



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-019 P&Z DATE 05/26/20 CC DATE 06/15/20 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input checked="" type="checkbox"/>	HOA MAP
<input checked="" type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address

247 CHRIS DR.

Subdivision

ROCKWALL LAKE PROPERTIES

General Location

South of Interstate 30

Lot

1051

Block

and 1/2 of Lot 1050

Development No. 2

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning

Residential

Current Use

Residential

Proposed Zoning

Residential-Specific Use Permit

Proposed Use

Residential

Acreage

Less than one Acre

Lots [Current]

1 1/2

Lots [Proposed]

1 1/2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

Owner

Contact Person

Address

City, State & Zip

Phone

E-Mail

Applicant

Contact Person

Address

City, State & Zip

Phone

E-Mail

J. W. Jones

J. W. Jones

555 N. 5th St.

Suite 113

GARLAND TX 75040

214-535-2850

Jayjones1941@hotmail.com

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared J. W. Jones (Signature) the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

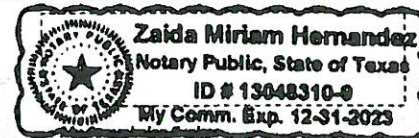
Given under my hand and seal of office on this the 13 day of May, 20 20

APPLICANTS
Applicant's Signature

J. W. Jones

Notary Public in and for the State of Texas

Zaida Miriam Hernandez



JAY JONES
555 N. FIFTH STREET, SUITE 113
GARLAND, TEXAS 75040
972-272-3322

24818

INWOOD NATIONAL BANK
DALLAS, TEXAS

88-571/1119

PAY JAY JONES \$200 and 00/100 DOLLARS

TO THE
ORDER OF

City of Rockwall
Specific Use Permit
247 Chris

DATE	CHECK NO.	AMOUNT	
5-14-20	24818	200	00

JAY JONES



MP

⑈024818⑈ ⑆111905719⑆

⑈26002836⑈



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745
Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 5/15/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 05/21/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 5/21/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 5/26/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2020-019
Project Name: SUP for 247 Chris Drive
Project Type: ZONING
Applicant Name: J.W.JONES
Owner Name: GUARDIOLA, GUADALUPE J
Project Description:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-019

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Contact Person

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J. W. Jones

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Given under my hand and seal of office on this the 13 day of May, 20 20.

APPLICANTS
Applicant's Signature


J. W. Jones

Notary Public in and for the State of Texas

Zaida Miriam Hernandez



0 20 40 80 120 160 Feet

Z2020-019- SUP FOR 247 CHRIS DRIVE
ZONING - LOCATION MAP = 



PD-75

CHRIS

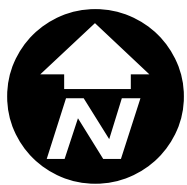
YVONNE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

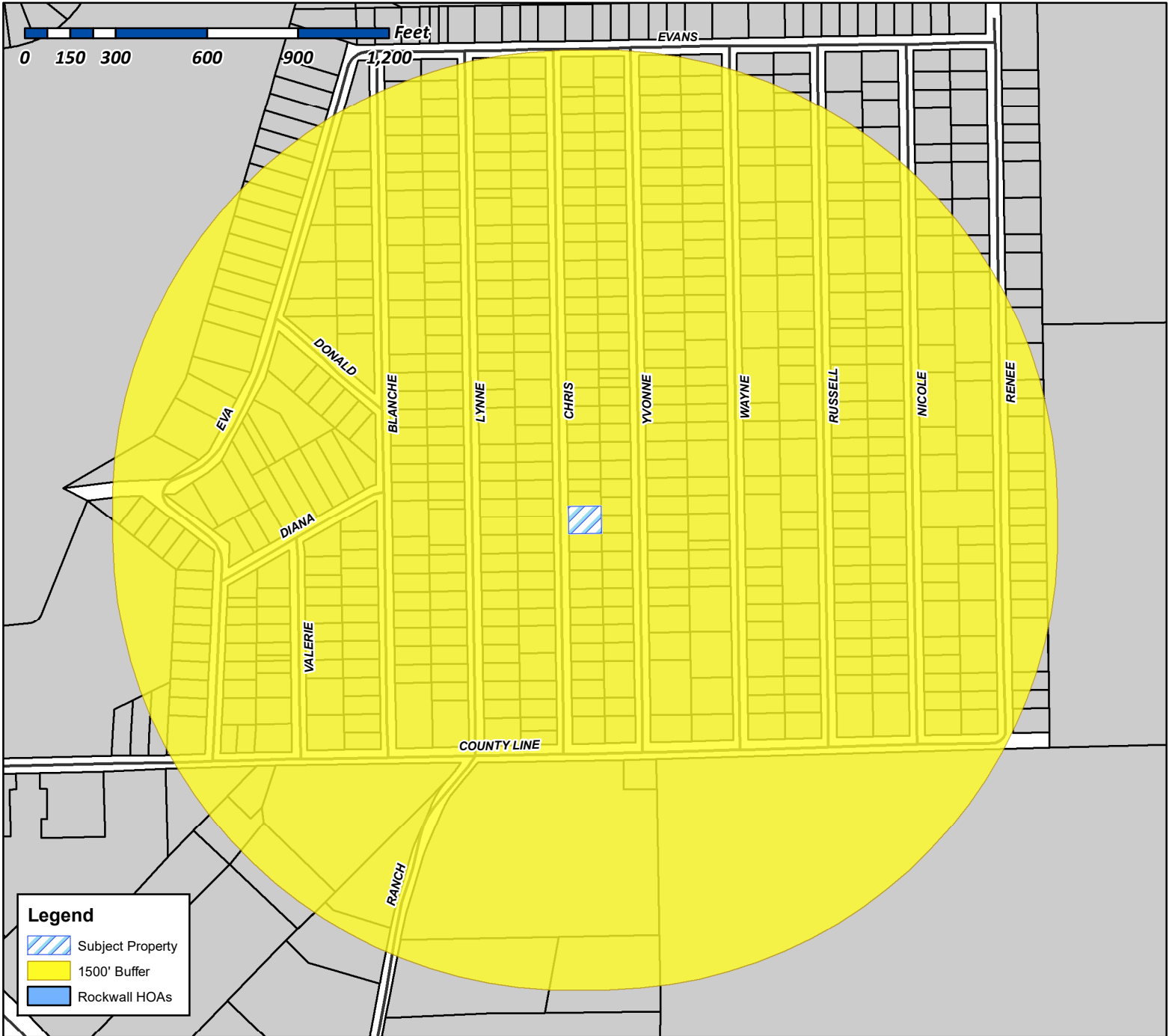




City of Rockwall

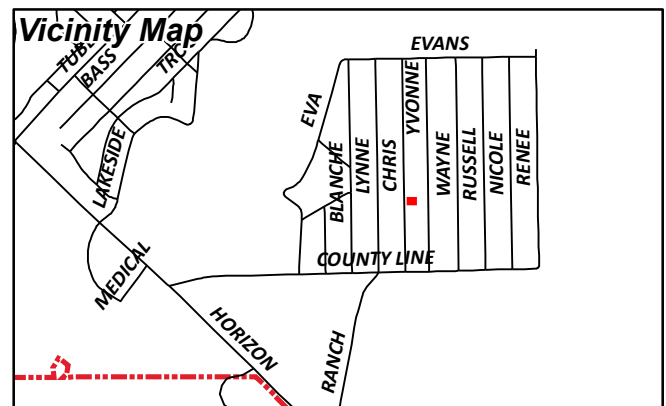
Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development 75 (PD-75)
District:
Case Address: 247 Chris Drive

Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

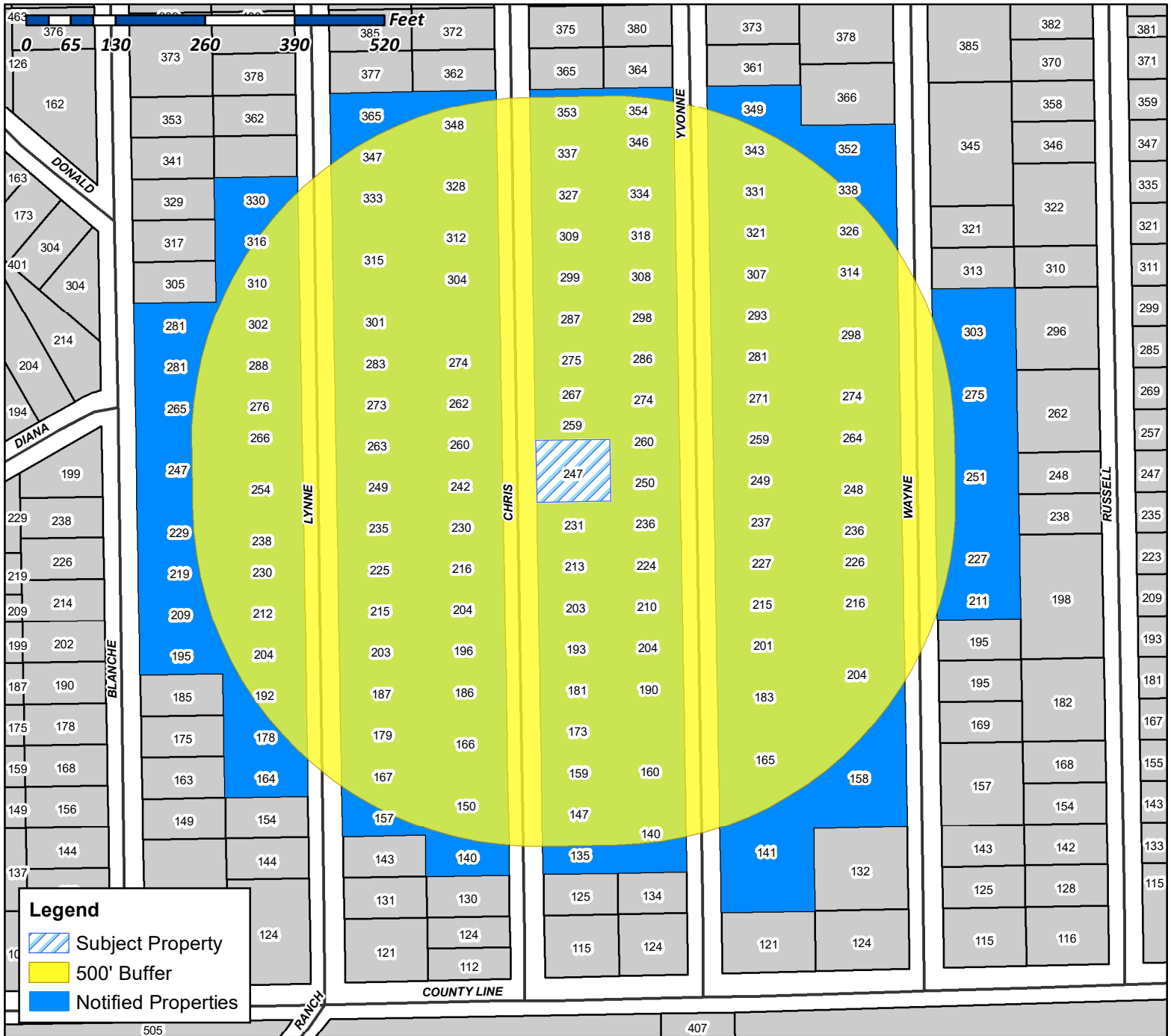




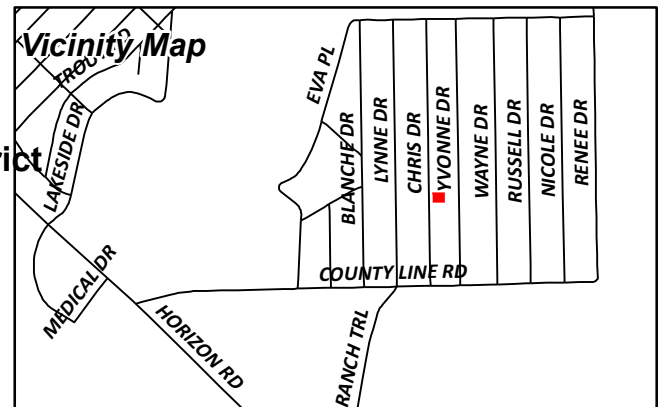
City of Rockwall

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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development-75 (PD-75) District
Case Address: 247 Chris Drive



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

GONZALES JOSE & INES
1059 LOCAL VISTA DR
DALLAS, TX 75217

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

CURRENT RESIDENT
135 CHRIS
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
140 OVERBROOK DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

OSORNIO EDUARDO
163 EASTRIDGE DR
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
179 LYNNE
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
186 CHRIS
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
192 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
193 CHRIS
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
196 CHRIS
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
203 CHRIS
ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J
203 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
204 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
204 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
204 WAYNE
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
210 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
211 WAYNE
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

PEREZ GILBERTO
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA
213 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
215 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
215 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
216 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
216 WAYNE
ROCKWALL, TX 75032

OSORNIO KEVIN
220 CRAWFORD LANE
ROYSE CITY, TX 75189

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
225 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
226 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
227 WAYNE
ROCKWALL, TX 75032

KENDALL LEAH T
227 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
230 LYNNE
ROCKWALL, TX 75032

PEREZ FERMIN &
YOLANDA GUEVARA
230 LYNNE DR
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
236 WAYNE
ROCKWALL, TX 75032

RAMIREZ MELESIO
236 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
237 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
238 LYNNE
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CURRENT RESIDENT
242 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
247 BLANCHE
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ
249 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
250 YVONNE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
254 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
259 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
259 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
260 CHRIS
ROCKWALL, TX 75032

DODSON CHARLES & GLENDA
260 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
262 CHRIS
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
264 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
265 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
266 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
267 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
271 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
273 LYNNE
ROCKWALL, TX 75032

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274 EASTRIDGE DR
ROYSE CITY, TX 75189

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
274 YVONNE
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
276 LYNNE
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
281 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
283 LYNNE
ROCKWALL, TX 75032

RICO ANTONIO
286 YVONNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
288 LYNNE
ROCKWALL, TX 75032

CHAPELA AARON JAIME
292 CHRIS
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
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GARCIA RICARDO
298 WAYNE DR
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298 YVONNE
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GREER RICHARD & MARLENE
299 CHRIS DR
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302 LYNNE
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RANGEL JORGE MIGUEL
302 S GOLIAD
ROCKWALL, TX 75087

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
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307 YVONNE
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CASTANEDA LUCERO ADILENE AND ALFREDO
TORRES
321 YVONNE DR
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HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

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330 LYNNE
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331 YVONNE
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

GODINEZ INOCENTE AND
CORDELIA ESPERANZA MONROY TUMIN
334 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

RUBIO LORENA & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

MOLINA MARLIN J & JAIME
340 YVONNE DR
ROCKWALL, TX 75032

SAAVEDRA SILVIA
343 YVONNE DR
ROCKWALL, TX 75032

GUADARRAMA TARCICIO &
MARIA M NAJERA
346 YVONNE DR
ROCKWALL, TX 75032

DIAZ JUAN
347 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
348 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
349 YVONNE
ROCKWALL, TX 75032

MORENO SALVADOR &
ANA MARGARITA RODRIGUEZ
352 LYNNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

FORTUNA FRANCISCO & LUISA
354 YVONNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO
365 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

VELASQUEZ JORGE
543 BASS RD
ROCKWALL, TX 75032

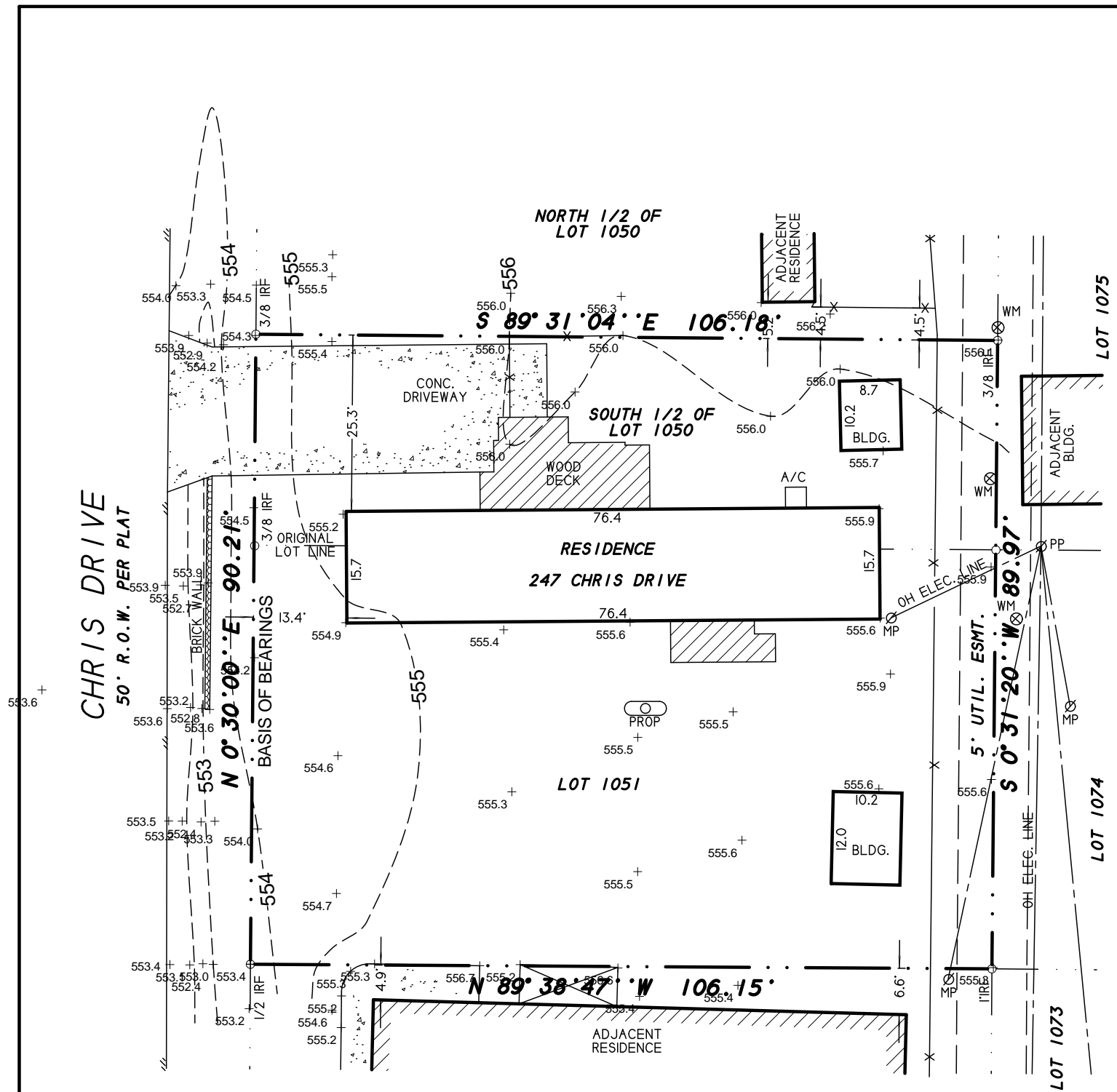
RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

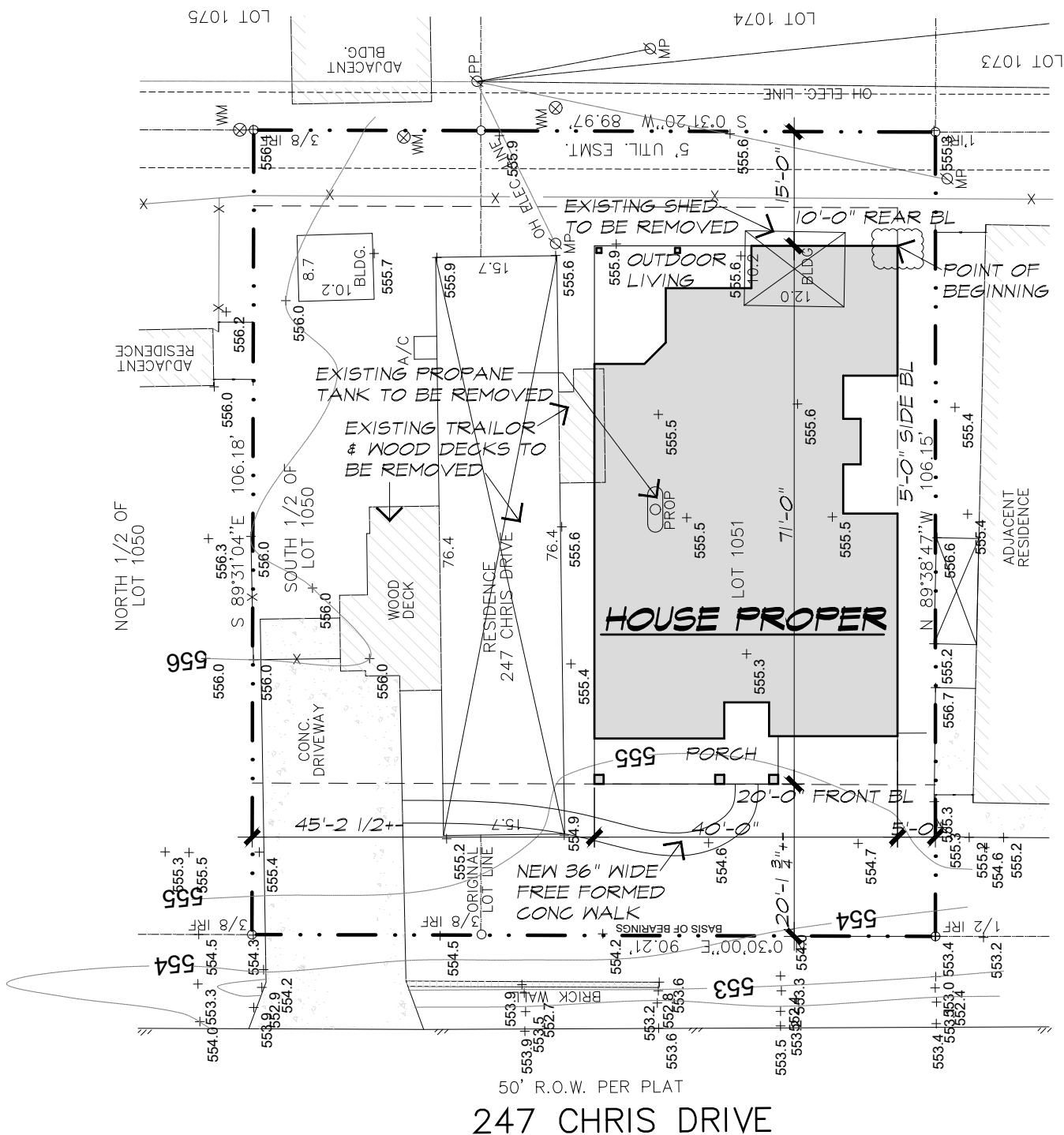
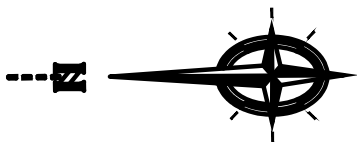
[Signature]
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
Ⓣ	Ⓜ	☎	Ⓜ	Ⓜ	Ⓜ
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE	1/2" IRF IRON ROD FOUND (CORNER)
Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ
ELEC. METER	ELEC. BOX	WM. METER	LP LIGHT POLE	A/C UNIT	PROP. TANK
---	---	---	---	---	---
FENCE	EASEMENT LINE	PROPERTY LINES			

SURVEY DATE	SEPTEMBER 16, 2019
SCALE	1" = 20'
CLIENT	JONES
FILE #	20100500
GF #	NONE

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NOTE:
EXISTING ITEMS NOT NOTED
TO BE REMOVED ARE TO
REMAIN

LOT AREA = 9563.87 SF
LOT COVERAGE = 27.44%

PLAN #PG 2244
DATE: 12/20/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

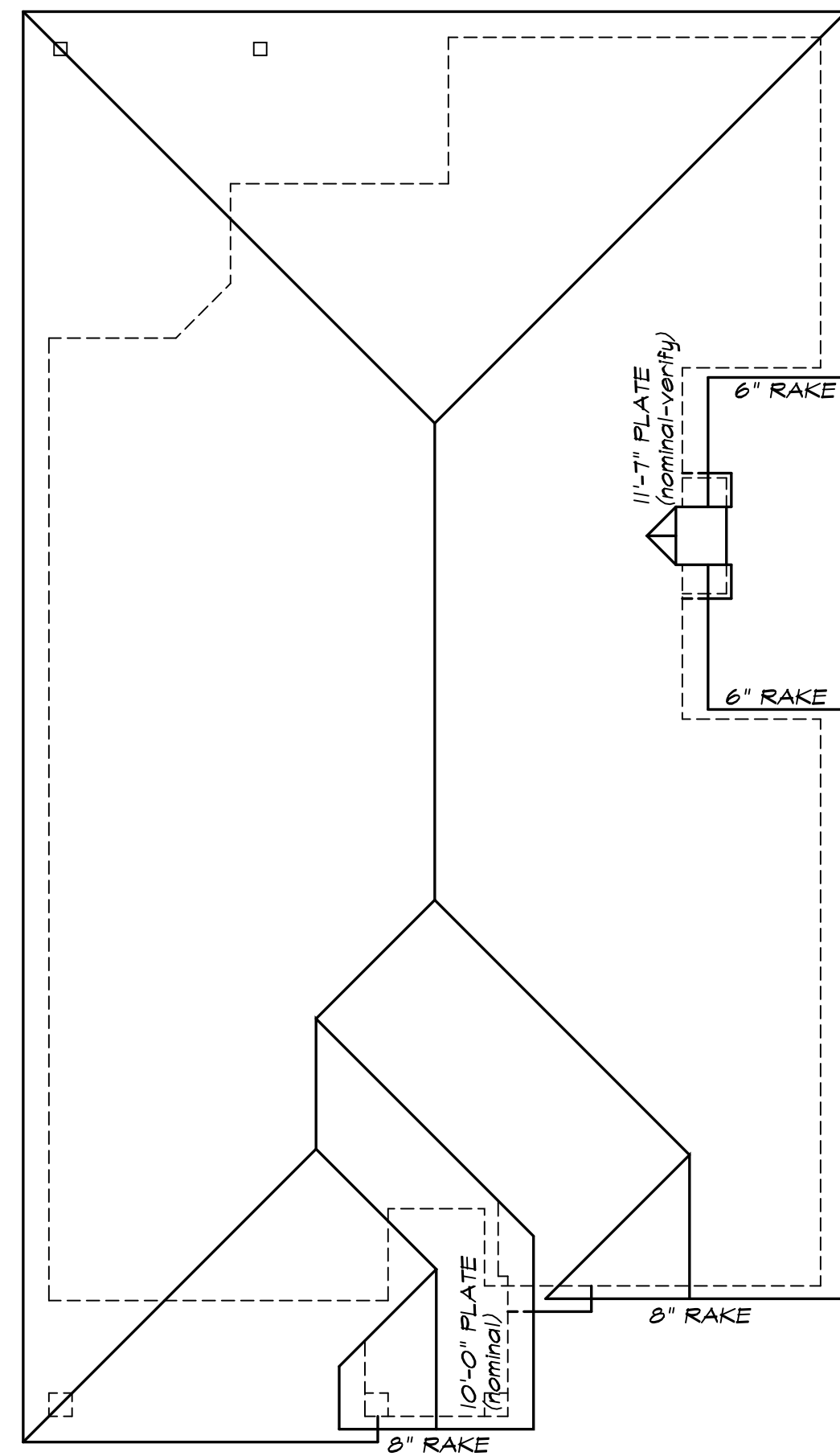
2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

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1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

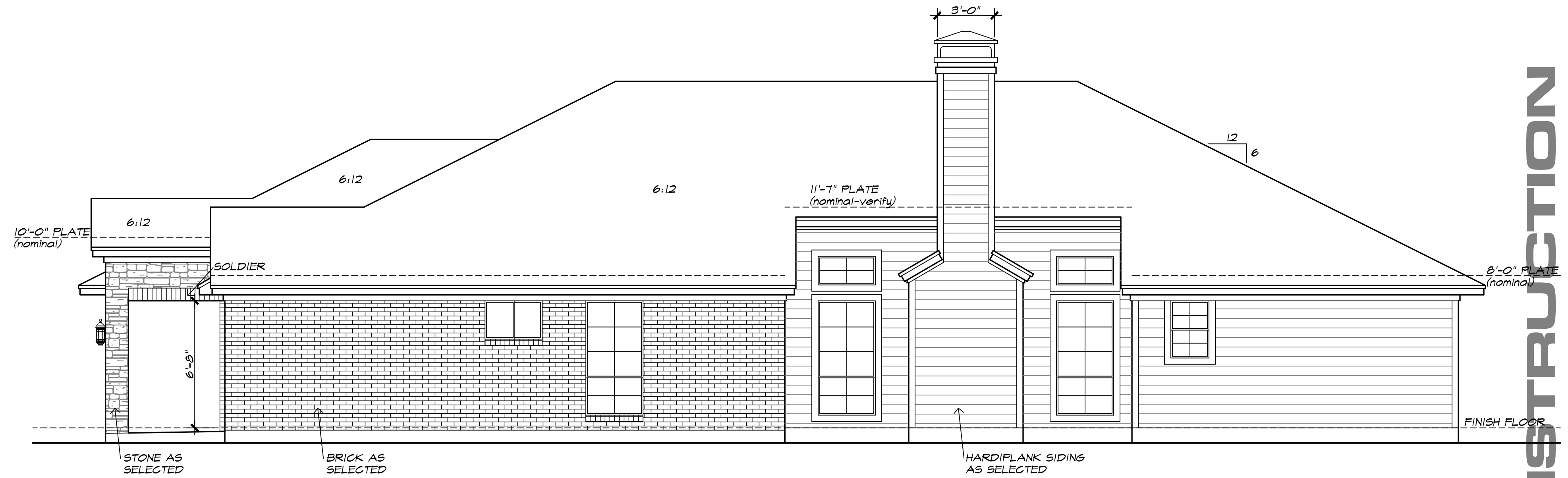
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



ROOF PLAN

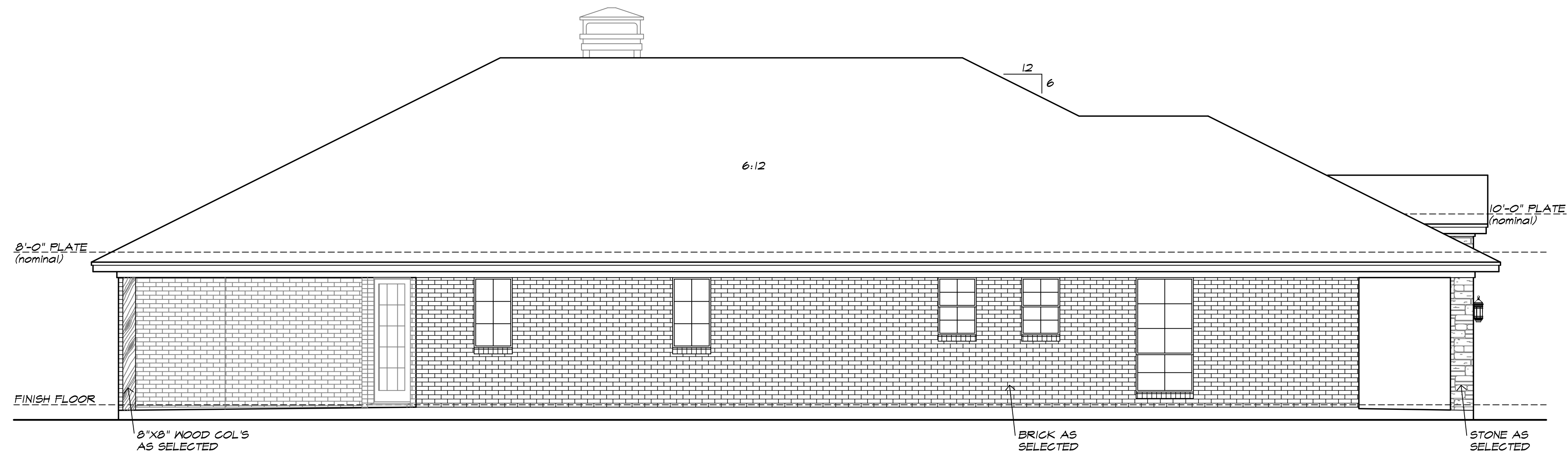
SCALE 1/8"=1'-0"

- * ROOF AS SPECIFIED @ 6:12
- * SCREENED CORNICE VENTS AS PER CODE
- * ATTIC VENTILATION AS PER CODE & AS SELECTED
- * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS AS PER OWNER BUILDER AGREEMENT
- * 8'-0" PLATE (NOMINAL) UNLESS NOTED



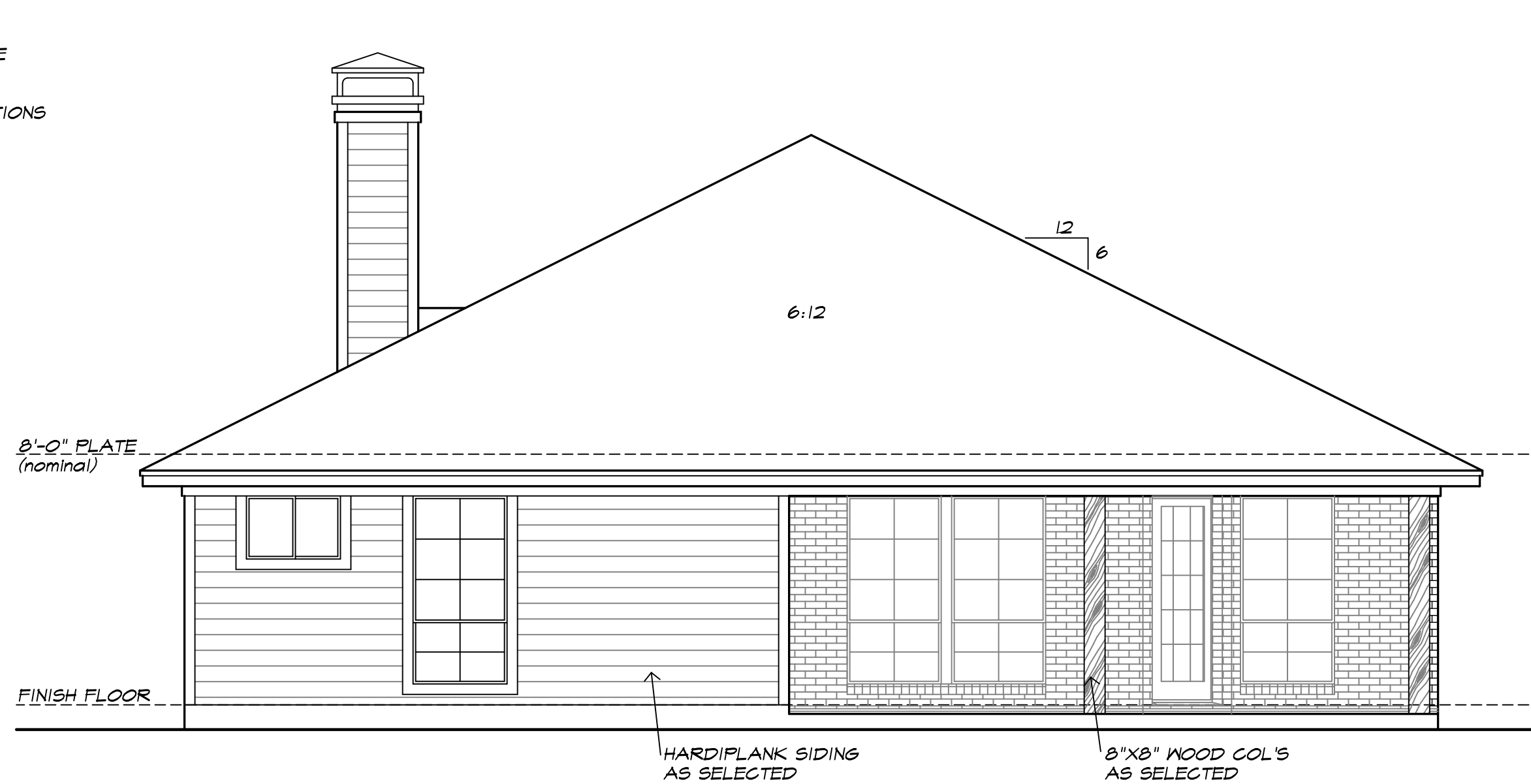
RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



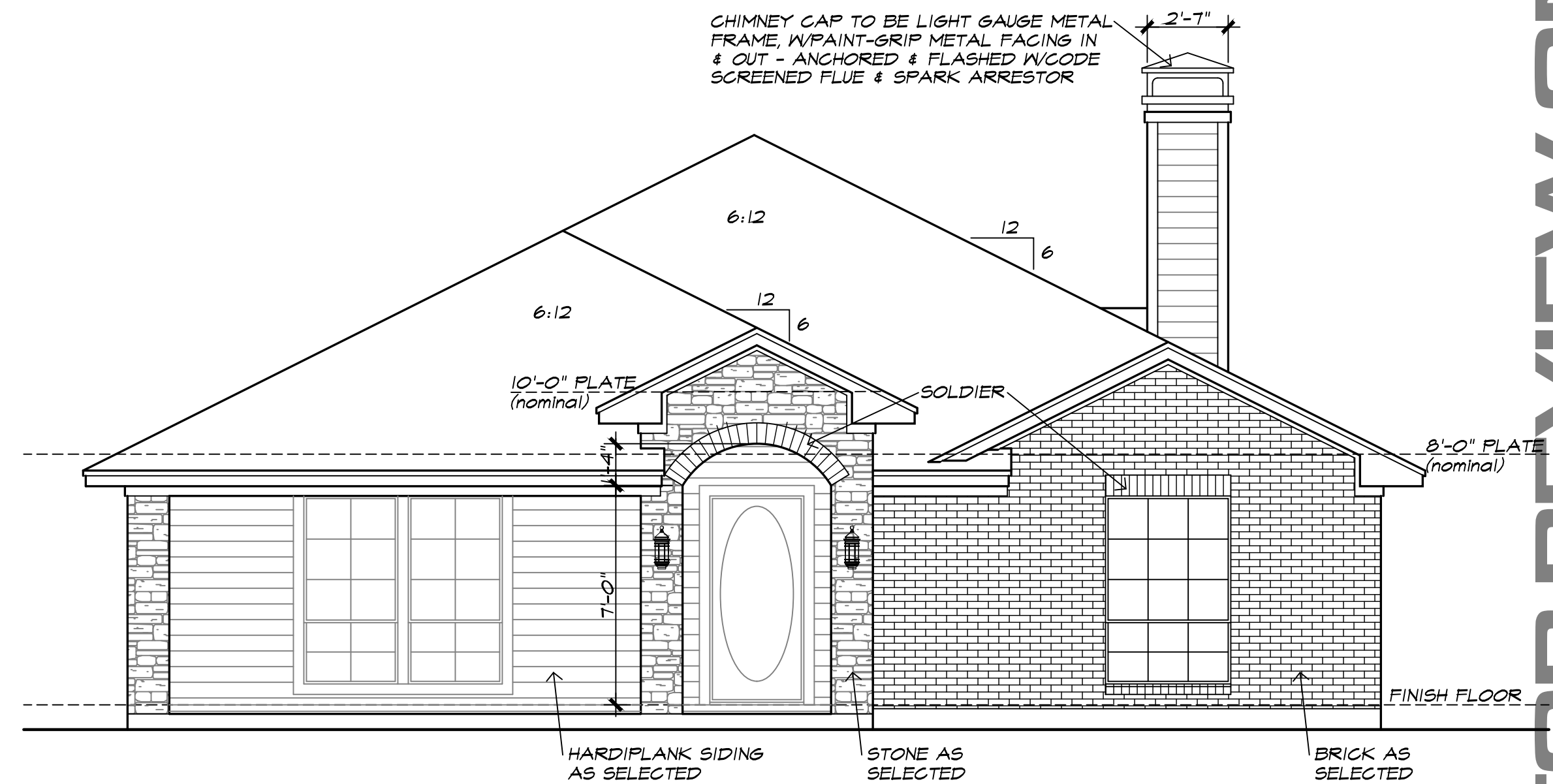
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

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FOR THE
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ROCKWALL, TEXAS**

M Rouse Designs

2307 HIGHLIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrouse@designs.com

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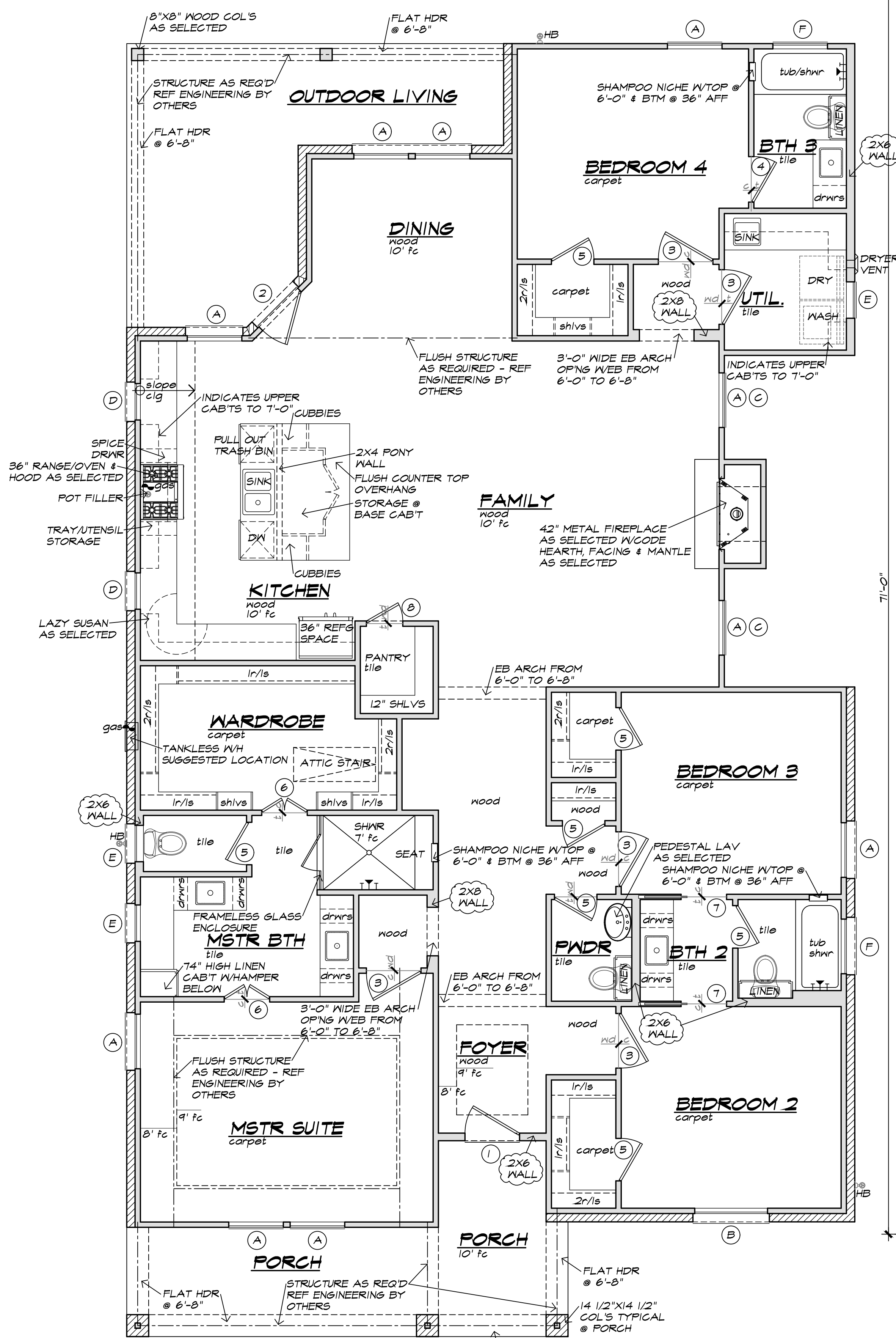
REVISED DATE
12/20/2019

SHEET
A2

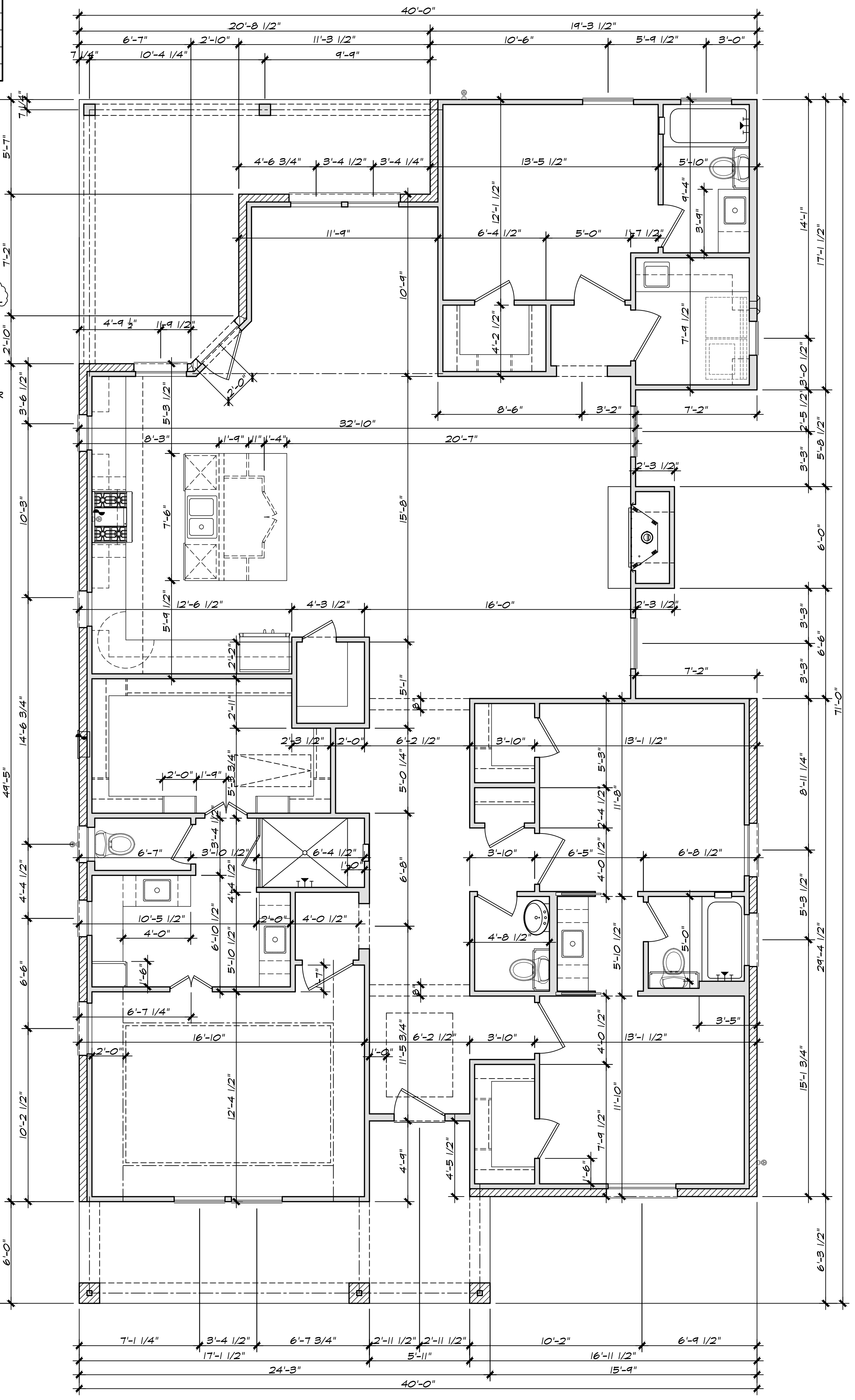
DESIGN NUMBER
PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be held responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be used for any other purpose. The contractor shall be responsible for all construction and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s) hereof, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

DOOR SCHEDULE				WINDOW SCHEDULE					
TYPE	SIZE	DESCRIPTION	#	TYPE	SIZE	DESCRIPTION	#		
1	STEEL ENTRY UNIT	3'-0" X 6'-8"	WROUGHT IRON INSERT AS SELECTED	1	A	SINGLE HUNG	3'-0" X 6'-0"	DIVIDED LITE @ 6'-8" HDR	10
2	SOLID CORE	3'-0" X 6'-8"	EXTERIOR FRENCH AS SELECTED	1	B	SINGLE HUNG	4'-0" X 6'-0"	DIVIDED LITE @ 6'-8" HDR	1
3	SOLID CORE	3'-0" X 6'-8"	INTERIOR AS SELECTED	5	C	FIXED	3'-0" X 1'-6"	DIVIDED LITE @ 9'-0" HDR	2
4	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED	1	D	FIXED	2'-0" X 3'-8"	DIVIDED LITE @ 9'-0" HDR	2
5	SOLID CORE	2'-4" X 6'-8"	INTERIOR AS SELECTED	6	E	SINGLE HUNG	2'-0" X 3'-0"	DIVIDED LITE @ 6'-8" HDR	3
6	SOLID CORE	PR 1'-3" X 6'-8"	INTERIOR AS SELECTED	2	F	HORIZ SLDR	3'-0" X 2'-0"	@ 6'-8" HDR	2
7	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED POCKET	2					
8	SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED	1					



NOTATION PLAN
SCALE 1/4"=1'-0"



DIMENSION PLAN
SCALE 1/4"=1'-0"

GENERAL NOTES
(WHERE APPLICABLE)

- All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C. w/ 1/2" plywood sheathing w/outer vapor barrier, unless noted otherwise. (Blocked @ Midspan) & as per code.
- Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- All metal fireplaces to be top of the line-double lined (min)-code units as per mfg. (W/gas logs optional).
- All fireplaces to have tile, marble, or brick hearths & facing, as per builder, & as selected by owner.
- All shelving to be 3/4" V-grooving supported at edges & on, 4" O.C. (Bookshelves to have hidden "Ribbon" lighting-optional).
- All closets to have at least one single rod & two shelves, unless noted otherwise. W/mad to top hardware. Most to have 2 rods, 2 shelves or more as per builder.
- All exterior doors, garage, and attic doors to be weather stripped.
- All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above).
- Kitchen counter tops to be formica, granite or stone w/turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/dispensers, down-draft cooktop (w/6 optional burners & w/grill as selected). Refrigerator to have water supply w/out-off. All plugs to be GFI. (As required by code).
- Stairs to have optional step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/4" clear spacing. Swardrails to be 42" high.
- All bath vanities to be marble or stone (w/optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder).
- All doors to have flanges and drawer, caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
- Ridges and valleys are to be braced down to proper support, through to foundation support.
- Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out w/rafter. (See builder/engineer).
- All ceiling corners at main rooms to have molding. (Verify mtdg-cls).
- Windows to be wood or metal, double pane insulated, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- Window sills & casing to be wood or drywall.
- All main drywall corners to have Bull-Nose. (optional).
- Connect gutters and downspouts to an underground drainage piping system. (Verify w/owner and builder/engineer).
- All brick arches & designs w/reinforcing, & w/type "S" mortar.
- Brick columns to have treated wood post insulator, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- All yard hydrants to be freeze proofed.
- Provide high "R" ratings for attics, floors & walls. (optional).
- All gas appliances to have code vents.
- All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/drain.
- A/C ducts should be routed around most usable attic space.
- Dryer vents to be outside.
- Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- Radiant barriers are optional.
- Uniform cornice vents @ entire perimeter, screened w/insulation baffled for air flow.
- Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder).
- All long span ceilings to be stripped 2" O.C. w/1x4 leveling. (optional).
- All rafter spans to be braced 12" O.C. maximum. (see eng.).
- All ridges and beam connections to have metal clips & nailing. (see eng.).

Adapted Construction Codes:

2015 International Residential Code with local amendments
2015 International Building Code with local amendments
2015 International Plumbing Code with local amendments
2015 International Fuel Gas Code with local amendments
2015 International Mechanical Code with local amendments
2015 International Energy Conservation Code with local amendments
2015 International Existing Building Code with local amendments
2014 National Electrical Code with local amendments

AREAS	
TOTAL LIVING (AG)	2244.56 SQ. FT.
PORCH	178.98 SQ. FT.
OUTDOOR LIVING	205.79 SQ. FT.
TOTAL COVERAGE	2624.33 SQ. FT.

- GENERAL NOTES:**
- ALL FINISHED CEILING @ 8'-0" AFF UNLESS NOTED
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - ALL 45° & 45° UNLESS NOTED OTHERWISE
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
 - ALL PLATE LINES AS NOTED ON ELEVATIONS
 - ALL WINDOW HEADERS AS NOTED
 - WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
 - ALL INTERIOR FINISHES TO BE AS SELECTED UNLESS NOTED
 - ALL VANITIES TO BE 36" HIGH

- INDOOR AIR QUALITY MEASURES**
- AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
 - AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
 - AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE
 - EXTERIOR DOORS TO HAVE PROPER WEATHER STRIPPING

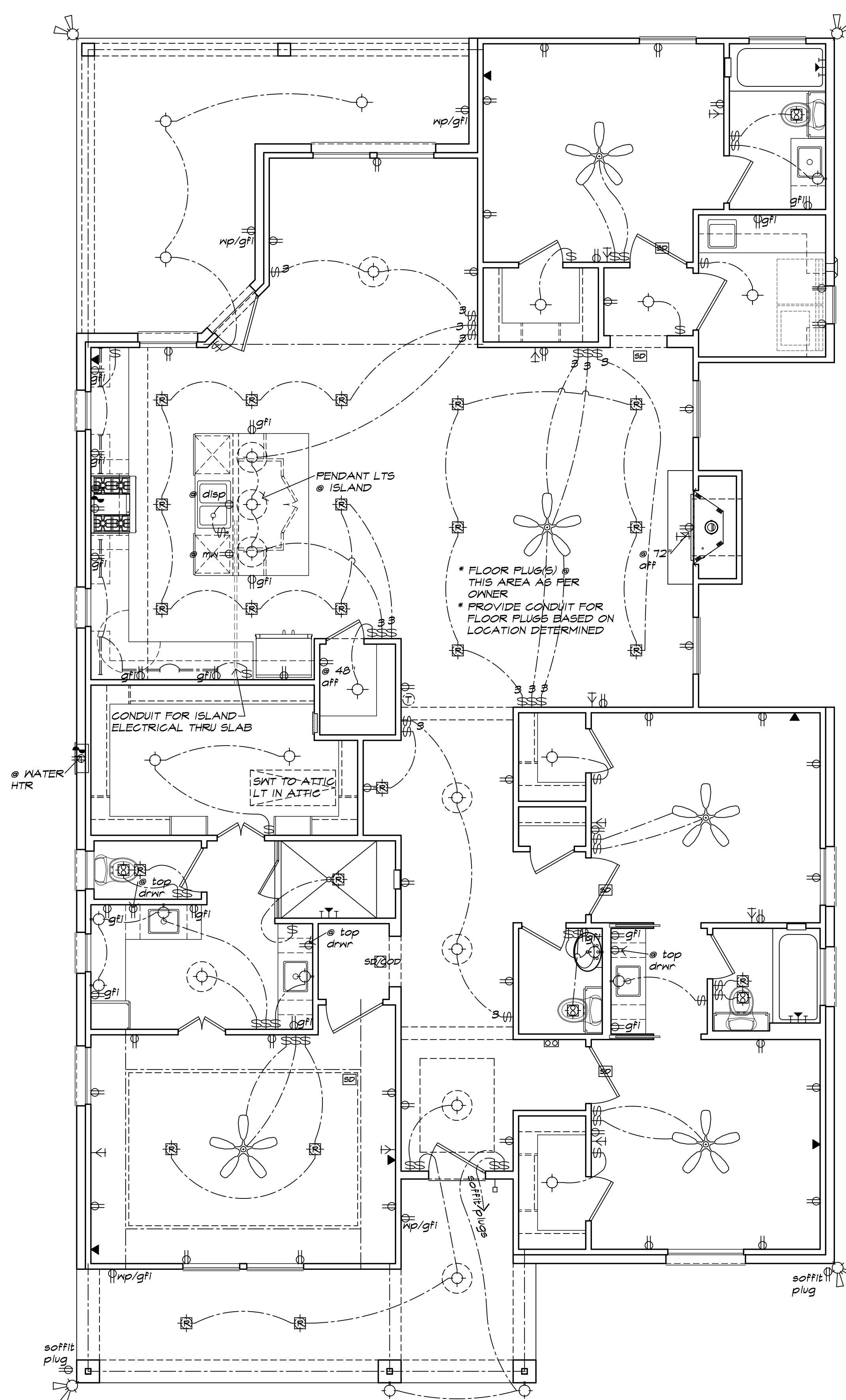
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A CUSTOM RESIDENCE FOR THE GUARDIOLA FAMILY ROCKWALL, TEXAS

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SACHSE, TEXAS 75048
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REVISED DATE
SHEET AI
DESIGN NUMBER PG 2244



LIGHTING & ELECTRICAL LEGEND

▼	LANDLINE - OPTIONAL
⏏	SWITCH
⊙	6"Ø RECESSED LIGHT UNLESS NOTED
⊙	RECESSED EXHAUST FAN
⊙	SURFACE MOUNTED WALL LIGHT
⊙	HANGING LIGHT
⊙	DUPLEX RECEPTACLE
⊙	220 RECEPTACLE
⊙	DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
⊙	DUPLEX GROUND FAULT INTERRUPTER
⊙	TV OUTLET (CAT 6)
⊙	SMOKE DETECTOR
⊙	PUSH BUTTON TO CHIME
⊙	DOOR CHIME
⊙	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
⊙	CEILING FAN w/LIGHT KIT UNLESS NOTED
⊙	SMOKE/CARBON MONOXIDE DETECTOR
⊙	THERMOSTAT
⊙	PUSH/AIR GARBAGE DISPOSAL SWITCH
⊙	SURFACE LIGHT
⊙	D-MARK DATA CONNECTION POINT
⊙	UNDER/OVER CABINET FLUORESCENT LIGHT

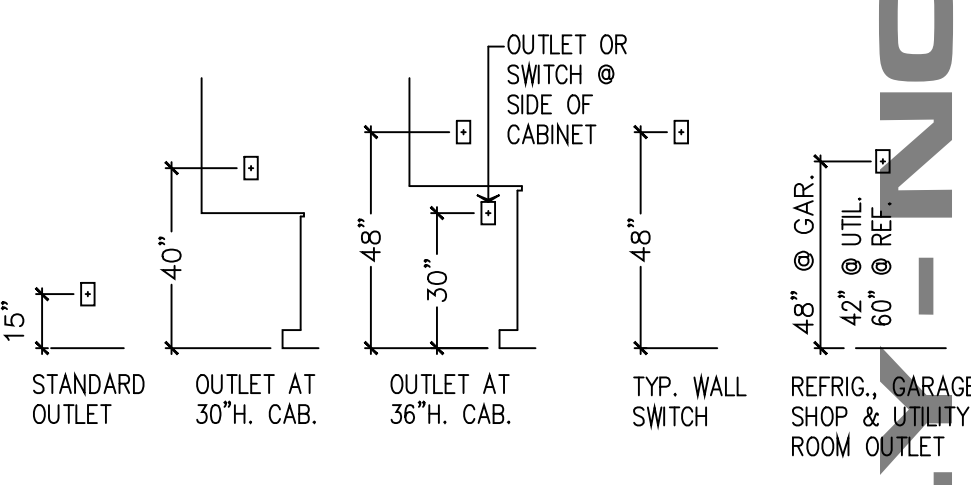
NOTE
 * ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT

ELECTRICAL NOTES

(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

* ALL LANDSCAPING LIGHTING & JUNCTION BOX LOCATIONS TO BE BY OTHERS & AS PER OWNER BUILDER AGREEMENT
 * CARRIAGE LTS TO BE @ 6'-0" AFF
 * SEE OWNER FOR ATTIC LIGHTING & PREFERRED PLACEMENT



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

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 FOR THE
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 ROCKWALL, TEXAS**

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REVISED DATE
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SHEET
 A3

DESIGN NUMBER
 PG 2244

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City of Rockwall Project Plan Review History



Project Number Z2020-019	Owner GUARDIOLA, GUADALUPE J	Applied 5/15/2020 AG
Project Name SUP for 247 Chris Drive	Applicant J.W.JONES	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status NEED REVISIONS		Status 5/17/2020 RM

Site Address 247 CHRIS	City, State Zip ROCKWALL, TX 75032	Zoning
----------------------------------	--	---------------

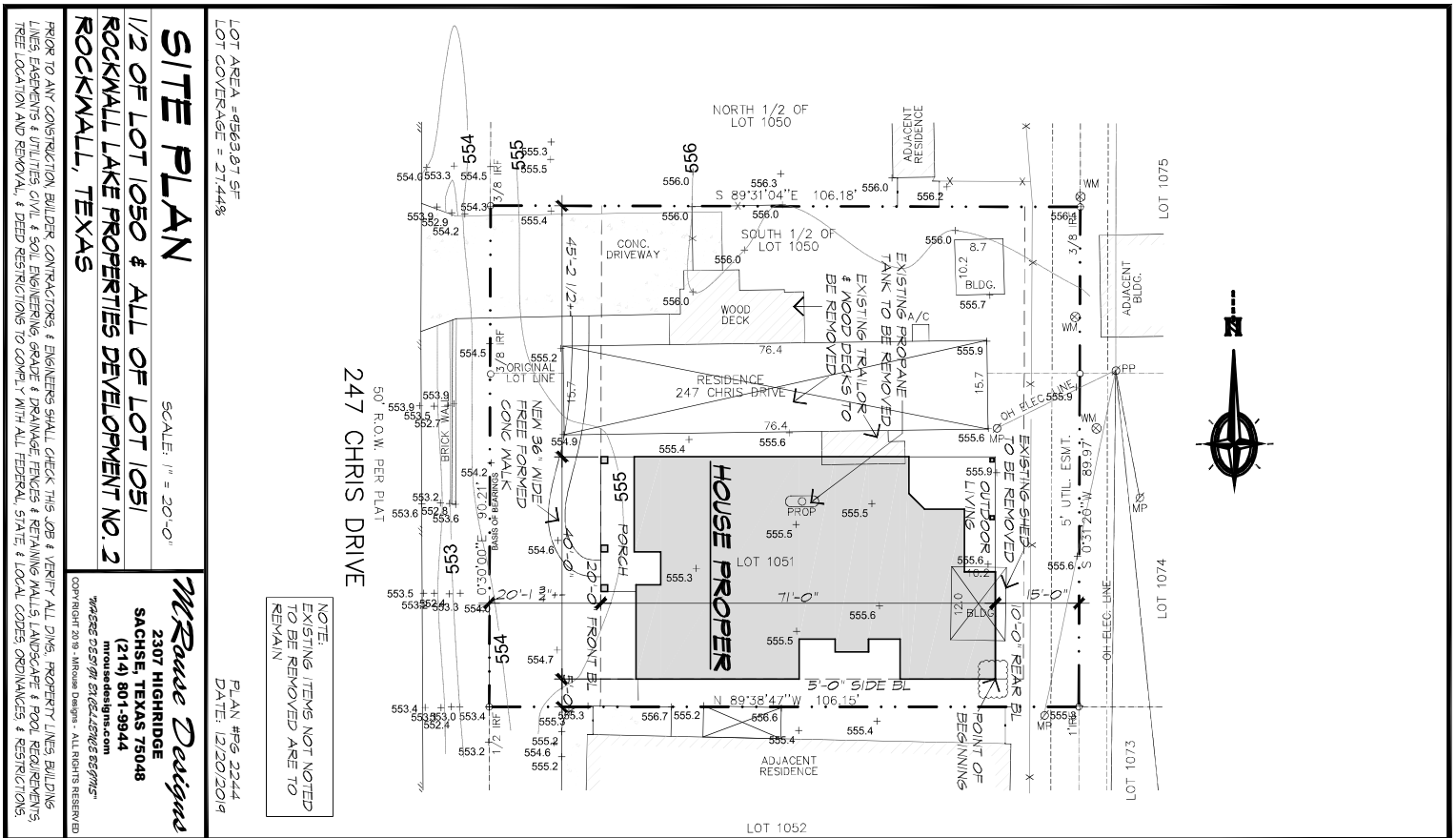
Subdivision ROCKWALL LAKE ESTATES PH2	Tract 1051 & S 1/2 OF 1050	Block	Lot No 1051 & S 1	Parcel No 5380-0000-1051-00-OR	General Plan
---	--------------------------------------	--------------	-----------------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/15/2020	5/22/2020	5/18/2020	3	APPROVED	
ENGINEERING (5/20/2020 9:27 AM SJ) M - Must dedicate a 10' utility easement along the south property line. There is a sewer line running along the property line. M - Must dedicate a 10' utility easement along frontage on Chris Dr. I - If you are going to reconstruct the driveway, you will need to get an engineered design of the driveway culvert I - Remove the brick wall from the City ROW.	Sarah Johnston	5/15/2020	5/22/2020	5/20/2020	5	COMMENTS	See Comments
FIRE	Ariana Hargrove	5/15/2020	5/22/2020	5/19/2020	4	APPROVED	
PLANNING	Ryan Miller	5/15/2020	5/22/2020	5/17/2020	2	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-019; Specific Use Permit (SUP) for Residential Infill for 247 Chris Drive						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This request is for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates#2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, and addressed as 247 Chris Drive.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at(972) 772-6441 or email rmiller@rockwall.com.						
M.3 For reference, include the case number (Z2020-019) in the lower right-hand corner of all pages on future submittals						
I.4 According to Subsection02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that[1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten(10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than10 years.						
I.5 Subsection02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that “(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision”						
M.6 Based on the information submitted staff has the following questions concerning this request						
(1) Is there is a garage or carport being proposed for the property?						
(2) The drawings submitted appear to be partially for this property and partially for a propertyat901 E. Brand Road in Garland, Texas. Will you clarify which elevation is being proposed for the subject property? Staff used PG2244 to prepare the draft ordinance						
M.7 Prior to the issuance of a building permit the subject property will need to be replatted, and a demolition permit will need to be issued for the removal of the existing trailer.						
M.8 Please review the attached Draft Ordinance prior to the May26, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 2, 2020.						
I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 2, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June9, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May26, 2020.						
I.10 The projected City Council meeting dates for this case will be June 15, 2020 [1st Reading] and July 6, 2020 [2nd Reading].						
I.11 Due to the current COVID-19 situation, the Planning and Zoning Commission Work Session Meeting will be held both in person and via Zoom. Your case will require a representative to answer the Planning and Zoning Commission's questions either via Zoom or in person. Should you have any questions or concerns please contact staff prior to the day of the meeting to discuss						

M - Must dedicate a 10' utility easement along the south property line. There is a sewer line running along the property line.
 M - Must dedicate a 10' utility easement along frontage on Chris Dr.

I - If you are going to reconstruct the driveway, you will need to get an engineered design of the driveway culvert
 I - Remove the brick wall from the City ROW.



LOT AREA = 4563.07 SF
 LOT COVERAGE = 21.44%

SITE PLAN

SCALE: 1" = 20'-0"

1/2 OF LOT 1050 & ALL OF LOT 1051
 ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
 ROCKWALL, TEXAS

Mousse Designs

2307 HIGHRIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mousse designs.com

PRIOR TO ANY CONSTRUCTION, BUILDER CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS, PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE & LOCAL CODES, ORDINANCES, & RESTRICTIONS.
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NOTE:
 EXISTING ITEMS NOT NOTED
 TO BE REMOVED ARE TO
 REMAIN

PLAN #RG 2244
 DATE: 12/20/2019

LOT 1052



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address 247 CHRIS DR.

Subdivision ROCKWALL LAKE PROPERTIES

General Location South of Interstate 30

Development No. 2
Lot 1051 Block _____
and 1/2 of Lot 1050

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning Residential

Current Use Residential

Proposed Zoning Residential-Specific Use Permit

Proposed Use Residential

Acreage Less than one Acre Lots [Current] 1 1/2

Lots [Proposed] 1 1/2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

Owner

Applicant J.W. Jones

Contact Person

Contact Person J.W. Jones

Address

Address 555 N. 5th St.
Suite 113

City, State & Zip

City, State & Zip GARLAND TX 75040

Phone

Phone 214-535-2850

E-Mail

E-Mail Jayjones1941@hotmail.com

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared J.W. Jones (the undersigned), who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of May, 20 20

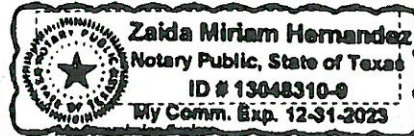
APPLICANTS

Applicant's Signature


J.W. Jones

Notary Public in and for the State of Texas

Zaida Miriam Hernandez



0 20 40 80 120 160 Feet

Z2020-019- SUP FOR 247 CHRIS DRIVE
ZONING - LOCATION MAP = 



PD-75

CHRIS

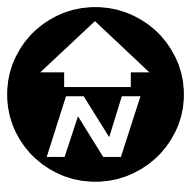
YVONNE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

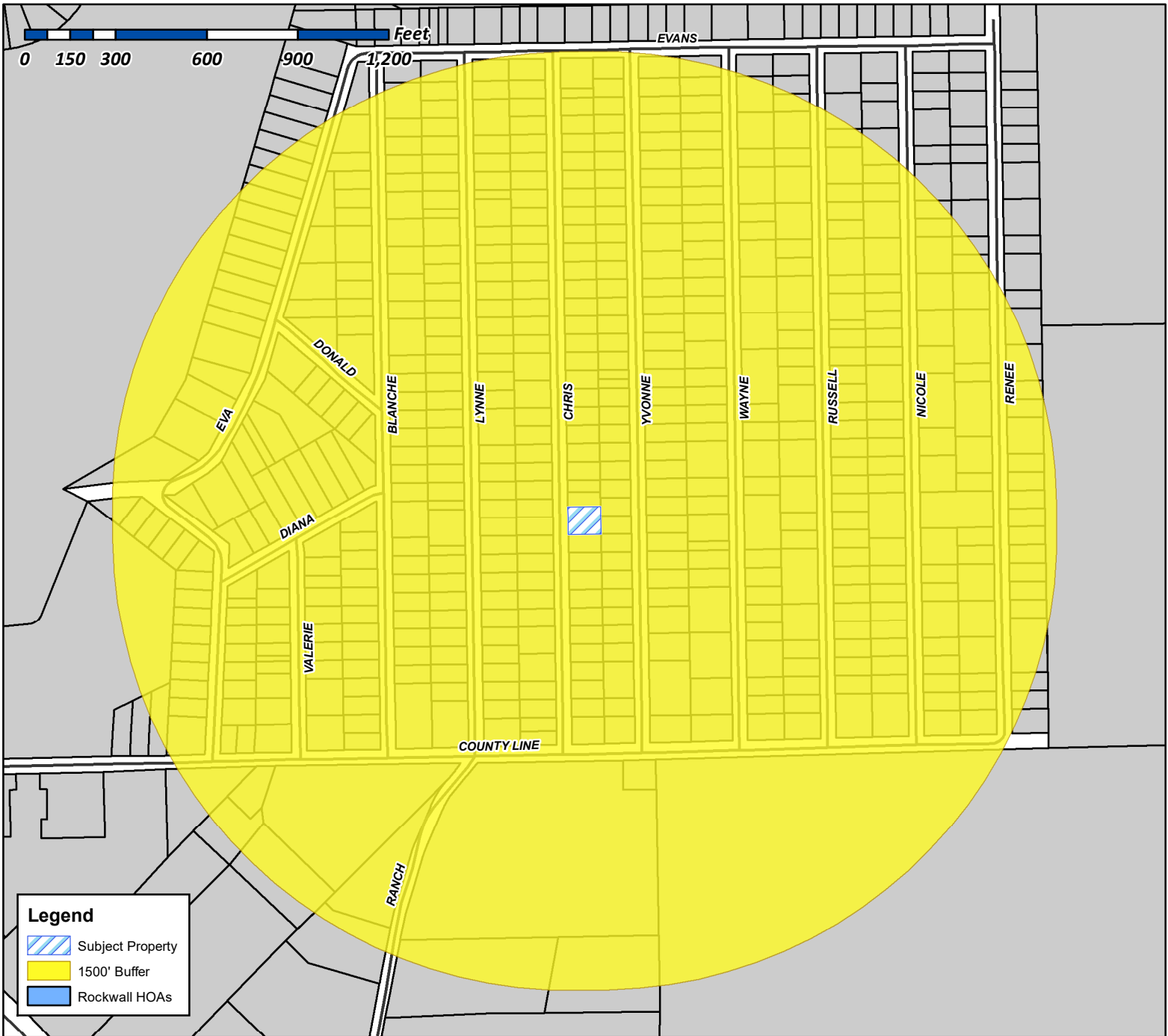




City of Rockwall

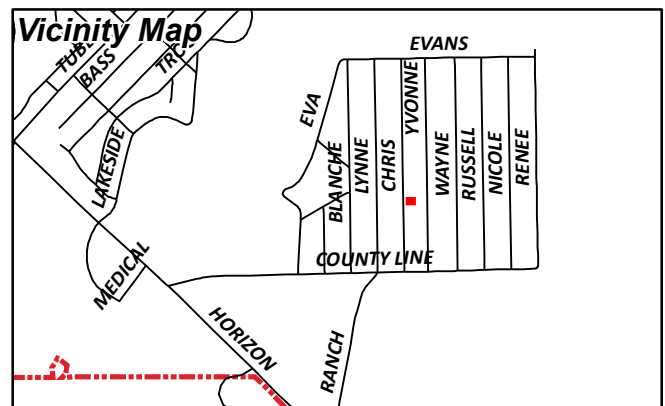
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development 75 (PD-75)
 District
Case Address: 247 Chris Drive

Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745

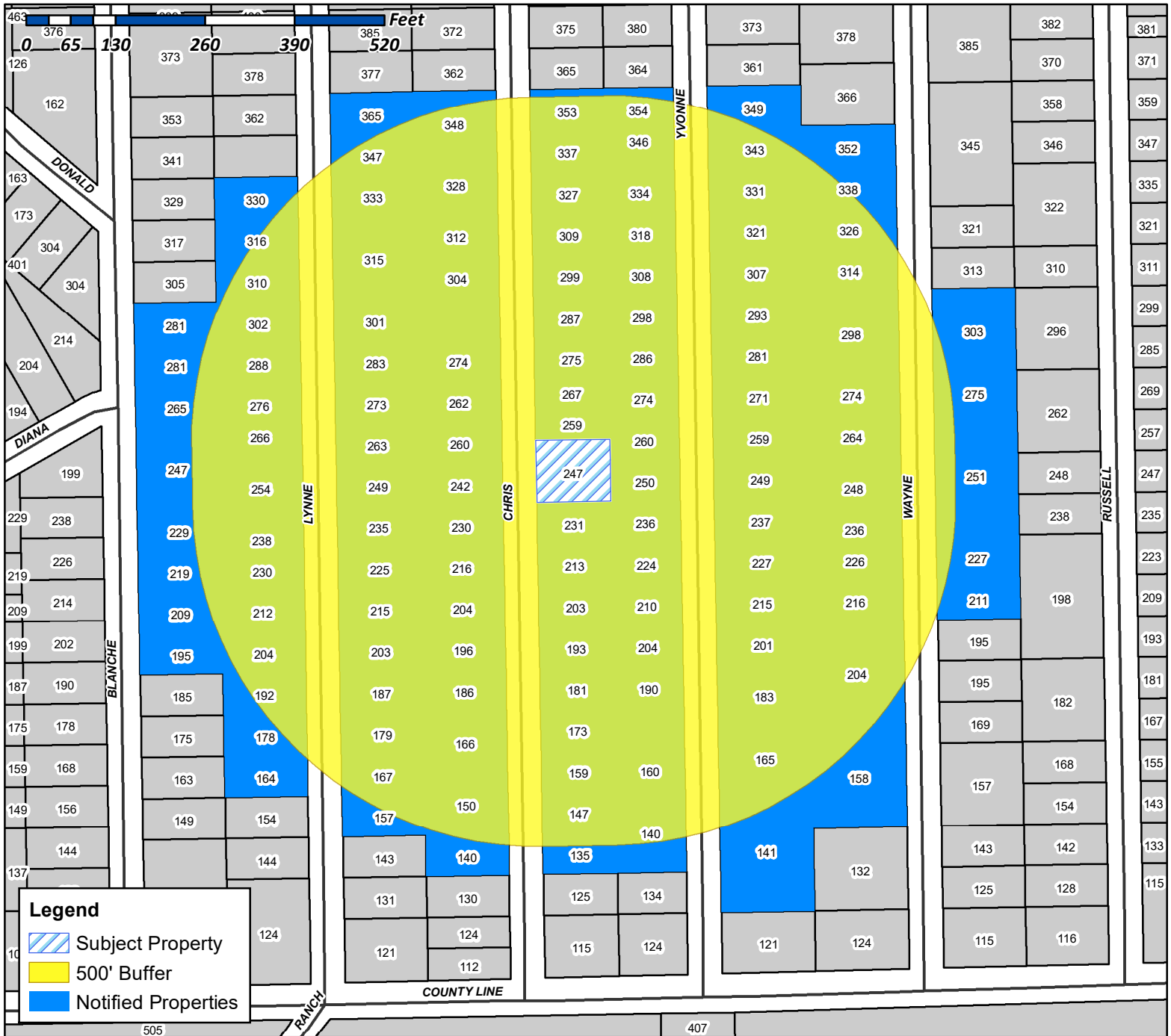




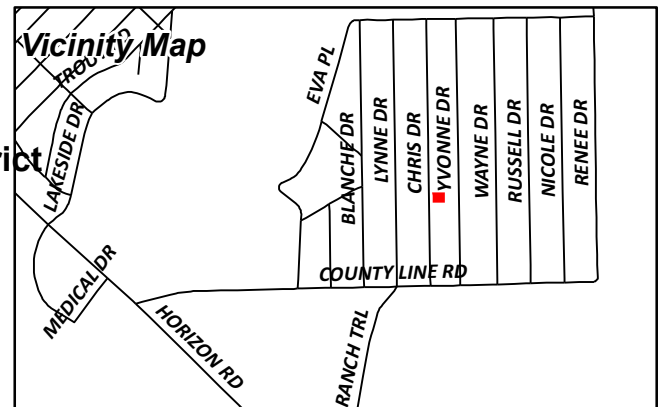
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development-75 (PD-75) District
Case Address: 247 Chris Drive



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

GONZALES JOSE & INES
1059 LOCAL VISTA DR
DALLAS, TX 75217

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

CURRENT RESIDENT
135 CHRIS
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
140 OVERBROOK DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

OSORNIO EDUARDO
163 EASTRIDGE DR
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
179 LYNNE
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
186 CHRIS
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
192 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
193 CHRIS
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
196 CHRIS
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
203 CHRIS
ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J
203 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
204 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
204 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
204 WAYNE
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
210 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
211 WAYNE
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

PEREZ GILBERTO
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA
213 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
215 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
215 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
216 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
216 WAYNE
ROCKWALL, TX 75032

OSORNIO KEVIN
220 CRAWFORD LANE
ROYSE CITY, TX 75189

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
225 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
226 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
227 WAYNE
ROCKWALL, TX 75032

KENDALL LEAH T
227 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
230 LYNNE
ROCKWALL, TX 75032

PEREZ FERMIN &
YOLANDA GUEVARA
230 LYNNE DR
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
236 WAYNE
ROCKWALL, TX 75032

RAMIREZ MELESIO
236 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
237 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
238 LYNNE
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CURRENT RESIDENT
242 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
247 BLANCHE
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ
249 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
250 YVONNE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
254 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
259 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
259 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
260 CHRIS
ROCKWALL, TX 75032

DODSON CHARLES & GLENDA
260 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
262 CHRIS
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
264 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
265 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
266 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
267 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
271 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
273 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
274 CHRIS
ROCKWALL, TX 75032

GUEVARA ELIAS
274 EASTRIDGE DR
ROYSE CITY, TX 75189

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
274 YVONNE
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
276 LYNNE
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
281 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
283 LYNNE
ROCKWALL, TX 75032

RICO ANTONIO
286 YVONNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
288 LYNNE
ROCKWALL, TX 75032

CHAPELA AARON JAIME
292 CHRIS
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
ROCKWALL, TX 75032

GARCIA RICARDO
298 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
298 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
302 LYNNE
ROCKWALL, TX 75032

RANGEL JORGE MIGUEL
302 S GOLIAD
ROCKWALL, TX 75087

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
308 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
309 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
310 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
312 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
314 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
315 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
316 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
318 YVONNE
ROCKWALL, TX 75032

CASTANEDA LUCERO ADILENE AND ALFREDO
TORRES
321 YVONNE DR
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
330 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
331 YVONNE
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

GODINEZ INOCENTE AND
CORDELIA ESPERANZA MONROY TUMIN
334 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

RUBIO LORENA & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

MOLINA MARLIN J & JAIME
340 YVONNE DR
ROCKWALL, TX 75032

SAAVEDRA SILVIA
343 YVONNE DR
ROCKWALL, TX 75032

GUADARRAMA TARCICIO &
MARIA M NAJERA
346 YVONNE DR
ROCKWALL, TX 75032

DIAZ JUAN
347 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
348 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
349 YVONNE
ROCKWALL, TX 75032

MORENO SALVADOR &
ANA MARGARITA RODRIGUEZ
352 LYNNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

FORTUNA FRANCISCO & LUISA
354 YVONNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO
365 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

VELASQUEZ JORGE
543 BASS RD
ROCKWALL, TX 75032

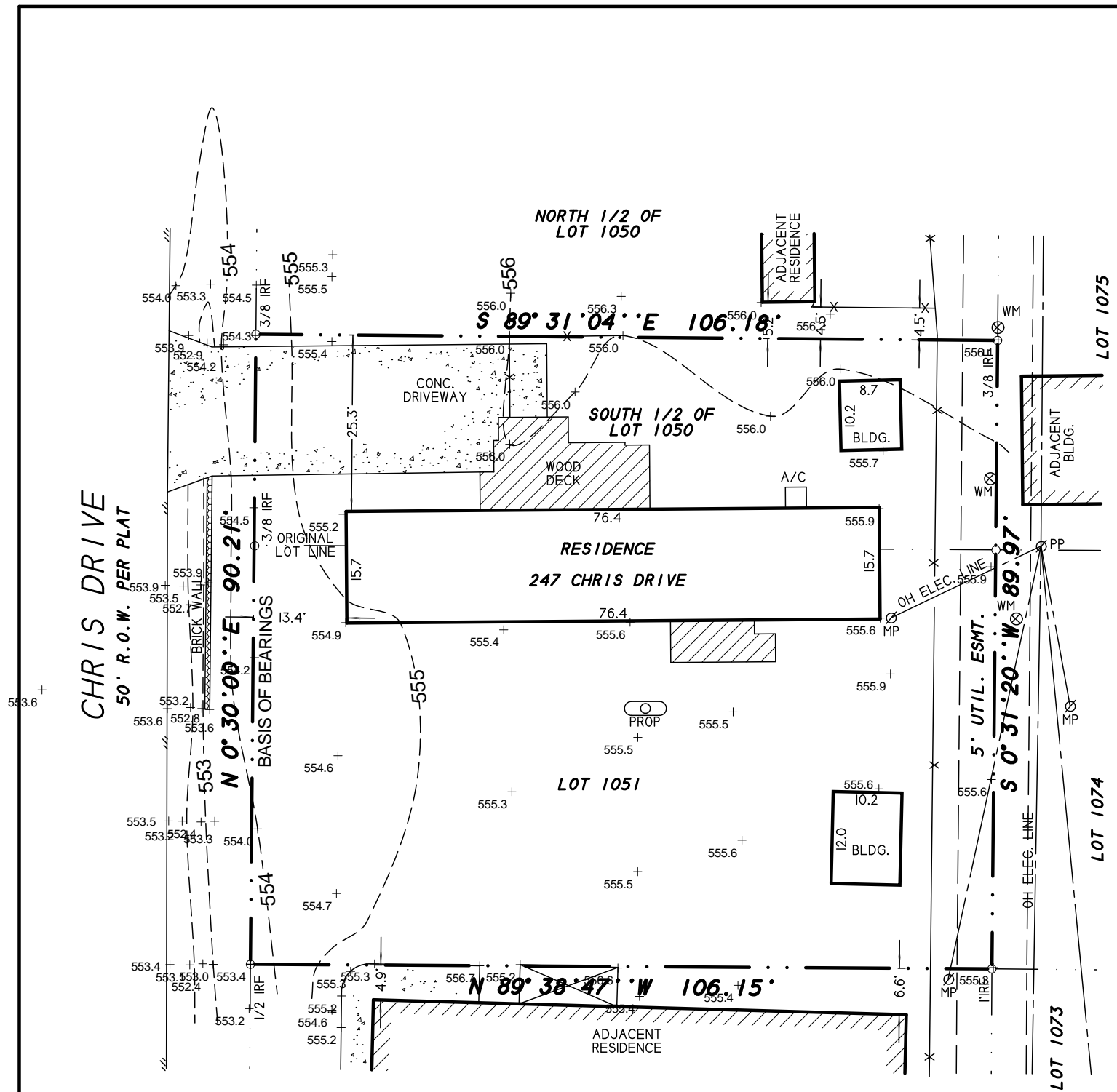
RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

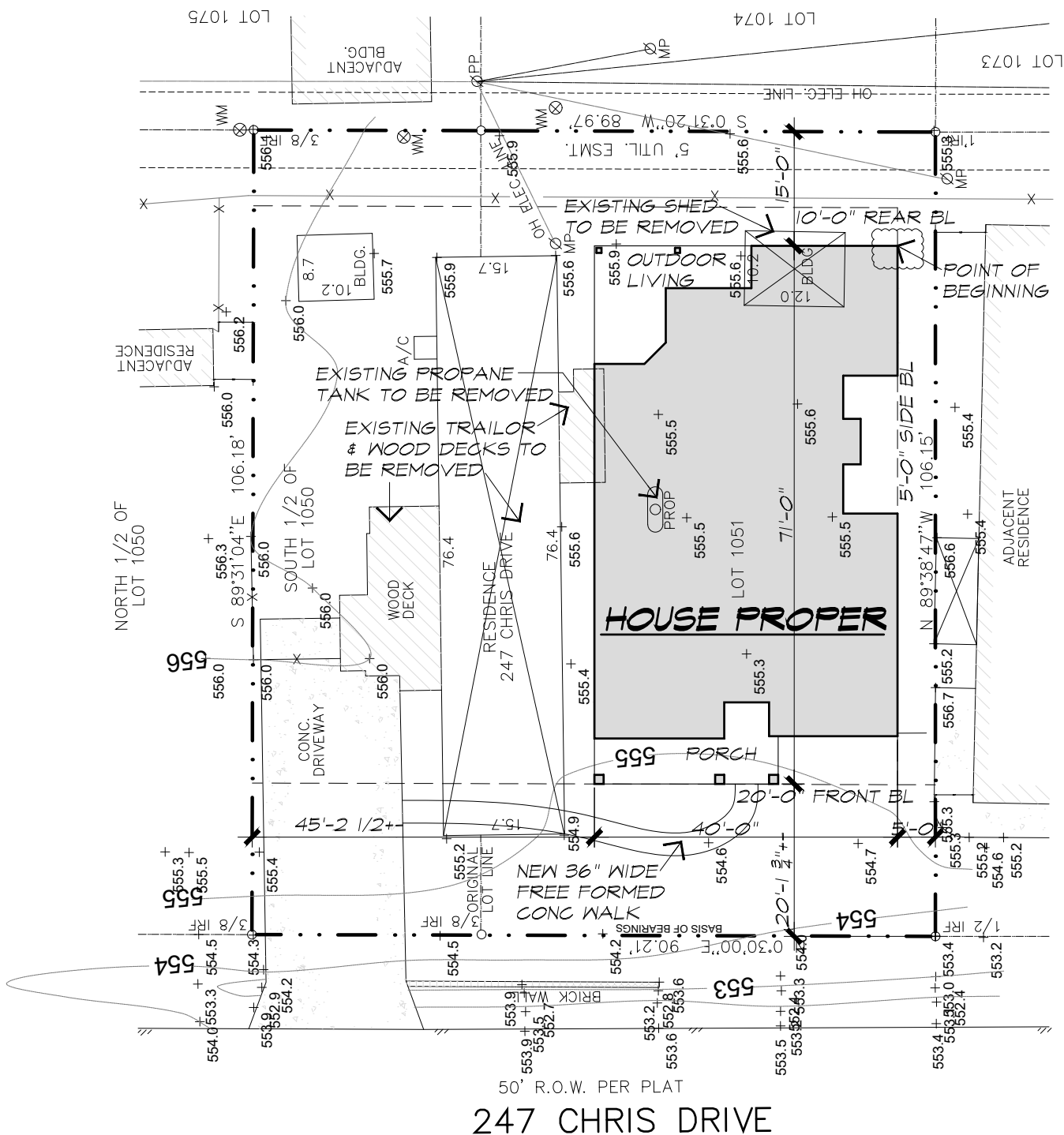
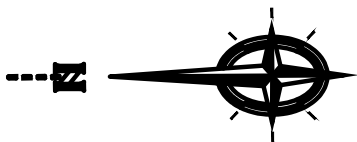
[Signature]
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
Ⓣ	Ⓜ	☎	⚡	⚡	⚡
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE	1/2" IRF IRON ROD FOUND (CORNER)
⚡	Ⓜ	Ⓜ	⚡	⚡	Ⓜ
ELEC. METER	ELEC. BOX	WM. METER	LP LIGHT POLE	A/C UNIT	PROP. TANK
---	---	---	---	---	---
FENCE	EASEMENT LINE	PROPERTY LINES			

SURVEY DATE	SEPTEMBER 16, 2019
SCALE	1" = 20'
CLIENT	JONES
FILE #	20100500
GF #	NONE

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NOTE:
EXISTING ITEMS NOT NOTED
TO BE REMOVED ARE TO
REMAIN

LOT AREA = 9563.87 SF
LOT COVERAGE = 27.44%

PLAN #PG 2244
DATE: 12/20/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

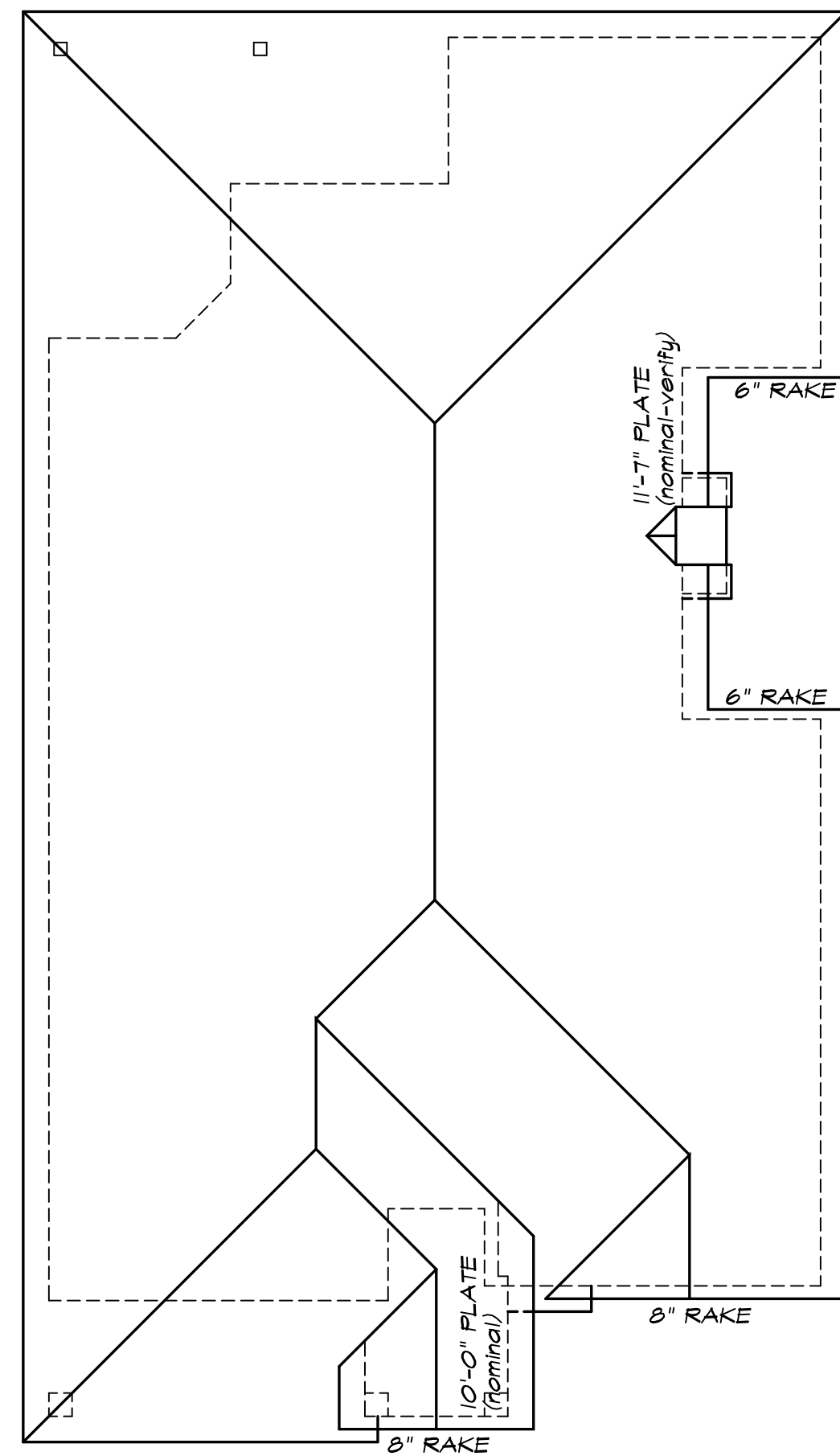
2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

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1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

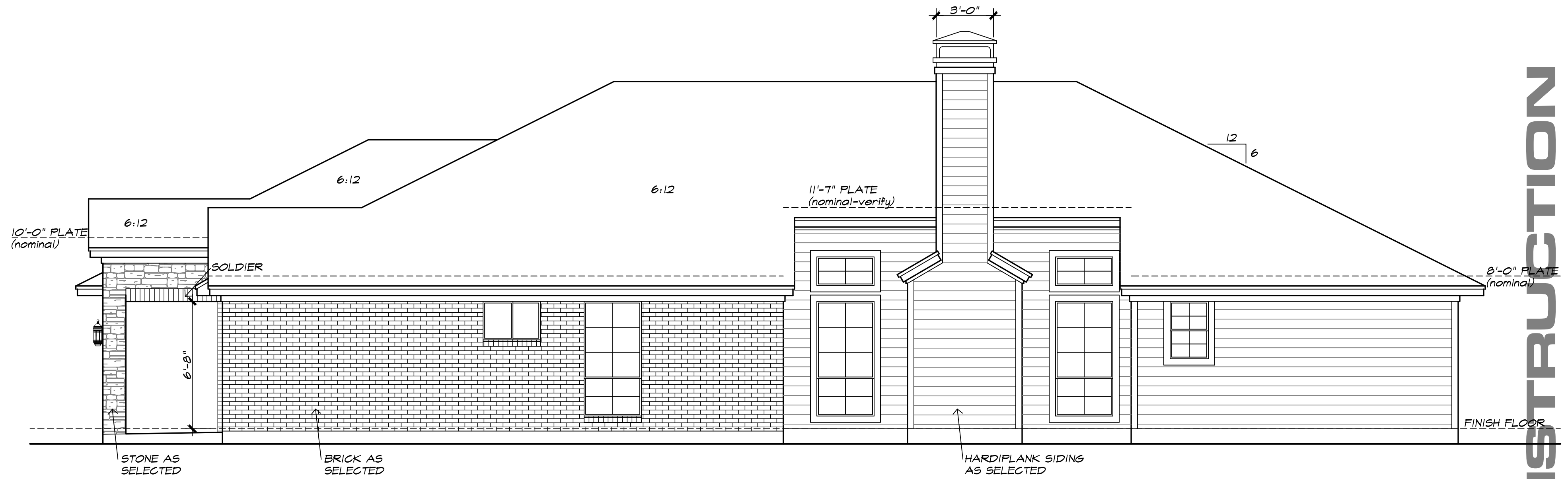
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



ROOF PLAN

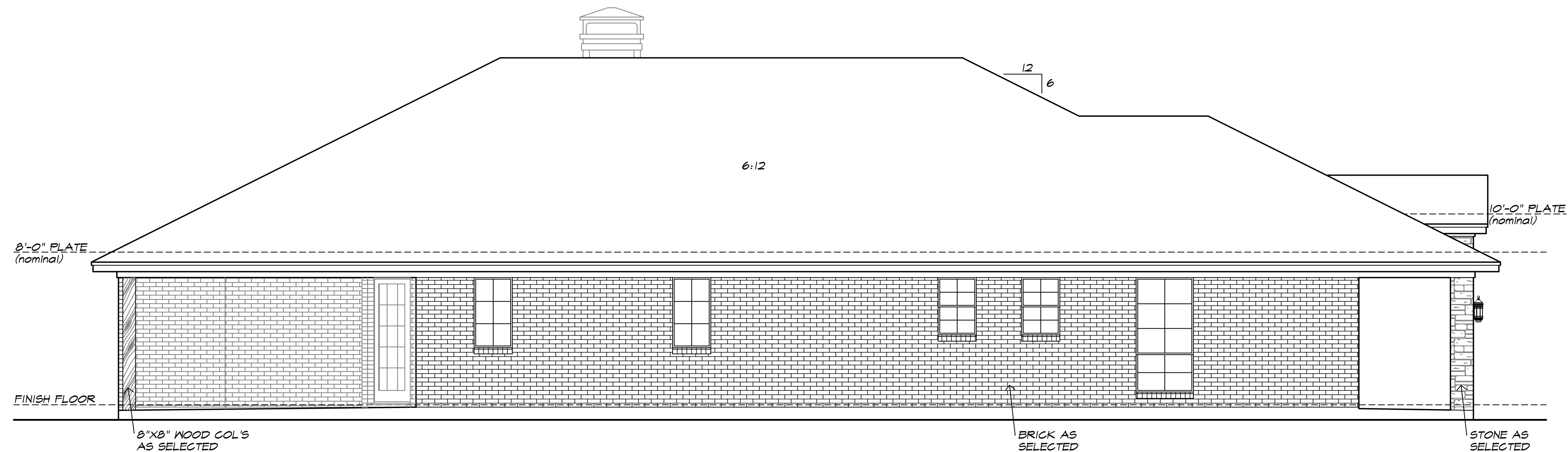
SCALE 1/8"=1'-0"

- * ROOF AS SPECIFIED @ 6:12
- * SCREENED CORNICE VENTS AS PER CODE
- * ATTIC VENTILATION AS PER CODE & AS SELECTED
- * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS AS PER OWNER BUILDER AGREEMENT
- * 8'-0" PLATE (NOMINAL) UNLESS NOTED



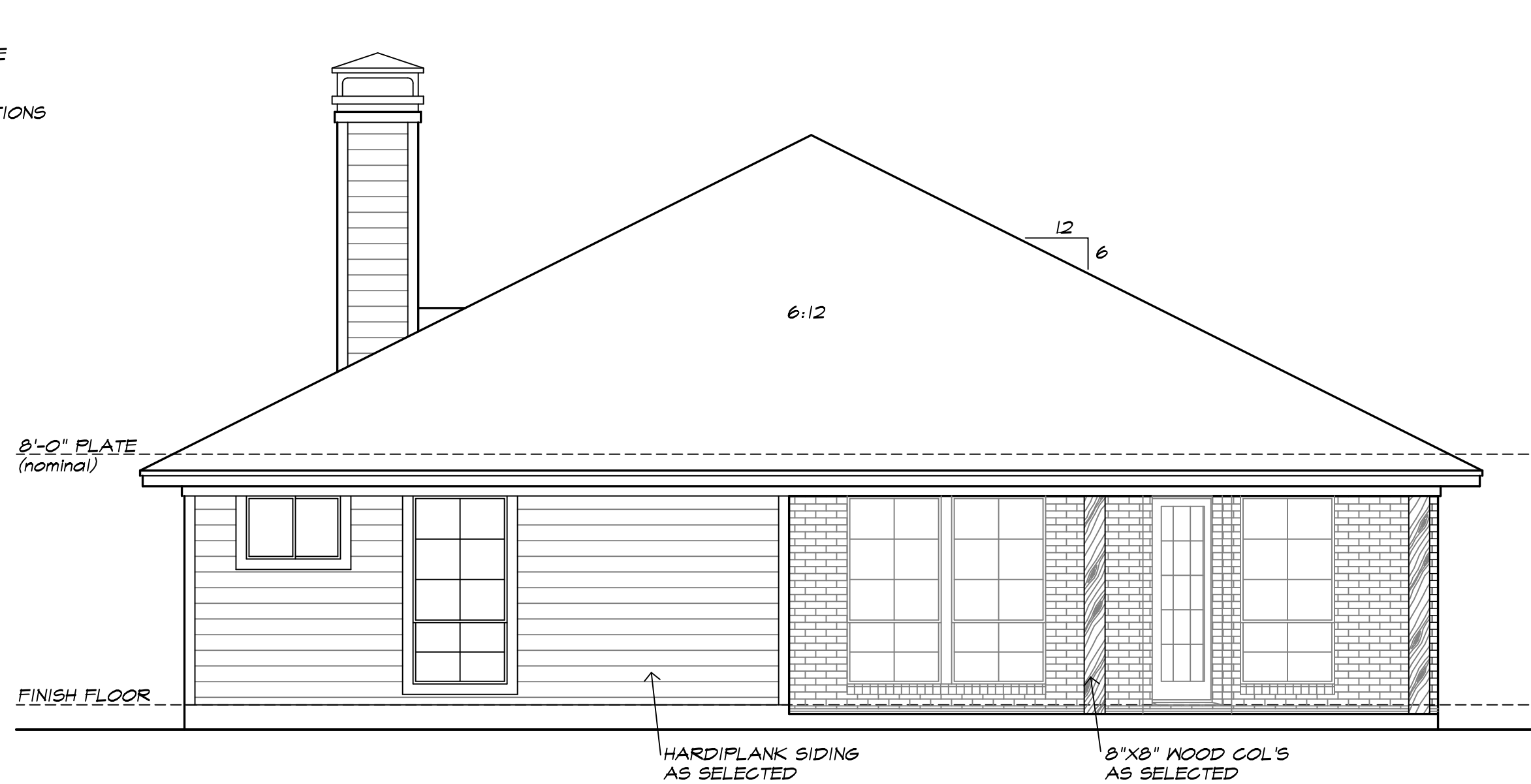
RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



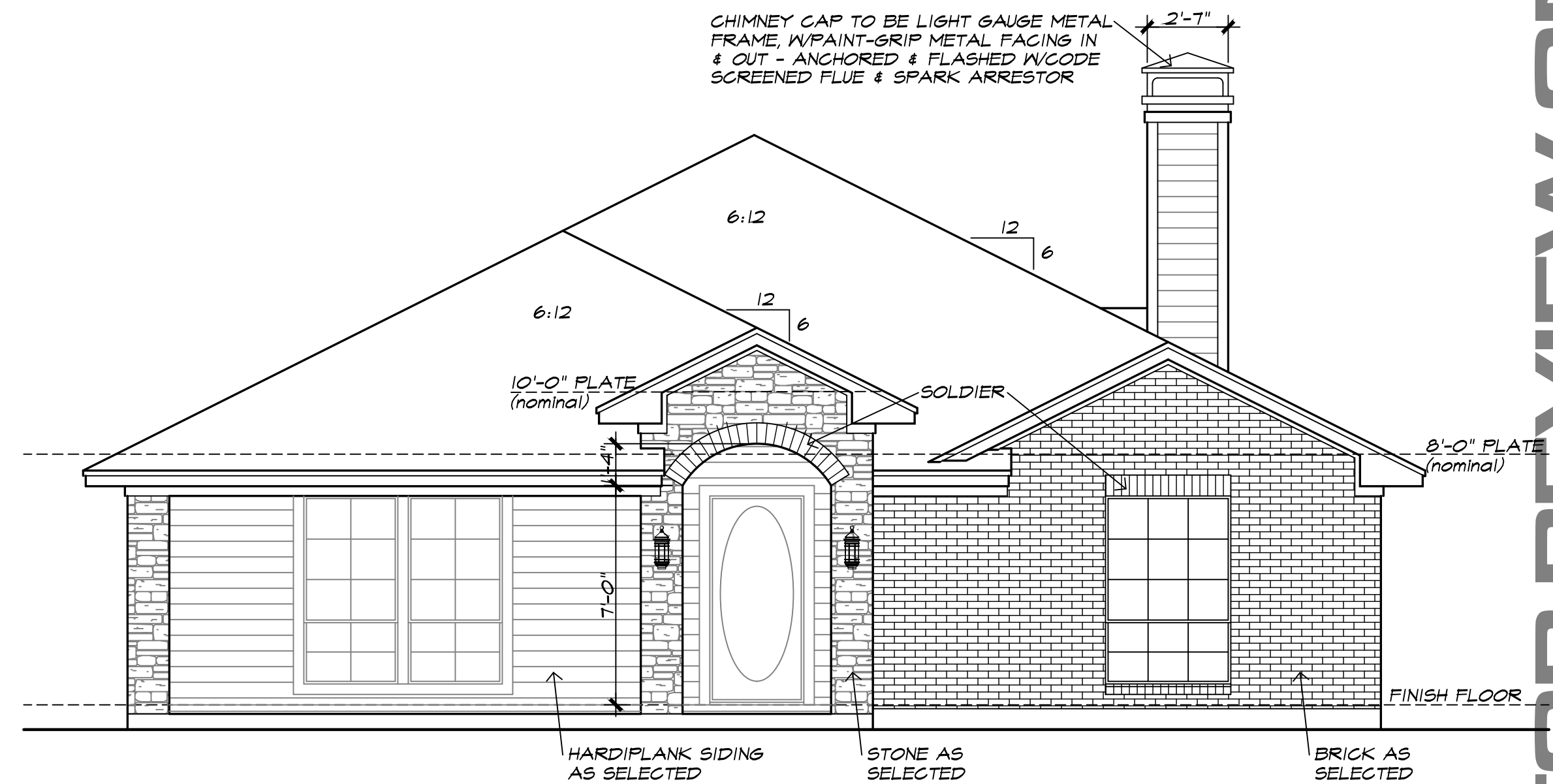
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

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DESIGN NUMBER
PG 2244

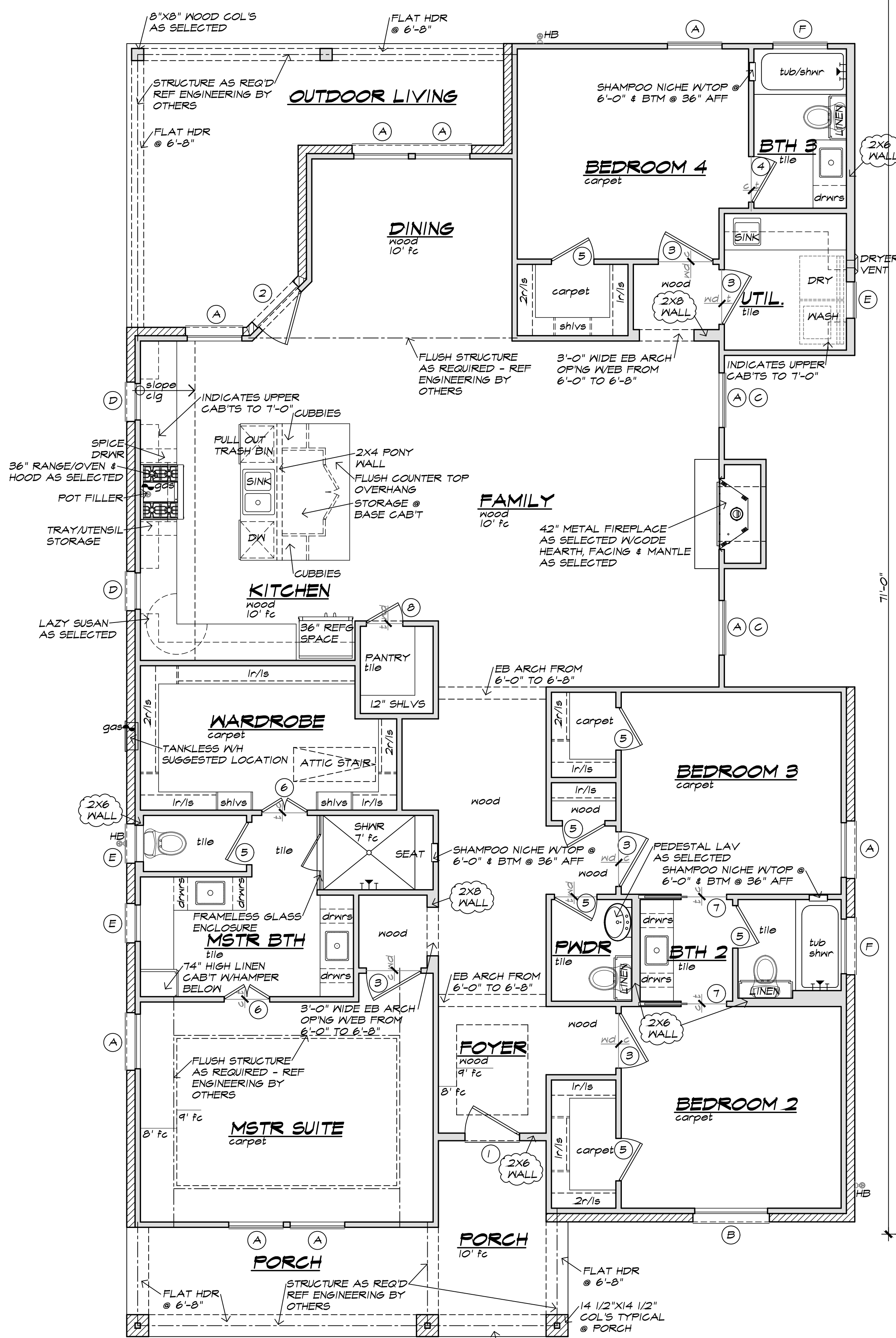
The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be construed as a contract. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s) hereof, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

DOOR SCHEDULE				WINDOW SCHEDULE					
TYPE	SIZE	DESCRIPTION	#	TYPE	SIZE	DESCRIPTION	#		
1	STEEL ENTRY UNIT	3'-0" X 6'-8"	WROUGHT IRON INSERT AS SELECTED	1	A	SINGLE HUNG	3'-0" X 6'-0"	DIVIDED LITE @ 6'-8" HDR	10
2	SOLID CORE	3'-0" X 6'-8"	EXTERIOR FRENCH AS SELECTED	1	B	SINGLE HUNG	4'-0" X 6'-0"	DIVIDED LITE @ 6'-8" HDR	1
3	SOLID CORE	3'-0" X 6'-8"	INTERIOR AS SELECTED	5	C	FIXED	3'-0" X 1'-6"	DIVIDED LITE @ 9'-0" HDR	2
4	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED	1	D	FIXED	2'-0" X 3'-8"	DIVIDED LITE @ 9'-0" HDR	2
5	SOLID CORE	2'-4" X 6'-8"	INTERIOR AS SELECTED	6	E	SINGLE HUNG	2'-0" X 3'-0"	DIVIDED LITE @ 6'-8" HDR	3
6	SOLID CORE	PR 1'-3" X 6'-8"	INTERIOR AS SELECTED	2	F	HORIZ SLDR	3'-0" X 2'-0"	@ 6'-8" HDR	2
7	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED POCKET	2					
8	SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED	1					

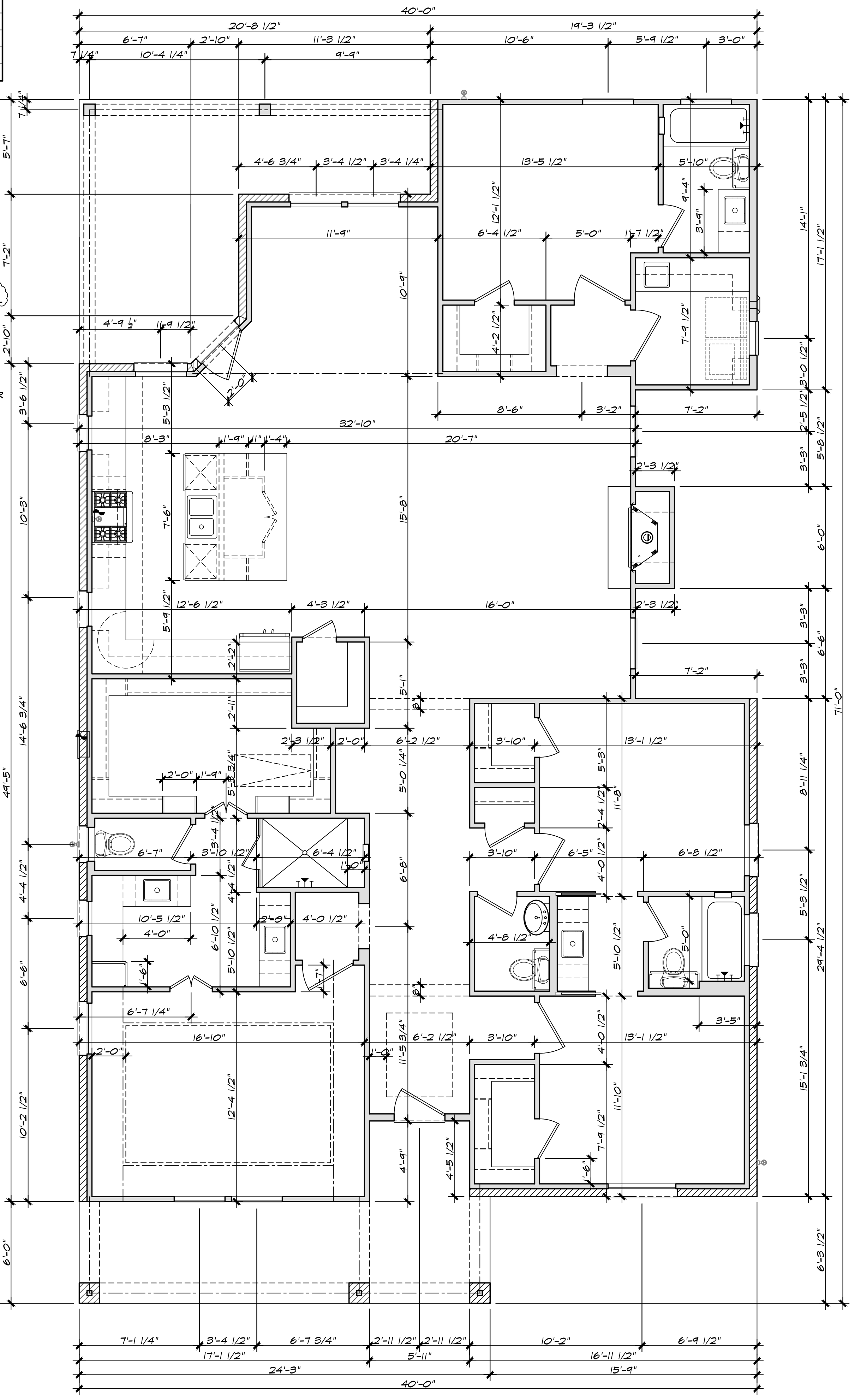
GENERAL NOTES (WHERE APPLICABLE)

- All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C. w/ 1/2" plywood sheathing w/ water vapor barrier, unless noted otherwise. (Blocked @ Midspan) & as per code.
- Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- All metal fireplaces to be top of the line double lined (min.) code units as per mfg. (W/gas logs optional).
- All fireplaces to have tile, marble, or brick hearths & facing, as per builder, as selected by owner.
- All shelving to be 3/4" V-grooving supported at edges & on 4" O.C. (Bookshelves to have hidden "Ribbon" lighting optional).
- All closets to have at least one single rod & two shelves, unless noted otherwise. W/mid to top hardware. Most to have 2 rods, 2 shelves or more as per builder.
- All exterior doors, garage, and attic doors to be weather stripped.
- All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above).
- Kitchen counter tops to be formica, granite or stone w/ turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/dispensers, down-draft cooktop (w/6 optional burners & grill) as selected. Refrigerator to have water supply w/out-off. All plugs to be GFI. (As required by code).
- Stairs to have optional step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/ 4" clear spacing. Swardrails to be 42" high.
- All bath vanities to be marble or stone (optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder).
- All doors to have flanges and drawer, caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
- Ridges and valleys are to be braced down to proper support, through to foundation support.
- Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out w/rafter. (See builder/engineer).
- All ceiling corners at main rooms to have molding. (Verify mtdg. pkg).
- Windows to be wood or metal, double pane insulated, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- Window sills & casing to be wood or drywall.
- All main drywall corners to have Bull-Nose (optional).
- Connect gutters and downspouts to an underground drainage piping system. (Verify w/owner and builder/engineer).
- All brick arches & designs w/reinforcing, & w/Type "S" mortar.
- Brick columns to have treated wood post insulator, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- All yard hydrants to be freeze proofed.
- Provide high "R" ratings for all attic floors & walls. (optional)
- All gas appliances to have code vents.
- All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/vents.
- A/C ducts should be routed around most usable attic space.
- Dryer vents to be outside.
- Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- Radiant barriers are optional.
- Uniform cornice vents @ entire perimeter, screened w/insulation baffles for air flow.
- Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder).
- All long span ceilings to be stripped 2" O.C. w/1x4 leveling. (optional)
- All rafter spans to be braced 12" O.C. maximum. (see eng.)
- All ridges and beam connections to have metal clips & nailing. (see eng.)

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. These construction documents are intended for general construction purposes only and are not exhaustive. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions.



NOTATION PLAN
SCALE 1/4"=1'-0"



DIMENSION PLAN
SCALE 1/4"=1'-0"

AREAS	
TOTAL LIVING (AG)	2244.56 SQ. FT.
PORCH	178.98 SQ. FT.
OUTDOOR LIVING	205.79 SQ. FT.
TOTAL COVERAGE	2624.33 SQ. FT.

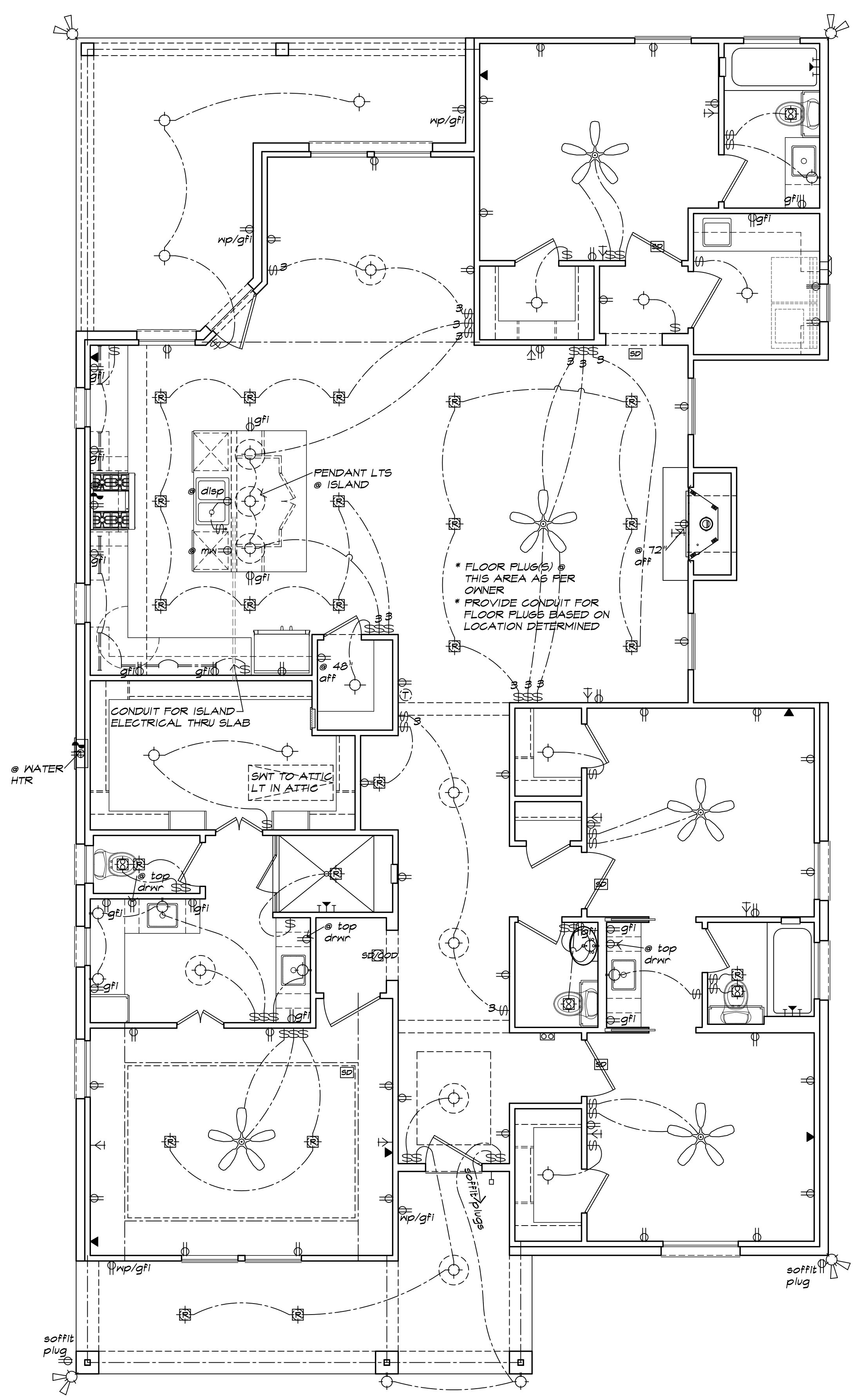
- GENERAL NOTES:**
- ALL FINISHED CEILING @ 8'-0" AFF UNLESS NOTED
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - ALL 45° & 45° UNLESS NOTED OTHERWISE
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
 - ALL PLATE LINES AS NOTED ON ELEVATIONS
 - ALL WINDOW HEADERS AS NOTED
 - WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
 - ALL INTERIOR FINISHES TO BE AS SELECTED UNLESS NOTED
 - ALL VANITIES TO BE 36" HIGH
- INDOOR AIR QUALITY MEASURES**
- AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
 - AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
 - AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE
 - EXTERIOR DOORS TO HAVE PROPER WEATHER STRIPPING

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LIGHTING & ELECTRICAL LEGEND

▼	LANDLINE - OPTIONAL
⏏	SWITCH
⊙	6"Ø RECESSED LIGHT UNLESS NOTED
⊙	RECESSED EXHAUST FAN
⊙	SURFACE MOUNTED WALL LIGHT
⊙	HANGING LIGHT
⊙	DUPLEX RECEPTACLE
⊙	220 RECEPTACLE
⊙	DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
⊙	DUPLEX GROUND FAULT INTERRUPTER
⊙	TV OUTLET (GAT 60)
⊙	SMOKE DETECTOR
⊙	PUSH BUTTON TO CHIME
⊙	DOOR CHIME
⊙	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
⊙	CEILING FAN w/LIGHT KIT UNLESS NOTED
⊙	SMOKE/CARBON MONOXIDE DETECTOR
⊙	THERMOSTAT
⊙	PUSH/AIR GARBAGE DISPOSAL SWITCH
⊙	SURFACE LIGHT
⊙	D-MARK DATA CONNECTION POINT
⊙	UNDER/OVER CABINET FLUORESCENT LIGHT

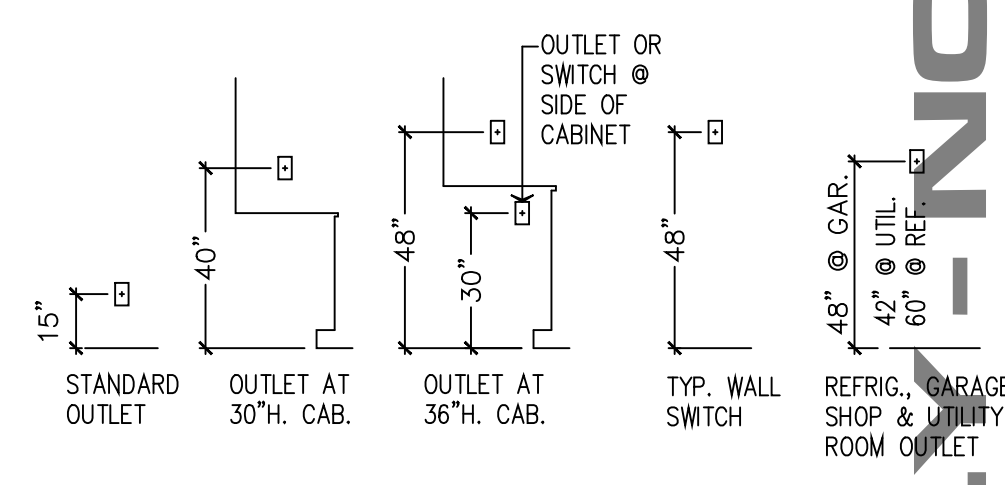
NOTE
 * ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT

ELECTRICAL NOTES

(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

* ALL LANDSCAPING LIGHTING & JUNCTION BOX LOCATIONS TO BE BY OTHERS & AS PER OWNER BUILDER AGREEMENT
 * CARRIAGE LTS TO BE @ 6'-0" AFF
 * SEE OWNER FOR ATTIC LIGHTING & PREFERRED PLACEMENT



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

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The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall the contractor be held responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of member(s) work, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1051 AND ALL OF LOT 1050, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre parcel of land being described as a portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

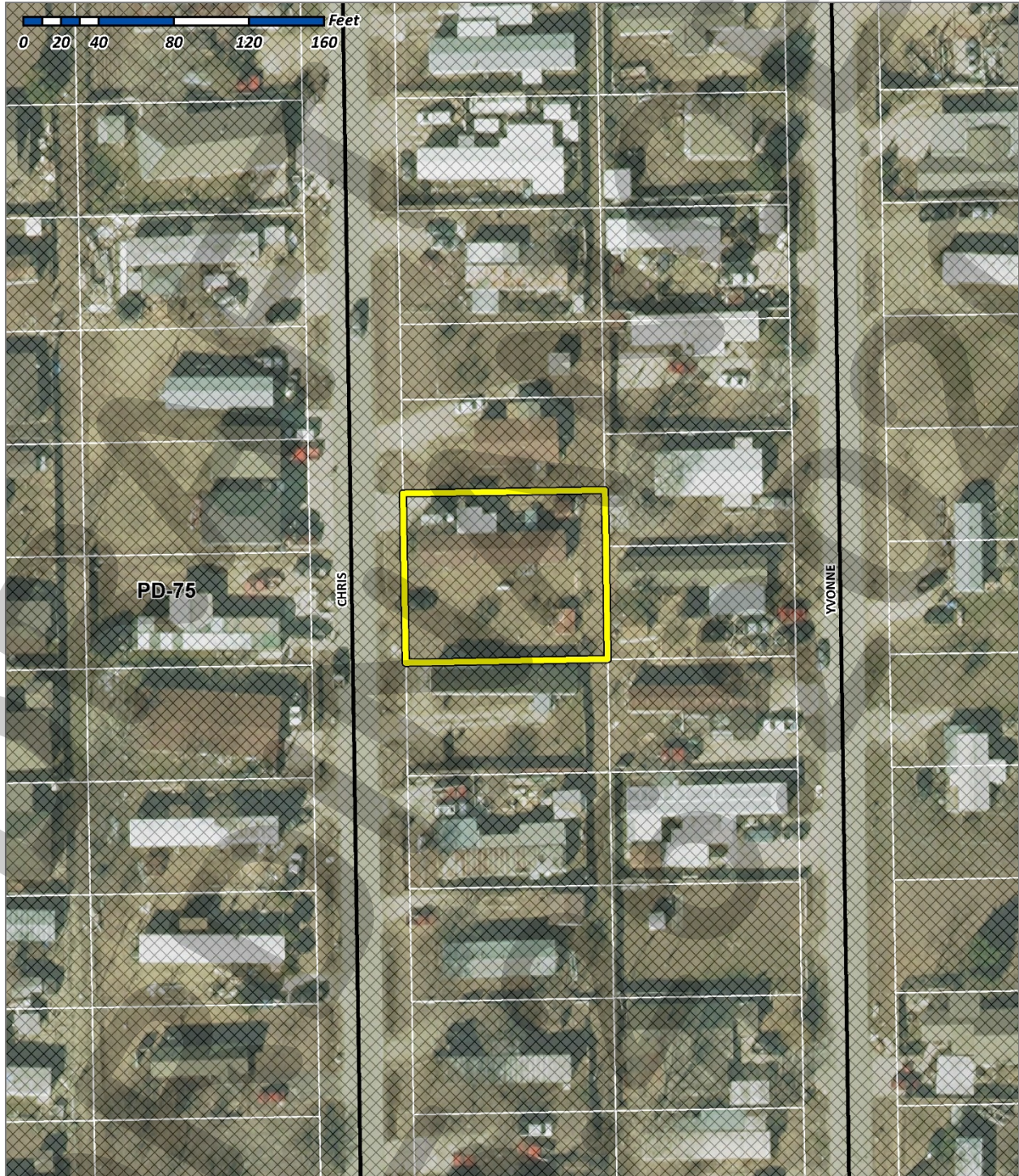
1st Reading: June 15, 2020

2nd Reading: July 6, 2020

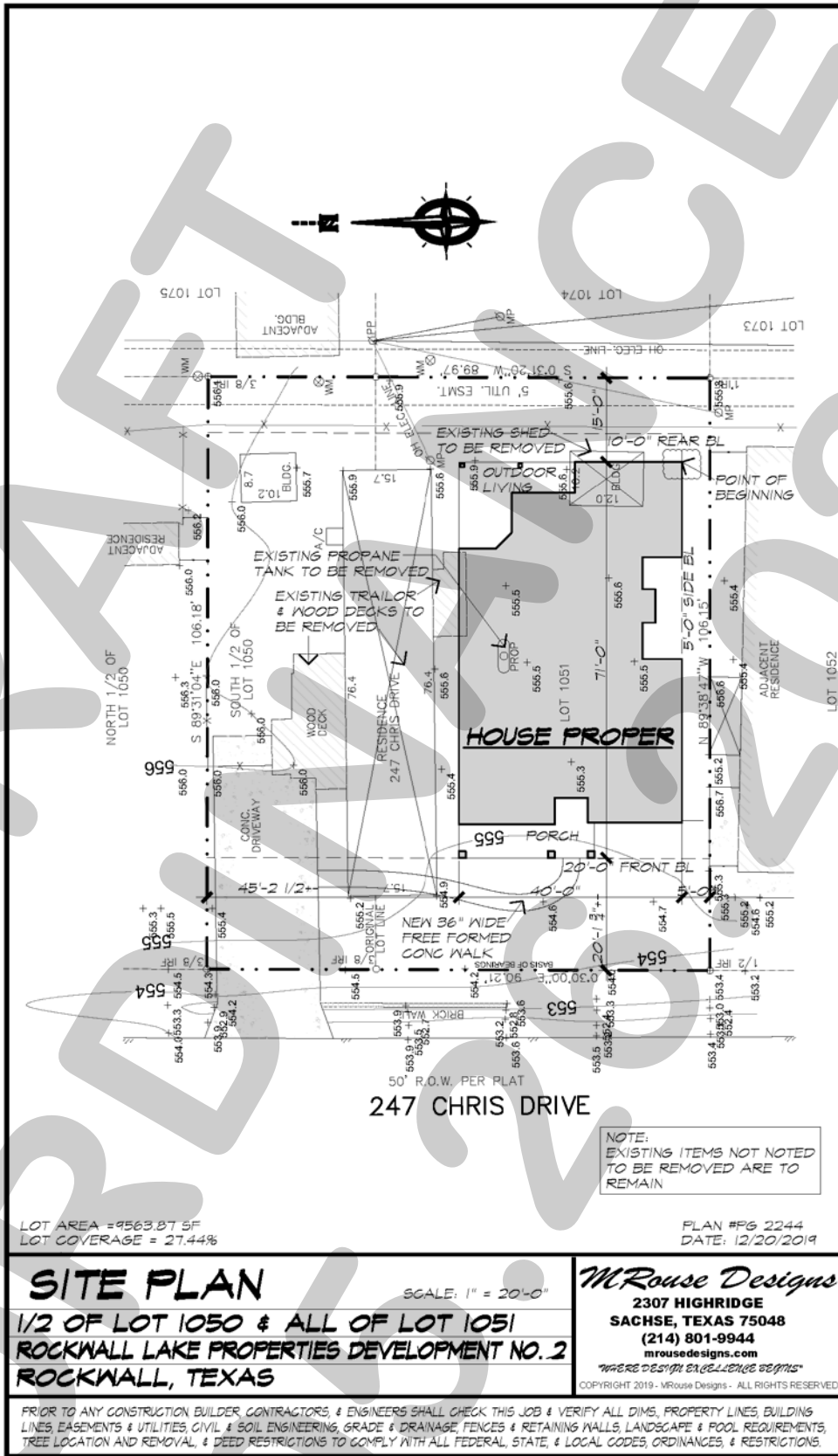
Exhibit 'A'
Location Map and Survey

Address: 247 Chris Drive

Legal Description: A Portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2



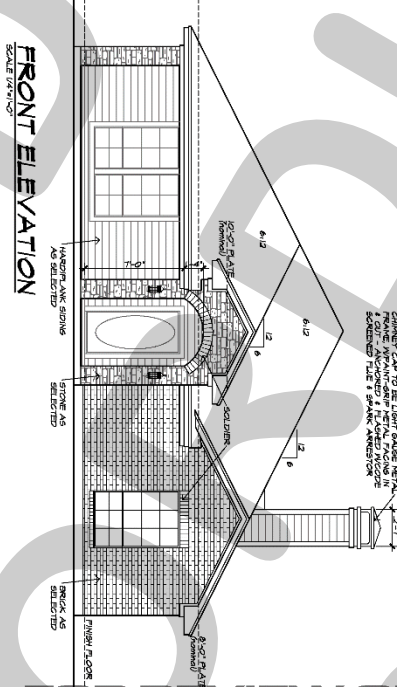
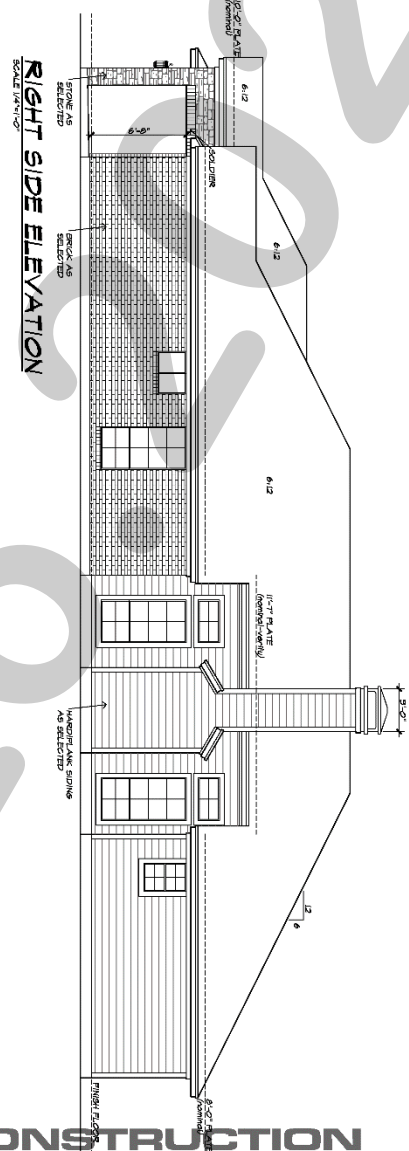
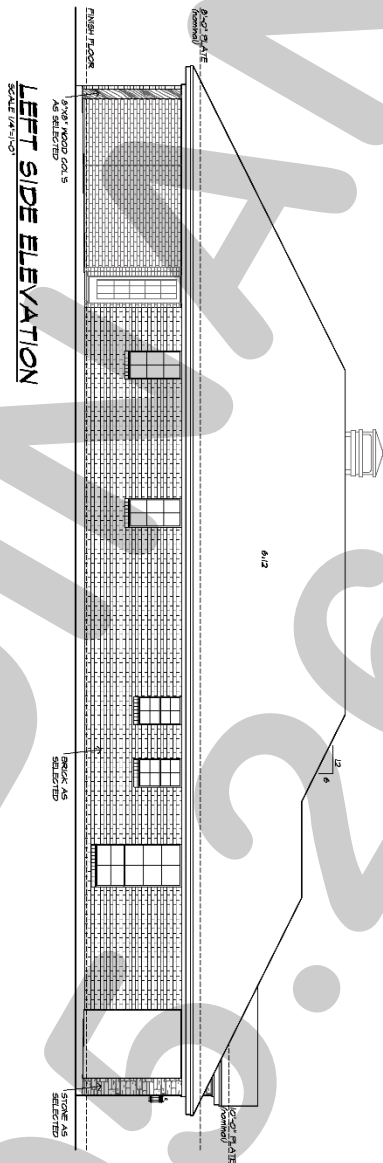
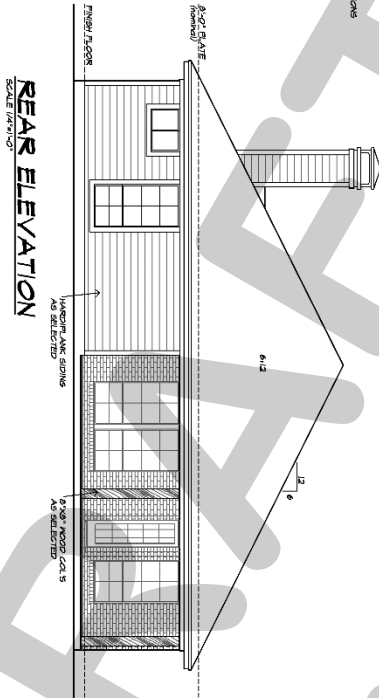
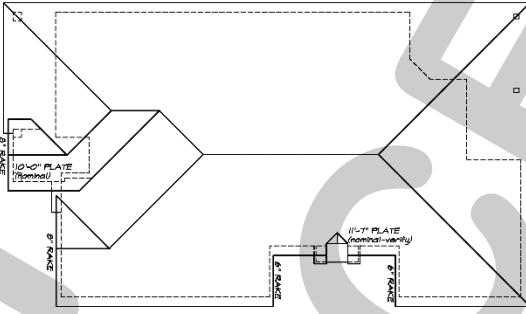
**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**

ROOF PLAN
SCALE 1/8"=1'-0"

- ROOF AS SPECIFIED IN 6.12 AS PER CODE
- ROOF FINISH AS SPECIFIED IN 6.12 AS PER CODE
- ALL DIMENSIONS AS PER CODE & AS NOTED
- MATERIALS, FINISHES & LOCATIONS AS NOTED
- ALL DIMENSIONS AS PER CODE & AS NOTED
- ALL DIMENSIONS AS PER CODE & AS NOTED
- ALL DIMENSIONS AS PER CODE & AS NOTED



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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: J. W. Jones
CASE NUMBER: Z2020-019; *Specific Use Permit (SUP) for a Residential Infill for 247 Chris Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lots 1050 & 1051 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. At some point prior to 2006, Lot 1050 was subdivided by metes and bounds into two (2) equal tracts of land, and one-half was combined with Lot 1051 and one-half was combined with a portion of Lot 1049 by common ownership. The subject property was annexed into the City of Rockwall on February 17, 2009 by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. According to the Rockwall Central Appraisal District (RCAD), the mobile home currently situated on the subject property was installed in 1984 and is 1,280 SF. In 1998, a 130 SF accessory building was constructed on the property, and in 2000 a 192 SF covered porch was constructed onto the mobile home.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 247 Chris Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Yvonne Drive, which is classified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Chris Drive, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Chris Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Chris Drive Between County Line Road and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes located along Chris Drive are oriented toward Chris Drive.	The front elevation of the home will face onto Chris Drive.
Year Built	1973-2017	N/A
Building SF on Property	672-3,650 SF	2,624 SF
Building Architecture	Various (<i>Majority Mobile/Modular Home</i>)	Comparable Architecture to Existing Homes
Building Setbacks:		
Front	Estimated Between zero (0) and 20-Feet	20-Feet
Side	The side yard setbacks appear to be between zero (0) and six (6) feet.	5-Feet
Rear	The rear yard setbacks appear to range from zero (0) and greater than ten (10) feet.	15-Feet
Building Materials	Modular Homes, HardiBoard, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of HardiBoard Siding and Brick
Paint and Color	Blue, Yellow, Tan, Brown, White, Green, Pink Red, and Grey	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Composite Shingle
Driveways	Driveways are all in the front and visible from Chris Drive. Some homes have garages and/or carports; however, the majority are just driveways.	The applicant has stated that the existing driveway being used by the mobile home will continued to be used and that they are not proposing to construct a garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 75 [*Ordinance No. 09-37*] and for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Chris Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 27, 2020, staff mailed 161 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Prior to the issuance of a building permit for a single-family home the subject property needs to be replatted into one (1) residential lot.
- (3) The proposed single-family home will be required to demonstrate that a minimum of two (2) off-street parking spaces will be provided prior to the issuance of a building permit.
- (4) Prior to the acceptance and issuance of a Certificate of Occupancy (CO) for the proposed home, the existing mobile home and covered porch shall be removed from the property.
- (5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address

247 CHRIS DR.

Subdivision

ROCKWALL LAKE PROPERTIES

General Location

South of Interstate 30

Lot

1051

Block

and 1/2 of Lot 1050

Development No. 2

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning

Residential

Current Use

Residential

Proposed Zoning

Residential-Specific Use Permit

Proposed Use

Residential

Acreage

Less than one Acre

Lots [Current]

1 1/2

Lots [Proposed]

1 1/2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

Owner

Contact Person

Address

City, State & Zip

Phone

E-Mail

Applicant

Contact Person

Address

City, State & Zip

Phone

E-Mail

J. W. Jones

J. W. Jones

555 N. 5th St.
Suite 113

GARLAND TX 75040

214-535-2850

Jayjones1941@hotmail.com

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared J. W. Jones (Name) the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

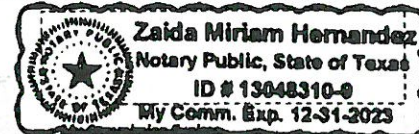
Given under my hand and seal of office on this the 13 day of May, 20 20

APPLICANTS
Applicant's Signature


J. W. Jones

Notary Public in and for the State of Texas

Zaida Miriam Hernandez



0 20 40 80 120 160 Feet

Z2020-019- SUP FOR 247 CHRIS DRIVE
ZONING - LOCATION MAP = 



PD-75

CHRIS

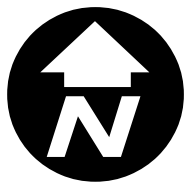
YVONNE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

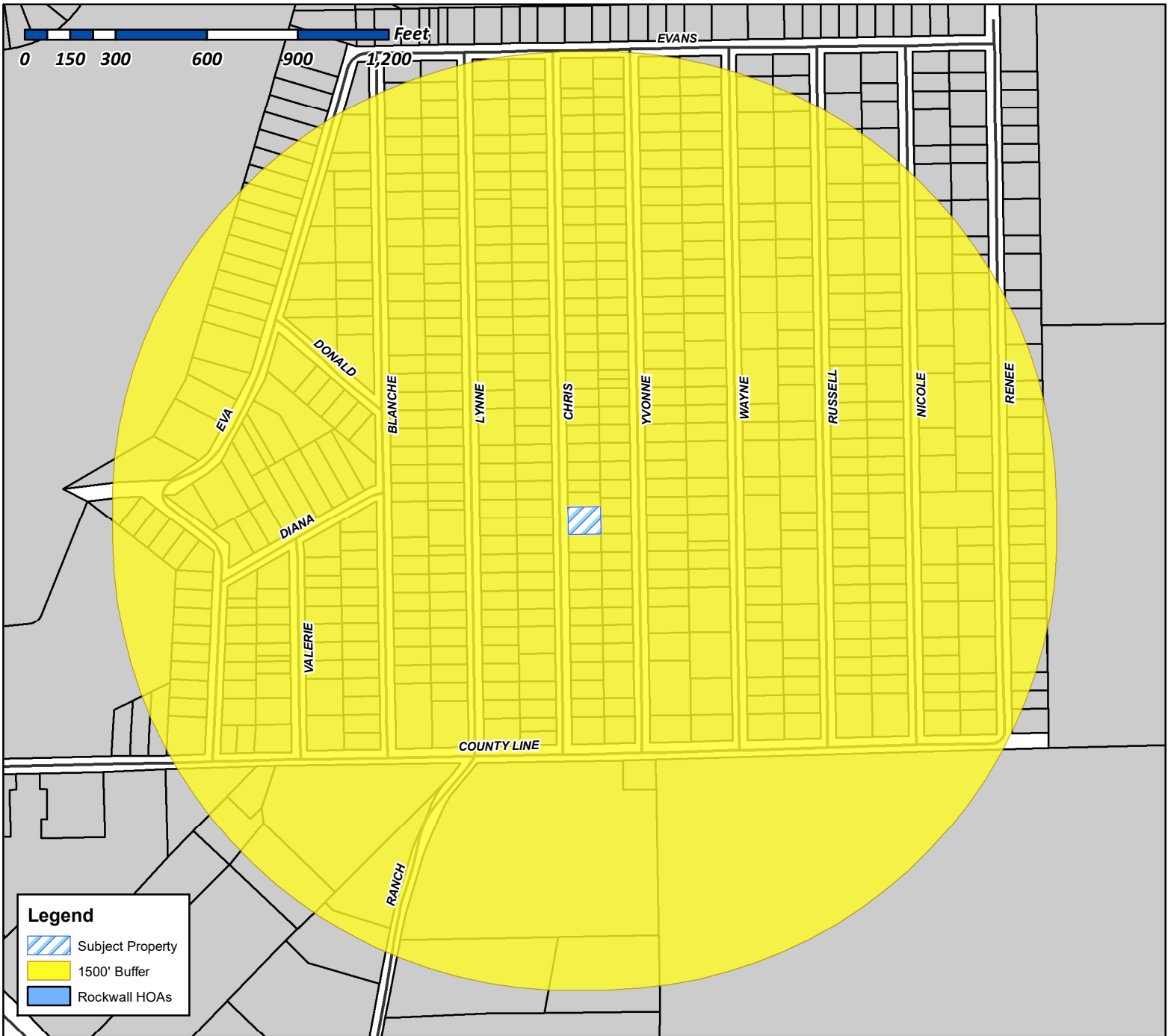




City of Rockwall

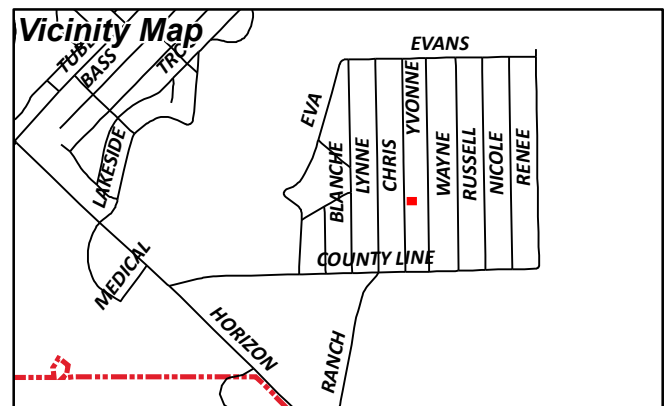
Planning & Zoning Department
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development 75 (PD-75)
 District
Case Address: 247 Chris Drive

Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745

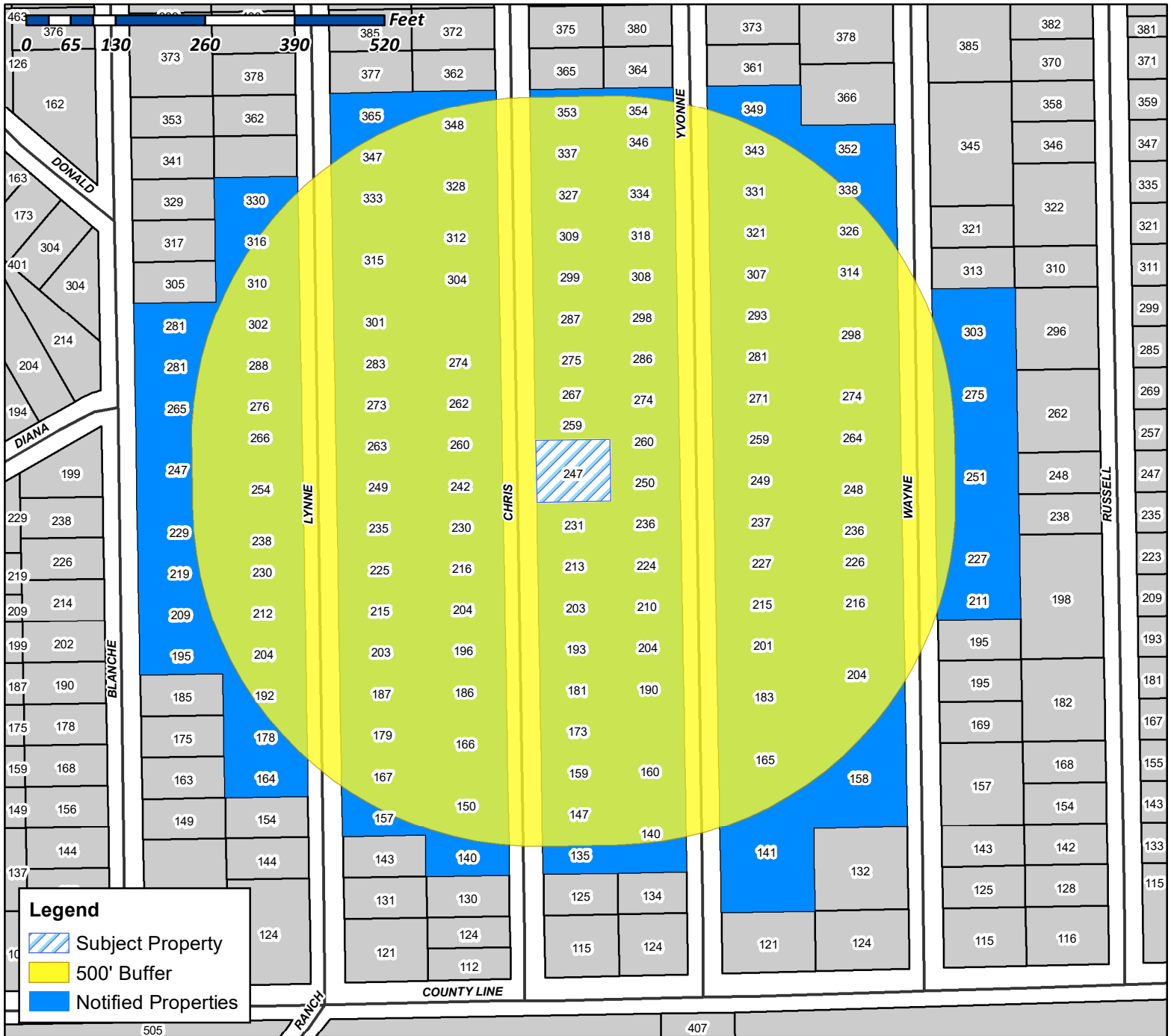




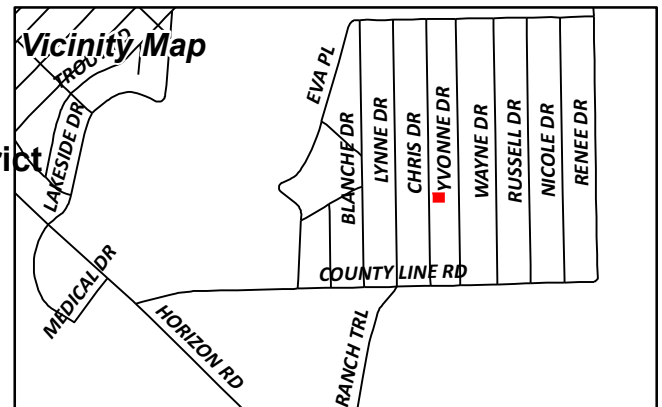
City of Rockwall

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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development-75 (PD-75) District
Case Address: 247 Chris Drive



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

GONZALES JOSE & INES
1059 LOCAL VISTA DR
DALLAS, TX 75217

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

CURRENT RESIDENT
135 CHRIS
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
140 OVERBROOK DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

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150 CHRIS
ROCKWALL, TX 75032

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157 LYNNE
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158 WAYNE DR
ROCKWALL, TX 75032

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159 CHRIS
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

OSORNIO EDUARDO
163 EASTRIDGE DR
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
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179 LYNNE
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181 CHRIS DR
ROCKWALL, TX 75032

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JUAN A YANEZ
183 YVONNE
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186 CHRIS
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187 LYNNE DR
ROCKWALL, TX 75032

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KARLA CAMACHO
190 YVONNE DR
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192 LYNNE
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195 BLANCHE DR
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196 CHRIS
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200 CHAMBERLAIN DR
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201 YVONNE DR
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2027 MIDLAKE LN
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203 CHRIS
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204 LYNNE
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MARITZA ALONSO
204 YVONNE
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209 BLANCHE DR
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210 YVONNE
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212 LYNNE DR
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213 CHRIS DR
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ROYSE CITY, TX 75189

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225 LYNNE
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226 WAYNE
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227 WAYNE
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227 YVONNE DR
ROCKWALL, TX 75032

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229 BLANCHE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
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230 LYNNE
ROCKWALL, TX 75032

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YOLANDA GUEVARA
230 LYNNE DR
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231 CHRIS DRIVE
ROCKWALL, TX 75032

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235 LYNNE DRIVE
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236 WAYNE
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236 YVONNE DR
ROCKWALL, TX 75032

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237 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
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2418 HILLGLENN RD
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ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ
249 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
250 YVONNE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
254 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
259 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
259 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
260 CHRIS
ROCKWALL, TX 75032

DODSON CHARLES & GLENDA
260 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
262 CHRIS
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

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264 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
265 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
266 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
267 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
271 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
273 LYNNE
ROCKWALL, TX 75032

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274 CHRIS
ROCKWALL, TX 75032

GUEVARA ELIAS
274 EASTRIDGE DR
ROYSE CITY, TX 75189

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

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274 YVONNE
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
276 LYNNE
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

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281 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
283 LYNNE
ROCKWALL, TX 75032

RICO ANTONIO
286 YVONNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
288 LYNNE
ROCKWALL, TX 75032

CHAPELA AARON JAIME
292 CHRIS
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
ROCKWALL, TX 75032

GARCIA RICARDO
298 WAYNE DR
ROCKWALL, TX 75032

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298 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
302 LYNNE
ROCKWALL, TX 75032

RANGEL JORGE MIGUEL
302 S GOLIAD
ROCKWALL, TX 75087

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
308 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
309 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
310 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
312 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
314 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
315 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
316 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
318 YVONNE
ROCKWALL, TX 75032

CASTANEDA LUCERO ADILENE AND ALFREDO
TORRES
321 YVONNE DR
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
330 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
331 YVONNE
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

GODINEZ INOCENTE AND
CORDELIA ESPERANZA MONROY TUMIN
334 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

RUBIO LORENA & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

MOLINA MARLIN J & JAIME
340 YVONNE DR
ROCKWALL, TX 75032

SAAVEDRA SILVIA
343 YVONNE DR
ROCKWALL, TX 75032

GUADARRAMA TARCICIO &
MARIA M NAJERA
346 YVONNE DR
ROCKWALL, TX 75032

DIAZ JUAN
347 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
348 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
349 YVONNE
ROCKWALL, TX 75032

MORENO SALVADOR &
ANA MARGARITA RODRIGUEZ
352 LYNNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

FORTUNA FRANCISCO & LUISA
354 YVONNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO
365 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

VELASQUEZ JORGE
543 BASS RD
ROCKWALL, TX 75032

RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-019: SUP for Residential Infill for 247 Chris Drive

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the respondent's name.

Address:

Grey bar for entering the respondent's address.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

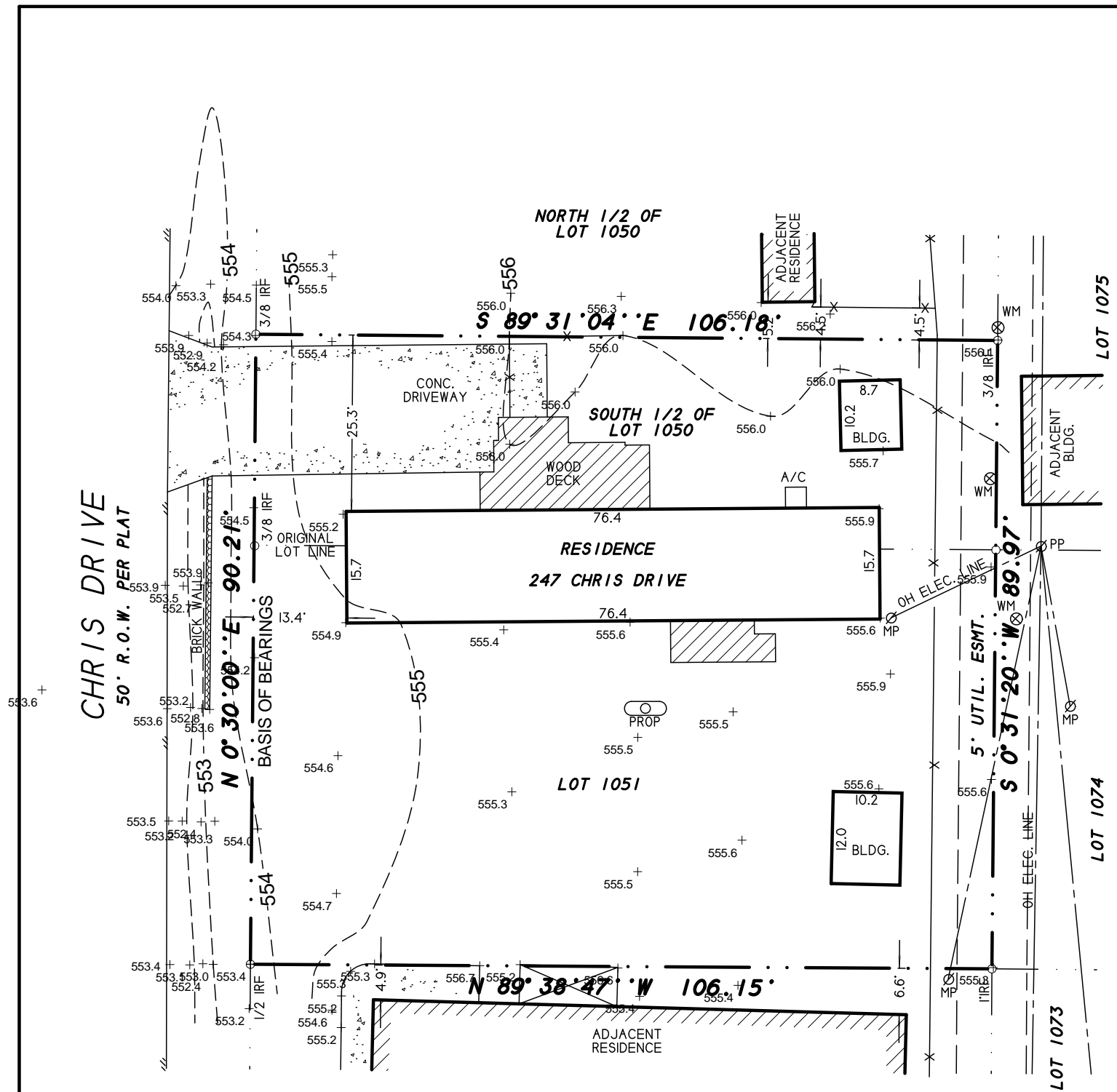
Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: jennifer maciel
Address: 303 Wayne Drive Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

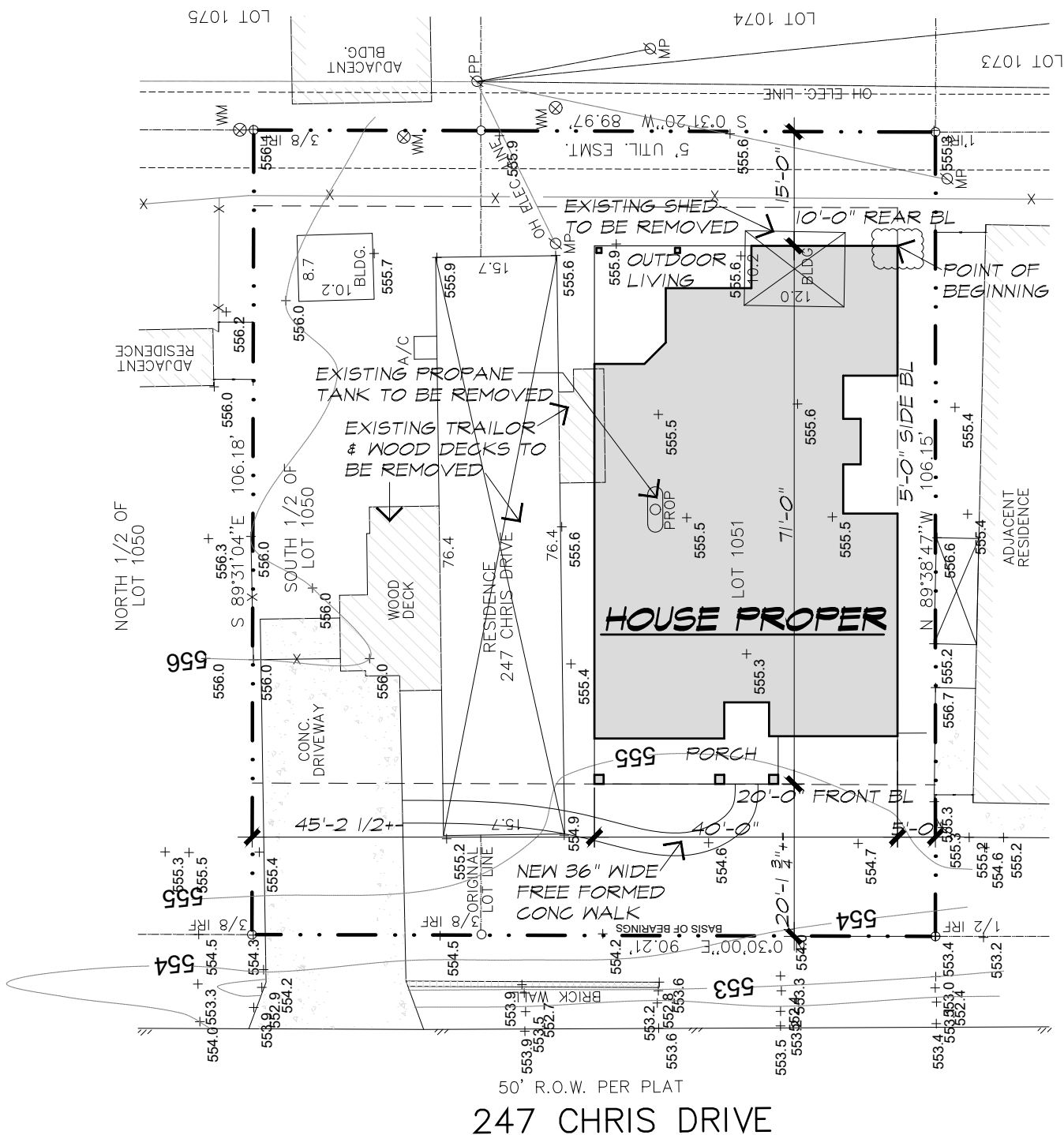
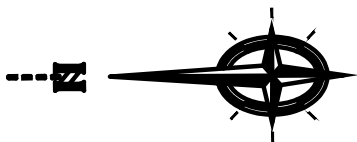
[Signature]
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
Ⓣ	Ⓜ	☎	Ⓜ	Ⓜ	Ⓜ
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE	1/2" IRF IRON ROD FOUND (CORNER)
Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ
ELEC. METER	ELEC. BOX	WM. METER	LP LIGHT POLE	A/C UNIT	PROP. TANK
---	---	---	---	---	---
FENCE	EASEMENT LINE	PROPERTY LINES			

SURVEY DATE	SEPTEMBER 16, 2019
SCALE	1" = 20'
CLIENT	JONES
FILE #	20100500
GF #	NONE

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NOTE:
EXISTING ITEMS NOT NOTED
TO BE REMOVED ARE TO
REMAIN

LOT AREA = 9563.87 SF
LOT COVERAGE = 27.44%

PLAN #PG 2244
DATE: 12/20/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

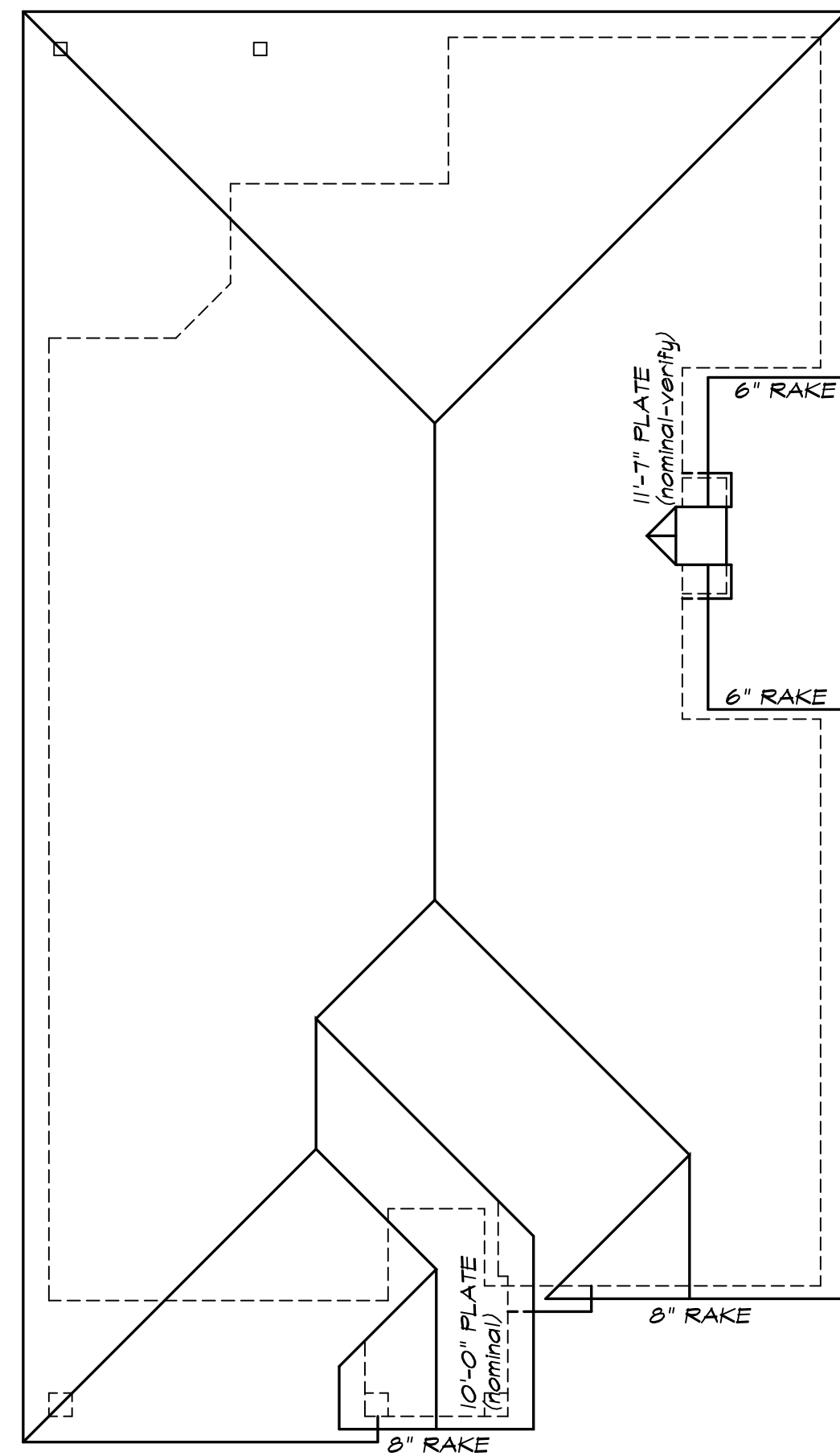
2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

COPYRIGHT 2019 - M. Rouse Designs - ALL RIGHTS RESERVED

1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

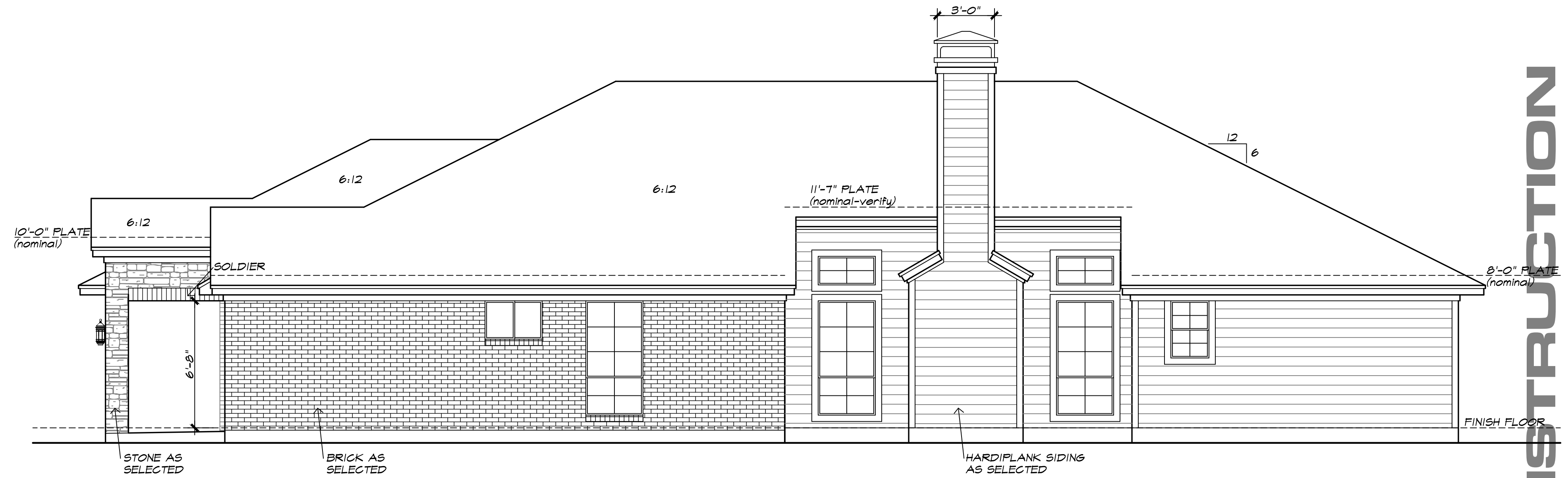
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



ROOF PLAN

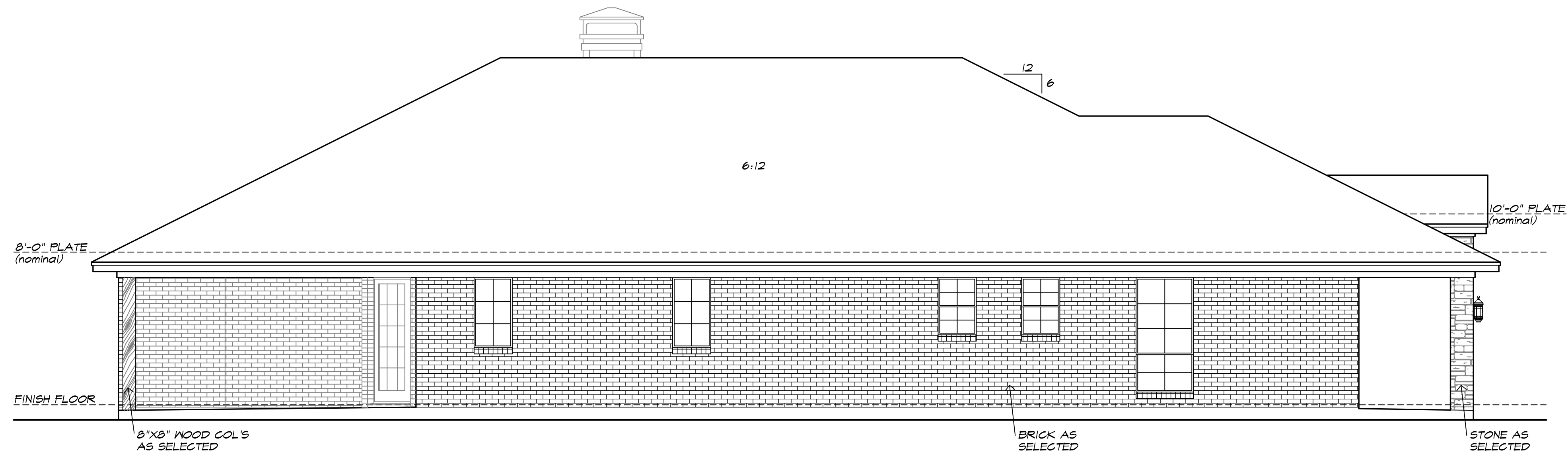
SCALE 1/8"=1'-0"

- * ROOF AS SPECIFIED @ 6:12
- * SCREENED CORNICE VENTS AS PER CODE
- * ATTIC VENTILATION AS PER CODE & AS SELECTED
- * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS AS PER OWNER BUILDER AGREEMENT
- * 8'-0" PLATE (NOMINAL) UNLESS NOTED



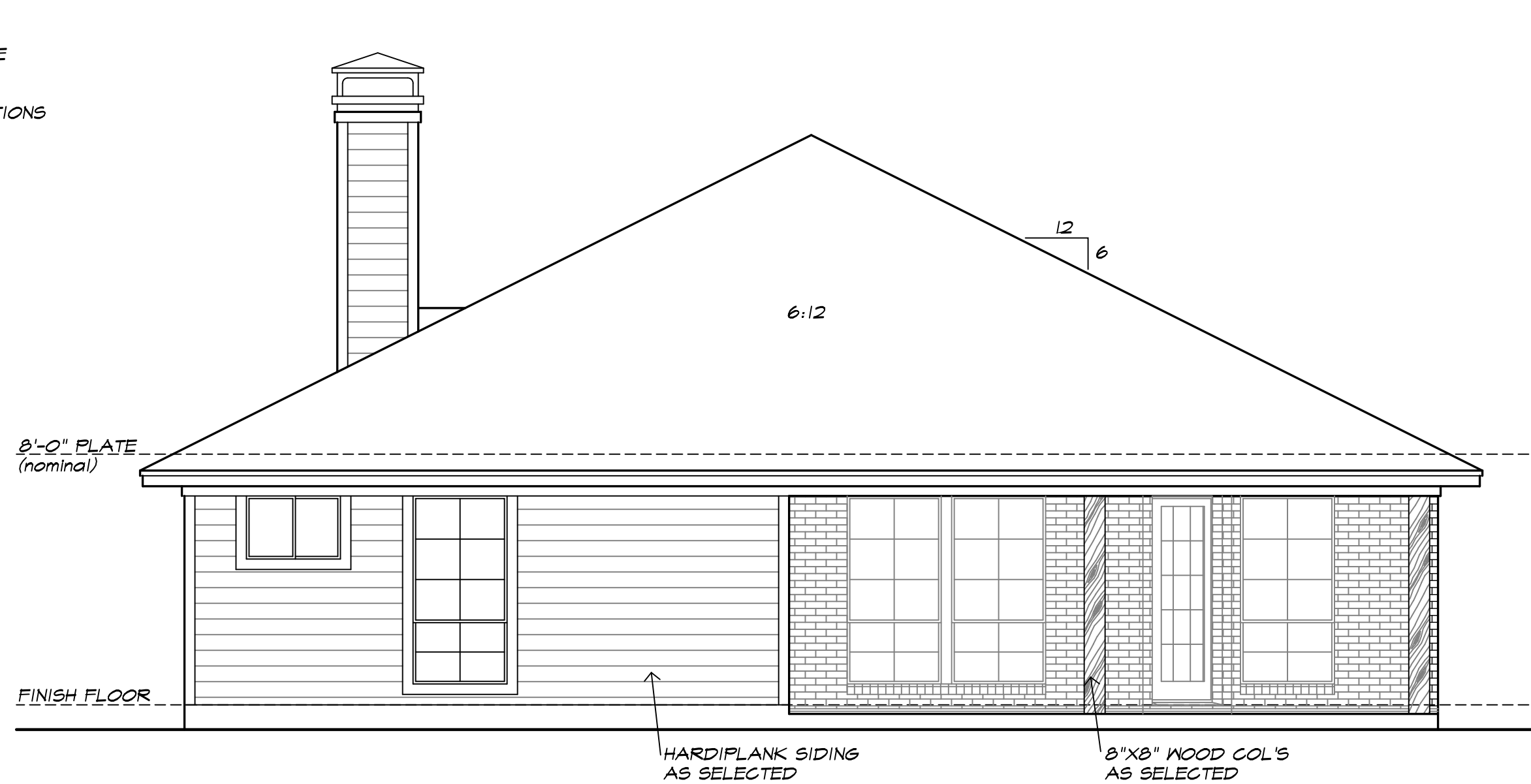
RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



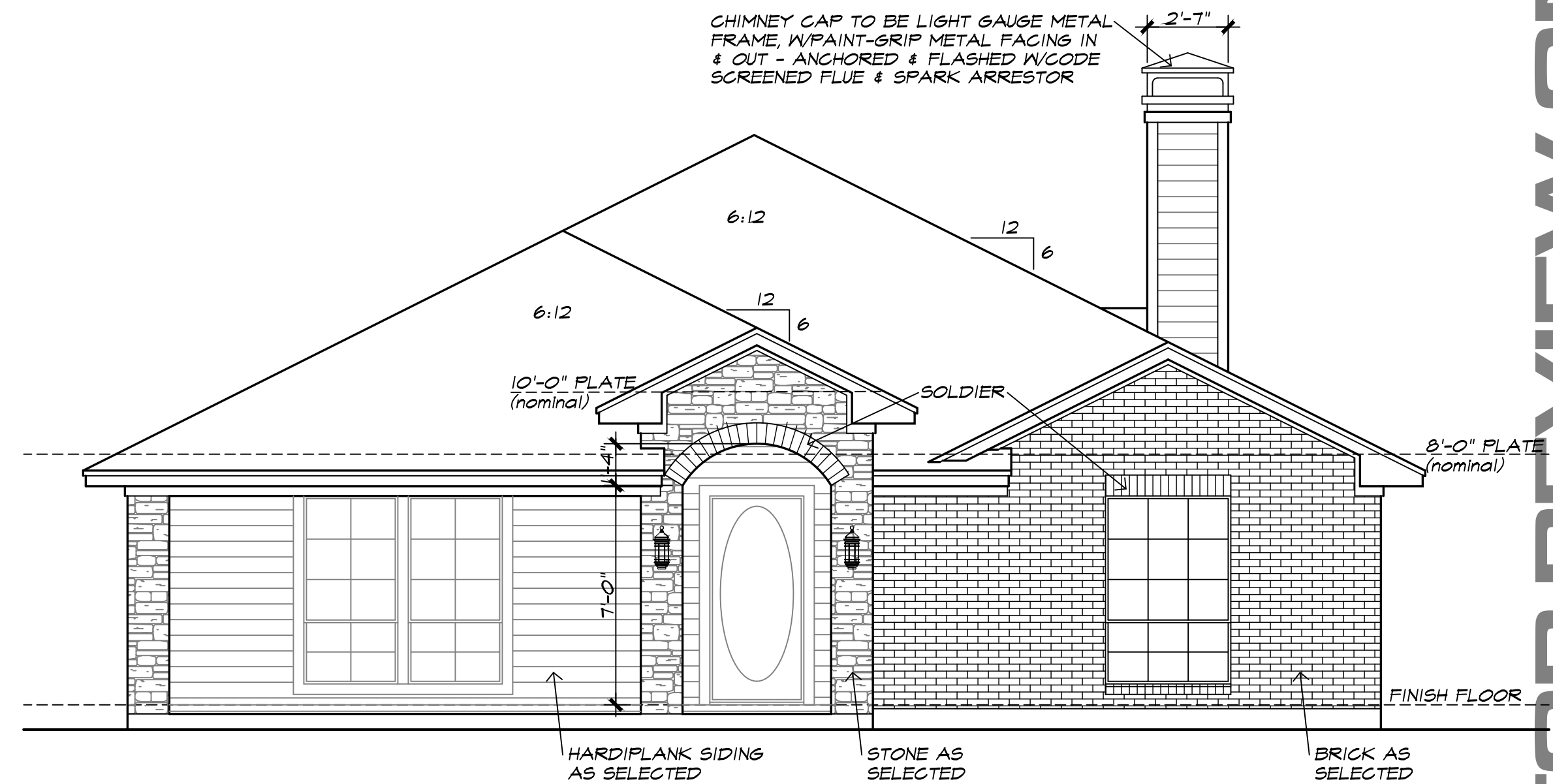
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

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FOR THE
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ROCKWALL, TEXAS**

M Rouse Designs

2307 HIGHRIDGE
SACHSE, TEXAS 75048
(214) 801-9944

mrouse designs.com
MROUSE DESIGN, ELEVATION, PERMITS
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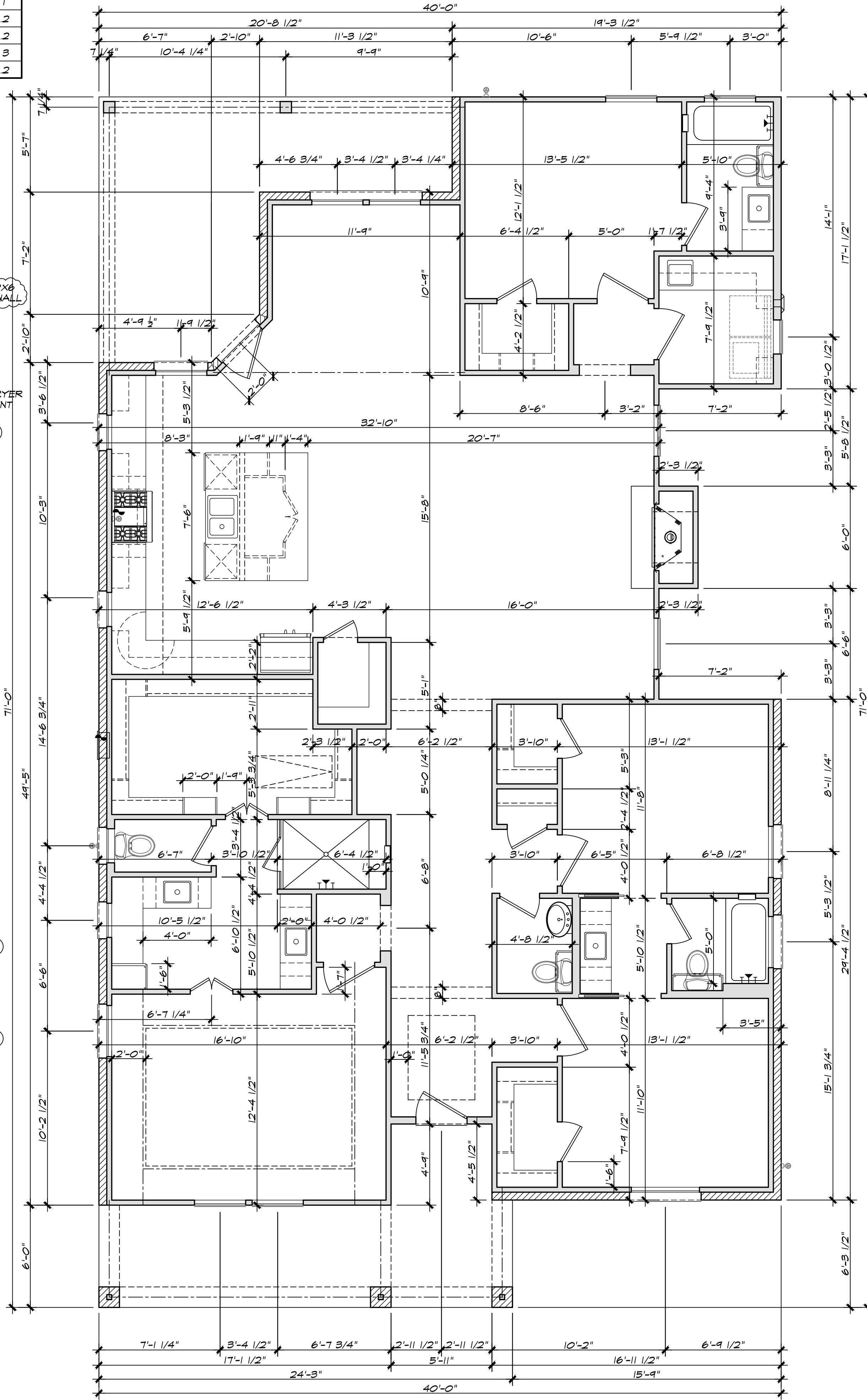
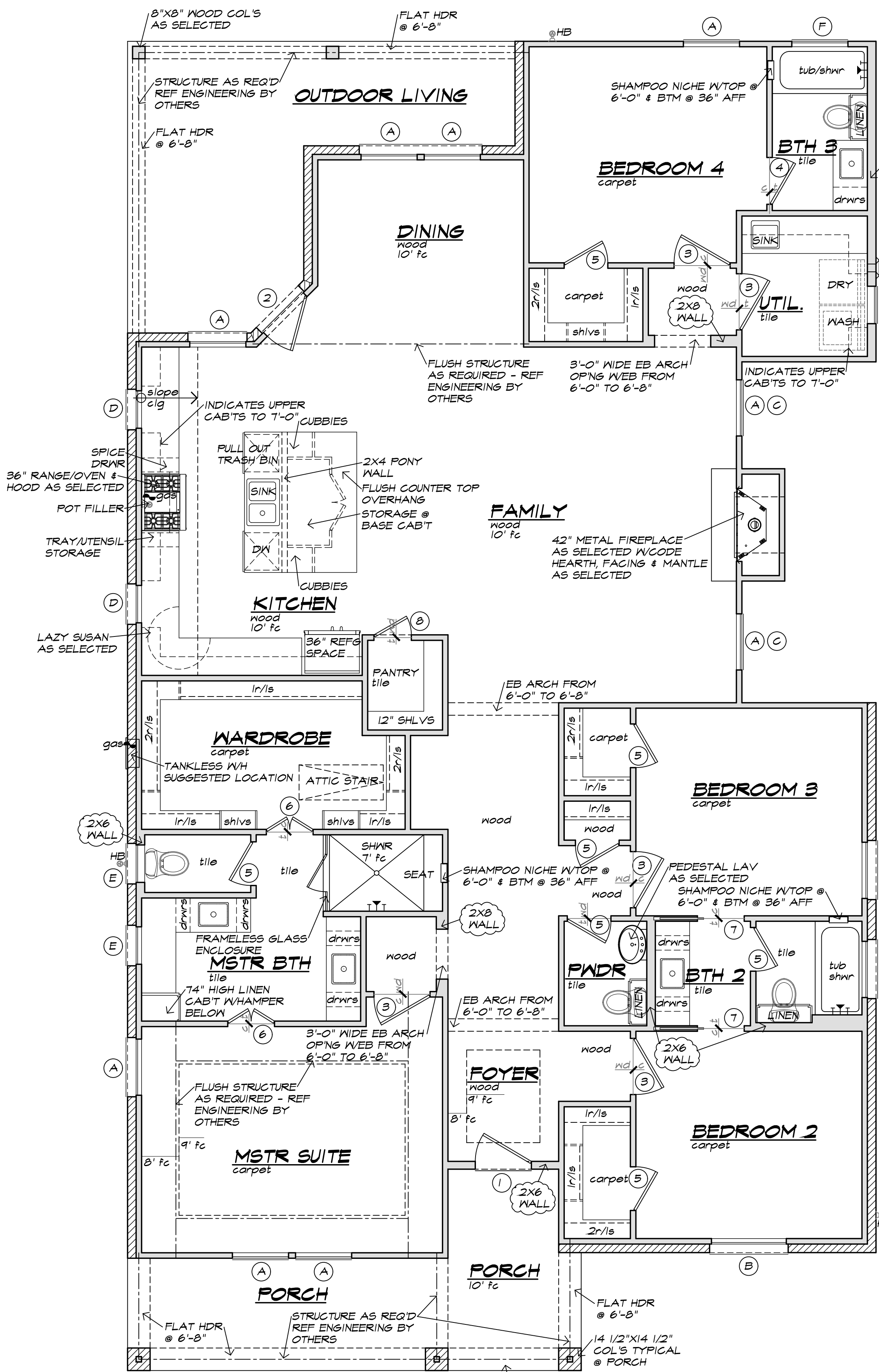
REVISED DATE
12/20/2019

SHEET
A2

DESIGN NUMBER
PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be construed as a contract. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s) hereof, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

DOOR SCHEDULE				WINDOW SCHEDULE				
TYPE	SIZE	DESCRIPTION	#	TYPE	SIZE	DESCRIPTION	#	
1	STEEL ENTRY UNIT	3'-0" X 6'-8"	WROUGHT IRON INSERT AS SELECTED	1	A	SINGLE HUNG	3'-0" X 6'-0" DIVIDED LITE @ 6'-8" HDR	10
2	SOLID CORE	3'-0" X 6'-8"	EXTERIOR FRENCH AS SELECTED	1	B	SINGLE HUNG	4'-0" X 6'-0" DIVIDED LITE @ 6'-8" HDR	1
3	SOLID CORE	3'-0" X 6'-8"	INTERIOR AS SELECTED	5	C	FIXED	3'-0" X 1'-6" DIVIDED LITE @ 9'-0" HDR	2
4	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED	1	D	FIXED	2'-0" X 3'-8" DIVIDED LITE @ 9'-0" HDR	2
5	SOLID CORE	2'-4" X 6'-8"	INTERIOR AS SELECTED	6	E	SINGLE HUNG	2'-0" X 3'-0" DIVIDED LITE @ 6'-8" HDR	3
6	SOLID CORE	PR 1'-3" X 6'-8"	INTERIOR AS SELECTED	2	F	HORIZ SLDR	3'-0" X 2'-0" @ 6'-8" HDR	2
7	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED POCKET	2				
8	SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED	1				



GENERAL NOTES
(WHERE APPLICABLE)

- * All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @ 16" O.C. w/ 1/2" plywood sheathing w/ vapor barrier, unless noted otherwise. (Blocked @ Midspan) & as per code.
- * Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- * All metal fireplaces to be top of the line-double lined (min)-code units as per mfg. (Wgas logs optional.)
- * All fireplaces to have tile, marble, or brick hearths & facing, as per builder, & as selected by owner.
- * All shelving to be 3/4" V-grooving supported at edges & on 4" O.C. (Bookshelves to have hidden "Ribbon" lighting optional)
- * All closets to have at least one single rod & two shelves, unless noted otherwise. W/mad to top hardware. Most to have 2 rods, 2 shelves or more as per builder.
- * All exterior doors, garage, and attic doors to be weather stripped.
- * All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above)
- * Kitchen counter tops to be formica, corian or stone w/ turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/dispensers, down-draft cooktop (w/6 optional burners & grill) as selected. Refrigerator to have water supply w/out-off. All plugs to be GFI. (As required by code.)
- * Stairs to have optional step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/ 4" clear spacing. Swardrails to be 42" high.
- * All bath vanities to be marble or stone (optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder.)
- * All doors to have ramped and drawn caulking, lined, waterproofed & vented for moisture. (Medicine cabinets as selected)
- * Ridges and valleys are to be braced down to proper support, through to foundation support.
- * Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out w/rifters. (See builder/engineer.)
- * All ceiling corners at main rooms to have molding. (Verify mtdg pkg)
- * Windows to be wood or metal, double pane insulated, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder.)
- * Window sills & casing to be wood or drywall.
- * All main drywall corners to have Bull-Nose. (optional)
- * Connect gutters and downspouts to an underground drainage piping system. (Verify w/owner and builder/engineer.)
- * All brick arches & designs w/reinforcing, & w/typical 5" mortar.
- * Brick columns to have treated wood post centers, or steel as shown. Wood columns to be set on anchored metal plinth & wall ties to brick.
- * All yard hydrants to be freeze proofed.
- * Provide high "R" ratings for attics, floors & walls. (optional)
- * All gas appliances to have code vents.
- * All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/drain.
- * A/C ducts should be routed around most usable attic space.
- * Dryer vents to be outside.
- * Ceiling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- * Radiant barriers are optional.
- * Uniform cornice vents @ entire perimeter, screened w/insulation baffles for air flow.
- * Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- * Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder.)
- * All long span ceilings to be stripped 2" O.C. w/1x4 leveling. (optional)
- * All rafter spans to be braced 12" O.C. maximum. (see eng.)
- * All ridges and beam connections to have metal clips & nailing. (see eng.)

Adapted Construction Codes:

- 2015 International Residential Code with local amendments
- 2015 International Building Code with local amendments
- 2015 International Plumbing Code with local amendments
- 2015 International Fuel Gas Code with local amendments
- 2015 International Mechanical Code with local amendments
- 2015 International Energy Conservation Code with local amendments
- 2015 International Existing Building Code with local amendments
- 2014 National Electrical Code with local amendments

AREAS	
TOTAL LIVING (AG)	2244.56 SQ. FT.
PORCH	178.98 SQ. FT.
OUTDOOR LIVING	205.79 SQ. FT.
TOTAL COVERAGE	2624.33 SQ. FT.

- GENERAL NOTES:**
- * ALL FINISHED CEILING @ 8'-0" AFF UNLESS NOTED
 - * ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - * ALL 4'S @ 45° UNLESS NOTED OTHERWISE
 - * CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
 - * ALL PLATE LINES AS NOTED ON ELEVATIONS
 - * ALL WINDOW HEADERS AS NOTED
 - * WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
 - * ALL INTERIOR FINISHES TO BE AS SELECTED UNLESS NOTED
 - * ALL VANITIES TO BE 36" HIGH

- INDOOR AIR QUALITY MEASURES**
- * AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
 - * AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
 - * AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE
 - * EXTERIOR DOORS TO HAVE PROPER WEATHER STRIPPING

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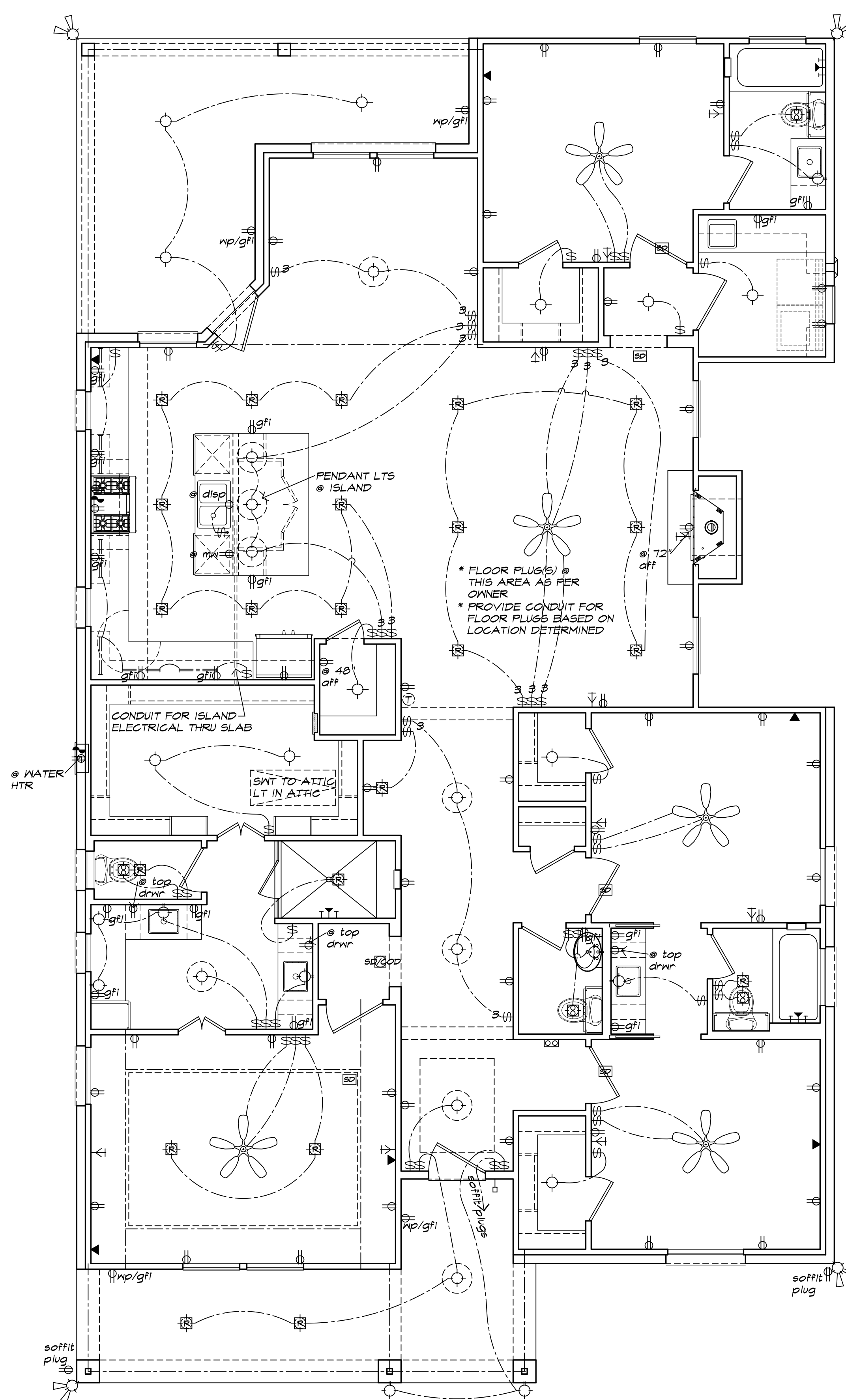
The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall make adjustments to any discrepancies and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustive detailing nor are they to be used for any other purpose. The contractor shall verify all dimensions, materials, and conditions and shall be held responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes. The contractor shall be responsible for providing any engineering necessary to the stability of any member, wall, and foundation. The contractor shall be responsible for providing any engineering necessary to the stability of any member, wall, and foundation. The contractor shall be responsible for providing any engineering necessary to the stability of any member, wall, and foundation. The contractor shall be responsible for providing any engineering necessary to the stability of any member, wall, and foundation.

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M Rowe Design
2307 HIGHRIDGE
SACHSE, TEXAS 75048
(214) 801-9944
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MROWE DESIGN - CREATING GREAT LIVES

REVISED DATE
SHEET AI
DESIGN NUMBER PG 2244

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LIGHTING & ELECTRICAL LEGEND

▼	LANDLINE - OPTIONAL
⏏	SWITCH
⊙	6"Ø RECESSED LIGHT UNLESS NOTED
⊙	RECESSED EXHAUST FAN
⊙	SURFACE MOUNTED WALL LIGHT
⊙	HANGING LIGHT
⊙	DUPLEX RECEPTACLE
⊙	220 RECEPTACLE
⊙	DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
⊙	DUPLEX GROUND FAULT INTERRUPTER
⊙	TV OUTLET (CAT 6)
⊙	SMOKE DETECTOR
⊙	PUSH BUTTON TO CHIME
⊙	DOOR CHIME
⊙	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
⊙	CEILING FAN w/LIGHT KIT UNLESS NOTED
⊙	SMOKE/CARBON MONOXIDE DETECTOR
⊙	THERMOSTAT
⊙	PUSH/AIR GARBAGE DISPOSAL SWITCH
⊙	SURFACE LIGHT
⊙	D-MARK DATA CONNECTION POINT
⊙	UNDER/OVER CABINET FLUORESCENT LIGHT

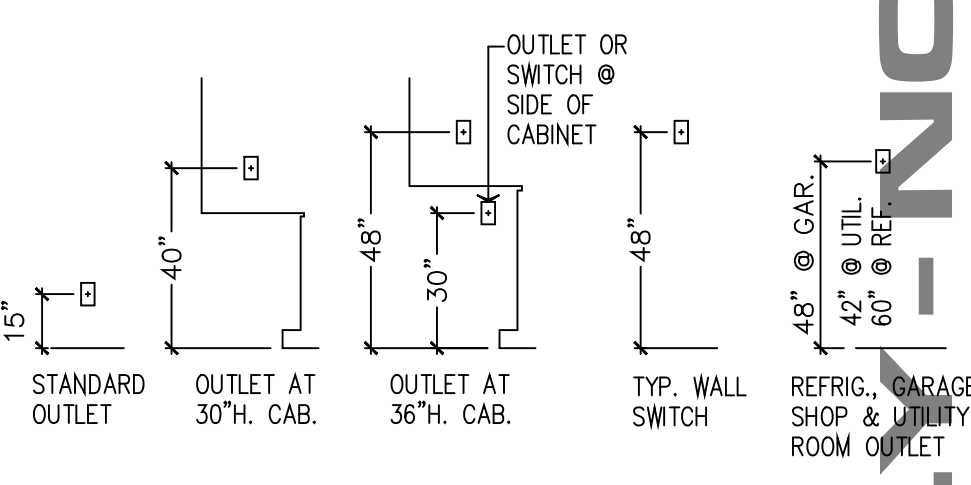
NOTE
 * ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT

ELECTRICAL NOTES

(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

* ALL LANDSCAPING LIGHTING & JUNCTION BOX LOCATIONS TO BE BY OTHERS & AS PER OWNER BUILDER AGREEMENT
 * CARRIAGE LTS TO BE @ 6'-0" AFF
 * SEE OWNER FOR ATTIC LIGHTING & PREFERRED PLACEMENT



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
 NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

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 FOR THE
 GUARDIOLA FAMILY
 ROCKWALL, TEXAS**

M Rouse Design
 2307 HIGHLIDGE
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 mrouse@designs.com
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REVISED DATE
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SHEET
 A3

DESIGN NUMBER
 PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, omissions, or errors. The general contractor shall be responsible for the coordination of all trades and shall be responsible for the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be used for any other purpose. The general contractor shall be responsible for the construction and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. The general contractor shall be responsible for providing any engineering necessary to the stability of any structure, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1051 AND ALL OF LOT 1050, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre parcel of land being described as a portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

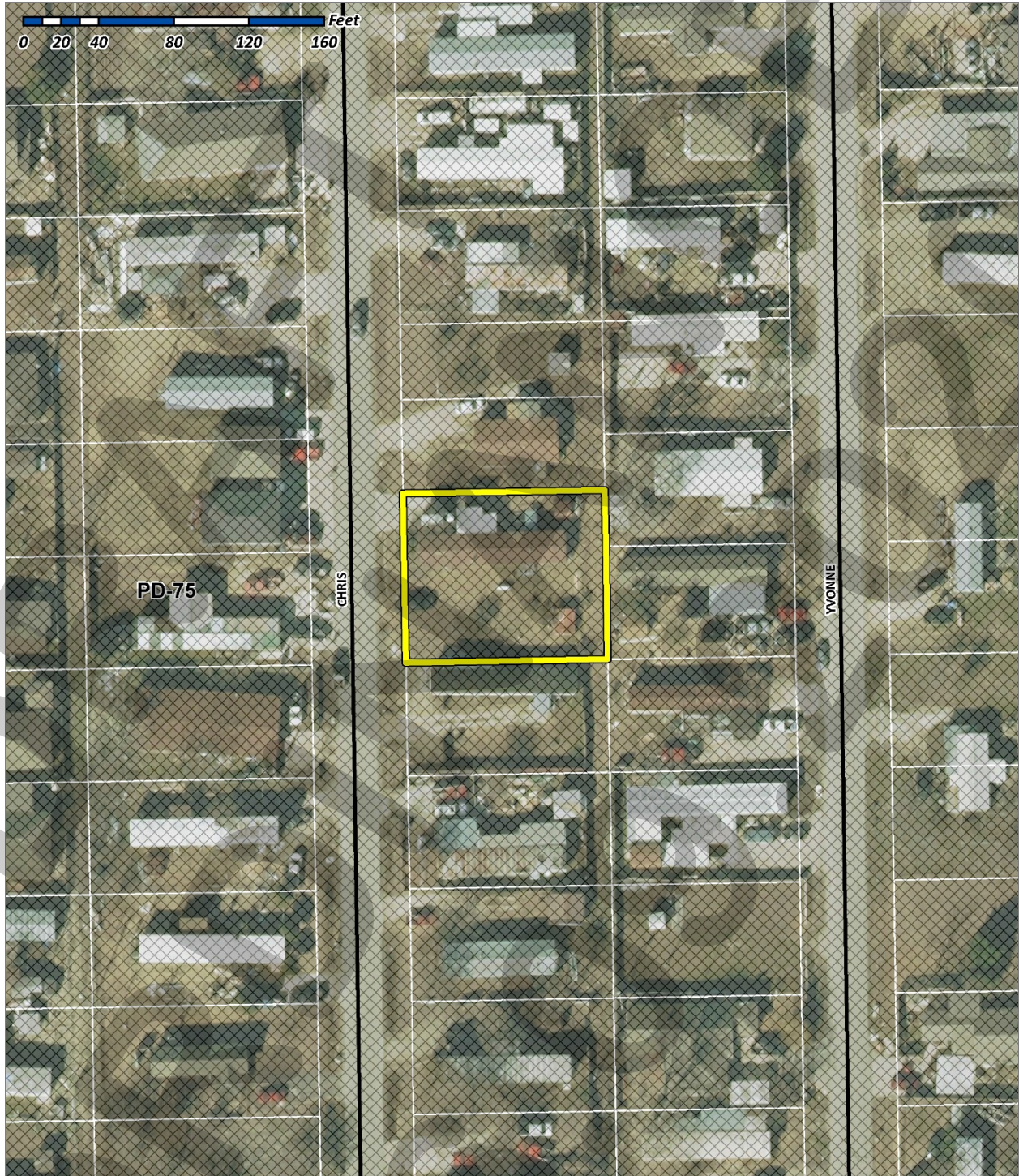
1st Reading: June 15, 2020

2nd Reading: July 6, 2020

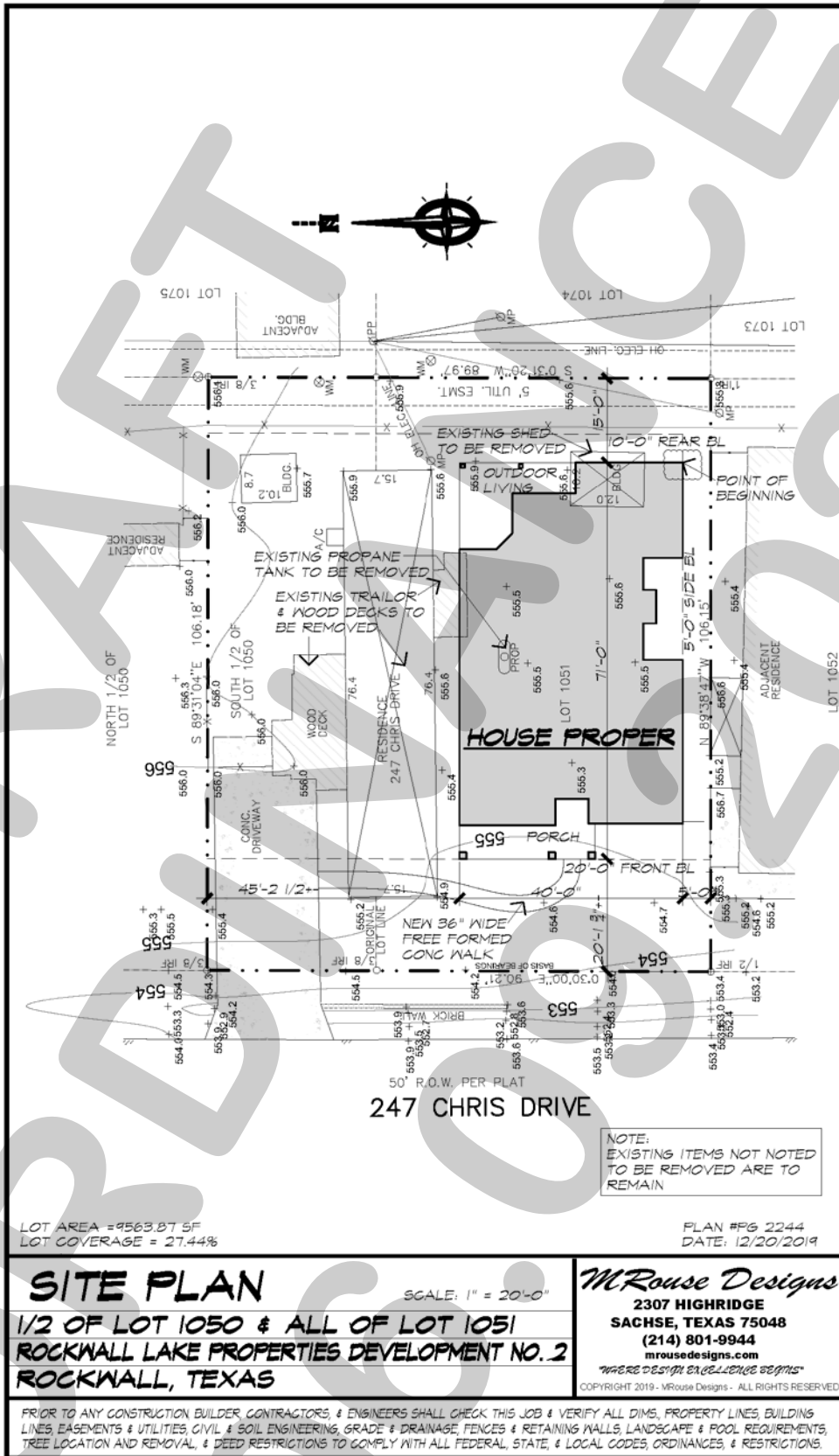
Exhibit 'A'
Location Map and Survey

Address: 247 Chris Drive

Legal Description: A Portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2



**Exhibit 'B':
Residential Plot Plan**





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: June 15, 2020
APPLICANT: J. W. Jones
CASE NUMBER: Z2020-019; *Specific Use Permit (SUP) for a Residential Infill for 247 Chris Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lots 1050 & 1051 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. At some point prior to 2006, Lot 1050 was subdivided by metes and bounds into two (2) equal tracts of land, and one-half was combined with Lot 1051 and one-half was combined with a portion of Lot 1049 by common ownership. The subject property was annexed into the City of Rockwall on February 17, 2009 by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. According to the Rockwall Central Appraisal District (RCAD), the mobile home currently situated on the subject property was installed in 1984 and is 1,280 SF. In 1998, a 130 SF accessory building was constructed on the property, and in 2000 a 192 SF covered porch was constructed onto the mobile home.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 247 Chris Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Yvonne Drive, which is classified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Chris Drive, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Chris Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Chris Drive Between County Line Road and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes located along Chris Drive are oriented toward Chris Drive.	The front elevation of the home will face onto Chris Drive.
Year Built	1973-2017	N/A
Building SF on Property	672-3,650 SF	2,624 SF
Building Architecture	Various (<i>Majority Mobile/Modular Home</i>)	Comparable Architecture to Existing Homes
Building Setbacks:		
Front	Estimated Between zero (0) and 20-Feet	20-Feet
Side	The side yard setbacks appear to be between zero (0) and six (6) feet.	5-Feet
Rear	The rear yard setbacks appear to range from zero (0) and greater than ten (10) feet.	15-Feet
Building Materials	Modular Homes, HardiBoard, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of HardiBoard Siding and Brick
Paint and Color	Blue, Yellow, Tan, Brown, White, Green, Pink Red, and Grey	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Composite Shingle
Driveways	Driveways are all in the front and visible from Chris Drive. Some homes have garages and/or carports; however, the majority are just driveways.	The applicant has stated that the existing driveway being used by the mobile home will continued to be used and that they are not proposing to construct a garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 75 [*Ordinance No. 09-37*] and for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Chris Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 27, 2020, staff mailed 161 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Prior to the issuance of a building permit for a single-family home the subject property needs to be replatted into one (1) residential lot.
- (3) The proposed single-family home will be required to demonstrate that a minimum of two (2) off-street parking spaces will be provided prior to the issuance of a building permit.
- (4) Prior to the acceptance and issuance of a Certificate of Occupancy (CO) for the proposed home, the existing mobile home and covered porch shall be removed from the property.
- (5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On June 9, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address 247 CHRIS DR.

Subdivision ROCKWALL LAKE PROPERTIES

General Location South of Interstate 30

Development No. 2
Lot 1051 Block _____
and 1/2 of Lot 1050

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning Residential

Current Use Residential

Proposed Zoning Residential-Specific Use Permit

Proposed Use Residential

Acreage Less than one Acre

Lots [Current] 1 1/2

Lots [Proposed] 1 1/2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

Owner

Applicant J.W. Jones

Contact Person

Contact Person J.W. Jones

Address

Address 555 N. 5th St.
Suite 113

City, State & Zip

City, State & Zip GARLAND TX 75040

Phone

Phone 214-535-2850

E-Mail

E-Mail Jayjones1941@hotmail.com

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared J.W. Jones (the undersigned), who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of May, 20 20

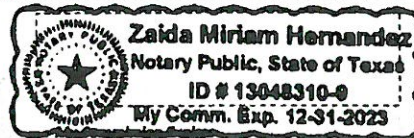
APPLICANTS

Applicant's Signature


J.W. Jones

Notary Public in and for the State of Texas

Zaida Miriam Hernandez



0 20 40 80 120 160 Feet

Z2020-019- SUP FOR 247 CHRIS DRIVE
ZONING - LOCATION MAP = 



PD-75

CHRIS

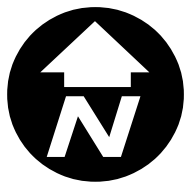
YVONNE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

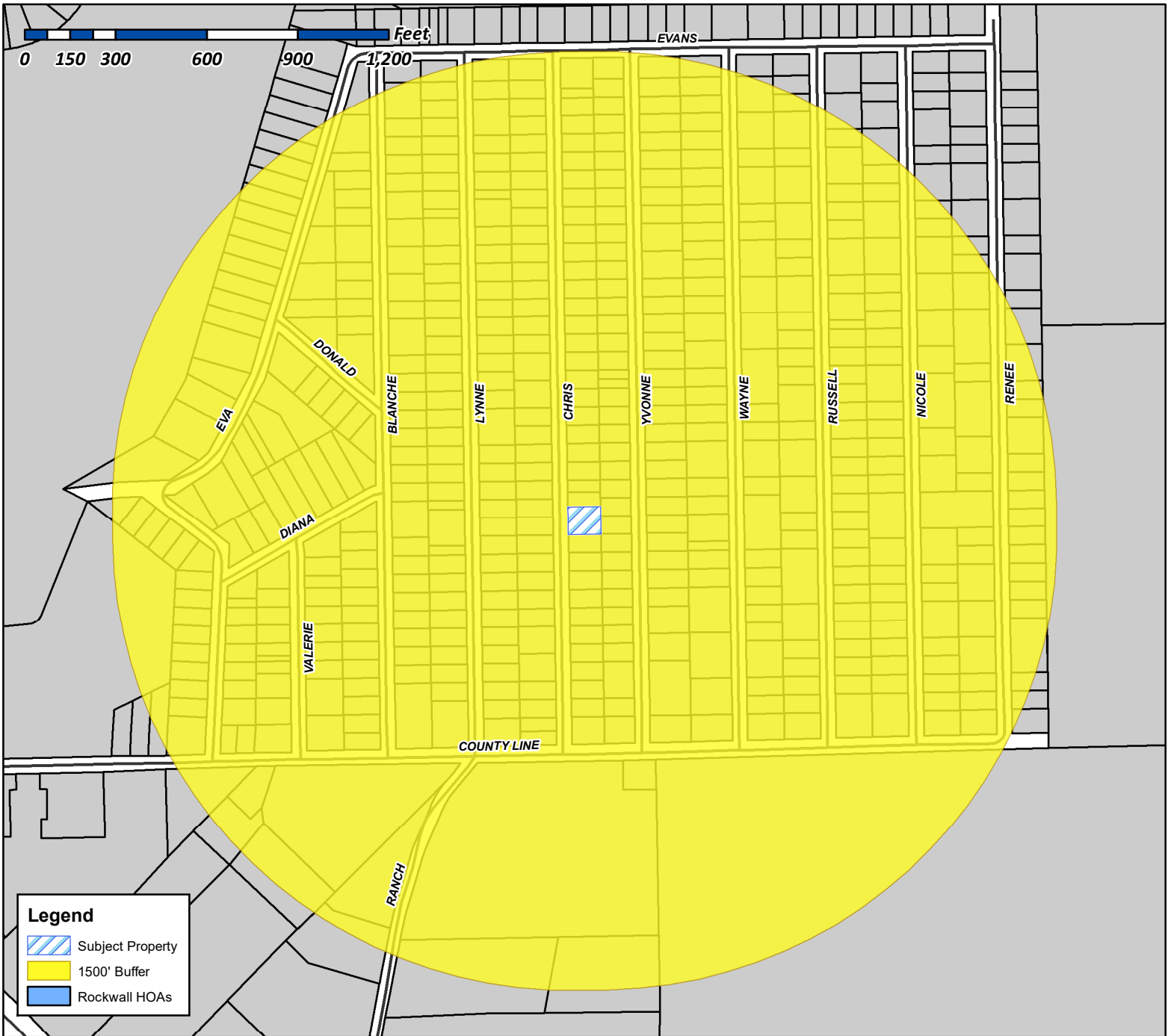
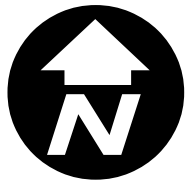




City of Rockwall

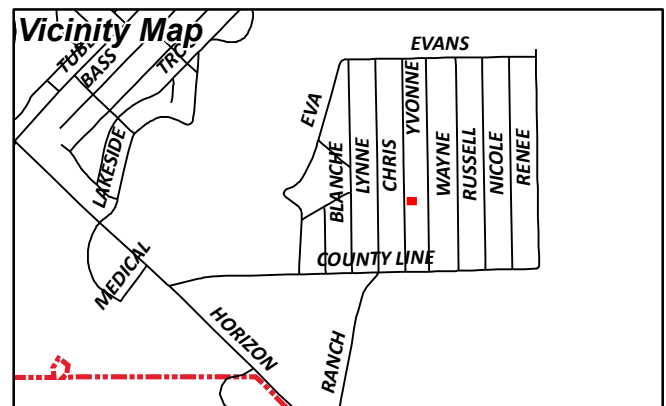
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Rockwall, Texas 75087
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development 75 (PD-75)
 District
Case Address: 247 Chris Drive

Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745

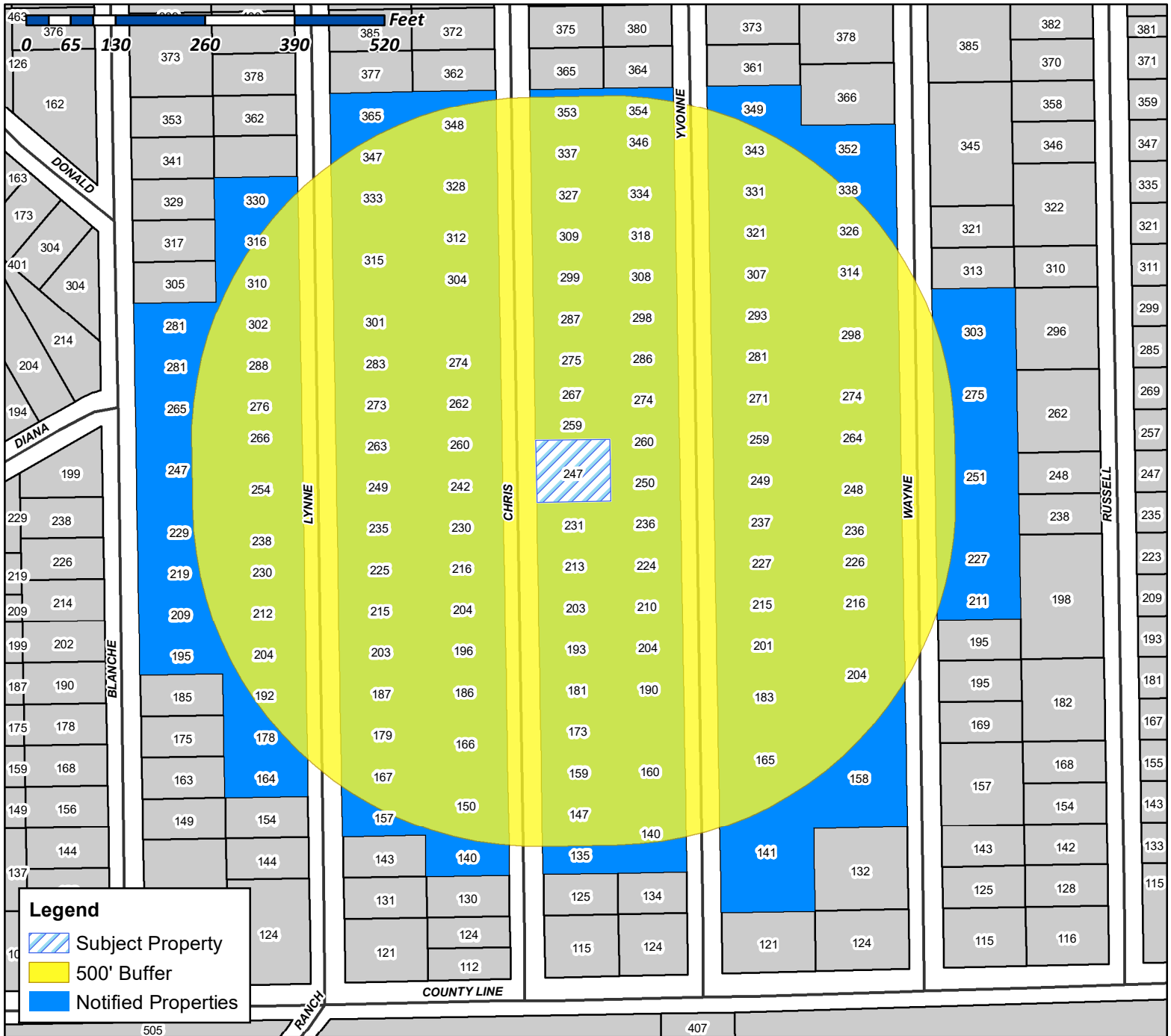




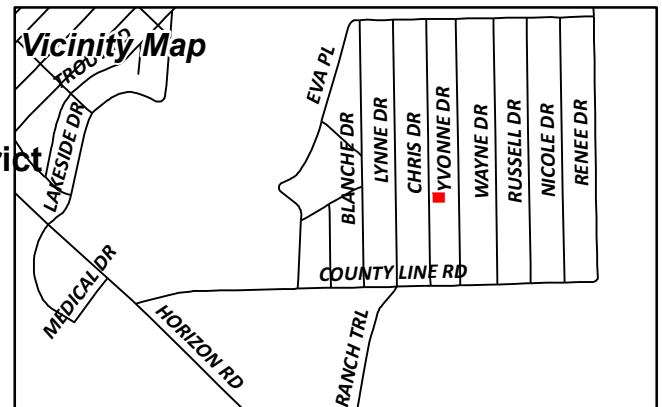
City of Rockwall

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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development-75 (PD-75) District
Case Address: 247 Chris Drive



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

GONZALES JOSE & INES
1059 LOCAL VISTA DR
DALLAS, TX 75217

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

CURRENT RESIDENT
135 CHRIS
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
140 OVERBROOK DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
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ROCKWALL, TX 75032

CURRENT RESIDENT
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ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

OSORNIO EDUARDO
163 EASTRIDGE DR
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
179 LYNNE
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
186 CHRIS
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
192 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
193 CHRIS
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
196 CHRIS
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
203 CHRIS
ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J
203 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
204 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
204 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
204 WAYNE
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
210 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
211 WAYNE
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

PEREZ GILBERTO
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA
213 CHRIS DR
ROCKWALL, TX 75032

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215 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
215 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
216 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
216 WAYNE
ROCKWALL, TX 75032

OSORNIO KEVIN
220 CRAWFORD LANE
ROYSE CITY, TX 75189

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
225 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
226 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
227 WAYNE
ROCKWALL, TX 75032

KENDALL LEAH T
227 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
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CURRENT RESIDENT
230 LYNNE
ROCKWALL, TX 75032

PEREZ FERMIN &
YOLANDA GUEVARA
230 LYNNE DR
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
236 WAYNE
ROCKWALL, TX 75032

RAMIREZ MELESIO
236 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
237 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
238 LYNNE
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CURRENT RESIDENT
242 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
247 BLANCHE
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ
249 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
250 YVONNE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
254 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
259 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
259 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
260 CHRIS
ROCKWALL, TX 75032

DODSON CHARLES & GLENDA
260 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
262 CHRIS
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
264 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
265 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
266 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
267 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
271 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
273 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
274 CHRIS
ROCKWALL, TX 75032

GUEVARA ELIAS
274 EASTRIDGE DR
ROYSE CITY, TX 75189

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
274 YVONNE
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
276 LYNNE
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
281 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
283 LYNNE
ROCKWALL, TX 75032

RICO ANTONIO
286 YVONNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
288 LYNNE
ROCKWALL, TX 75032

CHAPELA AARON JAIME
292 CHRIS
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
ROCKWALL, TX 75032

GARCIA RICARDO
298 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
298 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
302 LYNNE
ROCKWALL, TX 75032

RANGEL JORGE MIGUEL
302 S GOLIAD
ROCKWALL, TX 75087

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
308 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
309 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
310 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
312 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
314 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
315 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
316 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
318 YVONNE
ROCKWALL, TX 75032

CASTANEDA LUCERO ADILENE AND ALFREDO
TORRES
321 YVONNE DR
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
330 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
331 YVONNE
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

GODINEZ INOCENTE AND
CORDELIA ESPERANZA MONROY TUMIN
334 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

RUBIO LORENA & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

MOLINA MARLIN J & JAIME
340 YVONNE DR
ROCKWALL, TX 75032

SAAVEDRA SILVIA
343 YVONNE DR
ROCKWALL, TX 75032

GUADARRAMA TARCICIO &
MARIA M NAJERA
346 YVONNE DR
ROCKWALL, TX 75032

DIAZ JUAN
347 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
348 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
349 YVONNE
ROCKWALL, TX 75032

MORENO SALVADOR &
ANA MARGARITA RODRIGUEZ
352 LYNNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

FORTUNA FRANCISCO & LUISA
354 YVONNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO
365 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

VELASQUEZ JORGE
543 BASS RD
ROCKWALL, TX 75032

RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-019: SUP for Residential Infill for 247 Chris Drive

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the respondent's name.

Address:

Grey bar for entering the respondent's address.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: *Jennifer Maciel*
Address: *303 Wayne Drive Rockwall TX 75032*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

add value to all properties in this Mobile Home
Upgrades the over-all look of this area. Park

Name:

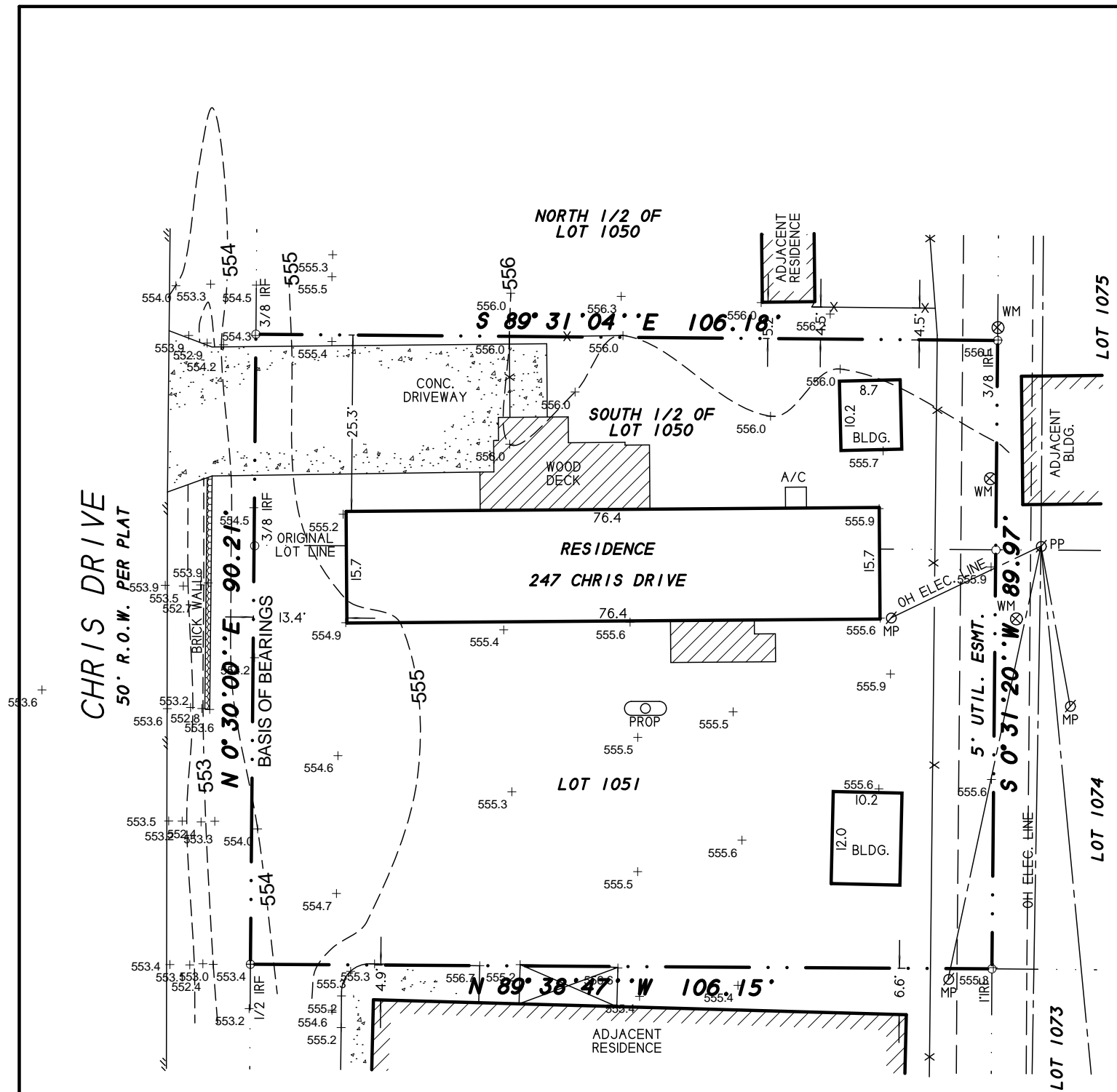
Marlene & Rick Greer (jr.)

Address:

299 Chris Drive Rockwall, Texas 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

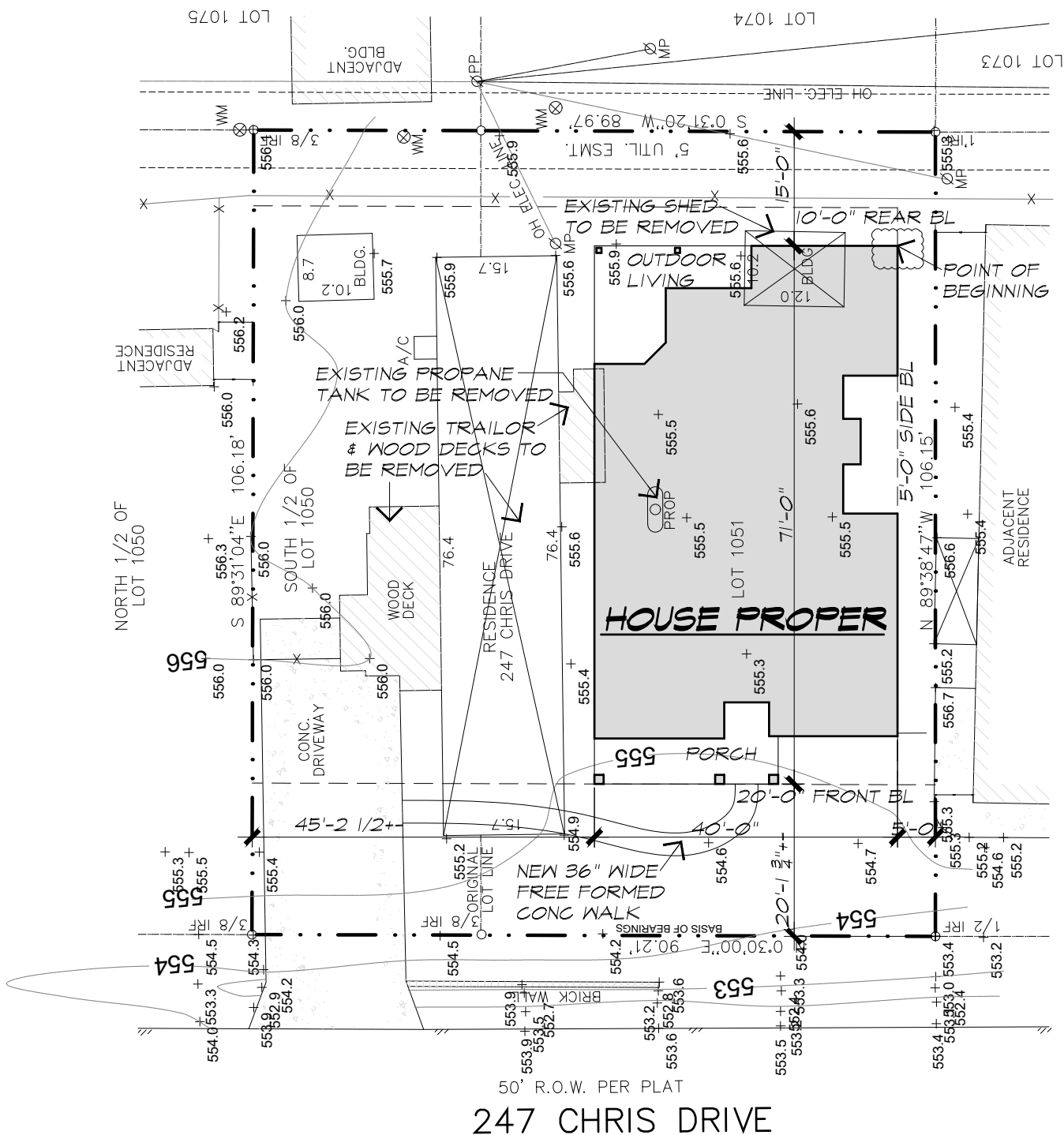
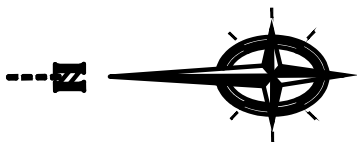
[Signature]
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
Ⓣ	Ⓜ	☎	⚡	Ⓜ	Ⓜ
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	PP	POWER POLE
Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ
ELEC. METER	ELEC. BOX	WM	LP	Ⓜ	1/2" IRF
ELECTRIC METER	SUBSURFACE JUNCTION BOX	WATER METER	LIGHT POLE	Ⓜ	IRON ROD FOUND (CORNER)
---	---	---	---	---	---
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROP. TANK	PROP. TANK

SURVEY DATE	SEPTEMBER 16, 2019
SCALE	1" = 20'
CLIENT	JONES
FILE #	20100500
GF #	NONE

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NOTE:
EXISTING ITEMS NOT NOTED
TO BE REMOVED ARE TO
REMAIN

LOT AREA = 9563.87 SF
LOT COVERAGE = 27.44%

PLAN #PG 2244
DATE: 12/20/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

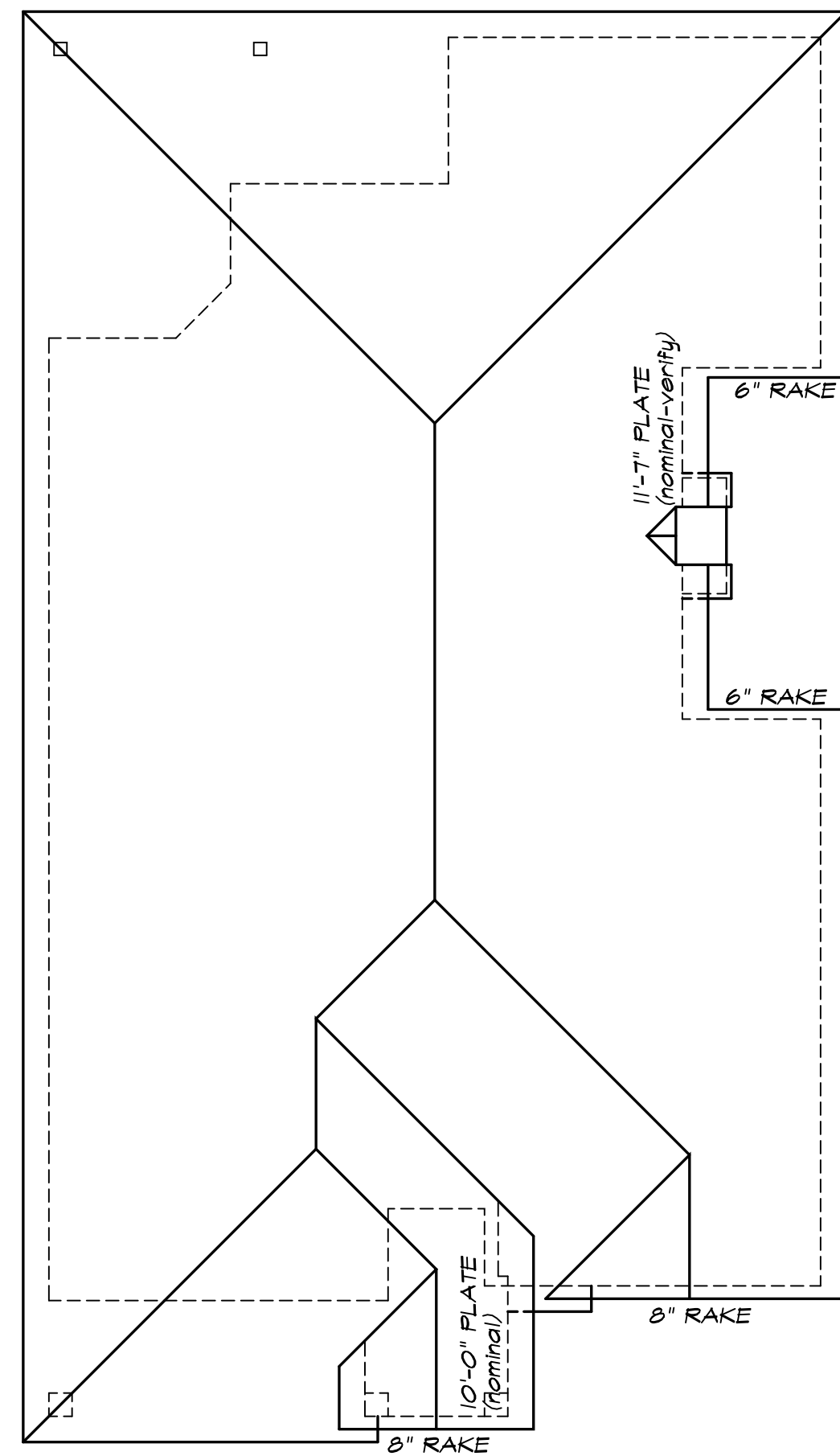
2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

COPYRIGHT 2019 - M. Rouse Designs - ALL RIGHTS RESERVED

1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

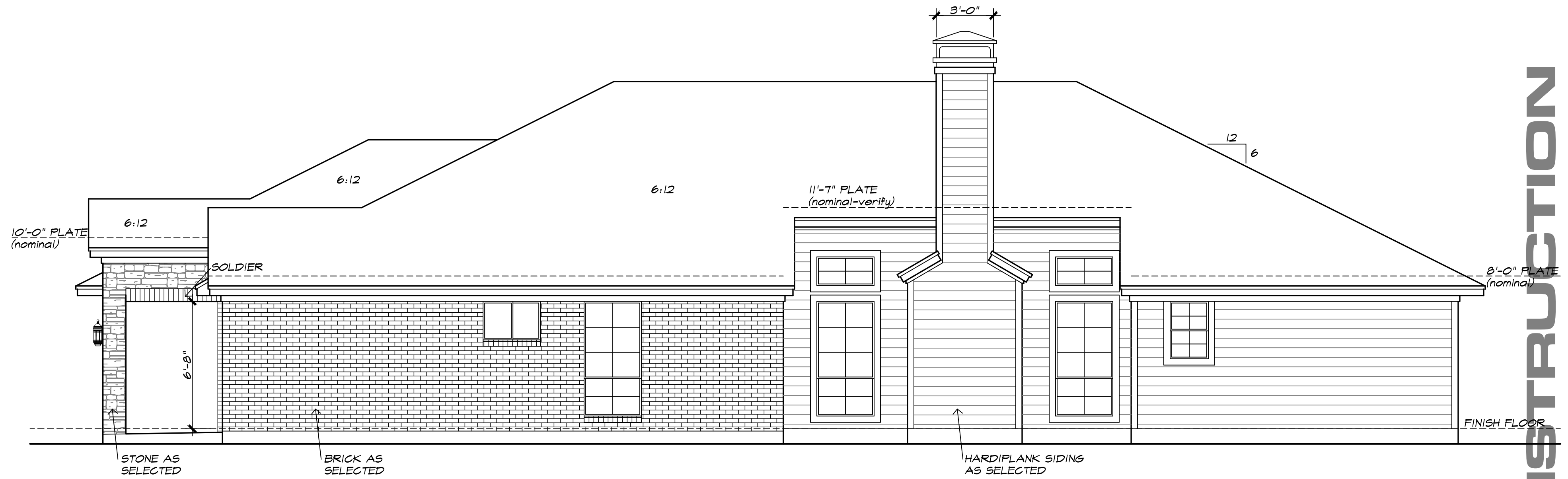
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



ROOF PLAN

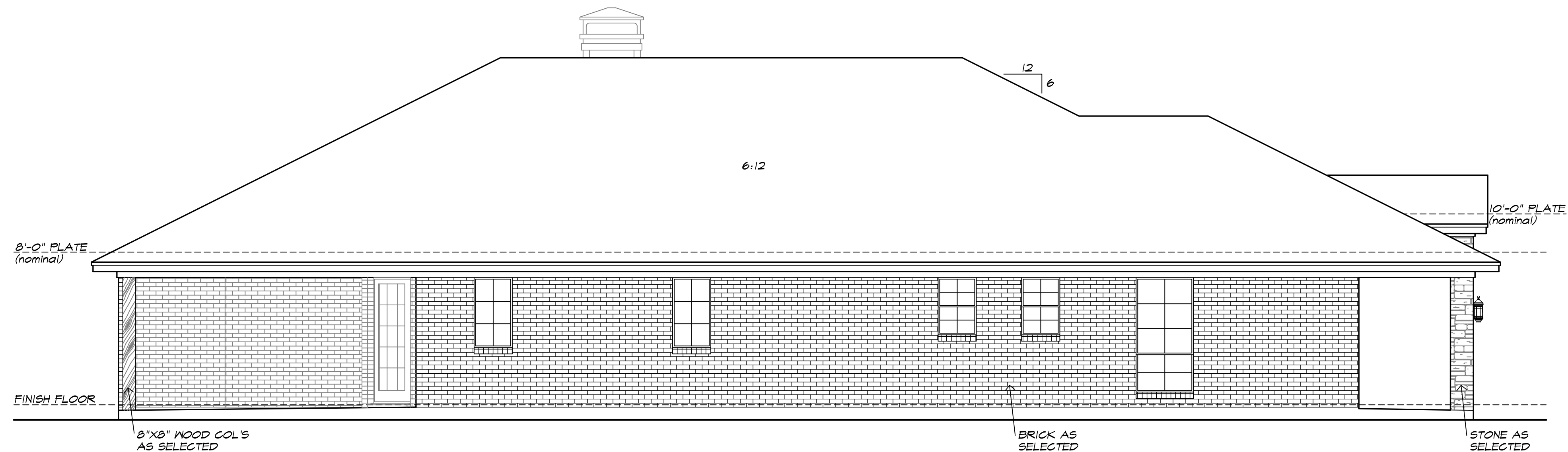
SCALE 1/8"=1'-0"

- * ROOF AS SPECIFIED @ 6:12
- * SCREENED CORNICE VENTS AS PER CODE
- * ATTIC VENTILATION AS PER CODE & AS SELECTED
- * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS AS PER OWNER BUILDER AGREEMENT
- * 8'-0" PLATE (NOMINAL) UNLESS NOTED



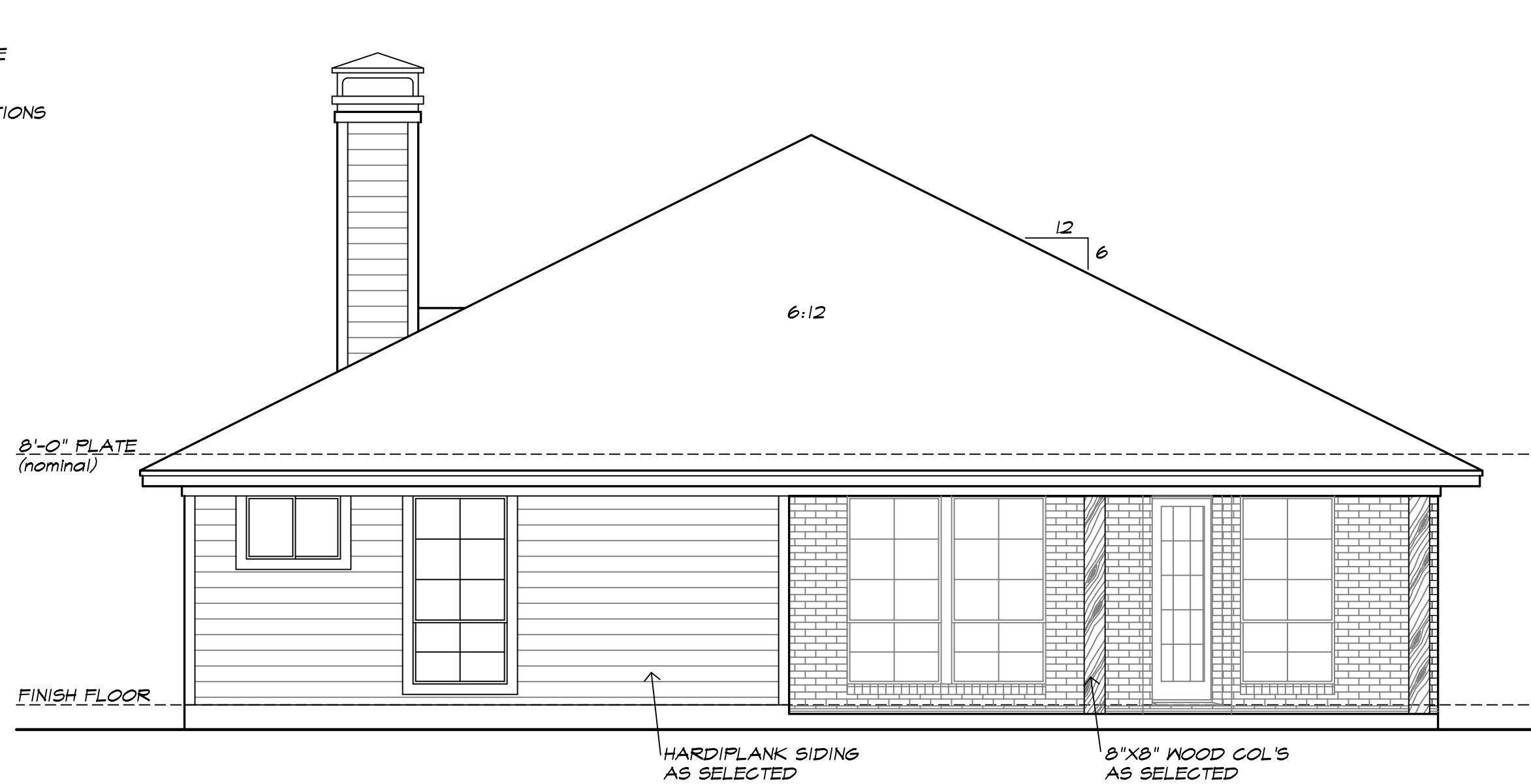
RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



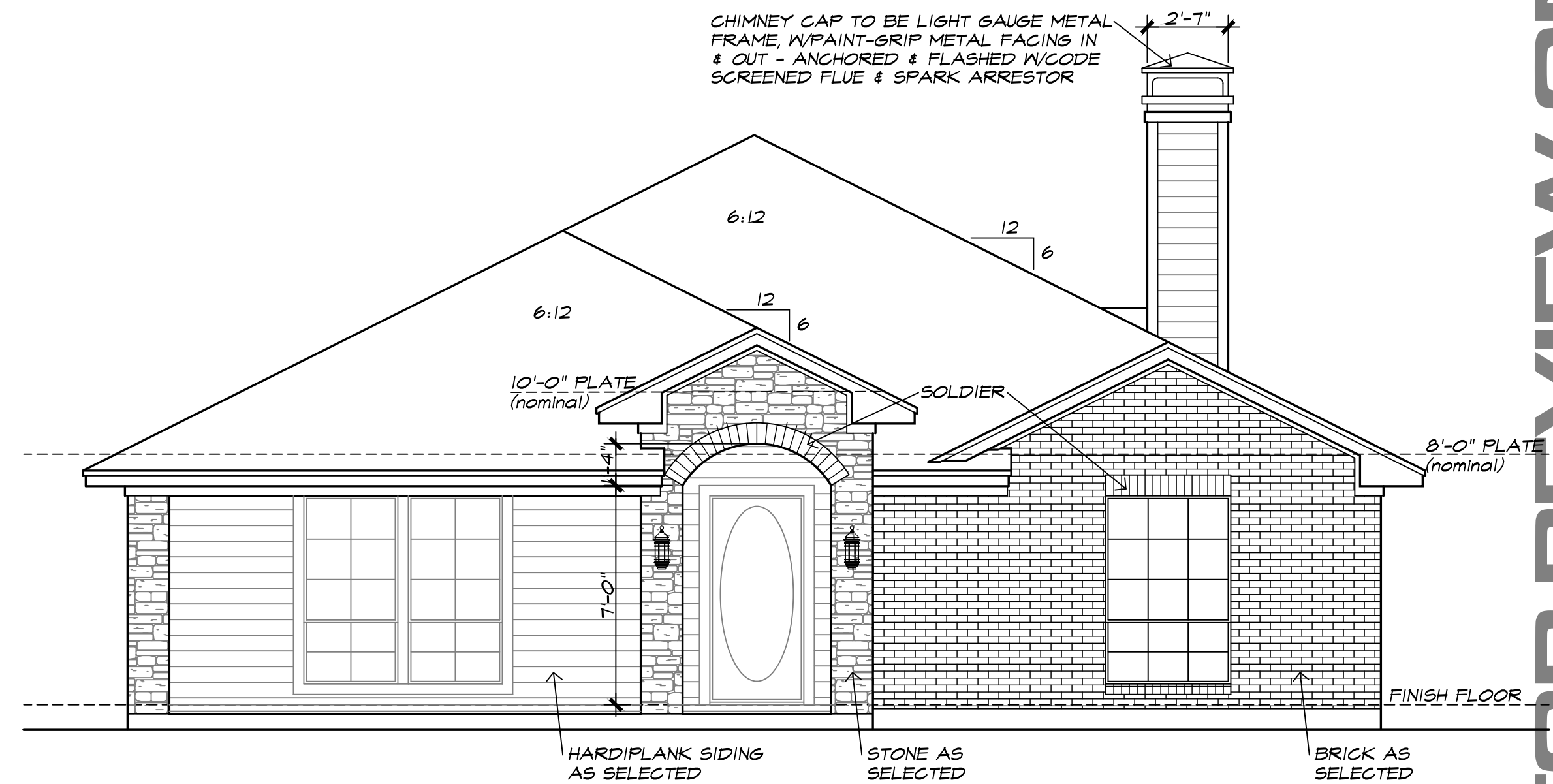
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

**A CUSTOM RESIDENCE
FOR THE
GUARDIOLA FAMILY
ROCKWALL, TEXAS**

M Rouse Designs

2307 HIGHLIDGE
SACHSE, TEXAS 75048
(214) 801-9944

mrouse designs.com
MROUSE DESIGN, ELEVATION, PERMITS™

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REVISED DATE
12/20/2019

SHEET
A2

DESIGN NUMBER
PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be construed as a contract. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s) hereof, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

DOOR SCHEDULE				WINDOW SCHEDULE				
TYPE	SIZE	DESCRIPTION	#	TYPE	SIZE	DESCRIPTION	#	
1	STEEL ENTRY UNIT	3'-0" X 6'-8"	WROUGHT IRON INSERT AS SELECTED	1	A	SINGLE HUNG	3'-0" X 6'-0" DIVIDED LITE @ 6'-8" HDR	10
2	SOLID CORE	3'-0" X 6'-8"	EXTERIOR FRENCH AS SELECTED	1	B	SINGLE HUNG	4'-0" X 6'-0" DIVIDED LITE @ 6'-8" HDR	1
3	SOLID CORE	3'-0" X 6'-8"	INTERIOR AS SELECTED	5	C	FIXED	3'-0" X 1'-6" DIVIDED LITE @ 9'-0" HDR	2
4	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED	1	D	FIXED	2'-0" X 3'-8" DIVIDED LITE @ 9'-0" HDR	2
5	SOLID CORE	2'-4" X 6'-8"	INTERIOR AS SELECTED	6	E	SINGLE HUNG	2'-0" X 3'-0" DIVIDED LITE @ 6'-8" HDR	3
6	SOLID CORE	PR 1'-3" X 6'-8"	INTERIOR AS SELECTED	2	F	HORIZ SLDR	3'-0" X 2'-0" @ 6'-8" HDR	2
7	SOLID CORE	2'-6" X 6'-8"	INTERIOR AS SELECTED POCKET	2				
8	SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED	1				

GENERAL NOTES (WHERE APPLICABLE)

- All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @ 16" O.C. w/ 1/2" plywood sheathing w/ water vapor barrier, unless noted otherwise. (Blocked @ Midspan) & as per code.
- Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- All metal fireplaces to be top of the line double lined (min.) code units as per mfg. (Wgas logs optional).
- All fireplaces to have tile, marble, or brick hearths & facing, as per builder, as selected by owner.
- All shelving to be 3/4" V-grooving supported at edges & on 4" O.C. (Bookshelves to have hidden "Ribbon" lighting optional).
- All closets to have at least one single rod & two shelves, unless noted otherwise. W/mad to top hardware. Most to have 2 rods, 2 shelves or more as per builder.
- All exterior doors, garage, and attic doors to be weather stripped.
- All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above).
- Kitchen counter tops to be formica, granite or stone w/ turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/dispensers, down-draft cooktop (w/6 optional burners & grill) as selected. Refrigerator to have water supply w/out-off. All plugs to be GFI. (As required by code).
- Stairs to have optional step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/ 4" clear spacing. Swardrails to be 42" high.
- All bath vanities to be marble or stone (optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder).
- All doors to have flanges and drawers caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
- Ridges and valleys are to be braced down to proper support, through to foundation support.
- Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out w/rafter. (See builder/engineer).
- All ceiling corners at main rooms to have molding. (Verify mtdg. code).
- Windows to be wood or metal, double pane insulated, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- Window sills & casing to be wood or drywall.
- All main drywall corners to have Bull-Nose (optional).
- Connect gutters and downspouts to an underground drainage piping system. (Verify w/owner and builder/engineer).
- All brick arches & designs w/reinforcing, & w/Type "S" mortar.
- Brick columns to have treated wood post insulator, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- All yard hydrants to be freeze proofed.
- Provide high "R" ratings for attics, floors & walls. (optional)
- All gas appliances to have code vents.
- All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/insulation.
- A/C ducts should be routed around most usable attic space.
- Dryer vents to be outside.
- Colling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- Radiant barriers are optional.
- Uniform cornice vents @ entire perimeter, screened w/insulation baffled for air flow.
- Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder).
- All long span ceilings to be stripped 2" O.C. w/1x4 leveling. (optional)
- All rafter spans to be braced 12" O.C. maximum. (see eng.)
- All ridges and beam connections to have metal clips & nailing. (see eng.)

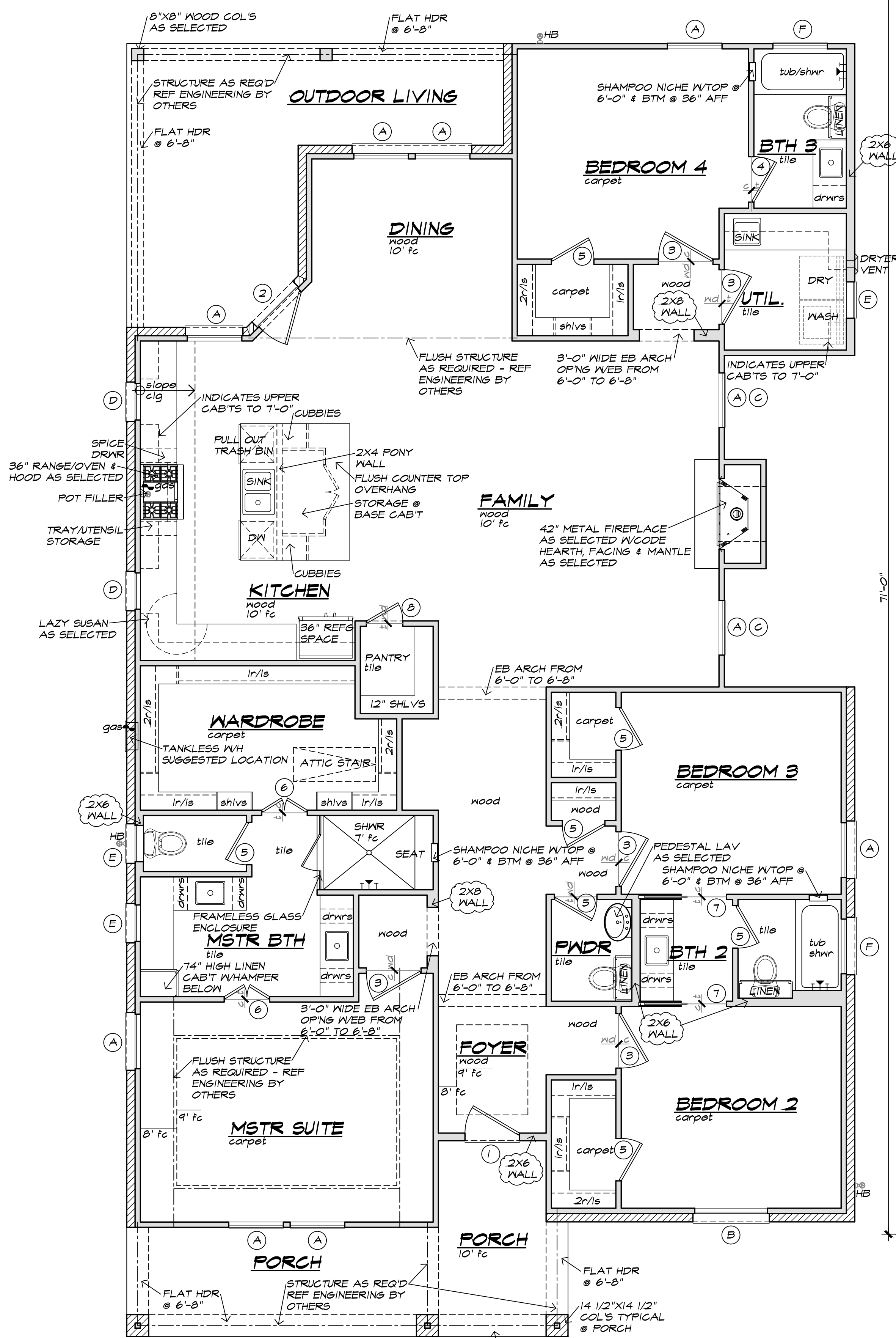
AREAS	
TOTAL LIVING (AG)	2244.56 SQ. FT.
PORCH	178.98 SQ. FT.
OUTDOOR LIVING	205.79 SQ. FT.
TOTAL COVERAGE	2624.33 SQ. FT.

GENERAL NOTES:

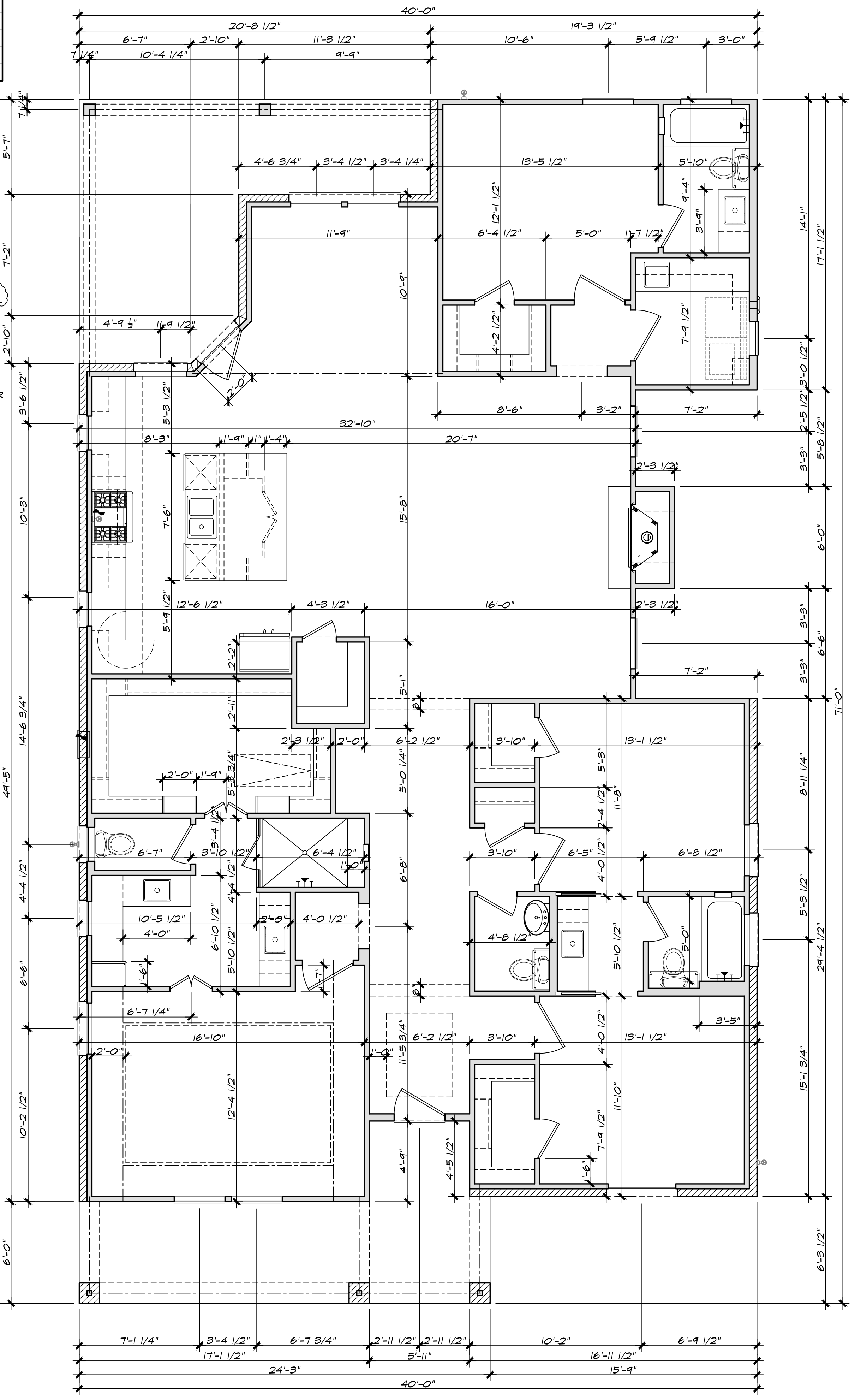
- ALL FINISHED CEILING @ 8'-0" AFF UNLESS NOTED
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- ALL 4'S @ 45° UNLESS NOTED OTHERWISE
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- ALL PLATE LINES AS NOTED ON ELEVATIONS
- ALL WINDOW HEADERS AS NOTED
- WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
- ALL INTERIOR FINISHES TO BE AS SELECTED UNLESS NOTED
- ALL VANITIES TO BE 36" HIGH

INDOOR AIR QUALITY MEASURES

- AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
- AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
- AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE
- EXTERIOR DOORS TO HAVE PROPER WEATHER STRIPPING



NOTATION PLAN
SCALE 1/4"=1'-0"



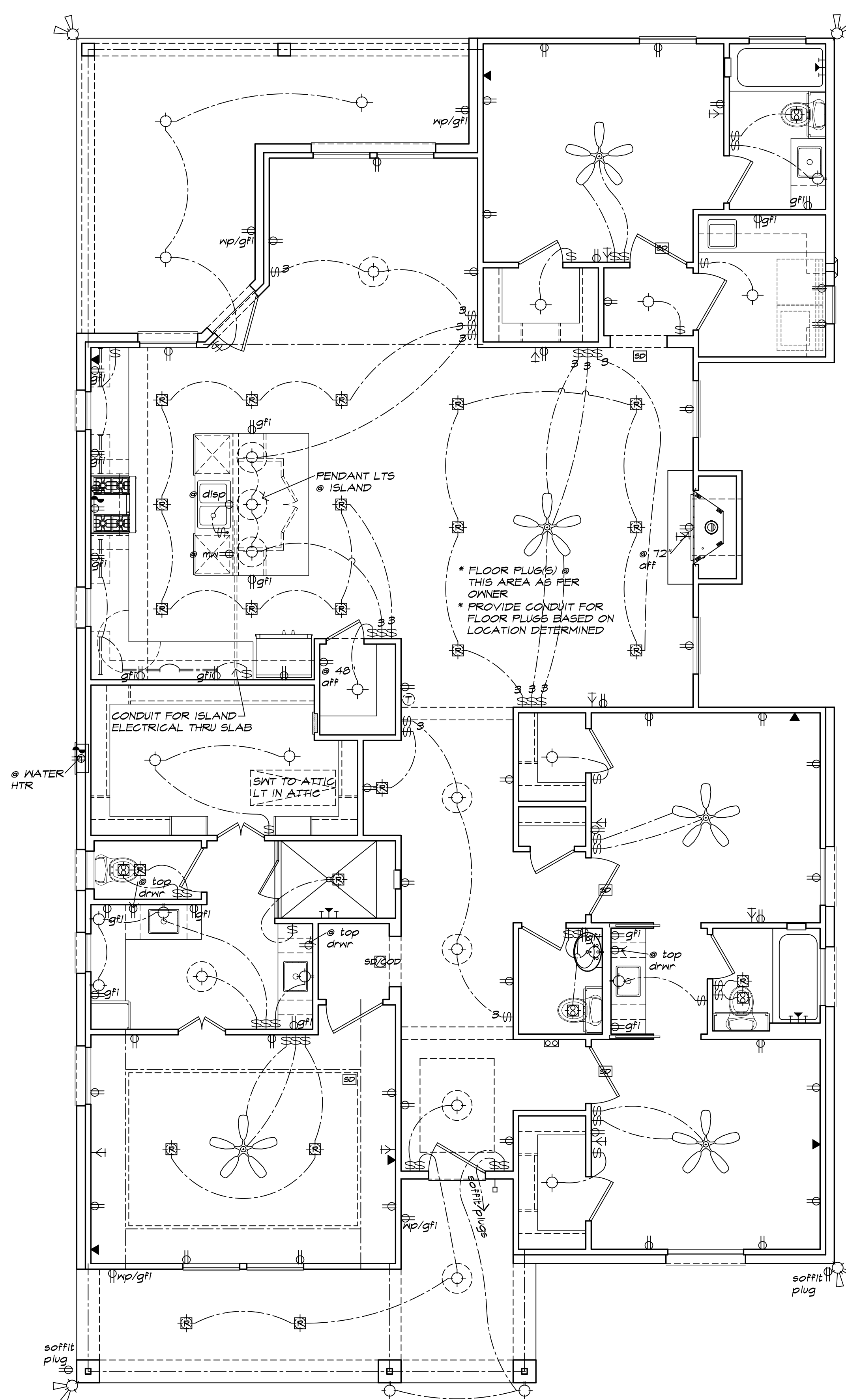
DIMENSION PLAN
SCALE 1/4"=1'-0"

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FOR THE
GUARDIOLA FAMILY
ROCKWALL, TEXAS**

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SACHSE, TEXAS 75048
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mrowesdesign.com
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REVISED DATE
SHEET
AI
DESIGN NUMBER
PG 2244



LIGHTING & ELECTRICAL LEGEND

▼	LANDLINE - OPTIONAL
⏏	SWITCH
⊙	6"Ø RECESSED LIGHT UNLESS NOTED
⊙	RECESSED EXHAUST FAN
⊙	SURFACE MOUNTED WALL LIGHT
⊙	HANGING LIGHT
⊙	DUPLEX RECEPTACLE
⊙	220 RECEPTACLE
⊙	DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
⊙	DUPLEX GROUND FAULT INTERRUPTER
⊙	TV OUTLET (CAT 6e)
⊙	SMOKE DETECTOR
⊙	PUSH BUTTON TO CHIME
⊙	DOOR CHIME
⊙	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
⊙	CEILING FAN w/LIGHT KIT UNLESS NOTED
⊙	SMOKE/CARBON MONOXIDE DETECTOR
⊙	THERMOSTAT
⊙	PUSH/AIR GARBAGE DISPOSAL SWITCH
⊙	SURFACE LIGHT
⊙	D-MARK DATA CONNECTION POINT
⊙	UNDER/OVER CABINET FLUORESCENT LIGHT

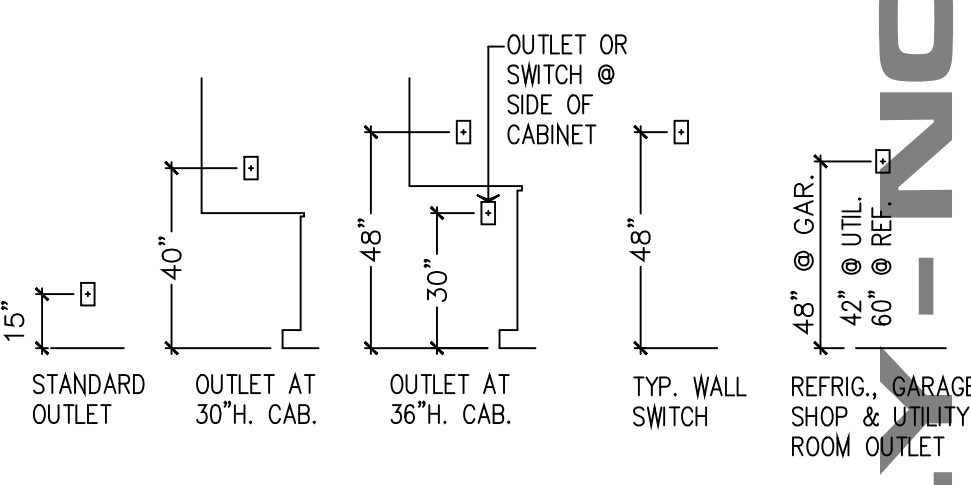
NOTE
 * ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT

ELECTRICAL NOTES

(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

* ALL LANDSCAPING LIGHTING & JUNCTION BOX LOCATIONS TO BE BY OTHERS & AS PER OWNER BUILDER AGREEMENT
 * CARRIAGE LTS TO BE @ 6'-0" AFF
 * SEE OWNER FOR ATTIC LIGHTING & PREFERRED PLACEMENT



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"
 NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

**A CUSTOM RESIDENCE
 FOR THE
 GUARDIOLA FAMILY
 ROCKWALL, TEXAS**

M Rouse Design
 2307 HIGHLIDGE
 SACHSE, TEXAS 75048
 (214) 801-9944
 mrouse@designs.com
 MROUSE DESIGN, ENGINEERING & ARCHITECTURE
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REVISED DATE
 12/20/2019

SHEET
 A3

DESIGN NUMBER
 PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall the contractor be held responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of member(s) work, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1051 AND ALL OF LOT 1050, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre parcel of land being described as a portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map and Survey

Address: 247 Chris Drive

Legal Description: A Portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2

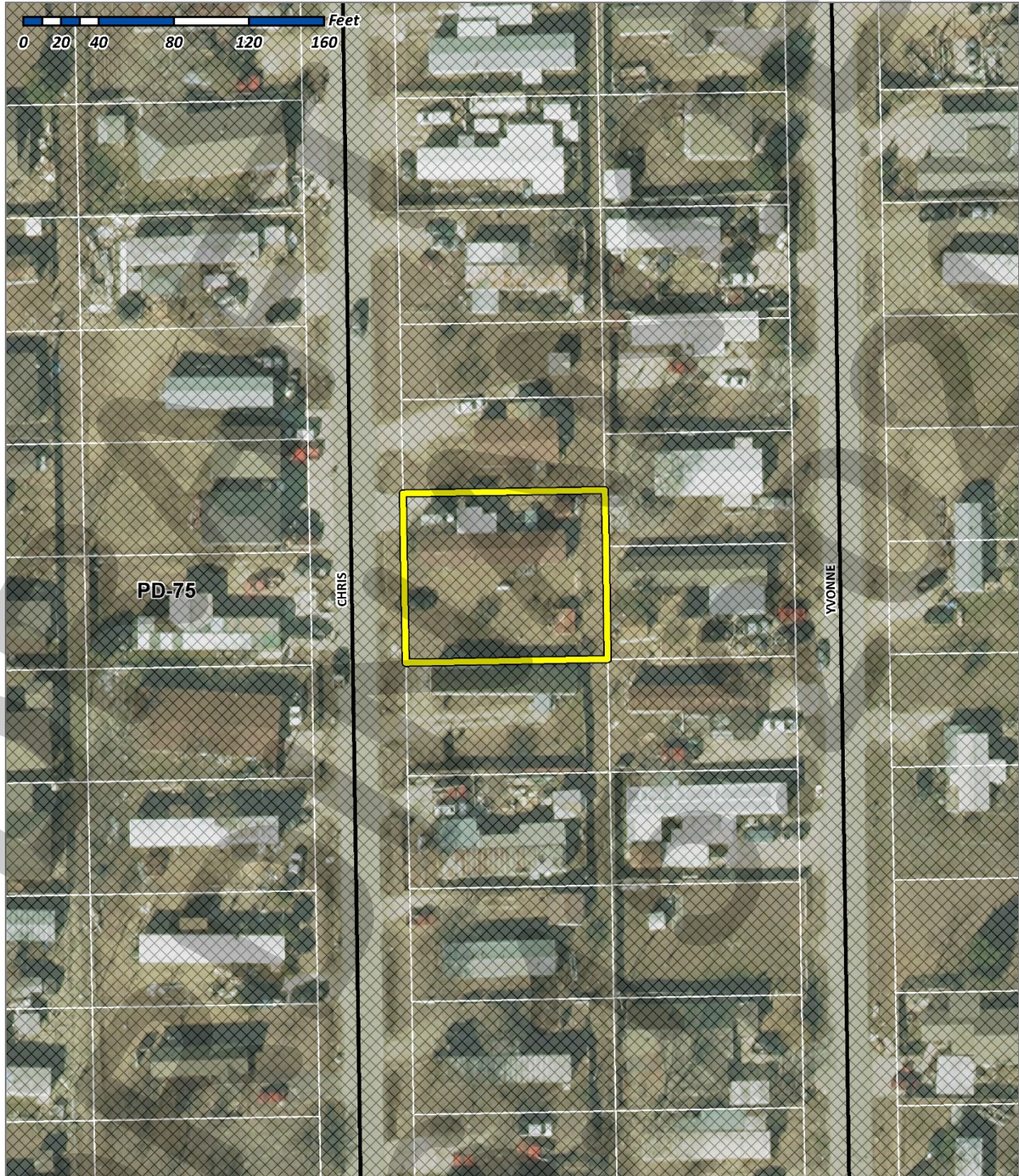
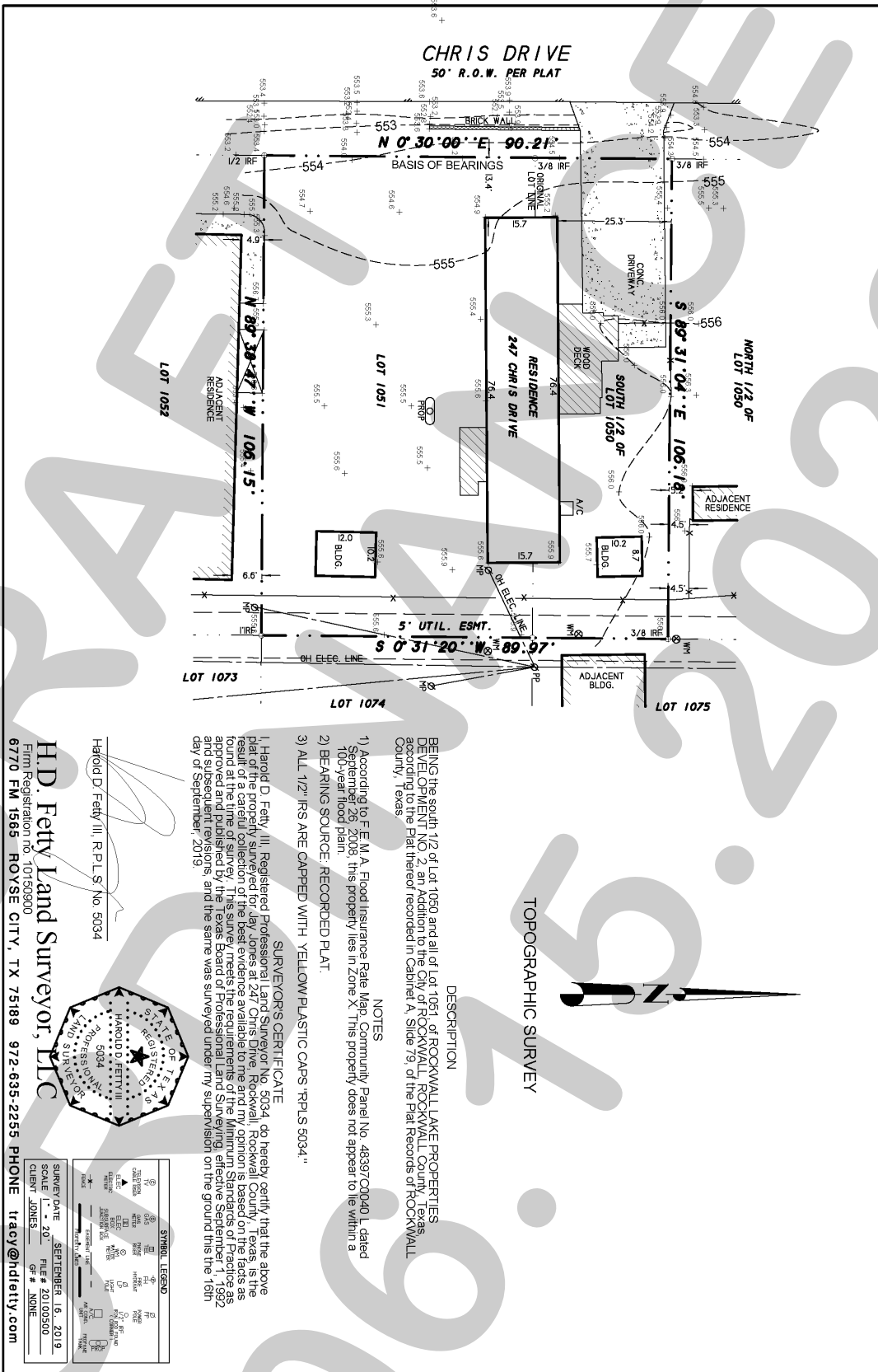


Exhibit 'A'
Location Map and Survey



TOPOGRAPHIC SURVEY

DESCRIPTION
BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

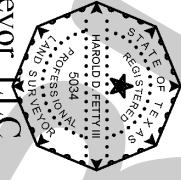
NOTES

- 1) According to FEMA Flood Insurance Rate Map, Community Panel No. 48397C0040, Dated September 29, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"

SURVEYOR'S CERTIFICATE
I, Harold D. Fety, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as adopted and published by the Texas Board of Professional Land Surveying effective September 11, 1992 and I have supervised the survey and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

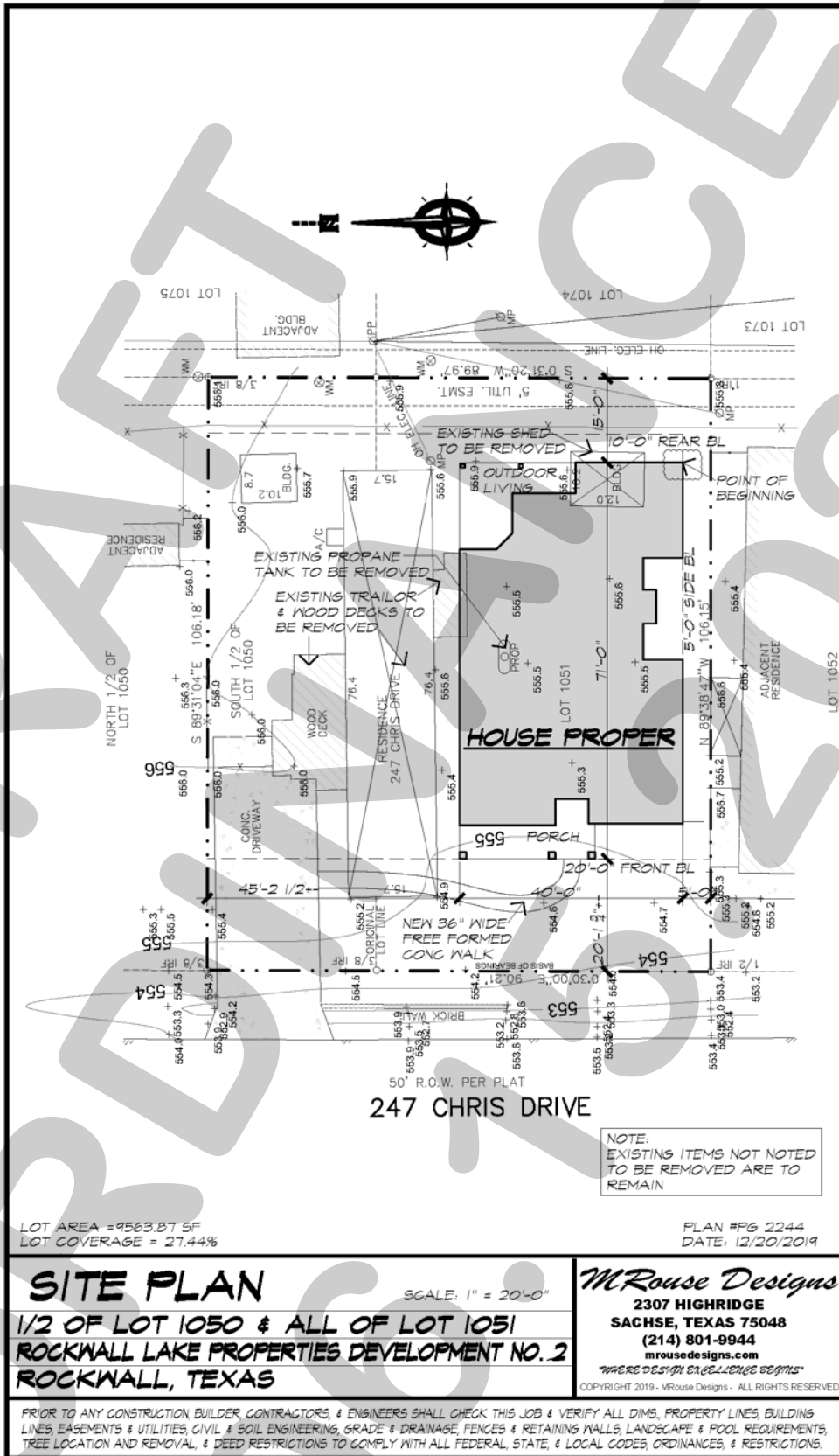
Harold D. Fety, III, R.P.L.S. No. 5034

H.D. Fety Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfety.com



SYMBOL LEGEND	
Symbol	Description
(Symbol)	Survey Point
(Symbol)	Iron Pipe
(Symbol)	Iron Nail
(Symbol)	Iron Stake
(Symbol)	Iron Bolt
(Symbol)	Iron Screw
(Symbol)	Iron Nut
(Symbol)	Iron Washer
(Symbol)	Iron Plate
(Symbol)	Iron Band
(Symbol)	Iron Chain
(Symbol)	Iron Wire
(Symbol)	Iron Rope
(Symbol)	Iron Cord
(Symbol)	Iron Tape
(Symbol)	Iron String
(Symbol)	Iron Thread
(Symbol)	Iron Bolt
(Symbol)	Iron Nut
(Symbol)	Iron Washer
(Symbol)	Iron Plate
(Symbol)	Iron Band
(Symbol)	Iron Chain
(Symbol)	Iron Wire
(Symbol)	Iron Rope
(Symbol)	Iron Cord
(Symbol)	Iron Tape
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(Symbol)	Iron Thread

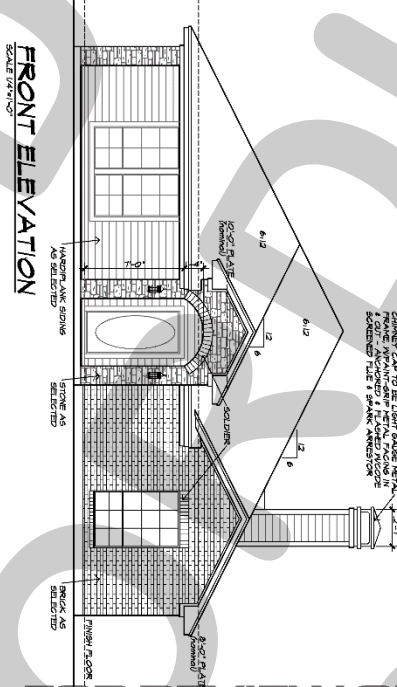
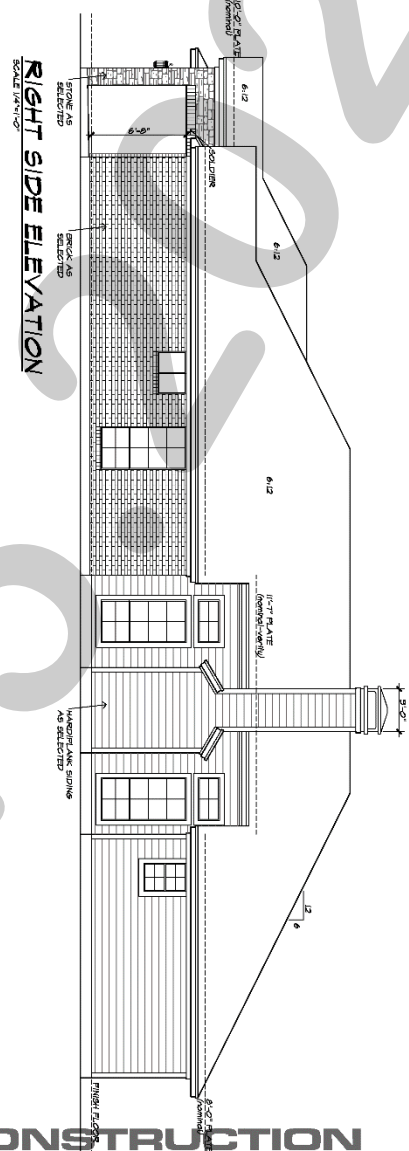
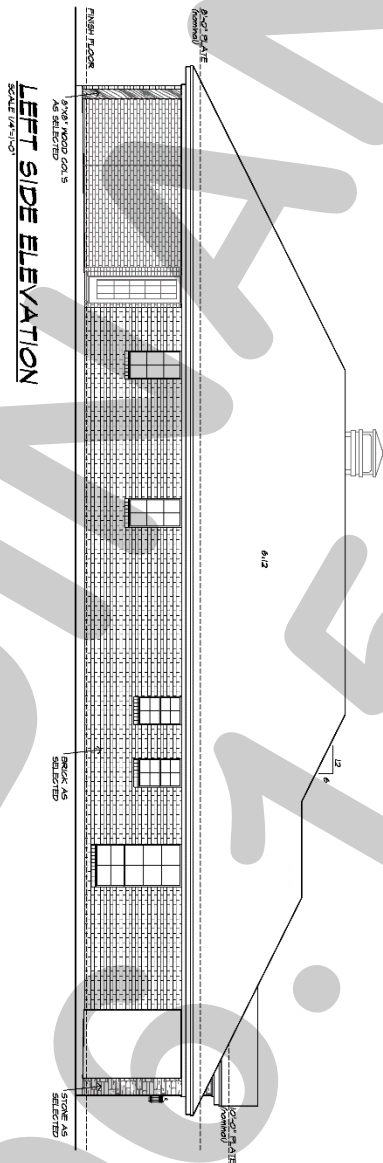
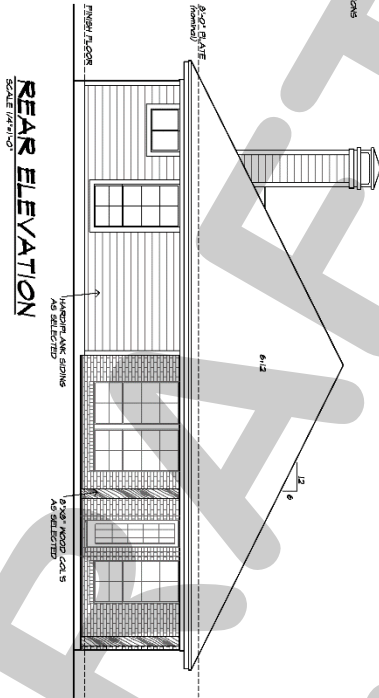
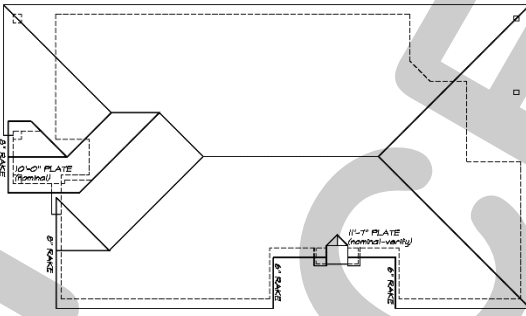
**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**

ROOF PLAN
SCALE 1/8"=1'-0"

- ROOF AS SPECIFIED IN 6.1.2 AS PER CODE
- ROOF FINISH AS SPECIFIED IN 6.1.2 AS PER CODE
- ALL DIMENSIONS AS PER CODE 1.4.5
- MATERIALS & COMPONENTS STYLE & LOCATIONS AS PER CODE 1.4.5
- 2'-0" R. PLATE NOMINAL LABORS NOTED



FOR REVIEW ONLY - NOT FOR CONSTRUCTION



July 10, 2020

TO: J. W. Jones
555 N. 5th Street, Suite 113
Garland, Texas 75040

CC: Guadalupe J. Guardiola
247 Chris Drive
Rockwall, Texas 75032

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2020-018; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

Mr. Jones:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on July 10, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Prior to the issuance of a building permit for a single-family home the subject property needs to be replatted into one (1) residential lot.
- (3) The proposed single-family home will be required to demonstrate that a minimum of two (2) off-street parking spaces will be provided prior to the issuance of a building permit.
- (4) Prior to the acceptance and issuance of a Certificate of Occupancy (CO) for the proposed home, the existing mobile home and covered porch shall be removed from the property.
- (5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 9, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

City Council

On June 15, 2020, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0 (1st Reading).

On July 6, 2020, the City Council approved the Specific Use Permit (SUP) by a vote of 6-0, with Mayor Pruitt absent (2nd Reading).

Included with this letter is a copy of Ordinance No. 20-23, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "RM", is positioned above the typed name.

Ryan Miller, AICP
Director of Planning and Zoning