



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2020-025 P&Z DATE 10/13/20 CC DATE 10/19/20 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-025

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1203 Sigma Ct, Rockwall, Texas, 75087

Subdivision Ellis Center Phase Two Lot 3A-R Block C

General Location .2 miles north of TL Townsend Dr and I-30 Frontage Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial Current Use Office Building

Proposed Zoning Light Industrial Proposed Use Office Building

Acreage 1.915 Lots [Current] 2 Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner SVEA Industrial II, LLC  Applicant

Contact Person Harry J Kuper Contact Person

Address 1614 Lavca Street Address

City, State & Zip Austin, Texas 78701 City, State & Zip

Phone 830-431-0326 Phone

E-Mail j.kuper@SVEARE.COM E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Harry J Kuper [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. \_\_\_\_\_

Owner's Signature Harry Kuper

Notary Public in and for the State of Texas SEE ATTACHED ACKNOWLEDGEMENT My Commission Expires

**ALL-PURPOSE ACKNOWLEDGMENT**

State/Commonwealth of FLORIDA )

City  County of Manatee )

On 09/16/2020 before me, Sherri Joy Small,  
*Date Notary Name*

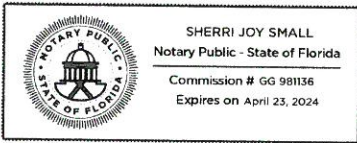
personally appeared Harry J Kuper  
*Name(s) of Signer(s)*

personally known to me -- OR --

proved to me on the basis of the oath of \_\_\_\_\_ -- OR --  
*Name of Credible Witness*

proved to me on the basis of satisfactory evidence: passport  
*Type of ID Presented*

to be the individual(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by proper authority, and that by his/her/their signature(s) on the instrument, the individual(s), or the person(s) or entity upon behalf of which the individual(s) acted, executed the instrument for the purposes and consideration therein stated.



WITNESS my hand and official seal.

Notary Public Signature: Sherri Joy Small

Notary Name: Sherri Joy Small

Notary Commission Number: GG 981136

Notary Commission Expires: 04/23/2024

*Notarized online using audio-video communication*

**DESCRIPTION OF ATTACHED DOCUMENT**

Title or Type of Document: Application

Document Date: 9/16/2020 Number of Pages (w/ certificate): 2

Signer(s) Other Than Named Above: NA

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Harry Kuper

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: \_\_\_\_\_

Corporate Officer Title: \_\_\_\_\_

Partner –  Limited  General

Individual  Attorney in Fact

Trustee  Guardian of Conservator

Other: \_\_\_\_\_

Signer Is Representing: SELF

Corporate Officer Title: \_\_\_\_\_

Partner –  Limited  General

Individual  Attorney in Fact

Trustee  Guardian of Conservator

Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_



# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

### PLAT TYPE.

- MINOR/AMENDING PLAT.
- MASTER PLAT.
- PRELIMINARY PLAT.
- FINAL PLAT.
- REPLAT.
- VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

**DIGITAL COPY OF THE PLAT.** The following is required with all plat submittals:

- ONE (1) PDF COPY OF THE PLAT
- ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

TREESCAPE PLAN [IF APPLICABLE].

LANDSCAPE PLAN [IF APPLICABLE].

- APPLICATION AND APPLICATION FEE.

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

**PLAN SET.** A plan set is composed of the following items:

- SITE PLAN.
- LANDSCAPE PLAN.
- TREESCAPE PLAN.
- PHOTOMETRIC PLAN.
- BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

**BUILDING MATERIAL SAMPLE BOARD.** See the *Material Sample Board Design Guidelines* in this development packet.

**VARIANCE REQUEST LETTER.** The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.

**APPLICATION AND APPLICATION FEE.**

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

**LEGAL DESCRIPTION.** A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.

**ZONING EXHIBIT OR CONCEPT PLAN.** A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*

**LETTER OF EXPLANATION.** A letter from the applicant or property owner explaining the purpose of the zoning application.

**APPLICATION AND APPLICATION FEE.**

*IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.*



# CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

**Case Type:**

- Minor/Amending Plat       Replat  
 Final Plat                       Preliminary Plat  
 Master Plat                         Vacation Plat

**Case Number**

**Reviewed By:**

**Review Date:**

**NOTES:** The requirements listed below are based on the case type, which is indicated in the '[ ]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓ = OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") <b>folded</b> copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. <b>ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.</b>
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.

City Limits <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.
Property Lines <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat &amp; Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat &amp; Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat &amp; Preliminary Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.

Dedication Language <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Proved the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.
Compliance with Preliminary Plat <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.



# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				Per Application
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-



## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 5.04
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	Art. VI 5.03.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	Art. VI 6.04
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.02

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.</b>				
Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

## 2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	Art. VIII 8
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.3
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.05.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.4
Dumpster Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.05.2
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.05.1
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.06

## 3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	-

Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	-
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.01
Acceptable Landscape Materials:				Art. VIII 4
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix F
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix F
Protected Trees (To Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 5.5
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.03.E
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	Art. V 1.08
Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. V 5.01
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	Art. VIII 5.03.E
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.04

#### 4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-

Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Non-residential properties shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VII 3.4.A
Indicate all Exterior Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 6.02.C
Indicate Amount and Location of the 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 6.02.C
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each facade and the percentage and square footage of each material used on that facade.	-

Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
Indicate Parapet Wall Height (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	-
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	-
Indicate Any Additional Design Elements Proposed (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	-
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.01.B
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 25% x L</li> <li>4. Wall Projection = 25% x H</li> <li>5. Primary Entry/Arch. Element Width = 2 x (25% x L)</li> <li>6. Projection Height = 25% x H</li> <li>7. Primary Entry/Arch. Element Length = 2 x (25% x L)</li> </ol>	Art. V 4.01.C
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 15% x L</li> <li>4. Secondary Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 4.01.C

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
90% Masonry Requirement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 5.01.A
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 5.01.A
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 4 x H</li> <li>3. Wall Projection = 25% x H</li> <li>4. Entry/Arch. Element Length = 33% x L</li> <li>5. Projection Height = 25% x H</li> <li>6. Entry/Arch. Element Width = 2 x (25% x H)</li> </ol>	Art. V 5.01.C
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Entry/Arch. Element Length = 15% x L</li> <li>4. Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 5.01.C

**Pre-Development Meeting:**  
Date: \_\_\_ / \_\_\_ / \_\_\_

**Administrative Site Plan/Public Hearing Site Plan**

1) Is the property located within an Overlay District or a Planned Development District?  YES  NO

2) If yes which Overlay District or Planned Development District? \_\_\_\_\_

3) Is the applicant requesting appeals?  YES  NO

4) If yes note the appeals:

\_\_\_\_\_

**Planning & Zoning Work Session (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**ARB Meeting**

Date: \_\_\_/\_\_\_/\_\_\_

**Planning and Zoning Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

**City Council Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

\_\_\_\_\_

**GENERAL NOTES:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



# STANDARD SITE PLAN WORDING

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE**

## SITE PLAN SIGNATURE BLOCK

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the *[DAY]* day of *[MONTH]*, *[YEAR]*.

WITNESS OUR HANDS, this *[DAY]* day of *[MONTH]*, *[YEAR]*.

\_\_\_\_\_  
*Planning & Zoning Commission, Chairman*

\_\_\_\_\_  
*Director of Planning and Zoning*

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/24/2020

PROJECT NUMBER: SP2020-025  
PROJECT NAME: Site Plan for Ellis Center, Phase 2  
SITE ADDRESS/LOCATIONS: 1203 SIGMA CT, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request Harper J. Kuper of SVEA Industrial II, LLC for the approval of a Site Plan for the expansion of an existing industrial facility on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	09/24/2020	Approved w/ Comments

09/24/2020: SP2020-025; Site Plan for Ellis Center Phase Two

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the expansion of an existing industrial facility on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6488 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2020-025) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Light Industrial (LI) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. Verify the total lot acreage. (Subsection 03.04.B, of Article 11)
2. Indicate the wall lengths of all buildings on the site. (Subsection 03.04. B, of Article 11)
3. Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight. (Subsection 0304. B, of Article 11)
4. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
5. Parking is 1/300 not 3/1000. Make the correction on the parking table. (Table 5, of Article 6)
6. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Roof mounted must not be visible from the street or adjacent properties. Utilize a taller parapet for screening. (Subsection 01.05. C, of Article 05)

M.6 Landscape Plan:

1. Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. (Subsection



05.03. B, of Article 08)

2. Indicate the locations and dimensions of the required landscape buffers. (Subsection 05.01, of Article 08)
3. Identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05)
4. Large trees shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage. Pay attention to the west side of your property. (Subsection 05.05, of Article 08)
5. Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work. (Subsection 03.01. E, of Article 09)
6. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01. F, of Article 09)
7. Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. (Subsection 03.01. G, of Article 09)

M.7 Photometric and Lighting Plan:

1. The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Subsection 03.03. G, of Article 07)
2. Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03. A, of Article 07)
3. Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

1. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. (Subsection 01.05. C, of Article 05)
2. The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof. (Subsection 07.03, of Article 05)

I.9 Please notify staff if no variances/exceptions are being requested and that all comments will be addressed. If none are being requested and all comments are addressed then this site plan may be handled administratively.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 6, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 13, 2020 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 13, 2020.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Dumpster to drain to an oil/water separator and then to the storm lines.

M - Must have detention. Manning's "c-value" is for any new impervious areas. Detention is for a 0.35 to 0.9 C-value.

M - Mandatory to show detention area on site plan.

M - Show ' wide sidewalk extension along street frontage.

General Items:

- Engineering review fees apply (i)
- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (i)
- Fire lane easement to be on plat. (i)
- No trees within 5' of public utilities. (i)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Replat is necessary. Each lot must meet minimum frontage requirements. (i)
- Will need to plat the cross access easement since you are crossing property lines. Parking agreement required to be filed (i)
- Must meet all Standards of Design and Construction (i)

Roadway/Paving Items:

- Fire lane to be 24' wide with 20' radii (i)
- Parking to be 20'x9' (i)

Water & Wastewater Items:

- Water and Sewer impact fees apply for additional/upsizing meters. (i)

Drainage & Detention Items;

- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Will need to replat for drainage and detention easement
- No vertical walls allowed in detention. (i)

Landscape Items;

- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter.(i)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved w/ Comments

09/21/2020: Private fire service main shall comply with NFPA 24. Piping that runs under the building to the fire riser shall be reviewed for compliance.

The location of the fire department connection (FDC) shall be reviewed for compliance with local requirements.

FDC shall be facing and visible from the fire lane.

FDC must be within 100-feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

09/23/2020: SP2020-025

Considerations:

- Consider ground wash lighting or directional lights in the grass areas on the North and East edges of the parking lots to eliminate any shadows or areas that a person might be capable of hiding. Specifically those areas adjacent to the new construction and between the new parking lot and businesses on Industrial Blvd. Lighting should run all the way to and up Sigma Court to the East entrance.
- Consider directional lighting at the front of business (West Side) where the wrought iron fence is in place. Lighting in the drainage area may not be possible, but at the North-West corner where the drainage does not exist lighting could be installed.
- Consider replacing all exiting exterior lighting building, specifically above doorway's that are not designated to be upgraded on the lighting plan. Use industry standard or high grade lighting.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide.
- Consider lighting in or around dumpsters to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider parabolic mirror(s) to provide a light of sight for anyone who may be hiding inside the area.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses.
- Consider all existing and new exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for the rear and South doors of the business to ensure that employees will have a complete and unobstructed view prior to exiting the business.
- Considering clearing brush especially on the South side of the business and trimming existing trees up to 7' and any additional bushes trimmed down to 3'.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Denied

09/21/2020: Please provide tree mitigation calculations for the trees being removed with building additions.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-025

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1203 Sigma Ct, Rockwall, Texas, 75087

Subdivision Ellis Center Phase Two

Lot 3A-R Block C

General Location .2 miles north of TL Townsend Dr and I-30 Frontage Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial

Current Use Office Building

Proposed Zoning Light Industrial

Proposed Use Office Building

Acreage 1.915

Lots [Current] 2

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner SVEA Industrial II, LLC

Applicant

Contact Person Harry J Kuper

Contact Person

Address 1614 Lavca Street

Address

City, State & Zip Austin, Texas 78701

City, State & Zip

Phone 830-431-0326

Phone

E-Mail j.kuper@SVEARE.COM

E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Harry J Kuper [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$\_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Owner's Signature

Harry Kuper

Notary Public in and for the State of Texas

SEE ATTACHED ACKNOWLEDGEMENT

My Commission Expires

**ALL-PURPOSE ACKNOWLEDGMENT**

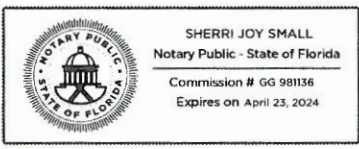
State/Commonwealth of FLORIDA )  
 )  
 City  County of Manatee )

On 09/16/2020 before me, Sherri Joy Small,  
*Date* *Notary Name*

personally appeared Harry J Kuper  
*Name(s) of Signer(s)*

- personally known to me -- **OR** --
- proved to me on the basis of the oath of \_\_\_\_\_ -- **OR** --  
*Name of Credible Witness*
- proved to me on the basis of satisfactory evidence: passport  
*Type of ID Presented*

to be the individual(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by proper authority, and that by his/her/their signature(s) on the instrument, the individual(s), or the person(s) or entity upon behalf of which the individual(s) acted, executed the instrument for the purposes and consideration therein stated.



WITNESS my hand and official seal.  
Notary Public Signature: Sherri Joy Small  
Notary Name: Sherri Joy Small  
Notary Commission Number: GG 981136  
Notary Commission Expires: 04/23/2024  
*Notarized online using audio-video communication*

**DESCRIPTION OF ATTACHED DOCUMENT**

Title or Type of Document: Application  
Document Date: 9/16/2020 Number of Pages (w/ certificate): 2  
Signer(s) Other Than Named Above: NA

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Harry Kuper

- Corporate Officer Title: \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian of Conservator
- Other: \_\_\_\_\_

Signer Is Representing: SELF


**Capacity(ies) Claimed by Signer(s)**

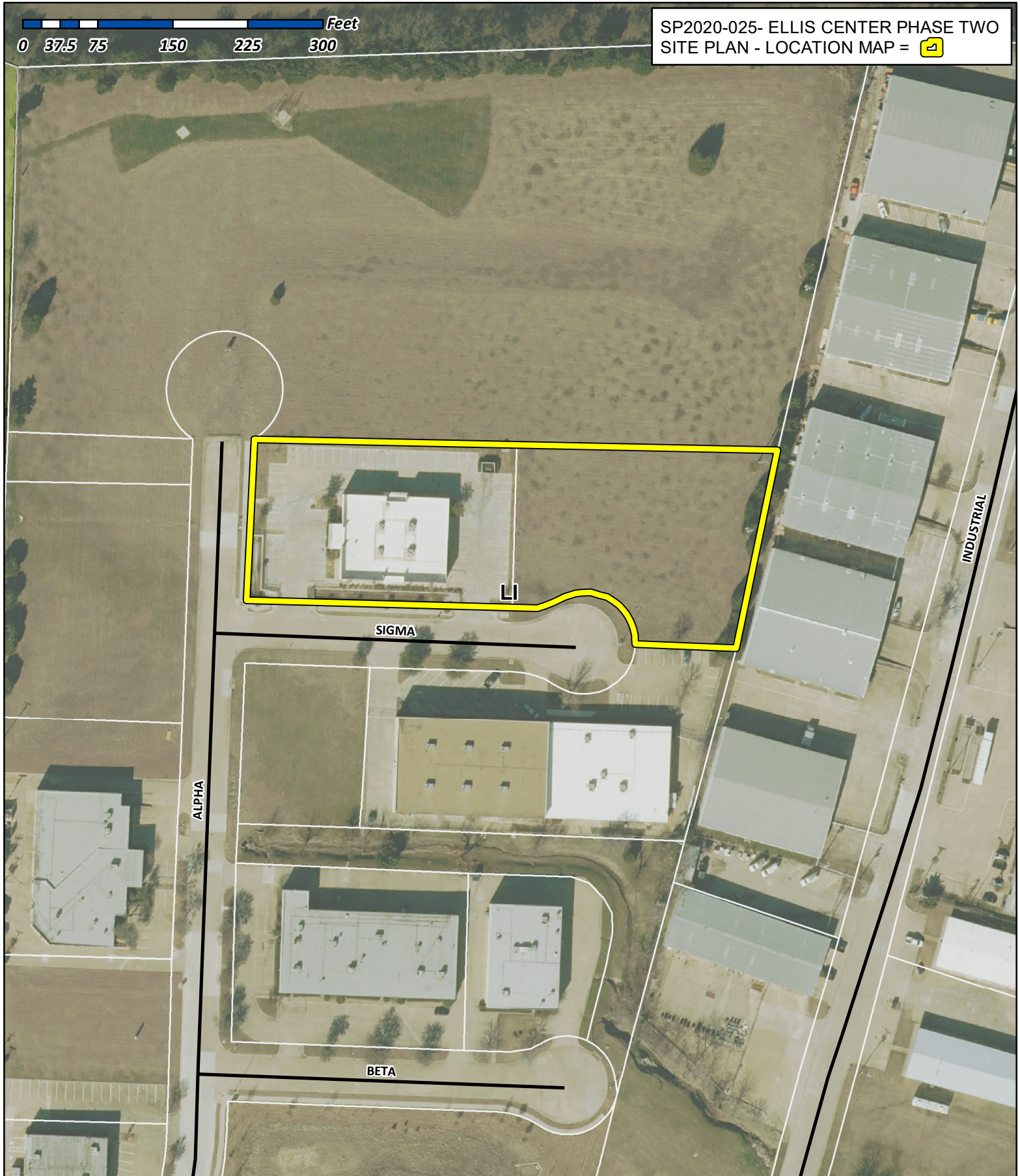
Signer's Name: \_\_\_\_\_

- Corporate Officer Title: \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian of Conservator
- Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

0 37.5 75 150 225 300 Feet

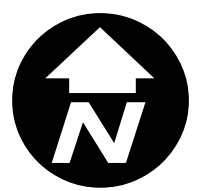
SP2020-025- ELLIS CENTER PHASE TWO  
SITE PLAN - LOCATION MAP = 



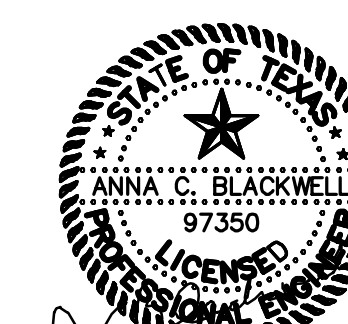
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



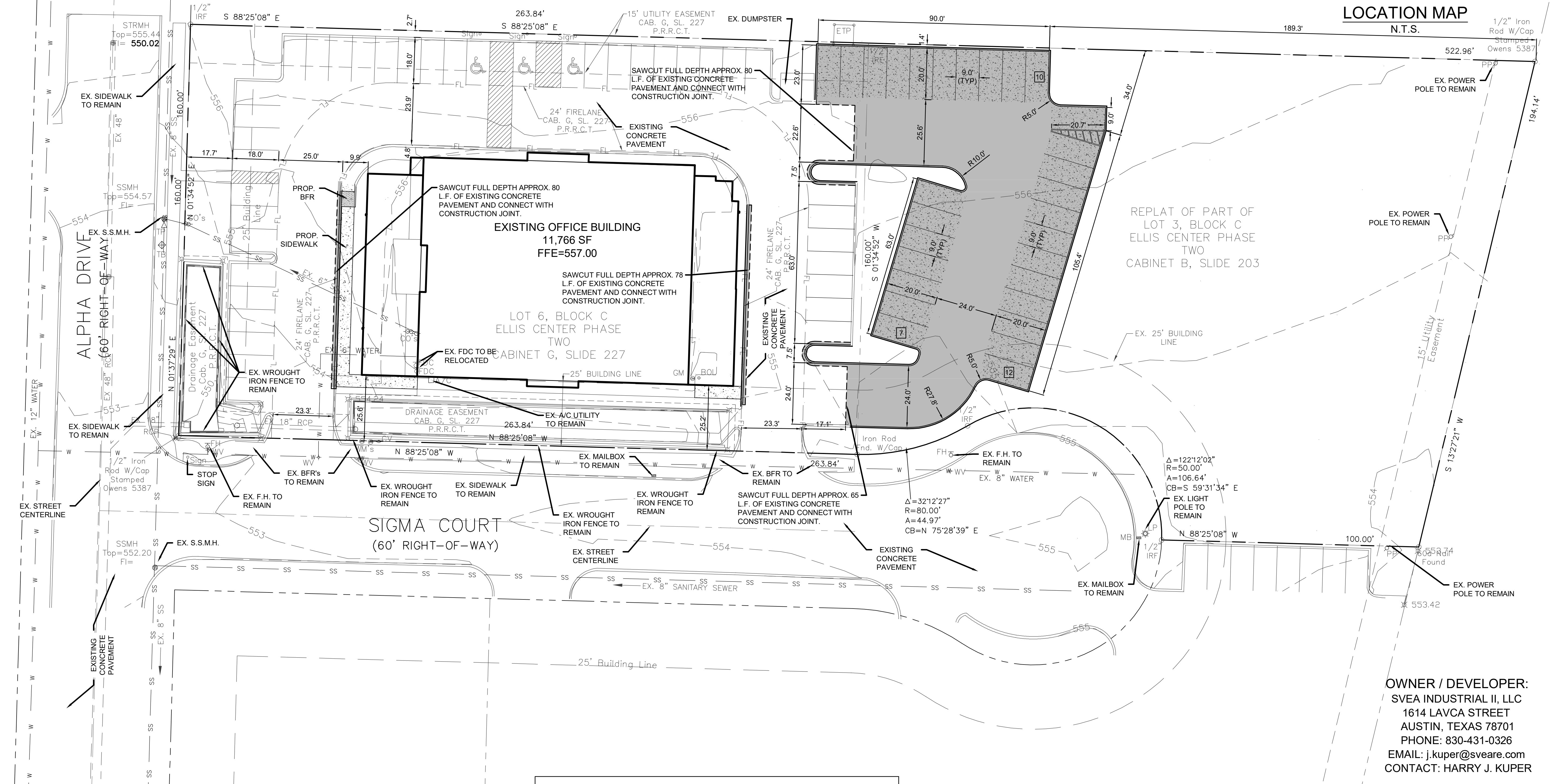
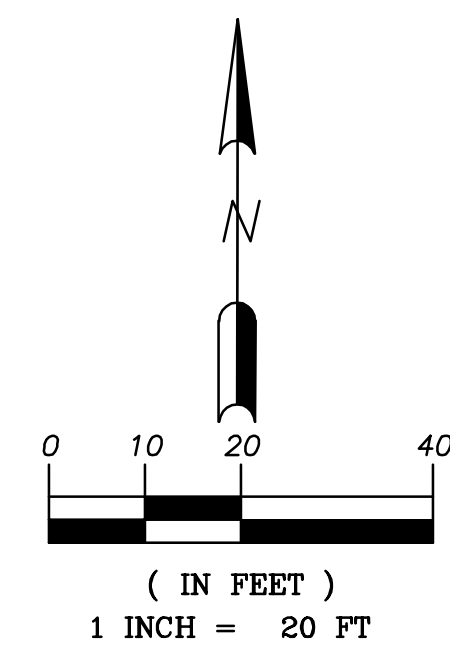
NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION



9-18-2020



LOCATION MAP  
N.T.S.



**LEGEND**

	EXISTING CURB
	PROPOSED CURB
	PARKING SPACES IN A ROW
	PROPOSED 6" REINFORCED, MEDIUM DUTY CONCRETE PAVEMENT
	PROPOSED 5" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK PAVEMENT

**KEY NOTES**

1. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
2. APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
3. ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
4. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

**SITE DEVELOPMENT DATA**

EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
LAND USE:	OFFICE BUILDING
SITE ACREAGE:	1.905 ACRES (82,985 SQ FT)
TOTAL BUILDING AREA:	11,766 SQUARE FEET
FLOOR AREA RATIO:	11,766 / 82,985 : 13%
OPEN SPACE:	35,536 / 82,985 : 43%
TOTAL IMPERVIOUS AREA:	47,449 / 82,985 : 57%
PARKING REQUIRED (3 PER 1,000 SF GFA):	36 SPACES
EXISTING PARKING:	38 SPACES
PROPOSED PARKING:	29 SPACES
TOTAL PARKING SPACES:	67 SPACES
PARKING PROVIDED (ACCESSIBLE):	3 EXISTING SPACES
EXISTING BUILDING HEIGHT:	1 STORY (18' - 6" HEIGHT)

PREPARED BY:  
  
CARRILLO ENGINEERING, LLC  
TEXAS BOARD OF PROFESSIONAL ENGINEERS  
REGISTRATION NO. F-15893  
301 COMMERCE STREET, SUITE 1410  
FORT WORTH, TEXAS 76102  
PHONE NO.: 817-697-4996  
CONTACT: ANNA C. BLACKWELL, P.E.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:	
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.	
WITNESS OUR HANDS, _____ day of _____	
PLANNING & ZONING COMMISSION CHAIRMAN	DIRECTOR OF PLANNING & ZONING



Carrillo Engineering, LLC

301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102  
Phone 817-697-4996 - Firm Registration #F-15893

OWT ARCHITECTS

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

ROCKWALL DFPS

ELLIS CENTRE #2 ADDITION  
BOCK C, LOT 3A-R  
1203 SIGMA CT,  
ROCKWALL, TX 75087

09/18/2020  
ISSUE DATE

SITE PLAN

SP

**EXTERIOR FINISHES**

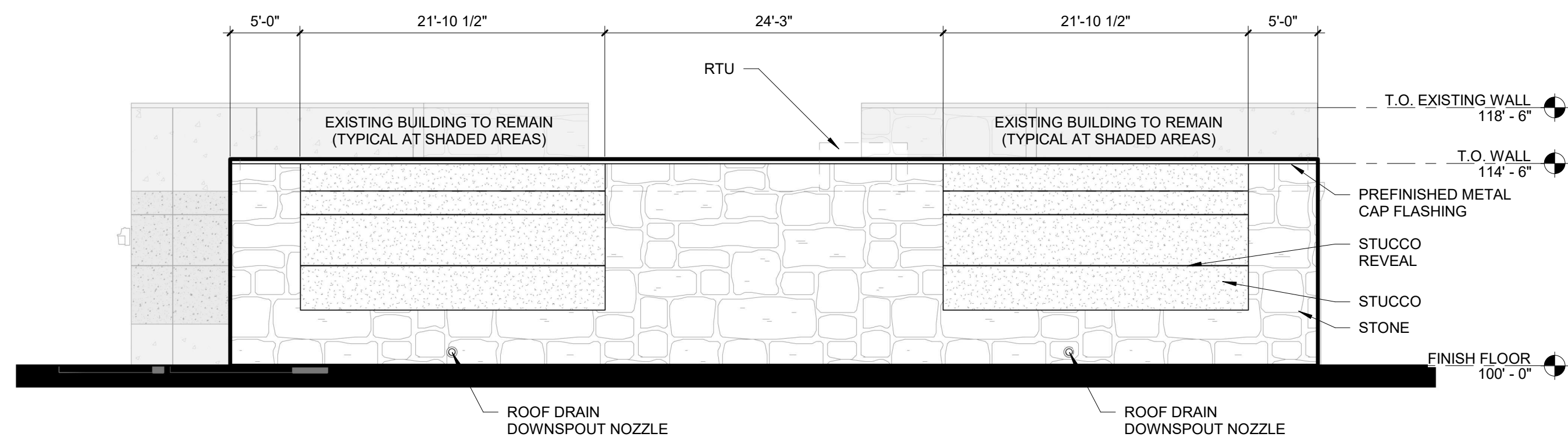
**BASIS OF DESIGN:**  
**STONE:** ELDORADO STONE - ROUGH CUT, COLOR = LOIRE VALLEY  
**STUCCO:** PAREX - MEDIUM TEXTURE, COLORS = PACIFIC SAND AND VIEJO  
**STOREFRONT:** ALUMINUM, COLOR = CLEAR ANODIZED  
**PARAPET COPING:** BERRIDGE - COLOR = BURGUNDY  
 \*THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

**MASONRY CALCULATIONS**

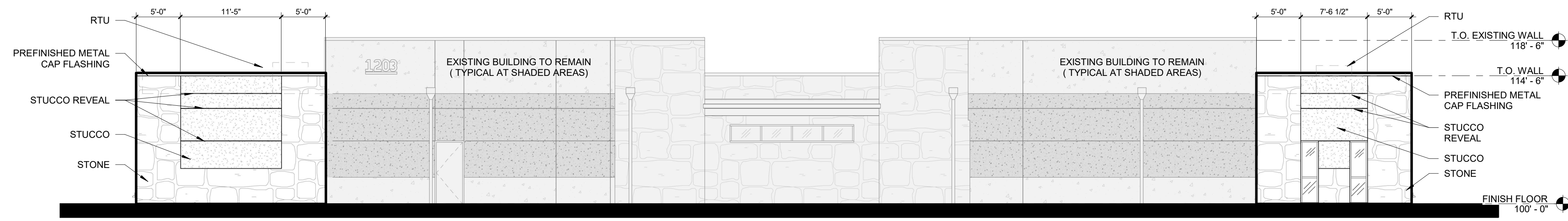
**NORTH: 480 SF**  
 STUCCO = 162 (33.7%)  
 STONE = 318 (66.3%)  
**SOUTH: 540 SF**  
 STUCCO = 189 (35%)  
 STONE = 351 (65%)  
**EAST: 885 SF**  
 STUCCO = 403 (45.5%)  
 STONE = 482 (54.5%)  
**WEST: 1,135 SF**  
 STUCCO = 462 (40.7%)  
 STONE = 673 (59.3%)  
**TOTAL: 3,040 SF**  
 STUCCO = 1,216 (40%)  
 STONE = 1,824 (60%)  
 \*TOTALS AND PERCENTAGES DO NOT INCLUDE GLAZING SQUAREFOOTAGES.

**GENERAL ELEVATION NOTES**

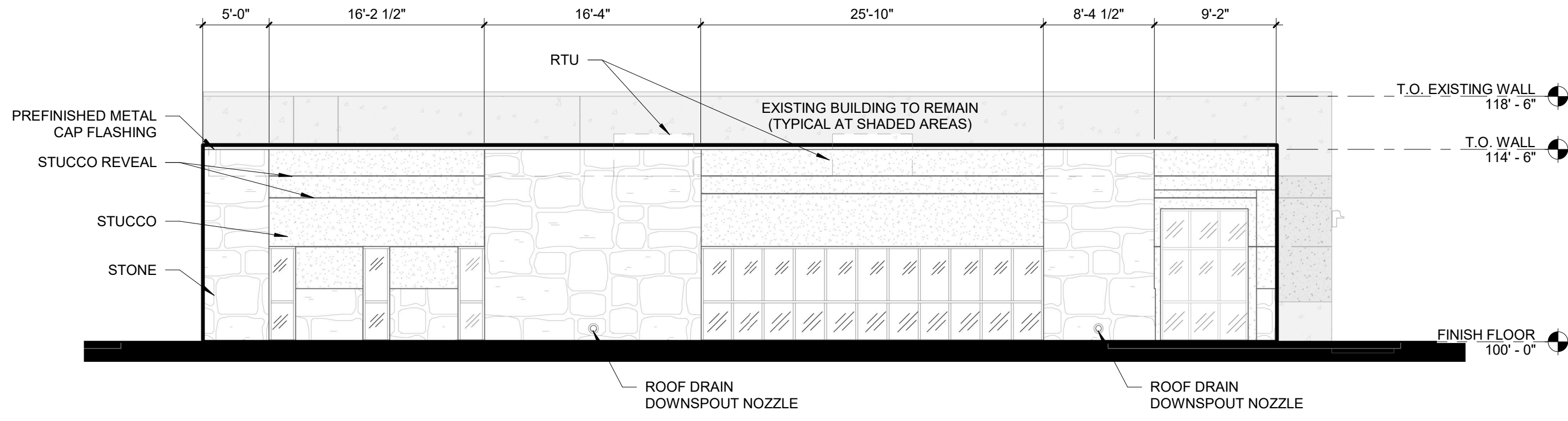
1. NEW HORIZONTAL STUCCO CONTROL JOINTS ARE TO MATCH THE HEIGHT OF EXISTING CONTROL JOINTS.



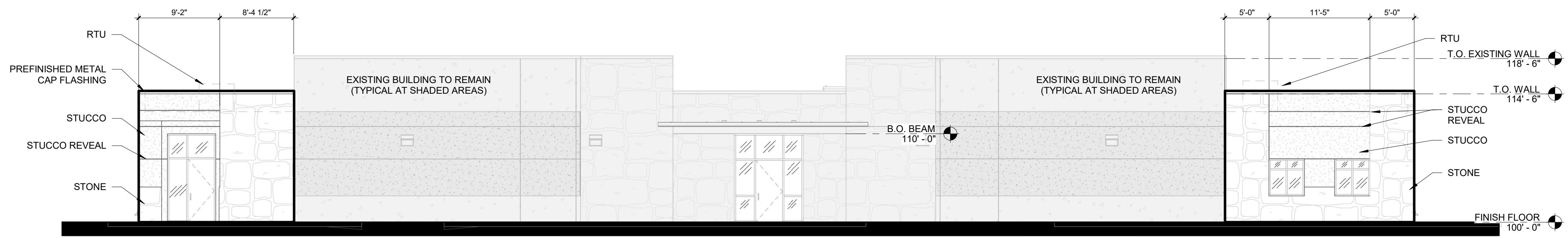
**WEST ELEVATION | 4**  
 SCALE: 1/8" = 1'-0" A3.00



**SOUTH ELEVATION | 3**  
 SCALE: 1/8" = 1'-0" A3.00



**EAST ELEVATION | 2**  
 SCALE: 1/8" = 1'-0" A3.00



**NORTH ELEVATION | 1**  
 SCALE: 1/8" = 1'-0" A3.00

SEPTEMBER 18, 2020  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OWEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OWEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OWEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OWEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date

**OWT ARCHITECTS**  
 509 PECAN STREET  
 SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9844  
 www.owtarchitects.com

**ROCKWALL DFPS**  
 1203 SIGMA CT,  
 ROCKWALL TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**EXTERIOR ELEVATIONS**

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 803.431.0326  
 PROJECT CASE #:  
 SIGNATURE:

**A3.00**





1203

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS



SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS



SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS

COPING: BERRIDGE - COLOR = BURGUNDY

STUCCO: PAREX - MEDIUM TEXTURE, COLOR = PACIFIC SAND

STUCCO: PAREX - MEDIUM TEXTURE, COLOR = VIEJO



STONE: ELDORADO STONE -  
ROUGH CUT, COLOR = LOIRE VALLEY

STOREFRONT: ALUMINUM,  
COLOR = CLEAR ANODIZED

**NOTES:**

- THIS SHEET TO BE REPLACED WITH PHYSICAL SAMPLE COLOR BOARD ONCE ITEMS ARRIVE.
- THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

**SVEA INDUSTRIAL II, LLC**  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

**OWT ARCHITECTS**  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

**ROCKWALL DFPS**  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #: \_\_\_\_\_





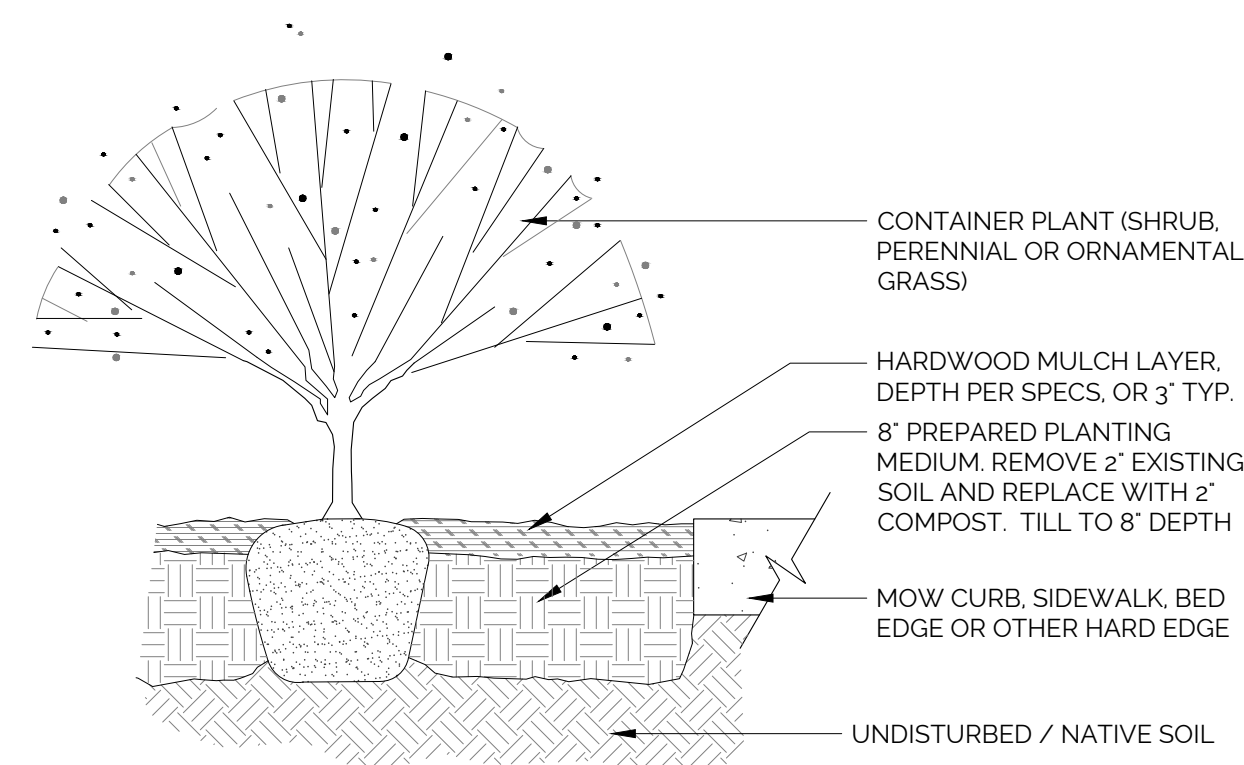


# Valley Quest DESIGN

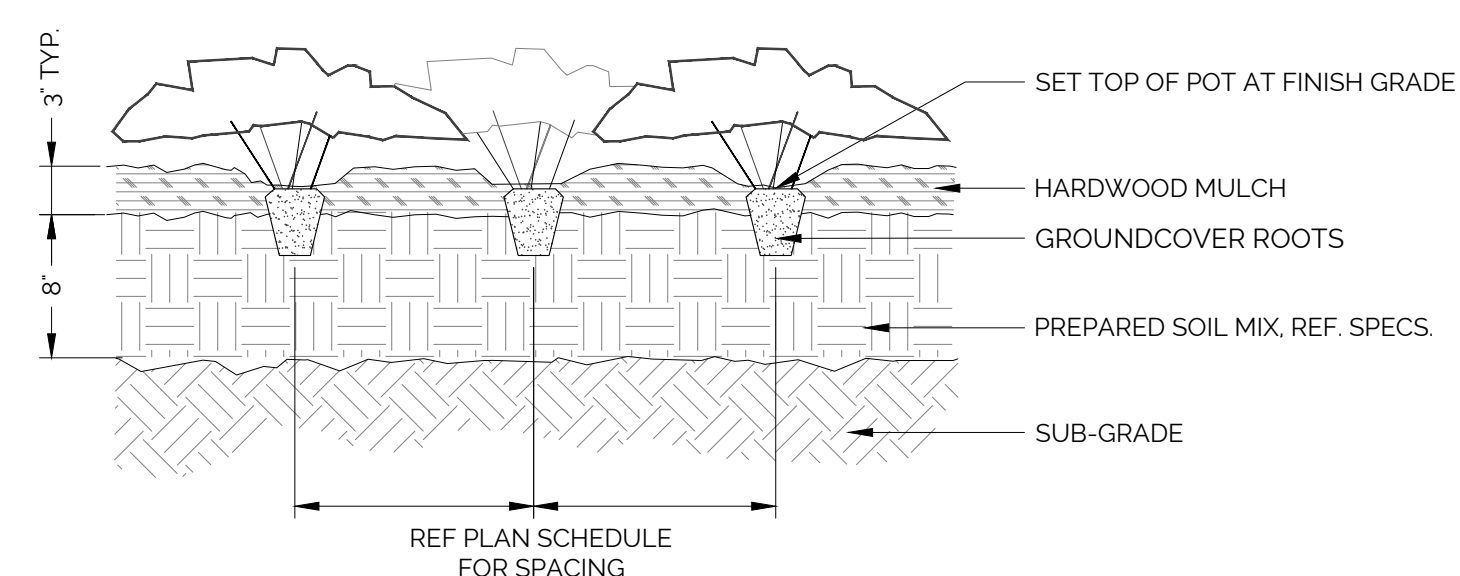
LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

September 18, 2020

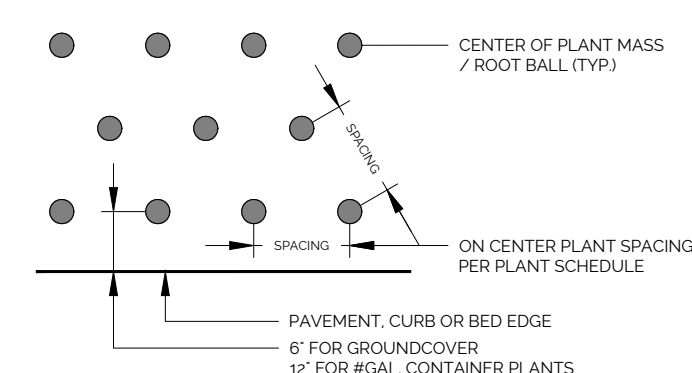
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY DALEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. DALEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF DALEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO DALEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



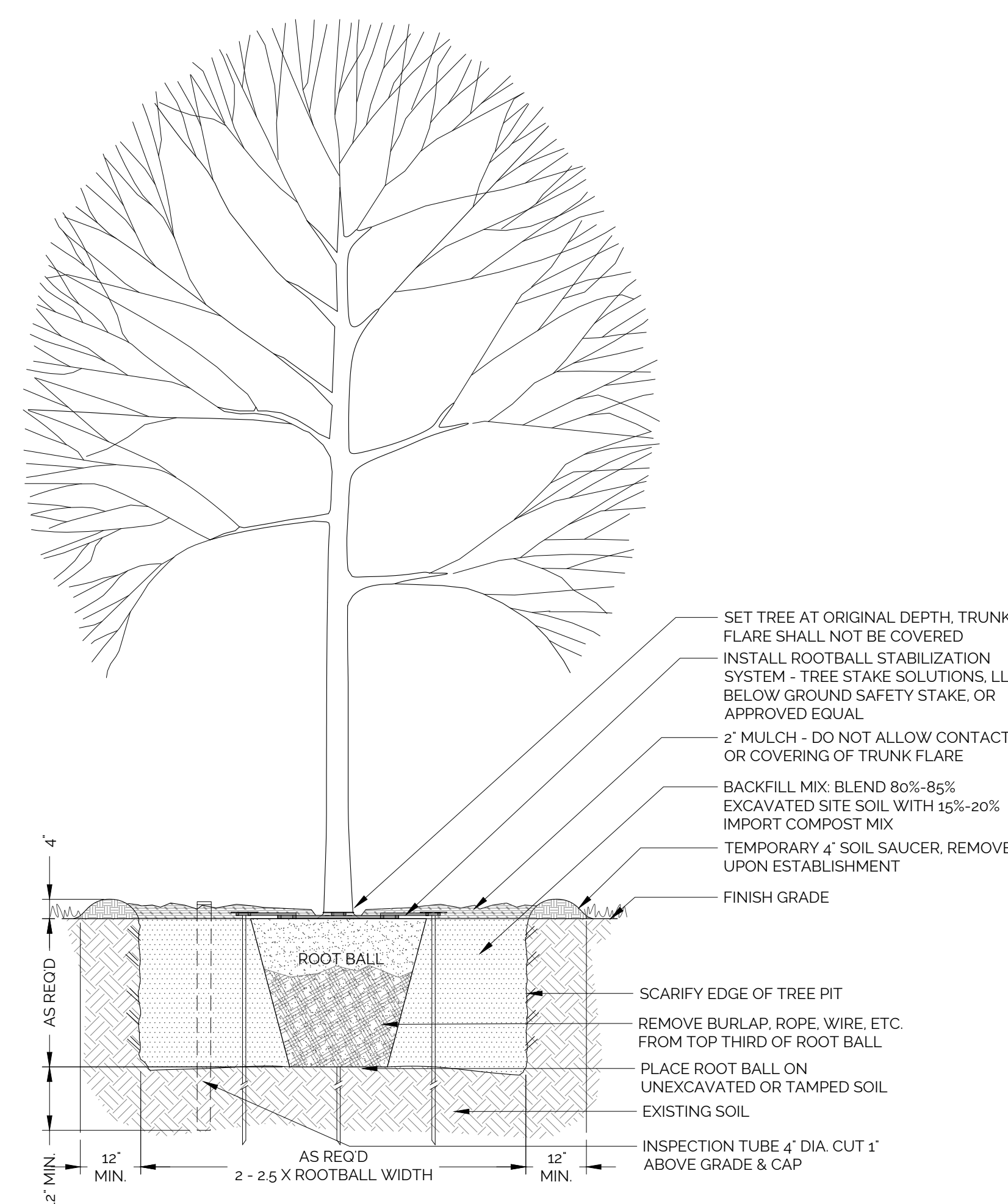
## 1 CONTAINER PLANTING 1'-1'-0"



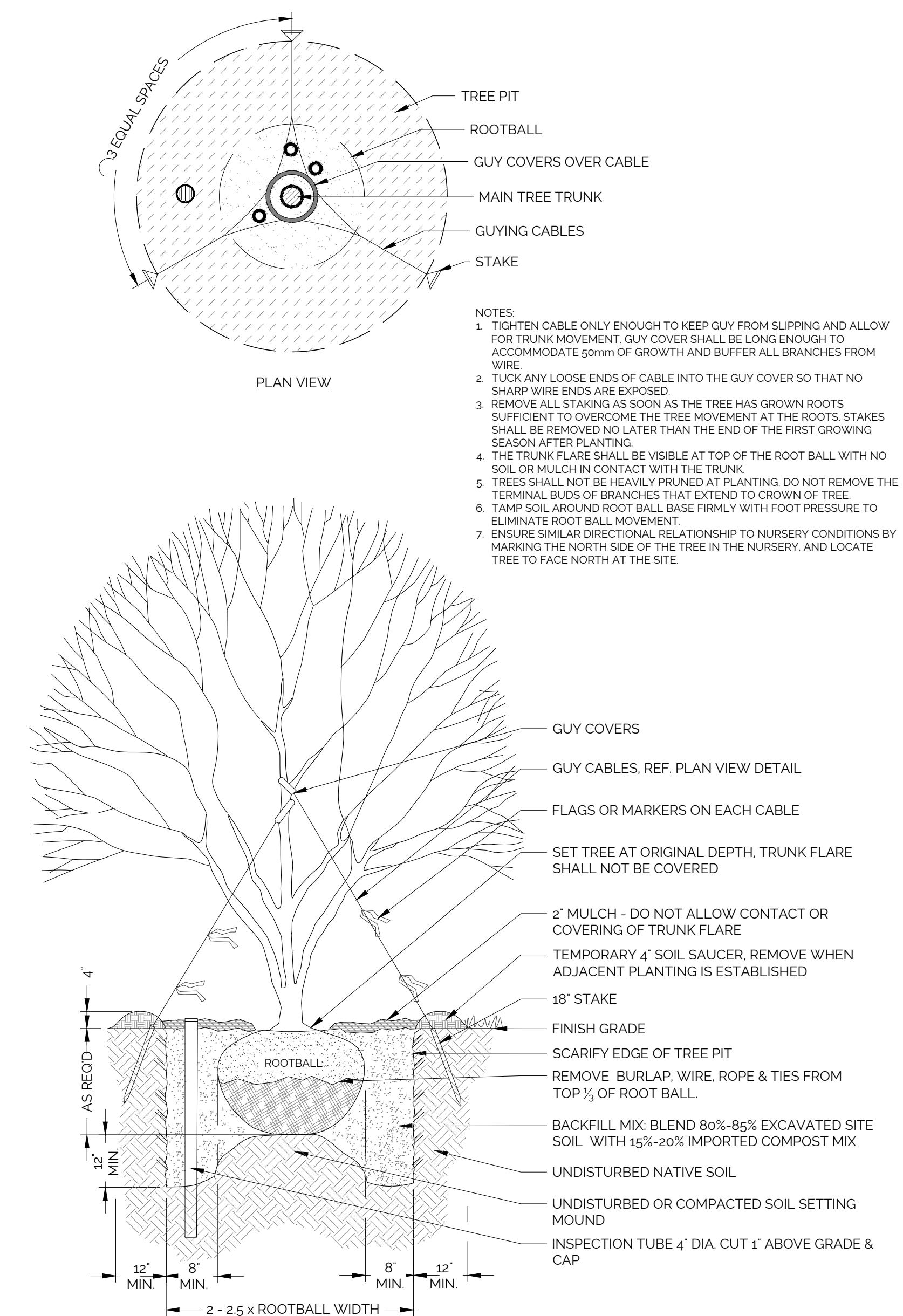
## 2 GROUNDCOVER PLANTING 1 1/2'-1'-0"



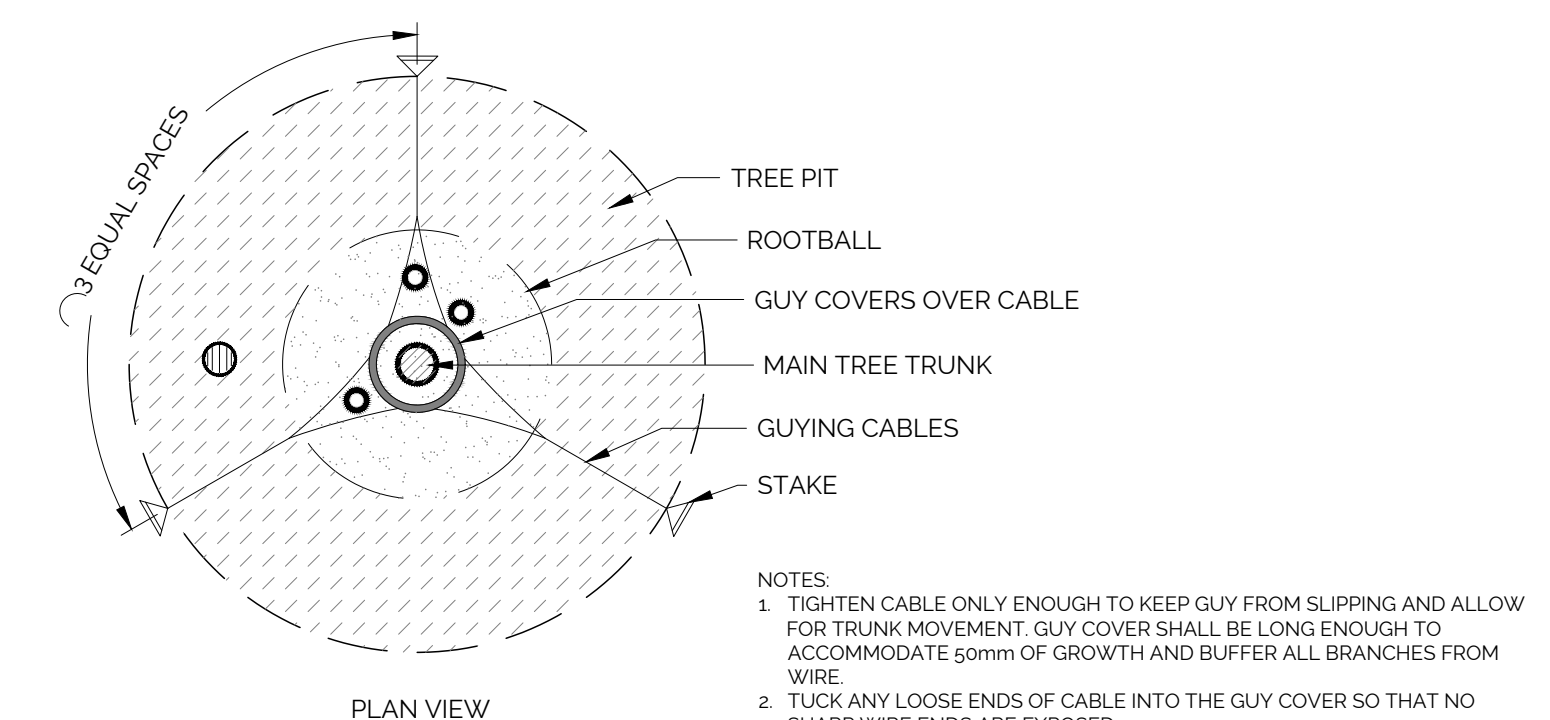
## 3 PLANT SPACING 1/4'-1'-0"



## 4 SHADE TREE PLANTING 1/2'-1'-0"

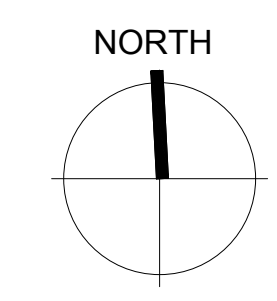


## 5 MULTI-STEM TREE PLANTING 1/2'-1'-0"



- NOTES:
- TIGHTEN CABLE ONLY ENOUGH TO KEEP GUY FROM SLIPPING AND ALLOW FOR TRUNK MOVEMENT. GUY COVER SHALL BE LONG ENOUGH TO ACCOMMODATE 50mm OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
  - TUCK ANY LOOSE ENDS OF CABLE INTO THE GUY COVER SO THAT NO SHARP WIRE ENDS ARE EXPOSED.
  - REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN ROOTS SUFFICIENT TO OVERCOME THE TREE MOVEMENT AT THE ROOTS. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
  - THE TRUNK FLARE SHALL BE VISIBLE AT TOP OF THE ROOT BALL WITH NO SOIL OR MULCH IN CONTACT WITH THE TRUNK.
  - TREES SHALL NOT BE HEAVILY PRUNED AT PLANTING. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO CROWN OF TREE.
  - TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE TO ELIMINATE ROOT BALL MOVEMENT.
  - ENSURE SIMILAR DIRECTIONAL RELATIONSHIP TO NURSERY CONDITIONS BY MARKING THE NORTH SIDE OF THE TREE IN THE NURSERY, AND LOCATE TREE TO FACE NORTH AT THE SITE.

Revision Schedule		
Rev. #	Revision Description	Revision Date



**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**  
1203 SIGMA CT,  
ROCKWALL, TX 75087  
2020-007-00  
SEPTEMBER 18, 2020

**LANDSCAPE  
DETAILS**  
**L5.00**

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326  
PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_





# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 9/24/2020

PROJECT NUMBER: SP2020-025  
PROJECT NAME: Site Plan for Ellis Center, Phase 2  
SITE ADDRESS/LOCATIONS: 1203 SIGMA CT, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request Harper J. Kuper of SVEA Industrial II, LLC for the approval of a Site Plan for the expansion of an existing industrial facility on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	09/24/2020	Approved w/ Comments

09/24/2020: SP2020-025; Site Plan for Ellis Center Phase Two

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the expansion of an existing industrial facility on a 1.915-acre tract of land being identified as a portion of Lot 3 and all of Lot 3A-R, Block C, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1203 Sigma Court.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6488 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2020-025) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Light Industrial (LI) District standards, and the Development Standards of Article V, that are applicable to the subject property.

M.5 Site Plan:

1. Verify the total lot acreage. (Subsection 03.04.B, of Article 11)
2. Indicate the wall lengths of all buildings on the site. (Subsection 03.04. B, of Article 11)
3. Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight. (Subsection 0304. B, of Article 11)
4. Label the fire lane easements as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11)
5. Parking is 1/300 not 3/1000. Make the correction on the parking table. (Table 5, of Article 6)
6. Show all proposed and existing utility equipment (pad/ground and roof mounted) and their subsequent screening. Roof mounted must not be visible from the street or adjacent properties. Utilize a taller parapet for screening. (Subsection 01.05. C, of Article 05)

M.6 Landscape Plan:

1. Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. (Subsection

05.03. B, of Article 08)

2. Indicate the locations and dimensions of the required landscape buffers. (Subsection 05.01, of Article 08)
3. Identify visibility triangles on all lots for all driveway intersections and public streets. (Subsection 01.08, of Article 05)
4. Large trees shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage. Pay attention to the west side of your property. (Subsection 05.05, of Article 08)
5. Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work. (Subsection 03.01. E, of Article 09)
6. Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees. (Subsection 03.01. F, of Article 09)
7. Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced. (Subsection 03.01. G, of Article 09)

M.7 Photometric and Lighting Plan:

1. The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Subsection 03.03. G, of Article 07)
2. Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03. A, of Article 07)
3. Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

1. Indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view. (Subsection 01.05. C, of Article 05)
2. The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof. (Subsection 07.03, of Article 05)

I.9 Please notify staff if no variances/exceptions are being requested and that all comments will be addressed. If none are being requested and all comments are addressed then this site plan may be handled administratively.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 6, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 13, 2020 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 13, 2020.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Dumpster to drain to an oil/water separator and then to the storm lines.

M - Must have detention. Manning's "c-value" is for any new impervious areas. Detention is for a 0.35 to 0.9 C-value.

M - Mandatory to show detention area on site plan.

M - Show ' wide sidewalk extension along street frontage.

General Items:

- Engineering review fees apply (i)
- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (i)
- Fire lane easement to be on plat. (i)
- No trees within 5' of public utilities. (i)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Replat is necessary. Each lot must meet minimum frontage requirements. (i)
- Will need to plat the cross access easement since you are crossing property lines. Parking agreement required to be filed (i)
- Must meet all Standards of Design and Construction (i)

Roadway/Paving Items:

- Fire lane to be 24' wide with 20' radii (i)
- Parking to be 20'x9' (i)

Water & Wastewater Items:

- Water and Sewer impact fees apply for additional/upsizing meters. (i)

Drainage & Detention Items;

- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Will need to replat for drainage and detention easement
- No vertical walls allowed in detention. (i)

Landscape Items;

- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter.(i)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved w/ Comments

09/21/2020: Private fire service main shall comply with NFPA 24. Piping that runs under the building to the fire riser shall be reviewed for compliance.

The location of the fire department connection (FDC) shall be reviewed for compliance with local requirements.

FDC shall be facing and visible from the fire lane.

FDC must be within 100-feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

09/23/2020: SP2020-025

Considerations:

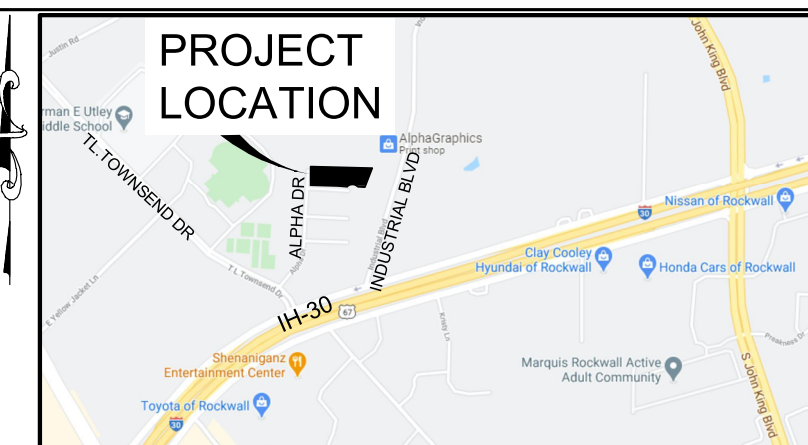
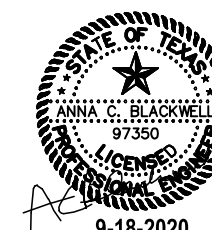
- Consider ground wash lighting or directional lights in the grass areas on the North and East edges of the parking lots to eliminate any shadows or areas that a person might be capable of hiding. Specifically those areas adjacent to the new construction and between the new parking lot and businesses on Industrial Blvd. Lighting should run all the way to and up Sigma Court to the East entrance.
- Consider directional lighting at the front of business (West Side) where the wrought iron fence is in place. Lighting in the drainage area may not be possible, but at the North-West corner where the drainage does not exist lighting could be installed.
- Consider replacing all exiting exterior lighting building, specifically above doorway's that are not designated to be upgraded on the lighting plan. Use industry standard or high grade lighting.
- Consider lighting in recessed areas (exterior) of the building to eliminate any shadows or places someone could hide.
- Consider lighting in or around dumpsters to eliminate shadowed areas for individuals to hide and/or commit crimes including assault, robbery, ID theft, etc.
- Consider parabolic mirror(s) to provide a light of sight for anyone who may be hiding inside the area.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses.
- Consider all existing and new exterior doors being equipped with alarm contact sensors and all new and existing windows with glass break sensors.
- Consider window laminate that will reduce sun exposure and reduce ability to break or breach glass on the building.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex. Cameras should be IR capable and industry standard or higher.
- Consider camera monitors for the rear and South doors of the business to ensure that employees will have a complete and unobstructed view prior to exiting the business.
- Considering clearing brush especially on the South side of the business and trimming existing trees up to 7' and any additional bushes trimmed down to 3'.
- Can discuss CPTED for the interior including exterior/interior door locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, safe rooms, employee drills, etc.
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing many aspects of the businesses and speaking directly with the owners/architect(s).

The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime-proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained. Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.

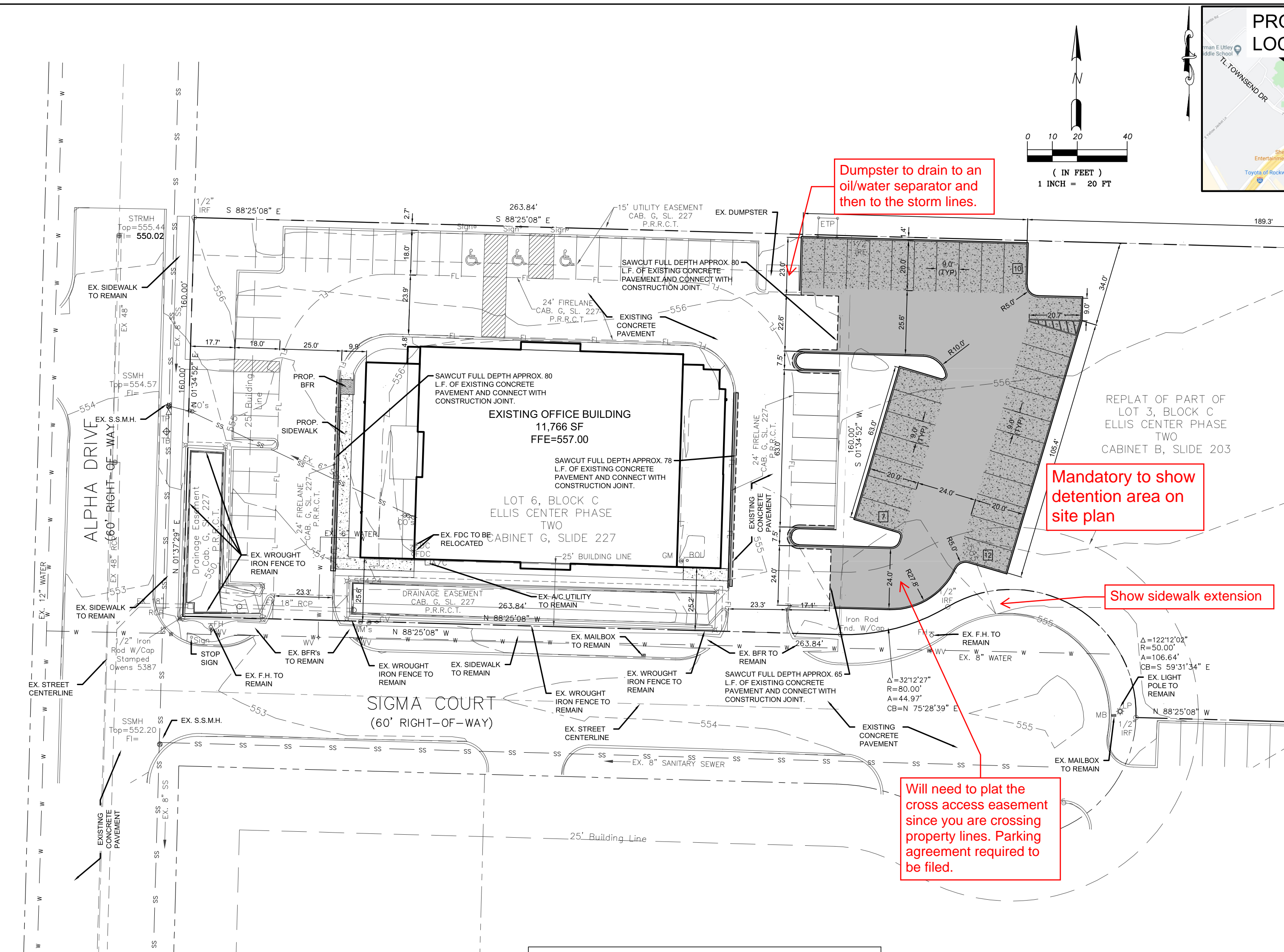
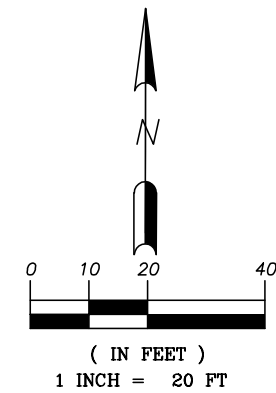
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Denied

09/21/2020: Please provide tree mitigation calculations for the trees being removed with building additions.

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION



LOCATION MAP  
N.T.S.



- General Items:**
- Engineering review fees apply (i)
  - 4% Engineering inspection fees (i)
  - Impact fees. (i)
  - Min 20' utility easements. (i)
  - No structures in easements. (i)
  - Fire lane easement to be on plat. (i)
  - No trees within 5' of public utilities. (i)
  - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
  - Replat is necessary. Each lot must meet minimum frontage requirements. (i)
  - Must meet all Standards of Design and Construction

- Roadway/Paving Items:**
- Fire lane to be 24' wide with 20' radii
  - Parking to be 20'x9' (i)
  - 5' sidewalk (2' off ROW) along all new improved frontage (M)

- Water & Wastewater Items:**
- Water and Sewer impact fees apply for additional/upsizing meters. (i)

- Drainage & Detention Items:**
- Must have detention. Manning's "c-value" is for any new impervious areas. Detention is for a 0.35 to 0.9 C-value. (M)
  - Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
  - Will need to replat for drainage and detention easement
  - No vertical walls allowed in detention. (i)

- Landscape Items:**
- No trees to be within 5' of any public utility less than 10" and 10' from any public utility that is 10" or greater in diameter. (i)

Dumpster to drain to an oil/water separator and then to the storm lines.

Mandatory to show detention area on site plan

Show sidewalk extension

Will need to plat the cross access easement since you are crossing property lines. Parking agreement required to be filed.

LEGEND

	EXISTING CURB
	PROPOSED CURB
	PARKING SPACES IN A ROW
	PROPOSED 6" REINFORCED, MEDIUM DUTY CONCRETE PAVEMENT
	PROPOSED 5" REINFORCED, LIGHT DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK PAVEMENT

- KEY NOTES
- ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 2% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
  - ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
  - REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

SITE DEVELOPMENT DATA

EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
LAND USE:	OFFICE BUILDING
SITE ACREAGE:	1.905 ACRES (82,985 SQ FT)
TOTAL BUILDING AREA:	11,766 SQUARE FEET
FLOOR AREA RATIO:	11,766 / 82,985 : 13%
OPEN SPACE:	35,536 / 82,985 : 43%
TOTAL IMPERVIOUS AREA:	47,449 / 82,985 : 57%
PARKING REQUIRED (3 PER 1,000 SF GFA):	36 SPACES
EXISTING PARKING:	38 SPACES
PROPOSED PARKING:	29 SPACES
TOTAL PARKING SPACES:	67 SPACES
PARKING PROVIDED (ACCESSIBLE):	3 EXISTING SPACES
EXISTING BUILDING HEIGHT:	1 STORY (18' - 6" HEIGHT)

PREPARED BY:

CARRILLO ENGINEERING, LLC  
 TEXAS BOARD OF PROFESSIONAL ENGINEERS  
 REGISTRATION NO. F-15893  
 301 COMMERCE STREET, SUITE 1410  
 FORT WORTH, TEXAS 76102  
 PHONE NO.: 817-697-4996  
 CONTACT: ANNA C. BLACKWELL, P.E.

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, \_\_\_\_\_ day of \_\_\_\_\_.

PLANNING & ZONING COMMISSION CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

OWNER / DEVELOPER:

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 PHONE: 830-431-0326  
 EMAIL: j.kuper@sveare.com  
 CONTACT: HARRY J. KUPER

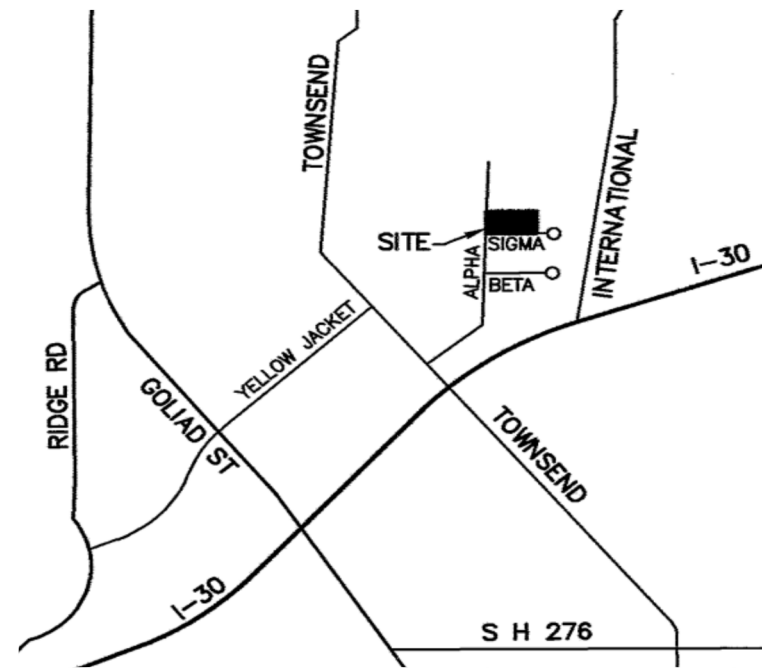
ROCKWALL DFPS

ELLIS CENTRE #2 ADDITION  
 BOCK C, LOT 3A-R  
 1203 SIGMA CT,  
 ROCKWALL, TX 75087

09/18/2020  
 ISSUE DATE

SITE PLAN

**SP**



VICINITY MAP

**SITE PLAN LEGEND:**

- NEW FLATWORK
- NEW PAVEMENT, CONCRETE CURB AND PARKING STRIPING (IF APPLICABLE)
- NEW LANDSCAPING

**GENERAL NOTES:**  
 1. ALL EXISTING SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR AND DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO WORK.

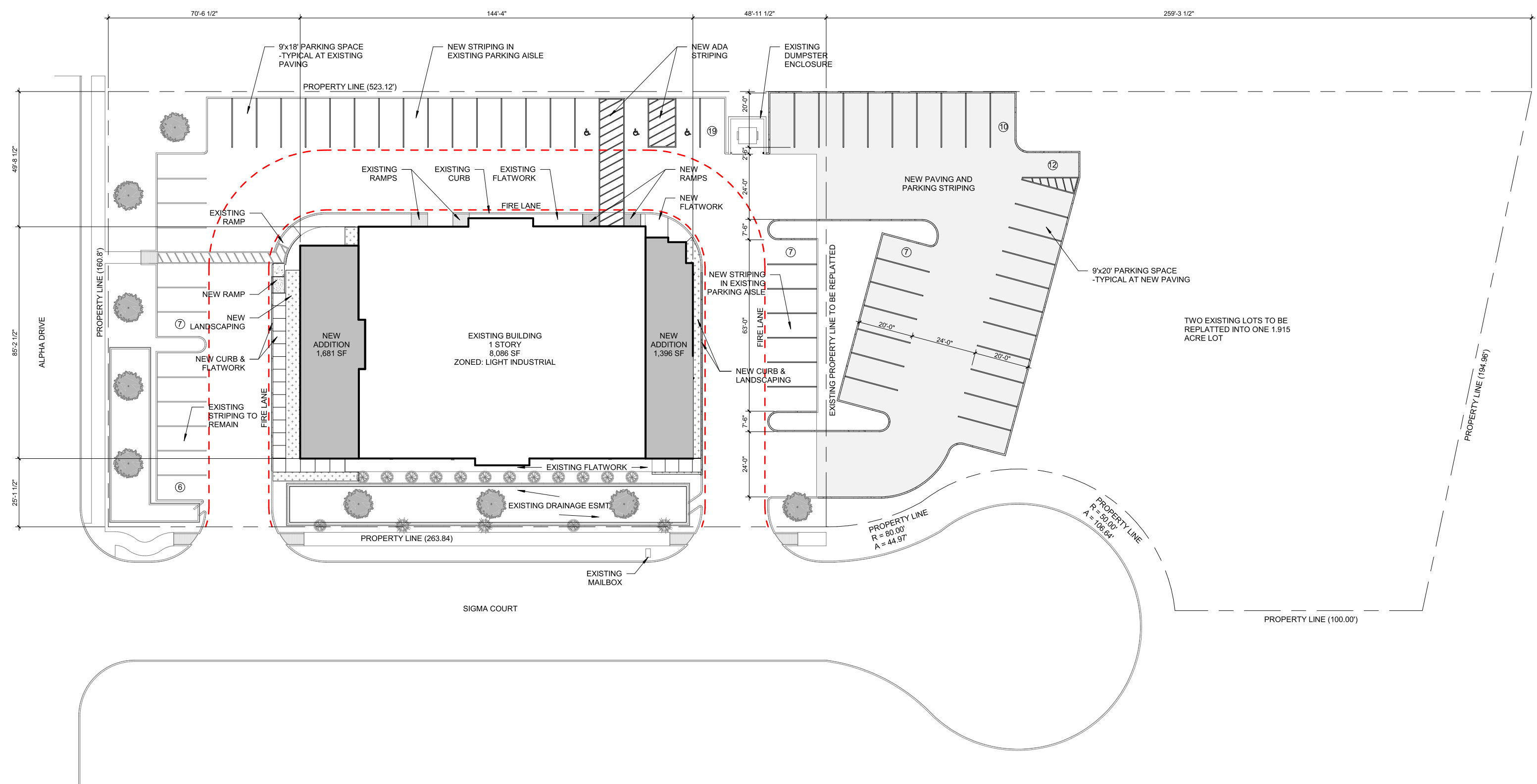
**PARKING REQUIREMENTS:**  
 CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE, ARTICLE 6, TABLE 5: PARKING REQUIREMENT SCHEDULE:  
 OFFICE BUILDING REQUIRED = 1 PER 300 SF  
 11,766 SF / 300 SF = 39.22 (40) SPACES REQUIRED  
 2 HANDICAP SPACES REQUIRED  
 DFPS REQUIREMENT = 68  
 PROVIDED:  
 39 EXISTING SPACES TO REMAIN (SOME RE-STRIPED)  
 29 NEW SPACES  
 68 SPACES PROVIDED (3 ADA SPACES)

**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**

RICHARD WILLIAMS  
 SEPTEMBER 18, 2020

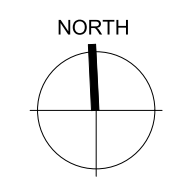
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date



**SITE PLAN | 1**  
 SCALE: 3/64" = 1'-0" A1.00

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 803.431.0326  
 PROJECT CASE #: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_



**OWT ARCHITECTS**  
 509 PECAN STREET  
 SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9644  
 www.owtarchitects.com

**ROCKWALL DFPS**  
 1203 SIGMA CT,  
 ROCKWALL TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**ARCHITECTURAL SITE PLAN**  
**A1.00**



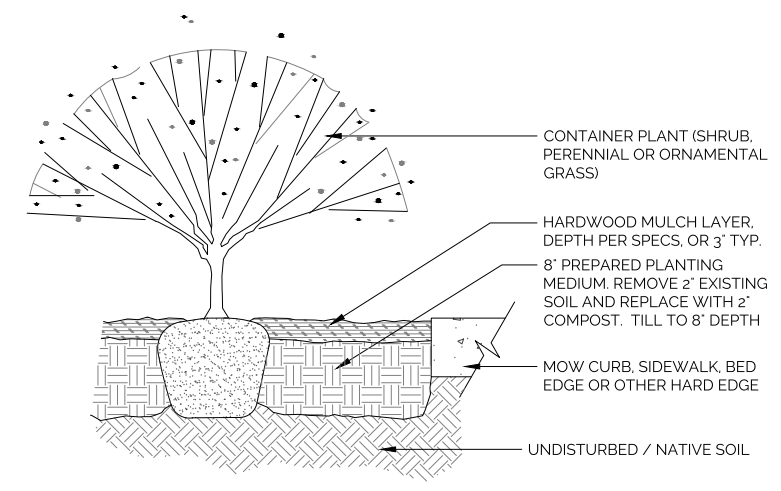


# Valley Quest DESIGN

LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

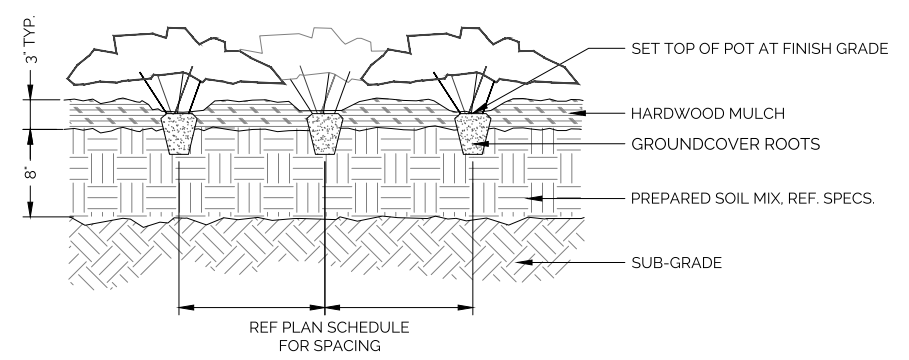
September 18, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



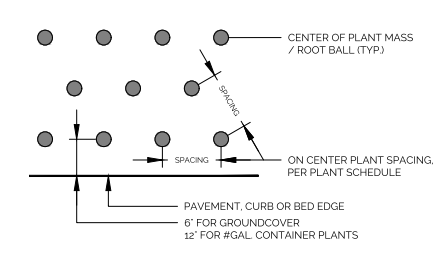
## 1 CONTAINER PLANTING

1/2"-1'-0"



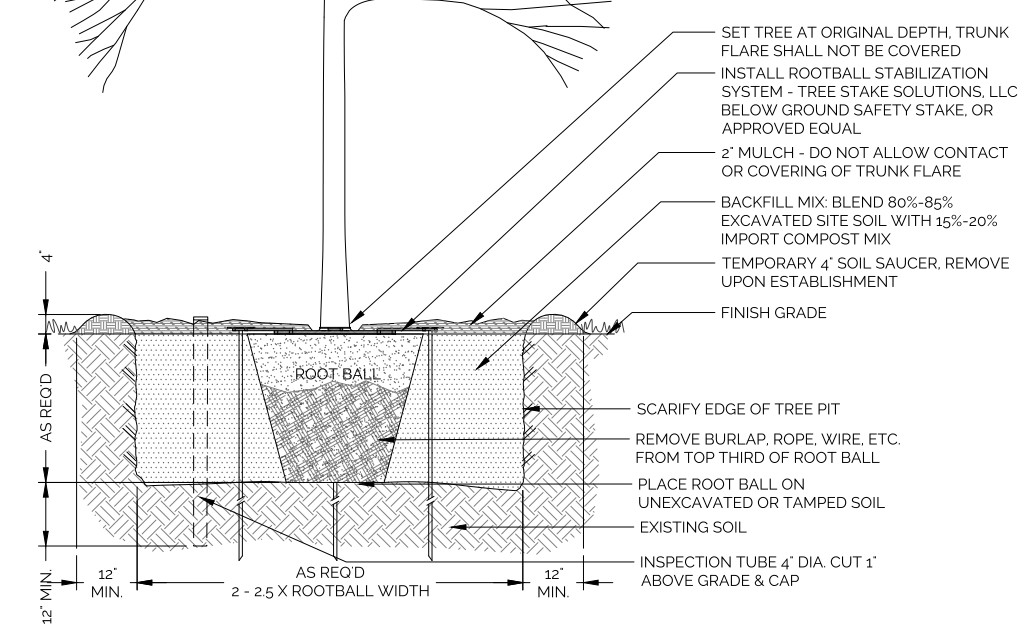
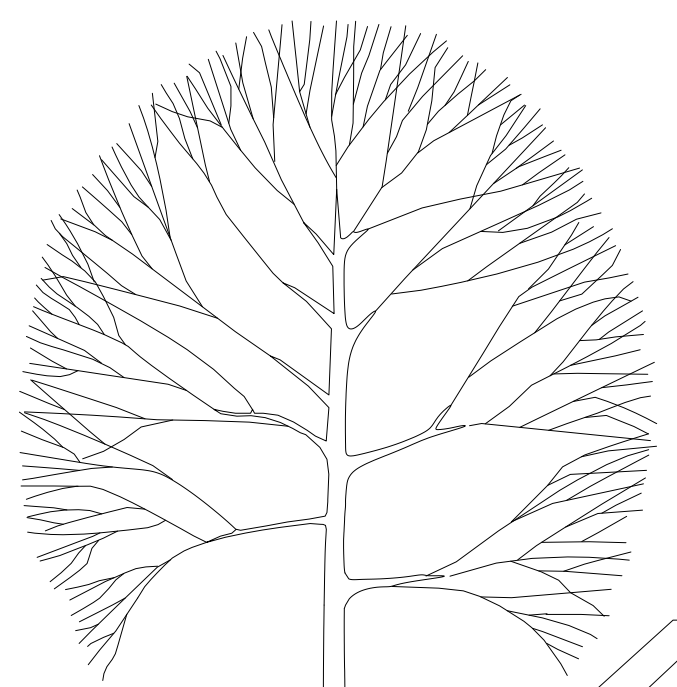
## 2 GROUND COVER PLANTING

1 1/2"-1'-0"



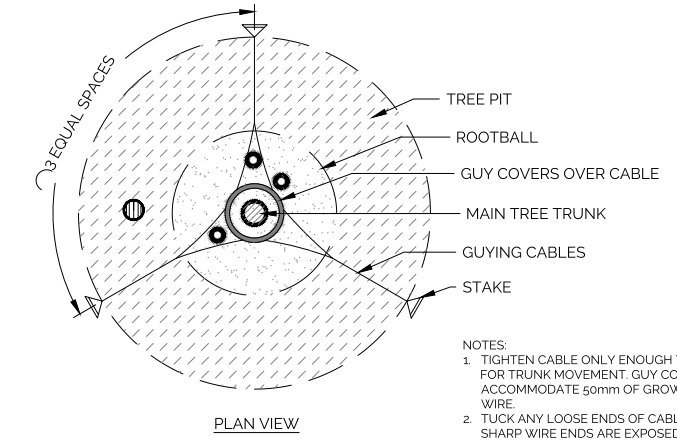
## 3 PLANT SPACING

1/4"-1'-0"

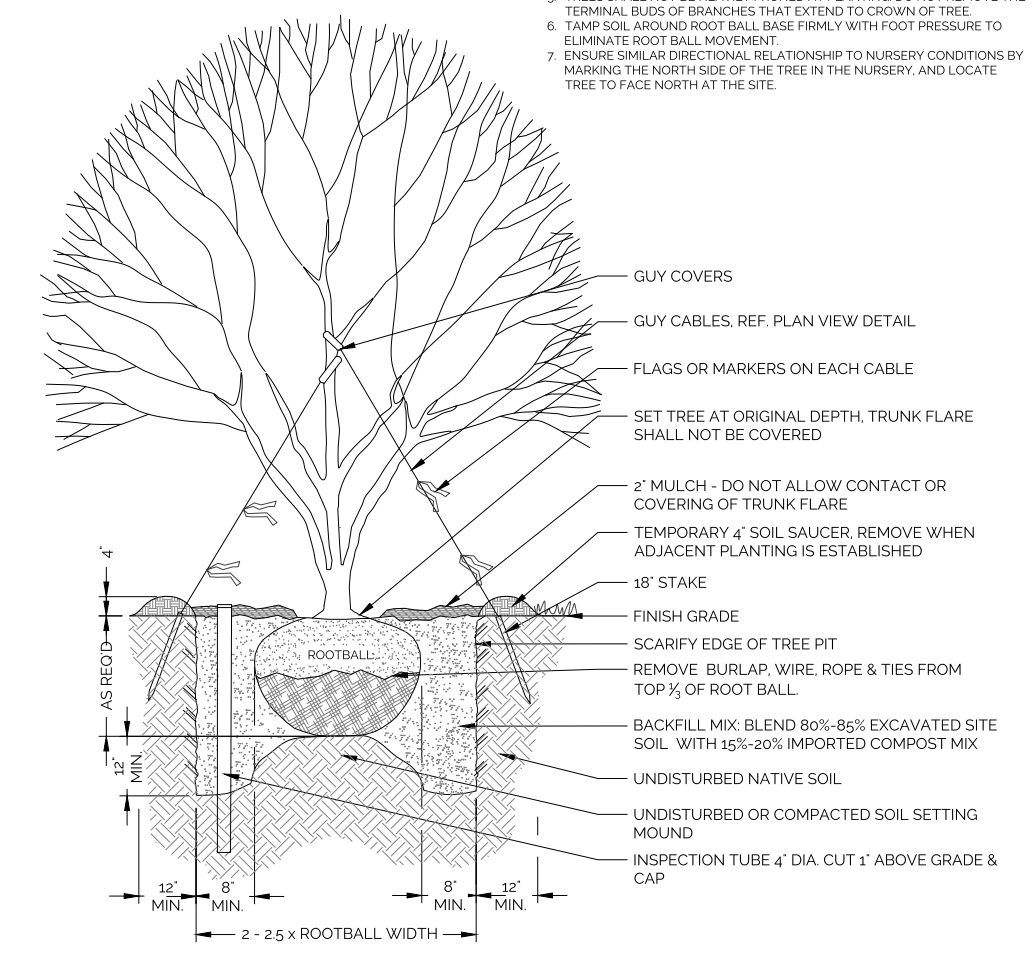


## 4 SHADE TREE PLANTING

1/2"-1'-0"

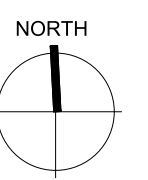


- NOTES
- TIGHTEN CABLE ONLY ENOUGH TO KEEP GUY FROM SLIPPING AND ALLOW FOR TRUNK MOVEMENT. GUY COVER SHALL BE LONG ENOUGH TO ACCOMMODATE 50mm OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
  - TUCK ANY LOOSE ENDS OF CABLE INTO THE GUY COVER SO THAT NO SHARP WIRE ENDS ARE EXPOSED.
  - REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN ROOTS SUFFICIENT TO OVERCOME THE TREE MOVEMENT AT THE ROOTS. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
  - THE TRUNK FLARE SHALL BE VISIBLE AT TOP OF THE ROOT BALL WITH NO SOIL OR MULCH IN CONTACT WITH THE TRUNK.
  - TREES SHALL NOT BE HEAVILY PRUNED AT PLANTING. DO NOT REMOVE THE TERMINAL BUDS OR BRANCHES THAT EXTEND TO CROWN OF TREE.
  - TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE TO ELIMINATE ROOT BALL MOVEMENT.
  - ENSURE SIMILAR DIRECTIONAL RELATIONSHIP TO NURSERY CONDITIONS BY MARKING THE NORTH SIDE OF THE TREE IN THE NURSERY AND LOCATE TREE TO FACE NORTH AT THE SITE.



## 5 MULTI-STEM TREE PLANTING

1/2"-1'-0"



### OWT ARCHITECTS

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844

www.owtarchitects.com

### ROCKWALL DFPS

1203 SIGMA CT,  
ROCKWALL, TX 75087

2020-007-00

SEPTEMBER 18, 2020

### LANDSCAPE DETAILS

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

# L5.00





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-025

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 1203 Sigma Ct, Rockwall, Texas, 75087

Subdivision Ellis Center Phase Two

Lot 3A-R Block C

General Location .2 miles north of TL Townsend Dr and I-30 Frontage Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial

Current Use Office Building

Proposed Zoning Light Industrial

Proposed Use Office Building

Acreage 1.915

Lots [Current] 2

Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner SVEA Industrial II, LLC

Applicant

Contact Person Harry J Kuper

Contact Person

Address 1614 Lavca Street

Address

City, State & Zip Austin, Texas 78701

City, State & Zip

Phone 830-431-0326

Phone

E-Mail j.kuper@SVEARE.COM

E-Mail

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Harry J Kuper [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$\_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Owner's Signature

Harry Kuper

Notary Public in and for the State of Texas

SEE ATTACHED ACKNOWLEDGEMENT

My Commission Expires

**ALL-PURPOSE ACKNOWLEDGMENT**

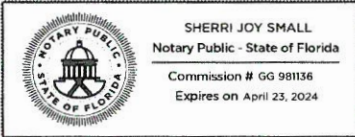
State/Commonwealth of FLORIDA )  
 )  
 City  County of Manatee )

On 09/16/2020 before me, Sherri Joy Small,  
*Date* *Notary Name*

personally appeared Harry J Kuper  
*Name(s) of Signer(s)*

- personally known to me -- OR --
- proved to me on the basis of the oath of \_\_\_\_\_ -- OR --  
*Name of Credible Witness*
- proved to me on the basis of satisfactory evidence: passport  
*Type of ID Presented*

to be the individual(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and by proper authority, and that by his/her/their signature(s) on the instrument, the individual(s), or the person(s) or entity upon behalf of which the individual(s) acted, executed the instrument for the purposes and consideration therein stated.



WITNESS my hand and official seal.  
Notary Public Signature: Sherrri Joy Small  
Notary Name: Sherri Joy Small  
Notary Commission Number: GG 981136  
Notary Commission Expires: 04/23/2024  
*Notarized online using audio-video communication*

**DESCRIPTION OF ATTACHED DOCUMENT**

Title or Type of Document: Application  
Document Date: 9/16/2020 Number of Pages (w/ certificate): 2  
Signer(s) Other Than Named Above: NA

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Harry Kuper

- Corporate Officer Title: \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian of Conservator
- Other: \_\_\_\_\_

Signer Is Representing: SELF


**Capacity(ies) Claimed by Signer(s)**

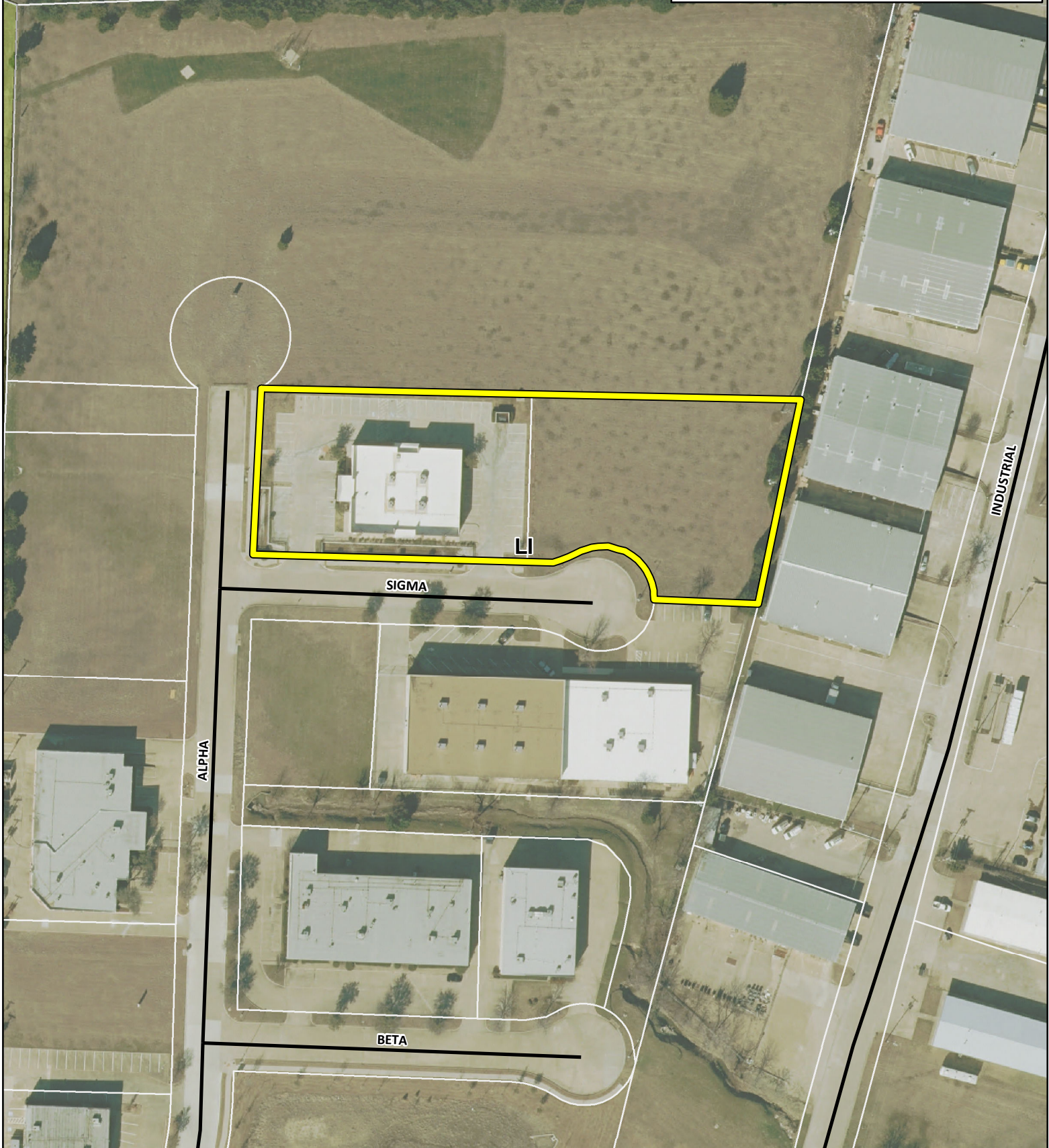
Signer's Name: \_\_\_\_\_

- Corporate Officer Title: \_\_\_\_\_
- Partner –  Limited  General
- Individual  Attorney in Fact
- Trustee  Guardian of Conservator
- Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_

0 37.5 75 150 225 300 Feet

SP2020-025- ELLIS CENTER PHASE TWO  
SITE PLAN - LOCATION MAP = 



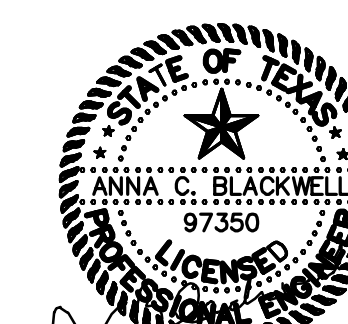
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



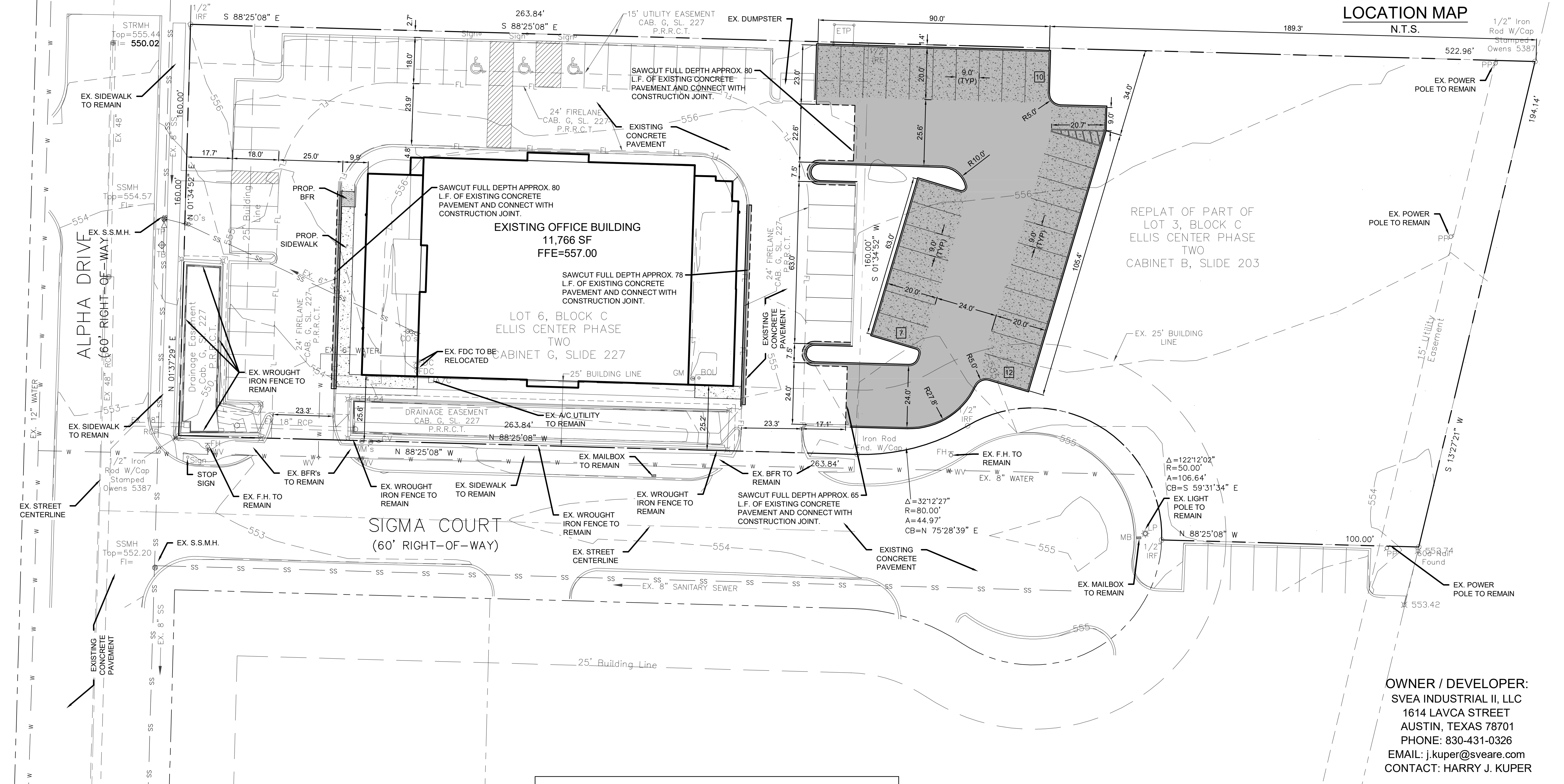
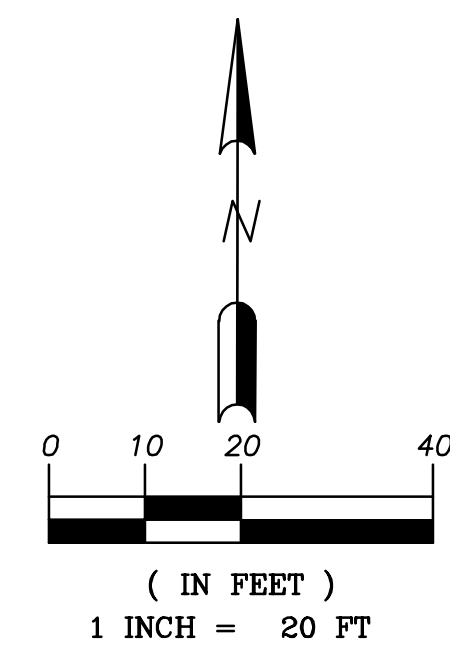
NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION



9-18-2020



LOCATION MAP  
N.T.S.



**LEGEND**

	EXISTING CURB
	PROPOSED CURB
	PARKING SPACES IN A ROW

**KEY NOTES**

1. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
2. APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
3. ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
4. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

**SITE DEVELOPMENT DATA**

EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
LAND USE:	OFFICE BUILDING
SITE ACREAGE:	1.905 ACRES (82,985 SQ FT)
TOTAL BUILDING AREA:	11,766 SQUARE FEET
FLOOR AREA RATIO:	11,766 / 82,985 : 13%
OPEN SPACE:	35,536 / 82,985 : 43%
TOTAL IMPERVIOUS AREA:	47,449 / 82,985 : 57%
PARKING REQUIRED (3 PER 1,000 SF GFA):	36 SPACES
EXISTING PARKING:	38 SPACES
PROPOSED PARKING:	29 SPACES
TOTAL PARKING SPACES:	67 SPACES
PARKING PROVIDED (ACCESSIBLE):	3 EXISTING SPACES
EXISTING BUILDING HEIGHT:	1 STORY (18' - 6" HEIGHT)

PREPARED BY:  
  
CARRILLO ENGINEERING, LLC  
TEXAS BOARD OF PROFESSIONAL ENGINEERS  
REGISTRATION NO. F-15893  
301 COMMERCE STREET, SUITE 1410  
FORT WORTH, TEXAS 76102  
PHONE NO.: 817-697-4996  
CONTACT: ANNA C. BLACKWELL, P.E.

**SITE PLAN SIGNATURE BLOCK**

APPROVED: \_\_\_\_\_  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, \_\_\_\_\_ day of \_\_\_\_\_

PLANNING & ZONING COMMISSION CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

OWNER / DEVELOPER:  
SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
PHONE: 830-431-0326  
EMAIL: j.kuper@sveare.com  
CONTACT: HARRY J. KUPER



Carrillo Engineering, LLC

301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102  
Phone 817-697-4996 - Firm Registration #F-15893

**OWT ARCHITECTS**

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**

ELLIS CENTRE #2 ADDITION  
BOCK C, LOT 3A-R  
1203 SIGMA CT,  
ROCKWALL, TX 75087

09/18/2020  
ISSUE DATE

**SITE PLAN**

**SP**

**EXTERIOR FINISHES**

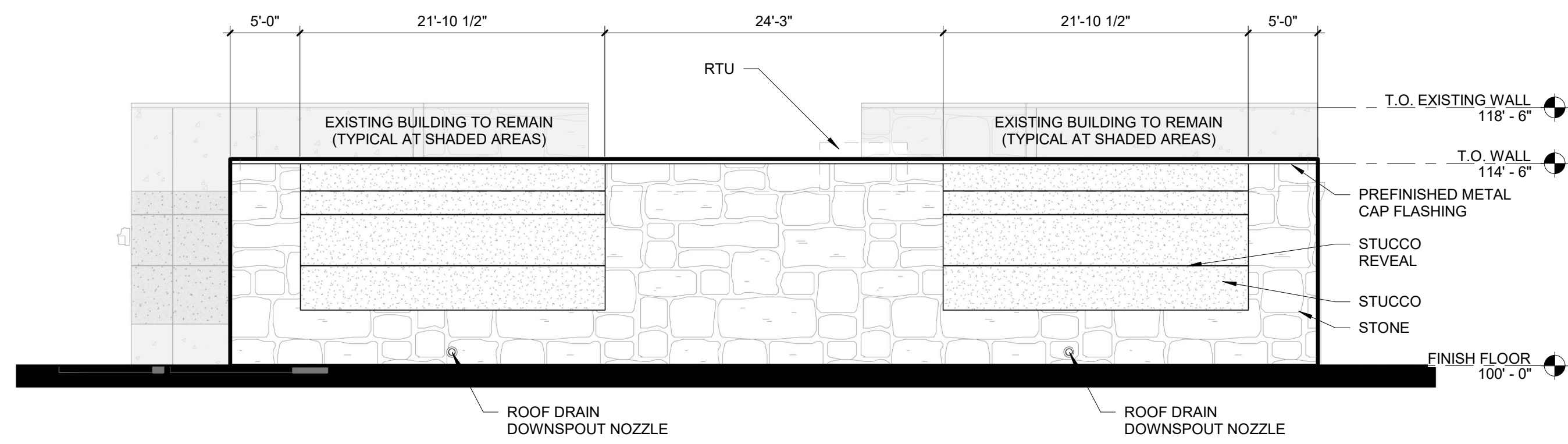
**BASIS OF DESIGN:**  
**STONE:** ELDORADO STONE - ROUGH CUT, COLOR = LOIRE VALLEY  
**STUCCO:** PAREX - MEDIUM TEXTURE, COLORS = PACIFIC SAND AND VIEJO  
**STOREFRONT:** ALUMINUM, COLOR = CLEAR ANODIZED  
**PARAPET COPING:** BERRIDGE - COLOR = BURGUNDY  
 \*THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

**MASONRY CALCULATIONS**

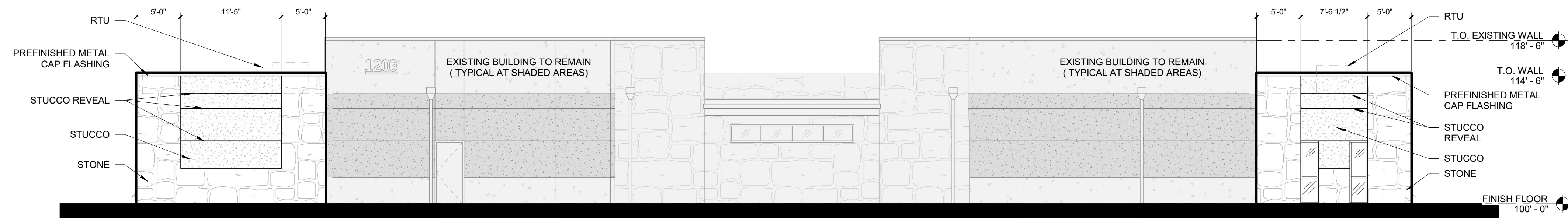
**NORTH: 480 SF**  
 STUCCO = 162 (33.7%)  
 STONE = 318 (66.3%)  
**SOUTH: 540 SF**  
 STUCCO = 189 (35%)  
 STONE = 351 (65%)  
**EAST: 885 SF**  
 STUCCO = 403 (45.5%)  
 STONE = 482 (54.5%)  
**WEST: 1,135 SF**  
 STUCCO = 462 (40.7%)  
 STONE = 673 (59.3%)  
**TOTAL: 3,040 SF**  
 STUCCO = 1,216 (40%)  
 STONE = 1,824 (60%)  
 \*TOTALS AND PERCENTAGES DO NOT INCLUDE GLAZING SQUAREFOOTAGES.

**GENERAL ELEVATION NOTES**

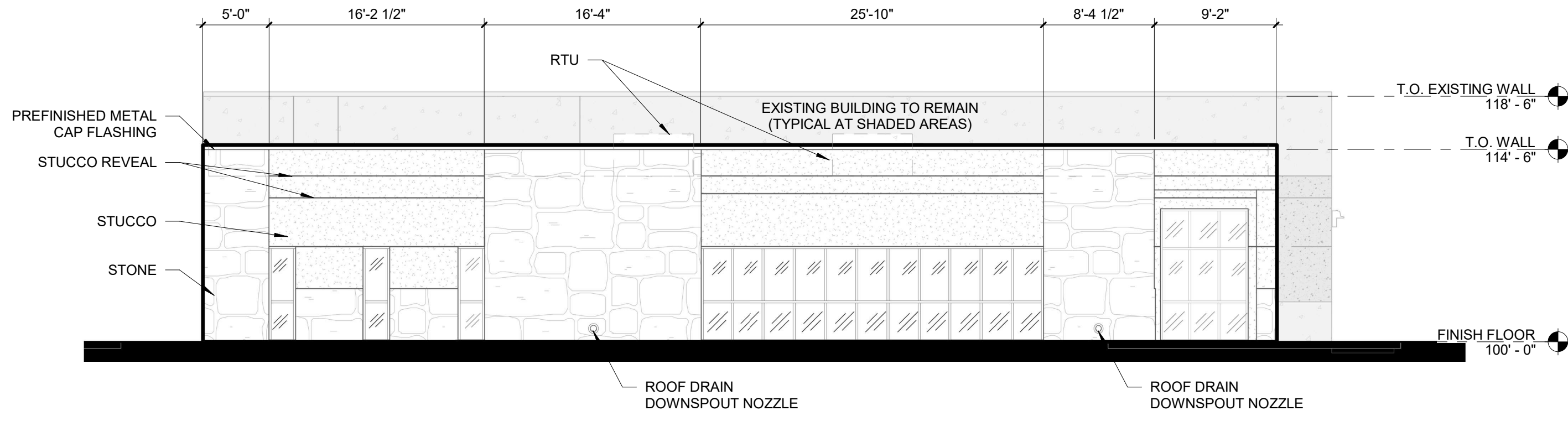
1. NEW HORIZONTAL STUCCO CONTROL JOINTS ARE TO MATCH THE HEIGHT OF EXISTING CONTROL JOINTS.



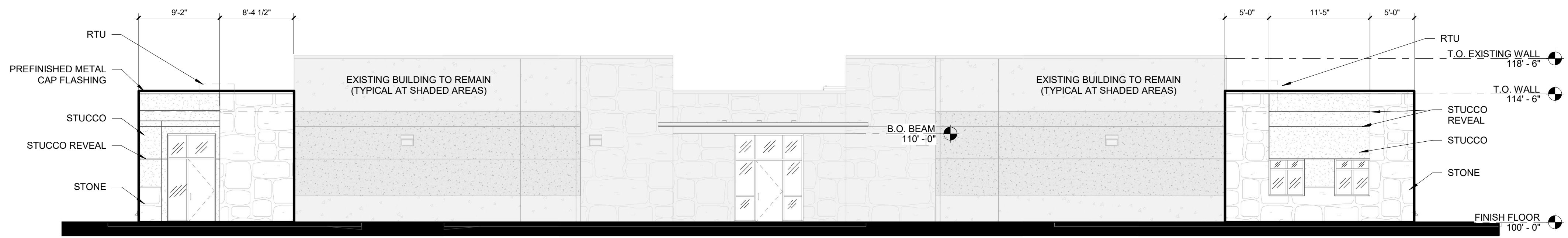
**WEST ELEVATION | 4**  
 SCALE: 1/8" = 1'-0" A3.00



**SOUTH ELEVATION | 3**  
 SCALE: 1/8" = 1'-0" A3.00



**EAST ELEVATION | 2**  
 SCALE: 1/8" = 1'-0" A3.00



**NORTH ELEVATION | 1**  
 SCALE: 1/8" = 1'-0" A3.00

SEPTEMBER 18, 2020  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date

**OWT ARCHITECTS**  
 509 PECAN STREET  
 SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9844  
 www.owtarchitects.com

**ROCKWALL DFPS**  
 1203 SIGMA CT,  
 ROCKWALL TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**EXTERIOR ELEVATIONS**

SVEA INDUSTRIAL II, LLC  
 1614 LAVCA STREET  
 AUSTIN, TEXAS 78701  
 803.431.0326  
 PROJECT CASE #:  
 SIGNATURE:

**A3.00**



1203

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS



SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS



SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

OWT ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

ROCKWALL DFPS  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #:

OWT ARCHITECTS



COPING: BERRIDGE - COLOR = BURGUNDY

STUCCO: PAREX - MEDIUM TEXTURE, COLOR = PACIFIC SAND

STUCCO: PAREX - MEDIUM TEXTURE, COLOR = VIEJO



STONE: ELDORADO STONE -  
ROUGH CUT, COLOR = LOIRE VALLEY

STOREFRONT: ALUMINUM,  
COLOR = CLEAR ANODIZED

**NOTES:**

- THIS SHEET TO BE REPLACED WITH PHYSICAL SAMPLE COLOR BOARD ONCE ITEMS ARRIVE.
- THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

**SVEA INDUSTRIAL II, LLC**  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326

**OWT ARCHITECTS**  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844

**ROCKWALL DFPS**  
1203 SIGMA COURT  
ROCKWALL, TEXAS 75087  
PROJECT CASE #: \_\_\_\_\_





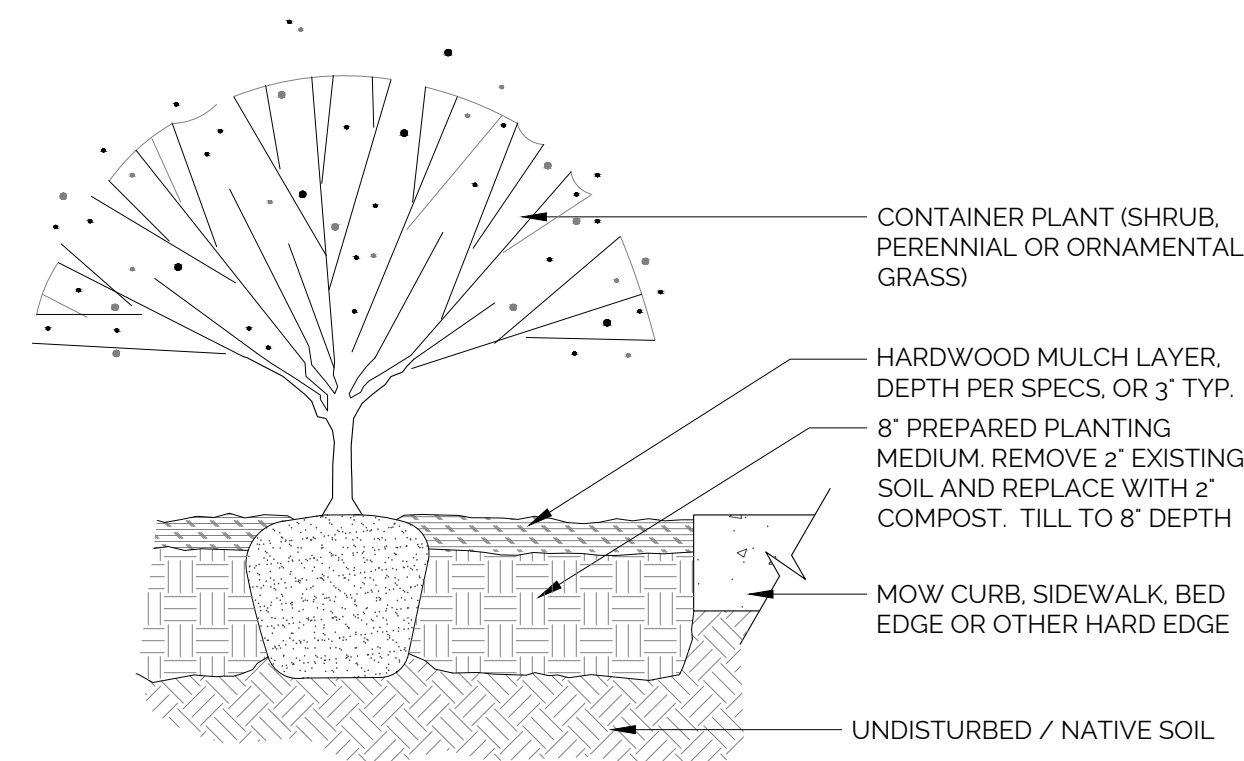


# Valley Quest DESIGN

LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

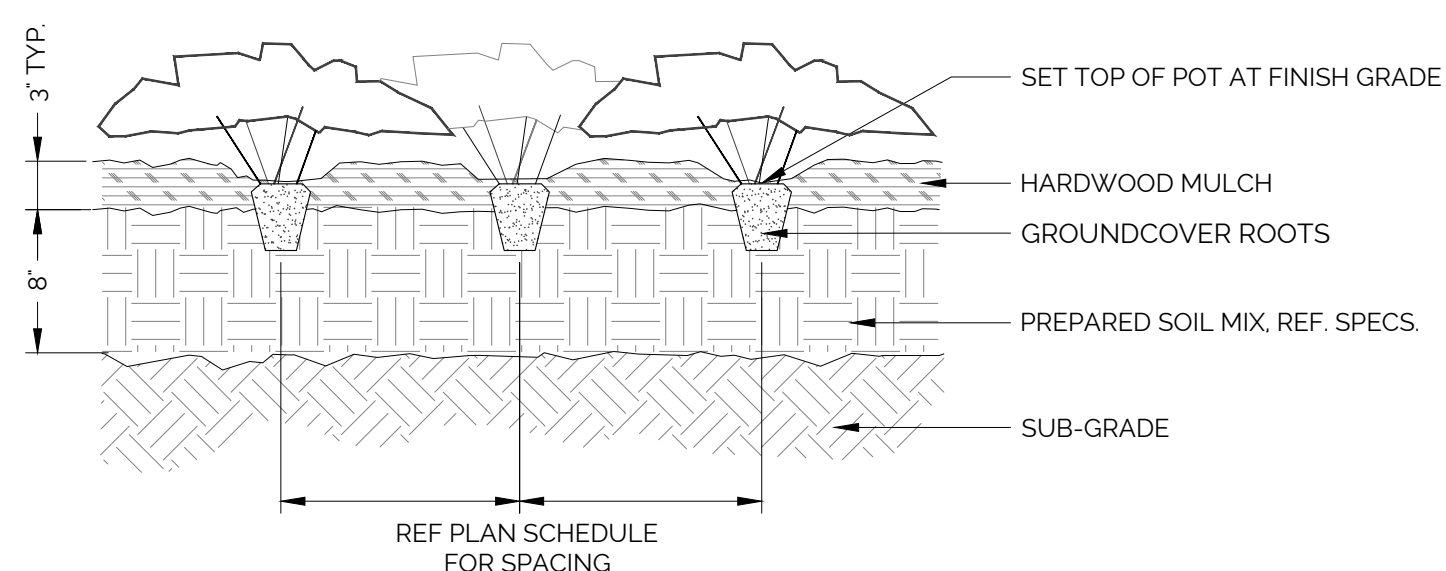
September 18, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY DALEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. DALEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF DALEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO DALEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



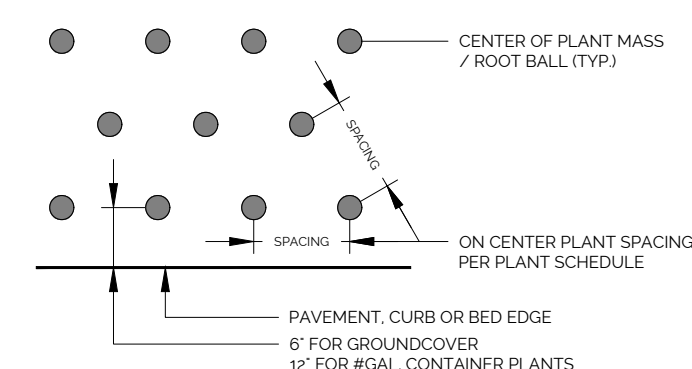
## 1 CONTAINER PLANTING

1'-1'-0"



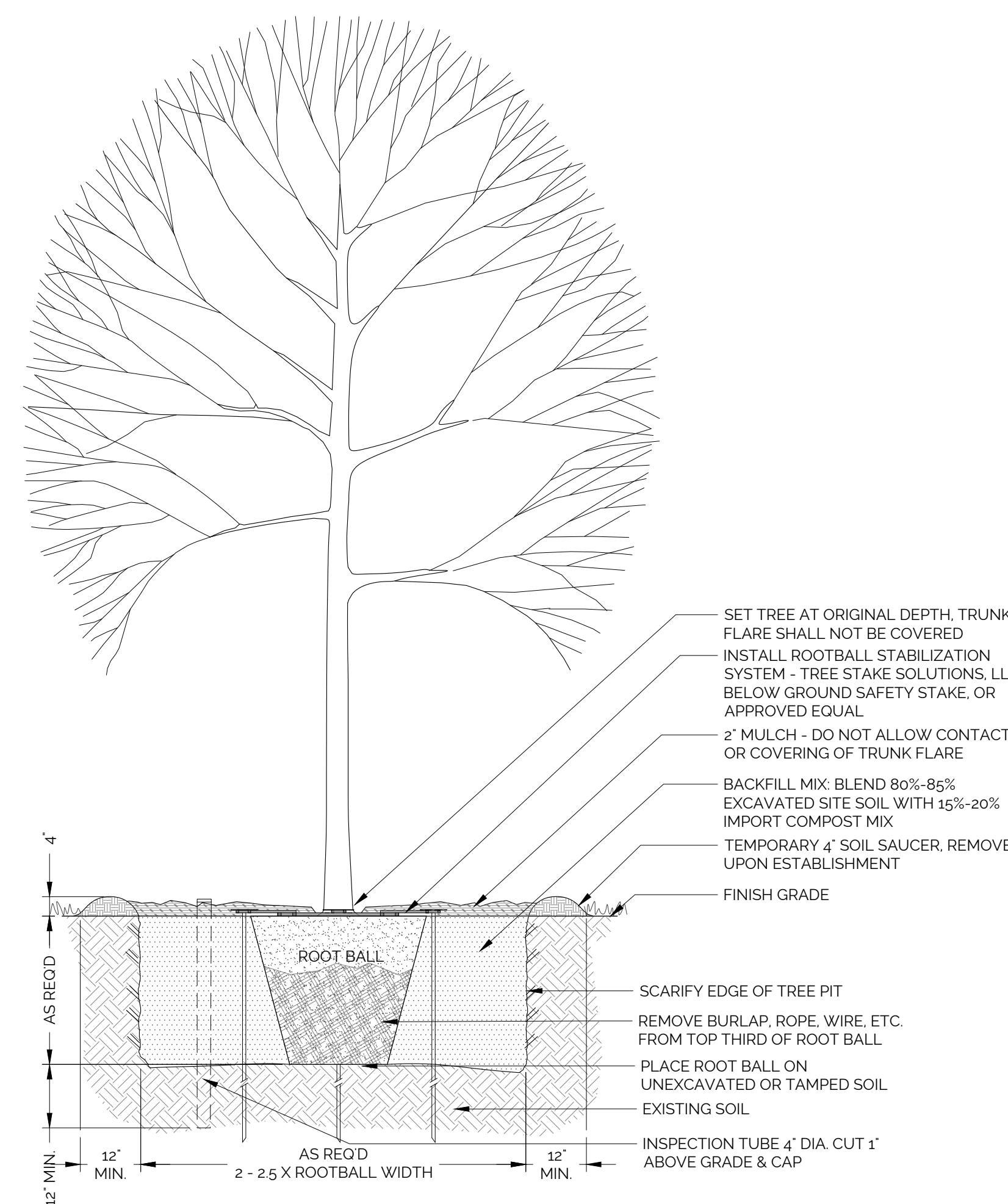
## 2 GROUNDCOVER PLANTING

1 1/2'-1'-0"



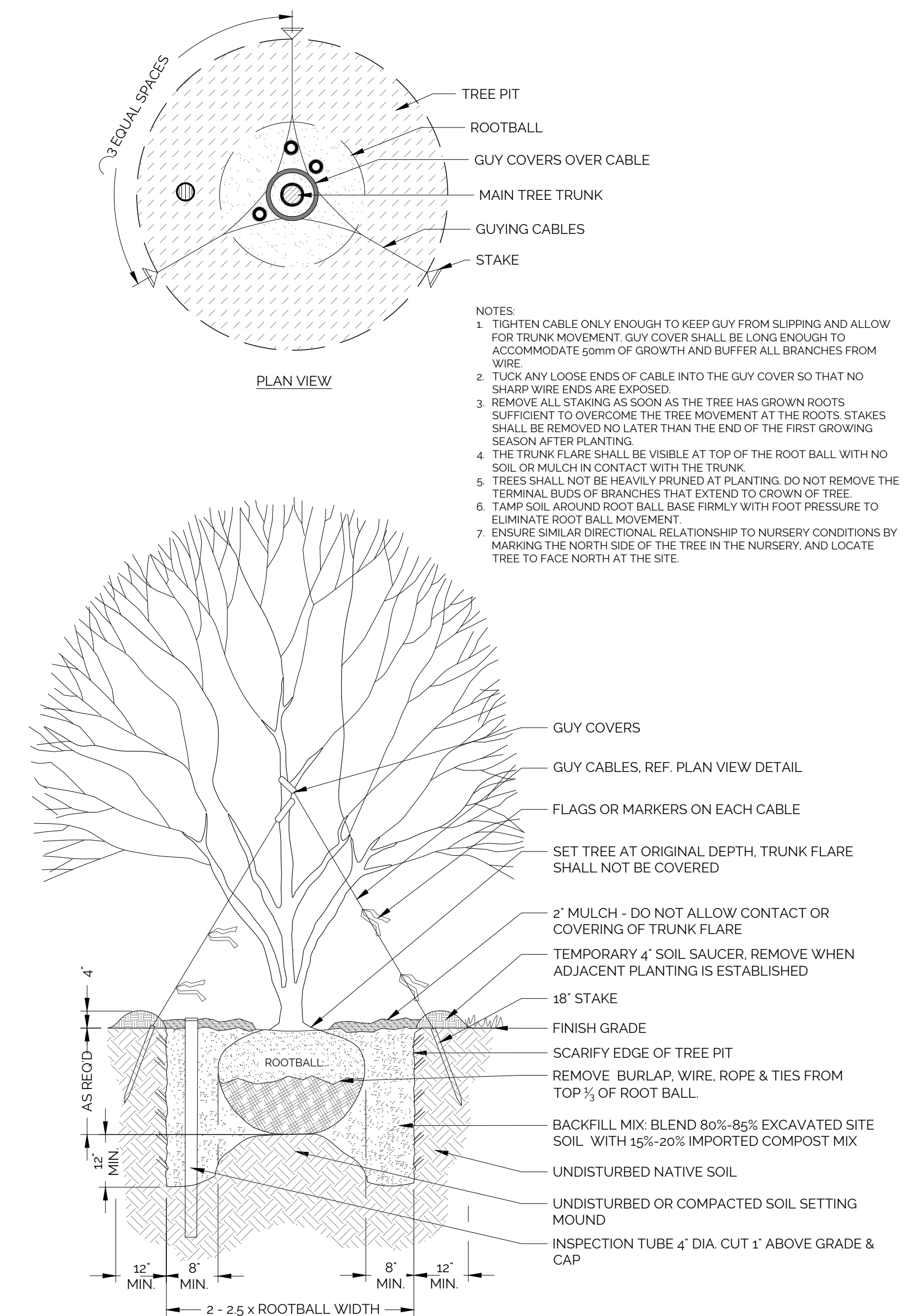
## 3 PLANT SPACING

1/4'-1'-0"



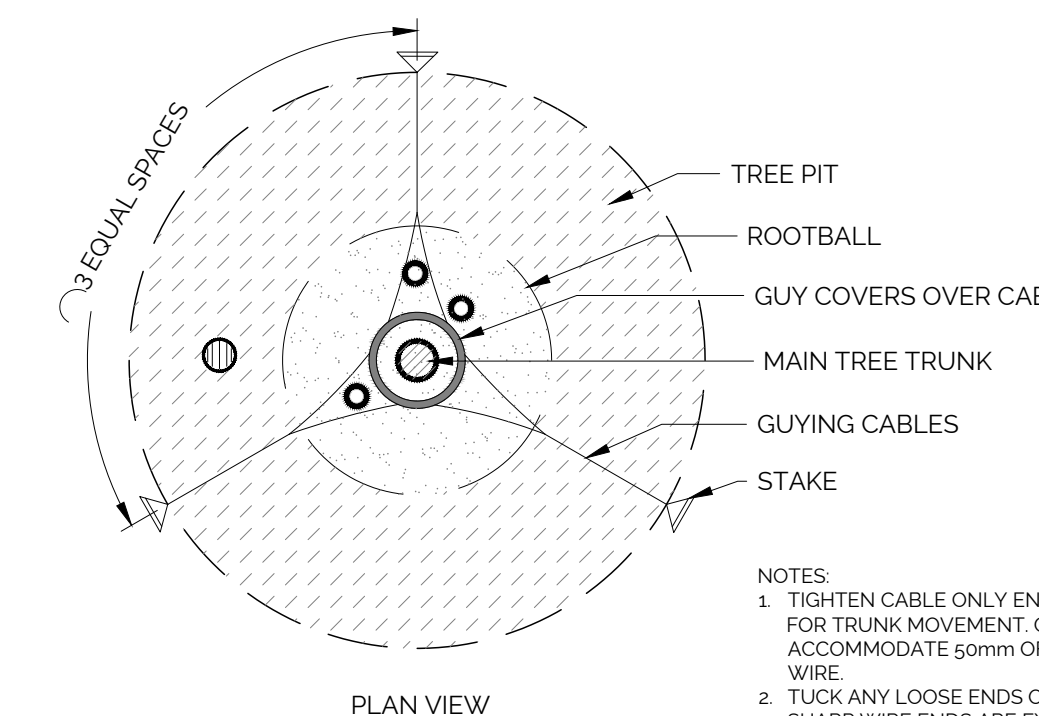
## 4 SHADE TREE PLANTING

1/2'-1'-0"



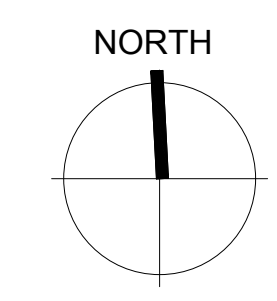
## 5 MULTI-STEM TREE PLANTING

1/2'-1'-0"



- NOTES:
- TIGHTEN CABLE ONLY ENOUGH TO KEEP GUY FROM SLIPPING AND ALLOW FOR TRUNK MOVEMENT. GUY COVER SHALL BE LONG ENOUGH TO ACCOMMODATE 50mm OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
  - TUCK ANY LOOSE ENDS OF CABLE INTO THE GUY COVER SO THAT NO SHARP WIRE ENDS ARE EXPOSED.
  - REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN ROOTS SUFFICIENT TO OVERCOME THE TREE MOVEMENT AT THE ROOTS. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
  - THE TRUNK FLARE SHALL BE VISIBLE AT TOP OF THE ROOT BALL WITH NO SOIL OR MULCH IN CONTACT WITH THE TRUNK.
  - TREES SHALL NOT BE HEAVILY PRUNED AT PLANTING. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO CROWN OF TREE.
  - TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE TO ELIMINATE ROOT BALL MOVEMENT.
  - ENSURE SIMILAR DIRECTIONAL RELATIONSHIP TO NURSERY CONDITIONS BY MARKING THE NORTH SIDE OF THE TREE IN THE NURSERY, AND LOCATE TREE TO FACE NORTH AT THE SITE.

Revision Schedule		
Rev. #	Revision Description	Revision Date



**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**  
1203 SIGMA CT,  
ROCKWALL, TX 75087  
2020-007-00  
SEPTEMBER 18, 2020

**LANDSCAPE  
DETAILS**  
**L5.00**

SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
803.431.0326  
PROJECT CASE #: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_



## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Tuesday, September 22, 2020 8:11 AM  
**To:** 'j.kuper@sveare.com'  
**Subject:** SP2020-025 Material Sample Board  
**Attachments:** Site Plan Checklist [Revised] (03.13.2020).pdf

Good Morning,

I am reaching out to inform you that for your site plan application, SP2020-025, submitted Friday September 18, 2020 is currently incomplete.

I still need a material sample board that outlines the color, physical samples, and developer information for all materials to be used for this project.

I left a voicemail for you outlining this. This information can also be found in our site plan checklist online under section 1.1.

We need this material sample board by Friday September 25, 2020, otherwise we will have to deny your application. If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Friday, September 25, 2020 11:37 AM  
**To:** 'Josh Heimbach'  
**Subject:** RE: SP2020-025 Staff Comments

Good Morning,

That would be an error on my behalf.  
I need revisions by October 6, 2020.  
Sorry for the confusion.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach  
**Sent:** Friday, September 25, 2020 11:23 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams ; Park Carter ; Shane Golden  
**Subject:** FW: SP2020-025 Staff Comments

Henry,

I just received this from our client (building owner) and have a question regarding I.10:

- The date stated for all items to be addressed is August 4, 2020 while the next line item (I.11) states that revisions are due on October 6, 2020. Could you clarify these two line items.

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Park Carter <[park.carter@sveare.com](mailto:park.carter@sveare.com)>  
**Sent:** Friday, September 25, 2020 11:00 AM  
**To:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>; Shane Golden [REDACTED]  
**Subject:** Fwd: SP2020-025 Staff Comments

FYI:

See below and attached. Thank you for all you are doing on this project!

Park Carter

**SVEA Real Estate Group, LLC**

Senior Vice President Development



----- Forwarded message -----

From: **Lee, Henry** <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

Date: Fri, Sep 25, 2020 at 10:49 AM

Subject: SP2020-025 Staff Comments

To: [j.kuper@sveare.com](mailto:j.kuper@sveare.com) <[j.kuper@sveare.com](mailto:j.kuper@sveare.com)>



Good Morning,

Please find attached staff's project comments for your request. The Planning Commission will be meet in person on Tuesday, September 29, 2020 in the City's Council Chambers. The meeting is scheduled for 6:00 p.m. The City prefers that a representative(s) be present for the meetings.

Please see dates for all meetings in the attached project comments.

Do not hesitate to contact me should you have any questions.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087



---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Josh Heimbach <jheimbach@owtarchitects.com>  
**Sent:** Friday, September 25, 2020 11:54 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams; Park Carter; Shane Golden  
**Subject:** RE: SP2020-025 Staff Comments

Lee,  
No problem, I just wanted to make sure we have everything to you by the correct date.

Have a great weekend!

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry  
**Sent:** Friday, September 25, 2020 11:37 AM  
**To:** Josh Heimbach  
**Subject:** RE: SP2020-025 Staff Comments

Good Morning,

That would be an error on my behalf.  
I need revisions by October 6, 2020.  
Sorry for the confusion.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Sent:** Friday, September 25, 2020 11:23 AM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

[REDACTED]  
Subject: FW: SP2020-025 Staff Comments

Henry,

I just received this from our client (building owner) and have a question regarding I.10:

- The date stated for all items to be addressed is August 4, 2020 while the next line item (I.11) states that revisions are due on October 6, 2020. Could you clarify these two line items.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

From: Park Carter [REDACTED]  
Sent: Friday, September 25, 2020 11:00 AM  
To: Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>; Shane Golden [REDACTED]  
Subject: Fwd: SP2020-025 Staff Comments

FYI:

See below and attached. Thank you for all you are doing on this project!

Park Carter  
**SVEA Real Estate Group, LLC**  
Senior Vice President Development

----- Forwarded message -----

From: Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
Date: Fri, Sep 25, 2020 at 10:49 AM  
Subject: SP2020-025 Staff Comments  
To: [j.kuper@sveare.com](mailto:j.kuper@sveare.com) <[j.kuper@sveare.com](mailto:j.kuper@sveare.com)>  
[REDACTED]

Good Morning,

Please find attached staff's project comments for your request. The Planning Commission will be meet in person on Tuesday, September 29, 2020 in the City's Council Chambers. The meeting is scheduled for 6:00 p.m. The City prefers that a representative(s) be present for the meetings.

Please see dates for all meetings in the attached project comments.

Do not hesitate to contact me should you have any questions.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Josh Heimbach <jheimbach@owtarchitects.com>  
**Sent:** Friday, September 25, 2020 11:23 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams; Park Carter; Shane Golden  
**Subject:** FW: SP2020-025 Staff Comments  
**Attachments:** Project Comments (09.24.2020).pdf

Henry,

I just received this from our client (building owner) and have a question regarding I.10:

- The date stated for all items to be addressed is August 4, 2020 while the next line item (I.11) states that revisions are due on October 6, 2020. Could you clarify these two line items.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Park Carter  
**Sent:** Friday, September 25, 2020 11:00 AM  
**To:** Josh Heimbach ; Shane Golden  
**Subject:** Fwd: SP2020-025 Staff Comments

FYI:

See below and attached. Thank you for all you are doing on this project!

Park Carter  
**SVEA Real Estate Group, LLC**  
Senior Vice President Development



----- Forwarded message -----

From: **Lee, Henry** <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
Date: Fri, Sep 25, 2020 at 10:49 AM  
Subject: SP2020-025 Staff Comments  
To: [j.kuper@sveare.com](mailto:j.kuper@sveare.com) <[j.kuper@sveare.com](mailto:j.kuper@sveare.com)>



Good Morning,

Please find attached staff's project comments for your request. The Planning Commission will be meet in person on Tuesday, September 29, 2020 in the City's Council Chambers. The meeting is scheduled for 6:00 p.m. The City prefers that a representative(s) be present for the meetings.

Please see dates for all meetings in the attached project comments.

Do not hesitate to contact me should you have any questions.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Friday, September 25, 2020 10:50 AM  
**To:** 'j.kuper@sveare.com'  
**Cc:** 'park.carter@sveare.com'  
**Subject:** SP2020-025 Staff Comments  
**Attachments:** Project Comments (09.24.2020).pdf

Good Morning,

Please find attached staff's project comments for your request. The Planning Commission will be meet in person on Tuesday, September 29, 2020 in the City's Council Chambers. The meeting is scheduled for 6:00 p.m. The City prefers that a representative(s) be present for the meetings.

Please see dates for all meetings in the attached project comments.

Do not hesitate to contact me should you have any questions.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Monday, October 5, 2020 11:52 AM  
**To:** 'Josh Heimbach'  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Morning,

Per our conversation here is a written record of what I described on the phone.

Unfortunately the state signed lease agreement will not suffice as state lighting requirements.

This document simply states that the state of Texas is approving what you are doing, but not that the state is requiring these lighting standards.

The City of Rockwall has lighting spillover standards, requiring no more than 0.2 foot-candles of light at the property line (subsection 03.03 C, Article 07, Unified Development Code).

Second, unless you can provide a specific policy/requirement that the state has regarding the parking lighting, a variance will be required for your request as you are not exempt from the requirement (subsection 03.06, Article 07, UDC). A variance will require two compensatory measures, which are outlined in our unified development code.

If you have any further questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach  
**Sent:** Monday, October 5, 2020 11:07 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams ; Park Carter ; Shane Golden ; Tom Clark  
**Subject:** Rockwall DFPS - Site Lighting

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)



---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

**Lee, Henry**

---

**From:** Josh Heimbach <jheimbach@owtarchitects.com>  
**Sent:** Monday, October 5, 2020 11:07 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams; Park Carter; Shane Golden; Tom Clark  
**Subject:** Rockwall DFPS - Site Lighting  
**Attachments:** 2020 10 05 Rockwall DFPS - Lease Agreement with Agency Specifications.pdf

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Tuesday, October 6, 2020 1:48 PM  
**To:** 'Josh Heimbach'; 'j.kuper@sveare.com'  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

This email serves as a final reminder that I need your corrections for your site plan, SP2020-025, today. If the corrections cannot be provided or staff comments cannot be met then I will need a letter from you for a variance request.

The letter should outline why you cannot meet our development requirements outlined in our unified development code and the compensatory measures.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach  
**Sent:** Monday, October 5, 2020 11:07 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams ; Park Carter ; Shane Golden ; Tom Clark  
**Subject:** Rockwall DFPS - Site Lighting

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Tuesday, October 6, 2020 1:48 PM  
**To:** 'Josh Heimbach'; 'j.kuper@sveare.com'  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

This email serves as a final reminder that I need your corrections for your site plan, SP2020-025, today. If the corrections cannot be provided or staff comments cannot be met then I will need a letter from you for a variance request.

The letter should outline why you cannot meet our development requirements outlined in our unified development code and the compensatory measures.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach  
**Sent:** Monday, October 5, 2020 11:07 AM  
**To:** Lee, Henry  
**Cc:** Richard Williams ; Park Carter ; Shane Golden ; Tom Clark  
**Subject:** Rockwall DFPS - Site Lighting

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Josh Heimbach <jheimbach@owtarchitects.com>  
**Sent:** Tuesday, October 6, 2020 2:03 PM  
**To:** Lee, Henry; 'j.kuper@sveare.com'  
**Cc:** 'Park Carter'; Shane Golden  
**Subject:** RE: Rockwall DFPS - Site Lighting

Henry,

Thank you for the reminder. I just sent this to our engineer in Mesquite about 10 minutes ago who will be printing and delivering to Rockwall City Hall. It should be there shortly before 3pm.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry  
**Sent:** Tuesday, October 6, 2020 1:48 PM  
**To:** Josh Heimbach ; 'j.kuper@sveare.com'  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

This email serves as a final reminder that I need your corrections for your site plan, SP2020-025, today.

If the corrections cannot be provided or staff comments cannot be met then I will need a letter from you for a variance request.

The letter should outline why you cannot meet our development requirements outlined in our unified development code and the compensatory measures.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

From: Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>

Sent: Monday, October 5, 2020 11:07 AM

To: Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

[REDACTED]

Subject: Rockwall DFPS - Site Lighting

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,

**JOSH HEIMBACH**

PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS

509 PECAN STREET, SUITE 100

FORT WORTH, TEXAS 76102

817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Tuesday, October 6, 2020 2:07 PM  
**To:** 'Josh Heimbach'  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

You may deliver paper copies of your corrections if that is your preferred method, however with Covid we are accepting .pdf copies of corrections.

This saves time, paper, and helps keep everyone safe.

Let me know if you have any questions.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach  
**Sent:** Tuesday, October 6, 2020 2:03 PM  
**To:** Lee, Henry ; 'j.kuper@sveare.com'  
**Cc:** 'Park Carter' ; Shane Golden  
**Subject:** RE: Rockwall DFPS - Site Lighting

Henry,

Thank you for the reminder. I just sent this to our engineer in Mesquite about 10 minutes ago who will be printing and delivering to Rockwall City Hall. It should be there shortly before 3pm.

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Tuesday, October 6, 2020 1:48 PM  
**To:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>; 'j.kuper@sveare.com' <[j.kuper@sveare.com](mailto:j.kuper@sveare.com)>  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

This email serves as a final reminder that I need your corrections for your site plan, SP2020-025, today. If the corrections cannot be provided or staff comments cannot be met then I will need a letter from you for a variance request.

The letter should outline why you cannot meet our development requirements outlined in our unified development code and the compensatory measures.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

From: Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>

Sent: Monday, October 5, 2020 11:07 AM

To: Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

Subject: Rockwall DFPS - Site Lighting

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Josh Heimbach <jheimbach@owtarchitects.com>  
**Sent:** Tuesday, October 6, 2020 2:14 PM  
**To:** Lee, Henry  
**Cc:** 'Park Carter'; Shane Golden  
**Subject:** RE: Rockwall DFPS - Site Lighting  
**Attachments:** 2020 10 06 Rockwall DFPS - Site Plan Development Resubmission.pdf

Henry,

Thanks! The hard copy will still be delivered today but please find attached the PDF version of what was just sent to be delivered.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry  
**Sent:** Tuesday, October 6, 2020 2:07 PM  
**To:** Josh Heimbach  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

You may deliver paper copies of your corrections if that is your preferred method, however with Covid we are accepting .pdf copies of corrections.

This saves time, paper, and helps keep everyone safe.

Let me know if you have any questions.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Sent:** Tuesday, October 6, 2020 2:03 PM

**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>; 'j.kuper@sveare.com' <[j.kuper@sveare.com](mailto:j.kuper@sveare.com)>  
**Cc:** 'Park Carter' <[park.carter@sveare.com](mailto:park.carter@sveare.com)>; Shane Golden <[shanegolden817@gmail.com](mailto:shanegolden817@gmail.com)>  
**Subject:** RE: Rockwall DFPS - Site Lighting

Henry,

Thank you for the reminder. I just sent this to our engineer in Mesquite about 10 minutes ago who will be printing and delivering to Rockwall City Hall. It should be there shortly before 3pm.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

## OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Tuesday, October 6, 2020 1:48 PM  
**To:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>; 'j.kuper@sveare.com' <[j.kuper@sveare.com](mailto:j.kuper@sveare.com)>  
**Subject:** RE: Rockwall DFPS - Site Lighting

Good Afternoon,

This email serves as a final reminder that I need your corrections for your site plan, SP2020-025, today. If the corrections cannot be provided or staff comments cannot be met then I will need a letter from you for a variance request.

The letter should outline why you cannot meet our development requirements outlined in our unified development code and the compensatory measures.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Sent:** Monday, October 5, 2020 11:07 AM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Cc:** Richard Williams <[rwilliams@owtarchitects.com](mailto:rwilliams@owtarchitects.com)>; Park Carter <[park.carter@sveare.com](mailto:park.carter@sveare.com)>; Shane Golden <[sgolden@fortconstruction.com](mailto:sgolden@fortconstruction.com)>; Tom Clark <[tomclark@verizon.net](mailto:tomclark@verizon.net)>  
**Subject:** Rockwall DFPS - Site Lighting

Henry,

Please find attached the lease agreement between SVEA and the State of Texas with construction requirements included. I will call to discuss.

Thank you,

**JOSH HEIMBACH**

PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Monday, October 26, 2020 4:43 PM  
**To:** 'Josh Heimbach'  
**Subject:** RE: SP2020-025 Engineering Comment

Good Afternoon,

No worries. Engineering indicated these have to be done separately as well.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach  
**Sent:** Monday, October 26, 2020 4:41 PM  
**To:** Lee, Henry  
**Subject:** RE: SP2020-025 Engineering Comment

Henry,

I apologize, I just reread my previous email and realized it was not very clear at all. What I meant to type was:

Can the engineering review and the building permit review occur simultaneously? I'm basically just trying to see when we will be able to submit for a building permit.

Thank you,

**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Monday, October 26, 2020 4:38 PM  
**To:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Subject:** RE: SP2020-025 Engineering Comment

Good Afternoon,

I spoke with engineering and they indicated they need site plans signed before they can accept the engineering plans.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Sent:** Monday, October 26, 2020 4:30 PM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Subject:** RE: SP2020-025 Engineering Comment

Henry,  
Thank you for the info. I will get the updated sheets to you as soon as possible. Can the engineering the permit review run simultaneously?

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Monday, October 26, 2020 4:03 PM  
**To:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Subject:** RE: SP2020-025 Engineering Comment

Good Afternoon,

You have addressed our comments and can be approved administratively.  
However to sign the plans we need the Director of Planning and Zoning signature block on each sheet of the plans. Also, because this is administrative the Planning and Zoning Commission Chairman signature line should be removed. If you can get these sheets to me with the signature block on each page then we will sign it and you can move forward with engineering.  
The signature block you would use would is on the site plan sheet you submitted; just remove the Planning and Zoning Chairman's signature line.  
Also, viewing our calendar the next engineering submittal date is October 28, 2020.  
If you have any questions feel free to contact me.

Thank you,





HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Sent:** Monday, October 26, 2020 3:32 PM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Subject:** RE: SP2020-025 Engineering Comment

Good Afternoon Henry,  
I just wanted to quickly reach out to see if there is anything else you need from us at this time in regards to Rockwall DFPS.

Also, are we currently able to submit our set for permit? If not, at what point will we be able to do so?

Thank you,  
**JOSH HEIMBACH**  
PROJECT ARCHITECT

OXLEY WILLIAMS THARP

OXLEY WILLIAMS THARP ARCHITECTS  
509 PECAN STREET, SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844 [www.owtarchitects.com](http://www.owtarchitects.com)

---

**From:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Sent:** Wednesday, October 7, 2020 2:42 PM  
**To:** Josh Heimbach <[jheimbach@owtarchitects.com](mailto:jheimbach@owtarchitects.com)>  
**Subject:** SP2020-025 Engineering Comment

Good Afternoon,

We are in final review of your site plan SP2020-025, which will be handled administratively.  
Engineering did have one more information comment:  
Please let them know that they will need to replat the property to include the cross access easement and the detention easement.

That will happen after the engineering review though.

If you have any questions about this comment contact Sarah Johnston in our engineering department.  
If you have any other questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

---

This email was scanned by Bitdefender

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Tuesday, November 3, 2020 9:13 AM  
**To:** 'j.kuper@sveare.com'  
**Subject:** SP2020-025 Approval Letter  
**Attachments:** Approval Letter (11.02.2020).pdf

Good Morning,

This email serves to inform you that your site plan, SP2020-025, was approved. Attached is the approval letter, which will also be mailed to you. If you have any questions feel free to contact me.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087



DATE: 11/02/2020

TO: Harry J. Kuper  
1614 Lavca Street  
Austin, TX 78701

FROM: Henry Lee  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75098

SUBJECT: SP2020-025; *Site Plan for Ellis Center Phase Two*

Harry J. Kuper:

This letter serves to notify you that the above referenced case, that you submitted for consideration by the City of Rockwall, was approved by the Planning Director on 10/30/2020. The following is a record of all conditions of approval:

Conditions of Approval

- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

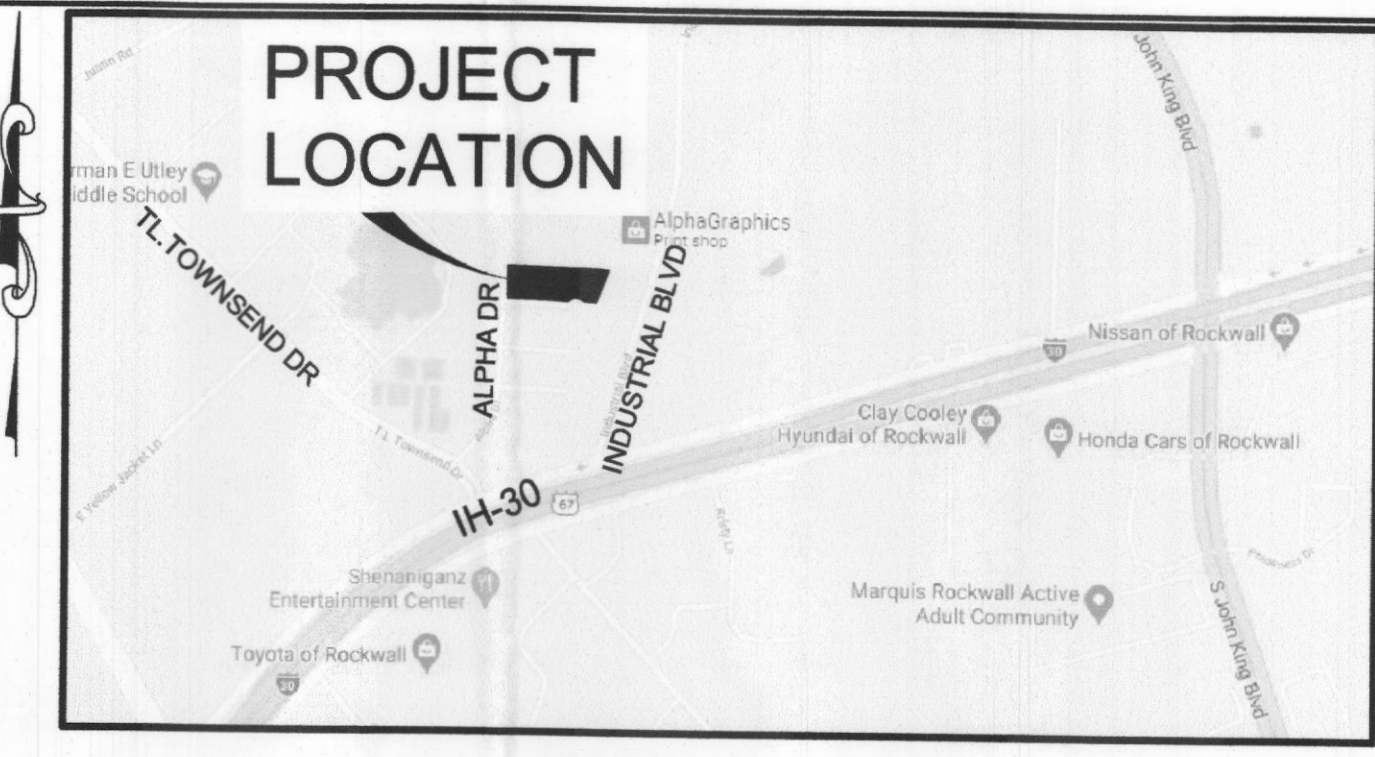
Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,

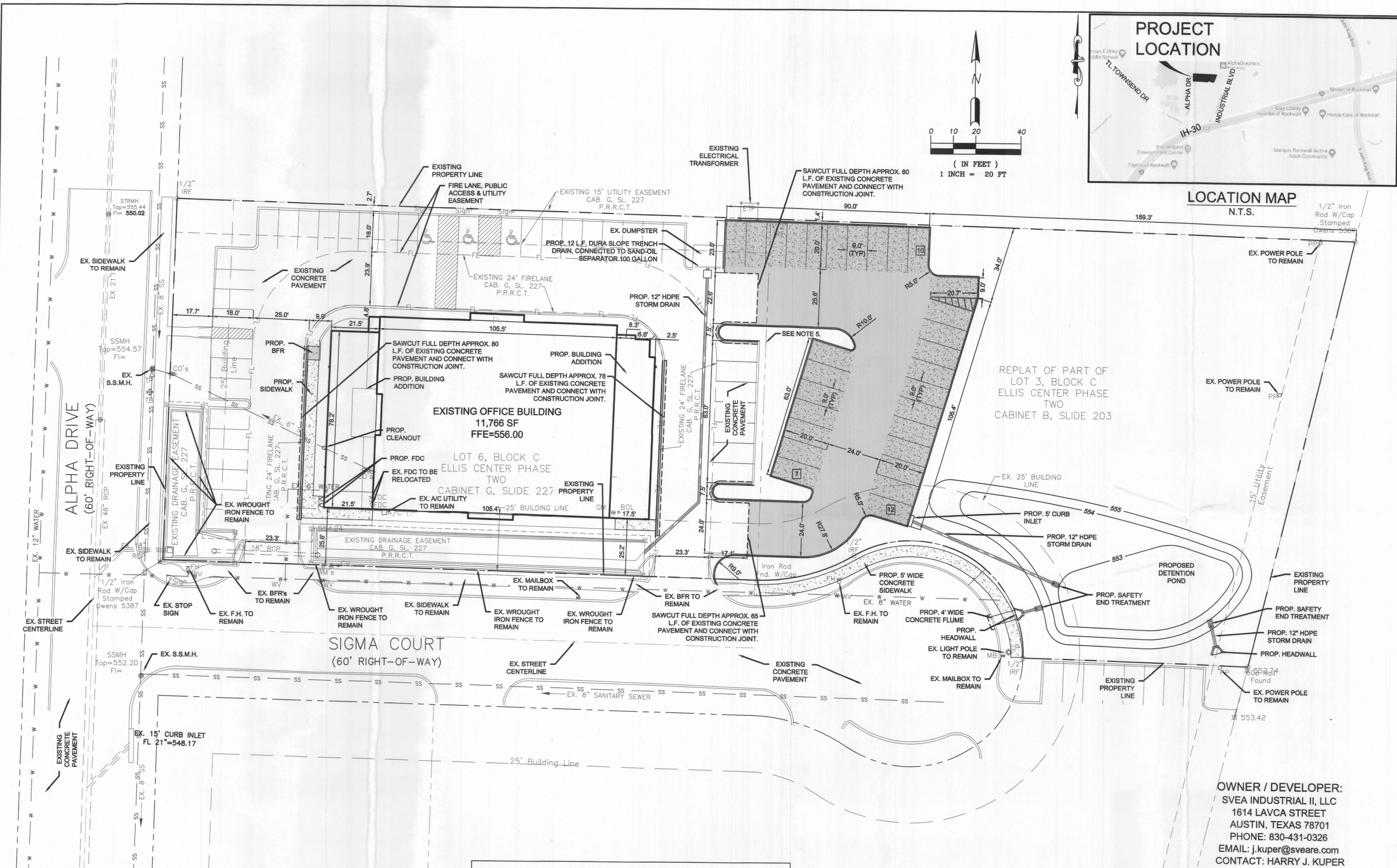
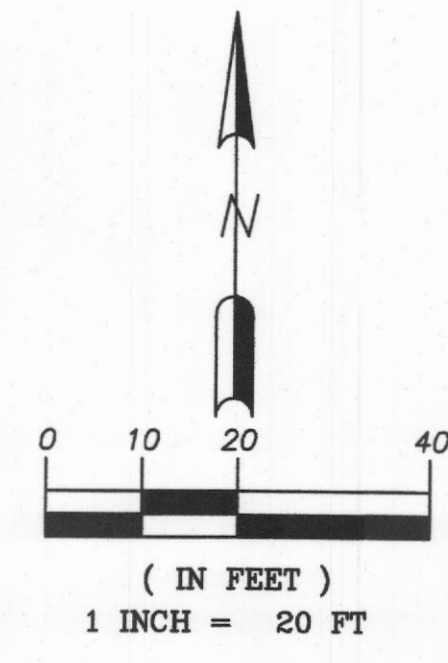
A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a white background.

Henry Lee  
Planner

NOT FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION



LOCATION MAP  
N.T.S.



**LEGEND**

	EXISTING CURB
	PROPOSED CURB
	PARKING SPACES IN A ROW
	PROPOSED 6\"/>
	PROPOSED 5\"/>
	PROPOSED SIDEWALK PAVEMENT

- KEY NOTES**
1. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 2% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  2. APPLICATION WILL CONFORM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
  3. ANY PROPOSED GROUND BASE EQUIPMENT SHALL BE SCREENED.
  4. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
  5. THE EXISTING PERPETUITY LINE THAT SEPARATES THE TWO LOTS WILL BE REPLACED.

**SITE DEVELOPMENT DATA**

EXISTING ZONING:	LI (LIGHT INDUSTRIAL)
LAND USE:	OFFICE BUILDING
TOTAL LOT AREA:	1.905 ACRES (82,985 SQ FT)
TOTAL BUILDING AREA:	11,766 SQUARE FEET
FLOOR AREA RATIO:	11,766 / 82,985 : 13%
OPEN SPACE:	35,536 / 82,985 : 43%
TOTAL IMPERVIOUS AREA:	47,449 / 82,985 : 57%
PARKING REQUIRED (1/300):	39 SPACES
EXISTING PARKING:	39 SPACES
PROPOSED PARKING:	29 SPACES
TOTAL PARKING SPACES:	68 SPACES
PARKING PROVIDED (ACCESSIBLE):	3 EXISTING SPACES
EXISTING BUILDING HEIGHT:	1 STORY (20' - 0\"/>

PREPARED BY:  
  
CARRILLO ENGINEERING, LLC  
TEXAS BOARD OF PROFESSIONAL ENGINEERS  
REGISTRATION NO. F-15893  
301 COMMERCE STREET, SUITE 1410  
FORT WORTH, TEXAS 76102  
PHONE NO.: 817-697-4996  
CONTACT: ANNA C. BLACKWELL, P.E.

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 29 day of October, 2020.

WITNESS OUR HANDS, 29 day of October, 2020  
  
DIRECTOR OF PLANNING & ZONING

OWNER / DEVELOPER:  
SVEA INDUSTRIAL II, LLC  
1614 LAVCA STREET  
AUSTIN, TEXAS 78701  
PHONE: 830-431-0326  
EMAIL: j.kuper@sveare.com  
CONTACT: HARRY J. KUPER

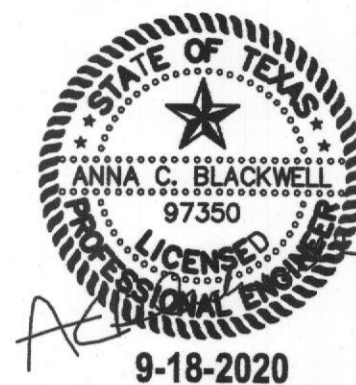
  
Carrillo Engineering, LLC  
301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102  
Phone 817-697-4996 - Firm Registration #F-15893

**OWT ARCHITECTS**  
509 PECAN STREET SUITE 100  
FORT WORTH, TEXAS 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**  
ELLIS CENTRE #2 ADDITION  
BLOCK C, LOT 3A-R  
1203 SIGMA CT,  
ROCKWALL, TX 75087  
09/18/2020  
ISSUE DATE

**SITE PLAN**  
**SP2020-025**

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION



Revision Schedule		
Rev. #	Revision Description	Revision Date



Carrillo Engineering, LLC  
301 Commerce Street, Ste 1410 - Fort Worth, Texas 76102  
Phone 817-697-4996 - Firm Registration #F-15893

OWT ARCHITECTS

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844

www.owtarchitects.com

ROCKWALL DFPS

ELLIS CENTRE #2 ADDITION  
BLOCK C, LOT 3A-R  
1203 SIGMA CT,  
ROCKWALL, TX 75087

09/18/2020  
ISSUE DATE

PROPOSED  
DRAINAGE AREA  
MAP

C3.01

**Proposed Drainage Area Calculations- (in accordance with City of Rockwall Design Drainage Manual)**

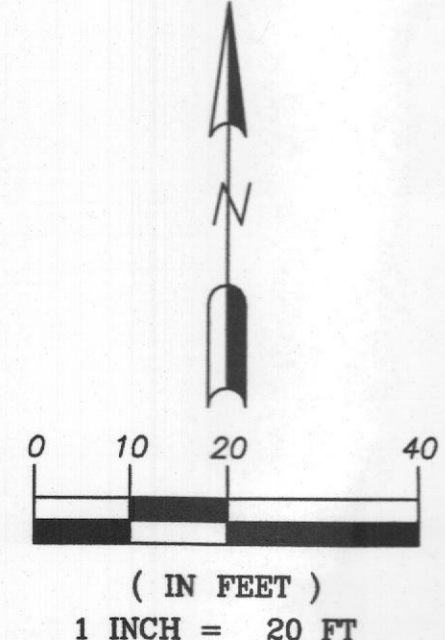
Drainage Area	Area (Ac)	Runoff Coefficient C	Minimum Inlet Time (min)	5-Year Intensity (in/hr)	5-Year Flow (cfs)	10-Year Intensity (in/hr)	10-Year Flow (cfs)	25-Year Intensity (in/hr)	25-Year Flow (cfs)	100-Year Intensity (in/hr)	100-Year Flow (cfs)	Description
A-1	0.53	0.90	10.00	6.10	2.91	7.10	3.39	8.30	3.96	9.80	4.67	Surface drains Existing Detention pond
A-2	0.42	0.90	10.00	6.10	2.31	7.10	2.68	8.30	3.14	9.80	3.70	Surface drains Existing Detention pond
A-3	0.95	0.90	10.00	6.10	5.22	7.10	6.07	8.30	7.10	9.80	8.38	Surface drains to Proposed Detention Pond
<b>Total</b>	<b>1.90</b>				<b>10.43</b>		<b>12.14</b>		<b>14.19</b>		<b>16.76</b>	

NOTE: ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 29 day of October, 2020.

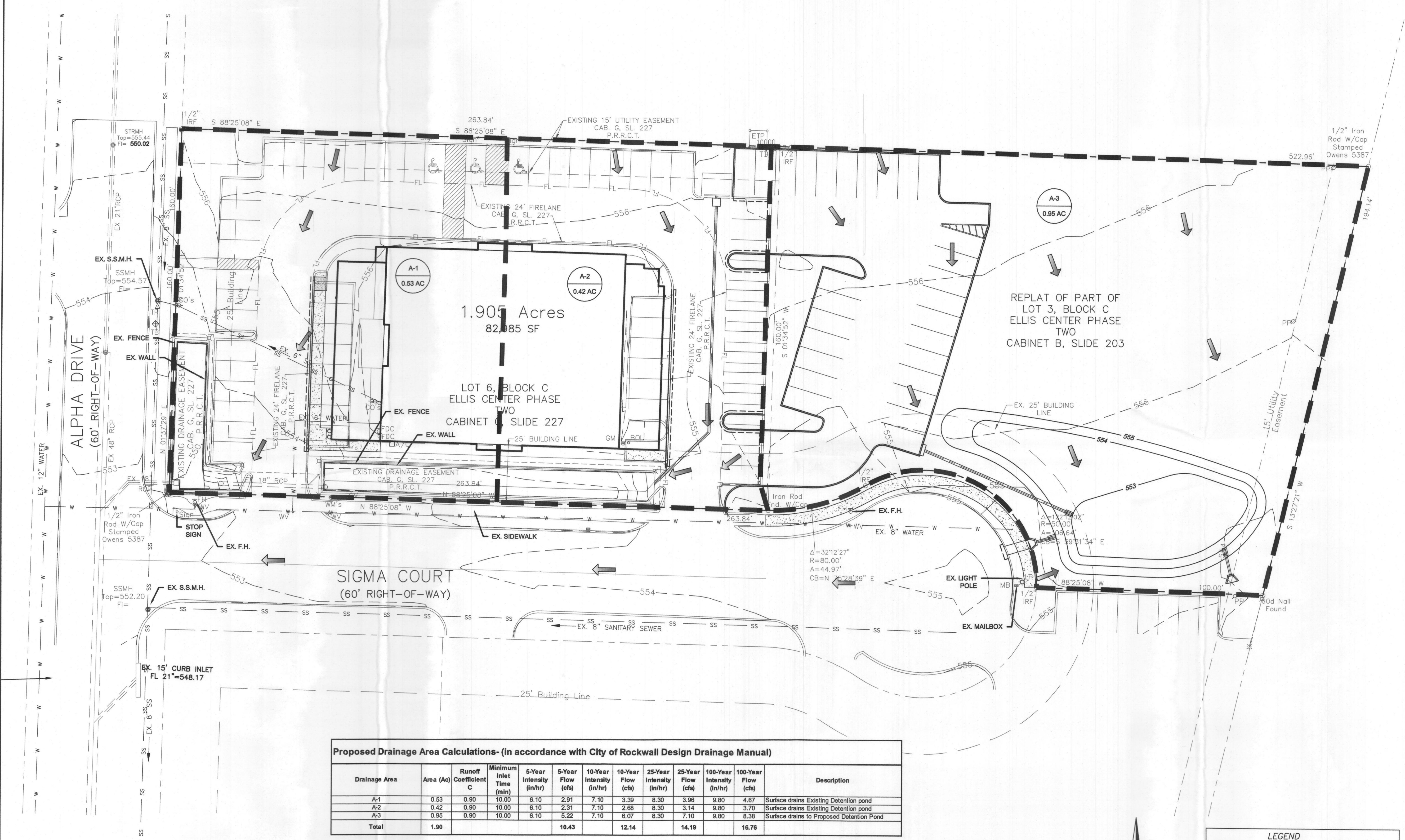
WITNESS OUR HANDS, 29 day of October, 2020.

*[Signature]*  
DIRECTOR OF PLANNING & ZONING



**LEGEND**

- A-X  
X XX Ac  
DRAINAGE AREA LABELS
- ←  
DIRECTION OF FLOW
- DRAINAGE AREA BOUNDARY
- 554-  
EXISTING CONTOURS
- 556-  
PROPOSED CONTOURS
- =====  
PROPOSED STORM DRAIN



PLANT MATERIAL SCHEDULE								
QUANTITY	COMMON NAME	BOTANICAL NAME	CAL.	HT.	SPREAD	CONT.	REMARKS	
<b>TREES</b>								
3	CEDAR ELM	ULMUS CRASSIFOLIA	4"	12'	4'	45 GAL.	FULL & MATCHED, STRAIGHT TRUNK	
4	LACEBARK ELM	ULMUS PARVIFOLIA	4"	13'	5'	88B	FULL & MATCHED, STRAIGHT TRUNK	
<b>ACCENT TREES</b>								
5	MEXICAN PLUM	PRUNUS MEXICANA	-	48" MIN.	48"	5 GAL.	SPACING AS INDICATED ON PLANS	
<b>SHRUBS &amp; LARGE PERENNIALS</b>								
9	DWARF WAX MYRTLE	MYRTICA CERIFERA	-	36" MIN.	36" MIN.	5 GAL.	36" O.C. TRIANGULAR SPACING, OR AS INDICATED ON PLANS	
<b>ORNAMENTAL GRASSES</b>								
175 SF	MEXICAN FEATHER GRASS	HASSELLA TENJASSIMA	-	12"	12"	4 POT	18" O.C. TRIANGULAR SPACING, OR AS INDICATED ON PLANS	
<b>SMALL PERENNIALS &amp; GROUND COVER</b>								
30 SF	BERKELEY SEDGE	CAREX OVALISA	-	6"	12"	4 POT	12" O.C. TRIANGULAR SPACING	
<b>TURF GRASS</b>								
5,193 SF	BERMUDA GRASS SEED	CYNODON DACTYLON						HYDRO-SEED APPLICATION

NOTE: DIMENSIONS OF SOD PLACEMENT ARE TYPICAL. CONTRACTOR TO PROVIDE SOD AT ALL DISTURBED AREAS EVEN IF NOT SPECIFICALLY DIMENSIONED ON PLANS.

TREE MITIGATION / REPLACEMENT TABLE			
	DBH REMOVED	MITIGATION BALANCE	MITIGATION DBH PROVIDED
PRIMARY PROTECTED TREES	17"	17"	28"

### PLANT SYMBOL LEGEND

**TREES**

- EXISTING PRIMARY PROTECTED TREE
- EXISTING SMALL ACCENT TREE
- INDICATES EXISTING TREE TO BE REMOVED
- EXISTING SHRUB

**ACCENT TREES**

- MEXICAN PLUM

**SHRUBS / LARGE PERENNIALS**

- DWARF WAX MYRTLE

**ORNAMENTAL GRASSES**

- MEXICAN FEATHER GRASS

**SMALL PERENNIALS / G.C. / VINES**

- BERKELEY SEDGE

**TURF**

- TIFTUF BERMUDA TURF (COMMON AREAS)

PROJECT LANDSCAPE DATA TABLE				
TYPE	REQUIREMENT	CITY LANDSCAPE REQUIREMENTS		
		AREA / MEASUREMENT	REQUIRED	PROVIDED
GENERAL	15% OF GROSS SITE AREA IN LIGHT INDUSTRIAL DISTRICTS SHALL BE LANDSCAPE	82,665 SF	12,400 SF	39,297 SF
	100% OF TOTAL REQ. LANDSCAPE AREA SHALL BE LOCATED IN FRONT OF AND ALONG SIDE OF BLDG. WITH STREET FRONTAGE	12,400 SF	12,400 SF	38,739 SF
	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN 6" WIDE AND A MIN. OF 25 SF UNLESS IT IS WITHIN 10 FEET OF A BLDG. ON SAME LOT.	-	YES	YES
	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND TREES.	-	YES	YES
	DETENTION BASINS: THERE SHALL BE A MINIMUM OF 1 CANOPY TREE PER 750 SF, AND 1 ACCENT TREE OF DETENTION AREA.	2,908 SF	4 CANOPY TREES 4 ACCENT TREES	5 EXISTING CANOPY TREES 9 TREES (7 EXISTING ACCENT TREES)
	PARKING LOT LANDSCAPING: WHEN PARKING AND MANEUVERING SPACE EXCEEDS 20,000 SF, 1 LARGE CANOPY TREE FOR EVERY 10 PARKING SPACES SHALL BE PLANTED INTERNAL TO THE PARKING AREAS.	28,577 SF 68 PARKING SPACES	7 CANOPY TREES	7 TREES (1 EXISTING)
	PARKING LOT LANDSCAPING: NO REQUIRED PARKING SPACES MAY BE LOCATED MORE THAN 80 FEET FROM THE TRUNK OF A CANOPY TREE.	-	YES	YES
	ALL LANDSCAPE BUFFERS AND PUBLIC R.O.W. LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH SOD GRASS.	-	YES	YES
	MINIMUM 10' WIDE LANDSCAPE BUFFER ADJACENT TO RIGHT-OF-WAY ALONG ENTIRE LENGTH OF ABUTTING FRONTAGE SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM, AND SHRUBBERY TOTALING A MINIMUM HEIGHT OF 30".	-	YES	YES
	R.O.W. LANDSCAPE BUFFER SHALL CONTAIN 1 CANOPY TREE PER 50 LF.	R.O.W. SIGMA COURT: 330 LF R.O.W. ALPHA DRIVE: 160 LF	R.O.W. SIGMA COURT: 7 TREES R.O.W. ALPHA DRIVE: 4 TREES	R.O.W. SIGMA COURT: 7 TREES (6 EXISTING) R.O.W. ALPHA DRIVE: 4 EXISTING TREES
R.O.W. LANDSCAPE BUFFER SHALL CONTAIN 1 ACCENT TREE PER 50 LF.	R.O.W. SIGMA COURT: 330 LF R.O.W. ALPHA DRIVE: 160 LF	R.O.W. SIGMA COURT: 7 TREES R.O.W. ALPHA DRIVE: 4 TREES	R.O.W. SIGMA COURT: 7 TREES (4 EXISTING) R.O.W. ALPHA DRIVE: 4 TREES (2 EXISTING)	



**Valley Quest**  
DESIGN  
LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

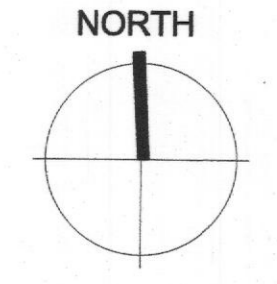
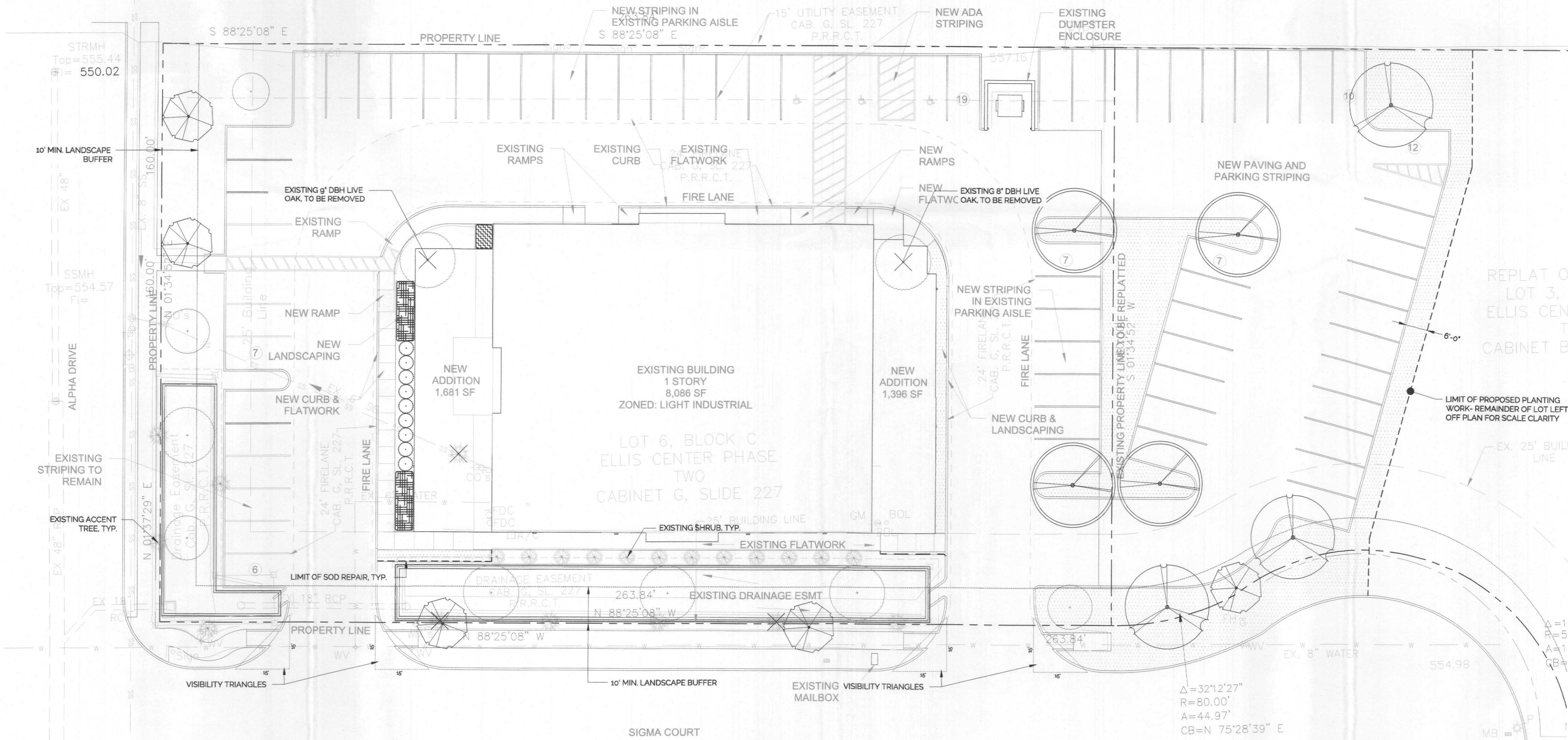
**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**

Jeremy Blad  
October 6, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

#### Revision Schedule

Rev. #	Revision Description	Revision Date



**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

**ROCKWALL DFPS**  
1203 SIGMA CT,  
ROCKWALL, TX 75087  
2020-007-00  
OCTOBER 6, 2020

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 29 day of October, 2020.  
WITNESS OUR HANDS, 29 day of October, 2020.  
  
DIRECTOR OF PLANNING & ZONING

LANDSCAPE PLAN | 1  
SCALE: 1/16" = 1'-0" | L1.00

**L1.00**



# Valley Quest DESIGN

LANDSCAPE ARCHITECTS  
212 S. Elm St. Ste. 120  
Denton, Texas 76201  
ph: 214.783.1715

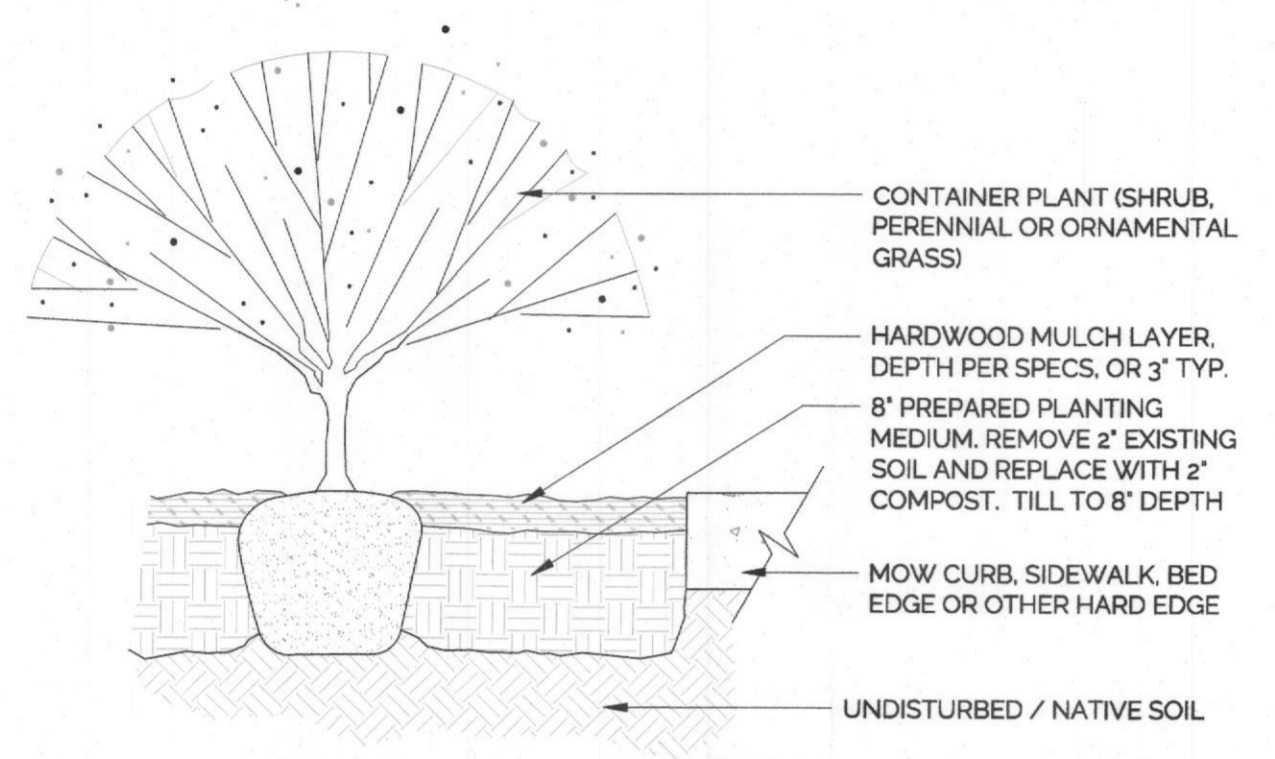
NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION

Jeremy Blad  
October 6, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THE PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVATION RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THE PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

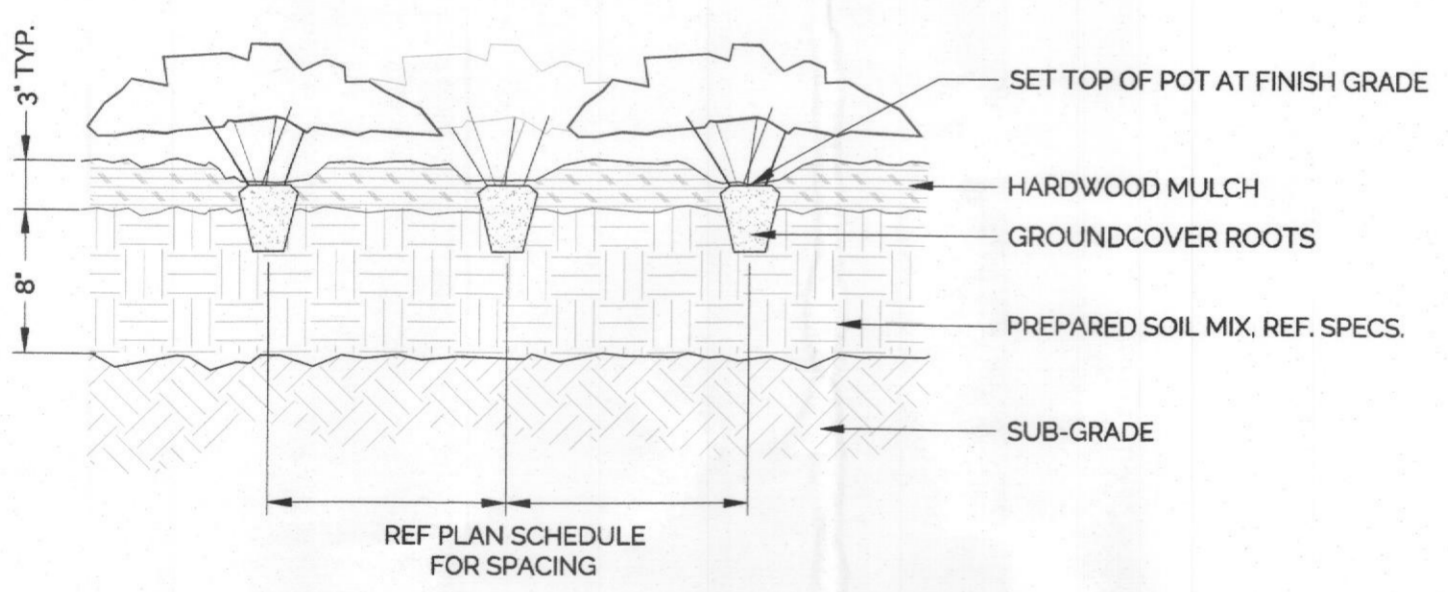
### Revision Schedule

Rev. #	Revision Description	Revision Date



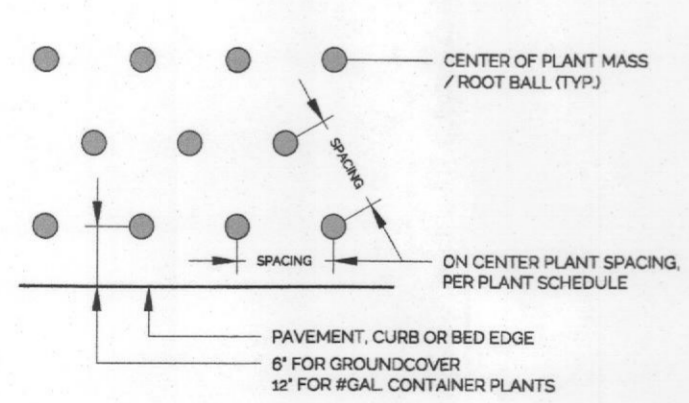
### 1 CONTAINER PLANTING

1'-1'-0"



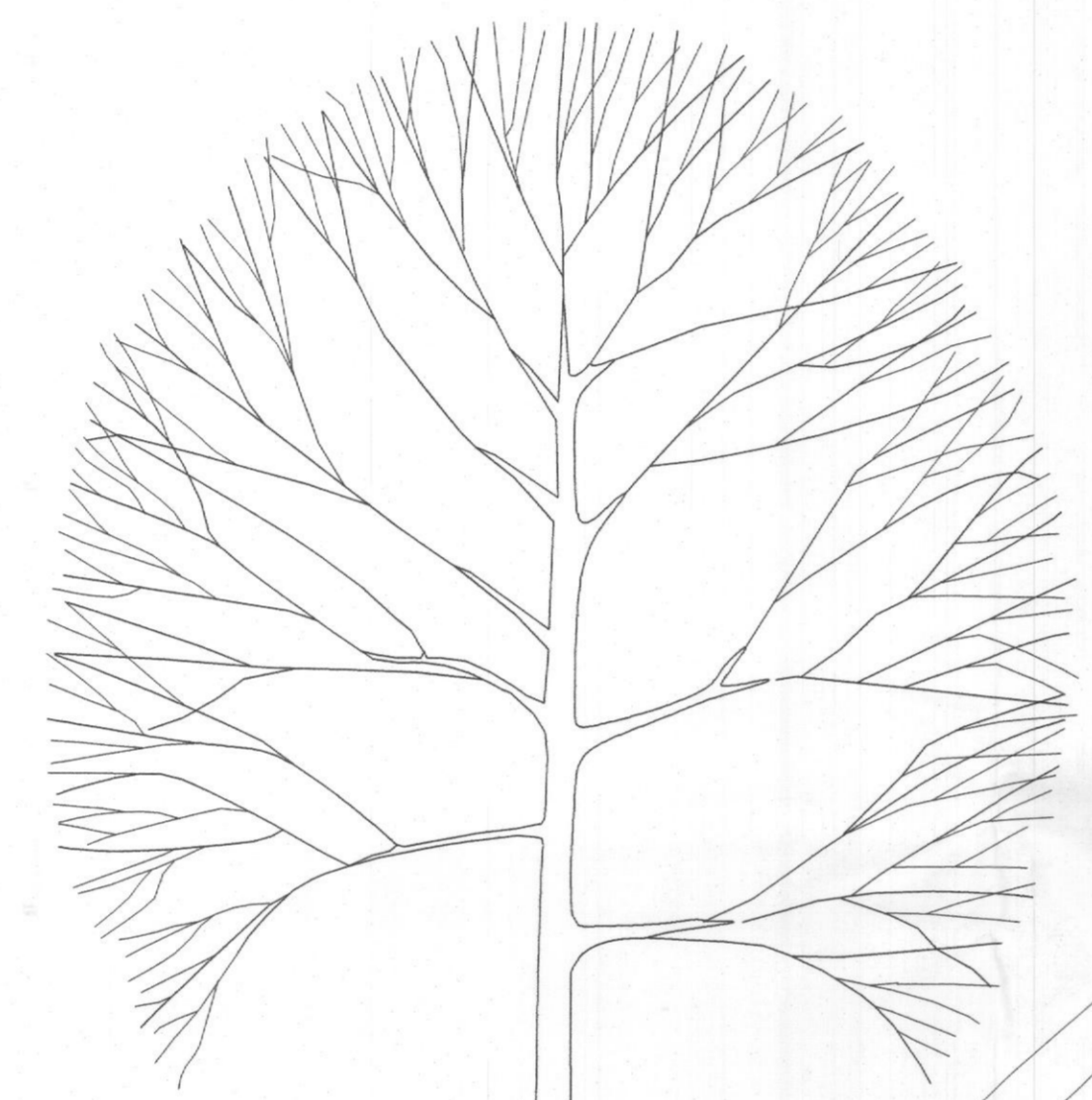
### 2 GROUND COVER PLANTING

1 1/2'-1'-0"



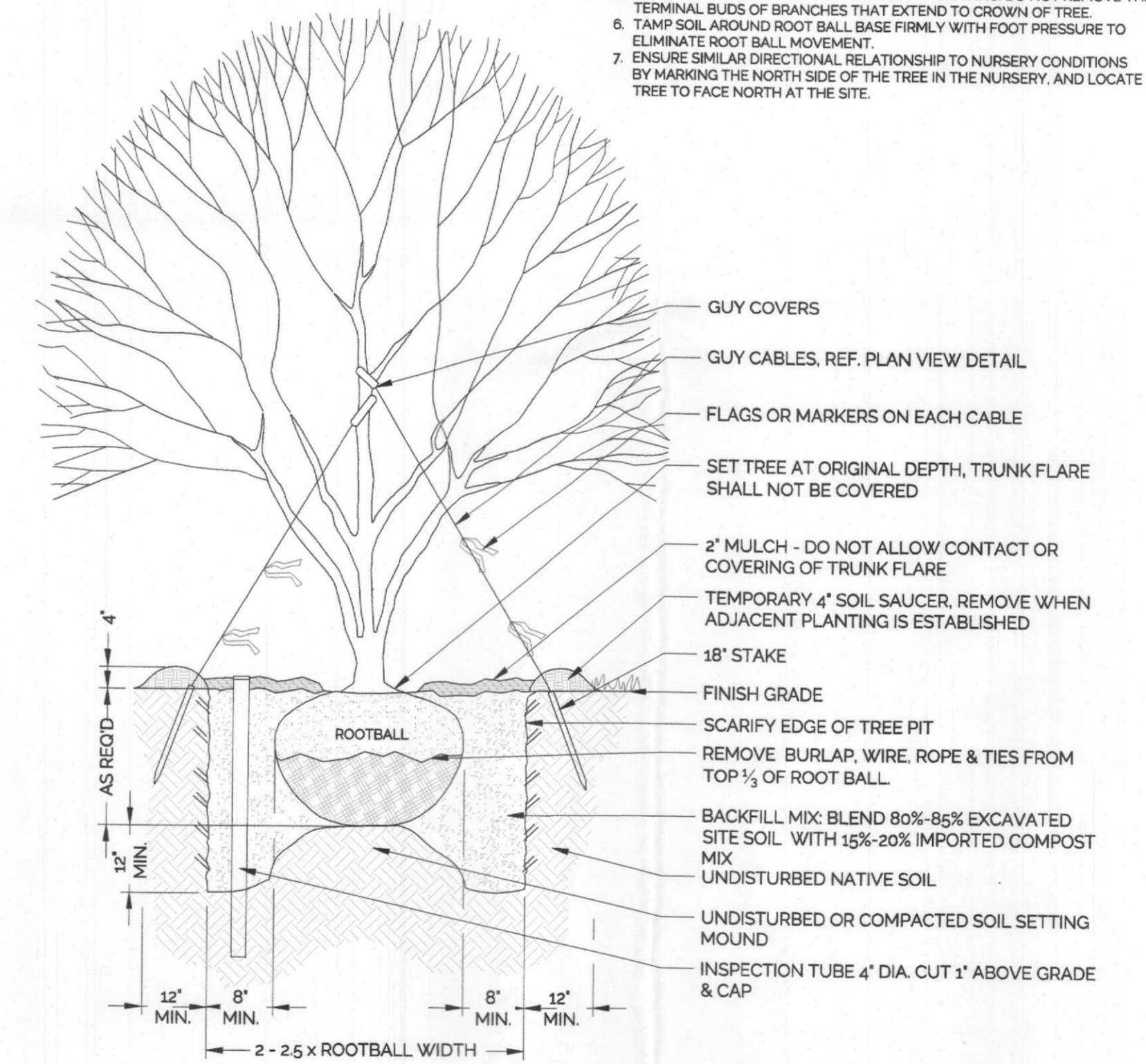
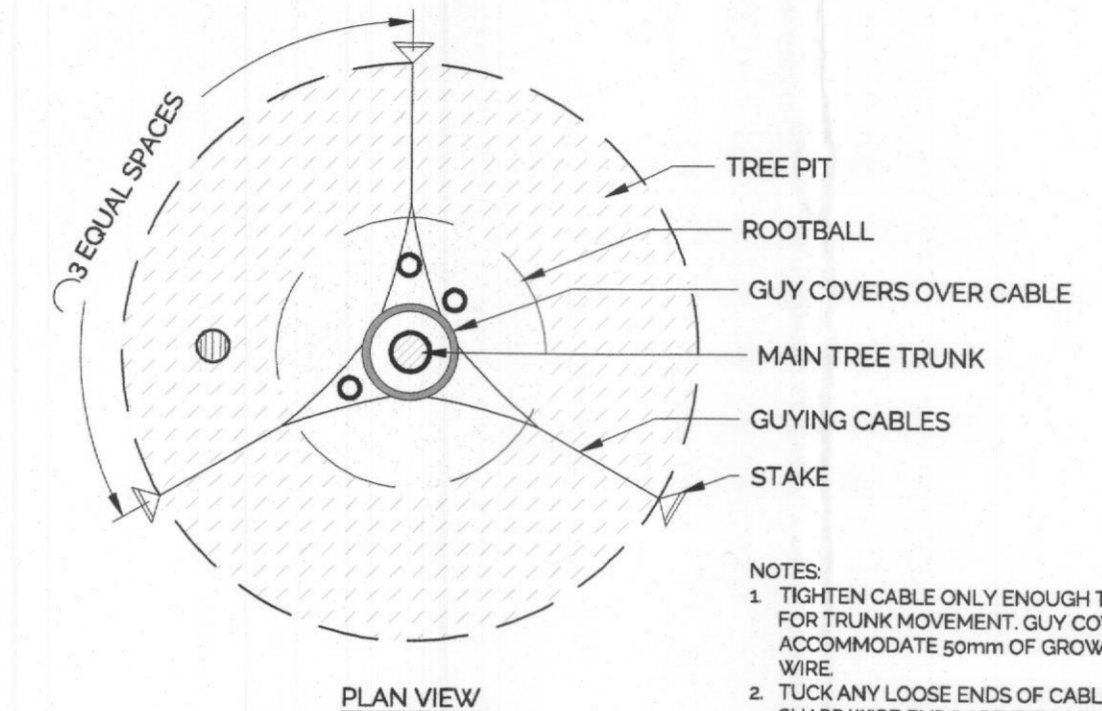
### 3 PLANT SPACING

1/4'-1'-0"



### 4 SHADE TREE PLANTING

1/2'-1'-0"



### 5 MULTI-STEM TREE PLANTING

1/2'-1'-0"

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 29 day of October, 2020.

WITNESS OUR HANDS, 29 day of October, 2020.

*[Signature]*  
DIRECTOR OF PLANNING & ZONING

NORTH

OWT ARCHITECTS

509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844

www.owtarchitects.com

ROCKWALL DFPS

1203 SIGMA CT,  
ROCKWALL, TX 75087

2020-007-00  
OCTOBER 6, 2020

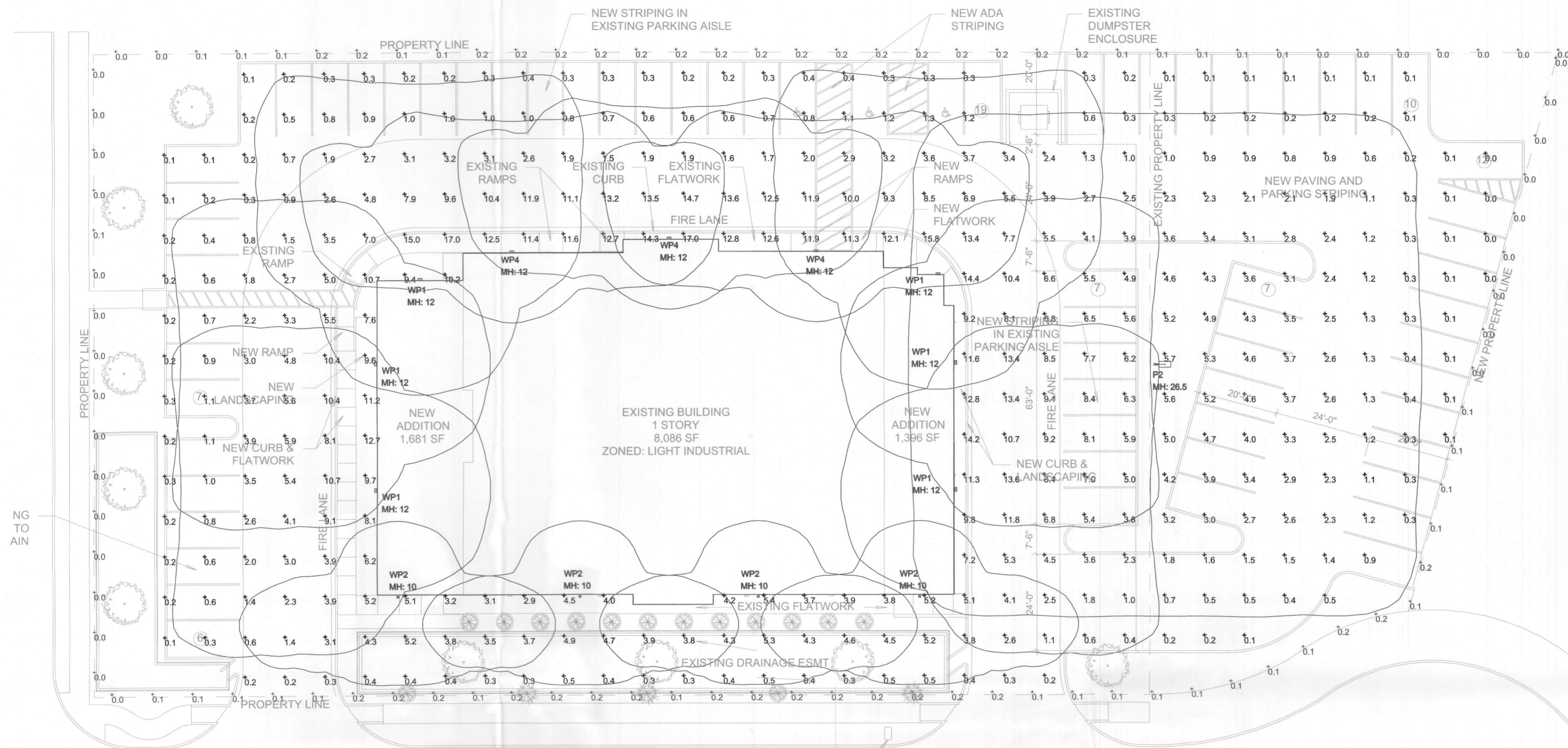
LANDSCAPE  
DETAILS

**L5.00**



DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OBLEY WILLIAMS THOMP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OBLEY WILLIAMS THOMP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OBLEY WILLIAMS THOMP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OBLEY WILLIAMS THOMP ARCHITECTS, PLLC AND ITS CONSULTANTS.

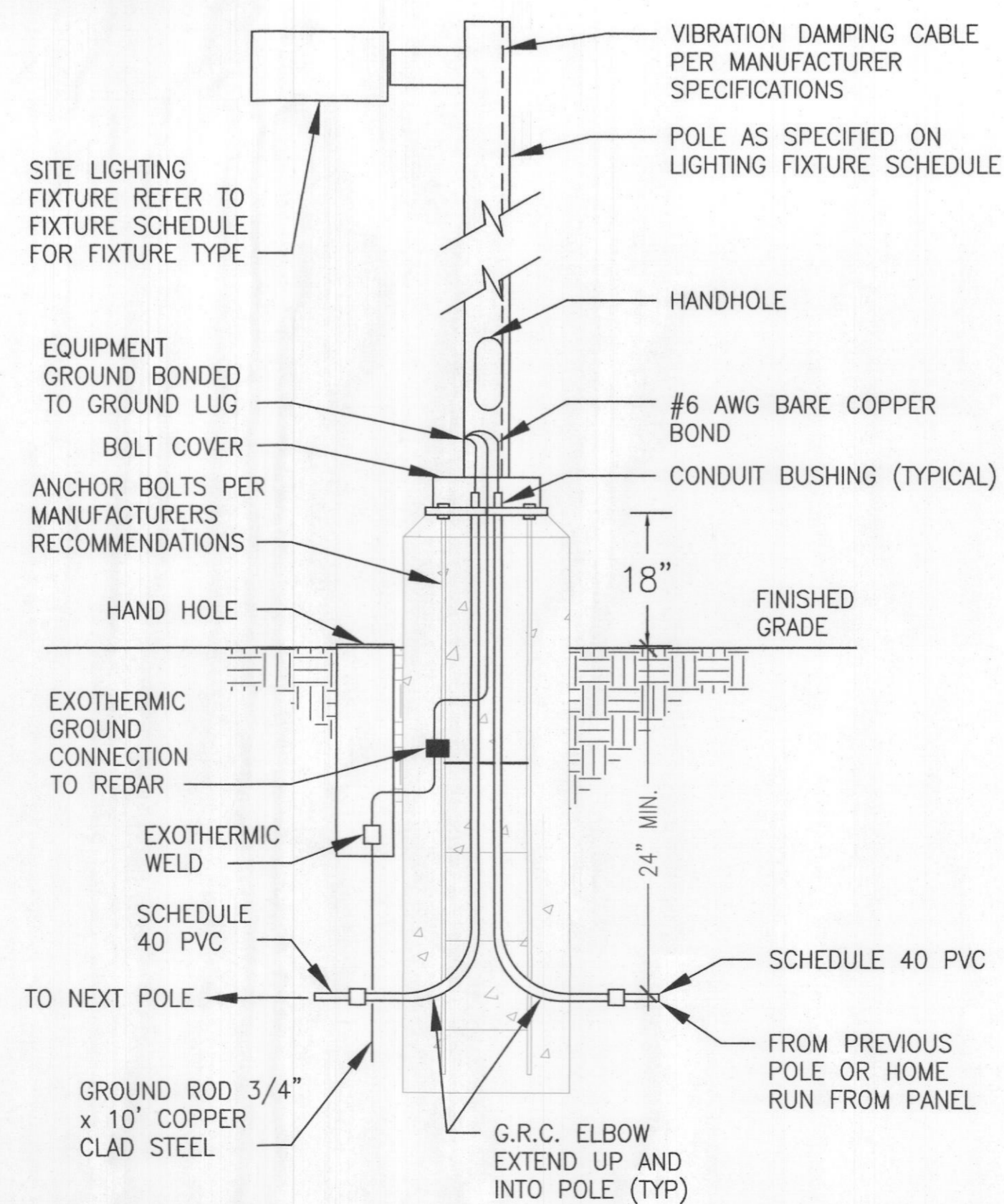
Revision Schedule		
Rev. #	Revision Description	Revision Date



**LIGHTING PHOTOMETRIC SITE PLAN**  
SCALE: 1/16"=1'-0"  
SIGMA COURT

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
☐	1	P2	SINGLE	0.912	GLEON-AF-06-LED-E1-SN2	333	333	37566
☐	6	WP1	SINGLE	0.912	GWC-AF-02-LED-E1-T4FT	113	678	12784
☐	4	WP2	SINGLE	0.912	GWC-AF-01-LED-E1-T2-600	34	136	4204
☐	3	WP4	SINGLE	0.912	GWC-AF-02-LED-E1-SL2	113	339	12449

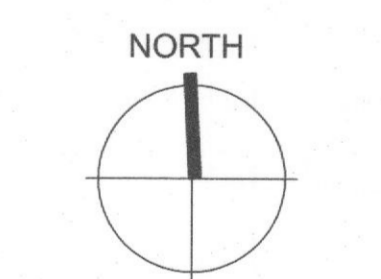
Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpGr	PtSpTb	CALC HT
PROPERTY LINE	Illuminance	Fc	0.10	0.2	0.0	N.A.	N.A.	10	N.A.	N.A.
SITE CAL PTS	Illuminance	Fc	3.65	17.0	0.0	N.A.	N.A.	10	10	0



**1 POLE BASE/MOUNTING DETAIL**  
NTS

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 29 day of October 2020.  
WITNESS OUR HANDS, 29 day of October 2020  
*[Signature]*  
DIRECTOR OF PLANNING & ZONING

**CLARK ENGINEERING ASSOCIATES**  
**CONSULTING ENGINEERS**  
8704 BALTUSROL DR.  
FLOWER MOUND, TEXAS 75022  
214-926-7840 FAX: 817-567-0068  
TEXAS REGISTRATION NO. 43525



**OWT ARCHITECTS**  
509 PECAN STREET  
SUITE 100  
FORT WORTH, TX 76102  
817.993.9844  
www.owtarchitects.com

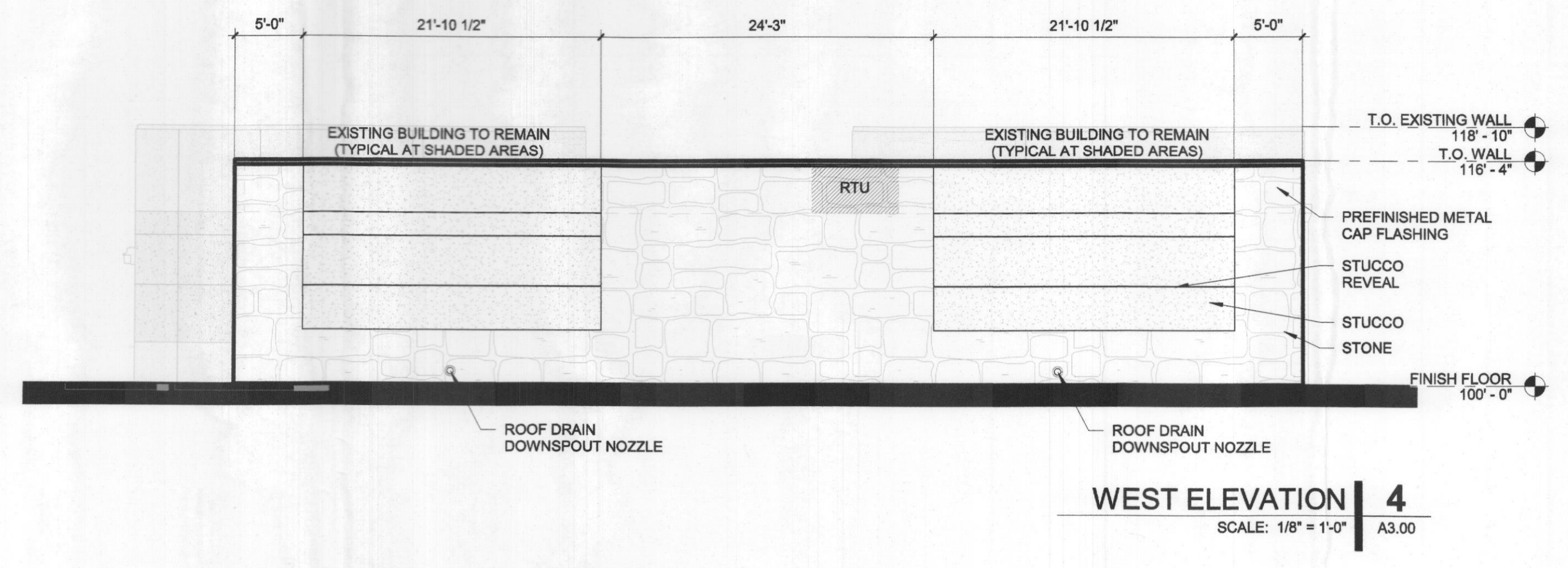
**EXTERIOR FINISHES**

**BASIS OF DESIGN:**  
**STONE:** ELDORADO STONE - ROUGH CUT, COLOR = LOIRE VALLEY  
**STUCCO:** PAREX - MEDIUM TEXTURE, COLORS = PACIFIC SAND AND VIEJO  
**STOREFRONT:** ALUMINUM, COLOR = CLEAR ANODIZED  
**PARAPET COPING:** BERRIDGE - COLOR = BURGUNDY  
 \*THE DESIGN INTENT IS TO MATCH THE EXISTING BUILDING COLORS TO THE GREATEST EXTENT POSSIBLE.

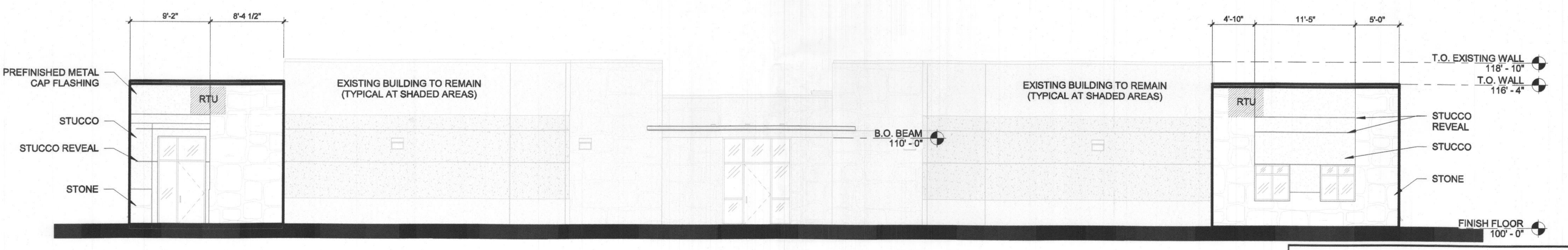
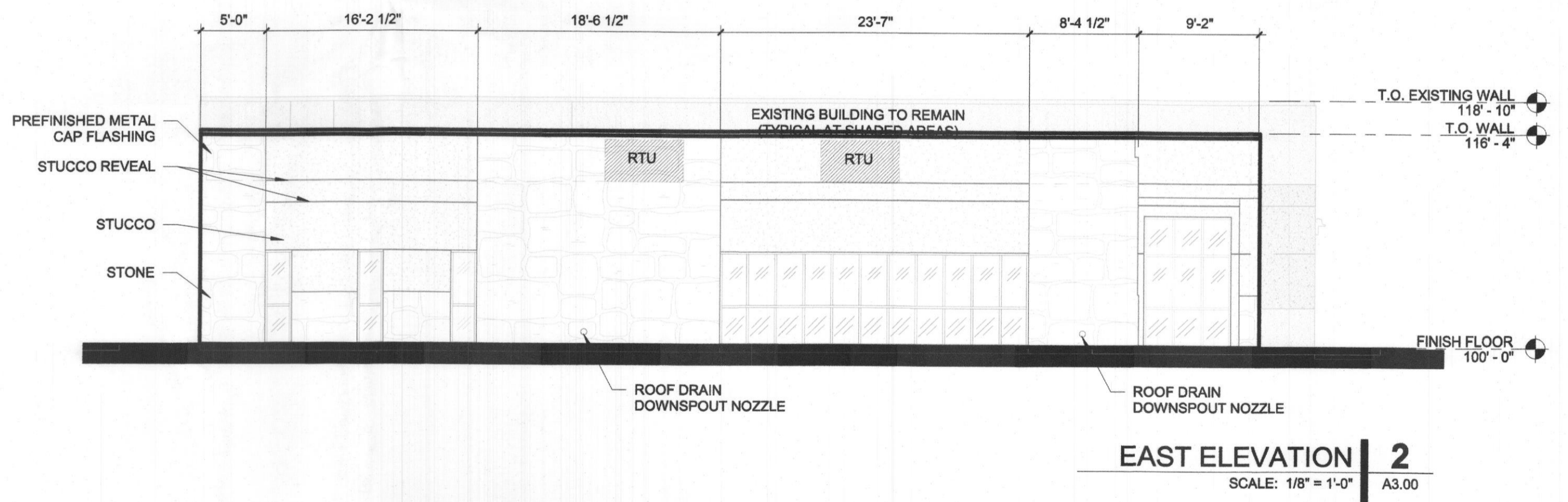
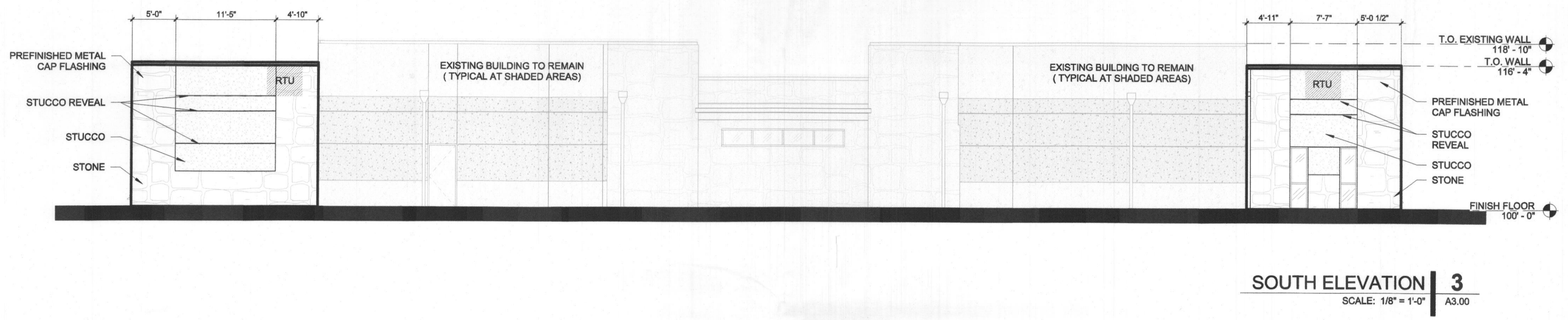
**MASONRY CALCULATIONS**

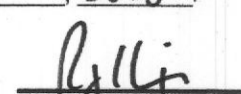
**NORTH: 480 SF**  
 STUCCO = 162 (33.7%)  
 STONE = 318 (66.3%)  
**SOUTH: 540 SF**  
 STUCCO = 189 (35%)  
 STONE = 351 (65%)  
**EAST: 885 SF**  
 STUCCO = 409 (46.2%)  
 STONE = 476 (53.8%)  
**WEST: 1,135 SF**  
 STUCCO = 462 (40.7%)  
 STONE = 673 (59.3%)  
**TOTAL: 3,040 SF**  
 STUCCO = 1,216 (40%)  
 STONE = 1,824 (60%)  
 \*TOTALS AND PERCENTAGES DO NOT INCLUDE GLAZING SQUAREFOOTAGES.


**GENERAL ELEVATION NOTES**  
 1. NEW HORIZONTAL STUCCO CONTROL JOINTS ARE TO MATCH THE HEIGHT OF EXISTING CONTROL JOINTS.



NOTE:  
 FINISH FLOOR IS 557'-0"  
 AVERAGE FINISHED GRADE ALONG FRONT OF BUILDING = 555'-9 3/4"  
 BUILDING HEIGHT ABOVE AVERAGE FINISHED GRADE = 20'-0 1/4"



APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 29 day of October, 2020.  
 WITNESS OUR HANDS, 29 day of October, 2020.  
  
 DIRECTOR OF PLANNING & ZONING



SEPTEMBER 18, 2020  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule

Rev. #	Revision Description	Revision Date

**OWT ARCHITECTS**  
 509 PECAN STREET  
 SUITE 100  
 FORT WORTH, TX 76102  
 817.993.9844  
 www.owtarchitects.com

**ROCKWALL DFPS**  
 1203 SIGMA CT,  
 ROCKWALL TX 75087  
 2020-007-00  
 SEPTEMBER 18, 2020

**EXTERIOR ELEVATIONS**  
**A3.00**