



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2020-001 P&Z DATE 01/28/2020 CC DATE 02/18/20 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-001

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 726 INTERSTATE HY 30 TX 75087. Rockwall County

Subdivision GRANDY'S ADDITION

Lot 1

Block A

General Location REMODEL OF GRANDY'S RESTAURANT

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning COMMERCIAL

Current Use RESTAURANT

Proposed Zoning COMMERCIAL

Proposed Use RESTAURANT

Acreage 1.03

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant LEGG ARCHITECTURE, LLC

Contact Person

Contact Person MICHAEL LEGG

Address

Address 26116 HIGH TIMBER PASS

City, State & Zip

City, State & Zip SAN ANTONIO, TX 78260

Phone

Phone 210 416 4935

E-Mail

E-Mail michael@mlarchitecture.info

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Matthew Pomeroy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of January, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

Given under my hand and seal of office on this the 16 day of January, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

11-30-23

Mandi Atwater



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 1/17/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/23/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/23/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/28/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2020-001
Project Name: 726 I-30 Frontage Road
Project Type: SITE PLAN
Applicant Name: MICHAEL LEGG
Owner Name: MATHEW PARMERLEE
Project Description:



RECEIPT

Project Number: SP2020-001

Job Address: 726 I30

ROCKWALL, TX 75087

Receipt Number: B87951

Printed: 1/21/2020 10:24 am

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$100.00

Total Fees Paid:

\$100.00

Date Paid: 1/21/2020 12:00:00AM

Paid By: MICHAEL LEGG

Pay Method: CHECK 005664

Received By: AG

0 100 200 300 400 500 Feet

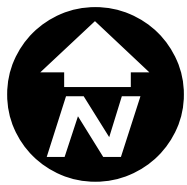
SP2020-001- GOLDEN CHICK
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DRAWING COORDINATION
 Architectural, Landscape, Civil, Structural, Mechanical and Electrical drawings are interrelated. General Contractor and all Sub Contractors shall review and coordinate the entire set of drawings and specifications.

ARCHITECTURAL SITE PLAN
GOLDEN CHICK RESTAURANT
726 I-30 FRONTAGE ROAD
ROCKWALL TEXAS

REV #	DESCRIPTION	DATE

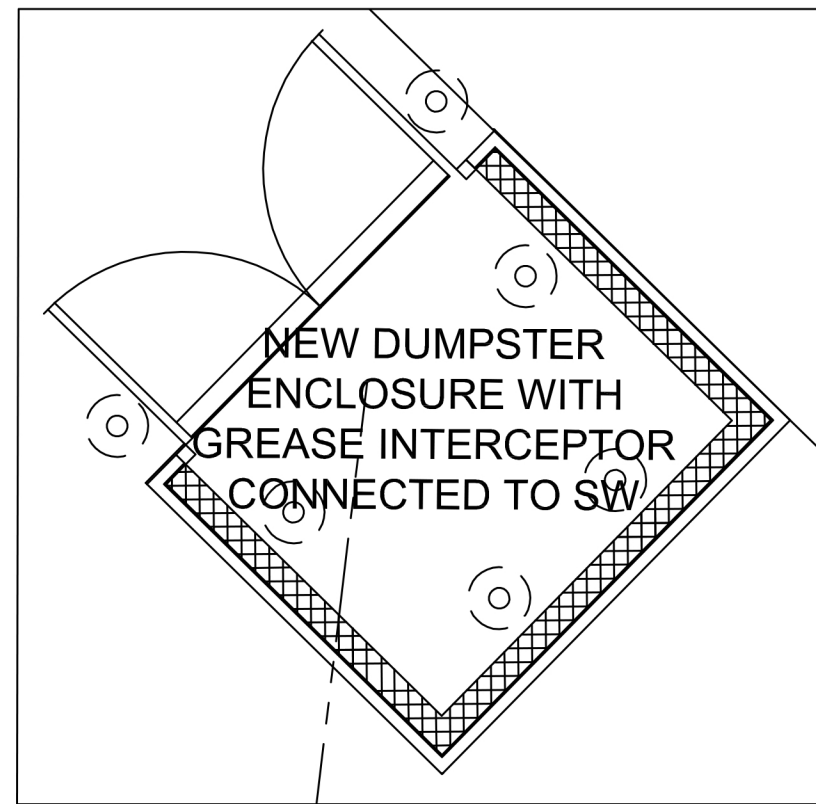
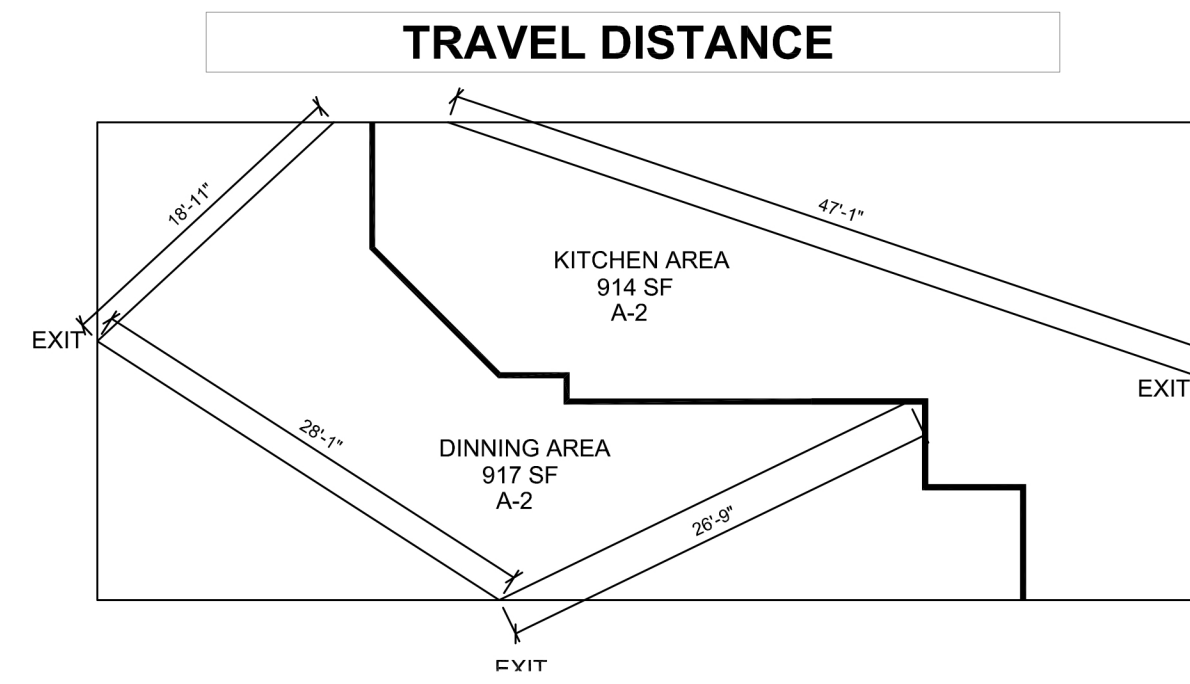
SCALE:
AS NOTED

PROJECT NO.
11-11-19

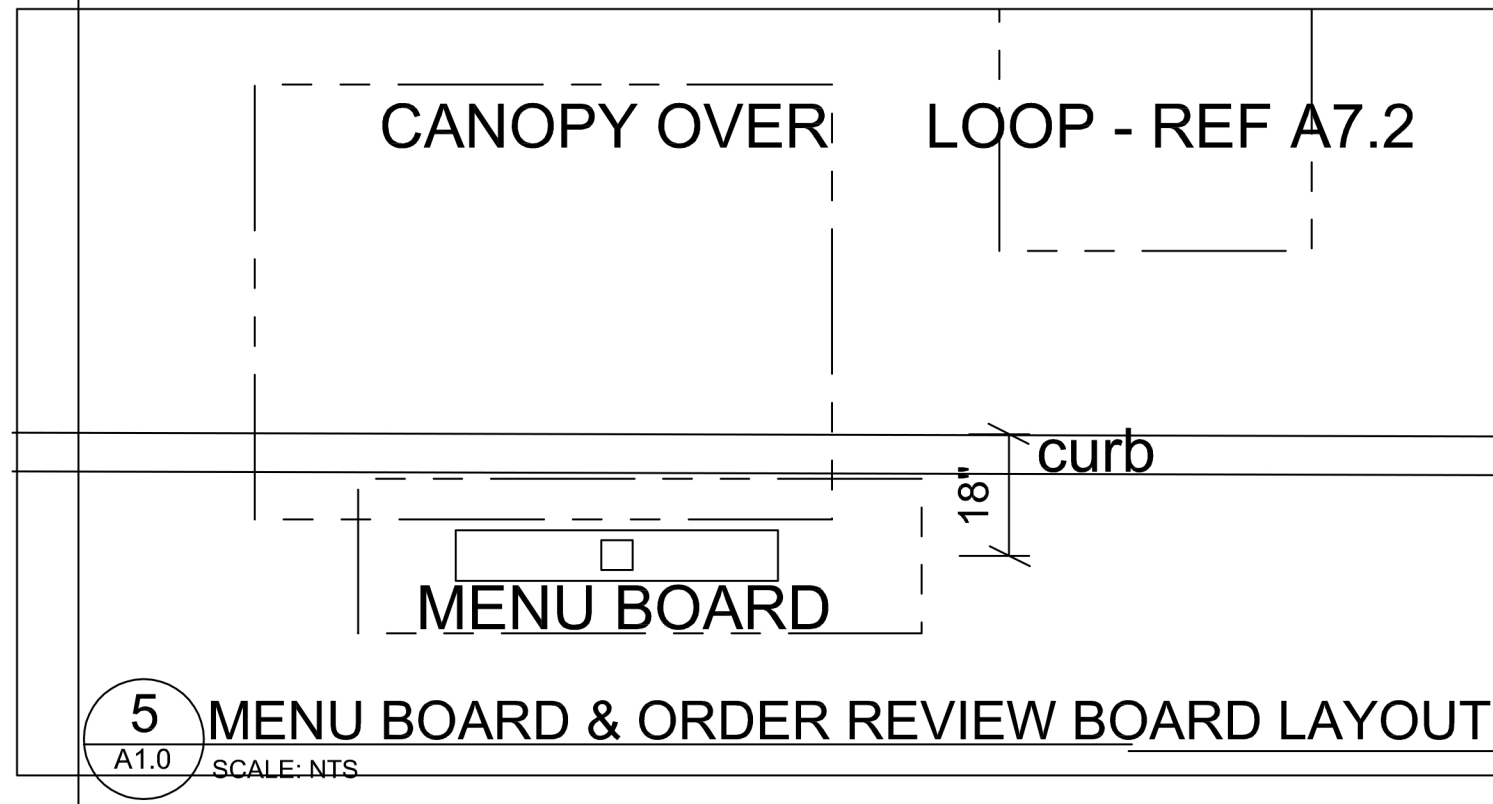
SHEET NO.
A1.0

CODE INFORMATION

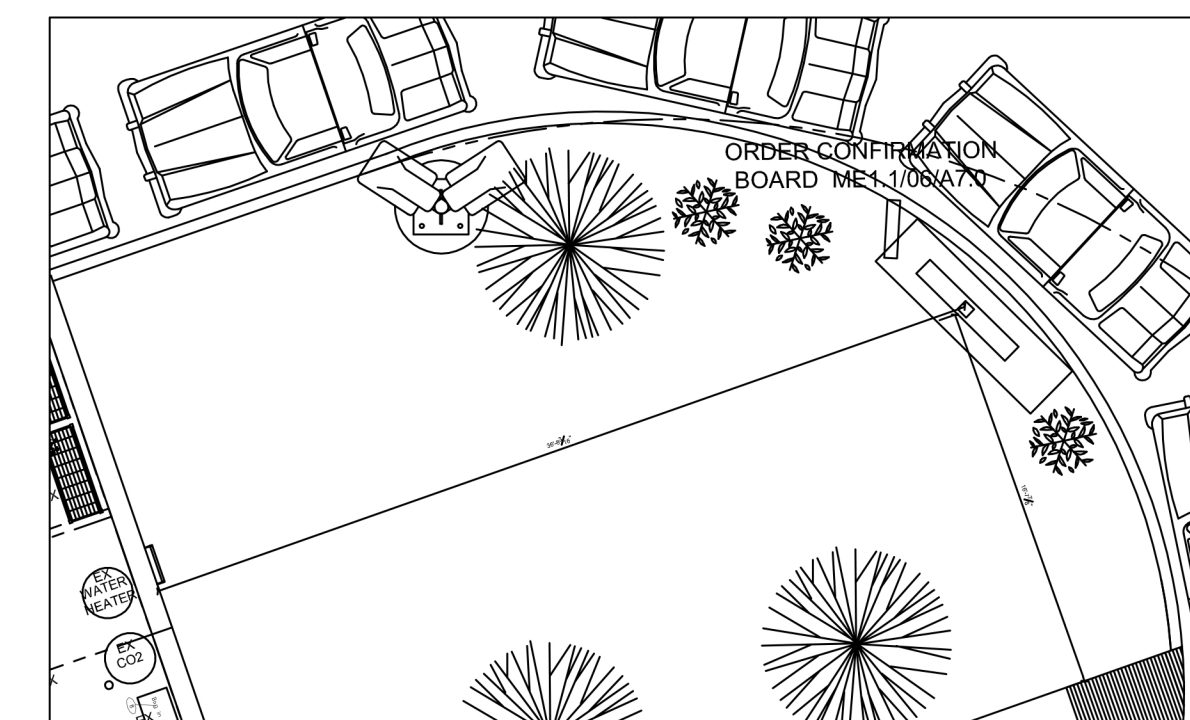
1.0 APPLICABLE CODES		2015 INTERNATIONAL BUILDING CODE (IBC)			
BUILDING CODE		2015 INTERNATIONAL FIRE CODE (IFC)			
FIRE CODE		2015 NATIONAL ELECTRICAL CODE (NEC)			
ELECTRICAL CODE		2015 INTERNATIONAL MECHANICAL CODE (IMC)			
MECHANICAL CODE		2015 INTERNATIONAL PLUMBING CODE (IPC)			
PLUMBING CODE		2015 INTERNATIONAL FUEL GAS CODE (IFGC)			
FUEL GAS CODE		2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)			
ENERGY CODE		2012			
LIFE SAFETY CODE		TAS 2012			
ACCESSIBILITY CODE					
2.0 OCCUPANCY OF USE GROUP CLASSIFICATION					
GOLDEN CHICK	DINING	A-2	1153 SQ. FT.	92 people	
4194 SQ. FT.	KITCHEN	A-2	927 SQ. FT.	7 people	
3.0 TYPE OF CONSTRUCTION / ALLOWABLE BUILDING HEIGHT AND AREA					
ASSEMBLY	TYPE V-B	ALLOWABLE - 6,000 SF PER STORY, 1-STORY LIMIT			SOURCE: IBC - TABLE 503
4.0 FIRE RESISTANCE REQUIREMENTS					
BASED ON TYPE V-B CONSTRUCTION		BUILDING ELEMENTS:	1	STRUCTURAL FRAME	0 HOUR(S)
(LIST ANY SPECIFIC REQUIREMENTS HERE)			2	BEARING WALLS	0 HOUR(S)
				EXTERIOR	0 HOUR(S)
				INTERIOR	0 HOUR(S)
			3	BEARING INT. PARTITIONS	0 HOUR(S)
			4	FLOOR CONSTRUCTION	0 HOUR(S)
			5	ROOF CONSTRUCTION	0 HOUR(S)
		RATINGS FOR EXTERIOR WALLS:			0 HOUR(S)
5.0 FIRE PROTECTION					
ASSEMBLY		AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED. (LESS THAN 5,000 SF)		NO	SOURCE: IBC - 903
FIRE SUPPRESSION	ASSEMBLY			EXEMPT	SOURCE: IBC - 412.2.6
6.0 OCCUPANT LOAD					
BASED ON TYPE V-B CONSTRUCTION		OCCUPANT LOAD FACTOR - FOR EXITING CALCULATIONS	A-2	AREA OF OCCUPANCY	FLOOR AREA IN SF PER OCCUPANT
				138015	92 OCCUPANTS
					92 OCCUPANTS
NOTE: FOR AN EXPLANATION OF DESIGN OCCUPANT LOADS REFER TO LIFE SAFETY PLANS A.C.2011, A.S.2021.1, AND A.S.2021.2.					
7.0 EGRESS WIDTH REQUIRED					
DINING	92 OCCUPANTS	REQUIRED	92 x 2 = 184 INCHES		SOURCE: IBC TABLE 1005.1
SIZE OF DOOR REQUIREMENTS		MINIMUM DOOR SIZE	36-INCH DOOR (32-INCH CLEAR OPENING WIDTH)		SOURCE: IBC - 1008
			ALL DOORS MUST MEET THE REQUIREMENTS PROVIDED IN IBC CHAPTER 10, SPECIFICALLY SECTIONS 1008, 1014, AND 101.		SOURCE: IBC - 1008.1.1
CORRIDOR REQUIREMENTS		MINIMUM CORRIDOR WIDTH	44 INCHES		SOURCE: IBC - 1017
		FIRE-RESISTANCE RATING	0		SOURCE: IBC - 1017.2
			ALL CORRIDORS MUST MEET THE REQUIREMENTS PROVIDED IN IBC CHAPTER 10, SPECIFICALLY SECTION 1017.		SOURCE: IBC - 1017.1, TABLE 1017.1
EXIT ACCESS TRAVEL DISTANCE REQUIREMENTS					
DINING	OCCUPANCY (A-2) WITHOUT SPRINKLER SYSTEM	MAX TRAVEL DISTANCE	200 FT.	TRAVEL DISTANCE PROVIDED	SOURCE: IBC - TABLE 1016.1
KITCHEN	OCCUPANCY (A-2) WITHOUT SPRINKLER SYSTEM		200 FT.		SOURCE: IBC - TABLE 1016.1



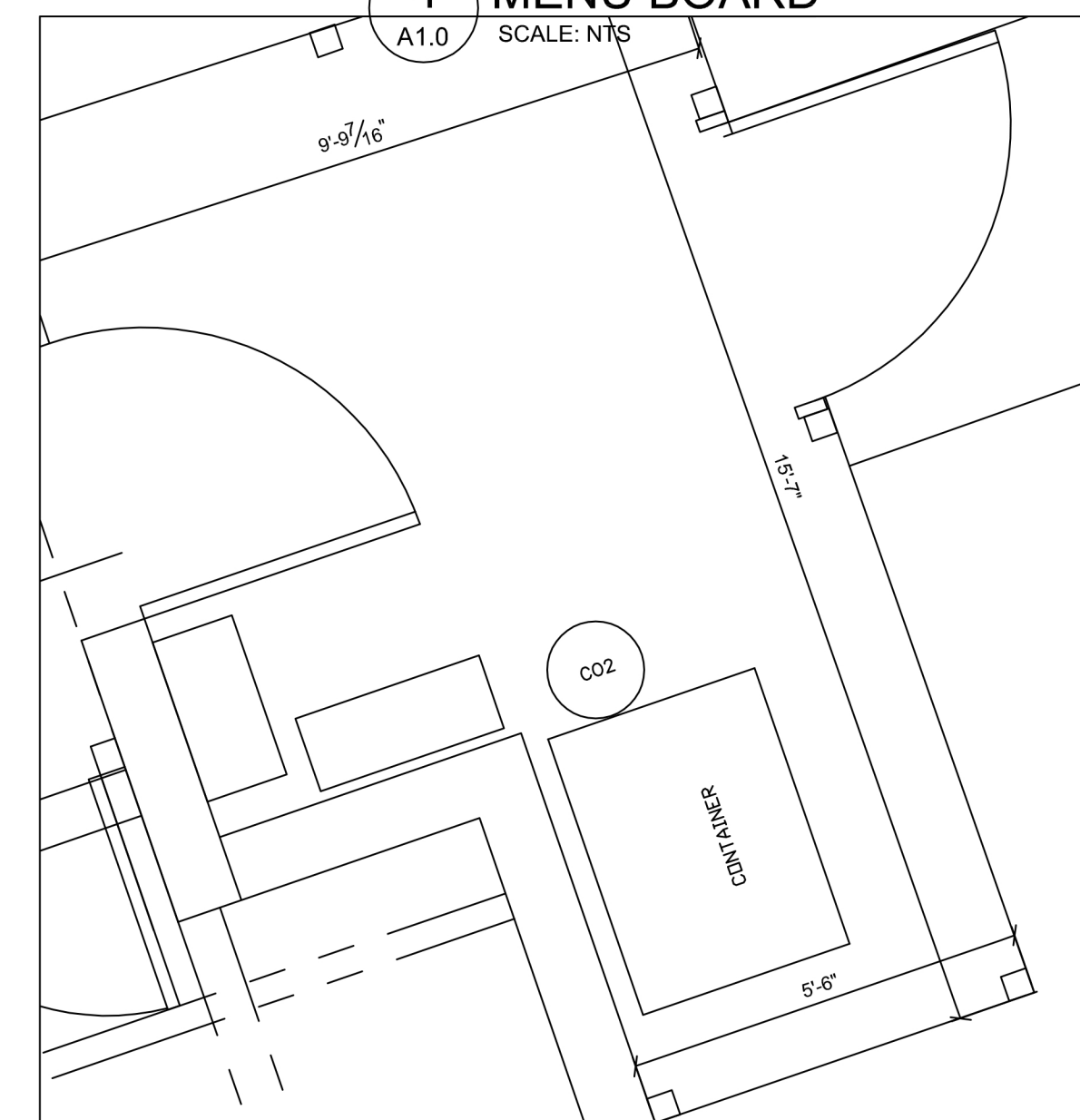
6 DUMPSTER ENCLOSURE
A1.0 SCALE: NTS



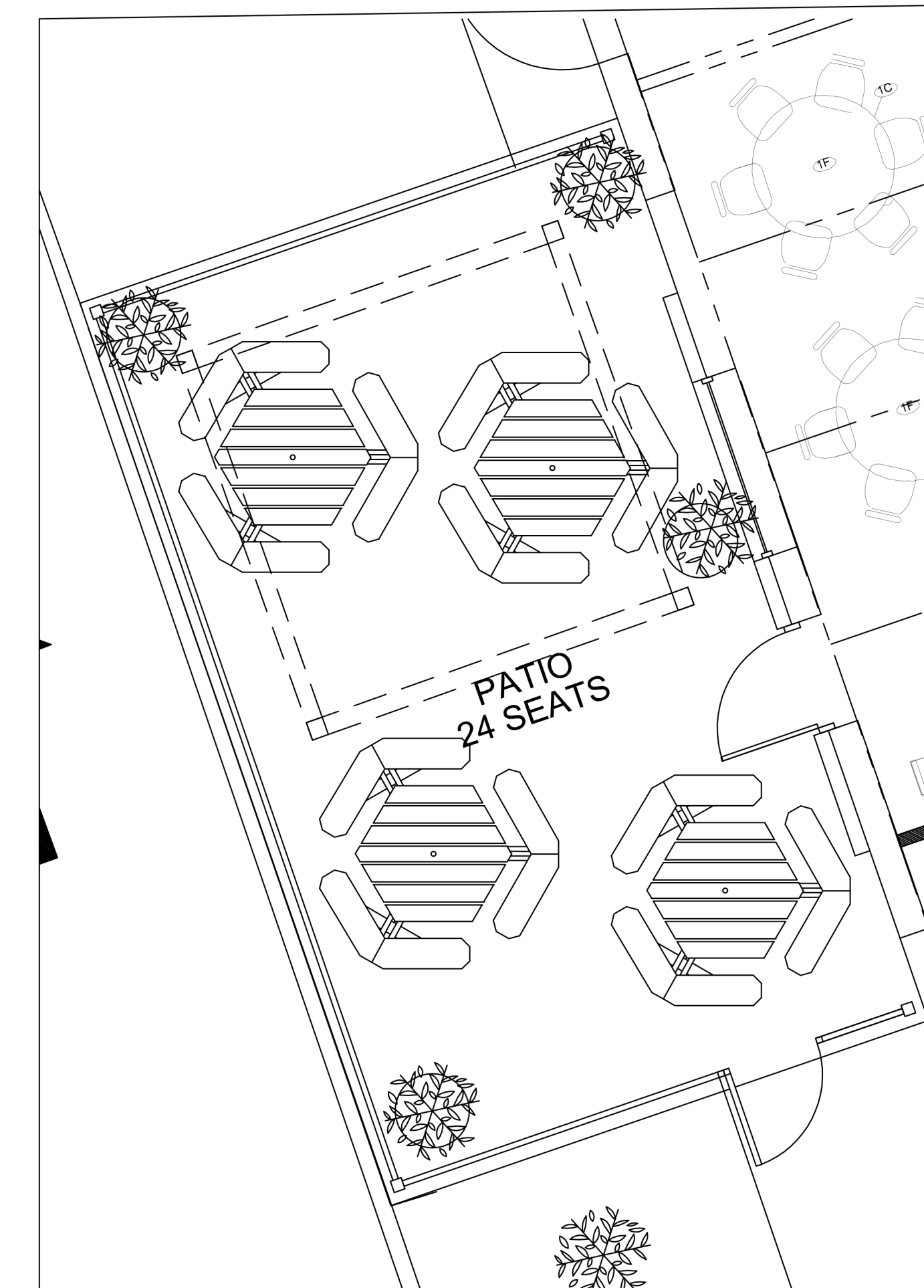
5 MENU BOARD & ORDER REVIEW BOARD LAYOUT
A1.0 SCALE: NTS



4 MENU BOARD
A1.0 SCALE: NTS



3 REAR YARD
A1.0 SCALE: NTS



2 FRONT PATIO
A1.0 SCALE: NTS



1 ARCHITECTURAL SITE PLAN
A1.0 SCALE: NTS

SECTION 02910 – SOIL PREPARATION

- PART 1 – GENERAL
- A. DESCRIPTION
1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
- B. EXAMINATION
1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
 2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED REPARATION WORK.
- C. APPROVALS
1. ALL 'APPROVED EQUAL' MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- PART 2 – PRODUCTS
- A. MATERIALS
1. COMPOST:
 - 1.1. COTTON BUR COMPOST
 - 1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX. OR, CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
 2. FERTILIZERS AND SUPPLEMENTS:
 - 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
 3. MULCH
 - 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.

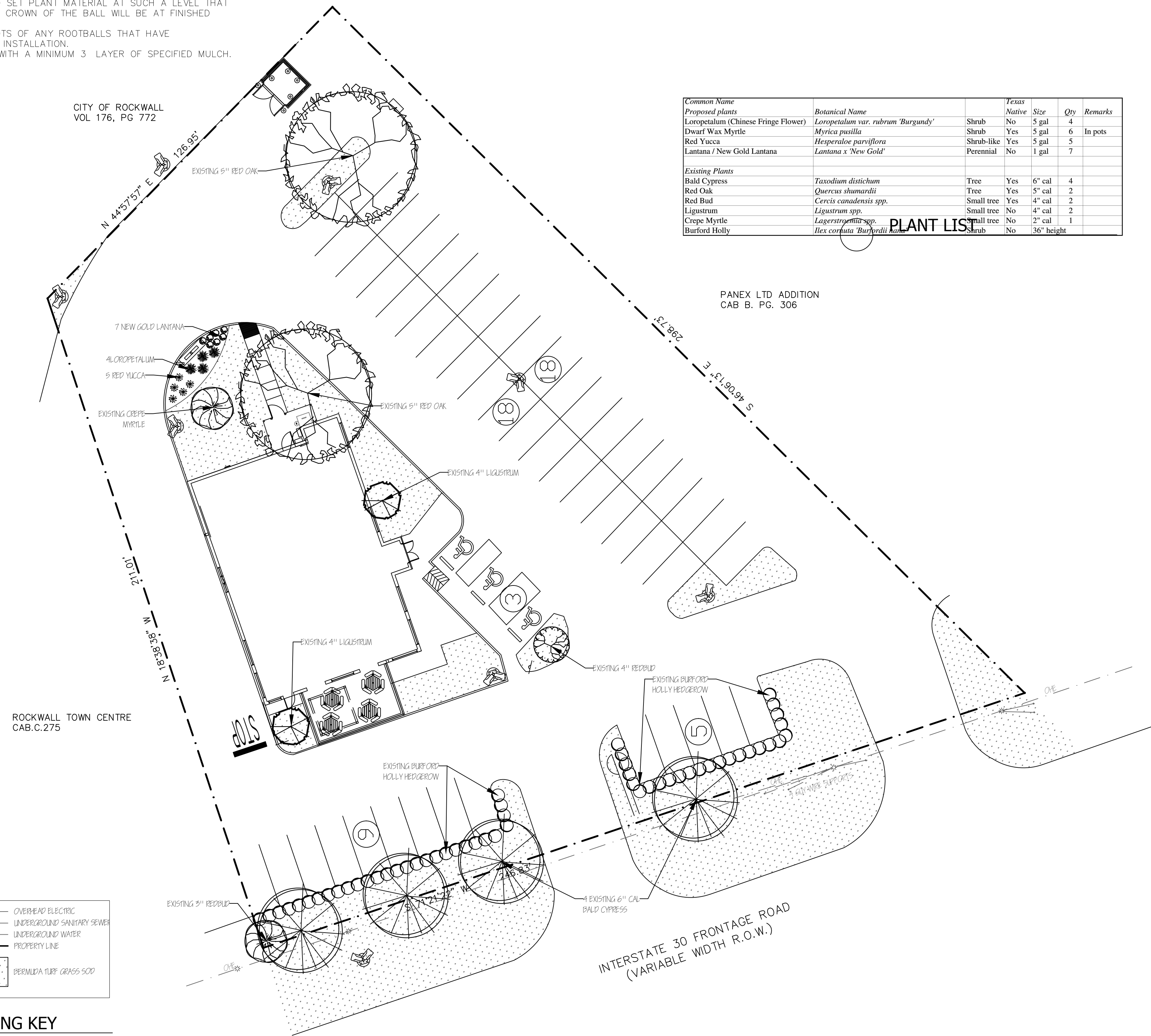
- PART 3 – EXECUTION
- A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
1. GENERAL
 - 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
 - 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
 - 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
 2. SHRUB BEDS
 - 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
 - 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
 - 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
 - 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 - 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
 3. SOD AND SEED AREAS
 - 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
 - 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
 - 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

- END OF SECTION 02910
- NOTES
GENERAL LANDSCAPE
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
 2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
 3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
 4. ALL LAWN AND NEW LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

- PART 3 – EXECUTION
- A. PREPARATION FOR PLANT MATERIAL INSTALLATION
1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
- B. TIME OF PLANTING
1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
- C. TREE PLANTING
1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
 2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
 3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
 4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
 5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
 6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
 7. COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH, EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
- D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING
1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
 2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE POT-BOUND PRIOR TO INSTALLATION.
 3. COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH.

END OF SECTION 02915

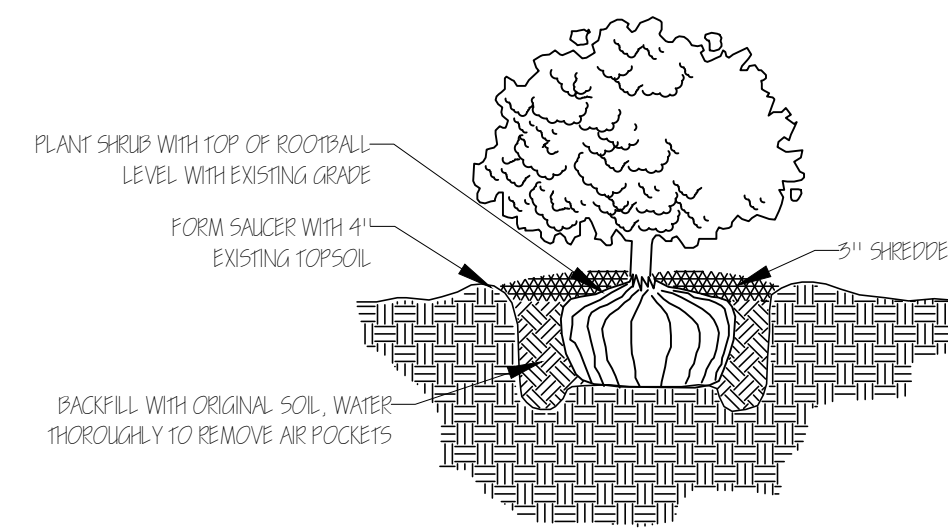
CITY OF ROCKWALL
VOL 176, PG 772



DRAWING KEY

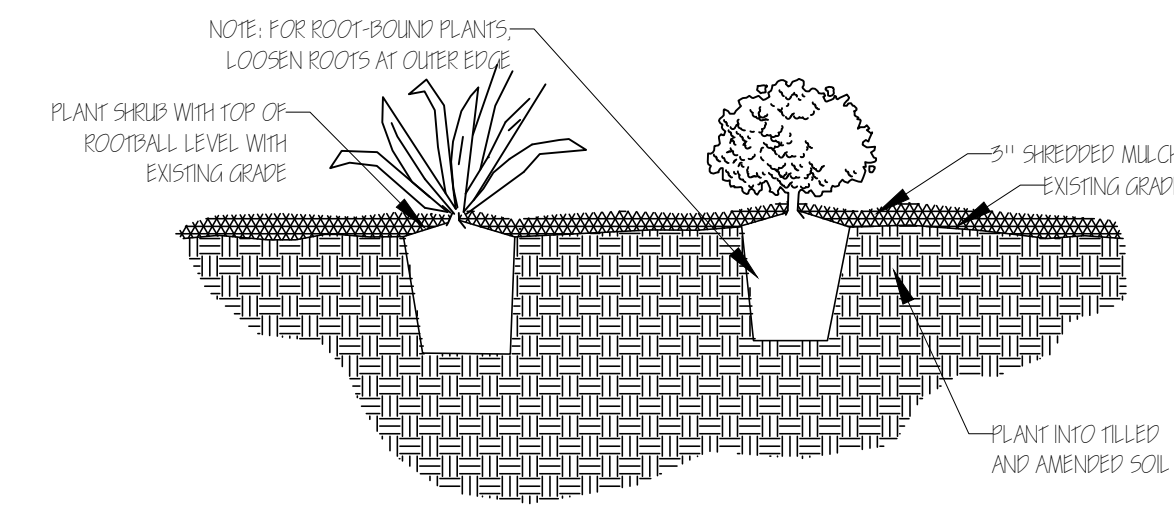
PLANTING PLAN

Scale: 1" = 20'



SHRUB & ORNAMENTAL GRASS PLANTING DETAIL

Scale: Not to scale



PERENNIAL PLANTING DETAIL

Scale: Not to scale

Common Name	Botanical Name	Texas Native	Size	Qty	Remarks
Proposed plants					
Loropetalum (Chinese Fringe Flower)	<i>Loropetalum var. rubrum 'Burgundy'</i>	Shrub	No	5 gal	4
Dwarf Wax Myrtle	<i>Myrica pauciflora</i>	Shrub	Yes	5 gal	6 In pots
Red Yucca	<i>Hesperaloe parviflora</i>	Shrub-like	Yes	5 gal	5
Lantana / New Gold Lantana	<i>Lantana x 'New Gold'</i>	Perennial	No	1 gal	7
Existing Plants					
Bald Cypress	<i>Taxodium distichum</i>	Tree	Yes	6" cal	4
Red Oak	<i>Quercus shumardii</i>	Tree	Yes	5" cal	2
Red Bud	<i>Cercis canadensis spp.</i>	Small tree	Yes	4" cal	2
Ligustrum	<i>Ligustrum spp.</i>	Small tree	No	4" cal	2
Crape Myrtle	<i>Lagerströmia spp.</i>	Small tree	No	2" cal	1
Burford Holly	<i>Ilex coriaria 'Burfordii' name</i>	Shrub	No	36" height	

PLANT LIST

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF ROCKWALL PLANNING & ZONING
385 S. GOLIAD ST.
ROCKWALL, TEXAS 75087
972.771.7745

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-3211
(512) 475-2886 (FAX)

Landscaping Requirements

CITY OF ROCKWALL TREE PRESERVATION LANDSCAPE ORDINANCE
ARTICLE VIII LANDSCAPE STANDARDS

STREET LANDSCAPING (247 LIN FT)
BUFFER STRIP ALONG PUBLIC STREET
REQUIRED: 10' WIDE
PROVIDED: 10' WIDE
TREES- ONE LARGE TREE PER 50 LIN FT
REQUIRED: 5 LARGE TREES
PROVIDED: 5 EXISTING TREES

PARKING LOT
A. PLANTING SCREEN FOR PARKING HEADLIGHTS
PROVIDED: EXISTING SHRUB ROW

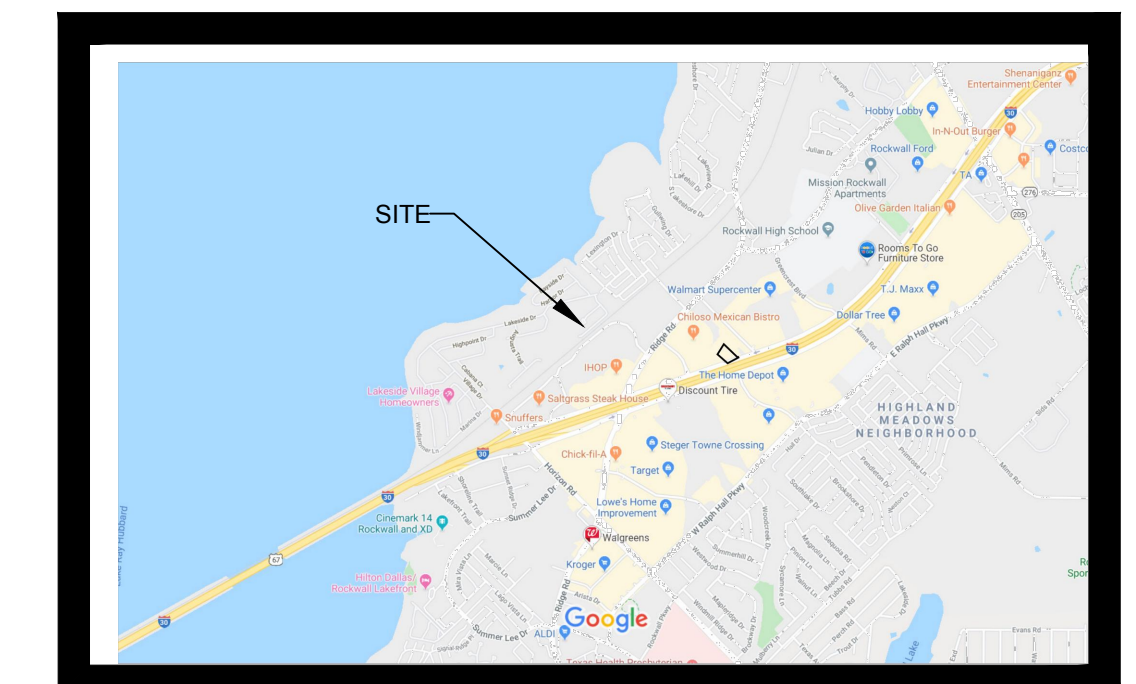
REQUIRED LANDSCAPING
GENERAL RETAIL
REQUIRED: 15%
PROVIDED: 15%

LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED
EXISTING IRRIGATION SYSTEM, TO BE VERIFIED THAT THE EXISTING SYSTEM IS INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Site Location



Owner & Professionals Information

OWNER
GOLDEN CHICK
1131 ROCKINGHAM DR. SUITE 250, RICHARDSON, TX 75080
ATTN: LARRY NELSON, 512-568-1779

ARCHITECT
LEGG ARCHITECTURE, LLC
26116 HIGH TIMBER PASS
SAN ANTONIO, TX. 78260
ATTN: MICHAEL LEGG, AIA, 210-416-4935

LANDSCAPE ARCHITECT
FELDMAN DESIGN STUDIOS
P.O. BOX 832346, RICHARDSON, TEXAS 75083
ATTN: CAROL FELDMAN, 972-523-4944
CAROL@FELDMANDESIGN.COM

FELDMAN DESIGN STUDIOS
P.O. Box 832346 Richardson, Texas 75083
Office: 972.980.1750 Mobile: 972.925.4944
carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	1/16/20
2.		
3.		
4.		
5.		
6.		
7.		

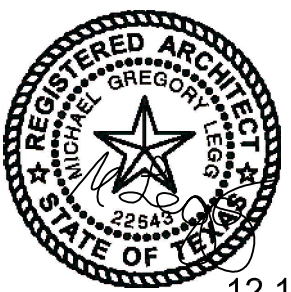


These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

GOLDEN CHICK RESAURANT
726 INTERSTATE 30
ROCKWALL, TEXAS 75087

SHEET NO.

L1.01



DRAWING COORDINATION
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EXTERIOR ELEVATIONS

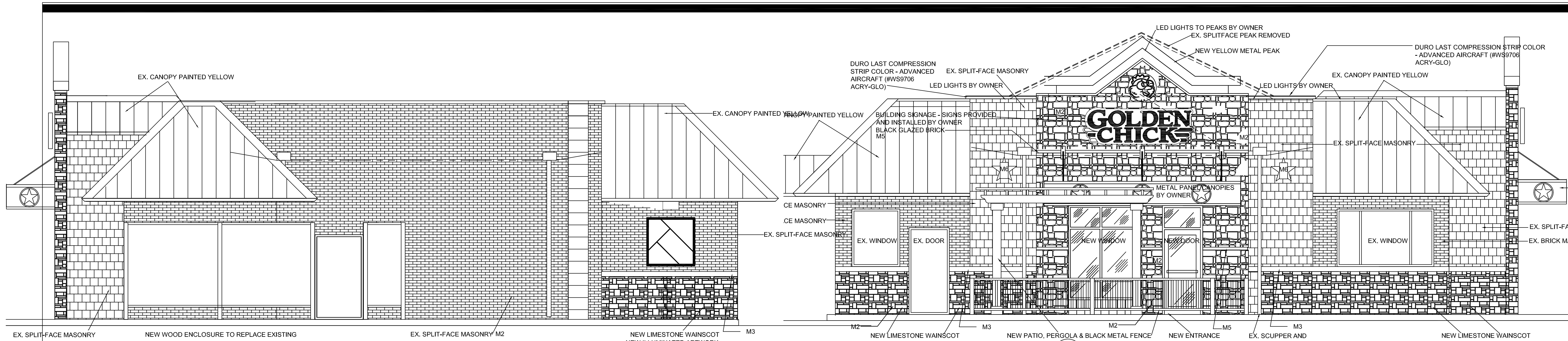
GOLDEN CHICK RESTAURANT
726 I-30 FRONTAGE ROAD
ROCKWALL TEXAS

REV #	DESCRIPTION	DATE
REV 1		

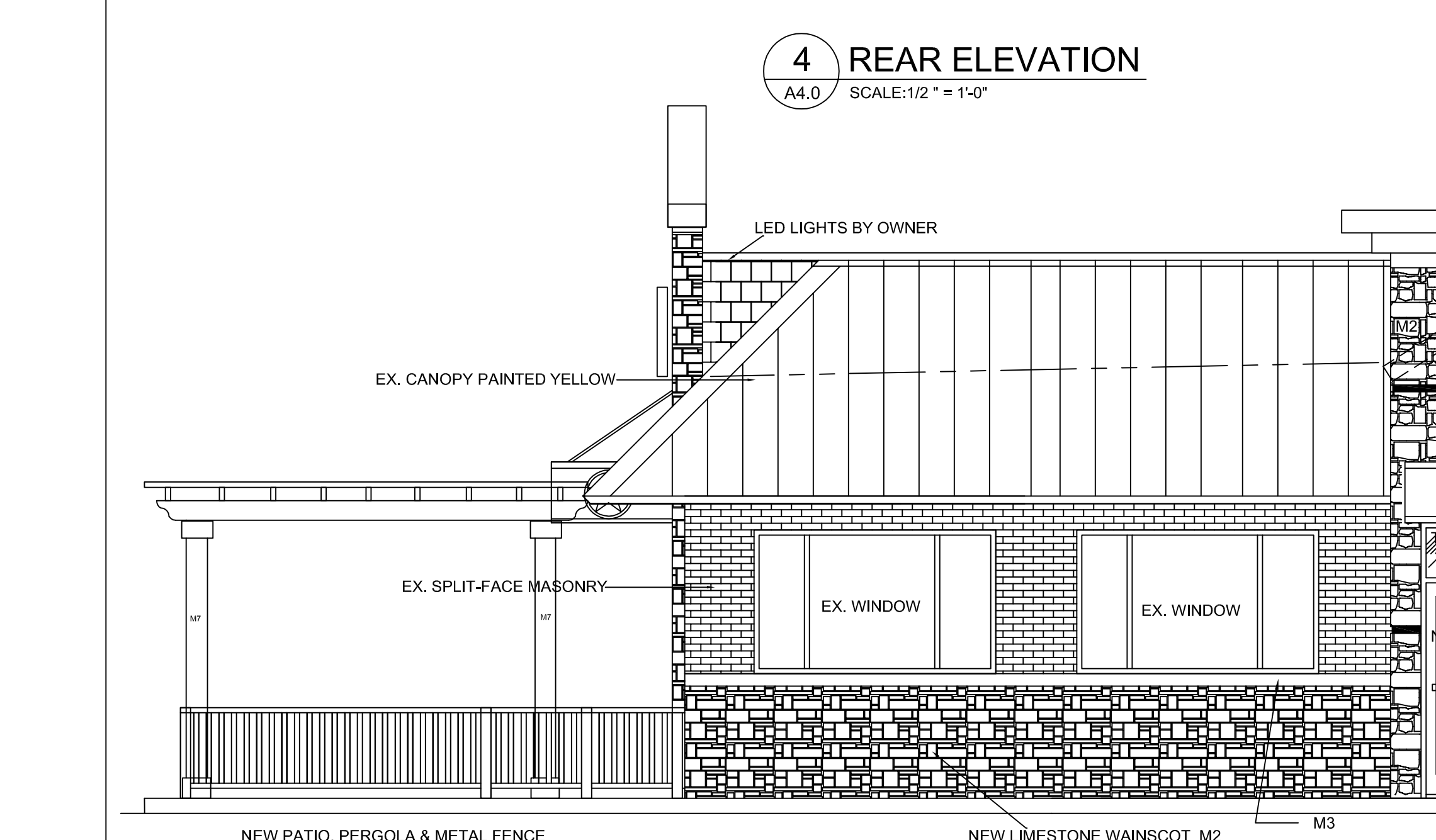
SCALE:
AS NOTED

PROJECT NO.
11-11-19

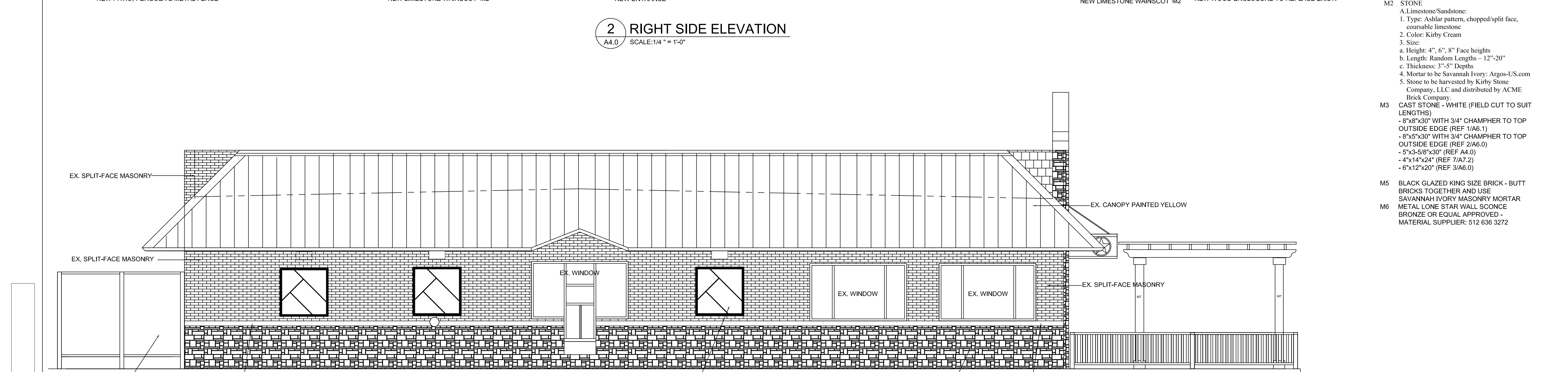
SHEET NO.
A4.0



3 FRONT ELEVATION
 A4.0 SCALE: 1/2" = 1'-0"



4 REAR ELEVATION
 A4.0 SCALE: 1/2" = 1'-0"



2 RIGHT SIDE ELEVATION
 A4.0 SCALE: 1/4" = 1'-0"



1 LEFT SIDE ELEVATION
 A4.0 SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- CONTACT **ACME BRICK & FEATHERLITE** FOR M1, M2, M3, M4 & M5 MASONRY PRODUCTS BELOW:
 CONTACT PERSON:
 Tracie Martin
 16121 College Oak Drive
 San Antonio, TX 78249
 210-296-7891 Cell
 210-493-2612 Office
 210-493-2929 Fax
- M1 12x12 BLACK GRANITE WALL TILE - IN702P PREMIUM BLACK (AMERICAN TILE SUPPLY - AN ACME COMPANY)
 - M2 STONE
 A. Limestone/Sandstone:
 1. Type: Ashlar pattern, chopped/split face, coursed limestone
 2. Color: Kirby Cream
 3. Size:
 a. Height: 4", 6", 8" Face heights
 b. Length: Random Lengths - 12"-20"
 c. Thickness: 3"-5" Depths
 4. Mortar to be Savannah Ivory; Argos-US.com
 5. Stone to be harvested by Kirby Stone Company, LLC and distributed by ACME Brick Company.
 - M3 CAST STONE - WHITE (FIELD CUT TO SUIT LENGTHS)
 - 8"x8"x30" WITH 3/4" CHAMPHER TO TOP OUTSIDE EDGE (REF 1/A6.1)
 - 8"x5"x30" WITH 3/4" CHAMPHER TO TOP OUTSIDE EDGE (REF 2/A6.0)
 - 5"x3-5/8"x30" (REF 4/A.0)
 - 4"x14"x24" (REF 7/A7.2)
 - 6"x12"x20" (REF 3/A6.0)
 - M5 BLACK GLAZED KING SIZE BRICK - BUTT BRICKS TOGETHER AND USE SAVANNAH IVORY MASONRY MORTAR
 - M6 METAL LONE STAR WALL SCONE BRONZE OR EQUAL APPROVED - MATERIAL SUPPLIER: 512 636 3272



**GOLDEN
CHICK**

**GOLDEN
CHICK**

FIRE LANE
NO PARKING

City of Rockwall Project Plan Review History



Project Number	SP2020-001	Owner	MATHEW PARMERLEE	Applied	1/17/2020	AG
Project Name	726 I-30 Frontage Road	Applicant	MICHAEL LEGG	Approved		
Type	SITE PLAN			Closed		
Subtype	AMENDING			Expired		
Status	Staff Review			Status		

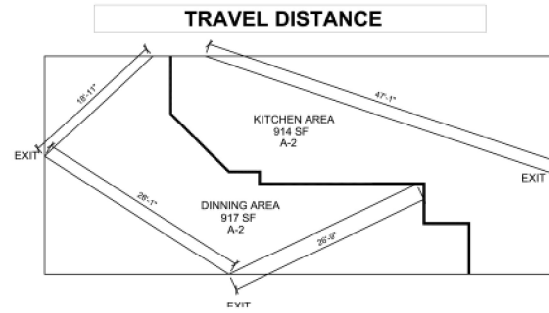
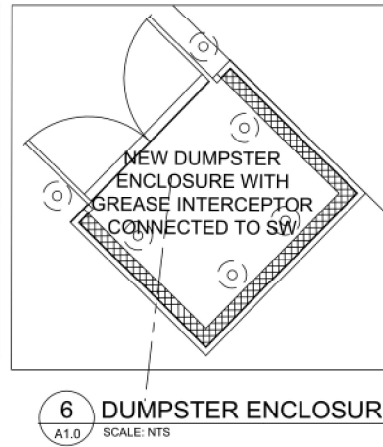
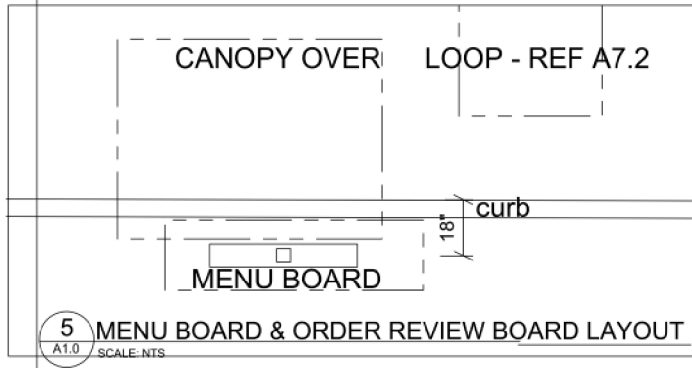
Site Address	City, State Zip	Zoning
726 I30	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
GRANDY'S ADDITION	1	A	1	3748-000A-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	1/17/2020	1/24/2020	1/21/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	1/17/2020	1/24/2020	1/24/2020	7	APPROVED	<p>(1/24/2020 10:30 AM SJ)</p> <p>M - Must label parking and drive isles distances. Standards of Design 2.6</p> <p>M - Both drive lanes to be 12' wide. The neighboring fire lane cannot be used. Standards of Design 2.6</p> <p>M - Show the existing fire lane/access drive and parking on neighboring lot.</p> <p>M - Minimum easement width is 20'. No structures allowed in easements. Standards of Design 2.6</p> <p>M - Parking to be 20'x9' where near the buildings or head-to-head. Other parking to be 18'x9' minimum. Standards of Design 2.20</p> <p>M - Drive isles to be 24' wide. Standards of Design 2.6</p> <p>M - Must have a grease trap or oil/water separator for the dumpster drainage and must connect to the storm lines. Standards of Design 5</p> <p>M - Must meet City Standards. Plan review fees apply.</p> <p>The following items are for your information for engineering/building review.</p> <p>M - Minimum easement width is 20'. No structures allowed in easements.</p> <p>M - Parking to be 20'x9' where near the buildings or head-to-head. Other parking to be 18'x9' minimum.</p> <p>M - Drive isles to be 24' wide.</p> <p>M - Must have a grease trap or oil/water separator for the dumpster drainage and must connect to the storm lines. Required.</p> <p>M - Must meet City Standards. Plan review fees apply.</p>
FIRE	Ariana Hargrove	1/17/2020	1/24/2020	1/23/2020	6	APPROVED	
GIS	Lance Singleton	1/17/2020	1/24/2020	1/21/2020	4	APPROVED	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	Korey Brooks	1/17/2020	1/24/2020	1/24/2020	7 COMMENTS	Comments
<p>SP2020-001; Golden Chick</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request by Michael Legg of Legg Architecture, LLC for the approval of a site plan for a for a restaurant with drive through (i.e. Golden Chick) on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30</p> <p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (SP2020-001) in the lower right-hand corner of all pages on future submittals.</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).</p> <p>M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1) Please show and label the front setback adjacent to IH-30 2) Please show and label all easements. 3) Please provide turn radii and drive aisle widths. 4) Please show and label centerline of IH-30 Frontage Road. 5) The Site plan indicates a "Container" will be located on site, what is the container used for? 6) Please remove floorplan from the site plan. 7) Please show and label easements 8) Please removed light poles 9) Please note that trash enclosures shall be 4-sided solid masonry utilizing the same materials as the main building. Also, the enclosure shall incorporate a self-latching opaque gate. Please see Subsection 01.05, Screening Standards, of Article 5, District Development Standards, of the UDC for a dumpster enclosure detail. 10) Please dimension a typical parking space. 11) Please remove pole sign from site plan. 12) Please remove "Code Information" from site plan. That information will be reviewed at time of building permit application. 13) Please provide site data table on all pages. See Subsection 7.03, Non-Residential District Development Standards, of Article 5, District Development Standards, of the Unified Development Code (UDC). 14) Please show and label adjacent properties 15) Please provide graphic and numeric scale. 16) Please provide vicinity map 17) Please provide north arrow and orient site plan so that north points to the top of the page. Currently, the western side of the property is toward the top of the page. 18) Please note, this is located in the IH-30 Overlay District. Please see Article 5 for IH-30 Overlay (IH-30 OV) District standards. <p>Floor Plan.</p> <ol style="list-style-type: none"> 1) Please note, that the floorplan will not be reviewed with the site plan. The floorplan will be reviewed at time of building permit application. <p>Landscape Plan.</p> <ol style="list-style-type: none"> 1) Please provide turn radii and drive widths. 2) Please show and label landscape buffer. 3) Please note, a min. of 10-foot wide landscape buffer is required along the entire length of any non-residential lot that abuts a public right of way. All buffers shall incorporate ground cover, a built-up berm, and shrubbery along the entire length of frontage. Berms and shrubbery shall have a total min height of 30-inches. A min 						

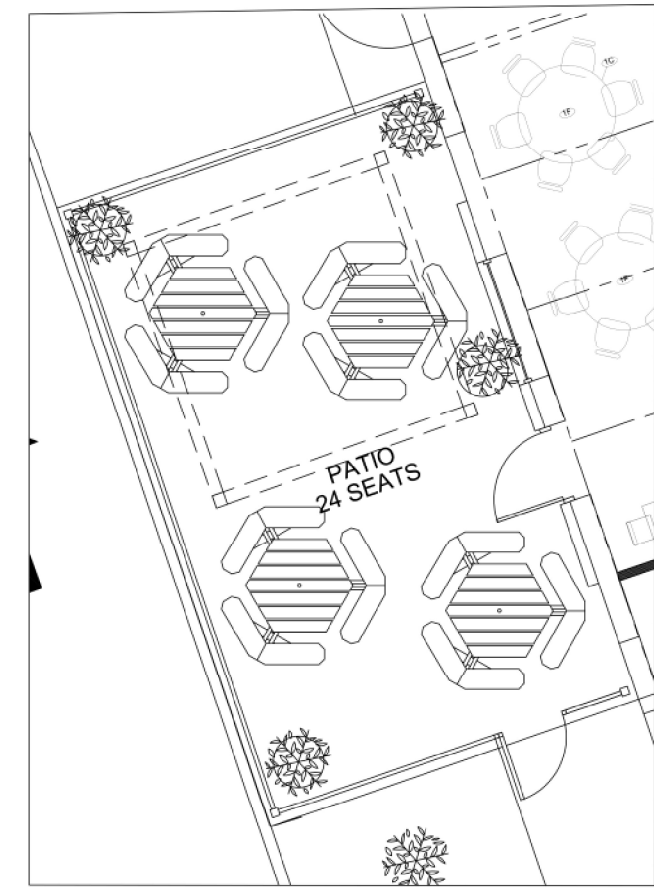
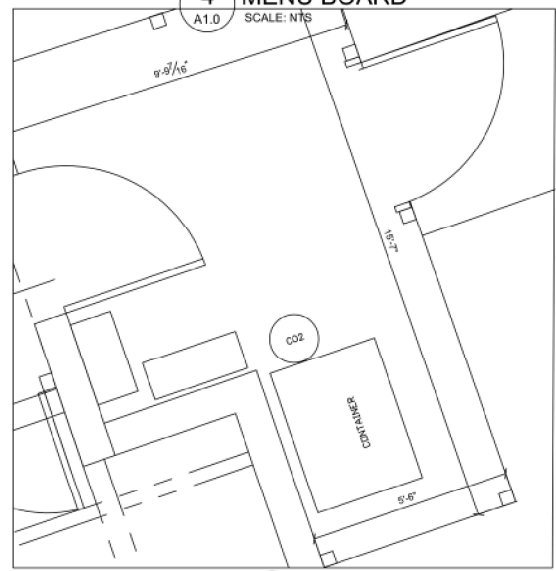
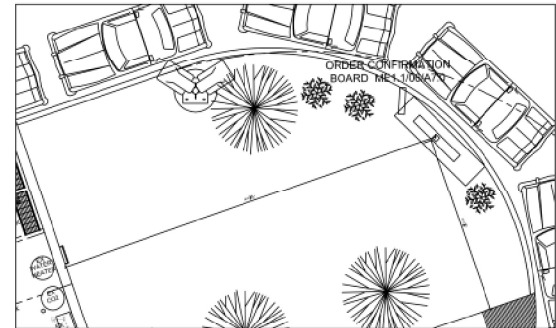
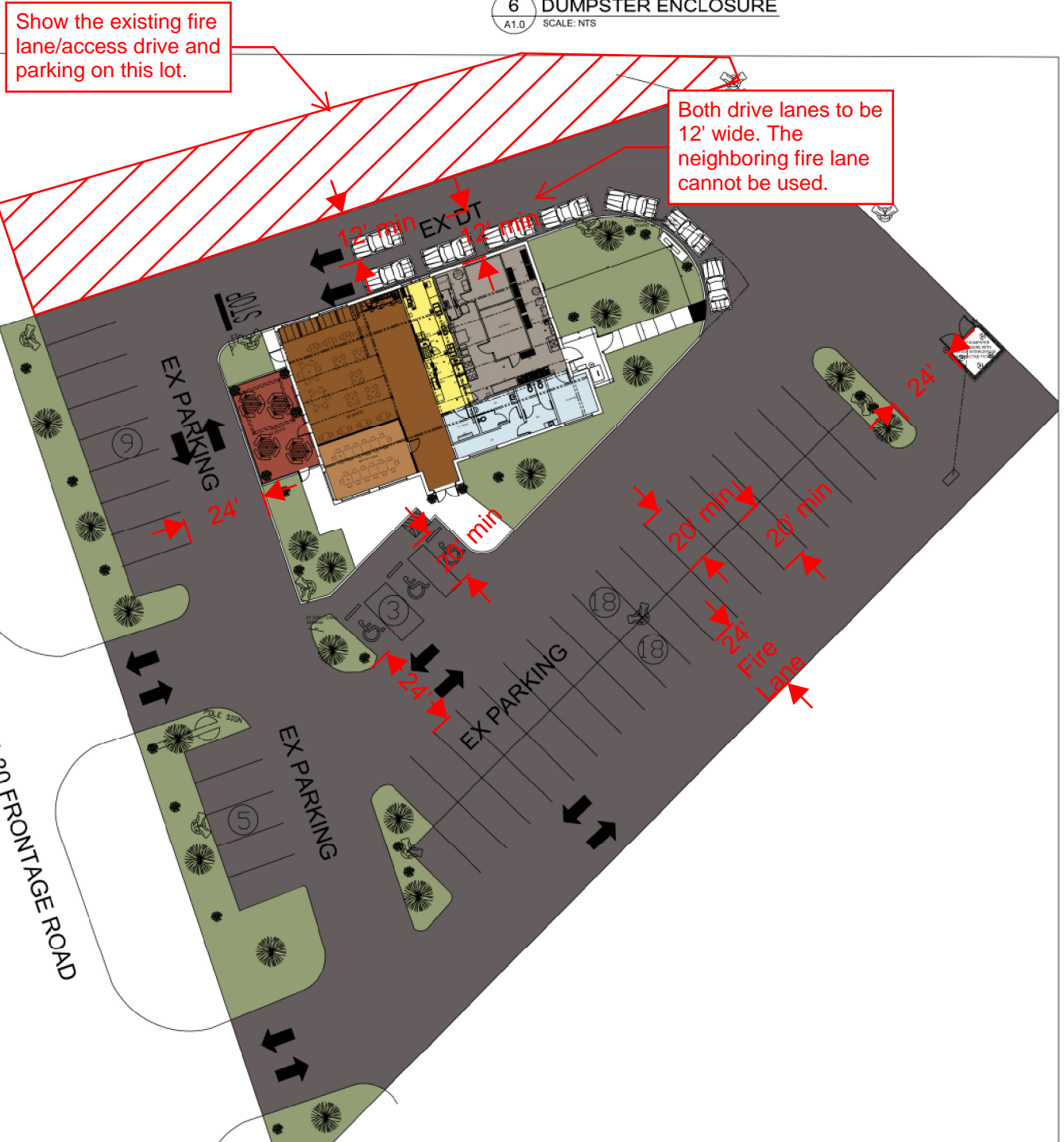
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						of one (1) canopy tree and one (1) accent tree per 50 linear feet is required.
						4) Please show and label front setback.
						5) Please dimension a typical parking space.
						6) Please show centerline of IH-30 Frontage Road.
						7) Please note, canopy trees are a min. of 4 caliper inches, accent trees are a min. of 4-feet in height, and shrubs are a min. of 3 gallons.
						8) Please note, the min landscaping percentage is 20%.
						9) Please note that no parking space shall be more than 80-feet from a canopy tree
						10) Please label property line.
						11) Please provide site data table as requested above for site plan
						12) Please adjust orientation of the "Plant List" label and the plant list table. Currently, they overlap.
						13) Please note. This is a Commercial (C) District, not a General Retail (GR) District.
						14) Please review Article 8, Landscape and Fence Standards, of the Unified Development Code (UDC) Building Elevations.
						1) Please remove all signage from building elevations. Signage is approved at time of building permit.
						2) What material will the illuminated artwork be?
						3) Please provide cardinal direction of building elevations and indicate which elevation faces the street
						4) Please note, the two tower elements (where the signage is located) will need to be finished on the sides and the rear. The tower element will need to appear as a "cube" rather than a "flat panel" that projects from the top of the building.
						5) Please note, wood is not a permitted material type for the enclosure. Please see Article 8, Landscape and Fences.
						6) Please note, all lighting shall be downward facing and fully shielded/
						7) Please note that on the Rear and Front elevations, there is a label for "Ex. Split-Face Masonry" –located between the two elevations. This appears to point to brick instead of split-face. Please confirm material. Also, there are two labels for "CE Masonry". Please clarify.
						8) Please provide site data table as requested for the site plan
						9) Please provide dimensions/heights
						10) Please clarify rear elevation. There appears to be a ladder on the building, please label.
						11) Please note that above the artwork on the rear elevation, there seems to be an missing building materials.
						12) Please label windows and doors on rear elevation.
						13) Please label dashline on the roof
						14) Please provide dumpster enclosure elevations. Photometric Plan.
						1) Please provide photometric plan
						I.6 Please note that failure to address all comments provided by staff by 5:00 PM on February 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
						I.7 The Architectural Review Board (ARB) meeting is January 28, 2020 at 5:00. Planning & Zoning Worksession is January 28, 2020 at 6:00.
						I.8 The Planning and Zoning Meeting for this case is February 11, 2020.
						A representative is required to attend all meetings



CODE INFO	
1.0 APPLICABLE CODES	2015 INTERNATIONAL BUILDING CODE (IBC)
BUILDING CODE	2015 INTERNATIONAL FIRE CODE (IFC)
FIRE CODE	2015 NATIONAL ELECTRICAL CODE (NEC)
ELECTRICAL CODE	2015 INTERNATIONAL MECHANICAL CODE (IMC)
MECHANICAL CODE	2015 INTERNATIONAL PLUMBING CODE (IPC)
PLUMBING CODE	2015 INTERNATIONAL FUEL GAS CODE (IFGC)
FUEL GAS CODE	2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
ENERGY CODE	2012
LIFE SAFETY CODE	TAB 2012
ACCESSIBILITY CODE	
2.0 OCCUPANCY OF USE GROUP CLASSIFICATION	
GOLDEN CHECK	A-2
DINING	A-2
KITCHEN	A-2
3.0 TYPE OF CONSTRUCTION / ALLOWABLE BUILDING HEIGHT AND AREA	
ASSEMBLY	TYPE V-B ALLOWABLE - 6,000 SF PER STORY, 15'
4.0 FIRE RESISTANCE REQUIREMENTS	
BASED ON TYPE V-B CONSTRUCTION	BUILDING ELEMENTS: 1
(LIST ANY SPECIFIC REQUIREMENTS HERE)	2
	3
	4
	5
	RATINGS FOR EXTERIOR WALLS:
5.0 FIRE PROTECTION	
FIRE SUPPRESSION	AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED
6.0 OCCUPANT LOAD	
BASED ON TYPE V-B CONSTRUCTION	AREA OF OCCUPANCY
OCCUPANT LOAD FACTOR - FOR EXITING CALCULATIONS	A-2
DINING	
NOTE: FOR AN EXPLANATION OF DESIGN OCCUPANT LOADS REFER TO LIFE SAFETY PLANS A.C.2011, A.S.2021.1.	
7.0 EGRESS WIDTH REQUIRED	
DINING	82 OCCUPANTS 82 x 2 = 164
SIZE OF DOOR REQUIREMENTS	MINIMUM DOOR SIZE: ALL DOORS MUST MEET THE REQUIREMENTS PROVIDED
CORRIDOR REQUIREMENTS	MINIMUM CORRIDOR WIDTH: FIRE RESISTANCE RATING: ALL CORRIDORS MUST MEET THE REQUIREMENTS PROVIDED
EXIT ACCESS TRAVEL DISTANCE REQUIREMENTS	OCCUPANCY (A-2) WITHOUT SPRINKLER SYSTEM: OCCUPANCY (A-2) WITHOUT SPRINKLER SYSTEM

M - Minimum easement width is 20'. No structures allowed in easements.
M - Parking to be 20'x9' where near the buildings or head-to-head. Other parking to be 18'x9' minimum.
M - Drive isles to be 24' wide.
M - Must have a grease trap or oil/water separator for the dumpster drainage and must connect to the storm lines. Required.
M - Must meet City Standards. Plan review fees apply.

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M - Must meet City Standards. Plan review fees apply.



MLA
MICHAEL LEGG ARCHITECTURE
Michael Legg, P.E., AIA, RIBA, S.A.C.P.
2016 High Timber Place
San Antonio, Texas 78204
ph: 210-444-4515
michall@mlaarchitecture.com

12.19.19

DRAWING COORDINATION
Architectural, Landscape, Civil, Structural, Mechanical and Electrical drawings are interrelated. General Contractor and all Sub Contractors shall review and coordinate the entire set of drawings and specifications.

ARCHITECTURAL SITE PLAN
GOLDEN CHICK RESTAURANT
726 I-30 FRONTAGE ROAD
ROCKWALL TEXAS

REV #	DESCRIPTION	DATE

SCALE: AS NOTED
PROJECT NO. 11-11-19
SHEET NO. A1.0

SECTION 02910 - SOIL PREPARATION

PART 1 - GENERAL

1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING:
 - A. EXAMINATION
 - B. CORRECTIVE WORK
 - C. APPROVALS
 - D. ARCHITECT

PART 2 - PRODUCTS

1. MATERIALS:
 - 1.1. TOPSOIL: 10% ORGANIC COMPOST
 - 1.2. SUBSOIL: 10% ORGANIC COMPOST
 - 1.3. CLEAR FILL: 10% ORGANIC COMPOST
 - 1.4. FERTILIZERS AND SUPPLEMENTS:
 - 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTAIN, OR RELEASED ORGANIC MULCH.
 - 3.1. MULCH: SHREDED NATIVE MULCH, OR APPROVED CEDAR MULCH, SHREDED HARDWOOD MULCH, OR APPROVED EQUAL.

PART 3 - EXECUTION

1. GENERAL
 - 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
 - 1.2. REMOVE ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
 - 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
 2. SHRUB BEDS:
 - 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
 - 2.2. ADD TOPSOIL AND COMPOST TO THE BEDS, TOTAL OVERALL DEPTH OF 8 INCHES.
 - 2.3. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 - 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 - 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
 - 2.6. SOON AFTER PLANTING, LIGHTLY CULTIVATE.
 - 3.1. ADD ½ INCH COMPOST TO ALL AREAS.
 - 3.2. ADD ½ INCH COMPOST TO ALL AREAS.
 - 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

END OF SECTION 02910

NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL, AND ALL PLANT PLACEMENT, FIELD ADJUSTMENTS OF PLANT LOCATIONS, TO BE COORDINATED WITH OWNER.
4. ALL LAMN AND NEW LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 1" GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

SECTION 02915 - LANDSCAPE PLANTING

PART 1 - GENERAL

1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS, IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF EQUIVALENT MATERIAL TO OWNER'S ARCHITECT AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z601 AMERICAN STANDARD FOR NURSERY STOCK, AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
4. FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION:
 1. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601, 2014 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
 2. SHINNERS & WAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1993.
 3. FORJUS (THIRD), CORNELL UNIVERSITY, 1967.
5. COORDINATE WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES, INCLUDING THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
6. COORDINATION WITH IRRIGATION SYSTEMS:
 - 6.1. COMMENCEMENT OF THE PLANTING OPERATIONS MUST BE INSTALLED PRIOR TO PLANTING OPERATIONS COMMENCEMENT AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
 - 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
 - 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM INCLUDING REESES.
7. CONTAINER GROWN PLANTS SHALL HAVE BEEN STEPPED-UP AS NECESSARY TO PREVENT ROOT GIRDLING.
8. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE THE ROOT FLARE OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.

PART 2 - PRODUCTS

1. CONTAINER GROWN PLANTS SHALL HAVE BEEN STEPPED-UP AS NECESSARY TO PREVENT ROOT GIRDLING.
2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE THE ROOT FLARE OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.

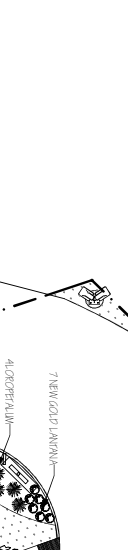
PART 3 - EXECUTION

1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT TO BE PROCESSED. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. CORRECT UNDESIRABLE CONDITIONS PRIOR TO PROCEEDING.
2. CARE IS TO BE TAKEN SO THAT NO PLANTS SET IN POTS IN THE SEASONS (NOT PREFERRED) PLANTINGS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
3. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
4. DIG HOLES WITH ROUGH SIDES AND WHICH HAVE PARALLEL WALLS. A MINIMUM OF 12" SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
5. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALLS WILL BE SET TO MEET THE SAME BEING TIGHT TO THE PREVIOUS EXISTING GRADE OF SOIL.
6. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
7. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH-FROM TRUNKS.
8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE REMOVED FROM THE SITE OR AS DIRECTED BY THE OWNER.
9. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
10. GRANTY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH.

END OF SECTION 02915

NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL, AND ALL PLANT PLACEMENT, FIELD ADJUSTMENTS OF PLANT LOCATIONS, TO BE COORDINATED WITH OWNER.
4. ALL LAMN AND NEW LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 1" GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.



END OF SECTION 02915

NOTES

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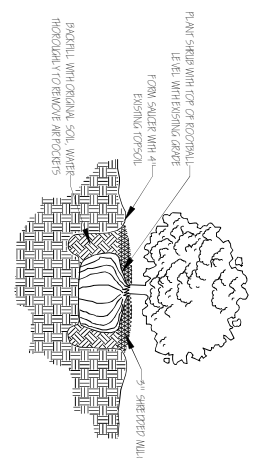
END OF SECTION 02915

NOTES

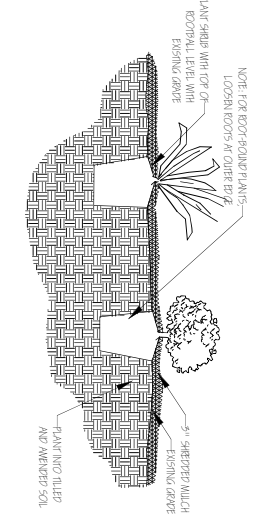
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL, AND ALL PLANT PLACEMENT, FIELD ADJUSTMENTS OF PLANT LOCATIONS, TO BE COORDINATED WITH OWNER.
4. ALL LAMN AND NEW LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 1" GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.



1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT TO BE PROCESSED. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. CORRECT UNDESIRABLE CONDITIONS PRIOR TO PROCEEDING.
2. CARE IS TO BE TAKEN SO THAT NO PLANTS SET IN POTS IN THE SEASONS (NOT PREFERRED) PLANTINGS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
3. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
4. DIG HOLES WITH ROUGH SIDES AND WHICH HAVE PARALLEL WALLS. A MINIMUM OF 12" SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
5. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALLS WILL BE SET TO MEET THE SAME BEING TIGHT TO THE PREVIOUS EXISTING GRADE OF SOIL.
6. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
7. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH-FROM TRUNKS.
8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE REMOVED FROM THE SITE OR AS DIRECTED BY THE OWNER.
9. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
10. GRANTY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH.

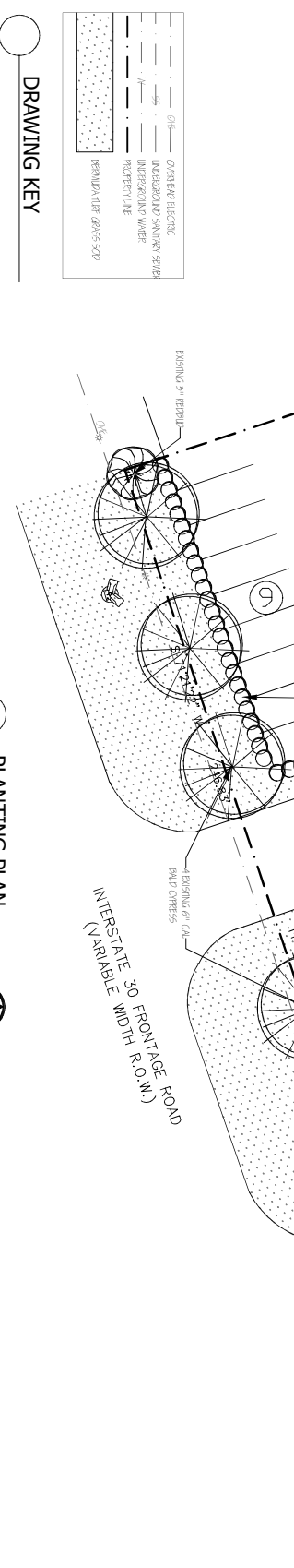


SHRUB & ORNAMENTAL GRASS PLANTING DETAIL
Scale: Not to scale



PERENNIAL PLANTING DETAIL
Scale: Not to scale

Common Name	Botanical Name	Shape	Height	Size	Qty	Remarks
Propagated plants						
Longestium (Chinese Edge Flower)	<i>Longestium chinensis</i>	Shrub	6' tall	5 gal	4	in pots
Red Wax Myrtle	<i>Myrica pensilvanica</i>	Shrub	6' tall	5 gal	5	in pots
Red Wax Myrtle	<i>Myrica pensilvanica</i>	Shrub	6' tall	5 gal	5	in pots
Lambert / New Gold Lambert	<i>Lambertia s. New Gold</i>	Perennial	No	1 gal	7	
Existing Plants						
Red Oak	<i>Quercus rubra</i>	Tree	6' tall	4"	2	
Red Oak	<i>Quercus rubra</i>	Tree	6' tall	4"	2	
Red Oak	<i>Quercus rubra</i>	Tree	6' tall	4"	2	
Cape Myrtle	<i>Laportea sp.</i>	Small tree	4' tall	2"	1	
Plant List						
Plant List						



PLANTING PLAN
Scale: 1" = 20'

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF ROCKWALL PLANNING & ZONING
385 S. GOLDEN ST.
ROCKWALL, TEXAS 75087
972.971.1100
TEXAS DEPARTMENT OF TRANSPORTATION AND REGULATION
600 NORTH GARDNER STREET
E.O. THOMPSON STATE OFFICE BUILDING
930 COLLECK ROAD
DALLAS, TEXAS 75201
(512) 463-2311
(512) 475-2861 (FAV)

Landscaping Requirements

CITY OF ROCKWALL TREE PRESERVATION LANDSCAPE ORDINANCE ARTICLE VII LANDSCAPE DESIGN STANDARDS
STREET LANDSCAPING (COT IN IT)
REQUIRED: 15%
PROVIDED: 10% WIDE
RESERVED: 10% WIDE
PROVIDED: 5 EXISTING TREES
PROVIDED: 5 EXISTING TREES
PARKING LOT
PROVIDED: EXISTING SHRUB ROW
REQUIRED: LANDSCAPING
GENERAL RETAIL
REQUIRED: 15%
PROVIDED: 15%

Irrigation Requirements

LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.
UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.
EXISTING IRRIGATION SYSTEM TO BE VERIFIED THAT THE EXISTING SYSTEM IS INSTALLED ACCORDING TO TCO LAWS AND REGULATIONS. THE SYSTEM SHALL INCLUDE A FERTILIZER INJECTOR.

Site Location



Owner & Professionals Information
OWNER:
GOLDEN CHICK RESTAURANT
1131 ROCKINGHAM DRIVE, SUITE 2525, ROCKWALL, TX 75080
ATTN: LARRY NELSON, 972-984-1779
ARCHITECT:
FELDMAN DESIGN STUDIOS
P.O. BOX 832, ROCKWALL, TX 75080
ATTN: CAROL FELDMAN, 972-232-4944
CMBOR: @FELDMANDESIGN.COM
ARCHITECT:
LEGG ARCHITECTURE, LLC
P.O. BOX 100, ROCKWALL, TX 75080
ATTN: MICHAEL LEGG, 972-232-4944
CMBOR: @FELDMANDESIGN.COM

LANDSCAPE PLANTING PLAN

FELDMAN DESIGN STUDIOS
P.O. Box 832-46, Richardson, Texas 75083
Office: 972.980-1730 Mobile: 972.523-4944
carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE:
1.	SUBMITTAL	1/16/20
2.		
3.		
4.		
5.		
6.		
7.		

These drawings have been prepared under the supervision of Carol Feldman, Registered Landscape Architect #2080, License #19509, L 020245

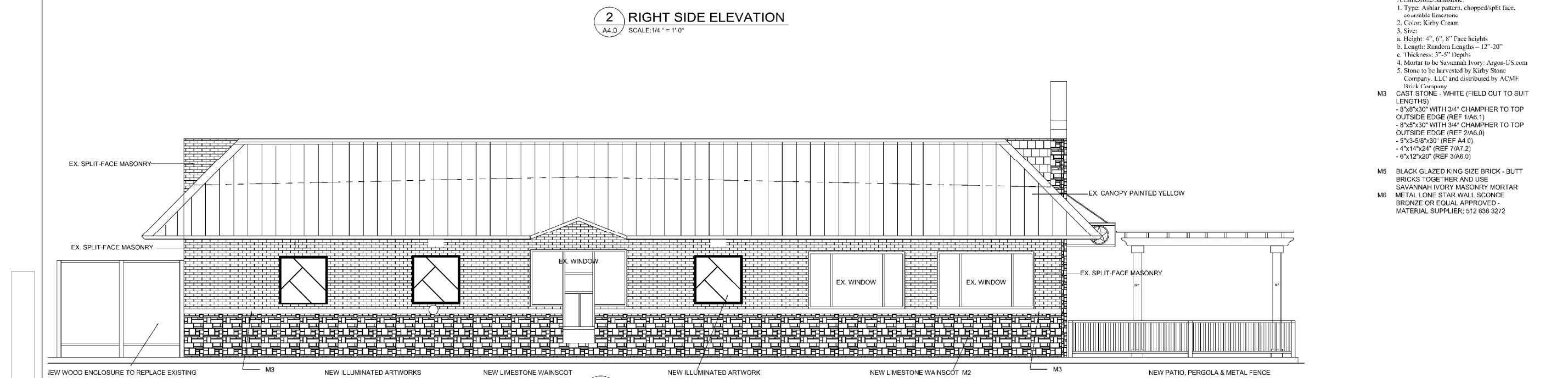
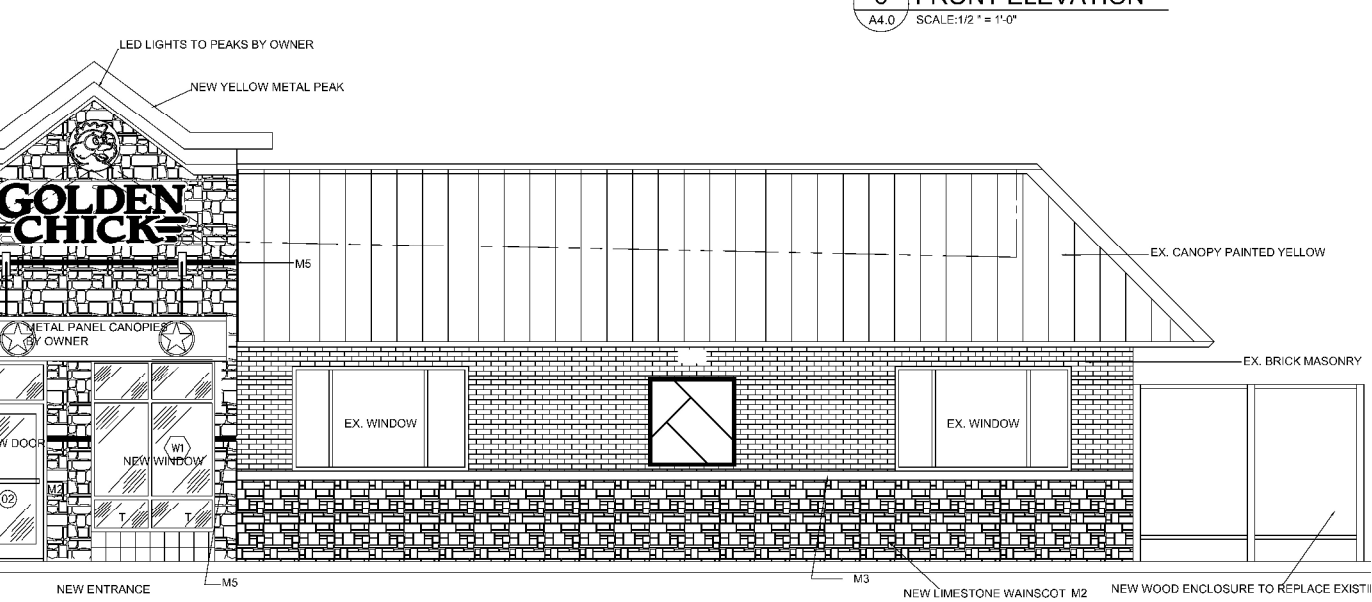
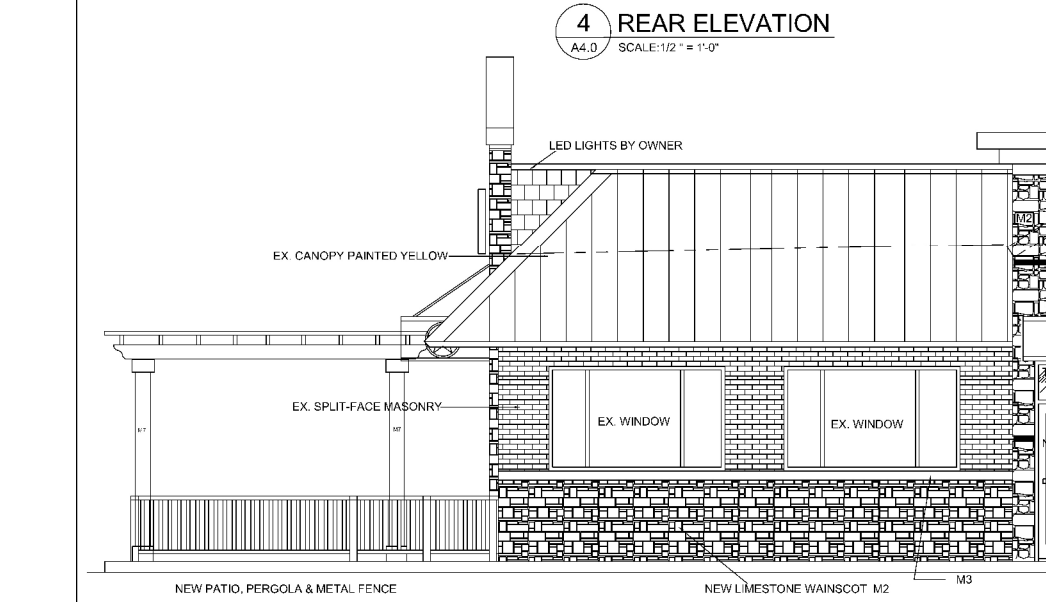
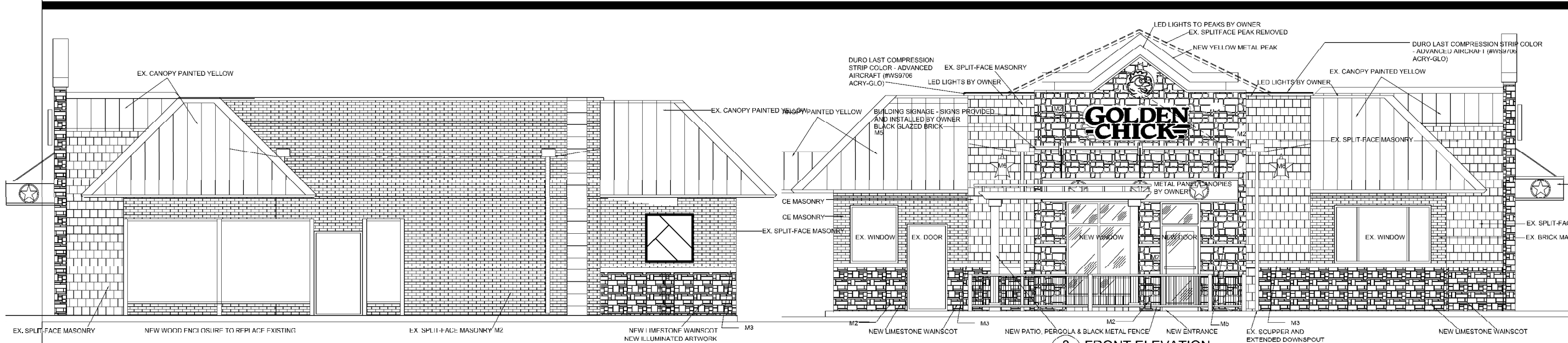
GOLDEN CHICK RESAURANT
726 INTERSTATE 30
ROCKWALL, TEXAS 75087

SHEET NO.
L1.01



12.19.19

DRAWING COORDINATION
Architectural, Landscape, Civil, Structural, Mechanical and Electrical drawings are interrelated. General Contractor and all Sub Contractors shall review and coordinate the entire set of drawings and specifications.



MATERIAL LEGEND

- CONTACT **ACME BRICK & FEATHERLITE** FOR M1, M2, M3, M4 & M5 MASONRY PRODUCTS BELOW:
CONTACT PERSON:
Tracie Martin
19121 College Gate Drive
San Antonio, TX 78249
210-296-7891 Cell
210-493-2612 Office
210-493-2628 Fax
- M1 12x12 BLACK GRANITE WALL TILE - IN702P PREMIUM BLACK (AMERICAN TILE SUPPLY - AN ACME COMPANY)
- M2 STONE:
A. Limestone/Sandstone:
1. Type: Ashlar pattern, chopped/split face, coarse/limestone
2. Color: Kirby Cream
3. Size:
a. Height: 4", 6", 8" Face heights
b. Length: Random Lengths - 12"-20"
c. Thickness: 3"-5" Depths
4. Mortar to be Savannah Ivory - Argos-US.com
5. Stone to be harvested by Kirby Stone Company, LLC and distributed by ACME Brick Company
- M3 CAST STONE - WHITE (FIELD CUT TO SUIT LENGTHS)
- 8"x8"x30" WITH 3/4" CHAMFER TO TOP OUTSIDE EDGE (REF 1/A6.1)
- 8"x5"x30" WITH 3/4" CHAMFER TO TOP OUTSIDE EDGE (REF 2/A6.0)
- 5"x3-5/8"x30" (REF A4.0)
- 4"x14"x24" (REF 7/A7.2)
- 6"x12"x20" (REF 3/A6.0)
- M5 BLACK GLAZED KING SIZE BRICK - BUTT BRICKS TOGETHER AND USE SAVANNAH IVORY MASONRY MORTAR
- M6 METAL LONE STAR WALL SCONCE BRONZE OR EQUAL APPROVED - MATERIAL SUPPLIER: 512 636 3272

EXTERIOR ELEVATIONS

**GOLDEN CHICK RESTAURANT
726 I-30 FRONTAGE ROAD
ROCKWALL TEXAS**

REV #	DESCRIPTION	DATE
REV 1		

SCALE:
AS NOTED

PROJECT NO.
11-11-19

SHEET NO.
A4.0

0 100 200 300 400 500 Feet

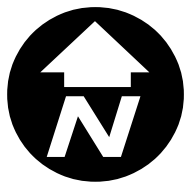
SP2020-001- GOLDEN CHICK
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DRAWING COORDINATION
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ARCHITECTURAL SITE PLAN
GOLDEN CHICK RESTAURANT
726 I-30 FRONTAGE ROAD
ROCKWALL TEXAS

REV #	DESCRIPTION	DATE

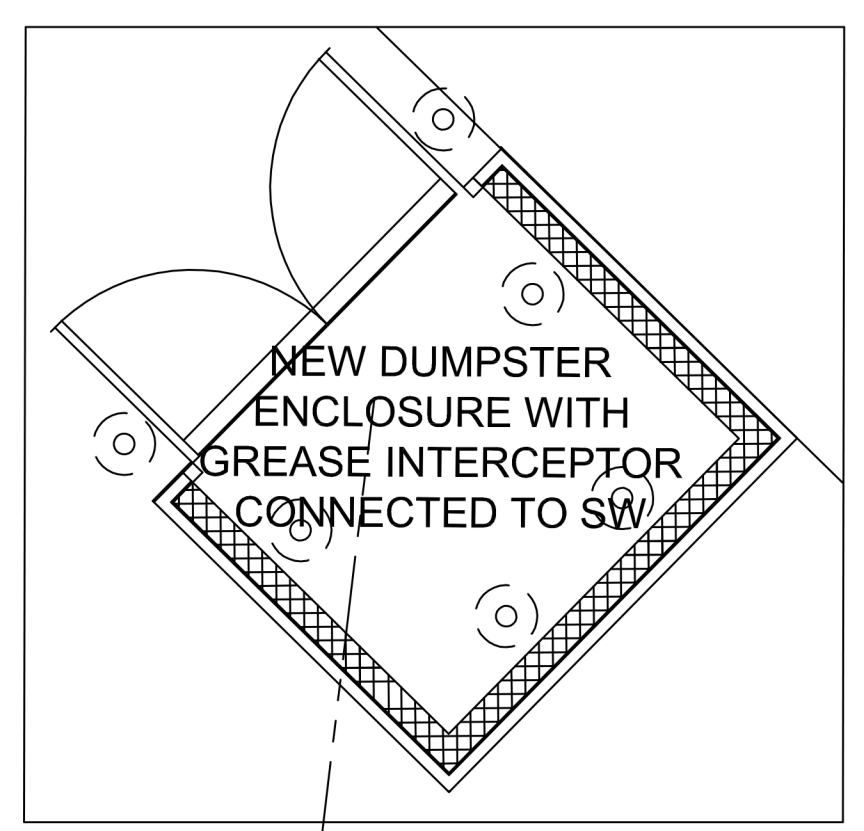
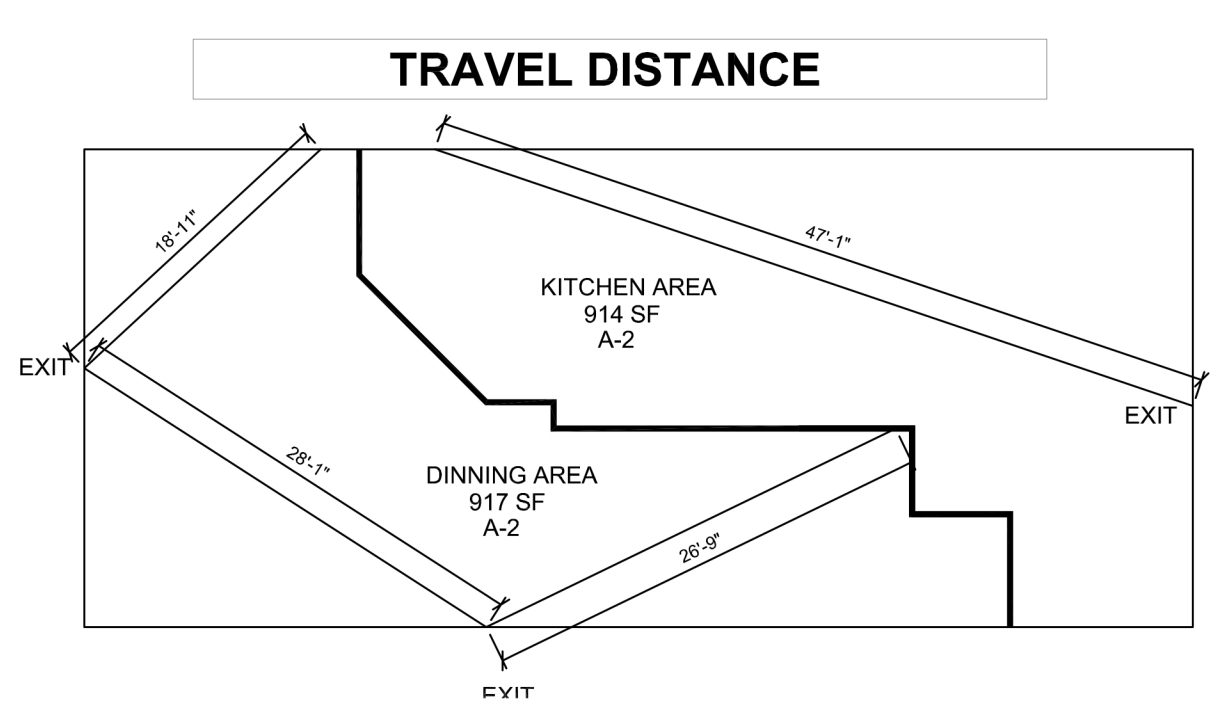
SCALE:
AS NOTED

PROJECT NO.
11-11-19

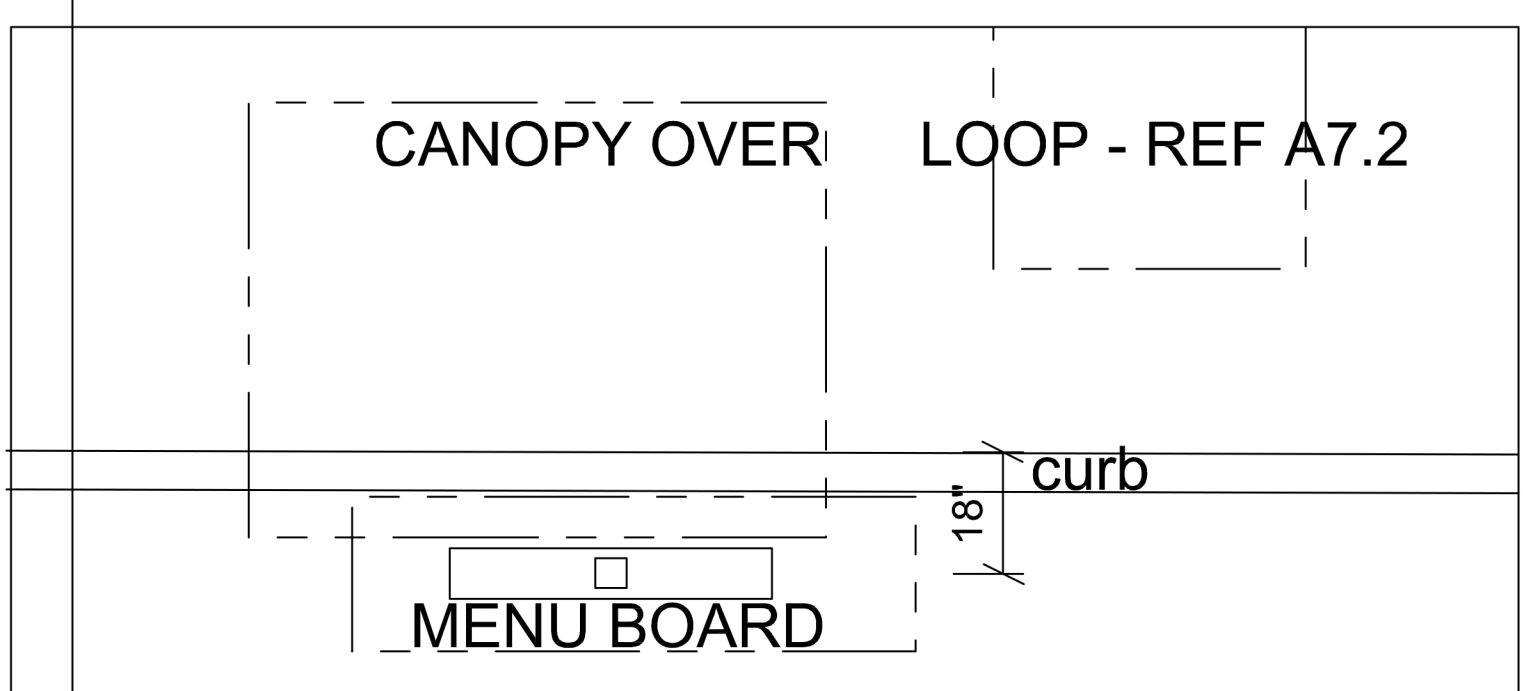
SHEET NO.
A1.0

CODE INFORMATION

1.0 APPLICABLE CODES		2015 INTERNATIONAL BUILDING CODE (IBC)						
BUILDING CODE		2015 INTERNATIONAL FIRE CODE (IFC)						
FIRE CODE		2015 NATIONAL ELECTRICAL CODE (NEC)						
ELECTRICAL CODE		2015 INTERNATIONAL MECHANICAL CODE (IMC)						
MECHANICAL CODE		2015 INTERNATIONAL PLUMBING CODE (IPC)						
PLUMBING CODE		2015 INTERNATIONAL FUEL GAS CODE (IFGC)						
FUEL GAS CODE		2015 INTERNATIONAL ENERGY CONSERVATION CODE (IEC)						
ENERGY CODE		2012						
LIFE SAFETY CODE		TAS 2012						
ACCESSIBILITY CODE								
2.0 OCCUPANCY OF USE GROUP CLASSIFICATION								
GOLDEN CHICK	DINNING	A-2	1153 SQ. FT.	92 people				
4194 SQ. FT.	KITCHEN	A-2	927 SQ. FT.	7 people				
3.0 TYPE OF CONSTRUCTION / ALLOWABLE BUILDING HEIGHT AND AREA								
ASSEMBLY	TYPE V-B	ALLOWABLE - 6,000 SF PER STORY, 1-STORY LIMIT		SOURCE: IBC - TABLE 503				
4.0 FIRE RESISTANCE REQUIREMENTS								
BASED ON TYPE V-B CONSTRUCTION		BUILDING ELEMENTS:	1	STRUCTURAL FRAME	0 HOUR(S)	SOURCE: IBC - TABLE 603		
(LIST ANY SPECIFIC REQUIREMENTS HERE)			2	BEARING WALLS	0 HOUR(S)	SOURCE: IBC - TABLE 601		
				EXTERIOR	0 HOUR(S)	SOURCE: IBC - TABLE 601		
				INTERIOR	0 HOUR(S)	SOURCE: IBC - TABLE 601		
			3	BEARING INT. PARTITIONS	0 HOUR(S)	SOURCE: IBC - TABLE 601		
			4	FLOOR CONSTRUCTION	0 HOUR(S)	SOURCE: IBC - TABLE 601		
			5	ROOF CONSTRUCTION	0 HOUR(S)	SOURCE: IBC - TABLE 601		
		RATINGS FOR EXTERIOR WALLS:			0 HOUR(S)	SOURCE: IBC - TABLE 602		
5.0 FIRE PROTECTION								
ASSEMBLY		AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED. (LESS THAN 5,000 SF)	NO	SOURCE: IBC - 903				
FIRE SUPPRESSION	ASSEMBLY		EXEMPT	SOURCE: IBC - 412.2.6				
6.0 OCCUPANT LOAD								
BASED ON TYPE V-B CONSTRUCTION		OCCUPANT LOAD FACTOR - FOR EXITING CALCULATIONS	A-2	AREA OF OCCUPANCY	FLOOR AREA IN SF PER OCCUPANT	OCCUPANT LOAD	DESIGN OCCUPANT LOAD	SOURCE: IBC - 1004, TABLE 1004.1.1
				DINNING	1380/15	92 OCCUPANTS	92 OCCUPANTS	
		NOTE: FOR AN EXPLANATION OF DESIGN OCCUPANT LOADS REFER TO LIFE SAFETY PLANS A.C.201L, A.S.202L1, AND A.S.202L2.						
7.0 EGRESS WIDTH REQUIRED								
DINNING	92 OCCUPANTS	REQUIRED	92 x 2 = 184 INCHES	SOURCE: IBC TABLE 1005.1				
SIZE OF DOOR REQUIREMENTS		MINIMUM DOOR SIZE	36-INCH DOOR (32-INCH CLEAR OPENING WIDTH)	SOURCE: IBC - 1008				
		ALL DOORS MUST MEET THE REQUIREMENTS PROVIDED IN IBC CHAPTER 10, SPECIFICALLY SECTIONS 1008, 1014, AND 101.						
CORRIDOR REQUIREMENTS		MINIMUM CORRIDOR WIDTH	44 INCHES	SOURCE: IBC - 1017				
		FIRE-RESISTANCE RATING	0	SOURCE: IBC - 1017.2				
		ALL CORRIDORS MUST MEET THE REQUIREMENTS PROVIDED IN IBC CHAPTER 10, SPECIFICALLY SECTION 1017.						
EXIT ACCESS TRAVEL DISTANCE REQUIREMENTS								
DINNING	OCCUPANCY (A-2) WITHOUT SPRINKLER SYSTEM	MAX TRAVEL DISTANCE	200 FT.	TRAVEL DISTANCE PROVIDED	SOURCE: IBC - TABLE 1016.1			
KITCHEN	OCCUPANCY (A-2) WITHOUT SPRINKLER SYSTEM	200 FT.			SOURCE: IBC - TABLE 1016.1			



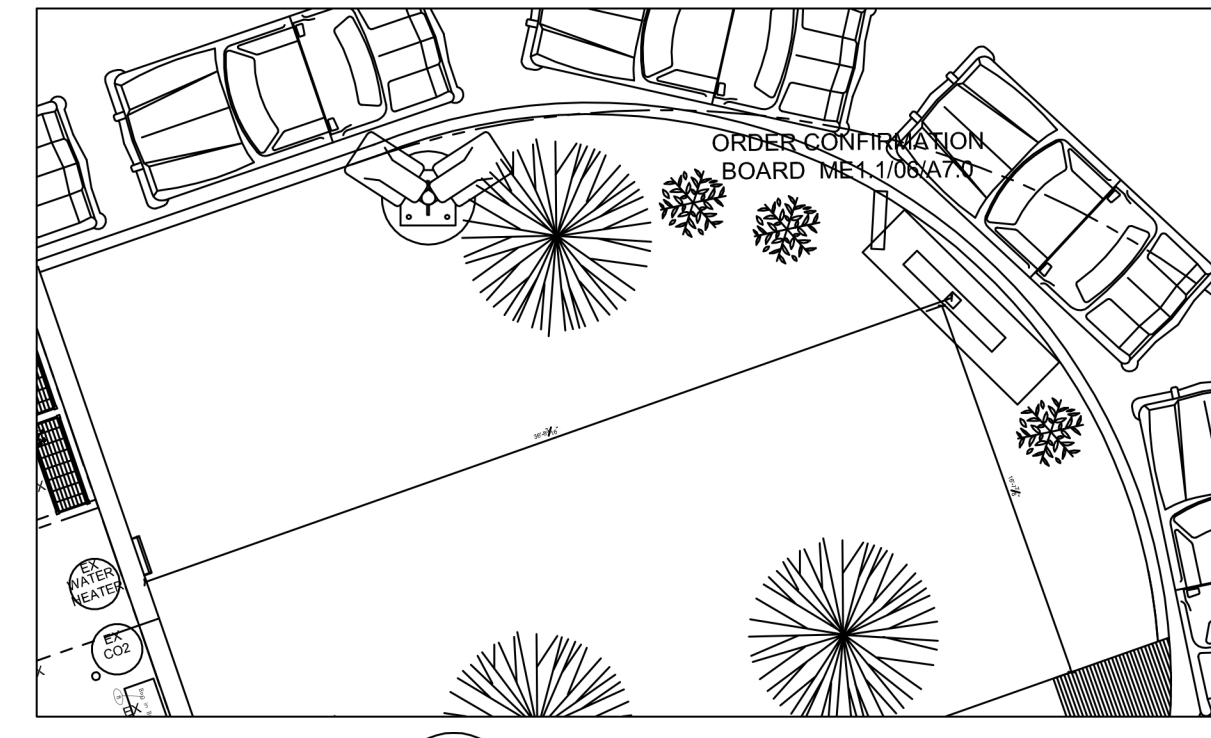
6 DUMPSTER ENCLOSURE
 A1.0 SCALE: NTS



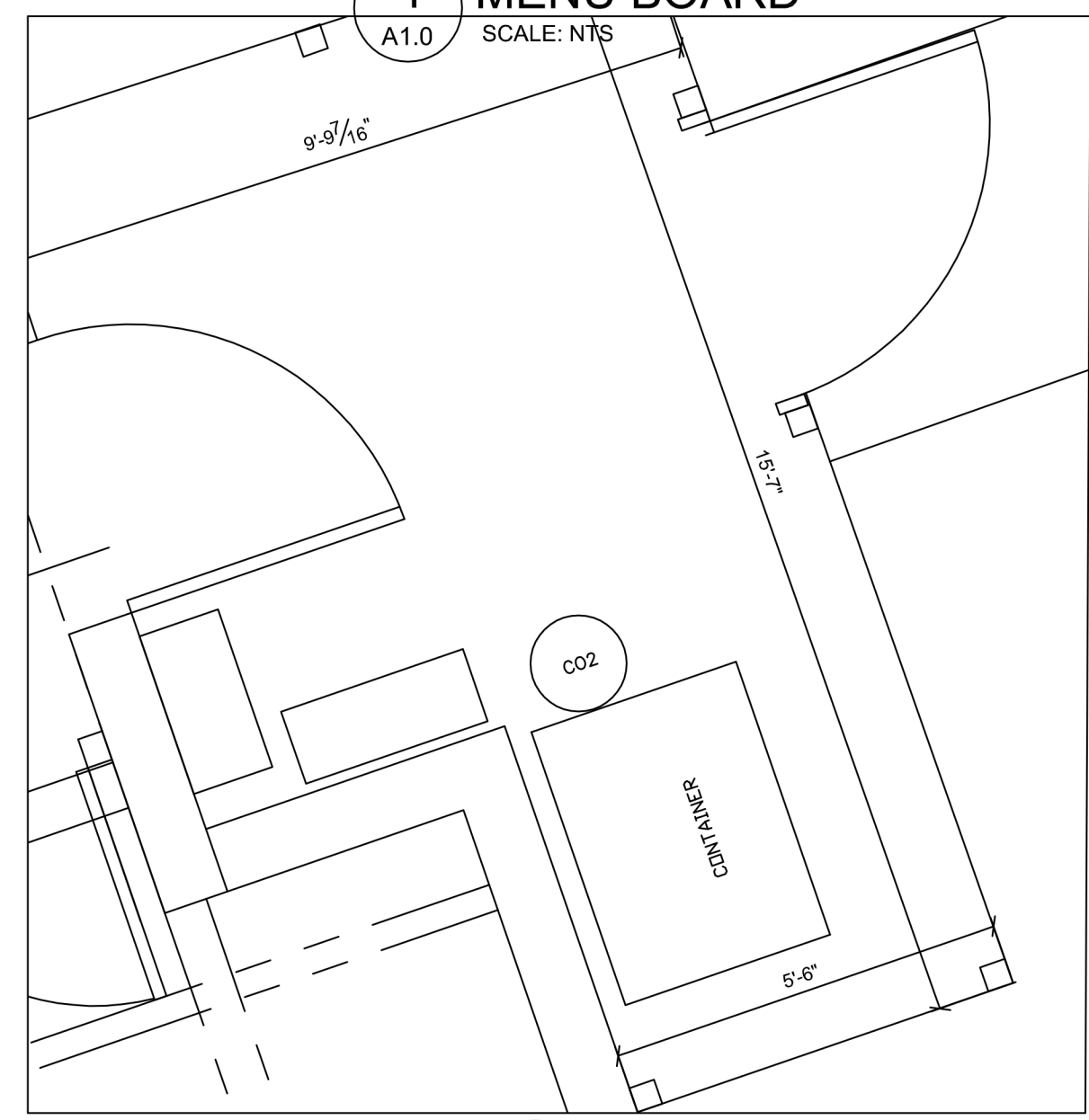
5 MENU BOARD & ORDER REVIEW BOARD LAYOUT
 A1.0 SCALE: NTS



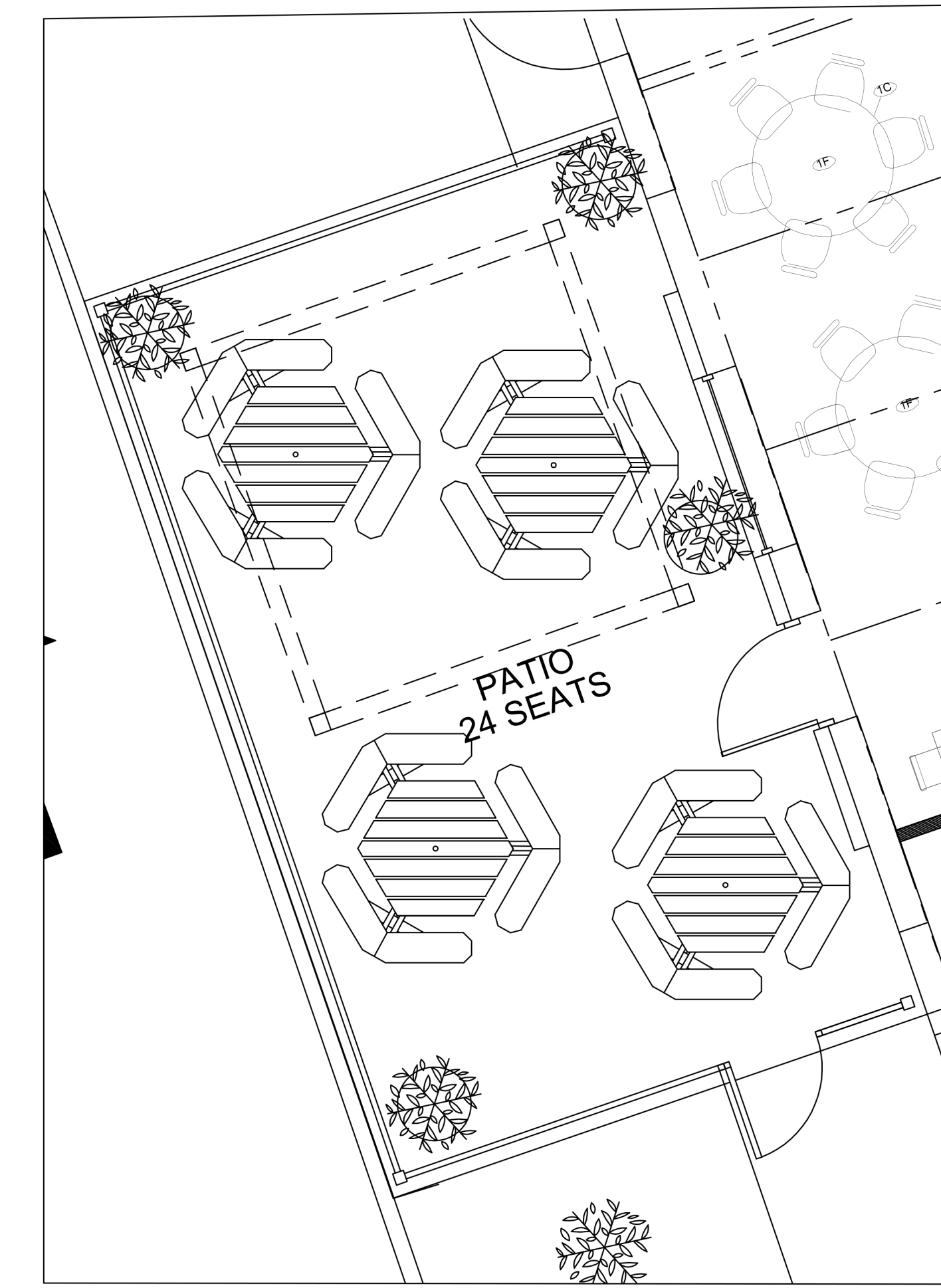
1 ARCHITECTURAL SITE PLAN
 A1.0 SCALE: NTS



4 MENU BOARD
 A1.0 SCALE: NTS



3 REAR YARD
 A1.0 SCALE: NTS



2 FRONT PATIO
 A1.0 SCALE: NTS

SECTION 02910 – SOIL PREPARATION

- PART 1 – GENERAL
- A. DESCRIPTION
1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
- B. EXAMINATION
1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
 2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED REPARATION WORK.
- C. APPROVALS
1. ALL 'APPROVED EQUAL' MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- PART 2 – PRODUCTS
- A. MATERIALS
1. COMPOST:
 - 1.1. COTTON BUR COMPOST
 - 1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX, OR CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
 2. FERTILIZERS AND SUPPLEMENTS:
 - 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
 3. MULCH
 - 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.

- PART 3 – EXECUTION
- A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
1. GENERAL
 - 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
 - 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
 - 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
 2. SHRUB BEDS
 - 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
 - 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
 - 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
 - 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
 - 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
 3. SOD AND SEED AREAS
 - 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
 - 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
 - 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

END OF SECTION 02910

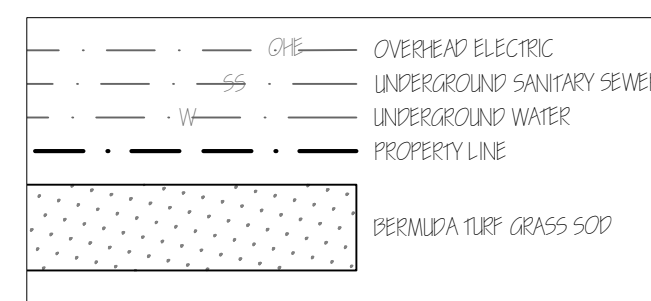
- NOTES
GENERAL LANDSCAPE
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
 2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
 3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
 4. ALL LAWN AND NEW LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

SECTION 02915 – LANDSCAPE PLANTING

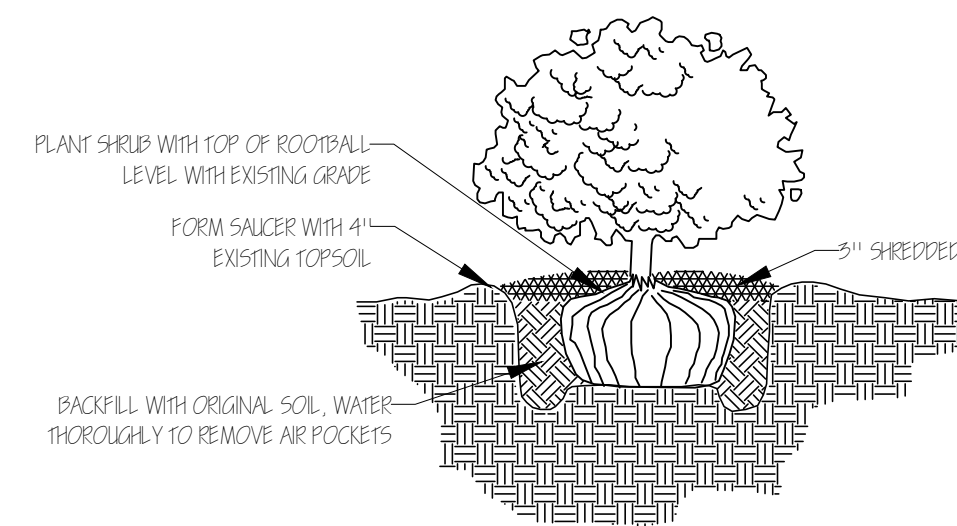
- PART 1 – GENERAL
- A. SPECIAL CONDITIONS
1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
 2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
 3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
 4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
- B. REFERENCE STANDARDS
1. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 2014 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
 2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
 3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.
- C. PREPARATION
4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
 5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
 6. COORDINATION WITH IRRIGATION SYSTEM:
 - 6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
 - 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
 - 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.
- D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES.
1. CONTAINER GROWN PLANTS SHALL HAVE BEEN STEPPED-UP AS NECESSARY TO PREVENT ROOT GIRDLING.
 2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
 3. THE 'ROOT FLARE' OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.
- E. WARRANTY
5. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHER WISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
 6. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL FOR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

- PART 3 – EXECUTION
- A. PREPARATION FOR PLANT MATERIAL INSTALLATION
1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
- B. TIME OF PLANTING
1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
- C. TREE PLANTING
1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
 2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
 3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
 4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
 5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
 6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
 7. COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH, EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
 8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING.
- D. SHRUB & PERENNIAL PLANTING
1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
 2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE POT-BOUND PRIOR TO INSTALLATION.
 3. COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH.

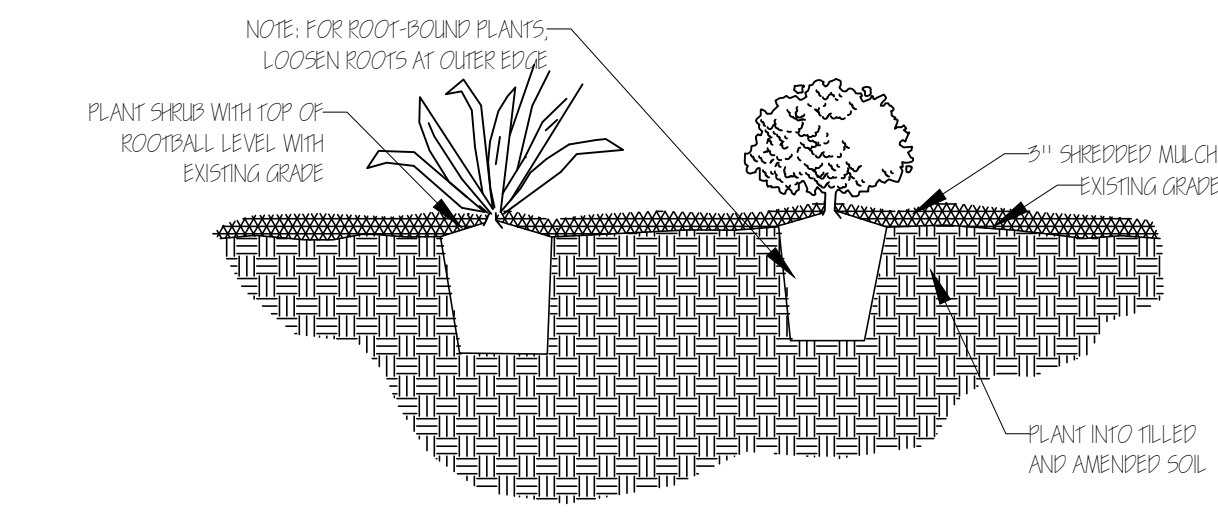
END OF SECTION 02915



DRAWING KEY



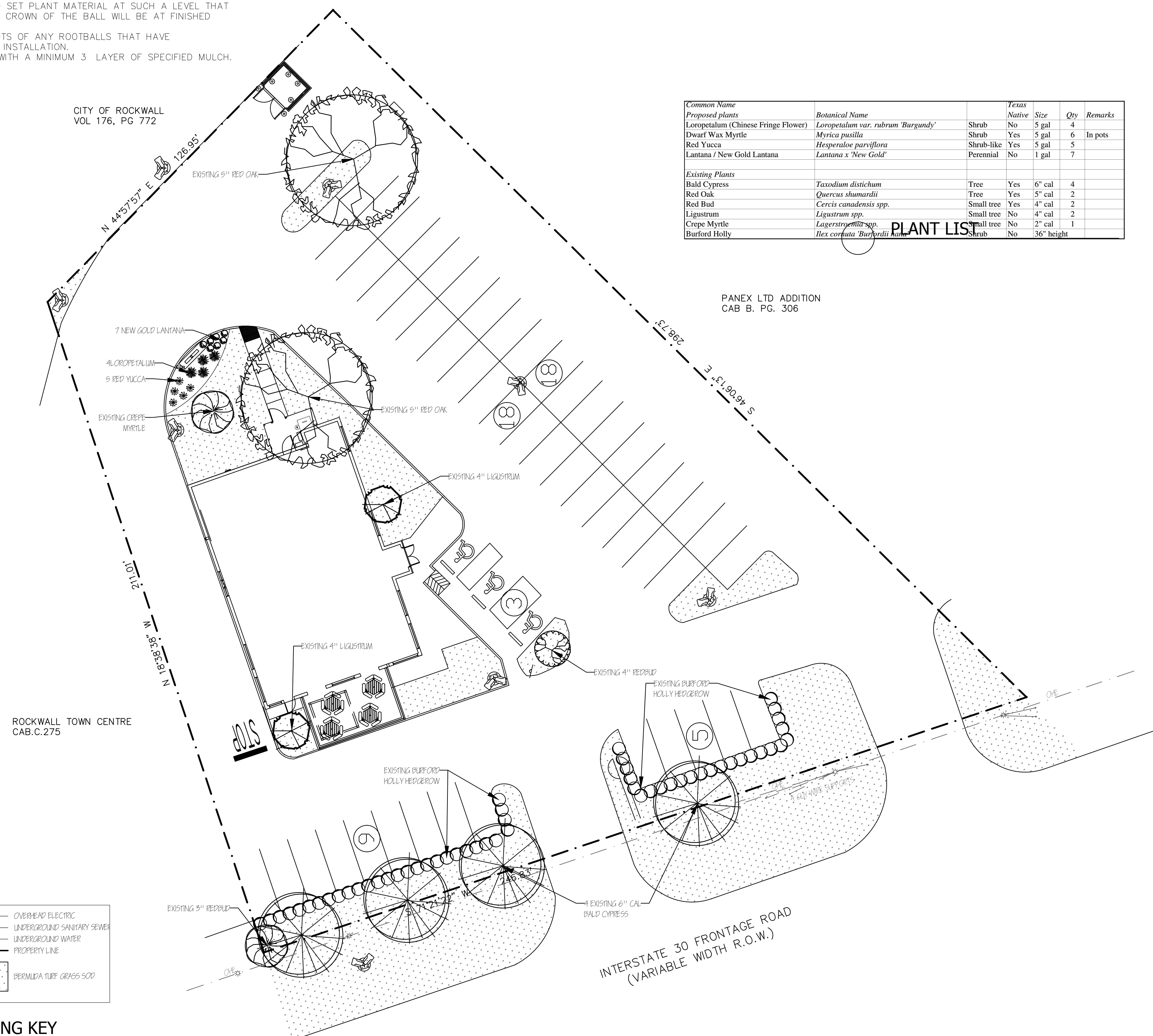
SHRUB & ORNAMENTAL GRASS PLANTING DETAIL



PERENNIAL PLANTING DETAIL

Common Name	Botanical Name	Texas Native	Size	Qty	Remarks
Proposed plants					
Loropetalum (Chinese Fringe Flower)	<i>Loropetalum var. rubrum 'Burgundy'</i>	Shrub	No	5 gal	4
Dwarf Wax Myrtle	<i>Myrica pauciflora</i>	Shrub	Yes	5 gal	6 In pots
Red Yucca	<i>Hesperaloe parviflora</i>	Shrub-like	Yes	5 gal	5
Lantana / New Gold Lantana	<i>Lantana x 'New Gold'</i>	Perennial	No	1 gal	7
Existing Plants					
Bald Cypress	<i>Taxodium distichum</i>	Tree	Yes	6" cal	4
Red Oak	<i>Quercus shumardii</i>	Tree	Yes	5" cal	2
Red Bud	<i>Cercis canadensis spp.</i>	Small tree	Yes	4" cal	2
Ligustrum	<i>Ligustrum spp.</i>	Small tree	No	4" cal	2
Crape Myrtle	<i>Lagerströmia spp.</i>	Small tree	No	2" cal	1
Burford Holly	<i>Ilex coriaria 'Burfordii' name</i>	Shrub	No	36" height	

PLANT LIST



PLANTING PLAN

Scale: 1" = 20'

Jurisdiction of Project

REGULATORY AUTHORITIES:
CITY OF ROCKWALL PLANNING & ZONING
385 S. GOLIAD ST.
ROCKWALL, TEXAS 75087
972.771.7745

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-3211
(512) 475-2886 (FAX)

Landscaping Requirements

CITY OF ROCKWALL TREE PRESERVATION LANDSCAPE ORDINANCE
ARTICLE VIII LANDSCAPE STANDARDS

STREET LANDSCAPING (247 LIN FT)
BUFFER STRIP ALONG PUBLIC STREET
REQUIRED: 10' WIDE
PROVIDED: 10' WIDE
TREES - ONE LARGE TREE PER 50 LIN FT
REQUIRED: 5 LARGE TREES
PROVIDED: 5 EXISTING TREES

PARKING LOT
A. PLANTING SCREEN FOR PARKING HEADLIGHTS
PROVIDED: EXISTING SHRUB ROW

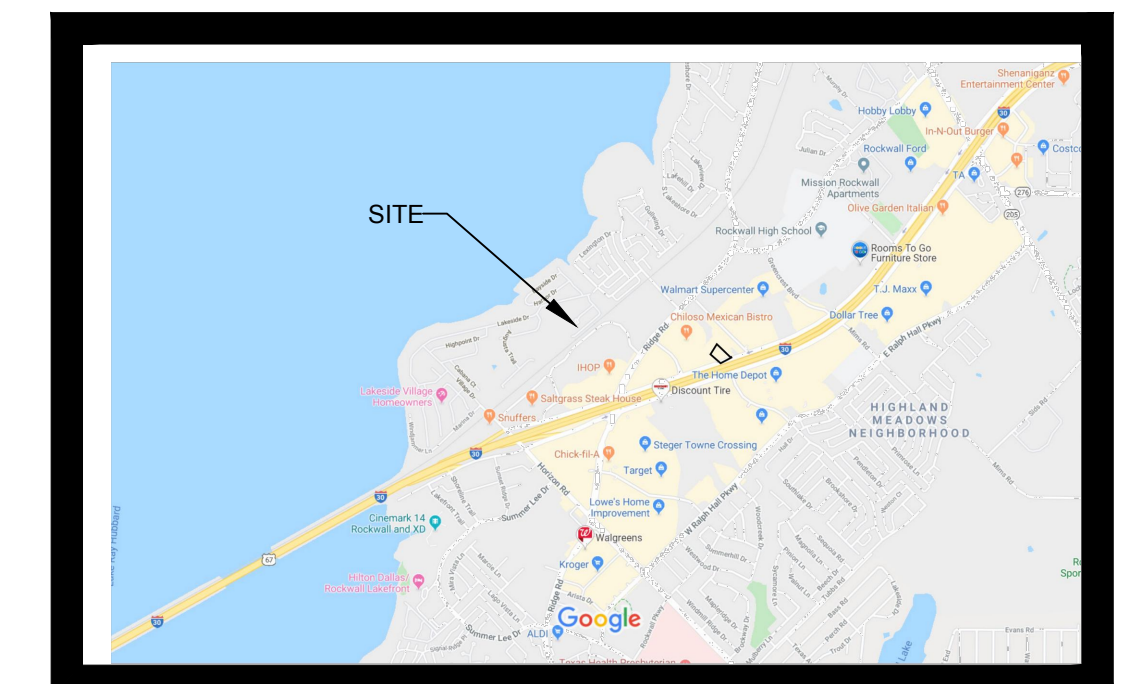
REQUIRED LANDSCAPING
GENERAL RETAIL
REQUIRED: 15%
PROVIDED: 15%

LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED
EXISTING IRRIGATION SYSTEM, TO BE VERIFIED THAT THE EXISTING SYSTEM IS INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Site Location



Owner & Professionals Information

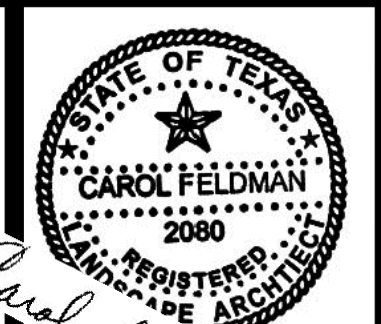
OWNER
GOLDEN CHICK
1131 ROCKINGHAM DR. SUITE 250, RICHARDSON, TX 75080
ATTN: LARRY NELSON, 512-568-1779

ARCHITECT
LEGG ARCHITECTURE, LLC
26116 HIGH TIMBER PASS
SAN ANTONIO, TX. 78260
ATTN: MICHAEL LEGG, AIA, 210-416-4935

LANDSCAPE ARCHITECT
FELDMAN DESIGN STUDIOS
P.O. BOX 832346, RICHARDSON, TEXAS 75083
ATTN: CAROL FELDMAN, 972-523-4944
CAROL@FELDMANDESIGN.COM

FELDMAN DESIGN STUDIOS
P.O. Box 832346 Richardson, Texas 75083
Office: 972.980.1750 Mobile: 972.925.4944
carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE
1.	SUBMITTAL	1/16/20
2.		
3.		
4.		
5.		
6.		
7.		

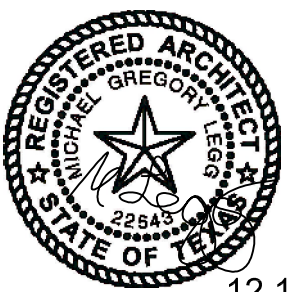


These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

GOLDEN CHICK RESAURANT
726 INTERSTATE 30
ROCKWALL, TEXAS 75087

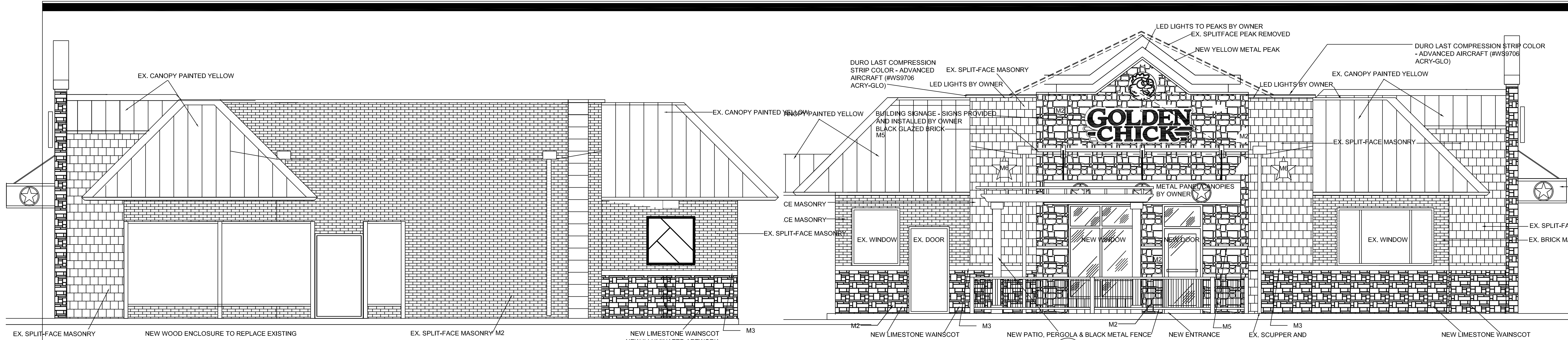
SHEET NO.
L1.01

LANDSCAPE PLANTING PLAN



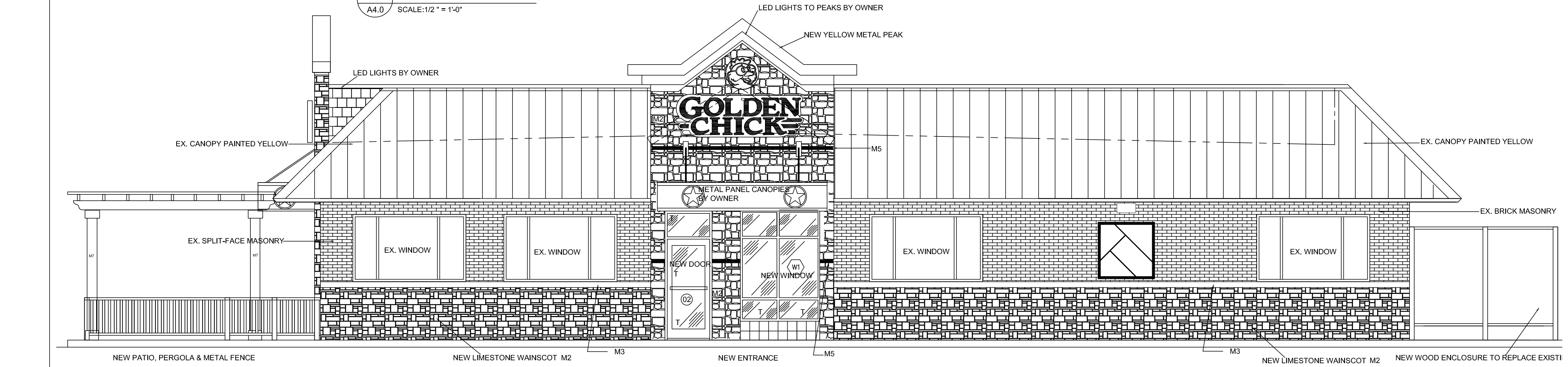
12.19.19

DRAWING COORDINATION
 Architectural, Landscape, Civil, Structural, Mechanical and Electrical drawings are interrelated. General Contractor and all Sub Contractors shall review and coordinate the entire set of drawings and specifications.

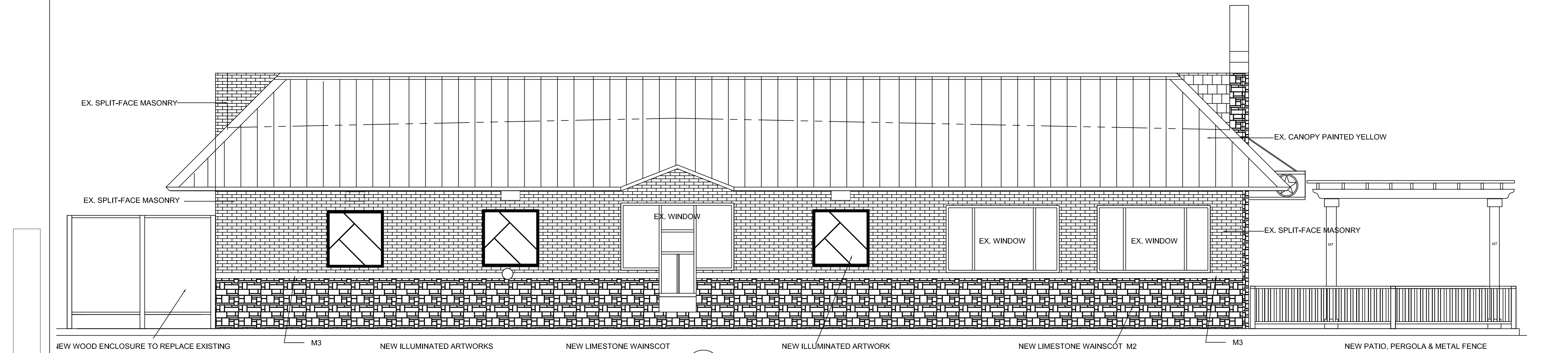


3 FRONT ELEVATION
 A4.0 SCALE: 1/2" = 1'-0"

4 REAR ELEVATION
 A4.0 SCALE: 1/2" = 1'-0"



2 RIGHT SIDE ELEVATION
 A4.0 SCALE: 1/4" = 1'-0"



1 LEFT SIDE ELEVATION
 A4.0 SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- CONTACT **ACME BRICK & FEATHERLITE** FOR M1, M2, M3, M4 & M5 MASONRY PRODUCTS BELOW:
 CONTACT PERSON:
 Tracie Martin
 16121 College Oak Drive
 San Antonio, TX 78249
 210-296-7891 Cell
 210-493-2612 Office
 210-493-2929 Fax
- M1 12x12 BLACK GRANITE WALL TILE - IN702P PREMIUM BLACK (AMERICAN TILE SUPPLY - AN ACME COMPANY)
 - M2 STONE
 A. Limestone/Sandstone:
 1. Type: Ashlar pattern, chopped/split face, coursed limestone
 2. Color: Kirby Cream
 3. Size:
 a. Height: 4", 6", 8" Face heights
 b. Length: Random Lengths - 12"-20"
 c. Thickness: 3"-5" Depths
 4. Mortar to be Savannah Ivory; Argos-US.com
 5. Stone to be harvested by Kirby Stone Company, LLC and distributed by ACME Brick Company.
 - M3 CAST STONE - WHITE (FIELD CUT TO SUIT LENGTHS)
 - 8"x8"x30" WITH 3/4" CHAMPHER TO TOP OUTSIDE EDGE (REF 1/A6.1)
 - 8"x5"x30" WITH 3/4" CHAMPHER TO TOP OUTSIDE EDGE (REF 2/A6.0)
 - 5"x3-5/8"x30" (REF 4/A.0)
 - 4"x14"x24" (REF 7/A7.2)
 - 6"x12"x20" (REF 3/A6.0)
 - M5 BLACK GLAZED KING SIZE BRICK - BUTT BRICKS TOGETHER AND USE SAVANNAH IVORY MASONRY MORTAR
 - M6 METAL LONE STAR WALL SCORCE BRONZE OR EQUAL APPROVED - MATERIAL SUPPLIER: 512 636 3272

EXTERIOR ELEVATIONS
GOLDEN CHICK RESTAURANT
726 I-30 FRONTAGE ROAD
ROCKWALL TEXAS

REV #	DESCRIPTION	DATE
REV 1		

SCALE:
 AS NOTED

PROJECT NO.
 11-11-19

SHEET NO.
 A4.0



**GOLDEN
CHICK**

**GOLDEN
CHICK**

FIRE LANE
NO PARKING