



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 22020-010 P&Z DATE 04/14/20 CC DATE 05/04/20 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input checked="" type="checkbox"/>	HOA MAP
<input checked="" type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
<b>NOTES:</b> _____	
_____	
_____	
_____	
_____	
_____	
<b>ZONING MAP UPDATED</b> _____	



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22020-010

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address 204 Lake hill Dr Rockwall 75087  
 Subdivision Lakeridge Park Lot 17 Block B  
 General Location \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning	<u>SF2</u>	Current Use	<u>Single Family</u>
Proposed Zoning	<u>SF2</u>	Proposed Use	<u>Single Family w/Accessory Bldg</u>
Acreage	<u>0.28</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>N/C</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> Owner <u>Edwin Echols</u>	<input type="checkbox"/> Applicant
Contact Person <u>self</u>	Contact Person
Address <u>204 Lakehill Dr.</u>	Address
City, State & Zip <u>Rockwall Tx 75087</u>	City, State & Zip
Phone <u>469 261 2483</u>	Phone
E-Mail <u>ed.echols@hotmail.com</u>	E-Mail

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Edwin Echols [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745  
Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/20/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/26/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/26/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 4/14/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** Z2020-010  
**Project Name:** SUP for 204 Lakehill Dr.  
**Project Type:** ZONING  
**Applicant Name:** [APPLICANT]  
**Owner Name:** ECHOLS, EDWIN & BRITTEN  
**Project Description:**



# DEVELOPMENT APPLICATION

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Owner's Signature

Notary Public in and for the State of Texas

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0 20 40 80 120 160 Feet

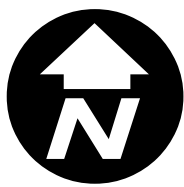
Z2020-010- SUP FOR 204 LAKEHILL DRIVE  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

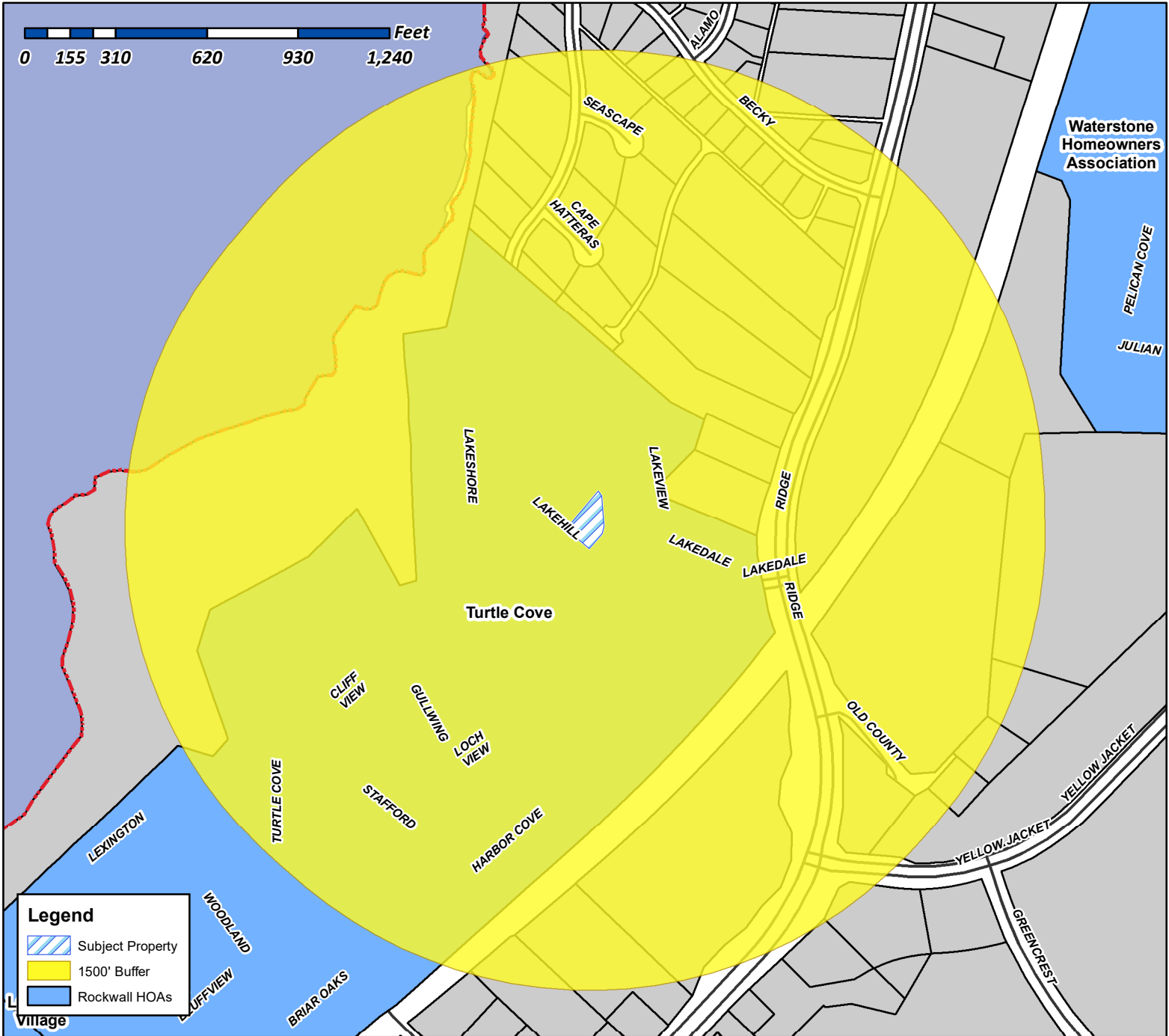




# City of Rockwall

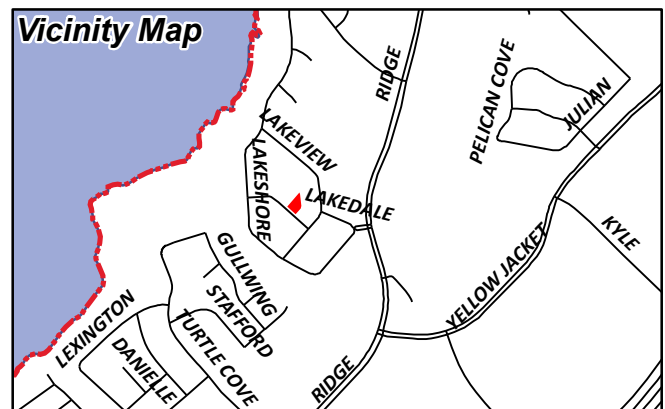
Planning & Zoning Department  
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**Case Number:** Z2020-010  
**Case Name:** SUP for 204 Lakehill Dr.  
**Case Type:** Specific Use Permit  
**Zoning:** Single Family 10 (SF-10) District  
**Case Address:** 204 Lakehill Dr.

**Date Created:** 3/24/2020  
 For Questions on this Case Call (972) 771-7745

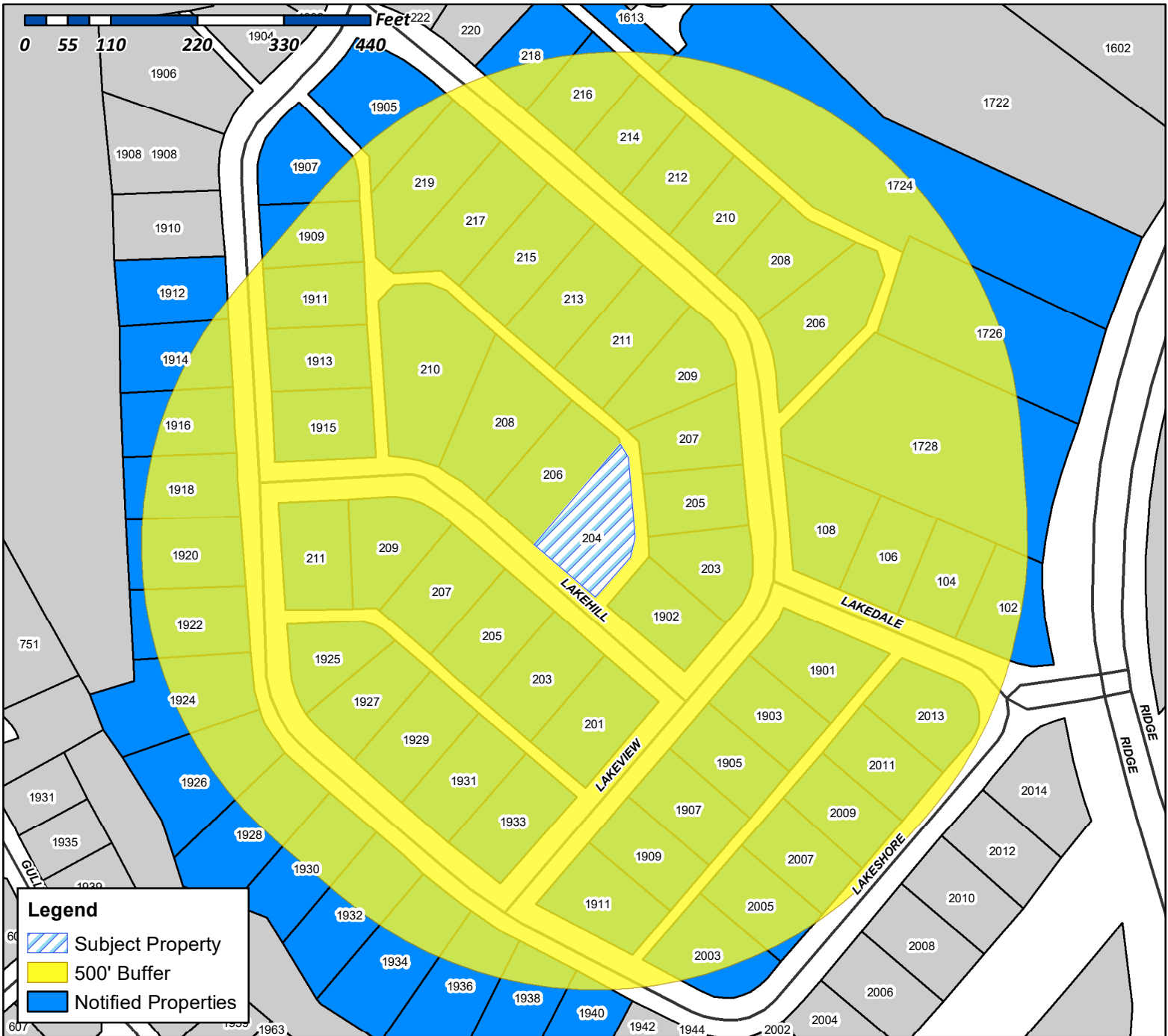




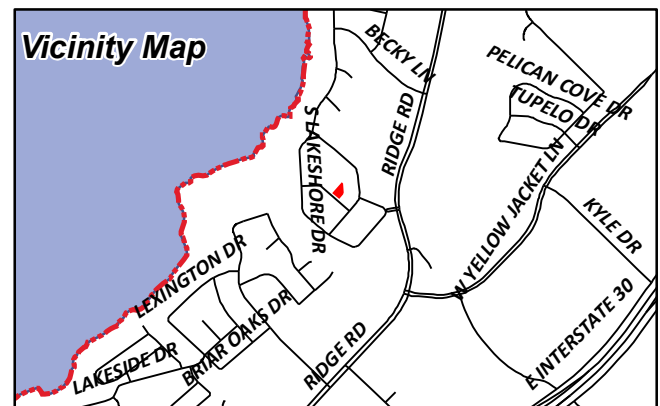
# City of Rockwall

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Rockwall, Texas 75087  
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**Case Address:** 204 Lakehill Dr.



**Date Created:** 3/24/2020

**For Questions on this Case Call (972) 771-7745**

CURRENT RESIDENT  
LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
102 LAKEDALE  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

MCCULLAR EMILY JEAN  
104 LAKEDALE DRIVE  
ROCKWALL, TX 75087

MILLER KATIE BROOKE AND PETER JR  
106 LAKEDALE DR  
ROCKWALL, TX 75087

PECK RUTH H  
108 LAKEDALE DR  
ROCKWALL, TX 75087

SCHULTZ STEVEN LUKE  
1333 OLD SPANISH TRAIL APT 4154  
HOUSTON, TX 77054

NOBLE DAVID D & LESLIE A  
1613 CAPE HATTERAS PL  
ROCKWALL, TX 75087

CASSELMAN STEVEN AND JEANNETTE  
1724 RIDGE ROAD  
ROCKWALL, TX 75087

PALOS MICKEY SUE &  
CODY S & MARIA T LOWERY  
1726 RIDGE RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1728 RIDGE  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
180 N STETSON AVE SUITE 3650  
CHICAGO, IL 60601

PETTIGREW TERESA VIOLA  
1901 LAKEVIEW DR  
ROCKWALL, TX 75087

FULKERSON CHARLES D & LANA C  
1902 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1903 LAKEVIEW  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1905 LAKESHORE  
ROCKWALL, TX 75087

KERN ROBERT JR & LORNA  
1905 LAKEVIEW DR  
ROCKWALL, TX 75087

BALLARD KEVIN L ETUX  
1907 LAKEVIEW DR  
ROCKWALL, TX 75087

COWAN JOHNNY L ET UX  
1907 S LAKESHORE DR  
ROCKWALL, TX 75087

LALUMIA JOE AND LAURA GAMBILL  
1909 LAKEVIEW DR  
ROCKWALL, TX 75087

MCADEN CURTIS D AND MELISSA L  
1909 S LAKESHORE DR  
ROCKWALL, TX 75087

CHURCH ADRIA AND COLT  
1911 LAKEVIEW DR  
ROCKWALL, TX 75087

CRANE GEORGE R  
1911 S LAKESHORE DR  
ROCKWALL, TX 75087

HOFFMAN MICHAEL AND ANGELA  
1912 S LAKESHORE ROAD  
ROCKWALL, TX 75087

FULBRIGHT CHRISTOPHER AND ANGELINE  
1913 S LAKESHORE DR  
ROCKWALL, TX 75087

PATTON JAMES DOUGLAS  
1914 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

MILLER DAVID M  
1915 S LAKESHORE DR  
ROCKWALL, TX 75087

MASSAR STACY L & BERNARD A  
1916 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPENCER GARY S  
1918 S LAKESHORE DR  
ROCKWALL, TX 75087

HARBIN ERIC S & STACEY R  
1920 S LAKESHORE DR  
ROCKWALL, TX 75087



TAYLOR LARRY S AND APRIL  
1922 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

LUIZ ALBERT H  
1924 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCLARD HARRY A  
1925 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPRING TRUMAN E JR AND JANE C  
1926 S LAKESHORE DR  
ROCKWALL, TX 75087

POST JEREMY AND JENNIFER  
1927 S LAKESHORE DR  
ROCKWALL, TX 75087

BAHN ERIC AND  
JANET JONES  
1928 S LAKESHORE DR  
ROCKWALL, TX 75087

WHITE JOHN N & FRANCES  
1929 LAKESHORE DR  
ROCKWALL, TX 75087

RAY CYNTHIA  
1930 S LAKESHORE DR  
ROCKWALL, TX 75087

STRACK KENNETH E & SHARON C TRUSTEES  
STRACK FAMILY LIVING TRUST  
1931 S LAKESHORE DR  
ROCKWALL, TX 75087

GOSH GUY P & REBECCA  
1932 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCAFFITY LLOYD R JR  
1933 S LAKESHORE DR  
ROCKWALL, TX 75087

TERRELL DEBRA  
1934 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE SAMUEL & MARION  
1936 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE RHONDA  
1938 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E  
1940 S LAKESHORE DR  
ROCKWALL, TX 75087

BOSWELL MICHAEL AND ANN  
2003 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

PADILLA KRIS AND JOE  
2005 LAKESHORE DRIVE  
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L  
2007 S LAKESHORE  
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND  
KIMBERLY LEE PETRIELLO  
2009 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

COOK PAUL W ETUX  
201 LAKEHILL DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2011 LAKESHORE  
ROCKWALL, TX 75087

FREEMAN C L  
2013 S LAKESHORE DR  
ROCKWALL, TX 75087

INGRAM KENNY DON  
203 LAKEHILL DR  
ROCKWALL, TX 75087

RIIS RICK LEE  
203 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

ECHOLS EDWIN & BRITTEN  
204 LAKEHILL DR  
ROCKWALL, TX 75087

KOLAR MARC AND MONICA A  
205 LAKEHILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
205 LAKEVIEW  
ROCKWALL, TX 75087

RICKERSON CHARLES & VIRGINIA RICKERSON  
206 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN  
206 LAKEVIEW DR  
ROCKWALL, TX 75087

STEGMAN SARAH A  
207 LAKEHILL DR  
ROCKWALL, TX 75087

BROYLES LYNN  
207 LAKEVIEW DR  
ROCKWALL, TX 75087

JOHNSON DAVID L & MELODY D  
208 LAKEHILL DR  
ROCKWALL, TX 75087

ESTES AMY RACHELLE & JOSHUA ELDEN  
208 LAKEVIEW DR  
ROCKWALL, TX 75087

STEVENS JOSHUA D  
209 LAKEHILL DR  
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE  
209 LAKEVIEW DR  
ROCKWALL, TX 75087

LARUE PATRICIA D & TIMOTHY L  
210 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SHELLITO SUSAN G  
210 LAKEVIEW DR  
ROCKWALL, TX 75087

MOORE MIKE T & DIANA  
211 LAKEHILL DR  
ROCKWALL, TX 75087

TURNER KENNETH K  
211 LAKEVIEW DR  
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R  
212 LAKEVIEW DR  
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R  
213 LAKEVIEW DR  
ROCKWALL, TX 75087

FENTON DONYELLE  
214 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM  
215 LAKEVIEW DR  
ROCKWALL, TX 75087

ODEN ELRA C  
216 LAKEVIEW DR  
ROCKWALL, TX 75087

MCCRACKEN SUSAN M  
217 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
218 LAKEVIEW  
ROCKWALL, TX 75087

BURKS JANETTA BETH  
219 LAKEVIEW DR  
ROCKWALL, TX 75087

JUNKER SHAWN W & LEANNE  
519 E. INTERSTATE 30 # 631  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

ALLEN DENNIS L & GLENNA L  
PO BOX 801161  
BALCH SPRINGS, TX 75180

RUTH DOWER LIVING TRUST DATED JUNE 3  
2014  
RUTH DOWER TRUSTEE  
PO BOX 871239  
MESQUITE, TX 75187

3/19/20

To City of Rockwall

From Edwin Echols  
204 Lakehill Dr 75087

SUBJECT Variance Request

I am in need of a workshop to enable wood working projects and moving power tools out of our garage. The design in mind is 14 x 28 to be on the west side of our driveway. Placement here may need a variance on the 6ft. property offset and the structure height limit of 15 ft.

I plan to keep the offset from the Alleyway approximately 14 ft even though Accessory structure allowance is 3 ft.

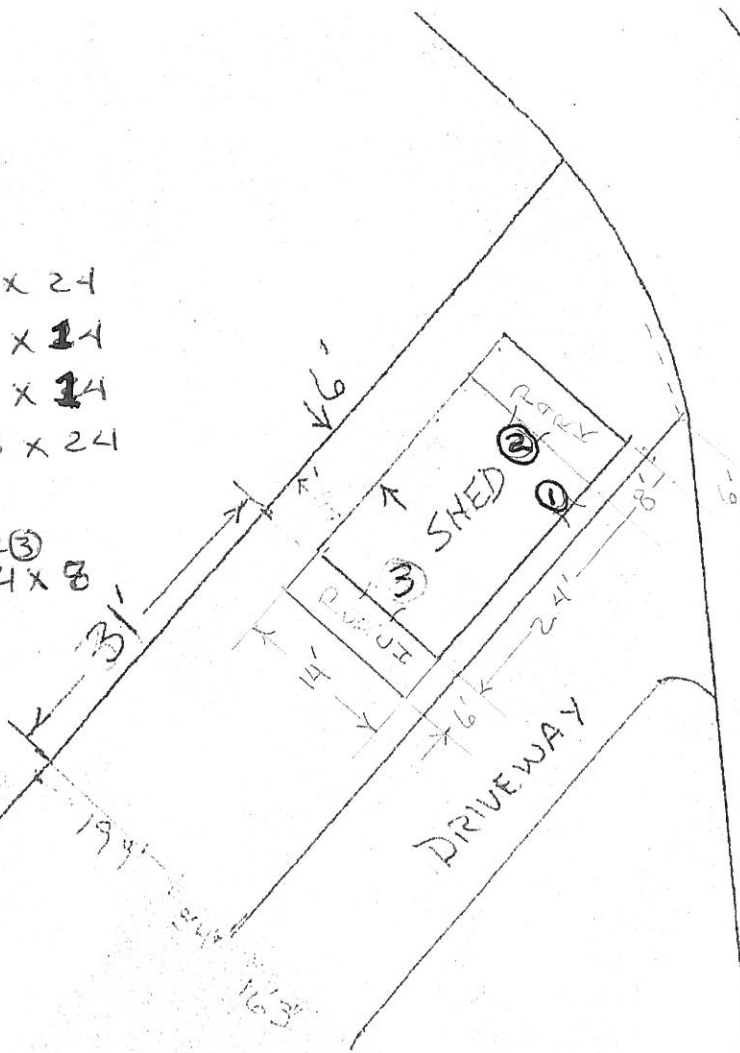
Thanks for your consideration

EM Echols



- SHED 14 x 24
- Park 8 x 14
- Porch 6 x 14
- SLAB 28 x 24
- Main door ①
- Roll UP DOORS ②+③ 4 x 8

18950

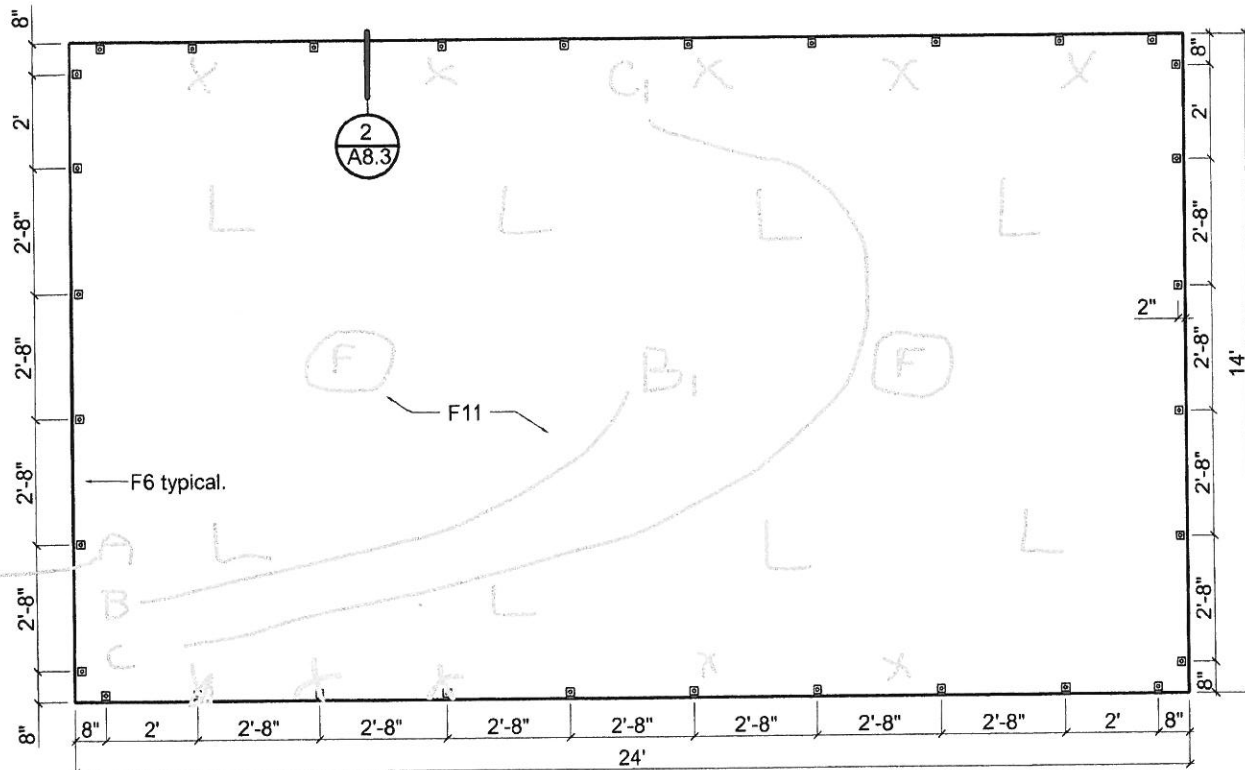


18949

204  
LAKEHILL

3- 2" Conduit  
 1 - to end of slab to "A" House to Submain  
 1 - to mid slab B-B, (120V SAW)  
 1 to mid West Wall (240V HVAC)

Drill to set anchors  
 w/ framing



**NOTES:**

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

**FOUNDATION MATERIALS**

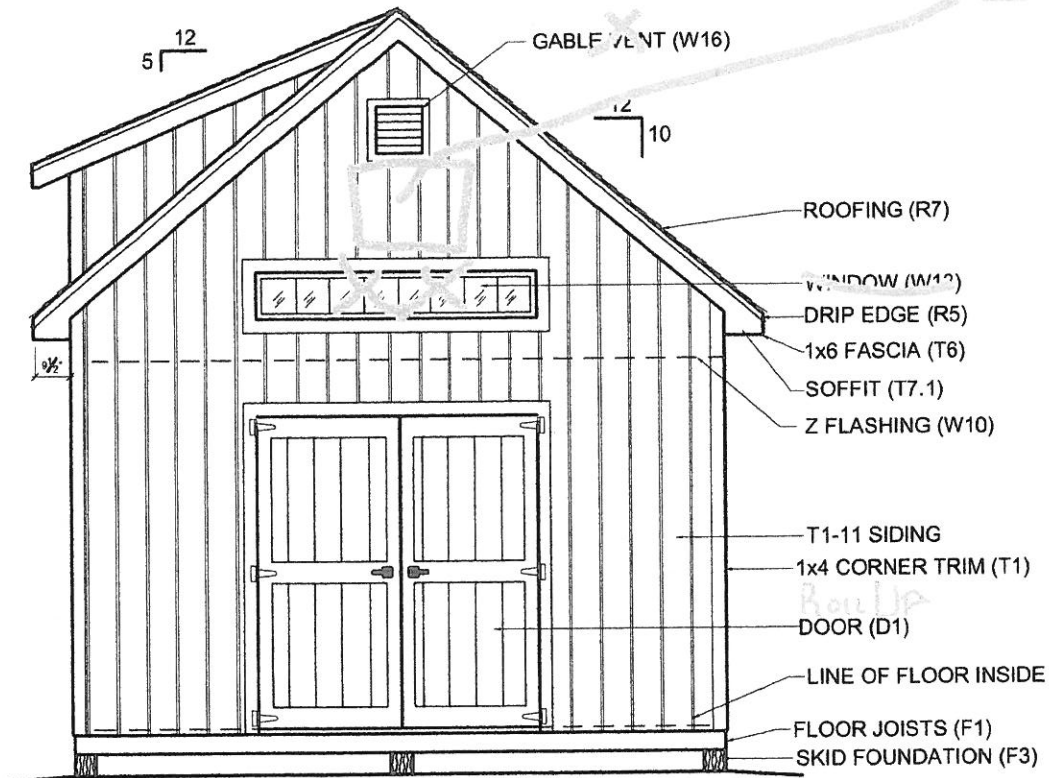
CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

**CONCRETE SLAB FLOOR PLAN**

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"  
 8 4' LED Shop lights - "L"  
 2 " " - Loft

2 Fans (F)



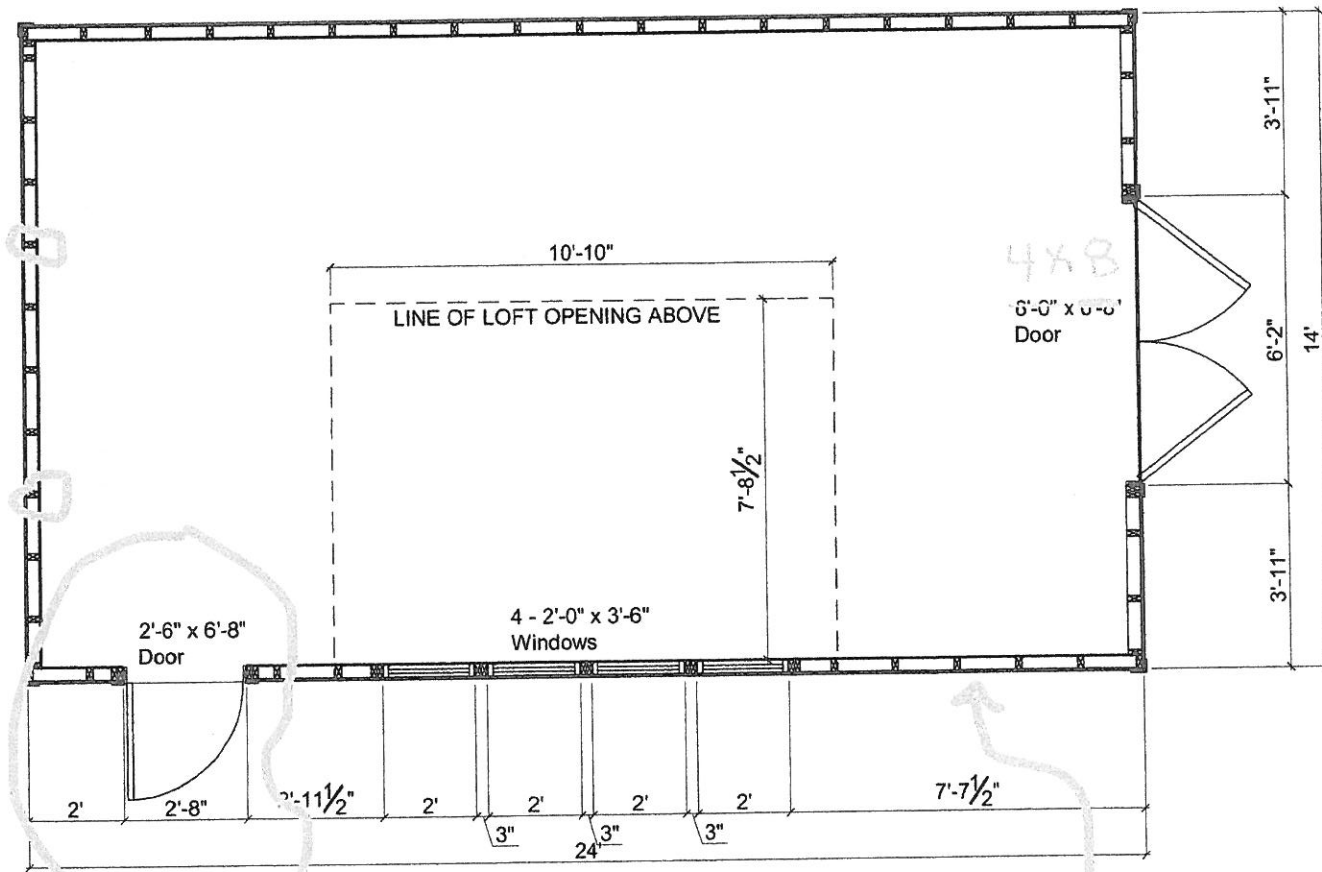
FRONT ELEVATION

SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1½"x1½"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	2010 Fixed Window	6'-0" x 1'-0"	1
W14	3016 Fixed window	3'-0" x 1'-6"	3
W15	Pre-made gable vent	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6068 Double door	6'-0" x 5'-0"	1

Ramp or stair materials are not shown

4x8  
Roll Up

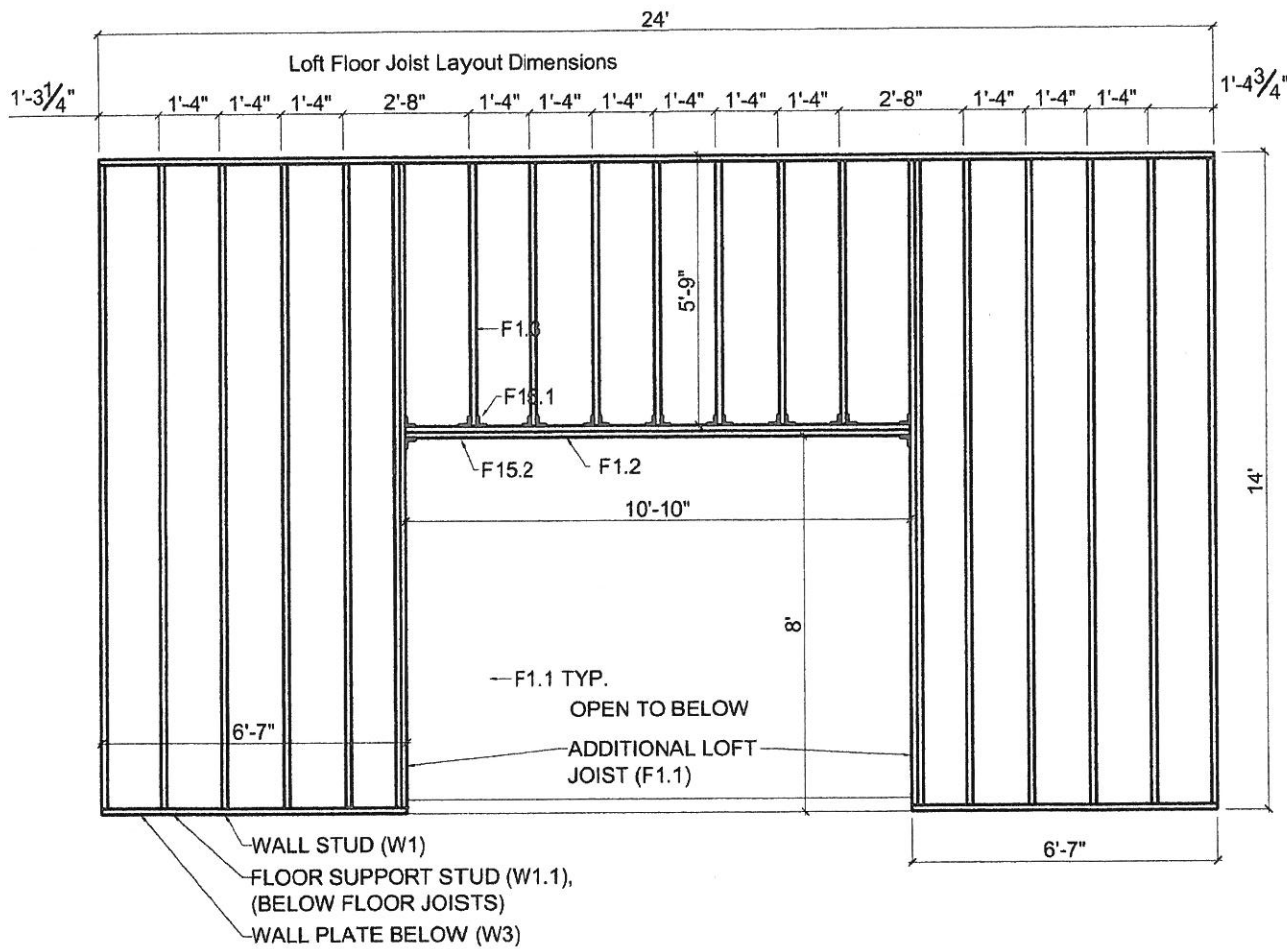


Rollup

FLOOR PLAN

1/4" = 1'-0" See wall framing plans for stud layout and material take off.

Reverse  
Wall  
Door on Right



**LOFT FLOOR JOIST PLAN**

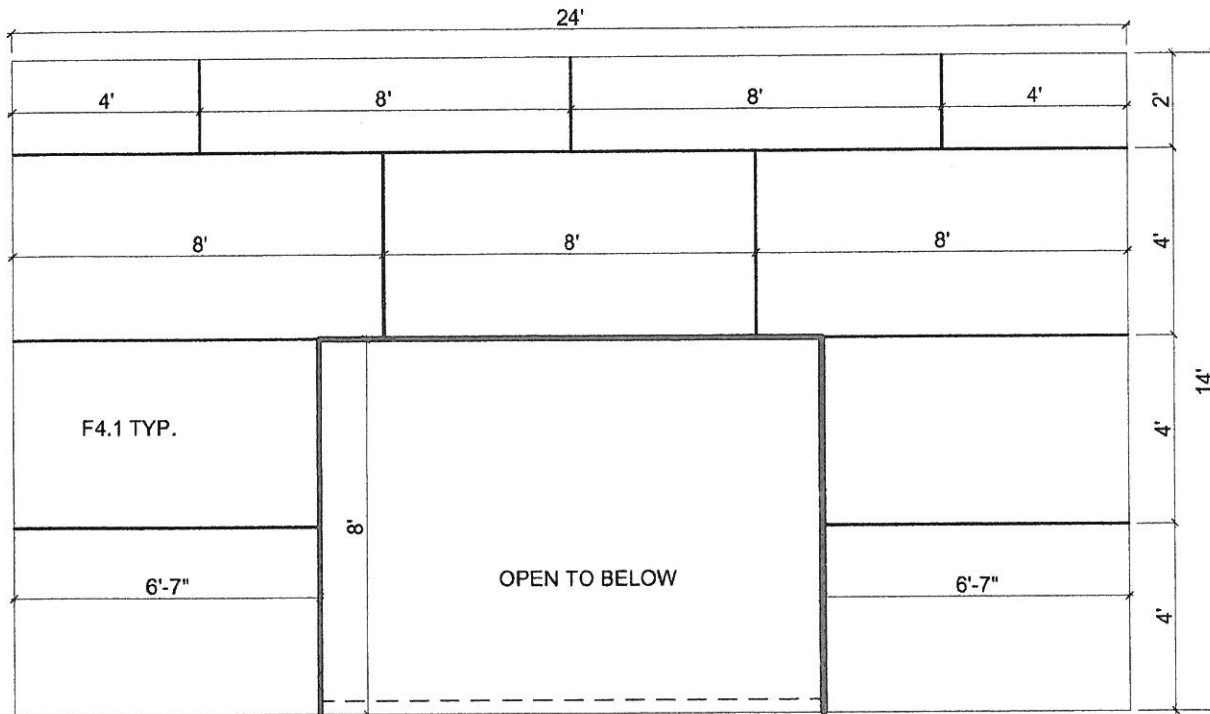
**LOFT FLOOR FRAMING MATERIALS**

CODE	DESCRIPTION	LENGTH	QTY.
F1.1	2x8 Loft Floor Joist	14'-0"	14
F1.2	2x8 Loft Floor Joist	12'-0"	2
F1.3	2x8 Loft Floor Joist	8'-0"	7
F4.1	Full Face O.S.B. T.&G.	4'x8'x3/4"	9
F15.1	Simpson Hanger	LUS26	7
F15.2	Simpson Hanger	LUS46	2

(NOTE: Use manufacturers recommended nails for Simpson Hangers)

NOTE: OWNER VERIFY DESIRED STRENGTH AND BOARDS TO ACHIEVE THAT STRENGTH FOR LOFT JOISTS)





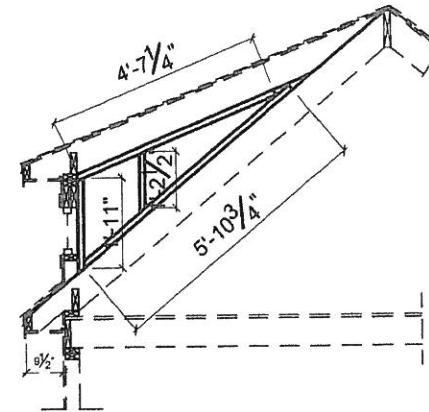
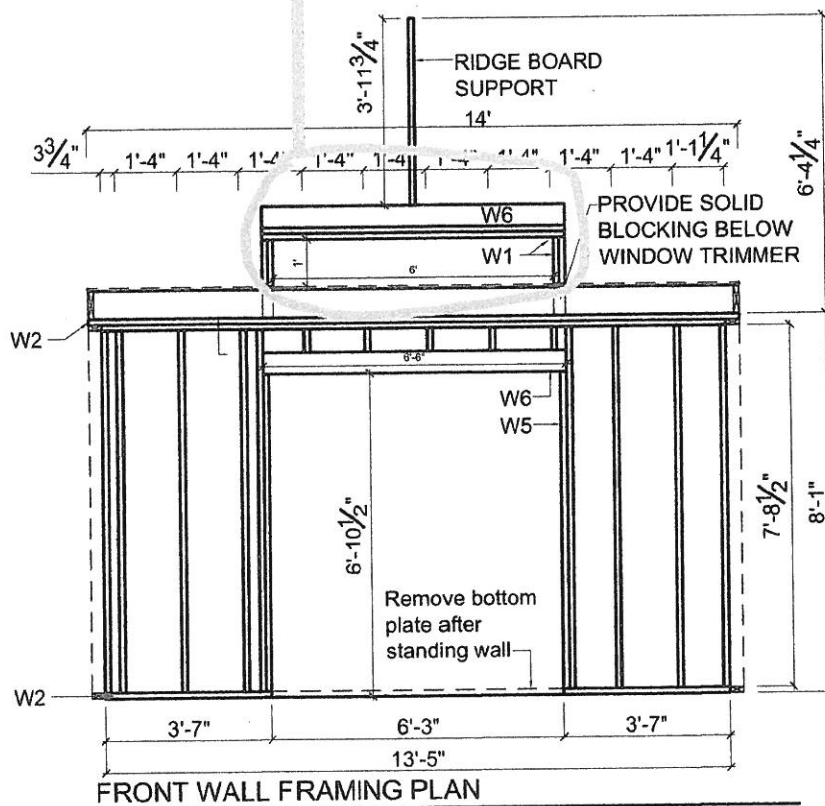
**LOFT FLOOR SHEETING PLAN**

**LOFT FLOOR FRAMING NOTES**

- UPPER FLOOR JOISTS (F1.1) MUST BE INSTALLED EVEN IF YOU DO NOT INTEND TO USE THE AREA AS STORAGE SPACE. THE JOISTS ACT AS A REINFORCEMENT TO HOLD THE WALLS SECURE.
- PROVIDE BLOCKING BETWEEN FLOOR JOIST ENDS
- NAIL FLOOR SHEETING EDGES AT 6" O.C., FIELD 12" O.C.
- INSTALL 2X4 PLATE ON FLOOR TO SUPPORT ROOF RAFTERS.

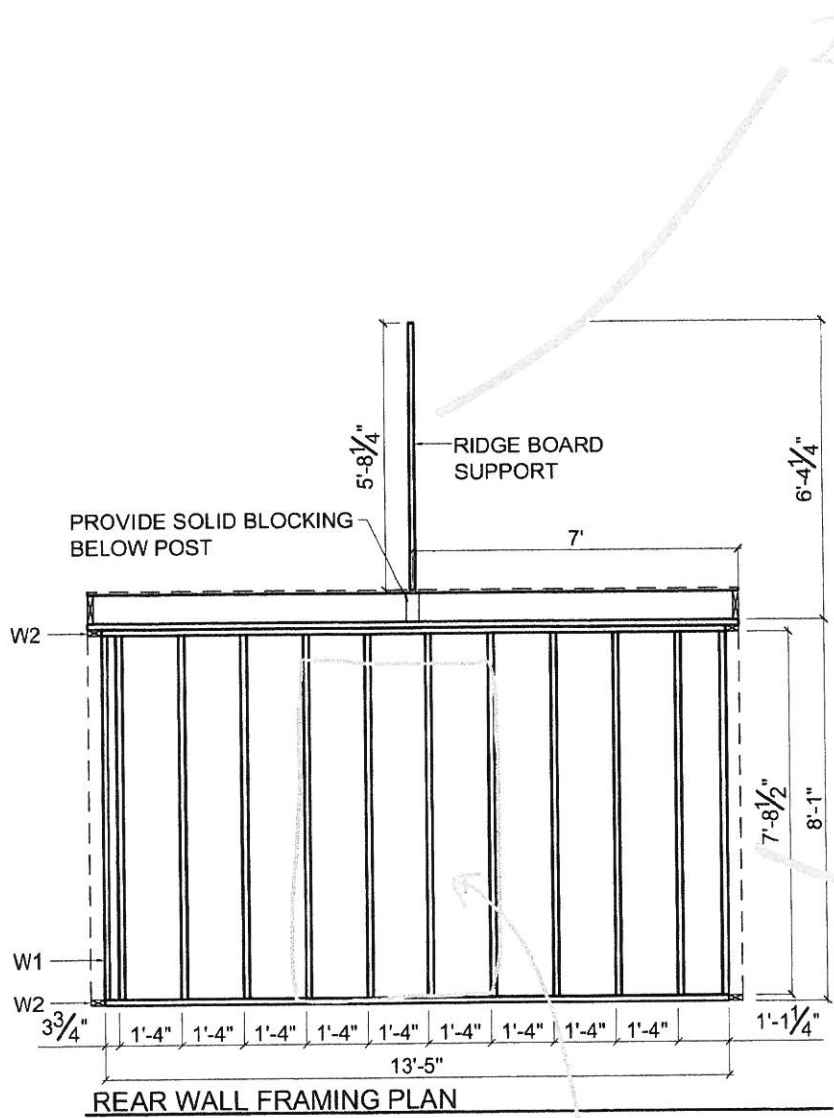


2x3 window



**UPPER SIDE WALL FRAMING PLAN**

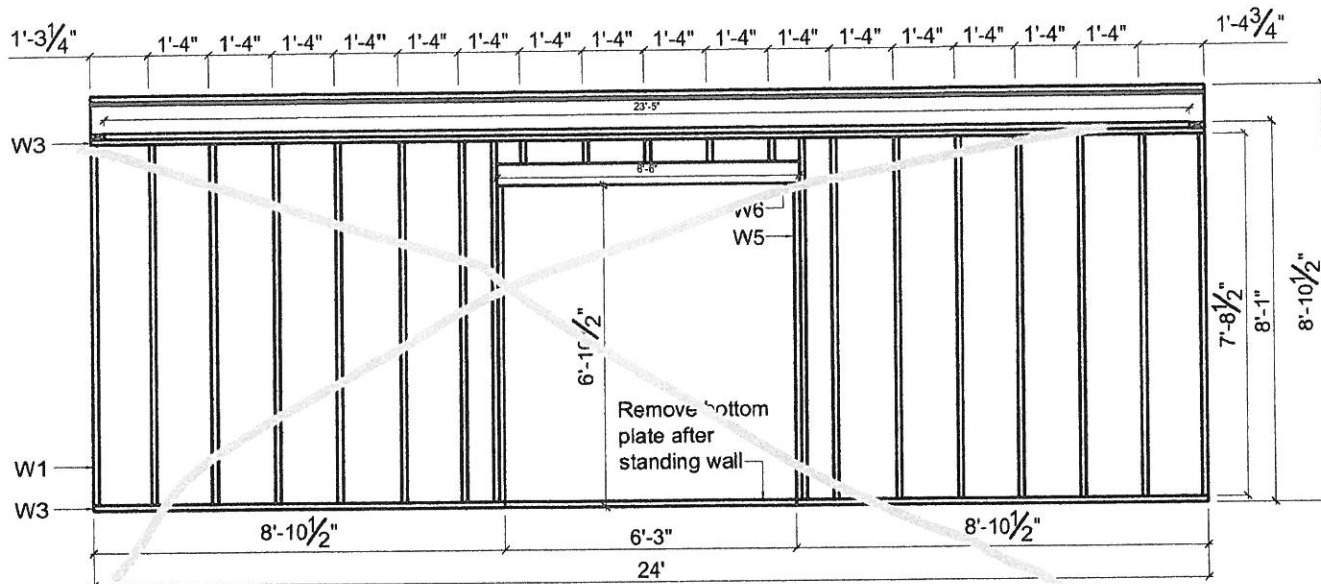
NAIL PONY WALL TO ROOF FRAMING AFTER ROOF IS INSTALLED.  
 VERTICAL STUDS = 4/12 TOP CUT, 10/12 BOTTOM CUTS



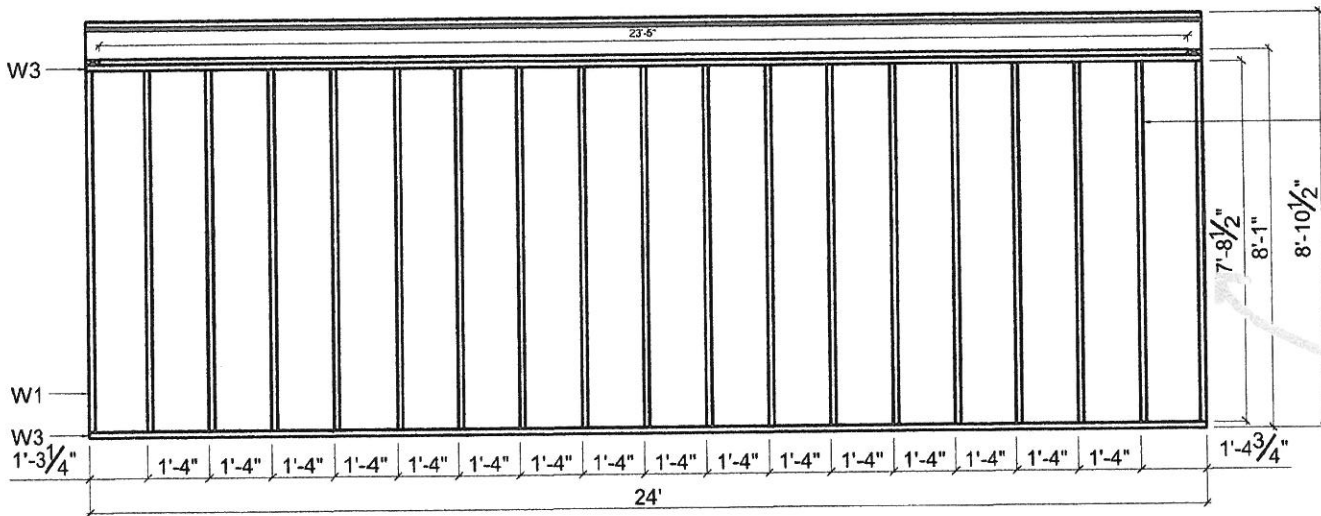
2x2 window

10' studs

4x8 Roll Up Door

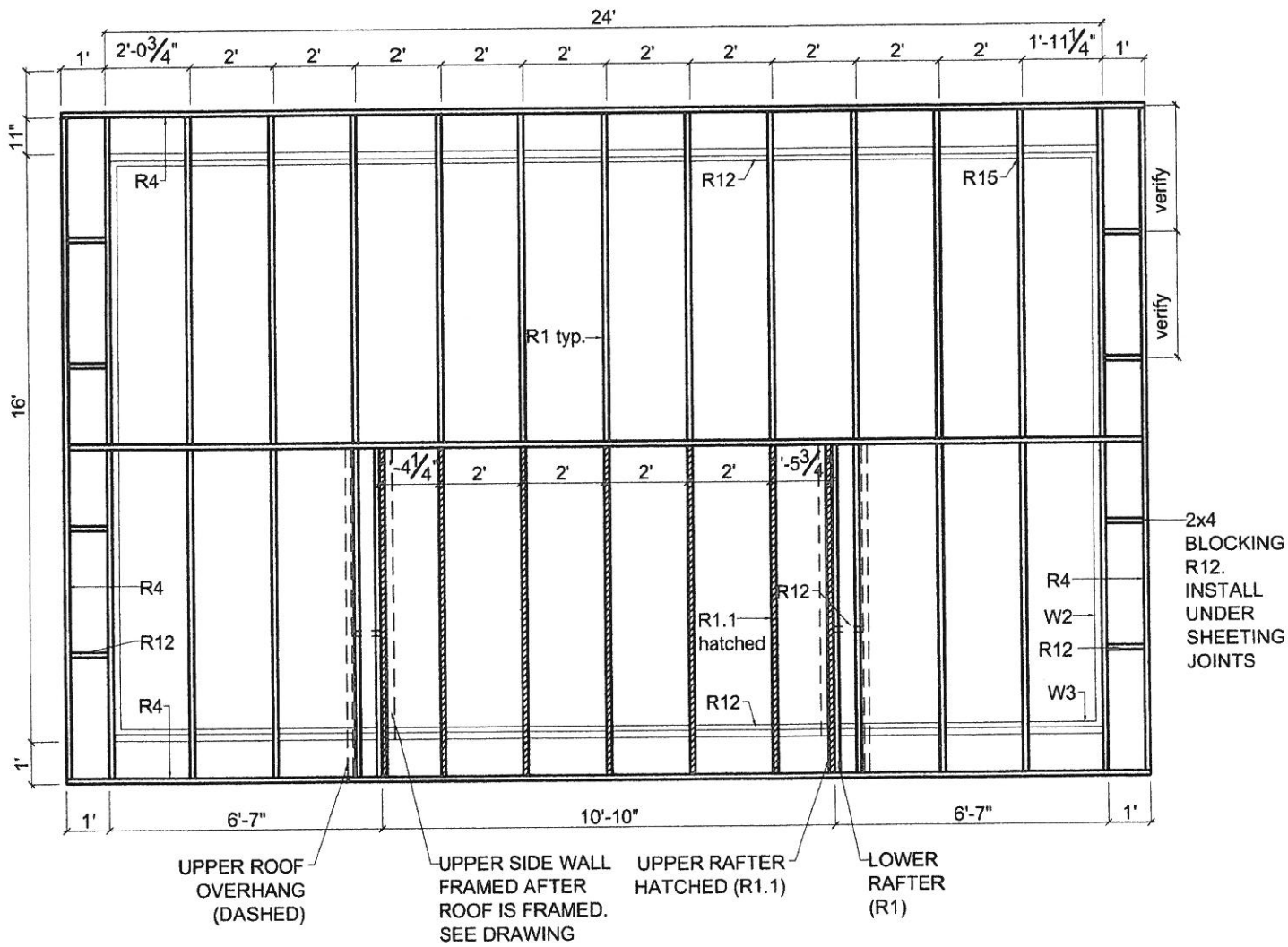


**ALTERNATE RIGHT WALL FRAMING PLAN**

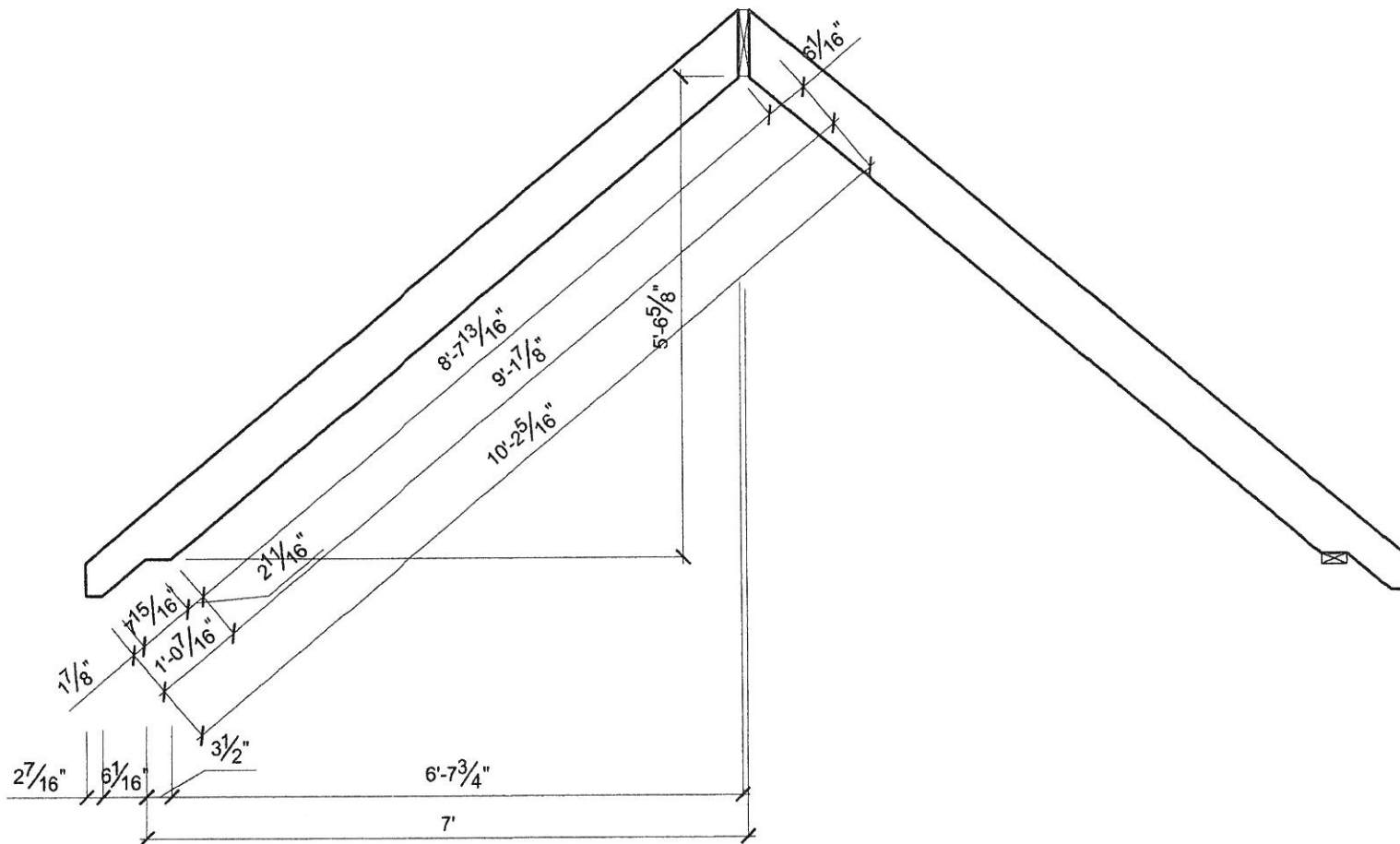


**RIGHT WALL FRAMING PLAN**

NOTE: WHEN STANDING WALLS MAKE SURE THAT THE STUDS IN THE LONG WALLS ARE ALIGNED WITH THE OPPOSING SIDE SO THAT THE LOFT FLOOR JOISTS WILL ATTACH TO THE SIDE OF THE WALL STUDS CORRECTLY.

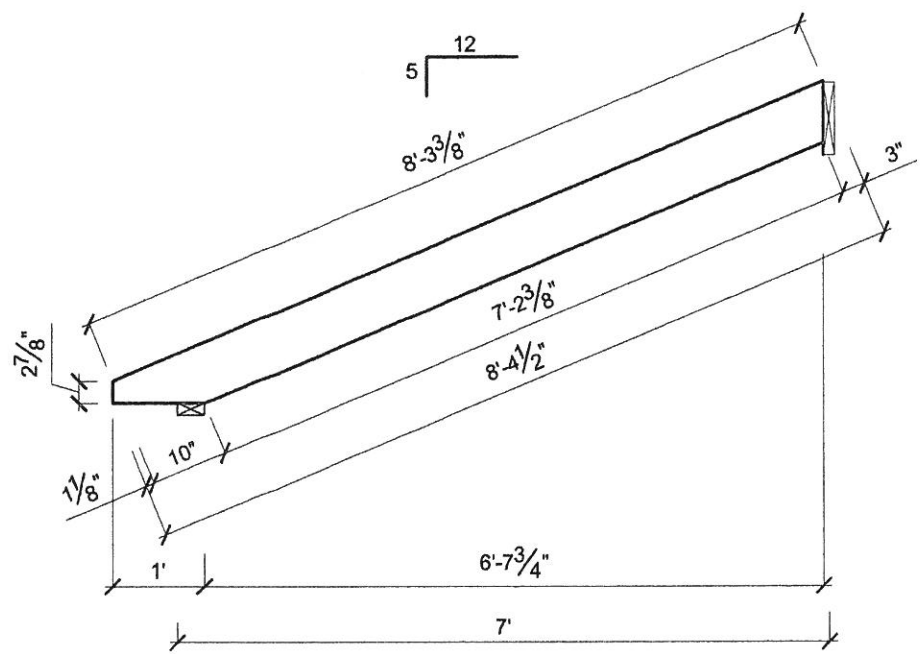


**ROOF FRAMING PLAN**



RAFTER DETAIL (R1) 14'-0" SPAN - 10/12 PITCH - RIDGE BOARD

$\frac{1}{2}" = 1'-0"$



**LOFT RAFTER DETAIL (R1.1) 14'-0" SPAN - 5/12 PITCH - RIDGE BOARD**

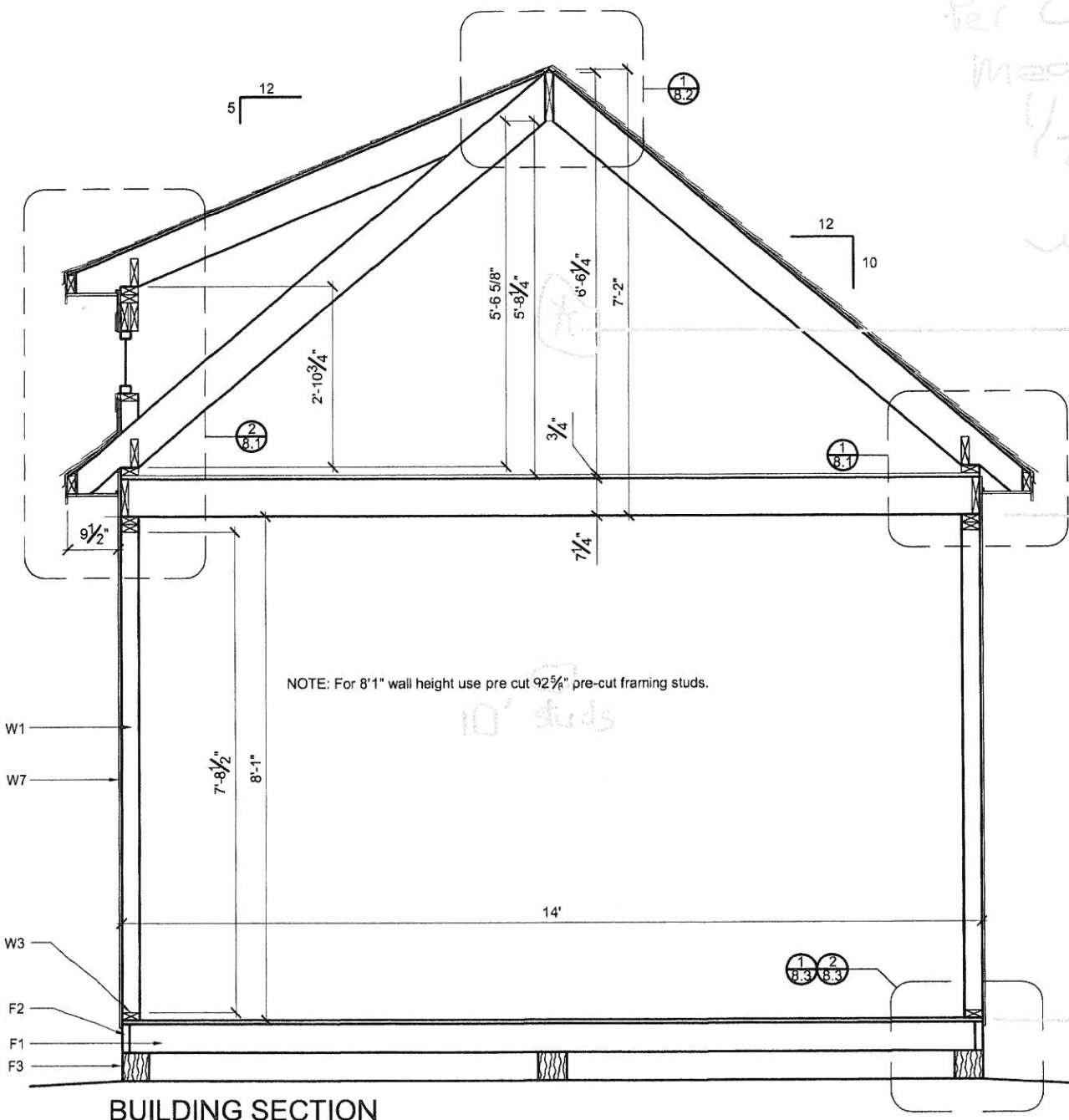
1/2" = 1'-0"



Per City -  
 Measure Height to  
 1/2 of Gable (\*)  
 w/ 10' studs 13-11 3/8

$$\frac{7'-2''}{2} = 3'-7''$$

10'-4 3/8



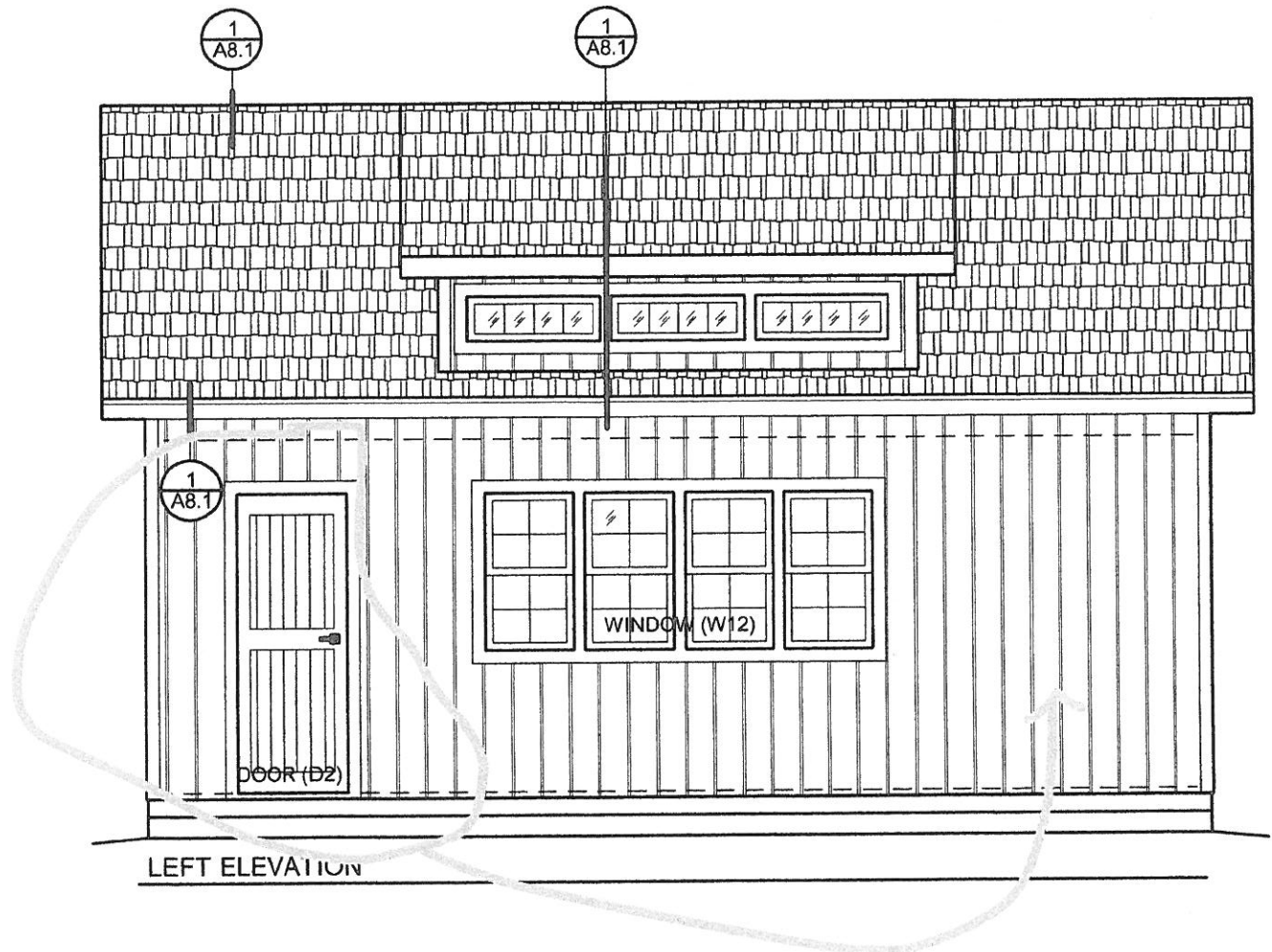
NOTE: For 8'1" wall height use pre cut 92 5/8" pre-cut framing studs.

10' studs

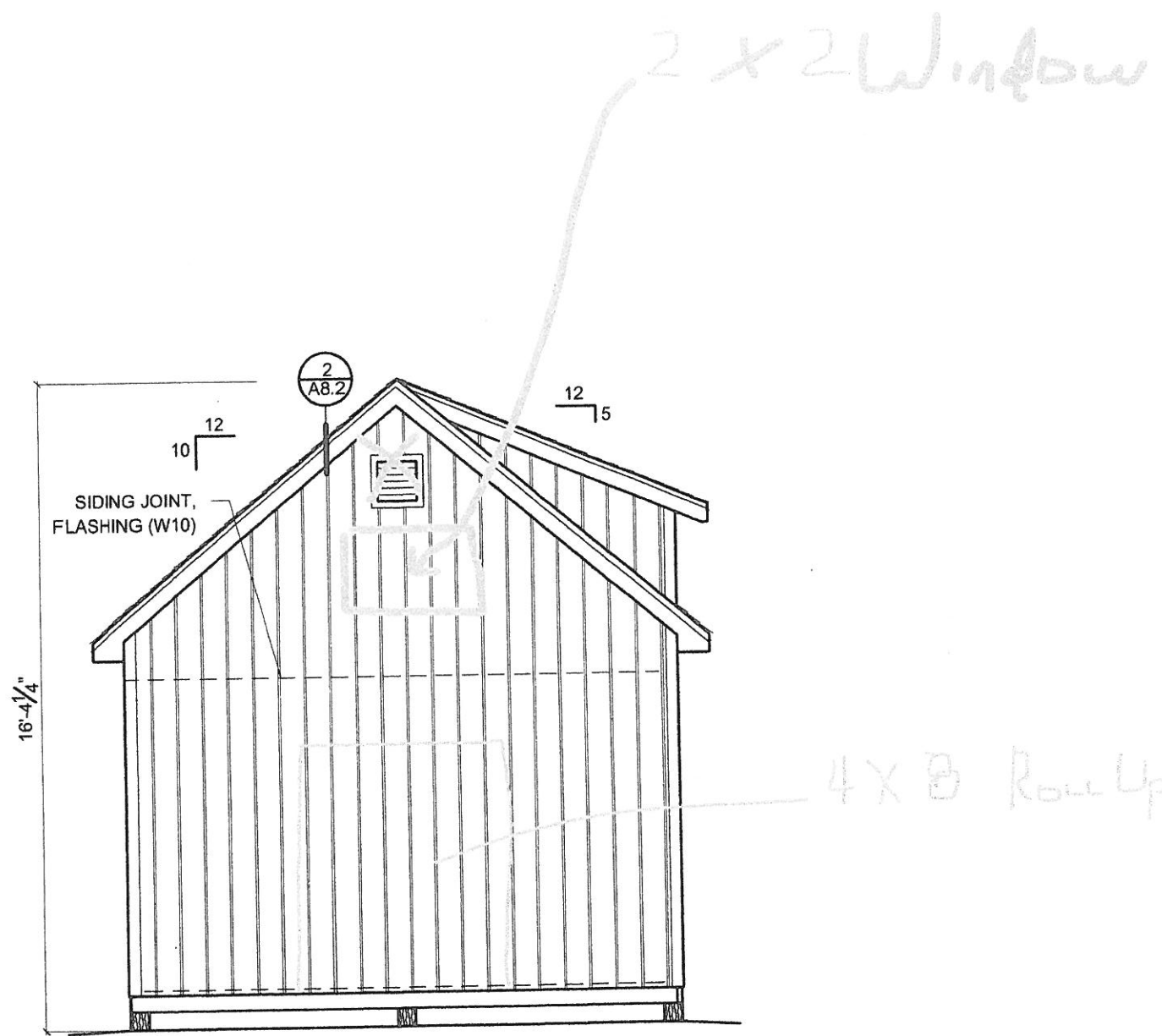
**BUILDING SECTION**

NOT TO SCALE: See floor and wall plans for material call out definitions.

**Section 8**



LEFT ELEVATION



2 x 2 Window

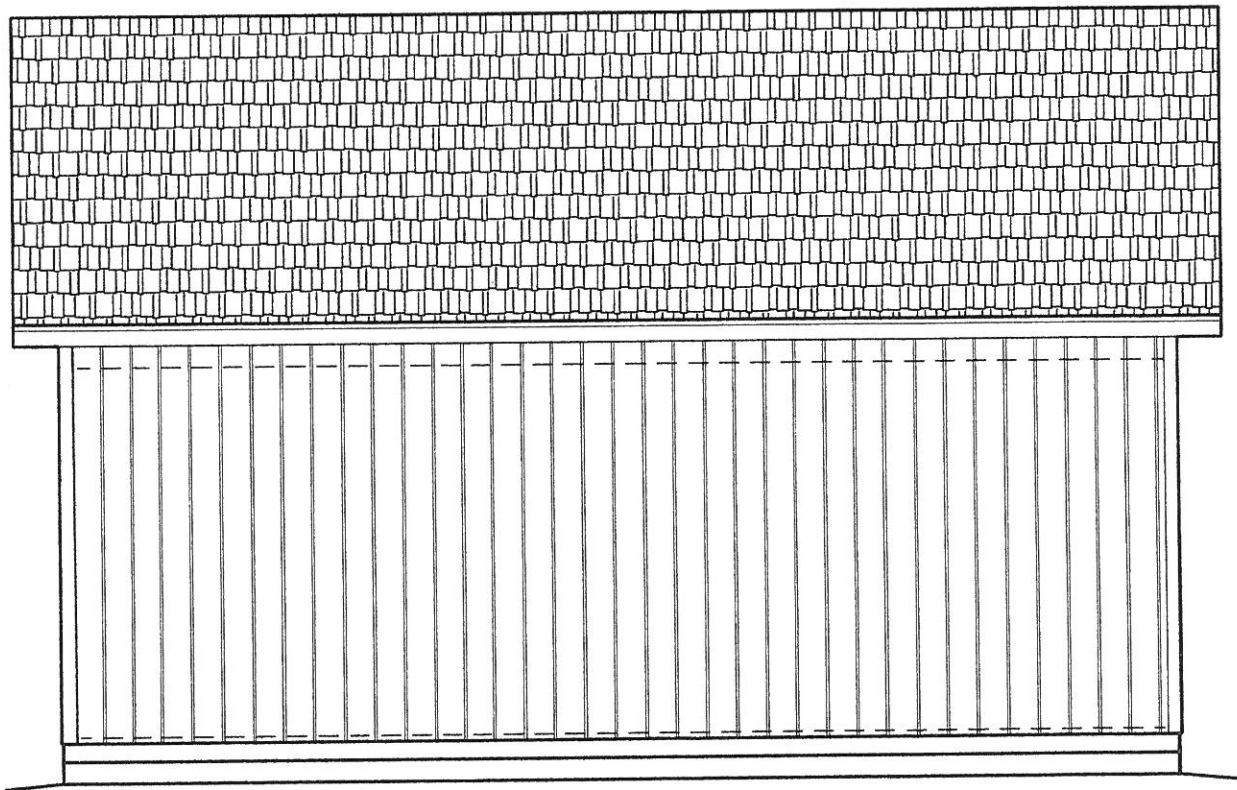
4 x 8 Row Up

REAR ELEVATION

SOUTH

Exterior Elevations 3.2

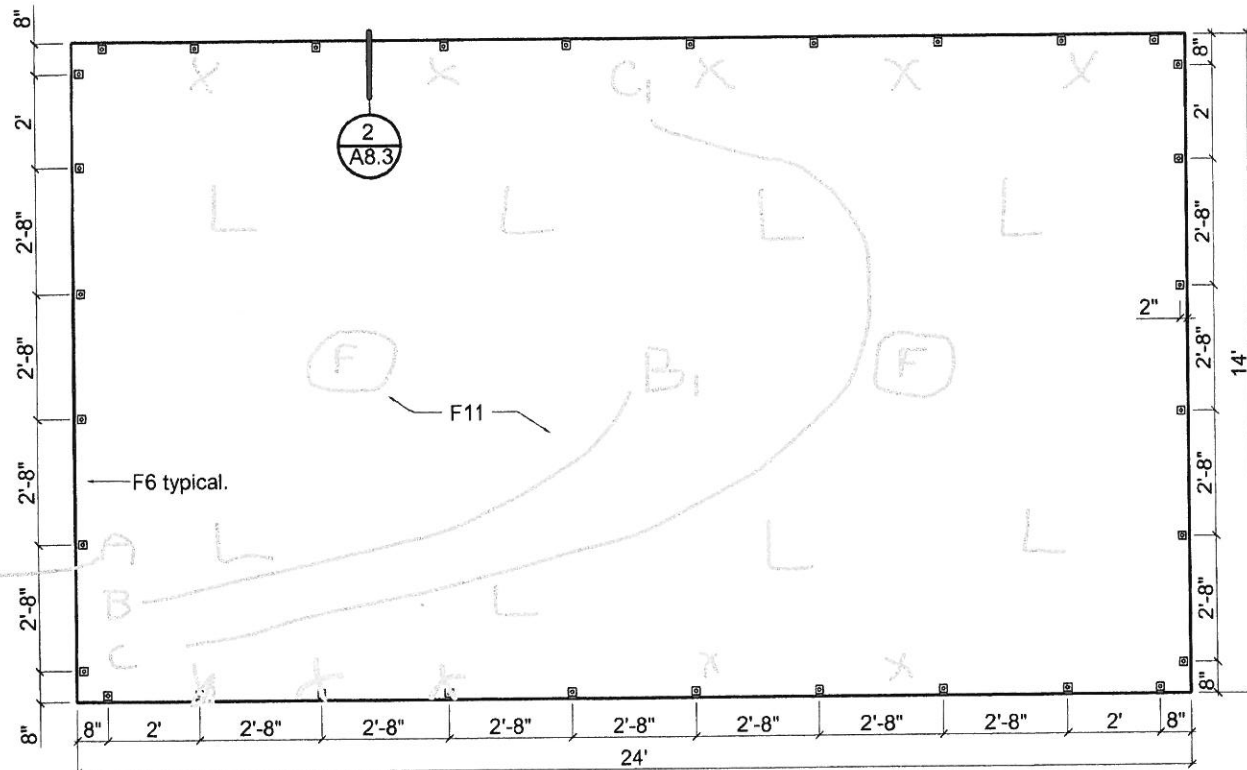
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RIGHT ELEVATION

3- 2" Conduit  
 1 - to end of slab to "A" House to Submain  
 1 - to mid slab B-B, (120V SAW)  
 1 to mid West Wall (240V HVAC)

Drill to set anchors  
 w/ framing



**NOTES:**

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

**FOUNDATION MATERIALS**

CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

**CONCRETE SLAB FLOOR PLAN**

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"  
 8 4' LED Shop lights - "L"  
 2 " " - Loft

2 Fans (F)

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2020-010	<b>Owner</b> ECHOLS, EDWIN & BRITTEN	<b>Applied</b> 3/20/2020	<b>AG</b>
<b>Project Name</b> SUP for 204 Lakehill Drive	<b>Applicant</b>	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> SUP		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 204 LAKEHILL		<b>City, State Zip</b> ROCKWALL, TX 75087	
 <b>Subdivision</b> LAKERIDGE PARK		<b>Tract</b> 17	<b>Block</b> B
		<b>Lot No</b> 17	<b>Parcel No</b> 4220-000B-0017-00-OR
			<b>General Plan</b>
			<b>Zoning</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020				
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-010; SUP for Accessory Building						Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request by Edwin Echols for the approval of a Specific Use Permit(SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive.
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (Z2020-010) in the lower right-hand corner of all pages on future submittals.
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC).
M.5						In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.
M.6						Specific Use Permit (SUP).
1)						Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.
I.7						Please note that failure to address all comments provided by staff by 5:00 PM on March 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
I.8						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18, 2020.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22020-010

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address 204 Lake hill Dr Rockwall 75087  
 Subdivision Lakeridge Park Lot 17 Block B  
 General Location \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning	<u>SF2</u>	Current Use	<u>Single Family</u>
Proposed Zoning	<u>SF2</u>	Proposed Use	<u>Single Family w/Accessory Bldg</u>
Acreage	<u>0.28</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>N/C</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> Owner <u>Edwin Echols</u>	<input type="checkbox"/> Applicant
Contact Person <u>self</u>	Contact Person
Address <u>204 Lakehill Dr.</u>	Address
City, State & Zip <u>Rockwall Tx 75087</u>	City, State & Zip
Phone <u>469 261 2483</u>	Phone
E-Mail <u>ed.echols@hotmail.com</u>	E-Mail

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Edwin Echols [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.


Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



0 20 40 80 120 160 Feet

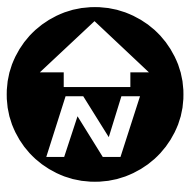
Z2020-010- SUP FOR 204 LAKEHILL DRIVE  
ZONING - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

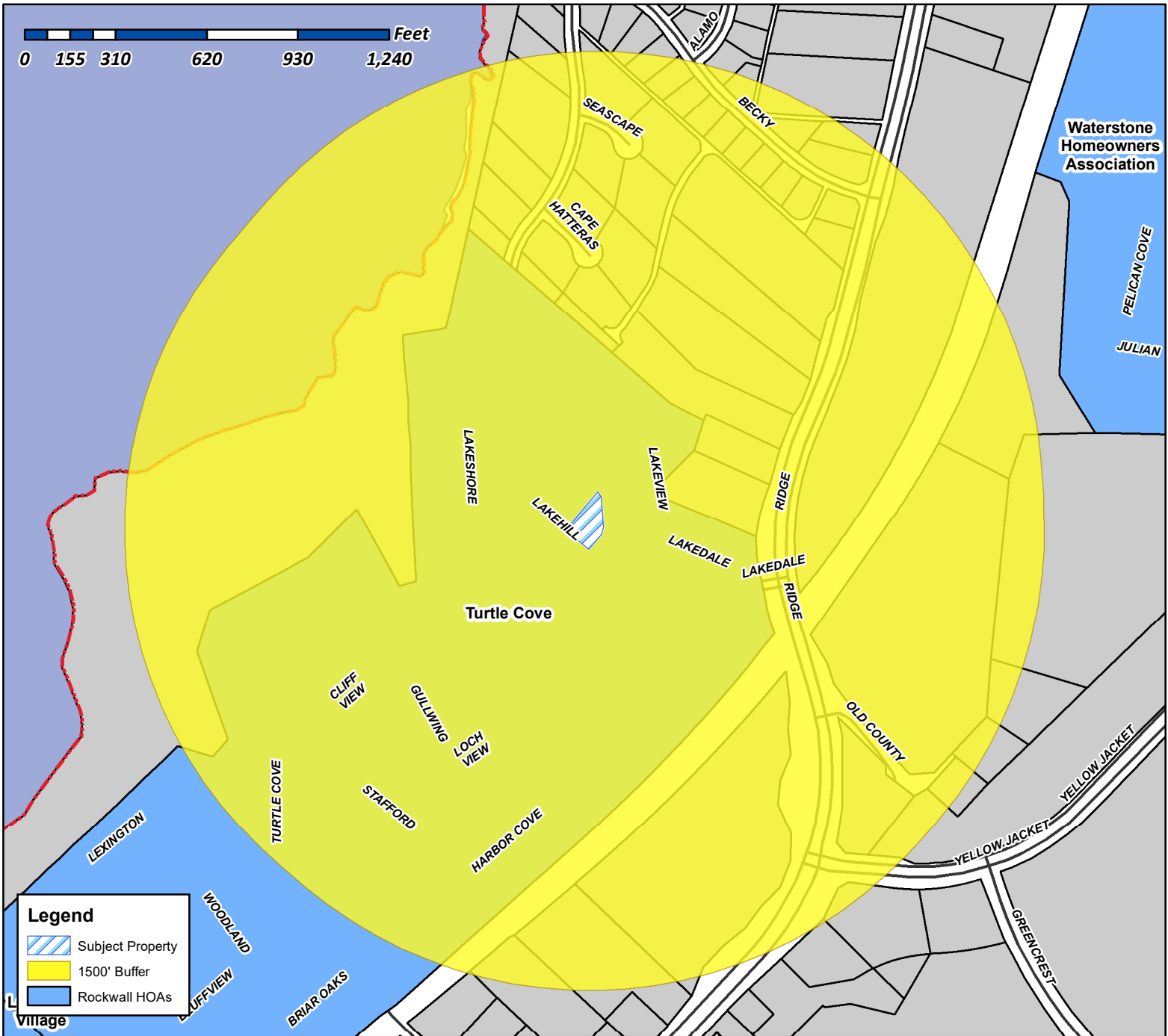




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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(W): www.rockwall.com

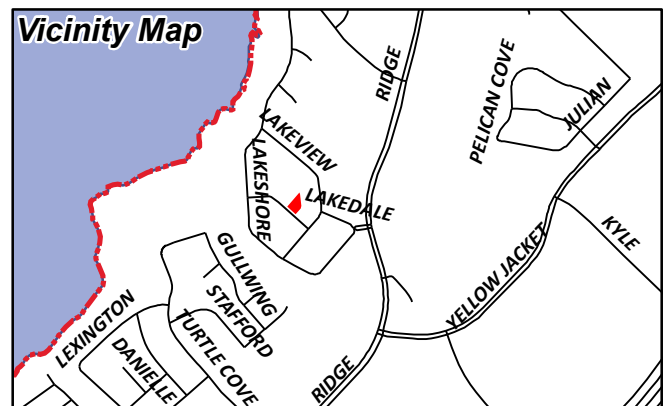
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**Case Number:** Z2020-010  
**Case Name:** SUP for 204 Lakehill Dr.  
**Case Type:** Specific Use Permit  
**Zoning:** Single Family 10 (SF-10) District  
**Case Address:** 204 Lakehill Dr.

**Date Created:** 3/24/2020

**For Questions on this Case Call (972) 771-7745**

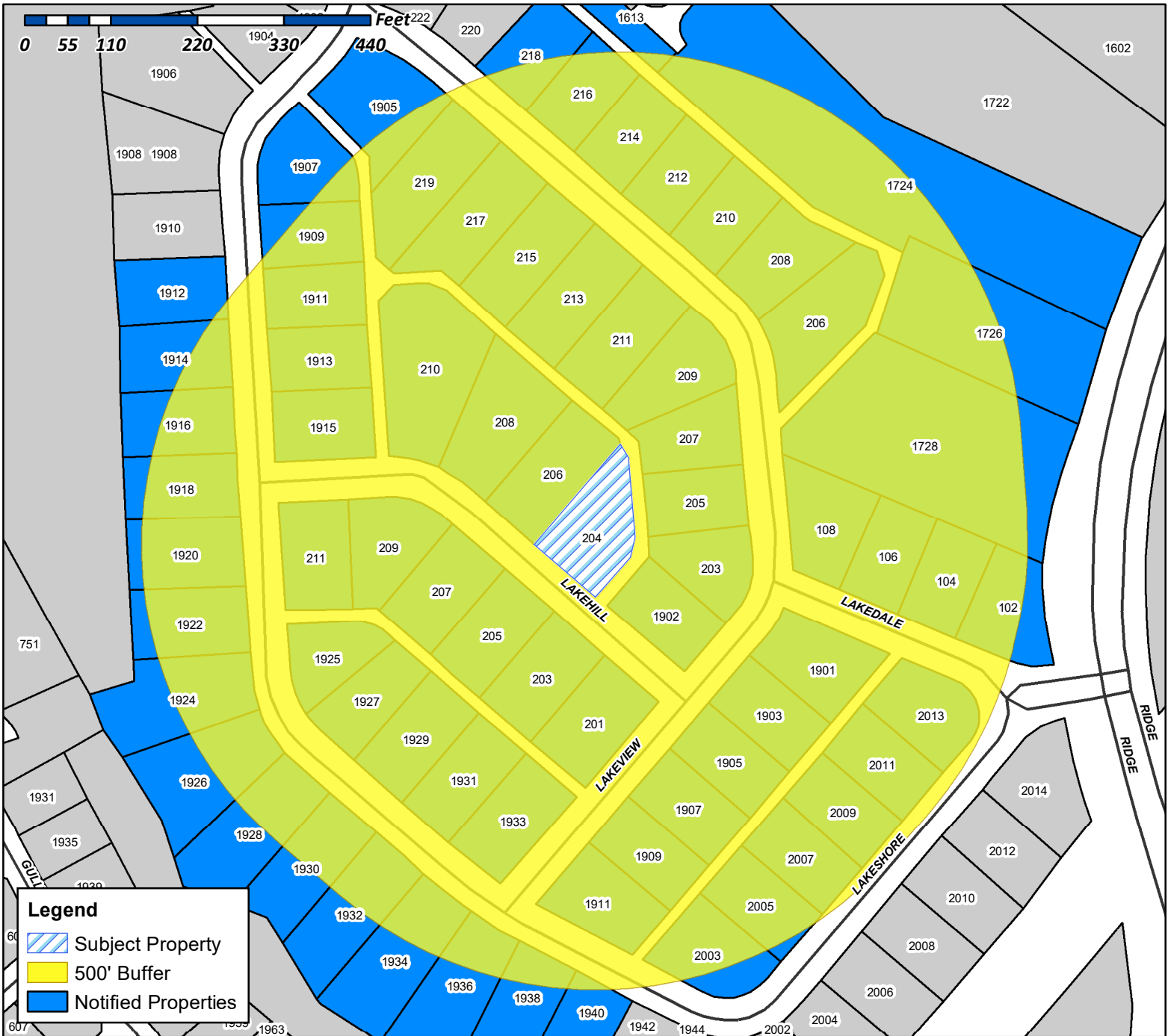




# City of Rockwall

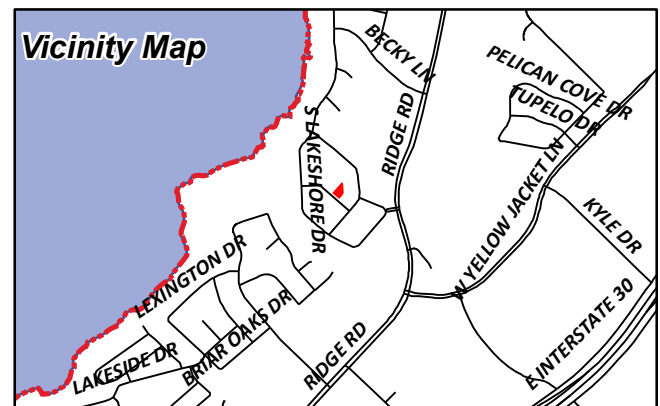
Planning & Zoning Department  
385 S. Goliad Street  
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CURRENT RESIDENT  
LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
102 LAKEDALE  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

MCCULLAR EMILY JEAN  
104 LAKEDALE DRIVE  
ROCKWALL, TX 75087

MILLER KATIE BROOKE AND PETER JR  
106 LAKEDALE DR  
ROCKWALL, TX 75087

PECK RUTH H  
108 LAKEDALE DR  
ROCKWALL, TX 75087

SCHULTZ STEVEN LUKE  
1333 OLD SPANISH TRAIL APT 4154  
HOUSTON, TX 77054

NOBLE DAVID D & LESLIE A  
1613 CAPE HATTERAS PL  
ROCKWALL, TX 75087

CASSELMAN STEVEN AND JEANNETTE  
1724 RIDGE ROAD  
ROCKWALL, TX 75087

PALOS MICKEY SUE &  
CODY S & MARIA T LOWERY  
1726 RIDGE RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1728 RIDGE  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
180 N STETSON AVE SUITE 3650  
CHICAGO, IL 60601

PETTIGREW TERESA VIOLA  
1901 LAKEVIEW DR  
ROCKWALL, TX 75087

FULKERSON CHARLES D & LANA C  
1902 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1903 LAKEVIEW  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1905 LAKESHORE  
ROCKWALL, TX 75087

KERN ROBERT JR & LORNA  
1905 LAKEVIEW DR  
ROCKWALL, TX 75087

BALLARD KEVIN L ETUX  
1907 LAKEVIEW DR  
ROCKWALL, TX 75087

COWAN JOHNNY L ET UX  
1907 S LAKESHORE DR  
ROCKWALL, TX 75087

LALUMIA JOE AND LAURA GAMBILL  
1909 LAKEVIEW DR  
ROCKWALL, TX 75087

MCADEN CURTIS D AND MELISSA L  
1909 S LAKESHORE DR  
ROCKWALL, TX 75087

CHURCH ADRIA AND COLT  
1911 LAKEVIEW DR  
ROCKWALL, TX 75087

CRANE GEORGE R  
1911 S LAKESHORE DR  
ROCKWALL, TX 75087

HOFFMAN MICHAEL AND ANGELA  
1912 S LAKESHORE ROAD  
ROCKWALL, TX 75087

FULBRIGHT CHRISTOPHER AND ANGELINE  
1913 S LAKESHORE DR  
ROCKWALL, TX 75087

PATTON JAMES DOUGLAS  
1914 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

MILLER DAVID M  
1915 S LAKESHORE DR  
ROCKWALL, TX 75087

MASSAR STACY L & BERNARD A  
1916 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPENCER GARY S  
1918 S LAKESHORE DR  
ROCKWALL, TX 75087

HARBIN ERIC S & STACEY R  
1920 S LAKESHORE DR  
ROCKWALL, TX 75087

TAYLOR LARRY S AND APRIL  
1922 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

LUIZ ALBERT H  
1924 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCLARD HARRY A  
1925 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPRING TRUMAN E JR AND JANE C  
1926 S LAKESHORE DR  
ROCKWALL, TX 75087

POST JEREMY AND JENNIFER  
1927 S LAKESHORE DR  
ROCKWALL, TX 75087

BAHN ERIC AND  
JANET JONES  
1928 S LAKESHORE DR  
ROCKWALL, TX 75087

WHITE JOHN N & FRANCES  
1929 LAKESHORE DR  
ROCKWALL, TX 75087

RAY CYNTHIA  
1930 S LAKESHORE DR  
ROCKWALL, TX 75087

STRACK KENNETH E & SHARON C TRUSTEES  
STRACK FAMILY LIVING TRUST  
1931 S LAKESHORE DR  
ROCKWALL, TX 75087

GOSH GUY P & REBECCA  
1932 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCAFFITY LLOYD R JR  
1933 S LAKESHORE DR  
ROCKWALL, TX 75087

TERRELL DEBRA  
1934 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE SAMUEL & MARION  
1936 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE RHONDA  
1938 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E  
1940 S LAKESHORE DR  
ROCKWALL, TX 75087

BOSWELL MICHAEL AND ANN  
2003 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

PADILLA KRIS AND JOE  
2005 LAKESHORE DRIVE  
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L  
2007 S LAKESHORE  
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND  
KIMBERLY LEE PETRIELLO  
2009 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

COOK PAUL W ETUX  
201 LAKEHILL DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2011 LAKESHORE  
ROCKWALL, TX 75087

FREEMAN C L  
2013 S LAKESHORE DR  
ROCKWALL, TX 75087

INGRAM KENNY DON  
203 LAKEHILL DR  
ROCKWALL, TX 75087

RIIS RICK LEE  
203 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

ECHOLS EDWIN & BRITTEN  
204 LAKEHILL DR  
ROCKWALL, TX 75087

KOLAR MARC AND MONICA A  
205 LAKEHILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
205 LAKEVIEW  
ROCKWALL, TX 75087

RICKERSON CHARLES & VIRGINIA RICKERSON  
206 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN  
206 LAKEVIEW DR  
ROCKWALL, TX 75087

STEGMAN SARAH A  
207 LAKEHILL DR  
ROCKWALL, TX 75087

BROYLES LYNN  
207 LAKEVIEW DR  
ROCKWALL, TX 75087

JOHNSON DAVID L & MELODY D  
208 LAKEHILL DR  
ROCKWALL, TX 75087

ESTES AMY RACHELLE & JOSHUA ELDEN  
208 LAKEVIEW DR  
ROCKWALL, TX 75087

STEVENS JOSHUA D  
209 LAKEHILL DR  
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE  
209 LAKEVIEW DR  
ROCKWALL, TX 75087

LARUE PATRICIA D & TIMOTHY L  
210 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SHELLITO SUSAN G  
210 LAKEVIEW DR  
ROCKWALL, TX 75087

MOORE MIKE T & DIANA  
211 LAKEHILL DR  
ROCKWALL, TX 75087

TURNER KENNETH K  
211 LAKEVIEW DR  
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R  
212 LAKEVIEW DR  
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R  
213 LAKEVIEW DR  
ROCKWALL, TX 75087

FENTON DONYELLE  
214 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM  
215 LAKEVIEW DR  
ROCKWALL, TX 75087

ODEN ELRA C  
216 LAKEVIEW DR  
ROCKWALL, TX 75087

MCCRACKEN SUSAN M  
217 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
218 LAKEVIEW  
ROCKWALL, TX 75087

BURKS JANETTA BETH  
219 LAKEVIEW DR  
ROCKWALL, TX 75087

JUNKER SHAWN W & LEANNE  
519 E. INTERSTATE 30 # 631  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

ALLEN DENNIS L & GLENNA L  
PO BOX 801161  
BALCH SPRINGS, TX 75180

RUTH DOWER LIVING TRUST DATED JUNE 3  
2014  
RUTH DOWER TRUSTEE  
PO BOX 871239  
MESQUITE, TX 75187

3/19/20

To City of Rockwall

From Edwin Echols

204 Lakehill Dr 75087

SUBJECT Variance Request

I am in need of a workshop to enable wood working projects and moving power tools out of our garage. The design in mind is 14 x 28 to be on the west side of our driveway. Placement here may need a variance on the 6ft. property offset and the structure height limit of 15 ft.

I plan to keep the offset from the Alleyway approximately 14 ft even though Accessory structure allowance is 3 ft.

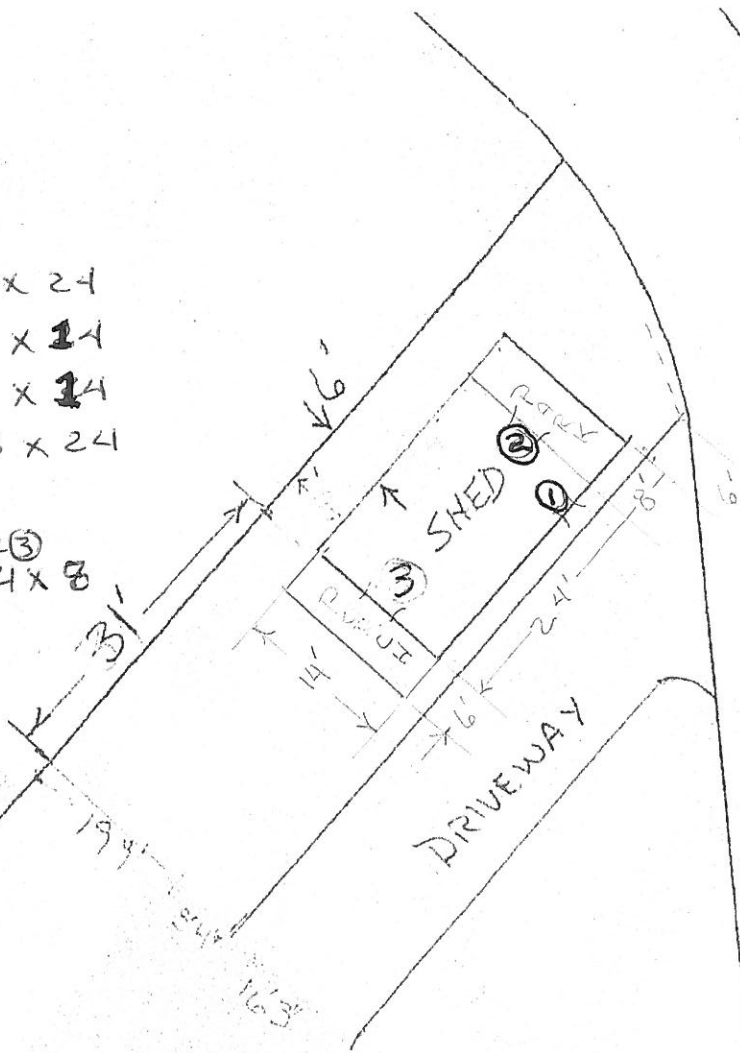
Thanks for your consideration

EM Echols



SHED 14 x 24  
Porch 8 x 14  
Porch 6 x 14  
SLAB 28 x 24  
Main door ①  
Roll UP DOORS ②+③ 4 x 8

18950



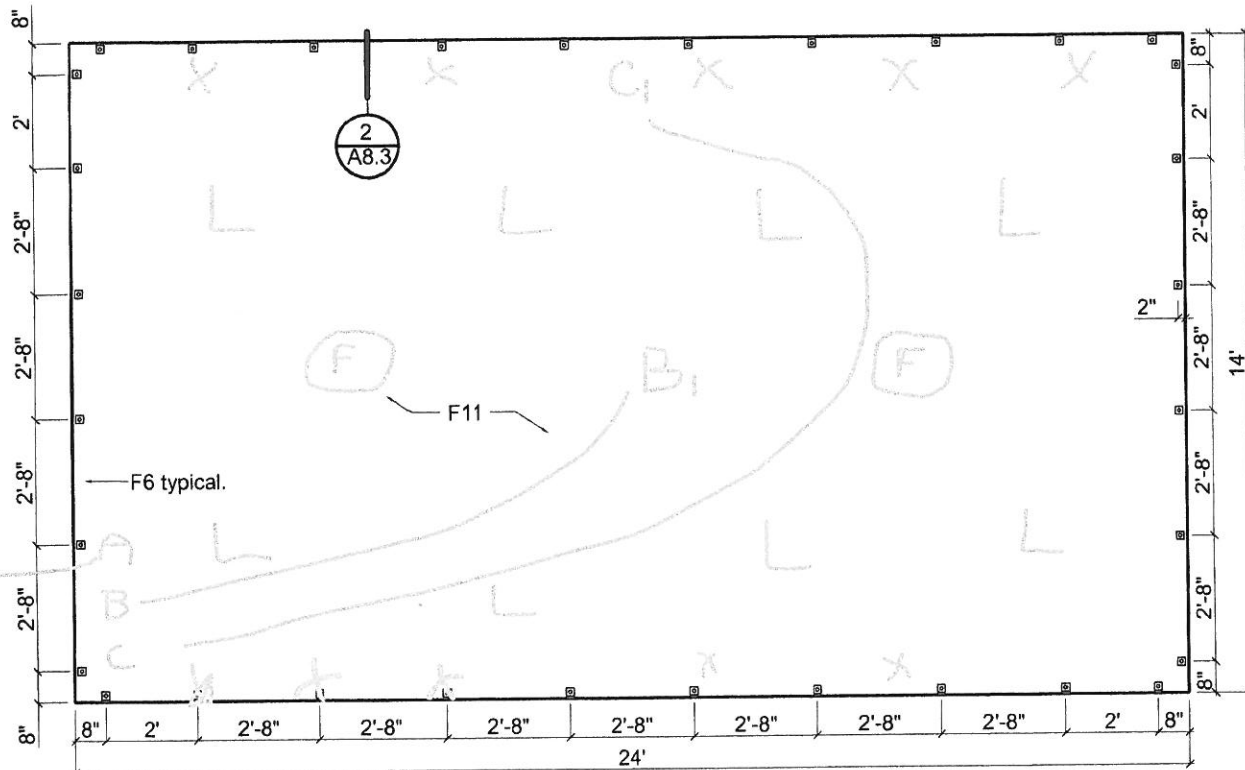
18949

204  
LAKEHILL



3- 2" Conduit  
 1 - to end of slab to "A" House to Submain  
 1 - to mid slab B-B, (120V SAW)  
 1 to mid West Wall (240V HVAC)

Drill to set anchors  
 w/ framing



**NOTES:**

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

**FOUNDATION MATERIALS**

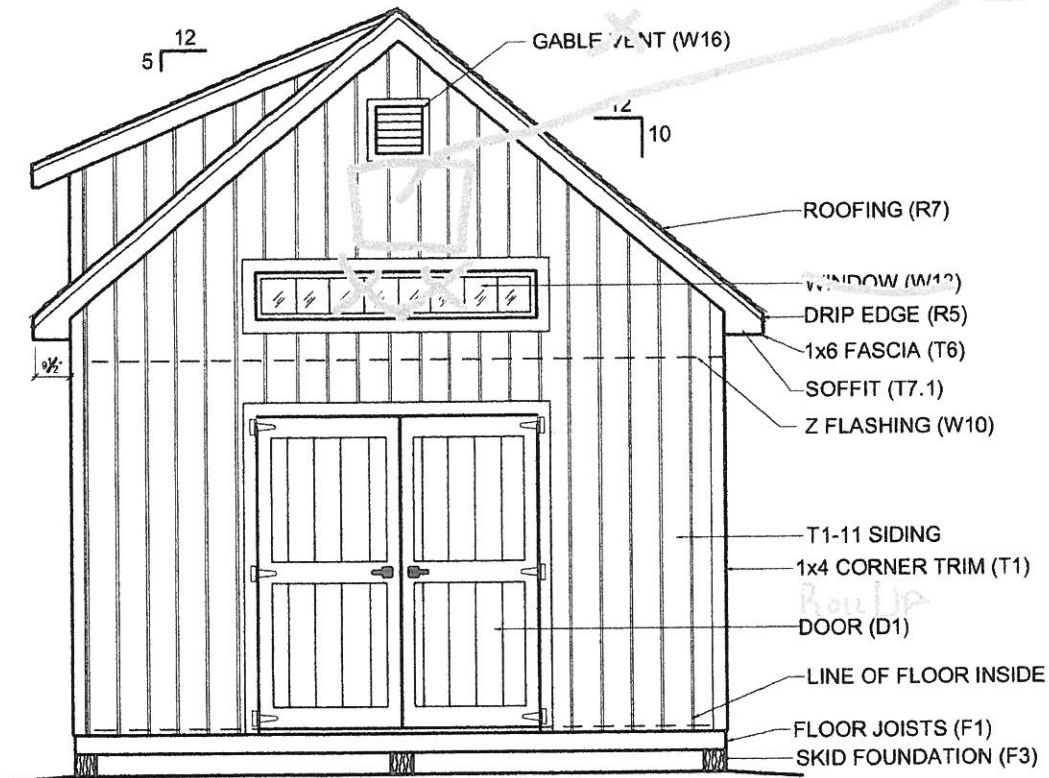
CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

**CONCRETE SLAB FLOOR PLAN**

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"  
 8 4' LED Shop lights - "L"  
 2 " " - Loft

2 Fans (F)



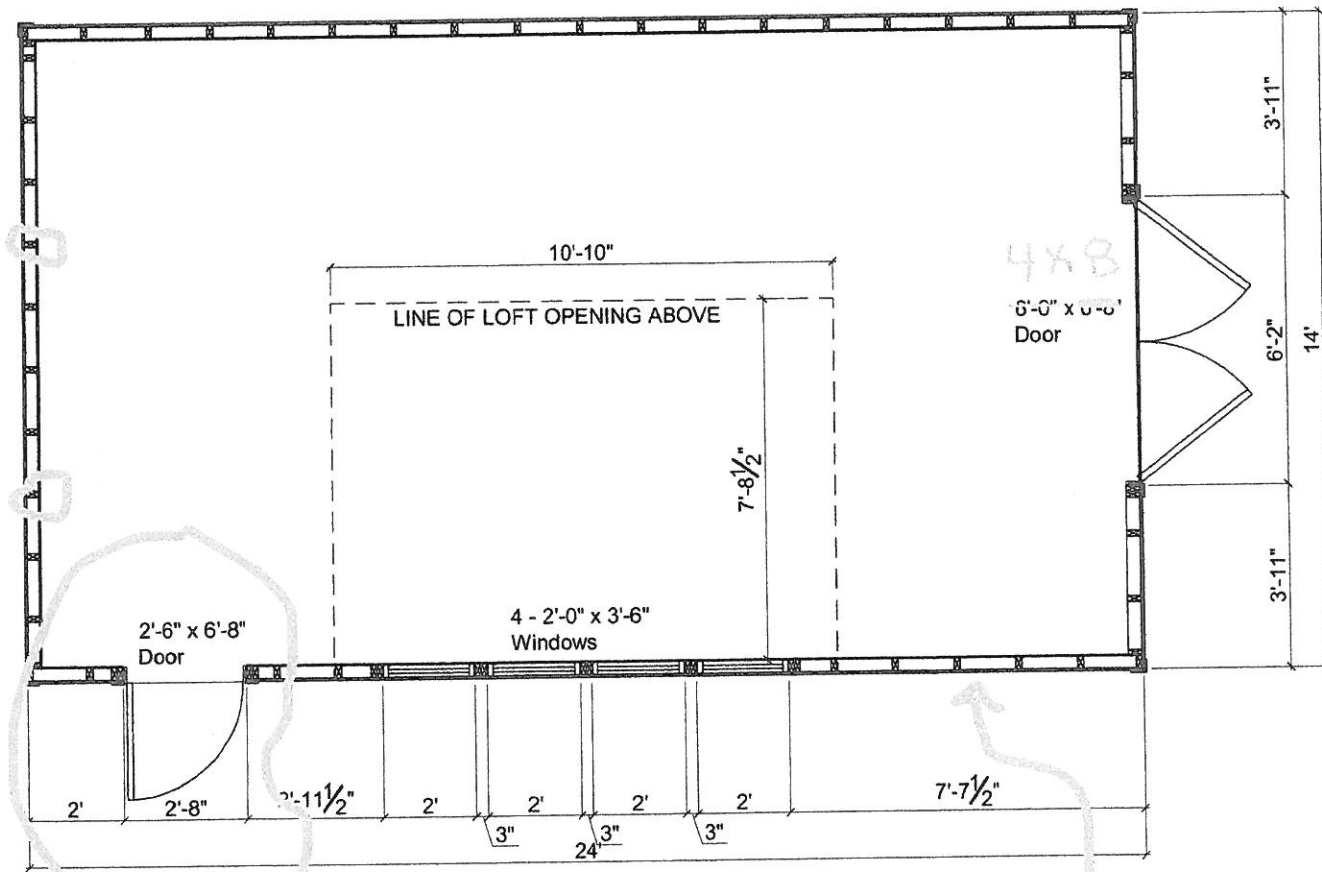
FRONT ELEVATION

SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1½"x1½"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	2010 Fixed Window	6'-0" x 1'-0"	1
W14	3016 Fixed window	3'-0" x 1'-6"	3
W15	Pre-made gable vent	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6068 Double door	6'-0" x 5'-0"	1

Ramp or stair materials are not shown

4x8  
Roll Up

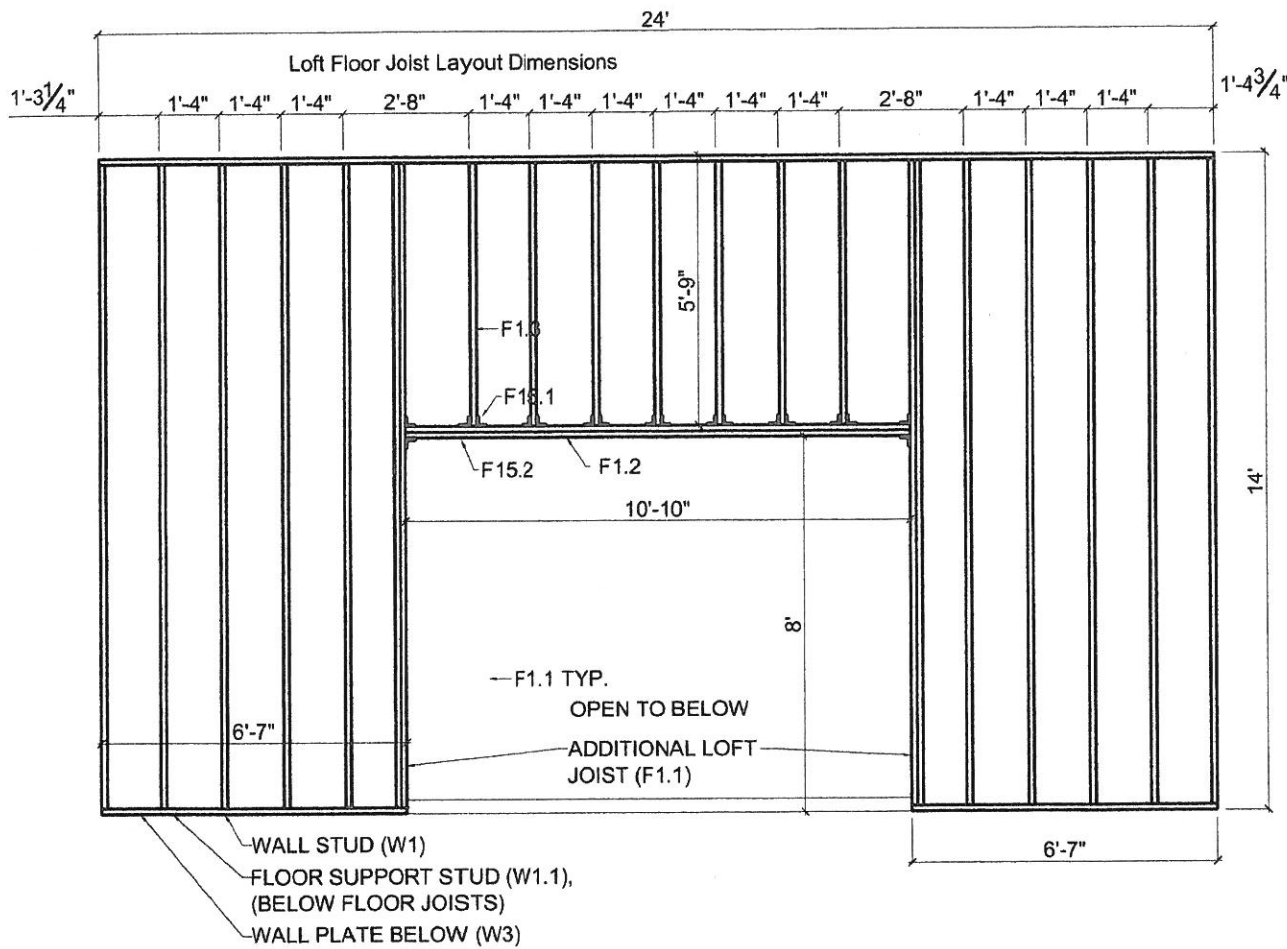


Rollup

**FLOOR PLAN**

1/4" = 1'-0" See wall framing plans for stud layout and material take off.

REVERSE  
WALL  
Door on Right



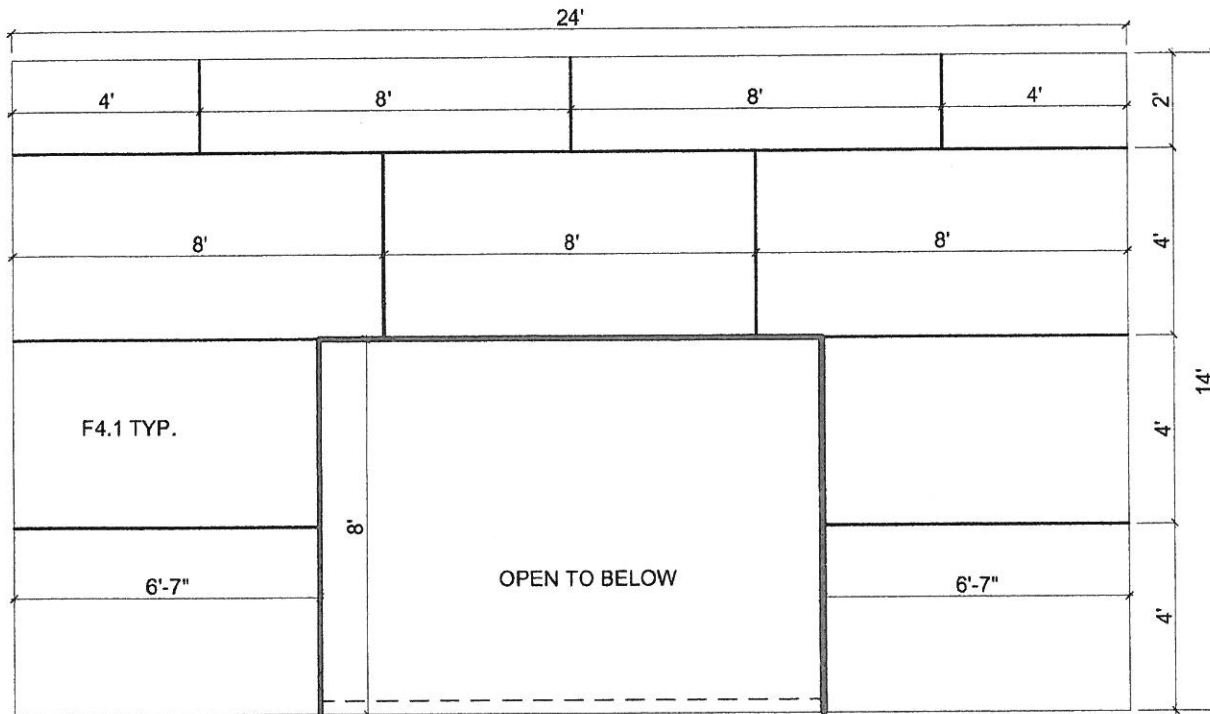
### LOFT FLOOR FRAMING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
F1.1	2x8 Loft Floor Joist	14'-0"	14
F1.2	2x8 Loft Floor Joist	12'-0"	2
F1.3	2x8 Loft Floor Joist	8'-0"	7
F4.1	Full Face O.S.B. T.&G.	4'x8'x3/4"	9
F15.1	Simpson Hanger	LUS26	7
F15.2	Simpson Hanger	LUS46	2

(NOTE: Use manufacturers recommended nails for Simpson Hangers)

NOTE: OWNER VERIFY DESIRED STRENGTH AND BOARDS TO ACHIEVE THAT STRENGTH FOR LOFT JOISTS)

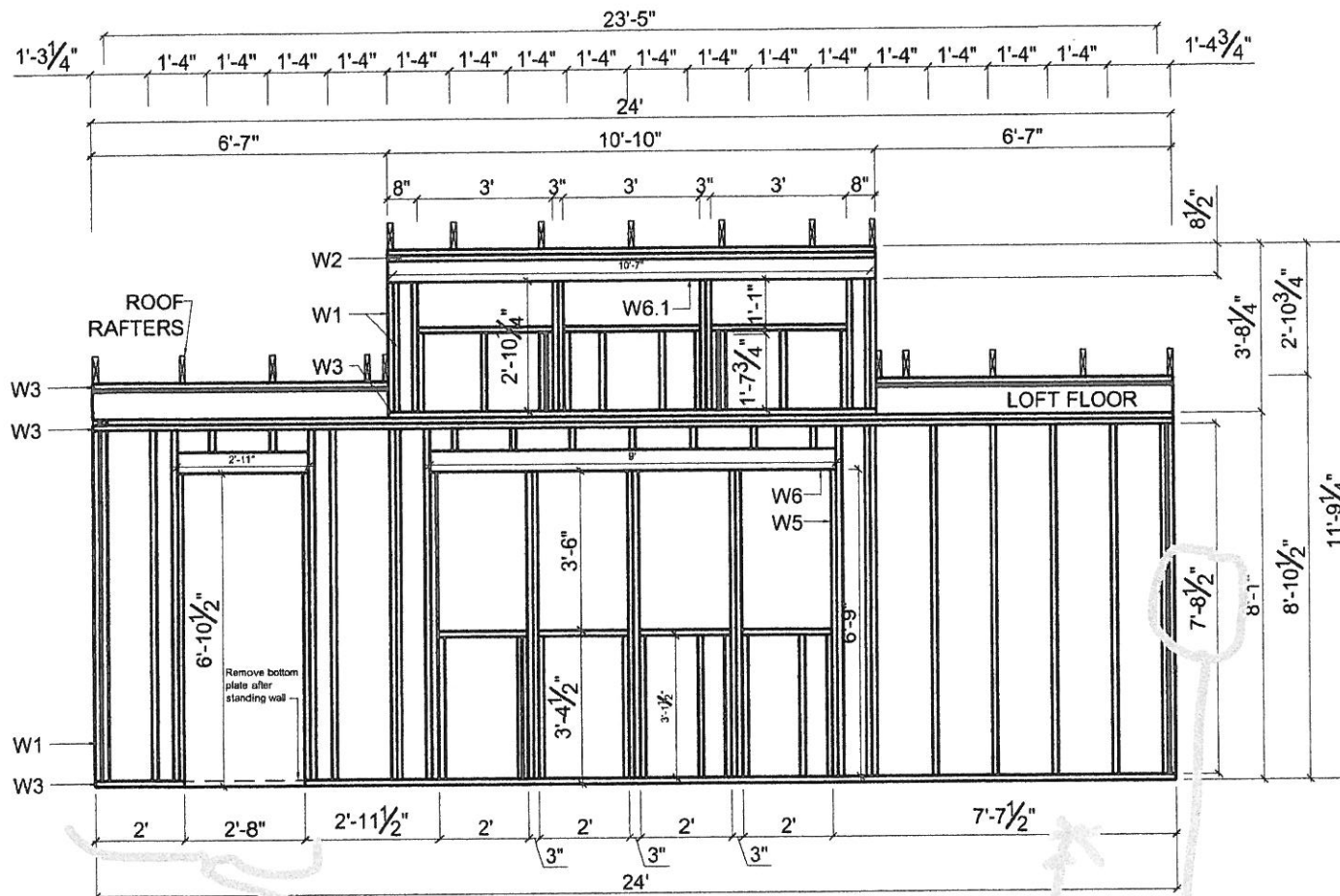
**LOFT FLOOR JOIST PLAN**



**LOFT FLOOR SHEETING PLAN**

**LOFT FLOOR FRAMING NOTES**

- UPPER FLOOR JOISTS (F1.1) MUST BE INSTALLED EVEN IF YOU DO NOT INTEND TO USE THE AREA AS STORAGE SPACE. THE JOISTS ACT AS A REINFORCEMENT TO HOLD THE WALLS SECURE.
- PROVIDE BLOCKING BETWEEN FLOOR JOIST ENDS
- NAIL FLOOR SHEETING EDGES AT 6" O.C., FIELD 12" O.C.
- INSTALL 2X4 PLATE ON FLOOR TO SUPPORT ROOF RAFTERS.



LEFT WALL FRAMING PLAN - UPPER WALL FRAMING PLAN

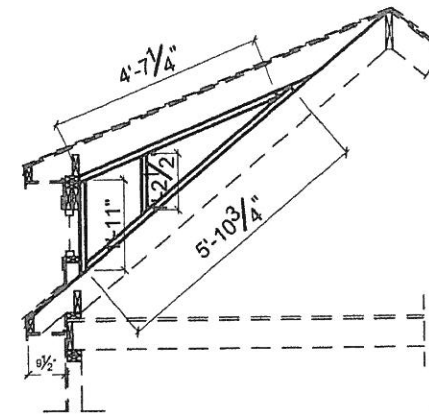
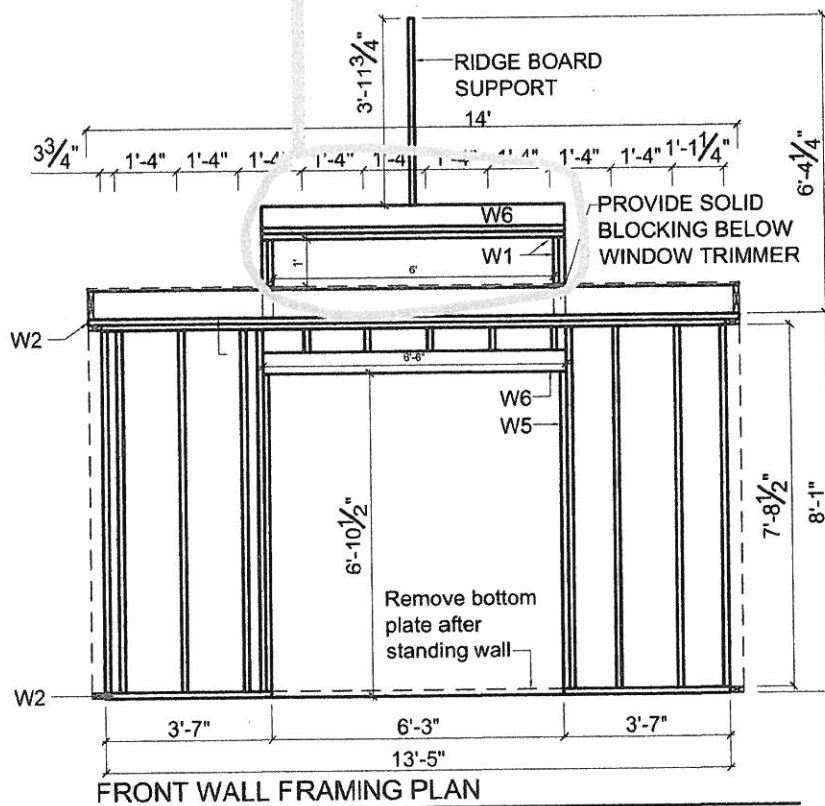
**WALL FRAMING MATERIALS**

CODE	DESCRIPTION	LENGTH	QTY.
W1	2x4 Wall Stud	22'-5 1/2"	72
W2	2x4 Wall Plate, Short	14'-0"	8
W3	2x4 Wall Plate, Long	16'-0"	12
W5	2x4 Trimmer	8'-0"	14
W6	2x6 Header	8'-0"	2
W6.1	2x6 Header	12'-0"	4

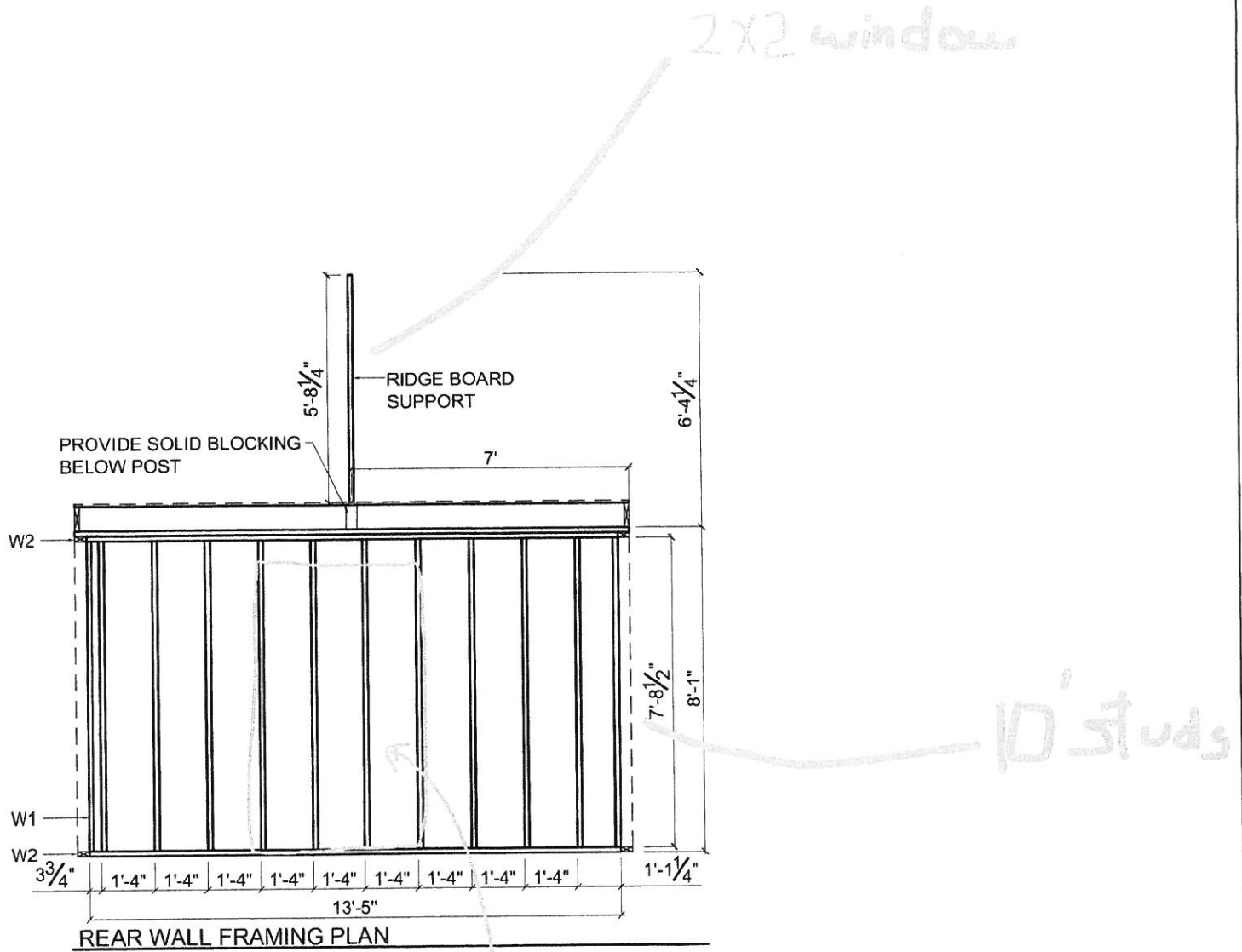
See wall elevations for siding amounts.

10' studs  
\* Door on right end

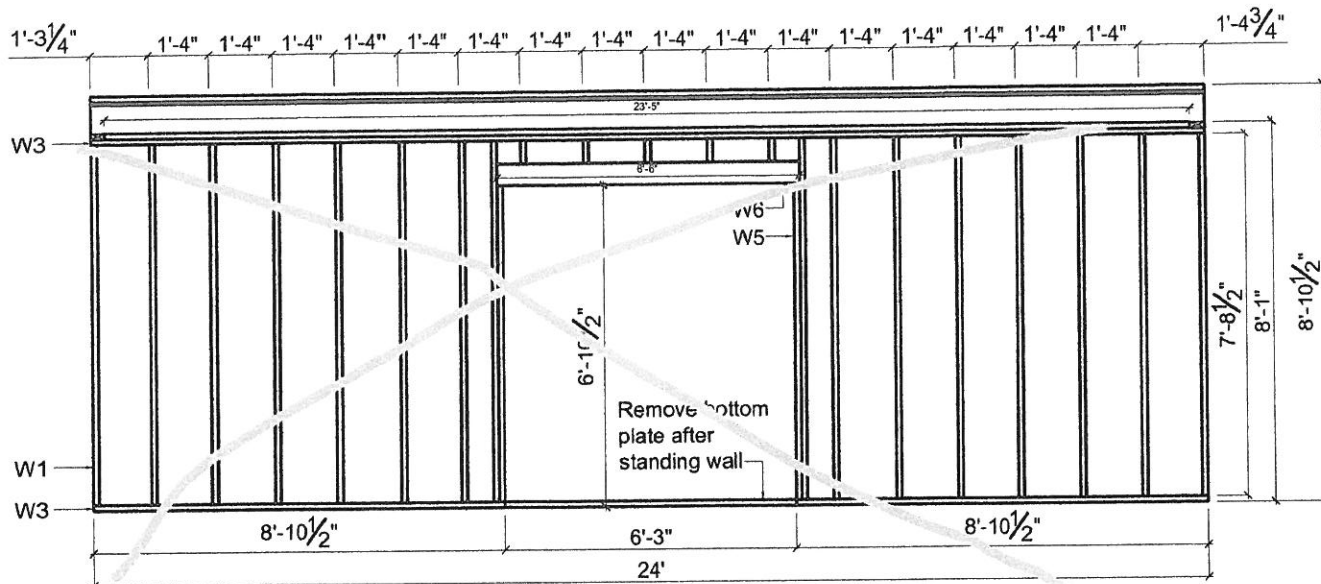
2x3 window



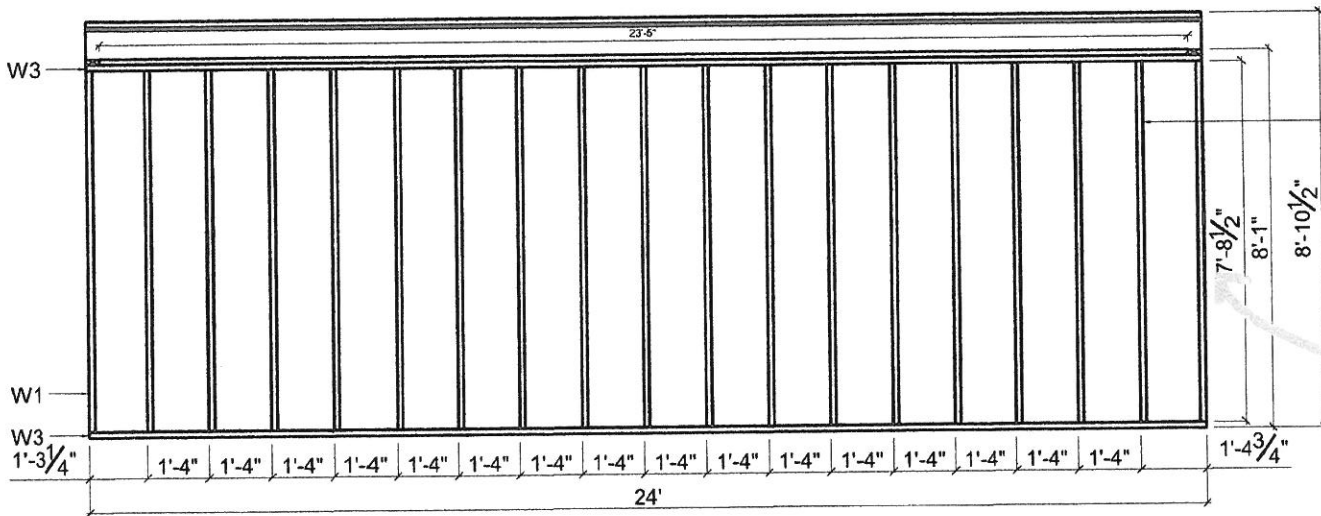
UPPER SIDE WALL FRAMING PLAN  
 NAIL PONY WALL TO ROOF FRAMING AFTER ROOF IS INSTALLED.  
 VERTICAL STUDS = 4/12 TOP CUT, 10/12 BOTTOM CUTS





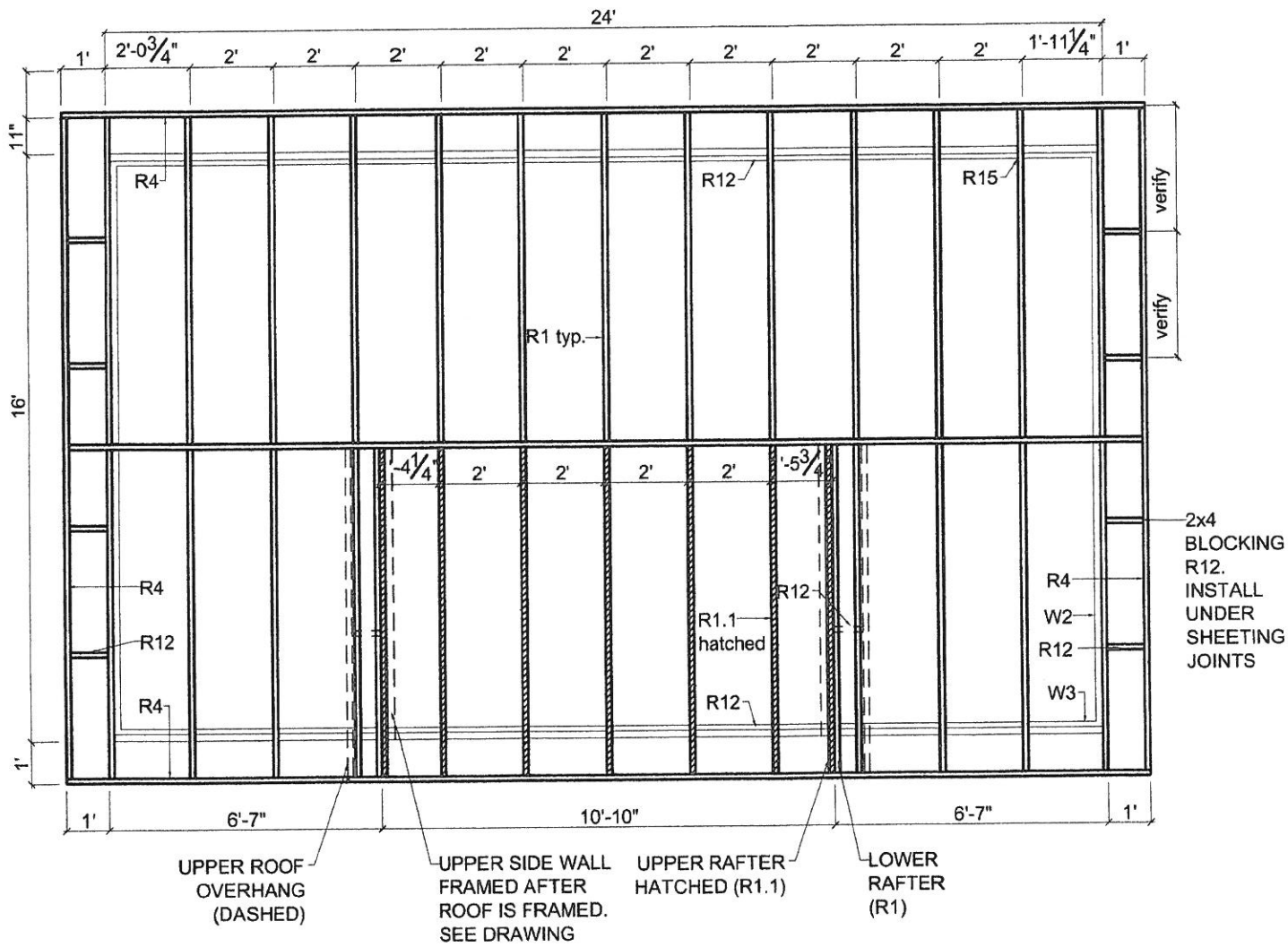


**ALTERNATE RIGHT WALL FRAMING PLAN**

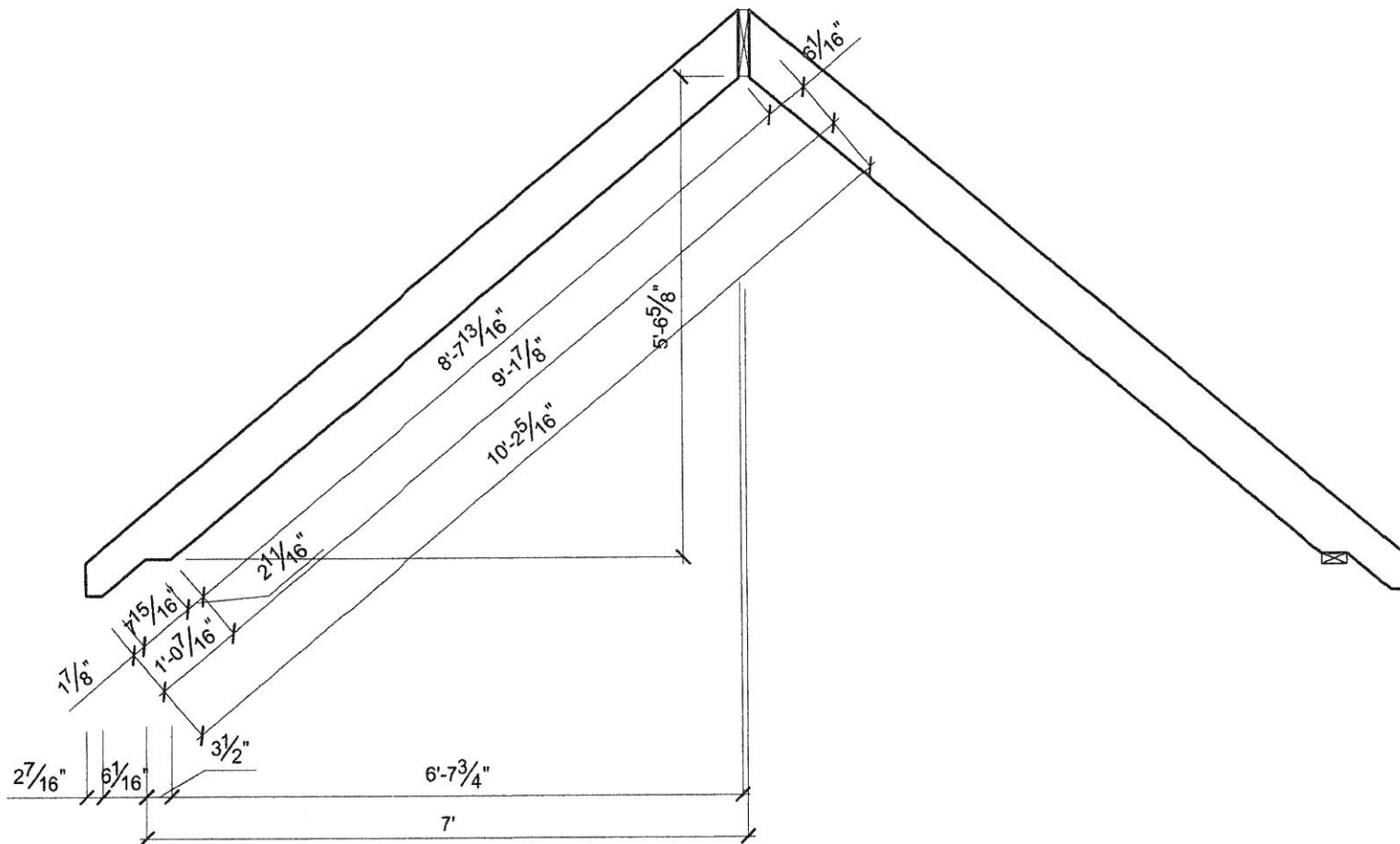


**RIGHT WALL FRAMING PLAN**

NOTE: WHEN STANDING WALLS MAKE SURE THAT THE STUDS IN THE LONG WALLS ARE ALIGNED WITH THE OPPOSING SIDE SO THAT THE LOFT FLOOR JOISTS WILL ATTACH TO THE SIDE OF THE WALL STUDS CORRECTLY.

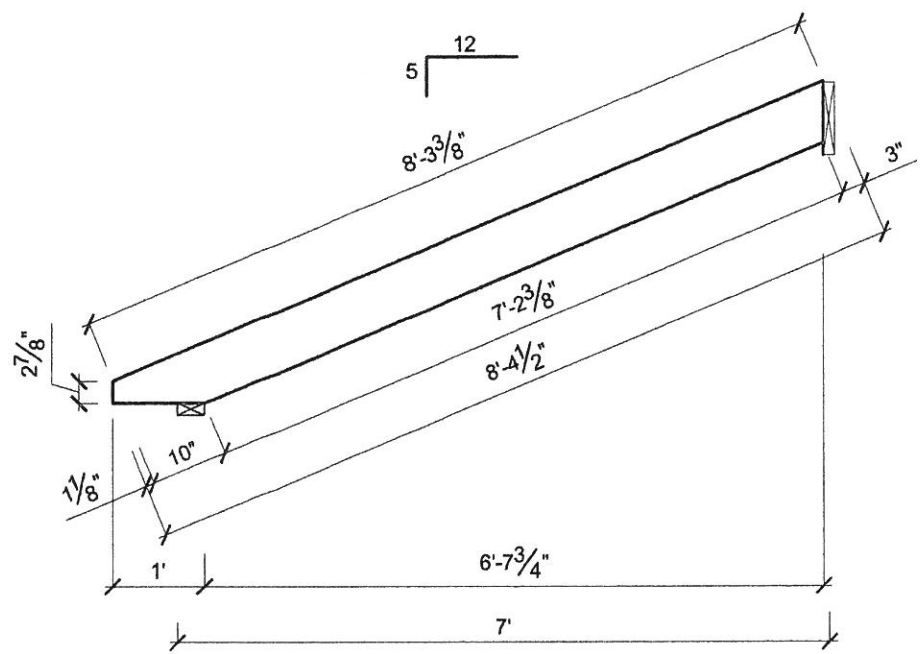


**ROOF FRAMING PLAN**



RAFTER DETAIL (R1) 14'-0" SPAN - 10/12 PITCH - RIDGE BOARD

$\frac{1}{2}" = 1\text{'-}0"$



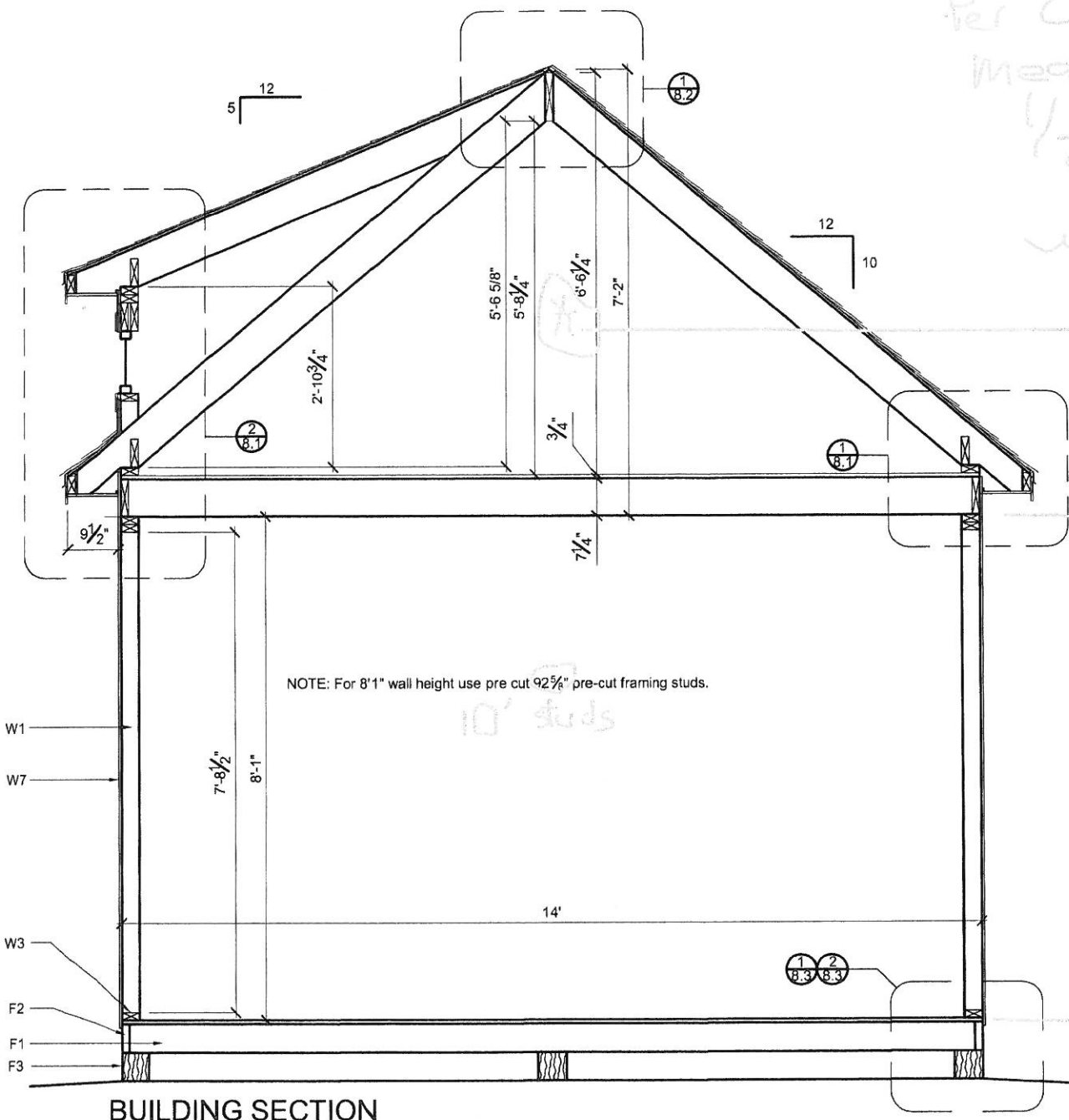
**LOFT RAFTER DETAIL (R1.1) 14'-0" SPAN - 5/12 PITCH - RIDGE BOARD**

1/2" = 1'-0"

Per City -  
 Measure Height to  
 1/2 of Gable (\*)  
 w/ 10' studs 13-11 3/8

$$\frac{7'-2''}{2} = 3'-7''$$

10'-4 3/8

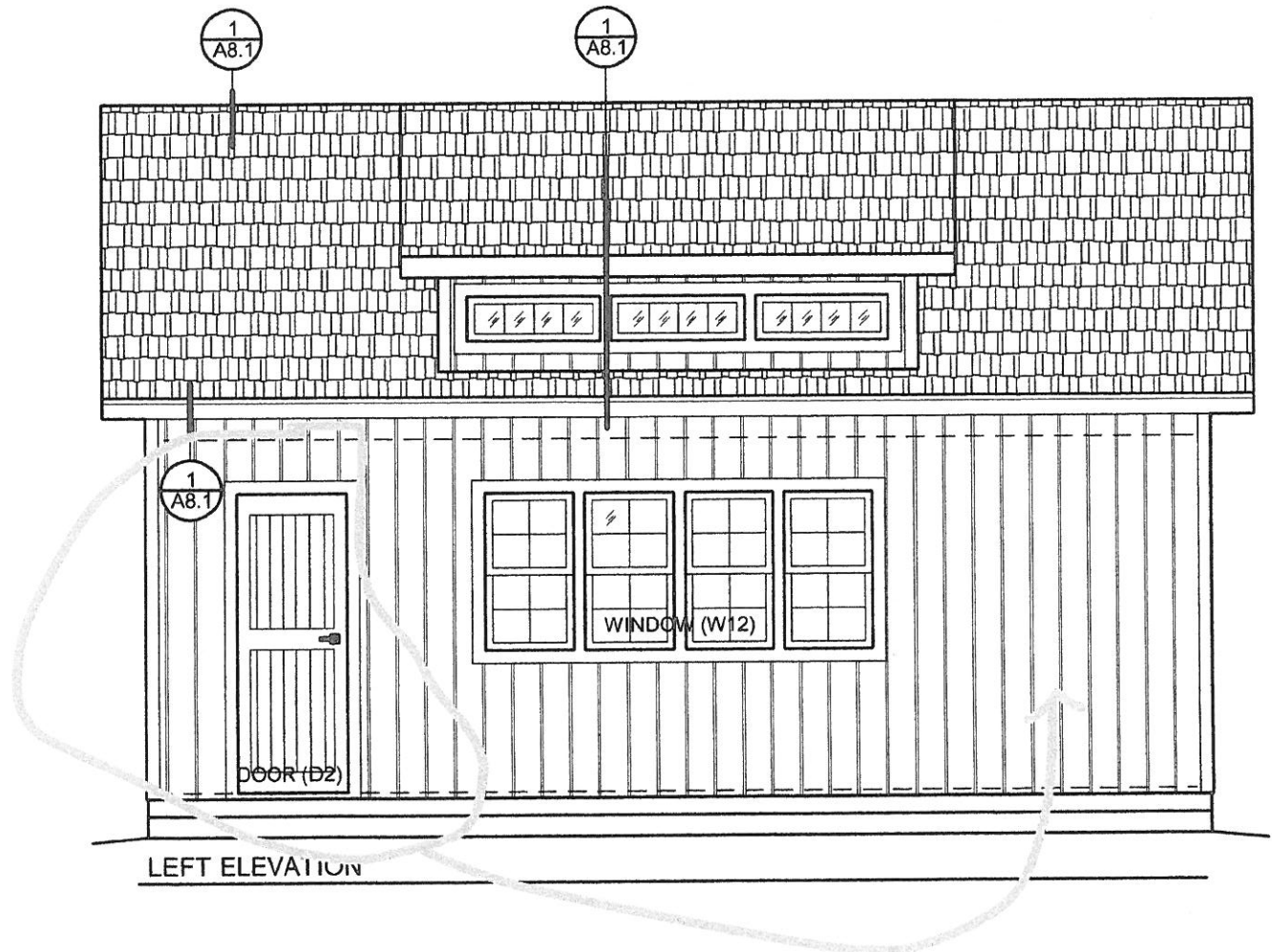


NOTE: For 8'1" wall height use pre cut 92 5/8" pre-cut framing studs.

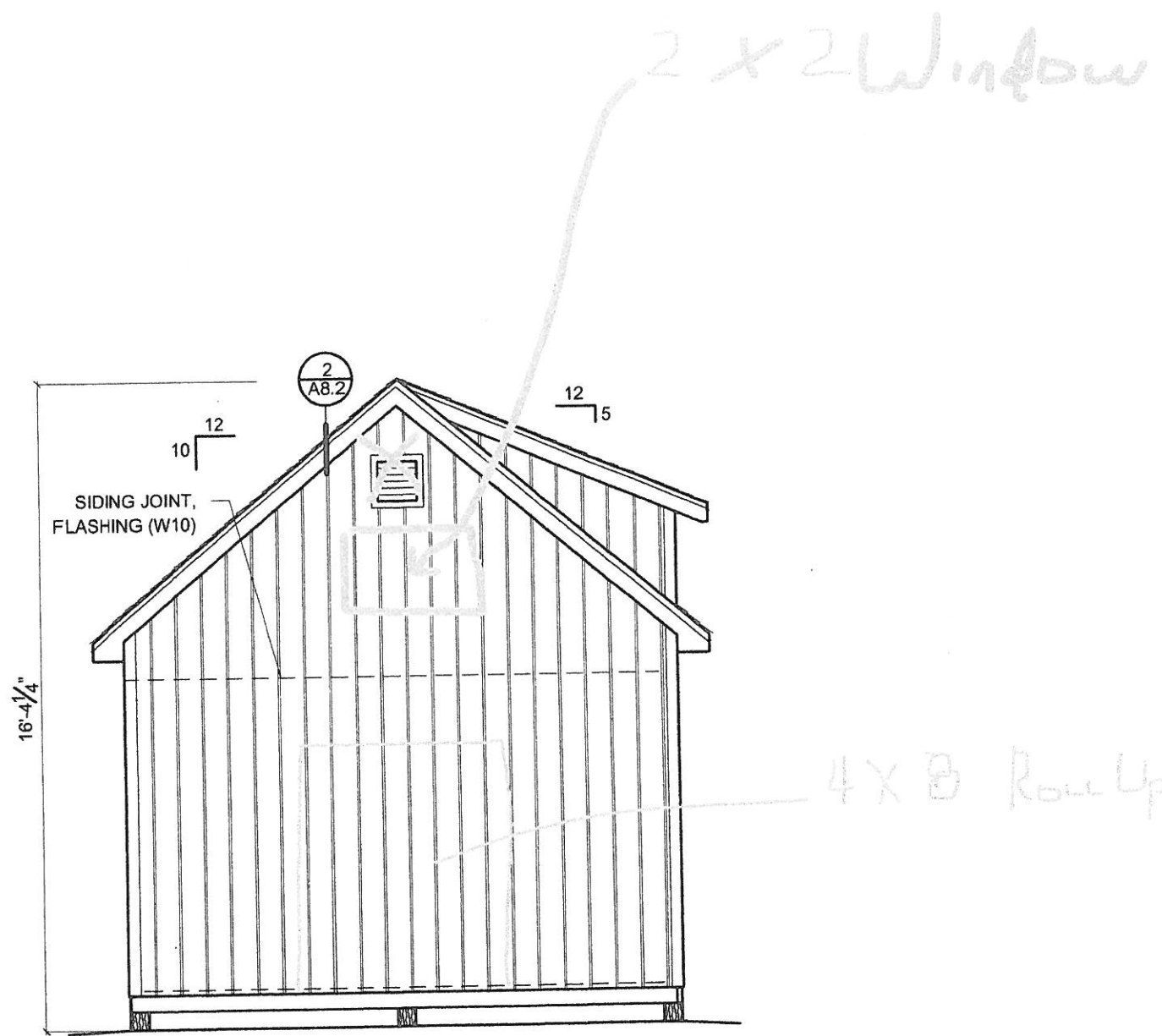
10' studs

**BUILDING SECTION**

NOT TO SCALE: See floor and wall plans for material call out definitions.



LEFT ELEVATION



2 x 2 Window

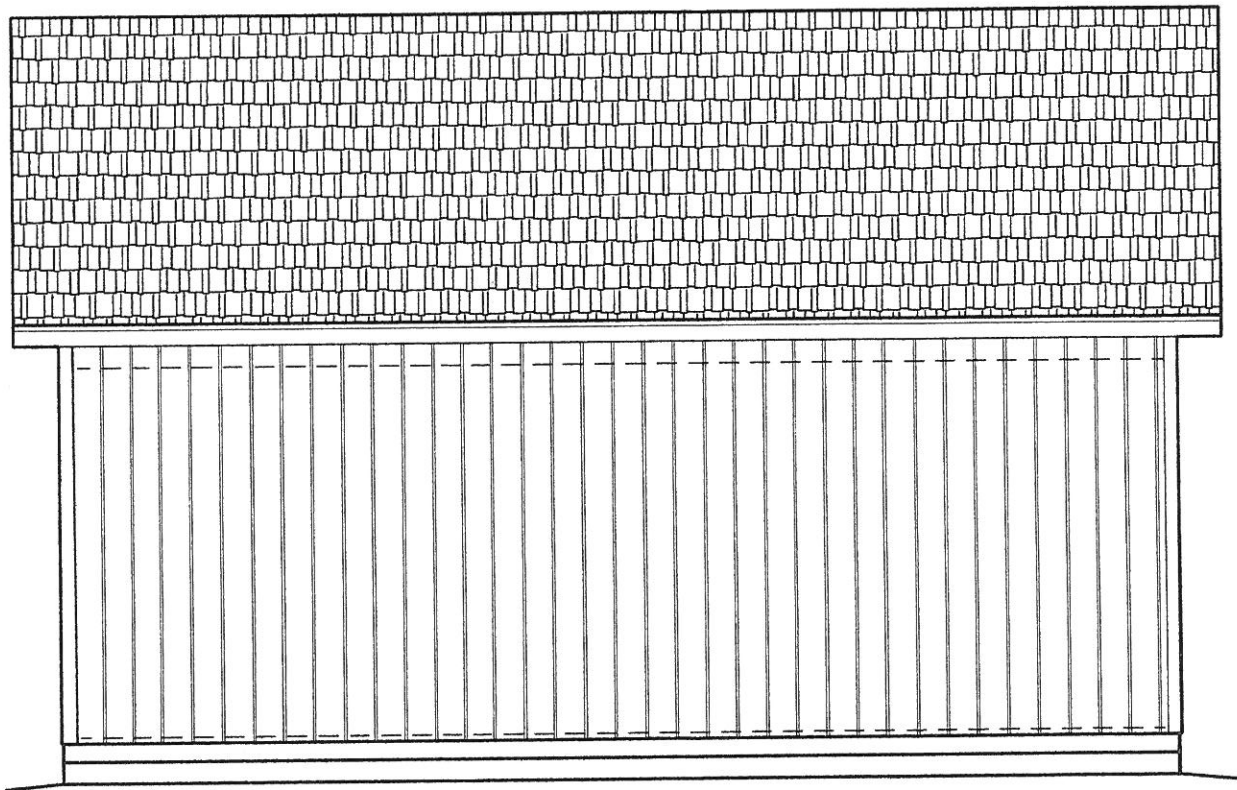
4 x 8 Row Up

REAR ELEVATION

SOUTH

Exterior Elevations 3.2

Copyright 2020 Big Idea Designs. www.icreatables.com

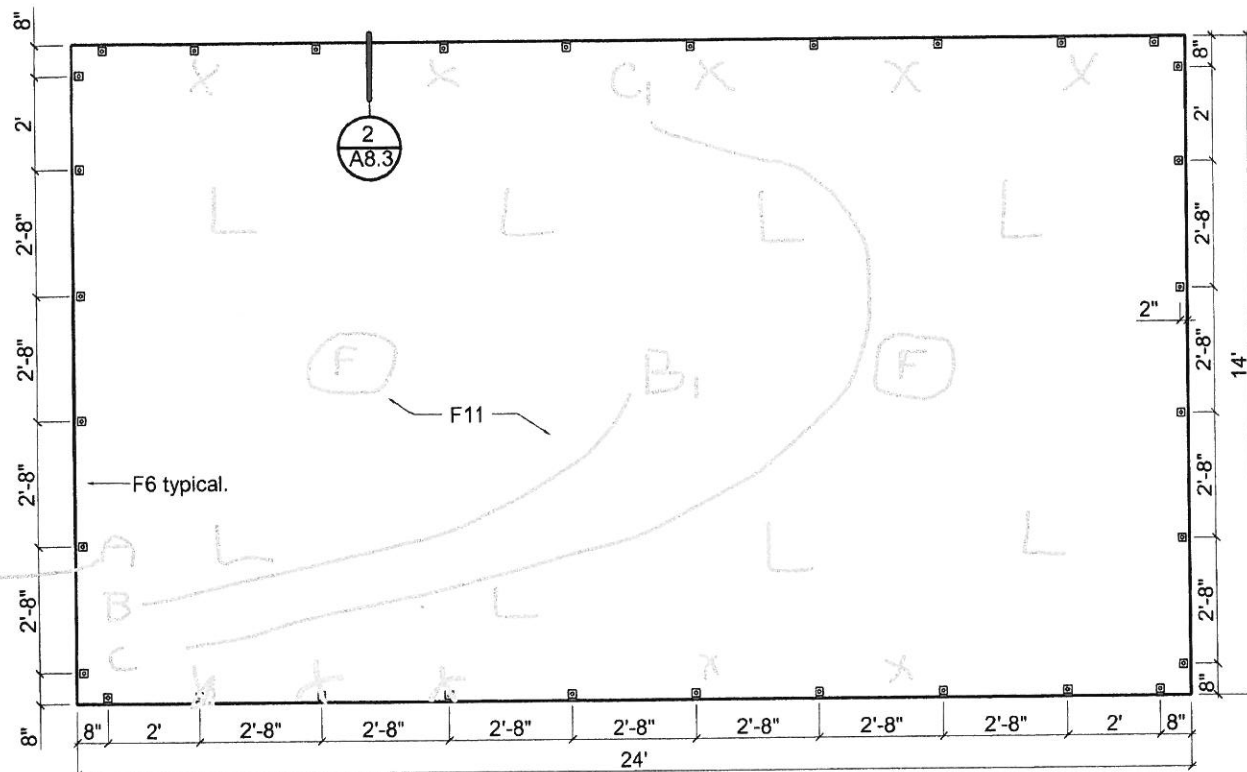


RIGHT ELEVATION



3- 2" Conduit  
 1 - to end of slab to "A" House to Submain  
 1 - to mid slab B-B, (120V SAW)  
 1 to mid West Wall (240V HVAC)

Drill to set anchors  
 w/ framing



NOTES:

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

FOUNDATION MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

CONCRETE SLAB FLOOR PLAN

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"  
 8 4' LED Shop lights - "L"  
 2 " " " - Loft

2 Fans (F)



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 28, 2020  
**APPLICANT:** Edwin Echols  
**CASE NUMBER:** Z2020-010; *Specific Use Permit for an Accessory Building at 204 Lakehill Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

### BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. The property was later platted as Lot 17, Block B of the Lakeridge Park Subdivision, which was filed with Rockwall County on September 29, 1972. At the time of filing, the subject property -- *along with the remainder of the Lakeridge Park Subdivision* -- was zoned Single-Family 2 (SF-2) District. According to the City's historic zoning maps, this designation was changed to a Single-Family 10 (SF-10) District between 1972 and 1983. The property has not changed zoning since being re-designated to a Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD) a 2,636 SF single-family home -- *with 1,994 SF of conditioned space* -- was constructed in 1990.

### PURPOSE

The property owner and applicant -- *Edwin Echols* -- is requesting the approval of a Specific Use Permit (SUP) to construct an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 204 Lakehill Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is Phase 2 of the Estates of Coastal Royale Subdivision, which consists of 13 single-family lots that are zoned Single-Family 10 (SF-10) District. Beyond this is the takeline followed by the City's corporate limits and Lake Ray Hubbard.

South: Directly south of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is a 100-foot right-of-way for the *M. K. & T. Railroad*, which has railroad tracts within it. South of this is the Sky Ridge Addition, which consist of one (1) non-residential lot that is 8.583-acres in size and is zoned Commercial (C) District.

East: Directly east of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this are two (2) tracts of land [*i.e. Tract 4 & 12 of the D. Atkins Survey, Abstract No. 1*], which have single-family homes constructed on them. These properties are zoned Single-Family 10 (SF-10) District. East of this is Ridge Road [*FM-740*], which is identified as a M4D (*i.e. major collector, four [4]*

lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is the takeline followed by the City's corporate limits and Lake Ray Hubbard.

### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application, letter, and drawings requesting to build a 14-foot by 24-foot (*i.e.* 336 SF) accessory building with a six (6) foot by 14-foot (*i.e.* 84 SF) porch. The total building footprint of the accessory building will be 14-feet by 30-feet or 420 SF, and an additional parking space will be incorporated adjacent to the rear of the accessory building measuring six (6) feet by 14-feet. Per the drawings provided by the applicant the accessory building will have a pitched roof with a total height of 16-feet, 4¼-inches. The exterior of the accessory building will be clad in wood siding and the roof will utilize an asphalt shingle that is complimentary to the asphalt shingle used on the primary structure. The building will be situated at the rear of the subject property, 14-feet from the adjacent alleyway along the eastern property line, and six (6) feet from the northern property line. The accessory building will not be visible from any public right-of-way with the exception of the adjacent alleyway.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family (SF-10) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from all property lines. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

### **STAFF ANALYSIS**

In this case, the applicant's request conforms with the setback requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 276 SF. The roof on the accessory building is proposed to be pitched, and per the Unified Development Code (UDC) the measurement for height is taken at the mid-point of the roof for pitched roofs. Based on this, the proposed accessory building is in compliance with height requirements. Staff should note that, while it is debatable whether the accessory building is architecturally compatible with the primary structure, it will be situated behind the primary structure and only visible from the adjacent alleyway. Additionally, the applicant has stated that it will be painted the same color as the trim on the primary structure. Staff should also mention that since this subdivision was originally platted in 1972 and has housing stock that ranges in year built from the 1970's to the 1990's, there are several accessory buildings that utilize the same materials and are generally the same size as the proposed accessory building. With this being said, approval of a Specific Use Permit (SUP) request is discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On April 8, 2020, staff mailed 41 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Associations (HOA), which are the only HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received three (3) notices and two (2) online input forms (*from the same address*) in favor of the applicant's request and one (1) notice opposed to the applicant's request.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
  - (b) The *Accessory Building* shall not exceed a maximum size of 340 SF; and
  - (c) The *Accessory Building* shall not exceed an overall height of 16-feet, 4¼-inches; and
  - (d) The subject property shall not have more than one (1) accessory building.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2020-010	<b>Owner</b> ECHOLS, EDWIN & BRITTEN	<b>Applied</b> 3/20/2020	<b>AG</b>
<b>Project Name</b> SUP for 204 Lakehill Drive	<b>Applicant</b>	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> SUP		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 204 LAKEHILL		<b>City, State Zip</b> ROCKWALL, TX 75087	
 <b>Subdivision</b> LAKERIDGE PARK		<b>Tract</b> 17	<b>Block</b> B
		<b>Lot No</b> 17	<b>Parcel No</b> 4220-000B-0017-00-OR
			<b>General Plan</b>
			<b>Zoning</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020				
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-010; SUP for Accessory Building						Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request by Edwin Echols for the approval of a Specific Use Permit(SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive.
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (Z2020-010) in the lower right-hand corner of all pages on future submittals.
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC).
M.5						In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.
M.6						Specific Use Permit (SUP).
1)						Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.
I.7						Please note that failure to address all comments provided by staff by 5:00 PM on March 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
I.8						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18, 2020.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22020-010

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address 204 Lake hill Dr Rockwall 75087  
 Subdivision Lakeridge Park Lot 17 Block B  
 General Location \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning	<u>SF2</u>	Current Use	<u>Single Family</u>
Proposed Zoning	<u>SF2</u>	Proposed Use	<u>Single Family w/Accessory Bldg</u>
Acreage	<u>0.28</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>N/C</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> Owner <u>Edwin Echols</u>	<input type="checkbox"/> Applicant
Contact Person <u>self</u>	Contact Person
Address <u>204 Lakehill Dr.</u>	Address
City, State & Zip <u>Rockwall Tx 75087</u>	City, State & Zip
Phone <u>469 261 2483</u>	Phone
E-Mail <u>ed.echols@hotmail.com</u>	E-Mail

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Edwin Echols [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.


Owner's Signature Edwin Echols



Notary Public in and for the State of Texas

My Commission Expires

0 20 40 80 120 160 Feet

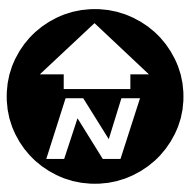
Z2020-010- SUP FOR 204 LAKEHILL DRIVE  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



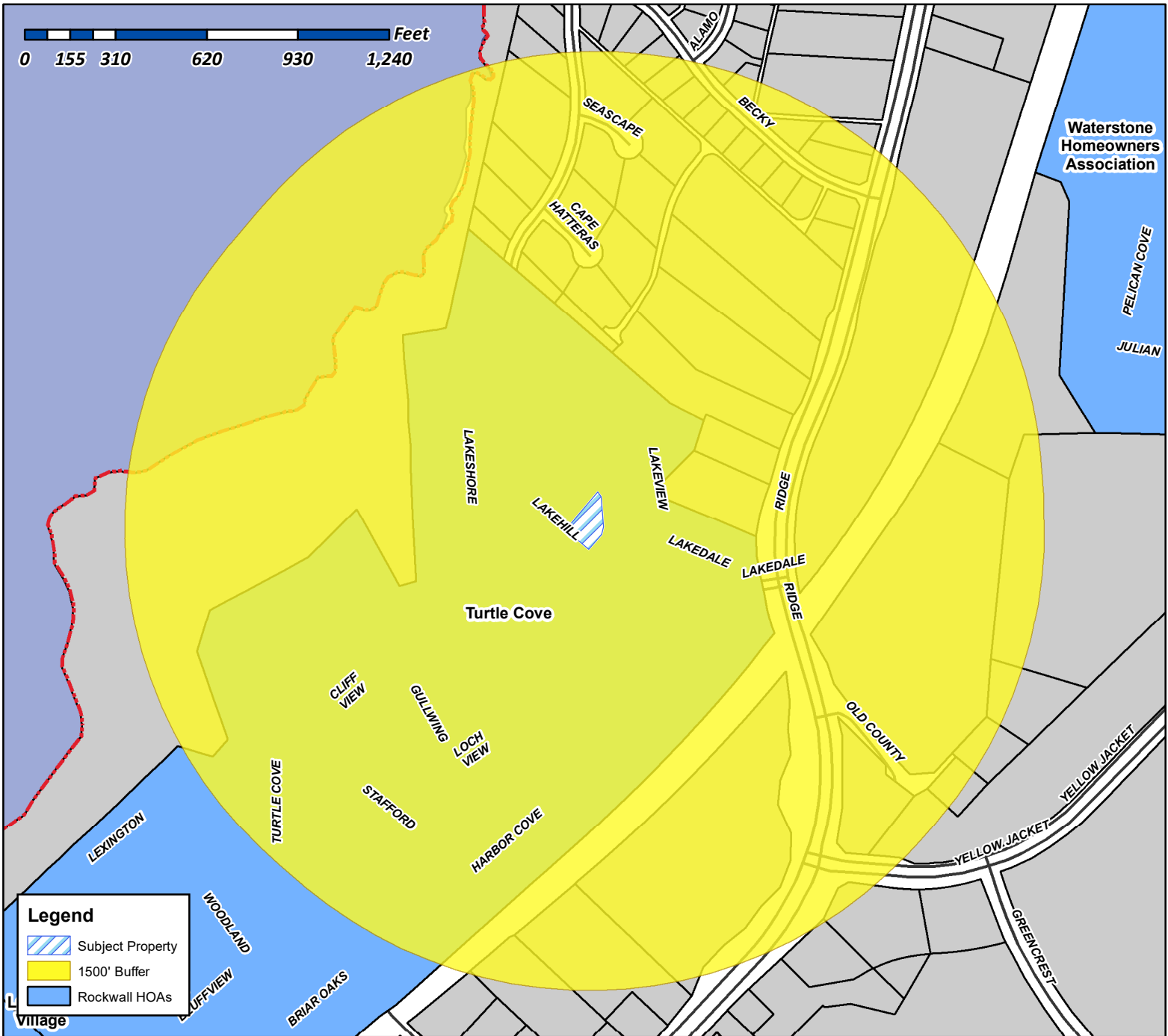




# City of Rockwall

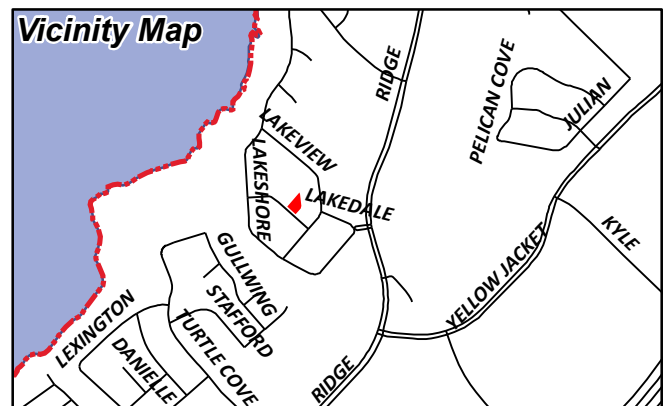
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Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2020-010  
**Case Name:** SUP for 204 Lakehill Dr.  
**Case Type:** Specific Use Permit  
**Zoning:** Single Family 10 (SF-10) District  
**Case Address:** 204 Lakehill Dr.

**Date Created:** 3/24/2020  
**For Questions on this Case Call** (972) 771-7745



**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Brooks, Korey](#); [Gonzales, David](#)  
**Subject:** Neighborhood Notification Program  
**Date:** Tuesday, April 7, 2020 11:39:07 AM  
**Attachments:** [HOA Map \(03.24.2020\).pdf](#)  
[PUBLIC NOTICE 04.07.2020\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning cases that was published in the Rockwall Herald Banner on [April 10, 2020](#). The Planning and Zoning Commission will hold a virtual public meeting on [Tuesday, April 28, 2020 at 6:00 PM](#), and the City Council will hold a virtual public meeting on [Monday, May 4, 2020 at 6:00 PM](#). Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email [Planning@rockwall.com](mailto:Planning@rockwall.com). For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-010- SUP for an Accessory Building at 204 Lakehill Drive

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

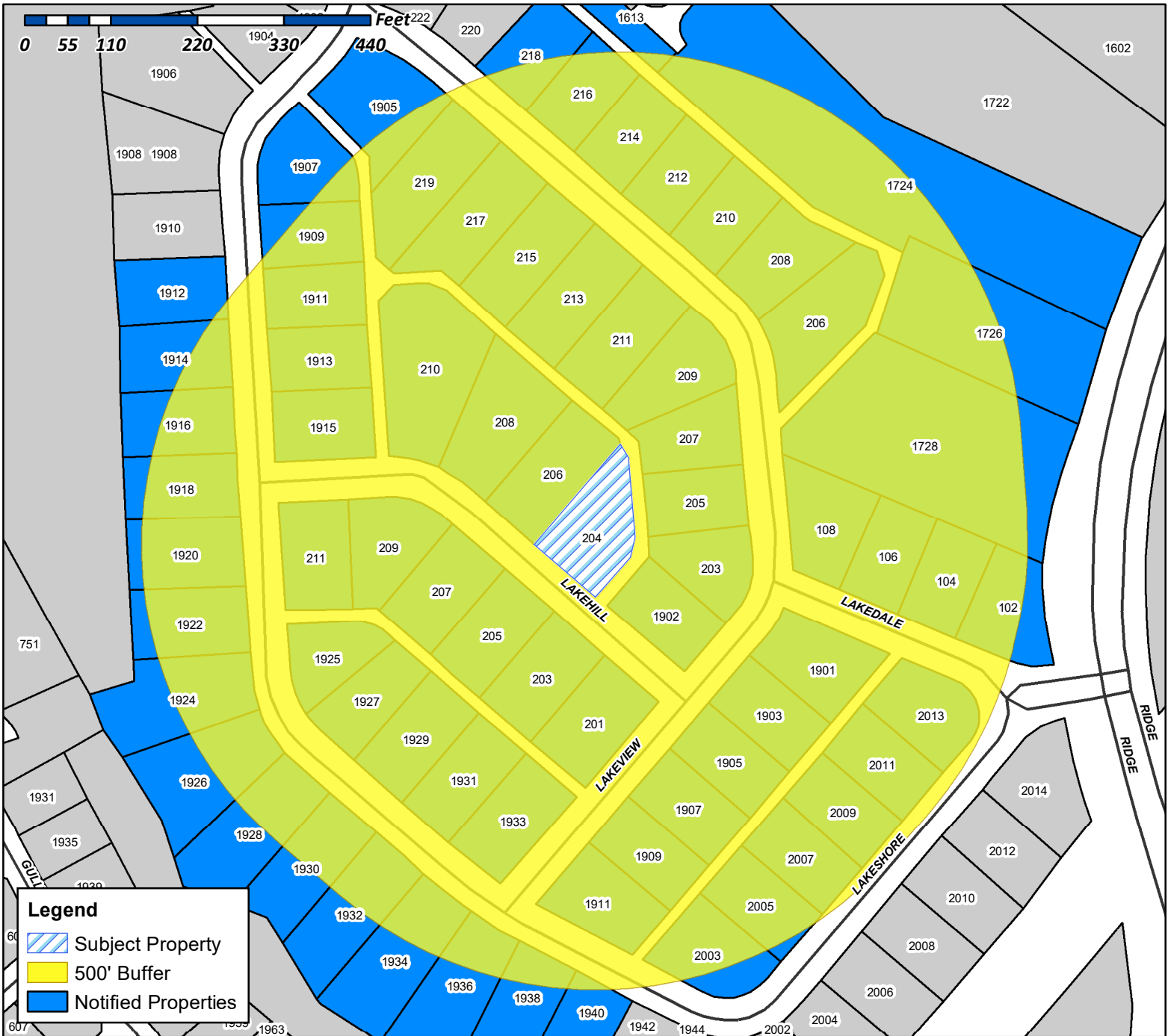
<http://www.rockwall.com/planning/>



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

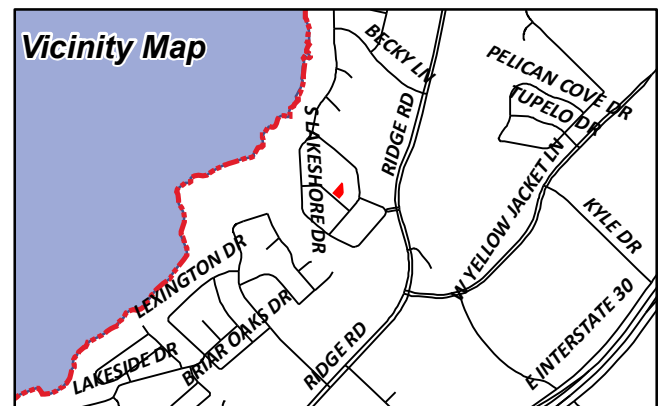
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**Zoning:** Single Family 10 (SF-10) District  
**Case Address:** 204 Lakehill Dr.

**Date Created:** 3/24/2020

**For Questions on this Case Call (972) 771-7745**



CURRENT RESIDENT  
LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
102 LAKEDALE  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

MCCULLAR EMILY JEAN  
104 LAKEDALE DRIVE  
ROCKWALL, TX 75087

MILLER KATIE BROOKE AND PETER JR  
106 LAKEDALE DR  
ROCKWALL, TX 75087

PECK RUTH H  
108 LAKEDALE DR  
ROCKWALL, TX 75087

SCHULTZ STEVEN LUKE  
1333 OLD SPANISH TRAIL APT 4154  
HOUSTON, TX 77054

NOBLE DAVID D & LESLIE A  
1613 CAPE HATTERAS PL  
ROCKWALL, TX 75087

CASSELMAN STEVEN AND JEANNETTE  
1724 RIDGE ROAD  
ROCKWALL, TX 75087

PALOS MICKEY SUE &  
CODY S & MARIA T LOWERY  
1726 RIDGE RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1728 RIDGE  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
180 N STETSON AVE SUITE 3650  
CHICAGO, IL 60601

PETTIGREW TERESA VIOLA  
1901 LAKEVIEW DR  
ROCKWALL, TX 75087

FULKERSON CHARLES D & LANA C  
1902 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1903 LAKEVIEW  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1905 LAKESHORE  
ROCKWALL, TX 75087

KERN ROBERT JR & LORNA  
1905 LAKEVIEW DR  
ROCKWALL, TX 75087

BALLARD KEVIN L ETUX  
1907 LAKEVIEW DR  
ROCKWALL, TX 75087

COWAN JOHNNY L ET UX  
1907 S LAKESHORE DR  
ROCKWALL, TX 75087

LALUMIA JOE AND LAURA GAMBILL  
1909 LAKEVIEW DR  
ROCKWALL, TX 75087

MCADEN CURTIS D AND MELISSA L  
1909 S LAKESHORE DR  
ROCKWALL, TX 75087

CHURCH ADRIA AND COLT  
1911 LAKEVIEW DR  
ROCKWALL, TX 75087

CRANE GEORGE R  
1911 S LAKESHORE DR  
ROCKWALL, TX 75087

HOFFMAN MICHAEL AND ANGELA  
1912 S LAKESHORE ROAD  
ROCKWALL, TX 75087

FULBRIGHT CHRISTOPHER AND ANGELINE  
1913 S LAKESHORE DR  
ROCKWALL, TX 75087

PATTON JAMES DOUGLAS  
1914 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

MILLER DAVID M  
1915 S LAKESHORE DR  
ROCKWALL, TX 75087

MASSAR STACY L & BERNARD A  
1916 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPENCER GARY S  
1918 S LAKESHORE DR  
ROCKWALL, TX 75087

HARBIN ERIC S & STACEY R  
1920 S LAKESHORE DR  
ROCKWALL, TX 75087

TAYLOR LARRY S AND APRIL  
1922 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

LUIZ ALBERT H  
1924 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCLARD HARRY A  
1925 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPRING TRUMAN E JR AND JANE C  
1926 S LAKESHORE DR  
ROCKWALL, TX 75087

POST JEREMY AND JENNIFER  
1927 S LAKESHORE DR  
ROCKWALL, TX 75087

BAHN ERIC AND  
JANET JONES  
1928 S LAKESHORE DR  
ROCKWALL, TX 75087

WHITE JOHN N & FRANCES  
1929 LAKESHORE DR  
ROCKWALL, TX 75087

RAY CYNTHIA  
1930 S LAKESHORE DR  
ROCKWALL, TX 75087

STRACK KENNETH E & SHARON C TRUSTEES  
STRACK FAMILY LIVING TRUST  
1931 S LAKESHORE DR  
ROCKWALL, TX 75087

GOSH GUY P & REBECCA  
1932 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCAFFITY LLOYD R JR  
1933 S LAKESHORE DR  
ROCKWALL, TX 75087

TERRELL DEBRA  
1934 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE SAMUEL & MARION  
1936 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE RHONDA  
1938 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E  
1940 S LAKESHORE DR  
ROCKWALL, TX 75087

BOSWELL MICHAEL AND ANN  
2003 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

PADILLA KRIS AND JOE  
2005 LAKESHORE DRIVE  
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L  
2007 S LAKESHORE  
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND  
KIMBERLY LEE PETRIELLO  
2009 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

COOK PAUL W ETUX  
201 LAKEHILL DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2011 LAKESHORE  
ROCKWALL, TX 75087

FREEMAN C L  
2013 S LAKESHORE DR  
ROCKWALL, TX 75087

INGRAM KENNY DON  
203 LAKEHILL DR  
ROCKWALL, TX 75087

RIIS RICK LEE  
203 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

ECHOLS EDWIN & BRITTEN  
204 LAKEHILL DR  
ROCKWALL, TX 75087

KOLAR MARC AND MONICA A  
205 LAKEHILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
205 LAKEVIEW  
ROCKWALL, TX 75087

RICKERSON CHARLES & VIRGINIA RICKERSON  
206 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN  
206 LAKEVIEW DR  
ROCKWALL, TX 75087

STEGMAN SARAH A  
207 LAKEHILL DR  
ROCKWALL, TX 75087

BROYLES LYNN  
207 LAKEVIEW DR  
ROCKWALL, TX 75087

JOHNSON DAVID L & MELODY D  
208 LAKEHILL DR  
ROCKWALL, TX 75087

ESTES AMY RACHELLE & JOSHUA ELDEN  
208 LAKEVIEW DR  
ROCKWALL, TX 75087

STEVENS JOSHUA D  
209 LAKEHILL DR  
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE  
209 LAKEVIEW DR  
ROCKWALL, TX 75087

LARUE PATRICIA D & TIMOTHY L  
210 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SHELLITO SUSAN G  
210 LAKEVIEW DR  
ROCKWALL, TX 75087

MOORE MIKE T & DIANA  
211 LAKEHILL DR  
ROCKWALL, TX 75087

TURNER KENNETH K  
211 LAKEVIEW DR  
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R  
212 LAKEVIEW DR  
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R  
213 LAKEVIEW DR  
ROCKWALL, TX 75087

FENTON DONYELLE  
214 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM  
215 LAKEVIEW DR  
ROCKWALL, TX 75087

ODEN ELRA C  
216 LAKEVIEW DR  
ROCKWALL, TX 75087

MCCRACKEN SUSAN M  
217 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
218 LAKEVIEW  
ROCKWALL, TX 75087

BURKS JANETTA BETH  
219 LAKEVIEW DR  
ROCKWALL, TX 75087

JUNKER SHAWN W & LEANNE  
519 E. INTERSTATE 30 # 631  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

ALLEN DENNIS L & GLENNA L  
PO BOX 801161  
BALCH SPRINGS, TX 75180

RUTH DOWER LIVING TRUST DATED JUNE 3  
2014  
RUTH DOWER TRUSTEE  
PO BOX 871239  
MESQUITE, TX 75187



# NOTICE OF PUBLIC HEARING

## CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive**

*Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

**Korey Brooks**  
**Rockwall Planning and Zoning Dept.**  
**385 S. Goliad Street**  
**Rockwall, TX 75087**

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email [Planning@rockwall.com](mailto:Planning@rockwall.com). For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning and Zoning  
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

**Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

**Name:**

**Address:**

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. 22020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

AESTHETICS OF THE NEIGHBORHOOD.

PROPERTY VALUE OF NEIGHBORHOOD.

Name: BALLARD

Address: 1907 LAKEVIEW

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am directly behind this area and know what he is asking to build and I can't wait to see it completed.  
Case # 22020-010

Name:

Hugh L. Kelly Jr.

Address:

209 Lakeview Dr. Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: JOHN N. WHITE

Address: 1929 S. LAKESHORE DRIVE, ROCKWALL 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning and Zoning  
City of Rockwall, Texas



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[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)**

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*The structure that Mr. Echols intends to have built is to be located where it can't be seen from any street. It will also be a custom build to resemble the character of his residence. A good improvement!*

Name: *MIKE MOORE*

Address: *211 Lakehill Dr. Rockwall, TX 75087*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-010

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I live across the alley at 207 Lakeview Dr. I am in favor of the project

## Respondent Information

Please provide your information.

## First Name \*

Donna

Last Name \*

Broyles

Address \*

207 Lakeview Dr

City \*

rockwall

State \*

Texas

Zip Code \*

75087

Email Address \*

broyles.lynn@yahoo.com

Phone Number

972-768-5104

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-010

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I live at 207 Lakeview Dr.across the alley from the applicant and support his request

## Respondent Information

Please provide your information.

## First Name \*

Elbert Lynn

Last Name \*

Broyles

Address \*

207 Lakeview Dr

City \*

Rockwall

State \*

Texas

Zip Code \*

75098

Email Address \*

broyles.lynn@yahoo.com

Phone Number

214-478-4341



Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

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Google Forms

3/19/20

To City of Rockwall

From Edwin Echols  
204 Lakehill Dr 75087

SUBJECT Variance Request

I am in need of a workshop to enable wood working projects and moving power tools out of our garage. The design in mind is 14 x 28 to be on the west side of our driveway. Placement here may need a variance on the 6ft. property offset and the structure height limit of 15 ft.

I plan to keep the offset from the Alleyway approximately 14 ft even though Accessory structure allowance is 3 ft.

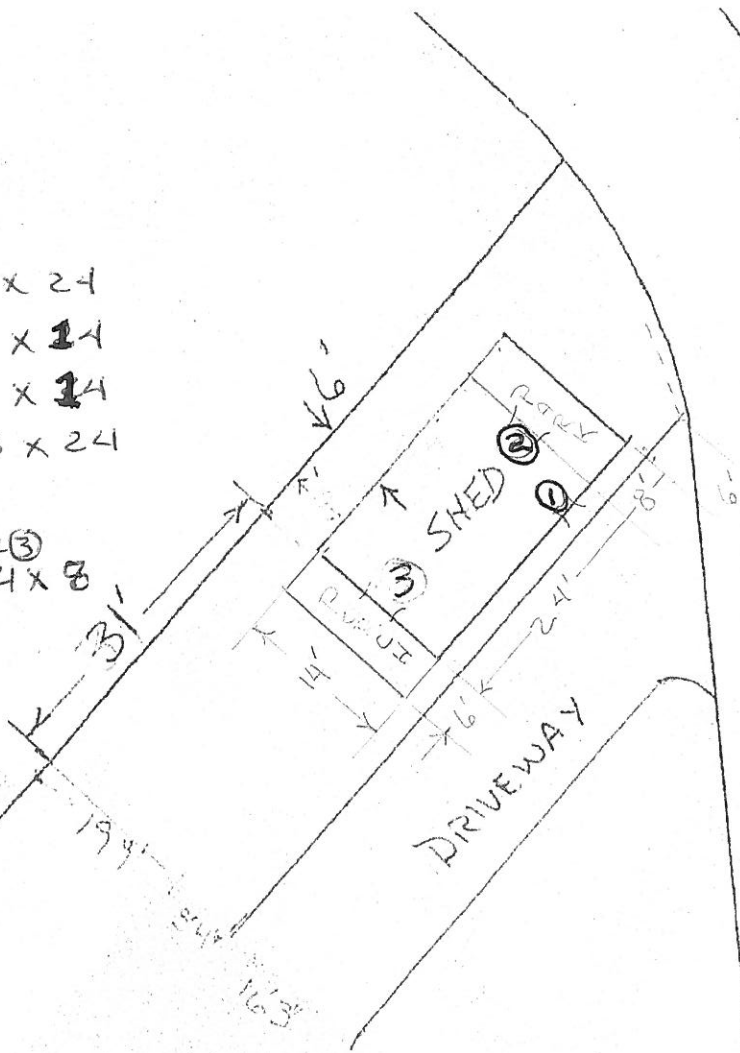
Thanks for your consideration

EM Echols



- SHED 14 x 24
- Park 8 x 14
- Porch 6 x 14
- SLAB 28 x 24
- Main door ①
- Roll UP DOORS ②+③ 4 x 8

18950

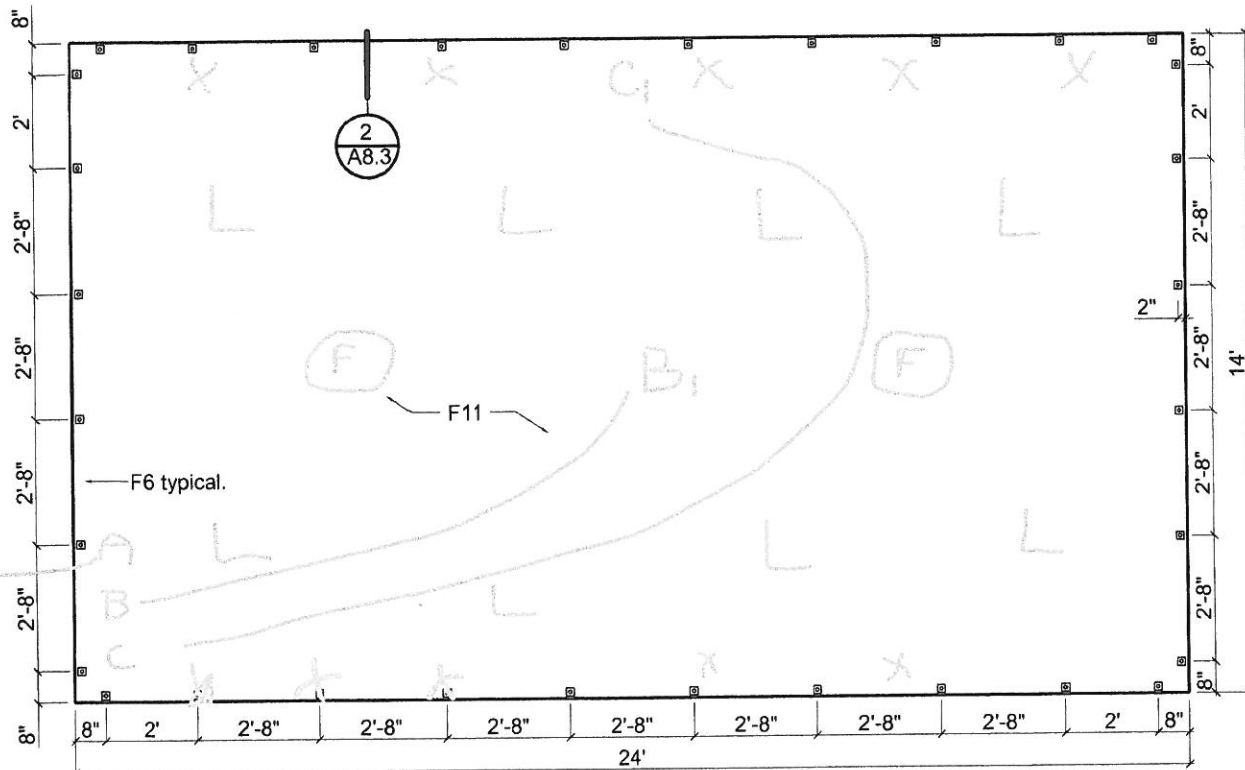


18949

204  
LAKEHILL

3- 2" Conduit  
 1 - to end of slab to "A" House to Submain  
 1 - to mid slab B-B, (120V SAW)  
 1 to mid West Wall (240V HVAC)

Drill to set anchors  
 w/ framing



**NOTES:**

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

**FOUNDATION MATERIALS**

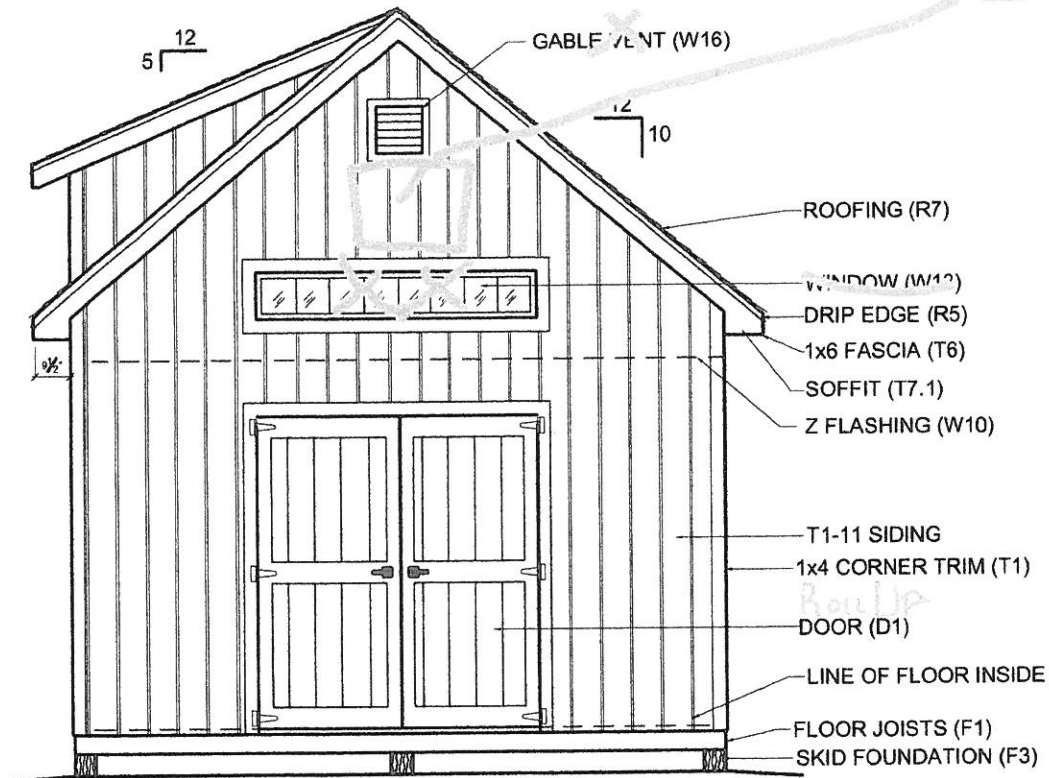
CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

**CONCRETE SLAB FLOOR PLAN**

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"  
 8 4' LED Shop lights - "L"  
 2 " " - Loft

2 Fans (F)



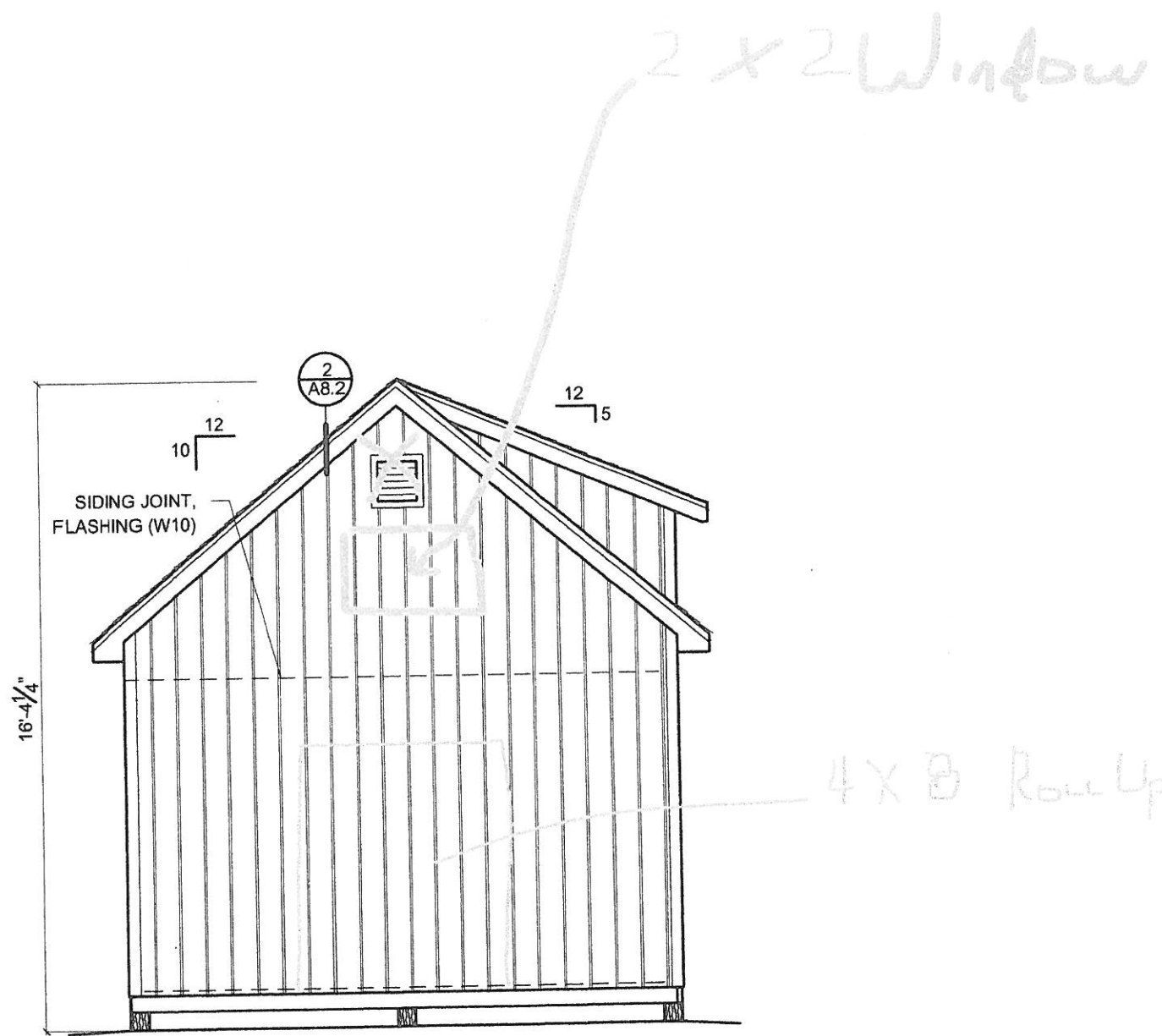
FRONT ELEVATION

SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1½"x1½"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	2010 Fixed Window	6'-0" x 1'-0"	1
W14	3016 Fixed window	3'-0" x 1'-6"	3
W15	Pre-made gable vent	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6068 Double door	6'-0" x 5'-0"	1

Ramp or stair materials are not shown





2 x 2 Window

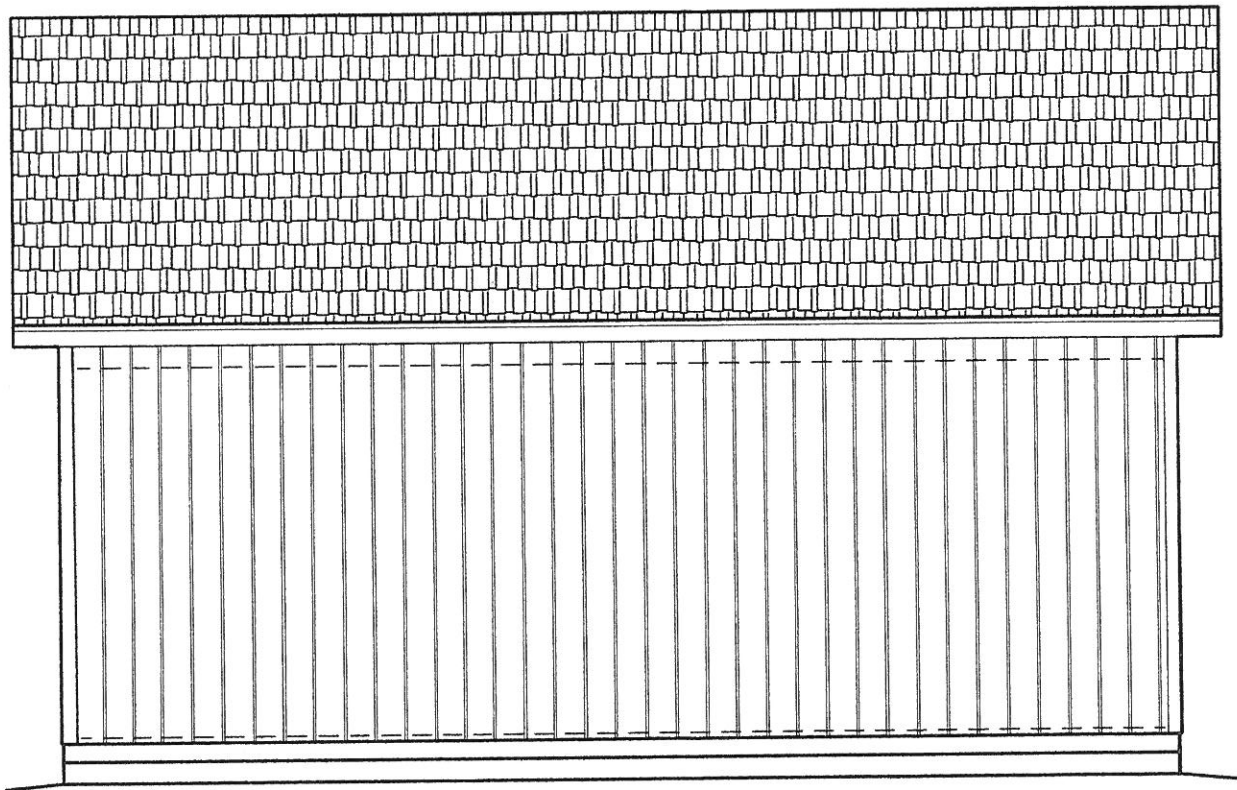
4 x 8 Row Up

REAR ELEVATION

SOUTH

Exterior Elevations 3.2

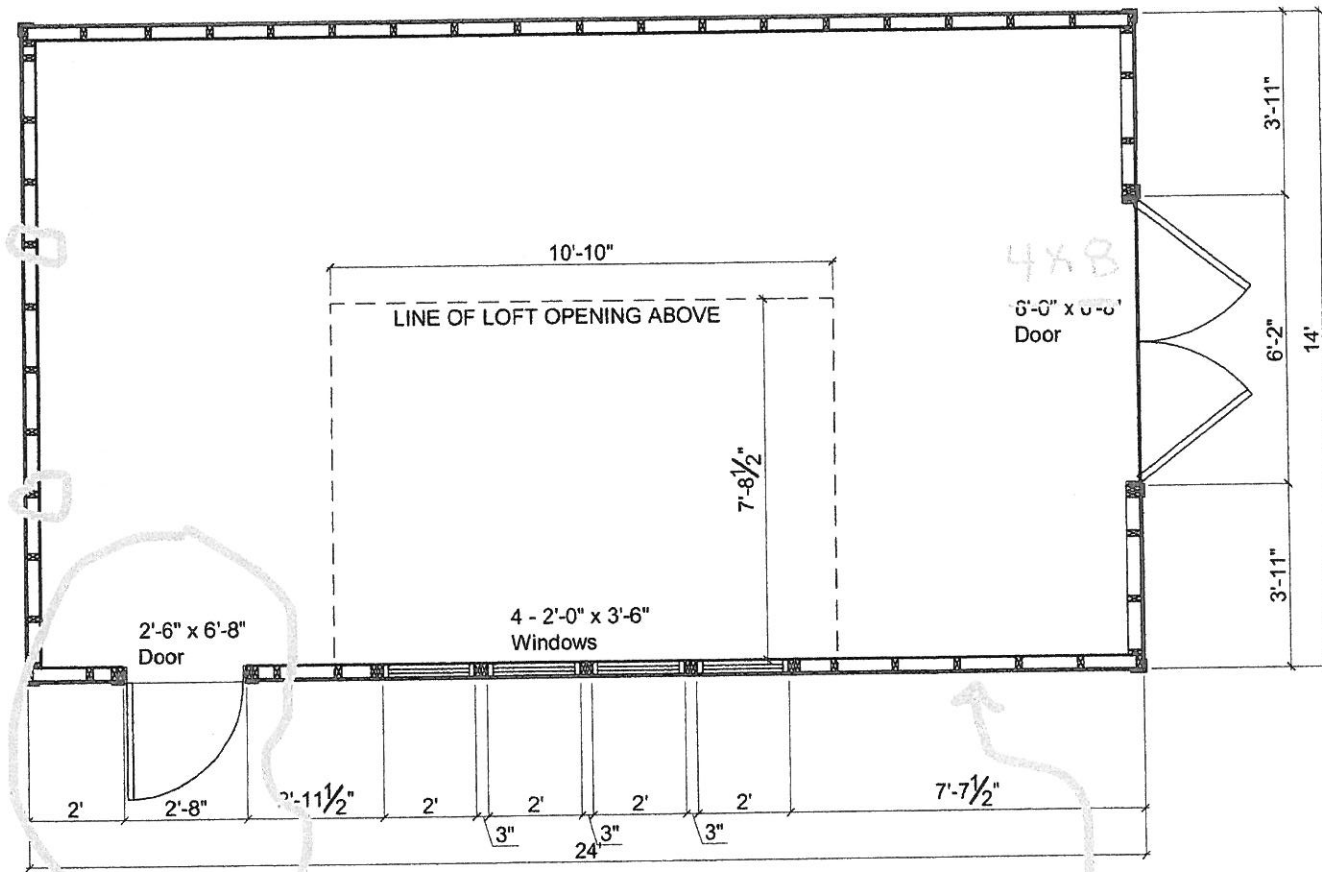
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RIGHT ELEVATION



4x8  
Roll Up



Rollup

FLOOR PLAN

1/4" = 1'-0" See wall framing plans for stud layout and material take off.

REVERSE  
WALL  
Door on Right

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.28-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 17, BLOCK B, LAKERIDGE PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Edwin Echols for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.28-acre parcel of land being described as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 340 SF.
- (3) The *Accessory Building* shall not exceed an overall height of 16-feet, 4¼-inches.
- (4) The subject property shall not have more than one (1) accessory building.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18<sup>TH</sup> DAY OF MAY, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: May 4, 2020

2<sup>nd</sup> Reading: May 18, 2020

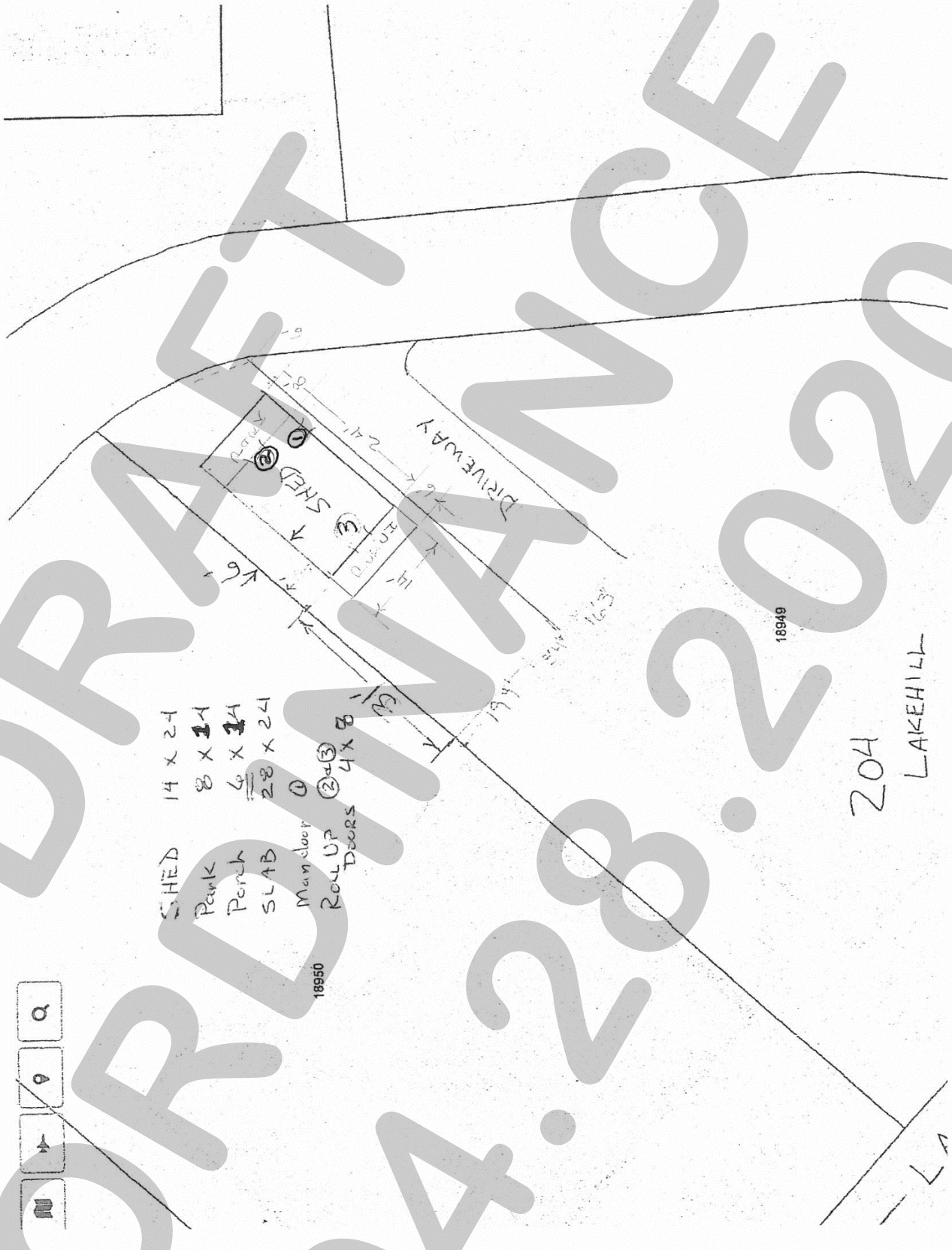
**Exhibit 'A'**  
**Zoning Exhibit**

Address: 204 Lakehill Drive

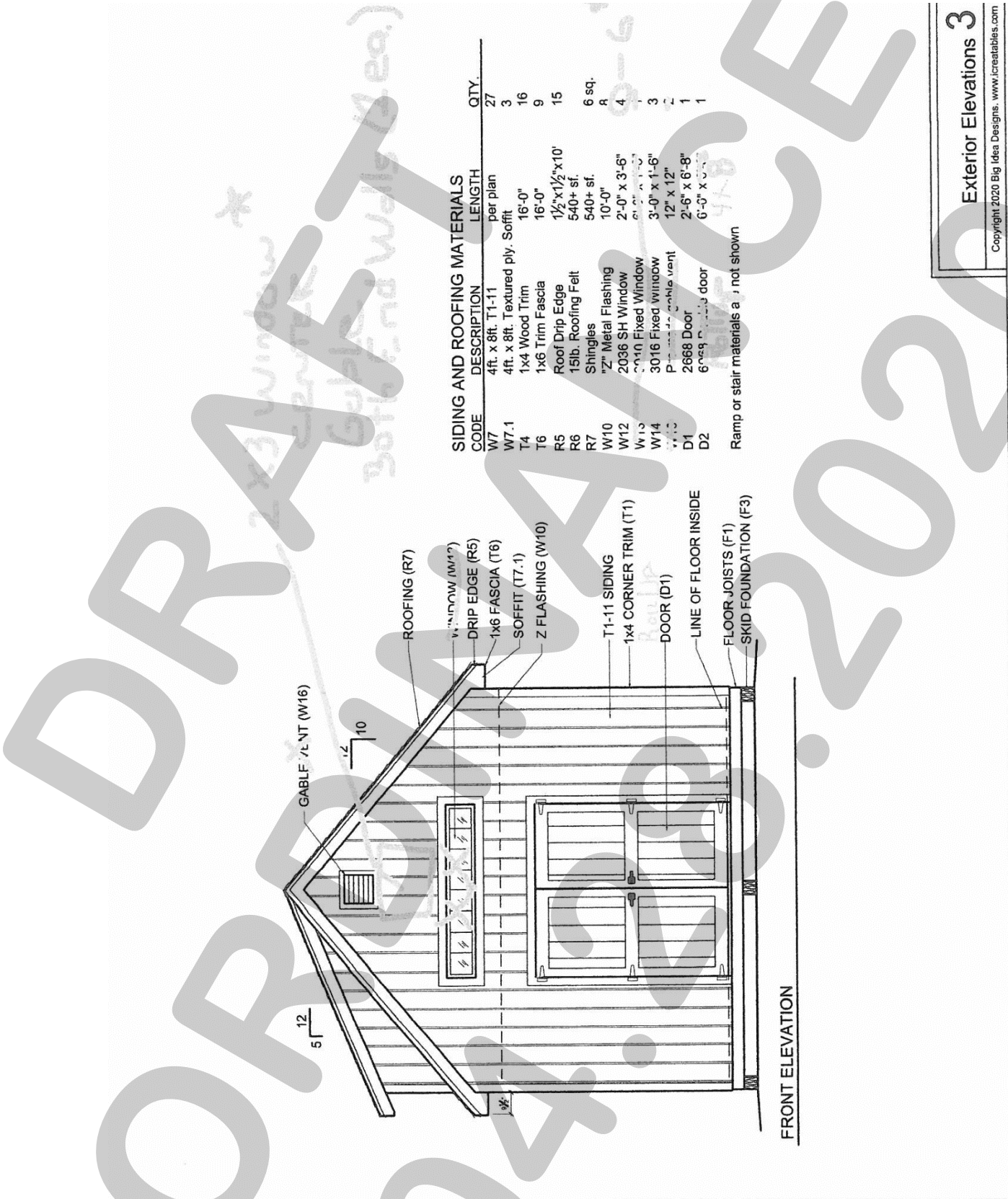
Legal Description: Lot 17, Block B, Lakeridge Park Addition



Exhibit 'B':  
Concept Plan



**Exhibit 'C':**  
**Conceptual Building Elevations**



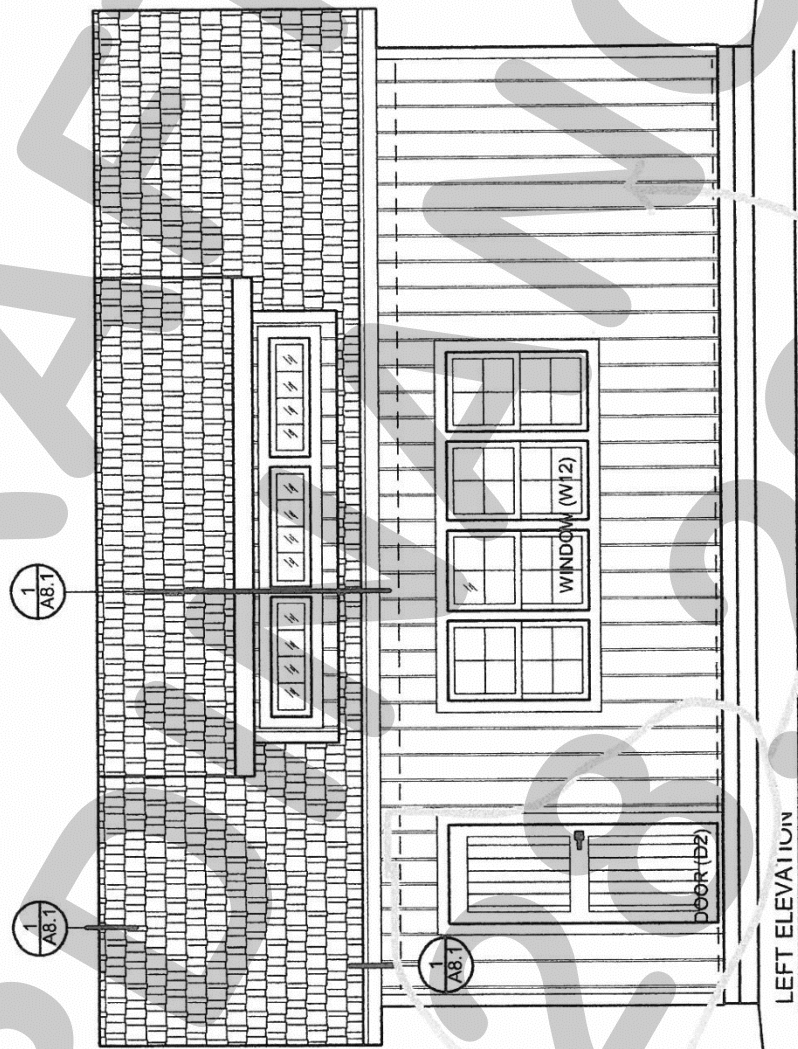
SIDING AND ROOFING MATERIALS			
CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit	16'-0"	3
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T6	1x6 Trim Fascia	16'-0"	9
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R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
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W13	3010 Fixed Window	3'-0" x 1'-6"	3
W14	3016 Fixed Window	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6'-0" x 6'-0" door	6'-0" x 6'-0"	1

Ramp or stair materials as not shown

**Exterior Elevations 3**

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Exhibit 'C':  
Conceptual Building Elevations



Exterior Elevations 3.1

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# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** May 4, 2020  
**APPLICANT:** Edwin Echols  
**CASE NUMBER:** Z2020-010; *Specific Use Permit for an Accessory Building at 204 Lakehill Drive*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

### BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. The property was later platted as Lot 17, Block B of the Lakeridge Park Subdivision, which was filed with Rockwall County on September 29, 1972. At the time of filing, the subject property -- *along with the remainder of the Lakeridge Park Subdivision* -- was zoned Single-Family 2 (SF-2) District. According to the City's historic zoning maps, this designation was changed to a Single-Family 10 (SF-10) District between 1972 and 1983. The property has not changed zoning since being re-designated to a Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD) a 2,636 SF single-family home -- *with 1,994 SF of conditioned space* -- was constructed in 1990.

### PURPOSE

The property owner and applicant -- *Edwin Echols* -- is requesting the approval of a Specific Use Permit (SUP) to construct an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 204 Lakehill Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is Phase 2 of the Estates of Coastal Royale Subdivision, which consists of 13 single-family lots that are zoned Single-Family 10 (SF-10) District. Beyond this is the takeline followed by the City's corporate limits and Lake Ray Hubbard.

South: Directly south of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is a 100-foot right-of-way for the *M. K. & T. Railroad*, which has railroad tracts within it. South of this is the Sky Ridge Addition, which consist of one (1) non-residential lot that is 8.583-acres in size and is zoned Commercial (C) District.

East: Directly east of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this are two (2) tracts of land [*i.e. Tract 4 & 12 of the D. Atkins Survey, Abstract No. 1*], which have single-family homes constructed on them. These properties are zoned Single-Family 10 (SF-10) District. East of this is Ridge Road [*FM-740*], which is identified as a M4D (*i.e. major collector, four [4]*

lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is the takeline followed by the City's corporate limits and Lake Ray Hubbard.

### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application, letter, and drawings requesting to build a 14-foot by 24-foot (*i.e.* 336 SF) accessory building with a six (6) foot by 14-foot (*i.e.* 84 SF) porch. The total building footprint of the accessory building will be 14-feet by 30-feet or 420 SF, and an additional parking space will be incorporated adjacent to the rear of the accessory building measuring six (6) feet by 14-feet. Per the drawings provided by the applicant the accessory building will have a pitched roof with a total height of 17-feet, 7-inches. The exterior of the accessory building will be clad in wood siding and the roof will utilize an asphalt shingle that is complimentary to the asphalt shingle used on the primary structure. The building will be situated at the rear of the subject property, 14-feet from the adjacent alleyway along the eastern property line, and six (6) feet from the northern property line. The accessory building will not be visible from any public right-of-way with the exception of the adjacent alleyway.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family (SF-10) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from all property lines. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

### **STAFF ANALYSIS**

In this case, the applicant's request conforms with the setback requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 276 SF. The roof on the accessory building is proposed to be pitched, and per the Unified Development Code (UDC) the measurement for height is taken at the mid-point of the roof for pitched roofs. Based on this, the proposed accessory building is in compliance with height requirements. Staff should note that, while it is debatable whether the accessory building is architecturally compatible with the primary structure, it will be situated behind the primary structure and only visible from the adjacent alleyway. Additionally, the applicant has stated that it will be painted the same color as the trim on the primary structure. Staff should also mention that since this subdivision was originally platted in 1972 and has housing stock that ranges in year built from the 1970's to the 1990's, there are several accessory buildings that utilize the same materials and are generally the same size as the proposed accessory building. With this being said, approval of a Specific Use Permit (SUP) request is discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On April 8, 2020, staff mailed 41 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Associations (HOA), which are the only HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received three (3) notices and two (2) online input forms (*from the same address*) in favor of the applicant's request and one (1) notice opposed to the applicant's request.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
  - (b) The *Accessory Building* shall not exceed a maximum size of 340 SF; and
  - (c) The *Accessory Building* shall not exceed an overall height of 18-feet; and
  - (d) The subject property shall not have more than one (1) accessory building.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## PLANNING AND ZONING COMMISSION

On April 28, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Logan dissenting.

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2020-010	<b>Owner</b> ECHOLS, EDWIN & BRITTEN	<b>Applied</b> 3/20/2020	<b>AG</b>
<b>Project Name</b> SUP for 204 Lakehill Drive	<b>Applicant</b>	<b>Approved</b>	
<b>Type</b> ZONING		<b>Closed</b>	
<b>Subtype</b> SUP		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 204 LAKEHILL		<b>City, State Zip</b> ROCKWALL, TX 75087	
		<b>Zoning</b>	
<b>Subdivision</b> LAKERIDGE PARK	<b>Tract</b> 17	<b>Block</b> B	<b>Lot No</b> 17
		<b>Parcel No</b> 4220-000B-0017-00-0R	<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020				
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-010; SUP for Accessory Building						Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request by Edwin Echols for the approval of a Specific Use Permit(SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive.
I.2						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.
M.3						For reference, include the case number (Z2020-010) in the lower right-hand corner of all pages on future submittals.
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC).
M.5						In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.
M.6						Specific Use Permit (SUP).
1)						Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.
I.7						Please note that failure to address all comments provided by staff by 5:00 PM on March 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
I.8						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18, 2020.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22020-010

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre) <sup>1</sup>

**Other Application Fees:**

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address 204 Lake hill Dr Rockwall 75087  
 Subdivision Lakeridge Park Lot 17 Block B  
 General Location \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning	<u>SF2</u>	Current Use	<u>Single Family</u>
Proposed Zoning	<u>SF2</u>	Proposed Use	<u>Single Family w/Accessory Bldg</u>
Acreage	<u>0.28</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>N/C</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input checked="" type="checkbox"/> Owner	<u>Edwin Echols</u>	<input type="checkbox"/> Applicant	
Contact Person	<u>self</u>	Contact Person	
Address	<u>204 Lakehill Dr.</u>	Address	
City, State & Zip	<u>Rockwall Tx 75087</u>	City, State & Zip	
Phone	<u>469 261 2483</u>	Phone	
E-Mail	<u>ed.echols@hotmail.com</u>	E-Mail	

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Edwin Echols [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires

0 20 40 80 120 160 Feet

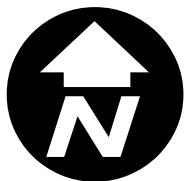
Z2020-010- SUP FOR 204 LAKEHILL DRIVE  
ZONING - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

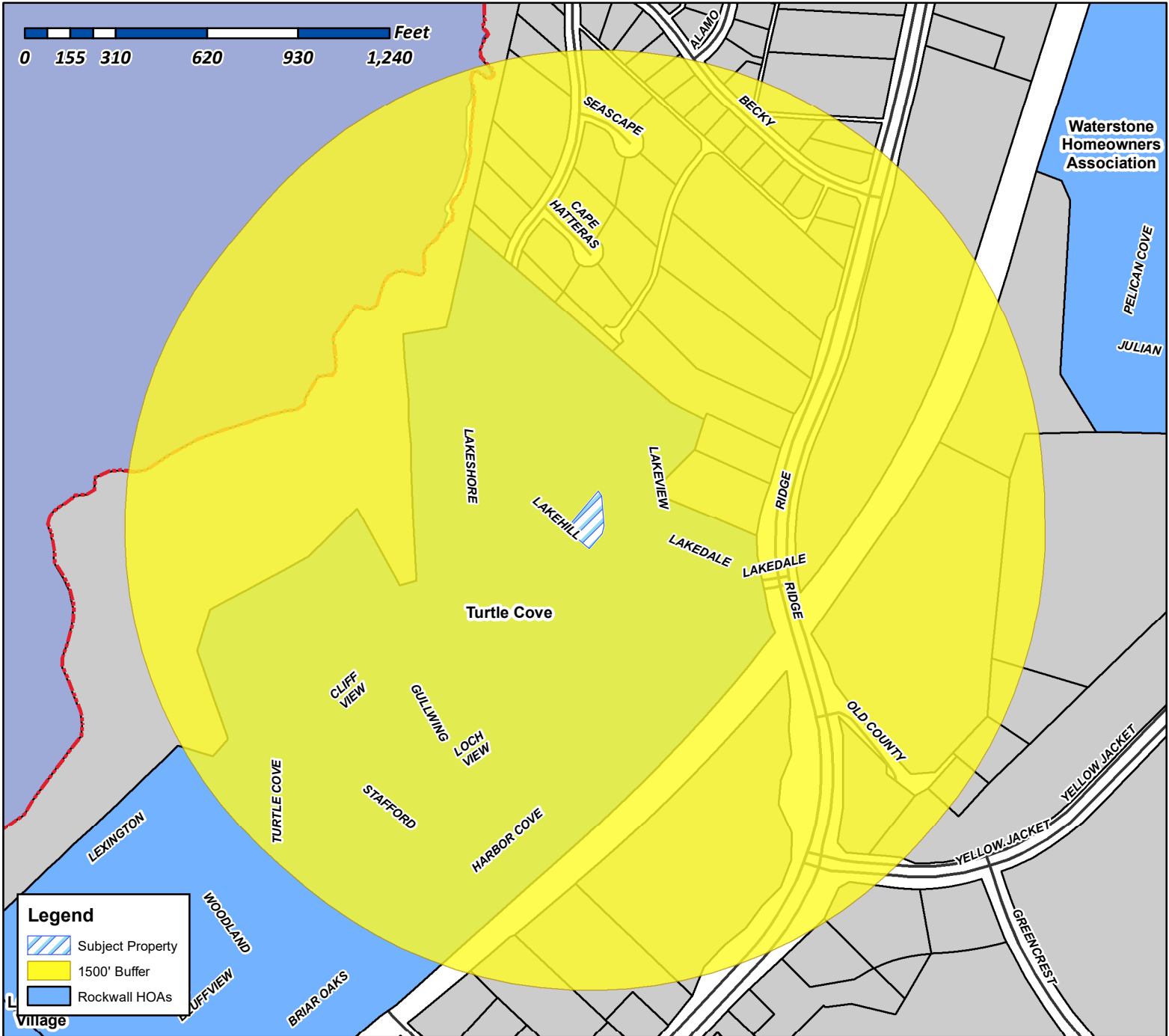




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

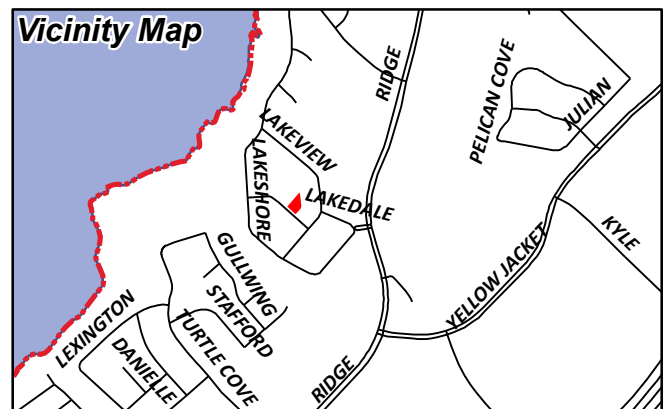
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**Case Number:** Z2020-010  
**Case Name:** SUP for 204 Lakehill Dr.  
**Case Type:** Specific Use Permit  
**Zoning:** Single Family 10 (SF-10) District  
**Case Address:** 204 Lakehill Dr.

**Date Created:** 3/24/2020

**For Questions on this Case Call (972) 771-7745**





**From:** [Gamez, Angelica](#)  
**Cc:** [Miller, Ryan](#); [Brooks, Korey](#); [Gonzales, David](#)  
**Subject:** Neighborhood Notification Program  
**Date:** Tuesday, April 7, 2020 11:39:07 AM  
**Attachments:** [HOA Map \(03.24.2020\).pdf](#)  
[PUBLIC NOTICE 04.07.2020\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning cases that was published in the Rockwall Herald Banner on [April 10, 2020](#). The Planning and Zoning Commission will hold a virtual public meeting on [Tuesday, April 28, 2020 at 6:00 PM](#), and the City Council will hold a virtual public meeting on [Monday, May 4, 2020 at 6:00 PM](#). Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email [Planning@rockwall.com](mailto:Planning@rockwall.com). For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-010- SUP for an Accessory Building at 204 Lakehill Drive

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

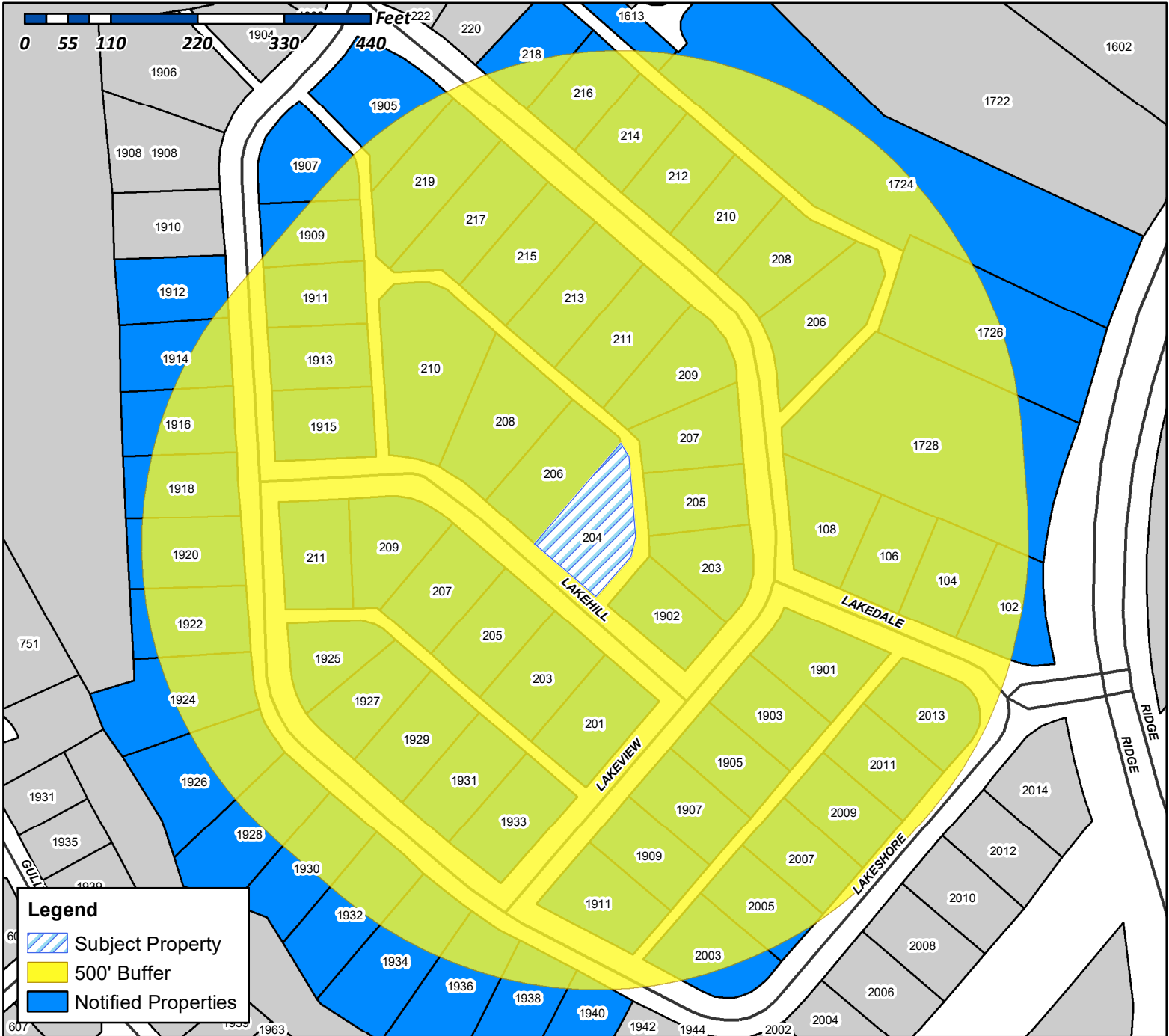
<http://www.rockwall.com/planning/>



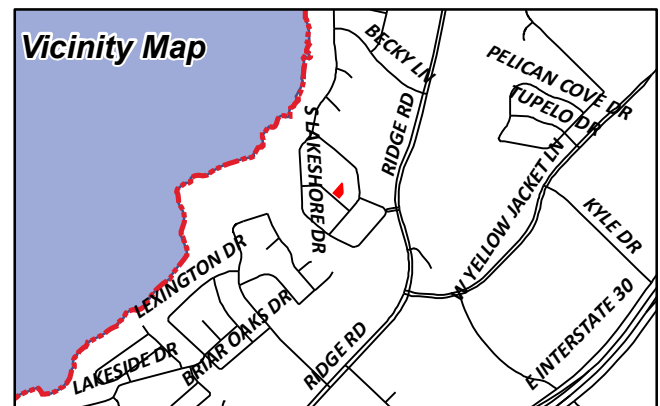
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Type:** Specific Use Permit  
**Zoning:** Single Family 10 (SF-10) District  
**Case Address:** 204 Lakehill Dr.



**Date Created:** 3/24/2020

**For Questions on this Case Call (972) 771-7745**

CURRENT RESIDENT  
LAKESHORE DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
102 LAKEDALE  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

MCCULLAR EMILY JEAN  
104 LAKEDALE DRIVE  
ROCKWALL, TX 75087

MILLER KATIE BROOKE AND PETER JR  
106 LAKEDALE DR  
ROCKWALL, TX 75087

PECK RUTH H  
108 LAKEDALE DR  
ROCKWALL, TX 75087

SCHULTZ STEVEN LUKE  
1333 OLD SPANISH TRAIL APT 4154  
HOUSTON, TX 77054

NOBLE DAVID D & LESLIE A  
1613 CAPE HATTERAS PL  
ROCKWALL, TX 75087

CASSELMAN STEVEN AND JEANNETTE  
1724 RIDGE ROAD  
ROCKWALL, TX 75087

PALOS MICKEY SUE &  
CODY S & MARIA T LOWERY  
1726 RIDGE RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1728 RIDGE  
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC  
180 N STETSON AVE SUITE 3650  
CHICAGO, IL 60601

PETTIGREW TERESA VIOLA  
1901 LAKEVIEW DR  
ROCKWALL, TX 75087

FULKERSON CHARLES D & LANA C  
1902 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1903 LAKEVIEW  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1905 LAKESHORE  
ROCKWALL, TX 75087

KERN ROBERT JR & LORNA  
1905 LAKEVIEW DR  
ROCKWALL, TX 75087

BALLARD KEVIN L ETUX  
1907 LAKEVIEW DR  
ROCKWALL, TX 75087

COWAN JOHNNY L ET UX  
1907 S LAKESHORE DR  
ROCKWALL, TX 75087

LALUMIA JOE AND LAURA GAMBILL  
1909 LAKEVIEW DR  
ROCKWALL, TX 75087

MCADEN CURTIS D AND MELISSA L  
1909 S LAKESHORE DR  
ROCKWALL, TX 75087

CHURCH ADRIA AND COLT  
1911 LAKEVIEW DR  
ROCKWALL, TX 75087

CRANE GEORGE R  
1911 S LAKESHORE DR  
ROCKWALL, TX 75087

HOFFMAN MICHAEL AND ANGELA  
1912 S LAKESHORE ROAD  
ROCKWALL, TX 75087

FULBRIGHT CHRISTOPHER AND ANGELINE  
1913 S LAKESHORE DR  
ROCKWALL, TX 75087

PATTON JAMES DOUGLAS  
1914 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

MILLER DAVID M  
1915 S LAKESHORE DR  
ROCKWALL, TX 75087

MASSAR STACY L & BERNARD A  
1916 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPENCER GARY S  
1918 S LAKESHORE DR  
ROCKWALL, TX 75087

HARBIN ERIC S & STACEY R  
1920 S LAKESHORE DR  
ROCKWALL, TX 75087

TAYLOR LARRY S AND APRIL  
1922 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

LUIZ ALBERT H  
1924 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCLARD HARRY A  
1925 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

SPRING TRUMAN E JR AND JANE C  
1926 S LAKESHORE DR  
ROCKWALL, TX 75087

POST JEREMY AND JENNIFER  
1927 S LAKESHORE DR  
ROCKWALL, TX 75087

BAHN ERIC AND  
JANET JONES  
1928 S LAKESHORE DR  
ROCKWALL, TX 75087

WHITE JOHN N & FRANCES  
1929 LAKESHORE DR  
ROCKWALL, TX 75087

RAY CYNTHIA  
1930 S LAKESHORE DR  
ROCKWALL, TX 75087

STRACK KENNETH E & SHARON C TRUSTEES  
STRACK FAMILY LIVING TRUST  
1931 S LAKESHORE DR  
ROCKWALL, TX 75087

GOSH GUY P & REBECCA  
1932 S LAKESHORE DR  
ROCKWALL, TX 75087

MCCAFFITY LLOYD R JR  
1933 S LAKESHORE DR  
ROCKWALL, TX 75087

TERRELL DEBRA  
1934 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE SAMUEL & MARION  
1936 S LAKESHORE DR  
ROCKWALL, TX 75087

MOORE RHONDA  
1938 SOUTH LAKESHORE DRIVE  
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E  
1940 S LAKESHORE DR  
ROCKWALL, TX 75087

BOSWELL MICHAEL AND ANN  
2003 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

PADILLA KRIS AND JOE  
2005 LAKESHORE DRIVE  
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L  
2007 S LAKESHORE  
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND  
KIMBERLY LEE PETRIELLO  
2009 S LAKESHORE DRIVE  
ROCKWALL, TX 75087

COOK PAUL W ETUX  
201 LAKEHILL DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2011 LAKESHORE  
ROCKWALL, TX 75087

FREEMAN C L  
2013 S LAKESHORE DR  
ROCKWALL, TX 75087

INGRAM KENNY DON  
203 LAKEHILL DR  
ROCKWALL, TX 75087

RIIS RICK LEE  
203 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

ECHOLS EDWIN & BRITTEN  
204 LAKEHILL DR  
ROCKWALL, TX 75087

KOLAR MARC AND MONICA A  
205 LAKEHILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
205 LAKEVIEW  
ROCKWALL, TX 75087

RICKERSON CHARLES & VIRGINIA RICKERSON  
206 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN  
206 LAKEVIEW DR  
ROCKWALL, TX 75087

STEGMAN SARAH A  
207 LAKEHILL DR  
ROCKWALL, TX 75087

BROYLES LYNN  
207 LAKEVIEW DR  
ROCKWALL, TX 75087

JOHNSON DAVID L & MELODY D  
208 LAKEHILL DR  
ROCKWALL, TX 75087

ESTES AMY RACHELLE & JOSHUA ELDEN  
208 LAKEVIEW DR  
ROCKWALL, TX 75087

STEVENS JOSHUA D  
209 LAKEHILL DR  
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE  
209 LAKEVIEW DR  
ROCKWALL, TX 75087

LARUE PATRICIA D & TIMOTHY L  
210 LAKEHILL DRIVE  
ROCKWALL, TX 75087

SHELLITO SUSAN G  
210 LAKEVIEW DR  
ROCKWALL, TX 75087

MOORE MIKE T & DIANA  
211 LAKEHILL DR  
ROCKWALL, TX 75087

TURNER KENNETH K  
211 LAKEVIEW DR  
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R  
212 LAKEVIEW DR  
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R  
213 LAKEVIEW DR  
ROCKWALL, TX 75087

FENTON DONYELLE  
214 LAKEVIEW DRIVE  
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM  
215 LAKEVIEW DR  
ROCKWALL, TX 75087

ODEN ELRA C  
216 LAKEVIEW DR  
ROCKWALL, TX 75087

MCCRACKEN SUSAN M  
217 LAKEVIEW DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
218 LAKEVIEW  
ROCKWALL, TX 75087

BURKS JANETTA BETH  
219 LAKEVIEW DR  
ROCKWALL, TX 75087

JUNKER SHAWN W & LEANNE  
519 E. INTERSTATE 30 # 631  
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC  
PO BOX 1476  
ROCKWALL, TX 75087

ALLEN DENNIS L & GLENNA L  
PO BOX 801161  
BALCH SPRINGS, TX 75180

RUTH DOWER LIVING TRUST DATED JUNE 3  
2014  
RUTH DOWER TRUSTEE  
PO BOX 871239  
MESQUITE, TX 75187



# NOTICE OF PUBLIC HEARING

## CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive**

*Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

**Korey Brooks**  
**Rockwall Planning and Zoning Dept.**  
**385 S. Goliad Street**  
**Rockwall, TX 75087**

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email [Planning@rockwall.com](mailto:Planning@rockwall.com). For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning and Zoning  
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

**Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

**Name:**

**Address:**

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. 22020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

AESTHETICS OF THE NEIGHBORHOOD.

PROPERTY VALUE OF NEIGHBORHOOD.

Name: BALLARD

Address: 1907 LAKEVIEW

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am directly behind this area and know what he is asking to build and I can't wait to see it completed.  
Case # 22020-010

Name:

Hugh L. Kelly Jr.

Address:

209 Lakeview Dr. Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: JOHN N. WHITE

Address: 1929 S. LAKESHORE DRIVE, ROCKWALL 75087

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**NOTICE OF PUBLIC HEARING**  
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Sincerely,

**Ryan Miller, AICP**  
Director of Planning and Zoning  
City of Rockwall, Texas



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[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

**PLEASE RETURN THE BELOW FORM**

**Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*The structure that Mr. Echols intends to have built is to be located where it can't be seen from any street. It will also be a custom build to resemble the character of his residence. A good improvement!*

Name: *MIKE MOORE*

Address: *211 Lakehill Dr. Rockwall, Tx 75087*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-010

Please place a check mark on the appropriate line below: \*



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I live across the alley at 207 Lakeview Dr. I am in favor of the project

## Respondent Information

Please provide your information.

## First Name \*

Donna

Last Name \*

Broyles

Address \*

207 Lakeview Dr

City \*

rockwall

State \*

Texas

Zip Code \*

75087

Email Address \*

broyles.lynn@yahoo.com

Phone Number

972-768-5104

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

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Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-010

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I live at 207 Lakeview Dr.across the alley from the applicant and support his request

## Respondent Information

Please provide your information.

First Name \*

Elbert Lynn

Last Name \*

Broyles

Address \*

207 Lakeview Dr

City \*

Rockwall

State \*

Texas

Zip Code \*

75098

Email Address \*

broyles.lynn@yahoo.com

Phone Number

214-478-4341

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: \_\_\_\_\_

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: \_\_\_\_\_

This content is neither created nor endorsed by Google.

Google Forms



3/19/20

To City of Rockwall

From Edwin Echols

204 Lakehill Dr 75087

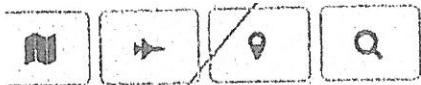
SUBJECT Variance Request

I am in need of a workshop to enable wood working projects and moving power tools out of our garage. The design in mind is 14 x 28 to be on the west side of our driveway. Placement here may need a variance on the 6ft. property offset and the structure height limit of 15 ft.

I plan to keep the offset from the Alleyway approximately 14 ft even though Accessory structure allowance is 3 ft.

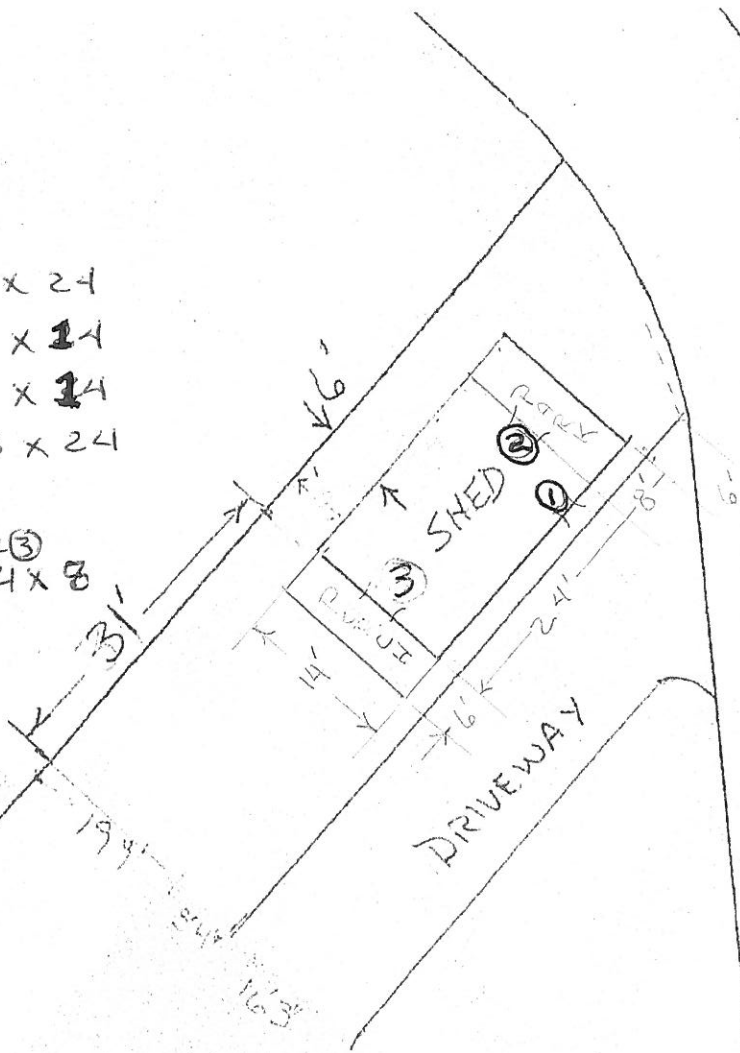
Thanks for your consideration

EM Echols



SHED 14 x 24  
PARK 8 x 14  
Porch 6 x 14  
SLAB 28 x 24  
Main door ①  
Roll UP DOORS ②+③ 4 x 8

18950

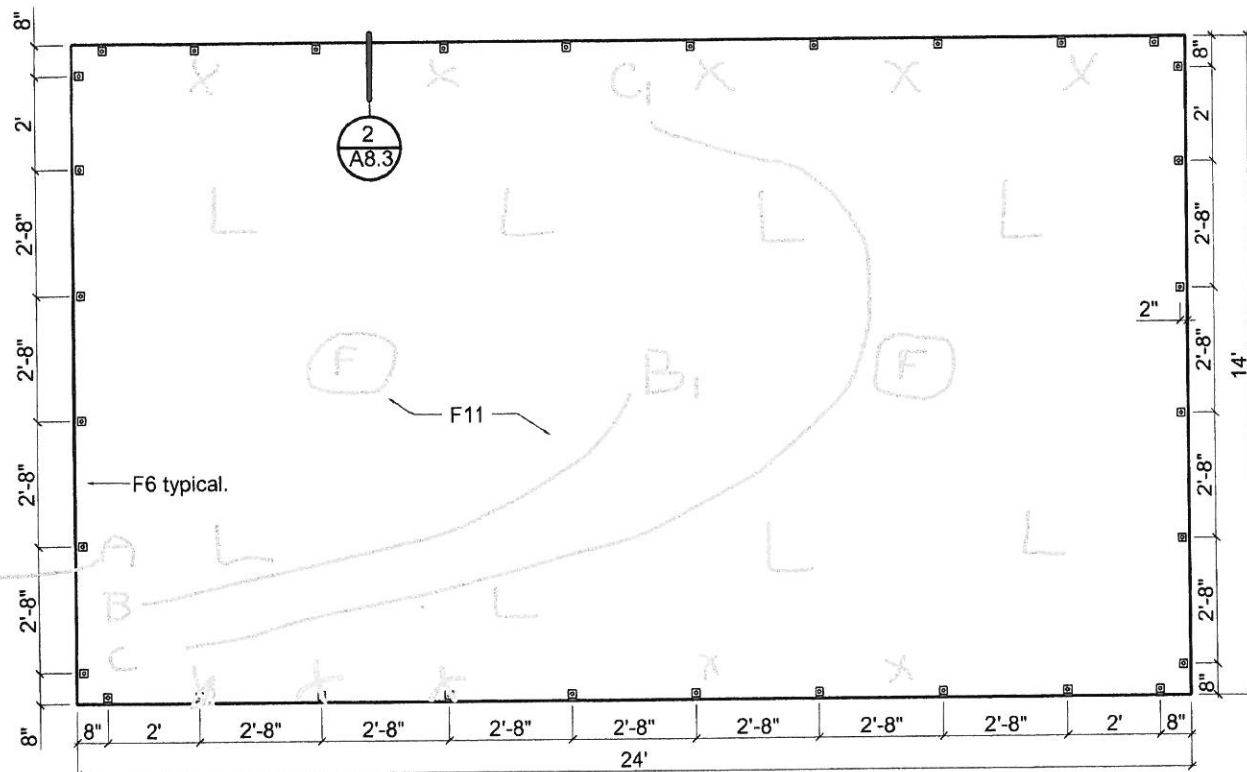


18949

204  
LAKEHILL

3- 2" Conduit  
 1 - to end of slab to "A" House to Submain  
 1 - to mid slab B-B, (120V SAW)  
 1 to mid West Wall (240V HVAC)

Drill to set anchors  
 w/ framing



**NOTES:**

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 6" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

**FOUNDATION MATERIALS**

CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

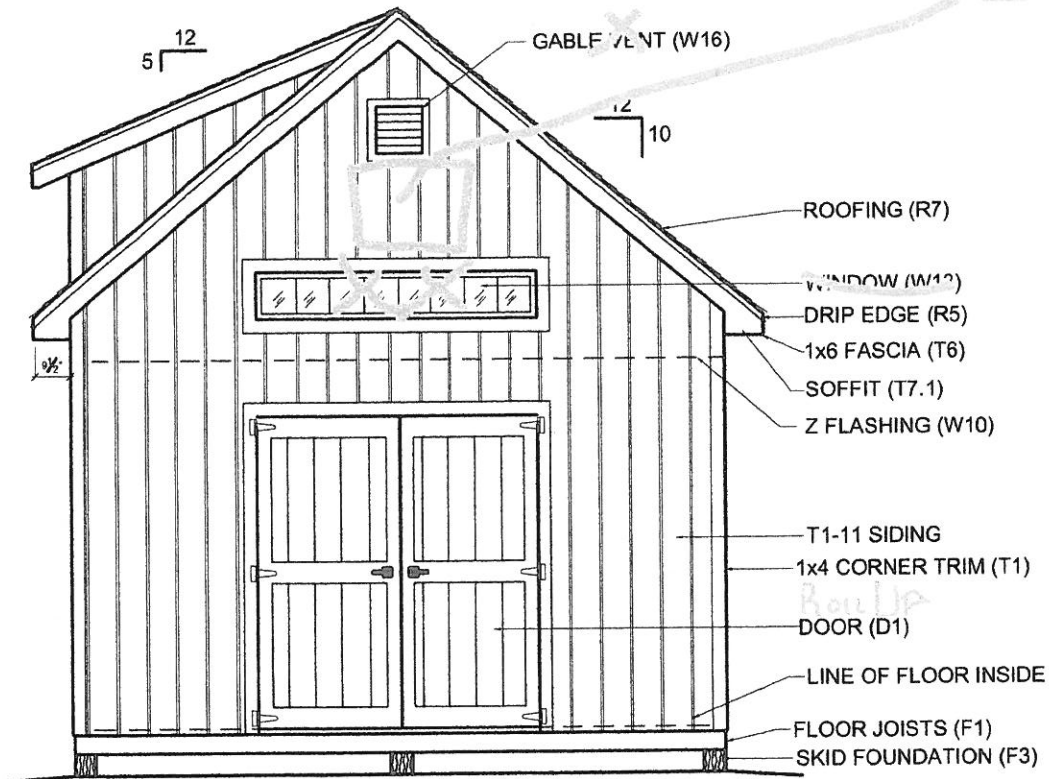
**CONCRETE SLAB FLOOR PLAN**

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

5 120 outlets ea. West & East Walls "X"  
 8 4' LED Shop lights - "L"  
 2 " " - Loft

2 Fans (F)

Concrete Foundation 4.1



FRONT ELEVATION

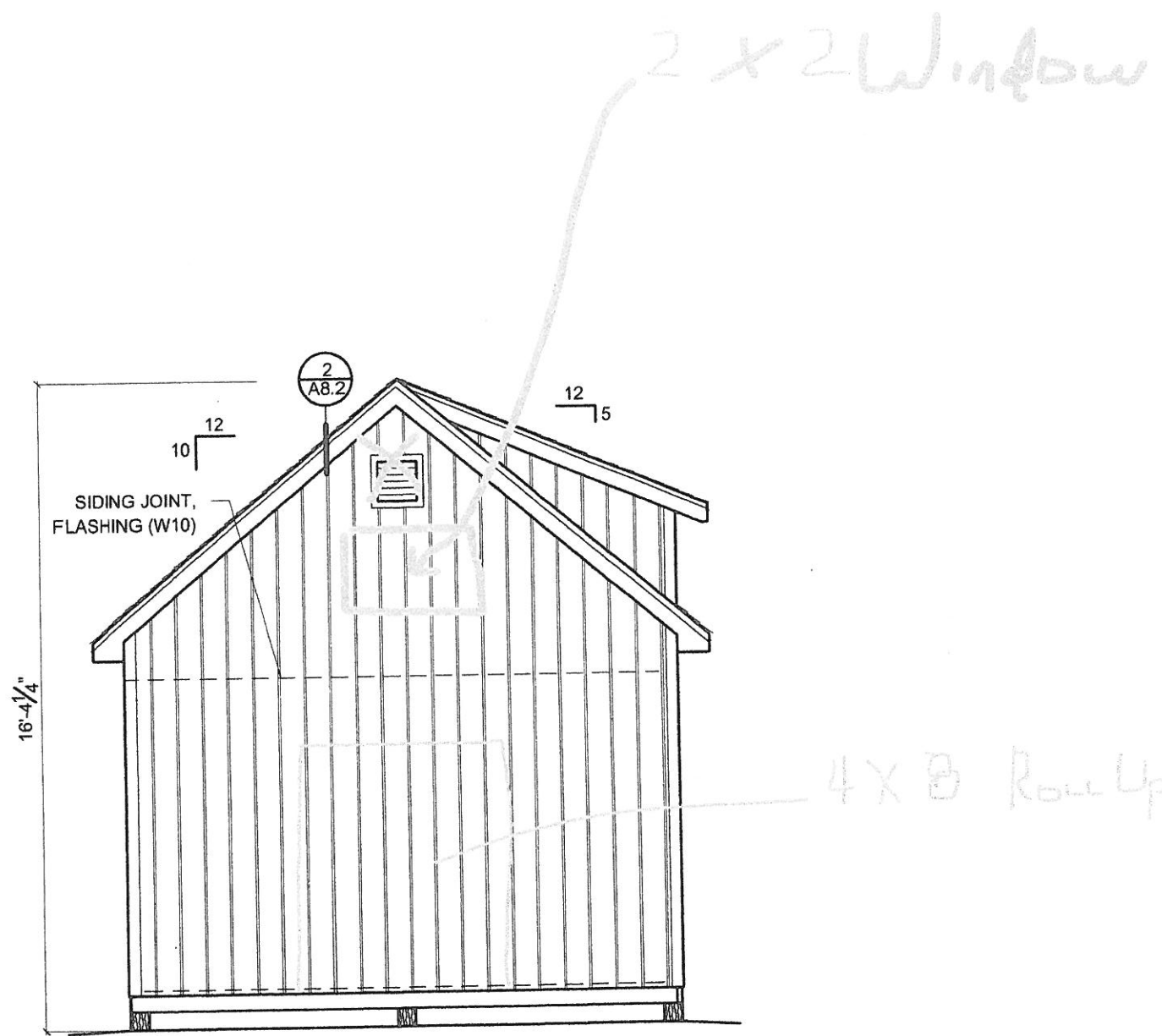
SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1½"x1½"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	2010 Fixed Window	6'-0" x 1'-0"	1
W14	3016 Fixed window	3'-0" x 1'-6"	3
W15	Pre-made gable vent	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6068 Double door	6'-0" x 5'-0"	1

Ramp or stair materials are not shown



LEFT ELEVATION



2 x 2 Window

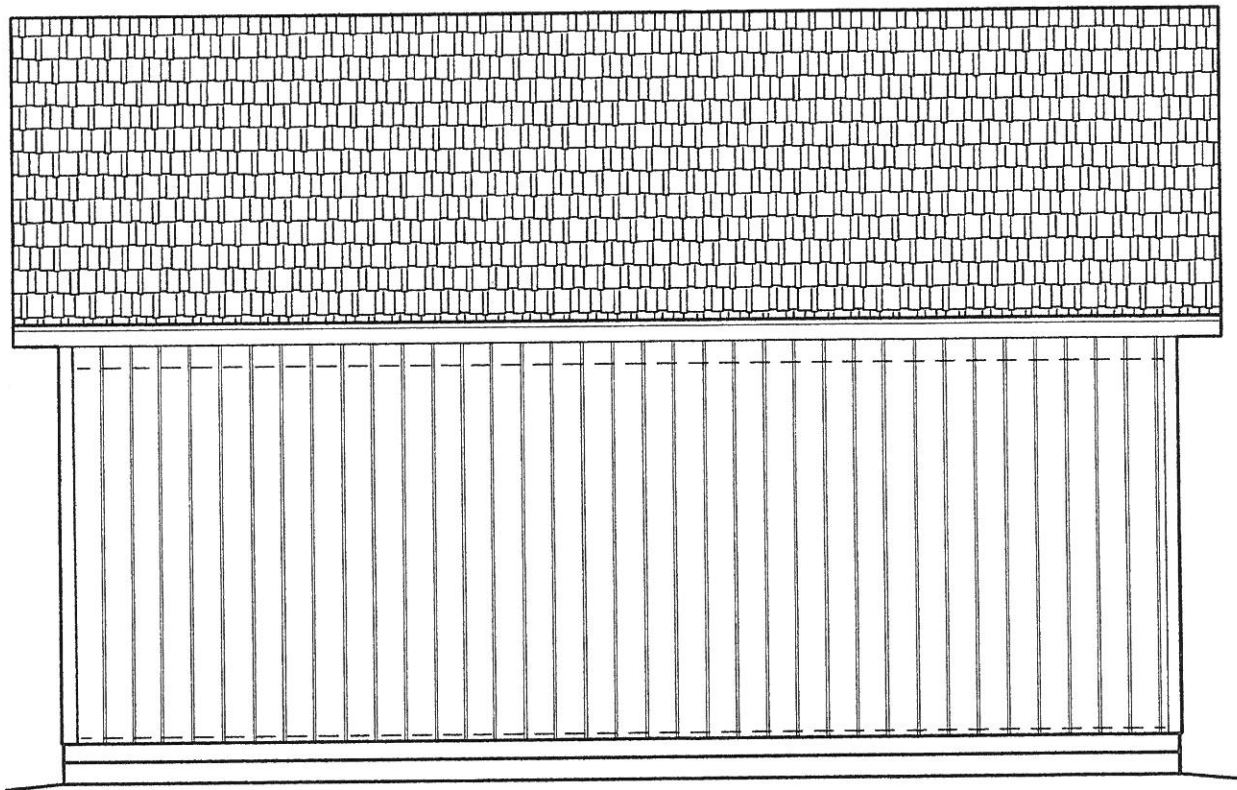
4 x 8 Row Up

REAR ELEVATION

SOUTH

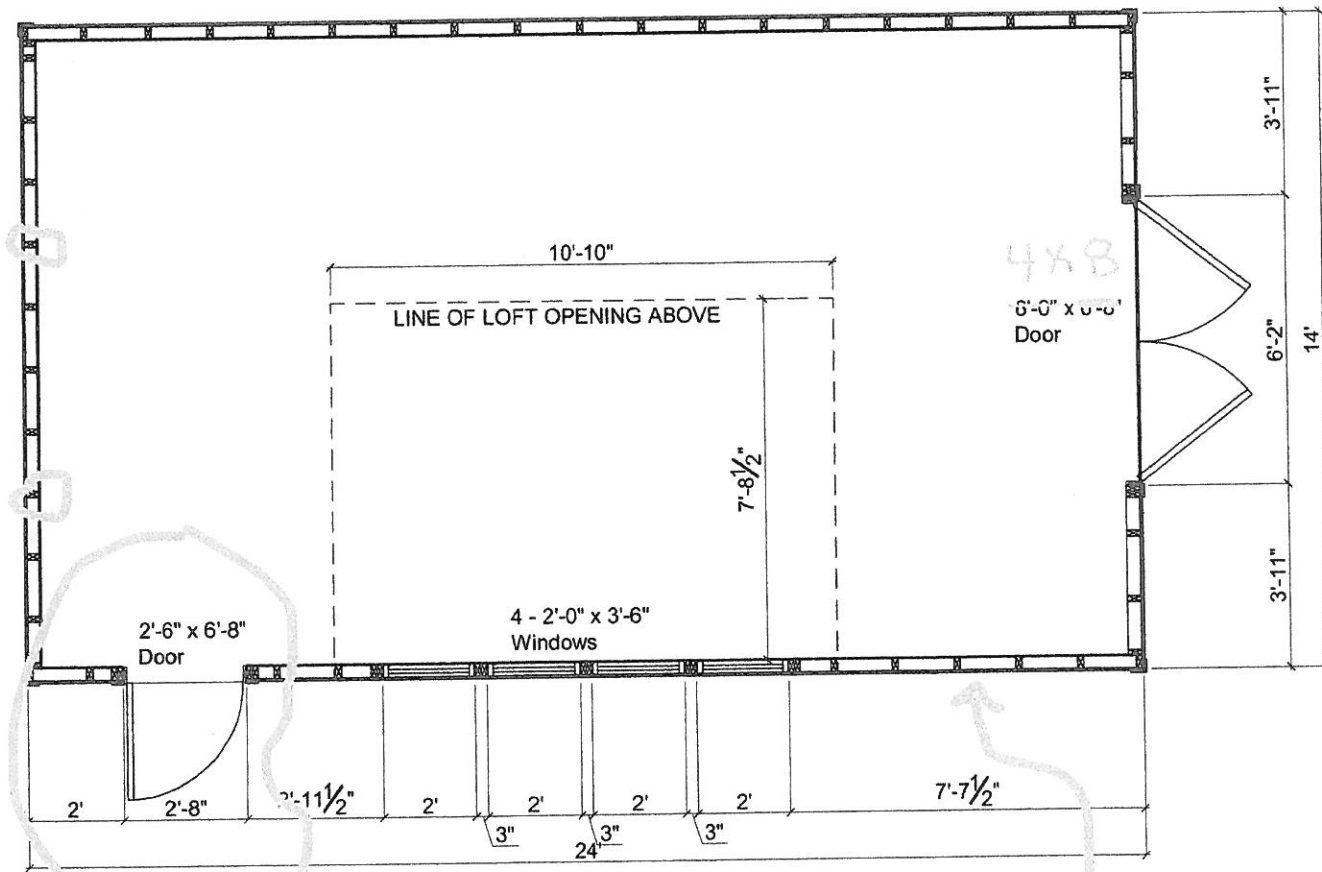
Exterior Elevations 3.2

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RIGHT ELEVATION

4x8  
Roll Up



Rollup

FLOOR PLAN

1/4" = 1'-0" See wall framing plans for stud layout and material take off.

Reverse  
Wall  
Door on Right



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.28-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 17, BLOCK B, LAKERIDGE PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Edwin Echols for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.28-acre parcel of land being described as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 340 SF.
- (3) The *Accessory Building* shall not exceed an overall height of 18-feet.
- (4) The subject property shall not have more than one (1) accessory building.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18<sup>TH</sup> DAY OF MAY, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: May 4, 2020

2<sup>nd</sup> Reading: May 18, 2020

**Exhibit 'A'**  
**Zoning Exhibit**

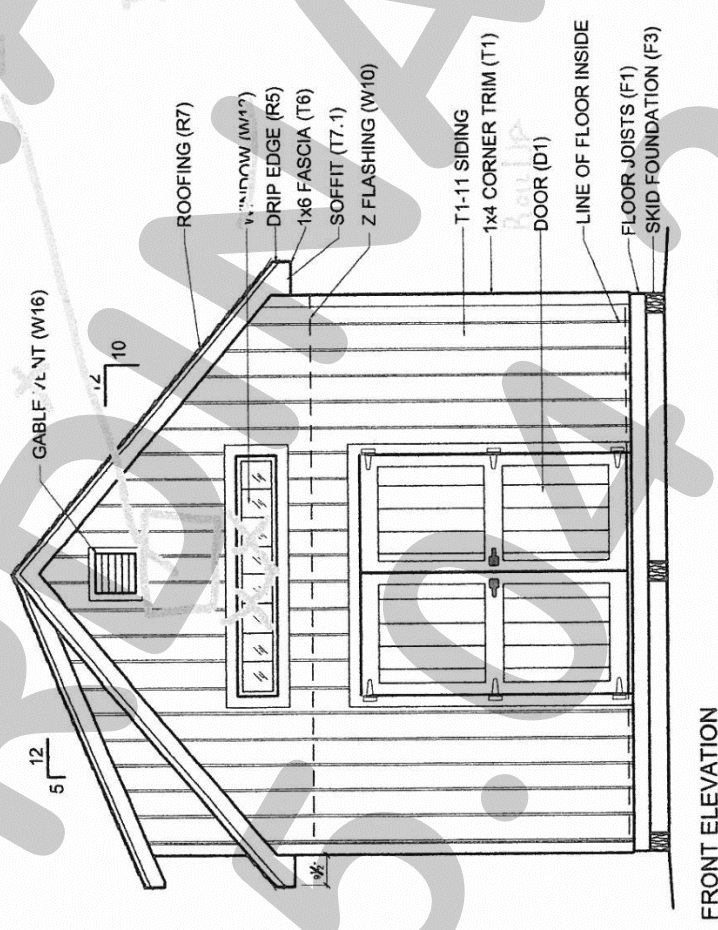
Address: 204 Lakehill Drive

Legal Description: Lot 17, Block B, Lakeridge Park Addition





**Exhibit 'C':**  
**Conceptual Building Elevations**



SIDING AND ROOFING MATERIALS			QTY.
CODE	DESCRIPTION	LENGTH	
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1 1/2" x 1 1/2" x 10'	15
R6	15lb. Roofing Felt	540+ sq.	
R7	Shingles	540+ sq.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	3016 Fixed Window	3'-0" x 1'-6"	3
W14	3016 Fixed Window	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6'-0" x 6'-0" door	6'-0" x 6'-0"	1

Ramp or stair materials as shown

**Exterior Elevations 3**

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Exhibit 'C':  
Conceptual Building Elevations



Exterior Elevations 3.1

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CITY OF ROCKWALL

ORDINANCE NO. 20-16

SPECIFIC USE PERMIT NO. S-219

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ACCESSORY BUILDING* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.28-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 17, BLOCK B, LAKERIDGE PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Edwin Echols for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.28-acre parcel of land being described as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as heretofore amended and as may be amended in the future --, and the following conditions:



## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 340 SF.
- (3) The *Accessory Building* shall not exceed an overall height of 18-feet.
- (4) The subject property shall not have more than one (1) accessory building.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

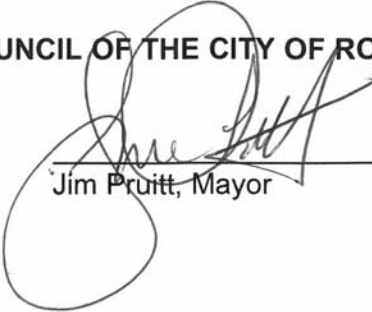
**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 18<sup>TH</sup> DAY OF MAY, 2020.**



---

Jim Pruitt, Mayor

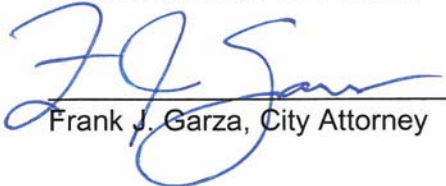
**ATTEST:**



---

Kristy Cole, City Secretary

**APPROVED AS TO FORM:**



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Frank J. Garza, City Attorney



1<sup>st</sup> Reading: May 4, 2020

2<sup>nd</sup> Reading: May 18, 2020

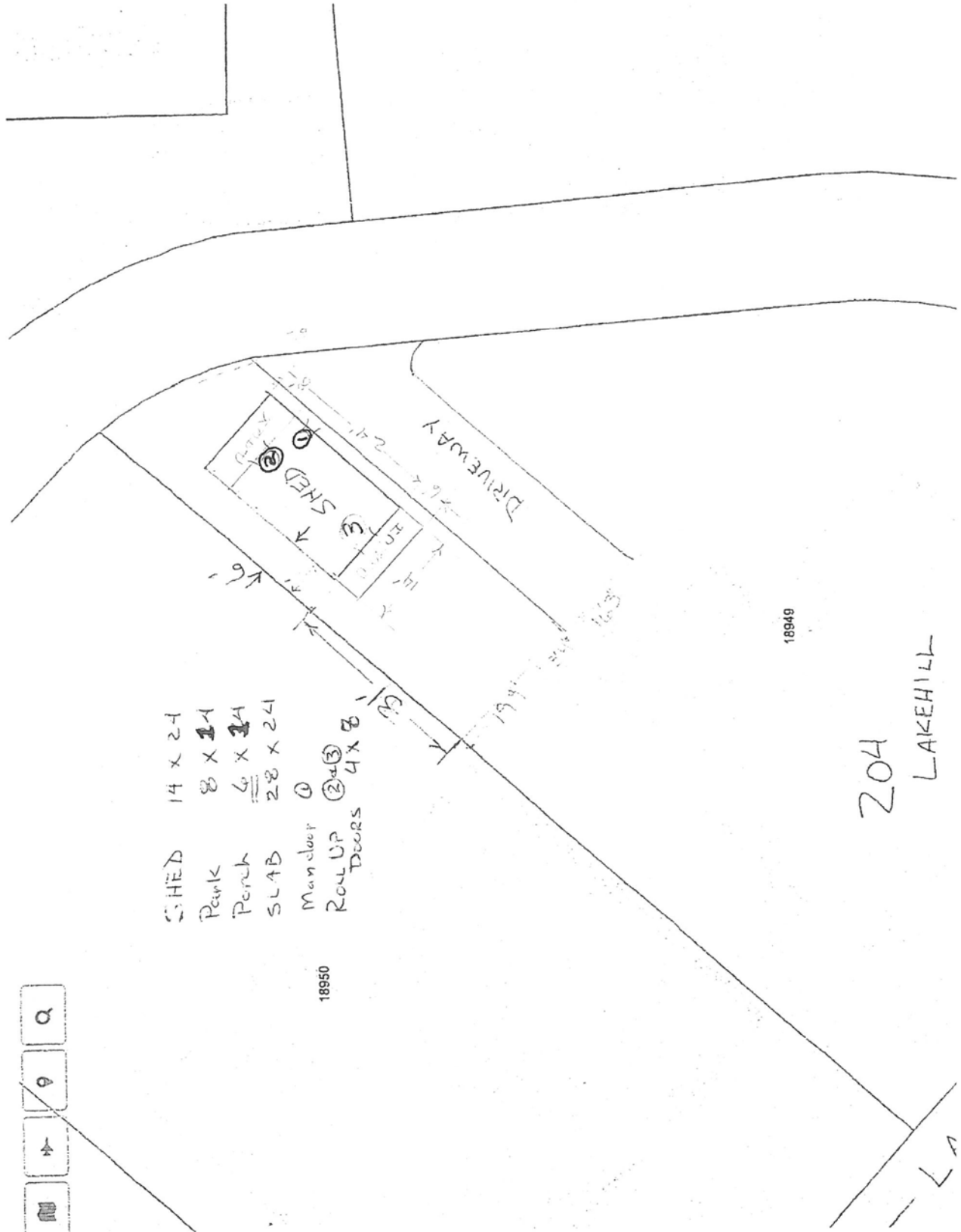
**Exhibit 'A'**  
**Zoning Exhibit**

Address: 204 Lakehill Drive

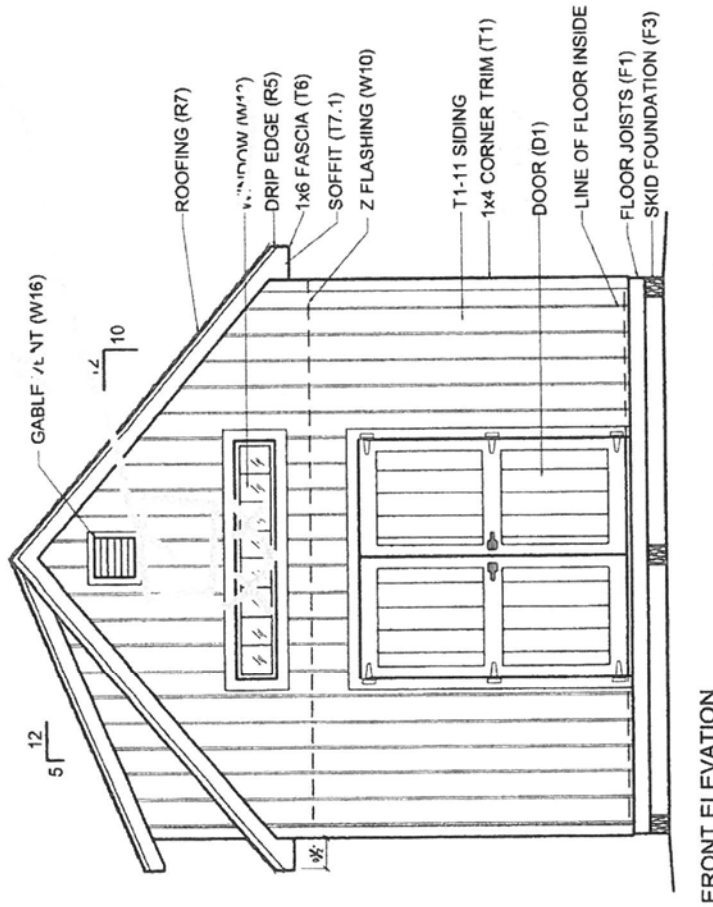
Legal Description: Lot 17, Block B, Lakeridge Park Addition



**Exhibit 'B':  
Concept Plan**



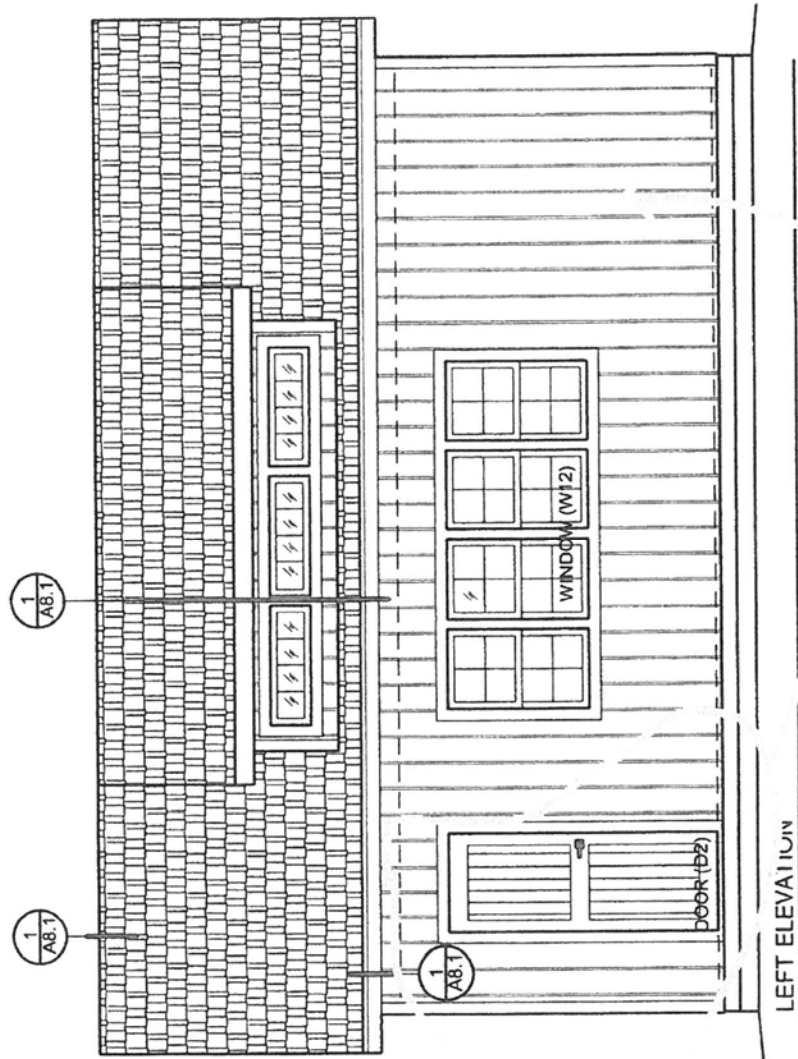
**Exhibit 'C':**  
**Conceptual Building Elevations**



SIDING AND ROOFING MATERIALS			
CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit	16'-0"	3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1 1/2" x 1 1/2" x 10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	4
W12	2036 SH Window	2'-0" x 3'-6"	1
W13	3016 Fixed Window	3'-0" x 1'-6"	3
W14	3016 Fixed window	12" x 12"	1
D1	2668 Door	2'-6" x 6'-8"	1
D2	6'-0" x 6'-8" door	6'-0" x 6'-8"	1

Ramp or stair materials are not shown

Exhibit 'C':  
Conceptual Building Elevations



Exterior Elevations 3.1  
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## Lee, Henry

---

**From:** Miller, Ryan  
**Sent:** Wednesday, April 15, 2020 5:23 PM  
**To:** 'ed.echols@hotmail.com'  
**Subject:** Comments for Case No. Z2020-010  
**Attachments:** Project Comments.pdf; Draft Ordinance (04.28.2020).pdf

Mr. Echols ... Attached are the comments and draft ordinance for you Specific Use Permit (SUP) case. Please review the draft ordinance and let me know if you have any issues with it prior to the Planning and Zoning Commission meeting on April 28<sup>th</sup>. The majority of the comments are informational and there is nothing that you really need to do beyond reviewing the ordinance. This case will also go to the City Council on May 4<sup>th</sup>. We will get you more information on how those meetings will be held prior to the meeting. Also, your previous case manager, Mr. Brooks, is no longer with the City so please send any correspondence to me. On a final note, I wanted to thank you for your patience with our updated virtual process. Hopefully we will have all the bugs worked out prior to the April 28<sup>th</sup> meeting. Thanks and please let me know if you need anything. Thanks.



**RYAN C. MILLER, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
RMILLER@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)  
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

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**NOTES**

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

## Lee, Henry

---

**From:** Edwin Echols <ed.echols@hotmail.com>  
**Sent:** Monday, April 27, 2020 10:37 AM  
**To:** Miller, Ryan  
**Subject:** Re: Comments for Case No. Z2020-010

Mr. Miller

Thanks for your time on the call today ( 4/27/20) and accepting my request on the overall workshop height in the draft ordinance to be 18 ft. (Ref. Section 2.1 para (3)). After our discussion, I realize I had failed to recognize the dimension on the elevation drawing I provided had not been edited to account for my desire to use 10 foot studs (120 inches) vs the standard precut wall studs of approximately 93 in. the plans originally specifies. The overall height from top of slab to the peak will be approximately 17 ft 7 in. when using 10 ft studs.

Thanks again and have a great day.

Ed Echols

---

**From:** Miller, Ryan  
**Sent:** Thursday, April 16, 2020 11:09:39 AM  
**To:** 'Edwin Echols'  
**Subject:** RE: Comments for Case No. Z2020-010

Mr. Echols ... I am not sure which Russell you are talking about, but you would need to pull an electrical permit through the Building Inspections Department if you are planning to add electrical. I would talk to Craig Foshee if you have any questions concerning the permitting process. His email is [cfoshee@rockwall.com](mailto:cfoshee@rockwall.com). Thanks and let me know if you have any additional questions.



**Ryan C. Miller, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
RMILLER@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[helpful links](#) | [City of Rockwall Website](#) | [Planning & Zoning Division Website](#) | [Municipal Code Website](#)  
[GIS Division Website](#) | [City of Rockwall Interactive Maps](#) | [UNIFIED DEVELOPMENT CODE](#)

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### NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
  - 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD
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**From:** Edwin Echols  
**Sent:** Thursday, April 16, 2020 10:23 AM  
**To:** Miller, Ryan  
**Subject:** Re: Comments for Case No. Z2020-010

Mr. Miller

Great news. Thanks for sending the draft ordinance and comments.

I will likely want to visit with Russells folks about the electrical layout in a week or so. I guess i should call him or should i talk to someone else?



Thanks again.

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**From:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Sent:** Wednesday, April 15, 2020 5:22 PM  
**To:** 'ed.echols@hotmail.com' <[ed.echols@hotmail.com](mailto:ed.echols@hotmail.com)>  
**Subject:** Comments for Case No. Z2020-010

Mr. Echols ... Attached are the comments and draft ordinance for you Specific Use Permit (SUP) case. Please review the draft ordinance and let me know if you have any issues with it prior to the Planning and Zoning Commission meeting on April 28<sup>th</sup>. The majority of the comments are informational and there is nothing that you really need to do beyond reviewing the ordinance. This case will also go to the City Council on May 4<sup>th</sup>. We will get you more information on how those meetings will be held prior to the meeting. Also, your previous case manager, Mr. Brooks, is no longer with the City so please send any correspondence to me. On a final note, I wanted to thank you for your patience with our updated virtual process. Hopefully we will have all the bugs worked out prior to the April 28<sup>th</sup> meeting. Thanks and please let me know if you need anything. Thanks.



**Ryan C. Miller, AICP**  
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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**NOTES**

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

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## Lee, Henry

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**From:** Gonzales, David  
**Sent:** Monday, May 4, 2020 9:22 AM  
**To:** Gonzales, David  
**Cc:** Miller, Ryan  
**Subject:** City Council Public Hearing Tonight

Good morning Applicants,

The Rockwall City Council meeting will be held "in person" this evening at 6:00 p.m. in the Council Chambers. However, in lieu of attending in person, you may join remotely using Zoom Virtual Meeting. Here are the instructions and the link for registering via Zoom:

### *ZOOM REMOTE CONFERENCING INSTRUCTIONS*

Register in advance to participate in the City Council meeting.

When: May 4, 2020 - 6:00 PM Central Time

Topic: Rockwall City Council Meeting - May 4th, 2020

Register in advance for this (audio only) webinar:

[https://us02web.zoom.us/webinar/register/WN\\_syehSvUySz6K9LOeLeERlg](https://us02web.zoom.us/webinar/register/WN_syehSvUySz6K9LOeLeERlg)

After registering, you will receive a confirmation email containing information about joining the meeting.

NOTE: If calling in, press \* 9 to request to speak or to cancel your request.

If you have any questions, please do not hesitate to contact staff.

Thank you,



**DAVID GONZALES, AICP**

PLANNING & ZONING MANAGER

PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6488 OFFICE

[DGONZALES@ROCKWALL.COM](mailto:DGONZALES@ROCKWALL.COM)

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

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May 28, 2020

**TO:** Edwin Echols  
204 Lakehill Drive  
Rockwall, Texas 75087

**FROM:** Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

**SUBJECT:** Z2020-010; Specific Use Permit (SUP) for an Accessory Building

Mr. Echols:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on May 18, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The Accessory Building shall generally conform to the concept plan and the conceptual building elevations depicted in Exhibits 'B' & 'C' of the Specific Use Permit (SUP) ordinance; and
  - (b) The Accessory Building shall not exceed a maximum size of 340 SF; and
  - (c) The Accessory Building shall not exceed an overall height of 18-feet; and
  - (d) The subject property shall not have more than one (1) accessory building.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 28, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Logan dissenting.


City Council

On May 4, 2020, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 5-1, with Councilmember Daniels dissenting and one (1) vacancy [1<sup>st</sup> Reading].

On May 18, 2020, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 5-1, with Councilmember Daniels dissenting and one (1) vacancy [2<sup>nd</sup> Reading].

Included with this letter is a copy of Ordinance No. 20-16, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

  
Ryan Miller, AICP  
Director of Planning and Zoning  
City of Rockwall