



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 22020-003 P&Z DATE 02/25/20 CC DATE 03/16/20 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____
_____
_____
_____
_____
_____
ZONING MAP UPDATED _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z 2020 - 003

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 4110 PARKS AVE. ROCKWALL, TX 75087

Subdivision FORECS Addition Vol 12. Pg. 568 Lot 7 Block D

General Location PARKS AVE

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL SF-7

Current Use RESIDENTIAL

Proposed Zoning N/A

Proposed Use RESIDENTIAL

Acreage 0.16

Lots [Current]

Lots [Proposed] 0.16

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant REESE BAER

Contact Person

Contact Person

Address

Address 102 S. GOLIAD #108

City, State & Zip

City, State & Zip ROCKWALL, TX 75087

Phone

Phone

E-Mail

E-Mail rbaer@tritongc.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

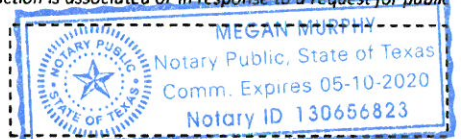
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY, 2020.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]



My Commission Expires



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

#### Platting Application Fees:

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#### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address 110 Parks Ave. Rockwall, TX 75087  
 Subdivision Forecs Addition Vol 12. Pg. 568 Lot 7 Block D  
 General Location PARKS AVE

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential SF-7 Current Use Residential  
 Proposed Zoning N/A Proposed Use Residential  
 Acreage 0.16 Lots [Current] \_\_\_\_\_ Lots [Proposed] 0.16

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>Amanda Henke</u>	<input checked="" type="checkbox"/> Applicant <u>Reese Baez</u>
Contact Person <u>" "</u>	Contact Person _____
Address _____	Address <u>102 S. Goliad #108</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Rockwall, TX 75087</u>
Phone <u>972 896 1539</u>	Phone _____
E-Mail <u>mhenke@me.com</u>	E-Mail <u>rbaez@tritongc.com</u>

### NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

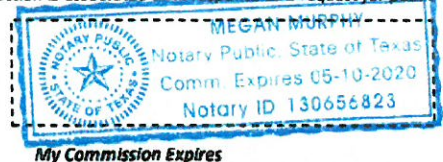
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY 2020.

Owner's Signature

Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION





# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

N/A

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
  - MINOR/AMENDING PLAT.
  - MASTER PLAT.
  - PRELIMINARY PLAT.
  - FINAL PLAT.
  - REPLAT.
  - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:

- ONE (1) PDF COPY OF THE PLAT
- ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

N/A

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
  - SITE PLAN.
  - LANDSCAPE PLAN.
  - TREESCAPE PLAN.
  - PHOTOMETRIC PLAN.
  - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system. **PLAT ATTACHED**
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

**IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.**



**February 13, 2020**

**City of Rockwall  
Planning & Zoning Department  
385 S. Goliad St.  
Rockwall, TX 75087**

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **610 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to be "Reese Baez", written over a horizontal line.

**Reese Baez  
Triton General Contractor  
469-931-2267**



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 2/14/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 02/20/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 2/20/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 2/25/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number: Z2020-003**  
**Project Name: 610 Parks Avenue**  
**Project Type: ZONING**  
**Applicant Name: Reese Baez**  
**Owner Name: [OWNER]**  
**Project Description:**



# RECEIPT

Project Number: Z2020-003

Job Address:

Receipt Number: B88313

Printed: 2/21/2020 3:40 pm

Fee Description	Account Number	Fee Amount
ZONING	01-4280	\$215.00

---

**Total Fees Paid:**

**\$215.00**


Date Paid: 2/21/2020 12:00:00AM

Paid By: Reese Baez

Pay Method: CHECK 8292

Received By: AG

0 100 200 300 400 500 Feet

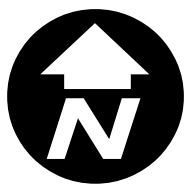
Z2020-003- SUP FOR 610 PARKS AVE  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



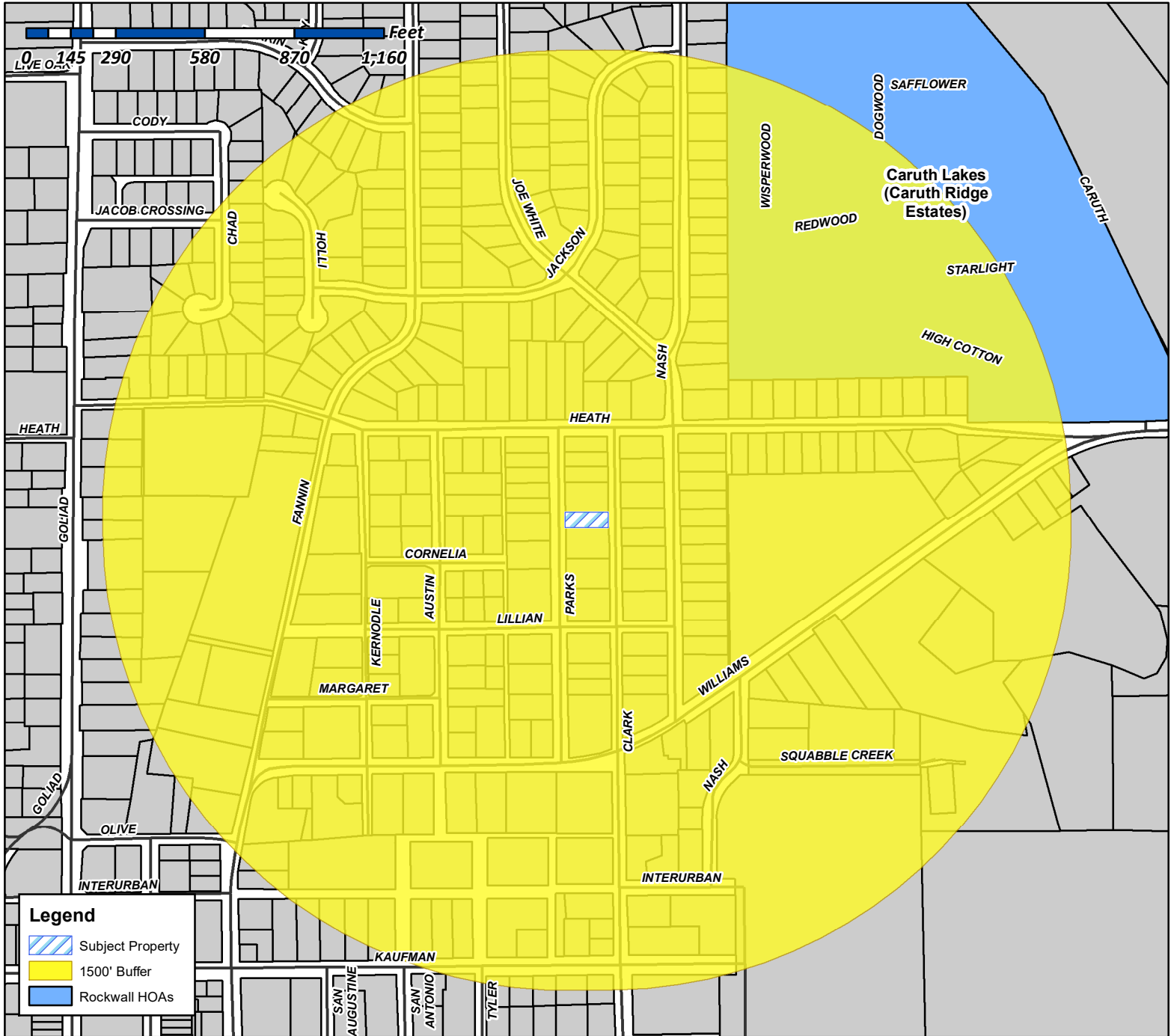




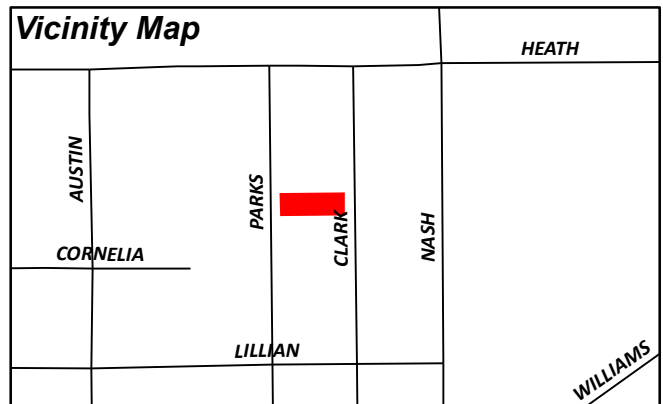
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**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 610 Parks Ave.



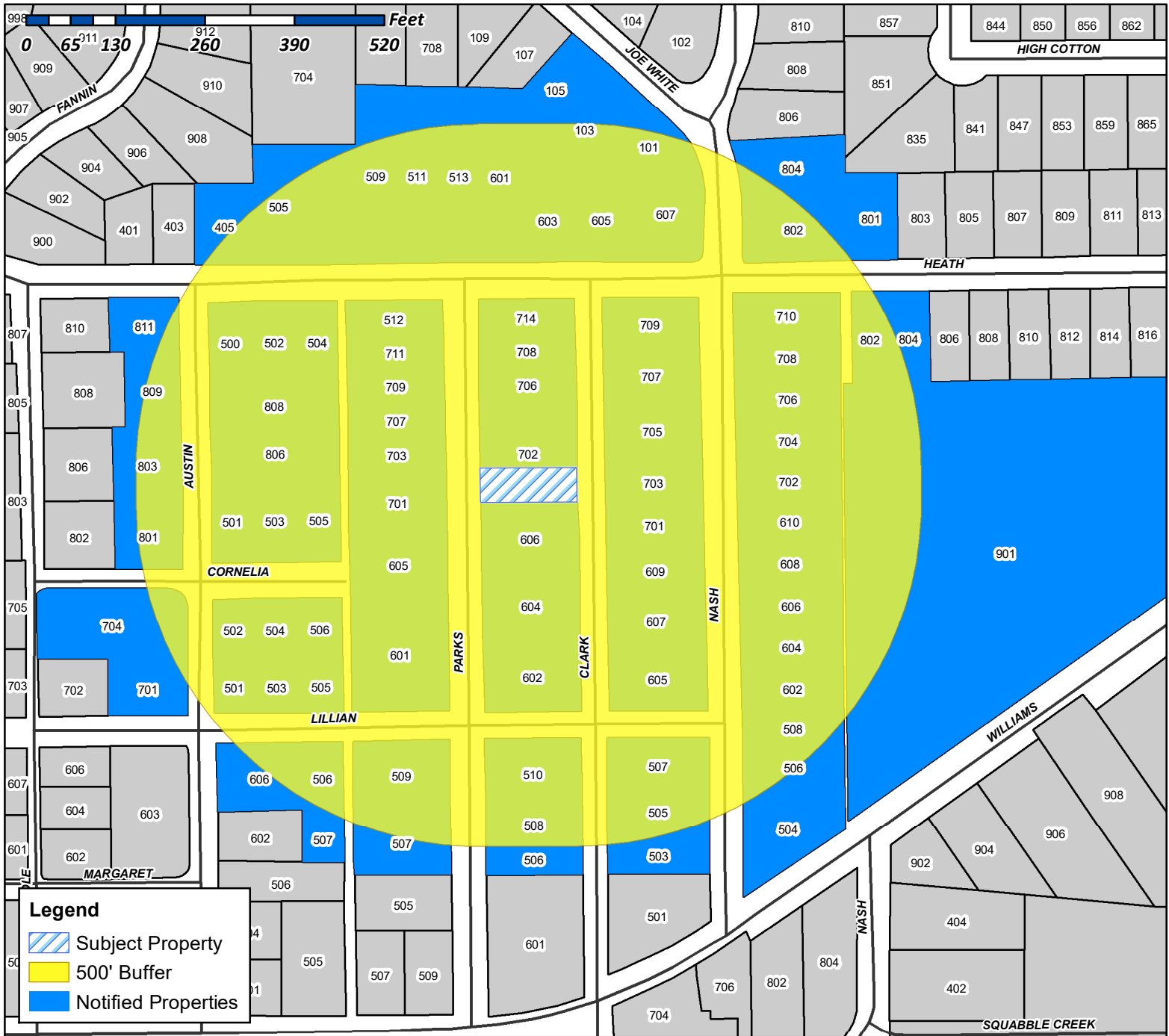
**Date Created:** 2/19/2020  
 For Questions on this Case Call (972) 771-7745



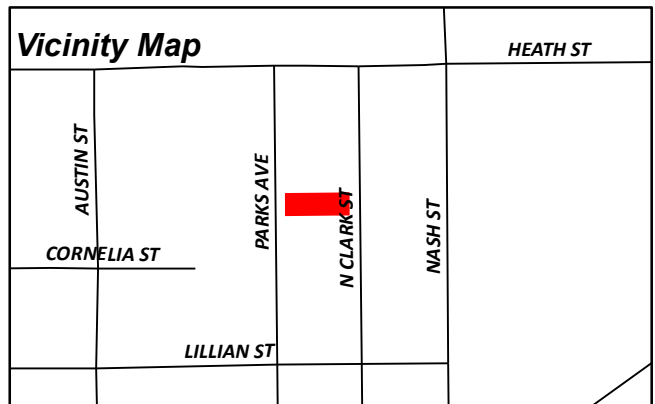
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Rockwall, Texas 75087  
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**Date Created:** 2/19/2020  
**For Questions on this Case Call (972) 771-7745**



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Planning & Zoning Department  
385 S. Goliad St.  
Rockwall, TX 75087**

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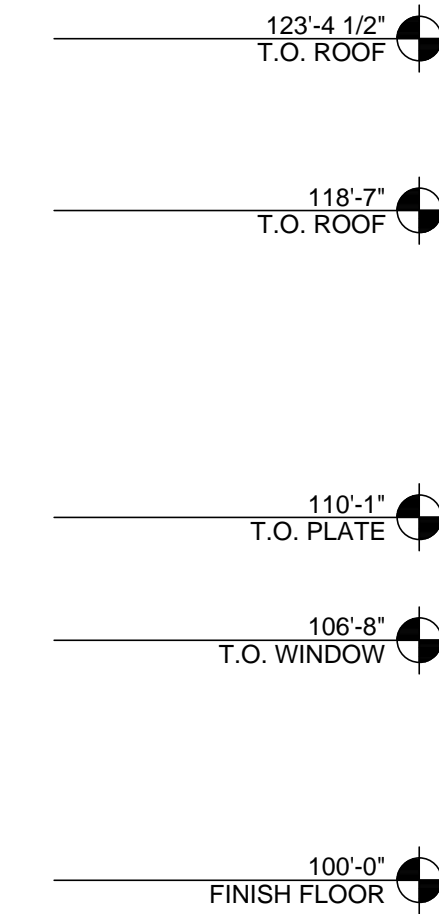
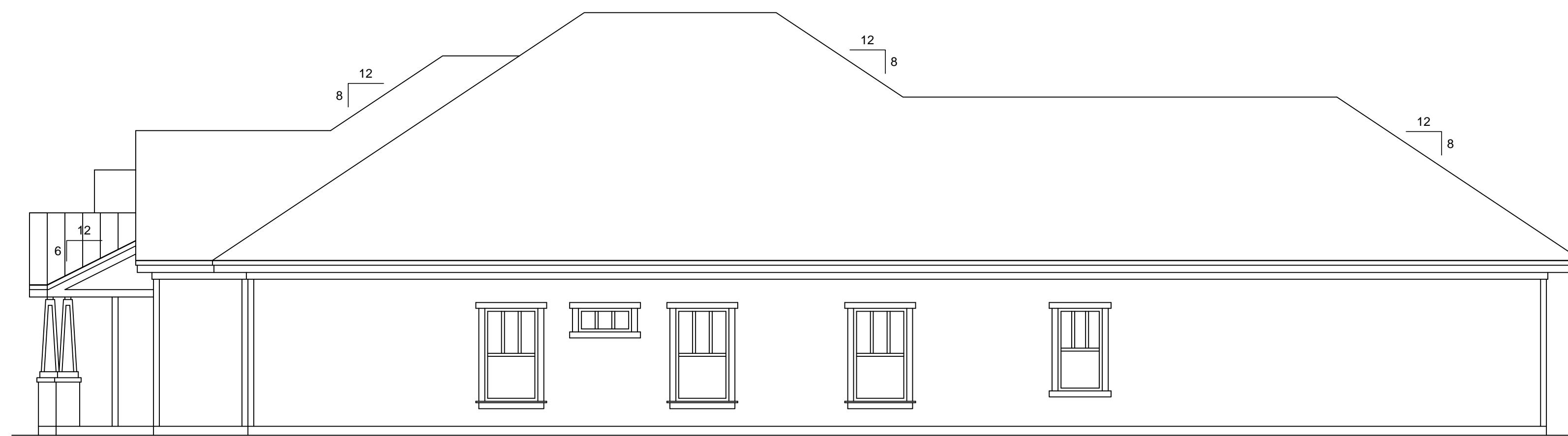
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Thank you,

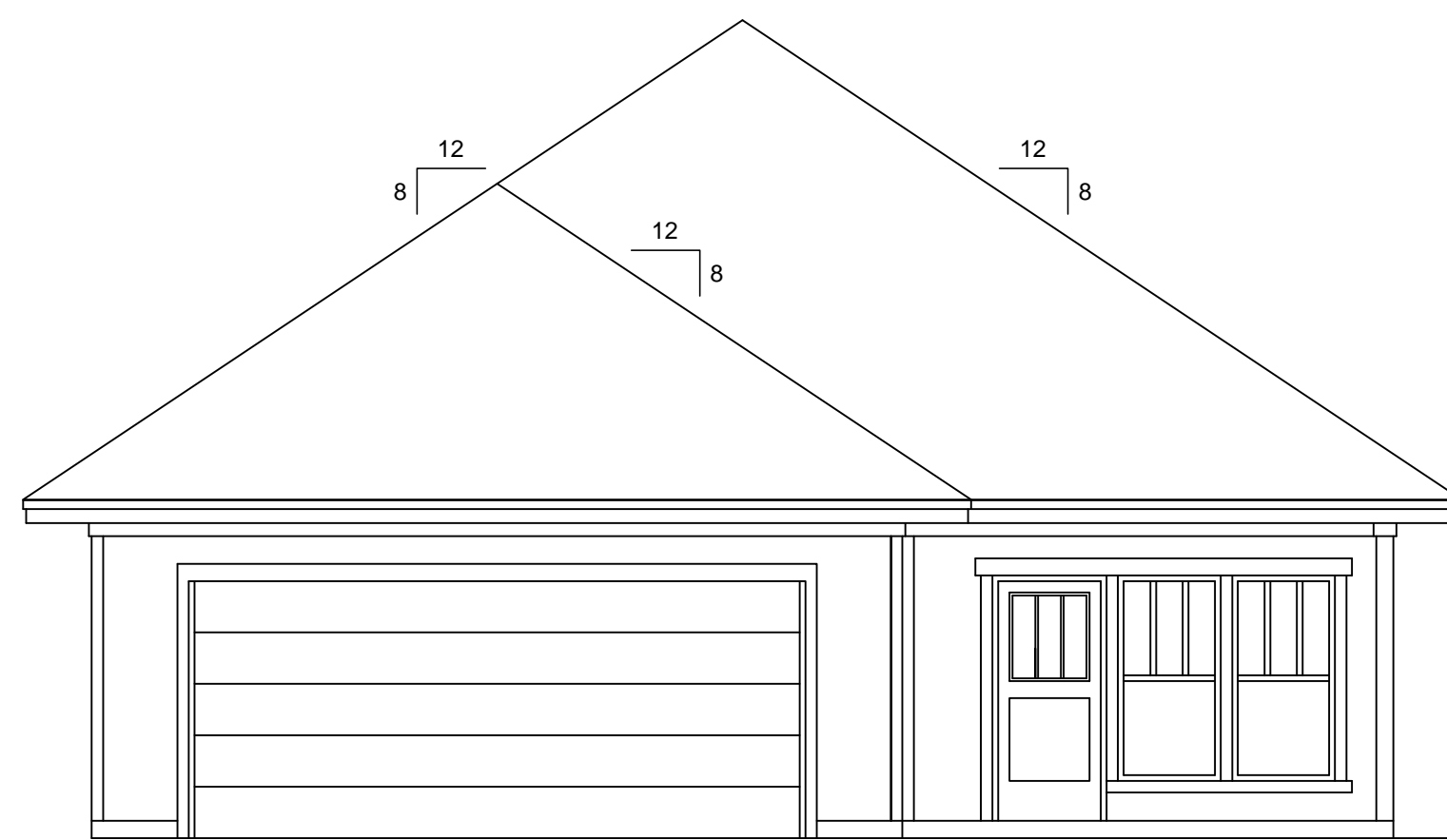
A handwritten signature in black ink, appearing to be "Reese Baez", written over a horizontal line.

**Reese Baez  
Triton General Contractor  
469-931-2267**

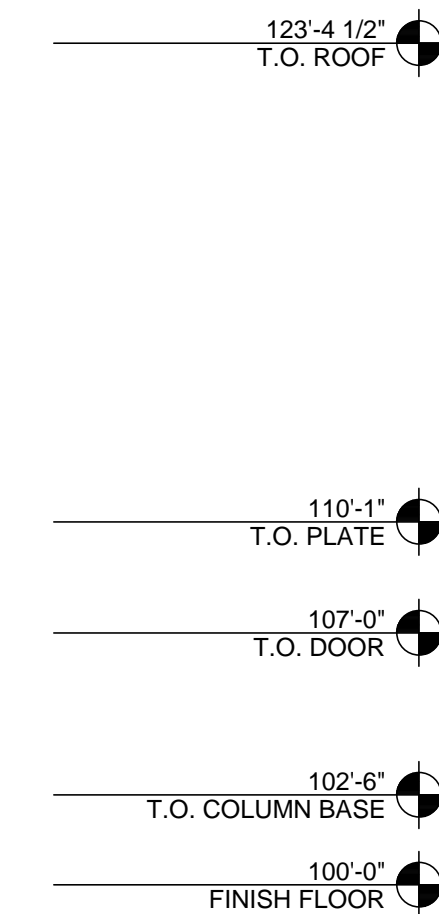
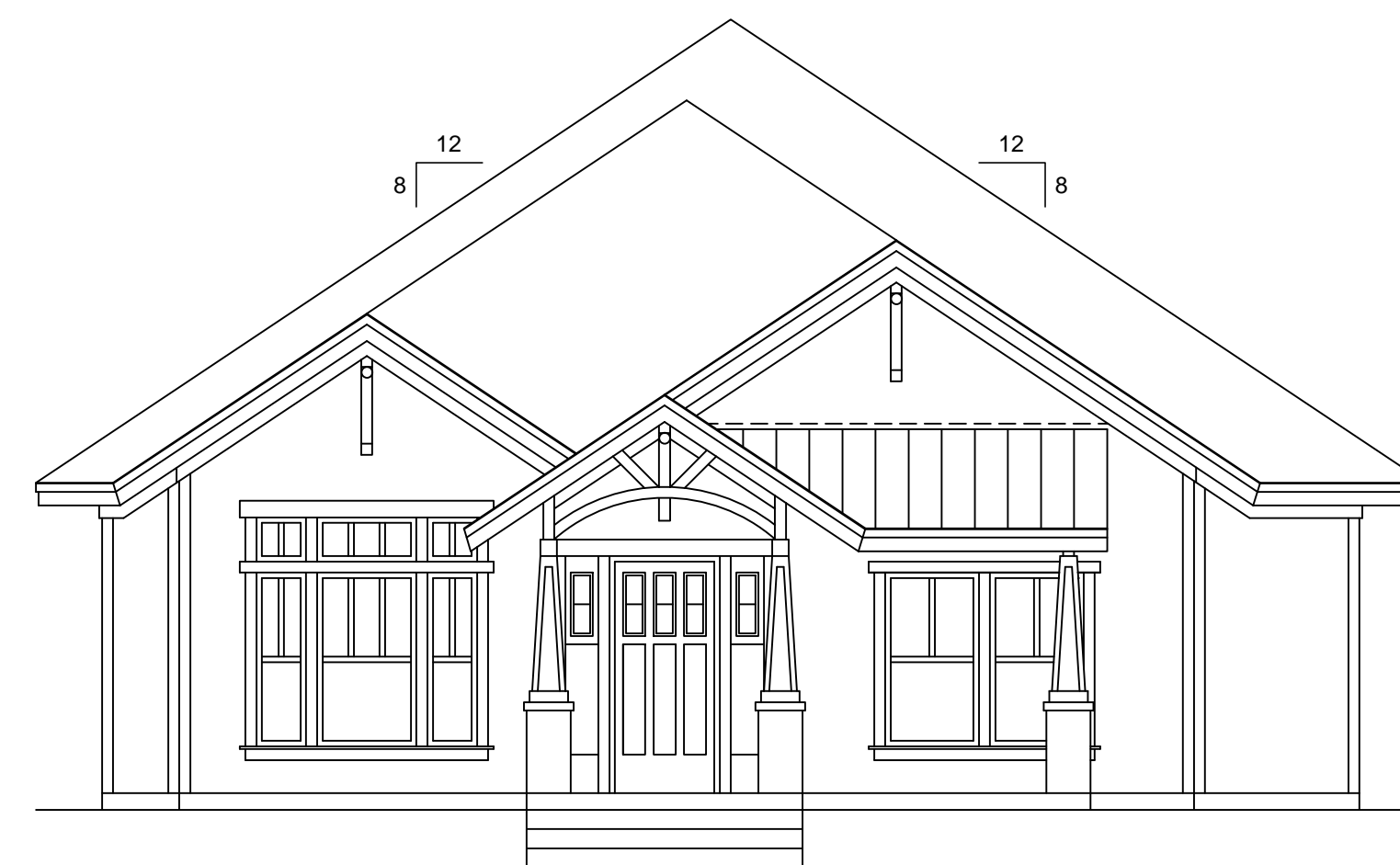




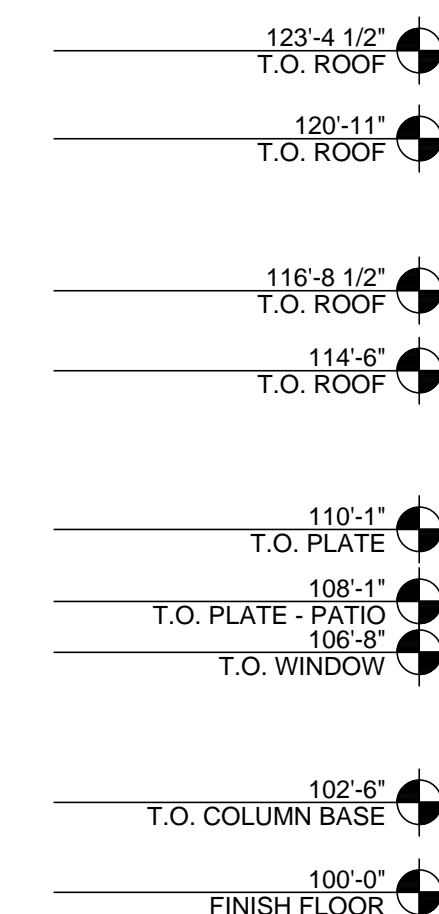
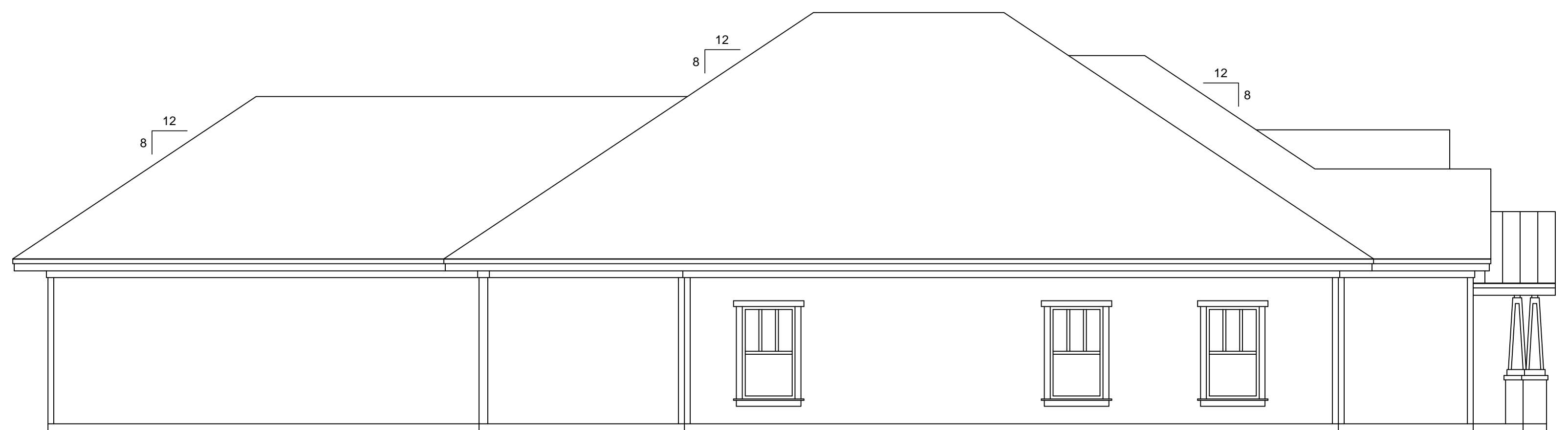
**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
A	HARDIE BOARD SIDING, FASCIA & TRIM, COLOR: GRAY
B	HARDIE BOARD SIDING, COLOR: GRAY
C	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR: ZINC GREY
D	PREFINISHED ALUMINUM FLASHING, COLOR TO MATCH SIDING
E	ENTRY DOORS AS SELECTED
F	WINDOW - INSULATED, COLOR: BLACK
G	COMPOSITION ASPHALT ROOF, TYP., (270lbs)
H	4X6 GUTTER & DOWNSPOUT - PREFINISHED, COLOR: AS SELECTED BY OWNER
J	GABLE END, 8" DECOR. WOOD TRIM COLOR: WHITE
K	6X6 WOOD POST @ PATIO
L	1X WOOD TRIM @ DECOR. COLUMNS

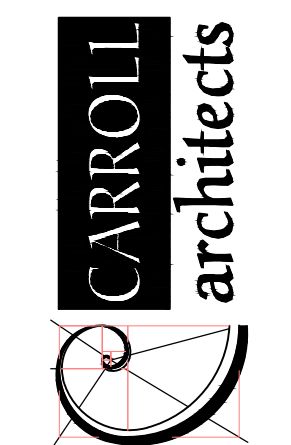
OWNER REVIEW:	10-25-2019
ISSUE:	
OWNER REVIEW:	11-12-2019
ISSUE:	
OWNER REVIEW:	
ISSUE:	
OWNER REVIEW:	
ISSUE:	
OWNER REVIEW:	
ISSUE:	

COPYRIGHT NOTICE: This drawing is the property of CARROLL ARCHITECTS and is to be used only for the project and location specified. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of CARROLL ARCHITECTS. The protection of this drawing is provided by copyright law. All rights reserved. CARROLL ARCHITECTS, 750 E. Interstate 30, Suite 110, Rockwall, TX 75087, t: 972-732-6085, f: 972-732-8058.

PROPOSED RESIDENCE FOR  
**MURPHY**  
610 Parks Ave.  
Rockwall, Texas 75087

MR. SAM &  
MEGAN MURPHY

Wild Oak  
Rockwall, TX, 75087



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

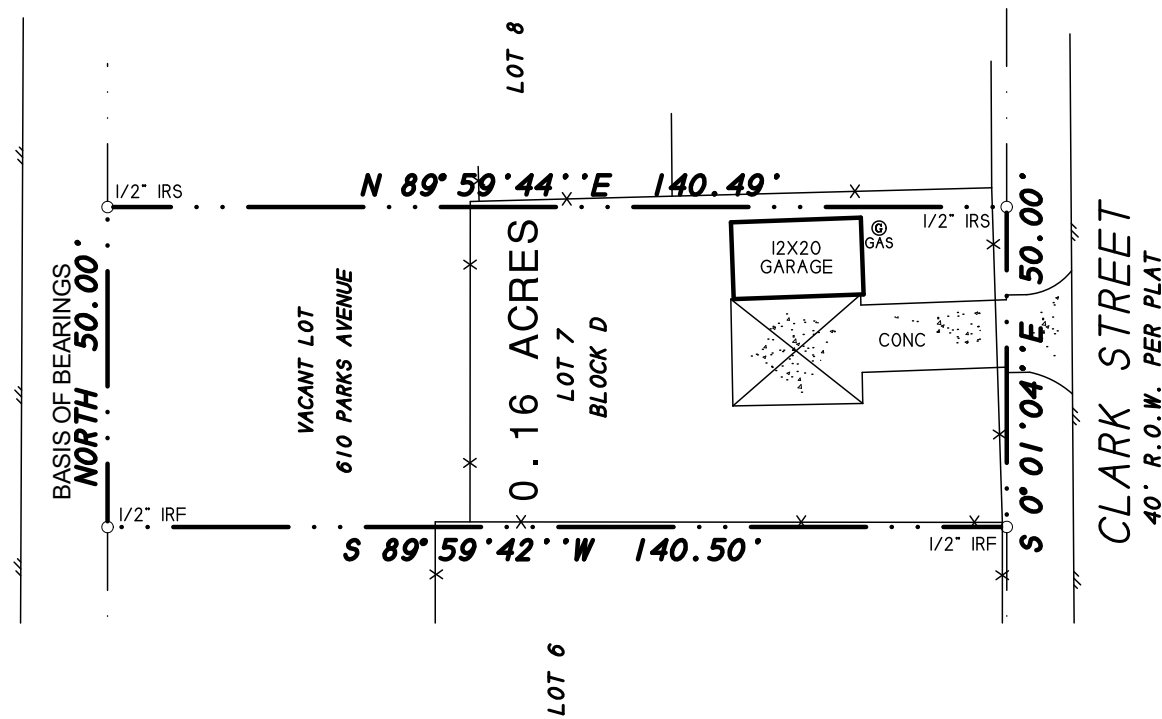
**EXTERIOR  
ELEVATIONS**

DATE: OCT 2019 SHEET NO:  
PROJECT NO: 2019060  
DRAWN BY: A501  
CHECKED BY:

PLAT OF SURVEY



PARKS AVENUE  
50' R.O.W. PER PLAT



DESCRIPTION

BEING Lot 7, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
⊙	⊕	⊞	⊞	⊞
TELEVISION CABLE RISER	GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
▲	⊞	⊞	⊞	⊞
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	⊞ 1/2" IRF IRON ROD FOUND (CORNER)
—	—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND. UNIT	PROPANE TANK

SURVEY DATE OCTOBER 1, 2018  
SCALE 1" = 30' FILE # 20180297-7  
CLIENT WARDELL GF # 1884847-10GH

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:

DATE

DATE

**City of Rockwall**  
Project Plan Review History



<b>Project Number</b> Z2020-003	<b>Owner</b>	<b>Applied</b> 2/14/2020 AG
<b>Project Name</b> 610 Parks Avenue	<b>Applicant</b> Reese Baez	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> SUP		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
<b>Subdivision</b>	<b>Tract</b>	<b>General Plan</b>
	<b>Block</b>	
	<b>Lot No</b>	
	<b>Parcel No</b>	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING 1. Min Driveway Length is 20Ft. 2. Last page shows a detached garage ?	Russell McDowell	2/14/2020	2/21/2020	2/19/2020	5	APPROVED	
ENGINEERING (2/21/2020 11:12 AM SJ) I - Will need engineered culvert design for driveway. Minimum size is 18" RCP pipe. Will need the drainage area map, culvert sizing calculations, and plan and profile sheet. I - Driveway is required to be concrete. I - What is the 6' easement on the side of the property? I believe this is supposed a side setback.	Sarah Johnston	2/14/2020	2/21/2020	2/21/2020	7	APPROVED	See Comments
FIRE	Ariana Hargrove	2/14/2020	2/21/2020	2/19/2020	5	APPROVED	
PLANNING	David Gonzales	2/14/2020	2/21/2020	2/20/2020	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(2/20/2020 8:25 PM DG)						Z2020-003; SUP for Residential Infill in Established Subdivision– 610 Parks Avenue Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.
I.2						For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.
M.3						For reference, include the case number (Z2020-003) in the lower right-hand corner of all pages of all revised plan submittals(i.e. site plan and landscape plan).
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC), and the Development Standards of Article IV & Article V that are applicable to the subject property.
M.5						Please review the draft ordinance when received by staff and provide comments to staff by March3, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting(i.e. Public Hearing) to be held on March 10, 2020.
M.6						Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a boat sales, storage and repair facility on the Subject Property, and conformance to these operational conditions is required for continued operations
						<ol style="list-style-type: none"> <li>1) The subject property shall generally conform to the Plot Plan as depicted in Exhibit 'B' of the draft ordinance; and,</li> <li>2) The subject property shall generally conform to the Building Elevations as depicted in Exhibit 'C' of the draft ordinance.</li> <li>3) Upon obtaining a building permit for the subject property and upon approval of the final inspection by the Building Inspections Department of the City of Rockwall, this Specific Use Permit shall expire on the effective date of said final inspection</li> </ol>
I.7						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 3, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 10, 2020 Planning & Zoning Meeting.
I.8						Please note the scheduled meetings for this case:
						<ol style="list-style-type: none"> <li>1) Planning &amp; Zoning Work Session meeting will be held on February 25, 2020.</li> <li>2) Planning &amp; Zoning Public Hearing meeting will be held on March 10, 2020.</li> <li>3) City Council Public Hearing will be held on March 16, 2020. (1st Reading of Ordinance)</li> <li>4) City Council meeting will be held on April 6, 2020. (2nd Reading of Ordinance)</li> </ol>
I.9						Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers. These meeting are scheduled to begin at 6:00 p.m.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

#### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

#### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

#### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

#### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address **1610 PARKS AVE. ROCKWALL, TX 75087**

Subdivision **FORECS Addition Vol 12. Pg. 568** Lot **7** Block **D**

General Location **PARKS AVE**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **Residential SF-7**

Current Use **Residential**

Proposed Zoning **N/A**

Proposed Use **Residential**

Acreage **0.16**

Lots [Current]

Lots [Proposed] **0.16**

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant **Reese Baez**

Contact Person

Contact Person

Address

Address **102 S. Goliad #108**

City, State & Zip

City, State & Zip **Rockwall, TX 75087**

Phone

Phone

E-Mail

E-Mail **rbaez@tritongc.com**

### NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

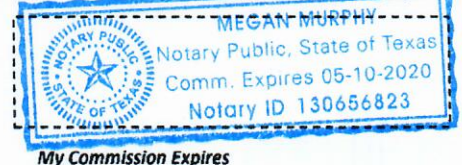
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY 20 20.

Owner's Signature


Notary Public in and for the State of Texas

[Signature]



My Commission Expires

0 100 200 300 400 500 Feet

Z2020-003- SUP FOR 610 PARKS AVE  
ZONING - LOCATION MAP = 

PARKS AVE

N CLARK ST



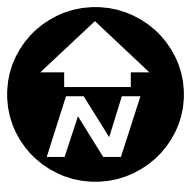
SF-7



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

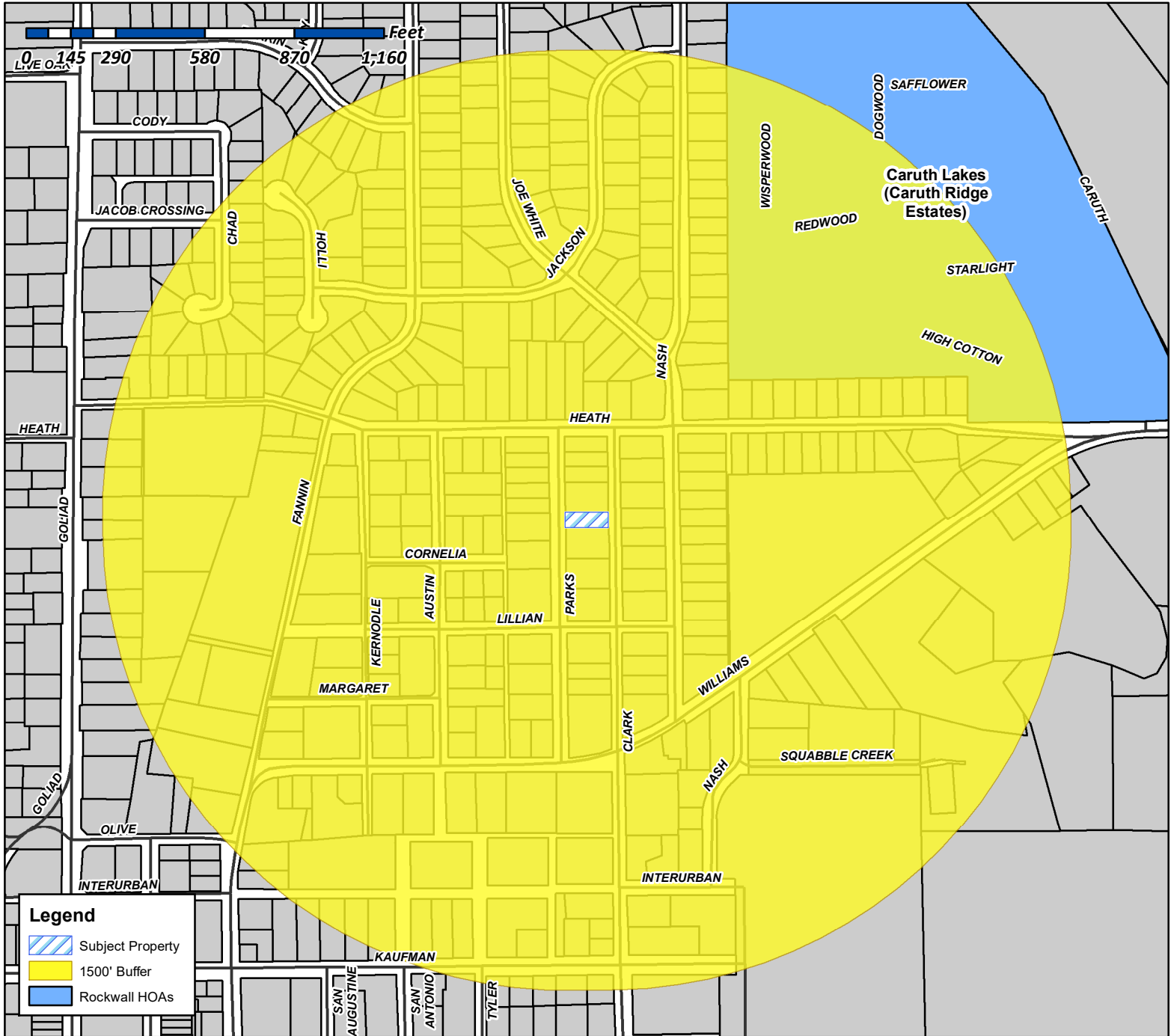




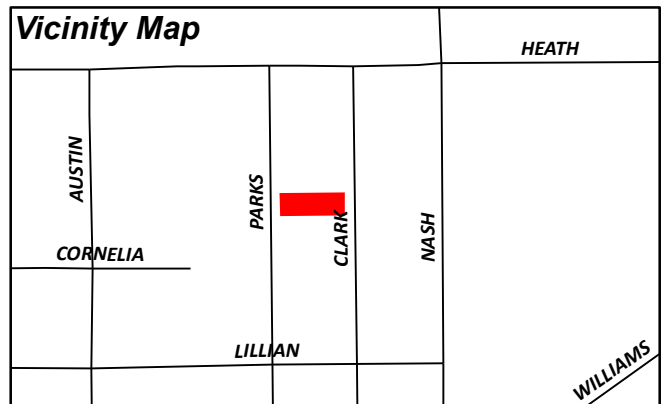
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 610 Parks Ave.



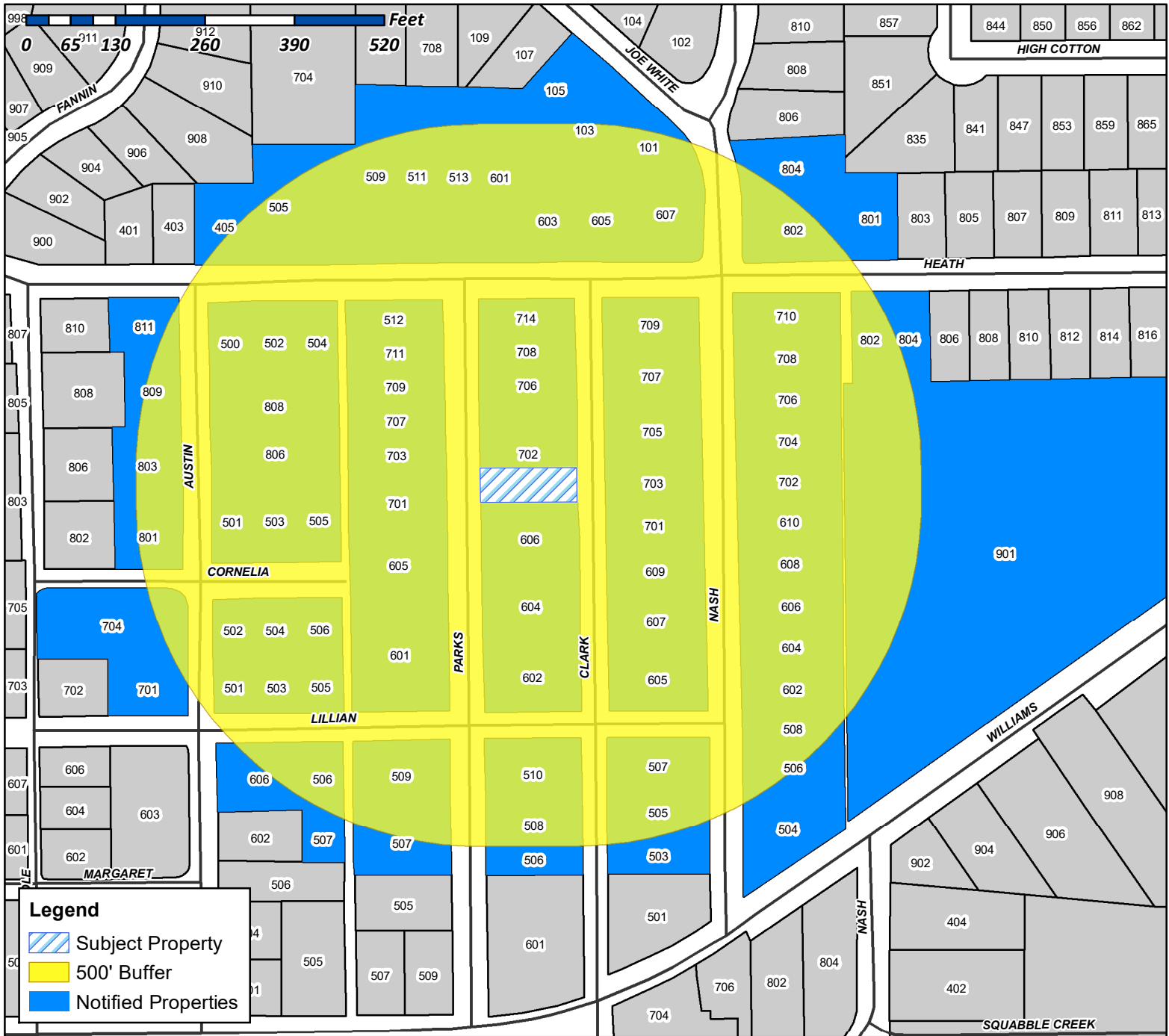
**Date Created:** 2/19/2020  
 For Questions on this Case Call (972) 771-7745






# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

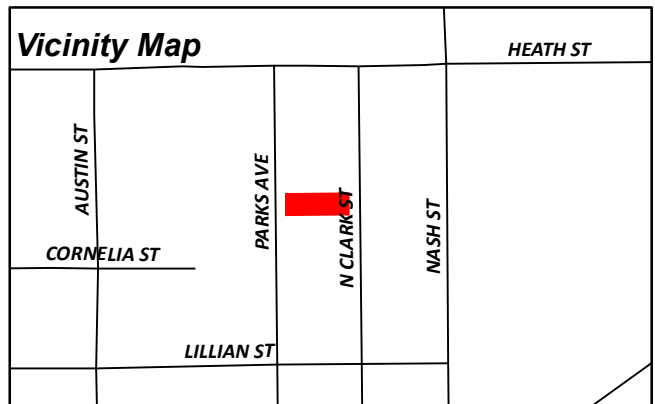
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### Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 610 Parks Ave.



**Date Created:** 2/19/2020

**For Questions on this Case Call (972) 771-7745**

ROLAND RANDY C AND ANDREA B  
101 JOE WHITE ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
103JOE WHITE  
ROCKWALL, TX 75087

SILVA MANUEL  
1041 E FM 552  
ROCKWALL, TX 75087

CURRENT RESIDENT  
105JOE WHITE  
ROCKWALL, TX 75087

BREWER SHERI RENEE  
119 SUNRISE VISTA WAY  
PONTE VEDRA, FL 32081

SABRSULA MELISSA  
1571 ANNA CADR RD  
ROCKWALL, TX 75087

KENNEDY HAYLEY  
201 CHAMPION DR  
WYLIE, TX 75095

RIPSTOP PROPERTIES LLC  
205 S CLARK STREET  
ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A  
210 GLENN AVE  
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES  
213 SOVEREIGN CT  
ROCKWALL, TX 75032

GRIFFIN PATTY JEAN CORNELIUS  
2140 AIRPORT RD  
ROCKWALL, TX 75087

PARK ALLEN  
2301 LAFAYETTE DR  
HEATH, TX 75032

KAUFMANN EVAN J  
2312 BAHAMA RD  
AUSTIN, TX 78733

GLASS JERRY R  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

ZYLKA JOE AND BONNIE  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

VANHORN PENNI AND  
JOE ZYLKA AND BONNIE ZYLKA  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

CURRENT RESIDENT  
405EHEATH  
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D  
500 E HEATH ST  
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M  
501 CORNELIA ST  
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN  
501 LILLIAN ST  
ROCKWALL, TX 75087

BARNETT GEORGE S  
502 CORNELIA ST  
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA  
502 E HEATH ST  
ROCKWALL, TX 75087

SHERMAN PATRICIA AND MARK  
503 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
503CORNELIA  
ROCKWALL, TX 75087

TANTON MELVIN V JR  
504 E HEATH ST  
ROCKWALL, TX 75087

CURRIE DUNCAN & JOETTA  
504 NASH STREET  
ROCKWALL, TX 75087

CURRENT RESIDENT  
504CORNELIA  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
505 CARRIAGE TRAIL  
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN  
505 CORNELIA  
ROCKWALL, TX 75087

BARRON GILDARDO  
505 LILLIAN ST  
ROCKWALL, TX 75087

DAVIS JUDY  
505 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
505EHEATH  
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE  
506 LILLIAN ST  
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT  
506 NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
506CORNELIA  
ROCKWALL, TX 75087

CURRENT RESIDENT  
506PARKS  
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE  
507 NASH ST  
ROCKWALL, TX 75087

TOLMAN BROOKS  
507 PARKS AVE  
ROCKWALL, TX 75087

CAWTHON RICK  
508 NASH ST  
ROCKWALL, TX 75087

FREEMAN WILLIAM B JR  
508 PARKS AVE  
ROCKWALL, TX 75087

DOROTIK DAVID W  
509 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
509EHEATH  
ROCKWALL, TX 75087

RICHARDSON PATRICE  
510 COVE RIDGE RD  
HEATH, TX 75032

CURRENT RESIDENT  
510PARKS  
ROCKWALL, TX 75087

COATS LOIS LOUISE  
512 E HEATH ST  
ROCKWALL, TX 75087

DENNIS KIMBERLY  
513 E HEATH ST  
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH  
601 PARKS AVE  
ROCKWALL, TX 75087

STEGALL VENTURES LLC  
601 SUNSET HILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
601EHEATH  
ROCKWALL, TX 75087

SIMMONS APRIL R  
602 NASH STREET  
ROCKWALL, TX 75087

LEAL ROLAND & CAROL  
602 PARKS AVENUE  
ROCKWALL, TX 75087

SUTTON JUDITH A  
603 E HEATH ST  
ROCKWALL, TX 75087

HOWARD DEBORAH K  
604 NASH ST  
ROCKWALL, TX 75087

FUQUA MATTHEW  
604 PARKS AVE  
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA  
605 NASH ST  
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM  
605 PARKS AVE  
ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD  
605 STORRS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
605EHEATH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
605PARKS  
ROCKWALL, TX 75087

DANIEL RODNEY  
606 AUSTIN ST  
ROCKWALL, TX 75087

GALASSI TORI D  
606 NASH ST  
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN  
606 PARKS AVE  
ROCKWALL, TX 75087

SPERLING SANDY  
607 E HEATH ST  
ROCKWALL, TX 75087

BHATIA SACHIT S AND  
LAURA NICOLE JONES  
607 NASH STREET  
ROCKWALL, TX 75087

STARK ROBERT S & TINA J  
607 SAINT MARY ST  
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA  
608 NASH ST  
ROCKWALL, TX 75087

TORRES ROSIE  
609 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
610NASH  
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H  
6634 DAVIS DR  
ROYSE CITY, TX 75189

CASTRO RENE & BETSY  
700 WINDSONG LN  
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE  
701 AUSTIN ST  
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA  
701 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
701NASH  
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER  
702 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
702PARKS  
ROCKWALL, TX 75087

ELLISTON REBECCA S  
703 NASH STREET  
ROCKWALL, TX 75087

HANSON BRANDON R  
703 PARKS AVE  
ROCKWALL, TX 75087

THOMAS TRACY  
704 KERNODLE ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
704NASH  
ROCKWALL, TX 75087

RUSHING BRIAN AND  
CHANEL KENTOPP  
705 NASH ST  
ROCKWALL, TX 75087

ARELLANO JESUS L &  
CYNTHIA A HERRERA  
706 NASH ST  
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN  
706 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707PARKS  
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D  
708 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
708NASH  
ROCKWALL, TX 75087

BARRON ARMANDO  
709 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
709NASH  
ROCKWALL, TX 75087

STARK ROBERT C  
710 AGAPE ST  
ROCKWALL, TX 75087

KING MISTY  
710 NASH STREET  
ROCKWALL, TX 75087

NIXON ALBERT  
711 PARKS AVE  
ROCKWALL, TX 75087

CONAWAY SUE ANN  
7123 OCONNELL ST  
ROCKWALL, TX 75087

PALMER LINDA C  
714 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
801AUSTIN  
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA  
802 E HEATH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
802NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
803AUSTIN  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
804NASH  
ROCKWALL, TX 75087

AUSTIN TRENTON C  
806 AUSTIN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
808AUSTIN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
809AUSTIN  
ROCKWALL, TX 75087

JENNINGS AMANDA L  
811 AUSTIN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
811AUSTIN  
ROCKWALL, TX 75087

MCCLAIN LOUETTA  
8309 TURNBERRY ST  
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C  
880 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
901WILLIAMS  
ROCKWALL, TX 75087

BELANGER CORKY  
921 N ALAMO RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
EHEATH  
ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE  
RICHARD D WIMPEE AND JUDY A HARRIS AND  
JOE E WIMPEE AND JERRY M WIMPEE 704 E  
MAPLE ST  
FAYETTEVILLE, AR 72701

KINDRED ROBERT M  
P.O. BOX 261638  
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

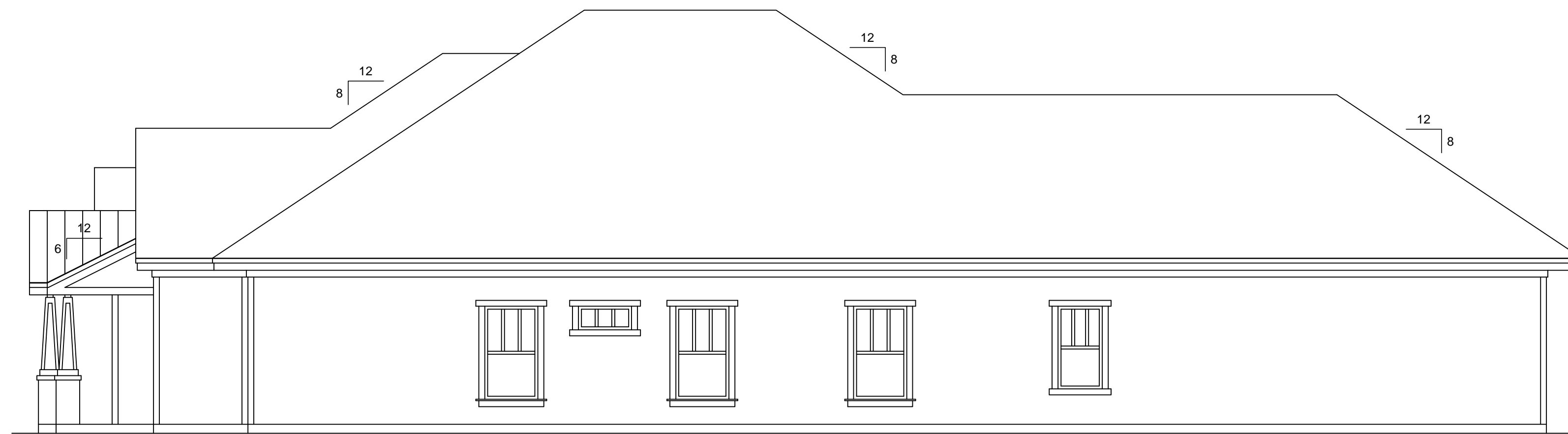
AWAJA PROPERTIES LLC  
PO BOX 811  
ROYSE CITY, TX 75189

CURRENT RESIDENT  
ROCKWALL, TX 75087

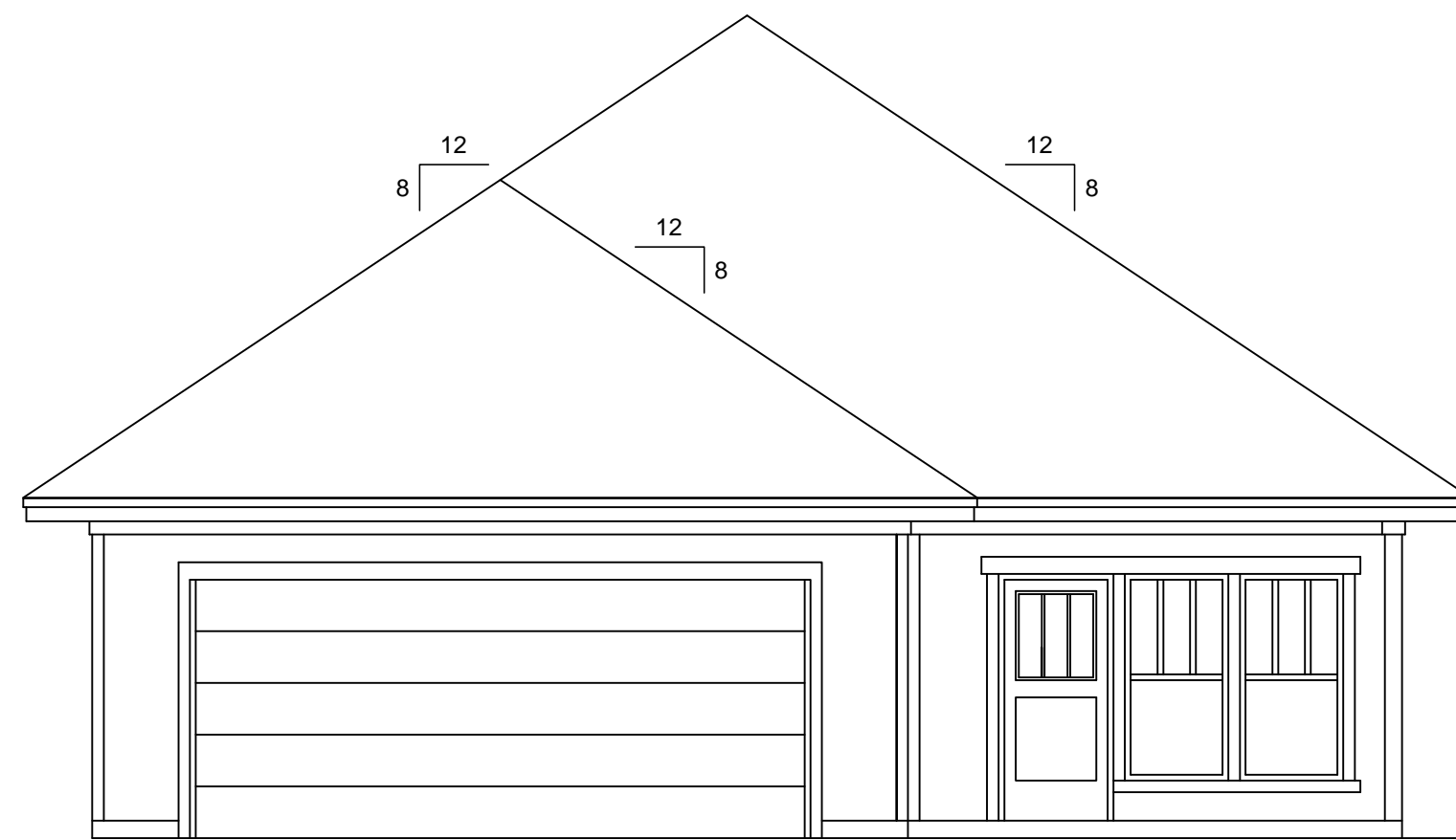
CURRENT RESIDENT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
ROCKWALL, TX 75087





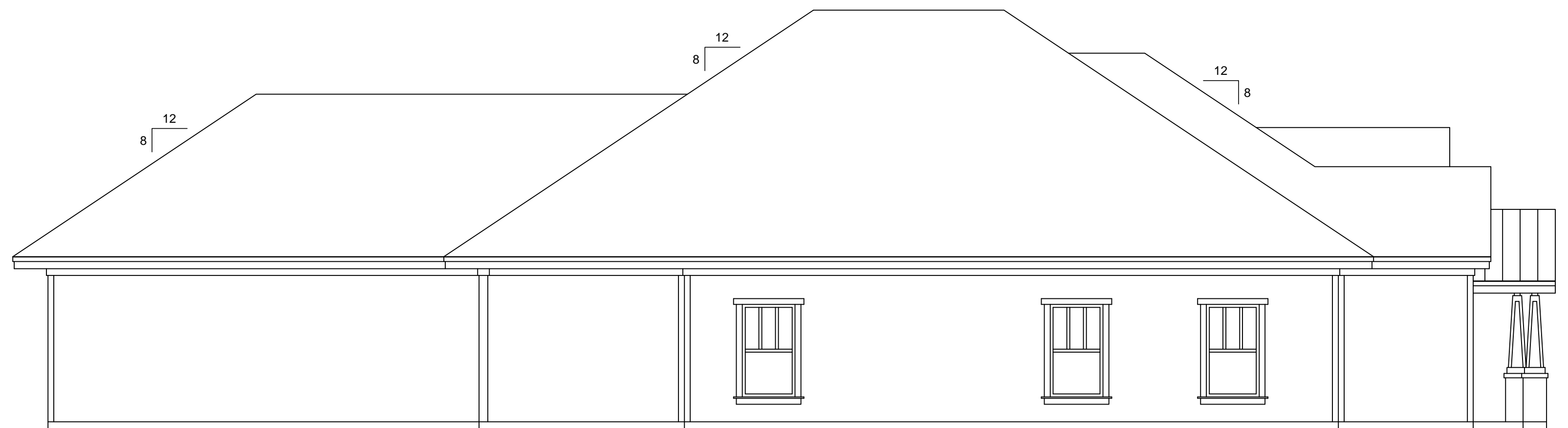
**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
A	HARDIE BOARD SIDING, FASCIA & TRIM, COLOR: GRAY
B	HARDIE BOARD SIDING, COLOR: GRAY
C	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR: ZINC GREY
D	PREFINISHED ALUMINUM FLASHING, COLOR TO MATCH SIDING
E	ENTRY DOORS AS SELECTED
F	WINDOW - INSULATED, COLOR: BLACK
G	COMPOSITION ASPHALT ROOF, TYP., (270lbs)
H	4X6 GUTTER & DOWNSPOUT - PREFINISHED, COLOR: AS SELECTED BY OWNER
J	GABLE END, 8" DECOR. WOOD TRIM COLOR: WHITE
K	6X6 WOOD POST @ PATIO
L	1X WOOD TRIM @ DECOR. COLUMNS

OWNER REVIEW:	10-25-2019
OWNER REVIEW:	11-12-2019
ISSUE:	

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PROPOSED RESIDENCE FOR  
**MURPHY**  
610 Parks Ave.  
Rockwall, Texas 75087

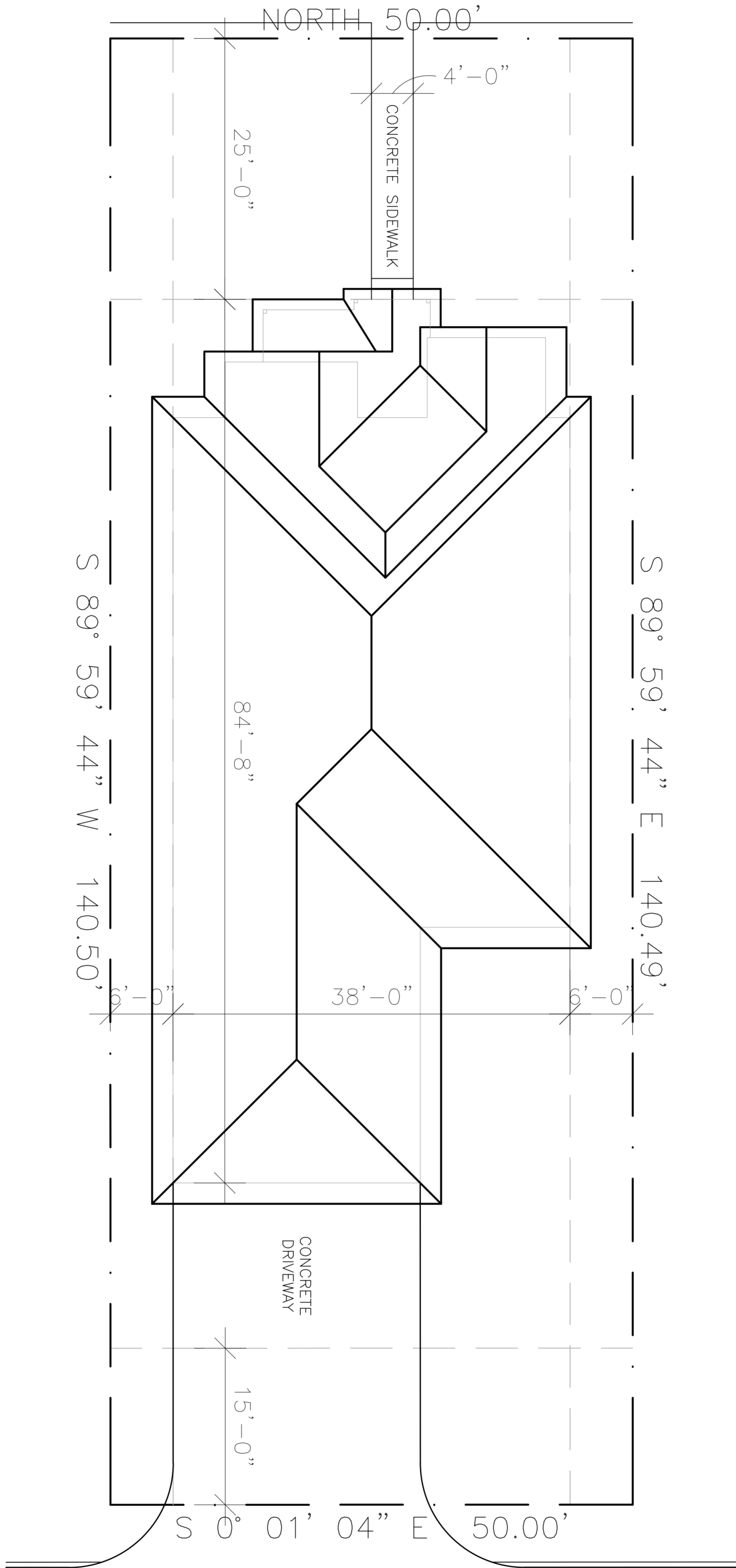
MR. SAM &  
MEGAN MURPHY  
Wild Oak  
Rockwall, TX, 75087

**CARROLL**  
architects  
750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**EXTERIOR  
ELEVATIONS**

DATE: OCT 2019 SHEET NO:  
PROJECT NO: 2019060  
DRAWN BY: A501  
CHECKED BY:

PARKS AVENUE  
50' R.O.W. PER PLAT



CLARK STREET  
40' R.O.W. PER PLAT

0.16 ACRES  
LOT 7  
BLOCK D

ARCHITECTURAL  
SITE PLAN



MR. SAM &  
MEGAN MURPHY

Wild Oak  
Rockwall, TX. 75087

750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

PROPOSED RESIDENCE FOR  
**MURPHY**  
610 Parks Ave.  
Rockwall, Texas 75087



1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

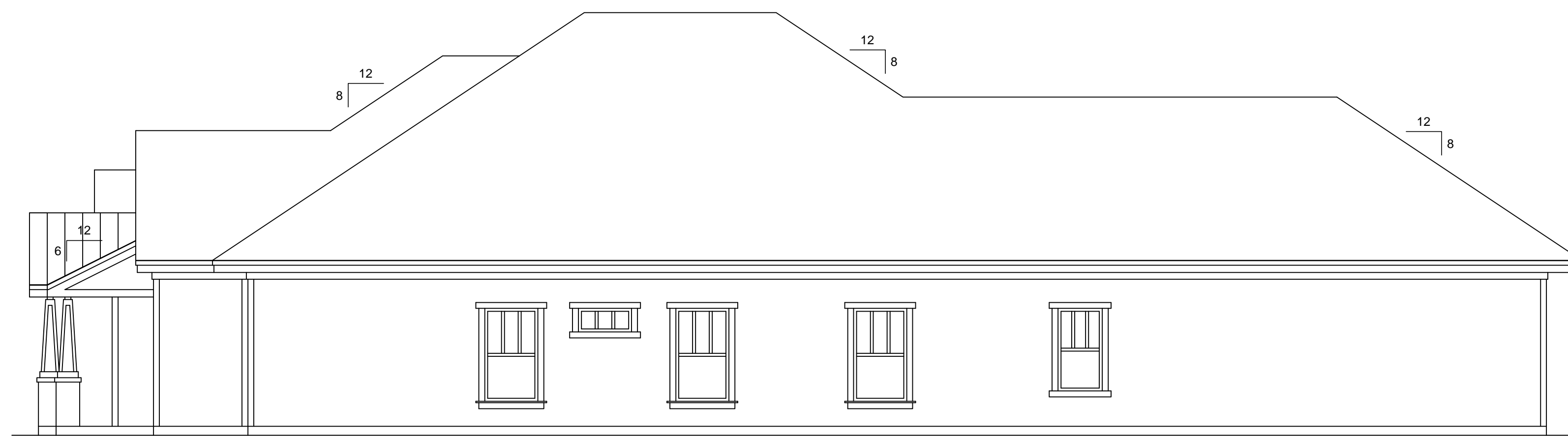
DATE: OCT 2019  
PROJECT NO: 2019060  
DRAWN BY: A100  
CHECKED BY:





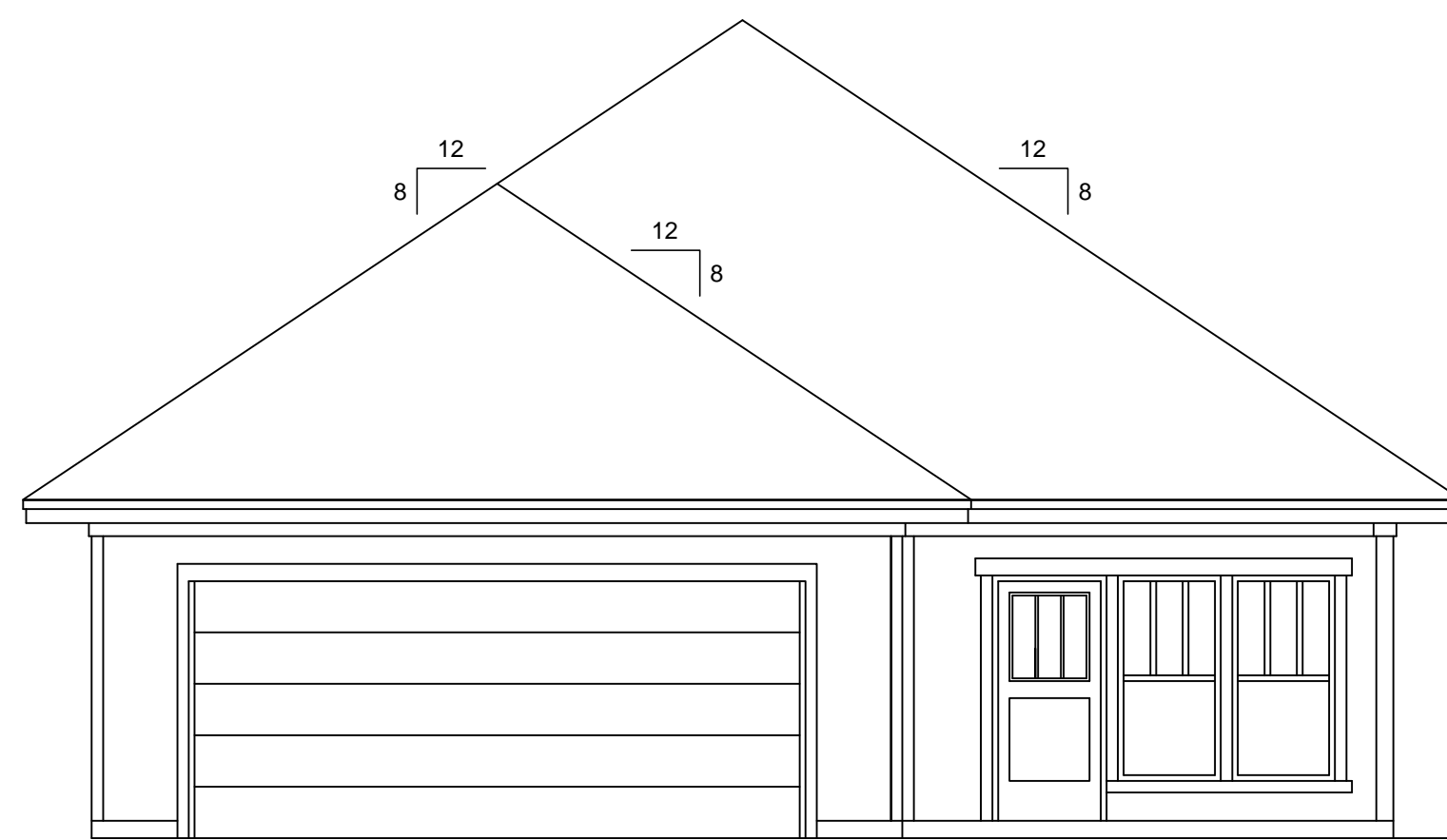






- 123'-4 1/2" T.O. ROOF
- 118'-7" T.O. ROOF
- 110'-1" T.O. PLATE
- 106'-8" T.O. WINDOW
- 100'-0" FINISH FLOOR

4 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

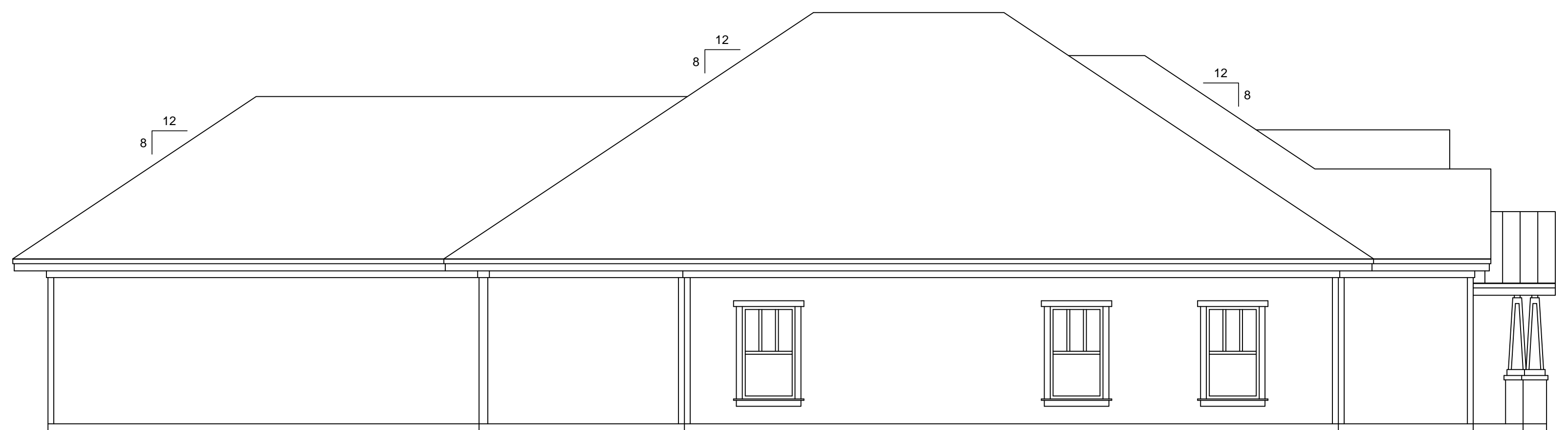


3 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION  
SCALE: 3/16" = 1'-0"

- 123'-4 1/2" T.O. ROOF
- 110'-1" T.O. PLATE
- 107'-0" T.O. DOOR
- 102'-6" T.O. COLUMN BASE
- 100'-0" FINISH FLOOR



- 123'-4 1/2" T.O. ROOF
- 120'-11" T.O. ROOF
- 116'-8 1/2" T.O. ROOF
- 114'-6" T.O. ROOF
- 110'-1" T.O. PLATE
- 108'-1" T.O. PLATE - PATIO
- 106'-8" T.O. WINDOW
- 102'-6" T.O. COLUMN BASE
- 100'-0" FINISH FLOOR

1 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
A	HARDIE BOARD SIDING, FASCIA & TRIM, COLOR: GRAY
B	HARDIE BOARD SIDING, COLOR: GRAY
C	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR: ZINC GREY
D	PREFINISHED ALUMINUM FLASHING, COLOR TO MATCH SIDING
E	ENTRY DOORS AS SELECTED
F	WINDOW - INSULATED, COLOR: BLACK
G	COMPOSITION ASPHALT ROOF, TYP., (270lbs)
H	4X6 GUTTER & DOWNSPOUT - PREFINISHED, COLOR: AS SELECTED BY OWNER
J	GABLE END, 8" DECOR. WOOD TRIM COLOR: WHITE
K	6X6 WOOD POST @ PATIO
L	1X WOOD TRIM @ DECOR. COLUMNS

OWNER REVIEW:	10-25-2019
ISSUE:	11-12-2019

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PROPOSED RESIDENCE FOR  
**MURPHY**  
610 Parks Ave.  
Rockwall, Texas 75087

MR. SAM &  
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750 E. Interstate 30  
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EXTERIOR  
ELEVATIONS

DATE: OCT 2019  
PROJECT NO: 2019060  
DRAWN BY:  
CHECKED BY:

SHEET NO:  
**A501**



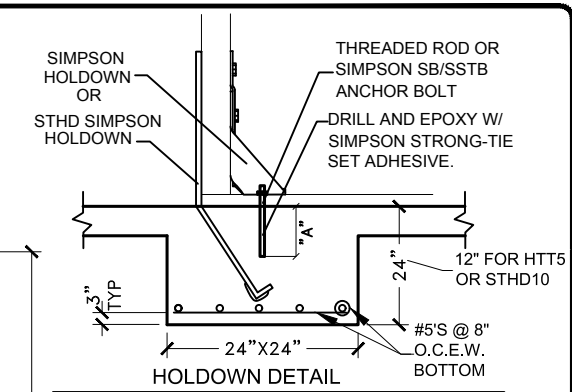


**ERIC L. DAVIS ENGINEERING, INC.**  
 F-3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eidengineering.com

**FOUNDATION PLAN**  
 ENGINEERED FOR:  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY	ELD JOB NO: DIF19-1546
BUILDER: TRITON GENERAL CONTRACTOR	DRAWN BY: RWK
ADDITION: 702 PARKS AVENUE - PR - ROCKWALL, TX	CHECKED BY: ELD
ADDRESS: 610 PARKS AVENUE	AREA: 2,726 SQFT
LOT: 7	BLOCK: D
CITY: ROCKWALL, TX	

SCALE: 1/8" = 1'-0"

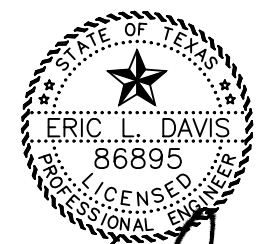


EACH INTERIOR HOLDOWN REQUIRES A 24"X24" FOOTING

HOLDOWN LOCATION IS APPROXIMATE. EACH INTERIOR HOLDOWN SHALL HAVE A SPREADFOOTING. VERIFY LOCATION SIZE WITH ARCHITECTURALS & SHEARWALL PLAN

SYMBOL	TYPE	NOMINAL DIA. THREADED ROD	"A"
	SIMPSON HTT5 OR SIMPSON STHD10	5/8" N/A	6"
	SIMPSON STHD14	N/A	N/A
	SIMPSON HDQ8	7/8"	18"
	SIMPSON HHQ11	1"	18"
	SIMPSON HHQ14	1"	18"

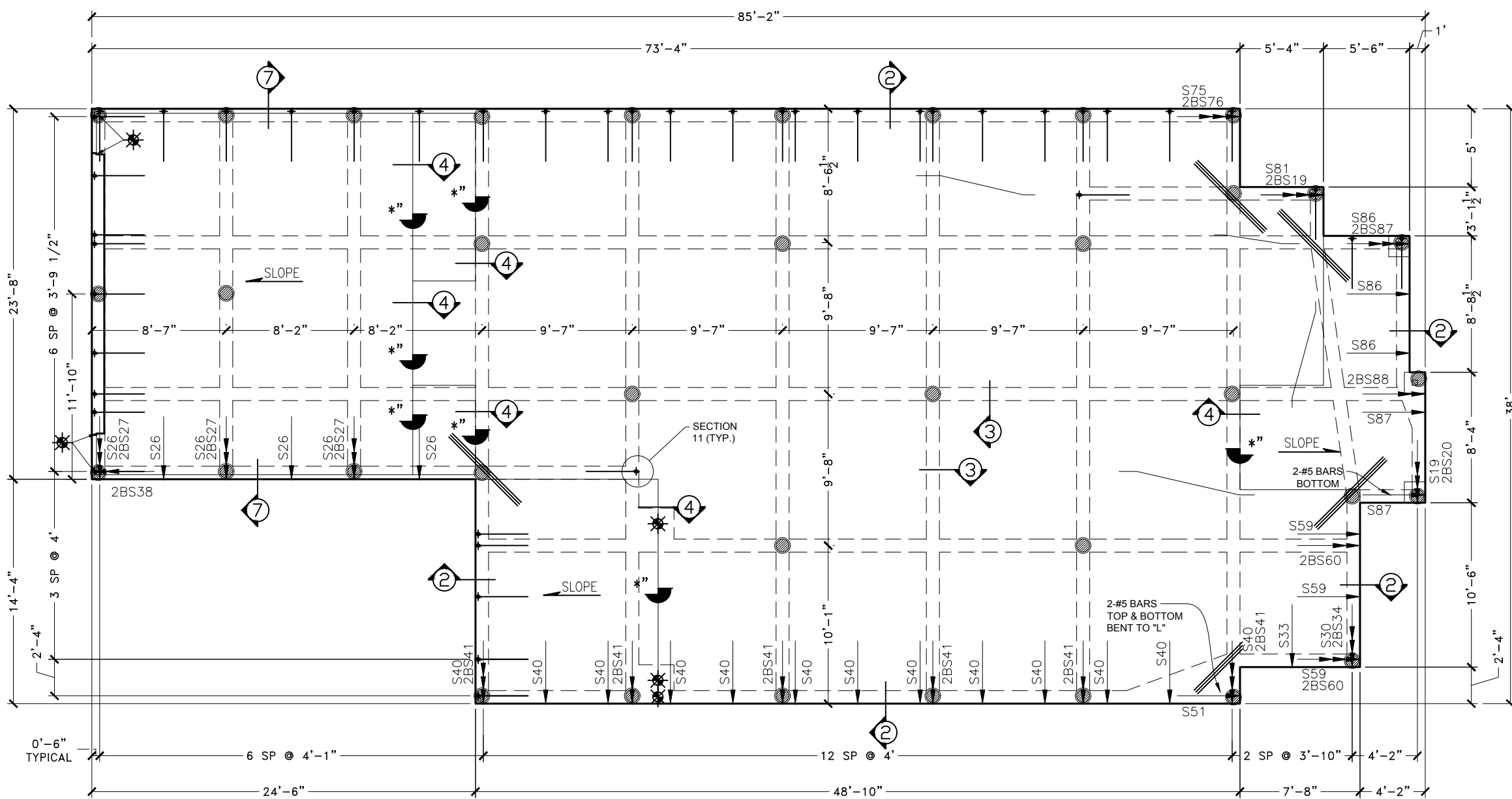
- IF USING STHD10 OR STHD14 HOLDOWNS, CONTRACTOR SHALL PLACE HOLDOWNS AT CONCRETE POUR STAGE.
- SSW ANCHORING SHALL BE PLACED AT CONCRETE POUT STAGE.
- SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/10/2020

- NOTE:
- SLAB THICKNESS T = 4"
  - BEAM DEPTH H = 32"
  - BEAM WIDTH W = 10"
  - SXX DENOTES SLAB STRAND
  - BSXX DENOTES BEAM STRAND

- PLAN LEGEND
- DENOTES ONE STRAND TO BE STRESSED.
  - DENOTES TWO STRANDS TO BE STRESSED.
  - DENOTES THREE STRANDS TO BE STRESSED.
  - DENOTES FACTORY SEATED END.
  - DENOTES CONCRETE CHAIR.
  - DENOTES DIMENSION TO BE VERIFIED.
  - DENOTES DIFFERENCE IN FINISH FLOOR ELEVATIONS.
  - DENOTES 3-#4 BARS X 6'-8" TYPICAL INTERIOR CORNER 2'-0".
  - "L" BARS SHALL BE 4'-0" X (LENGTH = TO CORNER DEPTH) WHERE NOTED ON PLAN.

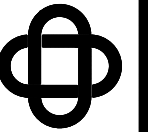


NOTE: SITE PREPARATION SHOULD CONSIST OF REMOVING ALL EXISTING FOUNDATIONS, PAVED AREAS AND UNDESIRABLE MATERIALS. THE EXPOSED SUBGRADE SHOULD BE PROOF-ROLLED TO DETECT WEAK AREAS WHICH SHOULD BE EXCAVATED, PROCESSED AND RECOMPACTED WITH SELECT FILL IN ACCORDANCE WITH THE PROVISIONS IN HOOPER GEOTECHNICAL REPORT NO. 19.386 DATED 12/3/2019.

CONTRACTOR SHALL WATER PAD 72 HOURS CONTINUOUS PRIOR TO CONSTRUCTION OF FOUNDATION

DRILLED PIERS

- ALL DRILLED PIERS SHALL BE 12" IN DIAMETER WITH 2-#5 BARS VERTICAL.
- PIERS SHALL BE PLACED TO A MINIMUM DEPTH OF 7 FEET INTO FIRM GRAY MARL FOUND AT AN APPROXIMATE DEPTH OF 12 FEET BELOW NATURAL GRADE.
- PIERS SHALL NOT BE STRUCTURALLY TIED TO FOUNDATION UNLESS NOTED OTHERWISE.
- TEMPORARY CASING MAY BE REQUIRED.



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FOUNDATION DETAILS  
ENGINEERED FOR:  
TRITON GENERAL  
CONTRACTOR

PLAN: MURPHY  
ELD JOB NO: DIF19-1546  
DRAWN BY: RWK  
CHECKED BY: ELD  
AREA: 2,726 SQFT

BUILDER: TRITON GENERAL CONTRACTOR - PR -  
702 PARKS AVENUE - ROCKWALL, TX  
ADDRESS: 610 PARKS AVENUE  
LOT: 7 BLOCK: D  
CITY: ROCKWALL, TX

SCALE: N.T.S.

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH. STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE. ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L" BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GREATER.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS," I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

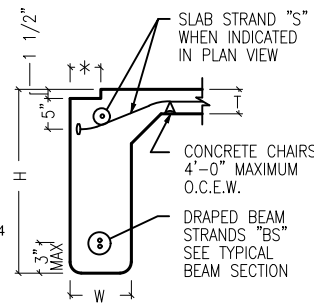
- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUND IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

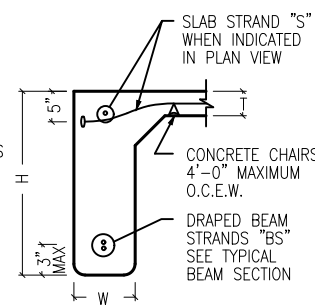
- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.
- LIMITATIONS
- A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.
  - THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST-TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.
  - FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
  - BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER, WITH OWNER'S RECEIPT ACKNOWLEDGED.

BEAM CABLE NOTE

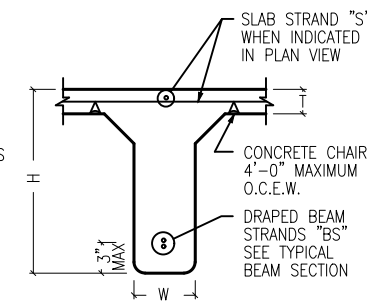
- BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
- SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



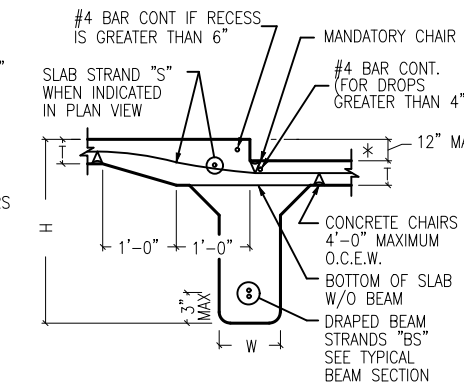
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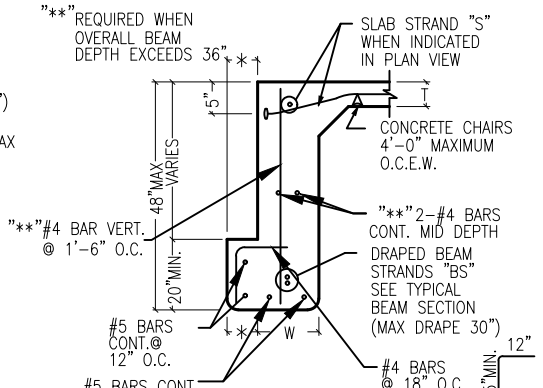
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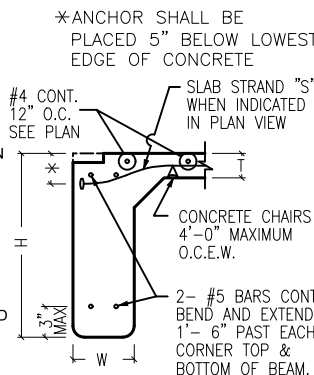
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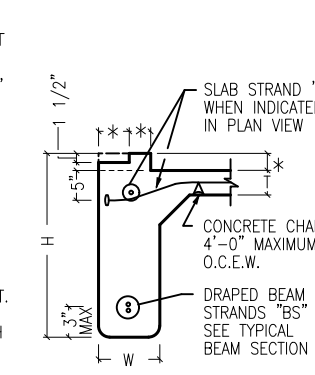
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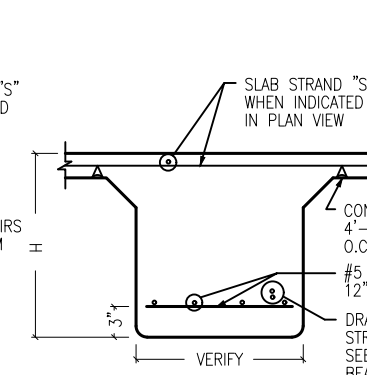
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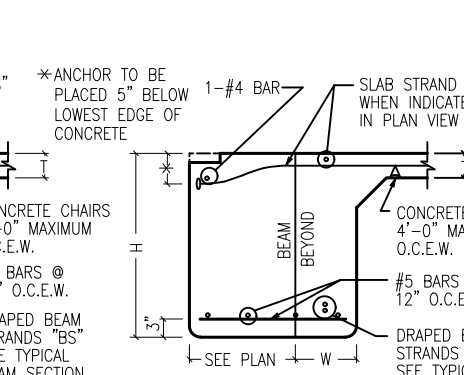
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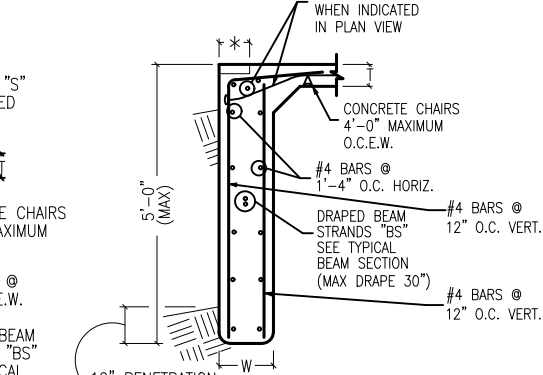
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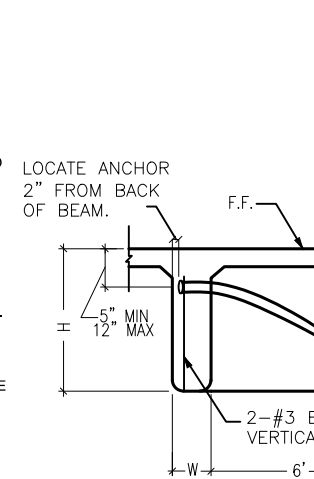
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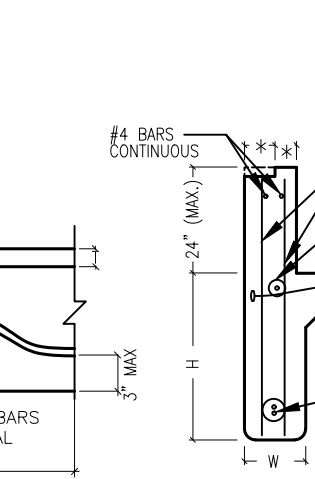
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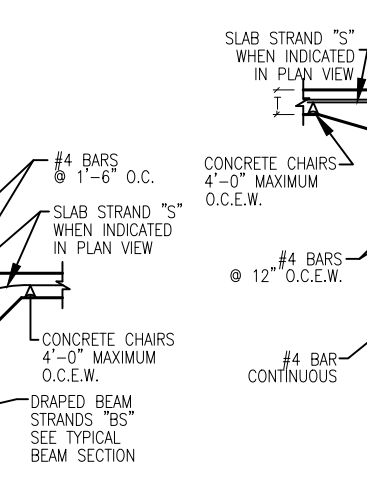
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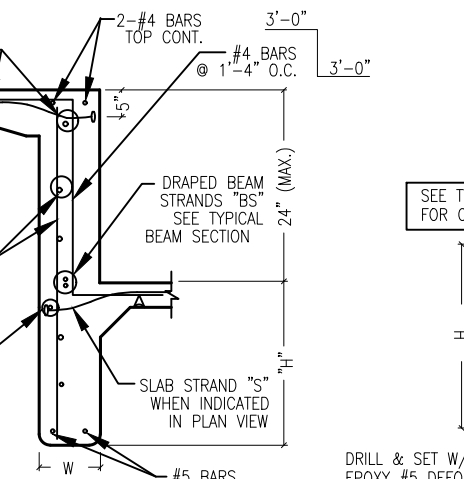
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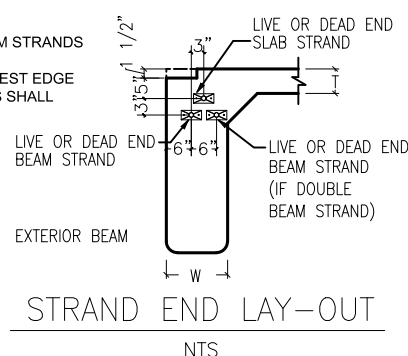
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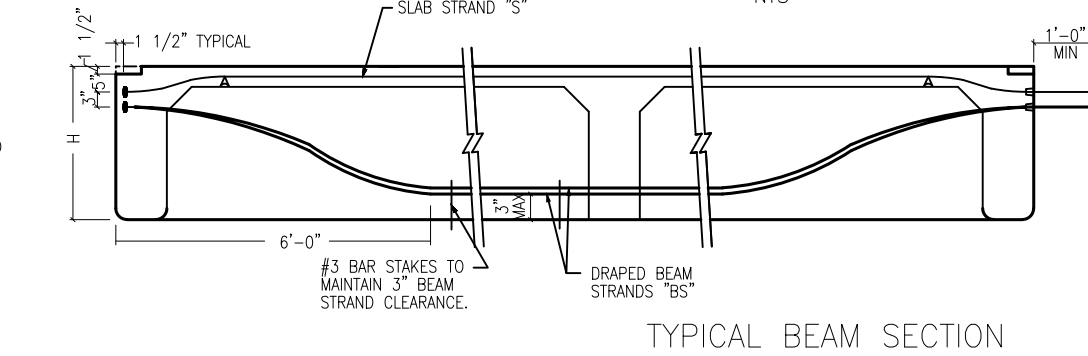
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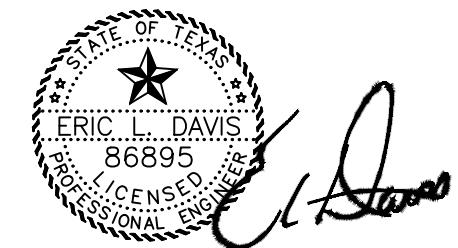
SECTION 14  
NTS



STRAND END LAY-OUT  
NTS



TYPICAL BEAM SECTION  
NTS

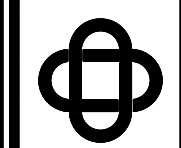


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/10/2020

GENERAL NOTES & TYPICAL SECTIONS FOR POST-TENSIONED CABLE FOUNDATIONS

THIS POST-TENSION CABLE FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THIS SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATIONS IS PROHIBITED.

POST-TENSION CABLES ARE TO BE SUPPLIED BY A PTI CERTIFIED PLANT.



**ERIC L. DAVIS ENGINEERING, INC.**  
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 Forney, Texas 75126  
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 E-Mail ericdavis@eldengineering.com

ENGINEERED FOR:  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY  
 ELD JOB NO: DIF19-1546  
 DRAWN BY: RC  
 CHECKED BY: ELD  
 BUILDING CONTRACTOR: TRITON GENERAL CONTRACTOR  
 ADDITION: 702 PARKS AVENUE - PR - ROCKWALL, TX  
 ADDRESS: 610 PARKS AVENUE  
 LOT: 7 BLOCK: D  
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

SW-01

**SYMBOL KEY**

	SIMPSON STHD10 or HTT5 HOLDOWN
	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING

**FASTENING FOR THERMO PLY**

MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/4" LEGS	3 - PANEL EDGES 3 - INTERMEDIATES SUPPORTS

**NOTE:**  
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 10'-0" TO 15'-0", PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.  
 2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH 2015 I.R.C.

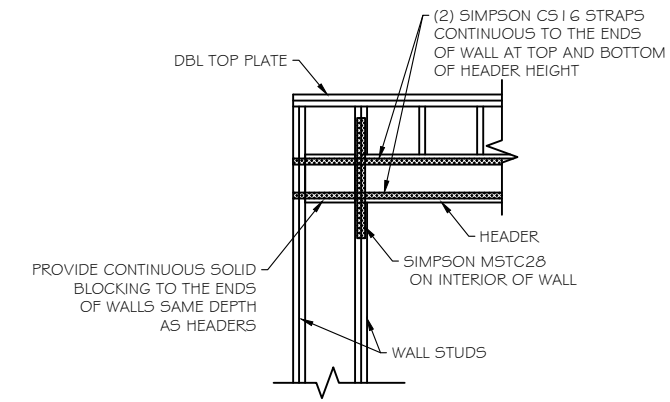
**DESIGN BASED ON 115 MPH ULTIMATE DESIGN WIND SPEED, EXPOSURE B.**  
 IF CONDITIONS VARY, CONTACT THIS OFFICE.

**STUD HEIGHT SCHEDULE**

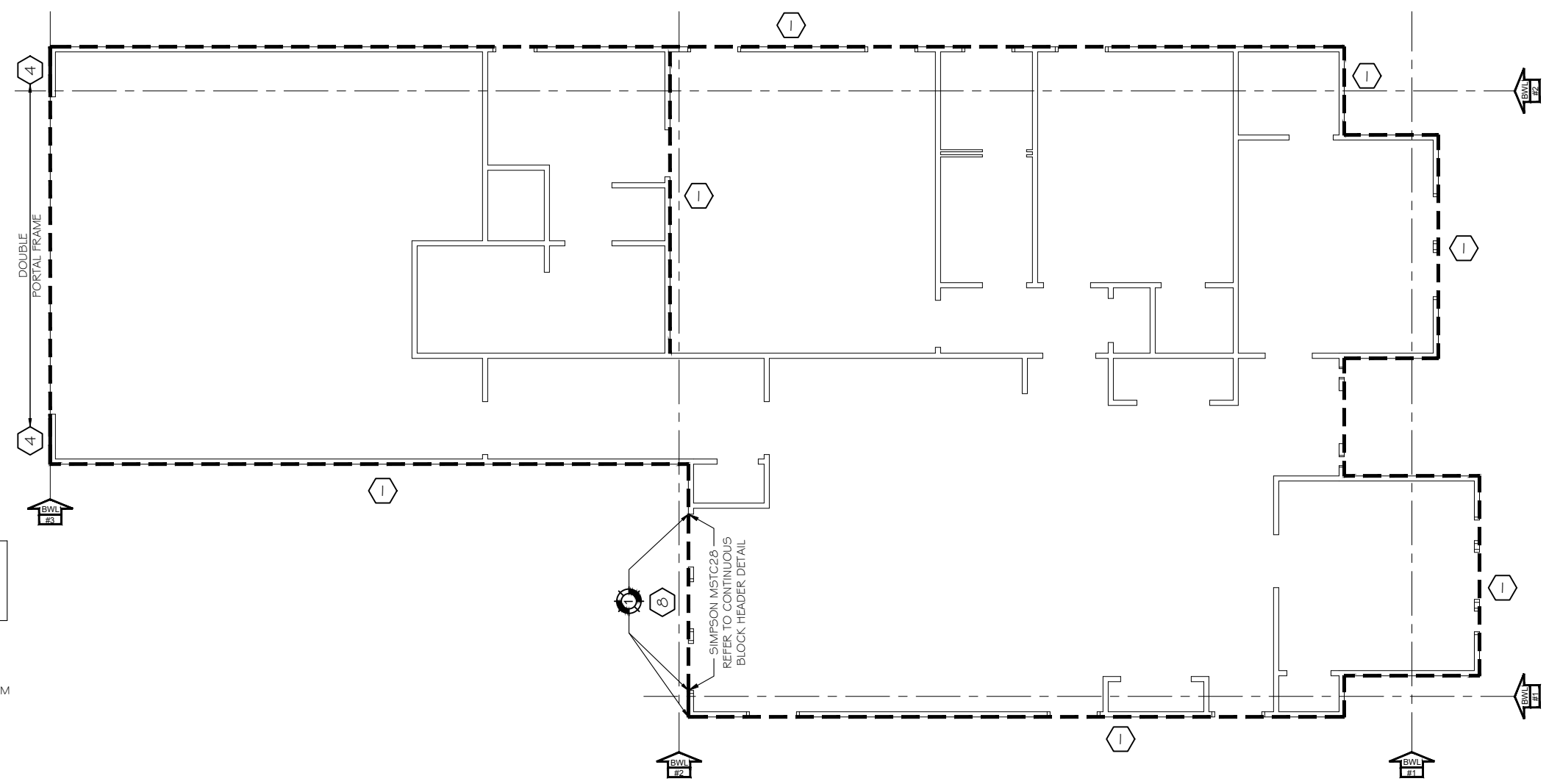
STUD SIZE	WALL HEIGHT										STUDS ON CENTER		
	8'	9'	10'	11'	12'	13'	14'	15'	16'	18'		19'	20'
2x4	16"	16"	16"	NOTE C	NOTE C								
2x6				16"	16"	16"	16"	16"	12"	12"	(2) 16"	(2) 16"	
2x8									16"	16"	16"	16"	

A) 115 M.P.H. EXP. B  
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.  
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)

**8** FULLY SHEATH WALL W/ 7/16" OSB (MIN.) ATTACH TO 2x4 STUDS @ 16" O.C. W/ 8d NAILS @ 3"/12" PATTERN.



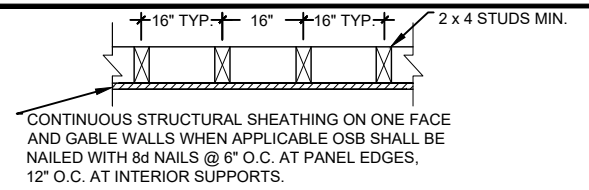
**CONTINUOUS BLOCK HEADER DETAIL**  
 SCALE: NTS



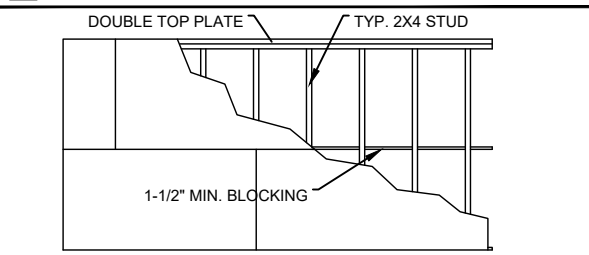
**FIRST FLOOR PLAN**

*Eric L. Davis*  
  
 ERIC L. DAVIS  
 86895  
 LICENSED PROFESSIONAL ENGINEER

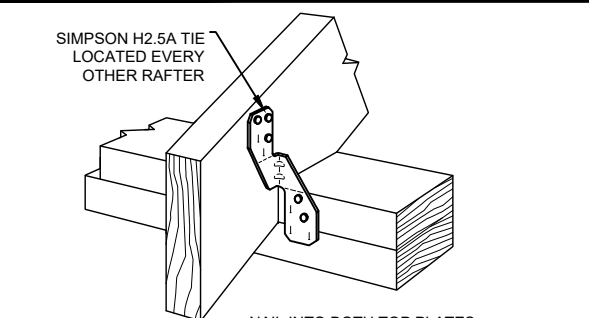
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020



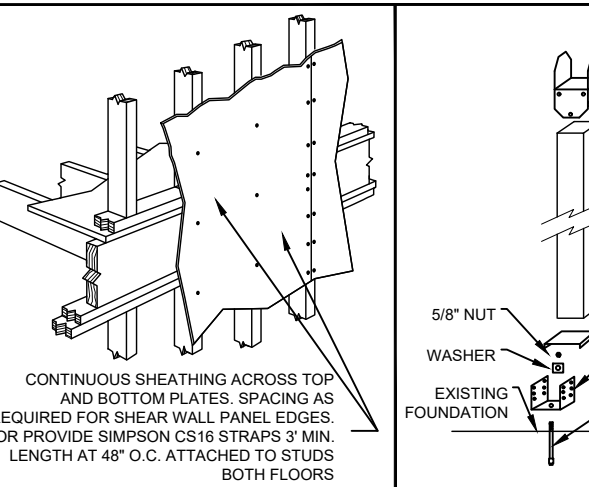
**1 SECTION DETAIL**  
N.T.S.



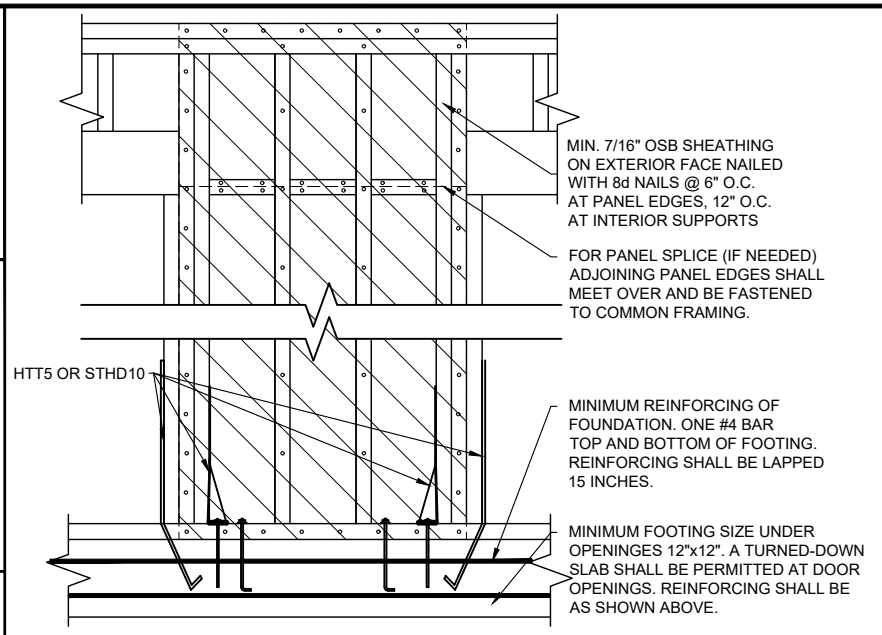
**PANEL BLOCKING DETAIL**  
SCALE: NTS



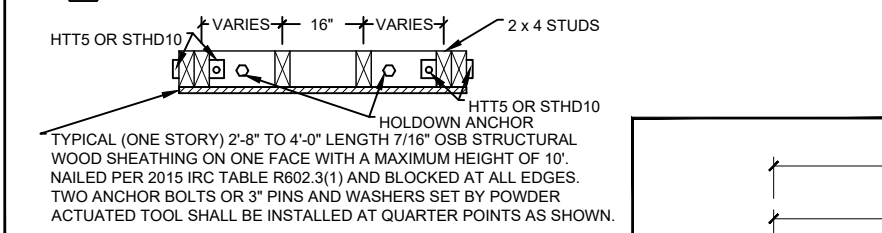
**RAFTER TO TOP PLATE DETAIL**  
SCALE: NTS



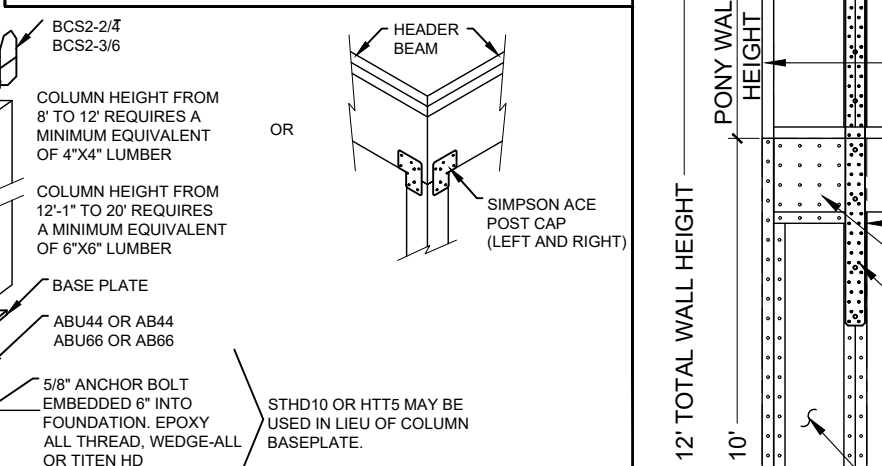
**PANEL CONNECTION DETAIL AT FIRST & SECOND FLOORS**  
SCALE: NTS



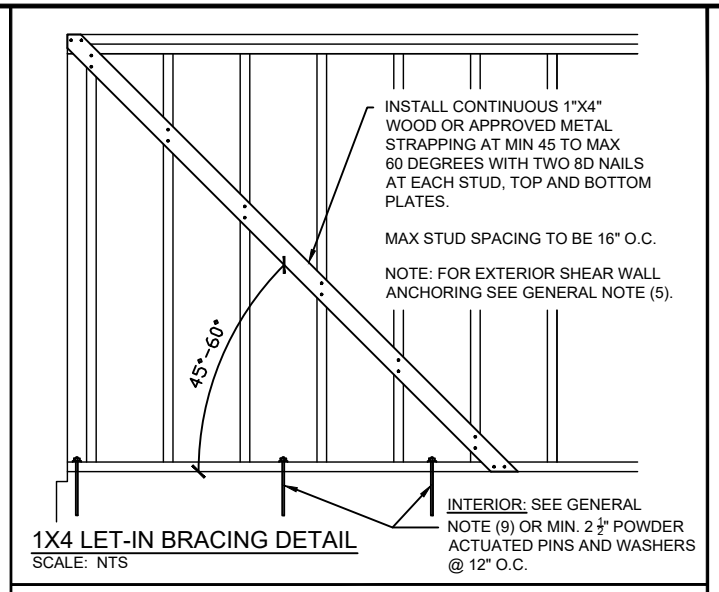
**2 SECTION DETAIL (EXTERIOR ELEVATION)**  
N.T.S.



**2 SECTION DETAIL (PLAN VIEW)**  
N.T.S.



**STANDARD COLUMN DETAIL**  
SCALE: NTS



**1X4 LET-IN BRACING DETAIL**  
SCALE: NTS

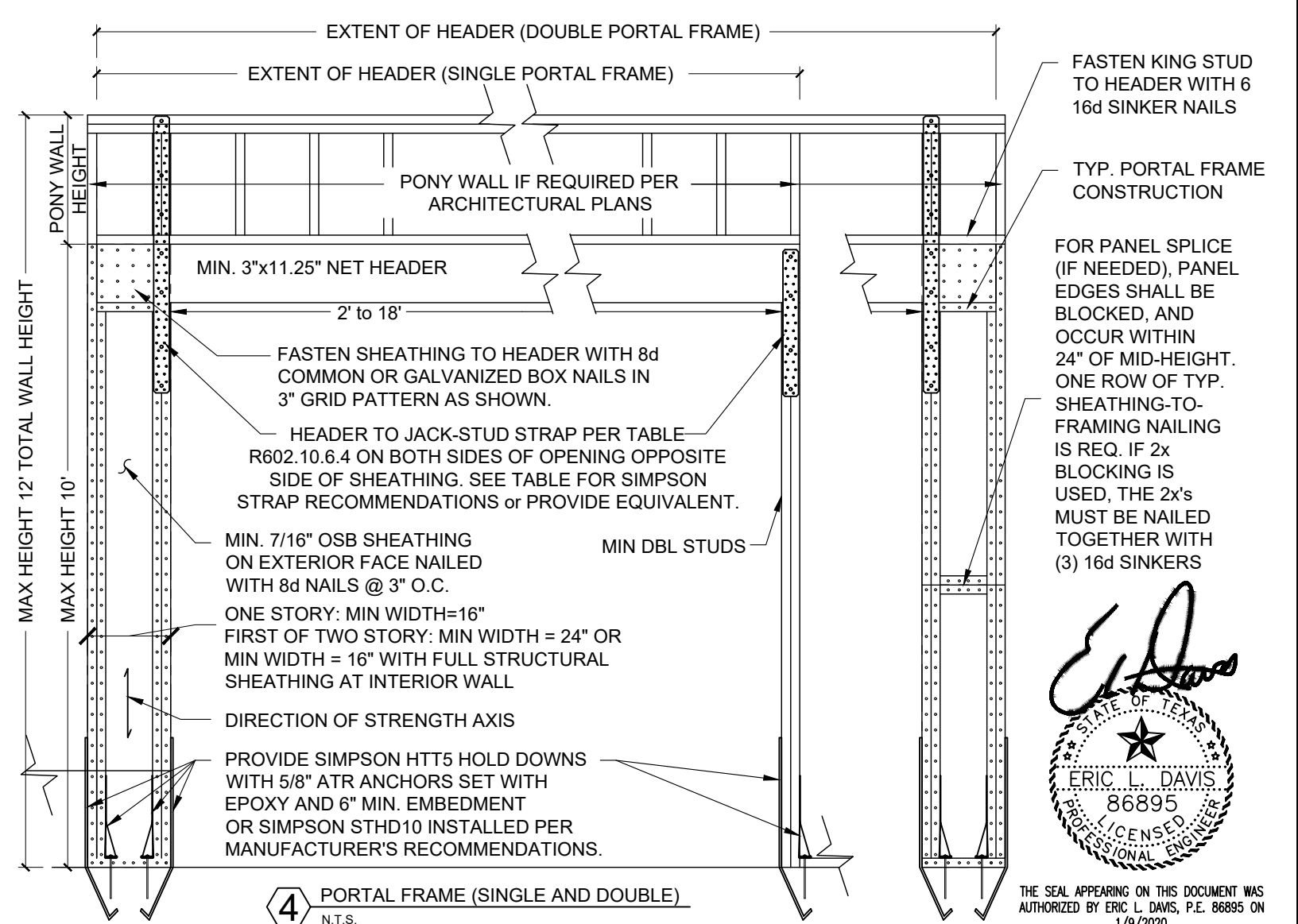
**STRUCTURAL SHEATHING**  
IS CONSIDERED ONE OF THE FOLLOWING:

- MIN 7/16" OSB
- RED THERMOPLY
- BLUE THERMOPLY

- GENERAL NOTES**
1. REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
  2. ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
  3. SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSILL THROUGH THE DOUBLE TOP PLATE.
  4. BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
  5. MUDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSILL ANCHORS @ 6'-0" O.C.
  6. WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
  7. ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
  8. LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
  9. ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
    - 9.1. INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
    - 9.2. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



**4 PORTAL FRAME (SINGLE AND DOUBLE)**  
N.T.S.

TABLE R602.10.6.4

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (FEET)	MAXIMUM TOTAL WALL HEIGHT (FEET)	MAXIMUM OPENING WIDTH (FEET)	TENSION STRAP CAPACITY REQUIRED (POUNDS) <sup>a</sup> V = 115 mph EXPOSURE B	RECOMMENDED OR APPROVED EQUAL SIMPSON STRAP MODEL No. <sup>b</sup>	
2x4 No. 2 Grade	0	10	18	1000	(1) CS16	
			9	1000		
			16	1025		
			18	1275		
			9	1000		
			16	2175		
	2	10	10	9	2500	(2) CS16
				18	1500	
				16	3375	
				18	3975	
				9	2750	
				12	3775	
2x6 Stud Grade	2	12	9	1000	(1) CS16	
			16	2150		
			18	2550		
			9	1750		
			16	2400		
			18	3800		
	4	12	12	9	1000	(2) CS16
				16	2150	
				18	2550	
				9	1750	
				16	2400	
				18	3800	

For St: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.  
 a. STRAPS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 b. STRAP MODEL MAY BE SUBSTITUTED w/ APPROVED EQUAL.

**ERIC L. DAVIS ENGINEERING, INC.**  
 F--3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eldengineering.com

SHEAR WALL NOTES  
 ENGINEERED FOR  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY  
 ELD JOB NO: DIF19-1546  
 DRAWN BY: RC  
 CHECKED BY: ELD  
 BLOCK: D  
 LOT: 7  
 CITY: ROCKWALL, TX

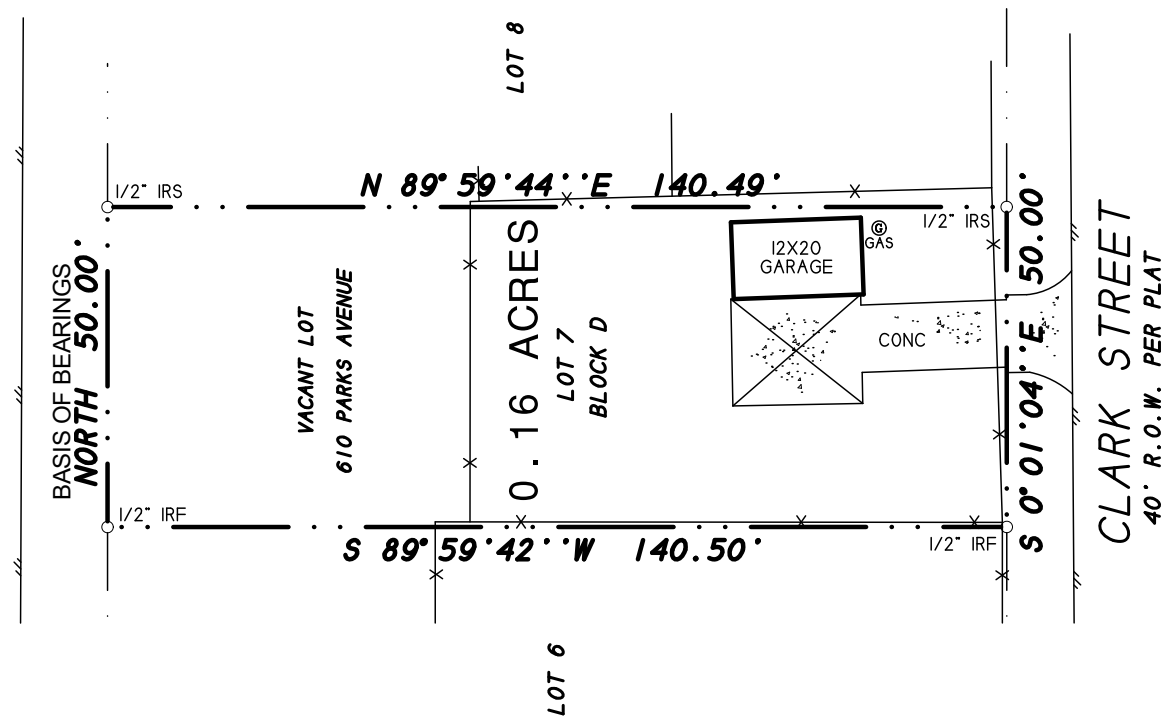


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020

PLAT OF SURVEY



PARKS AVENUE  
50' R.O.W. PER PLAT



DESCRIPTION

BEING Lot 7, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
⊙	TV TELEVISION CABLE RISER
⊕	GAS METER
⊞	TEL PHONE RISER
⊖	FH FIRE HYDRANT
⊚	PP POWER POLE
⊠	ELEC ELECTRIC METER
⊞	ELEC BOX SUBSURFACE JUNCTION BOX
⊕	WM WATER METER
⊚	LP LIGHT POLE
⊙	1/2" IRF IRON ROD FOUND (CORNER)
⊞	A/C AIR COND. UNIT
⊞	PROPANE TANK
—	EASEMENT LINE
—	PROPERTY LINES
—	FENCE

SURVEY DATE OCTOBER 1, 2018  
 SCALE 1" = 30' FILE # 20180297-7  
 CLIENT WARDELL GF # 1884847-10GH

**H.D. Fetty Land Surveyor, LLC**

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:

DATE \_\_\_\_\_

DATE \_\_\_\_\_



**February 13, 2020**

**City of Rockwall  
Planning & Zoning Department  
385 S. Goliad St.  
Rockwall, TX 75087**

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **610 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to be "Reese Baez", written over a horizontal line.

**Reese Baez  
Triton General Contractor  
469-931-2267**

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.**



\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

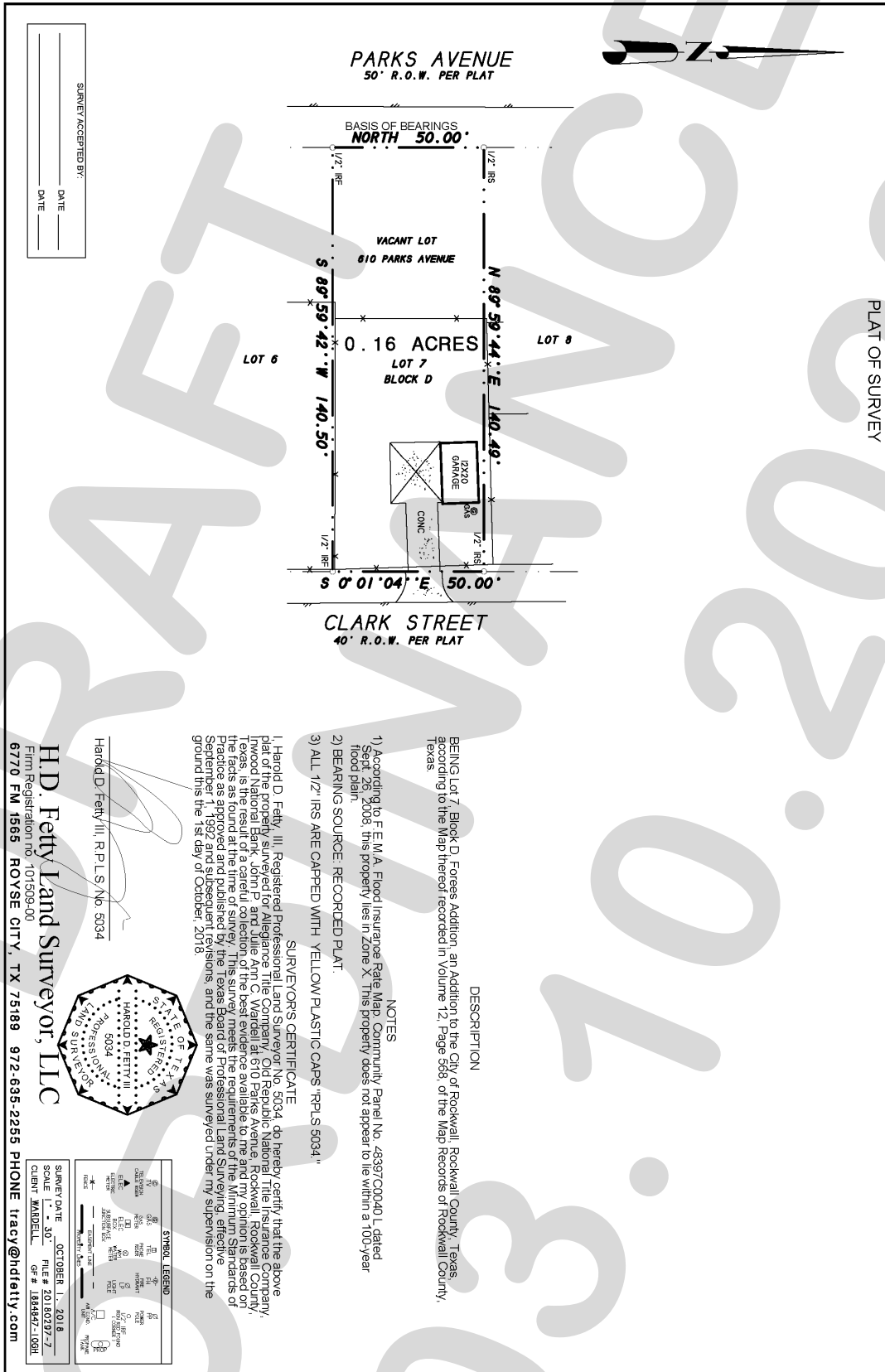
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

Exhibit 'A':  
Survey



PLAT OF SURVEY

DESCRIPTION  
BEING Lot 7, Block D, Forest Addition an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 566, of the Map Records of Rockwall County, Texas.

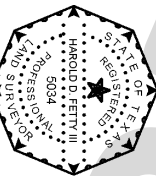
NOTES

- 1) According to E.M.A Flood Insurance Rate Map Community Panel No. 48397C00040 L dated flood plain 1003, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful observation of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Professional Land Surveying as set forth in the Rules and Regulations of the State Board of Land Surveyors, effective September 1, 1982 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034

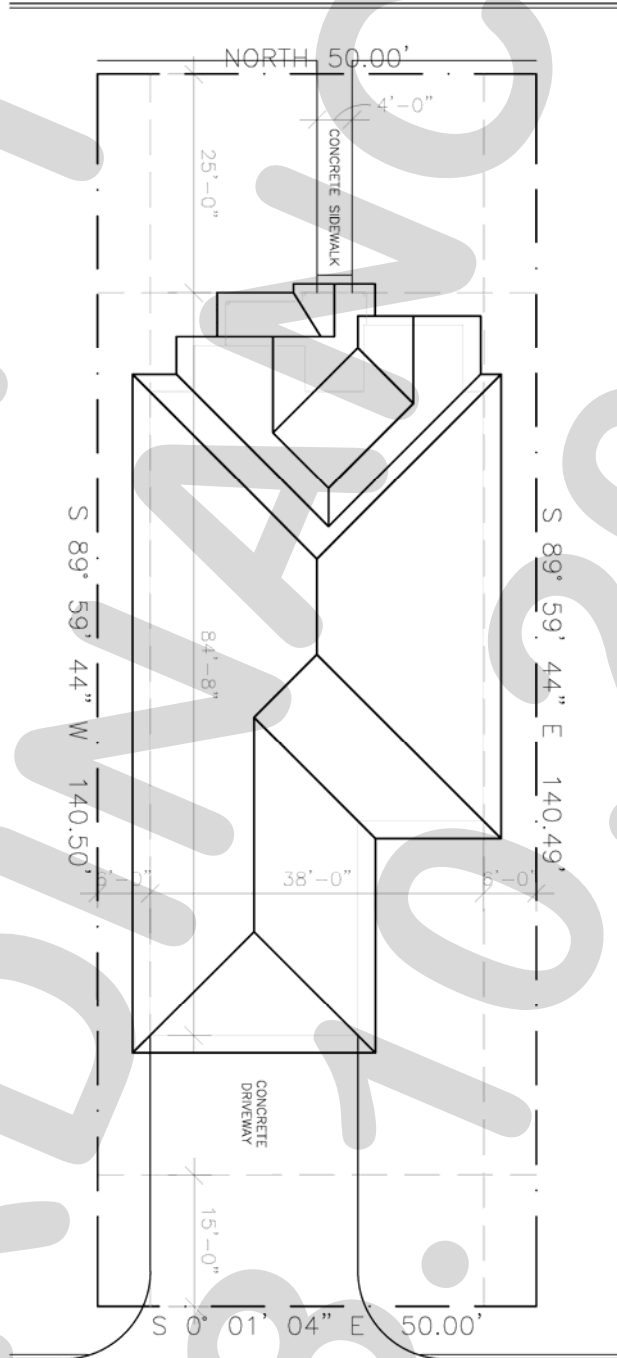


SYMBOL LEGEND	
Symbol	Description
Circle with dot	Iron Nail
Circle with cross	Steel Nail
Circle with X	Aluminum Nail
Circle with triangle	Surveyor's Cap
Circle with square	Surveyor's Stake
Circle with diamond	Surveyor's Marker
Circle with star	Surveyor's Bench
Circle with plus	Surveyor's Tripod
Circle with asterisk	Surveyor's Level
Circle with hash	Surveyor's Transit
Circle with percent	Surveyor's Theodolite
Circle with dollar	Surveyor's Total Station
Circle with ampersand	Surveyor's GPS
Circle with at	Surveyor's Drone
Circle with underline	Surveyor's Laser
Circle with overline	Surveyor's Receiver
Circle with tilde	Surveyor's Antenna
Circle with backslash	Surveyor's Tripod
Circle with forward slash	Surveyor's Level
Circle with caret	Surveyor's Transit
Circle with grave	Surveyor's Theodolite
Circle with apostrophe	Surveyor's Total Station
Circle with tilde	Surveyor's GPS
Circle with asterisk	Surveyor's Drone
Circle with hash	Surveyor's Laser
Circle with percent	Surveyor's Receiver
Circle with dollar	Surveyor's Antenna
Circle with ampersand	Surveyor's Tripod
Circle with at	Surveyor's Level
Circle with underline	Surveyor's Transit
Circle with overline	Surveyor's Theodolite
Circle with tilde	Surveyor's Total Station
Circle with backslash	Surveyor's GPS
Circle with forward slash	Surveyor's Drone
Circle with caret	Surveyor's Laser
Circle with grave	Surveyor's Receiver
Circle with apostrophe	Surveyor's Antenna

H.D. Fetty Land Surveyor, LLC  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

**Exhibit 'B':  
Residential Plot Plan**

PARKS AVENUE  
50' R.O.W. PER PLAT



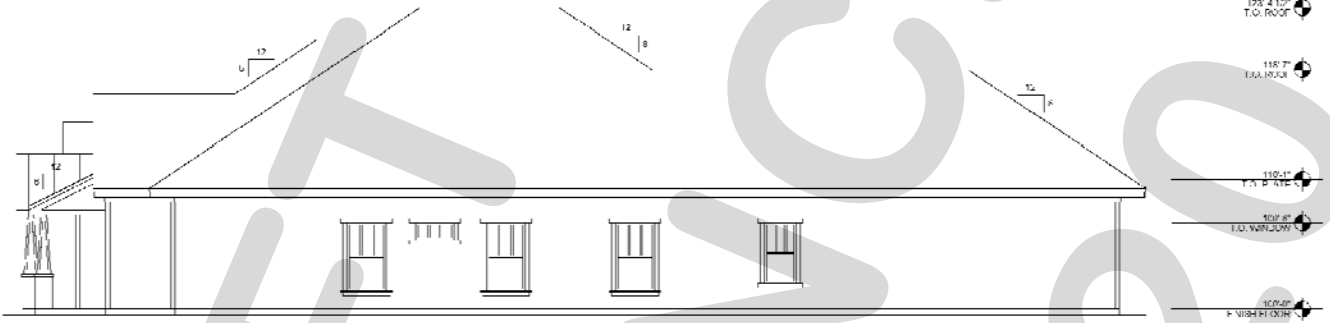
0.16 ACRES  
LOT 7  
BLOCK D

CLARK STREET  
40' R.O.W. PER PLAT

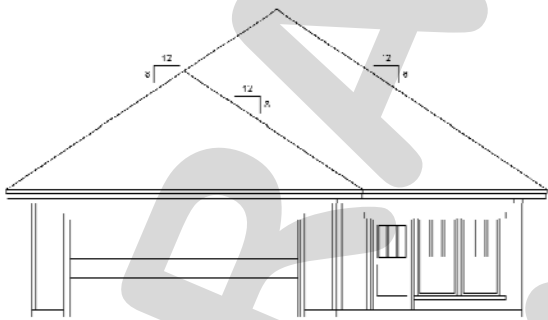


1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

**Exhibit 'C':  
Building Elevations**



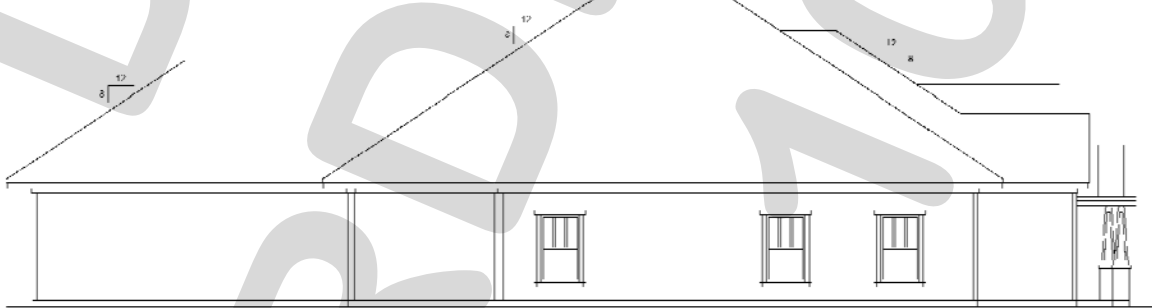
**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 10, 2020  
**APPLICANT:** Reese Baez  
**CASE NUMBER:** Z2020-003; *Specific Use Permit (SUP) for a Residential Infill for 610 Parks Avenue*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

### BACKGROUND

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

### PURPOSE

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 7 (*i.e. 610 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-002*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 702 Parks Avenue*).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 702 & 704 Parks Avenue (*i.e. Lots 8 & 9, Block D, Foree Addition*). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. Pecan Grove, Stark, & Wade*). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are three (3) residential homes followed by Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (*e.g. F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (*i.e. Rockwall Assembly of God*). All of these properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	One (1) Stories ( <i>i.e. ~17-feet at the Midpoint of Roof</i> )
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	<i>N/A</i>
Building SF on Property	1,264 SF – 3,912 SF	2,726 SF
Building Architecture	Various [ <i>Minimal Traditional, Tudor, Ranch, etc.</i> ]	<i>Comparable Architecture</i>
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard Siding
Paint and Color	Pink, Yellow, White, and Tan	Gray (with White Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle with Standing Seam Metal Roof Element at front entry – Color: Zinc Grey
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed

home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

#### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

#### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

#### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

#### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address **1610 PARKS AVE. ROCKWALL, TX 75087**

Subdivision **FORECS Addition Vol 12. Pg. 568** Lot **7** Block **D**

General Location **PARKS AVE**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **Residential SF-7**

Current Use **Residential**

Proposed Zoning **N/A**

Proposed Use **Residential**

Acreage **0.16**

Lots [Current]

Lots [Proposed] **0.16**

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant **Reese Baez**

Contact Person

Contact Person

Address

Address **102 S. Goliad #108**

City, State & Zip

City, State & Zip **Rockwall, TX 75087**

Phone

Phone

E-Mail

E-Mail **rbaez@tritongc.com**

### NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared **[Signature]** [Owner] the undersigned, who stated the information on this application to be true and certified the following:

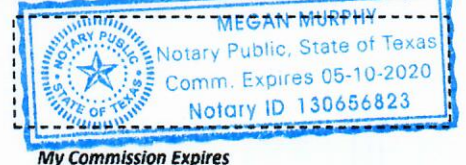
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY 20 20.

Owner's Signature

Notary Public in and for the State of Texas

**[Signature]**



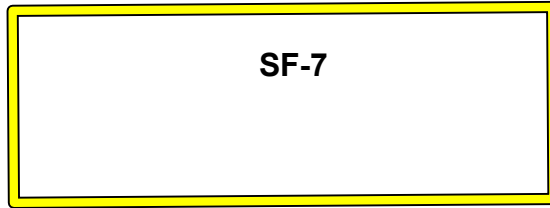
My Commission Expires





Z2020-003- SUP FOR 610 PARKS AVE  
ZONING - LOCATION MAP = 

PARKS AVE



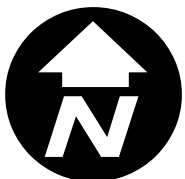
SF-7

N CLARK ST

## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

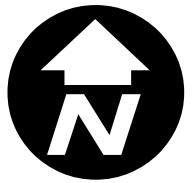
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



# City of Rockwall

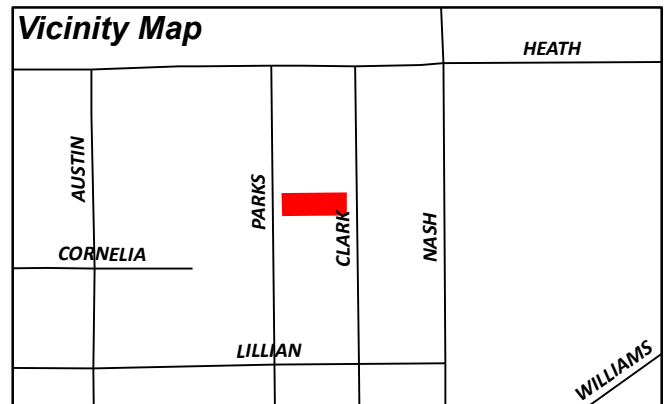
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 610 Parks Ave.

**Date Created:** 2/19/2020  
 For Questions on this Case Call (972) 771-7745



## Gamez, Angelica

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**From:** Gamez, Angelica  
**Sent:** Friday, February 28, 2020 10:30 AM  
**Subject:** Neighborhood Notification program  
**Attachments:** PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner **February 28, 2020**. The Planning and Zoning Commission will hold a public hearing on **Tuesday, March 10, 2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, March 16, 2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases> .

### **Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District**

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

### **Z2020-002 SUP for Residential Infill for 702 Parks Avenue**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

### **Z2020-003 SUP for Residential Infill for 610 Parks Avenue**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

### **Z2020-004 SUP for Residential Infill for 705 Peters Colony**

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

### **Z2020-005 SUP for Residential Infill for 703 Peters Colony**

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

**Z2020-006 SUP for an Accessory Building**

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

**Z2020-007 Text Amendment to Article VIII, Landscape and Screening**

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

**Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment**

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

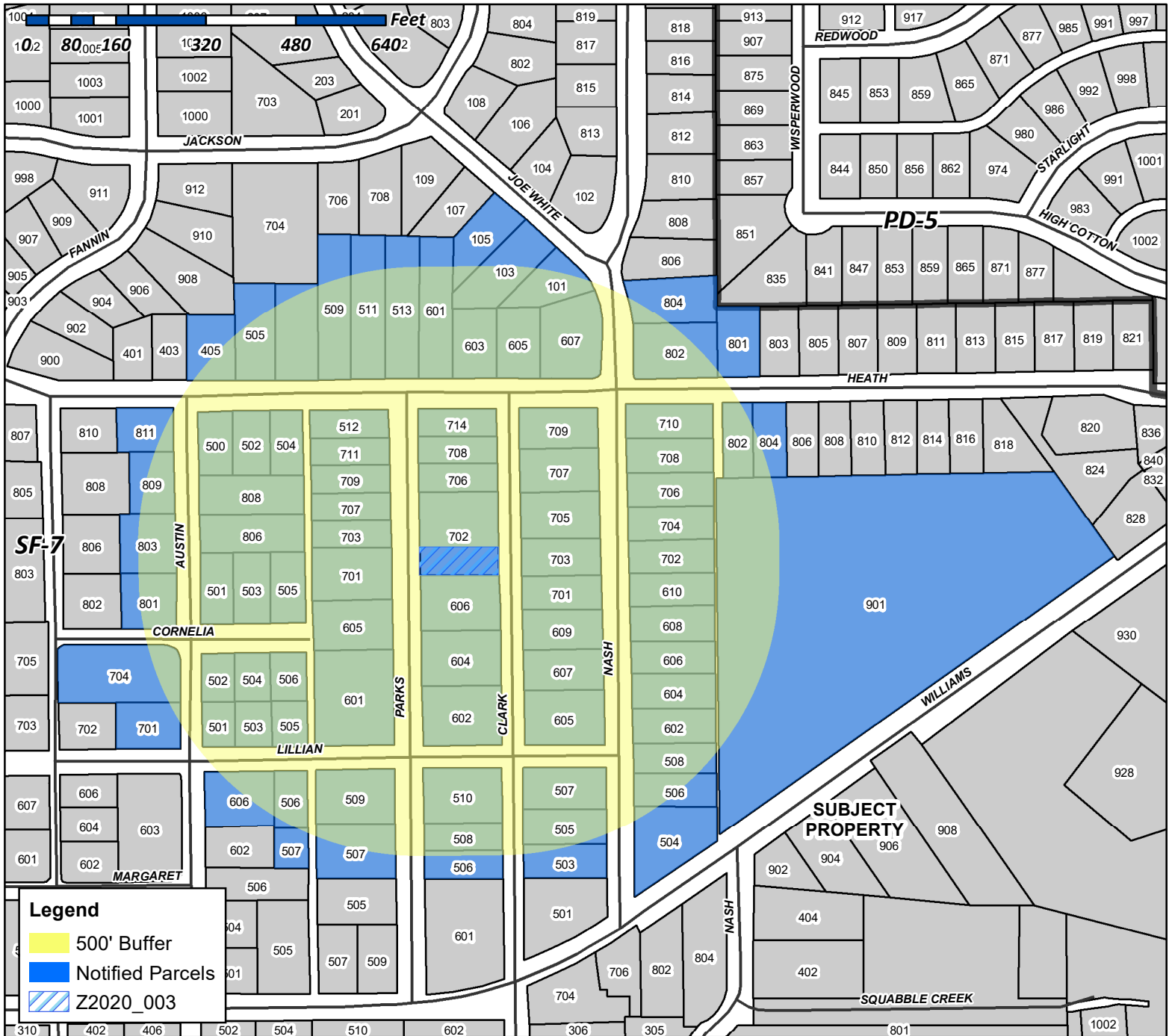
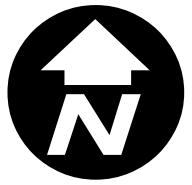
<http://www.rockwall.com/planning/>



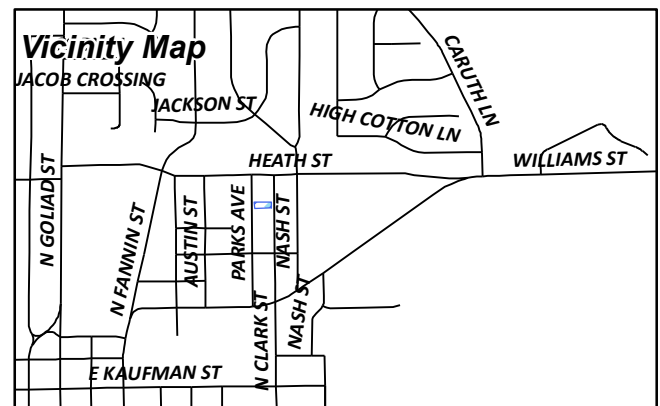
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Zoning  
**Zoning:** SUP  
**Case Address:** 610 Parks Ave.



**Date Created:** 2/18/2020  
**For Questions on this Case Call** (972) 771-7745



# NOTICE OF PUBLIC HEARING

## CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-003: 610 Parks Avenue**

*Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales**  
**Rockwall Planning and Zoning Dept.**  
**385 S. Goliad Street**  
**Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

**PLEASE RETURN THE BELOW FORM**

**Case No. Z2020-003: 610 Parks Avenue**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the respondent's name.

Address:

Grey bar for entering the respondent's address.

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ROLAND RANDY C AND ANDREA B  
101 JOE WHITE ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
103JOE WHITE  
ROCKWALL, TX 75087

SILVA MANUEL  
1041 E FM 552  
ROCKWALL, TX 75087

CURRENT RESIDENT  
105JOE WHITE  
ROCKWALL, TX 75087

BREWER SHERI RENEE  
119 SUNRISE VISTA WAY  
PONTE VEDRA, FL 32081

SABRSULA MELISSA  
1571 ANNA CADR RD  
ROCKWALL, TX 75087

KENNEDY HAYLEY  
201 CHAMPION DR  
WYLIE, TX 75095

RIPSTOP PROPERTIES LLC  
205 S CLARK STREET  
ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A  
210 GLENN AVE  
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES  
213 SOVEREIGN CT  
ROCKWALL, TX 75032

GRIFFIN PATTY JEAN CORNELIUS  
2140 AIRPORT RD  
ROCKWALL, TX 75087

PARK ALLEN  
2301 LAFAYETTE DR  
HEATH, TX 75032

KAUFMANN EVAN J  
2312 BAHAMA RD  
AUSTIN, TX 78733

GLASS JERRY R  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

ZYLKA JOE AND BONNIE  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

VANHORN PENNI AND  
JOE ZYLKA AND BONNIE ZYLKA  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

CURRENT RESIDENT  
405EHEATH  
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D  
500 E HEATH ST  
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M  
501 CORNELIA ST  
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN  
501 LILLIAN ST  
ROCKWALL, TX 75087

BARNETT GEORGE S  
502 CORNELIA ST  
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA  
502 E HEATH ST  
ROCKWALL, TX 75087

SHERMAN PATRICIA AND MARK  
503 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
503CORNELIA  
ROCKWALL, TX 75087

TANTON MELVIN V JR  
504 E HEATH ST  
ROCKWALL, TX 75087

CURRIE DUNCAN & JOETTA  
504 NASH STREET  
ROCKWALL, TX 75087

CURRENT RESIDENT  
504CORNELIA  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
505 CARRIAGE TRAIL  
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN  
505 CORNELIA  
ROCKWALL, TX 75087

BARRON GILDARDO  
505 LILLIAN ST  
ROCKWALL, TX 75087

DAVIS JUDY  
505 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
505EHEATH  
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE  
506 LILLIAN ST  
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT  
506 NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
506CORNELIA  
ROCKWALL, TX 75087

CURRENT RESIDENT  
506PARKS  
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE  
507 NASH ST  
ROCKWALL, TX 75087

TOLMAN BROOKS  
507 PARKS AVE  
ROCKWALL, TX 75087

CAWTHON RICK  
508 NASH ST  
ROCKWALL, TX 75087

FREEMAN WILLIAM B JR  
508 PARKS AVE  
ROCKWALL, TX 75087

DOROTIK DAVID W  
509 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
509EHEATH  
ROCKWALL, TX 75087

RICHARDSON PATRICE  
510 COVE RIDGE RD  
HEATH, TX 75032

CURRENT RESIDENT  
510PARKS  
ROCKWALL, TX 75087

COATS LOIS LOUISE  
512 E HEATH ST  
ROCKWALL, TX 75087

DENNIS KIMBERLY  
513 E HEATH ST  
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH  
601 PARKS AVE  
ROCKWALL, TX 75087

STEGALL VENTURES LLC  
601 SUNSET HILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
601EHEATH  
ROCKWALL, TX 75087

SIMMONS APRIL R  
602 NASH STREET  
ROCKWALL, TX 75087

LEAL ROLAND & CAROL  
602 PARKS AVENUE  
ROCKWALL, TX 75087

SUTTON JUDITH A  
603 E HEATH ST  
ROCKWALL, TX 75087

HOWARD DEBORAH K  
604 NASH ST  
ROCKWALL, TX 75087

FUQUA MATTHEW  
604 PARKS AVE  
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA  
605 NASH ST  
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM  
605 PARKS AVE  
ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD  
605 STORRS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
605EHEATH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
605PARKS  
ROCKWALL, TX 75087

DANIEL RODNEY  
606 AUSTIN ST  
ROCKWALL, TX 75087



GALASSI TORI D  
606 NASH ST  
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN  
606 PARKS AVE  
ROCKWALL, TX 75087

SPERLING SANDY  
607 E HEATH ST  
ROCKWALL, TX 75087

BHATIA SACHIT S AND  
LAURA NICOLE JONES  
607 NASH STREET  
ROCKWALL, TX 75087

STARK ROBERT S & TINA J  
607 SAINT MARY ST  
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA  
608 NASH ST  
ROCKWALL, TX 75087

TORRES ROSIE  
609 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
610NASH  
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H  
6634 DAVIS DR  
ROYSE CITY, TX 75189

CASTRO RENE & BETSY  
700 WINDSONG LN  
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE  
701 AUSTIN ST  
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA  
701 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
701NASH  
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER  
702 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
702PARKS  
ROCKWALL, TX 75087

ELLISTON REBECCA S  
703 NASH STREET  
ROCKWALL, TX 75087

HANSON BRANDON R  
703 PARKS AVE  
ROCKWALL, TX 75087

THOMAS TRACY  
704 KERNODLE ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
704NASH  
ROCKWALL, TX 75087

RUSHING BRIAN AND  
CHANEL KENTOPP  
705 NASH ST  
ROCKWALL, TX 75087

ARELLANO JESUS L &  
CYNTHIA A HERRERA  
706 NASH ST  
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN  
706 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707PARKS  
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D  
708 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
708NASH  
ROCKWALL, TX 75087

BARRON ARMANDO  
709 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
709NASH  
ROCKWALL, TX 75087

STARK ROBERT C  
710 AGAPE ST  
ROCKWALL, TX 75087

KING MISTY  
710 NASH STREET  
ROCKWALL, TX 75087

NIXON ALBERT  
711 PARKS AVE  
ROCKWALL, TX 75087

CONAWAY SUE ANN  
7123 OCONNELL ST  
ROCKWALL, TX 75087

PALMER LINDA C  
714 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
801AUSTIN  
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA  
802 E HEATH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
802NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
803AUSTIN  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
804NASH  
ROCKWALL, TX 75087

AUSTIN TRENTON C  
806 AUSTIN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
808AUSTIN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
809AUSTIN  
ROCKWALL, TX 75087

JENNINGS AMANDA L  
811 AUSTIN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
811AUSTIN  
ROCKWALL, TX 75087

MCCLAIN LOUETTA  
8309 TURNBERRY ST  
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C  
880 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
901WILLIAMS  
ROCKWALL, TX 75087

BELANGER CORKY  
921 N ALAMO RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
EHEATH  
ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE  
RICHARD D WIMPEE AND JUDY A HARRIS AND  
JOE E WIMPEE AND JERRY M WIMPEE 704 E  
MAPLE ST  
FAYETTEVILLE, AR 72701

KINDRED ROBERT M  
P.O. BOX 261638  
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC  
PO BOX 811  
ROYSE CITY, TX 75189

CURRENT RESIDENT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
ROCKWALL, TX 75087













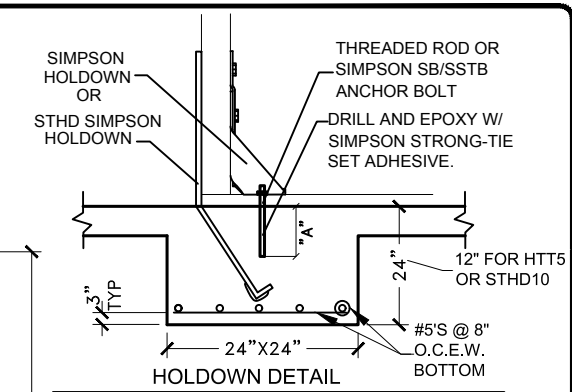


**ERIC L. DAVIS ENGINEERING, INC.**  
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 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eidengineering.com

**FOUNDATION PLAN**  
 ENGINEERED FOR:  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY	ELD JOB NO: DIF19-1546
BUILDER: TRITON GENERAL CONTRACTOR	DRAWN BY: RWK
ADDITION: 702 PARKS AVENUE - PR - ROCKWALL, TX	CHECKED BY: ELD
ADDRESS: 610 PARKS AVENUE	AREA: 2,726 SQFT
LOT: 7	BLOCK: D
CITY: ROCKWALL, TX	

SCALE: 1/8" = 1'-0"

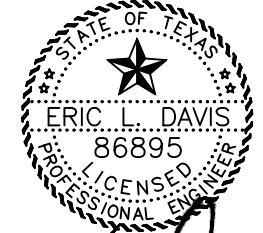


EACH INTERIOR HOLDOWN REQUIRES A 24"X24" FOOTING

HOLDOWN LOCATION IS APPROXIMATE. EACH INTERIOR HOLDOWN SHALL HAVE A SPREADFOOTING. VERIFY LOCATION SIZE WITH ARCHITECTURALS & SHEARWALL PLAN

SYMBOL	TYPE	NOMINAL DIA. THREADED ROD	"A"
	SIMPSON HTT5 OR SIMPSON STHD10	5/8" N/A	6"
	SIMPSON STHD14	N/A	N/A
	SIMPSON HDQ8	7/8"	18"
	SIMPSON HHQ11	1"	18"
	SIMPSON HHQ14	1"	18"

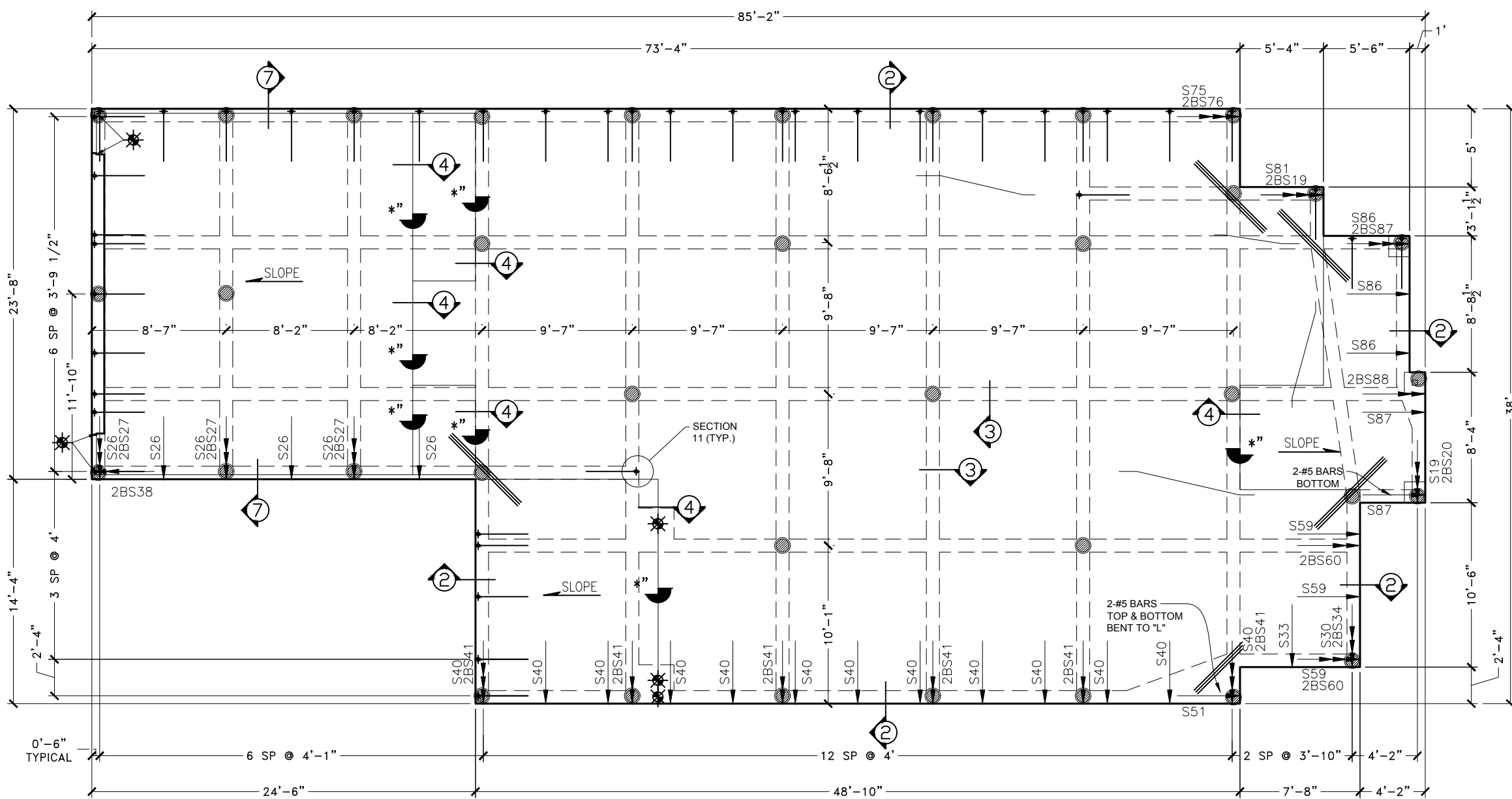
- IF USING STHD10 OR STHD14 HOLDOWNS, CONTRACTOR SHALL PLACE HOLDOWNS AT CONCRETE POUR STAGE.
- SSW ANCHORING SHALL BE PLACED AT CONCRETE POUT STAGE.
- SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/10/2020

- NOTE:
- SLAB THICKNESS T = 4"
  - BEAM DEPTH H = 32"
  - BEAM WIDTH W = 10"
  - SXX DENOTES SLAB STRAND
  - BSXX DENOTES BEAM STRAND

- PLAN LEGEND
- DENOTES ONE STRAND TO BE STRESSED.
  - DENOTES TWO STRANDS TO BE STRESSED.
  - DENOTES THREE STRANDS TO BE STRESSED.
  - DENOTES FACTORY SEATED END.
  - DENOTES CONCRETE CHAIR.
  - DENOTES DIMENSION TO BE VERIFIED.
  - DENOTES DIFFERENCE IN FINISH FLOOR ELEVATIONS.
  - DENOTES 3-#4 BARS X 6'-8" TYPICAL INTERIOR CORNER 2'-0".
  - "L" BARS SHALL BE 4'-0" X (LENGTH = TO CORNER DEPTH) WHERE NOTED ON PLAN.

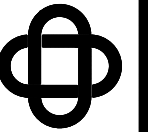


NOTE: SITE PREPARATION SHOULD CONSIST OF REMOVING ALL EXISTING FOUNDATIONS, PAVED AREAS AND UNDESIRABLE MATERIALS. THE EXPOSED SUBGRADE SHOULD BE PROOF-ROLLED TO DETECT WEAK AREAS WHICH SHOULD BE EXCAVATED, PROCESSED AND RECOMPACTED WITH SELECT FILL IN ACCORDANCE WITH THE PROVISIONS IN HOOPER GEOTECHNICAL REPORT NO. 19.386 DATED 12/3/2019.

CONTRACTOR SHALL WATER PAD 72 HOURS CONTINUOUS PRIOR TO CONSTRUCTION OF FOUNDATION

DRILLED PIERS

- ALL DRILLED PIERS SHALL BE 12" IN DIAMETER WITH 2-#5 BARS VERTICAL.
- PIERS SHALL BE PLACED TO A MINIMUM DEPTH OF 7 FEET INTO FIRM GRAY MARL FOUND AT AN APPROXIMATE DEPTH OF 12 FEET BELOW NATURAL GRADE.
- PIERS SHALL NOT BE STRUCTURALLY TIED TO FOUNDATION UNLESS NOTED OTHERWISE.
- TEMPORARY CASING MAY BE REQUIRED.



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FOUNDATION DETAILS  
ENGINEERED FOR:  
TRITON GENERAL  
CONTRACTOR

PLAN: MURPHY  
ELD JOB NO: DIF19-1546  
DRAWN BY: RWK  
CHECKED BY: ELD  
AREA: 2,726 SQFT  
BUILDER: TRITON GENERAL CONTRACTOR - PR -  
ADDITION: 702 PARKS AVENUE - ROCKWALL, TX  
ADDRESS: 610 PARKS AVENUE  
LOT: 7 BLOCK: D  
CITY: ROCKWALL, TX

SCALE: N.T.S.

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH. STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE. ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L" BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GREATER.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS," I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

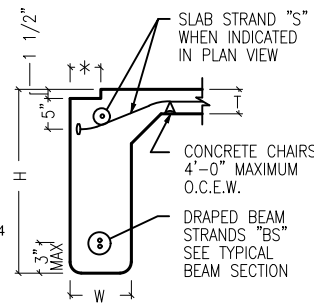
- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUND IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

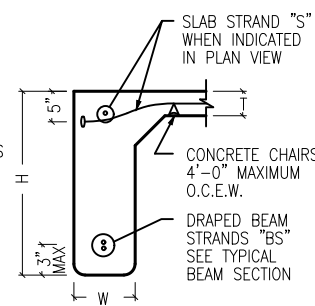
- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.
- LIMITATIONS
- A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.
  - THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST-TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.
  - FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
  - BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER, WITH OWNER'S RECEIPT ACKNOWLEDGED.

BEAM CABLE NOTE

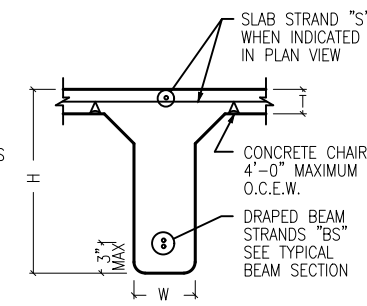
- BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
- SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



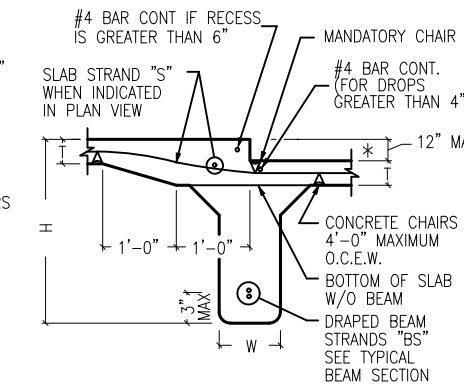
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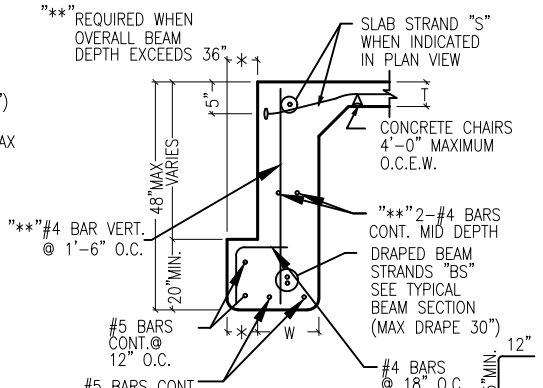
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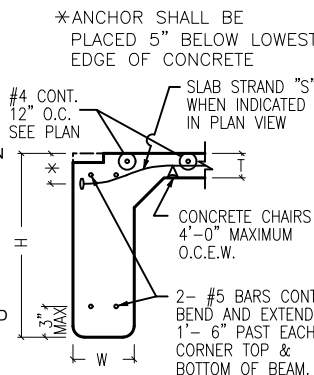
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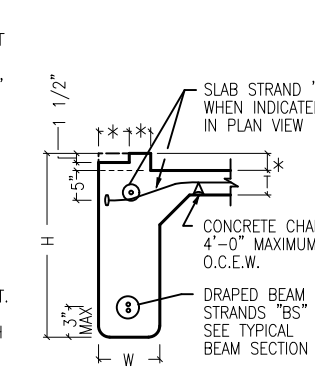
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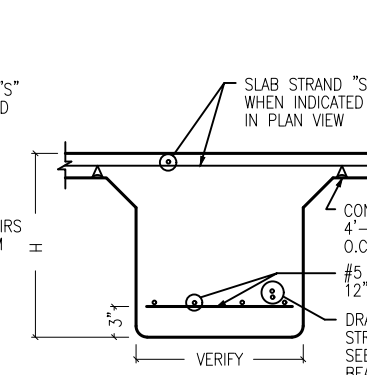
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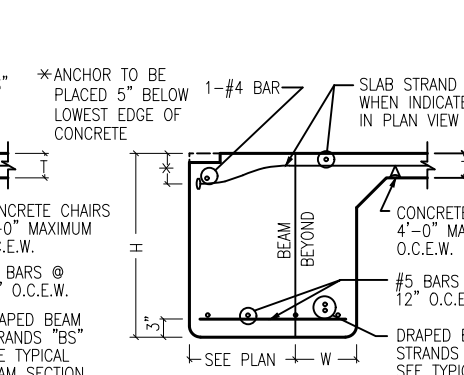
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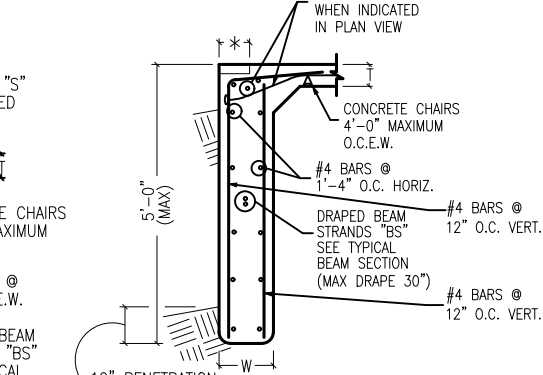
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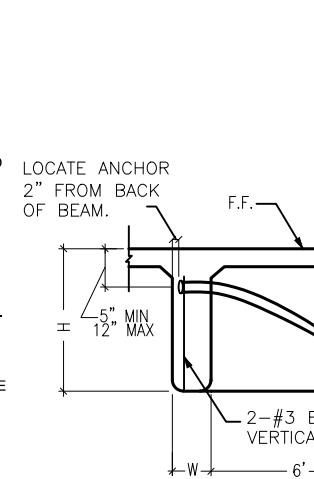
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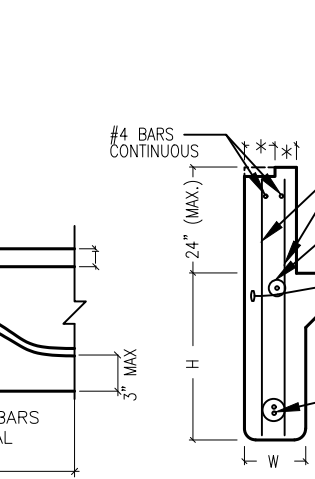
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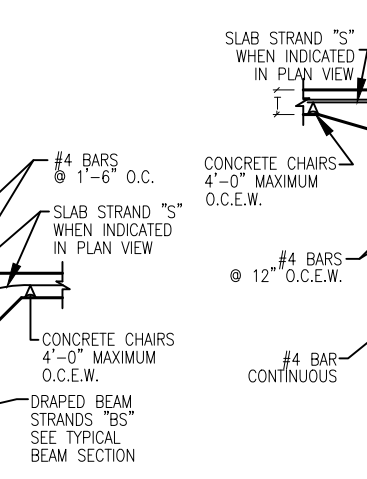
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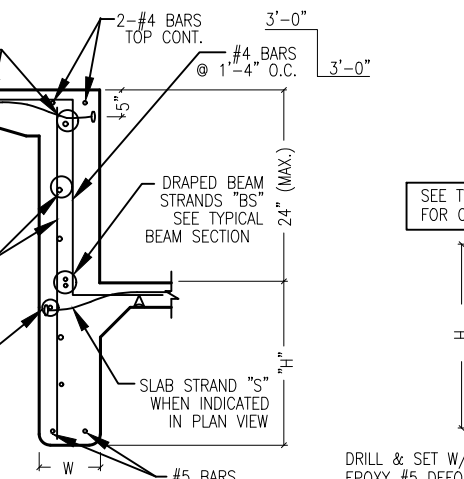
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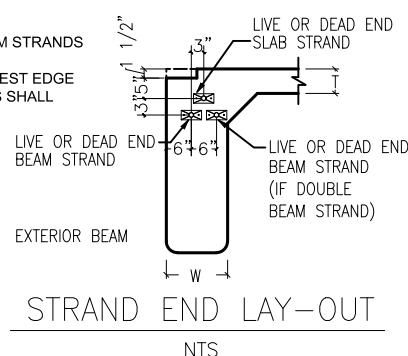
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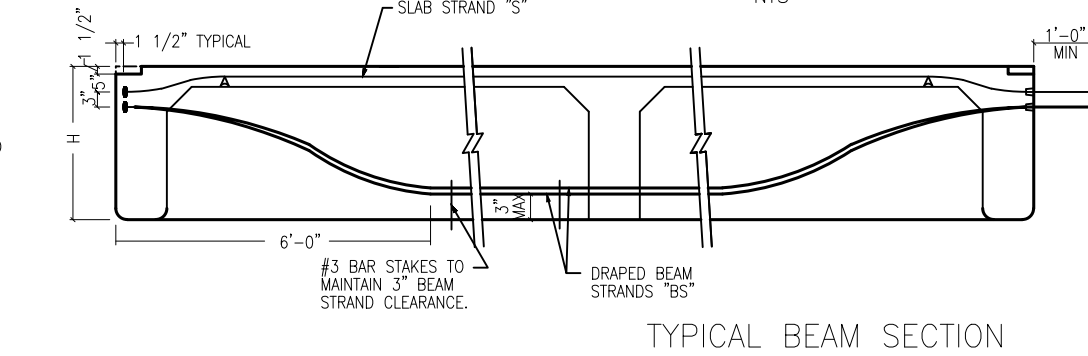
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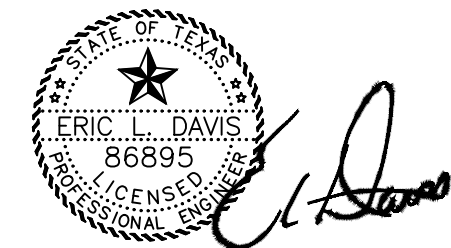
SECTION 14  
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STRAND END LAY-OUT  
NTS



TYPICAL BEAM SECTION  
NTS

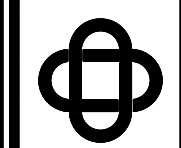


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/10/2020

GENERAL NOTES & TYPICAL SECTIONS FOR POST-TENSIONED CABLE FOUNDATIONS

THIS POST-TENSION CABLE FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THIS SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATIONS IS PROHIBITED.

POST-TENSION CABLES ARE TO BE SUPPLIED BY A PTI CERTIFIED PLANT.



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ENGINEERED FOR:  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY  
 ELD JOB NO: DIF19-1546  
 DRAWN BY: RC  
 CHECKED BY: ELD  
 BUILDING: TRITON GENERAL CONTRACTOR  
 ADDITION: 702 PARKS AVENUE - PR - ROCKWALL, TX  
 ADDRESS: 610 PARKS AVENUE  
 LOT: 7 BLOCK: D  
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

SW-01

SYMBOL KEY	
	SIMPSON STHD10 or HTT5 HOLDOWN
	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING

FASTENING FOR THERMO PLY		
MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/4" LEGS	3 - PANEL EDGES 3 - INTERMEDIATES SUPPORTS

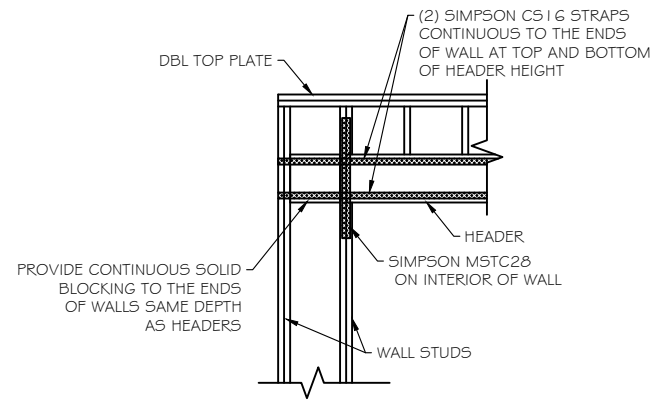
NOTE:  
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 10'-0" TO 15'-0", PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.  
 2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH 2015 I.R.C.

DESIGN BASED ON 115 MPH ULTIMATE DESIGN WIND SPEED, EXPOSURE B.  
 IF CONDITIONS VARY, CONTACT THIS OFFICE.

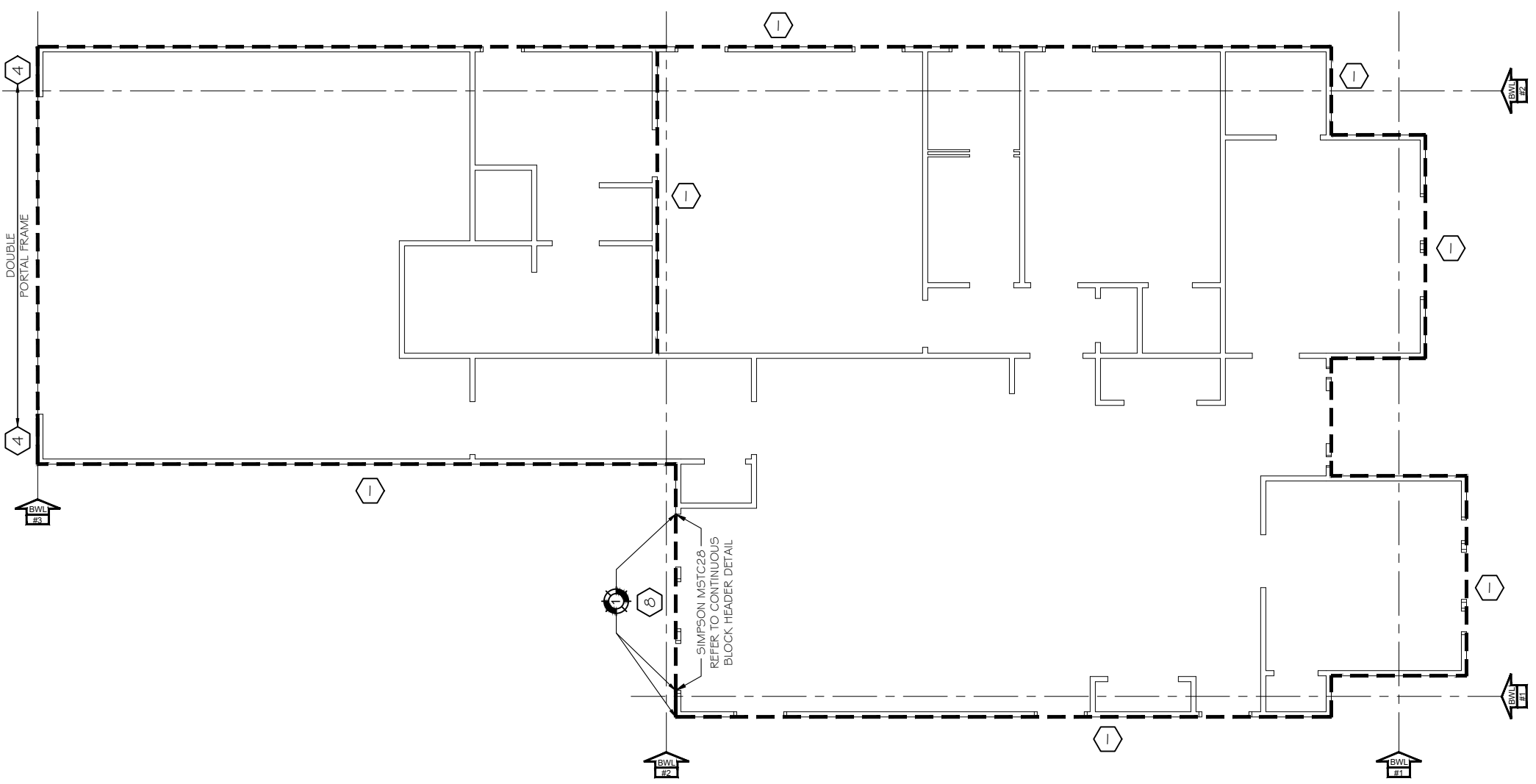
STUD SIZE	WALL HEIGHT										STUDS ON CENTER		
	8'	9'	10'	11'	12'	13'	14'	15'	16'	18'		19'	20'
2x4	16"	16"	16"	NOTE C	NOTE C								
2x6				16"	16"	16"	16"	16"	12"	12"	(2) 16"	(2) 16"	
2x8									16"	16"	16"	16"	

A) 115 M.P.H. EXP. B  
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.  
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)

FULLY SHEATH WALL W/ 7/16" OSB (MIN.) ATTACH TO 2x4 STUDS @ 16" O.C. W/ 8d NAILS @ 3"/12" PATTERN.



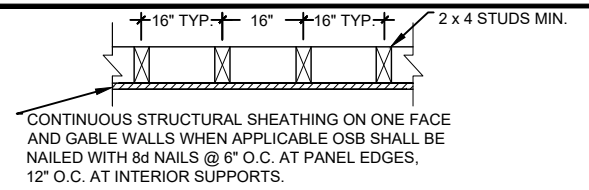
CONTINUOUS BLOCK HEADER DETAIL  
 SCALE: NTS



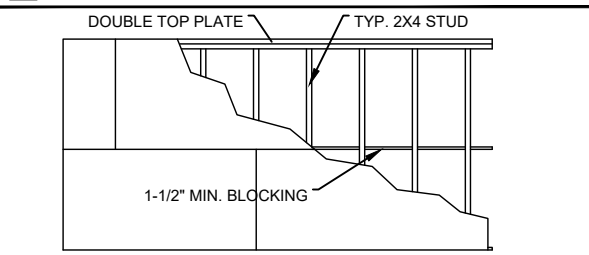
FIRST FLOOR PLAN

*Eric L. Davis*

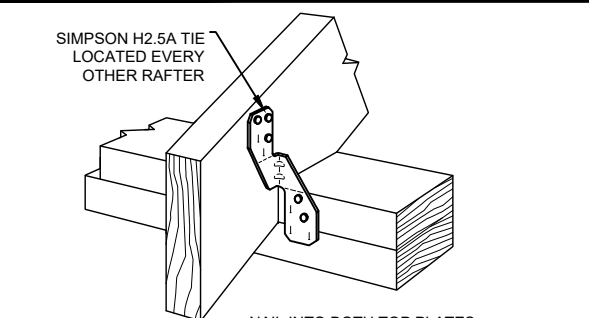
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020



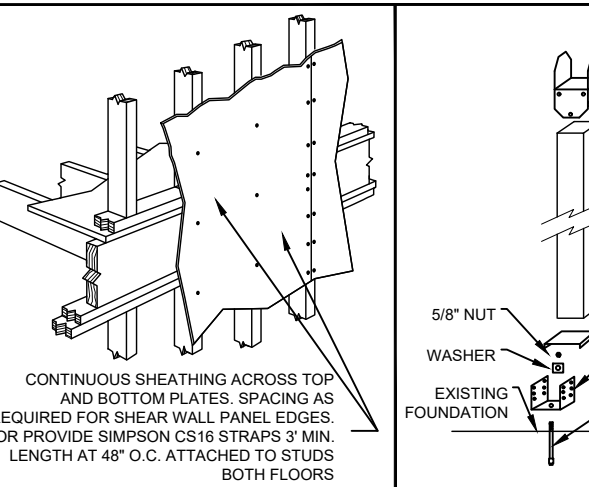
**1 SECTION DETAIL**  
N.T.S.



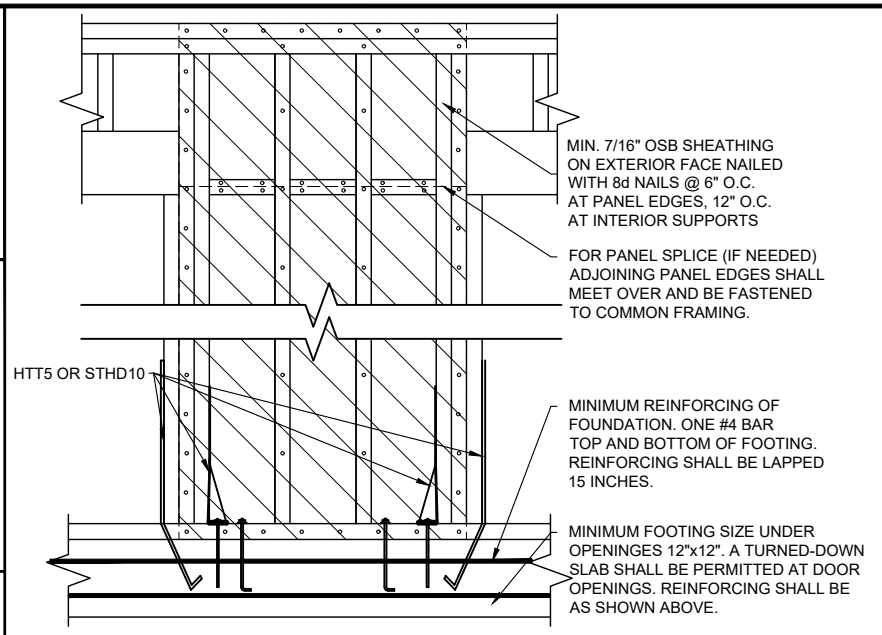
**PANEL BLOCKING DETAIL**  
SCALE: NTS



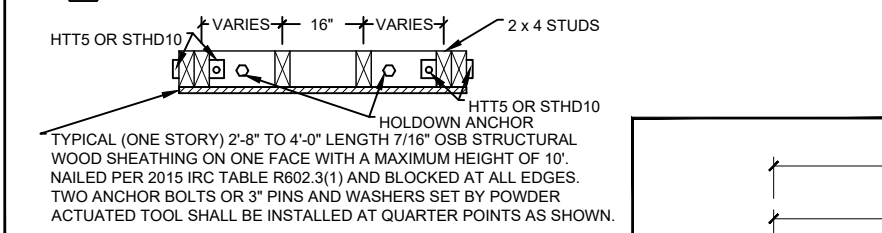
**RAFTER TO TOP PLATE DETAIL**  
SCALE: NTS



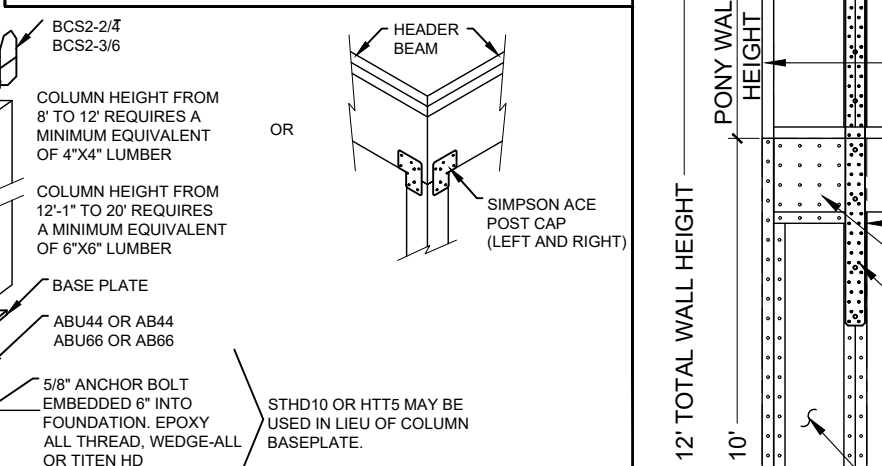
**PANEL CONNECTION DETAIL AT FIRST & SECOND FLOORS**  
SCALE: NTS



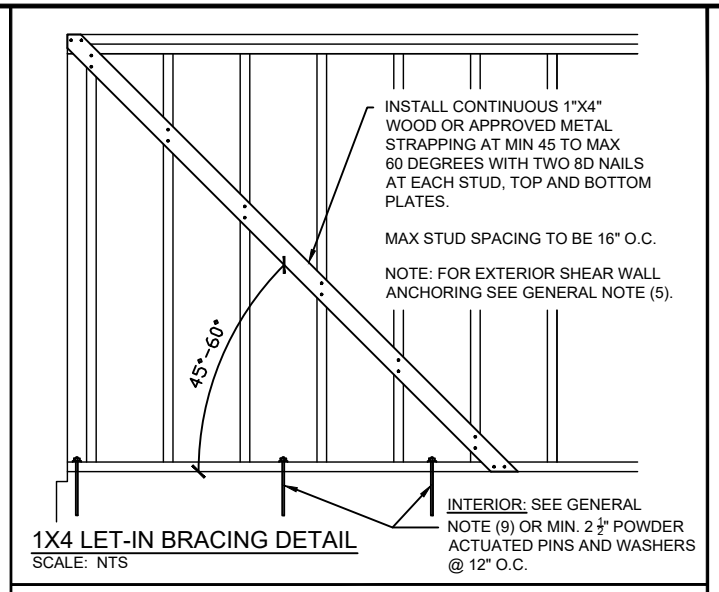
**2 SECTION DETAIL (EXTERIOR ELEVATION)**  
N.T.S.



**2 SECTION DETAIL (PLAN VIEW)**  
N.T.S.



**STANDARD COLUMN DETAIL**  
SCALE: NTS



**1X4 LET-IN BRACING DETAIL**  
SCALE: NTS

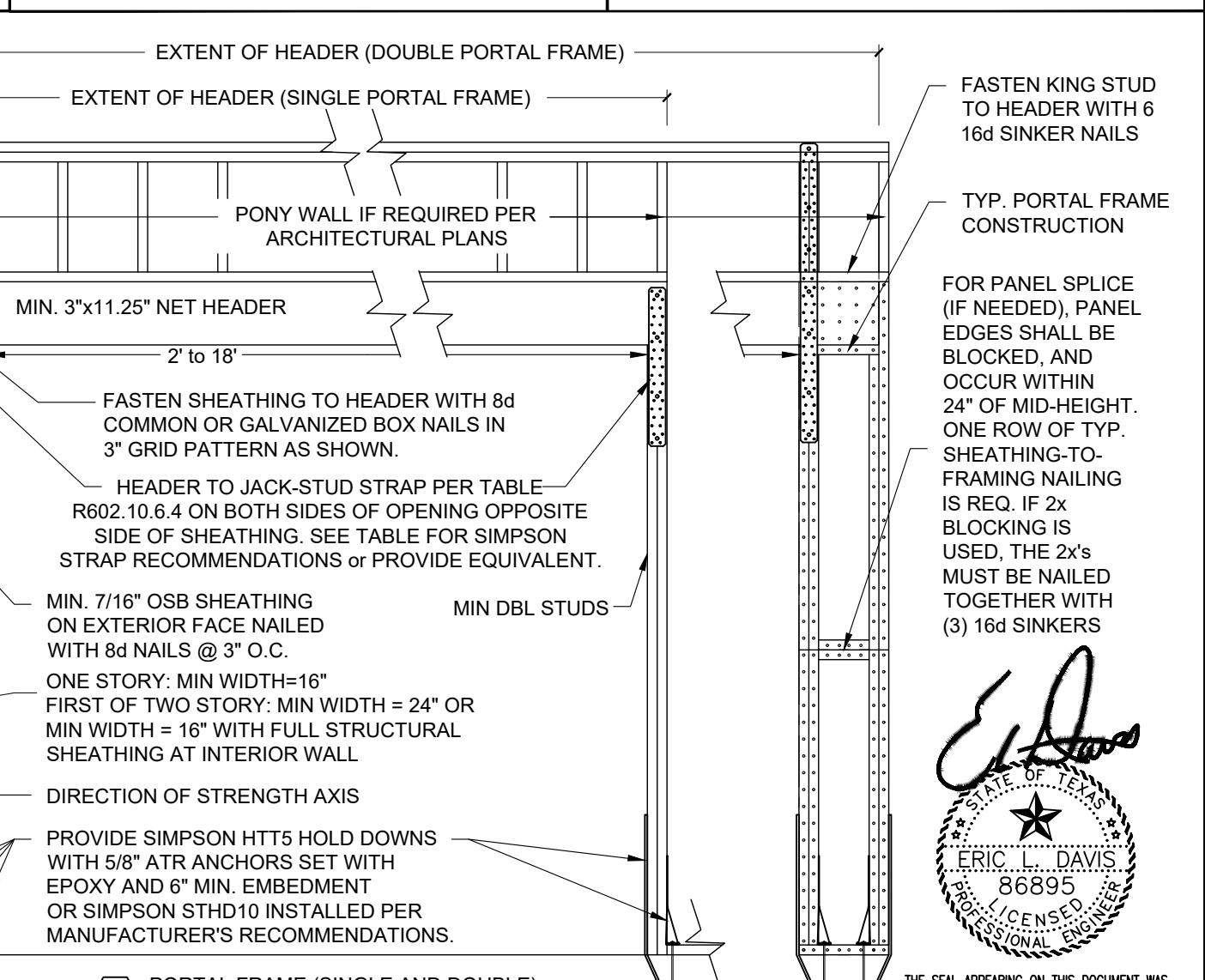
**STRUCTURAL SHEATHING**  
IS CONSIDERED ONE OF THE FOLLOWING:

- MIN 7/16" OSB
- RED THERMOPLY
- BLUE THERMOPLY

- GENERAL NOTES**
1. REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
  2. ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
  3. SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSILL THROUGH THE DOUBLE TOP PLATE.
  4. BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
  5. MUDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSILL ANCHORS @ 6'-0" O.C.
  6. WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
  7. ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
  8. LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
  9. ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
    - 9.1. INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
    - 9.2. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



**4 PORTAL FRAME (SINGLE AND DOUBLE)**  
N.T.S.

TABLE R602.10.6.4

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (FEET)	MAXIMUM TOTAL WALL HEIGHT (FEET)	MAXIMUM OPENING WIDTH (FEET)	TENSION STRAP CAPACITY REQUIRED (POUNDS) <sup>a</sup> V = 115 mph EXPOSURE B	RECOMMENDED OR APPROVED EQUAL SIMPSON STRAP MODEL No. <sup>b</sup>	
2x4 No. 2 Grade	0	10	18	1000	(1) CS16	
			9	1000		
			16	1025		
			18	1275		
			9	1000		
			16	2175		
	2	10	10	9	2500	(2) CS16
				18	1500	
				16	3375	
				18	3975	
				9	2750	
				12	3775	
2x6 Stud Grade	2	12	9	1000	(1) CS16	
			16	2150		
			18	2550		
			9	1750		
			16	2400		
			18	3800		

For St: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.  
 a. STRAPS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 b. STRAP MODEL MAY BE SUBSTITUTED w/ APPROVED EQUAL.

**ERIC L. DAVIS ENGINEERING, INC.**  
 F--3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eldengineering.com

SHEAR WALL NOTES  
 ENGINEERED FOR  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY  
 ELD JOB NO: DIF19-1546  
 DRAWN BY: RC  
 CHECKED BY: ELD  
 BLOCK: D  
 LOT: 7  
 CITY: ROCKWALL, TX

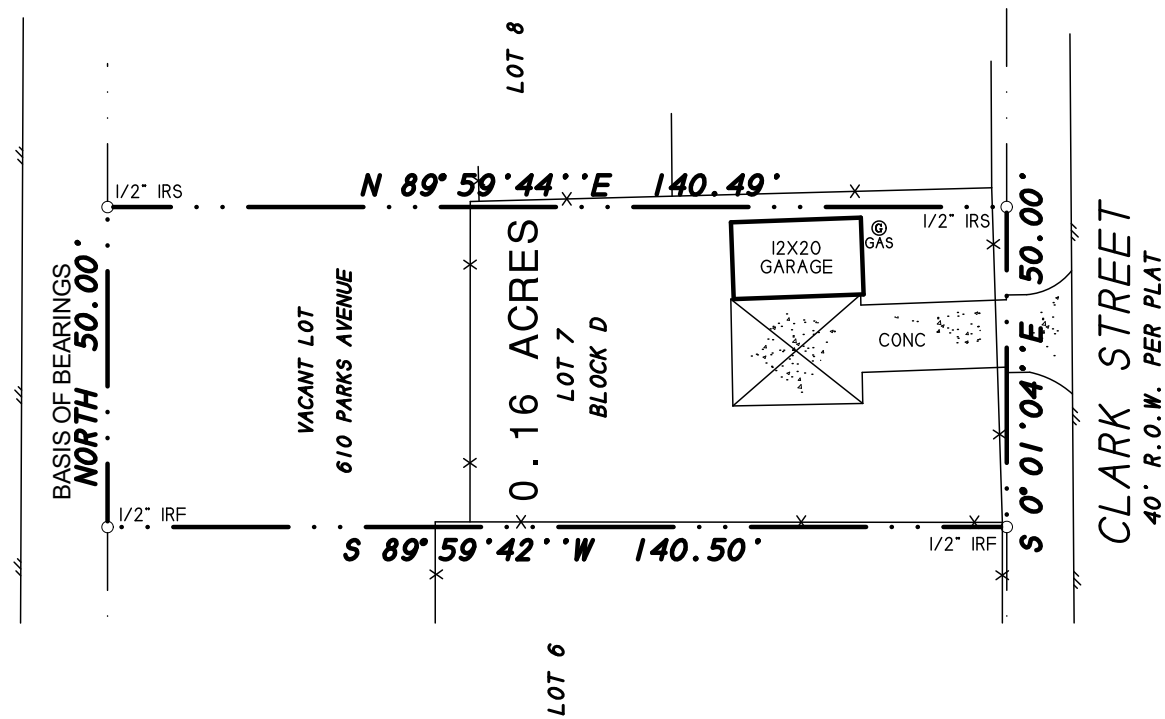


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020

PLAT OF SURVEY



PARKS AVENUE  
50' R.O.W. PER PLAT



DESCRIPTION

BEING Lot 7, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
⊙	⊕	⊞	⊞	⊞
TELEVISION CABLE RISER	GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
▲	⊞	⊞	⊞	⊞
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	⊞ 1/2" IRF IRON ROD FOUND (CORNER)
—	—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND. UNIT	PROPANE TANK

SURVEY DATE OCTOBER 1, 2018  
SCALE 1" = 30' FILE # 20180297-7  
CLIENT WARDELL GF # 1884847-10GH

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:

DATE \_\_\_\_\_

DATE \_\_\_\_\_









**714 Parks Avenue**  
Write a description for your map.

Legend



Google Earth  
© 2020 Google

5.51 ft

**601 Parks Avenue**  
Write a description for your map.

Legend



Google Earth  
© 2020 Google

582 ft



**605 Parks Avenue**  
Write a description for your map.

Legend



Google Earth  
© 2020 Google

661 ft







711 Parks Avenue

Write a description for your map.

Legend



Google Earth

© 2020 Google



5.38 ft



**February 13, 2020**

**City of Rockwall  
Planning & Zoning Department  
385 S. Goliad St.  
Rockwall, TX 75087**

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **610 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to be "Reese Baez", written over a horizontal line.

**Reese Baez  
Triton General Contractor  
469-931-2267**

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.**



\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

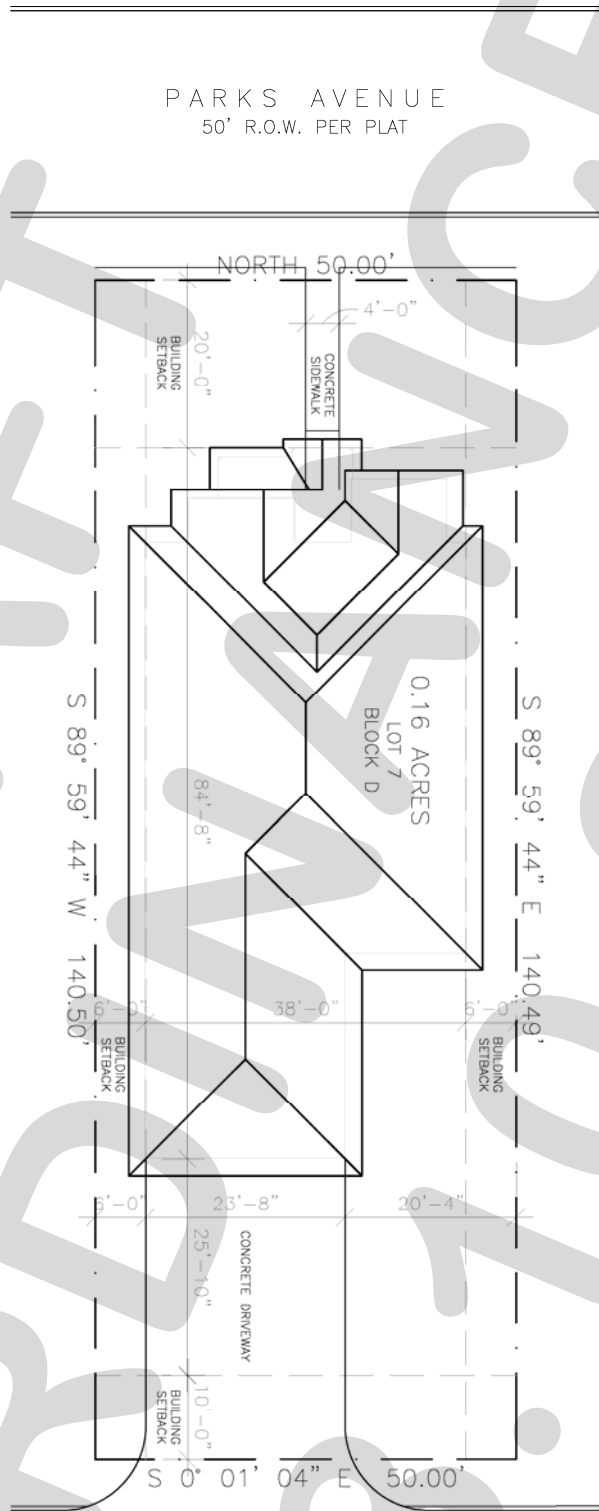
\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020



**Exhibit 'B':  
Residential Plot Plan**



PARKS AVENUE  
50' R.O.W. PER PLAT

CLARK STREET  
40' R.O.W. PER PLAT

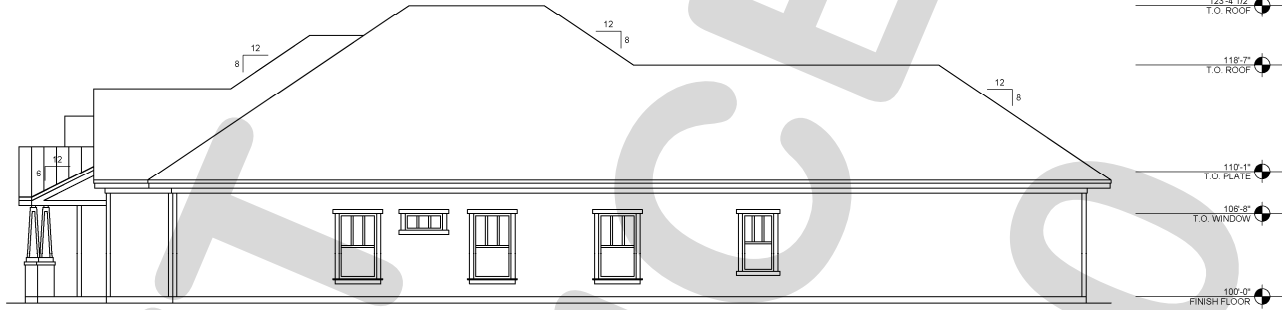


1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

TABULATIONS:

Garage	= 1,970 SF
Front Porch	= 197 SF
Back Patio	= 136 SF
<b>TOTAL COVERED</b>	<b>= 2,726 SF</b>

**Exhibit 'C':  
Building Elevations**



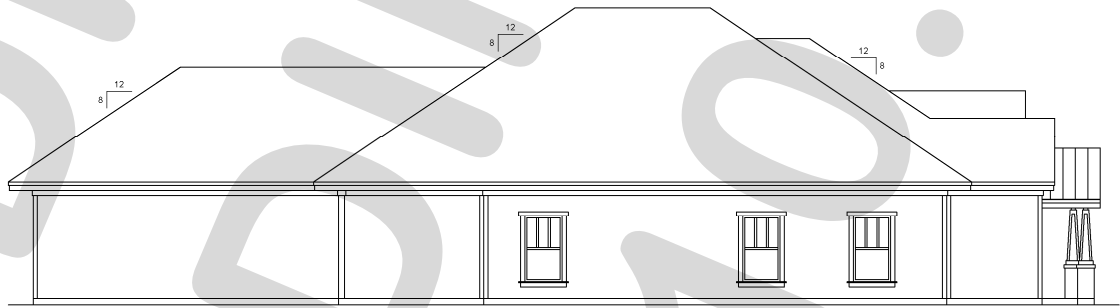
**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** March 16, 2020  
**APPLICANT:** Reese Baez  
**CASE NUMBER:** Z2020-003; *Specific Use Permit (SUP) for a Residential Infill for 610 Parks Avenue*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

### BACKGROUND

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots (Addendum [03.11.2020]: demolition permit [*i.e.* BLD2019-3321] approved on December 27, 2019). Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [*are*] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [*1983*] from which this [*the*] Unified Development Code is derived which has not been divided [*or assembled*] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

### PURPOSE

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 7 (*i.e.* 610 Parks Avenue) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-002*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e.* 702 Parks Avenue).

### ADJACENT LAND USES AND ACCESS

The subject property is located at 610 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are 702 & 704 Parks Avenue (*i.e.* Lots 8 & 9, Block D, Foree Addition). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e.* Pecan Grove, Stark, & Wade). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are three (3) residential homes followed by Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which

consists of several residential subdivisions (e.g. *F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. *Rockwall Assembly of God*). All of these properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

**CHARACTERISTICS OF THE REQUEST**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	One (1) Stories (i.e. ~17-feet at the Midpoint of Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	N/A
Building SF on Property	1,264 SF – 3,912 SF	2,726 SF
Building Architecture	Various [ <i>Minimal Traditional, Tudor, Ranch, etc.</i> ]	<i>Comparable Architecture</i>
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard Siding
Paint and Color	Pink, Yellow, White, and Tan	Gray (with White Trim)

Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle with Standing Seam Metal Roof Element at front entry – Color: Zinc Grey
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) notices in favor of, and one (1) notice and four (4) emails in opposition of the applicant's request.

**CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On March 10, 2020, the Planning and Zoning Commission made a motion to recommend approval of the Specific Use Permit (SUP) to allow for the construction of a single-family home as a *Residential Infill within an Established Subdivision* with staff conditions. The motion was approved by a vote of 5-0, with Commissioners Fishman and Logan absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

#### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

#### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

#### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

#### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

#### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

### PROPERTY INFORMATION [PLEASE PRINT]

Address **1610 PARKS AVE. ROCKWALL, TX 75087**

Subdivision **FORECS Addition Vol 12. Pg. 568** Lot **7** Block **D**

General Location **PARKS AVE**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **Residential SF-7**

Current Use **Residential**

Proposed Zoning **N/A**

Proposed Use **Residential**

Acreage **0.16**

Lots [Current]

Lots [Proposed] **0.16**

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant **Reese Baez**

Contact Person

Contact Person

Address

Address **102 S. Goliad #108**

City, State & Zip

City, State & Zip **Rockwall, TX 75087**

Phone

Phone

E-Mail

E-Mail **rbaez@tritongc.com**

### NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

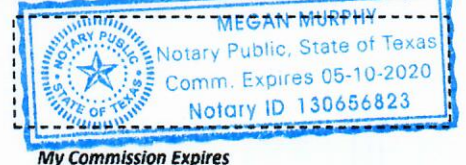
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY 20 20.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]



My Commission Expires



0 100 200 300 400 500 Feet

Z2020-003- SUP FOR 610 PARKS AVE  
ZONING - LOCATION MAP = 

PARKS AVE

N CLARK ST



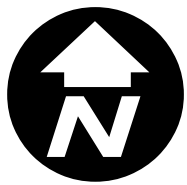
SF-7



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

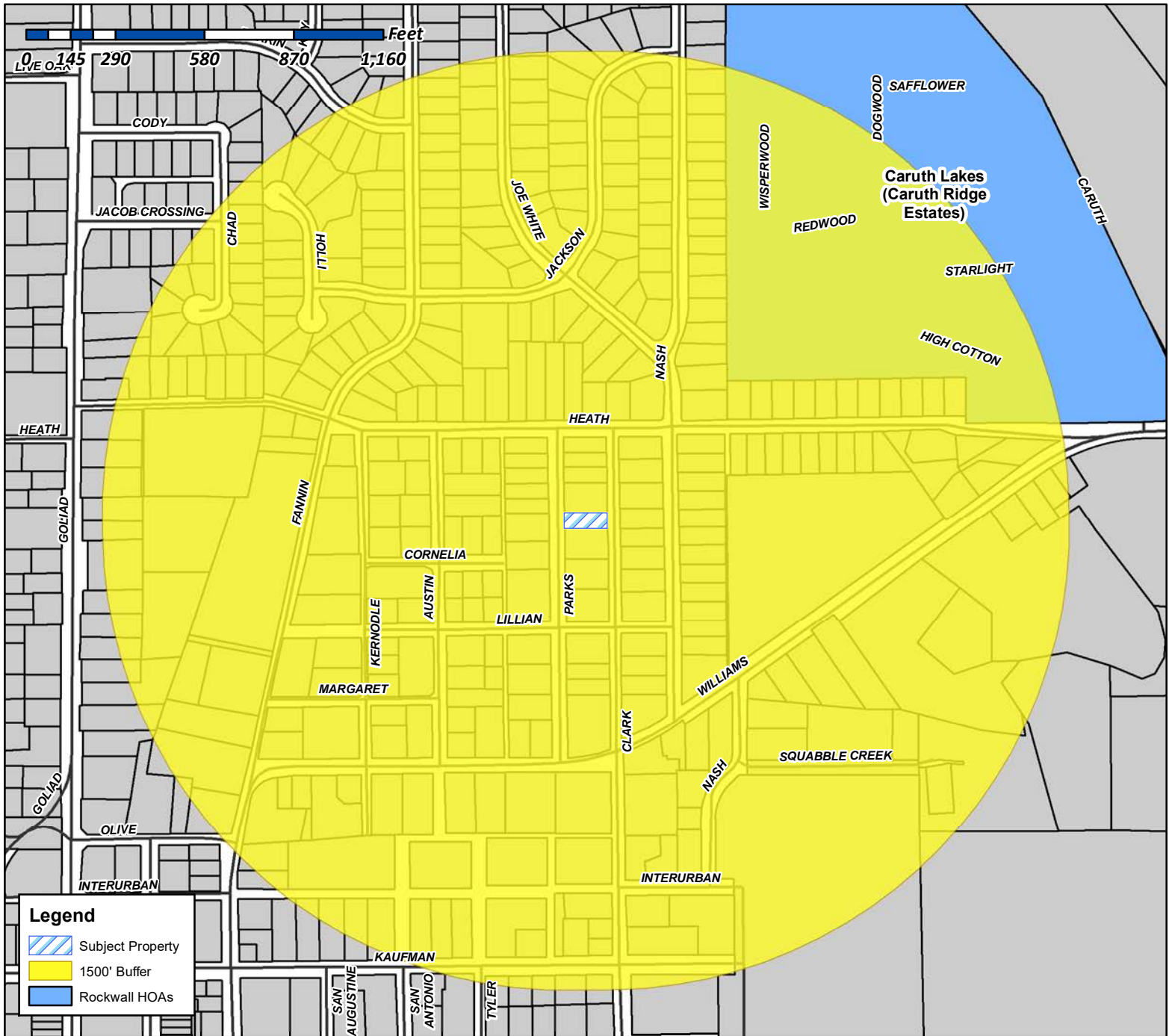




# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
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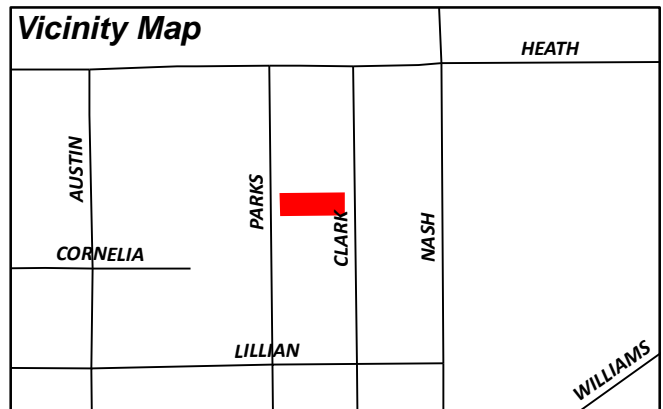


**Legend**

- Subject Property
- 1500' Buffer
- Rockwall HOAs

**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 610 Parks Ave.

**Date Created:** 2/19/2020  
**For Questions on this Case Call (972) 771-7745**



## Gamez, Angelica

---

**From:** Gamez, Angelica  
**Sent:** Friday, February 28, 2020 10:30 AM  
**Subject:** Neighborhood Notification program  
**Attachments:** PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner **February 28, 2020**. The Planning and Zoning Commission will hold a public hearing on **Tuesday, March 10, 2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, March 16, 2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases> .

### **Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District**

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

### **Z2020-002 SUP for Residential Infill for 702 Parks Avenue**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

### **Z2020-003 SUP for Residential Infill for 610 Parks Avenue**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

### **Z2020-004 SUP for Residential Infill for 705 Peters Colony**

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

### **Z2020-005 SUP for Residential Infill for 703 Peters Colony**

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

**Z2020-006 SUP for an Accessory Building**

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

**Z2020-007 Text Amendment to Article VIII, Landscape and Screening**

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

**Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment**

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

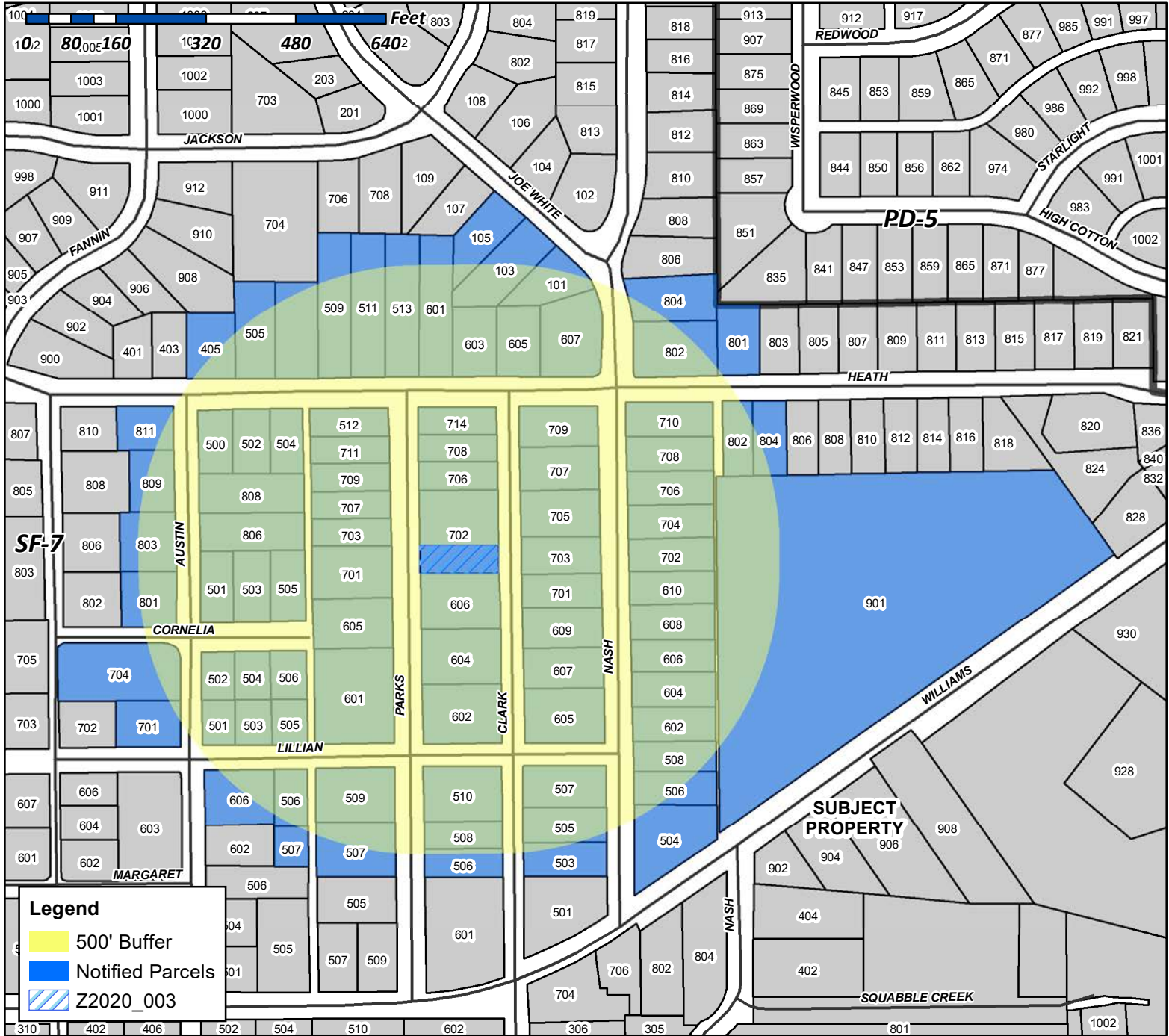
<http://www.rockwall.com/planning/>



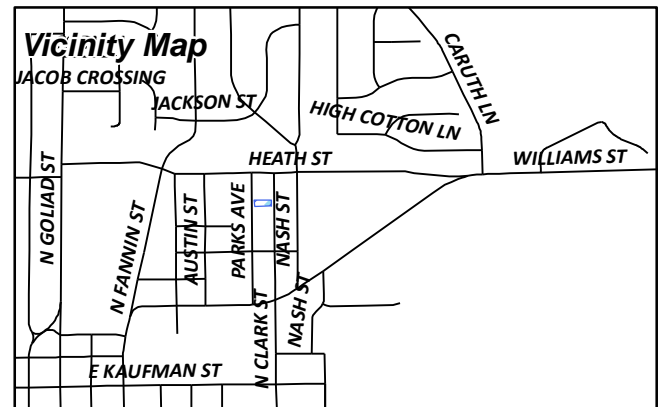
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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(W): www.rockwall.com

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**Case Number:** Z2020-003  
**Case Name:** SUP for 610 Parks Ave.  
**Case Type:** Zoning  
**Zoning:** SUP  
**Case Address:** 610 Parks Ave.



**Date Created:** 2/18/2020  
**For Questions on this Case Call** (972) 771-7745

ROLAND RANDY C AND ANDREA B  
101 JOE WHITE ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
103JOE WHITE  
ROCKWALL, TX 75087

SILVA MANUEL  
1041 E FM 552  
ROCKWALL, TX 75087

CURRENT RESIDENT  
105JOE WHITE  
ROCKWALL, TX 75087

BREWER SHERI RENEE  
119 SUNRISE VISTA WAY  
PONTE VEDRA, FL 32081

SABRSULA MELISSA  
1571 ANNA CADR RD  
ROCKWALL, TX 75087

KENNEDY HAYLEY  
201 CHAMPION DR  
WYLIE, TX 75095

RIPSTOP PROPERTIES LLC  
205 S CLARK STREET  
ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A  
210 GLENN AVE  
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES  
213 SOVEREIGN CT  
ROCKWALL, TX 75032

GRIFFIN PATTY JEAN CORNELIUS  
2140 AIRPORT RD  
ROCKWALL, TX 75087

PARK ALLEN  
2301 LAFAYETTE DR  
HEATH, TX 75032

KAUFMANN EVAN J  
2312 BAHAMA RD  
AUSTIN, TX 78733

GLASS JERRY R  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

ZYLKA JOE AND BONNIE  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

VANHORN PENNI AND  
JOE ZYLKA AND BONNIE ZYLKA  
3021 RIDGE RD STE A-66  
ROCKWALL, TX 75032

CURRENT RESIDENT  
405EHEATH  
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D  
500 E HEATH ST  
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M  
501 CORNELIA ST  
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN  
501 LILLIAN ST  
ROCKWALL, TX 75087

BARNETT GEORGE S  
502 CORNELIA ST  
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA  
502 E HEATH ST  
ROCKWALL, TX 75087

SHERMAN PATRICIA AND MARK  
503 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
503CORNELIA  
ROCKWALL, TX 75087

TANTON MELVIN V JR  
504 E HEATH ST  
ROCKWALL, TX 75087

CURRIE DUNCAN & JOETTA  
504 NASH STREET  
ROCKWALL, TX 75087

CURRENT RESIDENT  
504CORNELIA  
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR  
505 CARRIAGE TRAIL  
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN  
505 CORNELIA  
ROCKWALL, TX 75087

BARRON GILDARDO  
505 LILLIAN ST  
ROCKWALL, TX 75087

DAVIS JUDY  
505 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
505EHEATH  
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE  
506 LILLIAN ST  
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT  
506 NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
506CORNELIA  
ROCKWALL, TX 75087

CURRENT RESIDENT  
506PARKS  
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE  
507 NASH ST  
ROCKWALL, TX 75087

TOLMAN BROOKS  
507 PARKS AVE  
ROCKWALL, TX 75087

CAWTHON RICK  
508 NASH ST  
ROCKWALL, TX 75087

FREEMAN WILLIAM B JR  
508 PARKS AVE  
ROCKWALL, TX 75087

DOROTIK DAVID W  
509 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
509EHEATH  
ROCKWALL, TX 75087

RICHARDSON PATRICE  
510 COVE RIDGE RD  
HEATH, TX 75032

CURRENT RESIDENT  
510PARKS  
ROCKWALL, TX 75087

COATS LOIS LOUISE  
512 E HEATH ST  
ROCKWALL, TX 75087

DENNIS KIMBERLY  
513 E HEATH ST  
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH  
601 PARKS AVE  
ROCKWALL, TX 75087

STEGALL VENTURES LLC  
601 SUNSET HILL DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
601EHEATH  
ROCKWALL, TX 75087

SIMMONS APRIL R  
602 NASH STREET  
ROCKWALL, TX 75087

LEAL ROLAND & CAROL  
602 PARKS AVENUE  
ROCKWALL, TX 75087

SUTTON JUDITH A  
603 E HEATH ST  
ROCKWALL, TX 75087

HOWARD DEBORAH K  
604 NASH ST  
ROCKWALL, TX 75087

FUQUA MATTHEW  
604 PARKS AVE  
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA  
605 NASH ST  
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM  
605 PARKS AVE  
ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD  
605 STORRS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
605EHEATH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
605PARKS  
ROCKWALL, TX 75087

DANIEL RODNEY  
606 AUSTIN ST  
ROCKWALL, TX 75087

GALASSI TORI D  
606 NASH ST  
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN  
606 PARKS AVE  
ROCKWALL, TX 75087

SPERLING SANDY  
607 E HEATH ST  
ROCKWALL, TX 75087

BHATIA SACHIT S AND  
LAURA NICOLE JONES  
607 NASH STREET  
ROCKWALL, TX 75087

STARK ROBERT S & TINA J  
607 SAINT MARY ST  
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA  
608 NASH ST  
ROCKWALL, TX 75087

TORRES ROSIE  
609 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
610NASH  
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H  
6634 DAVIS DR  
ROYSE CITY, TX 75189

CASTRO RENE & BETSY  
700 WINDSONG LN  
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE  
701 AUSTIN ST  
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA  
701 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
701NASH  
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER  
702 NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
702PARKS  
ROCKWALL, TX 75087

ELLISTON REBECCA S  
703 NASH STREET  
ROCKWALL, TX 75087

HANSON BRANDON R  
703 PARKS AVE  
ROCKWALL, TX 75087

THOMAS TRACY  
704 KERNODLE ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
704NASH  
ROCKWALL, TX 75087

RUSHING BRIAN AND  
CHANEL KENTOPP  
705 NASH ST  
ROCKWALL, TX 75087

ARELLANO JESUS L &  
CYNTHIA A HERRERA  
706 NASH ST  
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN  
706 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707PARKS  
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D  
708 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
708NASH  
ROCKWALL, TX 75087

BARRON ARMANDO  
709 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
709NASH  
ROCKWALL, TX 75087

STARK ROBERT C  
710 AGAPE ST  
ROCKWALL, TX 75087

KING MISTY  
710 NASH STREET  
ROCKWALL, TX 75087



NIXON ALBERT  
711 PARKS AVE  
ROCKWALL, TX 75087

CONAWAY SUE ANN  
7123 OCONNELL ST  
ROCKWALL, TX 75087

PALMER LINDA C  
714 PARKS AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
801AUSTIN  
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA  
802 E HEATH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
802NASH  
ROCKWALL, TX 75087

CURRENT RESIDENT  
803AUSTIN  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
804NASH  
ROCKWALL, TX 75087

AUSTIN TRENTON C  
806 AUSTIN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
808AUSTIN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
809AUSTIN  
ROCKWALL, TX 75087

JENNINGS AMANDA L  
811 AUSTIN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
811AUSTIN  
ROCKWALL, TX 75087

MCCLAIN LOUETTA  
8309 TURNBERRY ST  
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C  
880 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
901WILLIAMS  
ROCKWALL, TX 75087

BELANGER CORKY  
921 N ALAMO RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
EHEATH  
ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE  
RICHARD D WIMPEE AND JUDY A HARRIS AND  
JOE E WIMPEE AND JERRY M WIMPEE 704 E  
MAPLE ST  
FAYETTEVILLE, AR 72701

KINDRED ROBERT M  
P.O. BOX 261638  
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC  
PO BOX 811  
ROYSE CITY, TX 75189

CURRENT RESIDENT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
ROCKWALL, TX 75087



# NOTICE OF PUBLIC HEARING

## CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2020-003: 610 Parks Avenue**

*Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales**  
**Rockwall Planning and Zoning Dept.**  
**385 S. Goliad Street**  
**Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



**MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:**  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

**PLEASE RETURN THE BELOW FORM**

**Case No. Z2020-003: 610 Parks Avenue**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

**Name:**

**Address:**

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

**PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE**



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----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2020-003: 610 Parks Avenue**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

No problem having a house there

Name: Aiena Lopez  
Address: 605 E Heath St. Rockwall TX 75087

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLEASE RETURN THE BELOW FORM  
PLEASE RETURN THE BELOW FORM

Case No. Z2020-003: 610 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

I DO NOT OBJECT TO A 2-STORY HOUSE.

Name: LOUIS LOUISE COATS Lois Louise Coats  
Address: 512 E. HEATH ST. ROCKWALL, TX 75087-2221

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748



# NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



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**Case No. Z2020-003: 610 Parks Avenue**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*We are opposed to a 2 story house exceeding 2000 ft<sup>2</sup> on a single 0.161 ac lot. This overwhelms both the lot and the surrounding homes.*

**Name:** *DAVID DOROTIK LD 3/8/2020*  
**Address:** *509 PARKS AVE, ROCKWALL*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Gonzales, David

---

**From:** Planning  
**Sent:** Monday, March 9, 2020 9:51 AM  
**To:** Gonzales, David  
**Subject:** FW: 702 Parks and 610 Parks

---

**From:** Alison Odom [REDACTED]  
**Sent:** Friday, March 6, 2020 8:54 PM  
**To:** Planning <planning@rockwall.com>  
**Subject:** 702 Parks and 610 Parks

Hello,

I am writing to express my concern about items (7) Z2020-002 and (8) Z2020-003 on the planning agenda for Tuesday, March 10, 2020. The addresses are 702 Parks and 610 Parks. I won't be able to speak at the meeting on Tuesday, so I'm writing this letter. I think it's important to point out to the Planning and Zoning board that the two homes in these items are to be placed on two of three lots that comprise the old address of 702 Parks. These are especially skinny lots and the size of the homes proposed will fill the entire width of the lot. While there are two SUPs requested at this time, there is a 3rd lot that is either currently for sale, or will be sold, and a third home will likely be built. It's important to remember how this will look when all three homes are built. I fear these three large homes will be squeezed onto these lots and loom over the existing smaller homes on either side. The reason the owners have to get the Special Use Permit is because the Unified Development Code was recently updated to protect established neighborhoods with no HOA to make sure that any infill would be "architecturally and visually similar or complementary to existing housing in the established subdivision". I think the two homes applying for the SUP will be, however, they will be squished onto 2/3 of the available space and a third large home will likely be built on the last lot. The size of the homes would NOT be visually similar or complementary to existing homes on the street. The homes being proposed are beautiful and match our neighborhood. One is two story and one is a single story. The single story is about 2200 square feet and the two story is about 2600 square feet. If it were just the two homes on the triple lot, this would be visually similar and complimentary to existing homes on the street. To add a third home is too much and would not look like the rest of the neighborhood. If three homes need to go on the three lots, they need to be the same size as the surrounding homes, which are about 1600 square feet or less. For your reference, the two story green home at 506 Parks (on the same street) is on the same size lot and is only 1600 square feet.

To approve these SUPs 'as-is' will set a precedence that investors can come in and mow down homes and trees in Old Town Rockwall in order to squeeze as many homes as possible into small spaces to sell and make a profit. This is very dangerous for our neighborhood and could become a slippery slope. This is not the burden of the land owner, she cannot control what happens in our neighborhood. This is the burden of the city to protect our downtown neighborhood. Our Old Town neighborhood is especially susceptible to exploitation with investors purchasing at least 4 properties that I know of in the past few months. The City must help preserve the integrity of what is allowed to be built in our neighborhood. The updated UDC is a wonderful step in the right

direction. If we approve these huge homes on small lots, we could end up with the McMansion effect that has destroyed many old Dallas neighborhoods. Again, I like the plans of the homes that are being proposed, but I do not think they will be visually similar and complement the other homes on the street and in the neighborhood. For this reason I am asking you to deny the SUP, or ask the owner to tweak the size to match the rest of the neighborhood.

Thank you,

Alison Odom

405 N Fannin St.

Rockwall, TX 75087

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## Gonzales, David

---

**From:** Planning  
**Sent:** Tuesday, March 3, 2020 4:54 PM  
**To:** Gonzales, David  
**Subject:** FW: Case No Z2020-003

---

**From:** Elizabeth Trowbridge [REDACTED]  
**Sent:** Tuesday, March 3, 2020 3:22 PM  
**To:** Planning <planning@rockwall.com>  
**Subject:** Case No Z2020-003

Attn: David Gonzales

Rockwall Planning and Zoning Dept.

385 S. Goliad St.

Rockwall, TX 75087

From: Elizabeth Trowbridge

601 Parks Ave

Rockwall, TX 75087

I am unable to attend the March 10 meeting regarding Case No. Z2020-003: 610 Parks Avenue.

**I AM OPPOSED** to the request for the reasons listed below:

- **DENSITY:** They are building 3 huge houses on what will be 3 tiny lots.
- **IT DOES NOT ALIGN** with the Architectural Integrity of the neighborhood
- Large two-story houses **do not fit** in the neighborhood.



- (Reference the house on the 400 block of Clark St. that looms over the neighboring houses.) Hideous!
- This new build will ruin the **integrity** of neighborhood.
- **This is the “historic” old town of Rockwall and with that comes a certain charm, aesthetic and characteristics of the homes and the neighborhood.**
- We don’t want teardowns and big builds. I am afraid this will set a precedent for other small houses to be torn down and oversized houses to be built.

What is great about our neighborhood is that it is truly a melting pot of new and old Rockwall. There are families that have lived here for more than 40 years than can tell stories about the neighborhood. The people that live here are invested in improving the neighborhood and enhancing their homes – not tearing down and building huge eyesores. I am afraid that if this passes, the smaller houses/homeowners on our street will be preyed upon to try to sell for more “investors” to tear down and change our wonderful neighborhood. They have already torn down 100-year-old trees when they could have easily kept them.

Please do not approve this as is.

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## Gonzales, David

---

**From:** Planning  
**Sent:** Wednesday, March 4, 2020 7:45 AM  
**To:** Gonzales, David  
**Subject:** FW: 600 Block on Parks Ave

---

**From:** Maggie Dingwell [REDACTED]  
**Sent:** Tuesday, March 3, 2020 9:11 PM  
**To:** Planning <planning@rockwall.com>  
**Cc:** [REDACTED]  
**Subject:** 600 Block on Parks Ave

To whom it may concern,

My husband and I are residents at 605 Parks Ave - right across the street from the projected 610 and 702 Parks Ave lot where a single family home was recently torn down. When we heard the plan that the area was being zoned for three homes, we were shocked and disappointed. Not to mention, we were also made aware that these “two-story homes”, will be more like three-story as the roof lines will not be synonymous with the other two-story homes on our street. In addition, all the trees were destroyed making the space look desolate and totally out of place.

The downtown Rockwall area is a special place - full of character where each home takes on its own unique look. To learn that the new owner is projecting to have three, “three-story” homes is a devastating. The current houses on the street have space between one another, one of the many features that makes this neighborhood so wonderful. This is not a new area, like Fate, where there are no trees and houses look identical. We take pride, as all of the residents do, in enhancing our homes to make it a beautiful place to live.

I pray that the city respects this area and does not pass this plan - to build three mansions just feet away from one another. Think about the neighbors on either side of these homes. These new builds will tower over them, twice as high, taking away the charm of the neighborhood. If this is passed, it will set a precedent for when other homes on the block go up for sale, and an owner comes in, tears it down, and chooses to build a ridiculously massive house - a style that doesn't belong here.

This isn't your typical neighborhood. The history and the families making memories, makes it a place where people want to make it their forever home. We have a one year old daughter who we are blessed to have grow up on this street. We take her on wagon rides and go on our family walks up and down Parks Ave - I would hate to see the look of our neighborhood change because a person who doesn't live here wants to make a pretty penny on the land. We are absolutely for making the homes better, fixing them up - but not in this way.

Please don't build “three-story” homes. Respect this neighborhood and those that live here.

Thank you for your time.  
Maggie and Adam Dingwell

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## Gonzales, David

---

**From:** Planning  
**Sent:** Monday, March 9, 2020 3:13 PM  
**To:** Gonzales, David  
**Subject:** FW: items (7) Z2020-002 and (8) Z2020-003

-----Original Message-----

From: Taylor Pointer [REDACTED]  
Sent: Monday, March 9, 2020 2:45 PM  
To: Planning <planning@rockwall.com>  
Subject: items (7) Z2020-002 and (8) Z2020-003

Dear planning and zoning,

I am writing to regarding items (7) Z2020-002 and (8) Z2020-003 on the planning agenda for Tuesday, March 10, 2020. The addresses are 702 Parks and 610 Parks. We are out of town for spring break so will be unable to attend the meeting so we are writing to express our concern about the two homes to be placed on two of three lots on the old address of 702 Parks. We ask that the owner of the land build only the two houses on the three lots so that, just as the Unified Development Code which was recently updated to protect established neighborhoods with no HOA, the two houses would remain "architecturally and visually similar or complementary to existing housing in the established subdivision".

If three houses must be approved, we ask that they match the surrounding houses by decreasing the sq ft to about 1600 sq ft to again match the neighborhood.

This is such an important precedence as investors have started to buy properties in Old Town Rockwall likely with the plan to mow them down along with their beautiful trees in order to squeeze as many homes as possible into small spaces to sell and make a profit. Please protect our neighborhood from this! The City MUST help preserve the integrity of Old Town and make careful consideration on what is allowed to be built. We are grateful for the updated UDC. Huge homes on small lots, do NOT preserve the integrity of Old Town. Please deny the SUP, or request the owner to build three smaller homes.

Thank you!

Sincerely,  
Taylor and Price Pointer  
602 Williams St  
Rockwall, TX 75087

Sent from my iPhone

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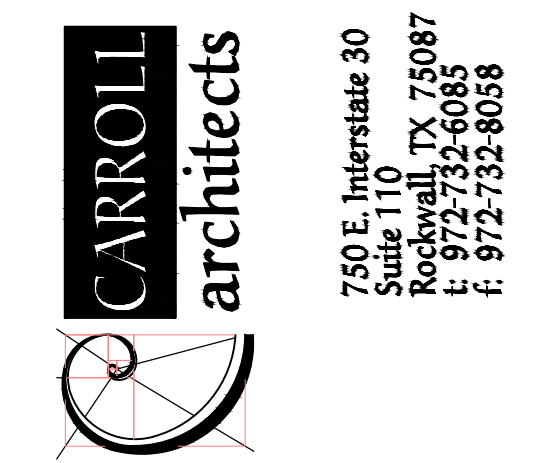
# PROPOSED RESIDENCE FOR MURPHY 610 Parks Ave. Rockwall, Texas 75087

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ISSUE:	OWNER REVIEW:
	10-25-2019
	11-12-2019

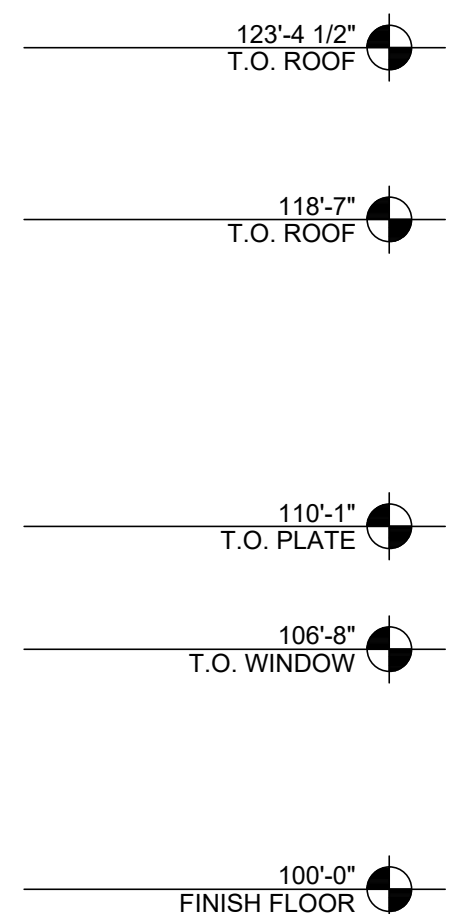
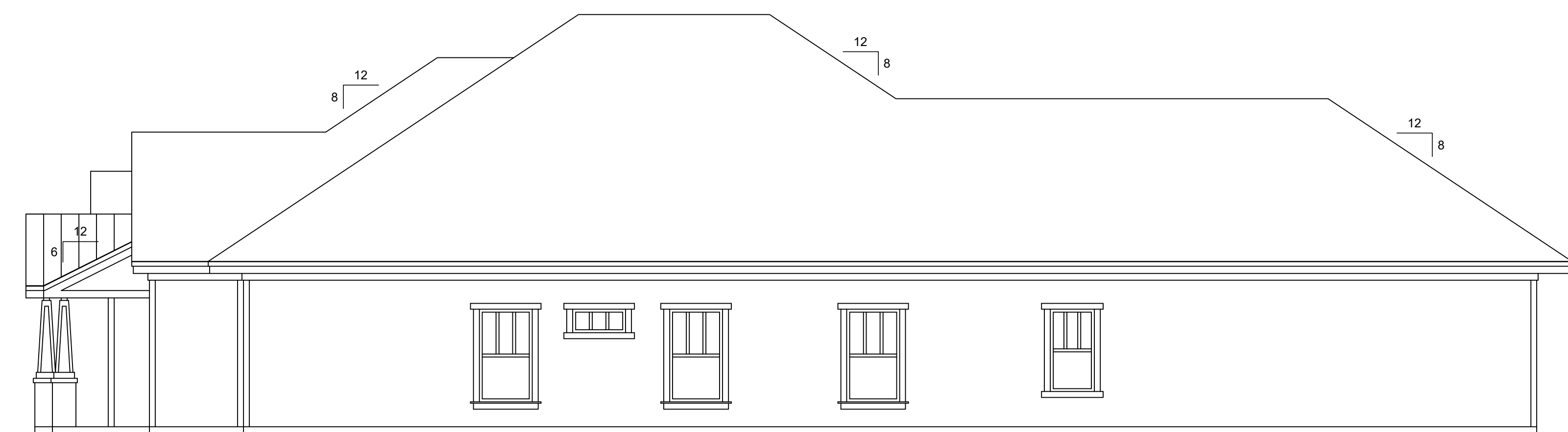
PROPOSED RESIDENCE FOR  
**MURPHY**  
610 Parks Ave.  
Rockwall, Texas 75087

MR. SAM &  
MEGAN MURPHY  
Wild Oak  
Rockwall, TX, 75087

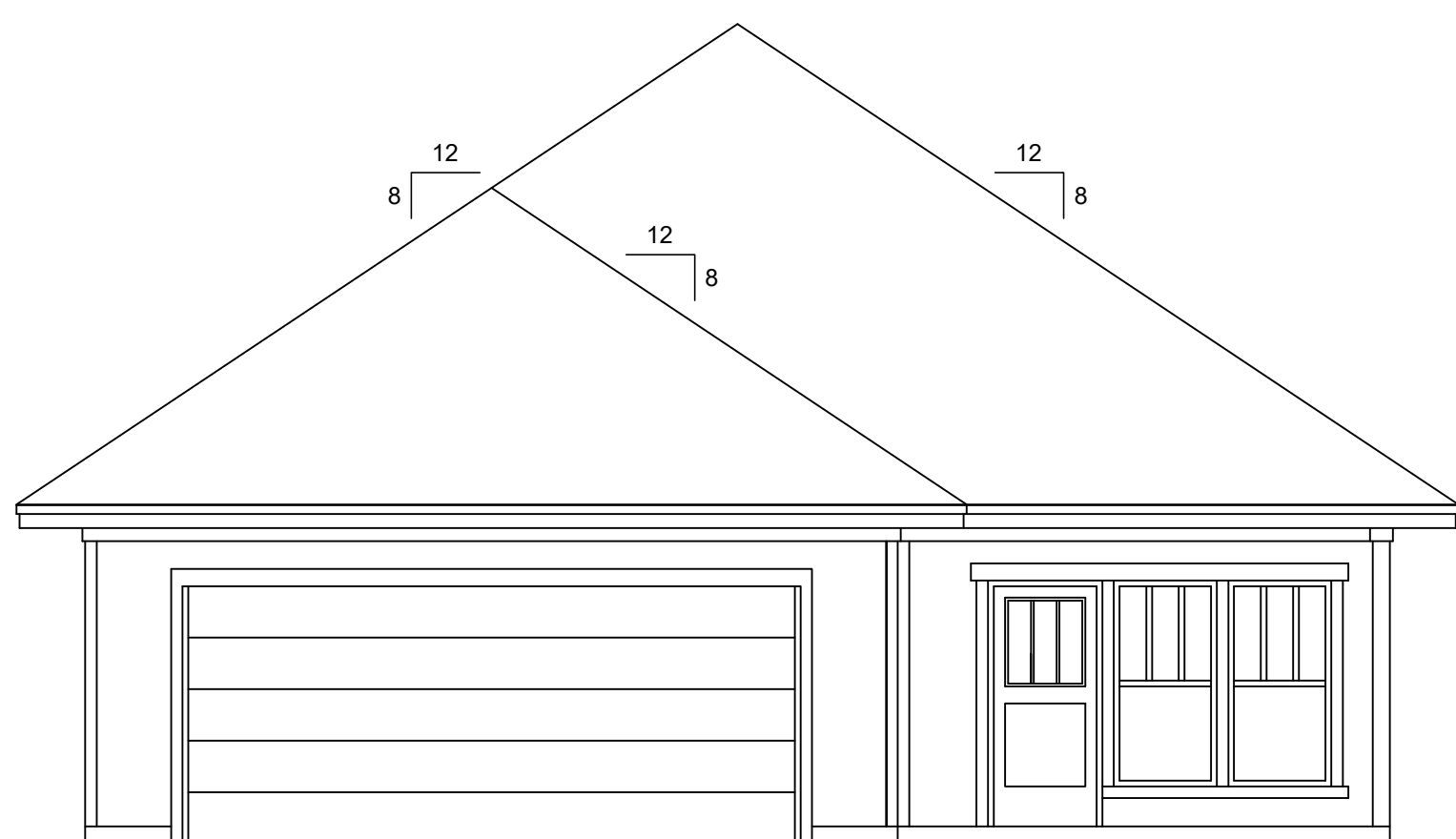


COVER PAGE

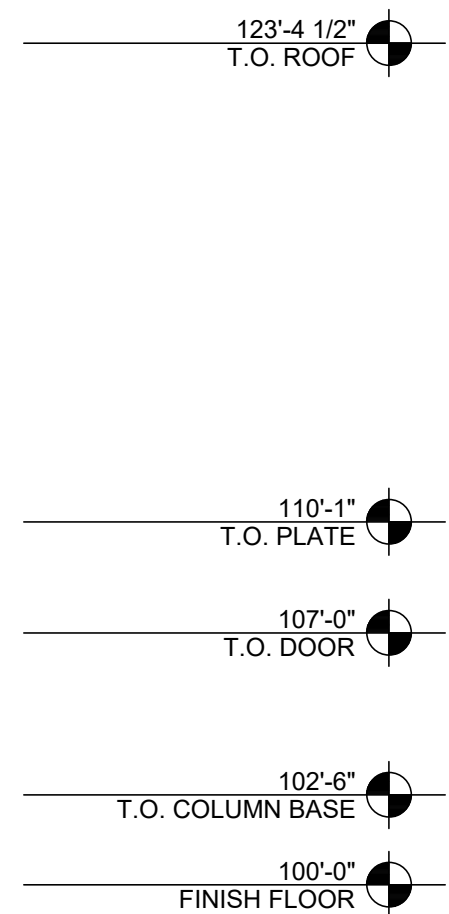
DATE:	OCT 2019	SHEET NO.:	
PROJECT NO.:	2019060		
DRAWN BY:			<b>COVER</b>
CHECKED BY:			



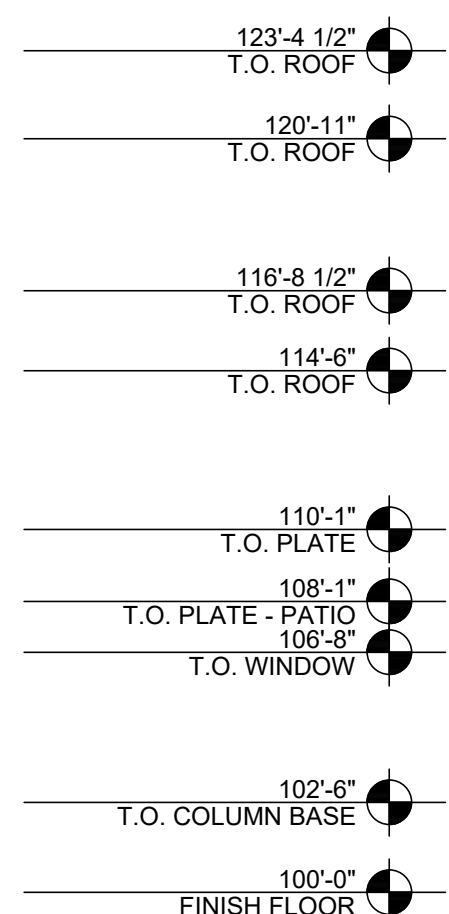
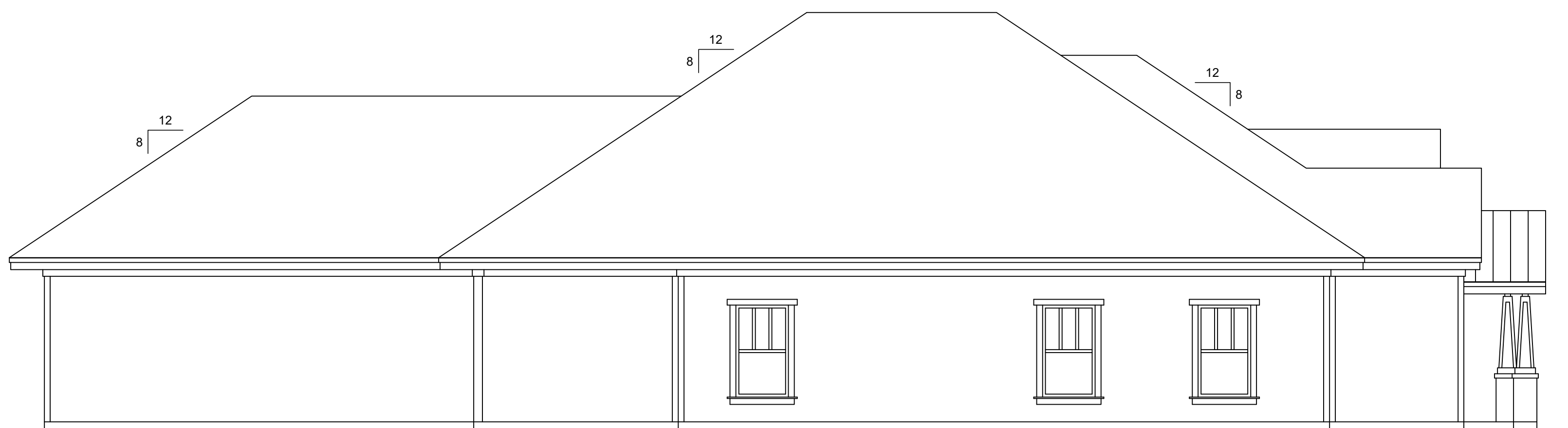
**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
<b>A</b>	HARDIE BOARD SIDING, FASCIA & TRIM, COLOR: GRAY
<b>B</b>	HARDIE BOARD SIDING, COLOR: GRAY
<b>C</b>	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR: ZINC GREY
<b>D</b>	PREFINISHED ALUMINUM FLASHING, COLOR TO MATCH SIDING
<b>E</b>	ENTRY DOORS AS SELECTED
<b>F</b>	WINDOW - INSULATED, COLOR: BLACK
<b>G</b>	COMPOSITION ASPHALT ROOF, TYP., (270lbs)
<b>H</b>	4X6 GUTTER & DOWNSPOUT - PREFINISHED, COLOR: AS SELECTED BY OWNER
<b>J</b>	GABLE END, 8" DECOR. WOOD TRIM COLOR: WHITE
<b>K</b>	6X6 WOOD POST @ PATIO
<b>L</b>	1X WOOD TRIM @ DECOR. COLUMNS

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ISSUE:	OWNER REVIEW:	DATE:

PROPOSED RESIDENCE FOR  
**MURPHY**  
610 W. Parks Ave.  
Rockwall, Texas 75087

**MR. SAM & MEGAN MURPHY**

Wild Oak  
Rockwall, TX, 75087



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**EXTERIOR ELEVATIONS**

DATE: OCT 2019 SHEET NO.:

OCT 2019

PROJECT NO.: 2019060

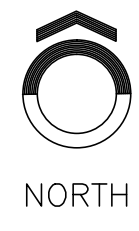
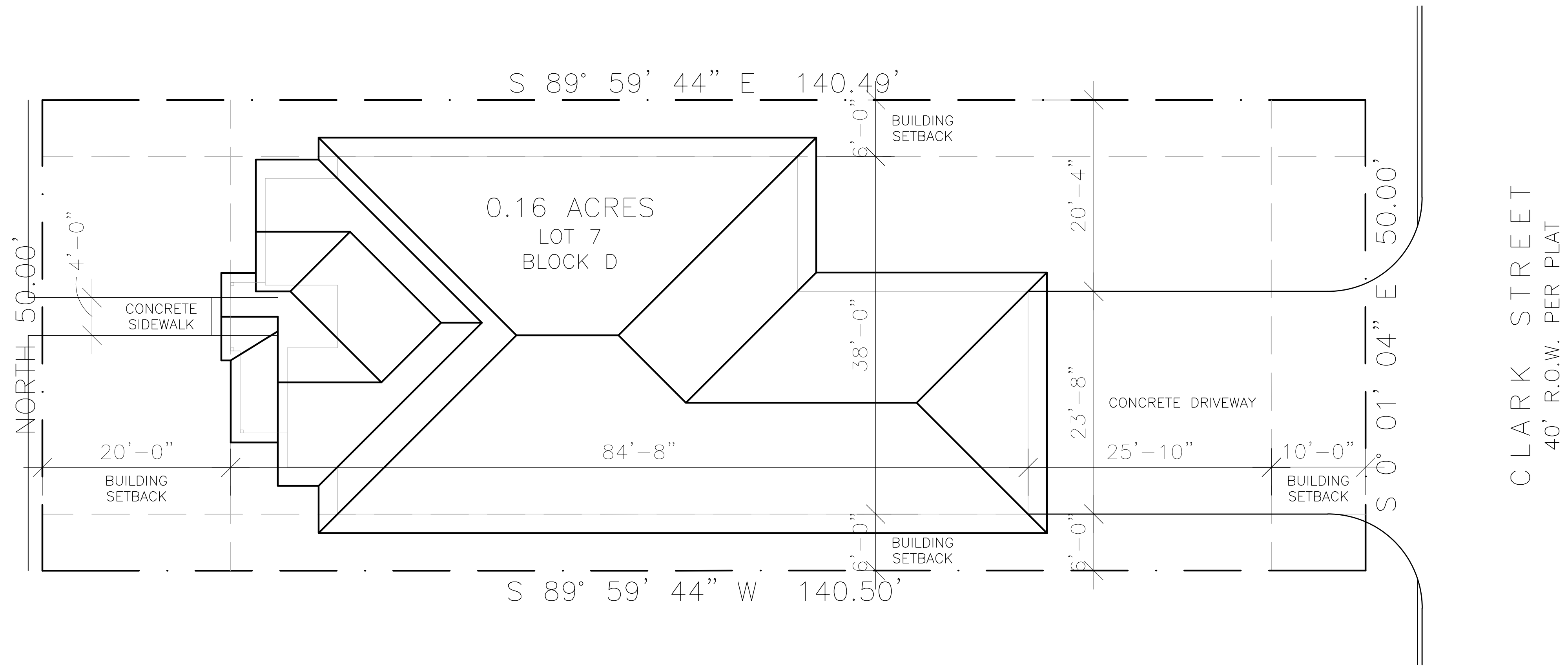
DRAWN BY:

**A501**

CHECKED BY:

MURPHY RESIDENTIAL	
LEGAL DESCRIPTION AND OR ADDRESS:	
LOT 7 Block D Foree tract 610 Park Avenue City of Rockwall, Rockwall County, Texas	
<b>OWNER</b> Mr. Sam & Megan Murphy Wild Oak Rockwall, TX 75032	<b>APPLICANT</b> Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com
CITY OF ROCKWALL CASE NUMBER 22020-003	

PARKS AVENUE  
50' R.O.W. PER PLAT



**1** ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

**TABULATIONS:**

A/C AREA	= 1,870 SF
GARAGE	= 553 SF
FRONT PORCH	= 167 SF
BACK PATIO	= 136 SF
<b>TOTAL COVERED</b>	<b>= 2,726 SF</b>

<b>MURPHY RESIDENTIAL</b>	
<u>LEGAL DESCRIPTION AND OR ADDRESS:</u>	
LOT 7 Block D Foree tract 610 Park Avenue City of Rockwall, Rockwall County, Texas	
<u>OWNER</u> Mr. Sam & Megan Murphy Wild Oak Rockwall, TX 75032	<u>APPLICANT</u> Carrroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrrollarch.com
<u>CITY OF ROCKWALL CASE NUMBER</u> 22020-003	

ISSUE:	OWNER REVIEW:
	10-25-2019
	11-12-2019
	02-24-2020

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PROPOSED RESIDENCE FOR  
**MURPHY**  
610 W. Parks Ave.  
Rockwall, Texas 75087

**MR. SAM &  
MEGAN MURPHY**  
Wild Oak  
Rockwall, TX, 75087

**CARROLL  
architects**  
750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

# ARCHITECTURAL SITE PLAN

DATE: SHEET NO:  
**OCT 2019**

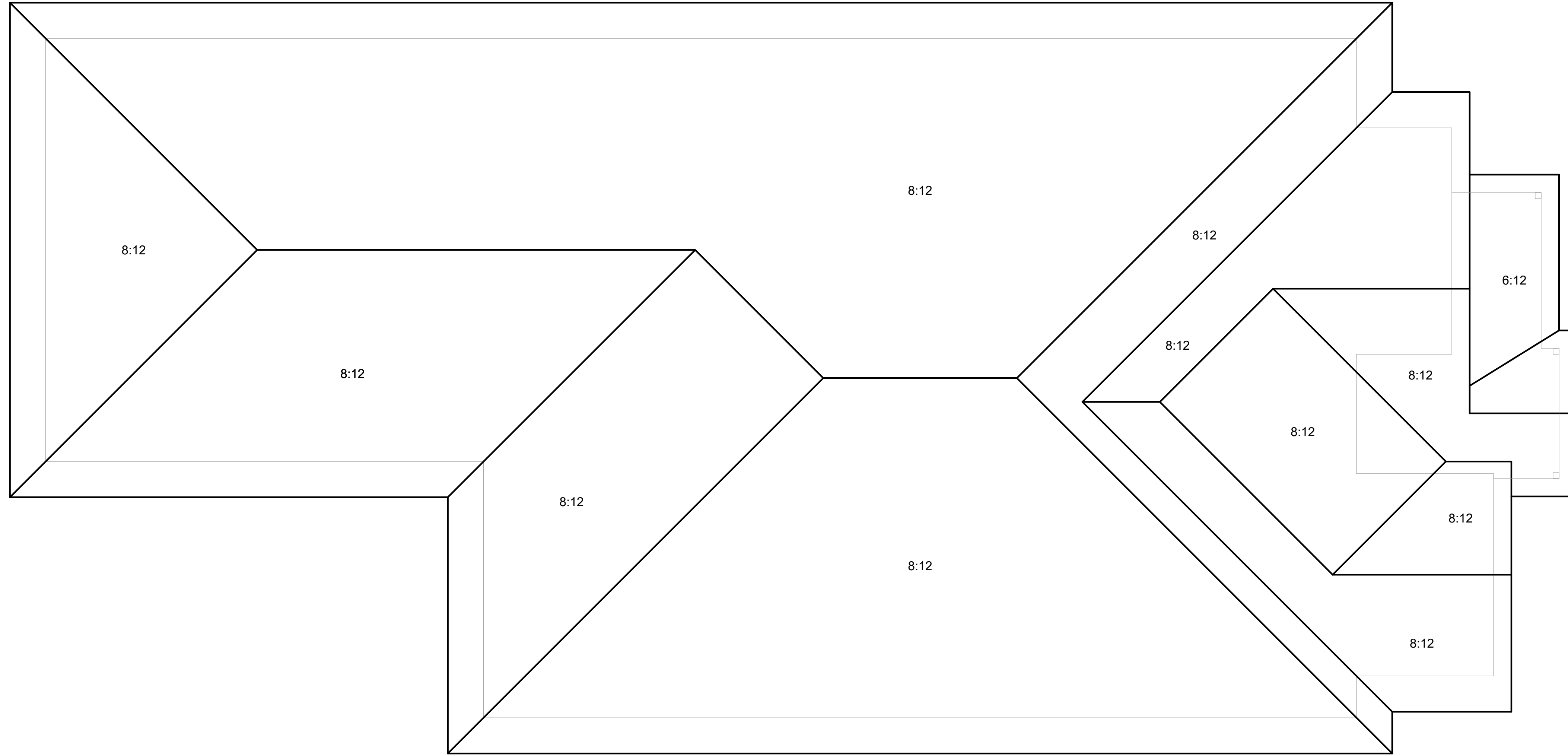
PROJECT NO:  
**2019060**

DRAWN BY:  
**A100**

CHECKED BY:



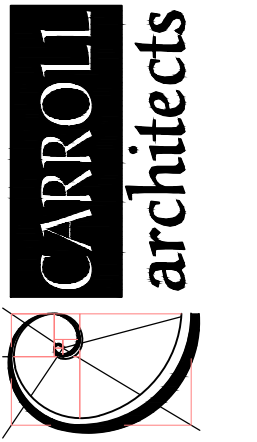




PROPOSED RESIDENCE FOR  
**MURPHY**  
 610 Parks Ave.  
 Rockwall, Texas 75087

MR. SAM &  
 MEGAN MURPHY

Wild Oak  
 Rockwall, TX, 75087



750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058

**ROOF PLAN**

DATE: OCT 2019 SHEET NO:  
 PROJECT NO: 2019060  
 DRAWN BY:  
 CHECKED BY:

**A301**



**1** ROOF PLAN  
 SCALE: 1/4" = 1'-0"

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ISSUE: OWNER REVIEW: 10-25-2019  
 OWNER REVIEW: 11-12-2019

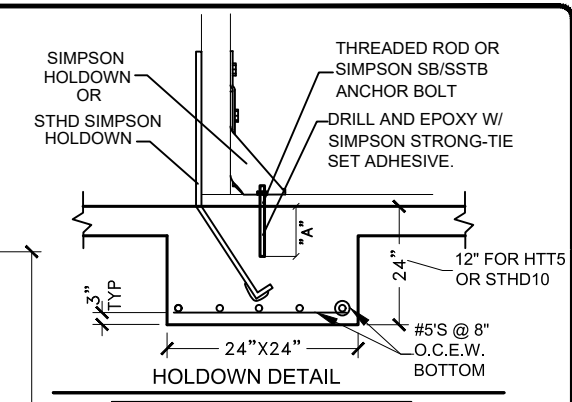


**ERIC L. DAVIS ENGINEERING, INC.**  
 F-3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eidengineering.com

**FOUNDATION PLAN**  
 ENGINEERED FOR:  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY	ELD JOB NO: DIF19-1546
BUILDER: TRITON GENERAL CONTRACTOR	DRAWN BY: RWK
ADDITION: 702 PARKS AVENUE - PR - ROCKWALL, TX	CHECKED BY: ELD
ADDRESS: 610 PARKS AVENUE	AREA: 2,726 SQFT
LOT: 7	BLOCK: D
CITY: ROCKWALL, TX	

SCALE: 1/8" = 1'-0"

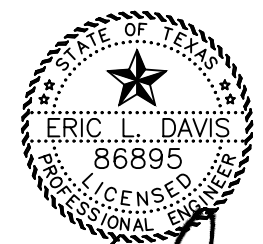


EACH INTERIOR HOLDOWN REQUIRES A 24\"/>

HOLDOWN LOCATION IS APPROXIMATE. EACH INTERIOR HOLDOWN SHALL HAVE A SPREADFOOTING. VERIFY LOCATION SIZE WITH ARCHITECTURALS & SHEARWALL PLAN

SYMBOL	TYPE	NOMINAL DIA. THREADED ROD	"A"
	SIMPSON HTT5 OR SIMPSON STHD10	5/8\"/>	
	SIMPSON STHD14	N/A	N/A
	SIMPSON HDQ8	7/8\"/>	
	SIMPSON HHQ11	1\"/>	
	SIMPSON HHQ14	1\"/>	

- IF USING STHD10 OR STHD14 HOLDOWNS, CONTRACTOR SHALL PLACE HOLDOWNS AT CONCRETE POUR STAGE.
- SSW ANCHORING SHALL BE PLACED AT CONCRETE POUR STAGE.
- SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



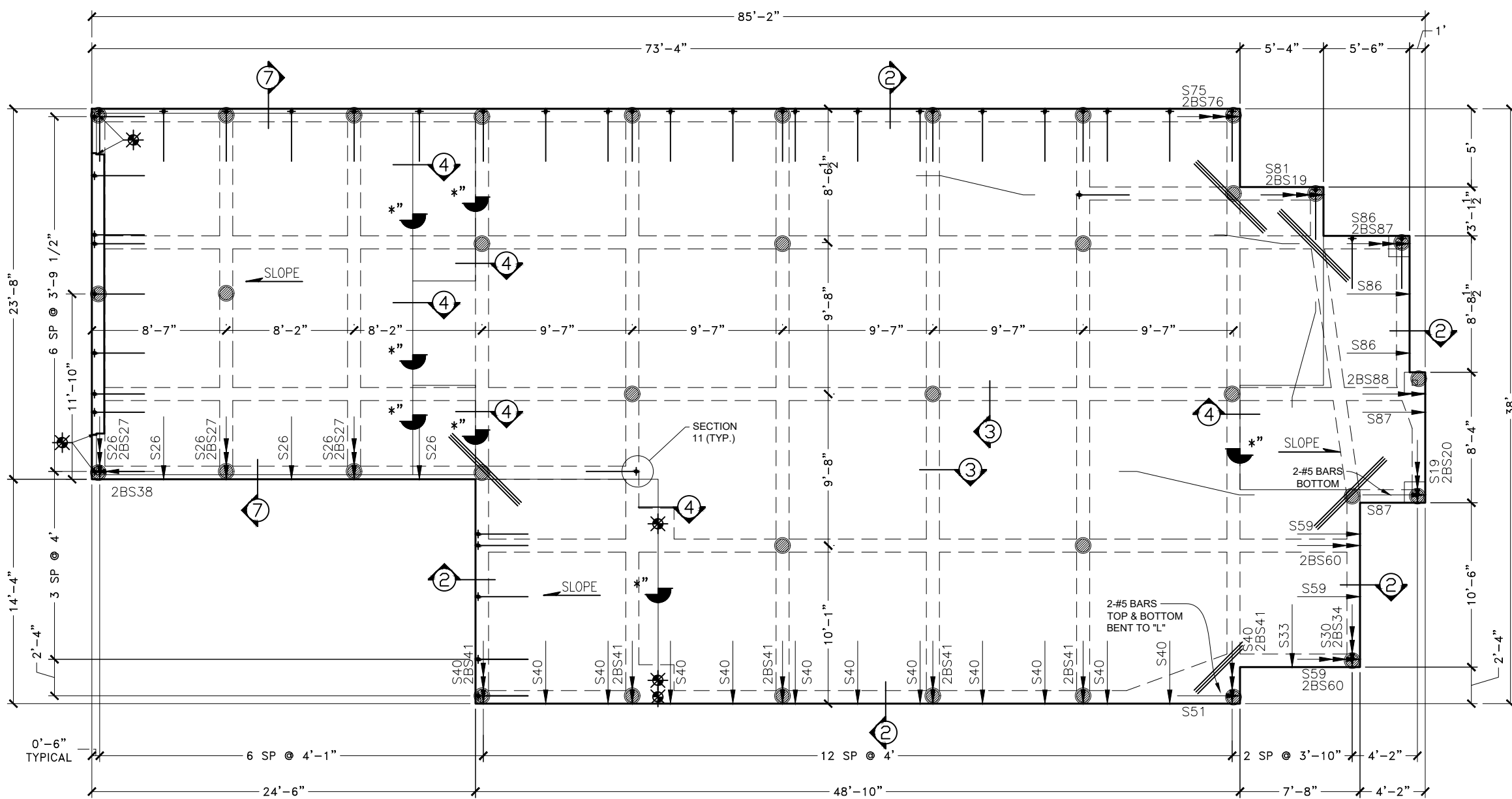
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- NOTE:
- SLAB THICKNESS T = 4"
  - BEAM DEPTH H = 32"
  - BEAM WIDTH W = 10"
  - SXX DENOTES SLAB STRAND
  - BSXX DENOTES BEAM STRAND

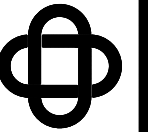
- PLAN LEGEND
- DENOTES ONE STRAND TO BE STRESSED.
  - DENOTES TWO STRANDS TO BE STRESSED.
  - DENOTES THREE STRANDS TO BE STRESSED.
  - DENOTES FACTORY SEATED END.
  - DENOTES CONCRETE CHAIR.
  - DENOTES DIMENSION TO BE VERIFIED.
  - DENOTES DIFFERENCE IN FINISH FLOOR ELEVATIONS.
  - DENOTES 3-#4 BARS X 6'-8\"/>
  - "L" BARS SHALL BE 4'-0\"/>

NOTE: SITE PREPARATION SHOULD CONSIST OF REMOVING ALL EXISTING FOUNDATIONS, PAVED AREAS AND UNDESIRABLE MATERIALS. THE EXPOSED SUBGRADE SHOULD BE PROOF-ROLLED TO DETECT WEAK AREAS WHICH SHOULD BE EXCAVATED, PROCESSED AND RECOMPACTED WITH SELECT FILL IN ACCORDANCE WITH THE PROVISIONS IN HOOPER GEOTECHNICAL REPORT NO. 19.386 DATED 12/3/2019.

CONTRACTOR SHALL WATER PAD 72 HOURS CONTINUOUS PRIOR TO CONSTRUCTION OF FOUNDATION



- DRILLED PIERS
- ALL DRILLED PIERS SHALL BE 12" IN DIAMETER WITH 2-#5 BARS VERTICAL.
  - PIERS SHALL BE PLACED TO A MINIMUM DEPTH OF 7 FEET INTO FIRM GRAY MARL FOUND AT AN APPROXIMATE DEPTH OF 12 FEET BELOW NATURAL GRADE.
  - PIERS SHALL NOT BE STRUCTURALLY TIED TO FOUNDATION UNLESS NOTED OTHERWISE.
  - TEMPORARY CASING MAY BE REQUIRED.



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FOUNDATION DETAILS  
ENGINEERED FOR:  
TRITON GENERAL  
CONTRACTOR

PLAN: MURPHY  
ELD JOB NO: DIF19-1546  
DRAWN BY: RWK  
CHECKED BY: ELD  
AREA: 2,726 SQFT  
BUILDER: TRITON GENERAL CONTRACTOR - PR -  
ADDITION: 702 PARKS AVENUE - ROCKWALL, TX  
ADDRESS: 610 PARKS AVENUE  
LOT: 7 BLOCK: D  
CITY: ROCKWALL, TX

SCALE: N.T.S.

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH. STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE. ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L" BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GREATER.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS," I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

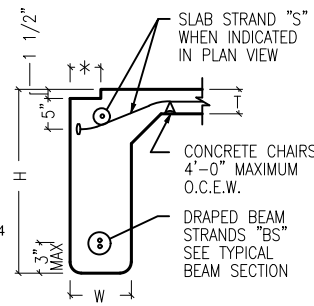
- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUND IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

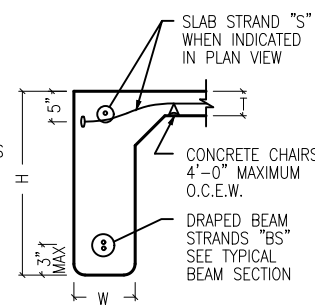
- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.
- LIMITATIONS
- A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.
  - THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST-TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.
  - FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
  - BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER, WITH OWNER'S RECEIPT ACKNOWLEDGED.

BEAM CABLE NOTE

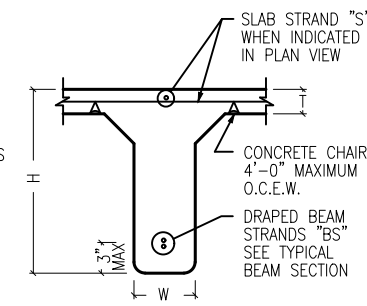
- BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
- SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



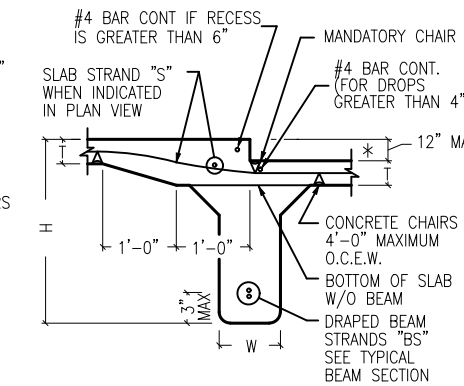
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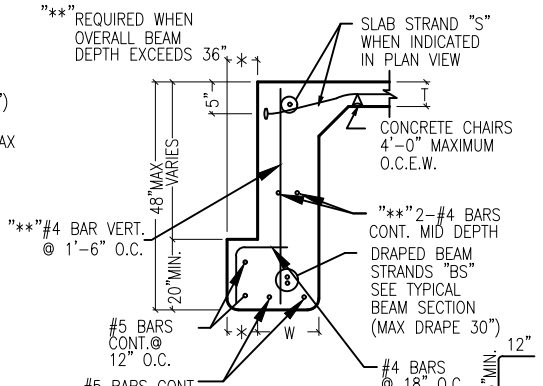
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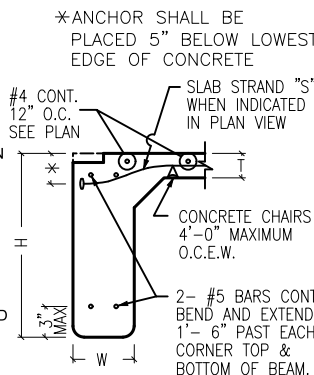
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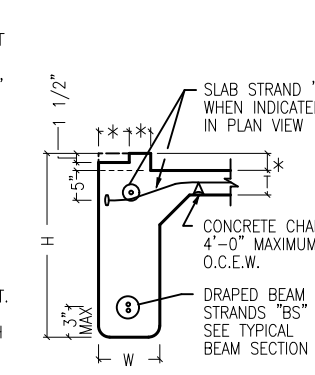
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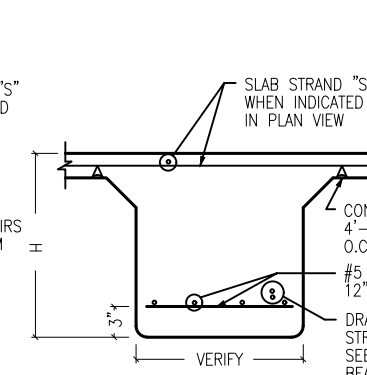
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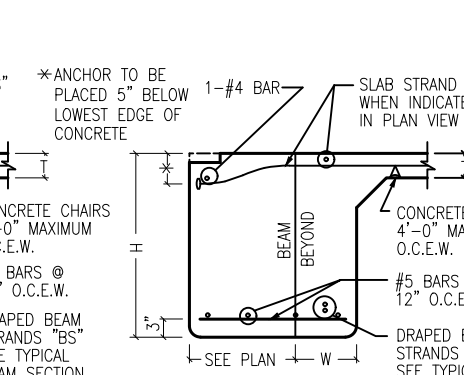
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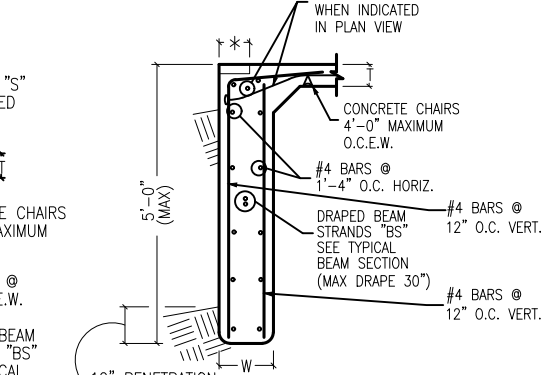
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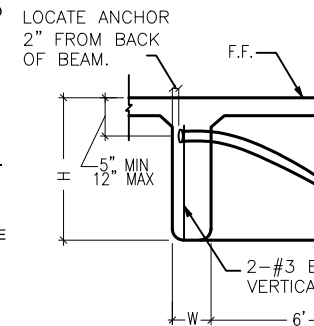
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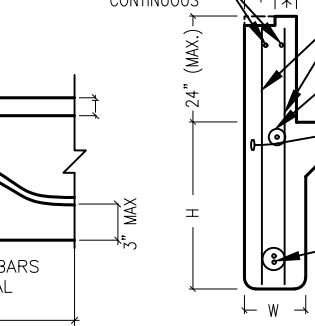
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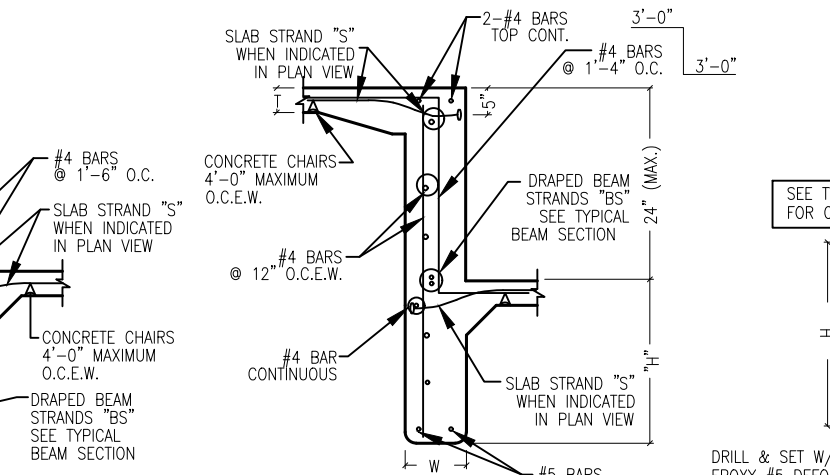
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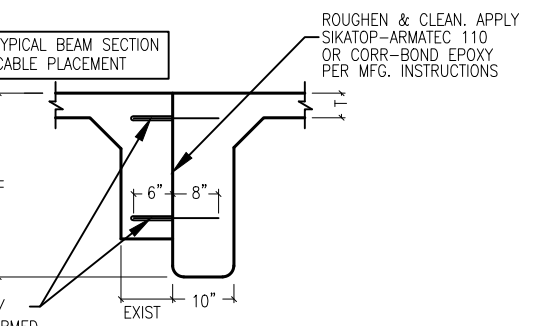
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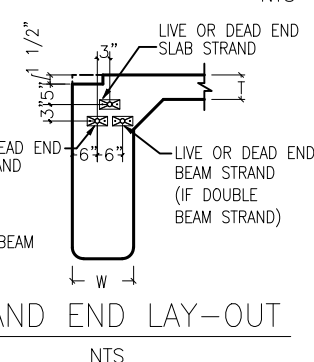
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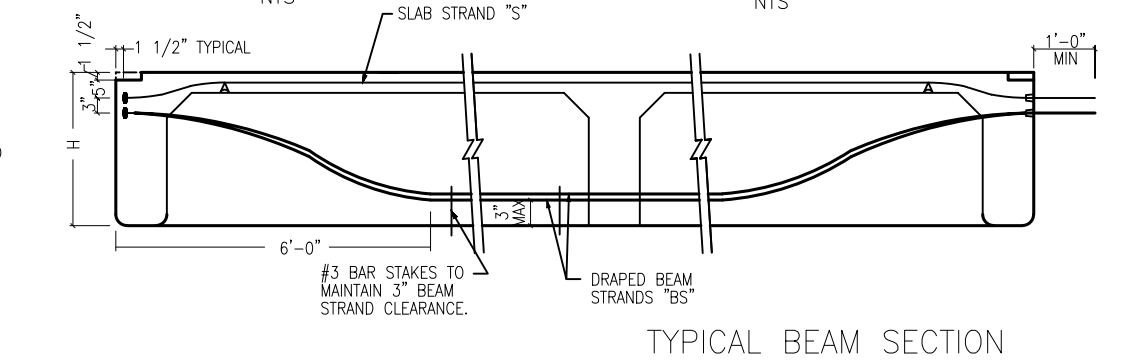
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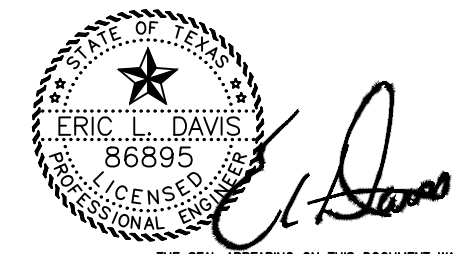
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STRAND END LAY-OUT  
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TYPICAL BEAM SECTION  
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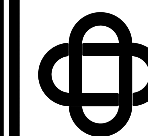


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GENERAL NOTES & TYPICAL SECTIONS FOR POST-TENSIONED CABLE FOUNDATIONS

THIS POST-TENSION CABLE FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THIS SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATIONS IS PROHIBITED.

POST-TENSION CABLES ARE TO BE SUPPLIED BY A PTI CERTIFIED PLANT.



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 E-Mail ericdavis@eldengineering.com

TRITON GENERAL CONTRACTOR  
 ENGINEERED FOR

PLAN: MURPHY  
 ELD JOB NO: DIF19-1546  
 DRAWN BY: RC  
 CHECKED BY: ELD  
 BUILDING: TRITON GENERAL CONTRACTOR  
 ADDITION: 702 PARKS AVENUE - PR - ROCKWALL, TX  
 ADDRESS: 610 PARKS AVENUE  
 LOT: 7 BLOCK: D  
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

SW-01

**SYMBOL KEY**

	SIMPSON STHD10 or HTT5 HOLDOWN
	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING

**FASTENING FOR THERMO PLY**

MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/4" LEGS	3 - PANEL EDGES 3 - INTERMEDIATES SUPPORTS

**NOTE:**  
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" PROVIDE 2x4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 10'-0" TO 15'-0", PROVIDE 2x6 CONTINUOUS STUDS @ 16" O.C.  
 2) PROVIDE 2x6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH 2015 I.R.C.

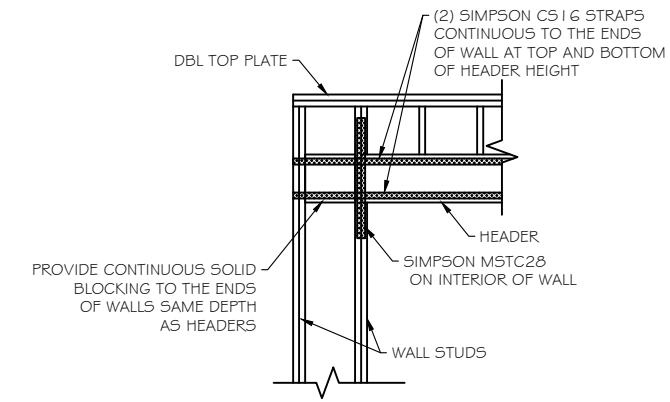
**DESIGN BASED ON 115 MPH ULTIMATE DESIGN WIND SPEED, EXPOSURE B.**  
 IF CONDITIONS VARY, CONTACT THIS OFFICE.

**STUD HEIGHT SCHEDULE**

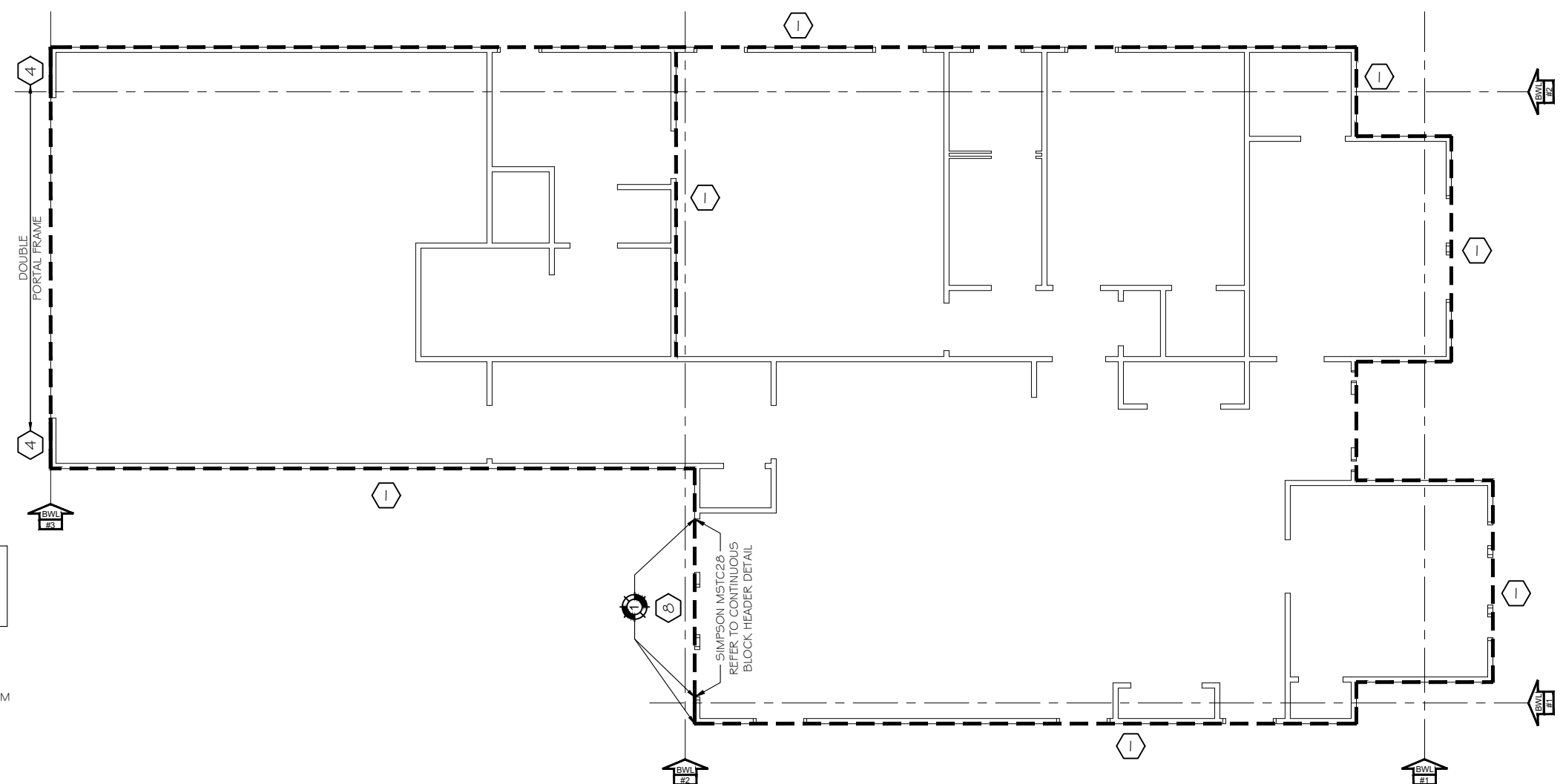
STUD SIZE	WALL HEIGHT										STUDS ON CENTER	
	8'	9'	10'	11'	12'	13'	14'	15'	16'	18'		19'
2x4	16"	16"	16"	NOTE C	NOTE C							
2x6				16"	16"	16"	16"	16"	12"	12"	(2) 16"	(2) 16"
2x8									16"	16"	16"	16"

A) 115 M.P.H. EXP. B  
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.  
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)

**8** FULLY SHEATH WALL W/ 7/16" OSB (MIN.) ATTACH TO 2x4 STUDS @ 16" O.C. W/ 8d NAILS @ 3"/12" PATTERN.



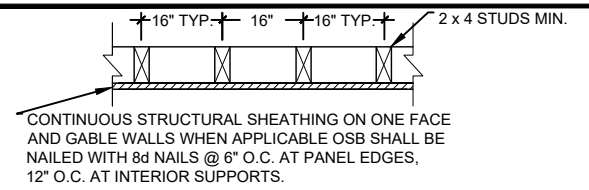
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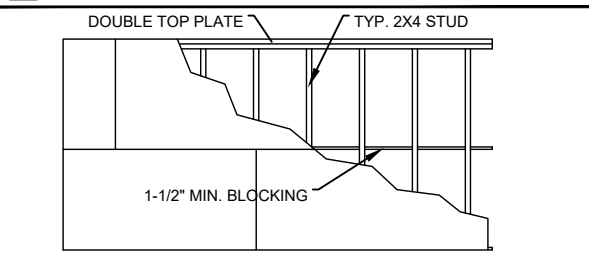
**FIRST FLOOR PLAN**

*Eric L. Davis*  
 STATE OF TEXAS  
 ERIC L. DAVIS  
 86895  
 LICENSED PROFESSIONAL ENGINEER

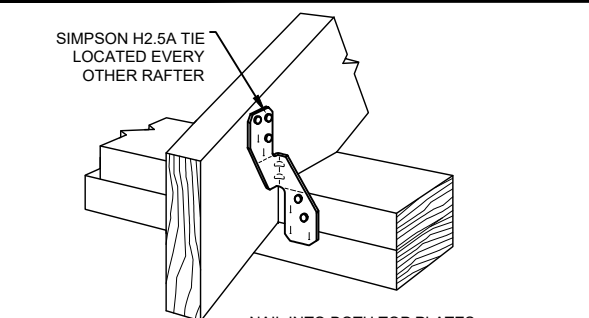
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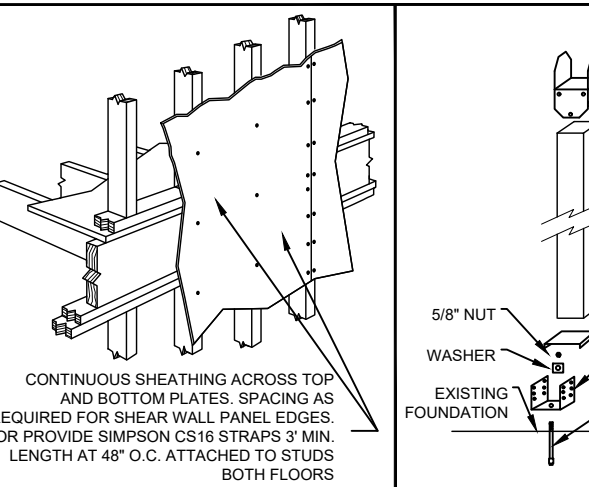
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N.T.S.



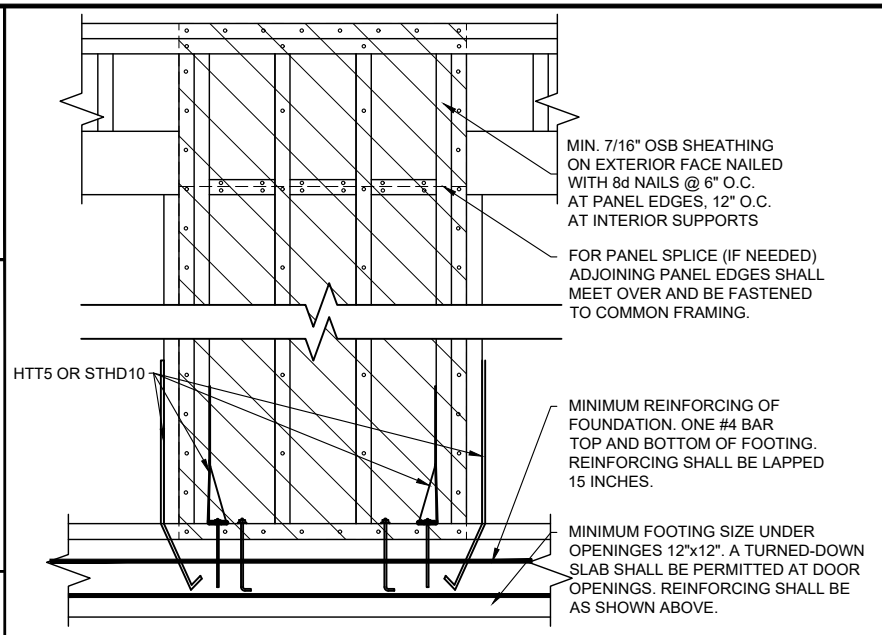
**PANEL BLOCKING DETAIL**  
SCALE: NTS



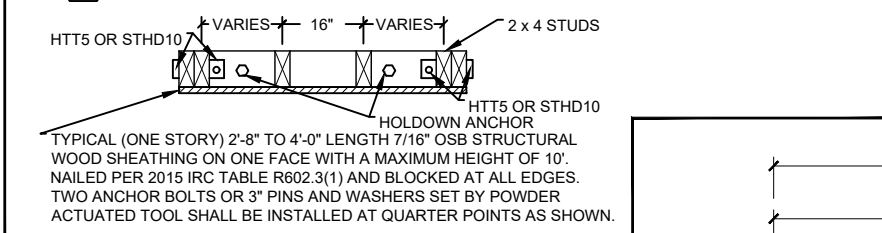
**RAFTER TO TOP PLATE DETAIL**  
SCALE: NTS



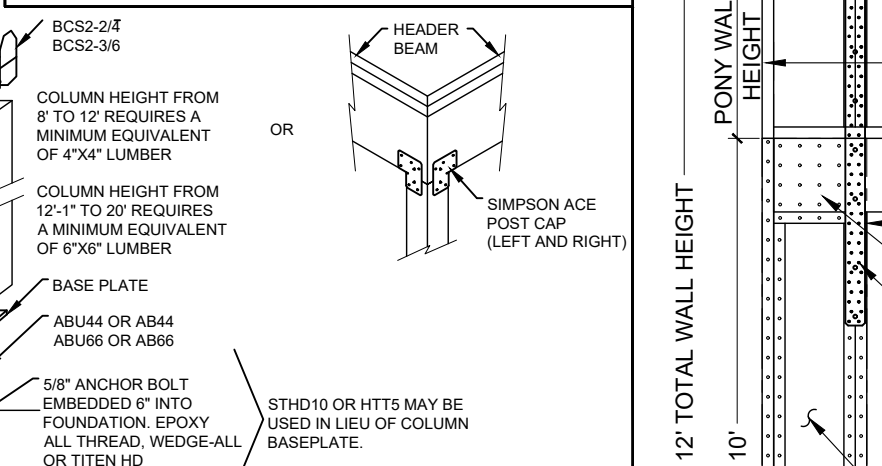
**PANEL CONNECTION DETAIL AT FIRST & SECOND FLOORS**  
SCALE: NTS



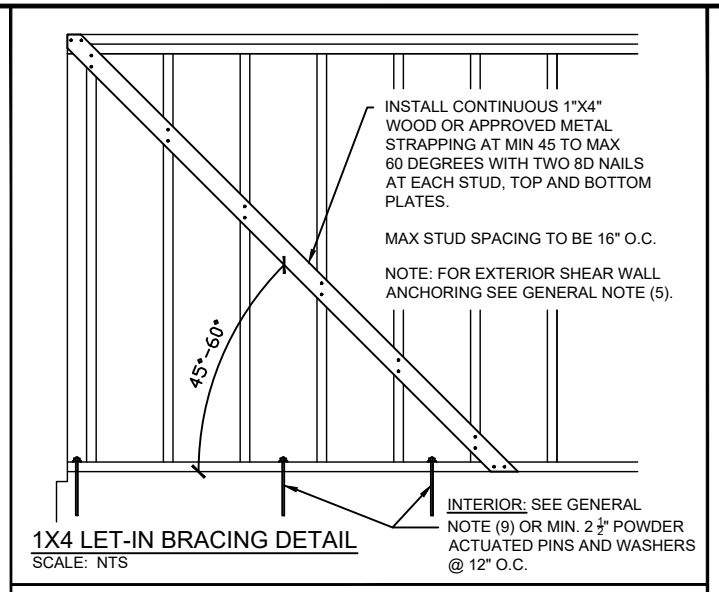
**2 SECTION DETAIL (EXTERIOR ELEVATION)**  
N.T.S.



**2 SECTION DETAIL (PLAN VIEW)**  
N.T.S.



**STANDARD COLUMN DETAIL**  
SCALE: NTS



**1X4 LET-IN BRACING DETAIL**  
SCALE: NTS

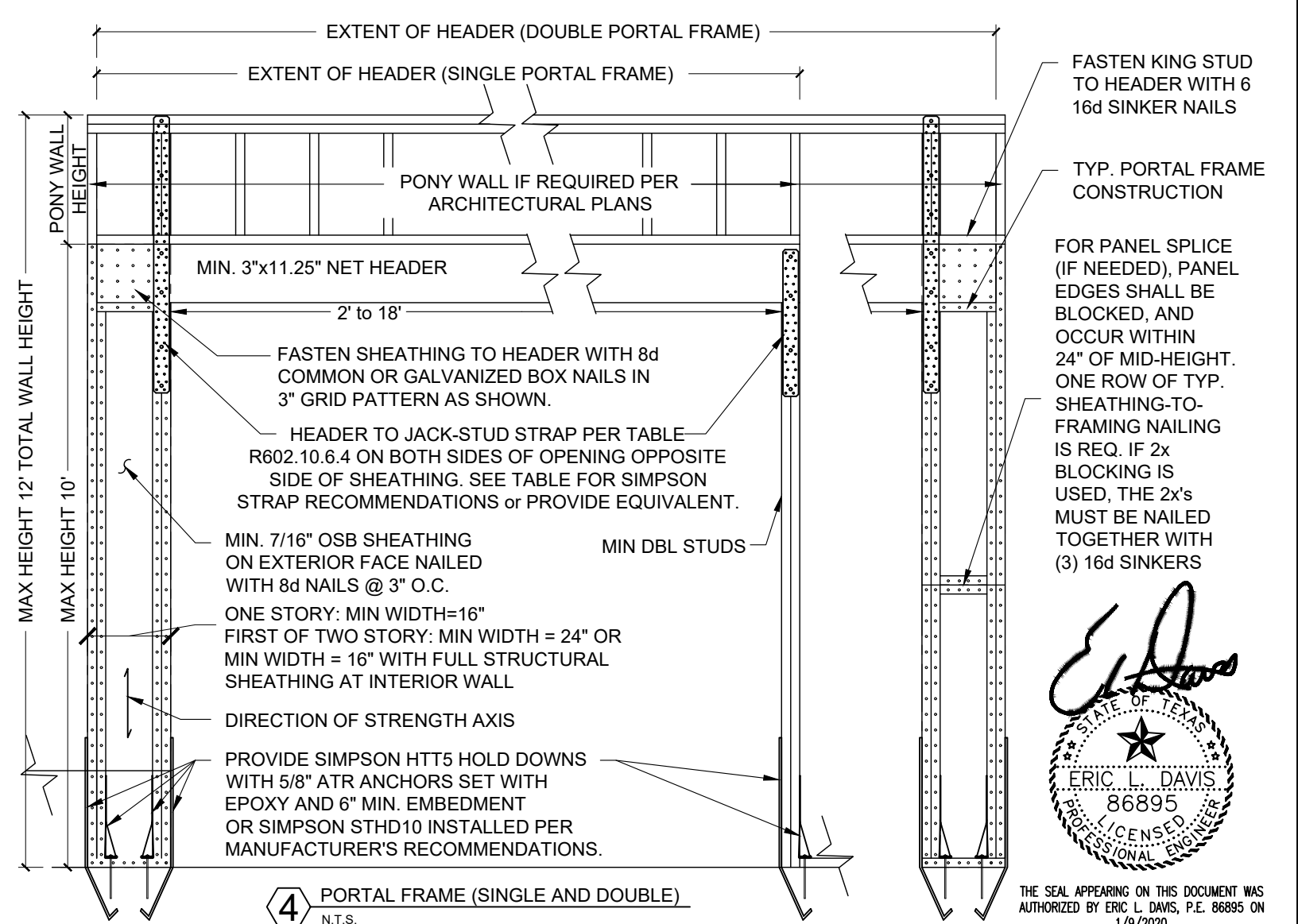
**STRUCTURAL SHEATHING**  
IS CONSIDERED ONE OF THE FOLLOWING:

- MIN 7/16" OSB
- RED THERMOPLY
- BLUE THERMOPLY

- GENERAL NOTES**
1. REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
  2. ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
  3. SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDDSILL THROUGH THE DOUBLE TOP PLATE.
  4. BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
  5. MUDDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDDSILL ANCHORS @ 6'-0" O.C.
  6. WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
  7. ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
  8. LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
  9. ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
    - 9.1. INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
    - 9.2. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



**4 PORTAL FRAME (SINGLE AND DOUBLE)**  
N.T.S.

TABLE R602.10.6.4

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (FEET)	MAXIMUM TOTAL WALL HEIGHT (FEET)	MAXIMUM OPENING WIDTH (FEET)	TENSION STRAP CAPACITY REQUIRED (POUNDS) <sup>a</sup> V = 115 mph EXPOSURE B	RECOMMENDED OR APPROVED EQUAL SIMPSON STRAP MODEL No. <sup>b</sup>
2x4 No. 2 Grade	0	10	18	1000	(1) CS16
			9	1000	
			16	1025	
			18	1275	
			9	1000	
			16	2175	
	2	10	18	2500	(2) CS16
			9	1500	
			16	3375	
			18	3975	
			9	2750	
			12	3775	
2x6 Stud Grade	2	12	9	3775	MSTC52 w/44-16d SINKERS (1) CS16
			12	3775	
			16	2150	
			18	2550	
			9	1750	
			12	2400	
	4	12	18	3800	MSTC52 w/44-16d SINKERS
			9	1750	
			16	2400	
			18	3800	
			9	1750	
			12	2400	

For St: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.  
 a. STRAPS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 b. STRAP MODEL MAY BE SUBSTITUTED w/ APPROVED EQUAL.

01/08/2020

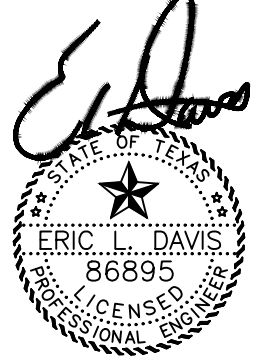
**ERIC L. DAVIS ENGINEERING, INC.**  
 F--3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail ericdavis@eldengineering.com

SHEAR WALL NOTES  
 ENGINEERED FOR  
**TRITON GENERAL CONTRACTOR**

PLAN: MURPHY  
 ELD JOB NO: DIF19-1546  
 DRAWN BY: RC  
 CHECKED BY: ELD  
 BLOCK: D  
 LOT: 7  
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

SW-02

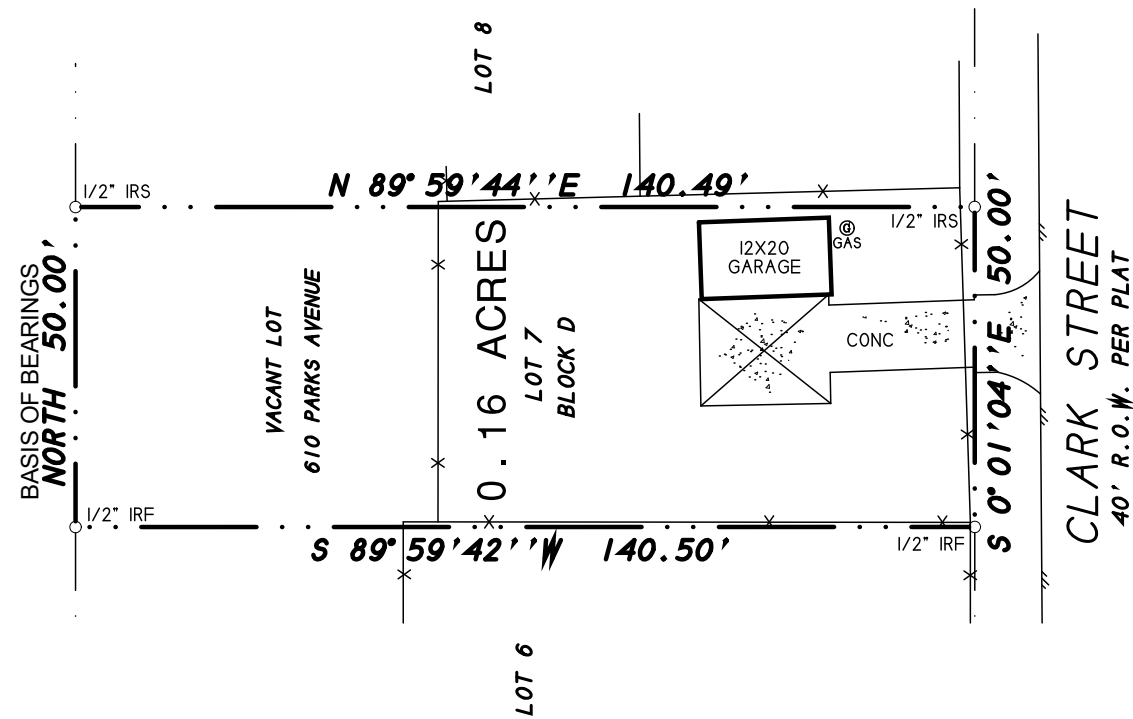


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 1/9/2020

PLAT OF SURVEY



PARKS AVENUE  
50' R.O.W. PER PLAT



DESCRIPTION

BEING Lot 7, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
⊙	⊕	⊞	⊖	⊚
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE
▲	⊞	⊞	⊚	○
ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	⊞	⊚	○
⊞	⊞	⊞	⊚	○
FENCE	EASEMENT LINE	PROPERTY LINES	1/2" IRF (CORNER)	IRON ROD FOUND
			A/C UNIT	PROPANE TANK

**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 1, 2018  
SCALE 1" = 30' FILE # 20180297-7  
CLIENT WARDELL GF # 1884847-10GH

SURVEY ACCEPTED BY:

\_\_\_\_\_  
DATE \_\_\_\_\_

\_\_\_\_\_  
DATE \_\_\_\_\_









**714 Parks Avenue**  
Write a description for your map.

Legend



Google Earth  
© 2020 Google



5.51 ft

**601 Parks Avenue**  
Write a description for your map.

Legend



Google Earth  
© 2020 Google



582 ft

**605 Parks Avenue**  
Write a description for your map.

Legend



Google Earth  
© 2020 Google



661 ft





711 Parks Avenue

Write a description for your map.

Legend



Google Earth

© 2020 Google

5.38 ft



**February 13, 2020**

**City of Rockwall  
Planning & Zoning Department  
385 S. Goliad St.  
Rockwall, TX 75087**

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **610 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to read "Reese Baez", is written over a horizontal line.

**Reese Baez  
Triton General Contractor  
469-931-2267**



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

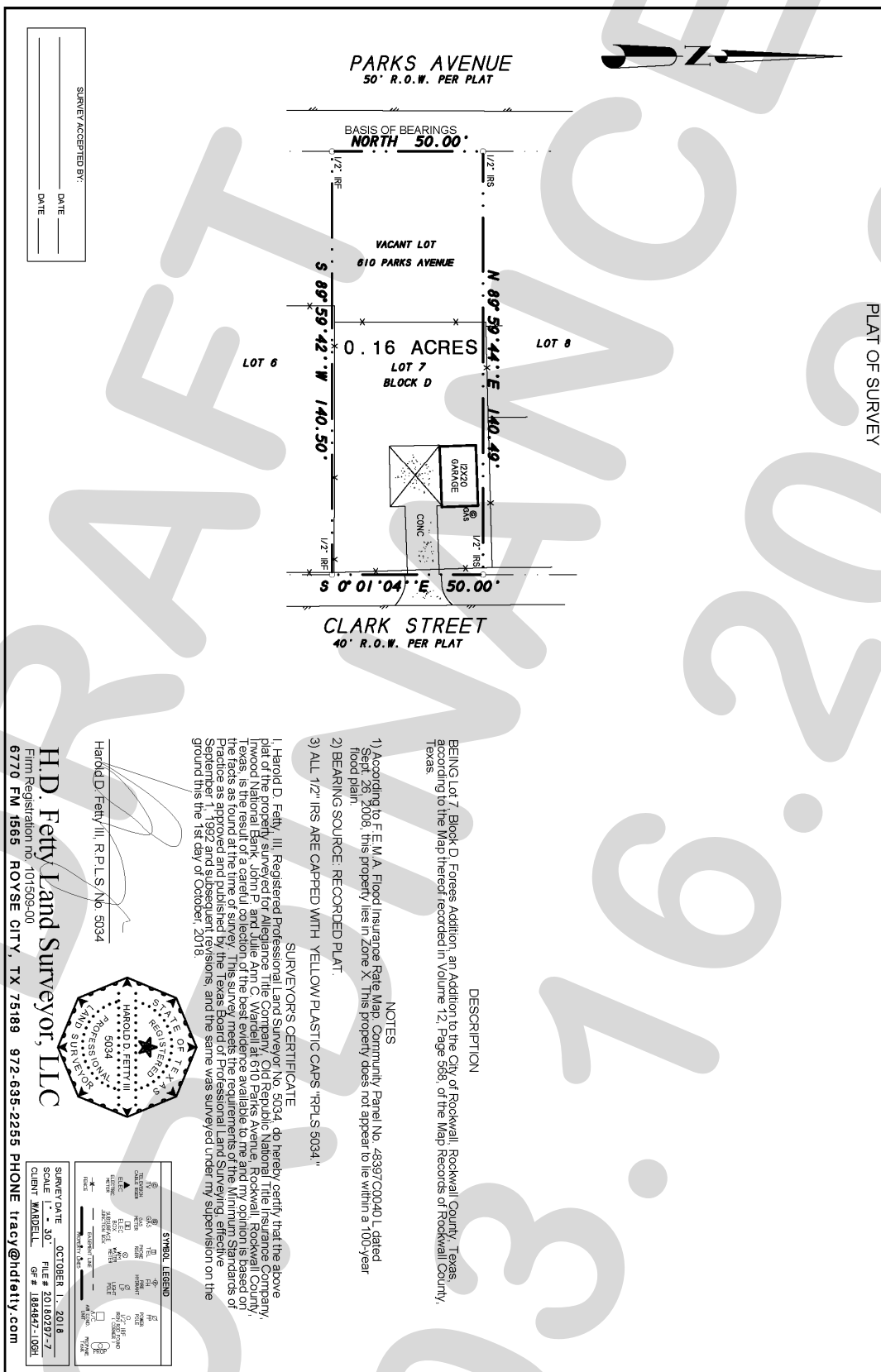
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

Exhibit 'A':  
Survey



PLAT OF SURVEY

PARKS AVENUE  
50' R.O.W. PER PLAT

BASIS OF BEARINGS  
NORTH 50.00'

VACANT LOT  
610 PARKS AVENUE

LOT 6

0.16 ACRES

LOT 7  
BLOCK D

LOT 8

12X20 GARAGE

CONC

S 0° 01' 04" E 50.00'

CLARK STREET  
40' R.O.W. PER PLAT

SURVEY ACCEPTED BY:	DATE:
_____	_____
DATE:	_____
_____	_____

DESCRIPTION  
BEING Lot 7, Block D, Fores Addition an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 566, of the Map Records of Rockwall County, Texas.


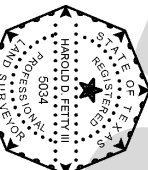
NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map Community Panel No. 48397C00040 L, dated flood plain 8005, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034".

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful colection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Professional Land Surveying as set forth in the Rules and Regulations of the State Board of Professional Land Surveyors, 1982 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty, III, R.P.L.S. No. 5034

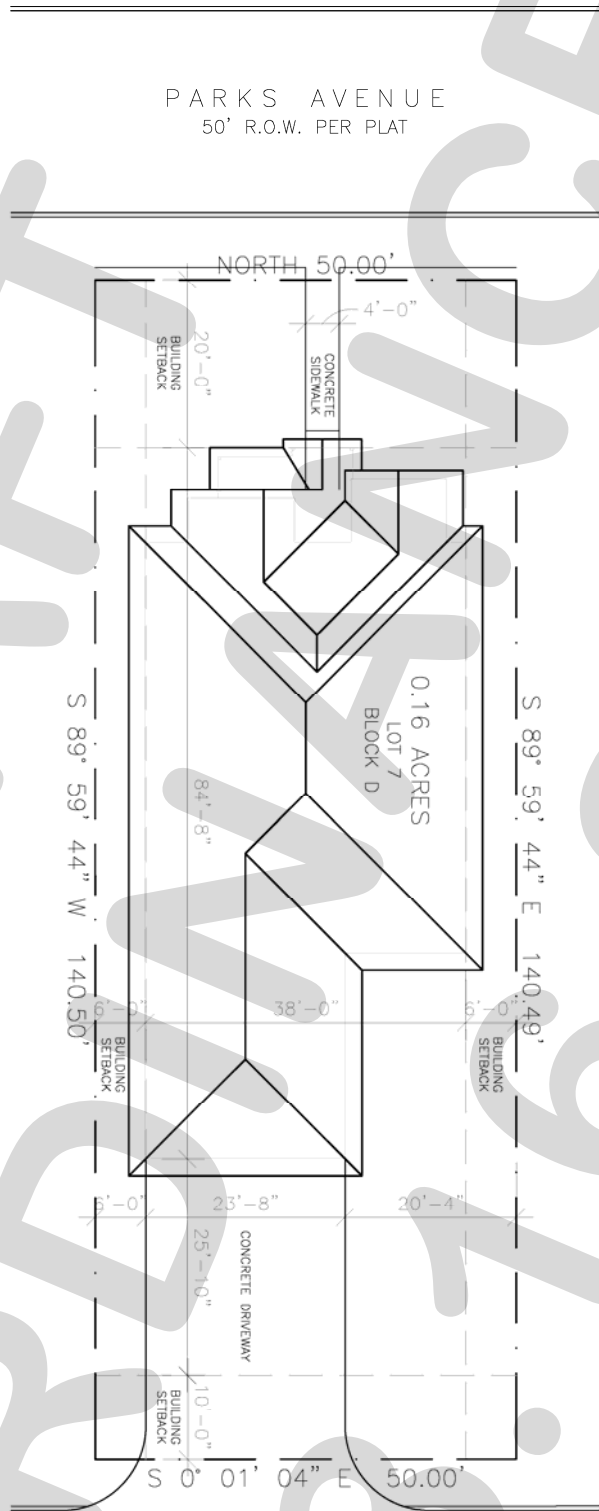



H.D. Fetty Land Surveyor, LLC  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND

---	BOUNDARY
---	CONCRETE
---	ASPHALT
---	PAVEMENT
---	ROCK
---	GRAVEL
---	SAND
---	CLAY
---	WATER
---	IRREGULAR
---	...

**Exhibit 'B':  
Residential Plot Plan**



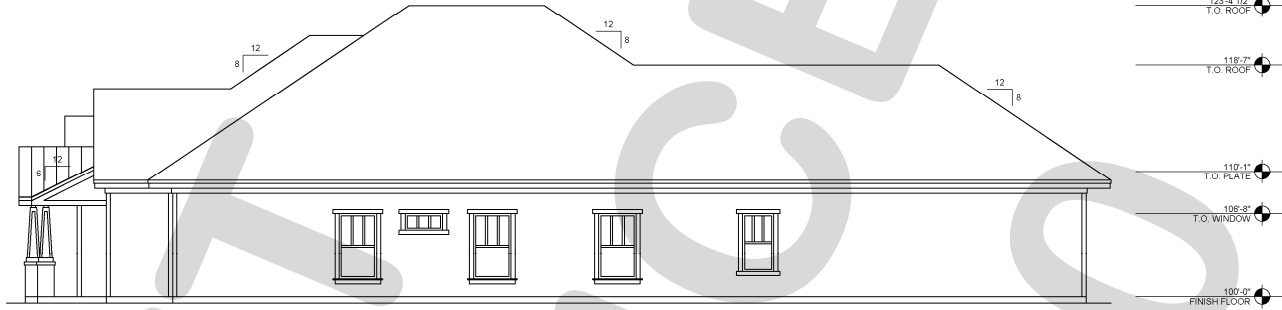
1 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

TABULATIONS:

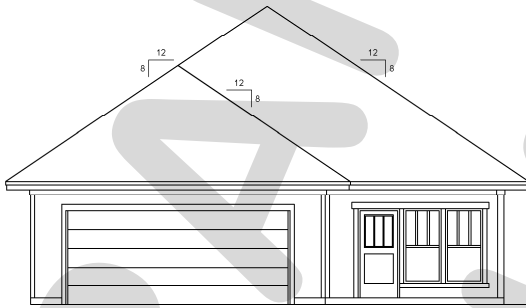
Garage	= 1,970 SF
Front Porch	= 197 SF
Back Patio	= 136 SF
<b>TOTAL COVERED</b>	<b>= 2,726 SF</b>

CLARK STREET  
40' R.O.W. PER PLAT

**Exhibit 'C':  
Building Elevations**



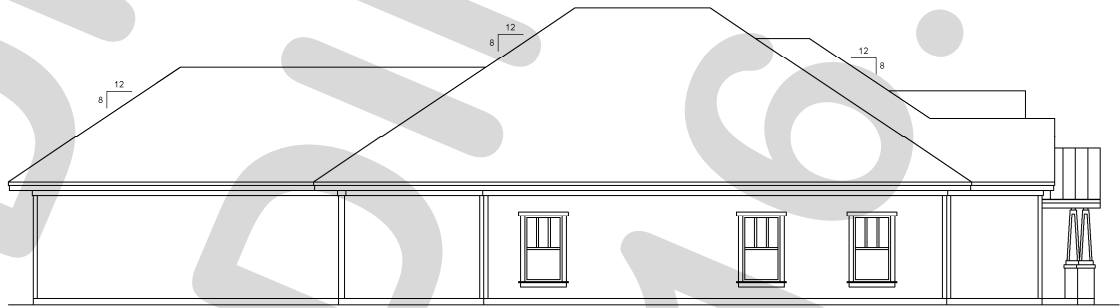
**4 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



May 4, 2020

**ATTN:**

Reese Baez  
102 S. Goliad, #108  
ROCKWALL, TX 75087

**RE: SUP ZONING (Z2020-003), 610 Parks Avenue**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by City Council on 04/06/2020 via Ordinance No. 20-11 [SUP No. S-217]. The following is a record of all recommendations, voting records and conditions of approval:

**CONDITIONS OF APPROVAL**

*If the City Council chooses to approve the applicant's request to construct a single-family home as a Residential Infill within an Established Subdivision, then staff would propose the following conditions of approval:*

*(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:*

*(a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.*

*(b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,*

*(c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.*

*(2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

**PLANNING AND ZONING COMMISSION**

*On March 10, 2020, the Planning and Zoning Commission made a motion to recommend approval of the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion was approved by a vote of 5-0, with Commissioners Fishman and Logan absent.*



**CITY COUNCIL:**

*On March 16, 2020, the City Council made a motion to approve the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion to approve passed by a vote of 4-2, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself [1st Reading].*

*On April 6, 2020, the City Council made a motion to approve the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion to approve the SUP request passed by a vote of 4-2, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself [2nd Reading].*

Please contact the City of Rockwall Planning staff at (972) 771-7745 with any questions or concerns regarding this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "David Gonzales", is written over a horizontal line. The signature is stylized and somewhat abstract.

**David Gonzales, AICP**  
Planning and Zoning Manager  
Planning & Zoning Department  
City of Rockwall, TX