



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-002 P&Z DATE 02/25/20 CC DATE 03-16-20 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input checked="" type="checkbox"/>	HOA MAP
<input checked="" type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-002

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 702 PARKS AVE ROCKWALL, TX 75087

Subdivision Forees Addition Vol. 12 Pg 568 Lot 8 Block D

General Location Parks Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential SF-7

Current Use Residential

Proposed Zoning N/A

Proposed Use Residential

Acreage 0.16 Lots [Current] _____ Lots [Proposed] 0.16

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant Rose Baez

Contact Person

Contact Person 102 S. Goliad St #108

Address

Address ↓

City, State & Zip

City, State & Zip Rockwall TX 75087

Phone

Phone

E-Mail

E-Mail rbaez@tritongc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

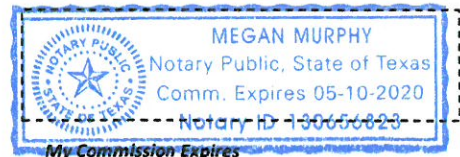
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY, 2020.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

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CITY ENGINEER:

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PROPERTY INFORMATION [PLEASE PRINT]

Address 702 PARKS AVE ROCKWALL, TX 75087
 Subdivision FOREES ADDITION Vol. 12 Pg 568 Lot 8 Block D
 General Location PARKS AVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL SF-7 Current Use RESIDENTIAL
 Proposed Zoning N/A Proposed Use RESIDENTIAL
 Acreage 0.16 Lots [Current] _____ Lots [Proposed] 0.16

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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>Amanda Henry</u>	<input checked="" type="checkbox"/> Applicant <u>Rose Baez</u>
Contact Person <u>Amanda Henry</u>	Contact Person <u>1025 Goliad St #108</u>
Address _____	Address <u>↓</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Rockwall TX 75087</u>
Phone <u>972 894 1539</u>	Phone _____
E-Mail <u>mhenrytx@me.com</u>	E-Mail <u>rbaez@tritongc.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of FEBRUARY, 2020.

Owner's Signature [Signature]

Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION





February 13, 2020

**City of Rockwall
Planning & Zoning Department
385 S. Goliad St.
Rockwall, TX 75087**

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to be "Reese Baez", written over a horizontal line.

**Reese Baez
Triton General Contractor
469-931-2267**



DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

N/A

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ONE (1) PDF COPY OF THE PLAT
 - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

N/A

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
 - SITE PLAN.
 - LANDSCAPE PLAN.
 - TREESCAPE PLAN.
 - PHOTOMETRIC PLAN.
 - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 2/14/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 02/20/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 2/20/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 2/25/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2020-002
Project Name: 702 Parks Avenue
Project Type: ZONING
Applicant Name: Reese Baez
Owner Name: [OWNER]
Project Description:



RECEIPT

Project Number: Z2020-002
Job Address: 702 PARKS AVE
ROCKWALL, TX 75087

Receipt Number: B88312

Printed: 2/21/2020 3:38 pm

Fee Description	Account Number	Fee Amount
ZONING	01-4280	\$215.00

Total Fees Paid:

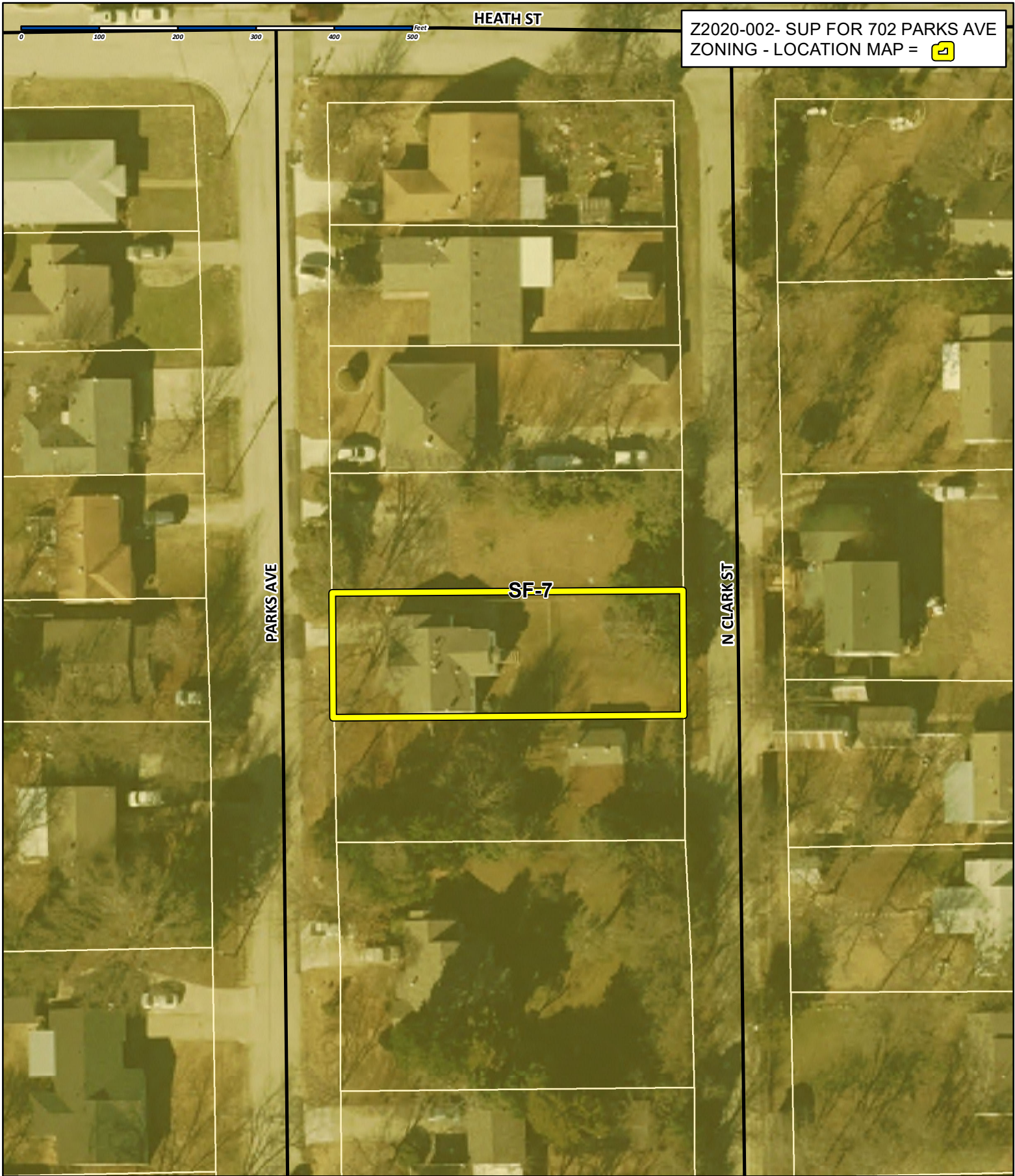
\$215.00

Date Paid: 2/21/2020 12:00:00AM

Paid By: Reese Baez

Pay Method: CHECK 8291

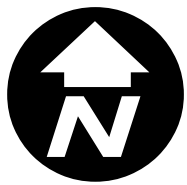
Received By: AG



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

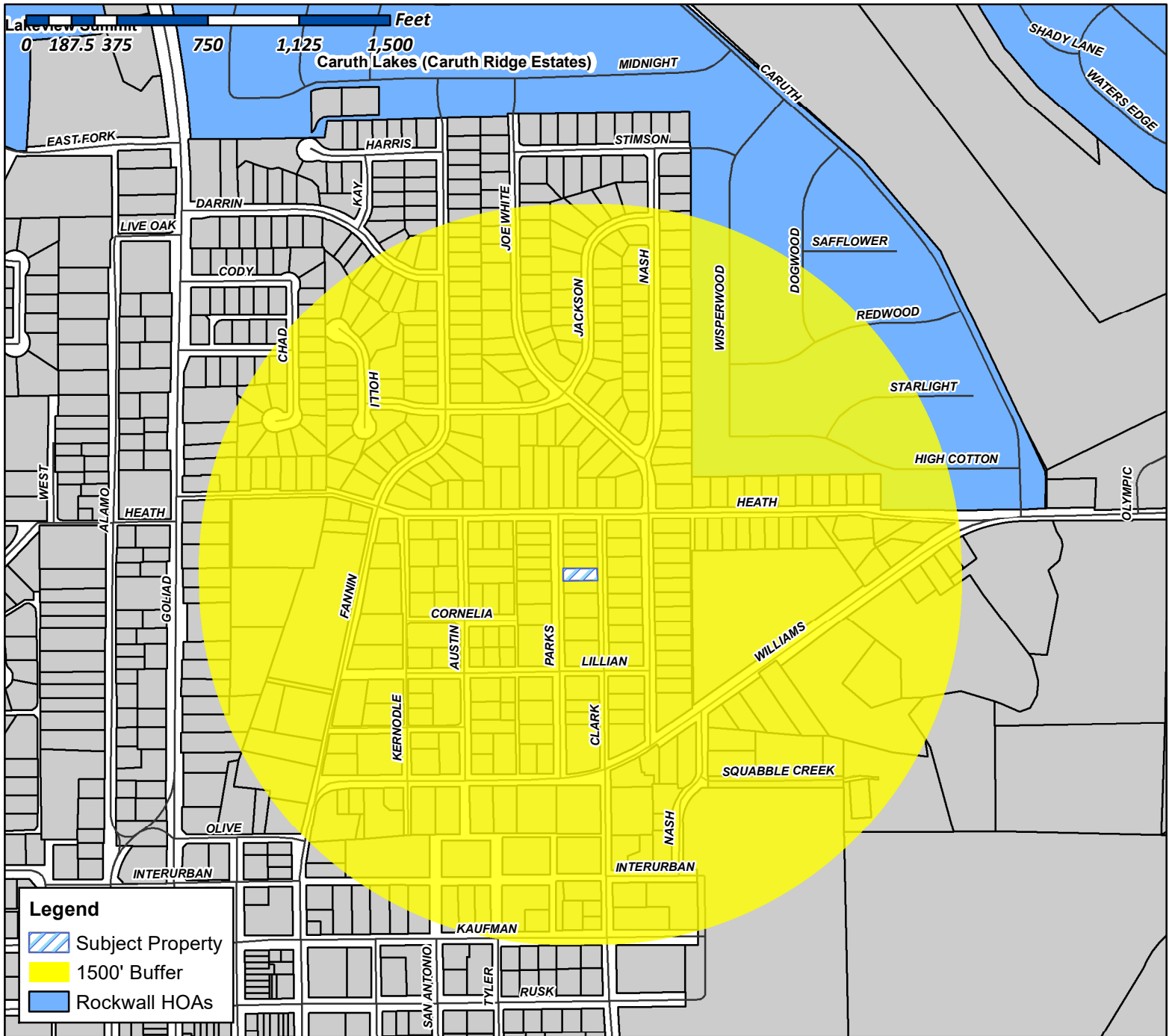




City of Rockwall

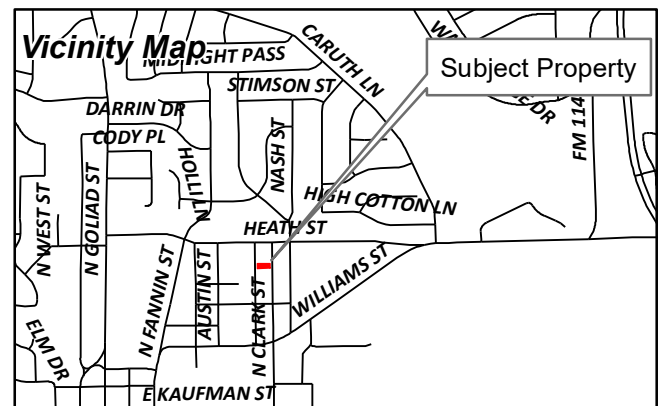
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.

Date Created: 2/19/2020
For Questions on this Case Call (972) 771-7745

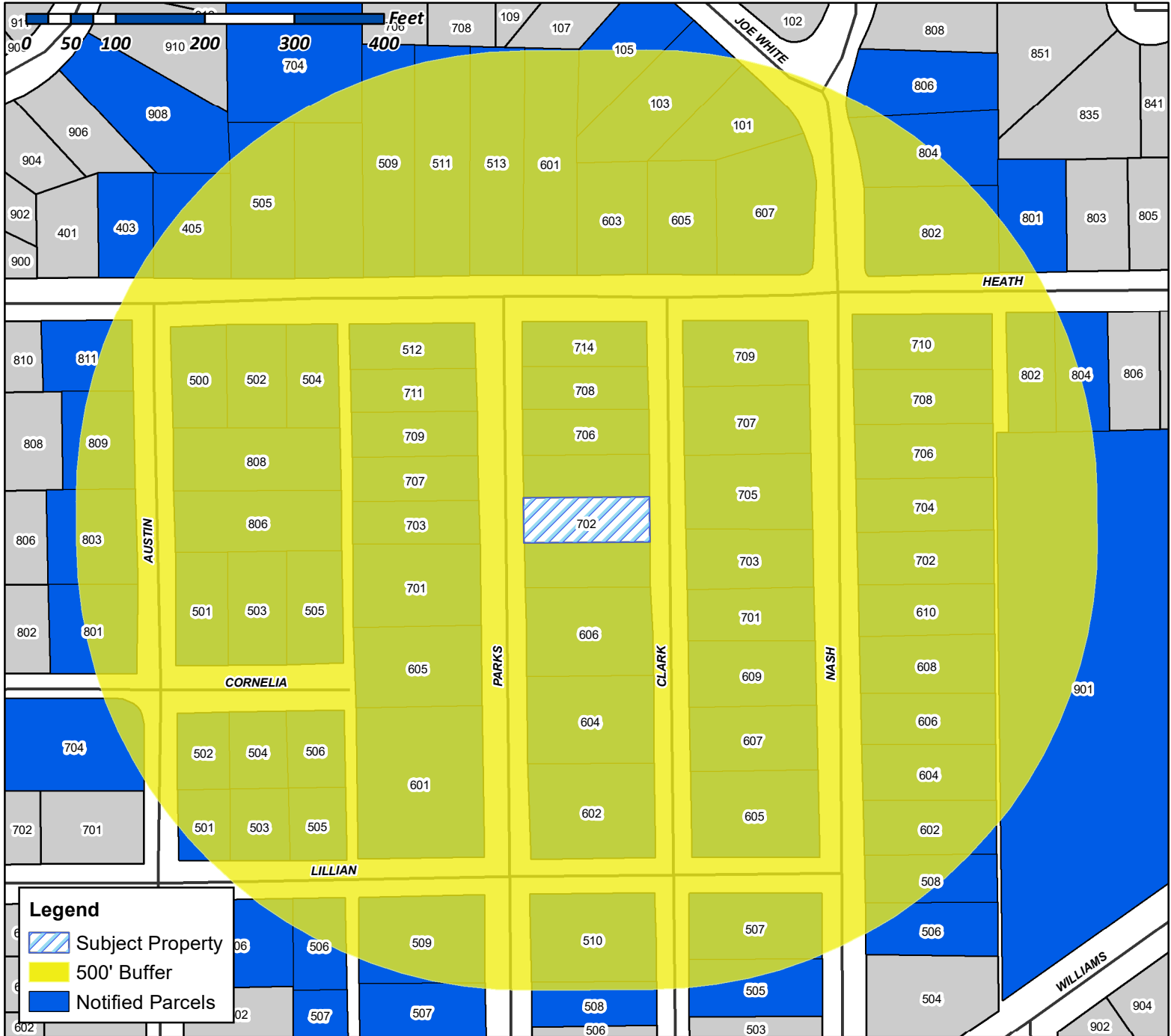




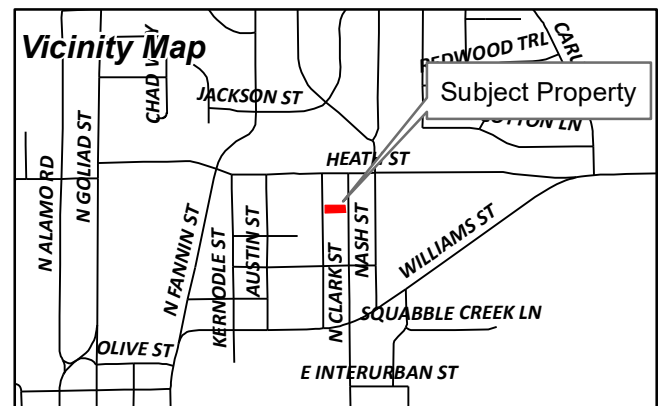
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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave.
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745



February 13, 2020

City of Rockwall
Planning & Zoning Department
385 S. Goliad St.
Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to read "Reese Baez", is written over a horizontal line.

Reese Baez
Triton General Contractor
469-931-2267

Henry House Plans

702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

COPYRIGHT © 2018 by LATIMER DESIGNS, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS, INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
 - FOUNDATION DESIGN
- CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVICE PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

DRAWING/SHEET INDEX

A - 1.01	COVER SHEET
A - 1.02	FRONT & LEFT ELEVATION
A - 1.03	BACK & RIGHT ELEVATION
A - 1.04	FLOOR PLAN
A - 1.05	FOUNDATION/PLUMBING PLAN
A - 1.06	ROOF PLAN
A - 1.07	ELECTRICAL PLAN

SQUARE FOOTAGE

LIVING SPACE	2660
GARAGE	500
FRONT PORCH	290
BACK PORCH	186

GENERAL NOTES

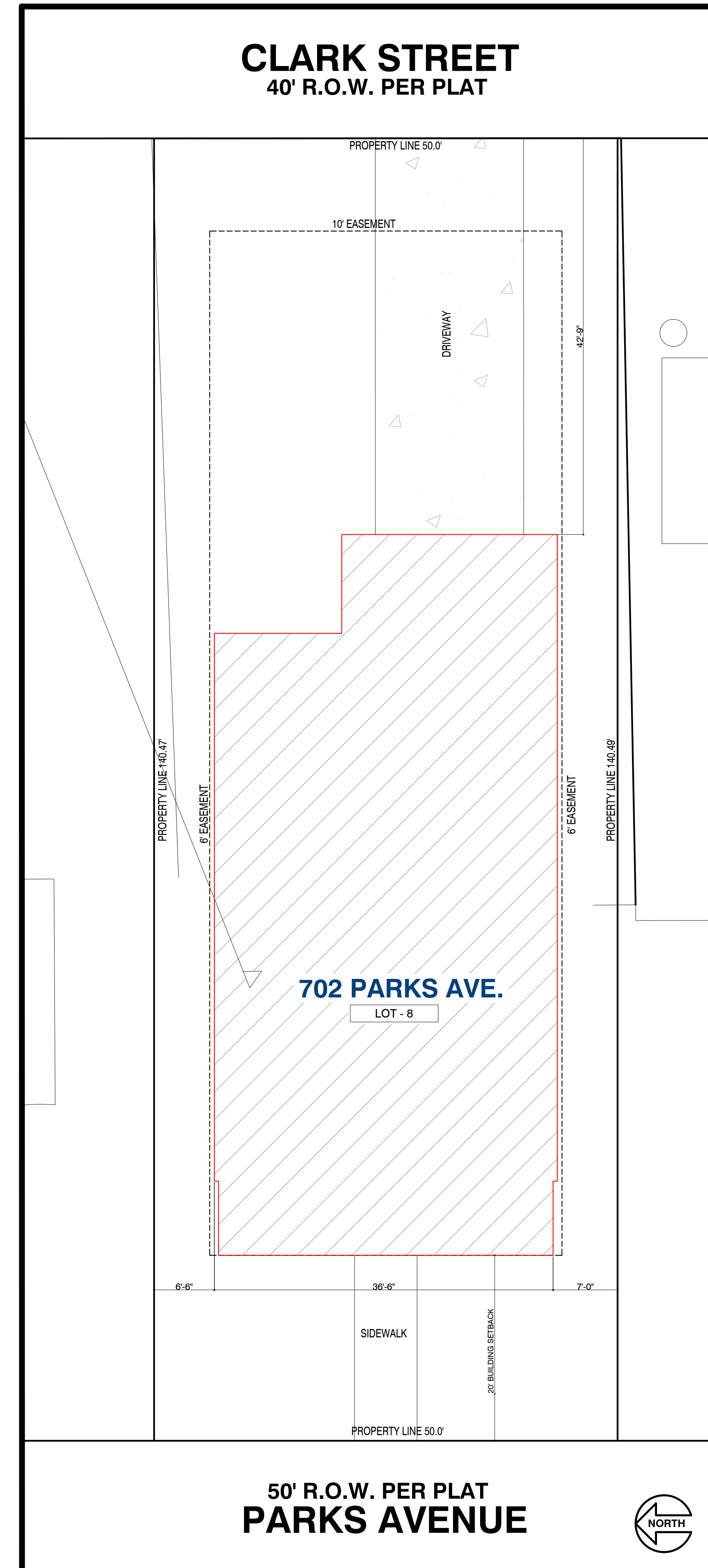
- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPECS ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
- ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPECS. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL CARPENTRY WORK SHALL BE ERRECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER. REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER.
- PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPECS. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

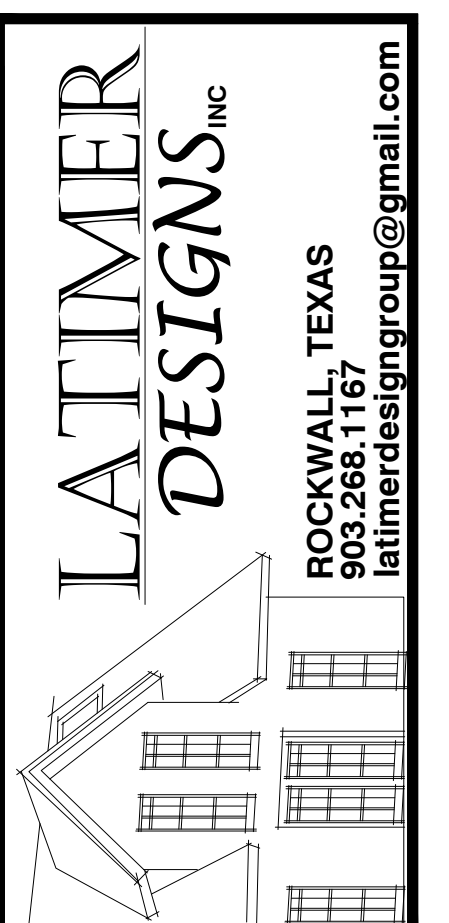
AB	ANCHOR BOLT	H	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	ABOVE FINISH FLOOR	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	OC	ON CENTER
CAB	CABINET	PT	PRESSURE TREATED
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	WOOD

PROPERTY DESCRIPTION

LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8
NEIGHBORHOOD	N3600-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R



SITE PLAN
SCALE: 1/8" = 1' - 0"



DRAWN BY:	
CHECKED BY:	
DATE:	
ISSUED FOR PERMIT:	
ISSUED FOR CONSTRUCTION:	
REVISIONS:	
11.17.2019:	KITCHEN - FLIP SINK & RANGE. ADDED WINDOW
12.04.2019:	LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

PROJECT/CLIENT:	MANDY HENRY
LOCATION:	702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:	06.06.2019

HOUSE PLANS

SHEET TITLE:
COVER SHEET

SHEET NO.:
A - 1.01

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

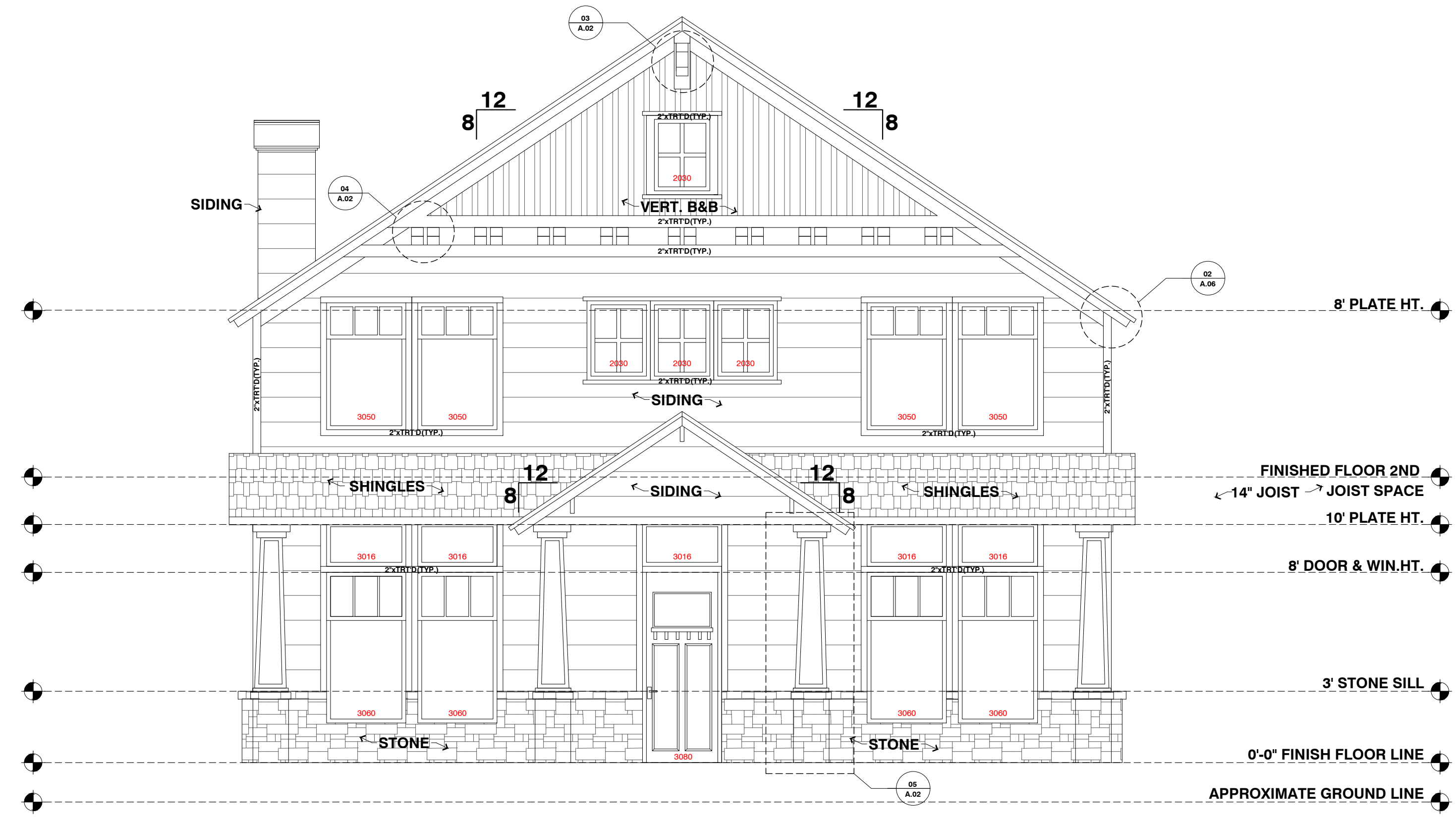
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

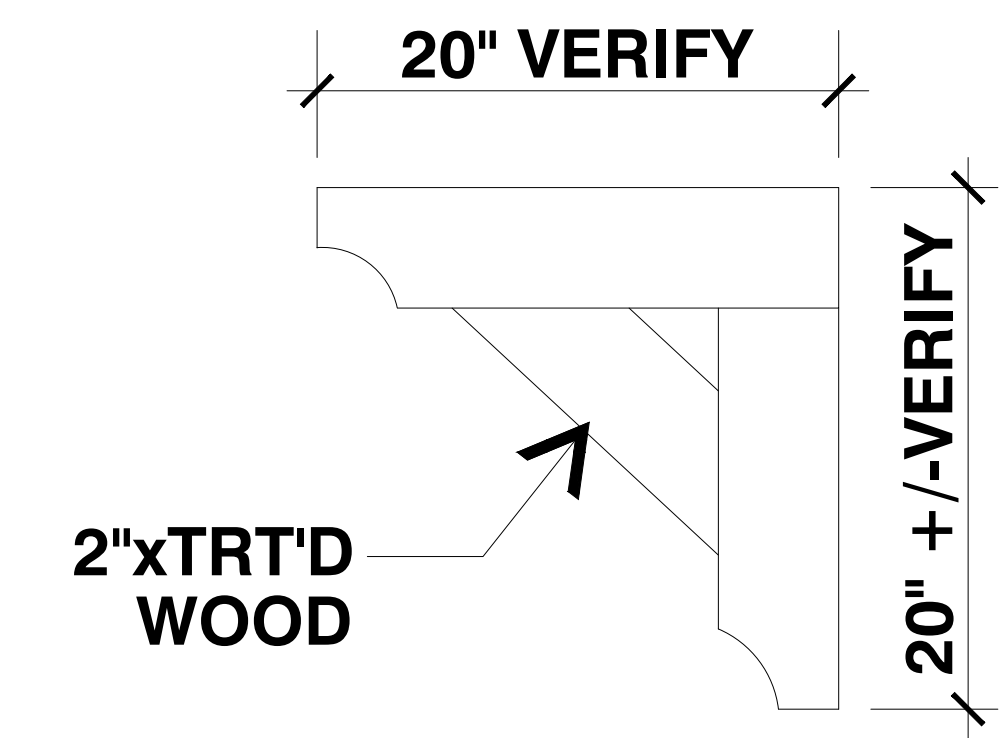
HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.02

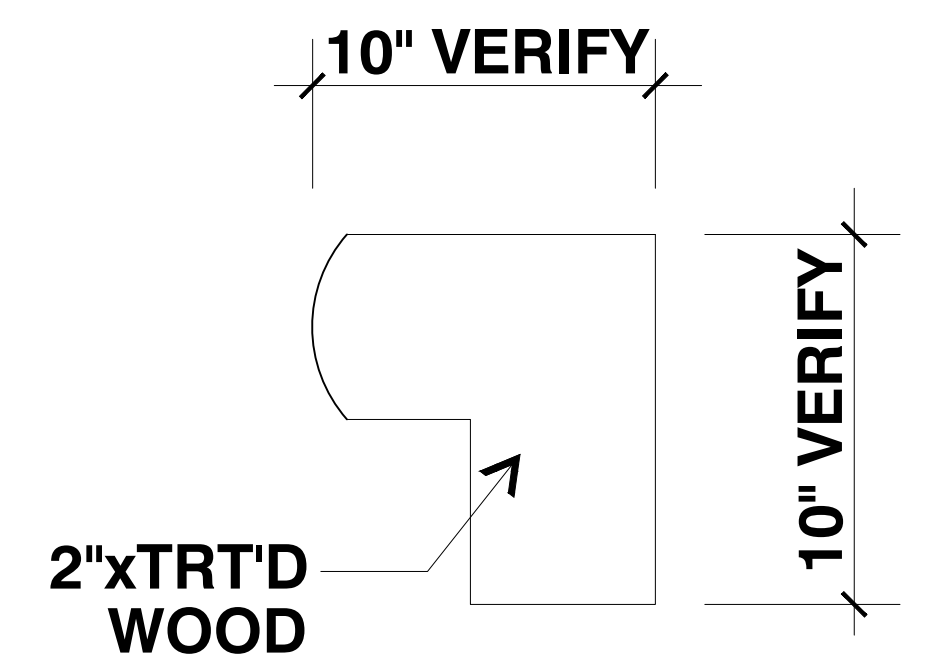


02 FRONT ELEVATION
 SCALE: 1/4" = 1' - 0"



NOTE:
 VERIFY PROFILE DETAIL WITH OWNER.

03 BRACKET 1 DETAIL
 NOT TO SCALE

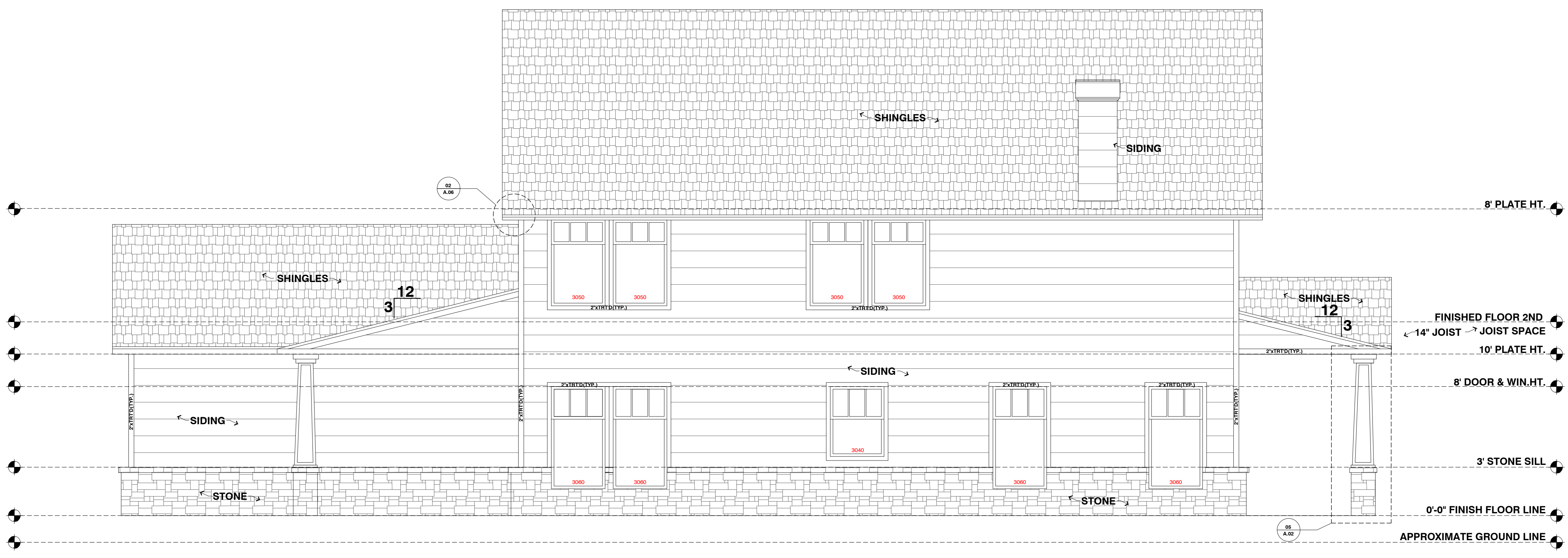


NOTE:
 VERIFY PROFILE DETAIL WITH OWNER.

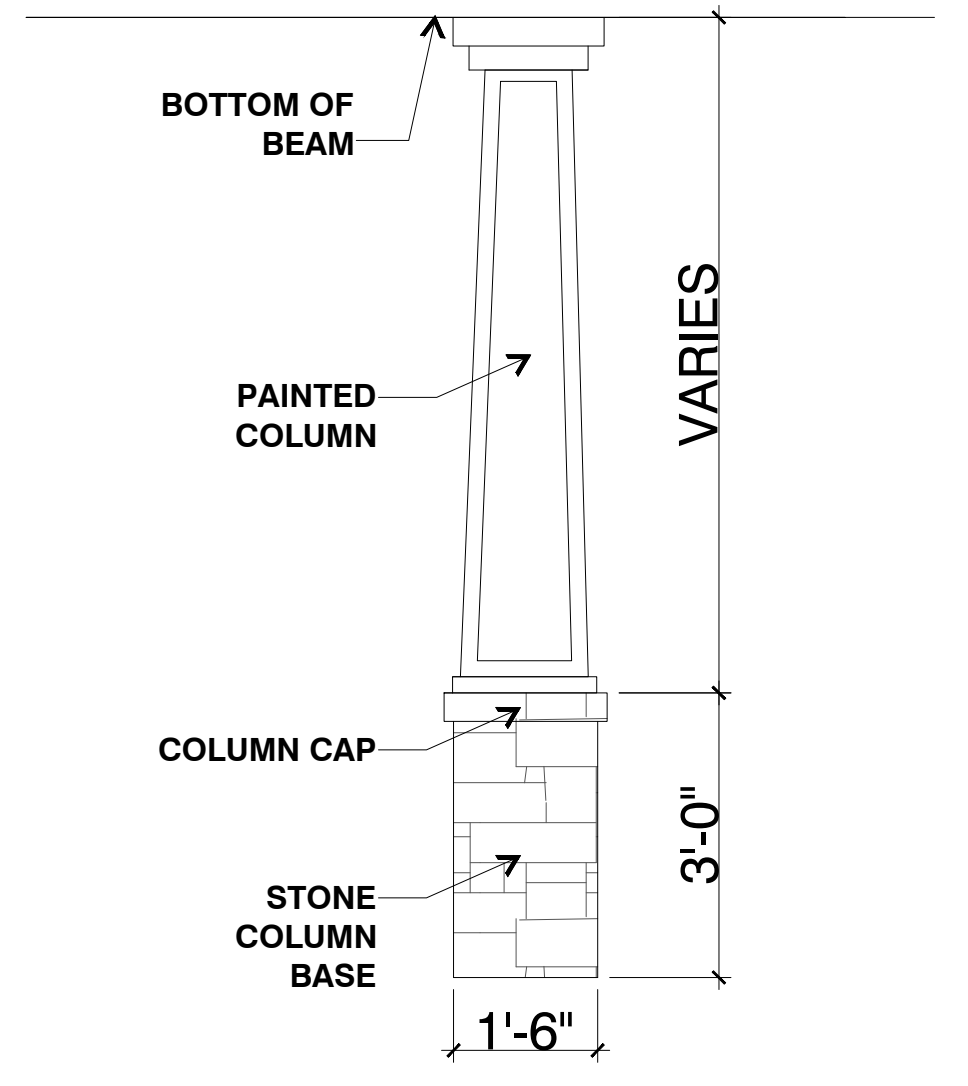
04 BRACKET 2 DETAIL
 NOT TO SCALE

NOTES

- OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- ALL GROUND LINES ARE APPROXIMATE.
- VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
- VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.

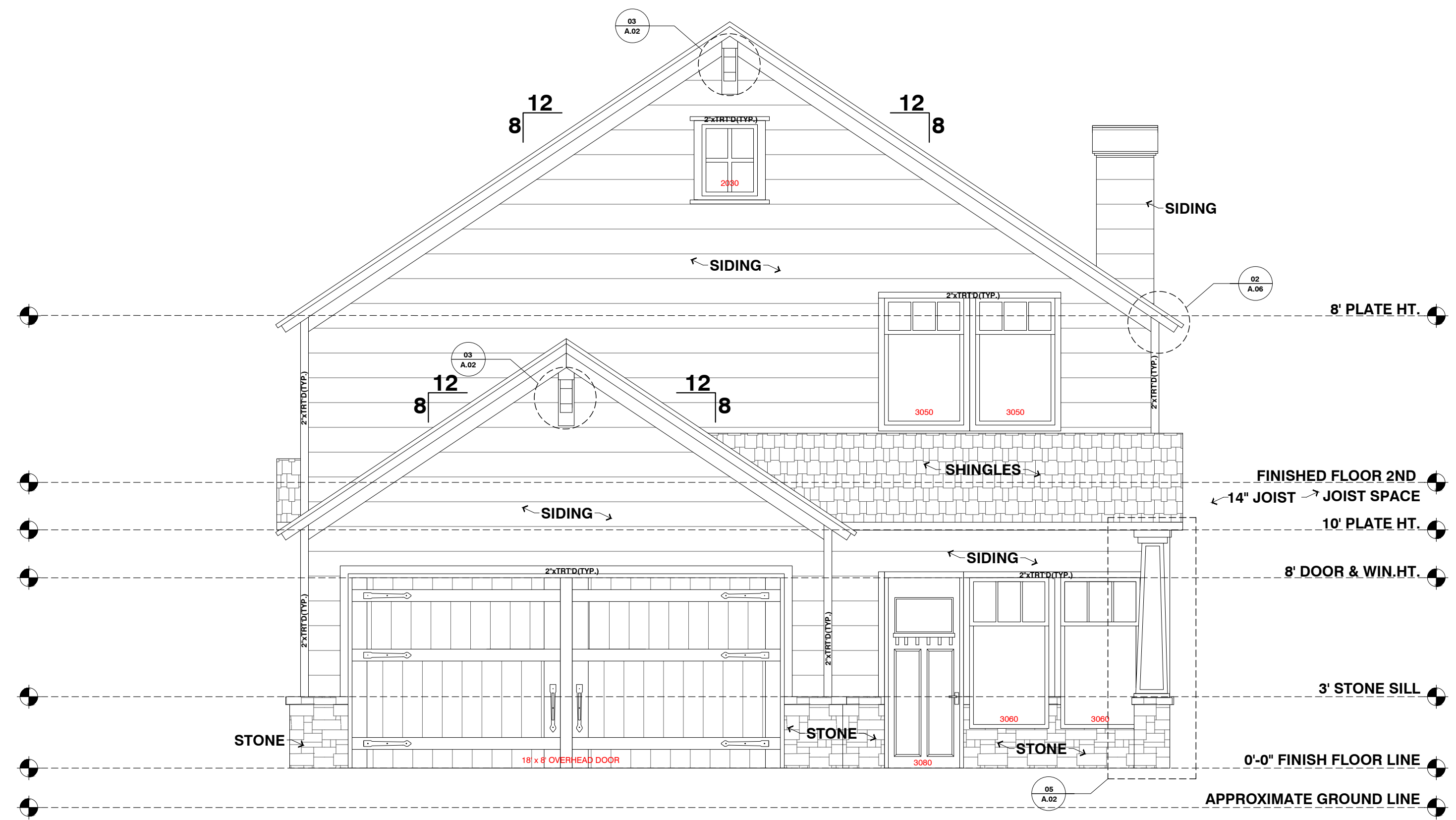


01 LEFT ELEVATION
 SCALE: 1/4" = 1' - 0"

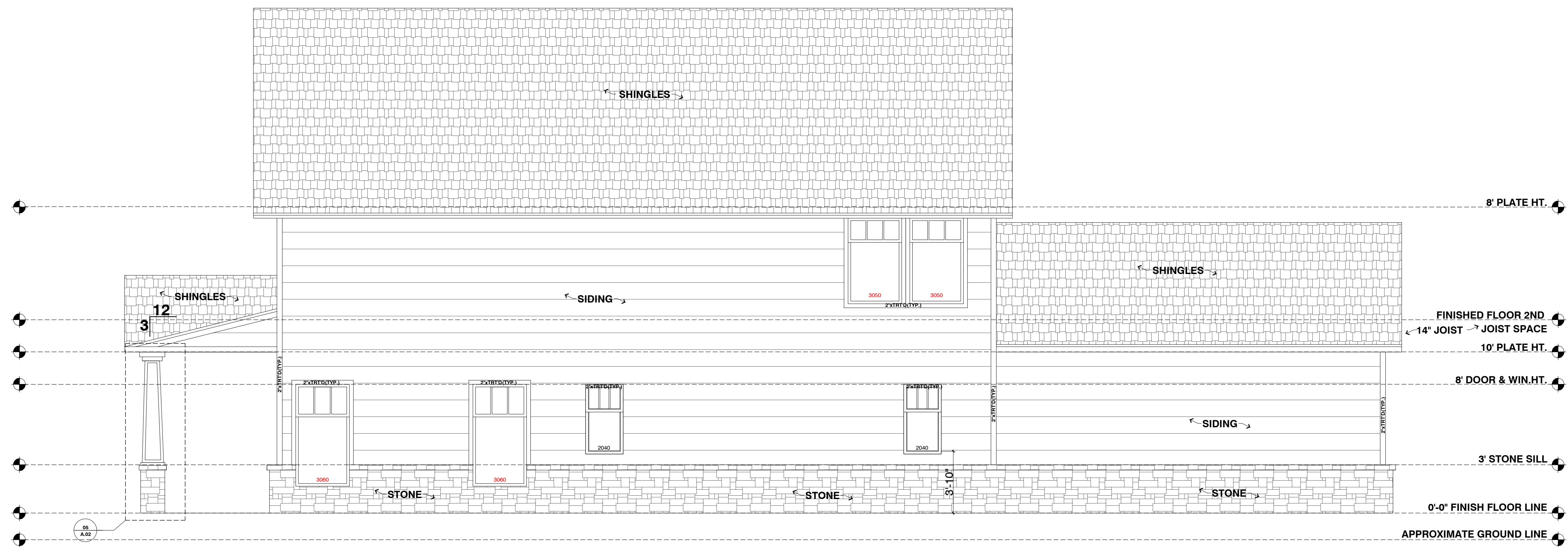


NOTE:
 VERIFY PROFILE DETAIL WITH OWNER.

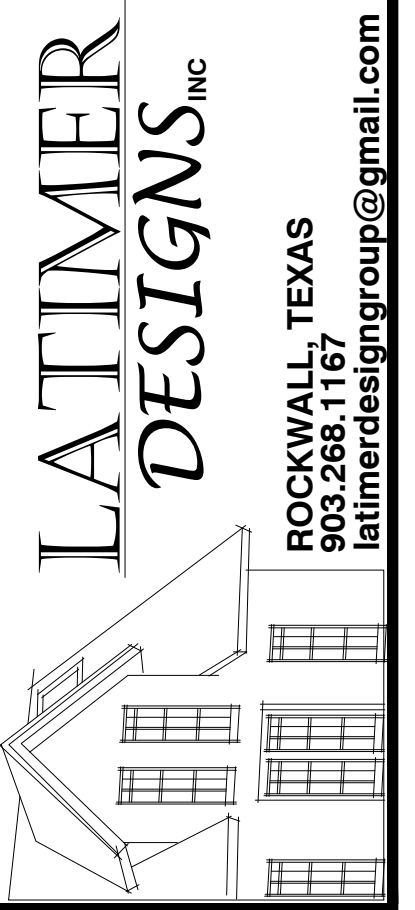
05 COLUMN DETAIL
 SCALE: 1/2" = 1'-0"



02 BACK ELEVATION
SCALE: 1/4" = 1' - 0"



01 RIGHT ELEVATION
SCALE: 1/4" = 1' - 0"



DRAWN BY:	
CHECKED BY:	
DATE:	
ISSUED FOR PERMIT:	
ISSUED FOR CONSTRUCTION:	
REVISIONS:	

PROJECT/CLIENT:	MANDY HENRY
LOCATION:	702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:	06.06.2019

HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.03

City of Rockwall Project Plan Review History



Project Number Z2020-002	Owner	Applied 2/14/2020 AG
Project Name 702 Parks Avenue	Applicant Reese Baez	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status P&Z HEARING		Status 2/21/2020 DG

Site Address	City, State Zip	Zoning
702 PARKS AVE	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
FOREE	7,8,9	D	7,8,9	3710-000D-0008-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/14/2020	2/21/2020	2/19/2020	5	APPROVED	
ENGINEERING	Sarah Johnston	2/14/2020	2/21/2020	2/21/2020	7	APPROVED	See Comments
(2/21/2020 11:11 AM SJ) I - Will need engineered culvert design for driveway. Minimum size is 18" RCP pipe. Will need the drainage area map, culvert sizing calculations, and plan and profile sheet. I - Driveway is required to be concrete. I - What is the 6' easement on the side of the property? I believe this is supposed a side setback.							
FIRE	Ariana Hargrove	2/14/2020	2/21/2020	2/19/2020	5	APPROVED	
PLANNING	David Gonzales	2/14/2020	2/21/2020	2/20/2020	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(2/20/2020 8:24 PM DG)						Z2020-002; SUP for Residential Infill in Established Subdivision– 702 Parks Avenue Please address the following comments (M= Mandatory Comments; I = Informational Comments)
I.1						This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.
I.2						For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.
M.3						For reference, include the case number (Z2020-002) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
I.4						This project is subject to all requirements stipulated by the Unified Development Code(UDC), and the Development Standards of Article IV & Article V that are applicable to the subject property.
M.5						Please review the draft ordinance when received by staff and provide comments to staff by March3, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting(i.e. Public Hearing) to be held on March 10, 2020.
M.6						Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a boat sales, storage and repair facility on the Subject Property, and conformance to these operational conditions is required for continued operations
1)						The subject property shall generally conform to the Plot Plan as depicted in Exhibit 'B' of the draft ordinance; and,
2)						The subject property shall generally conform to the Building Elevations as depicted in Exhibit 'C' of the draft ordinance.
3)						Upon obtaining a building permit for the subject property and upon approval of the final inspection by the Building Inspections Department of the City of Rockwall, this Specific Use Permit shall expire on the effective date of said final inspection
I.7						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 3, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 10, 2020 Planning & Zoning Meeting.
I.8						Please note the scheduled meetings for this case:
1)						Planning & Zoning Work Session meeting will be held on February 25, 2020.
2)						Planning & Zoning Public Hearing meeting will be held on March 10, 2020.
3)						City Council Public Hearing will be held on March 16, 2020. (1st Reading of Ordinance)
4)						City Council meeting will be held on April 6, 2020. (2nd Reading of Ordinance)
I.9						Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers. These meetings are scheduled to begin at 6:00 p.m.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-002

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 702 PARKS AVE ROCKWALL, TX 75087
 Subdivision Forees Addition Vol. 12 Pg 568 Lot 8 Block D
 General Location Parks Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential SF-7 Current Use Residential
 Proposed Zoning N/A Proposed Use Residential
 Acreage 0.16 Lots [Current] _____ Lots [Proposed] 0.16

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Applicant Rose Baez
 Contact Person _____ Contact Person 102 S. Goliad St #108
 Address _____ Address ↓
 City, State & Zip _____ City, State & Zip Rockwall TX 75087
 Phone _____ Phone _____
 E-Mail _____ E-Mail rbaez@tritongc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

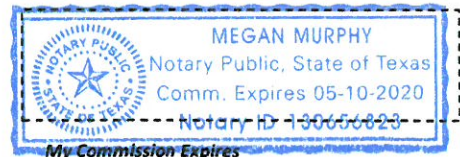
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

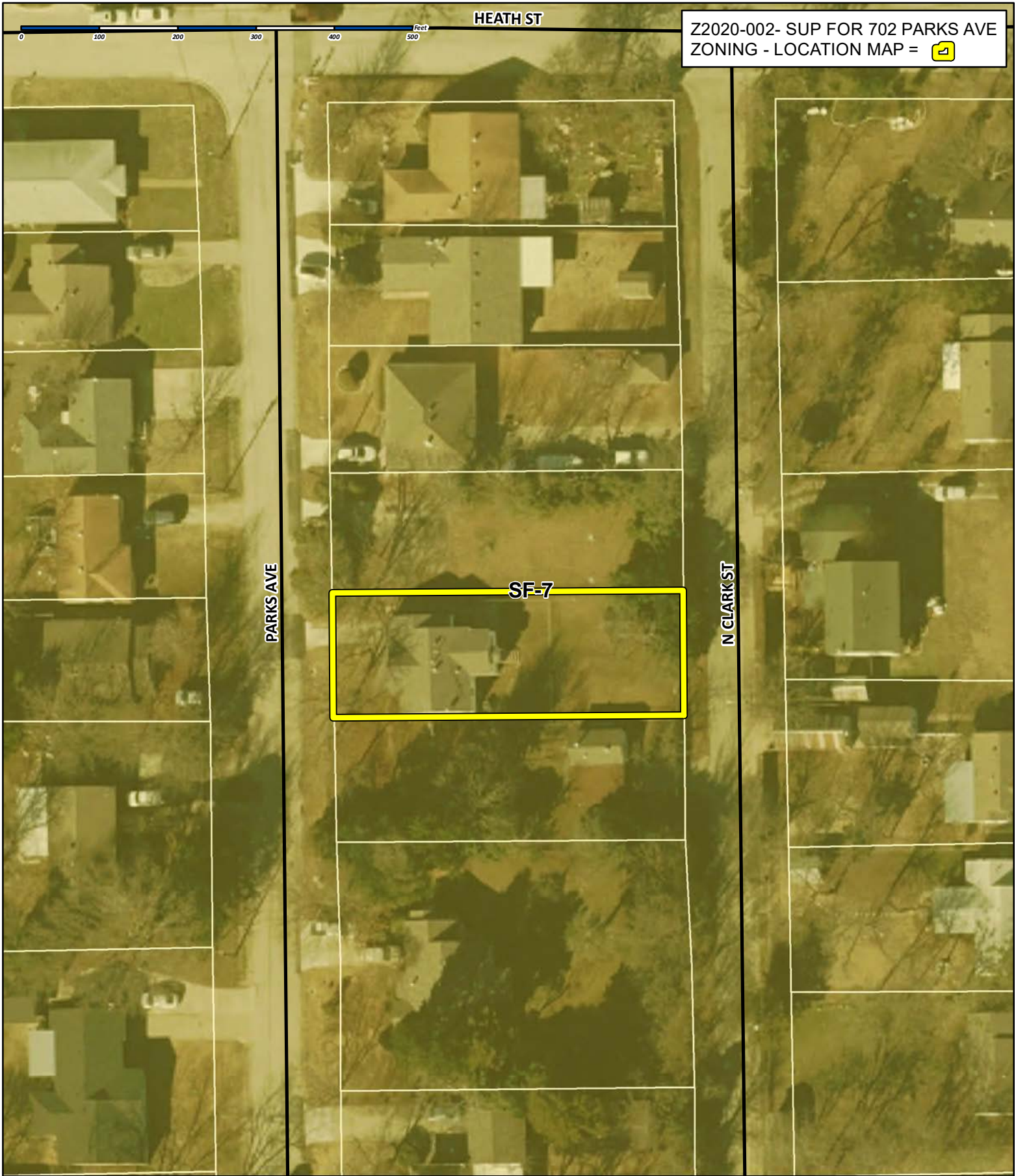
Given under my hand and seal of office on this the 11 day of FEBRUARY, 2020.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]

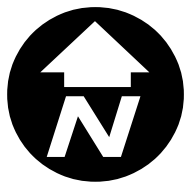




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

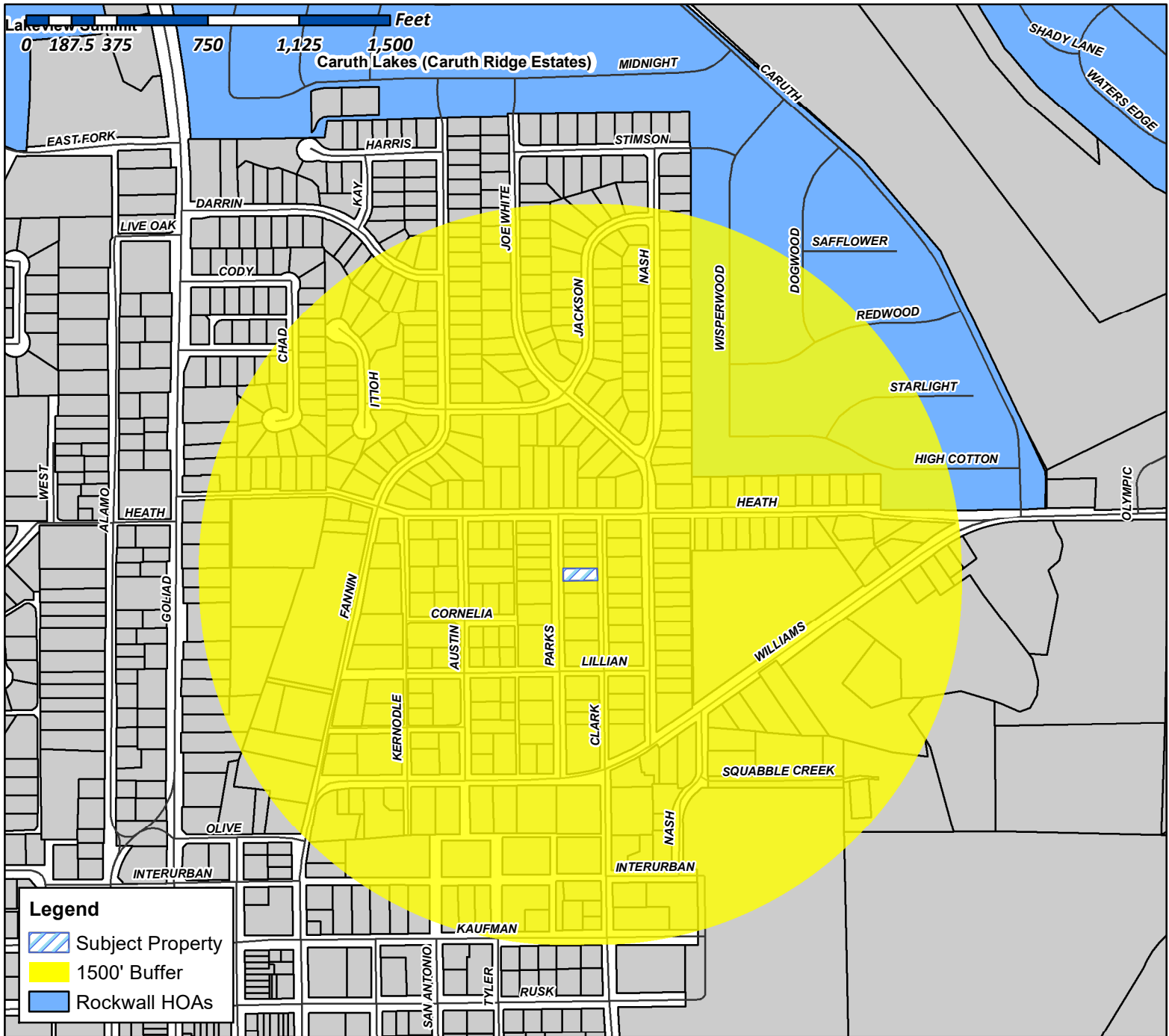




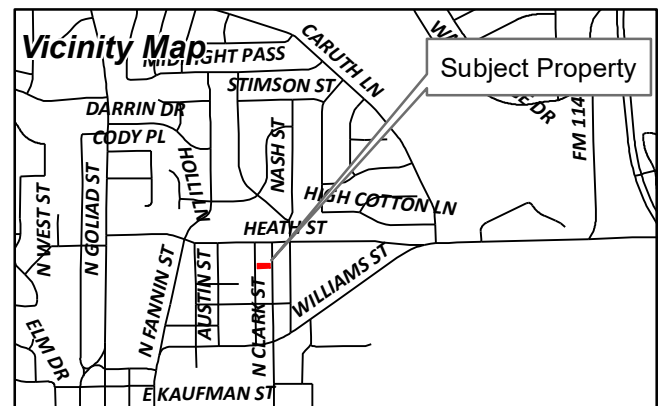
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



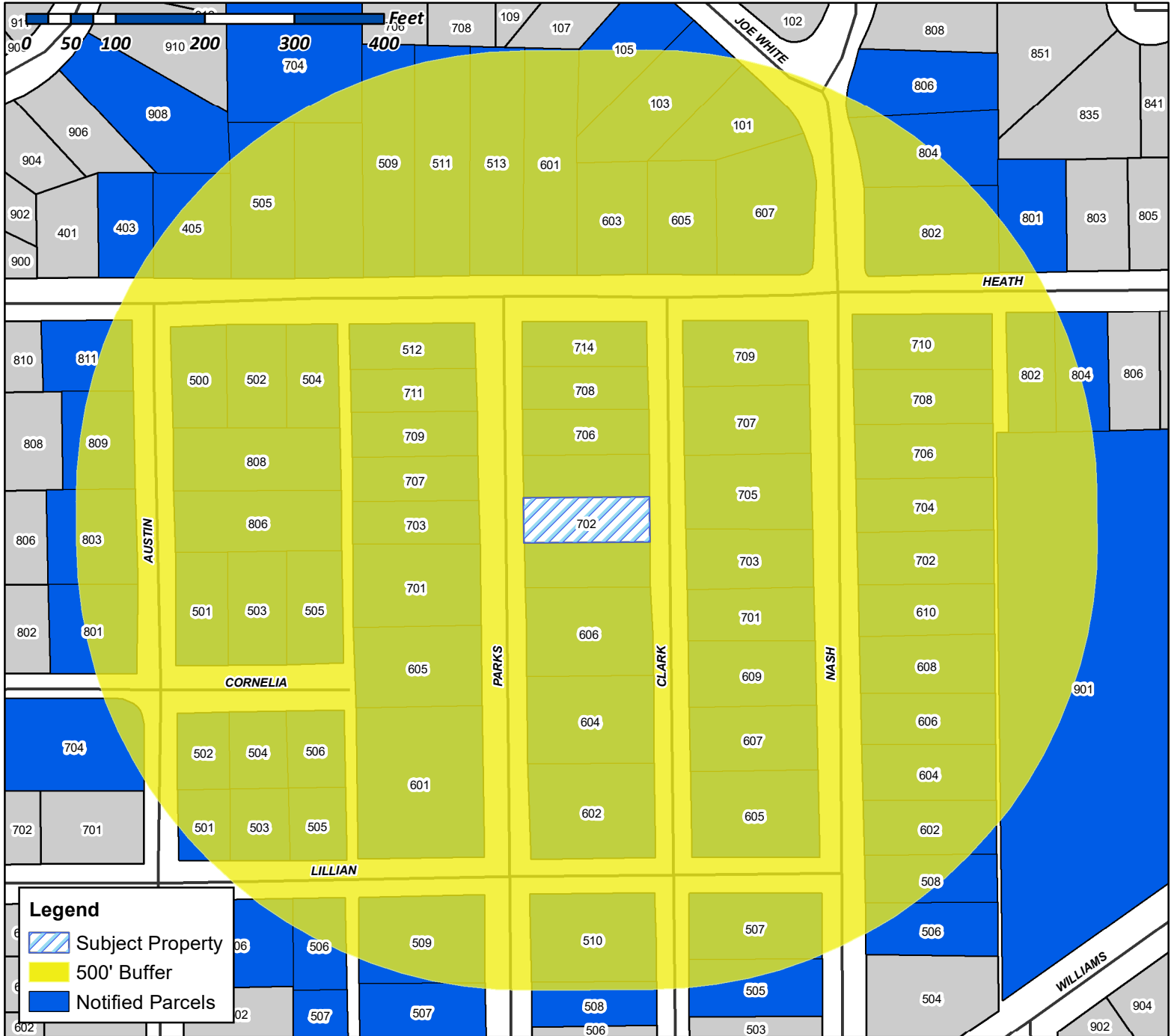
Date Created: 2/19/2020
 For Questions on this Case Call (972) 771-7745



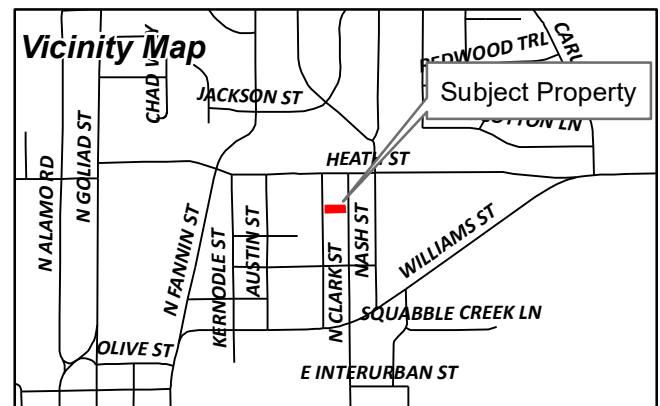
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave.
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
EHEATH
ROCKWALL, TX 75087

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

CURRENT RESIDENT
103 JOE WHITE
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

CURRENT RESIDENT
105 JOE WHITE
ROCKWALL, TX 75087

BREWER SHERI RENEE
119 SUNRISE VISTA WAY
PONTE VEDRA, FL 32081

SABRSULA MELISSA
1571 ANNA CADR RD
ROCKWALL, TX 75087

KENNEDY HAYLEY
201 CHAMPION DR
WYLIE, TX 75095

RIPSTOP PROPERTIES LLC
205 S CLARK STREET
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A
210 GLENN AVE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

GRIFFIN PATTY JEAN CORNELIUS
2140 AIRPORT RD
ROCKWALL, TX 75087

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

KAUFMANN EVAN J
2312 BAHAMA RD
AUSTIN, TX 78733

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

ZYLKA JOE AND BONNIE
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

CURRENT RESIDENT
403EHEATH
ROCKWALL, TX 75087

CURRENT RESIDENT
405EHEATH
ROCKWALL, TX 75087

HODGES PATRICK L
481 ARCADIA WAY
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
503 CORNELIA
ROCKWALL, TX 75087

CURRENT RESIDENT
503 LILLIAN
ROCKWALL, TX 75087

CURRENT RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
505EHEATH
ROCKWALL, TX 75087

CURRENT RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT
506 NASH
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

TOLMAN BROOKS
507 PARKS AVE
ROCKWALL, TX 75087

CAWTHON RICK
508 NASH ST
ROCKWALL, TX 75087

FREEMAN WILLIAM B JR
508 PARKS AVE
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
509EHEATH
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

CURRENT RESIDENT
510 PARKS
ROCKWALL, TX 75087

CURRENT RESIDENT
511EHEATH
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

DENNIS KIMBERLY
513 E HEATH ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
601EHEATH
ROCKWALL, TX 75087

SIMMONS APRIL R
602 NASH STREET
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
602 PARKS AVENUE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

HOWARD DEBORAH K
604 NASH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD
605 STORRS
ROCKWALL, TX 75087

CURRENT RESIDENT
605EHEATH
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN
606 PARKS AVE
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

BHATIA SACHIT S AND
LAURA NICOLE JONES
607 NASH STREET
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610 NASH
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H
6634 DAVIS DR
ROYSE CITY, TX 75189

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

CURRENT RESIDENT
701 NASH
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
702 PARKS
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

CURRENT RESIDENT
704 NASH
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
707 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
707 PARKS
ROCKWALL, TX 75087

CURRENT RESIDENT
708 NASH
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
709 NASH
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
801 AUSTIN
ROCKWALL, TX 75087

CURRENT RESIDENT
801EHEATH
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA
802 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
802 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
803 AUSTIN
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS
804 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
804 NASH
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
806 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
808 AUSTIN
ROCKWALL, TX 75087

CURRENT RESIDENT
809 AUSTIN
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
901 WILLIAMS
ROCKWALL, TX 75087

BIRT PAUL G & CHRISTI ANA
908 NORTH FANNIN STREET
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE
RICHARD D WIMPEE AND JUDY A HARRIS AND
JOE E WIMPEE AND JERRY M WIMPEE 704 E
MAPLE ST
FAYETTEVILLE, AR 72701

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

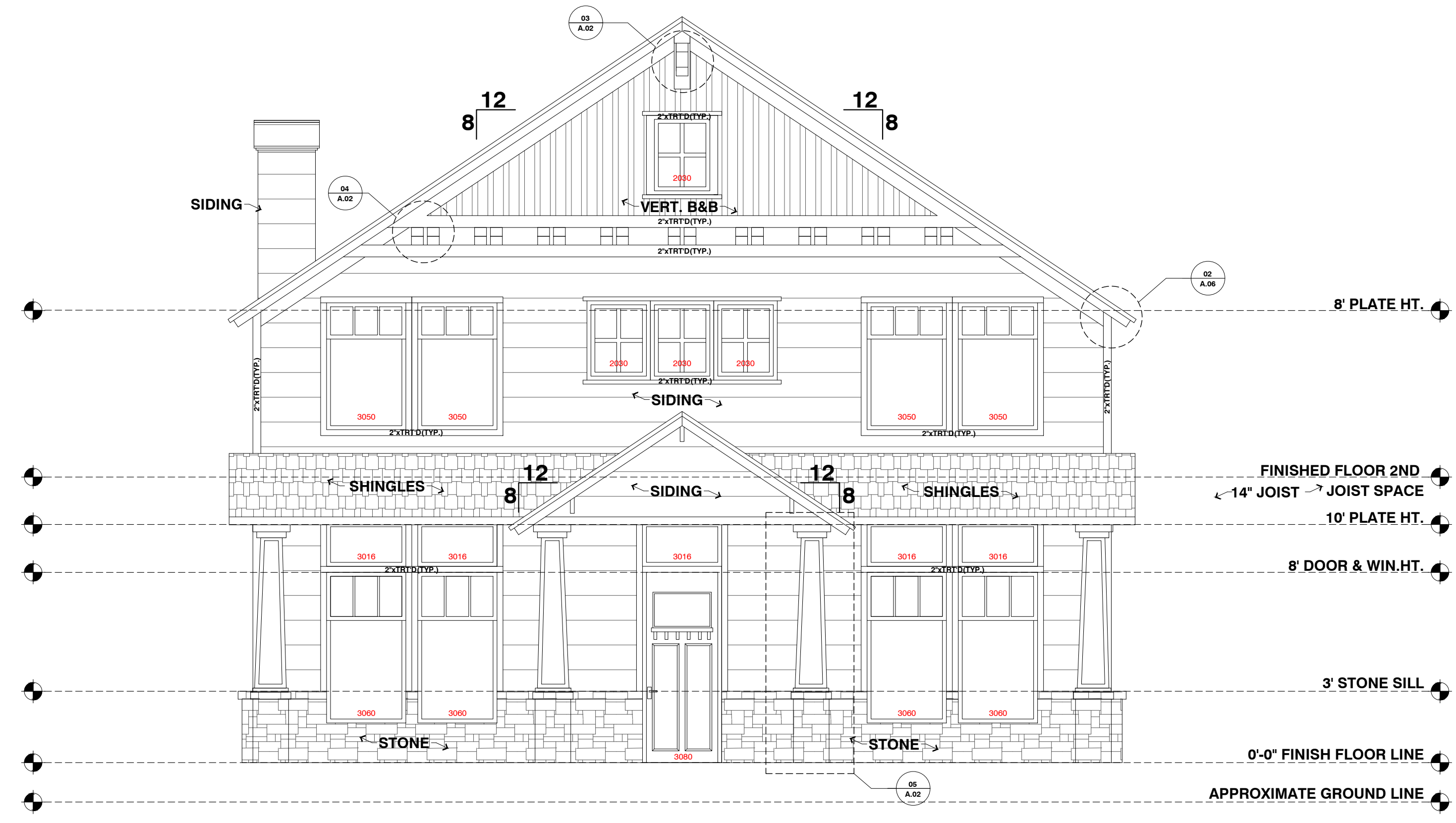
REVISIONS:

PROJECT/CLIENT:
MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:
06.06.2019

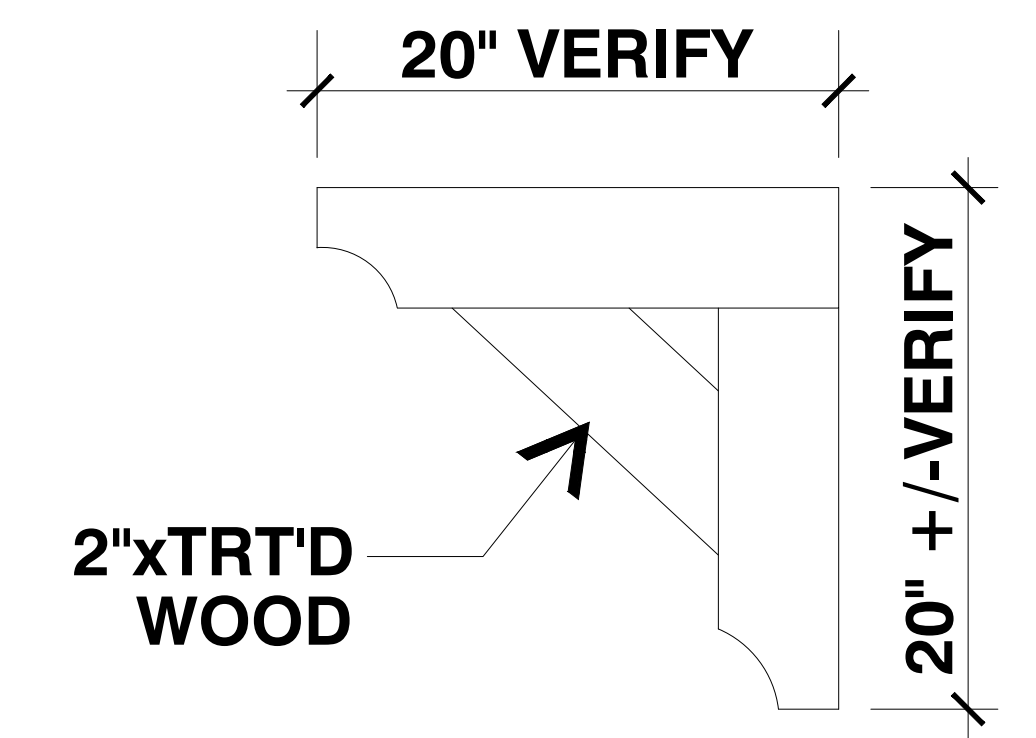
HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.02

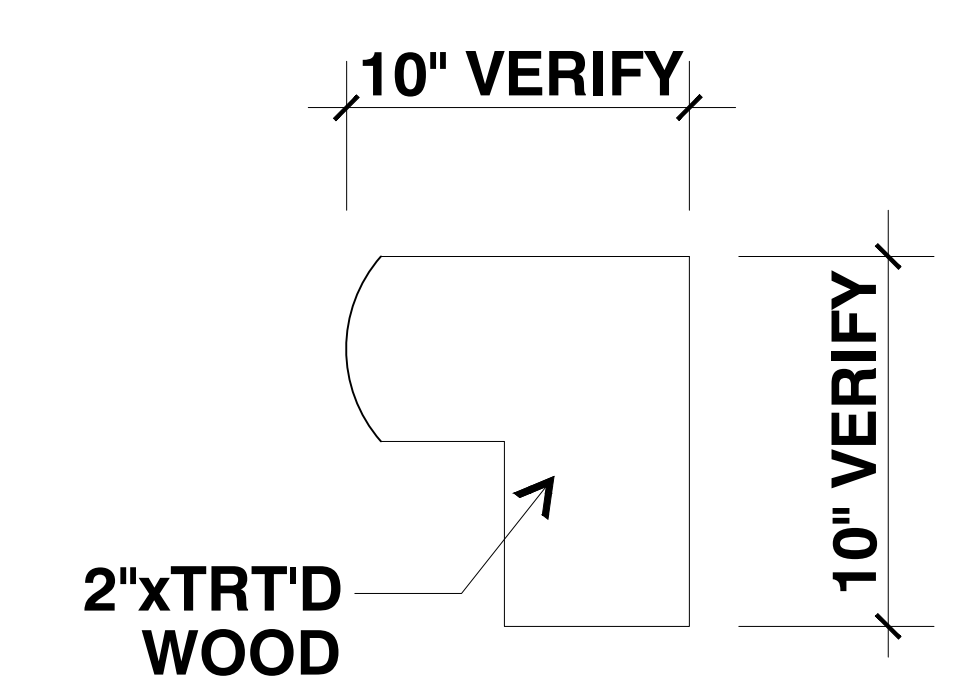


02 FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



NOTE:
VERIFY PROFILE DETAIL WITH OWNER.

03 BRACKET 1 DETAIL
NOT TO SCALE

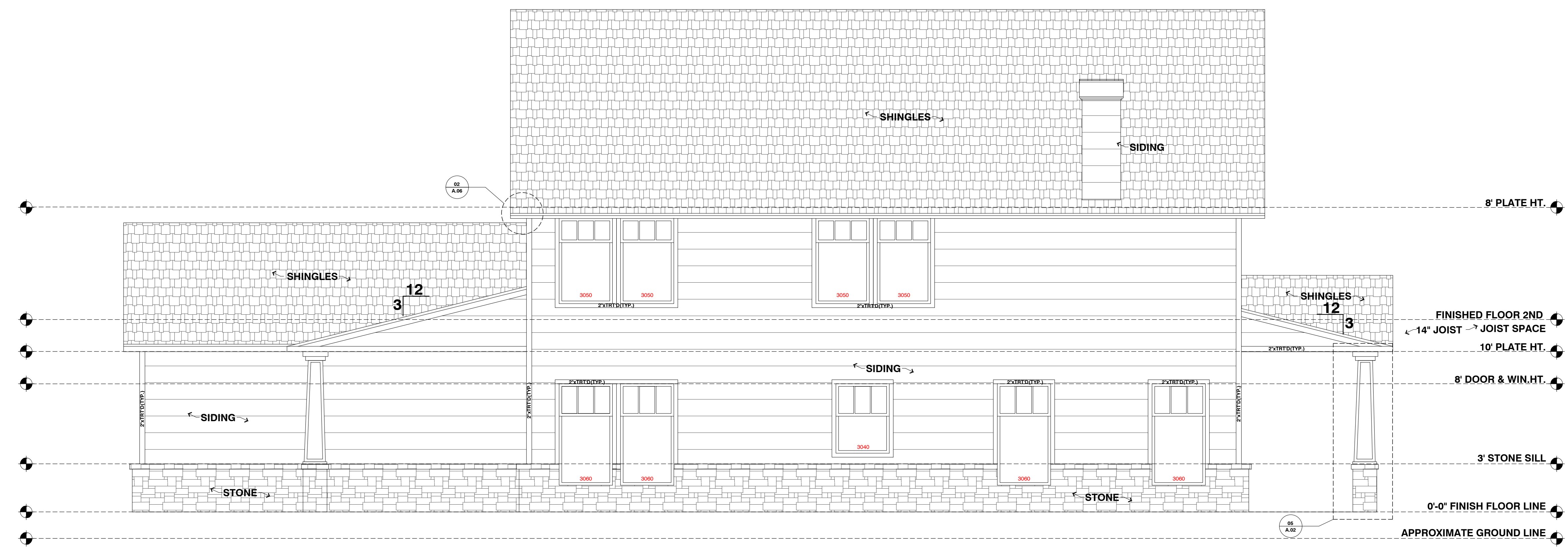


NOTE:
VERIFY PROFILE DETAIL WITH OWNER.

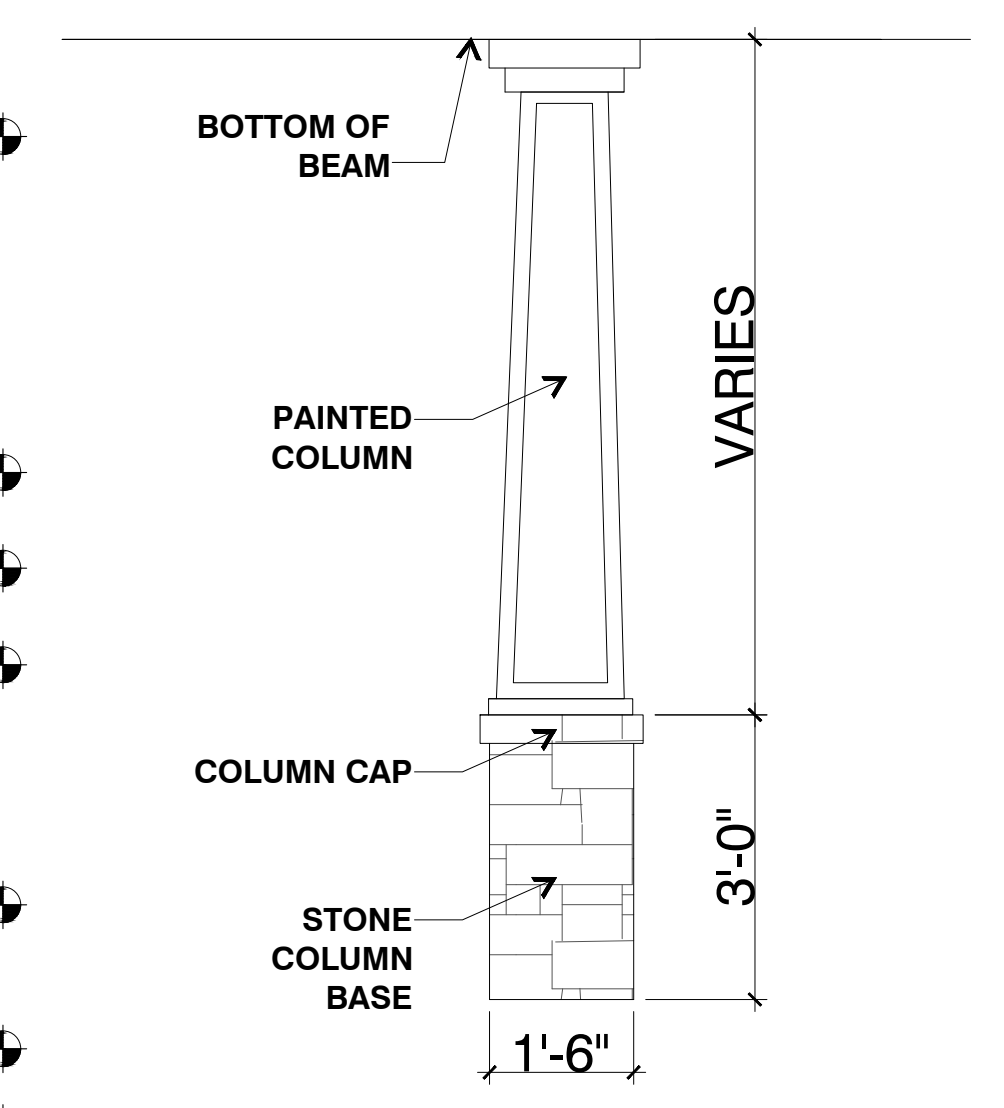
04 BRACKET 2 DETAIL
NOT TO SCALE

NOTES

1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
2. ALL GROUND LINES ARE APPROXIMATE.
3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
4. VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.



01 LEFT ELEVATION
SCALE: 1/4" = 1' - 0"



NOTE:
VERIFY PROFILE DETAIL WITH OWNER.

05 COLUMN DETAIL
SCALE: 1/2" = 1'-0"

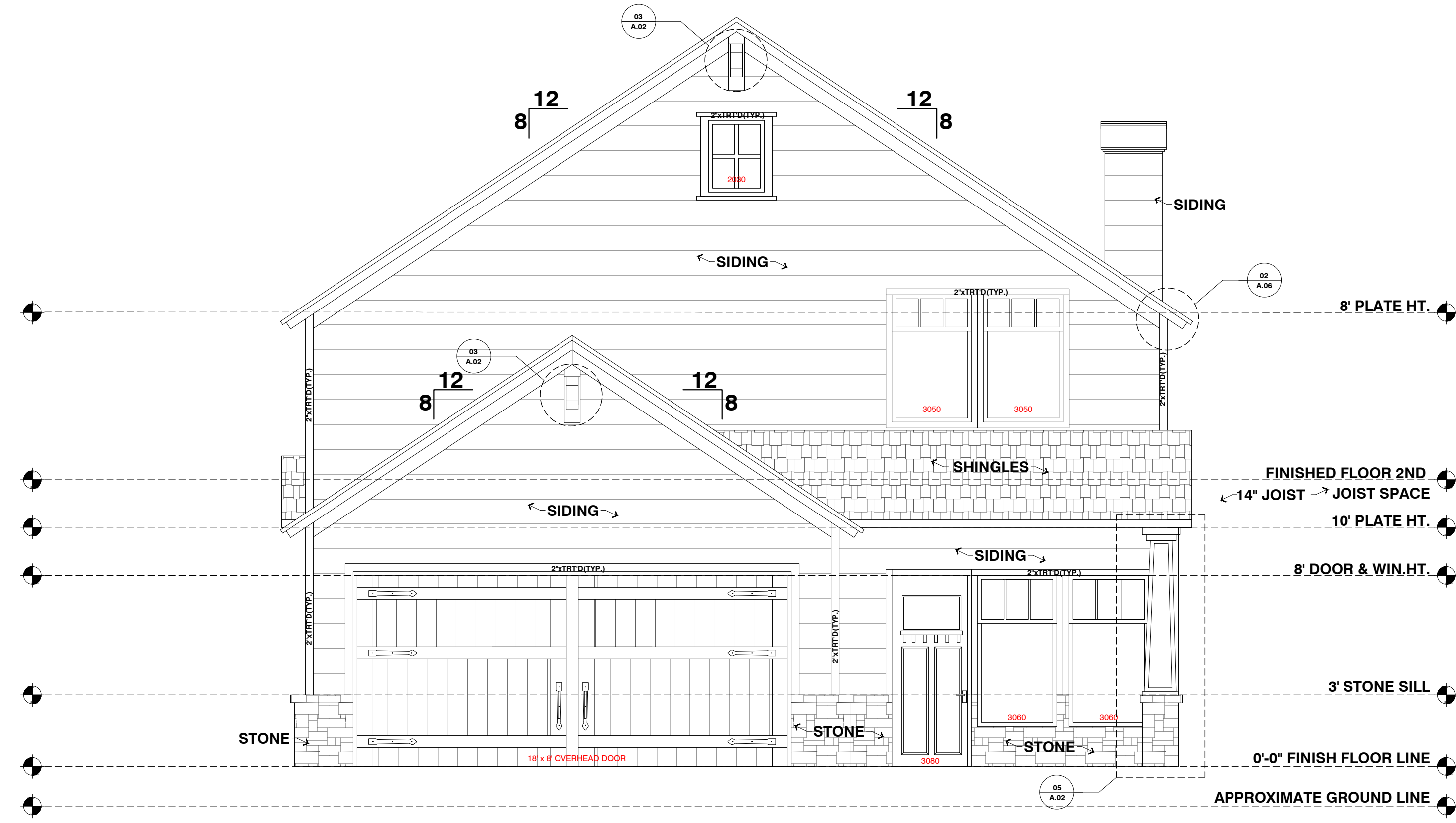
DRAWN BY: _____
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 ISSUED FOR PERMIT: _____
 ISSUED FOR CONSTRUCTION: _____
 REVISIONS:

PROJECT/CLIENT:
MANDY HENRY
 LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
 DATE:
06.06.2019

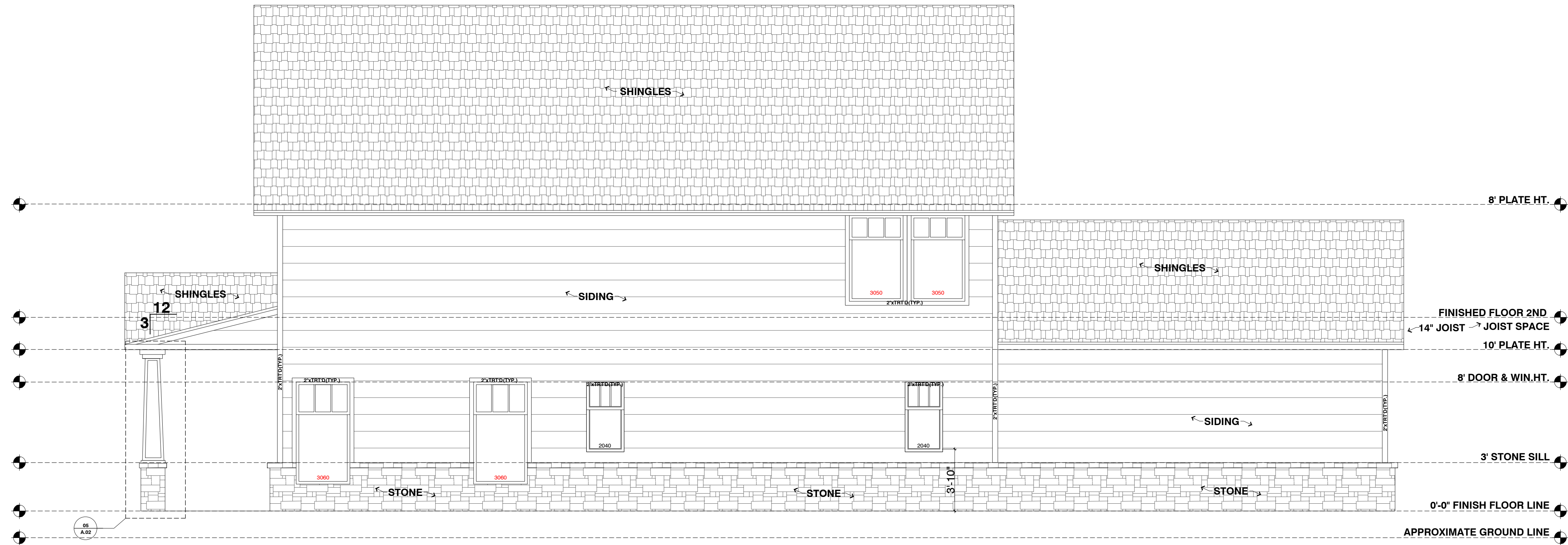
HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.03



02 BACK ELEVATION
 SCALE: 1/4" = 1' - 0"



01 RIGHT ELEVATION
 SCALE: 1/4" = 1' - 0"

CLARK STREET

40' R.O.W. PER PLAT

PROPERTY LINE 50.0'

10' EASEMENT

DRIVEWAY

42'-9"

PROPERTY LINE 140.47'

6' EASEMENT

6' EASEMENT

PROPERTY LINE 140.49'

702 PARKS AVE.

LOT - 8

6'-6"

36'-6"

7'-0"

SIDEWALK

20' BUILDING SETBACK

PROPERTY LINE 50.0'

50' R.O.W. PER PLAT

PARKS AVENUE



Henry House Plans

702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

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LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
 - FOUNDATION DESIGN
- CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVICE PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.

DRAWING/SHEET INDEX

A - 1.01	COVER SHEET
A - 1.02	FRONT & LEFT ELEVATION
A - 1.03	BACK & RIGHT ELEVATION
A - 1.04	FLOOR PLAN
A - 1.05	FOUNDATION/PLUMBING PLAN
A - 1.06	ROOF PLAN
A - 1.07	ELECTRICAL PLAN

SQUARE FOOTAGE

LIVING SPACE	2660
GARAGE	500
FRONT PORCH	290
BACK PORCH	186

GENERAL NOTES

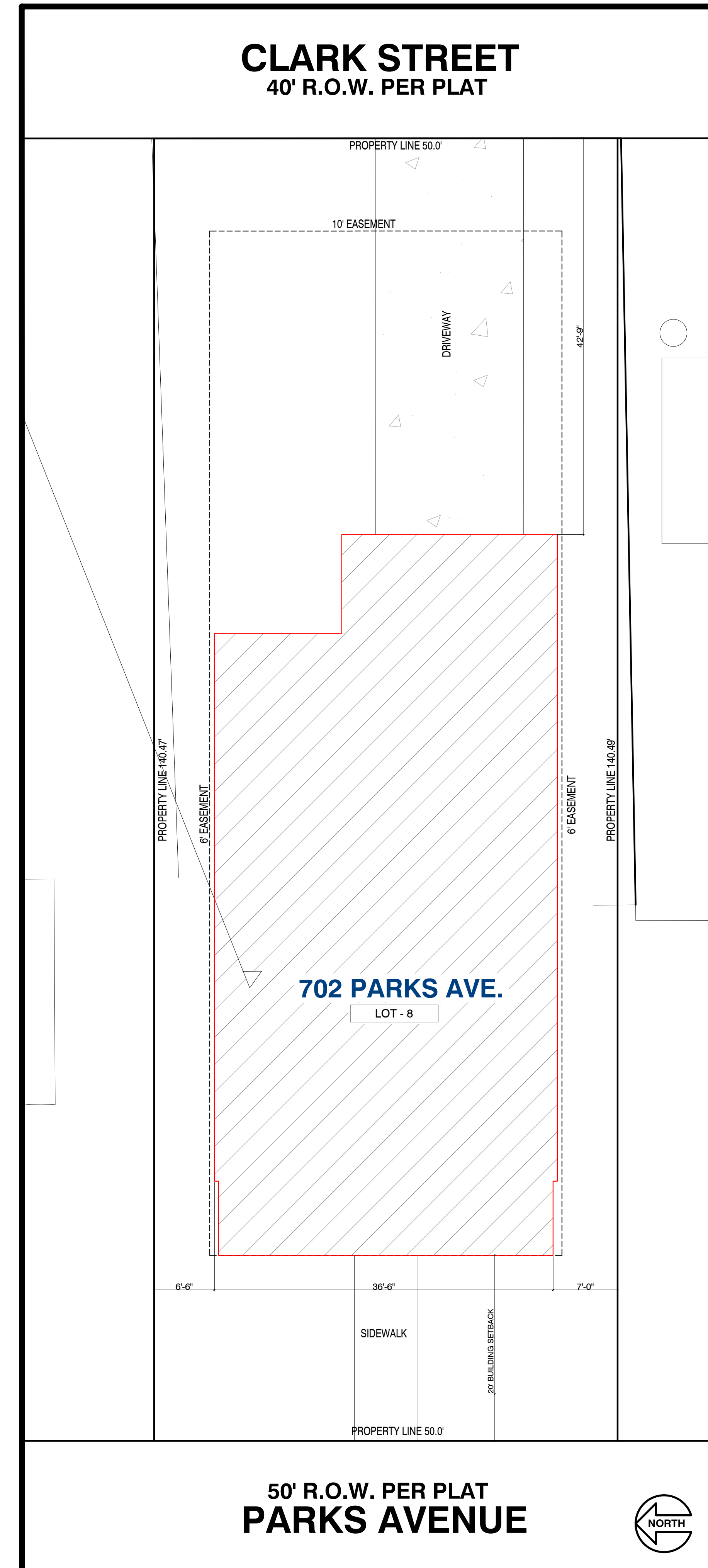
- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPECS ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
- ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPECS. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL CARPENTRY WORK SHALL BE ERRECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER. REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER.
- PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPECS. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

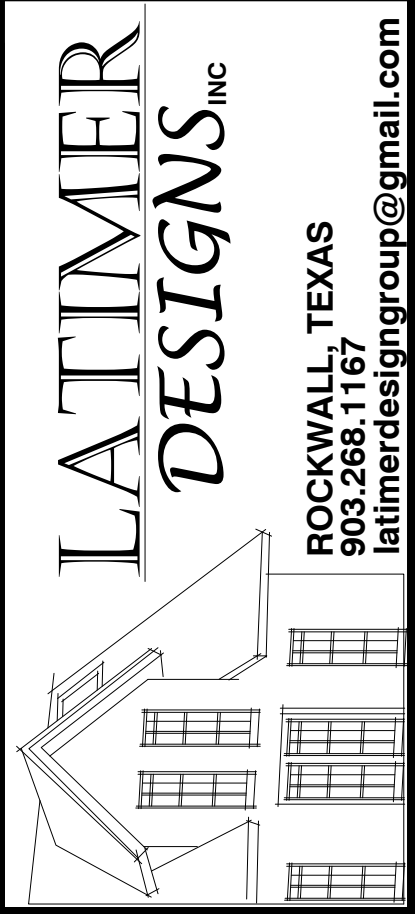
AB	ANCHOR BOLT	H	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	ABOVE FINISH FLOOR	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
BM	BEAM	OC	ON CENTER
CAB	CABINET	PT	PRESSURE TREATED
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	V	VERTICAL
GL	GLASS	WD	WOOD

PROPERTY DESCRIPTION

LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8
NEIGHBORHOOD	N3800-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R



SITE PLAN
SCALE: 1/8" = 1' - 0"



ROCKWALL, TEXAS
903.268.1167
latimerdesignsgroup@gmail.com

DRAWN BY:
CHECKED BY:
DATE:
ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:
REVISIONS:
11.17.2019: KITCHEN - FLIP SINK & RANGE. ADDED WINDOW
12.04.2019: LAUNDRY ROOM LAYOUT PLUMBING ELECT.: DIM. SWITCHES & ADDED RCL'S

PROJECT/CLIENT:	MANDY HENRY
LOCATION:	702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:	06.06.2019

HOUSE PLANS

SHEET TITLE:
COVER SHEET

SHEET NO.:
A - 1.01

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

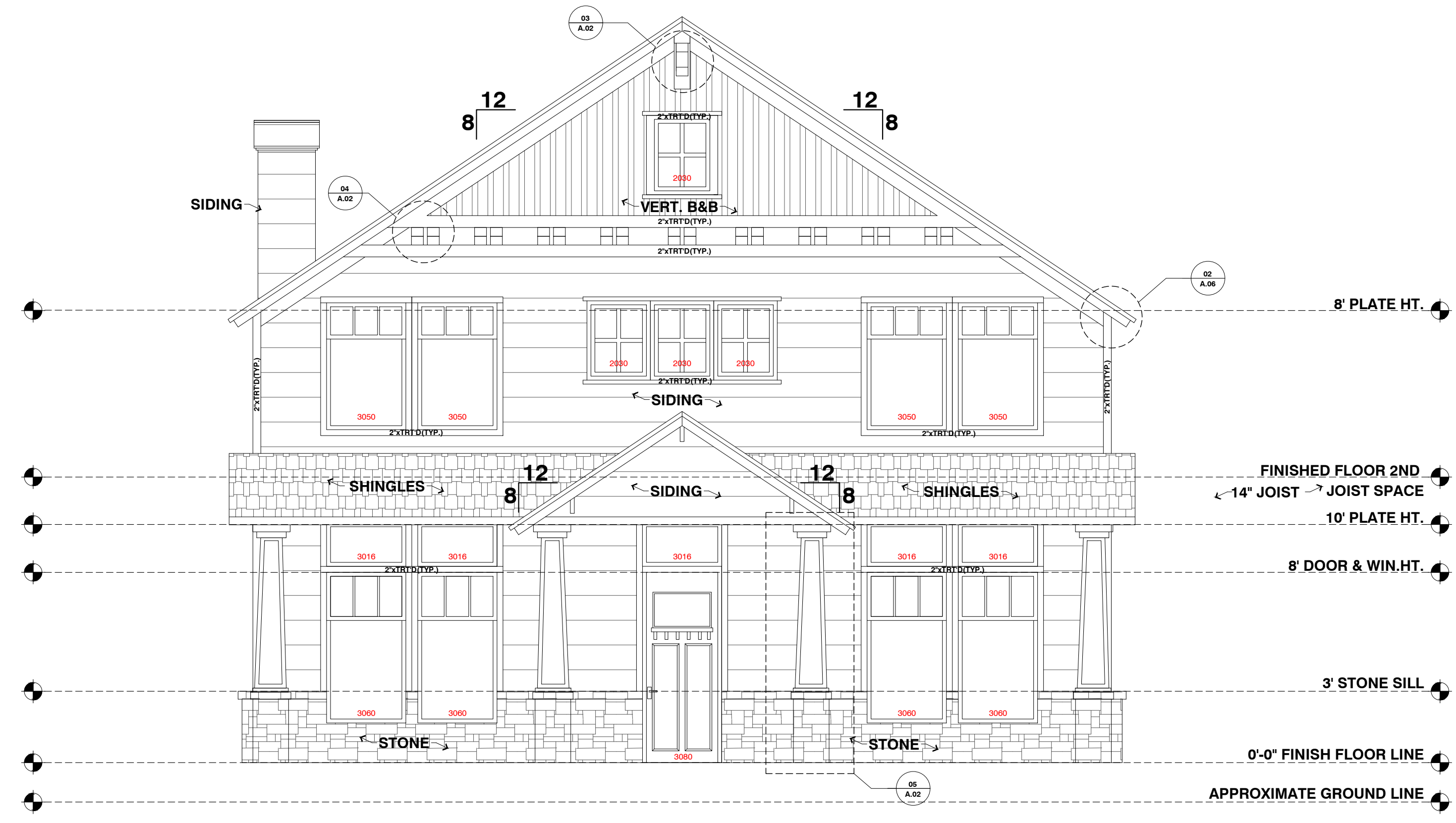
REVISIONS:

PROJECT/CLIENT:
MANDY HENRY
 LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
 DATE:
06.06.2019

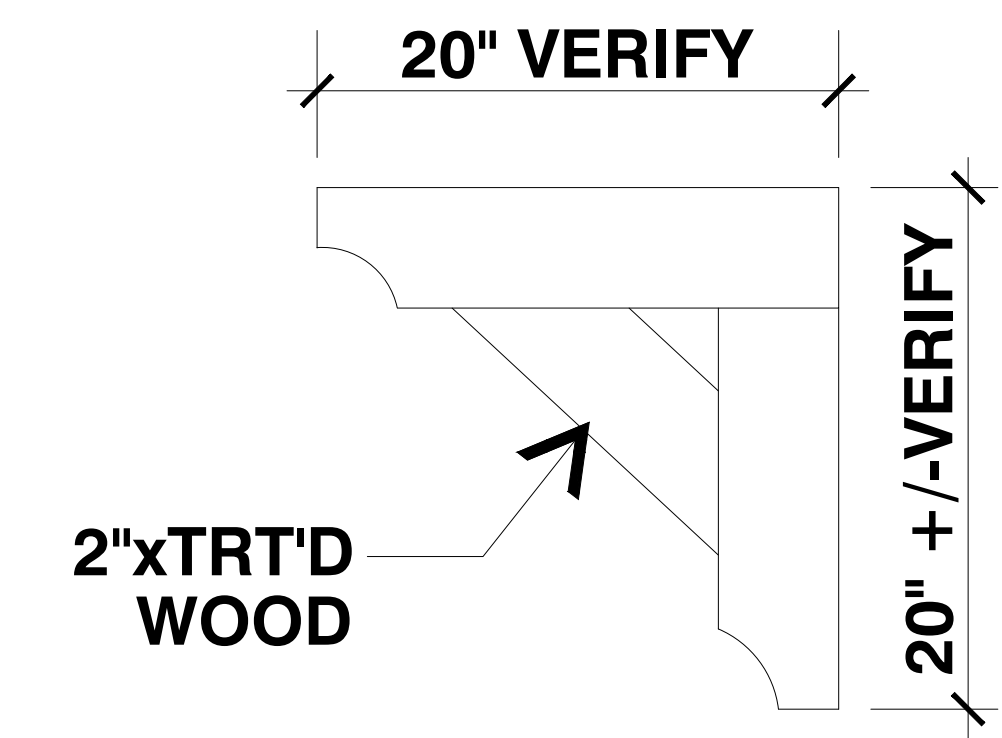
HOUSE PLANS

SHEET TITLE:
ELEVATIONS

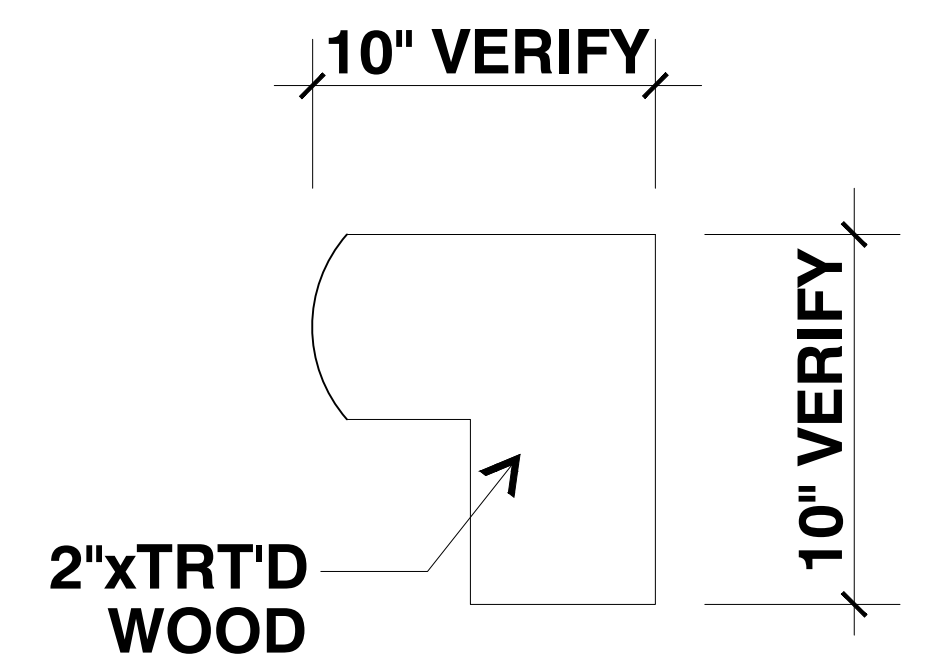
SHEET NO.:
A - 1.02



02 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



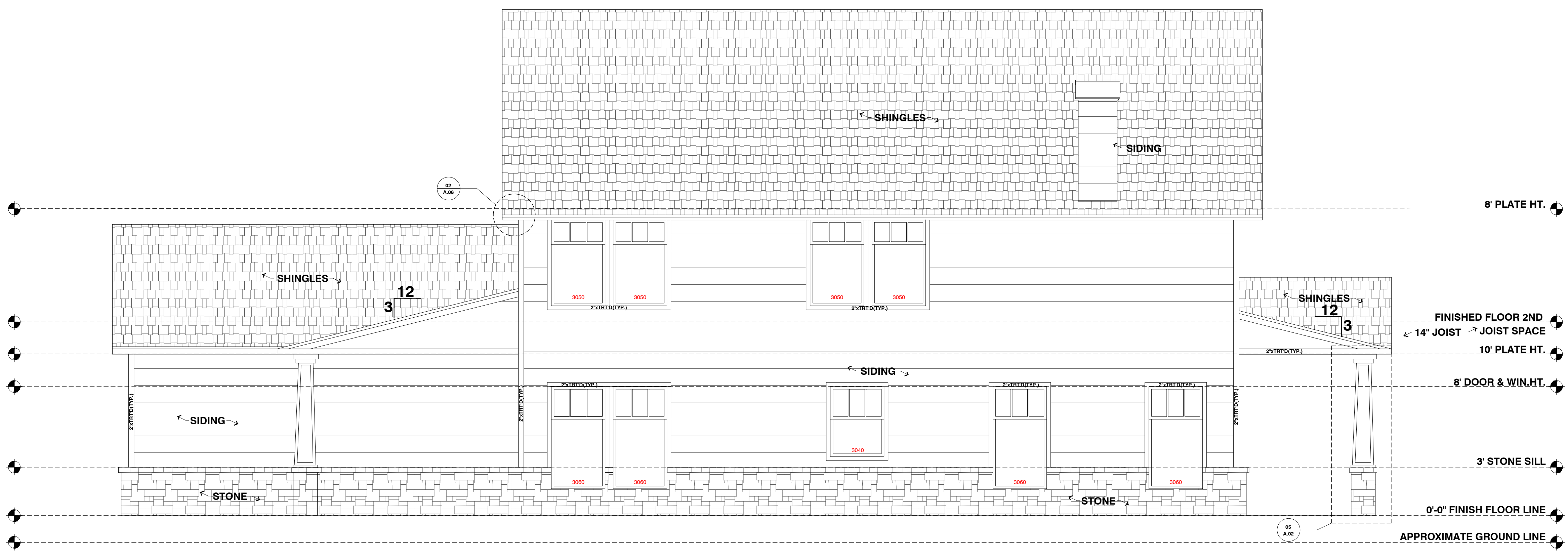
NOTE:
 VERIFY PROFILE DETAIL WITH OWNER.
03 BRACKET 1 DETAIL
 NOT TO SCALE



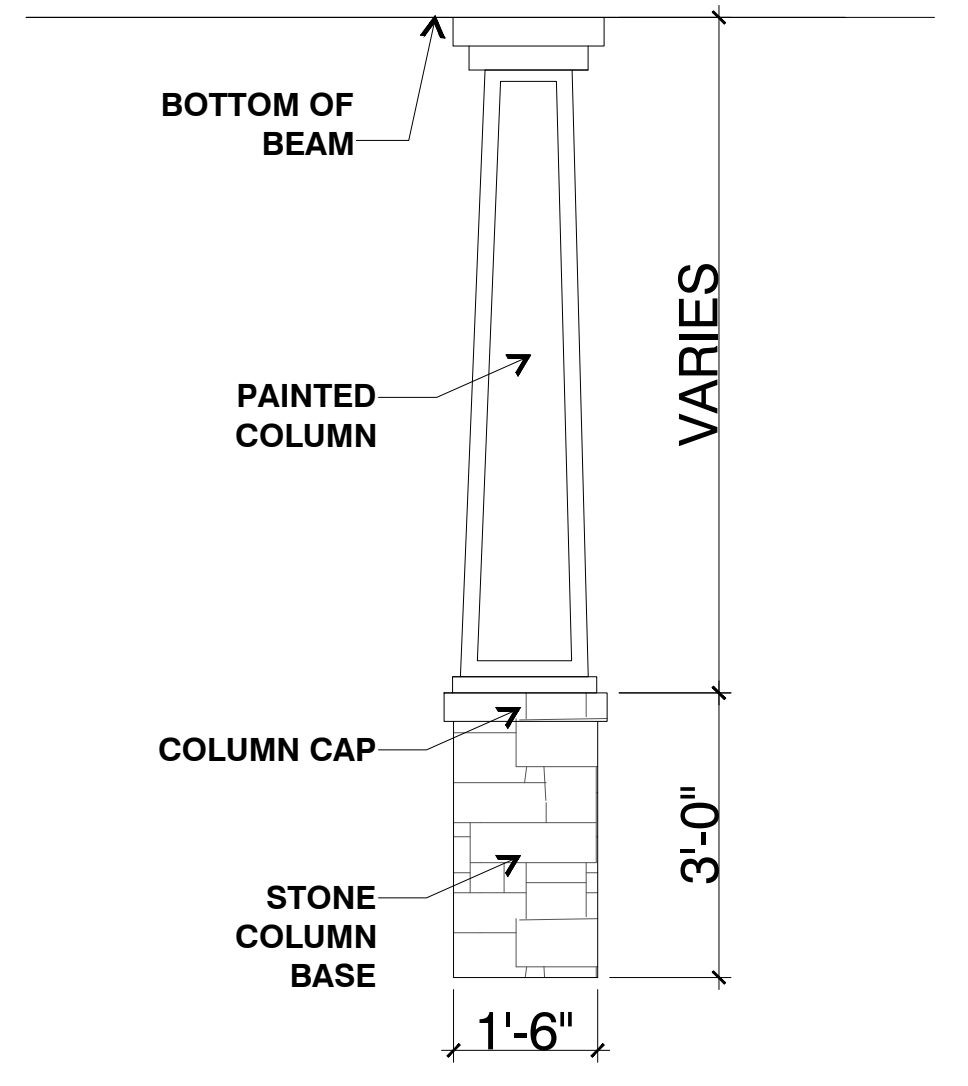
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 VERIFY PROFILE DETAIL WITH OWNER.
04 BRACKET 2 DETAIL
 NOT TO SCALE

NOTES

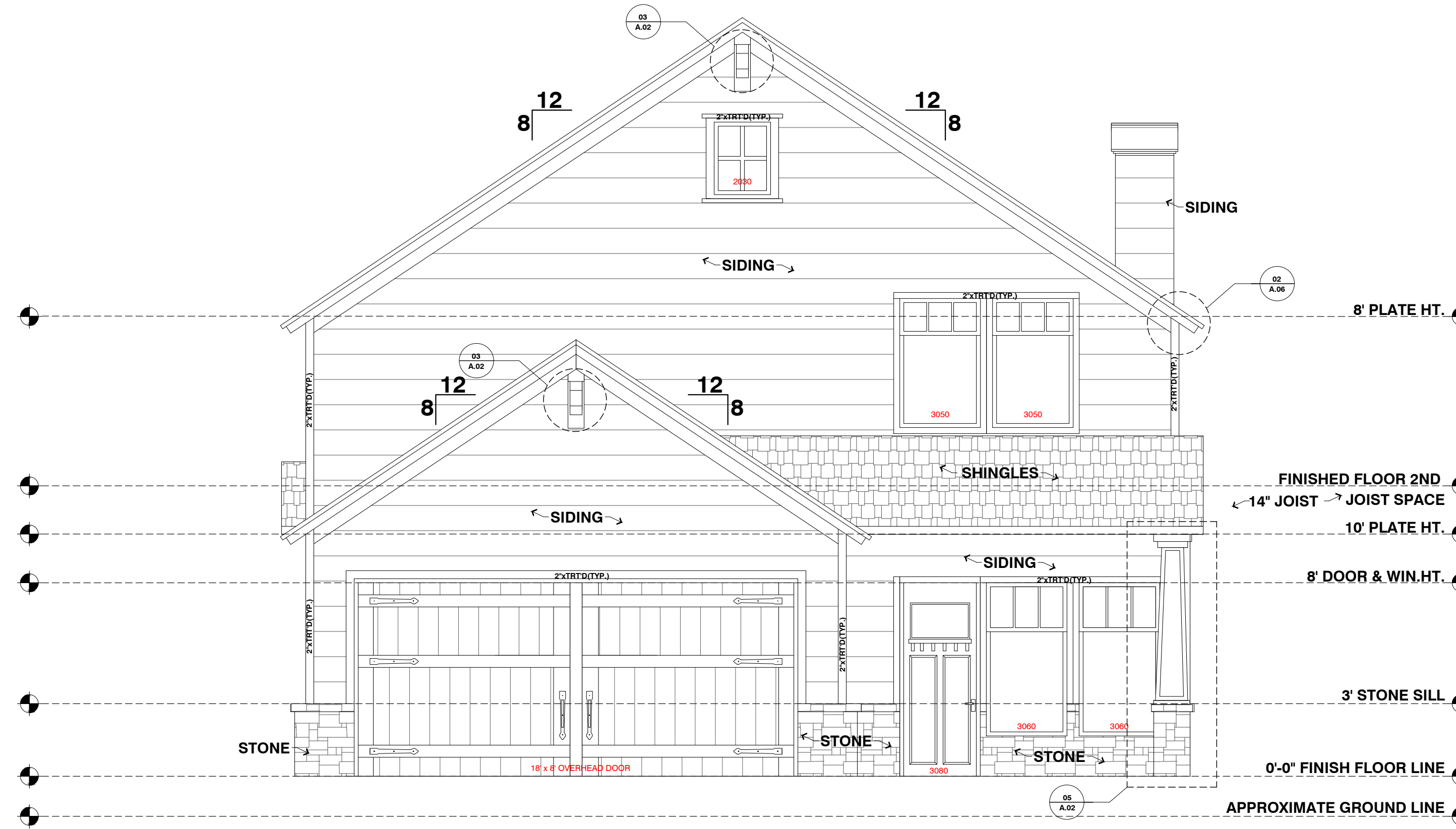
1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
2. ALL GROUND LINES ARE APPROXIMATE.
3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
4. VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.



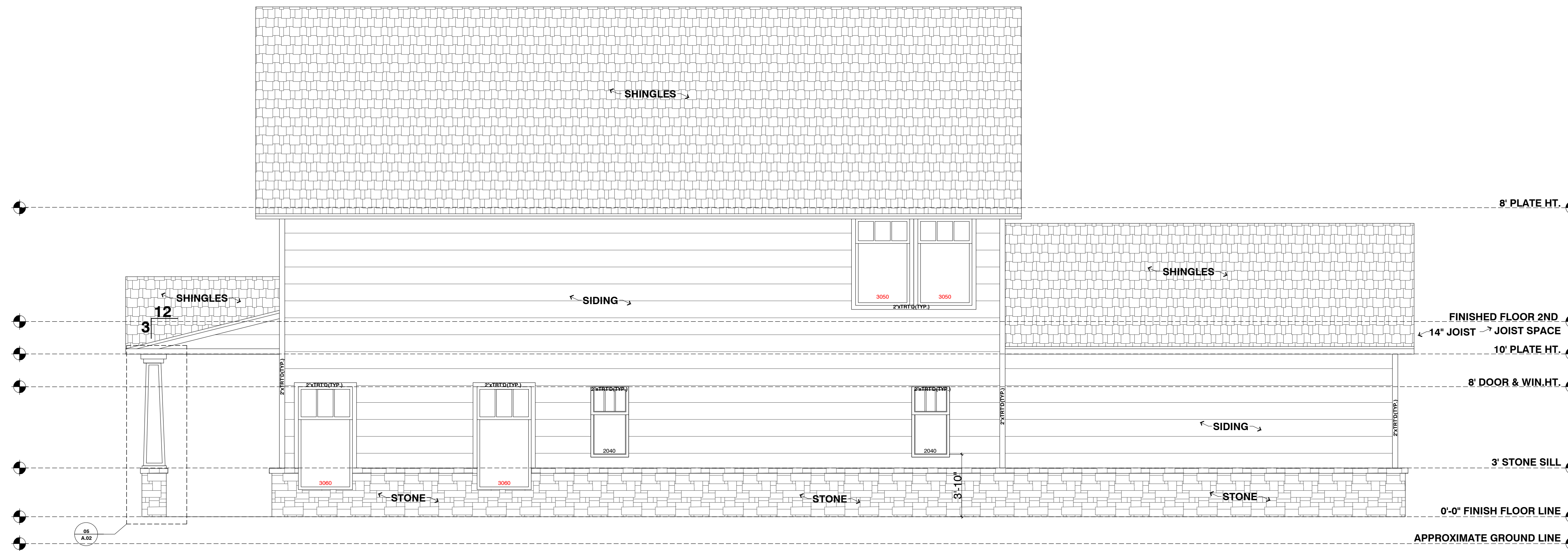
01 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



NOTE:
 VERIFY PROFILE DETAIL WITH OWNER.
05 COLUMN DETAIL
 SCALE: 1/2" = 1'-0"



02 BACK ELEVATION
 SCALE: 1/4" = 1' - 0"



01 RIGHT ELEVATION
 SCALE: 1/4" = 1' - 0"

DRAWN BY:

CHECKED BY:

DATE:

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ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

HOUSE PLANS

SHEET TITLE:
ELEVATIONS

SHEET NO.:

A - 1.03

DRAWN BY:

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DATE:

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ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
 MANDY HENRY

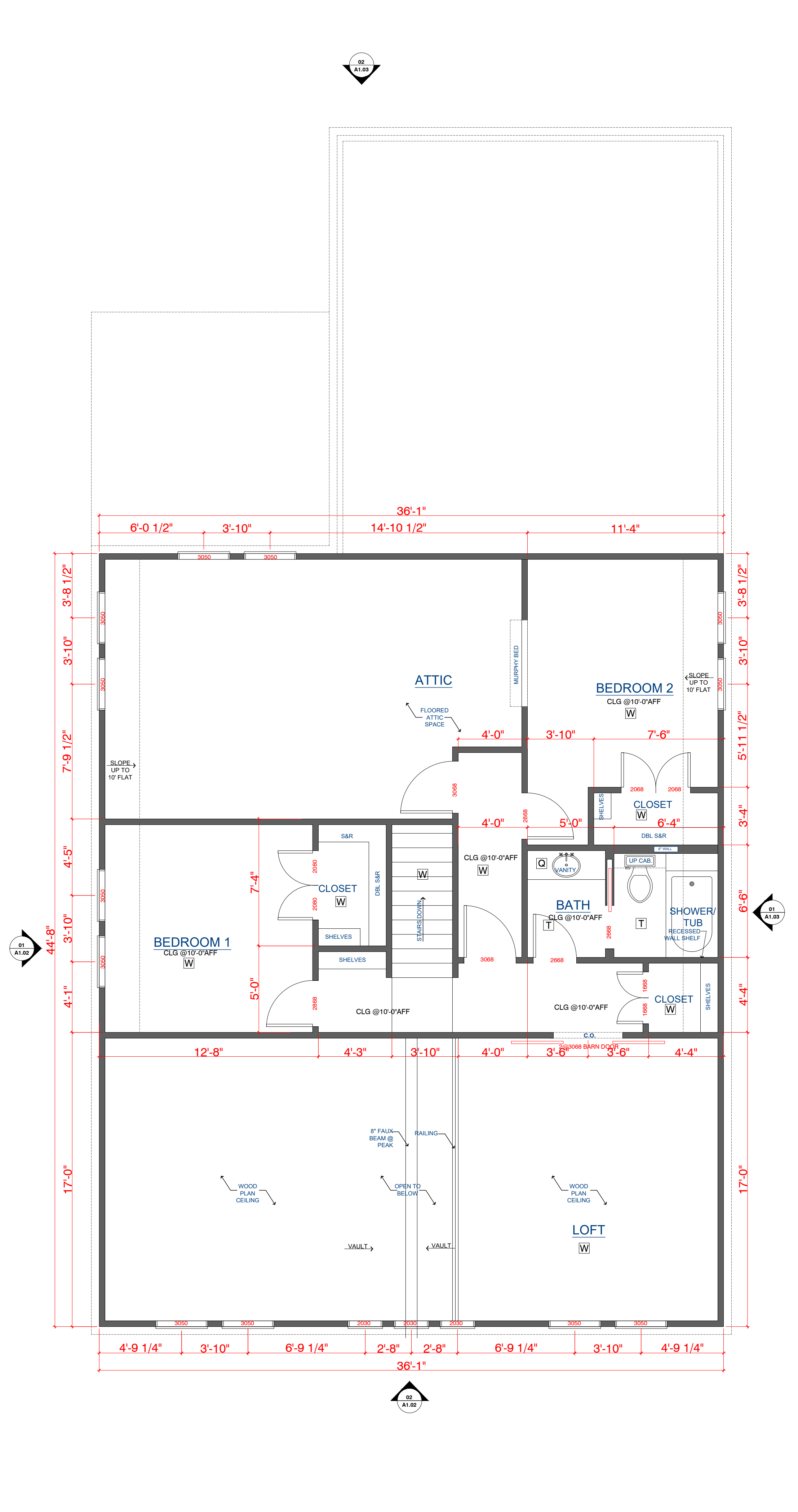
LOCATION:
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DATE:
 06.06.2019

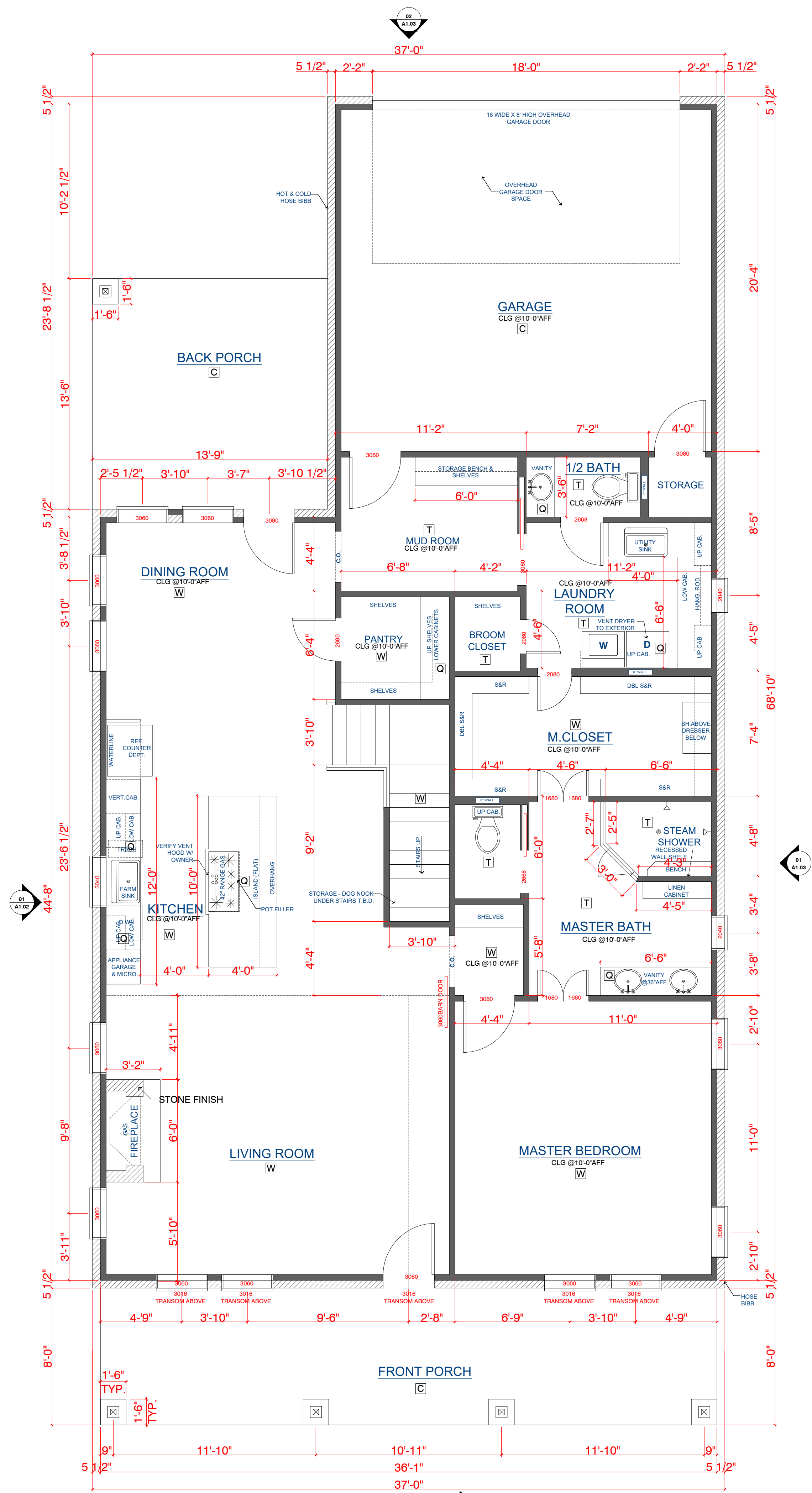
HOUSE PLANS

SHEET TITLE:
 FLOOR PLAN

SHEET NO.:
 A - 1.04



02 FLOOR PLAN - 2ND FLOOR
 SCALE: 1/4" = 1' - 0"



01 FLOOR PLAN - 1ST FLOOR
 SCALE: 1/4" = 1' - 0"

FINISH SCHEDULE

W	WOOD PLANK
C	CONCRETE
Q	QUARTZ
T	TILE

ALL DOORS, CASED OPENINGS, & WINDOWS TO HAVE TRIMMED CASEMENT.

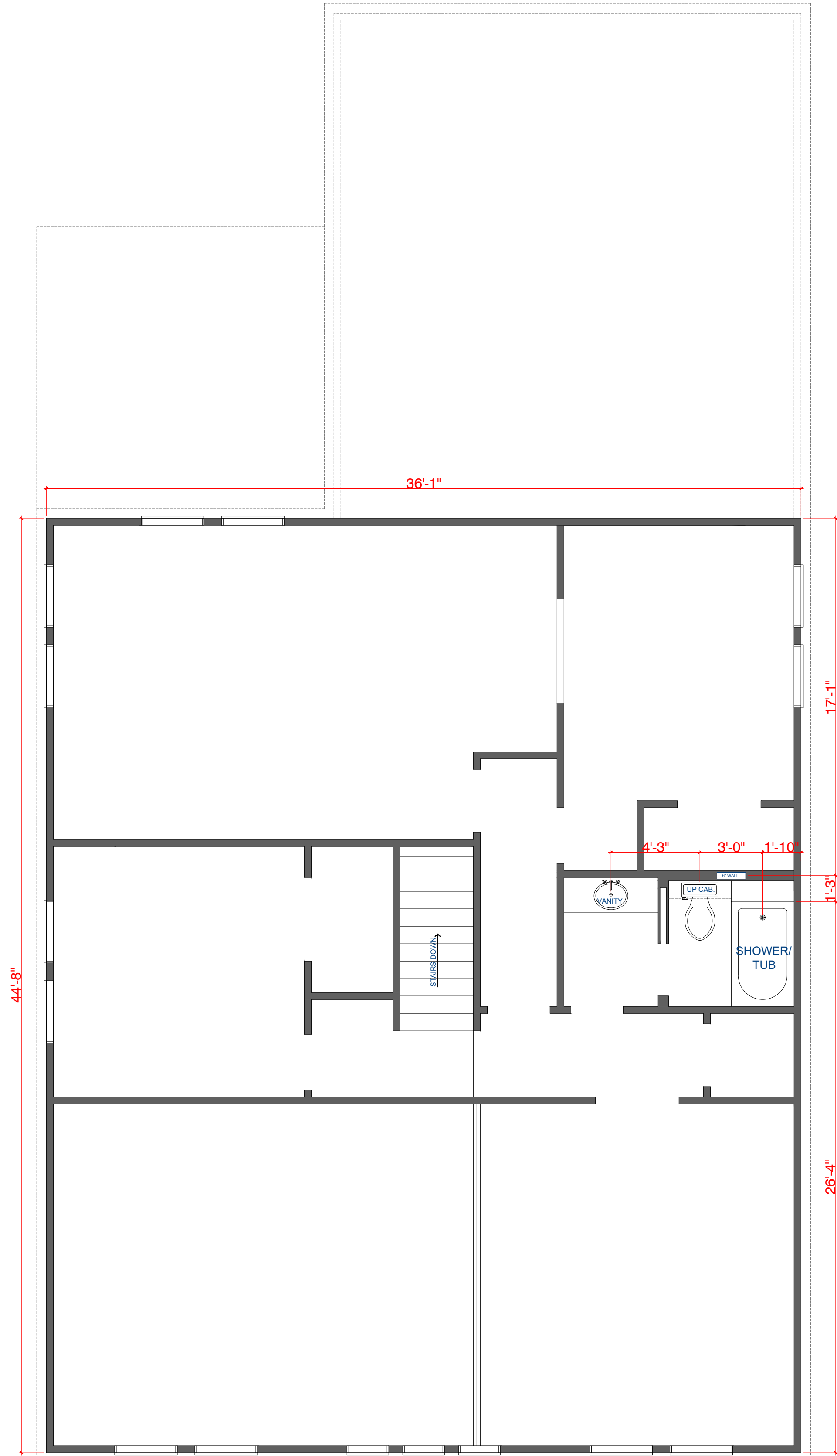
- GENERAL NOTES**
- ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
 - WINDOW EXAMPLE: 2850, 2'-8" WIDE BY 5'-0" TALL, DOOR EXAMPLE: 3080, 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES IN WIDTH & HEIGHT RESPECTIVELY.
 - IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES.
 - REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOORS & WINDOWS.
 - CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
 - CEILING AS NOTED ON DRAWING.
 - FRAMED WALLS TO BE 2X4 STUDS @16" O.C.
 - CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE.
 - CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT
 - ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.
 - ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER.
 - ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE, ETC.), & APPLIANCES TO BE SELECTED BY OWNER.
 - CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS FOR FURTHER GRAB BARS.

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 DATE: _____
 ISSUED FOR PERMIT: _____
 ISSUED FOR CONSTRUCTION: _____
 REVISIONS: _____

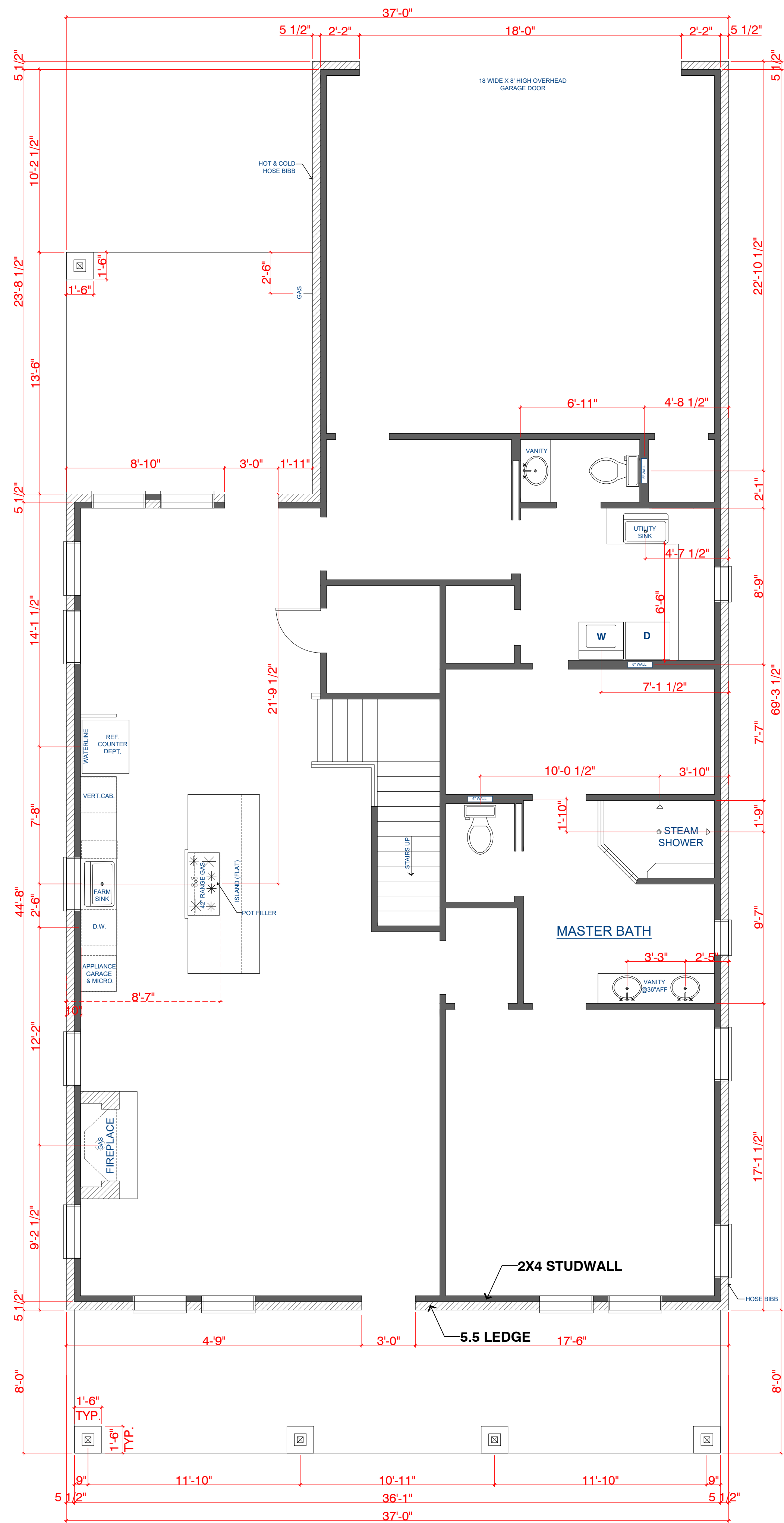
PROJECT/CLIENT:
MANDY HENRY
 LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
 DATE:
06.06.2019

HOUSE PLANS

SHEET TITLE:
FOUNDATION & PLUMBING PLAN
 SHEET NO.:
A - 1.05



01 FOUNDATION & PLUMBING - 2ND FLOOR
 SCALE: 1/4" = 1' - 0"



01 FOUNDATION & PLUMBING - 1ST FLOOR
 SCALE: 1/4" = 1' - 0"

NOTES

ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ENGINEER. LATIMER DESIGNS LLC IS NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY ENGINEERED DRAWINGS OR MANUFACTURERS LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR BUILDING. FOUNDATION TO BE SLAB ON GRADE.

WATER HEATERS TO BE TANKLESS: QTY - 1: GAS

ALL PLUMBING DIMENSIONS TO BE VERIFIED WITH SELECTED FIXTURE PER MANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER. ALL PLUMBING DIMENSIONS ARE MARKED ON CENTER LINES OF FIXTURE TO EXTERIOR WALL FACE.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.

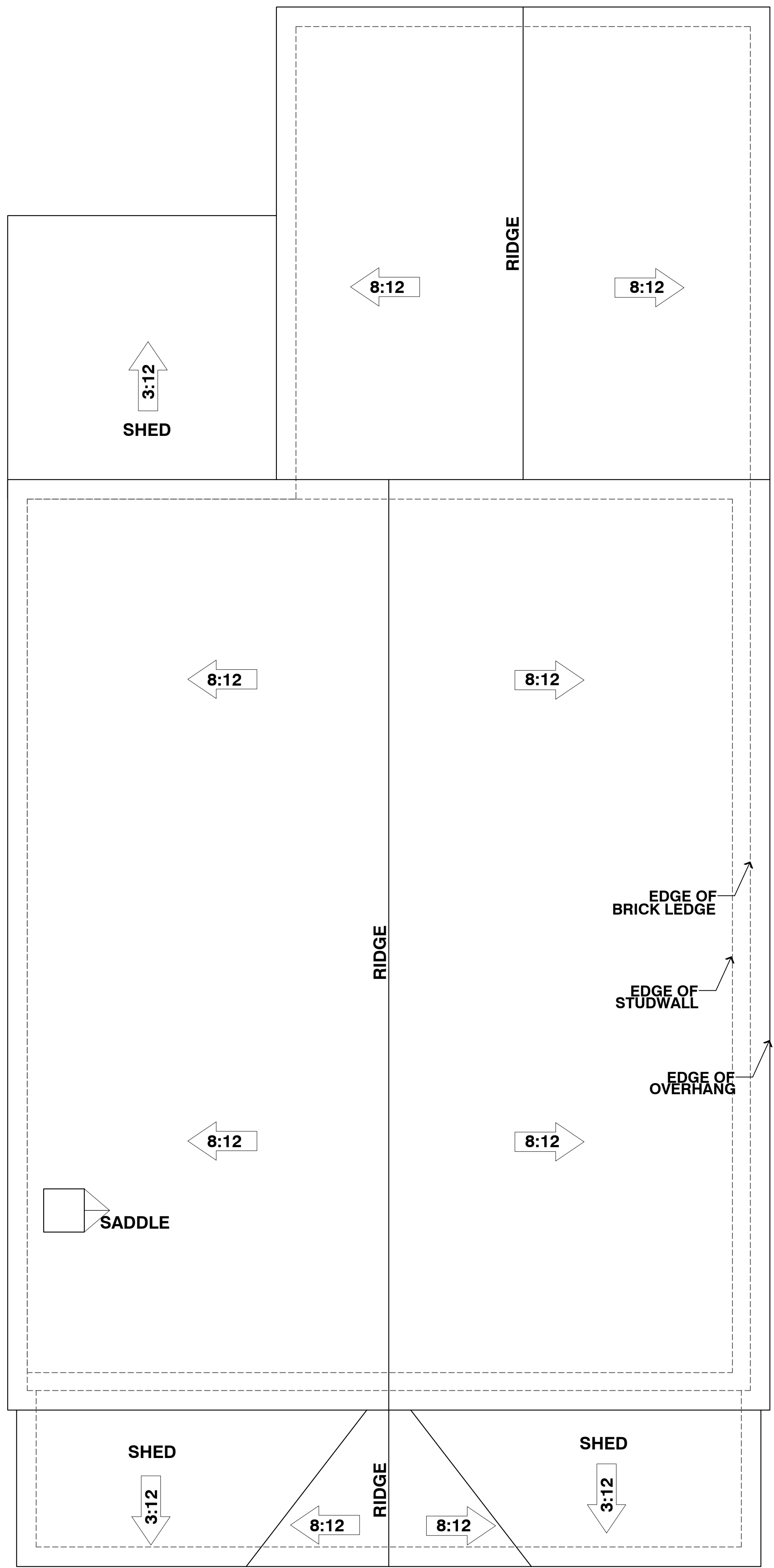
DRAWN BY: _____
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ISSUED FOR CONSTRUCTION: _____
REVISIONS:

PROJECT/CLIENT:
MANDY HENRY
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DATE:
06.06.2019

HOUSE PLANS

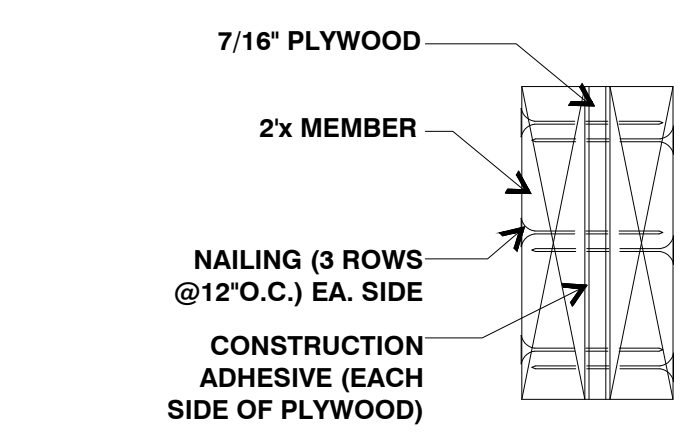
ROOF PLAN

SHEET NO.:
A - 1.06

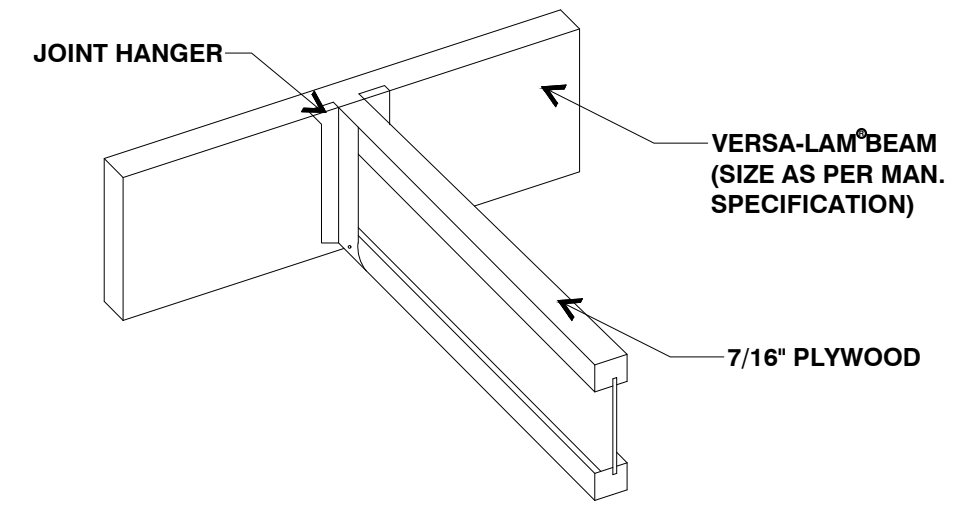


01 ROOF PLAN
SCALE: 1/4" = 1' - 0"

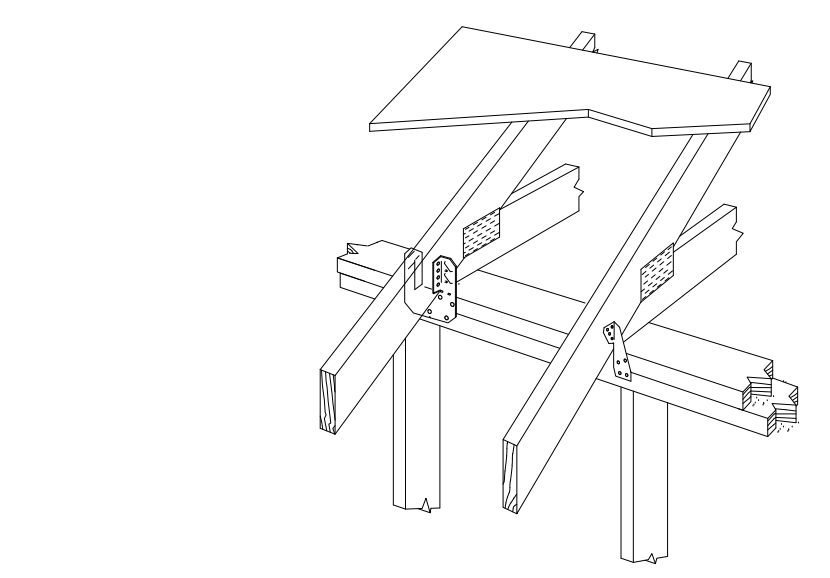
SEE ELEVATIONS FOR PLATE HEIGHTS.



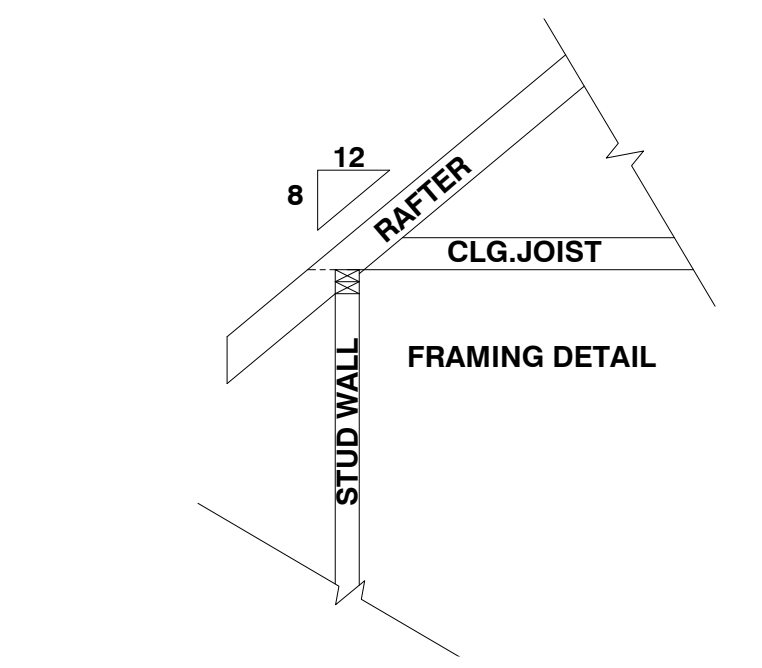
05 BEAM SECT.
SCALE: N.T.S.
 SCHEMATIC-GENERAL REFERENCE ONLY



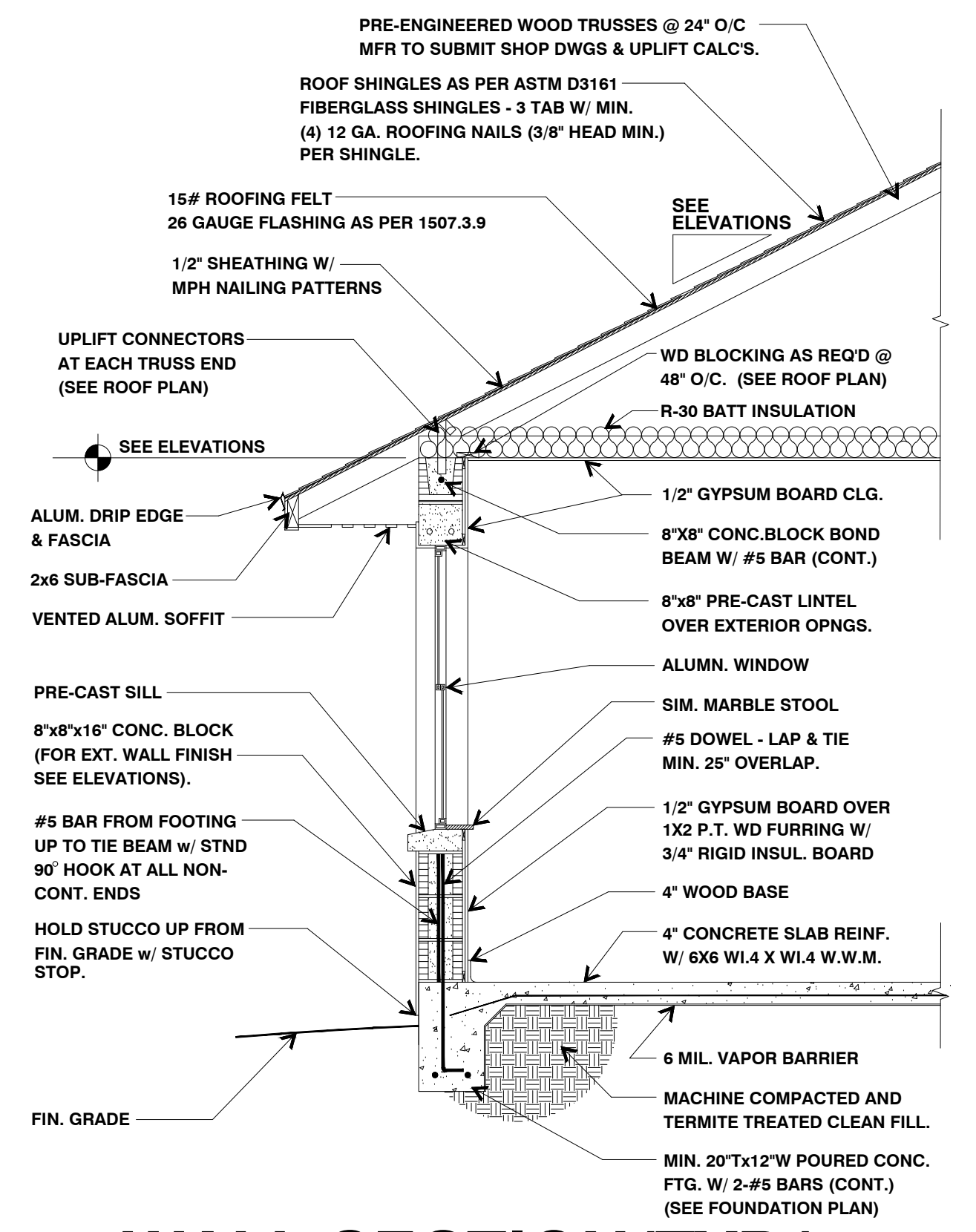
04 BEAM DETAIL
SCALE: N.T.S.
 SCHEMATIC-FOR GENERAL REFERENCE ONLY



03 TRUSS & TOP PLATE
SCALE: N.T.S.
 SCHEMATIC-FOR GENERAL REF. ONLY



02 FRAMING DETAIL
SCALE: N.T.S.
 SCHEMATIC-FOR GENERAL REF. ONLY



06 WALL SECTION (TYP.)
SCALE: N.T.S.
 SCHEMATIC-FOR GENERAL REFERENCE ONLY

FRAMING NOTES

1. WALL FRAMING TO BE METAL STRUCTURE WITH INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. FRAMED ON THE INSIDE OF METAL COLUMNS.
2. CONTRACTOR TO PROVIDE 2" BLOCKING BETWEEN ALL CEILING JOIST.
3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.
4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL & NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
5. ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 PSF (DEAD LOAD), 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10 PSF (DEAD LOAD).
6. ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED UNLESS NOTED OTHERWISE.
7. ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE.
8. ALL BEAM SIZES & LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED OTHERWISE.
10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO. 2, S.Y.P.
11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2, S.Y.P.
12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA., G.I., 24" WIDE MINIMUM.
14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.

ROOF NOTES

1. ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
2. PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
3. ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL & NATIONAL CODES.
5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.
6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER.
7. SEE ELEVATIONS FOR PLATE HEIGHT.

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ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

LOCATION:
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DATE:
06.06.2019

HOUSE PLANS

SHEET TITLE:
ELECTRICAL PLAN

SHEET NO.:

A - 1.07

ELECTRICAL LEGEND

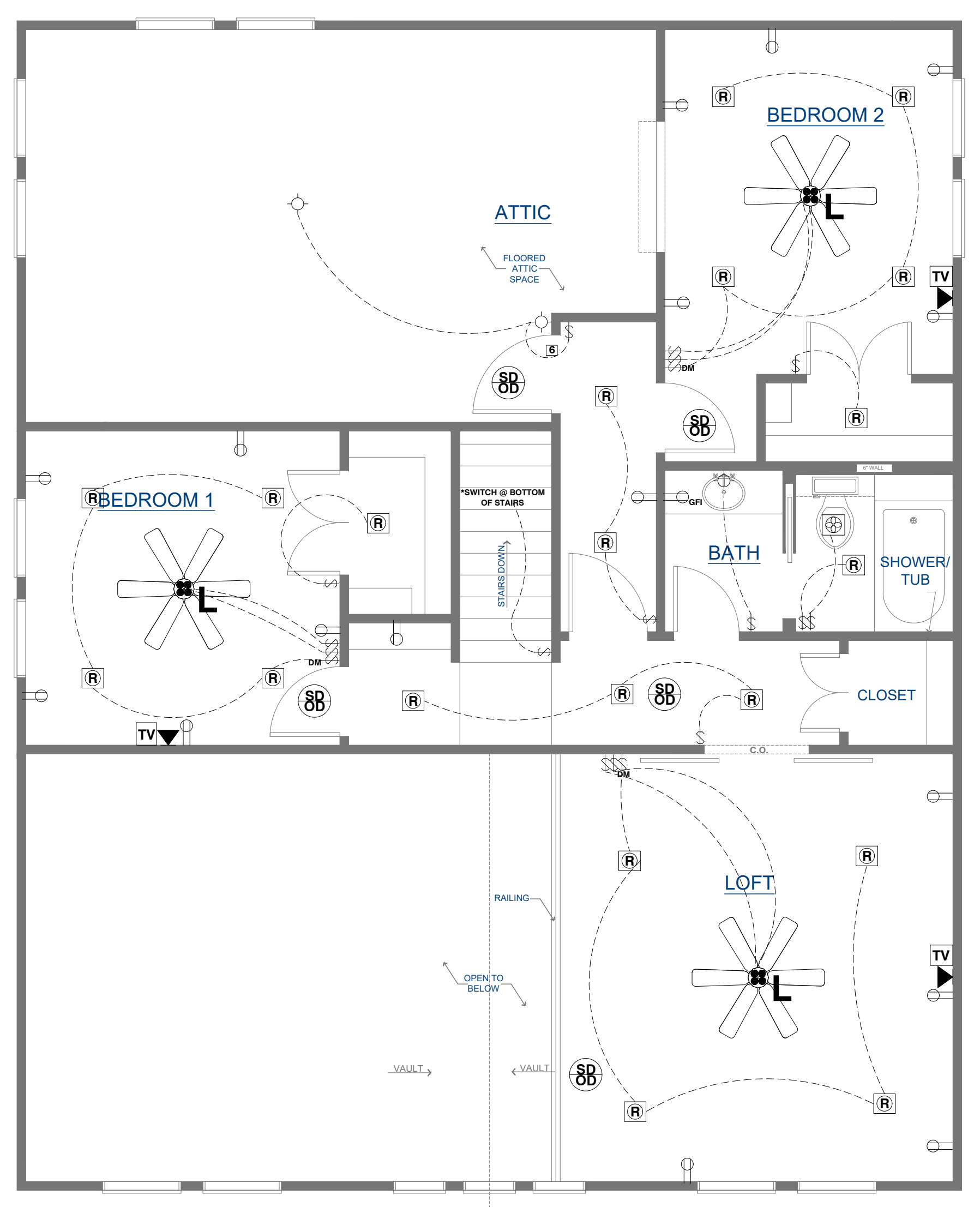
ELECTRICAL	SYM.
CABLE TV OUTLETS	TV
TELEPHONE	▼
UNDER MOUNT LIGHTS	▬
DOUBLE SPOTLIGHT	⬠
LIGHT FIXTURE	⊙
RECESSED CAN LIGHT (VERIFY LOC./OWNER)	Ⓡ
ELECT. & MOUNT KIT FOR FUTURE FAN	Ⓢ
CEILING FAN W/LIGHT	⊗
CEILING FAN W/OUT LIGHT	⊘
EXHAUST FAN W/O LIGHT	Ⓢ
WATERPROOF OUTLET	WP
EXTERIOR OUTLET@EAVE	E
110 VOLT OUTLET	110
220 VOLT OUTLET	220
GROUND FAULT PROTECTED OUTLET	GFI
FLOOR OUTLET W/AV	F
SWITCH	Ⓢ
SWITCH - 3 WAY	3
SWITCH - DIMMER	DM
SMOKE & CO DETECTOR	Ⓢ

KEYED NOTES

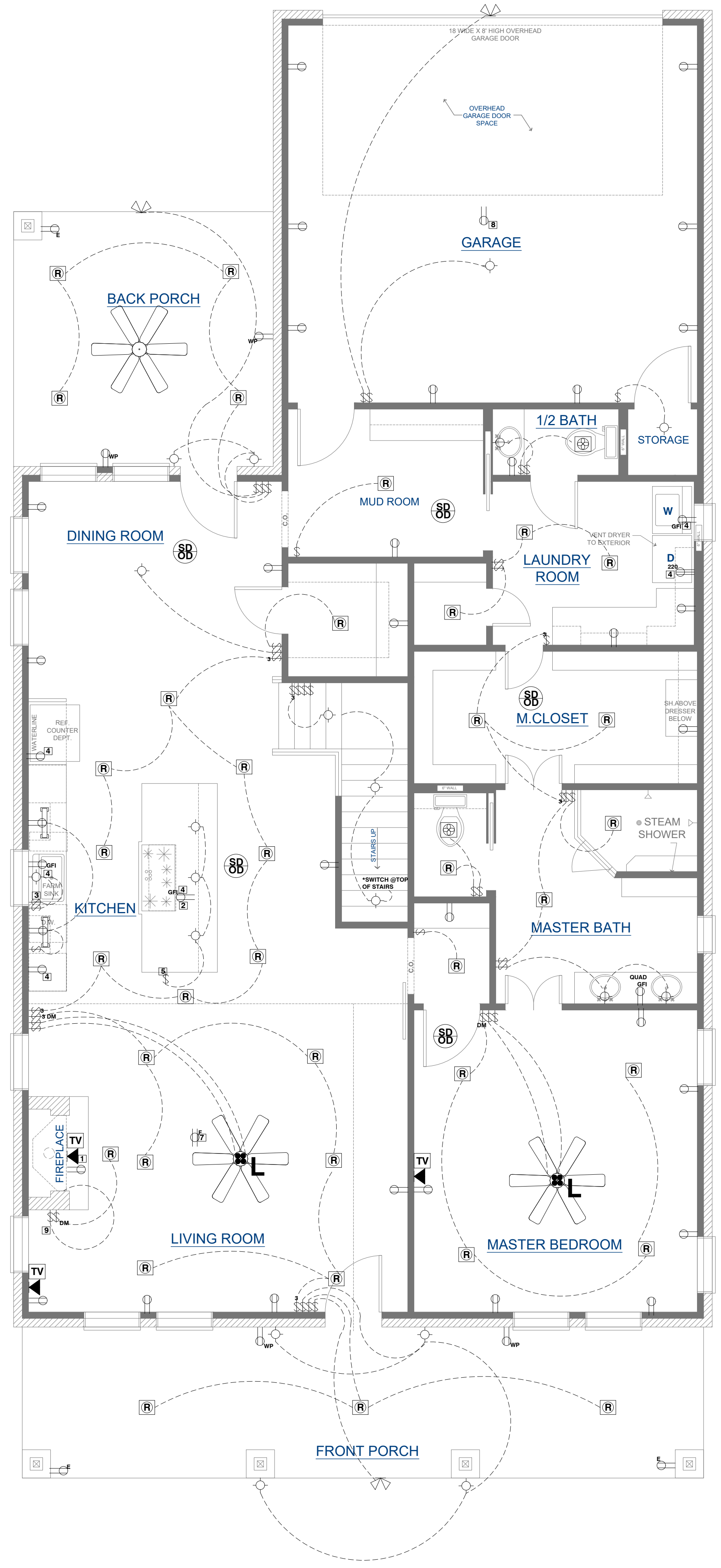
- 1 OUTLET & TV AT MANTEL
- 2 OUTLET FOR DISPOSAL & DW UNDER SINK
- 3 SWITCH FOR DISPOSAL
- 4 OUTLET FOR APPLIANCES
- 5 OUTLET/SWITCH HIGH ON ISLAND
- 6 ATTIC LIGHT & SWITCH
- 7 FLOOR OUTLET
- 8 OUTLET @ CEILING
- 9 FIREPLACE VENT FAN

ELECTRICAL NOTES

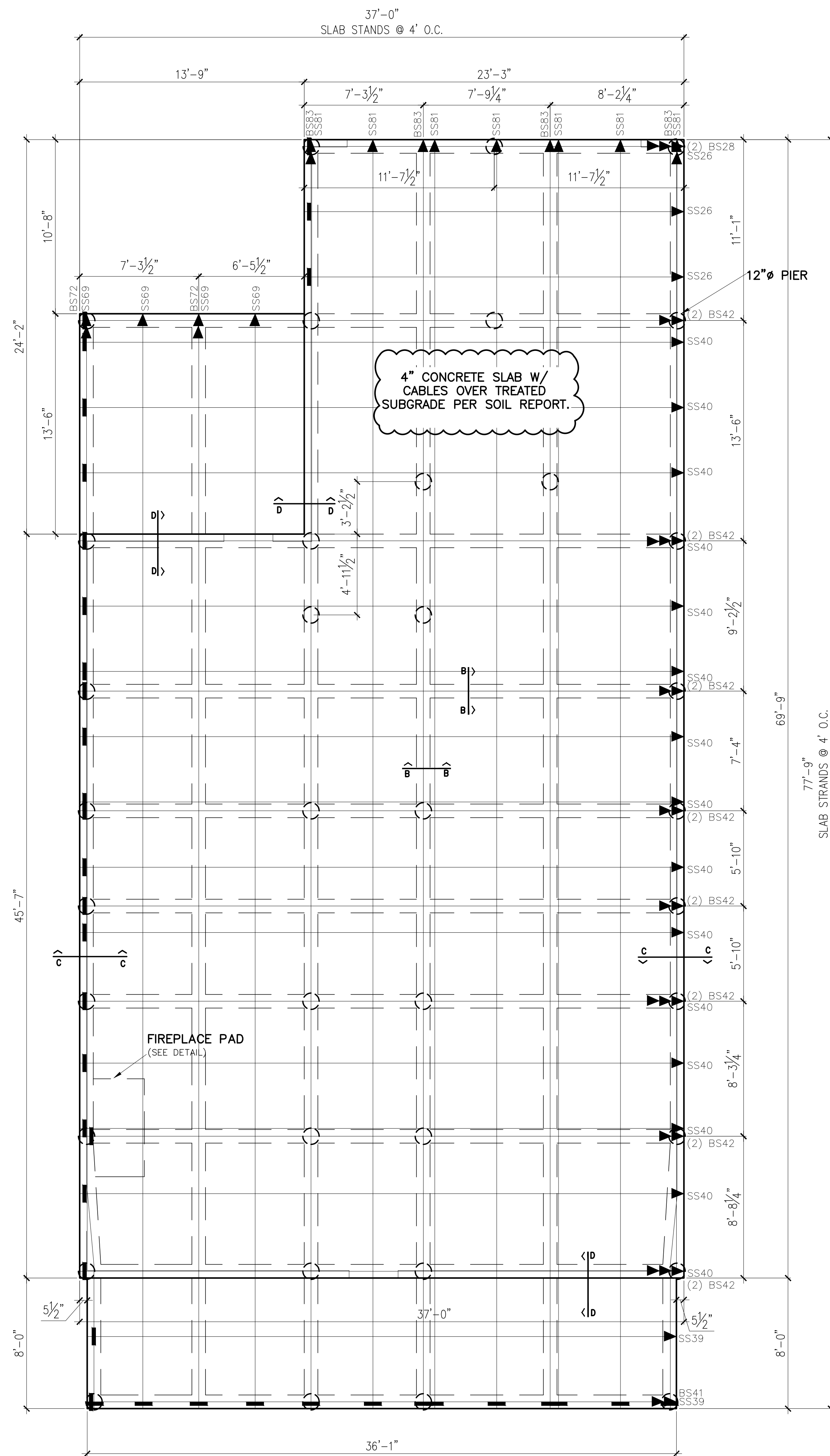
1. FLOOR BOXES TO HAVE 110 QUAD OUTLETS
2. ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
3. ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS & MAKE ANY NECESSARY ADJUSTMENTS
4. SMALLEST WIRE SIZE TO BE 12-2.
5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
7. CONTRACTOR TO LOCATE PHONE, CABLE, ETC. AS PER OWNERS SPECIFICATIONS.
8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.
10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.



01 ELECTRICAL PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"



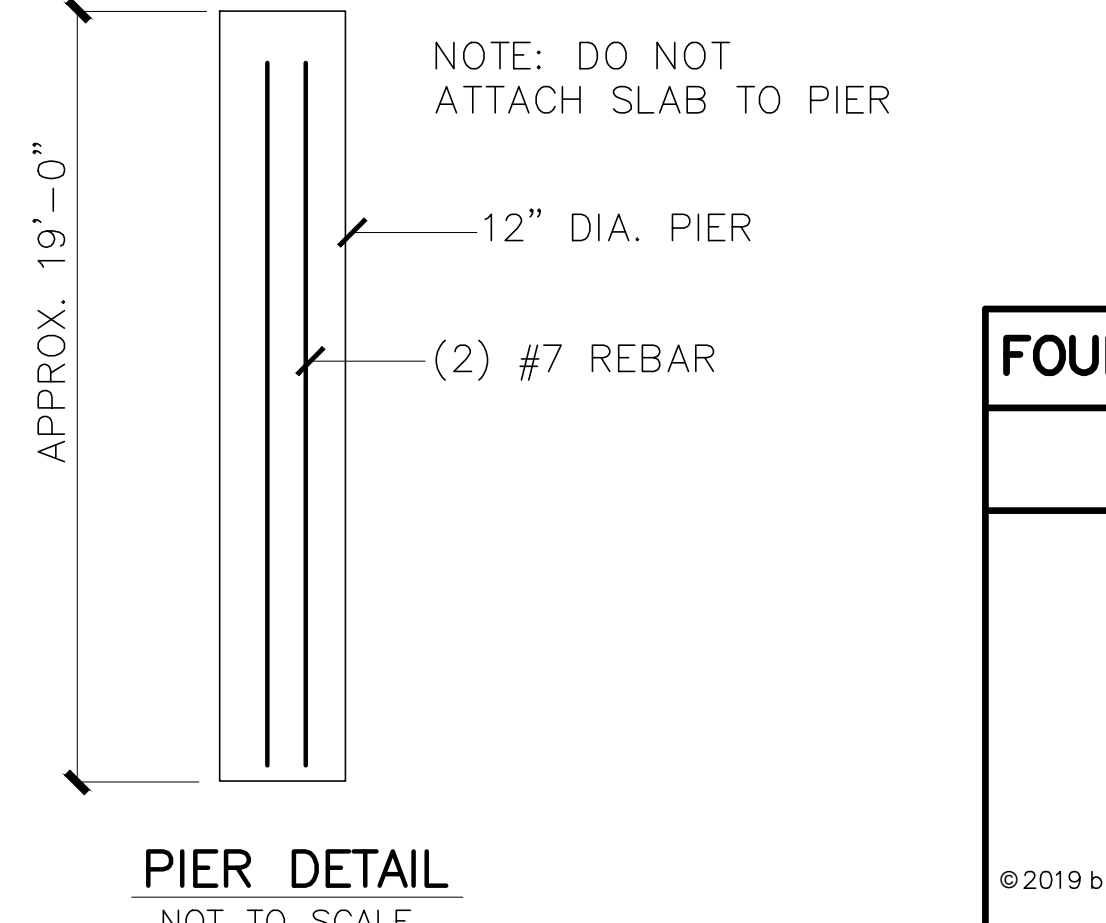
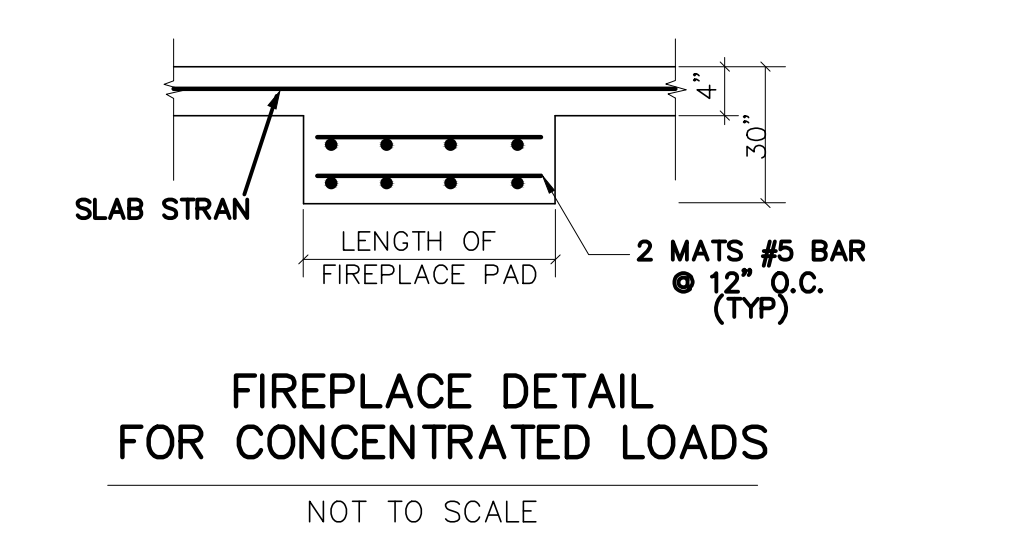
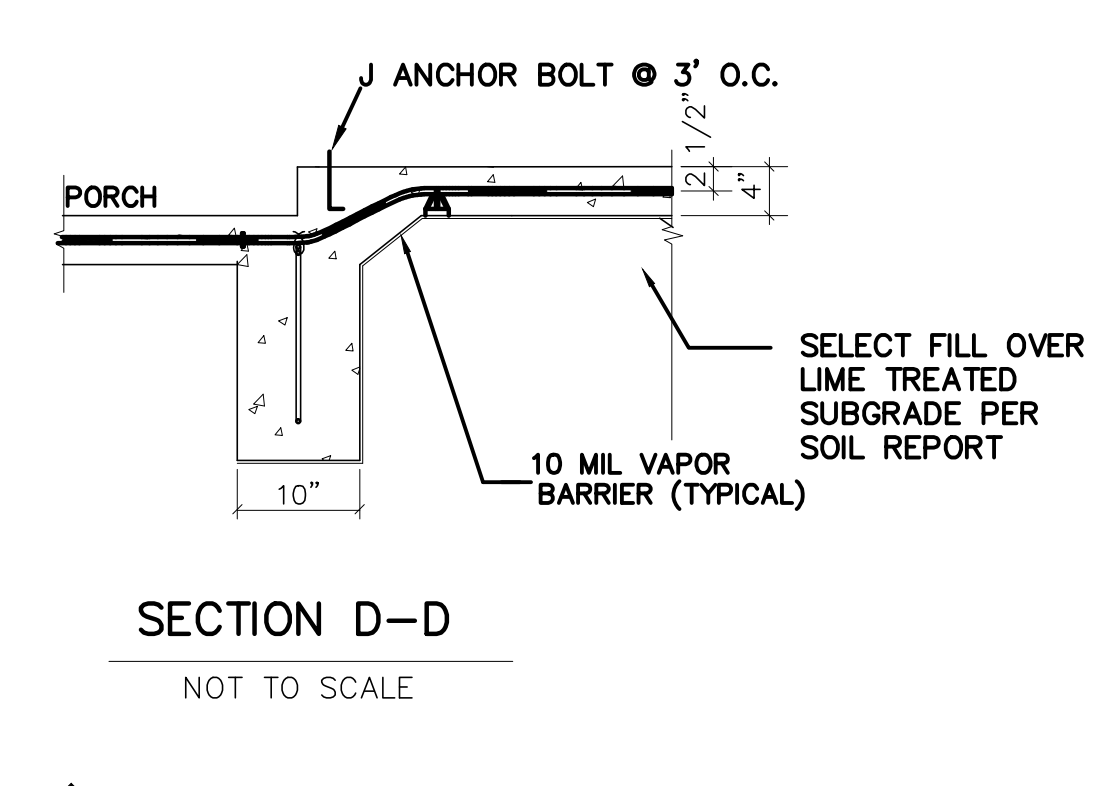
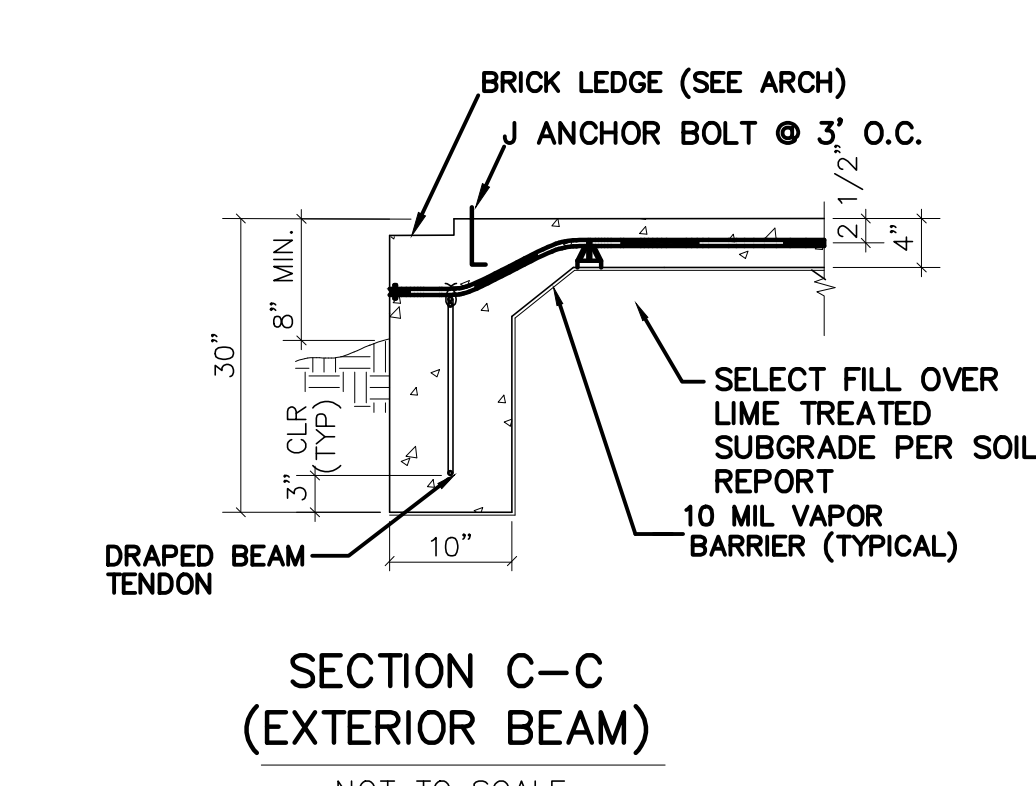
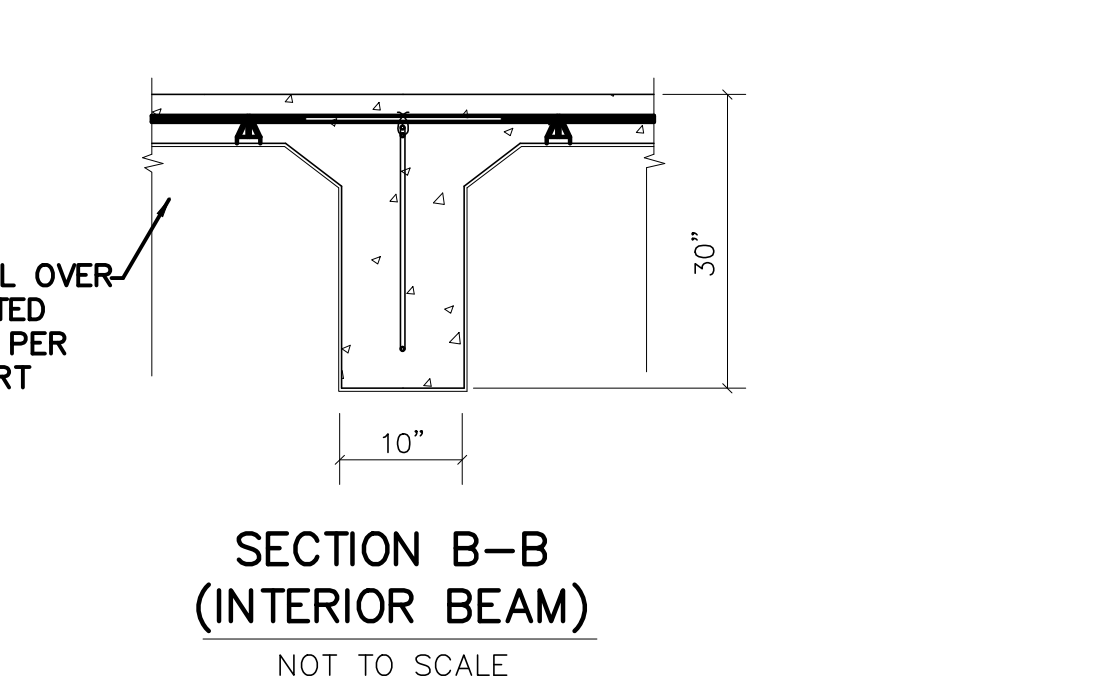
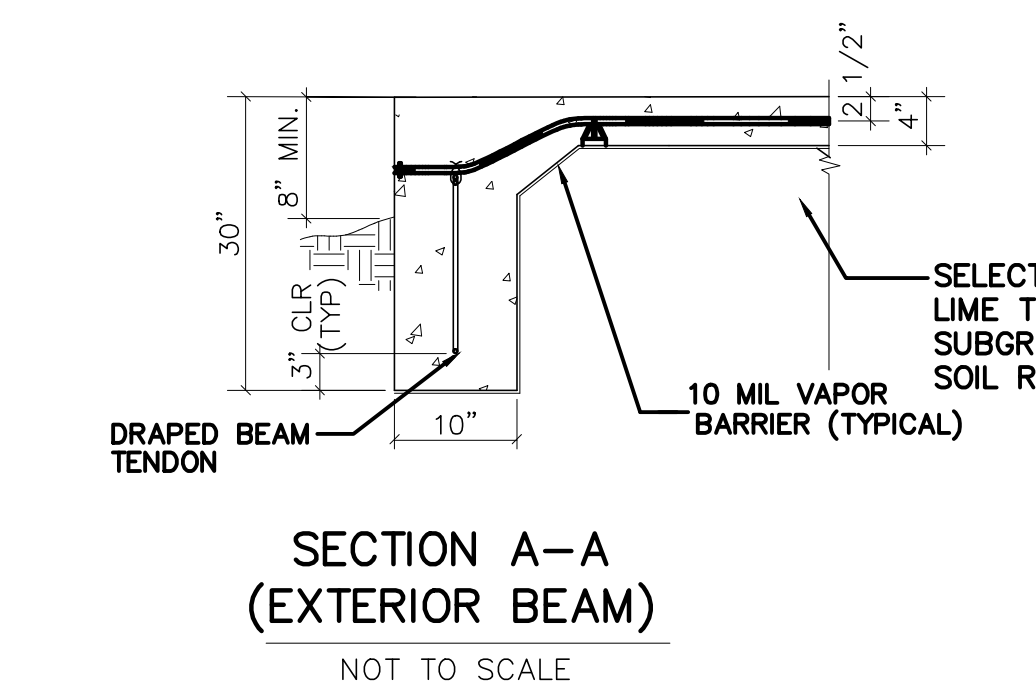
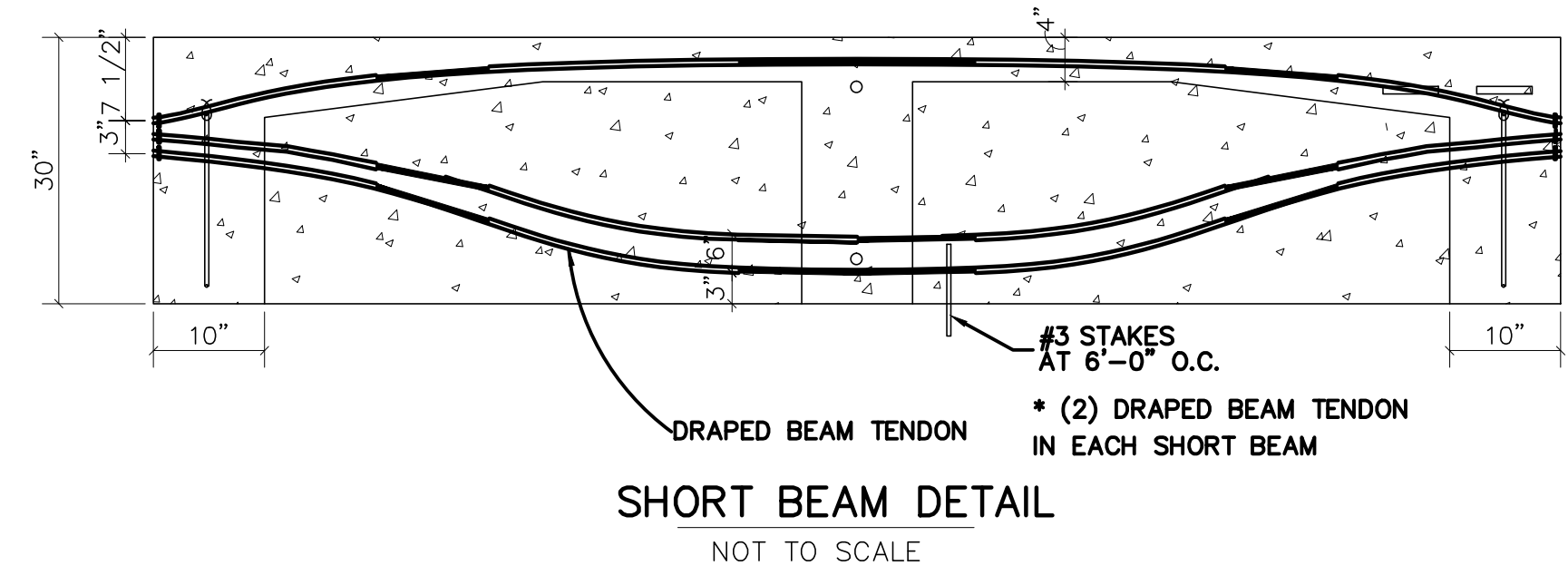
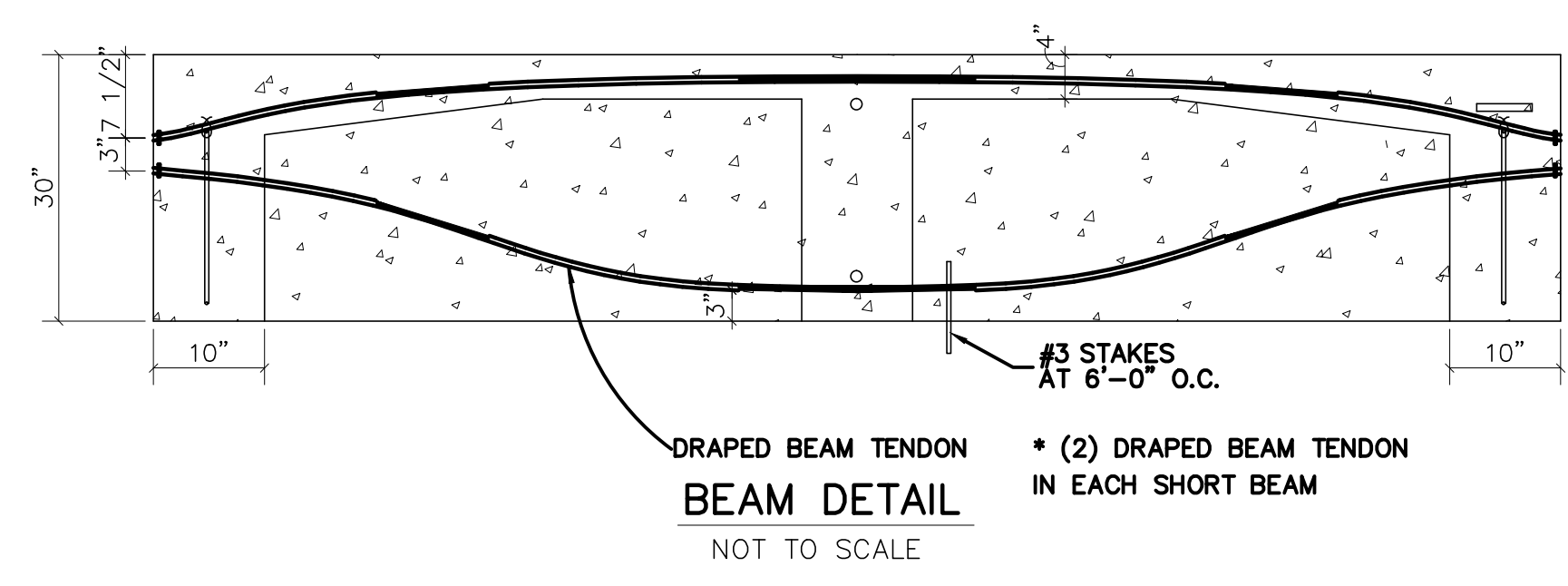
01 ELECTRICAL PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"



NOTE:
 1. CONTRACTOR TO VERIFY DIMENSIONS WITH ARCH DWGS PRIOR TO PLACEMENT OF CONCRETE.
 2. REFER TO SOIL REPORT BY HOOPER GROUP, INC. #19.386, DATED DEC. 3, 2019.

LEGEND

---	BEAM
←←	TWO CABLE
←	ONE CABLE
SS	SLAB STEEL
BS	BEAM STEEL
←← BS	(2) BEAM STEEL SHORT END
⊥	DEAD END



FOUNDATION PLANS & DETAILS

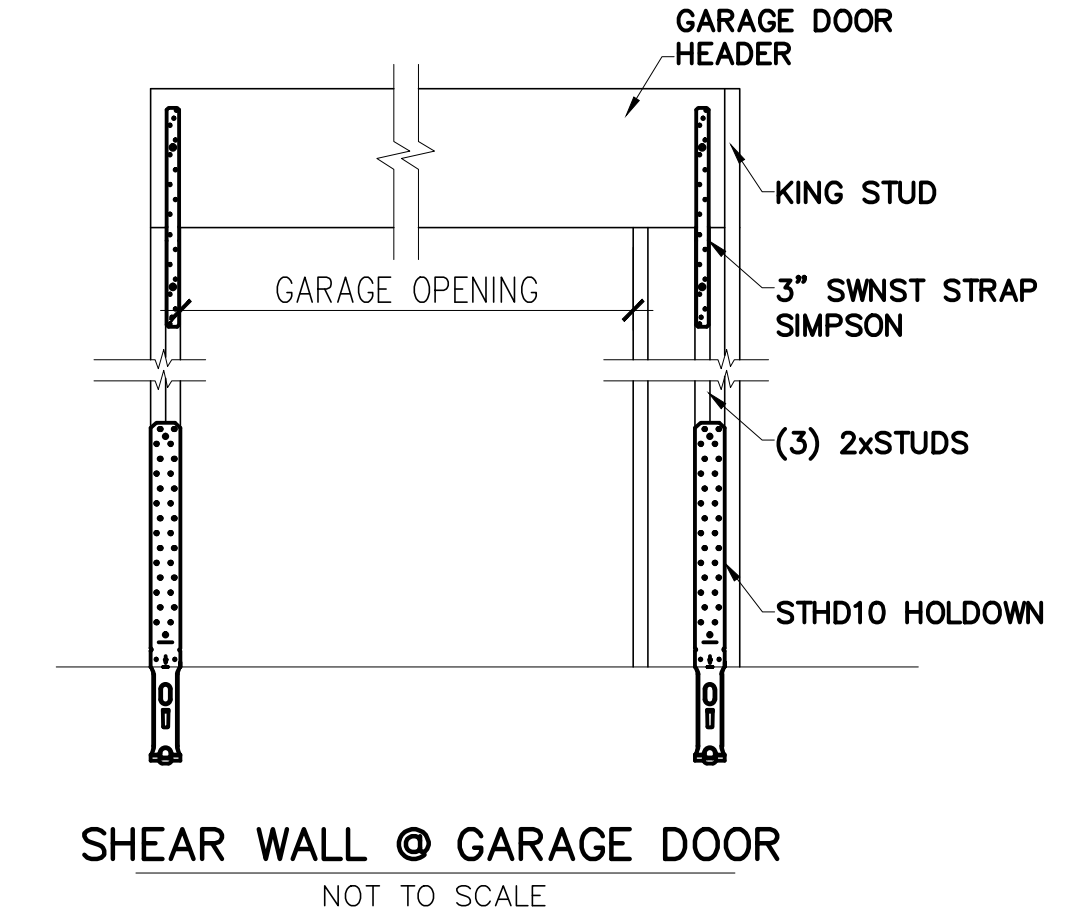
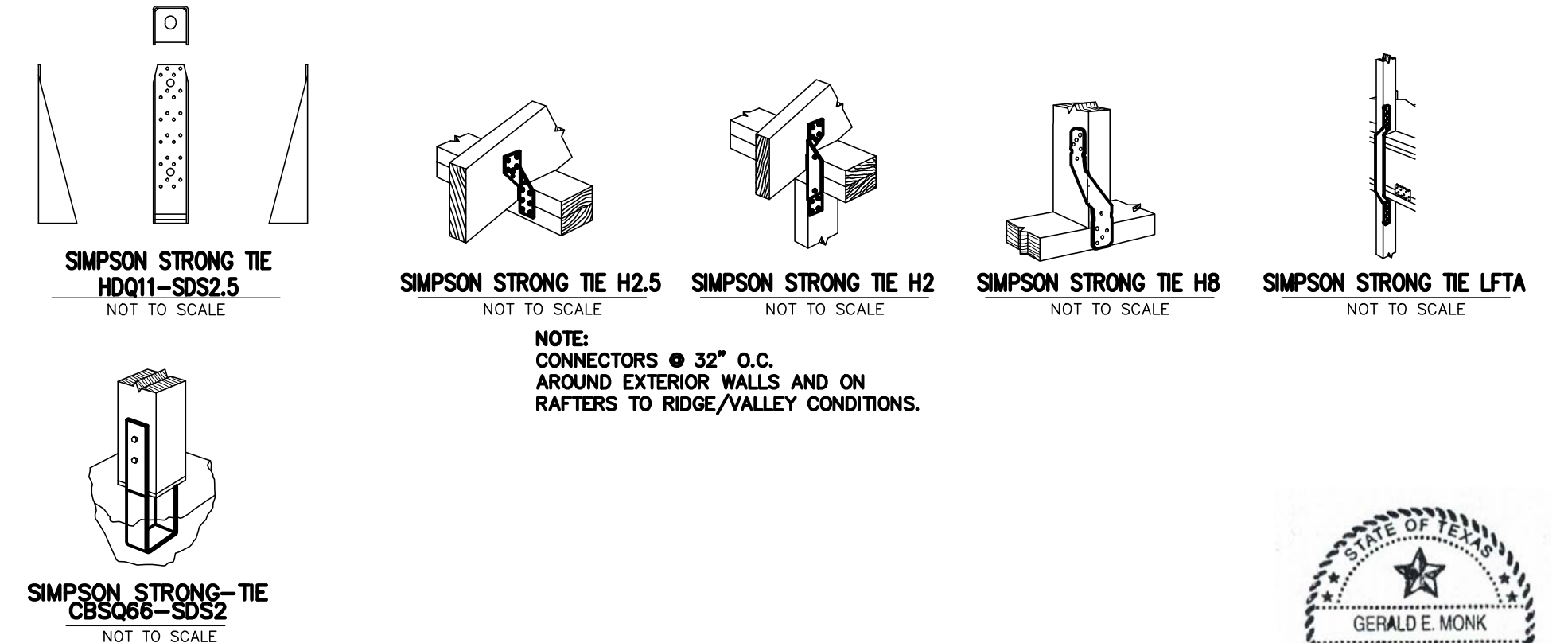
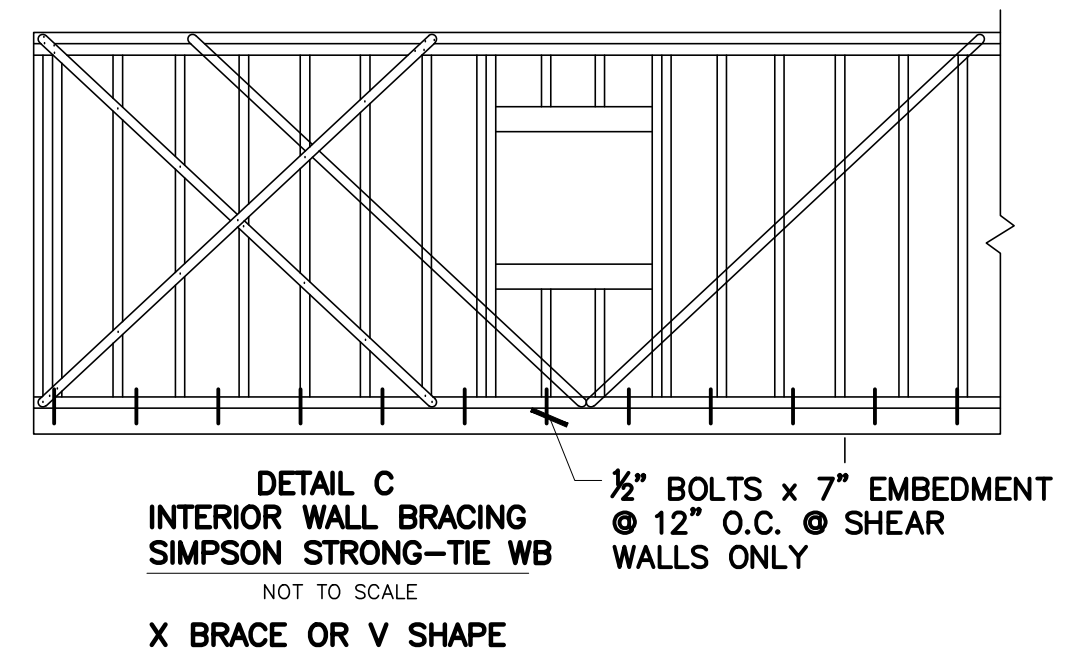
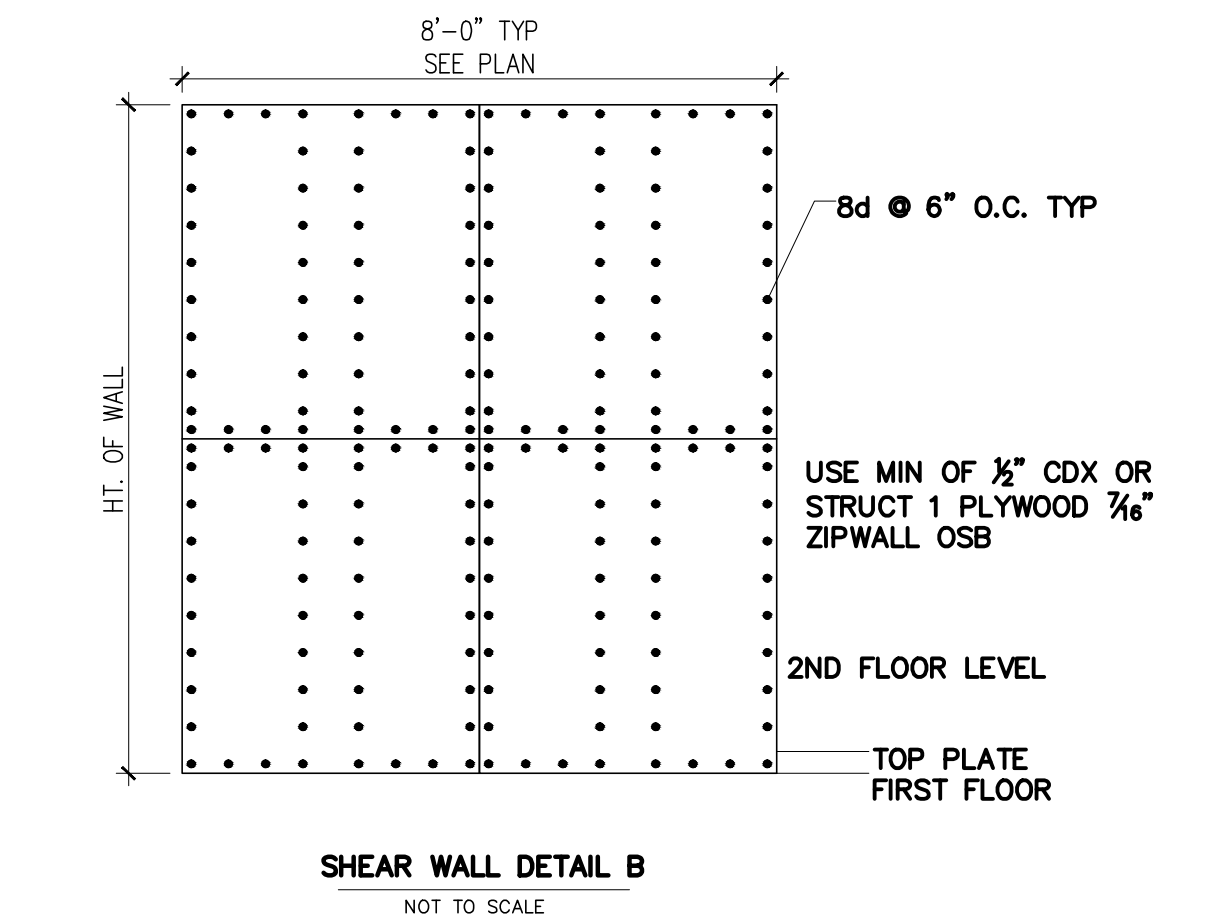
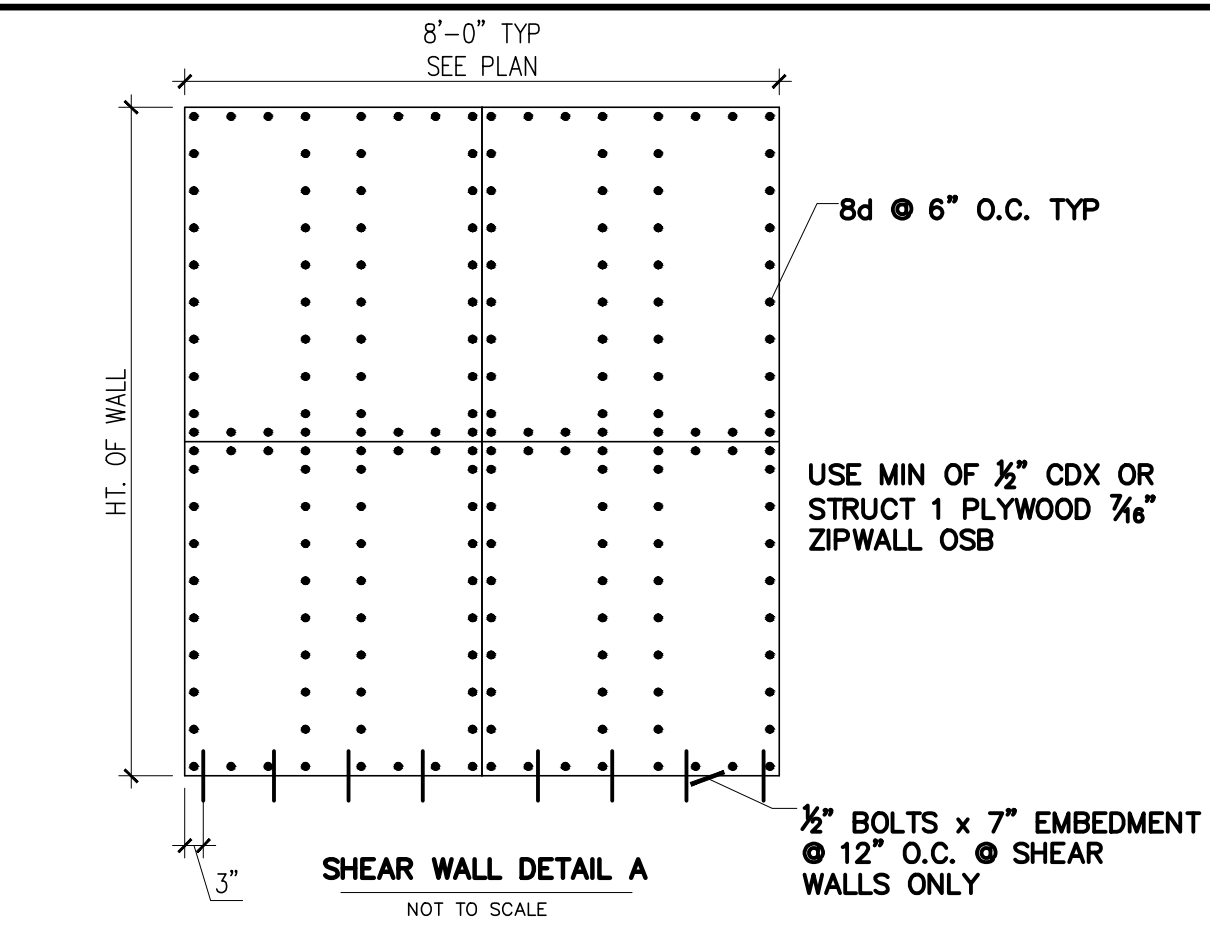
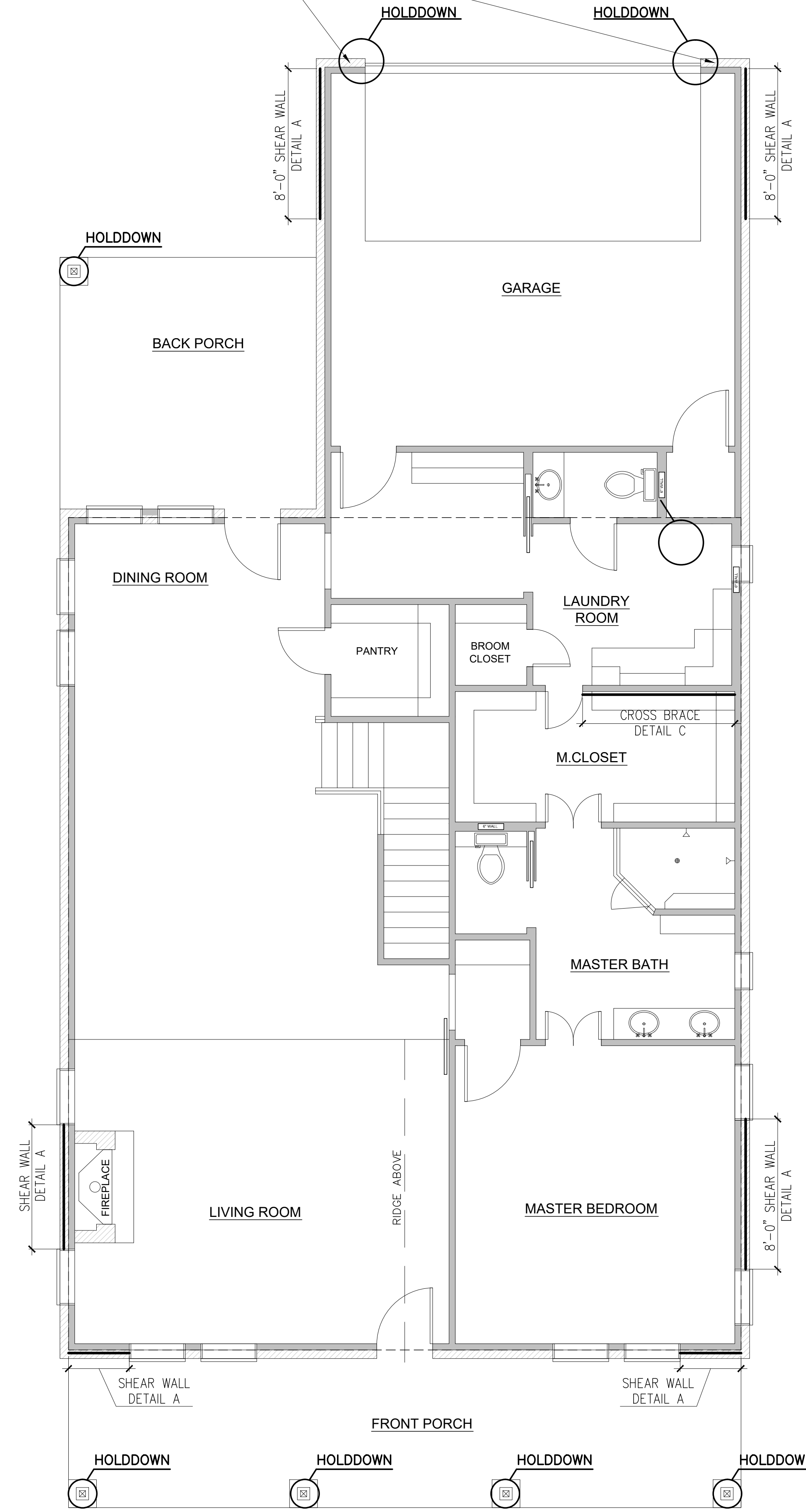
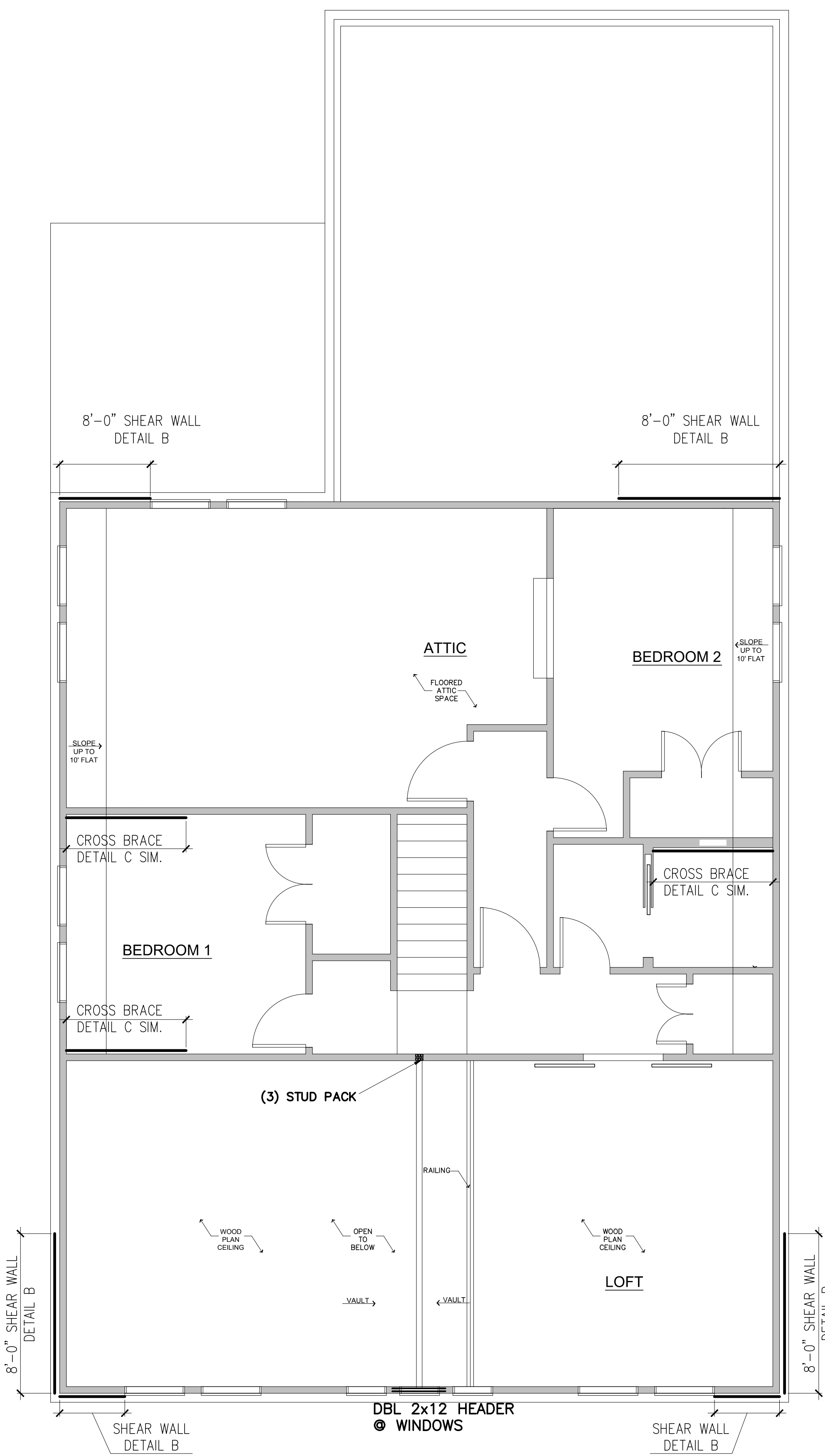
702 PARKS AVE
 ROCKWALL, TEXAS 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
 1200 W. State Street, Garland Texas 75040
 972 272-1763 Fax 972 272-8761

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date: 12/11/19 scale: 1/4" = 1' sheet: **S101**

NOTE: GARAGE DOOR HEADER TO EXTEND TO CORNER @ CORNER OF WALL, SIMPSON STRAPS ADDED PER DETAIL



NOTE: USE J ANCHOR BOLTS TO BOLT BTM PLATE @ 3' O.C. - ALL PERMETER WALLS (RE: S101/DETAIL C & D)



SHEAR WALL PLAN

702 PARKS AVE

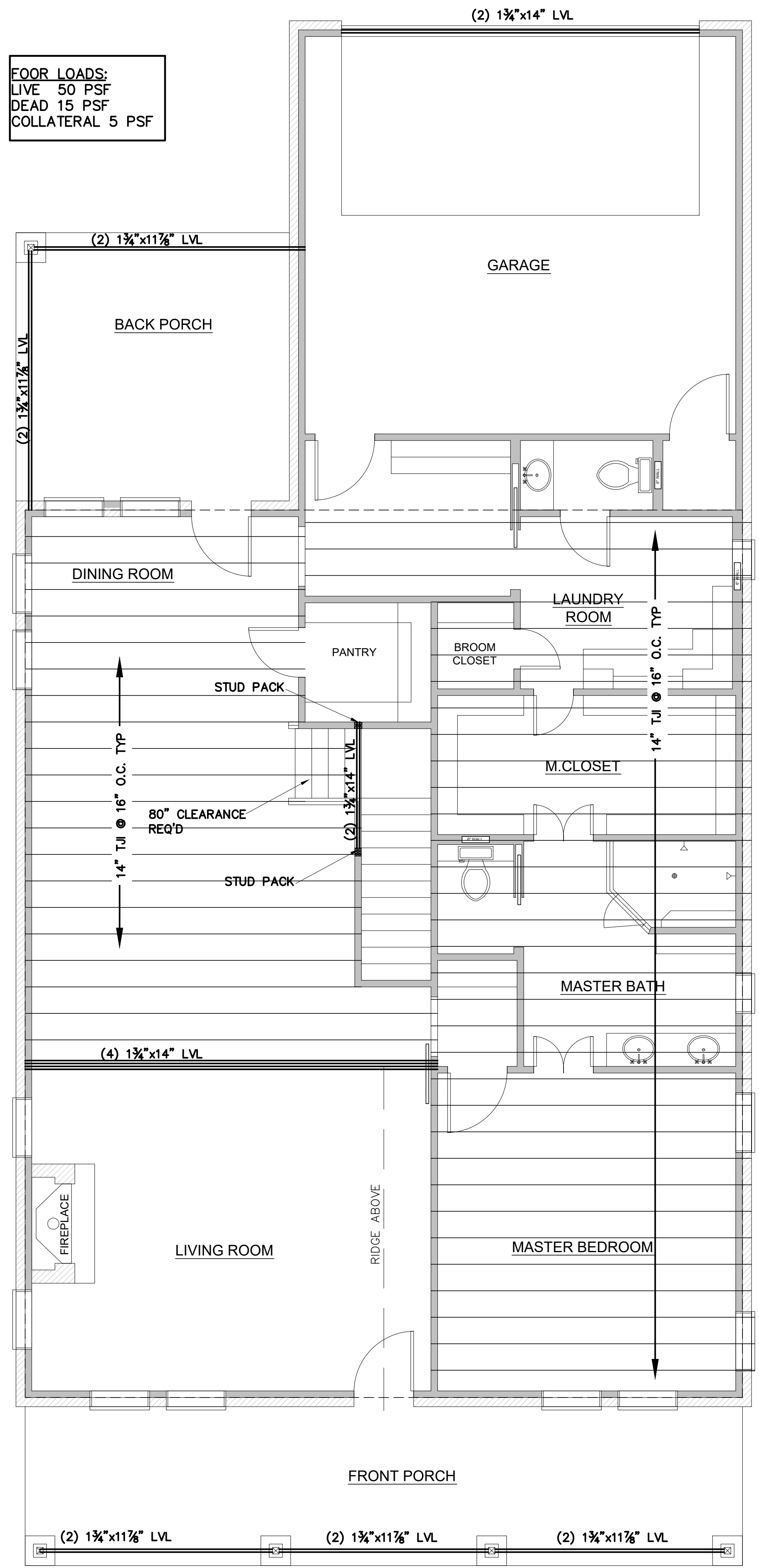
ROCKWALL, TEXAS 75087

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MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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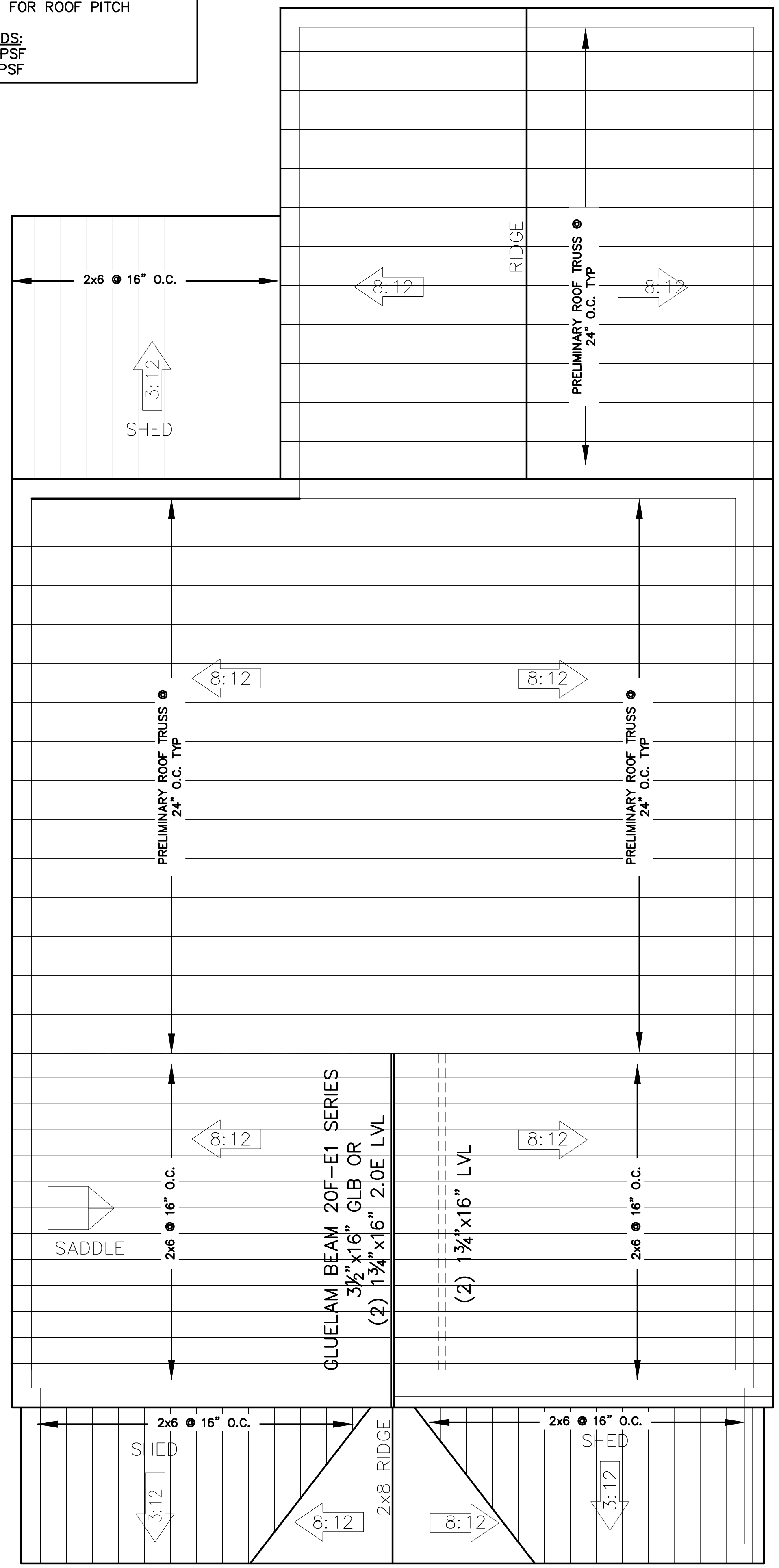
date: 12/11/19 scale: 1/4" = 1' sheet: **S201**

FLOOR LOADS:
LIVE 50 PSF
DEAD 15 PSF
COLLATERAL 5 PSF

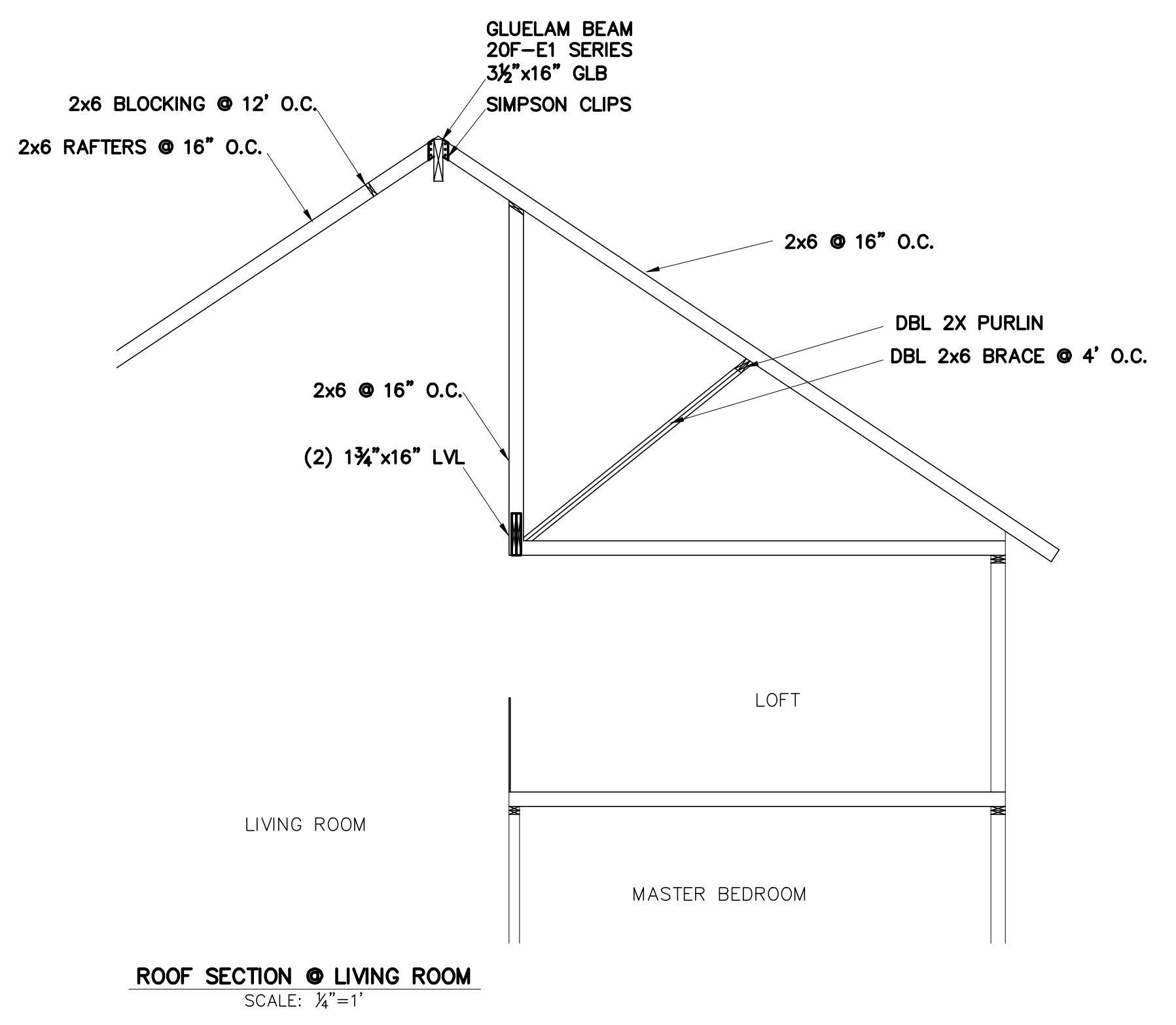


FLOOR JOIST PLAN
SCALE: 1/4" = 1'

NOTES:
SEE ARCH FOR ROOF PITCH
ROOF LOADS:
LIVE 25 PSF
DEAD 15 PSF



ROOF FRAMING PLAN
SCALE: 1/4" = 1'



ROOF SECTION @ LIVING ROOM
SCALE: 1/4" = 1'



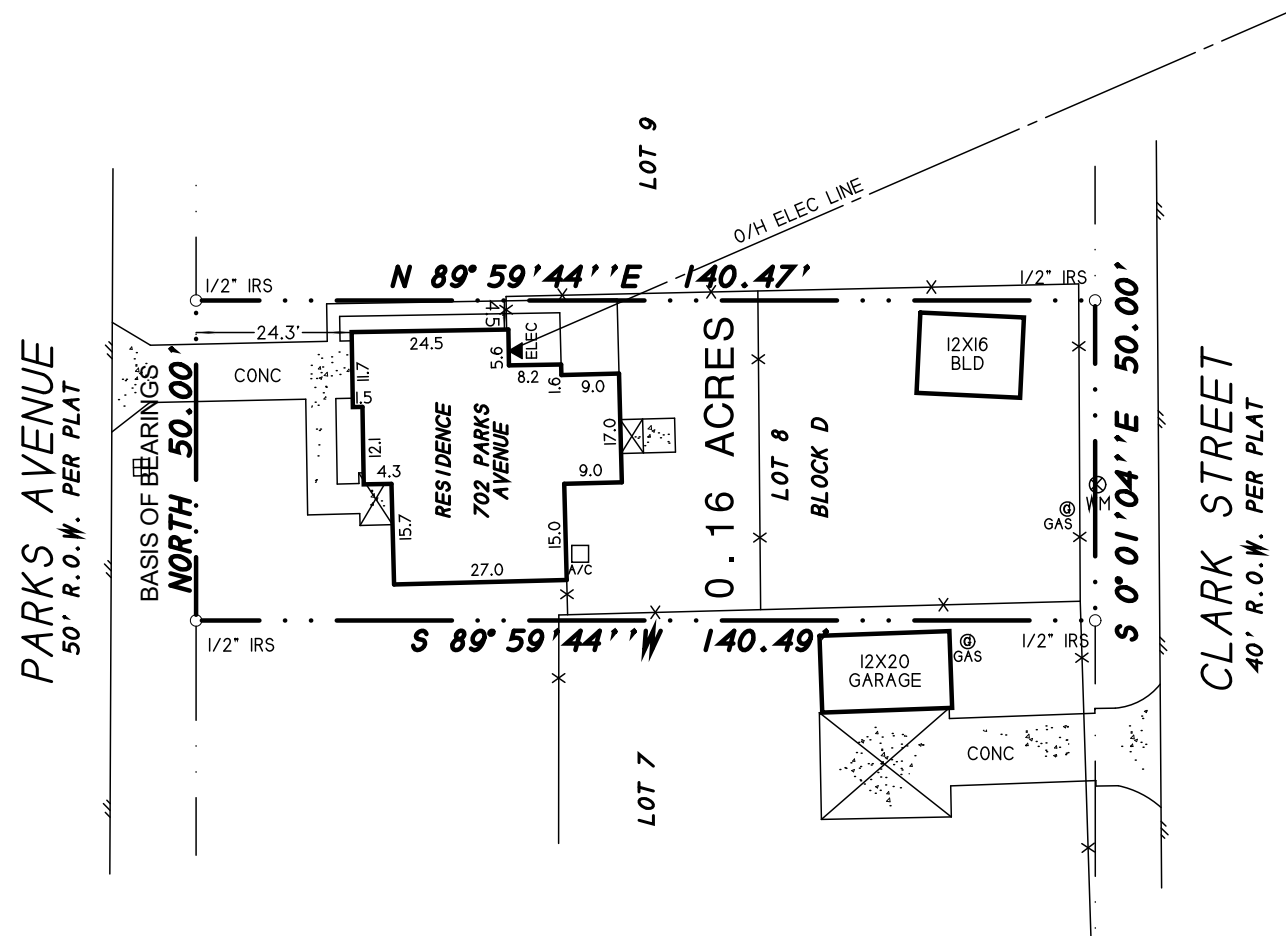
FLOOR JOIST & ROOF FRAMING PLAN
702 PARKS AVE
ROCKWALL, TEXAS 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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REG NO.: F-2567

date:	scale:	sheet:
12/11/19	1/4" = 1'	S301

PLAT OF SURVEY



DESCRIPTION


BEING Lot 8, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 702 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT
ELEC BOX	ELEC SUBSURFACE JUNCTION BOX	WATER METER	LIGHT POLE
FENCE	EASEMENT LINE	PROPERTY LINES	POWER POLE
			1/2" IRF IRON ROD FOUND (CORNER)
			A/C UNIT
			PROPANE TANK

SURVEY DATE OCTOBER 1, 2018
 SCALE 1" = 30' FILE # 20180297-8
 CLIENT WARDELL GF # 1884847-10GH

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____



February 13, 2020

City of Rockwall
Planning & Zoning Department
385 S. Goliad St.
Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to read "Reese Baez", is written over a horizontal line.

Reese Baez
Triton General Contractor
469-931-2267

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

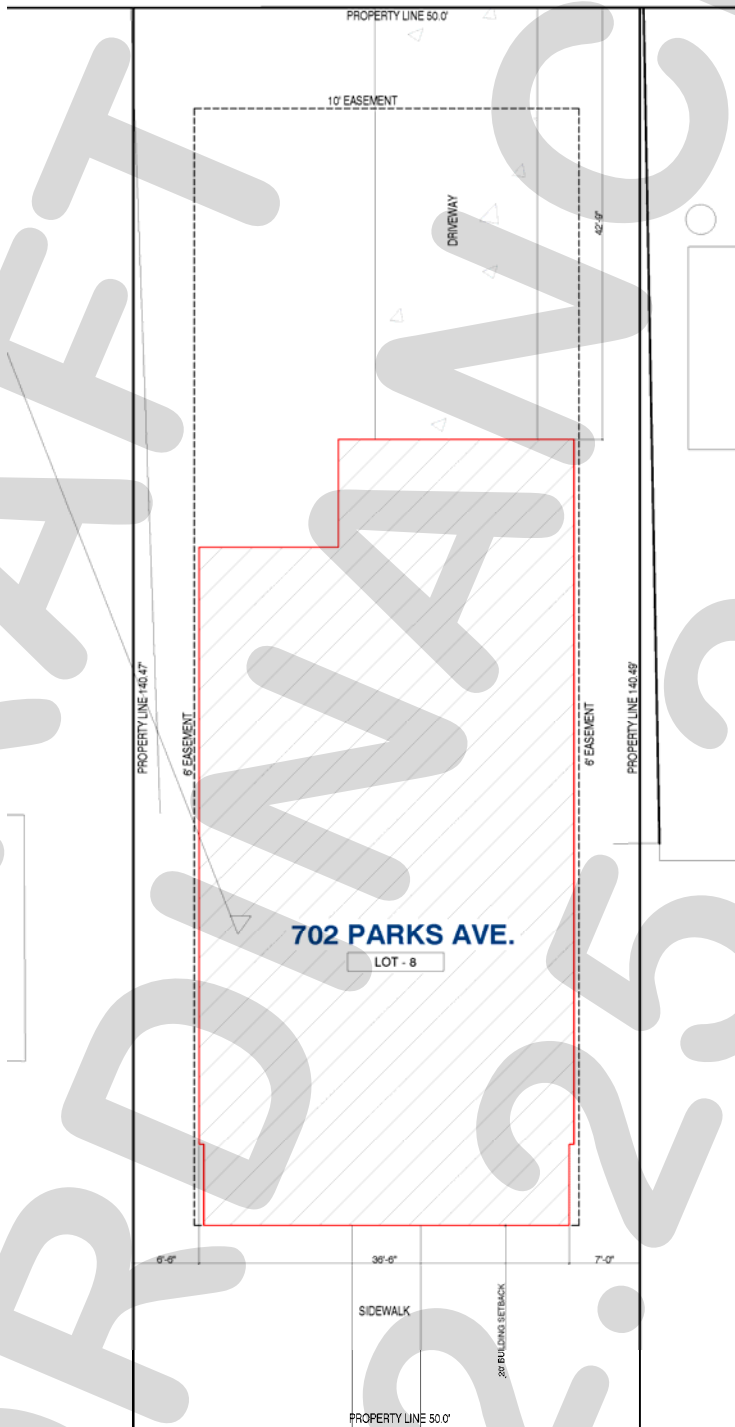
Frank J. Garza, *City Attorney*

1st Reading: March 16, 2020

2nd Reading: April 6, 2020

Exhibit 'B':
Residential Plot Plan

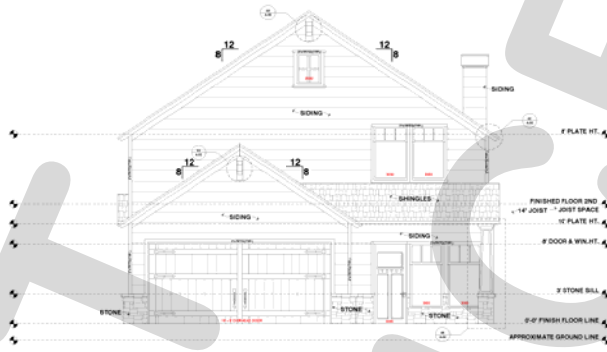
CLARK STREET
40' R.O.W. PER PLAT



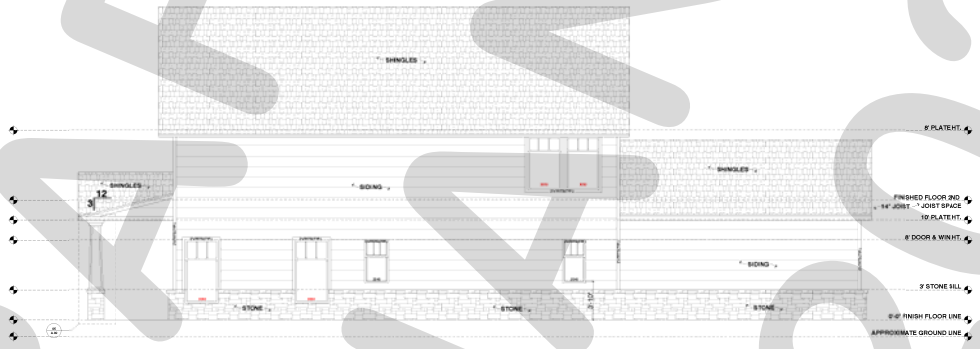
50' R.O.W. PER PLAT
PARKS AVENUE



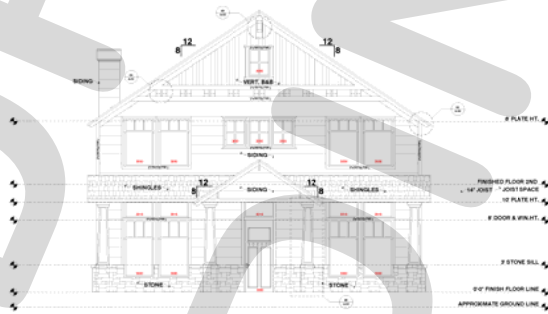
**Exhibit 'C':
Building Elevations**



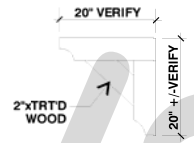
02 BACK ELEVATION
SCALE: 1/4" = 1' - 0"



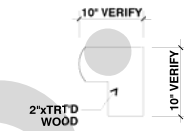
01 RIGHT ELEVATION
SCALE: 1/4" = 1' - 0"



02 FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



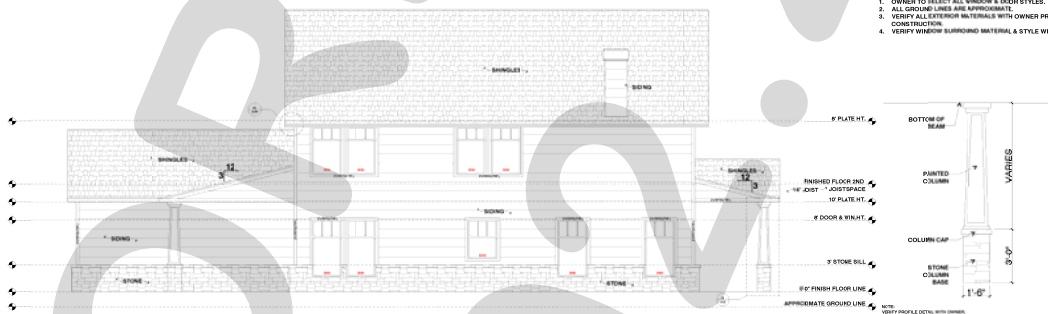
03 BRACKET 1 DETAIL
NOT TO SCALE



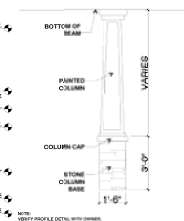
04 BRACKET 2 DETAIL
NOT TO SCALE

NOTES

1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
2. ALL GROUND LINES ARE APPROXIMATE.
3. VERIFY ALL EXTERIOR MATERIALS WITH OWNERS PRIOR TO CONSTRUCTION.
4. VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.



01 LEFT ELEVATION
SCALE: 1/4" = 1' - 0"



05 COLUMN DETAIL
SCALE: 1/2" = 1' - 0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 10, 2020
APPLICANT: Reese Baez
CASE NUMBER: Z2020-002; *Specific Use Permit (SUP) for a Residential Infill for 702 Parks Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

BACKGROUND

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [are] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [1983] from which this [the] Unified Development Code is derived which has not been divided [or assembled] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

PURPOSE

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 8 (*i.e. 702 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-003*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 610 Parks Avenue*).

ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 704 Parks Avenue (*i.e. Lot 9, Block D, Foree Addition*). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. Pecan Grove, Stark, & Wade*). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property is 610 Parks Avenue (*i.e. Lot 7, Block D, Foree Addition*). South of this are three (3) residential homes followed by Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (*e.g. F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (*i.e. Rockwall Assembly of God*). All of these properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	Two (2) Stories (<i>i.e. ~27-feet at the Midpoint of Roof</i>)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	<i>N/A</i>
Building SF on Property	1,264 SF – 3,912 SF	3,450 SF
Building Architecture	Various [<i>Minimal Traditional, Tudor, Ranch, etc.</i>]	<i>Comparable Architecture</i>
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard and Stone
Paint and Color	Pink, Yellow, White, and Tan	White (with Black Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the

properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 702 PARKS AVE ROCKWALL, TX 75087
 Subdivision Forees Addition Vol. 12 Pg 568 Lot 8 Block D
 General Location Parks Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential SF-7 Current Use Residential
 Proposed Zoning N/A Proposed Use Residential
 Acreage 0.16 Lots [Current] Lots [Proposed] 0.16

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Applicant Rose Baez
 Contact Person 1025. Goliad st #108
 Address ↓
 City, State & Zip Rockwall TX 75087
 Phone rbacz@tritongc.com
 E-Mail rbacz@tritongc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

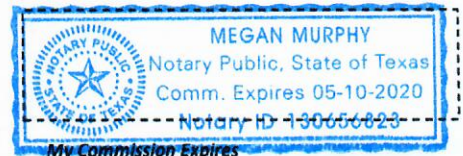
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

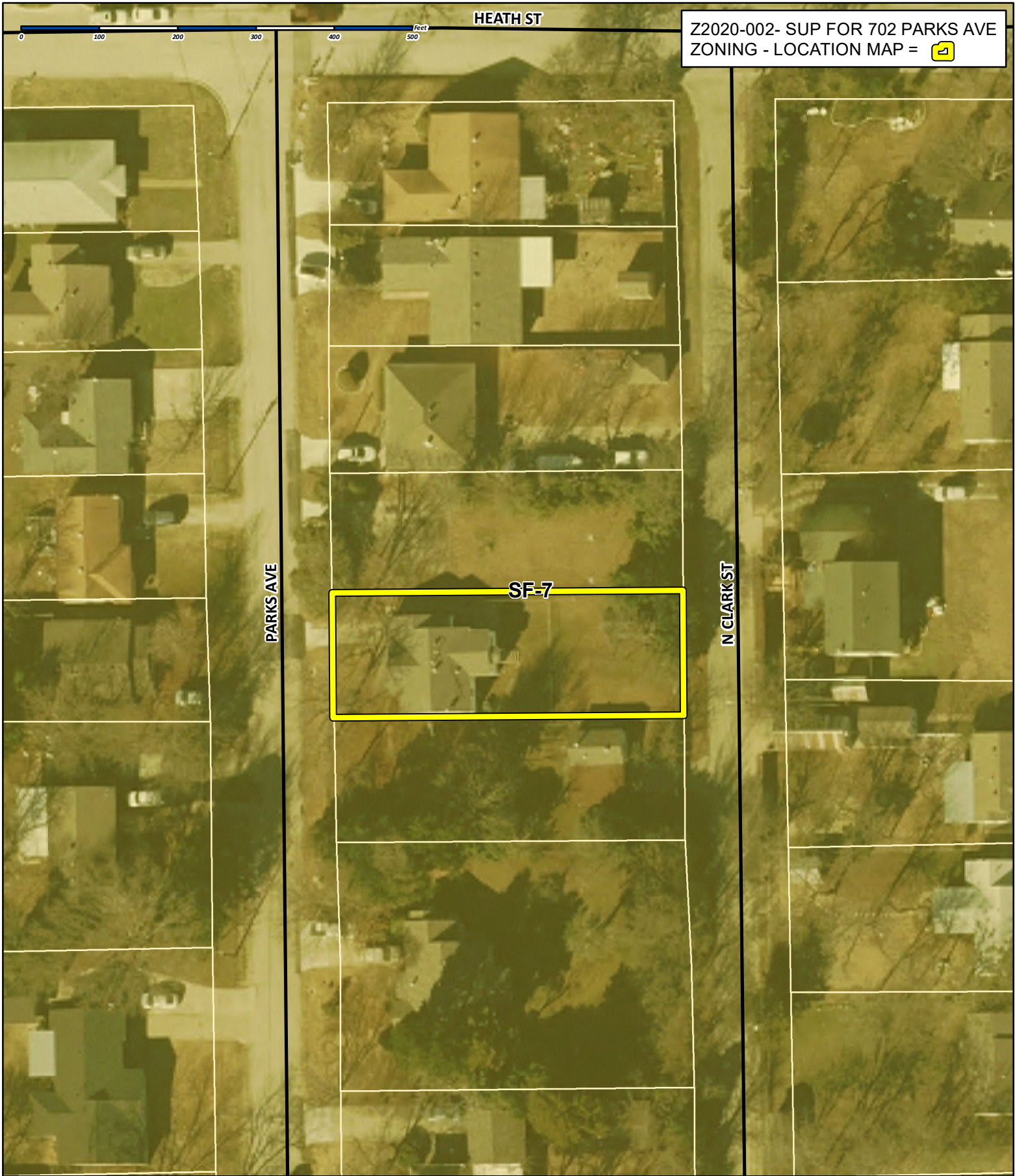
Given under my hand and seal of office on this the 11 day of FEBRUARY, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]

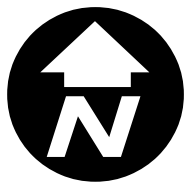




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

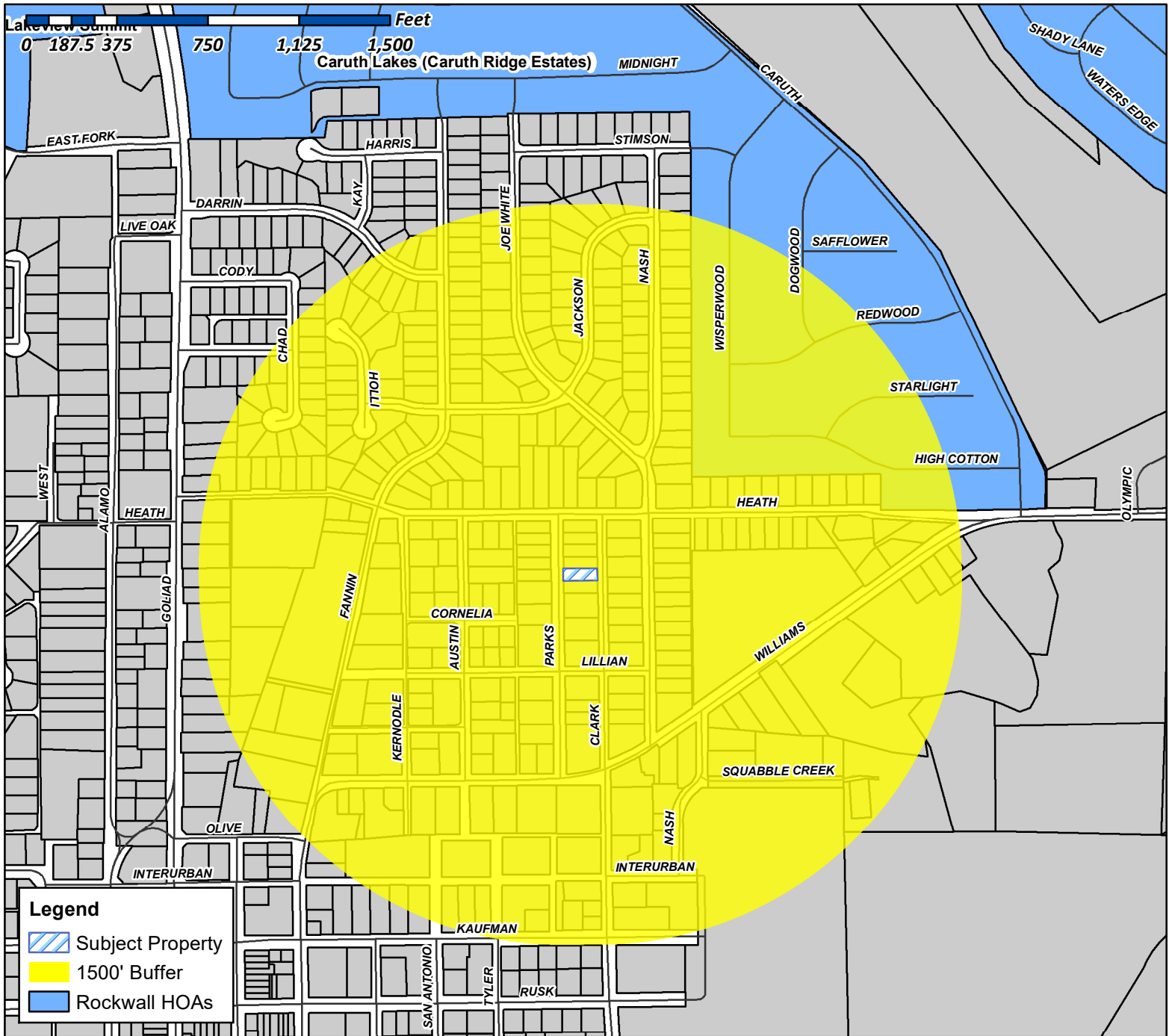




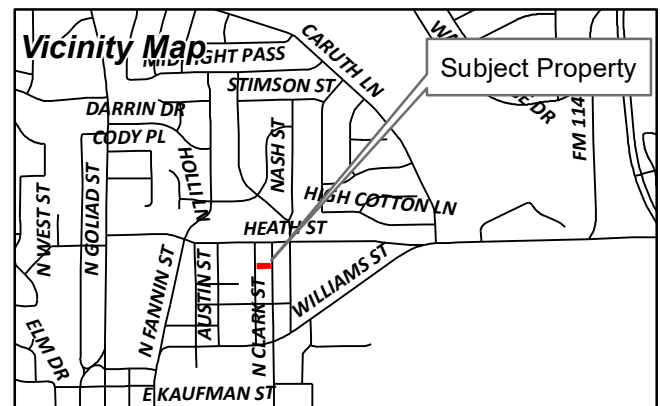
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



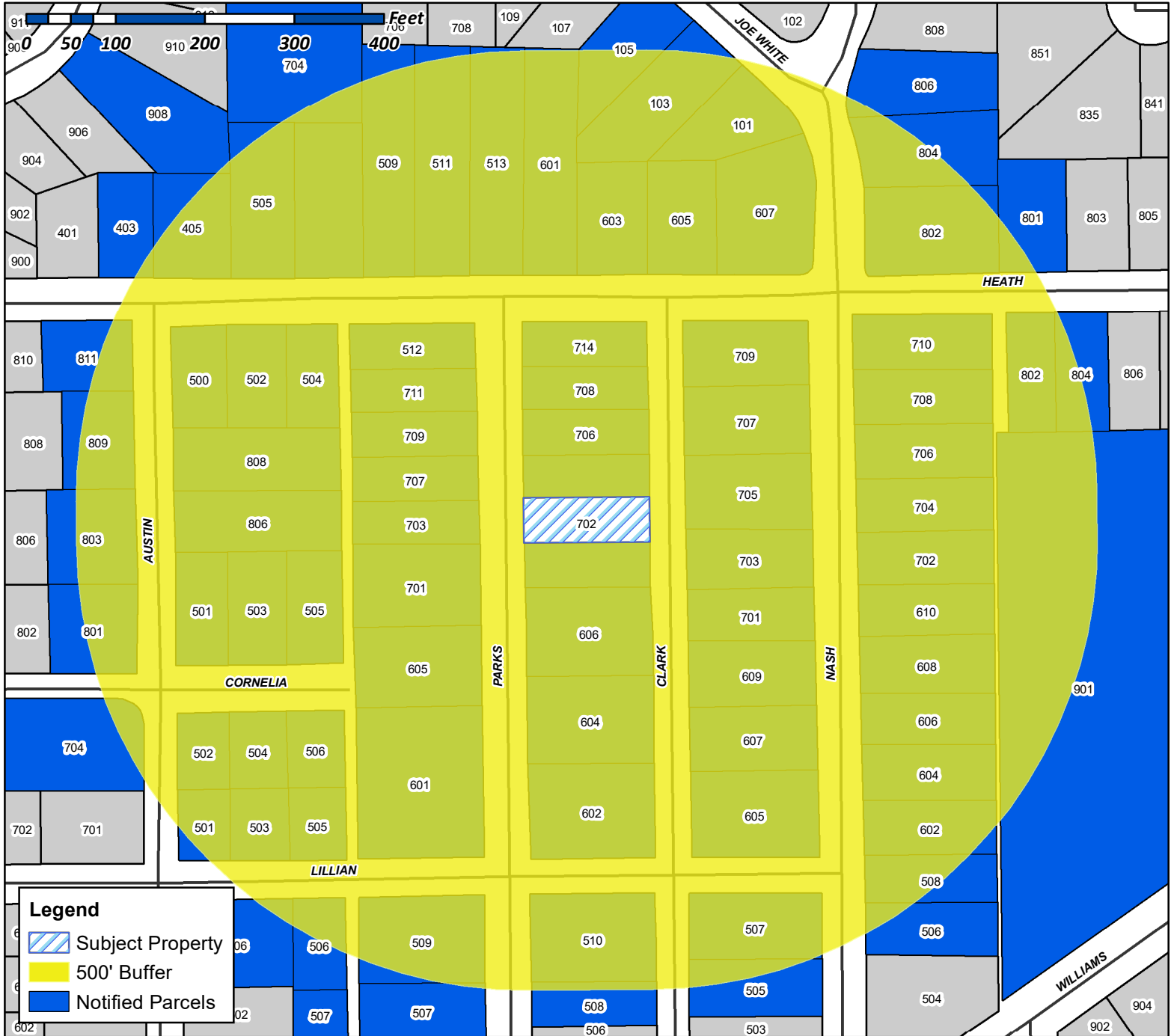
Date Created: 2/19/2020
 For Questions on this Case Call (972) 771-7745



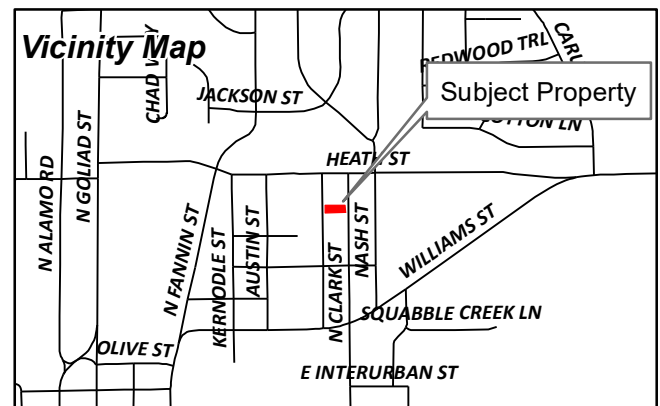
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave.
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-002: 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT RESIDENT
EHEATH
ROCKWALL, TX 75087

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

CURRENT RESIDENT
103 JOE WHITE
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

CURRENT RESIDENT
105 JOE WHITE
ROCKWALL, TX 75087

BREWER SHERI RENEE
119 SUNRISE VISTA WAY
PONTE VEDRA, FL 32081

SABRSULA MELISSA
1571 ANNA CADR RD
ROCKWALL, TX 75087

KENNEDY HAYLEY
201 CHAMPION DR
WYLIE, TX 75095

RIPSTOP PROPERTIES LLC
205 S CLARK STREET
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A
210 GLENN AVE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

GRIFFIN PATTY JEAN CORNELIUS
2140 AIRPORT RD
ROCKWALL, TX 75087

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

KAUFMANN EVAN J
2312 BAHAMA RD
AUSTIN, TX 78733

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

ZYLKA JOE AND BONNIE
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

CURRENT RESIDENT
403EHEATH
ROCKWALL, TX 75087

CURRENT RESIDENT
405EHEATH
ROCKWALL, TX 75087

HODGES PATRICK L
481 ARCADIA WAY
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
503 CORNELIA
ROCKWALL, TX 75087

CURRENT RESIDENT
503 LILLIAN
ROCKWALL, TX 75087

CURRENT RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
505EHEATH
ROCKWALL, TX 75087

CURRENT RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT
506 NASH
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

TOLMAN BROOKS
507 PARKS AVE
ROCKWALL, TX 75087

CAWTHON RICK
508 NASH ST
ROCKWALL, TX 75087

FREEMAN WILLIAM B JR
508 PARKS AVE
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
509EHEATH
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

CURRENT RESIDENT
510 PARKS
ROCKWALL, TX 75087

CURRENT RESIDENT
511EHEATH
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

DENNIS KIMBERLY
513 E HEATH ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
601EHEATH
ROCKWALL, TX 75087

SIMMONS APRIL R
602 NASH STREET
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
602 PARKS AVENUE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

HOWARD DEBORAH K
604 NASH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD
605 STORRS
ROCKWALL, TX 75087

CURRENT RESIDENT
605EHEATH
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN
606 PARKS AVE
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

BHATIA SACHIT S AND
LAURA NICOLE JONES
607 NASH STREET
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610 NASH
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H
6634 DAVIS DR
ROYSE CITY, TX 75189

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

CURRENT RESIDENT
701 NASH
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
702 PARKS
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

CURRENT RESIDENT
704 NASH
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
707 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
707 PARKS
ROCKWALL, TX 75087

CURRENT RESIDENT
708 NASH
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
709 NASH
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
801 AUSTIN
ROCKWALL, TX 75087

CURRENT RESIDENT
801EHEATH
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA
802 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
802 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
803 AUSTIN
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS
804 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
804 NASH
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
806 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
808 AUSTIN
ROCKWALL, TX 75087

CURRENT RESIDENT
809 AUSTIN
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
901 WILLIAMS
ROCKWALL, TX 75087

BIRT PAUL G & CHRISTI ANA
908 NORTH FANNIN STREET
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE
RICHARD D WIMPEE AND JUDY A HARRIS AND
JOE E WIMPEE AND JERRY M WIMPEE 704 E
MAPLE ST
FAYETTEVILLE, AR 72701

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189

Henry House Plans

702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

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THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO THE COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING, OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF LATIMER DESIGNS, INC. NO DERIVATIVE WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE PURCHASER OF THIS SET OF HOME PLANS ENTITLES THE PURCHASER TO USE THIS SET OF PLANS FOR THE CONSTRUCTION OF ONLY ONE BUILDING.

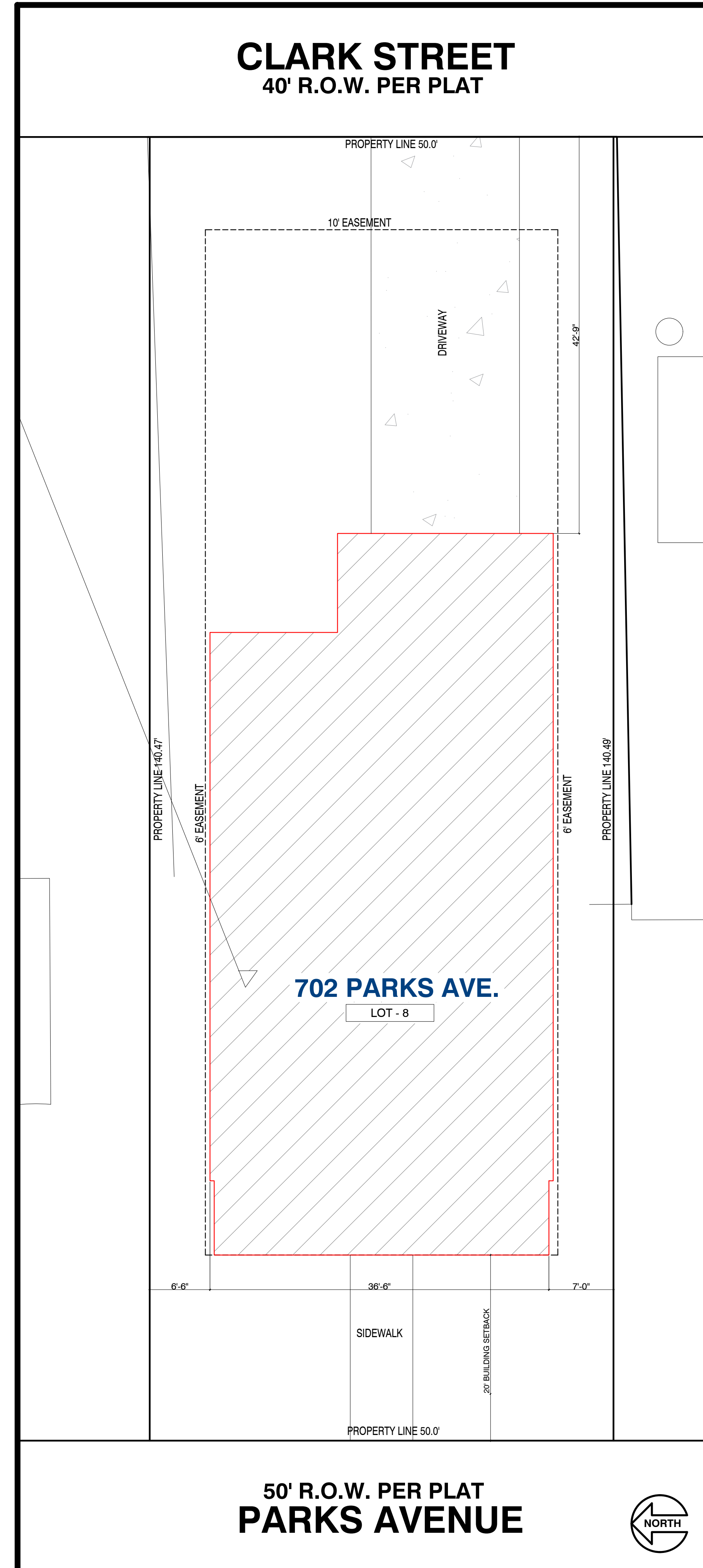
LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
 - FOUNDATION DESIGN
- CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVICE PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.



SITE PLAN
SCALE: 1/8" = 1' - 0"

GENERAL NOTES

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPECS ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
- ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPECS. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER.
- PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPECS. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

AB	ANCHOR BOLT	FD	FLOOR DRAIN	R	RADIUS
ADJ	ADJUSTABLE	FDN	FOUNDATION	R&S	ROD & SHELF
AFF	ABOVE FINISH FLOOR	FF	FINISH FLOOR	SH	SHELF(S)
BLDG	BUILDING	FLR	FLOOR	SHWR	SHOWER
BLK	BLOCK	FT	FEET	SIM	SIMILAR
BM	BEAM	FTG	FOOTING	SQ	SQUARE
CAB	CABINET	GL	GLASS	STL	STEEL
CLG	CEILING	H	HIGH	TBD	TO BE DETERMINED
CLR	CLEAR	LC	LAUNDRY CHUTE	TOJ	TOP OF JOIST
CONC	CONCRETE	LG	LONG	TOS	TOP OF SLAB
DBL	DOUBLE	ML	MICROLAM	TR	TRANSOM
DIA	DIAMETER	MTL	METAL	TYP	TYPICAL
DN	DOWN	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
DWG	DRAWING	PT	PRESSURE TREATED	V	VERTICAL
EA	EACH	PTB	PARTICLE BOARD	WD	WOOD
EQ	EQUAL				

DRAWING INDEX

A - 1.01	COVER SHEET
A - 1.02	FRONT & LEFT ELEVATION
A - 1.03	BACK & RIGHT ELEVATION
A - 1.04	FLOOR PLAN
A - 1.05	FOUNDATION/PLUMBING PLAN
A - 1.06	ROOF PLAN
A - 1.07	ELECTRICAL PLAN

SQUARE FOOTAGE

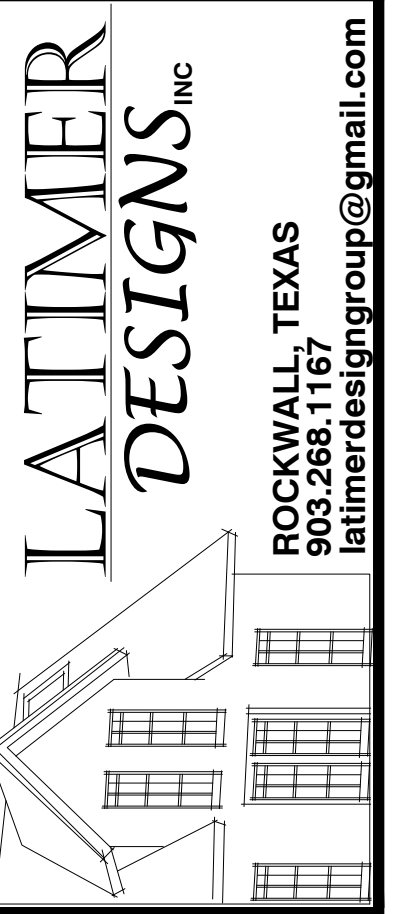
LIVING SPACE	2660
GARAGE	500
FRONT PORCH	290
BACK PORCH	186

BUILDING DEVELOPEMENT

OWNER	AMANDA HENRY 972.896.1538 mhennytx@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM

PROPERTY DESCRIPTION

CASE #	Z2020-002
LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8
NEIGHBORHOOD	N3600-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R



DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

11.17.2019:
KITCHEN - FLIP SINK &
RANGE. ADDED WINDOW

12.04.2019:
LAUNDRY ROOM LAYOUT
PLUMBING
ELECT.: DIM. SWITCHES &
ADDED RCL'S

PROJECT/CLIENT:
MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
COVER SHEET

SHEET NO.:
A - 1.01

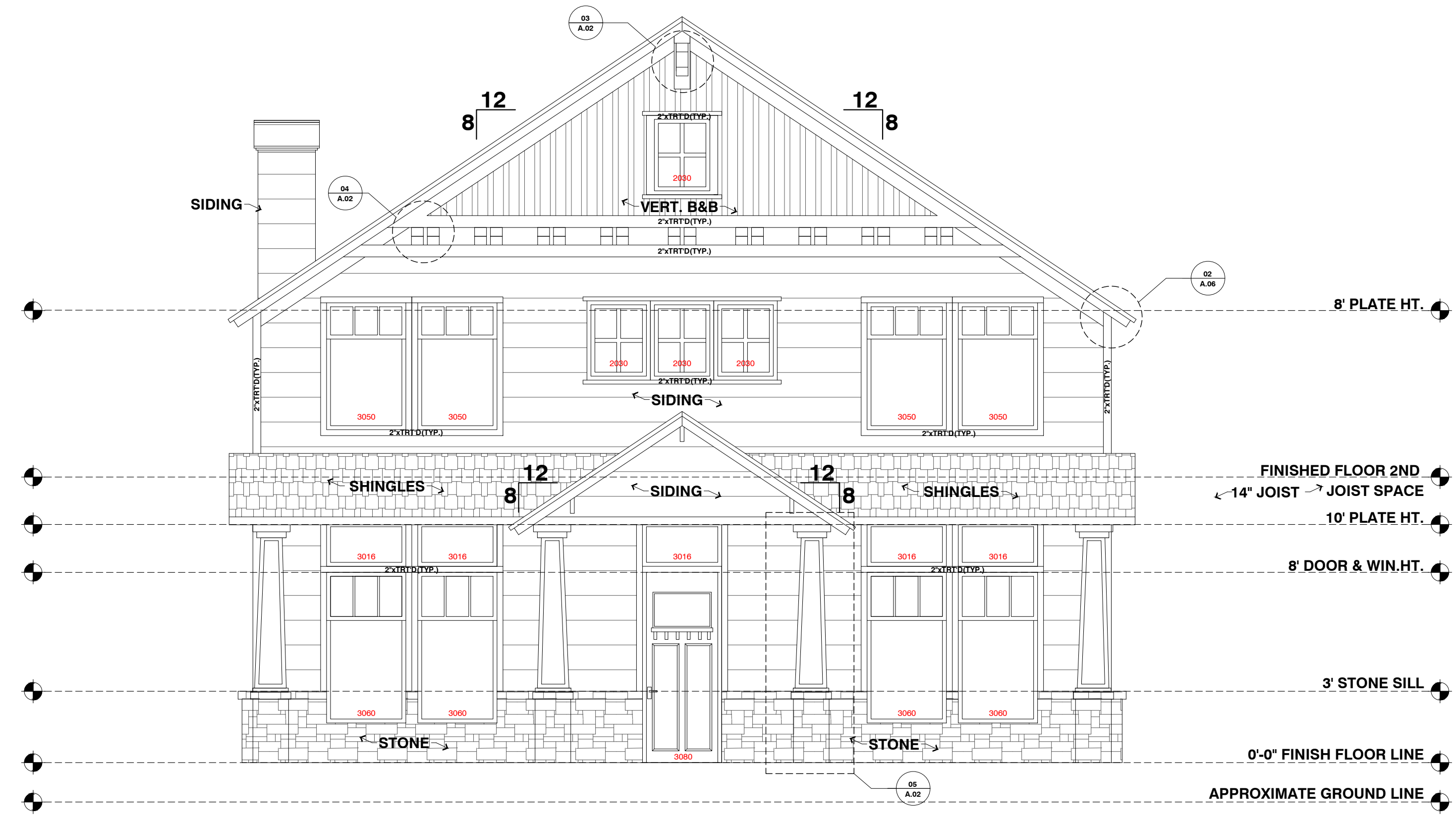
DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 ISSUED FOR PERMIT: _____
 ISSUED FOR CONSTRUCTION: _____
 REVISIONS: _____

PROJECT/CLIENT: **MANDY HENRY**
 LOCATION: **702 PARKS AVE. • ROCKWALL • TX • 75087**
 DATE: **06.06.2019**

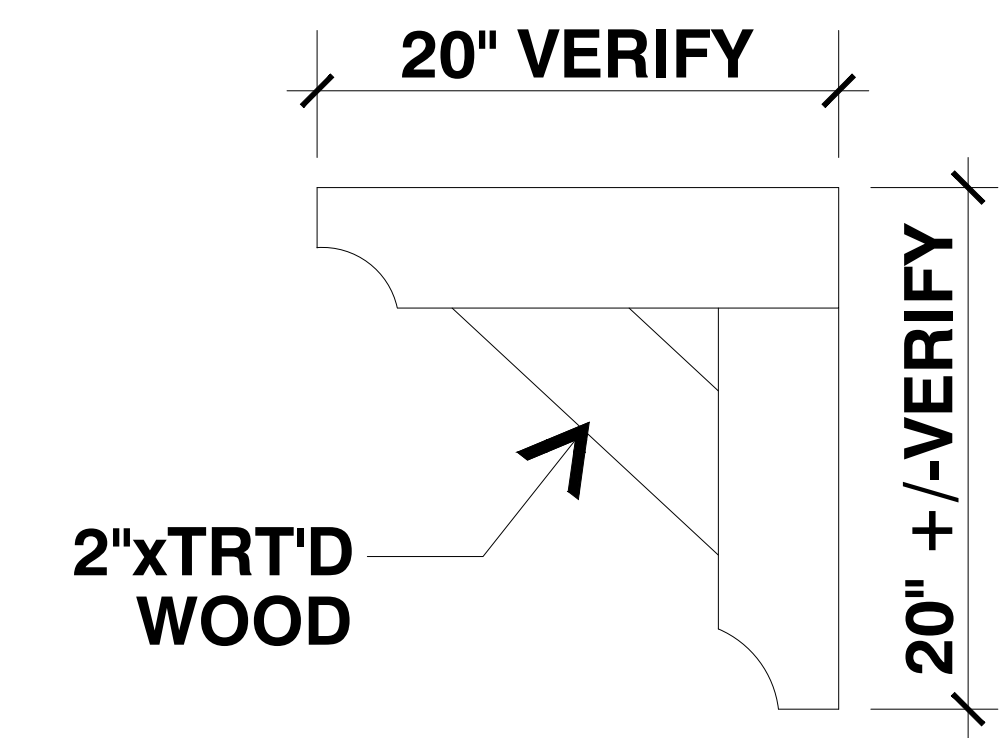
CASE #: **Z2020-002**

SHEET TITLE: **ELEVATIONS**

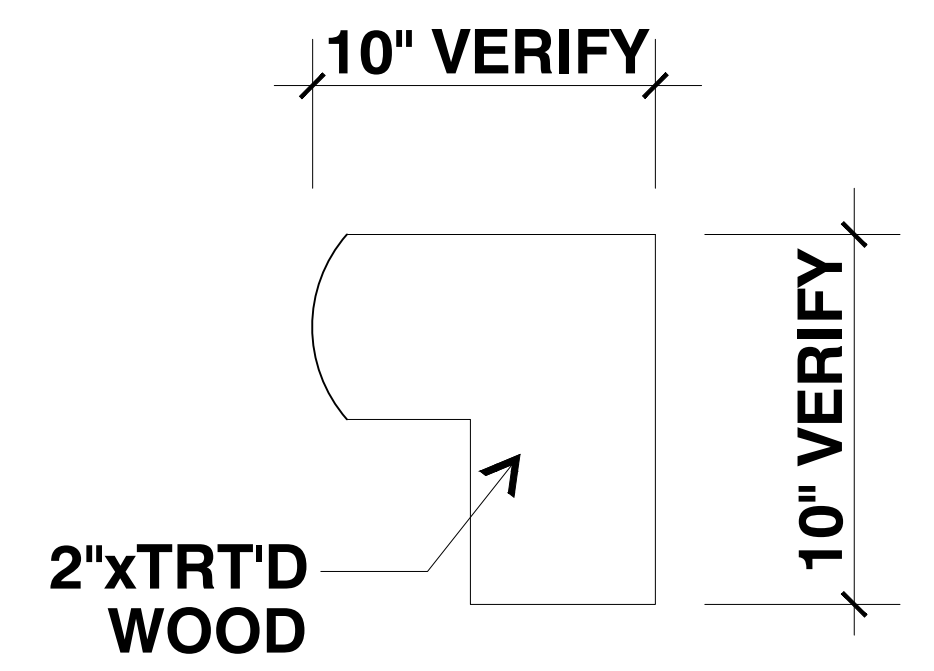
SHEET NO.: **A - 1.02**



02 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



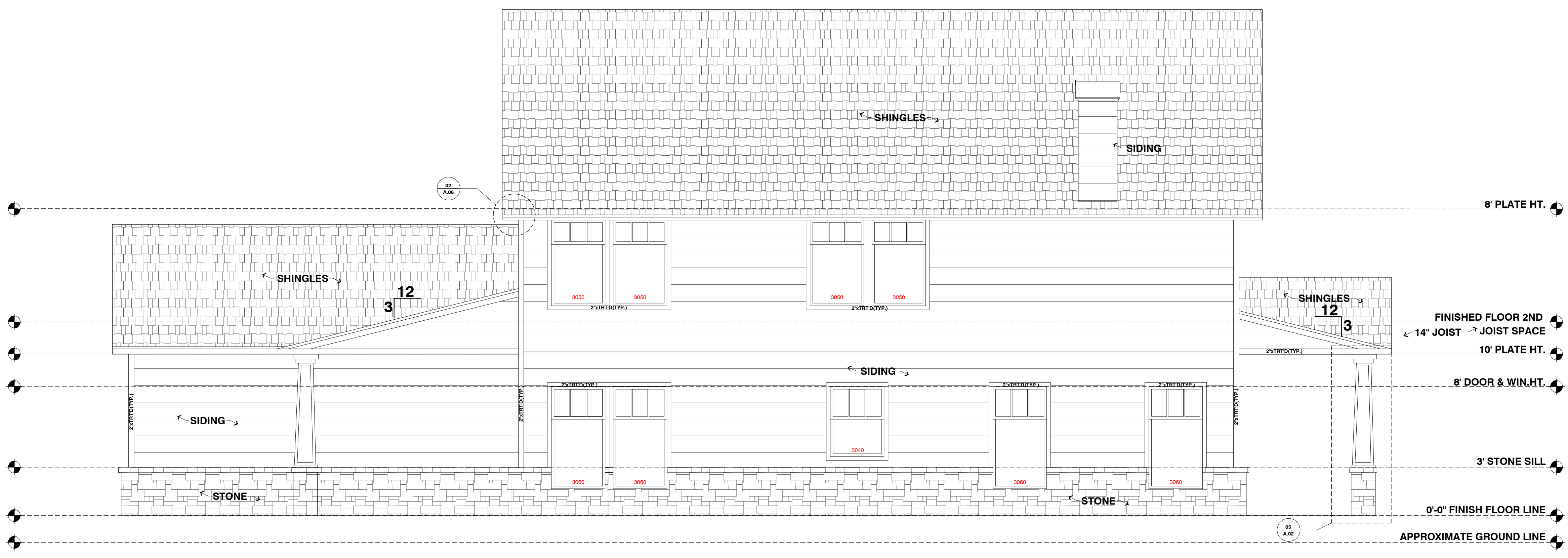
NOTE: VERIFY PROFILE DETAIL WITH OWNER.
03 BRACKET 1 DETAIL
 NOT TO SCALE



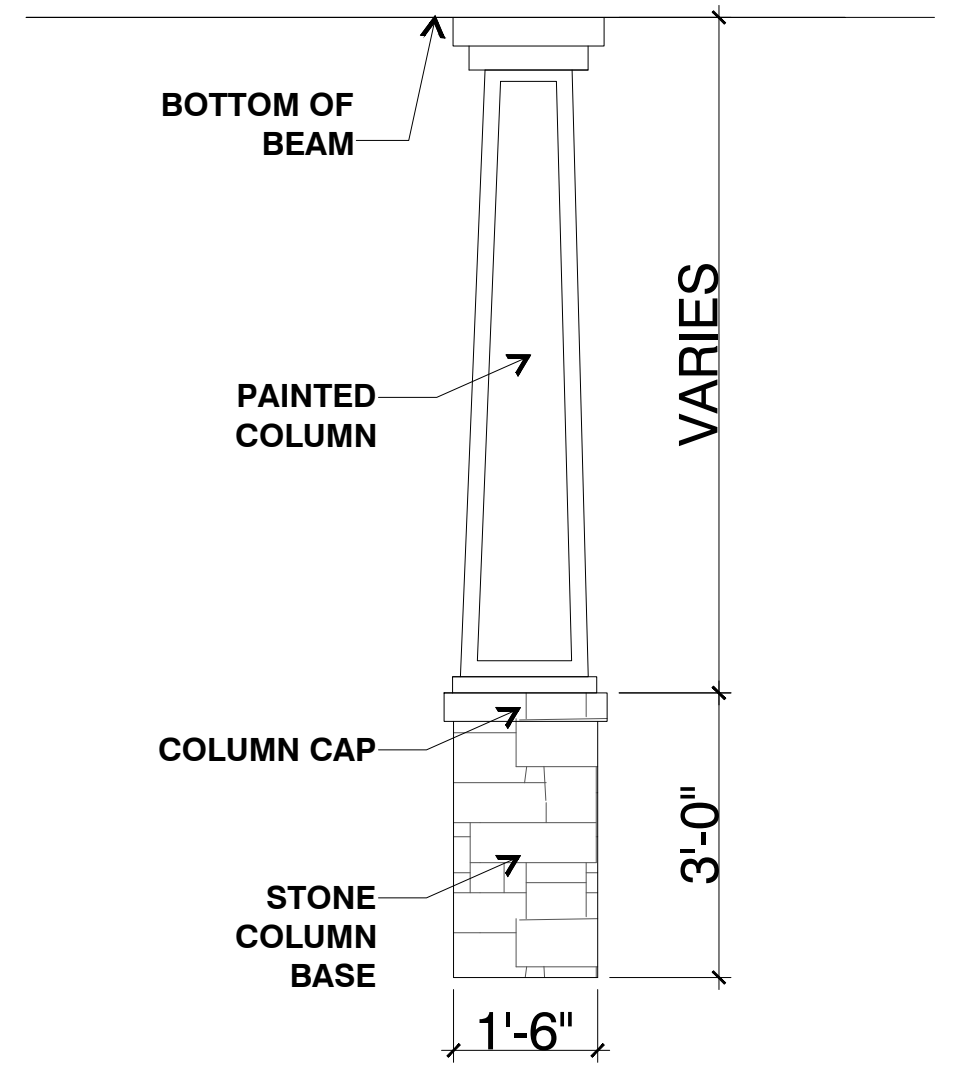
NOTE: VERIFY PROFILE DETAIL WITH OWNER.
04 BRACKET 2 DETAIL
 NOT TO SCALE

NOTES

- OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- ALL GROUND LINES ARE APPROXIMATE.
- VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
- VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.

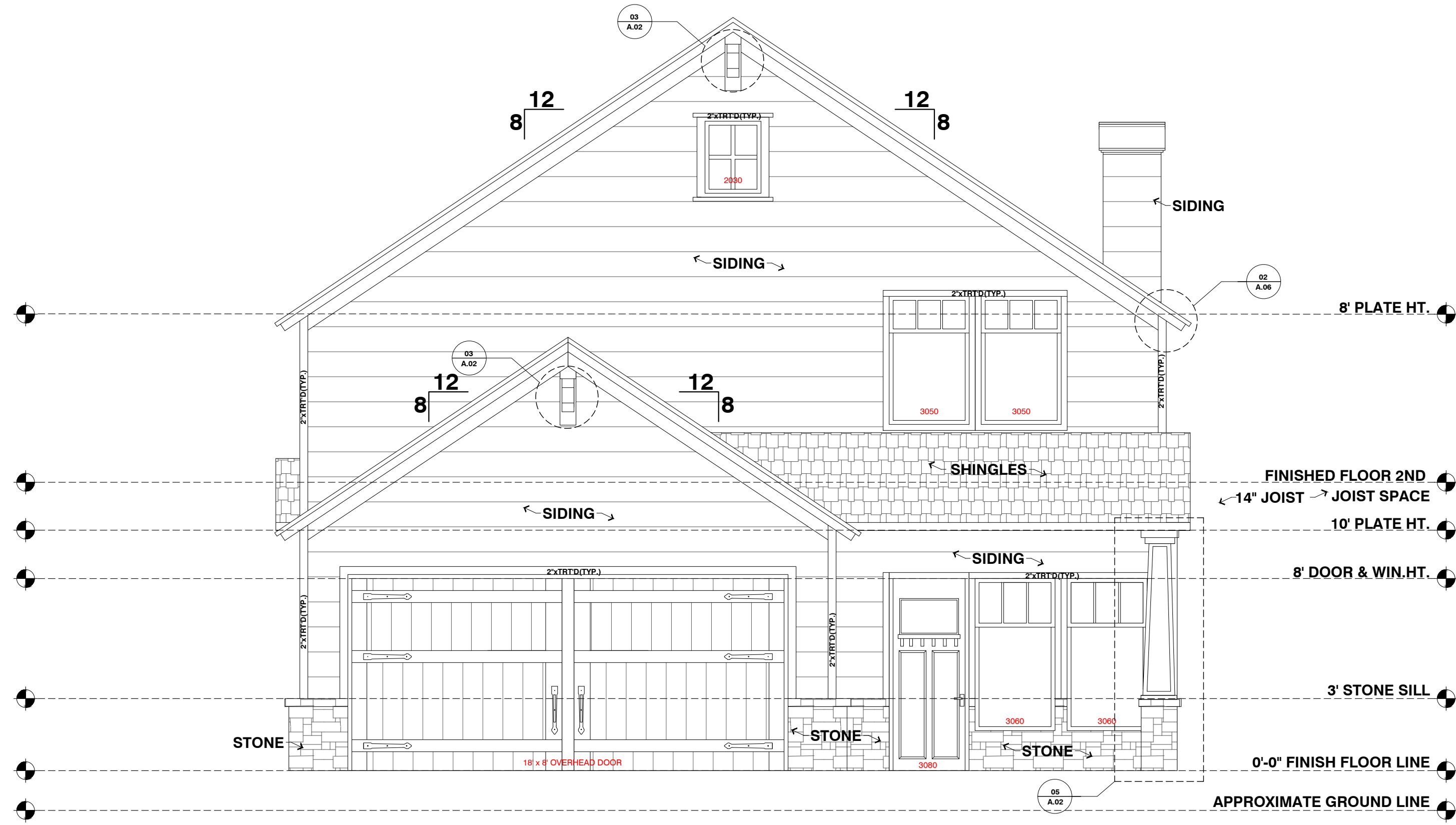


01 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

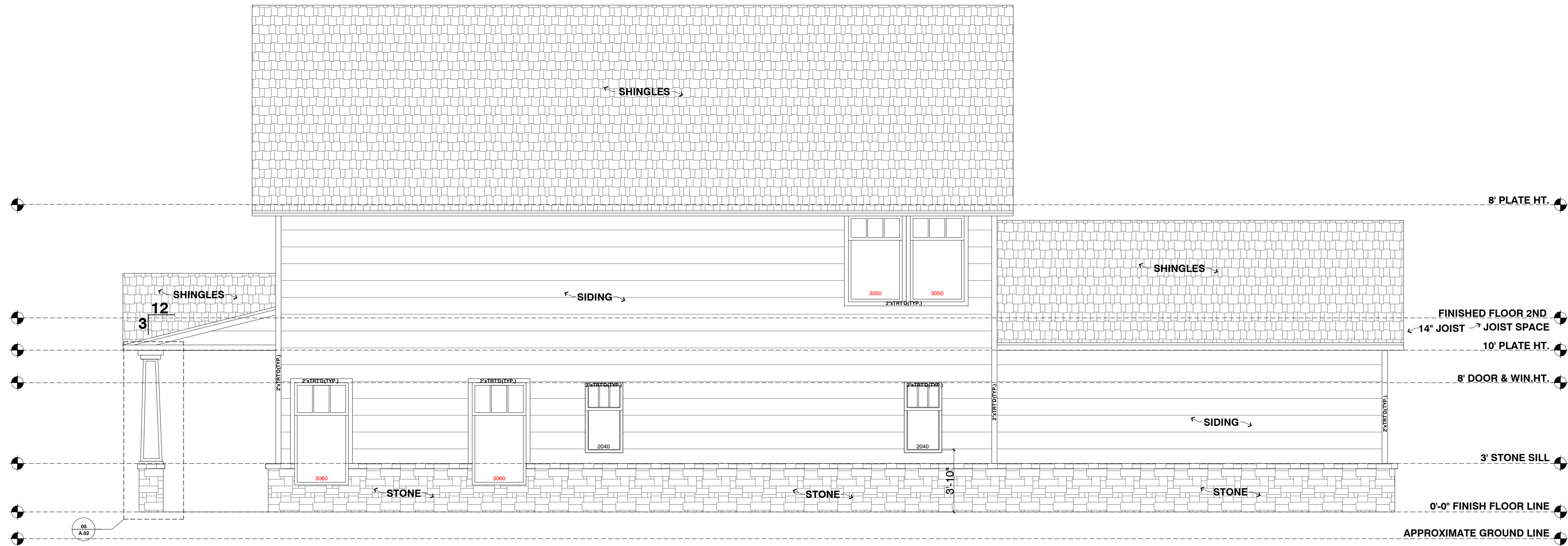


NOTE: VERIFY PROFILE DETAIL WITH OWNER.

05 COLUMN DETAIL
 SCALE: 1/2" = 1'-0"



02 BACK ELEVATION
SCALE: 1/4" = 1' - 0"



01 RIGHT ELEVATION
SCALE: 1/4" = 1' - 0"

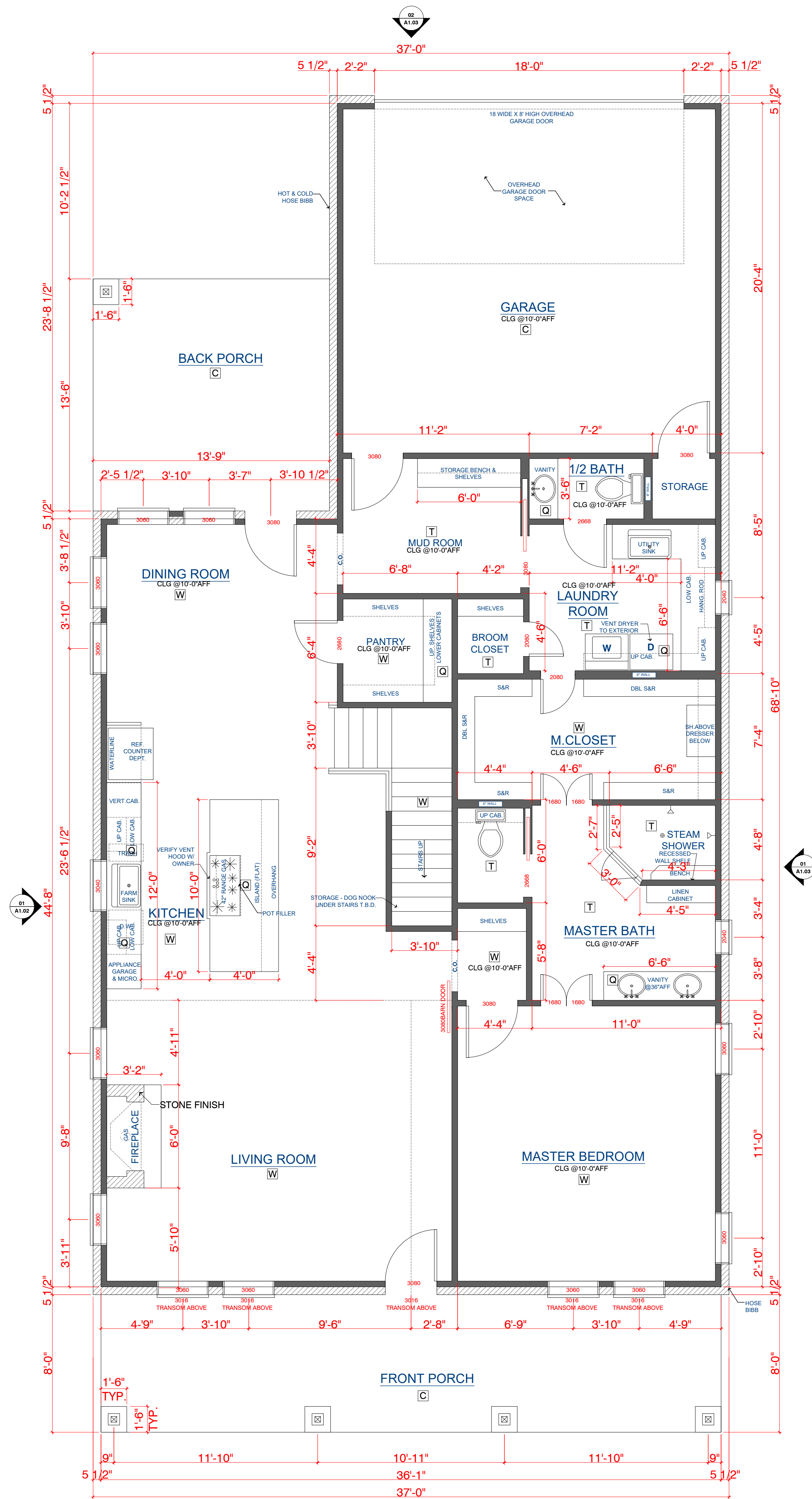
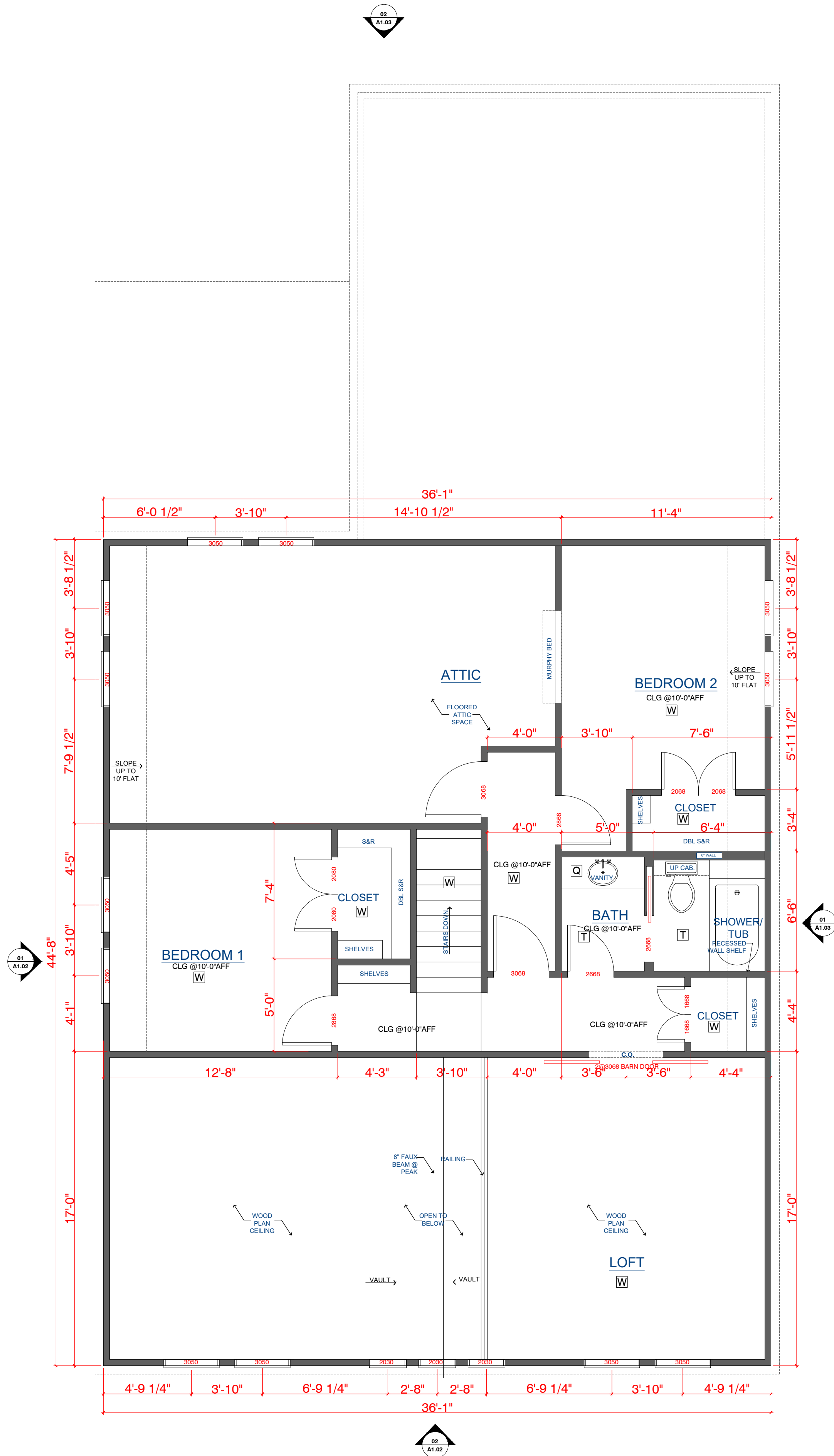
DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____
 ISSUED FOR PERMIT: _____
 ISSUED FOR CONSTRUCTION: _____
 REVISIONS: _____

PROJECT/CLIENT: **MANDY HENRY**
 LOCATION: **702 PARKS AVE. • ROCKWALL • TX • 75087**
 DATE: **06.06.2019**

CASE #:
Z2020-002

SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.03



FINISH SCHEDULE	
W	WOOD PLANK
C	CONCRETE
Q	QUARTZ
T	TILE

ALL DOORS, CASED OPENINGS, & WINDOWS TO HAVE TRIMMED CASEMENT.

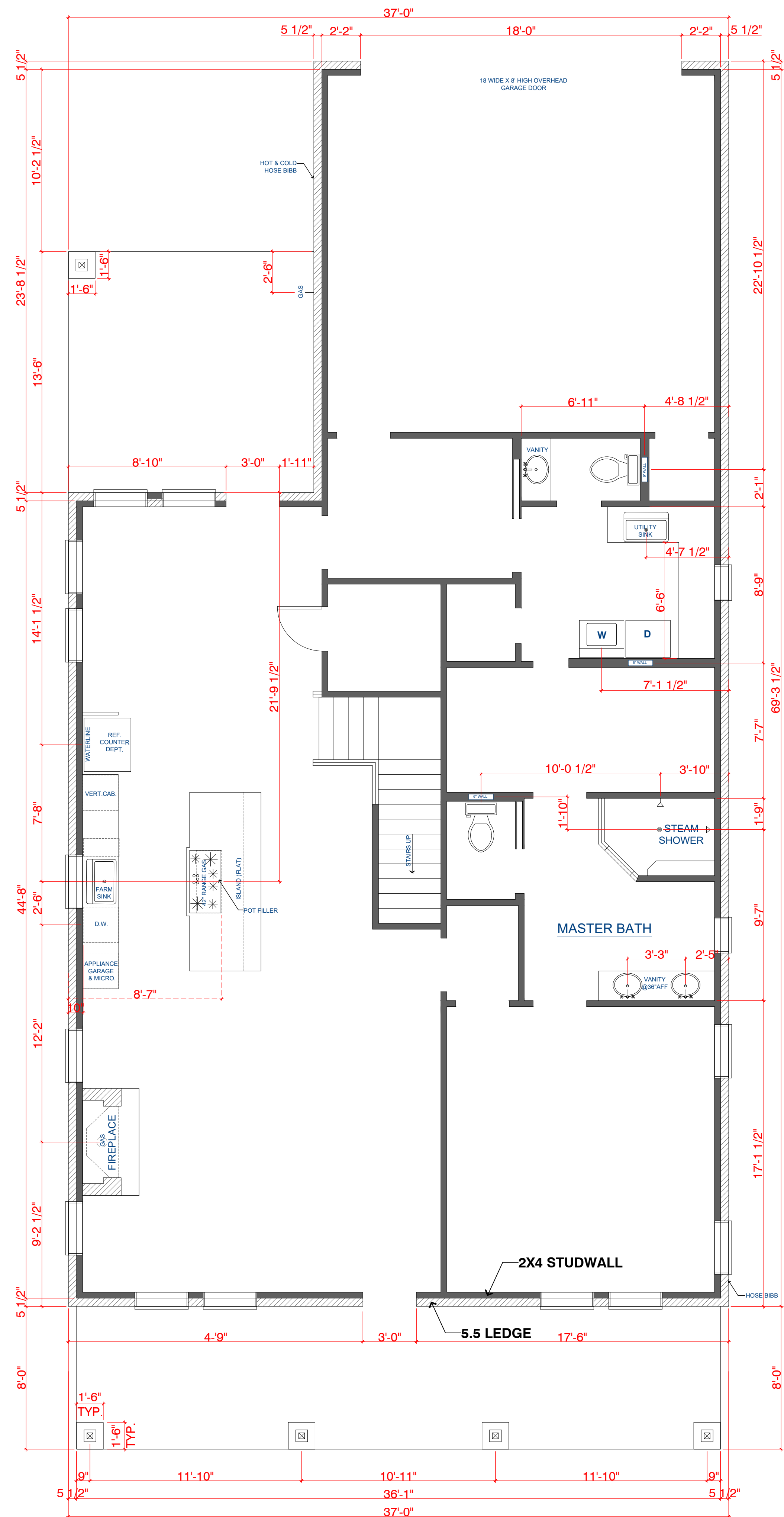
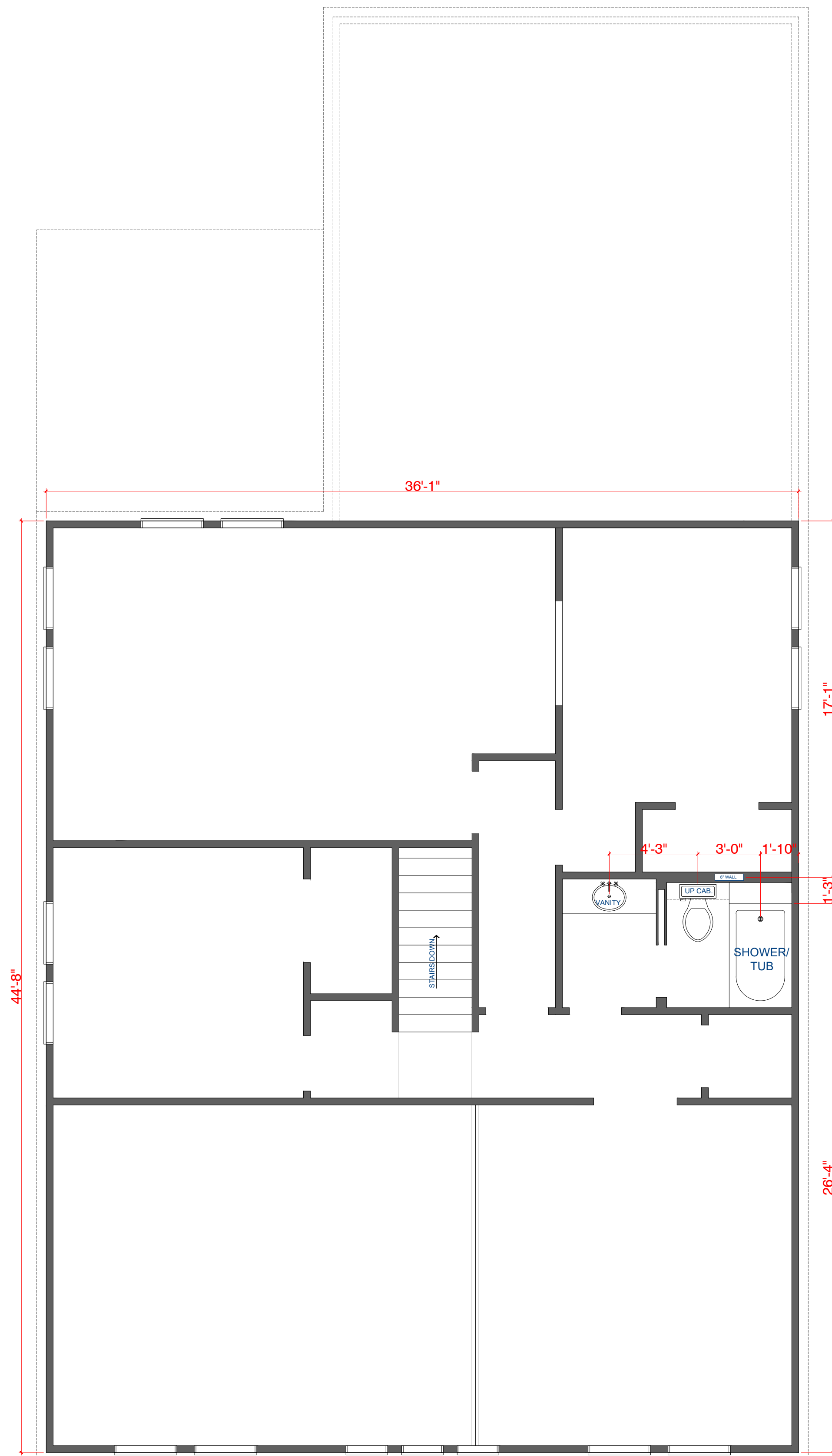
- GENERAL NOTES**
- ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
 - WINDOW EXAMPLE: 2850, 2'-8" WIDE BY 5'-0" TALL, DOOR EXAMPLE: 3080, 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES IN WIDTH & HEIGHT RESPECTIVELY.
 - IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES.
 - REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOORS & WINDOWS.
 - CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE.
 - CEILING AS NOTED ON DRAWING.
 - FRAMED WALLS TO BE 2X4 STUDS @16" O.C.
 - CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE.
 - CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT
 - ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.
 - ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER.
 - ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE, ETC.), & APPLIANCES TO BE SELECTED BY OWNER.
 - CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS FOR FURTHER GRAB BARS.

PROJECT/CLIENT:
MANDY HENRY
 LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
 DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
FLOOR PLAN

SHEET NO.:
A - 1.04



NOTES

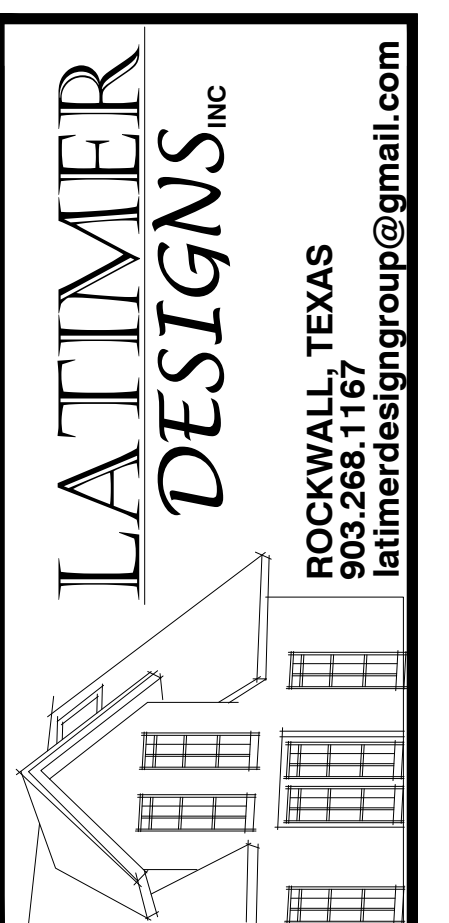
ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ENGINEER. LATIMER DESIGNS LLC IS NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY ENGINEERED DRAWINGS OR MANUFACTURERS LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR BUILDING. FOUNDATION TO BE SLAB ON GRADE.

WATER HEATERS TO BE TANKLESS: QTY - 1: GAS

ALL PLUMBING DIMENSIONS TO BE VERIFIED WITH SELECTED FIXTURE PER MANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER.

ALL PLUMBING DIMENSIONS ARE MARKED ON CENTER LINES OF FIXTURE TO EXTERIOR WALL FACE.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.



DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

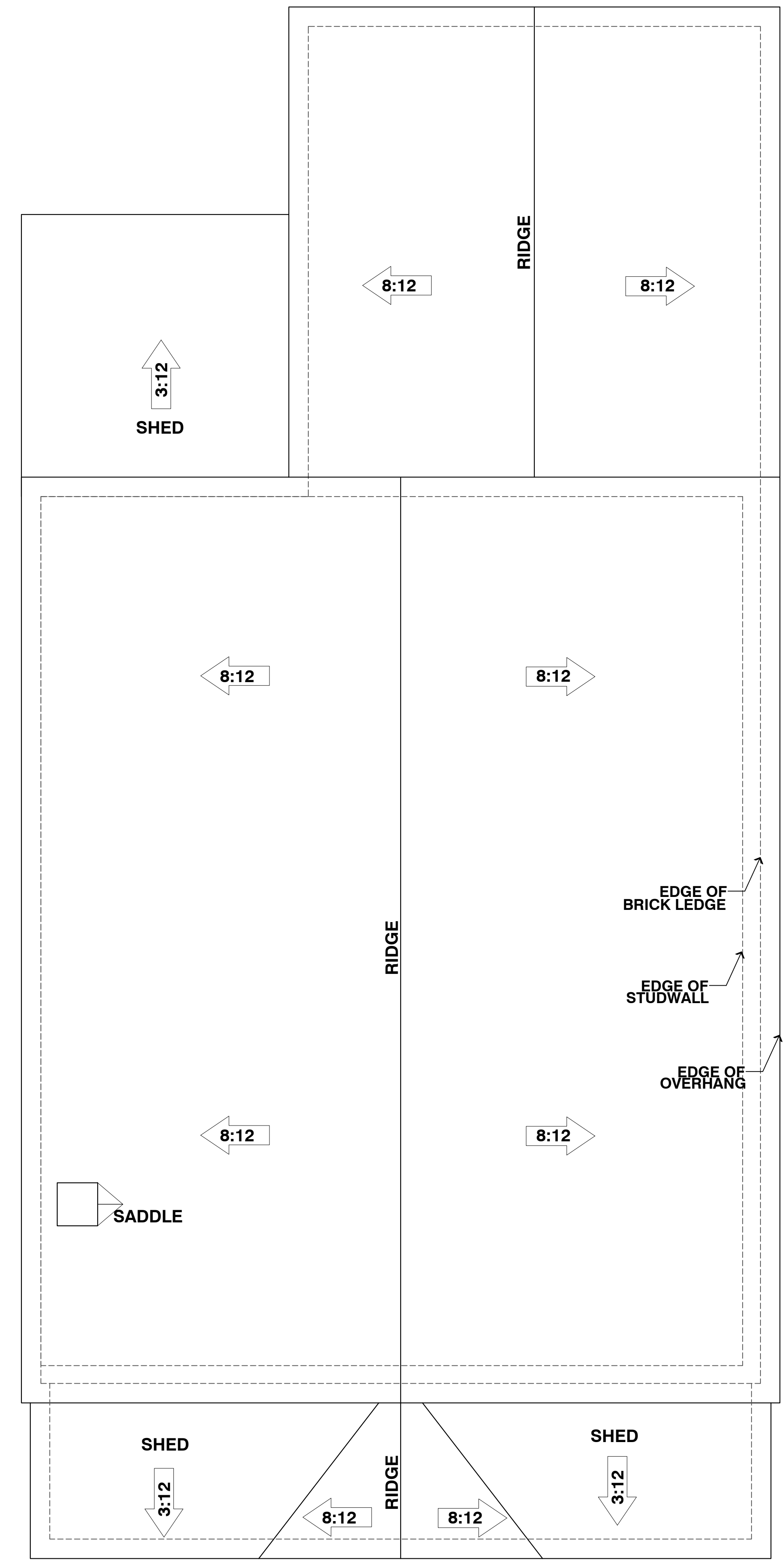
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

CASE #:
Z2020-002

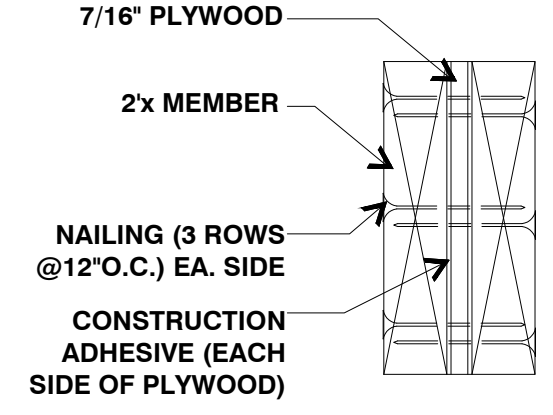
SHEET TITLE:
FOUNDATION & PLUMBING PLAN

SHEET NO.:
A - 1.05

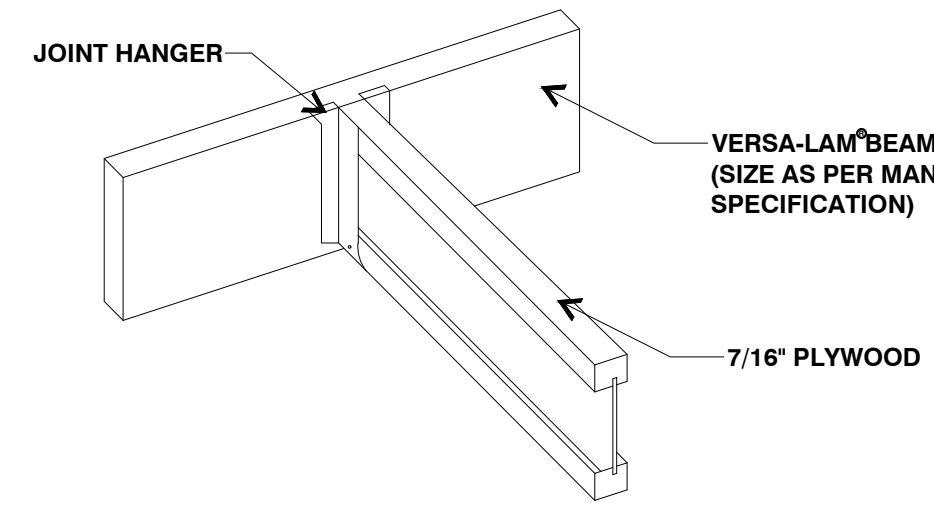


01 ROOF PLAN
SCALE: 1/4" = 1' - 0"

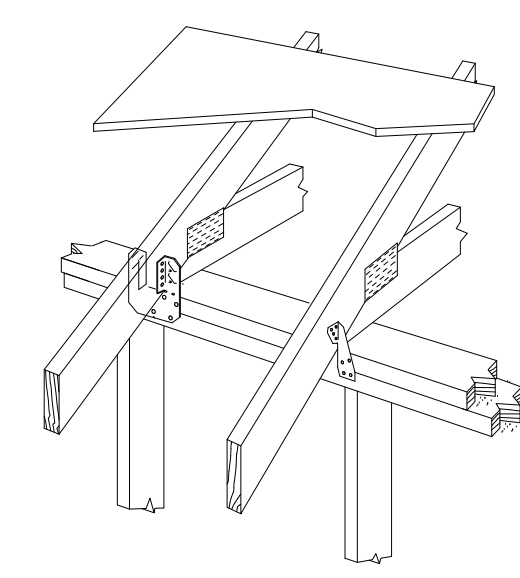
SEE ELEVATIONS FOR PLATE HEIGHTS.



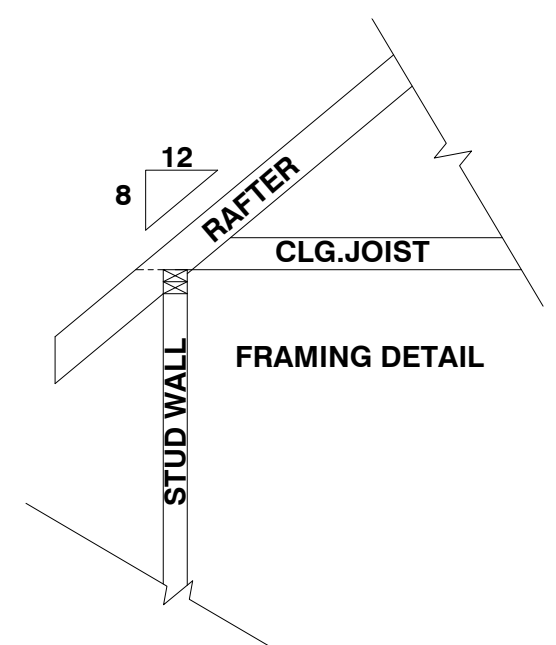
05 BEAM SECT.
SCALE: N.T.S.
SCHEMATIC-GENERAL REFERENCE ONLY



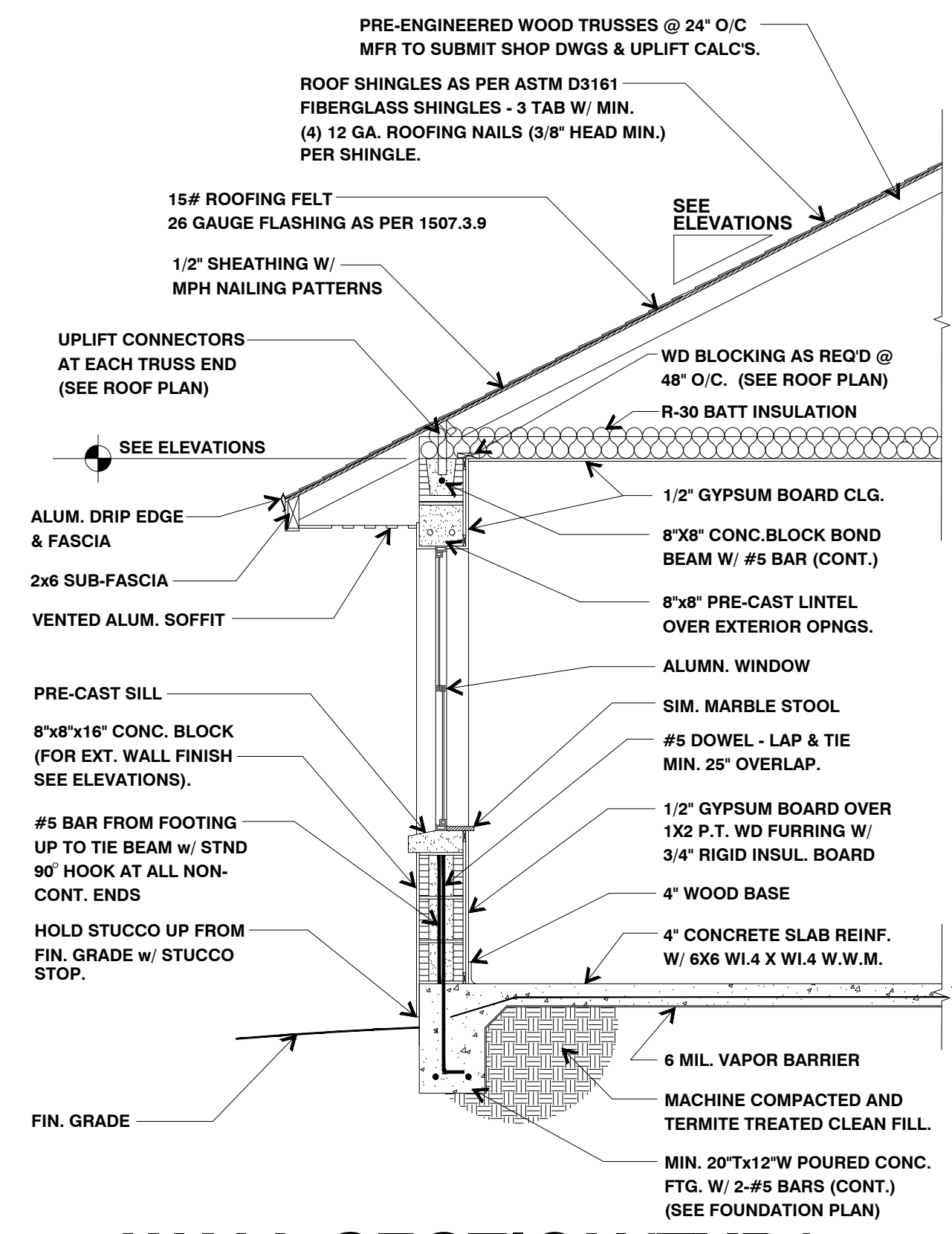
04 BEAM DETAIL
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REFERENCE ONLY



03 TRUSS & TOP PLATE
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



02 FRAMING DETAIL
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



06 WALL SECTION (TYP.)
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REFERENCE ONLY

FRAMING NOTES

1. WALL FRAMING TO BE METAL STRUCTURE WITH INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. FRAMED ON THE INSIDE OF METAL COLUMNS.
2. CONTRACTOR TO PROVIDE 2" BLOCKING BETWEEN ALL CEILING JOIST.
3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.
4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL & NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
5. ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 PSF (LIVE LOAD), 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10 PSF (DEAD LOAD).
6. ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED UNLESS NOTED OTHERWISE.
7. ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE.
8. ALL BEAM SIZES & LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED OTHERWISE.
10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO. 2, S.Y.P.
11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2, S.Y.P.
12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA., G.I., 24" WIDE MINIMUM.
14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.

ROOF NOTES

1. ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
2. PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
3. ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL & NATIONAL CODES.
5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.
6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER.
7. SEE ELEVATIONS FOR PLATE HEIGHT.

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
ROOF PLAN

SHEET NO.:
A - 1.06

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
ELECTRICAL PLAN

SHEET NO.:

A - 1.07

ELECTRICAL LEGEND

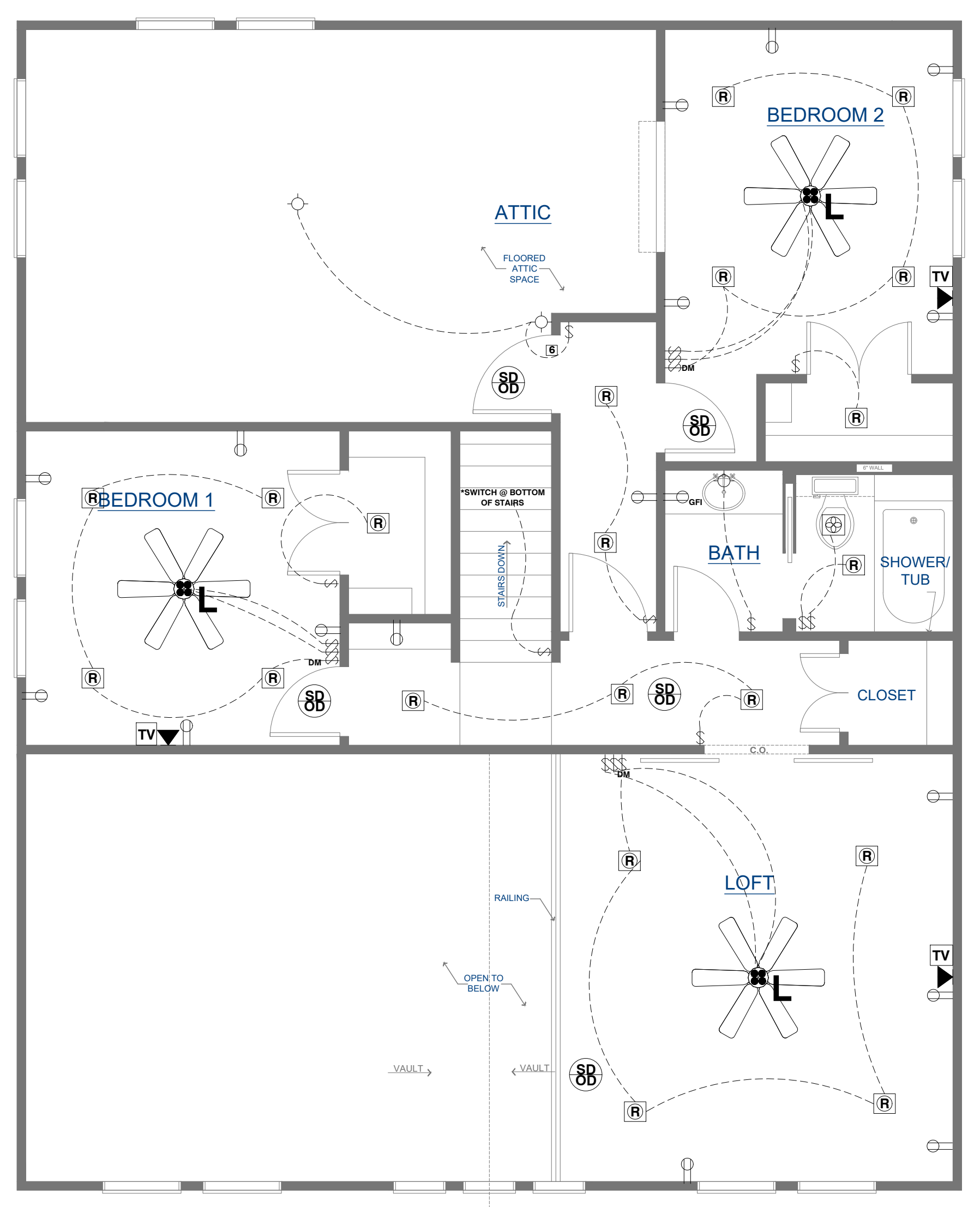
ELECTRICAL	SYM.
CABLE TV OUTLETS	TV
TELEPHONE	▼
UNDER MOUNT LIGHTS	▬
DOUBLE SPOTLIGHT	⬠
LIGHT FIXTURE	⊙
RECESSED CAN LIGHT (VERIFY LOC./OWNER)	Ⓡ
ELECT. & MOUNT KIT FOR FUTURE FAN	Ⓢ
CEILING FAN W/LIGHT	⊗
CEILING FAN W/OUT LIGHT	⊘
EXHAUST FAN W/O LIGHT	Ⓢ
WATERPROOF OUTLET	WP
EXTERIOR OUTLET@EAVE	E
110 VOLT OUTLET	110
220 VOLT OUTLET	220
GROUND FAULT PROTECTED OUTLET	GFI
FLOOR OUTLET W/AV	F
SWITCH	Ⓢ
SWITCH - 3 WAY	3
SWITCH - DIMMER	DM
SMOKE & CO DETECTOR	Ⓢ

KEYED NOTES

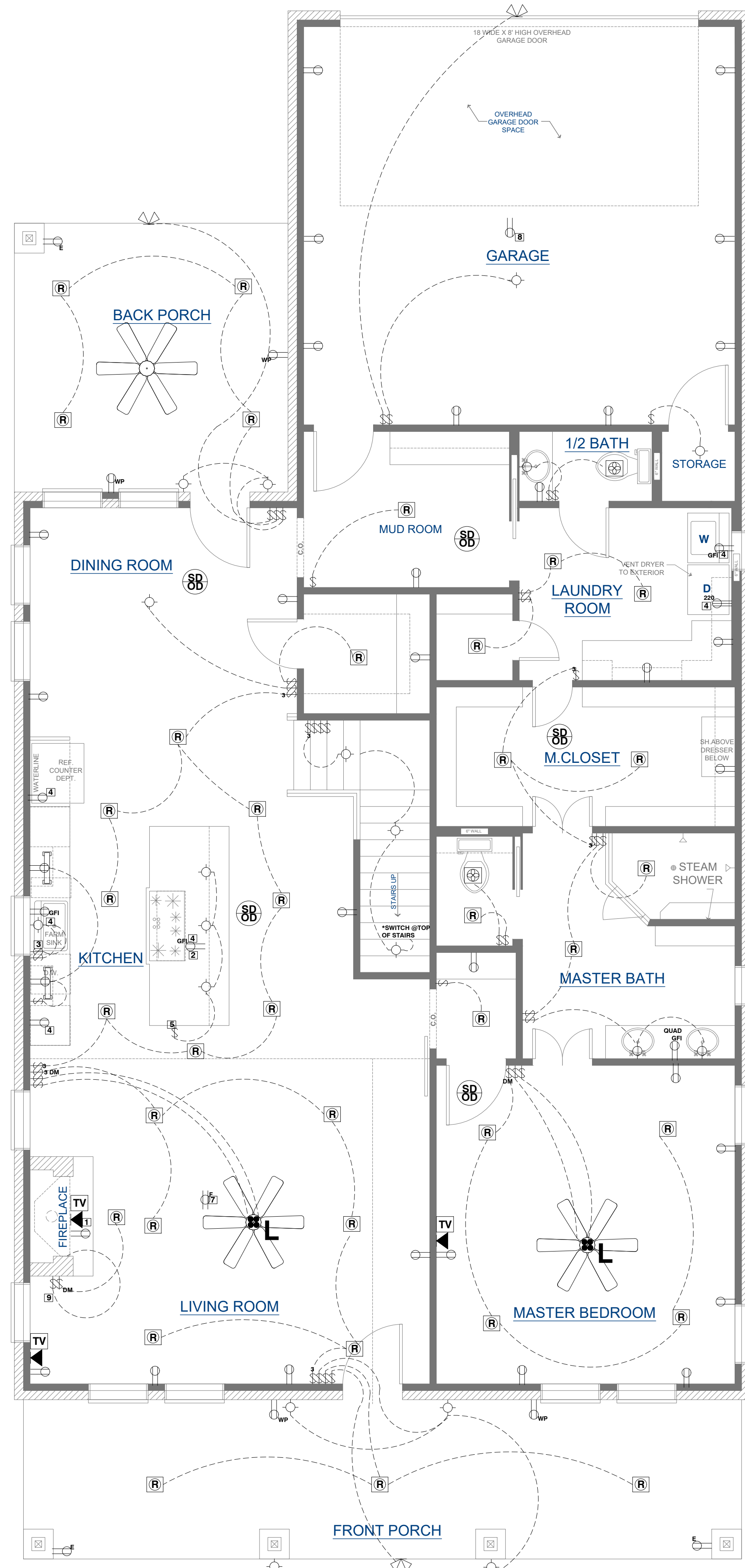
- 1 OUTLET & TV AT MANTEL
- 2 OUTLET FOR DISPOSAL & DW UNDER SINK
- 3 SWITCH FOR DISPOSAL
- 4 OUTLET FOR APPLIANCES
- 5 OUTLET/SWITCH HIGH ON ISLAND
- 6 ATTIC LIGHT & SWITCH
- 7 FLOOR OUTLET
- 8 OUTLET @ CEILING
- 9 FIREPLACE VENT FAN

ELECTRICAL NOTES

1. FLOOR BOXES TO HAVE 110 QUAD OUTLETS
2. ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
3. ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS & MAKE ANY NECESSARY ADJUSTMENTS
4. SMALLEST WIRE SIZE TO BE 12-2.
5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
7. CONTRACTOR TO LOCATE PHONE, CABLE, ETC. AS PER OWNER'S SPECIFICATIONS.
8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.
10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.



01 ELECTRICAL PLAN - 2ND FLOOR
 SCALE: 1/4" = 1'-0"



01 ELECTRICAL PLAN - 1ST FLOOR
 SCALE: 1/4" = 1'-0"





706 Parks Avenue
Property to the North

Legend



708 Parks Avenue
Property to the North and Adjacent to 706 Parks Avenue

Legend



714 Parks Avenue

Write a description for your map.

Legend









711 Parks Avenue

Write a description for your map.

Legend



Google Earth

© 2020 Google

5.38 ft



February 13, 2020

City of Rockwall
Planning & Zoning Department
385 S. Goliad St.
Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to read "Reese Baez", is written over a horizontal line.

Reese Baez
Triton General Contractor
469-931-2267

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

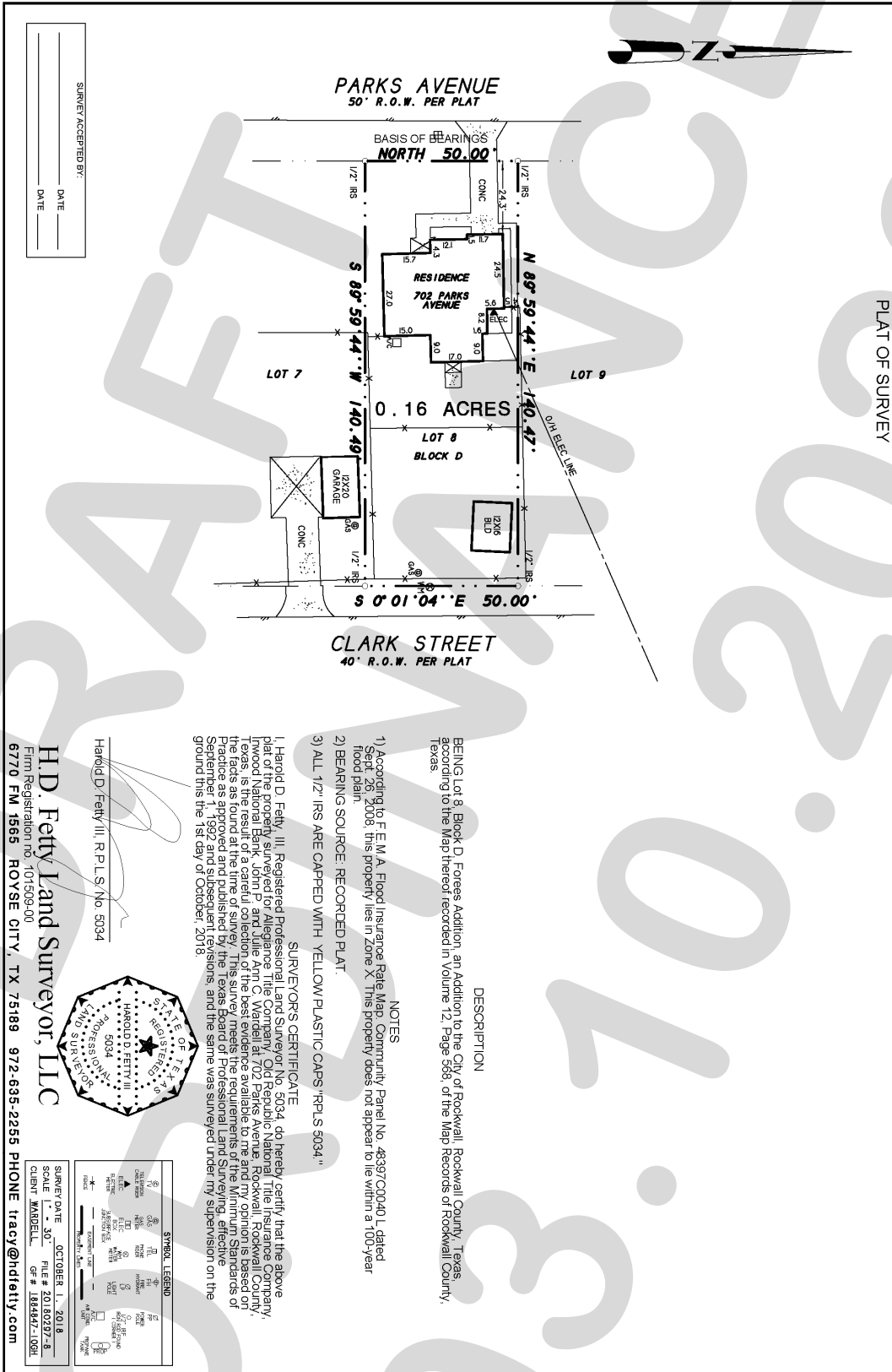
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 16, 2020

2nd Reading: April 6, 2020

Exhibit 'A':
Survey



SURVEY ACCEPTED BY:
DATE _____
DATE _____

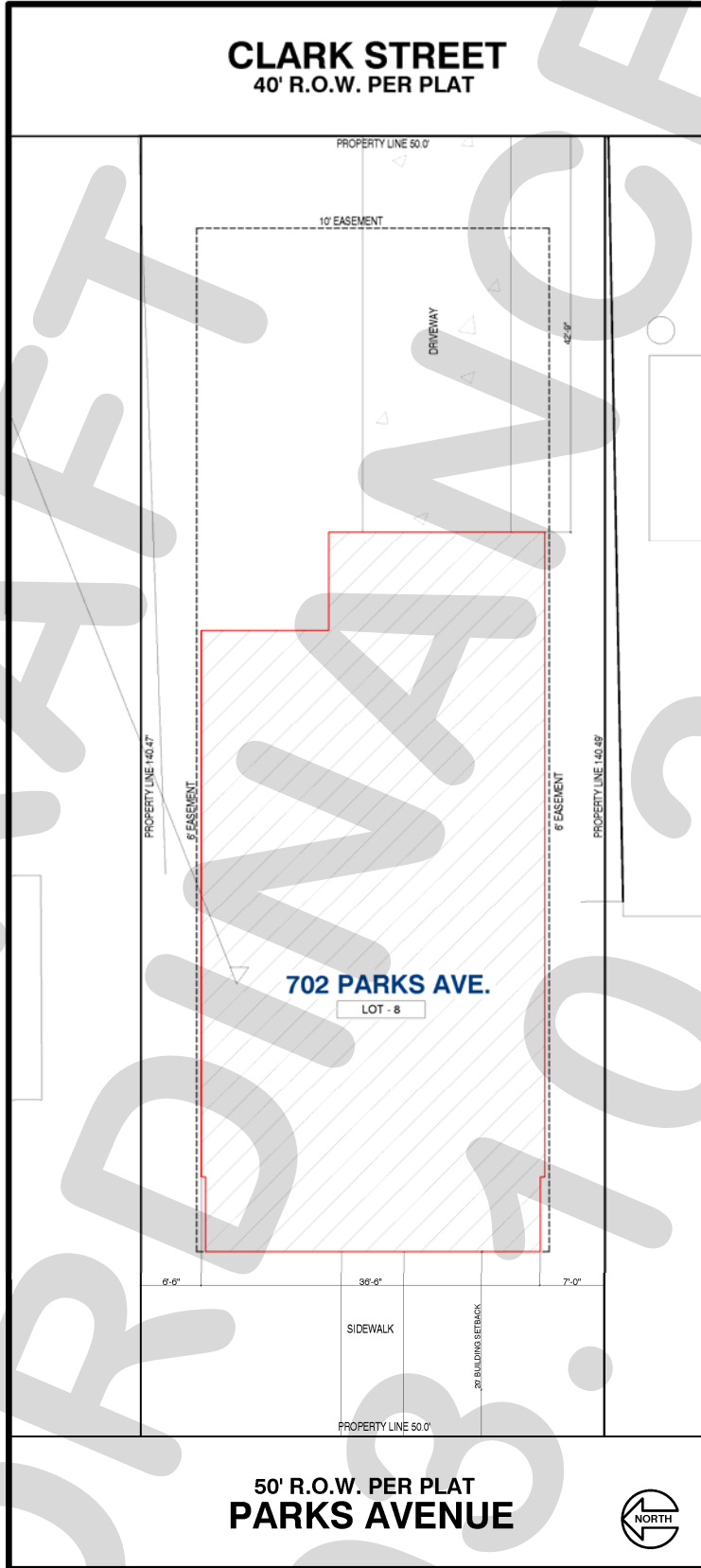
H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



SYMBOL LEGEND	
1/2" IRS	1/2" IR
CONC	CONC
12X16 BLD	12X16 BLD
12X20 GARAGE	12X20 GARAGE
0.16 ACRES	0.16 ACRES
RESIDENCE	RESIDENCE
LOT 7	LOT 7
LOT 8	LOT 8
LOT 9	LOT 9
CLARK STREET	CLARK STREET
PARKS AVENUE	PARKS AVENUE

SURVEY DATE: OCTOBER 1, 2018
SCALE: 1" = 30'
CLIENT: MANDRELL, GE # 1834827-108H

Exhibit 'B':
Residential Plot Plan



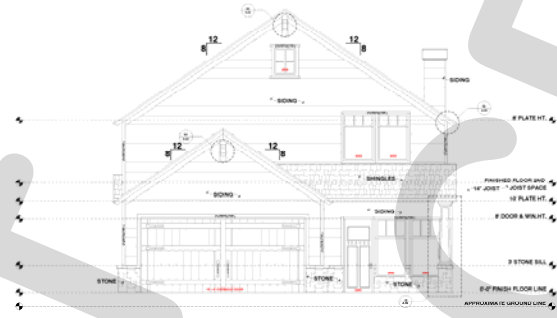
702 PARKS AVE.
LOT - 8

50' R.O.W. PER PLAT
PARKS AVENUE

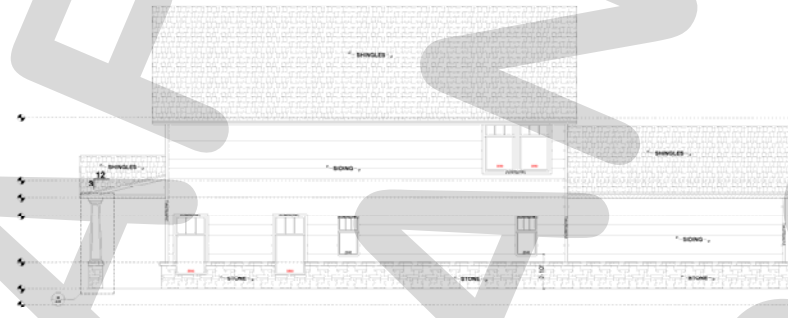


SITE PLAN
SCALE: 1/8" = 1' - 0"

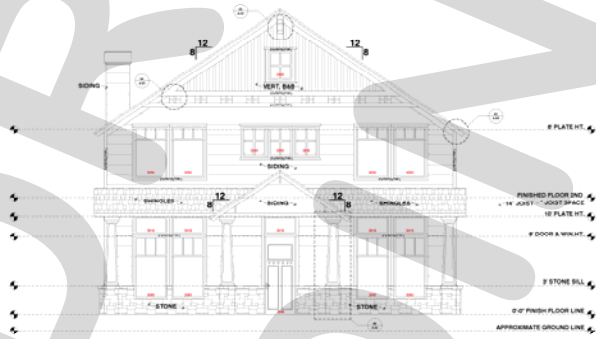
**Exhibit 'C':
Building Elevations**



02 BACK ELEVATION
SCALE: 1/4" = 1'-0"



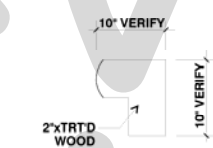
01 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



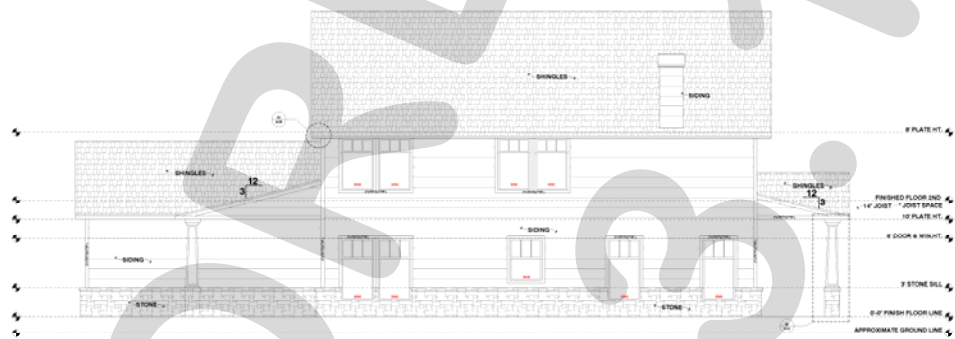
02 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



03 BRACKET 1 DETAIL
NOT TO SCALE

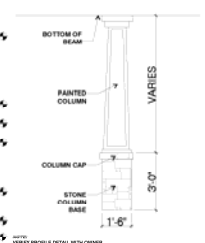


04 BRACKET 2 DETAIL
NOT TO SCALE



01 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES**
- OWNER TO SELECT ALL WINDOW & DOOR STYLES.
 - ALL WINDOW LINES AND APPROXIMATE GROUND LINE.
 - VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
 - VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.



05 COLUMN DETAIL
SCALE: 1/2" = 1'-0"



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: March 16, 2020
APPLICANT: Reese Baez
CASE NUMBER: Z2020-002; *Specific Use Permit (SUP) for a Residential Infill for 702 Parks Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

BACKGROUND

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots (Addendum [03.11.2020]: demolition permit [*i.e.* BLD2019-3321] approved on December 27, 2019). Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [*are*] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [*1983*] from which this [*the*] Unified Development Code is derived which has not been divided [*or assembled*] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

PURPOSE

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 8 (*i.e.* 702 Parks Avenue) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-003*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e.* 610 Parks Avenue).

ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 704 Parks Avenue (*i.e.* Lot 9, Block D, Foree Addition). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e.* Pecan Grove, Stark, & Wade). All of these areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property is 610 Parks Avenue (*i.e.* Lot 7, Block D, Foree Addition). South of this are three (3) residential homes followed by Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the

boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (e.g. *F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (i.e. *Rockwall Assembly of God*). All of these properties are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	Two (2) Stories (i.e. ~27-feet at the Midpoint of Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	N/A
Building SF on Property	1,264 SF – 3,912 SF	3,450 SF
Building Architecture	Various [<i>Minimal Traditional, Tudor, Ranch, etc.</i>]	<i>Comparable Architecture</i>
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard and Stone
Paint and Color	Pink, Yellow, White, and Tan	White (with Black Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) notices and one (1) email in favor of, and two (2) notices and four (4) emails in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On March 10, 2020, the Planning and Zoning Commission made a motion to recommend approval of the Specific Use Permit (SUP) to allow for the construction of a single-family home as a *Residential Infill within an Established Subdivision* with staff conditions. The motion was approved by a vote of 3-2, with Commissioners Womble and Moeller against, and Commissioners Fishman and Logan absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 702 PARKS AVE ROCKWALL, TX 75087
 Subdivision Forees Addition Vol. 12 Pg 568 Lot 8 Block D
 General Location Parks Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential SF-7 Current Use Residential
 Proposed Zoning N/A Proposed Use Residential
 Acreage 0.16 Lots [Current] Lots [Proposed] 0.16

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Applicant Rose Baez
 Contact Person 1025. Goliad st #108
 Address ↓
 City, State & Zip Rockwall TX 75087
 Phone rbac2@tritongc.com
 E-Mail rbac2@tritongc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared [Signature] [Owner] the undersigned, who stated the information on this application to be true and certified the following:

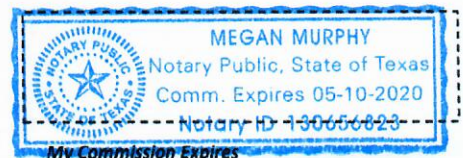
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of FEBRUARY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

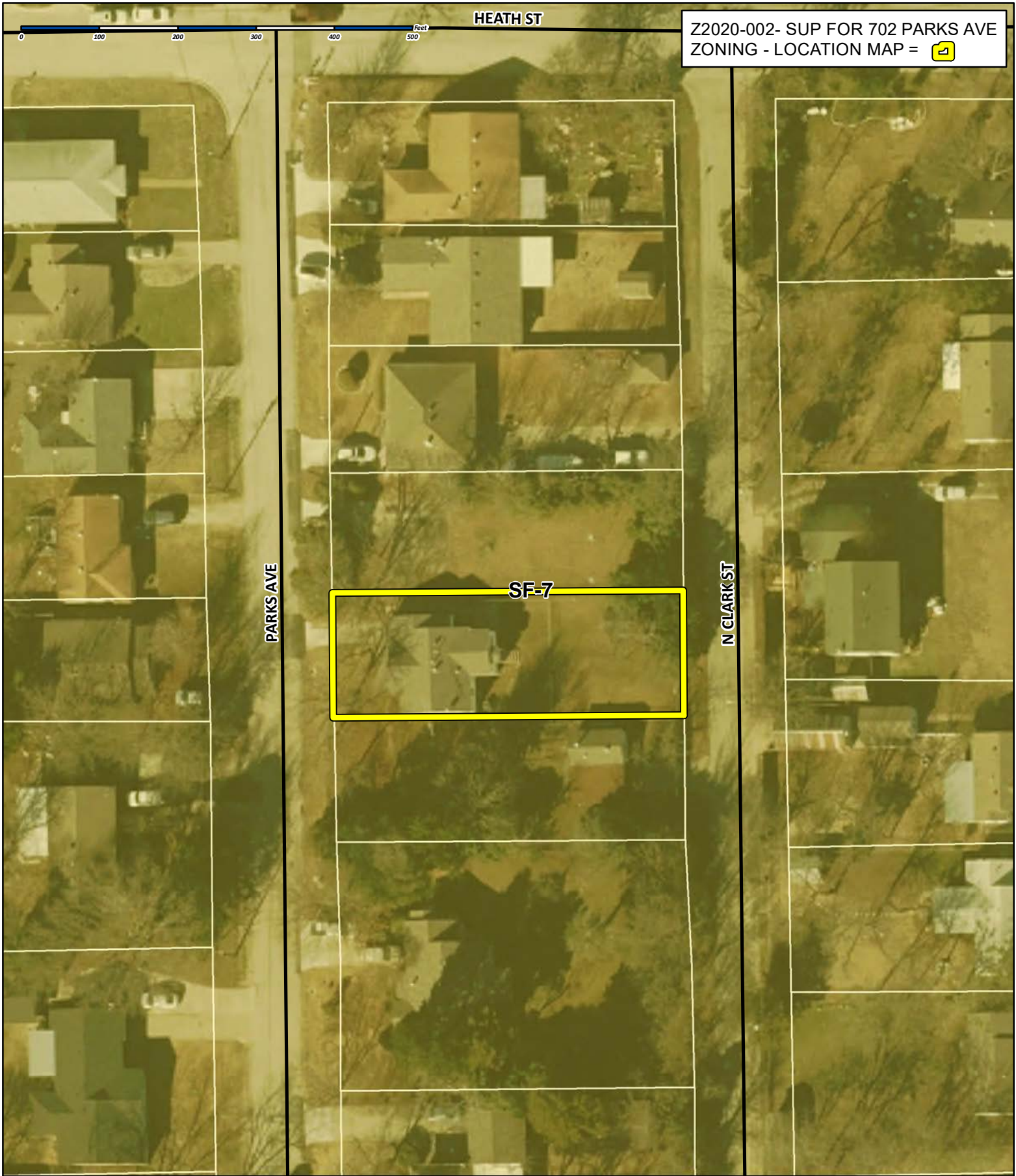
Given under my hand and seal of office on this the 11 day of FEBRUARY, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]

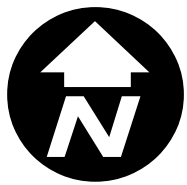




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

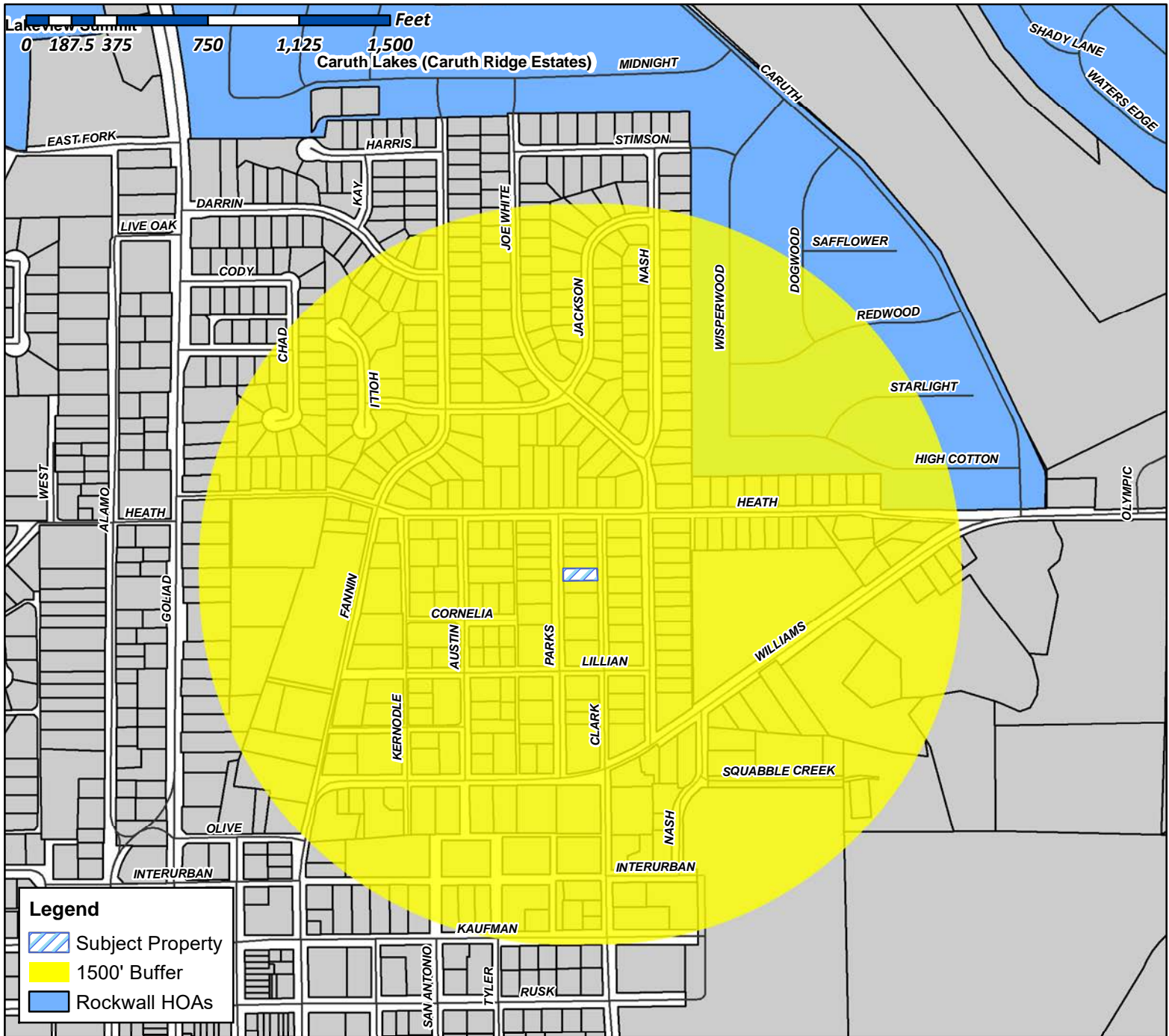




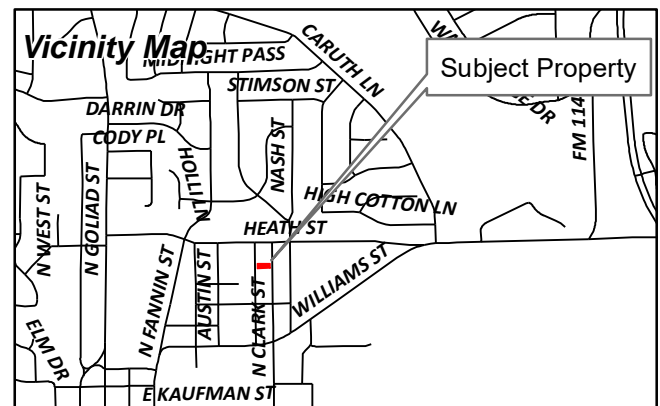
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



Date Created: 2/19/2020
For Questions on this Case Call (972) 771-7745

Gamez, Angelica

From: Gamez, Angelica
Sent: Friday, February 28, 2020 10:30 AM
Subject: Neighborhood Notification program
Attachments: PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner **February 28, 2020**. The Planning and Zoning Commission will hold a public hearing on **Tuesday, March 10, 2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, March 16, 2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases> .

Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

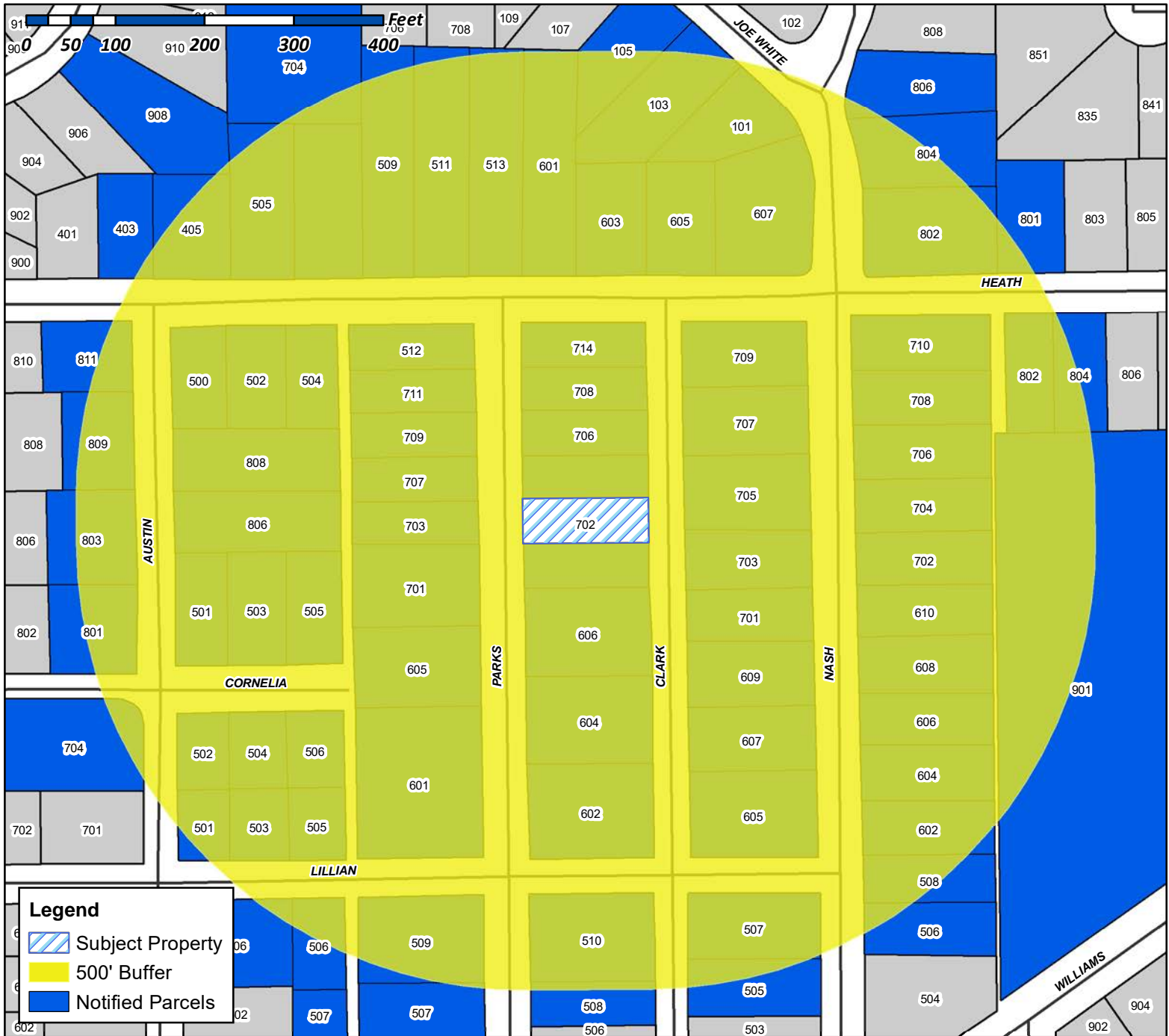
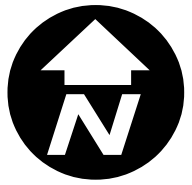
<http://www.rockwall.com/planning/>



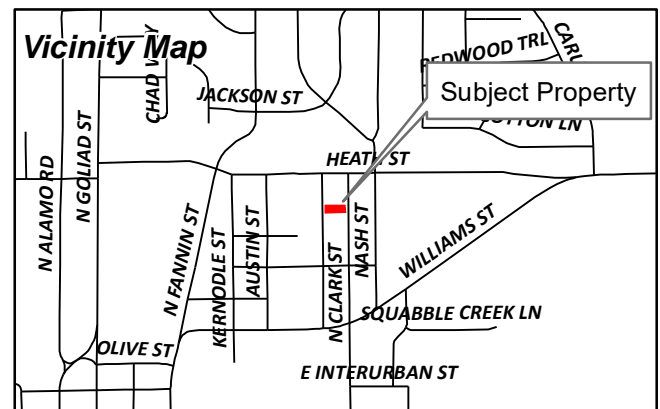
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-002
Case Name: SUP for 702 Parks Ave.
Case Type: Specific Use Permit
Zoning: SF-7
Case Address: 702 Parks Ave.



Date Created: 2/19/2020

For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT
EHEATH
ROCKWALL, TX 75087

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

CURRENT RESIDENT
103 JOE WHITE
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

CURRENT RESIDENT
105 JOE WHITE
ROCKWALL, TX 75087

BREWER SHERI RENEE
119 SUNRISE VISTA WAY
PONTE VEDRA, FL 32081

SABRSULA MELISSA
1571 ANNA CADR RD
ROCKWALL, TX 75087

KENNEDY HAYLEY
201 CHAMPION DR
WYLIE, TX 75095

RIPSTOP PROPERTIES LLC
205 S CLARK STREET
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A
210 GLENN AVE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

GRIFFIN PATTY JEAN CORNELIUS
2140 AIRPORT RD
ROCKWALL, TX 75087

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

KAUFMANN EVAN J
2312 BAHAMA RD
AUSTIN, TX 78733

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

ZYLKA JOE AND BONNIE
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

CURRENT RESIDENT
403EHEATH
ROCKWALL, TX 75087

CURRENT RESIDENT
405EHEATH
ROCKWALL, TX 75087

HODGES PATRICK L
481 ARCADIA WAY
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
503 CORNELIA
ROCKWALL, TX 75087

CURRENT RESIDENT
503 LILLIAN
ROCKWALL, TX 75087

CURRENT RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
505EHEATH
ROCKWALL, TX 75087

CURRENT RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT
506 NASH
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

TOLMAN BROOKS
507 PARKS AVE
ROCKWALL, TX 75087

CAWTHON RICK
508 NASH ST
ROCKWALL, TX 75087

FREEMAN WILLIAM B JR
508 PARKS AVE
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
509EHEATH
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

CURRENT RESIDENT
510 PARKS
ROCKWALL, TX 75087

CURRENT RESIDENT
511EHEATH
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

DENNIS KIMBERLY
513 E HEATH ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
601EHEATH
ROCKWALL, TX 75087

SIMMONS APRIL R
602 NASH STREET
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
602 PARKS AVENUE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

HOWARD DEBORAH K
604 NASH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD
605 STORRS
ROCKWALL, TX 75087

CURRENT RESIDENT
605EHEATH
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN
606 PARKS AVE
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

BHATIA SACHIT S AND
LAURA NICOLE JONES
607 NASH STREET
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610 NASH
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H
6634 DAVIS DR
ROYSE CITY, TX 75189

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

CURRENT RESIDENT
701 NASH
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
702 PARKS
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

CURRENT RESIDENT
704 NASH
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
707 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
707 PARKS
ROCKWALL, TX 75087

CURRENT RESIDENT
708 NASH
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
709 NASH
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
801 AUSTIN
ROCKWALL, TX 75087

CURRENT RESIDENT
801EHEATH
ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA
802 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
802 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
803 AUSTIN
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS
804 E HEATH ST
ROCKWALL, TX 75087

CURRENT RESIDENT
804 NASH
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
806 NASH
ROCKWALL, TX 75087

CURRENT RESIDENT
808 AUSTIN
ROCKWALL, TX 75087

CURRENT RESIDENT
809 AUSTIN
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
901 WILLIAMS
ROCKWALL, TX 75087

BIRT PAUL G & CHRISTI ANA
908 NORTH FANNIN STREET
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE
RICHARD D WIMPEE AND JUDY A HARRIS AND
JOE E WIMPEE AND JERRY M WIMPEE 704 E
MAPLE ST
FAYETTEVILLE, AR 72701

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

ROCKWALL ASSEMBLY OF GOD
C/O DAVID SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-002: 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the respondent's name.

Address:

Grey bar for entering the respondent's address.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

A 2-STORY HOUSE IS FINE

Name: LOIS LOUISE COATS *Lois Louisa Coats*

Address: 512 E. HEATH ST, ROCKWALL, TX 75087-2221

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

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EMAIL: PLANNING@ROCKWALL.COM

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Rockwall, TX 75087**

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

IT IS OK TO HAVE A SINGLE-FAMILY HOME IN A RESIDENTIAL AREA

Name: Guillermo Lopez

Address: 605 E. HEATH ST. ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Gonzales, David

From: Brooks Tolman [REDACTED]
Sent: Tuesday, March 10, 2020 5:25 PM
To: Gonzales, David
Subject: Fwd: 702 Parks Z2020-002

Mr Gonzales:

>

> I will be unable to attend tonight's meeting, so I would like to take this opportunity to express my support for the above mentioned zoning request. Please feel free to call or write with any questions.

>

> Thanks,

>

> Brooks Tolman

> 507 Parks Ave

> 214-454-7070 cell

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Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

We need to control our density. It should be single family homes on larger lots. It will maintain proper values & not turn into Rental Properties.

Name: Tyler Wimpee

Address: 801 E Heath St Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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NOTICE OF PUBLIC HEARING
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Ryan Miller, AICP
Director of Planning & Zoning



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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

We are opposed to 2 story houses exceeding 2000 ft² on a single 0.161 AC lot. This overwhelms both the lot and houses in the area.

Name: *DAVID DOROTIK DD - 3/8/2020*

Address: *508 PARKS AVE, ROCKWALL*

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gonzales, David

From: Planning
Sent: Monday, March 9, 2020 9:51 AM
To: Gonzales, David
Subject: FW: 702 Parks and 610 Parks

From: Alison Odom [REDACTED]
Sent: Friday, March 6, 2020 8:54 PM
To: Planning <planning@rockwall.com>
Subject: 702 Parks and 610 Parks

Hello,

I am writing to express my concern about items (7) Z2020-002 and (8) Z2020-003 on the planning agenda for Tuesday, March 10, 2020. The addresses are 702 Parks and 610 Parks. I won't be able to speak at the meeting on Tuesday, so I'm writing this letter. I think it's important to point out to the Planning and Zoning board that the two homes in these items are to be placed on two of three lots that comprise the old address of 702 Parks. These are especially skinny lots and the size of the homes proposed will fill the entire width of the lot. While there are two SUPs requested at this time, there is a 3rd lot that is either currently for sale, or will be sold, and a third home will likely be built. It's important to remember how this will look when all three homes are built. I fear these three large homes will be squeezed onto these lots and loom over the existing smaller homes on either side. The reason the owners have to get the Special Use Permit is because the Unified Development Code was recently updated to protect established neighborhoods with no HOA to make sure that any infill would be "architecturally and visually similar or complementary to existing housing in the established subdivision". I think the two homes applying for the SUP will be, however, they will be squished onto 2/3 of the available space and a third large home will likely be built on the last lot. The size of the homes would NOT be visually similar or complementary to existing homes on the street. The homes being proposed are beautiful and match our neighborhood. One is two story and one is a single story. The single story is about 2200 square feet and the two story is about 2600 square feet. If it were just the two homes on the triple lot, this would be visually similar and complimentary to existing homes on the street. To add a third home is too much and would not look like the rest of the neighborhood. If three homes need to go on the three lots, they need to be the same size as the surrounding homes, which are about 1600 square feet or less. For your reference, the two story green home at 506 Parks (on the same street) is on the same size lot and is only 1600 square feet.

To approve these SUPs 'as-is' will set a precedence that investors can come in and mow down homes and trees in Old Town Rockwall in order to squeeze as many homes as possible into small spaces to sell and make a profit. This is very dangerous for our neighborhood and could become a slippery slope. This is not the burden of the land owner, she cannot control what happens in our neighborhood. This is the burden of the city to protect our downtown neighborhood. Our Old Town neighborhood is especially susceptible to exploitation with investors purchasing at least 4 properties that I know of in the past few months. The City must help preserve the integrity of what is allowed to be built in our neighborhood. The updated UDC is a wonderful step in the right

direction. If we approve these huge homes on small lots, we could end up with the McMansion effect that has destroyed many old Dallas neighborhoods. Again, I like the plans of the homes that are being proposed, but I do not think they will be visually similar and complement the other homes on the street and in the neighborhood. For this reason I am asking you to deny the SUP, or ask the owner to tweak the size to match the rest of the neighborhood.

Thank you,

Alison Odom

405 N Fannin St.

Rockwall, TX 75087

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Gonzales, David

From: Planning
Sent: Tuesday, March 3, 2020 4:54 PM
To: Gonzales, David
Subject: FW: Case No Z2020-003

From: Elizabeth Trowbridge [REDACTED]
Sent: Tuesday, March 3, 2020 3:22 PM
To: Planning <planning@rockwall.com>
Subject: Case No Z2020-003

Attn: David Gonzales

Rockwall Planning and Zoning Dept.

385 S. Goliad St.

Rockwall, TX 75087

From: Elizabeth Trowbridge

601 Parks Ave

Rockwall, TX 75087

I am unable to attend the March 10 meeting regarding Case No. Z2020-003: 610 Parks Avenue.

I AM OPPOSED to the request for the reasons listed below:

- **DENSITY:** They are building 3 huge houses on what will be 3 tiny lots.
- **IT DOES NOT ALIGN** with the Architectural Integrity of the neighborhood
- Large two-story houses **do not fit** in the neighborhood.

- (Reference the house on the 400 block of Clark St. that looms over the neighboring houses.) Hideous!
- This new build will ruin the **integrity** of neighborhood.
- **This is the “historic” old town of Rockwall and with that comes a certain charm, aesthetic and characteristics of the homes and the neighborhood.**
- We don’t want teardowns and big builds. I am afraid this will set a precedent for other small houses to be torn down and oversized houses to be built.

What is great about our neighborhood is that it is truly a melting pot of new and old Rockwall. There are families that have lived here for more than 40 years than can tell stories about the neighborhood. The people that live here are invested in improving the neighborhood and enhancing their homes – not tearing down and building huge eyesores. I am afraid that if this passes, the smaller houses/homeowners on our street will be preyed upon to try to sell for more “investors” to tear down and change our wonderful neighborhood. They have already torn down 100-year-old trees when they could have easily kept them.

Please do not approve this as is.

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Gonzales, David

From: Planning
Sent: Wednesday, March 4, 2020 7:45 AM
To: Gonzales, David
Subject: FW: 600 Block on Parks Ave

From: Maggie Dingwell [REDACTED]
Sent: Tuesday, March 3, 2020 9:11 PM
To: Planning <planning@rockwall.com>
Cc: [REDACTED]
Subject: 600 Block on Parks Ave

To whom it may concern,

My husband and I are residents at 605 Parks Ave - right across the street from the projected 610 and 702 Parks Ave lot where a single family home was recently torn down. When we heard the plan that the area was being zoned for three homes, we were shocked and disappointed. Not to mention, we were also made aware that these “two-story homes”, will be more like three-story as the roof lines will not be synonymous with the other two-story homes on our street. In addition, all the trees were destroyed making the space look desolate and totally out of place.

The downtown Rockwall area is a special place - full of character where each home takes on its own unique look. To learn that the new owner is projecting to have three, “three-story” homes is a devastating. The current houses on the street have space between one another, one of the many features that makes this neighborhood so wonderful. This is not a new area, like Fate, where there are no trees and houses look identical. We take pride, as all of the residents do, in enhancing our homes to make it a beautiful place to live.

I pray that the city respects this area and does not pass this plan - to build three mansions just feet away from one another. Think about the neighbors on either side of these homes. These new builds will tower over them, twice as high, taking away the charm of the neighborhood. If this is passed, it will set a precedent for when other homes on the block go up for sale, and an owner comes in, tears it down, and chooses to build a ridiculously massive house - a style that doesn't belong here.

This isn't your typical neighborhood. The history and the families making memories, makes it a place where people want to make it their forever home. We have a one year old daughter who we are blessed to have grow up on this street. We take her on wagon rides and go on our family walks up and down Parks Ave - I would hate to see the look of our neighborhood change because a person who doesn't live here wants to make a pretty penny on the land. We are absolutely for making the homes better, fixing them up - but not in this way.

Please don't build “three-story” homes. Respect this neighborhood and those that live here.

Thank you for your time.
Maggie and Adam Dingwell

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Gonzales, David

From: Planning
Sent: Monday, March 9, 2020 3:13 PM
To: Gonzales, David
Subject: FW: items (7) Z2020-002 and (8) Z2020-003

-----Original Message-----

From: Taylor Pointer [REDACTED]
Sent: Monday, March 9, 2020 2:45 PM
To: Planning <planning@rockwall.com>
Subject: items (7) Z2020-002 and (8) Z2020-003

Dear planning and zoning,

I am writing to regarding items (7) Z2020-002 and (8) Z2020-003 on the planning agenda for Tuesday, March 10, 2020. The addresses are 702 Parks and 610 Parks. We are out of town for spring break so will be unable to attend the meeting so we are writing to express our concern about the two homes to be placed on two of three lots on the old address of 702 Parks. We ask that the owner of the land build only the two houses on the three lots so that, just as the Unified Development Code which was recently updated to protect established neighborhoods with no HOA, the two houses would remain "architecturally and visually similar or complementary to existing housing in the established subdivision".

If three houses must be approved, we ask that they match the surrounding houses by decreasing the sq ft to about 1600 sq ft to again match the neighborhood.

This is such an important precedence as investors have started to buy properties in Old Town Rockwall likely with the plan to mow them down along with their beautiful trees in order to squeeze as many homes as possible into small spaces to sell and make a profit. Please protect our neighborhood from this! The City MUST help preserve the integrity of Old Town and make careful consideration on what is allowed to be built. We are grateful for the updated UDC. Huge homes on small lots, do NOT preserve the integrity of Old Town. Please deny the SUP, or request the owner to build three smaller homes.

Thank you!

Sincerely,
Taylor and Price Pointer
602 Williams St
Rockwall, TX 75087

Sent from my iPhone

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Henry House Plans

702 PARKS AVE. • ROCKWALL • TEXAS • 75087



THIS ELEVATION MAY NOT MATCH THE CONSTRUCTION DRAWINGS

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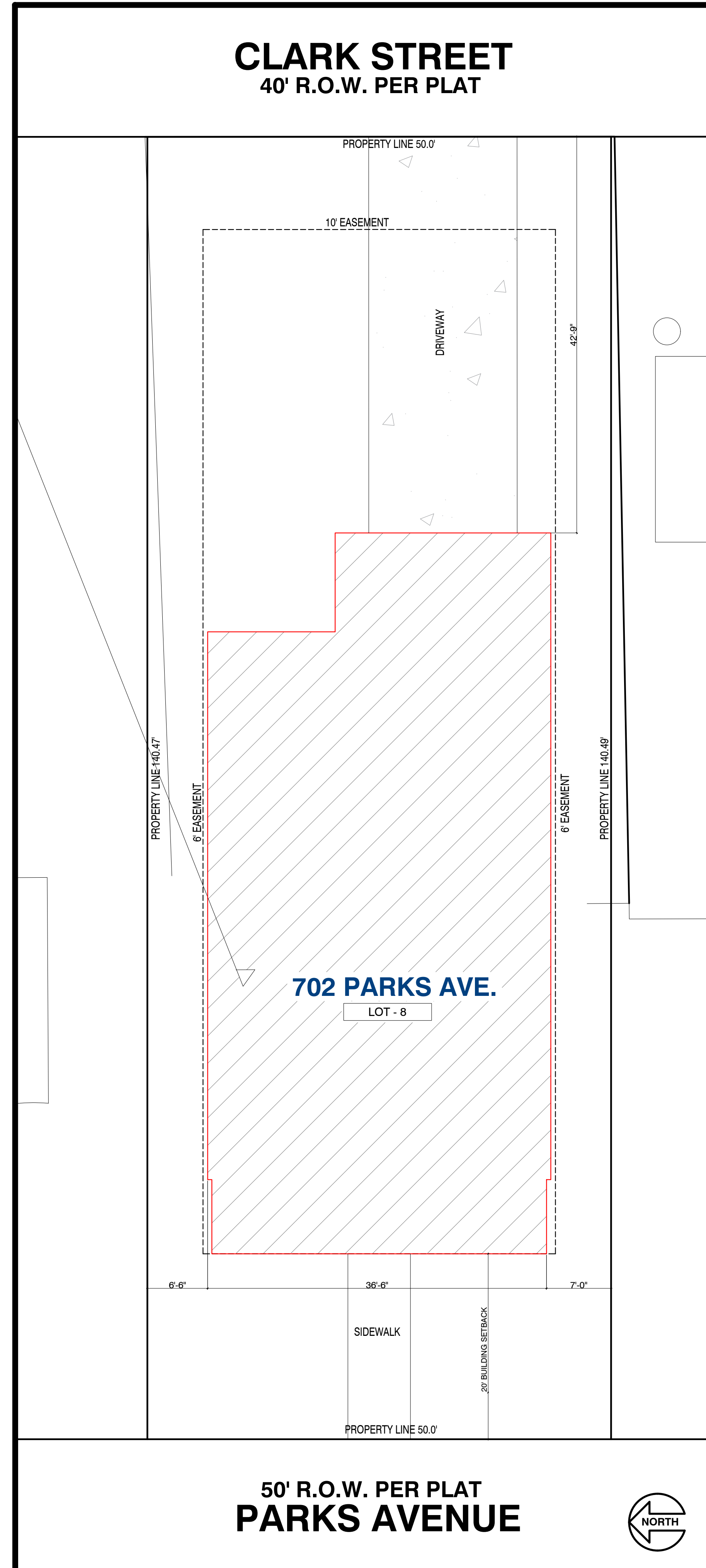
LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
 - DESIGN, SIZE, AND REINFORCEMENT LOADS.
 - ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
 - FOUNDATION DESIGN
- CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVICE PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.



SITE PLAN
SCALE: 1/8" = 1' - 0"

GENERAL NOTES

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER.
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPECS ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.
- ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE.
- THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPECS. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS.
- GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM, INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPECS. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS.
- CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

AB	ANCHOR BOLT	FD	FLOOR DRAIN	R	RADIUS
ADJ	ADJUSTABLE	FDN	FOUNDATION	R&S	ROD & SHELF
AFF	ABOVE FINISH FLOOR	FF	FINISH FLOOR	SH	SHELF(S)
BLDG	BUILDING	FLR	FLOOR	SHWR	SHOWER
BLK	BLOCK	FT	FEET	SIM	SIMILAR
BM	BEAM	FTG	FOOTING	SQ	SQUARE
CAB	CABINET	GL	GLASS	STL	STEEL
CLG	CEILING	H	HIGH	TBD	TO BE DETERMINED
CLR	CLEAR	LC	LAUNDRY CHUTE	TOJ	TOP OF JOIST
CONC	CONCRETE	LG	LONG	TOS	TOP OF SLAB
DBL	DOUBLE	ML	MICROLAM	TR	TRANSOM
DIA	DIAMETER	MTL	METAL	TYP	TYPICAL
DN	DOWN	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
DWG	DRAWING	PT	PRESSURE TREATED	V	VERTICAL
EA	EACH	PTB	PARTICLE BOARD	WD	WOOD
EQ	EQUAL				

DRAWING INDEX

A - 1.01	COVER SHEET
A - 1.02	FRONT & LEFT ELEVATION
A - 1.03	BACK & RIGHT ELEVATION
A - 1.04	FLOOR PLAN
A - 1.05	FOUNDATION/PLUMBING PLAN
A - 1.06	ROOF PLAN
A - 1.07	ELECTRICAL PLAN

SQUARE FOOTAGE

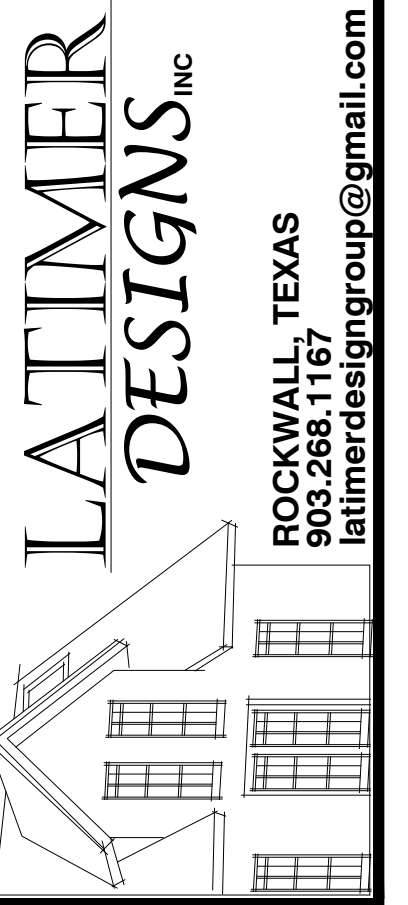
LIVING SPACE	2660
GARAGE	500
FRONT PORCH	290
BACK PORCH	186

BUILDING DEVELOPEMENT

OWNER	AMANDA HENRY 972.896.1538 mhennytx@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING REESE BAEZ 214.738.8752 RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC. LEE ANN LATIMER 903.268.1167 LATIMERDESIGNGROUP@GMAIL.COM

PROPERTY DESCRIPTION

CASE #	Z2020-002
LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8
NEIGHBORHOOD	N3600-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R



DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

11.17.2019:
KITCHEN - FLIP SINK &
RANGE. ADDED WINDOW

12.04.2019:
LAUNDRY ROOM LAYOUT
PLUMBING
ELECT.: DIM. SWITCHES &
ADDED RCL'S

PROJECT/CLIENT:
MANDY HENRY
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
COVER SHEET

SHEET NO.:
A - 1.01

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

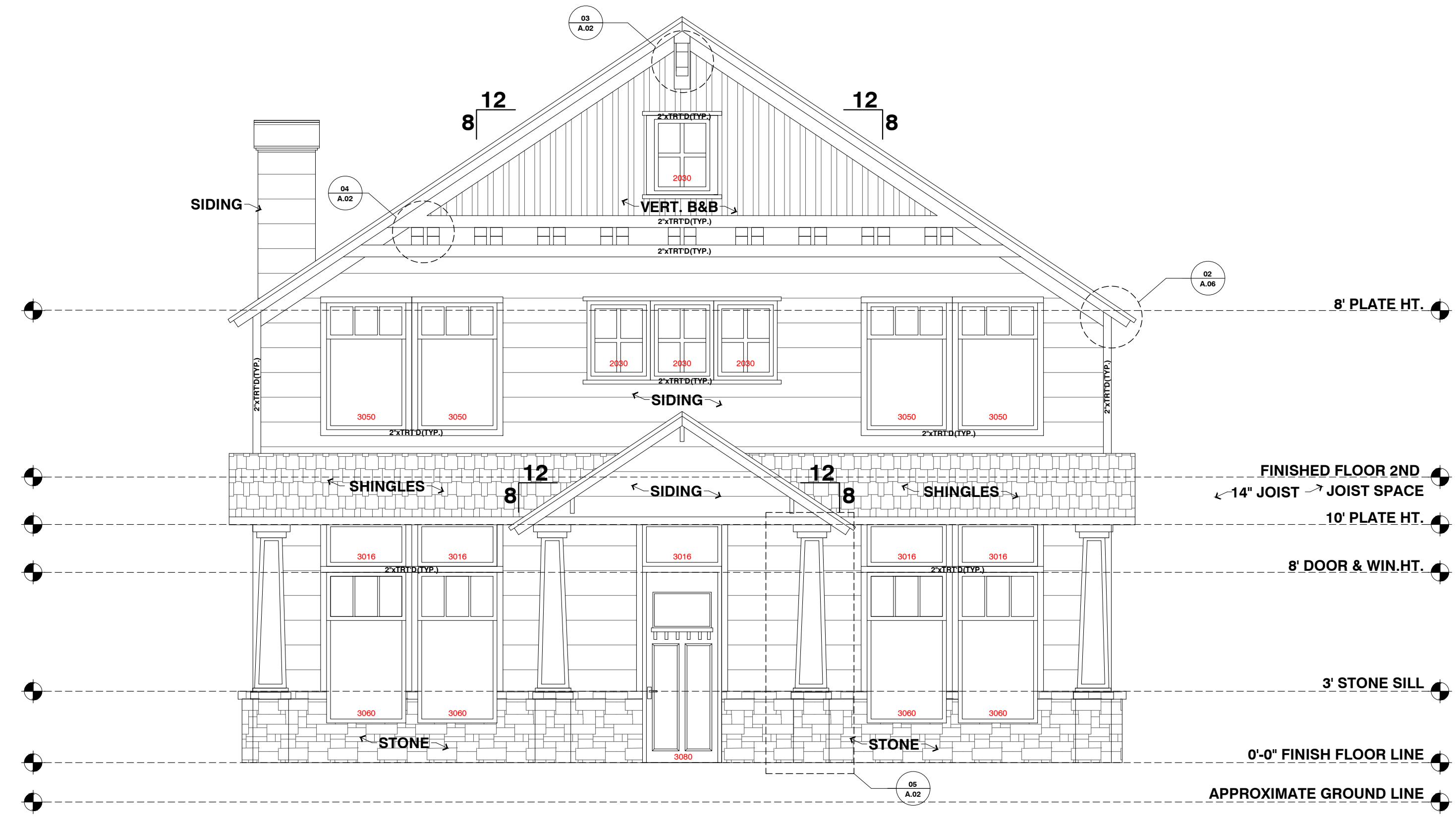
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

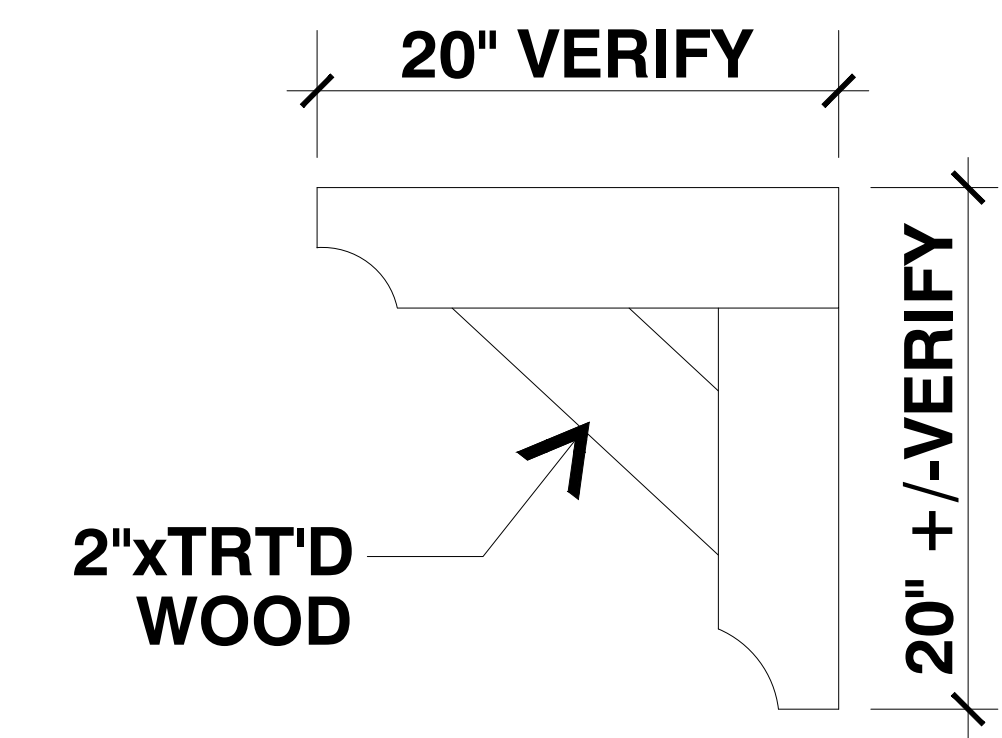
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Z2020-002

SHEET TITLE:
ELEVATIONS

SHEET NO.:
A - 1.02

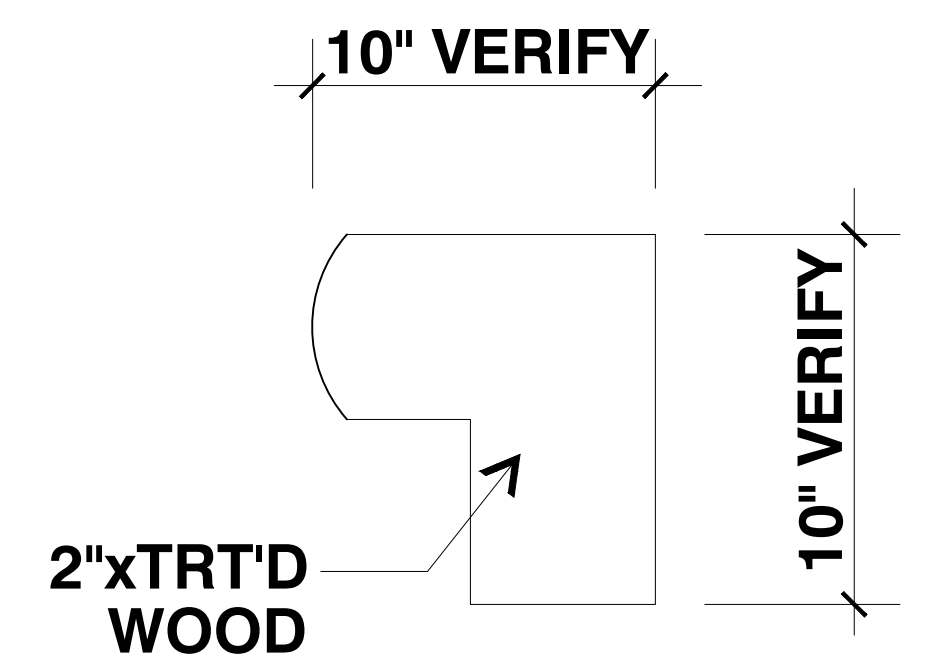


02 FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



NOTE:
VERIFY PROFILE DETAIL WITH OWNER.

03 BRACKET 1 DETAIL
NOT TO SCALE

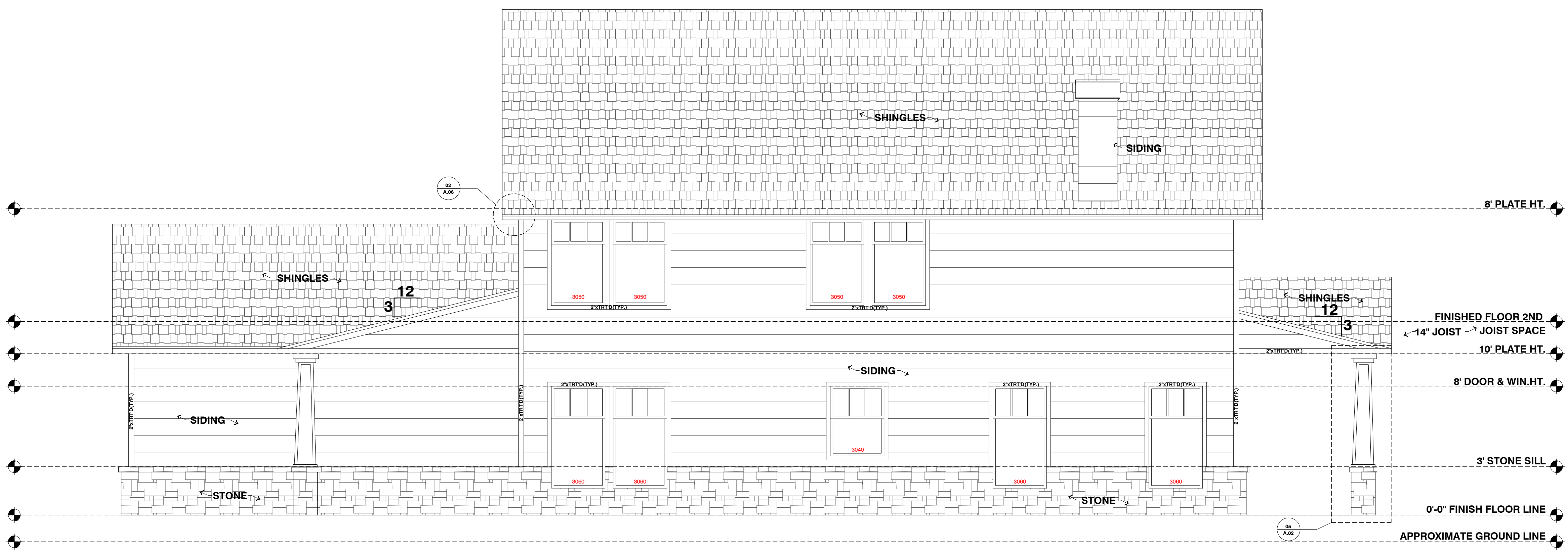


NOTE:
VERIFY PROFILE DETAIL WITH OWNER.

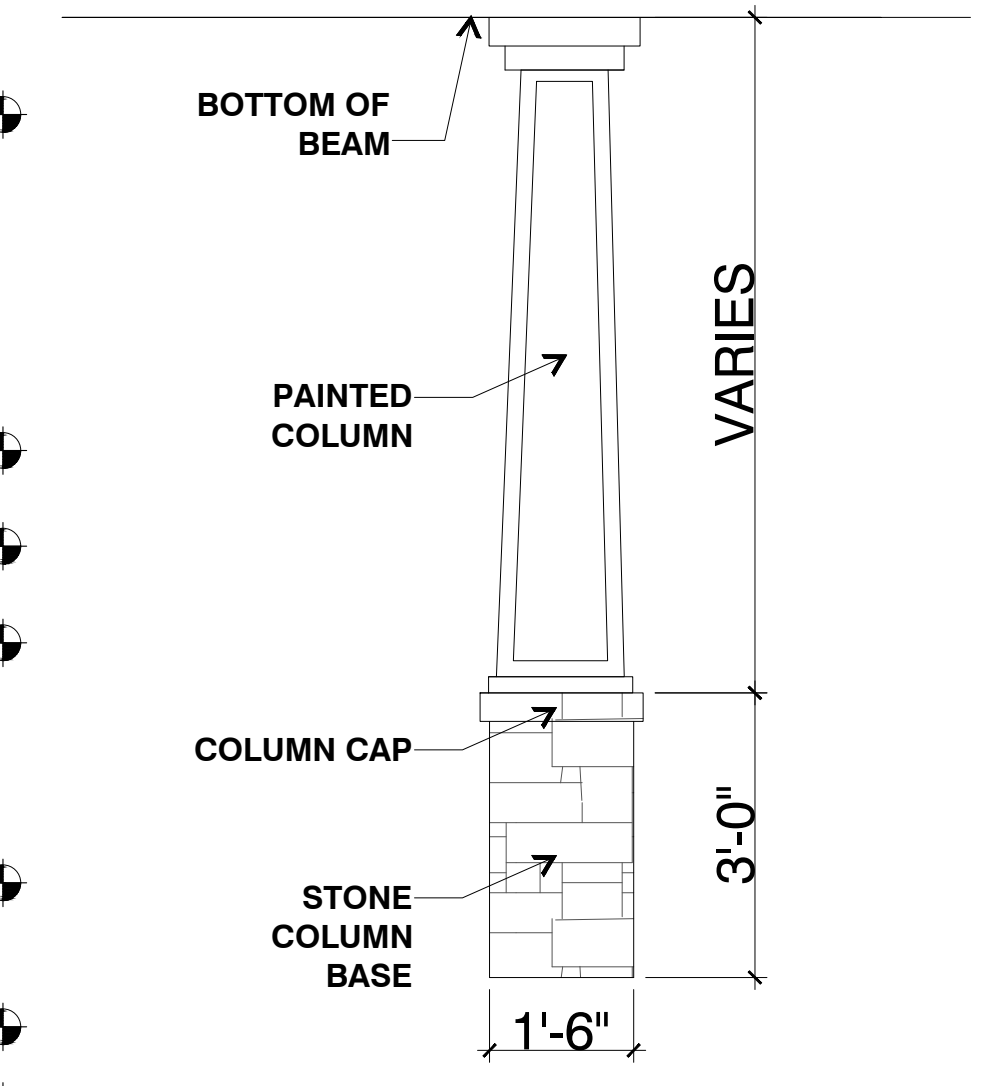
04 BRACKET 2 DETAIL
NOT TO SCALE

NOTES

- OWNER TO SELECT ALL WINDOW & DOOR STYLES.
- ALL GROUND LINES ARE APPROXIMATE.
- VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
- VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.



01 LEFT ELEVATION
SCALE: 1/4" = 1' - 0"



NOTE:
VERIFY PROFILE DETAIL WITH OWNER.

05 COLUMN DETAIL
SCALE: 1/2" = 1'-0"

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
 MANDY HENRY

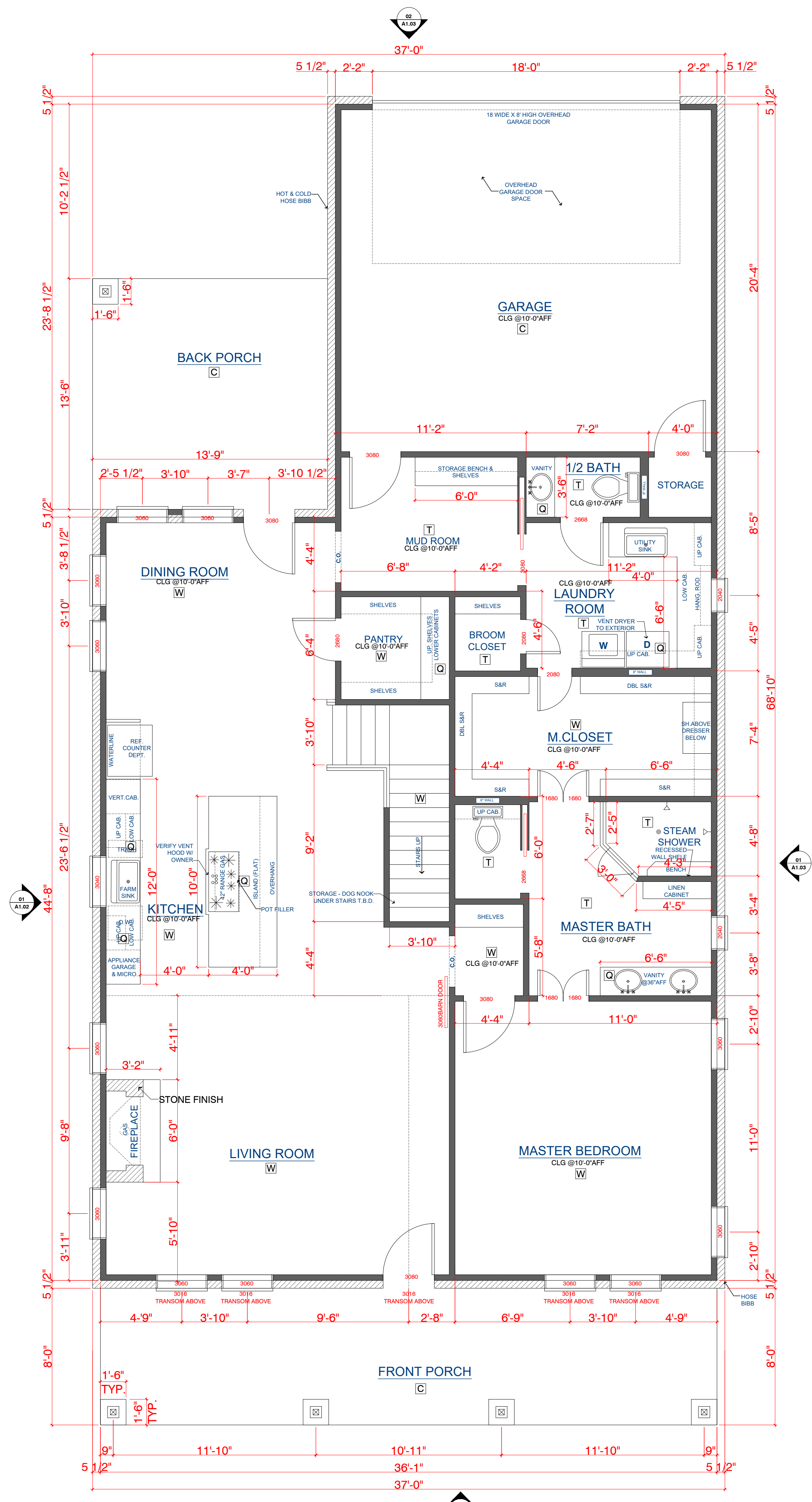
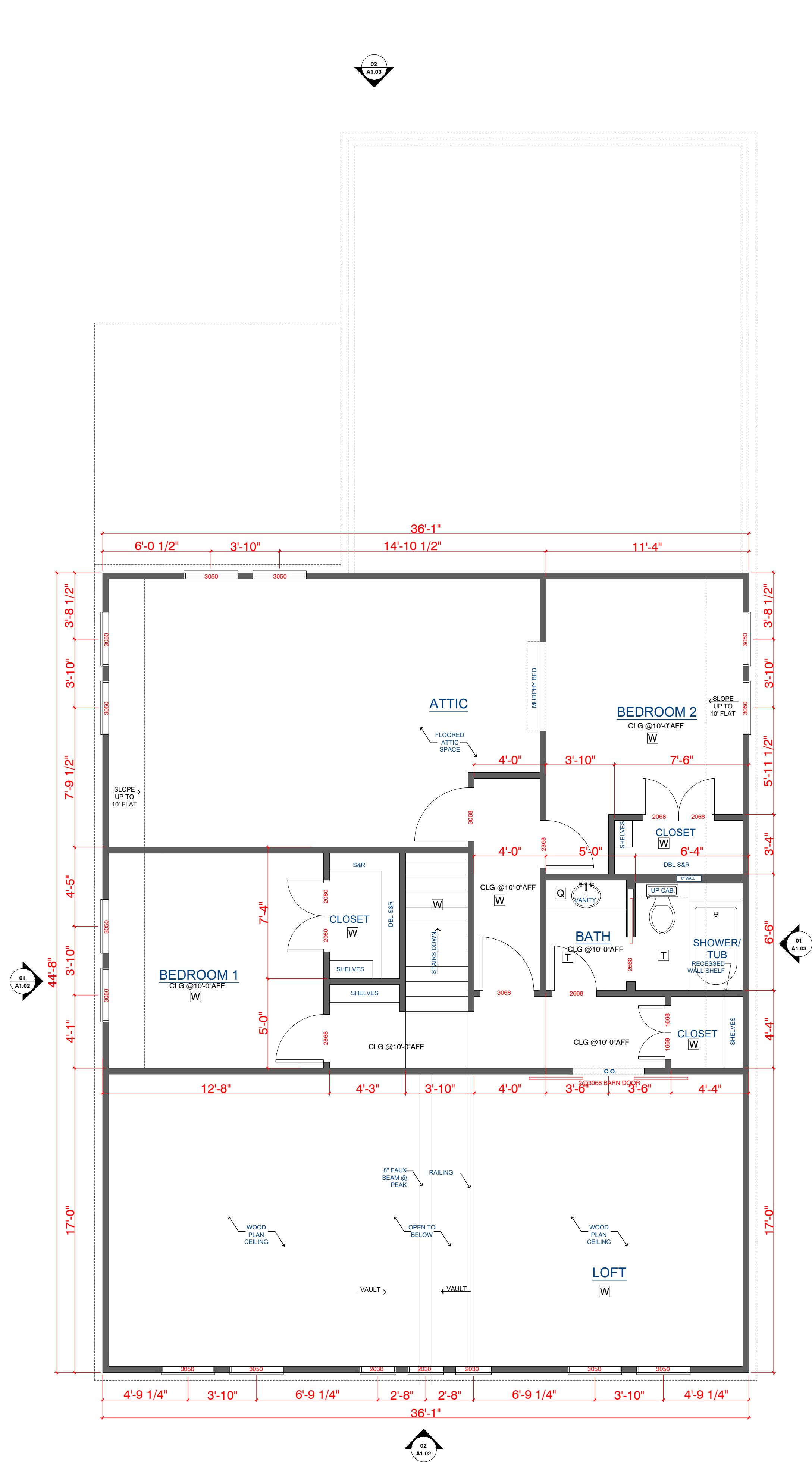
LOCATION:
 702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
 06.06.2019

CASE #:
 Z2020-002

SHEET TITLE:
 FLOOR PLAN

SHEET NO.:
 A - 1.04

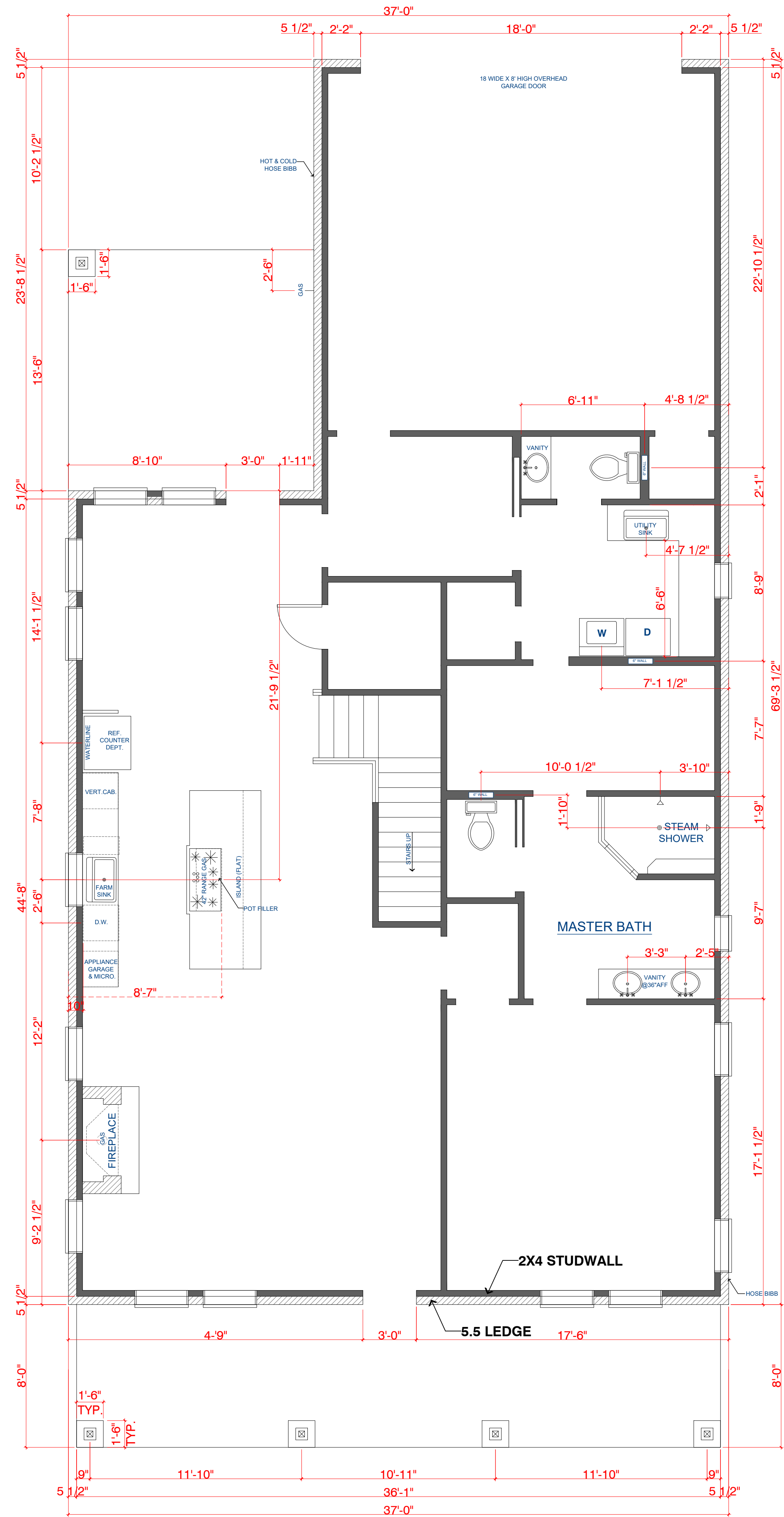
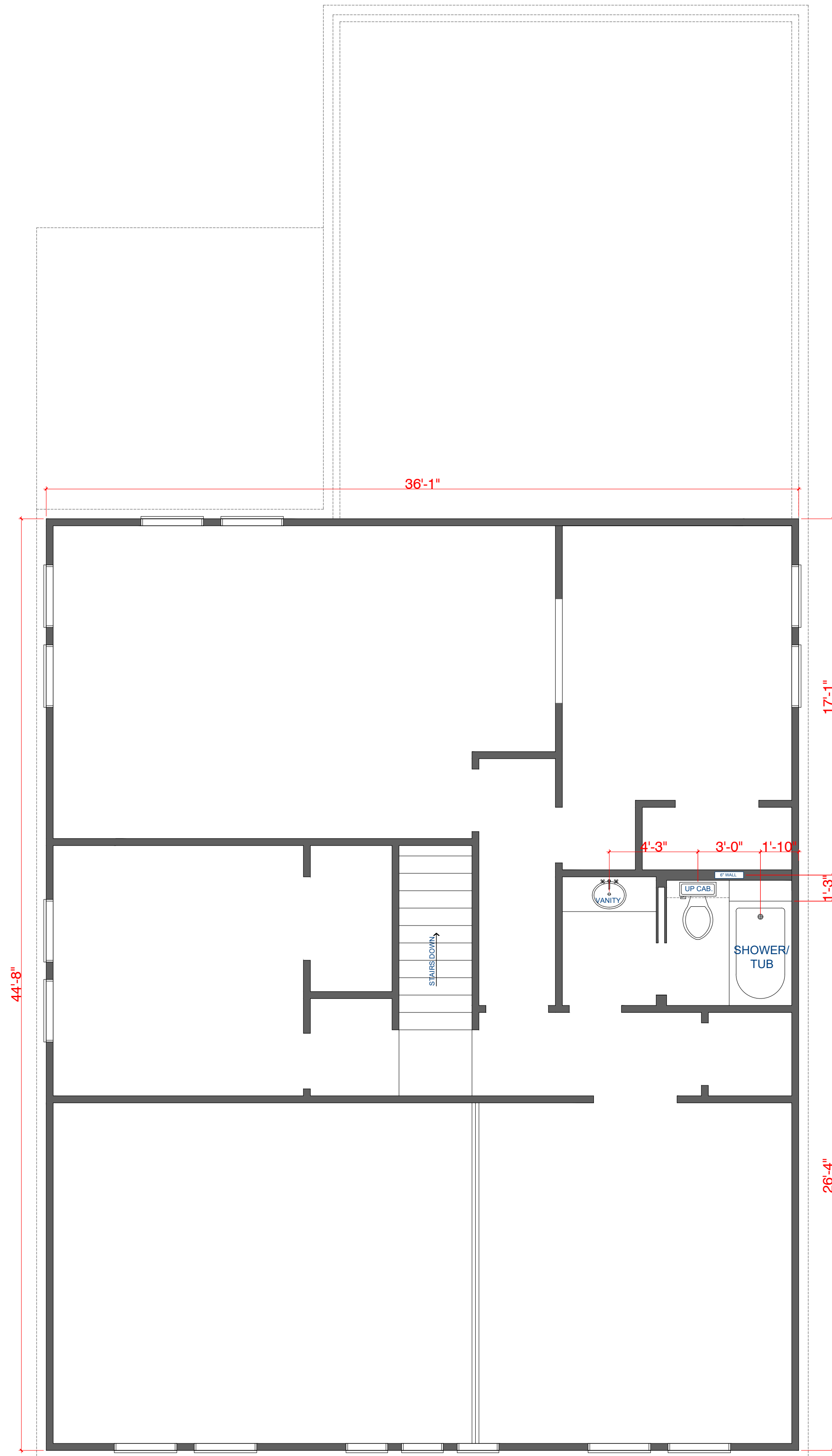


FINISH SCHEDULE

W	WOOD PLANK
C	CONCRETE
Q	QUARTZ
T	TILE

ALL DOORS, CASED OPENINGS, & WINDOWS TO HAVE TRIMMED CASEMENT.

- GENERAL NOTES**
- ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
 - WINDOW EXAMPLE: 2850, 2'-8" WIDE BY 5'-0" TALL, DOOR EXAMPLE: 3080, 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES IN WIDTH & HEIGHT RESPECTIVELY.
 - IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES.
 - REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOORS & WINDOWS.
 - CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE. CEILING AS NOTED ON DRAWING.
 - FRAMED WALLS TO BE 2X4 STUDS @16" O.C.
 - CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE.
 - CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER - TANK UNIT
 - ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.
 - ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER.
 - ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE STYLE, ETC.), & APPLIANCES TO BE SELECTED BY OWNER.
 - CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS FOR FURTHER GRAB BARS.



NOTES

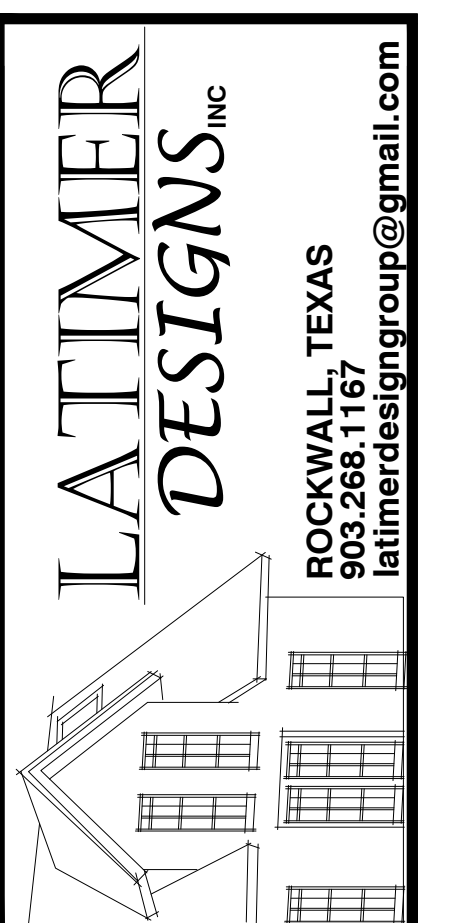
ALL JOIST, BEAMS, POST, & HEADERS TO BE SIZED BY STRUCTURAL ENGINEER. LATIMER DESIGNS LLC IS NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECIFICATIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY ENGINEERED DRAWINGS OR MANUFACTURERS LAYOUTS FOR THE EXACT LOCATIONS REQUIRED FOR BUILDING. FOUNDATION TO BE SLAB ON GRADE.

WATER HEATERS TO BE TANKLESS: QTY - 1: GAS

ALL PLUMBING DIMENSIONS TO BE VERIFIED WITH SELECTED FIXTURE PER MANUFACTURERS SPECIFICATIONS; SELECTIONS BY OWNER.

ALL PLUMBING DIMENSIONS ARE MARKED ON CENTER LINES OF FIXTURE TO EXTERIOR WALL FACE.

PLUMBER TO VERIFY FILTRATION SYSTEM WITH OWNER.



DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

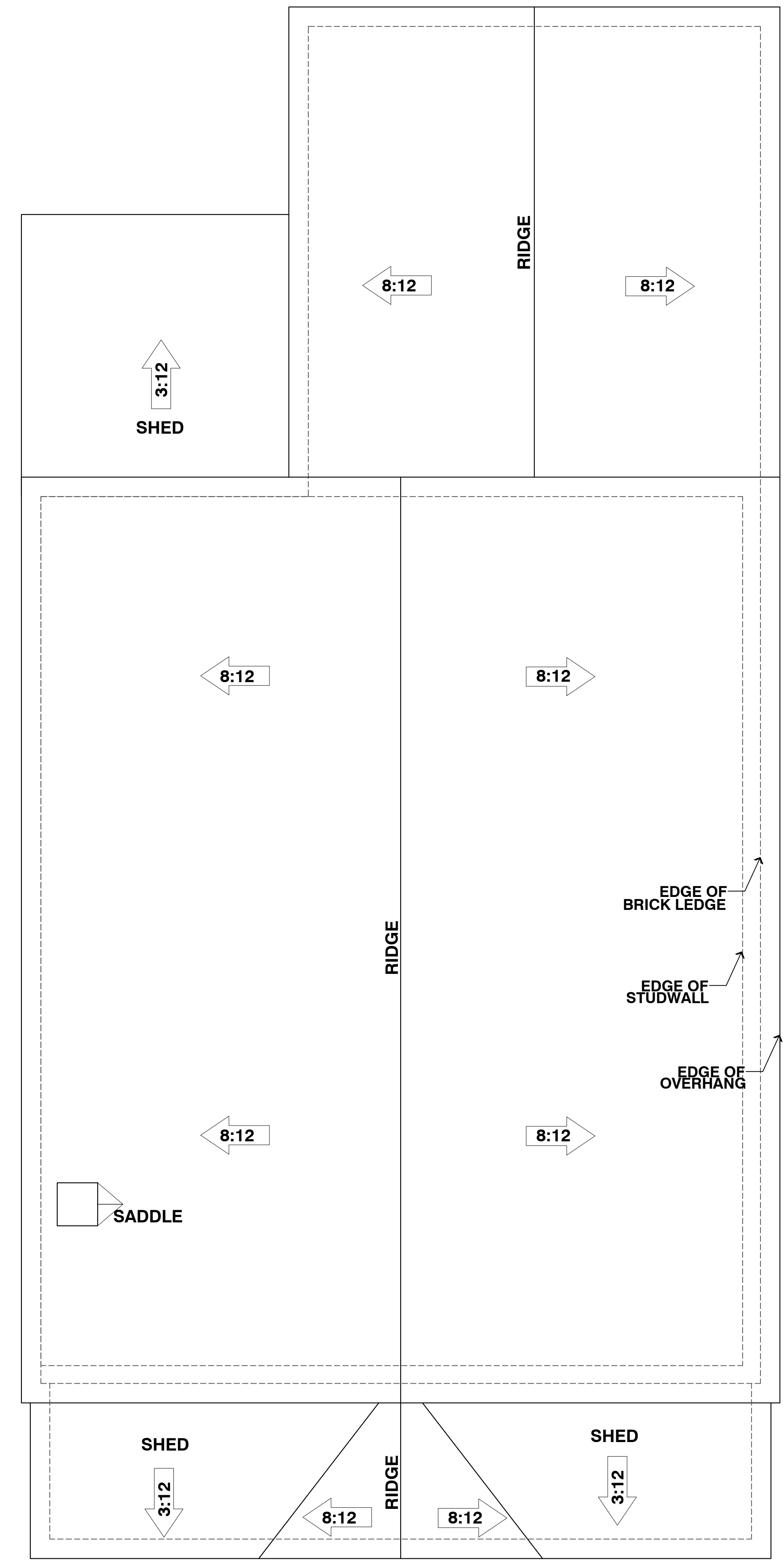
LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

CASE #:
Z2020-002

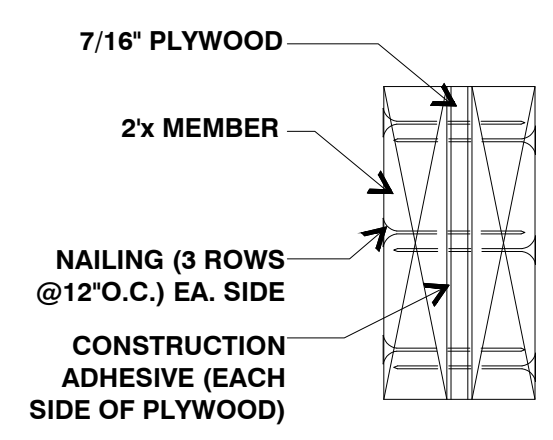
SHEET TITLE:
FOUNDATION & PLUMBING PLAN

SHEET NO.:
A - 1.05

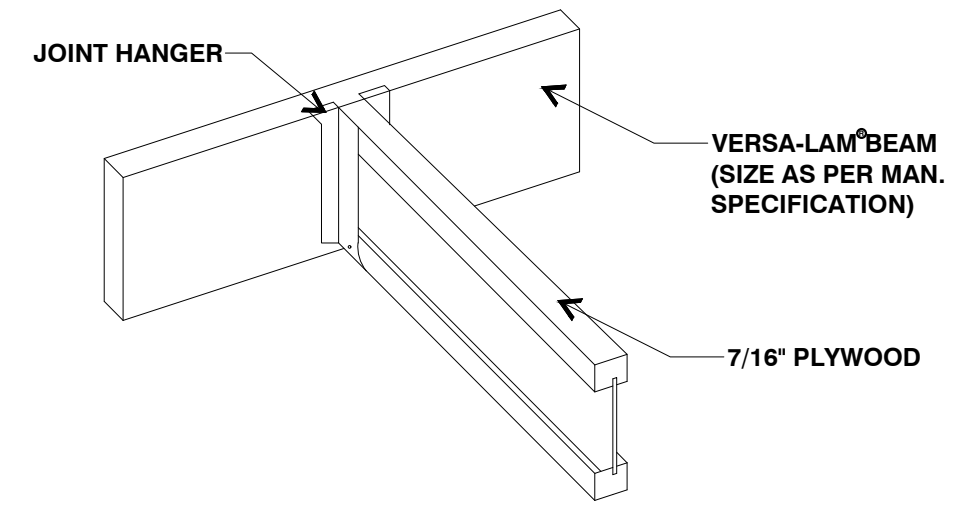


01 ROOF PLAN
SCALE: 1/4" = 1' - 0"

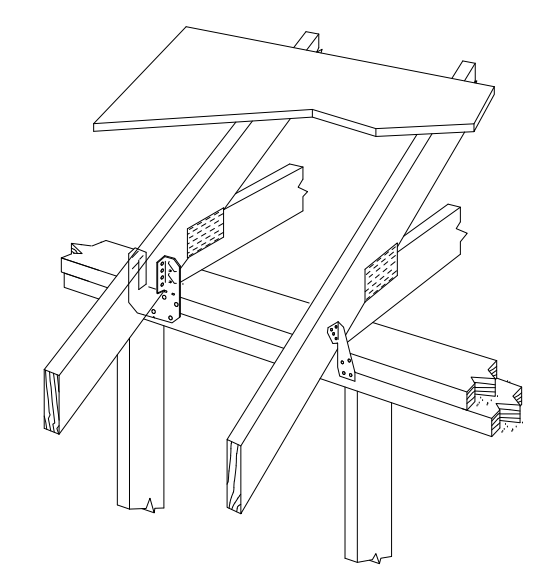
SEE ELEVATIONS FOR PLATE HEIGHTS.



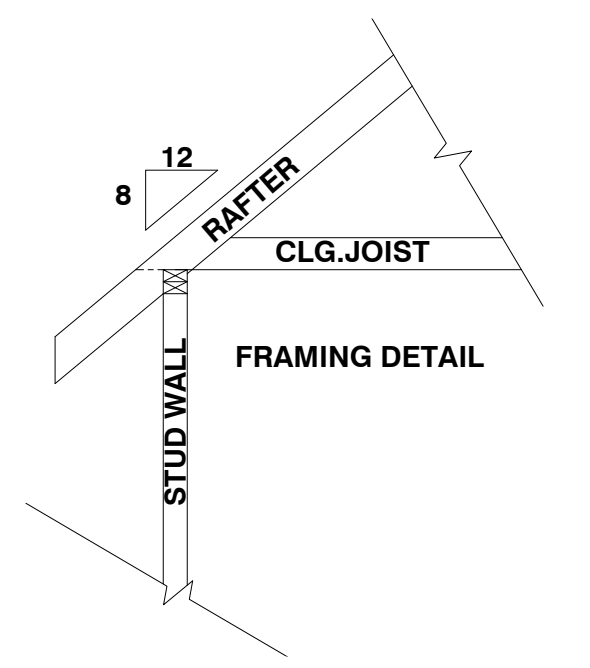
05 BEAM SECT.
SCALE: N.T.S.
SCHEMATIC-GENERAL REFERENCE ONLY



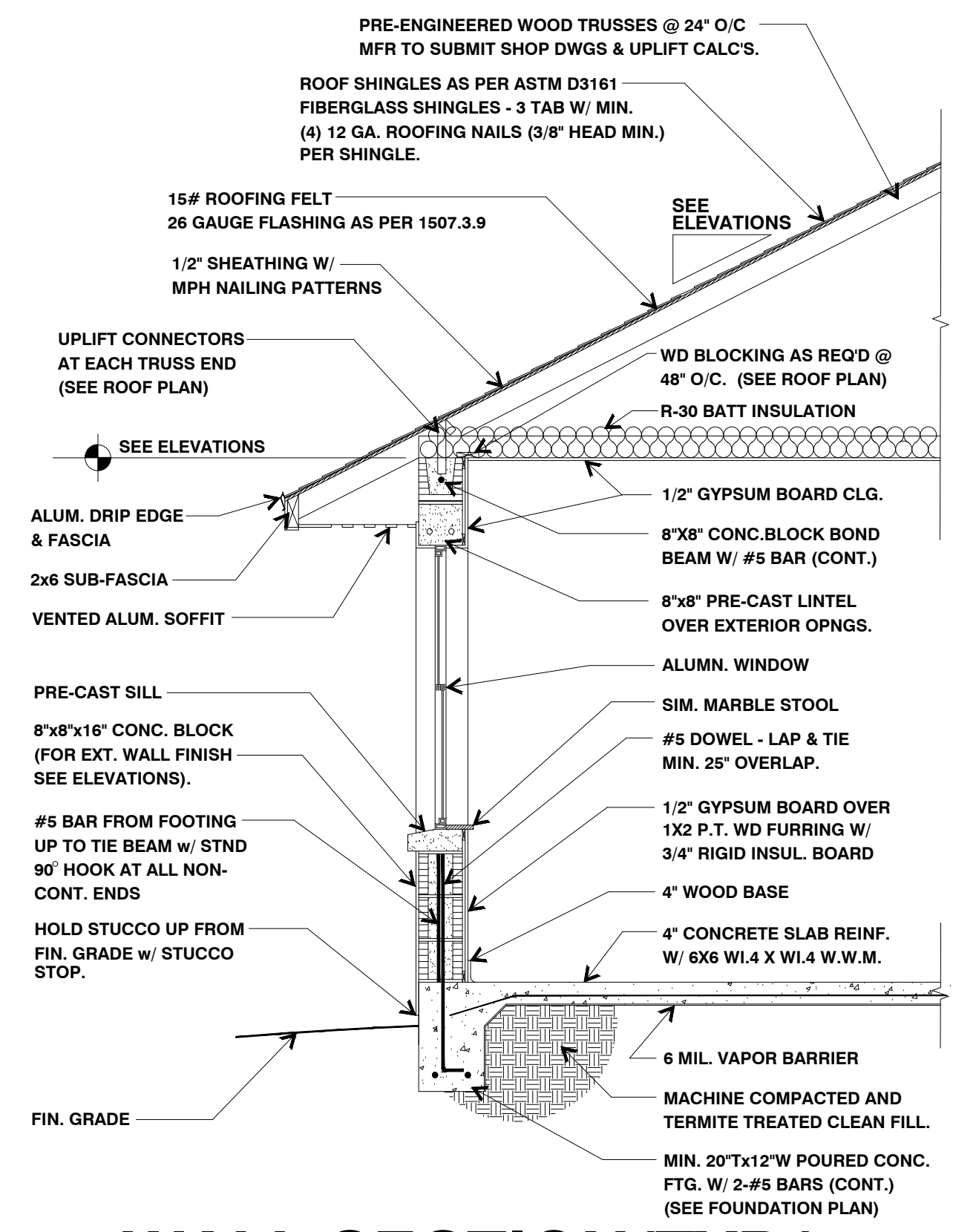
04 BEAM DETAIL
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REFERENCE ONLY



03 TRUSS & TOP PLATE
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



02 FRAMING DETAIL
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REF. ONLY



06 WALL SECTION (TYP.)
SCALE: N.T.S.
SCHEMATIC-FOR GENERAL REFERENCE ONLY

FRAMING NOTES

1. WALL FRAMING TO BE METAL STRUCTURE WITH INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. FRAMED ON THE INSIDE OF METAL COLUMNS.
2. CONTRACTOR TO PROVIDE 2" BLOCKING BETWEEN ALL CEILING JOIST.
3. ALL LUMBER TO BE #2 S.Y.P. OR GREATER.
4. CONTRACTOR TO VERIFY ALL LUMBER SIZES & SPACING TO MEET ALL LOCAL & NATIONAL CODES APPLICABLE @ BUILDING SITE. ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.
5. ALL CEILING JOISTS SIZED TO MEET "SOUTHERN PINE COUNCIL" 2003 ED. ALL CEILING JOISTS ARE SIZED TO: 10 PSF (LIVE LOAD), 5 PSF (DEAD LOAD), WITH L/240 DEFLECTION. IF ATTIC STORAGE IS REQUIRED, CEILING JOISTS TO BE SIZED 20 PSF (LIVE LOAD), 10 PSF (DEAD LOAD).
6. ALL SITE BUILT BEAMS TO HAVE 7/16" PLYWOOD BETWEEN EACH 2"x. GLUED & NAILED UNLESS NOTED OTHERWISE.
7. ALL CEILING JOISTS ARE 2"x6" SHOWN AT 24" O.C. UNLESS NOTED OTHERWISE.
8. ALL BEAM SIZES & LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
9. ALL OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF STUDWALL, UNLESS NOTED OTHERWISE.
10. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", NO. 2, S.Y.P.
11. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", NO. 2, S.Y.P.
12. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
13. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED W/ 22 GA., G.I., 24" WIDE MINIMUM.
14. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.

ROOF NOTES

1. ALL ROOF PITCHED TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
2. PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
3. ALL OVERHANGS ARE TO BE 1'-0" FROM FACE OF STUD UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE PROPER ROOF VENTILATION TO MEET ALL LOCAL & NATIONAL CODES.
5. CONTRACTOR TO PROVIDE PROPER BRACING AS REQUIRED TO MEET ALL LOCAL & NATIONAL CODES.
6. INTERIOR CEILING PITCH AT SLOPES TO BE DETERMINED BY FRAMER.
7. SEE ELEVATIONS FOR PLATE HEIGHT.

DRAWN BY:

CHECKED BY:

DATE:

ISSUED FOR PERMIT:

ISSUED FOR CONSTRUCTION:

REVISIONS:

PROJECT/CLIENT:
MANDY HENRY

LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087

DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
ROOF PLAN

SHEET NO.:
A - 1.06

DRAWN BY:
 CHECKED BY:
 DATE:
 ISSUED FOR PERMIT:
 ISSUED FOR CONSTRUCTION:
 REVISIONS:

PROJECT/CLIENT:
MANDY HENRY
 LOCATION:
702 PARKS AVE. • ROCKWALL • TX • 75087
 DATE:
06.06.2019

CASE #:
Z2020-002

SHEET TITLE:
ELECTRICAL PLAN
 SHEET NO.:
A - 1.07

ELECTRICAL LEGEND

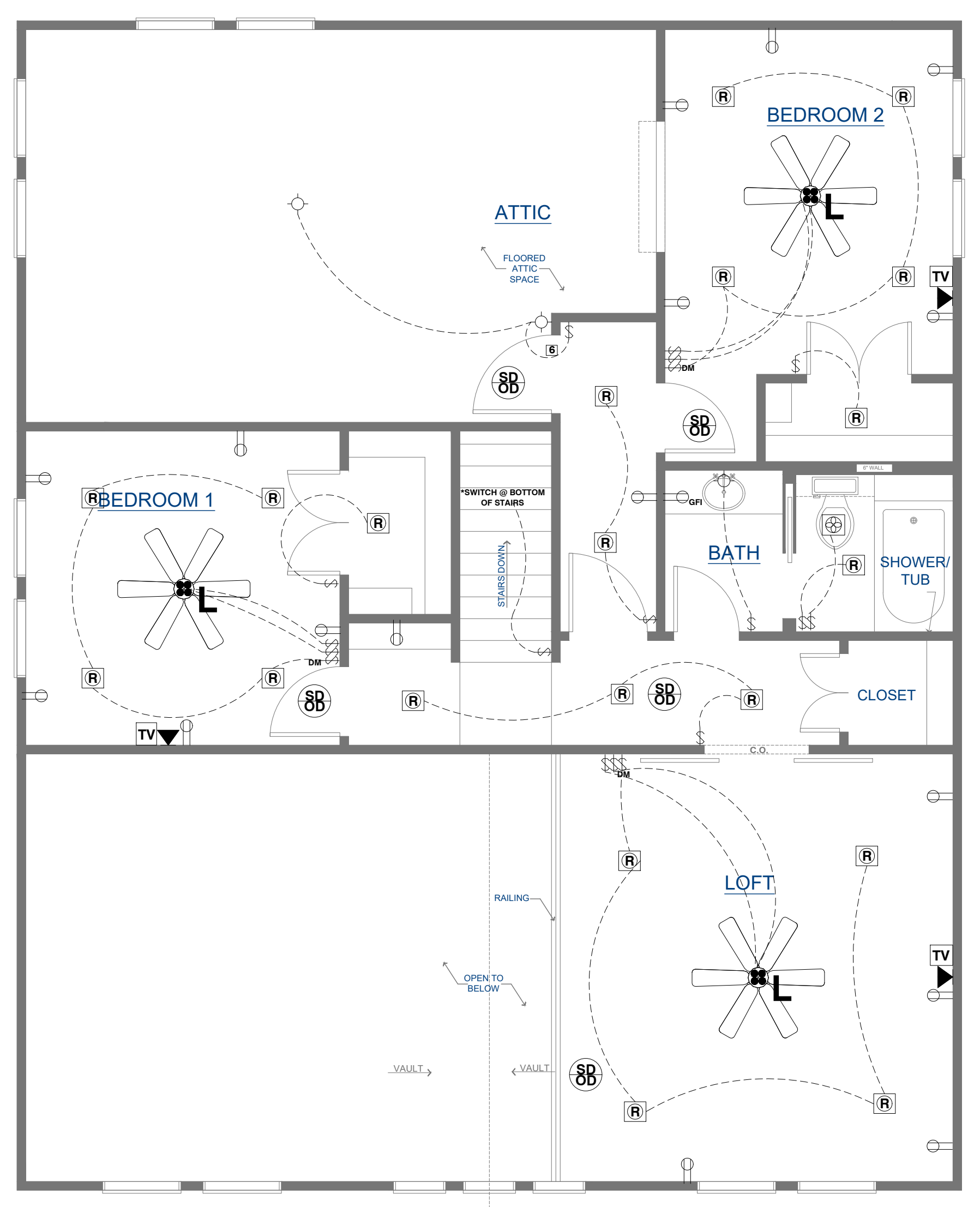
ELECTRICAL	SYM.
CABLE TV OUTLETS	TV
TELEPHONE	▼
UNDER MOUNT LIGHTS	▬
DOUBLE SPOTLIGHT	⬠
LIGHT FIXTURE	⊙
RECESSED CAN LIGHT (VERIFY LOC./OWNER)	Ⓡ
ELECT. & MOUNT KIT FOR FUTURE FAN	Ⓢ
CEILING FAN W/LIGHT	⊗
CEILING FAN W/OUT LIGHT	⊘
EXHAUST FAN W/O LIGHT	Ⓢ
WATERPROOF OUTLET	WP
EXTERIOR OUTLET@EAVE	E
110 VOLT OUTLET	110
220 VOLT OUTLET	220
GROUND FAULT PROTECTED OUTLET	GFI
FLOOR OUTLET W/AV	F
SWITCH	Ⓢ
SWITCH - 3 WAY	3
SWITCH - DIMMER	DM
SMOKE & CO DETECTOR	Ⓢ

KEYED NOTES

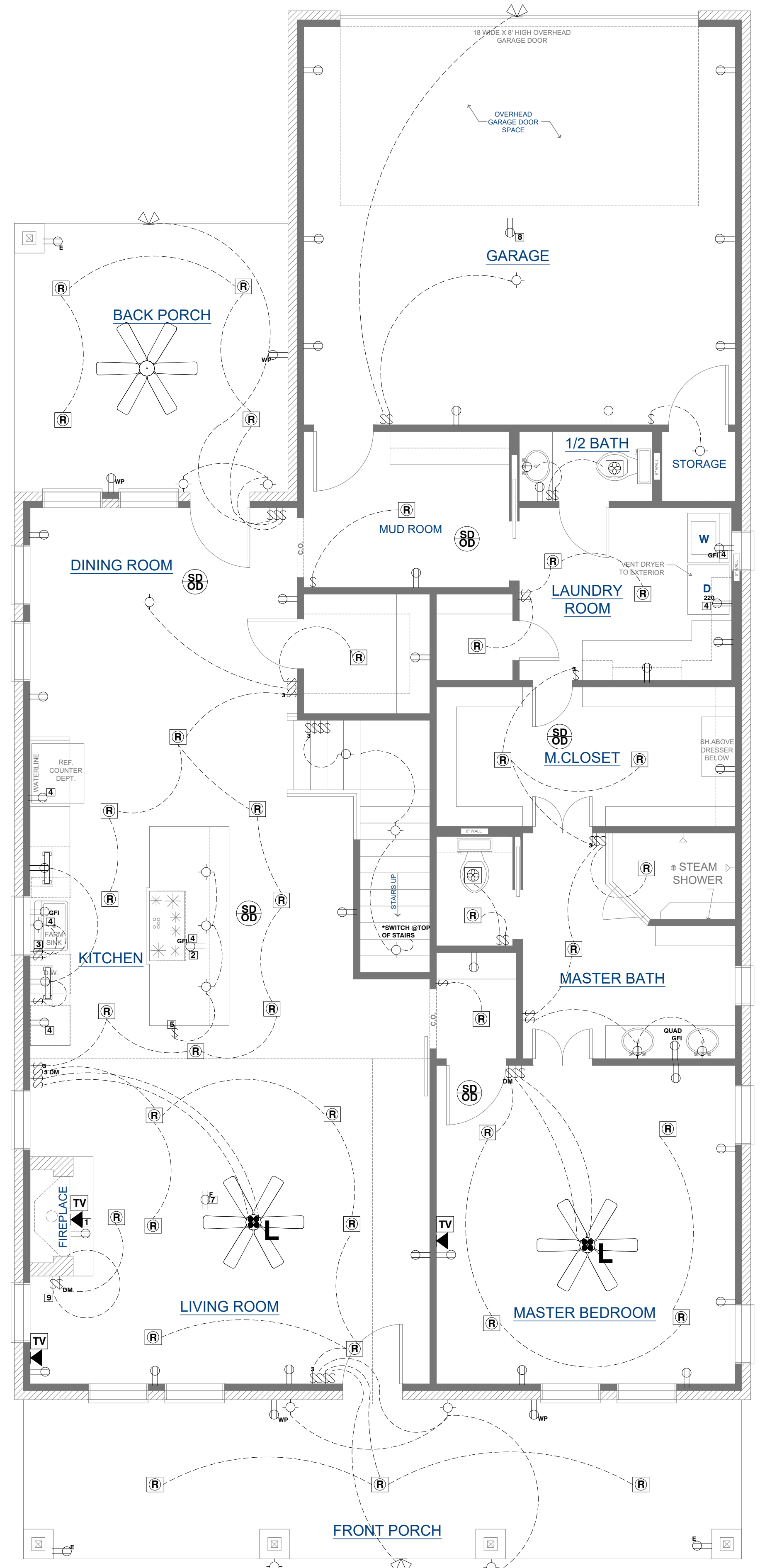
- 1 OUTLET & TV AT MANTEL
- 2 OUTLET FOR DISPOSAL & DW UNDER SINK
- 3 SWITCH FOR DISPOSAL
- 4 OUTLET FOR APPLIANCES
- 5 OUTLET/SWITCH HIGH ON ISLAND
- 6 ATTIC LIGHT & SWITCH
- 7 FLOOR OUTLET
- 8 OUTLET @ CEILING
- 9 FIREPLACE VENT FAN

ELECTRICAL NOTES

1. FLOOR BOXES TO HAVE 110 QUAD OUTLETS
2. ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
3. ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS & MAKE ANY NECESSARY ADJUSTMENTS
4. SMALLEST WIRE SIZE TO BE 12-2.
5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE.
6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY BACKUP.
7. CONTRACTOR TO LOCATE PHONE, CABLE, ETC. AS PER OWNER'S SPECIFICATIONS.
8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
9. SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.
10. VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.



01 ELECTRICAL PLAN - 2ND FLOOR
 SCALE: 1/4" = 1'-0"



01 ELECTRICAL PLAN - 1ST FLOOR
 SCALE: 1/4" = 1'-0"





706 Parks Avenue
Property to the North

Legend



708 Parks Avenue
Property to the North and Adjacent to 706 Parks Avenue

Legend



714 Parks Avenue

Write a description for your map.

Legend









711 Parks Avenue

Write a description for your map.

Legend



Google Earth

© 2020 Google

5.38 ft





February 13, 2020

City of Rockwall
Planning & Zoning Department
385 S. Goliad St.
Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts.

Please consider our proposal for requesting a zoning application.

Thank you,

A handwritten signature in black ink, appearing to read "Reese Baez", is written over a horizontal line.

Reese Baez
Triton General Contractor
469-931-2267

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

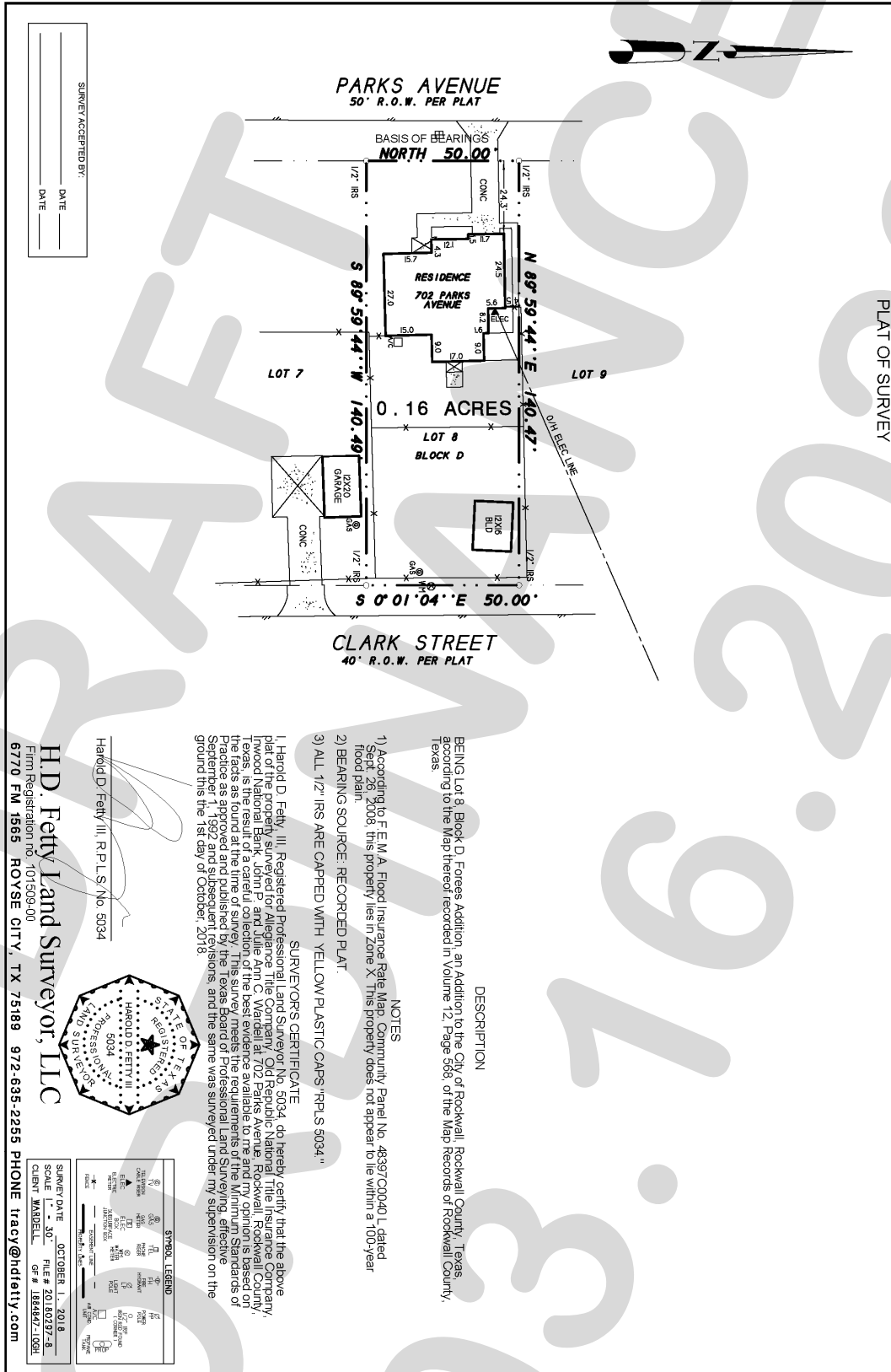
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 16, 2020

2nd Reading: April 6, 2020

Exhibit 'A':
Survey



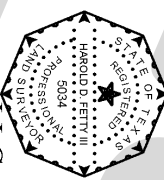
SURVEY ACCEPTED BY:
DATE _____
DATE _____

DESCRIPTION
BEING Lot 8, Block D, Forests Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map therefor recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES
1) According to E.M.A Flood Insurance Rate Map Community Panel No. 48397C00401, dated 10/03/03, this property lies in zone X. This property does not appear to be within a 100-year flood plain.
2) BEARING SOURCE: RECORDED PLAT.
3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

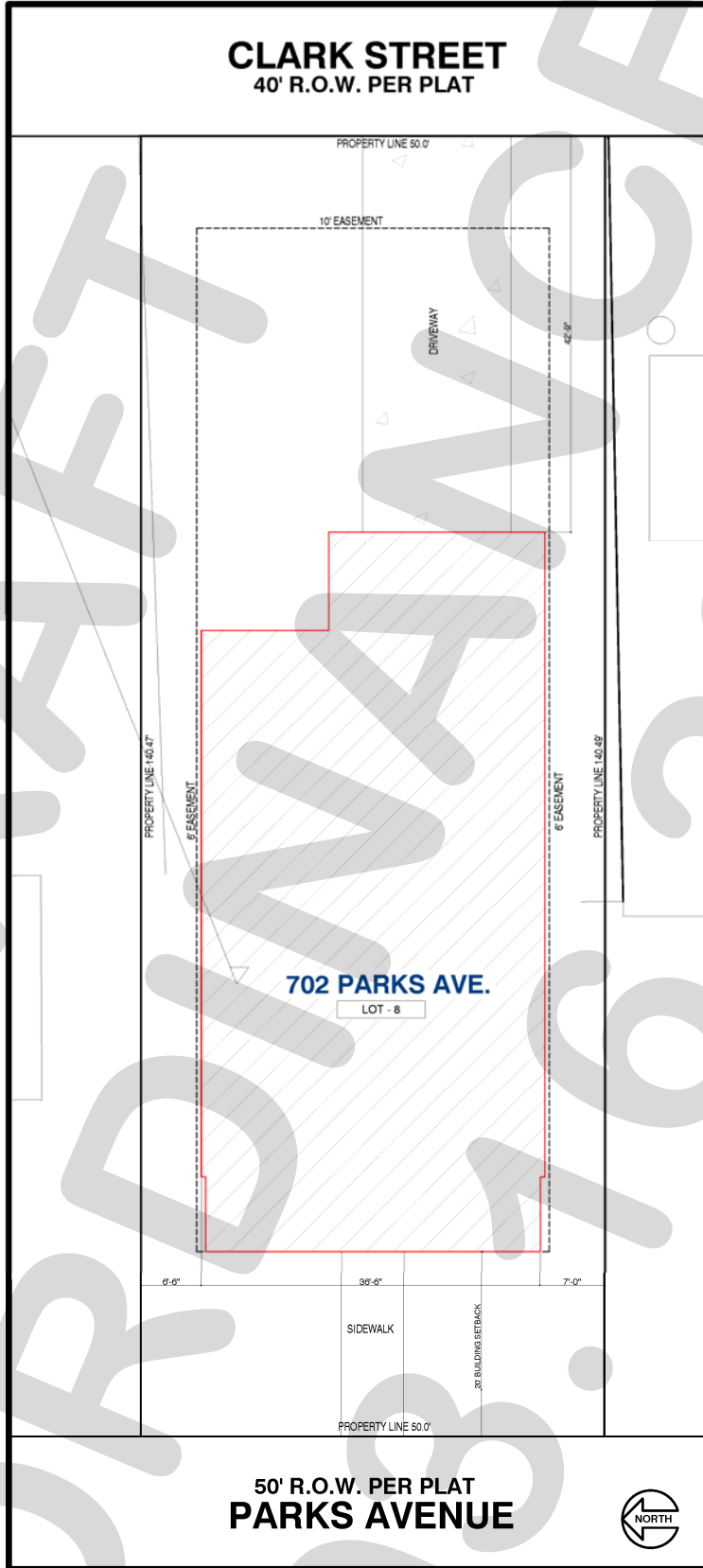
SURVEYOR'S CERTIFICATE
I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 702 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the same as approved and published by the Texas Board of Professional Land Surveying effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018.

Harold D. Fetty, III, R.P.L.S. No. 5034
H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255
PHONE ttracy@hdfetty.com



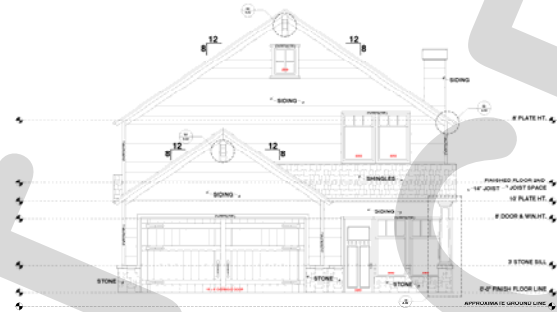
SYMBOL LEGEND	
---	1/2" IRS
---	1/4" IRS
---	CONCRETE
---	ASPHALT
---	GRAVEL
---	WOOD
---	IRON
---	STEEL
---	COPPER
---	ZINC
---	LEAD
---	ALUMINUM
---	BRASS
---	STEEL
---	IRON
---	COPPER
---	ZINC
---	LEAD
---	ALUMINUM
---	BRASS
---	STEEL
---	IRON
---	COPPER
---	ZINC
---	LEAD
---	ALUMINUM
---	BRASS

Exhibit 'B':
Residential Plot Plan

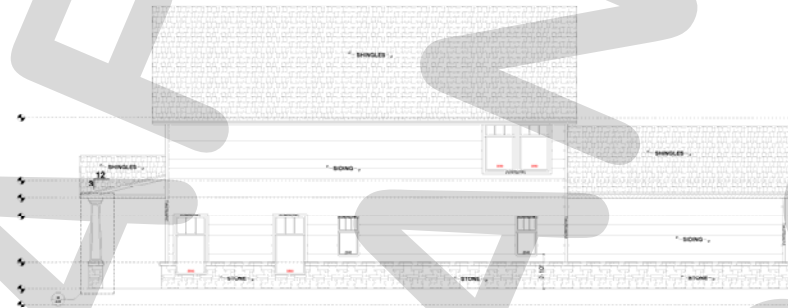


SITE PLAN
SCALE: 1/8" = 1' - 0"

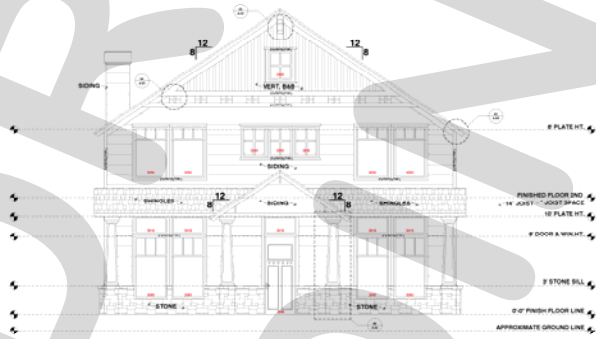
**Exhibit 'C':
Building Elevations**



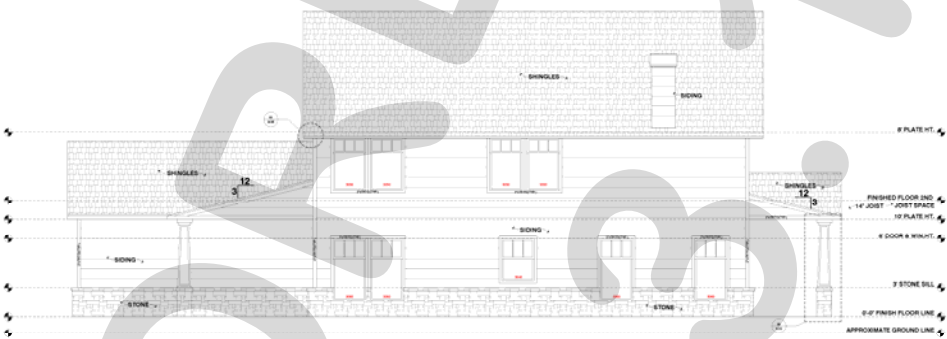
02 BACK ELEVATION
SCALE: 1/4" = 1'-0"



01 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



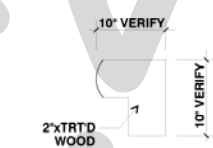
02 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



01 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



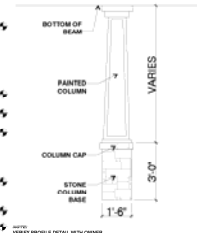
03 BRACKET 1 DETAIL
NOT TO SCALE



04 BRACKET 2 DETAIL
NOT TO SCALE

NOTES

1. OWNER TO SELECT ALL WINDOW & DOOR STYLES.
2. ALL WINDOW LINES AND APPROXIMATE GROUND LINE.
3. VERIFY ALL EXTERIOR MATERIALS WITH OWNER PRIOR TO CONSTRUCTION.
4. VERIFY WINDOW SURROUND MATERIAL & STYLE WITH OWNER.



05 COLUMN DETAIL
SCALE: 1/2" = 1'-0"



May 4, 2020

ATTN:

Reese Baez
1025 Goliad Street, #108
ROCKWALL, TX 75087

RE: SUP ZONING (Z2020-002), 702 Parks Avenue

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by City Council on 04/06/2020 via Ordinance No. 20-10 [SUP No. S-216]. The following is a record of all recommendations, voting records and conditions of approval:

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to construct a single-family home as a Residential Infill within an Established Subdivision, then staff would propose the following conditions of approval:

(1) *The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:*

(a) *Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.*

(b) *Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,*

(c) *Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.*

(2) *Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

PLANNING AND ZONING COMMISSION

On March 10, 2020, the Planning and Zoning Commission made a motion to recommend approval of the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion was approved by a vote of 3-2, with Commissioners Womble and Moeller against, and Commissioners Fishman and Logan absent.

CITY COUNCIL:



On March 16, 2020, the City Council made a motion to deny the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion to deny failed to be approved by a vote of 2-4, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself. A second motion to approve the SUP request was made and passed by a vote of 4-2, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself [1st Reading].

On April 6, 2020, the City Council made a motion to approve the Specific Use Permit (SUP) to allow for the construction of a single-family home as a Residential Infill within an Established Subdivision with staff conditions. The motion to approve the SUP request passed by a vote of 4-2, with Mayor Pruitt and Councilmember Johannesen dissenting, and Councilmember Trowbridge recusing himself [2nd Reading].

Please contact the City of Rockwall Planning staff at (972) 771-7745 with any questions or concerns regarding this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "David Gonzales", with a horizontal line extending to the right.

David Gonzales, AICP
Planning and Zoning Manager
Planning & Zoning Department
City of Rockwall, TX