



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2020-027 P&Z DATE 11/10/20 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. SP2020-027

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address PD 57

Subdivision ALLIANCE ADDITION PHASE 2 Lot 8 & 11 Block 1

General Location HORIZON ROAD - FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District Current Use

Proposed Zoning Planned Development District Proposed Use

Acreage 2.22 ACRES Lots [Current] 2 Lots [Proposed] 1

[] **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 112.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>N & H LEGACY</u>	<input checked="" type="checkbox"/> Applicant	<u>STROHMEYER ARCHITECTS INC</u>
Contact Person	<u></u>	Contact Person	<u>JIMMY STROHMEYER</u>
Address	<u>PO BOX 818</u>	Address	<u>2701 SUNSET RIDGE</u>
			<u>SUITE 607</u>
City, State & Zip	<u>TERRELL, TEXAS 75060</u>	City, State & Zip	<u>ROCKWALL, TEXAS 75032</u>
Phone	<u></u>	Phone	<u>214-497-2057</u>
E-Mail	<u></u>	E-Mail	<u>jimmy@strohmeyearchitects.com</u>

NOTARY VERIFICATION [REQUIRED]

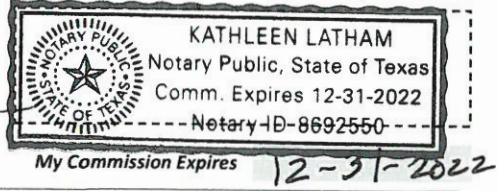
Before me, the undersigned authority, on this day personally appeared Jimmy Strohmeyer [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's/Applicant's Signature [Signature]

Notary Public in and for the State of Texas Kathleen Latham





SP2020-027- SITE PLAN FOR ALLIANCE ADDITION PHASE 2
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. SP2020-027

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DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>N & H LEGACY</u>	<input checked="" type="checkbox"/> Applicant	<u>STROHMEYER ARCHITECTS INC</u>
Contact Person	<u></u>	Contact Person	<u>JIMMY STROHMEYER</u>
Address	<u>PO BOX 818</u>	Address	<u>2701 SUNSET RIDGE</u>
			<u>SUITE 607</u>
City, State & Zip	<u>TERRELL, TEXAS 75060</u>	City, State & Zip	<u>ROCKWALL, TEXAS 75032</u>
Phone	<u></u>	Phone	<u>214-497-2057</u>
E-Mail	<u></u>	E-Mail	<u>jimmy@strohmeyearchitects.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jimmy Strohmeyer [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

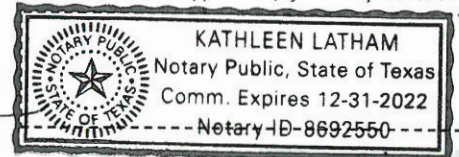
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]
Kathleen Latham



My Commission Expires 12-31-2022



SP2020-027- SITE PLAN FOR ALLIANCE ADDITION PHASE 2
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
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1 | 2 | 3 | 4 | 5

Randall Noe Alliance Addition
Elevation Calculations

Elevation	Stone	Brick	Stucco	Total	Stone %	Brick %	Stucco %
WEST	859	1,409	460	2,728	31.49%	51.65%	16.86%
SOUTH	1,479	1,262	719	3,460	42.75%	36.47%	20.78%
EAST	2,605	1,450	221	4,276	60.92%	33.91%	5.17%
NORTH	1,507	617	1,375	3,499	43.07%	17.63%	39.30%
Total	6,450	4,738	2,775	13,963	46.19%	33.93%	19.87%



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition - Renderings.dwg
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Revisions:

Sheet Title:

**EXTERIOR
ELEVATIONS**

A-201



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

1 | 2 | 3 | 4 | 5

1 2 3 4 5

D

C

B

A



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition - Renderings.dwg
© 2016 Strohmeier Architects, Inc.

Revisions:

Sheet Title:
**EXTERIOR
RENDERINGS**

A-202

1 2 3 4 5

1 2 3 4 5

D

C

B

A



STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

**FOR REGULATORY
APPROVAL**

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Unsaved Drawing.dwg
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Revisions:

Sheet Title:

**EXTERIOR
RENDERINGS**

A-203



1 2 3 4 5



STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

Concept Design

Project Number:

Drawing Date: 6/1/16

Drawn:

Checked:

Scale:

ACAD File: HeathPlaza0462116-A201.dwg

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Revisions:

Sheet Title:

**COLOR
BOARD**



AUSTIN STONE



ACME FRENCH VANILLA



**PLASTER - MATCH
FRENCH VANILLA**



**DARK
BRONZE**



ACME CRANBERRY

D

C

B

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1

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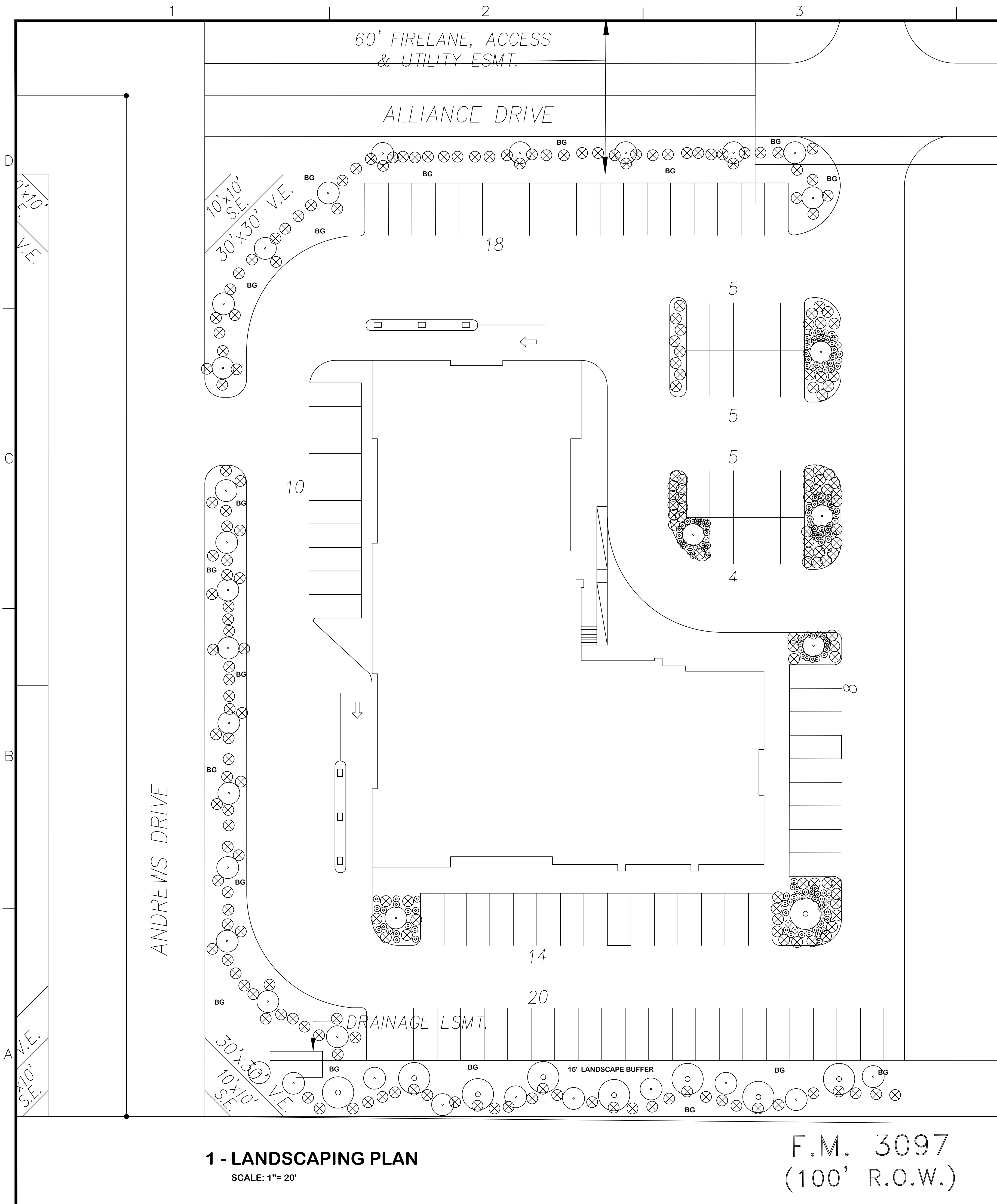
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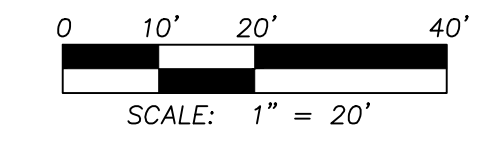
5

Jan 04, 2017 - 12:14pm User: \$(GETVAR,??) /Users/jimmy/Dropbox/Strohmeier Architects/Alliance Addition-010417-LS101.dwg



1 - LANDSCAPING PLAN
SCALE: 1" = 20'

F.M. 3097
(100' R.O.W.)



LEGEND

- CANOPY TREE
- ORNAMENTAL (ACCENT) TREE
- SHRUB
- GROUND COVER
- PERENNIAL
- BG** BERMUDA GRASS

LANDSCAPING GENERAL REQUIREMENTS

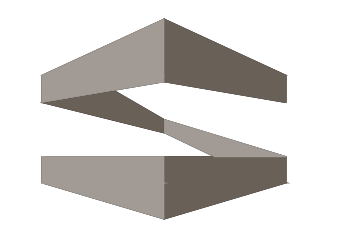
COMMERCIAL / RETAIL
SITE AREA = 100,500 S.F.
LANDSCAPING AREA PROVIDED = 21,624 S.F.
LANDSCAPING AS PERCENTAGE OF TOTAL SITE = 22%

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 3" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



STROHMEYER
ARCHITECTS INC.

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HEATH, TEXAS 75032
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FOR REGULATORY APPROVAL

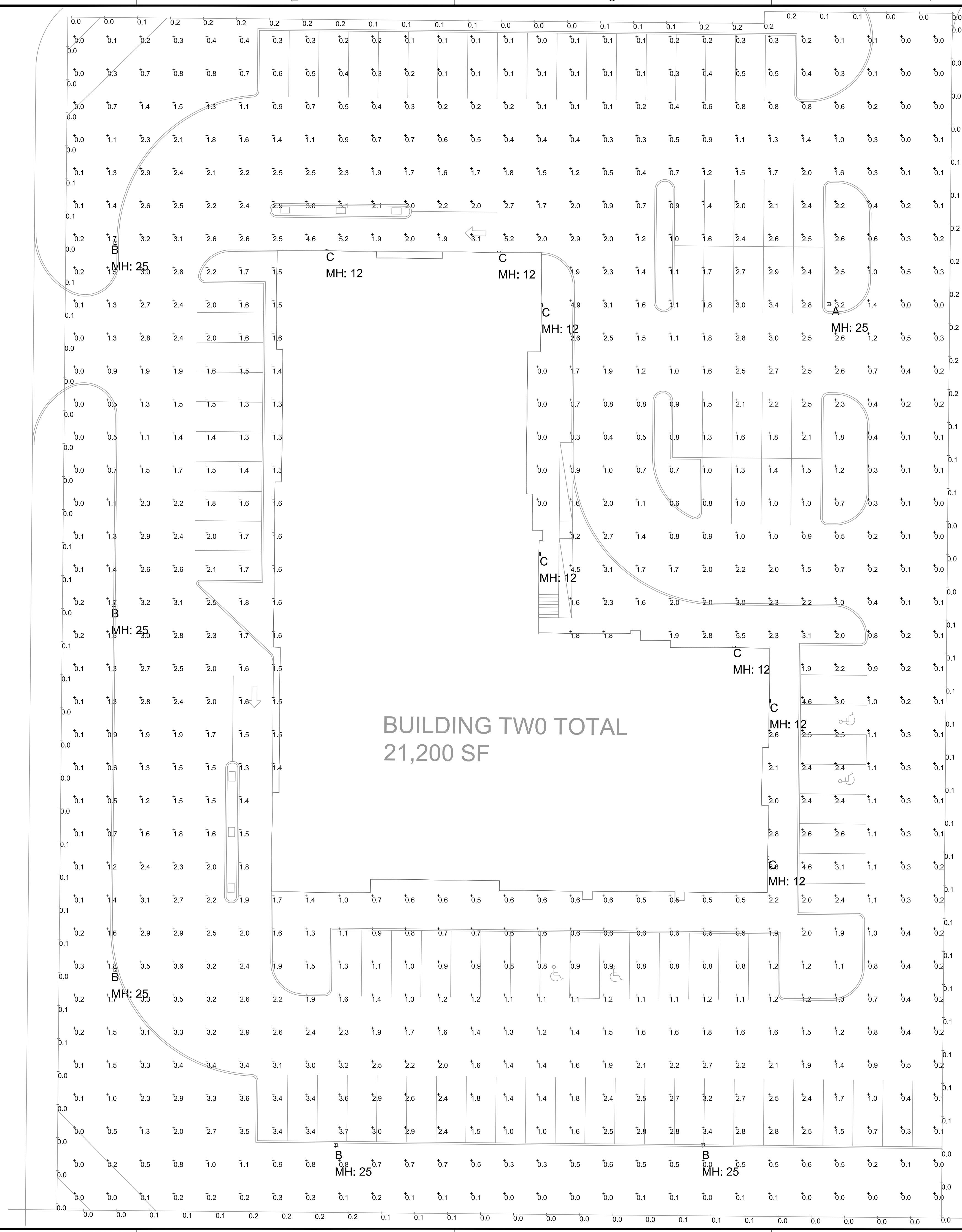
RANDAL NOE ALLIANCE ADDITION ROCKWALL, TEXAS

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition-010417-LS101.dwg
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Revisions:

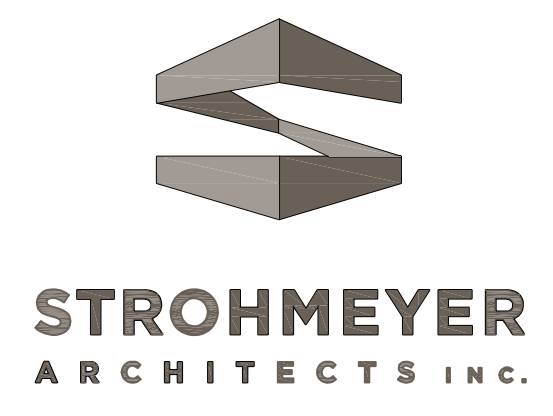
Sheet Title:
LANDSCAPING PLAN
LS-101

Jan 09, 2017 - 2:59pm User: HES007 C:\Users\HES007\HES\HES Team Site - 2016\160046 Randall Noe Alliance\08 DWG\E101.dwg



GENERAL NOTES
 1. MOUNTING HEIGHTS SHOWN ON PLAN AS MH: ...

Luminaire Schedule					
Symbol	Qty	Label	Manufacturer / Catalog Number	Lum. Watts	Total Watts
☐	1	A	GLEON-AF-03-LED-E1-T3	166	166
☐	5	B	GLEON-AF-03-LED-E1-SL4-HSS	166	498
☐	7	C	IST-E02-LED-E1-BL4	46.9	328.3



Consultants:
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 FC GUNY CORPORATION
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 HEATH, TEXAS 75032
 STRUCTURAL
 DFV STRUCTURAL CONSULTING
 12575 MILL RUN DRIVE
 FRISCO, TEXAS 75035
 MEP
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 3102 MAPLE AVE
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 DALLAS, TEXAS 75201

ISSUE FOR PERMIT



**RANDAL NOE
 ALLIANCE ADDITION
 ROCKWALL, TEXAS**

Project Number:
 Drawing Date: 01/09/17
 Drawn:
 Checked:
 Scale:
 ACAD File: E101.dwg
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Revisions:

1 SITE PLAN - LIGHTING
 E1.01 1/16" = 1'-0"



Sheet Title:
 SITE PLAN LIGHTING
E1.01

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: SP2020-027
PROJECT NAME: Site Plan for Alliance Addition Phase 2
SITE ADDRESS/LOCATIONS: 6601 HORIZON RD

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/22/2020	Needs Review

10/22/2020: SP2020-027; Site Plan for Alliance Addition Phase 2

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2020-027) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, the Planned Development 57 (PD-57) standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. Include the address in the title block. (Subsection 03.04. A, of Article 11)
2. Indicate the case number in the lower right corner on all sheets, SP2020-027. (Subsection 03.04. A. of Article 11)
3. Include a north arrow on the landscape plan. (Subsection 03.04. A, of Article 11)
4. Verify the total lot acreage. (Subsection 03.04.B, of Article 11)
5. Indicate the distance between all property lines and existing and planned buildings located on the site. (Subsection 03.04. B, of Article 11)
6. Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight. (Subsection 03.04. B, of Article 11)
7. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
8. Indicate the Right-of-Way along Horizon Road. (Subsection 03.04. B, of Article 11)
9. Indicate the centerline for Horizon Road. (Subsection 03.04. B, of Article 11)

10. Label the height and type of fence proposed or existing. (Subsection 08.02. F, of Article 08)
11. Indicate any pad mounted or roof mounted utility equipment as well as any subsequent required screening. (Subsection 01.05. C, of Article 05)
12. Provide details/elevations for the dumpster screening. (Subsection 01.05. B, of Article 05)
13. What type of uses are requiring the drive-through? As a note, a restaurant with less than 2,000 SF requires a SUP.

M.6 Landscape Plan:

1. Update the Landscape Plan to match the Site Plan. (Subsection 03.04. A. of Article 11)
2. Verify the area of the tract. (Subsection 03.04. B, of Article 11)
3. After acreage is verified the impervious vs. landscaped area may need to be recalculated. (Subsection 01.01. B, of Article 05)
4. Indicate the locations of all existing and proposed landscaping. Arial imagery indicates that there are trees along Horizon Road that are not indicated on this Landscape Plan. (Subsection 05.03. B, of Article 08)
5. Indicate the trees that will remain on site. (Subsection 07.01, of Article 09)
6. All parking spaces must be within 80ft of a canopy tree. (Subsection 05.03. E, of Article 08)
7. Indicate visibility triangles on all driveway intersections and public streets. (Subsection 01.08, of Article 05)
8. Large trees shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage. Pay attention to the west side of your property. (Subsection 05.05, of Article 08)
9. Provide a Treescape Plan. (Subsection 03.04. A, of Article 11)
10. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01.F, of Article 09)
11. Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work. (Subsection 03.01. E, of Article 09)
12. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01. F, of Article 09)
13. Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. (Subsection 03.01. G, of Article 09)

M.7 Photometric and Lighting Plan:

1. Indicate the total height and mounting height for all proposed light fixtures. No pole, pole base or combination thereof shall exceed 20 ft. Provide detail. (Section 2.10, PD-57)
2. Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan. (Subsection 03.03, of Article 07)

I.8 Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03. A, of Article 07). PD-57 goes on to say that all lighting fixtures shall focus light downward and be contained on the site.

M.9 Building Elevations:

1. Indicate the parapet wall height. (Subsection 04.01, of Article 05)
2. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. (Subsection 01.05. C, of Article 05)

M.10 Currently you do not meet the commercial articulation standards. Wall projections must be 25% of the height the wall. For example, on the north elevation, the 19'-2" wall the wall projection would need to be 4'-9" not ~2" as it is now. If all the articulation standards cannot be met then a variance would need to be requested, where two compensatory measures would need to be provided. (Subsection 04.01. C. 1, of Article 05)

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on November 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 3, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 10, 2020 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020.
- 2) Architecture Review Board Meeting will be held on October 27, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on November 10, 2020.

I.14 All meetings will be held in person and in the City's Council Chambers. The meetings listed above are scheduled to begin at 6:00 p.m. (P&Z) and 5:00 p.m. (ARB). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

- 10/22/2020: M - Dumpster to drain to an oil/water separator and then to the storm system.
M - Include a 20' wide easement for the existing fire hydrant if not already dedicated.
M - Drive thru lane must be 12' wide.
M - Label the driveway spacing.
M - Callout the 45' utility easement on the west side of the property.

The following items are for your information for the engineering review process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - Must include a 10' utility easement along all street frontage.
- M - Show all easements

Roadway/Paving Items:

- M - 5' wide sidewalk 2' off ROW along Alliance Dr. and Andrews Dr.

Drainage Items:

- I - Detention is accounted for in Alliance Addition Phase 2.
- I - Drainage pattern must meet the approved drainage area map for the original plan.

Water and Wastewater Items:

- I - Must show existing and proposed utilities for the project.
- I - Must loop 8" water line on site (if needed)
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- I - Minimum public sewer is 8".
- I - Sewer pro-rata \$527.15/acre
- I - Need to show irrigation service and fire sprinkler connection. If paving is cut, full panel concrete is required to be replaced.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved w/ Comments

10/21/2020: Fire Department Connection (FDC) items for consideration with regards to landscape plans:

FDC shall be facing and visible from the fire lane.

FDC installed in a "yard" should have 12" x 12" x 4" concrete pad placed at the base to provide additional stability.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/21/2020	Approved w/ Comments

10/21/2020: Assigned address for shell will be 6601 Horizon Rd, Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	10/22/2020	Approved w/ Comments

10/22/2020: • Consider ground wash lighting or directional lights in the grass areas on the North, South and East edges of the parking lots to eliminate any shadows.

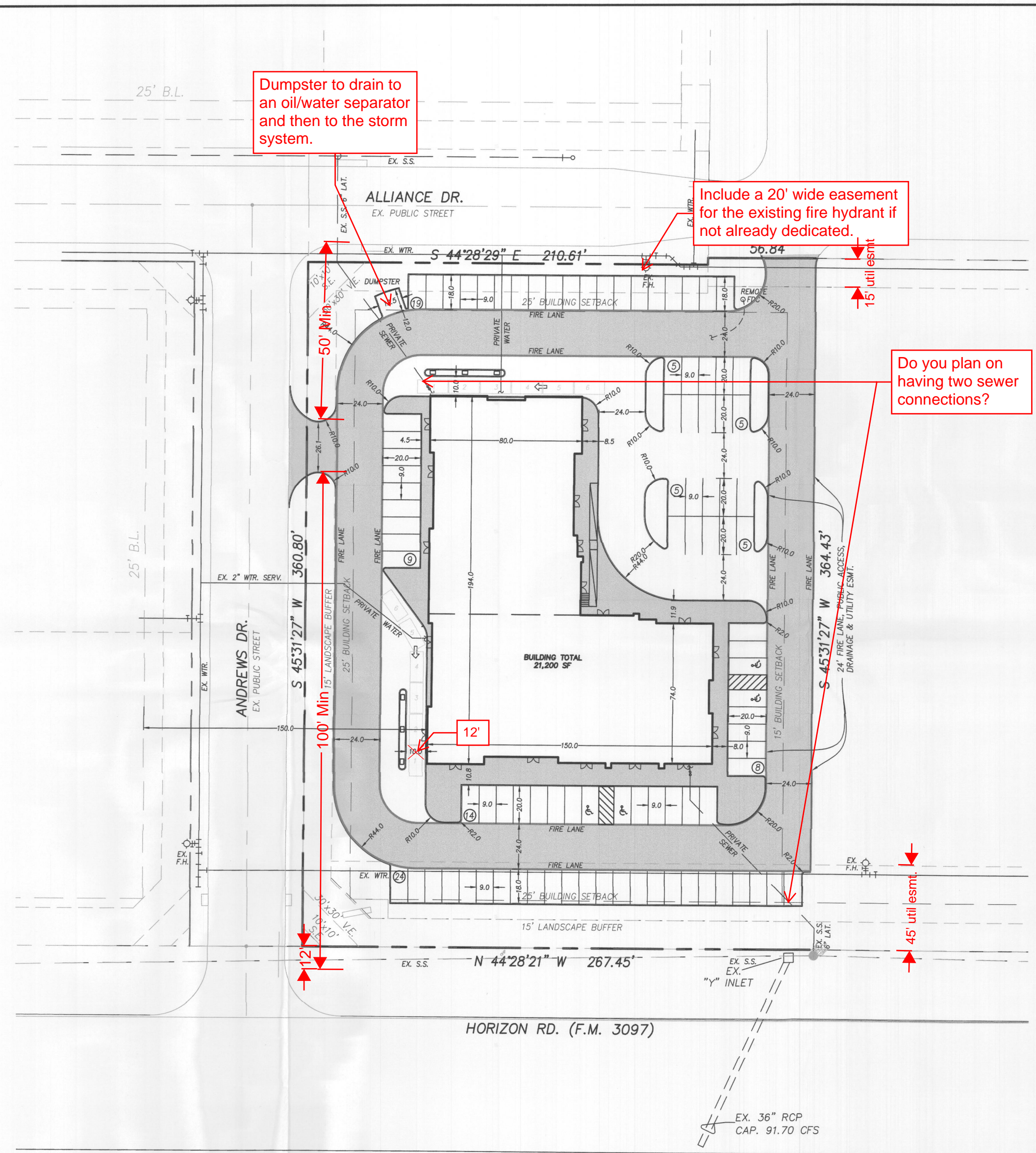
- Consider directional lighting at the front of business around shrubs and trees.
- Consider Use industry standard or high grade lighting.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide.
- Consider lighting in or around dumpsters (If applicable-I did not see one on the plat) to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider the addition of bollards to the front and sides of the complex where parking places are designated to prevent accidents and vehicles being used to break into the businesses.
- Consider exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for exit doors of the business where employees might exit to ensure that employees will have a complete and unobstructed view prior to exiting the business, vehicles and persons.
- Considering clearing new trees and shrubs should be trimmed as follow: trees up to 7' and bushes trimmed down to 3'. This will provide a proper line of sight and clear views.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Denied

10/20/2020: Canopy tree are minimum 4" caliper per ordinance not 3"
Please identify species on the plan, so I can see the actual design layout

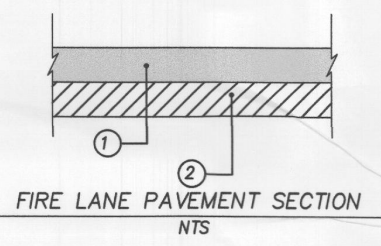
Drawing: P:\00_FCO\Projects\G-Commerce\Alliance\Drawings\DESIGN-CURRENT\04 - SITE PLAN.dwg at Oct 16, 2020-11:07am by cslom
Layout: Layout1 xref: ALLIANCE - BASE.dwg - AL - THE TITLE BLOCK.dwg



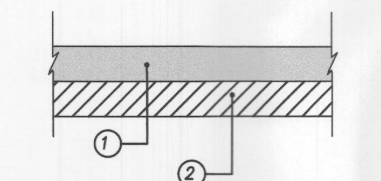
Dumpster to drain to an oil/water separator and then to the storm system.

Include a 20' wide easement for the existing fire hydrant if not already dedicated.

Do you plan on having two sewer connections?



- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



- 5"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

IMPERVIOUS AREA:	75,076 S.F.
LANDSCAPE AREA REQUIRED:	22.4% OF TOTAL SITE
LANDSCAPE AREA PROVIDED:	21,624

- General Items:**
- I - Must meet City Standards of Design and Construction
 - I - 4% Engineering Inspection Fees
 - I - Impact Fees (Water, Wastewater & Roadway)
 - I - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - I - Retaining walls 3' and over must be engineered.
 - I - All retaining walls must be rock or stone face. No smooth concrete walls.
 - M - Must include a 10' utility easement along all street frontage.
 - M - Show all easements
- Roadway/Paving Items:**
- M - 5' wide sidewalk 2' off ROW along Alliance Dr. and Andrews Dr.
- Drainage Items:**
- I - Detention is accounted for in Alliance Addition Phase 2.
 - I - Drainage pattern must meet the approved drainage area map for the original plan.
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 - I - Must loop 8" water line on site (if needed)
 - I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
 - I - Minimum public sewer is 8".
 - I - Sewer pro-rata \$527.15/acre
 - I - Need to show irrigation service and fire sprinkler connection. If paving is cut, full panel concrete is required to be replaced.
- Landscaping:**
- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

2020-027

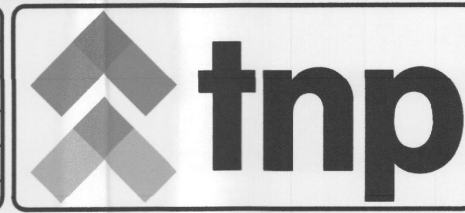
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
Witness our hands this ____ day of _____, 2020.

Planning & Zoning Commission, Chairman

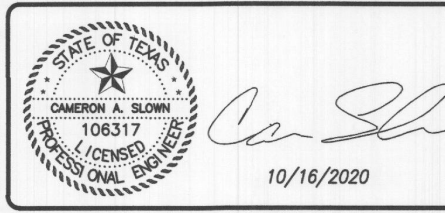
Director of Planning & Zoning

CASE NUMBER: SP2016-036

no.	revision	by	date



teague nall and perkins, inc
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale when bar is 1 inch long
horiz 1"=30"
vert N/A
OCT 2020

ROCKWALL, TEXAS
Improvements for
ALLIANCE ADDITION NO. 3
SITE PLAN

tnp project
sheet
1
of
1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. SP2020-027

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address PD 57

Subdivision ALLIANCE ADDITION PHASE 2 Lot 8 & 11 Block 1

General Location HORIZON ROAD - FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District Current Use

Proposed Zoning Planned Development District Proposed Use

Acreage 2.22 ACRES Lots [Current] 2 Lots [Proposed] 1

[] **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 112.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>N & H LEGACY</u>	<input checked="" type="checkbox"/> Applicant <u>STROHMEYER ARCHITECTS INC</u>
Contact Person <u></u>	Contact Person <u>JIMMY STROHMEYER</u>
Address <u>PO BOX 818</u>	Address <u>2701 SUNSET RIDGE</u>
	<u>SUITE 607</u>
City, State & Zip <u>TERRELL, TEXAS 75060</u>	City, State & Zip <u>ROCKWALL, TEXAS 75032</u>
Phone <u></u>	Phone <u>214-497-2057</u>
E-Mail <u></u>	E-Mail <u>jimmy@strohmeyearchitects.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jimmy Strohmeier [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

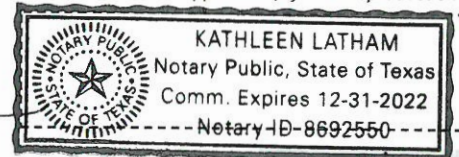
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]
Kathleen Latham



My Commission Expires 12-31-2022



SP2020-027- SITE PLAN FOR ALLIANCE ADDITION PHASE 2
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



1 | 2 | 3 | 4 | 5

Randall Noe Alliance Addition
Elevation Calculations

Elevation	Stone	Brick	Stucco	Total	Stone %	Brick %	Stucco %
WEST	859	1,409	460	2,728	31.49%	51.65%	16.86%
SOUTH	1,479	1,262	719	3,460	42.75%	36.47%	20.78%
EAST	2,605	1,450	221	4,276	60.92%	33.91%	5.17%
NORTH	1,507	617	1,375	3,499	43.07%	17.63%	39.30%
Total	6,450	4,738	2,775	13,963	46.19%	33.93%	19.87%



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition - Renderings.dwg
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Revisions:

Sheet Title:

**EXTERIOR
ELEVATIONS**

A-201



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

1 | 2 | 3 | 4 | 5

1 2 3 4 5

D

C

B

A



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HEATH, TEXAS 75032

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SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL



**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
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Scale:
ACAD File: Alliance Addition - Renderings.dwg
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Revisions:

Sheet Title:
**EXTERIOR
RENDERINGS**

A-202

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Consultants:

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HEATH, TEXAS 75032

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DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

**FOR REGULATORY
APPROVAL**

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
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Revisions:

Sheet Title:

**EXTERIOR
RENDERINGS**

A-203



D

C

B

A

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STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

Concept Design

Project Number:

Drawing Date: 6/1/16

Drawn:

Checked:

Scale:

ACAD File: HeathPlaza0462116-A201.dwg

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Revisions:

Sheet Title:

**COLOR
BOARD**



AUSTIN STONE



**PLASTER - MATCH
FRENCH VANILLA**



**DARK
BRONZE**



ACME FRENCH VANILLA



ACME CRANBERRY

D

C

B

A

1

1

2

1

3

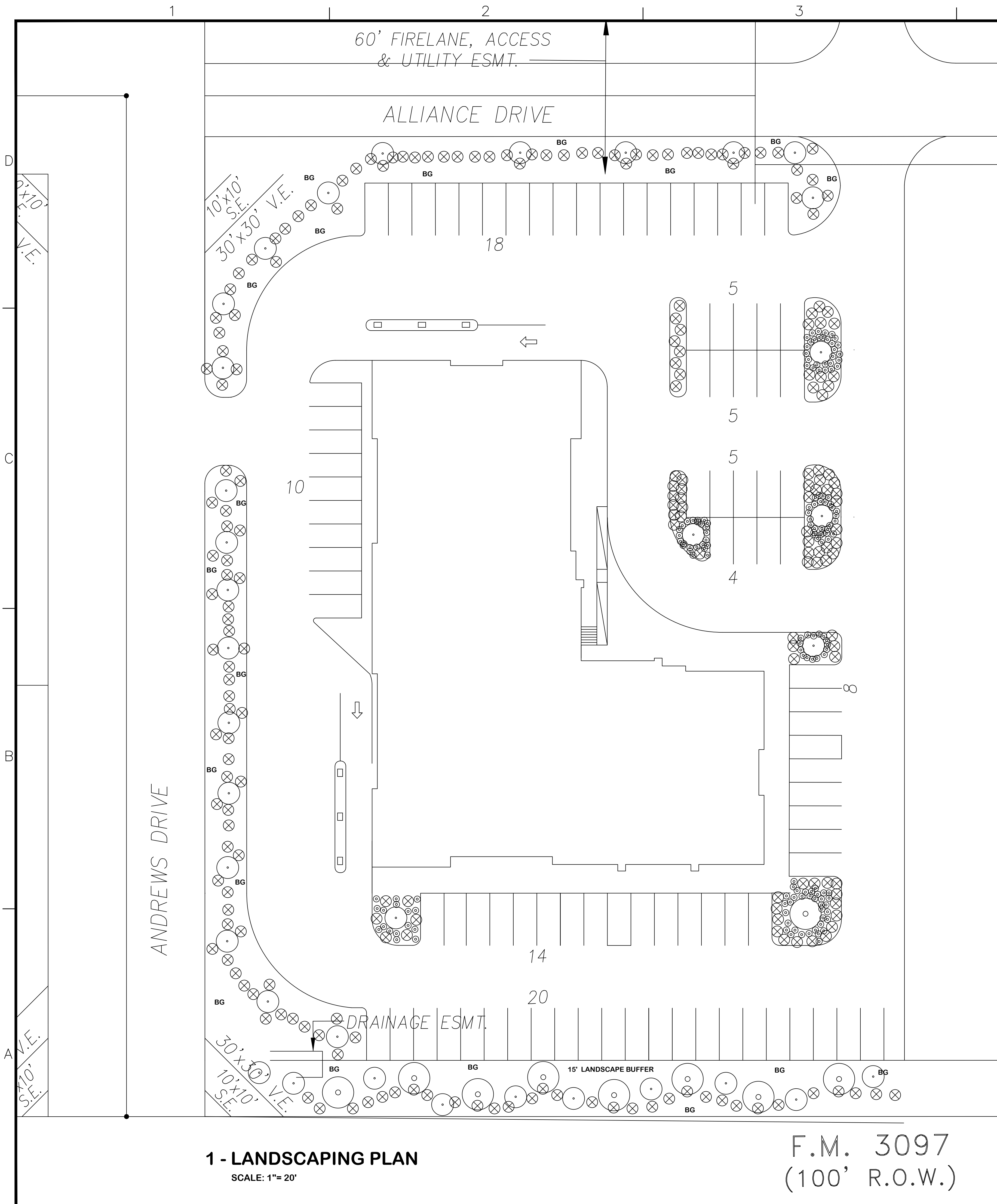
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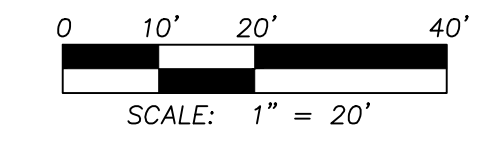
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1 - LANDSCAPING PLAN
SCALE: 1" = 20'

F.M. 3097
(100' R.O.W.)



LEGEND

- CANOPY TREE
- ORNAMENTAL (ACCENT) TREE
- SHRUB
- GROUND COVER
- PERENNIAL
- BG BERMUDA GRASS

LANDSCAPING GENERAL REQUIREMENTS

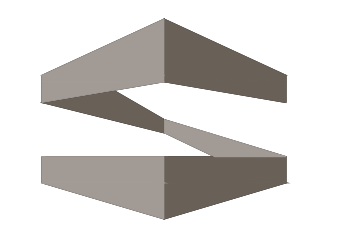
COMMERCIAL / RETAIL
SITE AREA = 100,500 S.F.
LANDSCAPING AREA PROVIDED = 21,624 S.F.
LANDSCAPING AS PERCENTAGE OF TOTAL SITE = 22%

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 3" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC CUNY CORPORATION
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HEATH, TEXAS 75032
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DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
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3102 MAPLE AVE
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FOR REGULATORY APPROVAL

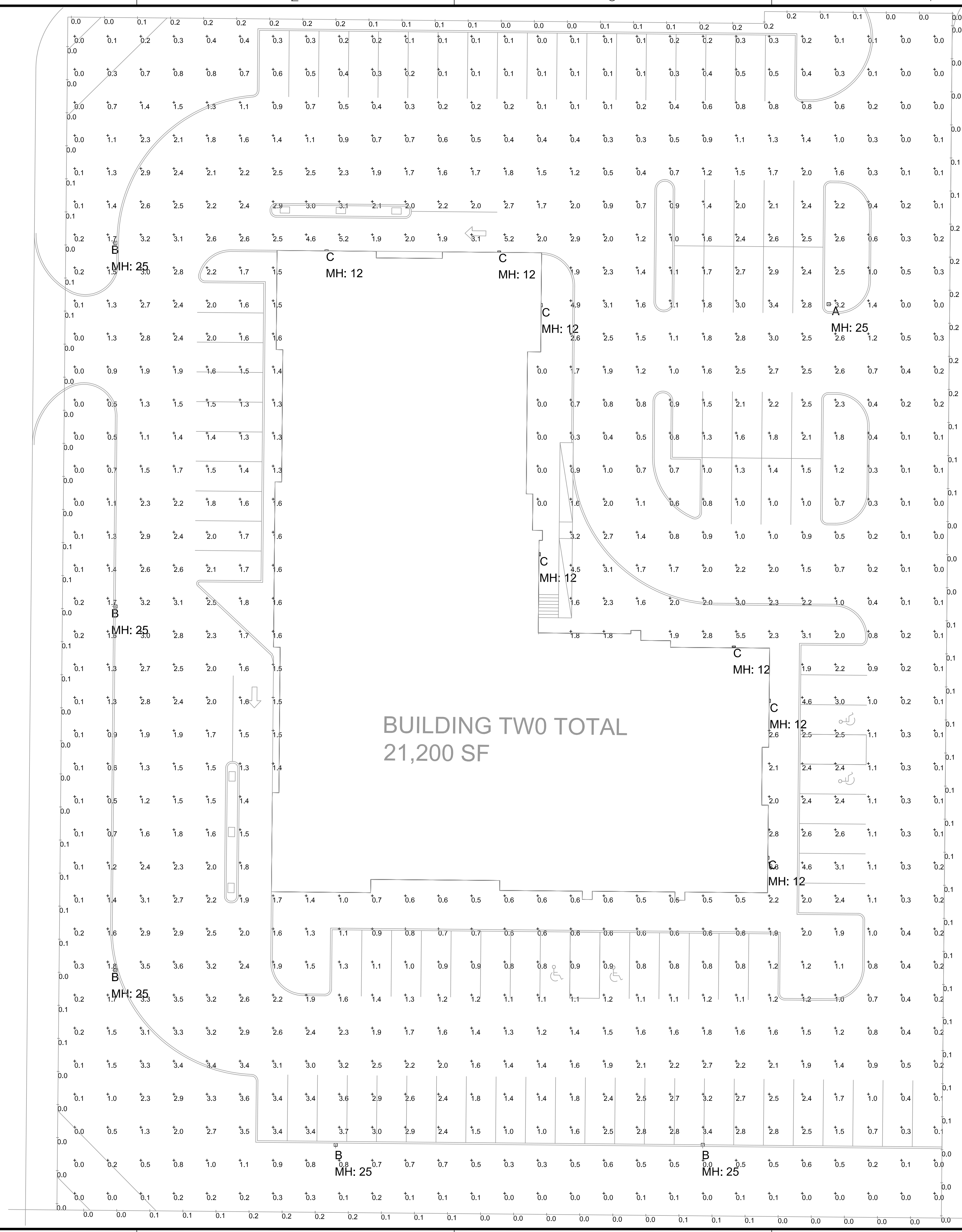
RANDAL NOE ALLIANCE ADDITION ROCKWALL, TEXAS

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition-010417-LS101.dwg
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Revisions:

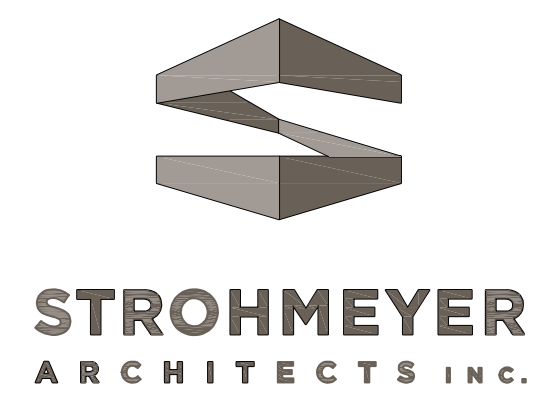
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LANDSCAPING PLAN
LS-101

Jan 09, 2017 - 2:59pm User: HES007 C:\Users\HES007\HES\HES Team Site - 2016\160046 Randall Noe Alliance\08 DWG\E101.dwg



GENERAL NOTES
 1. MOUNTING HEIGHTS SHOWN ON PLAN AS MH: -

Luminaire Schedule					
Symbol	Qty	Label	Manufacturer / Catalog Number	Lum. Watts	Total Watts
☐	1	A	GLEON-AF-03-LED-E1-T3	166	166
☐	5	B	GLEON-AF-03-LED-E1-SL4-HSS	166	498
☐	7	C	IST-E02-LED-E1-BL4	46.9	328.3



Consultants:
 CIVIL
 FC GUNY CORPORATION
 #2 HORIZON COURT
 SUITE 500
 HEATH, TEXAS 75032
 STRUCTURAL
 DFW STRUCTURAL CONSULTING
 12575 MILL RUN DRIVE
 FRISCO, TEXAS 75035
 MEP
 HES CONSULTING ENGINEERS
 3102 MAPLE AVE
 SUITE 450
 DALLAS, TEXAS 75201

ISSUE FOR PERMIT



**RANDAL NOE
 ALLIANCE ADDITION
 ROCKWALL, TEXAS**

Project Number:
 Drawing Date: 01/09/17
 Drawn:
 Checked:
 Scale:
 ACAD File: E101.dwg
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Revisions:

1 SITE PLAN - LIGHTING
 E1.01 1/16" = 1'-0"



Sheet Title:
 SITE PLAN LIGHTING

E1.01



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 10, 2020
APPLICANT: Jimmy Strohmeyer
CASE NUMBER: SP2020-027; *Site Plan for Alliance Addition Phase 3*

SUMMARY

Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on March 17, 2004, by *Ordinance No. 04-34*. At the time of annexation, it was zoned Agricultural (AG) District. On August 16, 2004, the City Council approved *Ordinance No. 04-48* [Case No. Z2004-024], which rezoned the subject property -- *which at this time was a portion of a larger 18.99-acre tract of land* -- from an Agricultural (AG) District to Planned Development District 57 (PD-57) for Commercial (C) District land uses. On November 19, 2007, the City Council approved a final plat [Case No. P2007-032] for the Alliance Addition, Phase 2, which platted the subject property as Lot 11, Block 1, Alliance Addition, Phase 2. On January 10, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2016-036] for a 21,200 SF multi-tenant, retail building on the subject property. This site plan expired on January 10, 2019 due to inactivity in accordance with Subsection 03.05(A) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In response to this expiration, the applicant resubmitted the site plan on October 16, 2020.

PURPOSE

The applicant is requesting the approval of a site plan for a 21,200 SF multi-tenant, retail building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located the southeast corner of in the intersection of Andrews Drive and Horizon Road [FM-3097]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the intersection of Alliance Drive and Andrews Drive, which both roadways are identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) vacant parcels of land zoned Planned Development District 57 (PD-57) for Commercial land uses. North of this is Jeff Boyd Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the corporate limits of the City of Rockwall. Beyond this is Horizon Road [FM-3097], which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) parcels of land zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. Beyond this S. FM-549, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are several larger tracts of land zoned Agricultural (AG) District.

West: Directly west of the subject property is Andrews Drive, which is indicated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are seven (7) lots that are zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. Beyond this is Horizon Road [*FM-3097*], which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the corporate limits of the City of Rockwall followed by areas situated in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall.

DENSITY AND DIMENSIONAL REQUIREMENTS

The proposed 21,200 SF multi-tenant, retail building will be one (1) story, and be constructed of a combination of stone, brick, and stucco. The subject property will be accessible via Alliance Drive and Andrews Drive, and not have direct access onto Horizon Road [*FM-3097*]. With the exception to the articulation requirements, the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within Planned Development District 57 (PD-57). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	96,000 SF; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	60-Feet	X > 60-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X > 100-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X > 15-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X > 10-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X > 10-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	27-Feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	22%; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	0%	100%; <i>Compensatory Measure</i>
<i>Minimum Number of Parking Spaces</i>	85	94; <i>In Conformance</i>
<i>Minimum Stone Requirement</i>	0%	46%; <i>Compensatory Measure</i>
<i>Minimum Landscaping Percentage</i>	20%	22.4%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	78%; <i>In Conformance</i>

TREESCAPE PLAN

The landscape plan submitted by the applicant with the site plan does not indicate whether the site has any protected trees that require mitigation. Staff has requested that the applicant provide a Treescape Plan; however, the applicant was not able to provide the Treescape Plan prior to the Planning and Zoning Commission meeting. As a result, staff has added a condition of approval requiring the applicant to provide a Treescape Plan prior to submitting engineering plans.

CONFORMANCE WITH THE CITY’S CODES

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following exception:

- (1) *Articulation*. According to Subsection 04.01(C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) primary building façade is any building façade that has a primary entryway for a

business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property.” In addition, this section requires that wall projections on a primary façade must be a minimum of 25% of the wall height. In this case, the applicant is proposing wall projections that are less than the required 25% along all primary facades.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship.” In addition, the code requires that applicant’s provide compensatory measures that directly offset the requested exception. In this case, the applicant has stated that this site plan had been previously approved and that it would be costly to redesign the form of the building to meet the current codes; however, as a compensatory measure the applicant is proposing to utilize 100% masonry materials on the buildings and incorporating 46% is stone (*which is 26% greater than what is required in the City’s overlay districts*). With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates the subject property is located within the Southwest Residential District. This district is primarily composed of a medium to low density single-family housing and supporting commercial and industrial development nodes. The district’s residential areas consist of suburban residential subdivisions (*e.g. Windmill Ridge and Lynden Park Estates Subdivisions*) and estate style, residential subdivisions (*e.g. Oaks of Buffalo Way Subdivision*). The Southwest Residential District also incorporates commercial and industrial land uses along Sids and Mims Road, and three (3) nodes along Horizon Road [FM-3097]. The Southwest Residential District also includes a transitional area along Ranch Road, which is in the process of moving towards more permanent structures with conforming land uses. The subject property is zoned Commercial (C) District, and the applicant’s request appears to be in conformance with Future Land Use Plan and the District Strategies outlined for the Southwest Residential District as stipulated in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On October 27, 2020, the Architecture Review Board (ARB) reviewed the proposed building elevations, and made a motion to recommend approval of the elevations with the condition that the arched element on the western elevation be flattened. This motion passed by a vote of 5-0, with Board Members Neill and Mitchell absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s request for a site plan for multi-tenant, retail building, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The Architecture Review Board (ARB) is requesting the applicant to flatten the arched parapet on the west elevation;
- (3) The applicant shall provide a Treescape Plan showing conformance to the mitigation requirements prior to submitting engineering plans; and
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. SP2020-027

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address PD 57

Subdivision ALLIANCE ADDITION PHASE 2 Lot 8 & 11 Block 1

General Location HORIZON ROAD - FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District Current Use

Proposed Zoning Planned Development District Proposed Use

Acreage 2.22 ACRES Lots [Current] 2 Lots [Proposed] 1

[] **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 112.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>N & H LEGACY</u>	<input checked="" type="checkbox"/> Applicant	<u>STROHMEYER ARCHITECTS INC</u>
Contact Person		Contact Person	<u>JIMMY STROHMEYER</u>
Address	<u>PO BOX 818</u>	Address	<u>2701 SUNSET RIDGE</u>
			<u>SUITE 607</u>
City, State & Zip	<u>TERRELL, TEXAS 75060</u>	City, State & Zip	<u>ROCKWALL, TEXAS 75032</u>
Phone		Phone	<u>214-497-2057</u>
E-Mail		E-Mail	<u>jimmy@strohmeyearchitects.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jimmy Strohmeier [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

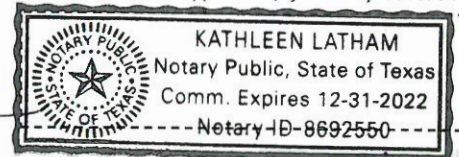
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]
Kathleen Latham



My Commission Expires 12-31-2022



SP2020-027- SITE PLAN FOR ALLIANCE ADDITION PHASE 2
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



1 | 2 | 3 | 4 | 5

Randall Noe Alliance Addition
Elevation Calculations

Elevation	Stone	Brick	Stucco	Total	Stone %	Brick %	Stucco %
WEST	859	1,409	460	2,728	31.49%	51.65%	16.86%
SOUTH	1,479	1,262	719	3,460	42.75%	36.47%	20.78%
EAST	2,605	1,450	221	4,276	60.92%	33.91%	5.17%
NORTH	1,507	617	1,375	3,499	43.07%	17.63%	39.30%
Total	6,450	4,738	2,775	13,963	46.19%	33.93%	19.87%



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition - Renderings.dwg
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Sheet Title:

**EXTERIOR
ELEVATIONS**

A-201



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

1 | 2 | 3 | 4 | 5

1 2 3 4 5

D

C

B

A



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL



**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
Drawn:
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Scale:
ACAD File: Alliance Addition - Renderings.dwg
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Revisions:

Sheet Title:
**EXTERIOR
RENDERINGS**

A-202

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1 2 3 4 5



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ARCHITECTS INC.

Consultants:

CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

**FOR REGULATORY
APPROVAL**

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
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Revisions:

Sheet Title:

**EXTERIOR
RENDERINGS**

A-203

D

C

B

A

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C

B

A



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STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

Concept Design

Project Number:

Drawing Date: 6/1/16

Drawn:

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Scale:

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**COLOR
BOARD**



AUSTIN STONE



**PLASTER - MATCH
FRENCH VANILLA**



**DARK
BRONZE**



ACME FRENCH VANILLA



ACME CRANBERRY

D

C

B

A

1

1

2

1

3

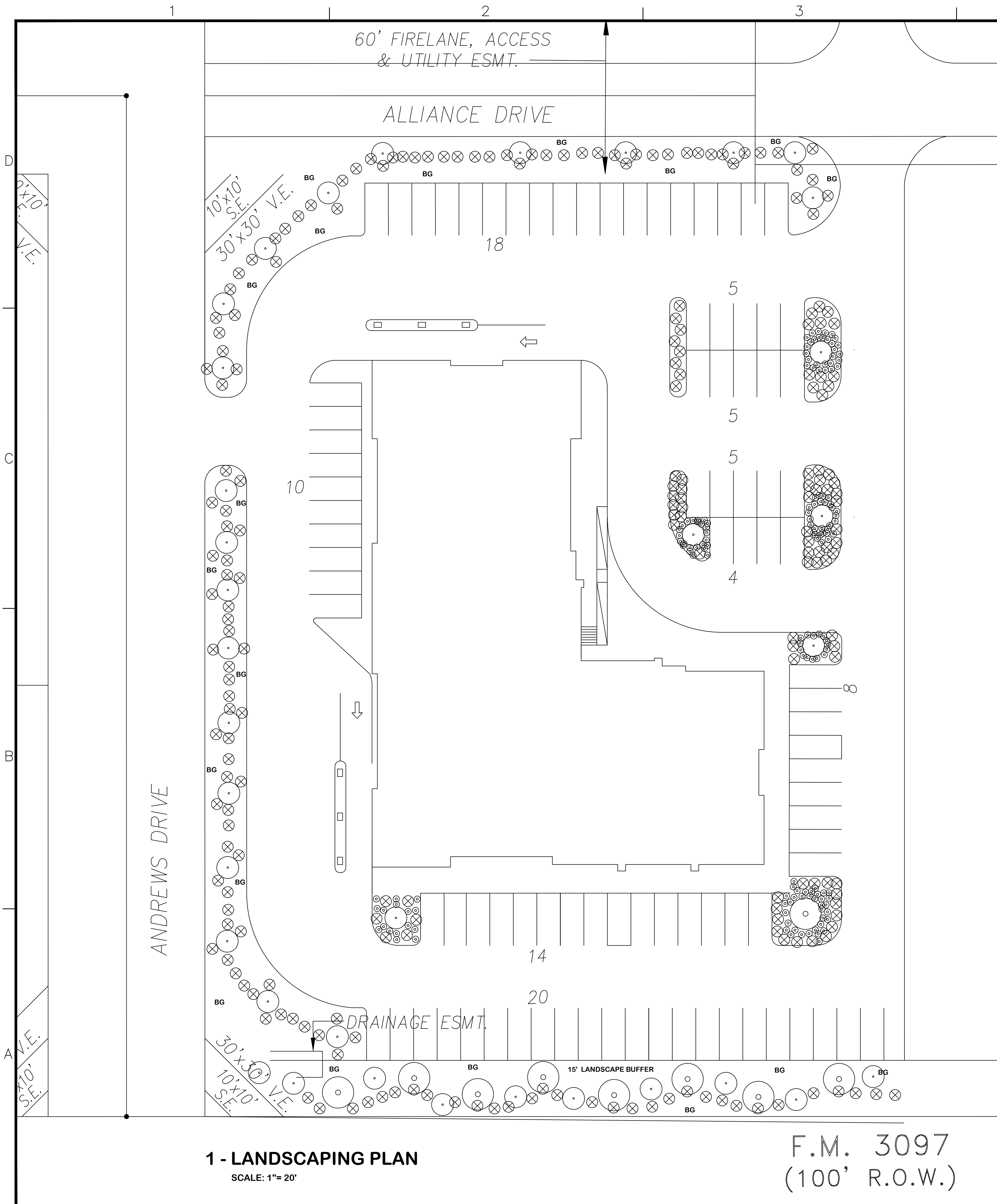
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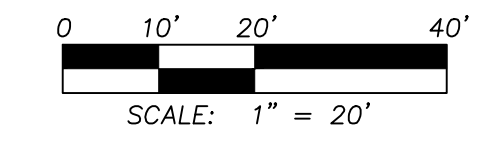
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1 - LANDSCAPING PLAN
SCALE: 1" = 20'

F.M. 3097
(100' R.O.W.)



LEGEND

- CANOPY TREE
- ORNAMENTAL (ACCENT) TREE
- SHRUB
- GROUND COVER
- PERENNIAL
- BG** BERMUDA GRASS

LANDSCAPING GENERAL REQUIREMENTS

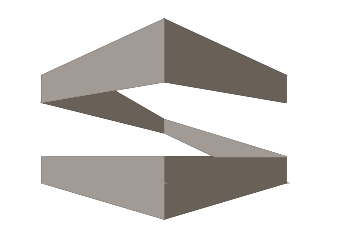
COMMERCIAL / RETAIL
SITE AREA = 100,500 S.F.
LANDSCAPING AREA PROVIDED = 21,624 S.F.
LANDSCAPING AS PERCENTAGE OF TOTAL SITE = 22%

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 3" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
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HEATH, TEXAS 75032
STRUCTURAL
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12575 MILL RUN DRIVE
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FOR REGULATORY APPROVAL

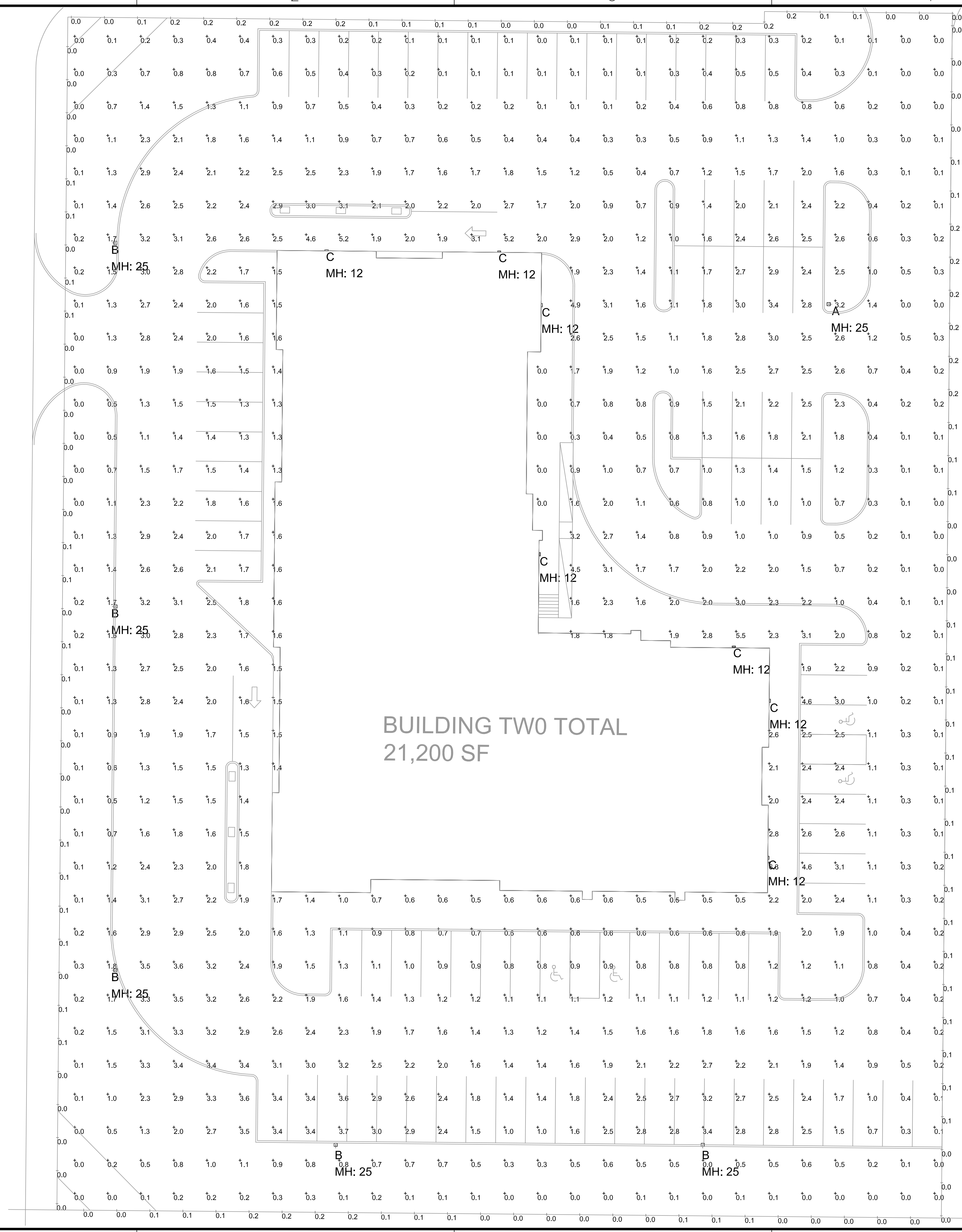
RANDAL NOE ALLIANCE ADDITION ROCKWALL, TEXAS

Project Number:
Drawing Date: 12/15/16
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ACAD File: Alliance Addition-010417-LS101.dwg
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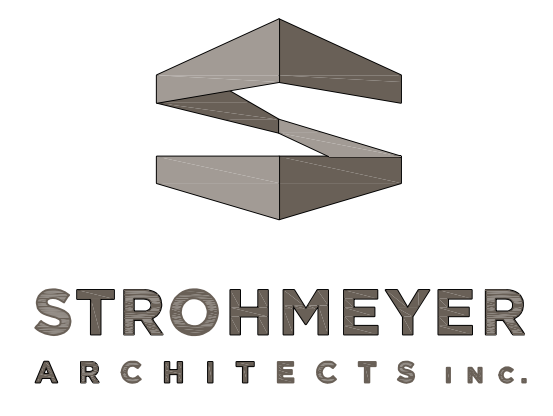
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LANDSCAPING PLAN
LS-101

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GENERAL NOTES
 1. MOUNTING HEIGHTS SHOWN ON PLAN AS MH: ...

Luminaire Schedule					
Symbol	Qty	Label	Manufacturer / Catalog Number	Lum. Watts	Total Watts
☐	1	A	GLEON-AF-03-LED-E1-T3	166	166
☐	5	B	GLEON-AF-03-LED-E1-SL4-HSS	166	498
☐	7	C	IST-E02-LED-E1-BL4	46.9	328.3



Consultants:
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 FC GUNY CORPORATION
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 HEATH, TEXAS 75032
 STRUCTURAL
 DFV STRUCTURAL CONSULTING
 12575 MILL RUN DRIVE
 FRISCO, TEXAS 75035
 MEP
 HES CONSULTING ENGINEERS
 3102 MAPLE AVE
 SUITE 450
 DALLAS, TEXAS 75201

ISSUE FOR PERMIT



**RANDAL NOE
 ALLIANCE ADDITION
 ROCKWALL, TEXAS**

Project Number:
 Drawing Date: 01/09/17
 Drawn:
 Checked:
 Scale:
 ACAD File: E101.dwg
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Revisions:

1 SITE PLAN - LIGHTING
 E1.01 1/16" = 1'-0"



Sheet Title:
 SITE PLAN LIGHTING
E1.01

Lee, Henry

From: Lee, Henry
Sent: Monday, October 19, 2020 2:56 PM
To: 'jimmy@strohmeierarchitects.com'
Subject: SP2020-027 Material Sample Board

Good Afternoon,

I am reaching out to inform you that your site plan application, SP2020-027, for the Alliance Addition is incomplete. I still need a physical material sample board on a 11x17. This board needs to have all the materials and colors you plan to use.

I need this board before the Architecture Review Board meeting next Tuesday the 27th.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Gonzales, David
Sent: Thursday, October 22, 2020 9:04 AM
To: 'jimmy@strohmeierarchitects.com'
Subject: Alliance Addition Phase 2 Site Plan

Good morning Jimmy,

At your earliest convenience, can you forward a PDF version of the entire site plan package that was submitted on Friday for the Alliance Addition. We scanned in the copies and they are not clear. I appreciate your help with this.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE

DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

Lee, Henry

From: jimmy@strohmeierarchitects.com
Sent: Thursday, October 22, 2020 9:10 AM
To: Gonzales, David
Subject: Re: Alliance Addition Phase 2 Site Plan
Attachments: AllianceAddition-Phase3-101620.pdf

Sorry David, I had sent them to [Angelica on Friday](#), I have attached a copy.

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

On Oct 22, 2020, at 9:03 AM, Gonzales, David <DGonzales@rockwall.com> wrote:

Good morning Jimmy,

At your earliest convenience, can you forward a PDF version of the entire site plan package that was submitted on Friday for the Alliance Addition. We scanned in the copies and they are not clear. I appreciate your help with this.

Thank you,

DAVID GONZALES, AICP

PLANNING & ZONING MANAGER

PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6488 OFFICE

DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

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Lee, Henry

From: Miller, Ryan
Sent: Friday, October 23, 2020 4:12 PM
To: 'jimmy@strohmeierarchitects.com'
Subject: Project Comments: SP2020-027
Attachments: Project Comments (10.22.2020).pdf; Engineering Comments [SP2020-027] (10.22.2020).pdf

Mr. Strohmeier,

Attached are the comments for your Site Plan case. Please address these comments and return them to staff no later than November 3, 2020. Please also note, the following meeting schedule:

Planning and Zoning Commission Work Session: October 27, 2020
Planning and Zoning Commission: November 10, 2020
City Council: November 16, 2020

All meetings will be held at 6:00 PM in the City Council Chambers at City Hall (*i.e.* 385 S. Goliad Street). A representative will need to be present at the meeting. If you have any questions please contact your case manager. Thank you.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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NOTES

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

Lee, Henry

From: Miller, Ryan
Sent: Tuesday, November 3, 2020 8:24 AM
To: 'jimmy@strohmeierarchitects.com'
Cc: Lee, Henry
Subject: RE: SP2020-027

Jimmy ... We will just make it a condition of approval and not let you submit engineering until we have seen it. That way you are not slowed down. If you have any additional questions please let us know. Thanks.

RYAN C. MILLER, AICP
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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-----Original Message-----

From: jimmy@strohmeierarchitects.com <jimmy@strohmeierarchitects.com>
Sent: Tuesday, November 3, 2020 8:04 AM
To: Miller, Ryan <RMILLER@rockwall.com>
Subject: SP2020-027

Ryan,

We are still waiting on the tree survey for the trees that are along Horizon, not sure it is going to be in by 3 today. I believe these are all cedar & hackberry, all look small but I'm not an expert.

With the new restrictions put on you all, If we don't get the survey do we ask to be tabled or do we have to pull and resubmit?

Thanks,

Jimmy

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Lee, Henry

From: jimmy@strohmeierarchitects.com
Sent: Tuesday, November 3, 2020 8:25 AM
To: Miller, Ryan
Cc: Lee, Henry
Subject: Re: SP2020-027

Thanks!

> On Nov 3, 2020, at 8:24 AM, Miller, Ryan <RMiller@rockwall.com> wrote:

>
> Jimmy ... We will just make it a condition of approval and not let you submit engineering until we have seen it. That way you are not slowed down. If you have any additional questions please let us know. Thanks.

>
>
> RYAN C. MILLER, AICP
> DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF
> ROCKWALL
> 972.772.6441 OFFICE
> RMILLER@ROCKWALL.COM
> 385 S. GOLIAD STREET • ROCKWALL, TX 75087

>
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> WEBSITE | MUNICIPAL CODE WEBSITE GIS DIVISION WEBSITE | CITY OF
> ROCKWALL INTERACTIVE MAPS | UNIFIED DEVELOPMENT CODE

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> From: jimmy@strohmeierarchitects.com <jimmy@strohmeierarchitects.com>
> Sent: Tuesday, November 3, 2020 8:04 AM
> To: Miller, Ryan <RMiller@rockwall.com>
> Subject: SP2020-027

>
> Ryan,
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> Thanks,

>
> Jimmy
>
>
>
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>
>
> _____
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Lee, Henry

From: jimmy@strohmeysterarchitects.com
Sent: Tuesday, November 3, 2020 1:28 PM
To: Lee, Henry
Subject: SP2020-027 Revisions
Attachments: SO2020-027-Revisions110320.pdf

Henry,

Please see the attached revisions. Hard copies will be dropped off before 3:00 PM today.

Thanks,

Jimmy

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Jimmy Strohmeyster, AIA, NCARB
President & CEO



2701 Sunset Ridge Drive
Suite 607
Rockwall, Texas 75032

Jimmy@StrohmeysterArchitects.com
214-497-2057

Lee, Henry

From: Lee, Henry
Sent: Friday, November 6, 2020 10:26 AM
To: 'jimmy@strohmeierarchitects.com'
Subject: SP2020-027 Remaining Comments
Attachments: Project Comments (10.22.2020).pdf

Good Morning,

I have reviewed your SP2020-027 Alliance Addition Site Plan revision. After review I have identified a few comments that remain unaddressed.

I need comment M.5 (7) addressed, in relation to labeling fire lanes. The ROW along Horizon Road is actually 120' not 100'.

Per engineering's direction they have indicated that this is already dedicated, that this is simply a mislabel on the site plan; please update this.

M.6 (8) also needs to be addressed; we need 7 canopy trees along Andrews, there are only 4 indicated currently.

Comment M.7 indicates that all lighting poles and or lights cannot be taller than 20ft.

Lastly I need the elevations cleaned up. The ARB wanted the projection on the west side flattened, which was corrected on the west side.

However the curved projecting feature is still visible in the other elevations.

If you have any questions feel free to contact me. I will reach out soon to discuss these comments.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: jimmy@strohmeierarchitects.com
Sent: Monday, November 9, 2020 10:30 AM
To: Lee, Henry
Subject: Re: SP2020-027 Remaining Comments
Attachments: SP2020-027-R2-110920.pdf

Henry,

Please see the response in red below and the attached revisions.

Thanks,

Jimmy

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On Nov 6, 2020, at 10:26 AM, Lee, Henry <HLee@rockwall.com> wrote:

Good Morning,

I have reviewed your SP2020-027 Alliance Addition Site Plan revision. After review I have identified a few comments that remain unaddressed.

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If you have any questions feel free to contact me. I will reach out soon to discuss these comments.

Thank you,

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Lee, Henry

From: Lee, Henry
Sent: Monday, November 9, 2020 11:57 AM
To: 'jimmy@strohmeierarchitects.com'
Subject: RE: SP2020-027 Remaining Comments

Good Morning,

Thank you for the quick turn around on these comments. Everything looks like it has been addressed; the only thing not in the email was the updated photometric plan indicating the lighting height.

If you want these plans to be signed by the Planning and Zoning Chairman, please have all sheets of the physical copy to me before the Planning and Zoning meeting tomorrow night.

These plans will need to be signed before the engineering plans may be submitted; the next engineering submittal is November 11, 2020.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: jimmy@strohmeierarchitects.com
Sent: Monday, November 9, 2020 10:30 AM
To: Lee, Henry
Subject: Re: SP2020-027 Remaining Comments

Henry,

Please see the response in red below and the attached revisions.

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Jimmy

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If you have any questions feel free to contact me. I will reach out soon to discuss these comments.

Thank you,

This email was scanned by Bitdefender

Lee, Henry

From: Jimmy Strohmeier <jimmy@strohmeierarchitects.com>
Sent: Monday, November 9, 2020 1:09 PM
To: Lee, Henry
Subject: Re: SP2020-027 Remaining Comments
Attachments: SP2020-027-E1.01.pdf

Henry,

Please see the attached revised E1.01 sheet. The hard copies of the revised sheets will be dropped off today.

Thanks,

Jimmy

Jimmy Strohmeier, AIA, NCARB
President & CEO

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2701 Sunset Ridge Drive
Suite 607
Rockwall, Texas 75032

Jimmy@StrohmeierArchitects.com
214-497-2057

On Nov 9, 2020, at 11:56 AM, Lee, Henry <HLee@rockwall.com> wrote:

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From: jimmy@strohmeierarchitects.com <jimmy@strohmeierarchitects.com>

Sent: Monday, November 9, 2020 10:30 AM

To: Lee, Henry <HLee@rockwall.com>

Subject: Re: SP2020-027 Remaining Comments

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Thanks,

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Thank you,

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Lee, Henry

From: Lee, Henry
Sent: Tuesday, November 10, 2020 4:24 PM
To: 'Jimmy Strohmeyer'
Subject: RE: SP2020-027 Remaining Comments

Good Afternoon,

I have done one last review to ensure your site plan, SP2020-027, is ready to be signed tonight. Unfortunately it appears that the signature block was not included on all pages of the documents.

The signature is on Sheet 1 of 1 on the site plan; however the signature block must be on all sheets, including the landscape plan, photometric plan, elevations, screening details, and the treescape plan (TBD document).

If you can get this corrected before the conclusion of the meeting tonight the Chairman can sign them. If not we will get them signed at the next meeting on November 24, 2020.

I know we are still waiting on the treescape plan as well, which is a condition of approval on the site plan; that the treescape must be submitted for review before engineering plans can be submitted.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: Jimmy Strohmeyer
Sent: Monday, November 9, 2020 1:09 PM
To: Lee, Henry
Subject: Re: SP2020-027 Remaining Comments

Henry,

Please see the attached revised E1.01 sheet. The hard copies of the revised sheets will be dropped off today.

Thanks,

Jimmy

Jimmy Strohmeyer, AIA, NCARB
President & CEO

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2701 Sunset Ridge Drive
Suite 607
Rockwall, Texas 75032

Jimmy@StrohmeierArchitects.com
214-497-2057

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If you have any questions feel free to contact me. I will reach out soon to discuss these comments.

Thank you,

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Lee, Henry

From: jimmy@strohmeierarchitects.com
Sent: Tuesday, November 10, 2020 4:40 PM
To: Lee, Henry
Subject: Re: SP2020-027 Remaining Comments

1 COPY OR 4?

On Nov 10, 2020, at 4:24 PM, Lee, Henry <HLee@rockwall.com> wrote:

Good Afternoon,

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Thank you,

From: Jimmy Strohmeier <jimmy@strohmeierarchitects.com>

Sent: Monday, November 9, 2020 1:09 PM

To: Lee, Henry <HLee@rockwall.com>

Subject: Re: SP2020-027 Remaining Comments

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Jimmy Strohmeier, AIA, NCARB

President & CEO

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Suite 607
Rockwall, Texas 75032
Jimmy@StrohmeierArchitects.com
214-497-2057

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Thank you,

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Sent: Monday, November 9, 2020 10:30 AM

To: Lee, Henry <HLee@rockwall.com>

Subject: Re: SP2020-027 Remaining Comments

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Thank you,

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Lee, Henry

From: Lee, Henry
Sent: Tuesday, December 8, 2020 11:56 AM
To: 'Jimmy Strohmeyer'
Subject: SP2020-027 Outstanding Items

Good Morning,

This email serves as a reminder that I still need all sheets of your site plan (SP2020-027) returned to me with the signature block on each sheet, so we may get it signed.

However, before this can be signed we also need a Treescape plan that shows conformance to the mitigation requirements; this was a condition of approval.

Once the Treescape plan is submitted to me, I review it and I approve it, I will need all sheets of the site plan with the signature block on each page.

Please contact me with any questions you have.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



DATE: 12/09/2020

TO: Jimmy Strohmeyer
2701 Sunset Ridge, Ste 607
Rockwall, TX 78032

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75098

SUBJECT: SP2020-027; *Site Plan for Alliance Addition Phase 3*

Jimmy Strohmeyer:

This letter serves to notify you that the above referenced case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on 11/10/2020. The following is a record of all conditions of approval:

Conditions of Approval

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) The Architecture Review Board (ARB) is requesting the applicant to flatten the arched parapet on the west elevation;
- 3) The applicant shall provide a Treescape Plan showing conformance to the mitigation requirements prior to submitting engineering plans; and
- 4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,

Henry Lee
Planner