



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 22020-005 P&Z DATE 04/25/20 CC DATE 03/16/20 APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 703 Peters Colony St. Rockwall TX 75087

Subdivision Lot 1 Block A

General Location

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Current Use

Proposed Zoning Proposed Use

Acreage Lots [Current] Lots [Proposed]

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Jeaniffer Osornio

Contact Person Arturo Osornio

Address 430 Renee Dr.  
Rockwall TX 75032

City, State & Zip

Phone 214-957-7984

E-Mail H. enterprise7@yahoo.com

Applicant Ambrocio Ibarra

Contact Person

Address 171 Crawford Ln.

City, State & Zip Royse city TX 75189

Phone 214-477-4320

E-Mail Premisacandheating@gmail.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Owner's Signature

Notary Public in and for the State of Texas

My Commission Expires



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745  
Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

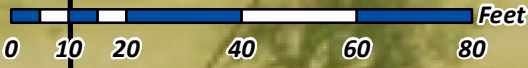
Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 2/18/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 02/20/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 2/20/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 2/25/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** Z2020-005  
**Project Name:** 703 Peters Colony  
**Project Type:** ZONING  
**Applicant Name:** Ambrocio Ibarra  
**Owner Name:** OSORNIO, JEANNIFFER & NOHEMA ESTRADA  
**Project Description:**



Z2020-005 - SUP FOR 703 PETERS COLONY  
SPECIFIC USE PERMIT - LOCATION MAP =

PETERS COLONY



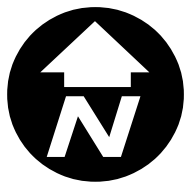
LAMAR



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

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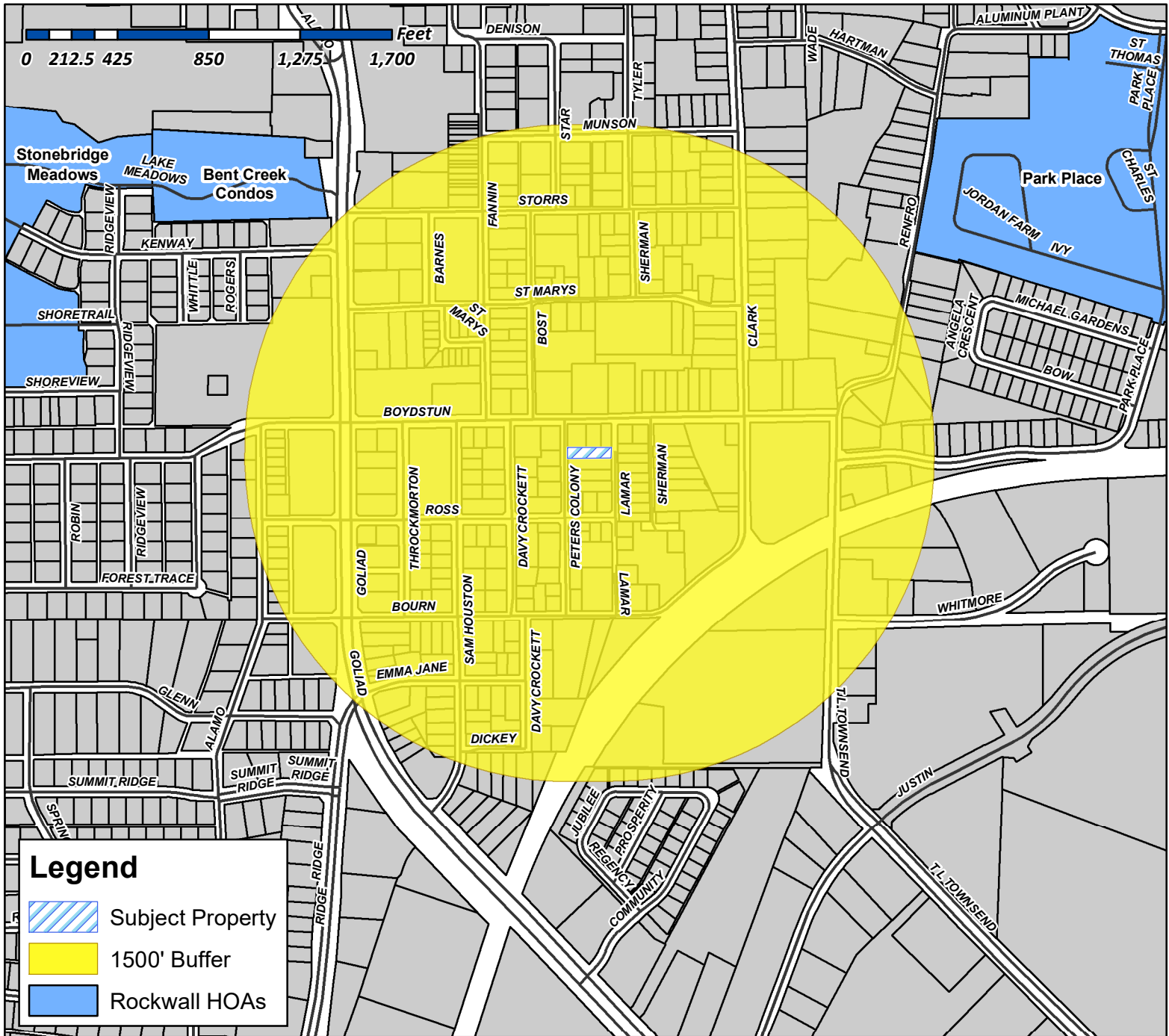
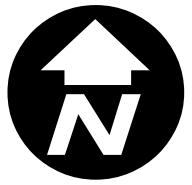




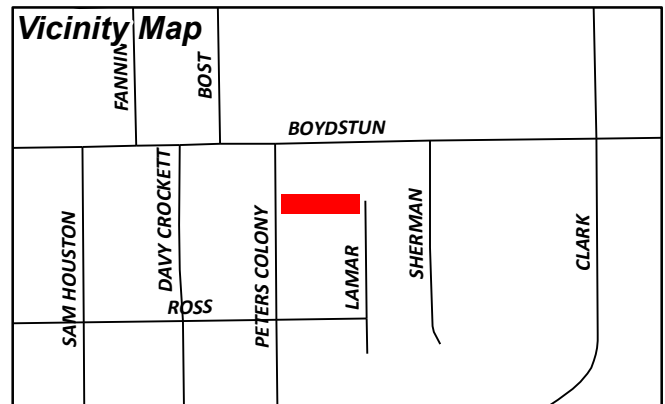
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**Case Number:** Z2020-005  
**Case Name:** SUP for 703 Peters Colony  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 703 Peters Colony



**Date Created:** 2/19/2020

**For Questions on this Case Call (972) 771-7745**



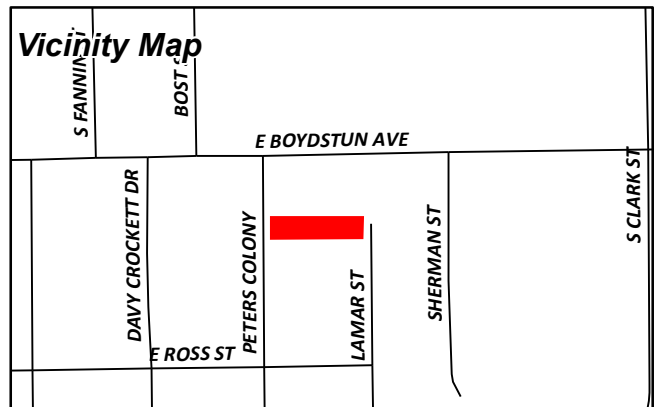
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**Case Number:** Z2020-005  
**Case Name:** SUP for 703 Peters Colony  
**Case Type:** Zoning  
**Zoning:** SUP  
**Case Address:** 703 Peters Colony



**Date Created:** 2/19/2020  
**For Questions on this Case Call** (972) 771-7745

November 15, 2019

To whom it may concern:

The foundation plan, accompanied by this letter, for used only upon property described below:

**Address:**           703 Peters Colony St  
                              Rockwall Tx

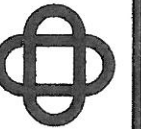
Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), WRI-CRSI-96, ACI 318-99, the 2006,2009,2012, and 2015 IRC, 2006, 2009,2012, and 2015 IBC, ACI 318, ASTM C94 and recognized engineering practices.

Sincerely,



J.S Barton, P.E.  
(F-10832)





ERIC L. DAVIS ENGINEERING, INC.  
 P-3987  
 120 EAST MAIN STREET  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eidengineering.com

GRADING PLAN  
 ENGINEERED FOR

KEVIN OSORNIO

BUILDER: KEVIN OSORNIO  
 ADDITION: N.E. & J.O. ADDITION  
 ADDRESS: 703 & 705 PETERS COLONY  
 LOT: 1 & 2 BLOCK: A  
 CITY: ROCKWALL, TX  
 PLAN: GRADING  
 ELD JOB NO: DIF19-1527 & 1530  
 DRAWN BY: BW  
 CHECKED BY: ML

SCALE: 1" = 20'

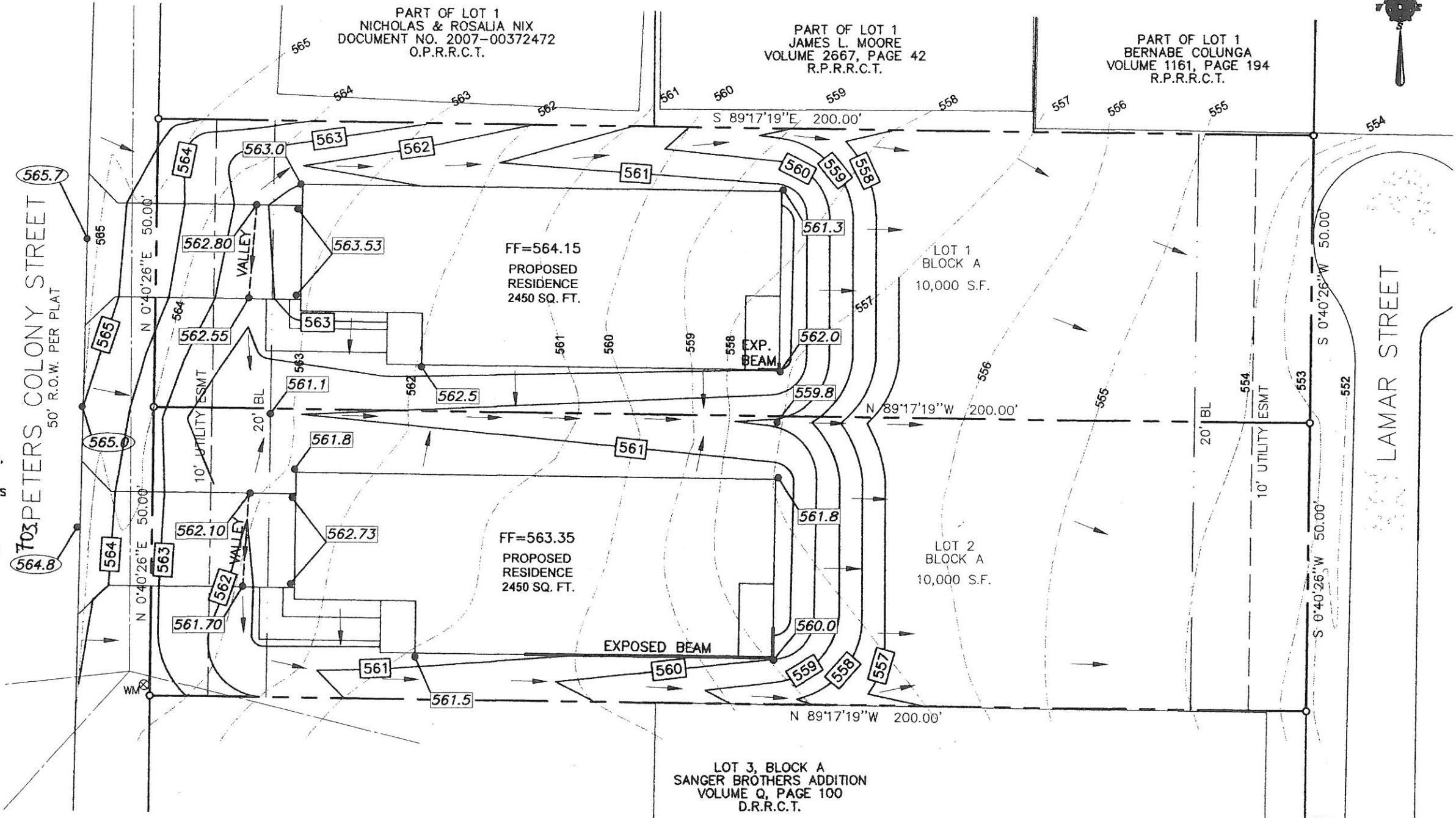
SHEET 01

- NOTE:
1. SITE PREPARATION MUST COMPLY WITH PROJECT GEOTECHNICAL REPORT SPECIFICATIONS.
  2. REMOVE AND DISCARD ALL VEGETATION WHERE GRADING IS PROPOSED
  3. SITE DRAINAGE MUST BE WELL DEVELOPED AND DIRECTED AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. FLOWLINE SLOPES OF SWALES AND SIDE YARDS SHALL NOT BE LESS THAN 1.25%. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE.
  4. BACKFILL AROUND THE FOUNDATION SHALL BE WITH COHESIVE SOIL.
  5. ROOF DOWNSPOUTS AND DRAINS SHALL BE EXTENDED AND DRAIN AWAY FROM FOUNDATION.
  6. PAVING AND STRUCTURAL DESIGN BY OTHERS.

ALL ELEVATIONS ARE BASED ON SURVEY DATA PROVIDED BY THE OWNER AND/OR SURVEYOR. DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY DATA.

**CAUTION III**  
 CALL: TEXAS ONE CALL @  
 1-800-245-4545  
 48 HRS PRIOR TO CONSTRUCTION

**III CAUTION III**  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION, AND DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.



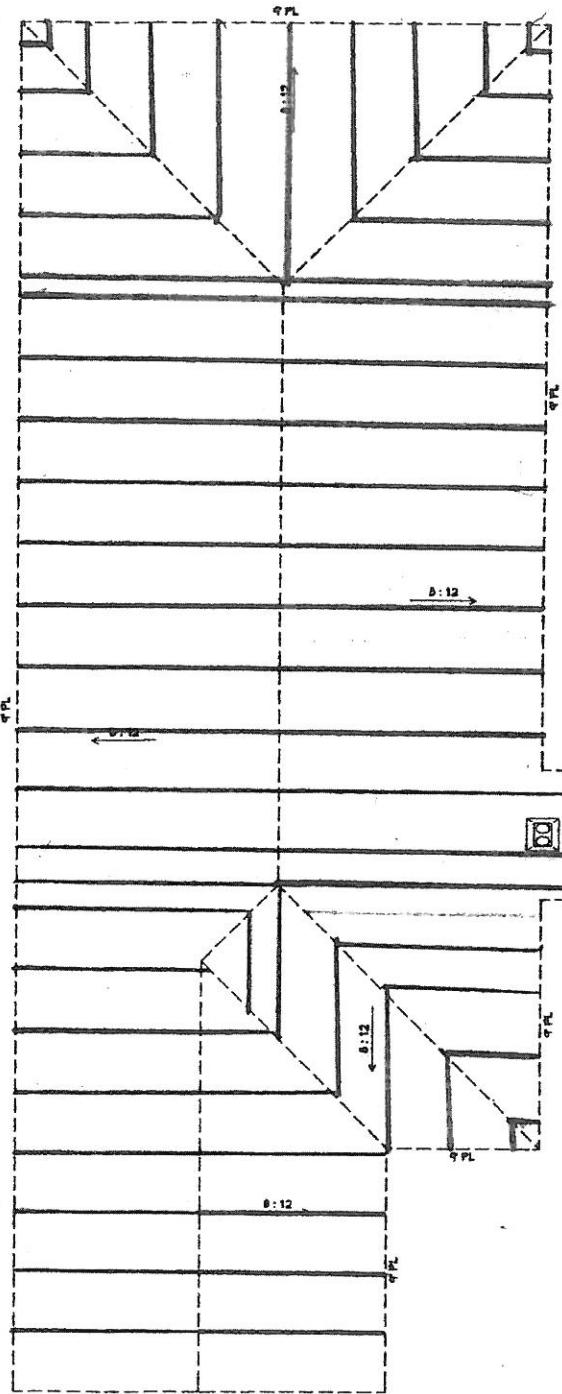
**LEGEND**

---	EASEMENT
(XXX)	EXISTING SPOT ELEVATION
[XXX]	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
[XXX]	PROPOSED CONTOURS
---	EXISTING CONTOURS
→	PROPOSED FLOW DIRECTION
⊠	12" x 12" AREA DRAIN

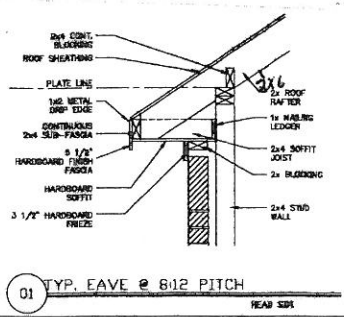


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 1/8/2020

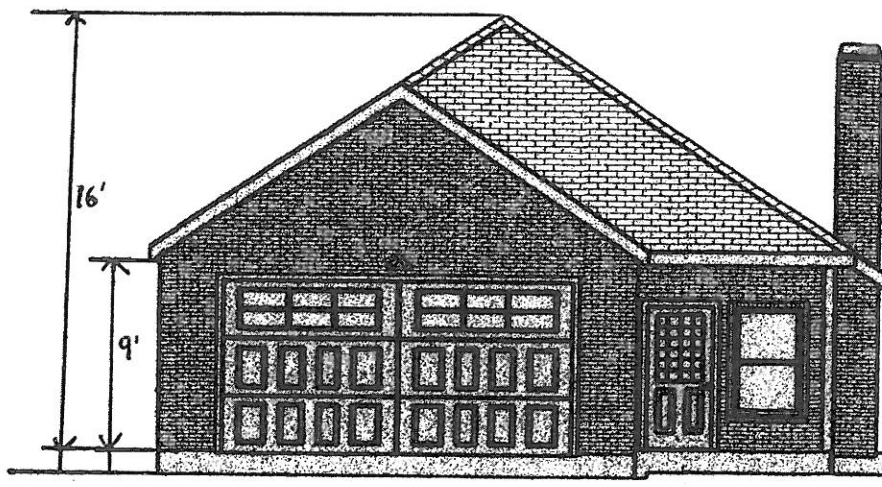




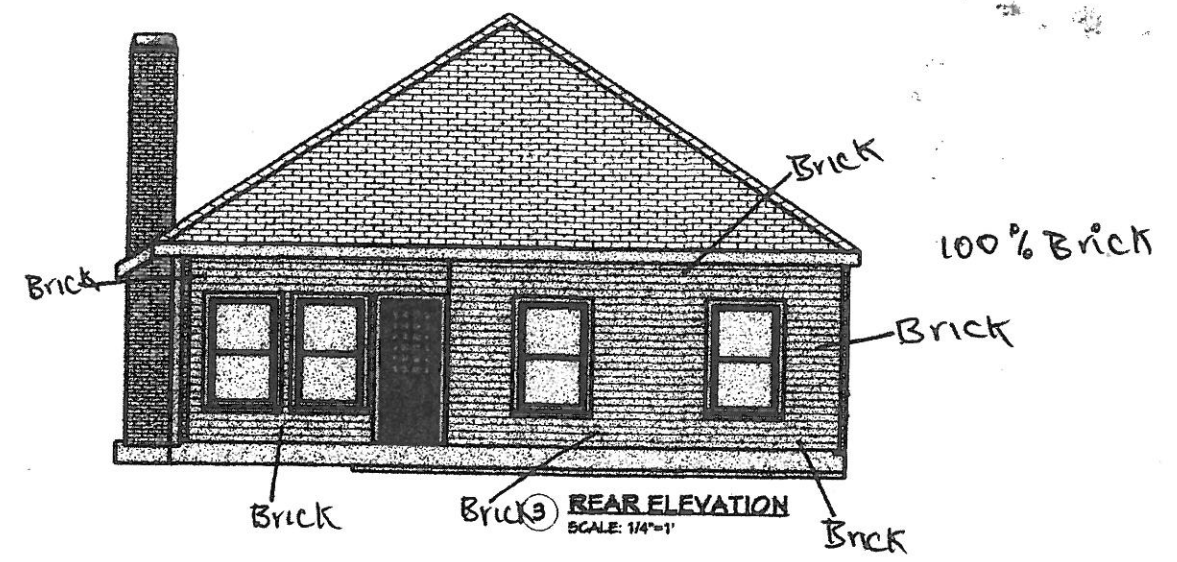
① ROOF PLAN  
SCALE: 3/8"=1'



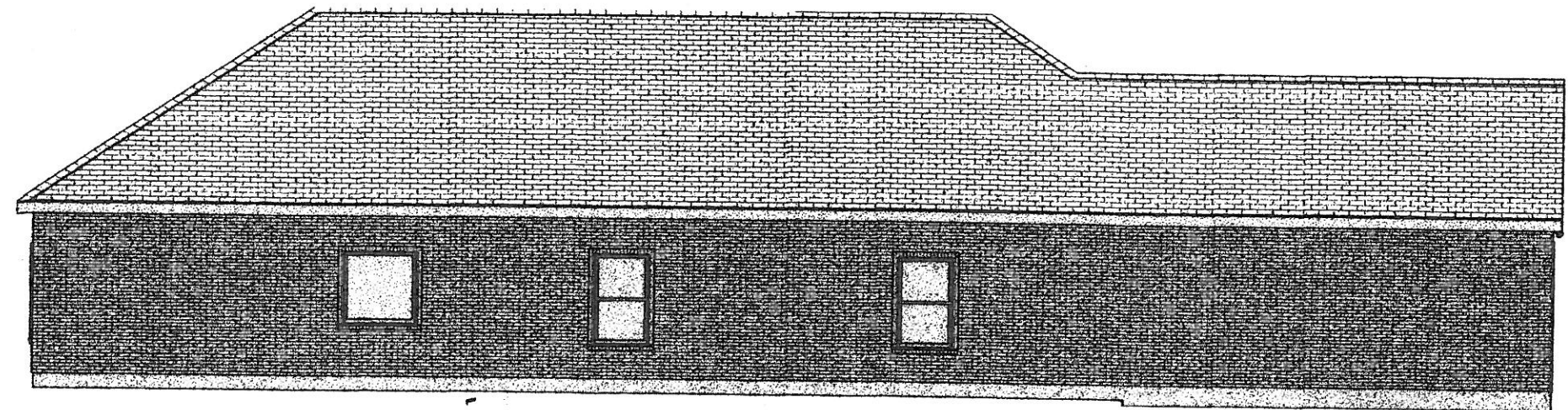
① TYP. EAVE @ 8:12 PITCH  
REF: S24



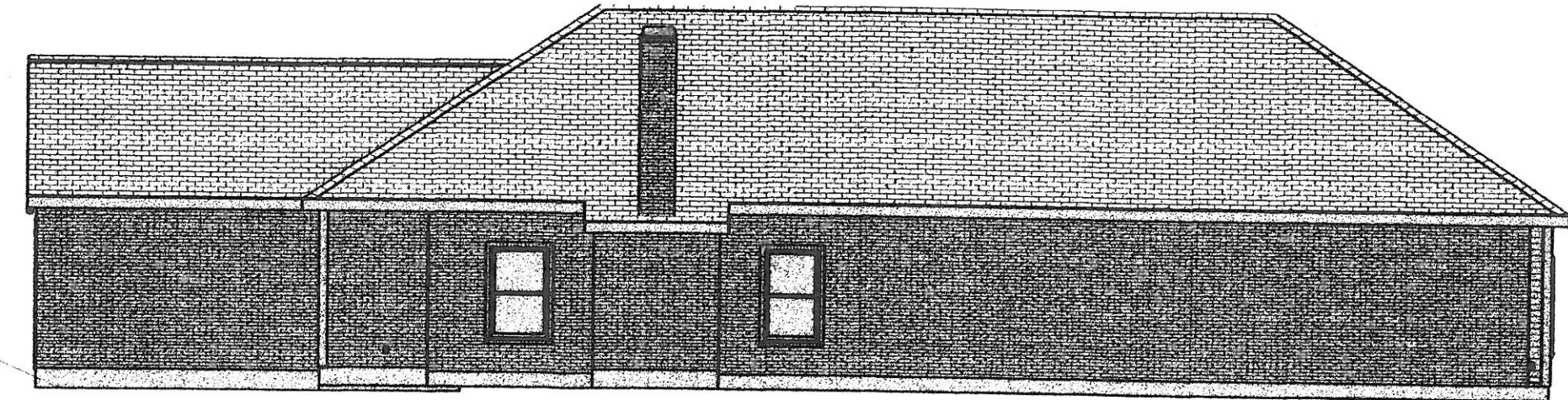
② FRONT ELEVATION  
SCALE: 1/4"=1'



③ REAR ELEVATION  
SCALE: 1/4"=1'



④ LEFT ELEVATION  
SCALE: 1/4"=1'



⑤ RIGHT ELEVATION  
SCALE: 1/4"=1'

PLANS FOR:  
703 Peters Colony St  
Rockwall Tx

TITLE:  
ROOF PLAN / ELEVATIONS

SHAWN NIXON MARK NIXON  
**GADAZIGN**  
5104 CR 2522  
ROSE CITY, TEXAS 75119  
469-936-9999

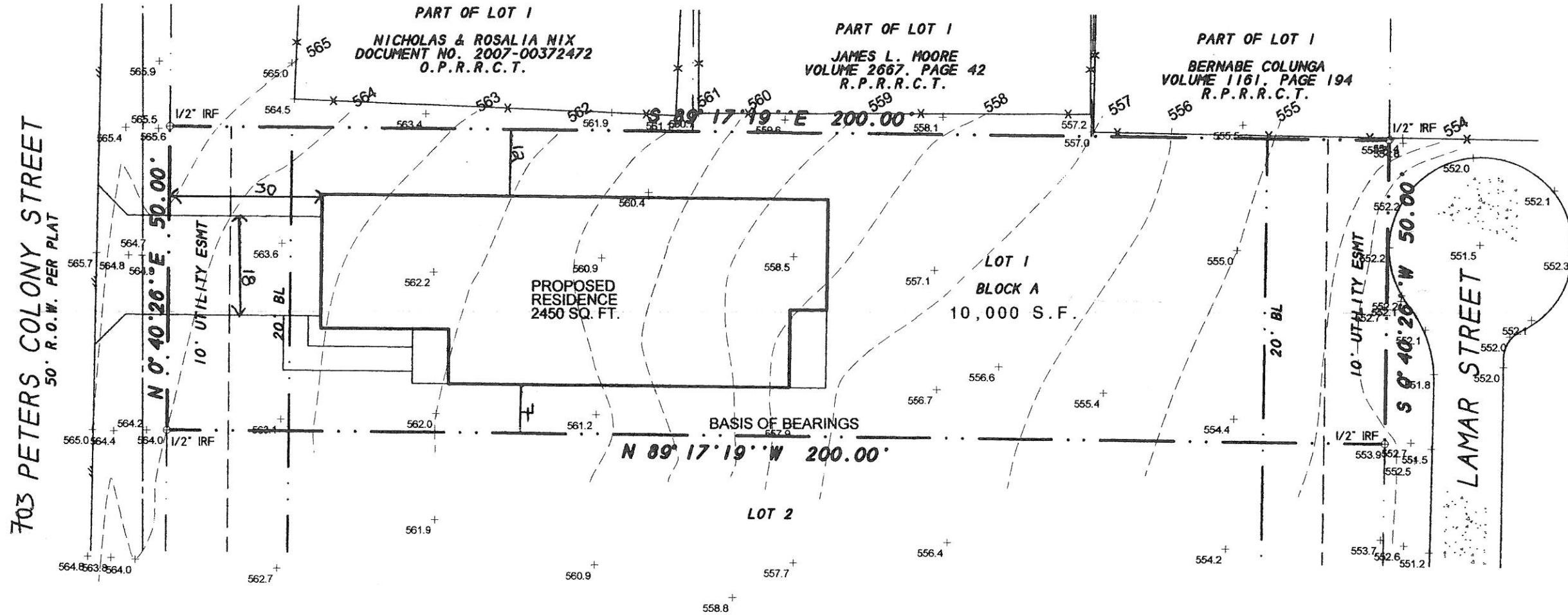
DATE:  
5/1/2019

SCALE:  
AS SHOWN

SHEET:

A-1

PLAT OF SURVEY



DESCRIPTION

BEING Lot 1, Block A, of N.E. & J.O. Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Document No. 20190000015067, of the Official Property Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEY ACCEPTED BY:

_____	DATE _____
_____	DATE _____

PLAT PLAN

22020-004

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jeaniffer Osornio and Nohema Estrada at Peters Colony Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 14th day of November, 2019.

Harold D. Fetty III, R.P.L.S. No. 5034



**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 10150900  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND			
⊙	⊗	⊕	⊖
TELEVISION CABLE RISER	GAS METER	TEL PHONE RISER	PP FIRE HYDRANT
⊙	⊗	⊕	⊖
ELEC METER	ELEC BOX	WH WATER METER	LP LIGHT POLE
⊙	⊗	⊕	⊖
1/2" IRF	1/2" IRF	1/2" IRF	1/2" IRF
IRON ROD FOUND (CORNER)	A/C AIR COND. UNIT	PROFANE TANK	
EASEMENT LINE			
PROPERTY LINES			

SURVEY DATE NOVEMBER 14, 2019  
 SCALE 1" = 20' FILE # 2Q190047-1  
 CLIENT OSORNIO GF # NONE

2/21/2020

# City of Rockwall Project Plan Review History



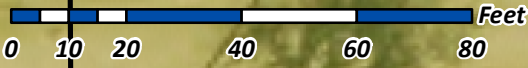
<b>Project Number</b>	Z2020-005	<b>Owner</b>	OSORNIO, JEANNIFFER & NOHEMA ESTRADA	<b>Applied</b>	2/18/2020	AG
<b>Project Name</b>	703 Peters Colony	<b>Applicant</b>	Ambrocio Ibarra	<b>Approved</b>		
<b>Type</b>	ZONING			<b>Closed</b>		
<b>Subtype</b>	SUP			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
	,	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/18/2020	2/25/2020				
ENGINEERING	Amy Williams	2/18/2020	2/25/2020				
FIRE	Ariana Hargrove	2/18/2020	2/25/2020				
PLANNING	Korey Brooks	2/18/2020	2/25/2020	2/21/2020	3	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-005; SUP for Residential Infill in an Established Neighborhood						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay(SRO) District, addressed as 703 Peters Colony.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-005) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on March10, 2020.						
I.7 Please note that failure to address all comments provided by staff by5:00 PM on March 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 3, 2020; The Planning and Zoning Worksession is February 25, 2020 and the Planning & Zoning Meeting is March 10, 2020. The City Council Meetings are March 16, 2020 and April 6, 2020.						



Z2020-005 - SUP FOR 703 PETERS COLONY  
SPECIFIC USE PERMIT - LOCATION MAP =

PETERS COLONY



SF-7

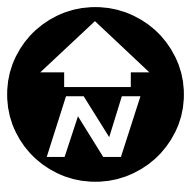
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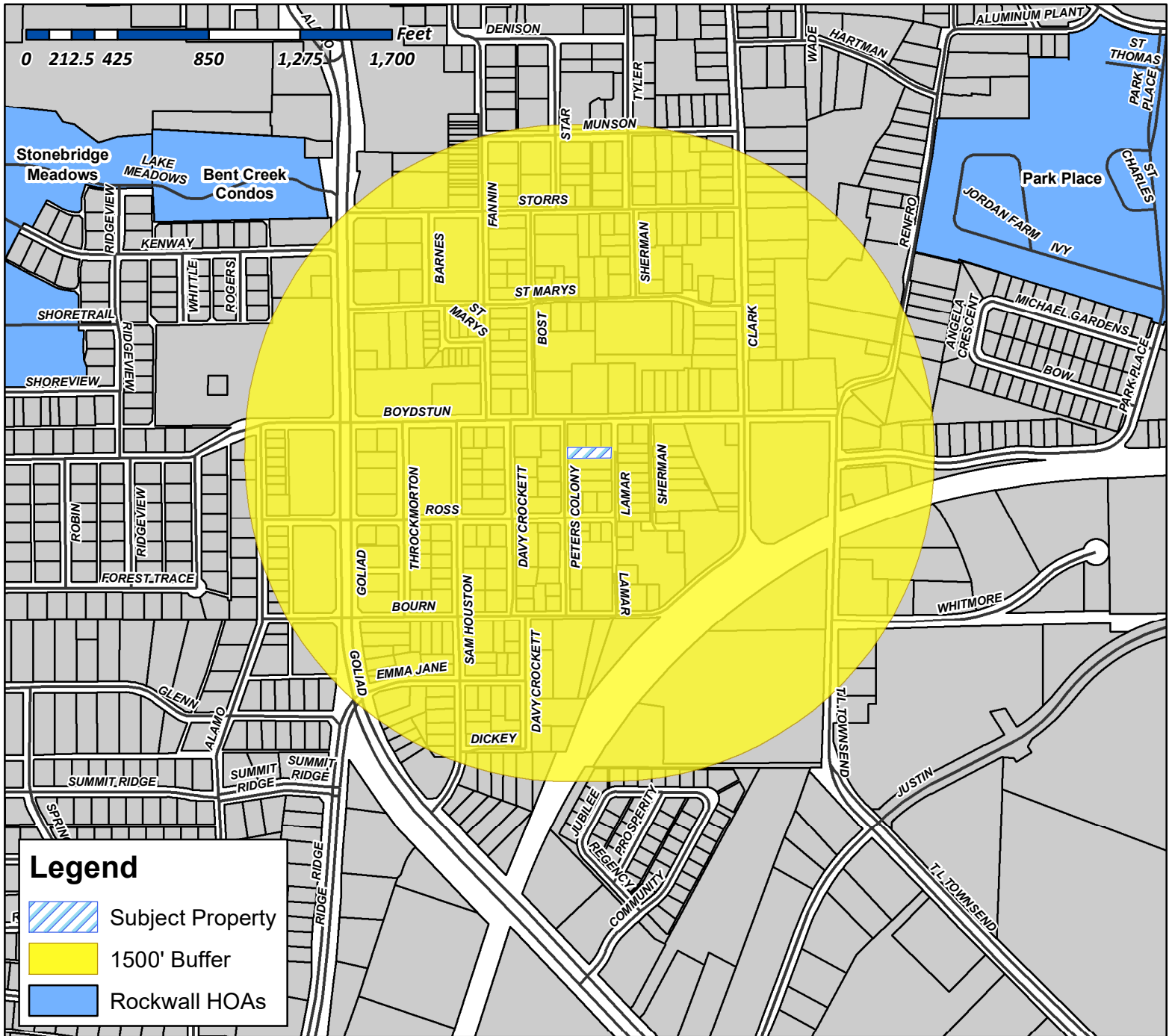




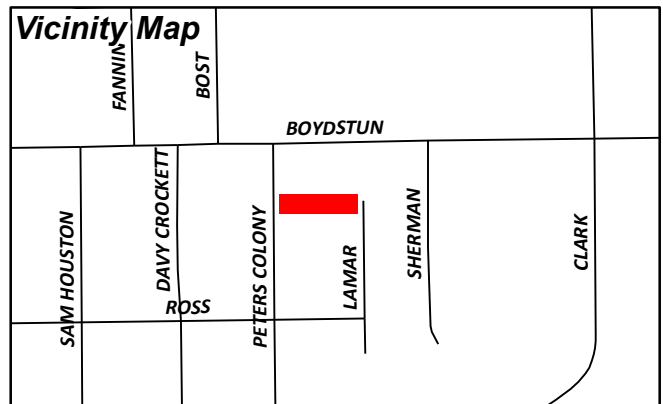
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**Case Number:** Z2020-005  
**Case Name:** SUP for 703 Peters Colony  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 703 Peters Colony



**Date Created:** 2/19/2020

**For Questions on this Case Call (972) 771-7745**



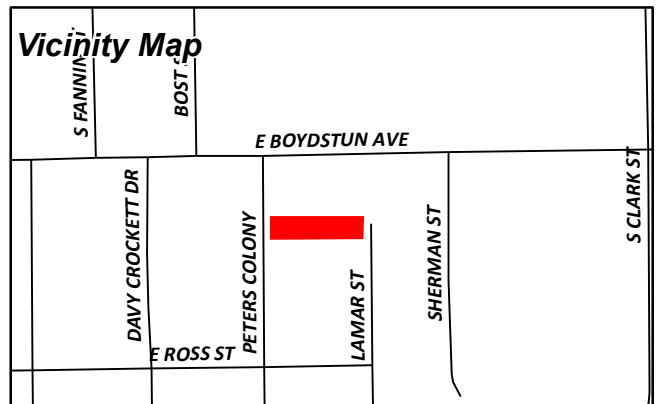
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(P): (972) 771-7745  
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The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2020-005  
**Case Name:** SUP for 703 Peters Colony  
**Case Type:** Zoning  
**Zoning:** SUP  
**Case Address:** 703 Peters Colony



**Date Created:** 2/19/2020  
**For Questions on this Case Call (972) 771-7745**

November 15, 2019

To whom it may concern:

The foundation plan, accompanied by this letter, for used only upon property described below:

**Address:**           703 Peters Colony St  
                              Rockwall Tx

Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), WRI-CRSI-96, ACI 318-99, the 2006,2009,2012, and 2015 IRC, 2006, 2009,2012, and 2015 IBC, ACI 318, ASTM C94 and recognized engineering practices.

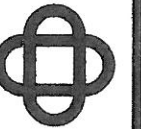
Sincerely,



J.S Barton, P.E.  
(F-10832)







ERIC L. DAVIS ENGINEERING, INC.  
 P-3987  
 120 EAST MAIN STREET  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eidengineering.com

GRADING PLAN  
 ENGINEERED FOR

KEVIN OSORNIO

BUILDER: KEVIN OSORNIO  
 ADDITION: N.E. & J.O. ADDITION  
 ADDRESS: 703 & 705 PETERS COLONY  
 LOT: 1 & 2 BLOCK: A  
 CITY: ROCKWALL, TX  
 PLAN: GRADING  
 ELD JOB NO: DIF19-1527 & 1530  
 DRAWN BY: BW  
 CHECKED BY: ML

SCALE: 1" = 20'

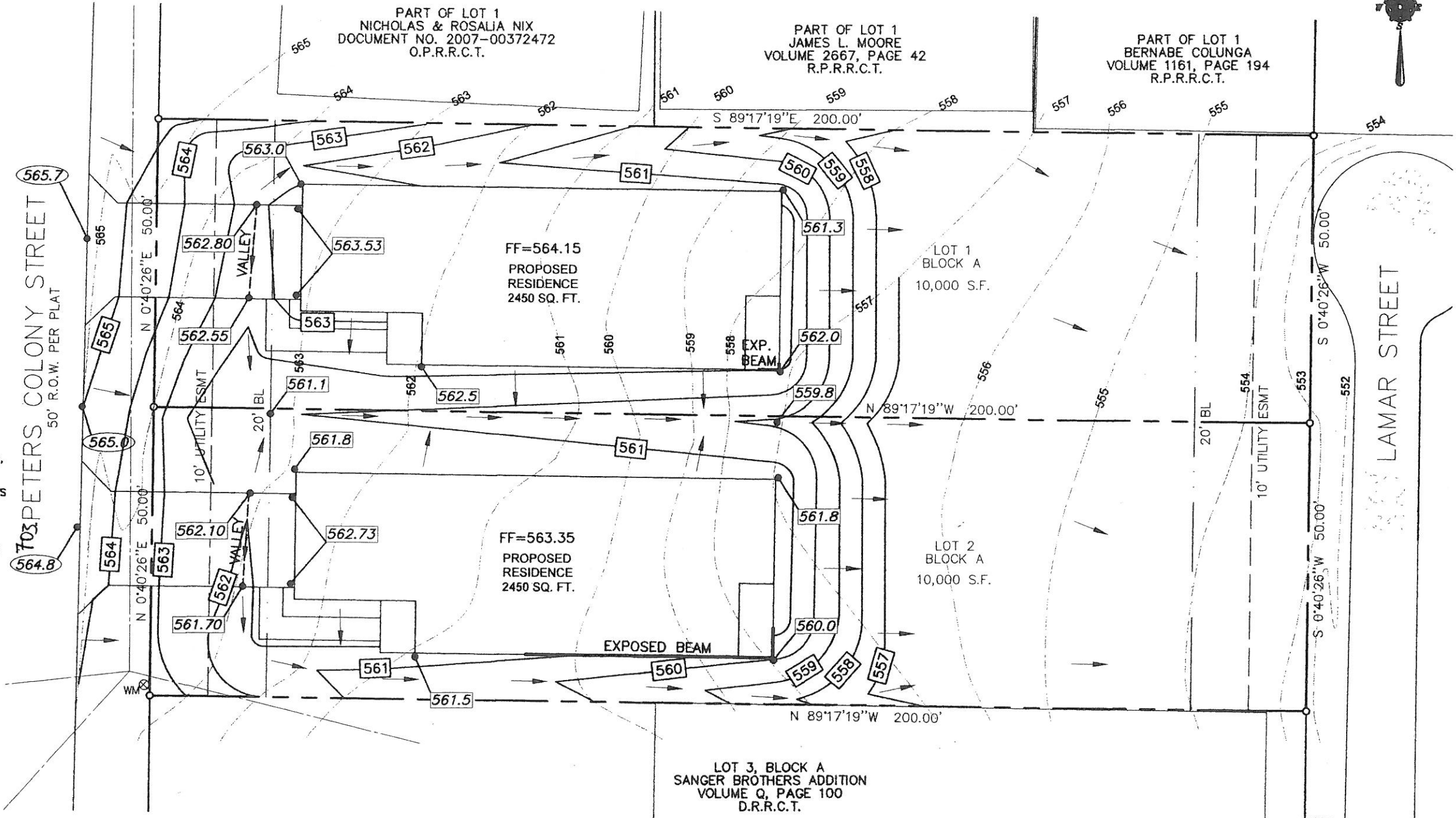
SHEET 01

- NOTE:
1. SITE PREPARATION MUST COMPLY WITH PROJECT GEOTECHNICAL REPORT SPECIFICATIONS.
  2. REMOVE AND DISCARD ALL VEGETATION WHERE GRADING IS PROPOSED
  3. SITE DRAINAGE MUST BE WELL DEVELOPED AND DIRECTED AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. FLOWLINE SLOPES OF SWALES AND SIDE YARDS SHALL NOT BE LESS THAN 1.25%. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE.
  4. BACKFILL AROUND THE FOUNDATION SHALL BE WITH COHESIVE SOIL.
  5. ROOF DOWNSPOUTS AND DRAINS SHALL BE EXTENDED AND DRAIN AWAY FROM FOUNDATION.
  6. PAVING AND STRUCTURAL DESIGN BY OTHERS.

ALL ELEVATIONS ARE BASED ON SURVEY DATA PROVIDED BY THE OWNER AND/OR SURVEYOR. DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY DATA.

**CAUTION III**  
 CALL: TEXAS ONE CALL @  
 1-800-245-4545  
 48 HRS PRIOR TO CONSTRUCTION

**III CAUTION III**  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION, AND DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.

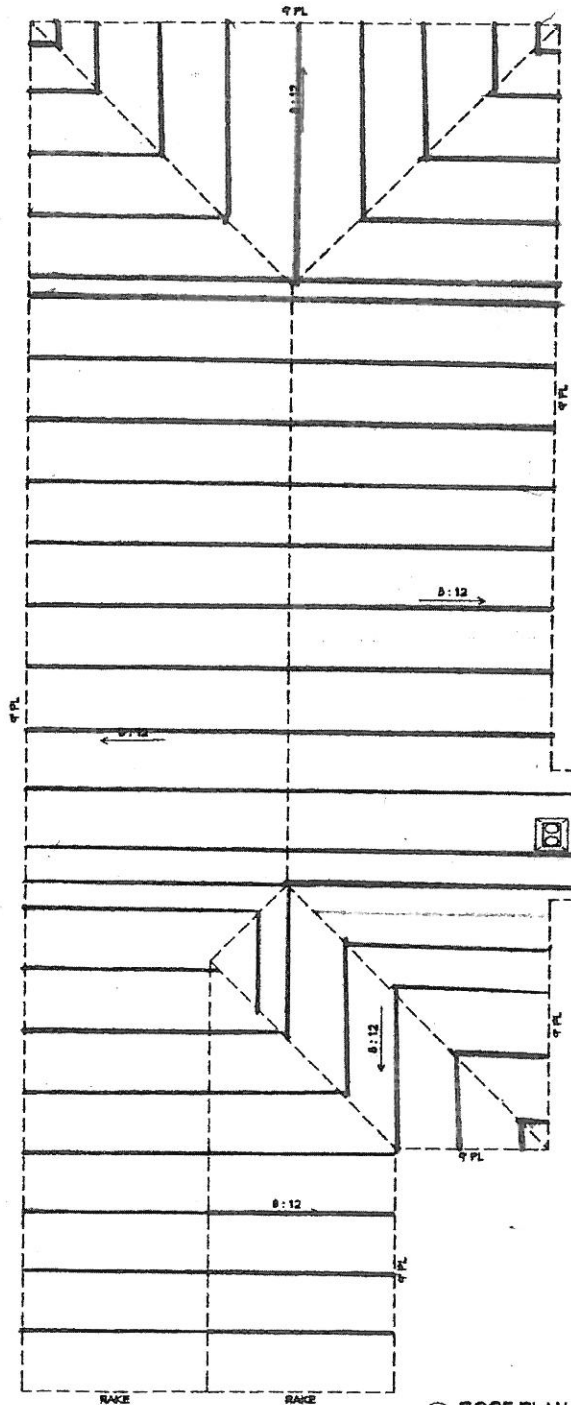


**LEGEND**

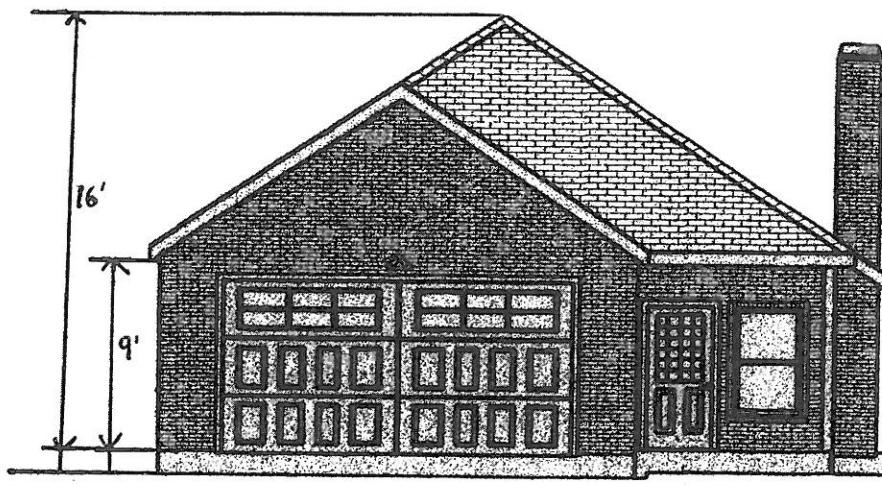
---	EASEMENT
(XXX)	EXISTING SPOT ELEVATION
[XXX]	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
[XXX]	PROPOSED CONTOURS
---	EXISTING CONTOURS
→	PROPOSED FLOW DIRECTION
⊠	12" x 12" AREA DRAIN



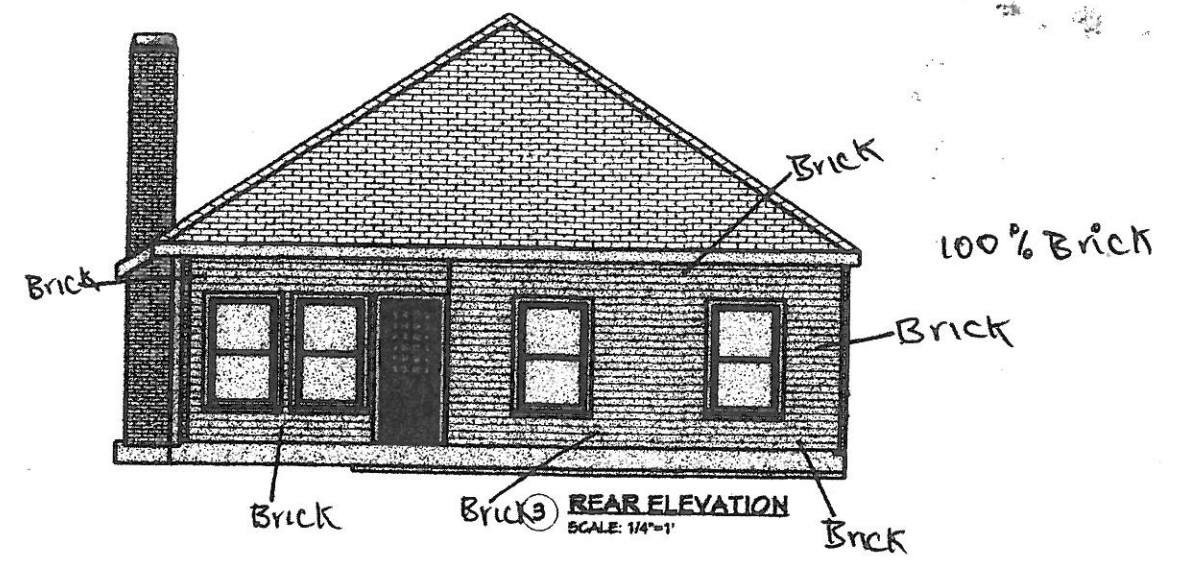
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 1/8/2020



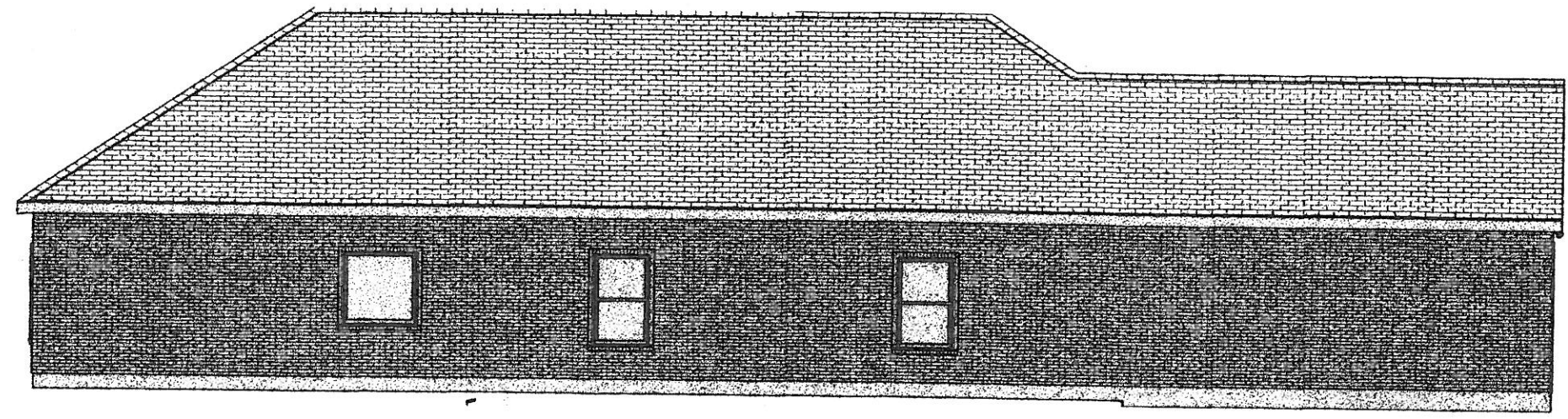
1 ROOF PLAN  
SCALE: 3/8"=1'



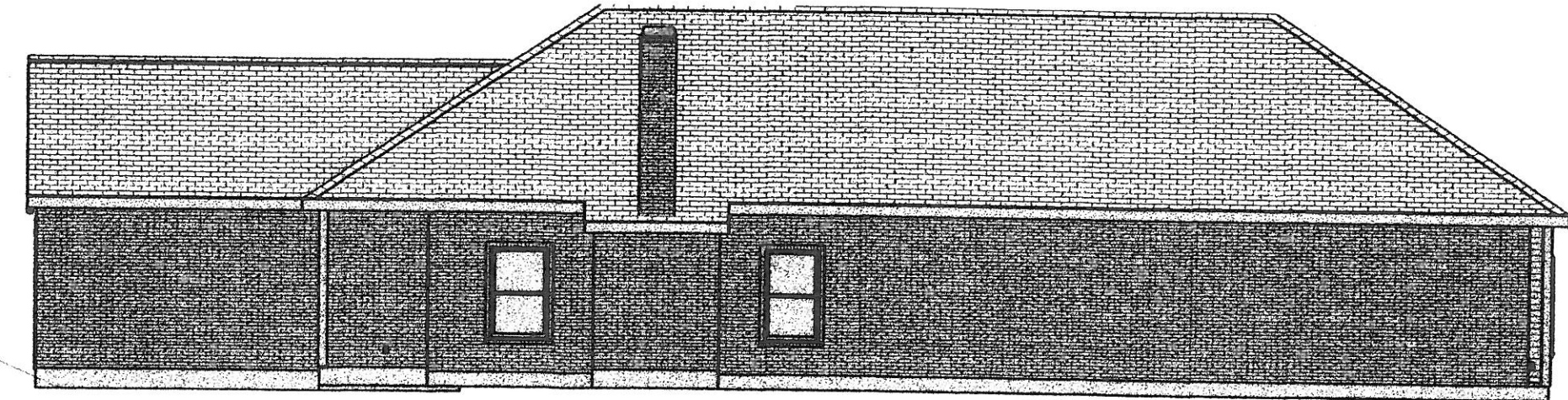
2 FRONT ELEVATION  
SCALE: 1/4"=1'



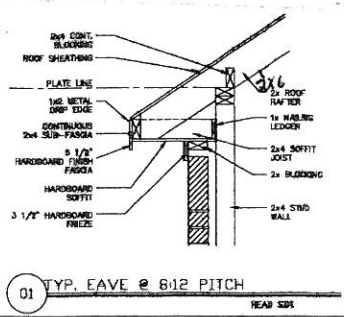
3 REAR ELEVATION  
SCALE: 1/4"=1'



4 LEFT ELEVATION  
SCALE: 1/4"=1'



5 RIGHT ELEVATION  
SCALE: 1/4"=1'



01 TYP. EAVE @ 8:12 PITCH

PLANS FOR:  
703 Peters Colony St  
Rockwall Tx

TITLE:  
ROOF PLAN / ELEVATIONS

SHAWN NIXON MARK NIXON  
**GADAZIGN**  
5104 CR 2522  
ROSE CITY, TEXAS 75119  
469-936-9999

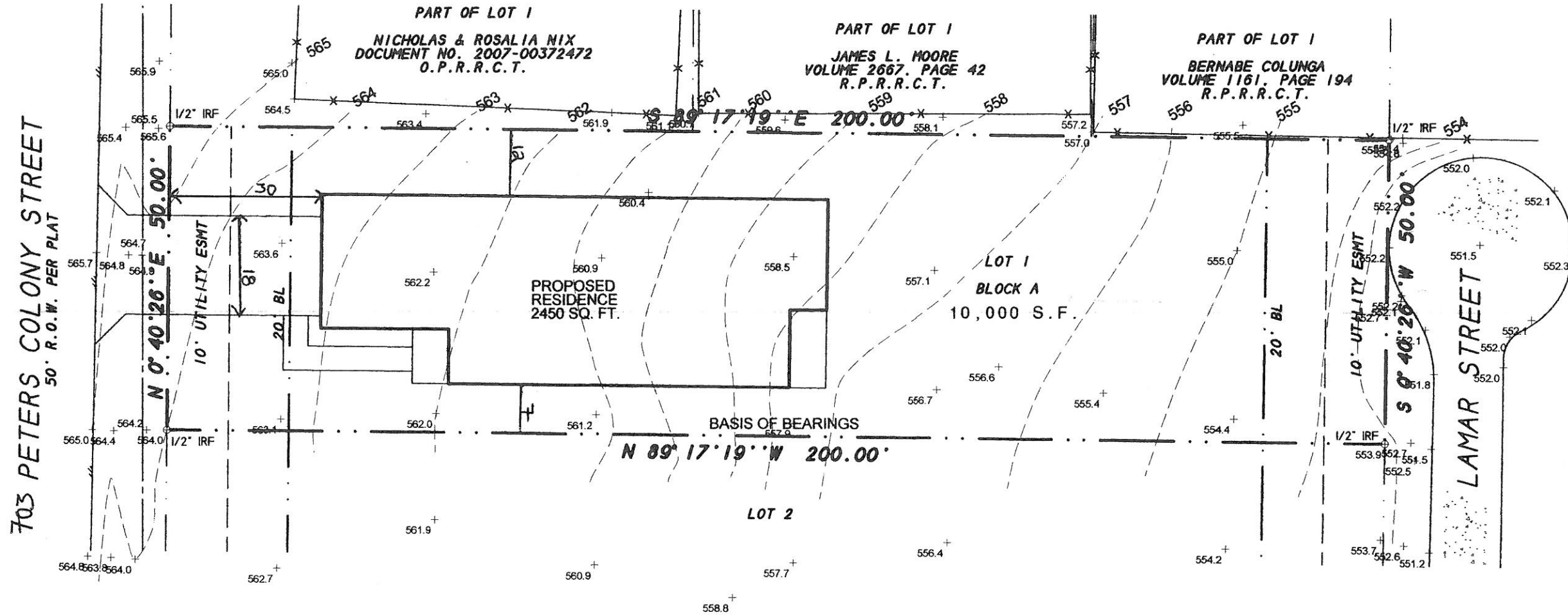
DATE:  
5/1/2019

SCALE:  
AS SHOWN

SHEET:

A-1

PLAT OF SURVEY



DESCRIPTION

BEING Lot 1, Block A, of N.E. & J.O. Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Document No. 2019000015067, of the Official Property Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEY ACCEPTED BY:

_____	DATE _____
_____	DATE _____

PLAT PLAN

22020-004

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jeaniffer Osornio and Nohema Estrada at Peters Colony Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 14th day of November, 2019.

Harold D. Fetty III, R.P.L.S. No. 5034



**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 10150900  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND					
⊙	⊗	⊕	⊖	⊚	⊛
TELEVISION CABLE RISER	GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE	⊚
⊕	⊖	⊗	⊘	⊙	⊚
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WH WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)	⊚
—	—	—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND. UNIT	PROFANE TANK	

SURVEY DATE NOVEMBER 14, 2019  
 SCALE 1" = 20' FILE # 2Q190047-1  
 CLIENT OSORNIO GF # NONE

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 703 Peters Colony, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 4, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

---

Jim Pruitt, *Mayor*

**ATTEST:**

---

Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

**Exhibit 'A'**  
**Zoning Exhibit**

Address: 703 Peters Colony

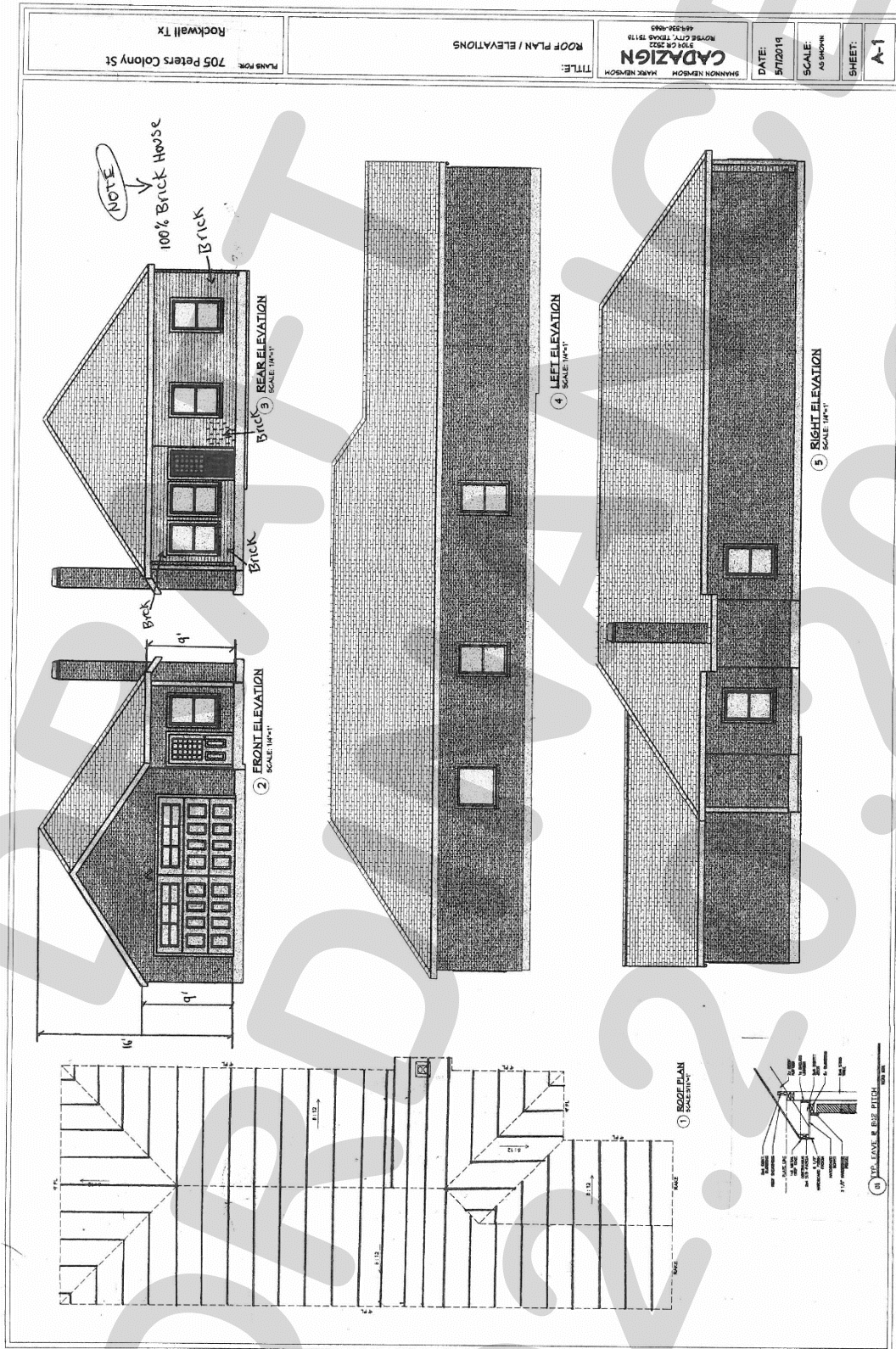
Legal Description: Lot 2, Block A, Sanger Addition







Exhibit 'C':  
Building Elevations





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 10, 2020  
**APPLICANT:** Ambricio Ibarra  
**CASE NUMBER:** Z2020-005; *Specific Use Permit (SUP) for a Residential Infill for 703 Peters Colony*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Ambricio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is situated within the Southside Residential Neighborhood Overlay (SRO) District. On March 18, 2019, the City Council approved a replat for Lot 2, Block A, N. E. & J. O. Addition subdividing one (1) lot into two (2) lots for the construction of two (2) single-family homes. The subject property is currently vacant.

### **PURPOSE**

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 2 (*i.e. 703 Peters Colony*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-004*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 1 (*i.e. 705 Peters Colony*).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 703 Peters Colony. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property there are three (3) single-family homes followed by E. Boydston Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan. Beyond Boydston Street there are several businesses (*i.e. Hello Gorgeous Salon, Children's Relief International, etc.*). These areas are zoned Single-Family 7 (SF-7) District and Planned Development District 42 (PD-42) for Residential-Office (RO) District land uses.

**South:** Directly south of the subject property there are several single-family homes followed by E. Ross Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this, there are several single-family homes that are zoned Single-Family 7 (SF-7) District.

**East:** Directly east of the subject property is Lamar Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. This street is followed by two (2) single-family homes. Beyond this is Sherman Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan, and beyond this are two (2) single-family homes. All of these areas are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is Peters Colony, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. This street is followed by several single-family homes. Beyond this, is Davy Crockett Street, which is identified as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. All of these areas are zoned Single-Family 7 (SF-7) District.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Sanger Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Peters Colony Between Boydston Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Peters Colony and have a front-facing garages. The homes at the north end of Peters Colony which face E. Boydston Avenue.	The front elevation of the home will face on to Peters Colony Street.
Year Built	1957-2005	N/A
Building SF on Property	823 SF – 1,375 SF	2,450 SF
Building Architecture	Various	Comparable Architecture to the Homes Built in 2005
Building Setbacks:		
Front	20-Feet	20-Feet (House Setback 30-Feet)
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Wood, Masonite, and Cementitious Lap Siding and Brick	100% Brick
Paint and Color	White, Green, Blue, and Tan	Red with White Trim
Roofs	Composite Shingles	Composite Shingle
Driveways	The majority of the homes have front entry garages with two (2) of the homes having carports instead of garages.	Front entry Garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past and that the two (2) properties south of the subject property are configured in the same configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-

family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Peters Colony and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

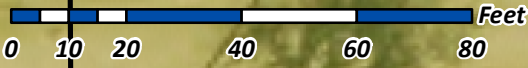
## **NOTIFICATIONS**

On February 25, 2020, staff notified 121 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



Z2020-005 - SUP FOR 703 PETERS COLONY  
SPECIFIC USE PERMIT - LOCATION MAP =

PETERS COLONY



SF-7



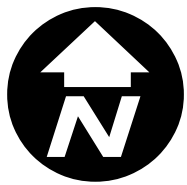
LAMAR



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

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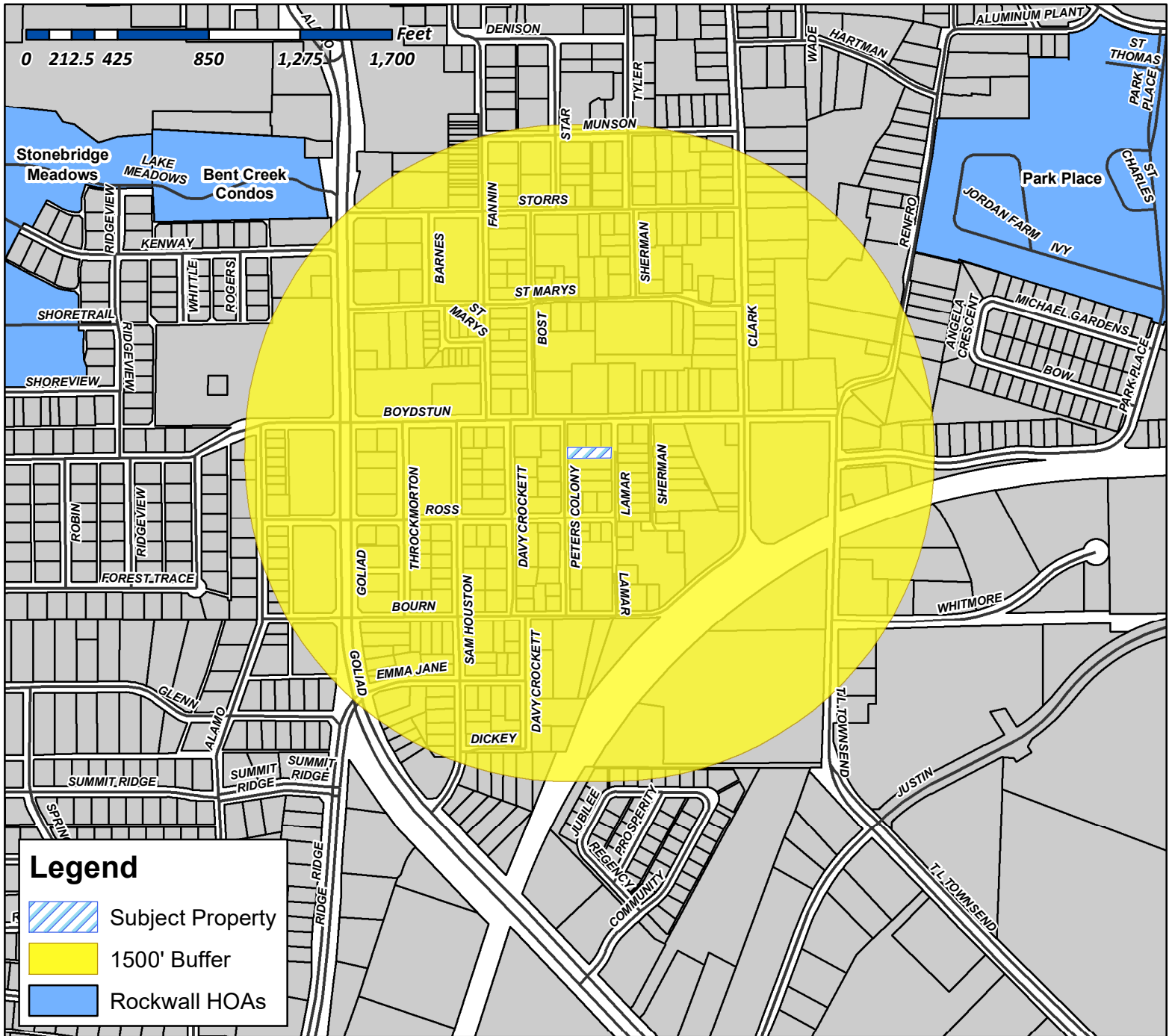




# City of Rockwall

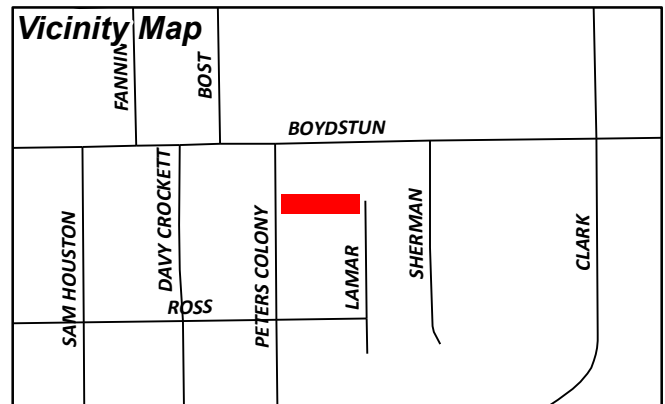
Planning & Zoning Department  
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**Case Number:** Z2020-005  
**Case Name:** SUP for 703 Peters Colony  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 703 Peters Colony

**Date Created:** 2/19/2020  
 For Questions on this Case Call (972) 771-7745

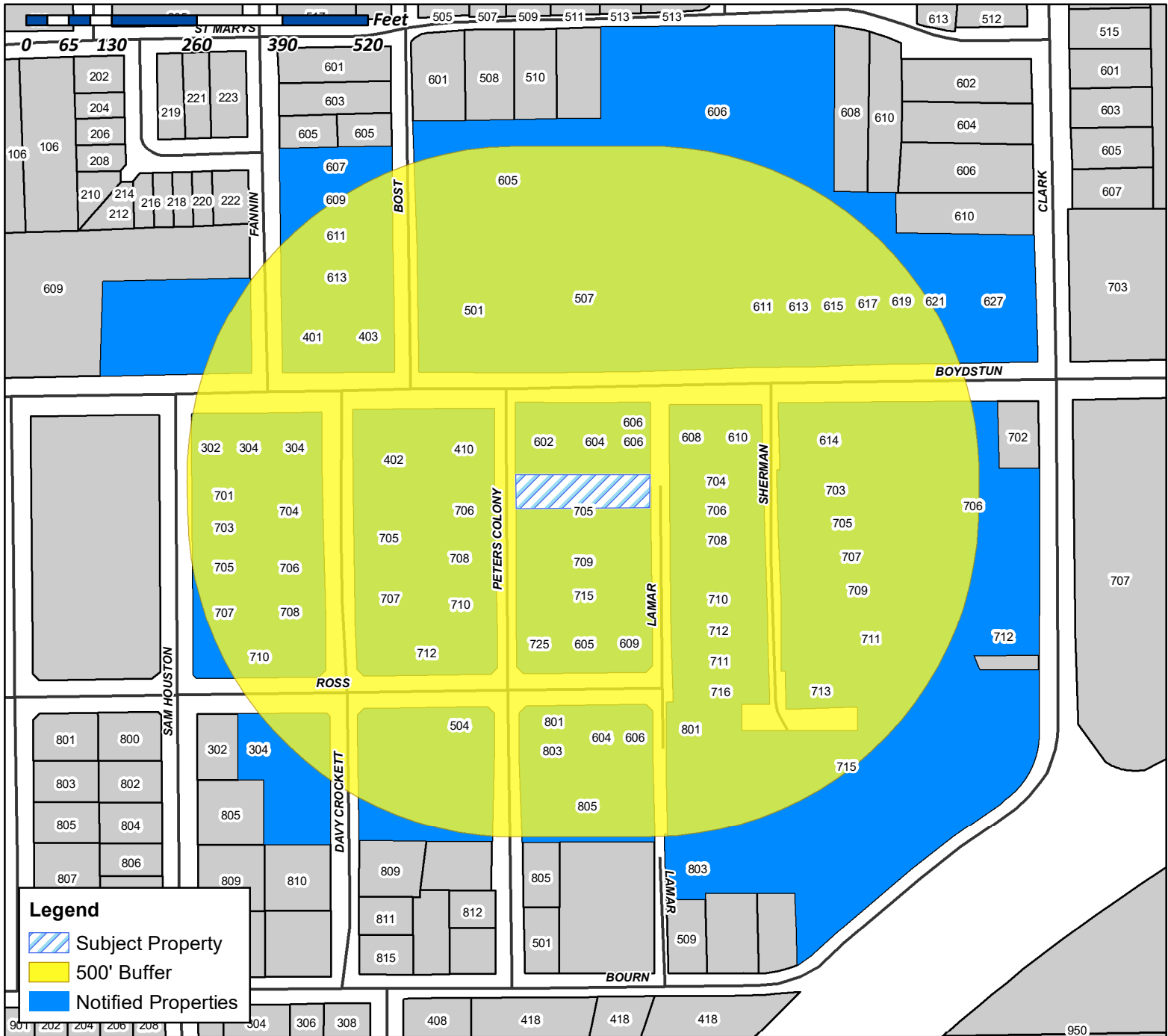




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

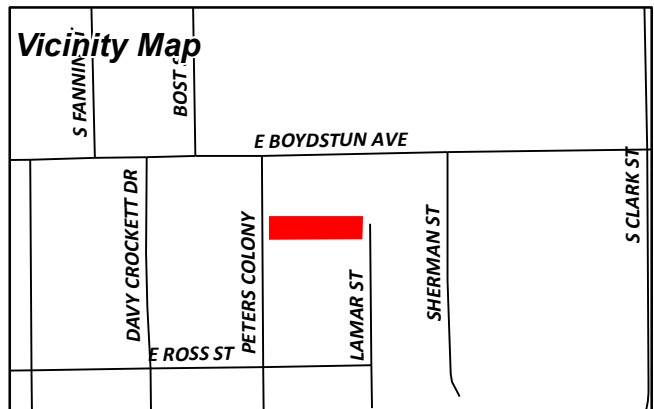
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Legend**

- Subject Property
- 500' Buffer
- Notified Properties

**Case Number:** Z2020-005  
**Case Name:** SUP for 703 Peters Colony  
**Case Type:** Zoning  
**Zoning:** SUP  
**Case Address:** 703 Peters Colony



**Date Created:** 2/19/2020  
**For Questions on this Case Call (972) 771-7745**

CURRENT RESIDENT  
ROCKWALL, TX 75087

WRIGHT ALVIN  
(MR) MAIL RETURNED BY POST OFFICE

PEREZ MARIA D  
1002 E WOODIN BLVD  
DALLAS, TX 75126

GOSSEAUX KEVIN  
1005 SPRINGFIELD LANE  
ALLEN, TX 75002

SRIVEN VISTA LLC  
10401 JACKSON HOLE LN  
MCKINNEY, TX 75070

JOHNSON PAMELA  
1310 COLONY DR  
GARLAND, TX 75040

SMITH CHARLES ELLIOT  
1421 COASTAL DR  
ROCKWALL, TX 75087

STRANGE EMERSON JR  
1521 NOVEL CT  
GARLAND, TX 75040

PIERATT ALAN & MELODY  
1540 MEADOWS CIR  
ROCKWALL, TX 75087

NASUFI ZIKRI  
1885 HILLCROFT DR  
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD  
C/O GENESEE & WYOMING RAILROAD  
1940 ENCHANTED WAY 201  
GRAPEVINE, TX 76051

BALL JUSTIN  
2155 CLUBVIEW DR  
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC  
2289 CR 643  
NEVADA, TX 75173

OSORNIO JEANNIFFER AND  
NOHEMA ESTRADA MACHARIGUE  
2307 WHITE ROAD  
HEATH, TX 75032

HANEY W  
2824 MISTY RIDGE  
ROCKWALL, TX 75032

WILLIAMS FREDDIE R & JO ANN  
302 E BOYDSTUN AVE  
ROCKWALL, TX 75087

LANIER FAMILY TRUST  
ROSA P LANIER TRUSTEE  
304 E BOYDSTUN AVE  
ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA  
304 E ROSS AVE  
ROCKWALL, TX 75087

KATELY CHARLES LEE & THELMA S  
309 ANDERSON ST  
OAKDALE, LA 71463

HAMANN BRENT  
315 ROLLING MEADOWS CIR  
ROCKWALL, TX 75087

RANDOLPH JAMES R JR  
3314 ANNA CADE RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
401EBOYDSTUN  
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D  
402 E BOYDSTUN AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
403EBOYDSTUN  
ROCKWALL, TX 75087

JONES MARGARINE ESTATE  
410 E BOYDSTUN AVE  
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS  
CHURCH  
423 WILLOW RIDGE CIRCLE  
ROCKWALL, TX 75032

GRUBBS JOHN W  
501 E BOYDSTUN AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
504ROSS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
507EBOYDSTUN  
ROCKWALL, TX 75087

HEAD TIM  
510 MARIPOSA  
ROCKWALL, TX 75087



JONES ELTON E & LINDA M  
512 TERRY LN  
ROCKWALL, TX 75032

INNER URBAN HOMES INC  
519 I30 #110  
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND  
JACQUELINE YVETTE JACOBS AND JEFFREY  
DWAYNE JACOBS  
5961 CONNIE LANE  
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA  
602 E BOYDSTUN AVE  
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND  
JOSEPH FABIAN PEREZ  
604 ROSS STREET  
ROCKWALL, TX 75087

MOORE JAMES L  
604 S CLARK  
ROCKWALL, TX 75087

GENTRY GENEVA  
605 BOST ST  
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D  
605 E ROSS STREET  
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA  
606 E BOYDSTUN AVE  
ROCKWALL, TX 75087

WILKERSON CLAUDE JR  
606 SAINT MARY ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
606ROSS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
607SFANNIN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
608EBOYDSTUN  
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES  
609 E ROSS ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
609SFANNIN  
ROCKWALL, TX 75087

SCHUMANN LAURIE A  
610 E BOYDSTUN AVE  
ROCKWALL, TX 75087

SMITH CHARLES  
611 E BOYDSTUN  
ROCKWALL, TX 75087

NONUS SHELLY REYNA AND THOMAS  
611 FANNIN STREET  
ROCKWALL, TX 75087

CURRENT RESIDENT  
611EBOYDSTUN  
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN  
613 E BOYDSTUN AVE  
ROCKWALL, TX 75087

TANNER TRUDY LEANN  
613 S FANNIN  
ROCKWALL, TX 75087

GAMEZ DAVID  
614 E BOYDSTUN AVE  
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN  
615 E BOYDSTUN AVENUE  
ROCKWALL, TX 75032

CURRENT RESIDENT  
617EBOYDSTUN  
ROCKWALL, TX 75087

WOODARD JENNIFER  
619 E BOYDSTUN AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
621BOYDSTUNAVE  
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A  
627 SORITA CIRCLE  
HEATH, TX 75032

CURRENT RESIDENT  
627EBOYDSTUN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
701SAM HOUSTON  
ROCKWALL, TX 75087

ROSS LESLIE  
703 SHERMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
703SAM HOUSTON  
ROCKWALL, TX 75087

HEARD OLLIE FAYE  
704 DAVY CROCKETT ST  
ROCKWALL, TX 75087

SCROGGINS MURRAY  
704 SHERMAN ST  
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D  
705 N SHERMAN  
ROCKWALL, TX 75087

MILLER ANNE  
705 SAM HOUSTON ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
705DAVY CROCKETT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
705PETERS COLONY  
ROCKWALL, TX 75087

WILLIAMS SHIRLEY B ETAL  
706 DAVY CROCKETT ST  
ROCKWALL, TX 75087

DABNEY AUDRY  
706 PETERS COLONY  
ROCKWALL, TX 75087

CURRENT RESIDENT  
706SCLARK  
ROCKWALL, TX 75087

CURRENT RESIDENT  
706SHERMAN  
ROCKWALL, TX 75087

CRENSHAW LORENZA  
707 DAVY CROCKETT ST  
ROCKWALL, TX 75087

ABARCA JOANNE  
707 SHERMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707SAM HOUSTON  
ROCKWALL, TX 75087

CURRENT RESIDENT  
708DAVY CROCKETT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
708PETERS COLONY  
ROCKWALL, TX 75087

CURRENT RESIDENT  
708SHERMAN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
709 N SHERMAN  
ROCKWALL, TX 75087

HEJI PAUL M  
709 PETERS COLONY  
ROCKWALL, TX 75087

HOLLAND ROBIN  
709 SHERMAN ST  
ROCKWALL, TX 75087

HEARD RHODA MAE  
710 DAVY CROCKETT ST  
ROCKWALL, TX 75087

SANCHEZ FATIMA L  
710 SHERMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
710PETERS COLONY  
ROCKWALL, TX 75087

ALLEN ETHEL JEAN  
711 SHERMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
711LAMAR  
ROCKWALL, TX 75087

BENNETT A L EST  
C/O OLIVER LINVELL  
712 PETERS COLONY  
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE  
712 PETERS COLONY  
ROCKWALL, TX 75087

CURRENT RESIDENT  
712CLARK  
ROCKWALL, TX 75087

CURRENT RESIDENT  
712SHERMAN  
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE  
713 SHERMAN ST  
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E  
715 PETERS COLONY  
ROCKWALL, TX 75087

CURRENT RESIDENT  
715SHERMAN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
716SHERMAN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
725PETERS COLONY  
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

MATHIS MALCOLM AND CHRISTIE  
801 LAMAR ST  
ROCKWALL, TX 75087

HASS DANIEL & AMBER  
801 PETERS COLONY  
ROCKWALL, TX 75087

SHAW JERRY GAIL  
803 LAMAR ST  
ROCKWALL, TX 75087

FISHER JESSICA  
803 PETERS COLONY  
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST  
EPISCOPAL CHURCH  
805 PETERS COLONY  
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC  
900 HEATHLAND CROSSING  
HEATH, TX 75032

CURRENT RESIDENT  
BOURN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
CLARK  
ROCKWALL, TX 75087

CURRENT RESIDENT  
DAVEY CROCKETT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
DAVY CROCKETT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
DAVY CROCKETT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
EBOYDSTUN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
EBOYDSTUN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
EBOYDSTUN  
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST  
ROMAN FRANCISCO CANALES & ROSA MARIA  
ZAMORA MIRANDA-TRUSTEE  
P O BOX 291  
FATE, TX 75132

CURRENT RESIDENT  
PETERS COLONY  
ROCKWALL, TX 75087

ROCKWALL SOUTHSIDE NEIGHBORHOOD  
COALITION  
C/O TONY RIOS  
PO BOX 1262  
ROCKWALL, TX 75087

PEOPLES BILLY W SR  
PO BOX 35  
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY  
PO BOX 4  
ROCKWALL, TX 75087

SMITH TIMOTHY  
PSC 3 BOX 5631  
APO, AP 96266

CITY OF ROCKWALL  
, 0

SLIGER S T MRS  
, 0

CITY OF ROCKWALL  
, 0

November 15, 2019

To whom it may concern:

The foundation plan, accompanied by this letter, for used only upon property described below:

**Address:**           703 Peters Colony St  
                              Rockwall Tx

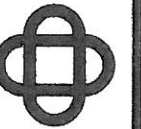
Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), WRI-CRSI-96, ACI 318-99, the 2006,2009,2012, and 2015 IRC, 2006, 2009,2012, and 2015 IBC, ACI 318, ASTM C94 and recognized engineering practices.

Sincerely,



J.S Barton, P.E.  
(F-10832)





ERIC L. DAVIS ENGINEERING, INC.  
 P-3987  
 120 EAST MAIN STREET  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eidengineering.com

GRADING PLAN  
 ENGINEERED FOR

KEVIN OSORNIO

BUILDER: KEVIN OSORNIO	PLAN: GRADING
ADDITION: N.E. & J.O. ADDITION	ELD JOB NO: DIF19-1527 & 1530
ADDRESS: 703 & 705 PETERS COLONY	DRAWN BY: BW
LOT: 1 & 2	CHECKED BY: ML
BLOCK: A	
CITY: ROCKWALL, TX	

SCALE: 1" = 20'

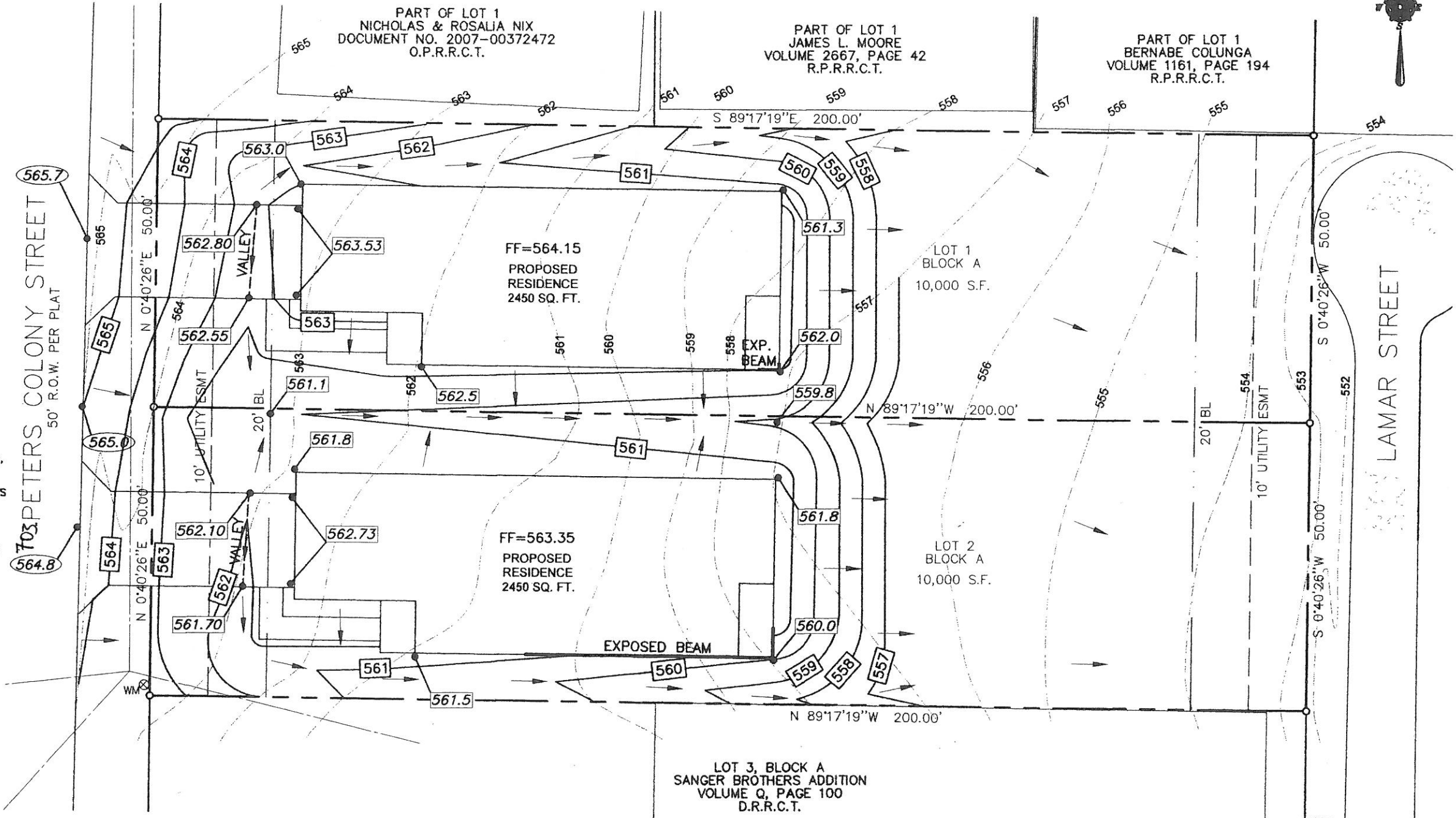
SHEET 01

- NOTE:
1. SITE PREPARATION MUST COMPLY WITH PROJECT GEOTECHNICAL REPORT SPECIFICATIONS.
  2. REMOVE AND DISCARD ALL VEGETATION WHERE GRADING IS PROPOSED
  3. SITE DRAINAGE MUST BE WELL DEVELOPED AND DIRECTED AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. FLOWLINE SLOPES OF SWALES AND SIDE YARDS SHALL NOT BE LESS THAN 1.25%. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE.
  4. BACKFILL AROUND THE FOUNDATION SHALL BE WITH COHESIVE SOIL.
  5. ROOF DOWNSPOUTS AND DRAINS SHALL BE EXTENDED AND DRAIN AWAY FROM FOUNDATION.
  6. PAVING AND STRUCTURAL DESIGN BY OTHERS.

ALL ELEVATIONS ARE BASED ON SURVEY DATA PROVIDED BY THE OWNER AND/OR SURVEYOR. DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY DATA.

**CAUTION III**  
 CALL: TEXAS ONE CALL @  
 1-800-245-4545  
 48 HRS PRIOR TO CONSTRUCTION

**III CAUTION III**  
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION, AND DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.

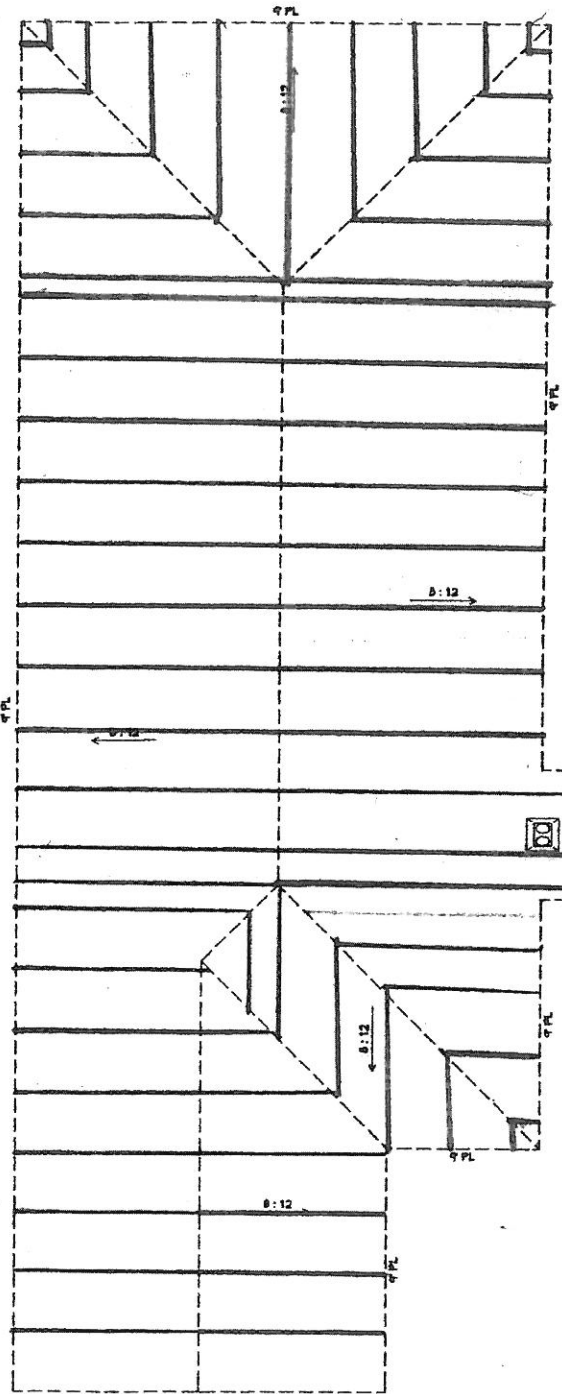


LEGEND

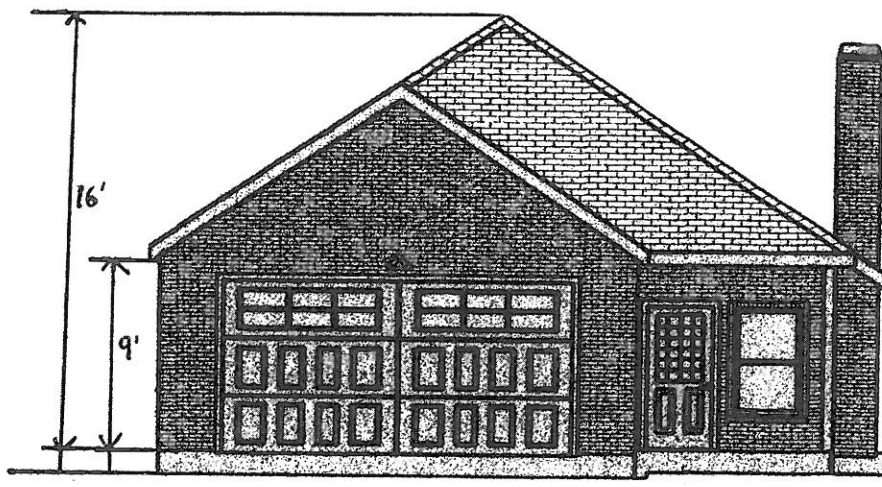
---	EASEMENT
(XXX)	EXISTING SPOT ELEVATION
[XXX]	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
[XXX]	PROPOSED CONTOURS
---	EXISTING CONTOURS
→	PROPOSED FLOW DIRECTION
⊠	12" x 12" AREA DRAIN



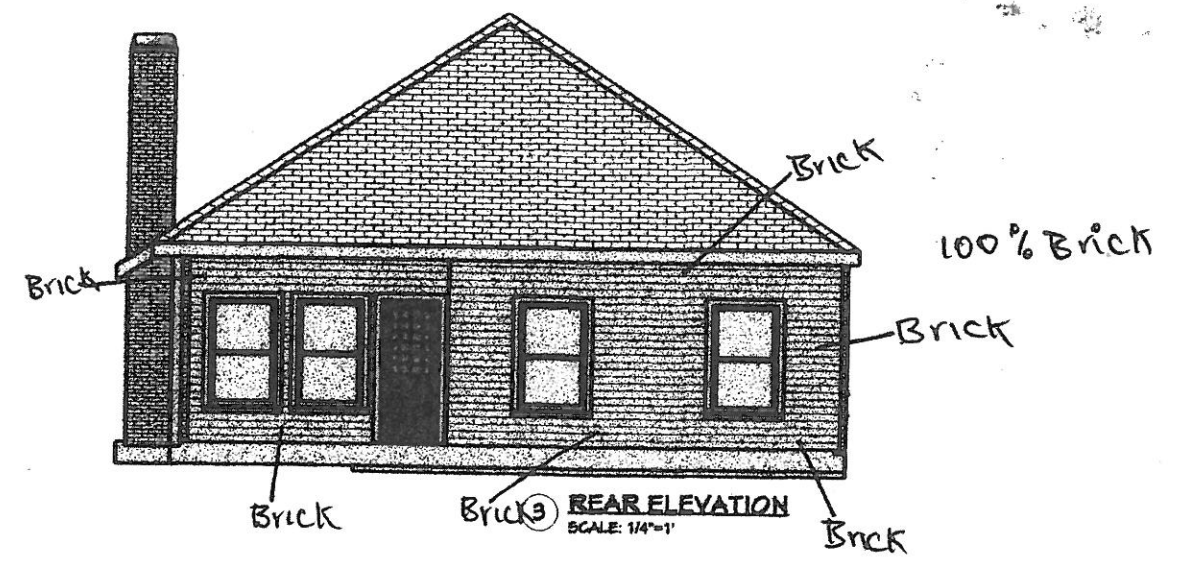
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 1/8/2020



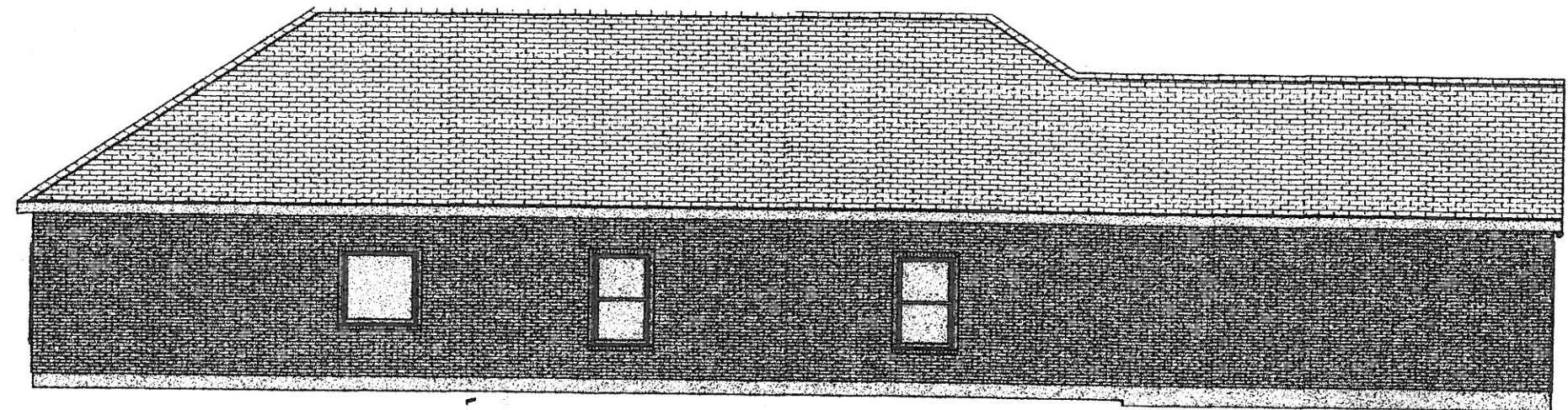
① ROOF PLAN  
SCALE: 3/8"=1'



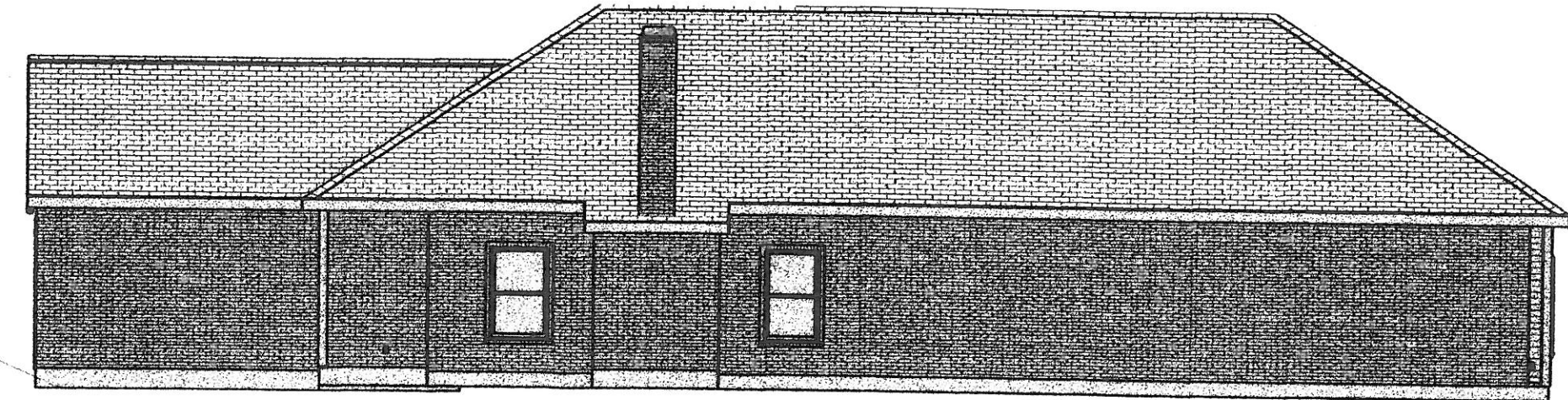
② FRONT ELEVATION  
SCALE: 1/4"=1'



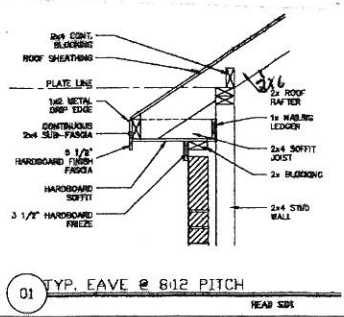
③ REAR ELEVATION  
SCALE: 1/4"=1'



④ LEFT ELEVATION  
SCALE: 1/4"=1'



⑤ RIGHT ELEVATION  
SCALE: 1/4"=1'



① TYP. EAVE @ 8:12 PITCH  
REF: S24

PLANS FOR:  
703 Peters Colony St  
Rockwall Tx

TITLE:  
ROOF PLAN / ELEVATIONS

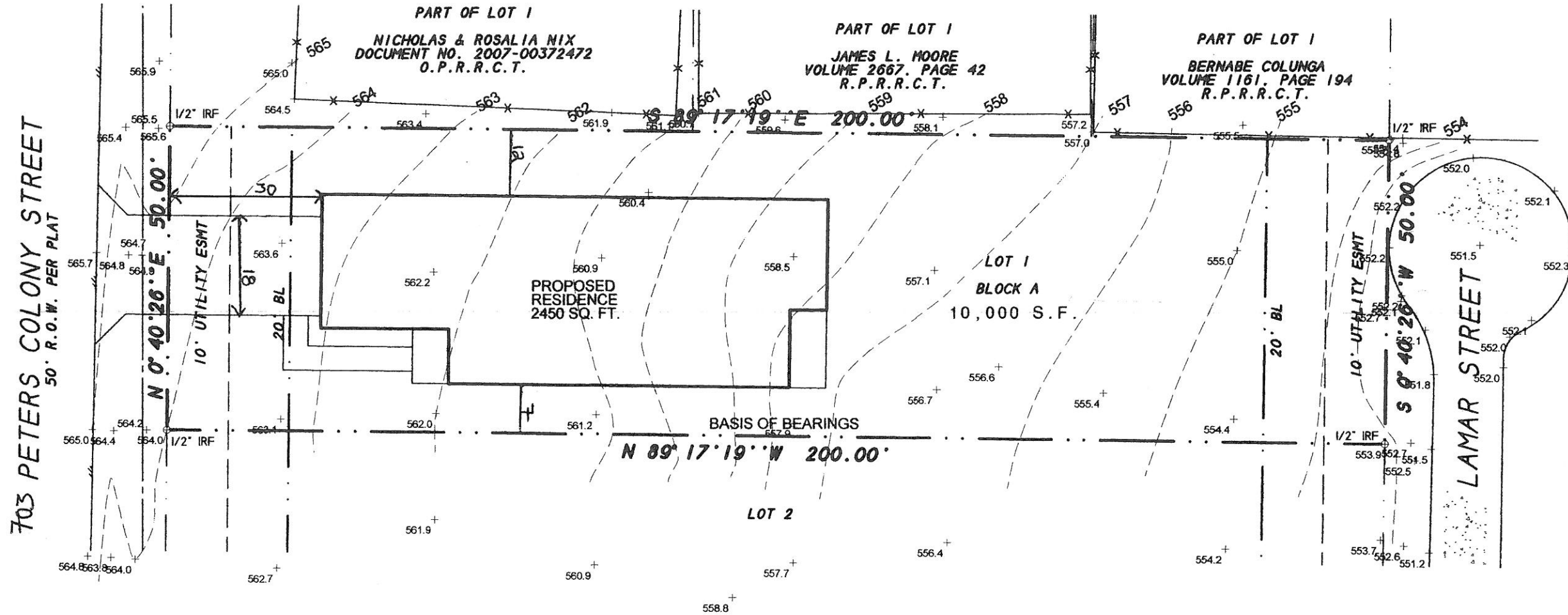
SHAWN NIXON MARK NIXON  
**GADAZIGN**  
5104 CR 2522  
ROSE CITY, TEXAS 75119  
469-936-9999

DATE:  
5/1/2019

SCALE:  
AS SHOWN

SHEET:  
A-1

PLAT OF SURVEY



DESCRIPTION

BEING Lot 1, Block A, of N.E. & J.O. Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Document No. 2019000015067, of the Official Property Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEY ACCEPTED BY:

_____	DATE _____
_____	DATE _____

PLAT PLAN

22020-004

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jeaniffer Osornio and Nohema Estrada at Peters Colony Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 14th day of November, 2019.

Harold D. Fetty III, R.P.L.S. No. 5034



H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND			
⊙	⊕	⊕	⊕
TELEVISION CABLE RISER	GAS METER	TEL. PHONE RISER	PP. FIRE HYDRANT
⊕	⊕	⊕	⊕
ELEC. METER	ELEC. BOX	WATER METER	LP LIGHT POLE
⊕	⊕	⊕	⊕
SUBSURFACE JUNCTION BOX	1/2" IRF	IRON ROD FOUND (CORNER)	A/C UNIT
—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINES	PROFANE TANK

SURVEY DATE NOVEMBER 14, 2019  
 SCALE 1" = 20' FILE # 2Q190047-1  
 CLIENT OSORNIO GF # NONE

410 Boydston Street

Write a description for your map.

Legend



602 Boydston Street

Write a description for your map.

Legend





**706 Peters Colony**  
Write a description for your map.

Legend



**708 Peters Colony**  
Write a description for your map.

Legend



**709 Peters Colony**  
Write a description for your map.

Legend



**710 Peters Colony**  
Write a description for your map.

Legend





**725 Peters Colony**

Write a description for your map.

Legend



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 703 Peters Colony, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 4, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

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Jim Pruitt, *Mayor*

**ATTEST:**

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Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

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Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

**Exhibit 'A'**  
**Zoning Exhibit**

Address: 703 Peters Colony

Legal Description: Lot 2, Block A, Sanger Addition









CITY OF ROCKWALL

ORDINANCE NO. 20-08

SPECIFIC USE PERMIT NO. S-214

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 703 Peters Colony, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS;**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 4, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

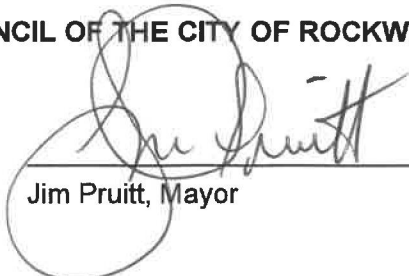
**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** That if any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

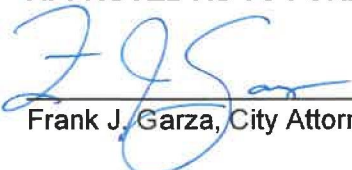
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

  
\_\_\_\_\_  
Jim Pruitt, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

**Exhibit 'A'**  
**Zoning Exhibit**

Address: 703 Peters Colony

Legal Description: Lot 2, Block A, Sanger Addition





# Exhibit 'C': Building Elevations

