



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # P2020-012 P&Z DATE 03/31/20 CC DATE 04/20/20 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input checked="" type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

AIRPORT RD.

Subdivision

LANDING POINT ADDITION

Lot

1-3

Block

A

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

C

Current Use

C

Proposed Zoning

C

Proposed Use

C

Acreage

4.88 ACRES

Lots [Current]

3

Lots [Proposed]

5

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

ZAPH EATH PROPERTIES

Applicant

SAME

Contact Person

STEVE ARZE

Contact Person

Address

1125 WATERSIDE CIRCLE

Address

City, State & Zip

ROCKWALL, TX 75087

City, State & Zip

Phone

Phone

E-Mail

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared STEVE ARZE [Owner] the undersigned, who stated the information on this application to be true and certified the following:

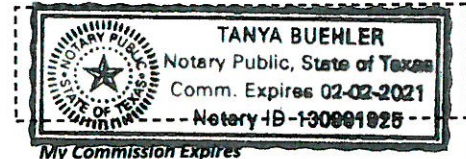
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 320.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 2ND day of MARCH, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 2ND day of MARCH, 20 20.

Owner's Signature

[Handwritten Signature]

Notary Public In and for the State of Texas





**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/19/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, . Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: P2020-012
Project Name: Lots 2-5, Block A, Landing Point Addition
Project Type: PLAT
Applicant Name: STEVE ARZE
Owner Name: STEVE ARZE
Project Description:



RECEIPT

Project Number: P2020-012
Job Address: AIRPORT RD
ROCKWALL, TX 75087

Receipt Number: B89078

Printed: 4/29/2020 3:09 pm

Fee Description	Account Number	Fee Amount
PLATTING	01-4280	\$320.00

Total Fees Paid:

\$320.00

Date Paid: 4/29/2020 12:00:00AM

Paid By: STEVE ARZE

Pay Method: CHECK 1053

Received By: AG



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

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CITY ENGINEER:

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Proposed Zoning

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4.88 ACRES

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Owner

ZAPH EATH PROPERTIES

Applicant

SAME

Contact Person

STEVE ARZE

Contact Person

Address

1125 WATERSIDE CIRCLE

Address

City, State & Zip

ROCKWALL, TX 75087

City, State & Zip

Phone

Phone

E-Mail

E-Mail

NOTARY VERIFICATION [REQUIRED]

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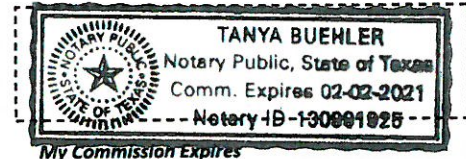
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Given under my hand and seal of office on this the 2ND day of MARCH, 20 20.

Owner's Signature

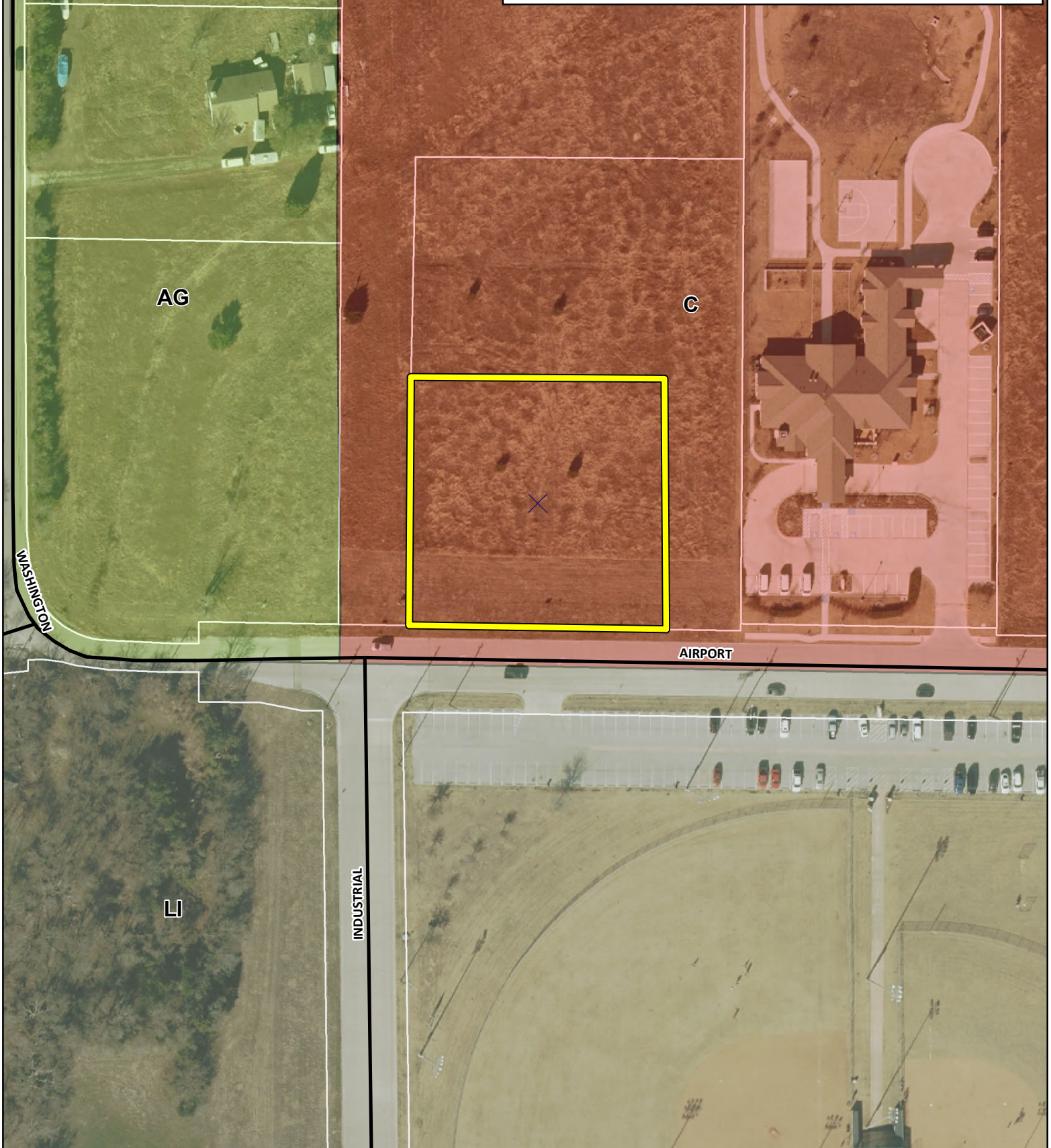
[Handwritten Signature]

Notary Public In and for the State of Texas



0 30 60 120 180 240 Feet

P2020-012- LOTS 4 & 5, BLOCK A, LANDING POINT ADDITION
REPLAT - LOCATION MAP =

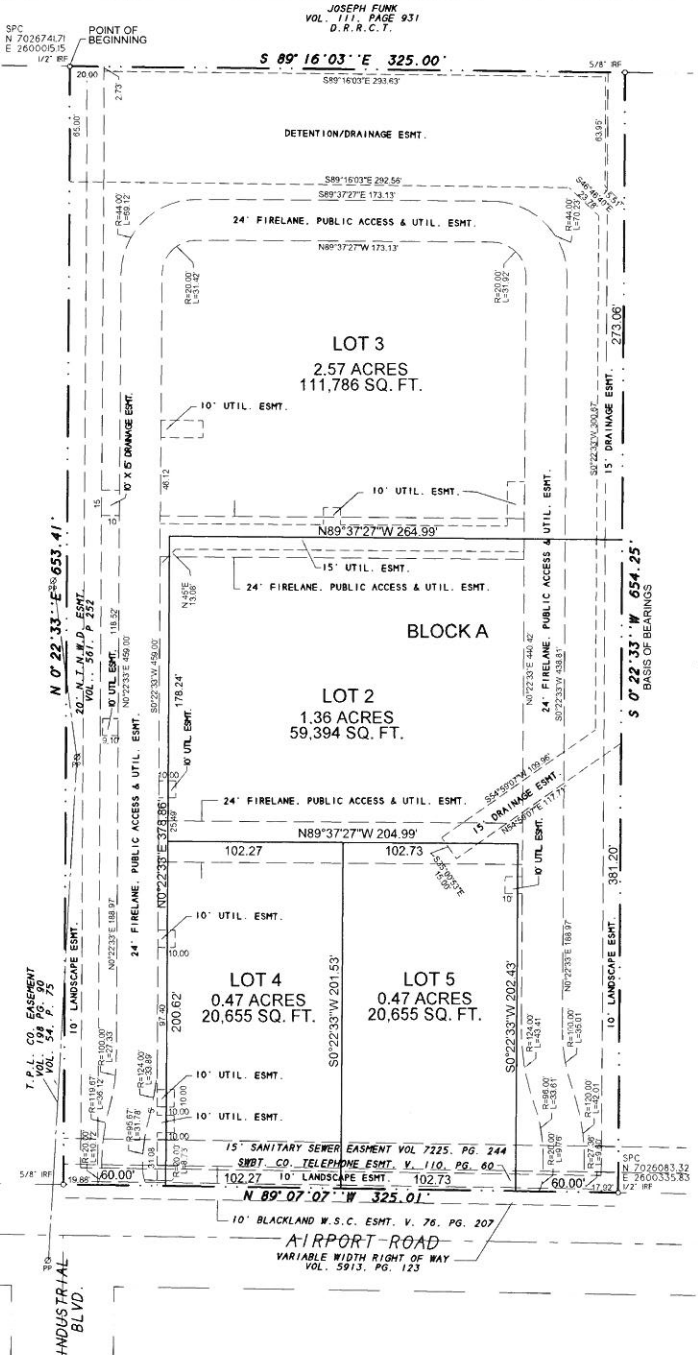


City of Rockwall

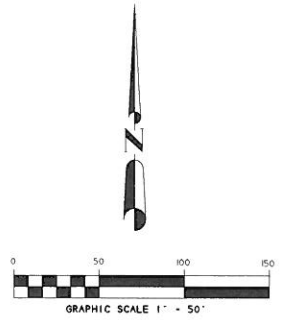
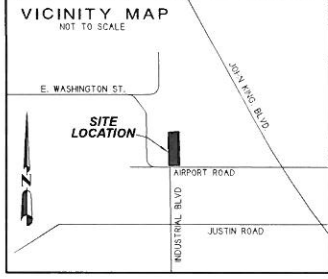
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L, dated SEPT 29, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"
 - 4) PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING, REPAIR AND REPLACEMENT OF ALL DRAINAGE/DETENTION SYSTEMS.



2020-012
 FINAL PLAT
 LANDING POINT ADDITION
 LOTS 2,3,4 & 5 BLOCK A

BEING A REPLAT OF
 LANDING POINT ADDITION
 4.88 ACRES OR 212,491 S.F.
 (4 LOTS)
 N. BUTLER SURVEY, ABST. NO. 20
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND	
	24' FIRELANE
	10' UTIL. ESMT.
	15' DRAINAGE ESMT.
	10' LANDSCAPE ESMT.
	15" SANITARY SEWER EASMENT
	SWBT. CO. TELEPHONE ESMT.
	10' BLACKLAND W.S.C. ESMT.
	VARIABLE WIDTH RIGHT OF WAY
	EASEMENT
	SURVEY BOUNDARY

OWNER:
 ZAPH & ATH PROPERTIES, LLC
 1125 WATERSIDE CIRCLE
 ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE FEBRUARY 14, 2020
 SCALE 1" = 50' FILE # 20030589-RP
 CLIENT ZAPH & ATH

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ZAPH & ATH PROPERTIES, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the N. BUTLER SURVEY, ABSTRACT NO. 20, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Brewer Properties, LP to Rockwall Property Corporation, dated July 7, 2006 and being recorded in Volume 4667, Page 101 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the northwest corner of the above cited tract of land; THENCE S. 89 deg. 16 min. 03 sec. E. along the north line of said tract, a distance of 325.00 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 4, Block A, of COLUMBIA PARK ADDITION, BLOCK A, LOT 4, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet H, Slide 529 of the Plat Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 33 sec. W. along the west boundary line of Lot 4, Block A, a distance of 654.25 feet to a 1/2" iron rod found for corner in the north right-of-way line of Airport Road;

THENCE N. 89 deg. 07 min. 07 sec. W. along said right-of-way line, a distance of 325.01 feet to a 1/2" iron rod found for corner in the west boundary line of said Rockwall Property Corporation tract;

THENCE N. 00 deg. 22 min. 33 sec. E. along the west boundary line of said tract, a distance of 653.41 feet to the POINT OF BEGINNING and containing 212,491 square feet or 4.88 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LANDING POINT ADDITION, LOTS 2, 3, 4 & 5, an Addition to the City of Rockwall, Texas, and whose name is subscribed herein, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 have been noted and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintenance, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

STEVE ARZE for
ZAPH & ATH PROPERTIES, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared STEVE ARZE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____.

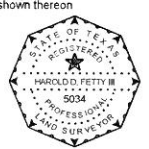
Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____.

Mayor, City of Rockwall City Secretary City of Rockwall

City Engineer Date _____

P 2020-012

FINAL PLAT
LANDING POINT ADDITION
LOTS 2,3,4 & 5 BLOCK A
BEING A REPLAT OF
LANDING POINT ADDITION
4.88 ACRES OR 212,491 S.F.
(4 LOTS)
N. BUTLER SURVEY, ABST. NO. 20
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
ZAPH & ATH PROPERTIES, LLC
1125 WATERSIDE CIRCLE
ROCKWALL, TEXAS 75087

SYMBOL LEGEND table with various symbols and their corresponding descriptions for survey features.

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2020-



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2020
APPLICANT: Steve Arze; *Zaph & Ath Properties*
CASE NUMBER: P2020-012; *Lots 4 & 5, Block A, Landing Point Addition*

SUMMARY

Consider a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for the purpose of subdividing one (1) lot (*i.e. Lot 1, Block A, Landing Point Addition*) into two (2) lots (*i.e. Lots 4 & 5, Landing Point Addition*) in order to develop the two (2) lots.
- On June 5, 2017, the City Council approved a request [Case No. P2017-026] for a final plat for Lots 1-3, Block A, Landing Point Addition.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 4 & 5, Block A, Landing Point Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning, and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	P2020-012	Owner	ZAPH & ATH PROPERTIES LLC	Applied	3/19/2020	AG
Project Name	Lots 2-5, Block A, Landing Point Addition	Applicant	STEVE ARZE	Approved		
Type	PLAT			Closed		
Subtype	REPLAT			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
AIRPORT RD	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
LANDING POINT ADDITION	1	A	1	4296-000A-0001-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2020	3/26/2020	3/23/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	3/19/2020	3/26/2020	3/26/2020	7	APPROVED	
FIRE	Ariana Hargrove	3/19/2020	3/26/2020	3/25/2020	6	APPROVED	
GIS	Lance Singleton	3/19/2020	3/26/2020				
PLANNING	Korey Brooks	3/19/2020	3/26/2020	3/27/2020	8	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2020-012; Lots 4 &5, Block A, Landing Point Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please note the Lot and Block designation stated above. The Title Block shows Lots 2 & 3 as well.						
2) Please show and label cross access to Lot 5						
3) Please note the lot and block designation and make changes to dedication language and title block						
4) Please note the acreage for Lots 4 & 5. Currently, the acreage for all lots is being shown.						
I.6 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.7 The Planning & Zoning Meeting April 14, 2020.						
I.8 The City Council Meeting for this case is April 20, 2020.						
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
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- Plat Reinstatement Request (\$100.00)

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- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
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Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

AIRPORT RD.

Subdivision

LANDING POINT ADDITION

Lot

1-3

Block

A

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

C

Current Use

C

Proposed Zoning

C

Proposed Use

C

Acreage

4.88 ACRES

Lots [Current]

3

Lots [Proposed]

5

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

ZAPH EATH PROPERTIES

Applicant

SAME

Contact Person

STEVE ARZE

Contact Person

Address

1125 WATERSIDE CIRCLE

Address

City, State & Zip

ROCKWALL, TX 75087

City, State & Zip

Phone

Phone

E-Mail

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared STEVE ARZE [Owner] the undersigned, who stated the information on this application to be true and certified the following:

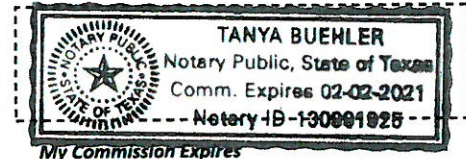
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Given under my hand and seal of office on this the 2ND day of MARCH, 20 20.

Owner's Signature

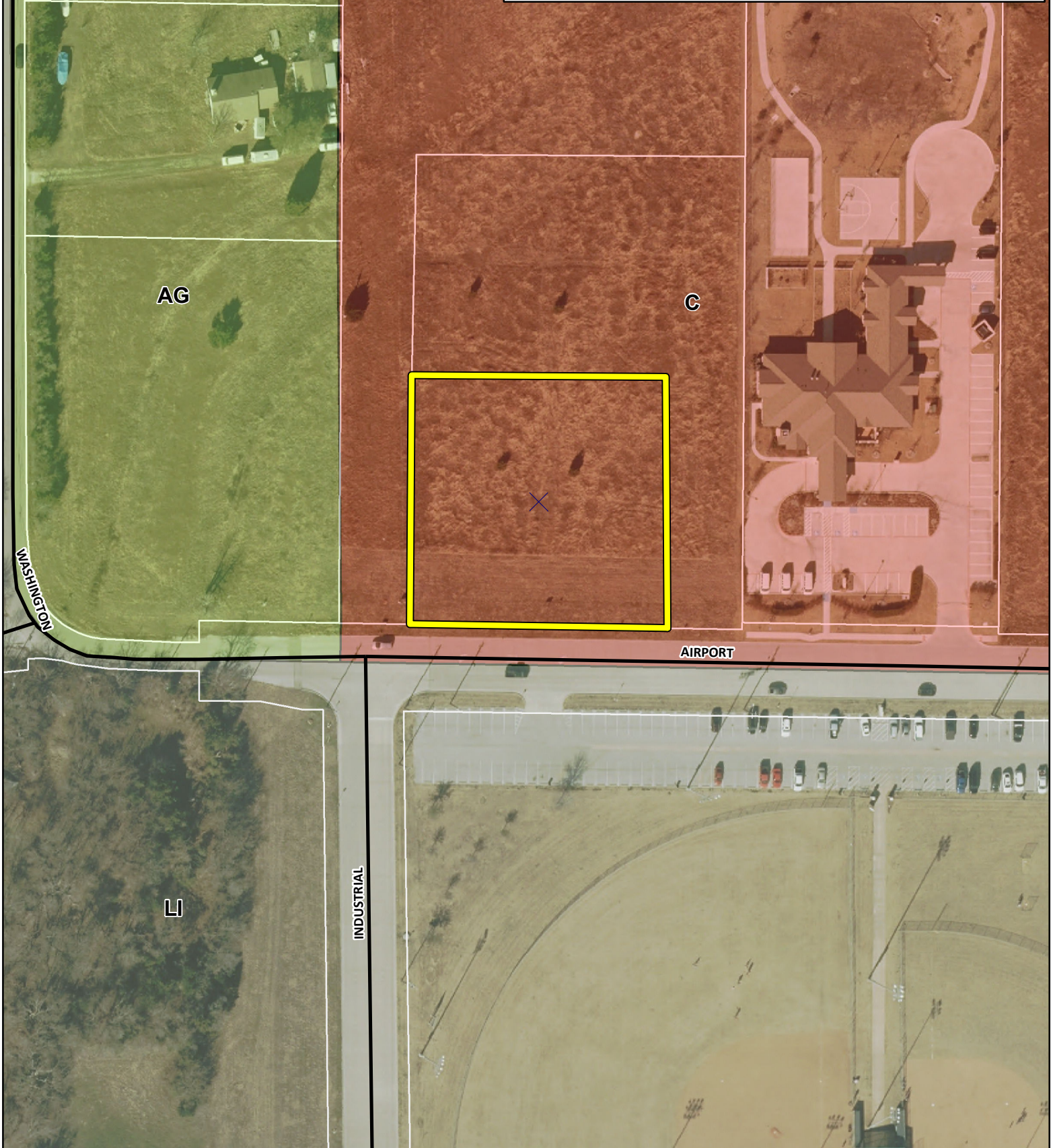
[Handwritten Signature]

Notary Public In and for the State of Texas



0 30 60 120 180 240 Feet

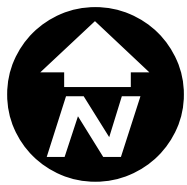
P2020-012- LOTS 4 & 5, BLOCK A, LANDING POINT ADDITION
REPLAT - LOCATION MAP =

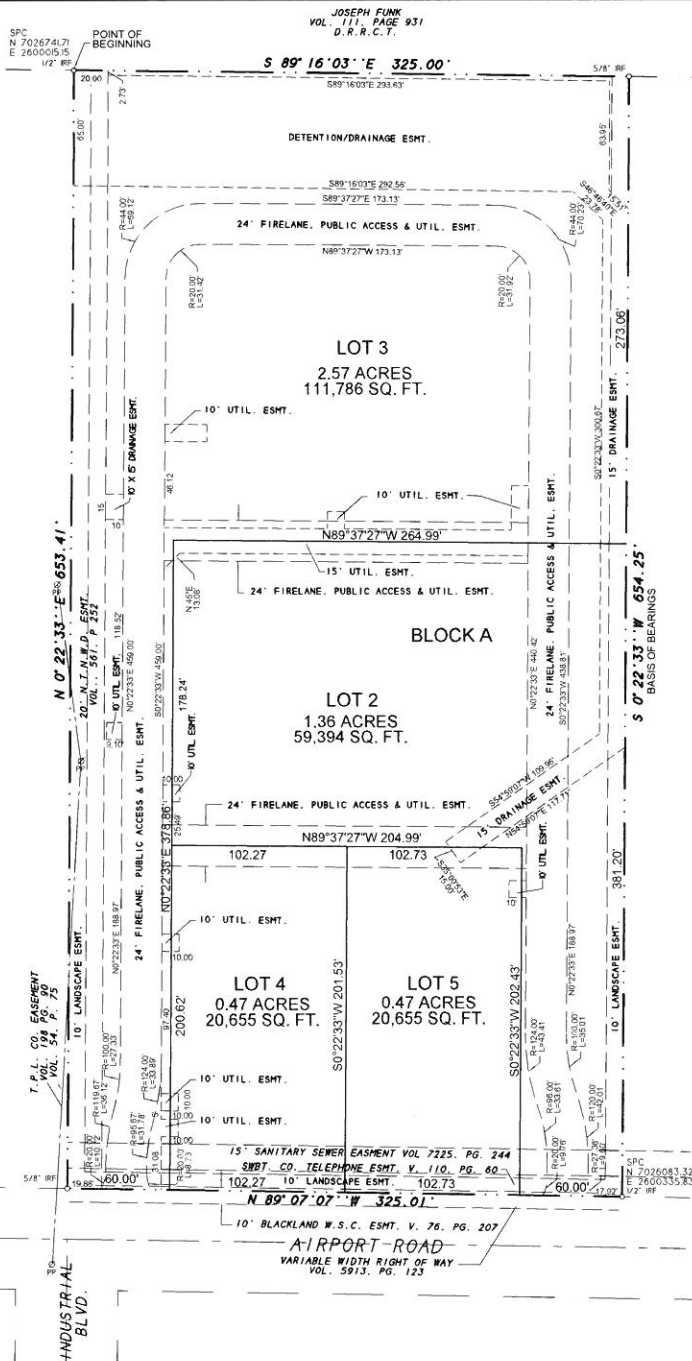


City of Rockwall

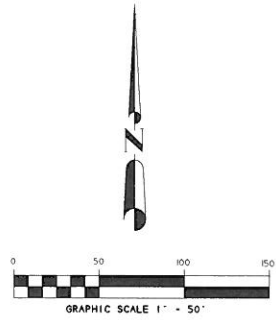
Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"
 - 4) PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING, REPAIR AND REPLACEMENT OF ALL DRAINAGE/DETENTION SYSTEMS.



2020-012
 FINAL PLAT
 LANDING POINT ADDITION
 LOTS 2,3,4 & 5 BLOCK A

BEING A REPLAT OF
 LANDING POINT ADDITION
 4.88 ACRES OR 212,491 S.F.
 (4 LOTS)
 N. BUTLER SURVEY, ABST. NO. 20
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:
 ZAPH & ATH PROPERTIES, LLC
 1125 WATERSIDE CIRCLE
 ROCKWALL, TEXAS 75087

SYMBOL LEGEND	
	EASEMENT
	RIGHT OF WAY
	SURVEY BOUNDARY
	UTILITY
	FIRELANE
	LANDSCAPE
	SANITARY SEWER
	TELEPHONE
	BLACKLAND
	POINT OF BEGINNING
	SURVEY STATION
	CORNER
	IRON PIPE STAKE
	WOOD STAKE
	CONCRETE STAKE
	METAL STAKE
	SURVEY LINE
	SURVEY BOUNDARY

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2020-

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ZAPH & ATH PROPERTIES, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the N. BUTLER SURVEY, ABSTRACT NO. 20, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Brewer Properties, LP to Rockwall Property Corporation, dated July 7, 2006 and being recorded in Volume 4667, Page 101 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the northwest corner of the above cited tract of land; THENCE S. 89 deg. 16 min. 03 sec. E. along the north line of said tract, a distance of 325.00 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 4, Block A, of COLUMBIA PARK ADDITION, BLOCK A, LOT 4, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet H, Slide 529 of the Plat Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 33 sec. W. along the west boundary line of Lot 4, Block A, a distance of 654.25 feet to a 1/2" iron rod found for corner in the north right-of-way line of Airport Road;

THENCE N. 89 deg. 07 min. 07 sec. W. along said right-of-way line, a distance of 325.01 feet to a 1/2" iron rod found for corner in the west boundary line of said Rockwall Property Corporation tract;

THENCE N. 00 deg. 22 min. 33 sec. E. along the west boundary line of said tract, a distance of 653.41 feet to the POINT OF BEGINNING and containing 212,491 square feet or 4.88 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LANDING POINT ADDITION, LOTS 2, 3, 4 & 5, an Addition to the City of Rockwall, Texas, and whose name is subscribed herein, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 have been noted and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintenance, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

STEVE ARZE for
ZAPH & ATH PROPERTIES, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared STEVE ARZE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____.

Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this ____ day of _____.

Mayor, City of Rockwall City Secretary City of Rockwall

City Engineer Date _____

P 2020-012

FINAL PLAT
LANDING POINT ADDITION
LOTS 2,3,4 & 5 BLOCK A
BEING A REPLAT OF
LANDING POINT ADDITION
4.88 ACRES OR 212,491 S.F.
(4 LOTS)
N. BUTLER SURVEY, ABST. NO. 20
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
ZAPH & ATH PROPERTIES, LLC
1125 WATERSIDE CIRCLE
ROCKWALL, TEXAS 75087

SYMBOL LEGEND table with various symbols and their corresponding descriptions for survey features.

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2020-



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: April 20, 2020
APPLICANT: Steve Arze; *Zaph & Ath Properties*
CASE NUMBER: P2020-012; *Lots 4 & 5, Block A, Landing Point Addition*

SUMMARY

Consider a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for the purpose of subdividing one (1) lot (*i.e. Lot 1, Block A, Landing Point Addition*) into two (2) lots (*i.e. Lots 4 & 5, Landing Point Addition*) in order to develop the two (2) lots.
- On June 5, 2017, the City Council approved a request [Case No. P2017-026] for a final plat for Lots 1-3, Block A, Landing Point Addition.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 4 & 5, Block A, Landing Point Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning, and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 14, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the plat by a vote of 6-0, with Chairman Chodun absent.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	P2020-012	Owner	ZAPH & ATH PROPERTIES LLC	Applied	3/19/2020	AG
Project Name	Lots 2-5, Block A, Landing Point Addition	Applicant	STEVE ARZE	Approved		
Type	PLAT			Closed		
Subtype	REPLAT			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning
AIRPORT RD	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
LANDING POINT ADDITION	1	A	1	4296-000A-0001-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2020	3/26/2020	3/23/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	3/19/2020	3/26/2020	3/26/2020	7	APPROVED	
FIRE	Ariana Hargrove	3/19/2020	3/26/2020	3/25/2020	6	APPROVED	
GIS	Lance Singleton	3/19/2020	3/26/2020				
PLANNING	Korey Brooks	3/19/2020	3/26/2020	3/27/2020	8	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2020-012; Lots 4 &5, Block A, Landing Point Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please note the Lot and Block designation stated above. The Title Block shows Lots 2 & 3 as well.						
2) Please show and label cross access to Lot 5						
3) Please note the lot and block designation and make changes to dedication language and title block						
4) Please note the acreage for Lots 4 & 5. Currently, the acreage for all lots is being shown.						
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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-012

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Subdivision

LANDING POINT ADDITION

Lot

1-3

Block

A

General Location

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C

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C

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C

Proposed Use

C

Acreage

4.88 ACRES

Lots [Current]

3

Lots [Proposed]

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Owner

ZAPH EATH PROPERTIES

Applicant

SAME

Contact Person

STEVE ARZE

Contact Person

Address

1125 WATERSIDE CIRCLE

Address

City, State & Zip

ROCKWALL, TX 75087

City, State & Zip

Phone

Phone

E-Mail

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared STEVE ARZE [Owner] the undersigned, who stated the information on this application to be true and certified the following:

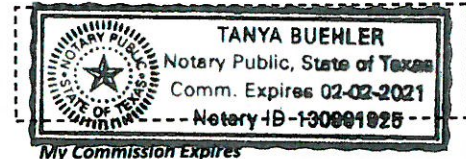
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Owner's Signature

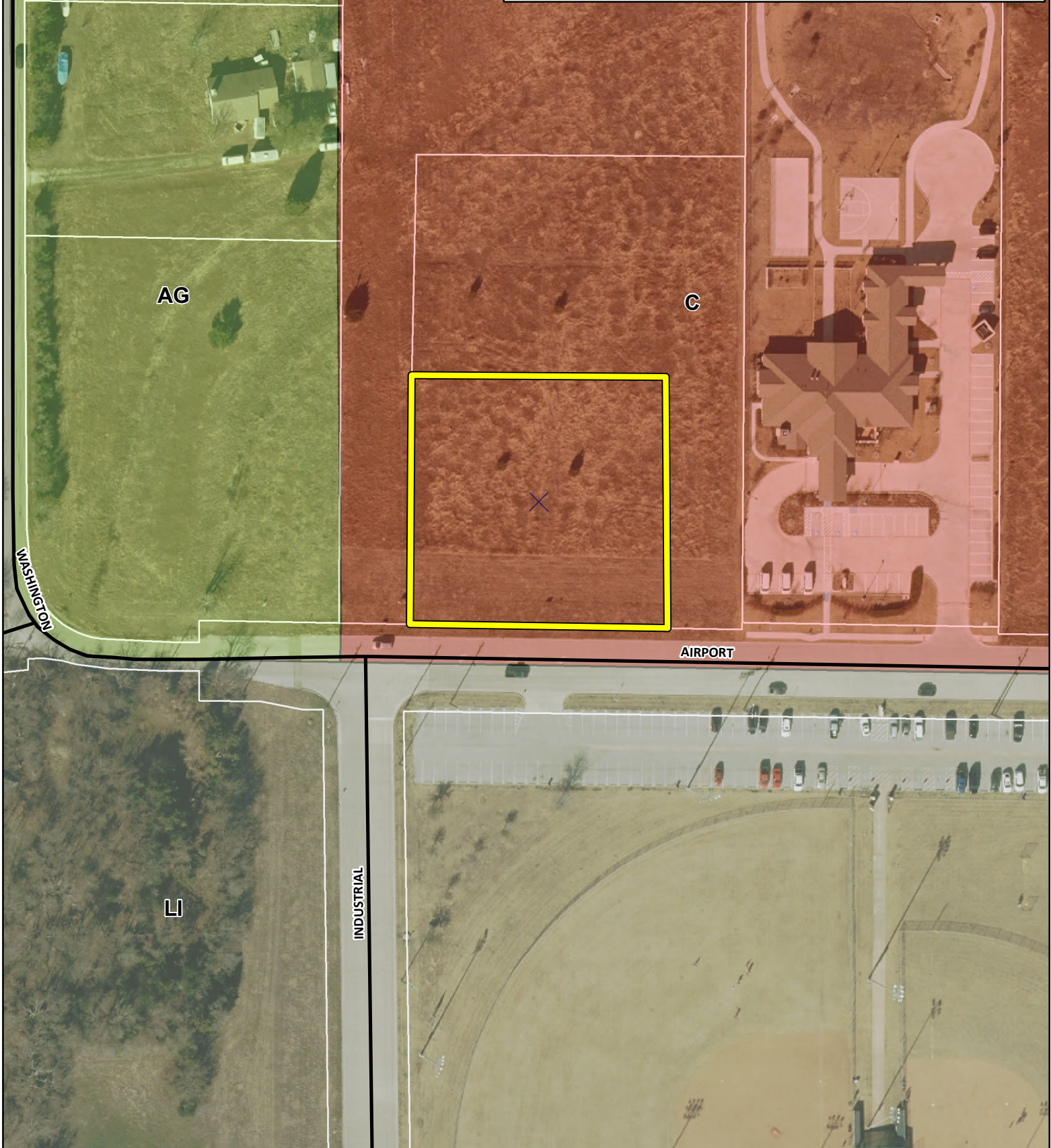
[Handwritten Signature]

Notary Public In and for the State of Texas



0 30 60 120 180 240 Feet

P2020-012- LOTS 4 & 5, BLOCK A, LANDING POINT ADDITION
REPLAT - LOCATION MAP = 

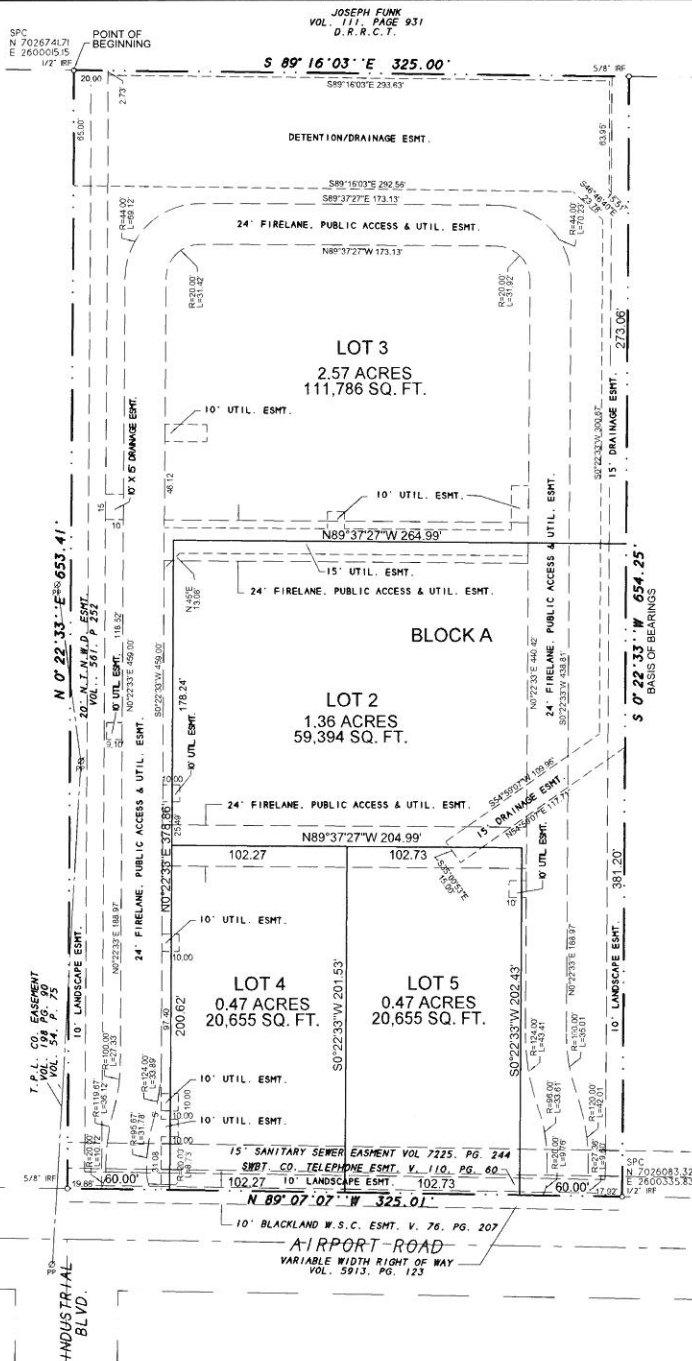


City of Rockwall

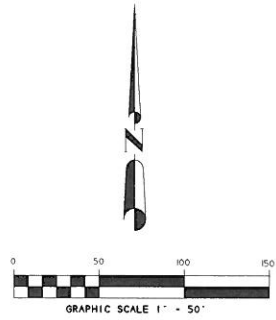
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2020-012
 FINAL PLAT
 LANDING POINT ADDITION
 LOTS 2,3,4 & 5 BLOCK A

BEING A REPLAT OF
 LANDING POINT ADDITION
 4.88 ACRES OR 212,491 S.F.
 (4 LOTS)
 N. BUTLER SURVEY, ABST. NO. 20
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

SYMBOL LEGEND	
	24' FIRELANE
	10' UTIL. ESMT.
	15' DRAINAGE ESMT.
	10' LANDSCAPE ESMT.
	15" SANITARY SEWER EASMENT
	SWBT. CO. TELEPHONE ESMT.
	10' BLACKLAND W.S.C. ESMT.
	VARIABLE WIDTH RIGHT OF WAY
	EASEMENT
	SURVEY BOUNDARY
	CORNER
	IRON PIPE STAKE
	WOOD STAKE
	SURVEY POINT

OWNER:
 ZAPH & ATH PROPERTIES, LLC
 1125 WATERSIDE CIRCLE
 ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2020-

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ZAPH & ATH PROPERTIES, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the N. BUTLER SURVEY, ABSTRACT NO. 20, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Brewer Properties, LP to Rockwall Property Corporation, dated July 7, 2006 and being recorded in Volume 4667, Page 101 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the northwest corner of the above cited tract of land; THENCE S. 89 deg. 16 min. 03 sec. E. along the north line of said tract, a distance of 325.00 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 4, Block A, of COLUMBIA PARK ADDITION, BLOCK A, LOT 4, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet H, Slide 529 of the Plat Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 33 sec. W. along the west boundary line of Lot 4, Block A, a distance of 654.25 feet to a 1/2" iron rod found for corner in the north right-of-way line of Airport Road;

THENCE N. 89 deg. 07 min. 07 sec. W. along said right-of-way line, a distance of 325.01 feet to a 1/2" iron rod found for corner in the west boundary line of said Rockwall Property Corporation tract;

THENCE N. 00 deg. 22 min. 33 sec. E. along the west boundary line of said tract, a distance of 653.41 feet to the POINT OF BEGINNING and containing 212,491 square feet or 4.88 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LANDING POINT ADDITION, LOTS 2, 3, 4 & 5, an Addition to the City of Rockwall, Texas, and whose name is subscribed herein, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 have been noted and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintenance, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done, or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

STEVE ARZE for
ZAPH & ATH PROPERTIES, LLC

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared STEVE ARZE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____.

Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of LANDING POINT ADDITION, LOTS 2, 3, 4 & 5 BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____.

Mayor, City of Rockwall City Secretary City of Rockwall

City Engineer Date _____

2020-012

FINAL PLAT
LANDING POINT ADDITION
LOTS 2,3,4 & 5 BLOCK A
BEING A REPLAT OF
LANDING POINT ADDITION
4.88 ACRES OR 212,491 S.F.
(4 LOTS)
N. BUTLER SURVEY, ABST. NO. 20
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
ZAPH & ATH PROPERTIES, LLC
1125 WATERSIDE CIRCLE
ROCKWALL, TEXAS 75087

SYMBOL LEGEND table with various symbols and their corresponding descriptions for survey features.

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO P2020-

Lee, Henry

From: Miller, Ryan
Sent: Wednesday, April 15, 2020 4:10 PM
To: 'Tracy Fetty'
Subject: Comments for Case No. P2020-012
Attachments: Project Comments.pdf

Harold ... Attached are the comments for Lots 4 & 5, Block A, Landing Point Addition. Please note that this will be going to the City Council this coming Monday for conditional approval. Also, Mr. Brooks is no longer with the City, so all future correspondence for this case will be through me. Thank you and please let me know if you have any additional questions. Thanks.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD



May 14, 2020

TO: Steve Arze
Zaph & Ath Properties
1125 Waterside Circle
Rockwall, TX 75087

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2020-012; Lots 4 & 5, Block A, Landing Point Addition

Mr. Arze:

This letter serves to notify you that the above referenced platting case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on April 20, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical Comments from the Engineering, Planning, and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 14, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the plat by a vote of 6-0, with Chairman Chodun absent.

City Council

On April 20, 2020, the City Council made a motion to approve the plat with staff conditions. The motion passed by a vote of 7-0.

Prior to submitting the required materials for filing, please send or submit a physical or digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- *at a minimum* -- the following:

- (1) Two (2) sets of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for \$134.00 for the filing fees made out to the *Rockwall County Clerk's Office*.

Please note that the filing fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the *Rockwall County Clerk's Office*. In addition, if you are submitting mylars between September 1st and December 31st, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the

property being platted, a letter from the *Rockwall County Clerk's Office* and an additional \$4.00 filing fee will be required to be submitted to staff.

All plats must be submitted to the City with the required filing fees and tax certificates a minimum of 180-days from the approval date. Failure to miss this deadline, will result in the plat being expired in accordance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Miller'.

Ryan Miller, AICP
Director of Planning and Zoning