



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # P2020-048 P&Z DATE 12/8/20 CC DATE 12/21/20 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input checked="" type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 72020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹ CONVEYANCE PLAT
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S. Hwy 205

Subdivision Dalton Goliad Addition Lot 2 Block A

General Location northwest corner of Dalton Road and S.H. 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GR w/N SH 205 Overlay Current Use vacant/detention pond

Proposed Zoning Same Proposed Use commercial/retail uses

Acreage 5.683 Lots [Current] 1 Lots [Proposed] 4

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Rockwall 205-552, LLC

Applicant Vasquez Engineering, LLC

Contact Person Donald L. Silverman

Contact Person Juan J. Vasquez

Address 4622 Maple Ave.
Suite 200

Address 1919 S. Shiloh Road
Suite 440

City, State & Zip Dallas, TX 75219

City, State & Zip Garland, TX 75042

Phone 214-393-3983

Phone 972-278-2948

E-Mail jholman@voyagerinvestments.com

E-Mail jvasquez@vasquezengineering.com

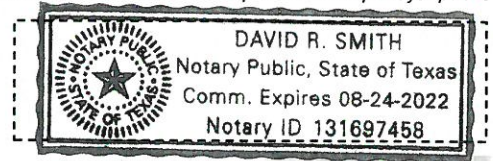
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Juan J. Vasquez [Applicant] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 413.66, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of November, 20 20.

Juan J. Vasquez
Applicant
Owner's Signature
David R. Smith
Notary Public in and for the State of Texas



My Commission Expires 08/24/2022



CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

Case Type:

- Minor/Amending Plat
 Final Plat *conveyance*
 Master Plat
 Replat
 Preliminary Plat
 Vacation Plat

Case Number
Reviewed By:
Review Date:

NOTES: The requirements listed below are based on the case type, which is indicated in the '[]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓ = OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") folded copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.

City Limits <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.
Property Lines <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat & Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat & Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat & Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.

Dedication Language <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proved the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.
Compliance with Preliminary Plat <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.



RockwallPLL

Receipt#: 2370

Date: 11/13/2020

City of Rockwall
The New Horizon

Payment Receipt

Invoice #	Case Type	Case Number	Sub Type
	PZPLATAPP	P2020-048	PZREPLAT

Tender Type / Description	Amount
CHECK- CHECK	413.66
Sub Total:	413.66

Fees:

Fee Codes / Description	Amount
PZREPLAT- PZ - Replat App Fee	413.66
Sub Total:	413.66

Total Amount Due:	413.66
Total Payment:	413.66

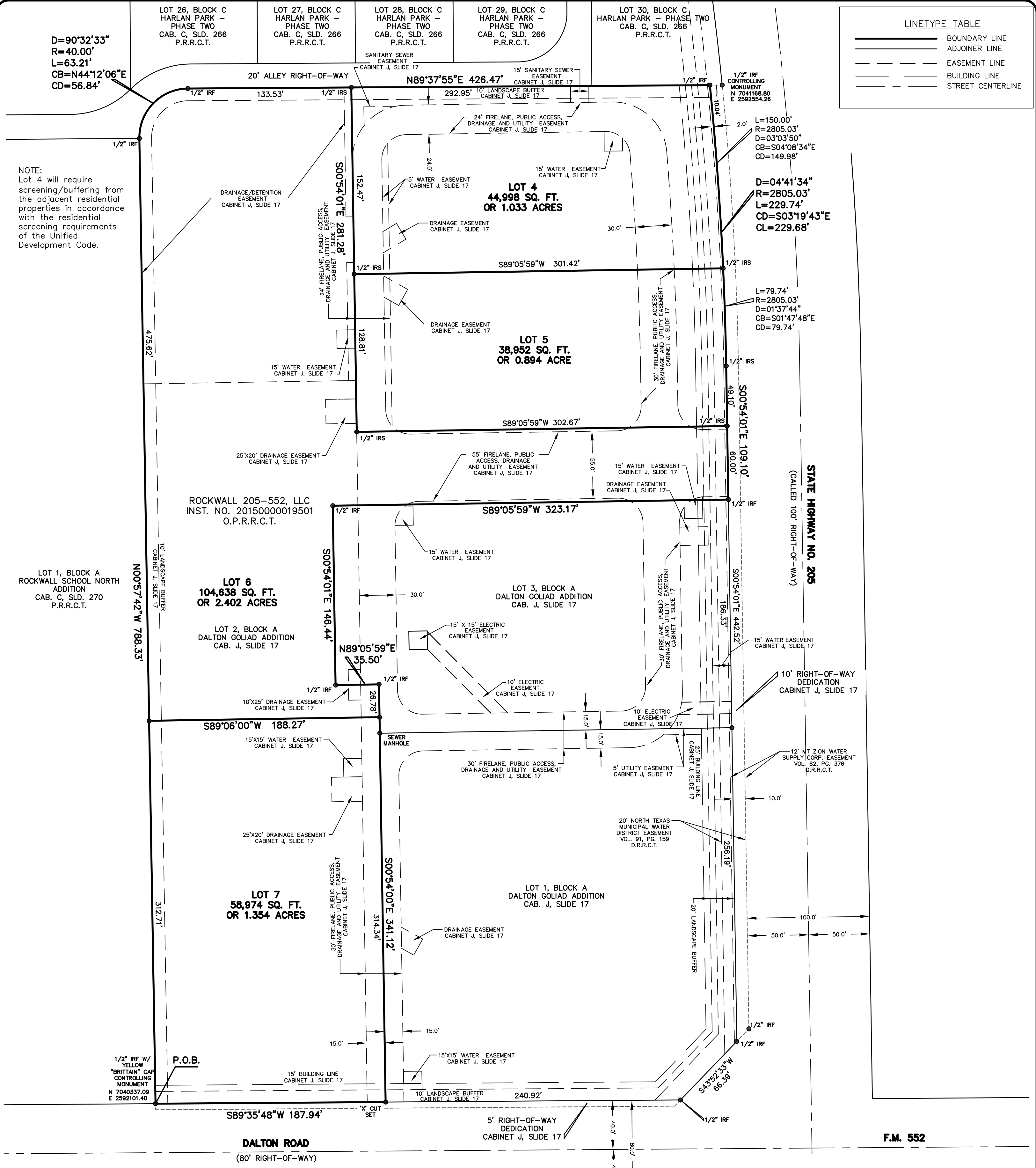
LOT 26, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 27, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 28, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 29, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 30, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.

LINETYPE TABLE

	BOUNDARY LINE
	ADJOINER LINE
	EASEMENT LINE
	BUILDING LINE
	STREET CENTERLINE

D=90°32'33"
 R=40.00'
 L=63.21'
 CB=N44°12'06"E
 CD=56.84'

NOTE:
 Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.



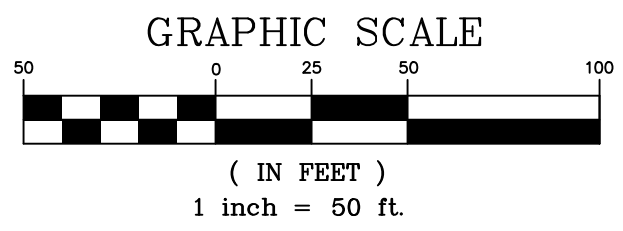
STATE HIGHWAY NO. 205
 (CALLED 100' RIGHT-OF-WAY)

10' RIGHT-OF-WAY DEDICATION
 CABINET J, SLIDE 17

12' MT ZION WATER SUPPLY (CORP. EASEMENT VOL. 82, PG. 376 P.R.R.C.T.)

20' NORTH TEXAS MUNICIPAL WATER DISTRICT EASEMENT VOL. 91, PG. 159 D.R.R.C.T.

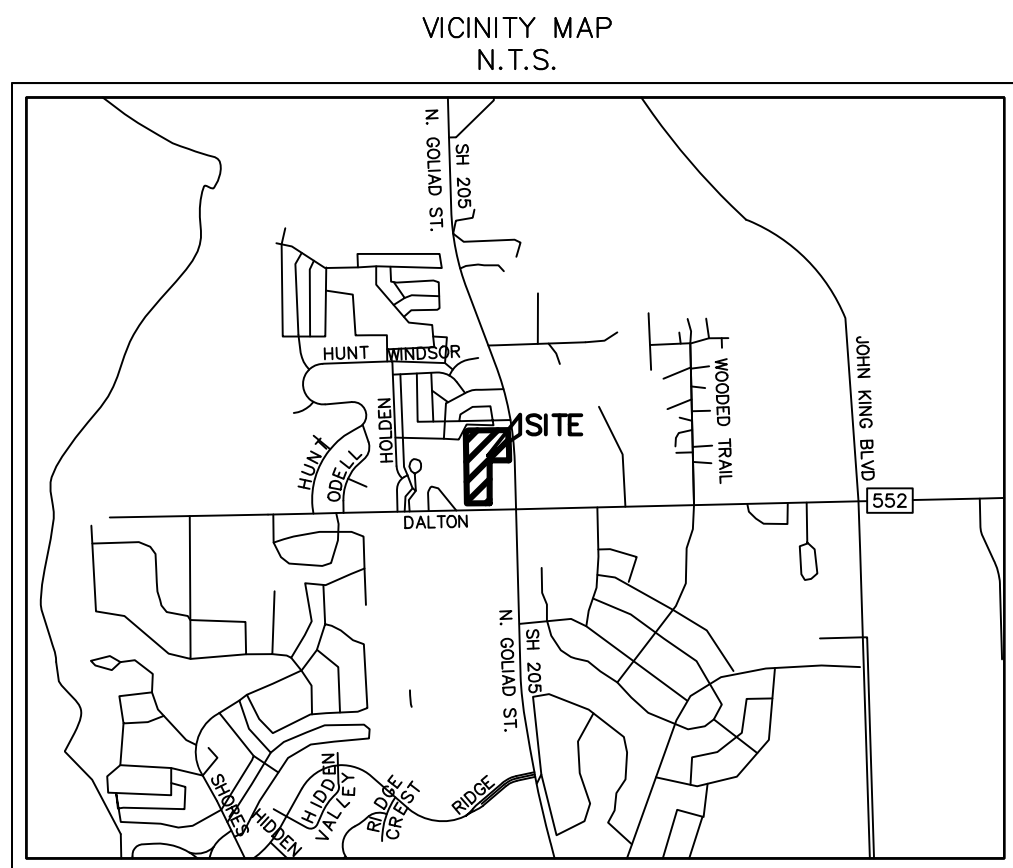
FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
 DALTON GOLIAD ADDITION
 LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CASE NO. _____

JOB NO.:	15-1216	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET 1 OF 2
DATE:	10/21/2020		
SCALE:	1" = 50'	 COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE Member Since 1977	
DRAWN:	J.B.W.		

1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)
 tmankin@peisersurveying.com FIRM No. 100999-00



- NOTES:
1. IRF – Iron Rod Found
 2. IRS – Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 4. P.O.B. – Point of Beginning.
 5. O.P.R.D.C.T. – Official Public Records, Collin County, Texas.
 6. D.R.C.C.T. – Deed Records, Collin County, Texas.
 7. Bearings based on the Texas State Plano Coordinate System, North Central Zone 4202, NAD83, as derived by field observations utilizing the RTK Network Administrated by Western Hunk Systems.
 8. SLD. – SLIDE
 9. CAB. – CABINET
 10. This Final Plat is for conveyance only and not for the development of the subject property.
 11. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

RECOMMENDED FOR FINAL APPROVAL

 Planning & Zoning Commission, Chairman Date

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

 Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

11/09/2020 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

 Timothy R. Mankin Date
 Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
 STATE OF TEXAS
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this _____ day of _____, 2020

ROCKWALL 205-552, LLC

 By: DONALD L. SILVERMAN, MANAGER

STATE OF TEXAS:
 COUNTY OF DALLAS:
 BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared DONALD L. SILVERMAN, MANAGER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

 NOTARY PUBLIC in and for the STATE OF TEXAS

ENGINEER: OWNER:
 VASQUEZ ENGINEERING, L.L.C. ROCKWALL 205-552, LLC
 1919 S. SHILOH ROAD 4622 MAPLE AVE.
 SUITE 440, LB 44 SUITE 200
 GARLAND, TEXAS 75042 DALLAS, TEXAS 75219
 972-278-2948 214-393-3983
 CONTACT: JUAN VASQUEZ, P.E.

OWNER'S CERTIFICATION
 WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:
 BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being a portion of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under Instrument Number 2015000019501, Deed Records, Rockwall County, Texas, and being all of Lot 2, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 17, Plat Records, Rockwall County, Texas, and being more particularly described as follows;
 BEGINNING at a 1/2 inch iron rod with yellow "Brittain" cap found for the Southwest corner of said Rockwall 205 tract, same being the Southwest corner of said Lot 2, same being the Southeast corner of Lot 1, Block A, Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 270, Plat Records, Rockwall County, Texas, same being in the North right-of-way line of Dalton Road (80 foot right-of-way);
 THENCE North 00 deg. 57 min. 42 sec. West, along the common line of said Lot 2 and said Rockwall School North Addition, a total distance of 788.33 feet to a 1/2 inch iron rod found for the most westerly Northwest corner of said Lot 2, same being the Northeast corner of said Rockwall School North Addition, same being in the South line of a 20 foot alley in Block C, Harlan Park – Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;
 THENCE along the common line of said Lot 2 and said Block C as follows:
 Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;
 North 89 deg. 37 min. 55 sec. East, a distance of 426.47 feet to a 1/2 inch iron rod found for the Northeast corner of said Lot 2, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2805.03 feet, a central angle of 04 deg. 41 min. 34 sec., and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet;
 THENCE along the common line of said Lot 2 and said State Highway No. 205 as follows:
 Along said non-tangent curve to the right, an arc distance of 229.74 feet to a 1/2 inch iron rod set with "Peiser & Mankin SURV" red plastic cap for angle point;
 South 00 deg. 54 min. 01 sec. East, a distance of 109.10 feet to a 1/2 inch iron rod found for the most easterly Southeast corner of said Lot 2, same being the Northeast corner of Lot 3, Block A, said Dalton Goliad Addition;
 THENCE along the common line of said Lot 2 and said Lot 3 as follows:
 South 89 deg. 05 min. 59 sec. West, a distance of 323.17 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 01 sec. East, a distance of 146.44 feet to a 1/2 inch iron rod found for corner;
 North 89 deg. 05 min. 59 sec. East, a distance of 35.50 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 00 sec. West, passing a 1/2 inch iron rod found for the Southwest corner of said Lot 3, same being the Northwest corner of Lot 1, Block A, said Dalton Goliad Addition, and continuing along the common line of said Lot 2 and said Lot 1, a total distance of 341.12 feet to a 1/2 inch iron rod found for the Southeast corner of said Lot 2, same being the Southwest corner of said Lot 1, same being in the northerly right-of-way line of aforesaid Dalton Road;
 THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. _____		JOB NO.: 15-1216		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET
DATE: 10/09/2020		DATE: 10/09/2020			
SCALE: 1" = 50'		DRAWN: J.B.W.		 1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	OF
				COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	2
				 Member Since 1977	
		tman@peisersurveying.com FIRM No. 100999-00			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 72020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹ CONVEYANCE PLAT
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S. Hwy 205

Subdivision Dalton Goliad Addition

Lot 2

Block A

General Location northwest corner of Dalton Road and S.H. 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GR w/N SH 205 Overlay

Current Use vacant/detention pond

Proposed Zoning Same

Proposed Use commercial/retail uses

Acreage 5.683

Lots [Current] 1

Lots [Proposed] 4

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Rockwall 205-552, LLC

Applicant Vasquez Engineering, LLC

Contact Person Donald L. Silverman

Contact Person Juan J. Vasquez

Address 4622 Maple Ave.
Suite 200

Address 1919 S. Shiloh Road
Suite 440

City, State & Zip Dallas, TX 75219

City, State & Zip Garland, TX 75042

Phone 214-393-3983

Phone 972-278-2948

E-Mail jholman@voyagerinvestments.com

E-Mail jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

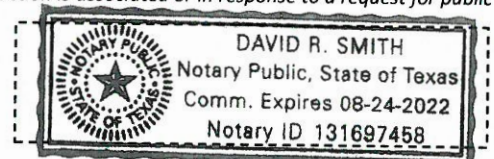
Before me, the undersigned authority, on this day personally appeared Juan J Vasquez [Applicant/Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 413.66, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of November, 20 20.

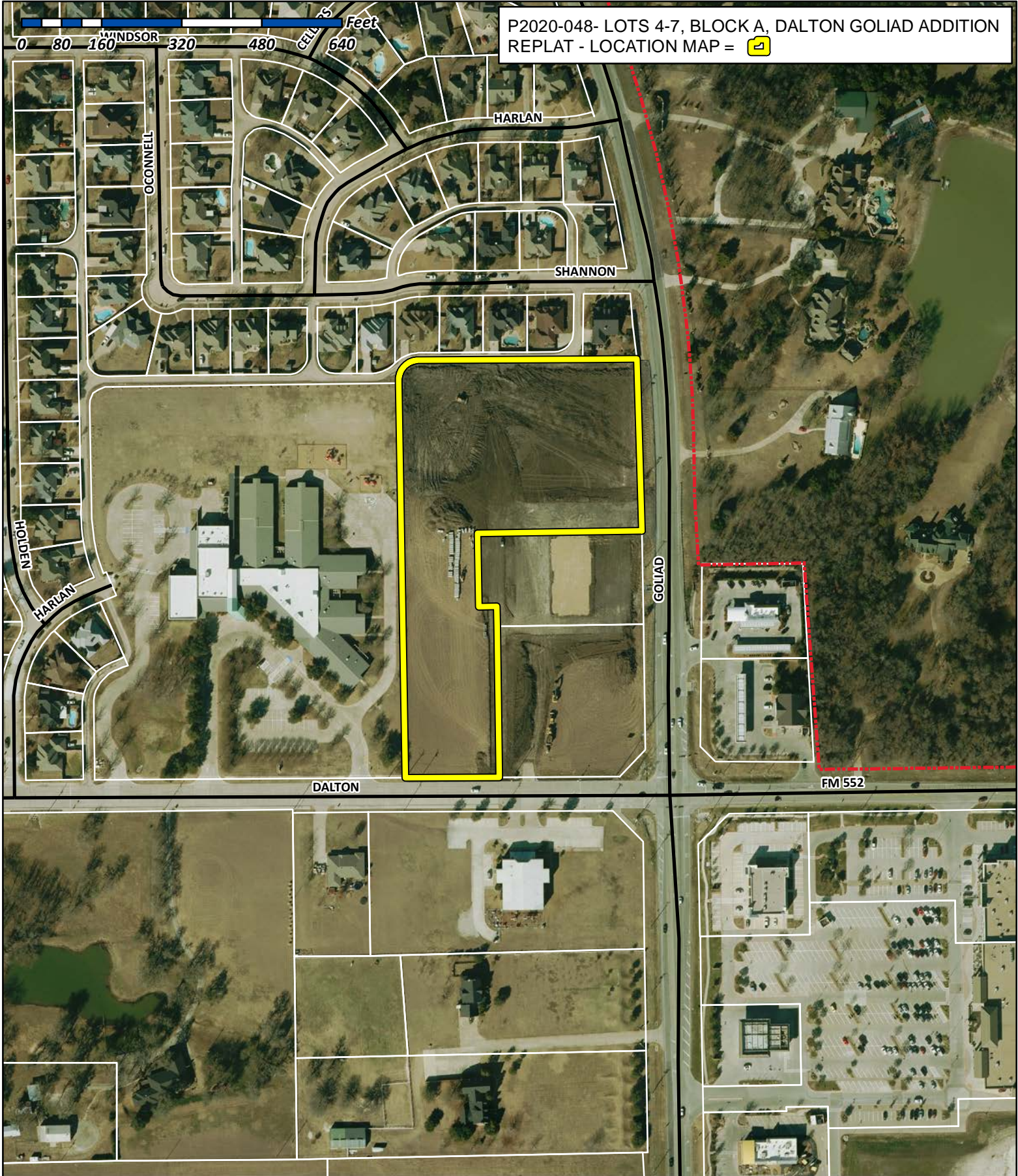
Juan J Vasquez
Applicant
Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

08/24/2022



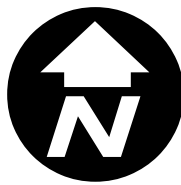
P2020-048- LOTS 4-7, BLOCK A, DALTON GOLIAD ADDITION
 REPLAT - LOCATION MAP = [pin icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

Case Type:

- Minor/Amending Plat
 Final Plat *conveyance*
 Master Plat
 Replat
 Preliminary Plat
 Vacation Plat

Case Number
Reviewed By:
Review Date:

NOTES: The requirements listed below are based on the case type, which is indicated in the '[]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓ = OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") folded copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.

City Limits <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.
Property Lines <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat & Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat & Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat & Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.

Dedication Language <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proved the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.
Compliance with Preliminary Plat <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.

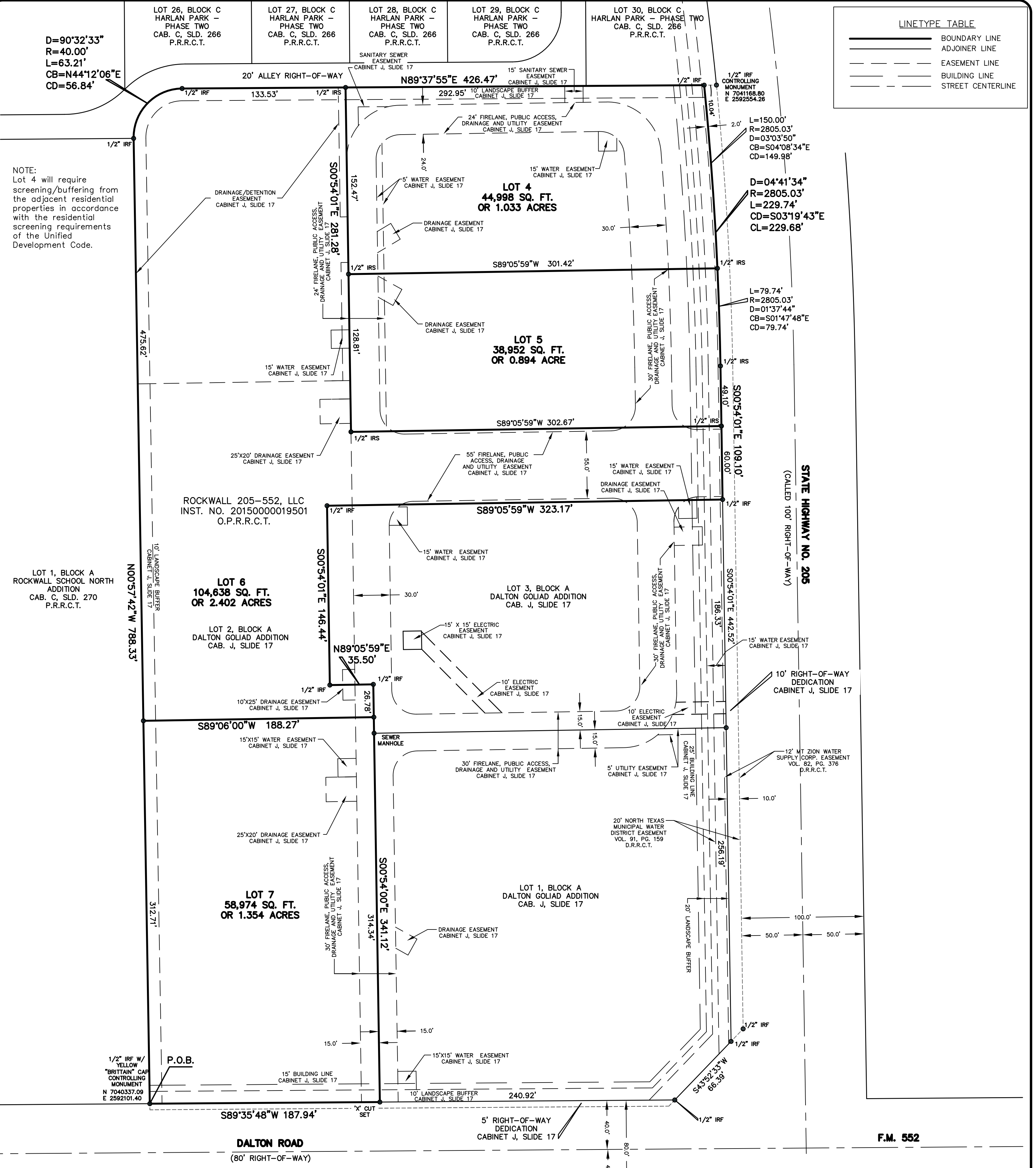
LOT 26, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 27, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 28, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 29, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 30, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.

LINETYPE TABLE

	BOUNDARY LINE
	ADJOINER LINE
	EASEMENT LINE
	BUILDING LINE
	STREET CENTERLINE

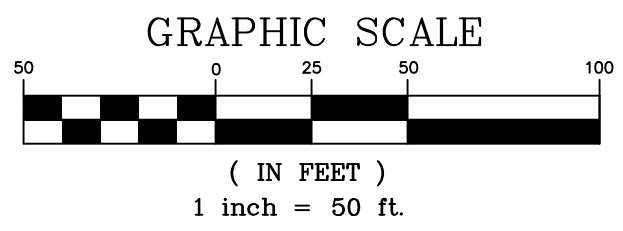
D=90°32'33"
 R=40.00'
 L=63.21'
 CB=N44°12'06"E
 CD=56.84'

NOTE:
 Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.

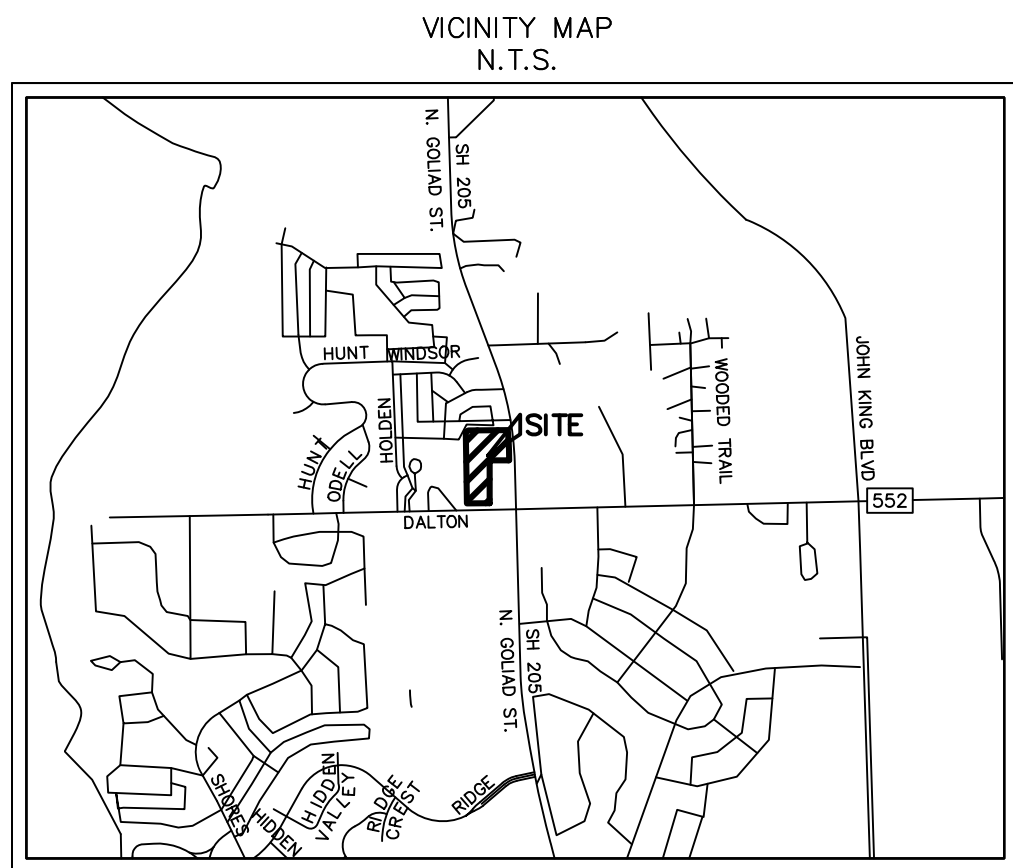


STATE HIGHWAY NO. 205
 (CALLED 100' RIGHT-OF-WAY)

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
 DALTON GOLIAD ADDITION
 LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CASE NO. _____		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com		SHEET
JOB NO.: 15-1216	DATE: 10/21/2020			
SCALE: 1" = 50'	DRAWN: J.B.W.	 1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	OF
		FIRM No. 100999-00 Member Since 1977		2



- NOTES:
1. IRF – Iron Rod Found
 2. IRS – Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 4. P.O.B. – Point of Beginning.
 5. O.P.R.D.C.T. – Official Public Records, Collin County, Texas.
 6. D.R.C.C.T. – Deed Records, Collin County, Texas.
 7. Bearings based on the Texas State Plano Coordinate System, North Central Zone 4202, NAD83, as derived by field observations utilizing the RTK Network Administrated by Western Hunk Systems.
 8. SLD. – SLIDE
 9. CAB. – CABINET
 10. This Final Plat is for conveyance only and not for the development of the subject property.
 11. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

RECOMMENDED FOR FINAL APPROVAL

 Planning & Zoning Commission, Chairman Date

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

 Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

11/09/2020 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

 Timothy R. Mankin Date
 Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
 STATE OF TEXAS
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this _____ day of _____, 2020

ROCKWALL 205-552, LLC

 By: DONALD L. SILVERMAN, MANAGER

STATE OF TEXAS:
 COUNTY OF DALLAS:
 BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared DONALD L. SILVERMAN, MANAGER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

 NOTARY PUBLIC in and for the STATE OF TEXAS

ENGINEER: OWNER:
 VASQUEZ ENGINEERING, L.L.C. ROCKWALL 205-552, LLC
 1919 S. SHILOH ROAD 4622 MAPLE AVE.
 SUITE 440, LB 44 SUITE 200
 GARLAND, TEXAS 75042 DALLAS, TEXAS 75219
 972-278-2948 214-393-3983
 CONTACT: JUAN VASQUEZ, P.E.

OWNER'S CERTIFICATION
 WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:
 BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being a portion of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under Instrument Number 2015000019501, Deed Records, Rockwall County, Texas, and being all of Lot 2, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 17, Plat Records, Rockwall County, Texas, and being more particularly described as follows;
 BEGINNING at a 1/2 inch iron rod with yellow "Brittain" cap found for the Southwest corner of said Rockwall 205 tract, same being the Southwest corner of said Lot 2, same being the Southeast corner of Lot 1, Block A, Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 270, Plat Records, Rockwall County, Texas, same being in the North right-of-way line of Dalton Road (80 foot right-of-way);
 THENCE North 00 deg. 57 min. 42 sec. West, along the common line of said Lot 2 and said Rockwall School North Addition, a total distance of 788.33 feet to a 1/2 inch iron rod found for the most westerly Northwest corner of said Lot 2, same being the Northeast corner of said Rockwall School North Addition, same being in the South line of a 20 foot alley in Block C, Harlan Park – Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;
 THENCE along the common line of said Lot 2 and said Block C as follows:
 Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;
 North 89 deg. 37 min. 55 sec. East, a distance of 426.47 feet to a 1/2 inch iron rod found for the Northeast corner of said Lot 2, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2805.03 feet, a central angle of 04 deg. 41 min. 34 sec., and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet;
 THENCE along the common line of said Lot 2 and said State Highway No. 205 as follows:
 Along said non-tangent curve to the right, an arc distance of 229.74 feet to a 1/2 inch iron rod set with "Peiser & Mankin SURV" red plastic cap for angle point;
 South 00 deg. 54 min. 01 sec. East, a distance of 109.10 feet to a 1/2 inch iron rod found for the most easterly Southeast corner of said Lot 2, same being the Northeast corner of Lot 3, Block A, said Dalton Goliad Addition;
 THENCE along the common line of said Lot 2 and said Lot 3 as follows:
 South 89 deg. 05 min. 59 sec. West, a distance of 323.17 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 01 sec. East, a distance of 146.44 feet to a 1/2 inch iron rod found for corner;
 North 89 deg. 05 min. 59 sec. East, a distance of 35.50 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 00 sec. West, passing a 1/2 inch iron rod found for the Southwest corner of said Lot 3, same being the Northwest corner of Lot 1, Block A, said Dalton Goliad Addition, and continuing along the common line of said Lot 2 and said Lot 1, a total distance of 341.12 feet to a 1/2 inch iron rod found for the Southeast corner of said Lot 2, same being the Southwest corner of said Lot 1, same being in the northerly right-of-way line of aforesaid Dalton Road;
 THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. _____			
JOB NO.: 15-1216	DATE: 10/09/2020	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	
SCALE: 1" = 50'	DRAWN: J.B.W.	1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE
tman@peisersurveying.com		FIRM No. 100999-00	Member Since 1977
		SHEET	2
		OF	2

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: P2020-048
PROJECT NAME: Lots 4-7, Block A, Dalton Goliad Addition
SITE ADDRESS/LOCATIONS: DALTON RD & N GOLIAD ST

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/17/2020	Approved w/ Comments

11/17/2020: P2020-048; Conveyance Plat for Lots 4-7, Block A, Dalton Goliad Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-048) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the General Commercial (GC) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat (i.e. conveyance plat) shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

I.7 1. Add the following language on the front page of the plat:

A) This Final Plat is for conveyance purposes only and not for the development of the subject property.

B) A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted

conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

I.8 Standard plat wording on page 2 under owners certification must be consistent with the current plat wording as indicated in the development application.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.10 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.11 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Commission meeting will be held on November 24, 2020.
- 2) City Council meeting will be held on December 7, 2020.

I.12 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but this is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments

11/18/2020: The following items are for your information for the engineering design process.

General Items:

- i - Must meet City Standards of Design and Construction
- i - 4% Engineering Inspection Fees
- i - Impact Fees (Water, Wastewater & Roadway)
- i - Minimum easement width is 20'. No structures allowed in easements.
- i - Retaining walls 3' and over must be engineered.
- i - All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- i - Drainage from the site must follow the approved drainage area map. (See attached as-builts)
- i - dependent on future use runoff from dumpster and other source to go through oil/water separator before draining to the storm lines.

Water and Wastewater Items:

- i - 8" water will need to be extended across to the edge of the concrete on the north (as shown)
- i - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).

Roadway Paving Items:

- i - Parking to be 20'x9'.
- i - Drive isles to be 24' wide.
- i - No deadend parking allowed. Must connect through if you have two way traffic.

Landscaping:

- i - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- i - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved

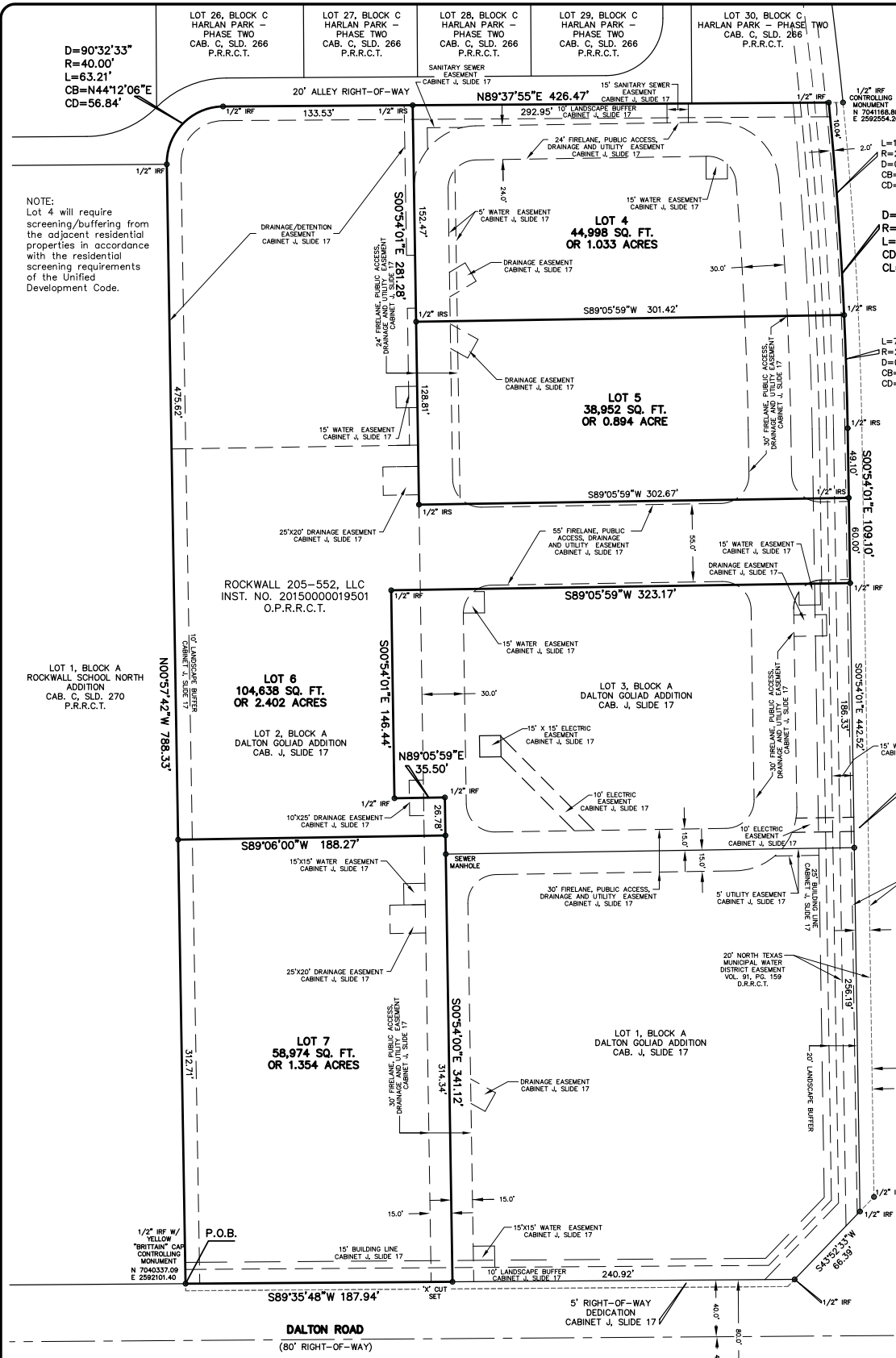
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	11/20/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved

11/16/2020: No comments



General Items:

- i - Must meet City Standards of Design and Construction
- i - 4% Engineering Inspection Fees
- i - Impact Fees (Water, Wastewater & Roadway)
- i - Minimum easement width is 20'. No structures allowed in easements.
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- i - dependent on future use runoff from dumpster and other source to go through oil/water separator before draining to the storm lines.

Water and Wastewater Items:

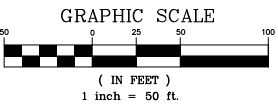
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- i - Drive isles to be 24' wide.
- i - No deadend parking allowed. Must connect through if you have two way traffic.

Landscaping:

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- i - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



CASE NO. _____

JOB NO.: 15-1216
DATE: 10/21/2020

PEISER & I
www.1

SCALE: 1" = 50'
DRAWN: J.B.W.

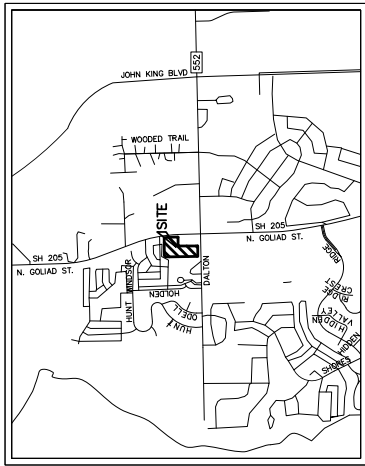
1604 HART STREET
SOUTHLAKE, TEXAS 76092
817-481-1806 (O)

COMMERCIAL RESIDENTIAL BOUNDARIES, TOPOGRAPHY, MORTGAGE

Texas Society of Professional Surveyors
Member Since 1977

1 OF 2

VICINITY MAP
N.T.S.



1. IRF - Iron Rod Found
2. IRS - Iron Rod Set w/ "PEISER & MANKIN SURVY" red plastic cap
3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivision ordinance and state platting statutes and is subject to fines and penalties relating to building certificates.
4. P.O.B. - Point of Beginning.
5. O.P.R.D.C.T. - Official Public Records, Collin County, Texas.
6. D.R.C.C.T. - Deed Records, Collin County, Texas.
7. Bearings based on the Texas State Plane Coordinate System, North Central Zone, NAD 83, as determined by field observations utilizing the RTK Network Administered by Western Data Systems.
8. SLD. - SLIDE
9. CAB. - CABINET
10. This Final Plat is for conveyance only and not for the development of the subject property.
11. This Final Plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on this plat, is a violation of the city ordinance and State law.

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: _____
City Secretary _____ City Engineer _____
Mayor, City of Rockwall _____

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.

11/09/2020 PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Timothy R. Mankin
Date _____
Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from, and upon the said easement strips for purpose of construction, reconstruction, inspecting, painting, maintaining, and either repairing and renewing or for other their respective system.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewerage, and the City of Rockwall, or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this _____ day of _____, 2020

ROCKWALL 205-552, LLC

By: DONALD L. SILVERMAN, MANAGER

STATE OF TEXAS:

COUNTY OF DALLAS:
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared DONALD L. SILVERMAN, Manager, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration thereat expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC in and for the STATE OF TEXAS

OWNER'S CERTIFICATION

WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:
BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being a portion of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under instrument Number: 2015000019501, Deed Records, Rockwall County, Texas, and being all of Lot 2, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 17, Plat Records, Rockwall County, Texas, and being more particularly described as follows:
BEGINNING at a 1/2 inch iron rod with yellow "brilliant" cap found for the Southwest corner of said Rockwall 205 tract, a Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;
THENCE along the common line of said Lot 2 and said Block C as follows:
Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;
North 89 deg. 37 min. 55 sec. East, a distance of 426.47 feet to a 1/2 inch iron rod found for the Northeast corner of said Lot 2, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2805.03 feet, a central angle of 04 deg. 41 min. 34 sec., and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet;
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THENCE along the common line of said Lot 2 and said Lot 3 as follows:
South 89 deg. 05 min. 59 sec. West, a distance of 323.17 feet to a 1/2 inch iron rod found for corner,
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North 89 deg. 05 min. 59 sec. East, a distance of 35.50 feet to a 1/2 inch iron rod found for corner, 00 deg. 54 min. 00 sec. West, passing a 1/2 inch iron rod found for the Southwest corner of said Lot 3, same being the Northeast corner of Lot 1, Block A, said Dalton Goliad Addition, continuing along the common line of said Lot 2 and said Lot 1, a total distance of 341.12 feet to a 1/2 inch iron rod found for the Southeast corner of said Lot 2, same being the Southwest corner of said Lot 1, same being in the northerly right-of-way line of aforesaid Dalton Road;
THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

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THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

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DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A

BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
T. R. BAILEY SURVEY, ABSTRACT NO. 30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. _____
JOB NO.: 15-1216
DATE: 10/09/2020

SCALE: 1" = 50'
DRAWN: J.B.W.

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD
SUITE 440, LB 44
GARLAND, TEXAS 75042
940-299-2544
CONTACT: JUAN VASQUEZ, P.E.

OWNER:
ROCKWALL 205-552, LLC
4622 MAPLE AVE.
SUITE 200
DALLAS, TEXAS 75219
214-393-3953

15-1216	10/09/2020	15-1216	10/09/2020
		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	
1608 MARKET STREET SOUTHPLAKE, TEXAS 76092 817-481-1806 (O)		COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY SURVEYING WORK/LOGS	
TEXAS SOCIETY OF PROFESSIONAL SURVEYORS		SHEET 2 OF 2	
Irmankin@peisersurveying.com FIRM No. 100999-00 Member Since 1977			



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 24, 2020
APPLICANT: Juan J. Vasquez; *Vasquez Engineering, LLC*
CASE NUMBER: P2020-048; *Lots 4-7, Block A, Dalton Goliad Addition*

SUMMARY

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 5.683-acre parcel of land (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) in order to subdivide one (1) lot (*i.e. Lot 2, Block A, Dalton Goliad Addition*) into four (4) lots for purpose of conveying property. Staff should note that the site will not be developed and no permits will be issued without first having an approved site plan, civil engineering plans, and a replat of the property in accordance with the development procedures outlined in the Municipal Code of Ordinances and the Unified Development Code (UDC).
- On February 15, 2016, the City Council approved a preliminary plat [Case No. P2016-004] for the purpose of laying out regional detention, preliminary utility, and drainage plans for six (6) non-residential lots zoned General Retail (GR) District. On April 12, 2016, the Planning and Zoning Commission approved a site plan [Case No. SP2016-005] for the construction of an ~11,334 SF retail building (*i.e. Goliad Retail*), which is currently located on Lot 3. On May 10, 2016, the Planning and Zoning Commission approved a site plan [Case No. SP2016-007] for the construction of an ~18,663 SF grocery store (*i.e. Aldi Food Store*), which is currently located on Lot 1. On August 1, 2016, the City Council approved a final plat [Case No. P2016-034] allowing development of three (3) lots within the subdivision. On August 7, 2017, the City Council approved a Specific Use Permit (SUP #S-171- Ordinance No. 17-39) [Case No. Z2017-029] to allow for a restaurant greater than 2,000 SF with a drive-through (*i.e. Freddy's Frozen Custard*). On September 12, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2017-024] for the construction of a ~2,822 SF restaurant with a drive-through for the subject property. Additionally, on September 18, 2017, the City Council approved a variance to allow the restaurant to have a flat roof in lieu of a pitched roof as required by the North SH-205 Overlay (N SH-205 OV) District; however, the building was never constructed and the SUP and the site plan have since expired. The remaining lots are vacant.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for Lots 4-7, Block A, Dalton Goliad Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 72020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹ CONVEYANCE PLAT
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S. Hwy 205

Subdivision Dalton Goliad Addition Lot 2 Block A

General Location northwest corner of Dalton Road and S.H. 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GR w/N SH 205 Overlay Current Use vacant/detention pond

Proposed Zoning Same Proposed Use commercial/retail uses

Acreage 5.683 Lots [Current] 1 Lots [Proposed] 4

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Rockwall 205-552, LLC

Contact Person Donald L. Silverman

Address 4622 Maple Ave.
Suite 200

City, State & Zip Dallas, TX 75219

Phone 214-393-3983

E-Mail jholman@voyagerinvestments.com

Applicant Vasquez Engineering, LLC

Contact Person Juan J. Vasquez

Address 1919 S. Shiloh Road
Suite 440

City, State & Zip Garland, TX 75042

Phone 972-278-2948

E-Mail jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

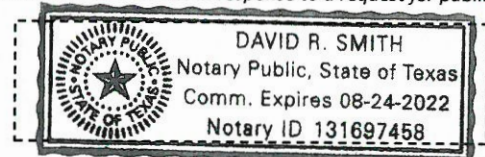
Before me, the undersigned authority, on this day personally appeared Juan J Vasquez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 413.66, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of November, 20 20.

Juan J Vasquez
Applicant
Owner's Signature

David R. Smith
Notary Public in and for the State of Texas



My Commission Expires 08/24/2022

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: P2020-048
PROJECT NAME: Lots 4-7, Block A, Dalton Goliad Addition
SITE ADDRESS/LOCATIONS: DALTON RD & N GOLIAD ST

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/17/2020	Approved w/ Comments

11/17/2020: P2020-048; Conveyance Plat for Lots 4-7, Block A, Dalton Goliad Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-048) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the General Commercial (GC) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat (i.e. conveyance plat) shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

I.7 1. Add the following language on the front page of the plat:

A) This Final Plat is for conveyance purposes only and not for the development of the subject property.

B) A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted

conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

I.8 Standard plat wording on page 2 under owners certification must be consistent with the current plat wording as indicated in the development application.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.10 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.11 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Commission meeting will be held on November 24, 2020.
- 2) City Council meeting will be held on December 7, 2020.

I.12 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but this is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments

11/18/2020: The following items are for your information for the engineering design process.

General Items:

- i - Must meet City Standards of Design and Construction
- i - 4% Engineering Inspection Fees
- i - Impact Fees (Water, Wastewater & Roadway)
- i - Minimum easement width is 20'. No structures allowed in easements.
- i - Retaining walls 3' and over must be engineered.
- i - All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- i - Drainage from the site must follow the approved drainage area map. (See attached as-builts)
- i - dependent on future use runoff from dumpster and other source to go through oil/water separator before draining to the storm lines.

Water and Wastewater Items:

- i - 8" water will need to be extended across to the edge of the concrete on the north (as shown)
- i - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).

Roadway Paving Items:

- i - Parking to be 20'x9'.
- i - Drive isles to be 24' wide.
- i - No deadend parking allowed. Must connect through if you have two way traffic.

Landscaping:

- i - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- i - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	11/20/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved

11/16/2020: No comments

P2020-048; Conveyance Plat for Lots 4-7, Block A, Dalton Goliad Addition

Please address the following comments (*M= Mandatory Comments; I = Informational Comments*)

- I.1 This is a request for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552.
- I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (*P2020-048*) in the lower right-hand corner of all pages of all revised plan submittals.
- I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the General Commercial (GC) District Standards of Article 05 that are applicable to the subject property.
- I.5 The final plat (*i.e. conveyance plat*) shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.
- I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.
- I.7 1. Add the following language on the front page of the plat:
 - A) This Final Plat is for conveyance purposes only and not for the development of the subject property.
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- I.8 Standard plat wording on page 2 under owners certification must be consistent with the current plat wording as indicated in the development application.
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.
- M.10 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.
- I.11 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:
 - 1) Planning & Zoning Commission meeting will be held on November 24, 2020.
 - 2) City Council meeting will be held on December 7, 2020.

- I.12 Although this item will be on the *Consent Agenda*, staff recommends that a representative be present for the meetings as scheduled above, but this is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, ANNEXING THE HEREINAFTER DESCRIBED TERRITORY TO THE CITY OF ROCKWALL, TEXAS, AND EXTENDING THE BOUNDARY LIMITS OF SAID CITY SO AS TO INCLUDE SAID HEREINAFTER DESCRIBED PROPERTY WITHIN SAID CITY LIMITS AND GRANTING TO ALL INHABITANTS AND OWNERS OF PROPERTY ALL OF THE RIGHTS AND PRIVILEGES OF OTHER CITIZENS AND BINDING INHABITANTS BY ALL THE ACTS, ORDINANCES, AND REGULATIONS OF SAID CITY; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owners and qualified voters of the hereinafter described land have filed a petition stating that it desires annexation thereof to the City of Rockwall, and

WHEREAS, it has presented a written petition to that effect to the City Council signed by a majority of the qualified voters in said territory and the owners of more than fifty percent (50%) of the land in said territory and attached thereto an affidavit stating the number of qualified voters residing in the territory and the acreage in the territory, an affidavit from the publisher of the newspaper wherein the notice was published, and an affidavit stating the places the petition was posted; and

WHEREAS, after development and presentation of a service plan for said territory and after holding public hearings required under the provisions of Article 970a of the Revised Civil Statutes of the State of Texas; and

WHEREAS, the following described territory is land adjoining the present City Limits of the City of Rockwall, and the members of the City Council of the City of Rockwall have concluded that said area should be annexed and made a part of the City of Rockwall, Texas,

NOW, THEREFORE, BE IT ORDAINED BY the City Council of the City of Rockwall, Texas:


SECTION 1. That the following described territory be, and the same is hereby, annexed to the City of Rockwall, Texas, and the boundary limits of the City of Rockwall be, and the same are hereby, extended to include the following described territory within the City Limits, and the same hereafter shall be included within the territorial limits of said City, and the inhabitants thereof hereafter shall be entitled to all rights and privileges of other citizens of the City and shall be bound by all the acts, ordinances and regulations of said City. That the territory annexed hereby is more particularly described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2. That it is not the intention of the City of Rockwall to annex any territory not legally subject to being annexed by said City, and should any portion of the territory not be subject to legal annexation of the City of Rockwall, such fact will not prevent the City from annexing said territory which is described in Exhibit "A" and is subject to legal annexation, it being the intention of the City of Rockwall to annex only such territory as may be legally annexed by it within the limits of such area.

SECTION 3. This ordinance shall take effect immediately from and after its passage as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 7th day of November, 1983.

APPROVED:



Mayor

ATTEST:




City Secretary

458 ACRE DEVELOPMENT SERVICE PLAN

The area in question is being annexed on a petition from property owners and qualified voters as attached. Police, fire protection, and solid waste collection will be available upon annexation of the property. All utilities, streets and park sites existing and dedicated to the public at the time of annexation shall be maintained by the City upon annexation. The existing water system shall continue to be maintained by the Mt. Zion Water Corporation. All future capital improvements, including streets, water facilities, and wastewater facilities, will be constructed by the developer at the developer's expense as required for all subdivisions within the City. Maintenance of future roads, streets, and street lighting shall be provided by the City upon construction, dedication and acceptance by the City. The City shall maintain all parks, playgrounds, and other City owned facilities or services which it may construct in the area in the future. At this time there are no municipally owned facilities in this area.

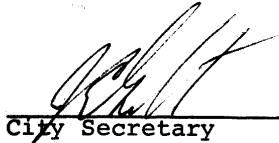
This service plan was approved as part of Ordinance No. 83-57, annexing the area described therein, and is hereby approved as a part of this ordinance on this, the 7th day of November, 1983.

APPROVED:



Mayor

ATTEST:



City Secretary

EXHIBIT "A"

BEING a tract or parcel of land situated in the W.T. Dewese Survey, Abstract No. 71, the Thomas Dean Survey, Abstract No. 69, the C.W. Jones Survey, Abstract No. 127, the T.R. Bailey Survey, Abstract No. 30, and the Joseph Strickland Survey, Abstract No. 187, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the North City Limits line of the City of Rockwall with the West line of State Highway No. 205, said point being located at Texas Highway Department Station 111+22 on said Highway;

THENCE: WEST a distance of 4703 feet, more or less, along the existing North City Limits Line to a point on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Along said take line as follows:

North 30°37'13" West a distance of 527.21 feet to a point for a corner;
North 50°15'25" West a distance of 117.20 feet to a point for a corner;
North 12°52'00" West a distance of 112.80 feet to a point for a corner;
North 21°44'20" East a distance of 215.40 feet to a point for a corner;
North 37°32'20" West a distance of 189.00 feet to a point for a corner;
North 02°48'00" East a distance of 100.10 feet to a point for a corner;
North 55°20'42" East a distance of 176.10 feet to a point for a corner;
North 33°17'09" East a distance of 532.65 feet to a point for a corner;
North 30°44'00" East a distance of 322.30 feet to a point for a corner;
North 17°18'00" West a distance of 212.60 feet to a point for a corner;
North 26°05'00" West a distance of 176.40 feet to a point for a corner;
North 15°18'00" East a distance of 823.90 feet to a point for a corner;
North 21°01'00" East a distance of 231.80 feet to a point for a corner;
North 34°06'00" West a distance of 10.80 feet to a point for a corner;
North 89°37'00" East a distance of 60.50 feet to a point for a corner;
North 00°37'33" West a distance of 176.73 feet to a point for a corner;
North 89°47'24" East a distance of 1014.30 feet to a point for a corner;
North 00°24'10" East a distance of 1336.41 feet to a point for a corner;
North 85°25'14" East a distance of 267.50 feet to a point for a corner;
North 85°17'26" East a distance of 139.06 feet to a point for a corner;
North 60°03'35" East a distance of 144.89 feet to a point for a corner;
North 31°37'50" East a distance of 202.64 feet to a point for a corner;
South 72°30'56" East a distance of 163.15 feet to a point for a corner;
North 35°34'02" East a distance of 87.43 feet to a point for a corner;
North 35°55'41" East a distance of 28.48 feet to a point for a corner;
North 80°29'00" East a distance of 394.94 feet to a point for a corner;
North 53°56'46" East a distance of 226.01 feet to a point for a corner;
South 46°37'23" East a distance of 223.93 feet to a point for a corner;
North 04°04'37" East a distance of 187.77 feet to a point for a corner;
North 38°25'28" East a distance of 105.53 feet to a point for a corner;
South 73°32'31" East a distance of 243.51 feet to a point for a corner;
North 54°11'46" East a distance of 164.03 feet to a point for a corner;
North 35°37'18" East a distance of 202.21 feet to a point for a corner;
North 13°09'04" East a distance of 247.34 feet to a point for a corner;
North 88°57'31" East a distance of 209.71 feet to a point on the West line of State Highway No. 205;

THENCE: Along said West line as follows:

South 02°36' East a distance of 961 feet, more or less, to the point for curvature of a circular curve to the left having a central angle of 19°56'00" and a radius of 2915.23 feet, along said curve in a Southerly direction an arc distance of 1014.22 feet to a point for a corner;
South 22°32' East a distance of 751.40 feet to the point of curvature of a circular curve to the right having a central angle of 20°14'00" and a radius of 2815.03 feet, along said curve in a Southerly direction an arc distance of 994.10 feet; South 02°18'00" East a distance of 542.00 feet to a point for a corner; South 42°06'55" West a distance of 140.00 feet to a point for a corner; South 46°42'55" East a distance of 140.00 feet to a point for a corner and South 02°18'00" East a distance of 1537.95 feet, more or less, to the Point of Beginning and containing 458 Acres of land, more or less.

PETITIONERS

Jo Ann Hansen Bailey
Kay Breeze
Mike Breeze
Nancy M. Bryant
Bob Calhoun
Nancy J. Calhoun
Cambridge Co.
Chester R. Green & Assoc., Inc.

E. D. Dalton
Mable Dalton
Francis P. Dyer

C. W. Green

Jerry L. Hammers
Marie Hammers
Howard G. Heaslet, Jr.
John Daniel Hill III
Vicki E. Hill
David Hodgdon
Home Savings of America
Ellen Hunt
James Hudson
Thomas Jones

David Kiowski
Sharon Kiowski

Donna Meyers
John J. Meyers

John A. Park
Linda M. Park

Glenda Rudolph
Rick D. Rudolph
Jean Severn
Joseph P. Stevens
Phyllis Stevens
Debra L. Sumners
Joyce D. Sumners
W. E. Sumners

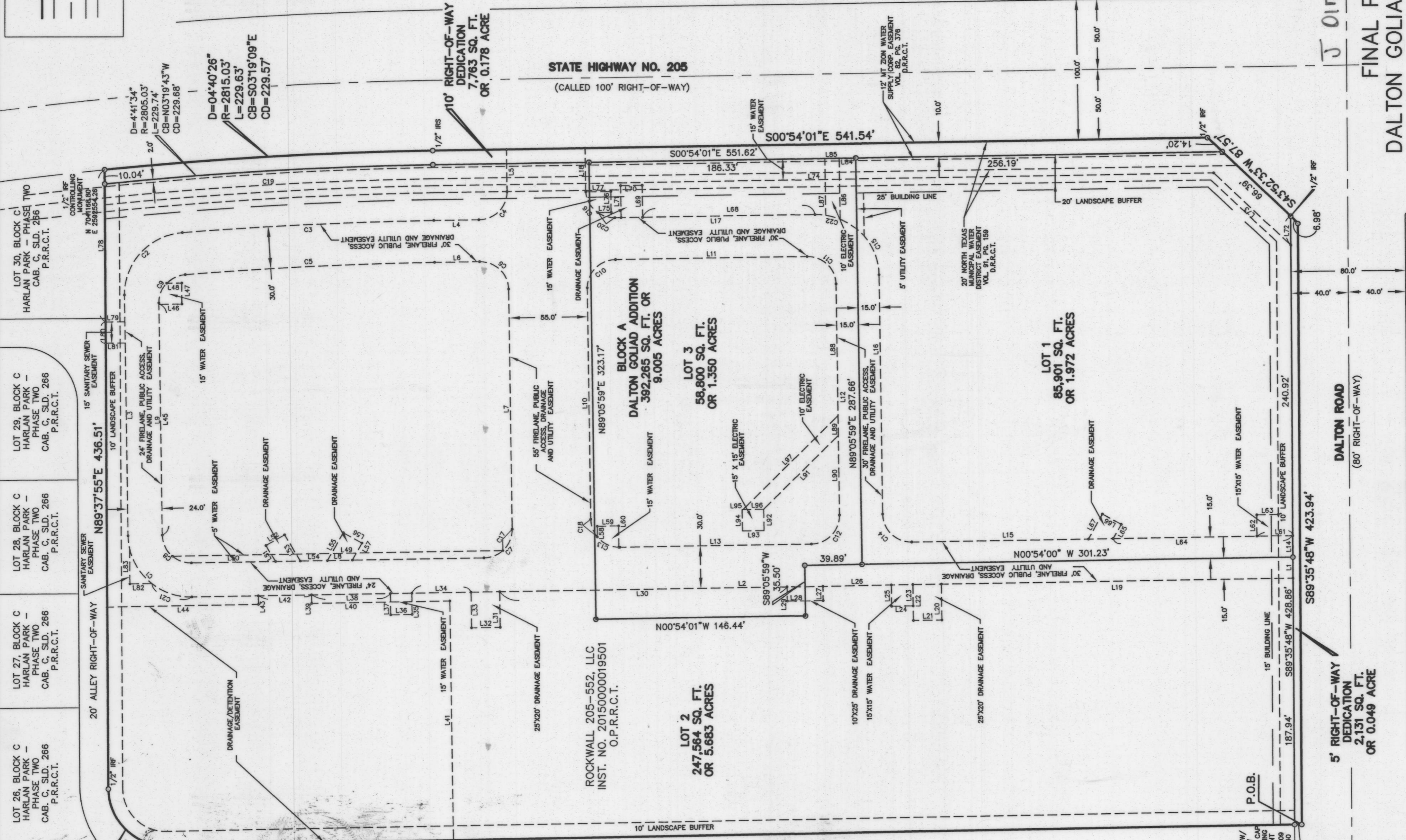
Robert B. Tanney
Jerry Taylor
Judith Wade
Peter Webb
Charles Welch
Patricia H. Welch
Diana Sue Whitten
Forrest L. Whitten

LINETYPE TABLE

---	BOUNDARY LINE
---	ADJOINER LINE
---	EASEMENT LINE
---	BUILDING LINE
---	STREET CENTERLINE

LINE TABLE

LINE	LENGTH	BEARING
L1	15.00	S89°35'48"W
L2	769.50	N00°54'01"W
L3	168.91	S89°05'59"W
L4	31.53	S00°54'01"E
L5	31.53	S89°07'40"W
L6	168.91	S00°54'01"E
L7	204.57	N00°54'01"W
L8	162.89	N89°05'59"E
L9	162.89	N89°05'59"E
L10	162.89	N89°05'59"E
L11	133.83	S00°54'01"E
L12	162.87	S89°05'59"E
L13	133.83	N00°54'01"W
L14	14.98	N89°35'48"E
L15	266.36	N00°54'01"W
L16	19.83	N89°05'59"E
L17	19.83	N89°05'59"E
L18	30.00	S89°05'59"E
L19	245.76	N00°54'01"W
L20	25.00	N89°05'59"E
L21	20.00	N00°54'01"W
L22	25.00	N89°05'59"E
L23	15.00	S89°05'59"E
L24	15.00	N00°54'01"W
L25	15.00	S89°05'59"E
L26	47.73	N00°54'01"W
L27	25.00	S89°05'59"E
L28	25.00	N00°54'01"W
L29	10.00	S89°05'59"E
L30	200.88	N00°54'01"W
L31	25.00	N89°05'59"E
L32	20.00	N00°54'01"W
L33	25.00	N89°05'59"E
L34	41.43	N00°54'01"W
L35	15.00	N89°05'59"E
L36	15.00	N00°54'01"W
L37	15.00	S89°05'59"E
L38	15.00	N00°54'01"W
L39	6.00	N00°54'01"W
L40	96.48	S00°54'01"E
L41	167.57	N89°05'59"E
L42	37.24	N00°54'01"W
L43	6.00	N89°05'59"E
L44	105.71	S00°54'01"E
L45	161.92	N89°05'59"E
L46	16.02	N00°54'01"W
L47	16.02	N00°54'01"W
L48	231.07	N00°54'01"W
L49	58.83	S00°54'01"E
L50	58.83	S00°54'01"E
L51	12.92	S89°05'59"E
L52	15.00	N00°54'01"W
L53	21.56	S89°05'59"E
L54	19.00	S00°54'01"E
L55	22.45	N89°05'59"E
L56	15.00	N00°54'01"W
L57	13.79	N89°05'59"E
L58	4.52	N00°54'01"W
L59	15.00	S89°05'59"E
L60	15.00	N00°54'01"W
L61	25.00	N00°54'01"W
L62	14.96	S89°05'59"E
L63	14.96	N00°54'01"W
L64	125.48	N00°54'01"W
L65	11.43	N89°05'59"E
L66	15.00	N00°54'01"W
L67	20.09	N89°05'59"E
L68	120.42	N00°54'01"W
L69	23.00	S89°05'59"E
L70	23.00	S89°05'59"E
L71	23.00	S89°05'59"E
L72	20.95	S89°05'59"E
L73	74.84	S43°52'33"W
L74	545.44	S00°54'01"E
L75	9.37	N00°54'01"W
L76	15.00	N89°05'59"E
L77	17.47	N00°54'01"W
L78	106.95	S89°37'55"W
L79	13.41	S89°37'55"W
L80	13.41	S89°37'55"W
L81	13.41	S89°37'55"W
L82	15.30	S00°54'01"E
L83	24.61	N89°39'40"E
L84	11.42	N00°54'01"W
L85	10.00	N00°54'01"W
L86	43.67	S 89°25'59" W
L87	40.66	N89°05'59"E
L88	92.93	S89°05'59"W
L89	13.87	S89°05'59"W
L90	55.66	S89°05'59"W
L91	73.40	N44°46'03"W
L92	15.00	N89°05'59"W
L93	15.00	N00°54'01"W
L94	15.00	N89°05'59"W
L95	0.57	S00°54'01"E
L96	14.43	S00°54'01"E
L97	93.41	S44°46'03"E



NOTE:
 Lot 2 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.

LOT 1, BLOCK A
 ROCKWALL SCHOOL NORTH
 ADDITION
 CAB. C. SLD. 270
 P.R.R.C.T.

ROCKWALL 205-552, LLC
 INST. NO. 20150000019501
 O.P.R.R.C.T.

LOT 2
 247,564 SQ. FT.
 OR 5.683 ACRES

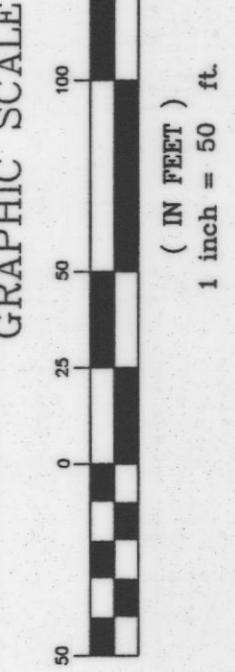
BLOCK A
 DALTON GOLIAD ADDITION
 392,265 SQ. FT. OR
 9.005 ACRES

LOT 3
 58,800 SQ. FT.
 OR 1.350 ACRES

LOT 1
 85,901 SQ. FT.
 OR 1.972 ACRES

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CB	CD
C1	69.26	44.00	90°00'00"	S44°05'59"W	52.23
C2	176.03	2765.03	0°33'52"	N02°48'21"W	176.03
C3	176.03	2765.03	89°56'08"	S45°53'10"E	28.28
C4	31.41	20.00	89°56'08"	N02°48'21"W	174.49
C5	174.52	2735.03	0°33'52"	N44°05'59"E	28.28
C6	31.42	20.00	90°00'01"	S45°54'01"E	28.28
C7	31.42	20.00	90°00'00"	S44°05'59"W	28.28
C8	30.11	20.00	86°15'44"	N47°46'09"W	27.35
C9	31.42	20.00	90°00'00"	N44°05'59"E	28.28
C10	31.42	20.00	90°00'00"	S45°54'01"E	28.28
C11	31.42	20.00	89°56'08"	S44°05'07"W	28.28
C12	31.41	20.00	89°56'08"	N44°05'59"E	62.23
C13	31.42	20.00	90°00'01"	S44°05'59"W	28.28
C14	16.96	20.00	48°32'28"	S65°32'18"E	16.46
C15	13.55	20.00	38°48'39"	S89°44'32"W	13.29
C16	12.71	2750.03	04°43'17"	N03°20'24"W	228.84
C17	12.71	2750.03	36°24'59"	S17°18'21"W	17.50
C18	30.26	44.00	35°24'02"	S18°48'00"W	29.66
C19	10.47	44.00	133°37'48"	N15°56'21"E	10.44



FINAL PLAT
DALTON GOLIAD ADDITION
LOTS 1-3, BLOCK A
 BEING 9.232 ACRES OUT OF THE
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 JANUARY 2016

CASE NO. P2016-034

J 017 F.M. 552

JOB NO: 15-1216
 DATE: 1/14/2016
 SCALE: 1" = 50'
 DRAWN: J.B.W.

REV: 05/27/2016
 06/01/2016
 06/21/2016
 06/27/2016
 08/09/2016

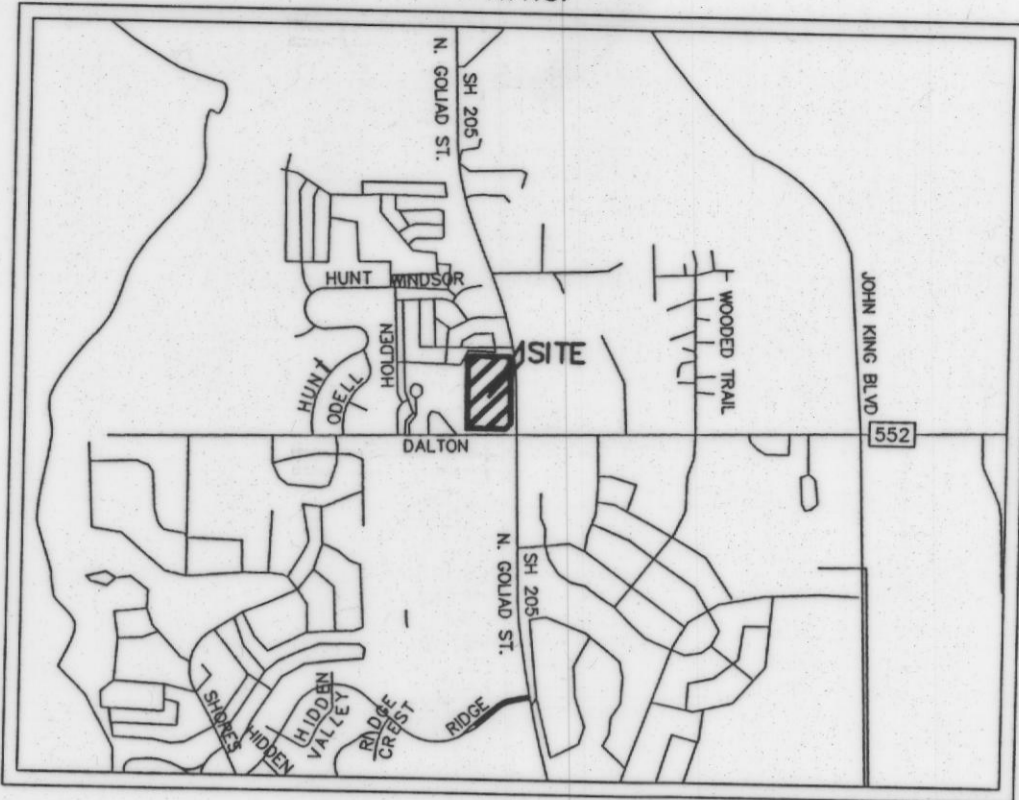
PEISER & MANKIN SURVEYING, LLC
 www.peisersurveying.com
 COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE
 623 E. DALLAS ROAD
 GRAPEVINE, TEXAS 76051
 817-481-1806 (O)
 817-481-1809 (F)

TEXAS SOCIETY OF PROFESSIONAL SURVEYORS
 Member Since 1977

FIRM No. 100999-00

Dalton Goliad Addition
 Lots 1-3, Block A
 Final Plat

VICINITY MAP
N.T.S.



- NOTES:
1. IRF - Iron Rod Found
 2. IRS - Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statues and is subject to fines and withholding of utilities and building certificates.
 4. P.O.B. - Point of Beginning.
 5. O.P.R.D.C.T. - Official Public Records, Collin County, Texas.
 6. D.R.C.C.T. - Deed Records, Collin County, Texas.
 7. Bearings based on the Texas State Plane Coordinate System, North Central Zone 4202, NAD83, as derived by field observations utilizing the RTK Network Administrated by Western Data Systems.
 8. Lots 3 and 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.
 9. SLD. - SLIDE
 10. CAB. - CABINET

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman

Date

7/26/16

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 1 day of August, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS this 28 day of Sept., 2016.

Mayor, City of Rockwall

City Secretary

City Engineer

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

Timothy R. Mankin
Registered Professional Land Surveyor, No. 6122

Date

08/18/2016



Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
08/28/2016 10:59:40 AM
\$100.00
20160000017019

COPY



Shein

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this 25th day of August, 2016

ROCKWALL 205-552, LLC

By: OWNER Donald L. Silverman, Manager

STATE OF TEXAS:

COUNTY OF Dallas

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Donald Silverman, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 26th DAY OF August, 2016.

NOTARY PUBLIC in and for the STATE OF TEXAS



VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD
SUITE 440, LB 44
GARLAND, TEXAS 75042
972-278-2948
CONTACT: JUAN VASQUEZ, P.E.

OWNER:
ROCKWALL 205-552, LLC
1408 QUORUM DRIVE
SUITE 160
DALLAS, TX 75254

REV: 05/27/2016
06/01/2016
06/21/2016
06/27/2016
08/09/2016

OWNER'S CERTIFICATION

WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being all of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under Instrument Number 2015000019501, Deed Records, Rockwall County, Texas, and being more particularly described as follows;

BEGINNING at a point for the Southwest corner of said Rockwall 205 tract, same being in the North right-of-way line of Dalton Road (80 foot right-of-way);

THENCE North 00 deg. 57 min. 42 sec. West, along the west line of said Rockwall 205 tract, passing at a distance of 5.00 feet, a 1/2 inch iron rod with yellow "Brittain" cap found, same being the Southeast corner of Lot 1, Block A, Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 270, Plat Records, Rockwall County, Texas, and continuing along the common line of said Rockwall 205 tract and said Rockwall School North Addition, a total distance of 793.33 feet to a 1/2 inch iron rod found for the most westerly Northwest corner of said Rockwall 205 tract, same being the Northeast corner of said Rockwall School North Addition, same being in the South line of a 20 foot alley in Block C, Harlan Park - Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;

THENCE along the common line of said Rockwall 205 tract and said Block C as follows:

Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;

North 89 deg. 37 min. 55 sec. East, a distance of 436.51 feet to a 1/2 inch iron rod found for the Northeast corner of said Rockwall 205 tract, same being the Southeast corner of said Block C, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2815.03 feet, a central angle of 04 deg. 40 min. 26 sec., and a chord bearing and distance of South 03 deg. 19 min. 09 sec. East, 229.57 feet;

THENCE along the common line of said Rockwall 205 tract and said State Highway No. 205 as follows:

Along said non-tangent curve to the right, an arc distance of 229.63 feet to a 1/2 inch iron rod set with "Peiser & Mankin SURV" red plastic cap for angle point;

South 00 deg. 54 min. 01 sec. East, a distance of 541.54 feet to a 1/2 inch iron rod found for the most easterly Southeast corner of said Rockwall 205 tract, same being the North end of a corner clip in the intersection of said State Highway No. 205 and aforesaid Dalton Road;

THENCE South 43 deg. 52 min. 33 sec. West, along the common line of said Rockwall 205 tract and said corner clip, passing at a distance of 80.59 feet, a 1/2 inch iron rod found, and continuing a total distance of 87.57 feet to a point for the most southerly Southeast corner of said Rockwall 205 tract, same being the South end of said corner clip;

THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Rockwall 205 tract and said Dalton Road, a distance of 423.94 feet to the POINT OF BEGINNING and containing 402,160 square feet or 9.232 acre of computed land, more or less.

FINAL PLAT

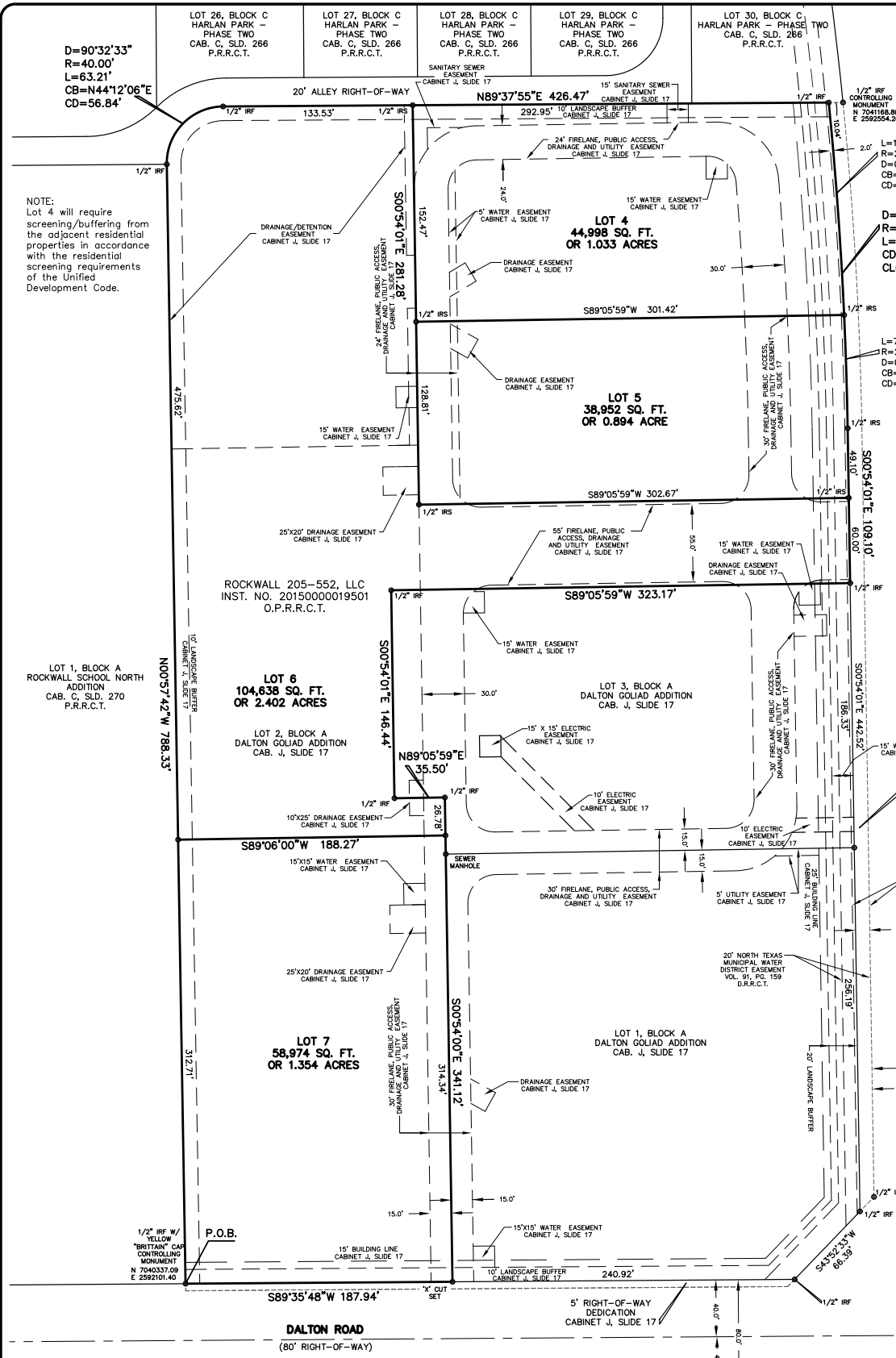
DALTON GOLIAD ADDITION
LOTS 1-3, BLOCK A

BEING 9.232 ACRES OUT OF THE
T. R. BAILEY SURVEY, ABSTRACT NO. 30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
JANUARY 2016

CASE NO. P2016-034

JOB NO.: 15-1216	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 1/14/2016	www.peisersurveying.com		
SCALE: 1" = 50'	623 E. DALLAS ROAD GRAPEVINE, TEXAS 76051 817-481-1806 (O) 817-481-1809 (F)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	2
DRAWN: J.B.W.	tmankin@peisersurveying.com	FIRM No. 100999-00	OF
		Member Since 1977	2

Dalton Goliad Addition
Lots 1-3, Block A
Final Plat



General Items:

- i - Must meet City Standards of Design and Construction
- i - 4% Engineering Inspection Fees
- i - Impact Fees (Water, Wastewater & Roadway)
- i - Minimum easement width is 20'. No structures allowed in easements.
- i - Retaining walls 3' and over must be engineered.
- i - All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- i - Drainage from the site must follow the approved drainage area map. (See attached as-builts)
- i - dependent on future use runoff from dumpster and other source to go through oil/water separator before draining to the storm lines.

Water and Wastewater Items:

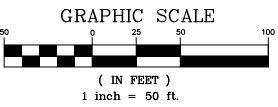
- i - 8" water will need to be extended across to the edge of the concrete on the north (as shown)
- i - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).

Roadway Paving Items:

- i - Parking to be 20'x9'.
- i - Drive isles to be 24' wide.
- i - No deadend parking allowed. Must connect through if you have two way traffic.

Landscaping:

- i - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- i - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



CASE NO. _____

JOB NO.: 15-1216
DATE: 10/21/2020

SCALE: 1" = 50'
DRAWN: J.B.W.

PEISER & I
www.1

1604 HART STREET
SOUTHLAKE, TEXAS 76092
817-481-1806 (O)

COMMERCIAL
RESIDENTIAL
BOUNDARIES
TOPOGRAPHY
MORTGAGE

Texas Society of Professional Surveyors
Member Since 1977

1 OF 2

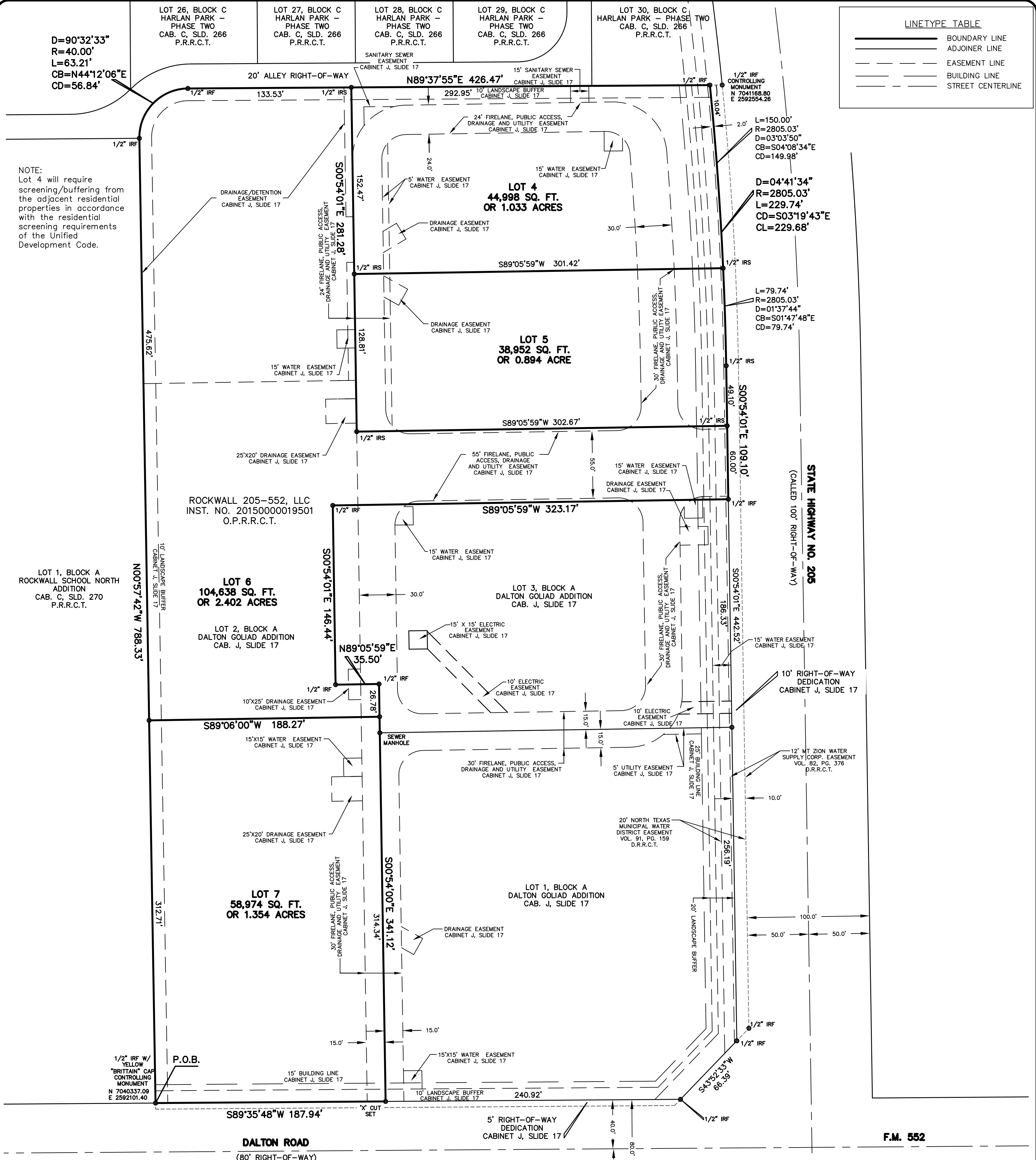
LOT 26, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 27, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 28, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 29, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 30, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.

LINETYPE TABLE

	BOUNDARY LINE
	ADJOINER LINE
	EASEMENT LINE
	BUILDING LINE
	STREET CENTERLINE

D=90°32'33"
 R=40.00'
 L=63.21'
 CB=N44°12'06"E
 CD=56.84'

NOTE:
 Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.



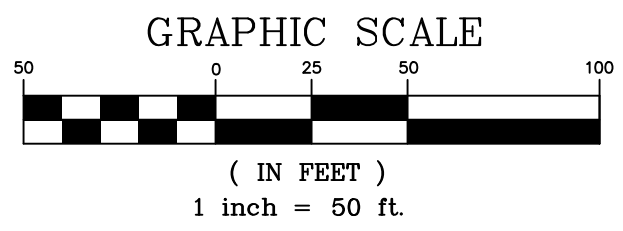
STATE HIGHWAY NO. 205
 (CALLED 100' RIGHT-OF-WAY)

10' RIGHT-OF-WAY DEDICATION
 CABINET J, SLIDE 17

12' MT ZION WATER SUPPLY (CORP. EASEMENT VOL. 82, PG. 376 P.R.R.C.T.)

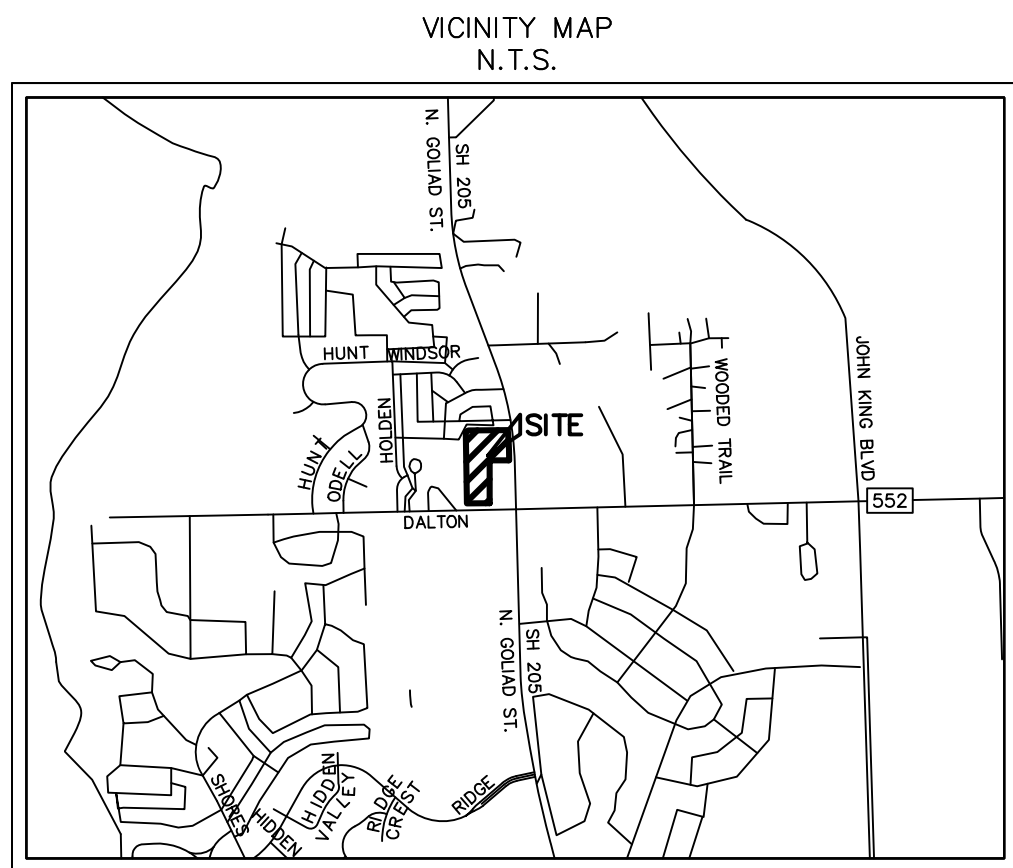
20' NORTH TEXAS MUNICIPAL WATER DISTRICT EASEMENT VOL. 91, PG. 159 D.R.R.C.T.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
 DALTON GOLIAD ADDITION
 LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CASE NO. _____

JOB NO.: 15-1216	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE
DATE: 10/21/2020		
SCALE: 1" = 50'	1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	FIRM No. 100999-00 Member Since 1977
DRAWN: J.B.W.	tmankin@peisersurveying.com	SHEET 1 OF 2



- NOTES:
1. IRF – Iron Rod Found
 2. IRS – Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 4. P.O.B. – Point of Beginning.
 5. O.P.R.D.C.T. – Official Public Records, Collin County, Texas.
 6. D.R.C.C.T. – Deed Records, Collin County, Texas.
 7. Bearings based on the Texas State Plano Coordinate System, North Central Zone 4202, NAD83, as derived by field observations utilizing the RTK Network Administrated by Western Hunk Systems.
 8. SLD. – SLIDE
 9. CAB. – CABINET
 10. This Final Plat is for conveyance only and not for the development of the subject property.
 11. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

RECOMMENDED FOR FINAL APPROVAL

 Planning & Zoning Commission, Chairman Date

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

 Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

11/09/2020 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

 Timothy R. Mankin Date
 Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
 STATE OF TEXAS
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this _____ day of _____, 2020

ROCKWALL 205-552, LLC

 By: DONALD L. SILVERMAN, MANAGER

STATE OF TEXAS:
 COUNTY OF DALLAS:
 BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared DONALD L. SILVERMAN, MANAGER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

 NOTARY PUBLIC in and for the STATE OF TEXAS

ENGINEER: OWNER:
 VASQUEZ ENGINEERING, L.L.C. ROCKWALL 205-552, LLC
 1919 S. SHILOH ROAD 4622 MAPLE AVE.
 SUITE 440, LB 44 SUITE 200
 GARLAND, TEXAS 75042 DALLAS, TEXAS 75219
 972-278-2948 214-393-3983
 CONTACT: JUAN VASQUEZ, P.E.

OWNER'S CERTIFICATION
 WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:
 BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being a portion of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under Instrument Number 2015000019501, Deed Records, Rockwall County, Texas, and being all of Lot 2, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 17, Plat Records, Rockwall County, Texas, and being more particularly described as follows;
 BEGINNING at a 1/2 inch iron rod with yellow "Brittain" cap found for the Southwest corner of said Rockwall 205 tract, same being the Southwest corner of said Lot 2, same being the Southeast corner of Lot 1, Block A, Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 270, Plat Records, Rockwall County, Texas, same being in the North right-of-way line of Dalton Road (80 foot right-of-way);
 THENCE North 00 deg. 57 min. 42 sec. West, along the common line of said Lot 2 and said Rockwall School North Addition, a total distance of 788.33 feet to a 1/2 inch iron rod found for the most westerly Northwest corner of said Lot 2, same being the Northeast corner of said Rockwall School North Addition, same being in the South line of a 20 foot alley in Block C, Harlan Park – Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;
 THENCE along the common line of said Lot 2 and said Block C as follows:
 Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;
 North 89 deg. 37 min. 55 sec. East, a distance of 426.47 feet to a 1/2 inch iron rod found for the Northeast corner of said Lot 2, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2805.03 feet, a central angle of 04 deg. 41 min. 34 sec., and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet;
 THENCE along the common line of said Lot 2 and said State Highway No. 205 as follows:
 Along said non-tangent curve to the right, an arc distance of 229.74 feet to a 1/2 inch iron rod set with "Peiser & Mankin SURV" red plastic cap for angle point;
 South 00 deg. 54 min. 01 sec. East, a distance of 109.10 feet to a 1/2 inch iron rod found for the most easterly Southeast corner of said Lot 2, same being the Northeast corner of Lot 3, Block A, said Dalton Goliad Addition;
 THENCE along the common line of said Lot 2 and said Lot 3 as follows:
 South 89 deg. 05 min. 59 sec. West, a distance of 323.17 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 01 sec. East, a distance of 146.44 feet to a 1/2 inch iron rod found for corner;
 North 89 deg. 05 min. 59 sec. East, a distance of 35.50 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 00 sec. West, passing a 1/2 inch iron rod found for the Southwest corner of said Lot 3, same being the Northwest corner of Lot 1, Block A, said Dalton Goliad Addition, and continuing along the common line of said Lot 2 and said Lot 1, a total distance of 341.12 feet to a 1/2 inch iron rod found for the Southeast corner of said Lot 2, same being the Southwest corner of said Lot 1, same being in the northerly right-of-way line of aforesaid Dalton Road;
 THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. _____		JOB NO.: 15-1216		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET
DATE: 10/09/2020		DATE: 10/09/2020			
SCALE: 1" = 50'		DRAWN: J.B.W.		 1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	OF
				COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	2
				 Member Since 1977	
		tman@peisersurveying.com FIRM No. 100999-00			



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: December 7, 2020
APPLICANT: Juan J. Vasquez; *Vasquez Engineering, LLC*
CASE NUMBER: P2020-048; *Lots 4-7, Block A, Dalton Goliad Addition*

SUMMARY

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 5.683-acre parcel of land (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) in order to subdivide one (1) lot (*i.e. Lot 2, Block A, Dalton Goliad Addition*) into four (4) lots for purpose of conveying property. Staff should note that the site will not be developed and no permits will be issued without first having an approved site plan, civil engineering plans, and a replat of the property in accordance with the development procedures outlined in the Municipal Code of Ordinances and the Unified Development Code (UDC).
- On February 15, 2016, the City Council approved a preliminary plat [Case No. P2016-004] for the purpose of laying out regional detention, preliminary utility, and drainage plans for six (6) non-residential lots zoned General Retail (GR) District. On April 12, 2016, the Planning and Zoning Commission approved a site plan [Case No. SP2016-005] for the construction of an ~11,334 SF retail building (*i.e. Goliad Retail*), which is currently located on Lot 3. On May 10, 2016, the Planning and Zoning Commission approved a site plan [Case No. SP2016-007] for the construction of an ~18,663 SF grocery store (*i.e. Aldi Food Store*), which is currently located on Lot 1. On August 1, 2016, the City Council approved a final plat [Case No. P2016-034] allowing development of three (3) lots within the subdivision. On August 7, 2017, the City Council approved a Specific Use Permit (SUP #S-171- Ordinance No. 17-39) [Case No. Z2017-029] to allow for a restaurant greater than 2,000 SF with a drive-through (*i.e. Freddy's Frozen Custard*). On September 12, 2017, the Planning and Zoning Commission approved a site plan [Case No. SP2017-024] for the construction of a ~2,822 SF restaurant with a drive-through for the subject property. Additionally, on September 18, 2017, the City Council approved a variance to allow the restaurant to have a flat roof in lieu of a pitched roof as required by the North SH-205 Overlay (N SH-205 OV) District; however, the building was never constructed and the SUP and the site plan have since expired. The remaining lots are vacant.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Replat for *Lots 4-7, Block A, Dalton Goliad Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 24, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the replat with the conditions of approval by a vote of 4-0, with Commissioners Chodun, Thomas, and Deckard absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 72020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹ CONVEYANCE PLAT
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S. Hwy 205

Subdivision Dalton Goliad Addition

Lot 2

Block A

General Location northwest corner of Dalton Road and S.H. 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GR w/N SH 205 Overlay

Current Use vacant/detention pond

Proposed Zoning Same

Proposed Use commercial/retail uses

Acreage 5.683

Lots [Current] 1

Lots [Proposed] 4

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Rockwall 205-552, LLC

Applicant Vasquez Engineering, LLC

Contact Person Donald L. Silverman

Contact Person Juan J. Vasquez

Address 4622 Maple Ave.
Suite 200

Address 1919 S. Shiloh Road
Suite 440

City, State & Zip Dallas, TX 75219

City, State & Zip Garland, TX 75042

Phone 214-393-3983

Phone 972-278-2948

E-Mail jholman@voyagerinvestments.com

E-Mail jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

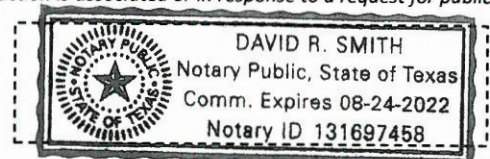
Before me, the undersigned authority, on this day personally appeared Juan J Vasquez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 413.66, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of November, 20 20.

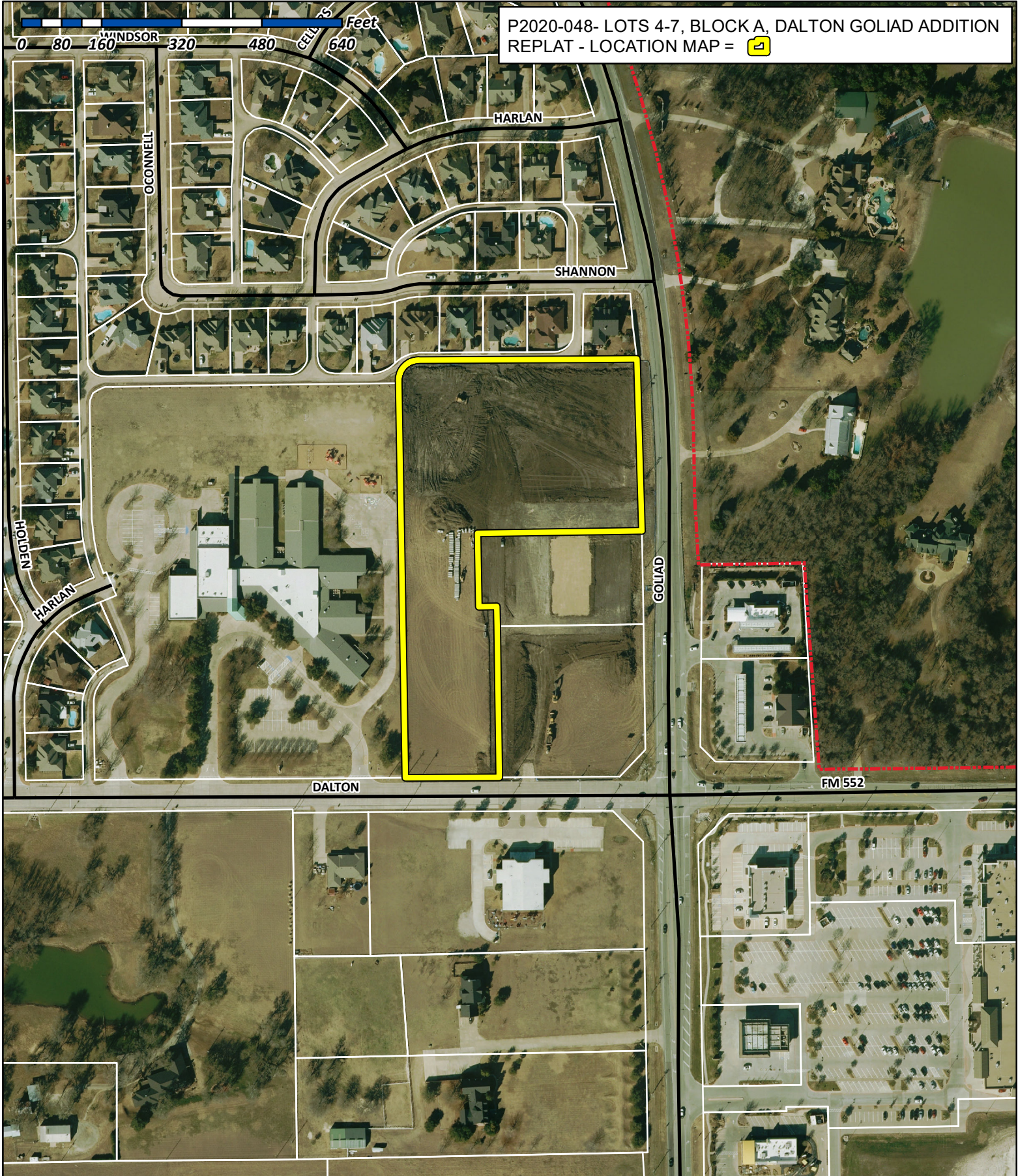
Juan J Vasquez
Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

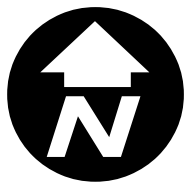
08/24/2022



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

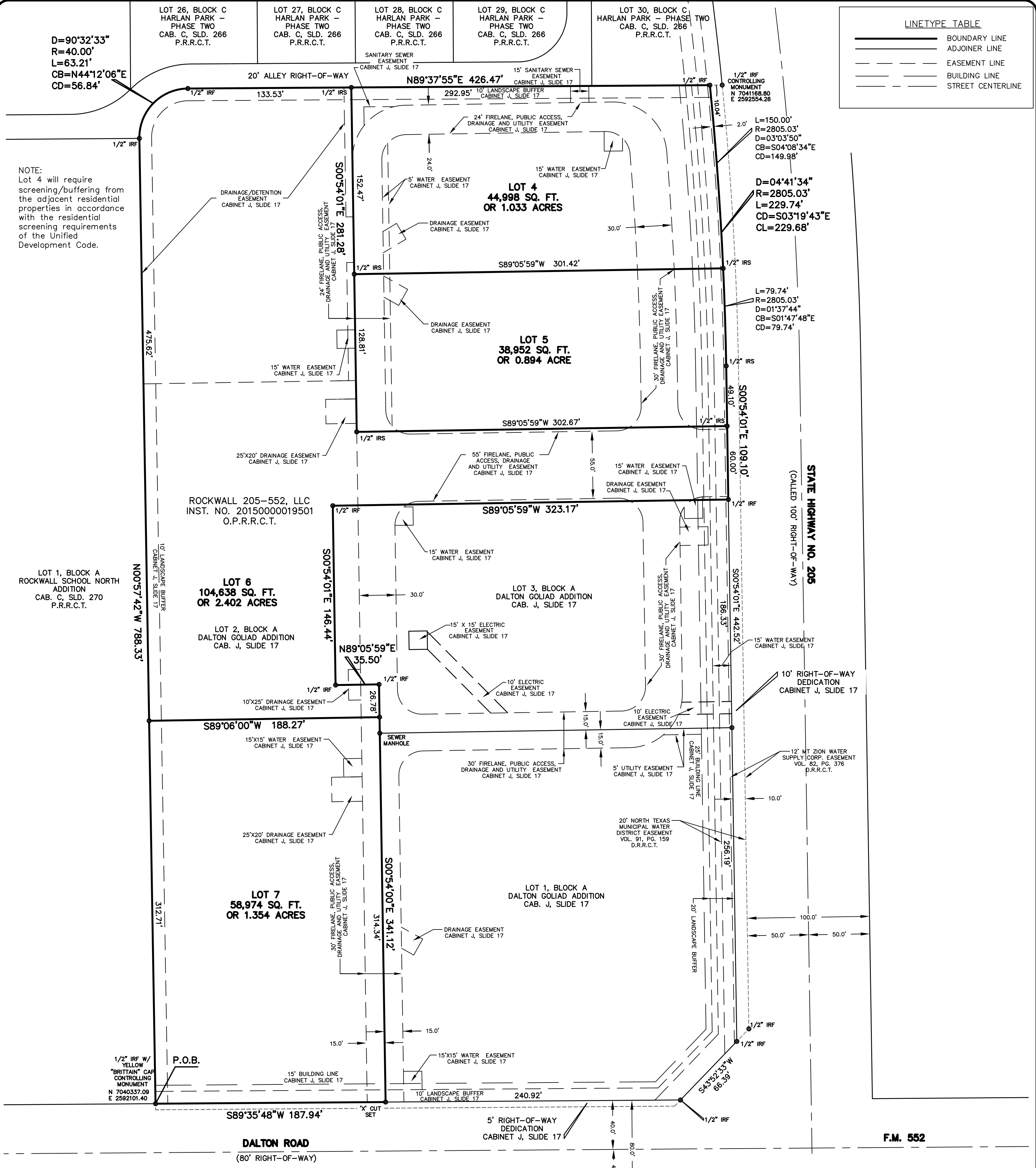


LOT 26, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 27, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 28, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 29, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 30, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.

LINETYPE TABLE	
	BOUNDARY LINE
	ADJOINER LINE
	EASEMENT LINE
	BUILDING LINE
	STREET CENTERLINE

D=90°32'33"
 R=40.00'
 L=63.21'
 CB=N44°12'06"E
 CD=56.84'

NOTE:
 Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.



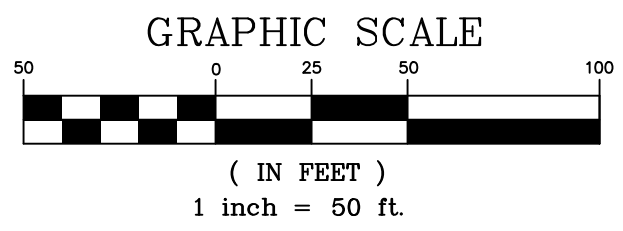
STATE HIGHWAY NO. 205
 (CALLED 100' RIGHT-OF-WAY)

10' RIGHT-OF-WAY DEDICATION
 CABINET J, SLIDE 17

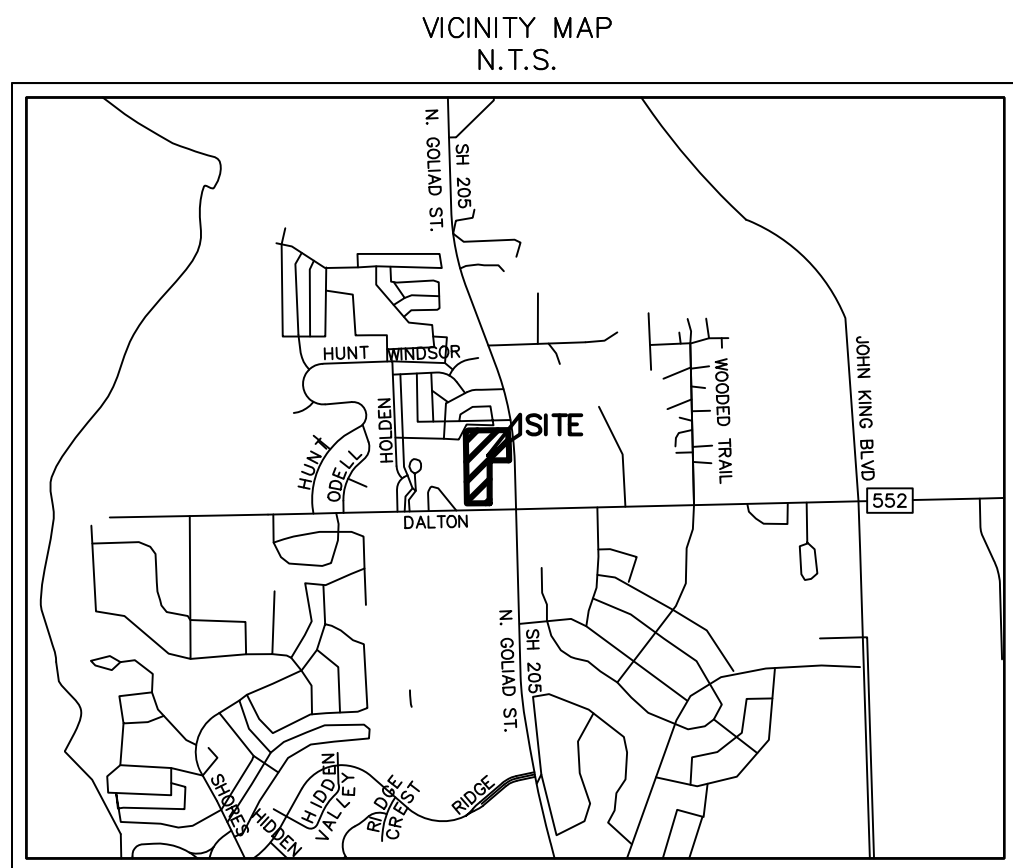
12' MT ZION WATER SUPPLY (CORP. EASEMENT VOL. 82, PG. 376 P.R.R.C.T.)

20' NORTH TEXAS MUNICIPAL WATER DISTRICT EASEMENT VOL. 91, PG. 159 D.R.R.C.T.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
 DALTON GOLIAD ADDITION
 LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CASE NO. _____		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com		SHEET
JOB NO.: 15-1216	DATE: 10/21/2020			
SCALE: 1" = 50'	DRAWN: J.B.W.	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE Member Since 1977	OF	
1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)		FIRM No. 100999-00	2	



- NOTES:
1. IRF – Iron Rod Found
 2. IRS – Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 4. P.O.B. – Point of Beginning.
 5. O.P.R.D.C.T. – Official Public Records, Collin County, Texas.
 6. D.R.C.C.T. – Deed Records, Collin County, Texas.
 7. Bearings based on the Texas State Plano Coordinate System, North Central Zone 4202, NAD83, as derived by field observations utilizing the RTK Network Administrated by Western Hunk Systems.
 8. SLD. – SLIDE
 9. CAB. – CABINET
 10. This Final Plat is for conveyance only and not for the development of the subject property.
 11. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

RECOMMENDED FOR FINAL APPROVAL

 Planning & Zoning Commission, Chairman Date

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

 Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

11/09/2020 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

 Timothy R. Mankin Date
 Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
 STATE OF TEXAS
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this _____ day of _____, 2020

ROCKWALL 205-552, LLC

 By: DONALD L. SILVERMAN, MANAGER

STATE OF TEXAS:
 COUNTY OF DALLAS:
 BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared DONALD L. SILVERMAN, MANAGER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

 NOTARY PUBLIC in and for the STATE OF TEXAS

ENGINEER: OWNER:
 VASQUEZ ENGINEERING, L.L.C. ROCKWALL 205-552, LLC
 1919 S. SHILOH ROAD 4622 MAPLE AVE.
 SUITE 440, LB 44 SUITE 200
 GARLAND, TEXAS 75042 DALLAS, TEXAS 75219
 972-278-2948 214-393-3983
 CONTACT: JUAN VASQUEZ, P.E.

OWNER'S CERTIFICATION
 WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:
 BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being a portion of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under Instrument Number 2015000019501, Deed Records, Rockwall County, Texas, and being all of Lot 2, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 17, Plat Records, Rockwall County, Texas, and being more particularly described as follows;
 BEGINNING at a 1/2 inch iron rod with yellow "Brittain" cap found for the Southwest corner of said Rockwall 205 tract, same being the Southwest corner of said Lot 2, same being the Southeast corner of Lot 1, Block A, Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 270, Plat Records, Rockwall County, Texas, same being in the North right-of-way line of Dalton Road (80 foot right-of-way);
 THENCE North 00 deg. 57 min. 42 sec. West, along the common line of said Lot 2 and said Rockwall School North Addition, a total distance of 788.33 feet to a 1/2 inch iron rod found for the most westerly Northwest corner of said Lot 2, same being the Northeast corner of said Rockwall School North Addition, same being in the South line of a 20 foot alley in Block C, Harlan Park – Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;
 THENCE along the common line of said Lot 2 and said Block C as follows:
 Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;
 North 89 deg. 37 min. 55 sec. East, a distance of 426.47 feet to a 1/2 inch iron rod found for the Northeast corner of said Lot 2, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2805.03 feet, a central angle of 04 deg. 41 min. 34 sec., and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet;
 THENCE along the common line of said Lot 2 and said State Highway No. 205 as follows:
 Along said non-tangent curve to the right, an arc distance of 229.74 feet to a 1/2 inch iron rod set with "Peiser & Mankin SURV" red plastic cap for angle point;
 South 00 deg. 54 min. 01 sec. East, a distance of 109.10 feet to a 1/2 inch iron rod found for the most easterly Southeast corner of said Lot 2, same being the Northeast corner of Lot 3, Block A, said Dalton Goliad Addition;
 THENCE along the common line of said Lot 2 and said Lot 3 as follows:
 South 89 deg. 05 min. 59 sec. West, a distance of 323.17 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 01 sec. East, a distance of 146.44 feet to a 1/2 inch iron rod found for corner;
 North 89 deg. 05 min. 59 sec. East, a distance of 35.50 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 00 sec. West, passing a 1/2 inch iron rod found for the Southwest corner of said Lot 3, same being the Northwest corner of Lot 1, Block A, said Dalton Goliad Addition, and continuing along the common line of said Lot 2 and said Lot 1, a total distance of 341.12 feet to a 1/2 inch iron rod found for the Southeast corner of said Lot 2, same being the Southwest corner of said Lot 1, same being in the northerly right-of-way line of aforesaid Dalton Road;
 THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. _____		JOB NO.: 15-1216		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET
DATE: 10/09/2020		DATE: 10/09/2020			
SCALE: 1" = 50'		DRAWN: J.B.W.		 1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	OF
				COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	2
				 Member Since 1977	
		tman@peisersurveying.com FIRM No. 100999-00			



December 10, 2020

TO: Juan J. Vasquez
Vasquez Engineering, LLC
1919 S Shiloh Road, Suite 440
Garland, TX 75042

COPY: Donald L. Silverman
Rockwall 205-552, LLC
4622 Maple Ave, Suite 200

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2020-048; Lots 4-7, Block A, Dalton Goliad Addition

Juan J. Vasquez:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on December 7, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 24, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the replat with the conditions of approval by a vote of 4-0, with Commissioners Chodun, Thomas, and Deckard absent.

City Council

On December 7, 2020, the City Council approved a motion to approve the replat (conveyance plat) with the conditions of approval by a vote of 6-0, with Council Member Campbell absent.

Prior to submitting the required materials for filing, please send or submit a physical or digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- at a minimum -- the following:

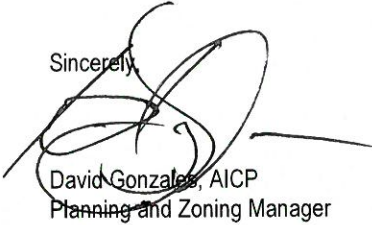
- (1) One (1) set of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for \$130.00 for the filing fees made out to the *Rockwall County Clerk's Office*.

Please note that the filling fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the *Rockwall County Clerk's Office*. In addition, if you are submitting mylars between September 1st and December 31st, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the

property being platted, a statement/letter from the *Rockwall Central Appraisal District (RCAD)* and an additional \$4.00 filing fee will be required to be submitted to staff.

All plats must be submitted to the City with the required filing fees and tax certificates a minimum of 180-days from the approval date. Failure to miss this deadline, will result in the plat being expired in accordance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "David Gonzalez", is written over the word "Sincerely,". A horizontal line extends from the right side of the signature.

David Gonzalez, AICP
Planning and Zoning Manager

Gonzales, David

From: Gonzales, David
Sent: Tuesday, December 8, 2020 9:14 AM
To: 'jvasquez@vasquezengineering.com'
Subject: Dalton Goliad Addition
Attachments: Project Comments (11.20.2020).pdf

Juan,

The City Council took action on the conveyance plat last night; however, I do not have the revisions for the plat. I am attaching staff comments for your review.

Let me know if you have any questions.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

Gonzales, David

From: Gonzales, David
Sent: Friday, November 6, 2020 5:26 PM
To: 'jvasquez@vasquezengineering.com'
Subject: RE: Dalton Goliad Addition

Juan,

Yes, all is good, hope the same for you. As you may know, a conveyance plat is a final plat for recording purposes; however, the conveyance plat is also referred to as a sales plat and does not include any new easements, etc. I have not reviewed the plat for other technical criteria; however, with this being said, please be sure to include the following language on the plat under or added as General Notes on the front page of the plat:

1. Add the following language under "Notes";

- a. This Final Plat is for conveyance purposes only and not for the development of the subject property.
- b. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

2. Change the Title Block to read as follows:

Final Plat
Being a Conveyance Plat for
Dalton Goliad Addition
Lots 4-7, Block A
Being a Replat of Lots 2, Block A
Dalton Goliad Addition,
T.R. Bailey Survey, Abstract No. 30
City of Rockwall, Rockwall County, Texas

Once we receive the plat on our next submittal deadline (i.e. November 13, 2020), I will provide all other comments.

Let me know if you have any further questions.

Thank you,



DAVID GONZALES, AICP

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From: jvasquez@vasquezengineering.com [mailto:jvasquez@vasquezengineering.com]
Sent: Wednesday, November 4, 2020 9:36 AM
To: Gonzales, David
Subject: Dalton Goliad Addition

David,

Hope you are doing well. I know that you have had a pre-development meeting with a potential car wash at the Dalton Goliad Addition (Lot 5). As you may know, I work for the property developer and he would like to go ahead and submit a Conveyance Plat for the remainder of the development if possible. This would allow him to convey the lots. I have attached a copy of current conveyance plat that we would like to submit for review next Friday.

If you see any issues please let me know if not please expect our submittal on the 13th.

Thanks, Juan

Juan J. Vasquez, P.E.
Vasquez Engineering, L.L.C.
1919 S. Shiloh Rd
Suite 440
Garland, TX 75042
972-278-2948 tele
469-951-3526 cell



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Gonzales, David

From: Juan Vasquez <jvasquez@vasquezengineering.com>
Sent: Tuesday, December 8, 2020 8:34 PM
To: Gonzales, David
Subject: RE: Dalton Goliad Addition

David,

Yes, I was there last night. The only comment that I see is to add the Project Number on each page. The engineering comments are all informational. As soon as the surveyor adds the project number I will send you a PDF for final approval before submitting final originals for signature.

FYI my dad is in the hospital, so I will try and get to you as soon as I am able.

Juan

Juan J. Vasquez, P.E.
Vasquez Engineering, L.L.C.
1919 S. Shiloh Rd
Suite 440
Garland, TX 75042
972-278-2948 tele
469-951-3526 cell

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Let me know if you have any questions.

Thank you,



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Gonzales, David

From: Gonzales, David
Sent: Friday, November 20, 2020 3:39 PM
To: 'Juan Vasquez'
Cc: 'jholman@voyageinvestments.com'
Subject: P&Z Meeting Next Week
Attachments: Packet [P&Z] (11.24.2020).pdf

Please find attached staff's memo for your request. The Planning Commission will be taking action next week on Tuesday, November 24, 2020. Although this item is on the Consent Agenda, you may want to be present should the commission have any questions, but is not required. The Planning and Zoning Commission meeting is scheduled for 6:00 p.m. in the City's Council Chambers. Please be sure that all staff comment are addressed prior to submittal on mylar.

Please see all scheduled meetings in staff comments.

Do not hesitate to contact me should you have any questions.

Thank you,



DAVID GONZALES, AICP

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Thank you,



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