



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1700 Justin Road

Subdivision Channel1 Subdivision Lot 2R Block A

General Location NE corner of Justin Road and Industrial Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial Current Use Light Industrial

Proposed Zoning No Change Proposed Use Office / Warehouse / Storage

Acreage 18.762 AC Lots [Current] 1 Lots [Proposed] 1 - no change

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner Channel1 Commercial Corp.	<input checked="" type="checkbox"/> Applicant Mark Pross - Pross Design Group Inc.
Contact Person Ed Burke	Contact Person Mark Pross
Address 1700 Justin Road	Address 5310 Harvest Hill Road, Suite 180
City, State & Zip Rockwall, TX 75087	City, State & Zip Dallas, TX 75230
Phone 951-587-7884	Phone 972-759-1400
E-Mail eburke@channel1.com	E-Mail mpross@pdgarch.net

NOTARY VERIFICATION [REQUIRED]

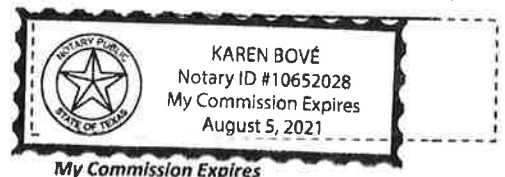
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Given under my hand and seal of office on this the 19th day of June, 20 20.

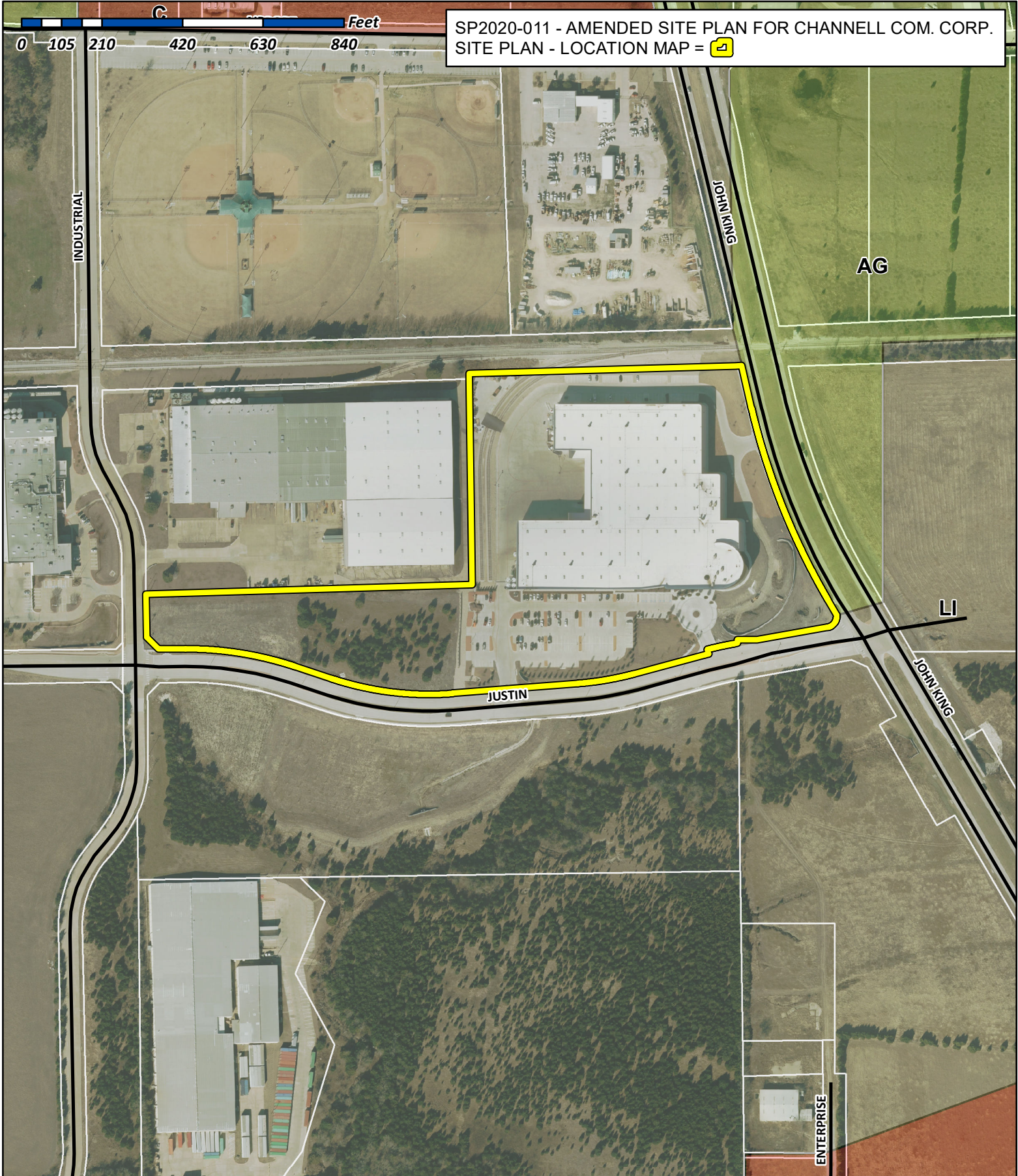
Owner's Signature

Notary Public in and for the State of Texas



0 105 210 420 630 840 Feet

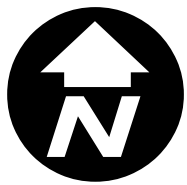
SP2020-011 - AMENDED SITE PLAN FOR CHANNELL COM. CORP.
SITE PLAN - LOCATION MAP = 

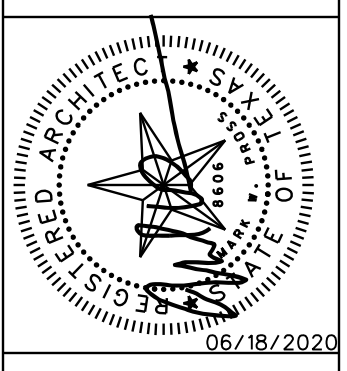


City of Rockwall

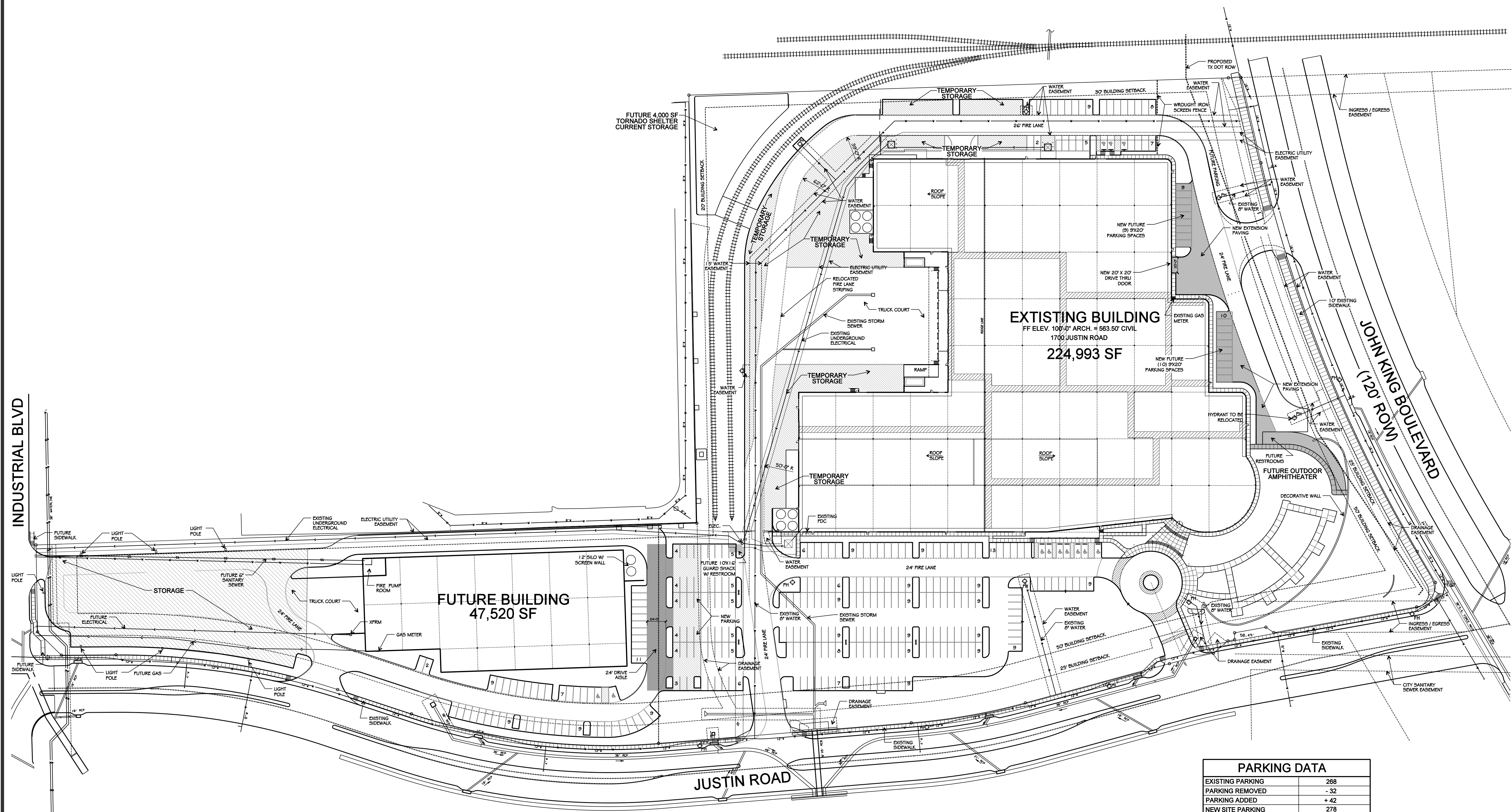
Planning & Zoning Department
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(P): (972) 771-7745
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PROPOSED USE	AREA	FACTOR	SPACES
OFFICE - B1 OCC.	1,000 SF	300	3
MANUFACTURING - F1 OCC.	10,000 SF	500	20
WAREHOUSE - S1 OCC.	36,520 SF	1,000	37
TOTAL	47,520 SF		
- REQUIRED			60 (2 HC)
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	GAS
	SANITARY SEWER
	WATER
	ELECTRICAL

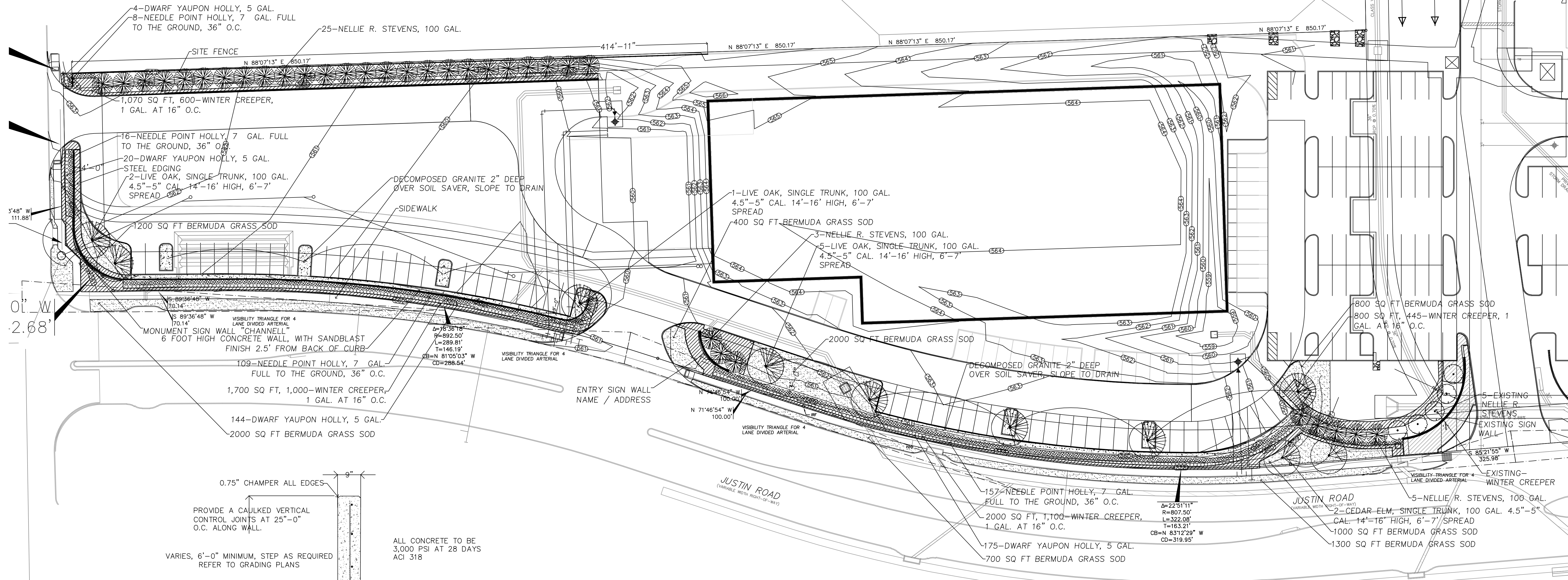
EXISTING PARKING	288
PARKING REMOVED	- 32
PARKING ADDED	+ 42
NEW SITE PARKING	278
PROPOSED NEW PARKING	278 = NO VARIANCE NEEDED

	PROPOSED AREAS OF CONSTRUCTION
	PHASE II WORK

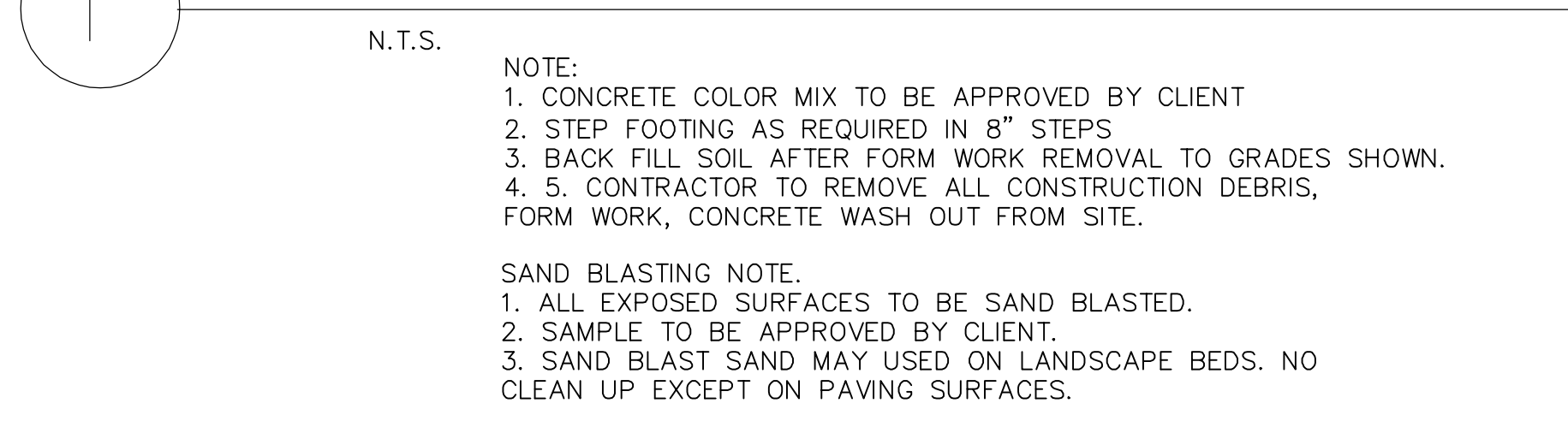
NORTH

1 SITE PLAN
SCALE: 1"=60'-0"

OWNER:
CHANNELL, INC.
26040 YNEZ ROAD
P.O. BOX 9022
TEMECULA, CA 92589-9022
CONTACT: EDWARD J. BURKE
951-587-7884



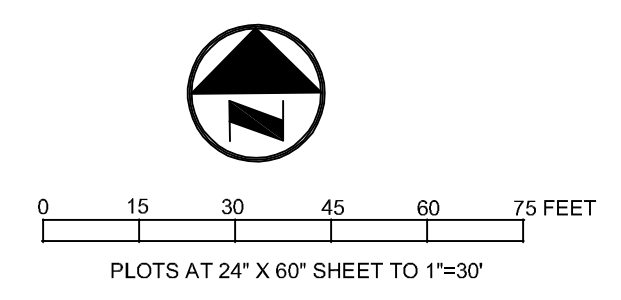
1 SITE SCREEN WALL DETAILS



N.T.S.

NOTE:
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 2. STEP FOOTING AS REQUIRED IN 8" STEPS
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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T.H. PRITCHETT, R.L.A. NO. 2115 ON 06/18/2020

NO.	DATE	REVISION

TP T. H. Pritchett / Associates
 LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.869-3535

SITE LANDSCAPE PLAN WEST
CHANNELL COMMERCIAL CORP.
WEST PARKING & STORAGE LAYOUT
1700 JUSTIN ROAD
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	06/18/2020	1"=30'			SLPW-1



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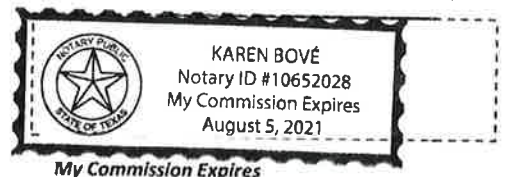
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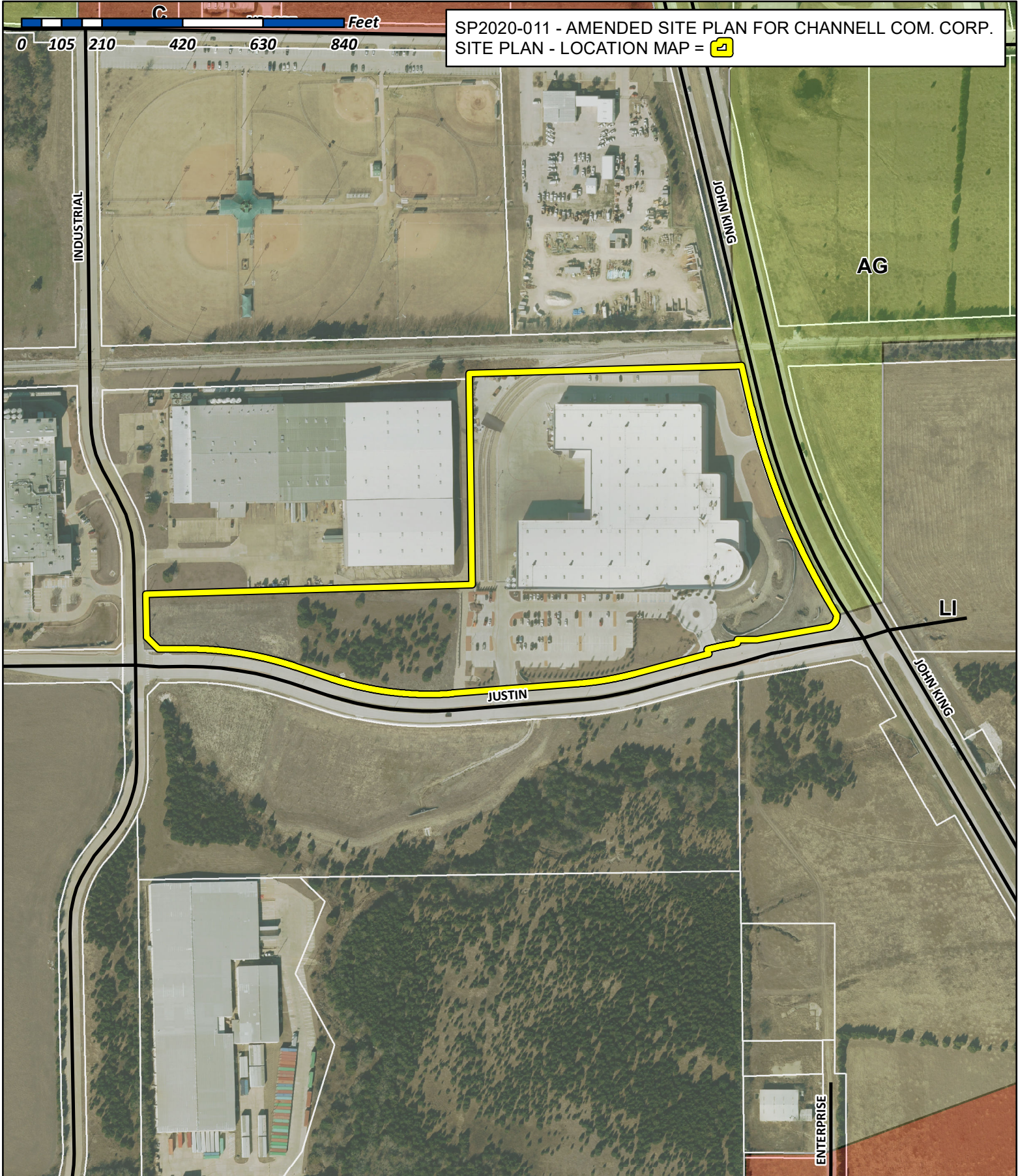
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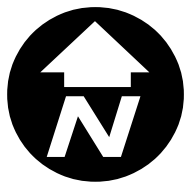
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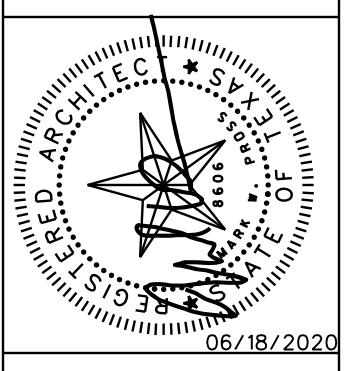


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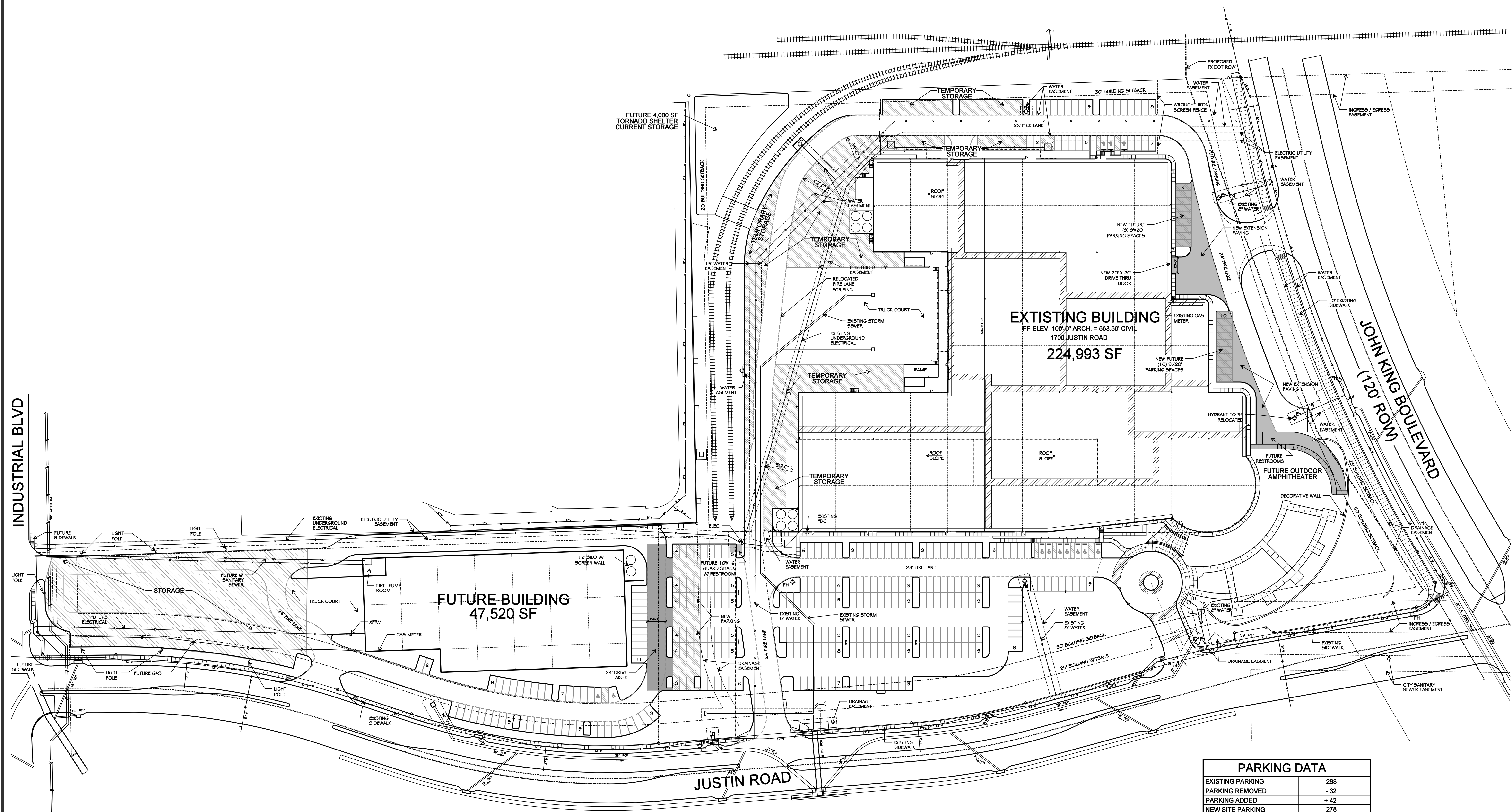
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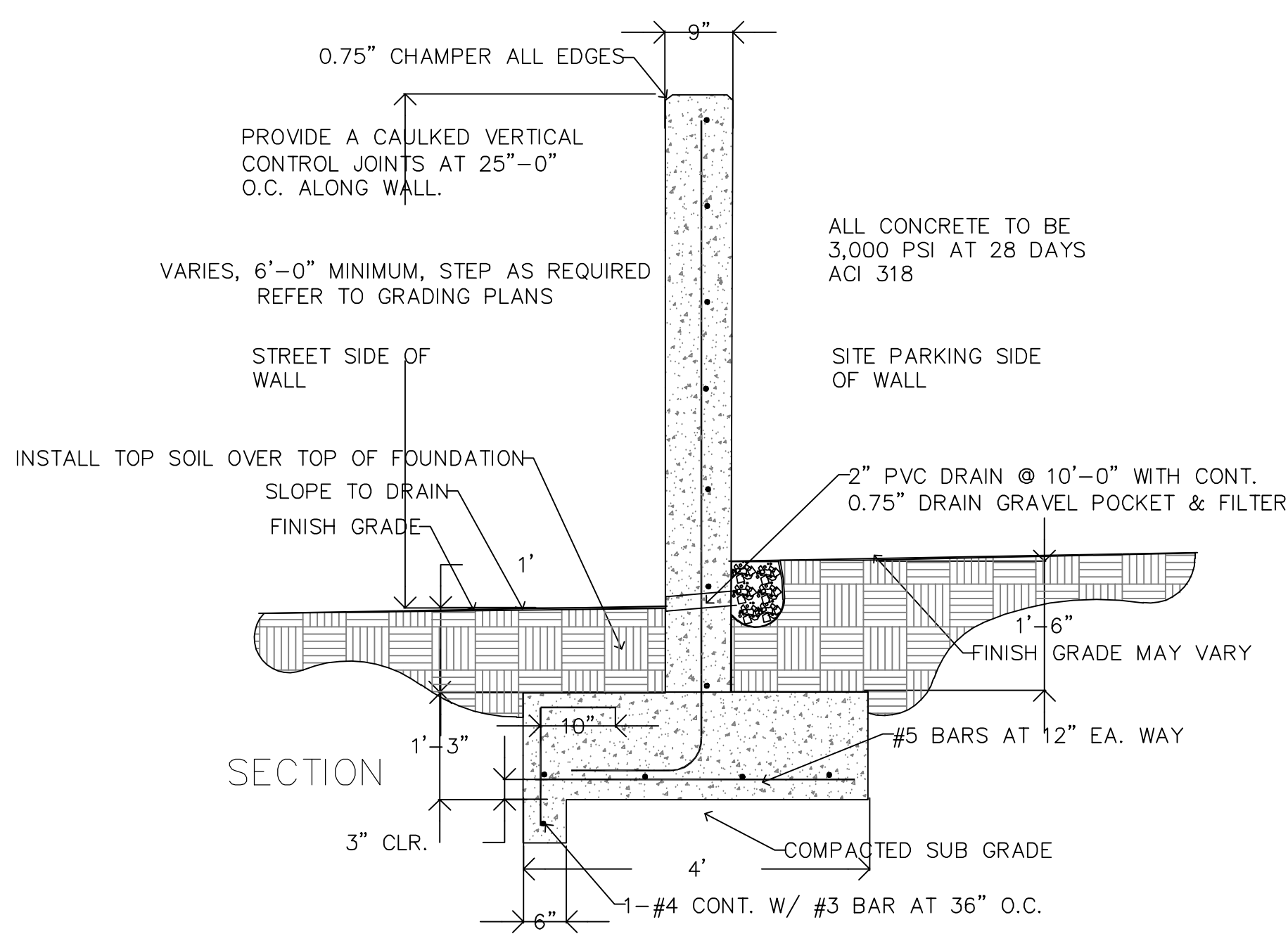
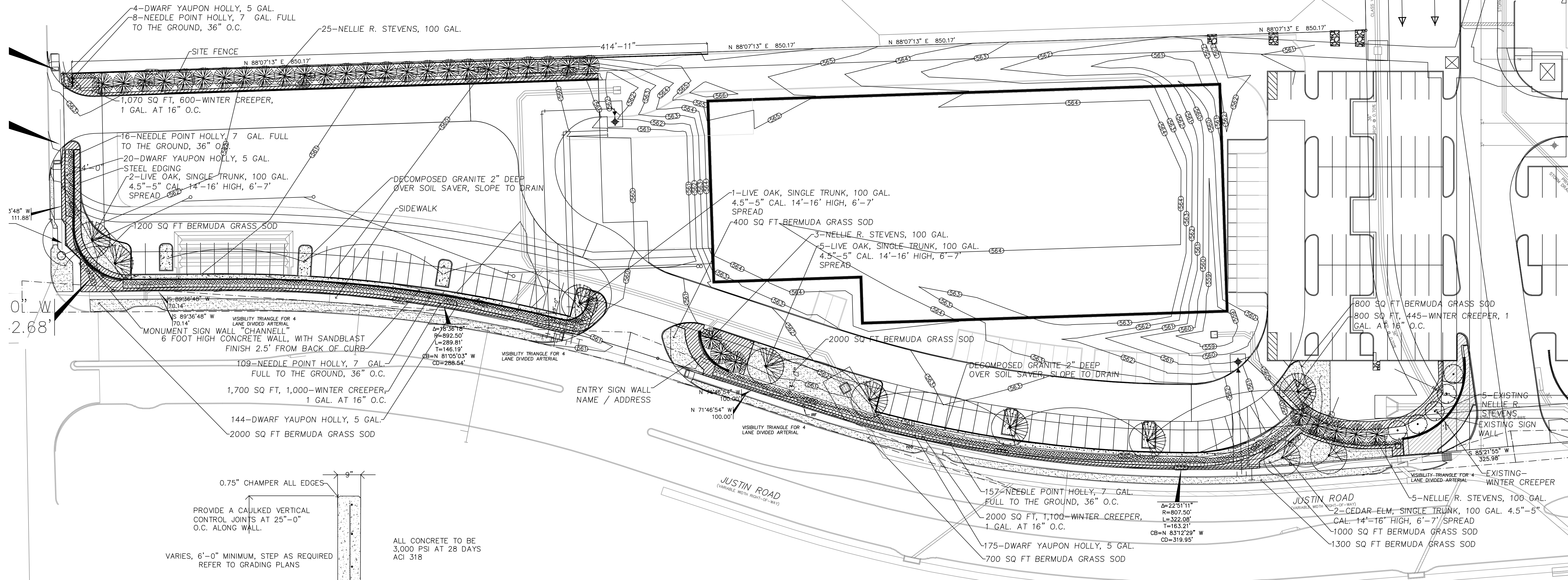
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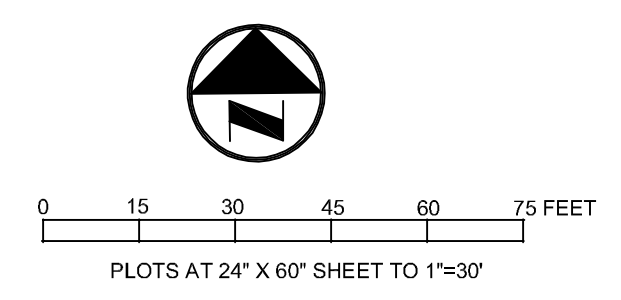


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PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/26/2020

PROJECT NUMBER: SP2020-011
PROJECT NAME: Amended Site Plan for Channell Commercial Corporation
SITE ADDRESS/LOCATIONS: 1700 S JOHN KING BLVD

CASE MANAGER: David Gonzales
CASE MANAGER PHONE: 972-772-6488
CASE MANAGER EMAIL: dgonzales@rockwall.com

CASE CAPTION: Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Ed Burke of Channell Commercial Corporation for the approval of an Amended Site Plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	06/25/2020	Needs Review

06/25/2020: SP2020-011; Amended Site Plan for Channell Commercial Corp.
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-011) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the SH-205 By-Pass Overlay (SH-205 BY OV) District, and the Development Standards of Article 05, that are applicable to the subject property.

I.5 Signage Plan. Please note that the plan for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

I.6 Please note that the property will require a replat prior to the issuance of a building permit.

I.7 All comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

M.8 Provide a standard signature block with a signature space for the Planning & Zoning Chairman and Planning Director on all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

M.9 Provide a Site Data Table and the same site data information on all plans as required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of

the checklist. See the checklist for details. (§03.04.A, Art. 11, UDC)

M.10 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC):

- 1) Remove building footprint of future building as this is not being considered with this site plan amendment. (§03.04.B, Art. 11, UDC)
- 2) Indicate the location and total square footage of the proposed storage area. (§03.04.B, Art. 11, UDC)
- 3) Indicate front building setbacks adjacent to right-of-way. (§03.04.B, Art. 11, UDC)
- 4) Indicate the minimum 10-ft landscape buffer along Justin Road. (§03.04.B, Art. 11, UDC)
- 5) Indicate location of all Fire Hydrants. (§03.04.B, Art. 11, UDC)
- 6) Update the parking table indicating the total number of required parking spaces and remove the parking table listed as 'Future Bldg Parking Data Summary'. This site is not considering the future building, only the addition of parking spaces to the existing building. (§05.01, Art. 06, UDC)
- 7) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed. (§03.04.B, Art. 11, UDC)
- 8) As a note, all parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department for compliance).
- 9) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. Must meet Engineering standards of design. (§03.02, Art. 06, UDC)
- 10) Outside Storage. Outside storage of materials shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property. The screening must be at least one (1) foot taller than the material being stored (i.e. demonstrate that the materials being stored will not exceed six (6) feet in height as indicated for the proposed wall height) and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve a screening method in accordance with Subsection 05.02, Landscape Screening Standards, of Article 08, Landscape Standards. Provide landscape detail. (§01.05.E, Art. 05, UDC)
- 11) Driveway Spacing. Approval of a variance to the driveway spacing from the adjacent property to the north is required for the proposed ingress/egress at the western property boundary of Industrial Blvd. (Engineering Standards of Design and Construction)

M.11 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Sec. 2, Art. 08, UDC):

- 1) Provide the necessary landscape screening associated with the outside storage requirement on the site plan along Justin Road (i.e. canopy trees on 20-foot centers). (§01.05.E, Art. 05, UDC)
- 2) Indicate the locations and dimensions of the required landscape buffers along Justin Road. (§05.01, Art. 08, UDC)
- 3) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed. (§03.04.B, Art. 11, UDC)
- 4) Delineate and label a minimum 10-foot landscape buffer strip along Justin Road. (§05.01.B.1, Art. 08, UDC)
- 5) Provide trees in the required street landscape buffer in numbers equal to one (1) canopy tree and one (1) accent tree for every 50 feet of street frontage. Verify and provide the necessary amount of trees within the landscape buffer along Justin Road. (§05.01, Art. 08, UDC)
- 6) Add 'Notes' to landscape plan indicating the following:
 - a. Trees must be planted at least five (5) feet from water, sewer and storm sewer lines. (§05.03.E, Art. 08, UDC)
 - b. Irrigation will meet requirements of UDC. (§05.04, Art. 08, UDC)

I.12 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article 09, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.

- 1) A treescape plan was not submitted for this development and is not required.

M. 13 Photometric Plan. Photometric Plan Required. According to Section 3.3, Minimum Requirements, of Article 07, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. Provide plan for review. (§03.03.C, Art. 07, UDC)

As a note:

- 1) No light pole, base or combination thereof shall exceed 30 feet unless further restricted within an Overlay District. The site is restricted to 20-foot maximum height with the overlay district. Provide lighting pole detail. (§03.03.D, Art. 07, UDC)
- 2) Provide lighting cut-sheets of the proposed exterior light fixtures with photometric plan. (§03.03, Art. 07, UDC)

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on July 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due no later than July 7, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 14, 2020 Planning & Zoning Regular Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on June 30, 2020.
- 2) Planning & Zoning regular meeting/public hearing meeting will be held on July 14, 2020.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/25/2020	Needs Review

- 06/25/2020: M - Label the distance for each driveway. Standards of Design and Construction Section 2.
- M - Must show the existing driveways of neighboring properties and label the distances. Standards of Design and Construction Section 2.
- M - Will need a variance from Council regarding the driveway spacing requirements.
- M - Parking spaces to be 20'x9' min. even on curves. Standards of Design and Construction Section 2.
- M - Decomposed granite not allowed for parking. Standards of Design and Construction Section 2.
- M - All site walls, regardless of height, must be rock or stone face.
- M - All walls 3' and over must be engineered.
- M - Are the inlets shown wye inlets? No grate inlets are allowed. Standards of Design and Construction Section 3.
- M - The fire department will likely need the drive isle behind the building to be fire lane. A new fire hydrant may be required to meet spacing.
- M - Driveway radii must be 25'R min. Standards of Design and Construction Section 2.
- M - No storage will be allowed in easements or fire lane. Standards of Design and Construction Section 5.

The following is for your information for the engineering design process.

- I- 4% Engineering inspection fees
- I- Impact fees for new/up-sizing water taps or building square footage.
- I- No storage in fire lane or utility easements - Parking to be 20'x9' if adjacent to the building or head-to-head, all else to be 18'x9' min.
- I- Must show existing and proposed utilities. - Must have detention for reference plans for Justin Rd. for what is being detained already. A portion at corner of Industrial and Justin that is not detained, that will need to be detained.
- I- All retaining walls to be rock or stone faced. No smooth concrete walls.
- I- Retaining walls 3' and over must be engineered.
- I- All fire lane radii to be a minimum of 20' unless the building is 30' or taller then the radii will be required to be 30'
- Label/Show all utilities and easements.
- I- Must get written approval from NTMWD to build and have storage in their easement.
- I- Must meet all city standards of design and construction.

I- Engineering review fees apply.

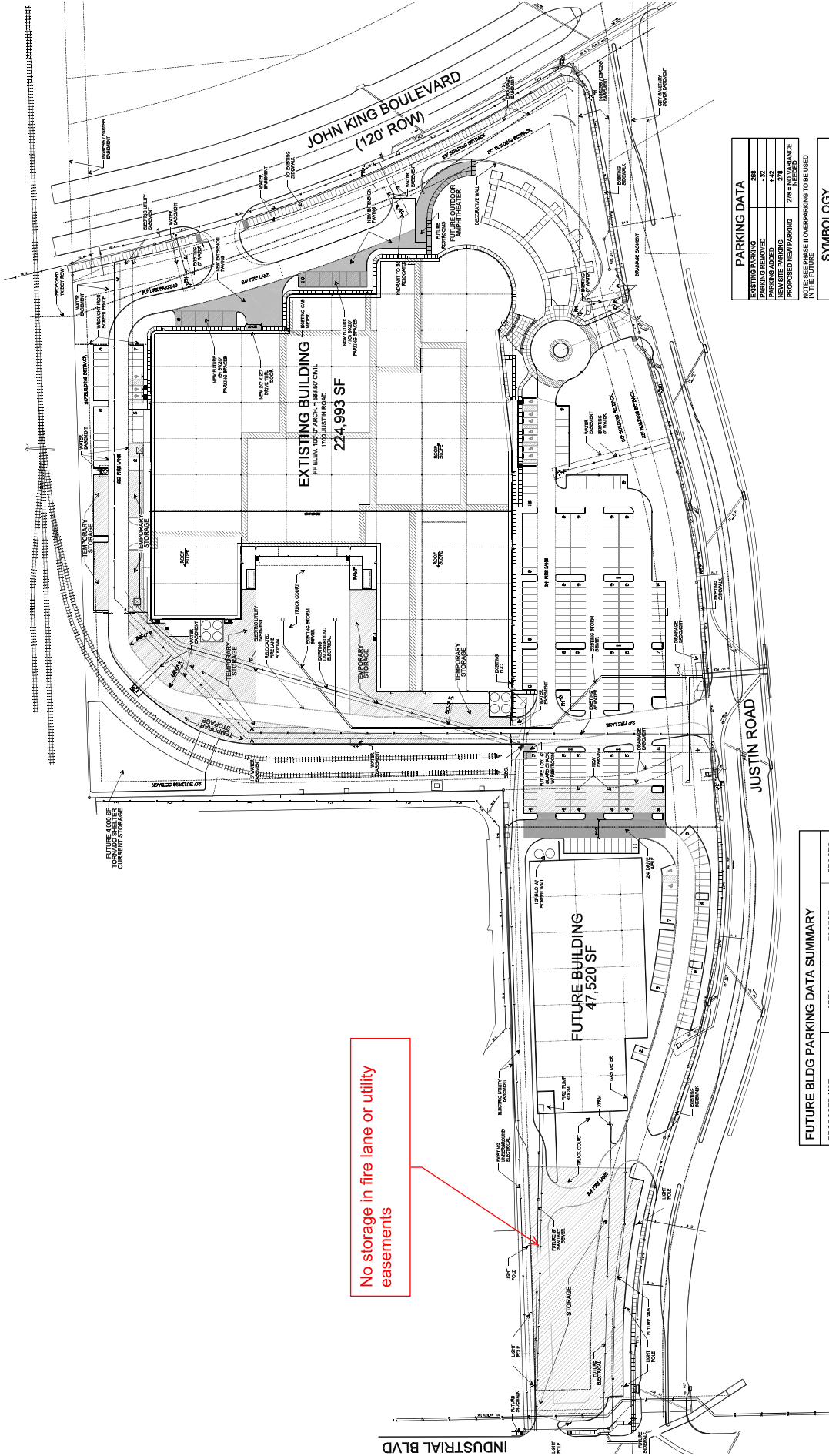
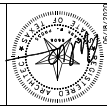
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	06/24/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/24/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/23/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/23/2020	N/A

06/23/2020: Submit tree mitigation plans for addition
Provide a required versus proposed landscape legend
Provide a landscape legend with species, quantities and size



No storage in fire lane or utility easements

PARKING DATA	
EXISTING PARKING	285
PARKING REMOVED	1,287
NEW SITE PARKING	278
PROPOSED NEW PARKING	278 - NO VARIANCE

NOTE: SEE PHASE II OVERLAPPING TO BE USED IN THE FUTURE

SYMBOLOLOGY	
[Hatched Box]	PROPOSED AREAS OF CONSTRUCTION
[Solid Box]	PHASE II WORK



FUTURE BLDG PARKING DATA SUMMARY			
PROPOSED USE	AREA	FACTOR	SPACES
OFFICE - B1 OCC.	1,000 SF	500	5
MANUFACTURING - F1 OCC.	500 SF	500	5
WAREHOUSE - S1 OCC.	50,000 SF	1,000	50
TOTAL	47,500 SF		60 (2 HIC)
- REQUIRED			79 (2 HIC)
- PROVIDED			19 EXCESS

SYMBOLOLOGY	
[Line with 'S']	SEWER
[Line with 'W']	WATER
[Line with 'E']	ELECTRICAL

CHANNELL, INC.
 1700 JUSTIN ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 CONTACT: CHRIS W. BURKE
 972-987-1884



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1700 Justin Road

Subdivision Channel1 Subdivision Lot 2R Block A

General Location NE corner of Justin Road and Industrial Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial Current Use Light Industrial

Proposed Zoning No Change Proposed Use Office / Warehouse / Storage

Acreage 18.762 AC Lots [Current] 1 Lots [Proposed] 1 - no change

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner Channel1 Commercial Corp.	<input checked="" type="checkbox"/> Applicant Mark Pross - Pross Design Group Inc.
Contact Person Ed Burke	Contact Person Mark Pross
Address 1700 Justin Road	Address 5310 Harvest Hill Road, Suite 180
City, State & Zip Rockwall, TX 75087	City, State & Zip Dallas, TX 75230
Phone 951-587-7884	Phone 972-759-1400
E-Mail eburke@channel1.com	E-Mail mpross@pdgarch.net

NOTARY VERIFICATION [REQUIRED]

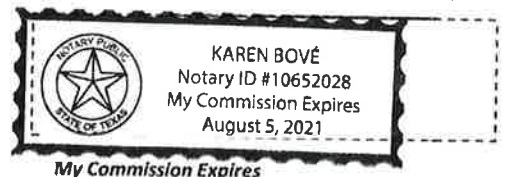
Before me, the undersigned authority, on this day personally appeared Mark W. Pross [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 19th day of June, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the 19th day of June, 20 20.

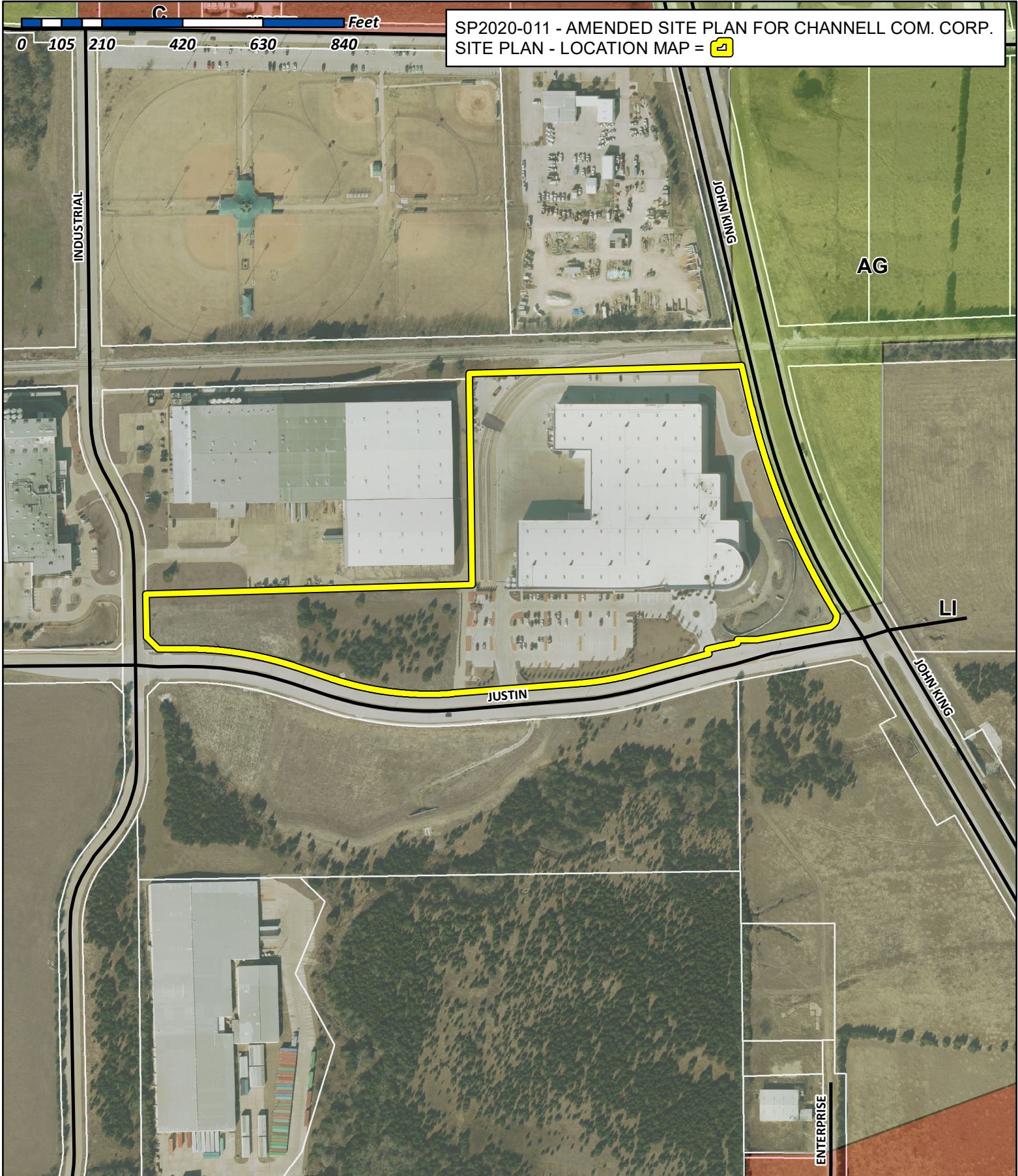
Owner's Signature

Notary Public in and for the State of Texas



0 105 210 420 630 840 Feet

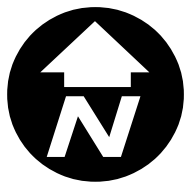
SP2020-011 - AMENDED SITE PLAN FOR CHANNELL COM. CORP.
SITE PLAN - LOCATION MAP = 

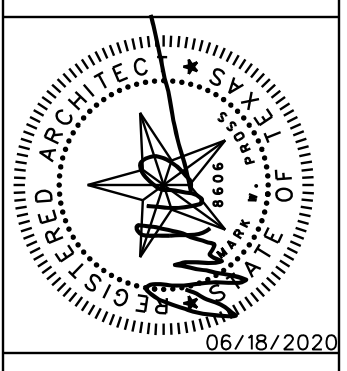


City of Rockwall

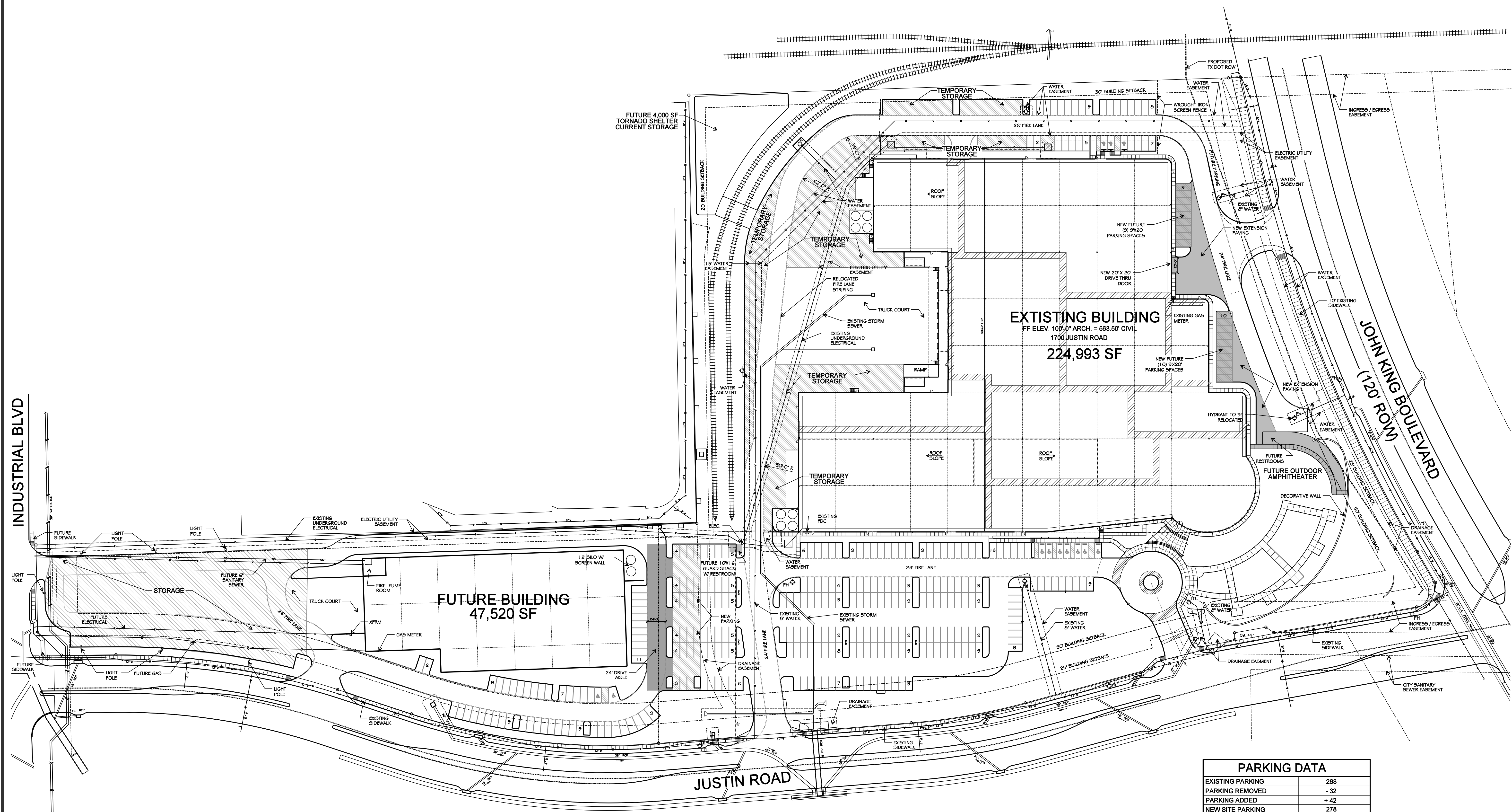
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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PROPOSED USE	AREA	FACTOR	SPACES
OFFICE - B1 OCC.	1,000 SF	300	3
MANUFACTURING - F1 OCC.	10,000 SF	500	20
WAREHOUSE - S1 OCC.	36,520 SF	1,000	37
TOTAL	47,520 SF		
- REQUIRED			60 (2 HC)
- PROVIDED			79 (2 HC)
			19 EXCESS

	GAS
	SANITARY SEWER
	WATER
	ELECTRICAL

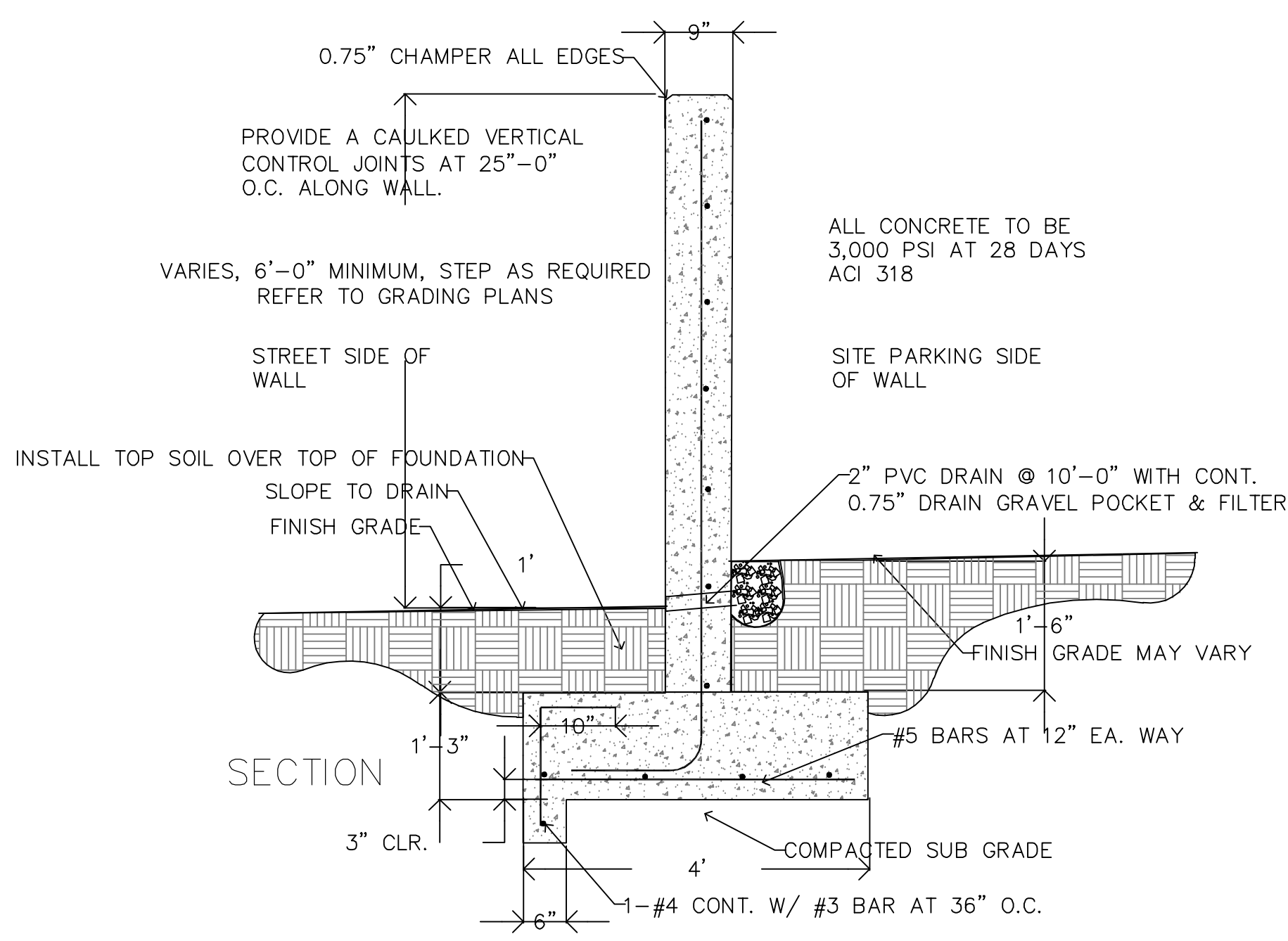
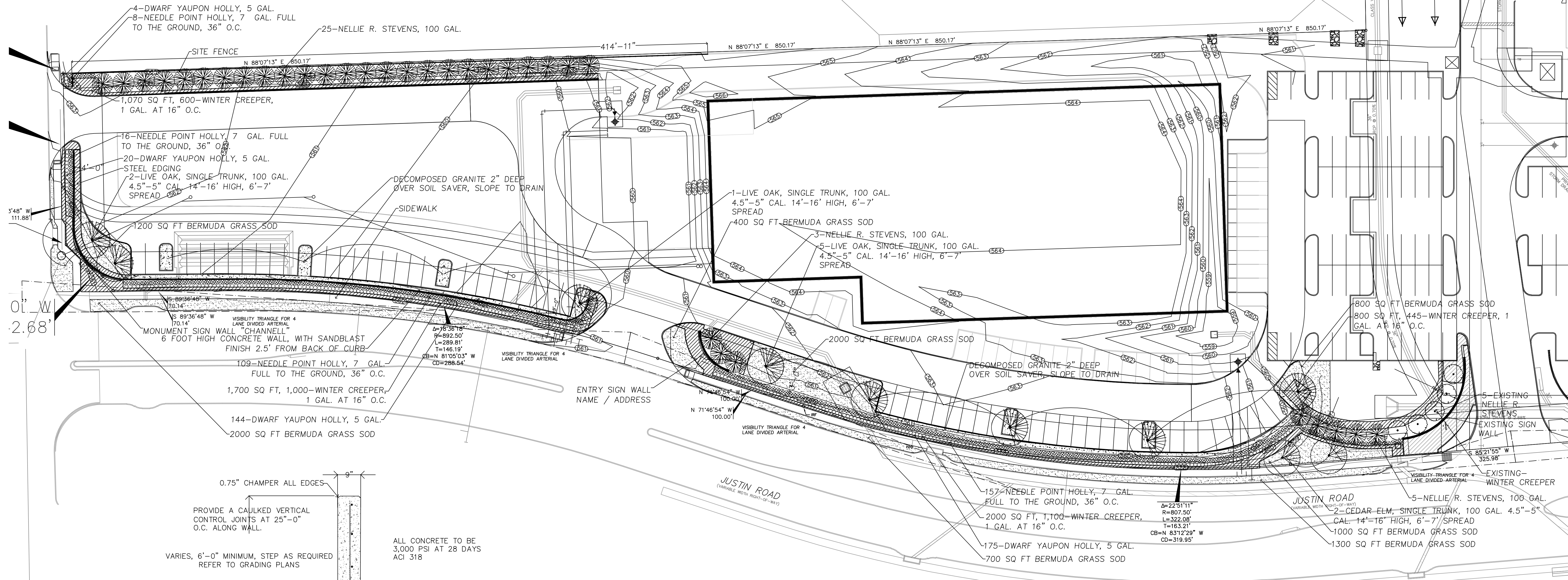
EXISTING PARKING	288
PARKING REMOVED	- 32
PARKING ADDED	+ 42
NEW SITE PARKING	278
PROPOSED NEW PARKING	278 = NO VARIANCE NEEDED

	PROPOSED AREAS OF CONSTRUCTION
	PHASE II WORK

NORTH

1 SITE PLAN
SCALE: 1"=60'-0"

OWNER:
CHANNELL, INC.
26040 YNEZ ROAD
P.O. BOX 9022
TEMECULA, CA 92589-9022
CONTACT: EDWARD J. BURKE
951-587-7884



1 SITE SCREEN WALL DETAILS

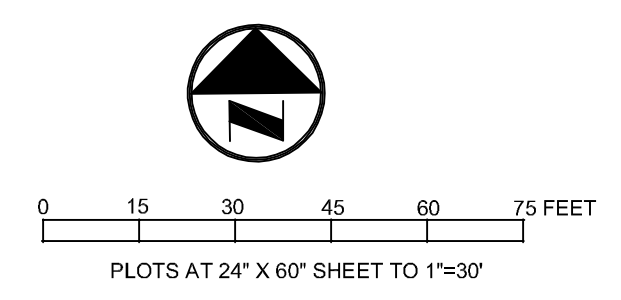
N.T.S.

NOTE:

1. CONCRETE COLOR MIX TO BE APPROVED BY CLIENT
2. STEP FOOTING AS REQUIRED IN 8" STEPS
3. BACK FILL SOIL AFTER FORM WORK REMOVAL TO GRADES SHOWN.
4. 5. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS, FORM WORK, CONCRETE WASH OUT FROM SITE.

SAND BLASTING NOTE:

1. ALL EXPOSED SURFACES TO BE SAND BLASTED.
2. SAMPLE TO BE APPROVED BY CLIENT.
3. SAND BLAST SAND MAY USED ON LANDSCAPE BEDS. NO CLEAN UP EXCEPT ON PAVING SURFACES.



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LANDSCAPE ARCHITECTS AND PLANNER

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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T.H. PRITCHETT, R.L.A. NO. 2115 ON 06/18/2020

NO.	DATE	REVISION

TP T. H. Pritchett / Associates
LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.869-3535

SITE LANDSCAPE PLAN WEST

CHANNELL COMMERCIAL CORP.

WEST PARKING & STORAGE LAYOUT

1700 JUSTIN ROAD

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	06/18/2020	1"=30'			SLPW-1



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: July 14, 2020
SUBJECT: SP2020-011; *Amended Site Plan for Channell Commercial Corporation*

On July 8, 2014, the Planning and Zoning Commission approved a site plan (*i.e. Case No. SP2014-011*) for Channell Commercial Corporation, which is located at the northwest corner of the intersection of John King Boulevard and Justin Road and is zoned Light Industrial (LI) District. Included with this request were variances to the parking, building materials, articulation, lighting, and landscaping requirements all of which were approved by the City Council on July 21, 2014. More recently -- on December 10, 2019 --, the Planning and Zoning Commission approved an amended site plan (*i.e. Case No. SP2019-045*) that was intended to: [1] establish the necessary screening for the outside storage areas on the north side of the building, [2] realign the western drive aisle, and [3] layout additional parking areas. Included on the amended site plan was an area identified as Phase 2, which was shaded with a note denoting that this would be a future submittal. In accordance with the amended site plan, the applicant has submitted an additional amended site plan showing a detailed landscape plan and layout for this area of the subject property. Specifically, the plan shows the limits of the outside storage areas located adjacent to the western property line.

According to the plan, these areas will be screened using an eight (8) foot concrete wall that will be located adjacent to Justin Road and Industrial Boulevard. The wall will be situated approximately ten (10) feet off the property line, and incorporate shrub screening along the entire length of the wall in the ten (10) foot landscape buffer. According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(n)o fence shall be constructed in the front yard of a non-residential property without being granted an exception from the Planning and Zoning Commission ... [t]he Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

- (1) Location. Properties adjacent to IH-30, John King Boulevard, and SH-205 shall be prohibited from having a front yard fence.
- (2) Wrought Iron or Decorative Metal. Wrought iron or decorative metal fences ... shall not exceed eight (8) feet in height.
- (3) Vinyl Coated Chain-Link. In the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) District a vinyl coated chain-link fence may be established in the front yard pending that it [1] is situated a minimum of ten (10) feet off of the front property line, and [2] three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) is established in front of the proposed front yard fence along the entire length of the front property line.
- (4) Opaque Fences. Opaque fences are prohibited in the front yard of non-residential properties.

In addition, Subsection 01.05(E), *Outside Storage*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states that, "(o)utside storage of materials or vehicles shall be screened from all public streets ... (t)he screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (*excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission*)..." In this case, the applicant is requesting a smooth finished, concrete wall that will match the building. The applicant has stated that the purpose of this exception request is to match the existing and establish aesthetic of the property, and to provide more sufficient screening of the proposed storage area. Based on the applicant's plans the proposed screening wall does not appear to create an issue with the adjacent properties or impair visibility on Justin Road; however, the approval of this exception request is a discretionary decision for the Planning and Zoning Commission.

On the north side of the outside storage area (*i.e. the area adjacent to Graham Packaging PET Technologies, Inc.*) the applicant is proposing to utilize 25 x 100-gallon, Nellie R. Stevens and a black vinyl chain-link fence to screen the area. Subsection 05.02(A), *Loading Docks and Outside Storage Areas*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) allows the Planning and Zoning Commission to consider alternative screening that meets one (1) of the following standards: [1] a wrought iron fence and three (3) tiered screening (*i.e. Canopy Trees, Accent Trees and/or Large Shrubs, and Shrubs*) or [2] a wrought iron fence and two (2) rows of staggered mature evergreen trees and one (1) row of canopy trees. In this case, the applicant is screening the outside storage area from the view of Industrial Boulevard and the adjacent light industrial property. While the proposed screening is not exactly what is called for by the Unified Development Code (UDC), it does appear that it will be sufficient to screen the storage areas; however, this is a discretionary decision for the Planning and Zoning Commission.

Also depicted on the plan is the location of a new drive approach along Industrial Boulevard. This drive approach will be a gated entry and lead to a fire lane connecting to the existing fire lane that is already internal to the site. According to the Engineering Department's *Standards of Design and Construction* the minimum driveway spacing for a driveway approach on an arterial or collector is 200-feet from an intersection and 100-feet to another drive approach. In this case, the proposed drive approach is 96-feet away from the driveway from Graham Packaging and ~111-feet away from the intersection of Industrial Boulevard and Justin Road. Staff should point out that this will be a limited access point due to the proposed gate; however, the approval of this exception is discretionary to the Planning and Zoning Commission. It should also be noted that the gate will be required to be setback from the public right-of-way a minimum of 20-feet to allow off-street cueing of one (1) vehicle. This has been added to the conditions of approval.

According to Subsection 9.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions of the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In this case, the majority of the applicant's exception requests are to maintain the general aesthetic already established on the site; however, the three (3) exceptions (*i.e. driveway spacing, screening standards, and front yard fence*) are all discretionary decisions for the Planning and Zoning Commission. Staff should note that a three-quarters majority vote is required to approve any exception request.

If the Planning and Zoning Commission chooses to approve the applicant's exception requests with the amended site plan, staff would offer the following conditions of approval:

- (1) The applicant shall apply for all the necessary building permits for the proposed screening fence.
- (2) The *Future Building* depicted on the amended site plan will require a separate site plan submittal and approval.
- (3) A *Photometric Plan* showing conformance to the City's standards will be required to be submitted with the building permit for the screening fence.
- (4) A wrought iron gate shall be used in lieu of a solid screening fence.
- (5) The proposed gate will need to be a minimum of 20-feet back from the public right-of-way to allow off-street cueing of one (1) vehicle.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1700 Justin Road

Subdivision Channel1 Subdivision Lot 2R Block A

General Location NE corner of Justin Road and Industrial Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial Current Use Light Industrial

Proposed Zoning No Change Proposed Use Office / Warehouse / Storage

Acreage 18.762 AC Lots [Current] 1 Lots [Proposed] 1 - no change

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner Channel1 Commercial Corp.	<input checked="" type="checkbox"/> Applicant Mark Pross - Pross Design Group Inc.
Contact Person Ed Burke	Contact Person Mark Pross
Address 1700 Justin Road	Address 5310 Harvest Hill Road, Suite 180
City, State & Zip Rockwall, TX 75087	City, State & Zip Dallas, TX 75230
Phone 951-587-7884	Phone 972-759-1400
E-Mail eburke@channel1.com	E-Mail mpross@pdgarch.net

NOTARY VERIFICATION [REQUIRED]

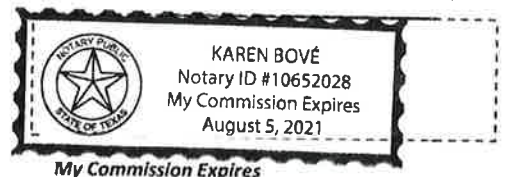
Before me, the undersigned authority, on this day personally appeared Mark W. Pross [Owner] the undersigned, who stated the information on this application to be true and certified the following:

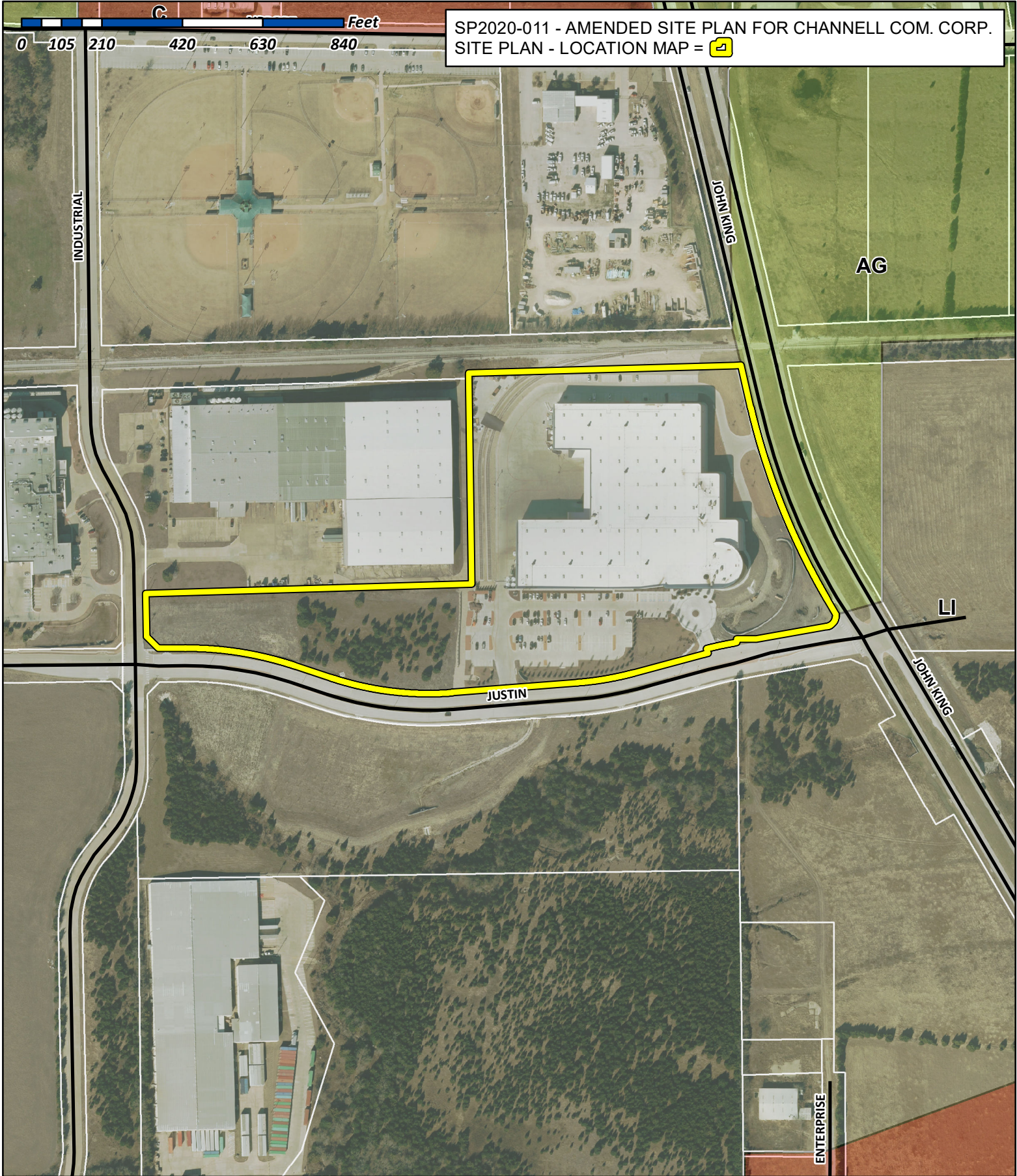
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 19th day of June, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 19th day of June, 20 20.

Owner's Signature

Notary Public in and for the State of Texas





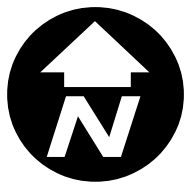
SP2020-011 - AMENDED SITE PLAN FOR CHANNEL COM. CORP.
 SITE PLAN - LOCATION MAP = [yellow square icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

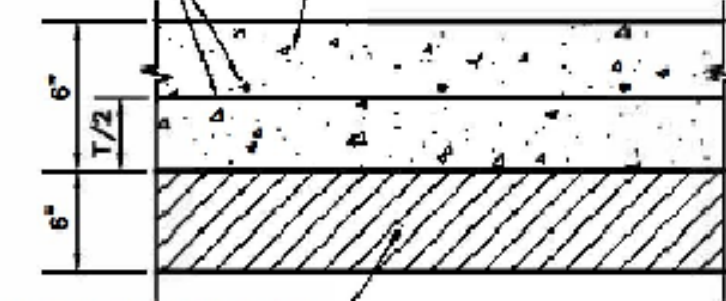
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VARIANCE REQUESTS

1. REQUEST VARIANCE TO ALLOW DRIVEWAY SPACING AS SHOWN
2. REQUEST LANDSCAPE VARIANCE AS INDICATED ON LANDSCAPE DRAWING
3. SCREEN WALL ON JUSTIN ROAD TO BE CONCRETE IN LIEU OF ROCK OR STONE FACE

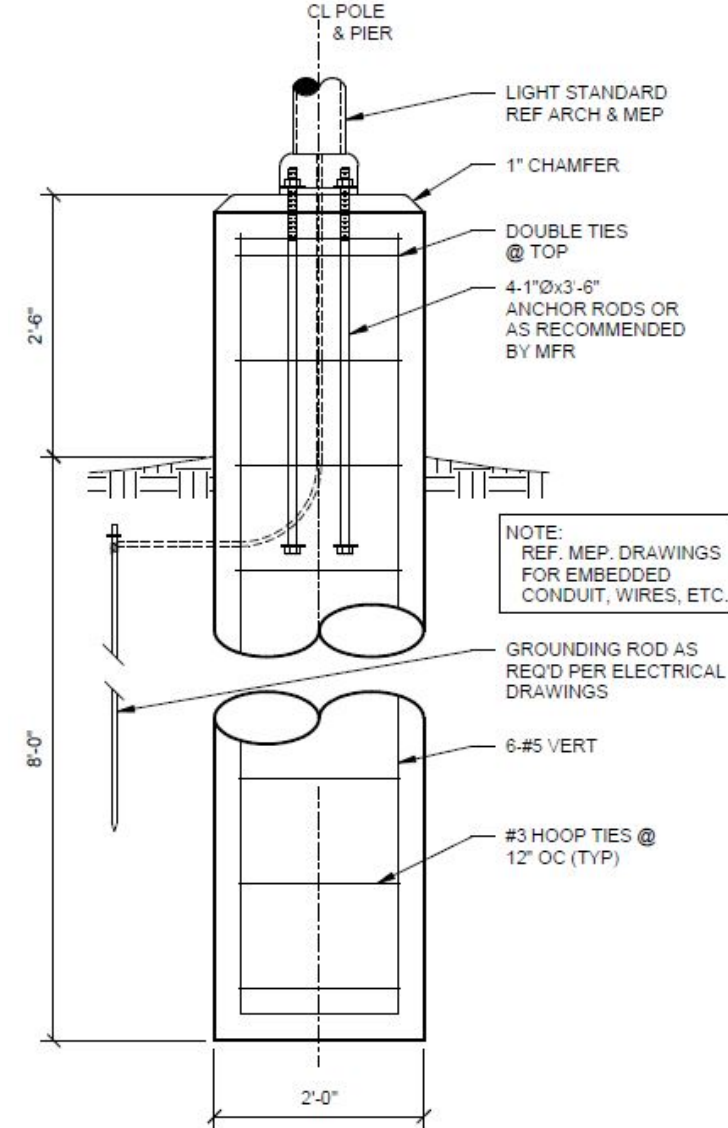
NO. 3 BARS ON 24" CTRS. BOTH WAYS ON PARKING AREAS AND FIRE LANES.
NO. 3 BARS ON 18" CTRS. BOTH WAYS ON TRUCK AND DUMPSTER AREAS.



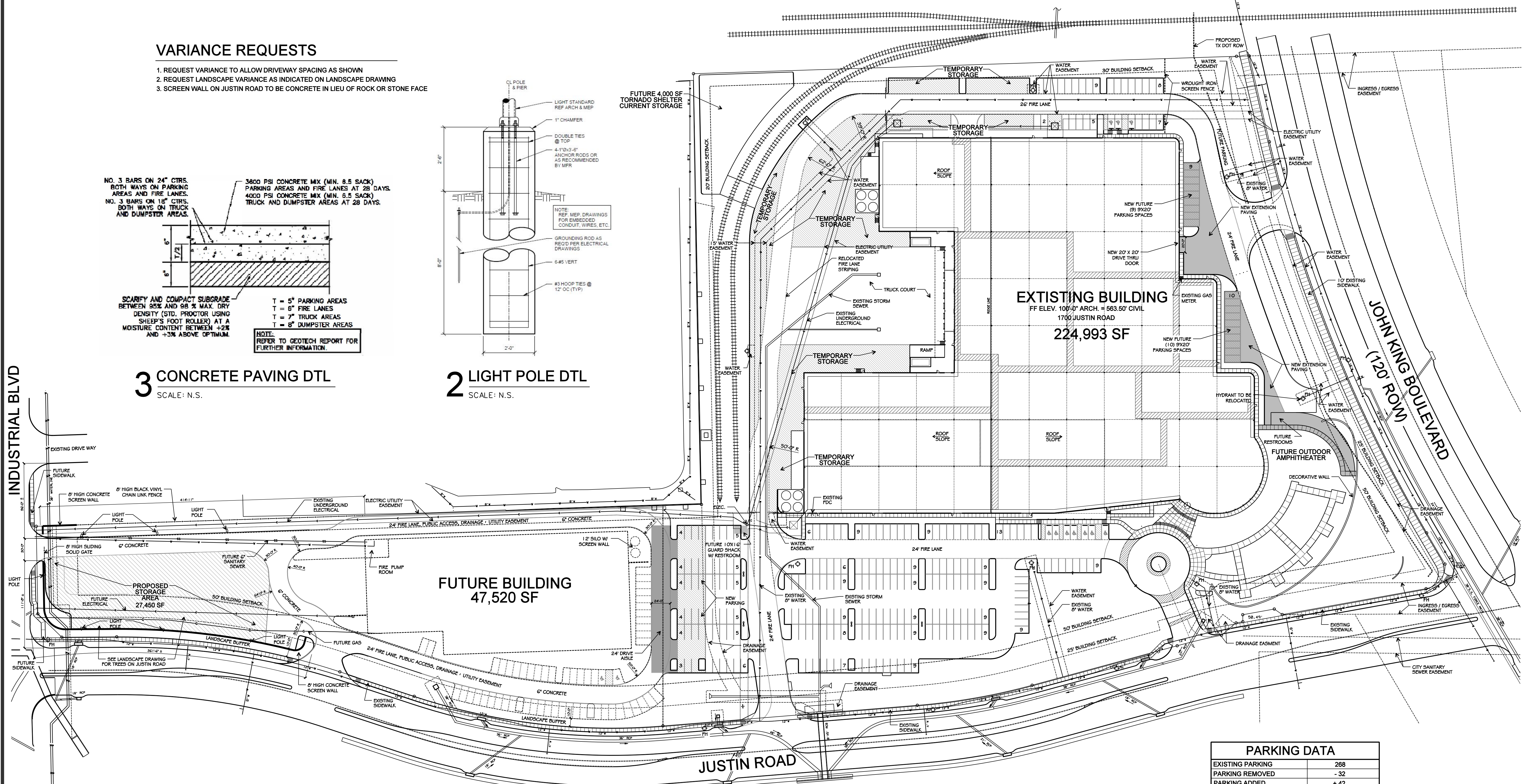
3600 PSI CONCRETE MIX (MIN. 8.5 SACK) PARKING AREAS AND FIRE LANES AT 28 DAYS.
4000 PSI CONCRETE MIX (MIN. 6.5 SACK) TRUCK AND DUMPSTER AREAS AT 28 DAYS.

SCARIFY AND COMPACT SUBGRADE BETWEEN 95% AND 98% MAX. DRY DENSITY (STD. PROCTOR USING SHEEP'S FOOT ROLLER) AT A MOISTURE CONTENT BETWEEN +2% AND +3% ABOVE OPTIMUM.

3 CONCRETE PAVING DTL
SCALE: N.S.



2 LIGHT POLE DTL
SCALE: N.S.



FUTURE BUILDING
47,520 SF

EXISTING BUILDING
FF ELEV. 100'-0" ARCH. = 563.50' CIVIL
1700 JUSTIN ROAD
224,993 SF

PARKING DATA	
EXISTING PARKING	288
PARKING REMOVED	- 32
PARKING ADDED	+ 42
NEW SITE PARKING	278
PROPOSED NEW PARKING	278 = NO VARIANCE NEEDED

NOTE: SEE PHASE II OVERPARKING TO BE USED IN THE FUTURE

SYMBOLGY	
	PROPOSED AREAS OF CONSTRUCTION
	PHASE II WORK

SYMBOLGY	
	PROPOSED STORAGE AREA
	TOTAL SITE AREA
	27,450 SF
	18.762 ACRES

SYMBOLGY	
	GAS
	SANITARY SEWER
	WATER
	ELECTRICAL

STANDARD SITE PLAN WORDING
City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

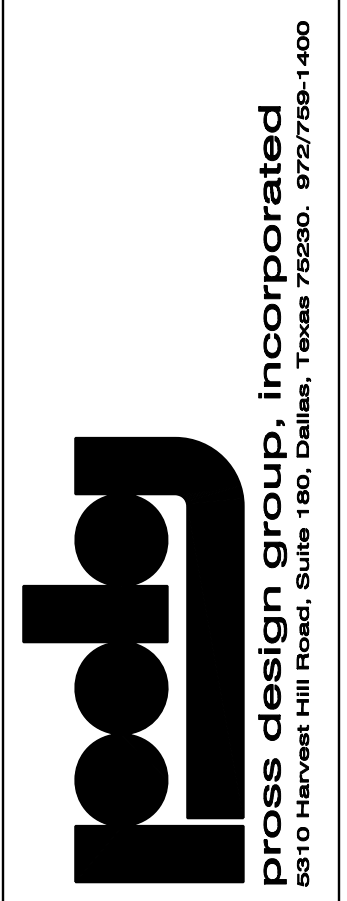
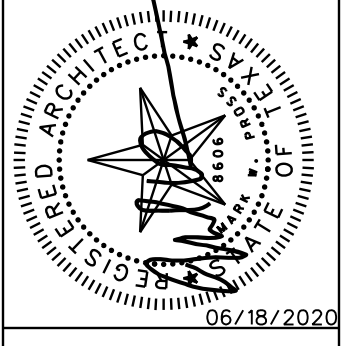
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NORTH

1 SITE PLAN
SCALE: 1"=60'-0"

OWNER:
CHANNELL, INC.
26040 YNEZ ROAD
P.O. BOX 9022
TEMECULA, CA. 92589-9022
CONTACT: EDWARD J. BURKE
951-587-7884



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\$ TIMES
\$ DATES
\$ FILES

DALLAS POLE

SQUARE POLES

SQUARE STRAIGHT POLE



POLE SHAFT

The pole shaft is one piece construction, fabricated from a weldable carbon steel, and has uniform wall thickness. The shaft will have a minimum yield strength of 55,000 PSI, and conforms to ASTM A-500 grade C. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, and rounded corners.

FINISH

A polyester thermosetting powder coat is electronically applied as standard on all finished poles. Standard finishes are BRONZE, Black, and White. Consult your Dallas Pole representative for pricing on custom finishes.

ANCHOR BASE

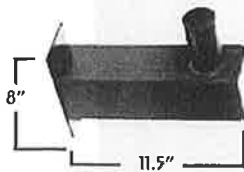
The anchor base is fabricated from a structural quality hot rolled carbon steel plate that meets a minimum yield strength 36,000 PSI. The anchor base telescopes the pole shaft and has a circumferential welded top and bottom.

ANCHOR BOLTS

Anchor bolts are fabricated from a commercial quality, hot rolled carbon steel bar with a minimum yield strength of 36,000 PSI. Each bolt is furnished with two heavy hex nuts and two flat washers and will ship with poles unless otherwise specified.

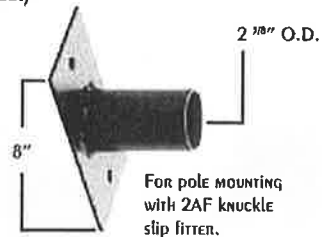
ACCESSORIES

PMV
POLE MOUNT VERTICAL
(4" sq. ALUMINUM) EPA .3
2" O.D.



FOR USE WITH ATLAS SERIES (DIE-CAST SMALL AND MEDIUM HOUSINGS, DCM AND DCS) TO BE USED WITH 2AF KNUCKLE SLIP FITTERS. (Multiple units)

PMH
POLE MOUNT HORIZONTAL
(STEEL)



FOR POLE MOUNTING WITH 2AF KNUCKLE SLIP FITTER.

- TVA4
4" BASE
- TVA5
5" BASE
- TVA6
6" BASE



MORE ACCESSORIES ARE LISTED ON PAGES 15 - 17 (TENONS AND ADAPTERS).



DESCRIPTION

The Lumark Tribute luminaire is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas and any security lighting application. U.L. listed and CSA certified for wet locations.

SPECIFICATION FEATURES

Construction

Rugged, one-piece, die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One stainless spring latch and two stainless hinges allow tool-less opening and removal of door frame.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Reflector

Choice of nine high efficiency optical distributions, including five segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are field rotatable in 90° increments and offered standard with mogul-base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1-1/4" to 2-3/8" O.D. horizontal tenon, while a four-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish

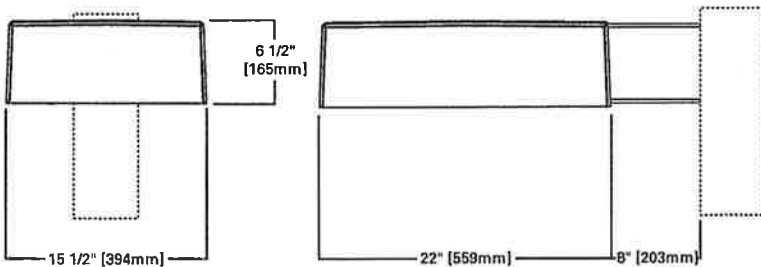
Housing and arm finished in a five-stage premium TGIC bronze polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.



TR TRIBUTE

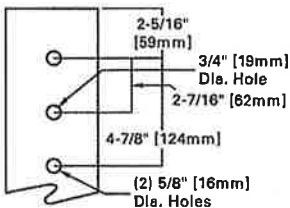
70 - 400W
High Pressure Sodium
Metal Halide
Pulse Start Metal Halide
AREA LUMINAIRE

DIMENSIONS

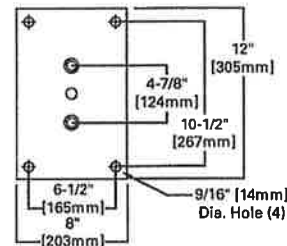


DRILLING PATTERNS

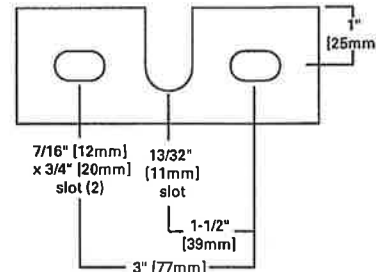
TYPE "M"



WALL MOUNT (MA1219-XX)



TRUNNION MOUNT



TECHNICAL DATA

UL Wet Locations Listed
 CSA Certified
 EISA Compliant ©

ENERGY DATA

HI-Reactance Ballast Input Watts
 70W HPS HPF (95 Watts)
 100W HPS HPF (130 Watts)
 150W HPS HPF (190 Watts)
 150W MP HPF (185 Watts)

CWI Ballast Input Watts
 250W HPS HPF (300 Watts)

CWA Ballast Input Watts

175W MH HPF (210 Watts)
 200W MP HPF (227 Watts) ©
 200W HPS HPF (250 Watts)
 250W MH HPF (295 Watts)
 250W MP HPF (283 Watts) ©
 320W MP HPF (365 Watts) ©
 350W MP HPF (397 Watts) ©
 400W MP HPF (452 Watts) ©
 400W MH HPF (455 Watts)
 400W HPS HPF (465 Watts)

EPA DATA

Effective Projected Area: (Sq. Ft.)
 With Arm: 1.87
 Without Arm: 1.19

SHIPPING DATA

Approximate Net Weight:
 39 lbs. (17.73 kgs.)



TECHNICAL DATA

CATALOG	MNTG. HEIGHT	POLE SHAFT	WALL GAUGE SIZE	Bolt Circle	Bolt Size	Wind	Wind	Wind	Wind	Wind	Wind	Wind	Ship Weight*
						80MPH 1.3 Gust	90MPH 1.3 Gust	100MPH 1.3 Gust	110MPH 1.3 Gust	120MPH 1.3 Gust	130MPH 1.3 Gust	140MPH 1.3 Gust	
SSP10-3-11	10FT	3" X 10'	11	7.5	.75X18X3	18.4	14.2	11.2	8.9	7.2	5.9	4.9	53.8LBS
SSP10-4-11	10FT	4" X 10'	11	8	.75X18X3	34.1	26.4	21.0	17.0	13.9	11.5	9.6	88LBS
SSP15-3-11	15FT	3" X 15'	11	7.5	.75X18X3	10.9	8.0	6.0	4.6	3.4	2.5	1.8	76.7LBS
S2SSP15-4-11	15FT	4" X 15'	11	8	.75X18X3	20.8	15.7	12.1	9.4	7.4	5.8	4.5	119LBS
SSP20-3-11	20FT	3" X 20'	11	7.5	.75X18X3	6.2	4.2	2.8	1.8	0.9	0.3	0.0	99.6LBS
SSP20-4-11	20FT	4" X 20'	11	8	.75X18X3	12.8	9.2	6.6	4.7	3.2	2.1	1.2	149LBS
SSP20-4-7	20FT	4" X 20'	7	8	.75X18X3	20.2	15.0	11.3	8.6	6.5	4.9	3.6	213LBS
SSP20-5-11	20FT	5" X 20'	11	11	1.0X36X4	22.0	16.3	12.1	9.1	6.8	4.9	3.5	224LBS
SSP25-4-11	25FT	4" X 25'	11	8	.75X30X3	7.7	5.0	3.0	1.5	0.4	0.0	0.0	180LBS
SSP25-4-7	25FT	4" X 25'	7	8	.75X30X3	13.4	9.5	6.6	4.5	2.9	1.7	0.7	263LBS
SSP25-5-11	25FT	5" X 25'	11	11	1.0X36X4	14.3	9.9	6.8	4.4	2.6	1.3	0.2	263LBS
SSP25-5-7	25FT	5" X 25'	7	11	1.0X36X4	23.7	17.3	12.8	9.4	6.8	4.8	3.2	350LBS
SSP30-4-7	30FT	4" X 30'	7	11	1.0X36X4	8.6	5.5	3.2	1.5	0.3	0.0	0.0	326LBS
SSP30-5-11	30FT	5" X 30'	11	11	1.0X36X4	8.9	5.3	2.8	0.9	0.0	0.0	0.0	290LBS
SSP30-5-7	30FT	5" X 30'	7	11	1.0X36X4	16.4	11.3	7.6	4.9	2.9	1.3	0.0	407LBS
SSP30-6-7	30FT	6" X 30'	7	13	1.0X36X4	25.8	18.4	13.1	9.1	6.1	3.8	1.9	521LBS
SSP35-5-7	35FT	5" X 35'	7	11	1.0X36X4	10.6	6.5	3.5	1.3	0.0	0.0	0.0	464LBS
SSP35-6-7	35FT	6" X 35'	7	13	1.0X36X4	17.7	11.7	7.4	4.2	1.8	0.0	0.0	593LBS
SSP40-6-7	40FT	6" X 40'	7	13	1.0X36X4	12.3	7.0	3.3	0.5	0.0	0.0	0.0	667LBS

ORDER INFORMATION

POLE-

Order #	MOUNTING HEIGHT (FT)	Description
SSP10-4-11	10FT	3" X 10'
SSP10-4-11	10FT	4" X 10'
SSP15-3-11	15FT	3" X 15'
SSP15-4-11	15FT	4" X 15'
SSP20-3-11	20FT	3" X 20'
SSP20-4-11	20FT	4" X 20'
SSP20-4-7	20FT	4" X 20'
SSP20-5-11	20FT	5" X 20'
SSP25-4-11	25FT	4" X 25'
SSP25-4-7	25FT	4" X 25'
SSP25-5-11	25FT	5" X 25'
SSP25-5-7	25FT	5" X 25'
SSP30-4-7	30FT	4" X 30'
SSP30-5-11	30FT	5" X 30'
SSP30-5-7	30FT	5" X 30'
SSP30-6-7	30FT	6" X 30'
SSP35-5-7	35FT	5" X 35'
SSP35-6-7	35FT	6" X 35'
SSP40-6-7	40FT	6" X 40'

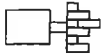
SSP17-4-11=POLE

1@90 COOPER BRONZE

DARK BRONZE

MOUNTING CONFIGURATIONS

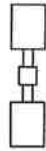
Wall Mount



Arm Mount Single
EPA: 1.62



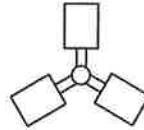
Arm Mount 2@180°
EPA: 3.24



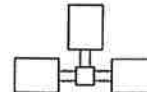
Arm Mount 2@90°
EPA: 3.24



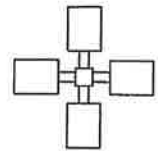
Arm Mount 3@120°
(Round Pole Only)
EPA: 4.43



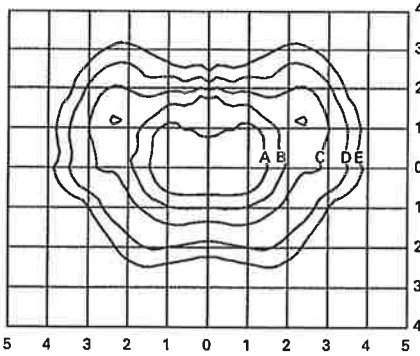
Arm Mount 3@90°
EPA: 4.43



Arm Mount 4@90°
EPA: 5.03



PHOTOMETRICS

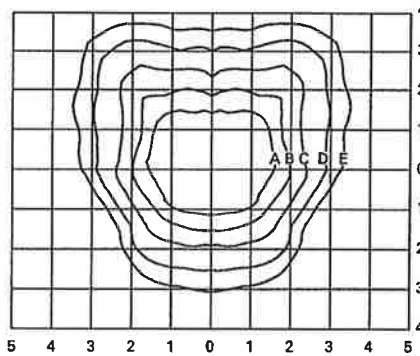


MPTR-3S-320
320—Watt MP
30,000—Lumen Clear Lamp
Type III Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

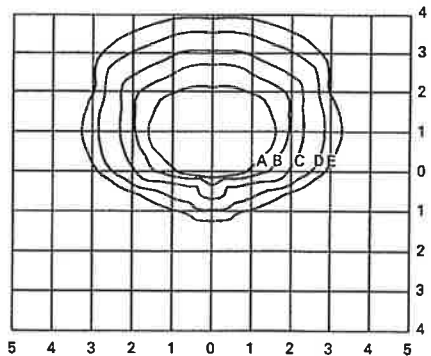


MPTR-4S-400
400—Watt MP
40,000—Lumen Clear Lamp
Type IV Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06



MPTR-SL-400
400—Watt MP
40,000—Lumen Clear Lamp
Spill Light Eliminator

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

ORDERING INFORMATION

Sample Number: MPTR-SL-400-MT-LL

Lamp Type	Series ¹	Distribution	Lamp Wattage ²	Voltage ³
MP=Pulse Start Metal Halide MH=Metal Halide HP=High Pressure Sodium	TR=Tribute	2F=Type II Formed 2S=Type II Segmented 3F=Type III Formed 3S=Type III Segmented 4F=Type IV Formed 4S=Type IV Segmented 5F=Type V Formed 5S=Type V Segmented SL=Spill Light Eliminator	Pulse Start Metal Halide 70=70W 100=100W 150=150W 200=200W 250=250W 320=320W 350=350W 400=400W ³ Metal Halide 175=175W ⁴ 250=250W ⁴ 400=400W ^{3,4} High Pressure Sodium 70=70W 100=100W 150=150W 250=250W 400=400W ³	120V=120V 208V=208V 240V=240V 277V=277V 347V=347V ⁵ 480V=480V DT=Dual-Tap MT=Multi-Tap wired 277V TT=Triple-Tap wired 347V ⁶ 5T=5-Tap wired 480V ⁶
Options (Add as Suffix)		Color	Accessories (Order Separately) ^{**}	
F1=Single Fuse (120, 277 or 347V. Must Specify Voltage) F2=Double Fuse (208, 240 or 480V. Must Specify Voltage) Q=Quartz Restrike (Hot Strike Only) ⁷ EM=Quartz Restrike with Delay Relay (Quartz Lamp Strikes at both Hot and Cold Starts) ⁷ EM/SC=Emergency Separate Circuit ⁷ LL=Lamp Included S=1-7/8" - 2-3/8" Internal Mast Arm Mount TM=Trunnion Mount CEC=California Title 20 Compliant Ballast (Applies to 200-320W and 400W MP Only) PT=Electrical Power Tray PER=NEMA Twistlock Photocontrol Receptacle PC=Button Type Photocontrol ⁸ HS=House Side Cutoff ⁹ LA=Less Arm (Order Mounting Separately)		BZ=Bronze (Standard) BK=Black AP=Grey WH=White DP=Dark Platinum GM=Graphite Metallic	MA1201-XX=Direct Wall Mount Kit ¹ MA1218-XX=Direct Mount for Pole ¹ MA1219-XX=Wall Mounting Plate OA1090-XX=Adjustable Slipfilter Arm for Tenon Mount 2-3/8" O.D. Tenon ¹ MA1221-XX=External House Side Shield Kit - EPA 0.38 MA1222=House Side Shield Kit for 2S/3S MA1223=House Side Shield Kit for 4S MA1224=House Side Shield Kit for 2F/3F MA1225=House Side Shield Kit for 4F MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1012-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1014-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015-XX=2@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1046-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1049-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon TR/VS=Field Installed Vandal Shield ¹¹ OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V	

- Notes:
1. 8" Arm and pole adapter included with fixture. Specify less arm "LA" option when mounting accessory is ordered separately.
 2. 150W and below in pulse start metal halide are medium-base sockets. All other wattages are mogul-base.
 3. Requires reduced envelope lamp.
 4. 175W, 250W and 400W metal halide available in non-U.S. markets only.
 5. Products also available in non-US voltages and 50Hz for international markets. Consult your Eaton's Cooper Lighting business representative for availability and ordering information. 5T only available in 400W metal halide.
 6. 88% efficient EISA Compliant pulse start metal halide fixtures not available in 347V or Triple-Tap voltages.
 7. Quartz options not available with SL optics.
 8. Specify 120V, 208V, 240V or 277V only.
 9. House side shield not available on 5S, 5F or SL optics.
 10. Replace XX with color designation.
 11. Not available with spill light eliminator or house side shield.

STOCK SAMPLE NUMBER (LAMP INCLUDED)

Sample Number: MPTR2340

Lamp Type	Series ²	Distribution	Lamp Wattage
MP=Pulse Start Metal Halide HP=High Pressure Sodium ²	TR=Tribute	23=Type II /III Formed	15=150W 25=250W 32=320W 40=400W

- Notes:
1. Available in 150, 250 and 400W. Refer to In Stock Guide for availability.

VOLTAGE CHART

DT=Dual-Tap	120/277V (Wired 277V)
MT=Multi-Tap	120/208/240/277V (Wired 277V)
TT=Triple-Tap	120/277/347V (Wired 347V)
5T=5-Tap	120/208/240/277/480V (Wired 480V)

WATTAGE CHART

Lamp Type	Wattage
Pulse Start Metal Halide	70, 100, 150, 250, 320, 350, 400W
Metal Halide	175, 250, 400W
High Pressure Sodium	70, 100, 150, 250, 400W

DALLAS POLE

SQUARE POLES

SQUARE STRAIGHT POLE



POLE SHAFT

The pole shaft is one piece construction, fabricated from a weldable carbon steel, and has uniform wall thickness. The shaft will have a minimum yield strength of 55,000 PSI, and conforms to ASTM-A-500 grade C. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, and rounded corners.

FINISH

A polyester thermosetting powder coat is electronically applied as standard on all finished poles. Standard finishes are Bronze, Black, and White. Consult your Dallas Pole representative for pricing on custom finishes.

ANCHOR BASE

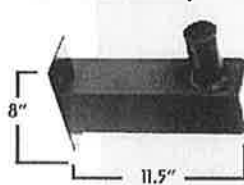
The anchor base is fabricated from a structural quality hot rolled carbon steel plate that meets a minimum yield strength 36,000 PSI. The anchor base telescopes the pole shaft and has a circumferential welded top and bottom.

ANCHOR BOLTS

Anchor bolts are fabricated from a commercial quality, hot rolled carbon steel bar with a minimum yield strength of 36,000 PSI. Each bolt is furnished with two heavy hex nuts and two flat washers and will ship with poles unless otherwise specified.

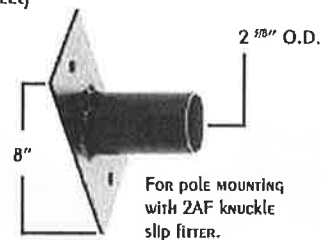
ACCESSORIES

PMV
POLE MOUNT VERTICAL
(4" sq. Aluminum) EPA .3
2 7/8" O.D.



FOR USE WITH Atlas series (die-cast small and medium housings, DCM and DCS) to be used with 2AF Knuckle slipfitters. (Multiple units)

PMH
POLE MOUNT HORIZONTAL
(STEEL)



FOR pole mounting with 2AF knuckle slip fitter.

TVA4
4" BASE

TVA5
5" BASE

TVA6
6" BASE



MORE ACCESSORIES ARE LISTED ON PAGES 15 - 17 (TENONS AND ADAPTERS).

TECHNICAL DATA

CATALOG	MNTG. HEIGHT	POLE SHAFT	WALL GAUGE SIZE	BOLT CIRCLE	BOLT SIZE	Wind	Wind	Wind	Wind	Wind	Wind	Wind	Ship Weight*
						80MPH 1.3 GUST	90MPH 1.3 GUST	100MPH 1.3 GUST	110MPH 1.3 GUST	120MPH 1.3 GUST	130MPH 1.3 GUST	140MPH 1.3 GUST	
SSP10-3-11	10FT	3" X 10'	11	7.5	.75X18X3	18.4	14.2	11.2	8.9	7.2	5.9	4.9	53.8LBS
SSP10-4-11	10FT	4" X 10'	11	8	.75X18X3	34.1	26.4	21.0	17.0	13.9	11.5	9.6	88LBS
SSP15-3-11	15FT	3" X 15'	11	7.5	.75X18X3	10.9	8.0	6.0	4.6	3.4	2.5	1.8	76.7LB-
S2SSP15-4-11	15FT	4" X 15'	11	8	.75X18X3	20.8	15.7	12.1	9.4	7.4	5.8	4.5	119LBS
SSP20-3-11	20FT	3" X 20'	11	7.5	.75X18X3	6.2	4.2	2.8	1.8	0.9	0.3	0.0	99.6LBS
SSP20-4-11	20FT	4" X 20'	11	8	.75X18X3	12.8	9.2	6.6	4.7	3.2	2.1	1.2	149LBS
SSP20-4-7	20FT	4" X 20'	7	8	.75X18X3	20.2	15.0	11.3	8.6	6.5	4.9	3.6	213LBS
SSP20-5-11	20FT	5" X 20'	11	11	1.0X36X4	22.0	16.3	12.1	9.1	6.8	4.9	3.5	224LBS
SSP25-4-11	25FT	4" X 25'	11	8	.75X18X3	7.7	5.0	3.0	1.5	0.4	0.0	0.0	180LBS
SSP25-4-7	25FT	4" X 25'	7	8	.75X30X3	13.4	9.5	6.6	4.5	2.9	1.7	0.7	263LBS
SSP25-5-11	25FT	5" X 25'	11	11	1.0X36X4	14.3	9.9	6.8	4.4	2.6	1.3	0.2	263LBS
SSP25-5-7	25FT	5" X 25'	7	11	1.0X36X4	23.7	17.3	12.8	9.4	6.8	4.8	3.2	350LBS
SSP30-4-7	30FT	4" X 30'	7	11	1.0X36X4	8.6	5.5	3.2	1.5	0.3	0.0	0.0	326LBS
SSP30-5-11	30FT	5" X 30'	11	11	1.0X36X4	8.9	5.3	2.8	0.9	0.0	0.0	0.0	290LBS
SSP30-5-7	30FT	5" X 30'	7	11	1.0X36X4	16.4	11.3	7.6	4.9	2.9	1.3	0.0	407LBS
SSP30-6-7	30FT	6" X 30'	7	13	1.0X36X4	25.8	18.4	13.1	9.1	6.1	3.8	1.9	521LBS
SSP35-5-7	35FT	5" X 35'	7	11	1.0X36X4	10.6	6.5	3.5	1.3	0.0	0.0	0.0	464LBS
SSP35-6-7	35FT	6" X 35'	7	13	1.0X36X4	17.7	11.7	7.4	4.2	1.8	0.0	0.0	593LBS
SSP40-6-7	40FT	6" X 40'	7	13	1.0X36X4	12.3	7.0	3.3	0.5	0.0	0.0	0.0	667LBS

ORDER INFORMATION

POLE-

Order #	MOUNTING HEIGHT (FT)	Description
SSP10-3-11	10FT	3" X 10'
SSP10-4-11	10FT	4" X 10'
SSP15-3-11	15FT	3" X 15'
SSP15-4-11	15FT	4" X 15'
SSP20-3-11	20FT	3" X 20'
SSP20-4-11	20FT	4" X 20'
SSP20-4-7	20FT	4" X 20'
SSP20-5-11	20FT	5" X 20'
SSP25-4-11	25FT	4" X 25'
SSP25-4-7	25FT	4" X 25'
SSP25-5-11	25FT	5" X 25'
SSP25-5-7	25FT	5" X 25'
SSP30-4-7	30FT	4" X 30'
SSP30-5-11	30FT	5" X 30'
SSP30-5-7	30FT	5" X 30'
SSP30-6-7	30FT	6" X 30'
SSP35-5-7	35FT	5" X 35'
SSP35-6-7	35FT	6" X 35'
SSP40-6-7	40FT	6" X 40'

SSP17-4-11=POLE

2@180 COOPER BRONZE



DESCRIPTION

The Lumark Tribute luminaire is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas and any security lighting application. U.L. listed and CSA certified for wet locations.

SPECIFICATION FEATURES

Construction

Rugged, one-piece, die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One stainless spring latch and two stainless hinges allow tool-less opening and removal of door frame.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Reflector

Choice of nine high efficiency optical distributions, including five segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are field rotatable in 90° increments and offered standard with mogul-base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1-1/4" to 2-3/8" O.D. horizontal tenon, while a four-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish

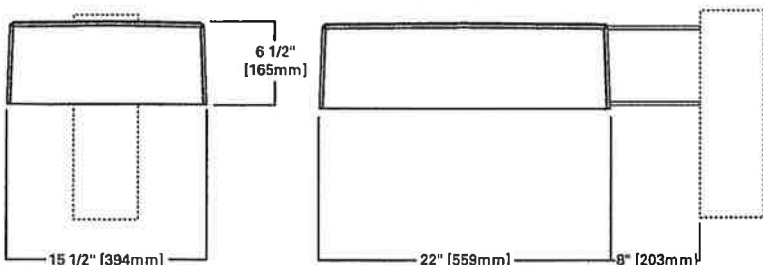
Housing and arm finished in a five-stage premium TGIC bronze polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.



TR TRIBUTE

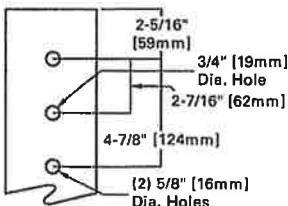
70 - 400W
 High Pressure Sodium
 Metal Halide
 Pulse Start Metal Halide
AREA LUMINAIRE

DIMENSIONS

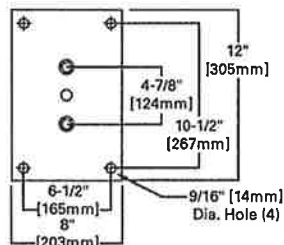


DRILLING PATTERNS

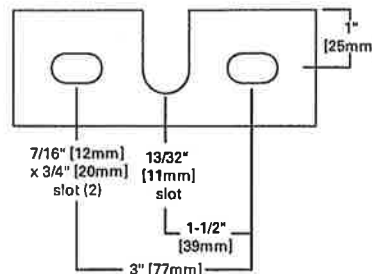
TYPE "M"



WALL MOUNT (MA1219-XX)



TRUNNION MOUNT



TECHNICAL DATA

UL Wet Locations Listed
 CSA Certified
 EISA Compliant ©

ENERGY DATA

Hi-Reactance Ballast Input Watts
 70W HPS HPF (95 Watts)
 100W HPS HPF (130 Watts)
 150W HPS HPF (190 Watts)
 150W MP HPF (185 Watts)

CWI Ballast Input Watts
 250W HPS HPF (300 Watts)

CWA Ballast Input Watts
 175W MH HPF (210 Watts)
 200W MP HPF (227 Watts) ©
 200W HPS HPF (250 Watts)
 250W MH HPF (295 Watts)
 250W MP HPF (283 Watts) ©
 320W MP HPF (365 Watts) ©
 350W MP HPF (397 Watts) ©
 400W MP HPF (452 Watts) ©
 400W MH HPF (455 Watts)
 400W HPS HPF (465 Watts)

EPA DATA

Effective Projected Area: (Sq. Ft.)
 With Arm: 1.87
 Without Arm: 1.19

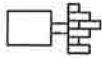
SHIPPING DATA

Approximate Net Weight:
 39 lbs. (17.73 kgs.)



MOUNTING CONFIGURATIONS

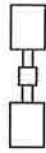
Wall Mount



Arm Mount Single
EPA: 1.62



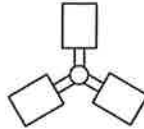
Arm Mount 2@180°
EPA: 3.24



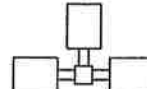
Arm Mount 2@90°
EPA: 3.24



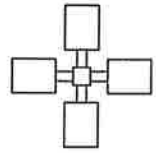
Arm Mount 3@120°
(Round Pole Only)
EPA: 4.43



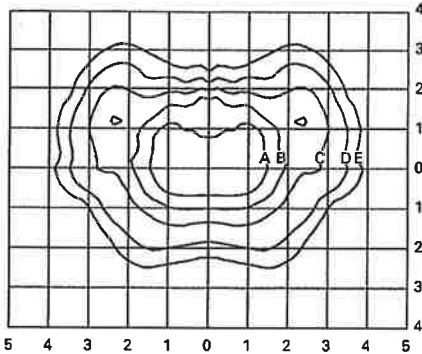
Arm Mount 3@90°
EPA: 4.43



Arm Mount 4@90°
EPA: 5.03



PHOTOMETRICS

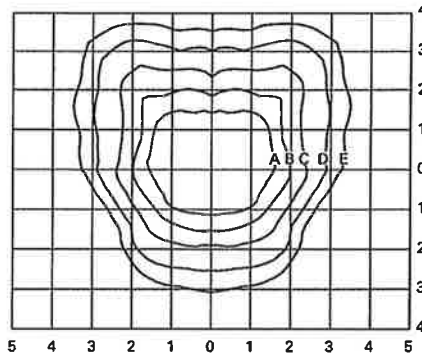


MPTR-3S-320
320—Watt MP
30,000—Lumen Clear Lamp
Type III Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each Isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

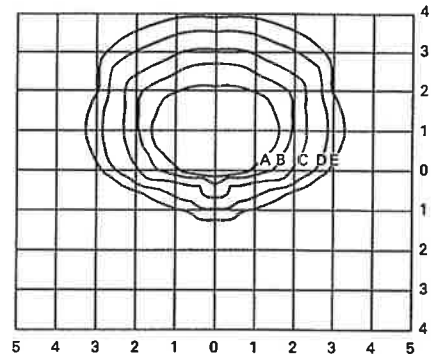


MPTR-4S-400
400—Watt MP
40,000—Lumen Clear Lamp
Type IV Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each Isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06



MPTR-SL-400
400—Watt MP
40,000—Lumen Clear Lamp
Spill Light Eliminator

Footcandle Table

Select mounting height and read across for footcandle values of each Isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

ORDERING INFORMATION

Sample Number: MPTR-SL-400-MT-LL

Lamp Type	Series ¹	Distribution	Lamp Wattage ²	Voltage ⁵
MP=Pulse Start Metal Halide MH=Metal Halide HP=High Pressure Sodium	TR=Tribute	2F=Type II Formed 2S=Type II Segmented 3F=Type III Formed 3S=Type III Segmented 4F=Type IV Formed 4S=Type IV Segmented 5F=Type V Formed 5S=Type V Segmented SL=Spill Light Eliminator	Pulse Start Metal Halide 70=70W 100=100W 150=150W 200=200W 250=250W 320=320W 350=350W 400=400W ³ Metal Halide 175=175W ⁴ 250=250W ⁴ 400=400W ^{3,4} High Pressure Sodium 70=70W 100=100W 150=150W 250=250W 400=400W ³	120V=120V 208V=208V 240V=240V 277V=277V 347V=347V ⁶ 480V=480V DT=Dual-Tap MT=Multi-Tap wired 277V TT=Triple-Tap wired 347V ⁶ 5T=5-Tap wired 480V ⁶

Options (Add as Suffix)	Color	Accessories (Order Separately) ¹⁰
F1=Single Fuse (120, 277 or 347V. Must Specify Voltage) F2=Double Fuse (208, 240 or 480V. Must Specify Voltage) Q=Quartz Restrike (Hot Strike Only) ⁷ EM=Quartz Restrike with Delay Relay (Quartz Lamp Strikes at both Hot and Cold Starts) ⁷ FM/SC=Emergency Separate Circuit ⁷ LL=Lamp Included S=1-1/4" - 2-3/8" Internal Mast Arm Mount TM=Trunnion Mount CEC=California Title 20 Compliant Ballast (Applies to 200-320W and 400W MP Only) PT=Electrical Power Tray PER=NEMA Twistlock Photocontrol Receptacle PC=Button Type Photocontrol ⁸ HS=House Side Cutoff ⁹ LA=Less Arm (Order Mounting Separately)	BZ=Bronze (Standard) BK=Black AP=Grey WH=White DP=Dark Platinum GM=Graphite Metallic	MA1201-XX=Direct Wall Mount Kit ¹ MA1218-XX=Direct Mount for Pole ¹ MA1219-XX=Wall Mounting Plate OA1090-XX=Adjustable Slipfitter Arm for Tenon Mount 2-3/8" O.D. Tenon ¹ MA1221-XX=External House Side Shield Kit - EPA 0.38 MA1222=House Side Shield Kit for 2S/3S MA1223=House Side Shield Kit for 4S MA1224=House Side Shield Kit for 2F/3F MA1225=House Side Shield Kit for 4F MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1012-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1014-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015-XX=2@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1048-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1049-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon TR/V5=Field Installed Vandal Shield ¹¹ OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V

- Notes:
1. 8" Arm and pole adapter included with fixture. Specify less arm "LA" option when mounting accessory is ordered separately.
 2. 150W and below in pulse start metal halide are medium-base sockets. All other wattages are mogul-base.
 3. Requires reduced envelope lamp.
 4. 175W, 250W and 400W metal halide available in non-U.S. markets only.
 5. Products also available in non-US voltages and 50Hz for international markets. Consult your Eaton's Cooper Lighting business representative for availability and ordering information. 5T only available in 400W metal halide.
 6. 88% efficient EISA Compliant pulse start metal halide fixtures not available in 347V or Triple-Tap voltages.
 7. Quartz options not available with SL optics.
 8. Specify 120V, 208V, 240V or 277V only.
 9. House side shield not available on 5S, 5F or SL optics.
 10. Replace XX with color designation.
 11. Not available with spill light eliminator or house side shield.

STOCK SAMPLE NUMBER (LAMP INCLUDED)

Sample Number: MPTR2340

Lamp Type	Series ²	Distribution	Lamp Wattage
MP=Pulse Start Metal Halide HP=High Pressure Sodium ²	TR=Tribute	23=Type II /III Formed	15=150W 25=250W 32=320W 40=400W

- Notes:
1. Available in 150, 250 and 400W. Refer to In Stock Guide for availability.

VOLTAGE CHART

DT=Dual-Tap	120/277V (Wired 277V)
MT=Multi-Tap	120/208/240/277V (Wired 277V)
TT=Triple-Tap	120/277/347V (Wired 347V)
5T=5-Tap	120/208/240/277/480V (Wired 480V)

WATTAGE CHART

Lamp Type	Wattage
Pulse Start Metal Halide	70, 100, 150, 250, 320, 350, 400W
Metal Halide	175, 250, 400W
High Pressure Sodium	70, 100, 150, 250, 400W

DALLAS POLE

SQUARE POLES

SQUARE STRAIGHT POLE



POLE SHAFT

The pole shaft is one piece construction, fabricated from a weldable carbon steel, and has uniform wall thickness. The shaft will have a minimum yield strength of 55,000 PSI, and conforms to ASTM-A500 grade C. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, and rounded corners.

FINISH

A polyester thermosetting powder coat is electronically applied as standard on all finished poles. Standard finishes are Bronze, Black, and White. Consult your Dallas Pole representative for pricing on custom finishes.

ANCHOR BASE

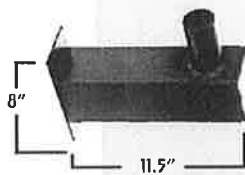
The anchor base is fabricated from a structural quality hot rolled carbon steel plate that meets a minimum yield strength 36,000 PSI. The anchor base telescopes the pole shaft and has a circumferential welded top and bottom.

ANCHOR BOLTS

Anchor bolts are fabricated from a commercial quality, hot rolled carbon steel bar with a minimum yield strength of 36,000 PSI. Each bolt is furnished with two heavy hex nuts and two flat washers and will ship with poles unless otherwise specified.

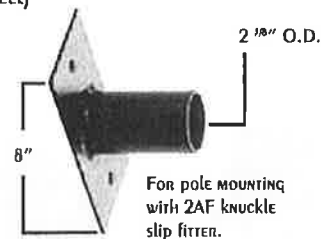
ACCESSORIES

PMV
POLE MOUNT VERTICAL
(4" sq. ALUMINUM) EPA .3
2 7/8" O.D.



FOR USE WITH Arlas series (die-cast small and medium housings, DCM and DCS) TO BE USED WITH 2AF Knuckle slipfitters. (Multiple units)

PMH
POLE MOUNT HORIZONTAL
(STEEL)



For pole mounting with 2AF knuckle slip fitter.

- TVA4
4" BASE
- TVA5
5" BASE
- TVA6
6" BASE



MORE ACCESSORIES ARE LISTED ON PAGES 15 - 17 (TENONS AND ADAPTERS).

TECHNICAL DATA

Catalog	MNTG. Height	Pole Shafr	Wall GAUGE Size	Bolt Circle	Bolt Size	Wind	Wind	Wind	Wind	Wind	Wind	Wind	Ship Weight*
						80MPH 1.3 GUST	90MPH 1.3 GUST	100MPH 1.3 GUST	110MPH 1.3 GUST	120MPH 1.3 GUST	130MPH 1.3 GUST	140MPH 1.3 GUST	
SSP10-3-11	10FT	3" X 10'	11	7.5	.75X18X3	18.4	14.2	11.2	8.9	7.2	5.9	4.9	53.8LBS
SSP10-4-11	10FT	4" X 10'	11	8	.75X18X3	34.1	26.4	21.0	17.0	13.9	11.5	9.6	88LBS
SSP15-3-11	15FT	3" X 15'	11	7.5	.75X18X3	10.9	8.0	6.0	4.6	3.4	2.5	1.8	76.7LB-
S2SSP15-4-11	15FT	4" X 15'	11	8	.75X18X3	20.8	15.7	12.1	9.4	7.4	5.8	4.5	119LBS
SSP20-3-11	20FT	3" X 20'	11	7.5	.75X18X3	6.2	4.2	2.8	1.8	0.9	0.3	0.0	99.6LBS
SSP20-4-11	20FT	4" X 20'	11	8	.75X18X3	12.8	9.2	6.6	4.7	3.2	2.1	1.2	149LBS
SSP20-4-7	20FT	4" X 20'	7	8	.75X18X3	20.2	15.0	11.3	8.6	6.5	4.9	3.6	213LBS
SSP20-5-11	20FT	5" X 20'	11	11	1.0X36X4	22.0	16.3	12.1	9.1	6.8	4.9	3.5	224LBS
SSP25-4-11	25FT	4" X 25'	11	8	.75X18X3	7.7	5.0	3.0	1.5	0.4	0.0	0.0	180LBS
SSP25-4-7	25FT	4" X 25'	7	8	.75X30X3	13.4	9.5	6.6	4.5	2.9	1.7	0.7	263LBS
SSP25-5-11	25FT	5" X 25'	11	11	1.0X36X4	14.3	9.9	6.8	4.4	2.6	1.3	0.2	263LBS
SSP25-5-7	25FT	5" X 25'	7	11	1.0X36X4	23.7	17.3	12.8	9.4	6.8	4.8	3.2	350LBS
SSP30-4-7	30FT	4" X 30'	7	11	1.0X36X4	8.6	5.5	3.2	1.5	0.3	0.0	0.0	326LBS
SSP30-5-11	30FT	5" X 30'	11	11	1.0X36X4	8.9	5.3	2.8	0.9	0.0	0.0	0.0	290LBS
SSP30-5-7	30FT	5" X 30'	7	11	1.0X36X4	16.4	11.3	7.6	4.9	2.9	1.3	0.0	407LBS
SSP30-6-7	30FT	6" X 30'	7	13	1.0X36X4	25.8	18.4	13.1	9.1	6.1	3.8	1.9	521LBS
SSP35-5-7	35FT	5" X 35'	7	11	1.0X36X4	10.6	6.5	3.5	1.3	0.0	0.0	0.0	464LBS
SSP35-6-7	35FT	6" X 35'	7	13	1.0X36X4	17.7	11.7	7.4	4.2	1.8	0.0	0.0	593LBS
SSP40-6-7	40FT	6" X 40'	7	13	1.0X36X4	12.3	7.0	3.3	0.5	0.0	0.0	0.0	667LBS

ORDER INFORMATION

POLE-

Order #	MOUNTING HEIGHT (FT)	Description
SSP10-3-11	10FT	3" X 10'
SSP10-4-11	10FT	4" X 10'
SSP15-3-11	15FT	3" X 15'
SSP15-4-11	15FT	4" X 15'
SSP20-3-11	20FT	3" X 20'
SSP20-4-11	20FT	4" X 20'
SSP20-4-7	20FT	4" X 20'
SSP20-5-11	20FT	5" X 20'
SSP25-4-11	25FT	4" X 25'
SSP25-4-7	25FT	4" X 25'
SSP25-5-11	25FT	5" X 25'
SSP25-5-7	25FT	5" X 25'
SSP30-4-7	30FT	4" X 30'
SSP30-5-11	30FT	5" X 30'
SSP30-5-7	30FT	5" X 30'
SSP30-6-7	30FT	6" X 30'
SSP35-5-7	35FT	5" X 35'
SSP35-6-7	35FT	6" X 35'
SSP40-6-7	40FT	6" X 40'

2@180 COOPER BRONZE

DESCRIPTION

Galleria's beauty and versatility make it an excellent choice for roadway and general area lighting applications. An aesthetic reveal in the formed aluminum housing gives the Galleria a distinctive look while a variety of mounting options and lamp wattages provide maximum flexibility.

Galleria's superior light distributions makes it the optimum choice for almost any small, medium or large area lighting application.

SPECIFICATION FEATURES

Construction

HOUSING: Formed aluminum housing with stamped reveal has interior-welded seams for structural integrity and is finished in premium TGIC polyester powder coat. U.L. listed and CSA certified for wet locations. **DOOR:** Formed aluminum door has heavy-duty hinges, captive retaining screws and is finished in premium TGIC polyester powder coat. (Spider mount unit has steel door.)

Electrical

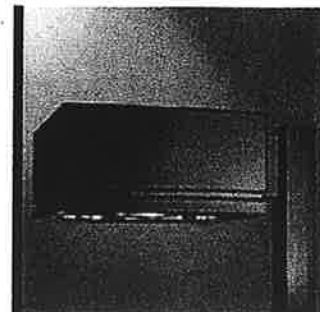
BALLAST TRAY: Ballast tray is hard-mounted to housing interior for cooler operation.

Optical

REFLECTOR: Choice of 14 high efficiency optical systems utilizing horizontal and vertical lamp orientations. Optional high efficiency segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Standard with mogul-base socket. All optical modules feature quick disconnect wiring plugs and are field rotatable in 90° increments. **LENS:** Convex tempered glass lens or flat glass.

Mounting

Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Specify arm-included mounting for contractor-friendly single carton packaging of housing and arm.



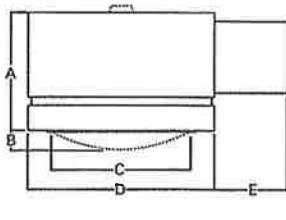
**GSM/GSL
GALLERIA
SQUARE**

100 - 1000W
Pulse Start Metal Halide
High Pressure Sodium
Metal Halide

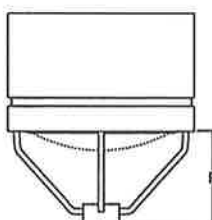
**ARCHITECTURAL AREA
LUMINAIRE**

DIMENSIONS

ARM MOUNT

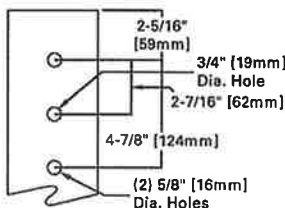


SPIDER MOUNT



ARM DRILLING

TYPE "M"



DIMENSIONAL DATA

Fixture	A	B	C	D	E	F
GSM	11" [279mm]	3-1/2" [89mm]	19-1/4" [480mm]	21-3/4" [552mm]	6" [152mm] 14" [356mm]	15" [381mm] 16" [406mm]
	14-1/2" [279mm]	4-1/4" [108mm]	25-7/8" [657mm]	27" [686mm]	6" [152mm] 14" [356mm]	18-3/4" [476mm] 19-3/4" [502mm]

NOTE: Top cap used on GSM with 1000W flat glass vertically lamped optics only.

ENERGY DATA

CWA Ballast Input Watts
150W MP HPF (185 Watts)
175W MP HPF (198 Watts) Ⓞ
250W MP HPF (283 Watts) Ⓞ
250W HPS HPF (295 Watts)
400W MP HPF (462 Watts) Ⓞ
400W HPS HPF (457 Watts)
750W MP HPF (820 Watts)
1000W MH HPF (1080 Watts)
1000W HPS HPF (1100 Watts)

EPA

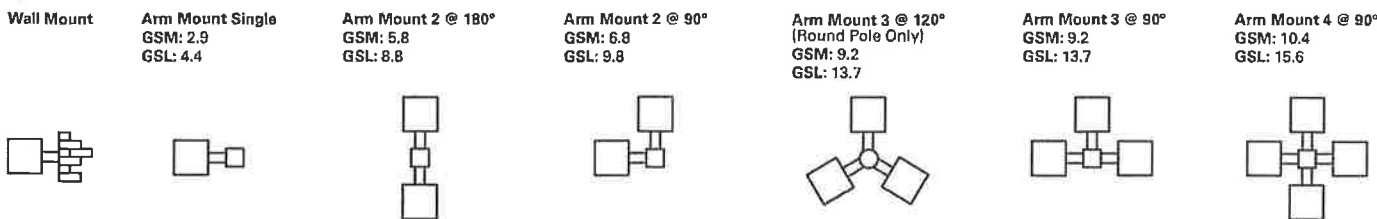
Effective Projected Area: (Sq. Ft.)
[Without Arm]
GSM: 2.40 GSL: 3.90
[Spider Mount]
GSM: 2.66 GSL: 4.45

SHIPPING DATA

Approximate Net Weight:
GSM: 79 lbs. (36 kgs.)
GSL: 88 lbs. (40 kgs.)



MOUNTING CONFIGURATIONS AND EPAS



ORDERING INFORMATION

Sample Number: GSM-AM-400-MP-MT-3V-SG-BZ-L

Product Family	Mounting Method	Lamp Wattage ⁴	Lamp Type	Voltage ⁹	Distribution ⁴	Lens Type	Color ¹⁷
GSM=Galleria Square Medium GSL=Galleria Square Large	Arm Mount AM=Arm Mount ¹ AIR=Arm Included for Round Pole ² AIS=Arm Included for Square Pole ² Spider Mount SM2=Spider Mount (3" O.D. Tenon) SM3=Spider Mount (3-1/2" O.D. Tenon) ³	Pulse Start Metal Halide 150=150W 175=175W 200=200W 250=250W 320=320W 350=350W 400=400W ⁶ 450=450W ⁴ 750=750W 875=875W 1000=1000W ⁷	High Pressure Sodium 100=100W 150=150W 250=250W 400=400W 750=750W 1000=1000W ⁷ Metal Halide ⁸ 175=175W 250=250W 400=400W 1000=1000W ⁷	MP=Pulse Start Metal Halide HPS=High Pressure Sodium MH=Metal Halide ⁸	120V=120V 208V=208V 240V=240V 277V=277V 347V=347V 480V=480V MT=Multi-Tap ¹⁰ TT=Triple-Tap ¹⁰ 5T=5-Tap ¹¹	Horizontal Lamp 1F=Type I Formed ¹² 2F=Type II Formed 2S=Type II Segmented ¹³ 3F=Type III Formed 3S=Type III Segmented ¹³ 4S=Type IV Segmented ¹³ 5S=Type V Segmented ¹³ FT=Forward Throw SL=Spill Light Eliminator ¹⁴ CA=Cutoff Asymmetric w/EHS Vertical Lamp AR=Area Round AS=Area Square 3V=Type III Vertical RW=Rectangular Wide ¹⁵	FG=Flat Glass ¹⁶ SG=Sag Glass AP=Grey BZ=Bronze BK=Black WH=White DP=Dark Platinum GM=Graphite Metallic
Options (Add as Suffix)		Accessories (Order Separately) ²²					
CEC=California Title 20 Compliant Ballast (Applies to 175-320W and 400W MP Only) F=Single Fuse (120, 277 or 347V) FF=Double Fuse (208, 240 or 480V) L=Lamp Included RM=Quartz Restrike w/Delay ¹⁸ Q=Quartz Restrike ¹⁹ R=NEMA Twistlock Photocontrol Receptacle EHS=External Adjustable House Side Shield HS=House Side Shield ^{19,20} VS=Vandal Shield ²¹		GSM-EXTHS=External House Side Shield - 2.24 EPA GSL-EXTHS=External House Side Shield - 2.46 EPA MA1004XX=14" Arm for Square Pole - 1.0 EPA ²³ MA1005XX=6" Arm for Square Pole - 0.5 EPA MA1006XX=Direct Mount Kit for Square Pole MA1007XX=14" Arm for Round Pole - 1.0 EPA ²³ MA1008XX=6" Arm for Round Pole - 0.5 EPA MA1009XX=Direct Mount Kit for Round Pole MA1029XX=Wall Mount Bracket with 10" Arm MA1208XX=11-1/2" Arm and Round Pole Adapter - 0.8 EPA OA1066XX=Mast Arm Adapter MA1010XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1012XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon				MA1014XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015XX=2@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1017XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1049XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1049XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1061=House Side Shield for GSM - Field Installed ²⁴ MA1062=House Side Shield for GSL - Field Installed ²⁴ OA/RA1016=NEMA Twistlock Photocontrol - Multi-Tap OA/RA1027=NEMA Twistlock Photocontrol - 480V OA/RA1201=NEMA Twistlock Photocontrol - 347V	

- Notes:
1. Arm not Included. See Accessories.
 2. Arm length varies based on housing size: 11-1/2" for GSM and 14" for GSL.
 3. Available on GSL housing only.
 4. Standard with mogul-base lamp sockets. Wattage availability varies by housing size, see wattage table.
 5. Requires reduced envelope ED-29 lamp when used with GSM housing and flat glass vertically lamped optics.
 6. 450W Pulse start metal halide only available in vertical lamp orientations (AR, AS, 3V or RW distributions).
 7. Requires reduced envelope BT-37 lamp when used with GSM housing.
 8. 175, 250 and 400W Metal halide available for non-US markets only.
 9. Products also available in non-US voltages and 50Hz for international markets. Consult factory for availability and ordering information.
 10. Multi-Tap ballast is 120/208/240/277V wired 277V. Triple-Tap ballast is 277/347/480V wired 347V.
 11. 5-Tap ballast is 120/208/240/277/480V wired 480V. Only available in 400-1000W.
 12. Medium housing fixture only.
 13. Maximum wattage on segmented optical distributions is 400W. 400W Metal Halide lamp must use reduced envelope ED-29 lamp. Not available in GSL housing.
 14. Must use reduced envelope lamp, not available in GSL housing.
 15. RW optic not available with flat glass.
 16. 1000W GSL with flat glass requires BT-37 lamp and is not available in AS, RW, SL or 3V distributions.
 17. Other finish colors available, including a full line of RAL color matches. Consult your Eaton's Cooper Lighting business representative.
 18. Quartz options not available with SL optics.
 19. House side shield not available with 5S, RW, AS, AR, SL and CA optics.
 20. Not available in 1000W.
 21. Arm mount only, 400W maximum.
 22. Replace XX with color suffix.
 23. Use for mounting fixtures at 90° increments.
 24. Compatible with sag lens vertical optics only.

ⓔ COOPER LIGHTING - LUMARK

DESCRIPTION

The Lumark Warrior offers a variety of lamp and mounting options in high pressure sodium and metal halide, and can be installed, lamped and serviced with the most basic tools. U.L. listed and labeled for wet locations. CSA certified. The Warrior is the ideal floodlight for many area outdoor lighting situations, including parking lots, construction and storage sites, rail yards, light industrial locations, marinas and service areas.

Catalog #	XP40	
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

RETAINING SCREWS: Corrosion-resistant captive retaining screws.
HOUSING: Weather-resistant, die-cast aluminum housing with integral door hinges is finished in dark bronze polyester powder coat.
HOUSING DOOR: Watertight die-cast aluminum housing door is finished in dark bronze polyester powder coat. Cast ridge for water tight seal against gasketing.
GASKET: Full circumference, high-temperature foam-in-place silicone gasketing seals out external contaminants.

Electrical

SOCKET: Mogul-base porcelain socket, except 100W Metal Halide and below has medium-base.
BALLAST: High power factor ballast with class H insulation. Minimum starting temperature is -40°C (-40°F) for HPS and -30°C (-20°F) for MH and MP. Medium base socket for MH 150W and lower.

Mounting

Variable mountings of either 3/16" galvanized steel trunnion (shown below) or integral die-cast aluminum slipfitter (shown in photo to right). Slipfitter fits 2 3/8" - 3" O.D. tenon. Heavy-duty steel yoke provides flexibility in mounting and aiming from a variety of surfaces.

Optical

REFLECTOR: Specular aluminum reflector delivers sharp beam cutoff.
LENS: Clear tempered-glass lens is heat and impact-resistant.



**WR
WARRIOR**

100 - 400W

Pulse Start Metal Halide

Metal Halide

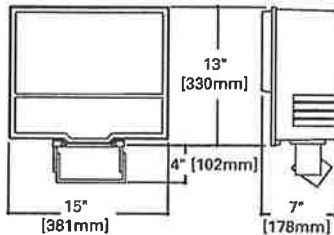
High Pressure Sodium

**SLIPFITTER-, TRUNNION-
OR YOKE-MOUNTED FLOODLIGHT**

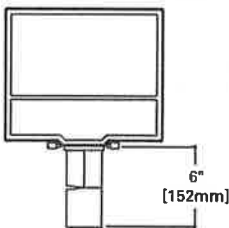
*DARK
BRONZE
COLOR*

DIMENSIONS

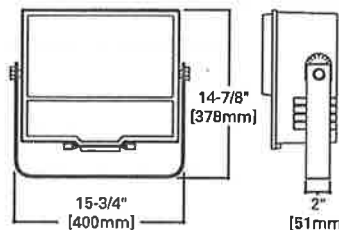
TRUNNION MOUNT



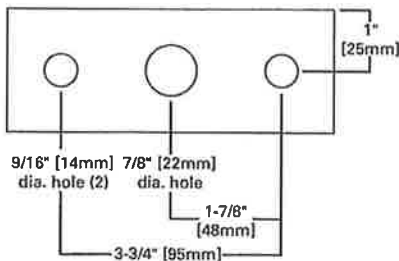
SLIPFITTER MOUNT



YOKE MOUNT



TRUNNION YOKE MOUNT DRILL PATTERN



LAMP TYPE	WATTAGE
Pulse Start Metal Halide (MP)	100, 150, 200, 250, 320, 350, 400W
Metal Halide (MH)	175, 250, 400, 250/400W
High Pressure Sodium (HP)	100, 150, 250, 400W

TECHNICAL DATA

U.L. Wet Location Listed
 CSA Certified
 25°C Maximum Ambient Temperature
 External Supply Wiring 90°C Minimum
 Internal Supply Wiring 150°C Minimum
 EISA Compliant Ⓞ

ENERGY DATA

High Reactance Ballast Input Watts

100W HPS NPF (130 Watts)
 100W MP NPF (128 Watts)
 150W HPS HPF (190 Watts)
 150W MP HPF (185 Watts)

CWI Ballast Input Watts

250W HPS HPF (300 Watts)
CWA Ballast Input Watts
 200W MP HPF (227 Watts) Ⓞ
 250W MP HPF (283 Watts) Ⓞ
 320W MP HPF (365 Watts) Ⓞ
 350W MP HPF (400 Watts) Ⓞ
 400W HPS HPF (465 Watts)
 400W MP HPF (452 Watts) Ⓞ

EPA

Effective Projected Area: 1.3 @ 45°

SHIPPING DATA

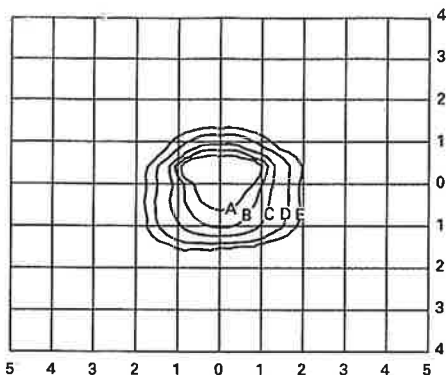
Approximate Net Weight:
 35 lbs. (16 kgs.)



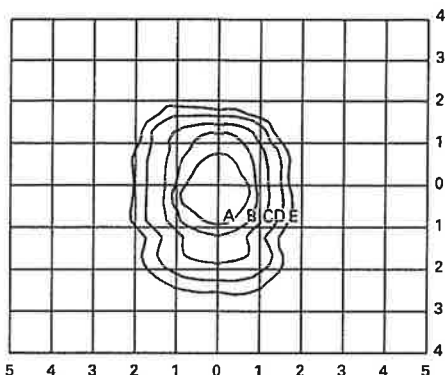
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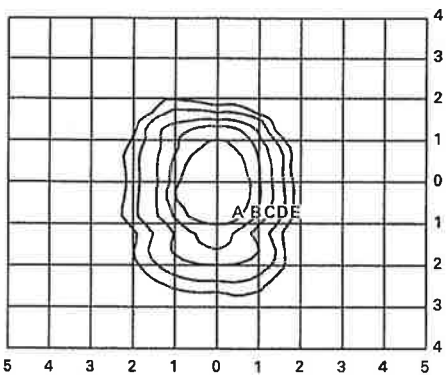
PHOTOMETRICS



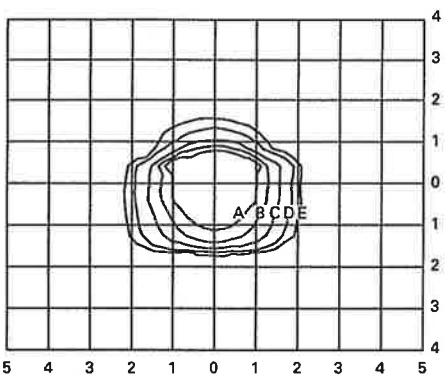
MPWR-65S-250
250—Watt MP
22,000—Lumen Clear Lamp



MPWR-65S-320
320—Watt MP
30,000—Lumen Clear Lamp



MPWR-65S-400
400—Watt MP
42,000—Lumen Clear Lamp



HPWR-65S-400
400—Watt HP
50,000—Lumen Clear Lamp

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	4.50	2.25	1.13	0.56	0.23
25'	2.88	1.44	0.72	0.36	0.14
30'	2.00	1.00	0.50	0.20	0.10

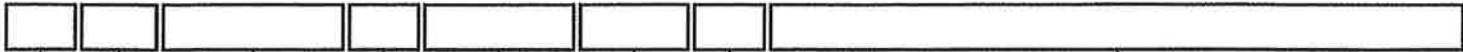
Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	4.50	2.25	1.13	0.56	0.23
25'	2.88	1.44	0.72	0.36	0.14
30'	2.00	1.00	0.50	0.20	0.10

ORDERING INFORMATION

Sample Number: MPWR-65S-100-120V



Lamp Type
MP=Pulse Start Metal Halide
MH=Metal Halide¹
HP=High Pressure Sodium

Series
WR=Warrior

Distribution
65=6H x 5V Beam Spread

Mounting
S= Slipfitter
T= Trunnion
Y= Yoke

Lamp Wattage ²
MP
100=100W
150=150W
200=200W
250=250W
320=320W
350=350W
400=400W
MH
175=175W¹
250=250W¹
400=400W¹
250/400= 250/400W¹
(Wired 250)
HP
100=100W
150=150W
250=250W
400=400W

Voltage ³
120V
208V
240V
277V
347V ⁴
480V
MT
TT ⁴
5T ⁵

Options ⁶
F1=Single Fuse (120, 277 or 347V only)
F2=Double Fuse (208, 240 or 480V only)
Q= Quartz Restrike (Hot Strike Only)
EM= Quartz Restrike with "Delay Relay" (Quartz lamp strikes at both hot and cold starts)
EM/SC= Emergency Separate Circuit
LL= Lamp Included
CEC= California Title 20 Compliant Ballast (Applies to 200-320W and 400W MP only)
PER= NEMA Twistlock Photocontrol Receptacle
PC= Button Type Photocontrol⁷
C23= 3' of 12-3 Cord, Prewired (Specify Single Voltage)
C42= 2' of 14-3 Cord, Prewired (Specify Single Voltage)
C43= 3' of 14-3 Cord, Prewired (Specify Single Voltage)
C63=3' of 16-3 Cord, Prewired (Specify Single Voltage)

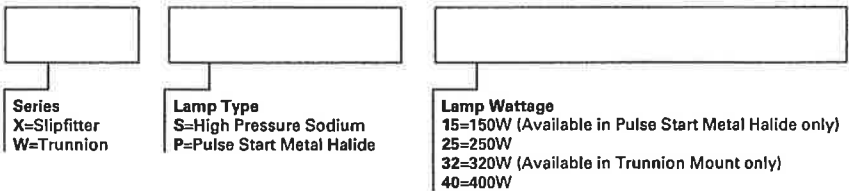
Accessories
TYSXX=Trunnion or Yoke Slipfitter for 2 3/8", 3", or 3 1/2" O.D. Tenon
WG/WR=Wireguard
VG/WR=Vandal Shield
RABXX= Right Angle Pipe Bracket for Slipfitter
SAB-XX= Steel Angle Bracket for Trunnion
TVWR-XX= Top Visor
OA/RA1013= Photocontrol Shorting Cap
OA/RA1014= NEMA Photocontrol 120V
OA/RA1016= NEMA Photocontrol - Multi-Tap
OA/RA1027= NEMA Photocontrol 480V
OA/RA1201= NEMA Photocontrol 347V

- Notes: 1 Metal Halide available in non-U.S. markets only.
2 Medium-base socket for Metal Halide 150W and lower.
3 Products also available in non-US voltages and 50HZ for international markets.
4 88% efficient EISA Compliant fixtures not available in 347V or TT Voltages.
5 5T available in 400W MH only.
6 Must be listed in the order shown and separated by a dash.
7 PC option not available with trunnion or yoke mount.

VOLTAGE CHART	
MT=Multi-Tap	120/208/240/277V (wired 277V)
TT=Triple-Tap	120/277/347V (wired 347V)
5T=5-Tap	120/208/240/277/480V (wired 480V)

STOCK SAMPLE NUMBER (LAMP INCLUDED)

SAMPLE NUMBER: XP40



NOTES:
Options not available with stock products. Order Accessories as separate items for field installation. Refer to standard ordering information to add options and accessories. 320W available in MP only. Refer to In-Stock Guide for availability.

Is this appropriate for
SIGN LIGHTING?

DESCRIPTION

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

Catalog #		Type	
Project		S3-1	
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 10W models operate in -40°C to 40°C [-40°F to 104°F]. 20W and 30W models operate in -30°C to 40°C [-22°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial

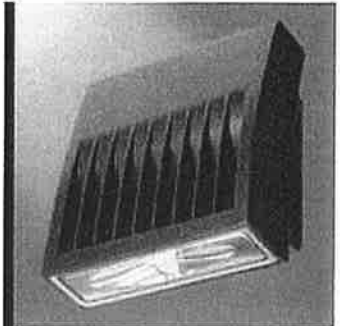
light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

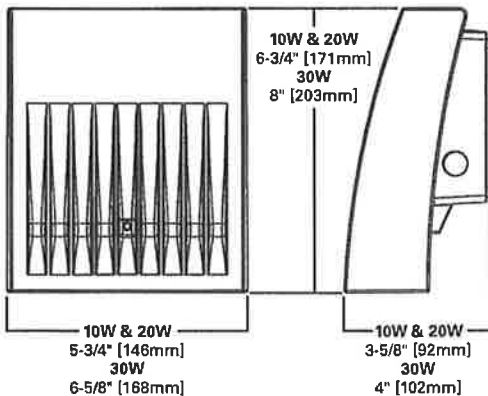
Five-year warranty.



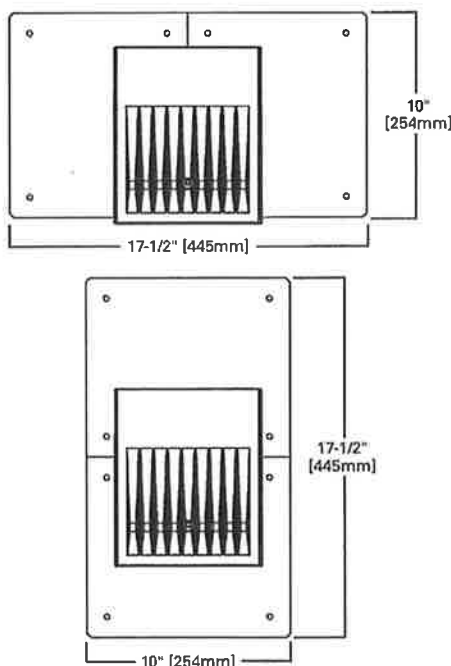
**XTOR
CROSSTOUR LED**

- APPLICATIONS:**
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Lighting Facts® Registered
DesignLights Consortium® Qualified*
Title 24 Compliant

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A = 0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 - 5.25 lbs. [1.7 - 2.4 kgs.]

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
10W Model		
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000
20W Model		
25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000
30W Model		
25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2649	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5000	5000	3500	5000	3500
CRI (Color Rendering Index)	67	65	68	65	68
Power Consumption (Watts)	8W	21W	21W	30W	30W

* B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	10W	20W	30W
120V	0.06A	0.21A	0.29A
208V	0.04A	0.13A	0.18A
240V	0.04A	0.12A	0.16A
277V	0.03A	0.10A	0.14A
347V	0.03A	0.08A	0.11A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W XTOR2A=Small Door, 20W XTOR3A=Small Door, 30W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K ²	[Blank]=Carbon Bronze (Standard) WT=Summit White	PC1=Photocontrol 120V ³ PC2=Photocontrol 208-277V ^{3,4} 347V=347V ⁵ HA=50°C High Ambient ⁵	WG/XTOR=Wire Guard ⁶ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁷ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES: 1 DesignLights Consortium[®] Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small end large top visors and small end large impact shields.

STOCK ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A-WT=10W, 5000K, Summit White	XTOR2A-N=20W, 3500K, Carbon Bronze	XTOR3A-N=30W, 3500K, Carbon Bronze
XTOR1A-PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=20W, Summit White	XTOR3A-WT=30W, Summit White
	XTOR2A-PC1=20W, 120V PC, Carbon Bronze	XTOR3A-PC1=30W, 120V PC, Carbon Bronze



Days Quick-Ship

5-DAY QUICK SHIP ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A-WT-PC1=10W, 5000K, Summit White, 120V PC	XTOR2A-PC2=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=20W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=30W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=20W, 3500K, Summit White	XTOR3A-N-WT=30W, 3500K, Summit White
	XTOR2A-N-PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=30W, 3500K, Summit White, 208-277V PC

DESCRIPTION

The Lumark Tribute luminaire is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas and any security lighting application. U.L. listed and CSA certified for wet locations.

SPECIFICATION FEATURES

Construction

Rugged, one-piece, die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One stainless spring latch and two stainless hinges allow tool-less opening and removal of door frame.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Reflector

Choice of nine high efficiency optical distributions, including five segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are field rotatable in 90° increments and offered standard with mogul-base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1-1/4" to 2-3/8" O.D. horizontal tenon, while a four-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish

Housing and arm finished in a five-stage premium TGIC bronze polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.



TR TRIBUTE

70 - 400W

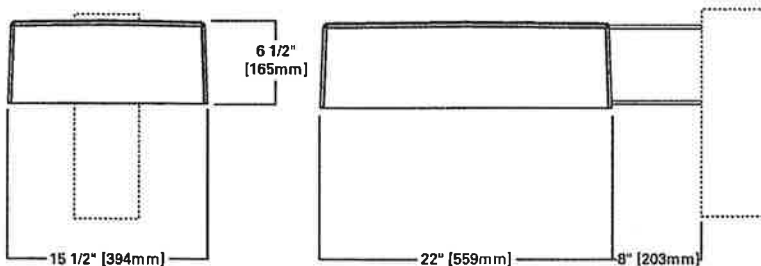
High Pressure Sodium

Metal Halide

Pulse Start Metal Halide

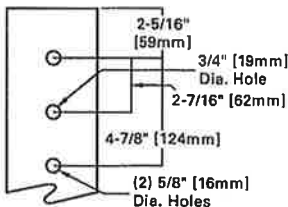
AREA LUMINAIRE

DIMENSIONS

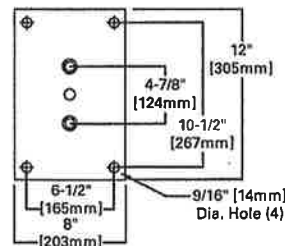


DRILLING PATTERNS

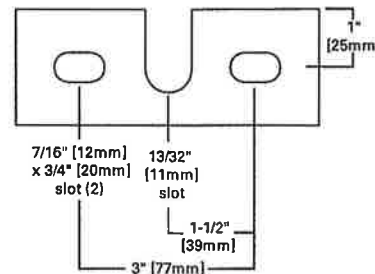
TYPE "M"



WALL MOUNT (MA1219-XX)



TRUNNION MOUNT



TECHNICAL DATA

UL Wet Locations Listed
CSA Certified
EISA Compliant ©

ENERGY DATA

HI-Reactance Ballast Input Watts
70W HPS HPF (95 Watts)
100W HPS HPF (130 Watts)
150W HPS HPF (190 Watts)
150W MP HPF (185 Watts)

CWI Ballast Input Watts
250W HPS HPF (300 Watts)

CWA Ballast Input Watts

175W MH HPF (210 Watts)
200W MP HPF (227 Watts) ©
200W HPS HPF (250 Watts)
250W MH HPF (295 Watts)
250W MP HPF (283 Watts) ©
320W MP HPF (365 Watts) ©
350W MP HPF (397 Watts) ©
400W MP HPF (452 Watts) ©
400W MH HPF (455 Watts)
400W HPS HPF (465 Watts)

EPA DATA

Effective Projected Area: (Sq. Ft.)
With Arm: 1.87
Without Arm: 1.19

SHIPPING DATA

Approximate Net Weight:
39 lbs. (17.73 kgs.)

MOUNTING CONFIGURATIONS

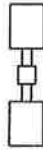
Wall Mount



Arm Mount Single
EPA: 1.62



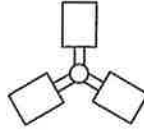
Arm Mount 2@180°
EPA: 3.24



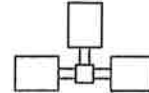
Arm Mount 2@90°
EPA: 3.24



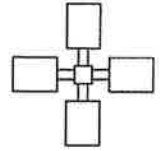
Arm Mount 3@120°
(Round Pole Only)
EPA: 4.43



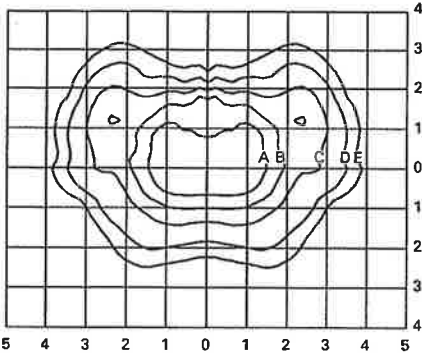
Arm Mount 3@90°
EPA: 4.43



Arm Mount 4@90°
EPA: 5.03



PHOTOMETRICS

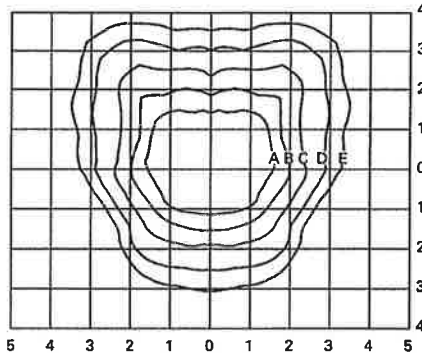


MPTR-3S-320
320—Watt MP
30,000—Lumen Clear Lamp
Type III Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

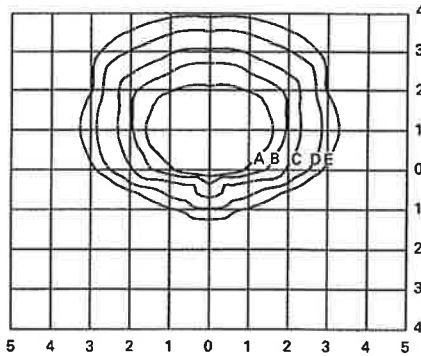


MPTR-4S-400
400—Watt MP
40,000—Lumen Clear Lamp
Type IV Segmented

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06



MPTR-SL-400
400—Watt MP
40,000—Lumen Clear Lamp
Spill Light Eliminator

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

ORDERING INFORMATION

Sample Number: MPTR-SL-400-MT-LL

Lamp Type	Series ¹	Distribution	Lamp Wattage ²	Voltage ⁵
MP=Pulse Start Metal Halide MH=Metal Halide HP=High Pressure Sodium	TR=Tribute	2F=Type II Formed 2S=Type II Segmented 3F=Type III Formed 3S=Type III Segmented 4F=Type IV Formed 4S=Type IV Segmented 5F=Type V Formed 5S=Type V Segmented SL=Spill Light Eliminator	Pulse Start Metal Halide 70=70W 100=100W 150=150W 200=200W 250=250W 320=320W 350=350W 400=400W ³ Metal Halide 175=175W ⁴ 250=250W ⁴ 400=400W ^{3,4} High Pressure Sodium 70=70W 100=100W 150=150W 250=250W 400=400W ³	120V=120V 208V=208V 240V=240V 277V=277V 347V=347V ⁶ 480V=480V DT=Dual-Tap MT=Multi-Tap wired 277V TT=Triple-Tap wired 347V ⁶ 5T=5-Tap wired 480V ⁶

Options (Add as Suffix)	Color	Accessories (Order Separately) ^{**}
F1=Single Fuse (120, 277 or 347V. Must Specify Voltage) F2=Double Fuse (208, 240 or 480V. Must Specify Voltage) Q=Quartz Restrike (Hot Strike Only) ⁷ EM=Quartz Restrike with Delay Relay (Quartz Lamp Strikes at both Hot and Cold Starts) ⁸ EM/SC=Emergency Separate Circuit ⁷ LL=Lamp Included S1=1/4" - 2-3/8" Internal Mast Arm Mount TM=Trunnion Mount CEC=California Title 20 Compliant Ballast (Applies to 200-320W and 400W MP Only) PT=Electrical Power Tray PER=NEMA Twistlock Photocontrol Receptacle PC=Button Type Photocontrol ⁹ HS=House Side Cutoff ⁹ LA=Less Arm (Order Mounting Separately)	BZ=Bronze (Standard) BK=Black AP=Grey WH=White DP=Dark Platinum GM=Graphite Metallic	MA1201-XX=Direct Wall Mount Kit ¹ MA1218-XX=Direct Mount for Pole ¹ MA1219-XX=Wall Mounting Plate OAT090-XX=Adjustable Spigot Arm for Tenon Mount 2-3/8" O.D. Tenon ¹ MA1221-XX=External House Side Shield Kit - EPA 0.38 MA1222=House Side Shield Kit for 2S/3S MA1223=House Side Shield Kit for 4S MA1224=House Side Shield Kit for 2F/3F MA1225=House Side Shield Kit for 4F MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1012-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1014-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015-XX=2@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1048-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1049-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon TR/VS=Field Installed Vandal Shield ¹¹ OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V

- Notes:
1. 8" Arm and pole adapter included with fixture. Specify less arm "LA" option when mounting accessory is ordered separately.
 2. 150W and below in pulse start metal halide are medium-base sockets. All other wattages are mogul-base.
 3. Requires reduced envelope lamp.
 4. 175W, 250W and 400W metal halide available in non-U.S. markets only.
 5. Products also available in non-US voltages and 50Hz for international markets. Consult your Eaton's Cooper Lighting business representative for availability and ordering information. 5T only available in 400W metal halide.
 6. 88% efficient EISA Compliant pulse start metal halide fixtures not available in 347V or Triple-Tap voltages.
 7. Quartz options not available with SL optics.
 8. Specify 120V, 208V, 240V or 277V only.
 9. House side shield not available on 5S, 5F or SL optics.
 10. Replace XX with color designation.
 11. Not available with spill light eliminator or house side shield.

STOCK SAMPLE NUMBER (LAMP INCLUDED)

Sample Number: MPTR2340

Lamp Type	Series ²	Distribution	Lamp Wattage
MP=Pulse Start Metal Halide HP=High Pressure Sodium ¹	TR=Tribute	23=Type II All Formed	15=150W 25=250W 32=320W 40=400W

- Notes:
1. Available in 150, 250 and 400W. Refer to In Stock Guide for availability.

VOLTAGE CHART

DT=Dual-Tap	120/277V (Wired 277V)
MT=Multi-Tap	120/208/240/277V (Wired 277V)
TT=Triple-Tap	120/277/347V (Wired 347V)
5T=5-Tap	120/208/240/277/480V (Wired 480V)

WATTAGE CHART

Lamp Type	Wattage
Pulse Start Metal Halide	70, 100, 150, 250, 320, 350, 400W
Metal Halide	175, 250, 400W
High Pressure Sodium	70, 100, 150, 250, 400W



August 24, 2020

TO: Mark Pross
Pross Design Group, Inc.
5310 Harvest Hill Road, Suite 180
Dallas, TX 75230

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2020-011; *Amended Site Plan for Channell Commercial Corporation*

Mark Pross:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on July 14, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall apply for all the necessary building permits for the proposed screening fence.
- (2) The *Future Building* depicted on the amended site plan will require a separate site plan submittal and approval.
- (3) A *Photometric Plan* showing conformance to the City's standards will be required to be submitted with the building permit for the screening fence.
- (4) A wrought iron gate shall be used in lieu of a solid screening fence.
- (5) The proposed gate will need to be a minimum of 20-feet back from the public right-of-way to allow off-street cueing of one (1) vehicle

Planning and Zoning Commission

On July 14, 2020, the Planning and Zoning Commission approved a motion to approve the amended site plan with the conditions of approval by a vote of 6-0, with Commissioner Moeller absent. Additionally, three (3) separate motions were recorded for the following requested variances as indicated in staff's report: 1) Driveway Spacing - a motion to deny this variance was approved by a vote of 5-1, with Commissioner Welch dissenting, 2) Screening Standards - a motion to approve this variance was approved by a vote of 6-0, and 3) Front Yard Fence - a motion to approve this variance was approved by a vote of 6-0.

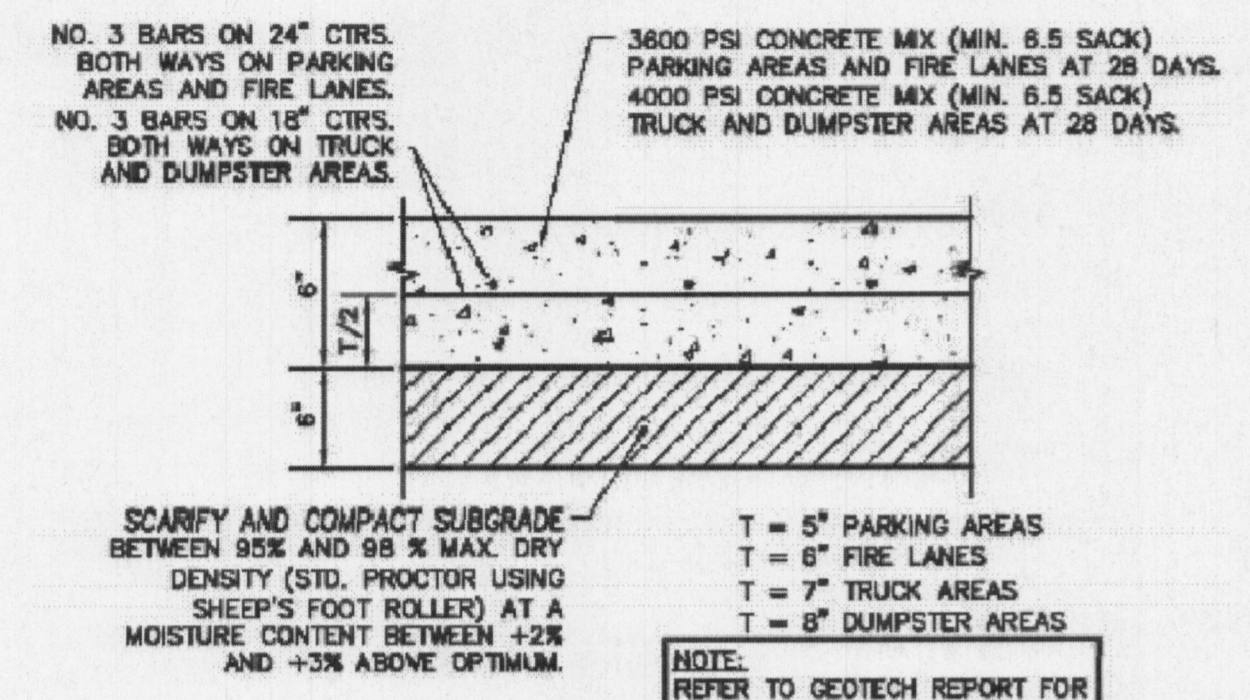
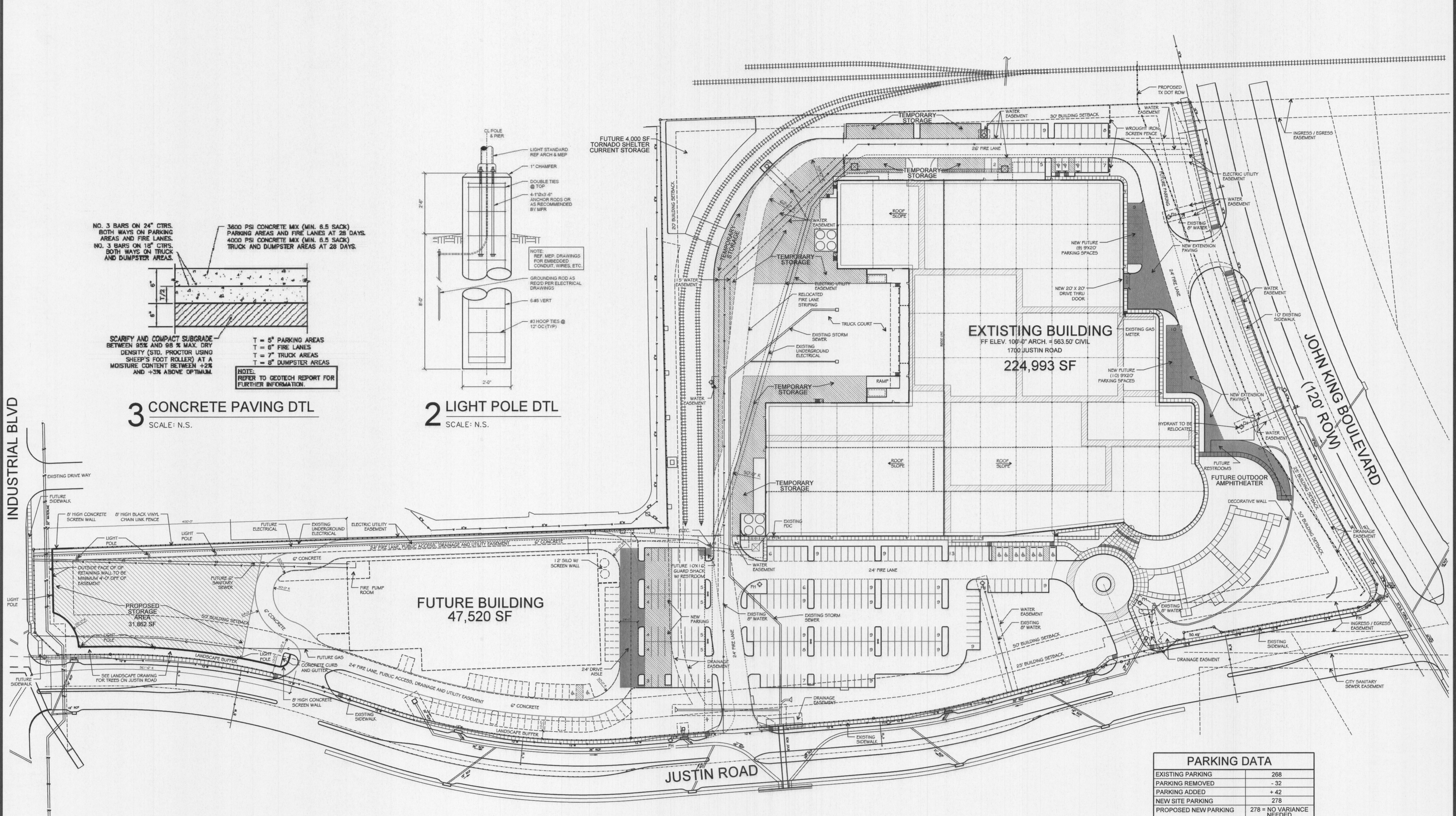
Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely

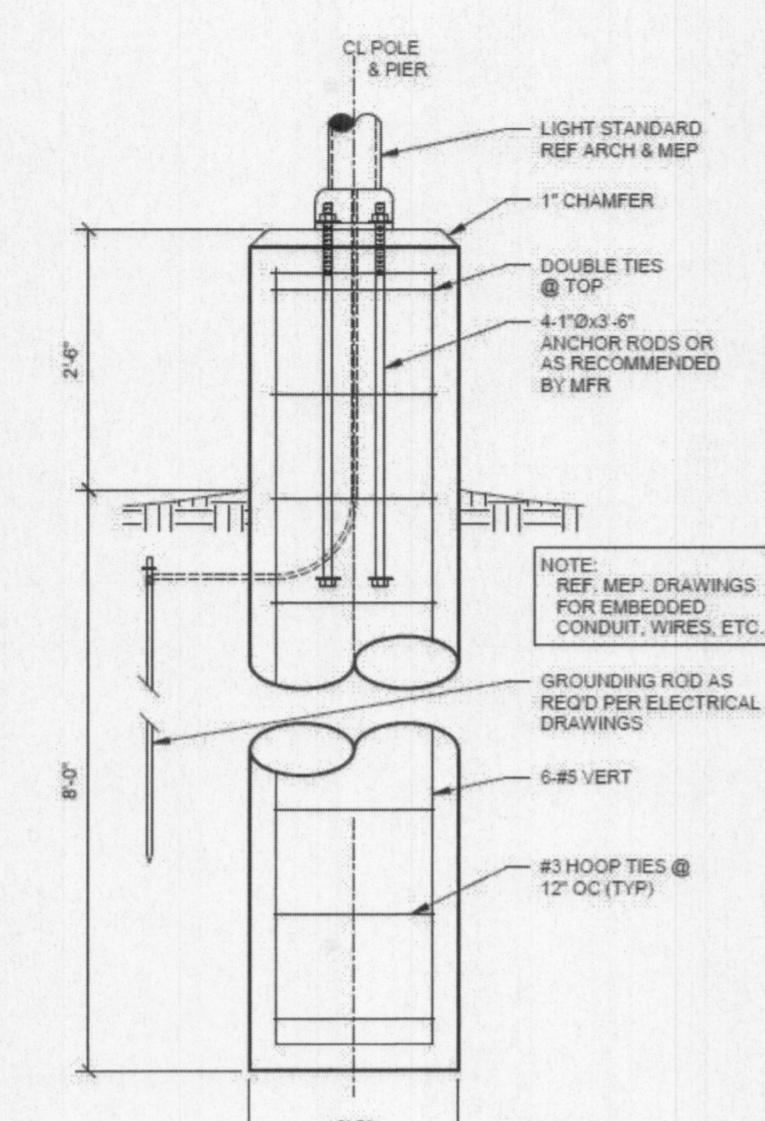


David Gonzales, AICP
Planning and Zoning Manager

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3 CONCRETE PAVING DTL
SCALE: N.S.



2 LIGHT POLE DTL
SCALE: N.S.

SYMBOLGY	
PROPOSED STORAGE AREA	31,862 SF
TOTAL SITE AREA	18,762 ACRES

SYMBOLGY	
—	GAS
—	SANITARY SEWER
—	WATER
—	ELECTRICAL

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission of the City of Rockwall on the 14 day of July, 2020.

WITNESSE: *[Signature]* August 2020.

[Signature] Planning and Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

CASE NUMBER: SP 2020-011

PARKING DATA	
EXISTING PARKING	268
PARKING REMOVED	- 32
PARKING ADDED	+ 42
NEW SITE PARKING	278
PROPOSED NEW PARKING	278 = NO VARIANCE NEEDED

SYMBOLGY	
■	PROPOSED AREAS OF CONSTRUCTION
□	PHASE II WORK

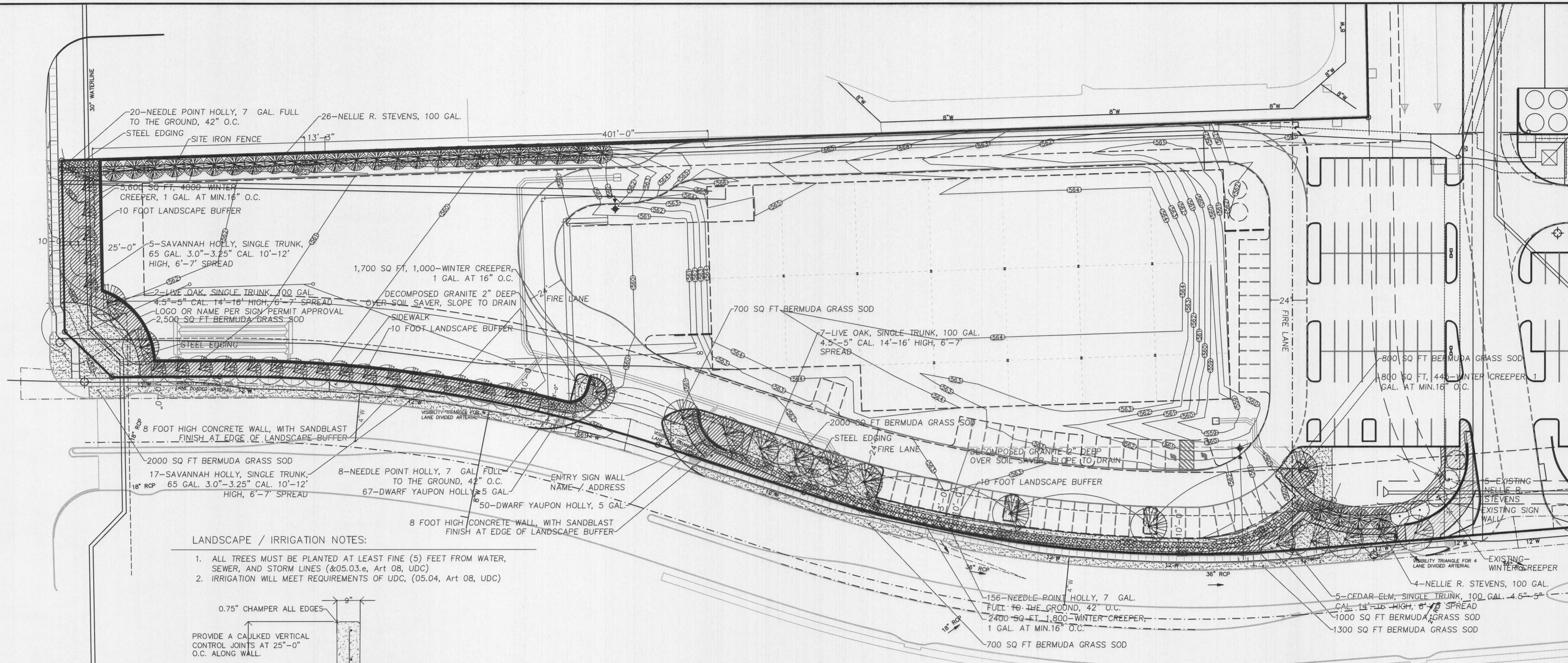
1 SITE PLAN
SCALE: 1"=60'-0"

OWNER:
CHANNELL, INC.
26040 YNEZ ROAD
P.O. BOX 9022
TUCUMAN, CA 92589-9022
CONTACT: EDWARD J. BURKE
951-587-7884

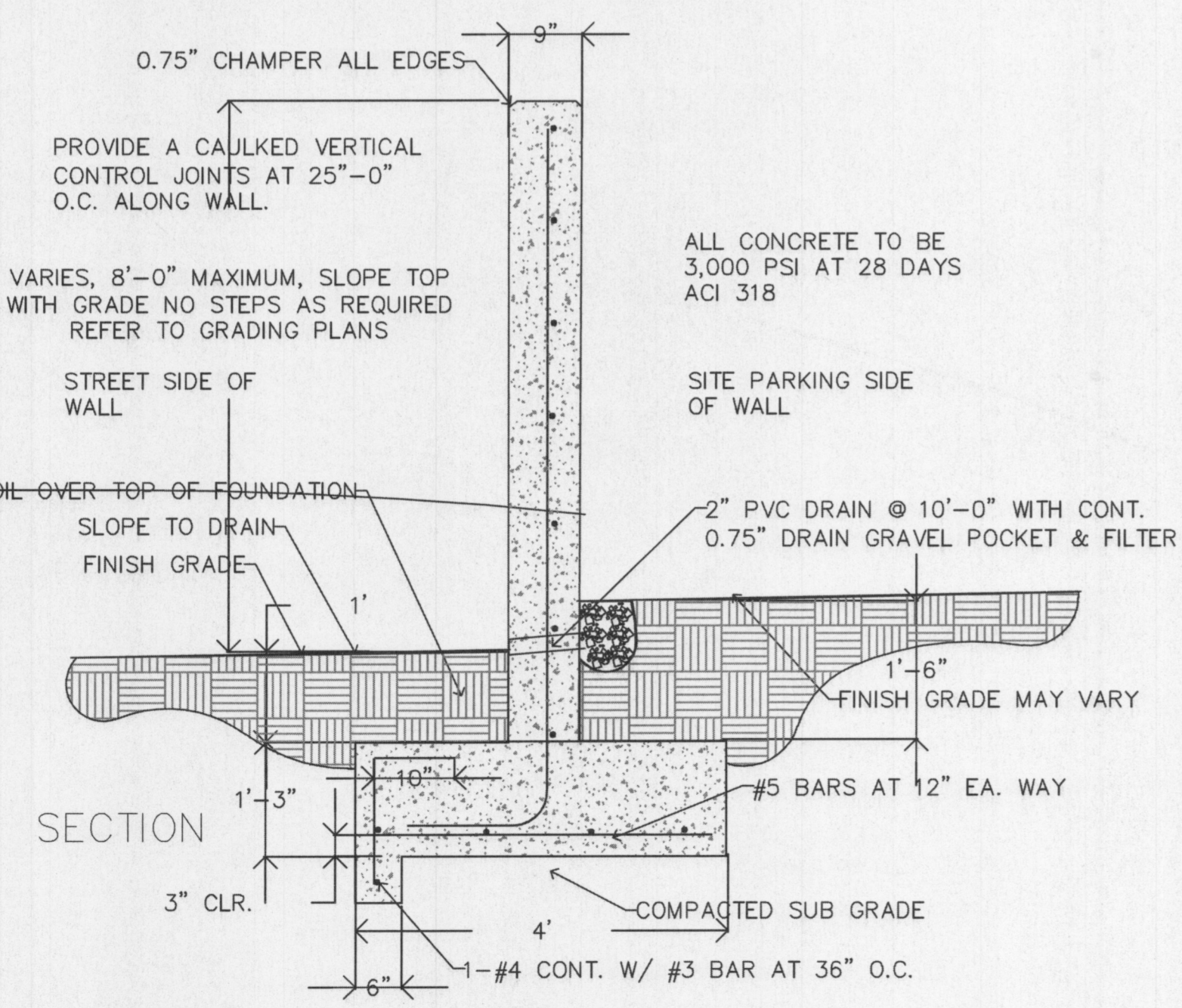
drawn: checked
MARK W. PROSS
date: 08/13/2020

1700 JUSTIN ROAD
ROCKWALL, TEXAS

job no 1423
sheet A1.0



- LANDSCAPE / IRRIGATION NOTES:**
1. ALL TREES MUST BE PLANTED AT LEAST FIVE (5) FEET FROM WATER, SEWER, AND STORM LINES (&05.03.e, Art 08, UDC)
 2. IRRIGATION WILL MEET REQUIREMENTS OF UDC, (05.04, Art 08, UDC)



- 1 SITE SCREEN WALL DETAILS**
- N.T.S.
- NOTE:
1. CONCRETE COLOR MIX TO BE APPROVED BY CLIENT
 2. STEP FOOTING AS REQUIRED IN 8" STEPS
 3. BACK FILL SOIL AFTER FORM WORK REMOVAL TO GRADES SHOWN.
 4. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS, FORM WORK, CONCRETE WASH OUT FROM SITE.
- SAND BLASTING NOTE:
1. ALL EXPOSED SURFACES TO BE SAND BLASTED.
 2. SAMPLE TO BE APPROVED BY CLIENT.
 3. SAND BLAST SAND MAY BE USED ON LANDSCAPE BEDS. NO CLEAN UP EXCEPT ON PAVING SURFACES.

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of July, 2020.

WITNESSED MY HAND, this 26 day of August, 2020

[Signature] *[Signature]*
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

SP-2020-011

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 LANDSCAPE ARCHITECTS AND PLANNERS

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T.H. PRITCHETT
 REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 2115

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 08/14/2020

NO.	DATE	REVISION

T. H. Pritchett / Associates
 LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.869-3535

ALTERNATE LANDSCAPE PLAN WEST
CHANNELL COMMERCIAL CORP.
WEST PARKING & STORAGE LAYOUT
1700 JUSTIN ROAD
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	08/14/2020	1"=30'			SLPW-1