



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-012 P&Z DATE 01/14/20 CC DATE 05/04/20 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-012
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
 Master Plat (\$100.00 + \$15.00 Acre)¹
 Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 Final Plat (\$300.00 + \$20.00 Acre)¹
 Replat (\$300.00 + \$20.00 Acre)¹
 Amending or Minor Plat (\$150.00)
 Plat Reinstatement Request (\$100.00)
Site Plan Application Fees:
 Site Plan (\$250.00 + \$20.00 Acre)¹
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:
 Zoning Change (\$200.00 + \$15.00 Acre)¹
 Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 PD Development Plans (\$200.00 + \$15.00 Acre)¹
Other Application Fees:
 Tree Removal (\$75.00)
 Variance Request (\$100.00)
Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 706 Sherman St. Rockwall, TX. 75087

Subdivision

Lot 4 Block 111

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner VARTAN JIZMEJIAN

Applicant RICHARD EXPO

Contact Person

Contact Person

Address 33171 ELISA DR

Address

1536 Timber Ridge Dr.

City, State & Zip DANA POINT, CA. 92629

City, State & Zip Rockwall, TX. 75032

Phone 949-412-4452

Phone 972-400-8047

E-Mail

E-Mail RICHARDEXPO@HOTMAIL.COM

NOTARY VERIFICATION [REQUIRED]

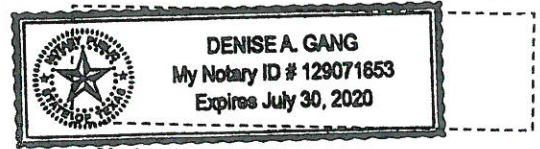
Before me, the undersigned authority, on this day personally appeared Vartan Jizmejian [owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature

[Signature]



My Commission Expires

Notary Public in and for the State of Texas

DECLARATION OF REPRESENTATIVE

<u>Property Owner(s) Name(s) as it appears on the Change of Value Notice</u> Vartan Jizmejian
<u>Property Owner's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 33171 Elisa Dr. Dana Point CA 92629
<u>Property Owner's Telephone Number</u> (949) 412-4452

hereby appoints the following individual, corporation, limited liability company, organization, firm or partnership

<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
<u>If applicable, provide Corporation, Limited Liability Company, Organization, Firm or Partnership Name</u> <p style="text-align: center;">Richard Expo</p>
<u>Representative's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 1536 Timber Ridge Dr. Rocwall. Tx 75087
<u>Representative's Telephone Number</u> (972) 400-8047

To represent the above named property owner before the State Board of Tax Appeals pursuant to the Board's rules and regulations for property located in 3005 preston ct. Rockwall County for the TX. 2015 tax year(s).

<u>Signature of Property Owner</u> <u><i>Vjizmejian</i></u>	<u>March 30/2015</u> Date
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> Printed Name	<u>Builder</u> Title



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745
Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/20/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/26/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/26/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 4/14/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2020-012
Project Name: SUP for 706 Sherman St.
Project Type: ZONING
Applicant Name: RICHARD EXPO RYSZARD
Owner Name: VARTAN JIZMEJIAN
Project Description:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

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PLANNING & ZONING CASE NO. 22020-012
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City, State & Zip Rockwall, TX. 75032

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Phone 972-400-8047

E-Mail

E-Mail RICHARDEXPO@HOTMAIL.COM

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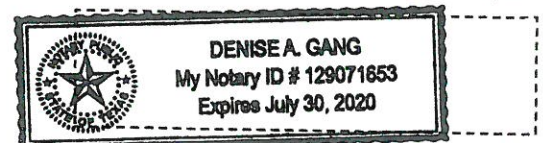
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Owner's Signature

[Signature]



My Commission Expires

Notary Public in and for the State of Texas

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<u>Property Owner's Telephone Number</u> (949) 412-4452

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<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
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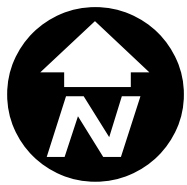
<u>Signature of Property Owner</u> <u><i>Vjizmejian</i></u>	<u>March 30/2015</u> <u>Date</u>
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> <u>Printed Name</u>	<u>Builder</u> <u>Title</u>



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

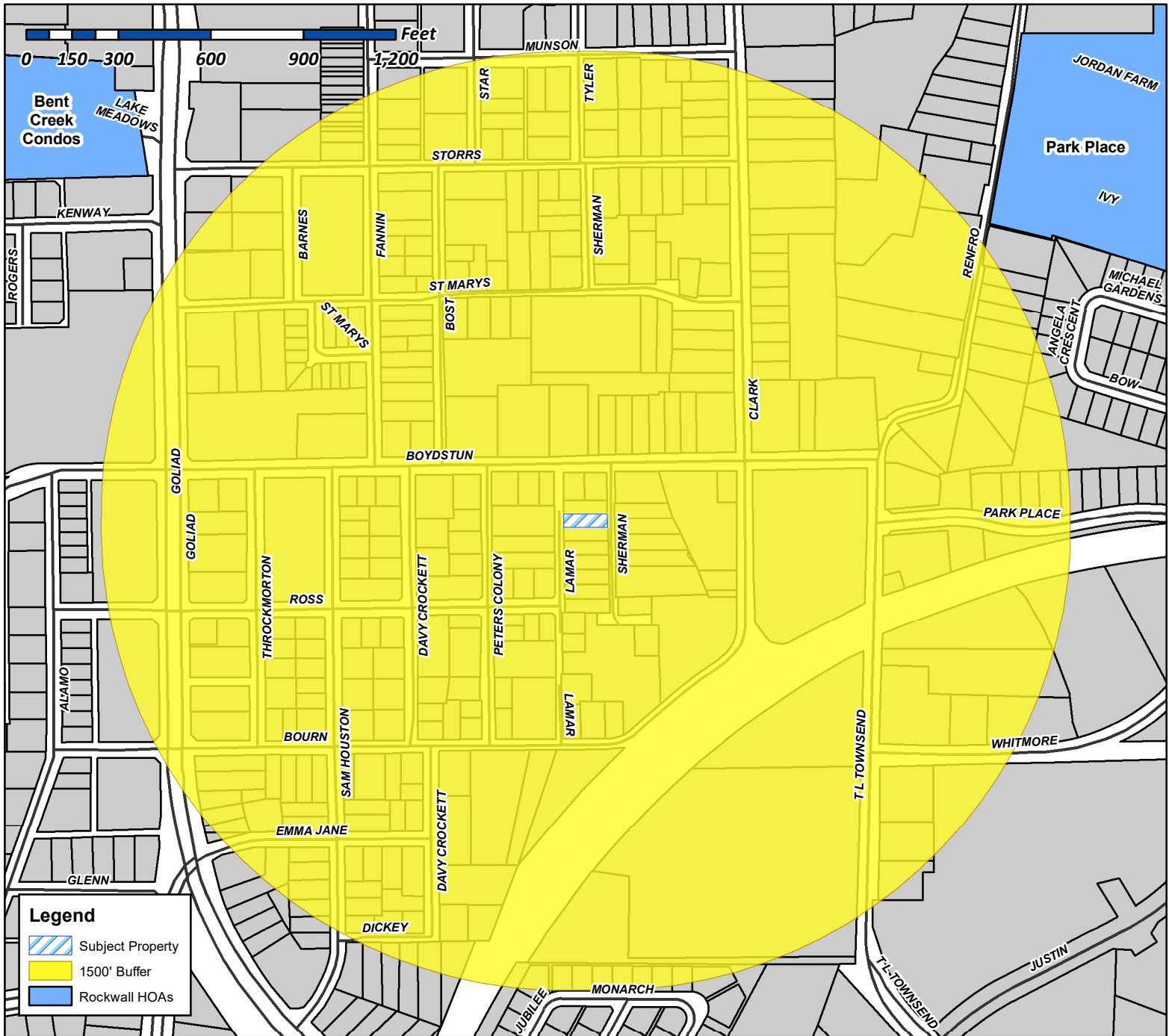




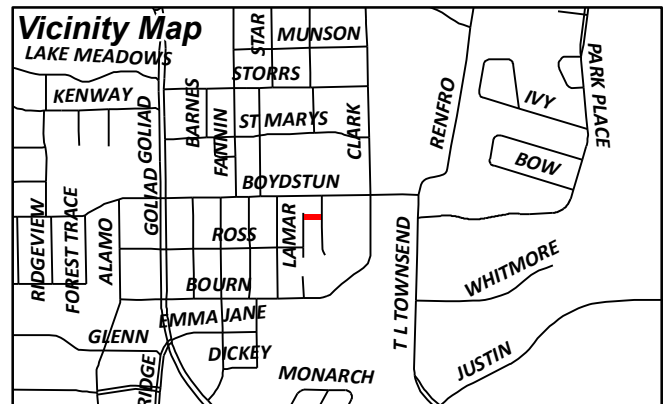
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman St.
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



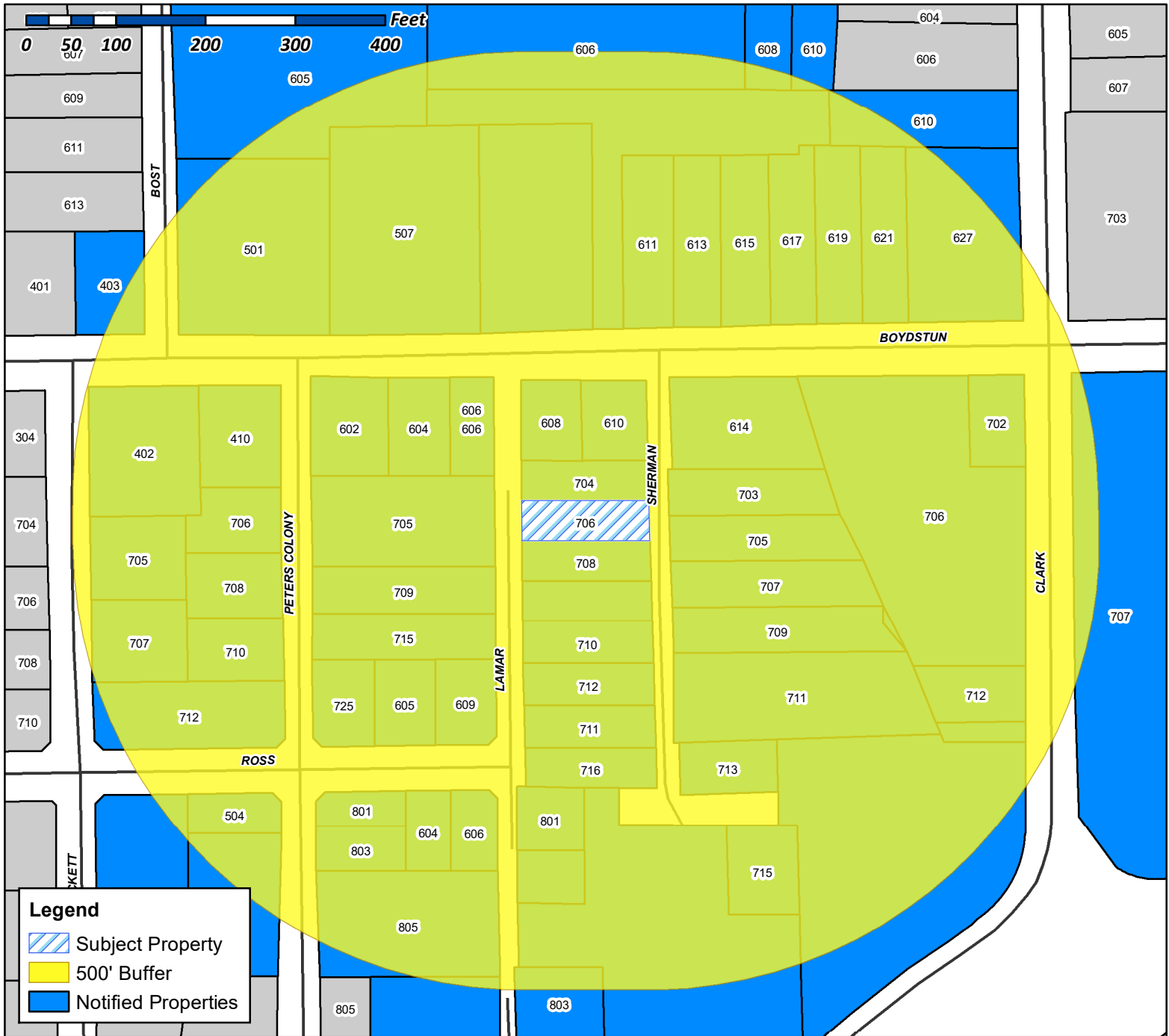
Date Created: 3/24/2020
 For Questions on this Case Call (972) 771-7745



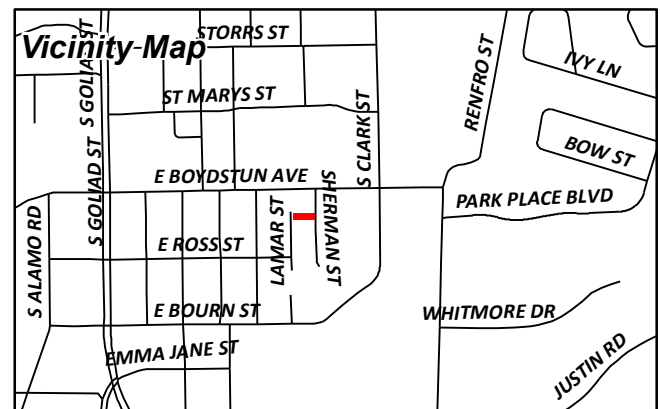
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
709 N SHERMAN
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC
2289 CR 643
NEVADA, TX 75173

OSORNIO JEANNIFFER AND
NOHEMA ESTRADA MACHARIGUE
2307 WHITE ROAD
HEATH, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

KATELY CHARLES LEE & THELMA S
309 ANDERSON ST
OAKDALE, LA 71463

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
3314 ANNA CADE RD
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
403EBOYDSTUN
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
504 ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
507EBOYDSTUN
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D
605 E ROSS STREET
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
606 ROSS
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
608 ST MARYS
ROCKWALL, TX 75087

CURRENT RESIDENT
608EBOYDSTUN
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610SCLARK
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
611EBOYDSTUN
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

CURRENT RESIDENT
617EBOYDSTUN
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
621 BOYDSTUNAVE
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

CURRENT RESIDENT
627EBOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
702SCLARK
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
706 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
706SCLARK
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707SCLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
708 SHERMAN
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
712 CLARK
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
712 SHERMAN
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
715 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
716 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

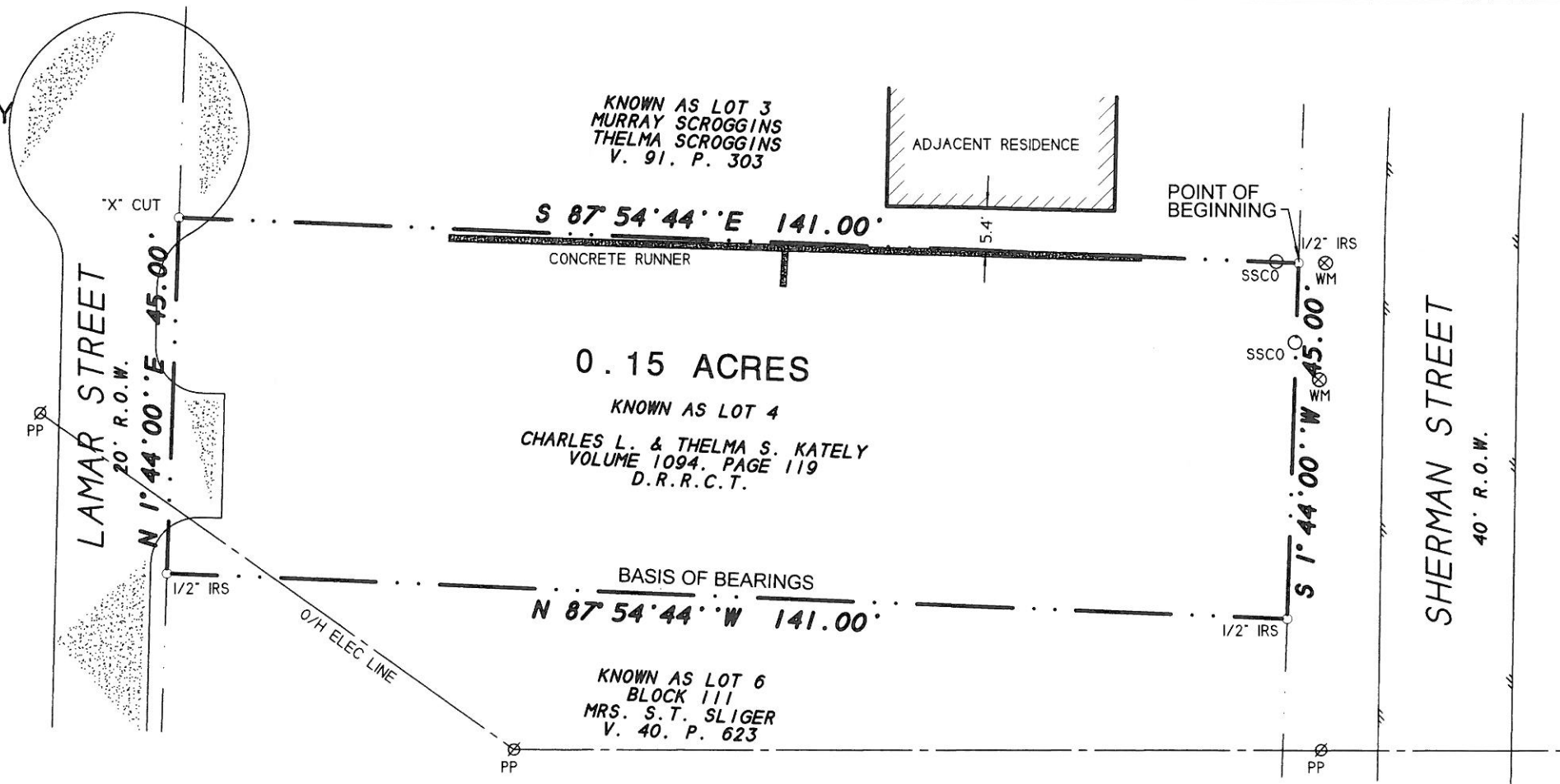
ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC
900 HEATHLAND CROSSING
HEATH, TX 75032

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being all of a tract of land known as Lot 4, Block 111, as described in a Warranty deed from Tom Bieger to Charles Lee Kately and Thelma S. Kately, dated February 29, 1996 and being recorded in Volume 1094, Page 119 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Sherman Street (40' R.O.W.) at the Northeast corner of said Kately tract and being at the Southeast corner of Lot 3, Block 111 as described in a Warranty deed from James Brown and Lavesta Lee Brown to Murray Scroggins and Thelma Scroggins, dated April 1, 1970 and being recorded in Volume 91, Page 303 of the Real Estate Records of Rockwall County, Texas;

THENCE S. 01 deg. 44 min. 00 sec. W. along said right-of-way line, a distance of 45.00 feet to a 1/2" iron rod found for corner at the Southeast corner of said Kately tract;

THENCE N. 87 deg. 54 min. 44 sec. W. a distance of 141.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the east line of Lamar Street (20' R.O.W.);

THENCE N. 01 deg. 44 min. 00 sec. E. along said right-of-way line, a distance of 45.00 feet to an "X" cut for corner at the Southwest corner of said Lot 3 and the Northwest corner of said Kately tract;

THENCE S. 87 deg. 54 min. 44 sec. E. along the common line between said Lot 3 and Kately tract, a distance of 141.00 feet to the POINT OF BEGINNING and containing 0.15 acres of land.

SURVEY ACCEPTED BY:

DATE _____

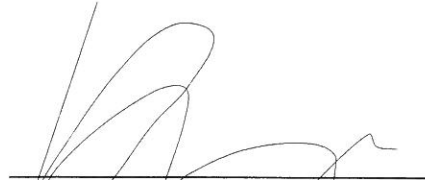
DATE _____

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT VOL. 40, PG. 148, D.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Charles L. and Thelma S. Kately at 706 Sherman Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of November, 2019.


Harold D. Fetty III, R.P.L.S. No. 5034

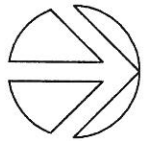


SYMBOL LEGEND				
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
ELECTRIC METER	ELECTRIC BOX	WATER METER	LIGHT POLE	
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

2020-012

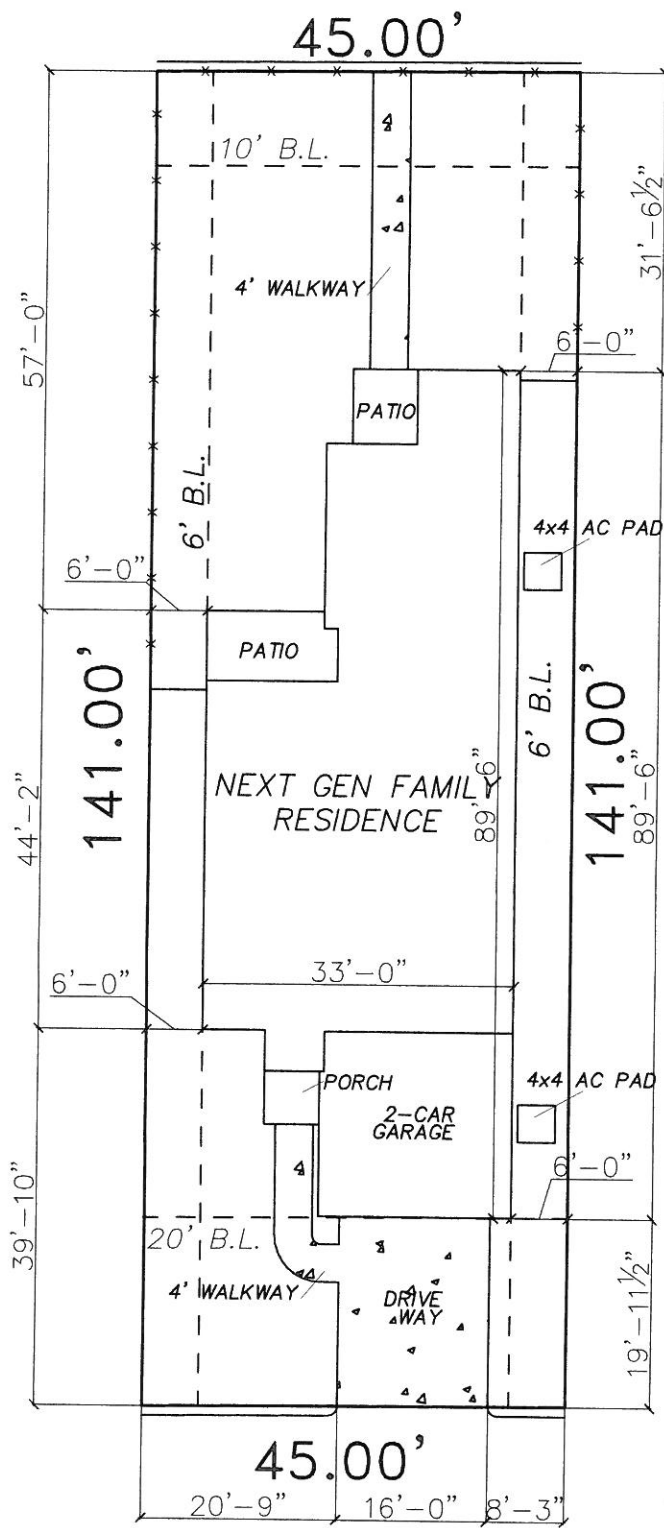
H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 18, 2019
SCALE 1" = 20' FILE # 20190380
CLIENT KATELY GF # NONE



NORTH
SCALE: 1' = 20'-0"

LAMAR STREET



SHERMAN STREET

22020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

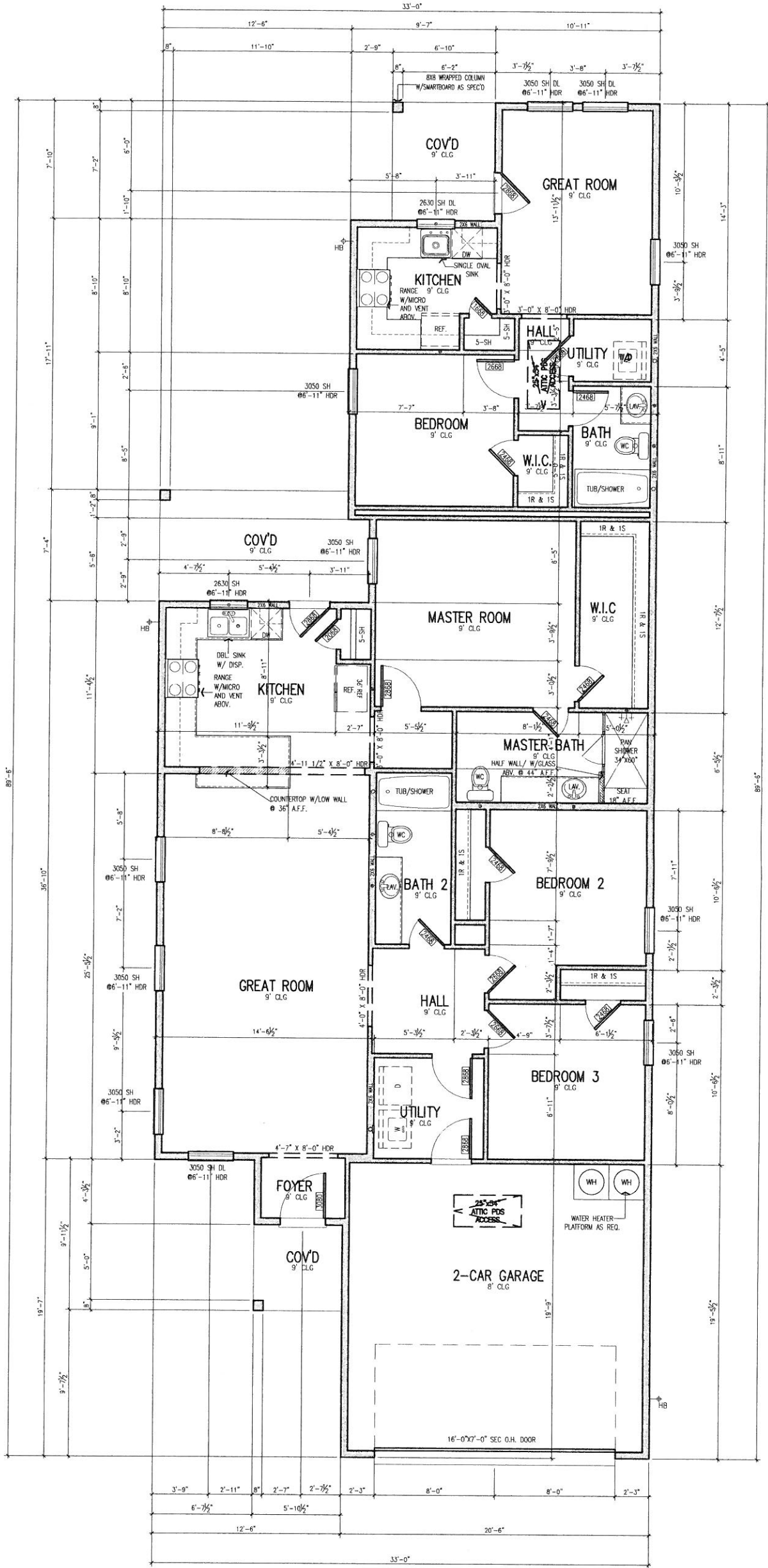
DATE: _____

NOTES:

LEGEND	→ - DRAINAGE FLOW	B.L. - BUILDING LINE
	-x-x- - PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
—○— - EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
▨ - CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
▩ - RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
⊙ - REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
⬢ - REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	⬢ - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20	 DDS GROUP PLOT PLAN
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A	
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL	
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	<small>NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.</small>	

AREA CALCULATIONS_1803A				
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY	
First Floor	1839	SQ. FT.	1745	SQ. FT.
Second Floor	0	SQ. FT.	0	SQ. FT.
Total Living Area	1,839	SQ. FT.	1,745	SQ. FT.
1-Car Garage	0	SQ. FT.	0	SQ. FT.
2-Car Garage	398	SQ. FT.	373	SQ. FT.
3-Car Garage	0	SQ. FT.	0	SQ. FT.
Total Garage Area	398	SQ. FT.	373	SQ. FT.
Covered Porch	0	SQ. FT.	33	SQ. FT.
Covered Patio	0	SQ. FT.	153	SQ. FT.
Covered Balcony	0	SQ. FT.	0	SQ. FT.
Total Covered Porch/Patio Area	0	SQ. FT.	186	SQ. FT.
Total Slab Area			2,304	SQ. FT.
Total Under Floor			2,304	SQ. FT.
Total Interior Frame	2,237	SQ. FT.		
Total Exterior Frame				
Overall Width = 39'-11"			Overall Depth = 61'-6"	

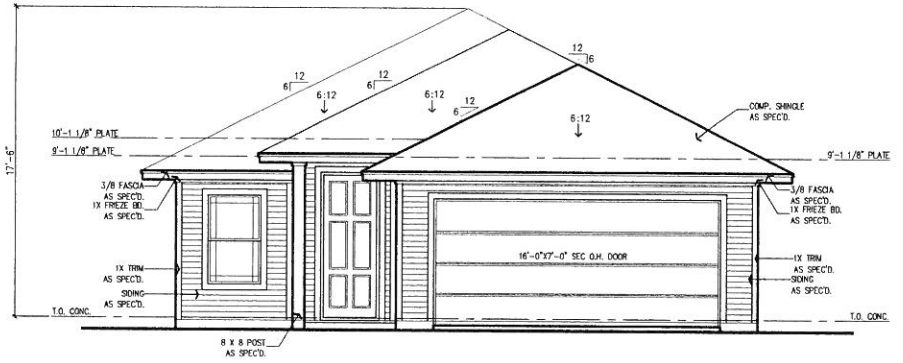


1 ELEVATION A
FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

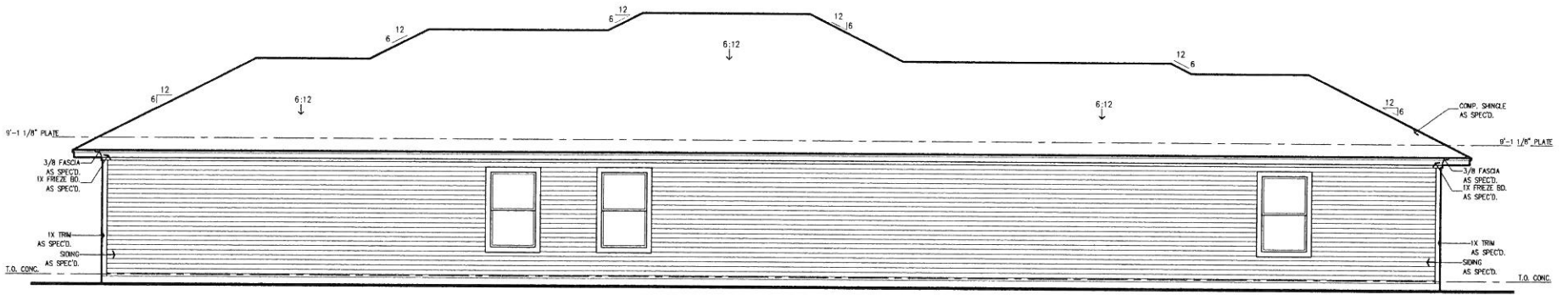
Z 2020-012

SHEET NO. A1 OF 15	ISSUED FOR REVIEW 02/06/2020	REVISIONS:	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR: DESIGN & DRAFTING GROUP SERVICES ADDRESS: 132 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	
			ELEVATION-A GARAGE: FRONT ENTRY		

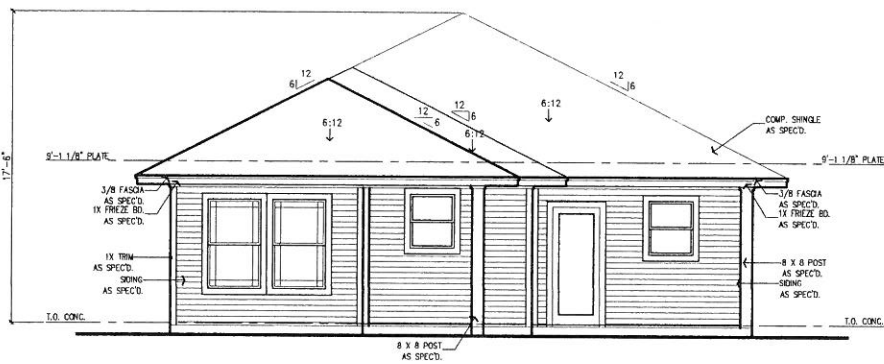
MATERIAL AREA TABULATIONS										
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL
Front Elevation	0	S.F.	0.00%	0	S.F.	0.00%	64	S.F.	100.00%	64 S.F.
Right Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	622	S.F.	100.00%	622 S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	133	S.F.	100.00%	133 S.F.
Left Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	532	S.F.	100.00%	532 S.F.
Total Area	0	S.F.		0	S.F.		1,351	S.F.		1,351 S.F.
Total Brick Area							0	S.F.		0.00%
Total Stone Area							0	S.F.		0.00%
Total Siding Area							1,351	S.F.		100.00%
Overall Width = 39'-11"					Overall Depth = 61'-6"					



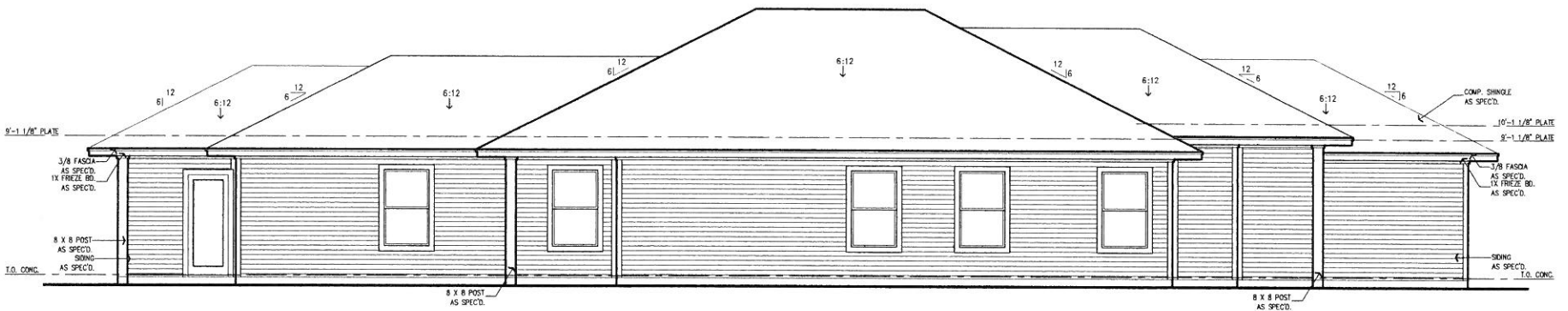
1 ELEVATION A
A3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION A
A3 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION A
A3 REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4 ELEVATION A
A3 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO.
A3
OF
15

LULLAM CUSTOM HOMES 2017
DRAWN BY:
DDSG-AA
ISSUED FOR REVIEW
02/06/2020

REVISIONS:

DESIGN PLAN NUMBER:
N/S
ELEVATION-A
GARAGE: FRONT ENTRY

NEW RESIDENCE FOR:
DESIGN & DRAFTING GROUP SERVICES
ADDRESS: 132 E. MAIN STREET
SUITE 202
GRAND PRAIRIE, TX 75050



4/8/2020

City of Rockwall Project Plan Review History



Project Number Z2020-012	Owner VARTAN JIZMEJIAN	Applied 3/20/2020 AG
Project Name SUP for 706 Sherman Street	Applicant RICHARD EXPO RYSZARD	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status Staff Review		Status

Site Address 706 SHERMAN	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision B F BOYDSTON	Tract 4	Block 111	Lot No 4	Parcel No 3140-0111-0004-00-OR	General Plan
------------------------------------	-------------------	---------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	See Notes
(3/26/2020 2:17 PM SJ) I - The culvert under the driveway will need to be engineered with the building permit. Your engineer must analyze the drainage area, drainage calculations, and the culvert sizing calculations. I - This property may also need a sewer tap that can be done with the building permit.							
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-012; SUP for Detached Garage Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ryszard M Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay(SRO) District, addressed as 706 Sherman Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.						
I.7 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18th, 2020.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-012
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
 Master Plat (\$100.00 + \$15.00 Acre)¹
 Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 Final Plat (\$300.00 + \$20.00 Acre)¹
 Replat (\$300.00 + \$20.00 Acre)¹
 Amending or Minor Plat (\$150.00)
 Plat Reinstatement Request (\$100.00)
Site Plan Application Fees:
 Site Plan (\$250.00 + \$20.00 Acre)¹
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:
 Zoning Change (\$200.00 + \$15.00 Acre)¹
 Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 PD Development Plans (\$200.00 + \$15.00 Acre)¹
Other Application Fees:
 Tree Removal (\$75.00)
 Variance Request (\$100.00)
Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 706 Sherman St. Rockwall, TX. 75087

Subdivision

Lot 4 Block 111

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner VARTAN JIZMEJIAN

Applicant RICHARD EXPO

Contact Person

Contact Person

Address 33171 ELISA DR

Address

1536 Timber Ridge Dr.

City, State & Zip DANA POINT, CA. 92629

City, State & Zip Rockwall, TX. 75032

Phone 949-412-4452

Phone 972-400-8047

E-Mail

E-Mail RICHARDEXPO@HOTMAIL.COM

NOTARY VERIFICATION [REQUIRED]

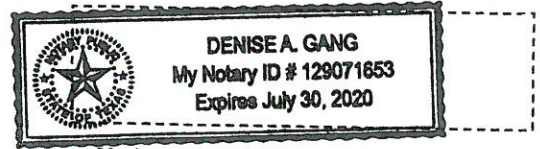
Before me, the undersigned authority, on this day personally appeared Vartan Jizmejian [owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature

[Signature]



My Commission Expires

Notary Public in and for the State of Texas

DECLARATION OF REPRESENTATIVE

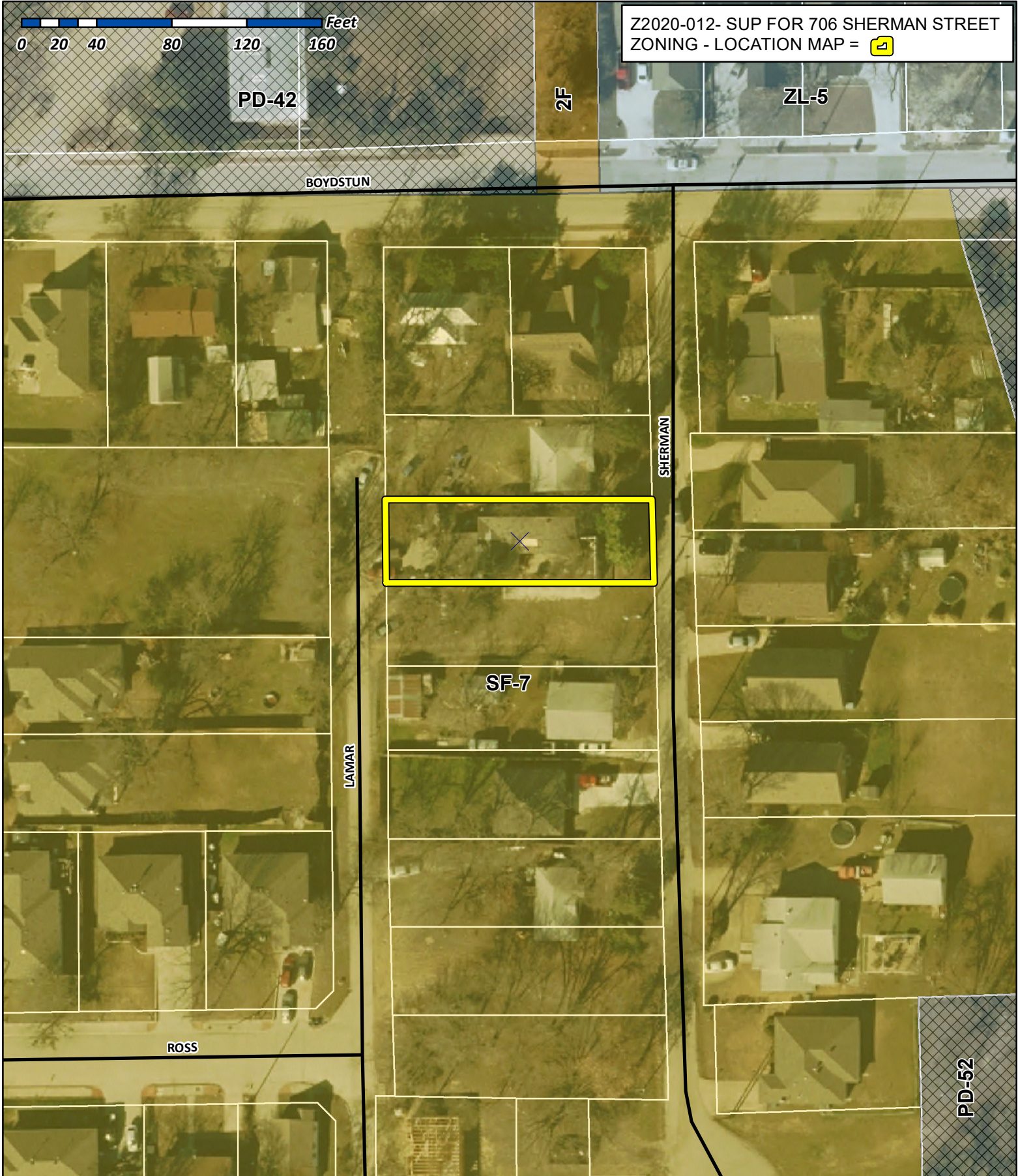
<u>Property Owner(s) Name(s) as it appears on the Change of Value Notice</u> Vartan Jizmejian
<u>Property Owner's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 33171 Elisa Dr. Dana Point CA 92629
<u>Property Owner's Telephone Number</u> (949) 412-4452

hereby appoints the following individual, corporation, limited liability company, organization, firm or partnership

<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
<u>If applicable, provide Corporation, Limited Liability Company, Organization, Firm or Partnership Name</u> <p style="text-align: center;">Richard Expo</p>
<u>Representative's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 1536 Timber Ridge Dr. Rocwall. Tx 75087
<u>Representative's Telephone Number</u> (972) 400-8047

To represent the above named property owner before the State Board of Tax Appeals pursuant to the Board's rules and regulations for property located in 3005 preston ct. Rockwall County for the TX. 2015 tax year(s).

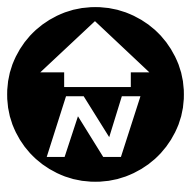
<u>Signature of Property Owner</u> <u><i>Vjizmejian</i></u>	<u>March 30/2015</u> Date
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> Printed Name	<u>Builder</u> Title



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

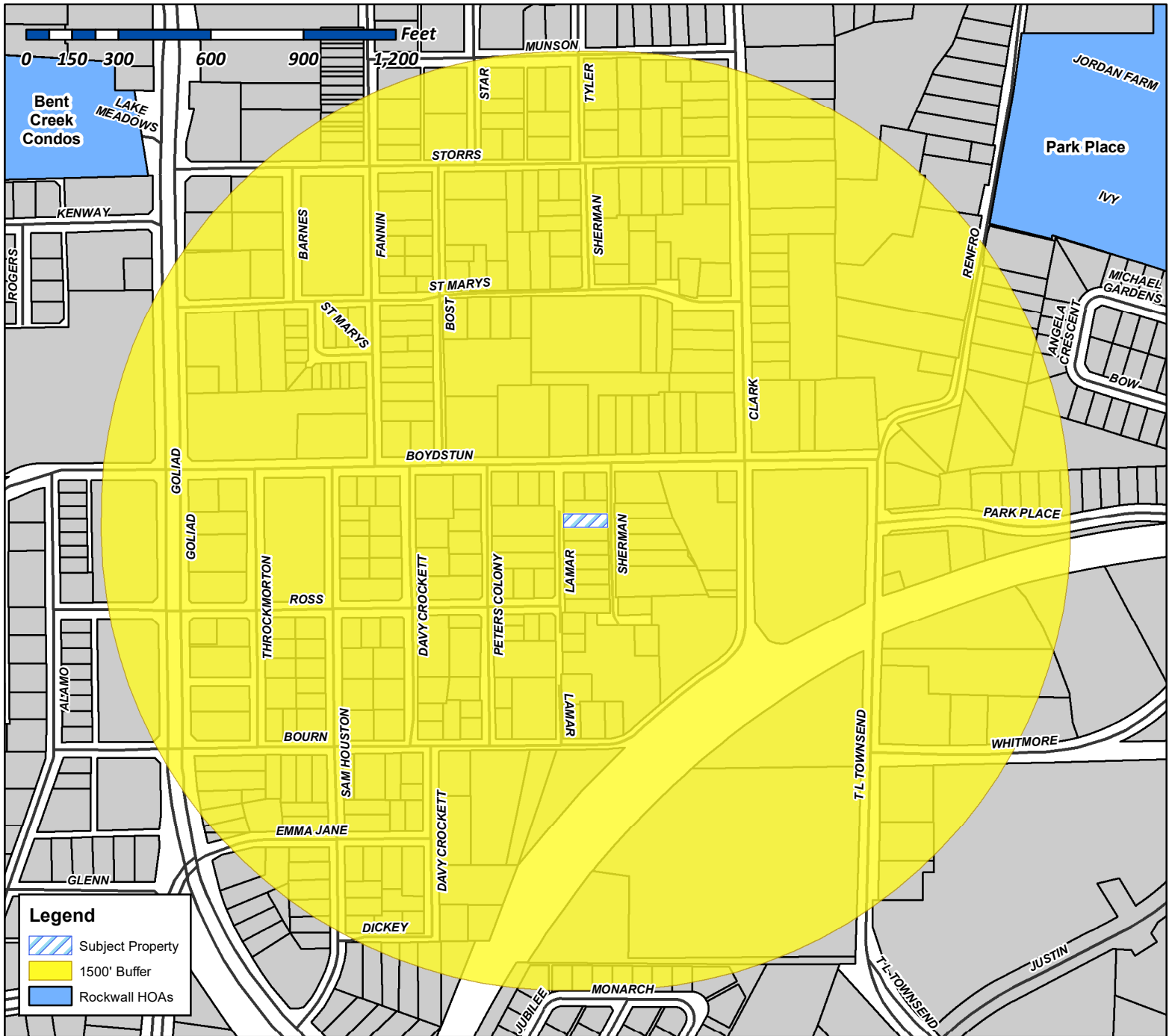




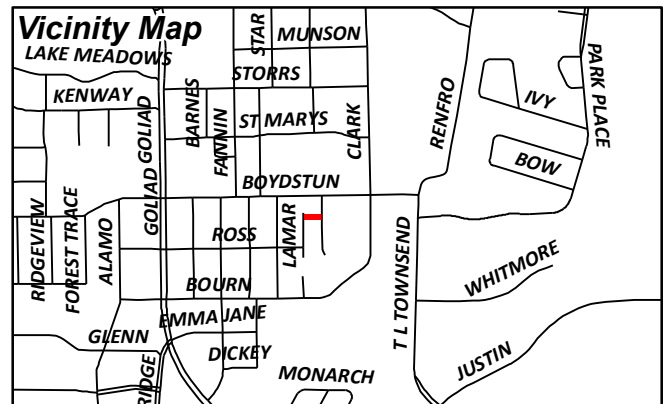
City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman St.
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



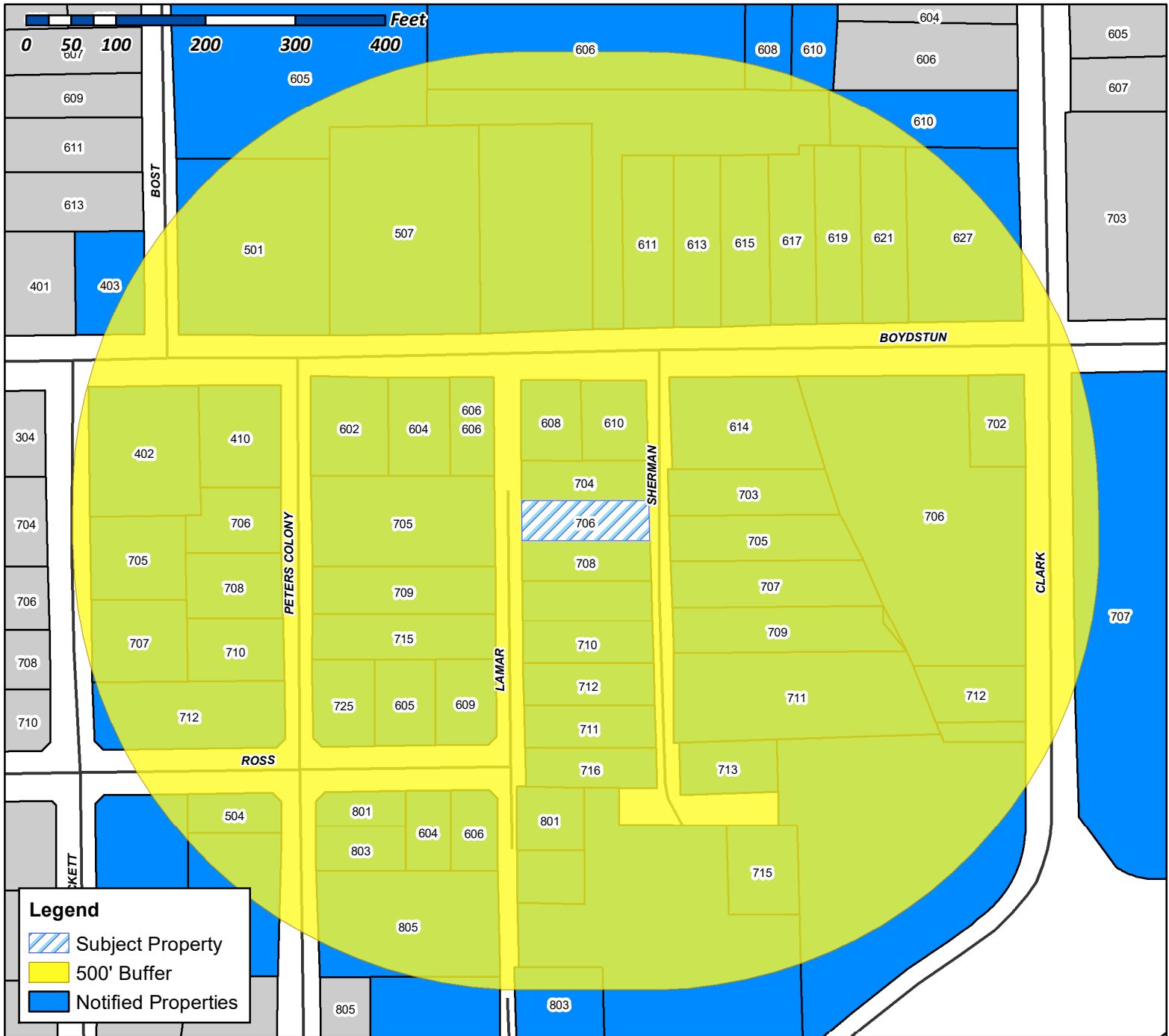
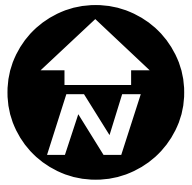
Date Created: 3/24/2020
 For Questions on this Case Call (972) 771-7745



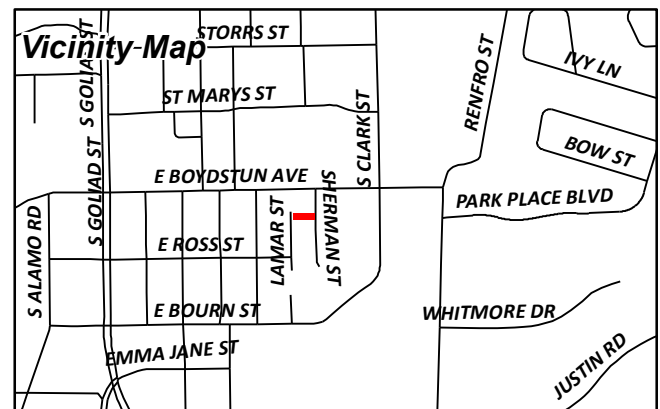
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
709 N SHERMAN
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC
2289 CR 643
NEVADA, TX 75173

OSORNIO JEANNIFFER AND
NOHEMA ESTRADA MACHARIGUE
2307 WHITE ROAD
HEATH, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

KATELY CHARLES LEE & THELMA S
309 ANDERSON ST
OAKDALE, LA 71463

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
3314 ANNA CADE RD
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
403EBOYDSTUN
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
504 ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
507EBOYDSTUN
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D
605 E ROSS STREET
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
606 ROSS
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
608 ST MARYS
ROCKWALL, TX 75087

CURRENT RESIDENT
608EBOYDSTUN
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610SCLARK
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
611EBOYDSTUN
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

CURRENT RESIDENT
617EBOYDSTUN
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
621 BOYDSTUNAVE
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

CURRENT RESIDENT
627EBOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
702SCLARK
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
706 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
706SCLARK
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707SCLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
708 SHERMAN
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
712 CLARK
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
712 SHERMAN
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
715 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
716 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

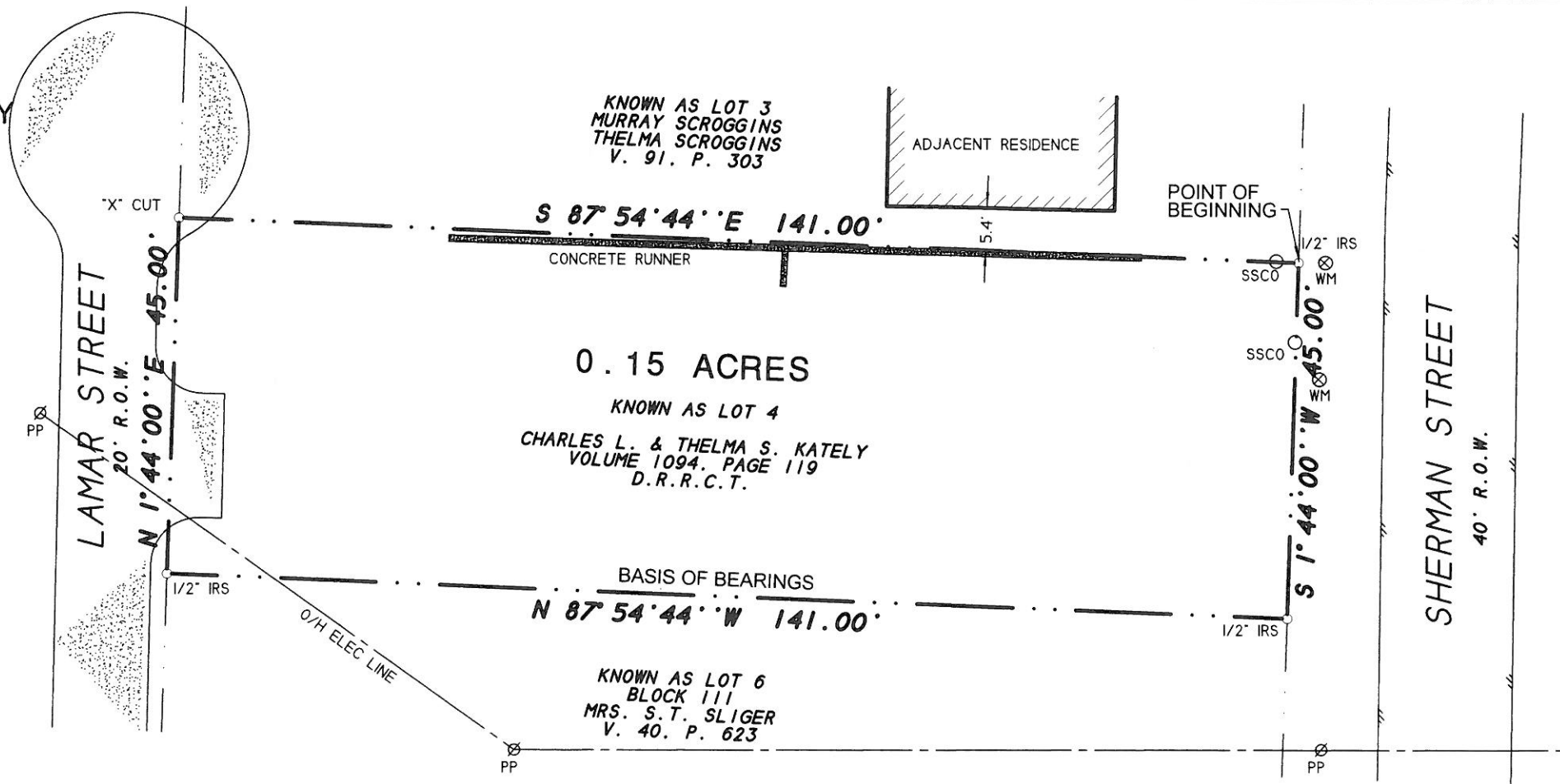
ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC
900 HEATHLAND CROSSING
HEATH, TX 75032

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being all of a tract of land known as Lot 4, Block 111, as described in a Warranty deed from Tom Bieger to Charles Lee Kately and Thelma S. Kately, dated February 29, 1996 and being recorded in Volume 1094, Page 119 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Sherman Street (40' R.O.W.) at the Northeast corner of said Kately tract and being at the Southeast corner of Lot 3, Block 111 as described in a Warranty deed from James Brown and Lavesta Lee Brown to Murray Scroggins and Thelma Scroggins, dated April 1, 1970 and being recorded in Volume 91, Page 303 of the Real Estate Records of Rockwall County, Texas;

THENCE S. 01 deg. 44 min. 00 sec. W. along said right-of-way line, a distance of 45.00 feet to a 1/2" iron rod found for corner at the Southeast corner of said Kately tract;

THENCE N. 87 deg. 54 min. 44 sec. W. a distance of 141.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the east line of Lamar Street (20' R.O.W.);

THENCE N. 01 deg. 44 min. 00 sec. E. along said right-of-way line, a distance of 45.00 feet to an "X" cut for corner at the Southwest corner of said Lot 3 and the Northwest corner of said Kately tract;

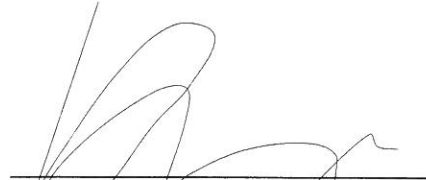
THENCE S. 87 deg. 54 min. 44 sec. E. along the common line between said Lot 3 and Kately tract, a distance of 141.00 feet to the POINT OF BEGINNING and containing 0.15 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT VOL. 40, PG. 148, D.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Charles L. and Thelma S. Kately at 706 Sherman Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of November, 2019.


Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
ELECTRIC METER	ELECTRIC BOX	WATER METER	LIGHT POLE	
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

SURVEY ACCEPTED BY:

DATE _____

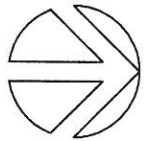
DATE _____

SURVEY DATE NOVEMBER 18, 2019
SCALE 1" = 20' FILE # 20190380
CLIENT KATELY GF # NONE

2020-012

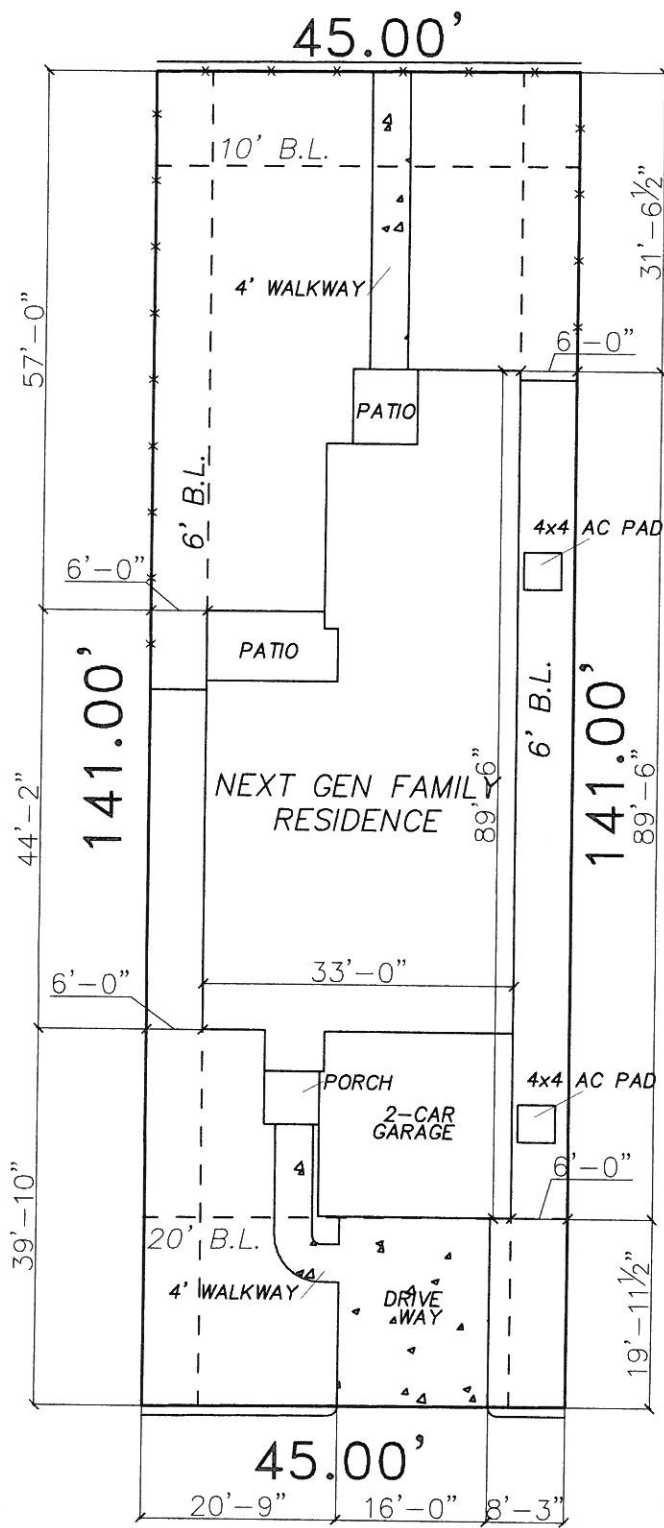
H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NORTH
SCALE: 1' = 20'-0"

LAMAR STREET



SHERMAN STREET

22020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

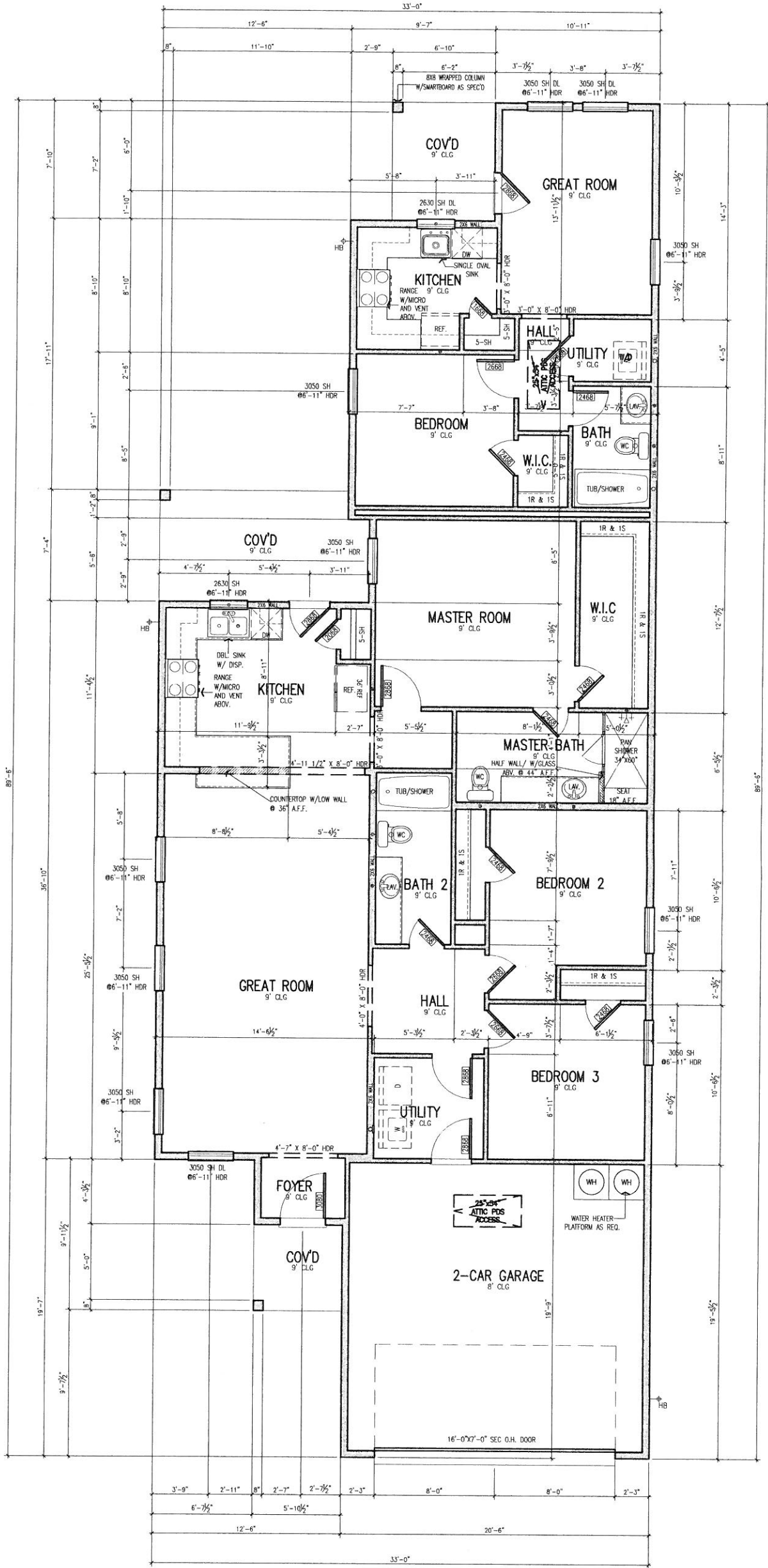
DATE: _____

NOTES:

LEGEND	→ - DRAINAGE FLOW	B.L. - BUILDING LINE
	-x-x- - PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
—○— - EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
▨ - CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
▩ - RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
⊙ - REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
⬢ - REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	⬢ - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20	 DDS GROUP <hr/> <hr/> PLOT PLAN
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A	
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL	
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	<small>NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.</small>	

AREA CALCULATIONS_1803A				
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY	
First Floor	1839	SQ. FT.	1745	SQ. FT.
Second Floor	0	SQ. FT.	0	SQ. FT.
Total Living Area	1,839	SQ. FT.	1,745	SQ. FT.
1-Car Garage	0	SQ. FT.	0	SQ. FT.
2-Car Garage	398	SQ. FT.	373	SQ. FT.
3-Car Garage	0	SQ. FT.	0	SQ. FT.
Total Garage Area	398	SQ. FT.	373	SQ. FT.
Covered Porch	0	SQ. FT.	33	SQ. FT.
Covered Patio	0	SQ. FT.	153	SQ. FT.
Covered Balcony	0	SQ. FT.	0	SQ. FT.
Total Covered Porch/Patio Area	0	SQ. FT.	186	SQ. FT.
Total Slab Area			2,304	SQ. FT.
Total Under Floor			2,304	SQ. FT.
Total Interior Frame	2,237	SQ. FT.		
Total Exterior Frame				
Overall Width = 39'-11"			Overall Depth = 61'-6"	

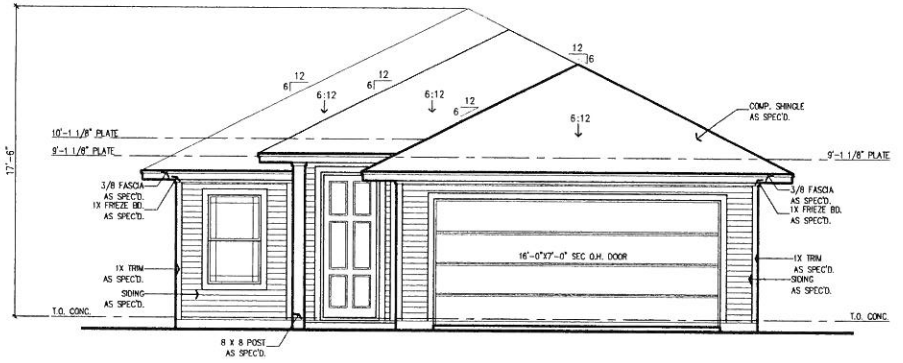


1 ELEVATION A
FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

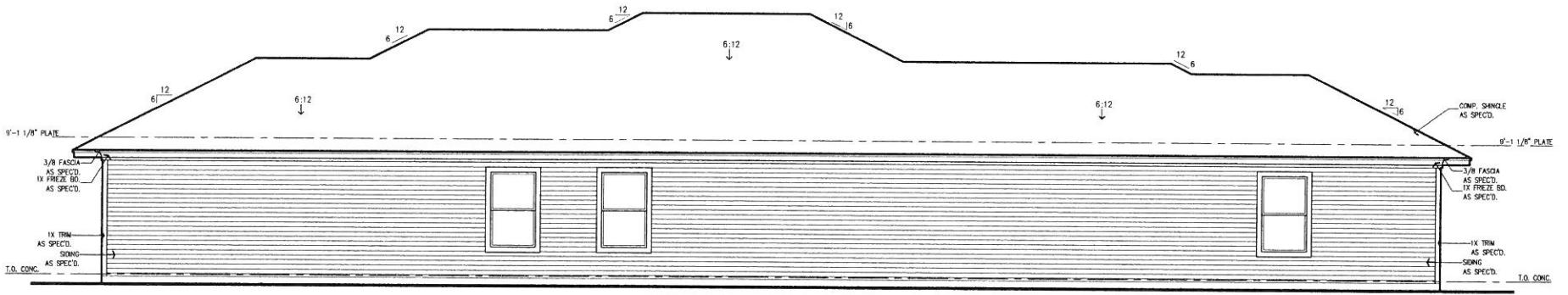
Z 2020-012

SHEET NO. A1 OF 15	ISSUED FOR REVIEW 02/06/2020	REVISIONS:	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR: DESIGN & DRAFTING GROUP SERVICES ADDRESS: 132 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	
			ELEVATION-A GARAGE: FRONT ENTRY		

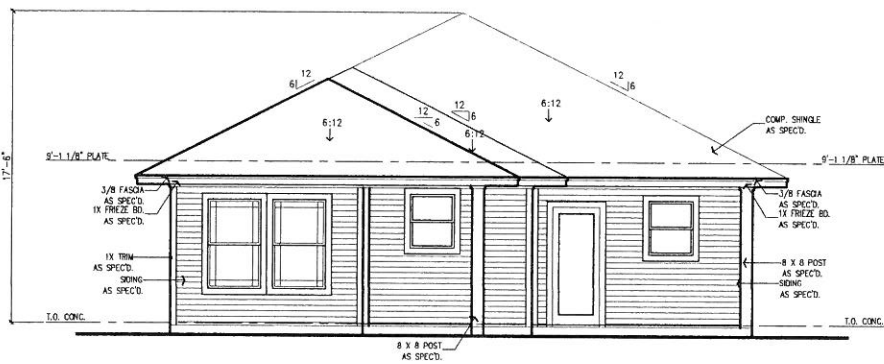
MATERIAL AREA TABULATIONS										
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL
Front Elevation	0	S.F.	0.00%	0	S.F.	0.00%	64	S.F.	100.00%	64 S.F.
Right Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	622	S.F.	100.00%	622 S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	133	S.F.	100.00%	133 S.F.
Left Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	532	S.F.	100.00%	532 S.F.
Total Area	0	S.F.		0	S.F.		1,351	S.F.		1,351 S.F.
Total Brick Area							0	S.F.		0.00%
Total Stone Area							0	S.F.		0.00%
Total Siding Area							1,351	S.F.		100.00%
Overall Width = 39'-11"					Overall Depth = 61'-6"					



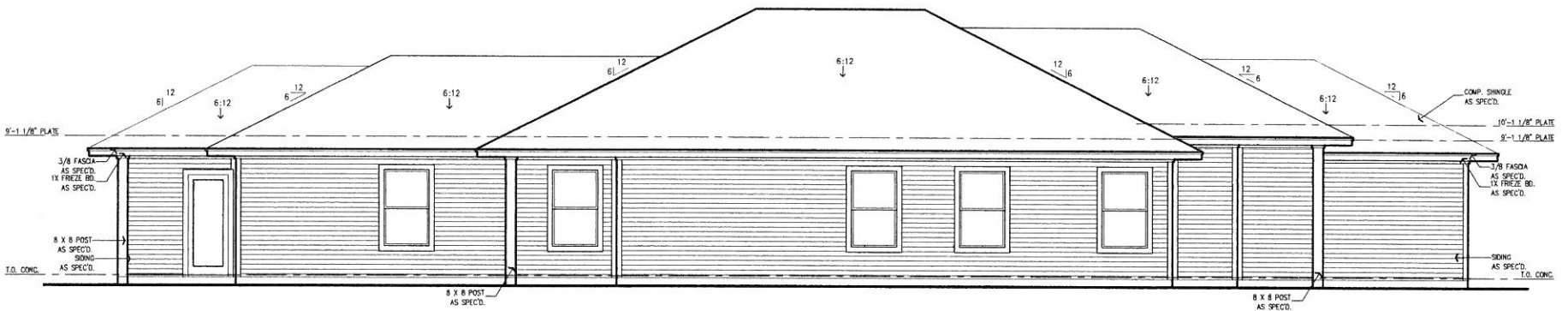
1 ELEVATION A
A3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION A
A3 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION A
A3 REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4 ELEVATION A
A3 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO.
A3
OF
15

LULLAM CUSTOM HOMES 2017
DRAWN BY:
DDSG-AA
ISSUED FOR REVIEW
02/06/2020

REVISIONS:

DESIGN PLAN NUMBER:
N/S
ELEVATION-A
GARAGE: FRONT ENTRY

NEW RESIDENCE FOR:
DESIGN & DRAFTING GROUP SERVICES
ADDRESS: 132 E. MAIN STREET
SUITE 202
GRAND PRAIRIE, TX 75050





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 28, 2020
APPLICANT: Ryszard M. Waszczuk; *Richard Expo*
CASE NUMBER: Z2020-012; *Specific Use Permit (SUP) for a Residential Infill for 706 Sherman Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was platted with the B. F. Boydston Addition prior to 1959 and after 1934 (*per the 1934 Sanborn maps and the City's annexation ordinances*). According to the City's historic zoning maps the subject property has been zoned Single Family 7 (SF-7) District since at least December 7, 1993, and has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. According to the City's permitting records a demolition permit was issued May 10, 2018 [*Permit No. BLD2018-1559*] for purpose of removing an existing single-family home that was destroyed by fire damage. The property is currently vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 706 Sherman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 704 Sherman Street and 608 & 610 E. Boydston Street (*i.e. Lots 1 - 3, Block 111, B. F. Boydston Addition*). Situated on these three (3) lots are three single-family homes that are all zoned Single-Family 7 (SF-7) District. Beyond this is E. Boydston Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are three (3) single-family homes and three (3) vacant lots that front on to Sherman Street (*i.e. 708 – 716 Sherman Street*), and that are zoned Single-Family 7 (SF-7) District. Beyond this is a 1.1209-acre vacant parcel of land that is bounded by S. Clark Street and Lamar Street. This property is also zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is Sherman Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. This street is followed by several single-family homes fronting on Sherman Street that are zoned Single-Family 7 (SF-7) District. Beyond this is a 1.127-acre tract of land (*i.e. Lot A & C, Block 110, B. F. Boydston Addition*) that has a 7,456 SF industrial building situated on it. This property is zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses.

West: Directly west of the subject property is Lamar Street, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. This street is followed by two (2) vacant lots, which are zoned Single Family 7 (SF-7) District. These properties were recently approved Specific Use Permits (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* [Case No. Z2020-004 & Z2020-005] and will be developed with new single-family homes that are similar to what the applicant is proposing.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the B. F. Boydston Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Sherman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Sherman Street Between Boydston Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Sherman Street and have either no garage or a front-facing garages.	The front elevation of the home will face on to Sherman Street and have a front facing garage.
Year Built	1980-2007	N/A
Building SF on Property	980-1,896 SF	2,424 SF
Building Architecture	Various	Comparable Architecture to Existing Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	31-Feet, 6½-Inches
Building Materials	Wood Siding, Cementitious Lap Siding, and Brick	100% Hardi-Board Siding
Paint and Color	Yellow, Tan, Brown, White, and Grey	White
Roofs	Composite Shingles	Composite Shingle
Driveways	All but two (2) of the homes do not have garages, only front driveways. One (1) home has a single car garage that is forward facing and one (1) home has a detached garage setback behind the front façade of the primary structure.	Front entry garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past, and that the two (2) properties directly west of the subject property were recently approved for Specific Use Permits (SUPs) for *Residential Infill in*

or *Adjacent to an Established Subdivision* utilizing the same garage configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Sherman Street and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 8, 2020, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices returned concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	Z2020-012	Owner	VARTAN JIZMEJIAN	Applied	3/20/2020	AG
Project Name	SUP for 706 Sherman Street	Applicant	RICHARD EXPO RYSZARD	Approved		
Type	ZONING			Closed		
Subtype	SUP			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
706 SHERMAN	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
B F BOYDSTON	4	111	4	3140-0111-0004-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	See Notes
(3/26/2020 2:17 PM SJ) I - The culvert under the driveway will need to be engineered with the building permit. Your engineer must analyze the drainage area, drainage calculations, and the culvert sizing calculations. I - This property may also need a sewer tap that can be done with the building permit.							
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-012; SUP for Detached Garage Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ryszard M Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay(SRO) District, addressed as 706 Sherman Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.						
I.7 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18th, 2020.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-012
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
 Master Plat (\$100.00 + \$15.00 Acre)¹
 Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 Final Plat (\$300.00 + \$20.00 Acre)¹
 Replat (\$300.00 + \$20.00 Acre)¹
 Amending or Minor Plat (\$150.00)
 Plat Reinstatement Request (\$100.00)
Site Plan Application Fees:
 Site Plan (\$250.00 + \$20.00 Acre)¹
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:
 Zoning Change (\$200.00 + \$15.00 Acre)¹
 Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 PD Development Plans (\$200.00 + \$15.00 Acre)¹
Other Application Fees:
 Tree Removal (\$75.00)
 Variance Request (\$100.00)
Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 706 Sherman St. Rockwall, TX. 75087

Subdivision

Lot 4 Block 111

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner VARTAN JIZMEJIAN

Applicant RICHARD EXPO

Contact Person

Contact Person

Address 33171 ELISA DR

Address

1536 Timber Ridge Dr.

City, State & Zip DANA POINT, CA. 92629

City, State & Zip Rockwall, TX. 75032

Phone 949-412-4452

Phone 972-400-8047

E-Mail

E-Mail RICHARDEXPO@HOTMAIL.COM

NOTARY VERIFICATION [REQUIRED]

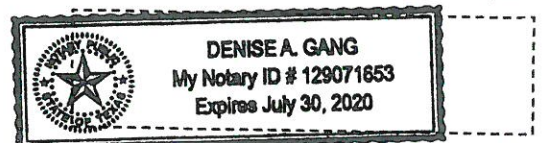
Before me, the undersigned authority, on this day personally appeared Vartan Jizmejian [owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature

[Signature]



My Commission Expires

Notary Public in and for the State of Texas

DECLARATION OF REPRESENTATIVE

<u>Property Owner(s) Name(s) as it appears on the Change of Value Notice</u> Vartan Jizmejian
<u>Property Owner's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 33171 Elisa Dr. Dana Point CA 92629
<u>Property Owner's Telephone Number</u> (949) 412-4452

hereby appoints the following individual, corporation, limited liability company, organization, firm or partnership

<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
<u>If applicable, provide Corporation, Limited Liability Company, Organization, Firm or Partnership Name</u> <p style="text-align: center;">Richard Expo</p>
<u>Representative's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 1536 Timber Ridge Dr. Rocwall. Tx 75087
<u>Representative's Telephone Number</u> (972) 400-8047

To represent the above named property owner before the State Board of Tax Appeals pursuant to the Board's rules and regulations for property located in 3005 preston ct. Rockwall County for the TX. 2015 tax year(s).

<u>Signature of Property Owner</u> <u><i>Vjizmejian</i></u>	<u>March 30/2015</u> Date
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> Printed Name	<u>Builder</u> Title



Z2020-012- SUP FOR 706 SHERMAN STREET
ZONING - LOCATION MAP =

PD-42

2F

ZL-5

BOYDSTUN



SF-7

LAMAR

SHERMAN

ROSS

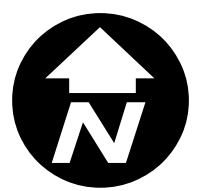
PD-52



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

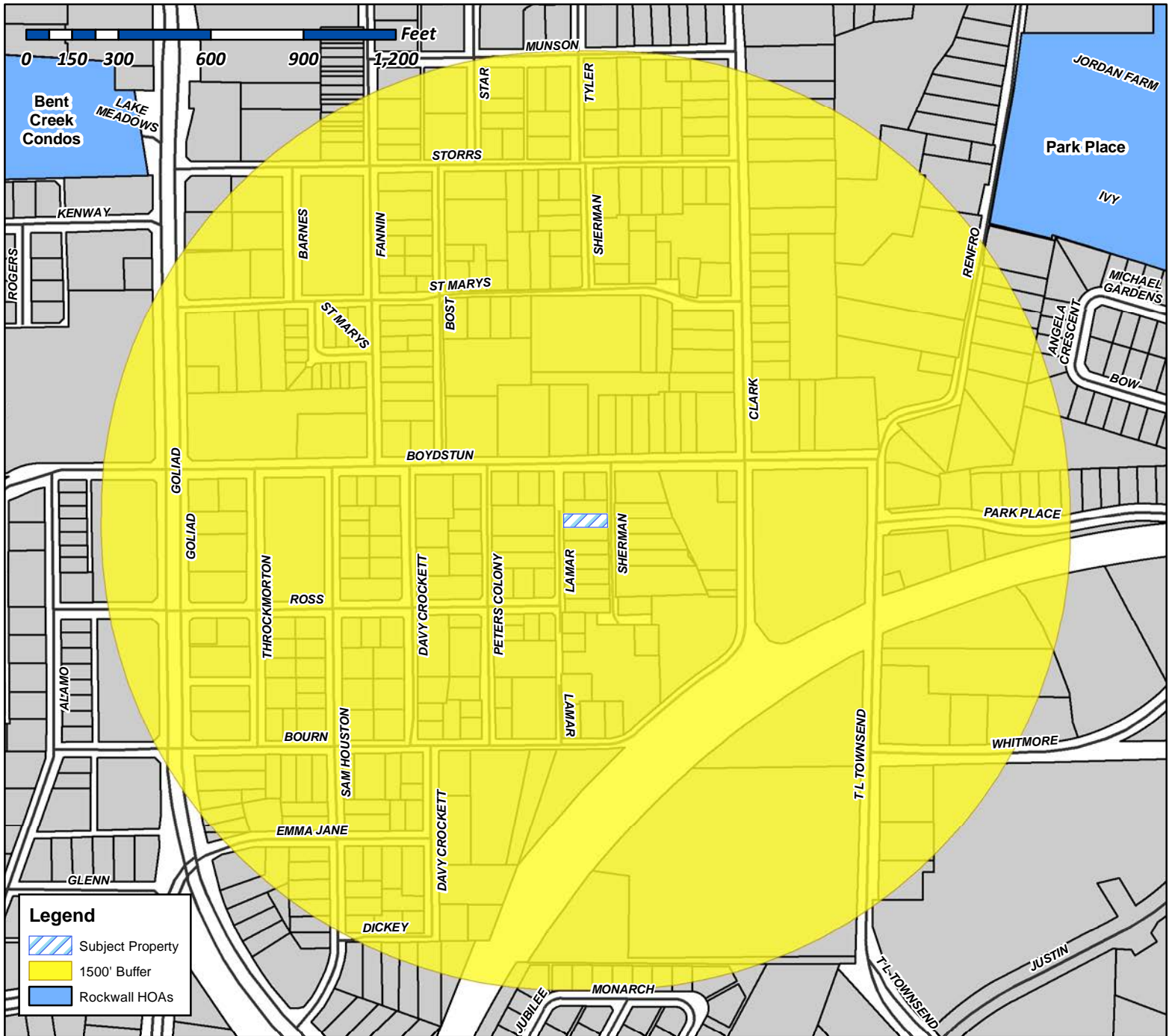




City of Rockwall

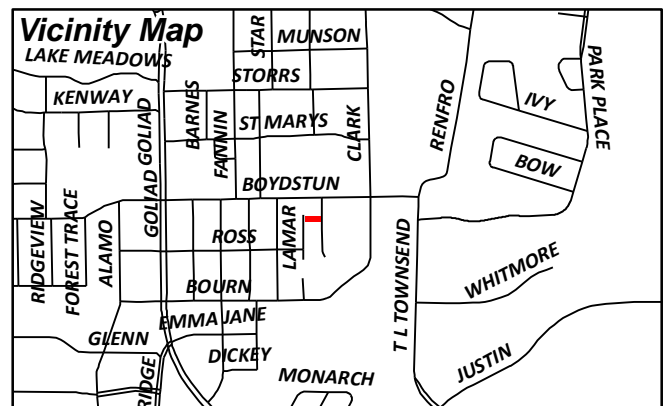
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-012
Case Name: SUP for 706 Sherman St.
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.

Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745

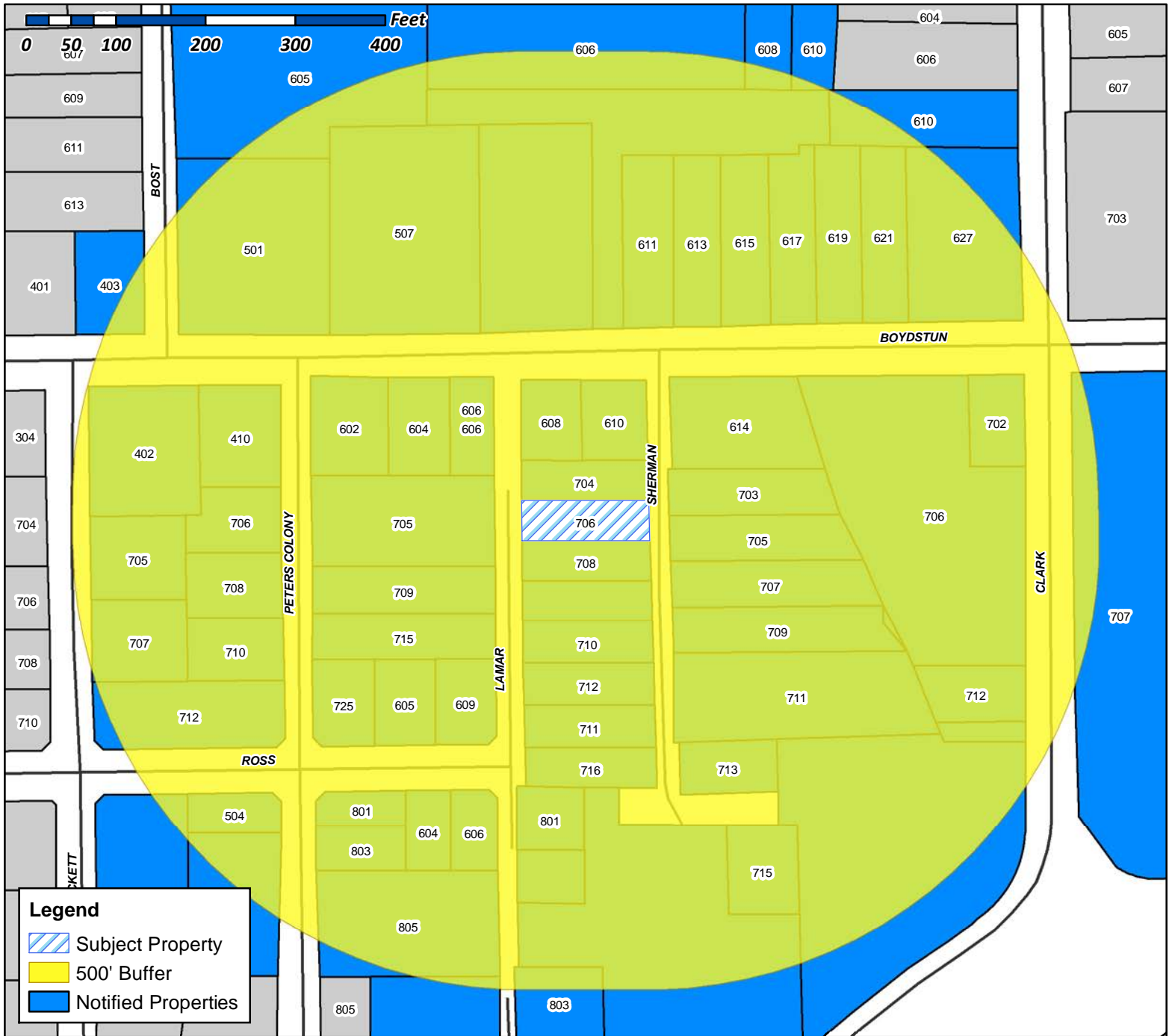




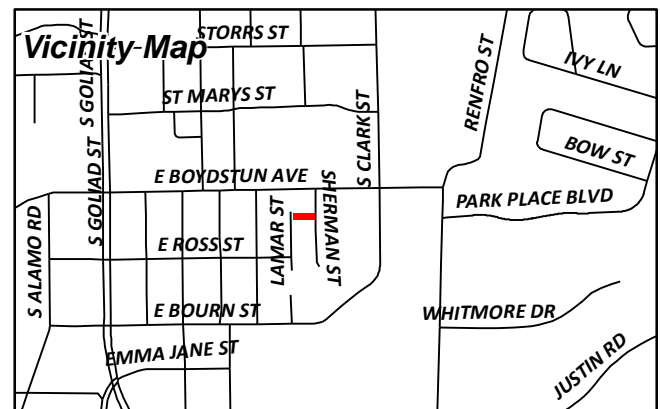
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



Date Created: 3/24/2020
 For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for Name input.

Address:

Grey bar for Address input.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT RESIDENT
709 N SHERMAN
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC
2289 CR 643
NEVADA, TX 75173

OSORNIO JEANNIFFER AND
NOHEMA ESTRADA MACHARIGUE
2307 WHITE ROAD
HEATH, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

KATELY CHARLES LEE & THELMA S
309 ANDERSON ST
OAKDALE, LA 71463

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
3314 ANNA CADE RD
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
403EBOYDSTUN
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
504 ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
507EBOYDSTUN
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D
605 E ROSS STREET
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
606 ROSS
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
608 ST MARYS
ROCKWALL, TX 75087

CURRENT RESIDENT
608EBOYDSTUN
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610SCLARK
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
611EBOYDSTUN
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

CURRENT RESIDENT
617EBOYDSTUN
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
621 BOYDSTUNAVE
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

CURRENT RESIDENT
627EBOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
702SCLARK
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
706 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
706SCLARK
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707SCLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
708 SHERMAN
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
712 CLARK
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
712 SHERMAN
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
715 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
716 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

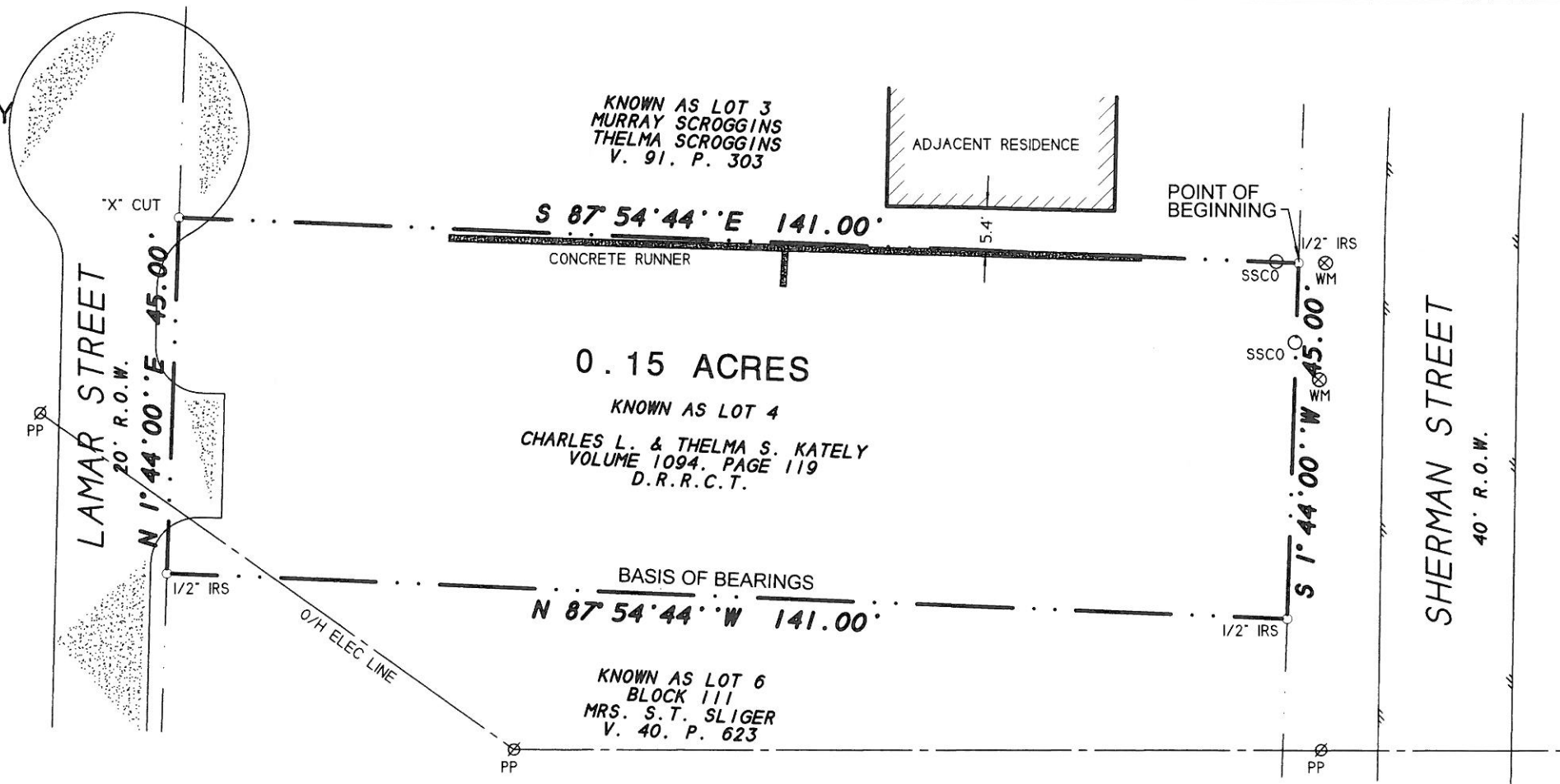
ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC
900 HEATHLAND CROSSING
HEATH, TX 75032

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being all of a tract of land known as Lot 4, Block 111, as described in a Warranty deed from Tom Bieger to Charles Lee Kately and Thelma S. Kately, dated February 29, 1996 and being recorded in Volume 1094, Page 119 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Sherman Street (40' R.O.W.) at the Northeast corner of said Kately tract and being at the Southeast corner of Lot 3, Block 111 as described in a Warranty deed from James Brown and Lavesta Lee Brown to Murray Scroggins and Thelma Scroggins, dated April 1, 1970 and being recorded in Volume 91, Page 303 of the Real Estate Records of Rockwall County, Texas;

THENCE S. 01 deg. 44 min. 00 sec. W. along said right-of-way line, a distance of 45.00 feet to a 1/2" iron rod found for corner at the Southeast corner of said Kately tract;

THENCE N. 87 deg. 54 min. 44 sec. W. a distance of 141.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the east line of Lamar Street (20' R.O.W.);

THENCE N. 01 deg. 44 min. 00 sec. E. along said right-of-way line, a distance of 45.00 feet to an "X" cut for corner at the Southwest corner of said Lot 3 and the Northwest corner of said Kately tract;

THENCE S. 87 deg. 54 min. 44 sec. E. along the common line between said Lot 3 and Kately tract, a distance of 141.00 feet to the POINT OF BEGINNING and containing 0.15 acres of land.

SURVEY ACCEPTED BY:

DATE _____

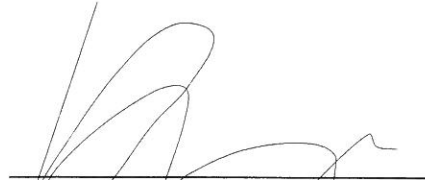
DATE _____

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT VOL. 40, PG. 148, D.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Charles L. and Thelma S. Kately at 706 Sherman Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of November, 2019.


Harold D. Fetty III, R.P.L.S. No. 5034

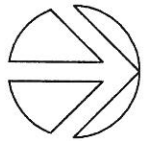


SYMBOL LEGEND				
⊙	⊕	⊖	⊗	⊘
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
⊚	⊛	⊜	⊝	⊞
ELEC. METER	ELEC. BOX	WM. WATER METER	LP LIGHT POLE	1/2" IRS IRON ROD FOUND IN CORNER
⊟	⊠	⊡	⊢	⊣
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK

2020-012

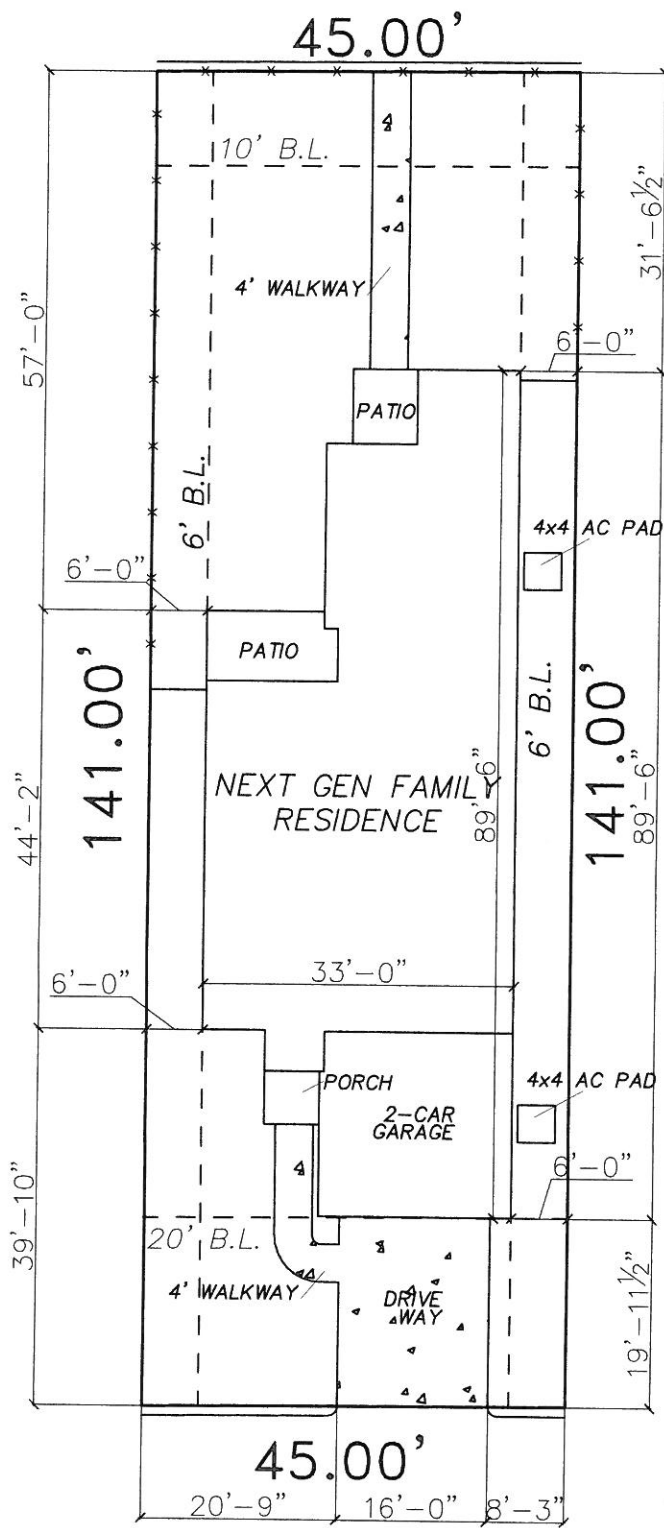
H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 18, 2019
SCALE 1" = 20' FILE # 20190380
CLIENT KATELY GF # NONE



NORTH
SCALE: 1' = 20'-0"

LAMAR STREET



SHERMAN STREET

22020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

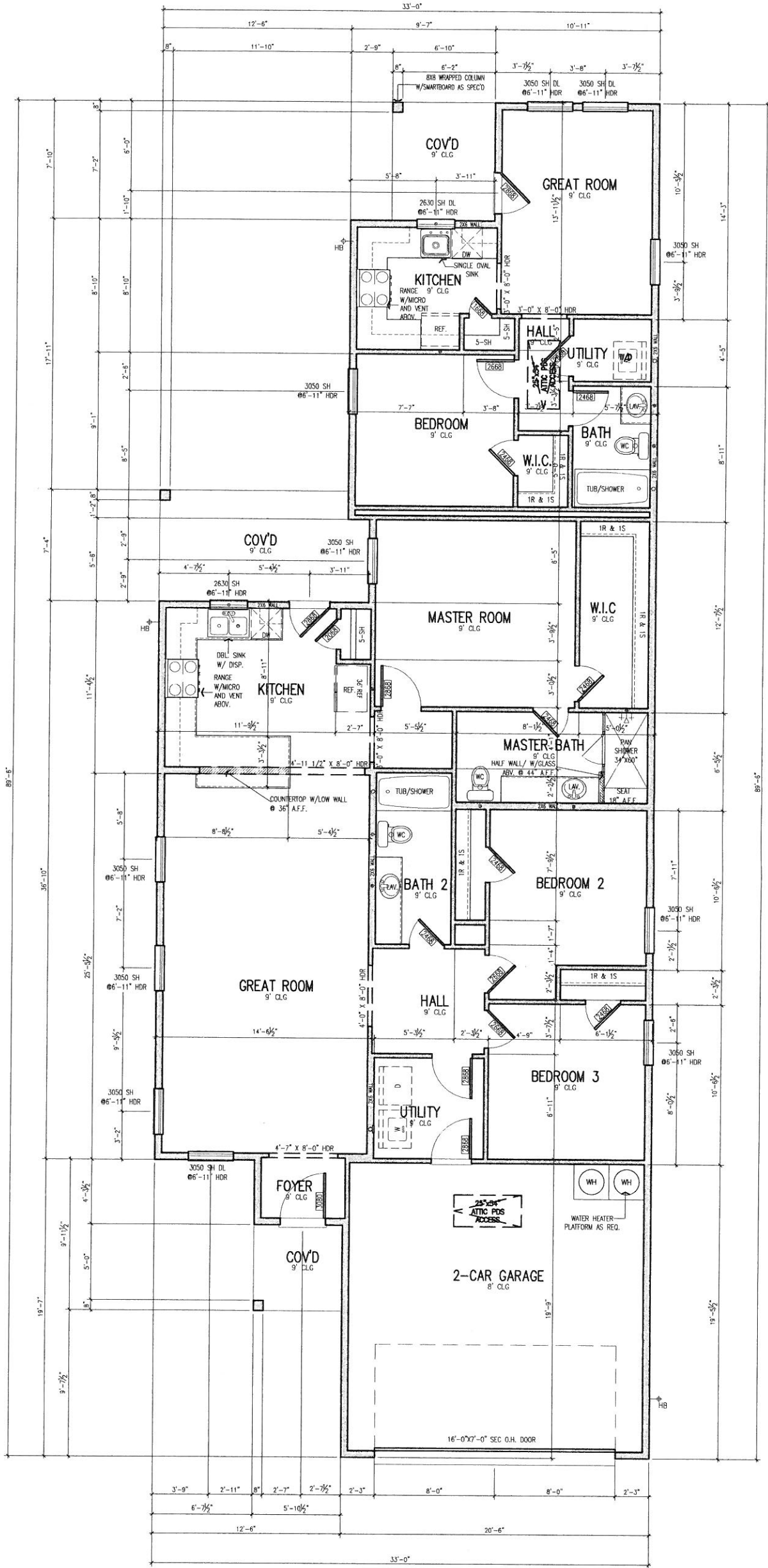
DATE: _____

NOTES:

LEGEND	→ - DRAINAGE FLOW	B.L. - BUILDING LINE
	-x-x- - PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
—○— - EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
▨ - CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
▩ - RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
⊙ - REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
⬢ - REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	⬢ - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20	 DDS GROUP <hr/> <hr/> <hr/> PLOT PLAN
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A	
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL	
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	<small>NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.</small>	

AREA CALCULATIONS_1803A				
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY	
First Floor	1839	SQ. FT.	1745	SQ. FT.
Second Floor	0	SQ. FT.	0	SQ. FT.
Total Living Area	1,839	SQ. FT.	1,745	SQ. FT.
1-Car Garage	0	SQ. FT.	0	SQ. FT.
2-Car Garage	398	SQ. FT.	373	SQ. FT.
3-Car Garage	0	SQ. FT.	0	SQ. FT.
Total Garage Area	398	SQ. FT.	373	SQ. FT.
Covered Porch	0	SQ. FT.	33	SQ. FT.
Covered Patio	0	SQ. FT.	153	SQ. FT.
Covered Balcony	0	SQ. FT.	0	SQ. FT.
Total Covered Porch/Patio Area	0	SQ. FT.	186	SQ. FT.
Total Slab Area			2,304	SQ. FT.
Total Under Floor			2,304	SQ. FT.
Total Interior Frame	2,237	SQ. FT.		
Total Exterior Frame				
Overall Width = 39'-11"			Overall Depth = 61'-6"	

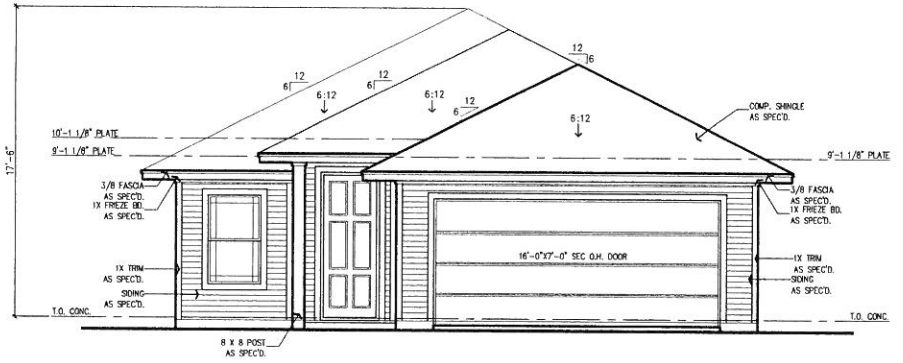


1 ELEVATION A
FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

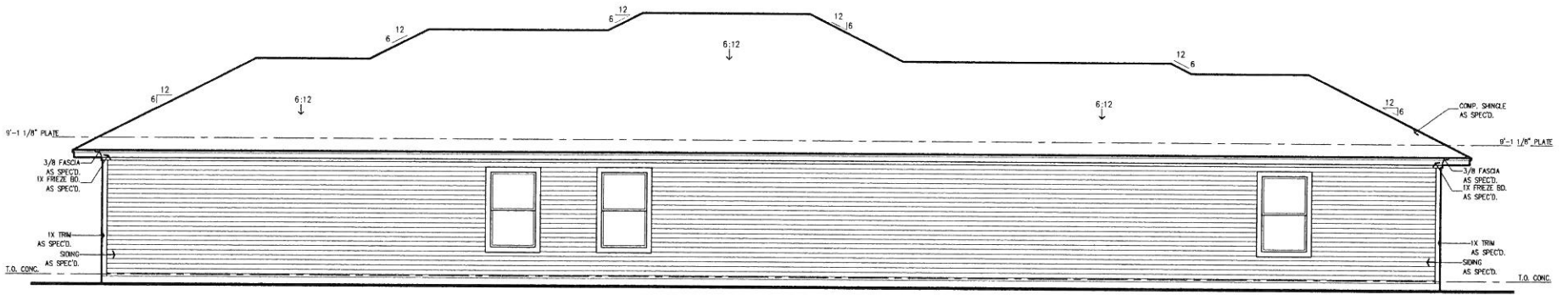
Z 2020-012

SHEET NO. A1 OF 15	ISSUED FOR REVIEW 02/06/2020	REVISIONS:	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR: DESIGN & DRAFTING GROUP SERVICES ADDRESS: 132 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	DDS GROUP
			ELEVATION: A GARAGE: FRONT ENTRY		

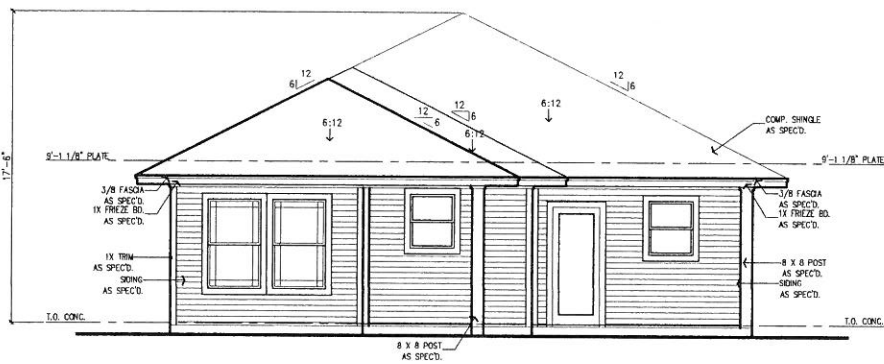
MATERIAL AREA TABULATIONS										
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL
Front Elevation	0	S.F.	0.00%	0	S.F.	0.00%	64	S.F.	100.00%	64 S.F.
Right Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	622	S.F.	100.00%	622 S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	133	S.F.	100.00%	133 S.F.
Left Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	532	S.F.	100.00%	532 S.F.
Total Area	0	S.F.		0	S.F.		1,351	S.F.		1,351 S.F.
Total Brick Area							0	S.F.		0.00%
Total Stone Area							0	S.F.		0.00%
Total Siding Area							1,351	S.F.		100.00%
Overall Width = 39'-11"							Overall Depth = 61'-6"			



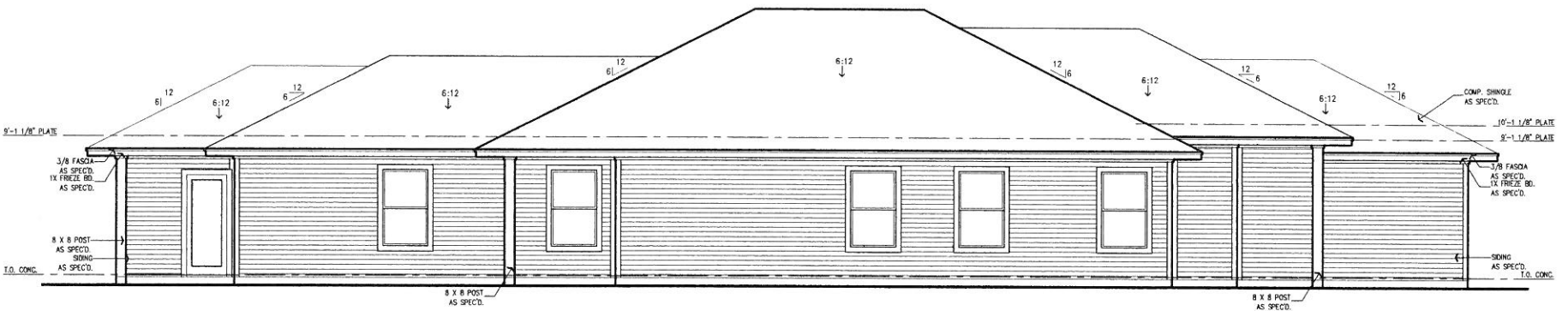
1 ELEVATION A
A3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION A
A3 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION A
A3 REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4 ELEVATION A
A3 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO.
A3
OF
15

LILLIAN CUSTOM HOMES 2017
DRAWN BY:
DDSG-AA
ISSUED FOR REVIEW
02/06/2020

REVISIONS:

DESIGN PLAN NUMBER:
N/S
ELEVATION-A
GARAGE: FRONT ENTRY

NEW RESIDENCE FOR:
DESIGN & DRAFTING GROUP SERVICES
ADDRESS: 132 E. MAIN STREET
SUITE 202
GRAND PRAIRIE, TX 75050

DDS GROUP

Adjacent Housing Attributes

Address	Year Built	House SF	Accessory Building SF	Exterior Materials
703 Sherman Street	1980	980	-	Brick
704 Sherman Street	1980	980	-	Wood Siding
705 Sherman Street	1994	1,350	117	Brick and Hardi-Board Siding
707 Sherman Street	2007	1,494	-	Brick and Hardi-Board Siding
708 Sherman Street	1974	1,400	480	Wood Siding
709 Sherman Street	2007	1,494	40	Brick and Hardi-Board Siding
710 Sherman Street	1994	1,200	-	Hardi-Board Siding
713 Sherman Street	1990	1,896	-	Brick
Averages:	1991	1,349	610	



703 Sherman Street



704 Sherman Street



705 Sherman Street



707 Sherman Street



708 Sherman Street



709 Sherman Street



710 Sherman Street



713 Sherman Street

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1030-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request Ryszard M. Waszczuk for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1030-acre parcel of land being described as Lot 4, Block 111, B. F. Boydstud Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 706 Sherman Street

Legal Description: Lot 4, Block 111, B. F. Boydston Addition

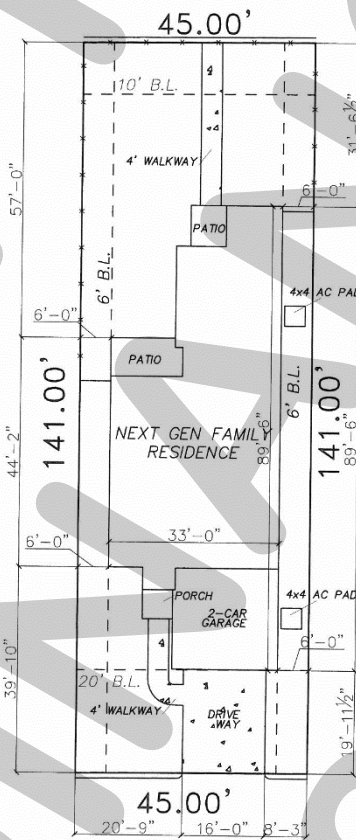


Exhibit 'B':
Residential Plot Plan



NORTH
SCALE: 1" = 20'-0"

LAMAR STREET



SHERMAN STREET

Z2020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

DATE: _____

NOTES:

LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE D.E. - DRAINAGE EASEMENT P.A.E. - PEDESTRIAN ACCESS EASEMENT S.S.E. - SANITARY SEWER EASEMENT T.E. - TRANSFORMER EASEMENT U.E. - UTILITY EASEMENT W.M.E. - WALL MAINT. EASEMENT M.E. - MAINTENANCE EASEMENT V.E. - VISIBILITY EASEMENT * - EXPOSED AGGREGATE CONCRETE
	- PROPOSED FENCE	
- EXISTING FENCE	CURLEX RETAINING WALL - REQUIRED TREE PLANTING - REQUIRED BUSH	
- CURLEX		

BUILDER: RICHARD EXPO.	DATE: 02/07/20
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

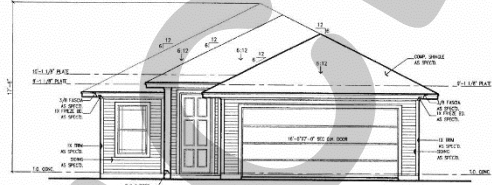
PLOT PLAN

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAN. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF TOES AND ALL PLANTWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE CITY OF ROCKWALL. IT IS WORK FOR ONLY A REPRESENTATIVE.

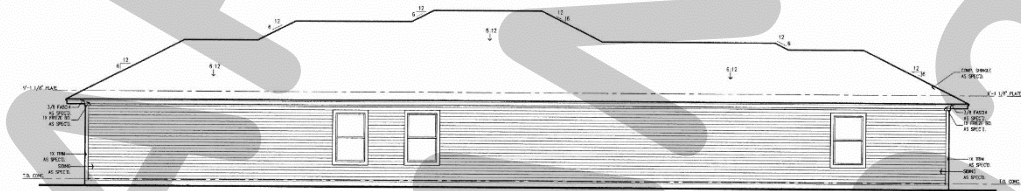
Exhibit 'C': Building Elevations

MATERIAL AREA TABULATIONS						
	BRICK (S.F.)		STONE (S.F.)		TOTAL (S.F.)	
Front Elevation	0	0.00%	0	0.00%	64	64
Right Side Elevation	0	0.00%	0	0.00%	622	622
Rear Elevation	0	0.00%	0	0.00%	133	133
Left Side Elevation	0	0.00%	0	0.00%	332	332
Total Area	0	0.00%	0	0.00%	1,351	1,351
Total Brick Area	0	0.00%	0	0.00%	0	0
Total Stone Area	0	0.00%	0	0.00%	0	0
Total Siding Area	0	0.00%	0	0.00%	1,351	100.00%

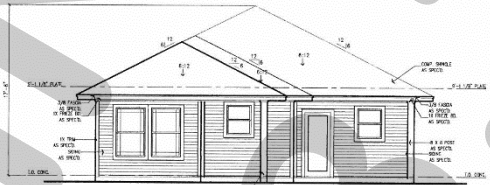
Overall Width = 32'-11" Overall Depth = 61'-8"



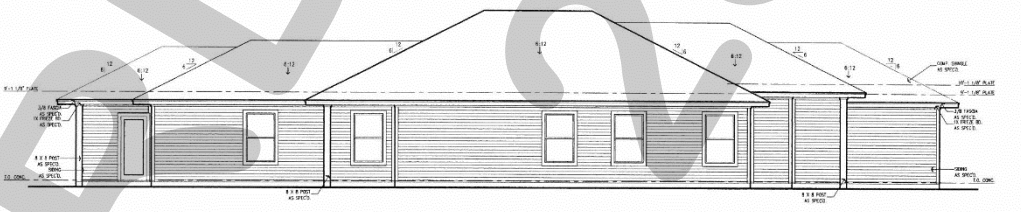
1
A3
ELEVATION A
FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2
A3
ELEVATION A
RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3
A3
ELEVATION A
REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4
A3
ELEVATION A
LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO. A3 OF 15	ISSUED FOR REVIEW 10/06/2020	DESIGNER DDG-AA	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR DESIGN & DRAFTING GROUP SERVICES ADDRESS: 187 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	
	ISSUED FOR REVIEW 10/06/2020		ELEVATION A GARAGE FRONT ENTRY		



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: May 4, 2020
APPLICANT: Ryszard M. Waszczuk; *Richard Expo*
CASE NUMBER: Z2020-012; *Specific Use Permit (SUP) for a Residential Infill for 706 Sherman Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejjan for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was platted with the B. F. Boydston Addition prior to 1959 and after 1934 (*per the 1934 Sanborn maps and the City's annexation ordinances*). According to the City's historic zoning maps the subject property has been zoned Single Family 7 (SF-7) District since at least December 7, 1993, and has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. According to the City's permitting records a demolition permit was issued May 10, 2018 [*Permit No. BLD2018-1559*] for purpose of removing an existing single-family home that was destroyed by fire damage. The property is currently vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 706 Sherman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 704 Sherman Street and 608 & 610 E. Boydston Street (*i.e. Lots 1 - 3, Block 111, B. F. Boydston Addition*). Situated on these three (3) lots are three single-family homes that are all zoned Single-Family 7 (SF-7) District. Beyond this is E. Boydston Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are three (3) single-family homes and three (3) vacant lots that front on to Sherman Street (*i.e. 708 – 716 Sherman Street*), and that are zoned Single-Family 7 (SF-7) District. Beyond this is a 1.1209-acre vacant parcel of land that is bounded by S. Clark Street and Lamar Street. This property is also zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is Sherman Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. This street is followed by several single-family homes fronting on Sherman Street that are zoned Single-Family 7 (SF-7) District. Beyond this is a 1.127-acre tract of

land (i.e. Lot A & C, Block 110, B. F. Boydston Addition) that has a 7,456 SF industrial building situated on it. This property is zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses.

West: Directly west of the subject property is Lamar Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. This street is followed by two (2) vacant lots, which are zoned Single Family 7 (SF-7) District. These properties were recently approved Specific Use Permits (SUP) for Residential Infill in or Adjacent to an Established Subdivision [Case No. Z2020-004 & Z2020-005] and will be developed with new single-family homes that are similar to what the applicant is proposing.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the B. F. Boydston Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Sherman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Sherman Street Between Boydston Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Sherman Street and have either no garage or a front-facing garages.	The front elevation of the home will face on to Sherman Street and have a front facing garage.
Year Built	1980-2007	N/A
Building SF on Property	980-1,896 SF	2,424 SF
Building Architecture	Various	Comparable Architecture to Existing Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	31-Feet, 6½-Inches
Building Materials	Wood Siding, Cementitious Lap Siding, and Brick	100% Hardi-Board Siding
Paint and Color	Yellow, Tan, Brown, White, and Grey	White
Roofs	Composite Shingles	Composite Shingle
Driveways	All but two (2) of the homes do not have garages, only front driveways. One (1) home has a single car garage that is forward facing and one (1) home has a detached garage setback behind the front façade of the primary structure.	Front entry garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family

home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past, and that the two (2) properties directly west of the subject property were recently approved for Specific Use Permits (SUPs) for *Residential Infill in or Adjacent to an Established Subdivision* utilizing the same garage configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Sherman Street and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 8, 2020, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response in favor of the request and one (1) response in opposition to the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 28, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

4/8/2020

City of Rockwall Project Plan Review History



Project Number Z2020-012	Owner VARTAN JIZMEJIAN	Applied 3/20/2020 AG
Project Name SUP for 706 Sherman Street	Applicant RICHARD EXPO RYSZARD	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status Staff Review		Status

Site Address 706 SHERMAN	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision B F BOYDSTON	Tract 4	Block 111	Lot No 4	Parcel No 3140-0111-0004-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	See Notes
(3/26/2020 2:17 PM SJ) I - The culvert under the driveway will need to be engineered with the building permit. Your engineer must analyze the drainage area, drainage calculations, and the culvert sizing calculations. I - This property may also need a sewer tap that can be done with the building permit.							
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-012; SUP for Detached Garage						Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1 This is a request by Ryszard M Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay(SRO) District, addressed as 706 Sherman Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.						
I.7 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18th, 2020.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-012
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
 Master Plat (\$100.00 + \$15.00 Acre)¹
 Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 Final Plat (\$300.00 + \$20.00 Acre)¹
 Replat (\$300.00 + \$20.00 Acre)¹
 Amending or Minor Plat (\$150.00)
 Plat Reinstatement Request (\$100.00)
Site Plan Application Fees:
 Site Plan (\$250.00 + \$20.00 Acre)¹
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:
 Zoning Change (\$200.00 + \$15.00 Acre)¹
 Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 PD Development Plans (\$200.00 + \$15.00 Acre)¹
Other Application Fees:
 Tree Removal (\$75.00)
 Variance Request (\$100.00)
Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 706 Sherman St. Rockwall, TX. 75087

Subdivision _____ Lot 4 Block 111

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning _____ Current Use _____
Proposed Zoning _____ Proposed Use _____
Acreage _____ Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner VARTAN JIZMEJIAN

Applicant RICHARD EXPO

Contact Person _____
Address 33171 ELISA DR

Contact Person RYSZARD
Address 1536 Timber Ridge Dr.

City, State & Zip DANA POINT, CA. 92629

City, State & Zip Rockwall, TX. 75032

Phone 949-412-4452

Phone 972-400-8047

E-Mail _____

E-Mail RICHARDEXPO@HOTMAIL.COM

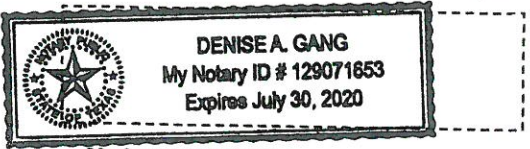
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Vartan Jizmejian [owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature [Signature]



Notary Public in and for the State of Texas

My Commission Expires

DECLARATION OF REPRESENTATIVE

<u>Property Owner(s) Name(s) as it appears on the Change of Value Notice</u> Vartan Jizmejian
<u>Property Owner's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 33171 Elisa Dr. Dana Point CA 92629
<u>Property Owner's Telephone Number</u> (949) 412-4452

hereby appoints the following individual, corporation, limited liability company, organization, firm or partnership

<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
<u>If applicable, provide Corporation, Limited Liability Company, Organization, Firm or Partnership Name</u> <p style="text-align: center;">Richard Expo</p>
<u>Representative's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 1536 Timber Ridge Dr. Rocwall. Tx 75087
<u>Representative's Telephone Number</u> (972) 400-8047

To represent the above named property owner before the State Board of Tax Appeals pursuant to the Board's rules and regulations for property located in 3005 preston ct. Rockwall County for the TX. 2015 tax year(s).

<u>Signature of Property Owner</u> <u><i>Vjizmejian</i></u>	<u>March 30/2015</u> Date
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> Printed Name	<u>Builder</u> Title



Z2020-012- SUP FOR 706 SHERMAN STREET
ZONING - LOCATION MAP =

PD-42

2F

ZL-5

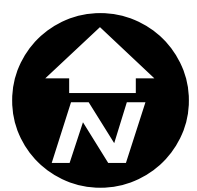
BOYDSTUN



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

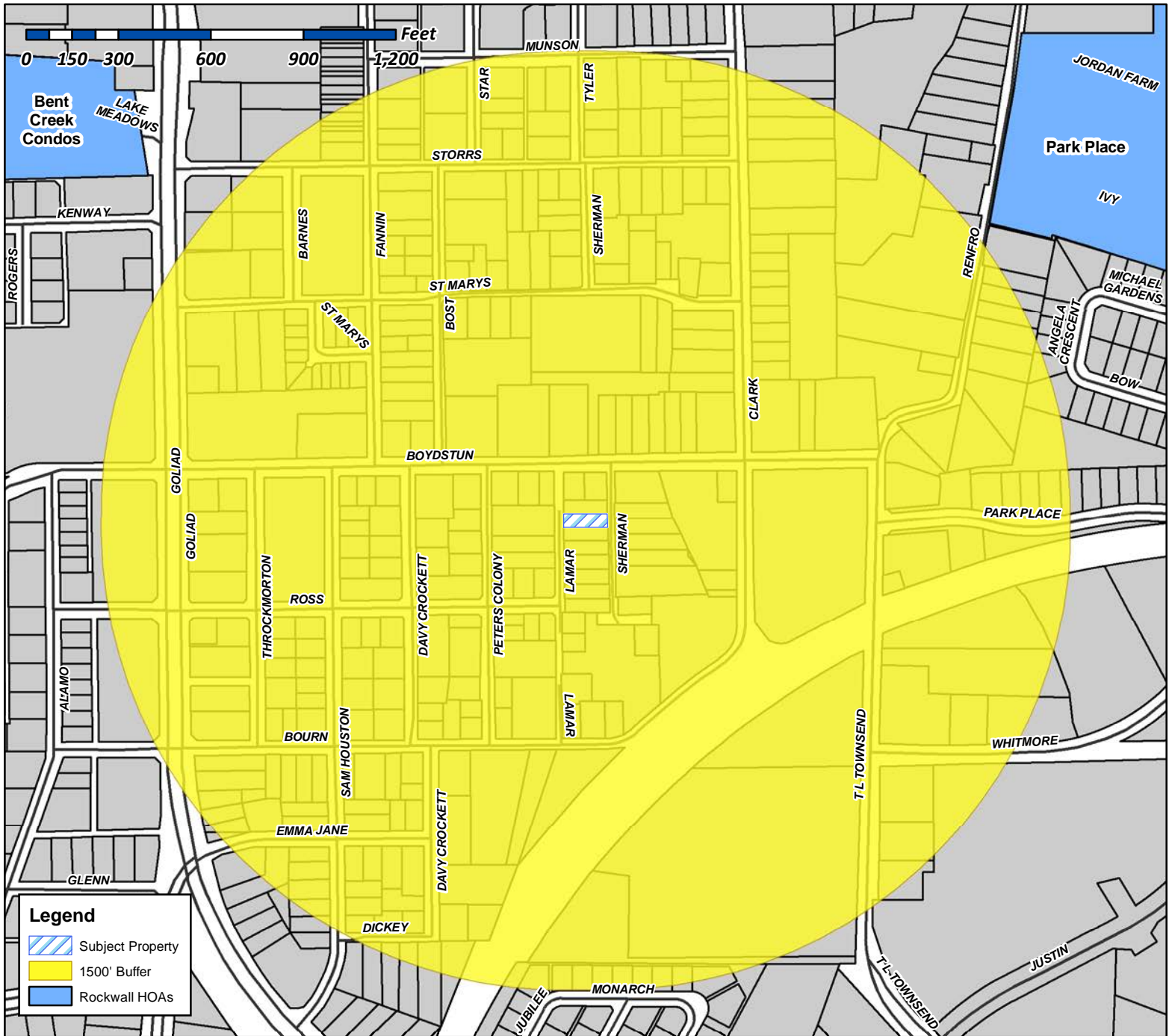




City of Rockwall

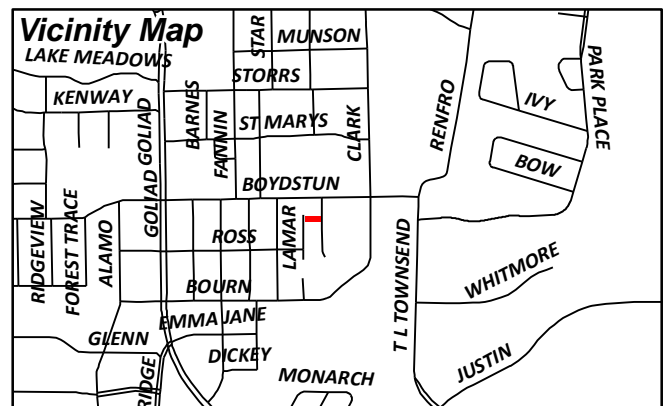
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman St.
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.

Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745

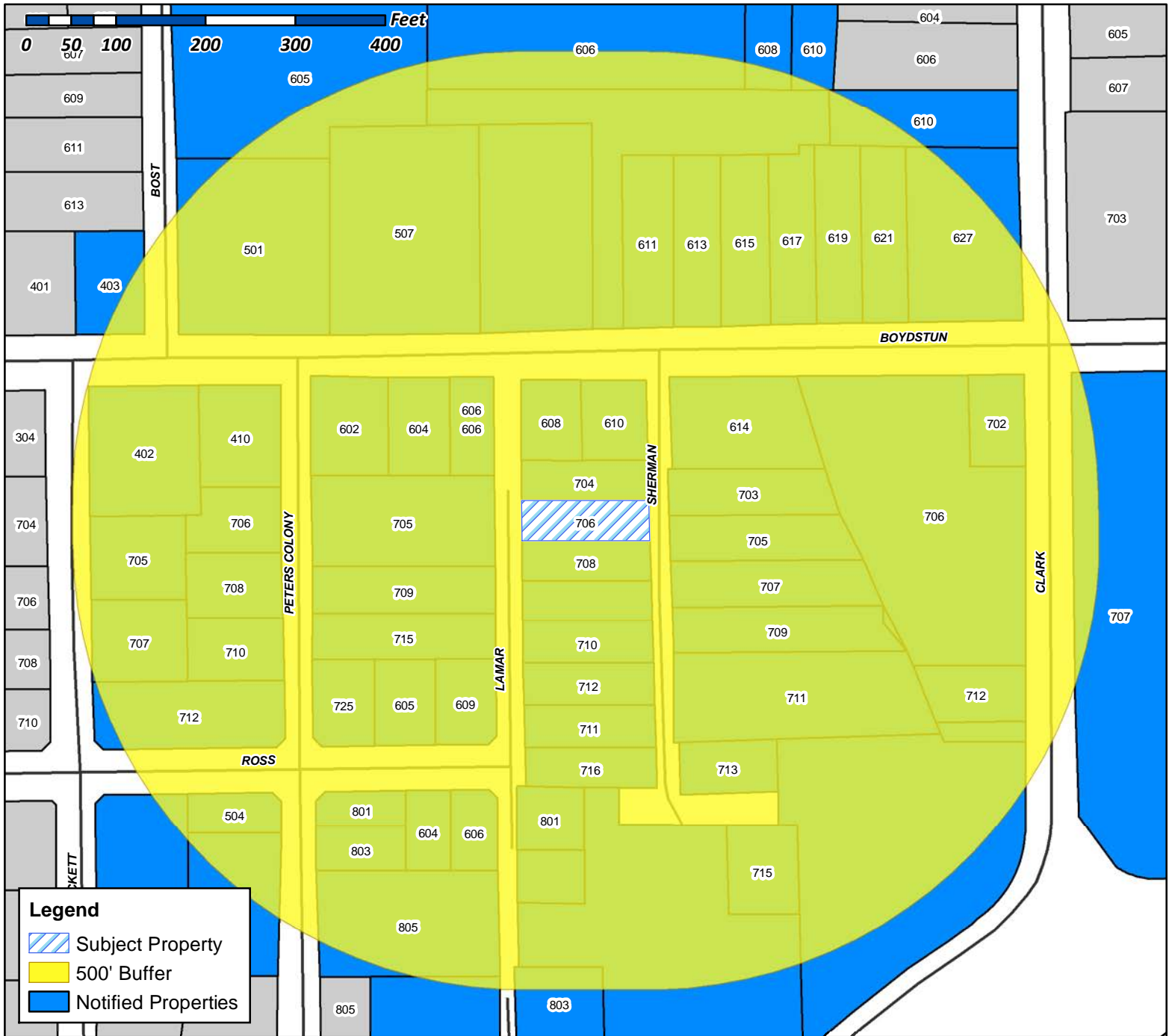




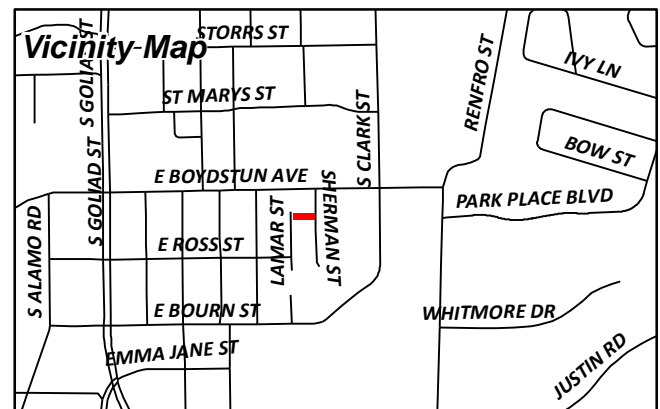
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.



Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
709 N SHERMAN
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC
2289 CR 643
NEVADA, TX 75173

OSORNIO JEANNIFFER AND
NOHEMA ESTRADA MACHARIGUE
2307 WHITE ROAD
HEATH, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

KATELY CHARLES LEE & THELMA S
309 ANDERSON ST
OAKDALE, LA 71463

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
3314 ANNA CADE RD
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
403EBOYDSTUN
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
504 ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
507EBOYDSTUN
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D
605 E ROSS STREET
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
606 ROSS
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
608 ST MARYS
ROCKWALL, TX 75087

CURRENT RESIDENT
608EBOYDSTUN
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610SCLARK
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
611EBOYDSTUN
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

CURRENT RESIDENT
617EBOYDSTUN
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
621 BOYDSTUNAVE
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

CURRENT RESIDENT
627EBOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
702SCLARK
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
706 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
706SCLARK
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707SCLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
708 SHERMAN
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
712 CLARK
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
712 SHERMAN
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
715 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
716 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC
900 HEATHLAND CROSSING
HEATH, TX 75032

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the name.

Address:

Grey bar for entering the address.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Do Not want my property value to go down.

Name:

Rosalie Nix

Address:

402 E. Boydston

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748

Miller, Ryan

From: Planning
Sent: Monday, April 27, 2020 10:25 AM
To: Miller, Ryan
Subject: FW: CASE NO. Z2020-012: SUP FOR RESIDENTIAL INFILL FOR 706 SHERMAN ST.

Please see below.

Thank you,
Angelica

From: Ethel (Jean) Allen [mailto:ejeanallen2@aol.com]
Sent: Monday, April 27, 2020 9:56 AM
To: Planning
Subject: CASE NO. Z2020-012: SUP FOR RESIDENTIAL INFILL FOR 706 SHERMAN ST.

I AM IN FAVOR OF THE REQUEST BECAUSE A NEW RESIDENCE WILL ENHANCE THE NEIGHBORHOOD.

ETHEL JEAN ALLEN
711 SHERMAN ST.
ROCKWALL, TX75087
PH: 469-865-5760

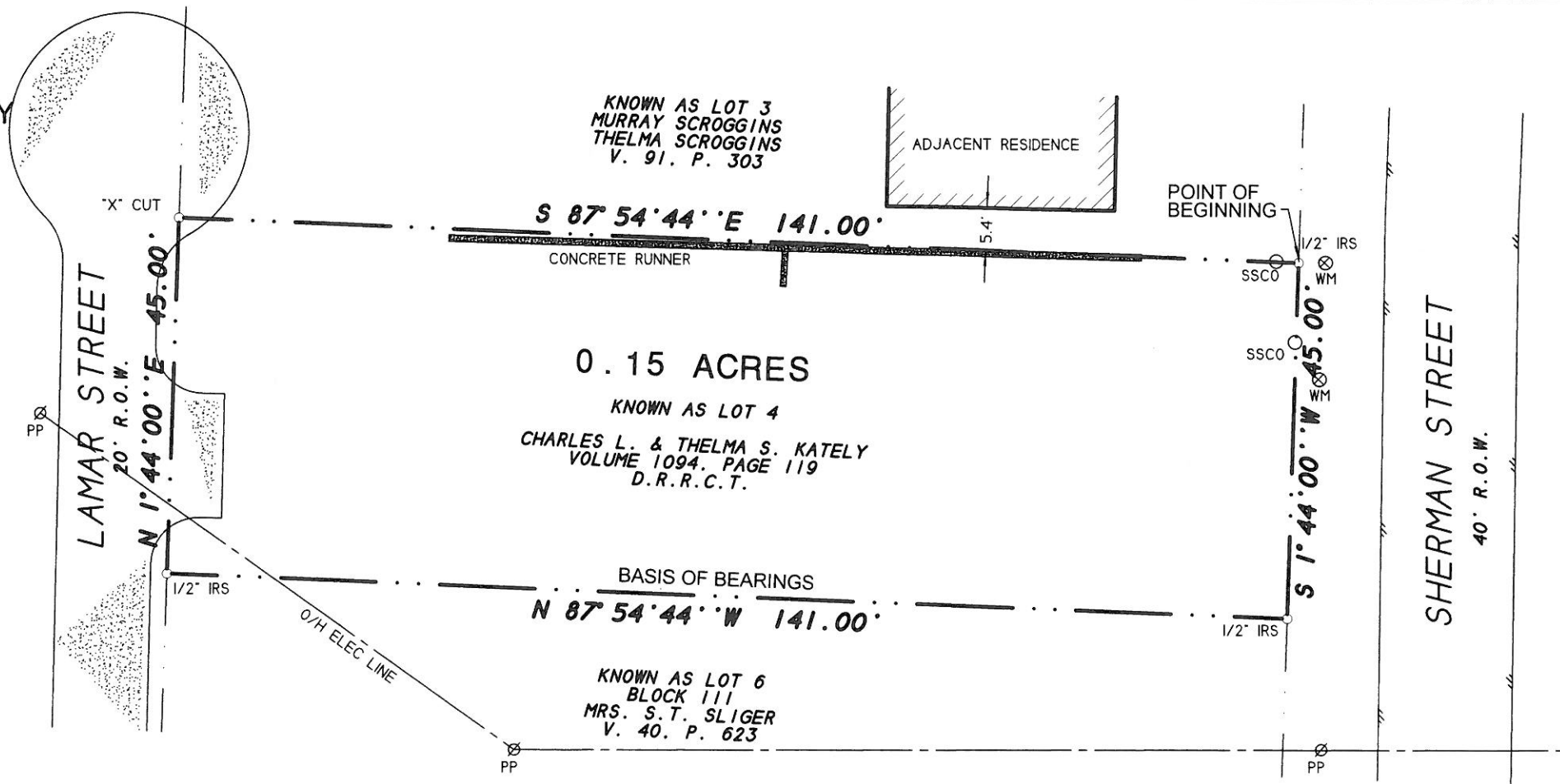
Sent from [Mail](#) for Windows 10

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PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being all of a tract of land known as Lot 4, Block 111, as described in a Warranty deed from Tom Bieger to Charles Lee Kately and Thelma S. Kately, dated February 29, 1996 and being recorded in Volume 1094, Page 119 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Sherman Street (40' R.O.W.) at the Northeast corner of said Kately tract and being at the Southeast corner of Lot 3, Block 111 as described in a Warranty deed from James Brown and Lavesta Lee Brown to Murray Scroggins and Thelma Scroggins, dated April 1, 1970 and being recorded in Volume 91, Page 303 of the Real Estate Records of Rockwall County, Texas;

THENCE S. 01 deg. 44 min. 00 sec. W. along said right-of-way line, a distance of 45.00 feet to a 1/2" iron rod found for corner at the Southeast corner of said Kately tract;

THENCE N. 87 deg. 54 min. 44 sec. W. a distance of 141.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the east line of Lamar Street (20' R.O.W.);

THENCE N. 01 deg. 44 min. 00 sec. E. along said right-of-way line, a distance of 45.00 feet to an "X" cut for corner at the Southwest corner of said Lot 3 and the Northwest corner of said Kately tract;

THENCE S. 87 deg. 54 min. 44 sec. E. along the common line between said Lot 3 and Kately tract, a distance of 141.00 feet to the POINT OF BEGINNING and containing 0.15 acres of land.

SURVEY ACCEPTED BY:

DATE _____

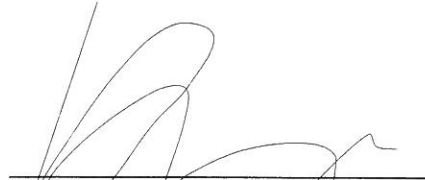
DATE _____

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT VOL. 40, PG. 148, D.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Charles L. and Thelma S. Kately at 706 Sherman Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of November, 2019.


Harold D. Fetty III, R.P.L.S. No. 5034



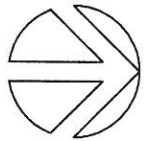
SYMBOL LEGEND				
⊙	⊕	⊕	⊕	⊕
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	PP POWER POLE
⊕	⊕	⊕	⊕	⊕
ELEC. ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRS IRON ROD FOUND IN CORNER
—	—	—	—	—
—	EASEMENT LINE	—	A/C AIR COND UNIT	PROPANE TANK
—	PROPERTY LINES	—	—	—

2020-012

H.D. Fetty Land Surveyor, LLC

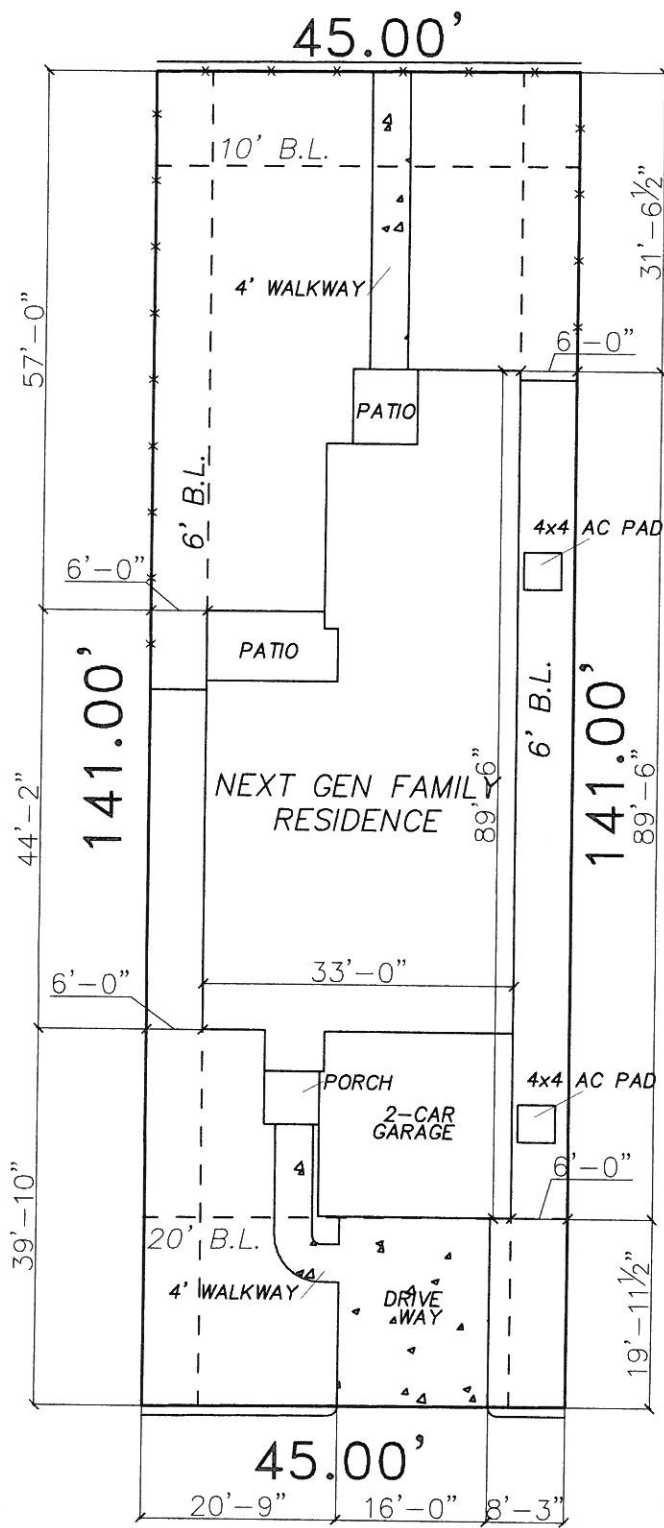
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE NOVEMBER 18, 2019
SCALE 1" = 20' FILE # 20190380
CLIENT KATELY GF # NONE



NORTH
SCALE: 1' = 20'-0"

LAMAR STREET



SHERMAN STREET

22020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

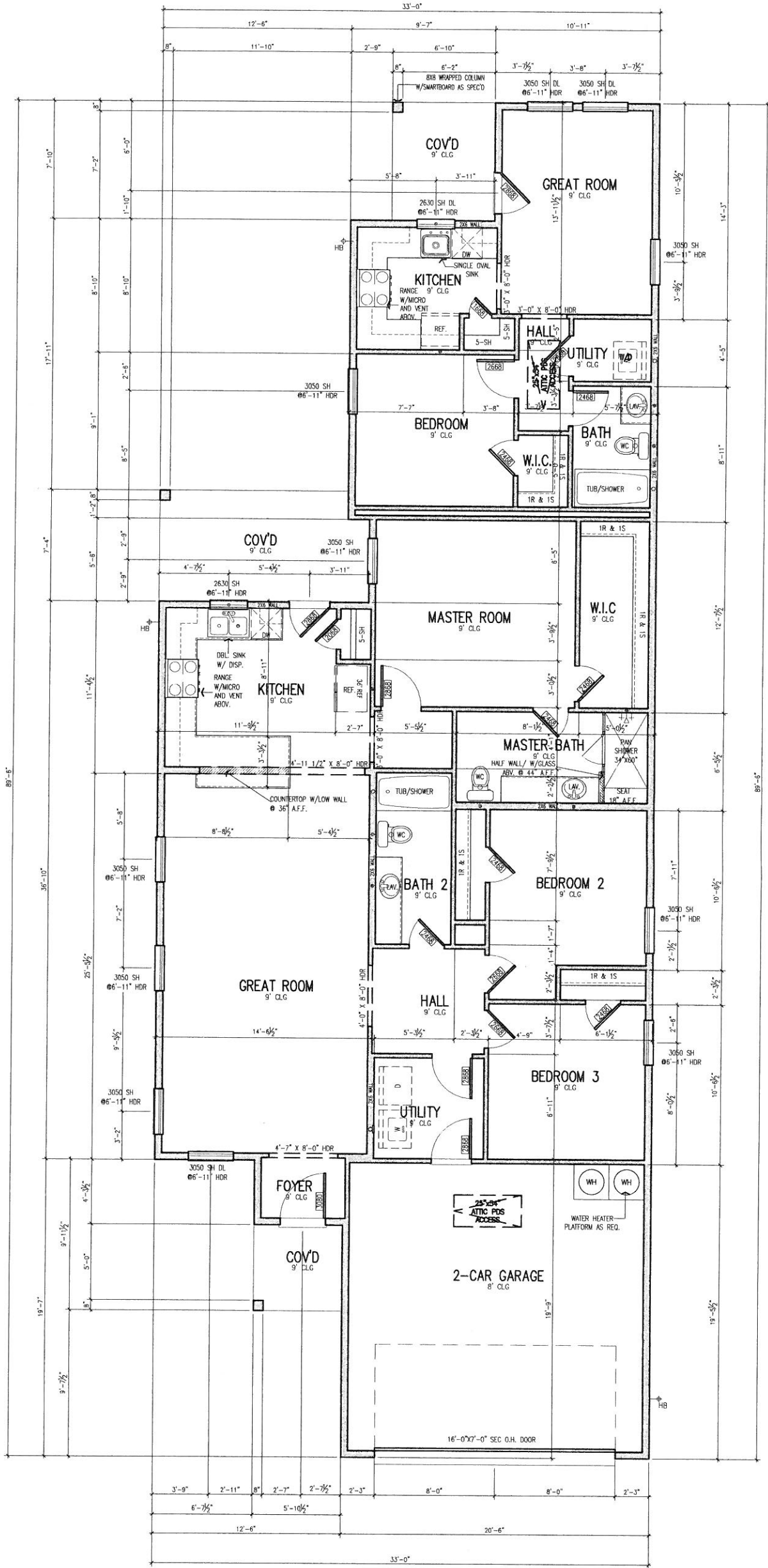
DATE: _____

NOTES:

LEGEND	→ - DRAINAGE FLOW	B.L. - BUILDING LINE
	-x-x- - PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
—○— - EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
▨ - CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
▩ - RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
⊙ - REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
⬢ - REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	⬢ - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20	 DDS GROUP PLOT PLAN
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A	
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL	
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	<small>NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND AL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BO NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.</small>	

AREA CALCULATIONS_1803A				
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY	
First Floor	1839	SQ. FT.	1745	SQ. FT.
Second Floor	0	SQ. FT.	0	SQ. FT.
Total Living Area	1,839	SQ. FT.	1,745	SQ. FT.
1-Car Garage	0	SQ. FT.	0	SQ. FT.
2-Car Garage	398	SQ. FT.	373	SQ. FT.
3-Car Garage	0	SQ. FT.	0	SQ. FT.
Total Garage Area	398	SQ. FT.	373	SQ. FT.
Covered Porch	0	SQ. FT.	33	SQ. FT.
Covered Patio	0	SQ. FT.	153	SQ. FT.
Covered Balcony	0	SQ. FT.	0	SQ. FT.
Total Covered Porch/Patio Area	0	SQ. FT.	186	SQ. FT.
Total Slab Area			2,304	SQ. FT.
Total Under Floor			2,304	SQ. FT.
Total Interior Frame	2,237	SQ. FT.		
Total Exterior Frame				
Overall Width = 39'-11"			Overall Depth = 61'-6"	

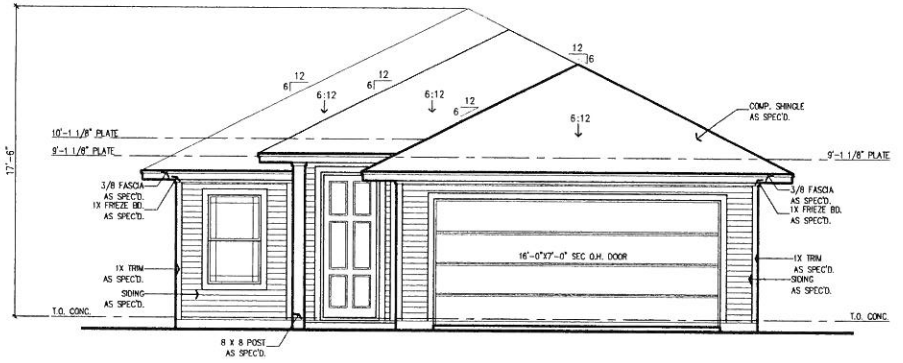


1 ELEVATION A
FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

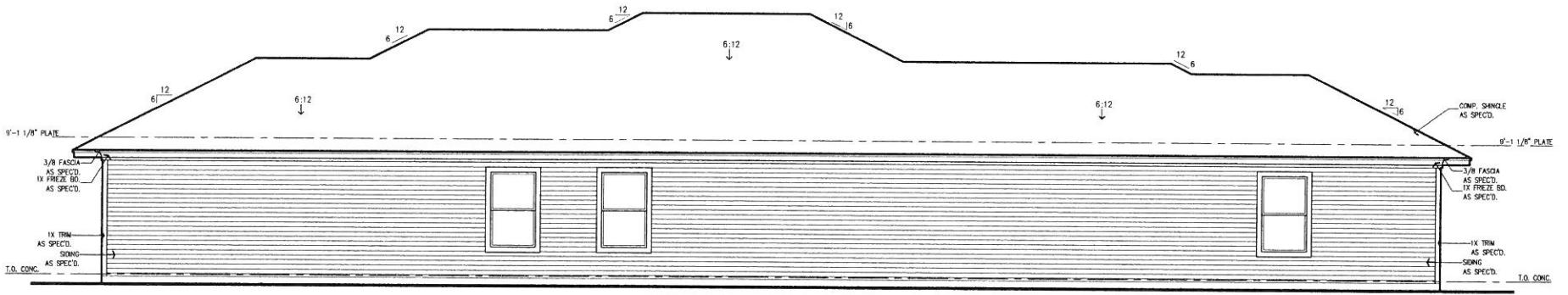
Z 2020-012

SHEET NO. A1 OF 15	ISSUED FOR REVIEW 02/06/2020	REVISIONS:	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR: DESIGN & DRAFTING GROUP SERVICES ADDRESS: 132 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	
			ELEVATION: A GARAGE: FRONT ENTRY		

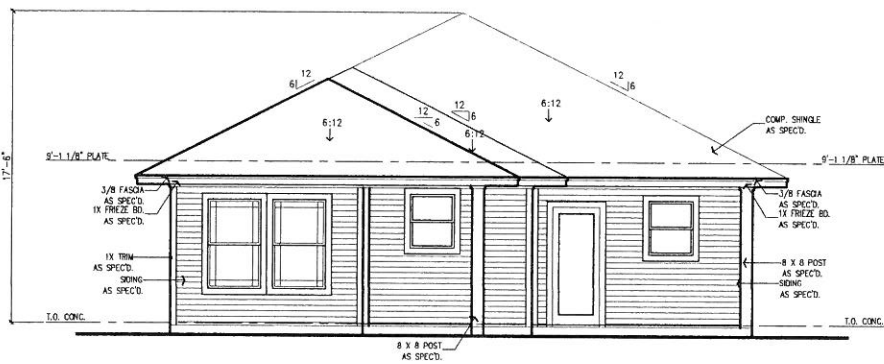
MATERIAL AREA TABULATIONS										
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL
Front Elevation	0	S.F.	0.00%	0	S.F.	0.00%	64	S.F.	100.00%	64 S.F.
Right Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	622	S.F.	100.00%	622 S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	133	S.F.	100.00%	133 S.F.
Left Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	532	S.F.	100.00%	532 S.F.
Total Area	0	S.F.		0	S.F.		1,351	S.F.		1,351 S.F.
Total Brick Area							0	S.F.		0.00%
Total Stone Area							0	S.F.		0.00%
Total Siding Area							1,351	S.F.		100.00%
Overall Width = 39'-11"					Overall Depth = 61'-6"					



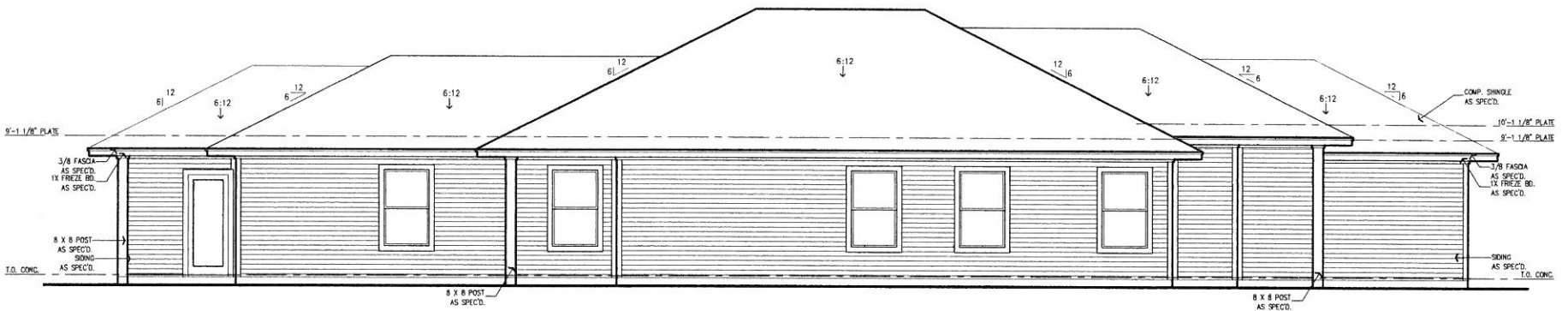
1 ELEVATION A
A3 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION A
A3 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION A
A3 REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4 ELEVATION A
A3 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO.
A3
OF
15

LULLIAN CUSTOM HOMES 2017
DRAWN BY:
DDSG-AA
ISSUED FOR REVIEW
02/06/2020

REVISIONS:

DESIGN PLAN NUMBER:
N/S
ELEVATION-A
GARAGE: FRONT ENTRY

NEW RESIDENCE FOR:
DESIGN & DRAFTING GROUP SERVICES
ADDRESS: 132 E. MAIN STREET
SUITE 202
GRAND PRAIRIE, TX 75050



Adjacent Housing Attributes

Address	Year Built	House SF	Accessory Building SF	Exterior Materials
703 Sherman Street	1980	980	-	Brick
704 Sherman Street	1980	980	-	Wood Siding
705 Sherman Street	1994	1,350	117	Brick and Hardi-Board Siding
707 Sherman Street	2007	1,494	-	Brick and Hardi-Board Siding
708 Sherman Street	1974	1,400	480	Wood Siding
709 Sherman Street	2007	1,494	40	Brick and Hardi-Board Siding
710 Sherman Street	1994	1,200	-	Hardi-Board Siding
713 Sherman Street	1990	1,896	-	Brick
Averages:	1991	1,349	610	



703 Sherman Street



704 Sherman Street



705 Sherman Street



707 Sherman Street



708 Sherman Street



709 Sherman Street



710 Sherman Street



713 Sherman Street

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1030-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request Ryszard M. Waszczuk for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1030-acre parcel of land being described as Lot 4, Block 111, B. F. Boydstud Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 706 Sherman Street

Legal Description: Lot 4, Block 111, B. F. Boydston Addition

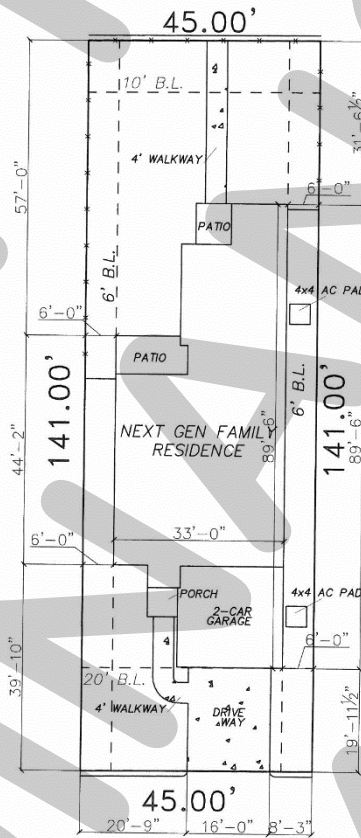


**Exhibit 'B':
Residential Plot Plan**



NORTH
SCALE: 1" = 20'-0"

LAMAR STREET



SHERMAN STREET

Z2020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

DATE: _____
NOTES:

LEGEND	DRAINAGE FLOW	B.L. - BUILDING LINE
	PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
CURLEX	S.S.E. - SANITARY SEWER EASEMENT	
RETAINING WALL	T.E. - TRANSFORMER EASEMENT	
REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT	
REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
	* - EXPOSED AGGREGATE CONCRETE	

BUILDER: RICHARD EXPO.	DATE: 02/07/20
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

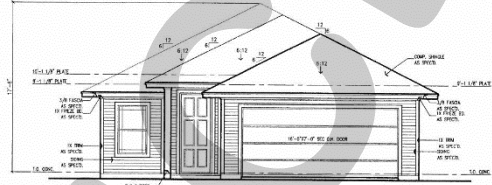
PLOT PLAN

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL. ARCHITECTURAL DEPARTMENT PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF TOES AND ALL PLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE CITY OF ROCKWALL. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY ALL UTILITY LOCATIONS.

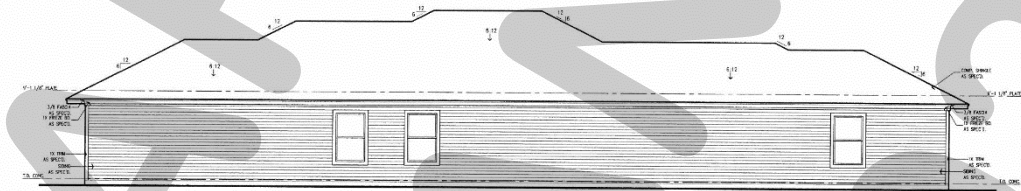
Exhibit 'C': Building Elevations

MATERIAL AREA TABULATIONS					
	BRICK	STONE	STUCCO	SPONGE	TOTAL
Front Elevation	0 S.F.	0.00%	0 S.F.	0.00%	64 S.F.
Right Side Elevation	0 S.F.	0.00%	0 S.F.	0.00%	622 S.F.
Rear Elevation	0 S.F.	0.00%	0 S.F.	0.00%	133 S.F.
Left Side Elevation	0 S.F.	0.00%	0 S.F.	0.00%	432 S.F.
Total Area	0 S.F.	0.00%	0 S.F.	0.00%	1,351 S.F.
Total Brick Area	0 S.F.	0.00%	0 S.F.	0.00%	0.00%
Total Stone Area	0 S.F.	0.00%	0 S.F.	0.00%	0.00%
Total Stucco Area	0 S.F.	0.00%	0 S.F.	0.00%	0.00%
Total Siding Area	1,351 S.F.	100.00%	0 S.F.	0.00%	1,351 S.F.

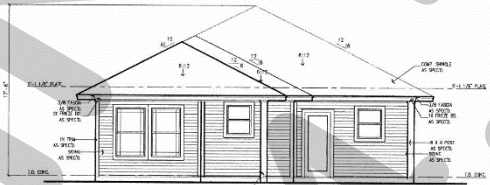
Overall Width = 32'-11" Overall Depth = 61'-8"



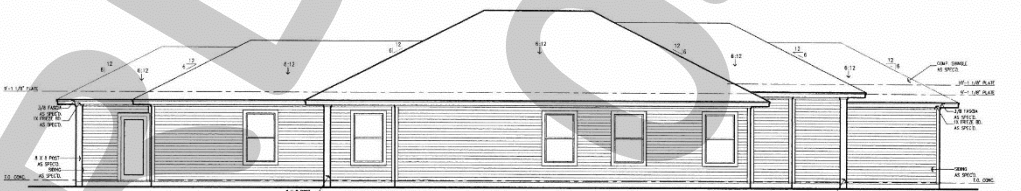
1
A3
ELEVATION A
FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2
A3
ELEVATION A
RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3
A3
ELEVATION A
REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4
A3
ELEVATION A
LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO. A3 OF 15	ISSUED FOR REVIEW 10/06/2020	DESIGNER DDG-AA	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR DESIGN & DRAFTING GROUP SERVICES ADDRESS: 122 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	
	ISSUED FOR REVIEW 10/06/2020		ELEVATION A GARAGE FRONT ENTRY		

CITY OF ROCKWALL

ORDINANCE NO. 20-17

SPECIFIC USE PERMIT NO. S-220

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1030-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request Ryszard M. Waszczuk for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1030-acre parcel of land being described as Lot 4, Block 111, B. F. Boydstud Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.**



Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 706 Sherman Street
Legal Description: Lot 4, Block 111, B. F. Boydston Addition



**Exhibit 'B':
Residential Plot Plan**



NORTH
SCALE: 1" = 20'-0"

LAMAR STREET



SHERMAN STREET

Z2020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DWELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

DATE: _____

NOTES:

LEGEND	DRAINAGE FLOW	B.L. - BUILDING LINE D.E. - DRAINAGE EASEMENT P.A.E. - PEDESTRIAN ACCESS EASEMENT S.S.E. - SANITARY SEWER EASEMENT T.E. - TRANSFORMER EASEMENT U.E. - UTILITY EASEMENT W.M.E. - WALL MAINT. EASEMENT M.E. - MAINTENANCE EASEMENT V.E. - VISIBILITY EASEMENT * - EXPOSED AGGREGATE CONCRETE
	PROPOSED FENCE	
EXISTING FENCE	CURLEX	
RETAINING WALL	REQUIRED TREE PLANTING	
REQUIRED BUSH		

BUILDER: RICHARD EXPO.	DATE: 02/07/20
ADDRESS: ROCKWALL	DRAWN BY: DDSG-A.A
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN

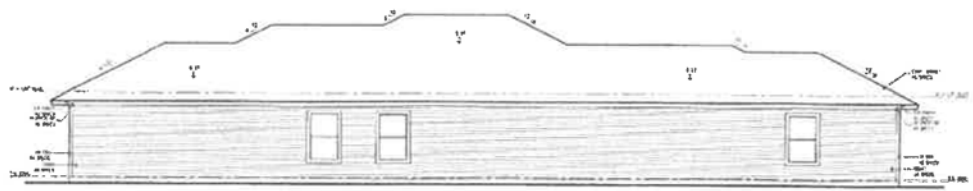
NOTE: ARCHITECTURAL PLAN TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY SCHEDULED ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY BASE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL LATER REVISIONS OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAN. PLEASE CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE CITY'S UTILITY SERVICES. FINAL REVIEW WILL SHOW PLACEMENT OF HOUSE AND ALL PLANTWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. PLANTWORK PLANT & BUSHES PLANTING.

Exhibit 'C': Building Elevations

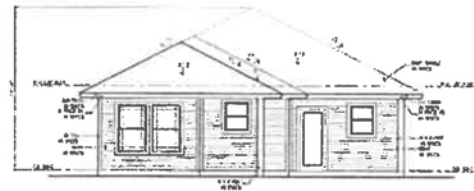
WATER USE AREA OPERATIONS	
Item	Description
1	Water
2	Water
3	Water
4	Water
5	Water
6	Water
7	Water
8	Water
9	Water
10	Water
11	Water
12	Water
13	Water
14	Water
15	Water
16	Water
17	Water
18	Water
19	Water
20	Water



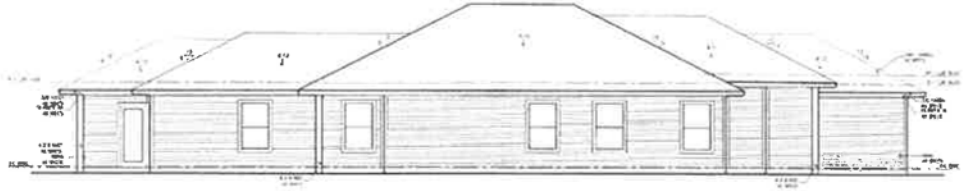
1 ELEVATION A
FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION A
RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3 ELEVATION A
REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4 ELEVATION A
LEFT ELEVATION
SCALE: 3/32" = 1'-0"

2 2020-012

SHEETING		PROJECT	PROJECT NUMBER	DATE	DESIGNER
A3	DEVELOPER: 2020-012	706 SHERMAN ST.	N/S	09/15/20	DESIGN & DRAFTING GROUP SERVICES
15	ISSUED FOR REVIEW		ELEVATION A GARAGE FRONT ENTRY		ADDRESS: 601 E. MAIN STREET SUITE 200 GARBO P.O. BOX 75590
					DDS GROUP

Lee, Henry

From: Miller, Ryan
Sent: Wednesday, April 15, 2020 5:25 PM
To: 'richardexpo@hotmail.com'
Subject: Comments for Case No. Z2020-012
Attachments: Draft Ordinance.pdf; Project Comments.pdf

Mr. Expo ... Attached are the comments and draft ordinance for you Specific Use Permit (SUP) case. Please review the draft ordinance and let me know if you have any issues with it prior to the Planning and Zoning Commission meeting on April 28th. The majority of the comments are informational and there is nothing that you really need to do beyond reviewing the ordinance. This case will also go to the City Council on May 4th. We will get you more information on how those meetings will be held prior to the meeting. Also, your previous case manager, Mr. Brooks, is no longer with the City so please send any correspondence to me. On a final note, I wanted to thank you for your patience with our updated virtual process. Hopefully we will have all the bugs worked out prior to the April 28th meeting. Thanks and please let me know if you need anything. Thanks.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

Lee, Henry

From: Gonzales, David
Sent: Monday, May 4, 2020 9:22 AM
To: Gonzales, David
Cc: Miller, Ryan
Subject: City Council Public Hearing Tonight

Good morning Applicants,

The Rockwall City Council meeting will be held "in person" this evening at 6:00 p.m. in the Council Chambers. However, in lieu of attending in person, you may join remotely using Zoom Virtual Meeting. Here are the instructions and the link for registering via Zoom:

ZOOM REMOTE CONFERENCING INSTRUCTIONS

Register in advance to participate in the City Council meeting.

When: May 4, 2020 - 6:00 PM Central Time

Topic: Rockwall City Council Meeting - May 4th, 2020

Register in advance for this (audio only) webinar:

https://us02web.zoom.us/webinar/register/WN_syehSvUySz6K9LOeLeERlg

After registering, you will receive a confirmation email containing information about joining the meeting.

NOTE: If calling in, press * 9 to request to speak or to cancel your request.

If you have any questions, please do not hesitate to contact staff.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER

PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6488 OFFICE

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)



May 28, 2020

TO: Richard Expo
1536 Timber Ridge Drive
Rockwall, TX 75032

CC: Vartan Jimejian
33171 Elisa Drive
Dana Point, CA 92629

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2020-012; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

Mr. Expo:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on May 18, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 28, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

City Council

On May 4, 2020, the City Council made a motion to approve the Specific Use Permit (SUP) with staff conditions. The motion was approved by a vote of 4-2, with Councilmembers Fowler and Hohenshelt dissenting, and one (1) vacancy [1st Reading].

On May 18, 2020, the City Council made a motion to approve the Specific Use Permit (SUP) with staff conditions. The motion was approved by a vote of 4-2, with Councilmembers Fowler and Hohenshelt dissenting, and one (1) vacancy [2nd Reading].

Included with this letter is a copy of Ordinance No. 20-17, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "R Miller".

Ryan Miller, AICP
Director of Planning and Zoning