



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2020-020 P&Z DATE 09/15/20 CC DATE _____ APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision

Lot

Block

General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD - 82

Current Use VACANT

Proposed Zoning PD - 82

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 50.154

Lots [Current]

Lots [Proposed] 110

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BLOOMFIELD HOMES LP

Applicant ENGINEERING CONCEPTS & DESIGN, LP

Contact Person CLINT VINCENT

Contact Person TODD WINTTERS

Address 1050 E. HIGHWAY 114

Address 201 WINDCO CIRCLE

SUITE 114

SUITE 201

City, State & Zip SOUTH LAKE, TEXAS 76092

City, State & Zip WYLIE, TEXAS 75098

Phone 817-416-1572

Phone 972-941-8400

E-Mail don@bloomfieldhomes.net

E-Mail todd@ecdip.com

NOTARY VERIFICATION [REQUIRED]

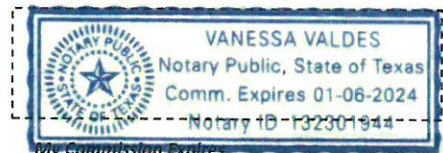
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of August, 20 20.

Owner's Signature

Notary Public in and for the State of Texas





RockwallPLL

Receipt#: 1083

Date: 8/14/2020

City of Rockwall
The New Horizon

Payment Receipt

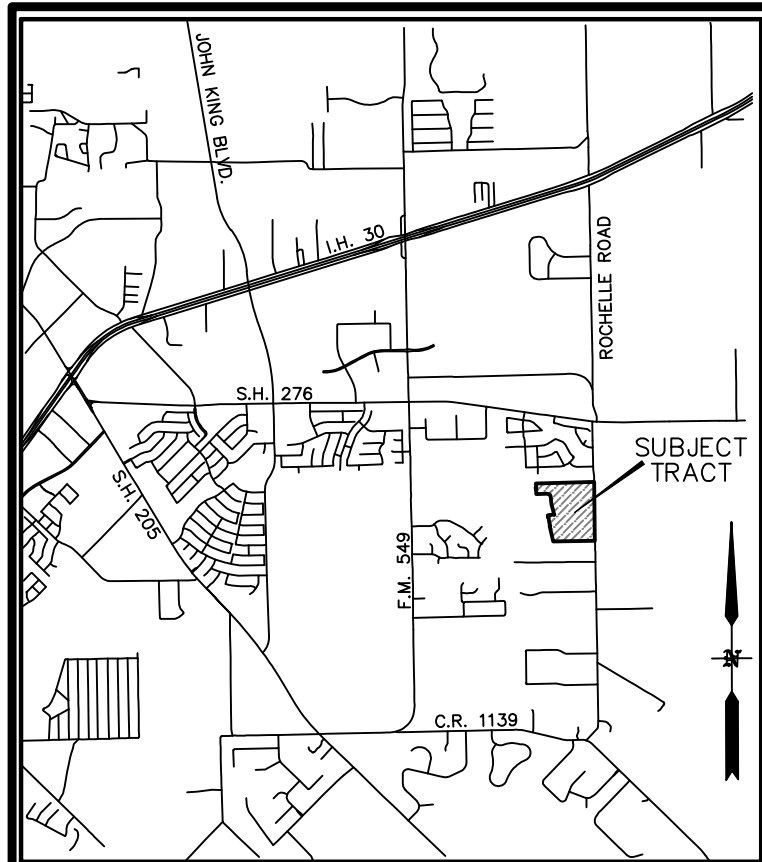
Invoice #	Case Type	Case Number	Sub Type
	PZSITEPLAN	SP2020-020	PZSITEPLAN

Tender Type / Description	Amount
CHECK- CHECK	1,253.08
Sub Total:	1,253.08

Fees:

Fee Codes / Description	Amount
PZSITEPLAN- PZ - Site Plan App Fee	1,253.08
Sub Total:	1,253.08

Total Amount Due:	1,253.08
Total Payment:	1,253.08



VICINITY MAP
N.T.S.

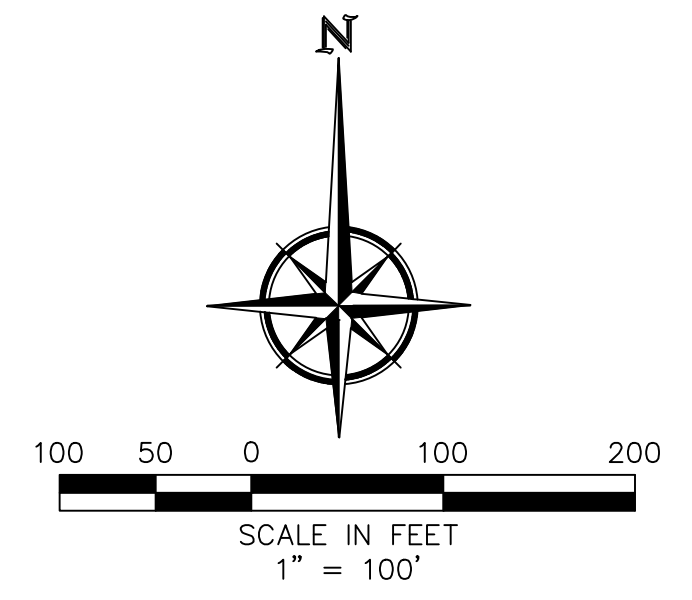
- LEGEND**
- IRF IRON ROD FOUND
 - CRS 5/8 INCH IRON ROD SET WITH ADAMS SURVEYING COMPANY LLC CAP
 - FCP FENCE CORNER POST FOUND
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 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
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 - S.V.E. SIDEWALK & VISIBILITY EASEMENT
 - HOA HOMEOWNERS' ASSOCIATION
 - MFFE MINIMUM FINISHED FLOOR ELEVATION
 - SPC STATE PLANE COORDINATES
 - ◆ INDICATES CHANGE IN STREET NAME

**TERRACINA ESTATES PHASE 1
SITE PLAN DATA**

- a. 50.154 Acres
- b. PD-82 Zoning
- c. 110 Dwelling Units
- d. 14.28 Acres Open Space/Park(28%)
- e. Amenities within Subdivision:
 - Pavillion
 - Playground
 - 8' Trail
 - Exercise Station
- f. All Common Areas/Open Space to be maintained by the H.O.A.
- g. * Denotes Street Lights
- h. □ Denotes Stop Sign & Street Names

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 89°08'49" W	35.63'
L2	N 10°58'09" W	250.04'
L3	N 12°16'48" W	50.00'
L4	N 10°58'09" W	10.20'
L5	N 79°01'51" E	50.00'
L6	S 10°58'09" E	10.20'
L7	N 11°22'18" W	81.90'
L8	N 15°12'53" W	74.64'
L9	N 18°37'29" W	67.02'
L10	N 14°35'37" W	62.88'
L11	N 9°02'55" W	64.32'
L12	N 4°38'17" W	181.25'
L13	N 27°50'10" W	60.72'
L14	N 74°39'57" W	88.77'
L15	N 1°26'05" W	125.00'
L16	S 88°33'55" W	10.00'
L17	N 1°26'05" W	50.00'
L18	N 88°33'55" E	10.00'
L19	N 1°26'05" W	125.00'

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	000°26'52"	1280.00'	5.00'	10.00'	S 77°41'16" W	10.00'
C2	000°22'28"	1530.00'	5.00'	10.00'	S 77°54'26" W	10.00'
C3	000°24'15"	1580.00'	5.57'	11.15'	S 77°55'20" W	11.15'
C4	004°32'28"	1580.00'	62.65'	125.23'	S 82°12'29" W	125.19'



- SADDLE STAR SOUTH PLANT LEGEND**
- 22 - 3" LIVE OAK
 - 32 - 3" RED OAK
 - 12 - 3" CEDAR ELM
 - 16 - 3" BALD CYPRESS
 - 50 - 3" EASTERN RED CEDAR
 - 576,832 S.F. BERMUDA GRASS
 - 112 - DWARF BURFORD HOLLY
 - 89 - ELAEAGNUS
 - 89 - DWARF WAX MYRTLE
 - 510 - MEXICAN FEATHER GRASS
 - 380 - WEEPING LOVE GRASS
 - 615s.f. - BLACK STAR CRUSHED STONE
 - 500s.f. - TEXAS RIVER ROCK MIX
 - 1 - OKLAHOMA MOSS ROCK BOULDER
 - ☼ Existing Trees to be Protected

- BENCHMARKS:**
- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95
 - CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
 - CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
 - CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

PD SITE PLAN
Case No. SP2020-
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES
SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572

LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE TEXAS 76098
(972) 941-8400 FAX (972) 941-8401

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/20/2020

PROJECT NUMBER: SP2020-020
PROJECT NAME: Site P Lan for Terracina Estates, Phase I
SITE ADDRESS/LOCATIONS: West of Rochell Road

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	08/20/2020	Needs Review

08/20/2020: SP2020-020; PD Site Plan for PD-82 Terracina Estates

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-020) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 82 (PD-82) [Ordinance No. 18-08], and the Development Standards of Article 05, that are applicable to the subject property.

I.5 Provide a standard signature block with a signature space for the Planning & Zoning Chairman and Planning Director on all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.6 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department; however, the entry signage plan must be approved with the PD Site Plan prior to submittal of a building permit. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.7 PD Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC) and [Ordinance No. 18-08 (PD-82)]:

- 1) In the Site Plan Data Table (e), indicate Amenities within the Park. Also, will there be park benches provided? If so, please indicate. [Ordinance No. 18-08 (PD-82)]
- 2) In the Site Plan Data Table (g), indicate maximum height of 20-feet for street lights . [Ordinance No. 18-08 (PD-82)]

- 3) What is the hatched area within the park adjacent to Guadalupe Drive? Provide a label identifying this area or remove hatch. [Informational]
- 4) Use a lighter gray scale for the Bermuda grass as this is covering/hiding details that are not clearly visible on the plan. [Informational]
- 5) Indicate the locations for all neighborhood signage for the subdivision (i.e. entry feature). Final design and location of the entry features shall be reviewed and approved with the PD Site Plan. Provide entry signage detail plan. [Ordinance No. 18-08 (PD-82)]
- 6) Label and delineate the minimum 15-foot landscape buffer required along Rochelle Road. [Ordinance No. 18-08 (PD-82)]
- 7) Remove "Saddle Star South" from the Plant Legend. [Informational]
- 8) A minimum of four (4) inch caliper trees are required for the development. Correct plan. [Ordinance No. 18-08 (PD-82)]
- 9) Provide labels for all 'sidewalks' and 'trails' to better delineate their locations. [Ordinance No. 18-08 (PD-82)]

I.8 Please note that failure to address all comments provided by staff by 3:00 PM on September 1, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 15, 2020 Planning & Zoning Meeting.

I.10 The Parks and Recreations Board meeting will be held on September 1, 2020 and will begin at 6:00 p.m. in the City's Council Chambers. The Parks and Recreations Board will provide comments and/or may forward a recommendation to the Planning and Zoning Commission.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 25, 2020.
- 2) Parks and Recreations Board meeting will be held on September 1, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on September 15, 2020.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jeremy White	08/19/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/18/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Kevin Clark	08/18/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2020	Approved w/ Comments
08/19/2020: Please submit a cad (.dwg) drawing of the lot lines and road centerlines so addressing can begin.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/17/2020	Denied

08/17/2020: 1. Park District 22

Cash in Lieu Land: 110 lots x \$503.00 = \$55,330.00 (applied towards park)

Pro Rata Equipment fees: 110 lots x \$476.00 = \$52,360.00 (applied towards park)

2. This park shall be maintained and managed by the City of Rockwall Parks and Recreation Department

3. Park shall be designed and installed according to Rockwall Parks and Recreation specifications.

4. Tree Mitigation Plan required

5. Landscape and Tree plan required for common areas.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-020

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PROPERTY INFORMATION [PLEASE PRINT]

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General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

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Current Use VACANT

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Acreage 50.154

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Lots [Proposed] 110

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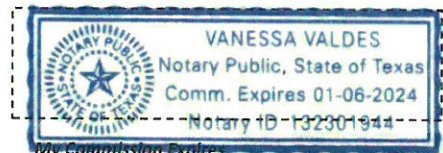
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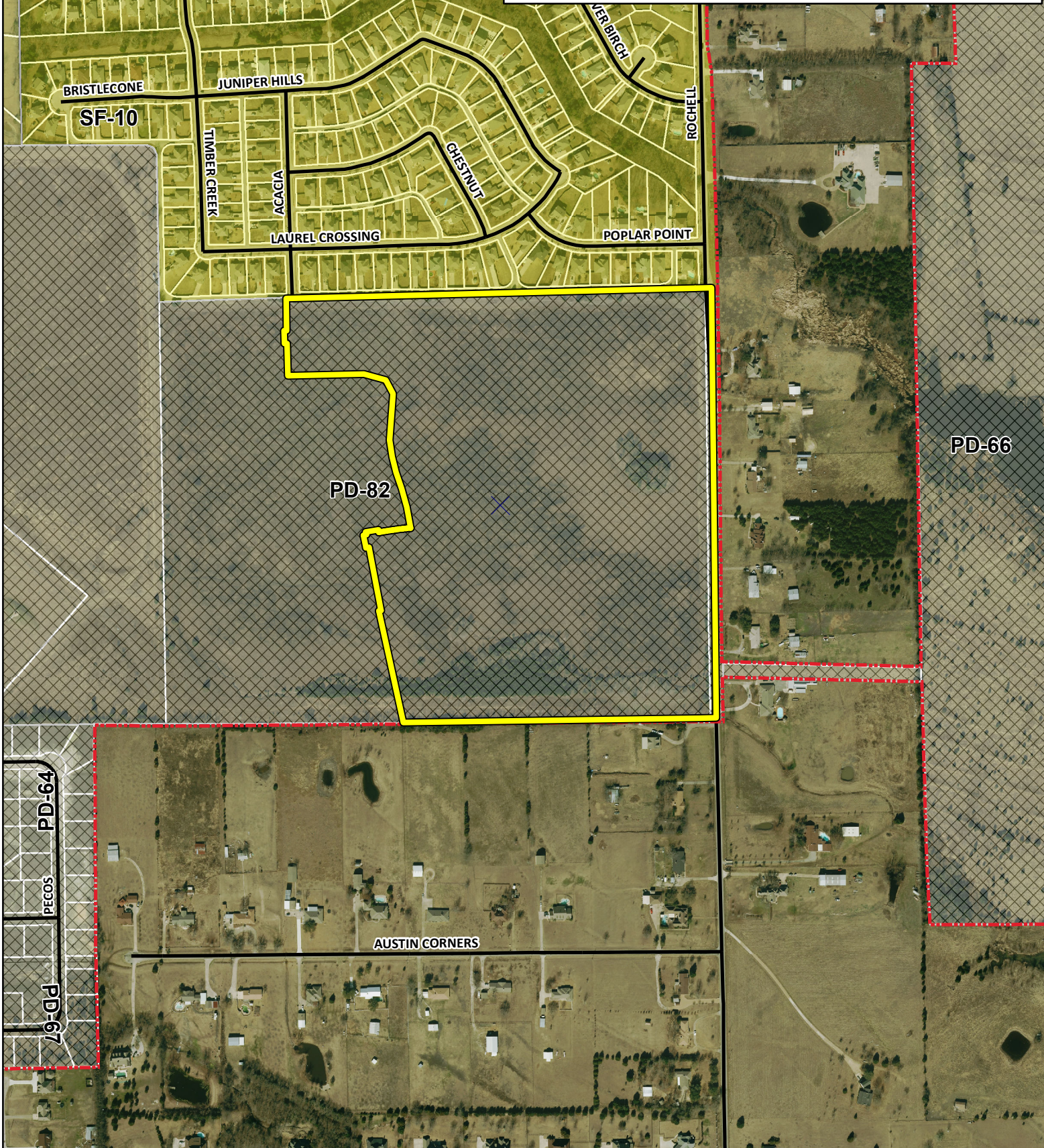
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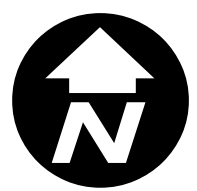
SP2020-020- SITE PLAN FOR TERRACINA ESTATES, PHASE I
 SITE PLAN - LOCATION MAP =

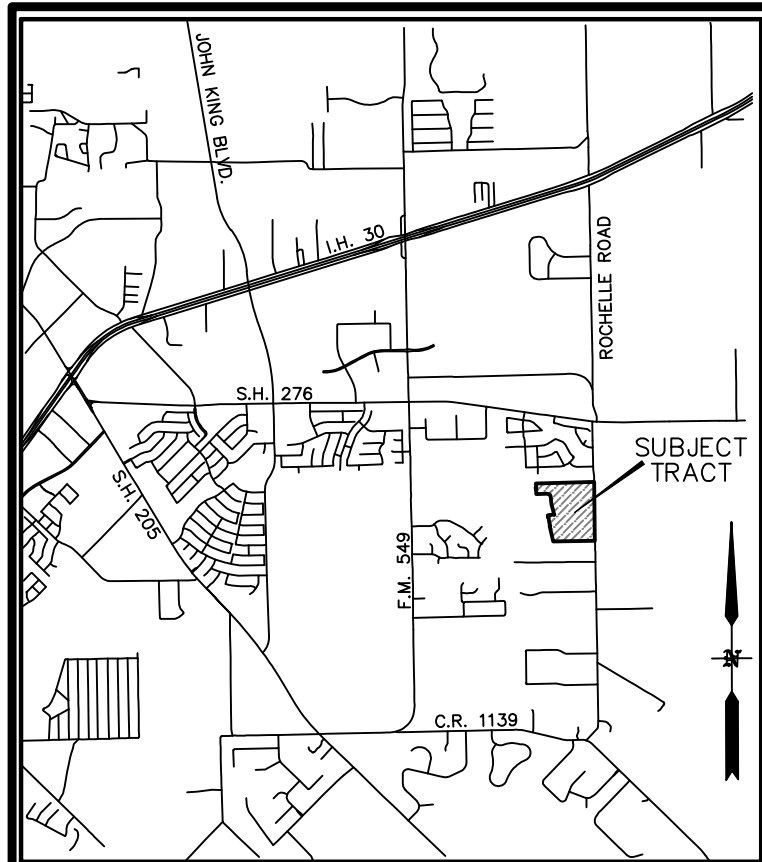


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

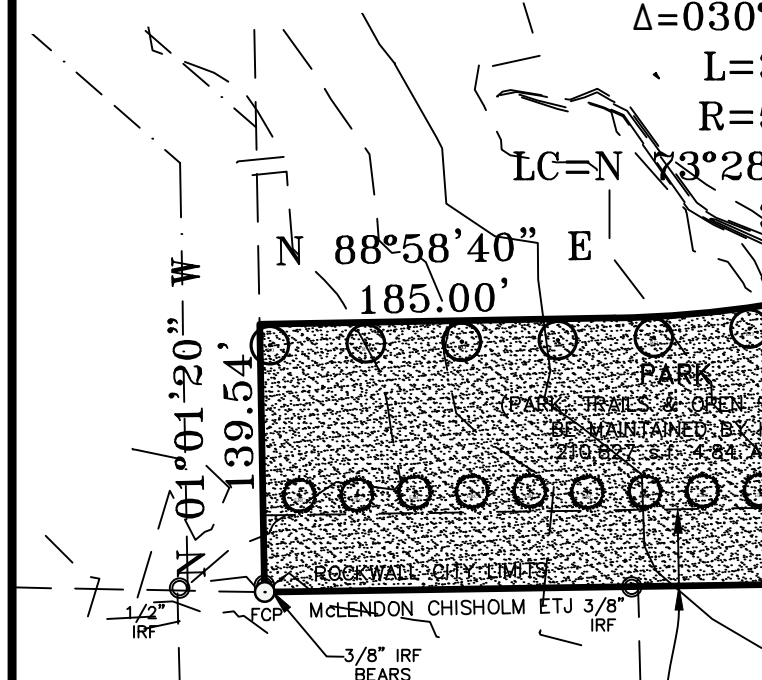




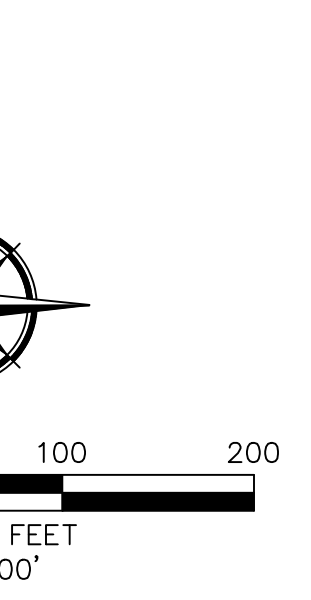
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 - 89 - ELAEAGNUS
 - 89 - DWARF WAX MYRTLE
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 - 615s.f. - BLACK STAR CRUSHED STONE
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 - 1 - OKLAHOMA MOSS ROCK BOULDER
 - ☼ Existing Trees to be Protected

LINE TABLE

NO.	DIRECTION	DISTANCE
L1	S 89°08'49" W	35.63'
L2	N 10°58'09" W	250.04'
L3	N 12°16'48" W	50.00'
L4	N 10°58'09" W	10.20'
L5	N 79°01'51" E	50.00'
L6	S 10°58'09" E	10.20'
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L16	S 88°33'55" W	10.00'
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- BENCHMARKS:**
- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95
 - CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
 - CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
 - CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

PD SITE PLAN
Case No. SP2020-
TERRACINA ESTATES, PHASE 1
BEING

50.154 ACRES

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572

LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE TEXAS 76098
(972) 941-8400 FAX (972) 941-8401



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 15, 2020
APPLICANT: Todd Winters; *Engineering Concepts & Design, LP*
CASE NUMBER: SP2020-020; *Site Plan for Terracina Estates Subdivision, Phase 1*

SUMMARY

Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochell Road south of SH-276, and take any action necessary.

BACKGROUND

The *subject property* was annexed into the City on July 21, 1997 by *Ordinance No. 97-14*. It is located on the west side of Rochell Road, south of SH-276, adjacent to the Timber Creek Estates Subdivision. On June 20, 2016, the City Council approved a request to rezone an 81.49-acre portion of the subject property from an Agricultural (AG) District to Planned Development District 82 (PD-82) [*Ordinance No. 16-43*] for a single-family residential subdivision that would consist of 204 single-family lots [*Case No. Z2016-013*]. On September 15, 2017, the owner of the subject property requested to amend Planned Development District 82 (PD-82) by proposing to incorporate an additional 59.065-acre tract of land into the existing 81.49-acre tract of land to create a 140.55-acre single-family, residential development. This request was denied by the City Council on November 6, 2017 [*Case No. Z2017-046*]; however, on November 28, 2017, the Planning and Zoning Commission approved a request allowing the applicant to resubmit a zoning application request based on there being a substantial change to the original request. The substantial change proposed by the applicant in this case was the incorporation of an additional 39-acres of open space (*i.e. the antenna tower park*), providing larger lots adjacent to the existing single-family housing, and adding an additional 2.24-acre private park. This new request changed the overall density of the development reducing it from 2.5 units per acre to 1.5 units per acre. On January 2, 2018, the City Council approved the amendment to Planned Development District 82 (PD-82) via *Ordinance No. 18-08* [*Case No. Z2017-063*]. The final Planned Development District consists of 179.831-acres and 352 single-family residential lots.

PURPOSE

On August 14, 2020, the applicant -- *Todd Winters of Engineering Concepts and Design, LP* -- submitted an application requesting approval of a site plan for the purpose of developing Phase 1 of the Terracina Estates. This phase of the subdivision will consist of 110 single-family residential lots on 50.154-acres. The site plan depicts the proposed amenities and landscaping associated with the 8.24-acre public park, and the hardscape and entry signage plans for the proposed development. The Terracina Estates Subdivision is a three (3) phase master planned community consisting of a total of 352 single-family lots.

ADJACENT LAND USES AND ACCESS

The subject property is situated on the west side of Rochell Road, south of SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the *subject property* are the Sterling Farms and Timber Creek Subdivisions. These properties are zoned Single Family Estate (SFE-1.5) and Single Family 10 (SF-10) Districts.

South: Directly south of the *subject property* is a portion of Phase II of the Fontana Ranch Subdivision and the corporate limits of the City of Rockwall. This subdivision is zoned Planned Development District 64 (PD-64) for Single-Family 16 (SF-16) District land uses.

East: Directly east of the *subject property* is Rochell Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall corporate limits.

West: Directly west of the *subject property* and adjacent to the 39.26-acre tract of land containing multiple radio tower antennas, are several single-family homes situated on large lots that are zoned Agricultural (AG) District and Single-Family Estate 4.0 (SFE-4.0) District. Also adjacent to the southern portion of the antenna tower site are Phases I & II of the Fontana Ranch Subdivision, which are zoned Planned Development District 64 (PD-64) for Single-Family 16 (SF-16) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

Phase 1 of the Terracina Estates Subdivision will be 50.154-acres of land that will consist of 110 single-family residential lots. This phase of the development will consist of three (3) lot types: [1] *Lot Type 'A'* being 65' x 125' or a minimum of 8,125 SF, [2] *Lot Type 'B'* being 80' x 125' or a minimum of 10,000 SF, and [3] *Lot Type 'C'* being 80' x 125' or a minimum of 12,000 SF. This phase will consist of 296 *Lot Type 'A'* lots and 56 *Lot Type 'B' & 'C'* lots. The proposed minimum size of each dwelling unit for the *Lot Type 'A'* lots will be 1,800 SF and *Lot Types 'B' & 'C'* will be 2,000 SF. These will be constructed using a minimum of 80% masonry, with up to 50% cementitious fiberboard (*e.g. HardiBoard or Hardy Plan*) and stucco; however, stucco (*i.e. three [3] part stucco or a comparable product -- to be determined by staff*) shall be permitted only with the approval of a Specific Use Permit (SUP). The proposed garage orientation for Phase 1 requires a minimum of 30% of the garages to be oriented in a *traditional swing or j-swing configuration*. The remainder of the garages may be in a *front entry* configuration where the garage is flush with or recessed behind the front façade of the home. Driveways will have a minimum length of 25-feet. As a note, garage doors are required to be cedar construction. Garages not meeting these requirements are to meet the standards outlined in Subsection 04.01(B) of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). The gross density for PD-82 is 1.96 dwelling units per acre. Additionally, the plan will consist of 13.36-acres of open space (*or ~26.6% of total land area*), which includes an 8.24-acre public park that will be fully developed with Phase 1. Amenities for the public park include a pavilion, playground, park benches, exercise station, and an eight (8)-foot trail system. The submitted site plan, generally conforms to the technical requirements contained within the UDC for a property located within Planned Development District 82 (PD-82). A summary of the density and dimensional requirements for the subject property are as follows:

Table 1: Density & Dimensional Standards

<i>Lot Type (see Concept Plan) ▶</i>	<i>A</i>	<i>B</i>	<i>C</i>
<i>Minimum Lot Width (1) & (5)</i>	65'	80'	80'
<i>Minimum Lot Depth</i>	125'	125'	125'
<i>Minimum Lot Area</i>	8,125 SF	10,000 SF	25,000 SF
<i>Minimum Front Yard Setback (2)</i>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street) (2)</i>	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height (3)</i>	36'	36'	36'
<i>Minimum Rear Yard Setback (4)</i>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i>	1,800 SF	2,000 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- 4: As measured from the rear yard property line.
- 5: Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

PARKS AND RECREATIONS BOARD RECOMMENDATION

On September 1, 2020, the Parks and Recreation Board reviewed the site plan, and made a motion to recommend approval of the site plan with the stipulation that the proposed 8.24-acre public park and amenities be constructed to City standards and that the Parks and Recreation Department be responsible for the maintenance of the park. Additionally, the Board recommended that the design of the park include the specific amenities as outlined in *Ordinance No. 18-08 (i.e. PD-82)*. This motion passed by a vote of 6-1, with Board Member Dodd dissenting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request to site plan *Phase 1* of the *Terracina Estates Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within Planned Development District 82 (PD-82) [i.e. *Ordinance No 18-08*];
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision

Lot

Block

General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD - 82

Current Use VACANT

Proposed Zoning PD - 82

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 50.154

Lots [Current]

Lots [Proposed] 110

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BLOOMFIELD HOMES LP

Applicant ENGINEERING CONCEPTS & DESIGN, LP

Contact Person CLINT VINCENT

Contact Person TODD WINTTERS

Address 1050 E. HIGHWAY 114

Address 201 WINDCO CIRCLE

SUITE 114

SUITE 201

City, State & Zip SOUTH LAKE, TEXAS 76092

City, State & Zip WYLIE, TEXAS 75098

Phone 817-416-1572

Phone 972-941-8400

E-Mail don@bloomfieldhomes.net

E-Mail todd@ecdip.com

NOTARY VERIFICATION [REQUIRED]

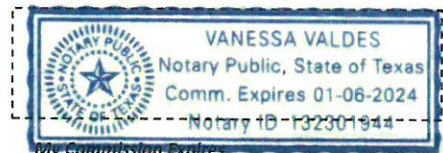
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of August, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/11/2020

PROJECT NUMBER: SP2020-020
PROJECT NAME: Site PPlan for Terracina Estates, Phase I
SITE ADDRESS/LOCATIONS: West of Rochell Road
CASE CAPTION:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
No Comments	David Gonzales	09/11/2020	N/A
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	David Gonzales	09/11/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	09/10/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	David Gonzales	09/11/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	David Gonzales	09/10/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/10/2020	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	09/10/2020	Approved w/Condition
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/10/2020	Needs Review

09/03/2020: Revised Plans - SP2020-020; PD Site Plan for PD-82 Terracina Estates

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 Landscape Plan: Please make the following clarifications on the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC) and [Ordinance No. 18-08 (PD-82)]:

- 1) All canopy trees planted within the development are required to a minimum of 4" caliper.
- 2) All canopy trees are to be spaced at 50-ft centers. Verify spacing and number of trees planted.
- 3) Dimension and indicate the minimum 15-ft landscape buffer along Rochelle Road.
- 4) Indicate and label all signage for development (i.e. entry signs and park sign).
- 5) The concept plan approved with the zoning indicates two (2) layers of screening trees adjacent to the Timber Creek Subdivision.
- 6) Park equipment to be approved by the Parks and Recreations Department.

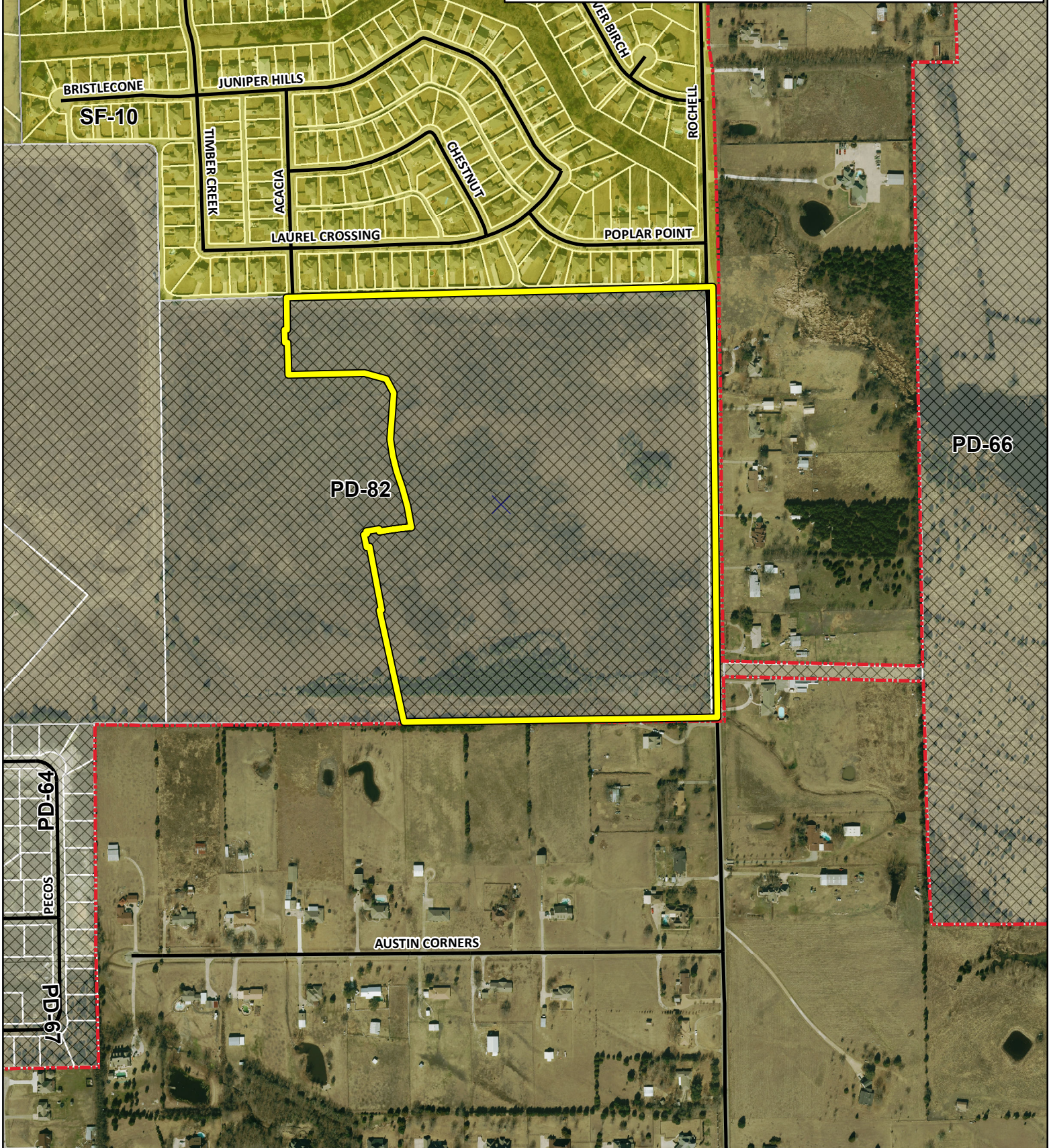
I.4 Please note the scheduled meeting for this case:

- 1) Planning & Zoning meeting/public hearing meeting will be held on September 15, 2020.

I.5 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for this meeting.



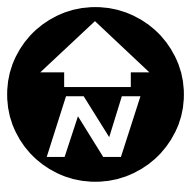
SP2020-020- SITE PLAN FOR TERRACINA ESTATES, PHASE I
 SITE PLAN - LOCATION MAP =

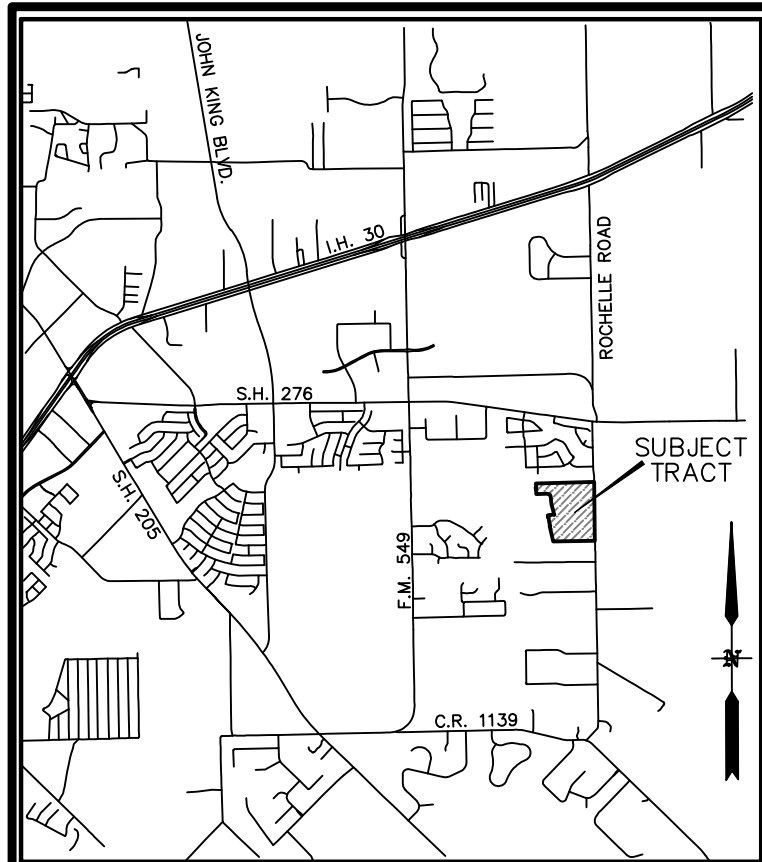


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



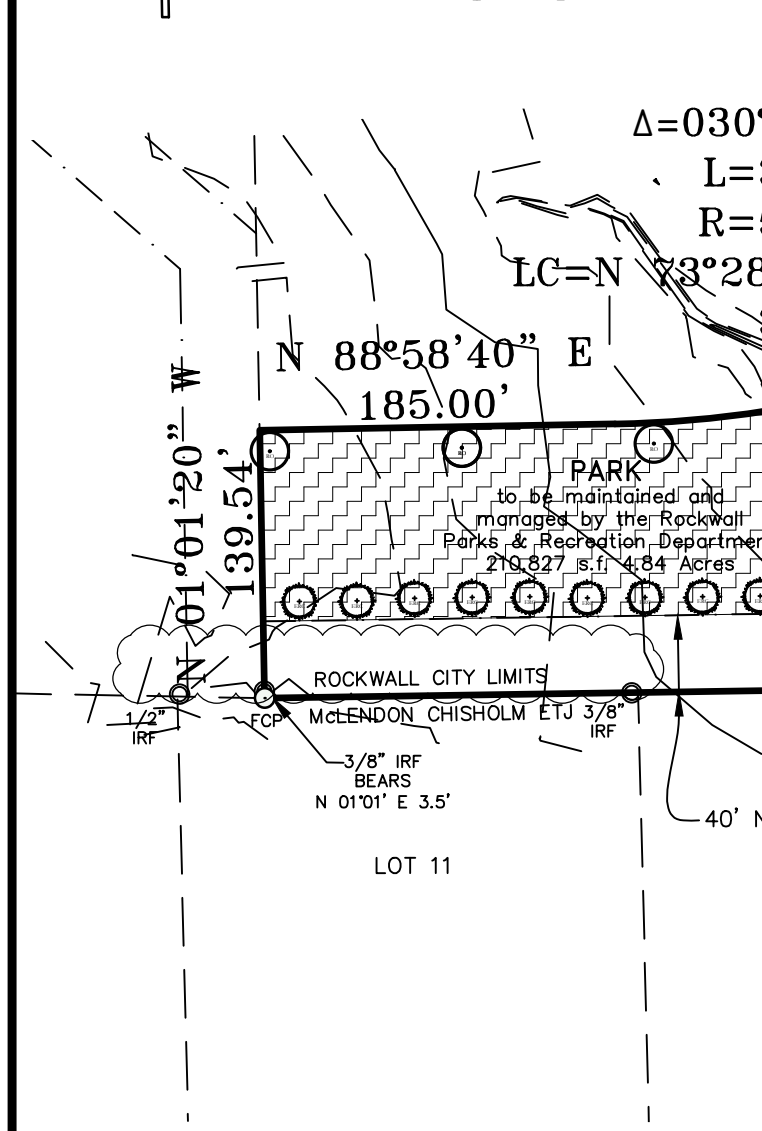


VICINITY MAP
N.T.S.

- LEGEND
- IRF IRON ROD FOUND
 - CIRS 5/8 INCH IRON ROD SET WITH ADAMS SURVEYING COMPANY LLC CAP
 - FCP FENCE CORNER POST FOUND
 - D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY TEXAS
 - P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY TEXAS
 - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - R.W.E. RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
 - S.V.E. SIDEWALK & VISIBILITY EASEMENT
 - HOA HOMEOWNERS' ASSOCIATION
 - MFFE MINIMUM FINISHED FLOOR ELEVATION
 - SPC STATE PLANE COORDINATES
 - INDICATES CHANGE IN STREET NAME

TERRACINA ESTATES PHASE 1
SITE PLAN DATA

- a. 50.154 Acres
- b. PD-82 Zoning
- c. 110 Dwelling Units
- d. 14.28 Acres Open Space/Park(28%)
- e. Amenities within Subdivision:
1-Pavilion, 1-Playground, 2-Park Benches,
2-Trash Receptacle, 1-Exercise Station,
and a 8' Trial
- f. All Common Areas/Open Space to be maintained by the H.O.A.
- g. * Denotes Street Lights 20' Maximum Height
- h. T Denotes Stop Sign & Street Names



LOT 10
40' NTMWD WATER EASEMENT
VOL. 433, PG. 55
D.R.R.C.T.

LOT 9

LOT 8
TO CITY MONUMENT ROIS
S 47°28'15" W 1104.055'

LOT 7
RIDGE HAVEN ESTATES
CAB. A, SL. 213
P.R.R.C.T.

LOT 6
JOHN A. RAMSEY SURVEY A-186

LOT 5

LOT 4
POINT OF BEGINNING
10' U.E.
CAB. A, SL. 213
P.R.R.C.T.

LOT 2

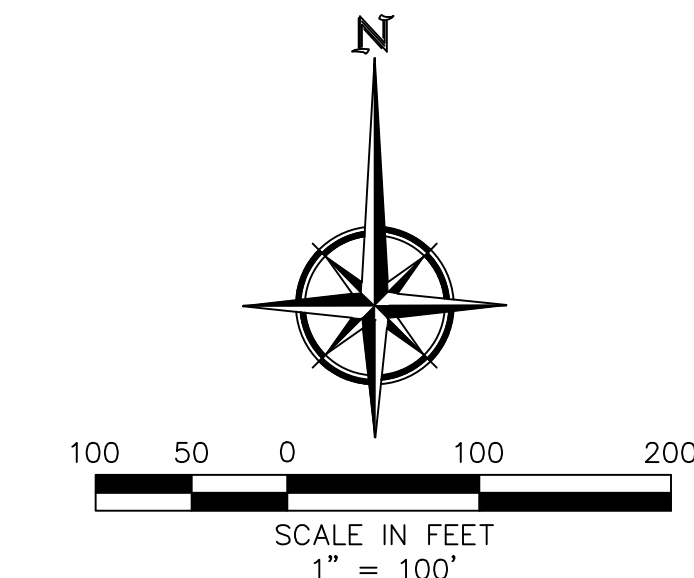
LOT 1
40' NTMWD WATER EASEMENT
VOL. 4833, PG. 55
D.R.R.C.T.

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	000°26'52"	1280.00'	5.00'	10.00'	S 77°41'16" W	10.00'
C2	000°22'28"	1530.00'	5.00'	10.00'	S 77°54'26" W	10.00'
C3	000°24'15"	1580.00'	5.57'	11.15'	S 77°55'20" W	11.15'
C4	004°32'28"	1580.00'	62.65'	125.23'	S 82°12'29" W	125.19'

NOTE:
PARK SHALL BE DESIGNED AND INSTALLED
ACCORDING TO ROCKWALL PARKS AND
RECREATION SPECIFICATIONS.

JOHN A. RAMSEY SURVEY
A-186

ZONED: SF-10



- TERRACINA ESTATES PHASE 1
PLANT LEGEND
- 18 - 4" LIVE OAK
 - 25 - 4" RED OAK
 - 5 - 4" CEDAR ELM
 - 11 - 4" BALD CYPRESS
 - 33 - 4" EASTERN RED CEDAR
 - 516,123 - S.F. BERMUDA SOD
 - 68,700 - TIF TUF SOD
 - 112 - DWARF BURFORD HOLLY
 - 89 - ELAEAGNUS
 - 89 - DWARF WAX MYRTLE
 - 510 - MEXICAN FEATHER GRASS
 - 380 - WEEPING LOVE GRASS
 - 615s.f. - BLACK STAR CRUSHED STONE
 - 500s.f. - TEXAS RIVER ROCK MIX
 - 1 - OKLAHOMA MOSS ROCK BOULDER
- Existing Trees to be Protected

BENCHMARKS:

- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95
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SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2020.

WITNESS OUR HANDS, this ___ day of ___, 2020.

Planning & Zoning Commission, Chairman

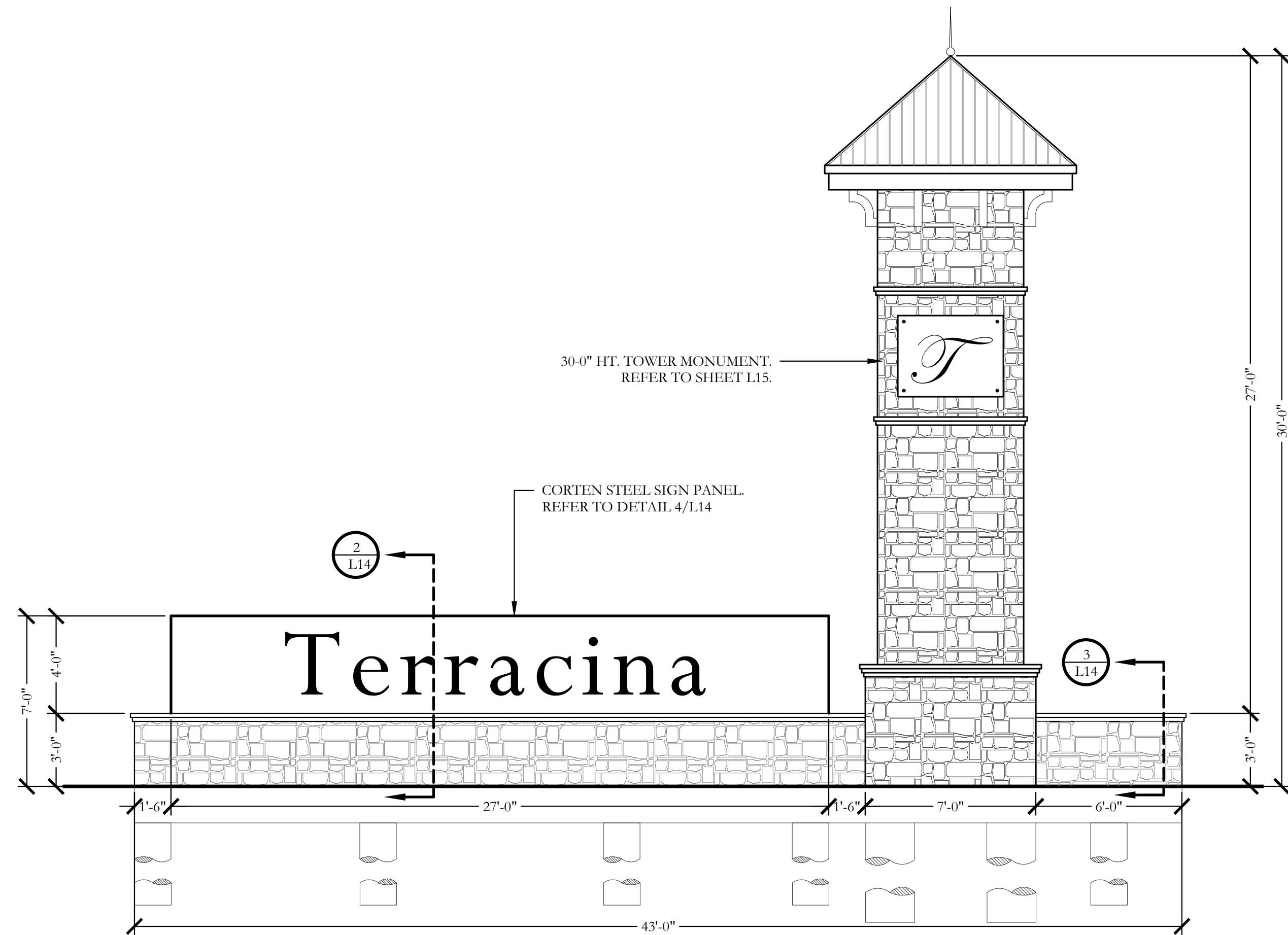
Director of Planning and Zoning

PD SITE PLAN
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TERRACINA ESTATES, PHASE 1
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CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

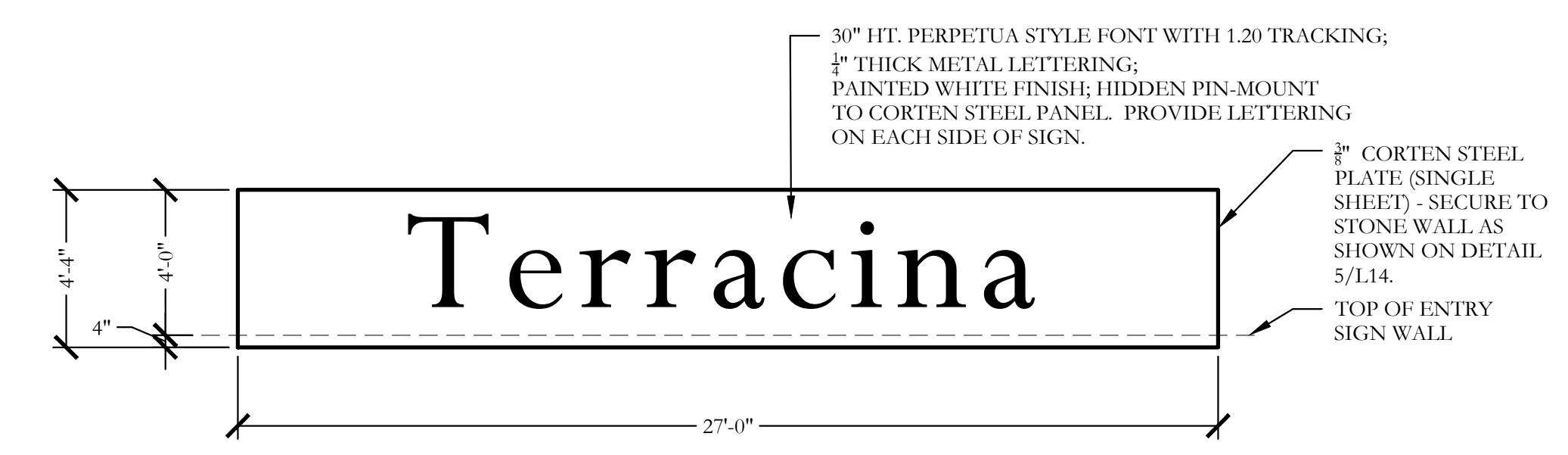
OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572

LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 101775000

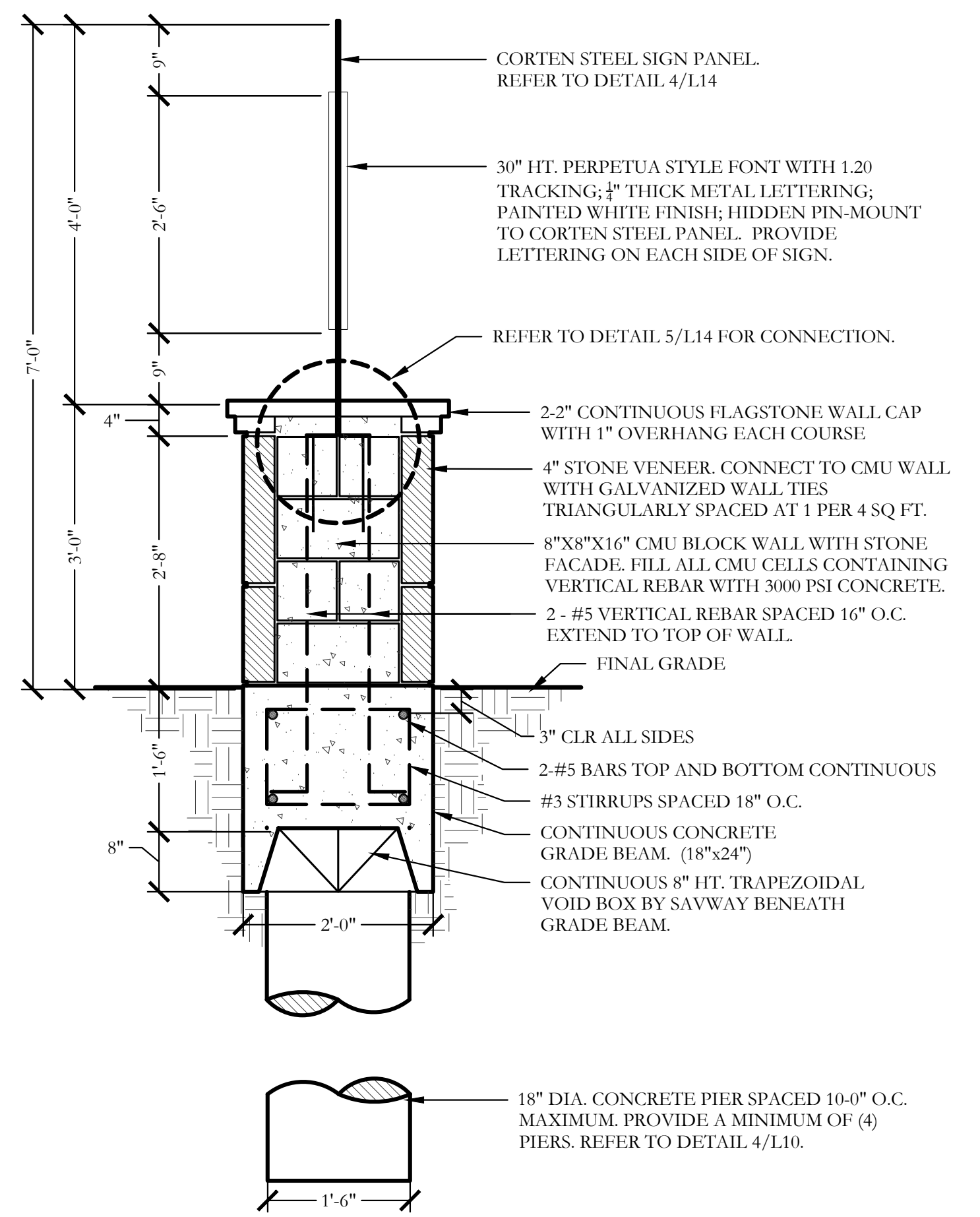
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE TEXAS 76098
(972) 941-8400 FAX (972) 941-8401



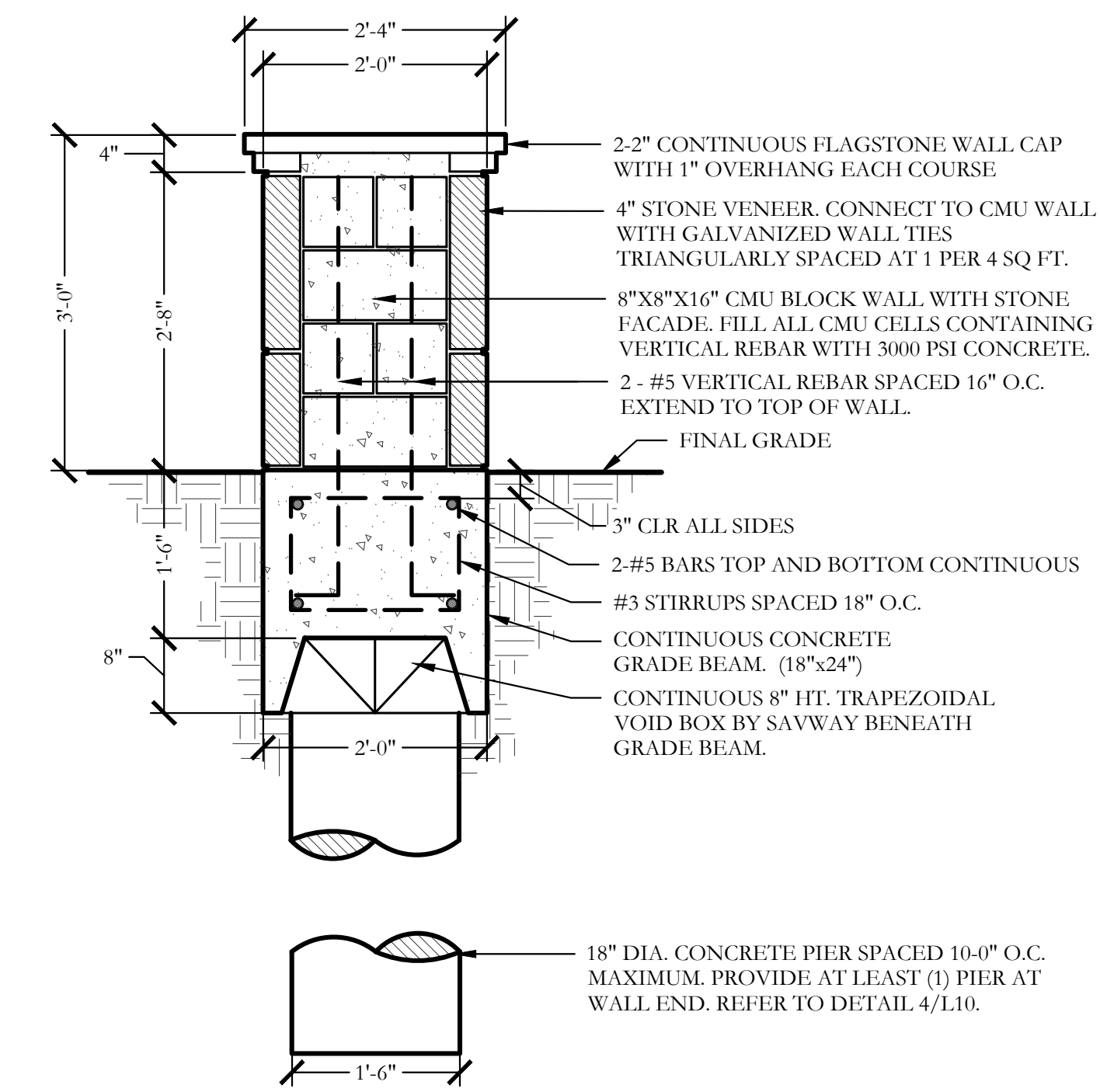
1 MAIN ENTRY MONUMENT ELEVATION SCALE: 1/4" = 1'-0"



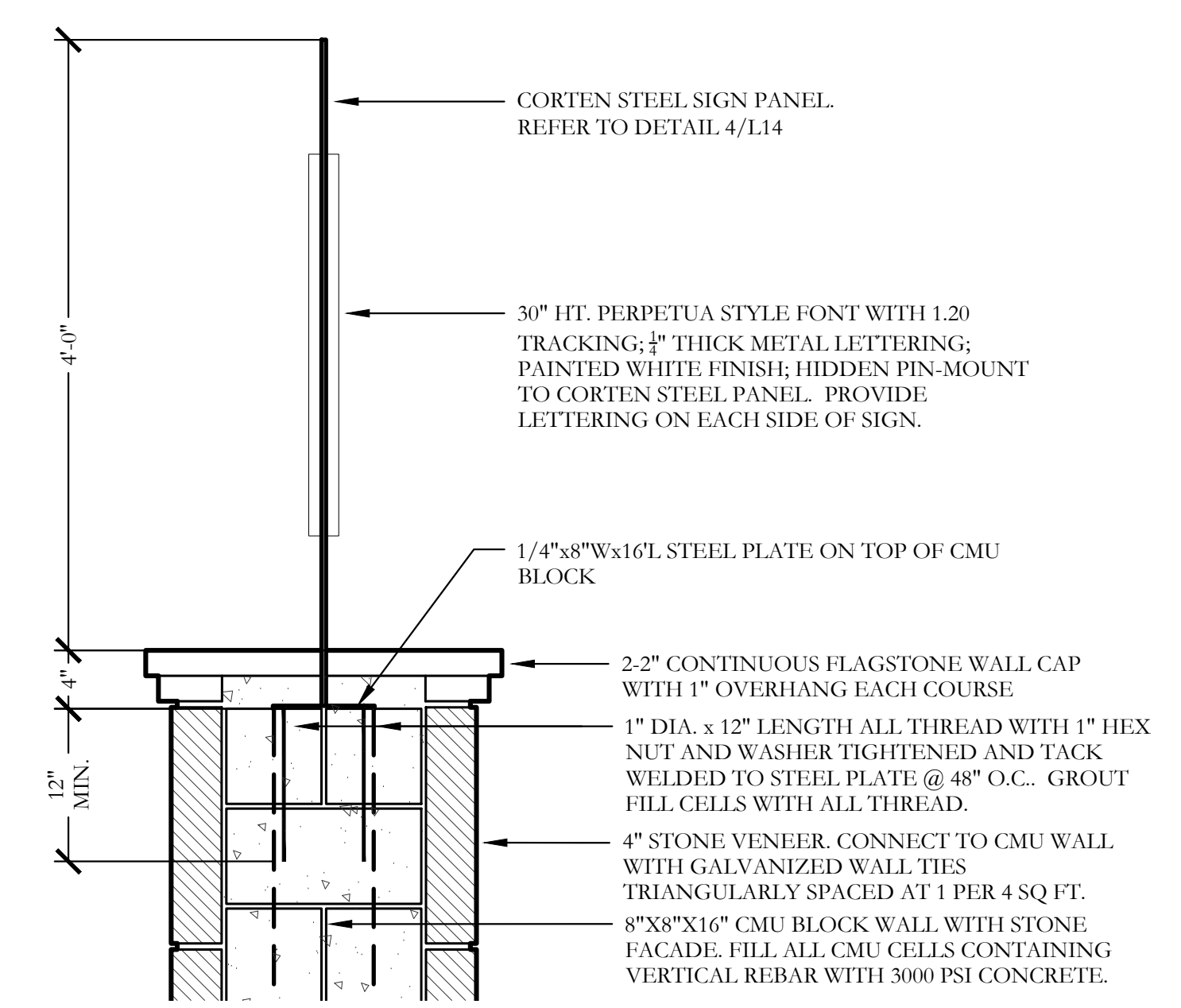
4 CORTEN STEEL SIGN PANEL ELEVATION SCALE: 1/4" = 1'-0"



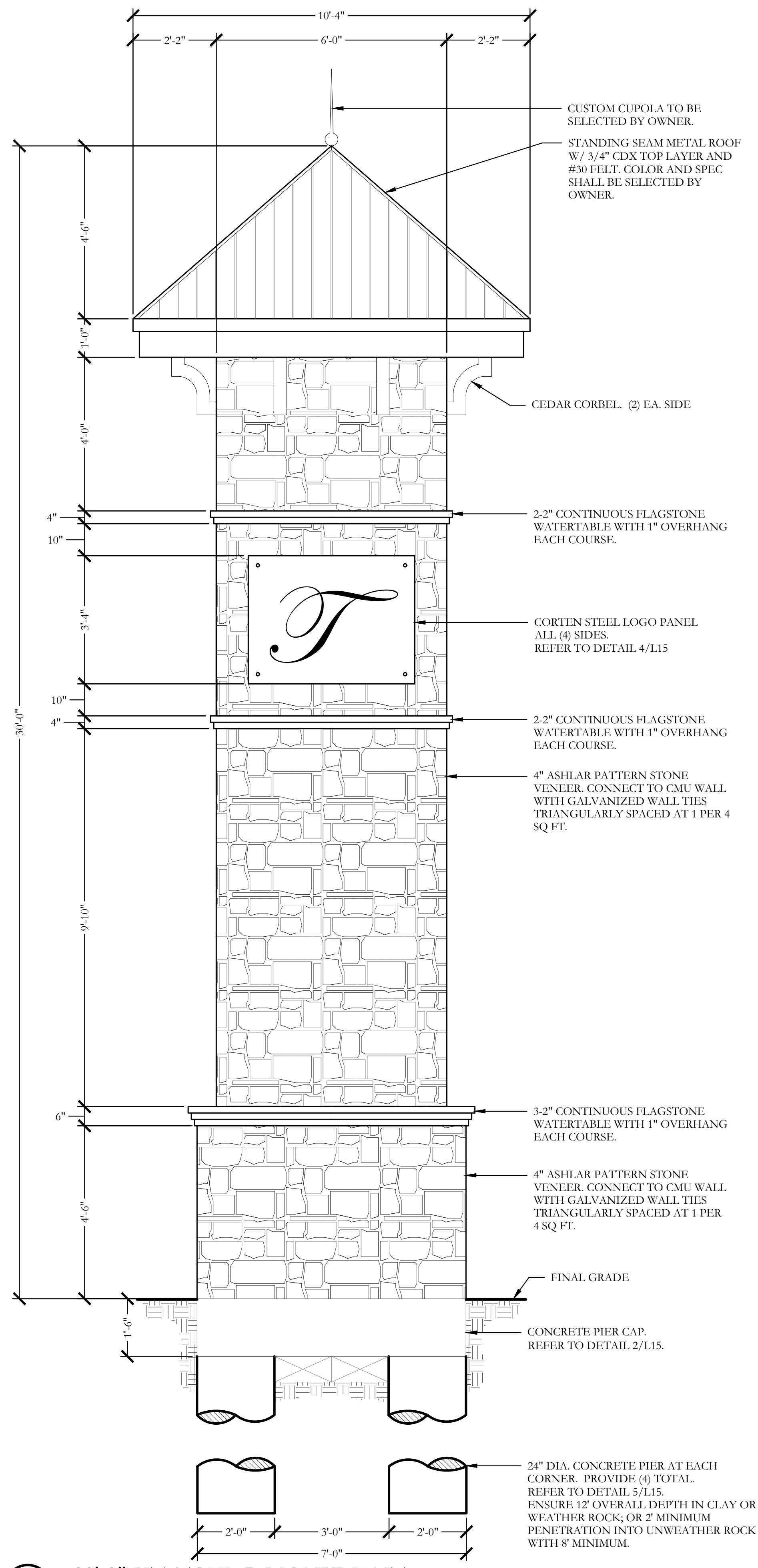
2 7'-0" MAIN ENTRY SIGN WALL SECTION SCALE: 3/4" = 1'-0"



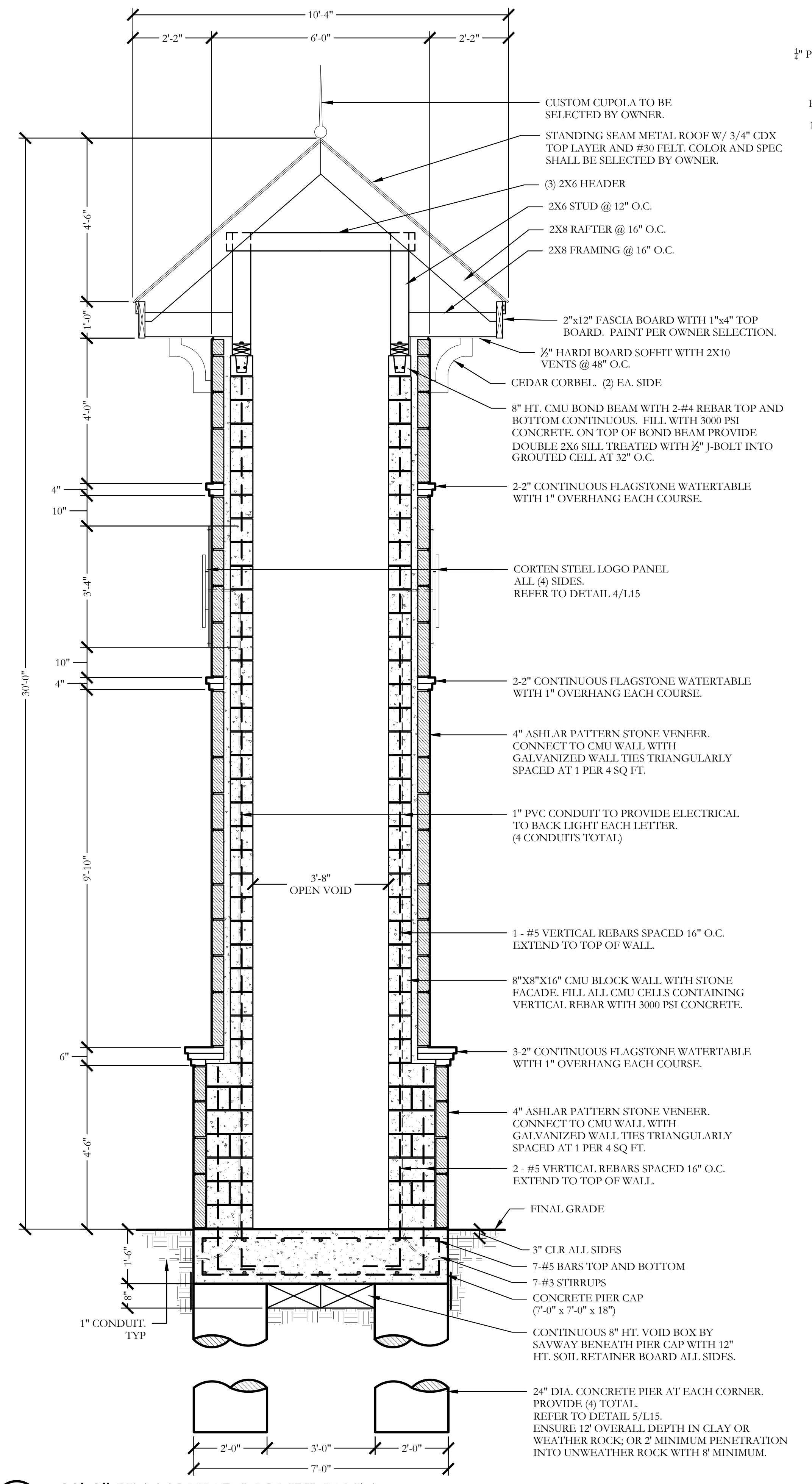
3 3'-0" MAIN ENTRY WALL SECTION SCALE: 3/4" = 1'-0"



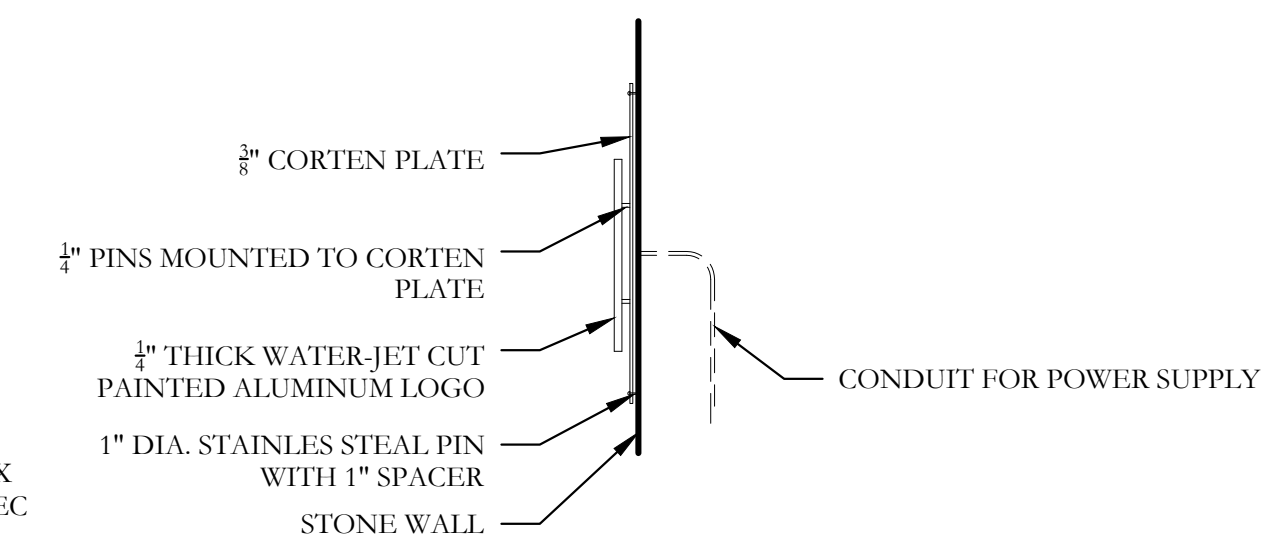
5 SIGN PANEL CONNECTION SECTION SCALE: 1" = 1'-0"



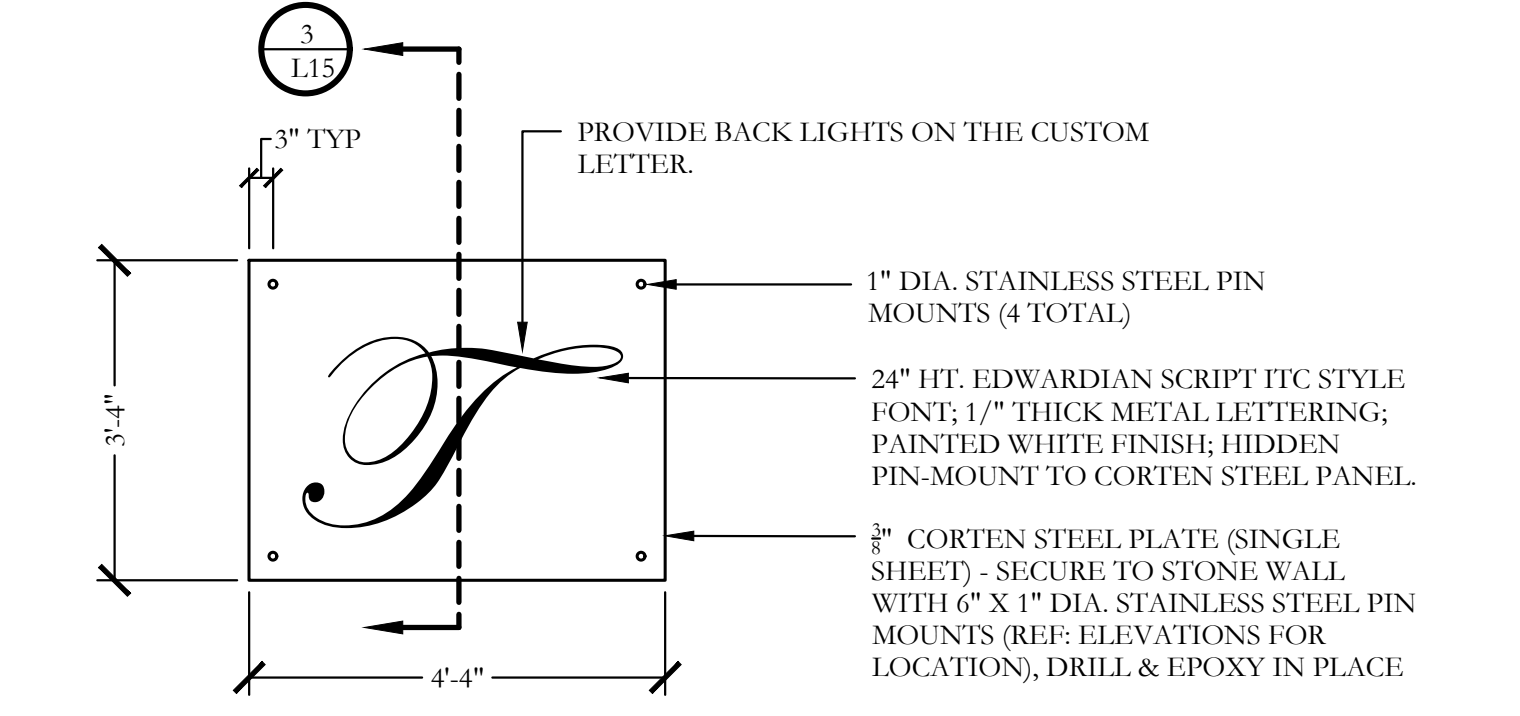
1 30'-0" HT. TOWER MONUMENT
ELEVATION
SCALE: 1/2" = 1'-0"



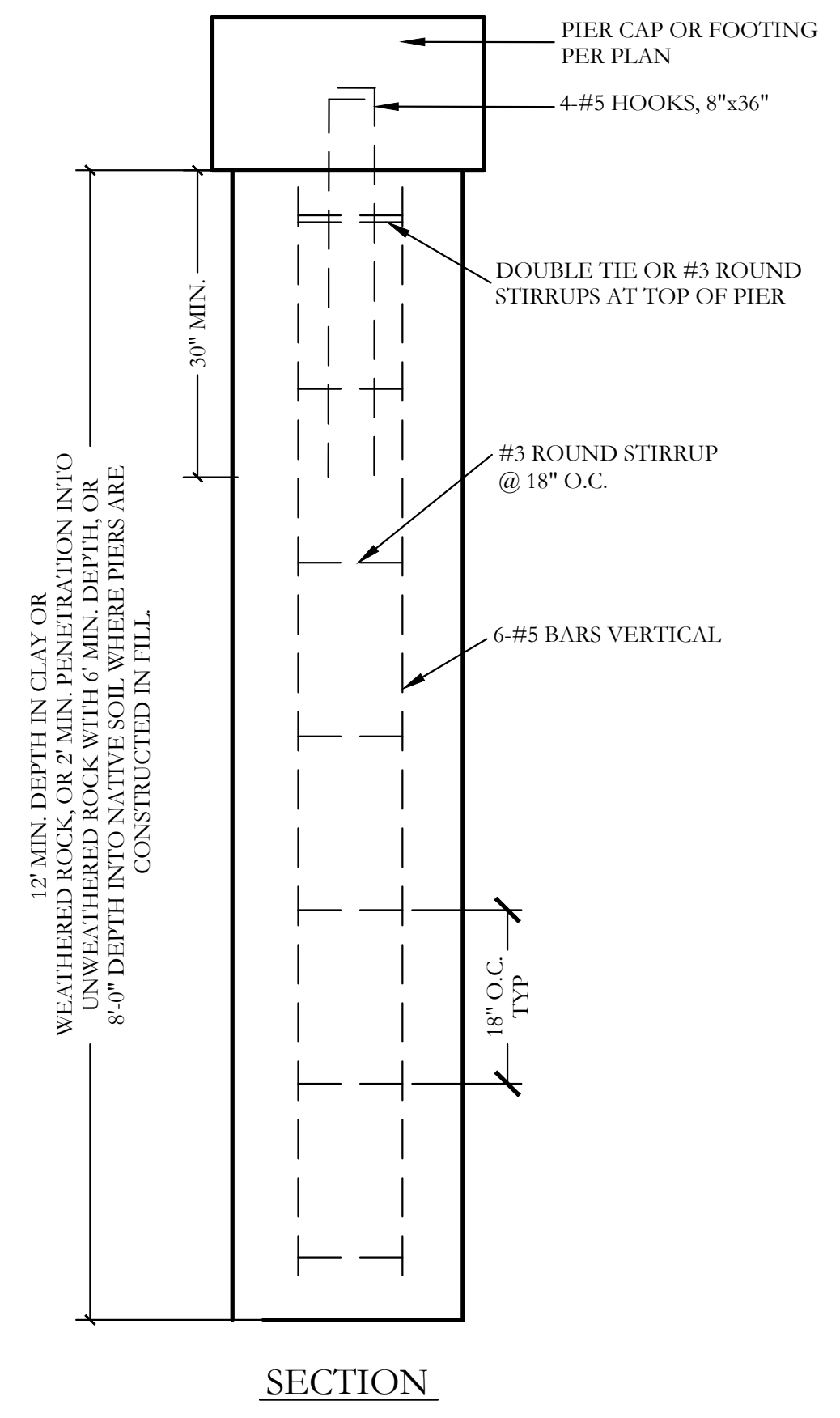
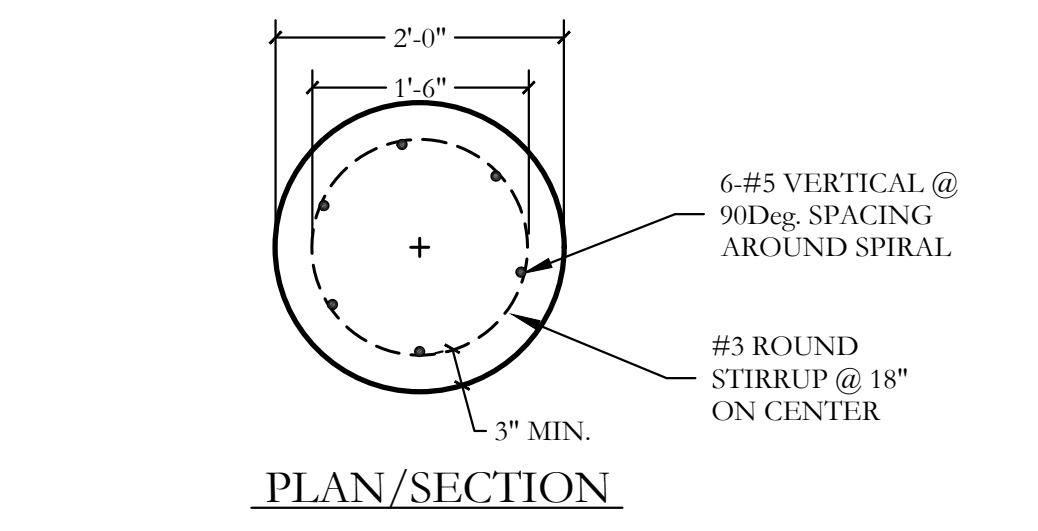
2 30'-0" HT. TOWER MONUMENT
SECTION
SCALE: 1/2" = 1'-0"



3 CORTEN STEEL LOGO PANEL
SECTION
SCALE: 1/2" = 1'-0"



4 CORTEN STEEL LOGO PANEL
ELEVATION
SCALE: 1/2" = 1'-0"



5 PIER (24" DIA.)
SECTION
SCALE: 3/4" = 1'-0"

Model: Steelworx Octagonal Shelter w/ Vented Top, 40'
Model # OC-40-SW-VT-612-TG-10E-CP

Manufacturing Mission: To provide all prefabricated components and installation instructions for a 40' octagonal (measured from eave to eave) free standing bolt together, tubular steel constructed shelter kit.

Design Criteria: Structure is typically designed for a 25 lb live load and a 90 mph wind load capacity, but can be designed based on specific site requirements upon request. All structural members are ASTM A-500 U.S. grade B steel. Welded connection plates shall be ASTM A-36 hot rolled steel. All fabrication performed to latest AISC standards by AWS Certified welders. All framing connections are done using A325 grade bolts within concealed access openings from above and will later be concealed by the roofing. All roof framing shall be flush against the roof decking to eliminate the possibility of bird nesting.

Tubular Steel Columns and Beams: Standard column dimension shall be 7" x 7" x 3/16" tubular steel welded to 5/8" base plates for surface mounting. Main support beams are 10" x 6" x 3/16" and purlins are between 6" x 4" x 3/16" to 5" x 3" x 1/8". Steel sizes are preliminary and may change due to ongoing review and final engineering.

Roof Deck: 2" x 6" (nominal) #1 Grade, end matched, single tongue and groove with V-joint bottom face, kiln-dried to an average of 15% moisture content, Southern Yellow Pine.

Roofing: 24 Ga. pre-cut steel Multi-Rib panels with Kynar 500 finish in a variety of colors with white underside. Roof slope is a 6/12 pitch with a eave height of 10'-0". Attached to structural framing with exposed screws painted to match roof color. Matching 24 Ga. trim included.

Frame Finish: All steel framework will receive a corrosion protective TGIC Polyester powder coat, electro-statically applied and cured at 400°F. A large selection of standard colors are available.

Foundation: All columns need to be anchored to concrete footings (footing design provided separately). Columns can be surface mounted to footings with anchor bolts at or below finish slab elevation or they can be embedded directly into the footing without base plates upon request. Anchor bolts and bracing templates are included. Optional base plate covers are available at an additional cost.

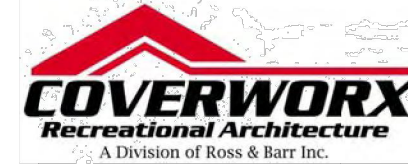
Hardware: All structural hardware and roofing fasteners shall be provided.

Warranty: 10 years against manufacturer defects.

Not Included: Concrete work of any kind, unloading of product and installation.

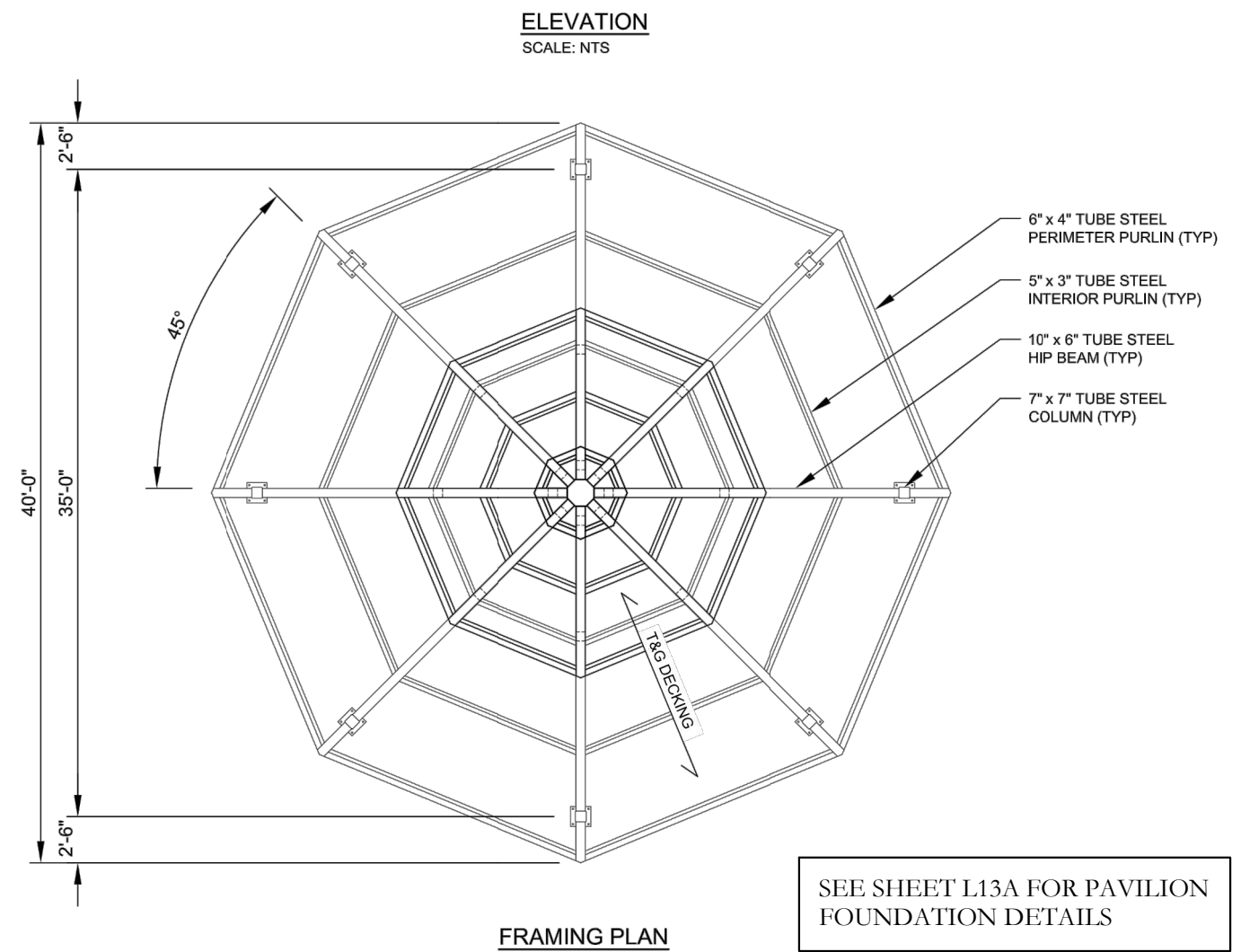
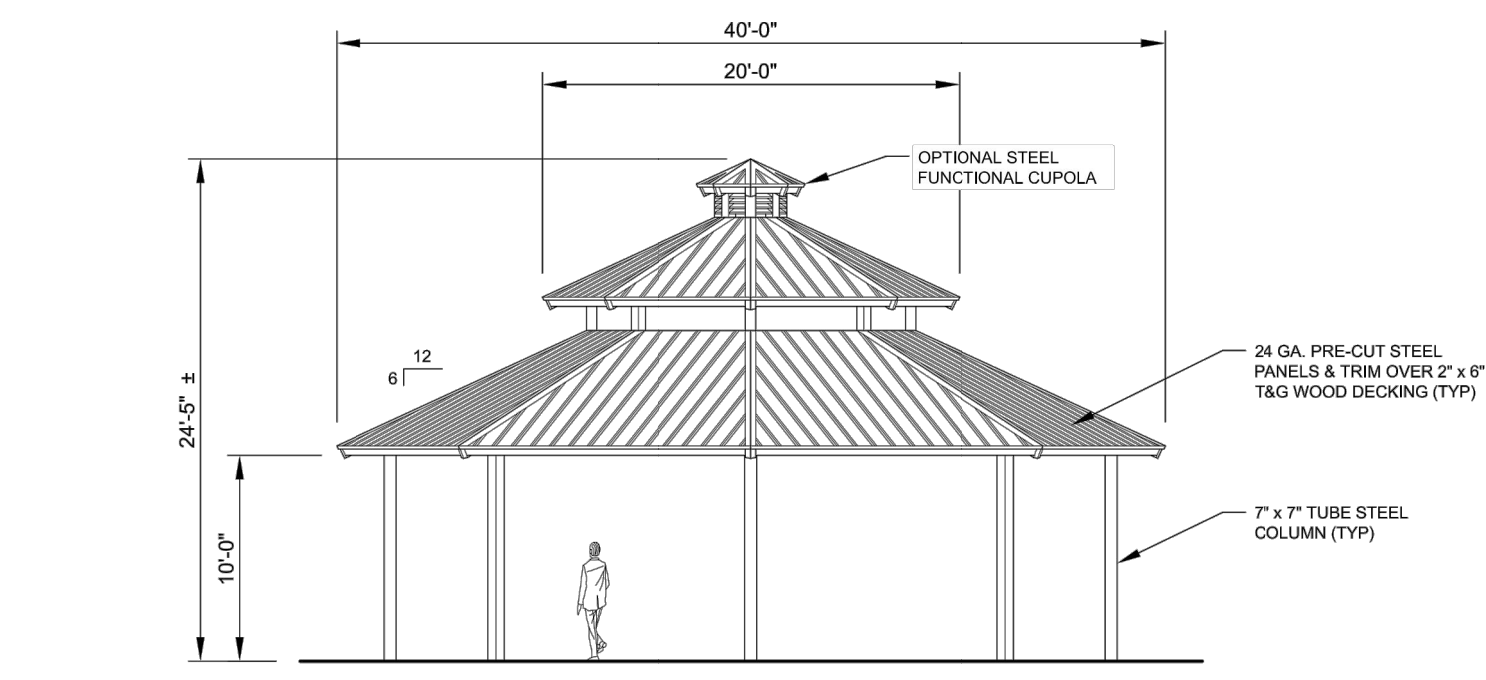
Additional Options:

- Flexibility of Design
- Such as: Height and Pitch
- Additional Engineering
- Variety of Colors
- Decorative Railings, Lattice, Braces, Trim, etc.
- Cupolas and Rooftop Accs.
- Column Style Variations
- Provisions for Electrical
- Lexan Wind Screens
- Tongue & Groove Roof Decking
- Asphalt Shingles, Standing Seam, Cedar Shake, or Clay Tile Roofing
- Composite Finished Ceiling
- Site Furnishings and Accs.
- Solar Panels & Solar Lighting



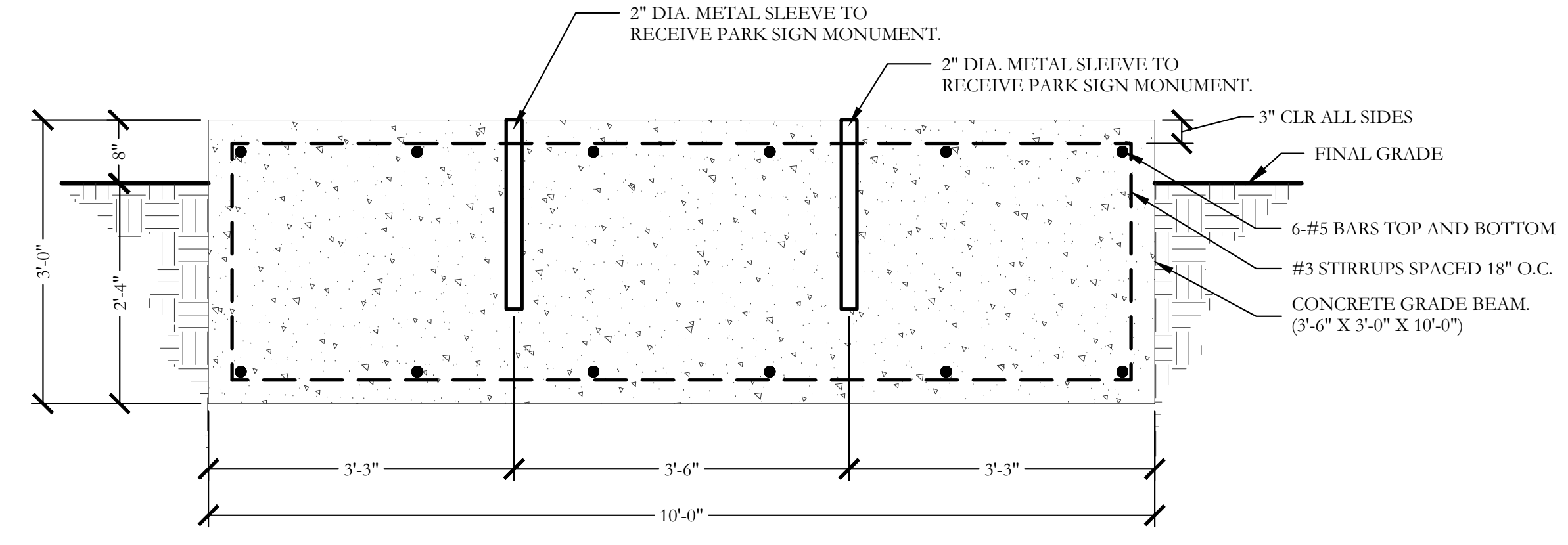
11800 East 9 Mile Road
Warren, MI 48093
Office: (586) 486-1088
Fax: (586) 724-9130
Toll Free: (800) 657-6118
Email: info@coverworx.net
www.CoverWorx.net

Steelworx Octagonal Shelter w/ Vented Top - 40'
 Model: OC-40-SW-VT-612-TG-10E-CP
 DESIGN SPECIFICATIONS



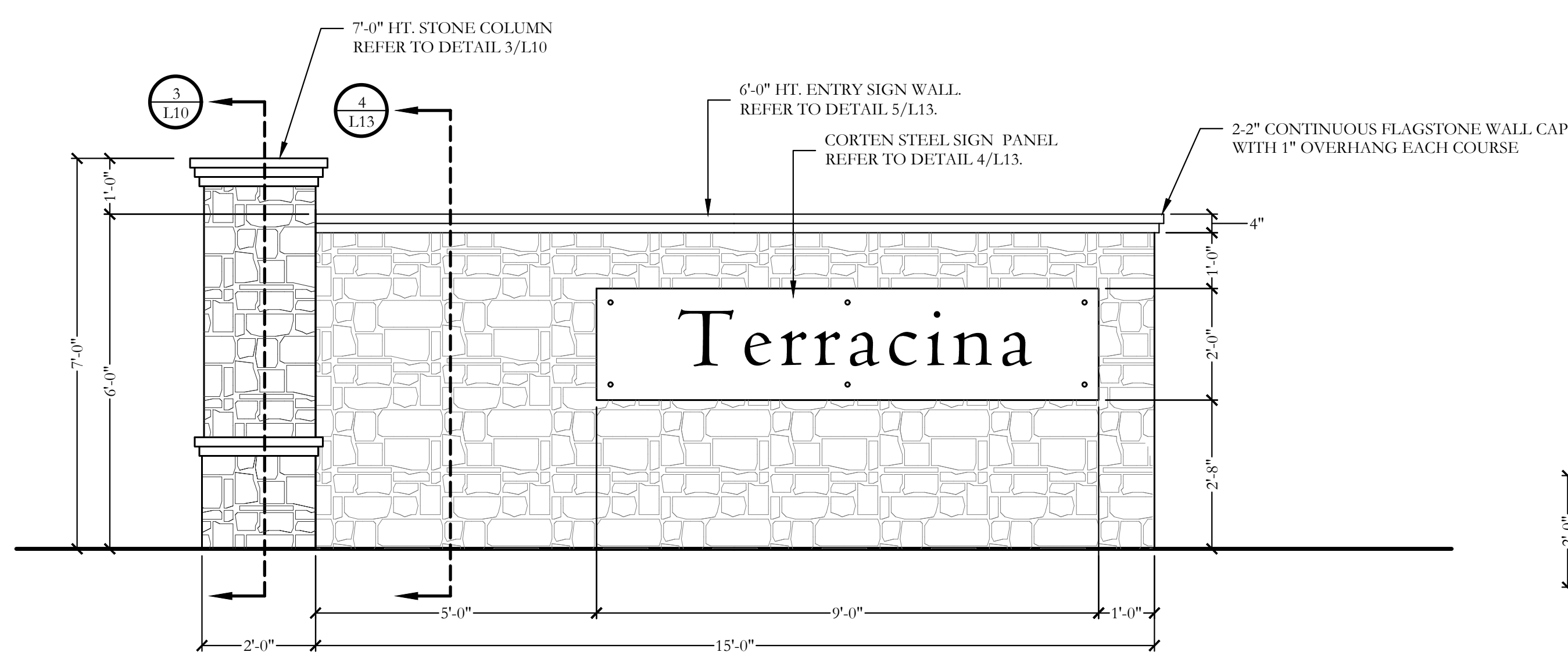
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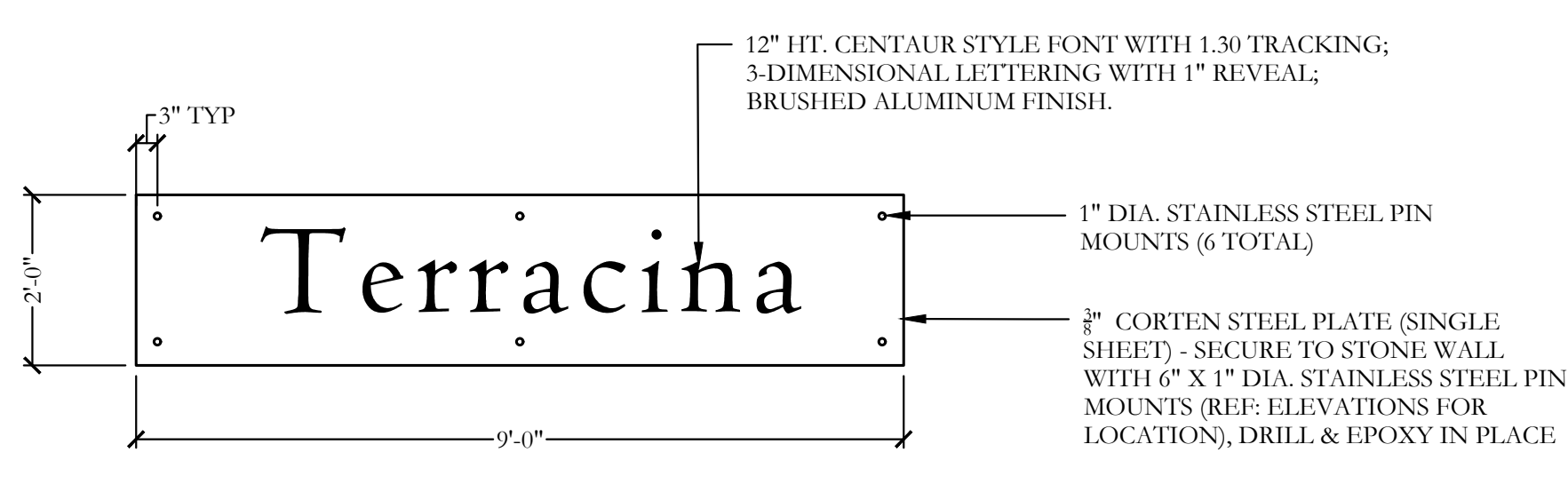


3 PARK SIGN BASE SECTION
 SCALE: 3/4"=1'-0"

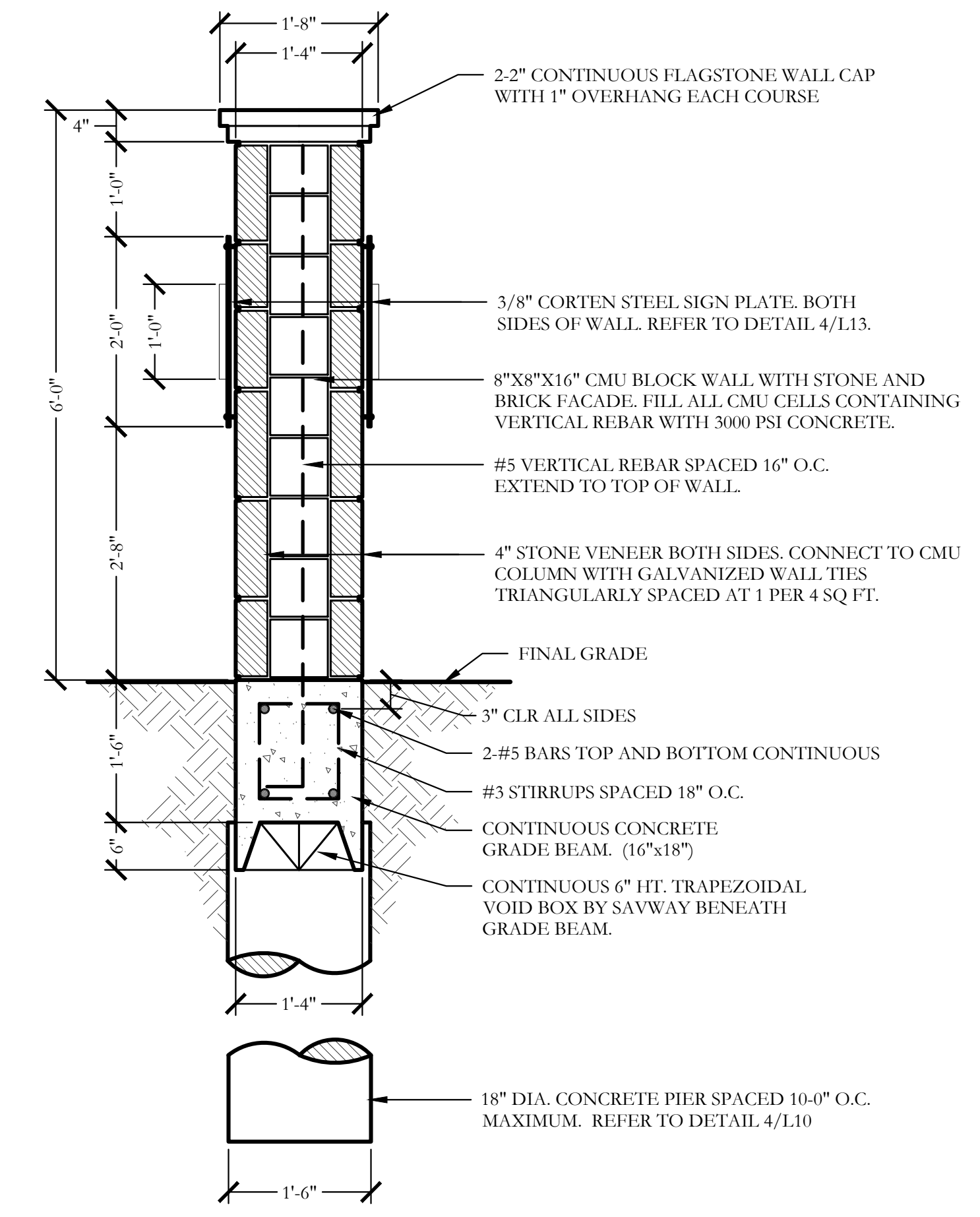
1 HEXAGONAL PAVILION DETAILS
 PLAN/SECTION



2 ENTRY SIGN PANEL ELEVATION
 SCALE: 1/2"=1'-0"



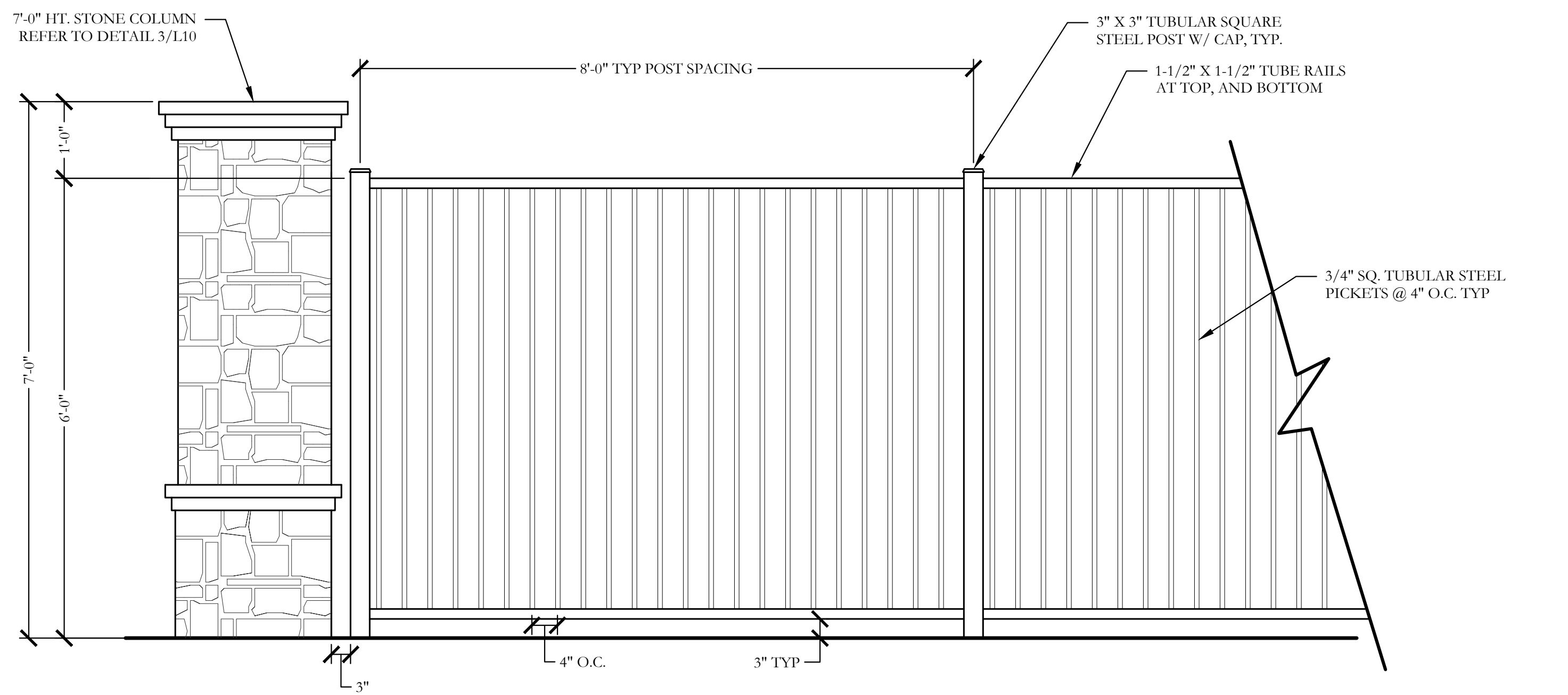
4 CORTEN STEEL SIGN PANEL ELEVATION
 SCALE: 1/2"=1'-0"



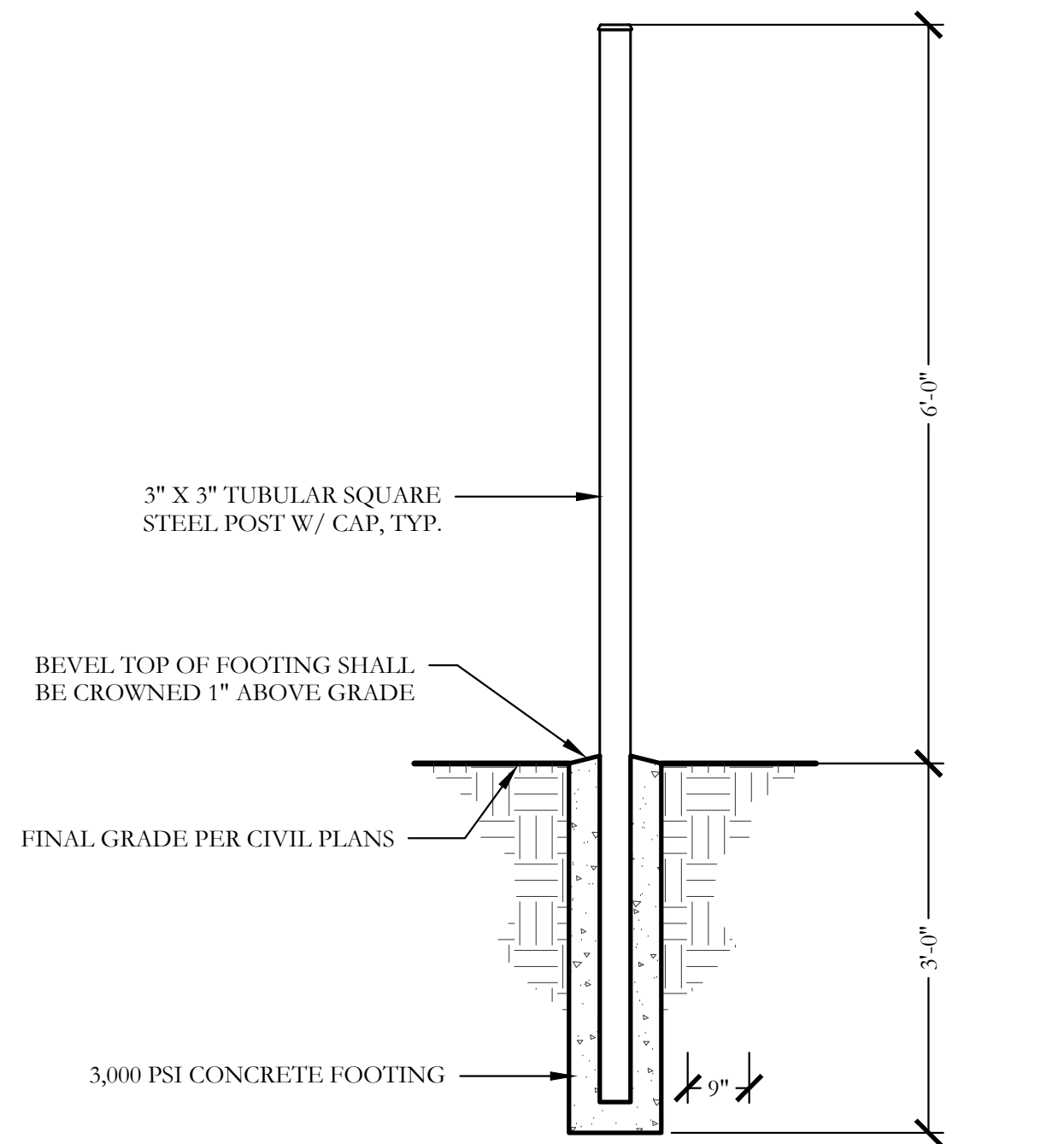
5 6'-0" HT. ENTRY SIGN PANEL SECTION
 SCALE: 3/4"=1'-0"

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

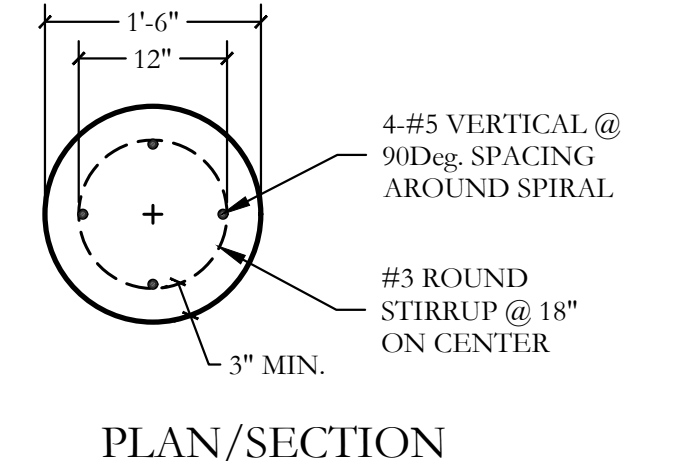
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
 One Inch



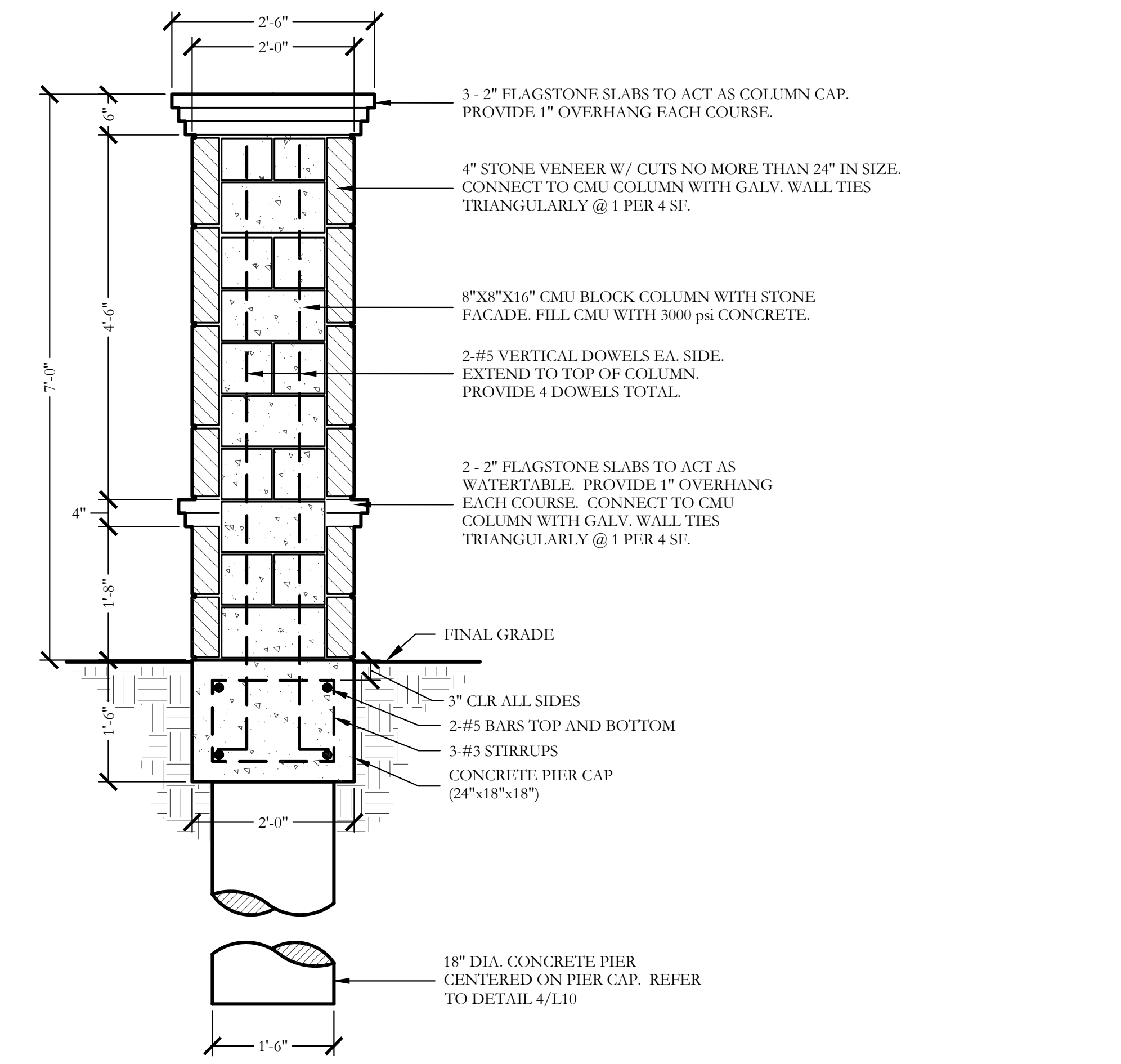
1 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 3/4" = 1'-0"



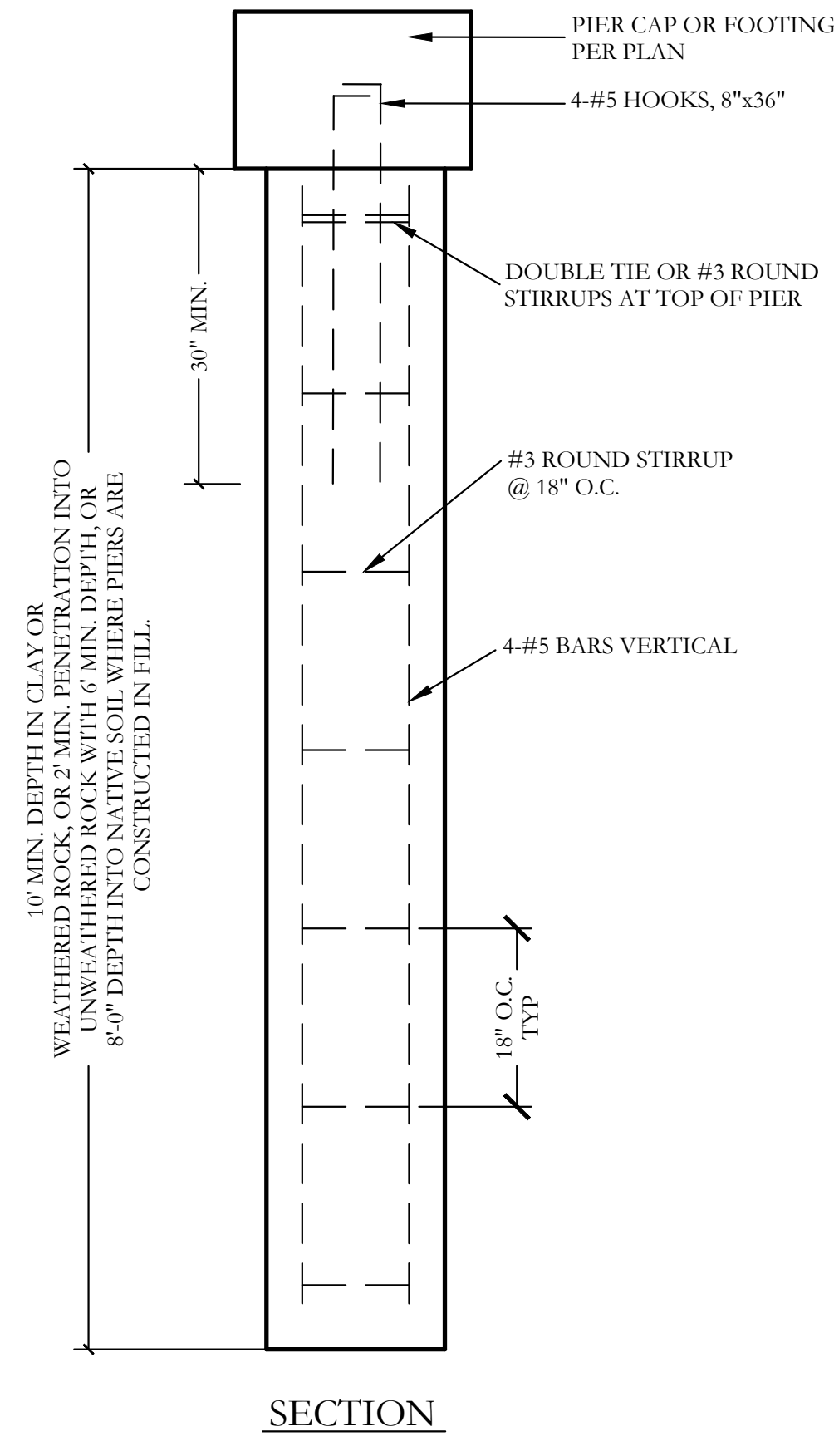
2 TYPICAL METAL POST FOOTING SECTION SCALE: 3/4" = 1'-0"



PLAN/SECTION



3 7'-0" HT. STONE COLUMN SECTION SCALE: 3/4" = 1'-0"



4 PIER (18" DIA.) SECTION SCALE: 3/4" = 1'-0"

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - 10.3. POSTS, 3" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

WALL NOTES

1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A62, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. REFER TO DETAILS FOR TYPE AND SIZE OF BRICK AND STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S, MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND FLAGSTONE VENEER SHALL BE SELECTED BY OWNER.
12. VERIFY ALL DIMENSIONS IN THE FIELD BEFORE MANUFACTURING STONE AND STONE SLABS USED FOR THE SIGN MONUMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
14. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
15. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB. DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
16. CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
17. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNER'S REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
18. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED. THE CITY OF ROCKWALL WILL REQUIRE A SEALED CERTIFICATION THAT THE WALL CONSTRUCTION WAS PERFORMED IN ACCORDANCE WITH THE DESIGN DRAWINGS.

WALL LAYOUT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

CODY JOHNSON
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
PH: (972) 570-0162
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

STATE OF TEXAS
RICHARD REAVES
91128
LICENSED PROFESSIONAL ENGINEER

June 16, 2020

REAVES CONSULTING
831 ARROWHEAD DRIVE
PROSPER, TEXAS 75078
972-347-3908
RICHARD@REAVESCONSULTINGLLC.COM

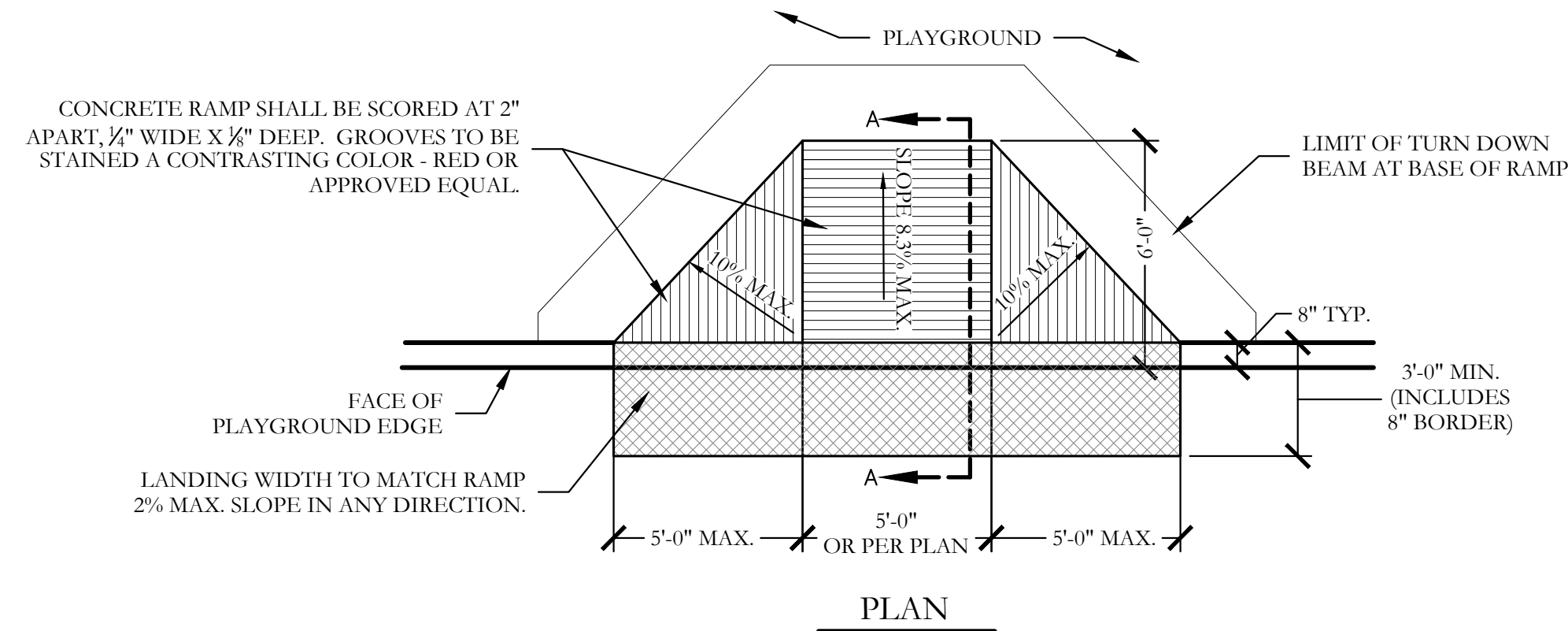
F-10826

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One Inch

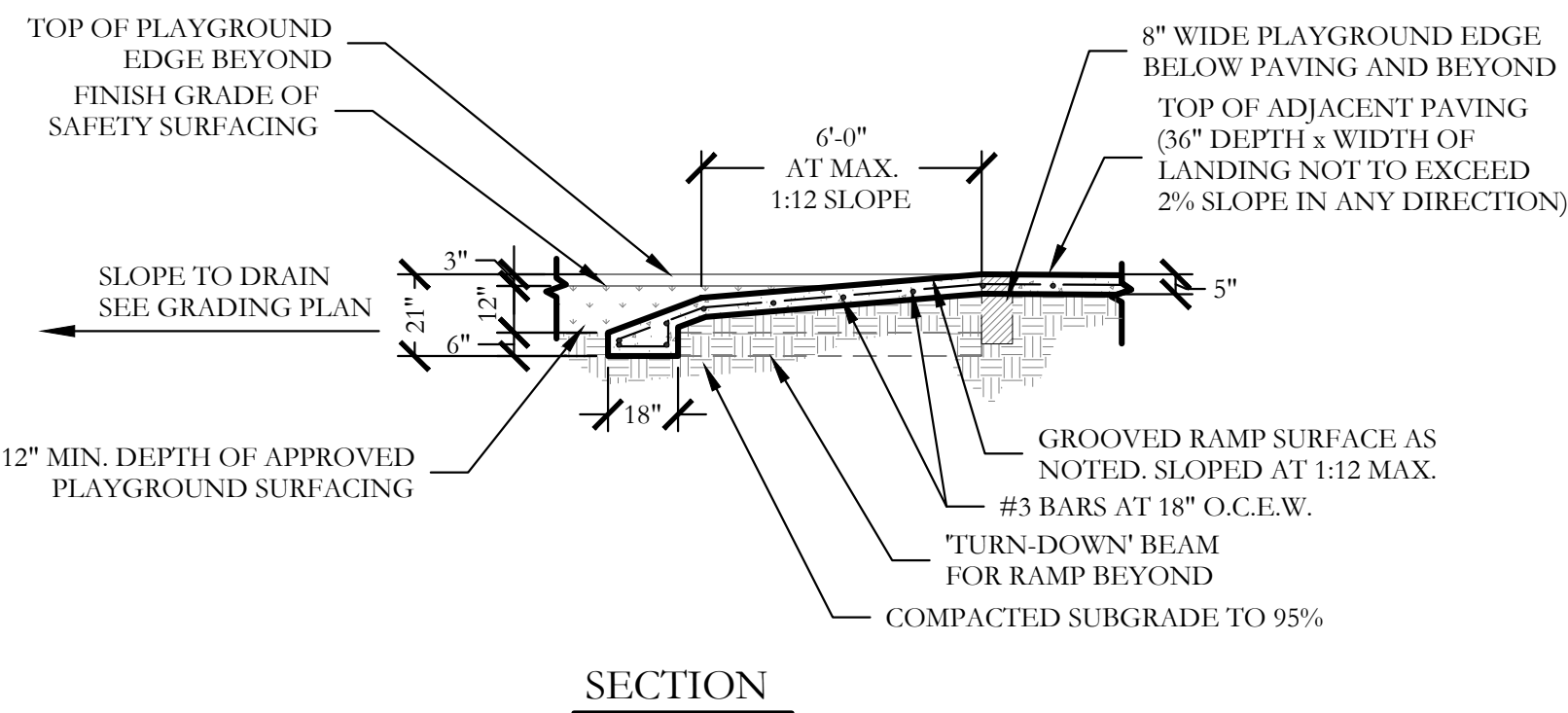
SCREENING AND BUFFERING
Landscape Details
Terracina - Tract 1
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
DPI006
SHEET NO.
L10 of 18



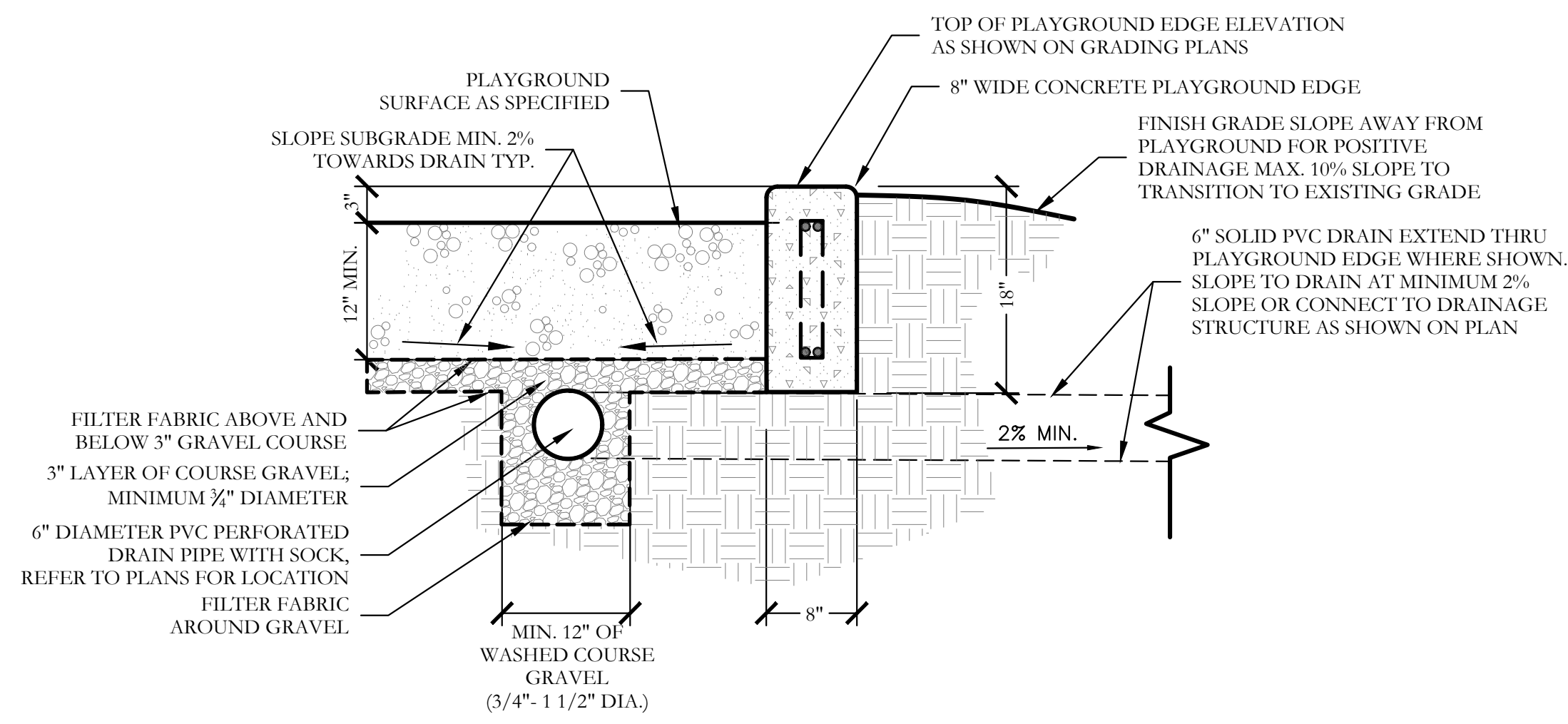
1 PLAYGROUND CURB RAMP DETAILS
VARIES

SCALE: 1/4" = 1'-0"



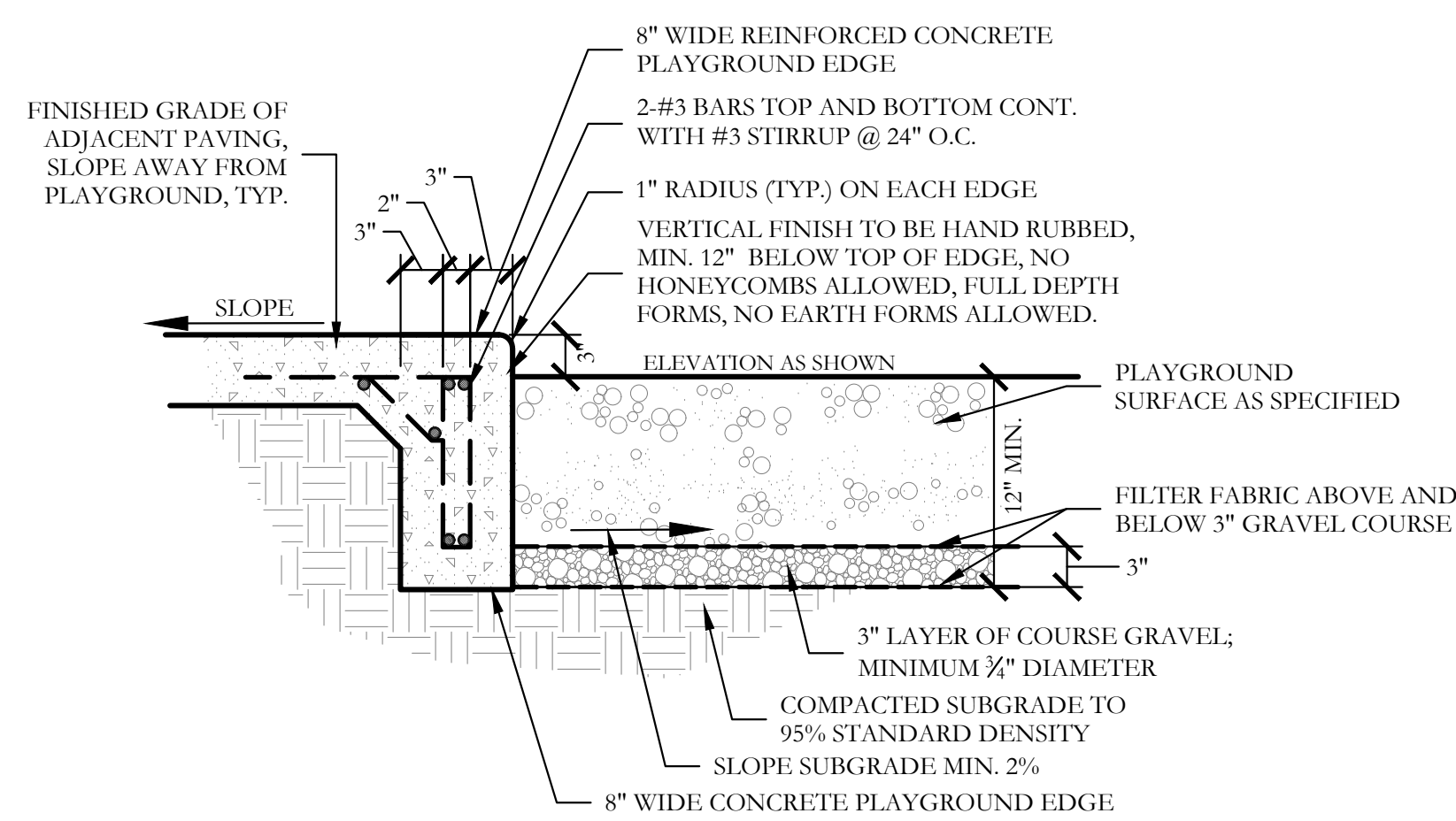
2 CONCRETE PLAYGROUND EDGE DETAIL
SECTION

SCALE: 1" = 1'-0"



3 PLAYGROUND DRAIN DETAIL
SECTION

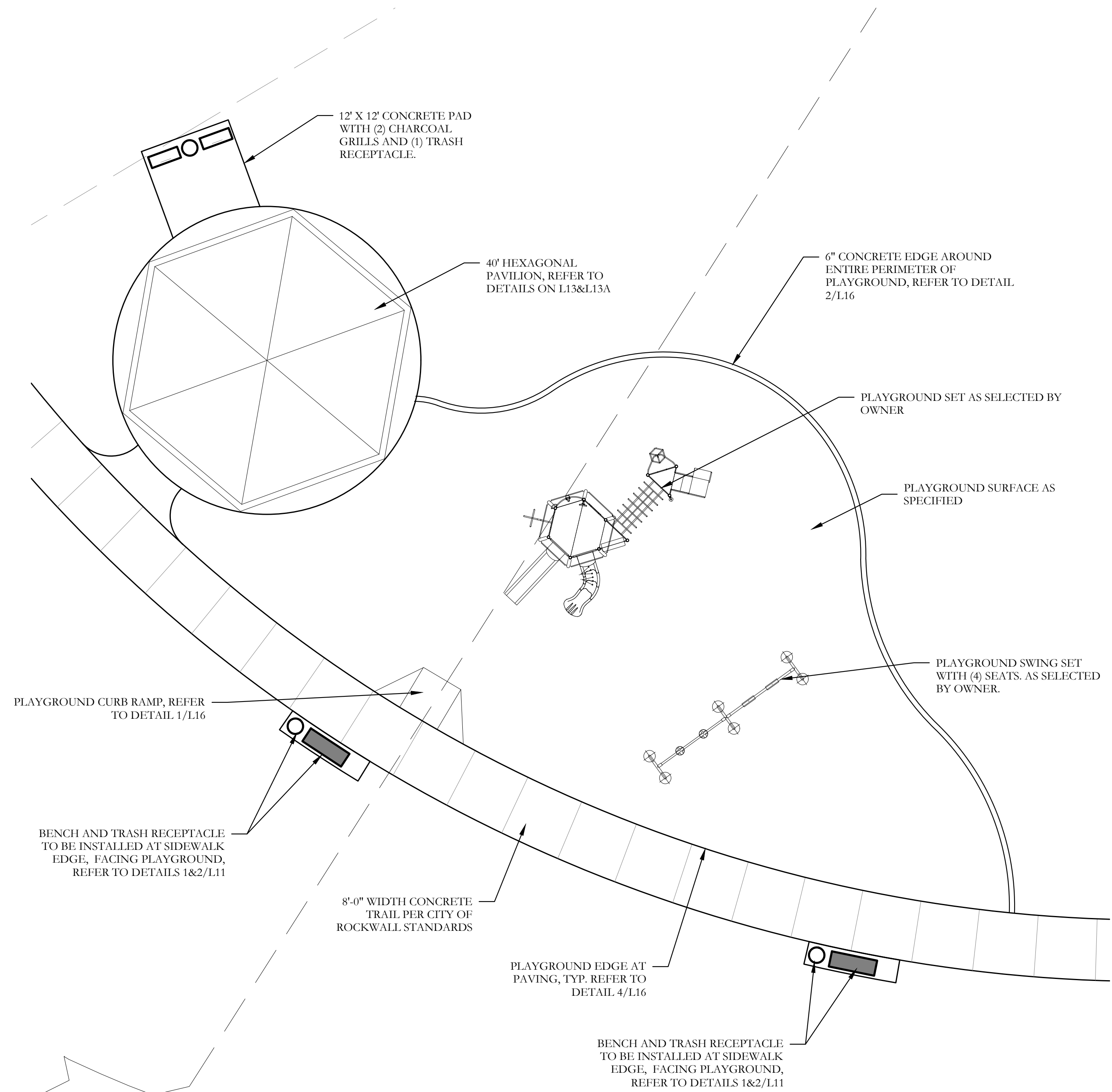
SCALE: 1" = 1'-0"



4 CONCRETE PLAYGROUND EDGE AT PAVING
SECTION

SCALE: 1" = 1'-0"

- PLAYGROUND NOTES:**
1. PLAYGROUND SURFACE TO BE APPROVED ENGINEERED HARDWOOD FIBER CHIPS.
 2. 1/2" REDWOOD EXPANSION JOINTS SHALL BE PROVIDED WHERE SHOWN ON THE PLAN. EXPANSION JOINTS SHALL BE CONTINUOUS THROUGH THE WALK AND CONCRETE EDGE WHERE ADJACENT. INSTALL VERTICAL EXPANSION JOINTS IN PLAYGROUND EDGE ON MAXIMUM 30 FOOT CENTERS.
 3. CONTRACTOR TO EXCAVATE FULL DEPTH OF PLAYGROUND BORDER WHERE SHOWN AS AREA TO BE EXCAVATED.
 4. ALIGN RAMP WITH TRANSFER STATION OF PLAYGROUND EQUIPMENT



5 PLAYGROUND ENLARGEMENT
PLAN

SCALE: 1" = 10'-0"

September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

		P.O. Box 22326 Lincoln, NE 68542	PF: 402/421-9464 FX: 402/421-9479	WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com
TITLE CITYVIEW BACKED BENCH	PRODUCT NO. CV1-1000	INCH TOLERANCES U.O.S. FRACTION--1/16" ANG-----±1°	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	

*Available in powder coat and DuraCoat finishes

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Materials List
 (1) Seat Straps - 5/16" x 1 1/2" Steel Flat Bar
 (2) Support Pipes - ϕ 1.315" x 1.333" Steel Pipe
 (3) End Units - 1" Square Solid Steel Bar
 (4) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole
 (5) Mounted with Four ϕ 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

1 BENCH

		P.O. Box 22326 Lincoln, NE 68542	PF: 402/421-9464 FX: 402/421-9479	WEBSITE: www.sitescapesonline.com E-MAIL: info@sitescapesonline.com
TITLE CITYVIEW TRASH RECEPTACLE	PRODUCT NO. CV2-1000	INCH TOLERANCES U.O.S. FRACTION--1/16" ANG-----±1°	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.	

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Materials List
 (1) Vertical Straps - 5/16" x 1 1/2" Steel Flat Bar
 (2) Top Ring - ϕ 5/8" Steel Round Bar
 (3) Support Rings - 1/4" x 2" Steel Flat Bar
 (4) Support Bars - 1/2" x 1" Steel Flat Bar
 (5) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole
 (6) Lid - ϕ 24" x .075" Wall Steel Lid
 Attached to Basket with Stainless Steel Airline Cable
 (7) Mounted with Three ϕ 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)
 (8) 40 Gallon Rigid Plastic Liner with Handles Included

2 TRASH RECEPTICAL

3 PET WASTE STATION

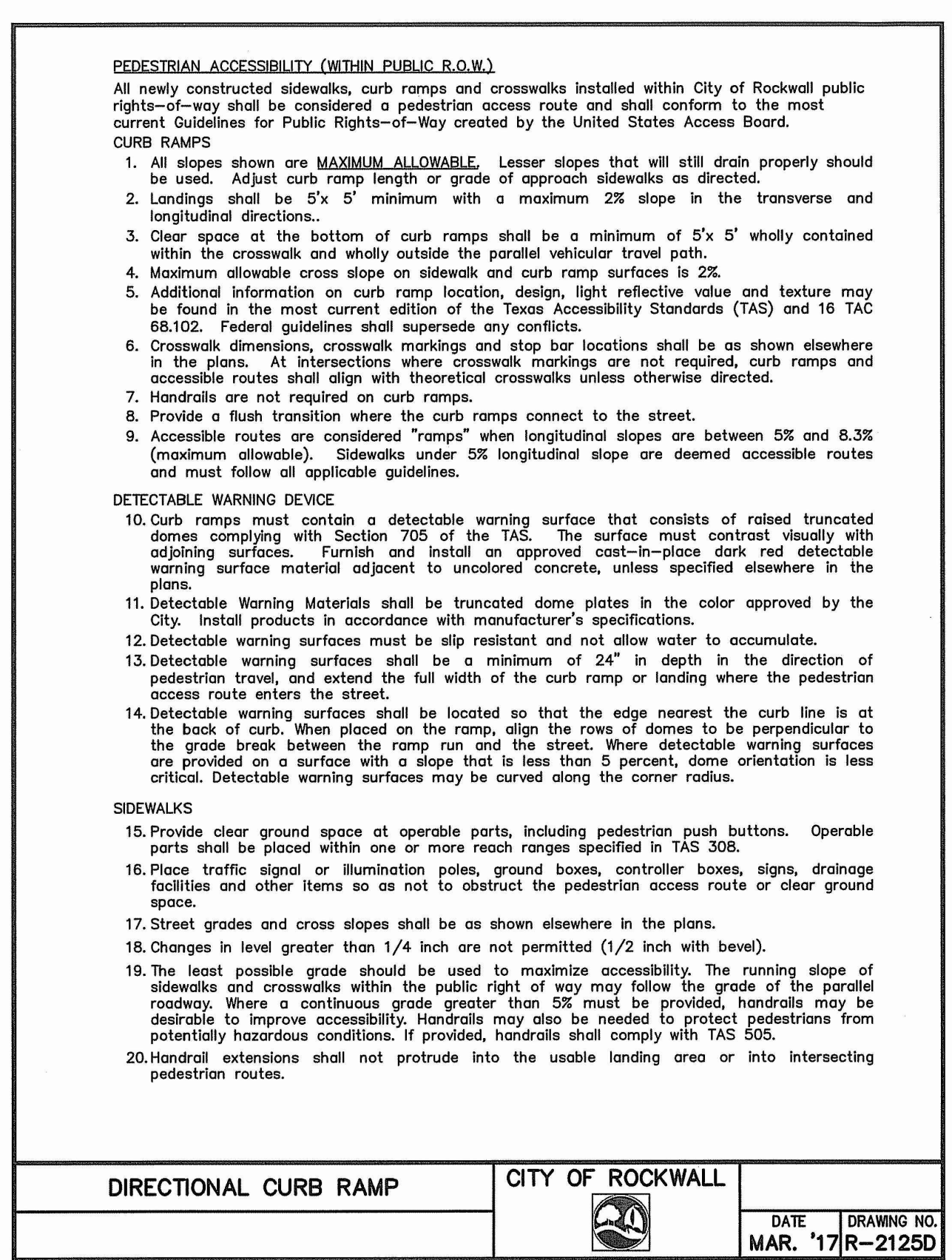
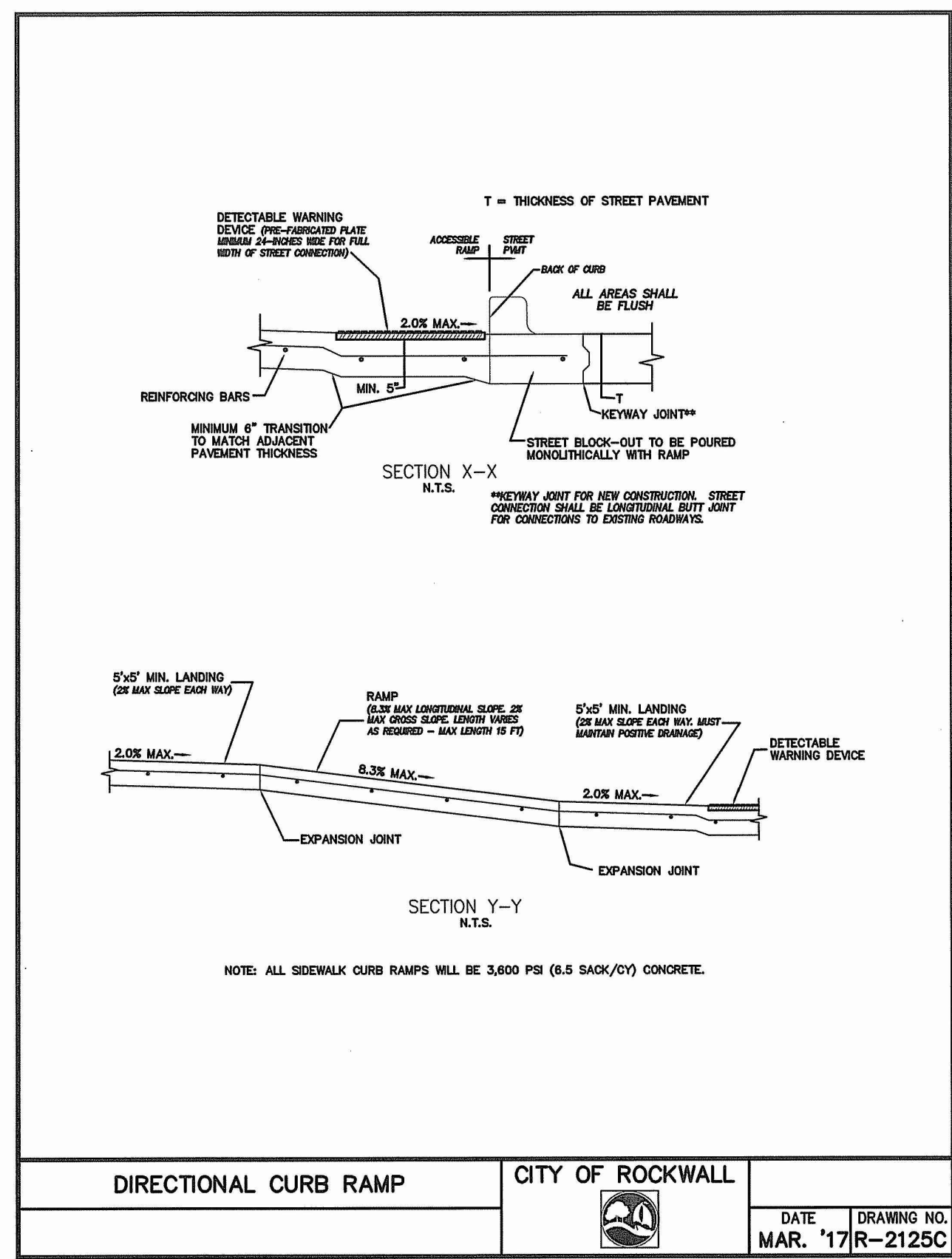
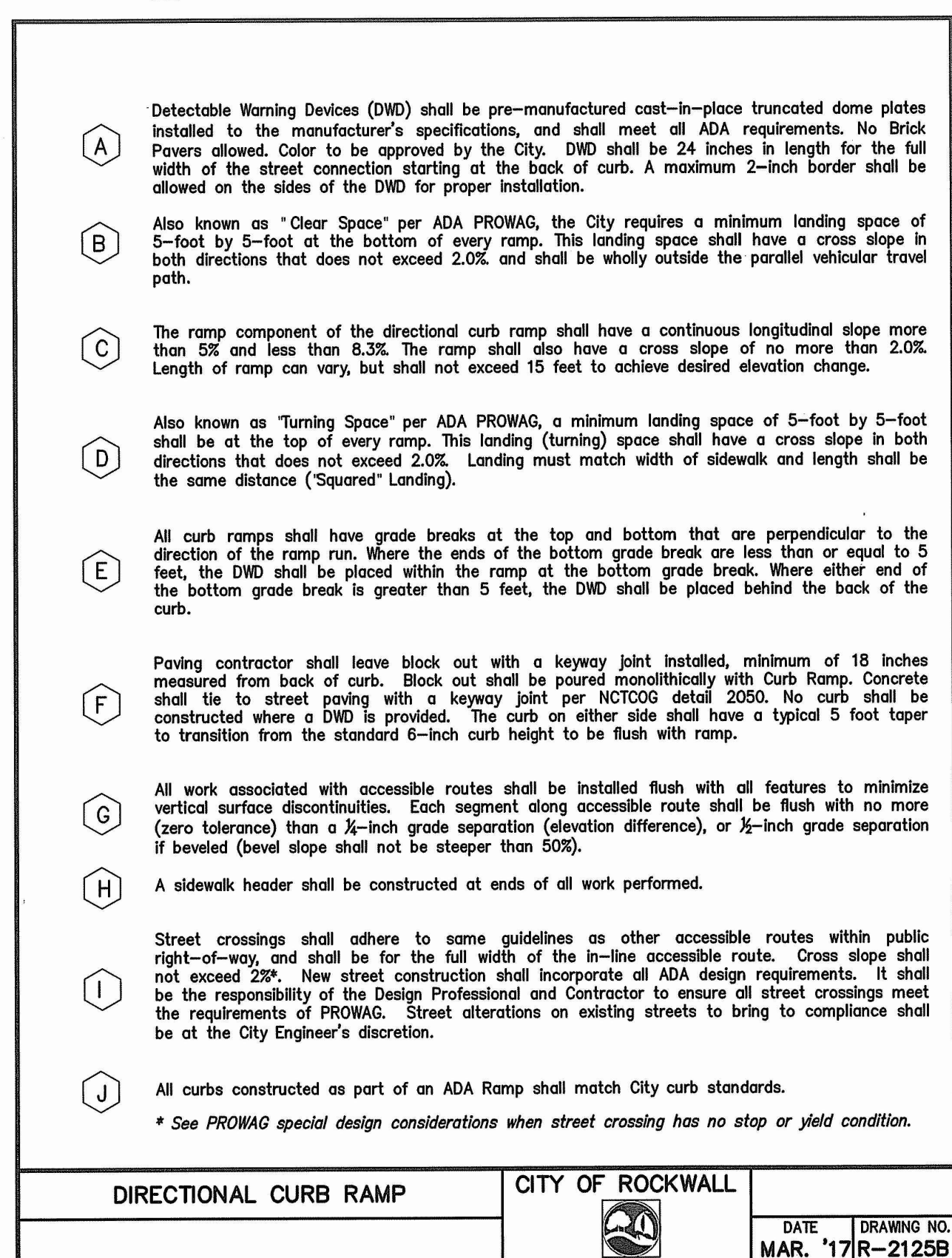
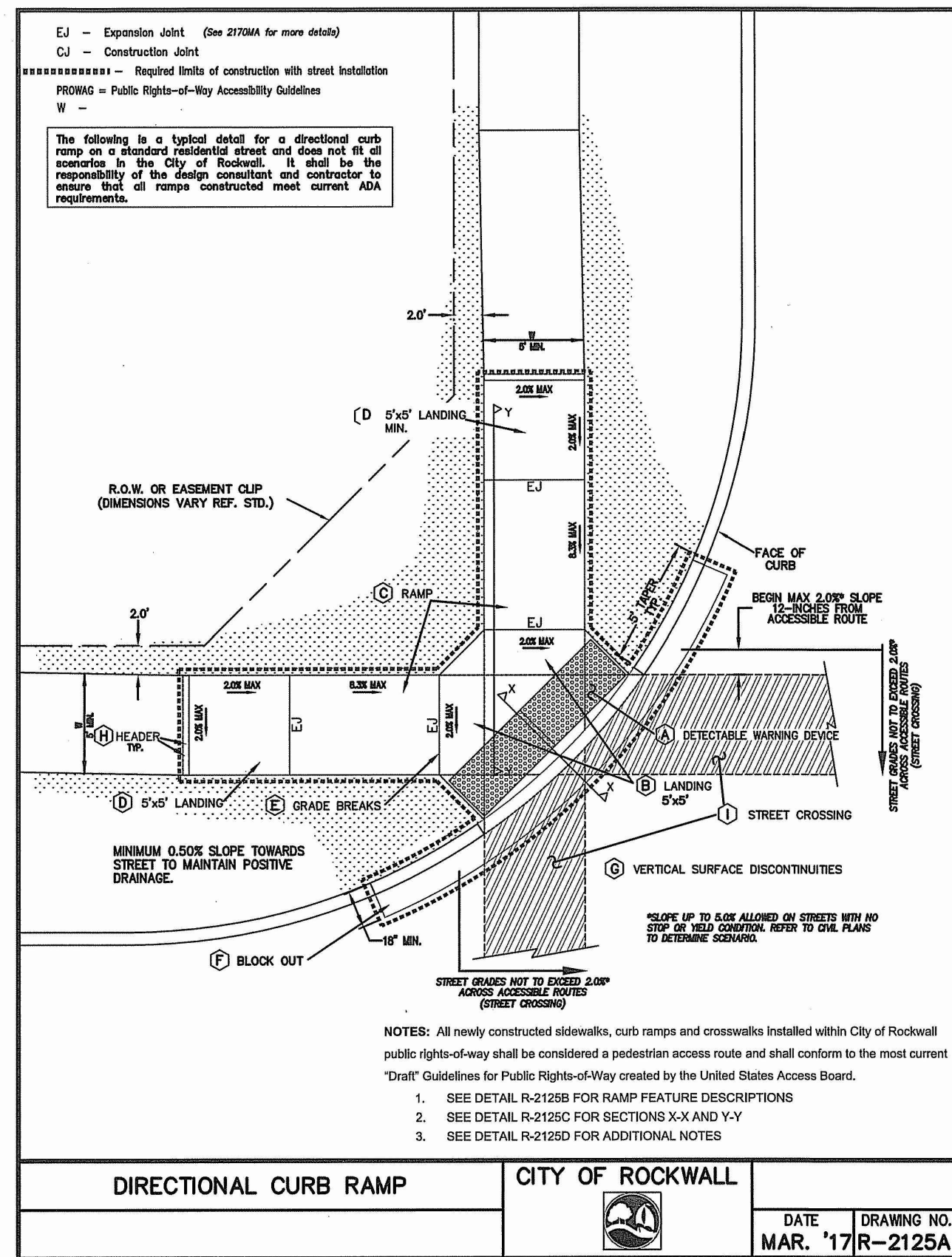
DOGIPOT Complete Pet Station

The new DOGIPOT Pet Station includes a powder coated lid, hinged and attached directly to the 10 gallon waste receptacle. We have also invented a better and improved product entitled the 4' - 8' Galvanized Telescope Square Post. This rust-resistant post will be shipped as a 4' long and 2" x 2" wide package, and comes with the hardware to extend the post to any desired length between 4' and 7+ foot. Both of our reflective aluminum signs, "On-Leash" or "Pet Exercise Area" are available for an economical price in Accessories.

ALL INCLUSIVE FEATURES:

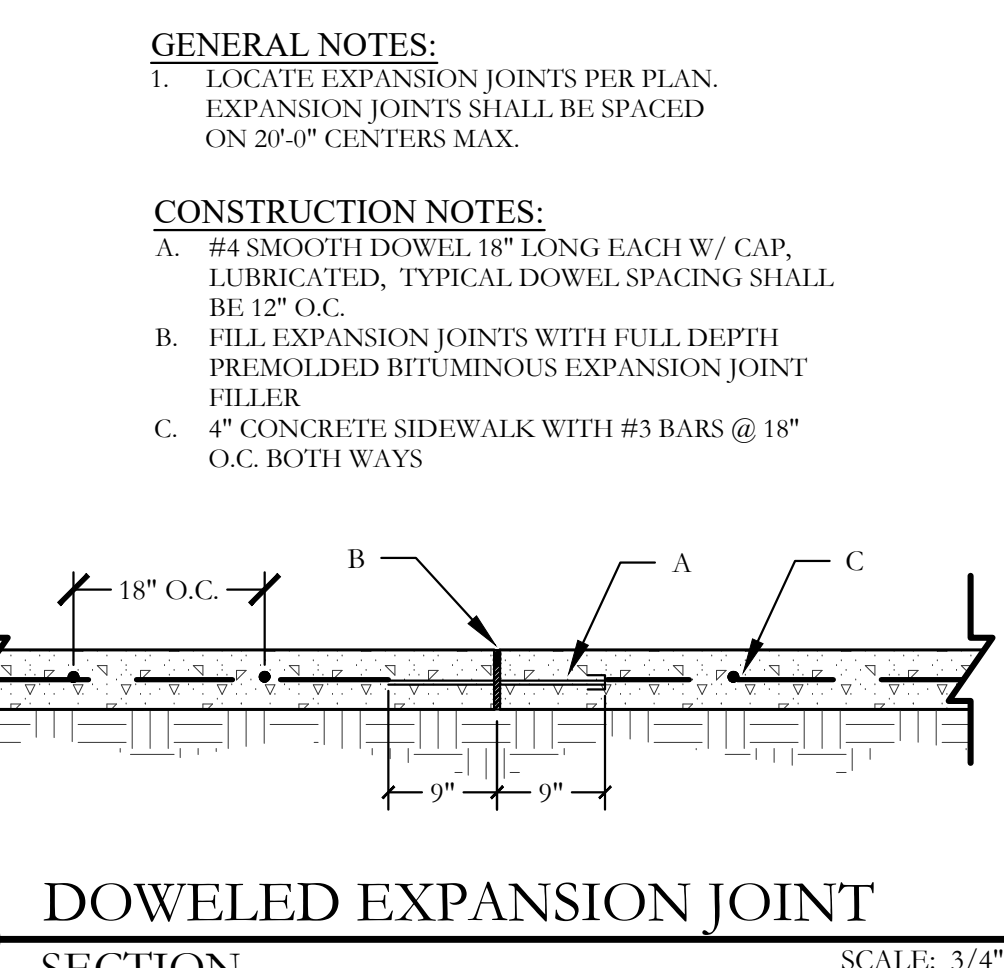
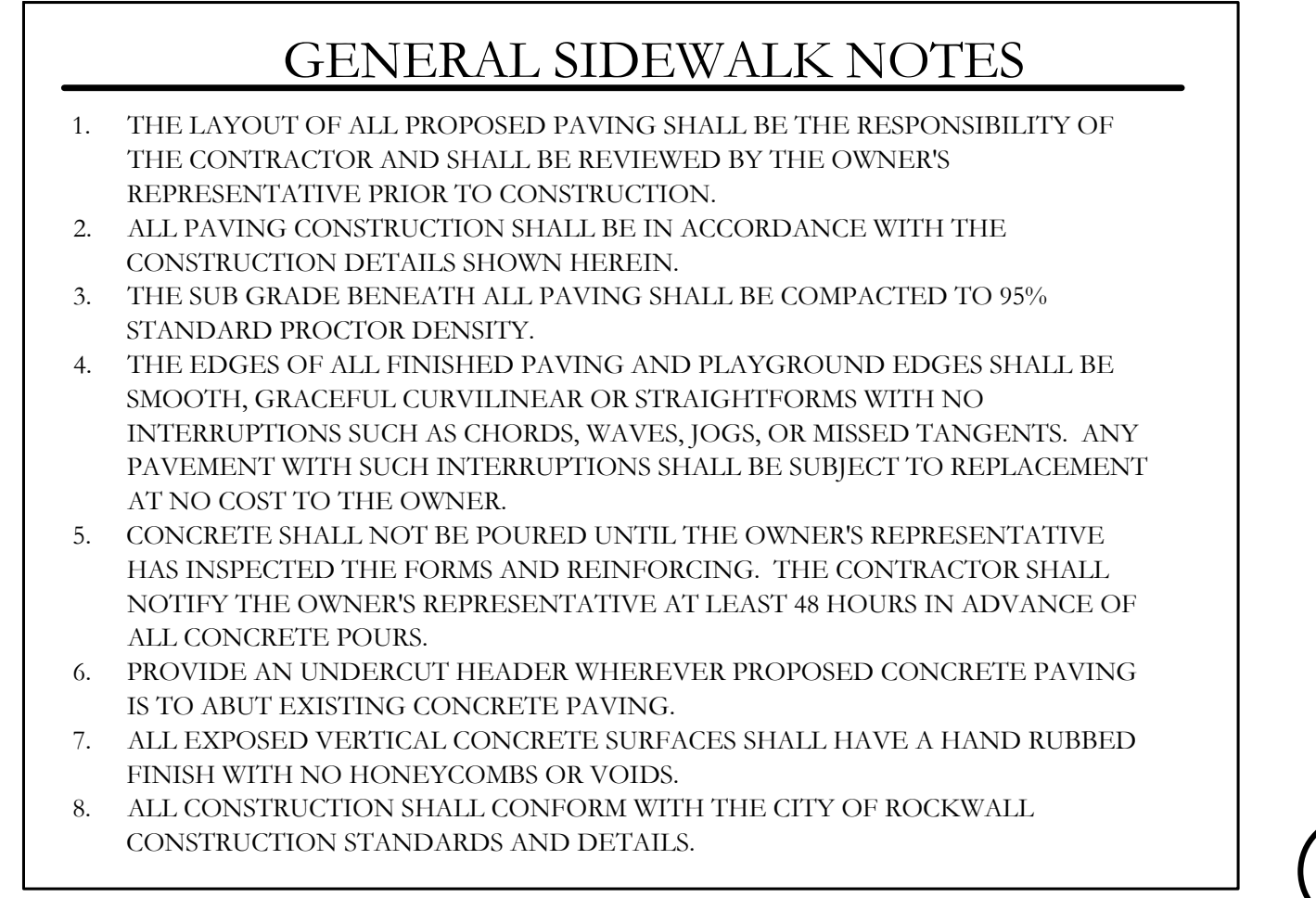
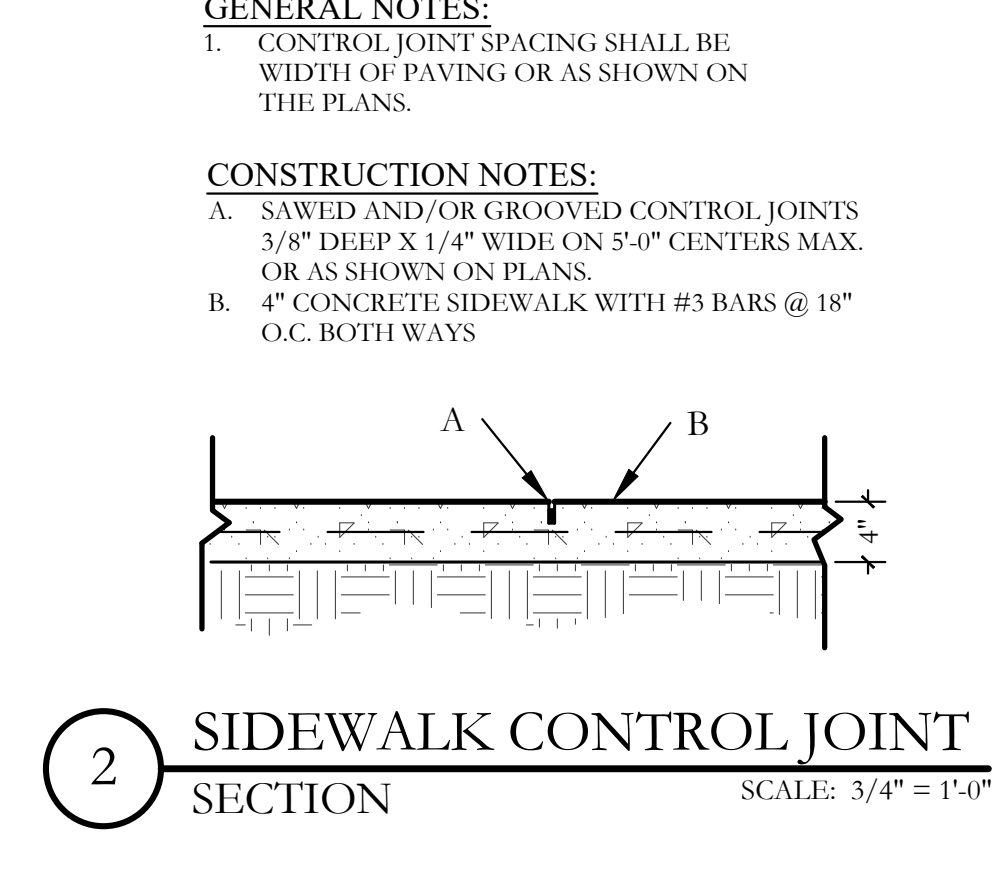
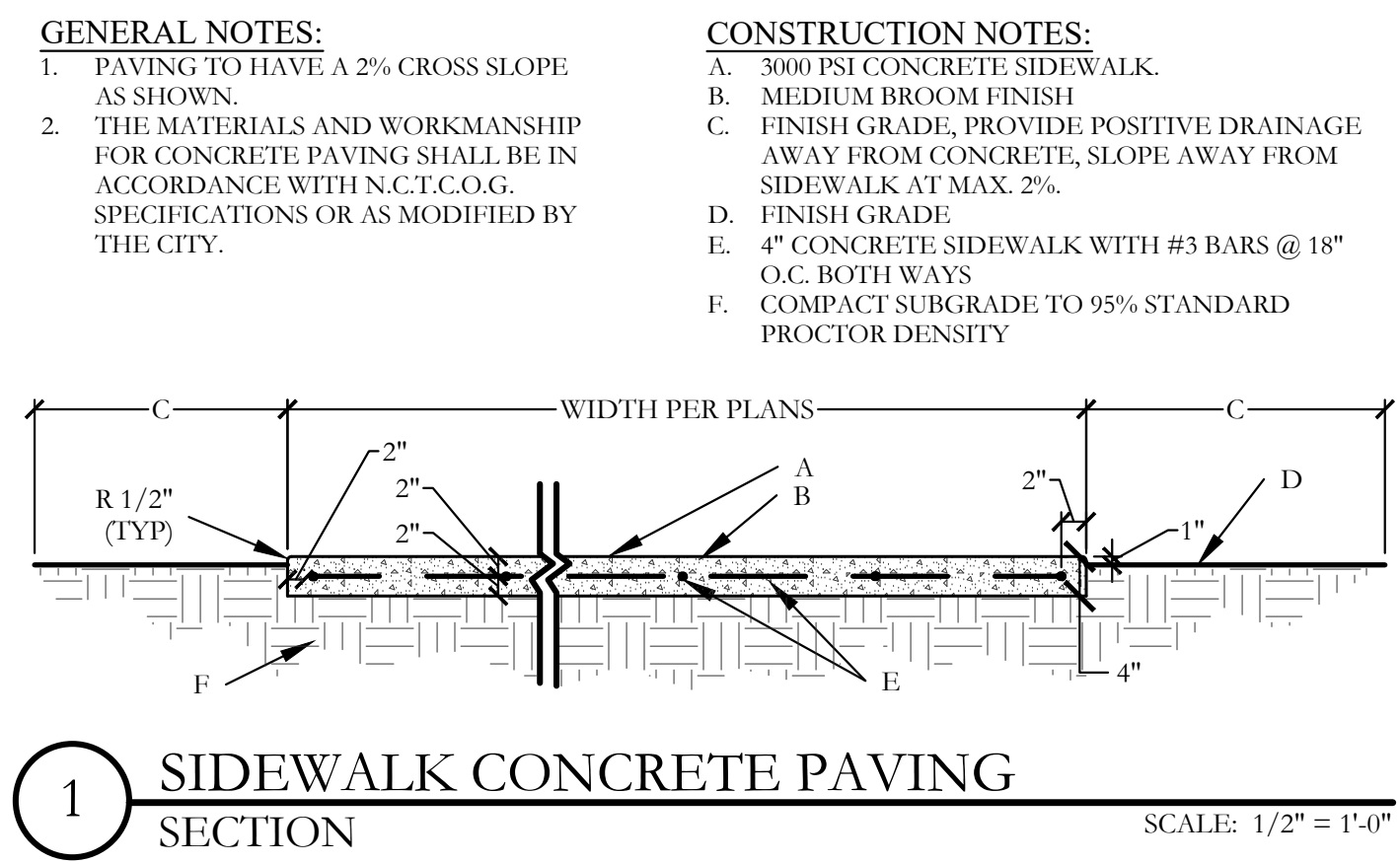
DOGIPOT Junior .08 Gauge Aluminum Bag Dispenser
 Powder coated, forest green
 15.5" x 9.4" x 3.25"
 Locking front access panel with clear instructions and "Please clean up after your dog" sign
 400 Biodegradable opaque brown pick up litter bags installed (2 rolls @ 200 bags)
 4' to 8' galvanized telescope post
 10 Gallon steel trash receptacle
 Pet Sign, 18" x 12" aluminum
 50 Heavy duty receptacle liner bags
 Assembly material
 Ship weight: 45 lbs.
 Item # **KDP1003**

1. Junior Bag Dispenser
 2. Powder coated, forest green 10 gallon waste receptacle with attached stainless steel lid.
 3. Reflective aluminum Dogipot Sign, On Leash for Private Communities or Off Leash for Dog Parks
 4. 2 rolls @ 200 bags of opaque brown, 13" long by 8" wide, biodegradable litter bags.
 5. One roll @ 50 Trash Liner Bags
 6. Mounting Material
 7. MULTIPURPOSE 4' - 8' GALVANIZED TELESCOPE SQUARE POST



GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE I AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 - CHLORIDES SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 2 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 3/4 INCHES
 - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - BEAMS AND COLUMNS: 1-1/2 INCHES
 - SHELLS AND FOLDED PLATES:
 - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 - PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
 - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 - PLACE GROUT USING LOW-LIFT METHOD, 6-8" MAXIMUM LIFTS.



CODY JOHNSON
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
PH: (972) 570-0162
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

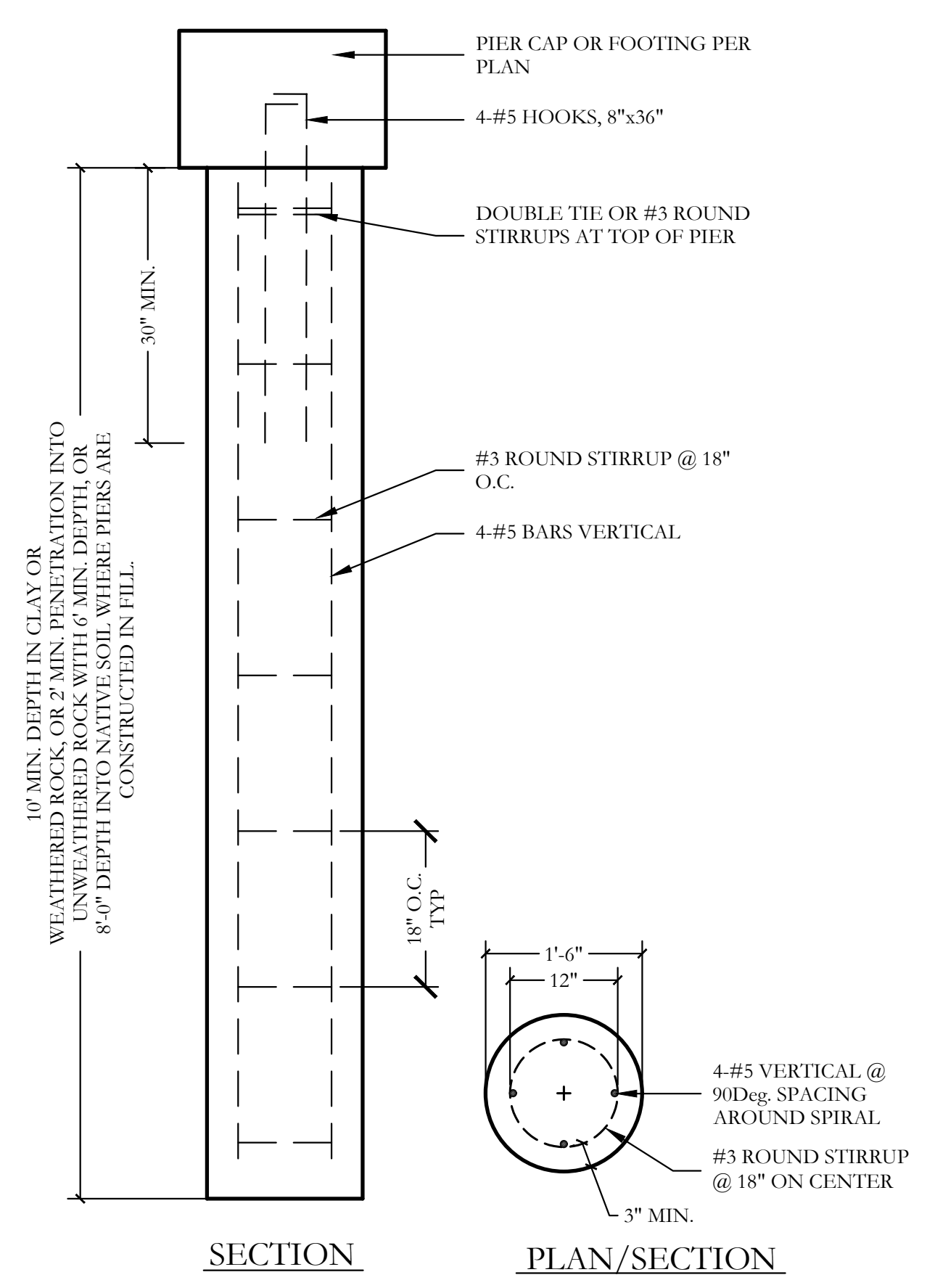
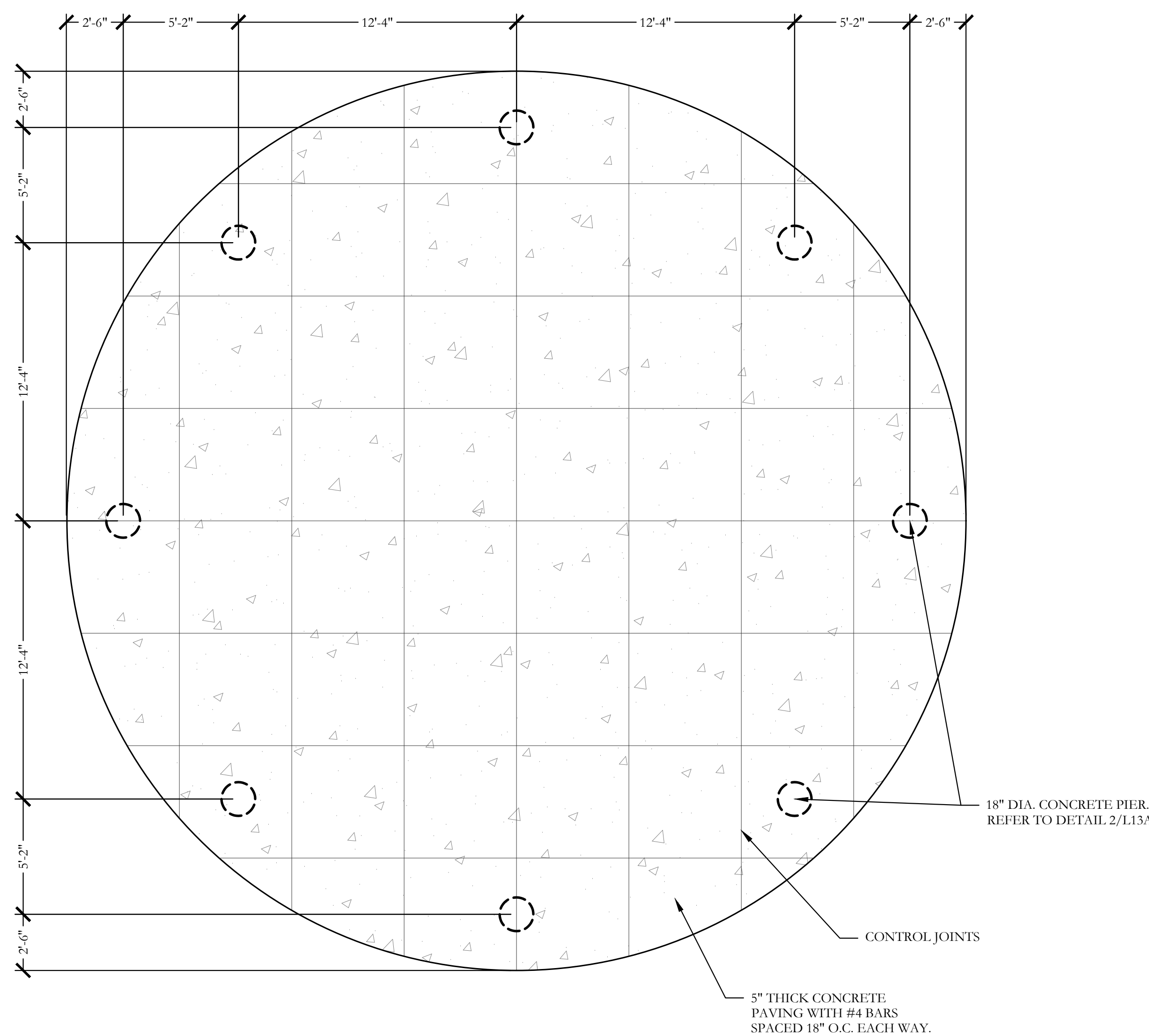
REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2833
STATE OF TEXAS
September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

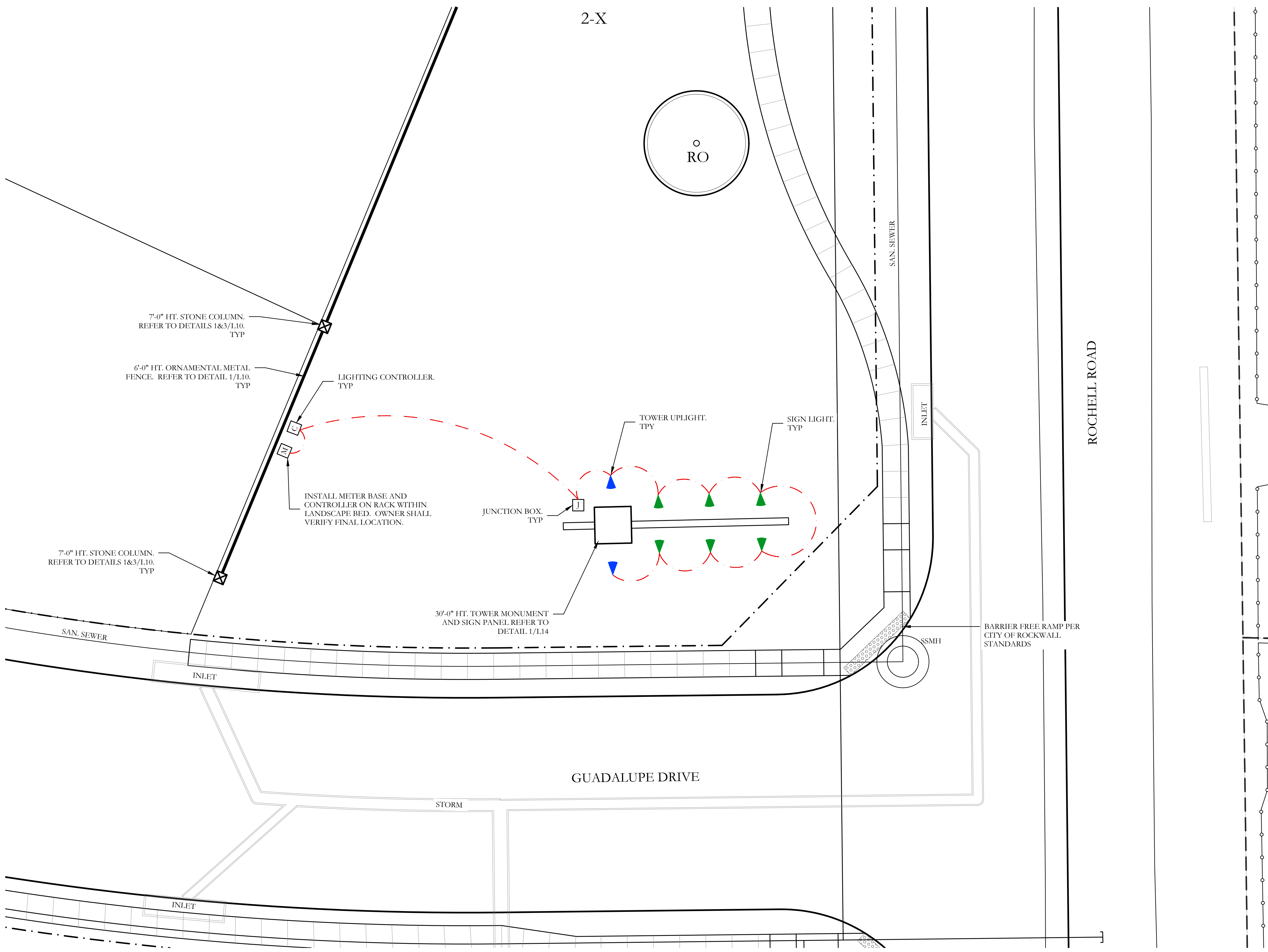
SCREENING AND BUFFERING
Landscape Details
Terracina - Tract 1
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO. DPI006
SHEET NO. L12 of 18



1 SHELTER FOUNDATION PLAN
PLAN SCALE: 1/4" = 1'-0"

2 PIER (18" DIA.)
PLAN/SECTION SCALE: 3/4" = 1'-0"



LIGHTING LEGEND		
SYMBOL	ITEM	QTY
[M]	PROPOSED METER BASE	1
[C]	LIGHTING CONTROLLER AS SELECTED BY OWNER	1
[J]	JUNCTION BOX, AS NECESSARY	
▼	SIGN LIGHT	6
▲	TOWER UPLIGHT	2

- LIGHTING NOTES**
- COORDINATE ALL ELECTRIC UTILITY REQUIREMENTS WITH THE SERVICE PROVIDER IN THE AREA. COORDINATE EXACT TRANSFORMER LOCATION TO MAINTAIN REQUIRED CLEARANCES FROM BUILDING, EQUIPMENT, ETC. PRIOR TO INSTALLATION. POUR TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS.
 - COORDINATE ALL TELEPHONE SERVICE REQUIREMENTS WITH LOCAL TELEPHONE UTILITY COMPANY AND PROVIDE ACCORDINGLY.
 - LIGHTING TYPE AND SIZE SHALL BE SELECTED BY THE OWNER.
 - LIGHTING AND ELECTRICAL CONNECTIONS SHALL COMPLY WITH TEXAS DEPARTMENT STATE HEALTH SERVICES AND MANUFACTURER RECOMMENDATIONS.
 - COORDINATE ALL SLEEVE LOCATIONS WITH OTHER TRADES. INSTALL ADDITIONAL SLEEVES AS NECESSARY.
 - THE ELECTRICAL CONTRACTOR SHALL REFER AND ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, SHOP DRAWINGS, NOTES, AND INSTALLATION PROCEDURES FOR ALL PRODUCTS SHOWN ON PLANS.
 - THE CONTRACTOR SHALL DETERMINE WIRE SIZES AND RUN PATTERNS IN THE FIELD.
 - REFER TO IRRIGATION PLANS AND COORDINATE WITH IRRIGATION CONTRACTOR FOR ALL SLEEVE LOCATIONS.
 - THE LIGHTING EXHIBIT SHOWN HEREIN IS FOR GRAPHIC REFERENCE ONLY TO BE USED FOR BIDDING PURPOSES. FINAL DESIGN AND INSTALLATION SHALL BE PROVIDED BY A LICENSED ELECTRICIAN.

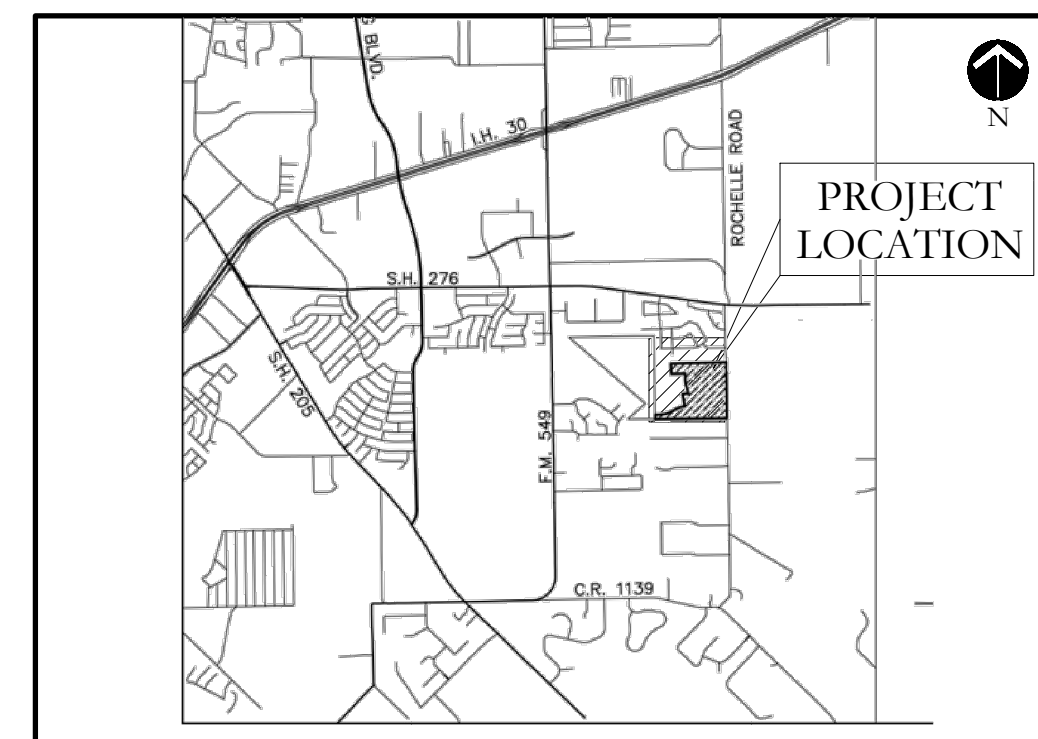
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- BEFORE ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, AND STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST AND MAINTAIN EROSION CONTROL.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES INCLUDING EROSION CONTROL ON ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDER TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~TERRACINA - TRACT 1~
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE September 2, 2020



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L9	LANDSCAPE PLANS
L10-L18	LANDSCAPE DETAILS
IR1-IR8	IRRIGATIONS PLANS
IR10-IR11	IRRIGATIONS DETAILS

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPHEDD.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

DEVELOPER:

DOUGLAS PROPERTIES, INC.
2309 AVE K, SUITE 100
PLANO, TX 75074
PH. (972) 422-1658
CONTACT: JR DOUGLAS

OWNER :

BLOOMFIELD HOMES, LP.
1050 E. STATE HWY 114
SUITE 210
SOUTHLAKE, TX 76092
INST. NO. 2014-0000016643

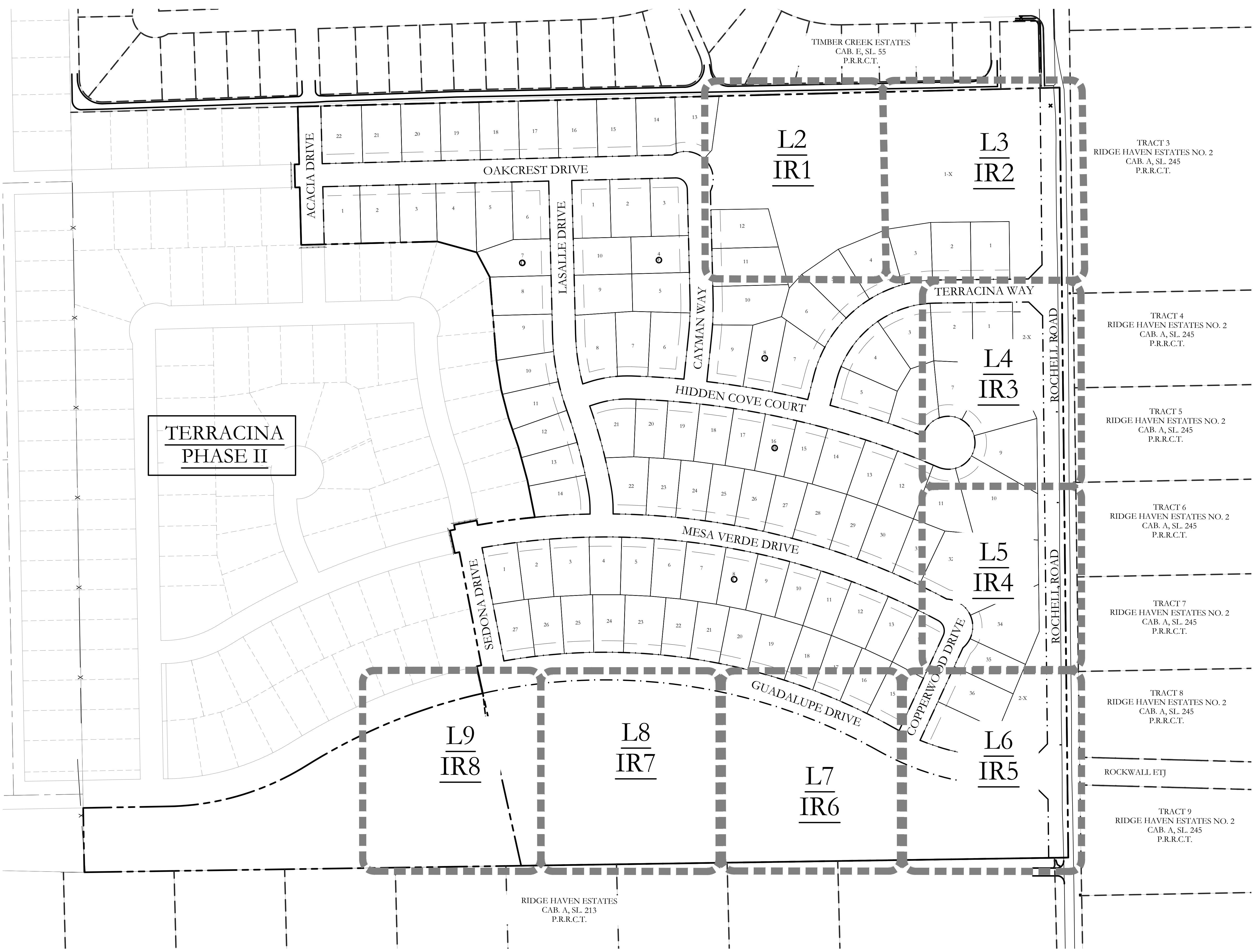
CIVIL ENGINEER:

ENGINEERING CONCEPTS & DESIGNS, L.P.
201 WINDCO CIRCLE
SUITE 200
WYLIE, TEXAS 75098
PH. (972) 941-8400

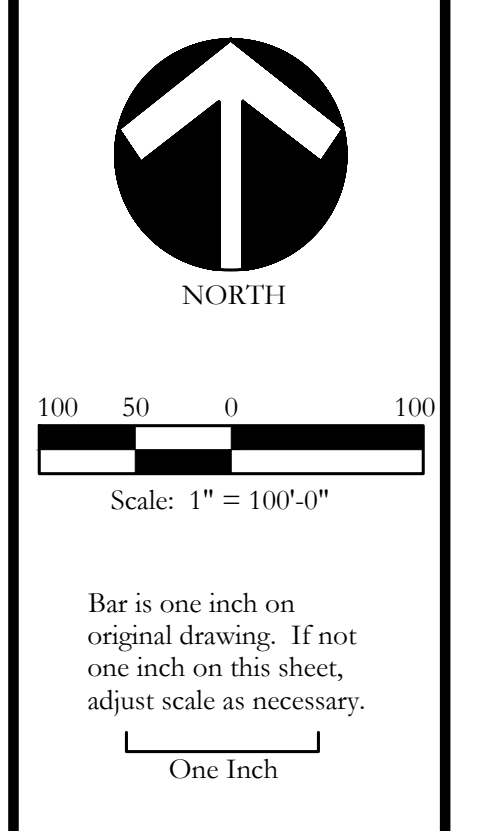
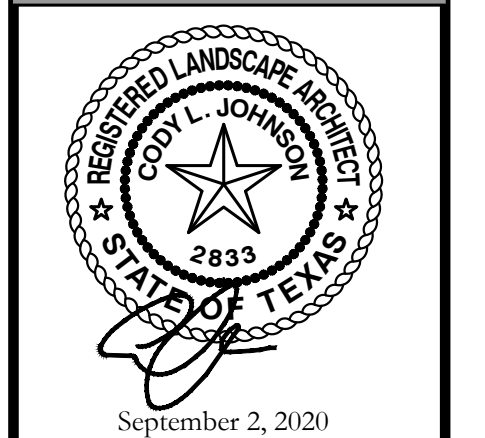
LANDSCAPE ARCHITECT:

CODY JOHNSON STUDIO, LLC
9720 COIT ROAD SUITE 220-333
PLANO, TEXAS 75025
PH. (903) 570-0162
CONTACT: CODY JOHNSON, RLA, ASLA, LI





**TERRACINA
PHASE II**



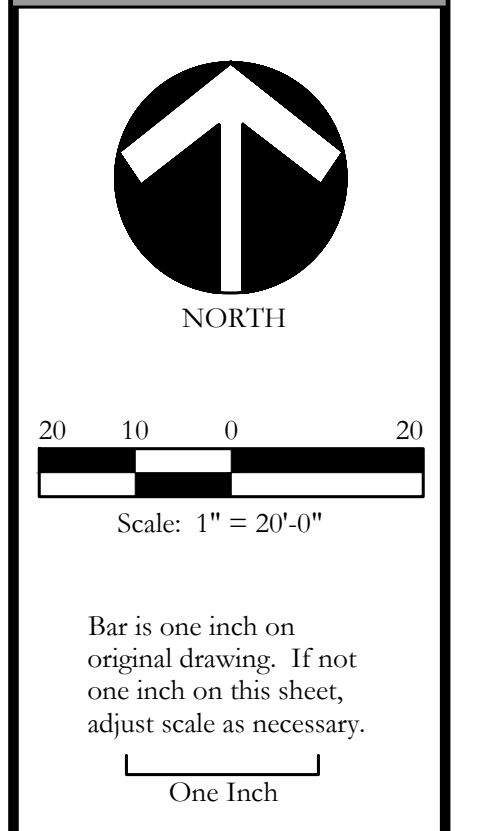
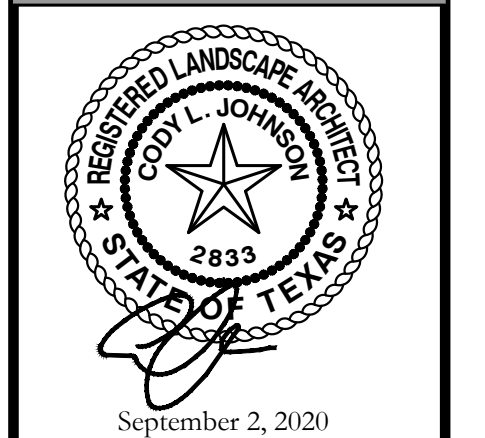
SCREENING AND BUFFERING

Overall Landscape Plan
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.
		ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		DWARF WAX MYRTLE	MYRTICA SPP.	7 GALLON	48" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C. 18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		TIF-TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	100% COVERAGE
		TEXAS RIVER ROCK	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE.	SQUARE FEET	100% COVERAGE
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.		



SCREENING AND BUFFERING

Landscape Plan

Terracina - Tract 1

City of Rockwall, Rockwall County, Texas



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
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		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.
		ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.
		DWARF WAX MYRTLE	MYRICA SPP.	7 GALLON	48" O.C.
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CODY JOHNSON
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
PH: (972) 570-0162
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

September 2, 2020

NORTH

Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

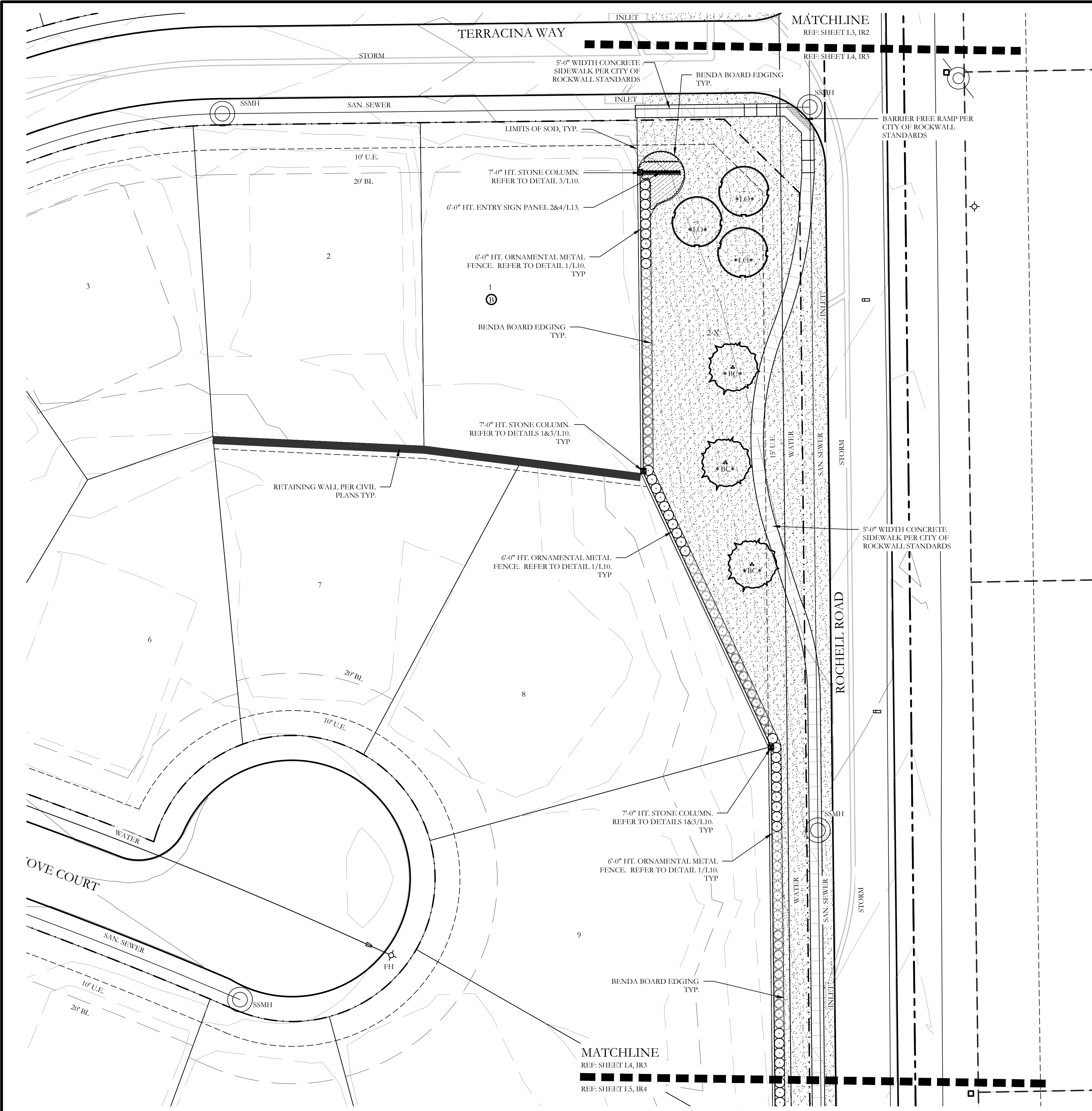
SCREENING AND BUFFERING

Landscape Plan
Terracina - Tract 1

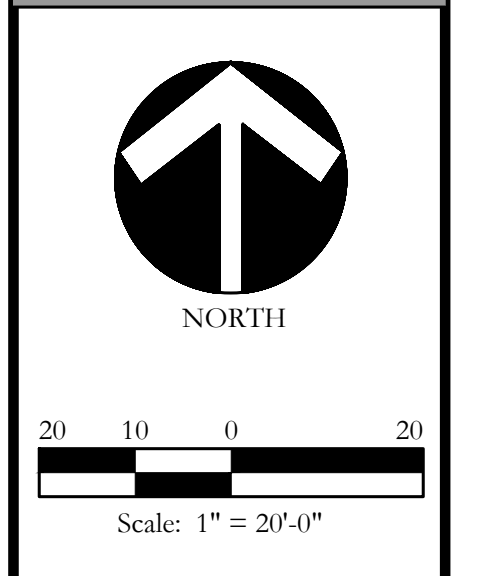
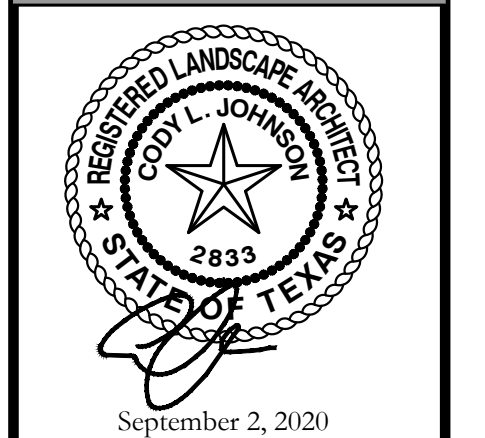
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
DPI006

SHEET NO.
L3 of 18



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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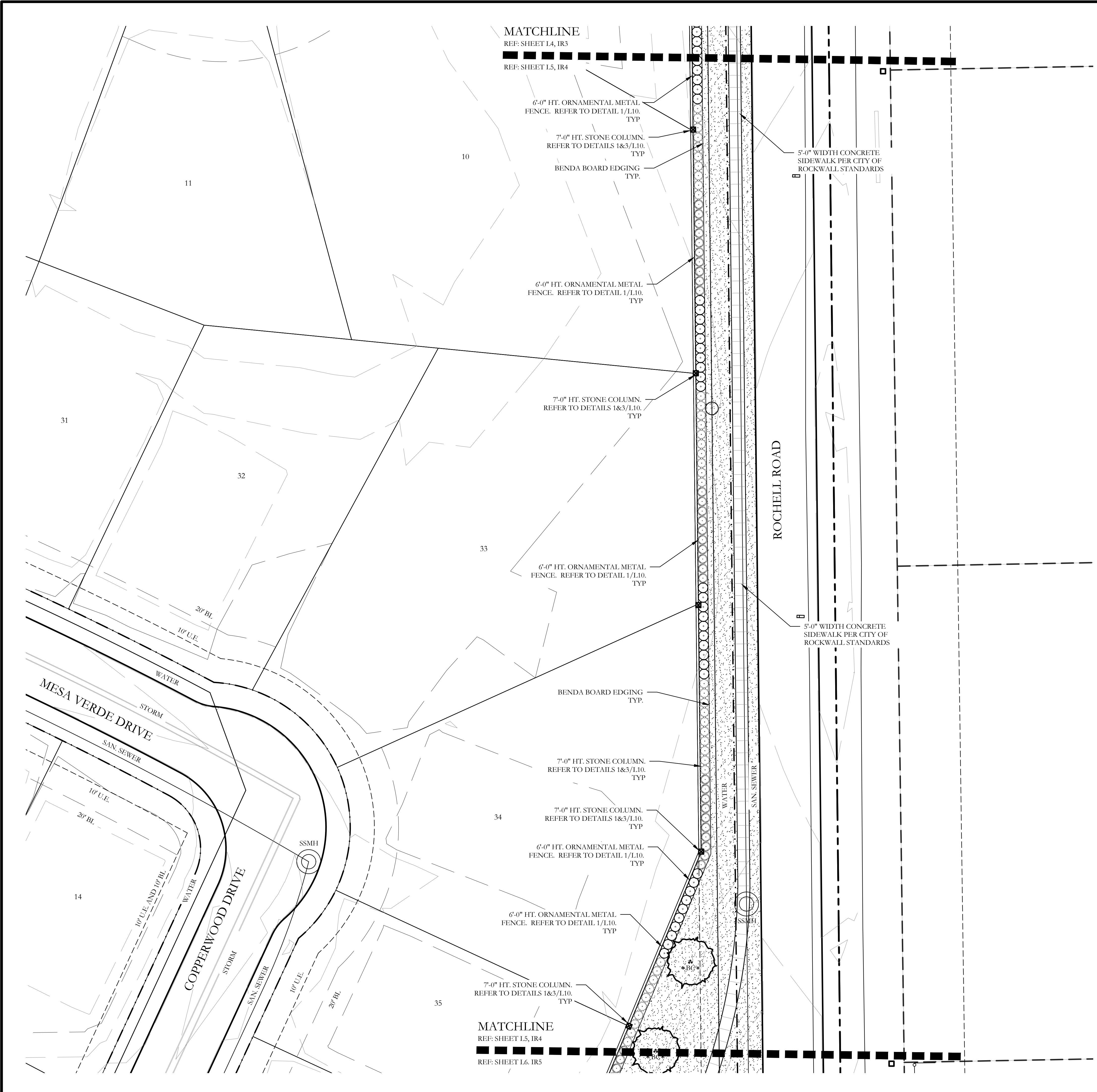
SCREENING AND BUFFERING

Landscape Plan
Terracina - Tract 1

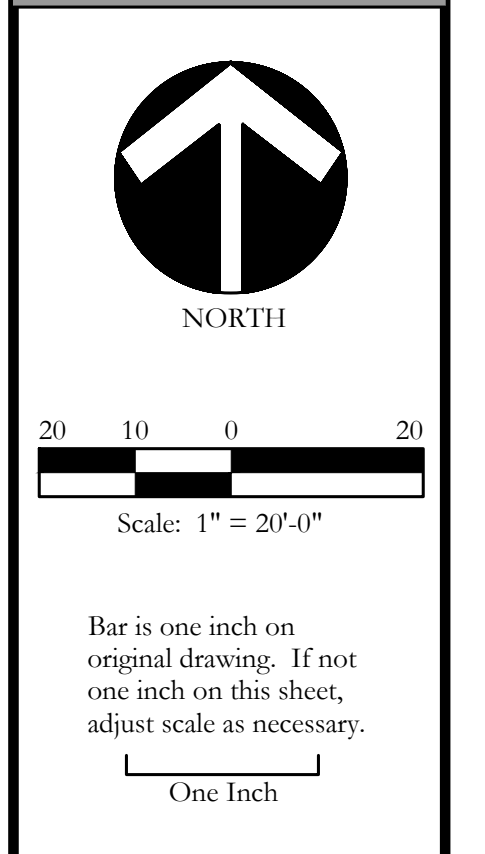
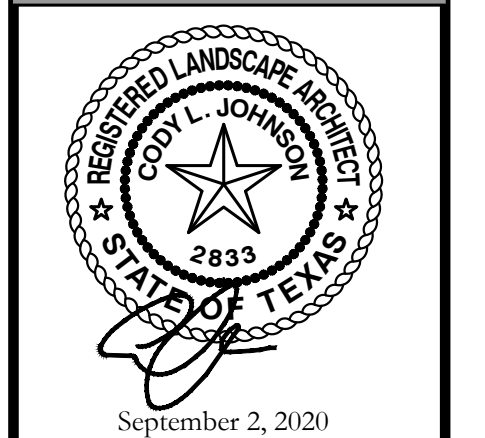
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
DPI006

SHEET NO.
L4 of 18



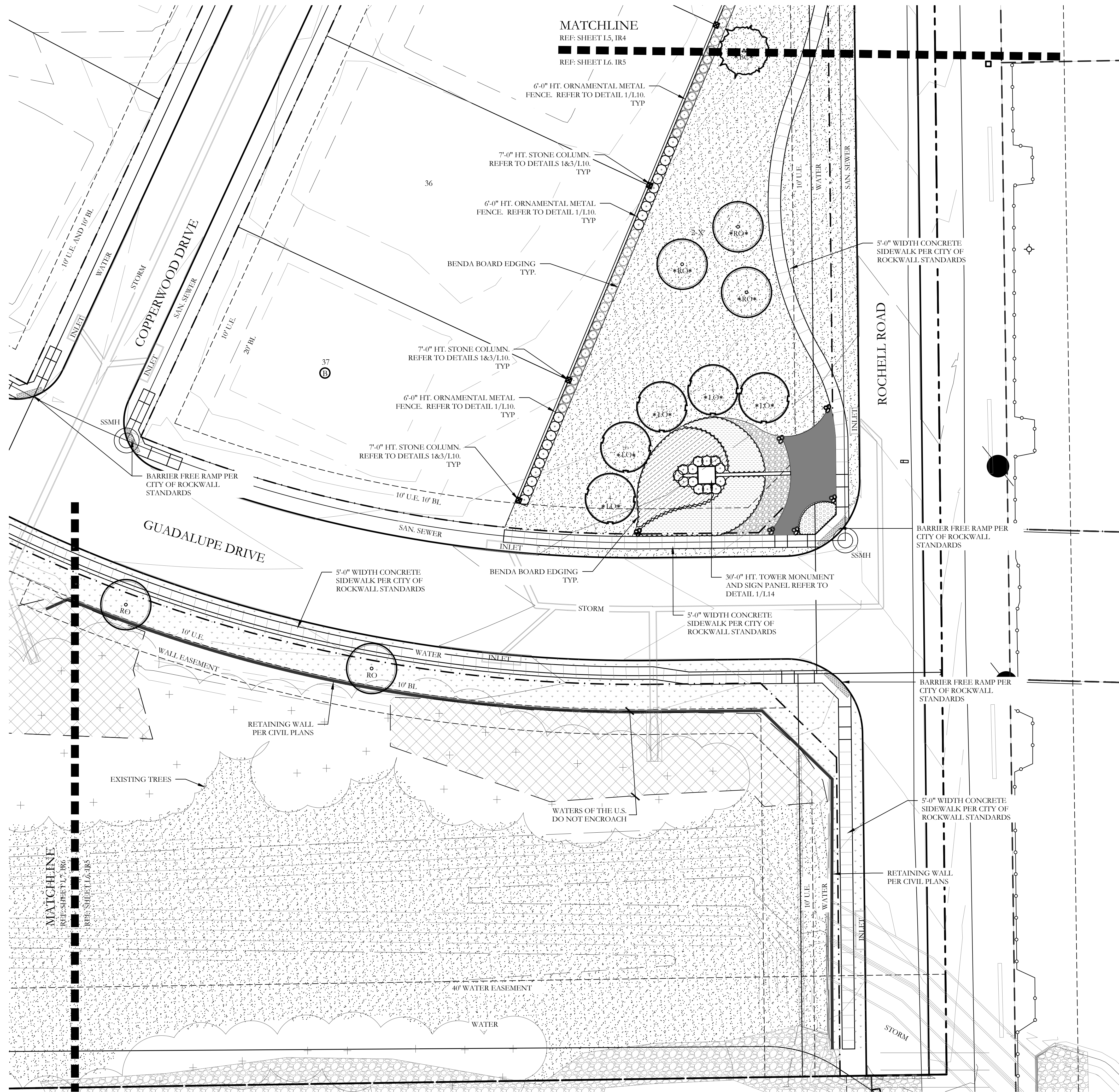
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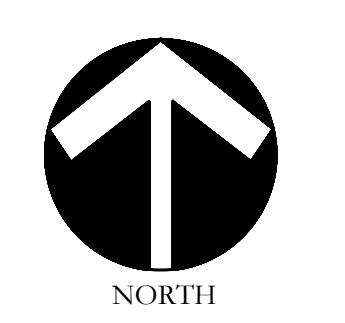
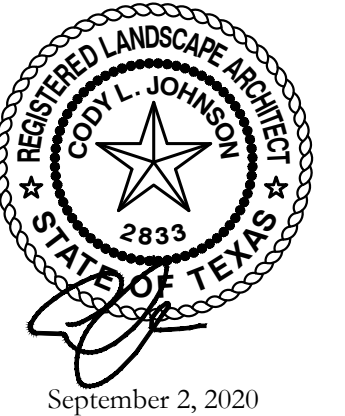
SCREENING AND BUFFERING

Landscape Plan
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas



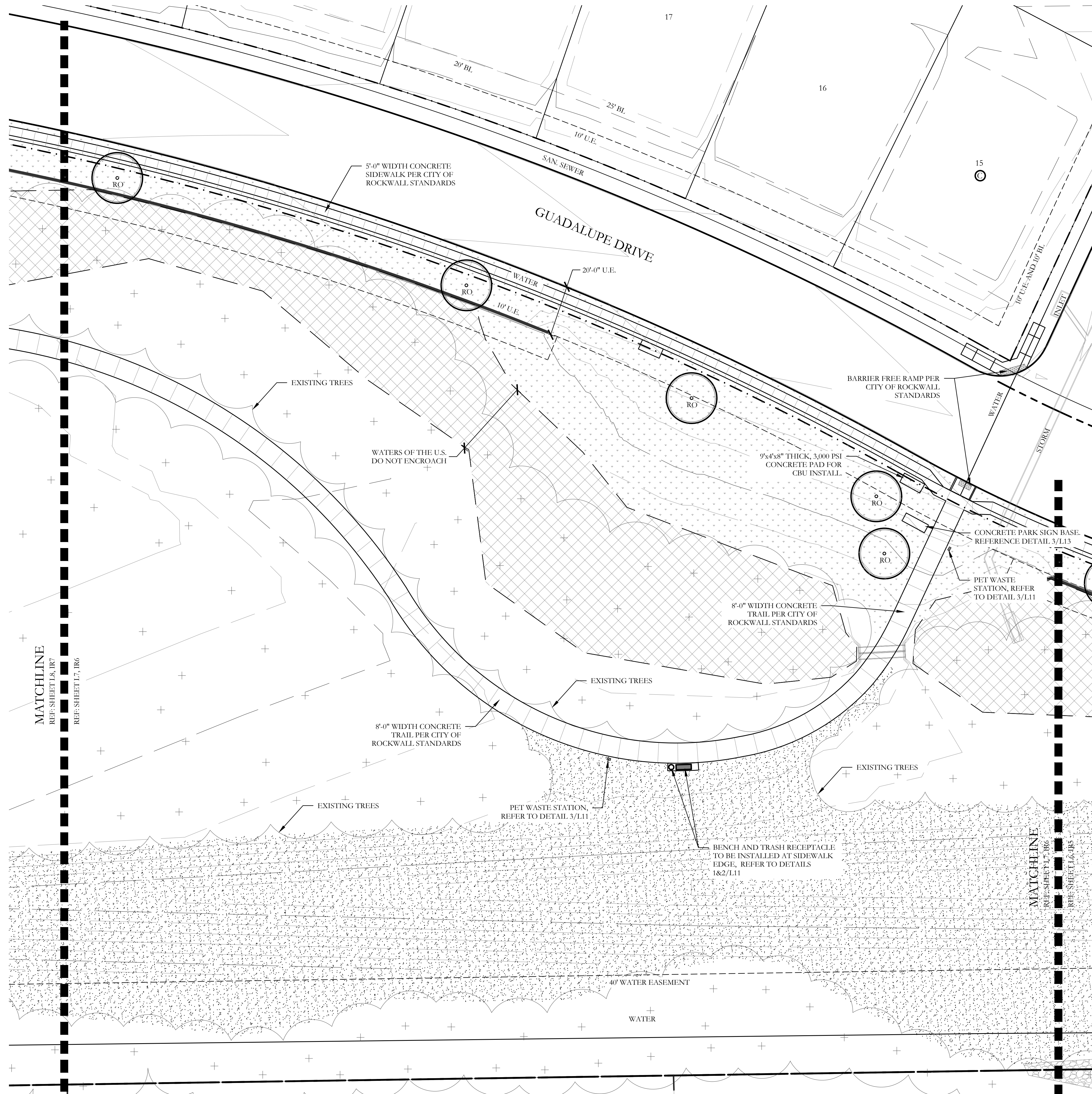
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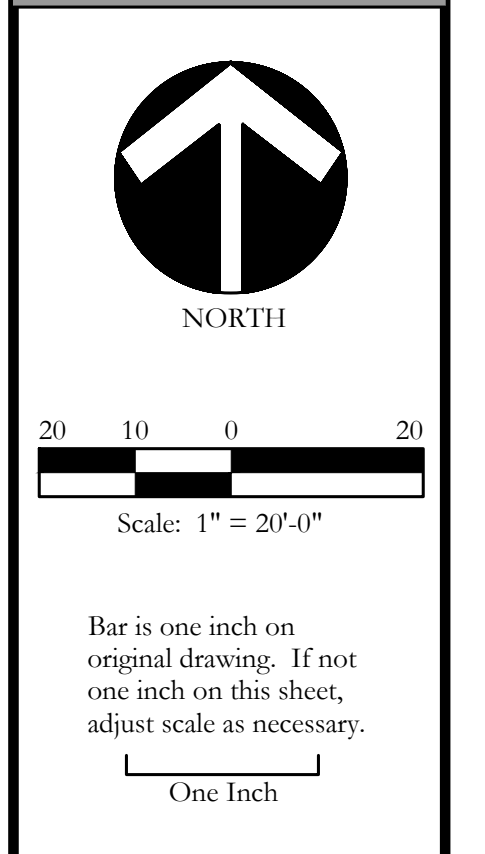
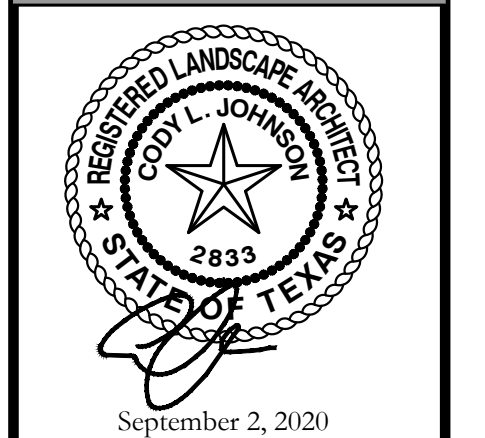
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SCREENING AND BUFFERING
Landscape Plan
Terracina - Tract 1
City of Rockwall, Rockwall County, Texas

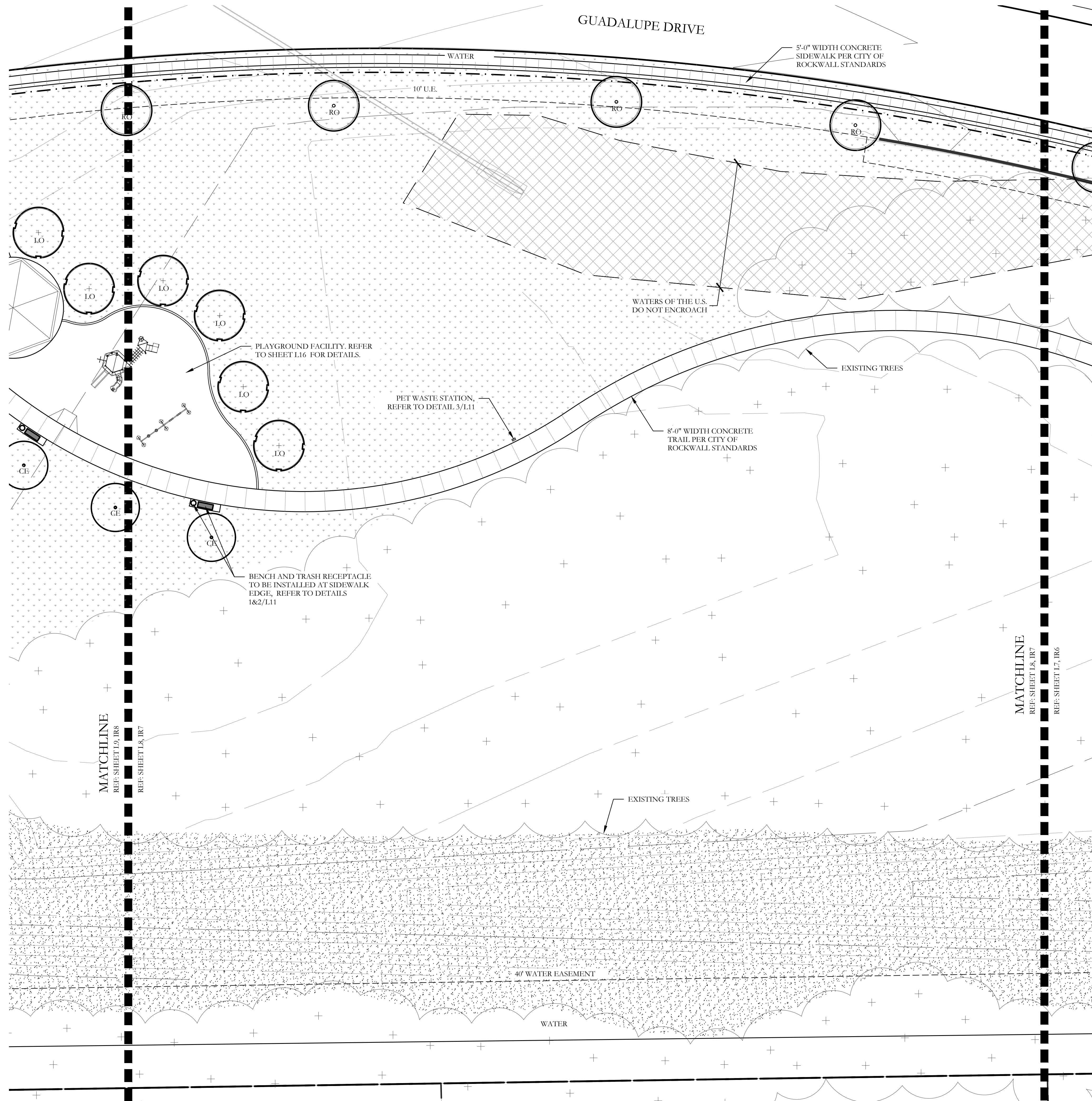


PLANT LEGEND					
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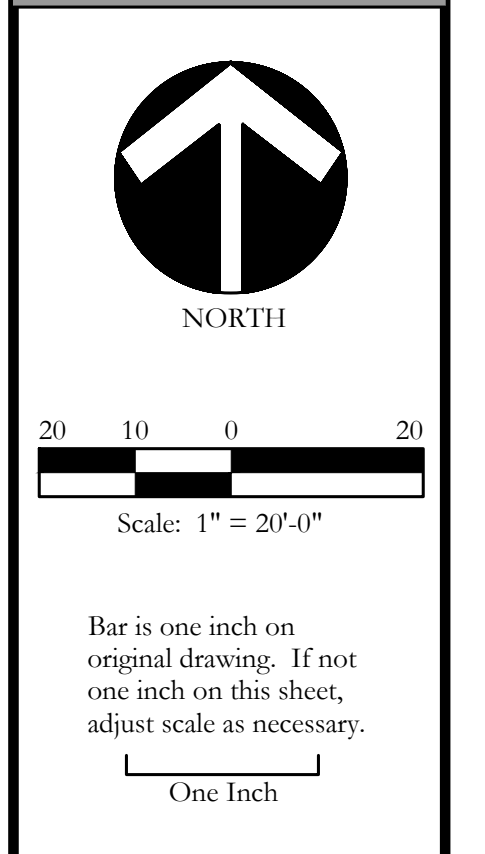
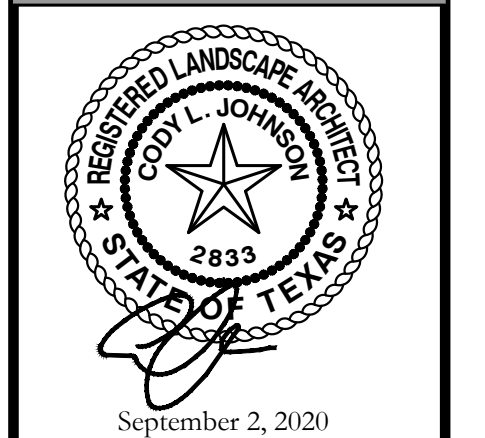


SCREENING AND BUFFERING

Landscape Plan
Terracina - Tract 1
City of Rockwall, Rockwall County, Texas



PLANT LEGEND					
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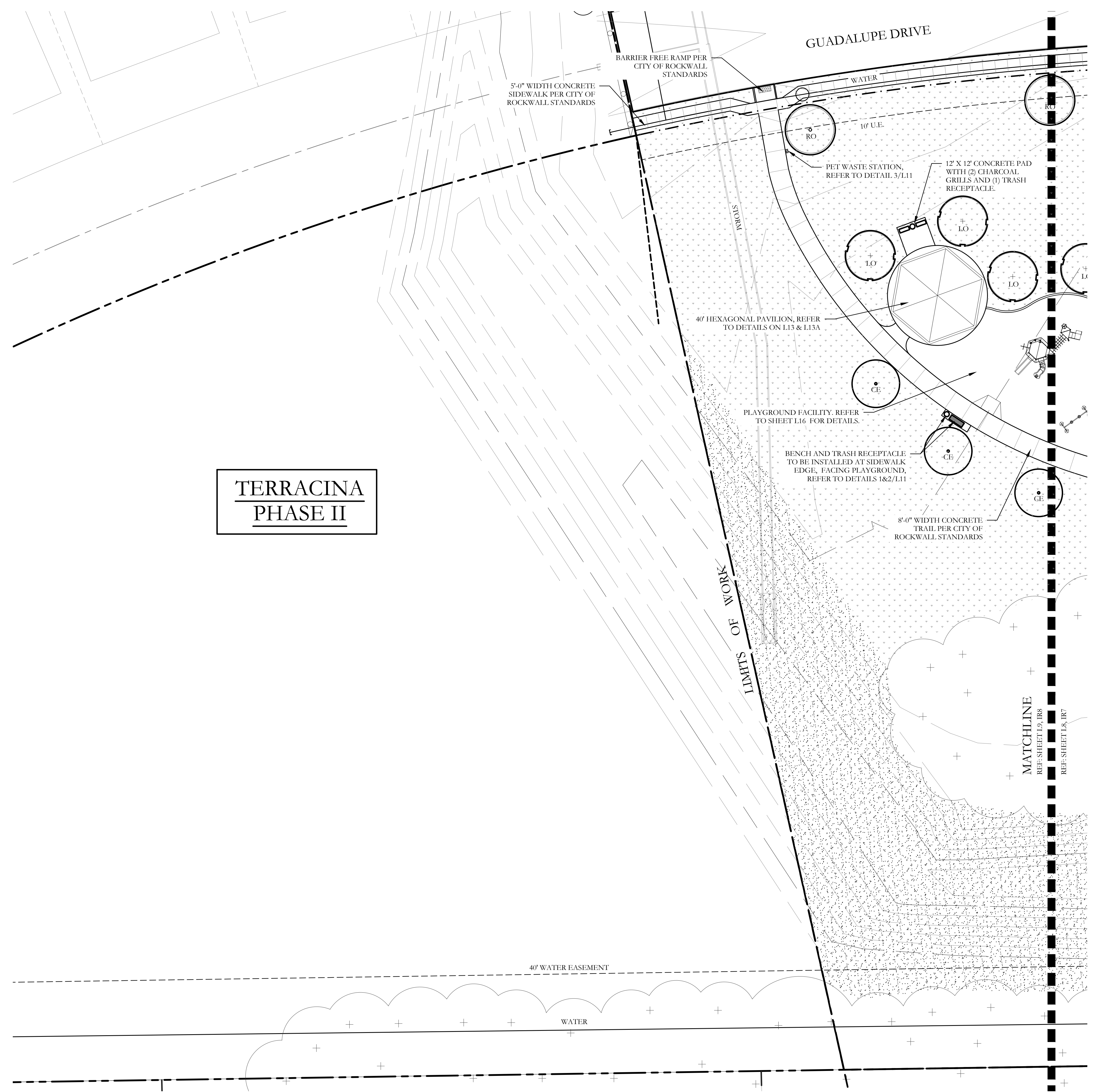


SCREENING AND BUFFERING

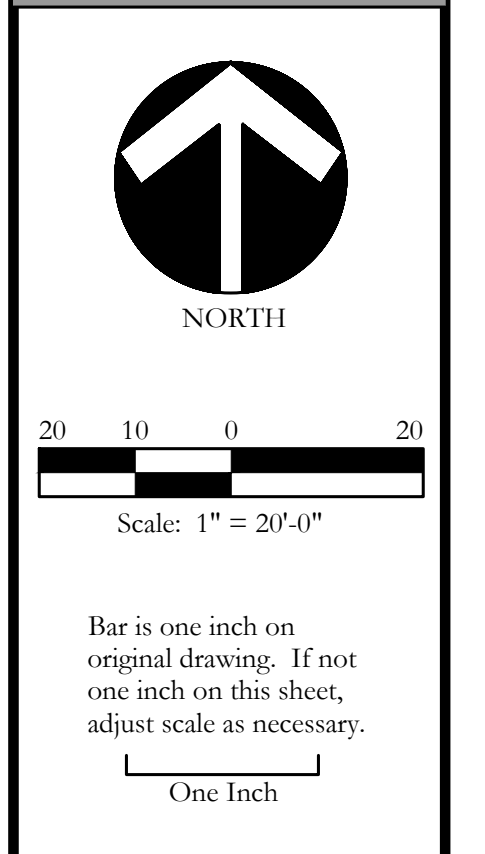
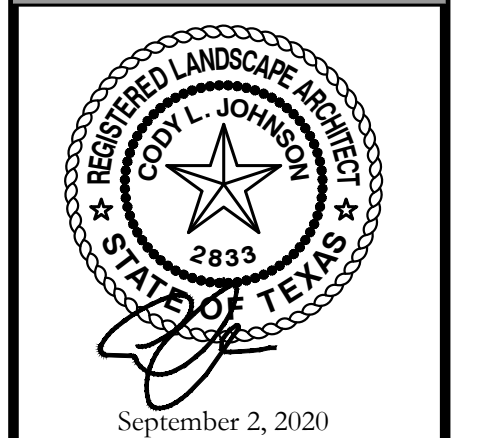
Landscape Plan
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

**TERRACINA
PHASE II**



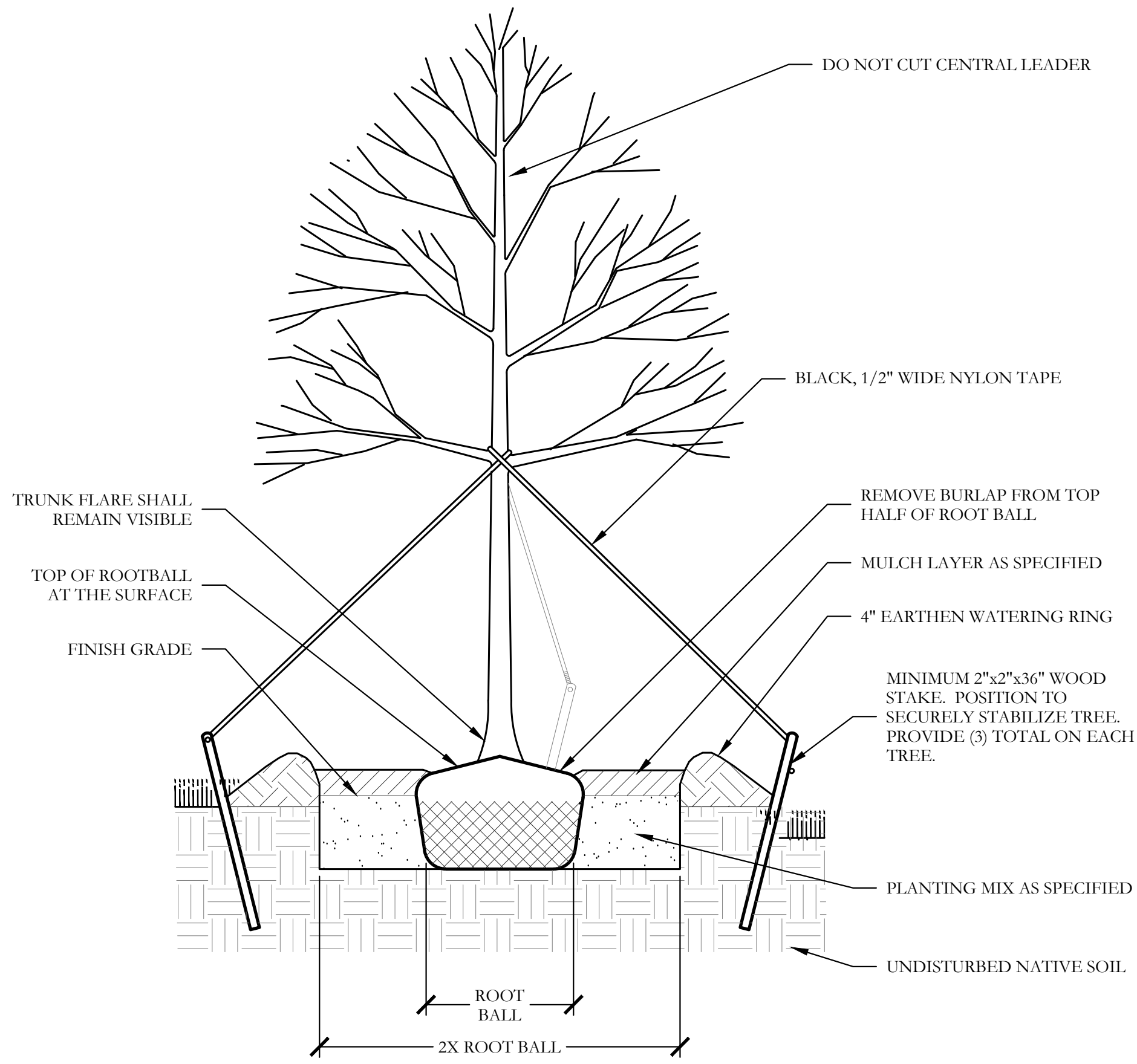
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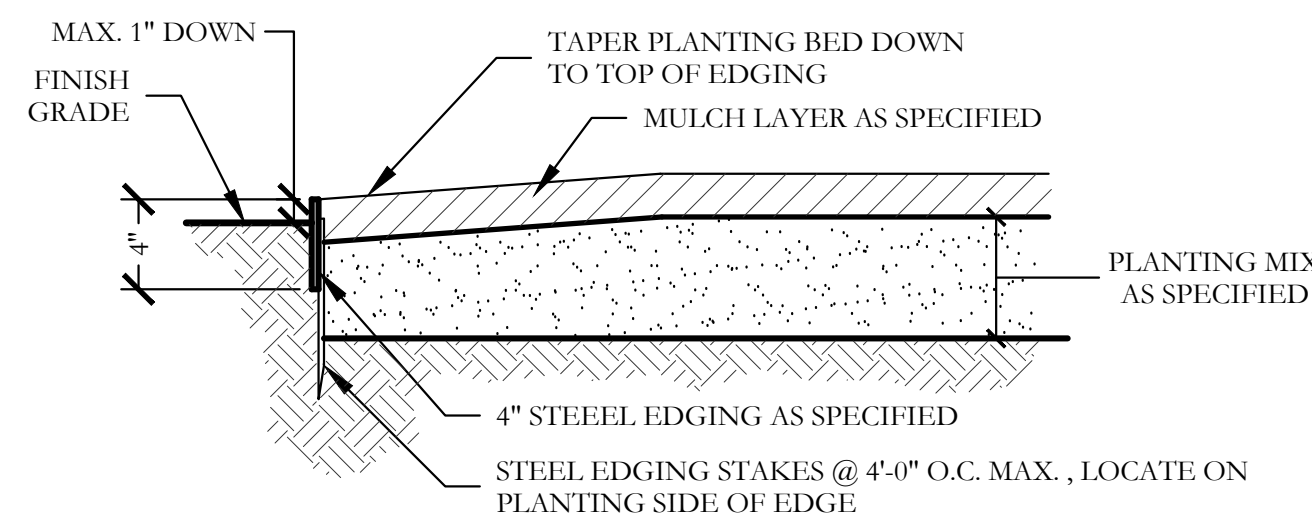
SCREENING AND BUFFERING

Landscape Plan
Terracina - Tract 1

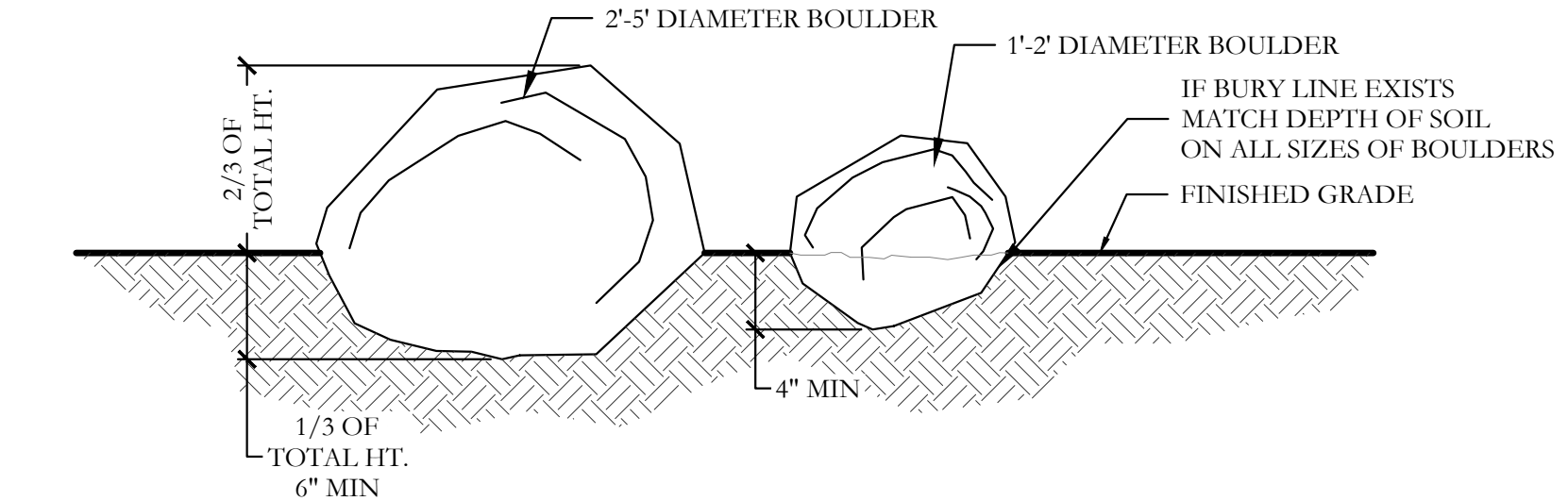
City of Rockwall, Rockwall County, Texas



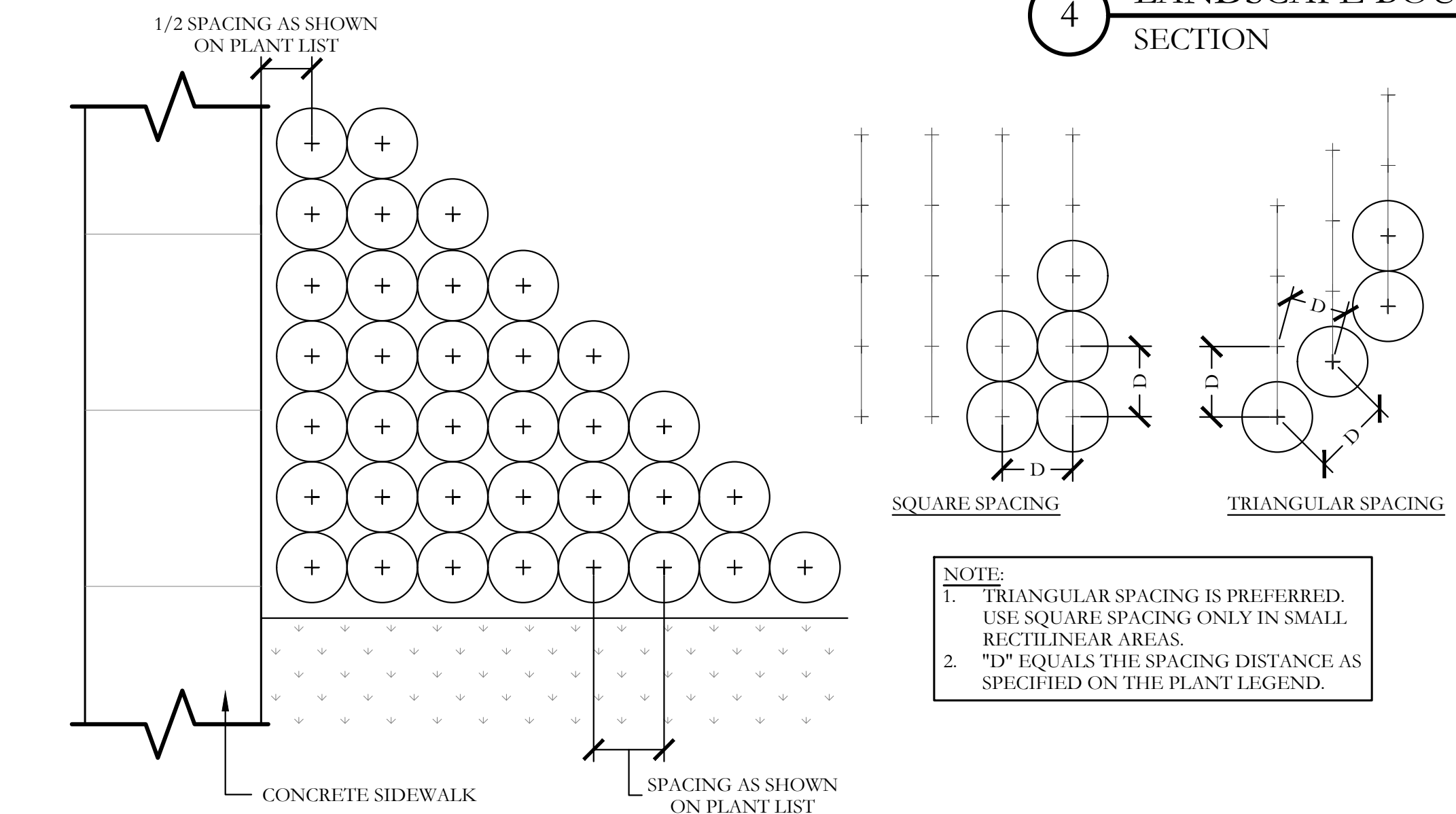
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



4 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	7	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
LO	11	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RO	12	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RO	3	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CE	4	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
BC	2	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
BC	9	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
ERC	23	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	111	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	DWARF WAX MYRTLE	MYRICA SPP.	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	510	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	474	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	450	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	362,281	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	76,922	TIF TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	615	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	500	TEXAS RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

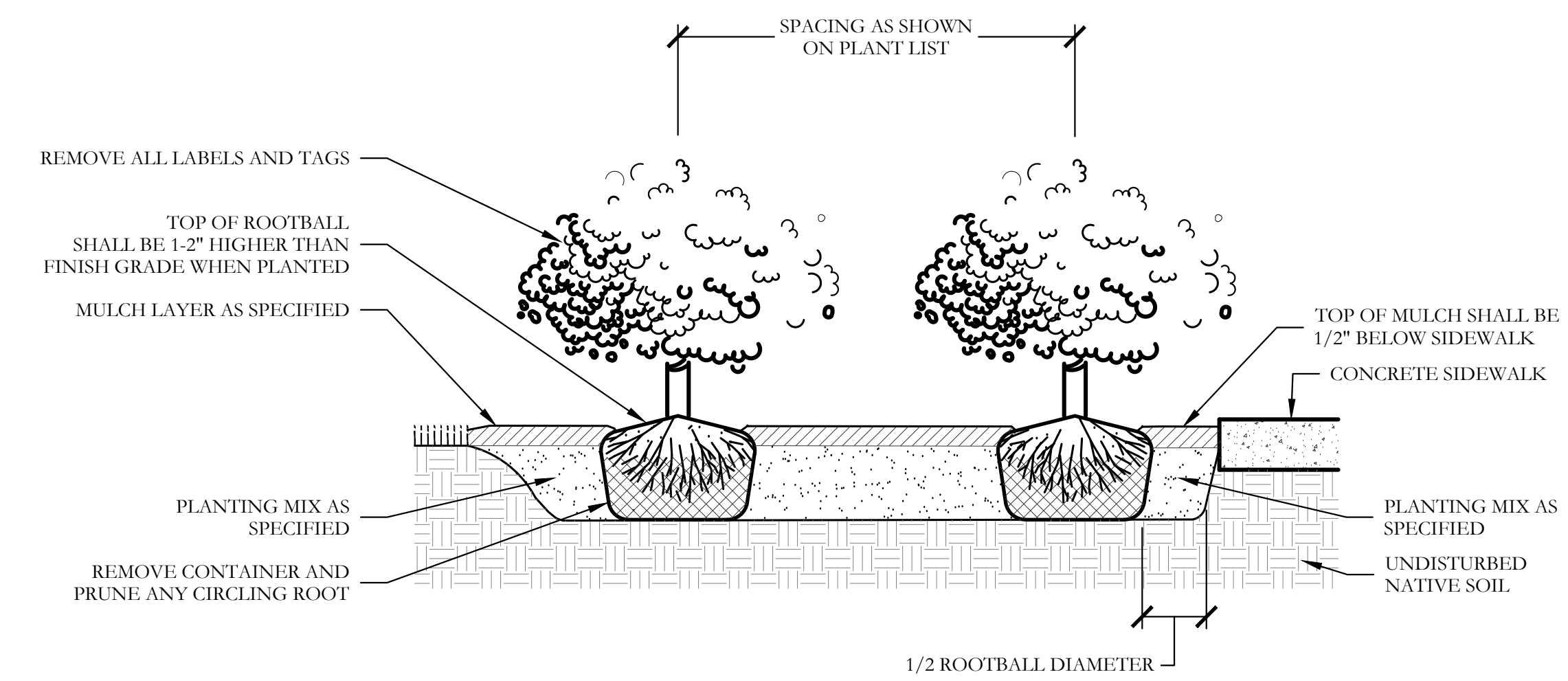
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

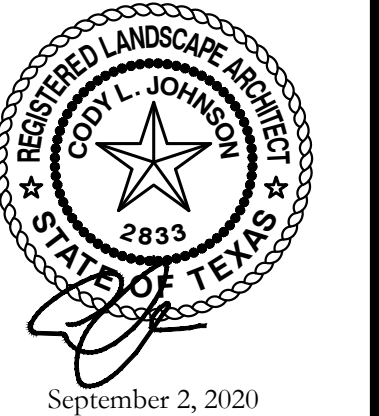
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



5 ROCK AND STONE BEDS SECTION NOT TO SCALE



September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Landscape Details

Terracina - Tract 1

City of Rockwall, Rockwall County, Texas



September 18, 2020

TO: Engineering Concepts & Design, LP
Todd Winters
201 Windco Circle, Suite 201
Wylie, TX 75098

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2020-020; Amended Site Plan for Harbor Hills Condominiums

Todd Winter:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on September 15, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within Planned Development District 82 (PD-82) [i.e. *Ordinance No 18-08*];
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On September 15, 2020, the Planning and Zoning Commission approved a motion to approve the site plan with the conditions of approval by a vote of 6-0, with Commissioner Conway absent.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,


David Gonzales, AICP
Planning and Zoning Manager