PLANN City of Ro Planning 385 S. Goli Rockwall

☐ TREESCAPE PLAN

PLANNING AND ZONING CASE CHECKLIST

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

P&Z CASE # 5 2870 002 P&Z DATE 01 2	8 7020 CC DATE	APPROVED/DENII
ARCHITECTURAL REVIEW BOARD DATE	HPAB DATE P	ARK BOARD DATE
ZONING APPLICATION SPECIFIC USE PERMIT ZONING CHANGE PD CONCEPT PLAN PD DEVELOPMENT PLAN SITE PLAN LANDSCAPE PLAN TREESCAPE PLAN PHOTOMETRIC PLAN BUILDING ELEVATIONS MATERIAL SAMPLES COLOR RENDERING	COPY OF ORDINA APPLICATIONS RECEIPT LOCATION MAP HOA MAP PON MAP PON MAP NEWSPAPER PUE 500-FT. BUFFER I PROJECT REVIEW STAFF REPORT CORRESPONDEN COPY-ALL PLANS COPY-MARK-UPS CITY COUNCIL M MINUTES-LASERI PLAT FILED DATE CABINET # SLIDE #	PUBLIC NOTICE CE REQUIRED INUTES-LASERFICHE FICHE
PLATTING APPLICATION MASTER PLAT PRELIMINARY PLAT FINAL PLAT REPLAT ADMINISTRATIVE/MINOR PLAT VACATION PLAT LANDSCAPE PLAN	ZONING MAP UPDA	



DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

- STAFF USE ONLY -	
PLANNING & ZONING CASE NO.	5P2020-002
NOTE: THE APPLICATION IS NOT	CONSIDERED ACCEPTED BY THE
CITY UNTIL THE PLANNING DIREC	TOR AND CITY ENGINEER HAVE
SIGNED RELOW	

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate i	ox below to indicate the type of	f development request	[SELECT ONLY ONE BOX]:

[] Preliminary Plat [] Final Plat (\$300 [] Replat (\$300.00 [] Amending or M	00.00 + \$15.00 Acre) 1 (\$200.00 + \$15.00 A 1.00 + \$20.00 Acre) 1 2 + \$20.00 Acre) 1	cre) ¹		[] Specific Use [] PD Develop Other Applicat [] Tree Remov	nge (\$200.00 + \$ e Permit (\$200.00 oment Plans (\$20 ion Fees:	0 + \$15.00 Acre		
Site Plan Application [V] Site Plan (\$250. [] Amended Site F		scaping Plan (\$100.00)	Notes: 1: In determining	the fee, please use For requests on les	the exact acreage		
PROPERTY INFO					7.			
Address	GOT 10	BLK	A WH	HITMORE	JR.			
	MUNICIPA					10	Block	A
General Location	EXAT OF	Tow	NEND	ON WHI	TMORE			į
ZONING, SITE PL	AN AND PLATTI	ING INFOR	MATION [PLEASI	E PRINT]				*
Current Zoning	LIGHT	INO.		Current Use	VACA	W		
Proposed Zoning	LIGHT	IND.		Proposed Use	MEDICO	AL OFF	=ICE	
Acreage	0.45		Lots [Current]	1	Lots	[Proposed]	1	
[] SITE PLANS AND	PLATS: By checking this re to address any of staj	s box you ackn ff's comments b	owledge that due to t	the passage of <u>HB316</u> on the Development Cal	7 the City no long lendar will result in	er has flexibility the denial of yo	with regard a	to its approval
OWNER/APPLIC								0]
[] Owner					MERSH			
Contact Person				Contact Person	Coffee	WASLA	19	
Address				Address	1520 E	: I-3e)	
				City, State & Zip	Dark	JA 1.1 .	TX.	
City, State & Zip					469-7			
Phone E-Mail				E-Mail	mersha	wnareh	egmail	COM
NOTARY VERIFICATION OF THE PROPERTY OF THE PRO	CATION [REQUIRED gned authority, on this d ue and certified the follo	o] lay personally a owing:	ppeared Greg	Wallis	_ [Owner] the u	ndersigned, who	stated the	
"I hereby certify that I a cover the cost of this ap that the City of Rockwa permitted to reproduce information."	m the owner for the pur plication, has been paid Ill (i.e. "City") is authori. any copyrighted inform	pose of this app to the City of R zed and permit ation submitted	olication; all informatic ockwall on this the ted to provide informa d in conjunction with th	on submitted herein is day of GAA ation contained within his application, if such	this application	to the public. The sociated or in re-	ne City is also	authorized and equest for public
Given under my hand ar	nd seal of office on this t Owner's Signatu	1	181 Op OO En	, 20 0.		Nota My C	ommission Estember 25, 2	70492 xpires
	_	11	DALL		My Co	ommission Expire	es	
Notary Public in	and for the State of Tex	is Miles	el/your		Markey,			



DEVELOPMENT REVIEW COMMITTEE (DRC) CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications

Jim Friske, Charter Communications

Dinah Wood, Atmos Randy Voight, Oncor Phillip Dickerson, Oncor Brian Duncan, AT&T Javier Fernandez, RISD Brenda Callaway, TXDOT

Stephen Geiger, Farmer's Electric Frank Spataro, Farmer's Electric

Internal Review:

Amy Williams, Engineering

John Shannon, Building Inspections

Ariana Hargrove, Fire Andy Hesser, Parks Andy Villarreal, Police

From: Planning & Zoning Department

Date: 1/17/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/23/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/23/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/28/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number:

SP2020-002

Project Name:

Lot 10, Blk A, Whitmore Drive

Project Type:

SITE PLAN

Applicant Name:

GREG WALLIS

Owner Name:

GREG WALLIS

Project Description:



RECEIPT

Project Number: SP2020-002

Job Address: 855 WHITMORE DR

ROCKWALL, TX 75087

Receipt Number: B87976

Printed: 1/23/2020 3:11 pm

Fee Description Account Number Fee Amount

SITE PLANNING

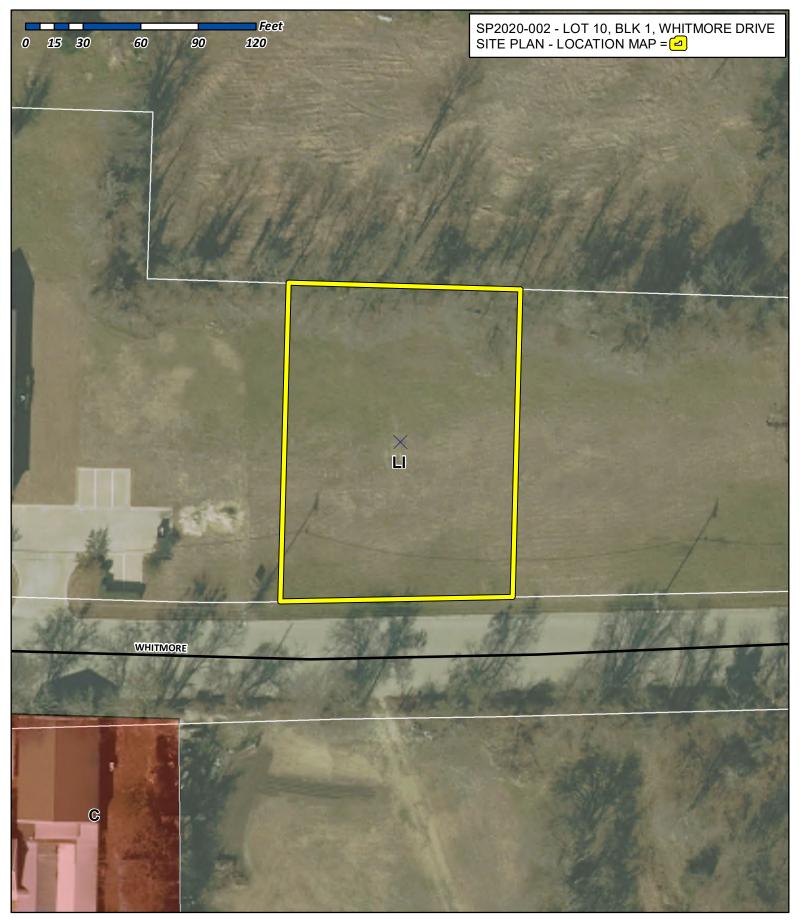
01-4280 \$259.00

Total Fees Paid:Date Paid: 1/23/2020 12:00:00AM

Paid By: GREG WALLIS
Pay Method: CHECK 1079

Received By: AG

\$259.00

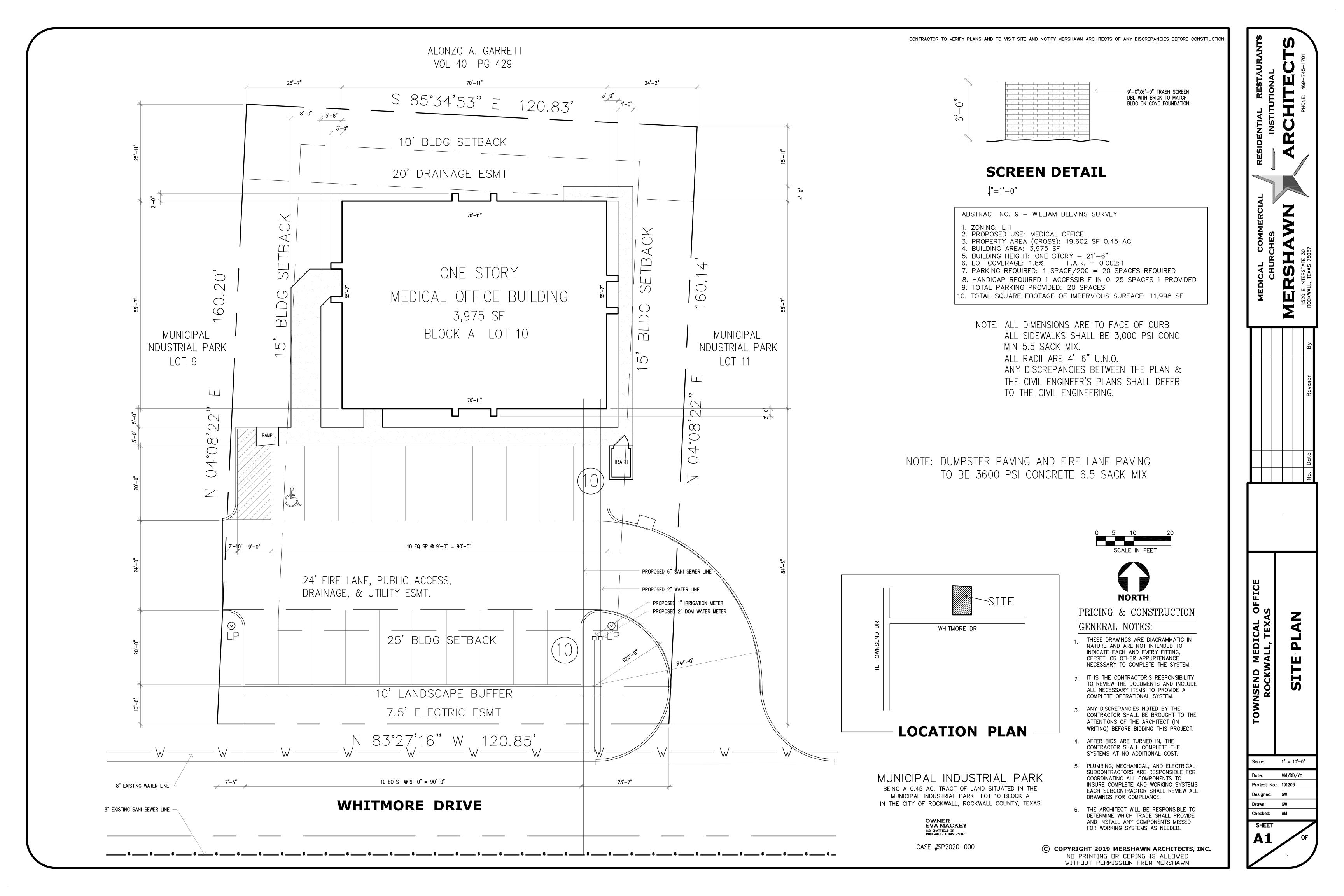




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





REQUIRED

10'

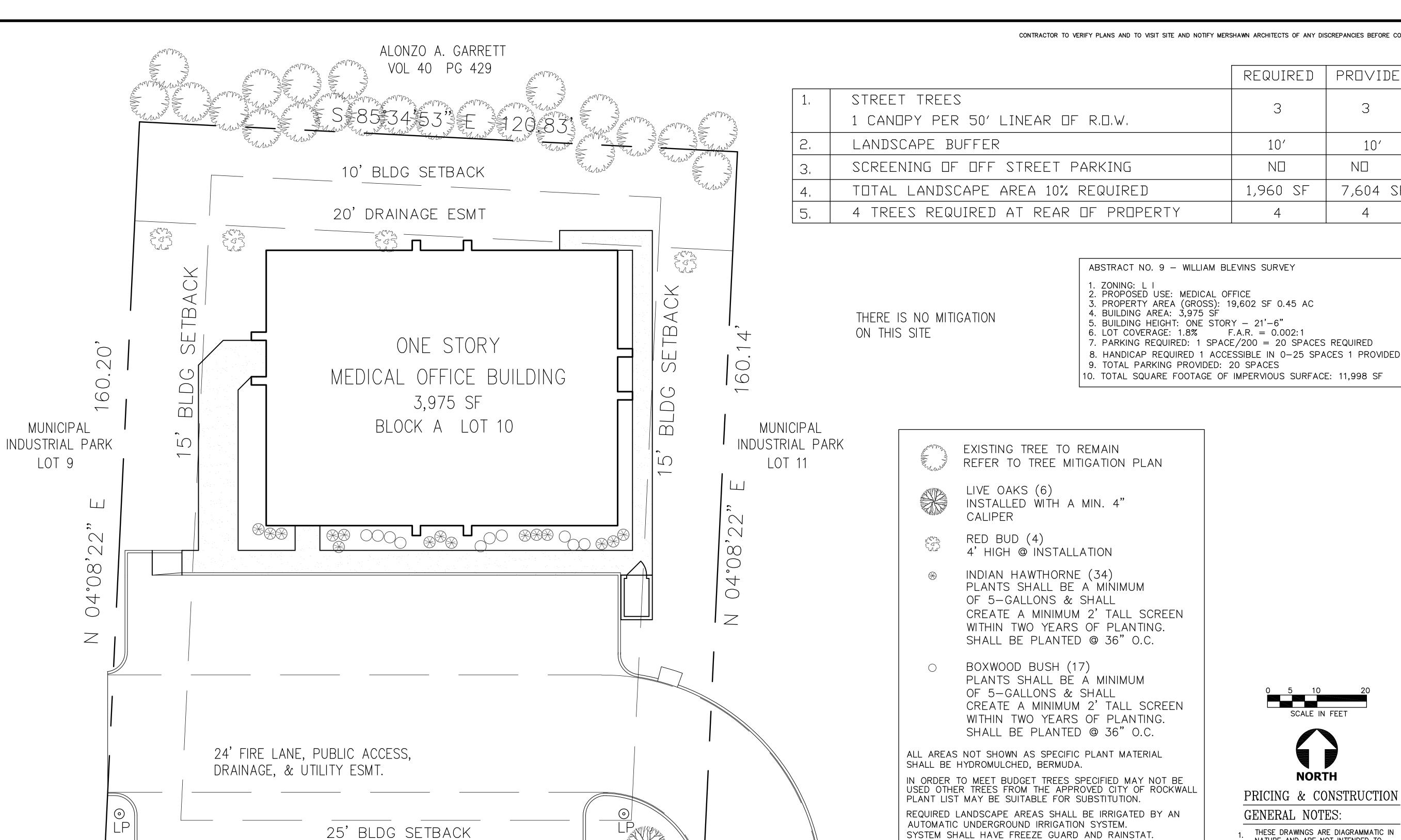
 $\mathsf{N}\mathsf{\square}$

1,960 SF

PROVIDED

 $\mathsf{N}\square$

7,604 SF



WHITMORE DRIVE

10' LANDSCAPE BUFFER

7.5' ELECTRIC ESMT

N 83°27'16" W 120.85'

MUNICIPAL INDUSTRIAL PARK BEING A 0.45 AC. TRACT OF LAND SITUATED IN THE MUNICIPAL INDUSTRIAL PARK LOT 10 BLOCK A

OWNER EVA MACKEY 112 CHATFIELD DR RDCKVALL, TEXAS 75087

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE #SP2020-000

CONTRACTOR SHALL SUPPLY SLEEVES

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN

WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER

THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

AS NEEDED FOR IRRIGATION.



NORTH

PRICING & CONSTRUCTION

GENERAL NOTES:

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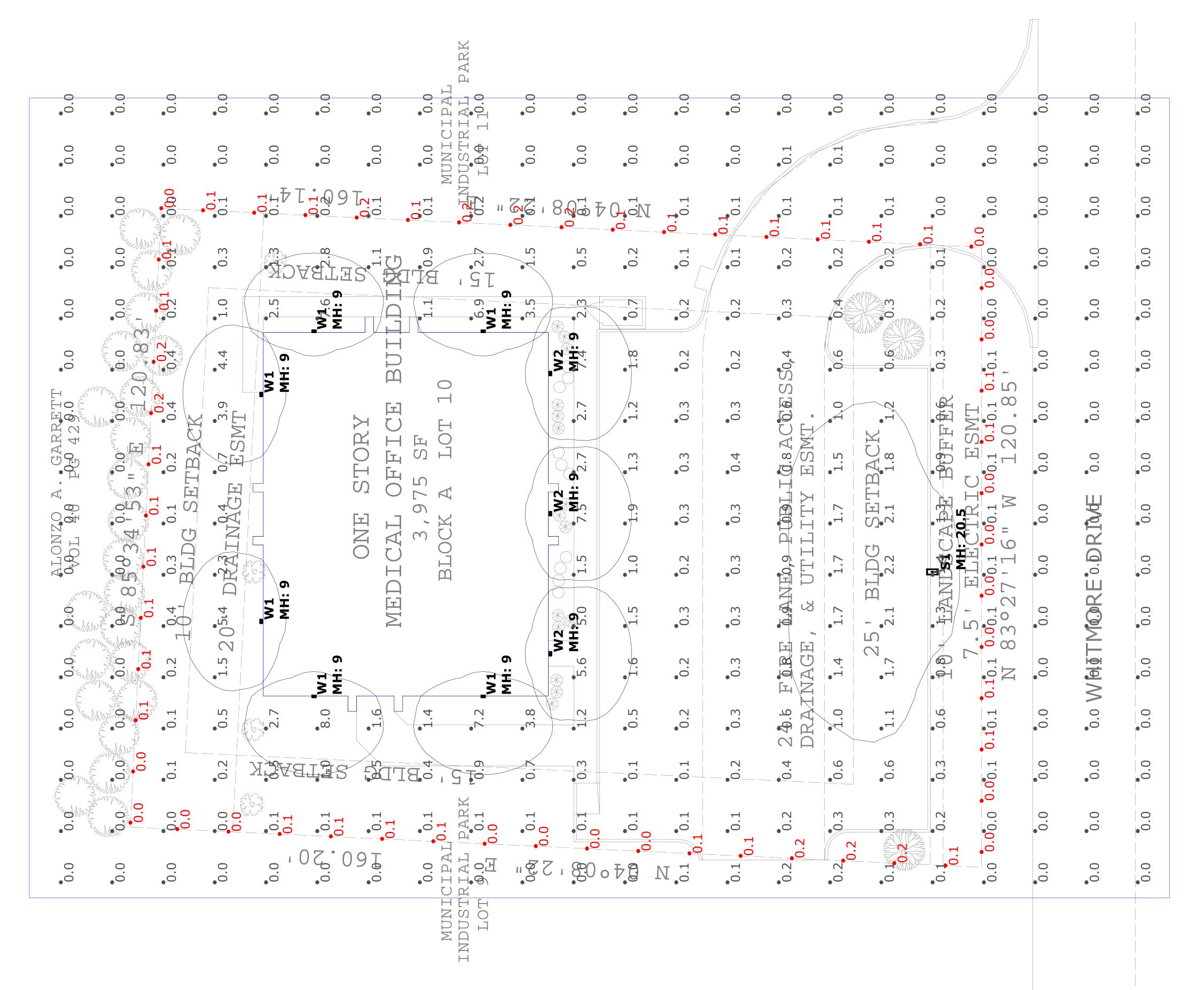
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OWNSEND MEDICAL ROCKWALL, TEXA

Scale: 1" = 10'-0"

MM/DD/YY Project No.: 191203 Designed: GW

Checked: WM



			•						Total Total 1/1/240	1 : - 1 1 1	
Symbol lype	7	Manuracturer / Catalog Number	_					lotal Lumen Output	lotal Input Watts	Light Lost Factor	User Defined Factor
SI	1	LITHONIA DSX0 LED P2 40K BL	C MVOLT MC	SNILUNC	FINISH /	18' POLE C	40K BLC MVOLT MOUNTING FINISH / 18' POLE ON 30IN BASE	4925	49	1.000	1.000
. W1	9	LITHONIA WDGE1 LED P2 40K 8	P2 40K 80CRI VW VOLTAGE MOUNTING	OLTAGE N	10UNTING			1983	15.02	1.000	1.000
. W2	3	LITHONIA WDGE1 LED P2 40K 8	P2 40K 80CRI VF VOLTAGE MOUNTING	JLTAGE M	OUNTING			1979	15.02	1.000	1.000
Calculation Summary	nary										
Calculation Grid Location	ocation.	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min				
GRADE_Planar		0	Fc	0.59	8.0	0.0	N.A.				
PROPERTY LINE		∇ N	L	800	0.0	0	Ø N				

urface reflectances: Vertical/Horizontal - 50/20.

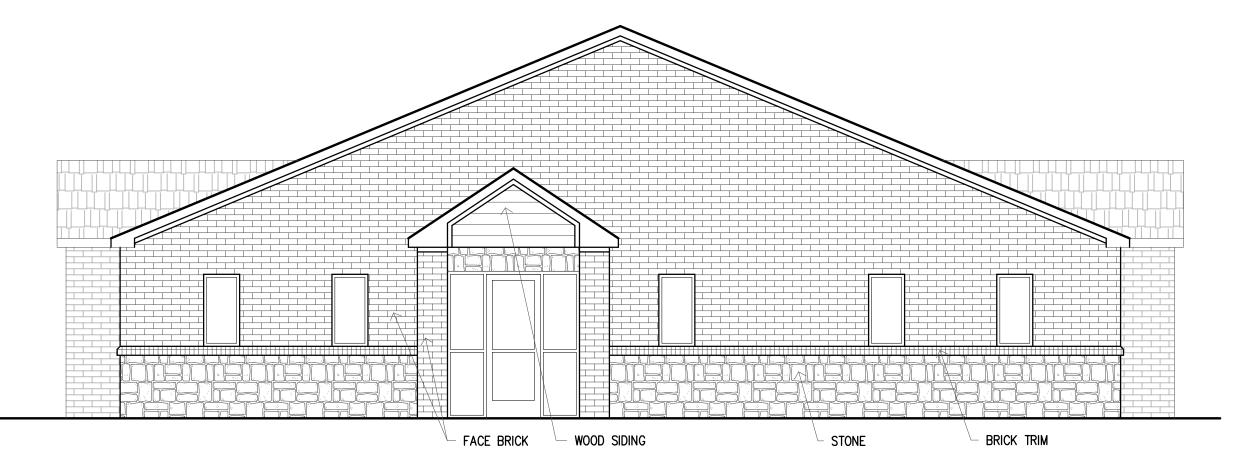
Jaculation values are at height indicated in summary table.

Jounting heights are designated on drawing with "MH."

Iminaire description does not necessarily reflect specification model number. Contact salesperson for verifyvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provification bower density is calculated based on estimated ballast/driver enersy consumption. Engineer to verification bower density is calculated based on estimated ballast/driver enersy consumption.

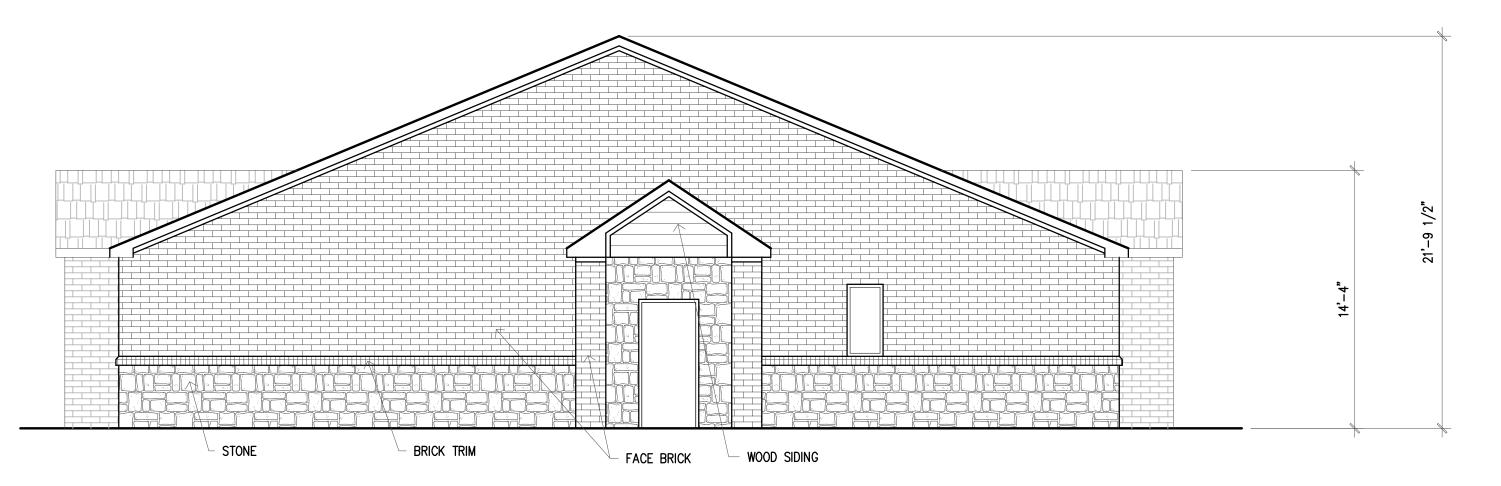
SOUTH ELEVATION

38% STONE 3% WOOD SIDING 59% BRICK



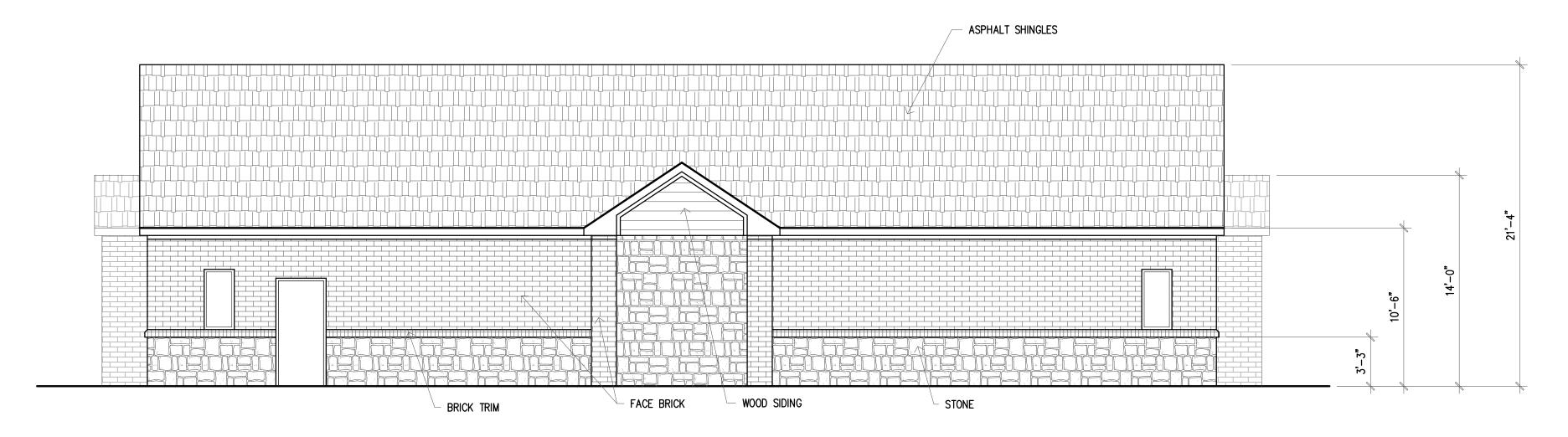
EAST ELEVATION

21% STONE 2% WOOD SIDING 77% BRICK



WEST ELEVATION

25% STONE 2% WOOD SIDING 73% BRICK



NORTH ELEVATION

38% STONE 3% WOOD SIDING 59% BRICK

EVA MACKEY 112 CHATFIELD DR ROCKWALL, TEXAS 75087

CASE #SP2020-000

OWNER

PRICING & CONSTRUCTION

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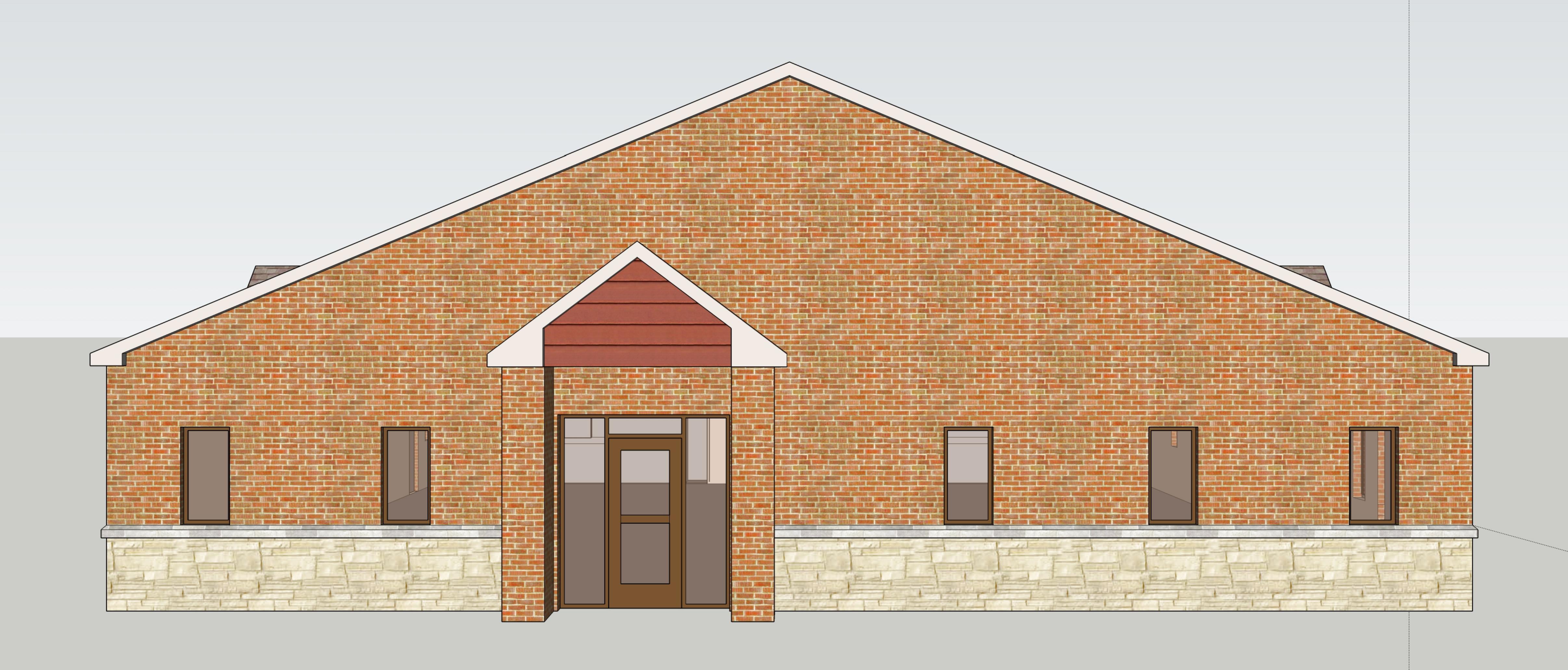
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ELEVATION TOWNSEND MEDICAL OFFICE ROCKWALL, TEXAS

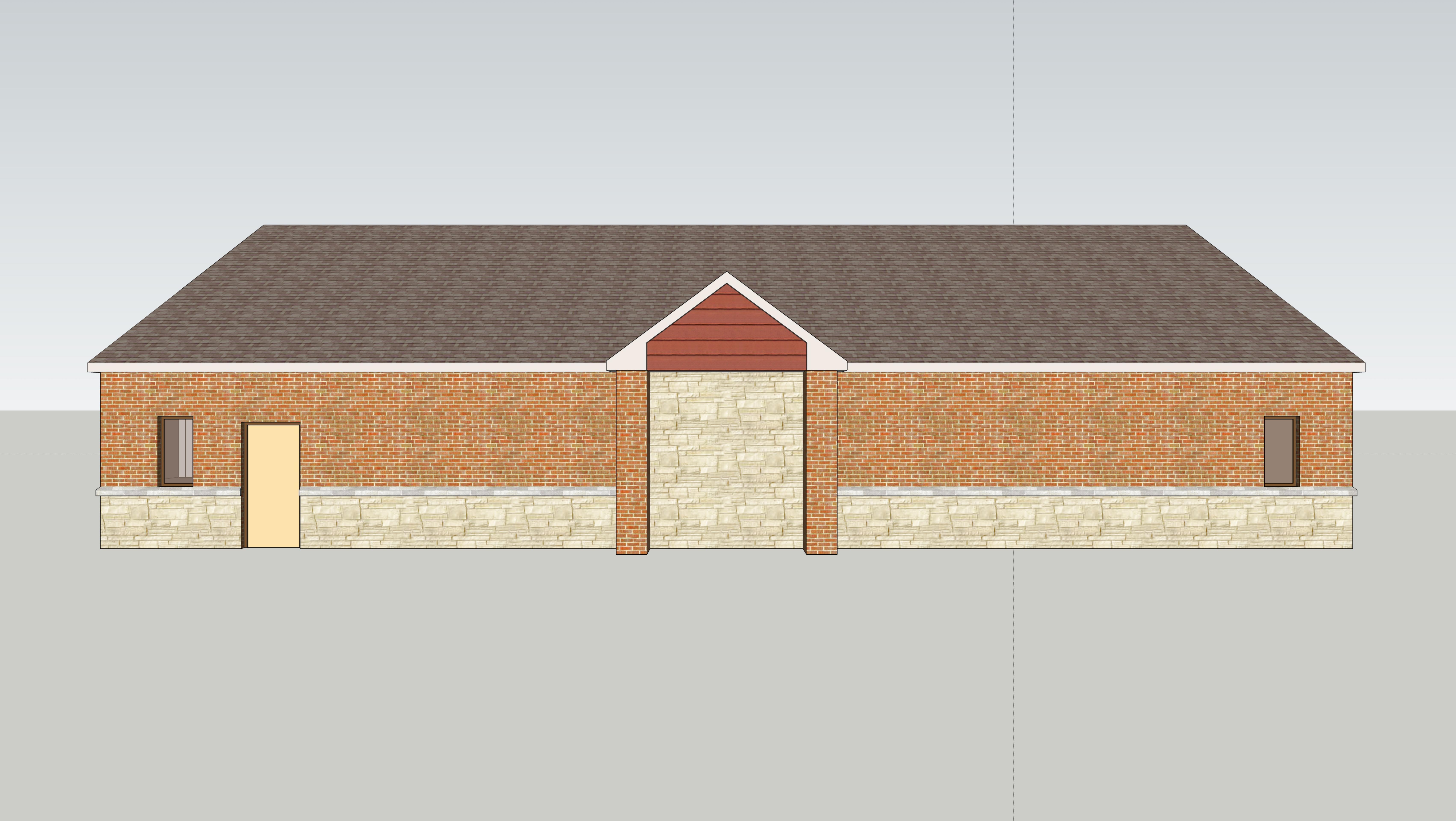
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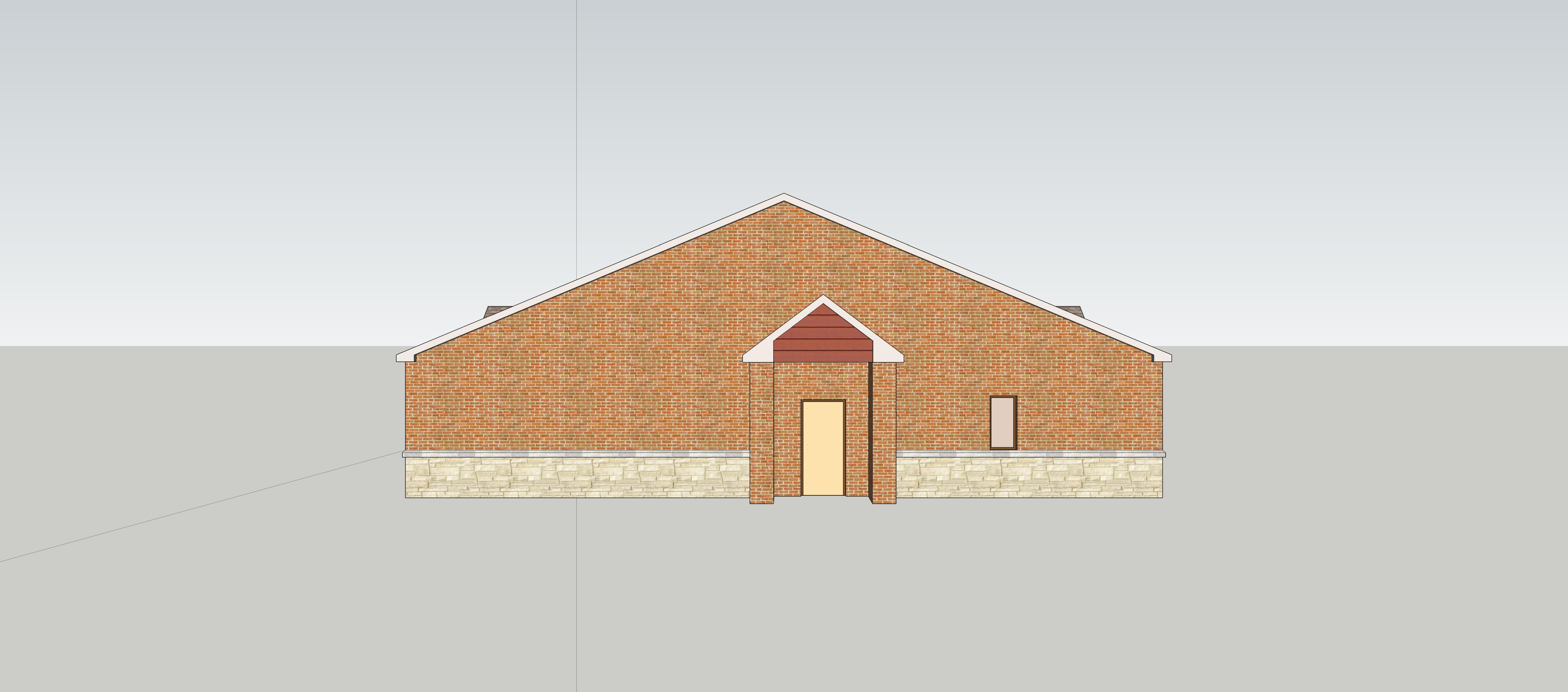
Date: 12/17/19 Project No.: 191203 Designed: GW Drawn: GW Checked: WM











City of Rockwall

CRIV SYSTEMS

1/17/2020 AG

Project Plan Review History

Project Number Project Name SP2020-002

Lot 10, Blk A, Whitmore Drive

Type SITE PLAN

Subtype

Status Staff Review

III LAN

Owner GREG WALLIS

Applicant GREG WALLIS

Applied
Approved
Closed
Expired

Expired Status

Zoning

Site Address City, State Zip

855 WHITMORE DR ROCKWALL, TX 75087

Subdivision Tract Block Lot No Parcel No General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	1/17/2020	1/24/2020	1/21/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	1/17/2020	1/24/2020	1/24/2020	7	COMMENTS	
FIRE (1/23/2020 5:12 PN Show location of pr or building. (Ord 16-31)	•	1/17/2020 fire hydrants t	, , -		6 400-feet, a	COMMENTS as measured by an app	see comments proved route around the exterior of the facility
GIS (1/21/2020 4:39 PN Address will be: 855	Lance Singleton /I LS) 5 WHITMORE DR, ROCK	1/17/2020 WALL, TX 7508	, , -	1/21/2020	4	APPROVED	See comments
PLANNING	Korey Brooks	1/17/2020	1/24/2020	1/24/2020	7	COMMENTS	Comments

SP2020-002; 855 Whitmore Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request by Greg Wallis of Mershawn Associates, LLC for the approval of a site plan for a medical office building on a0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, 855 Whitmore Drive
- 1.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (SP2020-002) in the lower right-hand corner of all pages on future submittals
- 1.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).
- M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the Cit's boards and commissions:

Site Plan:

- 1) Please label centerline of Whitmore Drive
- 2) Please ensure that the drive matches the platted driveway.
- 3) Please note, as drawn, there will be variances to the articulation standards.
- 4) Please dimension typical parking space.
- 5) Please show proposed easements.
- 6) Will the trash enclosure contain a dumpster? Or will it contain a poly cart? The enclosure seems to be smaller than the standard enclosure size.
- 7) Please note, the dumpster shall have a self-latching opaque gate.
- 8) Please label property line.
- Please include the required landscape percentage (i.e. 15%) on site data table.
 Photometric Plan.
- 1) Please provide site data table
- 2) Please provide vicinity map
- 3) Please provide north arrow.
- 4) Please orient the plan to match the site plan and landscape plan
- 5) Please show and label property line.
- 6) Please clarify plan. There are many overlapping items.
- 7) Please provide graphic and numeric scale.
- 8) Please provide title block in lower left corner

Landscape Plan.

- 1) Please provide turn radii and drive widths.
- 2) Please note, a min. of 10-foot wide landscape buffer is required along the entire length of any nonresidential lot that abuts a public right of way. All buffers shall incorporate ground cover, a built-up berm, and shrubbery along the entire length of frontage. Berms and shrubbery shall have a total min height of 30-inches. A min of one (1) accent tree per 50 linear feet is required.
- 3) Please show parking
- 4) Please dimension a typical parking space.
- 5) Please show centerline of Whitmore Dr.
- 6) Please note, canopy trees are a min. of 4 caliper inches, accent trees are a min. pf 4-feet in height, and shrubs are a min. of 3 gallons.
- 7) Please note, the min landscaping percentage is 15%.
- 8) Please note that no parking space shall be more than 80-feet from a canopy tree
- 9) Please label property line.
- 10) Please provide site data table as requested above for site plan

Project Reviews.rpt Page 2 of 3

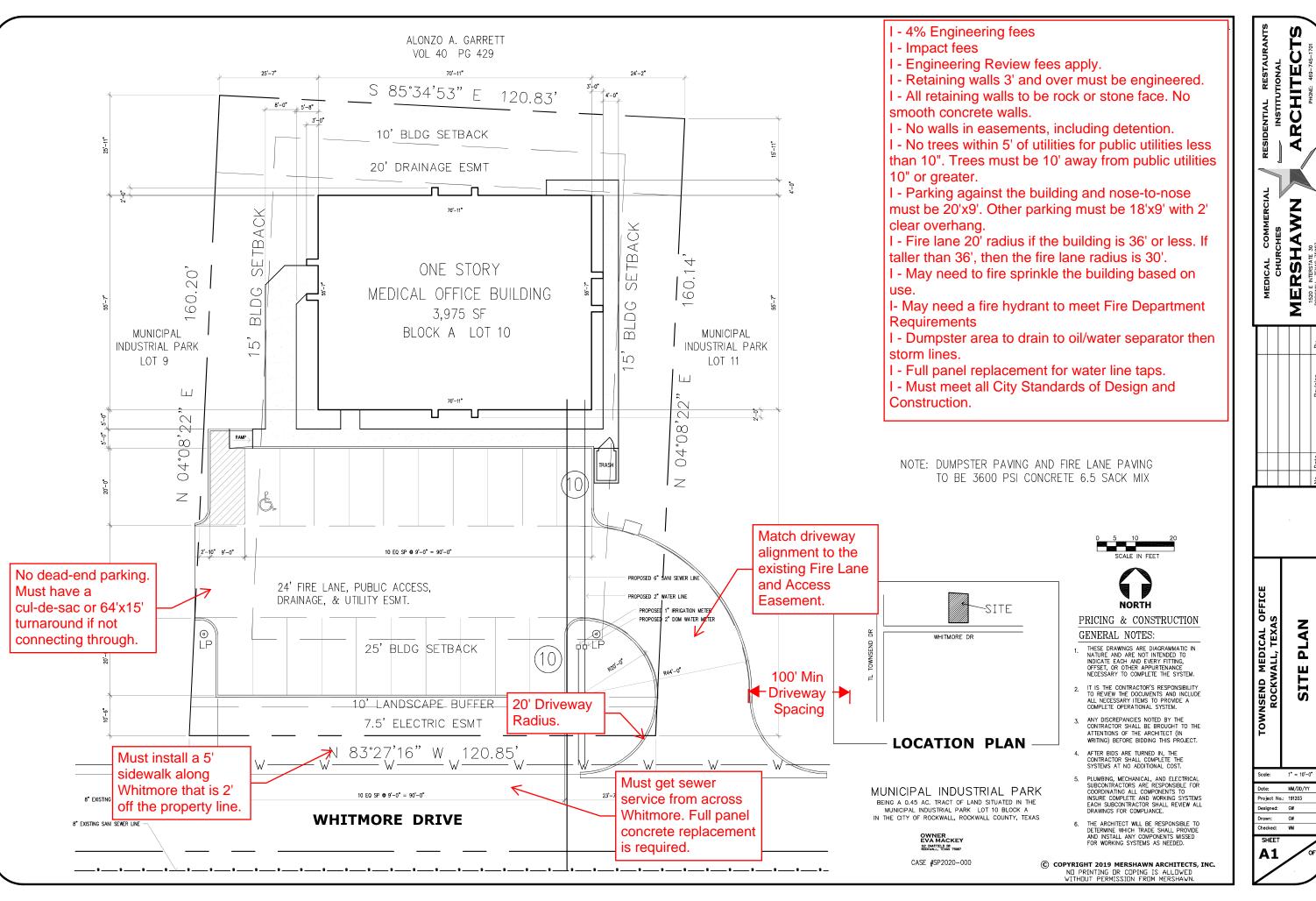
- 11) Please review Article 8, Landscape and Fence Standards, of the Unified Development Code (UDC)
- 12) Please note, hydromulch is not permitted
- 13) Please show grass as a hatch.
- 14) Please provide radii and drive width.

Building Elevations.

- 1) Please consider using an alternate material (i.e. wood beams) for the smaller gables
- 2) Please consider removing/revising the projecting elements on the North and South building elevation. As drawn, it does not meet articulation standards.
- 3) Please review Section 6, Industrial Districts, of Article 5, District Development Standards of the UDC.
- 4) Please consider removing the stone above the door on the East Elevation
- 5) Since the entryways are not symmetrical, please consider a squared-off entryway instead of the pitched roof.
- 6) Please consider
- 7) Please provide all 4 sides of the dumpster enclosure.
- 8) Please consider different windows that are proportionate to the building size
- 9) Pleaseshow door swing on the doors
- 10) Please note, the window on the South Elevation is at a different height than the remaining windows
- 11) Please consider adding additional windows/architectural elements to the South and West Elevations
- I.6 Please note that failure to address all comments provided by staff by5:00 PM on February 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
- 1.7 The Architectural Review Board (ARB) meeting is January 28, 2020 at 5:00. Planning & Zoning Worksession is January 28, 2020 at 6:00.
- 1.8 The Planning and Zoning Meeting for this case is February 11, 2020.

A representative is required to attend all meetings

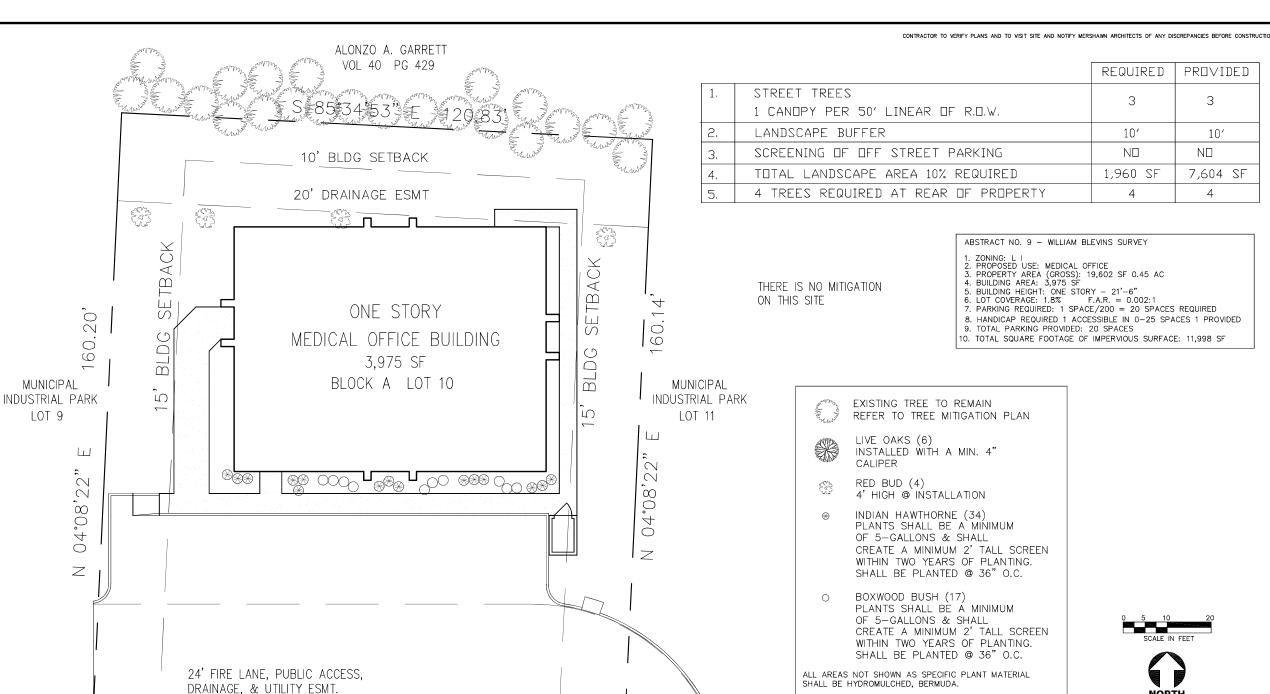
Project Reviews.rpt Page 3 of 3



ARCHITECTS MERSHAWN
1520 E INTERSTATE 30

PLAN

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Trees will be

water service

connections.

on top of

0

LP

25' BLDG SETBACK

10' LANDSCAPE BUFFER

7.5' ELECTRIC ESMT

N 83°27'16" W 120.85'

WHITMORE DRIVE



PRICING & CONSTRUCTION GENERAL NOTES:

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MUNICIPAL INDUSTRIAL PARK

BEING A 0.45 AC. TRACT OF LAND SITUATED IN THE

MUNICIPAL INDUSTRIAL PARK LOT 10 BLOCK A

IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE #SP2020-000

OWNER EVA MACKEY

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL

PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION. REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

CONTRACTOR SHALL SUPPLY SLEEVES

All ROW to be sodded.

AS NEEDED FOR IRRIGATION.

Add note.

SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER

THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

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Drawn: GW Checked: WM

SHEET

MEDICAL COMMERCIAL CHURCHES **ERSHAWN**

1AL RESTAURANTS STITUTIONAL

RESIDENTIAL INSTITU

3

10'

7,604 SF

4

 $N\square$

RCHITE

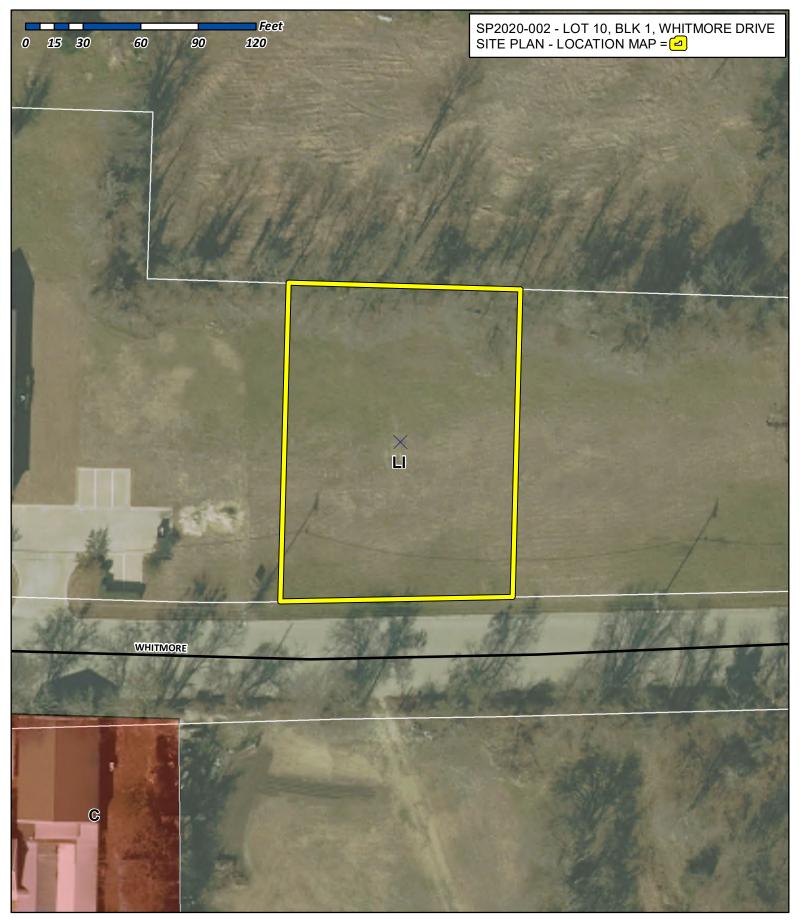
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PLA AS AS Δ SCA

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1" = 10"-0" MM/DD/YY

Project No.: 191203 Designed: GW

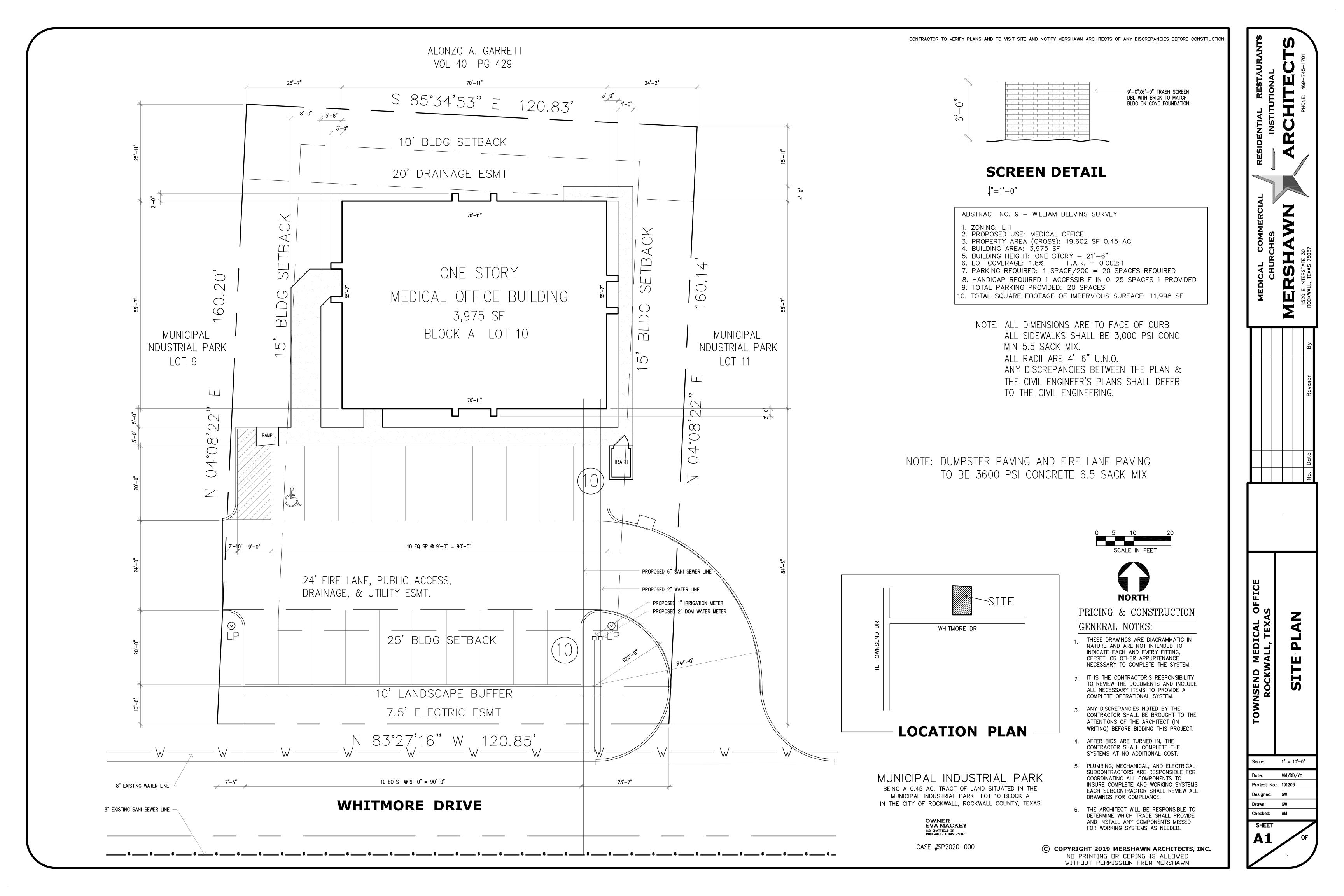




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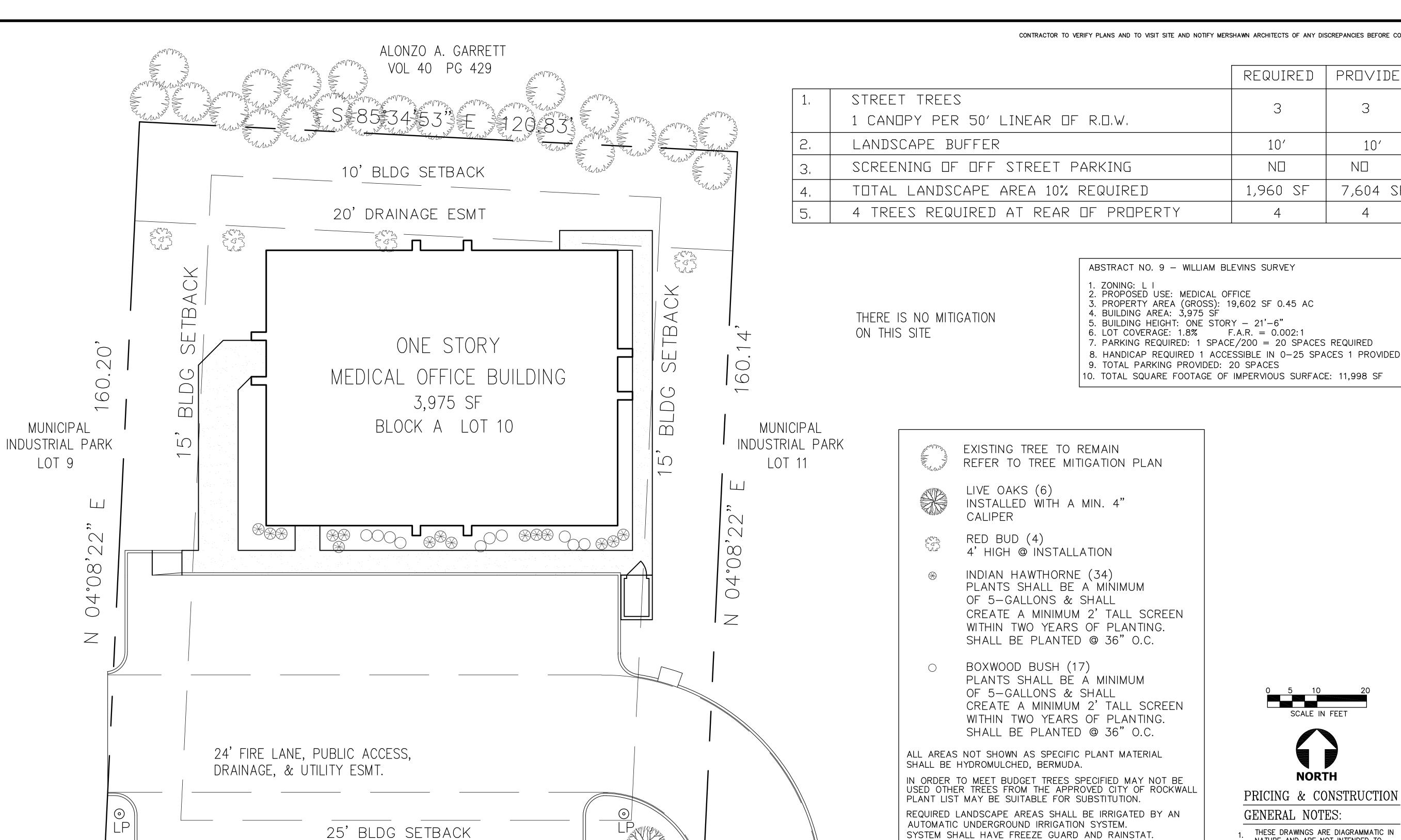
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7,604 SF



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NORTH

PRICING & CONSTRUCTION

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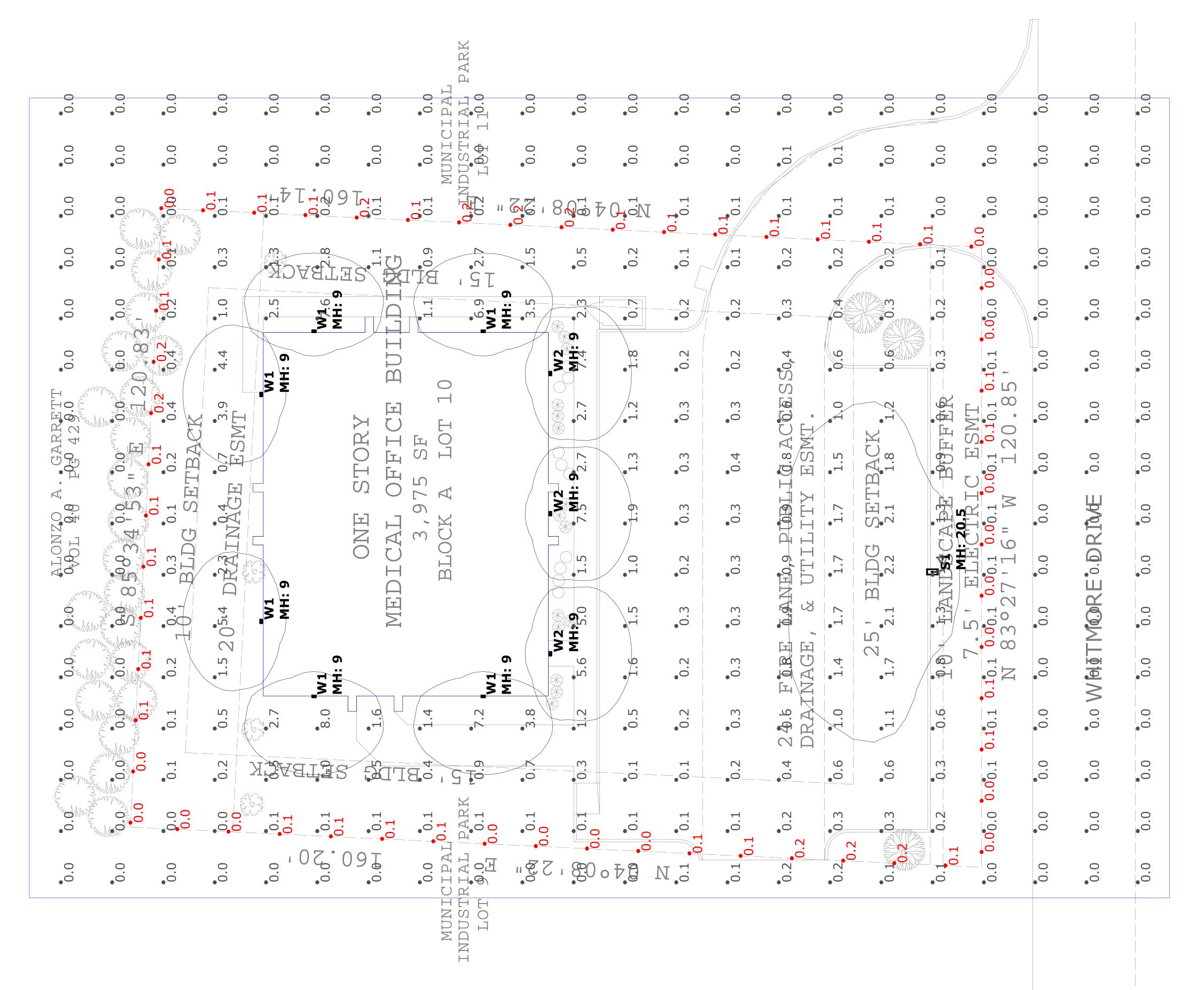
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OWNSEND MEDICAL ROCKWALL, TEXA

Scale: 1" = 10'-0"

MM/DD/YY Project No.: 191203 Designed: GW

Checked: WM



			•						Total Total 1/1/240	1 : - 1 1 1	
Symbol lype	7	Manuracturer / Catalog Number	_					lotal Lumen Output	lotal Input Watts	Light Lost Factor	User Defined Factor
SI	1	LITHONIA DSX0 LED P2 40K BL	C MVOLT MC	SNILUNC	FINISH /	18' POLE C	40K BLC MVOLT MOUNTING FINISH / 18' POLE ON 30IN BASE	4925	49	1.000	1.000
. W1	9	LITHONIA WDGE1 LED P2 40K 8	P2 40K 80CRI VW VOLTAGE MOUNTING	OLTAGE N	10UNTING			1983	15.02	1.000	1.000
. W2	3	LITHONIA WDGE1 LED P2 40K 8	P2 40K 80CRI VF VOLTAGE MOUNTING	JLTAGE M	OUNTING			1979	15.02	1.000	1.000
Calculation Summary	nary										
Calculation Grid Location	ocation.	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min				
GRADE_Planar		0	Fc	0.59	8.0	0.0	N.A.				
PROPERTY LINE		∇ N	L	800	0.0	0	Ø N				

urface reflectances: Vertical/Horizontal - 50/20.

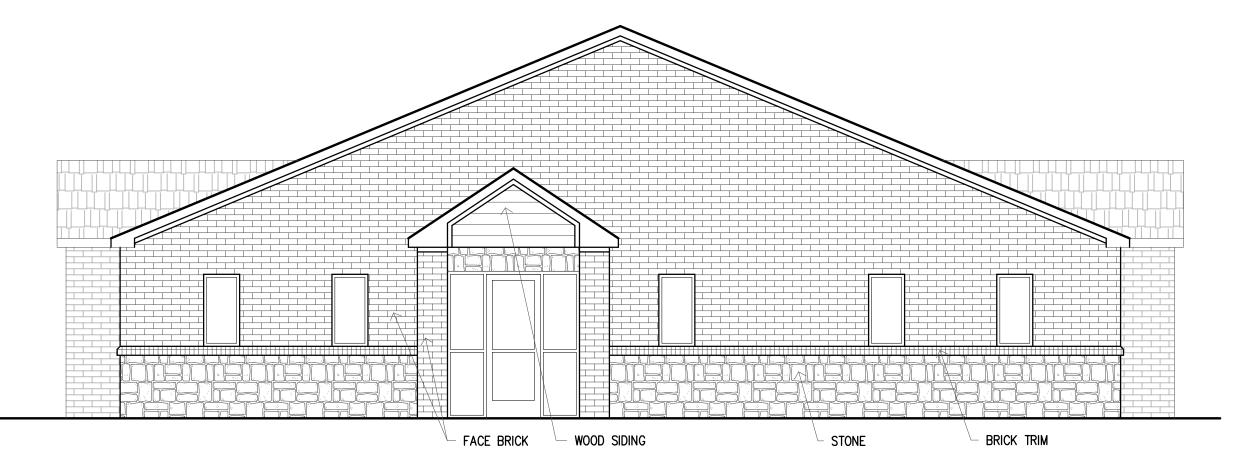
Jaculation values are at height indicated in summary table.

Jounting heights are designated on drawing with "MH."

Iminaire description does not necessarily reflect specification model number. Contact salesperson for verifyvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provification bower density is calculated based on estimated ballast/driver enersy consumption. Engineer to verification bower density is calculated based on estimated ballast/driver enersy consumption.

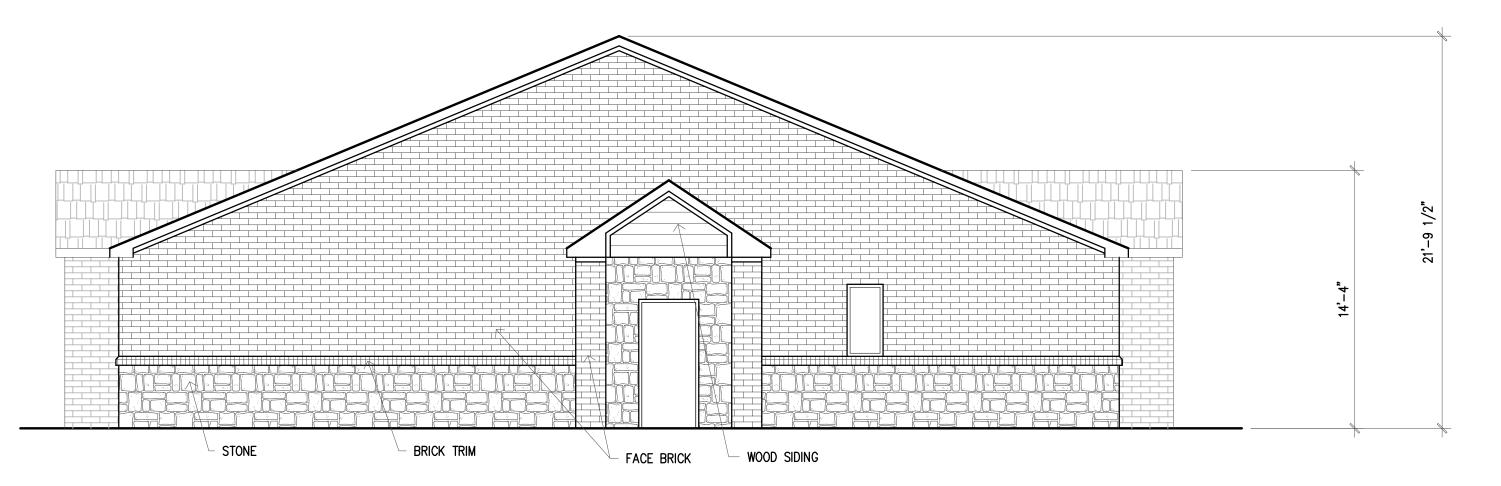
SOUTH ELEVATION

38% STONE 3% WOOD SIDING 59% BRICK



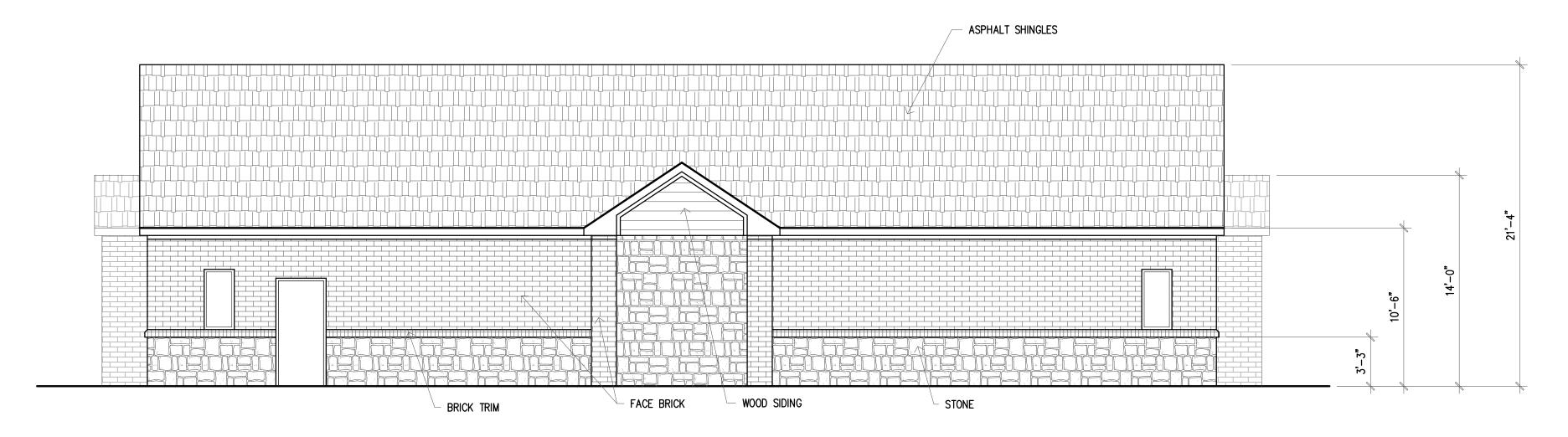
EAST ELEVATION

21% STONE 2% WOOD SIDING 77% BRICK



WEST ELEVATION

25% STONE 2% WOOD SIDING 73% BRICK



NORTH ELEVATION

38% STONE 3% WOOD SIDING 59% BRICK

EVA MACKEY 112 CHATFIELD DR ROCKWALL, TEXAS 75087

CASE #SP2020-000

OWNER

PRICING & CONSTRUCTION

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

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ELEVATION TOWNSEND MEDICAL OFFICE ROCKWALL, TEXAS

Scale: 3/16" = 1'-0"

Date: 12/17/19 Project No.: 191203 Designed: GW Drawn: GW Checked: WM



