



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # Z2020-016 P&Z DATE 05/12/20 CC DATE 05/18/20 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input checked="" type="checkbox"/>	HOA MAP
<input checked="" type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
 Subdivision Zion Hill Lot B Block B
 General Location Hwy 66 & CR 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1 Current Use SF 1 Residential Private
 Proposed Zoning NA Proposed Use Residential Private
 Acreage 1 Acre Lots [Current] Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>David Cheate</u>	<input checked="" type="checkbox"/> Applicant <u>Titan Contractors</u>
Contact Person <u>David Cheate</u>	Contact Person <u>Chris Kehrer</u>
Address <u>844 Zion Hill Circle</u>	Address <u>410 Normandy Ln</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>214-869-3318</u>	Phone <u>214-900-2517</u>
E-Mail <u>Alertdrain@yahoo.com</u>	E-Mail <u>Chris@TitanContractors.net</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

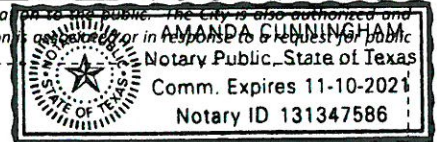
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate

Notary Public in and for the State of Texas

Amanda Cunningham



My Commission Expires 11-10-2021



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 4/16/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 04/23/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 4/23/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 4/28/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2020-016
Project Name: SUP for 844 Zion Hill Circle
Project Type: ZONING
Applicant Name: Chris Kehrer
Owner Name: CHOATE, DAVID E ET UX
Project Description:



RECEIPT

Project Number: Z2020-016
Job Address: 844 ZION HILL
ROCKWALL, TX 75087

Receipt Number: B88950

Printed: 4/21/2020 9:31 am

Fee Description	Account Number	Fee Amount
ZONING	01-4280	\$215.00

Total Fees Paid:

\$215.00

Date Paid: 4/21/2020 12:00:00AM

Paid By: Chris Kehrer

Pay Method: CHECK 1051

Received By: AG



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
 Subdivision Zion Hill Lot B Block B
 General Location Hwy 66 & CR 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1 Current Use SF 1 Residential Private
 Proposed Zoning NA Proposed Use Residential Private
 Acreage 1 Acre Lots [Current] Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>David Cheate</u>	<input checked="" type="checkbox"/> Applicant <u>Titan Contractors</u>
Contact Person <u>David Cheate</u>	Contact Person <u>Chris Kehrer</u>
Address <u>844 Zion Hill Circle</u>	Address <u>410 Normandy Ln</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>214-869-3318</u>	Phone <u>214-900-2517</u>
E-Mail <u>Alertdrain@yahoo.com</u>	E-Mail <u>Chris@TitanContractors.net</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

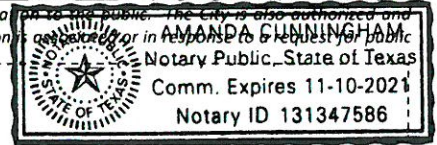
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate


Notary Public in and for the State of Texas

Amanda Cunningham



My Commission Expires 11-10-2021

0 37.5 75 150 225 300 Feet

Z2020-016- SUP FOR 844 ZION HILL CIRCLE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

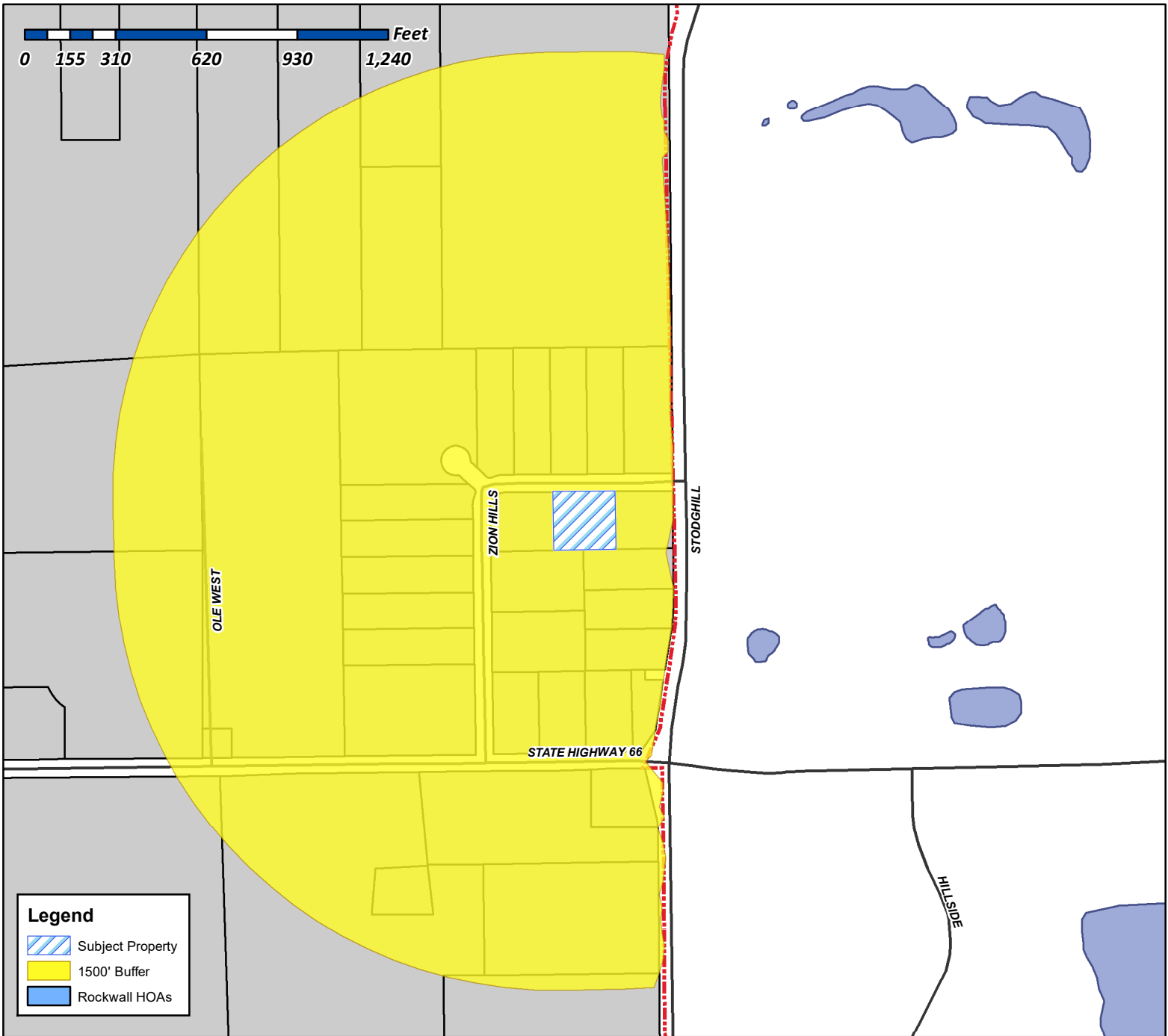




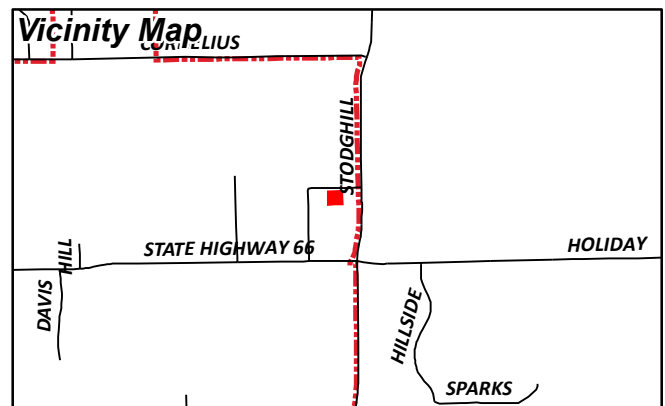
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



Date Created: 4/20/2020

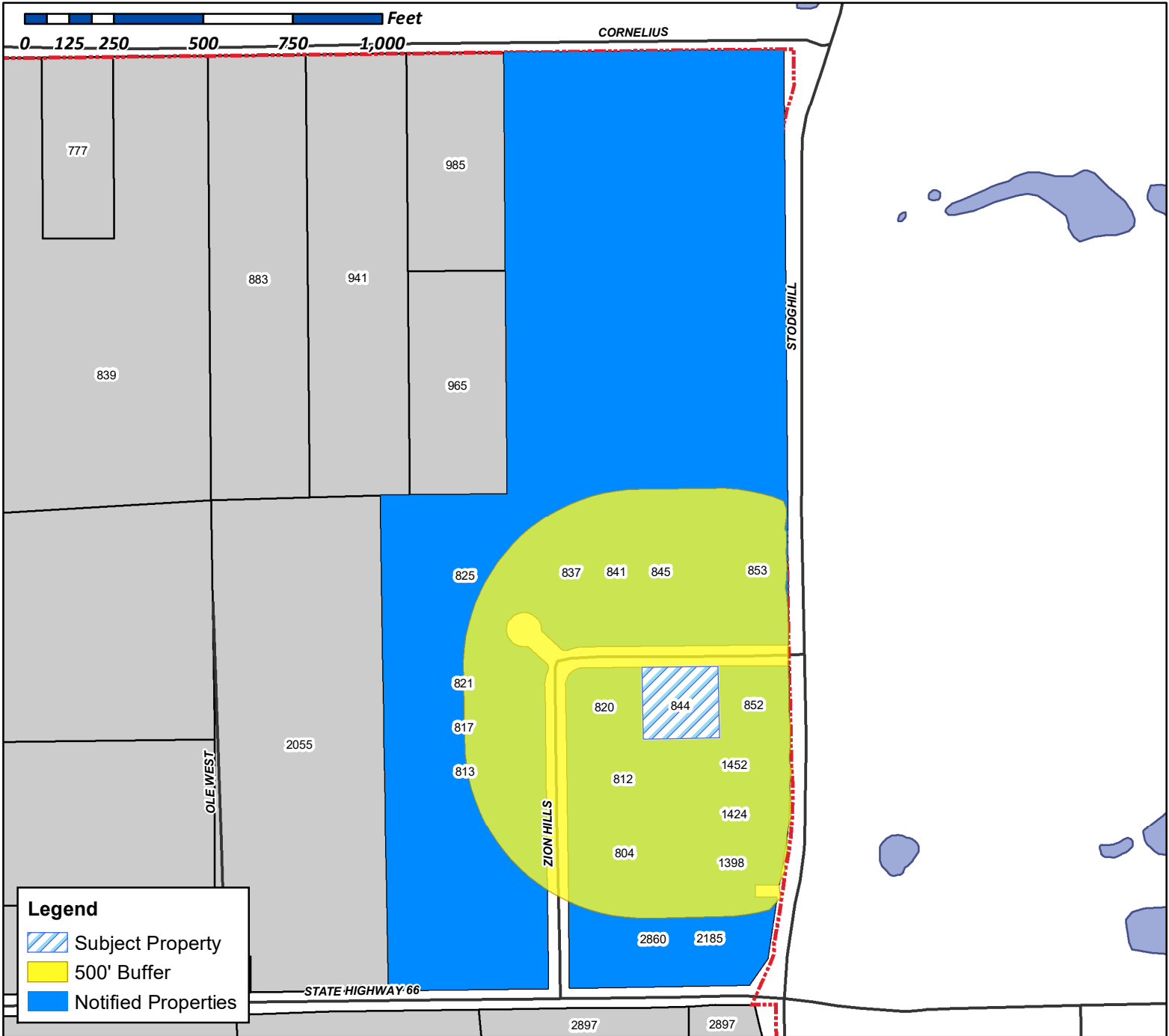
For Questions on this Case Call (972) 771-7745



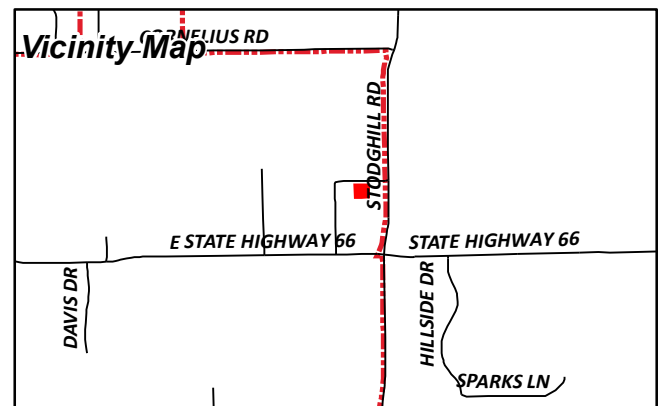
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



Date Created: 4/20/2020

For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

**David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be

CURRENT RESIDENT
1398 FM 3549 STODGHILL #3210
ROCKWALL, TX 75087

WEYGANDT DIANE M AND
MEGAN WOOD
1424 N FM 3549 STODGHILL ROAD
ROCKWALL, TX 75087

BROWN JEFFREY C & LISA
1452 FM 3549 STODGHILL RD
ROCKWALL, TX 75087

VECELLIO FRANCIS
1470 S JOHN KING BLVD #3210
ROCKWALL, TX 75032

CURRENT RESIDENT
2185 WILLIAMS
ROCKWALL, TX 75087

CURRENT RESIDENT
2860 HWY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS
4501 EDMONDSON AVE
DALLAS, TX 75205

LAKE RAY HUBBARD BIBLE CHURCH
INC
801 ZION HILL CIR
ROCKWALL, TX 75087

WHITE CHRISTOPHER AND CLAUDIA
804 ZION HILL CIR
ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A
812 ZION HILL CIR
ROCKWALL, TX 75087

LE THAO THI PHUONG HONG
813 ZION HILL CIR
ROCKWALL, TX 75087

CODY OLIVIA L & STEPHEN H
817 ZION HILL CIR
ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA
820 ZION HILL CIR
ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M
821 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 ZION HILL
ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J
837 ZION HILL CIR
ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL
841 ZION HILL CIR
ROCKWALL, TX 75087

CHOATE DAVID E ET UX
844 ZION HILL CIR
ROCKWALL, TX 75087

AKARD DANNY AND CATHY
845 ZION HILL CIR
ROCKWALL, TX 75087

BROWN DAVID C & LINDA K
852 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
853 ZION HILL
ROCKWALL, TX 75087

WOODY JESSYE JEAN
PO BOX 315
FATE, TX 75132

LAKE RAY HUBBARD CHURCH
PO BOX 698
ROCKWALL, TX 75087

HARLE REUBIN E
PO BOX 912
ROCKWALL, TX 75087

SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No.

Zion Hills Circle in the City of Rockwall County of Rockwall, being described

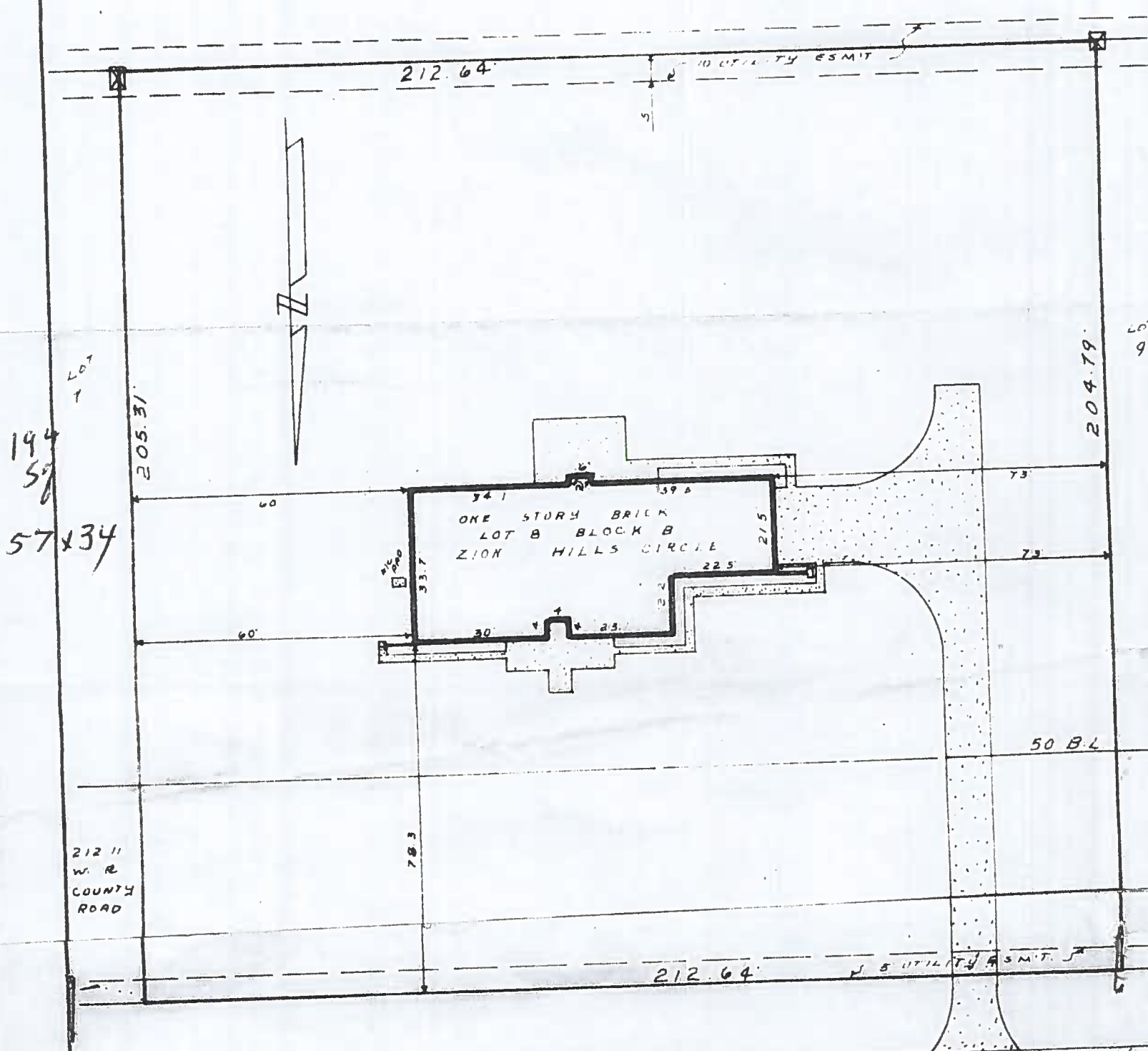
as follows:

Lot No. B, Block No. P, City Block No. _____

of Zion Hill Estates, an addition to the City of Rockwall County of Rockwall

Texas, according to the Filed plat thereof recorded in Vol. _____, at page 23 of the Plat

Map Deed Records of Rockwall County, Texas



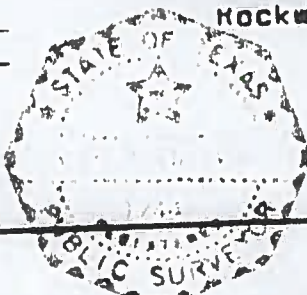
ZION HILLS CIRCLE

The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

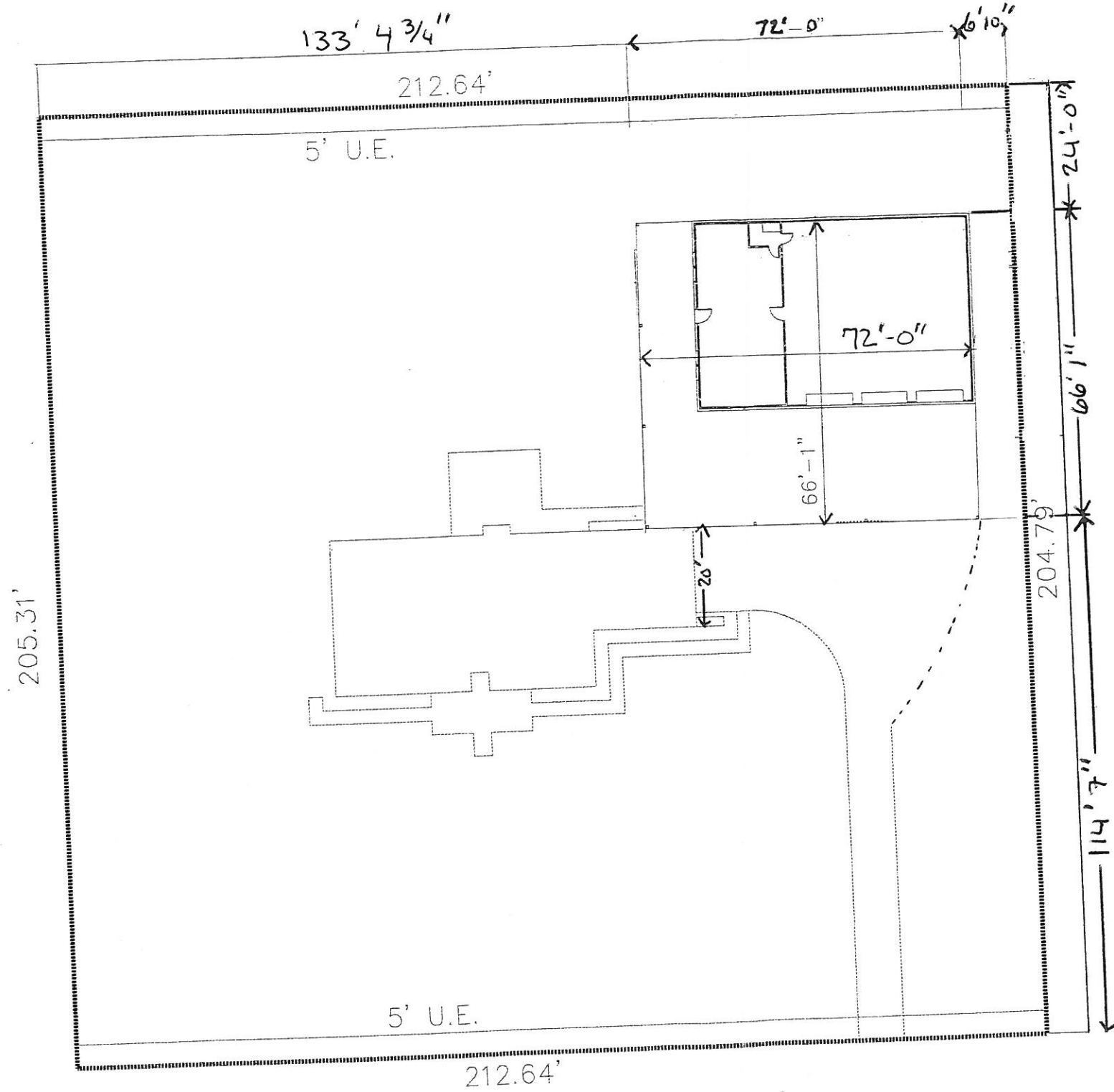
SCALE: 1" = 30'
 DATE: 5-10-79
 RE-SURVEY: _____

Bob O. Brown Land Surveyor
 302 W. 3rd St. Rockwall, Texas 75087
 Rockwall 722-3036 Dallas 226-7522



Bob O. Brown
 Registered Public Surveyor

DRAWN	CHECKED
AM 15	



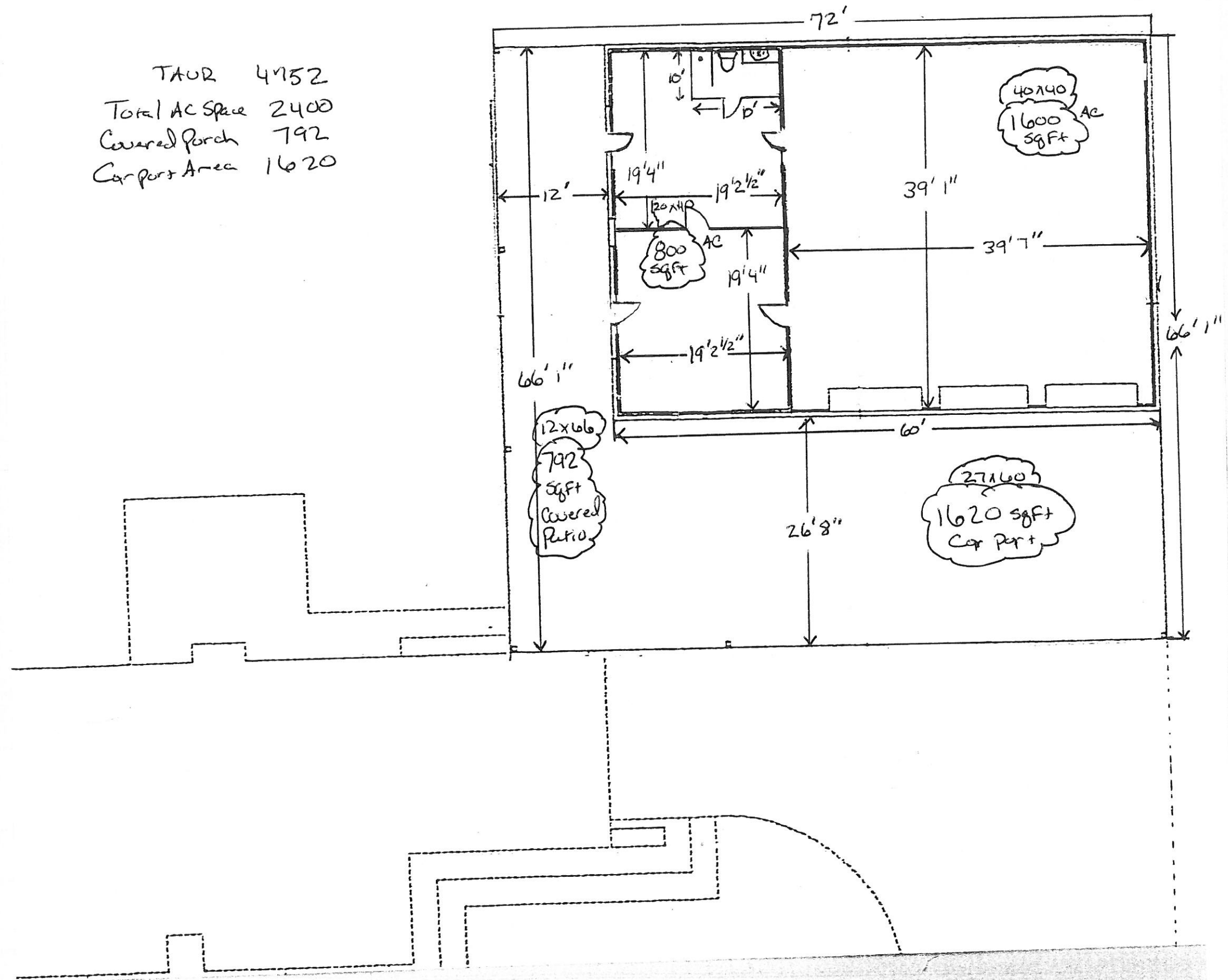
ZION HILLS CIRCLE Setbacks

These plans are intended to provide the basic construction information necessary for the construction of the building. They are not to be used as a guide for the construction of the building. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor is also responsible for providing all necessary utilities and for obtaining all necessary approvals. The contractor is not responsible for any errors or omissions on these plans. All dimensions are in feet and inches unless otherwise noted. All dimensions are to the centerline of the building unless otherwise noted. All dimensions are to the finished ground unless otherwise noted. All dimensions are to the exterior of the building unless otherwise noted. All dimensions are to the interior of the building unless otherwise noted. All dimensions are to the centerline of the building unless otherwise noted. All dimensions are to the finished ground unless otherwise noted. All dimensions are to the exterior of the building unless otherwise noted. All dimensions are to the interior of the building unless otherwise noted.

CENTERLINE
214-563-3127

A RESIDENCE FOR THE:	
CHOA 1TH:	
LOT 8 / BLOCK B	
ZION HILLS CIRCLE	
ROCKWALL COUNTY, TX	
ISSUED DATE	7-29-13
DRAWN BY	CENTERLINE
REVISIONS	
COPYRIGHT	2013
PP	3 of 3

TAUR 4752
 Total AC Space 2400
 Covered Porch 792
 Carport Area 1620



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



City of Rockwall Project Plan Review History



Project Number Z2020-016	Owner CHOATE, DAVID E ET UX	Applied 4/16/2020 AG
Project Name SUP for 844 Zion Hill Circle	Applicant Chris Kehrer	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status P&Z HEARING		Status 4/23/2020 DG

Site Address 844 ZION HILL	City, State Zip ROCKWALL, TX 75087	Zoning
--------------------------------------	--	---------------

Subdivision ZION ADDITION	Tract 8	Block B	Lot No 8	Parcel No 5360-000B-0008-00-0R	General Plan
-------------------------------------	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	4/16/2020	4/23/2020				
ENGINEERING	Sarah Johnston	4/16/2020	4/23/2020	4/24/2020	8	APPROVED	
FIRE	Ariana Hargrove	4/16/2020	4/23/2020	4/21/2020	5	APPROVED	
PLANNING	David Gonzales	4/16/2020	4/23/2020	4/23/2020	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(4/23/2020 5:29 PM DG)						Z2020-0016; SUP for Guest Quarters/Secondary Living Unit and Carport – 844 Zion Hill Circle Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle.
I.2						For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
M.3						For reference, include the case number (Z2020-016) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
I.4						This project is subject to all requirements stipulated by the Article 04 & Article 05 the Unified Development Code (UDC) that are applicable to the subject property.
M.5						Please review the draft ordinance when received by staff and provide comments to staff by May 5, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting (i.e. Public Hearing) to be held on May 12, 2020.
M.6						Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport on the Subject Property, and conformance to these operational conditions is required for continued operations
1)						The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall generally conform to the site plan and building elevations depicted in Exhibits 'B' & 'C' of this ordinance;
2)						The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall not be utilized for a non-residential and/or non-agricultural land uses.
3)						The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall be ancillary to the existing single-family home.
4)						The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall not be altered so that the structure is greater than ~4,788-SF.
5)						The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
I.7						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 5, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 12, 2020 Planning & Zoning Meeting (i.e. Public Hearing).
I.8						Please note the scheduled meetings for this case:
1)						Planning & Zoning Work Session meeting will be held on April 28, 2020.
2)						Planning & Zoning Public Hearing meeting will be held on May 12, 2020.
3)						City Council Public Hearing will be held on May 18, 2020. (1st Reading of Ordinance)

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
4) City Council meeting will be held on June 1, 2020. (2nd Reading of Ordinance)						
I.9 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions via Zoom (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff will provide instructions and link to Zoom prior to the meeting						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
 Subdivision Zion Hill Lot B Block B
 General Location Hwy 66 & CR 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1 Current Use SF 1 Residential Private
 Proposed Zoning NA Proposed Use Residential Private
 Acreage 1 Acre Lots [Current] Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>David Cheate</u>	<input checked="" type="checkbox"/> Applicant <u>Titan Contractors</u>
Contact Person <u>David Cheate</u>	Contact Person <u>Chris Kehrer</u>
Address <u>844 Zion Hill Circle</u>	Address <u>410 Normandy Ln</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>214-869-3318</u>	Phone <u>214-900-2517</u>
E-Mail <u>Alertdrain@yahoo.com</u>	E-Mail <u>Chris@TitanContractors.net</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

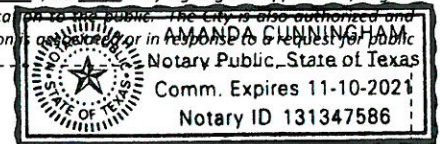
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate


Notary Public in and for the State of Texas

Amanda Cunningham



My Commission Expires 11-10-2021

0 37.5 75 150 225 300 Feet

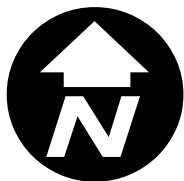
Z2020-016- SUP FOR 844 ZION HILL CIRCLE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

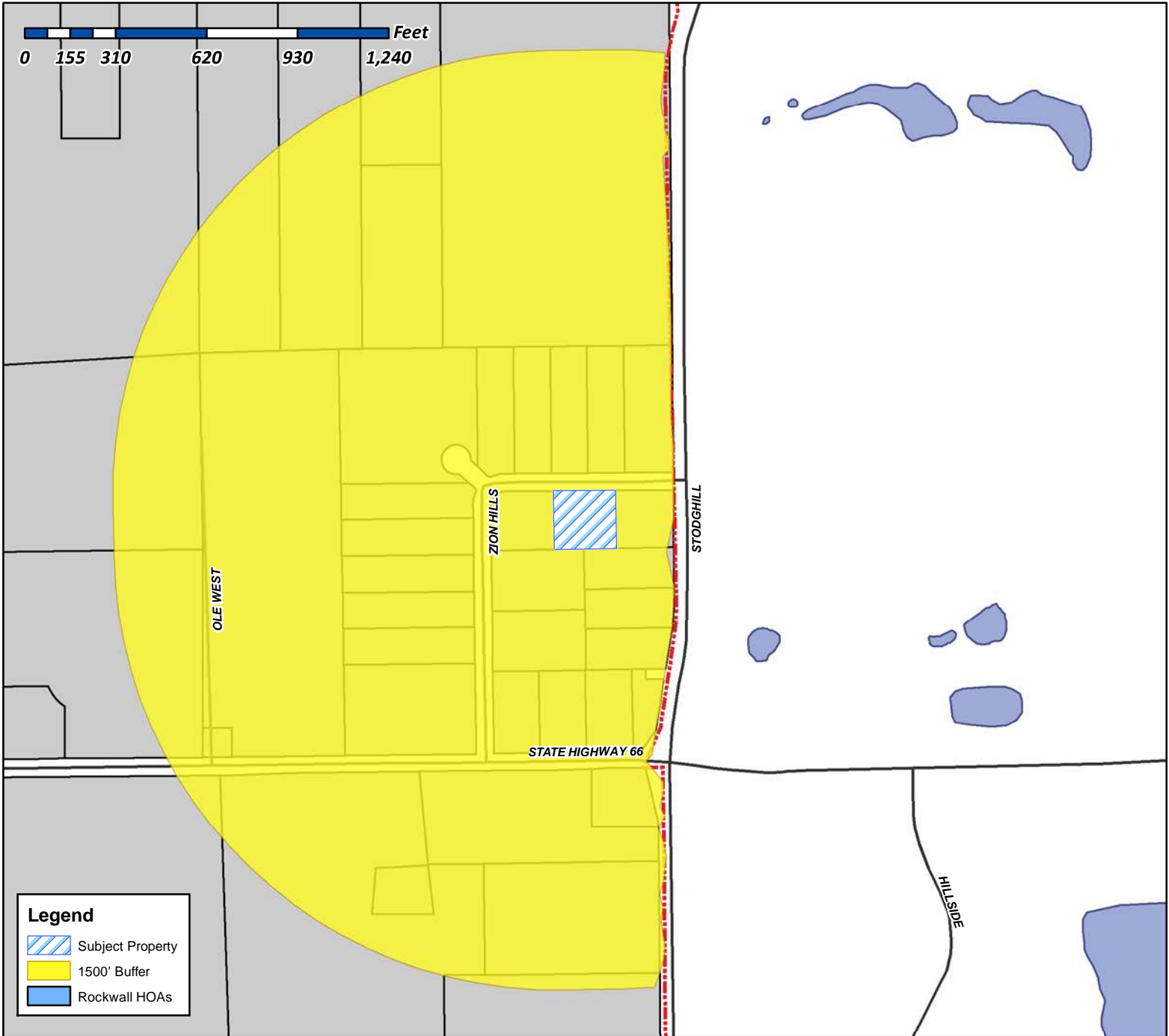




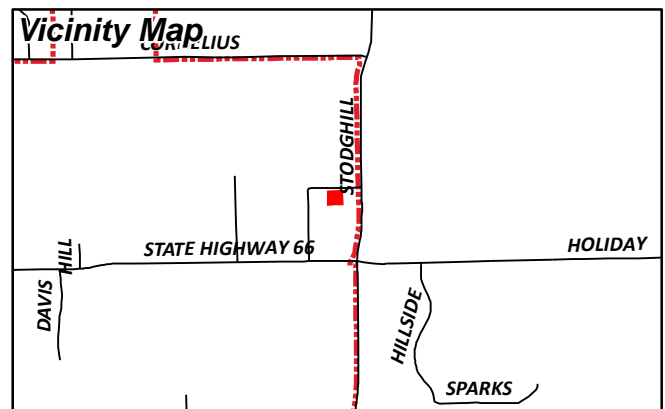
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



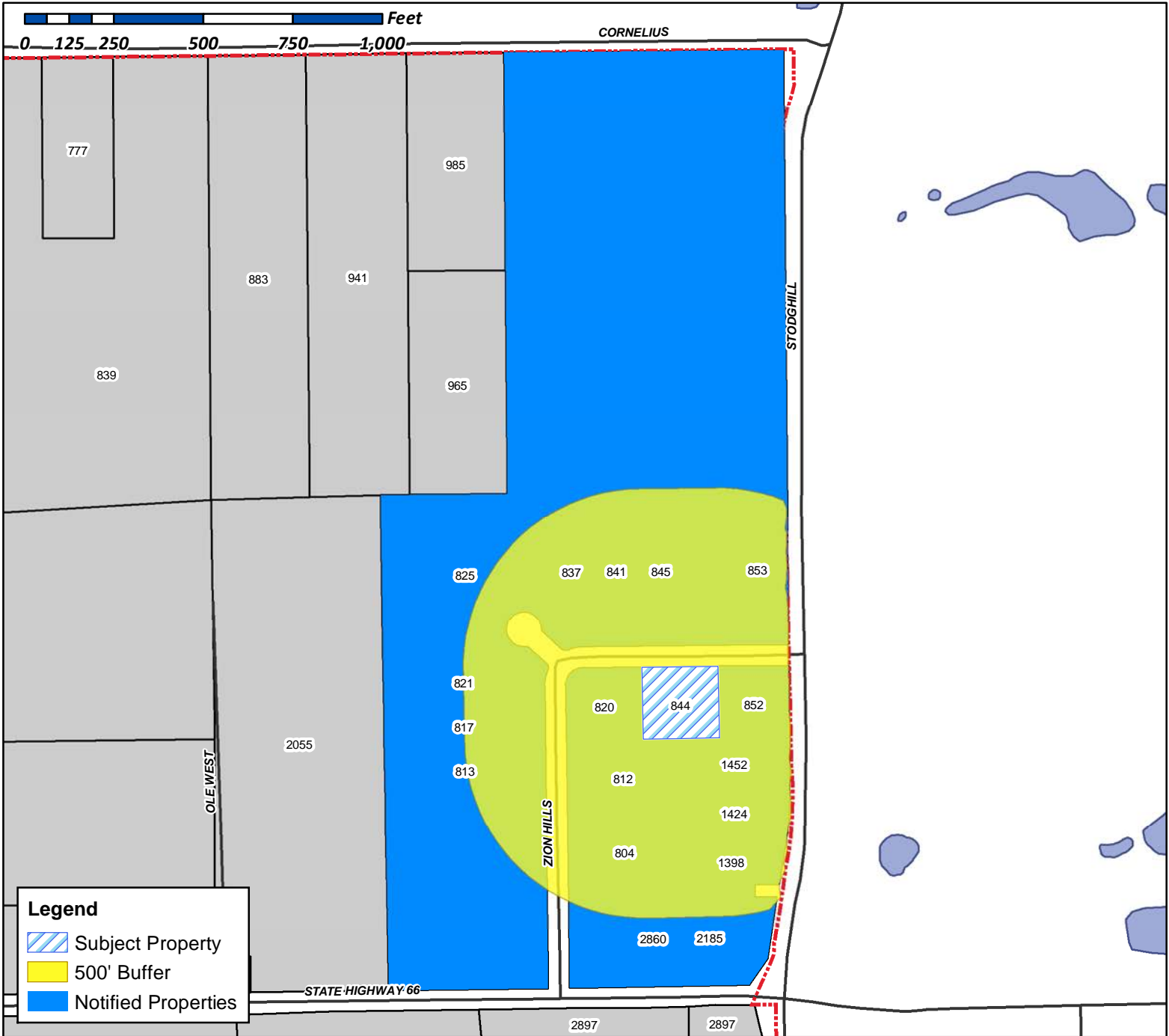
Date Created: 4/20/2020
For Questions on this Case Call (972) 771-7745



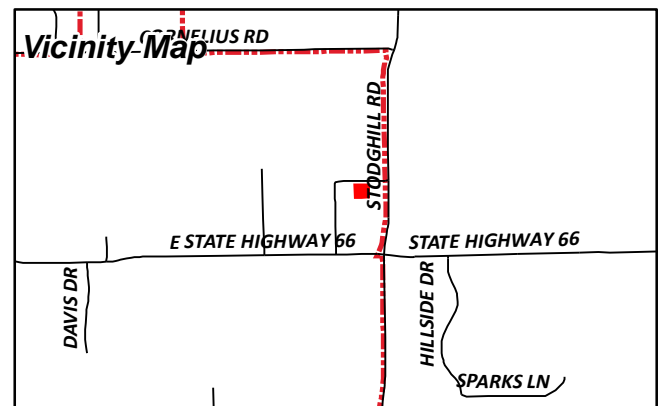
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



Date Created: 4/20/2020
For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be

CURRENT RESIDENT
1398 FM 3549 STODGHILL #3210
ROCKWALL, TX 75087

WEYGANDT DIANE M AND
MEGAN WOOD
1424 N FM 3549 STODGHILL ROAD
ROCKWALL, TX 75087

BROWN JEFFREY C & LISA
1452 FM 3549 STODGHILL RD
ROCKWALL, TX 75087

VECELLIO FRANCIS
1470 S JOHN KING BLVD #3210
ROCKWALL, TX 75032

CURRENT RESIDENT
2185 WILLIAMS
ROCKWALL, TX 75087

CURRENT RESIDENT
2860 HWY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS
4501 EDMONDSON AVE
DALLAS, TX 75205

LAKE RAY HUBBARD BIBLE CHURCH
INC
801 ZION HILL CIR
ROCKWALL, TX 75087

WHITE CHRISTOPHER AND CLAUDIA
804 ZION HILL CIR
ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A
812 ZION HILL CIR
ROCKWALL, TX 75087

LE THAO THI PHUONG HONG
813 ZION HILL CIR
ROCKWALL, TX 75087

CODY OLIVIA L & STEPHEN H
817 ZION HILL CIR
ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA
820 ZION HILL CIR
ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M
821 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 ZION HILL
ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J
837 ZION HILL CIR
ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL
841 ZION HILL CIR
ROCKWALL, TX 75087

CHOATE DAVID E ET UX
844 ZION HILL CIR
ROCKWALL, TX 75087

AKARD DANNY AND CATHY
845 ZION HILL CIR
ROCKWALL, TX 75087

BROWN DAVID C & LINDA K
852 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
853 ZION HILL
ROCKWALL, TX 75087

WOODY JESSYE JEAN
PO BOX 315
FATE, TX 75132

LAKE RAY HUBBARD CHURCH
PO BOX 698
ROCKWALL, TX 75087

HARLE REUBIN E
PO BOX 912
ROCKWALL, TX 75087

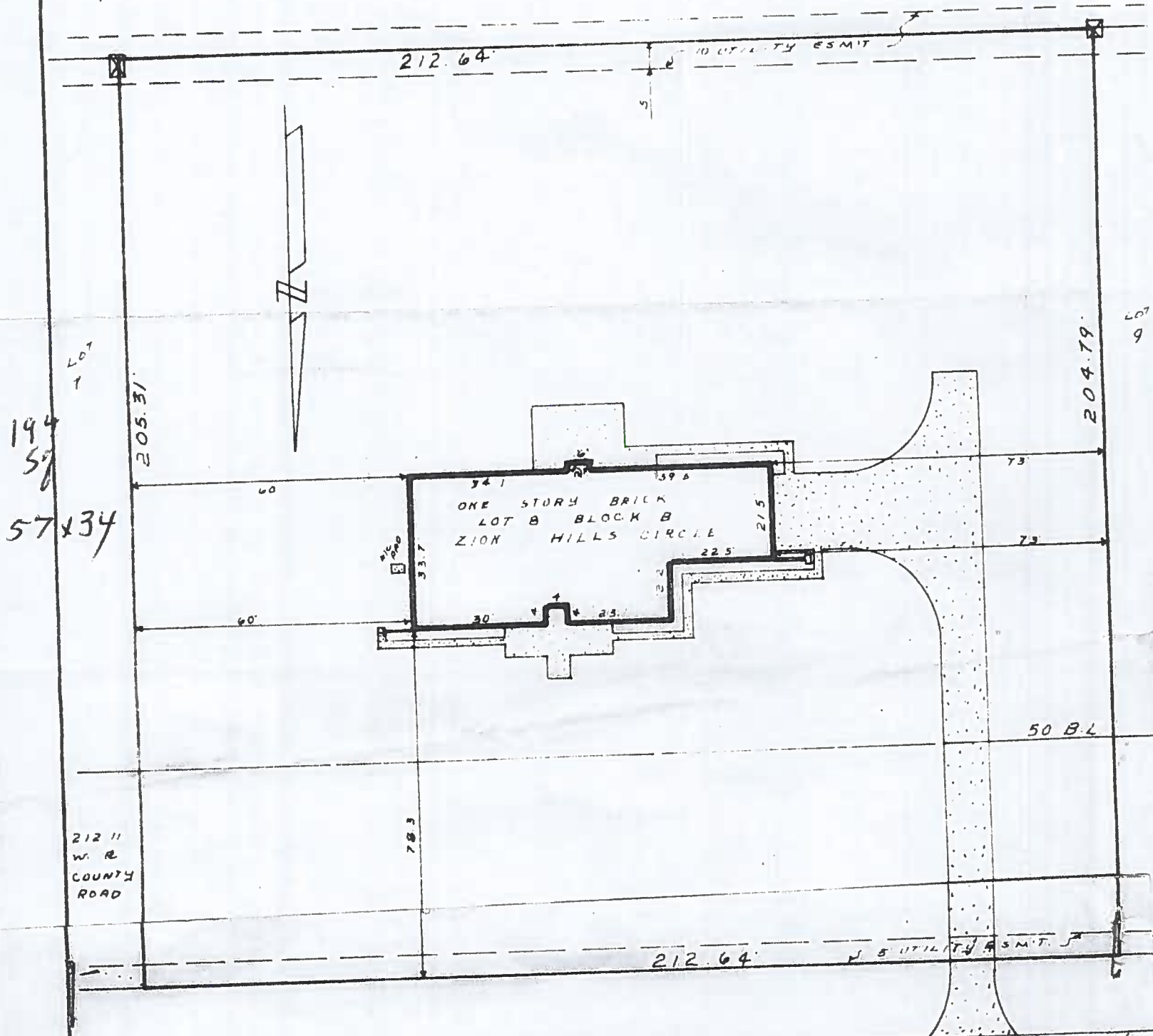
SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. Zion Hills Circle in the City of County of Rockwall, being described

as follows:

Lot No. B, Block No. P, City Block No. _____
of Zion Hill Estates, an addition to the City of County of Rockwall
Texas, according to the Filed plat thereof recorded in Vol. _____, at page 23 of the Plat
Map Deed Records of Rockwall County, Texas



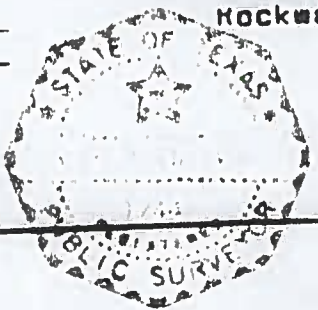
ZION HILLS CIRCLE

The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

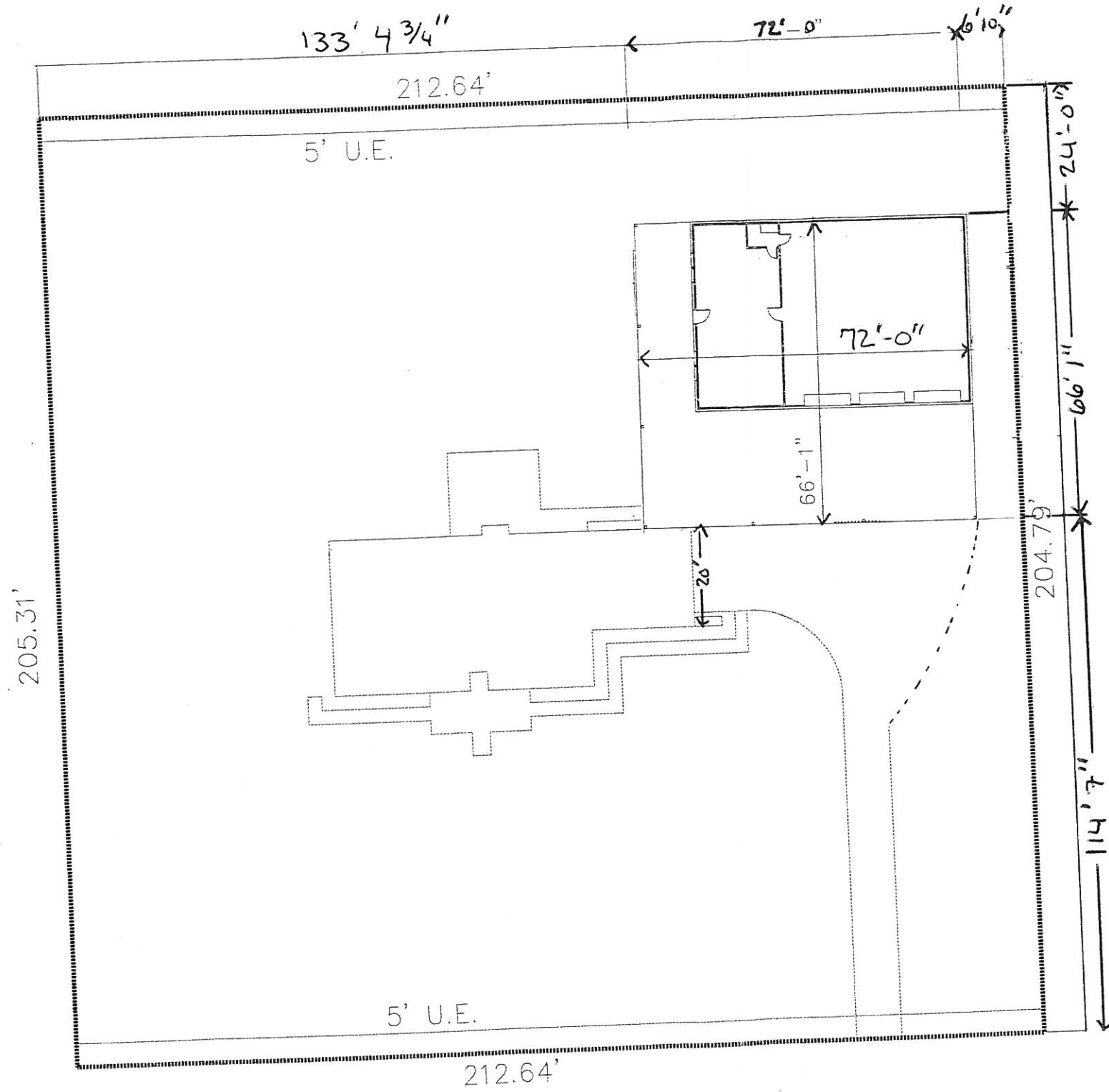
SCALE: 1" = 30'
DATE: 5-10-79
RE-SURVEY: _____

Bob O. Brown Land Surveyor
302 W. 3rd St. Rockwall, Texas 75087
Rockwall 722-3036 Dallas 226-7522



Bob O. Brown
Registered Public Surveyor

DRAWN	CHECKED



ZION HILLS CIRCLE *Setbacks*

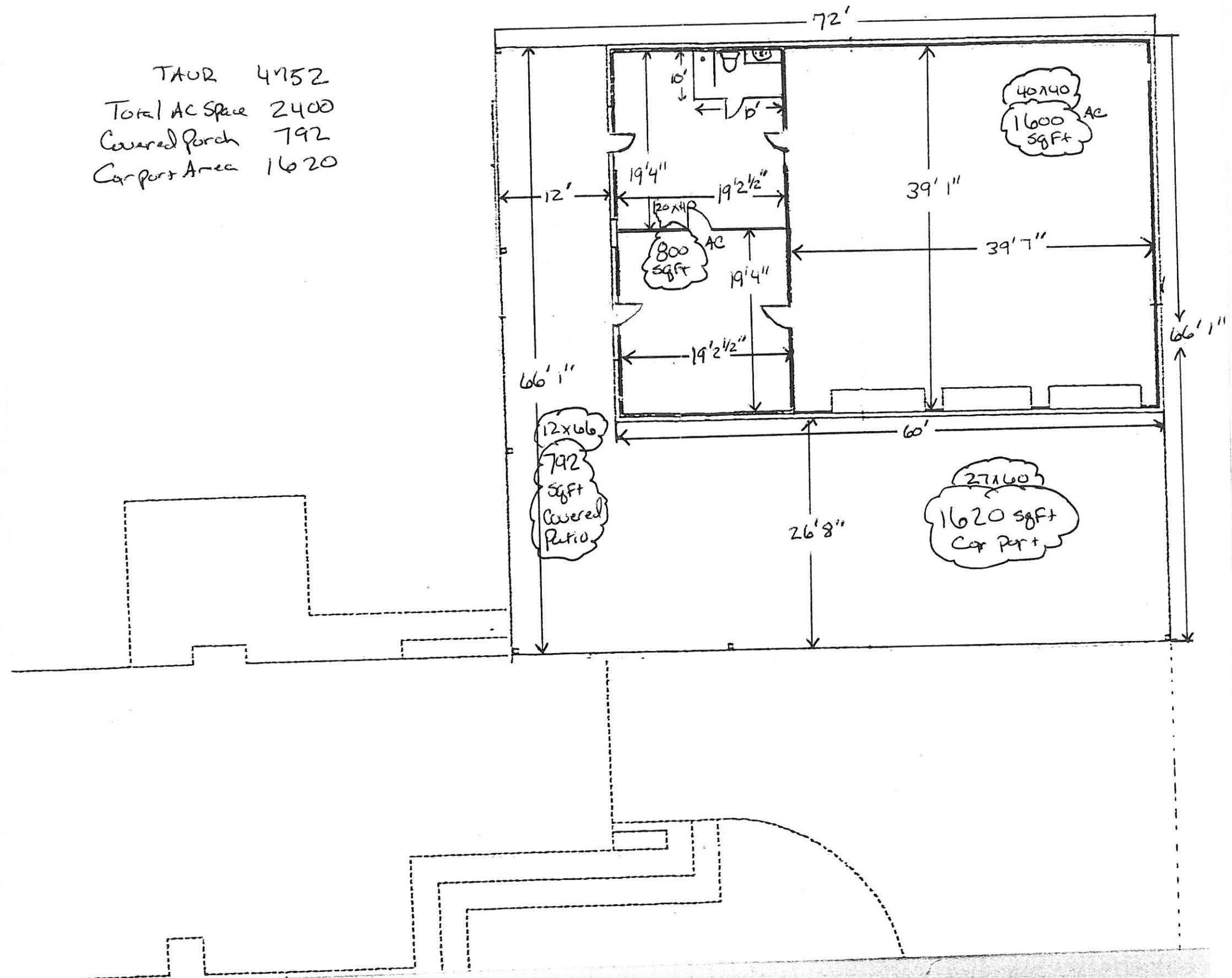
These plans are intended to provide the basic construction information necessary to construct the project. The contractor is responsible for verifying all dimensions and conditions on the ground, and for obtaining all necessary permits and approvals. All work shall conform to the applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals. All work shall conform to the applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals. All work shall conform to the applicable codes and regulations.

CENTERLINE
214-563-3127

A RESIDENCE FOR THE:
CHOCALITH:
LOT 8 / BLOCK B
ZION HILLS CIRCLE
ROCKWALL COUNTY, TX

ISSUED DATE	7-29-13
DRAWN BY	CENTERLINE
REVISIONS	
COPYRIGHT	2013

TAUR 4752
Total AC Space 2400
Covered Porch 792
Carport Area 1620



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT AND CARPORT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Kehrer of Titan Contractors for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport*, as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Section 07, *District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 03.01, *General Residential District Standards*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, with the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on the *Subject Property* and conformance to these conditions is required for continued use of the structure:

- 1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
- 3) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.
- 4) The *Carport* shall not be exceed 1,620 SF.
- 5) The accessory structure shall not exceed 4,755 SF in total size.
- 6) No additional accessory structures shall be permitted on the *Subject Property*.
- 7) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- 8) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF JUNE, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 18, 2020

2nd Reading: June 1, 2020

Exhibit 'A'
Zoning Exhibit

Address: 844 Zion Hill Circle

Legal Description: Lot 8, Block B, Zion Hill Addition

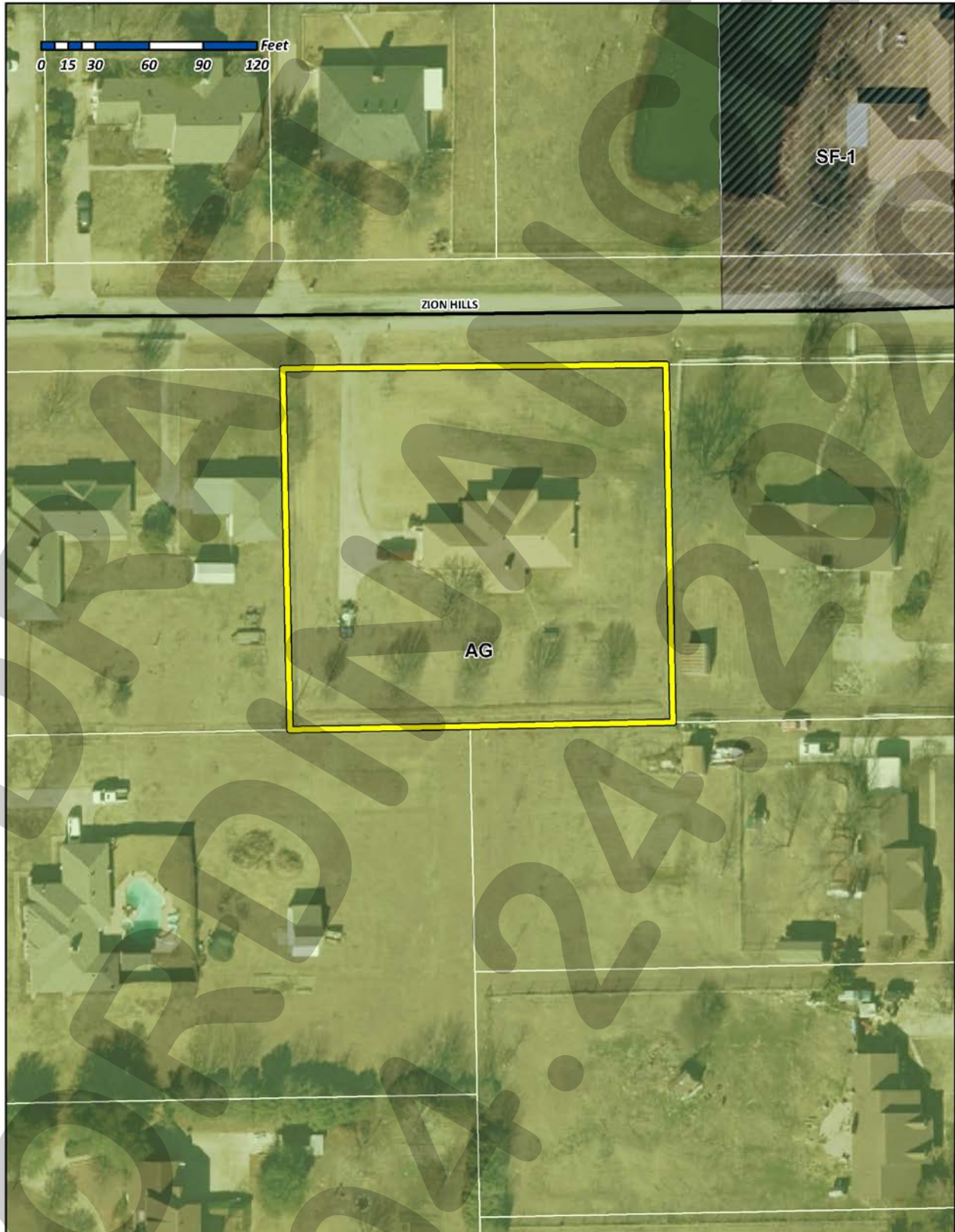
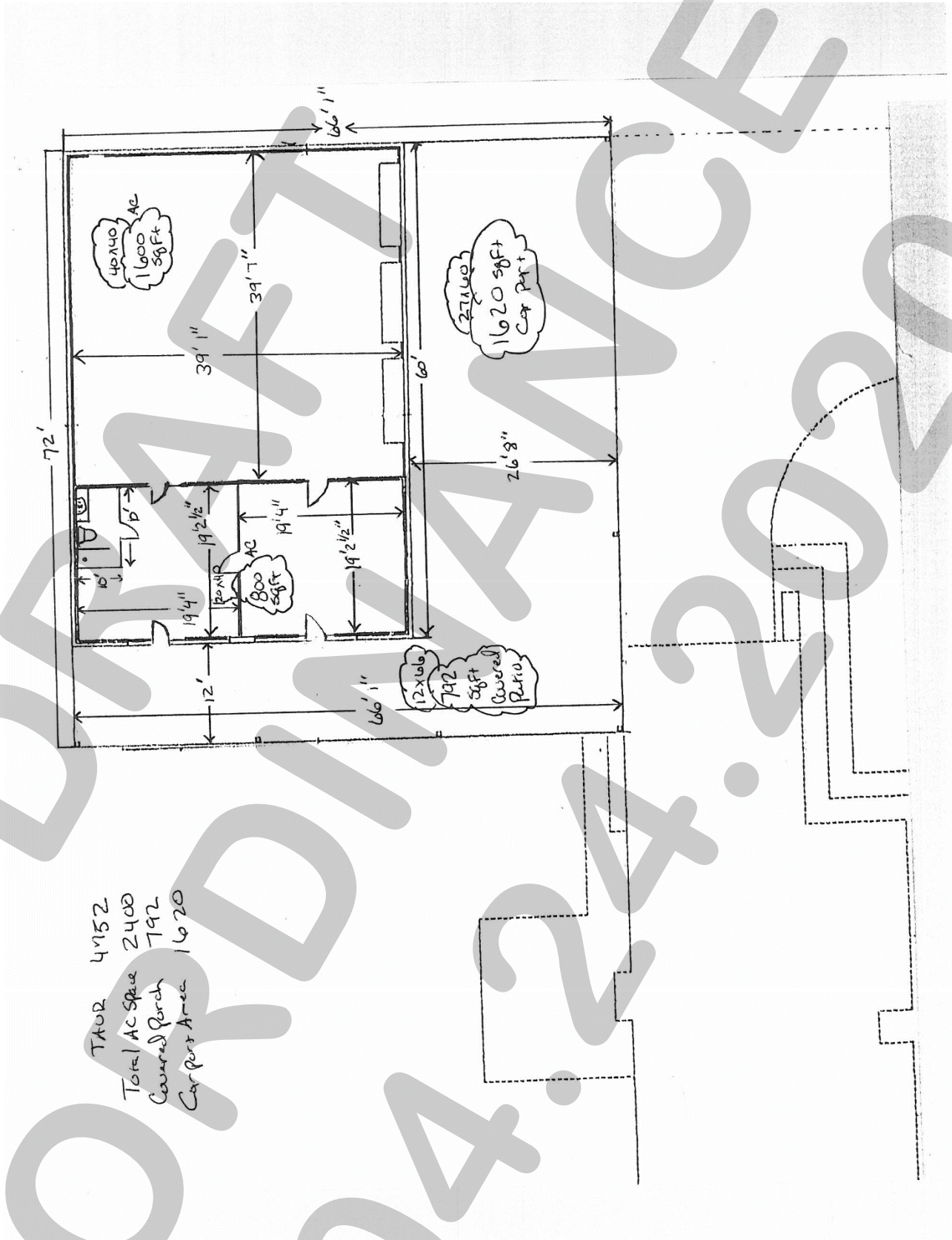


Exhibit 'B'
Site Plan



TAOR 4752
 Total AC Spce 2400
 Covered Porch 792
 Carport Area 1620

Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: May 12, 2020

APPLICANT: Chris Kehrer; *Titan Contractors*

CASE NUMBER: Z2020-016; *SUP for a Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport at 844 Zion Hill Circle*

SUMMARY

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 10-01*, annexing the subject property on January 4, 2010, and assigning the property a classification of Agricultural (AG) District. According to Rockwall Central Appraisal District (RCAD) records, the primary structure on the subject property was constructed in 1978, has a 1,988 SF main living area, a 483 SF attached garage, and two (2) covered porches (*i.e. 240 SF & 160 SF*). On November 27, 2019, the applicant -- *who is the contractor and not the property owner* -- submitted a building permit proposing the construction of a ~4,812 SF accessory structure that consisted of a 1,620 SF carport, a 792 SF covered porch, and a 2,400 SF detached garage. During the permit review process, the applicant was informed that the size of the carport and detached garage would require a Specific Use Permit (SUP), unless the plans were revised to reduce the size of the carport to 500 SF or less and either [1] reduce the detached garage to 625 SF or less, or [2] attach the entire structure to the primary structure. In late January 2020, the applicant submitted revised plans proposing to remove the carport and add an eight (8) foot awning attaching the structure to the primary structure. On February 7, 2020, the Building Inspections Department issued a building permit based on the revised plans; however, later the same day a Building Inspector reported that the applicant had already constructed the majority of the building based on the plans that were provided with the original building permit (*i.e. a 2,400 SF detached garage with a 1,620 SF carport*), and a *Stop Work Order* was issued by the Building Inspections Department. It should be noted, that at the time the *Stop Work Order* was issued, the Building Inspector noted that the detached garage was built as a secondary guest quarters (*i.e. it incorporated air-conditioned space and plumbing*). Staff should also note that the property owner was unaware that a building permit had not been issued for the structure. Based on these events the Building Inspections Department issued three (3) citations to the contractor (*i.e. the applicant*) on the grounds of failure to comply with the construction standards. The Planning and Zoning Department had recommended that the applicant request approval of the structure as it was built by adhering to the following steps by: [1] that the property be rezoned from an Agricultural (AG) District to a Single-Family One (SF-1) District, and [2] the applicant request a Specific Use Permit (SUP) for an oversized carport and secondary living unit/guest quarters/accessory dwelling unit. On April 6, 2020, the City Council approved *Ordinance No. 20-06* that rezoned the subject property from an AG to SF-1 District, completing step [1]. On April 7, 2020, the applicant submitted an application requesting a SUP in accordance with the Planning and Zoning Department's recommendation, and has provided photos of the proposed structure and nearby structures within the neighborhood. It should be noted that the applicant was allowed to install windows on the proposed structure since the rezoning in order to protect the interior from any weather events.

PURPOSE

On April 7, 2020, the applicant -- *Chris Kehrer* -- submitted an application requesting a Specific Use Permit (SUP) to allow for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC). The subject property is zoned Single-Family One (SF-1) District for residential land uses.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 844 Zion Hill Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are single-family homes located within the Zion Hills Subdivision followed by a vacant tract of land. These properties are zoned Agricultural (AG) District with the exception of two (2) of the properties, which are zoned Single Family 1 (SF-1) District. Beyond this is Cornelius Road, which is identified as an M4U (*major collector, four [4] lane, undivided roadway*) according to the City's Master Thoroughfare Plan. This roadway delineates the corporate limits of the City of Rockwall.

South: Directly south of the subject property are single-family homes located within the Zion Hills Subdivision that are zoned Agricultural (AG) District. Beyond the single-family homes is SH-66, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is a single-family home located within the Zion Hills Subdivision followed by FM-3549 [*i.e. N. Stodghill Road*], which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the corporate boundaries of the City of Rockwall. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property are single-family homes located within the Zion Hills Subdivision followed by two (2) landscaping businesses (*i.e. North Texas Lawns & Landscape and Landscape Source*) located along SH-66. These properties are zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

In April of this year, the applicant rezoned the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for the purpose of requesting a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*. This was the result of the applicant not pulling a building permit prior to constructing an accessory structure. Staff should note that the size of the addition (*i.e. 4,752 SF*) exceeds the size of the primary structure (*i.e. 2,871 SF*); however, the applicant can choose to redesign the structure and integrally attach it to the primary structure through a breezeway, which would alleviate the need for a SUP for the secondary living unit/guest quarters/accessory dwelling unit (a SUP would still be required for the carport). Regardless of how this is remedied, the applicant will be required to submit updated plans to the Building Inspections Department that reflect exactly what was and/or will be constructed on the property.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, the Zion Hills Subdivision was annexed into the City in 2010 and consists of lots that are one (1) acre or greater. Staff should note that the majority of the properties in the Zion Hills Subdivision are still zoned Agricultural (AG) District; however, two (2) properties (*i.e. 825 & 853 Zion Hills Circle*) have been rezoned to Single-Family 1 (SF-1) District. The purpose for rezoning these two (2) properties was to allow the addition of accessory structures on the properties (*i.e. one [1] accessory building by SUP -- 825 Zion Hills Circle; and, one [1] guest quarters/secondary living unit by right -- 853 Zion Hills Circle*).

According to the Subsection 07.04, of Article 05, of the Unified Development Code (UDC), accessory building and accessory structures shall be accessory to a residential use and located on the same lot, and only two (2) accessory structures are

permitted per single-family lot, with the exception of carports that are integrated into the main accessory structure. In addition, if there is an existing accessory building greater than 625 SF, no additional accessory buildings or structures are permitted. Should the SUP be approved, this will be the only accessory building allowed on the subject property. In the Single-Family 1 (SF-1) District, an accessory structure is limited to 144 SF and a detached garage limited to 625 SF with a maximum height of 15-feet, without the need to obtain a Specific Use Permit (SUP). Additionally, a carport is limited to 500 SF and a maximum of 15-feet in height. In this case, the applicant is proposing one (1), ~4,812 SF structure that incorporates a living quarters, detached garage, carport, and covered patio that do not conform to the requirements of the Unified Development Code (UDC) and requires approval of a Specific Use Permit (SUP). It should be known that covered porches that are attached to the primary structure are exempt from the size restrictions, but are required to meet the same setbacks as the primary structure. In this case, the covered patio (i.e. 792 SF) is in conformance with the UDC.

STAFF ANALYSIS

When analyzing the applicant's request to allow for the ~4,812 SF *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, staff should note that the existing primary structure equals 2,871 SF under roof, which means that overall the new accessory structure is ~68% greater in size than the existing primary structure. According to the Unified Development Code (UDC), the maximum allowable size for an accessory structure in a Single-Family 1 (SF-1) District is 625 SF for a detached garage, 144 SF for an accessory structure, and 500 SF for a carport without requiring a SUP; however, the applicant is exceeding the size limitation for all of these by incorporating multiple accessory uses into a single building (i.e. a living quarters, detached garage, carport, and covered patio).. Based on the information provided to staff, this requires approval of a Specific Use Permit (SUP) to allow for the accessory structure, secondary living unit/guest quarters/accessory dwelling unit, and carport. Staff should point out that if the applicant had tied in and integrally attached the structure to the primary structure as depicted in the second building permit that had been submitted to the City, the only item requiring a SUP would be the 1,620 SF carport. As a note, if the structure is not integrally tied in with the primary structure, the applicant will be required to submit an application to appear before the Board of Adjustment (BOA) requesting a variance to the ten (10) foot separation requirement between structures. This has been added as a condition of approval of the SUP. With that being said, the approval of this request is a discretionary decision for the City Council, pending a recommendation by the Planning and Zoning Commission.

NOTIFICATIONS

On April 28, 2020, staff notified 29 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) that allows for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - a) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of the draft ordinance.
 - b) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
 - c) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.
 - d) The *Carport* shall not be exceed 1,620 SF.
 - e) The accessory structure shall not exceed 4,755 SF in total size.

- f) No additional accessory structures shall be permitted on the *Subject Property*.
 - g) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
 - h) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.
- (2) Within 60 days of approval of the Specific Use Permit (SUP), the applicant must revise and obtain a building permit from the Building Inspections Department prior to commencing any work on the structure;
- (3) Within 60 days of approval of the Specific Use Permit (SUP), if the applicant does not revise and/or obtain a building permit that integrally ties in the *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* with the existing primary structure, the applicant will be required to obtain a written order from the Board of Adjustment (BOA) that will allow for the structure to be within the 10-feet of the primary structure as constructed.
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
 Subdivision Zion Hill Lot B Block B
 General Location Hwy 66 & CR 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1 Current Use SF 1 Residential Private
 Proposed Zoning NA Proposed Use Residential Private
 Acreage 1 Acre Lots [Current] Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>David Cheate</u>	<input checked="" type="checkbox"/> Applicant <u>Titan Contractors</u>
Contact Person <u>David Cheate</u>	Contact Person <u>Chris Kehrer</u>
Address <u>844 Zion Hill Circle</u>	Address <u>410 Normandy Ln</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>214-869-3318</u>	Phone <u>214-900-2517</u>
E-Mail <u>Alertdrain@yahoo.com</u>	E-Mail <u>Chris@TitanContractors.net</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

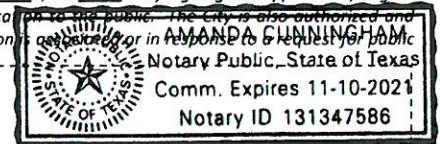
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate


Notary Public in and for the State of Texas

Amanda Cunningham



My Commission Expires 11-10-2021

0 37.5 75 150 225 300 Feet

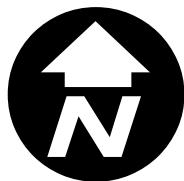
Z2020-016- SUP FOR 844 ZION HILL CIRCLE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

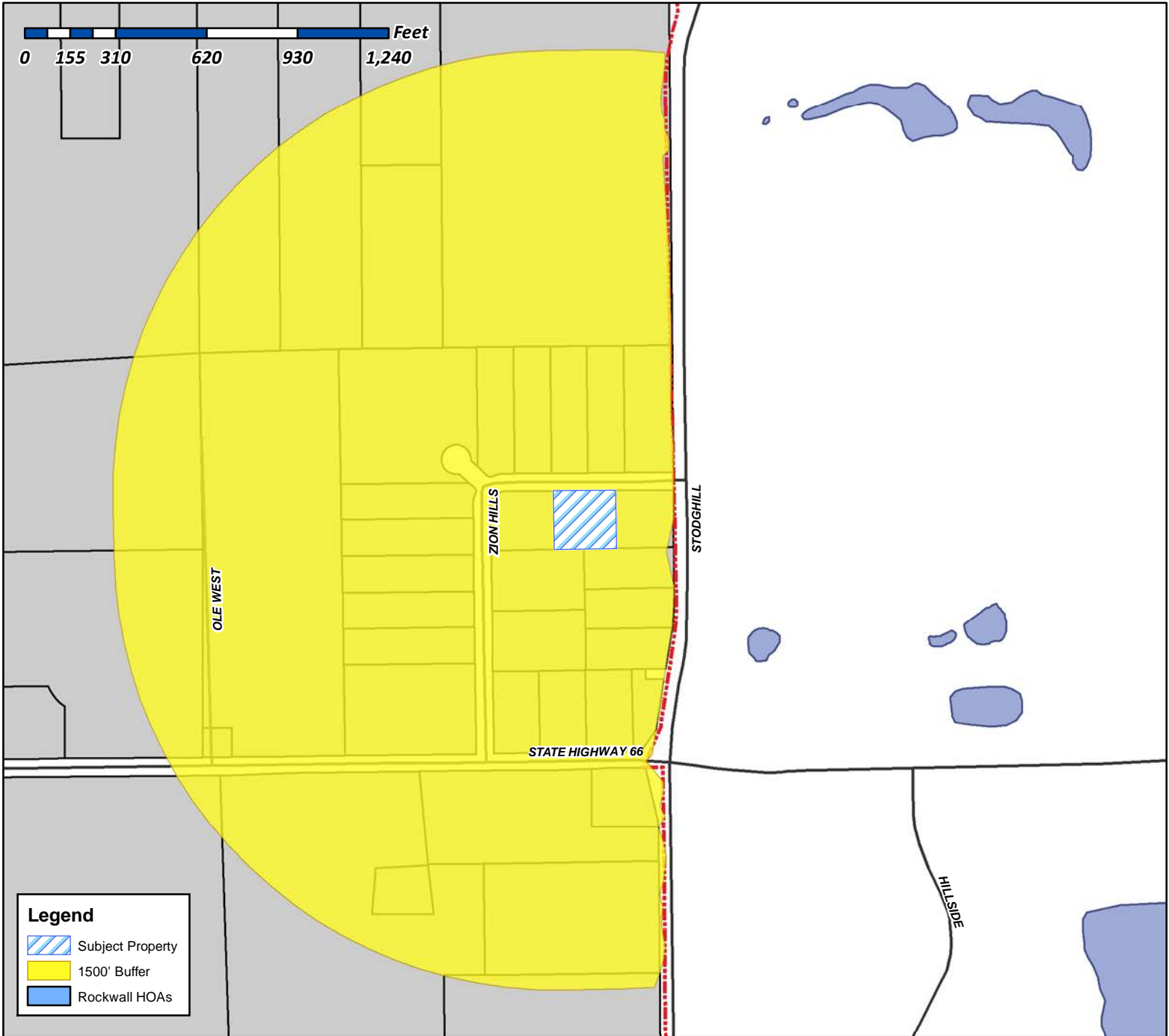




City of Rockwall

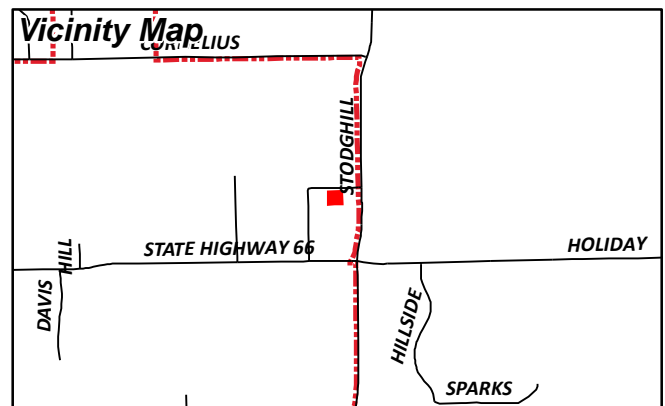
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle

Date Created: 4/20/2020
For Questions on this Case Call (972) 771-7745

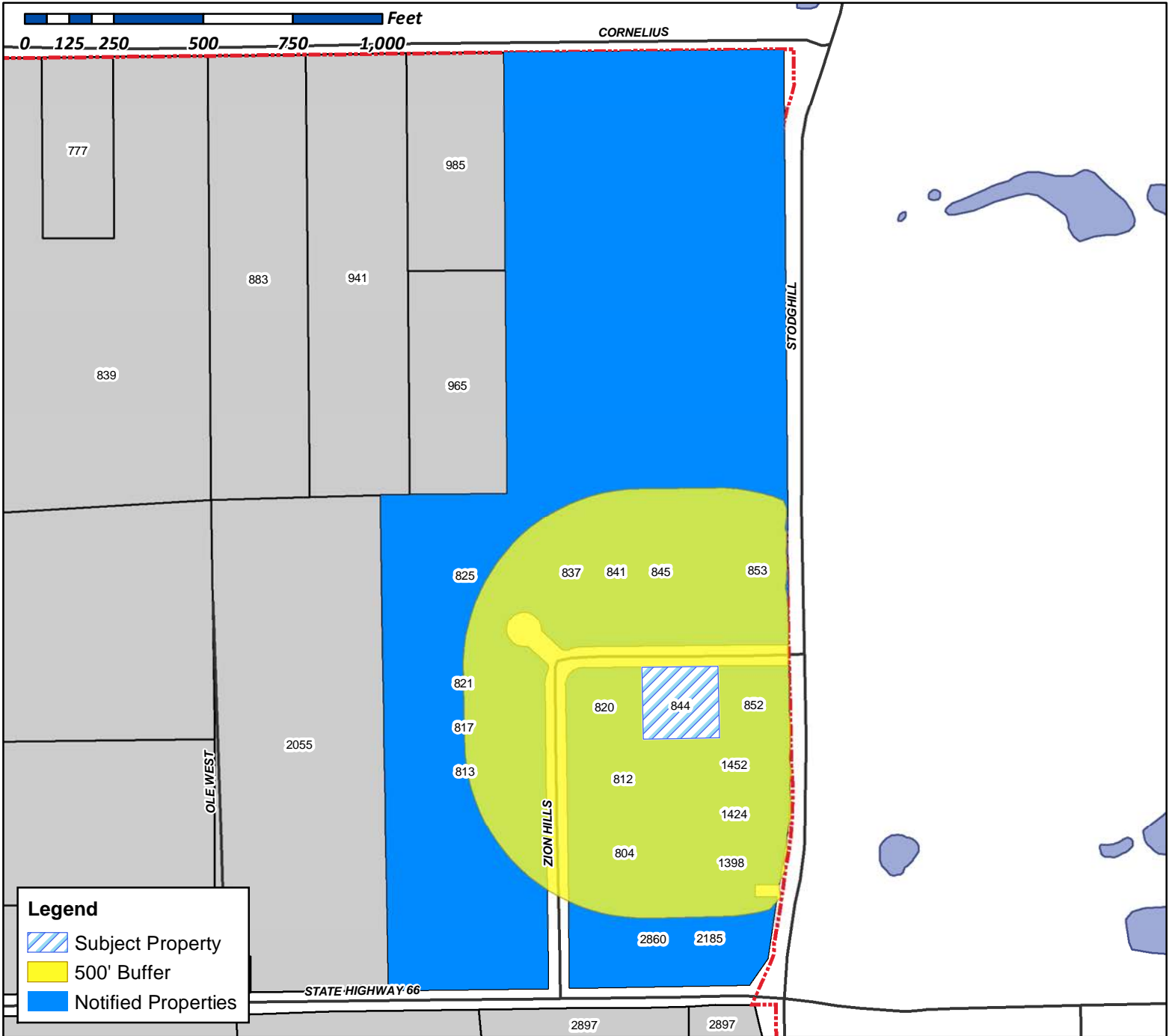




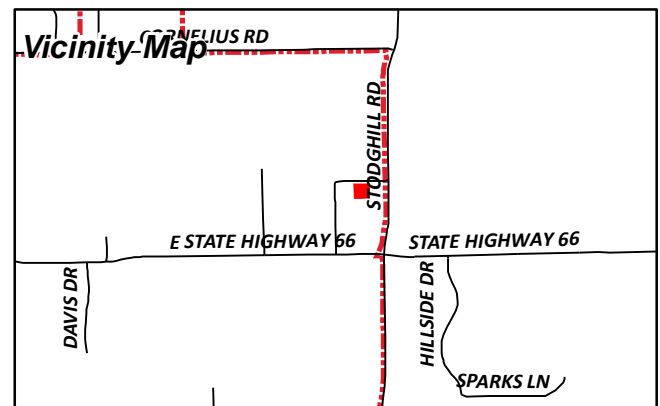
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



Date Created: 4/20/2020

For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be

CURRENT RESIDENT
1398 FM 3549 STODGHILL #3210
ROCKWALL, TX 75087

WEYGANDT DIANE M AND
MEGAN WOOD
1424 N FM 3549 STODGHILL ROAD
ROCKWALL, TX 75087

BROWN JEFFREY C & LISA
1452 FM 3549 STODGHILL RD
ROCKWALL, TX 75087

VECELLIO FRANCIS
1470 S JOHN KING BLVD #3210
ROCKWALL, TX 75032

CURRENT RESIDENT
2185 WILLIAMS
ROCKWALL, TX 75087

CURRENT RESIDENT
2860 HWY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS
4501 EDMONDSON AVE
DALLAS, TX 75205

LAKE RAY HUBBARD BIBLE CHURCH
INC
801 ZION HILL CIR
ROCKWALL, TX 75087

WHITE CHRISTOPHER AND CLAUDIA
804 ZION HILL CIR
ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A
812 ZION HILL CIR
ROCKWALL, TX 75087

LE THAO THI PHUONG HONG
813 ZION HILL CIR
ROCKWALL, TX 75087

CODY OLIVIA L & STEPHEN H
817 ZION HILL CIR
ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA
820 ZION HILL CIR
ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M
821 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 ZION HILL
ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J
837 ZION HILL CIR
ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL
841 ZION HILL CIR
ROCKWALL, TX 75087

CHOATE DAVID E ET UX
844 ZION HILL CIR
ROCKWALL, TX 75087

AKARD DANNY AND CATHY
845 ZION HILL CIR
ROCKWALL, TX 75087

BROWN DAVID C & LINDA K
852 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
853 ZION HILL
ROCKWALL, TX 75087

WOODY JESSYE JEAN
PO BOX 315
FATE, TX 75132

LAKE RAY HUBBARD CHURCH
PO BOX 698
ROCKWALL, TX 75087

HARLE REUBIN E
PO BOX 912
ROCKWALL, TX 75087

SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No.

Zion Hills Circle in the City of County of Rockwall, being described

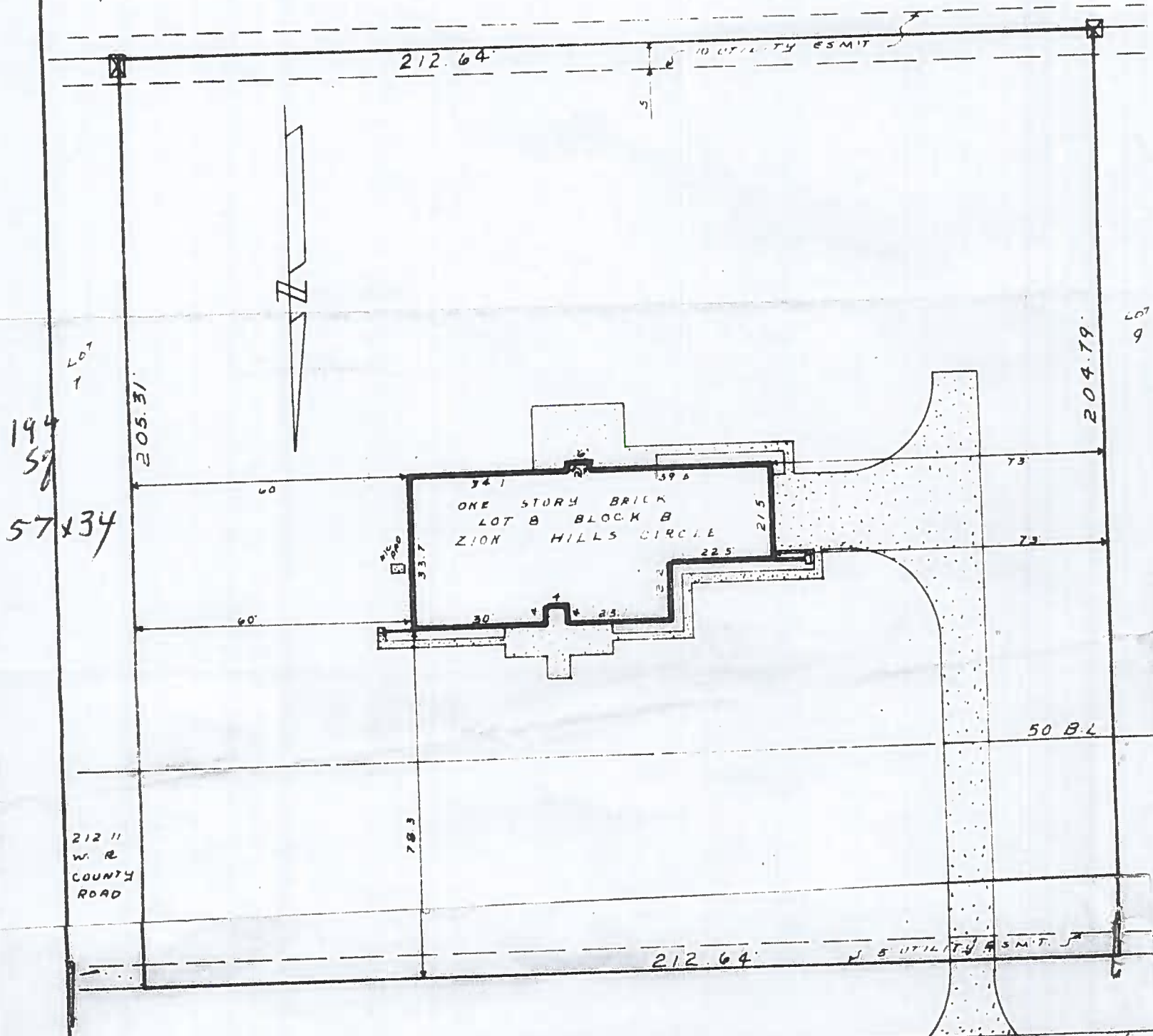
as follows:

Lot No. B, Block No. P, City Block No. _____

of Zion Hill Estates, an addition to the City of County of Rockwall

Texas, according to the Filed plat thereof recorded in Vol. _____, at page 23 of the Plat

Map Deed Records of Rockwall County, Texas



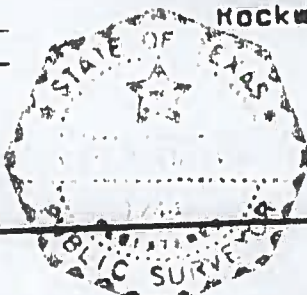
ZION HILLS CIRCLE

The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

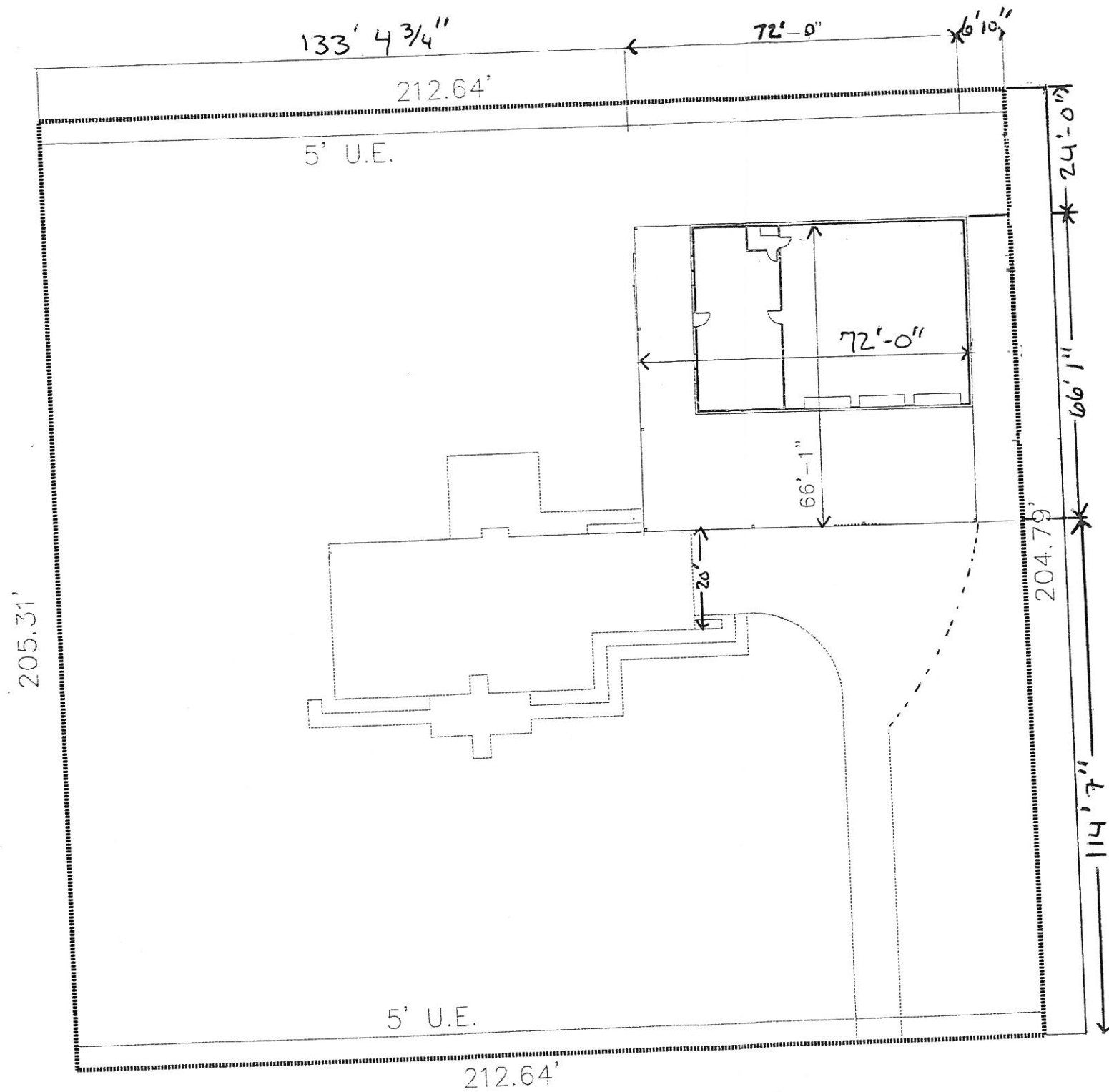
SCALE: 1" = 30'
 DATE: 5-10-79
 RE-SURVEY: _____

Bob O. Brown Land Surveyor
 302 W. 3rd St. Rockwall, Texas 75087
 Rockwall 722-3036 Dallas 226-7522



Bob O. Brown
 Registered Public Surveyor

DRAWN	CHECKED



ZION HILLS CIRCLE *Setbacks*

These plans are intended to provide the basic construction information necessary for the construction of the improvements. It is the responsibility of the contractor to verify all dimensions, elevations, and locations of existing and proposed features. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable codes, ordinances, and regulations. The contractor shall be responsible for the accuracy of the information provided on these plans and for the results of any construction based thereon.

CENTERLINE
214-563-3127

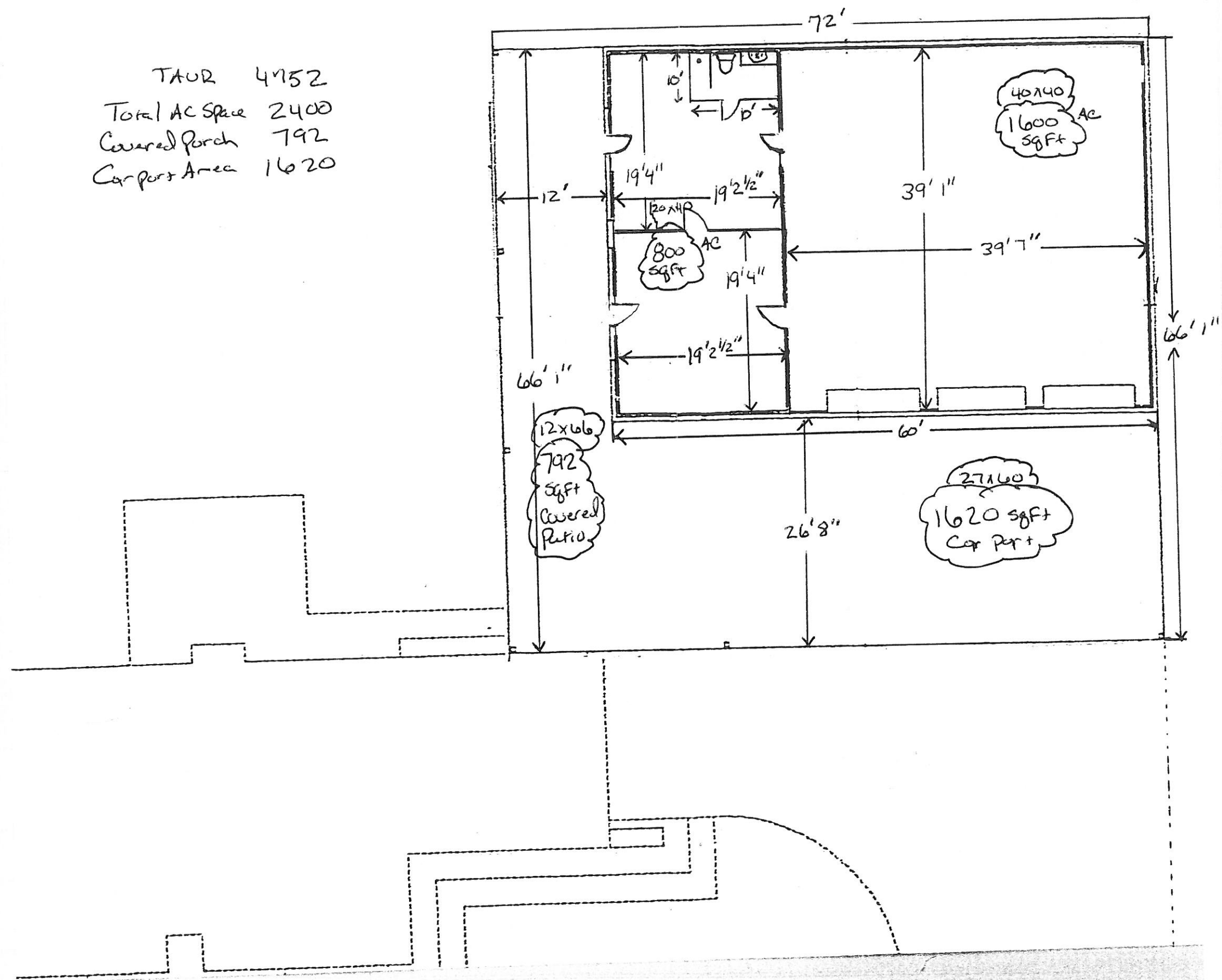
A RESIDENCE FOR THE:
CHOA, TH
LOT 8 / BLOCK B
ZION HILLS CLUB
ROCKWALL, TEXAS, TX

ISSUED DATE
7-29-13
DRAWN BY
CENTERLINE
REVISIONS

COPYRIGHT
2013

PP
3 of 3

TAUR 4752
Total AC Space 2400
Covered Porch 792
Carport Area 1620



















CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT AND CARPORT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Kehrer of Titan Contractors for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport*, as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Section 07, *District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 03.01, *General Residential District Standards*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, with the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on the *Subject Property* and conformance to these conditions is required for continued use of the structure:

- 1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
- 3) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.
- 4) The *Carport* shall not be exceed 1,620 SF.
- 5) The accessory structure shall not exceed 4,755 SF in total size.
- 6) No additional accessory structures shall be permitted on the *Subject Property*.
- 7) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- 8) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF JUNE, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 18, 2020

2nd Reading: June 1, 2020

Exhibit 'A'
Zoning Exhibit

Address: 844 Zion Hill Circle

Legal Description: Lot 8, Block B, Zion Hill Addition

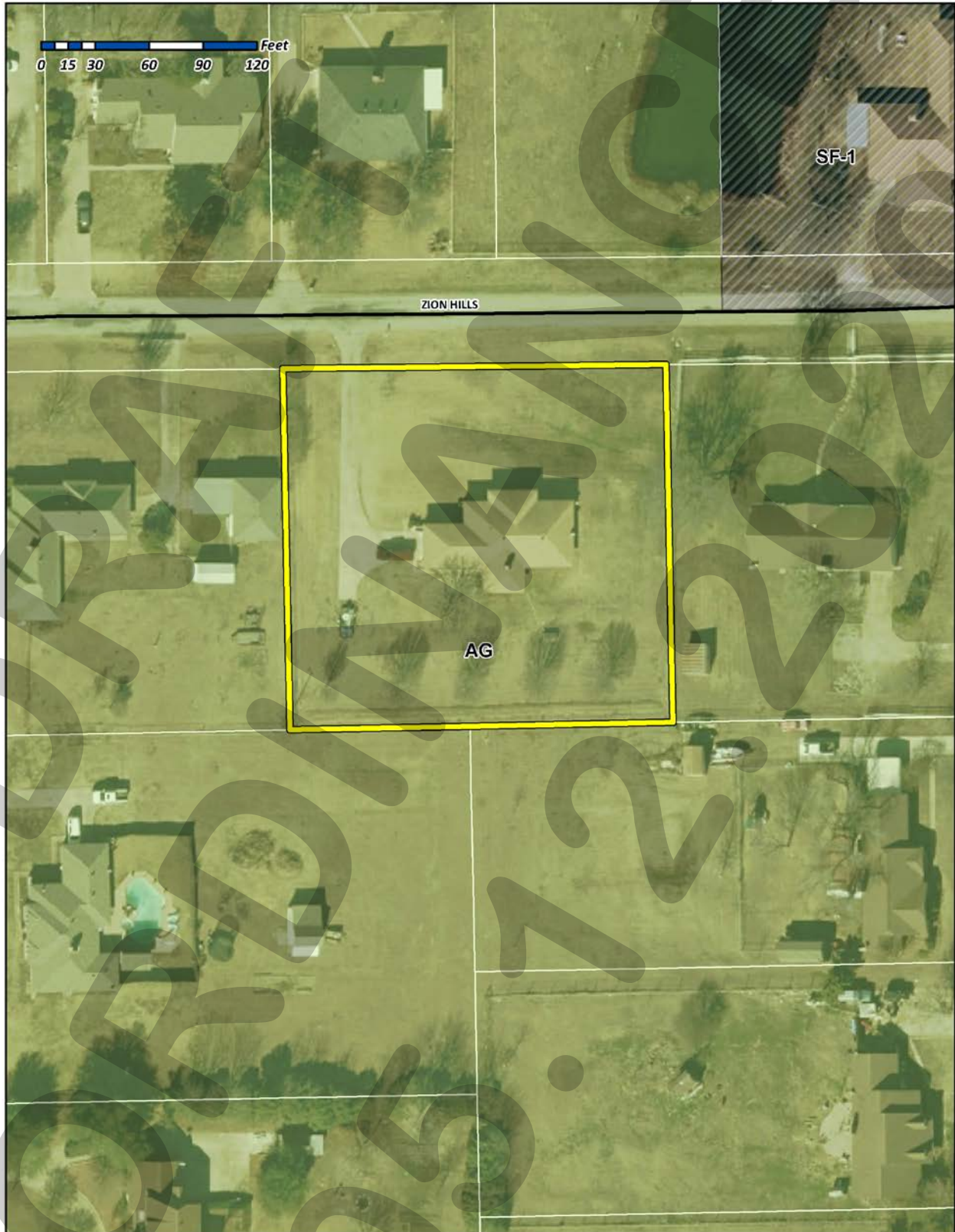
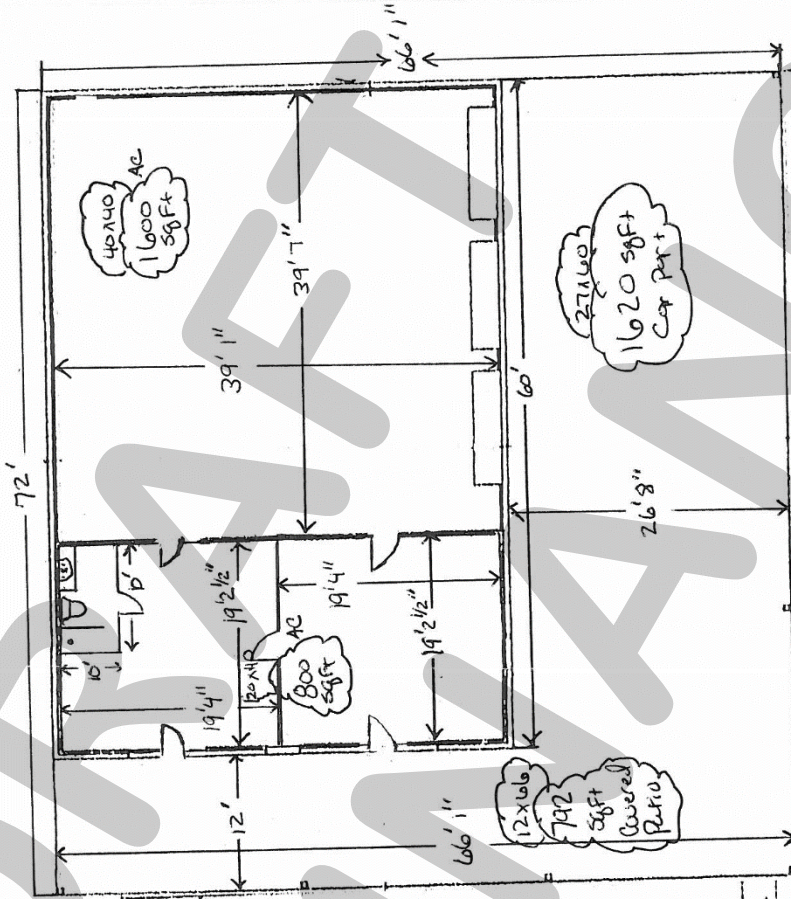


Exhibit 'B'
Site Plan



TAOR 4752
Total AC Spce 2400
Covered Porch 792
Carport Area 1620

Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations





CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: City Council

CC: Rick Crowley, *City Manager*
Mary Smith, *Assistant City Manager*
Joey Boyd, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: June 15, 2020

SUBJECT: Z2020-016; *SUP for a Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport at 844 Zion Hill Circle*

On April 7, 2020, staff had received an application from Chris Kehrer of Titan Contractors requesting a Specific Use Permit (SUP) for a *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport* for the subject property after it was discovered that the structure had been built without a permit. As a note, the subject property was rezoned on April 6, 2020 from an Agricultural (AG) District to a Single-Family One (SF-1) District for the purpose of requesting the SUP. After reviewing the SUP request, the Planning and Zoning Commission passed a motion to recommend denial of the SUP by a vote of 5-2, with Commissioners Welch and Thomas dissenting. On May 18, 2020, the City Council reviewed the SUP request and raised questions regarding the size of the structure (*i.e. detached garage, carport, etc.*) and its ability to be tied into the roofline of the primary structure. During the public hearing, the applicant requested the City Council grant additional time for his architect to draw up plans that would better depict how the structure could be integrated into the primary structure. Ultimately, the City Council approved a motion to table the SUP request to the June 15, 2020 meeting.

On June 10, 2020, the applicant provided staff with the attached plans showing a *breezyway* attaching the two (2) structures. Based on what was submitted by the applicant, the City Council will need to make a determination if the proposed *breezyway* sufficiently integrates the two (2) structures into one (1). Staff should also remind the City Council that due to the Planning and Zoning Commission's recommendation of denial, a three-quarter majority vote is required to approve the request. Should the City Council have any questions staff will be available at the meeting on June 15, 2020.

CHOATE RESIDENCE

840 ZION HILLS CIR, ROCKWALL, TX 75087

MEDICAL COMMERCIAL RESIDENTIAL RESTAURANTS
CHURCHES INSTITUTIONAL

MERSHAWN ARCHITECTS

1520 E INTERSTATE 30
ROCKWALL, TX 75087

PHONE: (469) 745-1701

200506_CHOATE

GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACES FOR ALL FABRICATED INSTALLATIONS

CONSTRUCTION

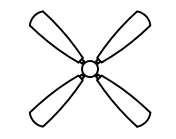
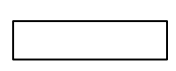
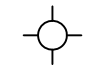


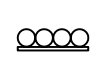



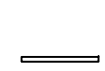
1. EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE ARCHITECT.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL GOVERNING BUILDING CODE. ANY NON=CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
3. THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
4. ALL SITE WORK AND LANDSCAPING TO BE ESTABLISHED AND DESIGNED BY OTHERS. UNLESS SHOWN ON THE DRAWINGS. ALL MECHANICAL WORK SUCH AS, BUT NOT LIMITED TO ELECTRICAL, PLUMBING, HEATING AND AIR CONDITIONING, VENTILATION, ETC, ARE TO BE ESTABLISHED AND DESIGNED BY OTHERS.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
6. ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF OWNER IN WRITING AND RESOLVED AND DOCUMENTED IN WRITING BEFORE CONTINUING WITH THE WORK IN QUESTION.
7. IN THE EVENT A DISCREPANCY IS FOUND IN CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
8. THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
9. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT. FOUR COPIES OF EACH SUBMITTAL ARE REQUIRED. THE CONTRACTOR MAY SUBMIT PRICE TO OWNER ALTERNATE MANUFACTURERS OF ALL ITEMS SPECIFIED ON THESE DRAWINGS.
10. ALL STUD WALLS ARE DIMENSIONED 4" NOMINAL, THIN 2" NOMINAL, PLUMBING WALLS ARE 6" NOMINAL.
11. ASSUME MINIMUM FIBER STRESS 1200 P.S.I. FOR ALL STRUCTURAL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.
12. ALL LAVATORIES AND BATHS SHALL BE MECHANICALLY VENTILATED THROUGH NON COMBUSTIBLE DUCTS TO PROVIDE AND AIR CHANGE EVERY 12 MINUTES. UNDERCUT ALL BATHROOM DOORS 1".
13. IN ABSENCE ON NAILING SCHEDULE USE SUCH TABLES AS FOUND IN THE LATEST EDITION OF THE UNIFORM BUILDING CODE.
14. CONTRACTOR MUST VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
16. CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.
17. ALL PATIOS AND PORCHES TO SLOPE A 1/4" PER 1'-0" IN THE DIRECTION INDICATED ON THE PLANS (AWAY FROM THE HOUSE).
18. ALL SILLS IN CONTACT WITH CONCRETE SHALL BE WOLMANIZED AND HAVE A CONTINUOUS SILL SEALER.
19. ALL WORK AND MATERIAL TO BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT AND ACCEPTANCE.
20. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
21. PROVIDE SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITIONS.
22. STORE MATERIALS IN SPACE DESIGNATED BY OWNER.
23. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR DIRECTED.
24. THERE SHALL BE NO DEVIATION FROM SPECIFICATION WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT OR ENGINEER.
25. PLUMBING WALLS SHALL BE 2X6 WOOD STUDS, REMAINING INTERIOR STUD WALLS TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
26. ROOFING SHALL BE CLASS "A" AND COMPLY WITH CHAPTER 32 FROM THE LATEST EDITION OF THE U.B.C.
27. ALL ROOFING EDGES SHALL HAVE TWO LAYERS OF 15 LB. FELT UNDERLAYMENT SOLID MOPPED TOGETHER EXTENDING FROM ROOF EDGE TO 24" OVER HEATED SPACE BELOW.
28. THERE SHALL BE AN AIR SUPPLY VENT IN EVERY BATHROOM.
29. DRYER VENT(S) SHALL BE CONNECTED TO THE OUTSIDE.
30. AIR CONDITIONER CONDENSER PAD MUST BE CONCRETE, MINIMUM 4" THICK REINFORCED WITH #3 REBAR AT 18" O.C. EACH WAY.
31. UNDERGROUND PIPING SHALL BE INSTALLED ON FIRM BEDDING.
32. NO PVC PIPE SHALL BE EXPOSED OUTSIDE THE BUILDING(S).
33. ALL SOFFITS AND DROPPED CEILINGS TO BE FIRESTOPPED.
34. FIRESTOP ALL WALLS AT 8'-0" VERTICALLY.
35. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION RECOMMENDED PRACTICES FOR THICKNESS, NAILING AND TAPING ON CORRECT STUD SPACING.
36. ALL FRAMING TO BE IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS MANUAL FOR HOUSE FRAMING.
37. ALL LUMBER TO BE GRADE MARKED MIN. NO. 2 K.D.S.Y.P. UNLESS NOTED OTHERWISE.
38. DOUBLE JOIST BELOW PARALLEL PARTITION AND AT STAIR OPENINGS.
39. ALL BEARING POSTS SHALL RUN (OR BE BLOCKED) CONTINUOUSLY FROM POINT OF BEARING TO TOP OF FOUNDATION.
40. CABINET SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING. TO ASSURE AN EXACT RT. THE CABINETS SHALL MATCH PLANS AND ELEVATIONS.
41. SLOPE GRADE AWAY FROM BUILDING AT 1/2" PER 1'-0" MIN. FOR A DISTANCE OF 10'-0" MIN.
42. ALL HEADERS TO BE 2 2X10'S NO. 2 K.D. UNLESS NOTED OTHERWISE.
43. EXHAUST FANS VENT TO OUTSIDE.
44. PROVIDE SPLASH BLOCK AT EACH DOWN SPOUT. REFER TO ROOF PLAN.
45. WATER RESISTANT GYPSUM BOARD SHALL BE USED AT ALL BATH TUB AND SHOWER COMPARTMENTS.
46. MAXIMUM FLAME SPREAD RATING ON ALL INTERIOR FINISH MATERIALS SHALL NOT EXCEED 25.
47. THERMOSTATS USED FOR HEATING AND COOLING SHALL BE CAPABLE OF BEING SET FROM 55 DEGREES F. TO 85 DEGREES F. WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
48. ALL H.V.A.C. EQUIPMENT AND DUCT WORK SHALL COMPLY WITH THE NATIONAL AND STATE GOVERNING CODES AND OR AUTHORITIES.
49. CAULKING AND SEALANT AT EXTERIOR JOINTS, AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
50. CHANGES IN THIS WORK ARE ONLY AUTHORIZED IF IN WRITING FROM THE OWNER OR ARCHITECT.
51. ALL EXPOSED MATERIALS FOR PORCHES, SOFFITS, OVERHANGS, ETC. TO BE AN APPROVED EXTERIOR GRADE.
52. CORROSION RESISTANT FLASHING (GALV.) IS REQUIRED AT THE TOP AND SIDES OF ALL WINDOWS AND ROOF OPENINGS, AND AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION AND FRAME WALLS/OR APPROVED WATER. RESISTANT SHEETING AND CAULKING TO BE USED AT TOP AND SIDE TO GUARANTEE LEAK PROOF.
53. AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.5 CFM PER ROOT OF

- SASH. TRACK DOORS SHALL NOT EXCEED 0.5 CFM PER SQUARE FEET OF DOOR AREA.
54. ALL WORK RELATED AND DEPENDENT UPON STRUCTURAL CRITERIA SHALL BEAR THE SEAL AND LICENSE NUMBER OF A PROFESSIONAL ENGINEER OF THE STATE OF TEXAS (I.E. FOUNDATIONS, FLOOR AND ROOF FRAMING, AND LOADING MAXIMUMS).
 55. DESIGN LOADS DO NOT INCLUDE SUPERIMPOSED LOADS SUCH AS AC UNIT AND OTHER MECHANICAL EQUIPMENT. SHOP DRAWINGS OF EQUIPMENT AND PROPOSED SUPPORT FRAMING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
 56. THE CONTRACTOR SHALL SUPPLY AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION, AND WELDING OS STEEL TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES.
 57. SUBMIT TWO PRINTS AND ONE SEPIA OF EACH SHEET OF SHOP DRAWINGS FOR ARCHITECTS REVIEW PRIOR TO FABRICATION. CONTRACTOR MUST CHECK ALL SHOP DRAWINGS, NOTING ANY DISCREPANCIES BEFORE SUBMISSION.
 58. CURRENT EDITIONS OF ACI 318 AND THE UNIFORM BUILDING CODE BEING ACTIVELY USED BY THE LOCAL BUILDING OFFICIALS ARE TO SET THE GUIDELINES AND STANDARDS.
 59. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO THE COMMENCING OF CONSTRUCTION.
 60. ALL NOTES AND DETAILS MARKED TYPICAL APPLY TO SIMILAR CONDITIONS THROUGHOUT THE PROJECT, WHETHER SPECIFICALLY NOTED OR NOT.
 61. PROVIDE COMPLETE CLOSURE AT WALLS EXTENDING TO BOTTOM OF STRUCTURE OR BOTTOM OF DECK WITH NECESSARY PRE FORMED INSERTS OR APPLICABLE MATERIALS.
 62. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING OR OTHER SUITABLE BACKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING, EDGES WHERE FINISHED MATERIALS CHANGE, DOOR STOPS, SHELF BRACKETS INSIDE ALL CLOSET AREAS, HANDRAILS, AND ALL MOUNTED EQUIPMENT.
 63. WOOD BLINDS @ ALL WINDOWS.




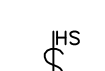
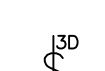

ELECTRICAL

1. ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCHED AT TOP ONLY.
2. ALL SWITCHES TO BE 4'=0" ABOVE FINISHED FLOOR (AFF) TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
3. ALL CONVENIENCE OUTLETS ARE 1'-0" ABOVE FINISHED FLOOR TO CENTERLINE OF OUTLET UNLESS NOTED OTHERWISE.
4. ALL INTERIOR WALL BRACKET FIXTURES TO BE AT 6'-6" ABOVE FINISHED FLOOR TO CENTERLINE OF FIXTURE.
5. ALL EXTERIOR LIGHTS SHOWN ON ELECTRICAL PLAN(S) AS TIMER CONTROLLED ARE CIRCUITED TO ELECTRICAL TIMER PANEL LOCATED IN UTILITY ROOM, UNLESS PHOTO CELL SYSTEM IS USED.
6. SMOKE DETECTORS SHALL BE LOCATED WITHIN 12" OF CEILING AND BE U.L. APPROVED
7. VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER'S SPECIFICATIONS.
8. CABLE TELEVISION SERVICE SHALL BE WIRED TO EVERY TELEVISION RECEPTACLE (UNLESS OTHERWISE INSTRUCTED BY OWNER).
9. NO POINT ALONG FLOOR LINE MEASURED HORIZONTALLY SHALL BE MORE THAN 12'-0" FROM A RECEPTACLE OUTLET.
10. ALL ELECTRICAL INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE LATEST NATIONAL ELECTRICAL CODE. ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, Inc.
11. ELECTRICAL CONTRACTOR SHALL, BEFORE CONSTRUCTION, VERIFY SPACE REQUIRED FOR METER INSTALLATION AND SHALL NOTIFY THE GENERAL CONTRACTOR AND THE ARCHITECT OF ANY PROBLEM.
12. GROUND FAULT INTERCEPTORS SHALL BE PROVIDED AT ALL BATHROOMS, KITCHENS OR WITHIN 5'-0" OF WATER. AS PER SECTION 210-8 N.E.C.

LIGHTING KEY

-  VARIABLE SPEED FAN
-  1X4 FLUORESCENT
-  CLG. MOUNTED FIXTURE
-  WALL MOUNTED FIXTURE
-  RECESSED CAN
-  VANITY LIGHT
-  EXHAUST FAN
-  DBL. SOFFIT FLOOD LIGHT
-  SOFFIT DOWN LIGHT
-  UNDER CAB. LIGHT

SWITCH KEY

-  SWITCH
-  3-WAY SWITCH
-  DIMMER SWITCH
-  HINGE SWITCH
-  3-WAY DIMMER SWITCH
-  TIMER SWITCH

SHEET INDEX


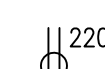
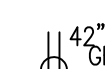


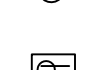


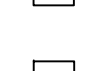
- COVER SHEET**
- A1 EXISTING SITE PLAN**
 - A2 PROPOSED SITE PLAN**
 - A3 EXISTING FLOOR PLAN**
 - A4 PROPOSED FLOOR PLAN**
 - A5 EXISTING ELEVATIONS**
 - A6 PROPOSED ELEVATIONS**
 - A7 EXISTING ROOF PLAN**
 - A8 PROPOSED ROOF PLAN**

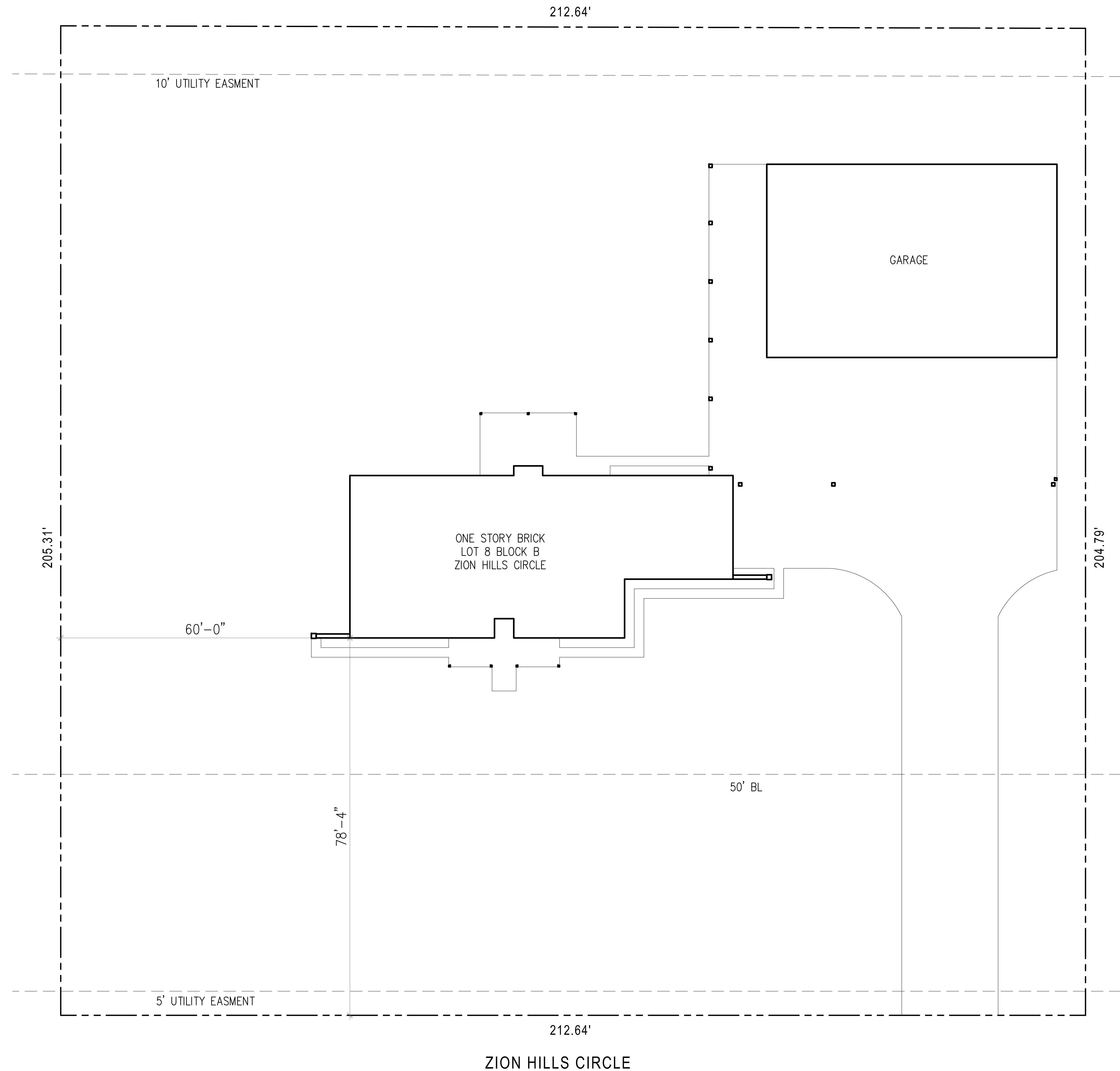
© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED
WITHOUT PERMISSIONS FROM MERSHAWN

STRUCTURAL

1. ALL STRUCTURAL STEEL SHALL BE DOMESTIC A.S.T.M. A-36 AND CONFORM TO STANDARD A.I.S.C. SPECIFICATIONS.
2. ALL CONNECTIONS TO BE FIELD AND SHOP WELDED AND TO DEVELOP MEMBER IN SHEAR.
3. NO SPLICES PERMITTED UNLESS APPROVED BY THE ENGINEER (PROFESSIONAL ENGINEER OF TEXAS).
4. PIPE COLUMNS SHALL BE DOMESTIC STEEL CONFORMING TO A.S.T.M. A-501, WELDED AND SEAMLESS, CONCRETE FILLED WITH VENTS AT TOP, MIDDLES AND BOTTOM (IF APPLICABLE).
5. SHOP COAT ALL STRUCTURAL STEEL WITH RUSTOLEUM 1089 RED PRIMER OR ZINC CHROMATE FIELD COAT ALL STEEL WITH SAME PAINT. TOUCH UP ALL WELDS AND ABRASIONS IN FIELD.
6. BOLTS SHALL BE HIGH STRENGTH CONFORMING TO A-325.
7. WELDING ELECTRODES SHALL CONFORM TO A.S.T.M. AWS. 55, H70XX SERIES.
8. WELDERS SHALL CARRY EVIDENCE OF QUALIFICATION WITHIN THE PAST 12 MONTHS UNDER THE AWS. PROCEDURE FOR THE TYPE OF WORK REQUIRED.
9. ALL EXPOSED STEEL SHALL BE GROUND SMOOTH AND FREE OF ANY ROUGH SHARP EDGES.

POWER KEY

-  OUTLET
-  HIGH VOLTAGE OUTLET
-  42" ABOVE FINISHED FLOOR GROUND FAULT INTERRUPT
-  EXTERIOR DUPLEX OUTLET
-  DOUBLE DUPLEX OUTLET
-  SOFFIT DUPLEX OUTLET
-  FLOOR DUPLEX OUTLET
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR



GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

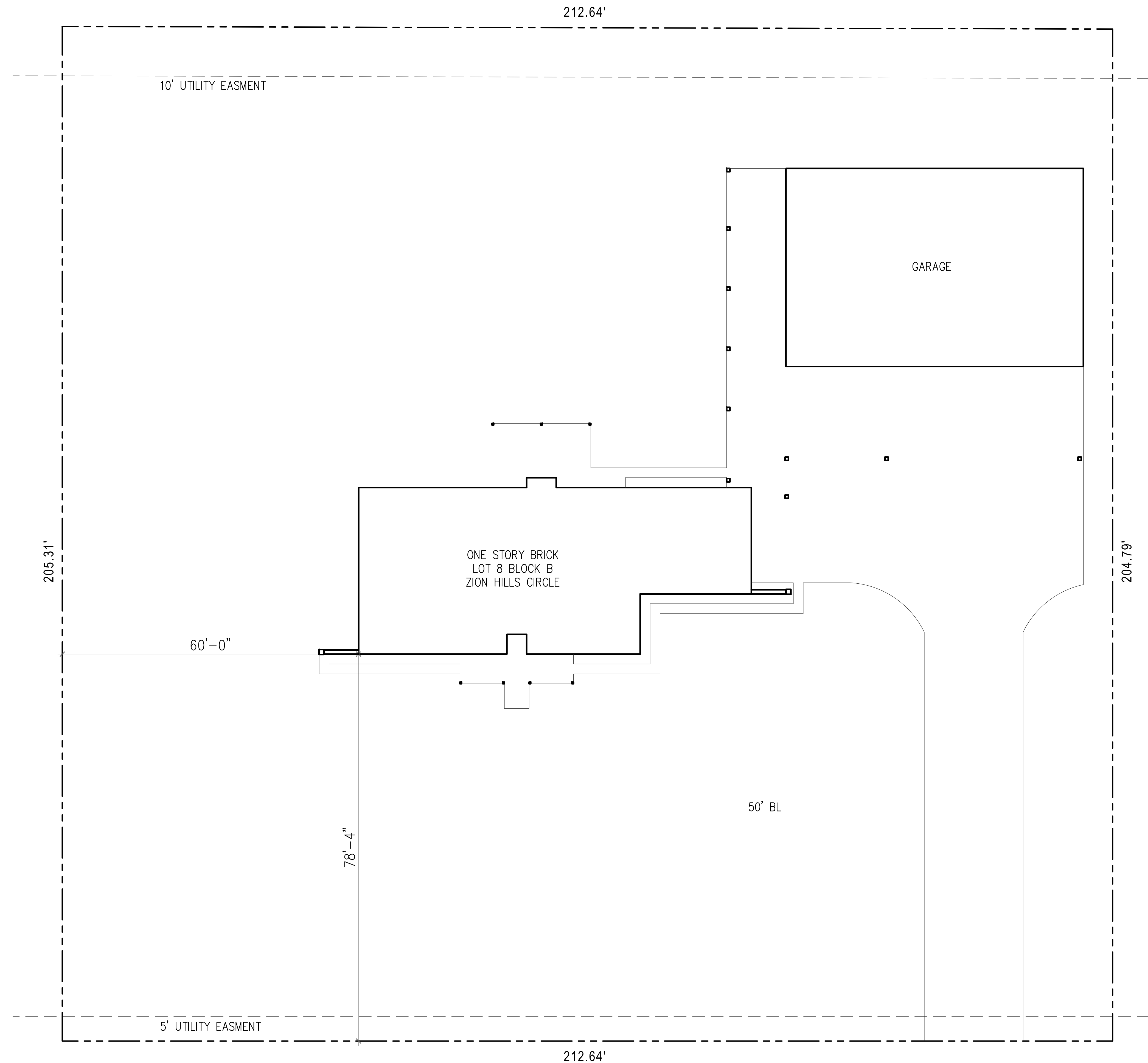
RESIDENTIAL RESTAURANTS
 INSTITUTIONAL
MERSHAWN ARCHITECTS
 MEDICAL COMMERCIAL CHURCHES
 1520 E INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.
EXISTING
SITE PLAN

Scale:	3/32" = 1'-0"
Date:	6/2/2020
Project No.:	200506
Designed:	HB
Drawn:	HB
Checked:	WM

SHEET
A1 OF
8



GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

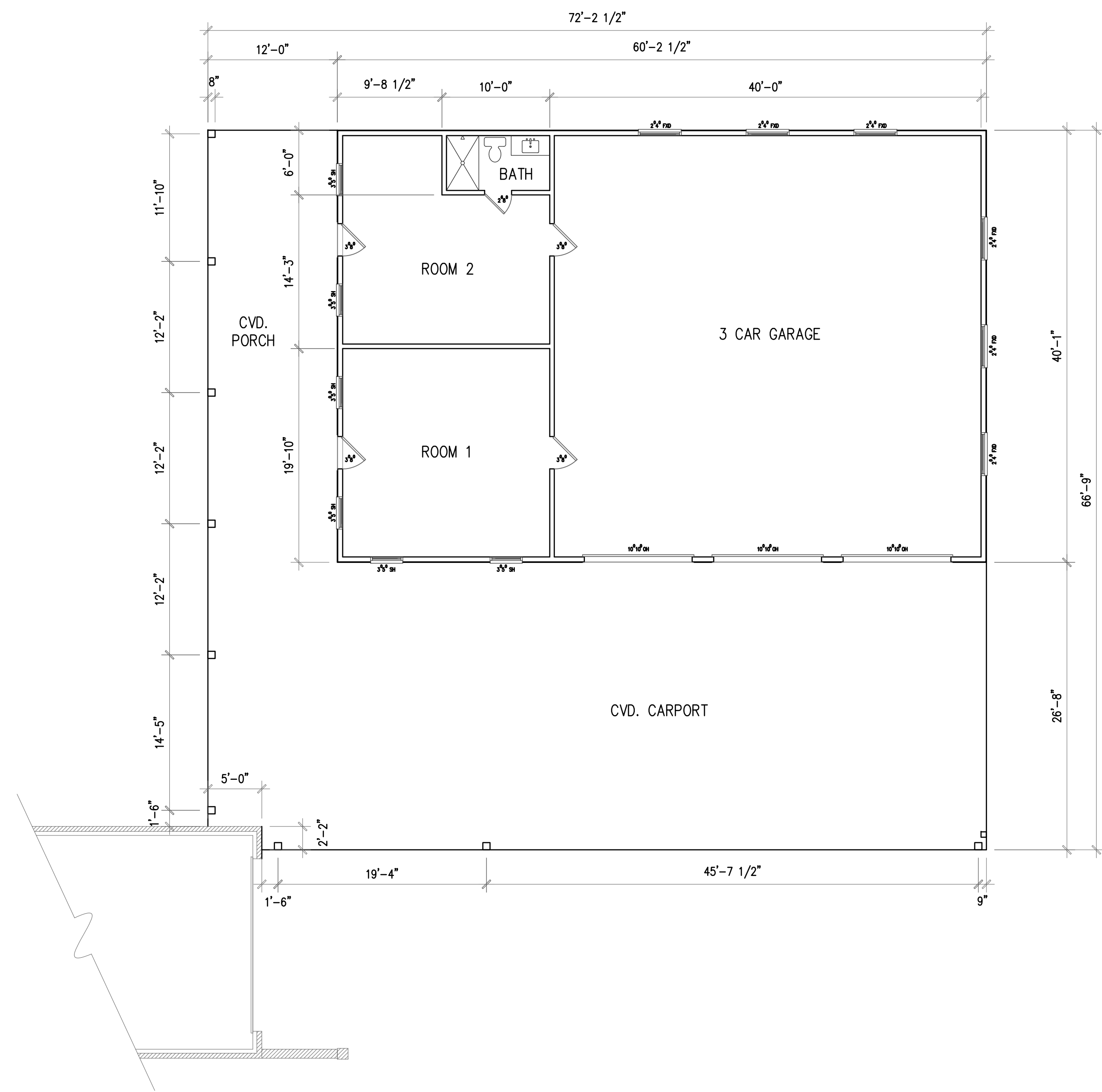
RESIDENTIAL RESTAURANTS
 INSTITUTIONAL
MERSHAWN ARCHITECTS
 MEDICAL COMMERCIAL CHURCHES
 1520 E INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.
PROPOSED
SITE PLAN

Scale:	3/32" = 1'-0"
Date:	6/3/2020
Project No.:	200506
Designed:	HB
Drawn:	HB
Checked:	WM

SHEET
A2 OF
8



GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

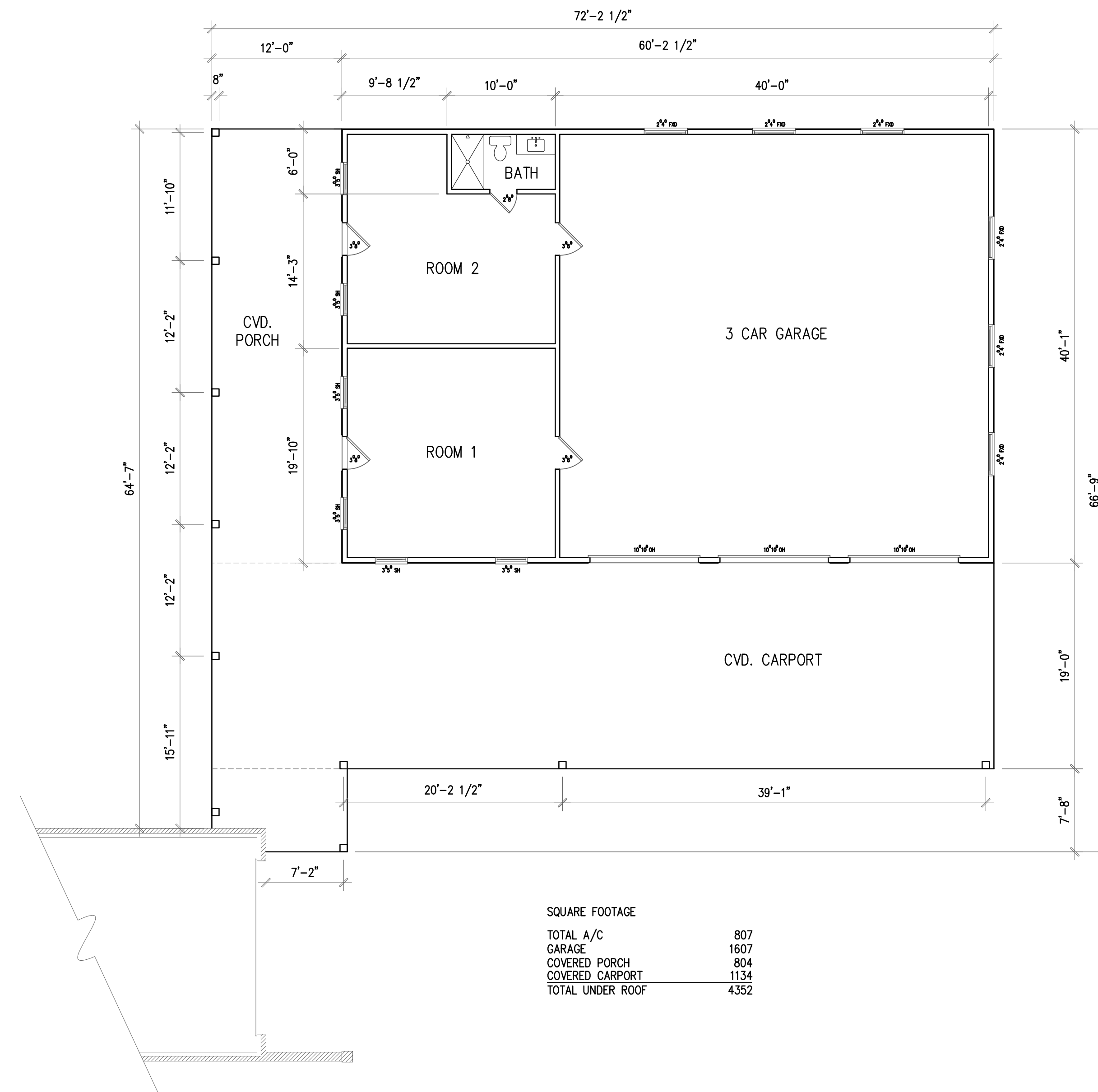
MEDICAL COMMERCIAL CHURCHES
 RESIDENTIAL RESTAURANTS INSTITUTIONAL
MERSHAWN ARCHITECTS
 1520 E INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.
EXISTING FLOORPLAN

Scale: 1/8" = 1'-0"
Date: 6/3/2020
Project No.: 200506
Designed: HB
Drawn: MM
Checked: HB

SHEET
A3
 OF
8



GENERAL NOTES:

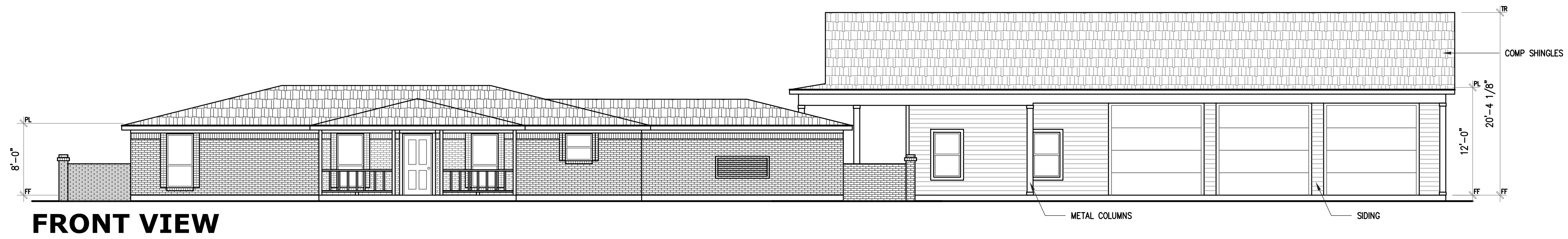
1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

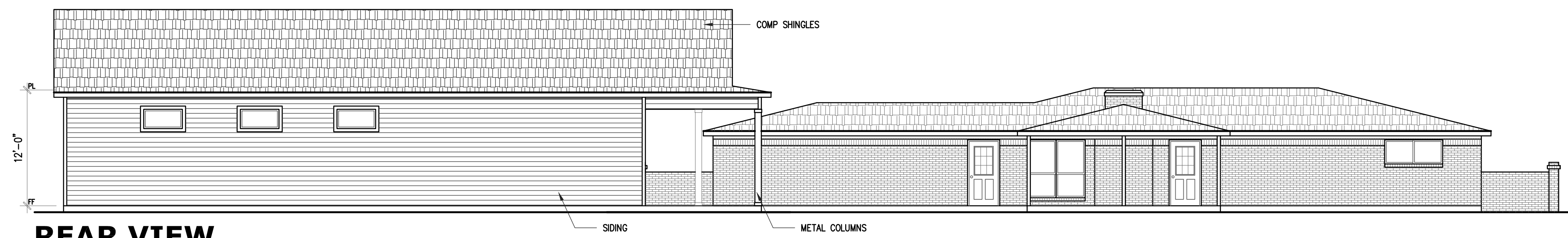
No.	Date	Revision	By

**CHOATE RESIDENCE
840 ZION HILLS CIR.
PROPOSED
FLOOR PLAN**

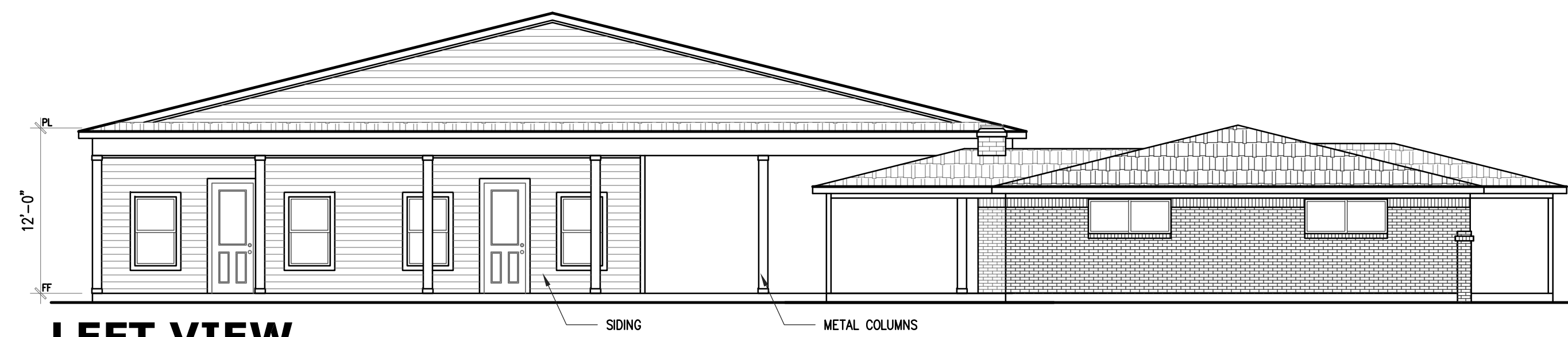
Scale:	1/8" = 1'-0"
Date:	6/3/2020
Project No.:	200506
Designed:	HB
Drawn:	MM
Checked:	HB



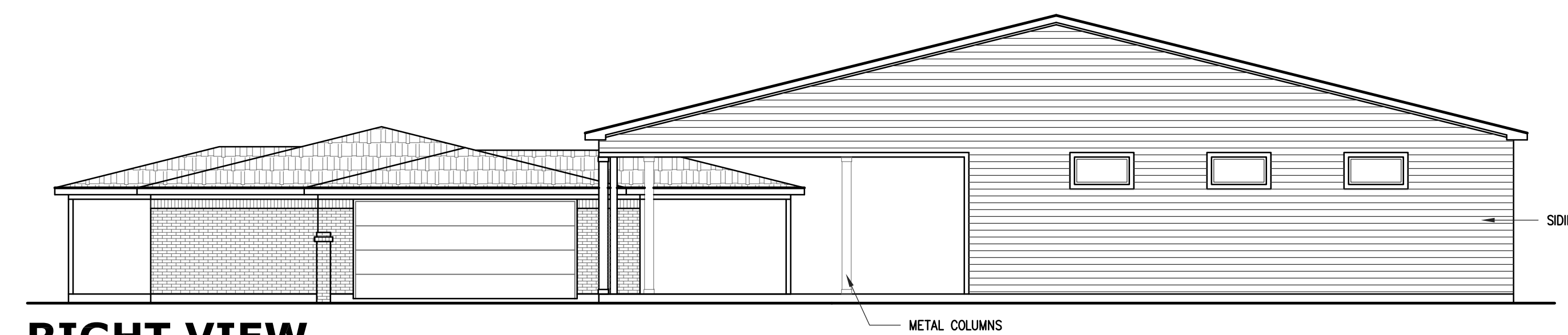
FRONT VIEW



REAR VIEW



LEFT VIEW



RIGHT VIEW

GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

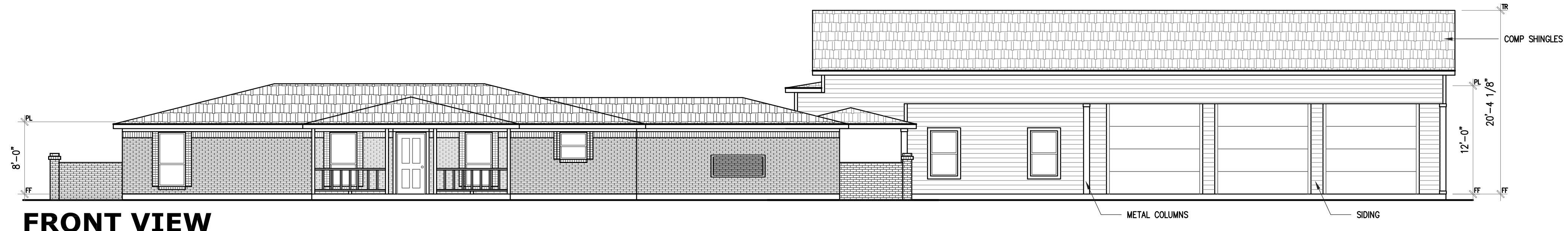
© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

No.	Date	Revision	By

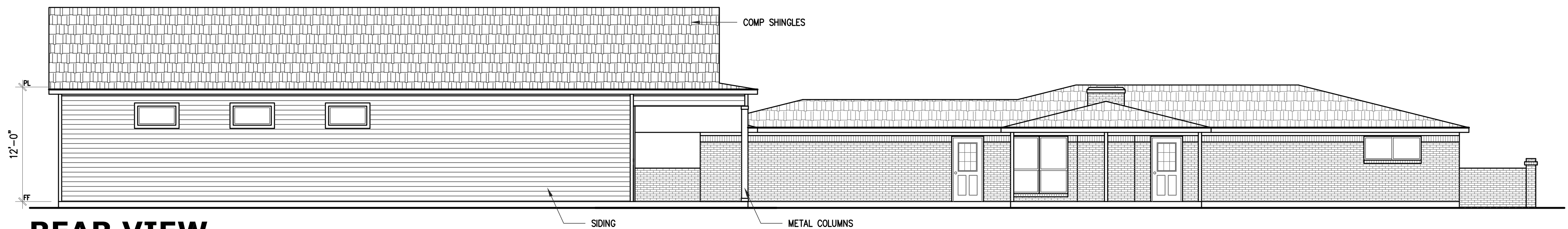
**CHOATE RESIDENCE
 840 ZION HILLS CIR.
 EXISTING
 ELEVATIONS**

Scale:	1/8" = 1'-0"
Date:	6/3/2020
Project No.:	200506
Designed:	HB
Drawn:	MM
Checked:	HB

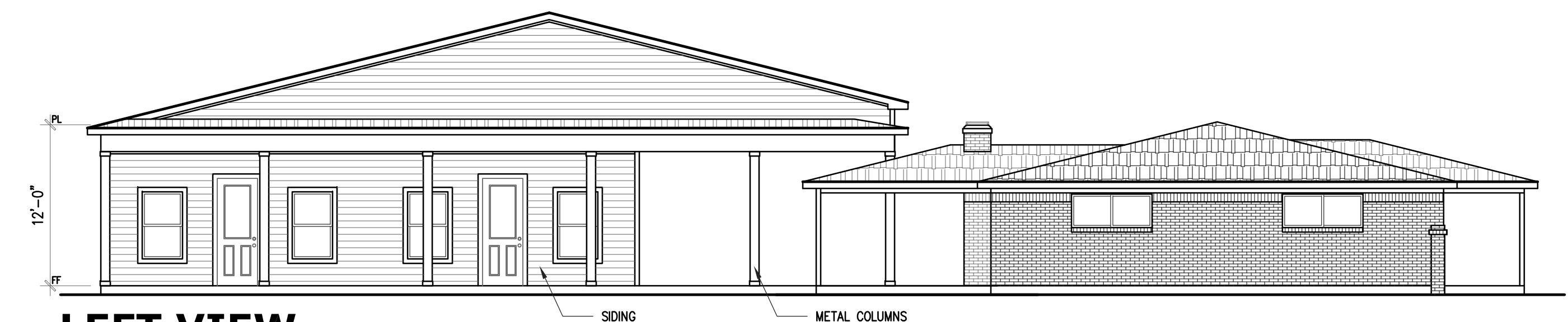
CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



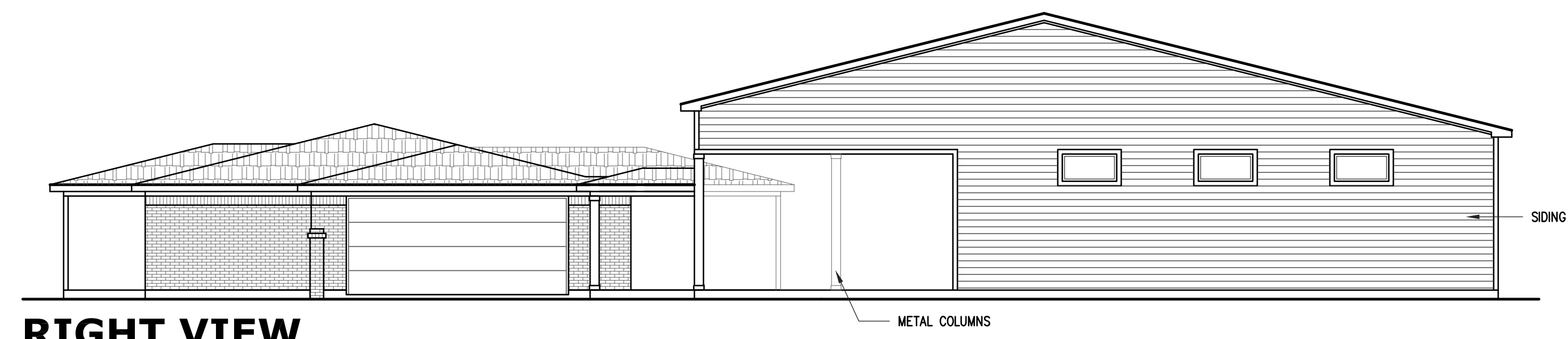
FRONT VIEW



REAR VIEW



LEFT VIEW



RIGHT VIEW

- GENERAL NOTES:**
1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS, ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
 3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.
- © COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

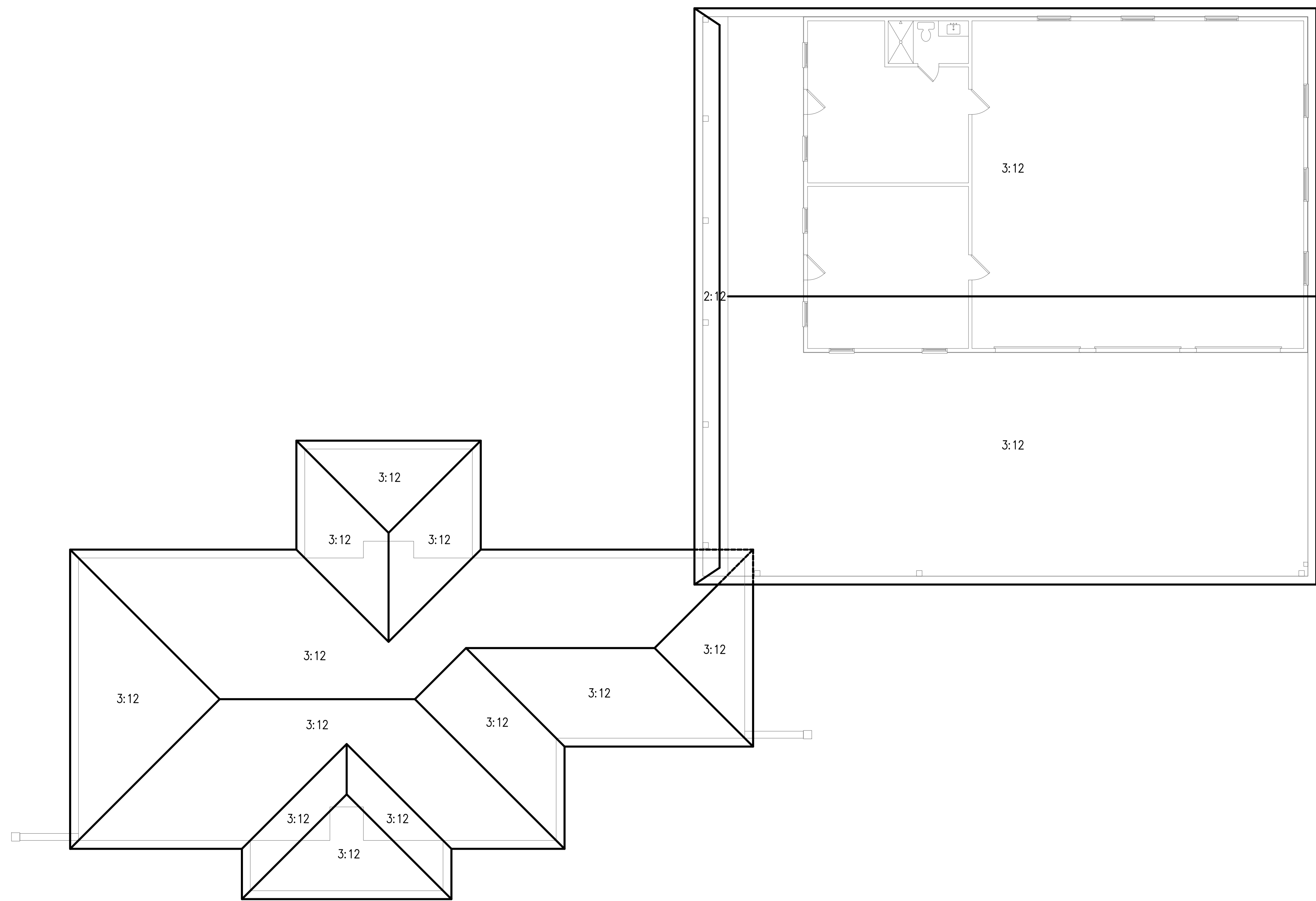
MERSHAWN ARCHITECTS
 INSTITUTIONAL
 RESIDENTIAL RESTAURANTS
 MEDICAL COMMERCIAL CHURCHES
 1520 E INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.
PROPOSED ELEVATIONS

Scale: 1/8" = 1'-0"
 Date: 6/3/2020
 Project No.: 200506
 Designed: HB
 Drawn: MM
 Checked: HB

SHEET
A6 OF
8



GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

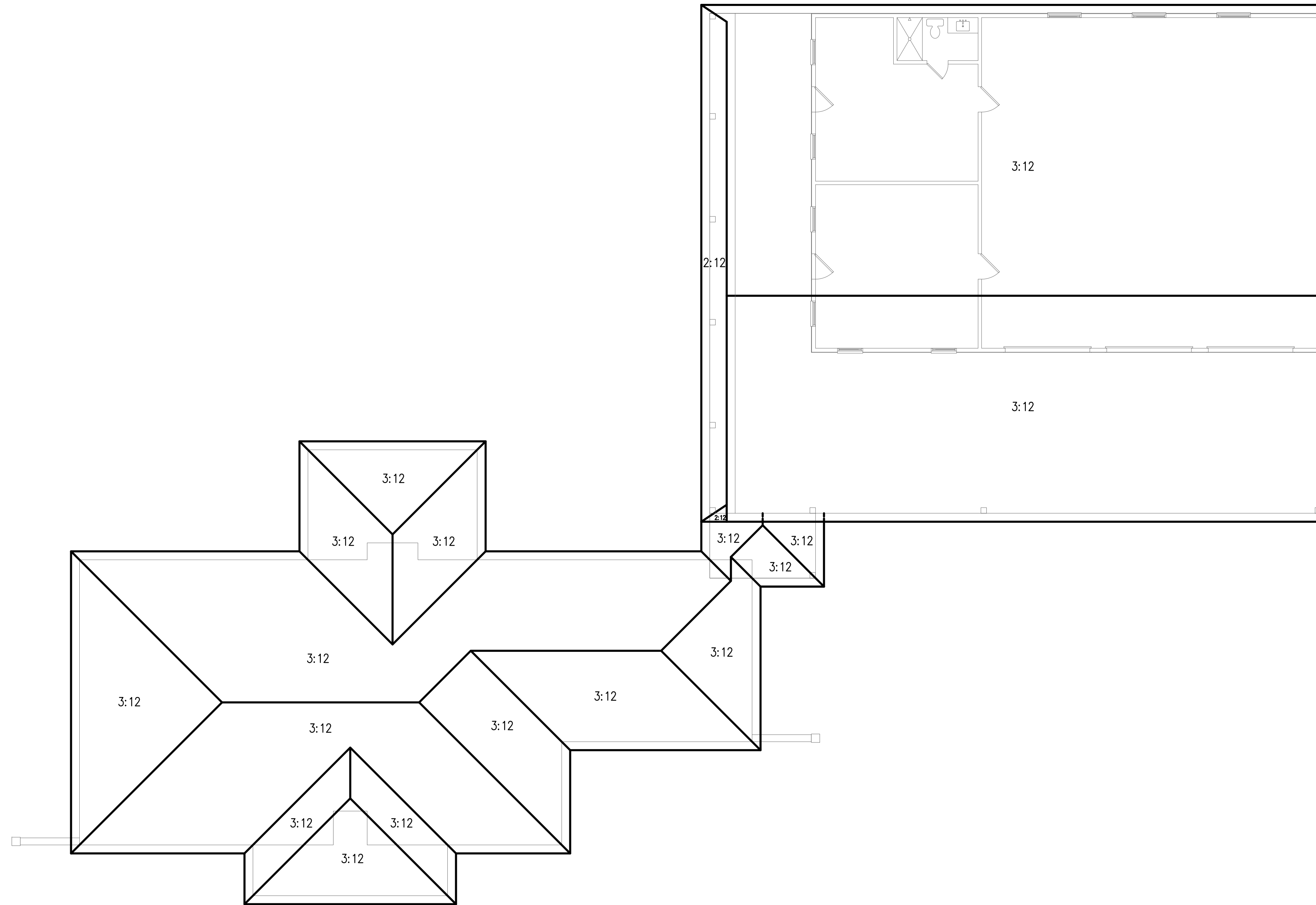
MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
 1520 E INTERSTATE 30
 ROCKWALL, TEXAS 75087
 PHONE: 469-745-1701

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.
EXISTING
ROOF PLAN

Scale:	1/8" = 1'-0"
Date:	6/3/2020
Project No.:	200506
Designed:	HB
Drawn:	MM
Checked:	HB

SHEET
A7 OF
8



GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY DETAIL OF CONSTRUCTION
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
3. ARCHITECT SHALL NOT BE LIABLE FOR ANY AMOUNT EXCEEDING THE VALUE OF THE CONTRACT INITIATED TO GENERATE THESE DRAWINGS
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE DOCUMENTS, VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION, AND TO FIELD VERIFY ACTUAL SPACE FOR ALL FABRICATED INSTALLATIONS.

© COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
NO PRINTING OR COPYING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

No.	Date	Revision	By

CHOATE RESIDENCE
840 ZION HILLS CIR.
PROPOSED
ROOF PLAN

Scale: 1/8" = 1'-0"
Date: 6/3/2020
Project No.: 200506
Designed: HB
Drawn: MM
Checked: HB

SHEET
A8 OF
8



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: May 18, 2020
APPLICANT: Chris Kehrer; *Titan Contractors*
CASE NUMBER: Z2020-016; *SUP for a Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport at 844 Zion Hill Circle*

SUMMARY

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 10-01*, annexing the subject property on January 4, 2010, and assigning the property a classification of Agricultural (AG) District. According to Rockwall Central Appraisal District (RCAD) records, the primary structure on the subject property was constructed in 1978, has a 1,988 SF main living area, a 483 SF attached garage, and two (2) covered porches (*i.e. 240 SF & 160 SF*). On November 27, 2019, the applicant -- *who is the contractor and not the property owner* -- submitted a building permit proposing the construction of a ~4,812 SF accessory structure that consisted of a 1,620 SF carport, a 792 SF covered porch, and a 2,400 SF detached garage. During the permit review process, the applicant was informed that the size of the carport and detached garage would require a Specific Use Permit (SUP), unless the plans were revised to reduce the size of the carport to 500 SF or less and either [1] reduce the detached garage to 625 SF or less, or [2] attach the entire structure to the primary structure. In late January 2020, the applicant submitted revised plans proposing to remove the carport and add an eight (8) foot awning attaching the structure to the primary structure. On February 7, 2020, the Building Inspections Department issued a building permit based on the revised plans; however, later the same day a Building Inspector reported that the applicant had already constructed the majority of the building based on the plans that were provided with the original building permit (*i.e. a 2,400 SF detached garage with a 1,620 SF carport*), and a *Stop Work Order* was issued by the Building Inspections Department. It should be noted, that at the time the *Stop Work Order* was issued, the Building Inspector noted that the detached garage was built as a secondary guest quarters (*i.e. it incorporated air-conditioned space and plumbing*). Staff should also note that the property owner was unaware that a building permit had not been issued for the structure. Based on these events the Building Inspections Department issued three (3) citations to the contractor (*i.e. the applicant*) on the grounds of failure to comply with the construction standards. The Planning and Zoning Department had recommended that the applicant request approval of the structure as it was built by adhering to the following steps by: [1] that the property be rezoned from an Agricultural (AG) District to a Single-Family One (SF-1) District, and [2] the applicant request a Specific Use Permit (SUP) for an oversized carport and secondary living unit/guest quarters/accessory dwelling unit. On April 6, 2020, the City Council approved *Ordinance No. 20-06* that rezoned the subject property from an AG to SF-1 District, completing step [1]. On April 7, 2020, the applicant submitted an application requesting a SUP in accordance with the Planning and Zoning Department's recommendation, and has provided photos of the proposed structure and nearby structures within the neighborhood. It should be noted that the applicant was allowed to install windows on the proposed structure since the rezoning in order to protect the interior from any weather events.

PURPOSE

On April 7, 2020, the applicant -- *Chris Kehrer* -- submitted an application requesting a Specific Use Permit (SUP) to allow for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* that does not conform to the requirements of the Unified Development Code (UDC). The subject property is zoned Single-Family One (SF-1) District for residential land uses.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 844 Zion Hill Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are single-family homes located within the Zion Hills Subdivision followed by a vacant tract of land. These properties are zoned Agricultural (AG) District with the exception of two (2) of the properties, which are zoned Single Family 1 (SF-1) District. Beyond this is Cornelius Road, which is identified as an M4U (*major collector, four [4] lane, undivided roadway*) according to the City's Master Thoroughfare Plan. This roadway delineates the corporate limits of the City of Rockwall.

South: Directly south of the subject property are single-family homes located within the Zion Hills Subdivision that are zoned Agricultural (AG) District. Beyond the single-family homes is SH-66, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is a single-family home located within the Zion Hills Subdivision followed by FM-3549 [*i.e. N. Stodghill Road*], which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the corporate boundaries of the City of Rockwall. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property are single-family homes located within the Zion Hills Subdivision followed by two (2) landscaping businesses (*i.e. North Texas Lawns & Landscape and Landscape Source*) located along SH-66. These properties are zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

In April of this year, the applicant rezoned the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for the purpose of requesting a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport*. This was the result of the applicant not pulling a building permit prior to constructing an accessory structure. Staff should note that the size of the addition (*i.e. 4,752 SF*) exceeds the size of the primary structure (*i.e. 2,871 SF*); however, the applicant can choose to redesign the structure and integrally attach it to the primary structure through a breezeway, which would alleviate the need for a SUP for the secondary living unit/guest quarters/accessory dwelling unit (a SUP would still be required for the carport). Regardless of how this is remedied, the applicant will be required to submit updated plans to the Building Inspections Department that reflect exactly what was and/or will be constructed on the property.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, the Zion Hills Subdivision was annexed into the City in 2010 and consists of lots that are one (1) acre or greater. Staff should note that the majority of the properties in the Zion Hills Subdivision are still zoned Agricultural (AG) District; however, two (2) properties (*i.e. 825 & 853 Zion Hills Circle*) have been rezoned to Single-Family 1 (SF-1) District. The purpose for rezoning these two (2) properties was to allow the addition of accessory structures on the properties (*i.e. one [1] accessory building by SUP -- 825 Zion Hills Circle; and, one [1] guest quarters/secondary living unit by right -- 853 Zion Hills Circle*).

According to the Subsection 07.04, of Article 05, of the Unified Development Code (UDC), accessory building and accessory structures shall be accessory to a residential use and located on the same lot, and only two (2) accessory structures are permitted per single-family lot, with the exception of carports that are integrated into the main accessory structure. In addition, if there is an existing accessory building greater than 625 SF, no additional accessory buildings or structures are permitted. Should the SUP be approved, this will be the only accessory building allowed on the subject property. In the Single-Family 1 (SF-1) District, an accessory structure is limited to 144 SF and a detached garage limited to 625 SF with a maximum height of 15-feet, without the need to obtain a Specific Use Permit (SUP). Additionally, a carport is limited to 500 SF and a maximum of 15-feet in height. In this case, the applicant is proposing one (1), ~4,812 SF structure that incorporates a living quarters, detached garage, carport, and covered patio that do not conform to the requirements of the Unified Development Code (UDC) and requires approval of a Specific Use Permit (SUP). It should be known that covered porches that are attached to the primary structure are exempt from the size restrictions, but are required to meet the same setbacks as the primary structure. In this case, the covered patio (i.e. 792 SF) is in conformance with the UDC.

STAFF ANALYSIS

When analyzing the applicant's request to allow for the ~4,812 SF *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, staff should note that the existing primary structure equals 2,871 SF under roof, which means that overall the new accessory structure is ~68% greater in size than the existing primary structure. According to the Unified Development Code (UDC), the maximum allowable size for an accessory structure in a Single-Family 1 (SF-1) District is 625 SF for a detached garage, 144 SF for an accessory structure, and 500 SF for a carport without requiring a SUP; however, the applicant is exceeding the size limitation for all of these by incorporating multiple accessory uses into a single building (i.e. a living quarters, detached garage, carport, and covered patio).. Based on the information provided to staff, this requires approval of a Specific Use Permit (SUP) to allow for the accessory structure, secondary living unit/guest quarters/accessory dwelling unit, and carport. Staff should point out that if the applicant had tied in and integrally attached the structure to the primary structure as depicted in the second building permit that had been submitted to the City, the only item requiring a SUP would be the 1,620 SF carport. As a note, if the structure is not integrally tied in with the primary structure, the applicant will be required to submit an application to appear before the Board of Adjustment (BOA) requesting a variance to the ten (10) foot separation requirement between structures. This has been added as a condition of approval of the SUP. With that being said, the approval of this request is a discretionary decision for the City Council, pending a recommendation by the Planning and Zoning Commission.

NOTIFICATIONS

On April 28, 2020, staff notified 29 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) that allows for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - a) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of the draft ordinance.
 - b) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
 - c) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.

- d) The *Carport* shall not be exceed 1,620 SF.
 - e) The accessory structure shall not exceed 4,755 SF in total size.
 - f) No additional accessory structures shall be permitted on the *Subject Property*.
 - g) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
 - h) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.
- (2) Within 60 days of approval of the Specific Use Permit (SUP), the applicant must revised and obtain a building permit from the Building Inspections Department prior to commencing any work on the structure;
- (3) Within 60 days of approval of the Specific Use Permit (SUP), if the applicant does not revise and/or obtain a building permit that integrally tie's in the *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* with the existing primary structure, the applicant will be required to obtain a written order from the Board of Adjustment (BOA) that will allow for the structure to be within the 10-feet of the primary structure as constructed.
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On May 18, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Welch and Thomas dissenting. According to Subsection 02.03(G), *Protest of Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...if such change is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
 Subdivision Zion Hill Lot B Block B
 General Location Hwy 66 & CR 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1 Current Use SF 1 Residential Private
 Proposed Zoning NA Proposed Use Residential Private
 Acreage 1 Acre Lots [Current] Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>David Cheate</u>	<input checked="" type="checkbox"/> Applicant <u>Titan Contractors</u>
Contact Person <u>David Cheate</u>	Contact Person <u>Chris Kehrer</u>
Address <u>844 Zion Hill Circle</u>	Address <u>410 Normandy Ln</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>214-869-3318</u>	Phone <u>214-900-2517</u>
E-Mail <u>Alertdrain@yahoo.com</u>	E-Mail <u>Chris@TitanContractors.net</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

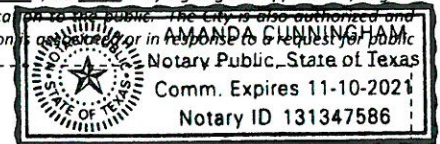
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate


Notary Public in and for the State of Texas

Amanda Cunningham



My Commission Expires 11-10-2021

0 37.5 75 150 225 300 Feet

Z2020-016- SUP FOR 844 ZION HILL CIRCLE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

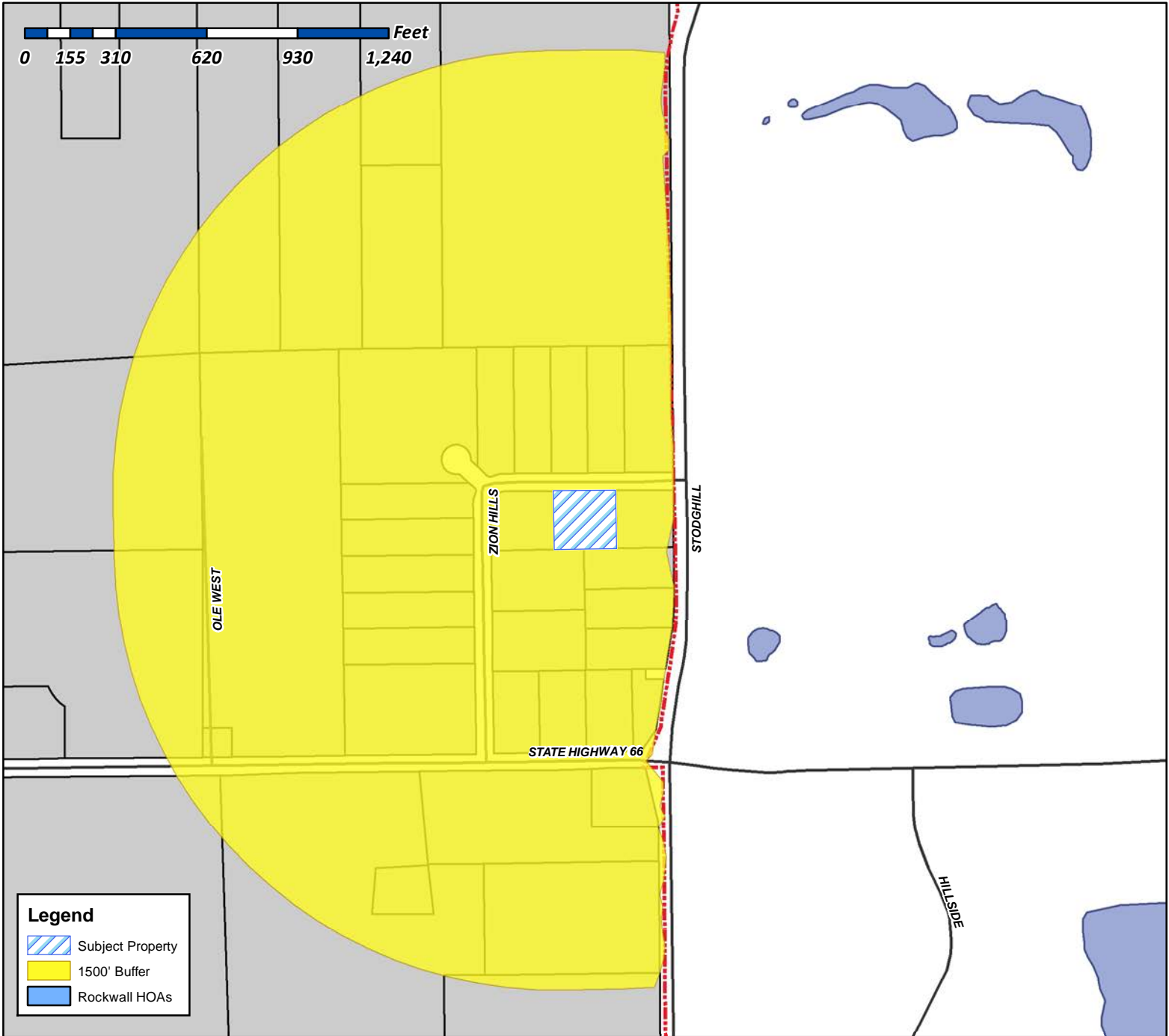




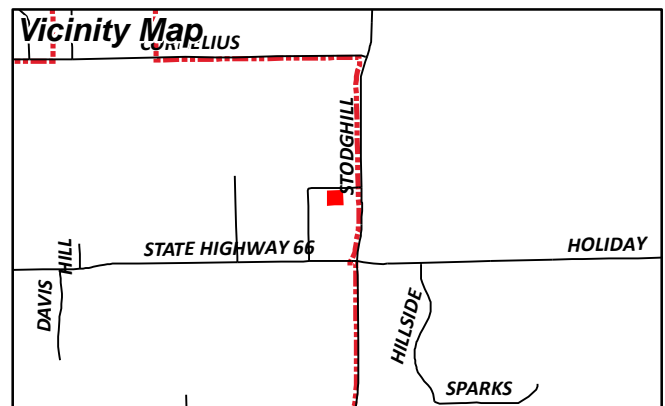
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



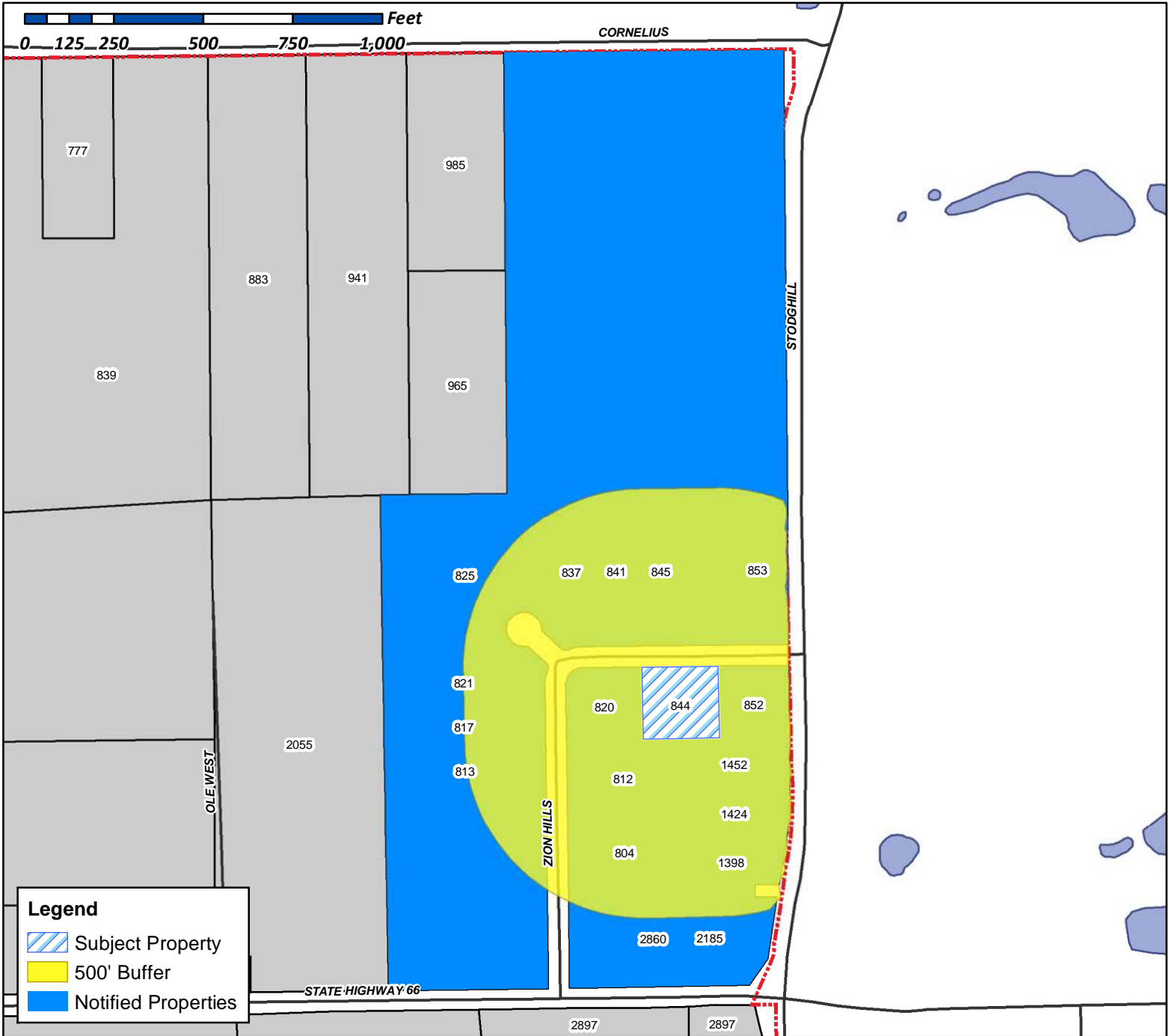
Date Created: 4/20/2020
For Questions on this Case Call (972) 771-7745



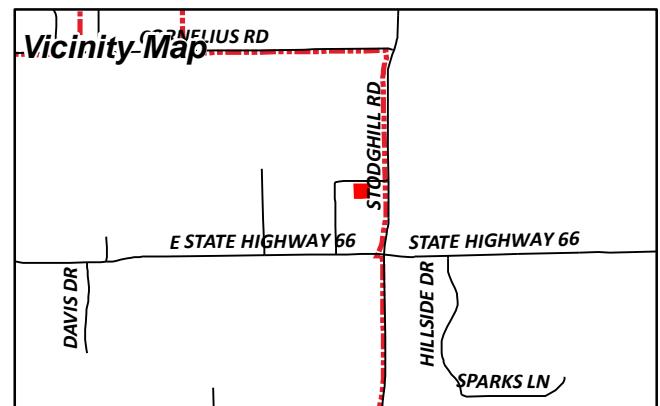
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle



Date Created: 4/20/2020
 For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
1398 FM 3549 STODGHILL #3210
ROCKWALL, TX 75087

WEYGANDT DIANE M AND
MEGAN WOOD
1424 N FM 3549 STODGHILL ROAD
ROCKWALL, TX 75087

BROWN JEFFREY C & LISA
1452 FM 3549 STODGHILL RD
ROCKWALL, TX 75087

VECELLIO FRANCIS
1470 S JOHN KING BLVD #3210
ROCKWALL, TX 75032

CURRENT RESIDENT
2185 WILLIAMS
ROCKWALL, TX 75087

CURRENT RESIDENT
2860 HWY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS
4501 EDMONDSON AVE
DALLAS, TX 75205

LAKE RAY HUBBARD BIBLE CHURCH
INC
801 ZION HILL CIR
ROCKWALL, TX 75087

WHITE CHRISTOPHER AND CLAUDIA
804 ZION HILL CIR
ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A
812 ZION HILL CIR
ROCKWALL, TX 75087

LE THAO THI PHUONG HONG
813 ZION HILL CIR
ROCKWALL, TX 75087

CODY OLIVIA L & STEPHEN H
817 ZION HILL CIR
ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA
820 ZION HILL CIR
ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M
821 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 ZION HILL
ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J
837 ZION HILL CIR
ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL
841 ZION HILL CIR
ROCKWALL, TX 75087

CHOATE DAVID E ET UX
844 ZION HILL CIR
ROCKWALL, TX 75087

AKARD DANNY AND CATHY
845 ZION HILL CIR
ROCKWALL, TX 75087

BROWN DAVID C & LINDA K
852 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
853 ZION HILL
ROCKWALL, TX 75087

WOODY JESSYE JEAN
PO BOX 315
FATE, TX 75132

LAKE RAY HUBBARD CHURCH
PO BOX 698
ROCKWALL, TX 75087

HARLE REUBIN E
PO BOX 912
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be

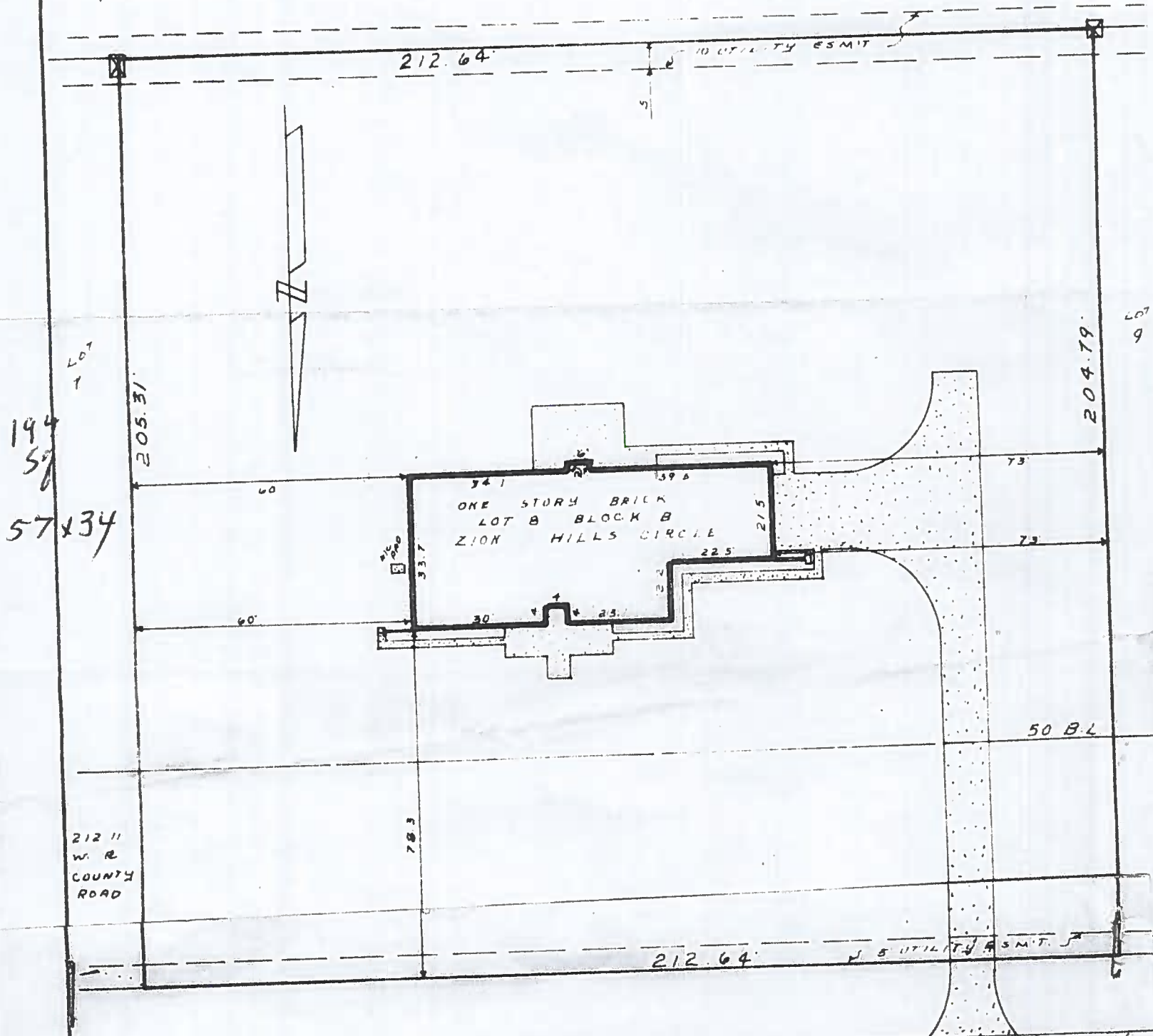
SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. Zion Hills Circle in the City of County of Rockwall, being described

as follows:

Lot No. B, Block No. P, City Block No. _____
of Zion Hill Estates, an addition to the City of County of Rockwall
Texas, according to the Filed plat thereof recorded in Vol. _____, at page 23 of the Plat
Map Deed Records of Rockwall County, Texas



194
59
57x34

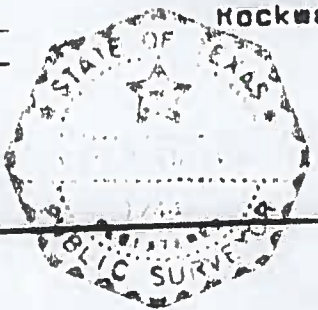
ZION HILLS CIRCLE

The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

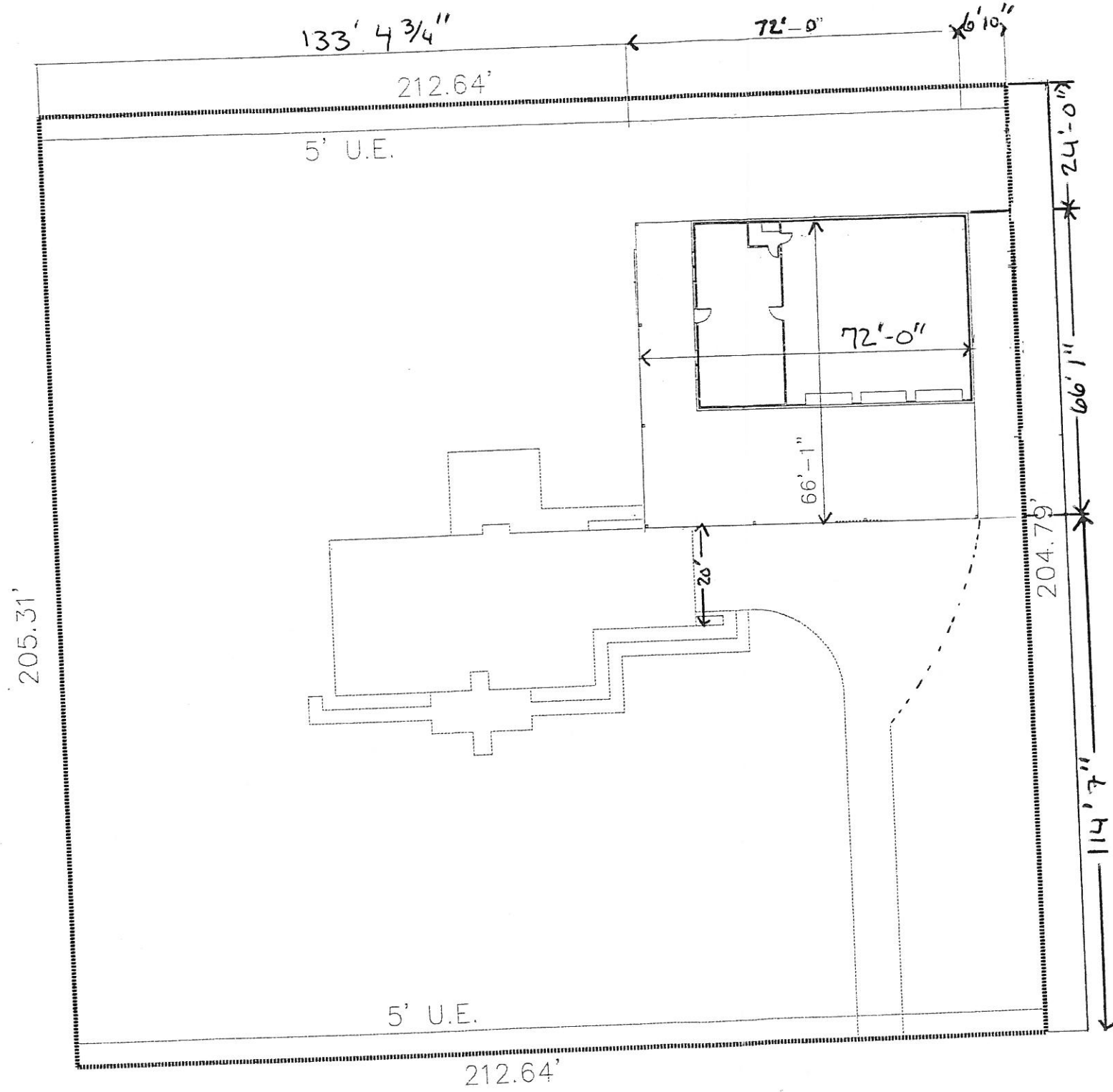
SCALE: 1" = 30'
DATE: 5-10-79
RE-SURVEY: _____

Bob O. Brown Land Surveyor
302 W. 3rd St. Rockwall, Texas 75087
Rockwall 722-3036 Dallas 226-7522



Bob O. Brown
Registered Public Surveyor

DRAWN	CHECKED
AM 15	



ZION HILLS CIRCLE Setbacks

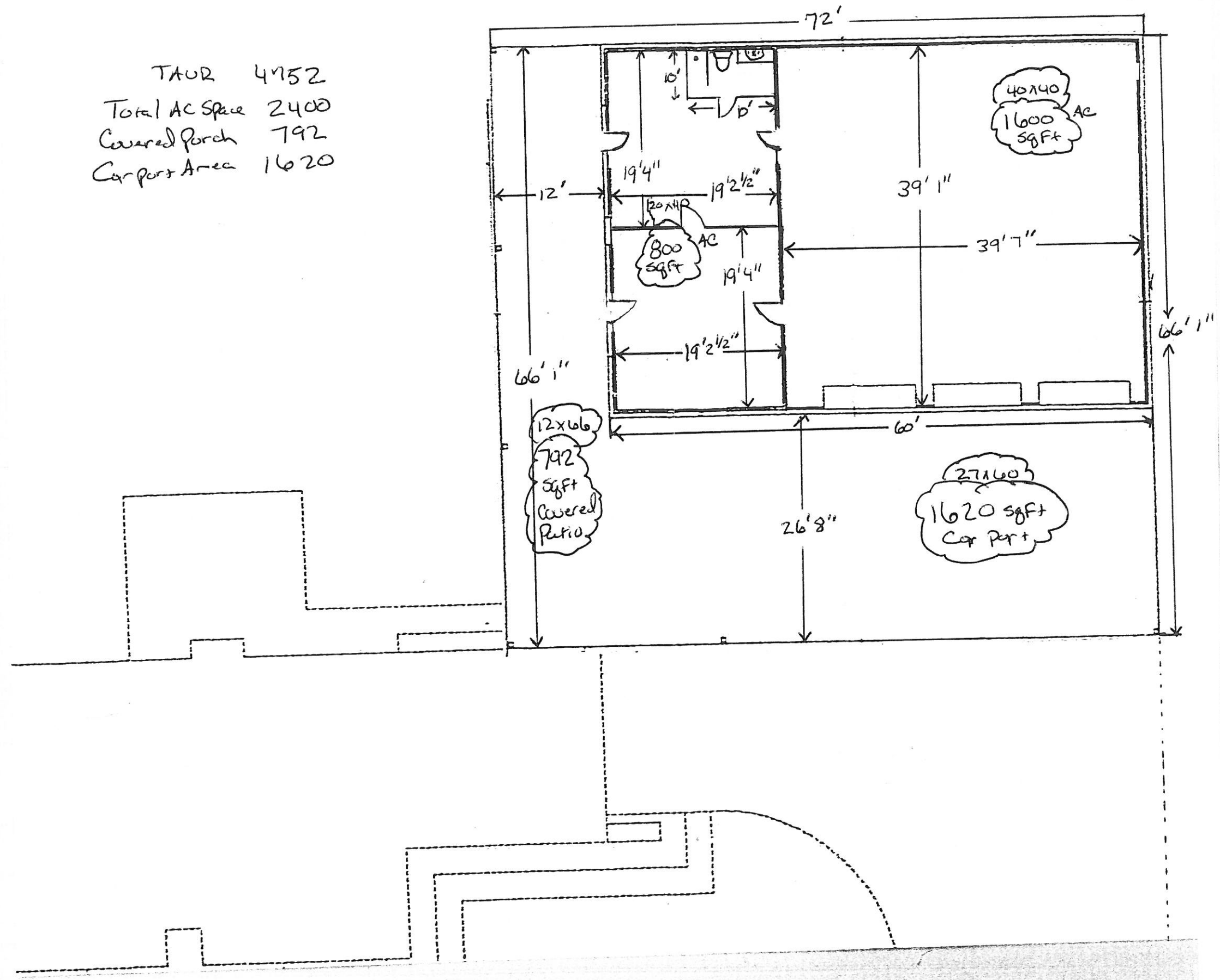
These plans are intended to provide the basic construction information necessary for the construction of the building shown on these plans. It is the responsibility of the contractor to verify all dimensions, elevations, and locations of all utilities and other features shown on these plans. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. All dimensions are shown in feet and inches. All dimensions are to the centerline of the building unless otherwise noted. All dimensions are to the exterior of the building unless otherwise noted. All dimensions are to the finished grade unless otherwise noted. All dimensions are to the centerline of the building unless otherwise noted. All dimensions are to the exterior of the building unless otherwise noted. All dimensions are to the finished grade unless otherwise noted. All dimensions are to the centerline of the building unless otherwise noted.

CENTERLINE
 214-563-3127

A RESIDENCE FOR THE:
 CHOUA-TH:
 LOT 8 / BLOCK 8
 ZION HILLS CIRCLE
 ROCKWALL, TEXAS, TX.

ISSUED DATE	7-29-13
DRAWN BY	CENTERLINE
REVISIONS	
COPYRIGHT	2013

TAUR 4752
 Total AC Space 2400
 Covered Porch 792
 Carport Area 1620



















CITY OF ROCKWALL

ORDINANCE NO. 20-~~XX~~

SPECIFIC USE PERMIT NO. S-2~~XX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT AND CARPORT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Kehrer of Titan Contractors for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport*, as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Section 07, *District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 03.01, *General Residential District Standards*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, with the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on the *Subject Property* and conformance to these conditions is required for continued use of the structure:

- 1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
- 3) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 800 SF.
- 4) The *Carport* shall not be exceed 1,620 SF.
- 5) The accessory structure shall not exceed 4,755 SF in total size.
- 6) No additional accessory structures shall be permitted on the *Subject Property*.
- 7) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- 8) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF JUNE, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Zoning Exhibit

Address: 844 Zion Hill Circle

Legal Description: Lot 8, Block B, Zion Hill Addition

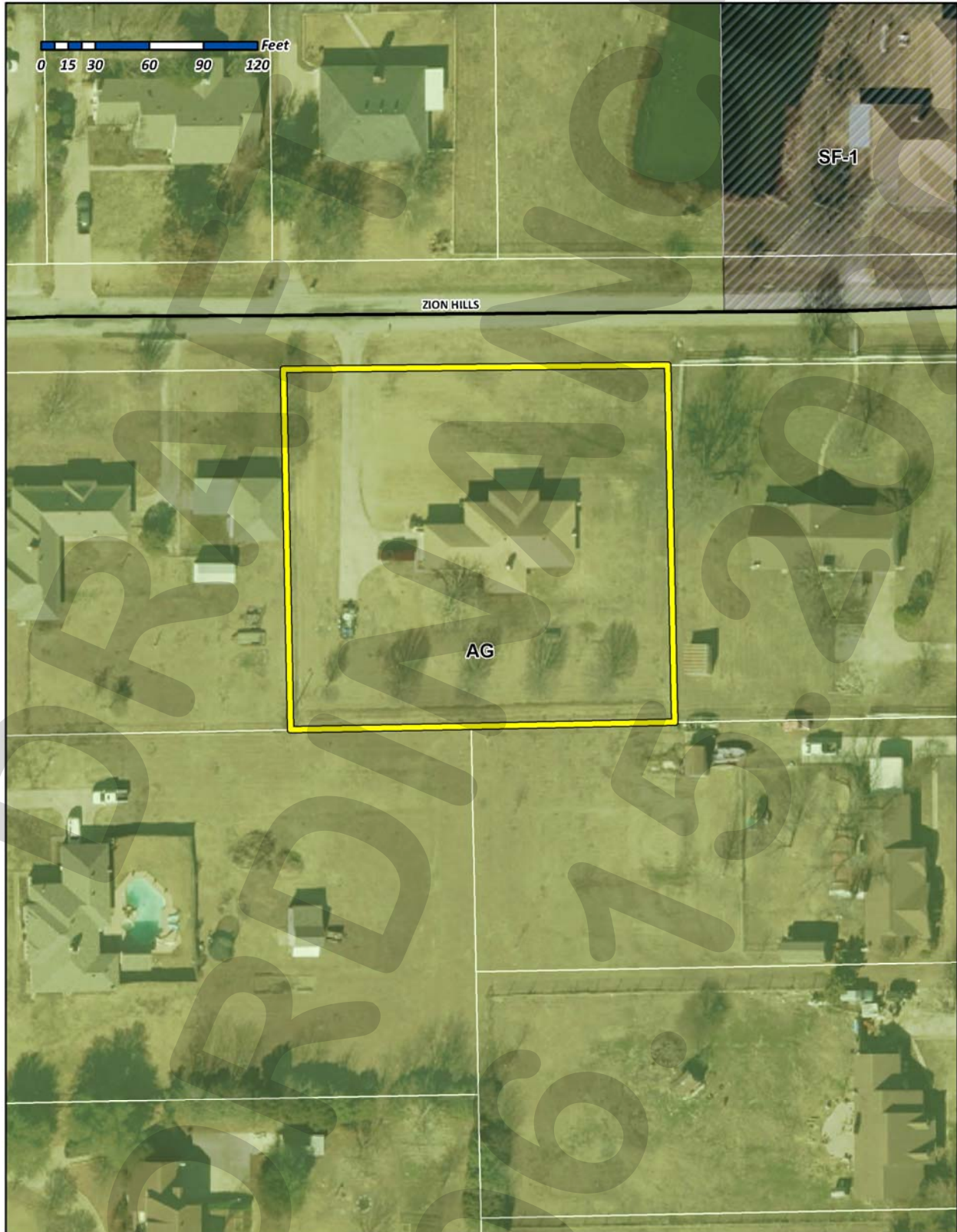
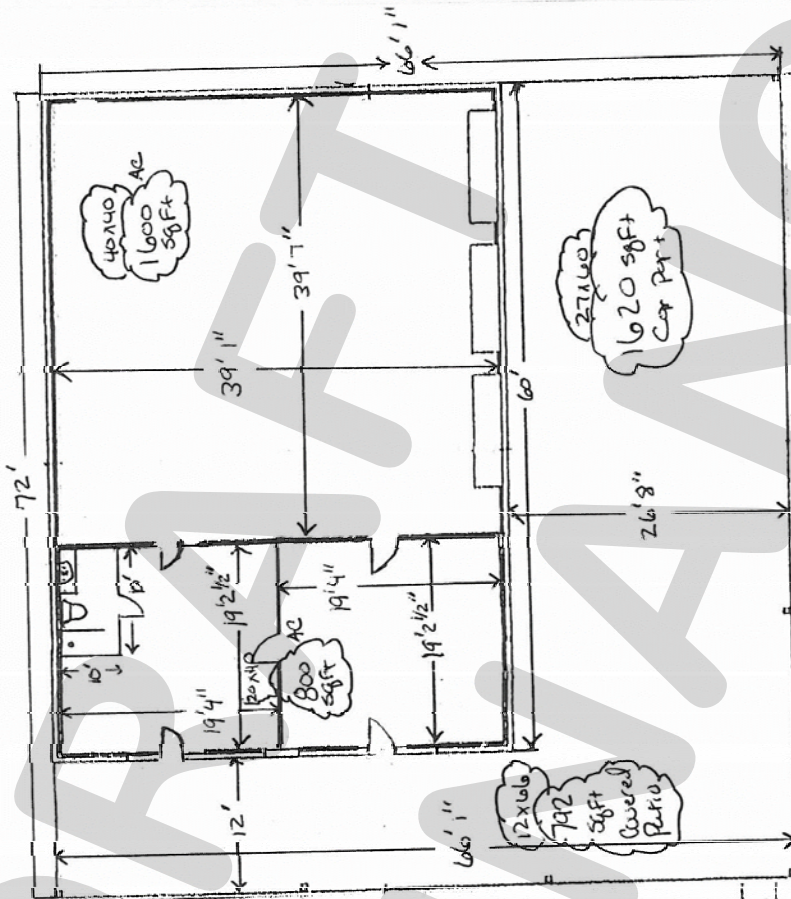


Exhibit 'B'
Site Plan



TAUR 4752
 Total AC Spec 2400
 Covered Porch 742
 Carport Area 1620

Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations



CITY OF ROCKWALL

ORDINANCE NO. 20-21

SPECIFIC USE PERMIT NO. S-223

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *CARPORT* THAT EXCEEDS 500 SQUARE FEET IN AREA FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Kehrer of Titan Contractors for the approval of a Specific Use Permit (SUP) to allow a *Carport* that exceeds 500 square feet in area on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Carport* that exceeds 500 square feet in area, as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Section 07, *District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, with the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Carport* on the *Subject Property* and conformance to these conditions is required for continued use of the structure:

- 1) The *Carport* and addition shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The *Carport* shall not exceed 1,134 SF.
- 3) No additional accessory structures shall be permitted on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

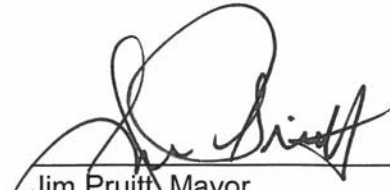
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JULY, 2020.



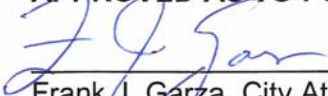
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Zoning Exhibit

Address: 844 Zion Hill Circle

Legal Description: Lot 8, Block B, Zion Hill Addition

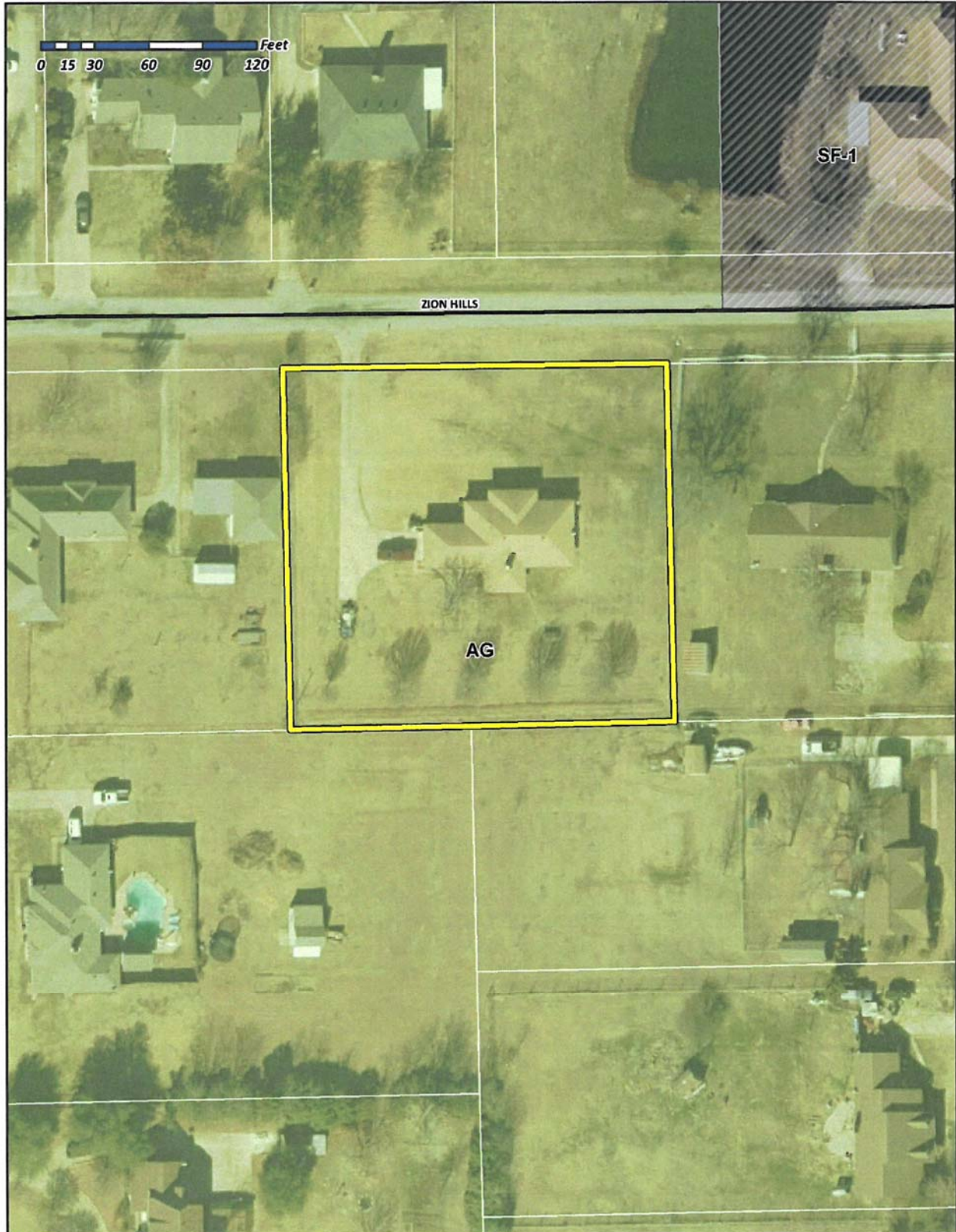
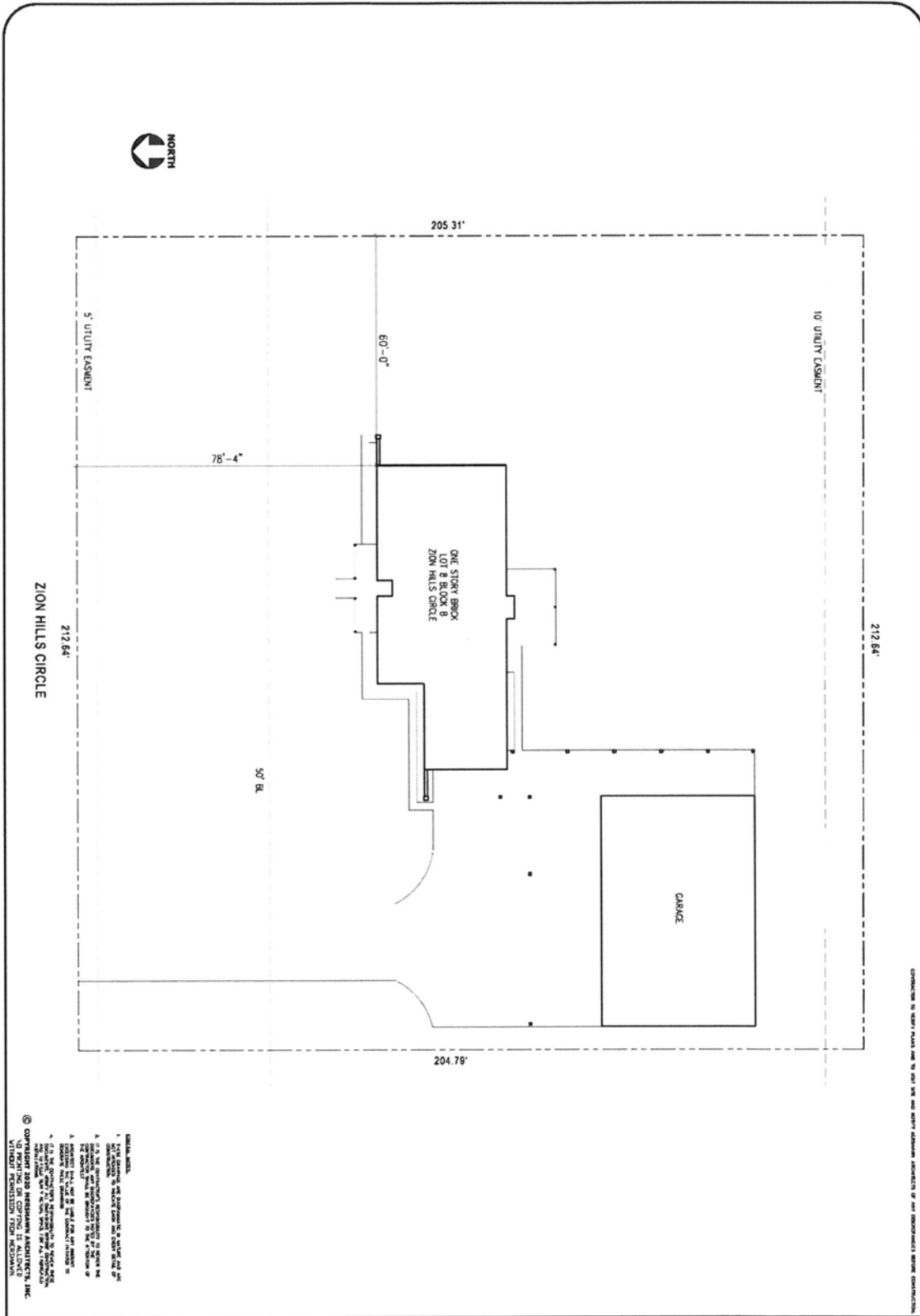


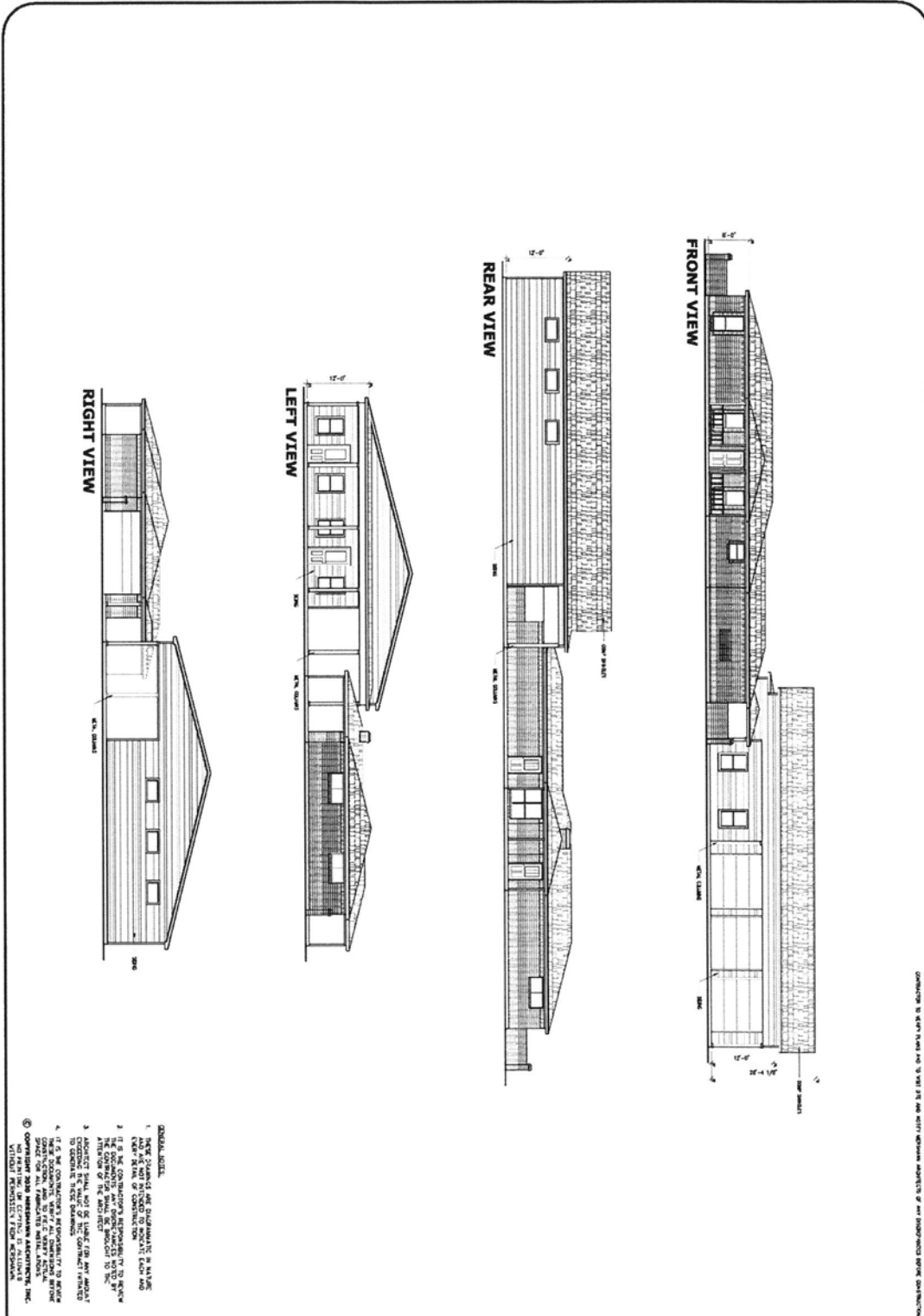
Exhibit 'B'
Site Plan



SHEET A2 OF 8	CHOATE RESIDENCE 840 ZION HILLS CIR. PROPOSED SITE PLAN	MEDICAL COMMERCIAL CHURCHES MERSHAWN ARCHITECTS 1801 E. WINDYBELL BL. ROCKWALL, TEXAS 75087	RESIDENTIAL RESTAURANTS INSTITUTIONAL ARCHITECTS PHONE: 972-702-1701
	DATE: 05/11/08 SCALE: 1/8" = 1'-0" DRAWN BY: [] CHECKED BY: [] APPROVED BY: []	No. Date Revision By	

Exhibit 'C'

Building Elevations



- GENERAL NOTES:**
1. THESE ELEVATIONS ARE SUBMITTED AS A GUIDE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.
 2. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE THE DOCUMENTS AND CONSTRUCTION NOTED BY ATTENTION OF THE ARCHITECT TO THE CLIENT.
 3. ARCHITECT SHALL NOT BE LIABLE FOR ANY DAMAGE TO THE CLIENT'S PROPERTY OR PERSONS OR PROPERTY OF ANY KIND ARISING FROM THE USE OF THESE ELEVATIONS.
 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
- © COPYRIGHT 2020 MERSHAWN ARCHITECTS, INC.
 ALL RIGHTS RESERVED. ALL RIGHTS RESERVED.

AG 8	CHOATE RESIDENCE 840 ZION HILLS CIR. PROPOSED ELEVATIONS	Date: _____ Revised: _____ By: _____	MEDICAL COMMERCIAL CHURCHES MERSHAWN ARCHITECTS <small>1100 E. WINTERVILLE RD. ROCKWALL, TEXAS 75087</small> RESIDENTIAL RESTAURANTS INSTITUTIONAL ARCHITECTS <small>PHONE: 469-761-1700</small>
-----------------------	---	--	---



August 7, 2020

TO: Titan Contractors
Chris Kehrer
410 Normandy Lane
Heath, TX 75032

CC: David Choate
844 Zion Hill Circle
Rockwall, TX 75087

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2020-016; *SUP for a Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport*

Chris Kehrer:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 6, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) that allows for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - a) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of the draft ordinance.
 - b) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
 - c) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.
 - d) The *Carport* shall not be exceed 1,620 SF.
 - e) The accessory structure shall not exceed 4,755 SF in total size.
 - f) No additional accessory structures shall be permitted on the *Subject Property*.
 - g) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
 - h) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.
- (2) Within 60 days of approval of the Specific Use Permit (SUP), the applicant must revised and obtain a building permit from the Building Inspections Department prior to commencing any work on the structure;

- (3) Within 60 days of approval of the Specific Use Permit (SUP), if the applicant does not revise and/or obtain a building permit that integrally tie's in the *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* with the existing primary structure, the applicant will be required to obtain a written order from the Board of Adjustment (BOA) that will allow for the structure to be within the 10-feet of the primary structure as constructed.
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On May 18, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Welch and Thomas dissenting. According to Subsection 02.03(G), *Protest of Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...if such change is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

City Council

On May 18, 2020, the City Council approved a motion to table the applicant's request to the June 15, 2020 meeting by a vote of 6-0, with one (1) seat vacant.].

On June 15, 2020, the City Council approved the applicant's request for the carport as was built with the condition that the structure be reviewed by staff to confirm it has been be integrated architecturally. The motion passed by a vote 7-0. [1st Reading].

On July 6, 2020, the City Council approved the applicant's request by a vote 6-0, with Council Member Pruitt absent. [2nd Reading].

Included with this letter is a copy of Ordinance No. 20-21, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

David Gonzales, AICP
Planning and Zoning Manager