



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹ **\$ 371.40**
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2055 KRISTY LANE

Subdivision BACON ADDITION REPEAT BODIN INDUSTRIAL Lot 1 Block A

General Location KRISTY LANE - END

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning C Current Use C

Proposed Zoning C Proposed Use C

Acreage 3.57 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BACON PROPERTY

Applicant

Contact Person BRAD BACON

Contact Person

Address 295 RANCH TRAIL

Address

City, State & Zip ROCKWALL, TX 75032

City, State & Zip

Phone 972-236-5794

Phone

E-Mail brad@everyone.loves.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared BRAD BACON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

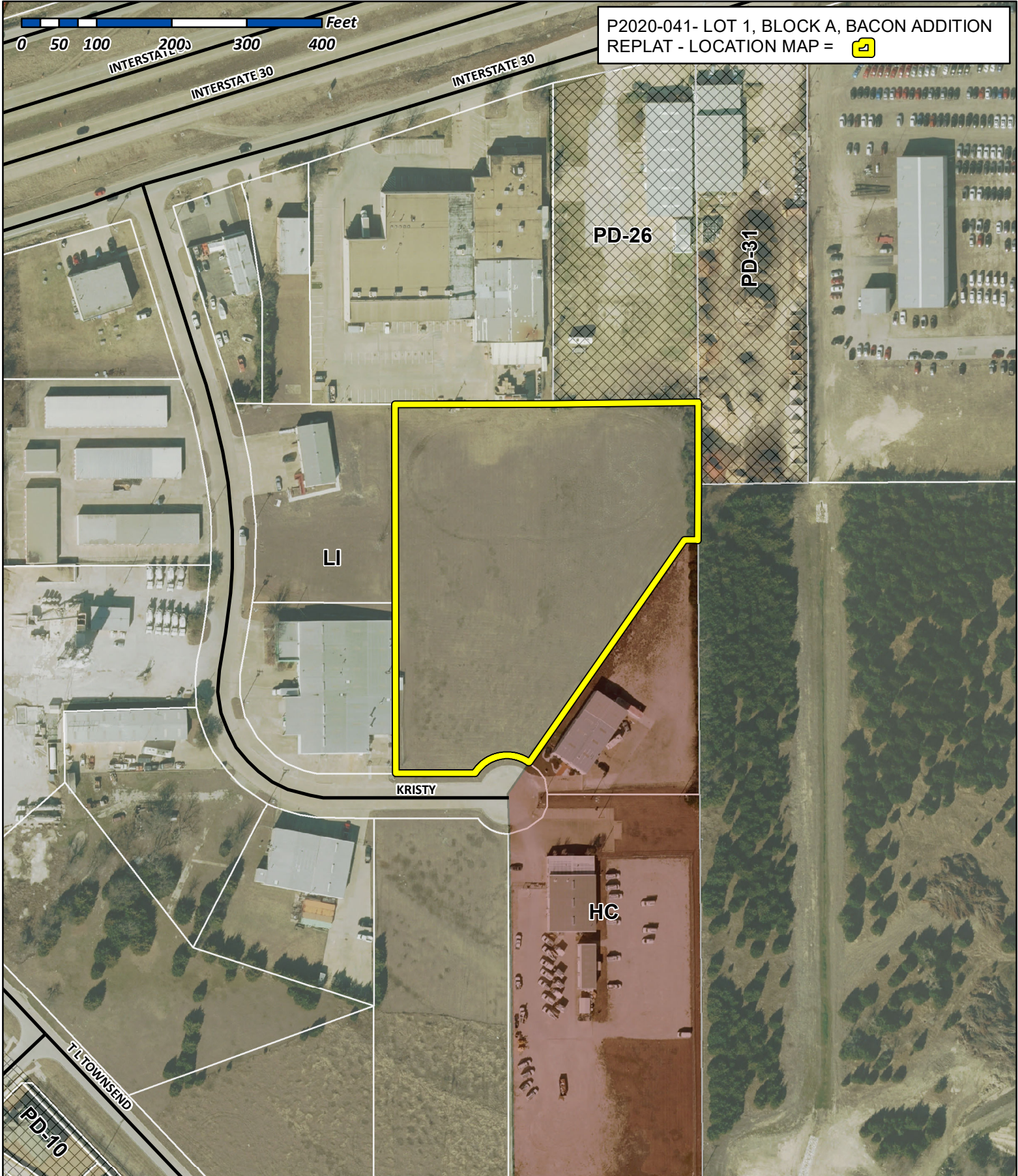
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 371.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 21st day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 21st day of September, 20 20.

Owner's Signature

Notary Public in and for the State of Texas

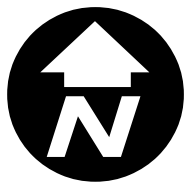
My Commission Expires



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹ **\$ 371.40**

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: **2055 KRISTY LANE**

Subdivision: **BACON ADDITION REPEAT BODIN INDUSTRIAL** Lot **1** Block **A**

General Location: **KRISTY LANE - END**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: **C** Current Use: **C**

Proposed Zoning: **C** Proposed Use: **C**

Acreage: **3.57** Lots [Current]: **1** Lots [Proposed]: **1**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	BACON PROPERTY	<input type="checkbox"/> Applicant	
Contact Person	BRAD BACON	Contact Person	
Address	295 RANCH TRAIL	Address	
City, State & Zip	ROCKWALL, TX 75032	City, State & Zip	
Phone	972-236-5794	Phone	
E-Mail	brad@everyone.loves.com	E-Mail	

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared **BRAD BACON** [Owner] the undersigned, who stated the information on this application to be true and certified the following:

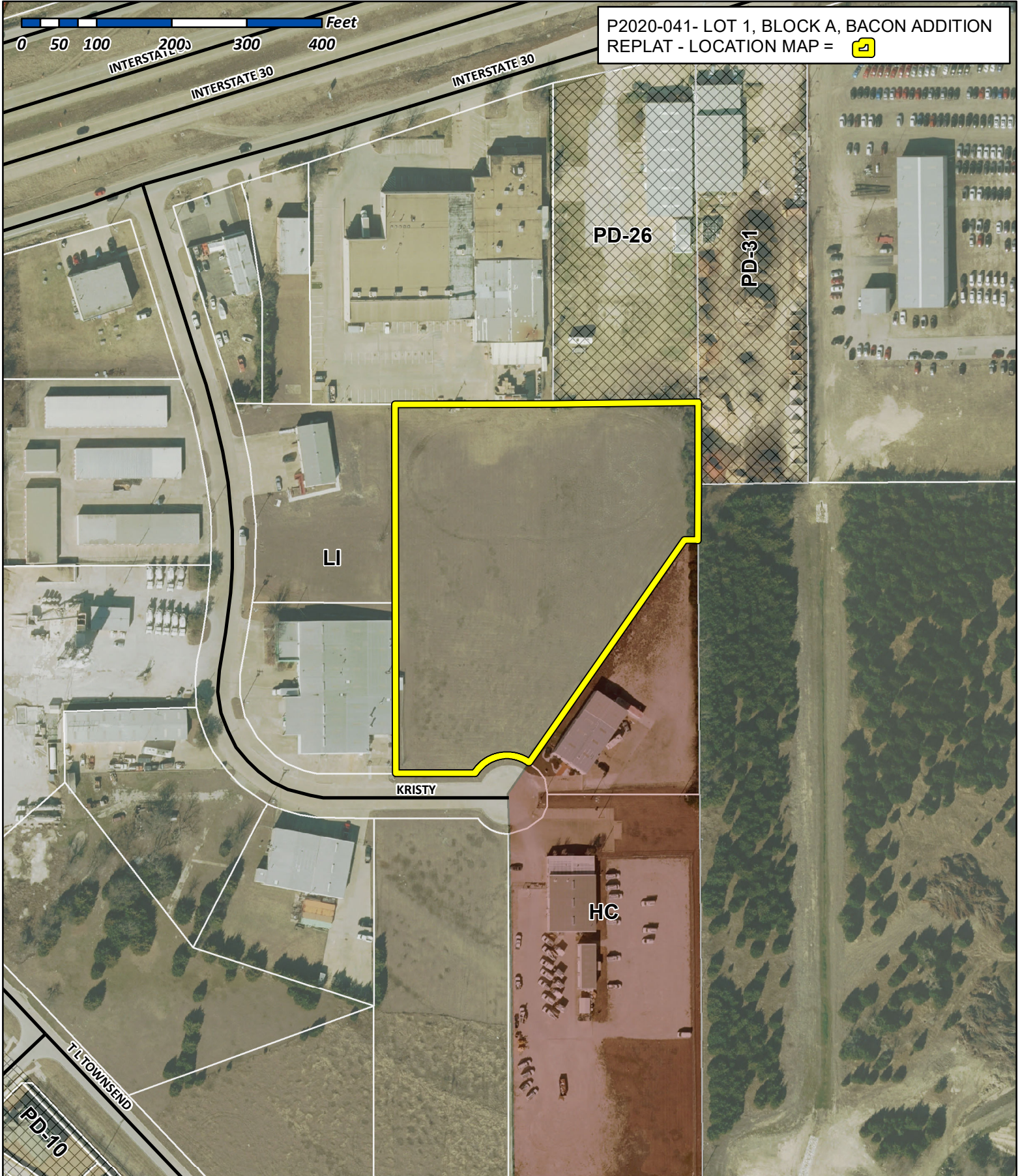
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ **371.40**, to cover the cost of this application, has been paid to the City of Rockwall on this the **21st** day of **September**, 20 **20**. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the **21st** day of **September**, 20 **20**.

Owner's Signature _____

Notary Public in and for the State of Texas _____

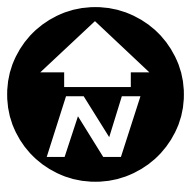
My Commission Expires _____



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 29, 2020
APPLICANT: Brad Bacon; *Bacon Property, LLC*
CASE NUMBER: P2020-041; *Lot 1, Block A, Bacon Addition*

SUMMARY

Consider a request by Brad Bacon of Bacon Property, LLC for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 3.57-acre parcel of land currently identified as Lot 1-M, Block A, Bodin Industrial Tract for the purpose of establishing one (1) lot (*i.e. Lot 1, Block A, Bacon Addition*) to facilitate the construction of a ~20,823 SF single-story office/warehouse facility.
- On August 16, 1979, a final plat was filed with Rockwall County establishing the Bodin Industrial Tract. This plat designated the subject property as a portion of Lot 1 of the Bodin Industrial Tract. On December 21, 2009, the subject property was established as Lot 1-M of the Bodin Industrial Tract by *Volume 6001, Page 215*, which conveyed the subject property as a portion of Lot 1 of the Bodin Industrial Tract (*i.e. subdividing the tract by metes and bounds*). On February 11, 2020, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2019-047*] for a ~20,823 SF office/warehouse facility.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the final plat for *Lot 1, Block A, Bacon Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/24/2020

PROJECT NUMBER: P2020-041
PROJECT NAME: Lot 1, Block A, Bacon Addition
SITE ADDRESS/LOCATIONS: 2055 KRISTY LN, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Consider a request by Brad Bacon of Bacon Property, LLC for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	09/24/2020	Approved w/ Comments

09/24/2020: P2020-041; Final Plat for Lot 1, Block A, Bacon Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Bacon Addition being a 3.57-acre tract of land identified as Lot 1-M of the Bodin Industrial Tract, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2020-041) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the IH-30 Overlay (IH-30 OV), and the Light Industrial (LI) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

M.7 Correct Title Block to read as follows:

Final Plat

Lots 1, Block A, Bacon Addition

Being a Replat of Lot 1M, Block A, Bodin Industrial Tract

Containing a Total of 3.57 Acres / 155,294 SF

Situated in the N.M. Ballard Survey, A-24

City of Rockwall, Rockwall County, Texas

M.8 Verify the acreage.

M.9 Verify the adjacent properties. Per our records Lot 1-B is Lot 1-A.

M.10 Include the required storm drainage improvement statement as #7 on sheet 2.

M.11 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.13 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.14 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020.
- 2) City Council meeting will be held on October 5, 2020.

I.15 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Must include the detention easements on the plat.

M - Must include the signature page of the plat.

M - Must include bearings and distances for each of the easements lines and curves.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	09/24/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved

09/21/2020: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹ **\$ 371.40**

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: **2055 KRISTY LANE**

Subdivision: **BACON ADDITION REPEAT BODIN INDUSTRIAL** Lot **1** Block **A**

General Location: **KRISTY LANE - END**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: **C** Current Use: **C**

Proposed Zoning: **C** Proposed Use: **C**

Acreage: **3.57** Lots [Current]: **1** Lots [Proposed]: **1**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	BACON PROPERTY	<input type="checkbox"/> Applicant	
Contact Person	BRAD BACON	Contact Person	
Address	295 RANCH TRAIL	Address	
City, State & Zip	ROCKWALL, TX 75032	City, State & Zip	
Phone	972-236-5794	Phone	
E-Mail	brad@everyone.loves.com	E-Mail	

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared **BRAD BACON** [Owner] the undersigned, who stated the information on this application to be true and certified the following:

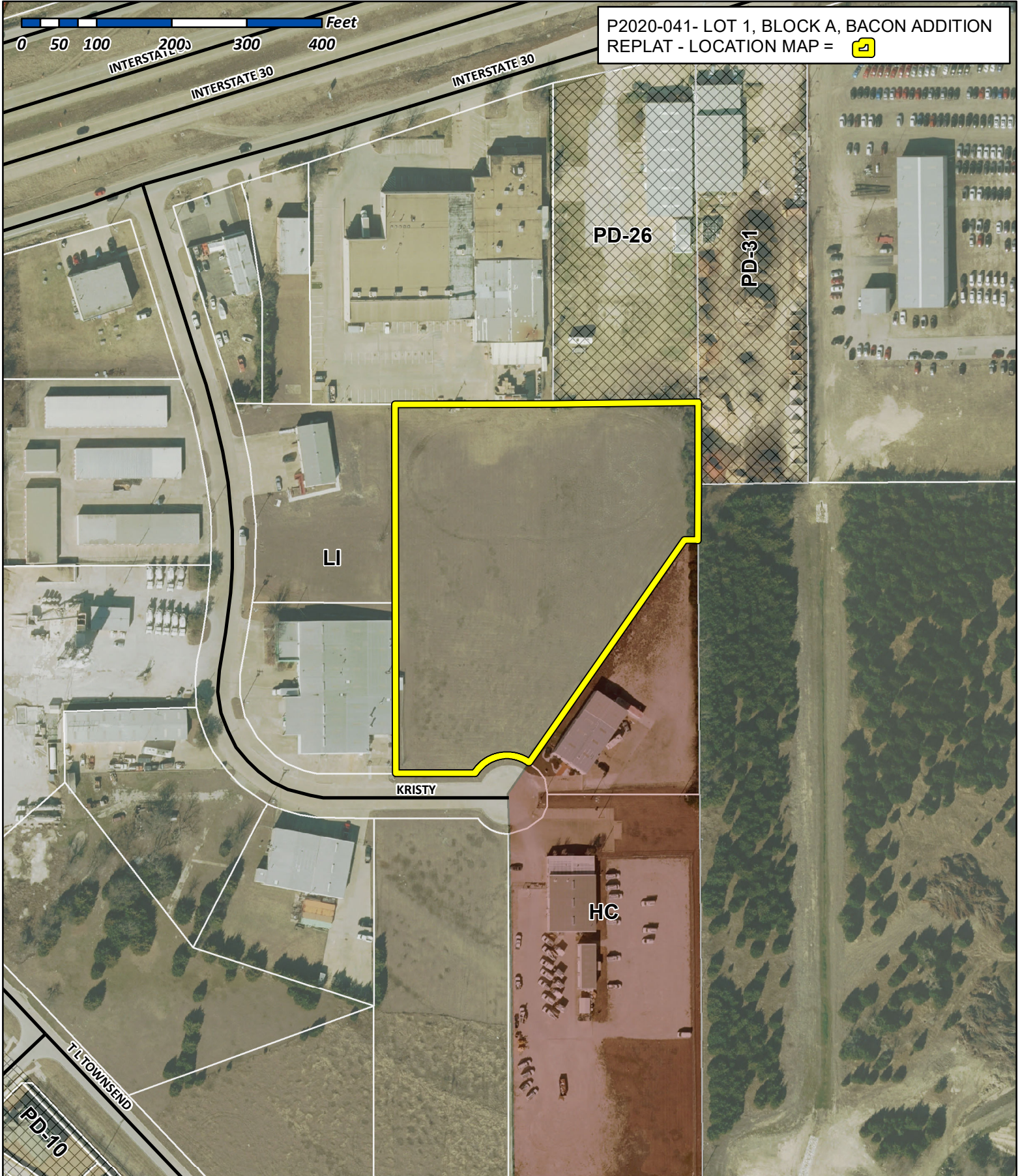
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ **371.40**, to cover the cost of this application, has been paid to the City of Rockwall on this the **21st** day of **September**, 20 **20**. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the **21st** day of **September**, 20 **20**.

Owner's Signature _____

Notary Public in and for the State of Texas _____

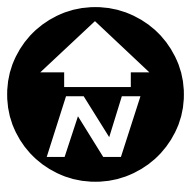
My Commission Expires _____



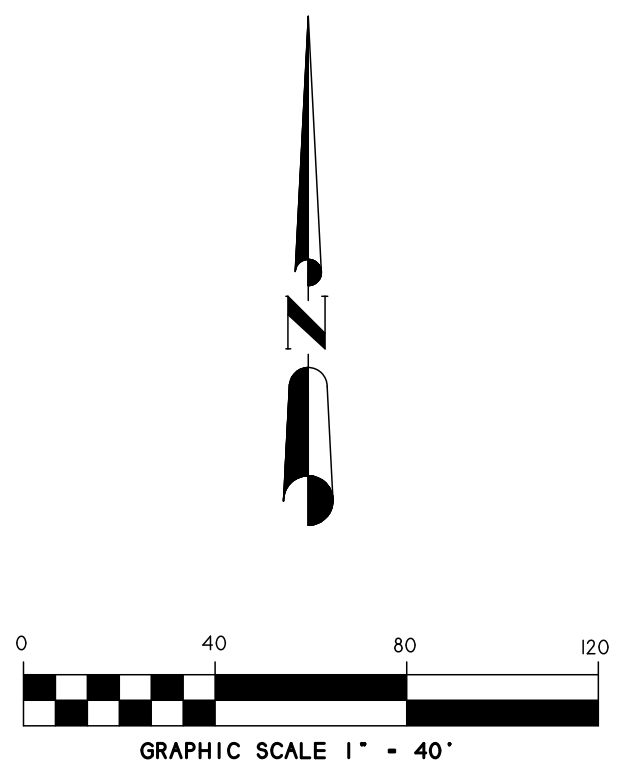
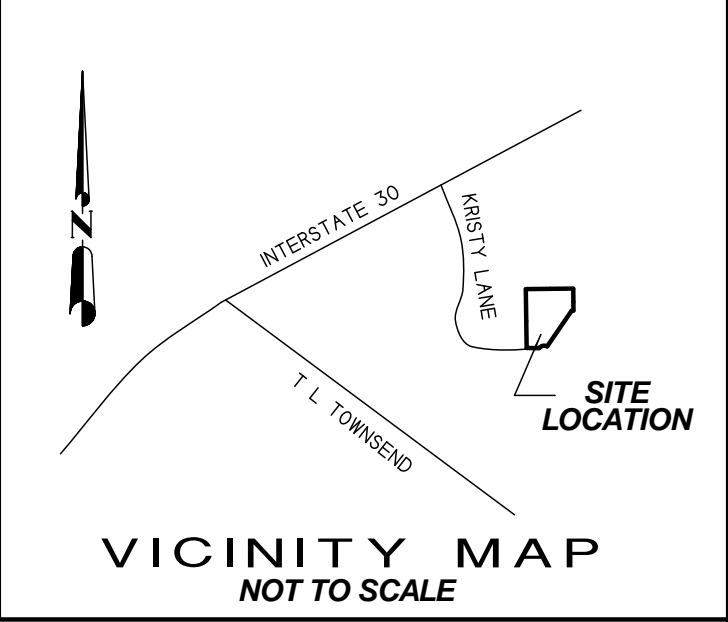
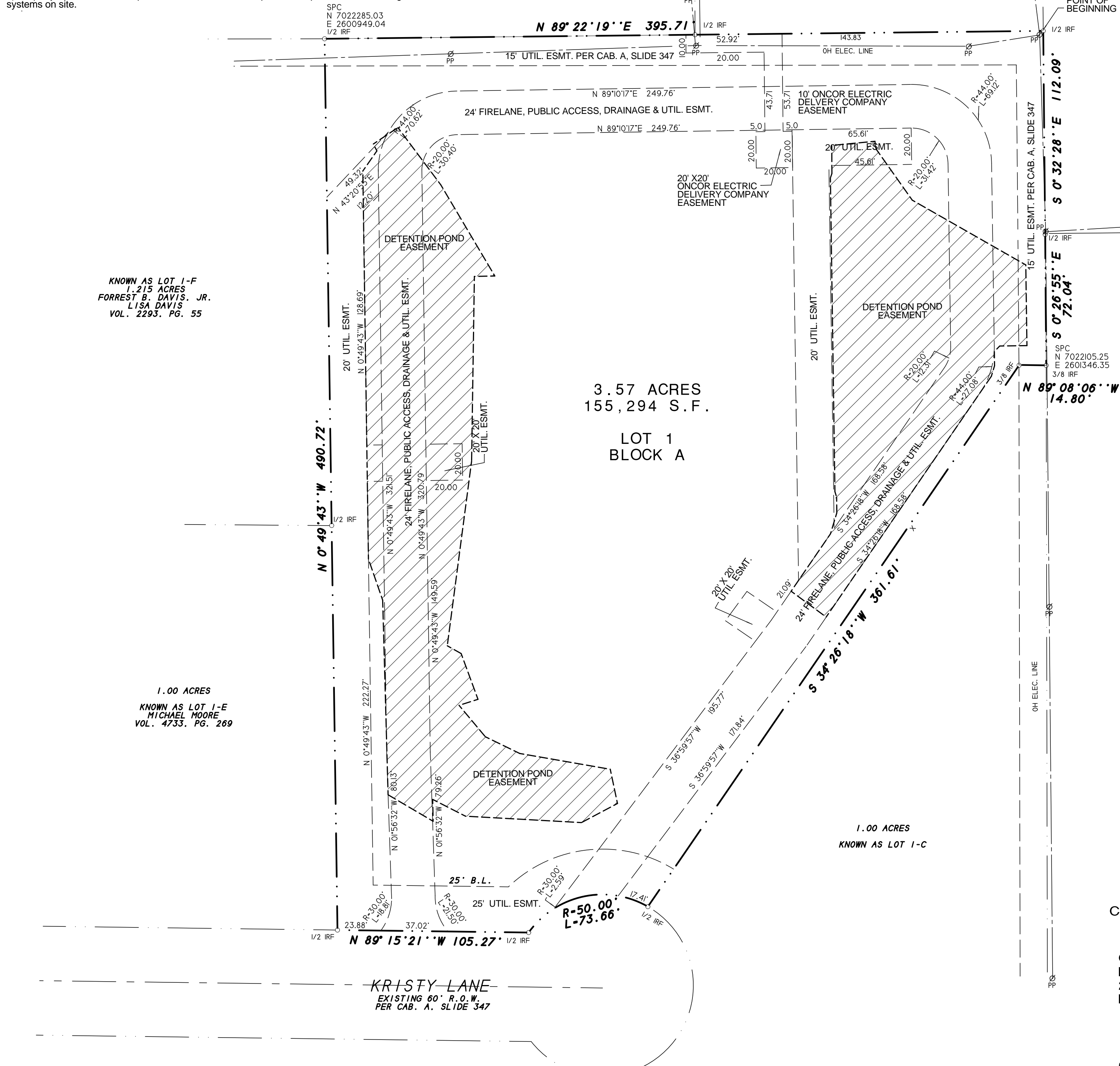
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



- NOTES**
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) Property owner shall be responsible for maintenance, repair, and replacement of drainage and detention systems on site.



FINAL PLAT
BACON ADDITION
LOT 1, BLOCK A

BEING A REPLAT OF
 PART OF LOT 1, BLOCK A
 BODIN INDUSTRIAL TRACT

3.57 ACRES/155,294 S.F.
 (1 LOT)

N.M. BALLARD SURVEY, A-24
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:
 BACON PROPERTY, LLC
 295 RANCH TRAIL
 ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND

TV	GAS	TEL	FH	PP
TELEVISION	METER	POLE	RISE	POLE
CABLE	RISE	RISE	RISE	RISE
ELEC	ELEC	WY	LP	1/2" BIF
METER	SUBSPACE	METER	POLE	FOR SOUND
JUNCTION	BOX	RISE	POLE	FOR CORNER
FENCE	EXISTING LINE	AK COND	AK COND	PROPANE TANK

SURVEY DATE OCTOBER 8, 2019
 SCALE 1" = 40' FILE # 20090752-RP
 CLIENT BACON

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS BACON PROPERTY, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a part of Lot 1, BODIN INDUSTRIAL TRACT, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 347, of the Plat Records of Rockwall County, Texas, together with a Certificate of Correction of Error, as recorded in Volume 211, Page 632 of the Real Estate Records of Rockwall County, Texas, and being all of a 3.543 acres tract of land as described in a Deed to D. Armstrong Partners, LP, as recorded in Volume 3925, Page 148 of the Real Property Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the most easterly northeast corner of said Lot 1 and said Armstrong tract;

THENCE S. 00 deg. 32 min. 28 sec. E. along the east line of said Lot 1, a distance of 112.09 feet to a 1/2" iron rod found for corner at the southwest corner of a 2.16 acres tract of land as described in a Warranty deed to Rockwall Credit Services, LC as recorded in Volume 4314, Page 34 of the Real Property Records of Rockwall County, Texas;

THENCE S. 00 deg. 26 min. 55 sec. E. along the East line of said Armstrong tract, a distance of 72.04 feet to a 3/8" iron rod found for corner at the east most southeast corner of said Armstrong tract;

THENCE N. 89 deg. 08 min. 06 sec. W. a distance of 14.80 feet to a 3/8" iron rod found for corner;

THENCE S. 34 deg. 26 min. 18 sec. W. a distance of 361.61 feet to a 1/2" iron rod found for corner in the north right-of-way line of Kristy Lane (60' R.O.W.);

THENCE in a southwesterly direction along a curve to the left having a central angle of 84 deg. 24 min. 44 sec., a radius of 50.00 feet, a tangent of 45.35 feet, a chord of S. 77 deg. 45 min. 05 sec. W., 67.18 feet, along said right-of-way line an arc distance of 73.66 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 15 min. 21 sec. W. along said right-of-way line, a distance of 105.27 feet to a 1/2" iron rod found for corner at the southeast corner of a 1.01 acres tract of land as described in a Warranty deed to Michael Moore as recorded in Volume 4733, Page 269 of the Real Property Records of Rockwall County, Texas;

THENCE N. 00 deg. 49 min. 43 sec. W. a distance of 490.72 feet to a 1/2" iron rod found for corner at the northwest corner of said Armstrong tract and at the northeast corner of a 1.215 acres tract as described in a Warranty deed to Forrest B. Davis Jr. and Lisa Davis, as recorded in Volume 2293, Page 55 of the Real Property Records of Rockwall County, Texas;

THENCE N. 89 deg. 22 min. 19 sec. E. along the north boundary line of said Armstrong tract, a distance of 395.71 feet to the POINT OF BEGINNING and containing 155,294 square feet or 3.57 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as BACON ADDITION, LOT 1, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in BACON ADDITION, LOT 1, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

BRAD BACON
for Bacon Property, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared BRAD BACON known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of BACON ADDITION, LOT 1, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date

FINAL PLAT

BACON ADDITION LOT 1, BLOCK A

BEING A REPLAT OF
PART OF LOT 1, BLOCK A
BODIN INDUSTRIAL TRACT

3.57 ACRES/155,294 S.F.
(1 LOT)

N.M. BALLARD SURVEY, A-24
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND									
TV	GAS	TEL	FH	FP					
TELEVISION	CABLE	RIDER	SAS	ROSE	HYDRANT	POWER	POLE	1/2" IRON ROD FOUND	1" CORNER
ELEC	ELEC	WV	LP	OF	CS	RF	RF	RF	RF
ELECTRIC	WATER	SUBSURFACE	WATER	POLE	LIGHT	POLE	1" CORNER	1" CORNER	1" CORNER
JUNCTION BOX	EXERCISE LINE	A/C	PROFANE	MARK	MARK	MARK	MARK	MARK	MARK

OWNER:
BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE OCTOBER 8, 2019
SCALE 1" = 40' FILE # 20090752-RP
CLIENT BACON

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

Lee, Henry

From: Tracy Fetty [REDACTED]
Sent: Monday, September 21, 2020 11:35 AM
To: Brad Bacon
Cc: Lee, Henry
Subject: Bacon Addition
Attachments: 20200921110553APP.pdf; 20090752-RP2.PDF; 20090752-RP1.PDF

Brad, Please sign and notarize this application and have a check made out to the City of Rockwall for \$371.40.

I will come by and pick them up from your office this afternoon and deliver it.

Tracy Fetty

H.D. Fetty Land Surveyor, LLC
[REDACTED]
[REDACTED]
[REDACTED]

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lee, Henry

From: Lee, Henry
Sent: Friday, September 25, 2020 10:55 AM
To: 'brad@everyonelovesbacon.com'
Subject: P2020-041 Staff Comments
Attachments: Project Comments (09.24.2020).pdf

Good Morning,

Please find attached staff's project comments for your request. The Planning Commission will be meet in person on Tuesday, September 29, 2020 in the City's Council Chambers. The meeting is scheduled for 6:00 p.m. The City prefers that a representative(s) be present for the meetings.

Please see dates for all meetings in the attached project comments.

Do not hesitate to contact me should you have any questions.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Lee, Henry
Sent: Tuesday, November 3, 2020 9:02 AM
To: 'brad@everyonelovesbacon.com'
Subject: P2020-041 Approval Letter
Attachments: Project Comments (09.24.2020).pdf; Approval Letter (10.06.2020).pdf

Good Morning,

Attached is the approval letter for your final plat request, P2020-041.
Before the mylars can be submitted I still need all staff comments addressed, which are attached for convenience.
If you have any questions feel free to contact me.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



DATE: 10/06/2020

TO: Brad Bacon
295 Ranch Trail
Rockwall, TX 75032

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75098

SUBJECT: P2020-041; *Bacon Addition (Final Plat)*

Brad Bacon:

This letter serves to notify you that the above referenced case, that you submitted for consideration by the City of Rockwall, was approved by City Council (CC) on 10/05/2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.

City Council

On October 5, 2020, the City Council approved a motion to approve the plat with the conditions of approval by a vote of 7-0.

Should you have any questions or concerns regarding your platting case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a light blue horizontal line.

Henry Lee
Planner