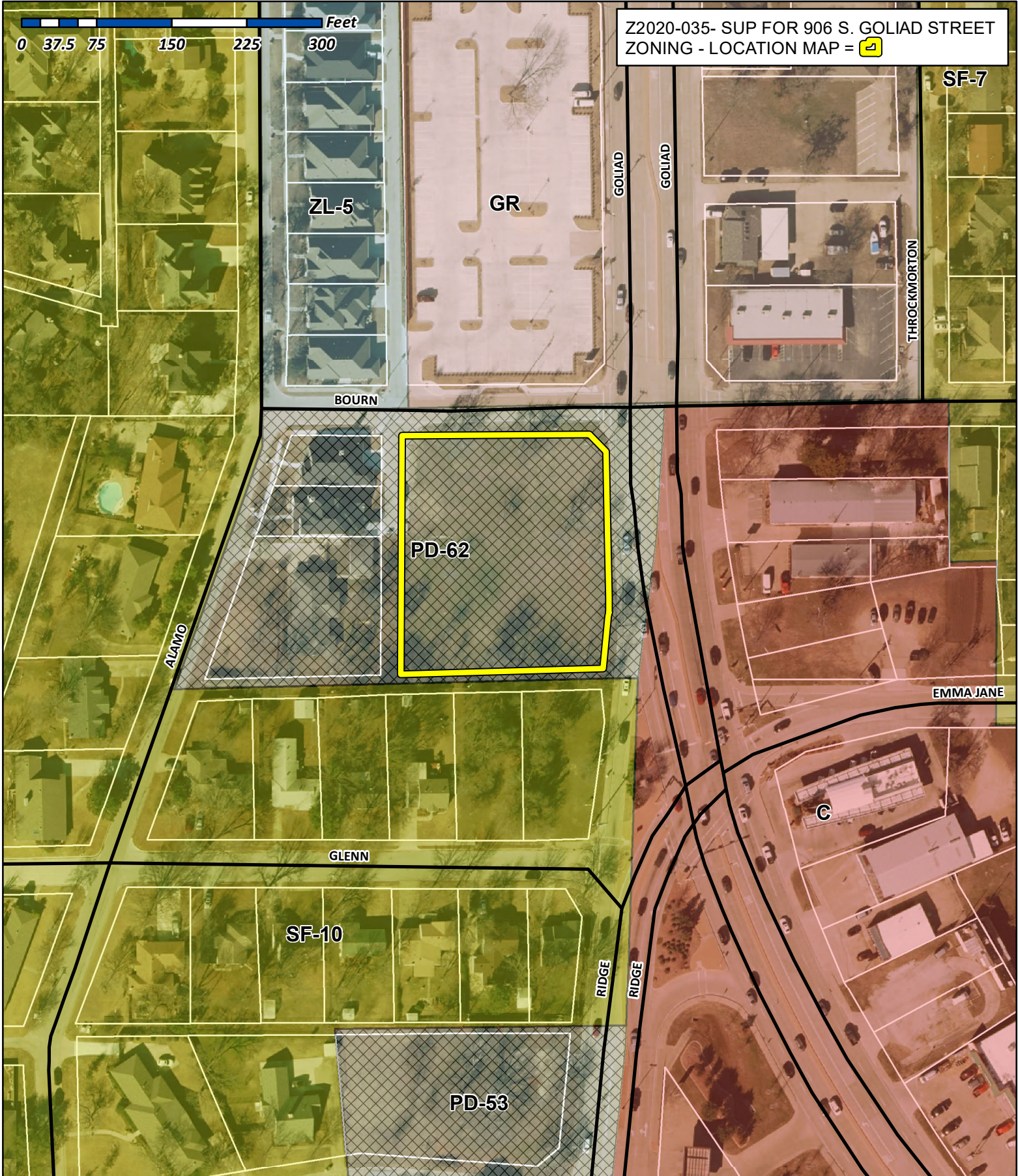
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 21697, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 8 day of 14, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

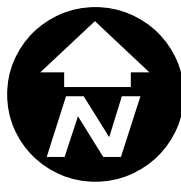




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

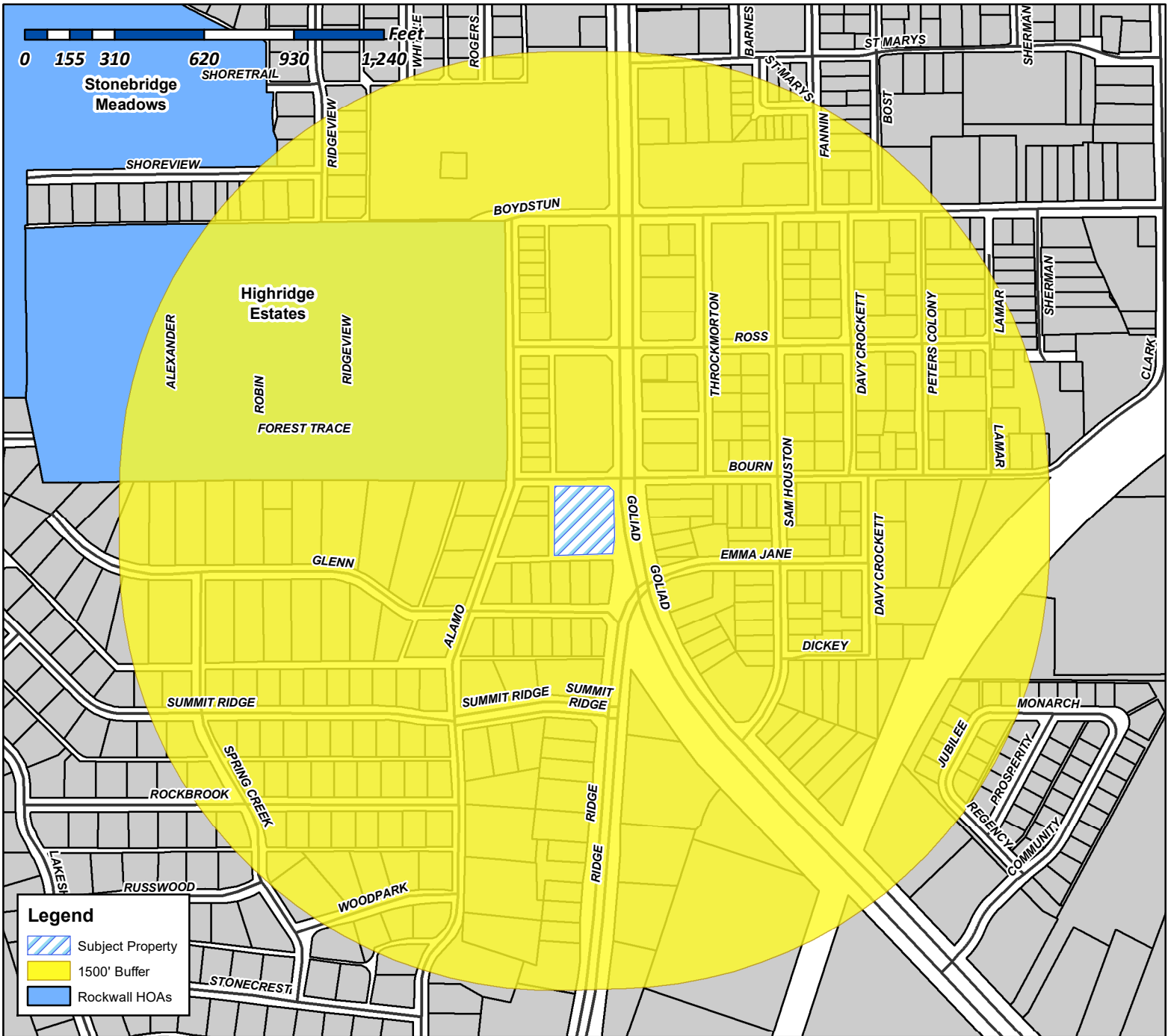




City of Rockwall

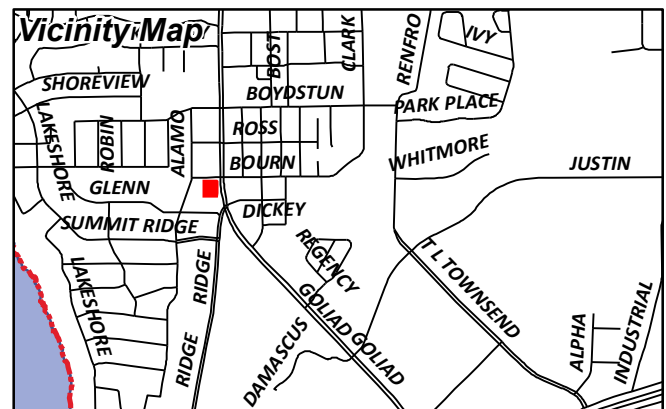
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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program
Date: Thursday, September 3, 2020 9:07:30 AM
Attachments: [HOA Map \(08.14.2020\).pdf](#)
[Public Notice \(08.18.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-035 SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

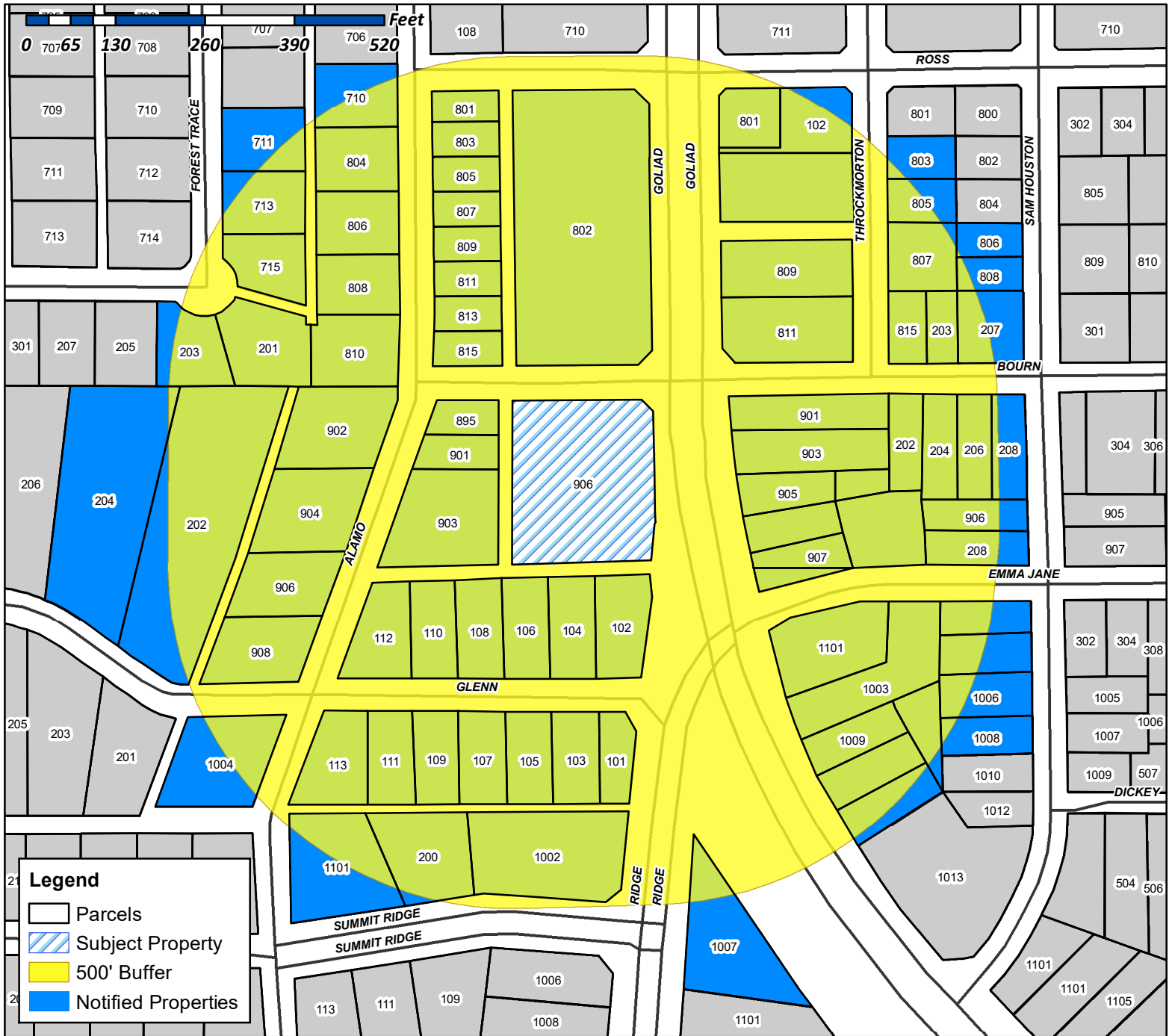
<http://www.rockwall.com/planning/>



City of Rockwall

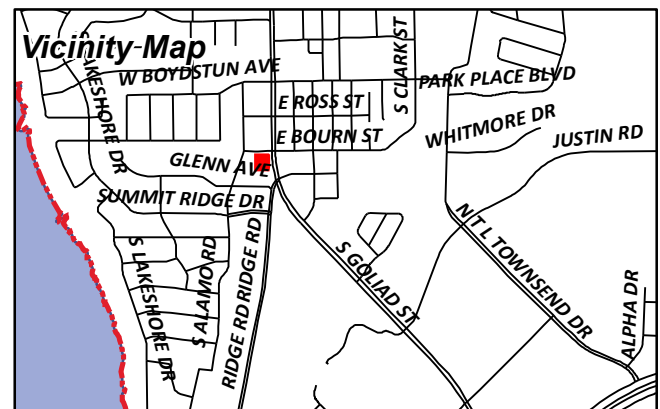
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENN
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
102 GLENN
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVENUE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K
C/O SONIC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200 SUMMIT RIDGE
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
2002 GREENHILL DRIVE
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
208 EMMA JANEST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

JONES MICHAEL G
27 SHADY BROOK CIR
ABILENE, TX 79605

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA
710 S ALAMO RD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
7117 STEFANI DRIVE
DALLAS, TX 75225

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ALLEN FRANKIE MAE
80 THROCKMORTON
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

MERRIMAN R C ET UX
804 S ALAMO
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F
805 S ALAMO RD
ROCKWALL, TX 75087

ALLEN FRANKIE MAE
805 THROCKMORTON
ROCKWALL, TX 75087

CROSS WESLEY AND
MISTY THOMPSON
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807SALAMO
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
8306 LIGHTHOUSE DR
ROWLETT, TX 75089

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-035 restaurant at 906 S Goliad st

Please place a check mark on the appropriate line below: *

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Chris

Last Name *

Knox

Address *

109 Glenn ave

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

chrisknox@me.com

Phone Number

214-478-9802

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Gamez, Angelica

From: Chris Knox <chrisknox@me.com>
Sent: Monday, September 14, 2020 10:21 AM
To: Planning; Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Subject: Special Use Permit for 906 S. Goliad
Attachments: 20200914_Taco Bell Proposed in Our Neighborhood Case No. Z2020-0.pdf; ATT00001.htm

I am writing to oppose the special use permit for the property at 906 S. Goliad. I own the property at 109 Glenn Avenue. Please see attached letter of opposition. Let me know if further information is needed.

Chris Knox
214-478-9802

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Taco Bell Proposed in Our Neighborhood
Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.

Dear Neighborhood Resident,

As you may be aware, there is Taco Bell being proposed in our neighborhood. It will be located at 906 S Goliad. It will be turned sideways on the property so that the entrance and exit are on Bourn street between the First Baptist Church on the north and residential houses on the west and south sides of the property. The drive through lane and dumpster will be literally tens of feet from some of our back yards.

Given the close proximity to our neighborhood, increase in crime, light pollution , noise pollution, late night operating hours, and traffic situation, I believe a fast food restaurant will have a detrimental effect on our neighborhood and our right to quiet enjoyment of our homes.

Because current zoning does not allow for a fast food restaurant so close to homes, the owner is applying for a special use permit - basically allowing an exception for Taco Bell.

We have already talked to a city council member who recommended that anyone opposed take the following course of action:

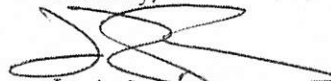
1. Write the Planning and Zoning Committee opposing the special use permit.
2. Attend the Planning and Zoning hearing on this matter on Tuesday, September 15, 2020 at 6:00 pm and voice your opposition.
3. Write the Rockwall City Council members opposing the special use permit.
4. Attend the Rockwall City Council hearing on this matter on Monday, September 21, 2020 at 6:00 pm and voice your opposition.

I have enclosed a form letter with my arguments against the Taco Bell. If you want, you can sign this letter and send to the Planning and Zoning and City Council by email or mail.

Planning and Zoning:	Rockwall City Hall, 385 S. Goliad St., Rockwall, TX 75087
Ryan Miller	planning@rockwall.com
Rockwall City Council:	Rockwall City Hall, 385 S. Goliad St., Rockwall, TX 75087
Bennie Daniels	BennieDaniels@rockwall.com
John Hohenshelt	JohnHohenshelt@rockwall.com
Kevin Fowler	kevinfowler@rockwall.com
Dana Macalik	DanaMacalik@rockwall.com
Anna Campbell	AnnaCampbell@rockwall.com
Mayor Jim Pruitt	JimPruitt@rockwall.com

Please help us fight this and keep our neighborhood livable.

Sincerely,


Justin Scroggs

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: a. an increase in car accidents, injuries and fatalities; b. an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; c. a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. **LATE OPERATING HOURS.** Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

5. **INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

6. **WHO WILL THIS RESTAURANT SERVE?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

7. **INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

8. **LOWER PROPERTY VALUE.** Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. **DOES THIS ADD VALUE TO ROCKWALL?** This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

Concerned Resident

Signed: 

Name: Chris Knox / CG Holdings LLC

Address: 109 Glenn

Rockwall, TX 75087

Gamez, Angelica

From: Chuck Scroggs <cscroggs@canddcommercial.com>
Sent: Monday, August 31, 2020 5:42 PM
To: Planning
Subject: Case No. Z2020-035

To- Rockwall Planning and Zoning

From- Charles Scroggs
813 S. Alamo
Rockwall Texas

Dear Mr. Ryan Miller:

I am very much opposed to granting a special use permit for the subject lot to be used as a Restaurant For the following reasons:

- 1] The land was never intended to be used as a restaurant. You have 8 Home owners that purchased and or built homes all the way up to \$450,000 dollars based on the cities zoning as a commercial office use.
- 2] A review of the Restaurants plans show that there are two entrances to the site proposed. One off of Goliad a state highway very congested with traffic and within 100 yards of a major intersection where cars are changing lanes to go down Ridge Road and down Hwy 205 . The second entrance is on the rear alley 20 feet from two residential houses . There will be a constant flow of lights into the homes.
- 3] There are families with children that play and walk in the alley behind these homes, cars exiting the property will be traveling the alley and therefore creating a risk of striking a child. Allies are not intended to be used forentrance or exit from a restaurant .
- 4] Residences normally purchase a home to enjoy their back yard without the noise of cars, restaurant patrons talking all hours of the night, the parking lot lights burning all of the night time hours, disturbing peace and sleeping of residents.
- 5] The light pollution is already a problem in a city and we do not need to add the bright lights and towering signage streaming into our homes.
- 6] Loitering is another risk that comes with a business of this type especially when home owners have a property backed up to a restaurant where people can see into the back yards where owners have valuables stored or see into the garages when the garage doors are up. This is inviting crime .

7] Trash and debris blowing from the restaurant onto the street , homeowners property and the church property.

8] This request to change the zoning or give a special use to is next door to the First Baptist Church of Rockwall's youth facility . This can potentially put our young children in contact with the wrong crowd of people. This is something that the Restaurant has no control over when it come to the clientele that visit the facility.

9] Property values will go down which is a major concern. Who will pay for the devaluation of the property, the city or the restaurant owners?

With all of this being said the City of Rockwall works for the citizens. As a tax payer I do not feel that granting this special use permit is in the best interest of the homeowners and tax payers. It is my request the the City Council deny the request.

Sincerely,

Charles Scroggs

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Gamez, Angelica

From: Dawn Scroggs <dawn@canddcommercial.com>
Sent: Monday, August 31, 2020 4:36 PM
To: Planning
Cc: Dawn Scroggs; JLLAP@schwab
Subject: Case No. Z2020-035

Attention: Ryan Miller

Homeowner 813 S. Alamo

In the above mentioned case for 906 S. Goliad Street I am very much opposed to this plan for reasons below:

- Traffic which is already a problem in this area.
- Light pollution
- Noise in a residential area
- Devaluation of our property
- Nuisance to the neighborhood
- Loitering in our alley
- Loitering on the church parking lot directly behind our home.
- Littering of streets, parking lot and alleys
- Right of neighbors to a peaceful and quiet place to reside
- Lack of privacy
- Trash and debris on our streets, yards and alleys
- Congestion on quiet streets due to forced traffic being routed for restaurant use.
- Interference of church parking which is adjacent to entrance.
- Inviting criminal activity due to restaurant being open into the late night hours of operation.

This is not a resident friendly business establishment and should not be permitted. The homeowners are established on all sides of this proposed site and want to remain in the peaceful and quiet neighborhood that it is. We do not need a drive through restaurant disrupting our way of life. This is the worst case scenario that a planning and zoning committee could propose. I cannot believe that this is even being considered for our quiet community in which I've lived since 1992.

This is outrageous.

Sincerely,



Dawn Scroggs

Vice President

C & D Commercial Services

p: 972.475.2271

a: 5030 Dexham Rd., Ste. 102, Rowlett, TX 75088

w: canddservicesinc.com e: Dawn@canddcommercial.com

Sweeping | Striping | Pressure Washing | Concrete | and More



From: [Justin Scroggs](#)
To: [Planning](#)
Subject: Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad street
Date: Sunday, August 30, 2020 3:10:07 PM

OPPOSED

Justin Scroggs
1512 S Alamo Road
Rockwall TX

We are opposed to the Taco Bell being proposed at the above address for the following reasons.

1. **DENSITY.** There is a taco bell located in Rockwall less than 2.3 miles from this location. There is another Taco Bell in Rowlett located 4.1 miles away. We don't need another Taco Bell as there are already other Taco Bells and countless other fast food restaurants within a 5 minute drive of this location.
2. **TRAFFIC.** The proposed located is right where 205 and Ridge Road splits. This is already a congested area with many cars in the right-hand lane preparing to split off and many more merging into this lane from the center lane. It will be extremely difficult to pull out into this traffic and to turn left into this traffic. This will result in: A. an increase in car accidents, injuries and potentially fatalities, B. an increase in traffic. and C. the traffic situation will cause drivers to use S. Alamo (a residential street) as a cut through street to access this location. They will either have drive back to Boydston and use the red light to pull back out onto 205 or drive down to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they put their drive through exit onto a residential street - backing right up to peoples back yards.
3. **RESIDENTIAL AREA.** The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant.
4. **LATE OPERATING HOURS.** Taco bell is known for it's late operating hours - and being the last stop after night of partying. The other Taco Bell (two miles away) is open until 2AM. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.
5. **INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "[How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals](#)". There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.
6. **WHO ARE WE SERVING?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?
7. **INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind

will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses.

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant. Busy road, in a residential area in the heart of an established part of Rockwall. It seems very out of place when you consider where the rest of the fast food restaurants are located in Rockwall and where the vast majority of other Taco Bells are located in other parts of the DFW area. I don't see how an out of place fast food restaurant will make Rockwall a better place. It certainly will not make our neighborhood a better place.

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To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. LATE OPERATING HOURS. Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

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7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

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Sincerely,

/s/ Justin Scroggs
1512 S. Alamo
Rockwall, TX 75087

Gamez, Angelica

From: Katie Scroggs <katie.t.scroggs@gmail.com>
Sent: Monday, September 14, 2020 7:20 PM
To: Planning
Subject: Opposed to Taco Bell on Ridge Road
Attachments: Taco Bell Opposition to PZ .pdf

Good Evening Mr. Miller,

I hope this email finds you well. I wanted to voice my opposition to the proposed fast food restaurant at the location next to First Baptist Church and the Ridge Road/205 split. As outlined in the attached letter, the proposed location is a terrible place for a fast food restaurant for a multitude of reasons and will, in my opinion, bring only negative impacts to our neighborhood and the downtown Rockwall area. I hope that you and the rest of the planning and zoning committee will consider the points on the attached letter and vote "no" to this proposed plan for our city. I plan to attend the upcoming P&Z meeting to voice this in-person as well.

Thank you very much for your time. Please reach out if you have any questions or concerns.

Sincerely,

Katie Scroggs

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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. LATE OPERATING HOURS. Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

5. INCREASE IN CRIME. Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

6. WHO WILL THIS RESTAURANT SERVE? Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

Concerned Resident

Signed: Katherine A Scroggs

Name: Katherine A Scroggs

Address: 1512 S. Alamo Rd.
Rockwall, TX 75087

From: [LYNN RAMSEY](#)
To: [Planning](#)
Subject: Attn Ryan Miller
Date: Friday, August 21, 2020 3:45:38 PM

Re: Item (6) Z2020-035

Mr. Miller:

I live at 815 South Alamo Road on the corner side street that this proposed restaurant is asking to be constructed. My neighbors and I would be negatively impacted by having a drive through restaurant on this corner. Before I built my home I was told by the city that the properties facing South Goliad were only allowed to build minimal traffic commercial activities such as law offices, insurance agencies, etc. Please let me and my neighbors know how and when to voice our opposition to this proposed change in zoning.

Thank you,

Lynn Ramsey
940-224-5864
lramseykjl@aol.com

Sent from my iPhone

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

1. TRAFFIC
2. LONG HOURS OF OP.
3. LIGHTING
4. TRASH DUMPSTER

Name: **MIKE SHIELDS**
Address: **811 S. ALAMO RD.**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

De-Value Homes in the area
Aweful buffer property being that close to residential (Smell & trash
Traffic

Name:

Ryan Kelly, Lucy Kelly

Address:

808 S Alamo Rd Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Scott and Michelle McNary](#)
To: [Planning](#)
Subject: Zoning Change
Date: Friday, August 21, 2020 1:35:43 PM

Good afternoon!

We just received the zoning change notice in our mail a few minutes ago. Given that we only have until Monday to make our opinions known I felt it would be better to email rather than mail back the notice.

We live at 113 Glenn Ave

We are 100% AGAINST this change. It would back up on two sides to homes with yards. While I understand the "need" for progress in our town, we just don't want it in our neighborhood.

We already have traffic issues going up and down South Alamo when people decide to cut through our neighborhood. People drive fast and don't stop at stop signs.

Adding a restaurant to the edge of our neighborhood would increase traffic not to mention bring in other unwanted pests like rats and mice. Please please please do not allow this to pass. We're already flanked with Goliad traffic and noise, please don't add to it.

We absolutely adore our neighborhood and have no plans on leaving but if ever we had to, I feel that placing a restaurant on the edge of our neighborhood would decrease the desirability of being in our neighborhood and thus affect the value of our home.

Thank you for taking the time to consider how the residents of this neighborhood feel about this situation. I also hope you will take into consideration the lack of time people have to respond to this public notice and don't interpret the lack of response as a reflection of disinterest or being in favor of this zoning change. Many of our residents are older/elderly and two different homeowners (one on Glenn and one on S Alamo) just passed away THIS week...obviously you won't be hearing from them.

I apologize for the lengthiness of this email - we're just really opposed to this zoning change.

Thank you for your time.

Scott and Michelle McNary
113 Glenn Ave

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To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. LATE OPERATING HOURS. Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

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6. WHO WILL THIS RESTAURANT SERVE? Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

Concerned Resident

Signed: Charlotte Bristow

Name: Charlotte Bristow

Address: 908 S. Alam Rd.
Rockwall, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- property values will drop
- dangerous amount of traffic in an already dangerous V of traffic

Name: DEANIE SHIMAN

Address: 202 Glenn Ave

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. **LATE OPERATING HOURS.** Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

5. **INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

6. **WHO WILL THIS RESTAURANT SERVE?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

7. **INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

8. **LOWER PROPERTY VALUE.** Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. **DOES THIS ADD VALUE TO ROCKWALL?** This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

My mother just passed away, and I own the home. There is already a dangerous amount of traffic here. Please do not make it worse by granting this for use by any fast food.

Sincerely,

Concerned Resident

Signed:

Elizabeth Presley
Name: ELIZABETH PRESLEY

Delanie Shipman
Name: DELANIE SHIPMAN

Address: 904 S. Alamo Rd.
Rockwall, TX 75087

Delanie Shipman
214.236.8333

Gamez, Angelica

From: Jenna Scroggs <jenna.scroggs@yahoo.com>
Sent: Friday, September 4, 2020 9:09 AM
To: Planning; Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Subject: Case No. Z2020-035
Attachments: letter.pdf

I am opposed to Taco bell going in to this location. See letter attached.

Jenna Scroggs

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Alexandra Orman
Address: 809 S. Goliad, Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Isabella Duran
Address: 803 S. Goliad, Rockwall

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: Millie Trevino <matrockwall@yahoo.com>
Sent: Friday, September 4, 2020 2:04 PM
To: Planning
Cc: Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Subject: Case No. Z2020-036: SUP for Restaurant at 906 S. Goliad Street
Attachments: Z2020-035 SUP for Restaurant 906 S Goliad Street.pdf

Attached is my letter in opposition to rezoning and allowing a fast food restaurant at this location. To allow a restaurant to at this location would be have a detrimental effect on our neighborhood and be too close to homes and bring unwanted traffic and add chaos to the area which is already heavily congested due to the fact it is where the 205 and Ridge Road intersect...probably the worst intersection in Rockwall. We request the request for the special use permit be DENIED!!!!

Millie Trevino
1004 S Alamo Rd
Rockwall TX 75087

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

PROPERTY VALUE DECREASED
TRAFFIC IN NEIGHBORHOOD
DUMPSTER OF FOOD ACROSS OUR ALLEY.
NOISE, TRAFFIC, TRASH, SMELL OF GARBAGE @ OUR BACKDOOR
Name: WILLIAM & MARGIE BRUNNER
Address: 895 S. ALAMO RD ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydstun and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. LATE OPERATING HOURS. Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

5. INCREASE IN CRIME. Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

6. WHO WILL THIS RESTAURANT SERVE? Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?


7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

Concerned Resident

Signed: 

Name: WILLIAM & MARGIE BRUNNER

Address: 895 S. ALAMO Rd
Rockwall, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Ryan Miller
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385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Snuffies is already a issue without contributing to the problem. Not only the issue of Ridge Road, people will come over Church parking lot to Ross which is a hazard to begin with. We have a nice neighborhood, we don't want a fast place messing up our area!

Name: *Ronnie and Barbara Watson*

Address: *801 S. Alamo*

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: Chris Brannon <chris_brannon@outlook.com>
Sent: Tuesday, September 15, 2020 10:29 AM
To: Planning; Gonzales, David
Cc: melbrannon06@gmail.com
Subject: Opposition to proposed Taco Bell - Case No. Z2020-035
Attachments: Brannon_TacoBell-Opposition.pdf

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street.

We are **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, South Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W. Bourn Street (a residential street) – backing right up to residents' backyards.

2. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood, and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

3. OUR PRIVACY, SAFETY AND NOISE CONCERNS. We purchased a brand new home at 810 S. Alamo Rd in 2017. For the last 3 years, our family of four have enjoyed this quaint and peaceful neighborhood, which is one of the

reasons we chose to relocate to Rockwall. Any traffic leaving the Taco Bell and heading westbound on W. Bourn Street would create additional privacy, safety and noise issues for our residence. Our driveway, front entry, as well as front facing bedrooms will be directly in the line of sight from the restaurant area, especially to those who exit and travel west on W. Bourn Street. This will create an undesirable location to live and will undoubtedly make any of us less safe and secure in this neighborhood. We would suffer a significant financial loss, as we would be forced to move upon passage of this proposal.

4. LATE OPERATING HOURS. Taco bell is known for its late-night operating hours – and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late-night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

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Sincerely,

Concerned Residents

Chris and Melanie Brannon
(469) 951-9233
810 S. Alamo Rd.,
Rockwall, TX 75087

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

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3. OUR PRIVACY, SAFETY AND NOISE CONCERNS. We purchased a brand new home at 810 S. Alamo Rd in 2017. For the last 3 years, our family of four have enjoyed this quaint and peaceful neighborhood, which is one of the reasons we chose to relocate to Rockwall. Any traffic leaving the Taco Bell and heading westbound on W. Bourn Street would create additional privacy, safety and noise issues for our residence. Our driveway, front entry, as well as front facing bedrooms will be directly in the line of sight from the restaurant area, especially to those who exit and travel west on W. Bourn Street. This will create an undesirable location to live and will undoubtedly make any of us less safe and secure in this neighborhood. We would suffer a significant financial loss, as we would be forced to move upon passage of this proposal.

4. LATE OPERATING HOURS. Taco bell is known for its late-night operating hours – and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late-night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

5. INCREASE IN CRIME. Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime, especially for the late-night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

6. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

7. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, light pollution and increase in crime are going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

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Sincerely,

Concerned Residents

Signed:  _____

Chris Brannon for the Brannon family

Address: **810 S. Alamo Rd.
Rockwall, TX 75087**

Gamez, Angelica

From: Jake Scott (TX) <JScott@CRCGroup.com>
Sent: Monday, September 14, 2020 8:14 AM
To: Planning; Daniels, Bennie; johnnehenshelt@rockwall.com; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Subject: Taco Bell
Attachments: Scannable Document on Sep 11, 2020 at 9_56_06 AM.pdf

Please don't allow a Taco Bell directly behind my house.

Jake Scott | Casualty Broker

O | 972.371.7083
C | 214.929.5908
E | jscott@crcgroup.com

Galleria North, Tower One
13737 Noel Road, 10th Floor
Dallas, TX, 75240
CRCIns.com

CRC | Placing You First

From: Jenni Knox <jenniknox@me.com>
Sent: Sunday, September 13, 2020 9:58 PM
To: Max Scott <mscott@hill-wilkinson.com>; Jake Scott (TX) <JScott@CRCGroup.com>; Lindsay Scott <LindsayScott@live.com>; Kristi Scott <kristiskott@gmail.com>; Chris Knox <chrisknox@me.com>
Subject: Taco Bell

[* This email contains attachments or links from an unverified sender. DO NOT open attachments or click links without verifying the sender. *]

Talk to sign

Sent from my iPhone

Begin forwarded message:

From: Jenni Knox <jenniknox@me.com>
Date: September 11, 2020 at 9:56:50 AM CDT
To: Max Scott <mscott@hill-wilkinson.com>, Jake Scott <JScott@crcins.com>, Kristi Scott <kristiskott@gmail.com>, Lindsay Scott <LindsayScott@live.com>, Chris Knox <chrisknox@me.com>, Jake Scott <JScott@CRCGroup.com>
Subject: Scannable Document - sent from Scannable

We all need to send these emails and fight this. Proposed right behind Yaya's house.

Sent from my iPhone

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NOTICE: You cannot bind, alter or cancel coverage without speaking to an authorized representative of CRC Group. Coverage cannot be bound without written confirmation from an authorized representative of CRC Group. This email and any files transmitted with it are not encrypted and may contain privileged or other confidential information and is intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient or entity, or believe that you may have received this email in error, please reply to the sender indicating that fact and delete the copy you received. In addition, you should not print, copy, retransmit, disseminate, or otherwise use this information. Thank you.

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

From: Jenni Knox <jenniknox@me.com>
Sent: Sunday, September 13, 2020 1:05 PM
To: Planning; Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Cc: Chris Knox
Subject: Special Use Permit for 906 S. Goliad
Attachments: Scannable Document on Sep 13, 2020 at 12_55_57 PM.pdf; ATT00001.txt

I am writing to oppose the special use permit for the property at 906 S. Goliad. My husband and I are in the process of purchasing 106 Glenn Avenue which is located directly behind the property. Please see attached letter of opposition. Let me know if further information is needed.

Jenni Knox
214.794.4280

>

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

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6. WHO WILL THIS RESTAURANT SERVE? Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

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Sincerely,

Concerned Resident

Signed: Jenni Knox

Name: Jenni Knox

Address: 106 Glenn Avenue
Rockwall, TX 75087

4 Sunset Trail
Heath, TX 75032

Taco Bell Proposed in Our Neighborhood

Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.

Dear Neighborhood Resident,

As you may be aware, there is Taco Bell being proposed in our neighborhood. It will be located at 906 S Goliad. It will be turned sideways on the property so that the entrance and exit are on Bourn street between the First Baptist Church on the north and residential houses on the west and south sides of the property. The drive through lane and dumpster will be literally tens of feet from some of our back yards.

Given the close proximity to our neighborhood, increase in crime, light pollution, noise pollution, late night operating hours, and traffic situation, I believe a fast food restaurant will have a detrimental effect on our neighborhood and our right to quiet enjoyment of our homes.

Because current zoning does not allow for a fast food restaurant so close to homes, the owner is applying for a special use permit - basically allowing an exception for Taco Bell.

We have already talked to a city council member who recommended that anyone opposed take the following course of action:


1. Write the Planning and Zoning Committee opposing the special use permit.
2. Attend the Planning and Zoning hearing on this matter on Tuesday, September 15, 2020 at 6:00 pm and voice your opposition.
3. Write the Rockwall City Council members opposing the special use permit.
4. Attend the Rockwall City Council hearing on this matter on Monday, September 21, 2020 at 6:00 pm and voice your opposition.

I have enclosed a form letter with my arguments against the Taco Bell. If you want, you can sign this letter and send to the Planning and Zoning and City Council by email or mail.

Planning and Zoning:	Rockwall City Hall, 385 S. Goliad St., Rockwall, TX 75087
Ryan Miller	planning@rockwall.com
Rockwall City Council:	Rockwall City Hall, 385 S. Goliad St., Rockwall, TX 75087
Bennie Daniels	BennieDaniels@rockwall.com
John Hohenshelt	JohnHohenshelt@rockwall.com
Kevin Fowler	kevinfowler@rockwall.com
Dana Macalik	DanaMacalik@rockwall.com
Anna Campbell	AnnaCampbell@rockwall.com
Mayor Jim Pruitt	JimPruitt@rockwall.com

Please help us fight this and keep our neighborhood livable.

Sincerely,



Justin Scroggs

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.

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Sincerely,

Concerned Resident

Signed: Kristi Scott

Name: Kristi Scott

Address: 106 Glenn Avenue
Rockwall, TX 75087

104 Michael Circle
Heath, TX 75032

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

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Sincerely,

Concerned Resident

Signed:  _____

Name: Max Scott

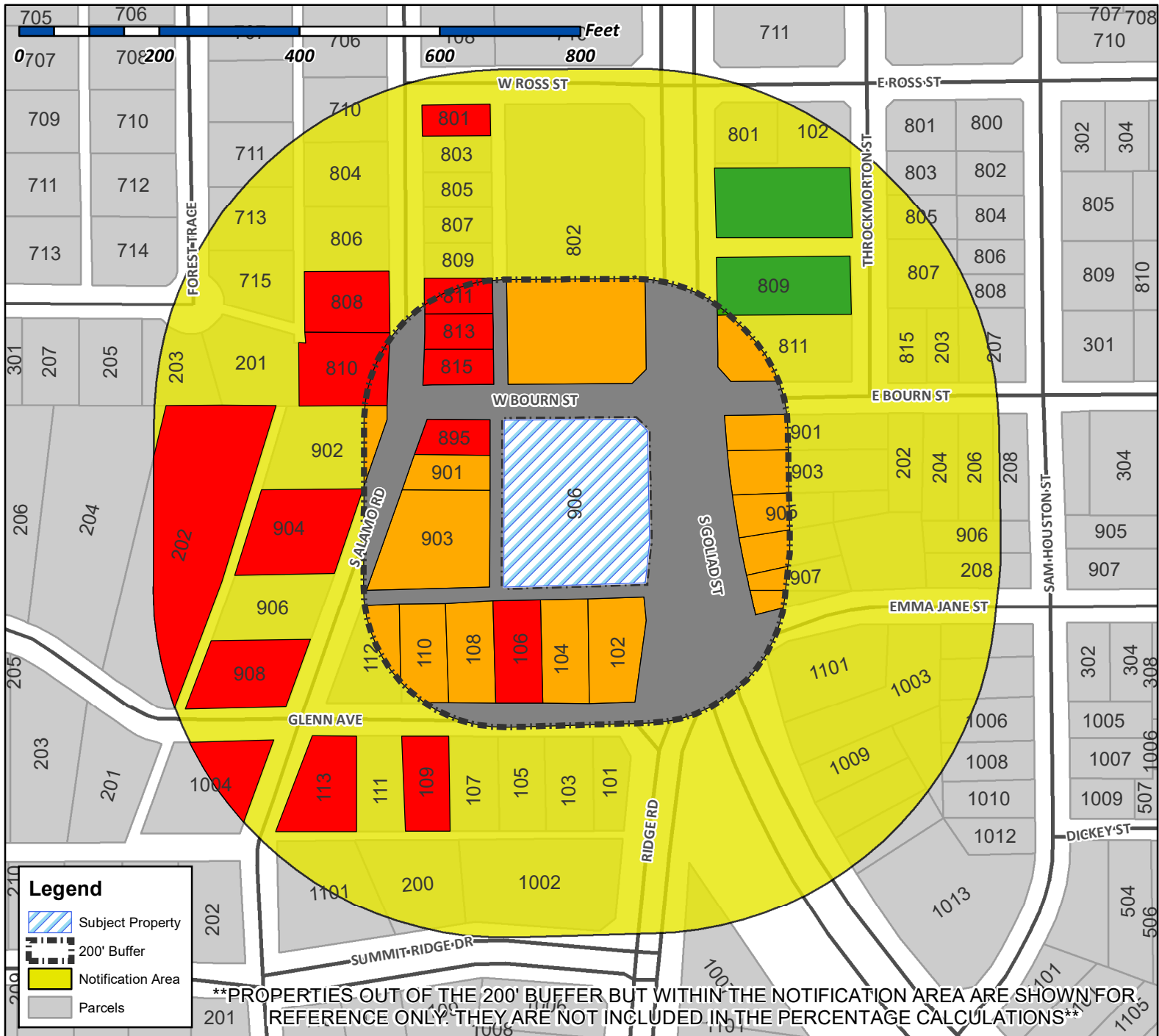
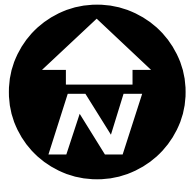
Address: 106 Glenn Avenue
Rockwall, TX 75087



City of Rockwall

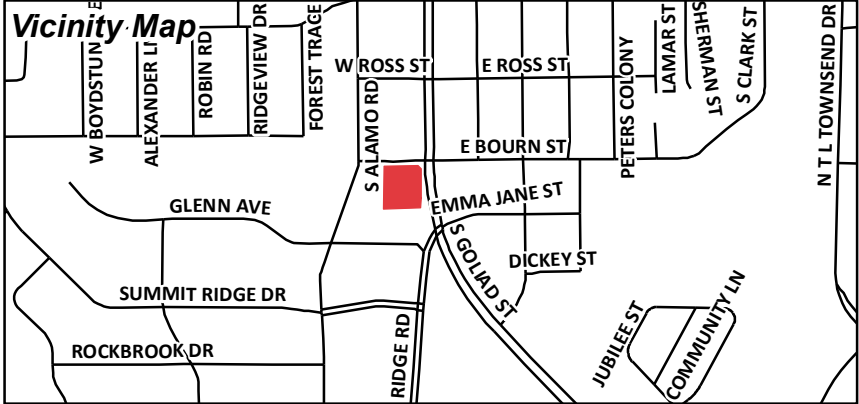
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Z2020-035 - SUP FOR 906 S. GOLIAD STREET

- Against 8.7%
- For 0.03%
- No Response 36.76%
- ROW 54.49%



Date Created: 9/15/2020

For Questions on this Case Call (972) 771-7745



WIER & ASSOCIATES, INC.
 ENGINEERS
 SURVEYORS
 LAND PLANNERS

August 14, 2020

City of Rockwall
 Planning & Zoning Dept.
 385 S. Goliad St
 Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT
 LOT 1, BLOCK B, JACK CANUP ADDITION
 W&A# 20075**

PRINCIPALS
 JOHN P. WIER, P.E., R.P.L.S.
 ULYS LANE III, P.E., R.P.L.S., CFM
 CARLO SILVESTRI, P.E.
 GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
 PHILIP L. GRAHAM, P.E.
 JAKE H. FEARS, P.E., LEED AP BD+C
 RANDALL S. EARDLEY, P.E.

ASSOCIATES
 TOBY W. RODGERS
 CASEY D. YORK
 PRIYA N. ACHARYA, P.E.
 TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

ETX Bell Properties, LLC intends to develop Lo1 1, Block B of the Jack Canup Addition. The subject tract is a 1.131-acre parcel of land, currently zoned as PD-62, and situated within the J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas. Said property is generally located at the southwest corner of Goliad St (SH-205) and W. Bourn St and is currently addressed as 906 S. Goliad St.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 2,053-sf restaurant with drive-thru. This development requires a Specific Use Permit due to being a restaurant, more than 2,000-sf, with drive-thru facilities.

We appreciate your acceptance of our Specific Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this SUP. Please contact the developer, Toby Gowin with ETX Bell Properties, LLC, by phone at 903-589-1671 or via email at tgowin@smi-tex.com or the developer’s engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

Casey Orr, P.E.
 Project Manager

2201 E. LAMAR BLVD., SUITE 200E
 ARLINGTON, TEXAS 76006-7440
 (817) 467-7700
 FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
 HENDERSON, TEXAS 75654-3559
 (903) 722-9030
 TOLL FREE FAX (844) 325-0445



WIER & ASSOCIATES, INC.
 ENGINEERS
 SURVEYORS
 LAND PLANNERS

September 1, 2020

City of Rockwall
 Planning & Development Services
 385 S. Goliad Street Rockwall, TX 75087
 Attn: Angelica Gamez

PRINCIPALS
 JOHN P. WIER, P.E., R.P.L.S.
 ULYS LANE III, P.E., R.P.L.S., CFM
 CARLO SILVESTRI, P.E.
 GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
 PHILIP L. GRAHAM, P.E.
 JAKE H. FEARS, P.E., LEED AP BD+C
 RANDALL S. EARDLEY, P.E.

ASSOCIATES
 TOBY W. RODGERS
 CASEY D. YORK
 PRIYA ACHARYA, P.E.

RE: WA # 20075 – 906 S GOLIAD ST, ROCKWALL, TX 75087 (Z2020-035)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

Land Use Conditional Standards: applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

Ingress/Egress Locations: applicant is requesting a waiver from the required driveway spacing for the proposed driveway on Bourn St. In an effort to prevent traffic from accessing the site via the alley, a proposed curb cut is located 102' from the Goliad St face-of-curb.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

Casey Orr, P.E.

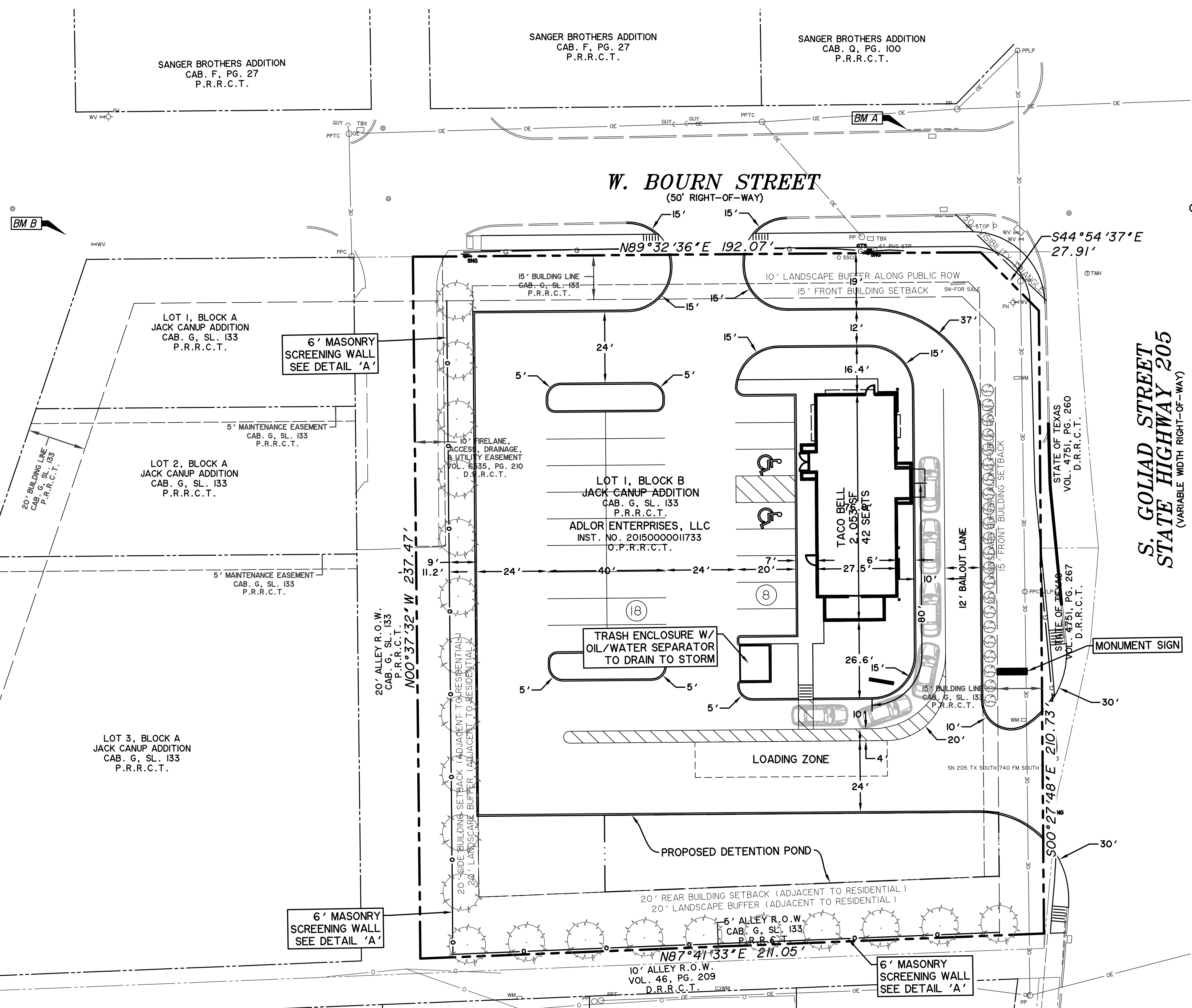
2201 E. LAMAR BLVD., SUITE 200E
 ARLINGTON, TEXAS 76006-7440
 (817) 467-7700
 FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
 HENDERSON, TEXAS 75654-3559
 (903) 722-9030
 TOLL FREE FAX (844) 325-0445

BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT

PRINTED: 9/1/2020 5TB FILE: WIER-PAVING-STB LAST SAVED: 9/1/2020 11:34 AM SAVED BY: CASEYO FILE: SUP SITE PLAN-20075.DWG



SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF: 1/100 SF = 21
TOTAL PARKING PROVIDED	26
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
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1. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

FIGURE 7: MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



1: CANOPY TREES-20 FOOT ON CENTER 2: SIX (6)FOOT MASONRY WALL

DETAIL 'A'
REFER TO ARCHITECT

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER / DEVELOPER
ETX BELL PROPERTIES, LLC
101 EAST CHEROKEE
JACKSONVILLE, TEXAS 75766
CONTACT: TOBY GOWIN
PH: (903) 589-1671
EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
121 S. MAIN ST.
HENDERSON, TEXAS 75654
CONTACT: CASEY ORR, P.E.
PH: (903) 722-9030
FAX: (844) 325-0445

SUP SITE PLAN
LOT 1, BLOCK B
JACK CANUP ADDITION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, L.L.C., AS RECORDED IN INSTRUMENT NUMBER 20150000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

September 1, 2020

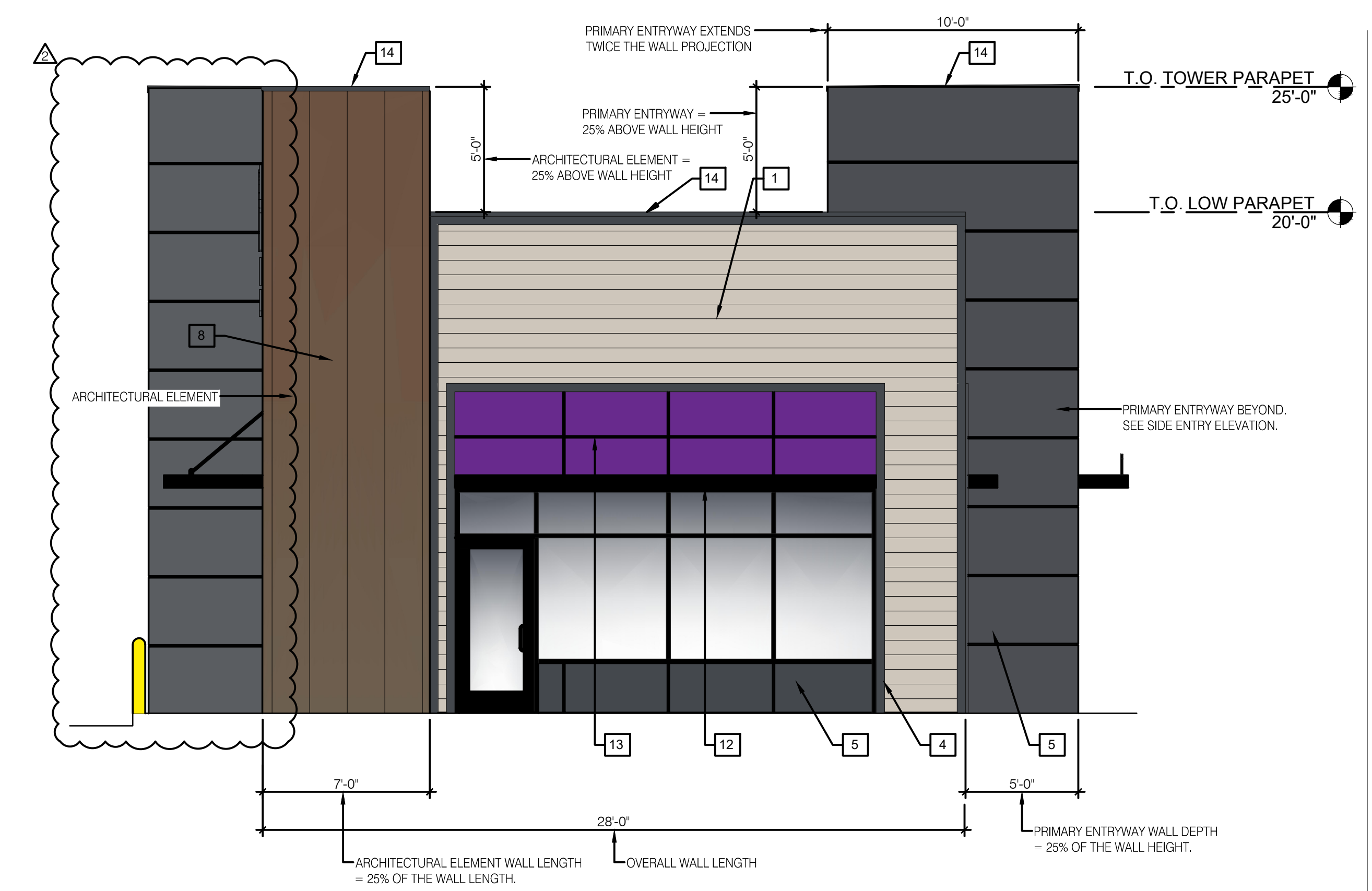
PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO 1817 1467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

CASE No.: Z2020-035
DATE: 9/1/2020
SHEET 1 OF 1 W.A. No. 20075

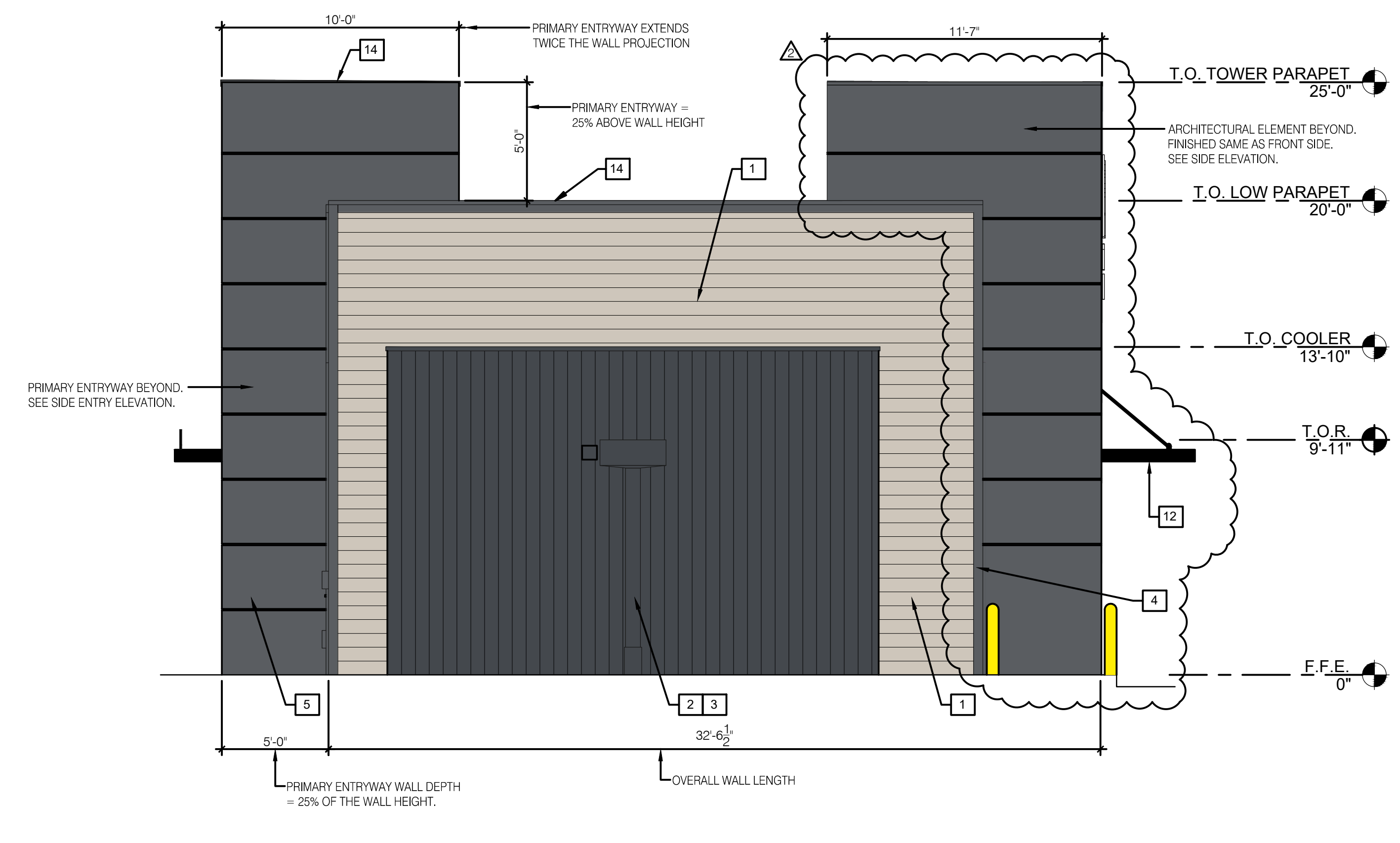


REAR ELEVATION 1/4" = 1'-0" 1

NOT USED A



FRONT ELEVATION 1/4" = 1'-0" 2



REAR ELEVATION 1/4" = 1'-0" 3

LONNIE SMITH
ARCHITECT
phone 858.624.3745
fax 858.624.3745
519 Hampton Way, Suite 8
Richmond, KY 40475

DATE	REMARKS
08-26-20	REV.
08-27-20	REV.

CONTRACT DATE: ###
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL
BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.1



FRONT ELEVATION 1/4" = 1'-0" **1**

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L X 6" H X 1' 4" D BLACK	A4.0

MISCELLANEOUS
A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

NOT USED **I**

SIGNAGE **G**

GENERAL NOTES **F**

PAINT NOTES **E**

NOT USED **C**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 14 1/4" X 8.25" W. 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1 1/2" X 5'	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	-	-	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE **H**

NOT USED **D**

DATE	REMARKS
1 08-26-20	REV.
2 08-27-20	REV.

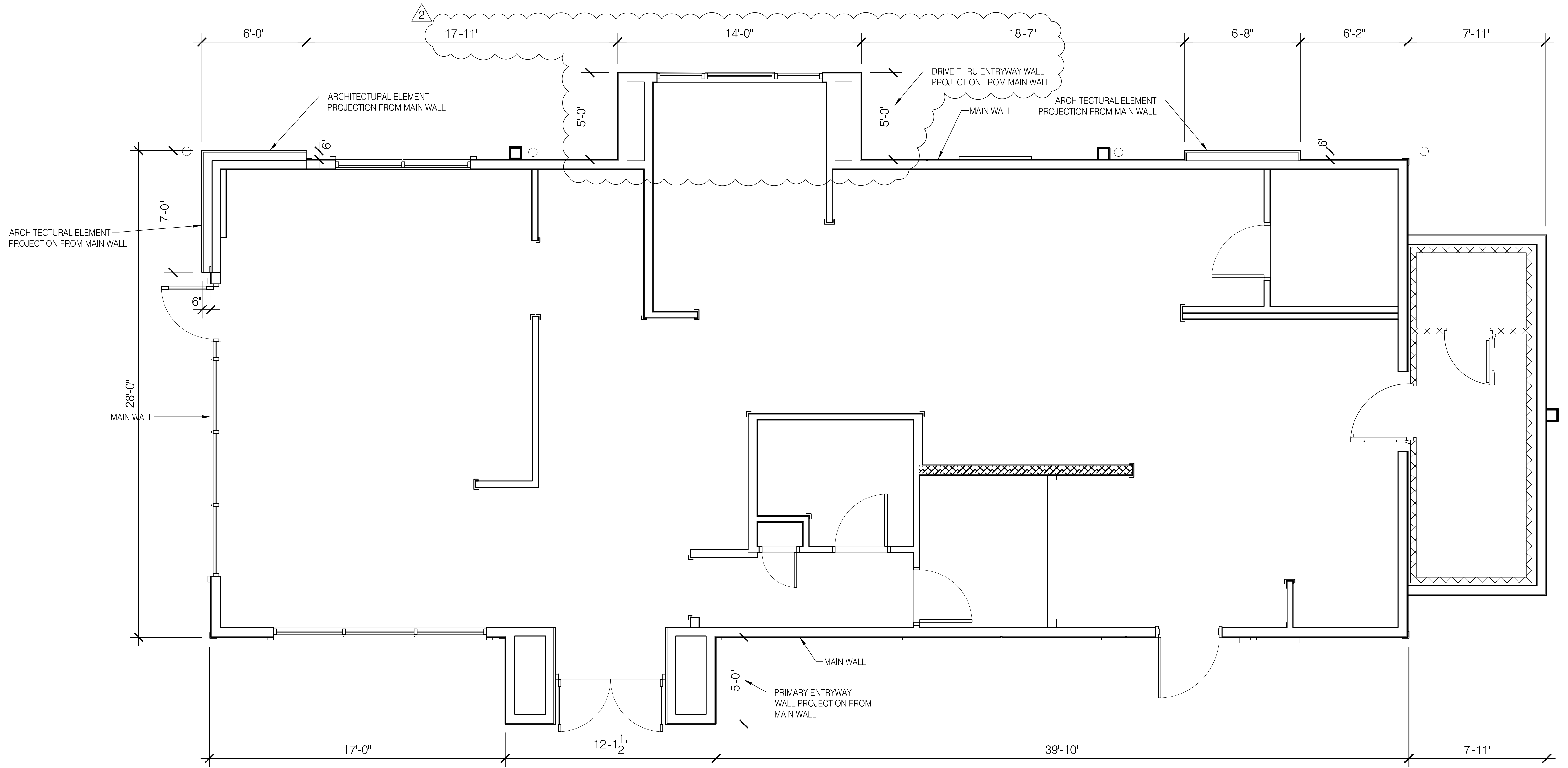
CONTRACT DATE: ###
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL
BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.0



Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- ~~3) The hours of operation for the *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* shall be limited to Monday through Sunday 7:00 AM to 10:00 PM.~~
- 4) A minimum of an eight (8) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 5) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, 2,000 SF OR MORE, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [SH-205], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- 3) A minimum of a six (6) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 4) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map

Address: 902 & 906 S. Goliad Street

Legal Description: Lot 1, Block B, Jack Canup Addition

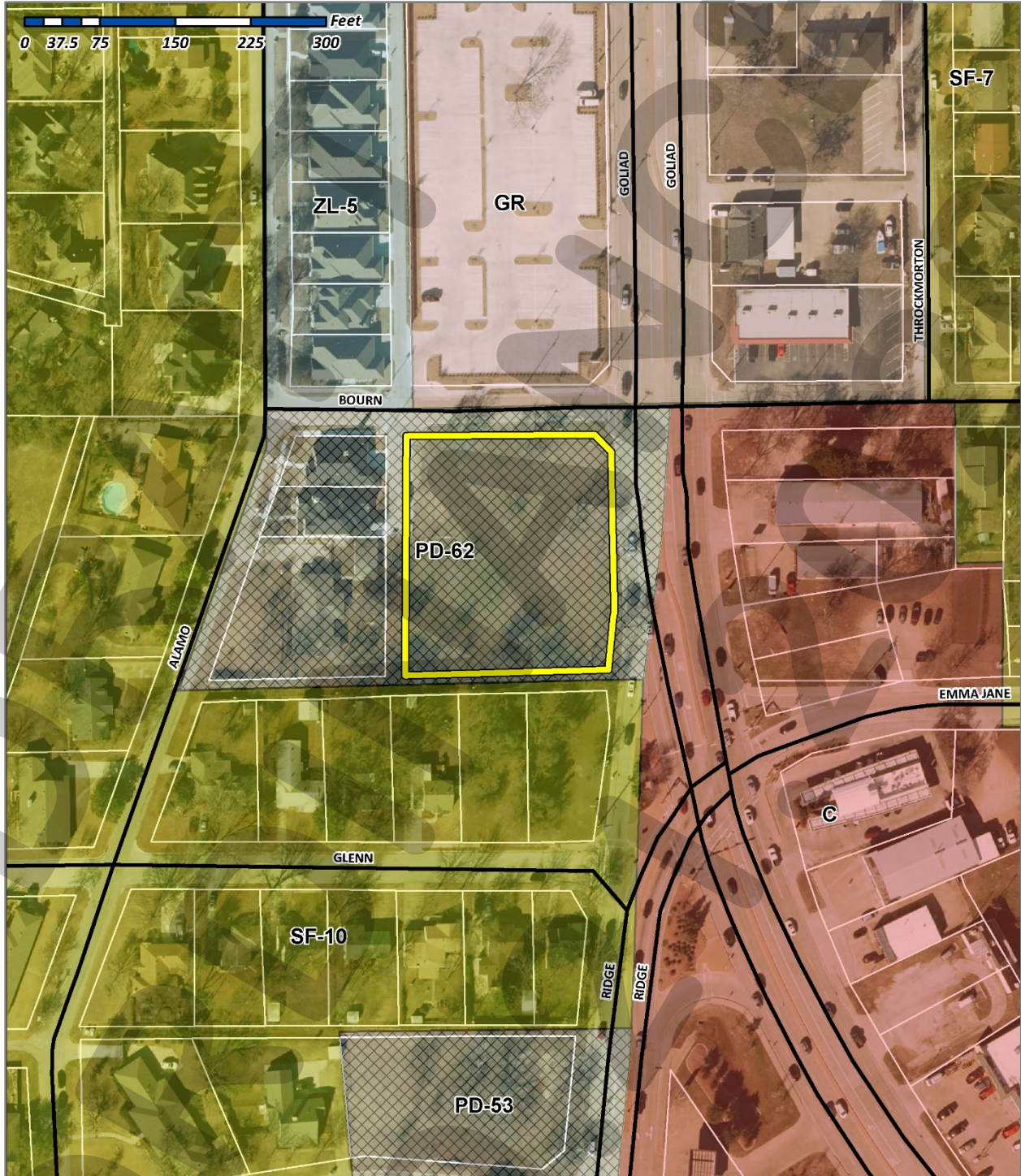


Exhibit 'B':
Concept Plan

SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,256 SF)
BUILDING AREA	2,053 SF
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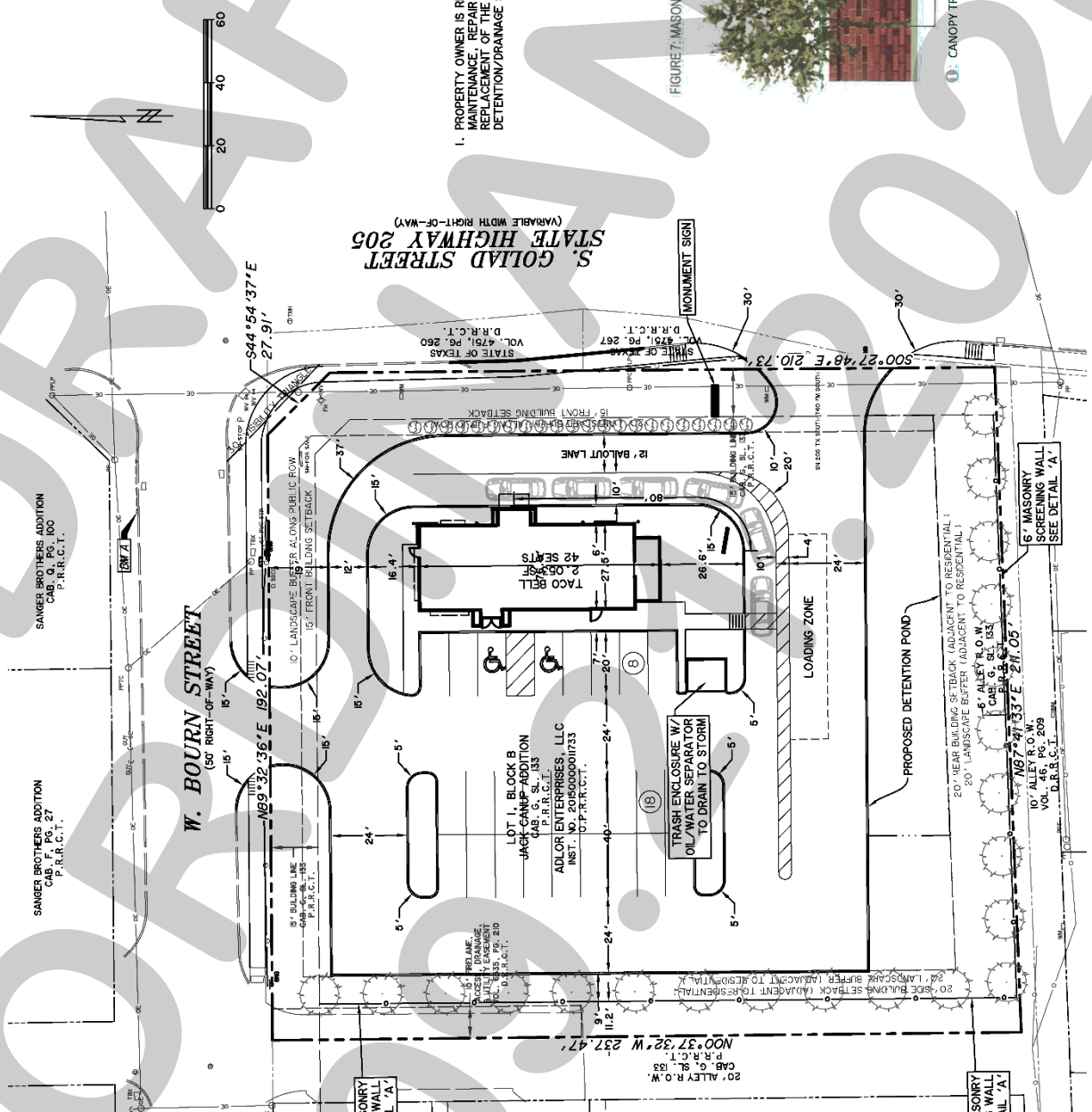


FIGURE 7: MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



1. CANOPY TREES-20 FOOT ON CENTER
 2. SIX (6) FOOT MASONRY WALL
DETAIL 'A'
 REFER TO ARCHITECT

Exhibit 'C': Concept Building Elevations

