# PLANNING AND ZONING CASE CHECKLIST City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

☐ TREESCAPE PLAN

P&Z CASE # 22020-002 P&Z DATE 02 2	S/20 CC DATE 03-16-20 APPROVED/DENIE
ARCHITECTURAL REVIEW BOARD DATE	HPAB DATE PARK BOARD DATE
ZONING APPLICATION  SPECIFIC USE PERMIT  ZONING CHANGE  PD CONCEPT PLAN  PD DEVELOPMENT PLAN  SITE PLAN APPLICATION  SITE PLAN  LANDSCAPE PLAN  TREESCAPE PLAN  PHOTOMETRIC PLAN  BUILDING ELEVATIONS  MATERIAL SAMPLES  COLOR RENDERING	☐ COPY OF ORDINANCE (ORD.#)  APPLICATIONS  RECEIPT  LOCATION MAP  HOA MAP  PON MAP  FLU MAP  NEWSPAPER PUBLIC NOTICE  S00-FT. BUFFER PUBLIC NOTICE  PROJECT REVIEW  STAFF REPORT  CORRESPONDENCE  COPY-ALL PLANS REQUIRED  COPY-MARK-UPS  CITY COUNCIL MINUTES-LASERFICHE  MINUTES-LASERFICHE  PLAT FILED DATE  CABINET #  SLIDE #
PLATTING APPLICATION  MASTER PLAT PRELIMINARY PLAT FINAL PLAT REPLAT ADMINISTRATIVE/MINOR PLAT VACATION PLAT LANDSCAPE PLAN	NOTES:



#### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO. 72070 - 007

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

			L	
Please check the ap	propriate box below to indica	ate the type of devel	opment request [	[SELECT ONLY ONE BOX]:
[ ] Preliminary Pla [ ] Final Plat (\$300.01 [ ] Replat (\$300.01 [ ] Amending or M [ ] Plat Reinstaten Site Plan Applicati [ ] Site Plan (\$250	1.00.00 + \$15.00 Acre) 1 1.00 (\$200.00 + \$15.00 Acre) 1 1.00 + \$20.00 Acre) 1	an (\$100.00)	Specific U: [ ] PD Develor  Other Applica [ ] Tree Remode [ ] Variance F  Notes:  1: In determining	nange (\$200.00 + \$15.00 Acre) <sup>1</sup> lse Permit (\$200.00 + \$15.00 Acre) <sup>1</sup> opment Plans (\$200.00 + \$15.00 Acre) <sup>1</sup> ation Fees:
PROPERTY INFO	RMATION [PLEASE PRINT]			
Address	702 Parks Ave Forces Addition	, fockwar	1, 14 15	2081
Subdivision	Forces Addition	n Vol. 12	pg 568	Lot <b>&amp;</b> Block <b>D</b>
General Location	Parks Ave			
ZONING, SITE PL	AN AND PLATTING INF	ORMATION [PLEAS	E PRINT)	
Current Zoning	fegi dential	SF-7	Current Use	els, dentral
Proposed Zoning	NIA		Proposed Use	e Pl51 dentral
Acreage	0.16	Lots [Current]		Lots [Proposed]
SITE PLANS AND process, and failu	PLATS: By checking this box you are to address any of staff's commen	cknowledge that due to ts by the date provided o	the passage of <u>HB31</u> n the Development Co	167 the City no longer has flexibility with regard to its approva alendar will result in the denial of your case.
OWNER/APPLIC	ANT/AGENT INFORMAT	TION [PLEASE PRINT/C	HECK THE PRIMARY	CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ] Owner			[ ] Applicant	Rese Bacz
Contact Person			Contact Person	Rese Bacz 1025. Goliad St #108
Address			Address	<b>V</b>
City, State & Zip			City. State & Zip	foction TX 75087
Phone			Phone	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
E-Mail			E-Mail	rbacz@tritongc.com
NOTARY VERIFIC	CATION [REQUIRED]		23	
Before me, the undersig	ned authority, on this day personalline and certified the following:	y appeared		[Owner] the undersigned, who stated the information of
cover the cost of this app that the City of Rockwa	plication, has been paid to the City o Il (i.e. "City") is authorized and peri	f Rockwall on this the 🚺 mitted to provide inform	day ofday of	s true and correct; and the application fee of \$, to  By signing this application, I agree in this application to the public. The City is also authorized and h reproduction is associated or in response to a request for publi
Given under my hand an	nd seal of office on this the	day of FEBLUI	14, 20 <u>20</u> .	MEGAN MURPHY Notary Public, State of Texas

Owner's Signature

Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION

Myyy

Comm. Expires 05-10-2020

My Commission Expires



#### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO.

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate h	ox below to indicate the type of devel	opment request [SELECT ONLY ONE BOX]:

[ ] Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup> [ ] Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup> [ ] Final Plat (\$300.00 + \$20.00 Acre) <sup>2</sup> [ ] Replat (\$300.00 + \$20.00 Acre) <sup>2</sup> [ ] Amending or Minor Plat (\$150.00) [ ] Plat Reinstatement Request (\$100.00)  Site Plan Application Fees: [ ] Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup> [ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	[ ] Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
PROPERTY INFORMATION [PLEASE PRINT]	
Address 702 PANS AVE POWW & Subdivision Forces Addition Vol. 12	U, TX 75087
Subdivision Greek Addition Val. 12	Pg 568 Lot & Block D
General Location Parks Ave	TO BUTTON
General Location	
ZONING, SITE PLAN AND PLATTING INFORMATION [PLEA	
Current Zoning fly dential 5F-7	Current Use Pl5 dentral
Proposed Zoning NIA	Proposed Use Re 51 dentral
Acreage 0.   Lots [Current]	Lots [Proposed] 0 . 1 6
SITE PLANS AND PLATS: By checking this box you ocknowledge that due to process, and failure to address any of staff's comments by the date provided	o the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approval on the Development Calendar will result in the denial of your case.
OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT]	CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ]Owner Armanda Haney	1) Applicant Rese Bac 2
Contact Person Kmanda Henry	Contact Person 1025. Goliad St # 108
Address	Address 🕹
City, State & Zip POCKWALL, TY 75087	City, State & Zip FOCKVALL TX 75087
Phone 922 494 1539	Phone
Phone 972 894 1539 E-Mail Mhunry txeme.com	E-Mail rbacz@tritongc. Com
NOTARY VERIFICATION [REQUIRED]  Before me, the undersigned authority, on this day personally appeared this application to be true and certified the following:	[Owner] the undersigned, who stated the information on
that the City of Rockwall (i.e. "City") is authorized and permitted to provide infor	tion submitted herein is true and correct; and the application fee of \$215.00, to day of
Given under my hand and seal of office on this the day of	A Notary Public, State of Texas
Owner's Signature	Comm. Expires 05-10-2020
Notary Public in and for the State of Texas	My Commission Expires
DEVELOPMENT APPLICATION	



February 13, 2020

City of Rockwall
Planning & Zoning Department
385 S. Goliad St.
Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702** Parks Ave. Rockwall, TX **75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Thank you,

Reese Baez

**Triton General Contractor** 

469-931-2267

#### **DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

PL	41	H	NG APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]
	[	]	PLAT TYPE.
			[ ] MINOR/AMENDING PLAT. [ ] MASTER PLAT. [ ] PRELIMINARY PLAT. [ ] FINAL PLAT. [ ] REPLAT. [ ] VACATION PLAT.
			Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See <i>Folding Requirements</i> in this development packet.
	]	]	DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
			[ ] ONE (1) PDF COPY OF THE PLAT [ ] ONE (1) SURVEY BOUNDARY CLOSURE REPORT.
			* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE
	[	]	TREESCAPE PLAN [IF APPLICABLE].
	]	]	LANDSCAPE PLAN [IF APPLICABLE].
	[	]	APPLICATION AND APPLICATION FEE.
SIT	Έ	PL/	AN APPLICATION SUBMITTAL REQUIREMENTS
	]	]	PLAN SET. A plan set is composed of the following items:
			<ul> <li>[ ] SITE PLAN.</li> <li>[ ] LANDSCAPE PLAN.</li> <li>[ ] TREESCAPE PLAN.</li> <li>[ ] PHOTOMETRIC PLAN.</li> <li>[ ] BUILDING ELEVATIONS.</li> </ul>
			Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" <i>Tri-Fold</i> with the project title or identifier facing out.
	[	]	BUILDING MATERIAL SAMPLE BOARD. See the Material Sample Board Design Guidelines in this development packet.
	]	]	VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
	]	]	APPLICATION AND APPLICATION FEE.
zo	N	IŊG	CHANGE APPLICATION SUBMITTAL REQUIREMENTS
	[~	1	LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
	N	<i>'</i>	ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.
	[	1	LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
	[	]	APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



# DEVELOPMENT REVIEW COMMITTEE (DRC) CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

**External Review:** 

Wayne Carter, Charter Communications

Jim Friske, Charter Communications

Dinah Wood, Atmos Randy Voight, Oncor Phillip Dickerson, Oncor Brian Duncan, AT&T Javier Fernandez, RISD Brenda Callaway, TXDOT

Stephen Geiger, Farmer's Electric Frank Spataro, Farmer's Electric

Internal Review:

Amy Williams, Engineering

John Shannon, Building Inspections

Ariana Hargrove, Fire Andy Hesser, Parks Andy Villarreal, Police

From: Planning & Zoning Department

Date: 2/14/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 02/20/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 2/20/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 2/25/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** 

Z2020-002

**Project Name:** 

702 Parks Avenue

Project Type:

ZONING

**Applicant Name:** 

Reese Baez

Owner Name:

[OWNER]

**Project Description:** 



## **RECEIPT**

Project Number: Z2020-002 Job Address: 702 PARKS AVE ROCKWALL, TX 75087

Receipt Number: B88312
Printed: 2/21/2020 3:38 pm

Fee Description Account Number Fee Amount

**ZONING** 

01-4280 \$215.00

Total Fees Paid: Date Paid: 2/21/2020 12:00:00AM

Paid By: Reese Baez

Pay Method: CHECK 8291

Received By: AG





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

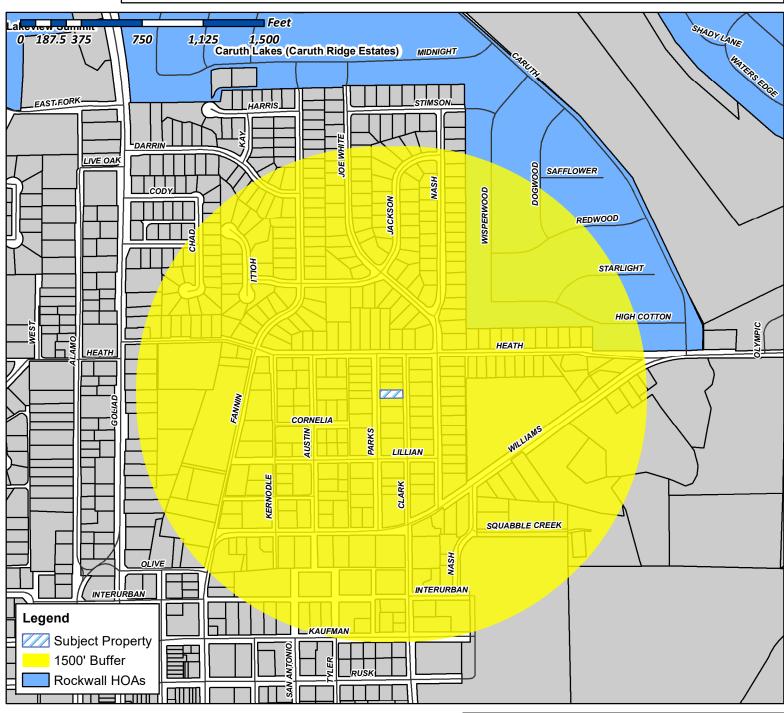




#### **City of Rockwall**

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

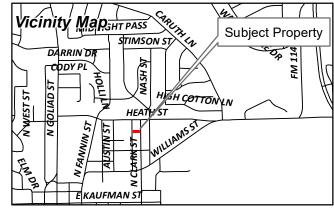
Case Name: SUP for 702 Parks Ave Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745

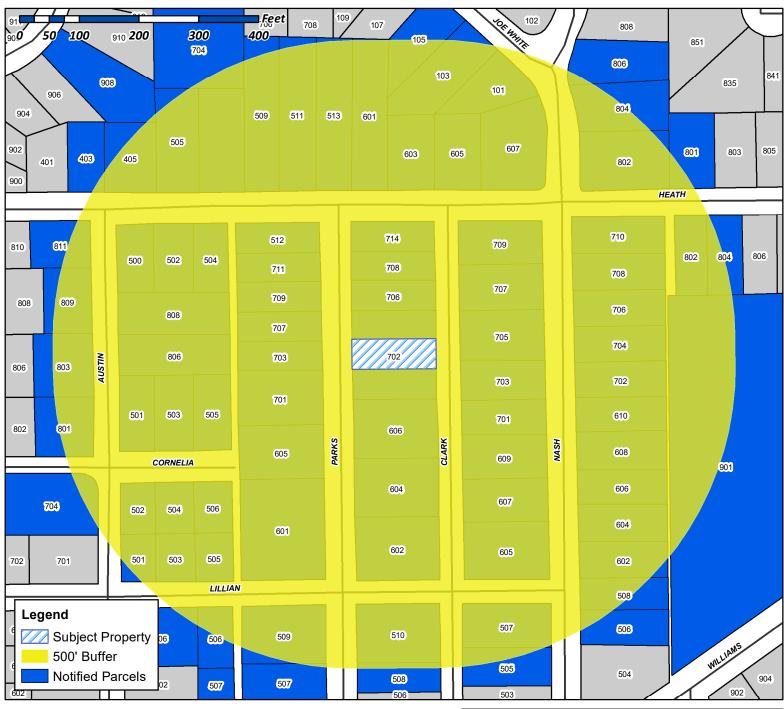




#### City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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February 13, 2020

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Thank you,

Reese Baez

**Triton General Contractor** 

469-931-2267

# Henry House Plans 702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

## **COPYRIGHT** © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

### LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR

- 1. CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS. 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.

PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

### DRAWING/SHEET INDEX

A - 1.01	COVER SHEET
A - 1.02	FRONT & LEFT ELEVATION
A - 1.03	BACK & RIGHT ELEVATION
A - 1.04	FLOOR PLAN
A - 1.05	FOUNDATION/PLUMBING PLAN
A - 1.06	ROOF PLAN
A - 1.07	ELECTRICAL PLAN

## SQUARE FOOTAGE

SQUALL I SOLAGE				
LIVING SPACE	2660			
GARAGE	500			
FRONT PORCH	290			
BACK PORCH	186			

## **GENERAL NOTES**

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- 2. ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- 3. ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE -LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE
- 4. ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 5. FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY **ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY**
- 8. ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN
- 9. ALL DIMENSIONS ARE TO BE FIELD VERIFIED. 10. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- 11. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 12. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- 13. ALL LUMBER SHALL BE S4S UNO
- 14. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH
- 15. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY
- 16. ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER. 17. ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER &
- 18. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND **EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE** PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER
- DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS. 19. PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- 20. THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE
- 21. CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

# **ABBREVIATIONS**

ANCHOR BOLT

ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	<b>ABOVE FINISH FLOOR</b>	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	ОС	ON CENTER
CAB	CABINET	PT	PRESSURE TREATER
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	<b>ROD &amp; SHELF</b>
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	WOOD

#### PROPERTY DESCRIPTION 702 PARKS AVE.

ROCKWALL, TX 75087

	BLK D - LI 8
NEIGHBORHOOD	N3600-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R

LOCATION

# CLARK STREET 40' R.O.W. PER PLAT \_\_\_\_\_10' EASEMENT\_\_\_\_\_ 702 PARKS AVE. 6'-6" SIDEWALK PROPERTY LINE 50.0' 50' R.O.W. PER PLAT NORTH **PARKS AVENUE**

SITE PLAN SCALE: 1/8" = 1' - 0"

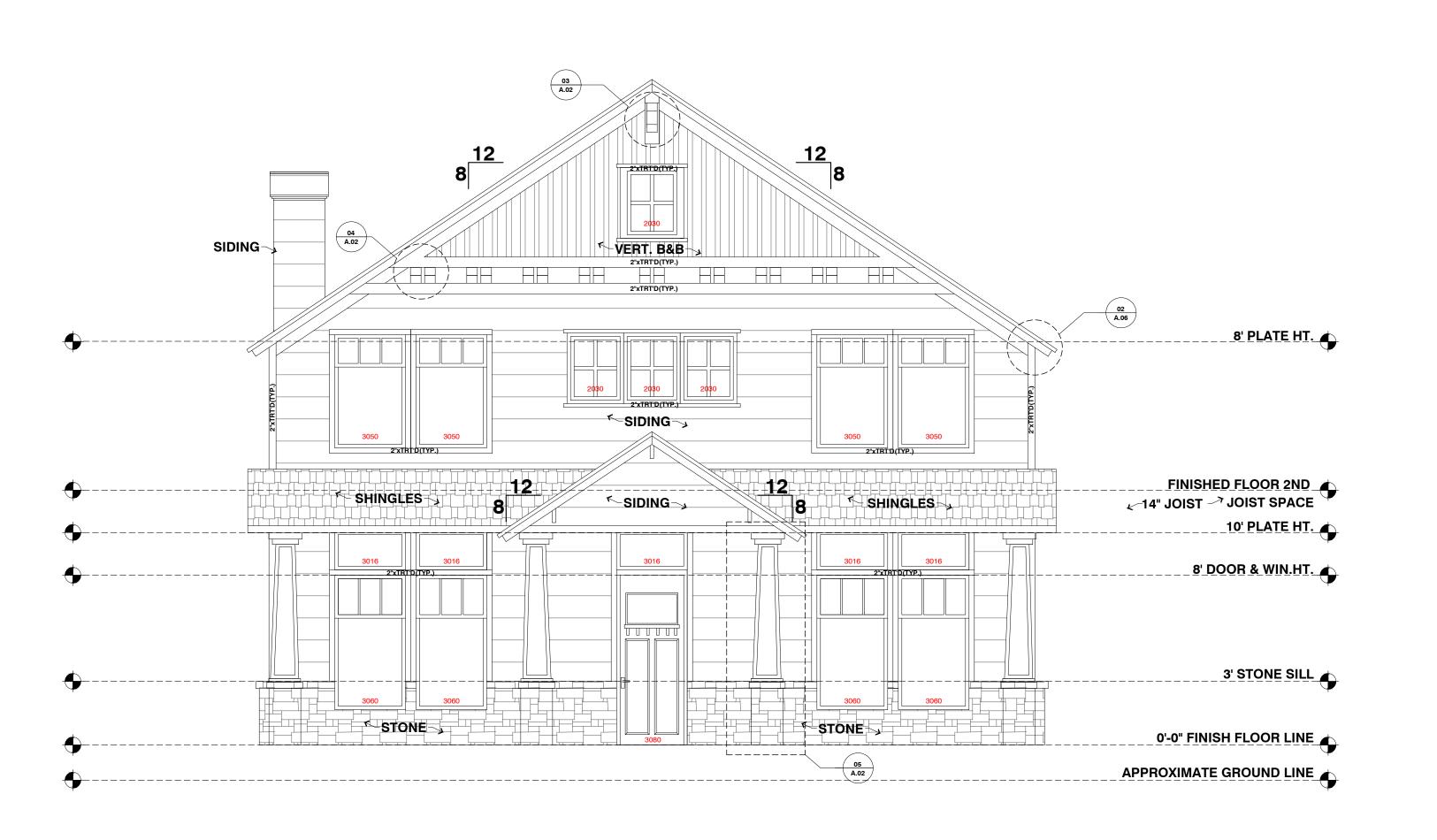
DRAWN BY: **CHECKED BY:** DATE: **ISSUED FOR PERMIT: ISSUED FOR** CONSTRUCTION: **REVISIONS:** 11.17.2019: KITCHEN - FLIP SINK & RANGE. ADDED WINDOW 12.04.2019: LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

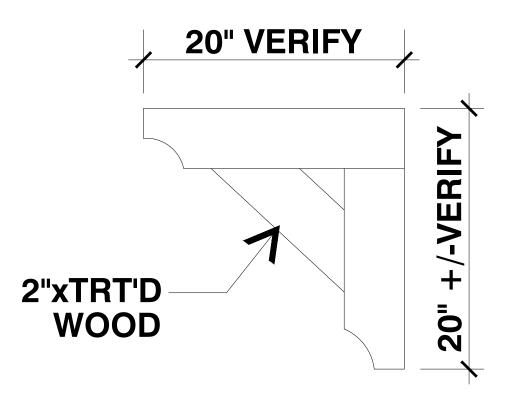
**HOUSE PLANS** 

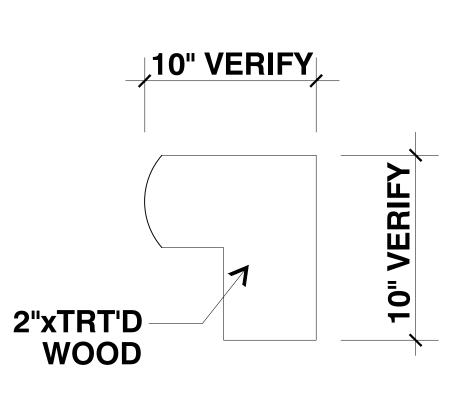
SHEET TITLE:

**COVER SHEET** 

SHEET NO.: A - 1.01







NOTE: VERIFY PROFILE DETAIL WITH OWNER.

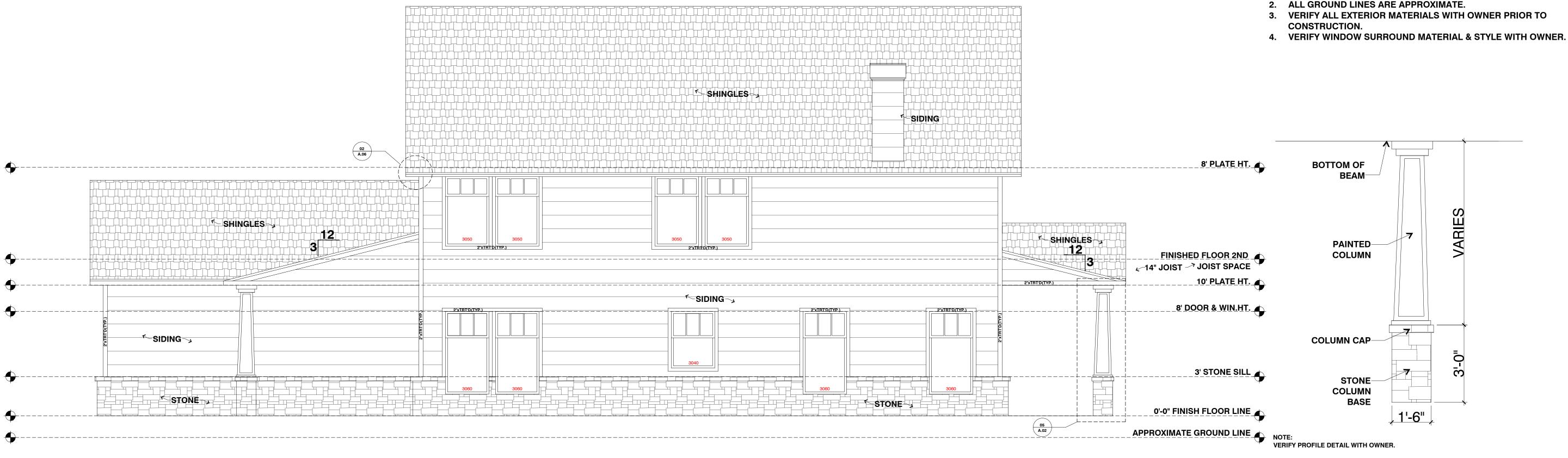
03 BRACKET 1 DETAIL
NOT TO SCALE

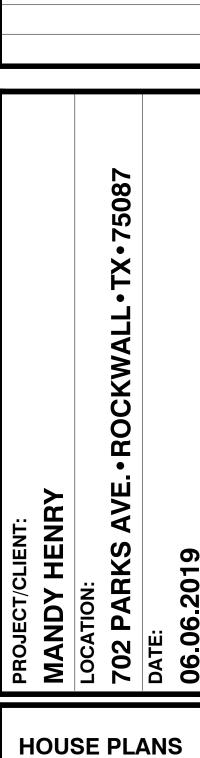
NOTE: VERIFY PROFILE DETAIL WITH OWNER.

04 BRACKET 2 DETAIL
NOT TO SCALE

# **NOTES**

- 1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- 2. ALL GROUND LINES ARE APPROXIMATE.
- 3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO





**ELEVATIONS** 

DRAWN BY:

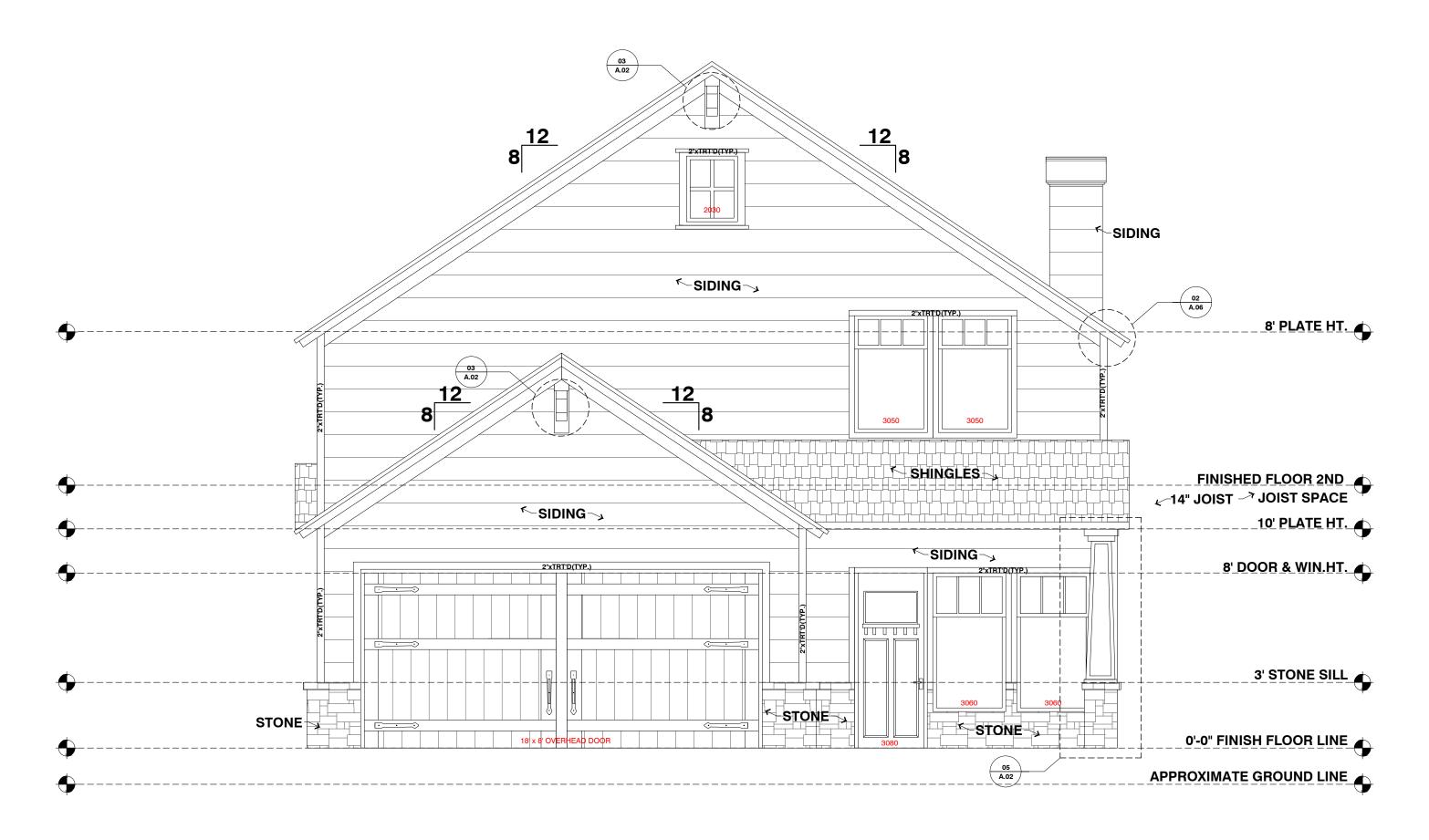
DATE:

CHECKED BY:

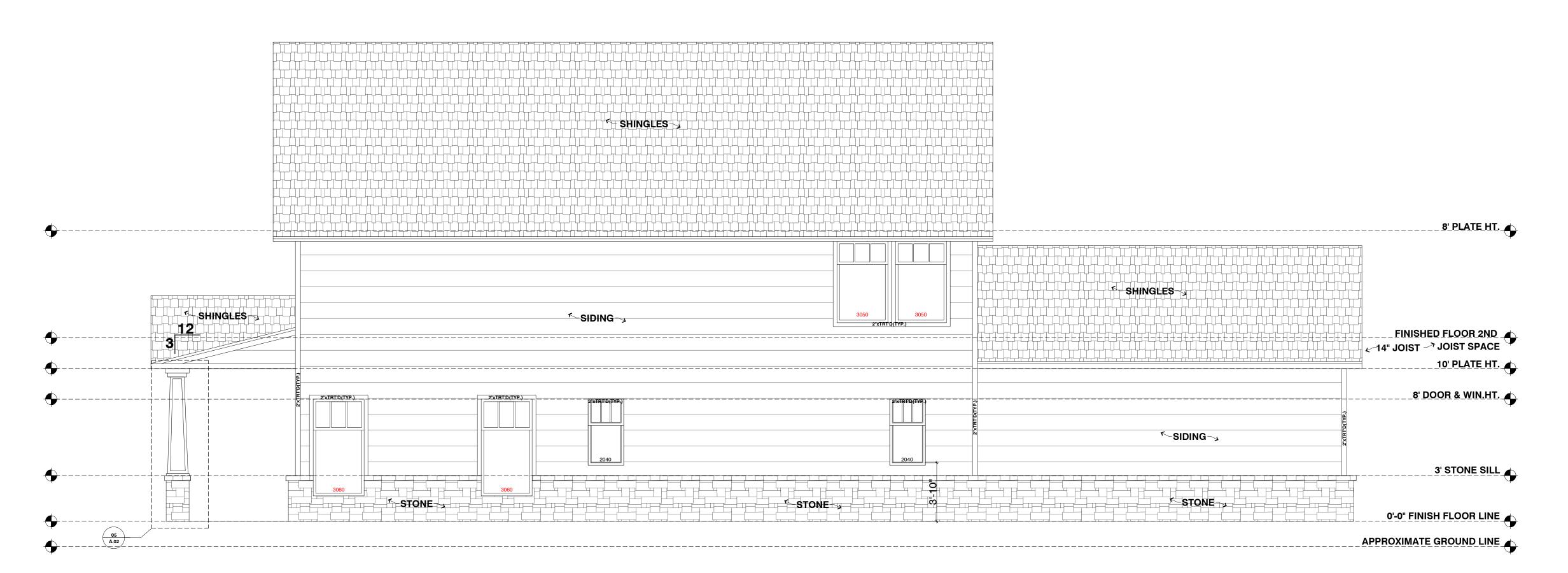
ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

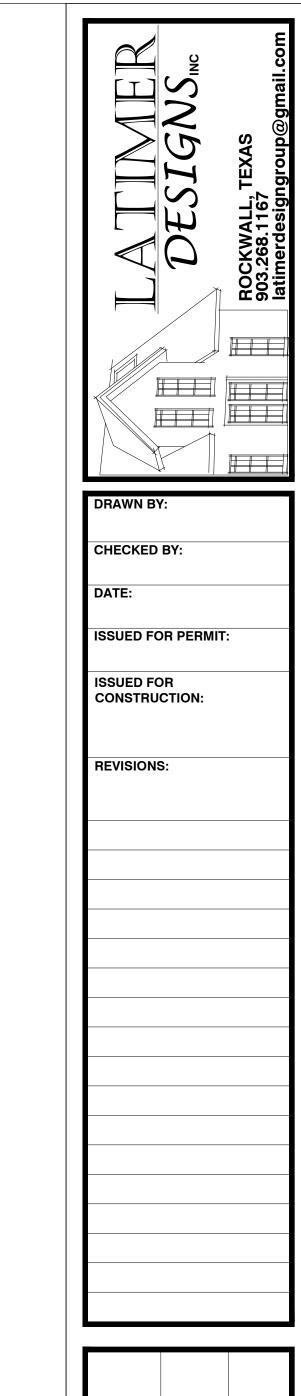
**REVISIONS:** 



# O2 BACK ELEVATION SCALE: 1/4" = 1' - 0"







MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:

SHEET TITLE:
ELEVATIONS

HOUSE PLANS

SHEET NO.:

#### **City of Rockwall**



#### **Project Plan Review History**

Project Number Z20

Z2020-002

Owner

Applied

2/14/2020 AG

**Project Name** 

702 Parks Avenue

**P&Z HEARING** 

Applicant Reese Baez

Approved Closed

Expired Status

2/24

Type Subtype Status ZONING SUP

2/21/2020 DG

Site Address

City, State Zip

702 PARKS AVE

ROCKWALL, TX 75087

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

**General Plan** 

FOREE

7,8,9

D

7,8,9

3710-000D-0008-00-0R

00.110.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
BUILDING	Russell McDowell	2/14/2020	2/21/2020	2/19/2020	5 APPROVED		
ENGINEERING	Sarah Johnston	2/14/2020	2/21/2020	2/21/2020	7 APPROVED	See Comments	
(2/21/2020 11:11 A	M SJ)						

I - Will need engineered culvert design for driveway. Minimum size is 18" RCP pipe. WIll need the drainage area map, culvert sizing calculations, and plan and profile sheet.

I - What is the 6' easement on the side of the property? I believe this is supposed a side setback.

FIRE	Ariana Hargrove	2/14/2020 2/21	1/2020	2/19/2020	5	APPROVED	
PLANNING	David Gonzales	2/14/2020 2/21	1/2020	2/20/2020	6	COMMENTS	See comments

I - Driveway is required to be concrete.

(2/20/2020 8:24 PM DG)

Z2020-002; SUP for Residential Infill in Established Subdivision – 702 Parks Avenue

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.
- 1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (Z2020-002) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
- I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), and the Development Standards of Article IV & Article V that are applicable to the subject property.
- M.5 Please review the draft ordinance when received by staff and provide comments to staff by March3, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting(i.e. Public Hearing) to be held on March 10, 2020.

M.6 Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a boat sales, storage and repair facility on the Subject Property, and conformance to these operational conditions is required for continued operations

- 1) The subject property shall generally conform to the Plot Plan as depicted in Exhibit'B' of the draft ordinance; and,
- 2) The subject property shall generally conform to the Building Elevations as depicted in Exhibit'C' of the draft ordinance.
- 3) Upon obtaining a building permit for the subject property and upon approval of the final inspection by the Building Inspections Department of the City of Rockwall, this Specific Use Permit shall expire on the effective date of said final inspection
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections, and provide any additional information that is requested Revisions for this case will be due on March3, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March10, 2020 Planning & Zoning Meeting.
- 1.8 Please note the scheduled meetings for this case:
- 1) Planning & Zoning Work Session meeting will be held on February 25, 2020.
- 2) Planning & Zoning Public Hearing meeting will be held on March 10, 2020.
- 3) City Council Public Hearing will be held on March 16, 2020. (1st Reading of Ordinance)
- 4) City Council meeting will be held on April 6, 2020. (2nd Reading of Ordinance)
- 1.9 Staff recommends that a representative be present for the meetings as scheduled above The Planning and Zoning and City Council meetings will be held in the City's Council Chambers. These meeting are scheduled to begin at 6:00 p.m.

Project Reviews.rpt Page 2 of 2



#### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO. 72020 - 002

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the ap	propriate box below to indicat	e the type of develo	opment request [	[SELECT ONLY ONE BOX]:
[ ] Preliminary Pla [ ] Final Plat (\$300.0 [ ] Replat (\$300.0 [ ] Amending or M [ ] Plat Reinstaten Site Plan Applicati [ ] Site Plan (\$250	1.00.00 + \$15.00 Acre) 1 1.0 (\$200.00 + \$15.00 Acre) 1 1.0.00 + \$20.00 Acre) 1 1.0 + \$20.00 Acre) 1	(\$100.00)	Specific U. [ ] PD Develor  Other Applica [ ] Tree Remail [ ] Variance B  Notes: 3: In determining	nange (\$200.00 + \$15.00 Acre) <sup>1</sup> Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup> opment Plans (\$200.00 + \$15.00 Acre) <sup>1</sup> ation Fees:
PROPERTY INFO	RMATION [PLEASE PRINT]			
Address	702 Parys AVE Forces Addition	lockw al	1, 14 75	<b>180</b>
Subdivision	Forces Addition	1 Vol. 12	pg 568	Lot <b>%</b> Block <b>D</b>
General Location	Pars Ave	, , ,		
ZONING, SITE PL	AN AND PLATTING INFO	RMATION [PLEASI	E PRINT)	
Current Zoning	fesidential.	5F-7	Current Use	e RISI dentral
Proposed Zoning	NIA		Proposed Use	elsidential elsidential
Acreage	0.16	Lots [Current]		Lots [Proposed]
				167 the City no longer has flexibility with regard to its approve alendar will result in the denial of your case.
OWNER/APPLIC	ANT/AGENT INFORMATI	ON [PLEASE PRINT/CI	HECK THE PRIMARY	CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ] Owner				
Contact Person			Contact Person	Rese Bacz 1025. Goliad St #108
Address			Address	<b>V</b>
City, State & Zip			City, State & Zip	fockbar TX 75087
Phone			Phone	
E-Mail			E-Mail	rbacz@tritongc.com
Before me, the undersig	CATION [REQUIRED]  med authority, on this day personally a  me and certified the following:	appeared	55	[Owner] the undersigned, who stated the information o
cover the cost of this app that the City of Rockwa	plication, has been paid to the City of I Il (i.e. "City") is authorized and permi	Rockwall on this the <u> </u>	day of	is true and correct; and the application fee of \$, t 
Given under my hand an	nd seal of office on this the	day of FEBLUA	<u>M</u> , 20 <u>20</u> .	MEGAN MURPHY Notary Public, State of Texas

Owner's Signature

Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION

Myy

My Commission Expires





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

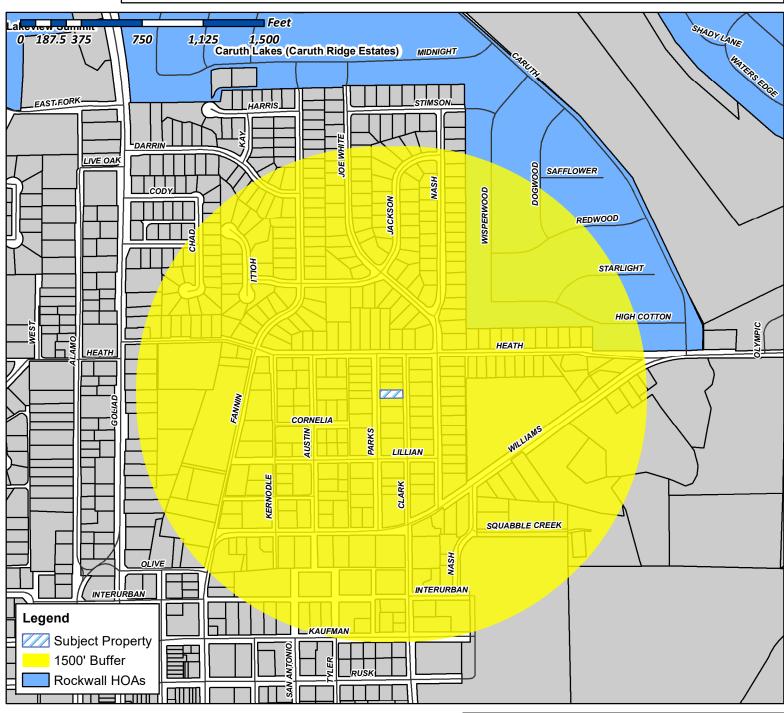




#### **City of Rockwall**

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Case Number: Z2020-002

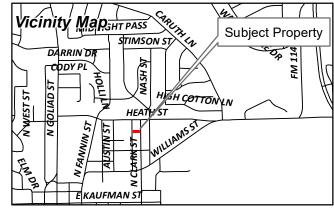
Case Name: SUP for 702 Parks Ave Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745

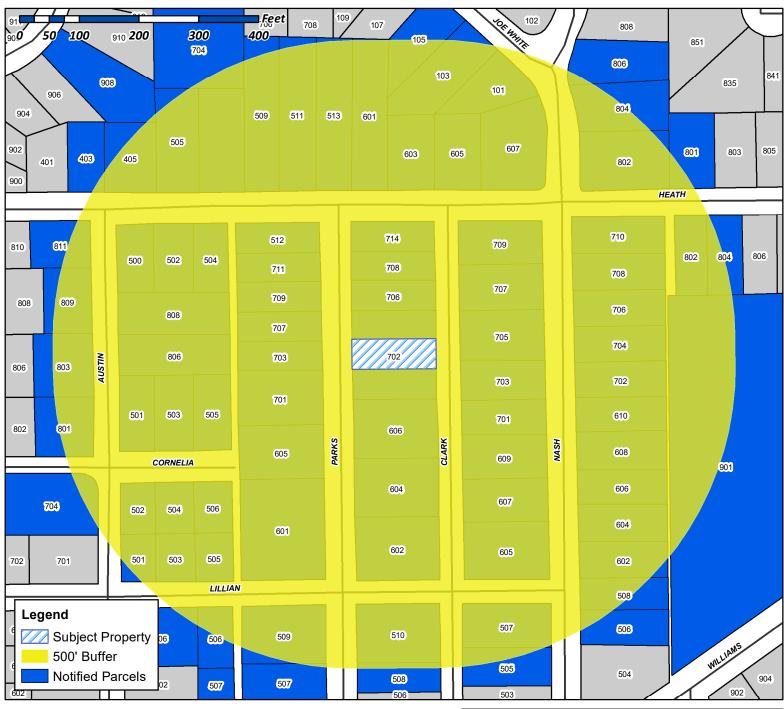




#### City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

Case Name: SUP for 702 Parks Ave. Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT	ROLAND RANDY C AND ANDREA B	CURRENT RESIDENT
EHEATH	101 JOE WHITE ST	103 JOE WHITE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SILVA MANUEL	CURRENT RESIDENT	BREWER SHERI RENEE
1041 E FM 552	105 JOE WHITE	119 SUNRISE VISTA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	PONTE VEDRA, FL 32081
SABRSULA MELISSA	KENNEDY HAYLEY	RIPSTOP PROPERTIES LLC
1571 ANNA CADR RD	201 CHAMPION DR	205 S CLARK STREET
ROCKWALL, TX 75087	WYLIE, TX 75095	ROCKWALL, TX 75087
RIJU LTD PARTNERSHIP A TEXAS LTD PARTNERSHIP 210 GLENN AVE ROCKWALL, TX 75087	HARRIS RICHARD D & JUDY A 210 GLENN AVE ROCKWALL, TX 75087	REDDEN POLLY PEOPLES 213 SOVEREIGN CT ROCKWALL, TX 75032
GRIFFIN PATTY JEAN CORNELIUS	PARK ALLEN	KAUFMANN EVAN J
2140 AIRPORT RD	2301 LAFAYETTE DR	2312 BAHAMA RD
ROCKWALL, TX 75087	HEATH, TX 75032	AUSTIN, TX 78733
GLASS JERRY R 301 MEADOWDALE DR ROCKWALL, TX 75087	ZYLKA JOE AND BONNIE 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032	VANHORN PENNI AND JOE ZYLKA AND BONNIE ZYLKA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032
CURRENT RESIDENT	CURRENT RESIDENT	HODGES PATRICK L
403EHEATH	405EHEATH	481 ARCADIA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KIRKPATRICK DAVID S & RHONDA D	HOLZHEIMER THOMAS R AND NICOLE M	GREENAWALT PATRICK ALAN
500 E HEATH ST	501 CORNELIA ST	501 LILLIAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BARNETT GEORGE S	MCINTIRE J M & ERLINDA	CURRENT RESIDENT
502 CORNELIA ST	502 E HEATH ST	503 CORNELIA
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	TANTON MELVIN V JR
503 LILLIAN	504 CORNELIA	504 E HEATH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

#### SCHMIDT JERRY LEE AND BARBARA JEAN 505 CORNELIA ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT 505EHEATH ROCKWALL, TX 75087 CURRENT RESIDENT 506 CORNELIA ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE 506 LILLIAN ST ROCKWALL, TX 75087 BLESSING RUSSELL BENNETT 506 NASH ROCKWALL, TX 75087 BUTLER JOSEPH DAVID AND ROSE LOUISE 507 NASH ST ROCKWALL, TX 75087

TOLMAN BROOKS 507 PARKS AVE ROCKWALL, TX 75087

CAWTHON RICK 508 NASH ST ROCKWALL, TX 75087 FREEMAN WILLIAM B JR 508 PARKS AVE ROCKWALL, TX 75087

DOROTIK DAVID W 509 PARKS AVE ROCKWALL, TX 75087 CURRENT RESIDENT 509EHEATH ROCKWALL, TX 75087 RICHARDSON PATRICE 510 COVE RIDGE RD HEATH, TX 75032

CURRENT RESIDENT 510 PARKS ROCKWALL, TX 75087 CURRENT RESIDENT 511EHEATH ROCKWALL, TX 75087 COATS LOIS LOUISE 512 E HEATH ST ROCKWALL, TX 75087

DENNIS KIMBERLY 513 E HEATH ST ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH 601 PARKS AVE ROCKWALL, TX 75087 STEGALL VENTURES LLC 601 SUNSET HILL DRIVE ROCKWALL, TX 75087

CURRENT RESIDENT 601EHEATH ROCKWALL, TX 75087 SIMMONS APRIL R 602 NASH STREET ROCKWALL, TX 75087 LEAL ROLAND & CAROL 602 PARKS AVENUE ROCKWALL, TX 75087

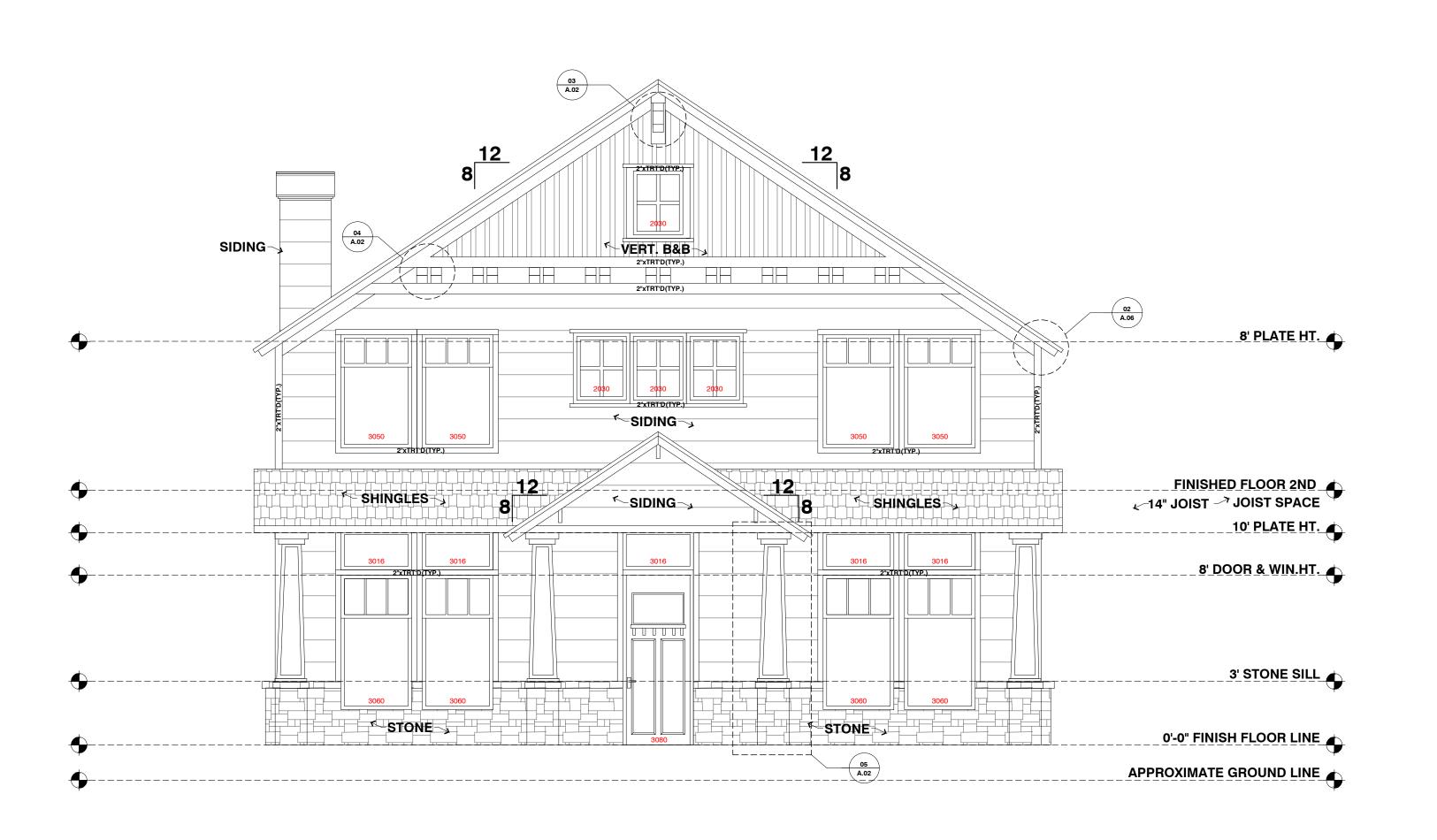
SUTTON JUDITH A 603 E HEATH ST ROCKWALL, TX 75087 HOWARD DEBORAH K 604 NASH ST ROCKWALL, TX 75087 FUQUA MATTHEW 604 PARKS AVE ROCKWALL, TX 75087

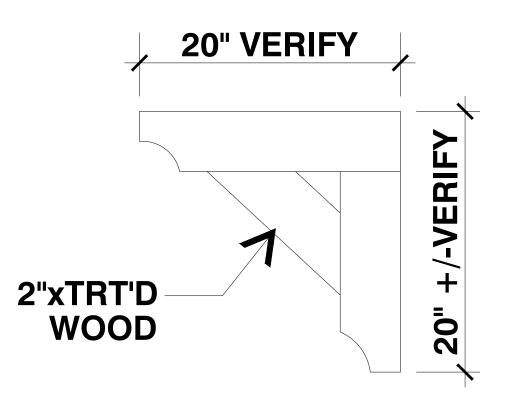
LINDSAY WILLIAM & JULIA 605 NASH ST ROCKWALL, TX 75087 DINGWELL MARGUERITE NASH & ADAM 605 PARKS AVE ROCKWALL, TX 75087 DAVIS SUSAN ELAINE BYRD 605 STORRS ROCKWALL, TX 75087

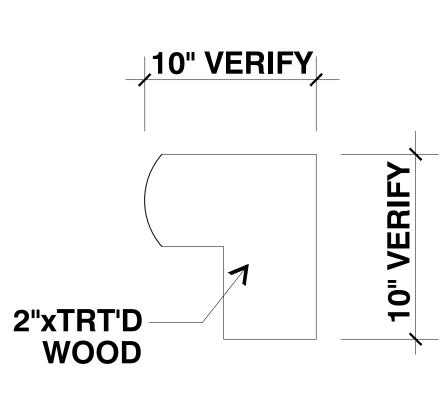
CURRENT RESIDENT	DANIEL RODNEY	GALASSI TORI D
605EHEATH	606 AUSTIN ST	606 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WALLS JEFFREY V & NATALIE ANN 606 PARKS AVE ROCKWALL, TX 75087	SPERLING SANDY 607 E HEATH ST ROCKWALL, TX 75087	BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087
STARK ROBERT S & TINA J	OGDEN BRANDON & LIDIA	TORRES ROSIE
607 SAINT MARY ST	608 NASH ST	609 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	BLAZEK ALVIN F & DOROTHY H	CASTRO RENE & BETSY
610 NASH	6634 DAVIS DR	700 WINDSONG LN
ROCKWALL, TX 75087	ROYSE CITY, TX 75189	ROCKWALL, TX 75032
CURRENT RESIDENT	CASTILLO AGAPITO & ESTELA	TEMPLETON LORRAINE BIEGLER
701 NASH	701 PARKS AVE	702 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	ELLISTON REBECCA S	HANSON BRANDON R
702 PARKS	703 NASH STREET	703 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FRASIER MICHAEL & MARY GRACE	THOMAS TRACY	CURRENT RESIDENT
704 JACKSON ST	704 KERNODLE ST	704 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
RUSHING BRIAN AND CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087	ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087	PECINA JOE & LORETHIA ANN 706 PARKS AVE ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
707 NASH	707 PARKS	708 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KOLWINSKA GERALDINE D	CURRENT RESIDENT	BARRON ARMANDO
708 PARKS AVE	709 NASH	709 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

STARK ROBERT C	KING MISTY	NIXON ALBERT
710 AGAPE ST	710 NASH STREET	711 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
PALMER LINDA C	CURRENT RESIDENT	CURRENT RESIDENT
714 PARKS AVE	801 AUSTIN	801EHEATH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
COLUNGA MAXIMO & MARGARITA	CURRENT RESIDENT	CURRENT RESIDENT
802 E HEATH ST	802 NASH	803 AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BROWN REBECCA AND THOMAS	CURRENT RESIDENT	AUSTIN TRENTON C
804 E HEATH ST	804 NASH	806 AUSTIN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
806 NASH	808 AUSTIN	809 AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
JENNINGS AMANDA L	MCCLAIN LOUETTA	WARDELL JOHN P & JULIE C
811 AUSTIN ST	8309 TURNBERRY ST	880 IVY LN
ROCKWALL, TX 75087	ROWLETT, TX 75089	ROCKWALL, TX 75087
CURRENT RESIDENT	BIRT PAUL G & CHRISTI ANA	BELANGER CORKY
901 WILLIAMS	908 NORTH FANNIN STREET	921 N ALAMO RD
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701	KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026	ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087

AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189







NOTE: VERIFY PROFILE DETAIL WITH OWNER.

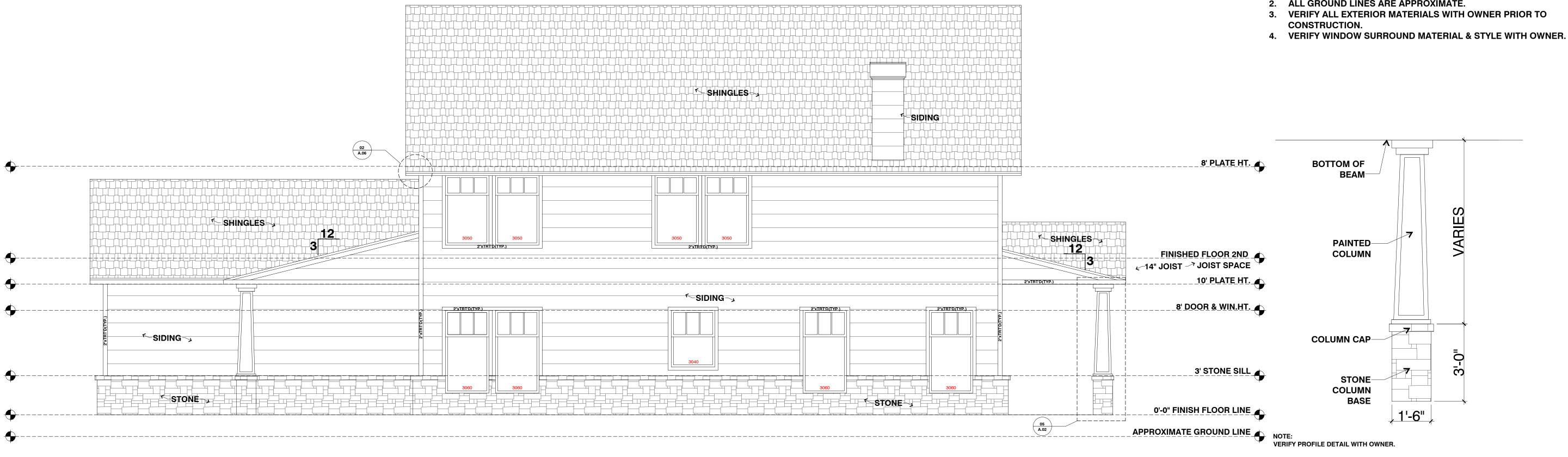
03 BRACKET 1 DETAIL
NOT TO SCALE

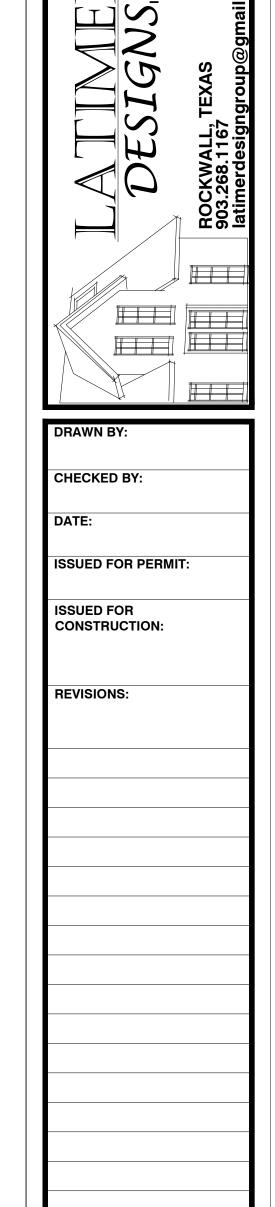
NOTE: VERIFY PROFILE DETAIL WITH OWNER.

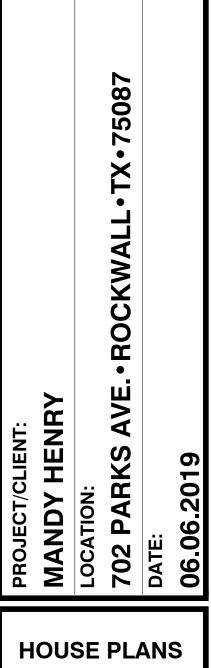
04 BRACKET 2 DETAIL
NOT TO SCALE

# **NOTES**

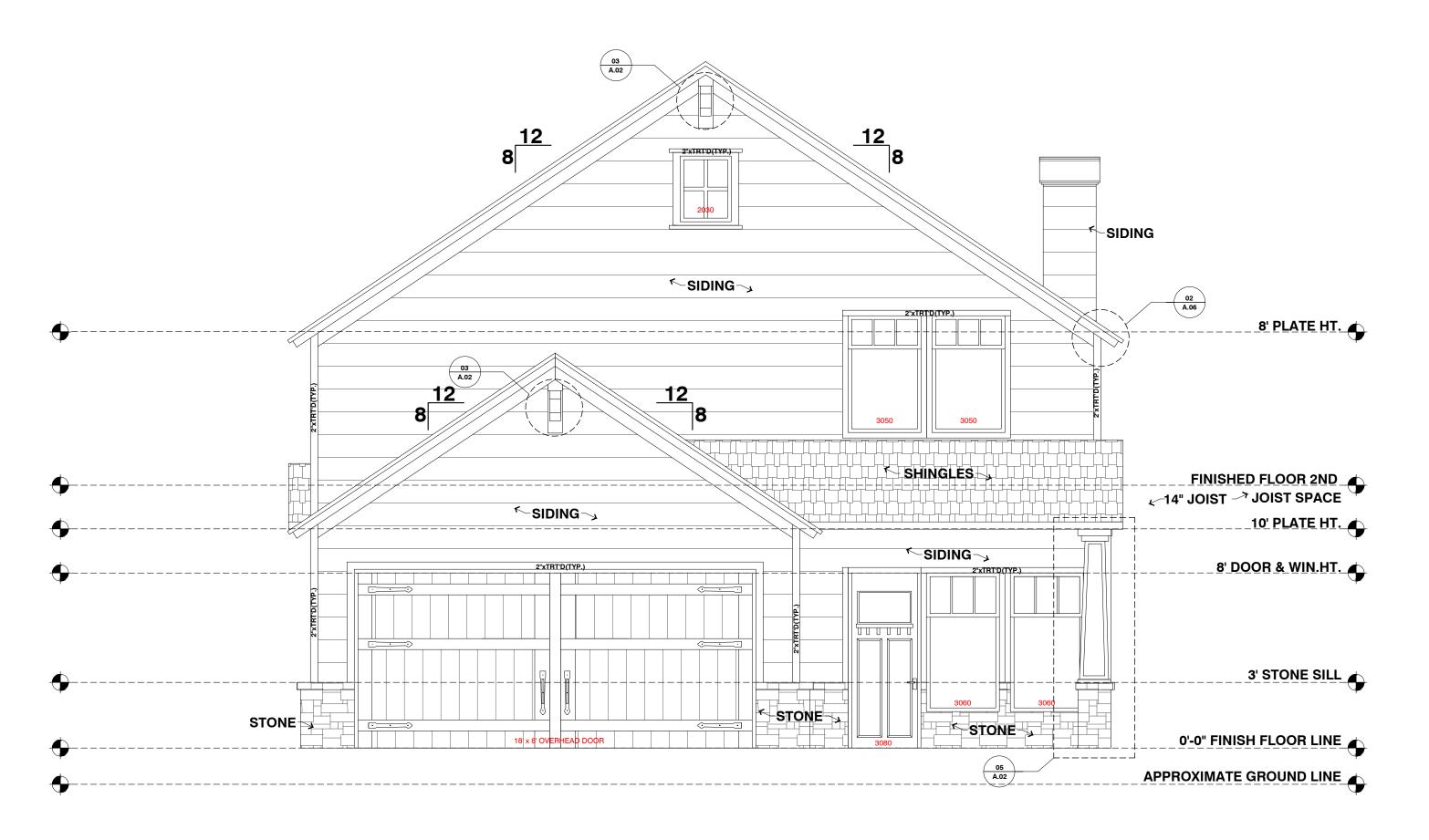
- 1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- 2. ALL GROUND LINES ARE APPROXIMATE.
- 3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO



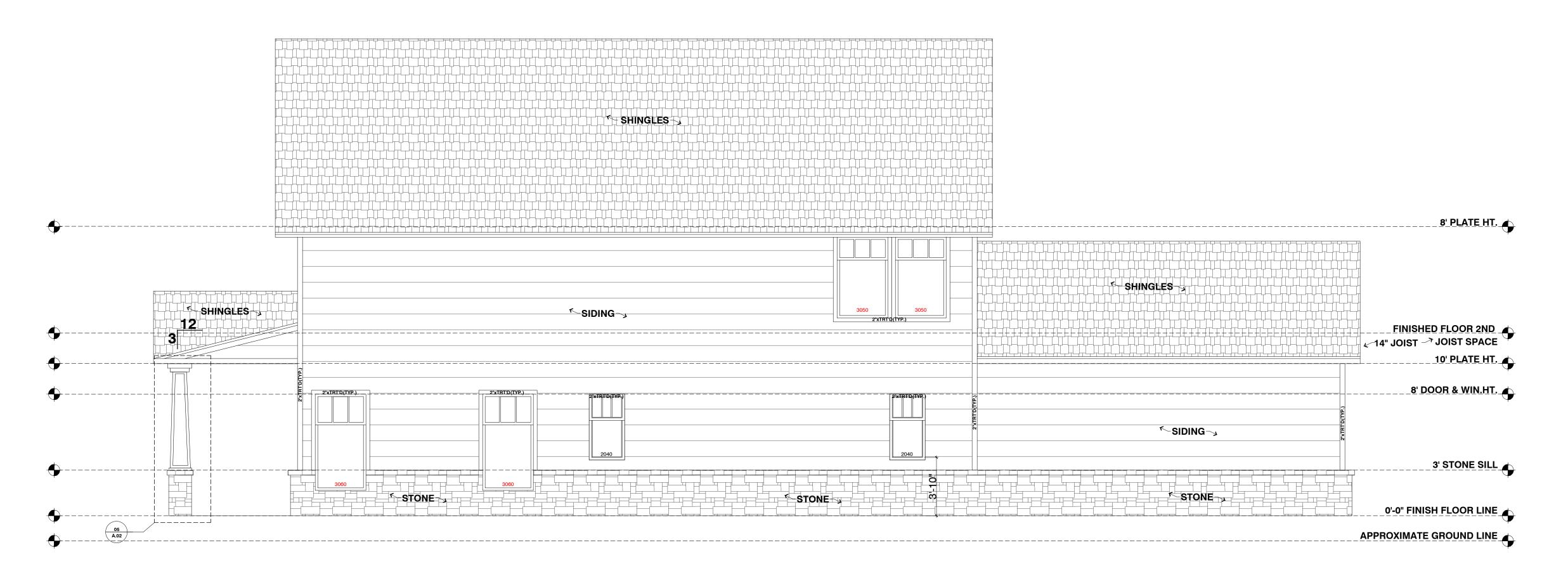




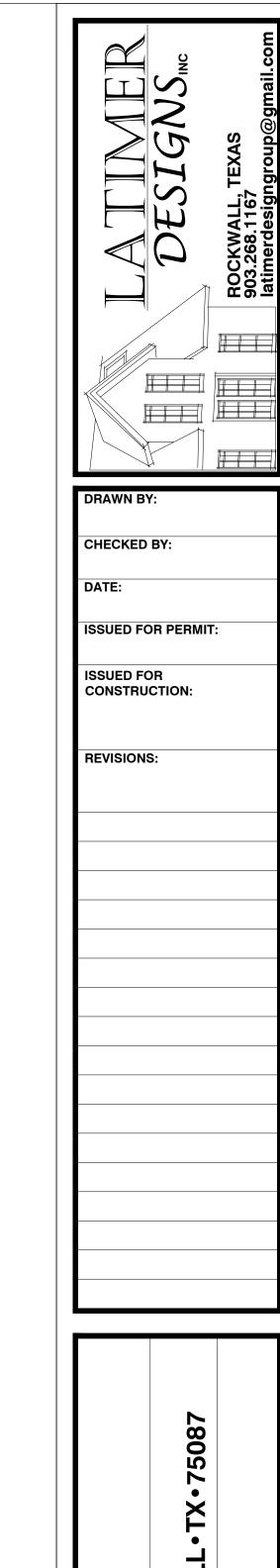
**ELEVATIONS** 



# O2 BACK ELEVATION SCALE: 1/4" = 1' - 0"







MANDY HENRY
OCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
ЭАТЕ:

HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.: Δ \_ 1 Ω3

# **CLARK STREET** 40' R.O.W. PER PLAT PROPERTY LINE 50.0' 10' EASEMENT 6' EASEMENT 702 PARKS AVE. LOT - 8 6'-6" **SIDEWALK** PROPERTY LINE 50.0'

50' R.O.W. PER PLAT PARKS AVENUE



# Henry House Plans 702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

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THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

### LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR

- 1. CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS. 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT

LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT

PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS. LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

#### DRAWING/SHEET INDEX

	A - 1.01	COVER SHEET
	A - 1.02	FRONT & LEFT ELEVATION
	A - 1.03	BACK & RIGHT ELEVATION
	A - 1.04	FLOOR PLAN
•	A - 1.05	FOUNDATION/PLUMBING PLAN
	A - 1.06	ROOF PLAN
	A - 1.07	ELECTRICAL PLAN

### **SQUARE FOOTAGE**

OGOAIL	OOIAGE
LIVING SPACE	2660
GARAGE	500
FRONT PORCH	290
BACK PORCH	186
-	· · · · · · · · · · · · · · · · · · ·

## **GENERAL NOTES**

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- 2. ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- 3. ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE -LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE
- 4. ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 5. FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY **ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY**
- 8. ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN
- 9. ALL DIMENSIONS ARE TO BE FIELD VERIFIED. 10. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE
- PROVIDED BY GENERAL CONTRACTOR). 11. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S
- SPECIFICATIONS. 12. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- 13. ALL LUMBER SHALL BE S4S UNO
- 14. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH
- 15. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY
- 16. ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER. 17. ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER &
- 18. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND **EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE** PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- 19. PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- 20. THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE
- 21. CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

# **ABBREVIATIONS**

**ANCHOR BOLT** 

LOCATION

	/	•••	
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	<b>ABOVE FINISH FLOOR</b>	LG	LONG
<b>BLDG</b>	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	ос	ON CENTER
CAB	CABINET	PT	PRESSURE TREATER
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	<b>ROD &amp; SHELF</b>
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION		TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	· · · · · - ·
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	

#### PROPERTY DESCRIPTION 702 PARKS AVE.

**ROCKWALL, TX 75087** 

	BLK D - LT 8
NEIGHBORHOOD	N3600-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R

# CLARK STREET 40' R.O.W. PER PLAT \_\_\_\_\_10' EASEMENT\_\_\_\_\_ 702 PARKS AVE. 6'-6" SIDEWALK PROPERTY LINE 50.0' 50' R.O.W. PER PLAT NORTH **PARKS AVENUE**

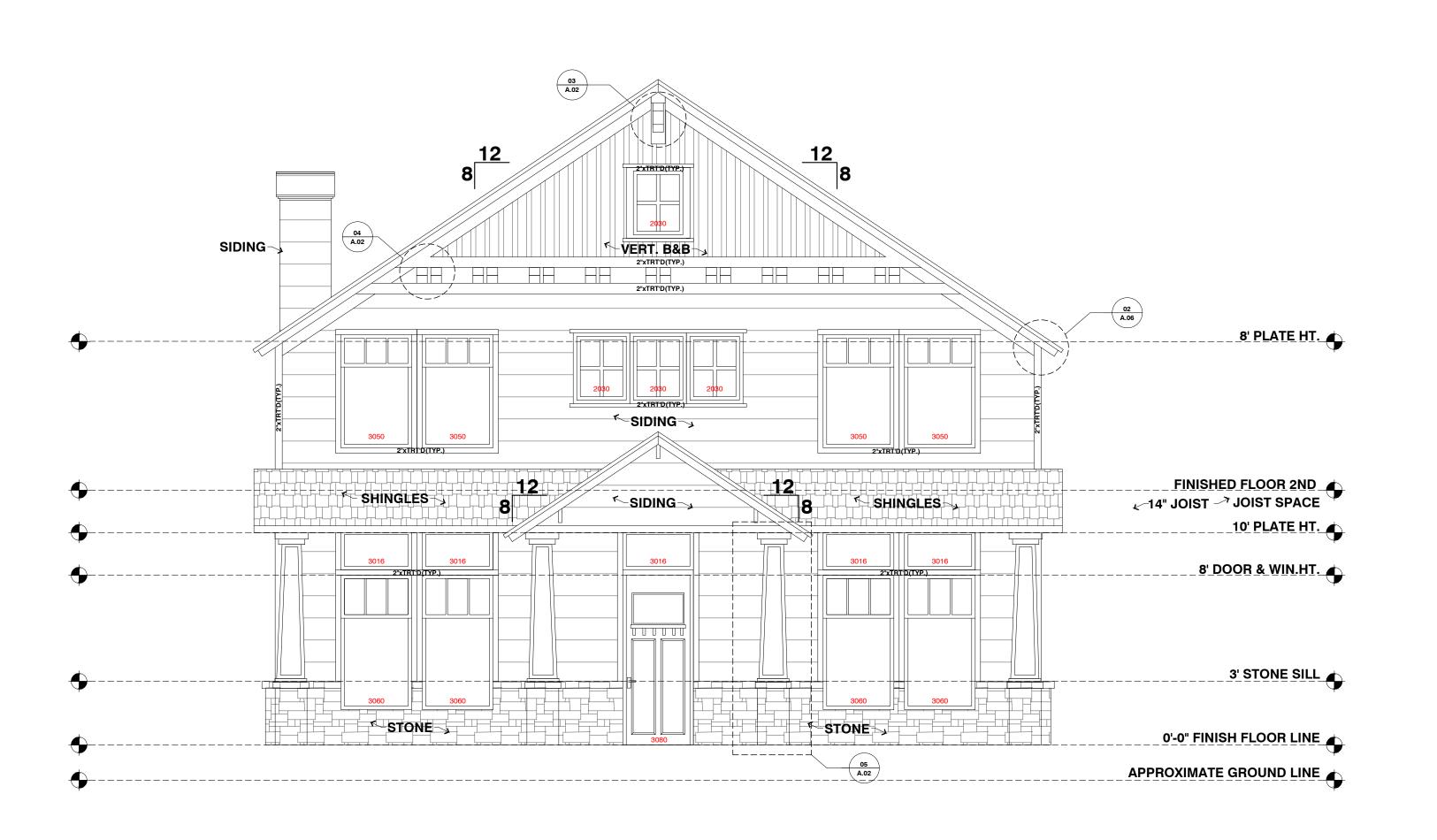
SITE PLAN SCALE: 1/8" = 1' - 0"

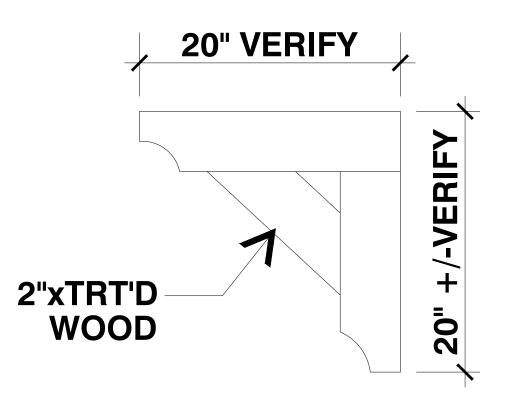
DRAWN BY: **CHECKED BY:** DATE: **ISSUED FOR PERMIT: ISSUED FOR** CONSTRUCTION: **REVISIONS:** 11.17.2019: KITCHEN - FLIP SINK & RANGE. ADDED WINDOW 12.04.2019: LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

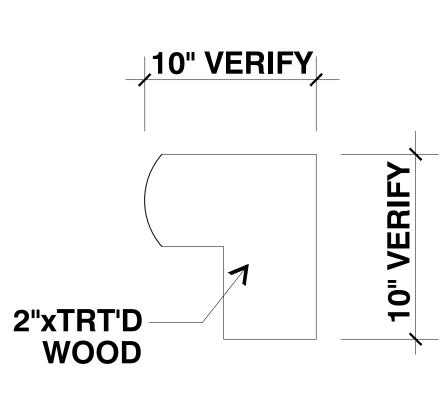
**HOUSE PLANS** 

SHEET TITLE: **COVER SHEET** 

SHEET NO.:







NOTE: VERIFY PROFILE DETAIL WITH OWNER.

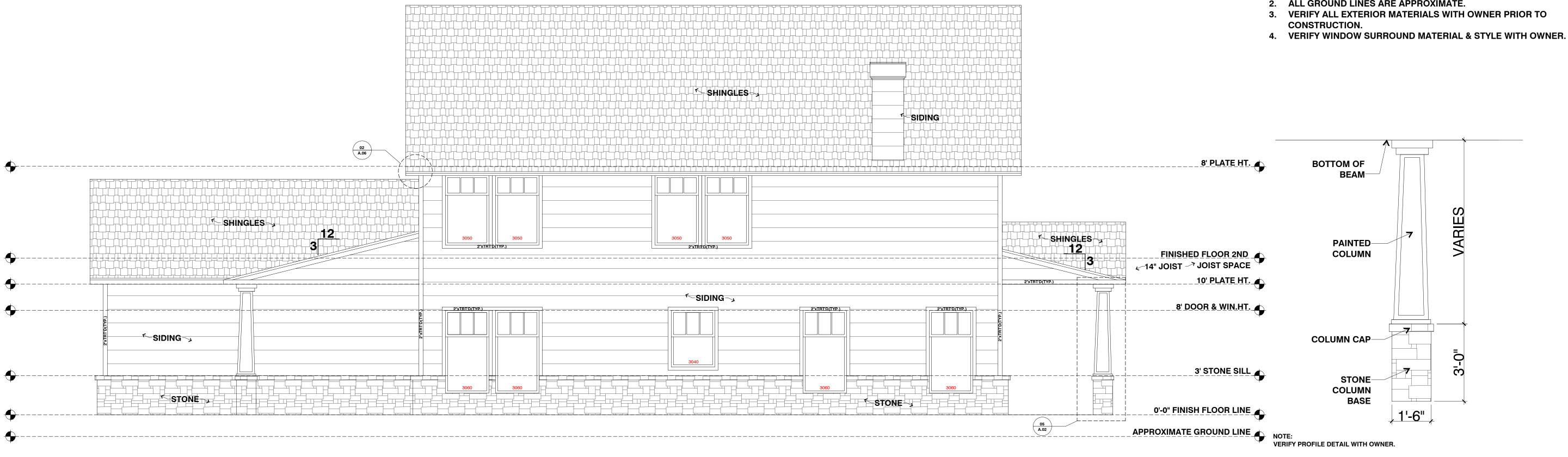
03 BRACKET 1 DETAIL
NOT TO SCALE

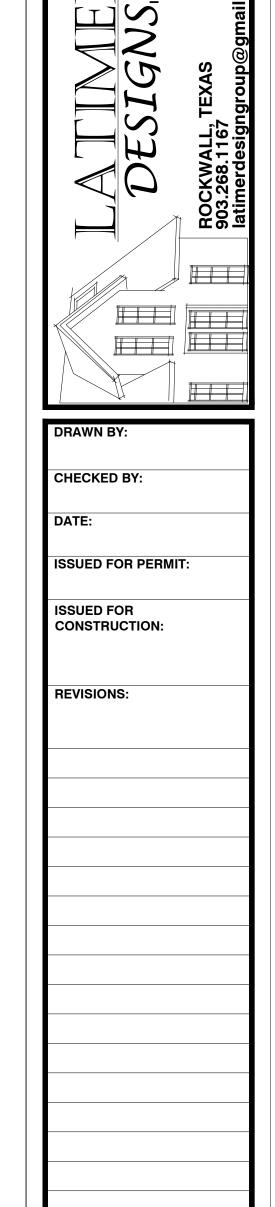
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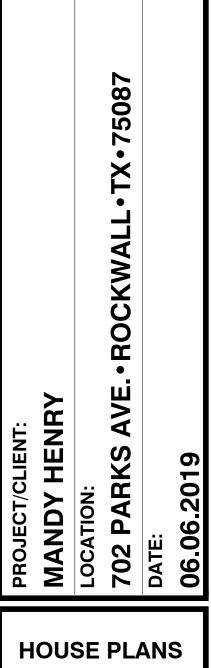
04 BRACKET 2 DETAIL
NOT TO SCALE

# **NOTES**

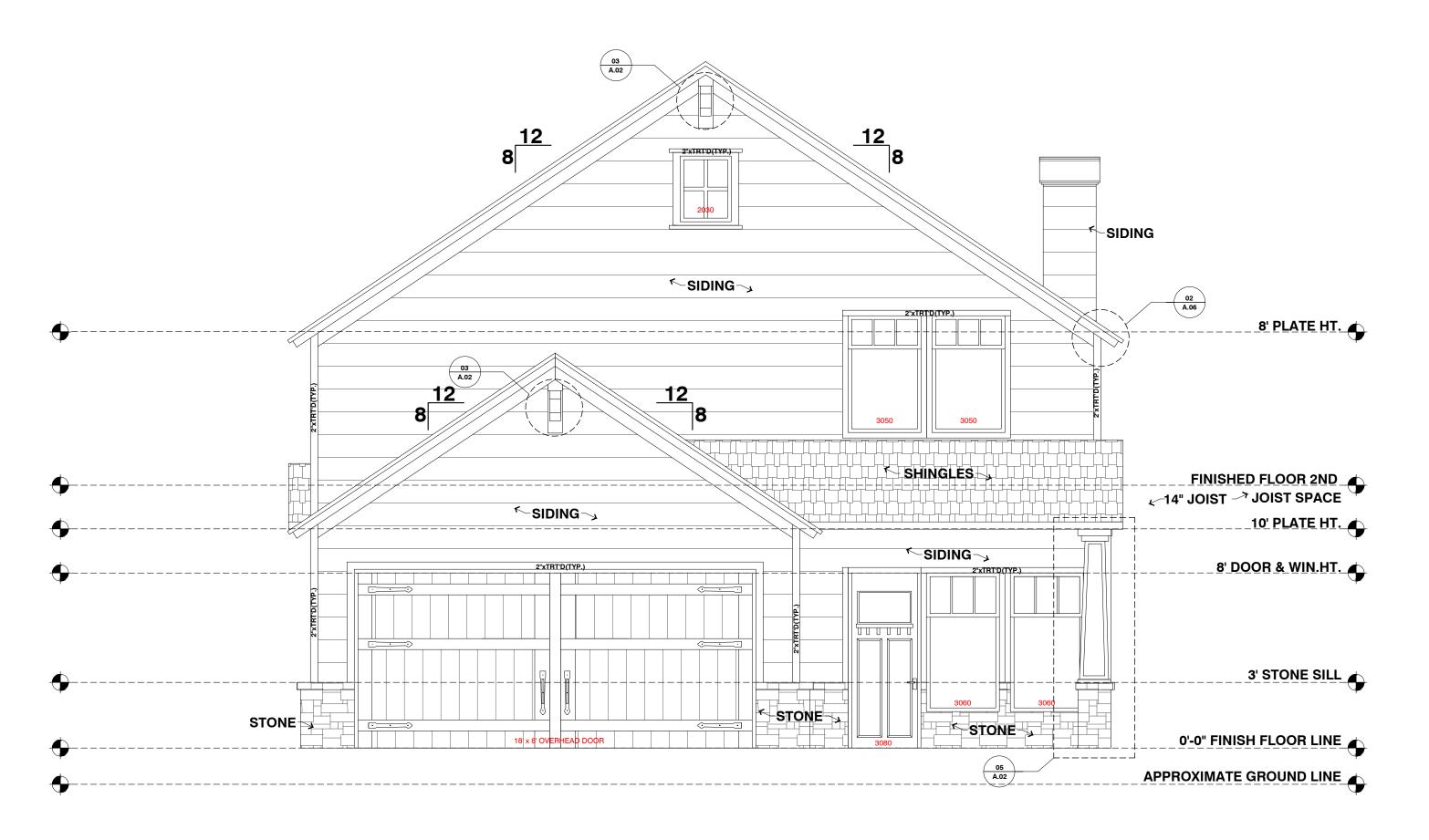
- 1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- 2. ALL GROUND LINES ARE APPROXIMATE.
- 3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO



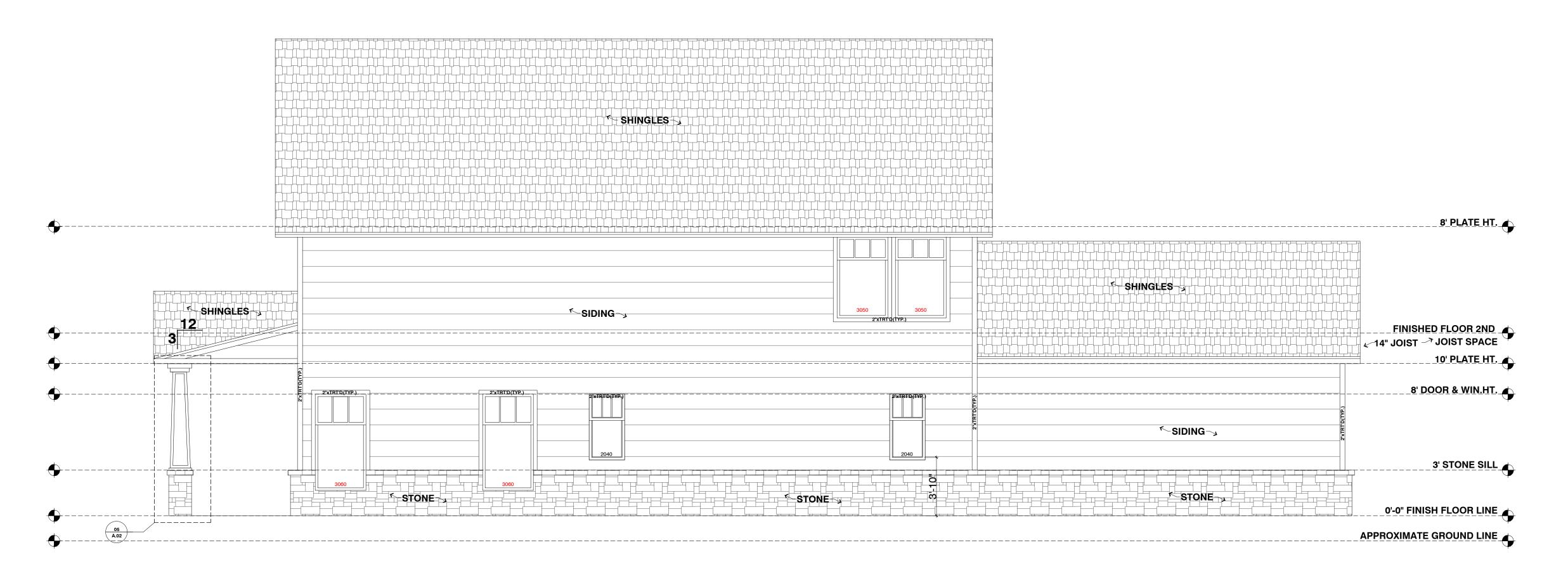




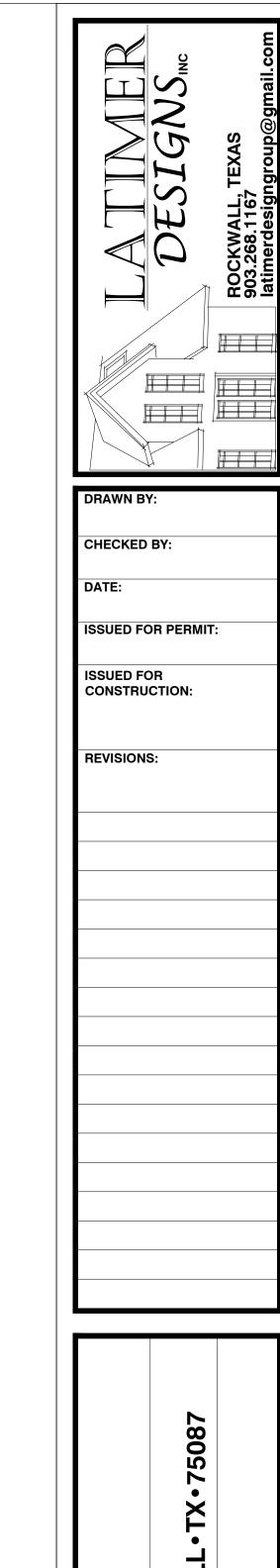
**ELEVATIONS** 



# O2 BACK ELEVATION SCALE: 1/4" = 1' - 0"





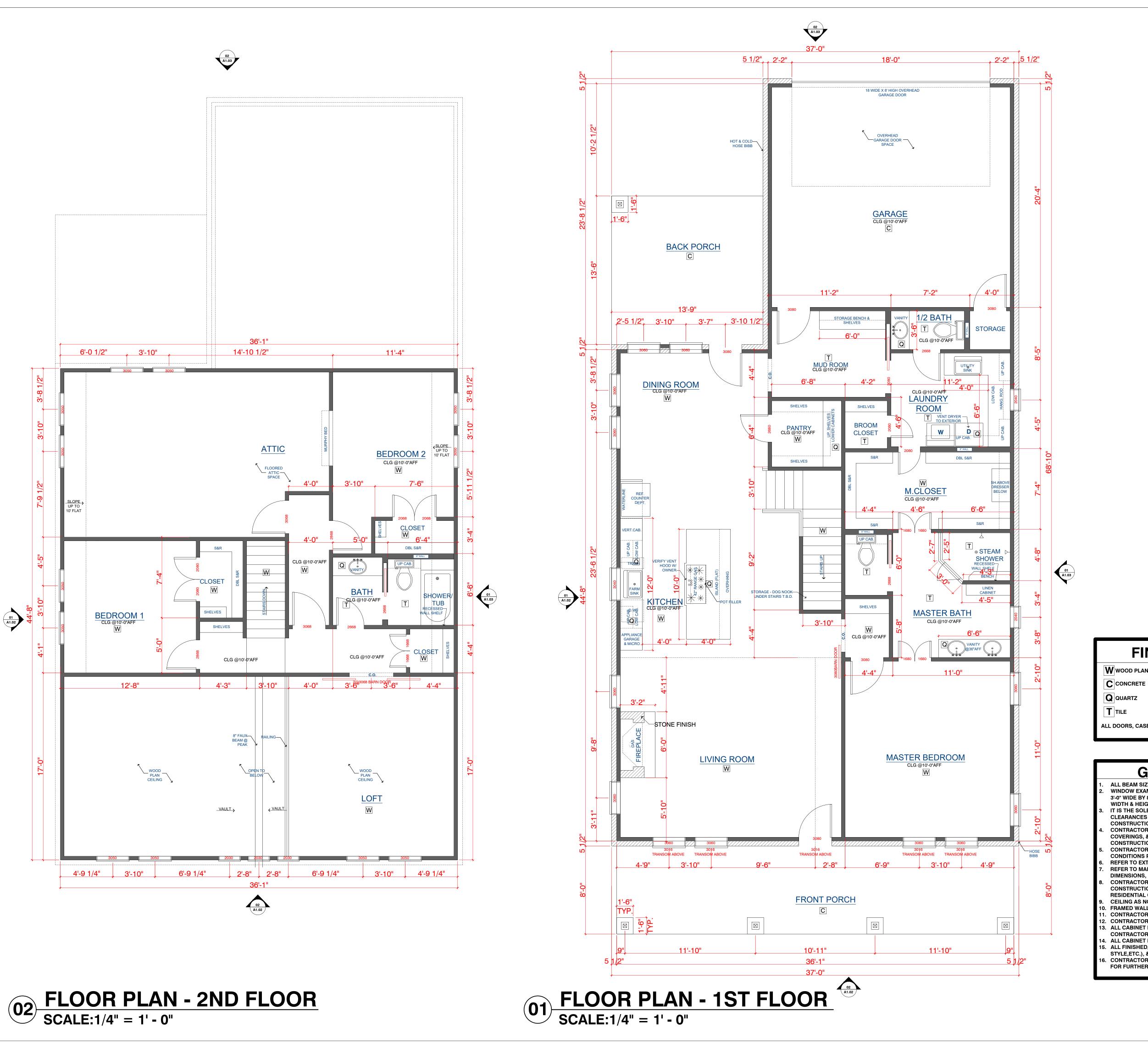


MANDY HENRY
OCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
ЭАТЕ:

HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.: Δ \_ 1 Ω3



FINISH SCHEDULE

**W** WOOD PLANK

**Q** QUARTZ

ALL DOORS, CASED OPENINGS, & WINDOWS TO HAVE TRIMMED CASEMENT

## **GENERAL NOTES**

- WINDOW EXAMPLE: 2850. 2'-8" WIDE BY 5'-0" TALL. DOOR EXAMPLE: 3080. 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES II WIDTH & HEIGHT RESPECTIVELY.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR **COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO**
- CONSTRUCTION. CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOORS & WINDOWS.
- CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
- CEILING AS NOTED ON DRAWING. 10. FRAMED WALLS TO BE 2X4 STUDS @16"O.C.
- CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE. 12. CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT 13. ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.
- 14. ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER. 15. ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE, ETC.), & APPLIANCES TO BE SELECTED BY OWNER.
- 16. CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS FOR FURTHER GRAB BARS.

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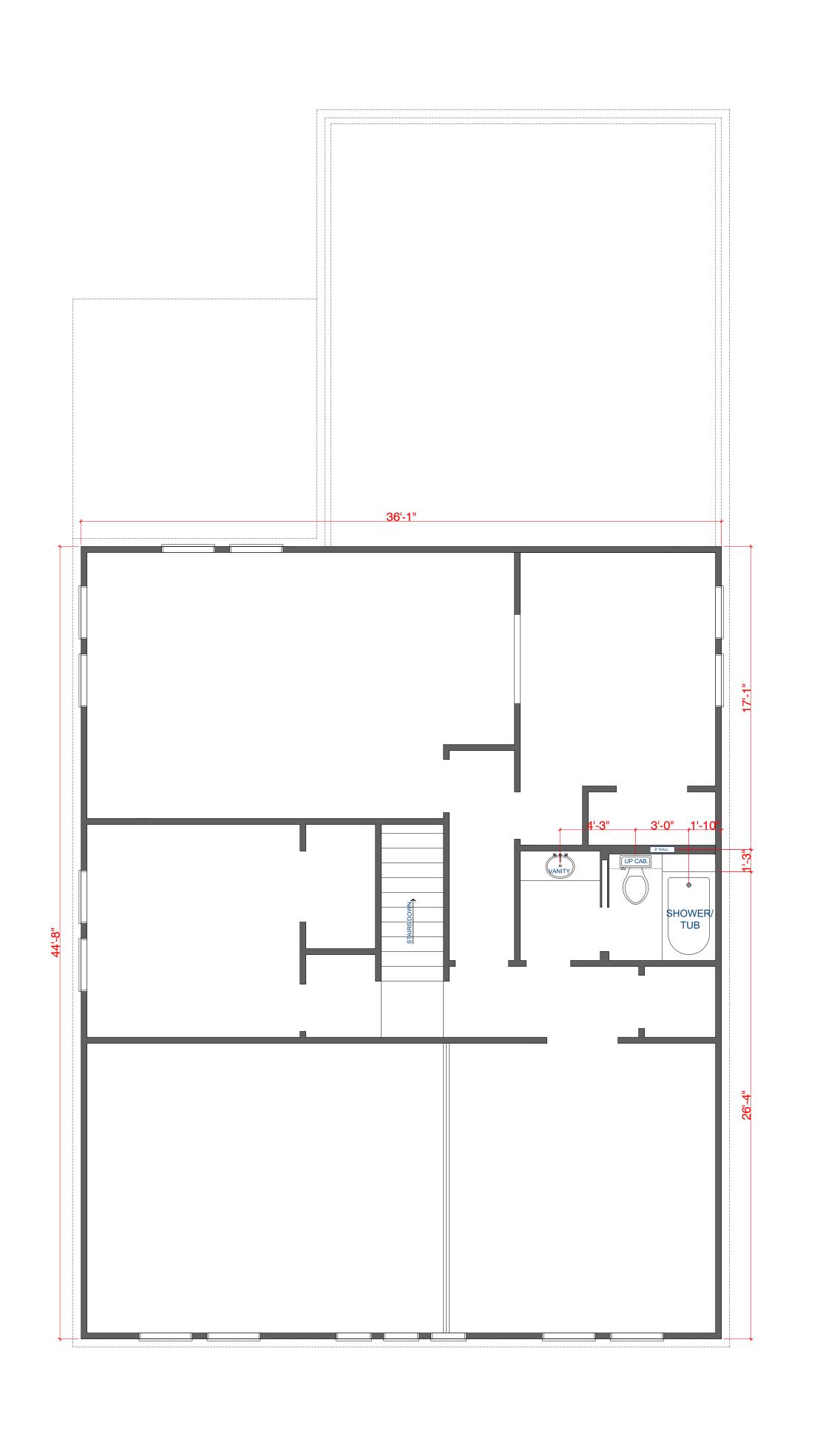
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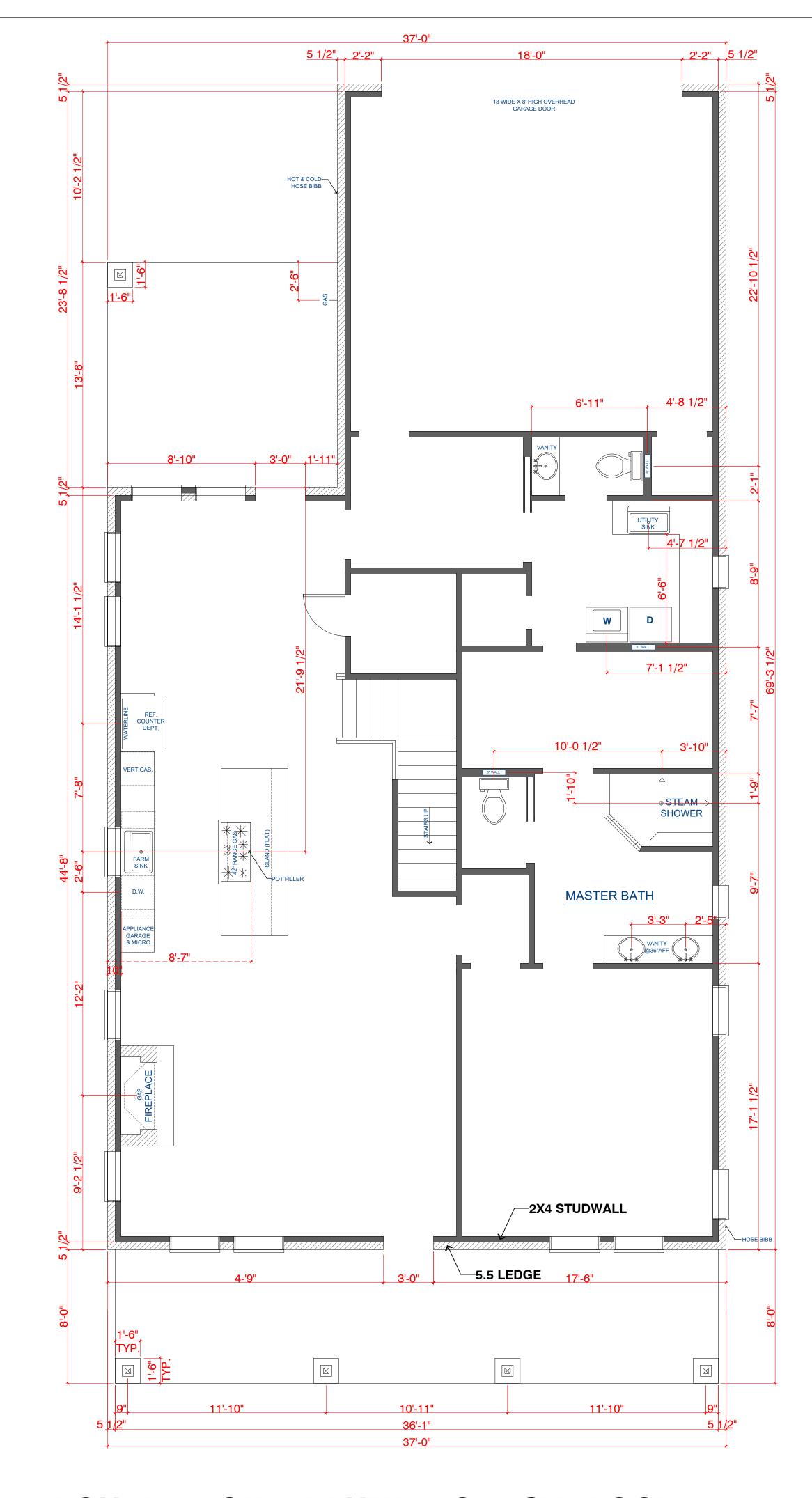
ROCKWALL PROJECT/CLIENT: MANDY HENRY

HOUSE PLANS

SHEET TITLE: **FLOOR PLAN** 

SHEET NO.: A - 1.04





**NOTES** 

ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS MANUFACTURES LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR

MANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.

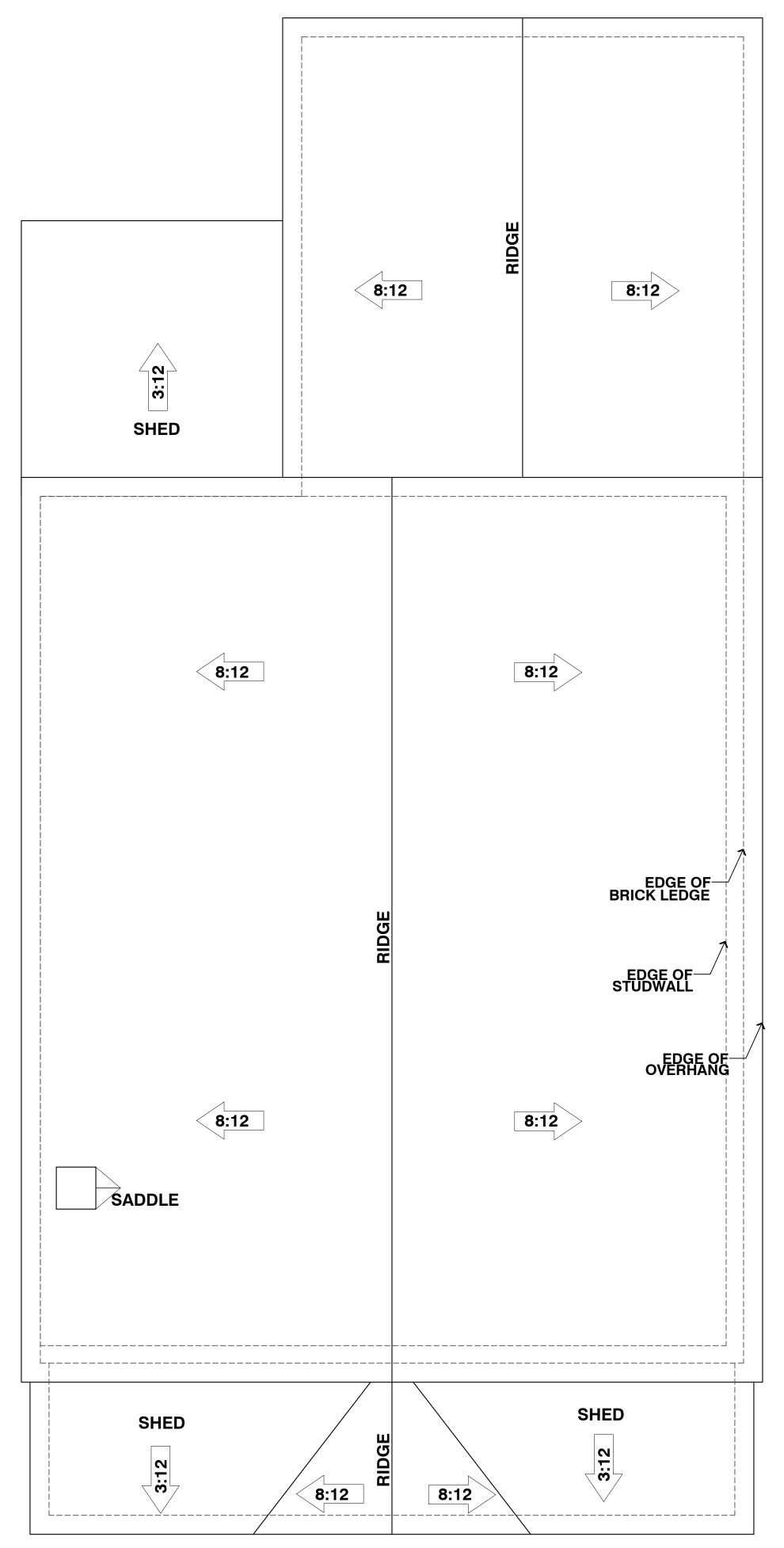
FOUNDATION & PLUMBING - 2ND FLOOR
SCALE:1/4" = 1' - 0"

FOUNDATION & PLUMBING - 1ST FLOOR
SCALE:1/4" = 1' - 0"

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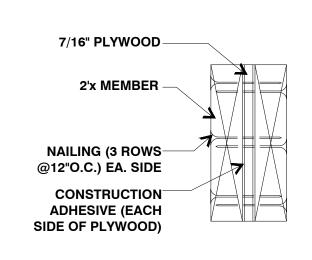
HOUSE PLANS

**FOUNDATION** & PLUMBING PLAN SHEET NO.:

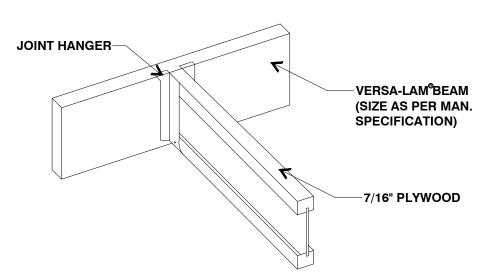


SEE ELEVATIONS FOR PLATE HEIGHTS.

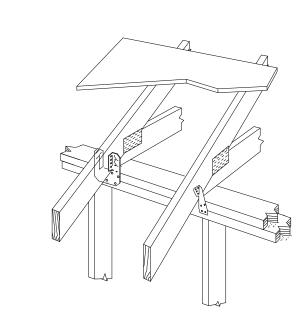






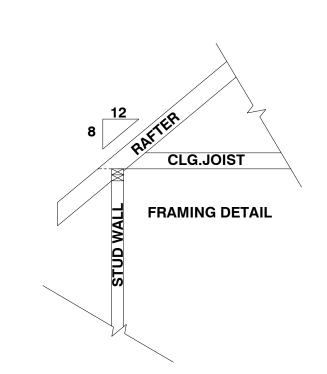




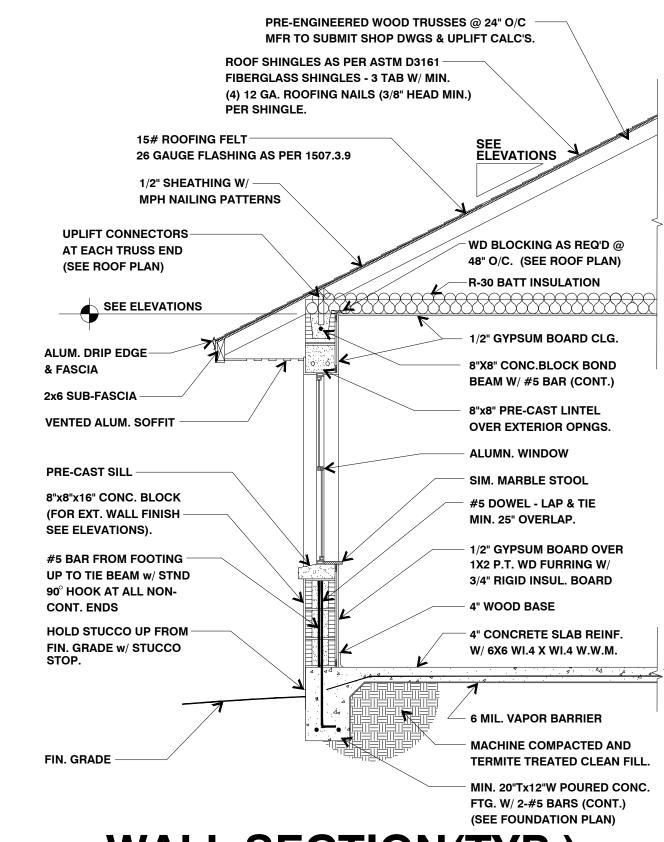


TRUSS & TOP PLATE

SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



FRAMING DETAIL
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



# WALL SECTION(TYP.) SCALE: N.T.S. SCHEMATIC-FOR GENERAL REFERENCE ONLY

# **FRAMING NOTES**

- WALL FRAMING TO BE METAL STRUCTURE WITH INTERIOR WALLS TO BE 2X4 STUDS
- @16"O.C, FRAMED ON THE INSIDE OF METAL COLUMNS.2. CONTRACTOR TO PROVIDE 2"x BLOCKING BETWEEN ALL CEILING JOIST.
- 2. CONTRACTOR TO PROVIDE 2'X BLOCKING BETWEEN ALL CEILING JOIST.

  3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.

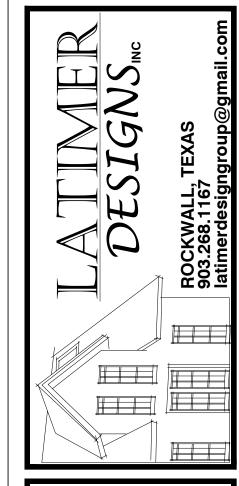
  4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL &
- NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
- ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 SPF (LIVE LOAD). 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10 PSF (DEAD LOAD).
- ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED UNLESS NOTED OTHERWISE.
- 7. ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE.

  8. ALL BEAM SIZES &D LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL
- ENGINEER.

  9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED
- OTHERWISE.
- 10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO. 2. S.Y.P.
- 11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2. S.Y.P.
  12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
- 13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA., G.I., 24" WIDE MINIMUM.
- 14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.

# **ROOF NOTES**

- 1. ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
- PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
   ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- 4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL &
- 5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.
- 6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER..7. SEE ELEVATIONS FOR PLATE HEIGHT.



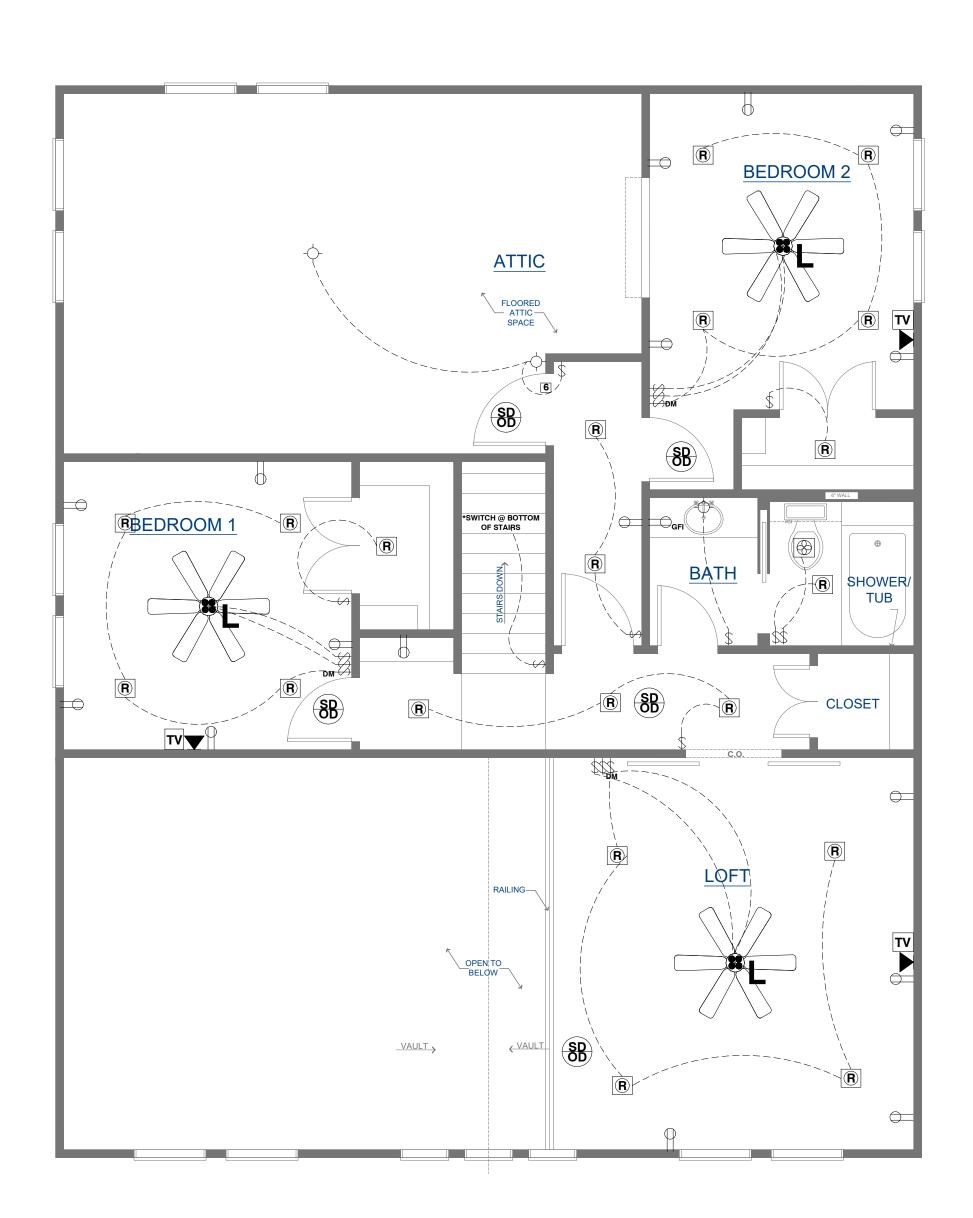
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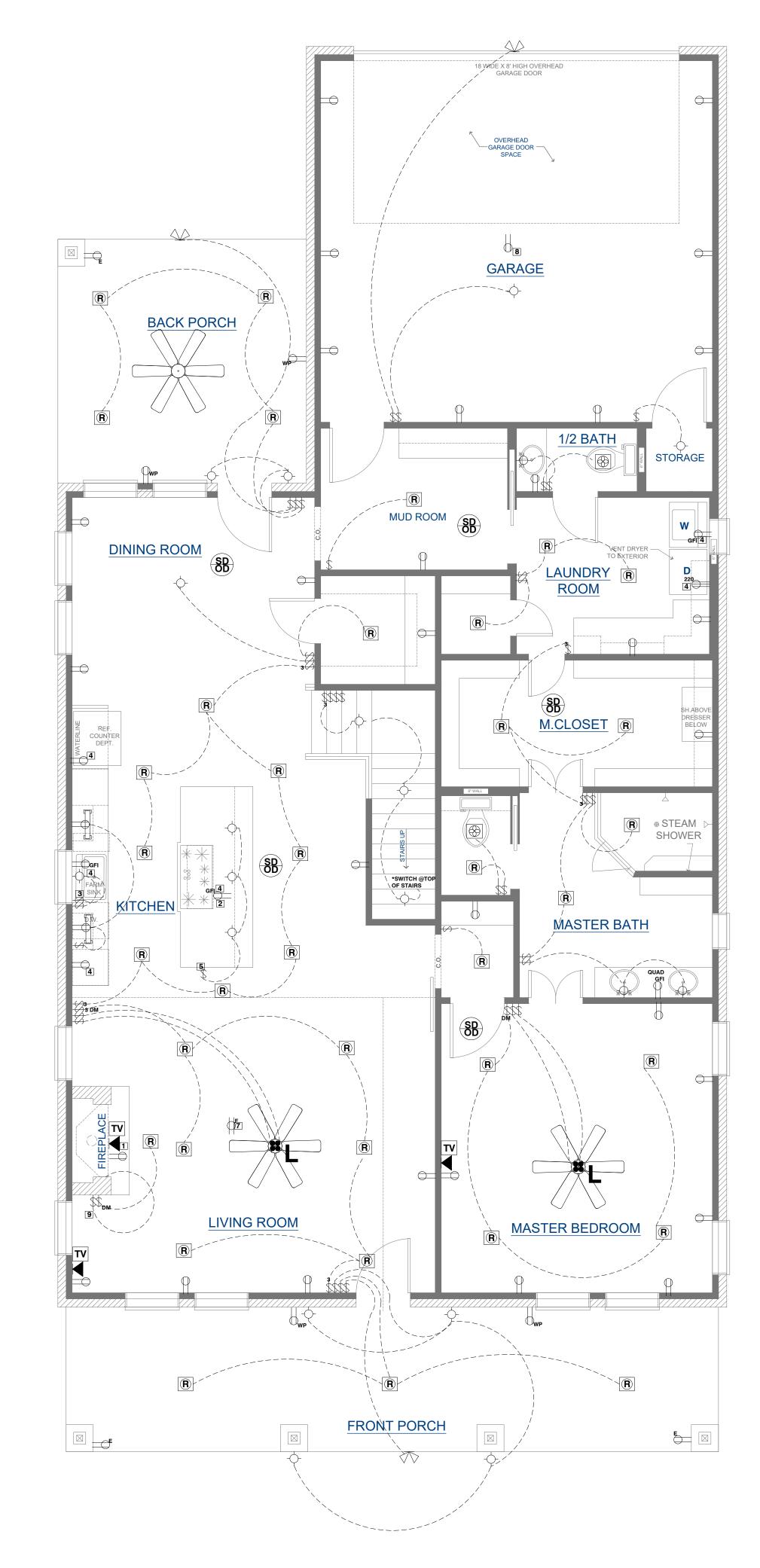
OJECT/CLIENT:
ANDY HENRY
CATION:
2 PARKS AVE. • ROCKWALL • TX • 75087
TE:

HOUSE PLANS

SHEET TITLE:
ROOF PLAN

SHEET NO.:





## **ELECTRICAL LEGEND**

ELECTRICAL LEGEND				
ELECTRICAL	SYM.			
CABLE TV OUTLETS	TV			
TELEPHONE	<b>T</b>			
UNDER MOUNT LIGHTS				
DOUBLE SPOTLIGHT	<b>₩</b>			
LIGHT FIXTURE				
RECESSED CAN LIGHT (VERIFY LOCT.W/OWNER)	R			
ELECT.& MOUNT KIT FOR FUTURE FAN				
CEILING FAN W/LIGHT				
CEILING FAN W/OUT LIGHT				
EXHAUST FAN W/O LIGHT	₩			
WATERPROOF OUTLET	WP			
EXTERIOR OUTLET@EAVE	□ □ E			
110 VOLT OUTLET				
220 VOLT OUTLET	220			
GROUND FAULT PROTECTED OUTLET	GFI			
FLOOR OUTLET W/AV	$\phi_{F}$			
SWITCH	\$			
SWITCH - 3 WAY	\$3			
SWITCH - DIMMER	\$DM			
SMOKE & CO DETECTOR	SD			

## **KEYED NOTES**

- 1 OUTLET & TV AT MANTEL
- **OUTLET FOR DISPOSAL & DW UNDER SINK**
- **SWITCH FOR DISPOSAL**
- **OUTLET FOR APPLIANCES**
- **OUTLET/SWITCH HIGH ON ISLAND**
- 6 ATTIC LIGHT & SWITCH
- **FLOOR OUTLET**
- 8 OUTLET @ CEILING 9 FIREPLACE VENT FAN

- 5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
- 6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY

# **ELECTRICAL NOTES**

- FLOOR BOXES TO HAVE 110 QUAD OUTLETS
   ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
   ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS &
- MAKE ANY NECESSARY ADJUSTMENTS

- 8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.

9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.

DRAWN BY: CHECKED BY: **ISSUED FOR PERMIT:** ISSUED FOR CONSTRUCTION: **REVISIONS:** 

HOUSE PLANS

**ELECTRICAL** 

**PLAN** 

SHEET NO.: A - 1.07

ELECTRICAL PLAN - 2ND FLOOR SCALE: 1/4" = 1'-0"

ELECTRICAL PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"

#### DESIGN GENERAL NOTES

- A. CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL RESIDENTIAL CODE. STANDARD CONSTRUCTION PRACTICE
- AND LOCAL CODES, ORDINANCES AND AMENDMENTS. B. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-10, BY AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE)

DESIGN LOADS: SUBGRADE - PER SOIL REPORT BY HOOPER GROUP, INC. REPORT #19.386 DATED DEC. 3, 2019. UPLIFT: TYPICAL BAY: 22 PSF PERIMETER STRIP: (-34) PSF CORNERS: 61 PSF "a" = 10 ft BASIC WIND SPEED: V<sub>3</sub>s = 115 MPH WIND IMPORTANCE FACTOR:  $I_W = 1.0$ CLASSIFICATION OF BUILDING: II-B

- C. AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, 318-02
- D. AMERICAN STANDARD TESTING AND MATERIALS (ASTM), A615A/B-01, SPECIFICATION FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR STRUCTURAL
- E. ASTM A185, SPECIFICATION FOR WELDED-WIRE FABRIC (WWF)

WIND EXPOSURE: B

#### POST TENSION FOUNDATION NOTES

**DESIGN:** DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS-ON GROUND, POST TENSIONING INSTITUTE, 3RD EDITION, 2008 BUILDING CODE REQUIREMENTS FOR REINFORCED . CONCRETE, 318-95, AMERICAN CONCRETE INSTITUTE.

#### 3. PREVAILING AND LOCAL STANDARD PRACTICE. MATERIALS:

1. ALL POST-TENSIONING TENDONS AND ANCHORAGES SHALL CONFORM TO REPORT NO. SCI 423.3R-83. TENDONS SHALL BE FABRICATED FROM 1/2" DIA 270 KSI STRAND MEETING ASTM A-416(CURRENT) 2. REBAR SHALL BE SIZED AS NOTED ON PLANS. ALL REBAR SHALL CONFORM TO

ASTM A-615, GRADE 60. 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT TIME OF STRESSING AND 3000 PSI AT 28 DAYS UNLESS NOTED OTHERWISE ON PLANS SHEET. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 5".

#### I. GRADE SLAB SUBGRADE SHALL BE NEAR OPTIMUM MOISTURE CONTENT AT TIME THE SLAB IS PLACED.

2. TRENCHES FOR BURIED PLUMBING SHALL NOT RUN ALONG OR UNDER BEAMS EXCEPT TO CROSS AT RIGHT ANGLES. TRENCH BACKFILL SHALL BE THOROUGHLY COMPACTED.

3. THE SLAB AREA PAD SHALL BE CONSTRUCTED WITH (8") INCHES OF SELECT FILL (OF UNIFORM DEPTH). BEFORE SELECT FILL IS PLACED, ALL VEGETATION, ROOT BALLS OR MATS, HIGHLY ORGANIC SOIL AND DEBRIS SHOULD BE REMOVED FROM WITHIN AND FOR A DISTANCE OF AT LEAST 5 FT. BEYOND THE BUILDING. PROVIDE 12" OF LOW PI FILL AND RECOMPACTED SUBGRADE UNDER ALL SLAB AREA'S

4. BEAM TRENCHES SHALL BE CLEAN AND PER PLAN SIZE. 5. NOT USED IN PROJECT. 6. A VAPOR BARRIER SHALL BE PLACED UNDER SLABS IN CONJUNCTION WITH LOCAL

BUILDING CODES OR GOVERNMENT AGENCIES. 7. CONTRACTOR SHALL FIELD-VERIFY ALL DIMENSIONS AND ARCHITECTURAL FEATURES. CONTRACTOR IS RESPONSIBLE FOR FIT AND FINISH. WHERE THERE IS A DISCREPANCY BETWEEN DIMENSIONS SHOWN HERE AND THE ARCHITECTURAL PLAN, THE ARCHITECTURAL SHALL CONTROL. NOTIFY ARCHITECT OF ANY DISCREPANCIES

THAT CANNOT BE RESOLVED IN THE FIELD. 8. CONSTRUCTION JOINTS ARE NOT PERMITTED UNLESS DETAILED OR SPECIFIED BY 9. TENDONS AND BARS SHALL BE TIED AT ALL INTERSECTIONS. TENDONS SHALL BE

SUPPORTED ON CHAIRS AT NO MORE THAN 4 FEET O.C. CARE SHALL BE USED DURING PLACEMENT OF CONCRETE SO THAT POSITIONING OF TENDONS AND SUPPORTS IS MAINTAINED. 10. AT DEAD ENDS, TENDONS SHEATHING MAY BE CUT BACK AS MUCH AS 6" FROM

THE ANCHORAGE. THE STRESSING ENDS, SHEATHING MAY BE CUT BACK A MAXIMUM OF 2" FOR PATCHING OF REPLACEMENT OF SHEATHING, TAPING IS SUFFICIENT. 11. CONCRETE SHALL BE WELL CONSOLIDATED.

12. DEAD ENDS AND STRESSING ENDS MAY BE REVERSED IN THE FIELD AT THE CONTRACTOR OPTION. 13. SLAB SHALL BE PARTIALLY STRESSED TO 30 TO 40 PERCENT OF MAXIMUM

BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THESE STRANDS MAY BE

BETWEEN 24 AND 72 HOURS AND FINALLY STRESSED APPROXIMATELY 7 DAYS AFTER 14. TENDONS 1/2" DIA. 270 KSI SHALL BE ANCHORED AT 28.9 KIPS. ELONGATION SHALL BE APPROXIMATELY 0.078" PER FOOT OF LENGTH. ANY DISCREPANCY SHALL

TEMPORARILY STRESSED TO 33.0 KIPS IN ORDER TO OVERCOME FRICTION AND COMPENSATE FOR SEATING LOSSES. 15. TENDONS ENDS SHALL BE CUT OFF WITH A SAW OR SHEAR.

16. STRESSING POCKETS SHALL BE PATCHED WITH A STIFF GROUT MIX. 17. SUCCESSFUL PERFORMANCE OF SLAB-ON GRADE FOUNDATION DEPENDS ON GOOD SURFACE DRAINAGE. IT IS IMPORTANT THAT GOOD POSITIVE DRAINAGE BE INITIATED FROM THE ONSET OF THE PROJECT AND THAT DRAINAGE BE MAINTAINED AWAY FROM ALL STRUCTURES. IT IS ALSO IMPORTANT THAT THE GRADE UNDER THE STRUCTURES BE WELL ABOVE THE SURROUNDING GRADE TO PREVENT ANY POSSIBILITY OF WATER SEEPING UNDER THE BUILDING. THIS WILL INCLUDE PROPER BACKFILL OF THE UTILITY TRENCHES TO PREVENT THE WATER FROM SEEPING ALONG UNCOMPACTED TRENCHES. GEOTECHNICAL REPORT

DESIGN OF FOUNDATIONS AND STRUCTURAL COMPONENTS IN CONTACT WITH SOIL IS BASED ON THE RECOMMENDATIONS GIVEN IN THE FOLLOWING:

#### REPORT BY: HOOPER GROUP, INC. DATE OF REPORT: DEC. 3, 2019 **REPORT NUMBER:** 19.386

#### STEEL REINFORCING

ALL BARS SHALL BE DEFORMED IN ACCORDANCE WITH ASTM A615. REINFORCING INDICATED TO BE WELDED SHALL CONFORM TO ASTM A706. 3.2.2 STRENGTH OF BARS SHALL BE AS FOLLOWS: ALL BARS GRADE 60

#### SPLICING OF REINFORCING BARS

1. TOP BARS IN BEAMS, SLABS OR JOISTS SHALL BE SPLICED AT MIDSPAN

BETWEEN SUPPORTS, UNLESS NOTED OTHERWISE. 2. BOTTOM BARS IN BEAMS, SLABS OR JOISTS SHALL BE SPLICED AT SUPPORTS, UNLESS NOTED OTHERWISE.

#### LAPPED SPLICE LENGTHS

1. LAP REINFORCING 30 BAR DIAMETERS AT SPLICES UNLESS NOTED OR DETAILED

2. TENSION SPLICE LENGTHS SHALL BE CALCULATED IN ACCORDANCE WITH ACI 318. USE CLASS "B" SPLICES UNLESS NOTED OTHERWISE

CONCRETE COVER TO REINFORCING 3. CLEARANCE FROM FACE OF CONCRETE TO FACE OF REINFORCING: PIERS FOOTINGS

#### FORMED GRADE BEAMS 1½" TOP, 2" SIDES, 3" BOTTOM

PLACEMENT OF REINFORCING 1. OFFSETS IN REINFORCING BARS SHALL BE BENT AT A RATIO OF 1 (NORMAL TO

## BAR AXIS) TO 6 (PARALLEL TO BAR AXIS).

- 2. PROVIDE CORNER BARS AT INTERSECTIONS OF BEAMS AND WALLS IN ACCORDANCE WITH TYPICAL DETAILS.
- 3. PROVIDE DOWELS FROM GRADE BEAMS OR FOUNDATION EQUAL IN SIZE AND
- SPACING TO VERTICAL BARS IN WALLS OR PILASTERS AND EXTEND ONE SPLICE LENGTH ABOVE AND BELOW JOINT LINE, UNLESS NOTED OTHERWISE.
- 4. START STIRRUP SPACING IN BEAMS 2 INCHES OUTSIDE OF FACE OF SUPPORTS 5. PLACE FIRST BAR OF SLAB REINFORCING PARALLEL TO SIDE 2 INCHES FROM A FREE EDGE OR HALF OF REQUIRED BAR SPACING FROM FACE OF EDGE BEAM.

#### **WOOD GENERAL NOTES**

A. ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE AND TIGHT AND WELL NAILED WITH MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT BUILDING CODES. THE SHIMMING OF SILLS, JOISTS, SHORT STUDS, TRIMMERS, HEADERS, OR OTHER FRAMING MEMBERS SHALL NOT BE PERMITTED. ALL WALLS AND PARTITIONS SHALL BE STRAIGHT, PLUMB, AND ACCURATELY LOCATED. CAREFULLY SELECT ALL STRUCTURAL MEMBERS. INDIVIDUAL PIECES SHALL BE SELECTED SO THAT KNOTS AND OBVIOUS MINOR DEFECTS WILL NOT INTERFERE WITH THE PLACING OF BOLTS, OR PROPER NAILING OR THE MAKING OF SOUND CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER OR ARCHITECT FOR EXCESSIVE WARP, TWIST, BOW, OR CROOK, MILDEW, FUNGUS, OR MOLD AS WELL AS FOR IMPROPER GRADE MARKING. DEFECTS WHICH RENDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION SHALL BE DISCARDED.

B. EACH PIECE OF STRUCTURAL LUMBER, SHEATHING, AND TIMBER SHALL BE MARKED WITH THE GRADE BY SUCH COMPETENT AND RELIABLE ORGANIZATION WHOSE REGULAR BUSINESS IS TO ESTABLISH LUMBER GRADES. THE ORGANIZATION, GRADING, AND GRADE MARKING SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.

- C. ALL LUMBER, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, SHALL BE MILL SIZED AND SURFACED ON (4) SIDES. ALL SHALL BE STRAIGHT STOCK, FREE FROM WARP OR CUP, AND SINGLE LENGTH PIECES.
- D. BUILDING PAPER: SHALL BE THE STANDARD PRODUCT OF A MAJOR MANUFACTURER, SUITABLE FOR THE USES INTENDED, AND WEIGHING AT LEAST (14)
- POUNDS PER 100 SQUARE FEET. E. ROUGH HARDWARE: JOIST HANGERS, STRAPS, HOLDDOWNS, ETC. SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR APPROVED EQUIVALENT. THE MAXIMUM SIZE AND NUMBER OF FASTENERS SPECIFIED BY THE MANUFACTURER SHALL BE USED UNLESS NOTED OTHERWISE.
- F. INSTALL ALL BLOCKING AS REQUIRED TO SUPPORT ALL ITEMS OF FINISH SUCH AS BULKHEADS AND DOOR BUCKS. PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS. VERIFY ALL REQUIRED BLOCKING WITH LOCAL BUILDING
- G. BOLTS SHALL BE INSTALLED IN HOLES BORED WITH A BIT 1/16" LARGER THAN THE DIAMETER OF THE BOLT. BOLTS AND NUTS SEATING ON WOOD SHALL HAVE CUT STEEL WASHERS UNDER HEADS AND NUTS. NUTS SHALL BE PULLED TIGHT AND AGAIN CHECKED AND TIGHTENED JUST PRIOR TO ENCLOSING BOLTED MEMBERS. COUNTER BORE FOR BOLTED HEADS OR NUTS ONLY WHERE SO INDICATED ON THE DRAWINGS, AND THE ONLY TO SUFFICIENT DEPTH TO HOUSE. THE BOLT OR HEAD OR NUT AND WASHER. CUT OFF EXCESSIVE BOLT PROJECTION WHERE NECESSARY. NICK THREADS TO PREVENT LOOSENING.
- H. LAG SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE. LAG SCREWS FASTENING ONE WOOD MEMBER TO ANOTHER SHALL HAVE A PENETRATION INTO FAR MEMBER OF NOT LESS THAN 2/3 OF THE LENGTH OF THE LAG SCREW MEASURED UNDER THE HEAD. ALL LAG SCREWS SHALL BE FITTED WITH WASHERS UNDER THE HEAD. IN PLACING LAG SCREWS IN WOOD, A HOLE SHALL FIRST BE BORED OF THE SAME DIAMETER AND DEPTH OF THE SHANK OF THE SCREW, AFTER WHICH THE HOLE SHALL BE CONTINUED TO A DEPTH EQUAL TO THE LENGTH OF THE LAG SCREW WITH A DIAMETER EQUAL TO THE DIAMETER OF THE SCREW AT THE ROOT OF THE THREAD.
- I. COMMON NAILS SHALL BE USED WHEN NAILING IS SPECIFIED ON THESE PLANS. SUCH AS AT SHEAR WALLS AND DIAPHRAGMS. ALL OTHER NAILING SHALL BE SUBMITTED TO THE ENGINEER WITH APPROPRIATE TESTING CERTIFICATION PRIOR TO CONSTRUCTION FOR APPROVAL.

TRUSS TO SILL OR GIRDER, TOENAIL	3-8d
BRIDGING TO JOIST, TOENAIL EACH END	2-8d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d at 16" o.c.
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE	4–8d TOENAIL OR 2–16d, END NAIL
DOUBLE STUDS, FACE NAIL	16d at 24" o.c.
DOUBLE TOP PLATES, FACE NAIL	16d at 16" o.c.
TOP PLATE LAPS AND INTERSECTIONS, FACE NAIL	2–16d
CONTINUOUS HEADER, TWO PIECES	16d at 16" o.c. ALONG EACH SIDE
CEILING JOISTS TO PLACE, TOENAIL	3-8d
CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
CEILING JOISTS, LAPS OVER PARTITIONS FACE NAIL	3–16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3–16d
RAFTER OR TRUSS TO PLATE, TOENAIL	3-8d *
BUILD-UP CORNER STUDS	16d at 24" o.c.
BUILD-UP WOOD COLUMNS	16d at 8" o.c. FOR 2X4'S 2 ROWS 16d at 8" O.C. 2X6 OR GREATER
BUILD-UP GIRDER AND BEAMS	20d at 32" o.c. at top and bottom and staggered 2—20d AT ENDS AND AT EACH SPLICE

\* - SUPPLY RATED CLIPS OR STRAWS FOR UPLIFT FORCES OVER 200 LBS. AS NOTED BY THE ROOF TRUSS MANUFACTURER ON THE SUBMITTED DESIGN SHEETS.

J. SHEATHING GRADE SHALL CONFORM TO PS-1 EXPOSURE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE PLANS: ORIENTED STRAND BOARD, STRUCTURAL PARTICLE BOARD, COMPOSITE BOARD, WATER BOARD AND PLYWOOD SHALL ALSO CONFORM TO NER-108.

ROOF SHEATHING AT SLOPED ROOF AREAS:

7/16 INCH THICK APA RATED PANEL (PLYWOOD) OR OSB) WITH MINIMUM SPAN INDEX 24/0. NAILED WITH 8d AT 6" O.C. AT BUILDING PERIMETER AND SHEAR WALLS 8d AT 6" O.C. AT SUPPORTED ENDS OF EACH PANEL 8d at 12" o.c. AT FIELD FOR EACH PANEL BLOCKING OF UNSUPPORTED EDGES SHALL NOT BE REQUIRED

#### FLOOR PANEL:

23/32 INCH THICK T & G APA RATED PANEL PLYWOOD (PLYWOOD OR OBS) WITH MINIMUM SPAN INDEX 48/24 NAILED WITH 8d AT 6" O.C. AT BUILDING PERIMETER AND SHEAR WALLS 8d AT 6" O.C. AT SUPPORTED ENDS OF EACH PANEL 8d at 10" o.c. AT FIELD FOR EACH PANEL BLOCKING OF UNSUPPORTED EDGES SHALL NOT BE REQUIRED (U.N.O.)

- K. LAY FLOOR AND ROOF PANEL WITH FACE GRAIN PERPENDICULAR TO FRAMING UNLESS SHOWN OTHERWISE ON THE PLANS. WHERE PANEL IS LAID WITH FACE GRAIN PARALLEL TO FRAMING, 5 PLY MINIMUM SHEATHING SHALL BE USED.
- L. FLOOR SHEATHING SHALL BE GLUED TO ALL SUPPORTING MEMBERS WITH AN ELASTOMERIC ADHESIVE CONFORMING TO ASTM DS3498 . NAILS SHALL BE RING-SHANK TYPE.
- M. PROVIDE BLOCKING FOR ALL SHEAR WALLS AS NOTED. ALL SHEATHING AND PANELS SHALL HAVE A MINIMUM OF TWO-INCH NOMINAL BACKING AT EDGES.
- N. SILLS SHALL BE OF TREATED SOUTHERN YELLOW PINE. SHEAR WALLS AND EXTERIOR WALL SILLS AT CONCRETE SLAB SHALL HAVE 1/2" 0/X 10" ANCHOR BOLTS SPACED AT 6'-0" O.C. MAX. REFER TO SHEAR WALL LAYOUT SHEETS. P8S36 POWDER DRIVEN FASTENER OR EQUIVALENT SPACED AT 16" O.C. MAXIMUM WITH A 1-1/2" PENETRATION INTO SLAB. PLACE THE FIRST FASTENER AT 6" FROM THE END OF THE PLATE.
- O. LUMBER QUALITY: UNLESS NOTED OTHERWISE ON THE DRAWINGS, LUMBER SHALL BE AT LEAST OF THE GRADES SHOWN IN THE TABLE BELOW. ALL LUMBER SHALL NOT EXCEED 19% IN MOISTURE CONTENT AT THE TIME OF INSTALLATION IN

THE STRUCTURE. ALL STUDS SHALL BE KILN DRIED AND STAMPED "KD".

#### MINIMUM LUMBER GRADES

TYPE	EXPOSURE	PRIMARY	SIZE	MINIMUM GRADE	MINIMUM CAPACITIES					
		USE			Fb	Fb	Fv	E*	Fc //	Fс д
				SYP	SINGLE	REPET.		PSI	PSI	PSI
					PSI	PSI	PSI			
	EXPOSED	PLATE	2X4	#3	850	980	90	1.4	975	565
		HEAVY BEAMS	4X12	#2	825	_	90	1.2	1300	520
			6X12	DOUGLAS-FIR(S)						
SAWN ELUMBER	ENCLOSED	STUDS	2X4	STUDS D-F-L	575	665	70	1.0	600	335
		JOISTS AND	2X 3X	#2	1250	1450	95	1.6	1050	565
		BEAMS	4X							
		HEAVY BEAMS	6X	#1	1300	_	85	1.6	925	525
		HEAVY POSTS	5X5	#1	1200	_	85	1.6	1000	525
GLULAM		BEAMS	ANY	24-V8	2400	_	165	1.8	1650	650
UPPER TWO FLOORS PLATES		2X4 S.P.F.	#3	850	980	90	1.4	975	335	
BOTTOM FLOOR TOP PLATES (3 STORY)			2X4 S.Y.P.	#3	850	980	90	1.4	975	565

- MULTIPLY ALL "E" VALUES BY 1,000,000 TO OBTAIN UNITS OF PSI. STUDS MAY BE INDUSTRY APPROVED FINGER JOINTED MATERIAL. BUILT-UP COLUMNS (3 OR MORE STUDS) SHALL BE #2 S.Y.P. AND ARE
- INDICATED ON THE FRAMING PLANS. SEÉ NOTED FOR NAILING. P. PREFABRICATED PRE-ENGINEERED TRUSSES CONNECTED BY METAL PLATES SHOWN ON PLANS ARE PER SPECIFICATIONS BY OWNER APPROVED MANUFACTURER. THE TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WHICH THE PROJECT IS TO BE BUILT I THE DESIGN, DETAILING, ERECTION, BRACING, AND BLOCKING OF THE TRUSSES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE, INC.
- Q. TRUSS SHOP DRAWINGS SHALL SHOW THE TRUSS DESIGN LOADS, SIZE, AND GRADE OF THE CHORDS AND WEBS, LOCATIONS OF THE JOINTS AND CONNECTIONS, SIZE AND TYPE AND LOCATION OF THE METAL PLATES AND ALL BRACING AND
- BLOCKING REQUIREMENTS. R. ROOF TRUSS UPLIFT FORCES SHALL BE NOTED WHEN THE TRUSS DESIGN LOADINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE PROPERLY SIZED ANCHORAGE TO SECURE THE TRUSS TO THE TOP PLATE
- CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR OF EQUAL STRENGTH S. ALL LOAD BEARING BEAMS AND HEADERS SHALL BE KILN DRIED, #2 GRADE SOUTHERN YELLOW PINE WITH AN ALLOWABLE BENDING STRESS AND MODULUS OF ELASTICITY AS SPECIFIED IN THE SOUTHERN PINE USE GUIDE DATED 2/92 (OR LATEST EDITION) AS PREPARED BY THE SOUTHERN FOREST PRODUCTS ASSOCIATION. BEAMS AND HEADERS RATED AT #2 GRADE ARE INDICATED ON THE
- T. FLITCH BEAMS AND MULTIPLE MEMBER WOOD BEAMS SHALL BE BOLTED TOGETHER WITH ONE 3/4" DIA. BOLT, TOP AND BOTTOM OVER ALL SUPPORTS AND/OR AT THE END OF THE BEAM. IN ADDITION, PROVIDE 1/2" DIA. BOLTS AT -0" O.C., STAGGERED FULL LENGTH OF THE BEAM. STEEL PLATES FOR FLITCH BEAMS SHALL CONFORM TO THE LATEST A.I.S.C. SPECIFICATIONS, AND MATERIAL SHALL CONFORM TO A.S.T.M., A-36.
- U. BEAM-TO-COLUMN AND BEAM-TO-BEAM CONNECTIONS SHALL BE NAILED FOR BEAMS 2" IN WIDTH OR LESS AND BOLTED FOR BEAMS GREATER THAN 2" IN WIDTH
- V. WHERE MULTIPLE JOISTS OR HEADERS OCCUR, THERE SHALL BE A STUD FOR EACH MEMBER OF THE BEAM (I.E. PROVIDE DOUBLE STUDS UNDER DOUBLE JOISTS).
- W. STUDDING SHALL BE DOUBLE AT ALL ANGLES, CORNERS, AND AROUND ALL
- X. UNLESS SHOWN OTHERWISE, MASONRY LINTELS OVER OPENINGS SHALL BE SUPPORTED BY STEEL ANGLES AS FOLLOWS:

3311 311123 31	3 1 L L 2 1 1 1 3 L 2 3 1 3 L 3 L 3 L 3 L 3 L 3 L 3 L 3 L 3 L
SPAN	ANGLE
0' TO 4' 4' TO 8'	L 3 1/2 X 3 1/2 X 5/16" L 5 X 3 1/2 X 5/16"
8' TO 12'	L 6 X 4 X 3/8"

- Y. ALL OUTSIDE CORNERS SHALL BE LATERALLY BRACED WITH 4'-0" X 8'-0" SHEETS OF 7/16" THICK APA RATED SHEATHING PANELS NAILED WITH 8d NAILS AT 6" O.C. ALONG THE EDGES AND AT 12" O.C. AT THE INTERIOR S NAILS AT 6" O.C. ALONG THE EDGES AND AT 12" O.C. AT THE INTERIC LATERAL BRACING SHALL NOT EXCEED 25'-0" O.C. MEASURED AT THE EXTERIOR CORNERS INWARD.
- Z. PROVIDE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. ALL UPPER FLOOR PLATES SHALL BE S.Y.P.

#### BUILDING WALL STUDS

- WALL STUD SIZE AND SPACING SHALL BE.
- A. 2 X 4 @ 16" O.C. SUPPORTING ROOF AND CEILING ONLY
  B. 2 X 4 @ 16" O.C. SUPPORTING ROOF, CEILING AND ONE FLOOR ONLY.
  C. 2-2 X 4 @ 16" O.C. OR 3X4 @ 16" O.C. SUPPORTING ROOF, CEILING AND
- D. 2 X 4 @ 24" O.C. ALL NON-LOAD BEARING WALLS, (U.N.O.)
  E. ALL WALLS NOTED AS SHEAR WALLS SHALL BE 16" O.C. (MIN.)
  F. ALL WALLS OVER 10' IN HEIGHT SHALL BE 2X6 AT 16" O.C. OR GREATER STUD SIZE UNLESS NOTED OTHERWISE.
  G. 2 X 6 @ 16" O.C. AT ALL EXTERIOR WALLS

#### ACCESSORY BUILDINGS WALL STUDS

- A. 2 X 4 LOAD BEARING WALL STUDS SHALL BE KILN DRIED STUD GRADE SOUTHERN YELLOW PINE OR STUD GRADE DOUGLAS-FIR SOUTH WITH FO (COMPRESSION // TO GRAIN) = 825 (PSI (MIN.) AND E (MODULUS OF ELASTICITY)= 1,100,000 PSI.
- B. 2 X 6 LOAD BEARING WALL STUDS SHALL BE KILN DRIED STUD GRADE SOUTHERN YELLOW PINE OR STUD GRADE DOUGLAS-FIR SOUTH WITH Fc (COMPRESSION // TO GRAIN) = 600 (PSI (MIN.) AND E (MODULUS OF ELASTICITY) = 1.100.000 PSI.
- C. 2 X 4 AND 2 X 6 NON-LOAD BEARING WALL STUDS SHALL BE KILN DRIED STUD GRADE SOUTHERN YELLOW PINE OR STUD GRADE DOUGLAS-FIR S WITH FC (COMPRESSION // TO GRAIN) = 825 (PSI (MIN.) AND E (MODULUS OF ELASTICITY) = 1.100,000 PSI.
- D. WALL STUD SIZE AND SPACING SHALL BE: I. 2 X 4 OR 2 X 6 (SEE ARCH. DRAWINGS) @ 16" O.C. SUPPORTING ROOF AND CEILING ONLY.
- II. 2 X 4 OR 2 X 6 (SEE ARCH. DRAWINGS) @ 24" O.C. ALL NON-LOAD BEARING WALLS.
- E. ALL WALLS OVER 10' IN HEIGHT SHALL BE 2 X 6 AT 16" O.C. OR GREATER STUD SIZE UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR WALL SIZES REQUIRED.

#### PARALLEL STRAND LUMBER (PSL)

A. PARALLEL STRAND LUMBER SHALL BE PARALLAM BY MACMILLAN BLOEDEL OR

EQUAL AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: COMPRESSION PARALLEL TO GRAIN 2,900 PSI TENSION PARALLEL TO GRAIN 2,400 PSI - HORIZONTAL SHEAR 5. COMPRESSION PERPENDICULAR TO GRAIN

2,000,000 PSI

B. PSL BEAMS SHALL BE ERECTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

C. NOTE: PSL BEAMS ARE MANUFACTURED WITH NO CAMBER.

#### LAMINATED VENEER LUMBER (LVL)

6. MODULUS OF ELASTICITY

- A. THE DESIGN PROVISIONS FOR SOLID SAWN DOUGLAS FIR LUMBER IN THE CODE ARE APPLICABLE TO LVL MATERIALS
- B. PROVIDE A MINIMUM OF THREE INCHES OF BEARING FOR LVL BEAMS, AND A MINIMUM OF TWO STUDS UNDER THE SUPPORTING PLATE UNLESS OTHERWISE
- C. BEAMS SHALL BE LATERALLY SUPPORTED AT ALL POINTS OF BEARING.
- D. LVL BEAMS ARE NOT A CAMBERED PRODUCT AND WILL DEFLECT UNDER LOAD. E. NAILS INSTALLED PARALLEL TO THE GLUE LINES ON THE NARROW FACE SHALL NOT BE SPACED CLOSER THAN 4" FOR 10d COMMON NAILS AND 3"
- F. NAILS INSTALLED PERPENDICULAR TO THE GLUE LINES ON THE WIDE FACE SHALL BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE.
- G. ASSEMBLE LVL LUMBER BEAMS WITH A MINIMUM OF 3 16d NAILS PER FOOT, FULLY PENETRATING EACH PIECE, UNLESS OTHERWISE NOTED.

#### BORED HOLES IN STUDS:

- A. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH MAY BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NON-LOAD BEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED, PROVIDE NOT MORE THAN 2 SUCH SUCCESSIVE DOUBLE STUDS ARE SO BORED.
- B. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

ALLOWABLE SPANS OF HEADERS (IN FEET) FOR BEARING WALLS								
	ALL FF	ALLOWABLE SPAN OF HEADERS IN GARAGES OR WALLS NOT						
SIZE OF OOD HEADER		ONE STORY ABOVE (650 lbs/ft)	TWO STORIES ABOVE (1050 lbs/ft)	SUPPORTING FLOORS OR ROOFS (150 lbs/ft)				
WO 2×4	UP TO 4'-0"	N/A	N/A	UP TO 5'-6"				
WO 2x6	UP TO 6'-0"	UP TO 3'-0"	N/A	UP TO 8'-0"				
WO 2x8	UP TO 8'-0"	UP TO 4'-0"	N/A	UP TO 10'-0"				
WO 2x10	UP TO 10'-0"	UP TO 5'-0"	UP TO 3'-0"	UP TO 12'-0"				
WO 2x12	LIP TO 12'-0"	LIP TO 6'-0"	UP TO 4'-0"	UP TO 16'-0"				

| OP 10 12 -0 | OP 10 0 -0 | OP 10 4 -0 | OP 10 10 -0



#### GENERAL NOTES

702 PARKS AVE

ROCKWALL, TEXAS 75087

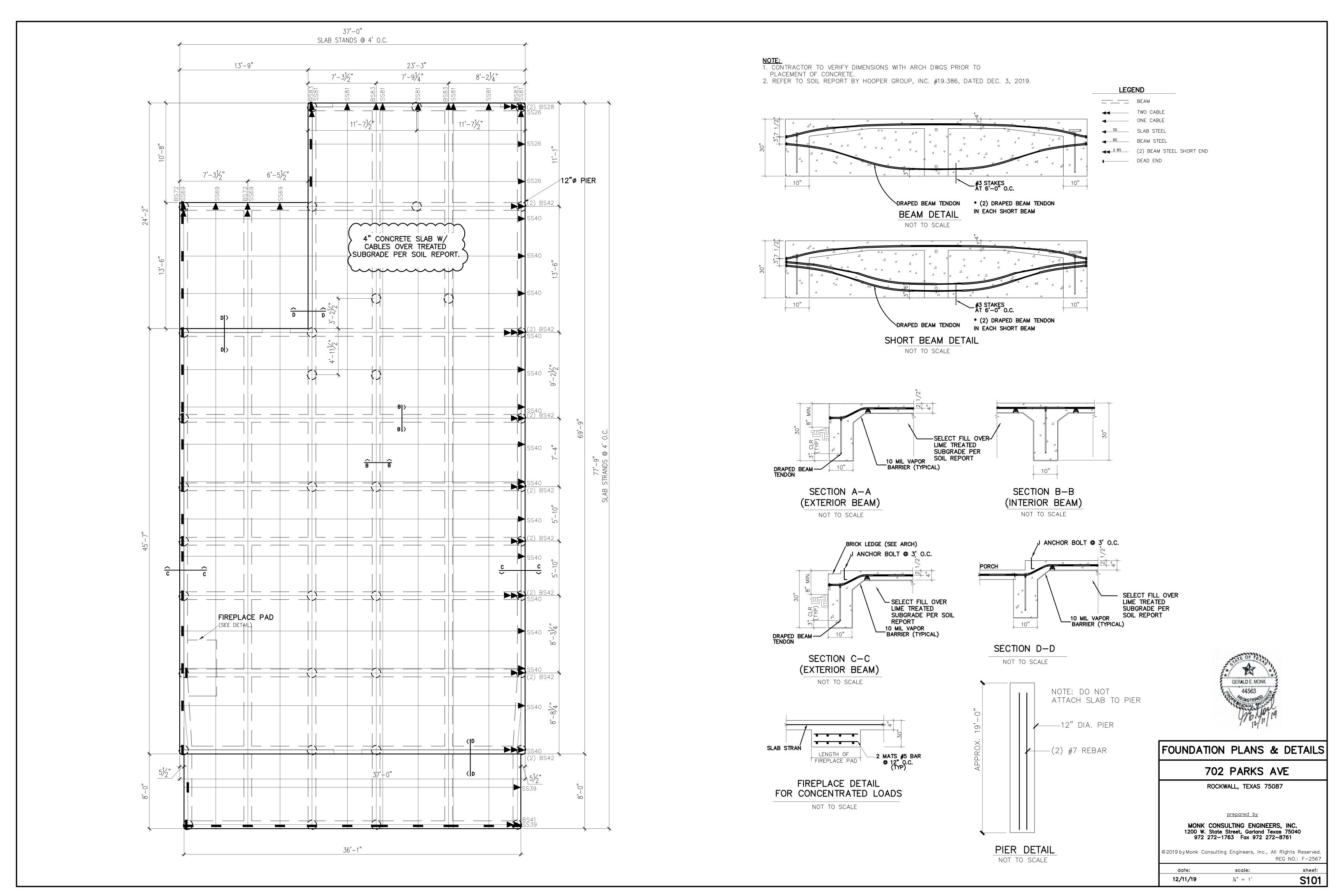
<u>prepared</u> by MONK CONSULTING ENGINEERS, INC. 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761

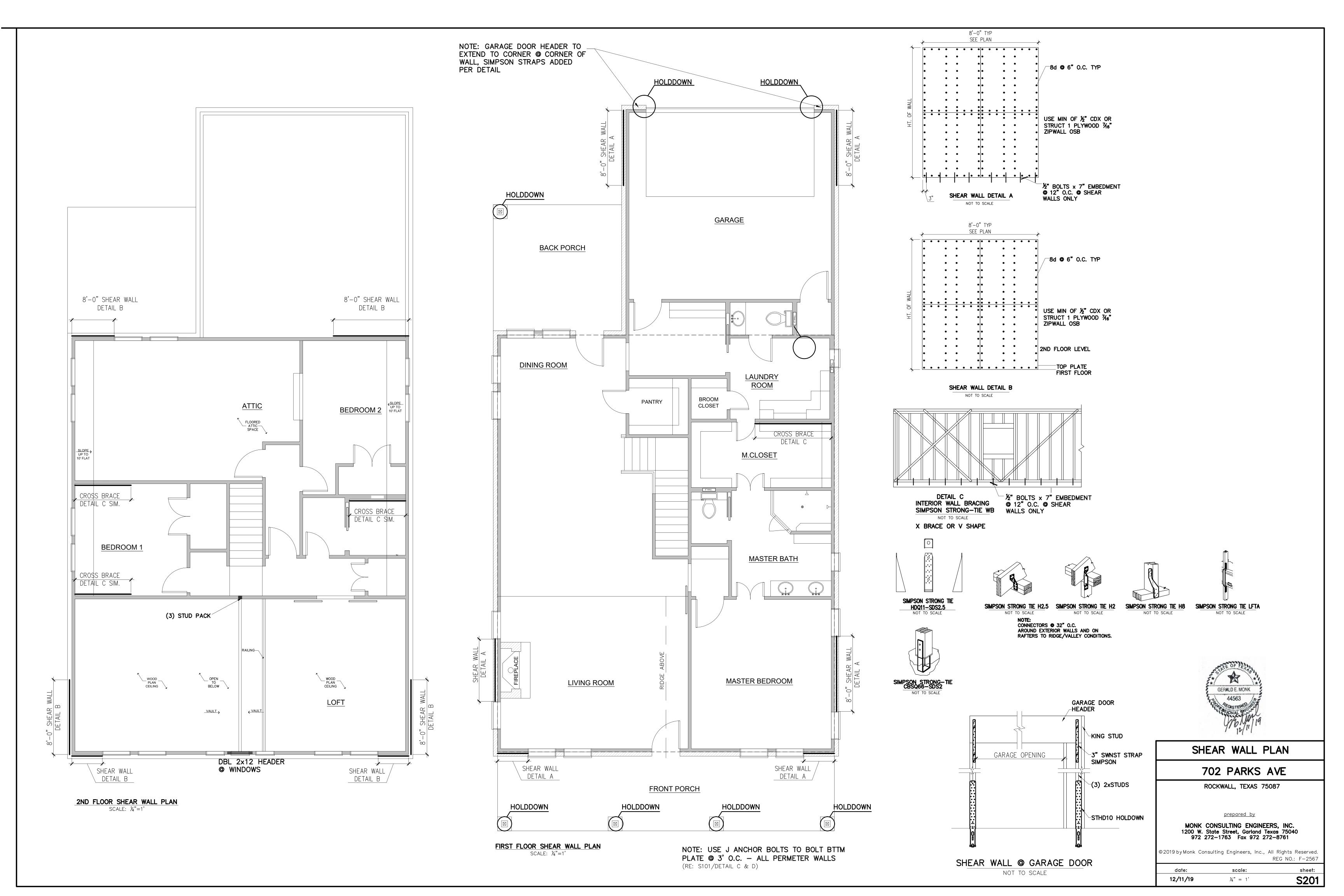
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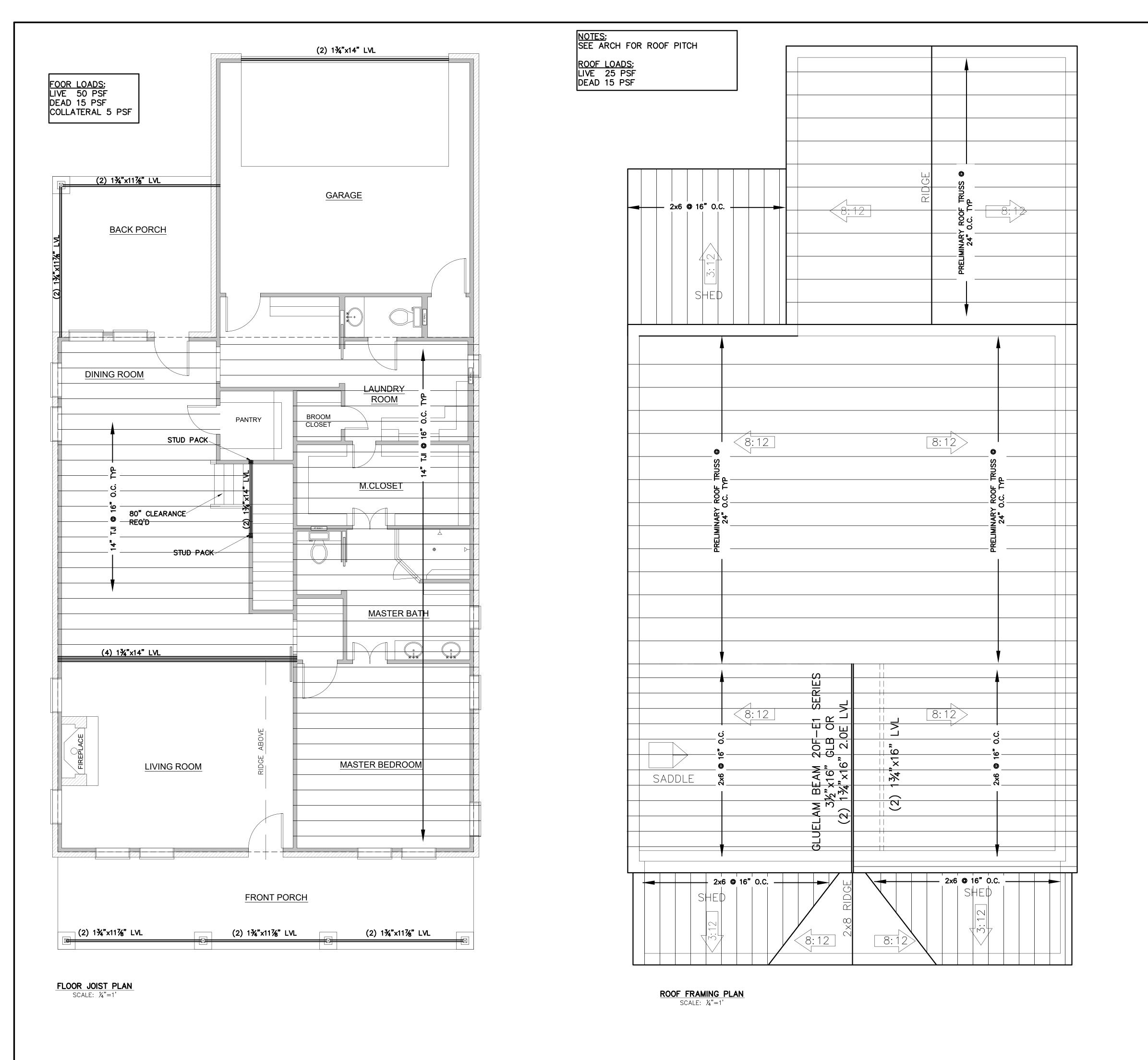
date: 12/11/19

sheet:

REG NO.: F-2567







ROCKWALL, TEXAS 75087 <u>prepared</u> by MONK CONSULTING ENGINEERS, INC. 1200 W. State Street, Garland Texas 75040 972 272—1763 Fax 972 272—8761 © 2019 by Monk Consulting Engineers, Inc., All Rights Reserved. REG NO.: F-2567 scale: sheet: S301 12/11/19  $\frac{1}{4}$ " = 1'

FLOOR JOIST & ROOF

FRAMING PLAN

702 PARKS AVE





GLUELAM BEAM 20F-E1 SERIES

3½"x16" GLB

2x6 @ 16" O.C.

(2) 1¾"x16" LVL

LIVING ROOM

ROOF SECTION @ LIVING ROOM

SCALE: 1/4"=1'

2x6 BLOCKING @ 12' O.C.

2x6 RAFTERS @ 16" O.C.

SIMPSON CLIPS

2x6 **@** 16" O.C.

LOFT

MASTER BEDROOM

DBL 2X PURLIN

DBL 2x6 BRACE @ 4' O.C.

## **PLAT OF SURVEY** 40.47 N 89° 59'44''E 8 S 50. PARKS AVENUE 50' R.O.W. PER PLAT Ш BASIS OF HARINGS NORTH 50.00 CONC ACRI 9 0 0 S 140.49 1/2" IR\$ 1/2" IRS GARAGE CONC

SURVEY ACCEPTED BY:

DATE

#### **DESCRIPTION**

BEING Lot 8, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

#### **NOTES**

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

#### SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 702 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

HAROLD D. FETTY III

5034

POFESS 104

Harold D. Fetty III, R.P.L.S. No. 5034

H.D. Fetty Land Surveyor, LLC

SYMBOL LEGEND POWER POLE TELEVISION CABLE RISER ELECTRIC METER PROPANE TANK

SURVEY DATE OCTOBER 1, 2018 SCALE <u>1" = 30'</u> FILE # 20180297-8 CLIENT WARDELL GF# 1884847-10GH

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Thank you,

Reese Baez

**Triton General Contractor** 

469-931-2267

#### CITY OF ROCKWALL

#### ORDINANCE NO. 20-XX

#### SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

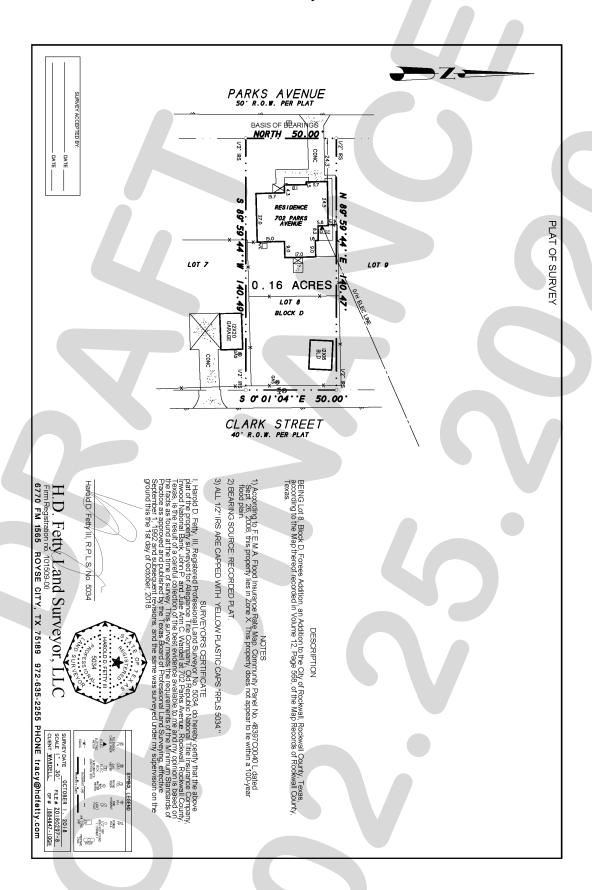
	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: *March* 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

## Exhibit 'A': Survey



## **Exhibit 'B':**Residential Plot Plan

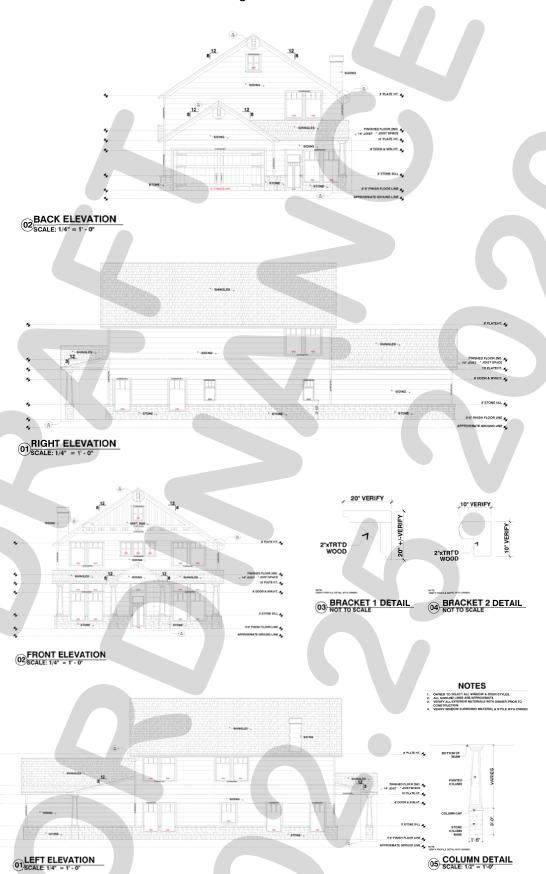
#### CLARK STREET 40' R.O.W. PER PLAT



50' R.O.W. PER PLAT PARKS AVENUE



## **Exhibit 'C':**Building Elevations





TO: Planning and Zoning Commission

DATE: March 10, 2020
APPLICANT: Reese Baez

CASE NUMBER: Z2020-002; Specific Use Permit (SUP) for a Residential Infill for 702 Parks Avenue

#### **SUMMARY**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

#### **BACKGROUND**

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

#### **PURPOSE**

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 8 (*i.e. 702 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-003*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 610 Parks Avenue*).

#### ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

<u>North</u>: Directly north of the subject property is 704 Parks Avenue (*i.e.* Lot 9, Block D, Foree Addition). North of this are three (3) single-family homes followed by Heath Street, which is designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e.* Pecan Grove, Stark, & Wade). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property is 610 Parks Avenue (i.e. Lot 7, Block D, Foree Addition). South of this are three (3) residential homes followed by Lillian Street, which is designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a Minor Collector on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (e.g. F&M, Kathleen's and Crawford, Autumn). All of these areas are zoned Single-Family 7 (SF-7) District.

<u>East</u>: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. Rockwall Assembly of God). All of these properties are zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

#### CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	Two (2) Stories (i.e. ~27-feet at the Midpoint of Roof)
<b>Building Orientation</b>	All homes face towards Parks Street with the	The front elevations of the home will face on to Parks
	exception of 601 Parks Street, which faces onto Lillian Street.	Street.
Year Built	1929-1995	N/A
<b>Building SF on Property</b>	1,264 SF – 3,912 SF	3,450 SF
Building Architecture	Various [ <i>Minimal Traditional, Tudor, Ranch, etc.</i> ]	Comparable Architecture
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet	20-Feet
	along Parks Street.	
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten	10-Feet
	(10) feet, with the exception of accessory structures	
	which appear to be between zero (0) and three (3) feet.	
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard and Stone
Paint and Color	Pink, Yellow, White, and Tan	White (with Black Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle
Driveways	A mixture of front entry garages/driveways. Some	Rear Entry Garage Accessible from N. Clark Street
	houses do not have a garage and one (1) house has	
	a carport.	

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the

properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

#### **NOTIFICATIONS**

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



#### **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

lease check the appropriate box below to indicate the ty	pe of development request [SELECT ONLY ONE BOX]:
Platting Application Fees:  [ ] Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup> [ ] Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup> [ ] Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup> [ ] Replat (\$300.00 + \$20.00 Acre) <sup>1</sup> [ ] Amending or Minor Plat (\$150.00) [ ] Plat Reinstatement Request (\$100.00)  Site Plan Application Fees: [ ] Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup> [ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	Zoning Application Fees:  [ ] Zoning Change (\$200.00 + \$15.00 Acre) ¹
Address 102 PAYS AVE FOR Subdivision Forces Addition V General Location PAYS AVE  ONING, SITE PLAN AND PLATTING INFORMAT	TION (PLEASE PRINT)
Proposed Zoning VIA	Proposed Use & Sidential
Acreage 0. Lot	ts [Current] Lots [Proposed] 👌 . 🏻 😉
SITE PLANS AND PLATS: By checking this box you acknowledged process, and failure to address any of staff's comments by the action of the process.	ge that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its appro date provided on the Development Calendar will result in the denial of your case.
OWNER/APPLICANT/AGENT INFORMATION [P	LEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ] Owner	Contact Person 1075. Goliad St # 108
Contact Person	Contact Person 1025. Boliad St #108
Address	Address
City, State & Zip	City, State & Zip <b>FOCKWALL TX 15087</b> Phone
Phone	Phone
E-Mail	E-Mail Tbacz@tritangc. Com
NOTARY VERIFICATION [REQUIRED]  defore me, the undersigned authority, on this day personally appeare this application to be true and certified the following:	A STATE OF THE STA
cover the cost of this application, has been pala to the City of Rockwal	In; all information submitted herein is true and correct; and the application fee of $$\frac{215.00}{1000}$ . By signing this application, I a provide information contained within this application to the public. The City is also authorized

permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public

Owner's Signature

Notary Public in and for the State of Texas

Myy

MEGAN MURPHY
Notary Public, State of Texas
Comm. Expires 05-10-2020
Notary ID 1-30454823

My Commission Expires

DEVELOPMENT APPLICATION

Given under my hand and seal of office on this the





## City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

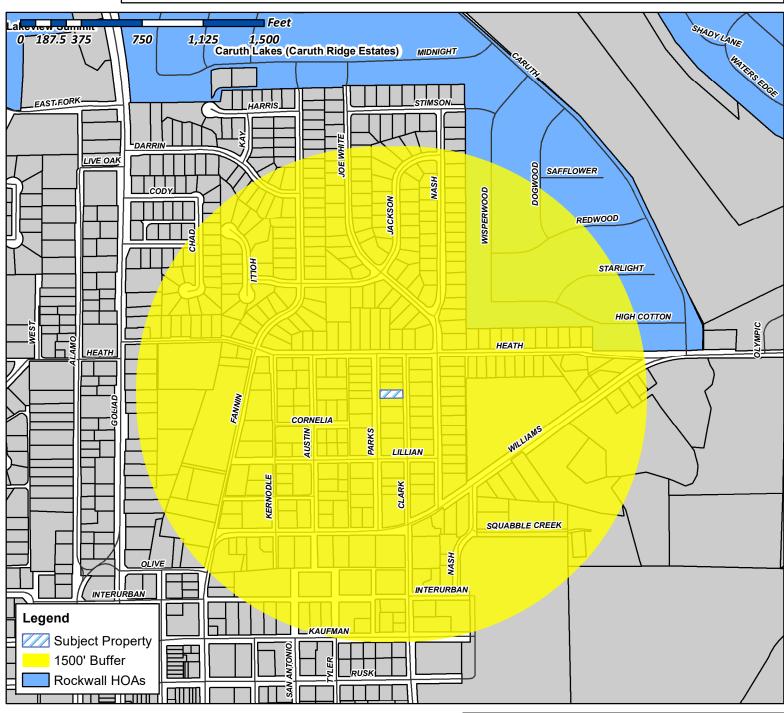




### **City of Rockwall**

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

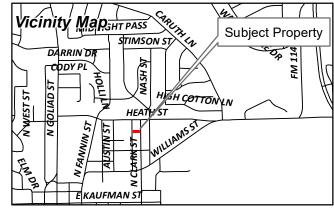
Case Name: SUP for 702 Parks Ave Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745

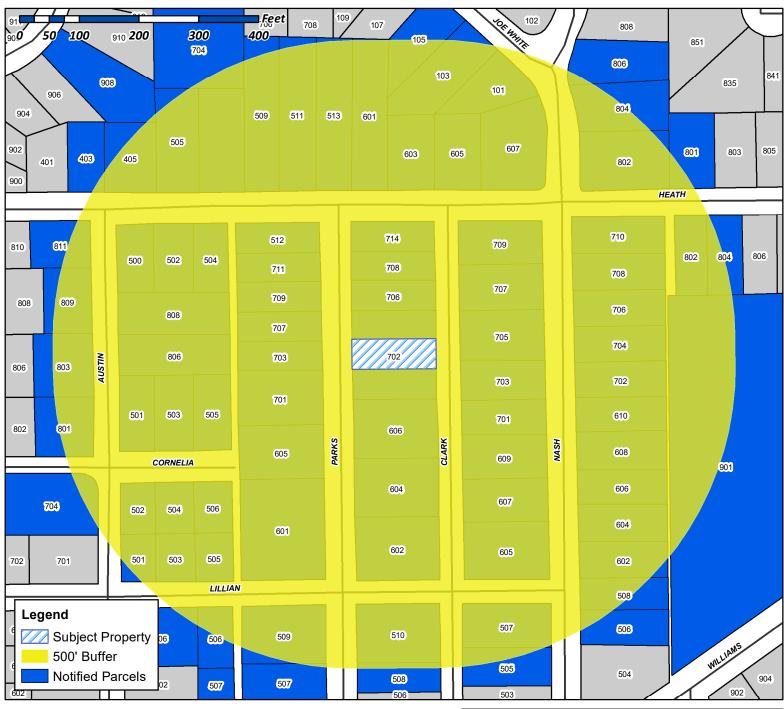




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

Case Name: SUP for 702 Parks Ave. Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Case No. Z2020-002: 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall. TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**Director of Planning & Zoning





#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -
Case No. Z2020-002: 702 Parks Avenue
Please place a check mark on the appropriate line below:
$\square$ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.
Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT RESIDENT	ROLAND RANDY C AND ANDREA B	CURRENT RESIDENT
EHEATH	101 JOE WHITE ST	103 JOE WHITE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SILVA MANUEL	CURRENT RESIDENT	BREWER SHERI RENEE
1041 E FM 552	105 JOE WHITE	119 SUNRISE VISTA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	PONTE VEDRA, FL 32081
SABRSULA MELISSA	KENNEDY HAYLEY	RIPSTOP PROPERTIES LLC
1571 ANNA CADR RD	201 CHAMPION DR	205 S CLARK STREET
ROCKWALL, TX 75087	WYLIE, TX 75095	ROCKWALL, TX 75087
RIJU LTD PARTNERSHIP A TEXAS LTD PARTNERSHIP 210 GLENN AVE ROCKWALL, TX 75087	HARRIS RICHARD D & JUDY A 210 GLENN AVE ROCKWALL, TX 75087	REDDEN POLLY PEOPLES 213 SOVEREIGN CT ROCKWALL, TX 75032
GRIFFIN PATTY JEAN CORNELIUS	PARK ALLEN	KAUFMANN EVAN J
2140 AIRPORT RD	2301 LAFAYETTE DR	2312 BAHAMA RD
ROCKWALL, TX 75087	HEATH, TX 75032	AUSTIN, TX 78733
GLASS JERRY R 301 MEADOWDALE DR ROCKWALL, TX 75087	ZYLKA JOE AND BONNIE 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032	VANHORN PENNI AND JOE ZYLKA AND BONNIE ZYLKA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032
CURRENT RESIDENT	CURRENT RESIDENT	HODGES PATRICK L
403EHEATH	405EHEATH	481 ARCADIA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KIRKPATRICK DAVID S & RHONDA D	HOLZHEIMER THOMAS R AND NICOLE M	GREENAWALT PATRICK ALAN
500 E HEATH ST	501 CORNELIA ST	501 LILLIAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BARNETT GEORGE S	MCINTIRE J M & ERLINDA	CURRENT RESIDENT
502 CORNELIA ST	502 E HEATH ST	503 CORNELIA
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	TANTON MELVIN V JR
503 LILLIAN	504 CORNELIA	504 E HEATH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

#### SCHMIDT JERRY LEE AND BARBARA JEAN 505 CORNELIA ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT 505EHEATH ROCKWALL, TX 75087 CURRENT RESIDENT 506 CORNELIA ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE 506 LILLIAN ST ROCKWALL, TX 75087 BLESSING RUSSELL BENNETT 506 NASH ROCKWALL, TX 75087 BUTLER JOSEPH DAVID AND ROSE LOUISE 507 NASH ST ROCKWALL, TX 75087

TOLMAN BROOKS 507 PARKS AVE ROCKWALL, TX 75087

CAWTHON RICK 508 NASH ST ROCKWALL, TX 75087 FREEMAN WILLIAM B JR 508 PARKS AVE ROCKWALL, TX 75087

DOROTIK DAVID W 509 PARKS AVE ROCKWALL, TX 75087 CURRENT RESIDENT 509EHEATH ROCKWALL, TX 75087 RICHARDSON PATRICE 510 COVE RIDGE RD HEATH, TX 75032

CURRENT RESIDENT 510 PARKS ROCKWALL, TX 75087 CURRENT RESIDENT 511EHEATH ROCKWALL, TX 75087 COATS LOIS LOUISE 512 E HEATH ST ROCKWALL, TX 75087

DENNIS KIMBERLY 513 E HEATH ST ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH 601 PARKS AVE ROCKWALL, TX 75087 STEGALL VENTURES LLC 601 SUNSET HILL DRIVE ROCKWALL, TX 75087

CURRENT RESIDENT 601EHEATH ROCKWALL, TX 75087 SIMMONS APRIL R 602 NASH STREET ROCKWALL, TX 75087 LEAL ROLAND & CAROL 602 PARKS AVENUE ROCKWALL, TX 75087

SUTTON JUDITH A 603 E HEATH ST ROCKWALL, TX 75087 HOWARD DEBORAH K 604 NASH ST ROCKWALL, TX 75087 FUQUA MATTHEW 604 PARKS AVE ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA 605 NASH ST ROCKWALL, TX 75087 DINGWELL MARGUERITE NASH & ADAM 605 PARKS AVE ROCKWALL, TX 75087 DAVIS SUSAN ELAINE BYRD 605 STORRS ROCKWALL, TX 75087

CURRENT RESIDENT	DANIEL RODNEY	GALASSI TORI D
605EHEATH	606 AUSTIN ST	606 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WALLS JEFFREY V & NATALIE ANN 606 PARKS AVE ROCKWALL, TX 75087	SPERLING SANDY 607 E HEATH ST ROCKWALL, TX 75087	BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087
STARK ROBERT S & TINA J	OGDEN BRANDON & LIDIA	TORRES ROSIE
607 SAINT MARY ST	608 NASH ST	609 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	BLAZEK ALVIN F & DOROTHY H	CASTRO RENE & BETSY
610 NASH	6634 DAVIS DR	700 WINDSONG LN
ROCKWALL, TX 75087	ROYSE CITY, TX 75189	ROCKWALL, TX 75032
CURRENT RESIDENT	CASTILLO AGAPITO & ESTELA	TEMPLETON LORRAINE BIEGLER
701 NASH	701 PARKS AVE	702 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	ELLISTON REBECCA S	HANSON BRANDON R
702 PARKS	703 NASH STREET	703 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FRASIER MICHAEL & MARY GRACE	THOMAS TRACY	CURRENT RESIDENT
704 JACKSON ST	704 KERNODLE ST	704 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
RUSHING BRIAN AND CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087	ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087	PECINA JOE & LORETHIA ANN 706 PARKS AVE ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
707 NASH	707 PARKS	708 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KOLWINSKA GERALDINE D	CURRENT RESIDENT	BARRON ARMANDO
708 PARKS AVE	709 NASH	709 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

STARK ROBERT C	KING MISTY	NIXON ALBERT	
710 AGAPE ST	710 NASH STREET	711 PARKS AVE	
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087	
PALMER LINDA C	CURRENT RESIDENT	CURRENT RESIDENT	
714 PARKS AVE	801 AUSTIN	801EHEATH	
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087	
COLUNGA MAXIMO & MARGARITA	CURRENT RESIDENT	CURRENT RESIDENT	
802 E HEATH ST	802 NASH	803 AUSTIN	
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087	
BROWN REBECCA AND THOMAS	CURRENT RESIDENT	AUSTIN TRENTON C	
804 E HEATH ST	804 NASH	806 AUSTIN ST	
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087	
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT	
806 NASH	808 AUSTIN	809 AUSTIN	
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087	
JENNINGS AMANDA L	MCCLAIN LOUETTA	WARDELL JOHN P & JULIE C	
811 AUSTIN ST	8309 TURNBERRY ST	880 IVY LN	
ROCKWALL, TX 75087	ROWLETT, TX 75089	ROCKWALL, TX 75087	
CURRENT RESIDENT	BIRT PAUL G & CHRISTI ANA	BELANGER CORKY	
901 WILLIAMS	908 NORTH FANNIN STREET	921 N ALAMO RD	
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087	
WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701	KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026	ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087	

AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189

# Henry House Plans 702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

## **COPYRIGHT** © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF

## LIABILITY

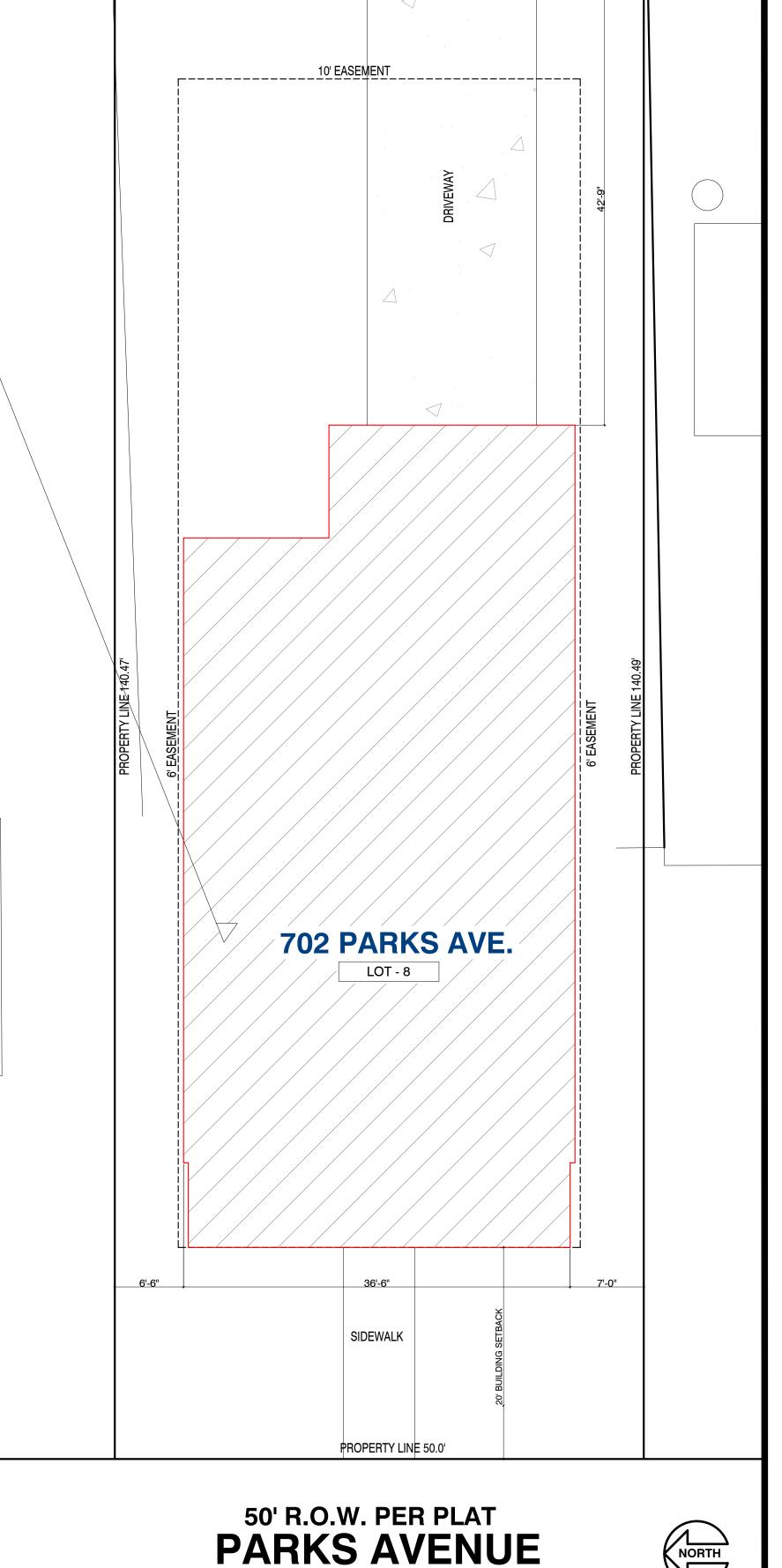
LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR

- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS. 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

## **CLARK STREET** 40' R.O.W. PER PLAT



## SITE PLAN SCALE: 1/8" = 1' - 0"

## **GENERAL NOTES**

- 1. THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO
- COMPLETE THE CONSTRUCTION OF THIS PROJECT. 2. ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR
- BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER. 3. ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR
- 4. ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL
- 5. FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING
- CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- 8. ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2"
- 9. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.

WHERE REQUIRED BY CODE.

- 10. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- 11. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 12. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- 13. ALL LUMBER SHALL BE S4S UNO 14. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- 15. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS
- 16. ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER. 17. ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR,
- RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER. 18. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE
- INSTALLATION OF THE PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- 19. PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER. 20. THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS
- WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE

21. CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

## **ABBREVIATIONS**

,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,					
AB ADJ AFF BLDG BLK BM CAB CLG CLR CONC DBL DIA DN DWG EA EQ	ANCHOR BOLT ADJUSTABLE ABOVE FINISH FLOOR BUILDING BLOCK BEAM CABINET CEILING CLEAR CONCRETE DOUBLE DIAMETER DOWN DRAWING EACH EQUAL	FD FDN FF FLR FTG GL H LC LG MTL OC PT PTB	FLOOR DRAIN FOUNDATION FINISH FLOOR FLOOR FEET FOOTING GLASS HIGH LAUNDRY CHUTE LONG MICROLAM METAL ON CENTER PRESSURE TREATED PARTICLE BOARD	R R&S SH SHWR SIM SQ STL TBD TOJ TOS TR TYP UNO V WD	RADIUS ROD & SHELF SHELF(S) SHOWER SIMILAR SQUARE STEEL TO BE DETERMINE TOP OF JOIST TOP OF SLAB TRANSOM TYPICAL UNLESS NOTED OTHERWISE VERTICAL WOOD

### DDV/MINIC INIDEA

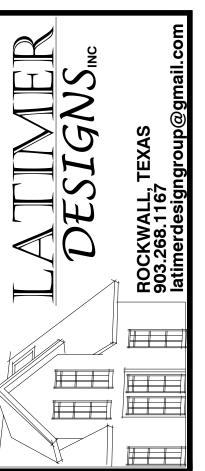
DRAWING INDEX SQUARE FOOTA		OTAGE	
A - 1.01	COVER SHEET	LIVING SPACE	2660
A - 1.02	FRONT & LEFT ELEVATION	GARAGE	500
A - 1.03	BACK & RIGHT ELEVATION	FRONT PORCH	290
A - 1.04	FLOOR PLAN	BACK PORCH	186
A - 1.05	FOUNDATION/PLUMBING PLAN		
A - 1.06	ROOF PLAN		
A - 1.07	ELECTRICAL PLAN		

## **BUILDING DEVELOPEMENT**

OWNER	AMANDA HENRY
	972.896.1539
	mhenrytx@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING
	REESE BAEZ
	214.738.8752
	RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC.
	LEE ANN LATIMER
	903.268.1167
	LATIMERDESIGNGROUP@GMAIL.COM

### DRODERTY DESCRIPTION

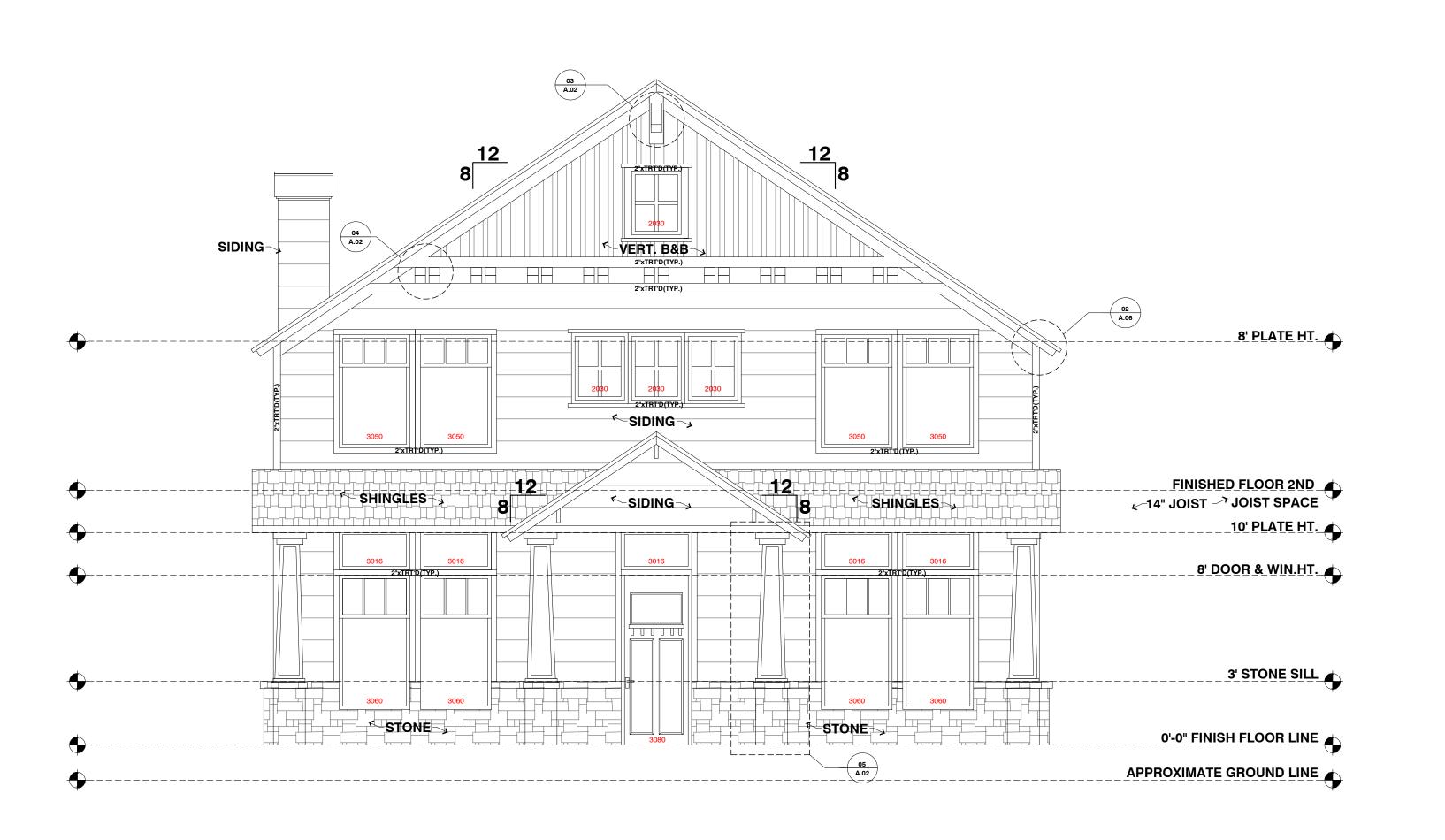
PROPERTY DESCRIPTION		
CASE #	Z2020-002	
LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8	
NEIGHBORHOOD	N3600-3-19	
PROPERTY ID	16619	
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9	
ZONING	SF3	
GEOGRAPHIC ID	3710-000D-0008-00-0R	

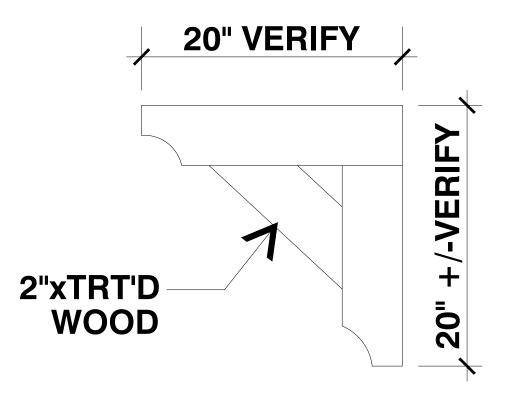


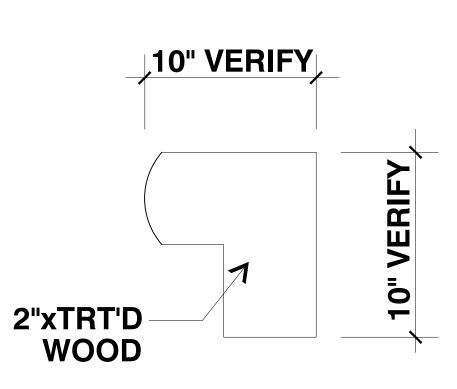
DRAWN BY: **CHECKED BY:** DATE: **ISSUED FOR PERMIT:** CONSTRUCTION: **REVISIONS:** 11.17.2019: KITCHEN - FLIP SINK & RANGE. ADDED WINDOW 12.04.2019: LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

CASE #: Z2020-002

SHEET TITLE: **COVER SHEET** 







NOTE: VERIFY PROFILE DETAIL WITH OWNER.

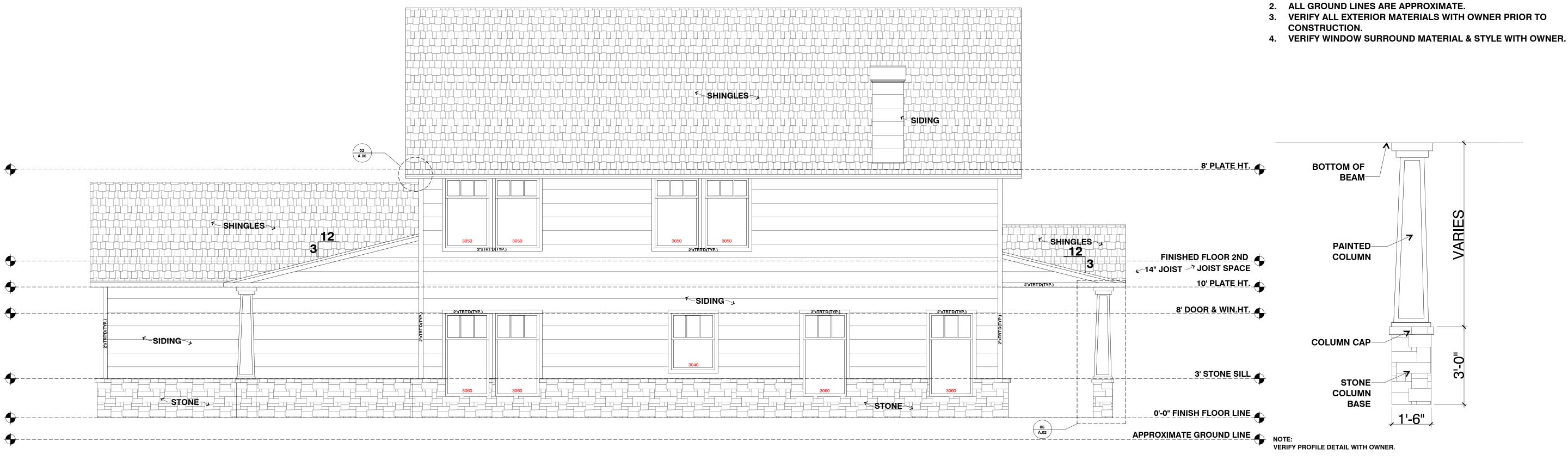
03 BRACKET 1 DETAIL
NOT TO SCALE

NOTE: VERIFY PROFILE DETAIL WITH OWNER.

04 BRACKET 2 DETAIL
NOT TO SCALE

## **NOTES**

- 1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- 3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO



ROCKWALL

CASE #:

Z2020-002

SHEET TITLE:

**ELEVATIONS** 

DRAWN BY:

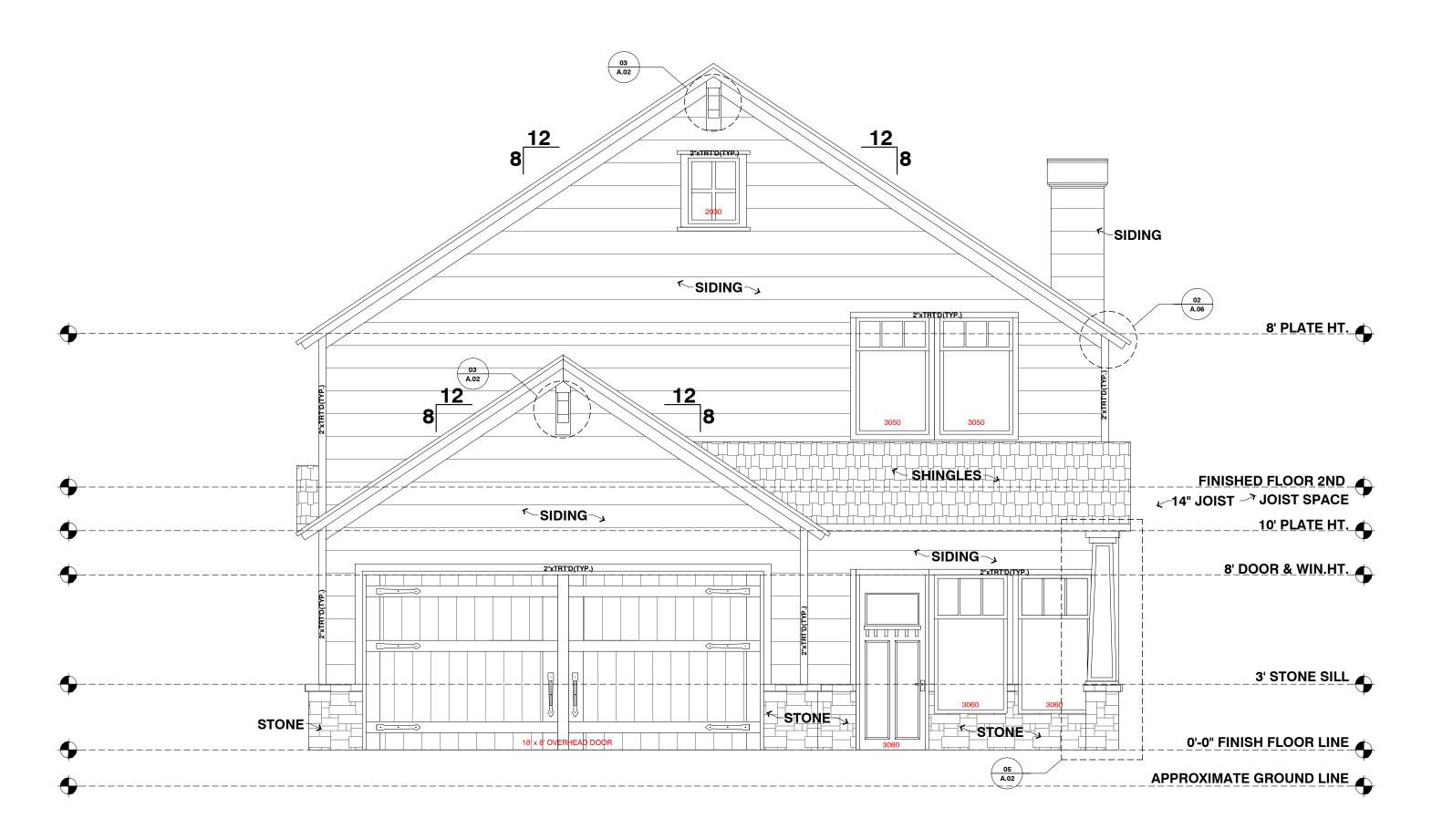
DATE:

CHECKED BY:

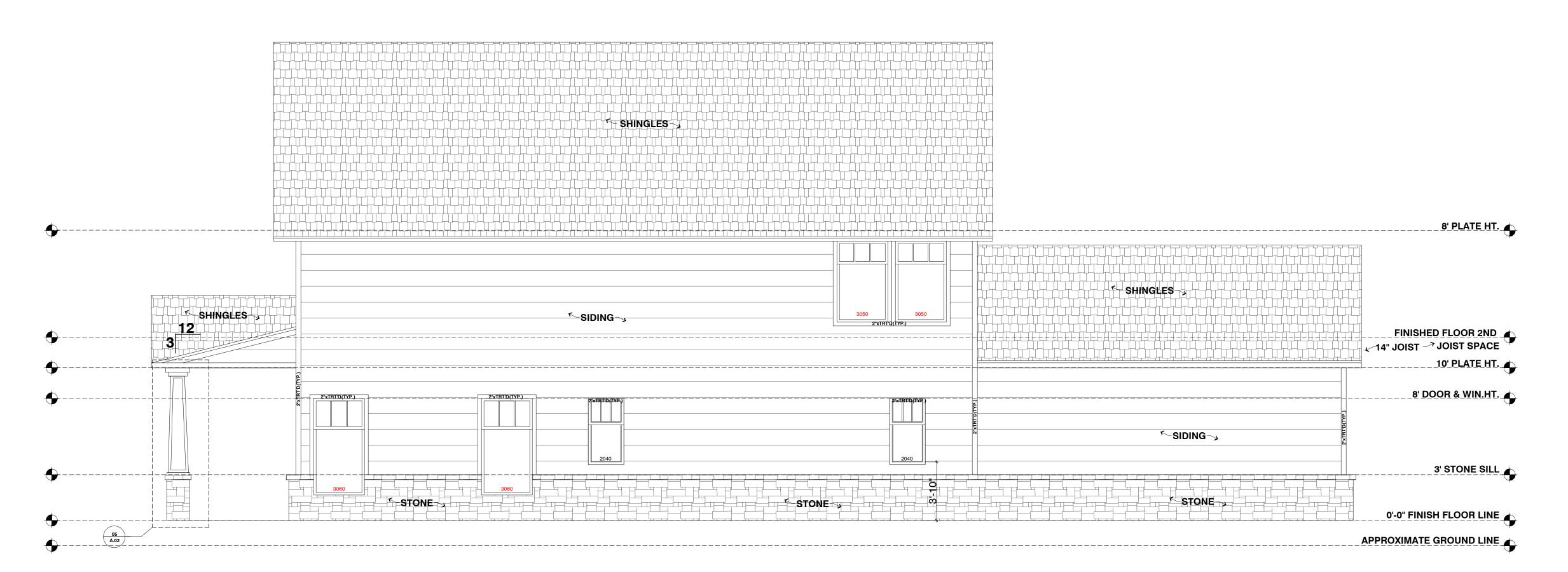
ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

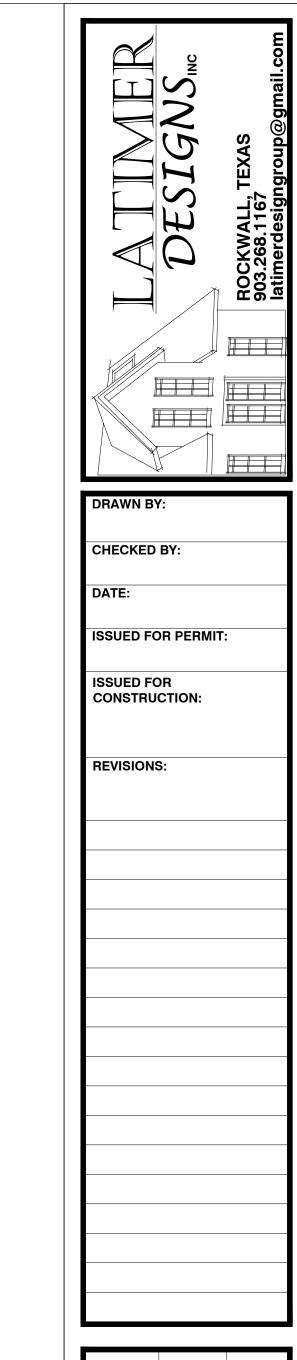
**REVISIONS:** 



## O2 BACK ELEVATION SCALE: 1/4" = 1' - 0"





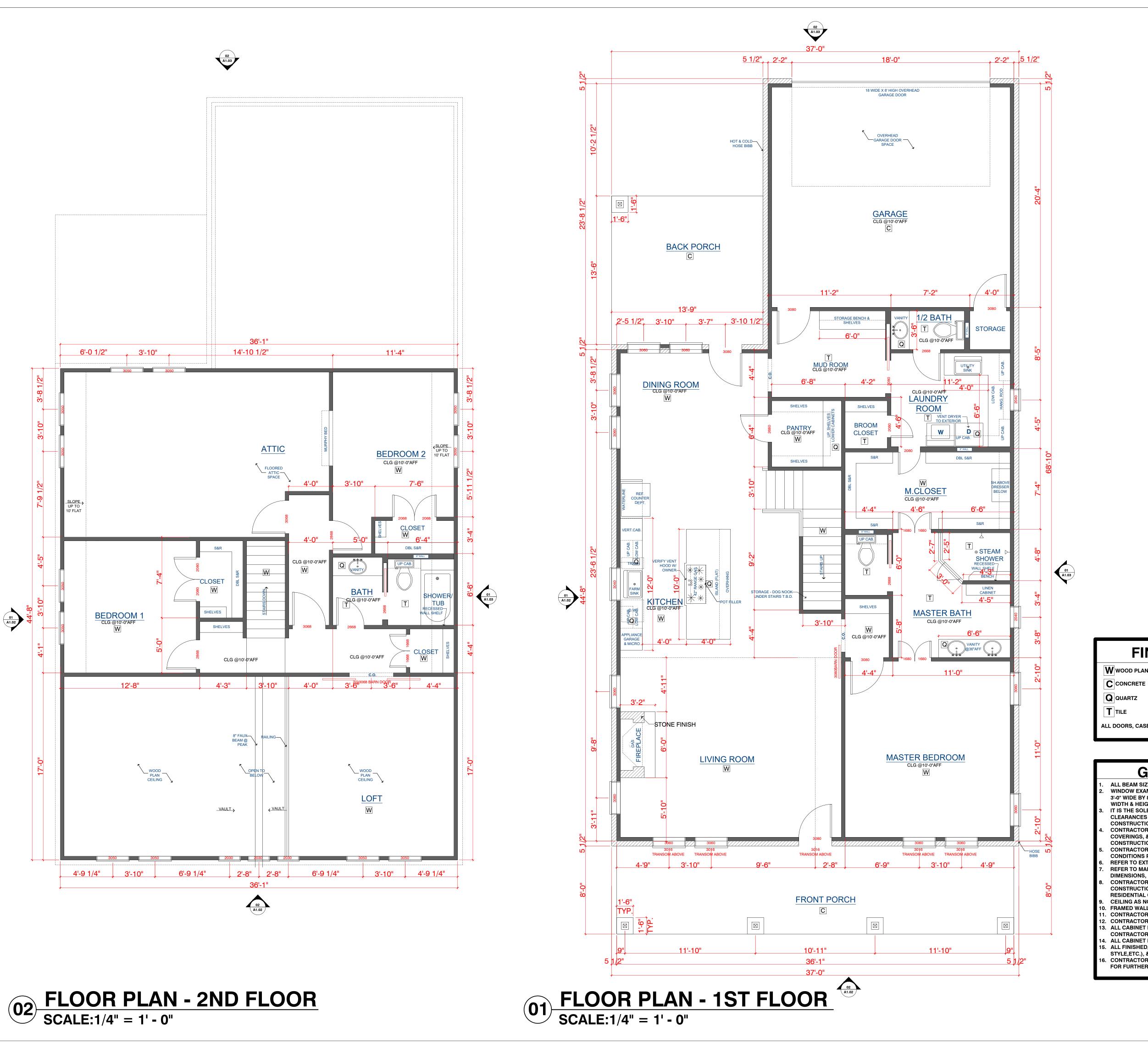


MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:

CASE #: Z2020-002

SHEET TITLE:
ELEVATIONS

A - 1.03



FINISH SCHEDULE

**W** WOOD PLANK

**Q** QUARTZ

ALL DOORS, CASED OPENINGS, & WINDOWS TO HAVE TRIMMED CASEMENT

## **GENERAL NOTES**

- WINDOW EXAMPLE: 2850. 2'-8" WIDE BY 5'-0" TALL. DOOR EXAMPLE: 3080. 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES II WIDTH & HEIGHT RESPECTIVELY.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR **COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO** CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING
- DIMENSIONS, FOR DOORS & WINDOWS. CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL
- RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE. CEILING AS NOTED ON DRAWING. 10. FRAMED WALLS TO BE 2X4 STUDS @16"O.C.
- CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE. 12. CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT 13. ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL
- CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS. 14. ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER.
- 15. ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE, ETC.), & APPLIANCES TO BE SELECTED BY OWNER.

16. CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS FOR FURTHER GRAB BARS.

CASE #: Z2020-002

PROJECT/CLIENT:
MANDY HENRY

ROCKWALL

DRAWN BY:

CHECKED BY:

**ISSUED FOR PERMIT:** 

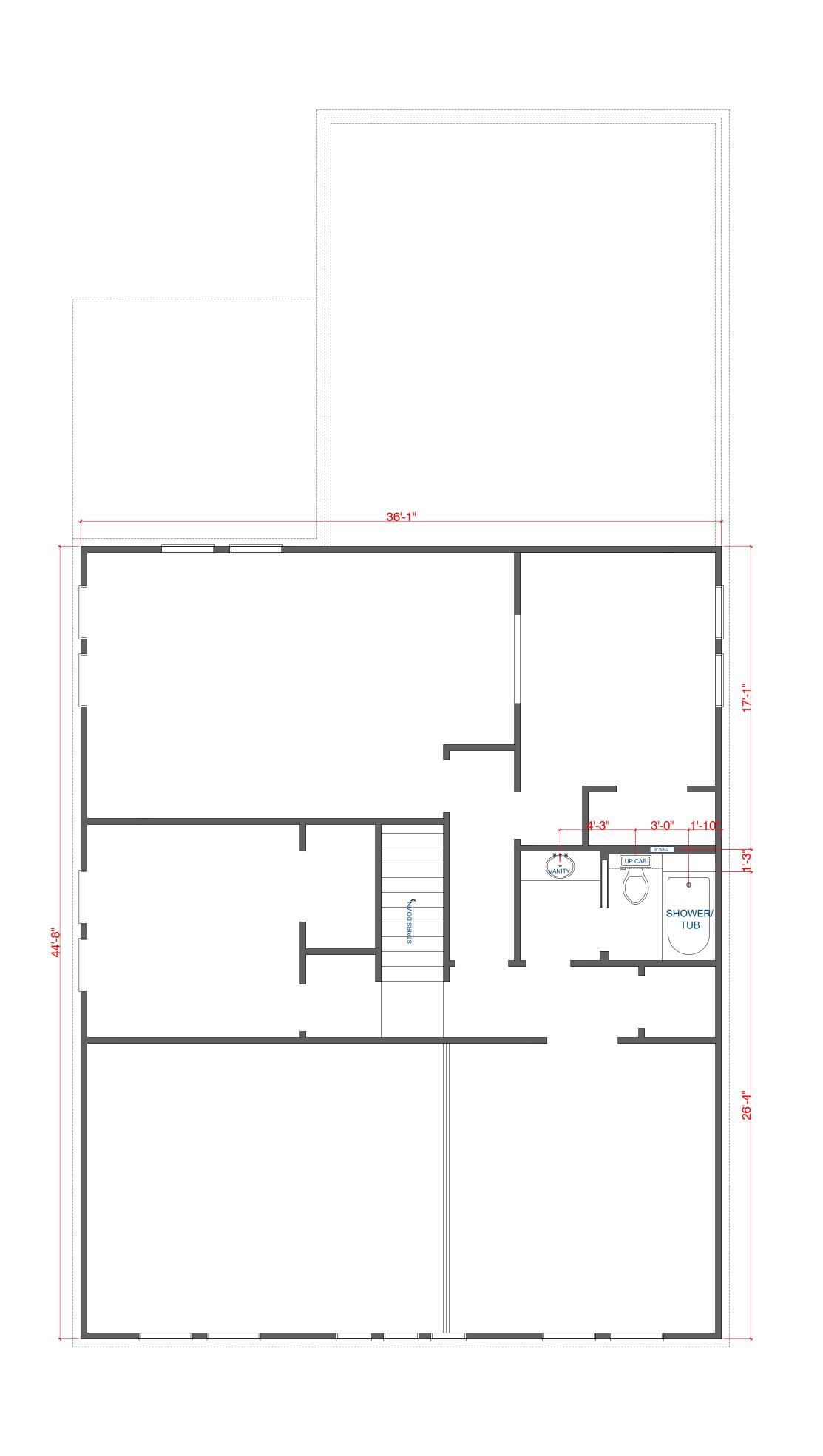
ISSUED FOR CONSTRUCTION:

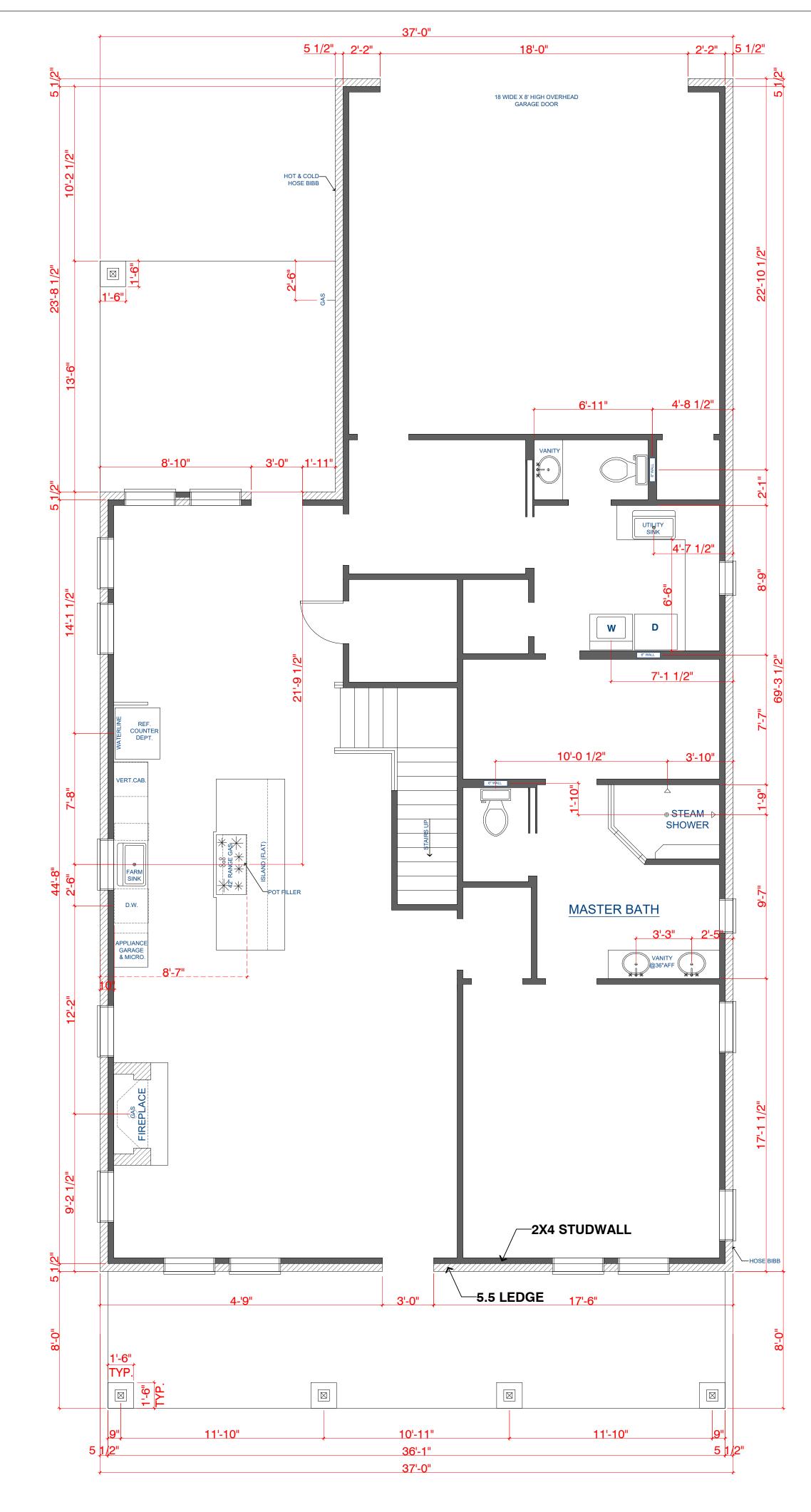
**REVISIONS:** 

DATE:

SHEET TITLE: **FLOOR PLAN** 

SHEET NO.: A - 1.04





NOTES

ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ENGINEER. LATIMER DESIGNS LLC IS NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY ENGINEERED DRAWINGS OR MANUFACTURES LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR BUILDING. FOUNDATION TO BE SLAB ON GRADE

VATER HEATERS TO BE TANKLESS: QTY - 1: GA

ALL PLUMBING DIMENSIONS TO BE VERIFIED WITH SELECTED FIXTURE PERMANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER.
ALL PLUMBING DIMENSIONS ARE MARKED ON CENTER LINES OF FIXTURE EXTERIOR WALL FACE.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.

FOUNDATION & PLUMBING - 1ST FLOOR
SCALE:1/4" = 1' - 0"

FOUNDATION & PLUMBING - 2ND FLOOR SCALE:1/4" = 1' - 0"

FOUNDATION & PLUMBING PLAN SHEET NO.:
A - 1.05

CASE #:

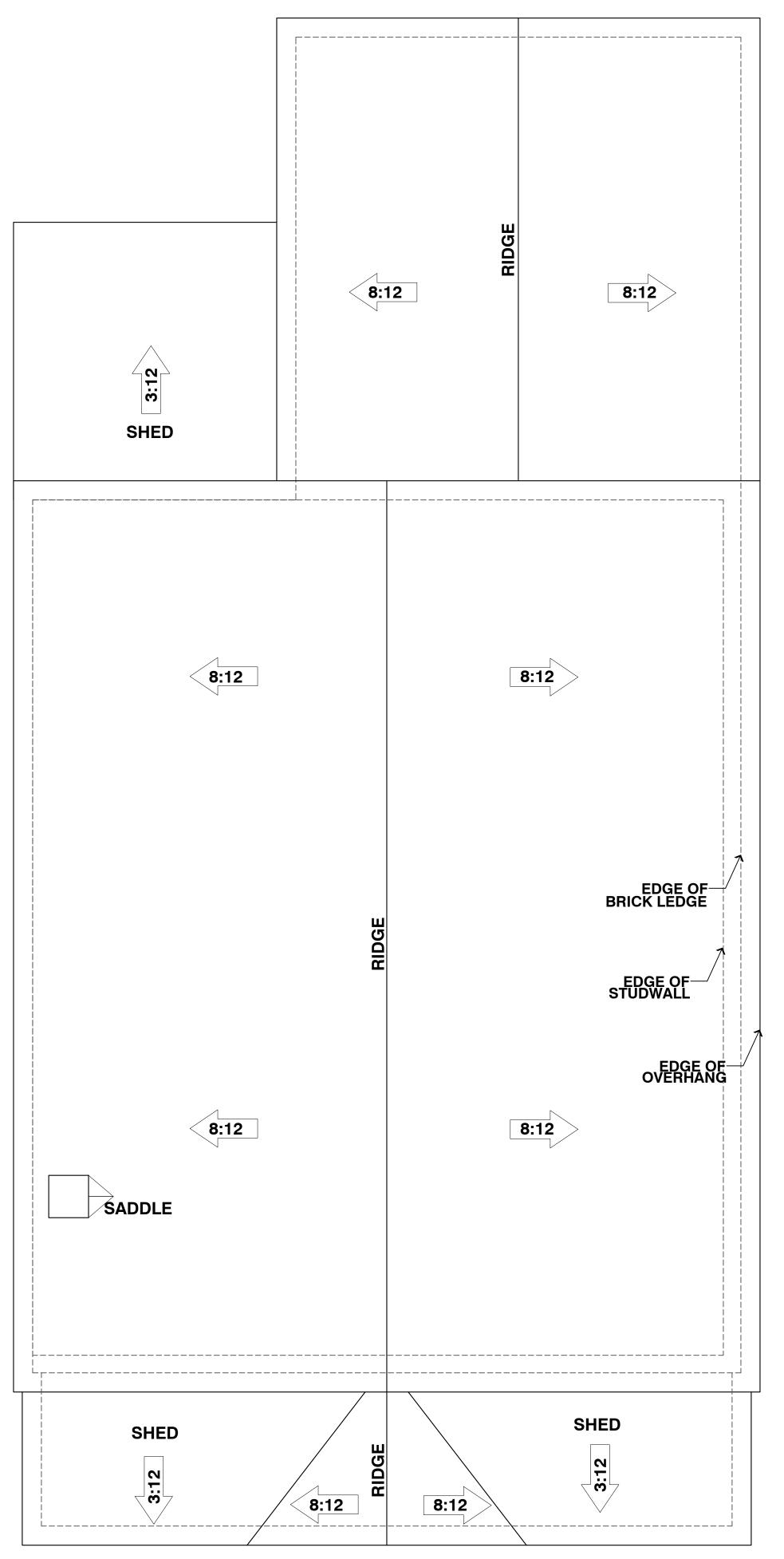
Z2020-002

CHECKED BY:

ISSUED FOR PERMIT:

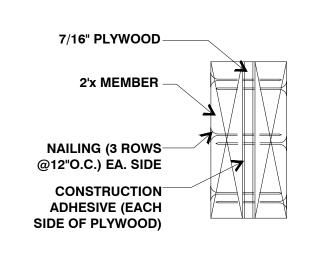
ISSUED FOR CONSTRUCTION:

**REVISIONS:** 

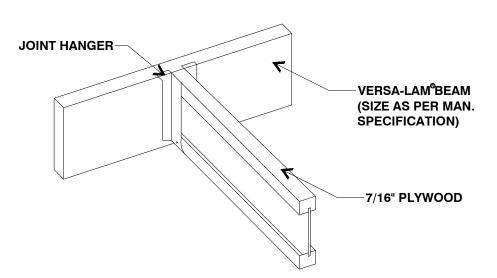


SEE ELEVATIONS FOR PLATE HEIGHTS.

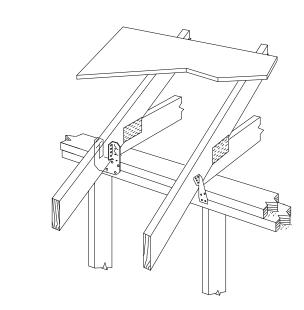




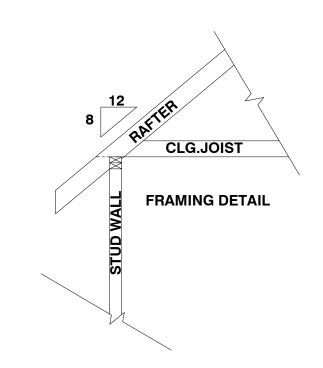




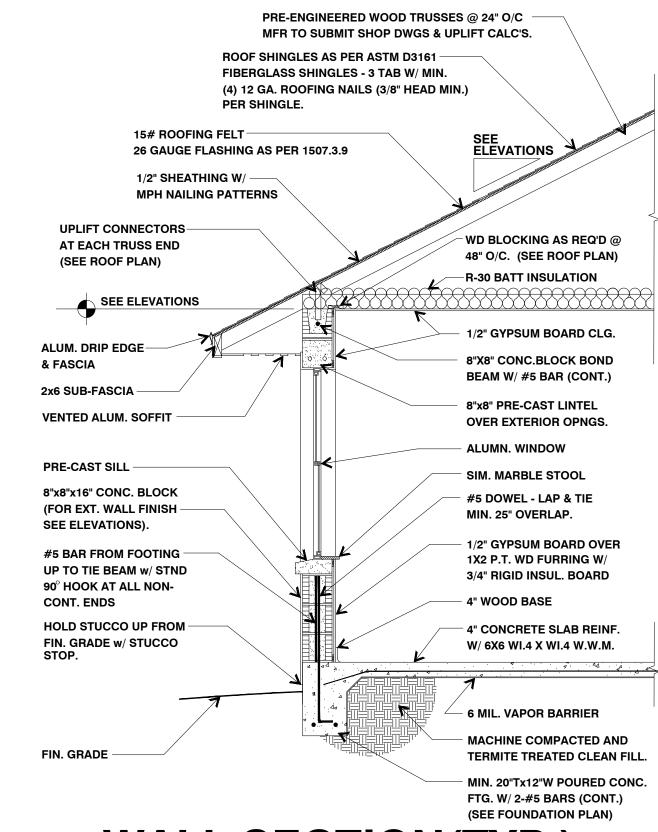








FRAMING DETAIL
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



# WALL SECTION(TYP.) SCALE: N.T.S. SCHEMATIC-FOR GENERAL REFERENCE ONLY

## **FRAMING NOTES**

- WALL FRAMING TO BE METAL STRUCTURE WITH INTERIOR WALLS TO BE 2X4 STUDS
- @16"O.C, FRAMED ON THE INSIDE OF METAL COLUMNS.2. CONTRACTOR TO PROVIDE 2"x BLOCKING BETWEEN ALL CEILING JOIST.
- 2. CONTRACTOR TO PROVIDE 2"X BLOCKING BETWEEN ALL CEILING JC

  3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.
- 4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL & NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
- ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 SPF (LIVE LOAD). 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10 PSF (DEAD LOAD).
- ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED UNLESS NOTED OTHERWISE.
- 7. ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE.

  8. ALL BEAM SIZES &D LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL
- ENGINEER.

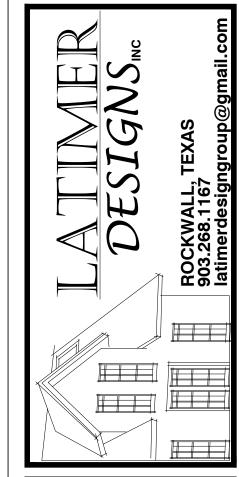
  9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED
- OTHERWISE.

  10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO.
- 2. S.Y.P.
  11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2. S.Y.P.
- 12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
  13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA.,
- G.I., 24" WIDE MINIMUM.

  14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.

**ROOF NOTES** 

- 1. ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
- PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
   ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- 4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL &
- 5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.
- 6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER..7. SEE ELEVATIONS FOR PLATE HEIGHT.



DRAWN BY:
CHECKED BY:
DATE:
ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:
REVISIONS:

MANDY HENRY

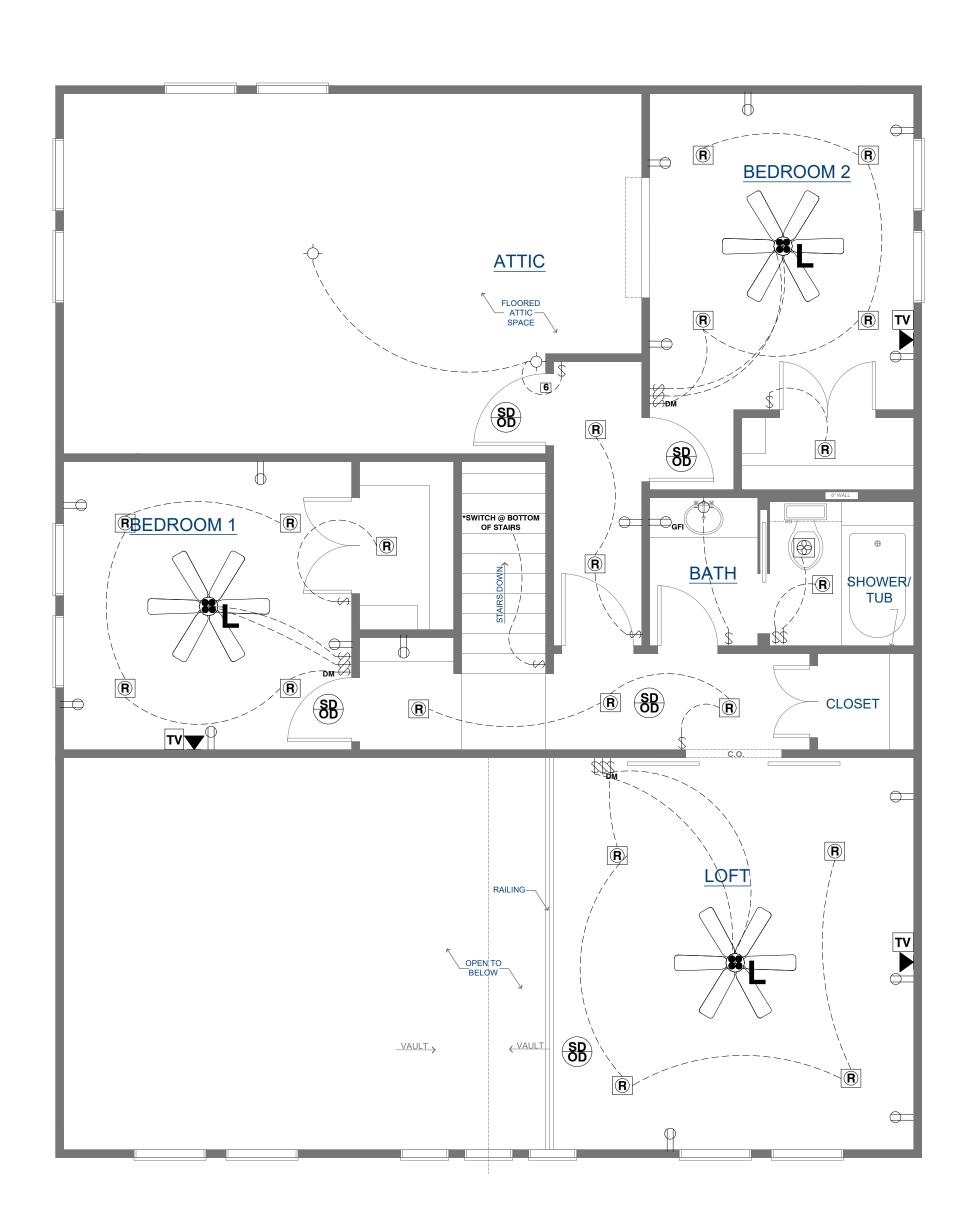
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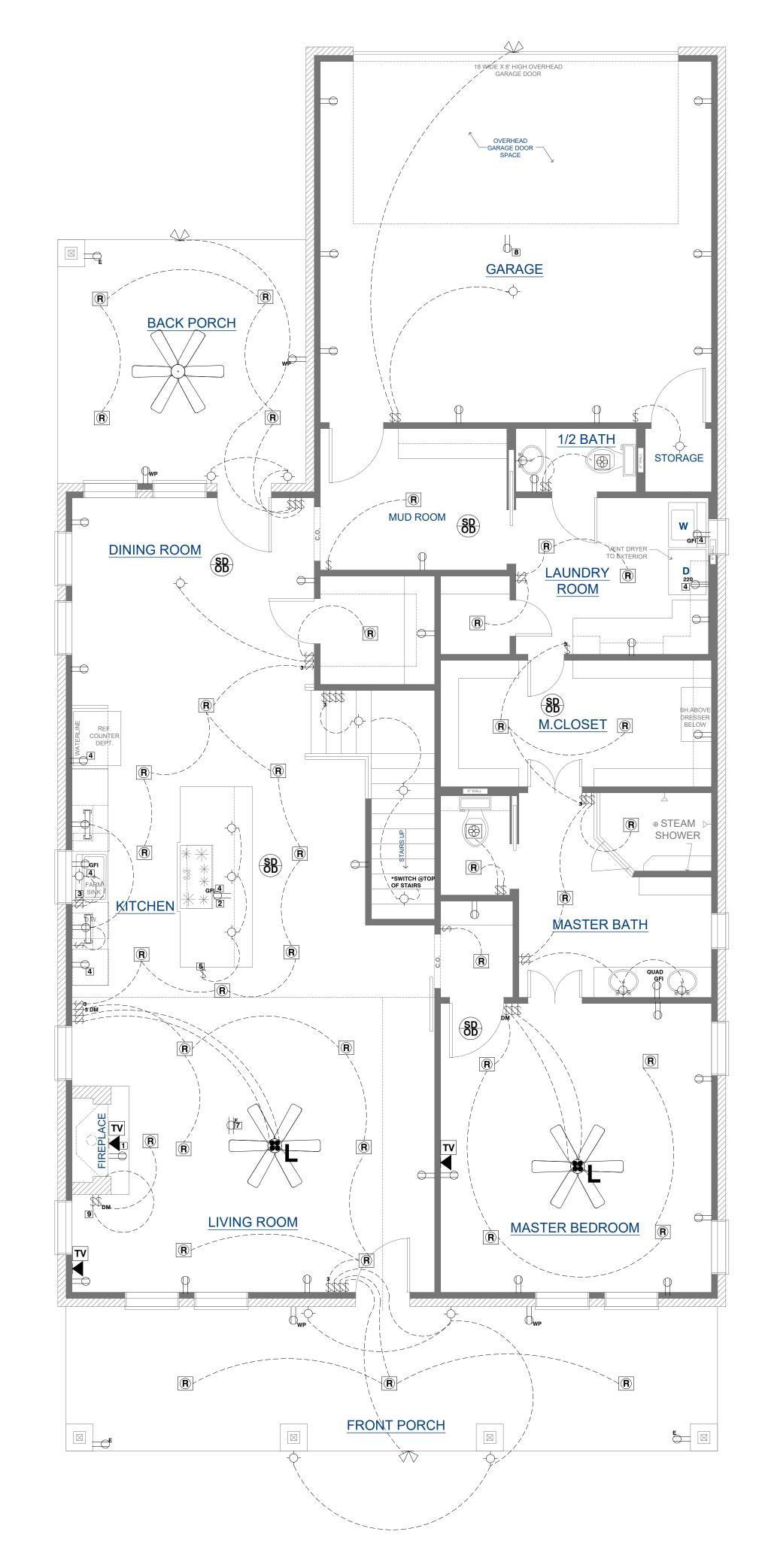
ATERIA AVE. • ROCKWALL • TX • 75087

CASE #: Z2020-002

SHEET TITLE:
ROOF PLAN

SHEET NO.:





## **ELECTRICAL LEGEND**

LLLO INIOAL LLGLIID		
ELECTRICAL	SYM.	
CABLE TV OUTLETS	TV	
TELEPHONE	_	
UNDER MOUNT LIGHTS		
DOUBLE SPOTLIGHT	$\triangle$	
LIGHT FIXTURE		
RECESSED CAN LIGHT (VERIFY LOCT.W/OWNER)	<b>R</b>	
ELECT.& MOUNT KIT FOR FUTURE FAN		
CEILING FAN W/LIGHT	X	
CEILING FAN W/OUT LIGHT	*	
EXHAUST FAN W/O LIGHT	<b>⊗</b>	
WATERPROOF OUTLET	Ů ₩P	
EXTERIOR OUTLET@EAVE	<b></b>	
110 VOLT OUTLET	<u> </u>	
220 VOLT OUTLET	220	
GROUND FAULT PROTECTED OUTLET	GFI	
FLOOR OUTLET W/AV	$\phi_{F}$	
SWITCH	\$	
SWITCH - 3 WAY	\$3	
SWITCH - DIMMER	\$DM	
SMOKE & CO DETECTOR	SD	

## **KEYED NOTES**

- 1 OUTLET & TV AT MANTEL
- **OUTLET FOR DISPOSAL & DW UNDER SINK**
- **SWITCH FOR DISPOSAL**
- **OUTLET FOR APPLIANCES**
- **OUTLET/SWITCH HIGH ON ISLAND**
- 6 ATTIC LIGHT & SWITCH
- **FLOOR OUTLET**
- 8 OUTLET @ CEILING
- 9 FIREPLACE VENT FAN

## **ELECTRICAL NOTES**

- FLOOR BOXES TO HAVE 110 QUAD OUTLETS
   ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
   ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS &
- MAKE ANY NECESSARY ADJUSTMENTS
- 5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE. 6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY

- 8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
- 9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.

DRAWN BY: CHECKED BY: ISSUED FOR PERMIT: ISSUED FOR CONSTRUCTION: **REVISIONS:** 

CASE #: Z2020-002

SHEET TITLE: **ELECTRICAL PLAN** 

> SHEET NO.: A - 1.07

ELECTRICAL PLAN - 1ST FLOOR

SCALE: 1/4" = 1'-0"































February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Thank you,

Reese Baez

**Triton General Contractor** 

469-931-2267

#### CITY OF ROCKWALL

## ORDINANCE NO. 20-XX

## SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection* 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

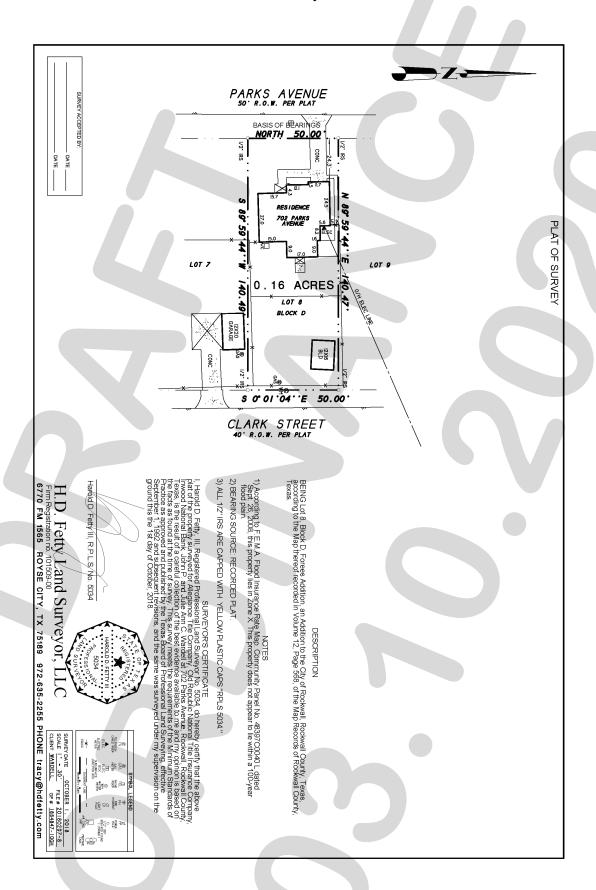
	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	

1<sup>st</sup> Reading: *March* 16, 2020

Frank J. Garza, City Attorney

2<sup>nd</sup> Reading: April 6, 2020

## Exhibit 'A': Survey

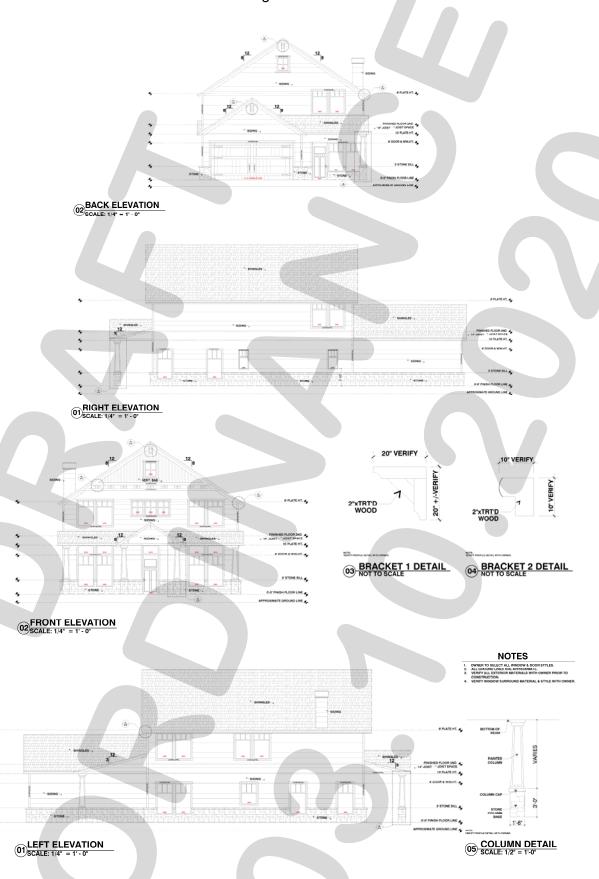


**Exhibit 'B':**Residential Plot Plan



SITE PLAN SCALE: 1/8" = 1' - 0"

## **Exhibit 'C':**Building Elevations





PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: March 16, 2020
APPLICANT: Reese Baez

CASE NUMBER: Z2020-002; Specific Use Permit (SUP) for a Residential Infill for 702 Parks Avenue

## **SUMMARY**

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

#### **BACKGROUND**

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots (Addendum [03.11.2020]: demolition permit [*i.e.* BLD2019-3321] approved on December 27, 2019). Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

## **PURPOSE**

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 8 (*i.e. 702 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-003*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 610 Parks Avenue*).

## ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

*North*:

Directly north of the subject property is 704 Parks Avenue (*i.e. Lot 9, Block D, Foree Addition*). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. Pecan Grove, Stark, & Wade*). All of these areas are zoned Single-Family 7 (SF-7) District.

South:

Directly south of the subject property is 610 Parks Avenue (*i.e. Lot 7, Block D, Foree Addition*). South of this are three (3) residential homes followed by Lillian Street, which is designated as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the

boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (*e.g. F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

<u>East</u>: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a R2 (residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. Rockwall Assembly of God). All of these properties are zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE REQUEST**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)II housing proposed under this section [i.e. Residential Infill in or Adjacent to an Established Subdivision] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	Two (2) Stories (i.e. ~27-feet at the Midpoint of Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	N/A
<b>Building SF on Property</b>	1,264 SF – 3,912 SF	3,450 SF
Building Architecture	Various [ <i>Minimal Traditional, Tudor, Ranch, etc.</i> ]	Comparable Architecture
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard and Stone
Paint and Color	Pink, Yellow, White, and Tan	White (with Black Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

CITY OF ROCKWALL

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) notices and one (1) email in favor of, and two (2) notices and four (4) emails in opposition of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## PLANNING AND ZONING COMMISSION

On March 10, 2020, the Planning and Zoning Commission made a motion to recommend approval of the Specific Use Permit (SUP) to allow for the construction of a single-family home as a *Residential Infill within an Established Subdivision* with staff conditions. The motion was approved by a vote of 3-2, with Commissioners Womble and Moeller against, and Commissioners Fishman and Logan absent.



## **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ONLY -

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

lease check the appropriate box below to indicate the ty	pe of development request [SELECT ONLY ONE BOX]:
Platting Application Fees:  [ ] Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup> [ ] Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup> [ ] Final Plat (\$300.00 + \$20.00 Acre) <sup>1</sup> [ ] Replat (\$300.00 + \$20.00 Acre) <sup>1</sup> [ ] Amending or Minor Plat (\$150.00) [ ] Plat Reinstatement Request (\$100.00)  Site Plan Application Fees: [ ] Site Plan (\$250.00 + \$20.00 Acre) <sup>1</sup> [ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	Zoning Application Fees:  [ ] Zoning Change (\$200.00 + \$15.00 Acre) ¹
Address 102 PAYS AVE FOR Subdivision Forces Addition V General Location PAYS AVE  ONING, SITE PLAN AND PLATTING INFORMAT	TION (PLEASE PRINT)
Proposed Zoning VIA	Proposed Use & Sidential
Acreage 0. Lot	ts [Current] Lots [Proposed] 👌 . 🏻 😉
SITE PLANS AND PLATS: By checking this box you acknowledge process, and failure to address any of staff's comments by the action of the process.	ge that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its appro date provided on the Development Calendar will result in the denial of your case.
OWNER/APPLICANT/AGENT INFORMATION [P	LEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[ ] Owner	Contact Person 1075. Goliad St # 108
Contact Person	Contact Person 1025. Boliad St #108
Address	Address
City, State & Zip	City, State & Zip <b>FOCKWALL TX 15087</b> Phone
Phone	Phone
E-Mail	E-Mail Tbacz@tritangc. Com
NOTARY VERIFICATION [REQUIRED]  defore me, the undersigned authority, on this day personally appeare this application to be true and certified the following:	A STATE OF THE STA
cover the cost of this application, has been pala to the City of Rockwal	In; all information submitted herein is true and correct; and the application fee of $$\frac{215.00}{1000}$ . By signing this application, I a provide information contained within this application to the public. The City is also authorized

permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public

Owner's Signature

Notary Public in and for the State of Texas

Myy

MEGAN MURPHY
Notary Public, State of Texas
Comm. Expires 05-10-2020
Notary ID 1-30-05-0823

My Commission Expires

DEVELOPMENT APPLICATION

Given under my hand and seal of office on this the





# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

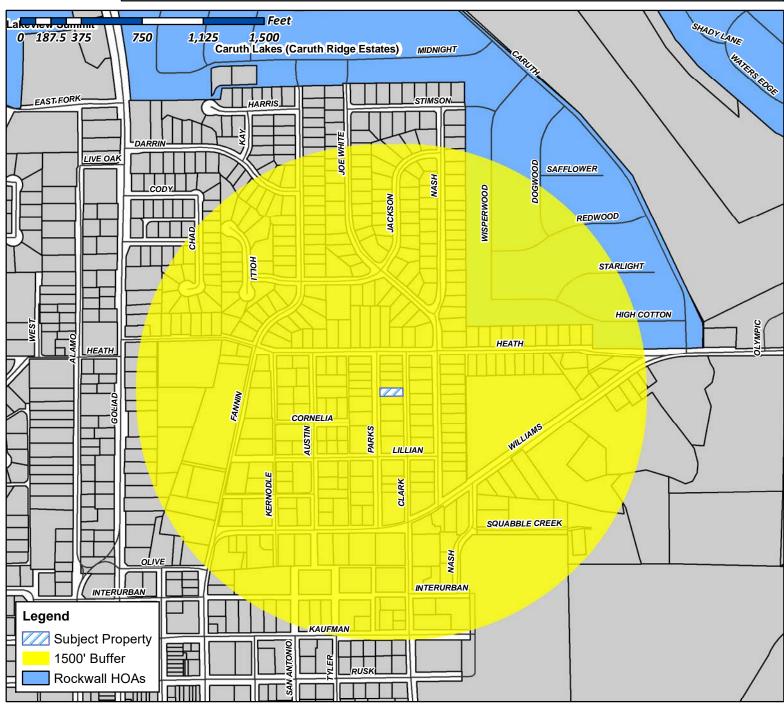




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

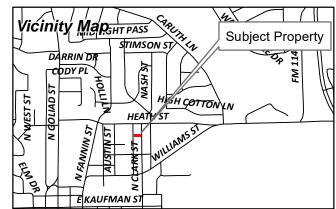
Case Name: SUP for 702 Parks Ave Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created:** 2/19/2020

For Questions on this Case Call (972) 771-7745



## Gamez, Angelica

From:

Gamez, Angelica

Sent: Subject: Friday, February 28, 2020 10:30 AM Neighborhood Notification program

Attachments:

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf;

PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

## To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner *February 28, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 10, 2020 at 6:00 p.m.*, and the City Council will hold a public hearing on *Monday, March 16, 2020 at 6:00 p.m.*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at https://sites.google.com/site/rockwallplanning/development-cases.

## Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

#### Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

#### Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

## Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

#### Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

#### Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

## Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

## Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <a href="http://www.rockwall.com/planning/hoa.asp">http://www.rockwall.com/planning/hoa.asp</a>.

Thank you,

## Angelica Gamez

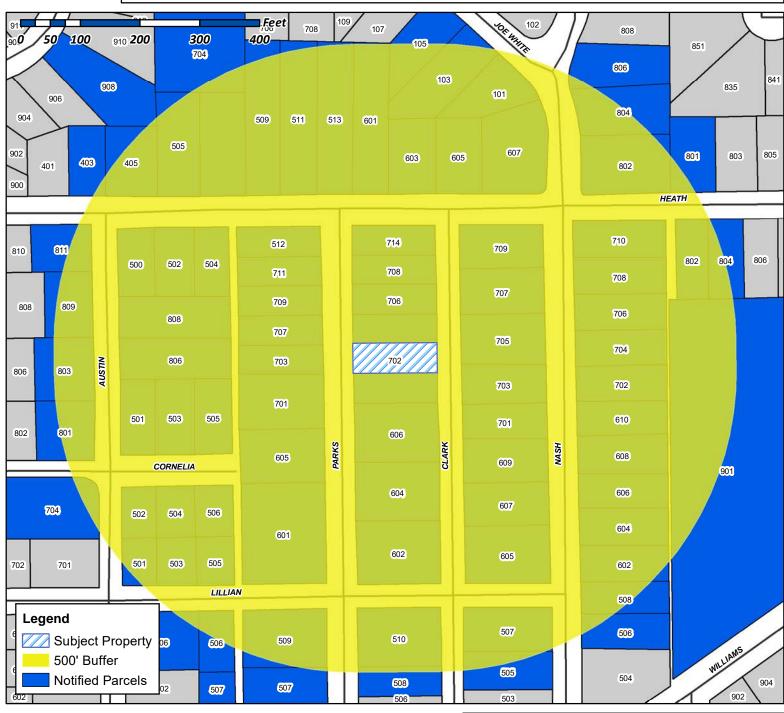
Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/



## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-002

Case Name: SUP for 702 Parks Ave. Case Type: Specific Use Permit

Zoning: SF-7

Case Address: 702 Parks Ave.

**Date Created: 2/19/2020** 

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT	ROLAND RANDY C AND ANDREA B	CURRENT RESIDENT
EHEATH	101 JOE WHITE ST	103 JOE WHITE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SILVA MANUEL	CURRENT RESIDENT	BREWER SHERI RENEE
1041 E FM 552	105 JOE WHITE	119 SUNRISE VISTA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	PONTE VEDRA, FL 32081
SABRSULA MELISSA	KENNEDY HAYLEY	RIPSTOP PROPERTIES LLC
1571 ANNA CADR RD	201 CHAMPION DR	205 S CLARK STREET
ROCKWALL, TX 75087	WYLIE, TX 75095	ROCKWALL, TX 75087
RIJU LTD PARTNERSHIP A TEXAS LTD PARTNERSHIP 210 GLENN AVE ROCKWALL, TX 75087	HARRIS RICHARD D & JUDY A 210 GLENN AVE ROCKWALL, TX 75087	REDDEN POLLY PEOPLES 213 SOVEREIGN CT ROCKWALL, TX 75032
GRIFFIN PATTY JEAN CORNELIUS	PARK ALLEN	KAUFMANN EVAN J
2140 AIRPORT RD	2301 LAFAYETTE DR	2312 BAHAMA RD
ROCKWALL, TX 75087	HEATH, TX 75032	AUSTIN, TX 78733
GLASS JERRY R 301 MEADOWDALE DR ROCKWALL, TX 75087	ZYLKA JOE AND BONNIE 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032	VANHORN PENNI AND JOE ZYLKA AND BONNIE ZYLKA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032
CURRENT RESIDENT	CURRENT RESIDENT	HODGES PATRICK L
403EHEATH	405EHEATH	481 ARCADIA WAY
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KIRKPATRICK DAVID S & RHONDA D	HOLZHEIMER THOMAS R AND NICOLE M	GREENAWALT PATRICK ALAN
500 E HEATH ST	501 CORNELIA ST	501 LILLIAN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BARNETT GEORGE S	MCINTIRE J M & ERLINDA	CURRENT RESIDENT
502 CORNELIA ST	502 E HEATH ST	503 CORNELIA
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	TANTON MELVIN V JR
503 LILLIAN	504 CORNELIA	504 E HEATH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JE	₹
505 CARRIAGE TRAIL	
ROCKWALL, TX 75087	

## SCHMIDT JERRY LEE AND BARBARA JEAN 505 CORNELIA ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT 505EHEATH ROCKWALL, TX 75087 CURRENT RESIDENT 506 CORNELIA ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE 506 LILLIAN ST ROCKWALL, TX 75087 BLESSING RUSSELL BENNETT 506 NASH ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE 507 NASH ST ROCKWALL, TX 75087

TOLMAN BROOKS 507 PARKS AVE ROCKWALL, TX 75087

CAWTHON RICK 508 NASH ST ROCKWALL, TX 75087 FREEMAN WILLIAM B JR 508 PARKS AVE ROCKWALL, TX 75087

DOROTIK DAVID W 509 PARKS AVE ROCKWALL, TX 75087 CURRENT RESIDENT 509EHEATH ROCKWALL, TX 75087 RICHARDSON PATRICE 510 COVE RIDGE RD HEATH, TX 75032

CURRENT RESIDENT 510 PARKS ROCKWALL, TX 75087 CURRENT RESIDENT 511EHEATH ROCKWALL, TX 75087 COATS LOIS LOUISE 512 E HEATH ST ROCKWALL, TX 75087

DENNIS KIMBERLY 513 E HEATH ST ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH 601 PARKS AVE ROCKWALL, TX 75087 STEGALL VENTURES LLC 601 SUNSET HILL DRIVE ROCKWALL, TX 75087

CURRENT RESIDENT 601EHEATH ROCKWALL, TX 75087 SIMMONS APRIL R 602 NASH STREET ROCKWALL, TX 75087 LEAL ROLAND & CAROL 602 PARKS AVENUE ROCKWALL, TX 75087

SUTTON JUDITH A 603 E HEATH ST ROCKWALL, TX 75087 HOWARD DEBORAH K 604 NASH ST ROCKWALL, TX 75087 FUQUA MATTHEW 604 PARKS AVE ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA 605 NASH ST ROCKWALL, TX 75087 DINGWELL MARGUERITE NASH & ADAM 605 PARKS AVE ROCKWALL, TX 75087 DAVIS SUSAN ELAINE BYRD 605 STORRS ROCKWALL, TX 75087

CURRENT RESIDENT 605EHEATH ROCKWALL, TX 75087	DANIEL RODNEY 606 AUSTIN ST ROCKWALL, TX 75087	GALASSI TORI D 606 NASH ST ROCKWALL, TX 75087
WALLS JEFFREY V & NATALIE ANN 606 PARKS AVE ROCKWALL, TX 75087	SPERLING SANDY 607 E HEATH ST ROCKWALL, TX 75087	BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087
STARK ROBERT S & TINA J	OGDEN BRANDON & LIDIA	TORRES ROSIE
607 SAINT MARY ST	608 NASH ST	609 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	BLAZEK ALVIN F & DOROTHY H	CASTRO RENE & BETSY
610 NASH	6634 DAVIS DR	700 WINDSONG LN
ROCKWALL, TX 75087	ROYSE CITY, TX 75189	ROCKWALL, TX 75032
CURRENT RESIDENT	CASTILLO AGAPITO & ESTELA	TEMPLETON LORRAINE BIEGLER
701 NASH	701 PARKS AVE	702 NASH ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	ELLISTON REBECCA S	HANSON BRANDON R
702 PARKS	703 NASH STREET	703 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FRASIER MICHAEL & MARY GRACE	THOMAS TRACY	CURRENT RESIDENT
704 JACKSON ST	704 KERNODLE ST	704 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
RUSHING BRIAN AND CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087	ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087	PECINA JOE & LORETHIA ANN 706 PARKS AVE ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
707 NASH	707 PARKS	708 NASH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
KOLWINSKA GERALDINE D 708 PARKS AVE	CURRENT RESIDENT 709 NASH	BARRON ARMANDO 709 PARKS AVE

ROCKWALL, TX 75087

ROCKWALL, TX 75087

ROCKWALL, TX 75087

STARK ROBERT C	KING MISTY	NIXON ALBERT
710 AGAPE ST	710 NASH STREET	711 PARKS AVE
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
PALMER LINDA C	CURRENT RESIDENT	CURRENT RESIDENT
714 PARKS AVE	801 AUSTIN	801EHEATH
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
COLUNGA MAXIMO & MARGARITA	CURRENT RESIDENT	CURRENT RESIDENT
802 E HEATH ST	802 NASH	803 AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
BROWN REBECCA AND THOMAS	CURRENT RESIDENT	AUSTIN TRENTON C
804 E HEATH ST	804 NASH	806 AUSTIN ST
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	CURRENT RESIDENT
806 NASH	808 AUSTIN	809 AUSTIN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
JENNINGS AMANDA L	MCCLAIN LOUETTA	WARDELL JOHN P & JULIE C
811 AUSTIN ST	8309 TURNBERRY ST	880 IVY LN
ROCKWALL, TX 75087	ROWLETT, TX 75089	ROCKWALL, TX 75087
CURRENT RESIDENT	BIRT PAUL G & CHRISTI ANA	BELANGER CORKY
901 WILLIAMS	908 NORTH FANNIN STREET	921 N ALAMO RD
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701	KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026	ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087

AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189 To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

#### Case No. Z2020-002: 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.,** and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**Director of Planning & Zoning





#### MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - · - · - · - · - · - · - · -			
Case No. Z2020-002: 702 Parks Avenue			
Please place a check mark on the appropriate line below:			
I am in favor of the request for the reasons listed below.			
☐ I am opposed to the request for the reasons listed below.			
Name:			
Address:			

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETORN THE BELOW FORIST

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

🔯 I am in favor of the request for the reasons listed below.

 $\square$  I am opposed to the request for the reasons listed below

A 2- STORY HOUSE IS FINE

Address: 512 E. HEATH ST. ROCKWALL, TX 75087.2221 Name: LOIS LOUISE COATS Louise Coats

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748

To Whom It May Concern:

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Case No. Z2020-002: 702 Parks Avenue

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

IT IS OIK TO HAKE A SINGLE-PAMILY HOME IN A RESIDENTIAL AREA

Name: GUILLERMO LOPEZ

Address: 605 E. HEATH ST. ROCKWALL TY 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: Brooks Tolman

**Sent:** Tuesday, March 10, 2020 5:25 PM

**To:** Gonzales, David

**Subject:** Fwd: 702 Parks Z2020-002

## Mr Gonzales:

>

> I will be unable to attend tonight's meeting, so I would like to take this opportunity to express my support for the above mentioned zoning request. Please feel free to call or write with any questions.

>

> Thanks,

>

- > Brooks Tolman
- > 507 Parks Ave
- > 214-454-7070 cell

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Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

🗗 am opposed to the request for the reasons listed below

Proper values of root term into Rental Properties.

Name: Tyler Wimper

Address: 801 E Heath St Rockwall Ix 7508

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the

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Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745• [F] (972) 771-7748

10.50° 03 2020 DE 75087

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David Gonzales Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP Director of Planning & Zoning USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE



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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: Planning

**Sent:** Monday, March 9, 2020 9:51 AM

**To:** Gonzales, David

**Subject:** FW: 702 Parks and 610 Parks

From: Alison Odom

Sent: Friday, March 6, 2020 8:54 PM
To: Planning <planning@rockwall.com>
Subject: 702 Parks and 610 Parks

Hello,

I am writing to express my concern about items (7) Z2020-002 and (8) Z2020-003 on the planning agenda for Tuesday, March 10, 2020. The addresses are 702 Parks and 610 Parks. I won't be able to speak at the meeting on Tuesday, so I'm writing this letter. I think it's important to point out to the Planning and Zoning board that the two homes in these items are to be placed on two of three lots that comprise the old address of 702 Parks. These are especially skinny lots and the size of the homes proposed will fill the entire width of the lot. While there are two SUPs requested at this time, there is a 3rd lot that is either currently for sale, or will be sold, and a third home will likely be built. It's important to remember how this will look when all three homes are built. I fear these three large homes will be squeezed onto these lots and loom over the existing smaller homes on either side. The reason the owners have to get the Special Use Permit is because the Unified Development Code was recently updated to protect established neighborhoods with no HOA to make sure that any infill would be "architecturally and visually similar or complementary to existing housing in the established subdivision". I think the two homes applying for the SUP will be, however, they will be squished onto 2/3 of the available space and a third large home will likely be built on the last lot. The size of the homes would NOT be visually similar or complementary to existing homes on the street. The homes being proposed are beautiful and match our neighborhood. One is two story and one is a single story. The single story is about 2200 square feet and the two story is about 2600 square feet. If it were just the two homes on the triple lot, this would be visually similar and complimentary to existing homes on the street. To add a third home is too much and would not look like the rest of the neighborhood. If three homes need to go on the three lots, they need to be the same size as the surrounding homes, which are about 1600 square feet or less. For your reference, the two story green home at 506 Parks (on the same street) is on the same size lot and is only 1600 square feet.

To approve these SUPs 'as-is' will set a precedence that investors can come in and mow down homes and trees in Old Town Rockwall in order to squeeze as many homes as possible into small spaces to sell and make a profit. This is very dangerous for our neighborhood and could become a slippery slope. This is not the burden of the land owner, she cannot control what happens in our neighborhood. This is the burden of the city to protect our downtown neighborhood. Our Old Town neighborhood is especially susceptible to exploitation with investors purchasing at least 4 properties that I know of in the past few months. The City must help preserve the integrity of what is allowed to be built in our neighborhood. The updated UDC is a wonderful step in the right

neighborhood. For this reason I am asking you to deny the SUP, or ask the owner to tweak the size to match the rest of the neighborhood.
Thank you,
Alison Odom
405 N Fannin St.
Rockwall, TX 75087
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direction. If we approve these huge homes on small lots, we could end up with the McMansion effect that has destroyed many old Dallas neighborhoods. Again, I like the plans of the homes that are being proposed, but I

do not think they will be visually similar and complement the other homes on the street and in the

From: Planning

Sent: Tuesday, March 3, 2020 4:54 PM

**To:** Gonzales, David

**Subject:** FW: Case No Z2020-003

From: Elizabeth Trowbridge

**Sent:** Tuesday, March 3, 2020 3:22 PM **To:** Planning planning@rockwall.com>

Subject: Case No Z2020-003

Attn: David Gonzales

Rockwall Planning and Zoning Dept.

385 S. Goliad St.

Rockwall, TX 75087

From: Elizabeth Trowbridge

601 Parks Ave

Rockwall, TX 75087

I am unable to attend the March 10 meeting regarding Case No. Z2020-003: 610 Parks Avenue.

**I AM OPPOSED** to the request for the reasons listed below:

- **DENSITY**: They are building 3 huge houses on what will be 3 tiny lots.
- IT DOES NOT ALIGN with the Architectural Integrity of the neighborhood
- Large two-story houses **do not fit** in the neighborhood.

•	(Reference the house on the 400 block of Clark St. that looms over the neighboring houses.) Hideous!
•	This new build will ruin the <b>integrity</b> of neighborhood.
•	This is the "historic" old town of Rockwall and with that comes a certain charm, aesthetic and characteristics of the homes and the neighborhood.
•	We don't want teardowns and big builds. I am afraid this will set a precedent for other small houses to be torn down and oversized houses to be built.
	What is great about our neighborhood is that it is truly a melting pot of new and old Rockwall. There are families that have lived here for more than 40 years than can tell stories about the neighborhood. The people that live here are invested in improving the neighborhood and enhancing their homes – not tearing down and building huge eyesores. I am afraid that if this passes, the smaller houses/homeowners on our street will be preyed upon to try to sell for more "investors" to tear down and change our wonderful neighborhood. They have already torn down 100-year-old trees when they could have easily kept them.
	Please do not approve this as is.
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From: Planning

Sent: Wednesday, March 4, 2020 7:45 AM

**To:** Gonzales, David

**Subject:** FW: 600 Block on Parks Ave

From: Maggie Dingwell

**Sent:** Tuesday, March 3, 2020 9:11 PM **To:** Planning planning@rockwall.com>

Cc:

Subject: 600 Block on Parks Ave

To whom it may concern,

My husband and I are residents at 605 Parks Ave - right across the street from the projected 610 and 702 Parks Ave lot where a single family home was recently torn down. When we heard the plan that the area was being zoned for three homes, we were shocked and disappointed. Not to mention, we were also made aware that these "two-story homes", will be more like three-story as the roof lines will not be synonymous with the other two-story homes on our street. In addition, all the trees were destroyed making the space look desolate and totally out of place.

The downtown Rockwall area is a special place - full of character where each home takes on its own unique look. To learn that the new owner is projecting to have three, "three-story" homes is a devastating. The current houses on the street have space between one another, one of the many features that makes this neighborhood so wonderful. This is not a new area, like Fate, where there are no trees and houses look identical. We take pride, as all of the residents do, in enhancing our homes to make it a beautiful place to live.

I pray that the city respects this area and does not pass this plan - to build three mansions just feet away from one another. Think about the neighbors on either side of these homes. These new builds will tower over them, twice as high, taking away the charm of the neighborhood. If this is passed, it will set a precedent for when other homes on the block go up for sale, and an owner comes in, tears it down, and chooses to build a ridiculously massive house - a style that doesn't belong here.

This isn't your typical neighborhood. The history and the families making memories, makes it a place where people want to make it their forever home. We have a one year old daughter who we are blessed to have grow up on this street. We take her on wagon rides and go on our family walks up and down Parks Ave - I would hate to see the look of our neighborhood change because a person who doesn't live here wants to make a pretty penny on the land. We are absolutely for making the homes better, fixing them up - but not in this way.

Please don't build "three-story" homes. Respect this neighborhood and those that live here.

Thank you for your time. Maggie and Adam Dingwell

en

From: Planning

**Sent:** Monday, March 9, 2020 3:13 PM

**To:** Gonzales, David

**Subject:** FW: items (7) Z2020-002 and (8) Z2020-003

----Original Message----

From: Taylor Pointer

Subject: items (7) Z2020-002 and (8) Z2020-003

#### Dear planning and zoning,

I am writing to regarding items (7) Z2020-002 and (8) Z2020-003 on the planning agenda for Tuesday, March 10, 2020. The addresses are 702 Parks and 610 Parks. We are out of town for spring break so will be unable to attend the meeting so we are writing to express our concern about the two homes to be placed on two of three lots on the old address of 702 Parks. We ask that the owner of the land build only the two houses on the three lots so that, just as the Unified Development Code which was recently updated to protect established neighborhoods with no HOA, the two houses would remain "architecturally and visually similar or complementary to existing housing in the established subdivision".

If three houses must be approved, we ask that they match the surrounding houses by decreasing the sq ft to about 1600 sq ft to again match the neighborhood.

This is such an important precedence as investors have started to buy properties in Old Town Rockwall likely with the plan to mow them down along with their beautiful trees in order to squeeze as many homes as possible into small spaces to sell and make a profit. Please protect our neighborhood from this! The City MUST help preserve the integrity of Old Town and make careful consideration on what is allowed to be built. We are grateful for the updated UDC. Huge homes on small lots, do NOT preserve the integrity of Old Town. Please deny the SUP, or request the owner to build three smaller homes.

Thank you!

Sincerely, Taylor and Price Pointer 602 Williams St Rockwall, TX 75087

Sent from my iPhone

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# Henry House Plans 702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

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## LIABILITY

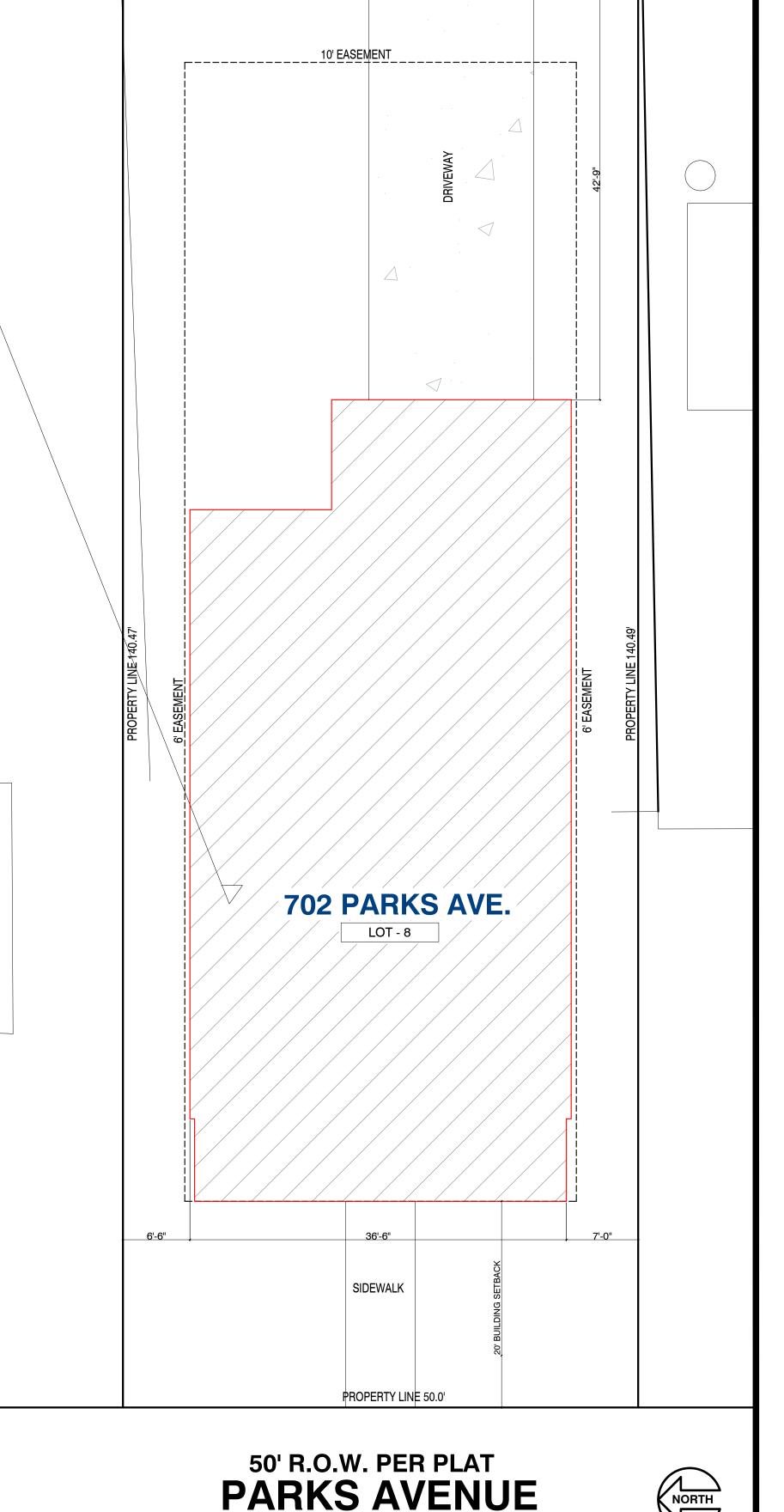
LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR

- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS. 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

## **CLARK STREET** 40' R.O.W. PER PLAT



## SITE PLAN SCALE: 1/8" = 1' - 0"

## **GENERAL NOTES**

- 1. THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- 2. ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR
- BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER. 3. ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR
- 4. ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL
- 5. FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING
- CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- 8. ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2"
- 9. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- 10. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- 11. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 12. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- 13. ALL LUMBER SHALL BE S4S UNO
- 14. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS. 15. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS
- WHERE REQUIRED BY CODE. 16. ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- 17. ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER.
- 18. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION
- AND ALL NECESSARY WASTE SYSTEMS. 19. PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- 20. THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE
- 21. CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

## **ABBREVIATIONS**

	ADDITEVIATION				
AB ADJ AFF BLD BLK BM CAB CLG CLR CON DBL DIA DN DWC EA EQ	BLOCK BEAM CABINET CEILING CLEAR C CONCRETE DOUBLE DIAMETER DOWN	FD FDN FF FLR FT GL H LC LG ML MTL OC PT PTB	FLOOR DRAIN FOUNDATION FINISH FLOOR FLOOR FEET FOOTING GLASS HIGH LAUNDRY CHUTE LONG MICROLAM METAL ON CENTER PRESSURE TREATED PARTICLE BOARD	R R&S SH SHWR SIM SQ STL TBD TOJ TOS TR TYP UNO V WD	RADIUS ROD & SHELF SHELF(S) SHOWER SIMILAR SQUARE STEEL TO BE DETERMINE TOP OF JOIST TOP OF SLAB TRANSOM TYPICAL UNLESS NOTED OTHERWISE VERTICAL WOOD

## DDV/MINIC INIDEA

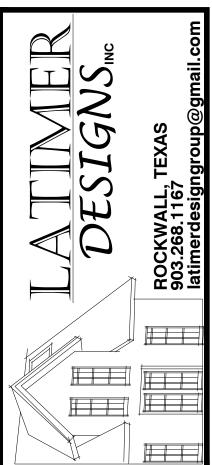
DF	RAWING INDEX	SQUARE FO	OTAGE
A - 1.01	COVER SHEET	LIVING SPACE	2660
A - 1.02	FRONT & LEFT ELEVATION	GARAGE	500
A - 1.03	BACK & RIGHT ELEVATION	FRONT PORCH	290
A - 1.04	FLOOR PLAN	BACK PORCH	186
A - 1.05	FOUNDATION/PLUMBING PLAN		·
A - 1.06	ROOF PLAN		
A - 1.07	ELECTRICAL PLAN		

## **BUILDING DEVELOPEMENT**

OWNER	AMANDA HENRY
	972.896.1539
	mhenrytx@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING
	REESE BAEZ
	214.738.8752
	RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC.
	LEE ANN LATIMER
	903.268.1167
	LATIMERDESIGNGROUP@GMAIL.COM

## DRODERTY DESCRIPTION

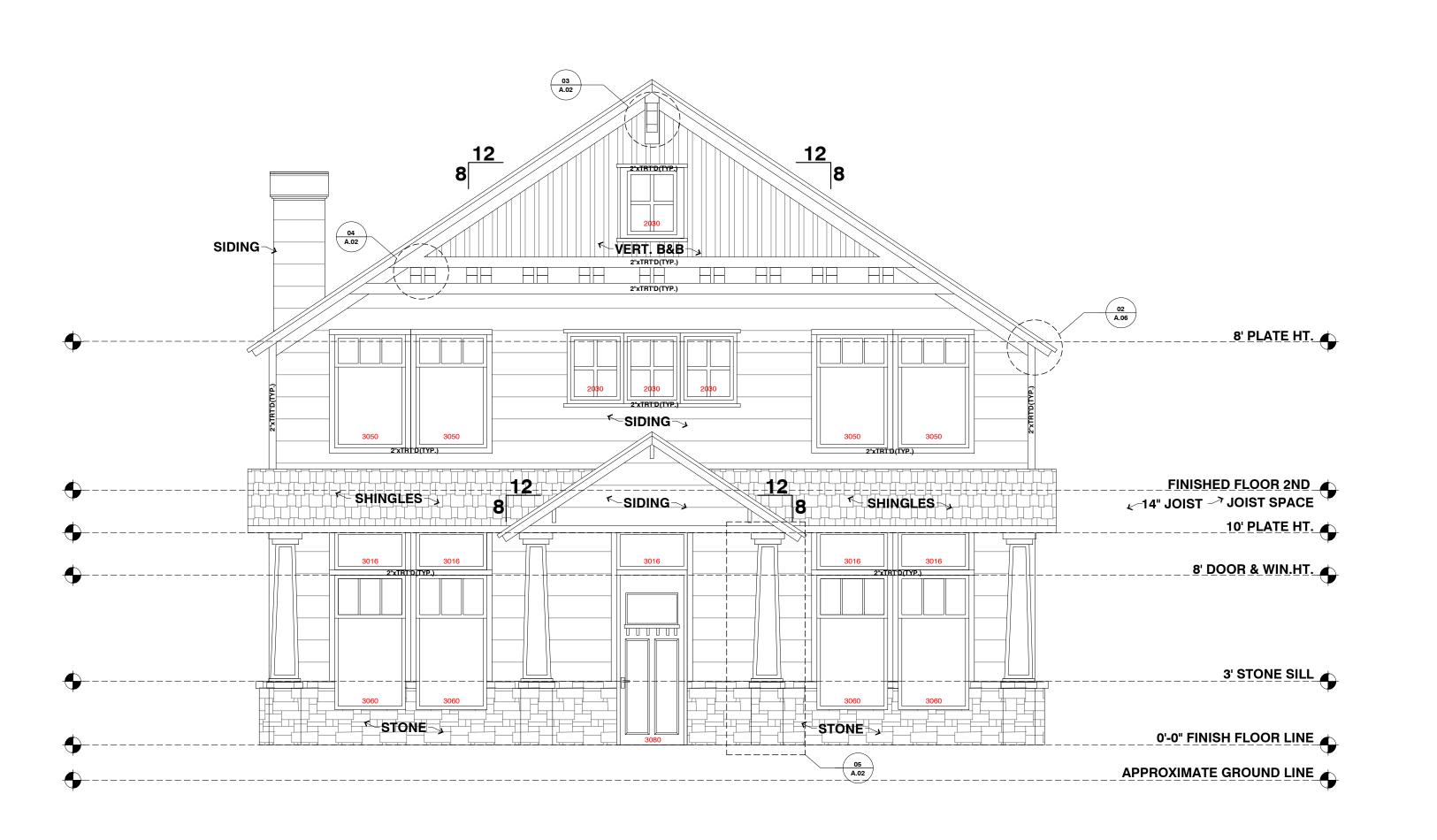
PROPERTY DESCRIPTION		
CASE #	Z2020-002	
LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8	
NEIGHBORHOOD	N3600-3-19	
PROPERTY ID	16619	
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9	
ZONING	SF3	
GEOGRAPHIC ID	3710-000D-0008-00-0R	

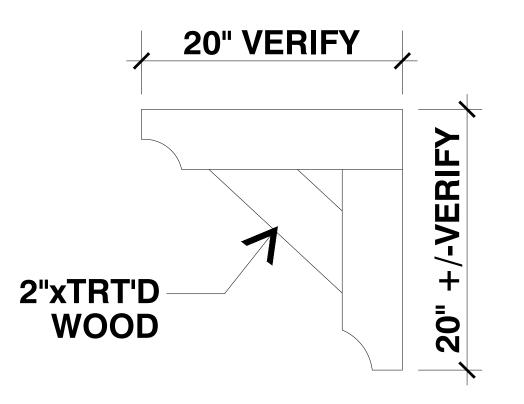


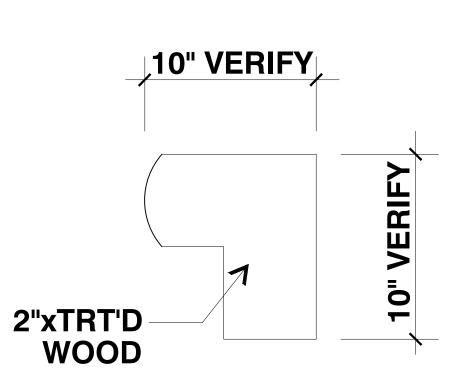
DRAWN BY: **CHECKED BY:** DATE: **ISSUED FOR PERMIT:** CONSTRUCTION: **REVISIONS:** 11.17.2019: KITCHEN - FLIP SINK & RANGE. ADDED WINDOW 12.04.2019: LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

CASE #: Z2020-002

SHEET TITLE: **COVER SHEET** 







NOTE: VERIFY PROFILE DETAIL WITH OWNER.

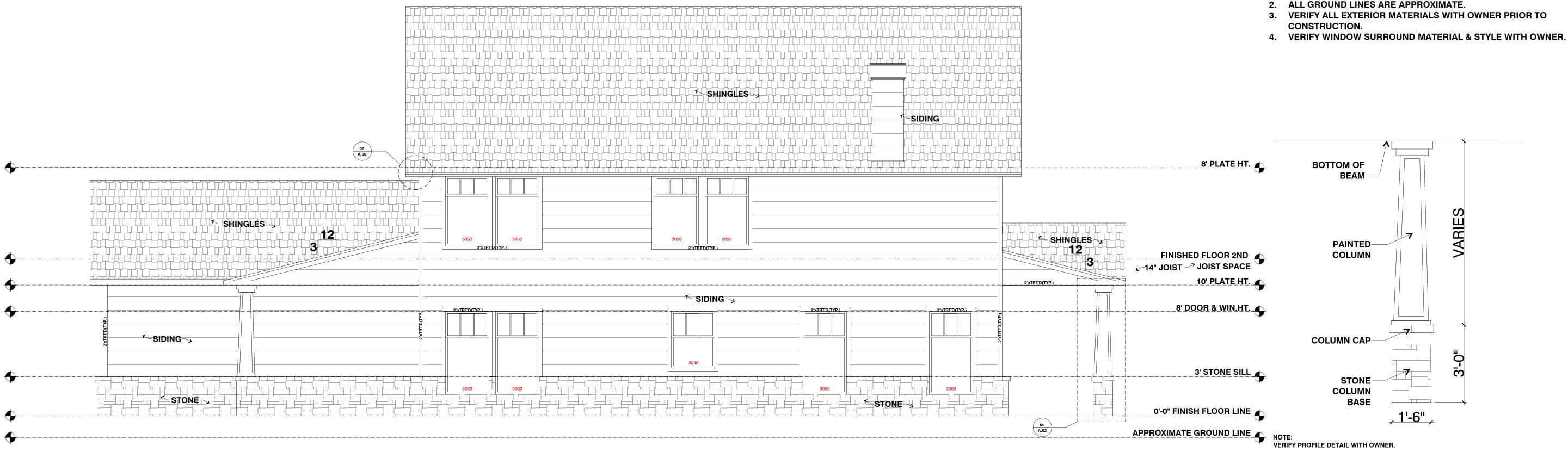
03 BRACKET 1 DETAIL
NOT TO SCALE

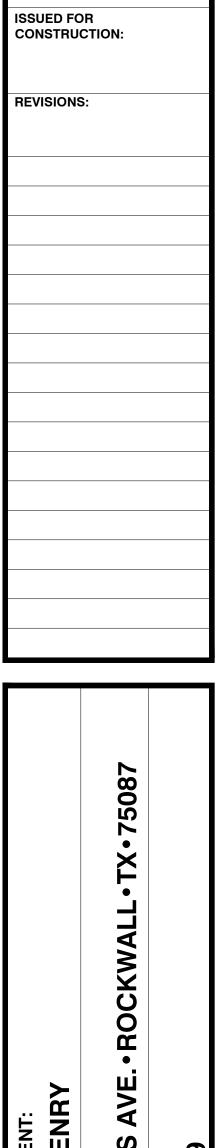
NOTE: VERIFY PROFILE DETAIL WITH OWNER.

04 BRACKET 2 DETAIL
NOT TO SCALE

## **NOTES**

- 1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- 2. ALL GROUND LINES ARE APPROXIMATE.
- 3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO





CASE #:

Z2020-002

SHEET TITLE:

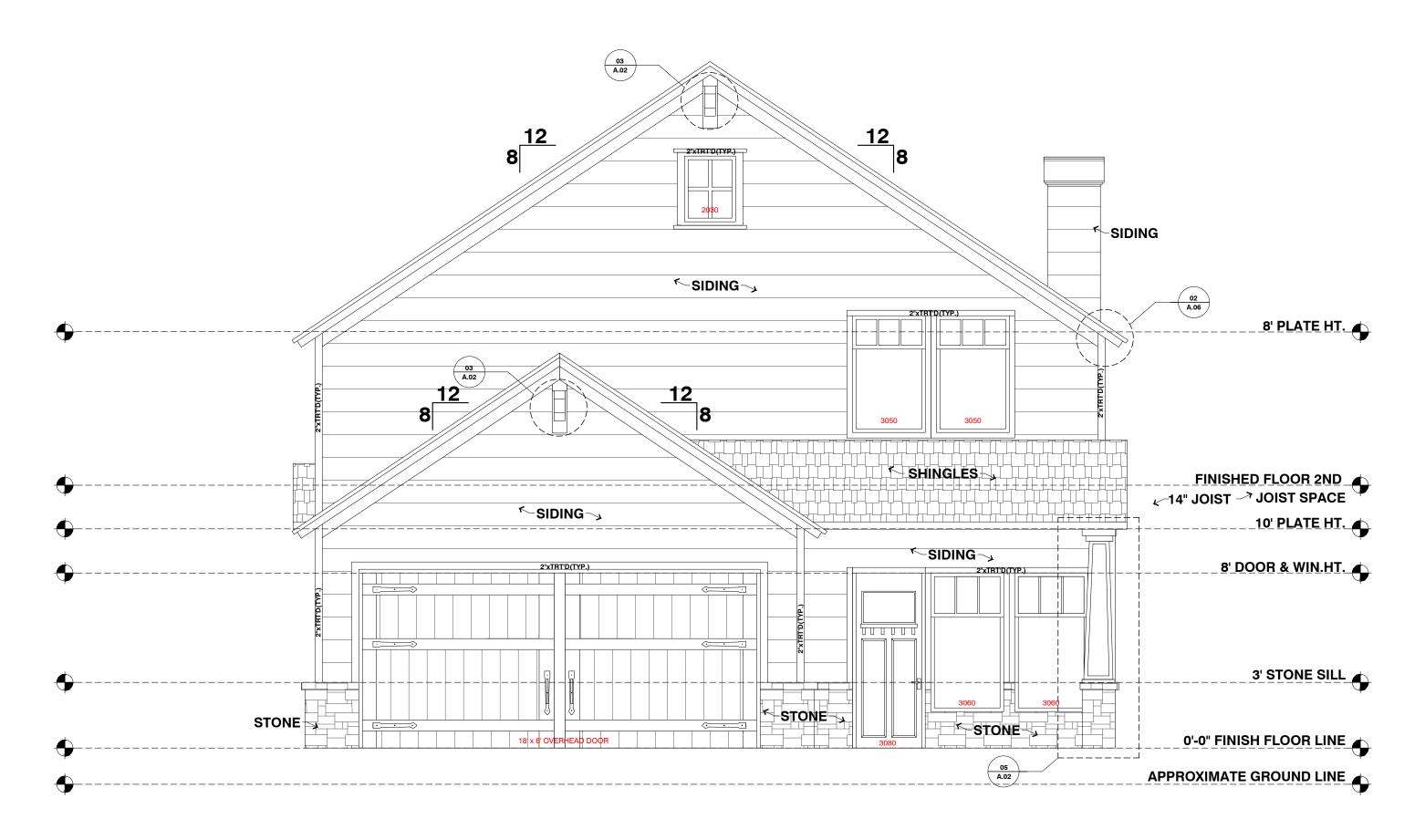
**ELEVATIONS** 

DRAWN BY:

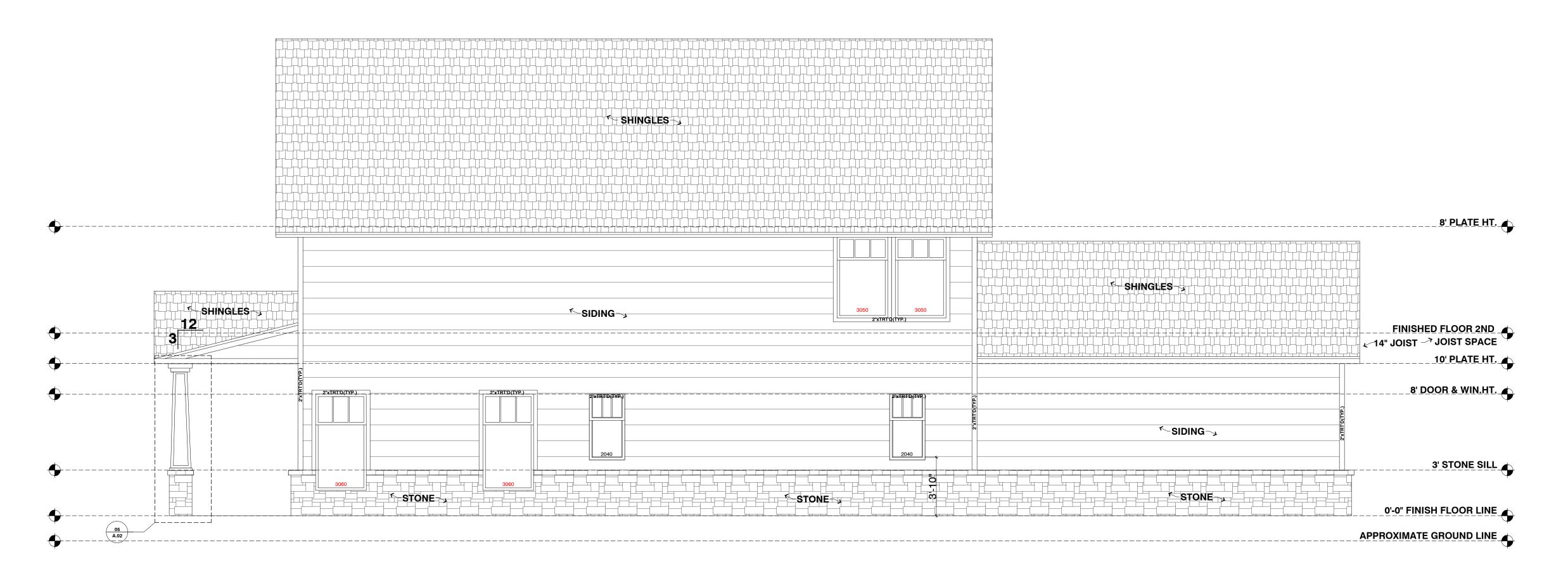
DATE:

CHECKED BY:

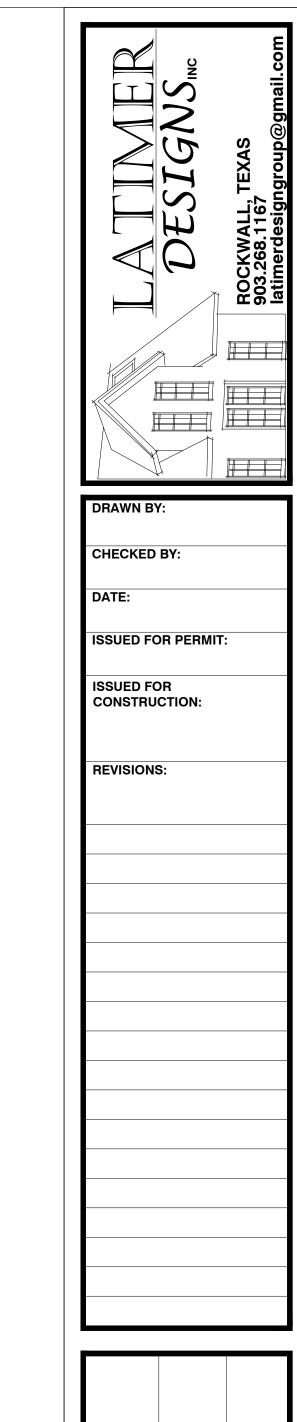
ISSUED FOR PERMIT:



## BACK ELEVATION SCALE: 1/4" = 1' - 0"







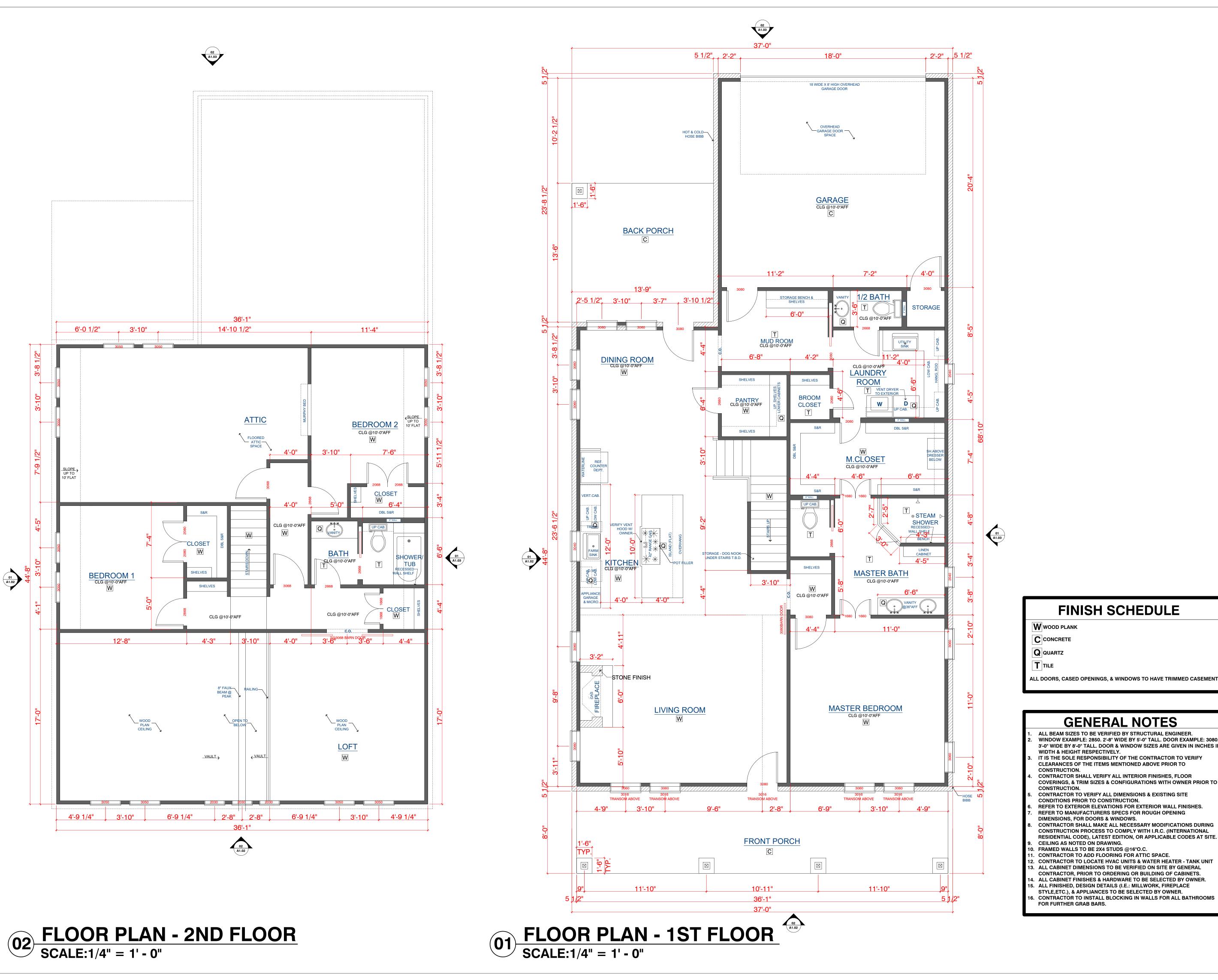
PROJECT/CLIENT:
MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:

SHEET TITLE:
ELEVATIONS

CASE #:

Z2020-002

SHEET NO.:



DRAWN BY: CHECKED BY: DATE: **ISSUED FOR PERMIT:** ISSUED FOR CONSTRUCTION: **REVISIONS:** 

**GENERAL NOTES** 

FINISH SCHEDULE

WINDOW EXAMPLE: 2850. 2'-8" WIDE BY 5'-0" TALL. DOOR EXAMPLE: 3080. 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES II WIDTH & HEIGHT RESPECTIVELY.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR **COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO** 

CONSTRUCTION. CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING

DIMENSIONS, FOR DOORS & WINDOWS. CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.

CEILING AS NOTED ON DRAWING. 10. FRAMED WALLS TO BE 2X4 STUDS @16"O.C.

 CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE. 12. CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT 13. ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL

14. ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER. 15. ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE,ETC.), & APPLIANCES TO BE SELECTED BY OWNER. 16. CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS

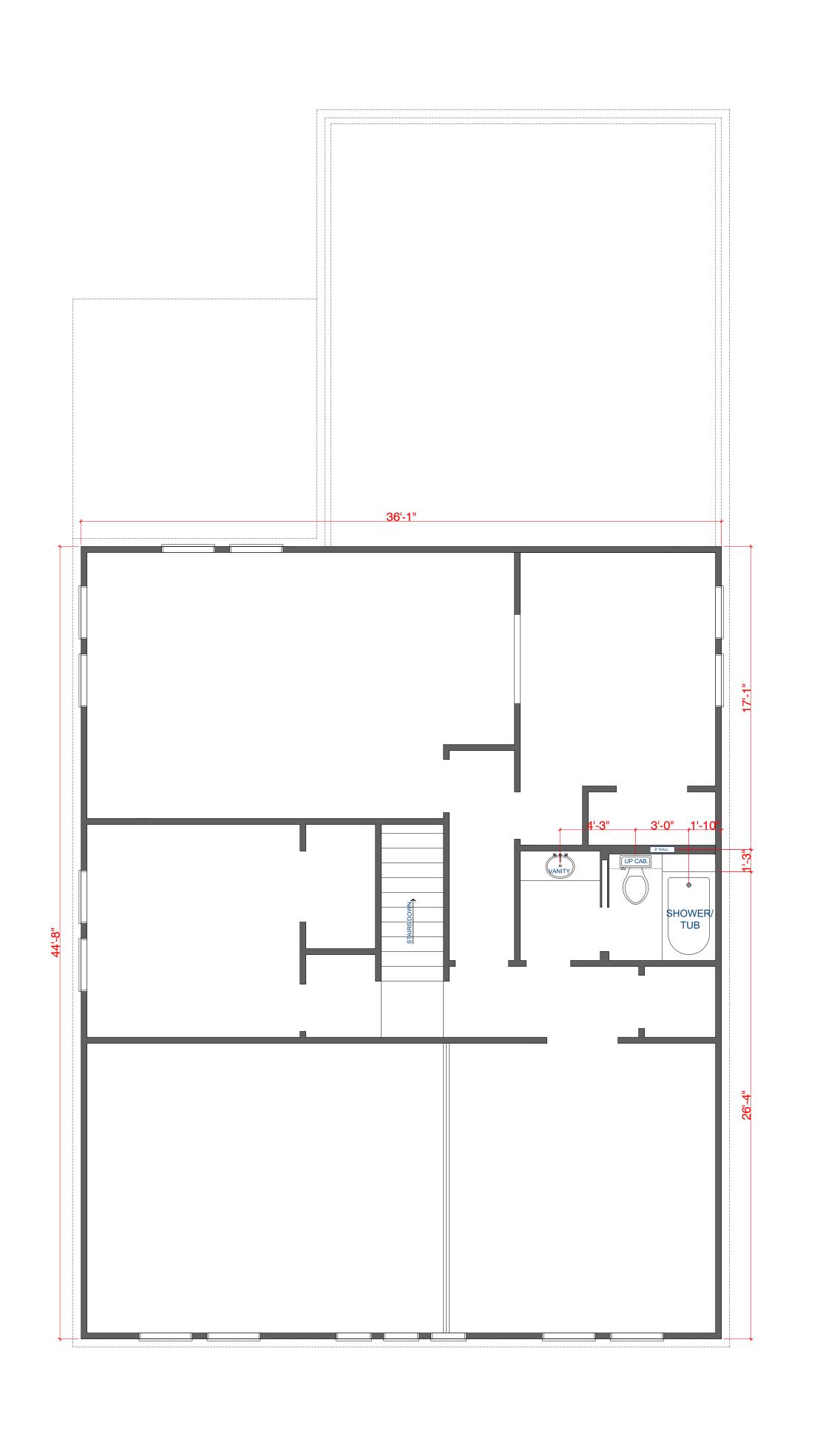
CASE #: Z2020-002 CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.

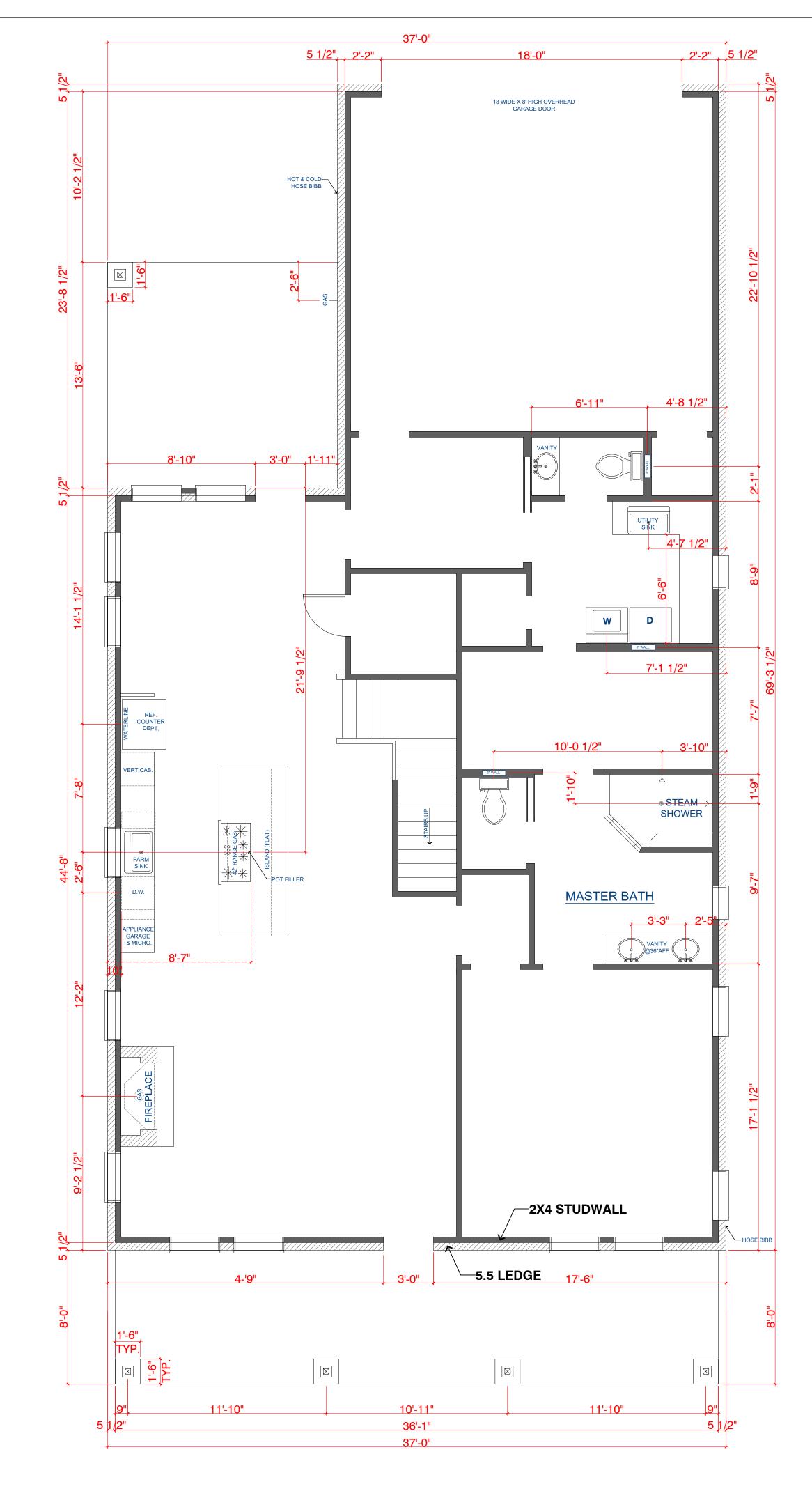
> SHEET TITLE: **FLOOR PLAN**

PROJECT/CLIENT:
MANDY HENRY

ROCKWALL

SHEET NO.: A - 1.04





**NOTES** 

ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS MANUFACTURES LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR

MANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.

FOUNDATION & PLUMBING - 2ND FLOOR
SCALE:1/4" = 1' - 0"

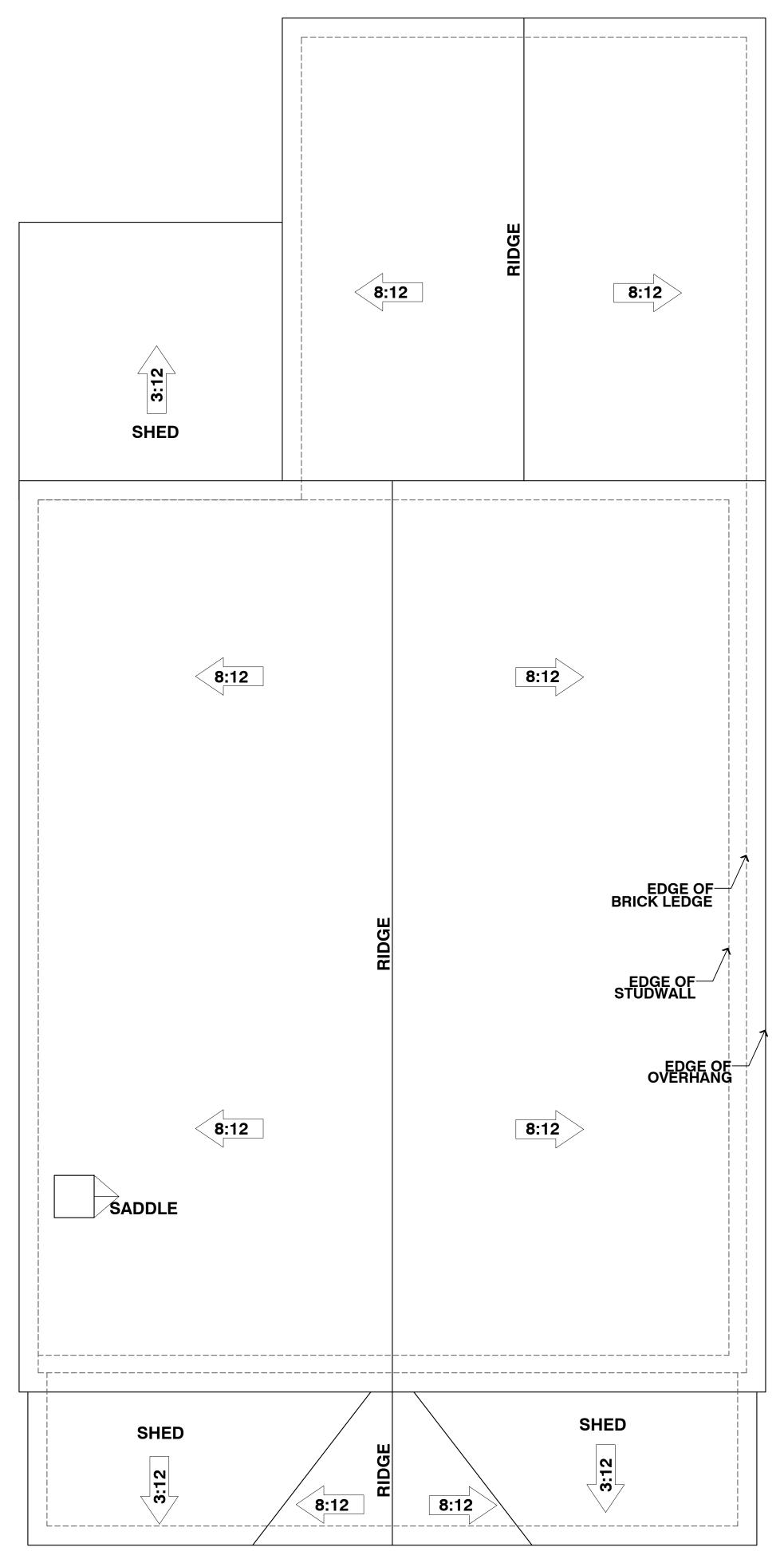
FOUNDATION & PLUMBING - 1ST FLOOR
SCALE:1/4" = 1' - 0"

CHECKED BY: ISSUED FOR PERMIT: ISSUED FOR CONSTRUCTION:

**REVISIONS:** 

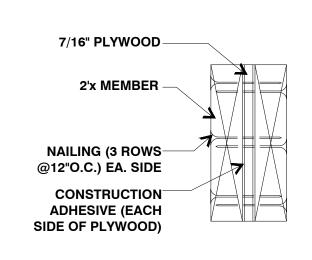
CASE #: Z2020-002

**FOUNDATION** & PLUMBING PLAN SHEET NO.:

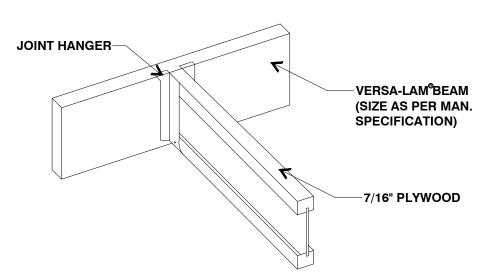


SEE ELEVATIONS FOR PLATE HEIGHTS.

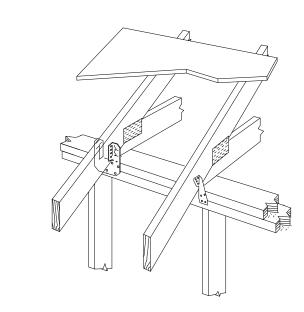






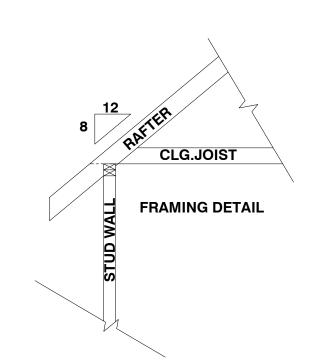


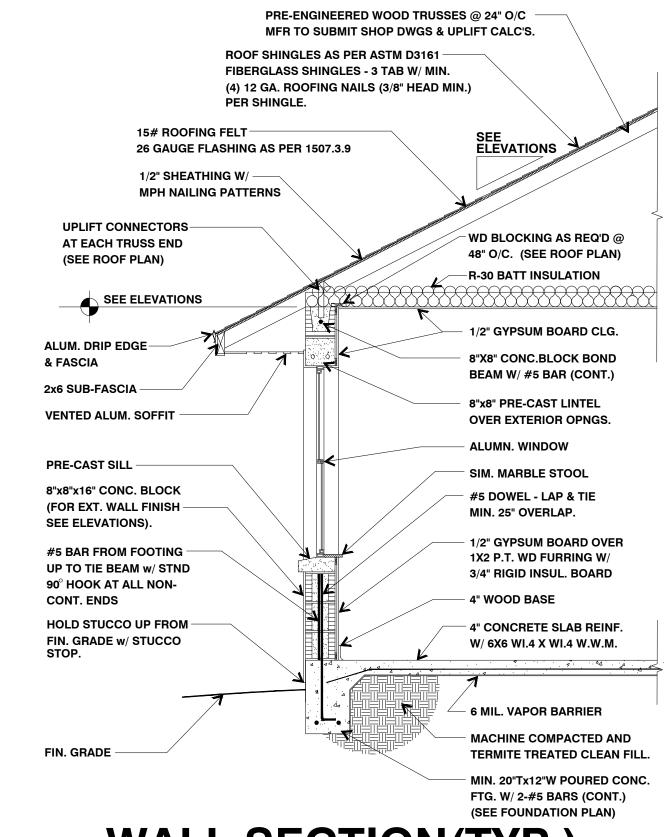




TRUSS & TOP PLATE

SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY





# WALL SECTION(TYP.) SCALE: N.T.S. SCHEMATIC-FOR GENERAL REFERENCE ONLY

## FRAMING NOTES

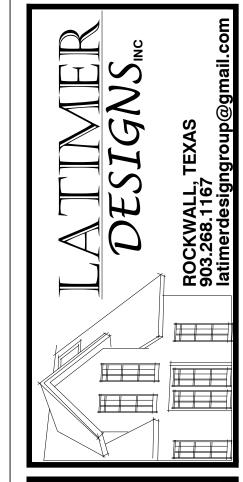
- @16"O.C, FRAMED ON THE INSIDE OF METAL COLUMNS.
- 2. CONTRACTOR TO PROVIDE 2"x BLOCKING BETWEEN ALL CEILING JOIST. 3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.

PSF (DEAD LOAD).

- 4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL & NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY
- 5. ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 SPF (LIVE LOAD). 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10
- 6. ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED **UNLESS NOTED OTHERWISE.**
- ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE 8. ALL BEAM SIZES &D LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL
- 9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED
- 10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO.
- 11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2. S.Y.P.
- 12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE. 13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA.,
- G.I., 24" WIDE MINIMUM. 14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL &
- NATIONAL CODES.

## **ROOF NOTES**

- ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
- PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING. 3. ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- 4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL &
- 5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL &
- 6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER.. 7. SEE ELEVATIONS FOR PLATE HEIGHT.



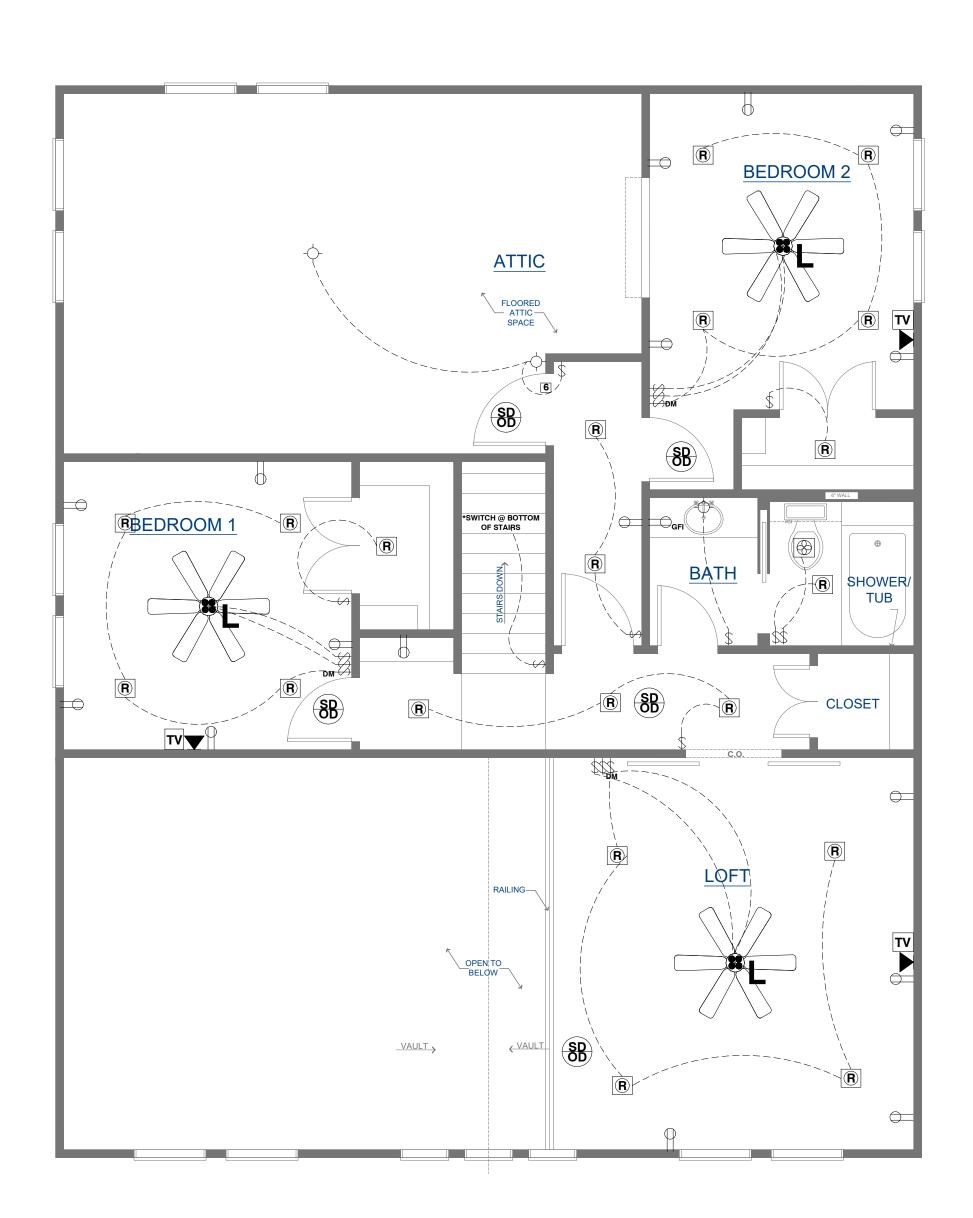
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DATE:
ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:
REVISIONS:

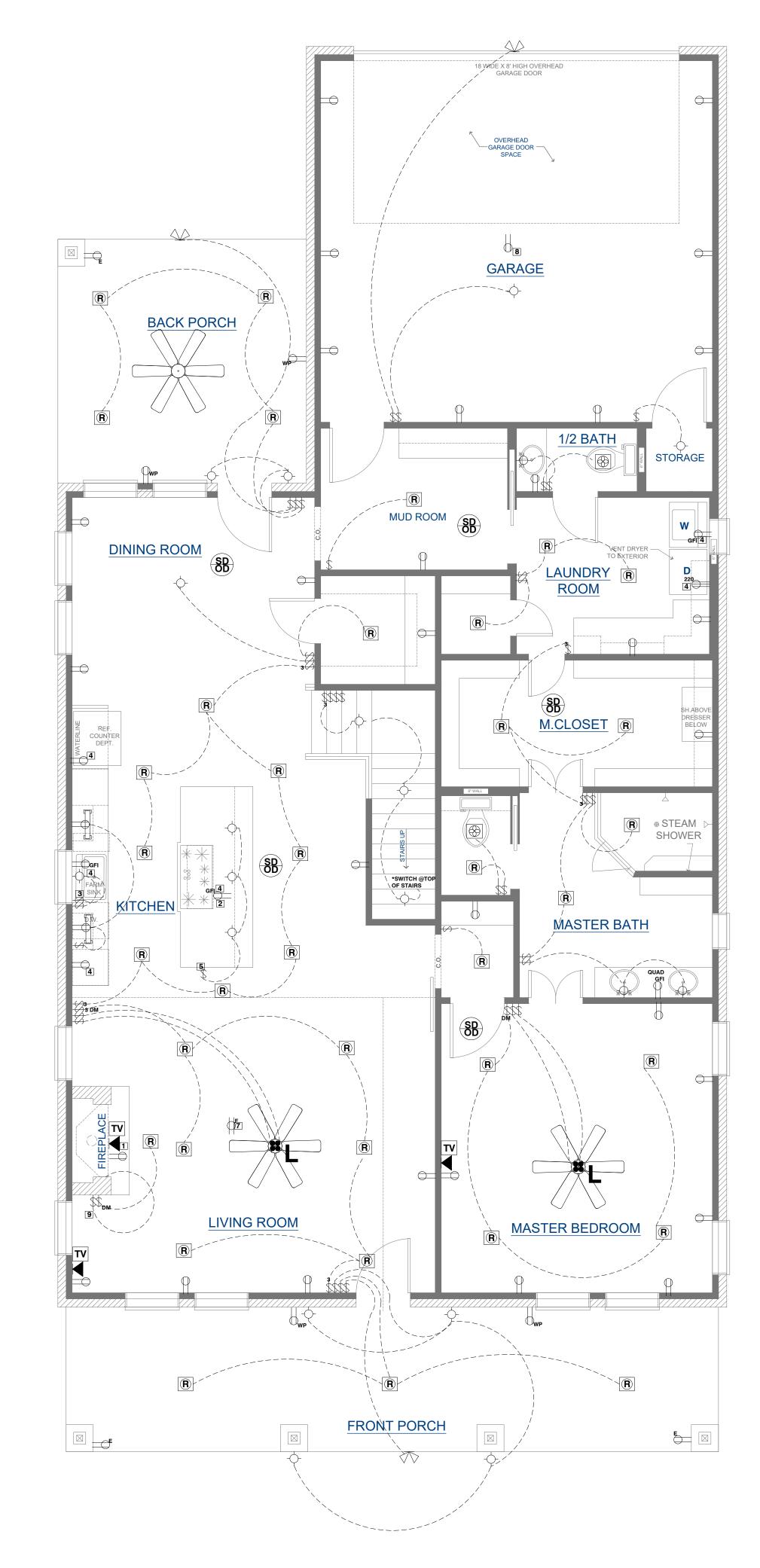
ROCKWALL AVE. CLIENT: HENRY **PARKS** 

CASE #: Z2020-002

SHEET TITLE: **ROOF PLAN** 

SHEET NO.:





## **ELECTRICAL LEGEND**

ELECTRICAL LEGEND		
ELECTRICAL	SYM.	
CABLE TV OUTLETS	TV	
TELEPHONE	<b>T</b>	
UNDER MOUNT LIGHTS		
DOUBLE SPOTLIGHT	₩	
LIGHT FIXTURE		
RECESSED CAN LIGHT (VERIFY LOCT.W/OWNER)	R	
ELECT.& MOUNT KIT FOR FUTURE FAN		
CEILING FAN W/LIGHT		
CEILING FAN W/OUT LIGHT	X	
EXHAUST FAN W/O LIGHT	₩	
WATERPROOF OUTLET	Ů WP	
EXTERIOR OUTLET@EAVE	□ <b>□</b> E	
110 VOLT OUTLET		
220 VOLT OUTLET	220	
GROUND FAULT PROTECTED OUTLET	GFI	
FLOOR OUTLET W/AV	$\phi_{F}$	
SWITCH	\$	
SWITCH - 3 WAY	\$3	
SWITCH - DIMMER	\$DM	
SMOKE & CO DETECTOR	SD	

## **KEYED NOTES**

- 1 OUTLET & TV AT MANTEL
- **OUTLET FOR DISPOSAL & DW UNDER SINK**
- **SWITCH FOR DISPOSAL**
- **OUTLET FOR APPLIANCES**
- **OUTLET/SWITCH HIGH ON ISLAND**
- 6 ATTIC LIGHT & SWITCH
- **FLOOR OUTLET**
- 8 OUTLET @ CEILING 9 FIREPLACE VENT FAN

## **ELECTRICAL NOTES**

- FLOOR BOXES TO HAVE 110 QUAD OUTLETS
   ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
   ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS &
- MAKE ANY NECESSARY ADJUSTMENTS
- 5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
- 6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY

- 8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
- 9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.
   10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.

DRAWN BY:	
CHECKED BY:	
DATE:	
ISSUED FOR PERM	IIT:
ISSUED FOR CONSTRUCTION:	
REVISIONS:	

CASE #: Z2020-002

SHEET TITLE: **ELECTRICAL PLAN** 

SHEET NO.: A - 1.07

ELECTRICAL PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"































February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Thank you,

Reese Baez

**Triton General Contractor** 

469-931-2267

#### CITY OF ROCKWALL

#### ORDINANCE NO. 20-XX

#### SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF APRIL, 2020.

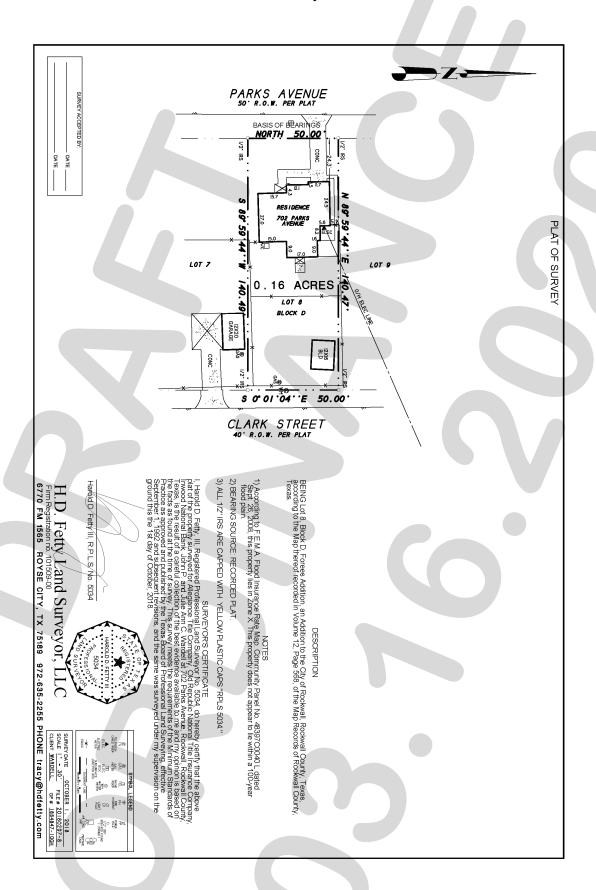
	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: *March* 16, 2020

2<sup>nd</sup> Reading: April 6, 2020

## Exhibit 'A': Survey

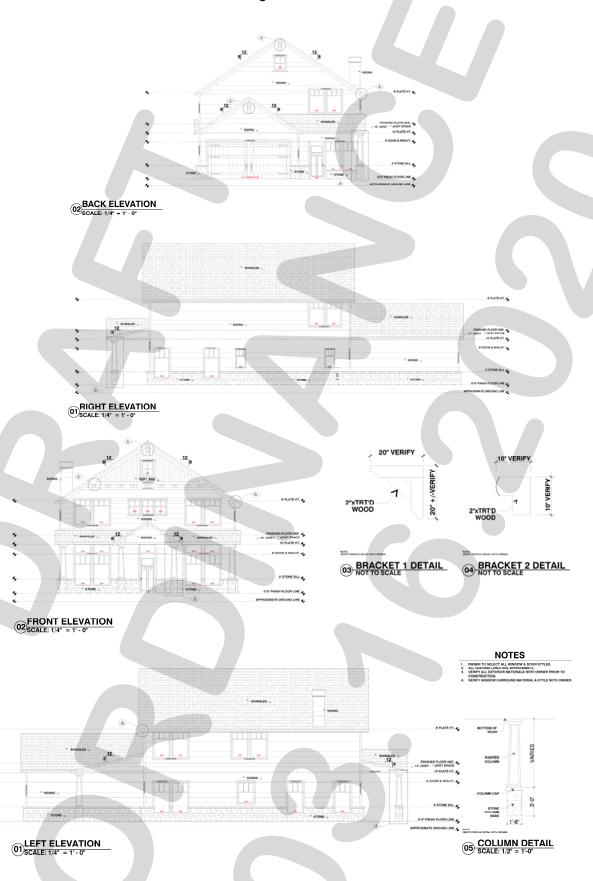


**Exhibit 'B':**Residential Plot Plan



SITE PLAN SCALE: 1/8" = 1' - 0"

## **Exhibit 'C':**Building Elevations





May 4, 2020

ATTN:

Reese Baez 1025 Goliad Street, #108 ROCKWALL, TX 75087

RE: SUP ZONING (Z2020-002), 702 Parks Avenue

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by City Council on 04/06/2020 via Ordinance No. 20-10 [SUP No. S-216]. The following is a record of all recommendations, voting records and conditions of approval:

#### CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to construct a single-family home as a Residential Infill within an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
- (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
- (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
- (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

#### PLANNING AND ZONING COMMISSION

On March 10, 2020, the Planning and Zoning Commission made a motion to recommend approval of the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion was approved by a vote of 3-2, with Commissioners Womble and Moeller against, and Commissioners Fishman and Logan absent.

CITY COUNCIL:



On March 16, 2020, the City Council made a motion to deny the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion to deny failed to be approved by a vote of 2-4, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself. A second motion to approve the SUP request was made and passed by a vote of 4-2, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself [1st Reading].

On April 6, 2020, the City Council made a motion to approve the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion to approve the SUP request passed by a vote of 4-2, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself [2nd Reading].

Please contact the City of Rockwall Planning staff at (972) 771-7745 with any questions or concerns regarding this matter.

Sincerely,

David Gonzales, AICP

Planning and Zoning Manager Planning & Zoning Department

City of Rockwall, TX