



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # P2020-044 P&Z DATE 11/10/20 CC DATE 11/16/20 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input checked="" type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address NW/ FM 552 /John King

Subdivision Saddle Star North - 44.56 Lot _____ Block _____

General Location NW/ FM 552 /John King

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Plan Development 102015-084-80 Current Use Ag

Proposed Zoning Plan Development 80 Proposed Use Single Family

Acreage 44.56 Lots [Current] 1 Lots [Proposed] 92

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>CDGT / Rockwall / 2016 LLC</u>	<input type="checkbox"/> Applicant	<u>KPA Consulting</u>
Contact Person	<u>Pat Atkins</u>	Contact Person	<u>Pat Atkins</u>
Address	<u>3076 Hays Ln.</u>	Address	<u>3076 Hays Ln.</u>
City, State & Zip	<u>Rockwall, TX 75087</u>	City, State & Zip	<u>Rockwall, TX 75087</u>
Phone	<u>972-388-6383</u>	Phone	<u>972-388-6383</u>
E-Mail	<u>kpatatkins@gmail.com</u>	E-Mail	<u>kpatatkins@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires



RockwallPLL

Receipt#: 2012

Date: 10/16/2020

City of Rockwall
The New Horizon

Payment Receipt

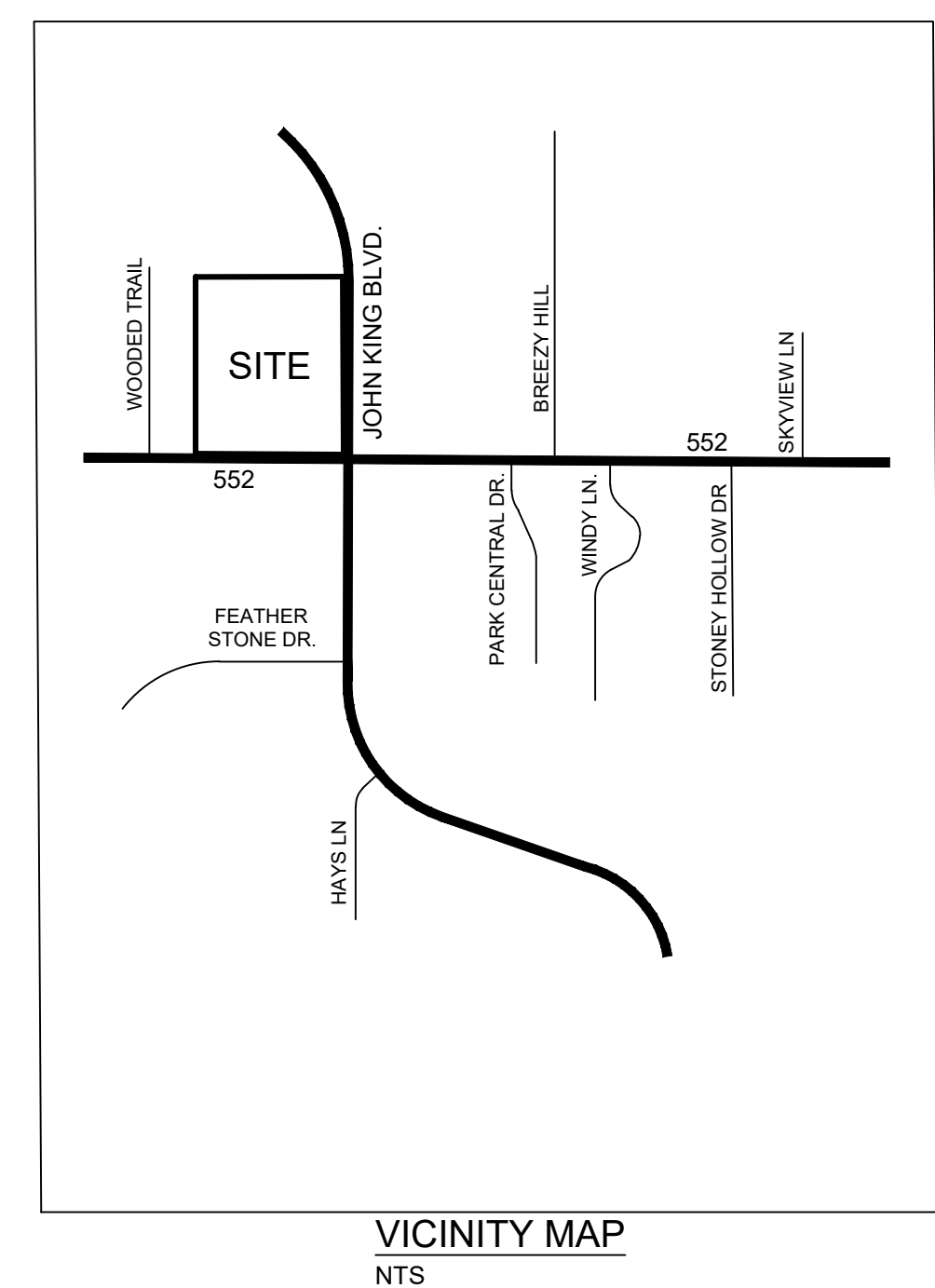
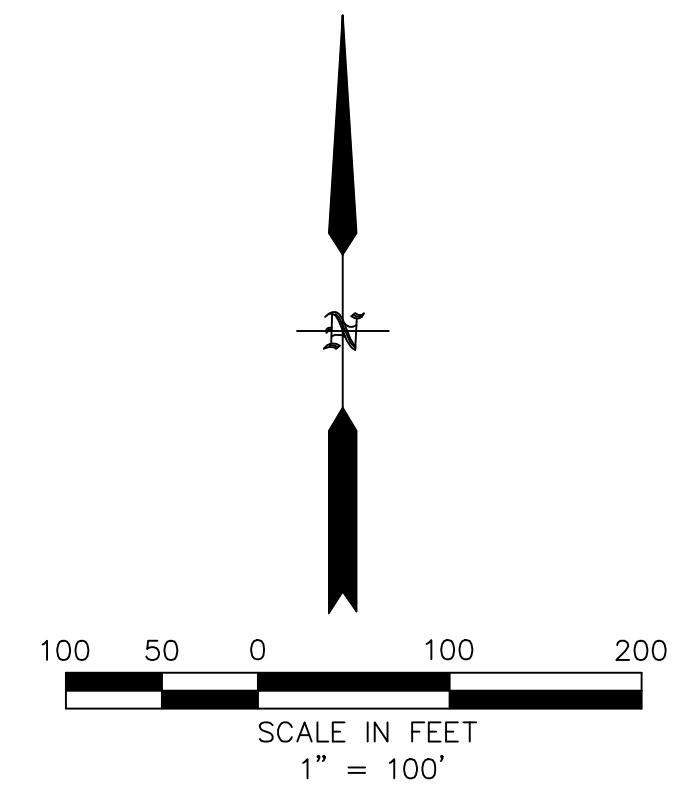
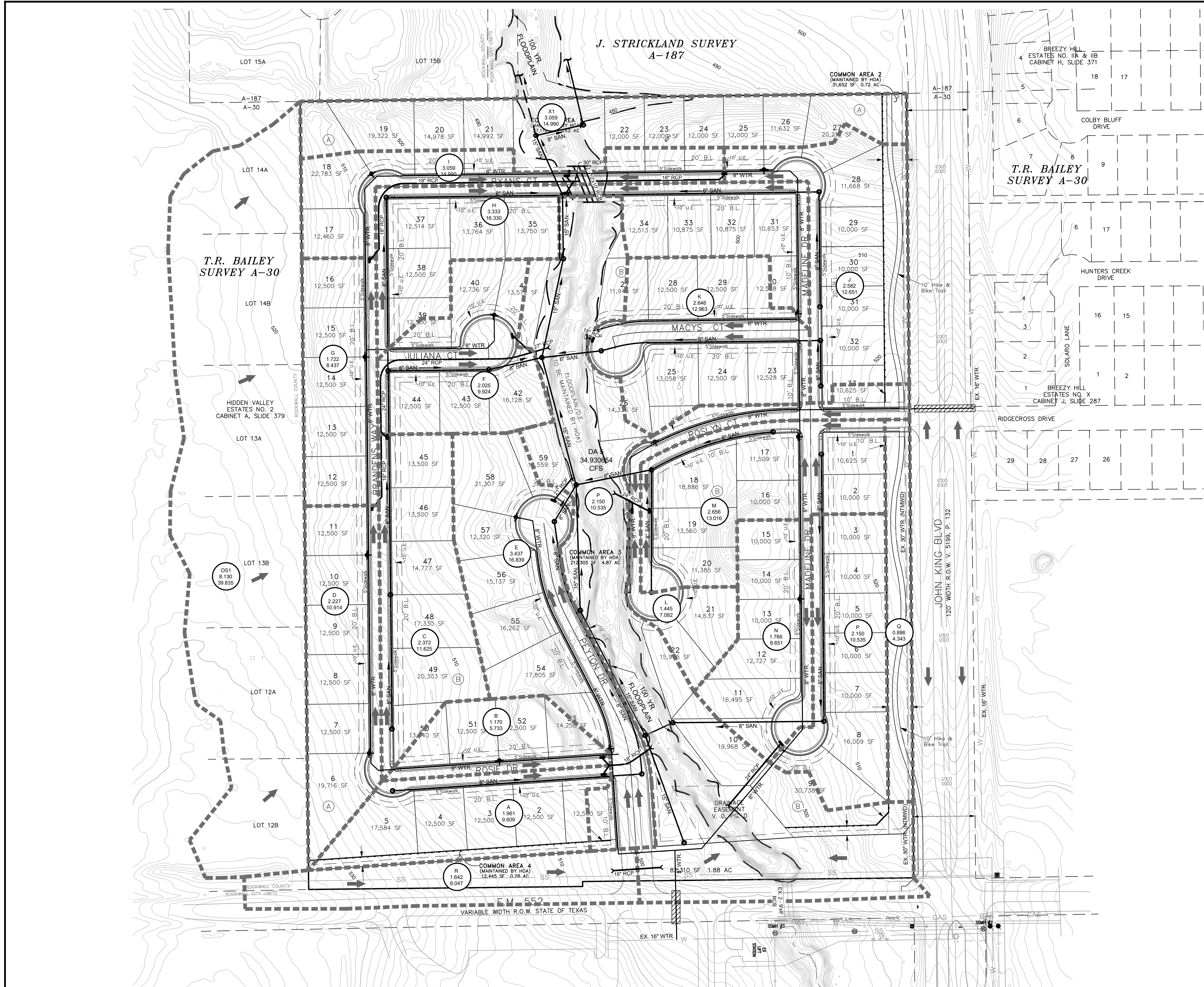
Invoice #	Case Type	Case Number	Sub Type
	PZPLATAPP	P2020-044	PZPRELIMPL

Tender Type / Description	Amount
CHECK- CHECK	868.40
Sub Total:	868.40

Fees:

Fee Codes / Description	Amount
PZPRELPLAT- PZ - Preliminary Plat App Fee	868.40
Sub Total:	868.40

Total Amount Due:	868.40
Total Payment:	868.40



----- DRAINAGE AREA BOUNDARY
 ○ 0.886
 ○ 4.343
 ○ DRAINAGE AREA
 ○ DRAINAGE AREA ACREAGE
 ○ DRAINAGE AREA "Q"

Q = CIA
 C = 0.50
 I = 9.80

NOTE:
 STORM SEWER MAINS ARE TO BE LOCATED ON THE CL OF ROADS. IN PLACES WHERE STORM SEWER MAINS AND DRAINAGE AREA BOUNDARIES COINCIDED, THE STORM SEWER IS GRAPHICALLY SHOWN NEXT TO THE CL FOR CLARITY.

CAUTION! EXISTING UTILITIES
 CONTRACTOR SHOULD CALL 1-800-DIG-TISS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
 BM#1 (#102)
 CIR'S "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
 ELEVATION = 531.58
 BM#43 (#108)
 CIR'S "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHWEST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
 ELEVATION = 557.33'

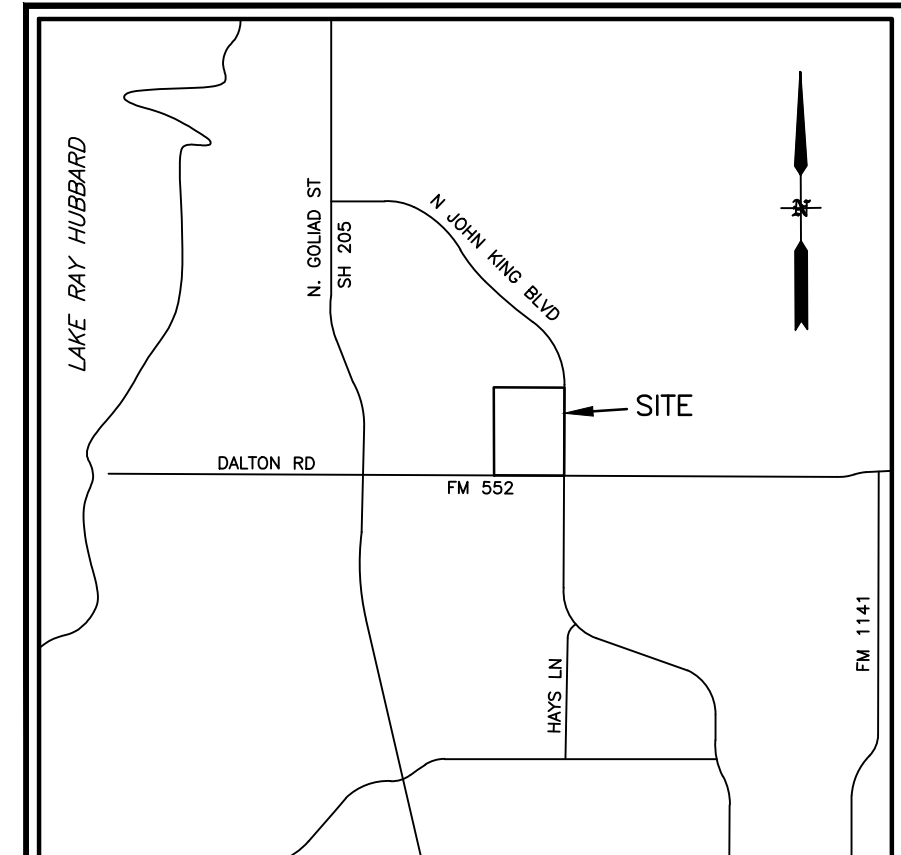
ENGINEERINGCONCEPTS & DESIGN, L.P.
 ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-00145
 201 WINDCO CIR, STE 200, WYLIE, TX 75098
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: RH	DATE:
CHECKED: RCK	DATE: 10/16/2020
PROJECT NO.: 6812	
DWG FILE NAME: 2020-10-16 6812 PRELIMENGR.DWG	

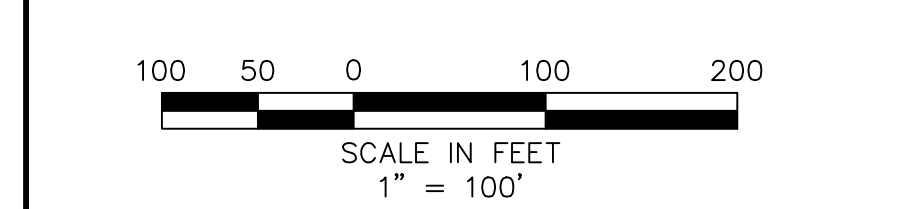
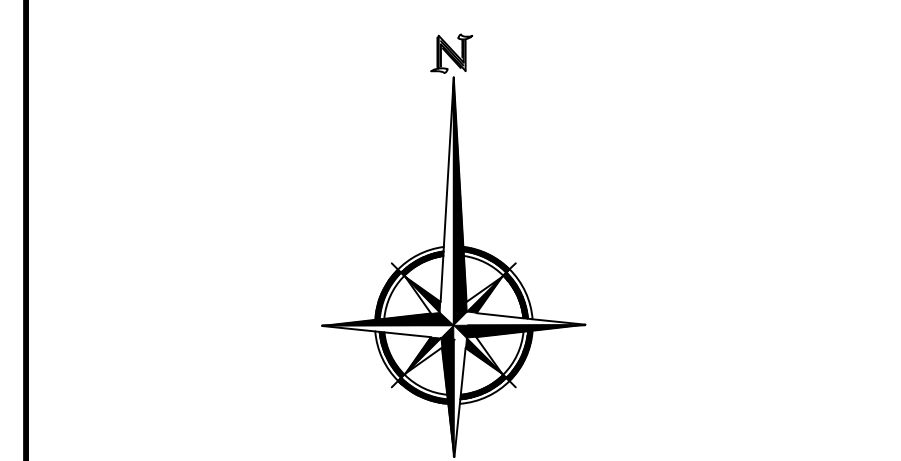
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RYAN C. KING, P.E. (123635) ON 10/16/2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

PRELIMINARY DRAINAGE PLAN
SADDLE STAR NORTH
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
 1
 OF
 2

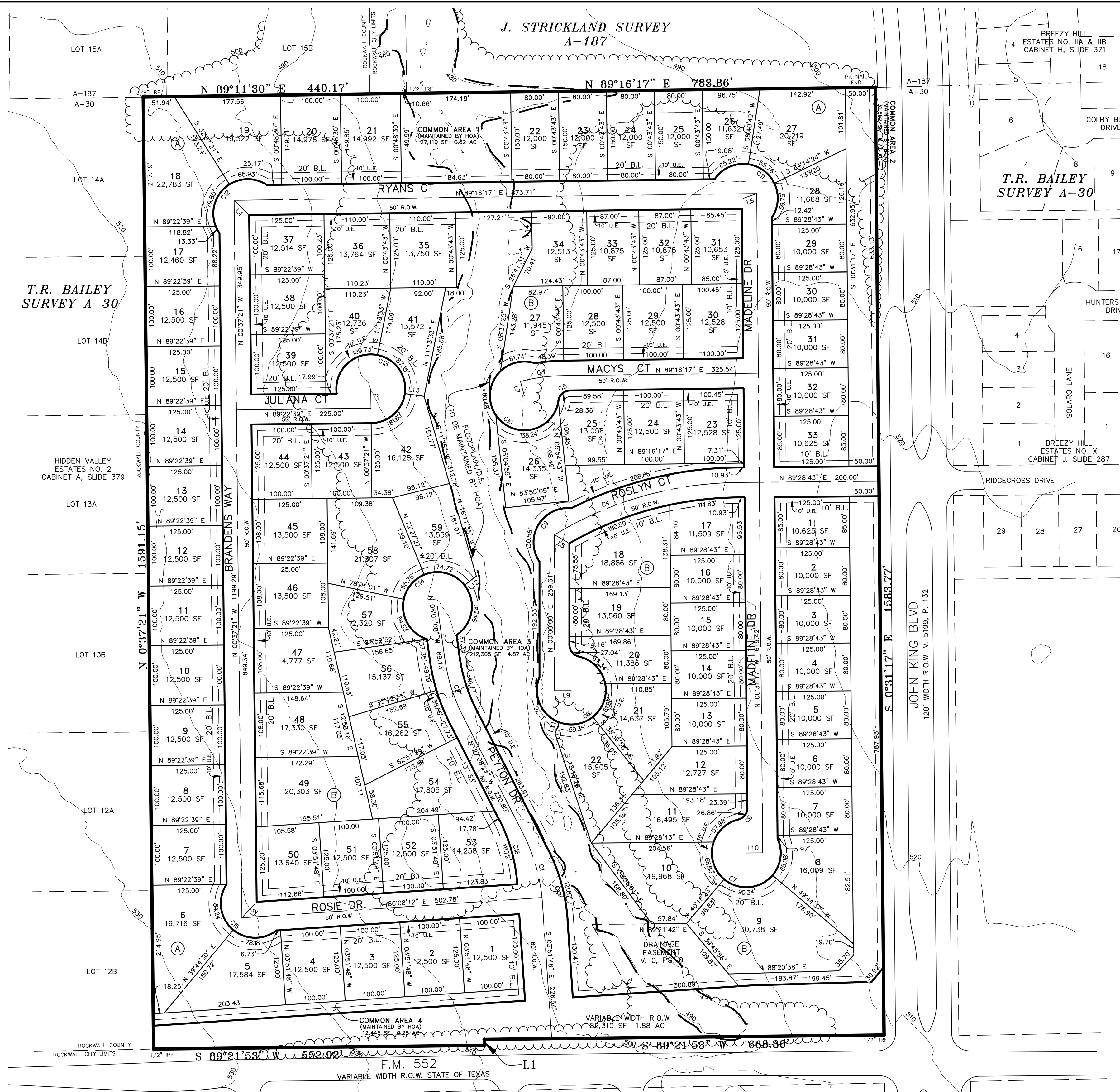


VICINITY MAP
N.T.S.



REVIEWED FOR PRELIMINARY APPROVAL
 Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT
 Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____



J. STRICKLAND SURVEY
A-187

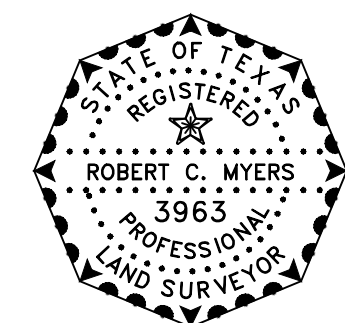
T.R. BAILEY SURVEY A-30

NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	10.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	81°15'18"	20.00'	17.16'	28.36'	S 48°38'38" W	26.05'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	28°10'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
 That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
 GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
 Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
 ROBERT C. MYERS
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 3963



Notes:

- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
- A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
- By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability of water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The Open Space Lots to be maintained by the Homeowners Association (HOA).

ZONING DISTRICT: PD-80
 OPEN SPACE = 6.508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3078 HAYS LANE
 ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcm@rcmyersurveying.com
 FIRM NO. 10192300 JOB NO. 510

PRELIMINARY PLAT
 Case No. PP2020-000
SADDLE STAR ESTATES NORTH
 92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES
 SITUATED IN THE
 T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401
 DATE: OCTOBER 16, 2016 CASE NO. PP2020-000 SHEET 1 OF 1

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

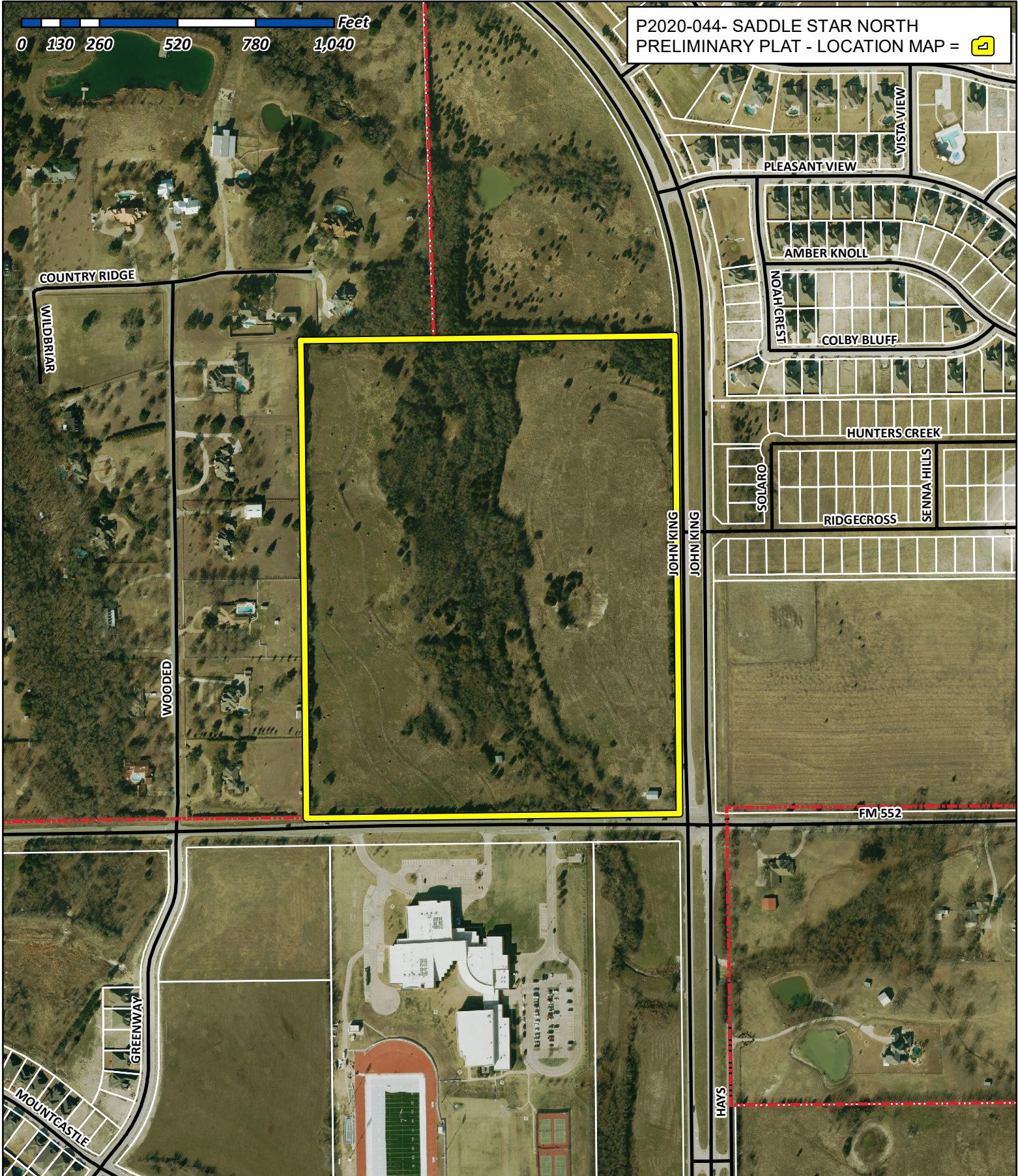
North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	NW/ FM 552 /John King		
Subdivision	Saddle Star North - <u>44.56</u>	Lot	Block
General Location	NW/ FM 552 /John King		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Plan Development <u>102015-08A-80</u>	Current Use	Ag	
Proposed Zoning	Plan Development <u>80</u>	Proposed Use	Single Family	
Acreage	<u>44.56</u>	Lots [Current]	1	Lots [Proposed]
				92

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	CDGT / <u>Rockwall / 2016 LLC</u>	<input type="checkbox"/> Applicant	KPA Consulting
Contact Person	Pat Atkins	Contact Person	Pat Atkins
Address	3076 Hays Ln.	Address	3076 Hays Ln.
City, State & Zip	Rockwall, TX 75087	City, State & Zip	Rockwall, TX 75087
Phone	972-388-6383	Phone	972-388-6383
E-Mail	kpatatkins@gmail.com	E-Mail	kpatatkins@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires



DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:

- ONE (1) PDF COPY OF THE PLAT
- ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
 - SITE PLAN.
 - LANDSCAPE PLAN.
 - TREESCAPE PLAN.
 - PHOTOMETRIC PLAN.
 - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

Case Type:

- Minor/Amending Plat Replat
 Final Plat Preliminary Plat
 Master Plat Vacation Plat

Case Number

Reviewed By:

Review Date:

NOTES: The requirements listed below are based on the case type, which is indicated in the '[]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓= OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") folded copies and one (1) PDF digital copy of each plat is required at the time of submittal. Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.
Engineering Information [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.

City Limits <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.
Property Lines <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat & Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat & Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat & Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.

Dedication Language <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proved the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.
Compliance with Preliminary Plat <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat & Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.

SADDLE STAR LAND DEVELOPMENT L.L.C./KPA CONSULTING

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-DIRECTOR

10-16-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

RE:

SADDLE STAR NORTH-44.56 ACRES – OWNER – C.D.G.T.-2016 L.L.C.

ROCKWAL ,ROCKWALL COUNTY , TEXAS

DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES OF THE OWNERS OF THE 44.56 ACRE IN ROCKWALL,
ROCKWALL COUNTY.

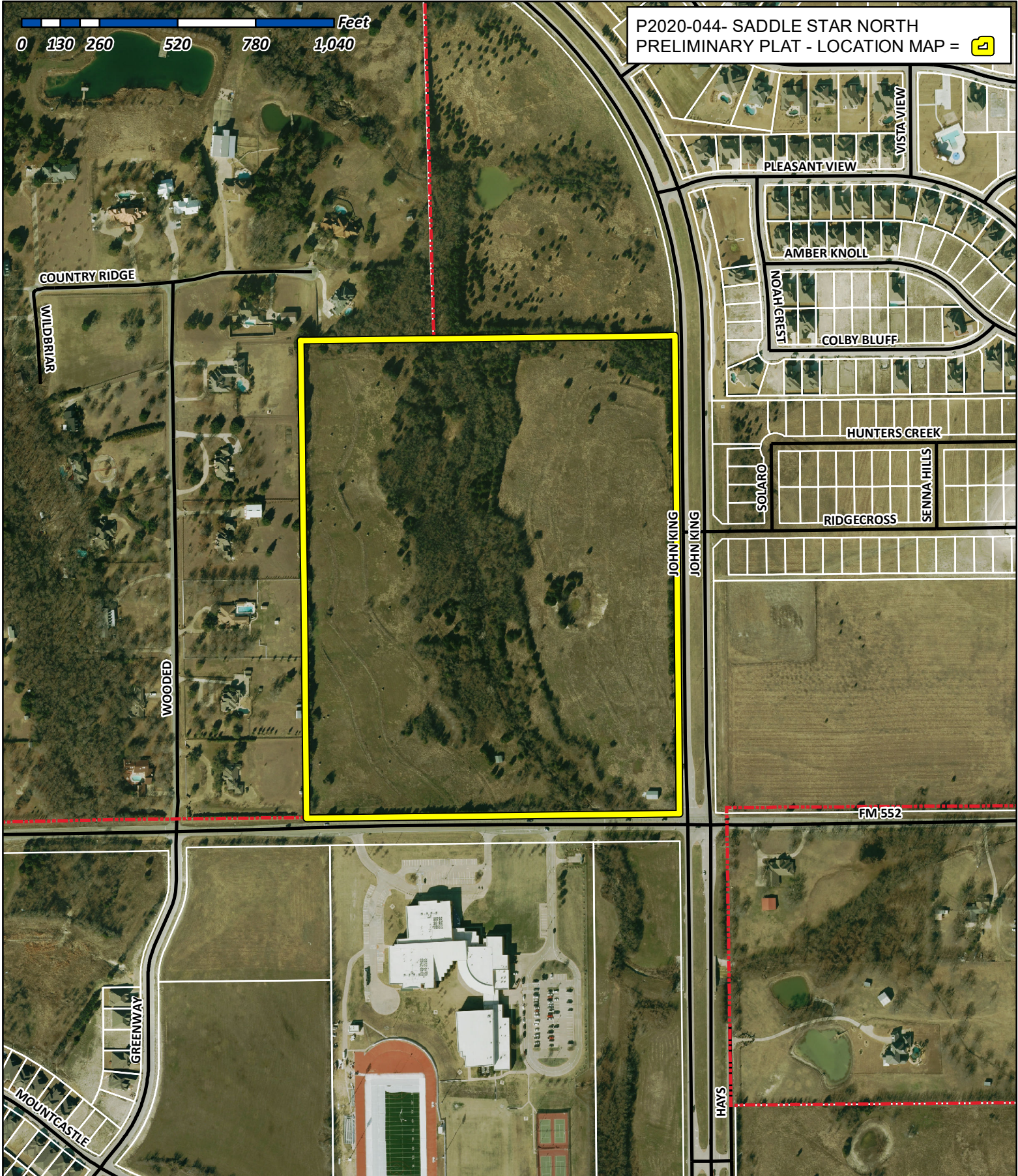
WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS DIRECTOR OF SADDLE STAR LAND DEVELOPMENT
L.L.C.,TO PURSUE APPROVAL OF THE PRELIMINARY PLAT APPLICATION,ENCLOSED THE FOLLOWING:

- A. APPLICATION
- B. FILING FEE
- C. PRELIMINARY ENGINEERING
- D. BOUNDARY SURVEY

SINCERELY



PAT ATKINS-DIRECTOR-SADDLE STAR /KPA CONSULTING



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP =

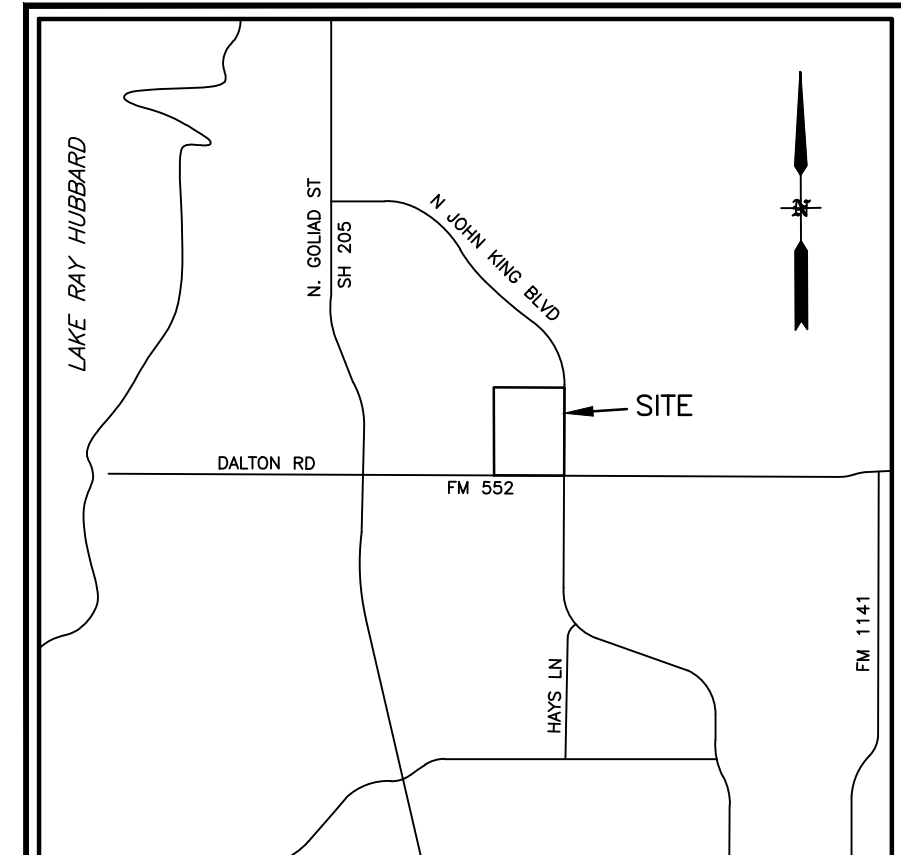


City of Rockwall

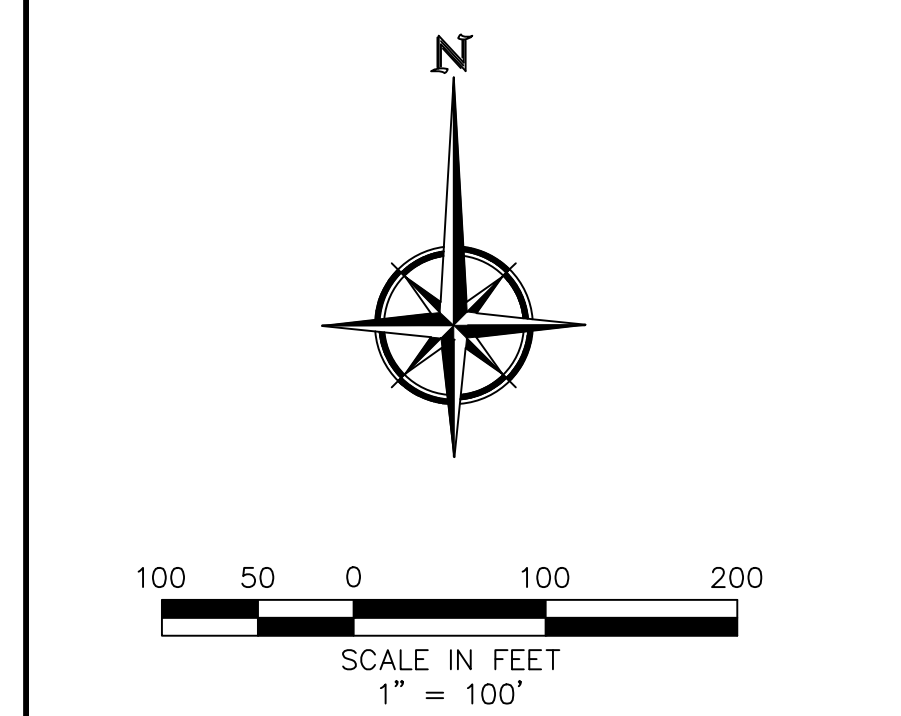
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

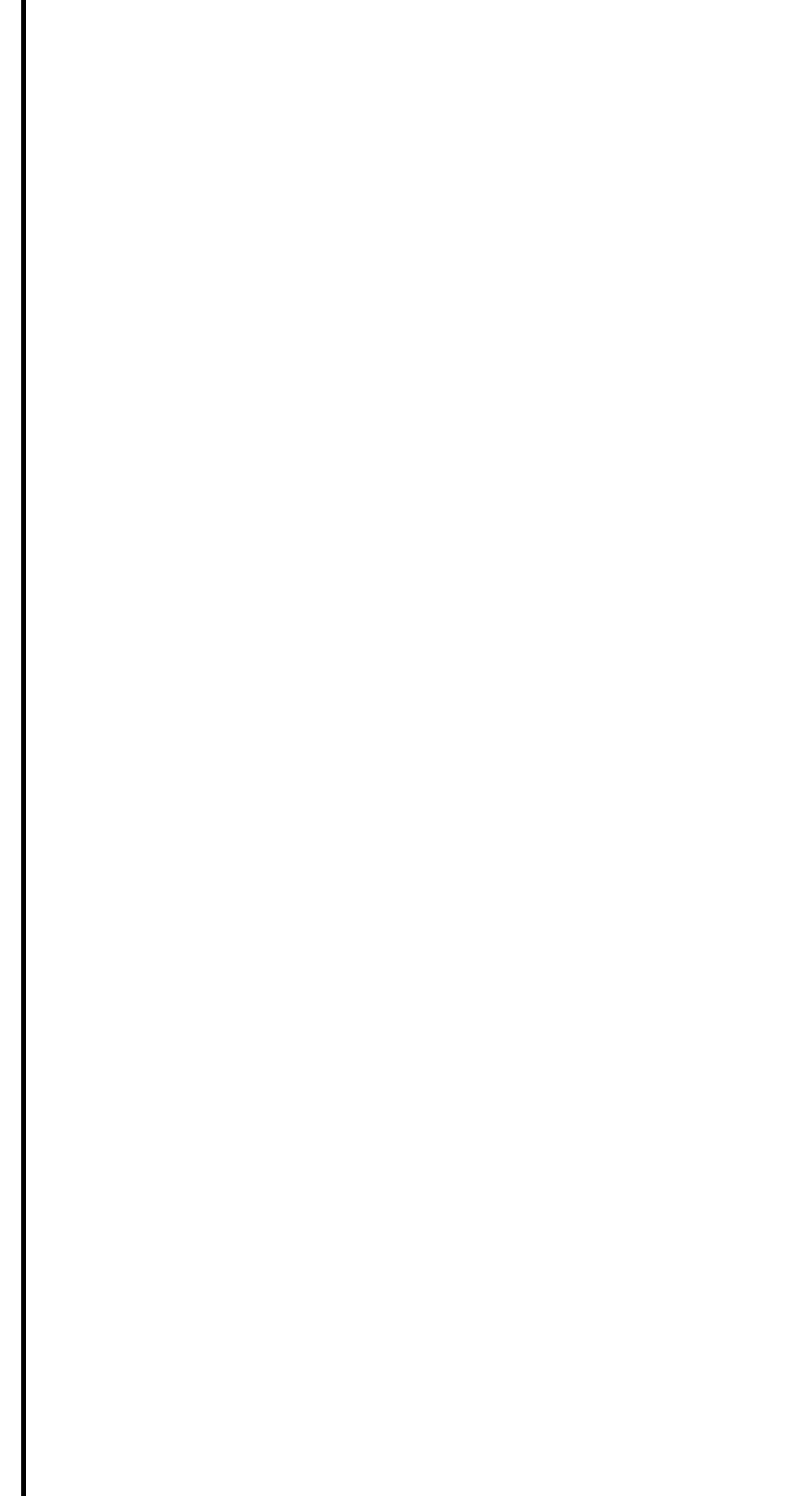




VICINITY MAP
N.T.S.



SCALE IN FEET
1" = 100'



ROCKWALL COUNTY
ROCKWALL CITY LIMITS

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

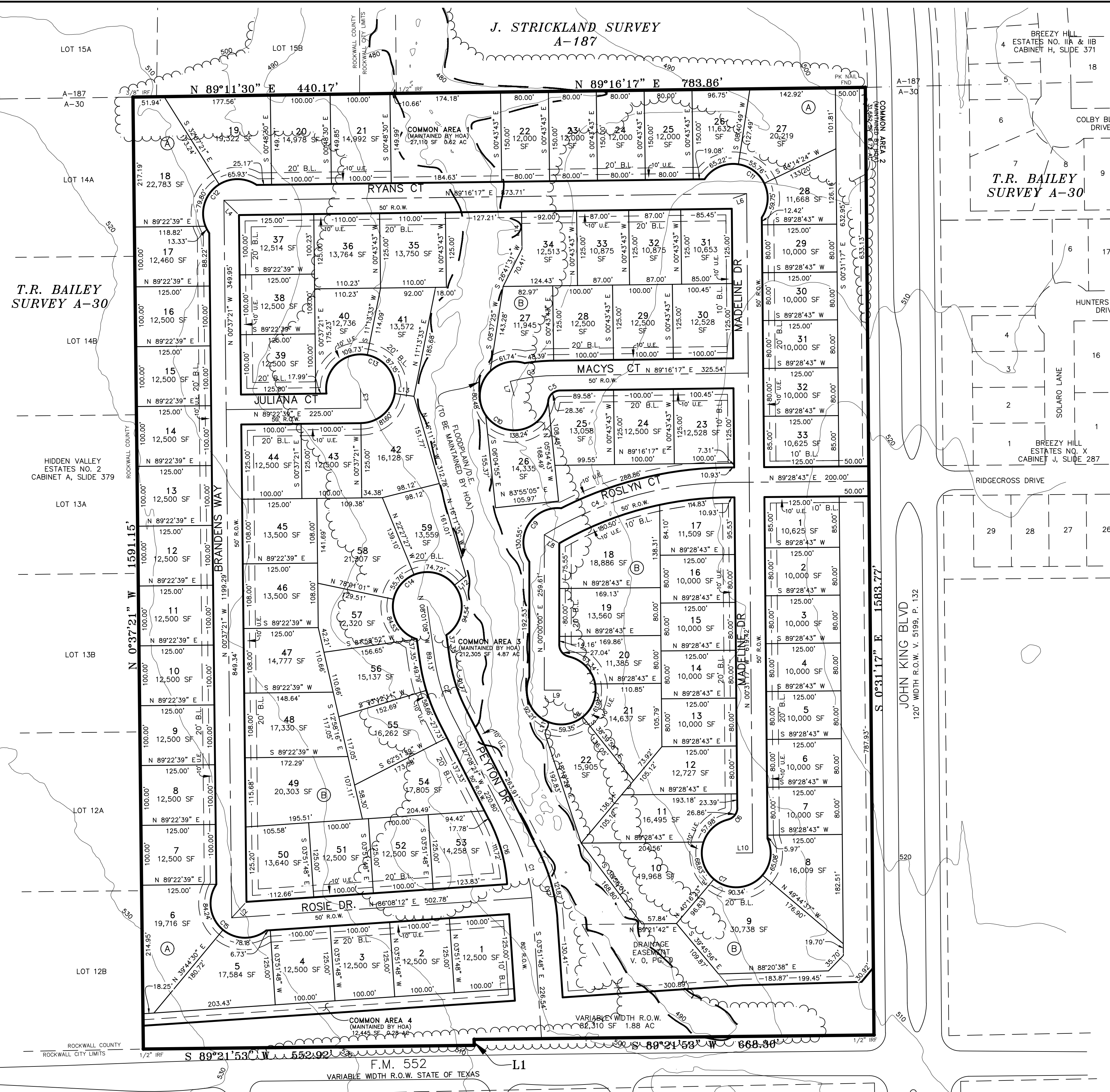
LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B



ROCKWALL COUNTY
ROCKWALL CITY LIMITS

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

LOT 15A
LOT 15B
LOT 14A
LOT 14B
LOT 13A
LOT 13B
LOT 12A
LOT 12B

J. STRICKLAND SURVEY
A-187

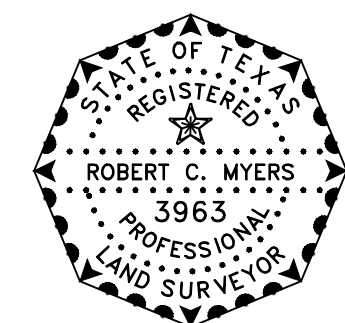
T.R. BAILEY
SURVEY A-30

NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	10.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	81°15'18"	20.00'	17.16'	28.36'	S 48°38'38" W	26.05'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	281°01'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



Notes:

- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
- A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
- By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability of water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The Open Space Lots to be maintained by the Homeowners Association (HOA).

REVIEWED FOR PRELIMINARY APPROVAL
Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT
Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

ZONING DISTRICT: PD-80
OPEN SPACE = 6.508 AC.
92 DWELLING UNITS
2.06 UNITS PER ACRE

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
3078 HAYS LANE
ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 510

PRELIMINARY PLAT
Case No. PP2020-000
SADDLE STAR ESTATES NORTH
92 SINGLE FAMILY LOTS
4 COMMON AREA TRACTS
44.56 ACRES
SITUATED IN THE
T.R. BAILEY SURVEY, A-30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401
DATE: OCTOBER 16, 2016 CASE NO. PP2020-000 SHEET 1 OF 1

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2020

PROJECT NUMBER: P2020-044
PROJECT NAME: Saddle Star North
SITE ADDRESS/LOCATIONS: NW/FM 552/ JOHN KING

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	10/21/2020	Needs Review

10/21/2020: P2020-044; Preliminary Plat for the Saddle Star North Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-044) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 80 (PD-80) for Single-Family 8.4 (SF-8.4) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff by November 3, 2020, and provide any additional information that is requested.

M.6 Provide a Treescape Plan for the development. [§01.02, Art. 11, UDC]

I.7 Why are there bubbled areas on the plat? Remove or provide a label indicating their purpose.

M.8 Proposed street names require approval by the GIS Department. [§01.02, Art. 11, UDC]

M.9 Will there be right-of-way dedication along FM 552? Indicate the location and dimensions of any proposed right-of-way dedication. [§01.02, Art. 11, UDC]

M.10 Indicate all proposed corner clips/visibility triangles and any subsequent dedication. [§01.02, Art. 11, UDC]

M.11 Topographical information and physical features are to be indicated using contours at 2-foot intervals. Please change. [§01.02, Art. 11, UDC]

I.12 Please provide two (2) large copies [24" x 36" FOLDED] and one PDF version for a subsequent/final review by staff.

I.13 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on October 27, 2020
- 2) Parks and Recreations Board meeting will be held on November 3, 2020
- 3) Planning & Zoning Regular meeting will be held on November 10, 2020
- 4) City Council meeting will be held on November 16, 2020

I.14 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/22/2020	Needs Review

10/22/2020: M - Must include a 20' wide easement for the future 15" sewer main per the Master Sewer Plan.

M - Must show existing and proposed utilities on site.

M - Must meet City Standards of Design and Construction.

M - Minimum easement width is 20' for new easements. No structures allowed in easements.

M - 10' Utility Easement required along all street ROW.

M - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.

M - Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.

M - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.

M - Must show existing and proposed utilities for the project.

M - Must loop 8" water line on site. Water line to be steel encase under creek crossings.

M - Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan.

M - Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply).

M - Must include a 20'x20' ROW clip at every intersection for visibility.

M - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.

M - Must build a left turn lane for Northbound traffic on John King.

M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

The following are informational comments for your engineering review process.

General Items:

M - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

M - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

M - 10' Utility Easement required along all street ROW.

M - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.

M - Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.

Drainage Items:

I - No walls allowed in detention.

- I - Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain.
- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Flood Study is required to delineate the floodplain as well as elevations. Review fees apply. See the City Standards of Design for flood study requirements.
- I - Must get a WOTUS study for the ponds on site.
- I - The finish floor of all the houses must be 2' above the adjacent floodplain elevation. Any parking areas, including garages must be 1' minimum above the floodplain elevation.
- I - Must submit a LOMR to FEMA. No house permits will be released near the floodplain until this is complete.
- M - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.
- I - The property boundaries against the flood plain and HOA lot are subject to change in the engineering phase based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards. No Lot to Lot Drainage Allowed. Erosion hazard setback shall not be in a residential lot.
- I - Will need to collect runoff from existing estate lot development to the west and collect before it enters proposed lots on easterly edge on proposed development.

Water and Wastewater Items:

- M - Must show existing and proposed utilities for the project.
- M - Must loop 8" water line on site. Water line to be steel encase under creek crossings.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- M - Minimum public sewer is 8". Aerial crossing of sewer will not be allowed. Steel encase creek crossings.
- M - Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan.
- I - Water is available in John King and FM 552, but you will need to bore under the roadway to reach both lines.
- M - Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply)
- I - Sewer pro-ratas will be assessed at final plat
- I - Discourage aerial sewer crossings.
- I - 15" sewer line must be deep enough to receive sewer from Stoney Hollow LS.

Roadway Paving Items:

- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- I - Alleys to be 20' ROW, 12' wide paving.
- I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- I - Must verify the ROW required for FM 552. See attached map.
- M - Must include a 20'x20' ROW clip at every intersection for visibility.
- M - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.
- M - Must build a left turn lane for Northbound traffic on John King.
- I - Must conduct a traffic study for the intersections on John King and FM 552. deceleration lanes may be required. (review fees apply)

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/20/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

10/21/2020: All street names approved with the exception of Peyton Dr. We already have a similar street in 75087 that will cause confusion for public safety response. Please alter or provide a different name.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	10/21/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/20/2020	Approved w/ Comments

10/20/2020: FYI Comments for Site Plan next phase

1. Tree Mitigation required
2. Adhere to John King landscape buffer / thoroughfare plan
3. Landscape / Treescape plans will be required

10/21/2020: 2020 Park Land Dedication Fee (P2020-044)
Park District 7

Cash In Lieu Of Land: \$456.00 x 92 units = \$41,952.00

Pro Rata Equipment Fees: \$432.00 x 92 units = \$39,744.00

These are the fees that will be due on final plat

P2020-044; Preliminary Plat for the Saddle Star North Subdivision

Please address the following comments (*M= Mandatory Comments; I = Informational Comments*)

- I.1 This is a request for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard.
- I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
- M.3 For reference, include the case number (*P2020-044*) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).
- I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 80 (PD-80) for Single-Family 8.4 (SF-8.4) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.
- I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff by November 3, 2020, and provide any additional information that is requested.
- M.6 Provide a Treescape Plan for the development. [*§01.02, Art. 11, UDC*]
- I.7 Why are there bubbled areas on the plat? Remove or provide a label indicating their purpose.
- M.8 Proposed street names require approval by the GIS Department. [*§01.02, Art. 11, UDC*]
- M.9 Will there be right-of-way dedication along FM 552? Indicate the location and dimensions of any proposed right-of-way dedication. [*§01.02, Art. 11, UDC*]
- M.10 Indicate all proposed corner clips/visibility triangles and any subsequent dedication. [*§01.02, Art. 11, UDC*]
- M.11 Topographical information and physical features are to be indicated using contours at 2-foot intervals. Please change. [*§01.02, Art. 11, UDC*]
- I.12 Please provide two (2) large copies [24" x 36" FOLDED] and one PDF version for a subsequent/final review by staff.
- I.13 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:
 - 1) Planning & Zoning Work Session meeting will be held on October 27, 2020
 - 2) Parks and Recreations Board meeting will be held on November 3, 2020
 - 3) Planning & Zoning Regular meeting will be held on November 10, 2020
 - 4) City Council meeting will be held on November 16, 2020
- I.14 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

CITY OF ROCKWALL

ORDINANCE NO. 16-08

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 80 (PD-80) FOR SINGLE FAMILY 8.4 (SF-8.4) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 44.56-ACRE TRACT OF LAND IDENTIFIED AS TRACT 3 OF THE T. R. BAILEY SURVEY, ABSTRACT NO. 30, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Pat Atkins of Saddle Star Land Development, Inc. on behalf of the owner Larry Hance for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 8.4 (SF-8.4) District land uses, on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 2. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to

be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'B'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

Section 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(e) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Open Space Master Plan
 - (2) Master Plat
 - (3) PD Site Plan
 - (4) Preliminary Plat
 - (5) Final Plat
- (c) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Preliminary Plat Application* for the development.
- (d) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *PD Site Plan Application* for the development.
- (e) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

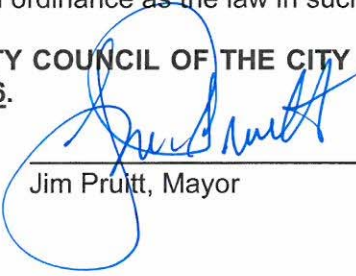
Section 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF JANUARY, 2016.



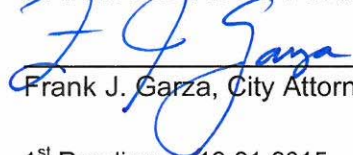
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: 12-21-2015

2nd Reading: 01-04-2016

Exhibit 'A':
Legal Description

Exhibit "A"

Description of the Land

All that certain lot, tract or parcel of land situated in the T.R. Bailey Survey Abstract NO. 30, Rockwall County, Texas, and being all of a tract of land as described in a Quit Claim deed from Roy Hance and Randa Hance to Larry Hance, dated March 16, 1993 and being recorded in Volume 769, Page 168 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at ½" iron rod found for corner in the west boundary line of said Hance tract at its intersection with the north right-of-way line of F.M. 552 said point being at the southeast corner of Lot 12B HIDDEN VALLEY ESTATES NO 2 an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 379 of the Plat Records of Rockwall County, Texas;

THENCE N. 00 deg. 37 min. 18 sec. W. along the west line of said Hance tract and the east line of said subdivision, a distance of 1591.38 feet to a 3/8" iron rod found for corner at the northeast corner of Lot 14A, and at the northwest corner of said Hance tract;

THENCE N. 89 deg. 11 min. 33 sec. E. along the south line of said subdivision, a distance of 440.23 feet to a 1/2" iron rod found for corner at the southeast corner of lot 15B;

THENCE N. 89 deg. 16 min. 20 sec. E. along the north line of said Hance tract, a distance 783.97 feet to a P-K nail in fence corner post found at the northeast corner of said Hance tract and in west right-of-way line of John King Boulevard Hwy 205 bypass;

THENCE S. 00 deg. 31 min. 14 sec. E. along the east line of said Hance tract and along said right-of-way line, a distance of 1584.01 feet to a ½" iron rod found for corner at the intersection of the east line of Hance tract with the north right-of-way line of F.M. 552,

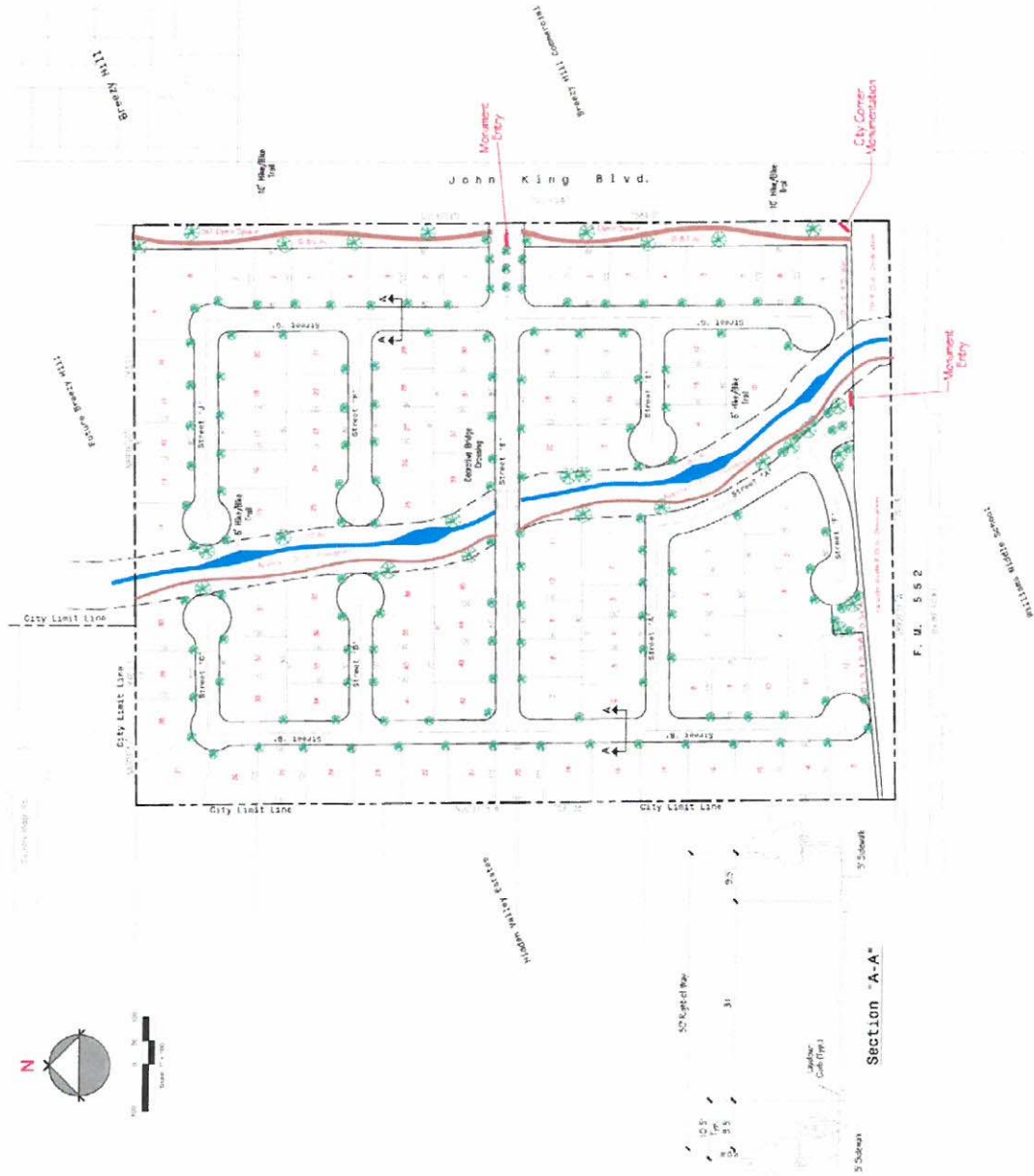
THENCE along said right-of-way line as follows:

S. 89 deg. 21 min. 56 sec. W. a distance of 668.40 feet;
S. 00. Deg. 38 min. 04 sec. E. a distance of 10.00 feet;
S. 89 deg. 21 min. 56 sec. W. a distance of 553.00 feet to the POINT OF BEGINNING and containing 44.56 acres of land.

Exhibit 'B': Concept Plan



Land Use Data
 Total Area - 44.56 Ac.
 Total Open Space - 9.61 Ac.
 Typ. Lot Size - 80'x125' - 79 Lots
 Lot Size - 70'x125' - 12 Lots
 Lot Size - 100'x125' - 18 Lots
 Total Lots - 109
 Density - 2.448 D.U. / Ac.



CONCEPT PLAN



City of Rockwall, Rockwall County, Texas

Owner: SaddleStar Estates North, LLC
 11700 SaddleStar Blvd.
 Rockwall, TX 75087
 972.982.1111
 www.saddlestar.com

Prepared by: K&S ENGINEERS
 11700 SaddleStar Blvd., Suite 100
 Rockwall, TX 75087
 972.982.1111
 www.kandse.com

Rev. #1 01/15 Date of Issue: 01/15/15 Case No. Z-2015-0115

Exhibit 'C':
Survey

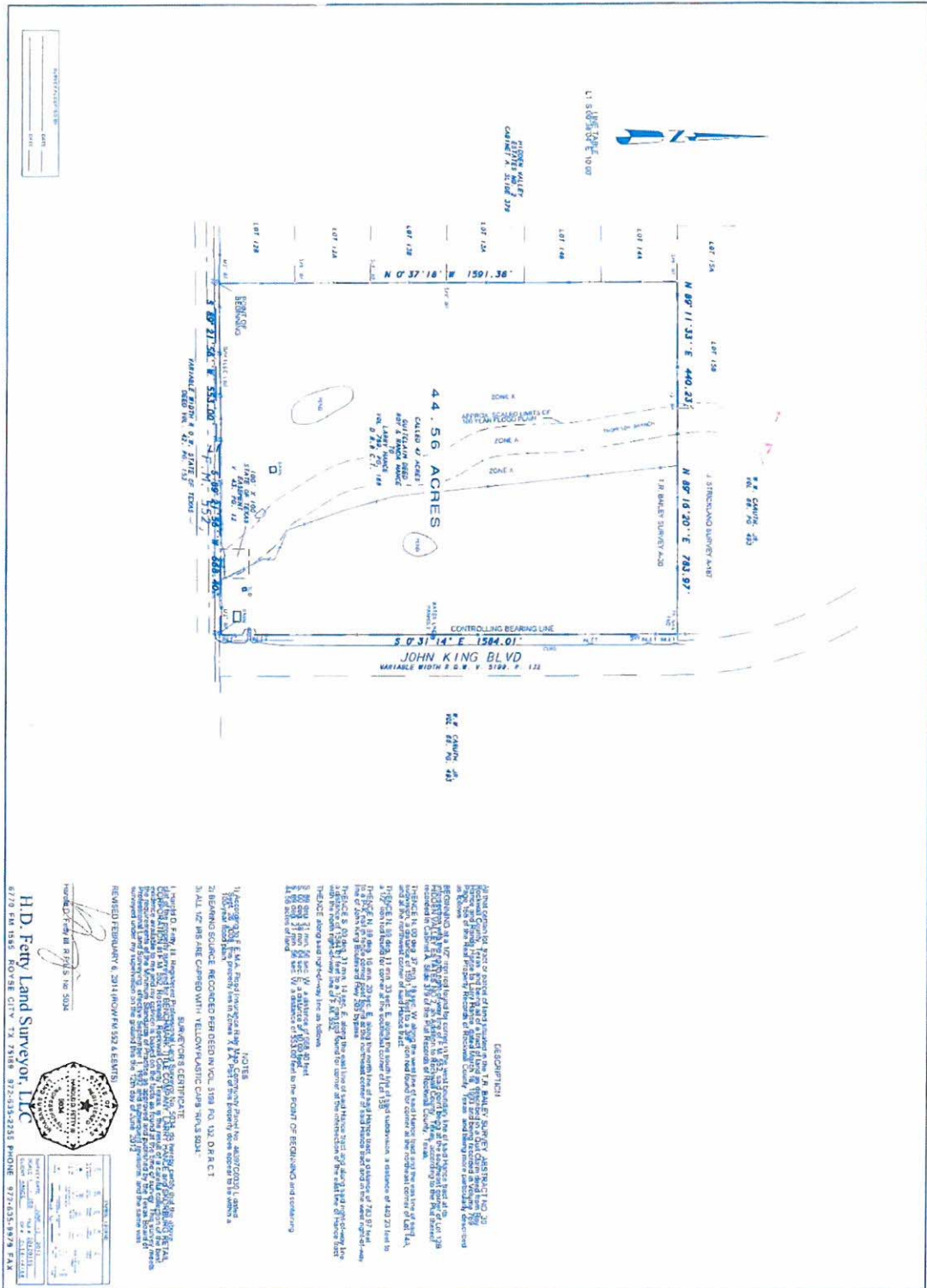


Exhibit 'D':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 8.4 (SF-8.4) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Maximum Dwelling Units (#)	Dwelling Units (%)
A	70' x 125'	8,750 SF	12	11.01%
B	80' x 125'	10,000 SF	79	72.48%
C ⁽¹⁾	100' x 125'	12,500 SF	18	16.51%
<i>Maximum Permitted Units:</i>			109	

General Notes:

¹: All properties adjacent to the western property line shall be a Type 'C' lot (i.e. 100' x 125').

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 8.4 (SF-8.4) District, as specified by Article V, *District Development Standards*, of the Unified Development Code are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.446 dwelling units per gross acre of land; however, in no case should the proposed development exceed 109 units. All lots shall conform to the standards depicted in *Table 2*, which is as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> ⁽¹⁾	70'	80'	100'
<i>Minimum Lot Depth</i>	125'	125'	125'
<i>Minimum Lot Area</i>	8,750 SF	10,000 SF	12,500 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (5)}	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height</i> ⁽³⁾	30'	30'	30'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	20'	20'	20'
<i>Minimum Area/Dwelling Unit (SF)</i>	2,700 SF	2,700 SF	3,200 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%
<i>Permitted Encroachment into Required Setbacks</i> ⁽⁵⁾	Allowed	Allowed	Allowed

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- ⁴: As measured from the rear yard property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks (Adjacent to a Street)* and shall not encroach into public right-of-way [a *Sunroom* is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces]

Exhibit 'D':
Development Standards

4. *Building Standards.* All development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only.
- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation.* Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration; however garages oriented toward the street in a front entry configuration must be situated a minimum of 20-feet behind the front building façade of the primary structure. In this case the front façade of the primary structure does not include a permitted encroachment (e.g. *a porch, sunroom, etcetera*) allowed in *Table 2* above. All garage configurations that are not front entry shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code.

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	70' x 125'	(1), (2), (3), (4)
B	80' x 125'	(1), (2), (3), (4)
C	100' x 125'	(1), (2), (3), (4)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on John King Boulevard shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Permitted encroachments (i.e. *porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient

Exhibit 'D':
Development Standards

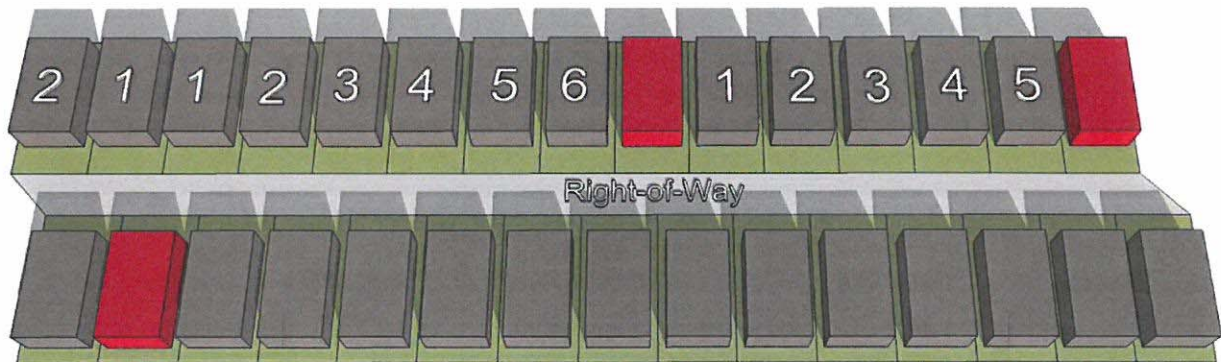
dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.



Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

Exhibit 'D':
Development Standards

- (c) *Corner Lots.* Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (d) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

- (1) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this subdivision:
 - (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
 - (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (a) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard.
- (3) *Streetscape Landscaping.* Prior to the issuance of a Certificate of Occupancy (CO), all residential, single family lots situated within the proposed subdivision shall be landscaped with canopy trees from the list stipulated by *Section 7(1)* of this ordinance in the following sizes and proportions:
 - (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Exhibit 'D':
Development Standards

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

- (4) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (5) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the PD Site Plan.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
10. *Sidewalks.* At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3-phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
12. *Open Space.* The development shall consist of a minimum of 12.59% open space (*or 5.61-acres*), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).
13. *Corner Enhancement Concept.* The developer shall be responsible for the construction of a *Corner Enhancement* that generally conforms to the concept design as depicted in *Figure 1 & Figure 2 (below)*.

**Exhibit 'D':
Development Standards**

Figure 1: Corner Enhancement Concept (Aerial View)

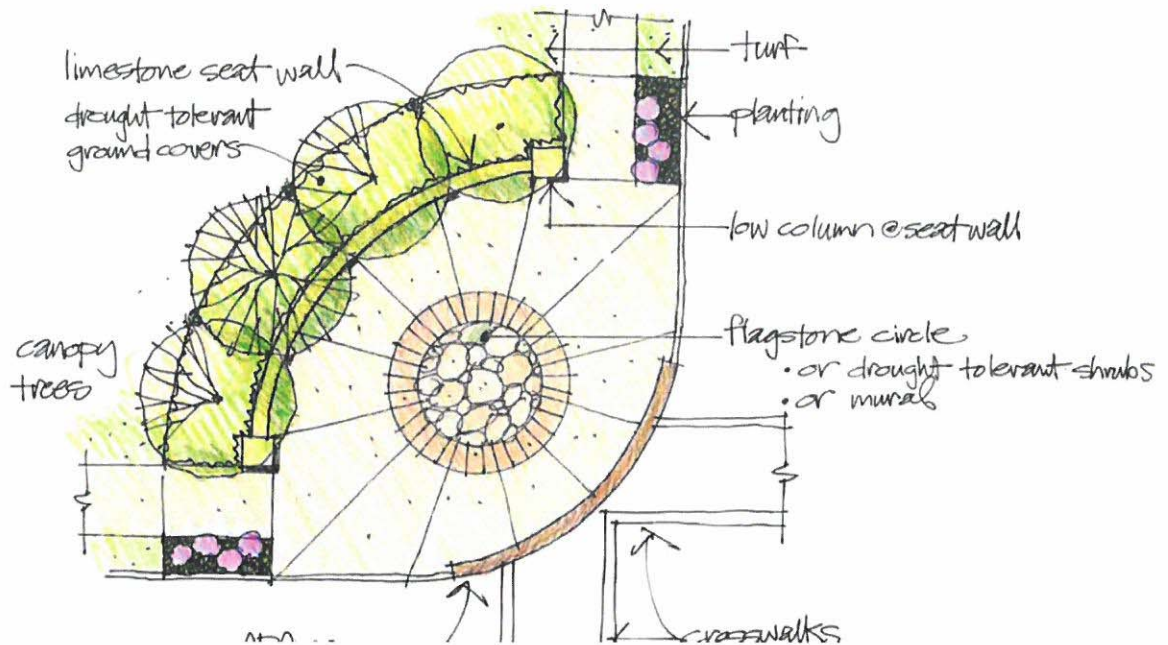
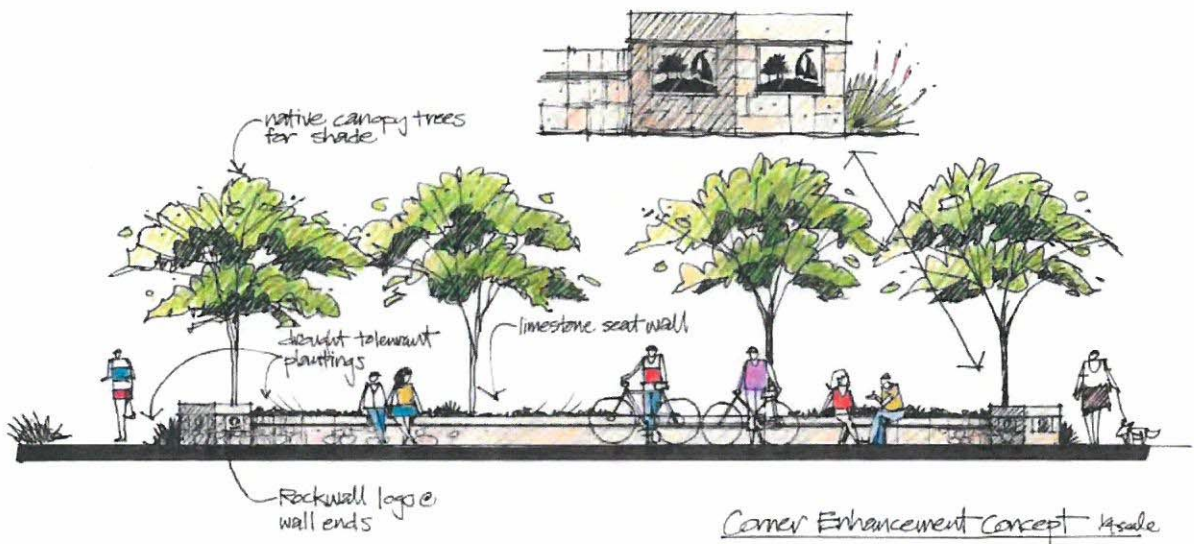


Figure 2: Corner Enhancement Concept (Street View)



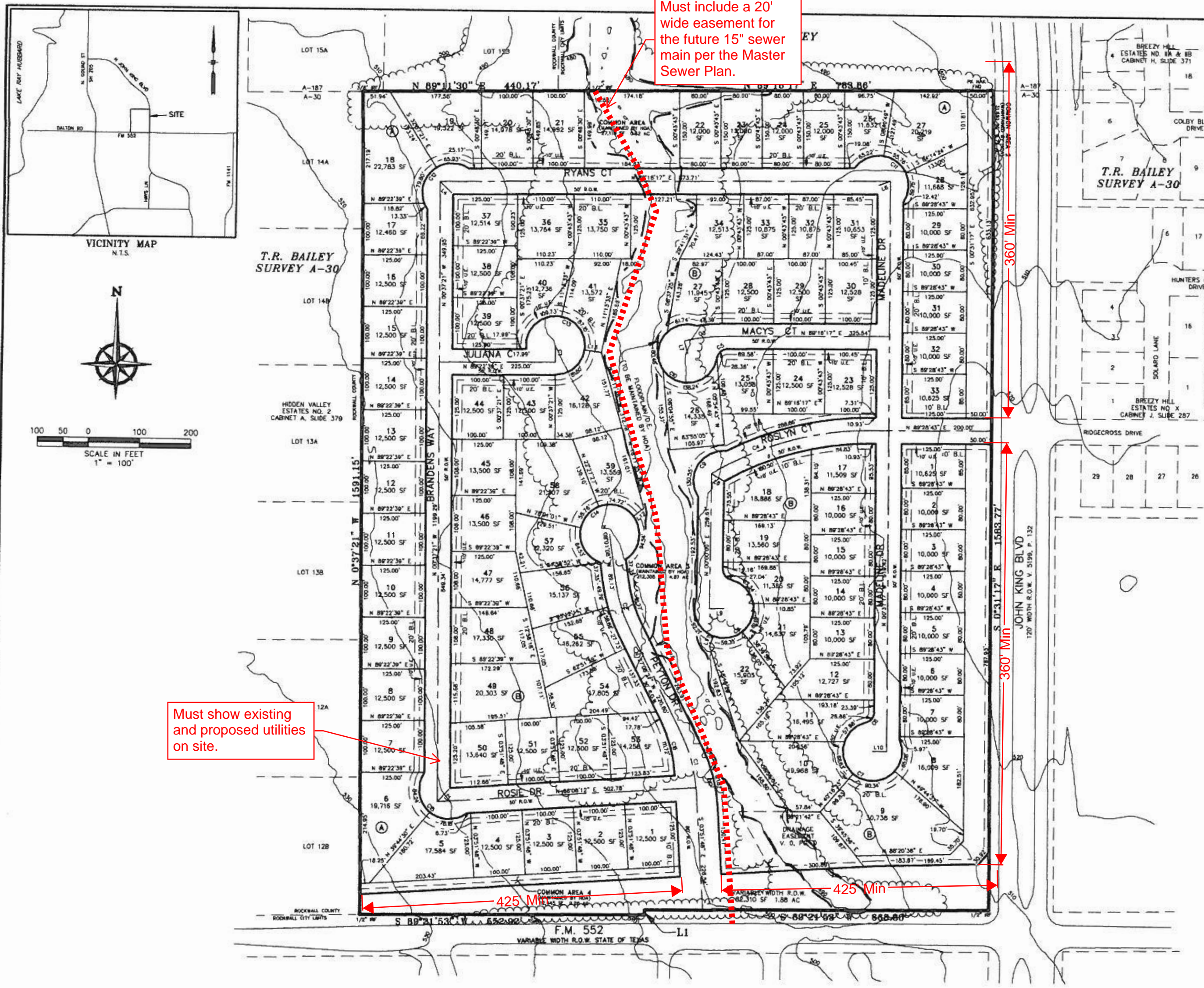
14. Neighborhood Signage. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.

Exhibit 'D':
Development Standards

15. *Drainage Standards.* The development shall comply with existing drainage standards including the permissible spread of water in the streets and permissible gutter flow through intersections as outlined in the City of Rockwall's *Standards of Design and Construction (approved in August 2003 and updated in October 2007)*. The proposed drainage areas, flow patterns, and storm drain system that will be constructed shall be based on the City's drainage criteria and be identified on a *Conceptual Drainage Plan*, which shall be submitted with the *Civil Plans* at the time of *Engineering* submittal. The *Conceptual Drainage Plan* shall be reviewed and approved by the Engineering Department in compliance with engineering standards.

16. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.

17. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



Must include a 20' wide easement for the future 15" sewer main per the Master Sewer Plan.

Must show existing and proposed utilities on site.

General Items:

- M - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- M - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- M - 10' Utility Easement required along all street ROW.
- M - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.
- M - Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.

Drainage Items:

- I - No walls allowed in detention.
- I - Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain.
- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Flood Study is required to delineate the floodplain as well as elevations. Review fees apply. See the City Standards of Design for flood study requirements.
- I - Must get a WOTUS study for the ponds on site.
- I - The finish floor of all the houses must be 2' above the adjacent floodplain elevation. Any parking areas, including garages must be 1' minimum above the floodplain elevation.
- I - Must submit a LOMR to FEMA. No house permits will be released near the floodplain until this is complete.
- M - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.
- I - The property boundaries against the flood plain and HOA lot are subject to change in the engineering phase based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards. No Lot to Lot Drainage Allowed. Erosion hazard setback shall not be in a residential lot.
- I - Will need to collect runoff from existing estate lot development to the west and collect before it enters proposed lots on easterly edge on proposed development.

Water and Wastewater Items:

- M - Must show existing and proposed utilities for the project.
- M - Must loop 8" water line on site. Water line to be steel encase under creek crossings.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- M - Minimum public sewer is 8". Aerial crossing of sewer will not be allowed. Steel encase creek crossings.
- M - Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan.
- I - Water is available in John King and FM 552, but you will need to bore under the roadway to reach both lines.
- M - Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply)
- I - Sewer pro-ratas will be assessed at final plat
- I - Discourage aerial sewer crossings.
- I - 15" sewer line must be deep enough to receive sewer from Stoney Hollow LS.

Roadway Paving Items:

- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- I - Alleys to be 20' ROW, 12' wide paving.
- I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- I - Must verify the ROW required for FM 552. See attached map.
- M - Must include a 20'x20' ROW clip at every intersection for visibility.
- M - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.
- M - Must build a left turn lane for Northbound traffic on John King.
- I - Must conduct a traffic study for the intersections on John King and FM 552. deceleration lanes may be required. (review fees apply)

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- M - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

REVIEWED FOR PRELIMINARY APPROVAL

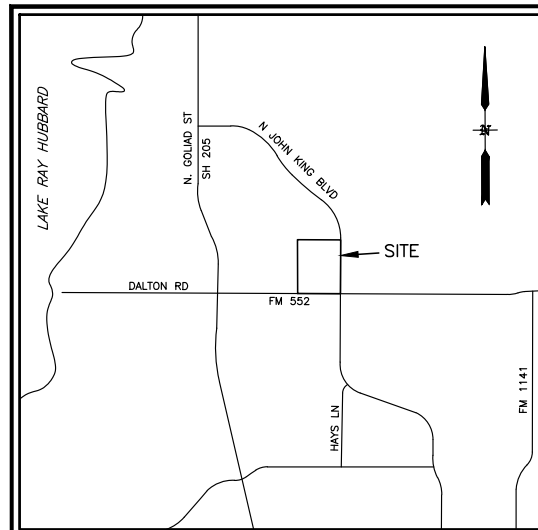
Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

CHORD	121.04'
	99.85'
	72.77'
	318.82'
	24.89'
	73.13'
	74.08'
	104.28'
	74.33'
	115.00'
	112.98'
	75.83'
	50.00'
	113.56'
	110.95'
	121.04'

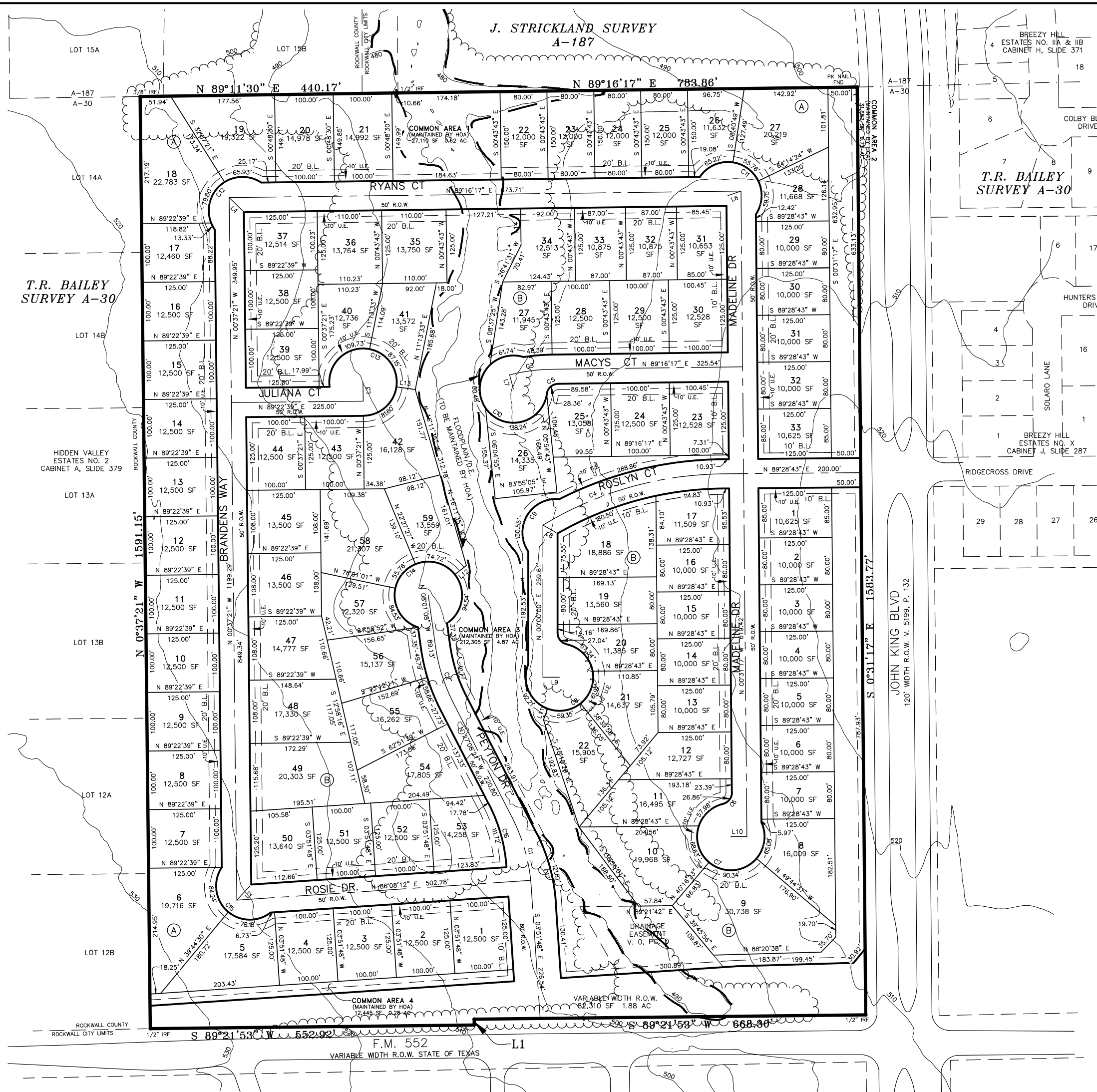
TH



VICINITY MAP
N.T.S.



SCALE IN FEET
1" = 100'



ND	DIRECTION	DISTANCE
L1	S 00°38'07" E	100.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE	CURVE TABLE					
	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	81°15'18"	20.00'	17.16'	28.36'	S 48°38'38" W	26.05'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	281°01'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	188°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



- Notes:
1. Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CCRS 2011).
 2. A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retaining walls or other obstacles lying on the actual lot corner.
 3. By graphical plotting, no part of the parcel described herein lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 4839700030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 4. All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 6. The Open Space Lots to be maintained by the Homeowners Association (HOA).

See notes on first page.
This page not fully reviewed

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

ZONING DISTRICT: PD-80
OPEN SPACE = 6.508 AC.
92 DWELLING UNITS
2.06 UNITS PER ACRE

PRELIMINARY PLAT
Case No. PP2020-000

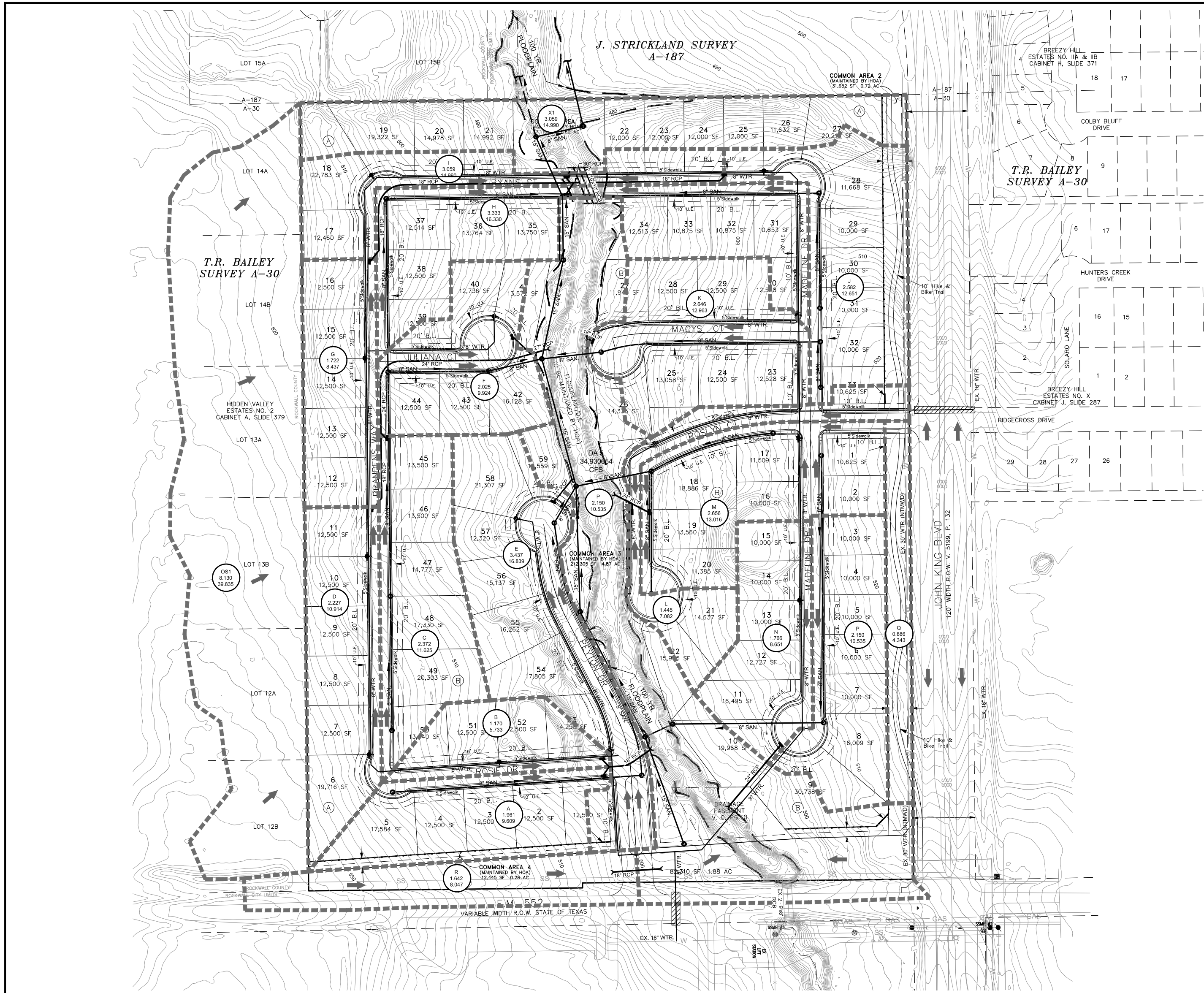
SADDLE STAR ESTATES NORTH

92 SINGLE FAMILY LOTS
4 COMMON AREA TRACTS
44.56 ACRES

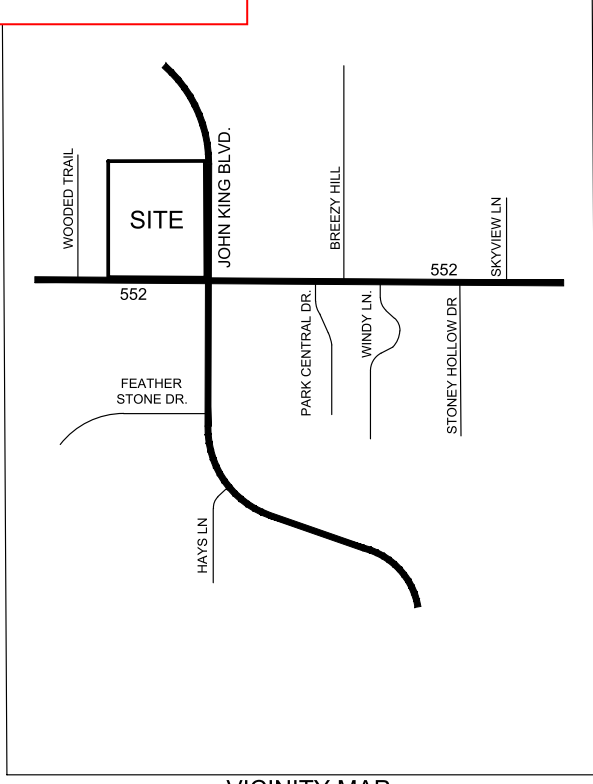
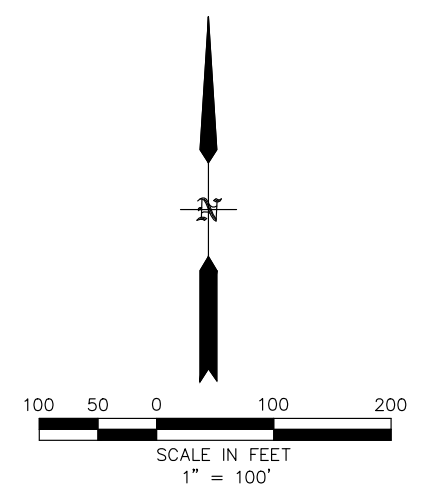
SITUATED IN THE
T.R. BAILEY SURVEY, A-30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001146
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401

DATE: OCTOBER 16, 2016 CASE NO. PP2020-000 SHEET 1 OF 1



See notes on first page.
 This page not fully reviewed. Move utilities to the pre-plat or have a separate sheet for water and sewer. Remove all drainage plans from pre-plat submittal.



- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA ACREAGE DRAINAGE AREA "Q"

Q = CIA
 C = 0.50
 I = 9.80

NOTE:
 STORM SEWER MAINS ARE TO BE LOCATED ON THE CL OF ROADS. IN PLACES WHERE STORM SEWER MAINS AND DRAINAGE AREA BOUNDARIES COINCIDED, THE STORM SEWER IS GRAPHICALLY SHOWN NEXT TO THE CL FOR CLARITY.

CAUTION! EXISTING UTILITIES
 CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES DISCOVERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
 BM#1 (#102)
 CIRC "ASO SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58

BM#3 (#106)
 CIRC "ASO SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8"X8" BOX CULVERT. ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
 201 WINDCO CIR, STE 200, WYLLIE, TX 75098
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

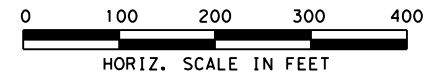
REVISIONS:	
DRAWN: RH	DATE:
CHECKED: RCK	DATE: 10/16/2020
PROJECT NO.: 6812	
DWG FILE NAME: 2020-10-16 6812 PRELIMENGR.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RYAN C. KING, P.E. (123635) ON 10/16/2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

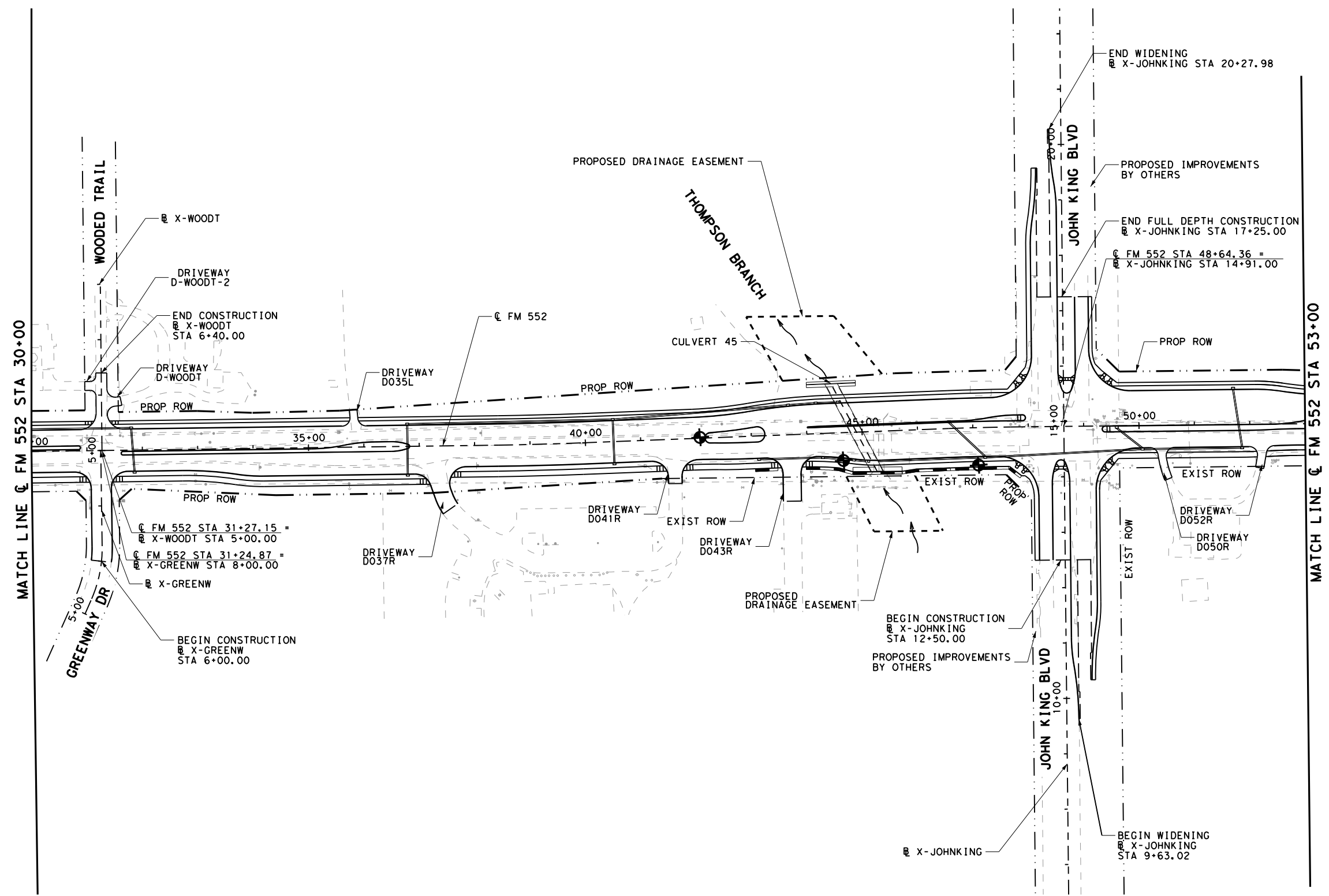
PRELIMINARY DRAINAGE PLAN

SADDLE STAR NORTH
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
 1
 OF
 2



- LEGEND**
- RETAINING WALL
 - - - EXIST ROW
 - · - · - PROP ROW
 - - - PROP DRAINAGE EASEMENT
 - - - PROP STORM DRAIN
 - ⊕ BORE TEST HOLE
 - SURVEY CONTROL POINT



100% PLANS ADEQUATE FOR UTILITY RELOCATION
 By: JOSIAH F. BELVEAL
 P.E.# 122828
 Date: 6/30/2020

THIS DOCUMENT IS RELEASED FOR THE SPECIFIC PURPOSE OF UTILITY ADJUSTMENT DESIGN. NOT INTENDED FOR CONSTRUCTION OR BIDDING

NO.	REVISIONS	BY	DATE

HNTB
 HNTB Corporation
 The HNTB Companies
 Engineers Architects Planners
 Firm Registration Number F-420

Texas Department of Transportation
 ©2020 by Texas Department of Transportation; all rights reserved

PROJECT LAYOUT
 STA 30+00 TO STA 53+00
 SHEET 2 OF 13

FED. RD. DIV. NO. 6	FEDERAL AID PROJECT NO.	SHEET NO. 4
STATE TEXAS	DISTRICT DAL	COUNTY ROCKWALL
CONTROL 1017	SECTION 01	JOB 015
		HIGHWAY NO. FM 552

LOT 15A
HIDDEN VALLEY ESTATES NO. 2
CABINET A, SLIDE 379
P.R.R.C.T.

FOUND 1/2" IRON PIPE (CM)

LOT 14A

GRID COORDINATE
N=7,040,808.6344
E=2,595,148.7263

LOT 14B

LOT 13A

LOT 13B

ROCKWALL COUNTY, TEXAS

LOT 12A
HIDDEN VALLEY ESTATES NO. 2
CABINET A, SLIDE 379
P.R.R.C.T.

P.O.C. PARCELS 21 & 21(E)
FOUND 3/8" IRON ROD (CM) FROM WHICH A FOUND 1/2" IRON PIPE BEARS
S 56° 39' 43" E 0.15'

LOT 12B
HIDDEN VALLEY ESTATES NO. 2
CABINET A, SLIDE 379
P.R.R.C.T.

CITY OF ROCKWALL APPROXIMATE CITY LIMIT LINE

OWNERS:
MARTIN R. CONTRERAS AND MARIA E. CONTRERAS
VOLUME 4697, PAGE 305
D.R.R.C.T.

P.O.B. PARCEL 21
N=7,041,446.86
E=2,595,461.38
STA. 35+57.57
65.98 LT.

NEW R.O.W. LINE

FOUND 1/2" IRON ROD (CM) FROM WHICH A FOUND 1/2" IRON PIPE BEARS
S 08° 08' 34" W 0.38'

EXISTING R.O.W.

399.91'

FOUND 5/8" IRON PIPE BEARS
N 00° 37' 44" W 1.69'

12' RIGHT-OF-WAY EASEMENT TO MT. ZION WATER SUPPLY CORPORATION
VOLUME 82, PAGE 364
D.R.R.C.T.

402.18'

75.96'

86.80'

503.97'

193.20'

133.20'

193.20'

N 89° 13' 00" E 280.00'

P.O.B. PARCEL 22
N=7,041,296.93
E=2,595,539.06
STA. 36+33.20
85.00 RT.

STATE OF TEXAS
VOLUME 42, PAGE 236
D.R.R.C.T.
CALLED 2,3175 ACRES
PARCEL 4

OWNER:
ROCKWALL INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 2018000022380
O.P.R.R.C.T.
CALLED 5.288 ACRES

N 00° 34' 55" W 425.24'

GRID COORDINATES
N=7,039,956.7815
E=2,595,026.9847

P.O.C. PARCELS 22, 22(E), 23, 23(E) & 25
FOUND 1/2" IRON ROD WITH CAP (ILLEGIBLE) (CM)

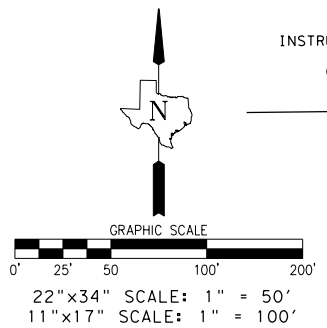
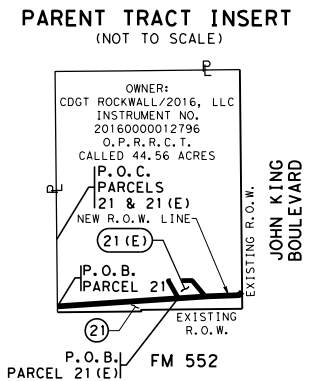
S 89° 25' 12" W 575.15'

LOT 1, BLOCK A
RISD ELEMENTARY SCHOOL ADDITION - LOT 1
CABINET H, SLIDE 341
P.R.R.C.T.

OWNER:
ROCKWALL INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 20130000497384
O.P.R.R.C.T.
CALLED 12.003 ACRES

CENTERLINE CURVE DATA
PI STATION = 39+18.43
PI NORTHING = 7,041,385.82
PI EASTING = 2,595,823.10
DELTA = 01° 26' 56" (LT)
DEGREE OF CURVE = 00° 57' 18"
TANGENT = 75.87'
LENGTH = 151.73'
RADIUS = 6,000.00'
PC STATION = 38+42.56
PT STATION = 39+94.29
CHORD BEARING = N 88° 29' 31" E
CHORD DISTANCE = 151.73'

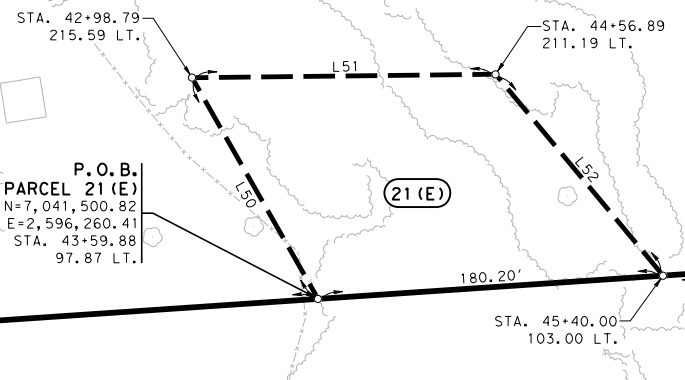
LINE	BEARING	DISTANCE
L36	S 00° 33' 37" E	39.11'
L47	N 00° 34' 55" W	21.69'
L50	N 29° 39' 37" W	132.62'
L51	N 89° 21' 42" E	158.16'
L52	S 39° 45' 56" E	136.43'
L53	N 39° 27' 24" E	31.48'
L54	S 00° 31' 17" E	113.00'
L55	N 84° 38' 15" E	145.26'
L56	S 00° 38' 53" E	10.00'
L57	N 00° 35' 25" W	134.94'
L58	S 45° 36' 55" E	58.01'
L59	S 26° 39' 47" E	19.90'
L60	N 00° 38' 52" W	17.89'
L61	S 00° 38' 52" E	100.00'
L62	N 89° 21' 07" E	64.25'
L63	N 26° 39' 47" W	111.27'
L64	S 45° 35' 10" E	61.91'
L65	N 00° 37' 10" W	43.82'
L66	N 00° 34' 55" W	43.89'
L67	N 00° 37' 10" W	43.90'
L68	N 00° 37' 10" W	53.90'
L263	N 00° 38' 53" W	10.00'



OWNER:
BH BALANCE III LLC
INSTRUMENT NO. 20130000498889
O.P.R.R.C.T.
CALLED 44.525 ACRES
TRACT 2

TANDY R. BAILEY SURVEY
ABSTRACT NO. 30
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER:
CDGT ROCKWALL/2016, LLC
INSTRUMENT NO. 2016000012796
O.P.R.R.C.T.
CALLED 44.56 ACRES



P.O.B. PARCEL 21(E)
N=7,041,500.82
E=2,596,260.41
STA. 43+59.88
97.87 LT.

P.O.B. PARCEL 24
N=7,041,544.56
E=2,596,682.34
STA. 47+79.68
127.07 LT.

OWNER:
NEC JOHN KING & 552, LP
INSTRUMENT NO. 20170000012273
O.P.R.R.C.T.
CALLED 19.494 ACRES

FOUND 1/2" IRON ROD WITH CAP (ILLEGIBLE) BEARS
N 35° 49' 39" W 0.22'

STATE OF TEXAS
VOLUME 42, PAGE 152
D.R.R.C.T.
CALLED 1.2987 ACRES
PARCEL 2

STATE OF TEXAS
VOLUME 42, PAGE 185
D.R.R.C.T.
CALLED 1.2195 ACRES
PARCEL 5

P.O.B. PARCEL 22(E)
N=7,041,328.08
E=2,596,375.92
STA. 44+68.57
79.23 RT.

FOUND 5/8" IRON ROD WITH CAP STAMPED "SURVCON" (CM)

STATE OF TEXAS
VOLUME 42, PAGE 258
D.R.R.C.T.
CALLED 1.7521 ACRES
PARCEL 3

REMAINDER OF PERMANENT EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT
VOLUME 812, PAGE 23
D.R.R.C.T.

STATE OF TEXAS
VOLUME 42, PAGE 118
D.R.R.C.T.
CALLED 1.618 ACRES
PARCEL 6

N 89° 21' 07" E 1,406.02'

15' SANITARY SEWER EASEMENT TO CITY OF ROCKWALL
INSTRUMENT NO. 20170000013612
O.P.R.R.C.T.

LOT 1, BLOCK 1
ROCKWALL MIDDLE SCHOOL NO. 4 ADDITION
CABINET F, SLIDE 67
P.R.R.C.T.

OWNER:
ROCKWALL INDEPENDENT SCHOOL DISTRICT
VOLUME 2111, PAGE 131
D.R.R.C.T.
REMAINDER OF
CALLED 38.81 ACRES

24' FIRELANE CABINET F, SLIDE 67
P.R.R.C.T.

15' UTILITY EASEMENT CABINET F, SLIDE 67
P.R.R.C.T.

15' UTILITY EASEMENT CABINET F, SLIDE 67
P.R.R.C.T.

REMAINDER OF LOT 2, BLOCK 1
ROCKWALL MIDDLE SCHOOL NO. 4 ADDITION
CABINET F, SLIDE 67
P.R.R.C.T.

OWNER:
THE CITY OF ROCKWALL
VOLUME 2958, PAGE 78
D.R.R.C.T.
REMAINDER OF
CALLED 12.362 ACRES

WILLIAM D. DEWEES SURVEY
ABSTRACT NO. 71
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

P.O.B. PARCEL 23
N=7,041,331.35
E=2,596,664.38
STA. 47+59.14
85.92 RT.

P.O.B. PARCEL 25
N=7,041,288.02
E=2,596,708.59
STA. 48+03.07
129.74 RT.

NEW R.O.W. LINE

REMAINDER OF LOT 2, BLOCK 1
ROCKWALL MIDDLE SCHOOL NO. 4 ADDITION
CABINET F, SLIDE 67
P.R.R.C.T.

OWNER:
THE CITY OF ROCKWALL
VOLUME 2958, PAGE 78
D.R.R.C.T.
REMAINDER OF
CALLED 12.362 ACRES

CENTERLINE CURVE DATA
PI STATION = 47+12.35
PI NORTHING = 7,041,416.75
PI EASTING = 2,596,616.43
DELTA = 01° 35' 39" (RT)
DEGREE OF CURVE = 01° 25' 57"
TANGENT = 55.65'
LENGTH = 111.29'
RADIUS = 4,000.00'
PC STATION = 46+56.70
PT STATION = 47+67.99
CHORD BEARING = N 88° 33' 53" E
CHORD DISTANCE = 111.28'

30' RIGHT-OF-WAY DEDICATION CABINET F, SLIDE 67
P.R.R.C.T.

OWNER:
MICHAEL MILLER AND STACY MILLER
INSTRUMENT NO. 2017000001122
O.P.R.R.C.T.
CALLED 12.00 ACRES

STATE OF TEXAS
VOLUME 42, PAGE 118
D.R.R.C.T.
CALLED 1.618 ACRES
PARCEL 6

P.O.B. PARCEL 27
N=7,041,289.76
E=2,596,869.28
STA. 49+63.77
129.80 RT.

OWNER:
BETTY L. THOMPSON
VOLUME 5670, PAGE 229
D.R.R.C.T.
CALLED 6.70 ACRES

JOHN KING BOULEVARD
(WIDTH VARIES)
(IN DEED OF RECORD FOUND)

P. BRUCE HARRISON SURVEY
ABSTRACT NO. 97
ROCKWALL COUNTY, TEXAS

GRID COORDINATE
N=7,039,925.1734
E=2,596,561.3518

FED. RD. DIV. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.		
6	TEXAS	N/A	FM 552		
STATE DISTRICT NO.	COUNTY	CONTROL NO.	SECTION NO.	JOB NO.	SHEET NO.
18	ROCKWALL	1017	01	017	08



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address NW/ FM 552 /John King

Subdivision Saddle Star North - 44.56 Lot _____ Block _____

General Location NW/ FM 552 /John King

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Plan Development 102015-08A-80 Current Use Ag

Proposed Zoning Plan Development 80 Proposed Use Single Family

Acreage 44.56 Lots [Current] 1 Lots [Proposed] 92

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>CDGT / Rockwall / 2016 LLC</u>	<input type="checkbox"/> Applicant	<u>KPA Consulting</u>
Contact Person	<u>Pat Atkins</u>	Contact Person	<u>Pat Atkins</u>
Address	<u>3076 Hays Ln.</u>	Address	<u>3076 Hays Ln.</u>
City, State & Zip	<u>Rockwall, TX 75087</u>	City, State & Zip	<u>Rockwall, TX 75087</u>
Phone	<u>972-388-6383</u>	Phone	<u>972-388-6383</u>
E-Mail	<u>kpatatkins@gmail.com</u>	E-Mail	<u>kpatatkins@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

SADDLE STAR LAND DEVELOPMENT L.L.C./KPA CONSULTING

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-DIRECTOR

10-16-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

RE:

SADDLE STAR NORTH-44.56 ACRES – OWNER – C.D.G.T.-2016 L.L.C.

ROCKWAL ,ROCKWALL COUNTY , TEXAS

DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES OF THE OWNERS OF THE 44.56 ACRE IN ROCKWALL,
ROCKWALL COUNTY.

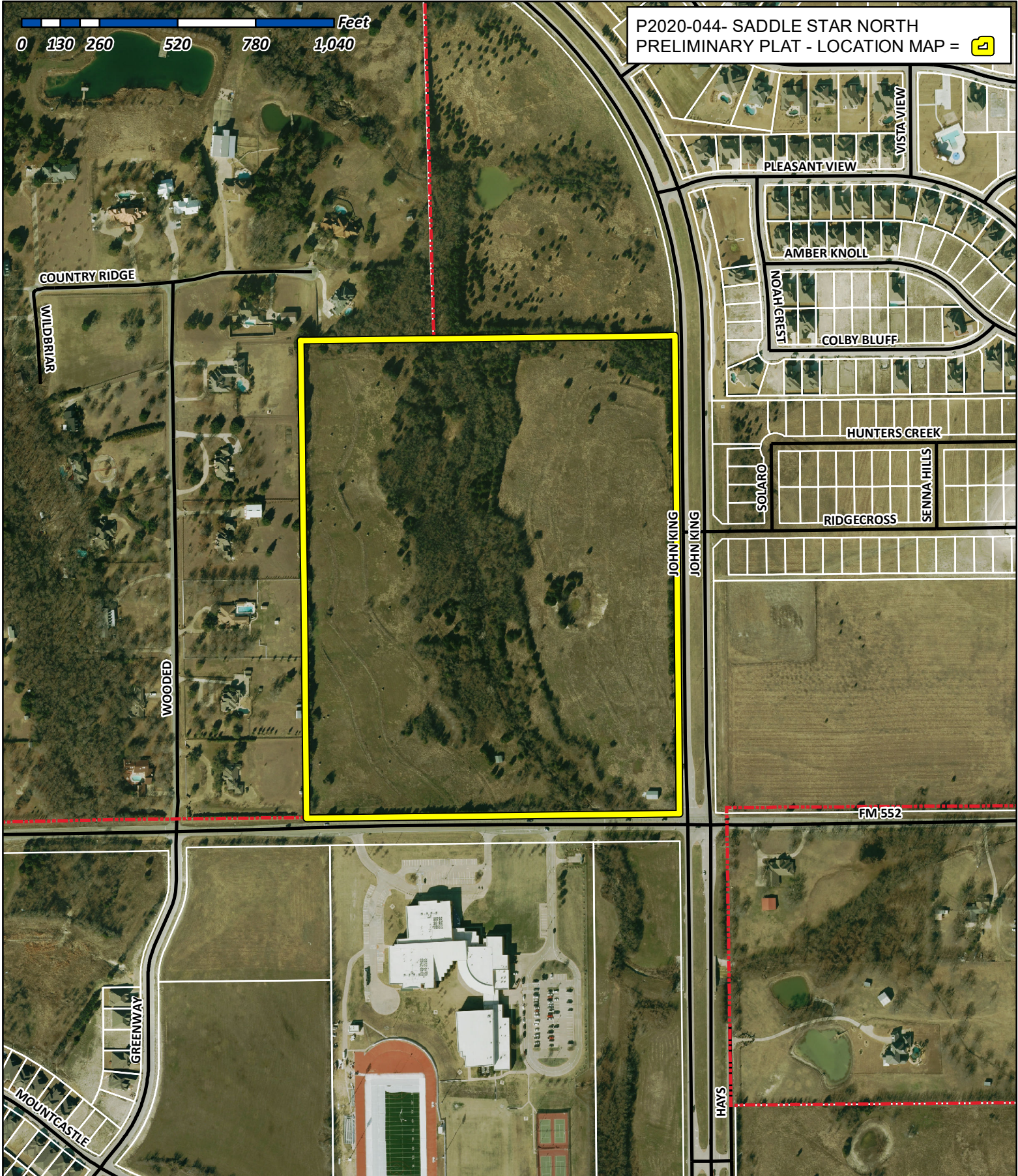
WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS DIRECTOR OF SADDLE STAR LAND DEVELOPMENT
L.L.C.,TO PURSUE APPROVAL OF THE PRELIMINARY PLAT APPLICATION,ENCLOSED THE FOLLOWING:

- A. APPLICATION
- B. FILING FEE
- C. PRELIMINARY ENGINEERING
- D. BOUNDARY SURVEY

SINCERELY



PAT ATKINS-DIRECTOR-SADDLE STAR /KPA CONSULTING



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP = [icon]

0 130 260 520 780 1,040 Feet

FM 552

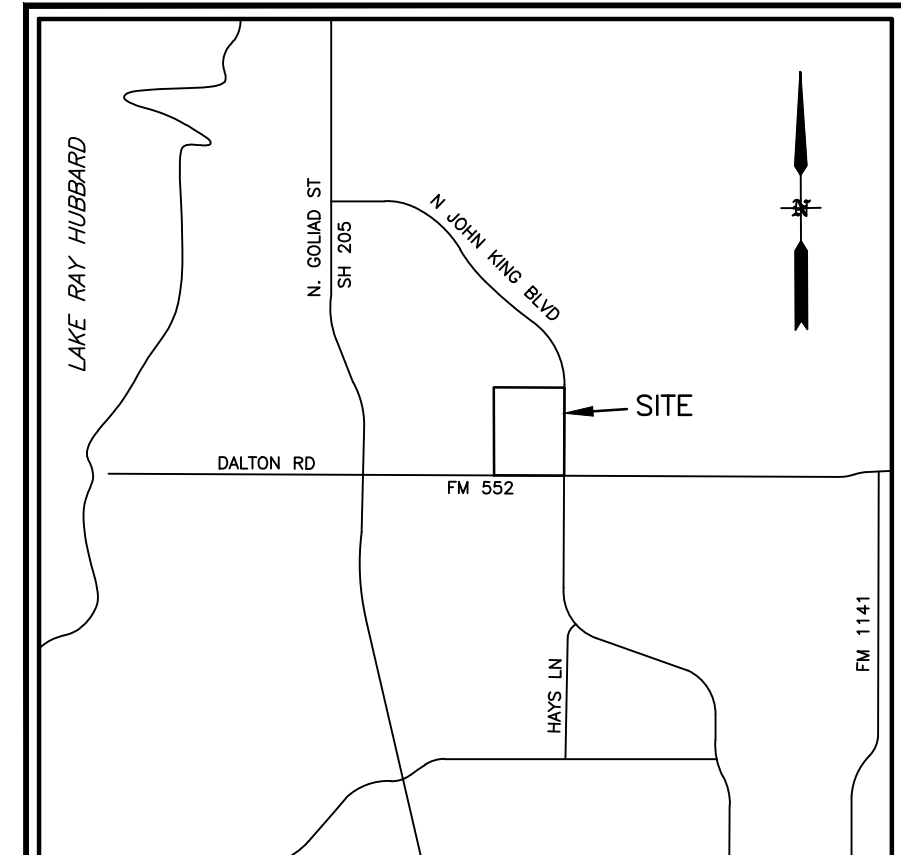


City of Rockwall

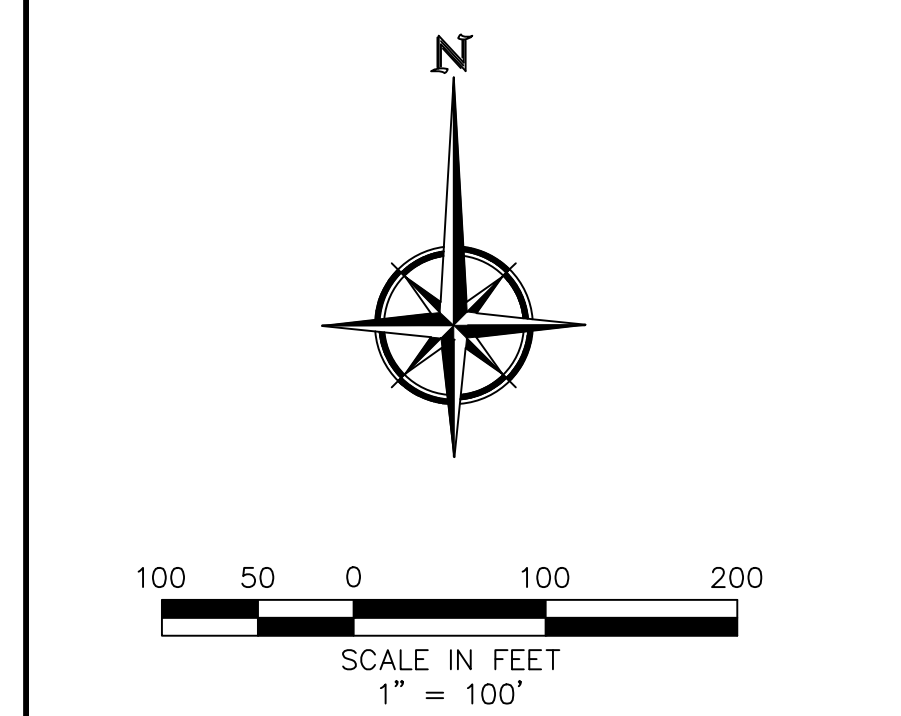
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



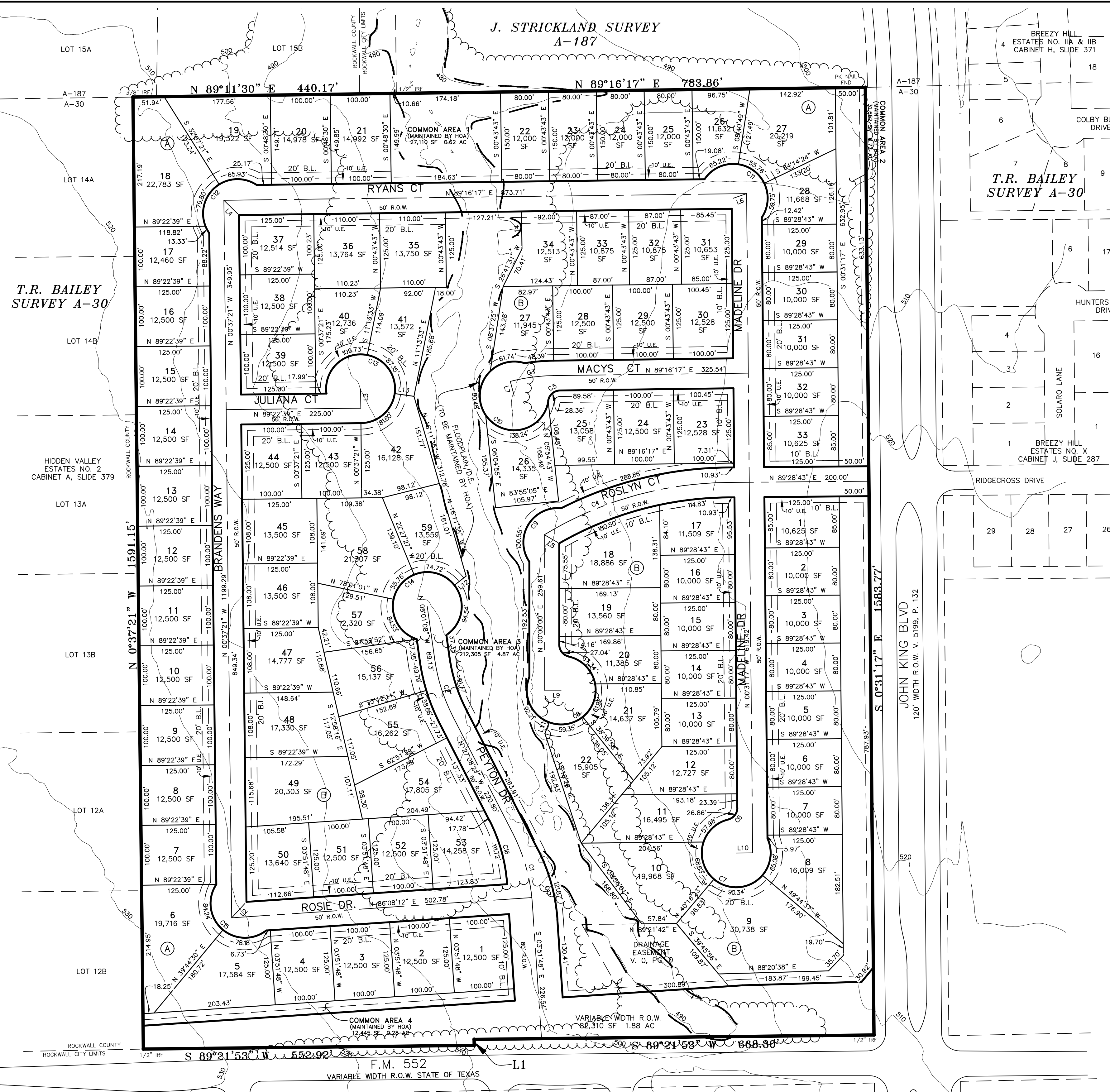


VICINITY MAP
N.T.S.



SCALE IN FEET
1" = 100'

REVIEWED FOR PRELIMINARY APPROVAL
 Planning and Zoning Commission _____ Date _____
 APPROVED FOR PREPARATION OF FINAL PLAT
 Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____



J. STRICKLAND SURVEY
A-187

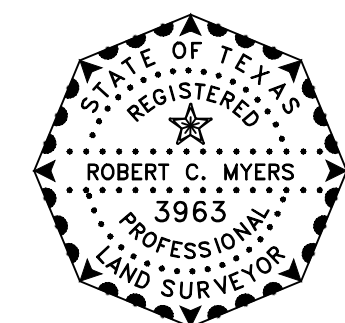
T.R. BAILEY SURVEY A-30

NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	10.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	81°15'18"	20.00'	17.16'	28.36'	S 48°38'38" W	26.05'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	28°10'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
 That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
 GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
 Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
 ROBERT C. MYERS
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 3963



Notes:

- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
- A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
- By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability of water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The Open Space Lots to be maintained by the Homeowners Association (HOA).

ZONING DISTRICT: PD-80
 OPEN SPACE = 6.508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201
 DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3078 HAYS LANE
 ROCKWALL, TX 75087
 LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmysurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 510

PRELIMINARY PLAT
 Case No. PP2020-000
SADDLE STAR ESTATES NORTH
 92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES
 SITUATED IN THE
 T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLE, TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401
 DATE: OCTOBER 16, 2016 CASE NO. PP2020-000 SHEET 1 OF 1

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 10, 2020

APPLICANT: Pat Atkins; *KPA Consulting*

CASE NUMBER: P2020-044; *Preliminary Plat for the Saddle Star North Subdivision*

SUMMARY

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

PLAT INFORMATION

The purpose of the applicant's request is to preliminary plat the Saddle Star North Subdivision. This subdivision will be comprised of 92 single-family residential lots on a 44.56-acre tract of land. This development will be constructed in one (1) phase utilizing two (2) lot types that will consist of 50 *Type 'B' Lots (i.e. 80' x 125' or a minimum of 10,000 SF)* and 42 *Type 'C' Lots (i.e. 100' x 125' or a minimum of 12,500 SF)*. Staff should point out that the proposed preliminary plat reduces the number of lots allowed by *Ordinance No. 16-08 [Planned Development District 80 (PD-80)]* from 109 lots to 92 lots by eliminating the *Type 'A' Lots*. According to the ordinance, a total of 12 *Type 'A' Lots (i.e. 70' x 125' or a minimum of 8,750 SF)* were permitted. The preliminary plat also decreases the number of *Type 'B' Lots (i.e. the 80' x 125' lots)* from 79 to 64 and increases the number of *Type 'C' Lots (i.e. 100' x 125' lots)* from 18 lots to 28 lots. The total change in the lot count amounts to a net loss of 17 lots, which lowers the overall density of the development from 2.45-dwelling units per acre to 2.06 dwelling units per acre. Additionally, the amount of open space was increased from 12.59% (or 5.61-acres) to 14.6% (or 6.508-acres). Along with the preliminary plat, the applicant has also submitted preliminary drainage and utility plans demonstrating how the development can be adequately served. The following is the proposed lot composition of the Saddle Star North Subdivision:

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
<i>B</i>	<i>80' x 125'</i>	<i>10,000 SF</i>	<i>50</i>	<i>54.35%</i>
<i>C</i>	<i>100' x 125'</i>	<i>12,500 SF</i>	<i>42</i>	<i>45.65%</i>
			<i>92</i>	<i>100.00%</i>

The subject property was annexed by the City Council on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. On January 4, 2016, the City Council approved *Ordinance No. 16-08 [Case No. Z2015-035]* changing the zoning of the subject property from an Agricultural (AG) District to Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses. On April 4, 2016, the City Council approved a master plat/open space plan [*Case No. P2019-011*] and a preliminary plat [*Case No. P2016-010*] for the Saddle Star North Subdivision. In accordance with Section 38-8(f)(2) of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinance, the applicant -- on *March 28, 2017* -- requested that the Planning and Zoning Commission approve an extension of the preliminary plat and master plat. This was granted and extended these plats to August 15, 2018; however, due to inactivity these plats expired on August 15, 2018 in accordance with Section 38-8(f)(1) of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinance.

On November 3, 2020 the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed subdivision:

- (1) The developer shall pay pro-rata equipment fees of \$39,744.00 (*i.e.* \$432.00 x 92 lots), which will be due at the time of final plat.
 - (2) The developer shall pay cash in lieu of land fees of \$41,952.00 (*i.e.* \$456.00 x 92 lots), which will be due at the time of final plat.
- The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Planned Development District 80 (PD-80), the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
 - The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
 - Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
 - With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for the *Saddle Star North Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e.* *Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address NW/ FM 552 /John King

Subdivision Saddle Star North - 44.56 Lot _____ Block _____

General Location NW/ FM 552 /John King

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Plan Development 102015-084-80 Current Use Ag

Proposed Zoning Plan Development 80 Proposed Use Single Family

Acreage 44.56 Lots [Current] 1 Lots [Proposed] 92

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>CDGT / Rockwall / 2016 LLC</u>	<input type="checkbox"/> Applicant	<u>KPA Consulting</u>
Contact Person	<u>Pat Atkins</u>	Contact Person	<u>Pat Atkins</u>
Address	<u>3076 Hays Ln.</u>	Address	<u>3076 Hays Ln.</u>
City, State & Zip	<u>Rockwall, TX 75087</u>	City, State & Zip	<u>Rockwall, TX 75087</u>
Phone	<u>972-388-6383</u>	Phone	<u>972-388-6383</u>
E-Mail	<u>kpatatkins@gmail.com</u>	E-Mail	<u>kpatatkins@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

SADDLE STAR LAND DEVELOPMENT L.L.C./KPA CONSULTING

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-DIRECTOR

10-16-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

RE:

SADDLE STAR NORTH-44.56 ACRES – OWNER – C.D.G.T.-2016 L.L.C.

ROCKWAL ,ROCKWALL COUNTY , TEXAS

DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES OF THE OWNERS OF THE 44.56 ACRE IN ROCKWALL,
ROCKWALL COUNTY.

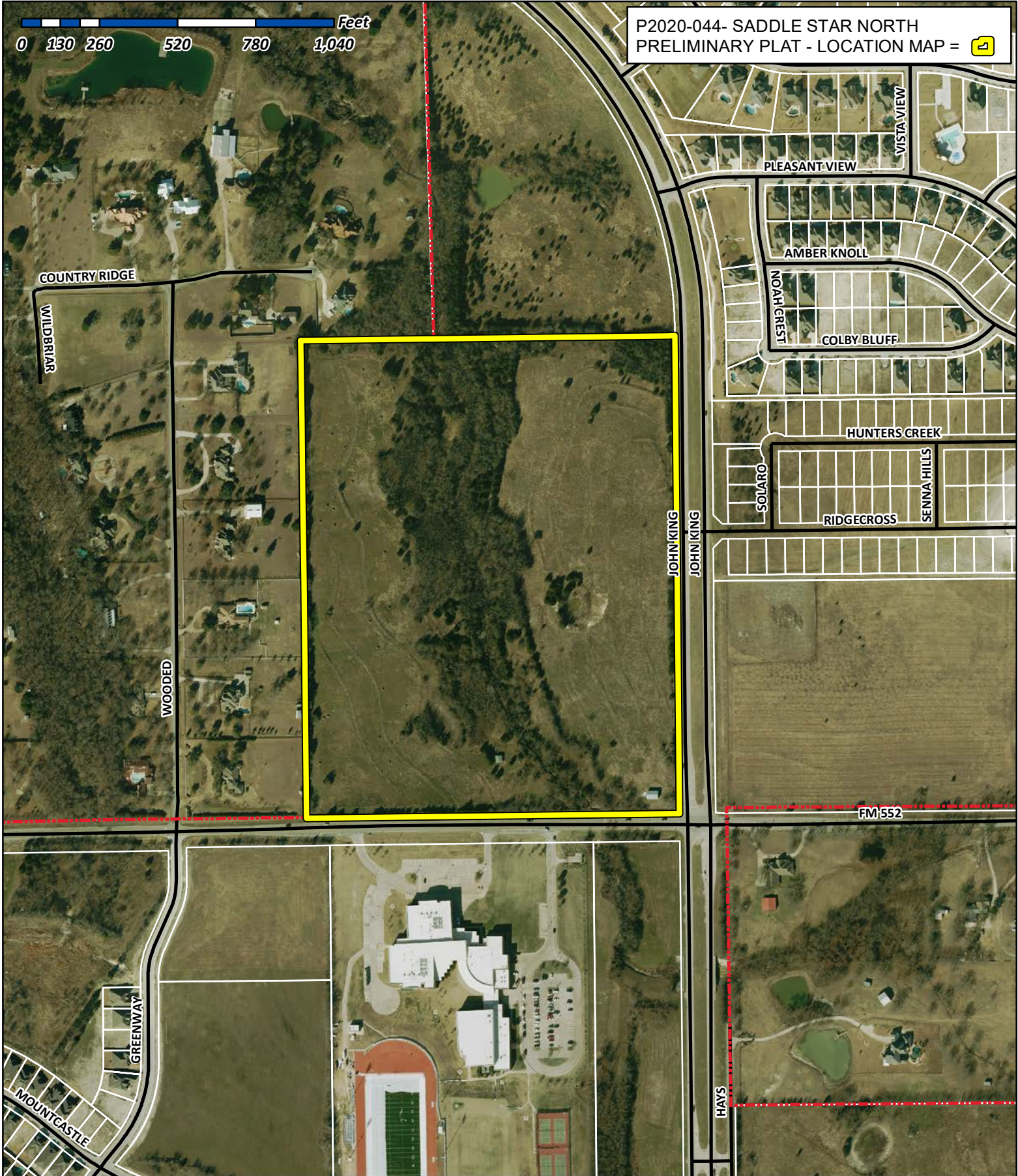
WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS DIRECTOR OF SADDLE STAR LAND DEVELOPMENT
L.L.C.,TO PURSUE APPROVAL OF THE PRELIMINARY PLAT APPLICATION,ENCLOSED THE FOLLOWING:

- A. APPLICATION
- B. FILING FEE
- C. PRELIMINARY ENGINEERING
- D. BOUNDARY SURVEY

SINCERELY



PAT ATKINS-DIRECTOR-SADDLE STAR /KPA CONSULTING



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP =

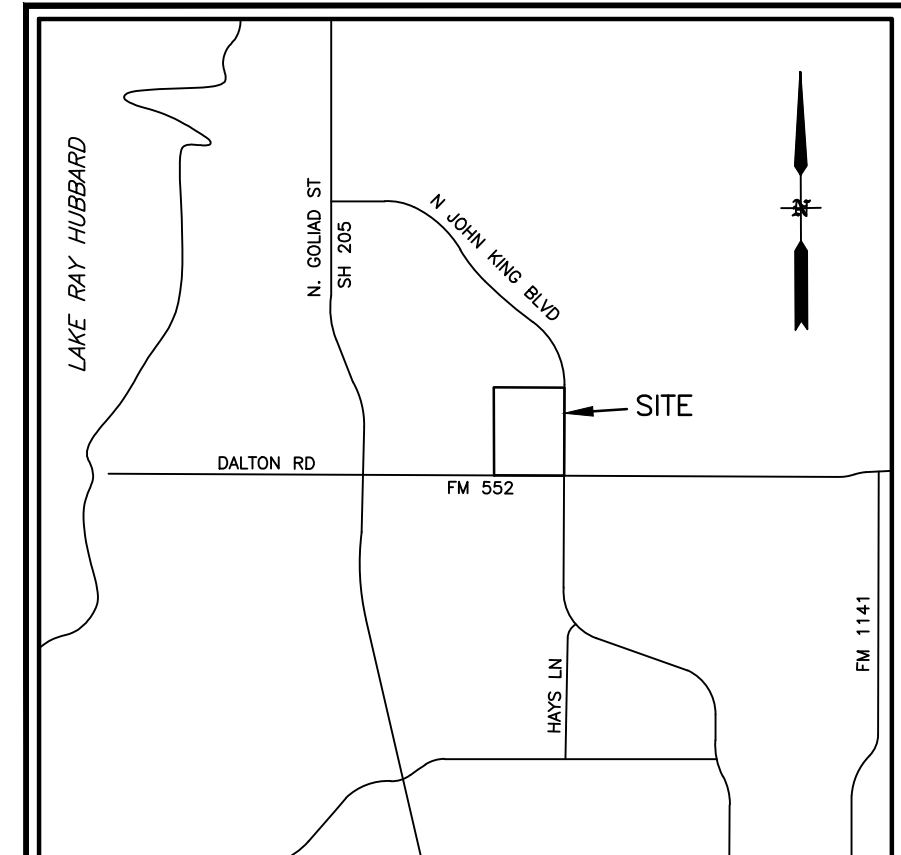


City of Rockwall

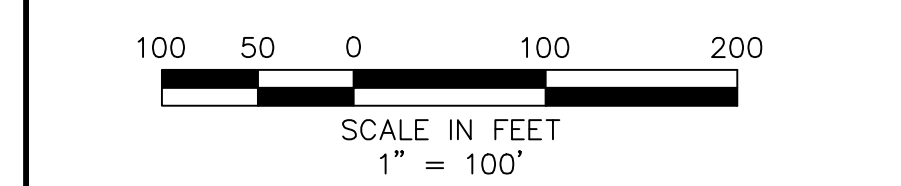
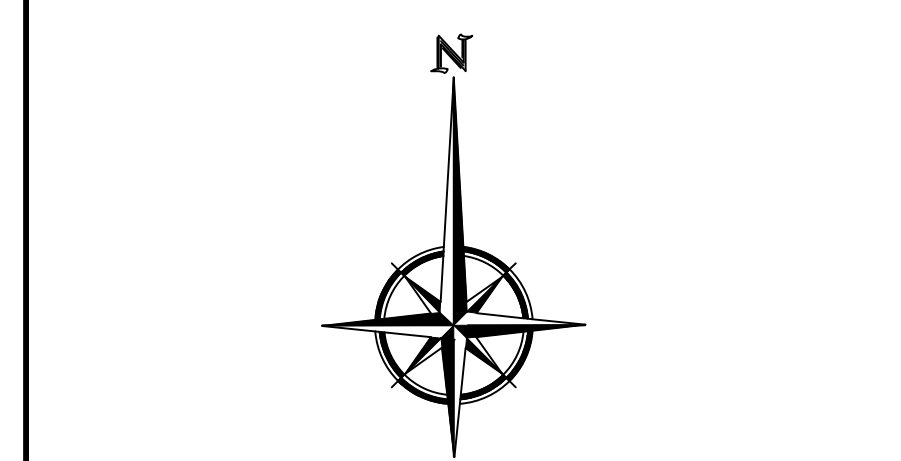
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



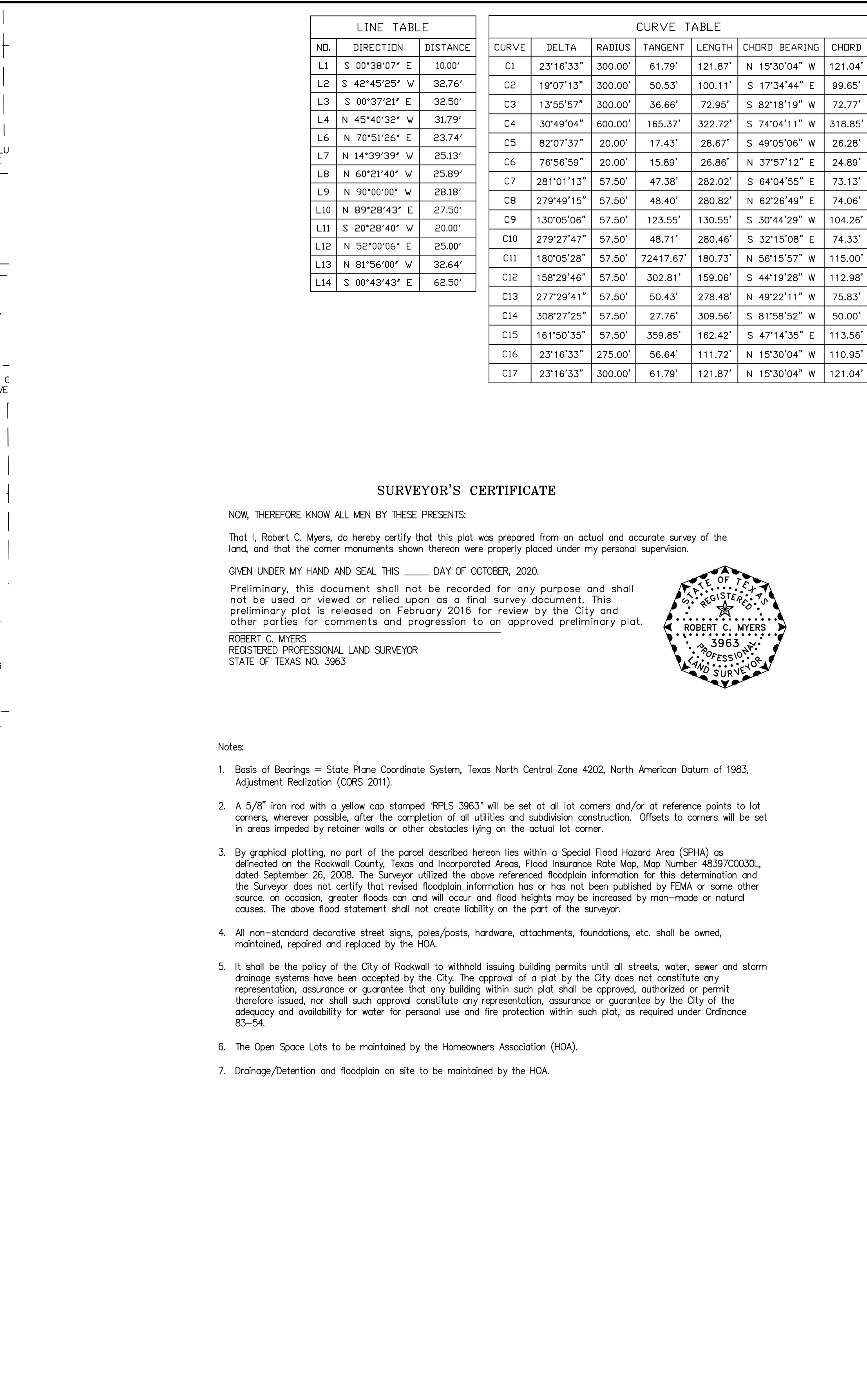


VICINITY MAP
N.T.S.



LEGEND

- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- S.S.E. SANITARY SEWER EASEMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. SIDEWALK AND VISIBILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS
- ◆ INDICATES CHANGE IN STREET NAME



LINE TABLE

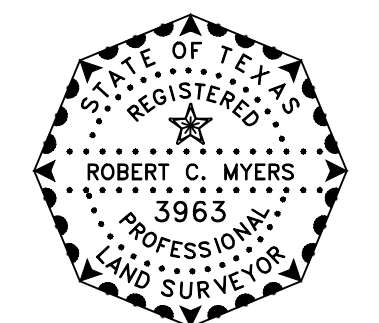
NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	100.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	82°07'37"	20.00'	17.43'	28.67'	S 49°05'06" W	26.28'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	28°10'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
 That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
 GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
 Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
 ROBERT C. MYERS
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 3963



- Notes:
- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
 - A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
 - By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 - All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - The Open Space Lots to be maintained by the Homeowners Association (HOA).
 - Drainage/Retention and floodplain on site to be maintained by the HOA.

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

ZONING DISTRICT: PD-80
 OPEN SPACE = 6,508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

PRELIMINARY PLAT
 Star No. PP2020-044

SADDLE STAR ESTATES NORTH

92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES

SITUATED IN THE
 T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3078 HAYS LANE
 ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmsurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 510

ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLE, TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401

DATE: NOVEMBER 03, 2020 CASE NO. PP2020-044 SHEET 1 OF 2



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: November 16, 2020

APPLICANT: Pat Atkins; *KPA Consulting*

CASE NUMBER: P2020-044; *Preliminary Plat for the Saddle Star North Subdivision*

SUMMARY

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

PLAT INFORMATION

The purpose of the applicant's request is to preliminary plat the Saddle Star North Subdivision. This subdivision will be comprised of 92 single-family residential lots on a 44.56-acre tract of land. This development will be constructed in one (1) phase utilizing two (2) lot types that will consist of 50 *Type 'B' Lots (i.e. 80' x 125' or a minimum of 10,000 SF)* and 42 *Type 'C' Lots (i.e. 100' x 125' or a minimum of 12,500 SF)*. Staff should point out that the proposed preliminary plat reduces the number of lots allowed by *Ordinance No. 16-08 [Planned Development District 80 (PD-80)]* from 109 lots to 92 lots by eliminating the *Type 'A' Lots*. According to the ordinance, a total of 12 *Type 'A' Lots (i.e. 70' x 125' or a minimum of 8,750 SF)* were permitted. The preliminary plat also decreases the number of *Type 'B' Lots (i.e. the 80' x 125' lots)* from 79 to 64 and increases the number of *Type 'C' Lots (i.e. 100' x 125' lots)* from 18 lots to 28 lots. The total change in the lot count amounts to a net loss of 17 lots, which lowers the overall density of the development from 2.45-dwelling units per acre to 2.06 dwelling units per acre. Additionally, the amount of open space was increased from 12.59% (or 5.61-acres) to 14.6% (or 6.508-acres). Along with the preliminary plat, the applicant has also submitted preliminary drainage and utility plans demonstrating how the development can be adequately served. The following is the proposed lot composition of the Saddle Star North Subdivision:

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
<i>B</i>	<i>80' x 125'</i>	<i>10,000 SF</i>	<i>50</i>	<i>54.35%</i>
<i>C</i>	<i>100' x 125'</i>	<i>12,500 SF</i>	<i>42</i>	<i>45.65%</i>
			<i>92</i>	<i>100.00%</i>

The subject property was annexed by the City Council on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. On January 4, 2016, the City Council approved *Ordinance No. 16-08 [Case No. Z2015-035]* changing the zoning of the subject property from an Agricultural (AG) District to Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses. On April 4, 2016, the City Council approved a master plat/open space plan [*Case No. P2019-011*] and a preliminary plat [*Case No. P2016-010*] for the Saddle Star North Subdivision. In accordance with Section 38-8(f)(2) of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinance, the applicant -- on *March 28, 2017* -- requested that the Planning and Zoning Commission approve an extension of the preliminary plat and master plat. This was granted and extended these plats to August 15, 2018; however, due to inactivity these plats expired on August 15, 2018 in accordance with Section 38-8(f)(1) of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinance.

On November 3, 2020 the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed subdivision:

- (1) The developer shall pay pro-rata equipment fees of \$39,744.00 (*i.e.* \$432.00 x 92 lots), which will be due at the time of final plat.
 - (2) The developer shall pay cash in lieu of land fees of \$41,952.00 (*i.e.* \$456.00 x 92 lots), which will be due at the time of final plat.
- The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Planned Development District 80 (PD-80), the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
 - The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
 - Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
 - With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the preliminary plat for the *Saddle Star North Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e.* *Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 10, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat with the conditions of approval by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address NW/ FM 552 /John King

Subdivision Saddle Star North - 44.56

Lot

Block

General Location NW/ FM 552 /John King

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Plan Development 102015-08A-80 Current Use Ag

Proposed Zoning Plan Development 80 Proposed Use Single Family

Acreage	<u>44.56</u>	Lots [Current]	<u>1</u>	Lots [Proposed]	<u>92</u>
---------	--------------	----------------	----------	-----------------	-----------

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CDGT / Rockwall / 2016 LLC

Contact Person Pat Atkins

Address 3076 Hays Ln.

City, State & Zip Rockwall, TX 75087

Phone 972-388-6383

E-Mail kpatatkins@gmail.com

Applicant KPA Consulting

Contact Person Pat Atkins

Address 3076 Hays Ln.

City, State & Zip Rockwall, TX 75087

Phone 972-388-6383

E-Mail kpatatkins@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

SADDLE STAR LAND DEVELOPMENT L.L.C./KPA CONSULTING

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-DIRECTOR

10-16-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

RE:

SADDLE STAR NORTH-44.56 ACRES – OWNER – C.D.G.T.-2016 L.L.C.

ROCKWAL ,ROCKWALL COUNTY , TEXAS

DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES OF THE OWNERS OF THE 44.56 ACRE IN ROCKWALL,
ROCKWALL COUNTY.

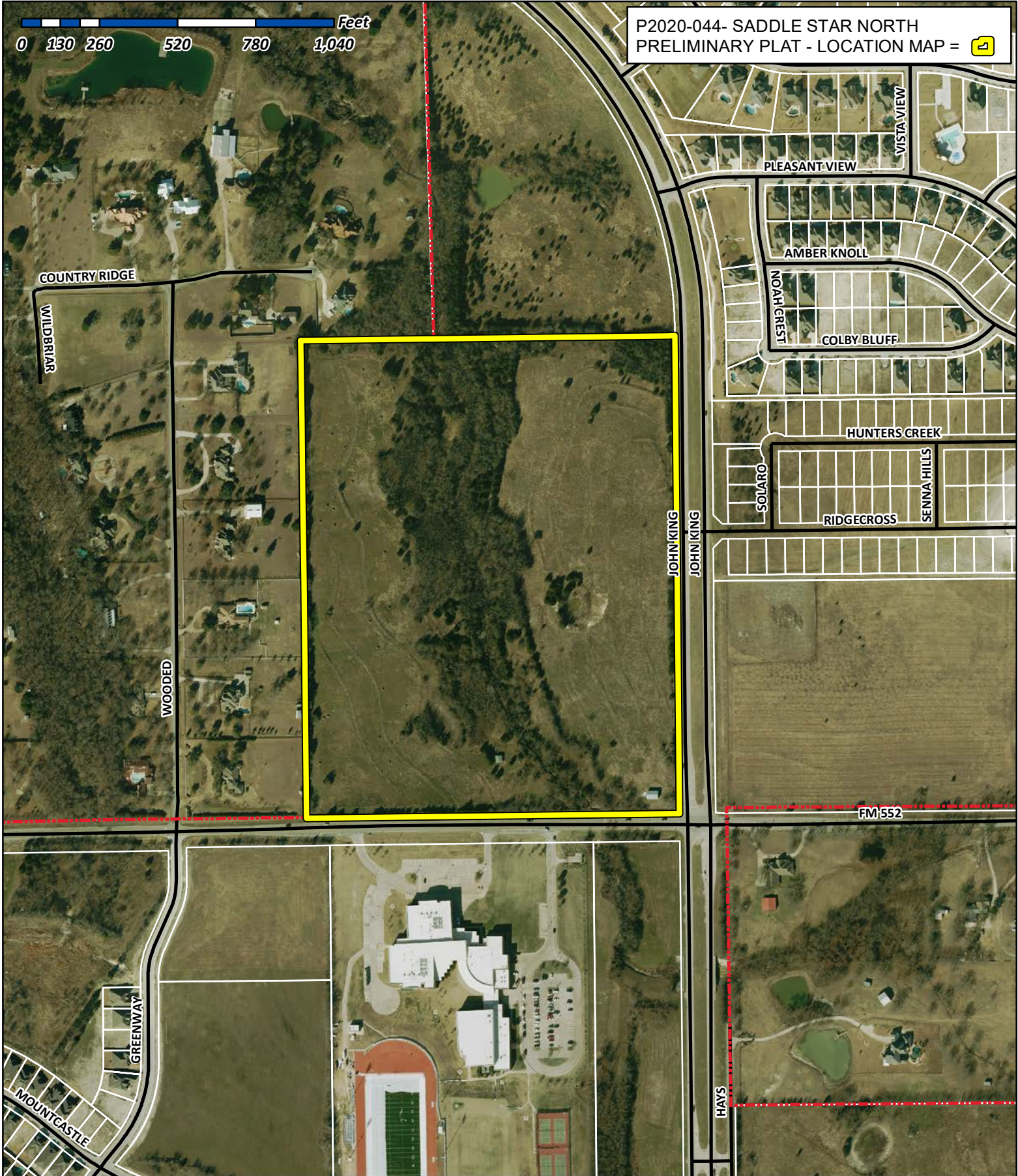
WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS DIRECTOR OF SADDLE STAR LAND DEVELOPMENT
L.L.C.,TO PURSUE APPROVAL OF THE PRELIMINARY PLAT APPLICATION,ENCLOSED THE FOLLOWING:

- A. APPLICATION
- B. FILING FEE
- C. PRELIMINARY ENGINEERING
- D. BOUNDARY SURVEY

SINCERELY



PAT ATKINS-DIRECTOR-SADDLE STAR /KPA CONSULTING



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP =

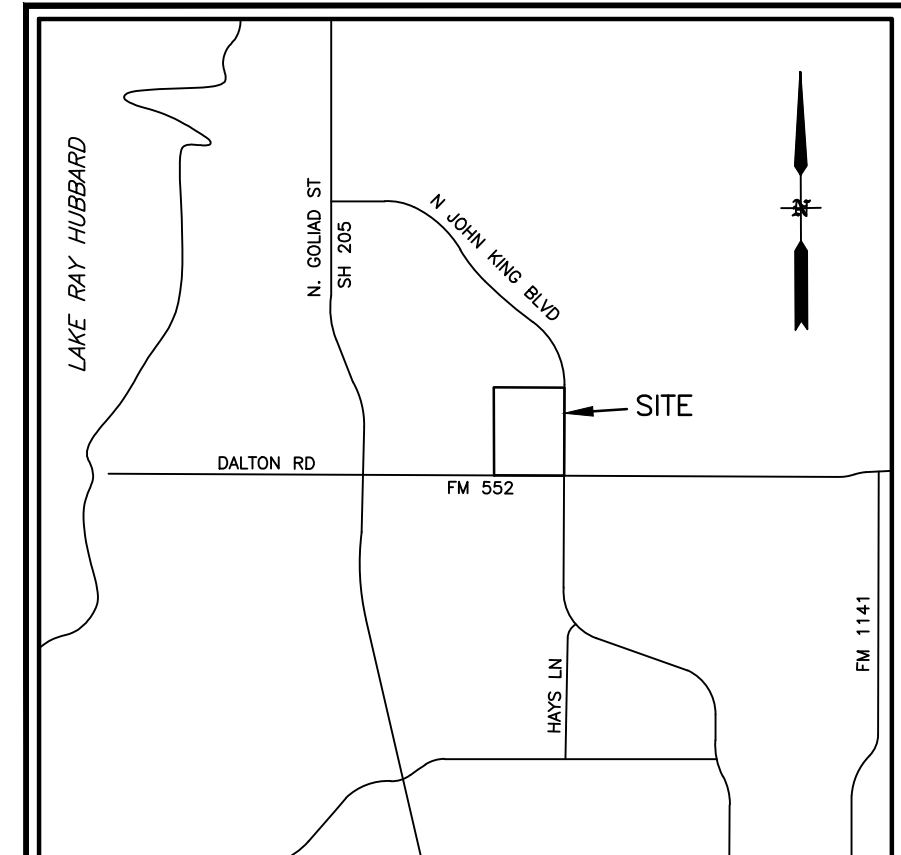


City of Rockwall

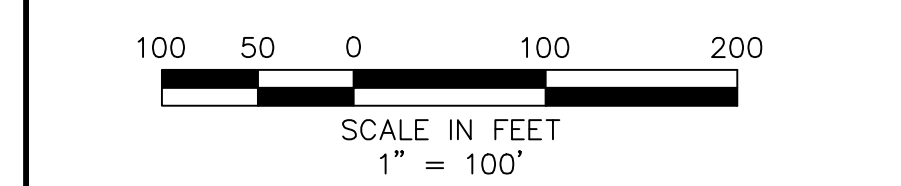
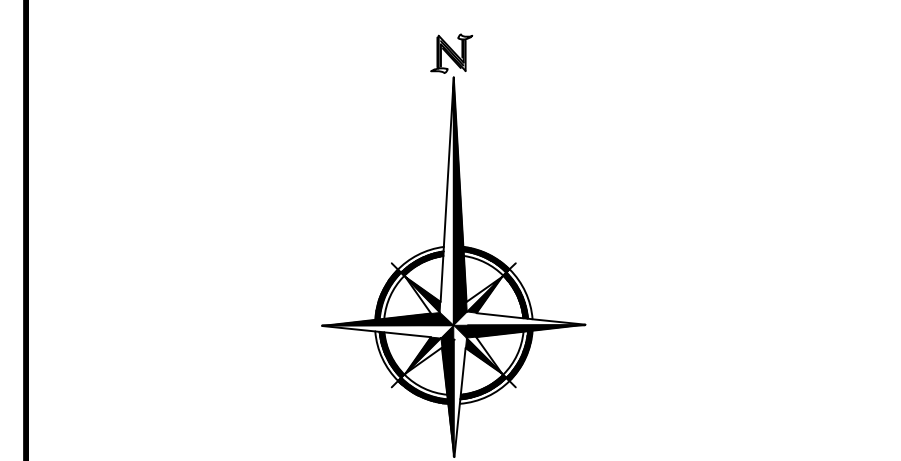
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



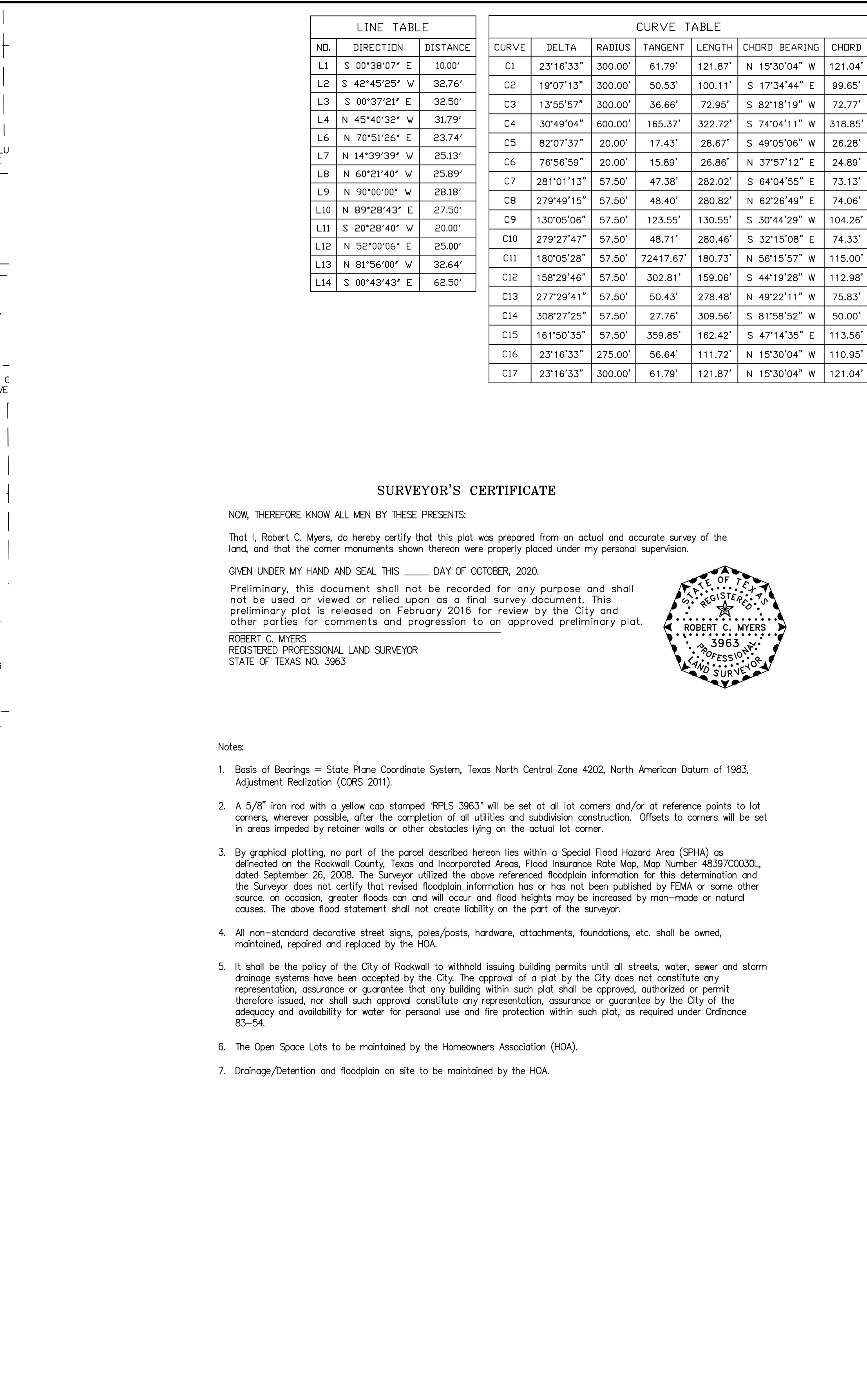


VICINITY MAP
N.T.S.



LEGEND

- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- S.S.E. SANITARY SEWER EASEMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. SIDEWALK AND VISIBILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS
- ◆ INDICATES CHANGE IN STREET NAME



LINE TABLE

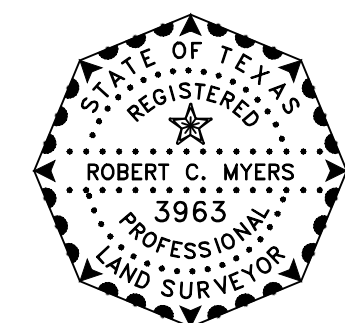
NO.	DIRECTION	DISTANCE
L1	S 00°38'07" E	100.00'
L2	S 42°45'25" W	32.76'
L3	S 00°37'21" E	32.50'
L4	N 45°40'32" W	31.79'
L6	N 70°51'26" E	23.74'
L7	N 14°39'39" W	25.13'
L8	N 60°21'40" W	25.89'
L9	N 90°00'00" W	28.18'
L10	N 89°28'43" E	27.50'
L11	S 20°28'40" W	20.00'
L12	N 52°00'06" E	25.00'
L13	N 81°56'00" W	32.64'
L14	S 00°43'43" E	62.50'

CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
C5	82°07'37"	20.00'	17.43'	28.67'	S 49°05'06" W	26.28'
C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
C7	28°10'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
 That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
 GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
 Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
 ROBERT C. MYERS
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 3963



Notes:

- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
- A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
- By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- The Open Space Lots to be maintained by the Homeowners Association (HOA).
- Drainage/Retention and floodplain on site to be maintained by the HOA.

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

ZONING DISTRICT: PD-80
 OPEN SPACE = 6.508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

PRELIMINARY PLAT
 Star No. PP2020-044
SADDLE STAR ESTATES NORTH

92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES

SITUATED IN THE

T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3078 HAYS LANE
 ROCKWALL, TX 75087

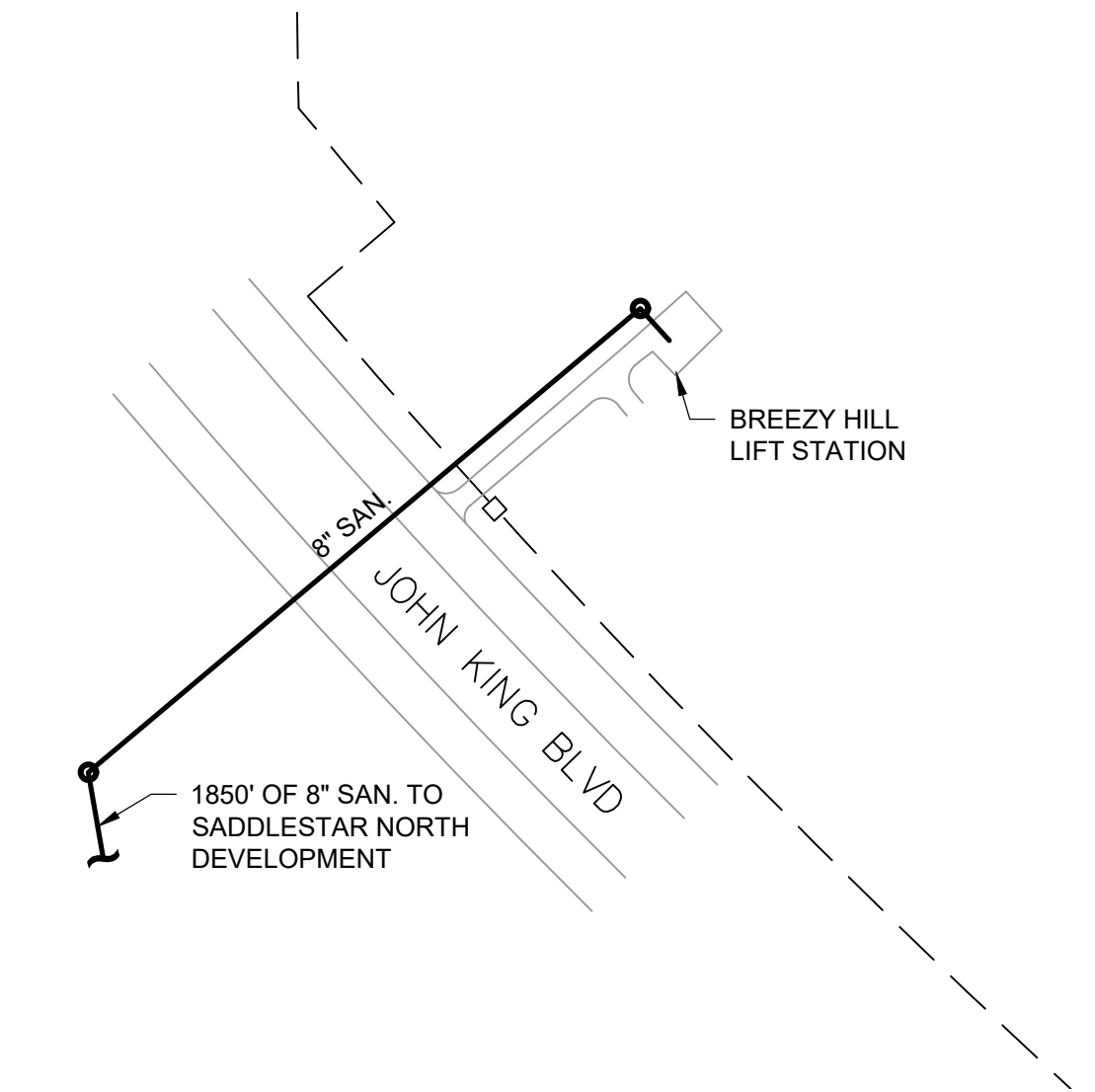
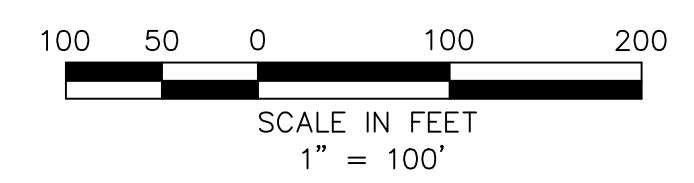
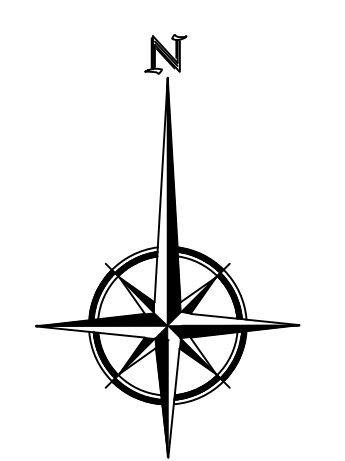
LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmysurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 510

ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401

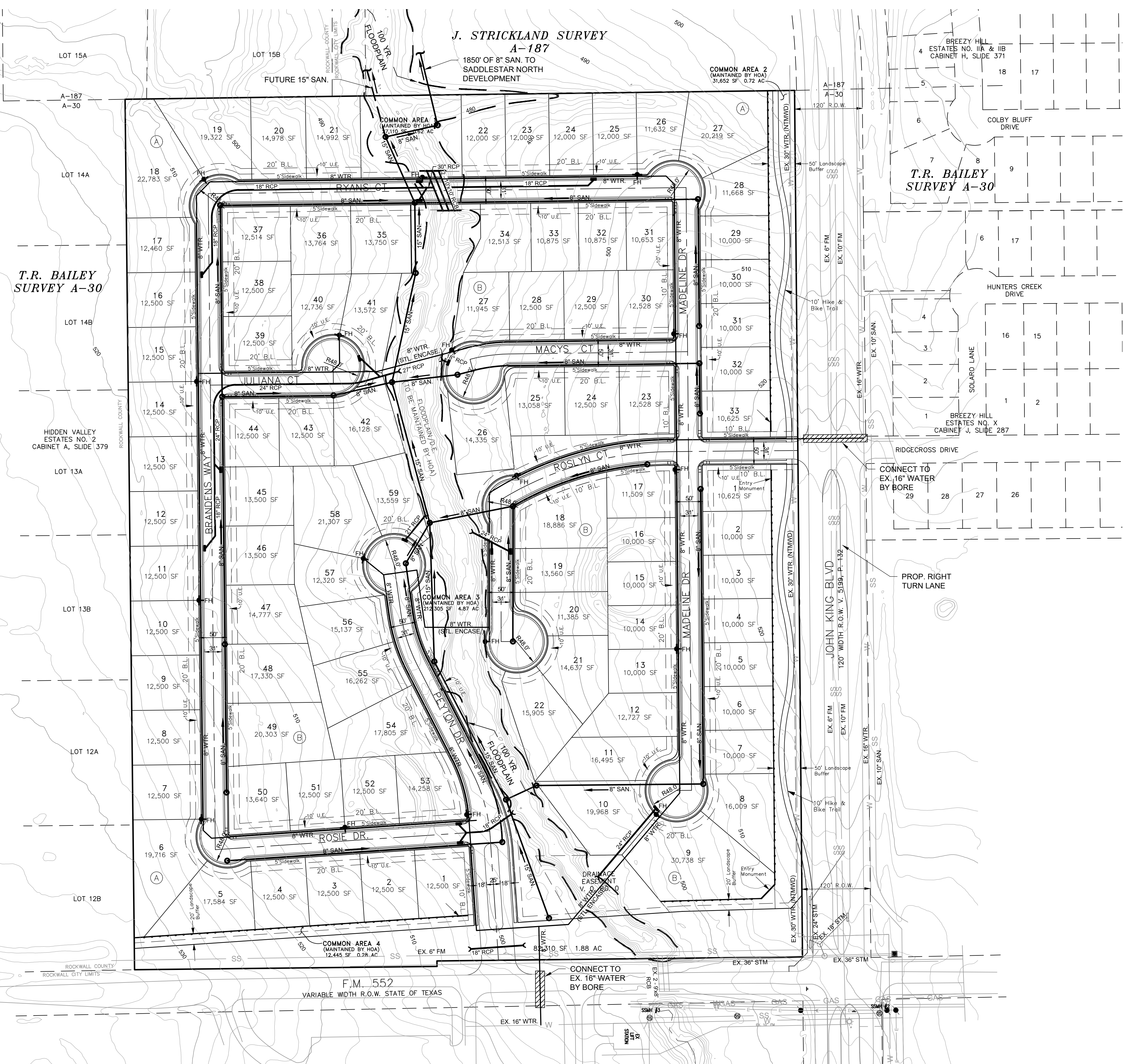
T.R. BAILEY SURVEY A-30

J. STRICKLAND SURVEY A-187

T.R. BAILEY SURVEY A-30



BREEZY HILL LIFT STATION SITE



ZONING DISTRICT: PD-80
 OPEN SPACE = 6.508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

PRELIMINARY PLAT
 Case No. PP2020-044
SADDLE STAR ESTATES NORTH

92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES
 SITUATED IN THE
 T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3076 HAYS LANE
 ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmsurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 510

ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 00145
 201 WINDCO CIRCLE, SUITE 200, WYLLIE TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401

DATE: OCTOBER 29, 2020 CASE NO. PP2020-044 SHEET 2 OF 2

REVIEWED FOR PRELIMINARY APPROVAL

 Planning and Zoning Commission Date

APPROVED FOR PREPARATION OF FINAL PLAT

 Mayor, City of Rockwall City Secretary City Engineer

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50

CITY OF ROCKWALL, TEXAS

ORDINANCE NO. 08-12

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, PROVIDING FOR THE EXTENSION OF CERTAIN BOUNDARY LIMITS OF THE CITY OF ROCKWALL, TEXAS AND THE ANNEXATION OF CERTAIN TERRITORY CONSISTING OF 725 ACRES OF LAND, WHICH SAID TERRITORY LIES ADJACENT TO AND ADJOINS THE PRESENT BOUNDARY LIMITS OF THE CITY OF ROCKWALL, TEXAS; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, two Public Hearings were held before the governing body of the City of Rockwall, Texas, on September 20, 2004, where all interested persons were provided with an opportunity to be heard on the proposed annexation of the following described territories:

BEING a 725 acre tract of land situated in the T.R. Bailey Survey, Abstract No. 30, the J. Simmons Survey, Abstract No. 190, and the J. Strickland Survey, Abstract No. 187 in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point in the North City Limit line of Rockwall, Texas said point being the North line of F.M.552 and the Southwesterly most corner of Tract 3, a 47.0 acre tract of land owned by Larry Hance as recorded in Volume 769, Page 168 of the Deed Records of Rockwall County, Texas said point also being the Southeasterly most corner of Lot 12B in Hidden Valley Estates No. 2 an addition to the County of Rockwall, Texas;

THENCE N0°13'59"E, departing said North line of City Limit Line and the said North line of F.M. 552 and following along the West line of said Tract 3 and the East line of said Lot 12B for a distance of 1591.50 feet to a point for a corner at the Northwesterly most corner of said Tract 3;

THENCE N89°02'44"E, along the North line of said Tract 3 for a distance of 439.50 feet to a point for a corner;

THENCE N01° 39' 22"W, along the East line of Hidden Valley Estates No. 2 for a distance of 1209.89' for a corner;

THENCE S89°00'33"W along the North line of said Hidden Valley Estates No. 2 for a distance of 1534.80 feet to a point for a corner said point being N89°00'33"E a distance of 11.7 feet from the Northwesterly most corner of Lot 16 in said Hidden Valley Estates No. 2;

THENCE S0°50'48"E, following along a line that is parallel to and 1000.00 feet from the West line of Tract 16, a 69.0 acre tract of land owned by Shennendoah Real Estate Partner as recorded in Volume 3351, Page 114 of the Deed Records of Rockwall County, Texas for a distance of 971.16 feet to a point for a corner;

THENCE S89°09'12"W, along the South line of Tract 15-1, a 70.05 acre tract of land as owned by Bruce A. Clark and the South line of said Tract 16 and following along the South line of Shennendoah Lane for a distance of 1000.00 feet to a point for a corner;

THENCE N0°50'48"W, along the said West line of Tract 16 for a distance of 1550.32 feet to a point for a corner at the Southeasterly most corner of Tract 25-2, a 26.825 acre tract of land as owned by Fred E. Thompson, Jr. as recorded in Volume 1018, Page 183 of the Deed Records of Rockwall County, Texas;

THENCE N90°00'00"W, along the South line of said Tract 25-2 for a distance of 535.05 feet to a point for a corner;

THENCE N0°00'00"E, for a distance of 217.00 feet to a point for a corner;

THENCE S88°00'00"W, for a distance of 358.26 feet to a point for a corner in the East line of State Highway No. 205 said line being the East line of said City Limits Line said point also being the Southwesterly most corner of said Tract 25-2;

THENCE N0°00'00"E, along the said East line of S.H. 205 and the said East City Limits Line and also following along the West line of said Tract 25-2 for a distance of 780.63 feet to a point for a corner at the Northeasterly most corner of the City Limits Line of Rockwall said point being the Northwesterly most corner of said Tract 25-2;

THENCE N68°36'34"E, along a tract of land owned by the City of Dallas and the Northwest line of said Tract 25-2 for a distance of 382.24 feet to a point for a corner;

THENCE N43°26'36"E, continuing along said City of Dallas tract and said Tract 25-2 for a distance of 194.12 feet to a point for a corner;

THENCE N0°00'00"E, for a distance of 331.64 feet to a point for a corner said point being at the Northwesterly most corner of said Tract 25-2;

THENCE N90°00'00"E, along the North line of said Tract 25-2 for a distance of 386.61 feet to a point for a corner at the Northeasterly most corner of said Tract 25-2 said point being in the West line of said Tract 16;

THENCE N0°00'00"E, along the said West line of Tract 16 and the East line of said City of Dallas Tract for a distance of 1126.78 feet to a point for a corner in the North County Line of Rockwall and the South County Line of Collin said point being at the Northwesterly most corner of said Tract 16;

THENCE N89°56'59"E, along the said Common County Lines of Rockwall and Collin for a distance of 7915.50 feet to a point for a corner at the Northwesterly most corner of High Point Farms One, a 17.518 acre tract of land, an addition to the County of Rockwall said point also being the East line of Anna Cade Road;

THENCE S0°00'00"E, departing said Common County Line and following along the East line of said Anna Cade Road for a distance of 1185.59 feet to a point for a corner;

THENCE S89°17'46"W, departing the said East line of Anna Cade Road and following along the South line of Tract 33, a 97.010 acre tract of land as owned by William Audy Riggs, Sr. as recorded in Volume 2985, Page 235 of the Deed Records of Rockwall County, Texas for a distance of 2597.63 feet to a point for a corner in the East line of Breezy Hill Road;

THENCE S0°40'44"E, along the said East line of Breezy Hill Road for a distance of 4761.95 feet to a point for a corner in the North line of F.M. 552;

THENCE S89°17'21"W, along the said North line of F.M. 552 and following along Tract 1, a 29 acre tract of land, owned by the Estate of W.W. Caruth, Jr., Tract 1, a 43 acre tract of land, owned by the Estate of W.W. Caruth, Jr., and Tract 3, a 47 acre tract of land owned by Larry Hance as recorded in Volume 769, Page 168 of the Deed Records of Rockwall County, Texas for a distance of 3038.52 feet to the Point of Beginning and containing 725.00 acres (31,581,000 square feet) of land more or less.

On the 20th day of September, 2004, at 6:00 p.m. and on the 20th day of September, 2004, at 6:30p.m. at City Hall, 385 S. Goliad, Rockwall, Texas, said dates being not more than forty (40) days nor less than twenty (20) days prior to the institution of annexation proceedings; and

WHEREAS, notice of such public hearings was published in a newspaper having general circulation in the City of Rockwall, Texas and in the territory described herein on the 9th day of September, 2004 and posted on the City of Rockwall Internet site on the 9th day of September, 2004 said dates being not more than twenty (20) days nor less than ten (10) days prior to the dates of such public hearings; and

WHEREAS, the territory lies adjacent to and adjoins the present boundaries of the City of Rockwall, Texas; and

WHEREAS, the territory above contains 725 acres, more or less; and

WHEREAS, this ordinance was passed on first reading by the City Council on October 25, 2004, whereupon these annexation proceedings were instituted; and

WHEREAS, a 405-acre tract of the territory to be annexed, the legal description for which is attached hereto as Exhibit C and incorporated herein by reference, has been the subject of protracted litigation over these annexation proceedings;

WHEREAS, following the first reading of the ordinance, annexation proceedings were enjoined by order of the Court of Appeals, Dallas Division, effective November 1, 2004, which emergency stay continued until a decision was reached and judgment entered in favor by the Texas Supreme Court on January 25, 2008, thereby dissolving such emergency stay; and

WHEREAS, the land described in Exhibit C is the subject of a voluntary development agreement between the property owner and the City, entered into on or about April 7, 2007, as authorized under Tex. Loc. Gov't Code ch. 212; and

WHEREAS, provisions of the development agreement pertaining to public facilities and services supersede in some particulars the provisions for services contained in the City's service plan for the area to be annexed;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the above recitals are hereby found to be true and correct and incorporated herein for all purposes.

Section 2. The land and territory more specifically described herein and further described on Exhibit "A" attached hereto and made a part hereof, and containing 725 acres which is adjacent to and adjoining the present boundaries of the City of Rockwall, Texas, is hereby added and annexed to the City of Rockwall, Texas and said territory as described herein shall hereafter be included within the boundary limits of the City of Rockwall, Texas and the present boundary limits of the City at the various points contiguous to the areas as described above, are altered and amended so as to include said area within the corporate limits of the City.

Section 3. That the official map of the City is hereby amended to reflect the addition of the property described herein.

Section 4. The above described territory and the acres so annexed shall be a part of the City of Rockwall, Texas, and the inhabitants thereof, if any, shall be entitled to all of the rights and privileges of all citizens and shall be bound by the acts, ordinances, resolutions and regulations of the City of Rockwall, Texas.


Section 5. That the Service Plan for the area described herein, which was made available for public inspection at the Public Hearings, is hereby approved as amended, with a copy of said plan being attached hereto and incorporated herein for all purposes and labeled Exhibit "B," and that such service plan with respect to the tract described in Exhibit C is superseded to the extent of any conflict with provisions of that certain voluntary development agreement entered into between the City and the property owner.

Section 6. That this ordinance shall take effect immediately from and after its passage and approval, in accordance with applicable law and the charter of the City of Rockwall, Texas.

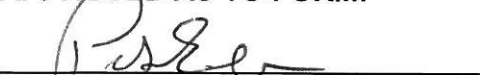
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 4th day of February, 2008.


William R. Cecil, Mayor

ATTEST:


Kristy Ashberry, Interim City Secretary

APPROVED AS TO FORM:


Pete Eckert, City Attorney

1st Reading: October 25, 2004

2nd Reading: February 4, 2008

Exhibit "A"
A2004-003 (725 Acres)

08/18/2004

Legal Description for
North Annexation (See Tract A)

BEING a 725 acre tract of land situated in the T.R. Bailey Survey, Abstract No. 30, the J. Simmons Survey, Abstract No. 190, and the J. Strickland Survey, Abstract No. 187 in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point in the North City Limit line of Rockwall, Texas said point being the North line of F.M.552 and the Southwesterly most corner of Tract 3, a 47.0 acre tract of land owned by Larry Hance as recorded in Volume 769, Page 168 of the Deed Records of Rockwall County, Texas said point also being the Southeasterly most corner of Lot 12B in Hidden Valley Estates No. 2 an addition to the County of Rockwall, Texas;

THENCE N0°13'59"E, departing said North line of City Limit Line and the said North line of F.M. 552 and following along the West line of said Tract 3 and the East line of said Lot 12B for a distance of 1591.50 feet to a point for a corner at the Northwesterly most corner of said Tract 3;

THENCE N89°02'44"E, along the North line of said Tract 3 for a distance of 439.50 feet to a point for a corner;

THENCE N01° 39' 22"W, along the East line of Hidden Valley Estates No. 2 for a distance of 1209.89' for a corner;

THENCE S89°00'33"W along the North line of said Hidden Valley Estates No. 2 for a distance of 1534.80 feet to a point for a corner said point being N89°00'33"E a distance of 11.7 feet from the Northwesterly most corner of Lot 16 in said Hidden Valley Estates No. 2;

THENCE S0°50'48"E, following along a line that is parallel to and 1000.00 feet from the West line of Tract 16, a 69.0 acre tract of land owned by Shennendoah Real Estate Partner as recorded in Volume 3351, Page 114 of the Deed Records of Rockwall County, Texas for a distance of 971.16 feet to a point for a corner;

THENCE S89°09'12"W, along the South line of Tract 15-1, a 70.05 acre tract of land as owned by Bruce A. Clark and the South line of said Tract 16 and following along the South line of Shennendoah Lane for a distance of 1000.00 feet to a point for a corner;

THENCE N0°50'48"W, along the said West line of Tract 16 for a distance of 1550.32 feet to a point for a corner at the Southeasterly most corner of Tract 25-2, a 26.825 acre tract of land as owned by Fred E. Thompson, Jr. as recorded in Volume 1018, Page 183 of the Deed Records of Rockwall County, Texas;

THENCE N90°00'00"W, along the South line of said Tract 25-2 for a distance of 535.05 feet to a point for a corner;

THENCE N0°00'00"E, for a distance of 217.00 feet to a point for a corner;

Exhibit "A"
A2004-003 (725 Acres)

THENCE S88°00'00"W, for a distance of 358.26 feet to a point for a corner in the East line of State Highway No. 205 said line being the East line of said City Limits Line said point also being the Southwesterly most corner of said Tract 25-2;

THENCE N0°00'00"E, along the said East line of S.H. 205 and the said East City Limits Line and also following along the West line of said Tract 25-2 for a distance of 780.63 feet to a point for a corner at the Northeasterly most corner of the City Limits Line of Rockwall said point being the Northwesterly most corner of said Tract 25-2;

THENCE N68°36'34"E, along a tract of land owned by the City of Dallas and the Northwest line of said Tract 25-2 for a distance of 382.24 feet to a point for a corner;

THENCE N43°26'36"E, continuing along said City of Dallas tract and said Tract 25-2 for a distance of 194.12 feet to a point for a corner;

THENCE N0°00'00"E, for a distance of 331.64 feet to a point for a corner said point being at the Northwesterly most corner of said Tract 25-2;

THENCE N90°00'00"E, along the North line of said Tract 25-2 for a distance of 386.61 feet to a point for a corner at the Northeasterly most corner of said Tract 25-2 said point being in the West line of said Tract 16;

THENCE N0°00'00"E, along the said West line of Tract 16 and the East line of said City of Dallas Tract for a distance of 1126.78 feet to a point for a corner in the North County Line of Rockwall and the South County Line of Collin said point being at the Northwesterly most corner of said Tract 16;

THENCE N89°56'59"E, along the said Common County Lines of Rockwall and Collin for a distance of 7915.50 feet to a point for a corner at the Northwesterly most corner of High Point Farms One, a 17.518 acre tract of land, an addition to the County of Rockwall said point also being the East line of Anna Cade Road;

THENCE S0°00'00"E, departing said Common County Line and following along the East line of said Anna Cade Road for a distance of 1185.59 feet to a point for a corner;

THENCE S89°17'46"W, departing the said East line of Anna Cade Road and following along the South line of Tract 33, a 97.010 acre tract of land as owned by William Audy Riggs, Sr. as recorded in Volume 2985, Page 235 of the Deed Records of Rockwall County, Texas for a distance of 2597.63 feet to a point for a corner in the East line of Breezy Hill Road;

THENCE S0°40'44"E, along the said East line of Breezy Hill Road for a distance of 4761.95 feet to a point for a corner in the North line of F.M. 552;

THENCE S89°17'21"W, along the said North line of F.M. 552 and following along Tract 1, a 29 acre tract of land, owned by the Estate of W.W. Caruth, Jr., Tract 1, a 43 acre tract of land, owned by the Estate of W.W. Caruth, Jr., and Tract 3, a 47 acre tract of land owned by Larry Hance as recorded in Volume 769, Page 168 of the Deed Records of Rockwall County, Texas for a distance of 3038.52 feet to the Point of Beginning and containing 725.00 acres (31,581,000 square feet) of land more or less.

AMENDED SERVICE PLAN FOR ANNEXED AREA

Annexation Case No. A2004-003
City and County of Rockwall, Texas

ACREAGE ANNEXED:

Tract A = 725 acres

SURVEY ABSTRACT AND COUNTY:

Tract A

BEING a 725 acre tract of land situated in the T.R. Bailey Survey, Abstract No. 30 and the J. Simmons Survey, Abstract No. 190 and the J. Strickland Survey, Abstract No. 187 in the County of Rockwall, Texas and being more particularly described by metes and bounds as attached:

DATE OF ADOPTION OF ANNEXATION ORDINANCE: February 4, 2008
Date

Municipal services to the acreage described above shall be furnished by or on behalf of the City of Rockwall, Texas, at the following levels and in accordance with the following schedule:

A. Police Services

1. Patrolling, responses to calls, and other routine police services will be provided on the effective date of annexation.
2. As development and construction commence within this area, sufficient police personnel and equipment will be provided to continue to furnish this area the level of police services consistent with police services available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

B. Fire Services

1. Fire protection by the present personnel and the present equipment of the fire Department will be provided to this area on the effective date of annexation.
2. As development and construction commences within this area, sufficient fire personnel and equipment will be provided to continue to furnish this area the level of fire services consistent with fire service available in other parts of the City with land uses and population densities similar to those projected in the annexed area.

C. Health and Code Compliance Services

1. Enforcement of the City's health ordinances and regulations including, but not limited to, weed and brush ordinances, junked and abandoned vehicle ordinances, food handlers ordinances and animal control ordinances, shall be provided within this area on the effective date of the annexation ordinance. These ordinances and regulations will be enforced through the use of existing personnel.

Complaints of ordinance or regulation violations within this area will be responded and investigated by existing personnel beginning with the effective date of the annexation ordinance.

2. The City's building, plumbing, electrical, gas heating, air conditioning and all other construction codes will be enforced within this area beginning with the effective date of the annexation ordinance. Existing personnel will be used to provide these services.
3. The City's zoning, subdivision, and other ordinances shall be enforced in this area beginning on the effective date of the annexation ordinance.
4. All inspection services furnished by the City of Rockwall, but not mentioned above, will be provided to this area beginning on the effective date of the annexation ordinance. Any property owner or his/her assigns who in good faith has a new building or structure, as defined in the Comprehensive Zoning Ordinance, under construction on the effective date of annexation shall be exempted from these inspections for that building or structure under construction for a period of one year from the effective date of annexation. For the purpose of this ordinance "under construction" shall mean any work that requires a building permit from the City of Rockwall.
5. As development and construction commence within this area, sufficient personnel will be provided to continue to furnish this area the same level of Health and Code compliance services as are furnished throughout the City.

D. Planning and Zoning Services

1. The planning and zoning jurisdiction of the City will extend to this area on the effective date of the annexation ordinance. City planning will thereafter encompass this property, and it shall be entitled to consideration for zoning in accordance with the City's Comprehensive Plan, Zoning Ordinance, Landscape Ordinance and Code of Ordinances.

E. Recreation and Leisure Services

1. Residents of this property may utilize all existing recreational and leisure services facilities and sites throughout the City beginning with the effective date of the annexation ordinance.
2. Existing parks, playgrounds, swimming pools and other recreation and leisure facilities within this property shall, upon dedication to and acceptance by the City, be maintained and operated by the City of Rockwall.

F. Solid Waste Collection

1. Solid waste collection shall be provided to the property owner in accordance with existing City policies as to frequency and charges, beginning on the effective date of annexation except for properties that are served by a privately owned solid waste management service provider. Such properties will be allowed to continue private service for a period of two years from the effective date of annexation at which time the property will be required to begin service with a franchised solid waste contractor within the City of Rockwall.

G. Streets

1. The City of Rockwall's existing policies with regard to street maintenance, applicable throughout the entire City, shall apply to this property beginning on the effective date of the annexation ordinance.
2. As development, improvements or construction of streets to the City standards commence within this property, the policies of the City of Rockwall with regard to impact fees and participation in the cost thereof, acceptance upon completion, and maintenance after completion, shall apply.
3. The same level of maintenance shall be provided to streets within this property that have been accepted by the City of Rockwall as is provided to like City streets throughout the City.

H. Water Services

1. Connection to existing City water mains for water services for domestic, commercial and industrial use within this property will be provided in accordance with existing City policies. Upon connection to existing mains, water will be provided at rates established by City ordinance for such services throughout the City.
2. The City's water system has sufficient capacity to provide water for domestic and fire protection to the area in conformity with established City standards. The City has two points of delivery for water located on the south side of Highway 552 and adjacent to the southern boundary of the annexed area. The line is a 16-inch water line in FM 552, from Williams Middle School to the Stoney Hollow Subdivision. However, the majority of the southern part of area A lies within the certificated water service area of the Mount Zion Water Supply Company; the City thus is unable to provide service within such area without the express consent of Mount Zion. The northern part of area A is not within any entity's certificated water service area, and at present consists of vacant land. Upon approval of development within the area, or at the latest within 2.5 years of the effective date of annexation, the City will extend one or more of the existing water mains located south of Highway 552 to the north side of the highway to a point within the annexed area. The developer or property owner within the annexed area and outside the area certificated to Mount Zion shall be

responsible for the costs of extending the mains and constructing water system improvements to serve the development within the annexed territory, consistent with existing City policies, and subject to existing City participation policies in oversized costs and pro rata fee rebates.

3. Water mains which are within the annexed area and are owned and operated by the City shall be maintained beginning with the effective date of the annexation ordinance or upon acquisition by the City.
4. Private water lines within this property shall be maintained by their owners, in accordance with existing policies applicable throughout the City.

I. Sanitary Sewer Services

1. Connections to existing City sanitary sewer mains for sanitary sewage service in this area will be provided in accordance with the existing City policies. Upon connection, sanitary sewage service will be provided at rates established by City ordinances for such services throughout the City.
2. Sewer capacity adequate to serve the area in accordance with established city standards at the planned density of 2.0 dwelling units per gross acre shall be made available at either the Squabble Creek treatment facility, or at a new lift station facility located at the Squabble Creek Wastewater Treatment Plant facility within 2.5 years of the effective date of the annexation. Existing capacity in the Squabble Creek Treatment facility presently is limited to approximately 1940 connections, which is subject to other demands for services from approved developments and projects in the development pipeline. By the end of 2008 or early 2009, however, the City will effectively enlarge the capacity of the plant by constructing a lift station, force main, and gravity line and pumping a portion of the waste water flows to the Buffalo Creek Interceptor System, to provide the capacity needed to serve the remainder of the area to be annexed based on estimated sewage flows of projected development.
3. There is an existing sanitary sewer collection main located at the corner of SH 205 and FM 552 with the capacity to transmit sewage flows at the planned density to the Squabble Creek plant treatment facility. The City will extend the sewer line to the north side of FM 552 (to a point within the annexed area). The proposed northern lift station within the annexed area (Northern Caruth property) will pump wastewater to the SH-205/FM-552 collection point.
4. Developers or property owners within the area to be annexed must extend wastewater lines from the point(s) of connection described in subsection (2 and 3) to and within their developments at their own initial cost, subject to City participation in oversized costs and pro rata fee rebates, in accordance with existing city policies.

5. Sanitary sewer mains of the City will be extended in accordance with the provisions of the Code of Ordinances and engineering standards and other applicable ordinances and regulations. City participation in the costs of these extensions shall be in accordance with applicable City ordinances and regulations and will be provided as otherwise available in other parts of the City with topography, land uses, and population densities similar to those reasonably contemplated or projected in the area. Sewer service for this area shall be directed to the Squabble Creek Sewer Plant as indicated in the adopted master sewer plan or as amended in the future.
6. Previously granted exceptions to the requirements of connections to the city's sanitary sewer treatment system shall be continued until such alternate systems are determined to no longer function to meet the sanitary sewer needs of the subdivision granted the exception.
7. It is anticipated that a portion of the area to be annexed will remain vacant, undeveloped land for the next ten (10) years, or will be developed on large lots or tracts that do not require the extension of sanitary sewer facilities, similar to areas presently within the city like the Oaks of Buffalo Way, Willowcrest Estates, and Rolling Meadows Subdivisions. If higher density development is proposed within this area, the service plan may be amended to reflect provision of sanitary sewer service consistent with planned treatment plant capacities.

J. Public Utilities

1. Other public utilities will be provided by the City's franchisee or a provider holding a certificate of convenience issued by the state to serve that area.

K. Miscellaneous

1. General municipal administration services of the City shall be available to the annexed area beginning with the effective date of the annexation ordinance.

A2004-003 Annexation Schedule

August 16, 2004 - Annexation presented to City Council for approval to proceed

August 19, 2004 - Notice of Public Hearing mailed to property owners

September 3, 2004 - Notice Sent to Paper for publication

September 9, 2004 - Notification Appears in Newspaper for Public Hearings (< **20** and > **10** days before public hearings). Obtain required affidavit of publication from paper

September 9, 2004 - Notification is posted on Internet (< **20** & > **10** days before public hearings)

September 20, 2004 - First and Second Public Hearings (< **40** and > **20** days before 1st reading)

October 25, 2004 - City Council Approve Annexation Ordinance (**First Reading**)

February 4, 2008 - City Council Final Approval. (**Second Reading**) (due to law suit/court decision)

April 14, 2008 - Annexation Proceedings Must Be Completed Within 90 Days of First Reading of Ordinance (10/25/04)

Legal Description for
Tract A Annexation (See Exhibit "A")

BEING a 725 acre tract of land situated in the T.R. Bailey Survey, Abstract No. 30, the J. Simmons Survey, Abstract No. 190, and the J. Strickland Survey, Abstract No. 187 in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a point in the North City Limit line of Rockwall, Texas said point being the North line of F.M.552 and the Southwesterly most corner of Tract 3, a 47.0 acre tract of land owned by Larry Hance as recorded in Volume 769, Page 168 of the Deed Records of Rockwall County, Texas said point also being the Southeasterly most corner of Lot 12B in Hidden Valley Estates No. 2 an addition to the County of Rockwall, Texas;

THENCE N0°13'59"E, departing said North line of City Limit Line and the said North line of F.M. 552 and following along the West line of said Tract 3 and the East line of said Lot 12B for a distance of 1591.50 feet to a point for a corner at the Northwesterly most corner of said Tract 3;

THENCE N89°02'44"E, along the North line of said Tract 3 for a distance of 439.50 feet to a point for a corner;

THENCE N01° 39' 22"W, along the East line of Hidden Valley Estates No. 2 for a distance of 1209.89' for a corner;

THENCE S89°00'33"W along the North line of said Hidden Valley Estates No. 2 for a distance of 1534.80 feet to a point for a corner said point being N89°00'33"E a distance of 11.7 feet from the Northwesterly most corner of Lot 16 in said Hidden Valley Estates No. 2;

THENCE S0°50'48"E, following along a line that is parallel to and 1000.00 feet from the West line of Tract 16, a 69.0 acre tract of land owned by Shennendoah Real Estate Partner as recorded in Volume 3351, Page 114 of the Deed Records of Rockwall County, Texas for a distance of 971.16 feet to a point for a corner;

THENCE S89°09'12"W, along the South line of Tract 15-1, a 70.05 acre tract of land as owned by Bruce A. Clark and the South line of said Tract 16 and following along the South line of Shennendoah Lane for a distance of 1000.00 feet to a point for a corner;

THENCE N0°50'48"W, along the said West line of Tract 16 for a distance of 1550.32 feet to a point for a corner at the Southeasterly most corner of Tract 25-2, a 26.825 acre tract of land as owned by Fred E. Thompson, Jr. as recorded in Volume 1018, Page 183 of the Deed Records of Rockwall County, Texas; THENCE N90°00'00"W, along the South line of said Tract 25-2 for a distance of 535.05 feet to a point for a corner;

THENCE N0°00'00"E, for a distance of 217.00 feet to a point for a corner;

THENCE S88°00'00"W, for a distance of 358.26 feet to a point for a corner in the East line of State Highway No. 205 said line being the East line of said City Limits Line said point also being the

Southwesterly most corner of said Tract 25-2;

THENCE N0°00'00"E, along the said East line of S.H. 205 and the said East City Limits Line and also following along the West line of said Tract 25-2 for a distance of 780.63 feet to a point for a corner at the Northeasterly most corner of the City Limits Line of Rockwall said point being the Northwesterly most corner of said Tract 25-2;

THENCE N68°36'34"E, along a tract of land owned by the City of Dallas and the Northwest line of said Tract 25-2 for a distance of 382.24 feet to a point for a corner;

THENCE N43°26'36"E, continuing along said City of Dallas tract and said Tract 25-2 for a distance of 194.12 feet to a point for a corner;

THENCE N0°00'00"E, for a distance of 331.64 feet to a point for a corner said point being at the Northwesterly most corner of said Tract 25-2;

THENCE N90°00'00"E, along the North line of said Tract 25-2 for a distance of 386.61 feet to a point for a corner at the Northeasterly most corner of said Tract 25-2 said point being in the West line of said Tract 16;

THENCE N0°00'00"E, along the said West line of Tract 16 and the East line of said City of Dallas Tract for a distance of 1126.78 feet to a point for a corner in the North County Line of Rockwall and the South County Line of Collin said point being at the Northwesterly most corner of said Tract 16;

THENCE N89°56'59"E, along the said Common County Lines of Rockwall and Collin for a distance of 7915.50 feet to a point for a corner at the Northwesterly most corner of High Point Farms One, a 17.518 acre tract of land, an addition to the County of Rockwall said point also being the East line of Anna Cade Road;

THENCE S0°00'00"E, departing said Common County Line and following along the East line of said Anna Cade Road for a distance of 1185.59 feet to a point for a corner;

THENCE S89°17'46"W, departing the said East line of Anna Cade Road and following along the South line of Tract 33, a 97.010 acre tract of land as owned by William Audy Riggs, Sr. as recorded in Volume 2985, Page 235 of the Deed Records of Rockwall County, Texas for a distance of 2597.63 feet to a point for a corner in the East line of Breezy Hill Road;

THENCE S0°40'44"E, along the said East line of Breezy Hill Road for a distance of 4761.95 feet to a point for a corner in the North line of F.M. 552;

THENCE S89°17'21"W, along the said North line of F.M. 552 and following along Tract 1, a 29 acre tract of land, owned by the Estate of W.W. Caruth, Jr., Tract 1, a 43 acre tract of land, owned by the Estate of W.W. Caruth, Jr., and Tract 3, a 47 acre tract of land owned by Larry Hance as recorded in Volume 769, Page 168 of the Deed Records of Rockwall County, Texas for a distance of 3038.52 feet to the Point of Beginning and containing 725.00 acres (31,581,000 square feet) of land more or less.

Exhibit "C"

PROPERTY DESCRIPTION
CARUTH - ETJ TRACT

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN PARTS OF THE J. STRICKLAND SURVEY, ABSTRACT NUMBER 187, T.R. BAILEY SURVEY, ABSTRACT NUMBER 30 AND THE J. SIMMONS SURVEY, ABSTRACT NUMBER 190 OF ROCKWALL COUNTY, AND BEING THAT TRACT OF LAND CONVEYED TO W.W. CARUTH, JR. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 66, PAGE 493, DEED RECORDS OF ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) ALSO A PORTION OF THE J. STRICKLAND SURVEY, ABSTRACT 794-3 LYING IN COLLIN COUNTY, TEXAS, THAT TRACT OF LAND CONVEYED TO MABEL CARUTH ACCORDING TO THE FILE OF RECORD IN COUNTY CLERK FILE NUMBER 92-0054539 OF COLLIN COUNTY, TEXAS, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND AT THE BASE OF A CORNER POST, SAID IRON ROD BEING THE SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO DONG WON KANG RECORDED IN VOLUME 4703, PAGE 1402, D.R.R.C.T., AND SAME BEING THE SOUTHEAST CORNER OF SAID TRACT "ONE" AS SHOWN HEREON;

THENCE NORTH 89°21'28" EAST, A DISTANCE OF 2077.92 FEET TO A 1/2" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°01'37" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 1274.60 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°19'07" EAST, GENERALLY ALONG THE CENTER OF A GRAVEL ROAD, A DISTANCE OF 686.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 00°42'37" EAST, ALONG THE CENTER OF BREEZY HILLS ROAD, A DISTANCE OF 4777.93 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN THE NORTH LINE OF F.M. HIGHWAY 552, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 89°20'36" WEST, ALONG THE NORTH LINE OF SAID F.M. HIGHWAY, A DISTANCE OF 1887.13 FEET, TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER IN A ENTRYWAY OF A RANCH ROAD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 00°31'43" WEST, GENERALLY ALONG THE CENTER OF SAID RANCH ROAD, PASSING AT A DISTANCE OF 10.00 FEET A 1/2" IRON ROD FOUND ON THE WEST LINE OF THIS TRACT AND CONTINUING A TOTAL DISTANCE OF 1593.55 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE SOUTH 89°15'47" WEST, A DISTANCE OF 803.29 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT; .

THENCE NORTH 01°31'06" WEST, A DISTANCE OF 1189.10 FEET TO A 5/8" IRON ROD FOUND AT THE BASE OF A CORNER POST, FOR A CORNER OF THIS TRACT;

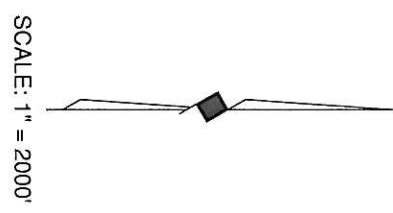
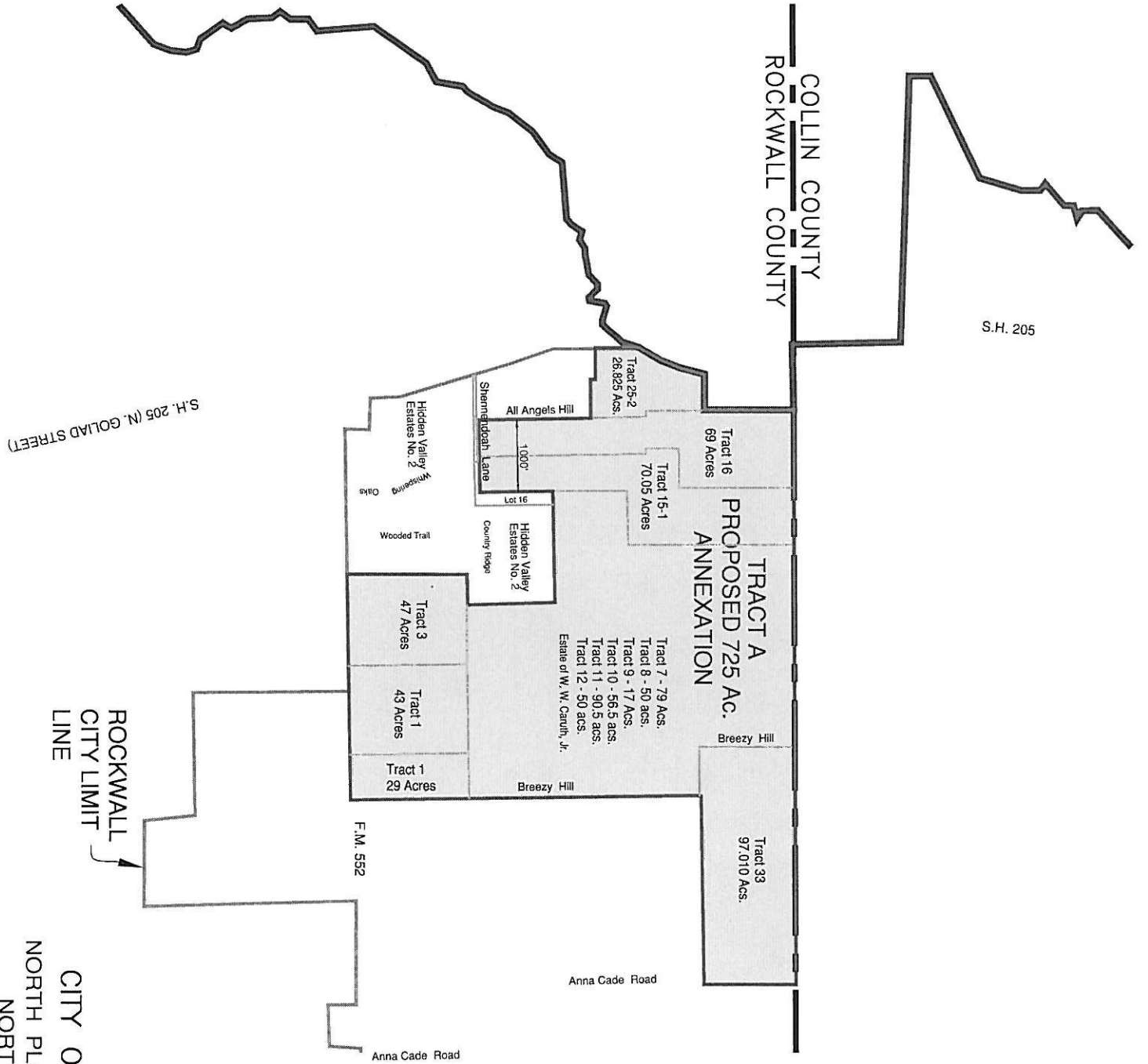
THENCE SOUTH 88°05'58" WEST, A DISTANCE OF 1546.66 FEET TO A 3/8" IRON ROD FOUND FOR A CORNER OF THIS TRACT;

THENCE NORTH 00°47'14" WEST, A DISTANCE OF 1067.53 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE, N 88°33'50" E, A DISTANCE OF 748.00 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE, N 00°45'11" W, A DISTANCE OF 2243.67 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "CARTER BURGESS" SET FOR CORNER FOR A CORNER OF THIS TRACT;

THENCE, N 89°21'28" E, A DISTANCE OF 754.93 FEET TO THE POINT OF BEGINNING, AND CONTAINING 405.184 ACRES OF LAND, MORE OR LESS.



CITY OF ROCKWALL, TEXAS
 NORTH PLANNING AREA BOUNDARY &
 NORTH ANNEXATION TRACT A

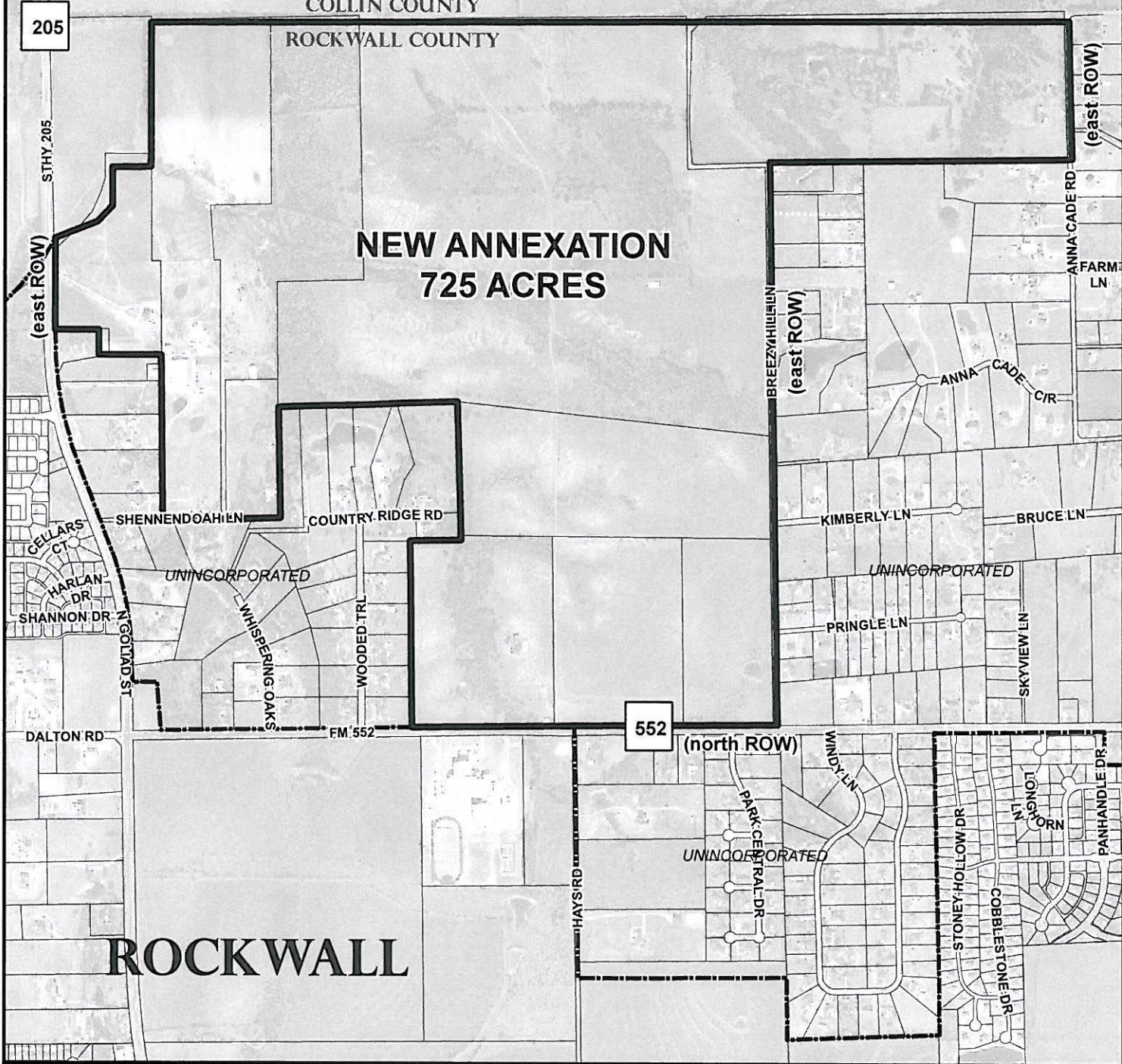
AUG., 2004

UNINCORPORATED

COLLIN COUNTY
ROCKWALL COUNTY

205

NEW ANNEXATION 725 ACRES



0 395 790 1,580
Feet
CITY OF ROCKWALL GEOGRAPHIC INFORMATION SYSTEMS

FEBRUARY 5, 2008

ANNEXATION LOCATION MAP

November 3rd, 2020

David Gonzales
Planning Department
City of Rockwall

RE: Saddle Star North
Preliminary Plat
ECD Project #06827

Mr. Gonzales,

We have completed our plan updates based on the Saddle Star North Preliminary Plat review comments provided by the City of Rockwall, via email, 10-21-2020, and offer the following responses:

A. Comments:

Planning Department, David Gonzales – Comments:

- Provide a Treescape Plan for the development. [§01.02, Art. 11, UDC]
Response: This will be provided under separate cover.
- Why are there bubbled areas on the plat? Remove or provide a label indicating their purpose. **Response: Tree outlines have been removed.**
- Proposed street names require approval by the GIS Department. [§01.02, Art. 11, UDC] **Response: Peyton Drive has been changed to Andrea Drive.**
- Will there be right-of-way dedication along FM 552? Indicate the location and dimensions of any proposed right-of-way dedication. [§01.02, Art. 11, UDC]
Response: The ROW dedication along FM 552 has been shown.
- Indicate all proposed corner clips/visibility triangles and any subsequent dedication. [§01.02, Art. 11, UDC]
Response: Corner clips and S.V.E.'s have been shown.
- Topographical information and physical features are to be indicated using contours at 2-foot intervals. Please change. [§01.02, Art. 11, UDC]
Response: Contours have been shown at 2-foot intervals.

Engineering Department, Sarah Johnston – Comments:

- Must include a 20' wide easement for the future 15" sewer main per the Master Sewer Plan. **Response: A 20' S.S.E. has been shown.**
- Must show existing and proposed utilities on site
Response: A separate sheet with utilities will be provided.
- Must meet City Standards of Design and Construction. **Response: Noted.**
- Minimum easement width is 20' for new easements. No structures allowed in easements. **Response: Noted.**
- 10' Utility Easement required along all street ROW.
Response: The 10' utility easement has been shown along street ROW.

- Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets. **Response: S.V.E.'s have been shown.**
- Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.
Response: Corner Clips at 552 and John King Blvd have been shown.
- "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat. **Response: Note has been added.**
- Must show existing and proposed utilities for the project.
Response: A separate sheet with utilities will be provided.
- Must loop 8" water line on site. Water line to be steel encase under creek crossings. **Response: The 8" water line has been looped.**
- Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan. **Response: A 20' S.S.E. has been shown.**
- Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply).
Response: Adjoining property owner Smith Family Acres, LLC has provided agreements for construction of offsite sanitary through their property and will provide necessary easements. Perkins Engineering has been reviewing the capacity and will provide a lift station analysis.
- Must include a 20'x20' ROW clip at every intersection for visibility.
Response: S.V.E.'s have been shown.
- Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.
Response: 57.5' Radii a cul-de-sacs and eyebrows have been labeled.
- Must build a left turn lane for northbound traffic on John King.
Response: Left turn lane has been shown.
- "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat. **Response: Note has been added.**

General Items:

- Must meet City Standards of Design and Construction **Response: Noted.**
- 4% Engineering Inspection Fees **Response: Noted.**
- Impact Fees (Water, Wastewater & Roadway) **Response: Noted.**
- Minimum easement width is 20' for new easements. No structures allowed in easements. **Response: Noted.**
- Retaining walls 3' and over must be engineered. **Response: Noted.**
- All retaining walls must be rock or stone face. No smooth concrete walls.
Response: Noted.
- 10' Utility Easement required along all street ROW.
Response: The 10' utility easement has been shown along street ROW.
- Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets. **Response: S.V.E.'s have been shown.**
- Minimum 30' x30' ROW clip at intersections of Peyton Dr/FM 552 and Roslyn Ct/John King Blvd.
Response: Corner Clips at 552 and John King Blvd have been shown.

Drainage Items:

- No walls allowed in detention. **Response: Noted.**
- Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain. **Response: Noted.**
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply. **Response: Noted.**
- Manning's C-value is per zoning type. **Response: Noted.**
- Flood Study is required to delineate the floodplain as well as elevations. Review fees apply. See the City Standards of Design for flood study requirements. **Response: Noted.**
- Must get a WOTUS study for the ponds on site. **Response: Noted.**
- The finish floor of all the houses must be 2' above the adjacent floodplain elevation. Any parking areas, including garages must be 1' minimum above the floodplain elevation. **Response: Noted.**
- Must submit a LOMR to FEMA. No house permits will be released near the floodplain until this is complete. **Response: Noted.**
- "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat. **Response: Note has been added.**
- The property boundaries against the flood plain and HOA lot are subject to change in the engineering phase based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards. No Lot to Lot Drainage Allowed. Erosion hazard setback shall not be in a residential lot. **Response: Noted.**
- Will need to collect runoff from existing estate lot development to the west and collect before it enters proposed lots on easterly edge on proposed development. **Response: Noted.**

Water and Wastewater Items:

- Must show existing and proposed utilities for the project. **Response: A separate sheet with utilities will be provided.**
- Must loop 8" water line on site. Water line to be steel encase under creek crossings. **Response: Water line has been looped.**
- Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.) **Response: Noted.**
- Minimum public sewer is 8". Aerial crossing of sewer will not be allowed. Steel encase creek crossings. **Response: Noted.**
- Must include a 20' wide easement along the floodplain for a future 15" sewer line per the Master Sewer Plan. **Response: A 20' S.S.E. has been shown.**
- Water is available in John King and FM 552, but you will need to bore under the roadway to reach both lines. **Response: Noted.**

- Must get permission to sewer into Breezy Hill Lift Station and perform Infrastructure study to see what upgrades are needed. (Review fees apply)
Response: Adjoining property owner Smith Family Acres, LLC has provided agreements for construction of offsite sanitary through their property and will provide necessary easements. Perkins Engineering has been reviewing the capacity and will provide a lift station analysis.
- Sewer pro-ratas will be assessed at final plat. **Response: Noted.**
- Discourage aerial sewer crossings. **Response: Noted.**
- 15" sewer line must be deep enough to receive sewer from Stoney Hollow LS.
Response: Noted.

Roadway Paving Items:

- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets. **Response: Noted.**
- Alleys to be 20' ROW, 12' wide paving.
Response: No alleys proposed with this development.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards. **Response: Cul-de-sacs have been proposed.**
- Must verify the ROW required for FM 552. See attached map.
Response: The ROW dedication was produced from the sent attachments.
- Must include a 20'x20' ROW clip at every intersection for visibility.
Response: S.V.E.'s have been shown.
- Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.
Response: 57.5' Radii a cul-de-sacs and eyebrows have been labeled.
- Must build a left turn lane for northbound traffic on John King.
Response: Left turn lane has been shown.
- Must conduct a traffic study for the intersections on John King and FM 552. Deceleration lanes may be required. (review fees apply)
Response: Noted.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. **Response: Noted**
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10". **Response: Noted.**
- "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat. **Response: Note has been added.**

GIS Department, Lance Singleton – Comments:

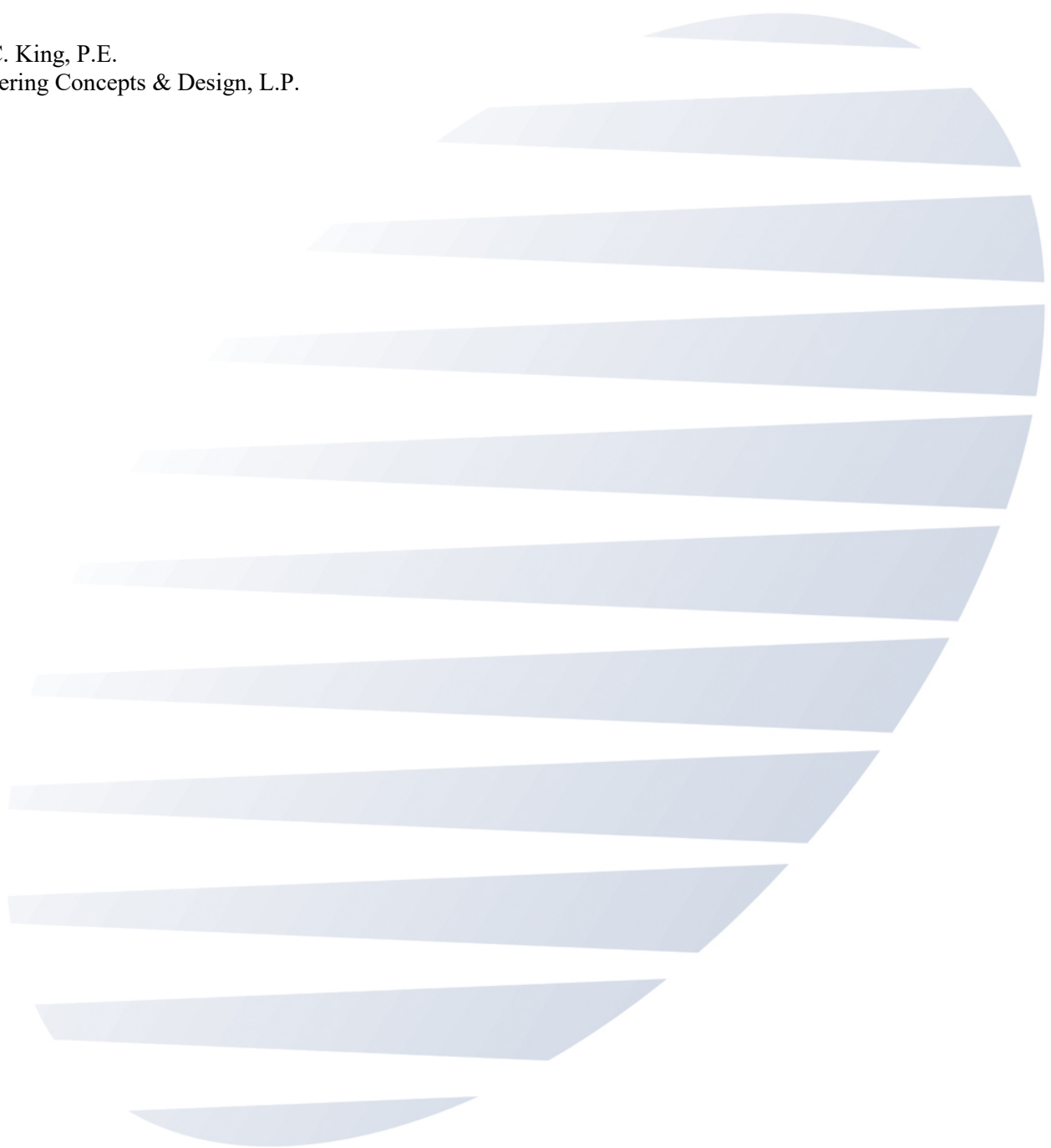
- All street names approved with the exception of Peyton Dr. We already have a similar street in 75087 that will cause confusion for public safety response. Please alter or provide a different name.
Response: Peyton Drive has been changed to Andrea Drive.

Parks Department, Travis Sales – Comments:

- Tree Mitigation required
Response: This will be provided under separate cover.
- Adhere to John King landscape buffer / thoroughfare plan
Response: Noted.
- Landscape / Treescape plans will be required
Response: Noted.

Let us know if you have any questions or concerns.

Ryan C. King, P.E.
Engineering Concepts & Design, L.P.





December 11, 2020

TO: Pat Atkins
KPA Consulting
3076 Hay Lane
Rockwall, TX 75087

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2020-044; *Preliminary Plat for the Saddle Star North Subdivision*

Pat Atkins:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on November 16, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 10, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the preliminary plat with the conditions of approval by a vote of 7-0.

City Council

On November 16, 2020, the City Council approved a motion to approve the preliminary plat with the conditions of approval by a vote of 7-0.

Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,


David Gonzales, AICP
Planning and Zoning Manager

Gonzales, David

From: Gonzales, David
Sent: Wednesday, November 4, 2020 5:12 PM
To: Singleton, Lance
Subject: FW: Street Names for Saddle Star North
Attachments: Preliminary Plat [Revision 1] (11.03.2020).pdf

It might help if you had the preliminary plat to look at...thanks,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

From: Gonzales, David
Sent: Wednesday, November 4, 2020 5:11 PM
To: Singleton, Lance
Subject: Street Names for Saddle Star North

Lance,

Sorry, I forgot to add this from the earlier email. When you have an opportunity, can you check the proposed street names for Saddle Star North Addition. Any comments can be entered in CW for Case No. P2020-044.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

Gonzales, David

From: Miller, Ryan
Sent: Friday, October 23, 2020 4:00 PM
To: 'Pat Atkins'
Subject: Project Comments: P2020-044
Attachments: Project Comments (10.22.2020).pdf; Engineering Comments (10.22.2020).pdf

Mr. Atkins,

Attached are the comments for your Preliminary Plat case. Please address these comments and return them to staff no later than November 3, 2020. Please also note, the following meeting schedule:

Planning and Zoning Commission Work Session: October 27, 2020
Planning and Zoning Commission: November 10, 2020
City Council: November 16, 2020

All meetings will be held at 6:00 PM in the City Council Chambers at City Hall (*i.e.* 385 S. Goliad Street). A representative will need to be present at the meeting. If you have any questions please contact your case manager. Thank you.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

Gonzales, David

From: Kevin McNeely <kmcneely@NTMWD.COM>
Sent: Thursday, November 5, 2020 3:21 PM
To: Gonzales, David
Cc: kpatatkins@yahoo.com
Subject: RE: Rockwall Development Case No. P2020-044
Attachments: Platting Requirements.pdf; Utility Crossing Requirements (002).pdf; Notes for Construction.docx

Thank you David.

Pat, thank you for showing our waterline, but we will also need our easement shown on the plat with the callout identifying NTMWD ownership, easement width, and deed recordation. Please send engineering plans for my review. I have attached our requirements for platting and crossings, which will also spell out paving coverage requirements. Please make sure NTMWD Line Locates caution notes are included on all plan sheets where our easement is shown as we are not members of 811.

If you have any questions, feel free to reach out to me.

Thanks again,

Kevin McNeely
Development Coordinator
North Texas Municipal Water District
505 East Brown Street | Wylie, Texas 75098
Office 469-626-4750

From: Gonzales, David
Sent: Thursday, November 5, 2020 2:06 PM
To: Kevin McNeely
Cc: kpatatkins@yahoo.com
Subject: RE: Rockwall Development Case No. P2020-044

Good afternoon, Kevin. Here is the proposed preliminary plat for the subject property. I am also including the developer, Pat Atkins with KPA Consulting on this email so that you have a point of contact in the event there is other information required for your review.

Let me know if there is anything else you need.

Thank you,



DAVID GONZALES, AICP
PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

From: Kevin McNeely [<mailto:kmcneely@NTMWD.COM>]
Sent: Thursday, November 5, 2020 1:03 PM
To: Gonzales, David <DGonzales@rockwall.com>
Subject: Rockwall Development Case No. P2020-044

Hi David,

You may already be aware of our waterline located on the west side of John King and north of FM 552. Please have the developer/engineer provide me with plans for review so that we can ensure our line stays protected.

Thank you,

Kevin McNeely
Development Coordinator
North Texas Municipal Water District
505 East Brown Street | Wylie, Texas 75098
Office 469-626-4750

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gonzales, David

From: Gonzales, David
Sent: Tuesday, November 3, 2020 6:06 PM
To: Johnston, Sarah; Kistner, Ariana
Subject: Saddle Star Preliminary Plat - P2020-044
Attachments: Preliminary Plat [Revision 1] (11.03.2020).pdf; Response Letter (11.03.2020).doc

Please review and provide comments asap in CW for P2020-044 – Saddle Star North Addition.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

Gonzales, David

From: Kevin McNeely <kmcneely@NTMWD.COM>
Sent: Thursday, November 5, 2020 1:03 PM
To: Gonzales, David
Subject: Rockwall Development Case No. P2020-044

Hi David,

You may already be aware of our waterline located on the west side of John King and north of FM 552. Please have the developer/engineer provide me with plans for review so that we can ensure our line stays protected.

Thank you,

Kevin McNeely
Development Coordinator
North Texas Municipal Water District
505 East Brown Street | Wylie, Texas 75098
Office 469-626-4750

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gonzales, David

From: Gonzales, David
Sent: Friday, November 6, 2020 3:45 PM
To: kpatatkins@yahoo.com
Subject: P&Z Meeting Next Week
Attachments: Packet [P&Z] (11.10.2020).pdf

Pat,

Here is staff's report regarding you project. Please see all scheduled meetings listed in the packet. The meeting will begin at 6:00 p.m. in the City's Council Chambers.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

Gonzales, David

From: Johnston, Sarah
Sent: Wednesday, November 4, 2020 10:56 AM
To: Gonzales, David
Subject: RE: Saddle Star Preliminary Plat - P2020-044

Follow Up Flag: Follow up
Flag Status: Flagged

Approved with Informational Comments.

From: Gonzales, David
Sent: Tuesday, November 3, 2020 6:06 PM
To: Johnston, Sarah ; Kistner, Ariana
Subject: Saddle Star Preliminary Plat - P2020-044

Please review and provide comments asap in CW for P2020-044 – Saddle Star North Addition.

Thank you,



DAVID GONZALES, AICP
PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

This email was scanned by Bitdefender

Gonzales, David

From: Gonzales, David
Sent: Friday, November 6, 2020 3:48 PM
To: kpatatkins@yahoo.com
Subject: Staff Comments - Saddle Star North
Attachments: Project Comments [Revision 1] (11.05.2020).pdf; Engineering Mark-Ups [P2020-044 - Saddlestar North -2] (11.04.2020).pdf

Pat, here are staff comments.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)
