



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 2019-003 P&Z DATE 3/21/19 CC DATE 3/18/19 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION	
<input checked="" type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input checked="" type="checkbox"/>	HOA MAP
<input checked="" type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
NOTES: _____	

ZONING MAP UPDATED _____	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22019-003
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:
 Master Plat (\$100.00 + \$15.00 Acre)¹
 Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 Final Plat (\$300.00 + \$20.00 Acre)¹
 Replat (\$300.00 + \$20.00 Acre)¹
 Amending or Minor Plat (\$150.00)
 Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:
 Site Plan (\$250.00 + \$20.00 Acre)¹
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:
 Zoning Change (\$200.00 + \$15.00 Acre)¹
 Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:
 Tree Removal (\$75.00)

Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 901 W Yellow Jacket Ln, Rockwall, TX 75087

Subdivision None Lot None Block None

General Location South East Corner of Rockwall High School Campus, directly behind Rooms-To-Go

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Commercial (C) District	Current Use	High school athletic field w/o netting & lights
Proposed Zoning	Commercial (C) District	Proposed Use	High school athletic field w/ netting & lights
Acreage	2+	Lots [Current]	1
		Lots [Proposed]	1

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Rockwall ISD	<input checked="" type="checkbox"/> Applicant	SET Engineers
Contact Person	James Watson	Contact Person	Jeff Bresee
Address	1050 Williams St.,	Address	207 Moss Ct
City, State & Zip	Rockwall, TX 75087	City, State & Zip	Mansfield, TX 76063
Phone	9727721148	Phone	8175078305
E-Mail	james.watson@rockwallisd.org	E-Mail	jeffbresee@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jess Bresee [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

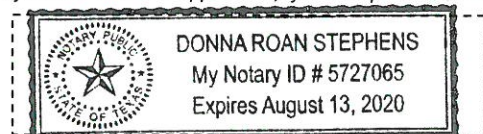
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 228.05, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of February, 2019. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14th day of February, 2019.

Owner's/Applicant's Signature

Jeff Bresee
Donna R. Stephens

Notary Public in and for the State of Texas



My Commission Expires 8-13-2020



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 2/15/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 02/22/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 2/26/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 2/26/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2019-003
Project Name: 901 W. Yellowjacket Ln.
Project Type: ZONING
Applicant Name: SET ENGINEERS
Owner Name: ROCKWALL, I S D
Project Description:



RECEIPT

Project Number: Z2019-003
Job Address: 901 YELLOWJACKET RD

Receipt Number: B85146

Printed: 5/9/2019 9:58 am

Fee Description	Account Number	Fee Amount
CREDIT CARD PROCESSING FEE	01-4015	\$ 4.60
ZONING	01-4280	\$ 230.00

Total Fees Paid:

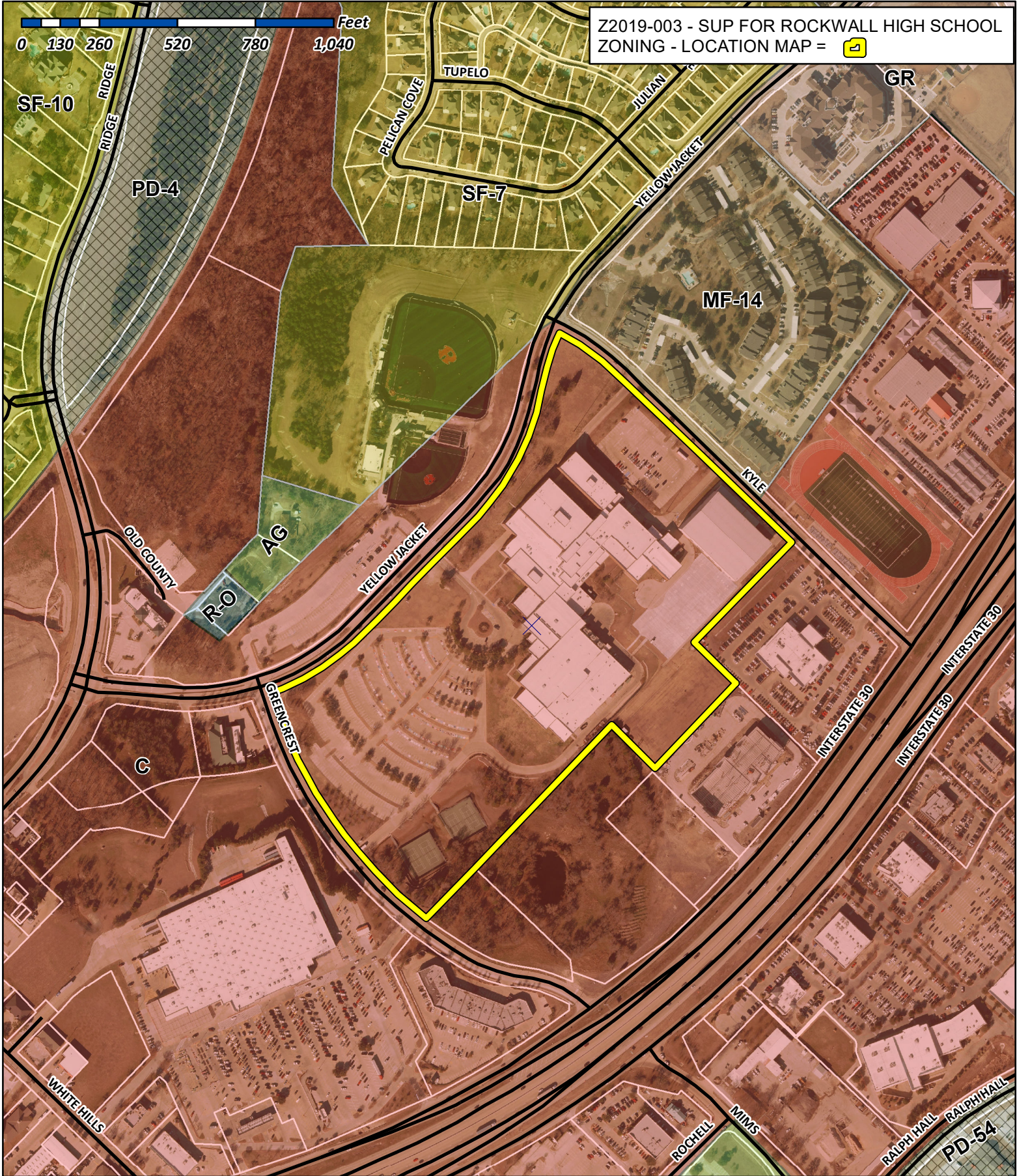
\$ 234.60

Date Paid: 5/9/2019 12:00:00AM

Paid By: James Watson

Pay Method: AMERICAN EXPRESS

Received By: LM



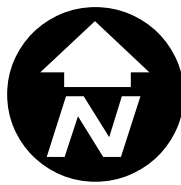
Z2019-003 - SUP FOR ROCKWALL HIGH SCHOOL
 ZONING - LOCATION MAP = [pin icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

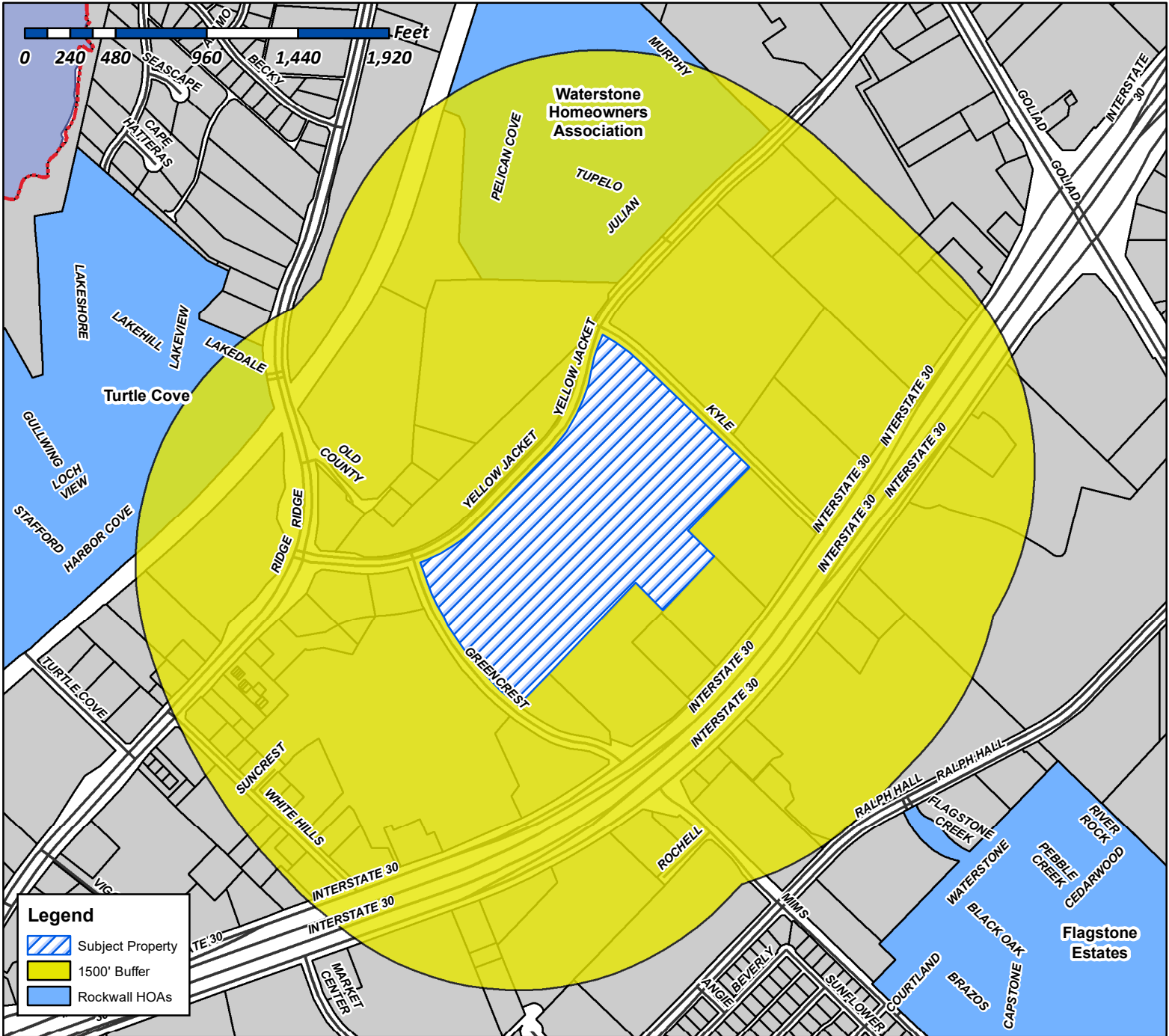




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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/19/2019
For Questions on this Case Call (972) 771-7745

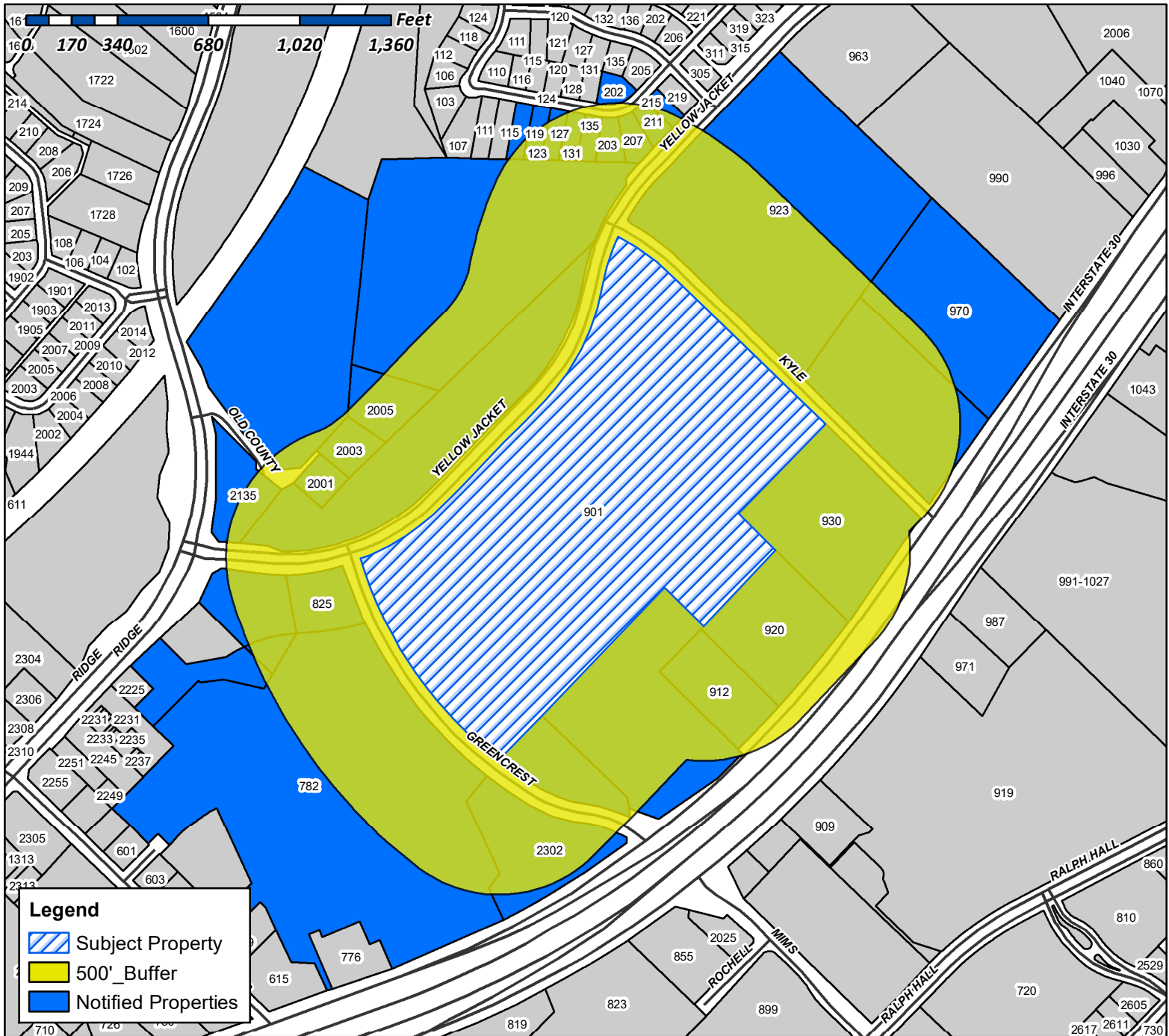




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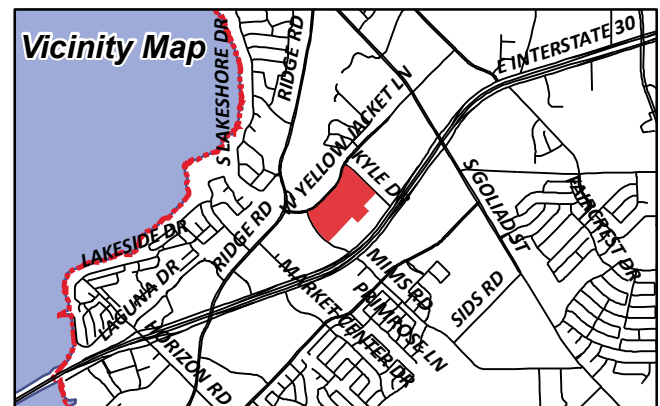
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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/15/2019

For Questions on this Case Call (972) 771-7745



MIKULSKI ANTONY AND MICHELLE
119 JULIAN DR
ROCKWALL, TX 75087

WOODWARD LAURA
123 JULIAN DR
ROCKWALL, TX 75087

RYAN BRIAN
127 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
131 JULIAN DR
ROCKWALL, TX 75032

GIPSON CAMERON
135 JULIAN DRIVE
ROCKWALL, TX 75087

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

JLIU ASSET MANAGEMENT LTD
1711 E BELTLINE RD
COPPELL, TX 75019

CURRENT RESIDENT
2001 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2003 RIDGE RD
ROCKWALL, TX 75032

FAHERTY FRANK
2005 RIDGE RD
ROCKWALL, TX 75087

SHIPP DONALD W & MAUREEN
202 JULIAN DR
ROCKWALL, TX 75087

ANDREWS GRACE L
203 JULIAN DR
ROCKWALL, TX 75087

SINGH RITU W AND
207 JULIAN DRIVE
ROCKWALL, TX 75087

PROCK CHARLES
209 RUSSELL DR
ROCKWALL, TX 75032

WHITTAKER SANDRA
211 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75032

HARPER EMILY ERIN
215 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2302 GREENCREST BLVD
ROCKWALL, TX 75032

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

ROCKWALL-PINE PROPERTIES LLC
400 PERIMETER CENTER TERRACE 0
ATLANTA, GA 30346

IN YUNG H &
512 SUNSTONE DR
IRVING, TX 75060

SYVRUD JAMES P & MARY JEAN
519 E INTERSTATE 30
ROCKWALL, TX 75087

IX MC 923 YELLOW JACKET LANE LP
591 W PUTNAM AVE
GREENWICH, CT 06830

GAMEZ SUSAN AND
602 LAURENCE
HEATH, TX 75032

ROADHOUSE ENTERPRISES INC
6040 DUTCHMANS LANE
LOUISVILLE, KY 40205

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75032

ROCKWALL DIRT CO LTD
800 GESSNER RD 0
HOUSTON, TX 77024

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
825 YELLOW JACKET LN
ROCKWALL, TX 75032

CURRENT RESIDENT
901 YELLOWJACKET RD
ROCKWALL, TX 75032

CURRENT RESIDENT
912 E I30
ROCKWALL, TX 75032

CURRENT RESIDENT
920 I-30
ROCKWALL, TX 75032

CURRENT RESIDENT
923 YELLOW JACKET LN
ROCKWALL, TX 75032

TARBELL AUTOMOTIVE INC
930 E I-30
ROCKWALL, TX 75087

CURRENT RESIDENT
970 E I30
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 0
AGOURA HILLS, CA 91301

ROCKWALL ASC REAL ESTATE LLC
PO BOX 1208
ROCKWALL, TX 75087

WAL-MART REAL ESTATE
PO BOX 8050
BENTONVILLE, AR 72712

ROCKWALL RENTAL PROPERTIES LP
PO BOX B
TERRELL, TX 75160



February 13, 2019

David Gonzales, AICP
City of Rockwall Texas
385 S. Goliad Street

Re: Rockwall High School Multipurpose Synthetic Turf Field – Field Netting & Lights

Dear Mr. Gonzales:

Rockwall ISD desires to convert their existing natural grass multipurpose field at Rockwall High School (field that lies immediately North of Rooms-To-Go) into a synthetic turf field. As this field is surrounded by commercial properties on three sides, in order to protect vehicles and/or patrons at these businesses, the school desires to construct a 40-foot tall fence/netting combination (10-foot black coated vinyl chain link fence topped with 30-foot black netting) around the perimeter of the field. This will also enable the fields to be more functional for their intended purpose (project is part of RISD's bond program to provide a practice facility for the softball and baseball teams (although the field will be used for football, soccer, discus and lacrosse practice as well) and it will prevent balls from leaving the field area.

In addition to the netting system, the District desires to install lights atop each of the netting poles that align the North and South sides of the field. As the field will be used by many of the school's sports teams for practice as well intermural teams, PE and other uses, it is desired that the field be made useable during night hours (limited of course by city ordinance).

In adding the lights, the District is seeking variance to the ordinance limiting light spillage to 0.2 lumens or less beyond the line 1-foot outside of the District's property lines. The design of the proposed lights (for which we have included a photometric plan) is to provide the minimum level of light needed for the practice of school sports (design is not to the level typical for stadiums and other competition facilities). As the surrounding properties are commercial entities that also light their grounds, the District feels that the proposed lighting design will not adversely affect the neighboring properties.

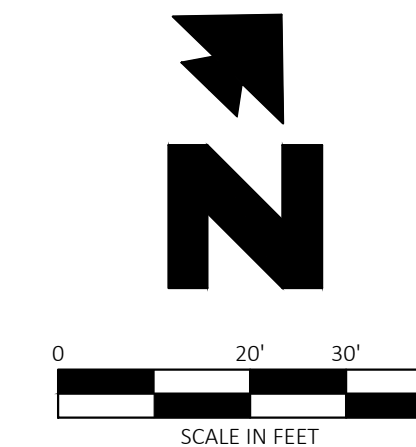
I have included cut sheet information for the netting system and the lights. Please let me know if you need anything further or have any questions.

Sincerely,

SET Engineer, Inc.

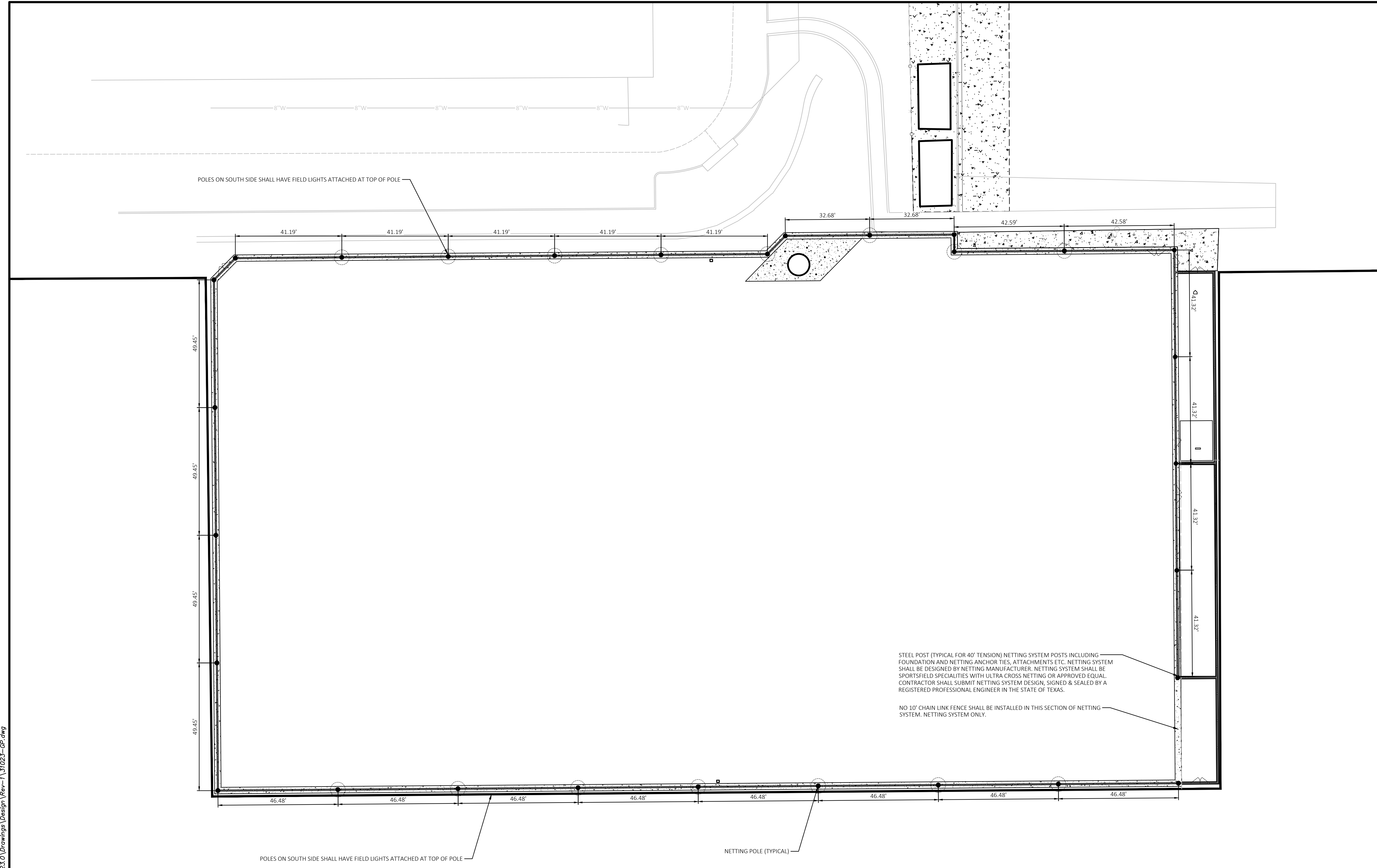
A handwritten signature in blue ink that reads "Jeff Bresee". The signature is written in a cursive, flowing style.

Jeff Bresee, P.E.



LEGEND

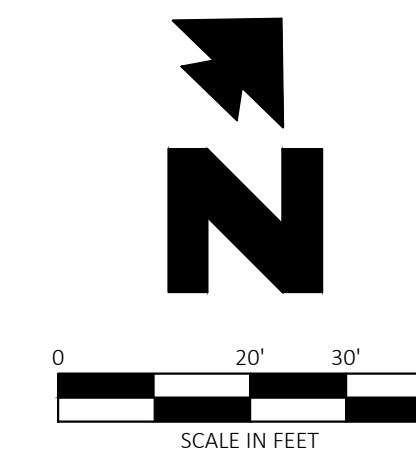
EXISTING			
	EAST OR ELECTRIC		OVERHEAD TELEPHONE
	NORTH		OVERHEAD TV
	OVERHEAD		SANITARY SEWER
	SOUTH OR SEWER		UNDERGROUND ELECTRIC
	TELEPHONE		UNDERGROUND ELECTRIC AND TELEPHONE
	UNDERGROUND		UNDERGROUND TELEPHONE
	WEST OR WATER		UNDERGROUND TV
	PROPERTY LINE		WATER
	RIGHT OF WAY LINE		GAS
	STORM DRAIN		OVERHEAD ELECTRIC
	X\"G		OVERHEAD ELECTRIC AND TELEPHONE
	OHE		
	OHE&T		



JOB # 31023 DRAWING: 31023-CP.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023.0\Drawings\Design\Rev-1\31023-CP.dwg

F-7524

SET Engineers, Inc. <small>Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX</small>					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
		Engineering Associates, Inc. <small>ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS</small>			
<small>3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712</small>			<small>(479) 273-9472 FAX (479) 273-0844</small>		
ROCKWALL HIGH SCHOOL <small>901 W YELLOWJACKET LANE ROCKWALL, TEXAS</small>					
40- FOOT NETTING POST LOCATIONS				<small>REV DATE 2/14/19 REV-0</small>	<small>SHEET NO. 2 OF 3</small>

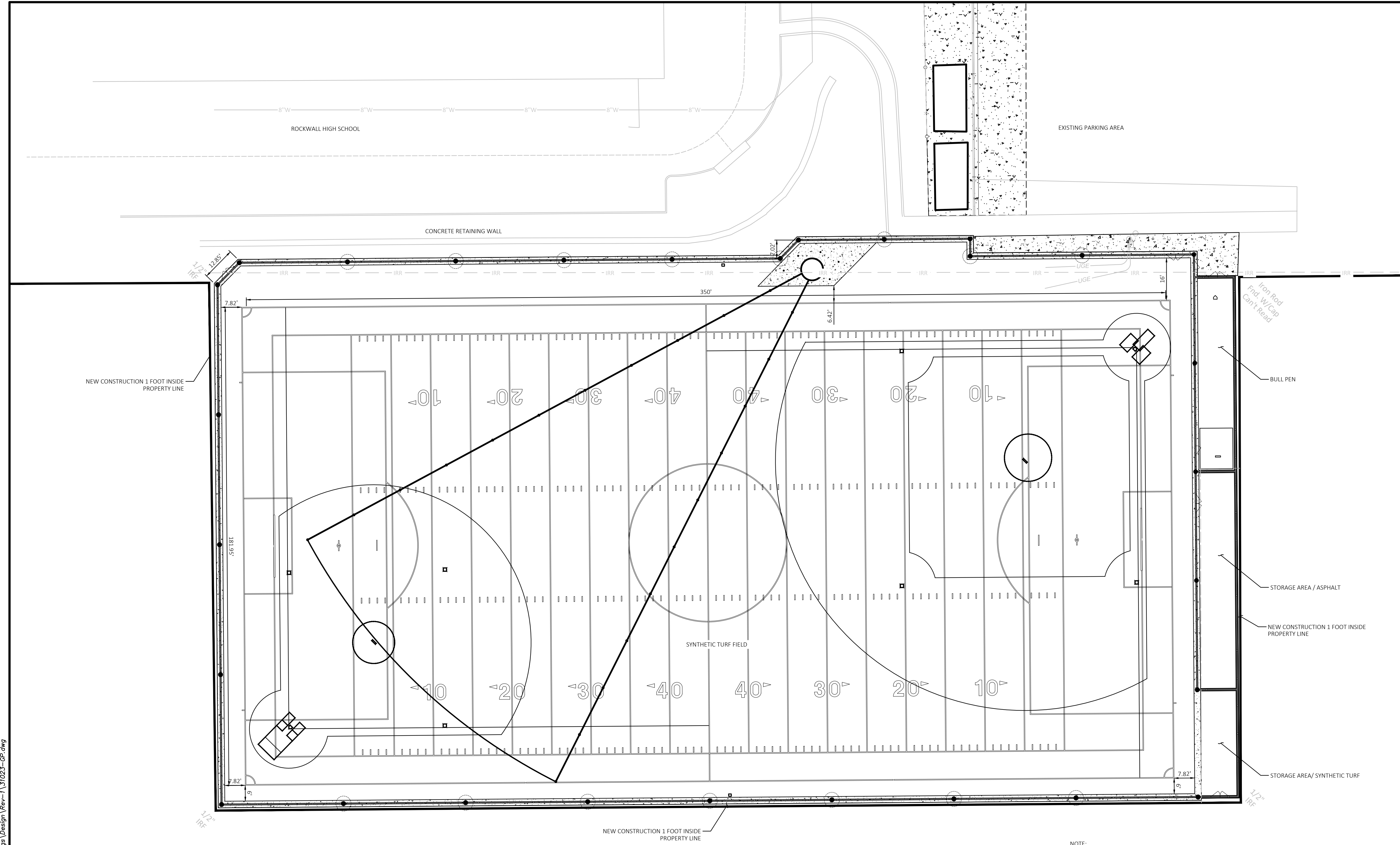


LEGEND

EXISTING			
—E—	EAST OR ELECTRIC	—OHT—	OVERHEAD TELEPHONE
—N—	NORTH	—OHTV—	OVERHEAD TV
—OS—	SOUTH OR SEWER	—X"SS—	SANITARY SEWER
—T—	TELEPHONE	—UGE—	UNDERGROUND ELECTRIC
—UB—	UNDERGROUND	—UGE&T—	UNDERGROUND ELECTRIC AND TELEPHONE
—W—	WEST OR WATER	—UGT—	UNDERGROUND TELEPHONE
---	PROPERTY LINE	—UGTV—	UNDERGROUND TV
---	RIGHT OF WAY LINE	—X"W—	WATER
---	STORM DRAIN	—X"G—	GAS
---	X"G	—OHE—	OVERHEAD ELECTRIC
---	OHE	—OHE&T—	OVERHEAD ELECTRIC AND TELEPHONE
---	OHE&T	—5-10-11 50.5—	TREE INFO: .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

FIELD EQUIPMENTS TO BE PROVIDED BY CONTRACTOR

- SYNTHETIC TURF BASE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 6 BASES TOTAL.
- SYNTHETIC TURF HOME PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- SYNTHETIC TURF PITCHERS PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- PORTABLE FOOTBALL GOAL POST, AAE SPORTS, ROLLAWAY H GOAL POST (HS), OR EQUAL, TWO GOAL POSTS TOTAL.
- PORTABLE SOCCER GOAL POST KWIK GOAL EVO II, SOCCER GOAL WITH WHEELS OR EQUAL 2 GOALS TOTAL.



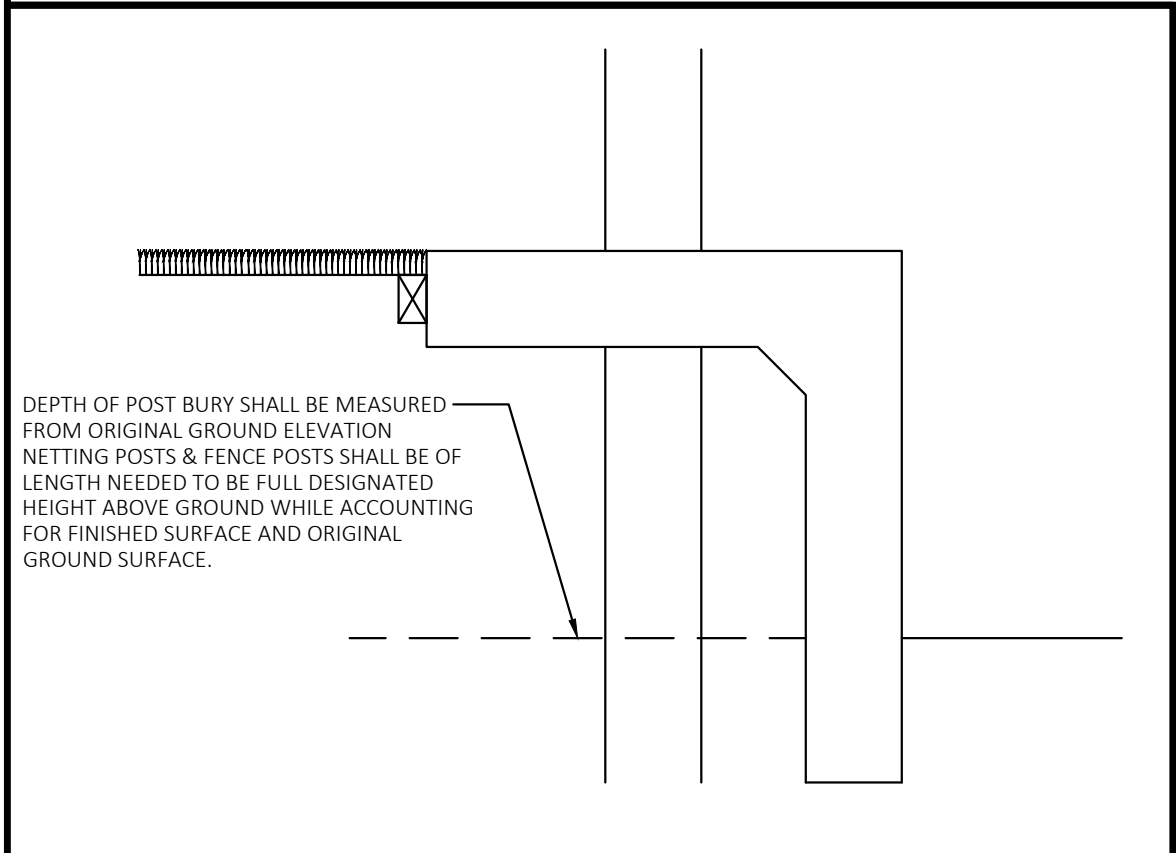
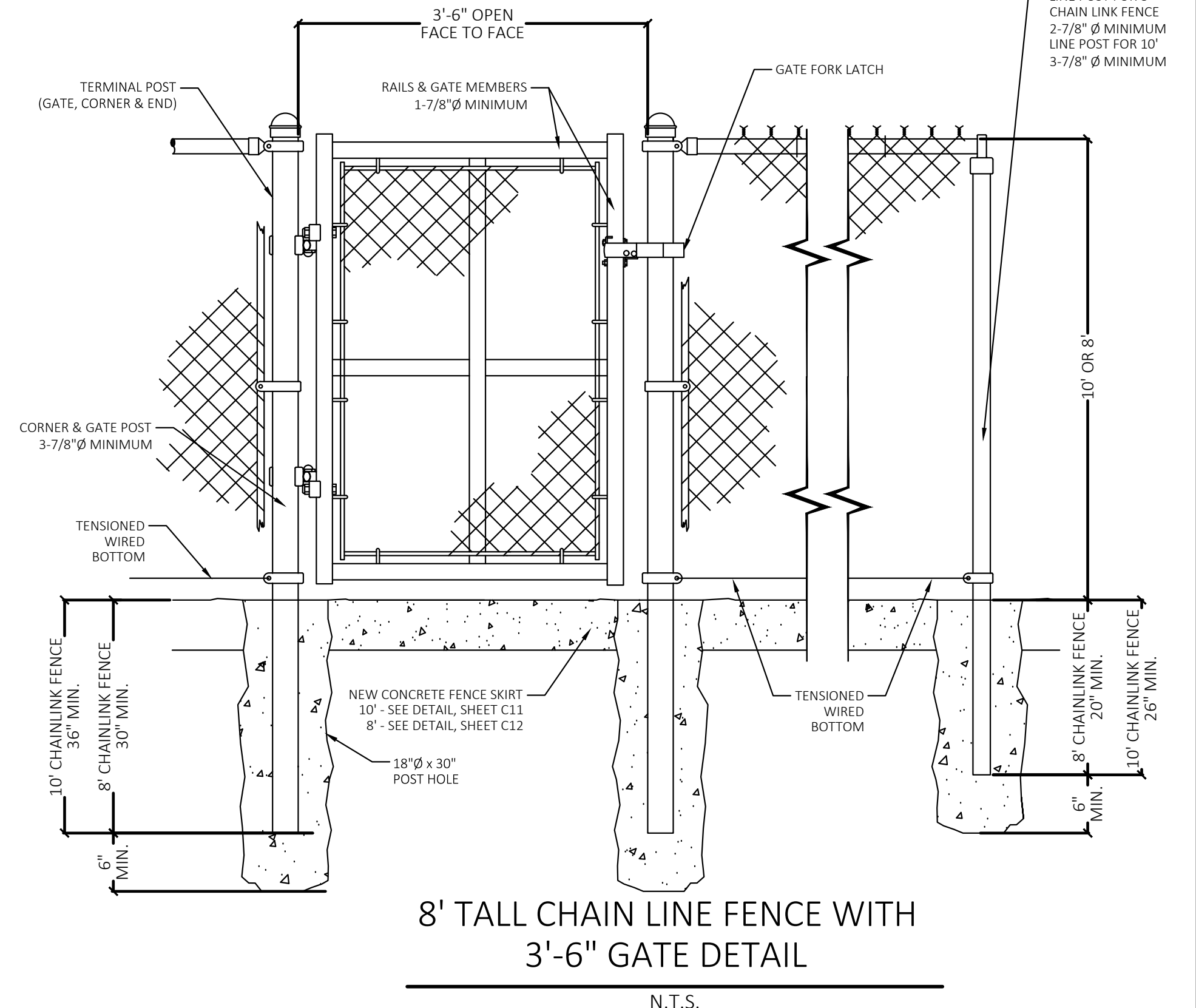
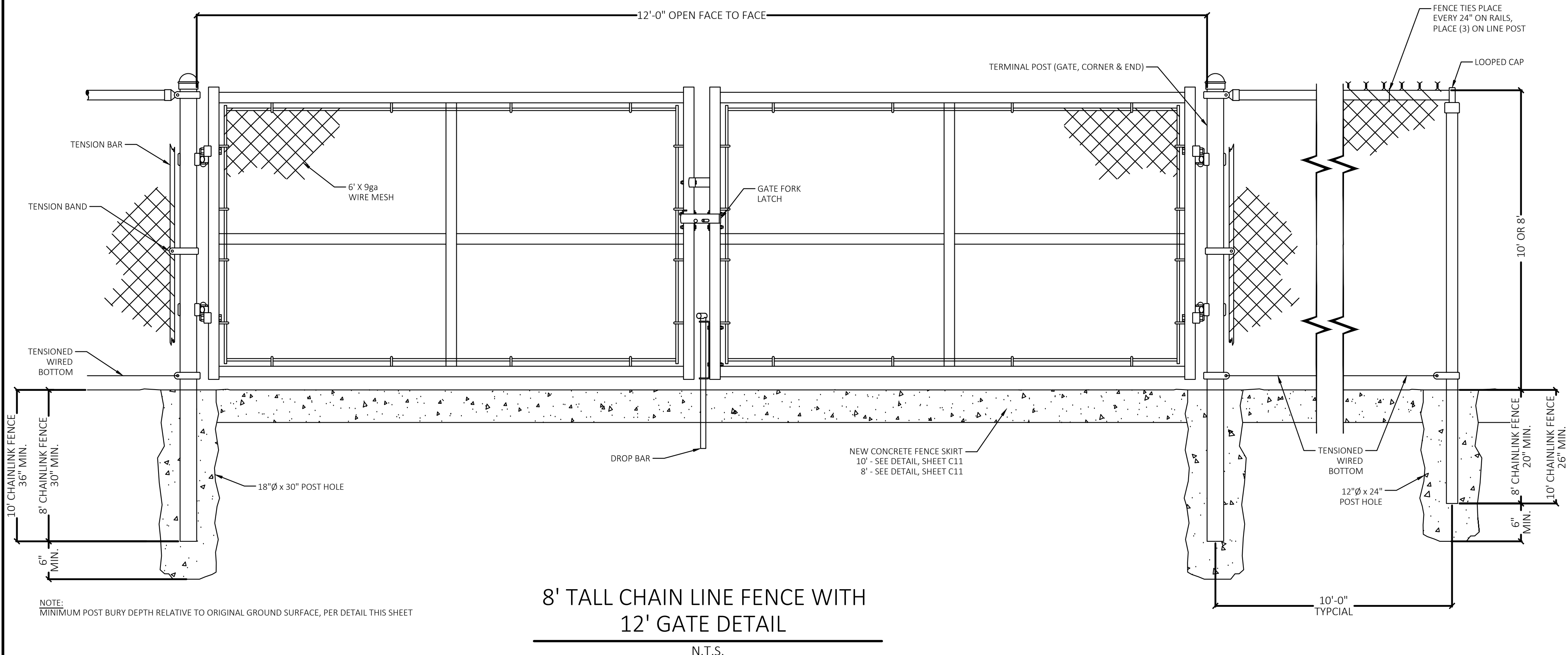
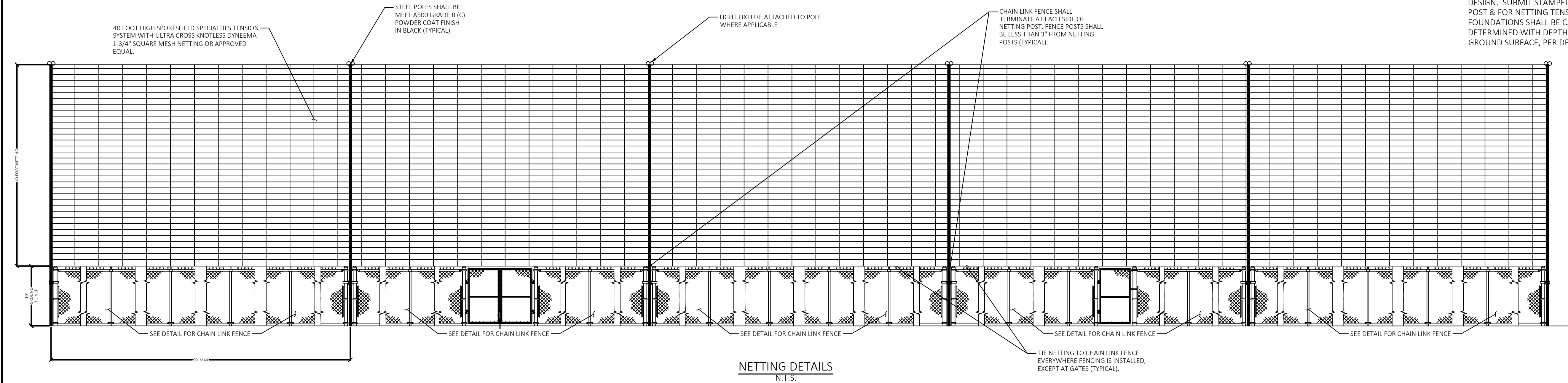
JOB # 31023 DRAWING: 31023-GR.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023\Drawings\Design\Rev-1\31023-GR.dwg

NOTE:
TOTAL DEVELOPED
AREA= 1.870 ACRES

F-7524

SET Engineers, Inc. Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712			(479)273-9472 FAX (479)273-0844		
ROCKWALL HIGH SCHOOL 901 W YELLOWJACKET LANE ROCKWALL, TEXAS					
SITE PLAN				REV DATE 2/14/19 REV-0	SHEET NO. 1 OF 3

NOTE:
TENSION NETTING SYSTEM SHALL INCLUDE MANUFACTURER'S ENGINEERING DESIGN. SUBMIT STAMPED ENGINEERING DETAIL DRAWINGS FOR ALL TENSION POST & FOR NETTING TENSION CABLES & TIE DOWNS. DEPTH OF POLE FOUNDATIONS SHALL BE CALCULATED AND OVERALL LENGTH OF POLES SHALL BE DETERMINED WITH DEPTH OF BURIAL BEING FROM ORIGINAL/PRECONSTRUCTION GROUND SURFACE, PER DETAIL THIS SHEET



JOB # 31023 DRAWING: 31023-CS.dwg LAST: SALAM LOCATION: P:\310001\31023\01\Drawings\Design\Rev=0\31023-CS.dwg

SET Engineers, Inc.
Experts in Outdoor Sports Design & Construction Management
Licensed Civil Engineers • Planners • Designers
817-507-8303 Phone | 682-518-9825 FAX

31023	12/18/18	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

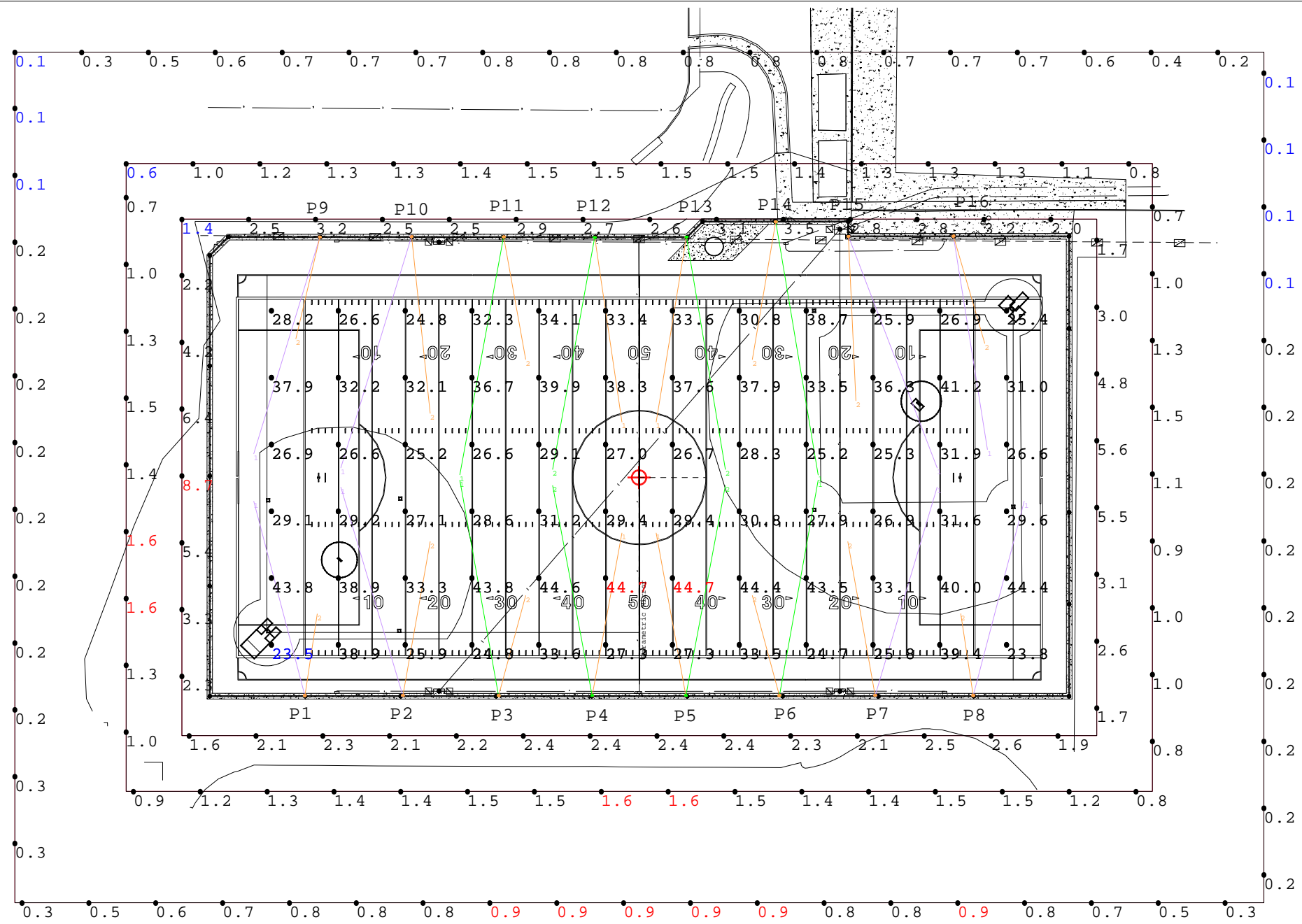
3108 S.W. REGENCY PARKWAY, SUITE 2 (479)273-9472
Bentonville, AR 72712 FAX (479)273-0844

ROCKWALL HIGH SCHOOL
901 W YELLOWJACKET LANE
ROCKWALL, TEXAS

REV DATE	SHEET NO.
2/14/19	3 OF 3
REV-D	

DETAILS SHEET 3

© 2019 CEI ENGINEERING ASSOCIATES, INC.



Pole Summary		
Scene: GAME		
Poles	# Lums	MH
P01	2	40
P02	2	40
P03	2	40
P04	2	40
P05	2	40
P06	2	40
P07	2	40
P08	2	40
P09	2	40
P10	2	40
P11	2	40
P12	2	40
P13	2	40
P14	2	40
P15	2	40
P16	2	40

Pole Wattage Summary	
Scene: GAME	
Label	Total Watts
P01	1538
P02	1538
P03	1538
P04	1538
P05	1538
P06	1538
P07	1538
P08	1538
P09	1538
P10	1538
P11	1538
P12	1538
P13	1538
P14	1538
P15	1538
P16	1538
TOTAL	24608

Luminaire Schedule						
Scene: GAME						
Symbol	Qty	Label	LLF	Lum. Watts	Arrangement	
	8	AF-750-3-57	0.950	769	SINGLE	
	8	AF-750-4-57	0.950	769	SINGLE	
	16	AF-750-5-57	0.950	769	SINGLE	

Calculation Summary											
Scene: GAME											
Label	Area Size	Units	Avg	Max	Min	Max/Min	# Pts	PtSpcLr	PtSpcTb	CV	UG
FOOTBALL	360'x160'	Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SOCCER		Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SPILL @100'		Fc	0.48	0.9	0.1	9.00	63	30	N.A.	0.60	N.A.
SPILL @25'		Fc	3.01	8.7	1.4	6.21	43	30	N.A.	0.47	N.A.
SPILL @50'		Fc	1.25	1.6	0.6	2.67	50	30	N.A.	0.22	N.A.



ROCKWALL HIGH SCHOOL
ROCKWALL, TEXAS
FOOTBALL/SOCCER/MULTI
19-8660.AGI

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, HOISTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. COMPLIANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

DRAWN BY: JC
 Date: 2/12/2019
 SCALE: NTS
 Page 1 of 1
 19-8660.AGI



Introducing the latest in LED sports lighting innovation



The All-Field 750 is the most versatile LED fixture available for your sporting venue.

Versatile mounting bracket is designed for ease of installation in new or retrofit applications

Weather-tight design ensures durability even in harsh environments

Solid-state design (no moving parts) provides maintenance free operation

Ability to monitor health and status of each light

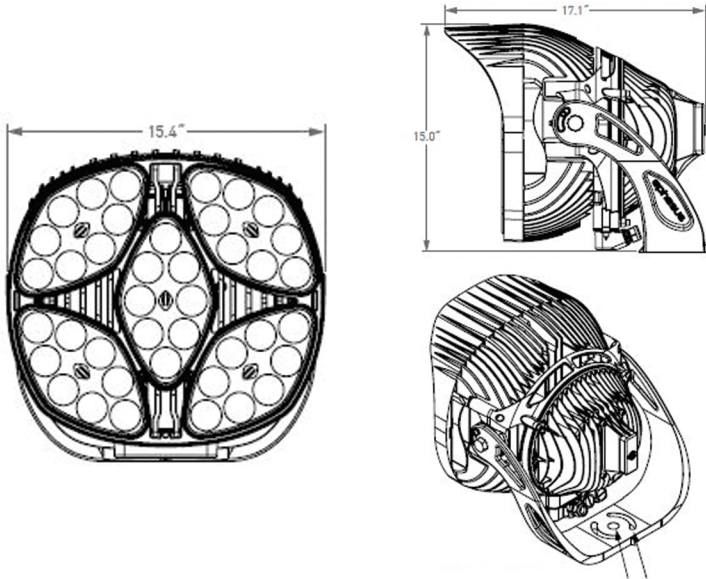
Low electromagnetic interference (EMI) noise generation eliminates interference with surrounding electrical systems

Wireless control options provide flexibility for operational usage and fan experience enhancements

Custom engineered optics direct light precisely where needed while minimizing glare.

Easy **RETROFIT** to your existing sports lighting system

Techline Sports Lighting introduces the All-Field 750 Sport LED fixture, the ideal solution for any setting including little league, municipal parks, high school, college and semi-professional outdoor sports venues. The All-Field 750 is the leading choice for all outdoor applications including football, soccer, tennis, baseball, softball, lacrosse, and field hockey. Maintenance free operation and precisely delivered HDTV quality light make the All-Field 750 the perfect choice for any application and provide an excellent return on investment.



PERFORMANCE SPECIFICATIONS

	All Field 750
Lumen Output ¹	>83,000 Lumens
System Watts	750 watts
Input Voltage (High)	277VAC - 480VAC
Input Voltage (Low)	120VAC - 240VAC
CCT	5700K
L70 Hours	>160,000 hours at 25° C
Operating Temp Range	-40°C to 55°C
Surge	6kV
IP Rating	IP66
NEMA Rating	NEMA 4X
Effective Projected Area	1.4 ft ²
Approximate Weight ²	45 lbs. (20.45 kgs)

The All-Field 750 Sport LED is available with wireless or wired control to provide operational, monitoring and entertainment capabilities. Entertainment options include individual LED cluster control and 0-10V dimming. Fixture connectivity options are available from standard wired DMX to wireless Air-Mesh technology. Cellular, WiFi, or Bluetooth link enables telemetry to monitor health and status of each sport LED fixture.

ORDERING OPTIONS

MODEL	WATTAGE	OPTICS	VOLTAGE	CONTROLS
AF	750	NEMA 2	VH - HIGH VOLTAGE	NC - NO CONTROLS
	550	NEMA 3	VL - LOW VOLTAGE	AM - AIR MESH
	400	NEMA 4		
		NEMA 5	SPILL CONTROL OPTION - EYELID	

1. The specifications listed were obtained under optimal testing conditions. Changes in options, features and conditions may result in slightly different performance specifications among fixtures.

2. Weight may vary depending on mounting bracket selection.

Clean power is required to ensure proper function and lifetime of LED fixtures. Prior to installation, an analysis should be performed to verify site power meets these requirements:

- High frequency voltage should be below -40dB or .01V between 3KH and 100KH
- High frequency current should be below -50dB or .019A between 3KH and 100KH

Surge protection alone is not adequate. Techline Sports Lighting will not be liable for damage to fixtures due to poor power quality. Contact Techline Sports Lighting for more information.

Rockwall High School 40' UltraCross® Dyneema Pole-to-Pole Tension Netting

Prepared for: **Paragon Sports Constructors, LLC**

Prepared by: **Sportsfield Specialties, Inc.**

Submitted by: **JJ Darling**
Southwest Regional Sales
Manager

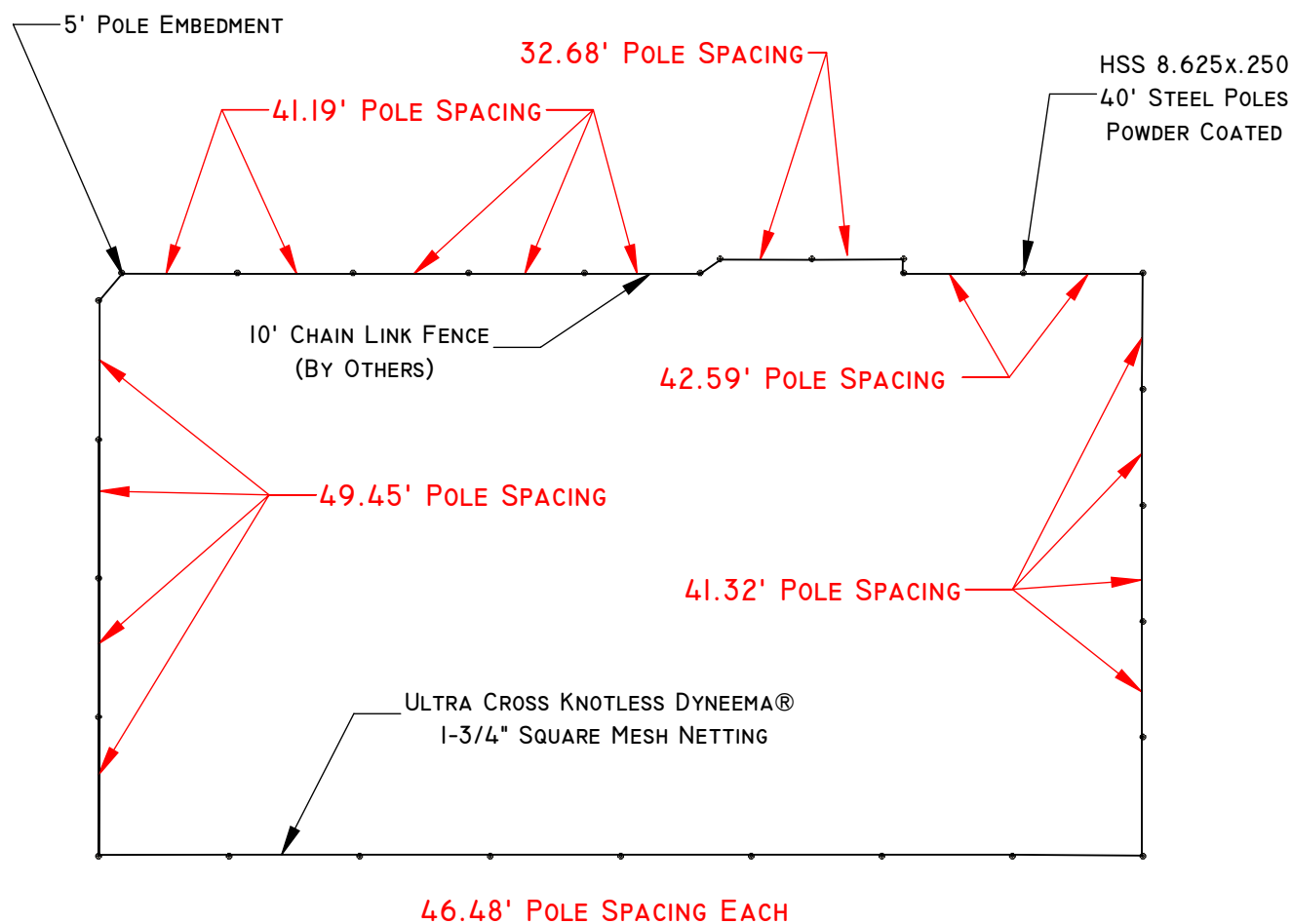


January 31, 2019

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION.

AS A RESULT, SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL.

DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.



Ball Safety Tension Netting System Product Layout Submittal Disclaimer:

This ball safety tension netting system layout document is intended for the sole use of illustrative product submittal review purposes and should not be construed as a product installation document. All final ball safety tension netting system layouts, field dimensions and/or measurements should be both confirmed on the project plans and/or specifications and approved by the project designer of record prior to the start of the product installation.

Sportsfield Specialties, Inc. dba Promats Athletics cannot be held liable for any use of this ball safety tension netting system layout document that deviates and/or differs from the above stated illustrative product submittal review process and furthermore, Sportsfield Specialties, Inc. dba Promats Athletics cannot be held accountable for these actions.

Sportsfield Specialties, Inc. dba Promats Athletics protective netting systems are designed and intended as a complete netting system. In the event your facility purchases an extension to an existing protective netting system, Sportsfield Specialties, Inc. dba Promats Athletics does not make any representations or warranty relating to the overall design of the combined facility and/or the connection points to and the cables that are part of the existing netting system. Owner's decision to proceed with an extension in lieu of a complete new netting system will be at Owner's sole risk and without liability to Sportsfield Specialties, Inc. dba Promats Athletics and Owner shall indemnify and hold harmless Sportsfield Specialties, Inc. dba Promats Athletics from all claims, damages, losses and expenses arising out of or resulting therefrom.

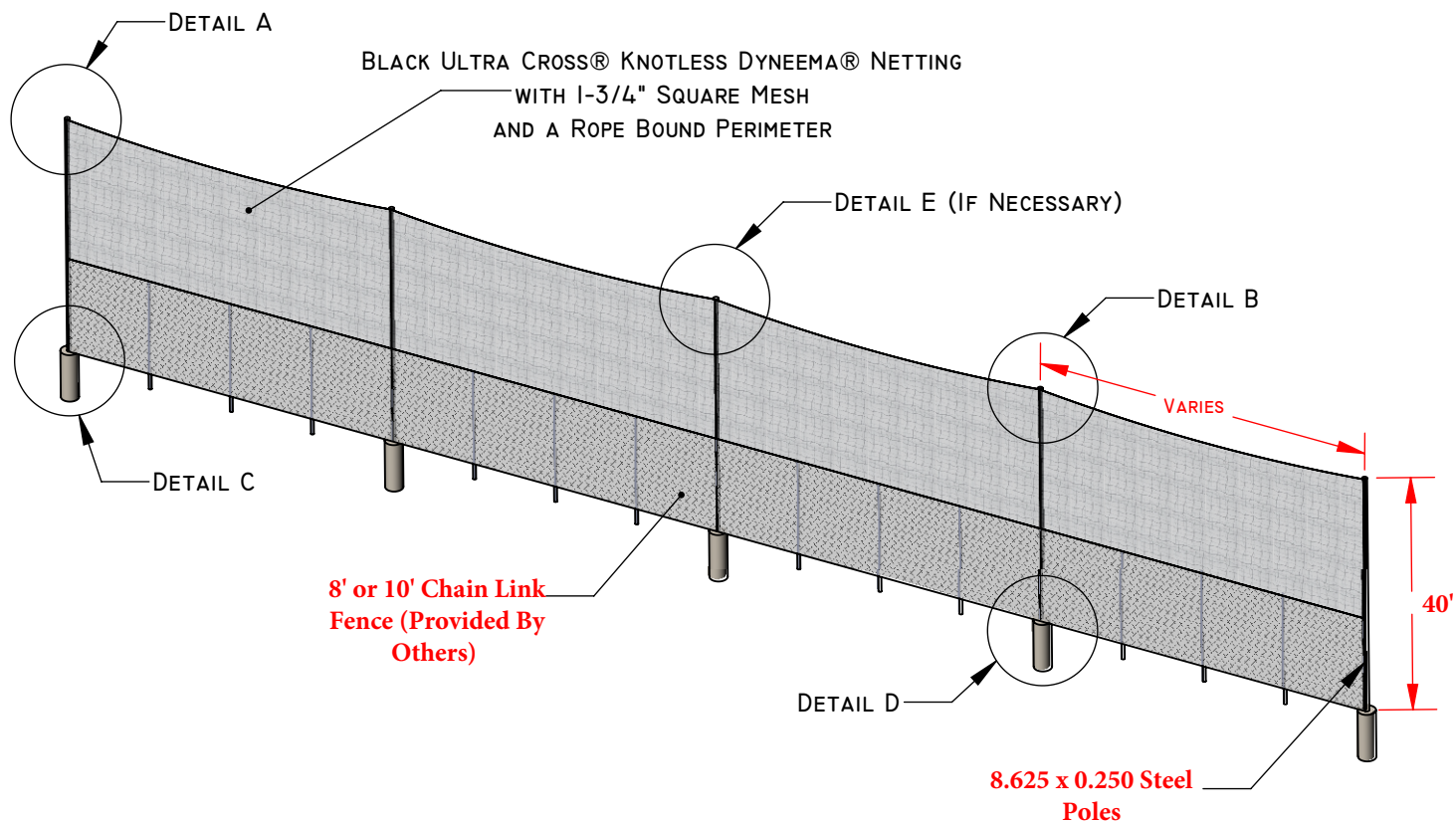
PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SPORTSFIELD SPECIALTIES INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SPORTSFIELD SPECIALTIES INC. IS PROHIBITED.

**ROCKWALL HIGH SCHOOL PERIMETER NETTING
NETTING LAYOUT SUBMITTAL**

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC 2/11/2019

STANDARD BLACK POWDER COATED FINISH



FOUNDATION REQUIREMENTS BASED ON LOCAL CODES AND SOIL CONDITIONS

ALL CUSTOM TENSION NETTING SYSTEM SIZES AND LAYOUTS REQUIRE DESIGN AND PROFESSIONAL ENGINEERING

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION. AS A RESULT SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL. DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.

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Rockwall HS UltraCross Tension Netting

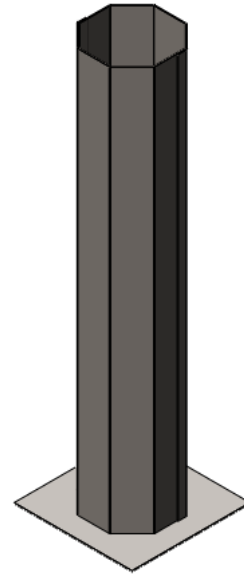
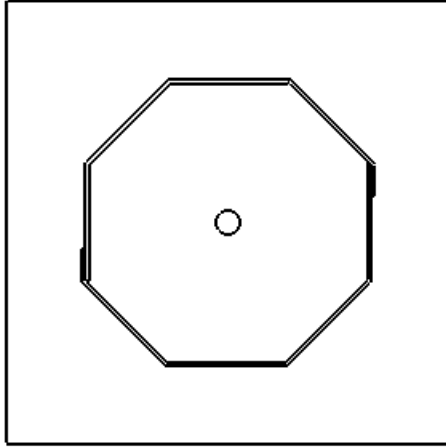
NOT TO SCALE

SPORTSFIELD SPECIALTIES INC III32018



- Length, Height and Configuration as Required
- Ultra Cross **Knotless** Dyneema® Netting
- Dyneema® Ultra-High Molecular Weight Polyethylene (UHMWPE)
SK-75 Black Fiber Construction
- **4 Ply, 1.2 mm (0.0472") Diameter Twine**
- 95% Open Mesh Area (See-Through Visibility)
- **58,445 psi Minimum Breaking Strength**
- 30% Maximum Elongation at Break
- 1-3/4" (44 mm) Square Mesh Size, 0.009 lbs. per Square Foot
- 4 Strand, Braided, Continuous Monofilament Dyneema® Fiber
- Sewn Perimeter Black Multi-Filament Polypropylene Solid Braid Rope
Bound Border - 1/4" Diameter, 530 lb. Minimum Breaking Strength
- Urethane Black Bonded Finish (Other Color Choices Available)
- Strong Resistance to Ultraviolet (UV) Light Degradation
- Excellent Resistance to Chemicals and Water Absorption

Ground Sleeve Install



1. Mark the locations of the ground sleeves on the field. Being sure to match the center distance to the desired system.
2. Excavate holes for foundations and set the concrete forms.
3. Center the ground sleeve in the form and secure it in a plumb and level position. The top of the ground sleeve should be set according to the site plans (Generally level with Finish Grade).
4. Pour concrete foundation to the top of the sleeve. Allow concrete to adequately cure.
5. Caulk all around the top of the ground sleeve, using backer rod where needed to prevent the caulk from falling into the ground sleeve.

2. Assembling Hardware

- a) Start by laying out the cables to ensure the proper lengths are present for each run. Cut the cable as necessary based on each run, adding a 6" turn back at each end of the cable.
- b) Start the horizontal tensioned cables (5/16" DIA) by assembling a 5/8" x 12" turnbuckle to an eye bolt at one end (Figure 1). The wire will pass through the poles at which the cable run does not terminate (Figure 2). At the poles where the cable run terminates, attach the cable with turn back and rope clips directly to the eye bolt at opposite end (Figure 3).

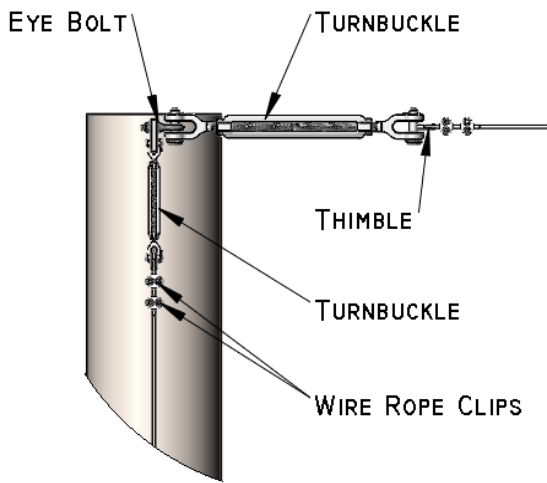


Figure 1

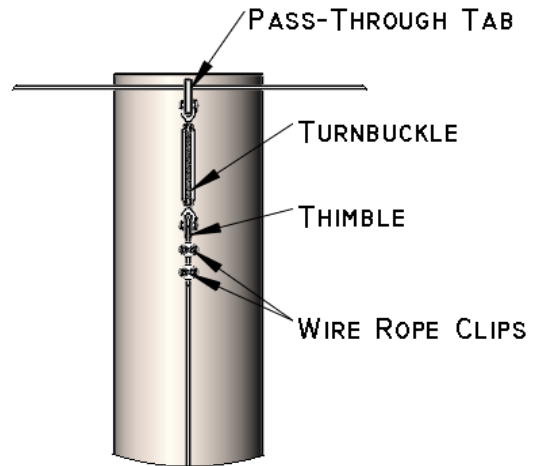


Figure 2

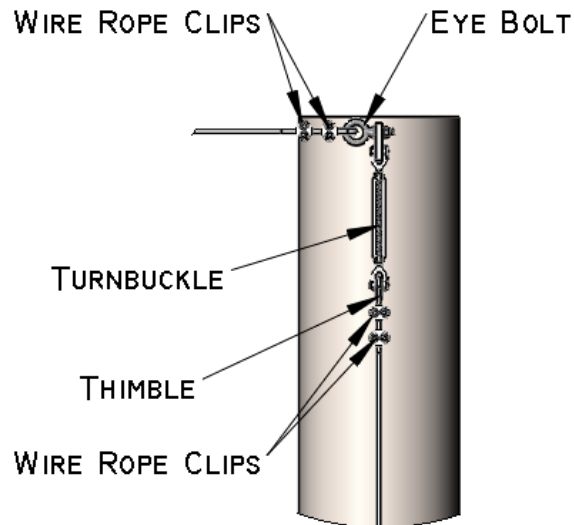


Figure 3

- c) The horizontal cables can be finished with the bottom (1/4" DIA) cable. This cable is assembled the same way as the tensioned cables. Start the cable by attaching to an eye bolt at one end (Figure 4). The cable will pass through a series of eye bolts (recommended 5' spacing) or equivalent guides, then through the poles at which the cable run does not terminate (Figure 5). At the end pole where the cable run terminates, attach the cable (with turn back and rope clips) directly to the eye bolt (Figure 6).

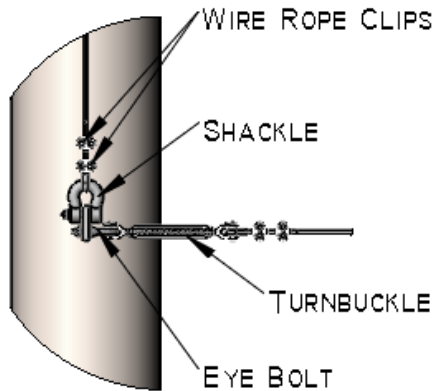


Figure 4

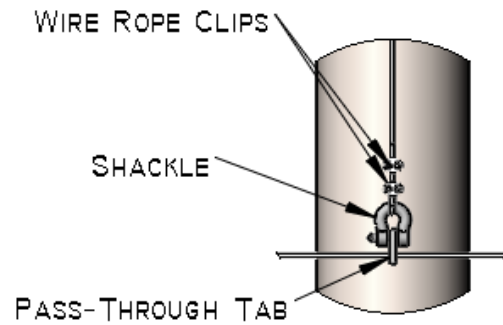


Figure 5

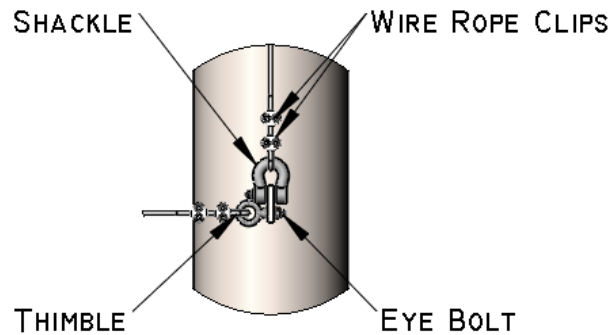


Figure 6

- d) Vertical cables (1/4" DIA) can be done the same way as the tensioned cables, with a 1/2" x 9" turnbuckle at the top of the pole (Figure 7) and a heavy-duty shackle at the bottom of the pole (Figure 9). Make sure to thread the vertical cables through the guide tube (Figure 8).

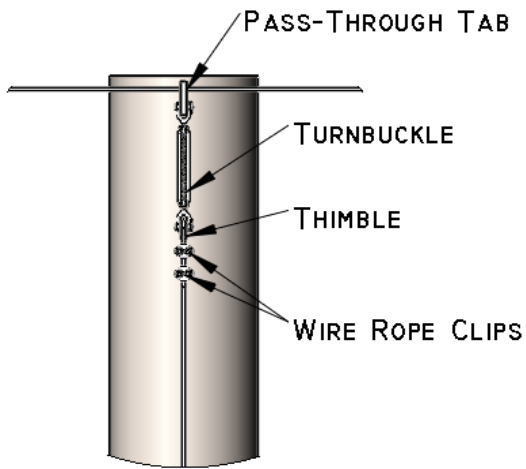


Figure 7

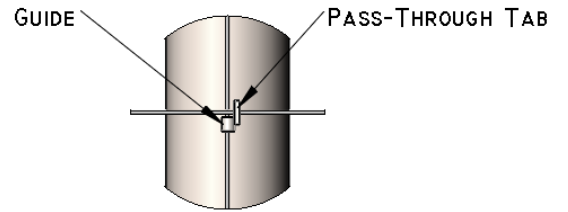


Figure 8

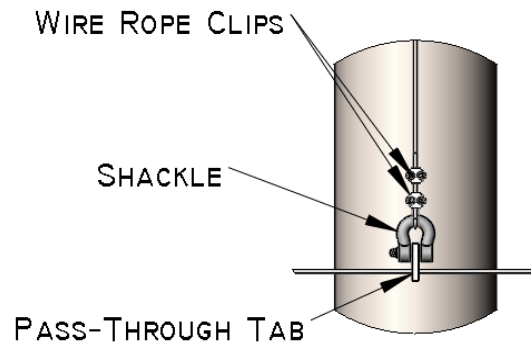


Figure 9

- e) Once all of the cables have been mounted on the poles, tension the horizontal and vertical cables with the turnbuckles. Do not tighten turnbuckles so much that the poles themselves deflect.

- f) Now the nets can be hung from the assembled cables. Using the zip-ties, pull the net to the top, each side cable, the remaining horizontal cables and then the bottom cable. Finally, the net can be secured to the cables using the supplied braided rope, looping through each square of the net binding and around the cable (Figure 10). For Ultra Cross netting systems, it's important to leave excess material along the net perimeter (i.e. no short tag ends and a minimum of one extra square) so that the net intersection doesn't fail prematurely.



Figure 10

SSI tension netting system poles are designed to strength, not deflection. As a result, some deflection will occur during installation and should be considered normal. Deflection may also be evident in calm conditions, particularly on the outer most poles of a given tension netting system.

City of Rockwall Project Plan Review History



Project Number Z2019-003	Owner ROCKWALL, I S D	Applied 2/15/2019	LM
Project Name 901 W. Yellowjacket Ln.	Applicant SET ENGINEERS	Approved	
Type ZONING		Closed	
Subtype SUP		Expired	
Status Staff Review		Status	
 Site Address 901 YELLOWJACKET RD		City, State Zip ,	
		Zoning	
Subdivision HERITAGE BPG ADDITION	Tract 2	Block A	Lot No 2
		Parcel No 4823-000A-0002-00-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/15/2019	2/22/2019				
ENGINEERING	Amy Williams	2/15/2019	2/22/2019				
FIRE	Ariana Hargrove	2/15/2019	2/22/2019	2/21/2019	6	APPROVED	
PLANNING	Korey Brooks	2/15/2019	2/22/2019	2/21/2019	6	COMMENTS	Comments

Z2019-003 SUP FOR ROCKWALL HIGH SCHOOL
Please address the following comments (M= Mandatory Comments; I = Informational Comments).

I.1 This a request by Jeff Bresee of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) for a Private Sports Arena, Stadium or Track on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane.

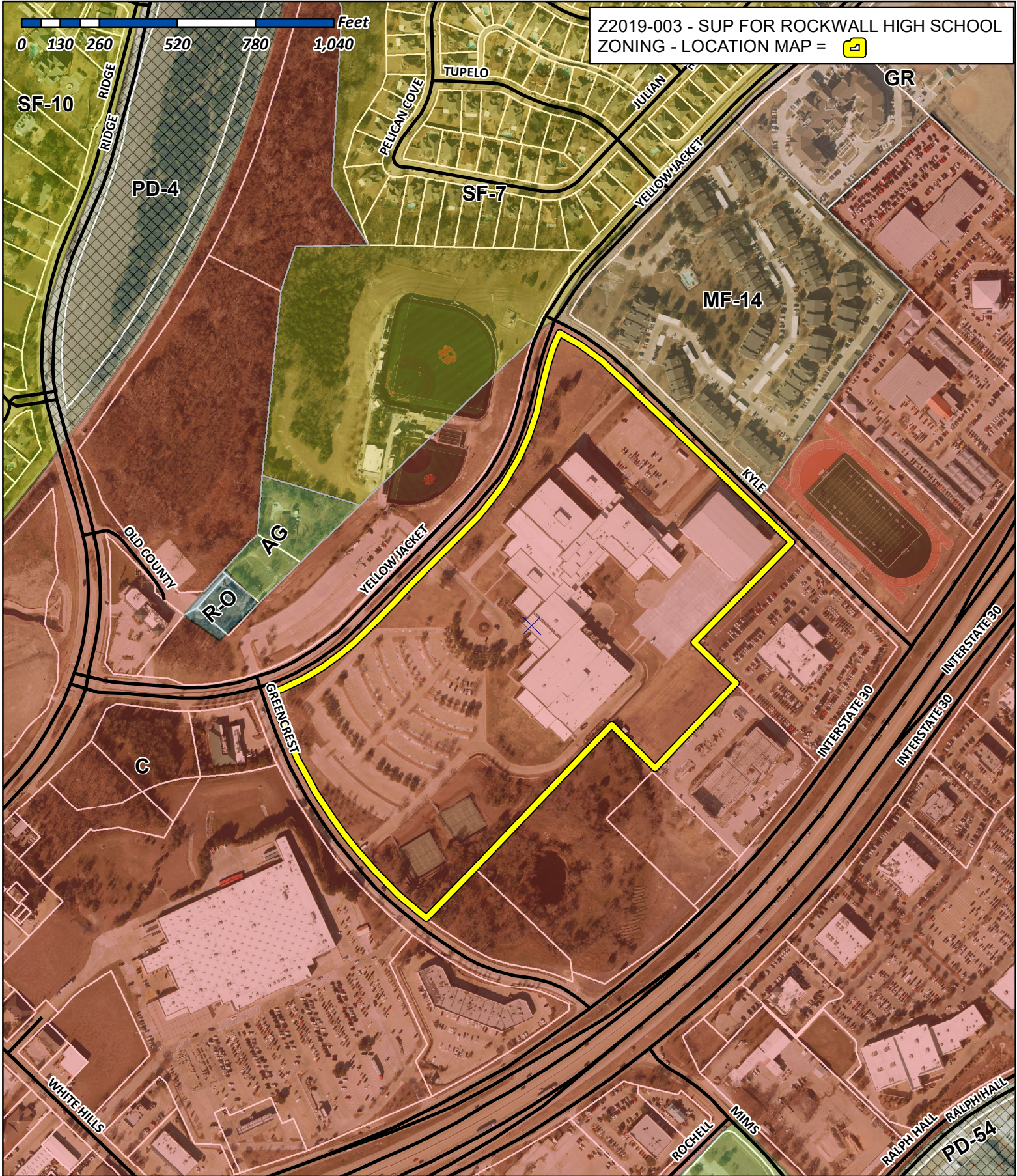
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

M.3 For reference, include the case number (Z2019-003) in the lower right hand corner of all pages on future submittals.

M.4 Please review the attached draft ordinance prior to the March 12, 2019 Planning & Zoning Commission meeting.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by March 5, 2019. The Planning and Zoning Worksession for this case is February 26, 2019. The Planning and Zoning Meeting for this case is March 12, 2019.

I.6 The projected City Council meeting date and subsequent approval for this request is March 18, 2019 and April 1, 2019.



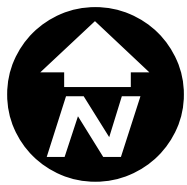
Z2019-003 - SUP FOR ROCKWALL HIGH SCHOOL
 ZONING - LOCATION MAP = [pin icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

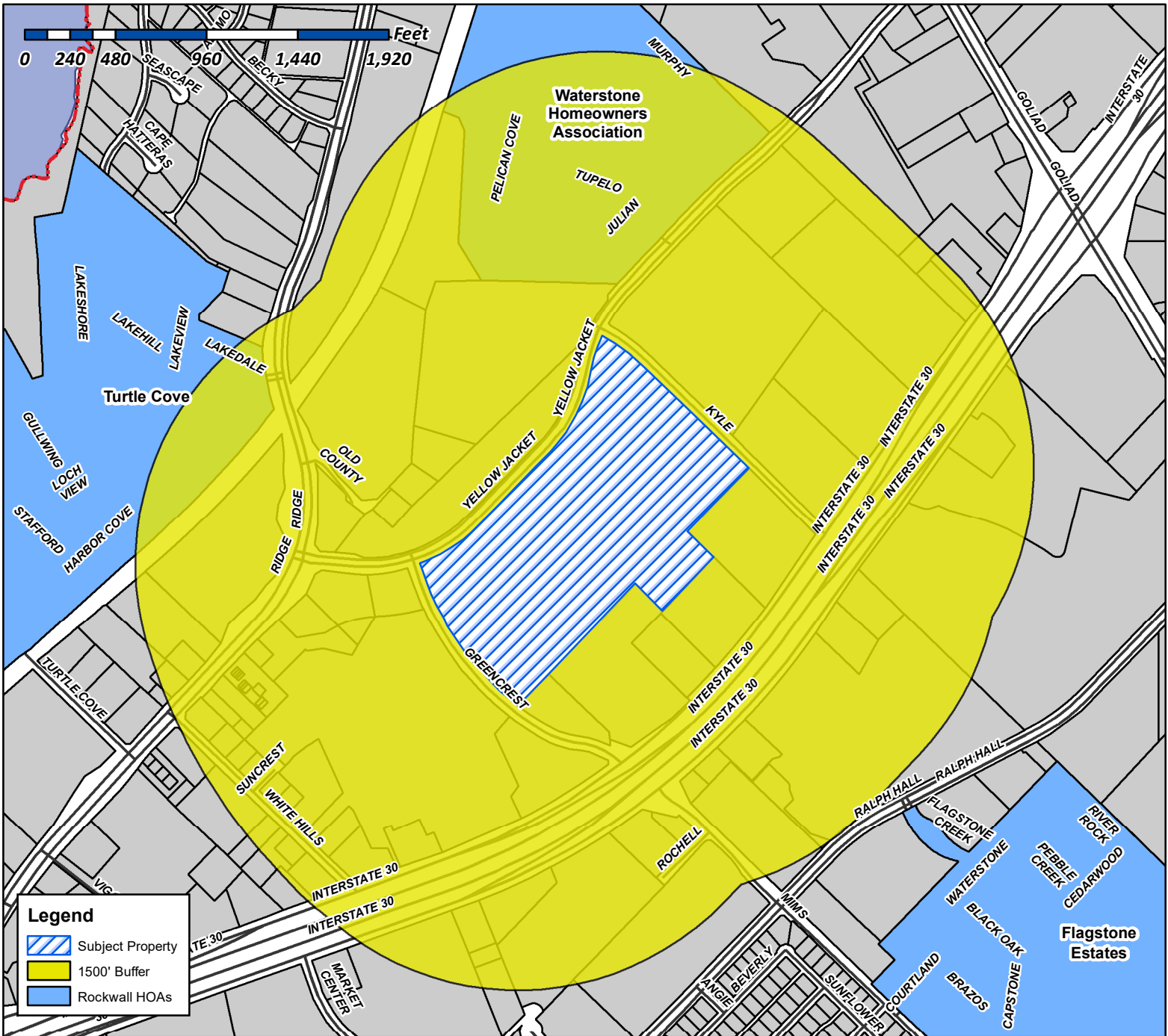




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/19/2019
For Questions on this Case Call (972) 771-7745

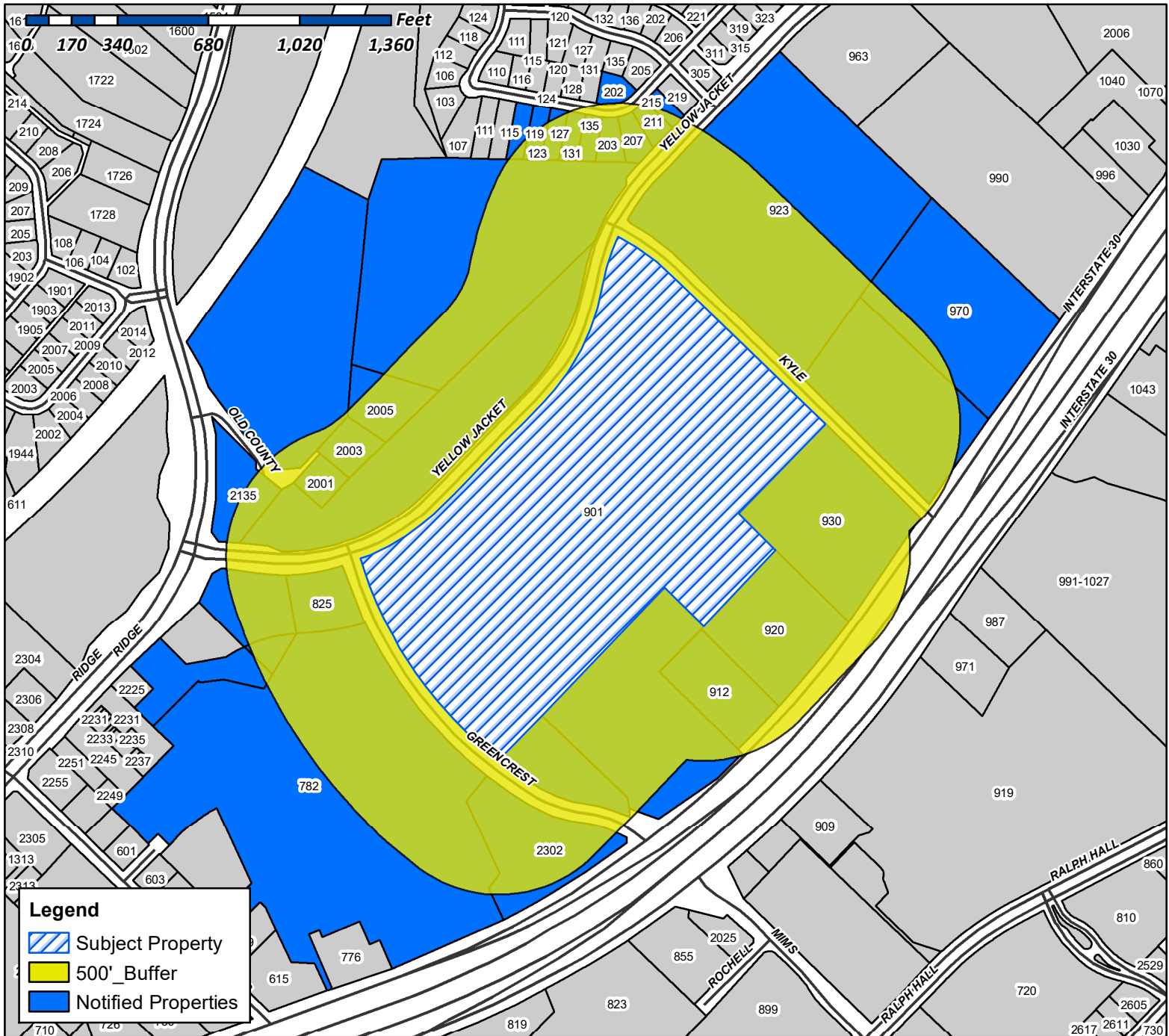




City of Rockwall

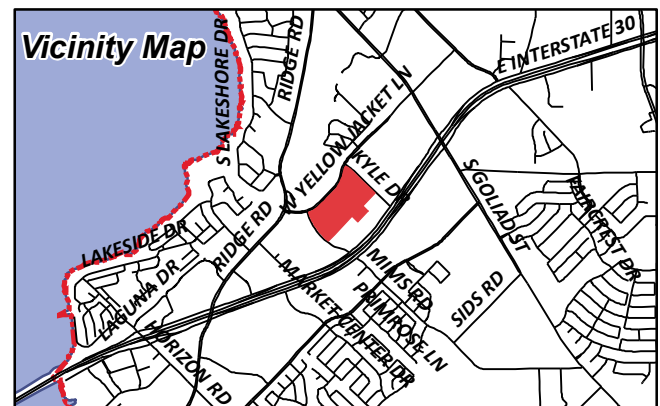
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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For Questions on this Case Call (972) 771-7745



MIKULSKI ANTONY AND MICHELLE
119 JULIAN DR
ROCKWALL, TX 75087

WOODWARD LAURA
123 JULIAN DR
ROCKWALL, TX 75087

RYAN BRIAN
127 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
131 JULIAN DR
ROCKWALL, TX 75032

GIPSON CAMERON
135 JULIAN DRIVE
ROCKWALL, TX 75087

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

JLIU ASSET MANAGEMENT LTD
1711 E BELTLINE RD
COPPELL, TX 75019

CURRENT RESIDENT
2001 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2003 RIDGE RD
ROCKWALL, TX 75032

FAHERTY FRANK
2005 RIDGE RD
ROCKWALL, TX 75087

SHIPP DONALD W & MAUREEN
202 JULIAN DR
ROCKWALL, TX 75087

ANDREWS GRACE L
203 JULIAN DR
ROCKWALL, TX 75087

SINGH RITU W AND
207 JULIAN DRIVE
ROCKWALL, TX 75087

PROCK CHARLES
209 RUSSELL DR
ROCKWALL, TX 75032

WHITTAKER SANDRA
211 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75032

HARPER EMILY ERIN
215 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2302 GREENCREST BLVD
ROCKWALL, TX 75032

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

ROCKWALL-PINE PROPERTIES LLC
400 PERIMETER CENTER TERRACE 0
ATLANTA, GA 30346

IN YUNG H &
512 SUNSTONE DR
IRVING, TX 75060

SYVRUD JAMES P & MARY JEAN
519 E INTERSTATE 30
ROCKWALL, TX 75087

IX MC 923 YELLOW JACKET LANE LP
591 W PUTNAM AVE
GREENWICH, CT 06830

GAMEZ SUSAN AND
602 LAURENCE
HEATH, TX 75032

ROADHOUSE ENTERPRISES INC
6040 DUTCHMANS LANE
LOUISVILLE, KY 40205

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75032

ROCKWALL DIRT CO LTD
800 GESSNER RD 0
HOUSTON, TX 77024

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
825 YELLOW JACKET LN
ROCKWALL, TX 75032

CURRENT RESIDENT
901 YELLOWJACKET RD
ROCKWALL, TX 75032

CURRENT RESIDENT
912 E I30
ROCKWALL, TX 75032

CURRENT RESIDENT
920 I-30
ROCKWALL, TX 75032

CURRENT RESIDENT
923 YELLOW JACKET LN
ROCKWALL, TX 75032

TARBELL AUTOMOTIVE INC
930 E I-30
ROCKWALL, TX 75087

CURRENT RESIDENT
970 E I30
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 0
AGOURA HILLS, CA 91301

ROCKWALL ASC REAL ESTATE LLC
PO BOX 1208
ROCKWALL, TX 75087

WAL-MART REAL ESTATE
PO BOX 8050
BENTONVILLE, AR 72712

ROCKWALL RENTAL PROPERTIES LP
PO BOX B
TERRELL, TX 75160



February 13, 2019

David Gonzales, AICP
City of Rockwall Texas
385 S. Goliad Street

Re: Rockwall High School Multipurpose Synthetic Turf Field – Field Netting & Lights

Dear Mr. Gonzales:

Rockwall ISD desires to convert their existing natural grass multipurpose field at Rockwall High School (field that lies immediately North of Rooms-To-Go) into a synthetic turf field. As this field is surrounded by commercial properties on three sides, in order to protect vehicles and/or patrons at these businesses, the school desires to construct a 40-foot tall fence/netting combination (10-foot black coated vinyl chain link fence topped with 30-foot black netting) around the perimeter of the field. This will also enable the fields to be more functional for their intended purpose (project is part of RISD's bond program to provide a practice facility for the softball and baseball teams (although the field will be used for football, soccer, discus and lacrosse practice as well) and it will prevent balls from leaving the field area.

In addition to the netting system, the District desires to install lights atop each of the netting poles that align the North and South sides of the field. As the field will be used by many of the school's sports teams for practice as well intermural teams, PE and other uses, it is desired that the field be made useable during night hours (limited of course by city ordinance).

In adding the lights, the District is seeking variance to the ordinance limiting light spillage to 0.2 lumens or less beyond the line 1-foot outside of the District's property lines. The design of the proposed lights (for which we have included a photometric plan) is to provide the minimum level of light needed for the practice of school sports (design is not to the level typical for stadiums and other competition facilities). As the surrounding properties are commercial entities that also light their grounds, the District feels that the proposed lighting design will not adversely affect the neighboring properties.

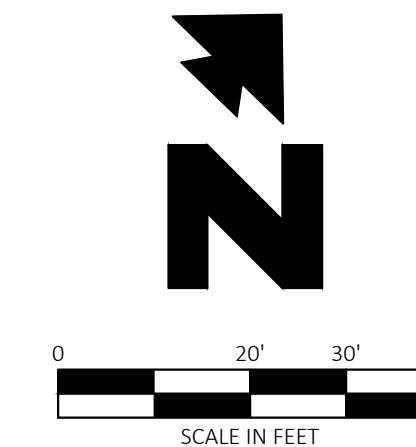
I have included cut sheet information for the netting system and the lights. Please let me know if you need anything further or have any questions.

Sincerely,

SET Engineer, Inc.

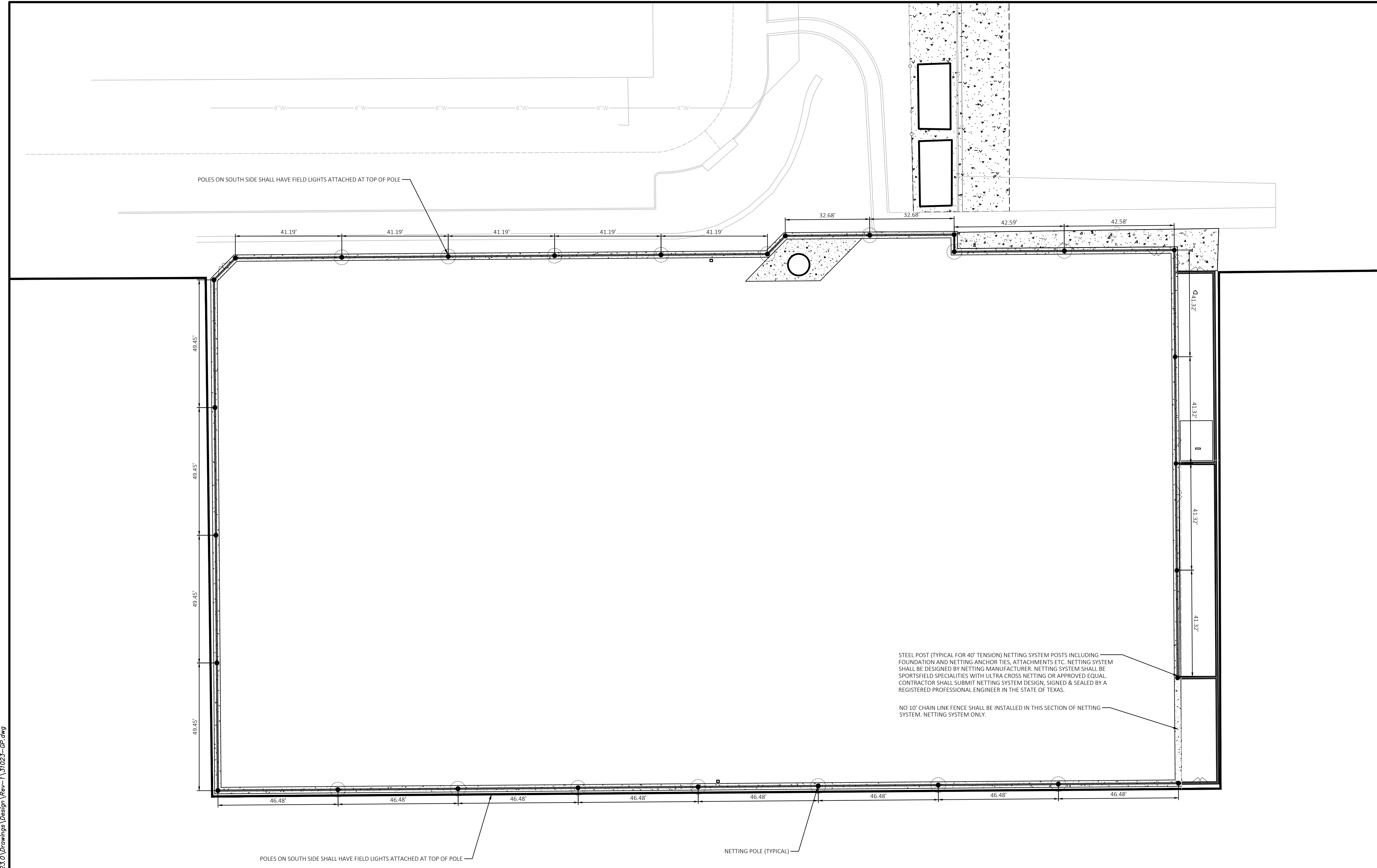
A handwritten signature in blue ink that reads "Jeff Bresee". The signature is written in a cursive, flowing style.

Jeff Bresee, P.E.



LEGEND

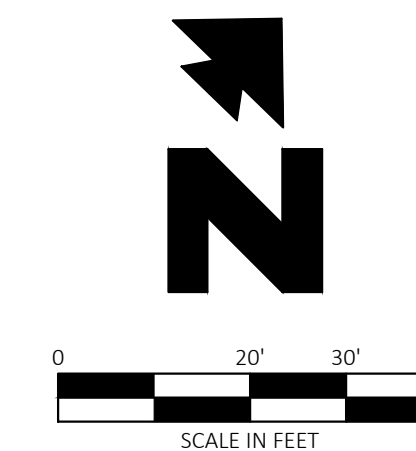
EXISTING			
	EAST OR ELECTRIC		OVERHEAD TELEPHONE
	NORTH		OVERHEAD TV
	OVERHEAD		SANITARY SEWER
	SOUTH OR SEWER		UNDERGROUND ELECTRIC
	TELEPHONE		UNDERGROUND ELECTRIC AND TELEPHONE
	UNDERGROUND		UNDERGROUND TELEPHONE
	WEST OR WATER		UNDERGROUND TV
	PROPERTY LINE		WATER
	RIGHT OF WAY LINE		GAS
	STORM DRAIN		OVERHEAD ELECTRIC
	X\"G		OVERHEAD ELECTRIC AND TELEPHONE
	OHE		
	OHE&T		



JOB # 31023 DRAWING: 31023-GR.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023.0\Drawings\Design\Rev-1\31023-GR.dwg

F-7524

SET Engineers, Inc. Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712			(479) 273-9472 FAX (479) 273-0844		
ROCKWALL HIGH SCHOOL 901 W YELLOWJACKET LANE ROCKWALL, TEXAS					
40- FOOT NETTING POST LOCATIONS				REV DATE 2/14/19 REV-0	SHEET NO. 2 OF 3

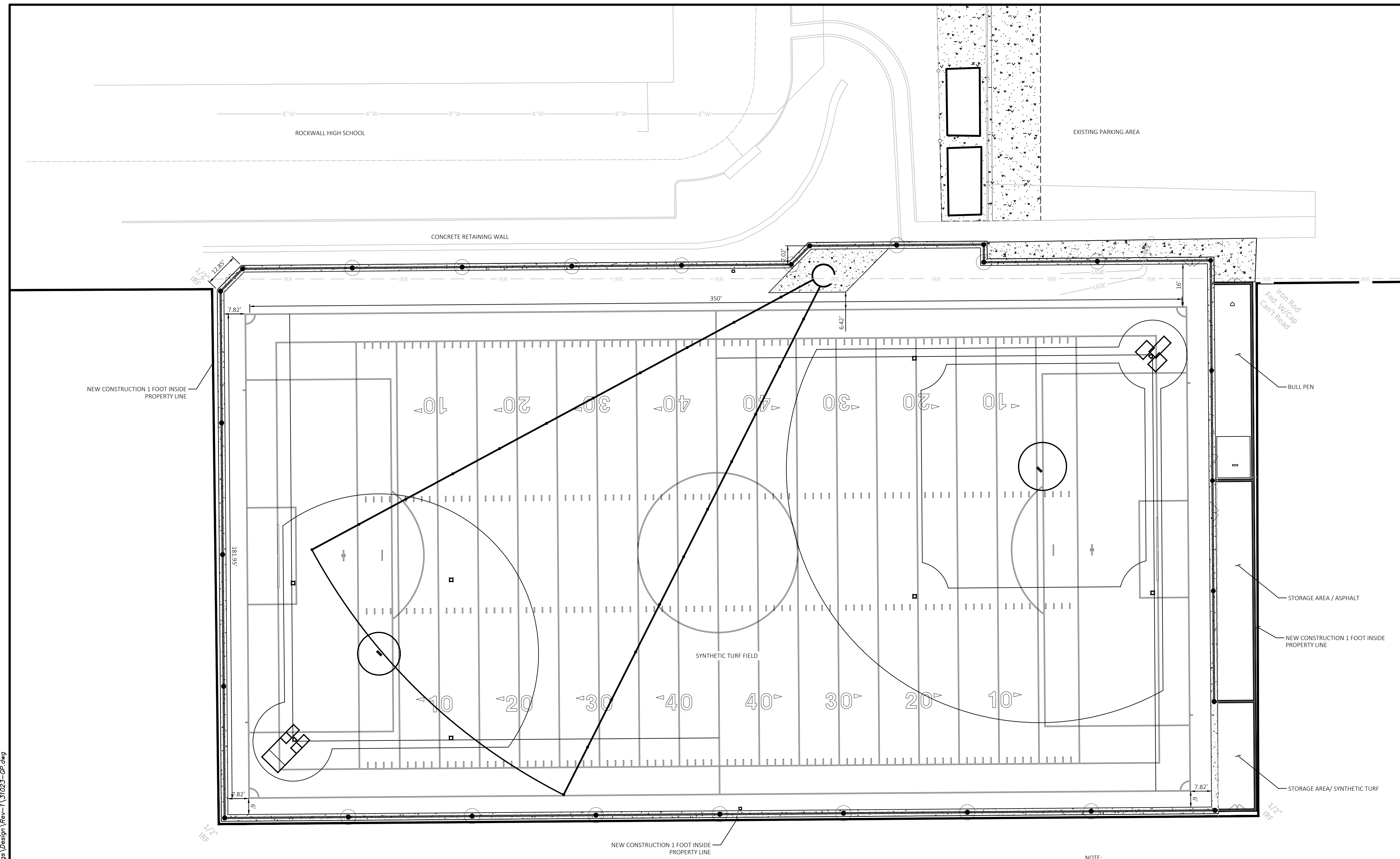


LEGEND

EXISTING			
—E—	EAST OR ELECTRIC	—OHT—	OVERHEAD TELEPHONE
—N—	NORTH	—OHTV—	OVERHEAD TV
—OS—	SOUTH OR SEWER	—X"SS—	SANITARY SEWER
—T—	TELEPHONE	—UGE—	UNDERGROUND ELECTRIC
—UB—	UNDERGROUND	—UGE&T—	UNDERGROUND ELECTRIC AND TELEPHONE
—W—	WEST OR WATER	—UGT—	UNDERGROUND TELEPHONE
---	PROPERTY LINE	—UGTV—	UNDERGROUND TV
---	RIGHT OF WAY LINE	—X"W—	WATER
---	STORM DRAIN	—X"G—	GAS
---	X"G	—OHE—	OVERHEAD ELECTRIC
---	OHE	—OHE&T—	OVERHEAD ELECTRIC AND TELEPHONE
---	OHE&T	—5-10-11 50.5—	TREE INFO: .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

FIELD EQUIPMENTS TO BE PROVIDED BY CONTRACTOR

- SYNTHETIC TURF BASE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 6 BASES TOTAL.
- SYNTHETIC TURF HOME PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- SYNTHETIC TURF PITCHERS PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- PORTABLE FOOTBALL GOAL POST, AAE SPORTS, ROLLAWAY H GOAL POST (HS), OR EQUAL, TWO GOAL POSTS TOTAL.
- PORTABLE SOCCER GOAL POST KWIK GOAL EVO II, SOCCER GOAL WITH WHEELS OR EQUAL 2 GOALS TOTAL.



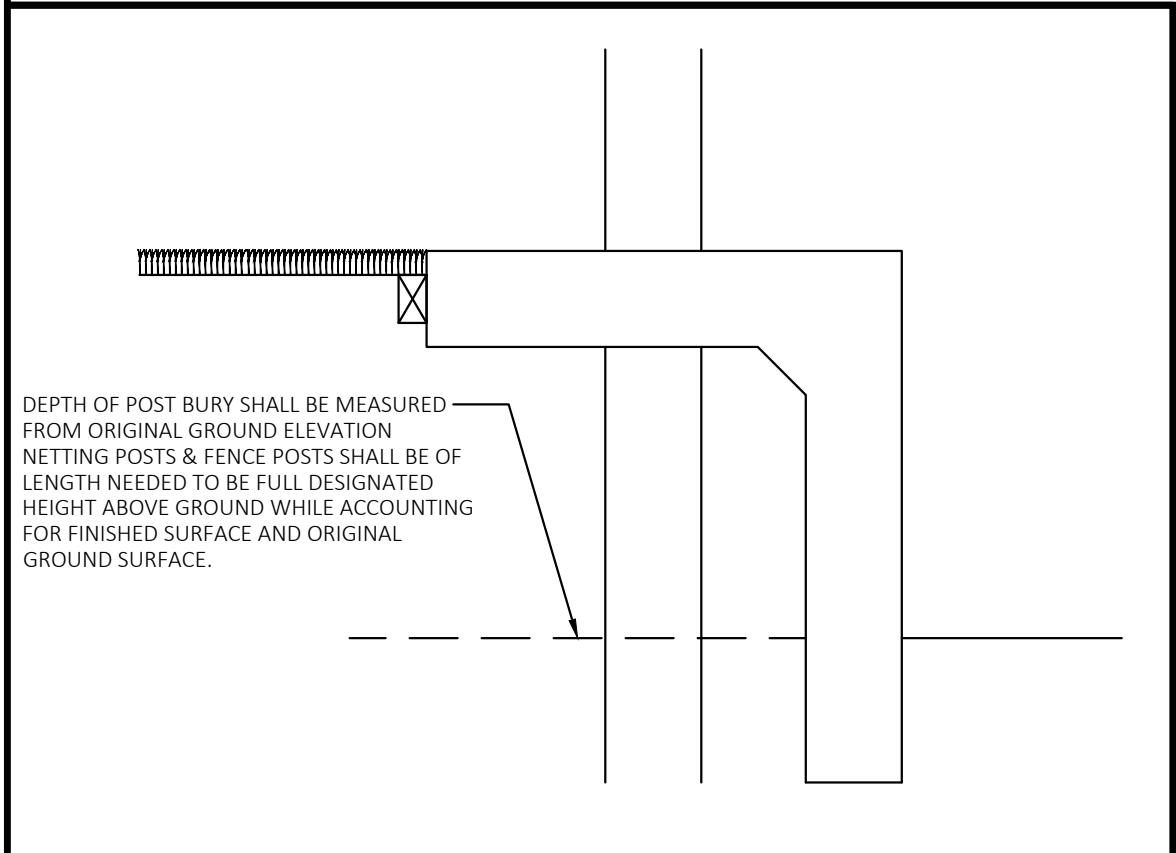
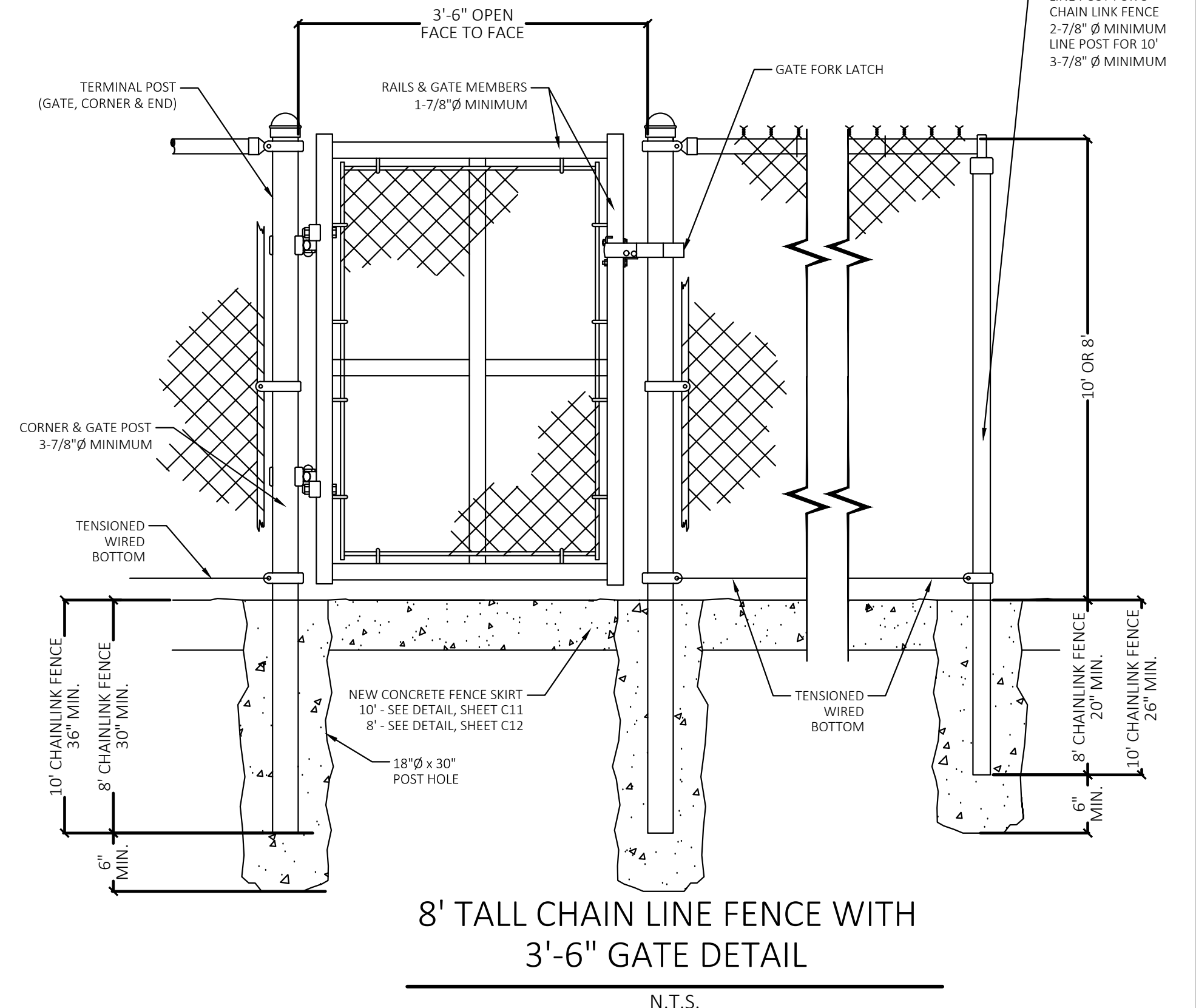
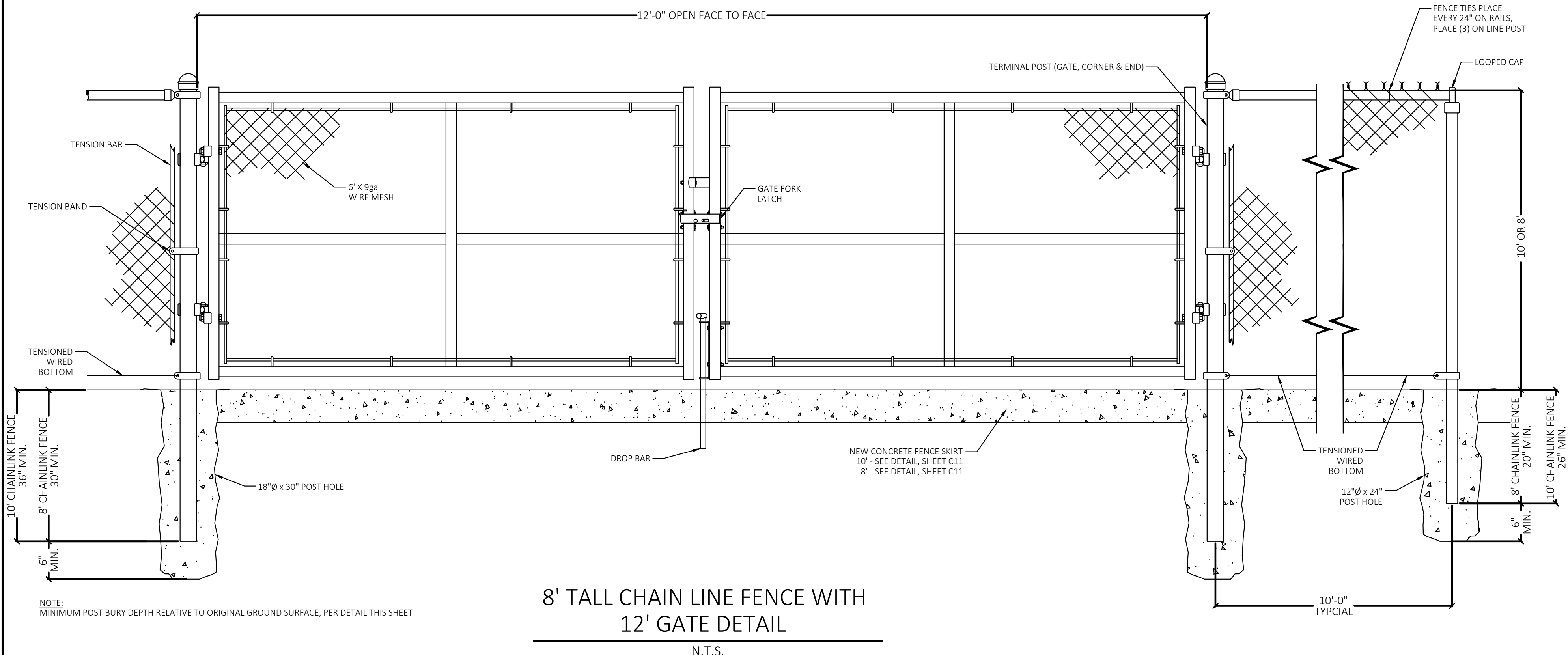
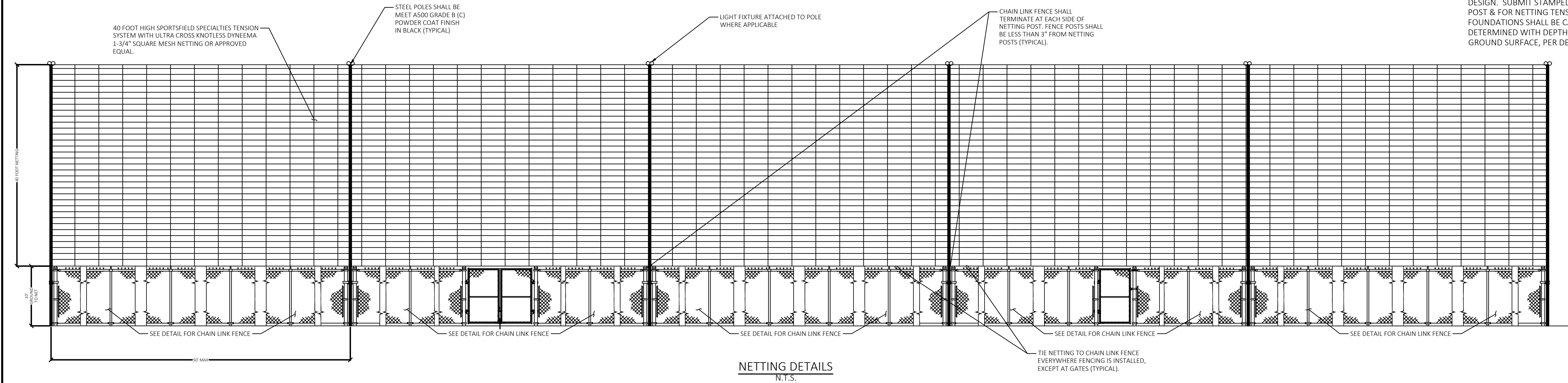
NOTE:
TOTAL DEVELOPED
AREA= 1.870 ACRES

JOB # 31023 DRAWING: 31023-GR.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023\Drawings\Design\Rev-1\31023-GR.dwg

F-7524

SET Engineers, Inc. Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712			(479)273-9472 FAX (479)273-0844		
ROCKWALL HIGH SCHOOL 901 W YELLOWJACKET LANE ROCKWALL, TEXAS					
SITE PLAN				REV DATE 2/14/19 REV-0	SHEET NO. 1 OF 3

NOTE:
TENSION NETTING SYSTEM SHALL INCLUDE MANUFACTURER'S ENGINEERING DESIGN. SUBMIT STAMPED ENGINEERING DETAIL DRAWINGS FOR ALL TENSION POST & FOR NETTING TENSION CABLES & TIE DOWNS. DEPTH OF POLE FOUNDATIONS SHALL BE CALCULATED AND OVERALL LENGTH OF POLES SHALL BE DETERMINED WITH DEPTH OF BURIAL BEING FROM ORIGINAL/PRECONSTRUCTION GROUND SURFACE, PER DETAIL THIS SHEET



JOB # 31023 DRAWING: 31023-CS.dwg LAST: SALAM LOCATION: P:\310001\31023\01\Drawings\Design\Rev=0\31023-CS.dwg

SET Engineers, Inc.
Experts in Outdoor Sports Design & Construction Management
Licensed Civil Engineers • Planners • Designers
817-507-8303 Phone | 682-518-9825 FAX

31023	12/18/18	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

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ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

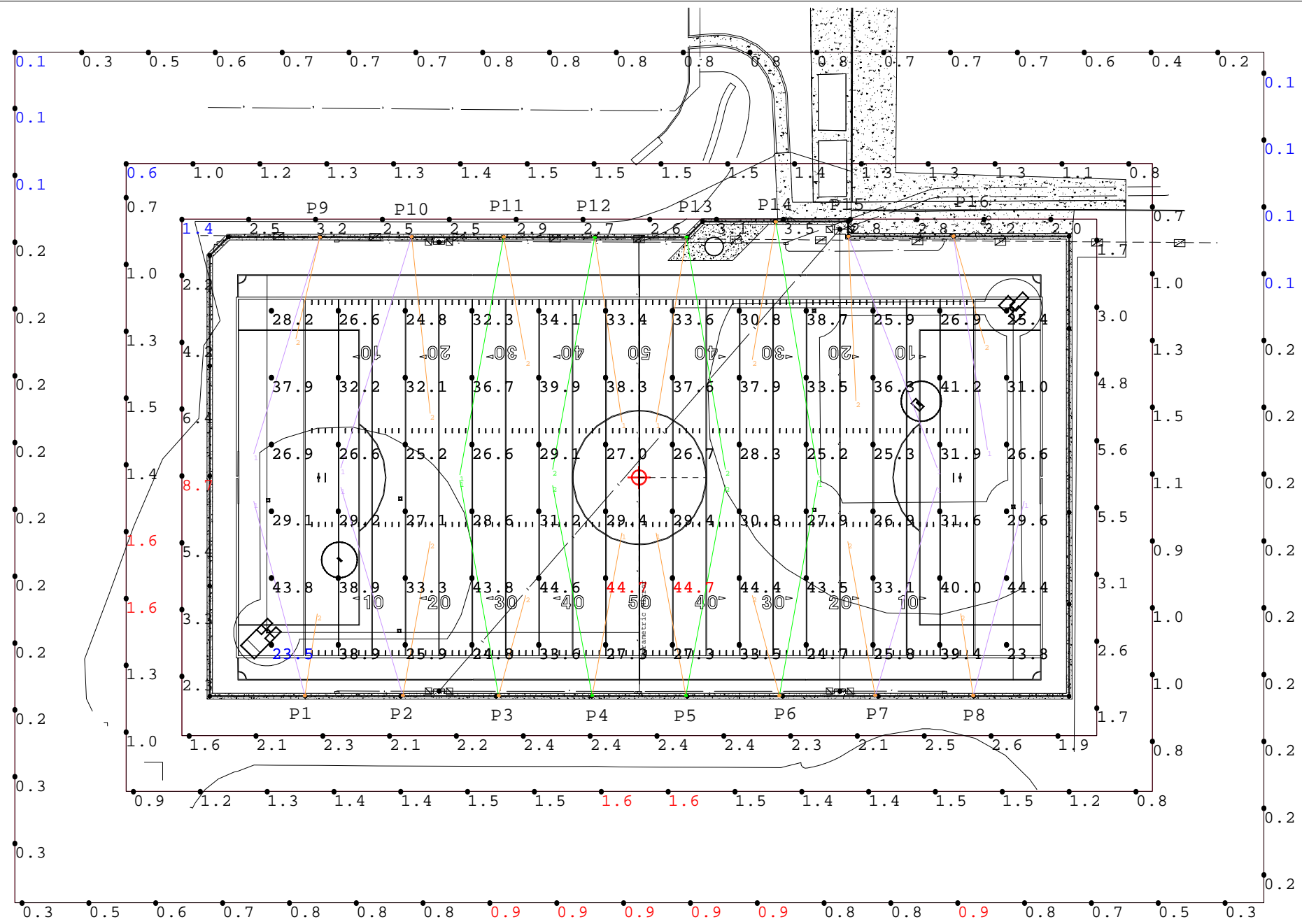
3108 S.W. REGENCY PARKWAY, SUITE 2 (479) 273-9472
Bentonville, AR 72712 FAX (479) 273-0844

ROCKWALL HIGH SCHOOL
901 W YELLOWJACKET LANE
ROCKWALL, TEXAS

REV DATE	SHEET NO.
2/14/19	3 OF 3
REV-D	

DETAILS SHEET 3

© 2019 CEI ENGINEERING ASSOCIATES, INC.



Pole Summary		
Scene: GAME		
Poles	# Lums	MH
P01	2	40
P02	2	40
P03	2	40
P04	2	40
P05	2	40
P06	2	40
P07	2	40
P08	2	40
P09	2	40
P10	2	40
P11	2	40
P12	2	40
P13	2	40
P14	2	40
P15	2	40
P16	2	40

Pole Wattage Summary	
Scene: GAME	
Label	Total Watts
P01	1538
P02	1538
P03	1538
P04	1538
P05	1538
P06	1538
P07	1538
P08	1538
P09	1538
P10	1538
P11	1538
P12	1538
P13	1538
P14	1538
P15	1538
P16	1538
TOTAL	24608

Luminaire Schedule						
Scene: GAME						
Symbol	Qty	Label	LLF	Lum. Watts	Arrangement	
⊙	8	AF-750-3-57	0.950	769	SINGLE	
⊙	8	AF-750-4-57	0.950	769	SINGLE	
⊙	16	AF-750-5-57	0.950	769	SINGLE	

Calculation Summary											
Scene: GAME											
Label	Area Size	Units	Avg	Max	Min	Max/Min	# Pts	PtSpcLr	PtSpcTb	CV	UG
FOOTBALL	360'x160'	Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SOCCER		Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SPILL @100'		Fc	0.48	0.9	0.1	9.00	63	30	N.A.	0.60	N.A.
SPILL @25'		Fc	3.01	8.7	1.4	6.21	43	30	N.A.	0.47	N.A.
SPILL @50'		Fc	1.25	1.6	0.6	2.67	50	30	N.A.	0.22	N.A.



ROCKWALL HIGH SCHOOL
ROCKWALL, TEXAS
FOOTBALL/SOCCER/MULTI
19-8660.AGI

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, HOISTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. COMPLIANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

DRAWN BY: JC
 Date: 2/12/2019
 SCALE: NTS
 Page 1 of 1
 19-8660.AGI



Introducing the latest in LED sports lighting innovation



The All-Field 750 is the most versatile LED fixture available for your sporting venue.

Versatile mounting bracket is designed for ease of installation in new or retrofit applications

Weather-tight design ensures durability even in harsh environments

Solid-state design (no moving parts) provides maintenance free operation

Ability to monitor health and status of each light

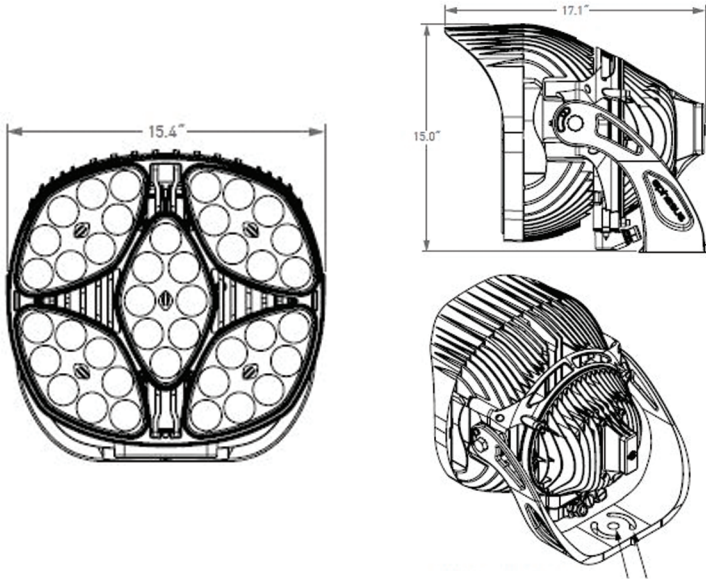
Low electromagnetic interference (EMI) noise generation eliminates interference with surrounding electrical systems

Wireless control options provide flexibility for operational usage and fan experience enhancements

Custom engineered optics direct light precisely where needed while minimizing glare.

Easy **RETROFIT** to your existing sports lighting system

Techline Sports Lighting introduces the All-Field 750 Sport LED fixture, the ideal solution for any setting including little league, municipal parks, high school, college and semi-professional outdoor sports venues. The All-Field 750 is the leading choice for all outdoor applications including football, soccer, tennis, baseball, softball, lacrosse, and field hockey. Maintenance free operation and precisely delivered HDTV quality light make the All-Field 750 the perfect choice for any application and provide an excellent return on investment.



PERFORMANCE SPECIFICATIONS

	All Field 750
Lumen Output ¹	>83,000 Lumens
System Watts	750 watts
Input Voltage (High)	277VAC - 480VAC
Input Voltage (Low)	120VAC - 240VAC
CCT	5700K
L70 Hours	>160,000 hours at 25° C
Operating Temp Range	-40°C to 55°C
Surge	6kV
IP Rating	IP66
NEMA Rating	NEMA 4X
Effective Projected Area	1.4 ft ²
Approximate Weight ²	45 lbs. (20.45 kgs)

The All-Field 750 Sport LED is available with wireless or wired control to provide operational, monitoring and entertainment capabilities. Entertainment options include individual LED cluster control and 0-10V dimming. Fixture connectivity options are available from standard wired DMX to wireless Air-Mesh technology. Cellular, WiFi, or Bluetooth link enables telemetry to monitor health and status of each sport LED fixture.

ORDERING OPTIONS

MODEL	WATTAGE	OPTICS	VOLTAGE	CONTROLS
AF	750	NEMA 2	VH - HIGH VOLTAGE	NC - NO CONTROLS
	550	NEMA 3	VL - LOW VOLTAGE	AM - AIR MESH
	400	NEMA 4		
		NEMA 5		
			SPILL CONTROL OPTION - EYELID	

1. The specifications listed were obtained under optimal testing conditions. Changes in options, features and conditions may result in slightly different performance specifications among fixtures.

2. Weight may vary depending on mounting bracket selection.

Clean power is required to ensure proper function and lifetime of LED fixtures. Prior to installation, an analysis should be performed to verify site power meets these requirements:

- High frequency voltage should be below -40dB or .01V between 3KH and 100KH
- High frequency current should be below -50dB or .019A between 3KH and 100KH

Surge protection alone is not adequate. Techline Sports Lighting will not be liable for damage to fixtures due to poor power quality. Contact Techline Sports Lighting for more information.

Rockwall High School 40' UltraCross® Dyneema Pole-to-Pole Tension Netting

Prepared for: **Paragon Sports Constructors, LLC**

Prepared by: **Sportsfield Specialties, Inc.**

Submitted by: **JJ Darling**
Southwest Regional Sales
Manager

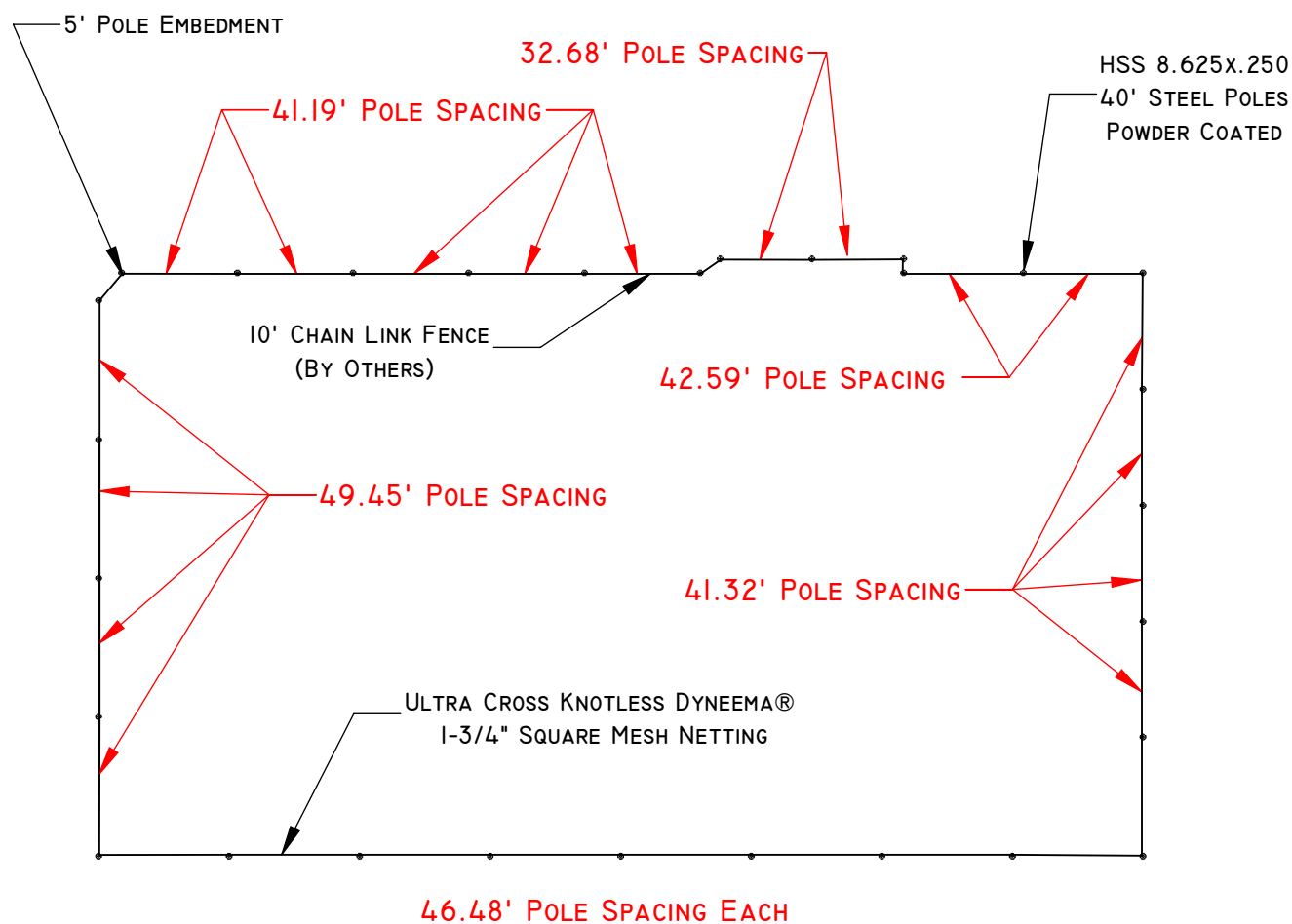


January 31, 2019

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION.

AS A RESULT, SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL.

DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.



Ball Safety Tension Netting System Product Layout Submittal Disclaimer:

This ball safety tension netting system layout document is intended for the sole use of illustrative product submittal review purposes and should not be construed as a product installation document. All final ball safety tension netting system layouts, field dimensions and/or measurements should be both confirmed on the project plans and/or specifications and approved by the project designer of record prior to the start of the product installation.

Sportsfield Specialties, Inc. dba Promats Athletics cannot be held liable for any use of this ball safety tension netting system layout document that deviates and/or differs from the above stated illustrative product submittal review process and furthermore, Sportsfield Specialties, Inc. dba Promats Athletics cannot be held accountable for these actions.

Sportsfield Specialties, Inc. dba Promats Athletics protective netting systems are designed and intended as a complete netting system. In the event your facility purchases an extension to an existing protective netting system, Sportsfield Specialties, Inc. dba Promats Athletics does not make any representations or warranty relating to the overall design of the combined facility and/or the connection points to and the cables that are part of the existing netting system. Owner's decision to proceed with an extension in lieu of a complete new netting system will be at Owner's sole risk and without liability to Sportsfield Specialties, Inc. dba Promats Athletics and Owner shall indemnify and hold harmless Sportsfield Specialties, Inc. dba Promats Athletics from all claims, damages, losses and expenses arising out of or resulting therefrom.

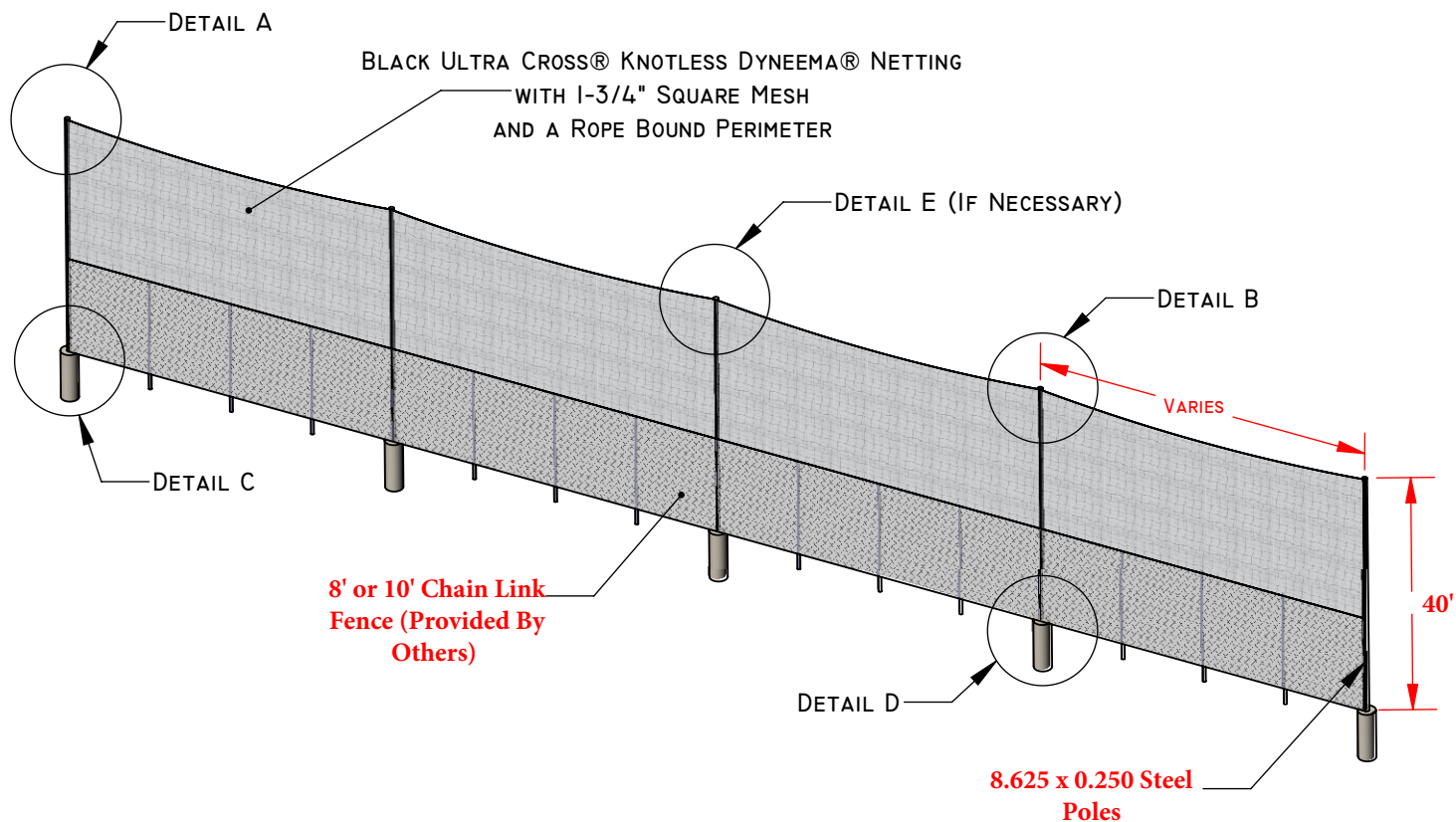
PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SPORTSFIELD SPECIALTIES INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SPORTSFIELD SPECIALTIES INC. IS PROHIBITED.

**ROCKWALL HIGH SCHOOL PERIMETER NETTING
NETTING LAYOUT SUBMITTAL**

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC 2/11/2019

STANDARD BLACK POWDER COATED FINISH



FOUNDATION REQUIREMENTS BASED ON LOCAL CODES AND SOIL CONDITIONS

ALL CUSTOM TENSION NETTING SYSTEM SIZES AND LAYOUTS REQUIRE DESIGN AND PROFESSIONAL ENGINEERING

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION. AS A RESULT SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL. DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.

PROPRIETARY AND CONFIDENTIAL

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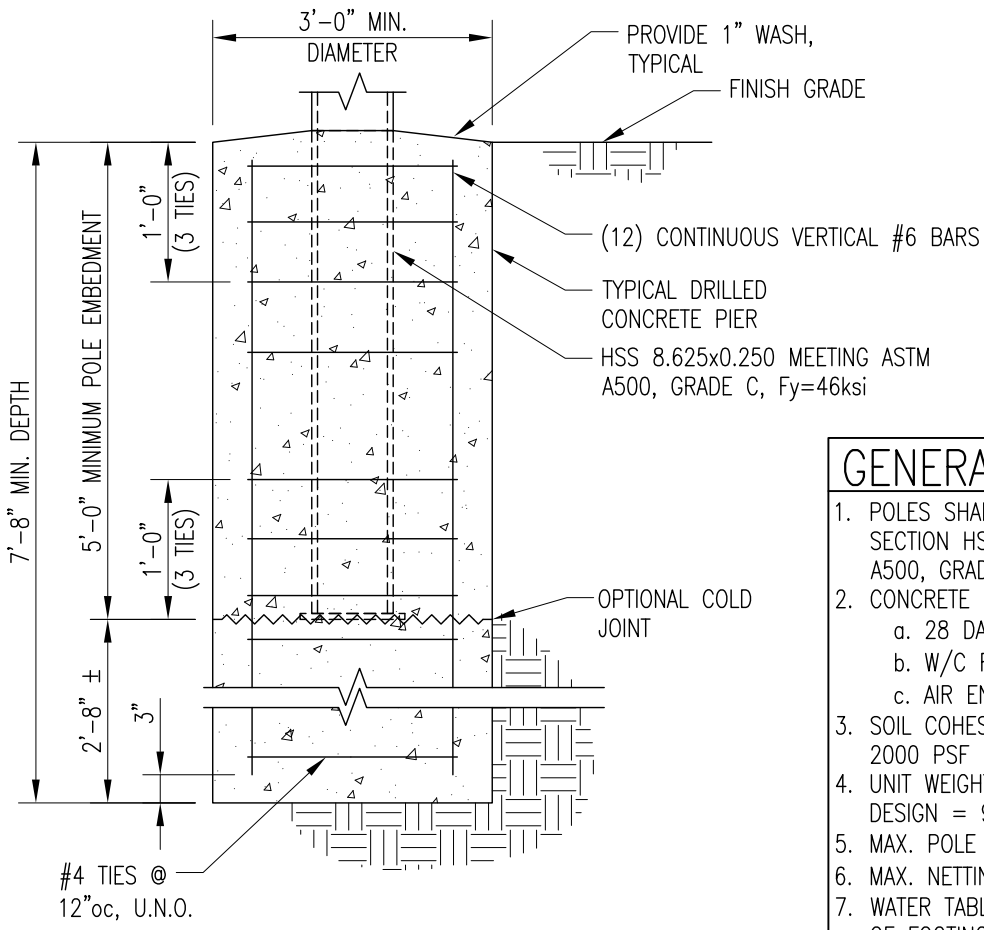
Rockwall HS UltraCross Tension Netting

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC III32018



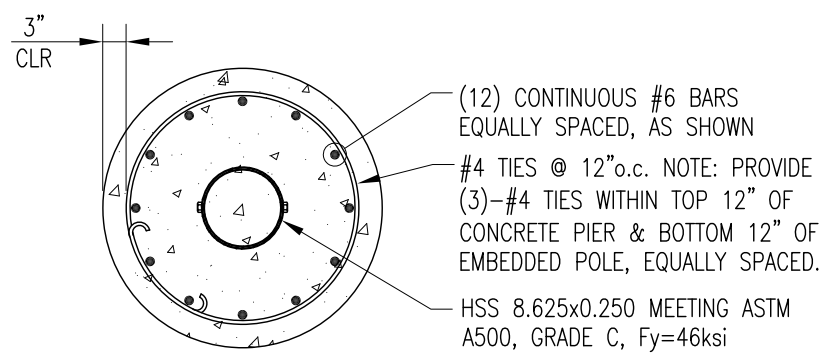
- Length, Height and Configuration as Required
- Ultra Cross **Knotless** Dyneema® Netting
- Dyneema® Ultra-High Molecular Weight Polyethylene (UHMWPE)
SK-75 Black Fiber Construction
- **4 Ply, 1.2 mm (0.0472") Diameter Twine**
- 95% Open Mesh Area (See-Through Visibility)
- **58,445 psi Minimum Breaking Strength**
- 30% Maximum Elongation at Break
- 1-3/4" (44 mm) Square Mesh Size, 0.009 lbs. per Square Foot
- 4 Strand, Braided, Continuous Monofilament Dyneema® Fiber
- Sewn Perimeter Black Multi-Filament Polypropylene Solid Braid Rope
Bound Border - 1/4" Diameter, 530 lb. Minimum Breaking Strength
- Urethane Black Bonded Finish (Other Color Choices Available)
- Strong Resistance to Ultraviolet (UV) Light Degradation
- Excellent Resistance to Chemicals and Water Absorption



FOUNDATION DESIGN IS APPLICABLE FOR BOTH DIRECT EMBEDMENT AND SLEEVED POLES

- SYSTEM NOTES:**
- FOOTING FOR USE WITH ULTRACROSS 1 $\frac{3}{4}$ " NETTING & #9 x 1 $\frac{3}{4}$ " CHAIN LINK FENCE
 - MINIMUM CABLE SAGS 40'-0" SPAN = 12" MIN.
 - DESIGN WIND SPEED FOR BARE POLE = 105mph
 - EXPOSURE CATEGORY B

- GENERAL NOTES:**
- POLES SHALL BE HOLLOW STRUCTURAL SECTION HSS 8.625x0.250 AND MEET ASTM A500, GRADE C, Fy=46ksi
 - CONCRETE SHALL MEET THE FOLLOWING:
 - 28 DAY STRENGTH = 4,000psi (MIN.)
 - W/C RATIO = 0.46
 - AIR ENTRAINMENT = 5.5 +/- 1%
 - SOIL COHESION VALUE USED FOR DESIGN = 2000 PSF
 - UNIT WEIGHT OF SOIL FOR FOUNDATION DESIGN = 93 PCF
 - MAX. POLE HEIGHT = 40'-0"
 - MAX. NETTING HEIGHT = 32'-0" (8' FENCE)
 - WATER TABLE ASSUMED TO BE BELOW BOTTOM OF FOOTING FOR DESIGN.
 - IF FOOTING IS NOT AUGURED, COMPACT SOIL SURROUNDING FOOTING TO 95% MODIFIED PROCTOR.



2/6/19

1 40' NETTING FOOTING DETAILS
 SK-01 SCALE: NONE

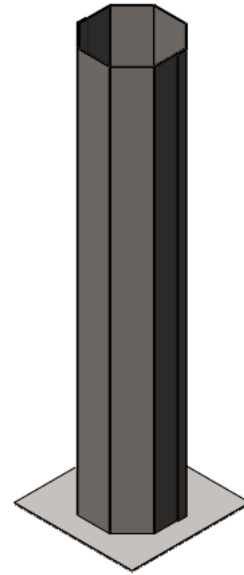
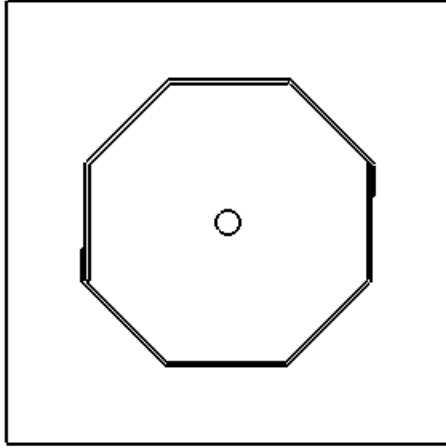
DELTA
 ENGINEERS, ARCHITECTS, & LAND SURVEYORS

860 Hooper Road
 Endwell, New York 13760
 Tel: 607.231.6600
 Fax: 607.231.6651
 Email: mail@deltaengineers.com
 Web: www.deltaengineers.com

Project Name		ROCKWALL HS POLE-TO-POLE TENSION NETTING SYSTEM TEXAS
Scale	AS SHOWN	WARNING: THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER, LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT OR LICENSED SURVEYOR FOR A LICENSED SURVEYOR, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.
Project No.	2019.202.010	
Date	FEBRUARY 5, 2019	

Drawing Title	40' NETTING FOOTING DETAILS
Drawing No.	SK-01

Ground Sleeve Install



1. Mark the locations of the ground sleeves on the field. Being sure to match the center distance to the desired system.
2. Excavate holes for foundations and set the concrete forms.
3. Center the ground sleeve in the form and secure it in a plumb and level position. The top of the ground sleeve should be set according to the site plans (Generally level with Finish Grade).
4. Pour concrete foundation to the top of the sleeve. Allow concrete to adequately cure.
5. Caulk all around the top of the ground sleeve, using backer rod where needed to prevent the caulk from falling into the ground sleeve.

2. Assembling Hardware

- a) Start by laying out the cables to ensure the proper lengths are present for each run. Cut the cable as necessary based on each run, adding a 6" turn back at each end of the cable.
- b) Start the horizontal tensioned cables (5/16" DIA) by assembling a 5/8" x 12" turnbuckle to an eye bolt at one end (Figure 1). The wire will pass through the poles at which the cable run does not terminate (Figure 2). At the poles where the cable run terminates, attach the cable with turn back and rope clips directly to the eye bolt at opposite end (Figure 3).

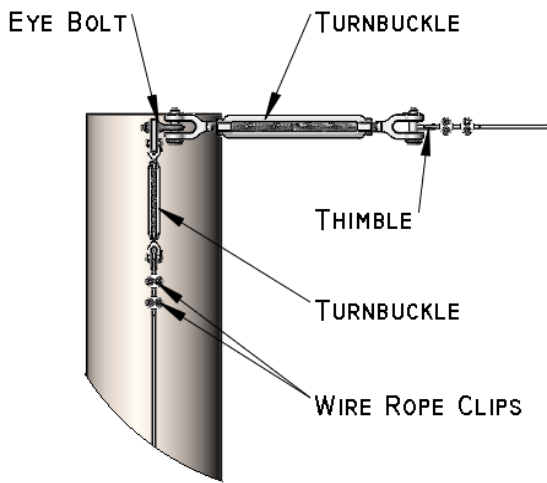


Figure 1

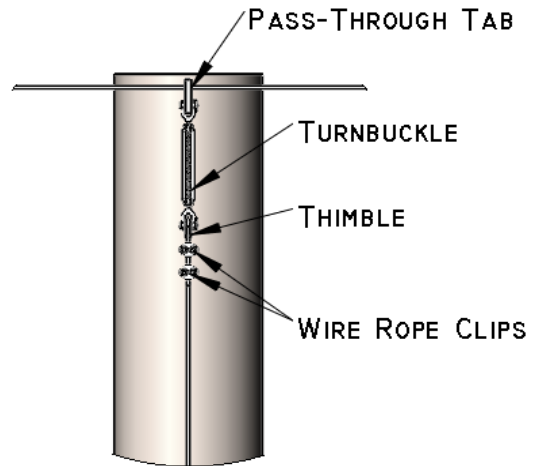


Figure 2

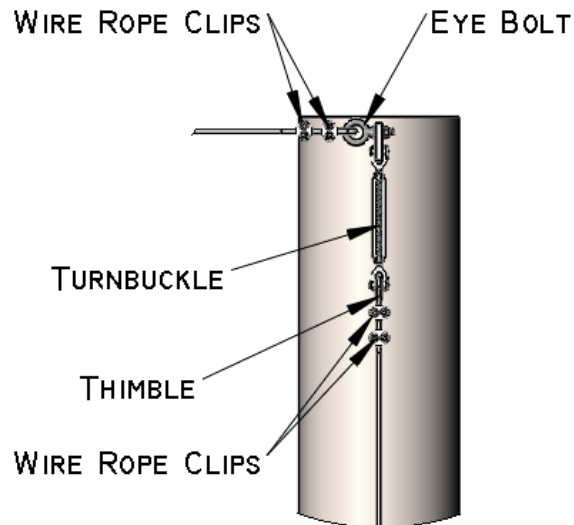


Figure 3

- c) The horizontal cables can be finished with the bottom (1/4" DIA) cable. This cable is assembled the same way as the tensioned cables. Start the cable by attaching to an eye bolt at one end (Figure 4). The cable will pass through a series of eye bolts (recommended 5' spacing) or equivalent guides, then through the poles at which the cable run does not terminate (Figure 5). At the end pole where the cable run terminates, attach the cable (with turn back and rope clips) directly to the eye bolt (Figure 6).

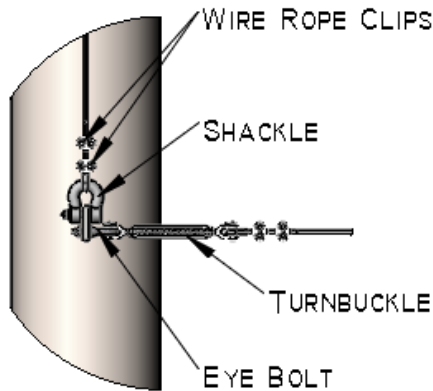


Figure 4

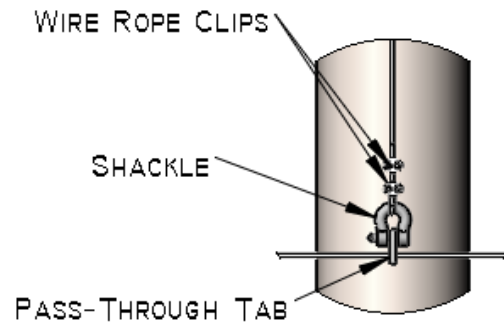


Figure 5

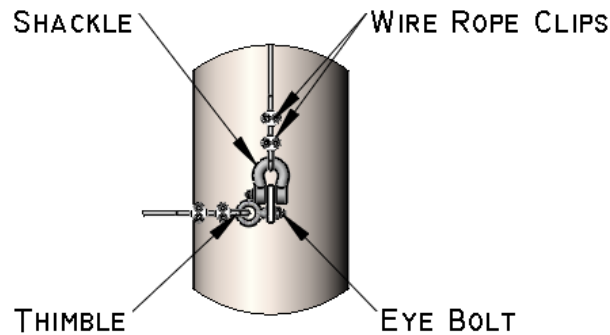


Figure 6

- d) Vertical cables (1/4" DIA) can be done the same way as the tensioned cables, with a 1/2" x 9" turnbuckle at the top of the pole (Figure 7) and a heavy-duty shackle at the bottom of the pole (Figure 9). Make sure to thread the vertical cables through the guide tube (Figure 8).

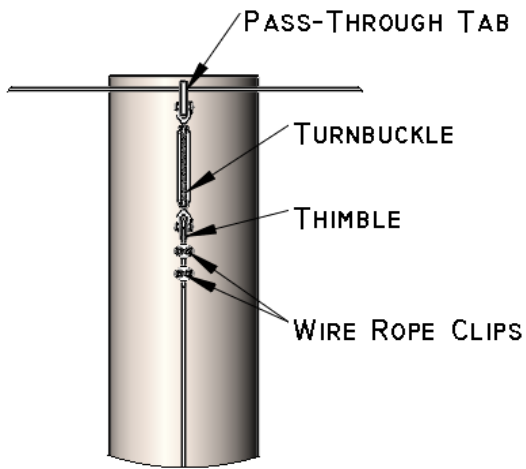


Figure 7

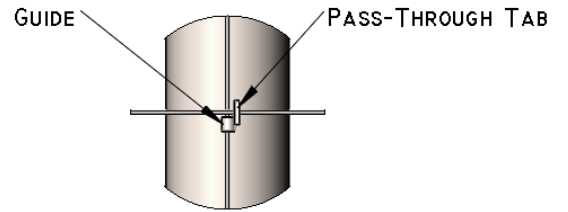


Figure 8

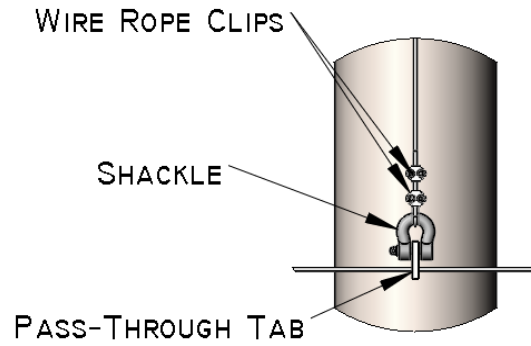


Figure 9

- e) Once all of the cables have been mounted on the poles, tension the horizontal and vertical cables with the turnbuckles. Do not tighten turnbuckles so much that the poles themselves deflect.

- f) Now the nets can be hung from the assembled cables. Using the zip-ties, pull the net to the top, each side cable, the remaining horizontal cables and then the bottom cable. Finally, the net can be secured to the cables using the supplied braided rope, looping through each square of the net binding and around the cable (Figure 10). For Ultra Cross netting systems, it's important to leave excess material along the net perimeter (i.e. no short tag ends and a minimum of one extra square) so that the net intersection doesn't fail prematurely.



Figure 10

SSI tension netting system poles are designed to strength, not deflection. As a result, some deflection will occur during installation and should be considered normal. Deflection may also be evident in calm conditions, particularly on the outer most poles of a given tension netting system.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 12, 2019
APPLICANT: Jeff Bresee; SET Engineers
CASE NUMBER: Z2019-003; SUP for RISD Practice Field

SUMMARY

Hold a public hearing to discuss and consider a request by Jeff Bresee of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) for a Private Sports Arena, Stadium or Track on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

BACKGROUND

The subject property is located at the southeast corner of the intersection of Yellow Jacket Lane and Greencrest Boulevard and is addressed as 901 W, Yellow Jacket Lane. The property was annexed in 1960, is situated within the IH-30 Overlay (IH-30 OV) District, and is zoned Commercial (C) District. On February 18, 1991, the City Council approved a request [Case No. P&Z 91-03-Z/SP/PP] for a change in zoning from a Multi-Family 15 (MF-15) District to a Commercial (C) District. Included with that request was the approval of a site plan and a preliminary plat for a school (*i.e. Rockwall High School*). In June, 1991, the City Council approved a request [Case No. P&Z 91-21-CUP] for a Conditional Use Permit (CUP) [Ordinance No. 91-28] to allow less than 90% masonry materials on the façade of the building, and later amended the Conditional Use Permit (CUP) [Ordinance No. 91-51] to include an additional structure. In August 1998, the City Council approved a site plan [Case No. PZ-1998-39-2] for an additional parking lot for the existing school (*i.e. Rockwall High School*).

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for a *Private Sports Arena, Stadium, or Track* on the subject property. Currently, the Rockwall Independent School District (RISD) utilizes this area as an existing multi-purpose field that serves as a practice facility for various sports (*e.g. softball, baseball, football, soccer, discus, etc.*). According to the applicant, in order to protect vehicles and/or patrons of the commercial businesses (*e.g. Rooms-To-Go, Heritage Buick-GMC, and the future Texas Roadhouse Restaurant and Marriott Towneplace Suites hotel*) adjacent to the field, the school is requesting to construct a 40-foot fence/netting combination around the perimeter of the field.

ADJACENT LAND USES AND ACCESS

The subject property is located at 901 W. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Yellow Jacket Lane, which is identified as a M4D (*major collector, four [4]-lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a sports complex (*i.e. Spring Sports Complex*) followed by a single-family residential subdivision (*i.e. Waterstone Estates*). These areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are several commercial businesses (e.g. *Rooms-To-Go and the future Texas Roadhouse and Marriott Towneplace Suites hotel*). Beyond this is IH-30, which is identified as a *TxDOT Roadway* on the City's Master Thoroughfare Plan. Following this are several commercial businesses (e.g. *Sleep Experts, FedEx, and Chipotle*) that are zoned Commercial (C) District.

East: Directly east of the subject property is a car dealership (i.e. *Heritage Buick-GMC*) followed by Kyle Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this is a Rockwall Independent School District (RISD) athletics field for track and field events, and a multi-family residential development (i.e. *Missions Rockwall Apartments*). These areas are zoned Commercial (C) and Multi-Family 14 (MF-14) Districts. Beyond this are two (2) car dealerships (i.e. *Rockwall Chrysler and Rockwall Ford*) that are zoned Commercial (C) District.

West: Directly west of the subject property is a tract of land that is being developed for a hotel (i.e. *Marriott Towneplace Suites*). Beyond this is a vacant tract of land followed by Greencrest Boulevard, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Following, are several commercial businesses (e.g. *Dominos, Fireside Chicken and Tacos, Wal-Mart*) that are zoned Commercial (C) District.

CHARACTERISTICS OF THE REQUEST

The applicant is proposing to replace the existing natural grass field with artificial turf, to utilize a ten (10) foot tall black vinyl coated chain link fence installed one (1) foot inside the boundaries of the practice field. The fence will be topped with 30-foot tall black netting and lights, which will be installed at the top of the poles adjacent to the north and south boundaries of the field. The proposed field will be serve as a practice field for the school's sports teams, intramural sports, physical education classes, and some other uses not identified by the applicant. According to the applicant, the field will be utilized mostly during the day; however, the applicant intends on the field being utilized (on a limited basis) atnight. According to the applicant, this project is a part of the Rockwall Independent School District's (RISD's) bond program that includes a provision for a practice facility for the softball and baseball team. Granting this request will enable the field to be more functional and meet that purpose.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 3.3, *Minimum Requirements*, of Section 3, *Outdoor Lighting for Non-Residential Properties*, of Article VII, *Environmental Performance*, of the Unified Development Code (UDC), "...the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one [1] footcandle (FC)..." It goes on to state "...for planned shopping centers or other commercial developments that contain more than one (1) lot, the Planning and Zoning Commission may consider lighting plans that result in light spillover across common lots within the same development...however; in no case shall light levels exceed 0.2 of one [1] footcandle (FC) at the property lines adjacent to the street and/or along the perimeter of the development..." In this case, the photometric plan submitted by the applicant shows that the light intensity along the east and west boundaries range from 0.1 FC to 0.3 FC. Along the north and south boundaries (i.e. *where the lights will be installed*), the light intensity range from 0.1 FC to 0.9 FC. Staff should note, this practice field is located toward the rear of the school (i.e. *away from the property lines adjacent to the street*) and this request does not appear to affect the light intensity levels adjacent to the street (i.e. *adjacent to Yellow Jacket Lane*). With that being said, since the proposed lighting exceeds the maximum light intensity of 0.2 FC at the southeast property line approving this request will effectively waive the lighting requirements with regard to lighting spillover. Additionally, the Unified Development Code (UDC) requires that light sources be oriented down and toward the center of the site or shielded so as not to be visible from the property line. The proposed light fixtures will be oriented toward the center of the site and partially shielded; however, due to the proposed use (i.e. *to light a practice field*) combined the height of the light poles (i.e. *40-feet in height*), there is a possibility that the lights will be visible from the

property line. Since this does not meet the requirements of the Unified Development Code (UDC), approving this request will effectively waive the lighting requirements with regard to the shielding and orientation of the lights. Subsection 6.01G, *Lighting Standards*, of Subsection 6.01, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), "...any light fixture, light pole, pole base, or a combination thereof shall not exceed a height of 30-feet..." within the IH-30 Corridor Overlay (IH-30 OV) District. In this case, the proposed light fixtures will be mounted on the top of 40-foot tall light poles and oriented toward the field. Since this exceeds the maximum allowable height of 30-feet, approval of this request will effectively waive the lighting requirements with regard to the maximum allowable height of light poles within the IH-30 Overlay (IH-30 OV) District.

Article XI, *Fences*, of Chapter 10, *Buildings and Building Regulations* of the Municipal Code of Ordinances requires all chain link fences to be setback a minimum of 10-feet from the property line unless "...completely screened from the adjacent public areas by a structure or a solid landscape screening..." In this case, the proposed fence appears to be partially screened from Yellow Jacket Lane by the main building and partially screened from IH-30 by the adjacent commercial business (*i.e. Rooms-To-Go and Heritage Buick-GMC*) and will seemingly have limited visibility from Yellow Jacket Lane and IH-30. With that being said, the Planning and Zoning Commission is tasked with determining if the existing buildings provide sufficient screening of the adjacent public areas, if additional screening/landscaping is required, and/or if approval of this request is warranted.

STAFF ANALYSIS

When analyzing the applicant's request (*i.e. to install fencing, netting, and lighting on the practice field*), it appears that the proposal generally conforms to the Unified Development Code (UDC) with the exception of the items listed above. Given the proposed use (*i.e. a practice field*), one could reasonably expect this type of development to vary from the lighting standard. Typical fields of this type appear to utilize similar light fixtures. According to the applicant, the proposed lighting is designed to provide the *minimum level* of light needed for a practice field (*i.e. the design is lower intensity than typical stadiums and other competition facilities*). The applicant has stated that since the surrounding properties are commercial land uses and utilizes similar lighting, the proposed lighting will not adversely affect the neighboring properties. Staff should note, although the neighboring commercial businesses utilize lighting that is similar in *height*, the light fixtures are shielded and oriented downward. The Unified Development Code (UDC) allows the Planning and Zoning Commission to consider lighting plans that result in spillover for planned shopping centers or other commercial developments with common lot lines. Although Rockwall High School and the adjacent commercial developments are not considered to be a planned shopping center, the adjacent commercial businesses and the main building on campus seem to serve as a buffer from the residential properties to the north. When looking at the proposed chain link fence and netting, the fence appears to have limited visibility from IH-30. Specifically, the Rooms-To-Go, which is located adjacent to the practice field, ranges from 28-feet to 43-feet in height. Additionally, the Room-To-Go appears to rest at a slightly higher elevation than the practice field (*i.e. ~572-feet v. s. 570-feet above sea level*); however, this does not negate the possibility of the netting and lights being visible from IH-30. Given the location of the proposed field combined with the height of the proposed netting and lights, the Planning and Zoning Commission is tasked with considering if this request will adversely affect the neighboring properties and providing a recommendation to the City Council. Should this request be approved, staff has recommended to the applicant to provide a thick vegetative screening along the adjacent property lines (outside of the fence), which consists of a combination of mature trees, bushes, and tall grasses. This will require the applicants to provide staff with an updated concept plan reflecting the proposed screening. Additionally, this may require that the proposed fence is shifted inward to accommodate the additional landscaping.

NOTIFICATIONS

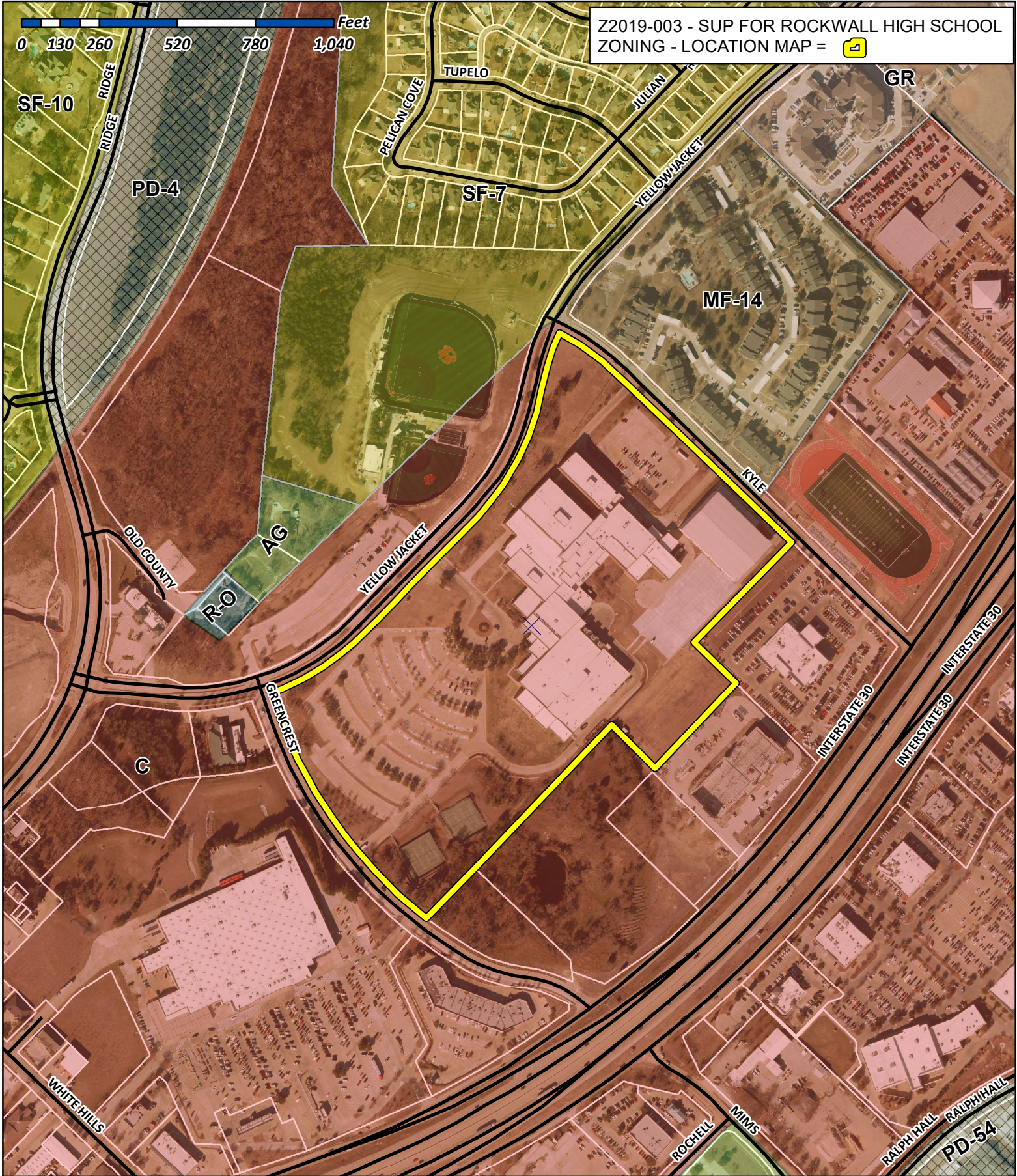
On February 22, 2019, staff mailed notifications to 39 property owners/residents within 500-feet of the subject property. Additionally, staff notified the Turtle Cove and Waterstone Homeowner's Associations

(HOA's), which are the only Homeowner's Associations/Neighborhood Organizations that are within 1,500-feet of the subject property and participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and summarized as follows:
 - a) The private arena, stadium, or track shall generally conform to concept and photometric plans and elevations depicted in Exhibits 'B', 'C', and 'D' of the attached ordinance;
 - b) The applicant shall provide a thick vegetative screening utilizing a combination of mature trees, bushes, and/or grasses adjacent to the property line;
 - c) The applicant shall submit a revised concept plan showing the location of the proposed landscaping; and
 - d) The light fixtures shall not be mounted above 40-feet in height.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



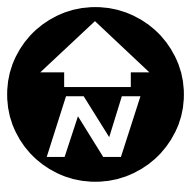
Z2019-003 - SUP FOR ROCKWALL HIGH SCHOOL
 ZONING - LOCATION MAP = [pin icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

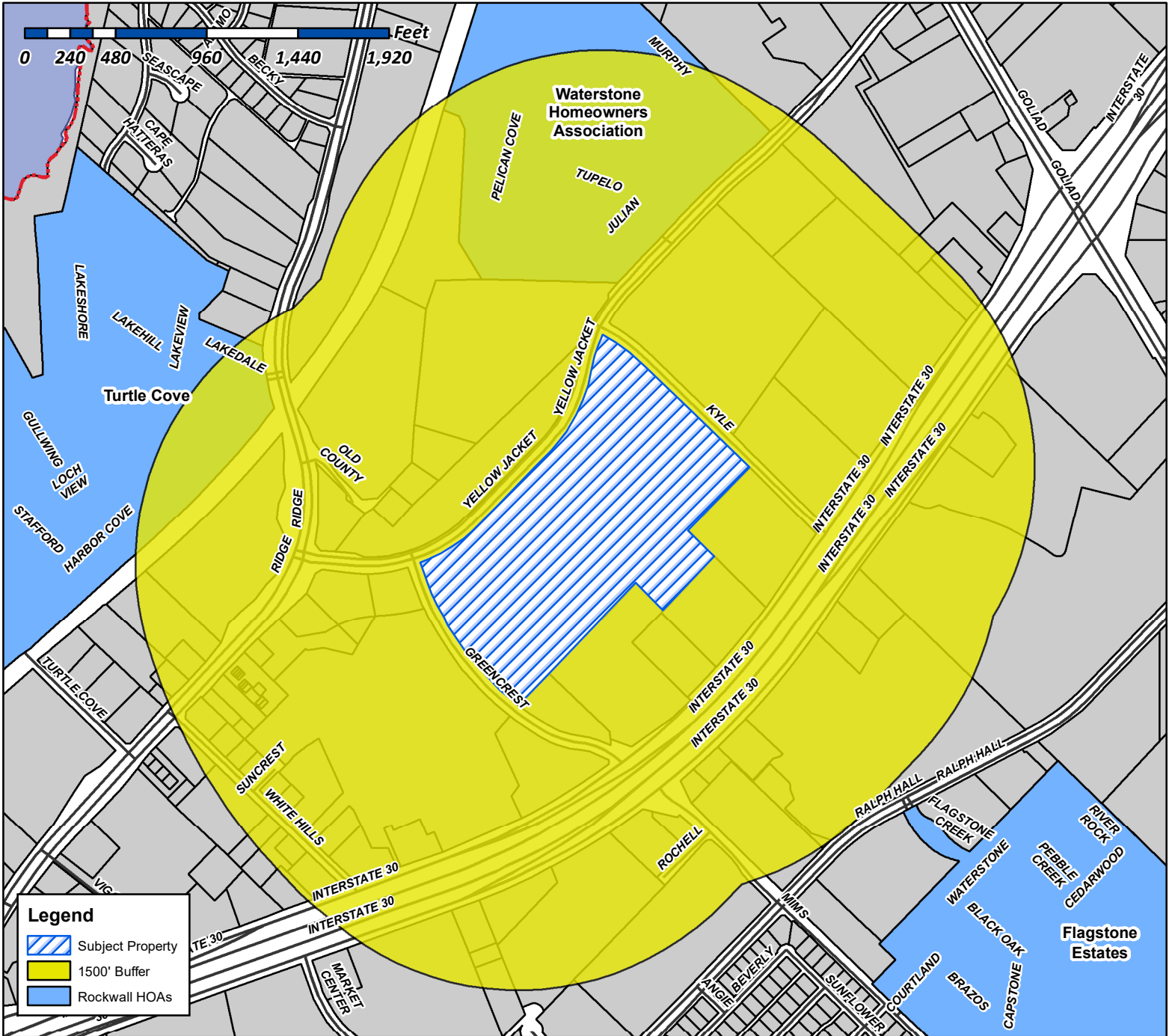




City of Rockwall

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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/19/2019
For Questions on this Case Call (972) 771-7745



Brooks, Korey

From: Morales, Laura
Sent: Friday, February 22, 2019 1:35 PM
To: [REDACTED]
Cc: Miller, Ryan; Gonzales, David; Brooks, Korey
Subject: Neighborhood Notification Program: Notice of zoning request
Attachments: HOA Map.pdf; PUBLIC NOTICE.PDF

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **February 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 3/12/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Tuesday, 3/18/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

Z2019-003 Hold a public hearing to discuss and consider a request by Jeff Bresee of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) for a Private Sports Arena, Stadium or Track on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

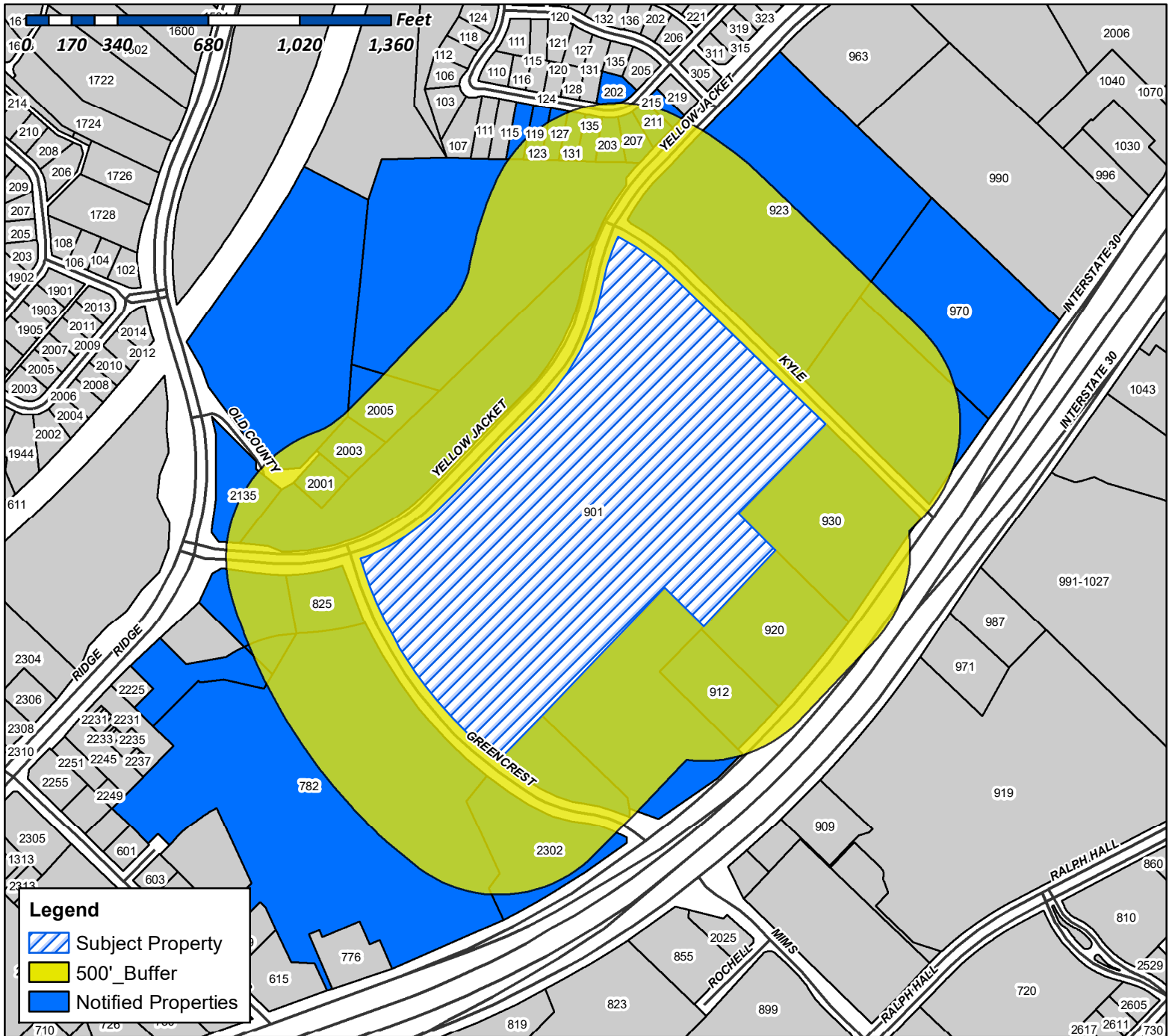
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com/planning/>



City of Rockwall

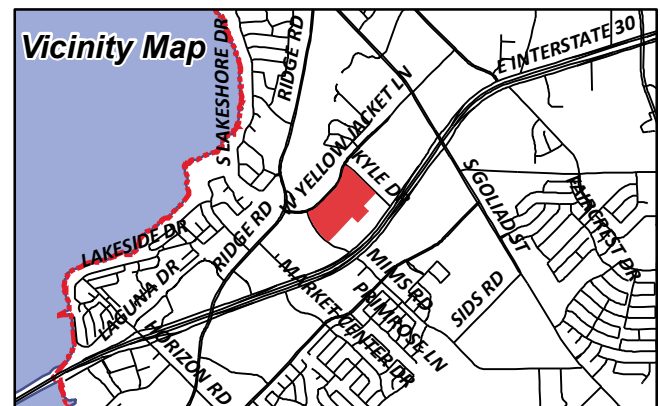
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/15/2019
For Questions on this Case Call (972) 771-7745



MIKULSKI ANTONY AND MICHELLE
119 JULIAN DR
ROCKWALL, TX 75087

WOODWARD LAURA
123 JULIAN DR
ROCKWALL, TX 75087

RYAN BRIAN
127 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
131 JULIAN DR
ROCKWALL, TX 75032

GIPSON CAMERON
135 JULIAN DRIVE
ROCKWALL, TX 75087

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

JLIU ASSET MANAGEMENT LTD
1711 E BELTLINE RD
COPPELL, TX 75019

CURRENT RESIDENT
2001 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2003 RIDGE RD
ROCKWALL, TX 75032

FAHERTY FRANK
2005 RIDGE RD
ROCKWALL, TX 75087

SHIPP DONALD W & MAUREEN
202 JULIAN DR
ROCKWALL, TX 75087

ANDREWS GRACE L
203 JULIAN DR
ROCKWALL, TX 75087

SINGH RITU W AND
207 JULIAN DRIVE
ROCKWALL, TX 75087

PROCK CHARLES
209 RUSSELL DR
ROCKWALL, TX 75032

WHITTAKER SANDRA
211 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75032

HARPER EMILY ERIN
215 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2302 GREENCREST BLVD
ROCKWALL, TX 75032

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

ROCKWALL-PINE PROPERTIES LLC
400 PERIMETER CENTER TERRACE 0
ATLANTA, GA 30346

IN YUNG H &
512 SUNSTONE DR
IRVING, TX 75060

SYVRUD JAMES P & MARY JEAN
519 E INTERSTATE 30
ROCKWALL, TX 75087

IX MC 923 YELLOW JACKET LANE LP
591 W PUTNAM AVE
GREENWICH, CT 06830

GAMEZ SUSAN AND
602 LAURENCE
HEATH, TX 75032

ROADHOUSE ENTERPRISES INC
6040 DUTCHMANS LANE
LOUISVILLE, KY 40205

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75032

ROCKWALL DIRT CO LTD
800 GESSNER RD 0
HOUSTON, TX 77024

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
825 YELLOW JACKET LN
ROCKWALL, TX 75032

CURRENT RESIDENT
901 YELLOWJACKET RD
ROCKWALL, TX 75032

CURRENT RESIDENT
912 E I30
ROCKWALL, TX 75032

CURRENT RESIDENT
920 I-30
ROCKWALL, TX 75032

CURRENT RESIDENT
923 YELLOW JACKET LN
ROCKWALL, TX 75032

TARBELL AUTOMOTIVE INC
930 E I-30
ROCKWALL, TX 75087

CURRENT RESIDENT
970 E I30
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 0
AGOURA HILLS, CA 91301

ROCKWALL ASC REAL ESTATE LLC
PO BOX 1208
ROCKWALL, TX 75087

WAL-MART REAL ESTATE
PO BOX 8050
BENTONVILLE, AR 72712

ROCKWALL RENTAL PROPERTIES LP
PO BOX B
TERRELL, TX 75160



February 13, 2019

David Gonzales, AICP
City of Rockwall Texas
385 S. Goliad Street

Re: Rockwall High School Multipurpose Synthetic Turf Field – Field Netting & Lights

Dear Mr. Gonzales:

Rockwall ISD desires to convert their existing natural grass multipurpose field at Rockwall High School (field that lies immediately North of Rooms-To-Go) into a synthetic turf field. As this field is surrounded by commercial properties on three sides, in order to protect vehicles and/or patrons at these businesses, the school desires to construct a 40-foot tall fence/netting combination (10-foot black coated vinyl chain link fence topped with 30-foot black netting) around the perimeter of the field. This will also enable the fields to be more functional for their intended purpose (project is part of RISD's bond program to provide a practice facility for the softball and baseball teams (although the field will be used for football, soccer, discus and lacrosse practice as well) and it will prevent balls from leaving the field area.

In addition to the netting system, the District desires to install lights atop each of the netting poles that align the North and South sides of the field. As the field will be used by many of the school's sports teams for practice as well intermural teams, PE and other uses, it is desired that the field be made useable during night hours (limited of course by city ordinance).

In adding the lights, the District is seeking variance to the ordinance limiting light spillage to 0.2 lumens or less beyond the line 1-foot outside of the District's property lines. The design of the proposed lights (for which we have included a photometric plan) is to provide the minimum level of light needed for the practice of school sports (design is not to the level typical for stadiums and other competition facilities). As the surrounding properties are commercial entities that also light their grounds, the District feels that the proposed lighting design will not adversely affect the neighboring properties.

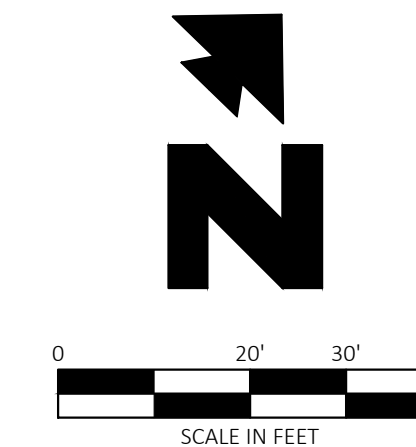
I have included cut sheet information for the netting system and the lights. Please let me know if you need anything further or have any questions.

Sincerely,

SET Engineer, Inc.

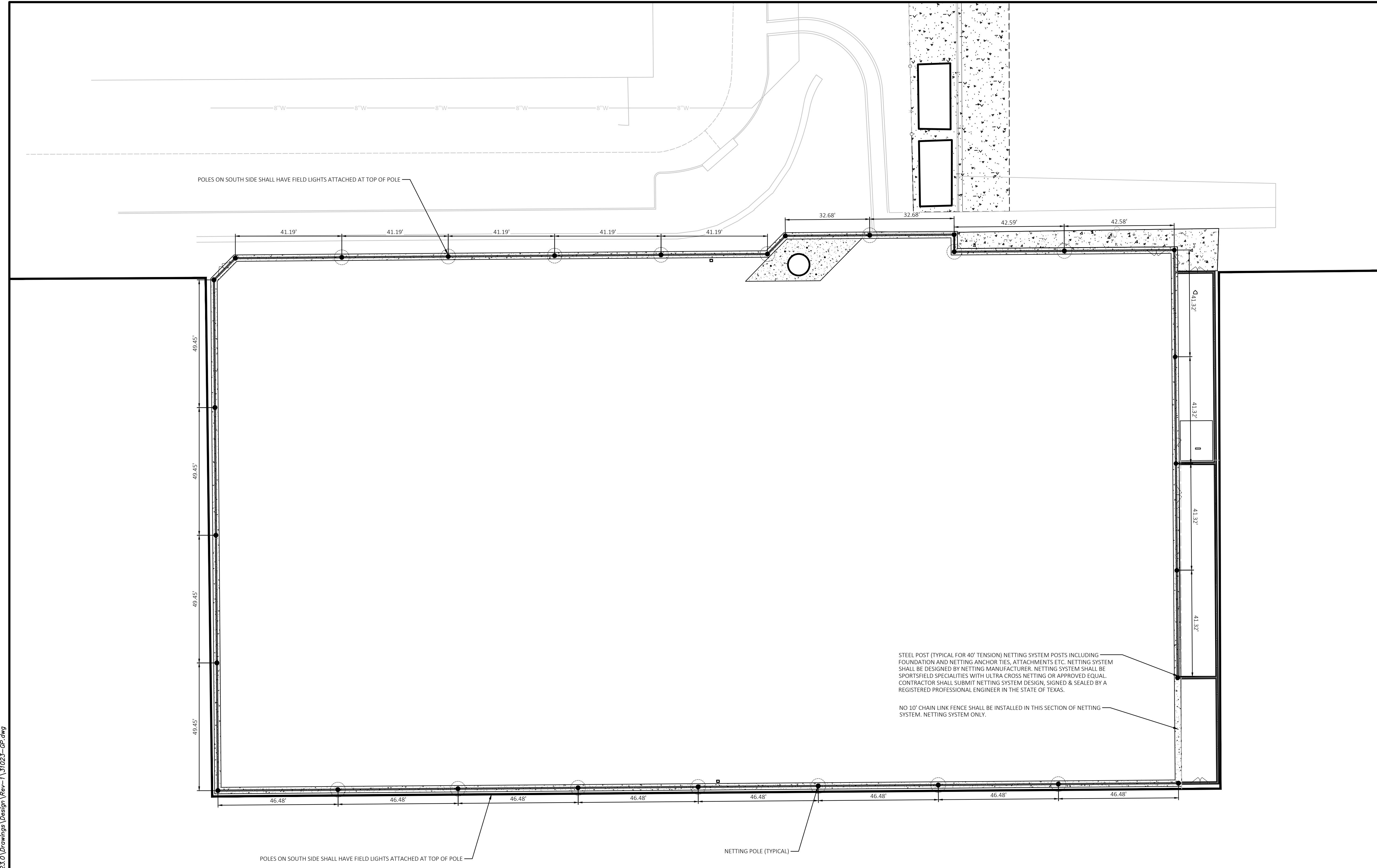
A handwritten signature in blue ink that reads "Jeff Bresee". The signature is written in a cursive, flowing style.

Jeff Bresee, P.E.



LEGEND

EXISTING			
	EAST OR ELECTRIC		OVERHEAD TELEPHONE
	NORTH		OVERHEAD TV
	OVERHEAD		SANITARY SEWER
	SOUTH OR SEWER		UNDERGROUND ELECTRIC
	TELEPHONE		UNDERGROUND ELECTRIC AND TELEPHONE
	UNDERGROUND		UNDERGROUND TELEPHONE
	WEST OR WATER		UNDERGROUND TV
	PROPERTY LINE		WATER
	RIGHT OF WAY LINE		GAS
	STORM DRAIN		OVERHEAD ELECTRIC
	X\"G		OVERHEAD ELECTRIC AND TELEPHONE
	OHE		
	OHE&T		



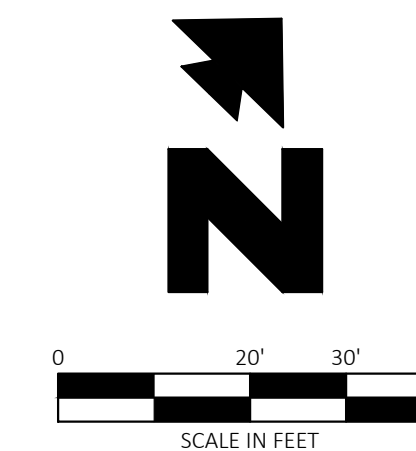
STEEL POST (TYPICAL FOR 40' TENSION) NETTING SYSTEM POSTS INCLUDING FOUNDATION AND NETTING ANCHOR TIES, ATTACHMENTS ETC. NETTING SYSTEM SHALL BE DESIGNED BY NETTING MANUFACTURER. NETTING SYSTEM SHALL BE SPORTSFIELD SPECIALITIES WITH ULTRA CROSS NETTING OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT NETTING SYSTEM DESIGN, SIGNED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS.

NO 10' CHAIN LINK FENCE SHALL BE INSTALLED IN THIS SECTION OF NETTING SYSTEM. NETTING SYSTEM ONLY.

JOB # 31023 DRAWING: 31023-CP.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023\Drawings\Design\Rev-1\31023-CP.dwg

F-7524

SET Engineers, Inc. <small>Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX</small>					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
Engineering Associates, Inc. <small>ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS</small>					
<small>3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712</small>			<small>(479) 273-9472 FAX (479) 273-0844</small>		
ROCKWALL HIGH SCHOOL <small>901 W YELLOWJACKET LANE ROCKWALL, TEXAS</small>					
40- FOOT NETTING POST LOCATIONS				<small>REV DATE 2/14/19 REV-0</small>	<small>SHEET NO. 2 OF 3</small>

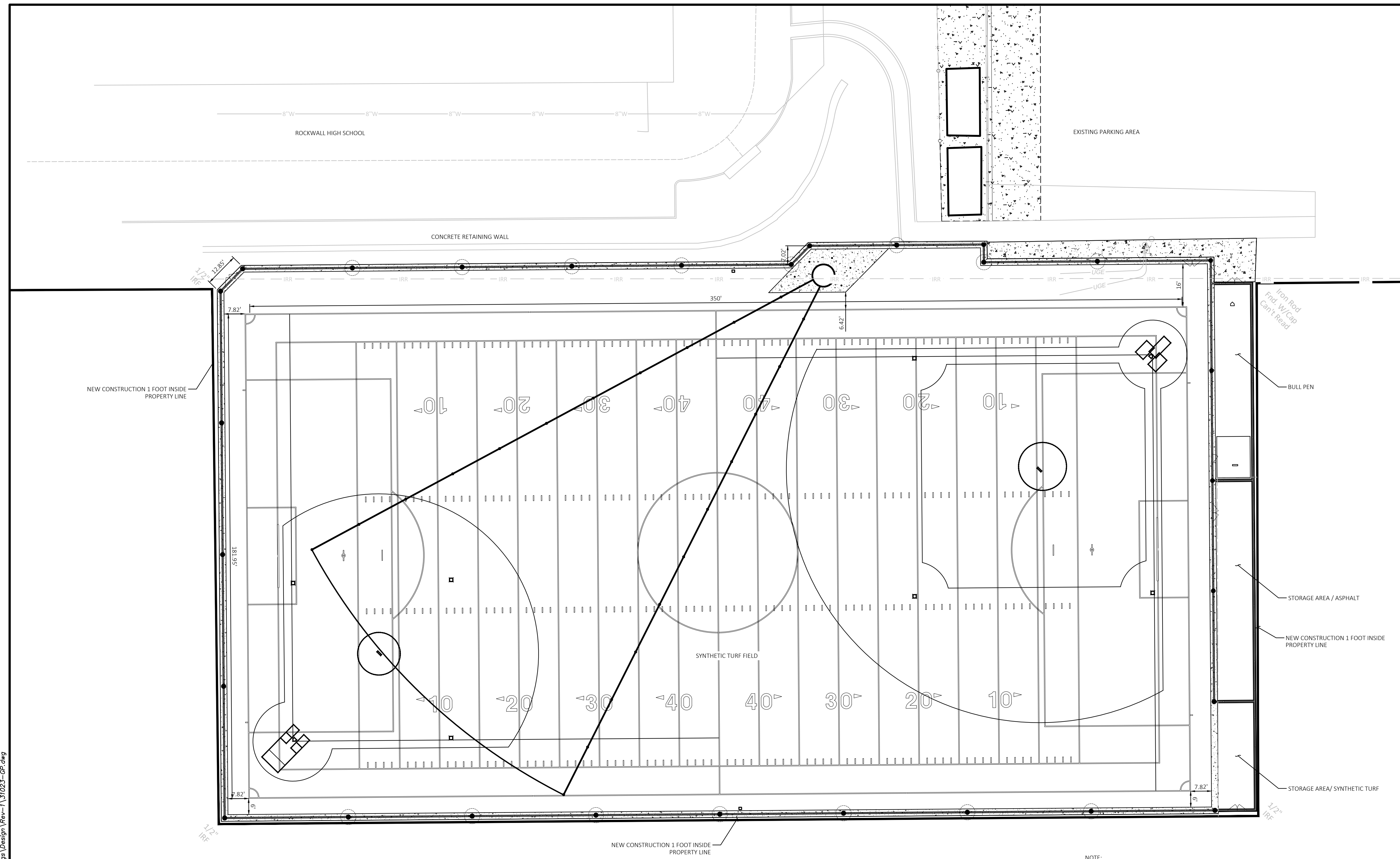


LEGEND

EXISTING		NEW	
—E—	EAST OR ELECTRIC	—OHT—	OVERHEAD TELEPHONE
—N—	NORTH	—OHTV—	OVERHEAD TV
—OS—	SOUTH OR SEWER	—X"SS—	SANITARY SEWER
—T—	TELEPHONE	—UGE—	UNDERGROUND ELECTRIC
—UB—	UNDERGROUND	—UGE&T—	UNDERGROUND ELECTRIC AND TELEPHONE
—W—	WEST OR WATER	—UGT—	UNDERGROUND TELEPHONE
---	PROPERTY LINE	—UGTV—	UNDERGROUND TV
---	RIGHT OF WAY LINE	—X"W—	WATER
---	STORM DRAIN	—X"G—	GAS
---	X"G	—OHE—	OVERHEAD ELECTRIC
---	OHE	—OHE&T—	OVERHEAD ELECTRIC AND TELEPHONE
---		—5-10-11 50.5—	TREE INFO: .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

FIELD EQUIPMENTS TO BE PROVIDED BY CONTRACTOR

- SYNTHETIC TURF BASE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 6 BASES TOTAL.
- SYNTHETIC TURF HOME PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- SYNTHETIC TURF PITCHERS PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- PORTABLE FOOTBALL GOAL POST, AAE SPORTS, ROLLAWAY H GOAL POST (HS), OR EQUAL, TWO GOAL POSTS TOTAL.
- PORTABLE SOCCER GOAL POST KWIK GOAL EVO II, SOCCER GOAL WITH WHEELS OR EQUAL 2 GOALS TOTAL.



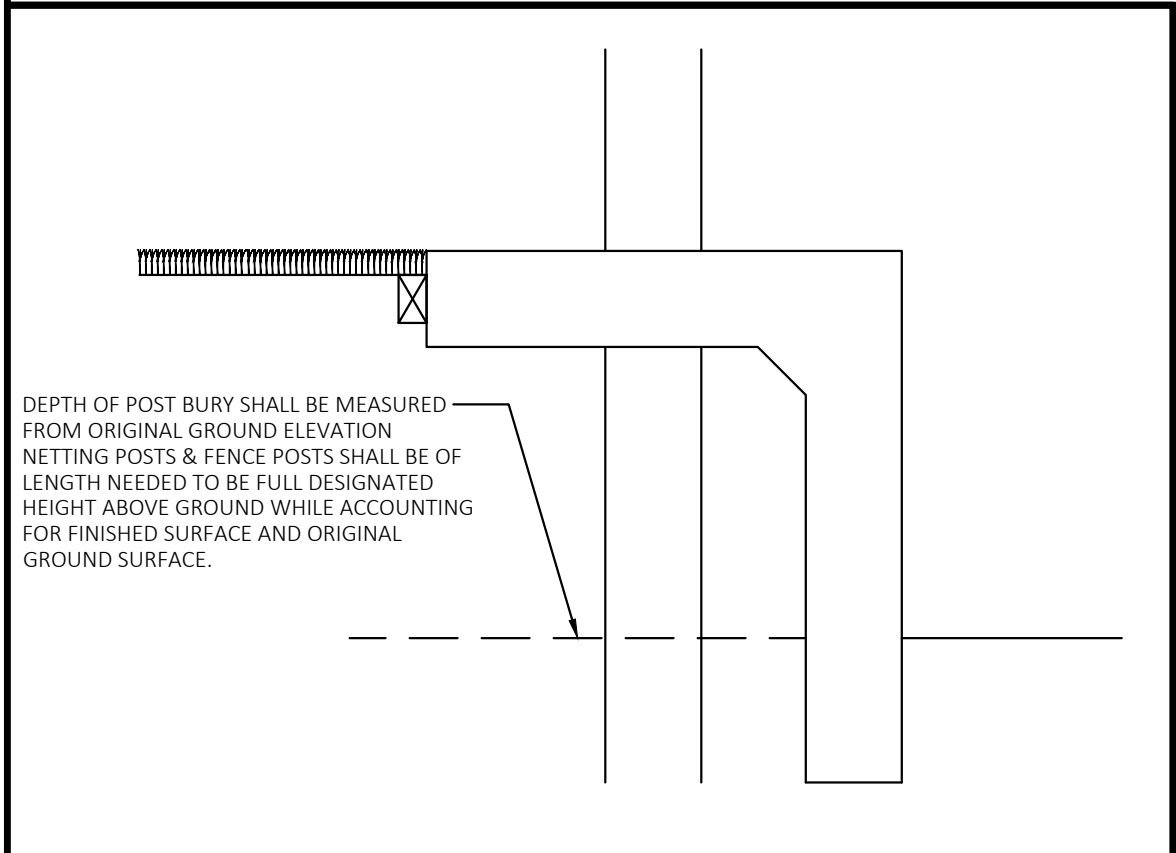
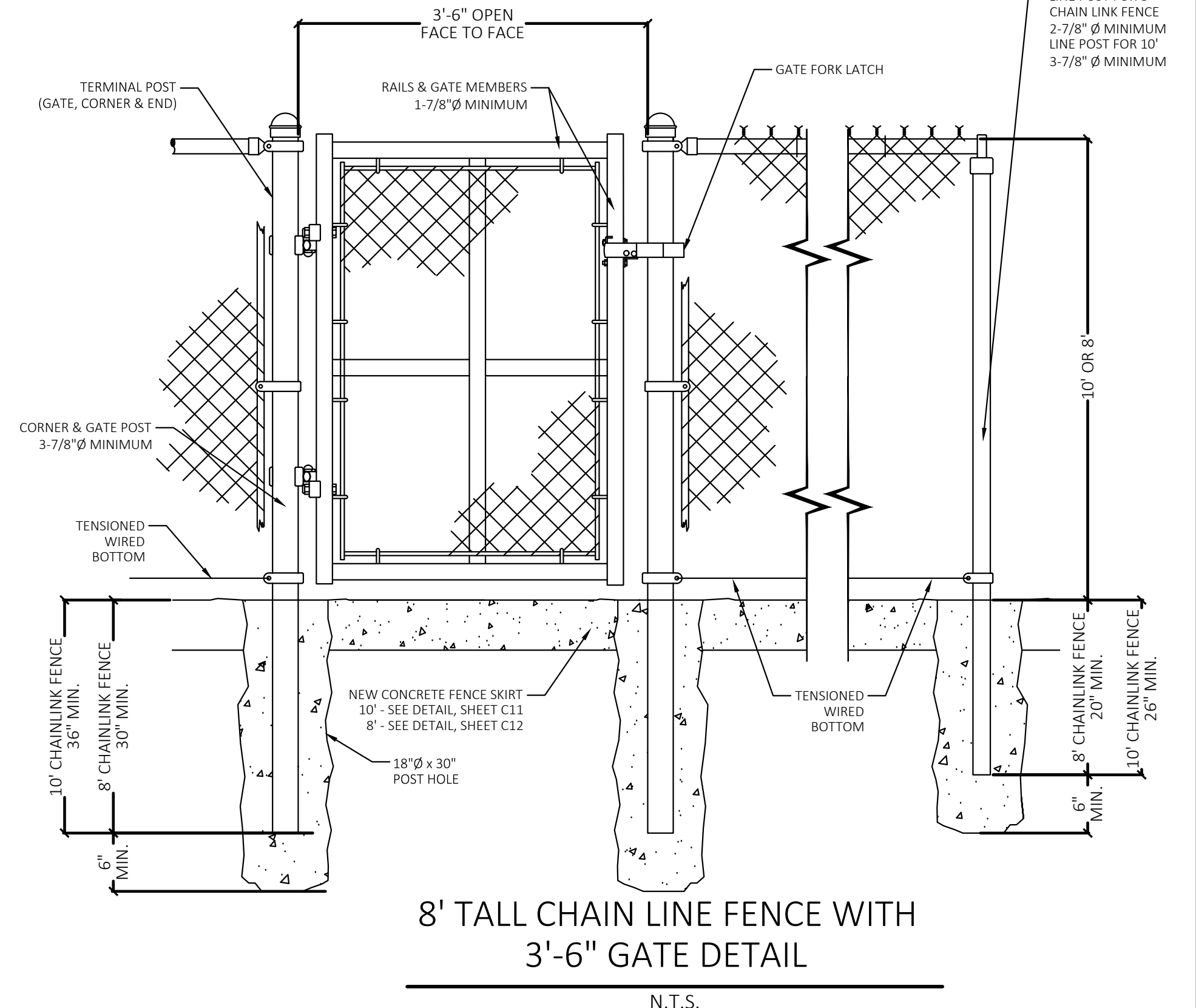
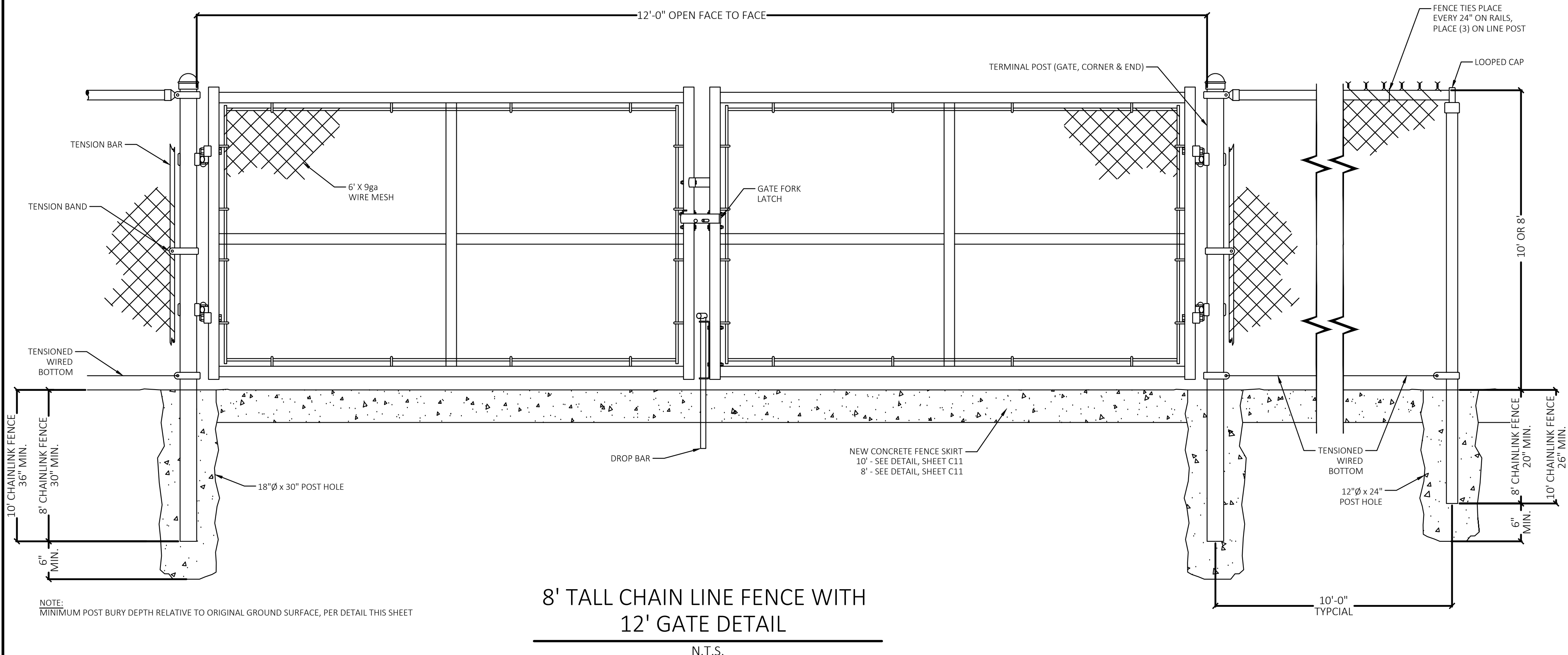
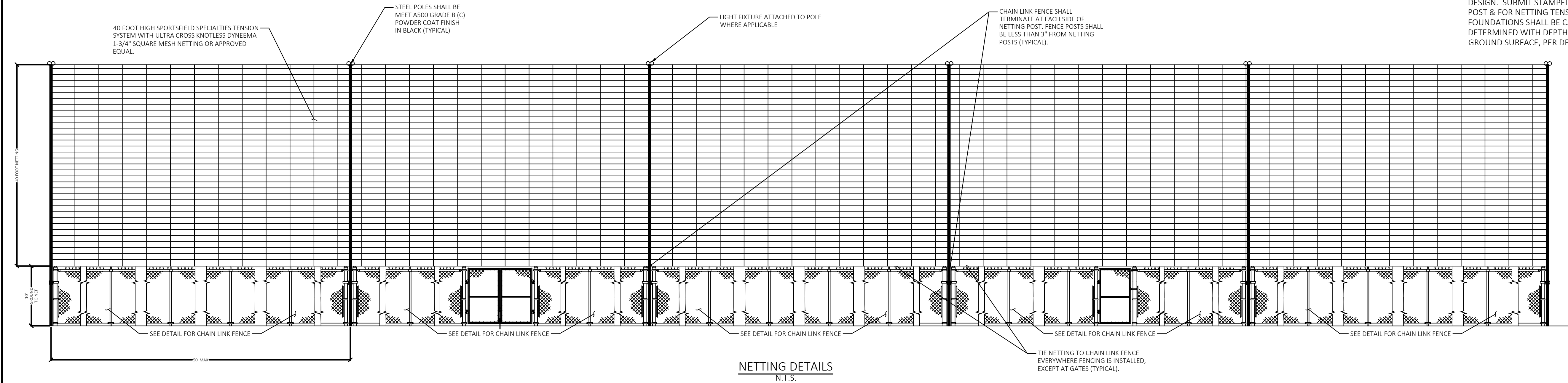
NOTE:
TOTAL DEVELOPED
AREA= 1.870 ACRES

JOB # 31023 DRAWING: 31023-GR.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023\Drawings\Design\Rev-1\31023-GR.dwg

F-7524

SET Engineers, Inc. Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712			(479)273-9472 FAX (479)273-0844		
ROCKWALL HIGH SCHOOL 901 W YELLOWJACKET LANE ROCKWALL, TEXAS					
SITE PLAN				REV DATE 2/14/19 REV-0	SHEET NO. 1 OF 3

NOTE:
TENSION NETTING SYSTEM SHALL INCLUDE MANUFACTURER'S ENGINEERING DESIGN. SUBMIT STAMPED ENGINEERING DETAIL DRAWINGS FOR ALL TENSION POST & FOR NETTING TENSION CABLES & TIE DOWNS. DEPTH OF POLE FOUNDATIONS SHALL BE CALCULATED AND OVERALL LENGTH OF POLES SHALL BE DETERMINED WITH DEPTH OF BURIAL BEING FROM ORIGINAL/PRECONSTRUCTION GROUND SURFACE, PER DETAIL THIS SHEET



JOB # 31023 DRAWING: 31023-CS.dwg LAST: SALAM LOCATION: P. 1/10/2013 11:02:31.01 Drawings Design Rev=0 31023-CS.dwg

SET Engineers, Inc.
Experts in Outdoor Sports Design & Construction Management
Licensed Civil Engineers • Planners • Designers
817-507-8303 Phone | 682-518-9825 FAX

31023	12/18/18	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

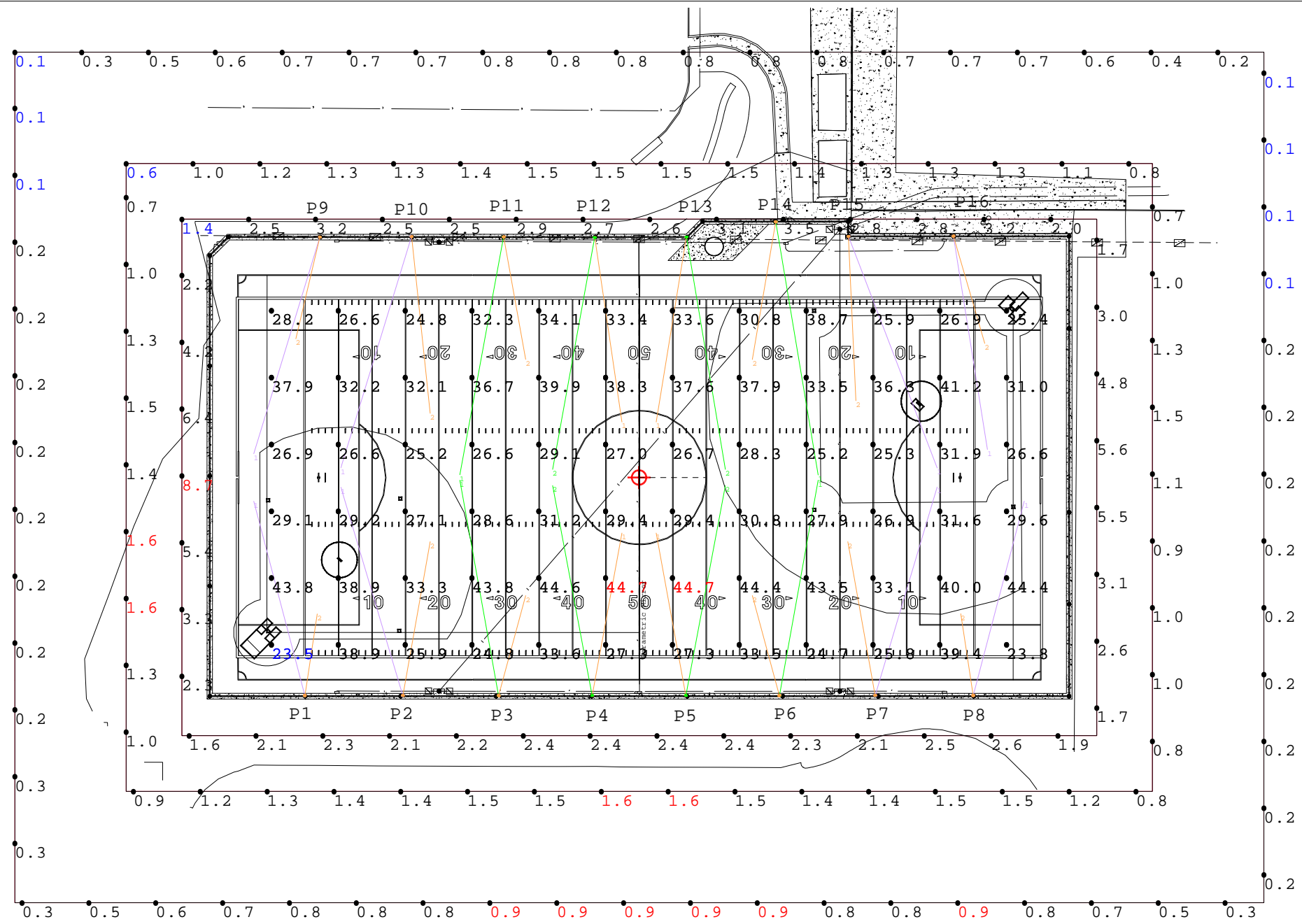
3108 S.W. REGENCY PARKWAY, SUITE 2 (479) 273-9472
Bentonville, AR 72712 FAX (479) 273-0844

ROCKWALL HIGH SCHOOL
901 W YELLOWJACKET LANE
ROCKWALL, TEXAS

REV DATE	SHEET NO.
2/14/19	3 OF 3
REV-0	

DETAILS SHEET 3

© 2019 CEI ENGINEERING ASSOCIATES, INC.



Pole Summary		
Scene: GAME		
Poles	# Lums	MH
P01	2	40
P02	2	40
P03	2	40
P04	2	40
P05	2	40
P06	2	40
P07	2	40
P08	2	40
P09	2	40
P10	2	40
P11	2	40
P12	2	40
P13	2	40
P14	2	40
P15	2	40
P16	2	40

Pole Wattage Summary	
Scene: GAME	
Label	Total Watts
P01	1538
P02	1538
P03	1538
P04	1538
P05	1538
P06	1538
P07	1538
P08	1538
P09	1538
P10	1538
P11	1538
P12	1538
P13	1538
P14	1538
P15	1538
P16	1538
TOTAL	24608

Luminaire Schedule						
Scene: GAME						
Symbol	Qty	Label	LLF	Lum. Watts	Arrangement	
⊙	8	AF-750-3-57	0.950	769	SINGLE	
⊙	8	AF-750-4-57	0.950	769	SINGLE	
⊙	16	AF-750-5-57	0.950	769	SINGLE	

Calculation Summary											
Scene: GAME											
Label	Area Size	Units	Avg	Max	Min	Max/Min	# Pts	PtSpcLr	PtSpcTb	CV	UG
FOOTBALL	360'x160'	Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SOCCER		Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SPILL @100'		Fc	0.48	0.9	0.1	9.00	63	30	N.A.	0.60	N.A.
SPILL @25'		Fc	3.01	8.7	1.4	6.21	43	30	N.A.	0.47	N.A.
SPILL @50'		Fc	1.25	1.6	0.6	2.67	50	30	N.A.	0.22	N.A.



ROCKWALL HIGH SCHOOL
ROCKWALL, TEXAS
FOOTBALL/SOCCER/MULTI
19-8660.AGI

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, HOISTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. COMPLIANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

DRAWN BY: JC
 Date: 2/12/2019
 SCALE: NTS
 Page 1 of 1
 19-8660.AGI



Introducing the latest in LED sports lighting innovation



The All-Field 750 is the most versatile LED fixture available for your sporting venue.

Versatile mounting bracket is designed for ease of installation in new or retrofit applications

Weather-tight design ensures durability even in harsh environments

Solid-state design (no moving parts) provides maintenance free operation

Ability to monitor health and status of each light

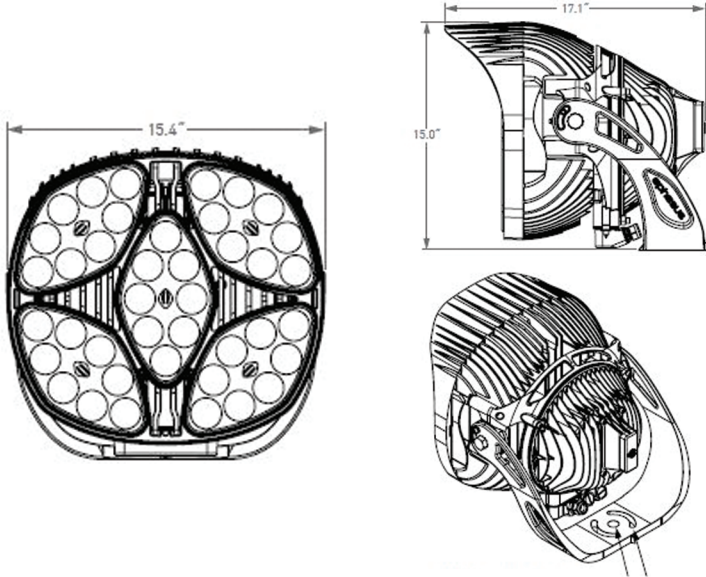
Low electromagnetic interference (EMI) noise generation eliminates interference with surrounding electrical systems

Wireless control options provide flexibility for operational usage and fan experience enhancements

Custom engineered optics direct light precisely where needed while minimizing glare.

Easy **RETROFIT** to your existing sports lighting system

Techline Sports Lighting introduces the All-Field 750 Sport LED fixture, the ideal solution for any setting including little league, municipal parks, high school, college and semi-professional outdoor sports venues. The All-Field 750 is the leading choice for all outdoor applications including football, soccer, tennis, baseball, softball, lacrosse, and field hockey. Maintenance free operation and precisely delivered HDTV quality light make the All-Field 750 the perfect choice for any application and provide an excellent return on investment.



PERFORMANCE SPECIFICATIONS

	All Field 750
Lumen Output ¹	>83,000 Lumens
System Watts	750 watts
Input Voltage (High)	277VAC - 480VAC
Input Voltage (Low)	120VAC - 240VAC
CCT	5700K
L70 Hours	>160,000 hours at 25° C
Operating Temp Range	-40°C to 55°C
Surge	6kV
IP Rating	IP66
NEMA Rating	NEMA 4X
Effective Projected Area	1.4 ft ²
Approximate Weight ²	45 lbs. (20.45 kgs)

The All-Field 750 Sport LED is available with wireless or wired control to provide operational, monitoring and entertainment capabilities. Entertainment options include individual LED cluster control and 0-10V dimming. Fixture connectivity options are available from standard wired DMX to wireless Air-Mesh technology. Cellular, WiFi, or Bluetooth link enables telemetry to monitor health and status of each sport LED fixture.

ORDERING OPTIONS

MODEL	WATTAGE	OPTICS	VOLTAGE	CONTROLS
AF	750	NEMA 2	VH - HIGH VOLTAGE	NC - NO CONTROLS
	550	NEMA 3	VL - LOW VOLTAGE	AM - AIR MESH
	400	NEMA 4		
		NEMA 5		
			SPILL CONTROL OPTION - EYELID	

1. The specifications listed were obtained under optimal testing conditions. Changes in options, features and conditions may result in slightly different performance specifications among fixtures.

2. Weight may vary depending on mounting bracket selection.

Clean power is required to ensure proper function and lifetime of LED fixtures. Prior to installation, an analysis should be performed to verify site power meets these requirements:

- High frequency voltage should be below -40dB or .01V between 3KH and 100KH
- High frequency current should be below -50dB or .019A between 3KH and 100KH

Surge protection alone is not adequate. Techline Sports Lighting will not be liable for damage to fixtures due to poor power quality. Contact Techline Sports Lighting for more information.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A PRIVATE SPORTS ARENA, STADIUM, OR TRACK IN A COMMERCIAL (C) DISTRICT, SITUATED ON A 35.295-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, ROCKWALL HIGH SCHOOL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jeff Breese of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) to allow for a *private sports arena, stadium, or track* in a Commercial (C) District on a 35.295-acre parcel of land being described as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *private sports arena, stadium, or track* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 4.4, *Commercial (C) District*, of Section 4, *Commercial Districts*, and Subsection 6.06, *IH-30 Overlay (IH-30 OV) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended and as may be amended in the future, and shall be subject to the following:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *private sports arena, stadium, or track* on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) The *private arena, stadium, or track* shall generally conform to the concept and photometric plans and elevations depicted in *Exhibits 'B', 'C' and 'D'* of this ordinance;
- 2) The light poles shall not exceed 40-feet in height;

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF APRIL, 2019.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: March 18, 2019

2nd Reading: April 1, 2019

Exhibit 'A'
Zoning Exhibit

Address: 901 Yellow Jacket Lane

Legal Description: Lot 1, Block A, Rockwall High School Addition

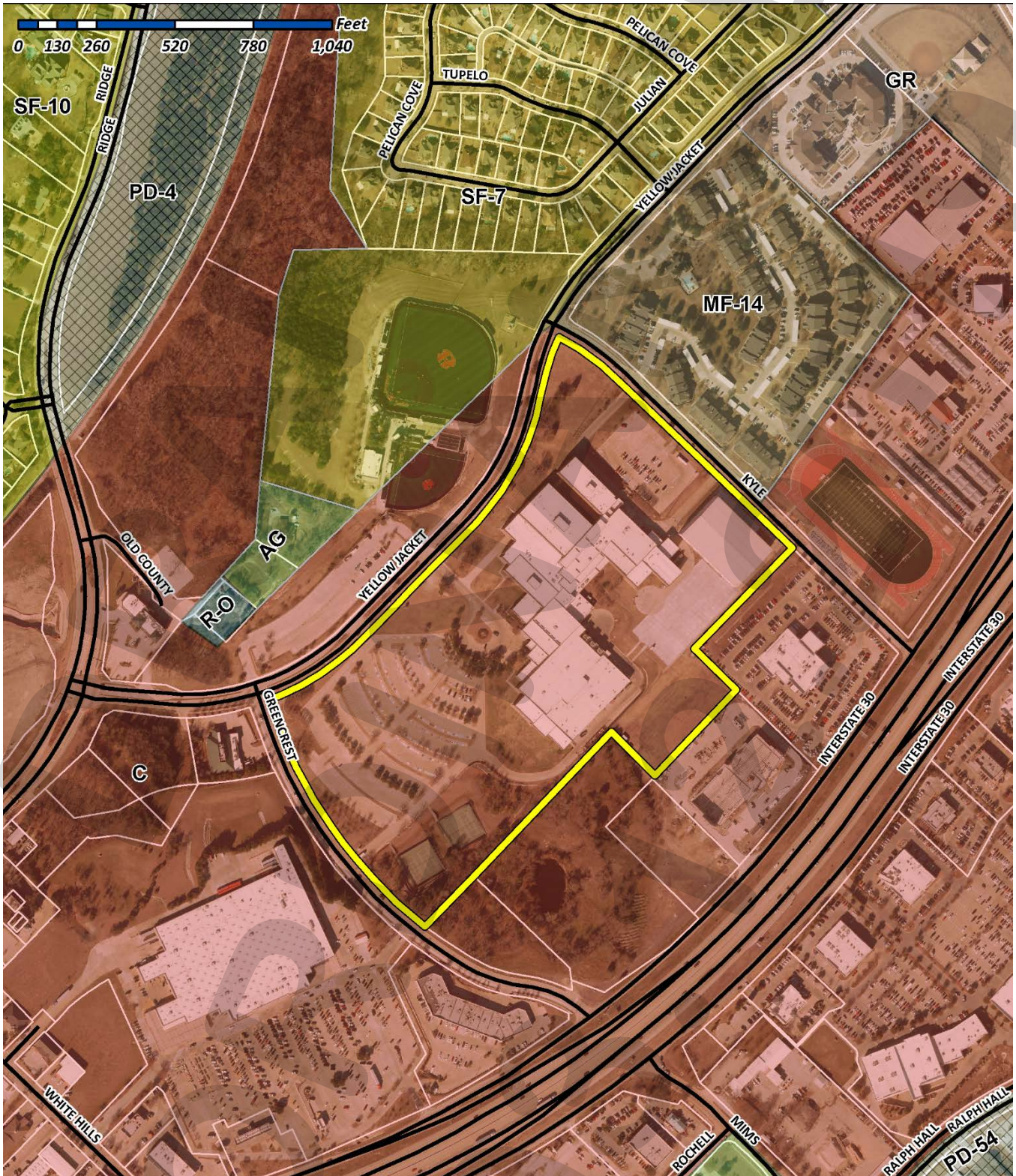
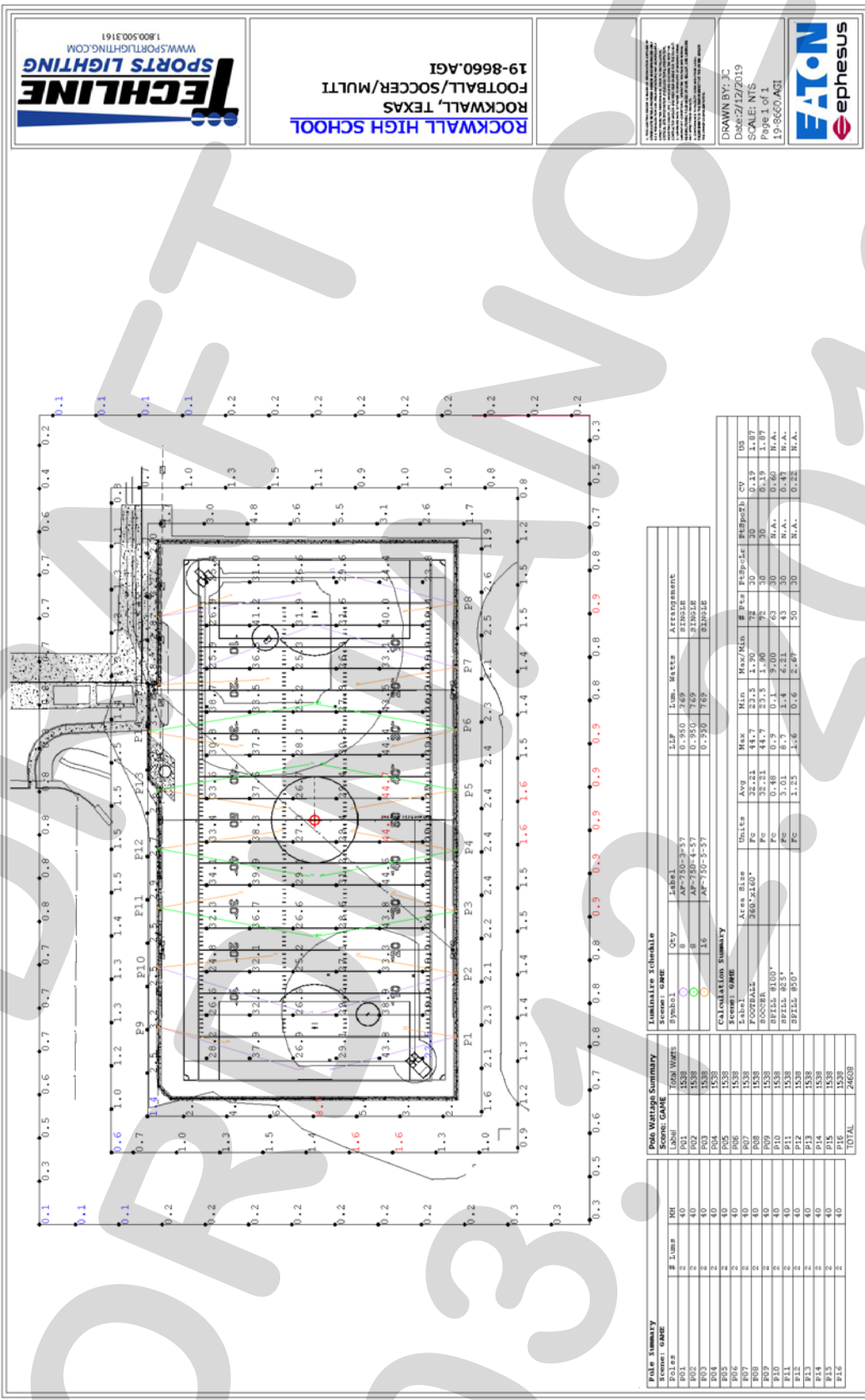


Exhibit 'C': Photometric Plan



TECHLINE
 SPORTS LIGHTING
 WWW.SPORTSLIGHTING.COM
 1.800.503.161

ROCKWALL HIGH SCHOOL
 ROCKWALL, TEXAS
 FOOTBALL/SOCCER/MULTI
 19-8660.AGI

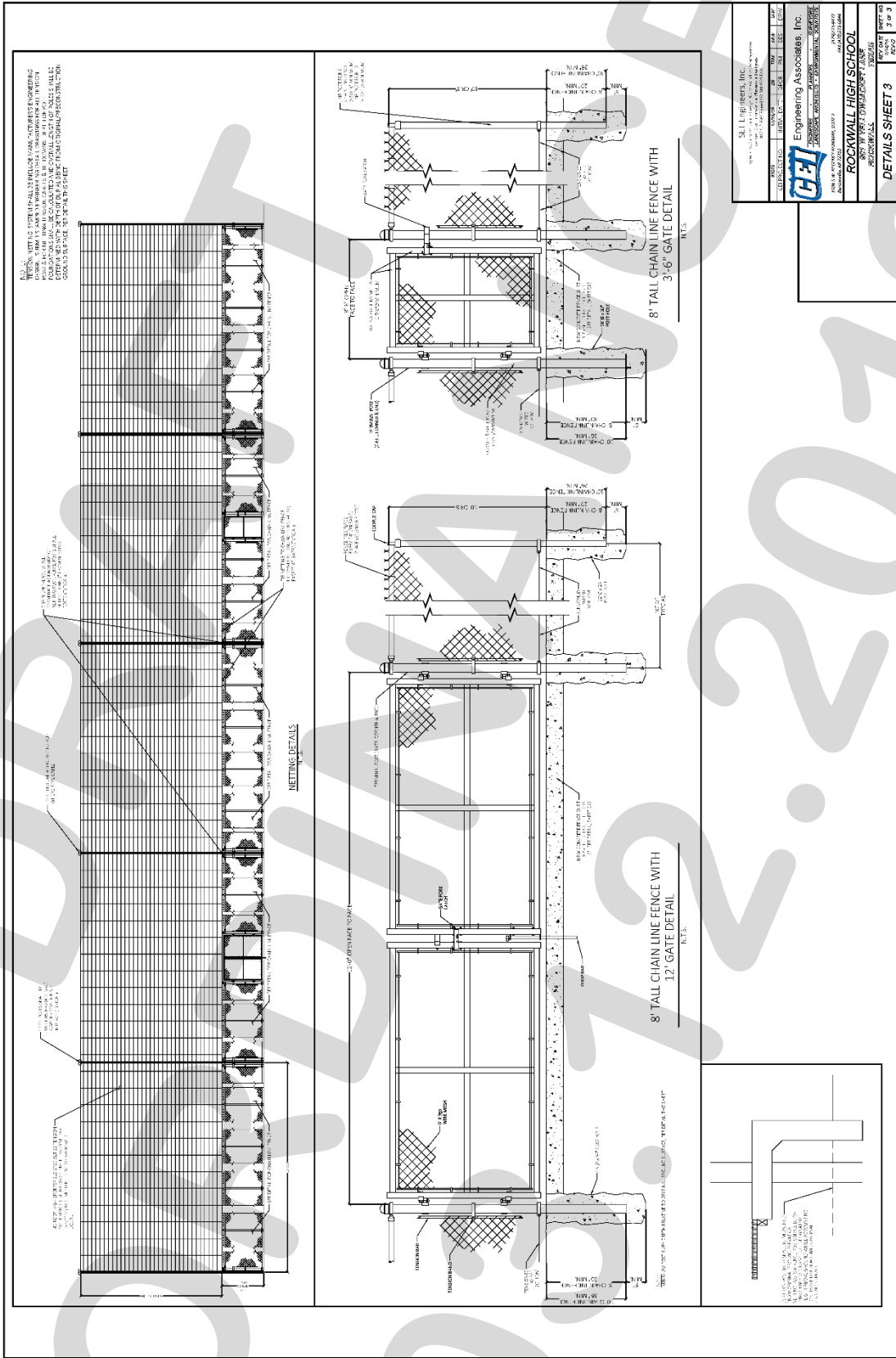
DRAWN BY: JC
 DATE: 2/12/2019
 SCALE: NTS
 PAGE 1 OF 1
 19-8660.AGI



Foot Candle Summary		Foot Warts Summary		Lumen Schedule		Lum. Warts		Attenuation	
Label	Qty	Label	Qty	Symbol	Color	Symbol	Color	LPF	Attenuation
P01	40	AF-750-3-57	8	AF-750-3-57	Blue	AF-750-3-57	Blue	0.950	769
P02	40	AF-750-4-57	8	AF-750-4-57	Green	AF-750-4-57	Green	0.950	769
P03	40	AF-750-3-57	8	AF-750-3-57	Red	AF-750-3-57	Red	0.950	769
P04	40								
P05	40								
P06	40								
P07	40								
P08	40								
P09	40								
P10	40								
P11	40								
P12	40								
P13	40								
P14	40								
P15	40								
P16	40								
TOTAL		24000							

Calculation Summary		Area		Beam Size		Beam Angle		Beam Type	
Symbol	Color	Area	Beam Size	Beam Angle	Beam Type	Beam Type	Beam Type	Beam Type	Beam Type
FOOTBALL	Blue	3667.4100'	3667.4100'	30	30	30	30	30	30
SOCCER	Green	3667.4100'	3667.4100'	30	30	30	30	30	30
FIELD	Red	3667.4100'	3667.4100'	30	30	30	30	30	30

**Exhibit 'D':
Concept Elevations**



Rockwall High School 40' UltraCross® Dyneema Pole-to-Pole Tension Netting

Prepared for: **Paragon Sports Constructors, LLC**

Prepared by: **Sportsfield Specialties, Inc.**

Submitted by: **JJ Darling**
Southwest Regional Sales
Manager

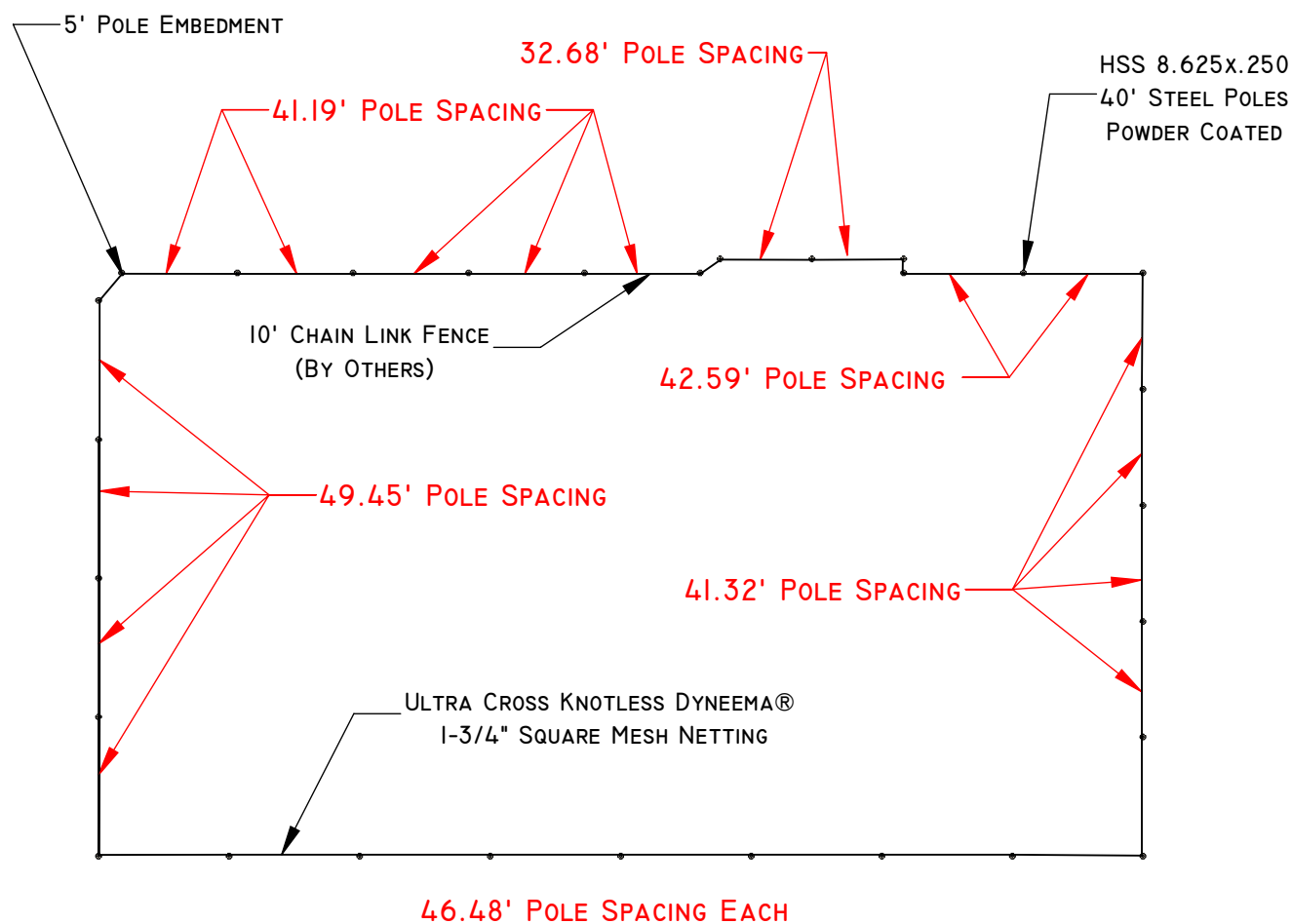


January 31, 2019

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION.

AS A RESULT, SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL.

DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.



Ball Safety Tension Netting System Product Layout Submittal Disclaimer:

This ball safety tension netting system layout document is intended for the sole use of illustrative product submittal review purposes and should not be construed as a product installation document. All final ball safety tension netting system layouts, field dimensions and/or measurements should be both confirmed on the project plans and/or specifications and approved by the project designer of record prior to the start of the product installation.

Sportsfield Specialties, Inc. dba Promats Athletics cannot be held liable for any use of this ball safety tension netting system layout document that deviates and/or differs from the above stated illustrative product submittal review process and furthermore, Sportsfield Specialties, Inc. dba Promats Athletics cannot be held accountable for these actions.

Sportsfield Specialties, Inc. dba Promats Athletics protective netting systems are designed and intended as a complete netting system. In the event your facility purchases an extension to an existing protective netting system, Sportsfield Specialties, Inc. dba Promats Athletics does not make any representations or warranty relating to the overall design of the combined facility and/or the connection points to and the cables that are part of the existing netting system. Owner's decision to proceed with an extension in lieu of a complete new netting system will be at Owner's sole risk and without liability to Sportsfield Specialties, Inc. dba Promats Athletics and Owner shall indemnify and hold harmless Sportsfield Specialties, Inc. dba Promats Athletics from all claims, damages, losses and expenses arising out of or resulting therefrom.

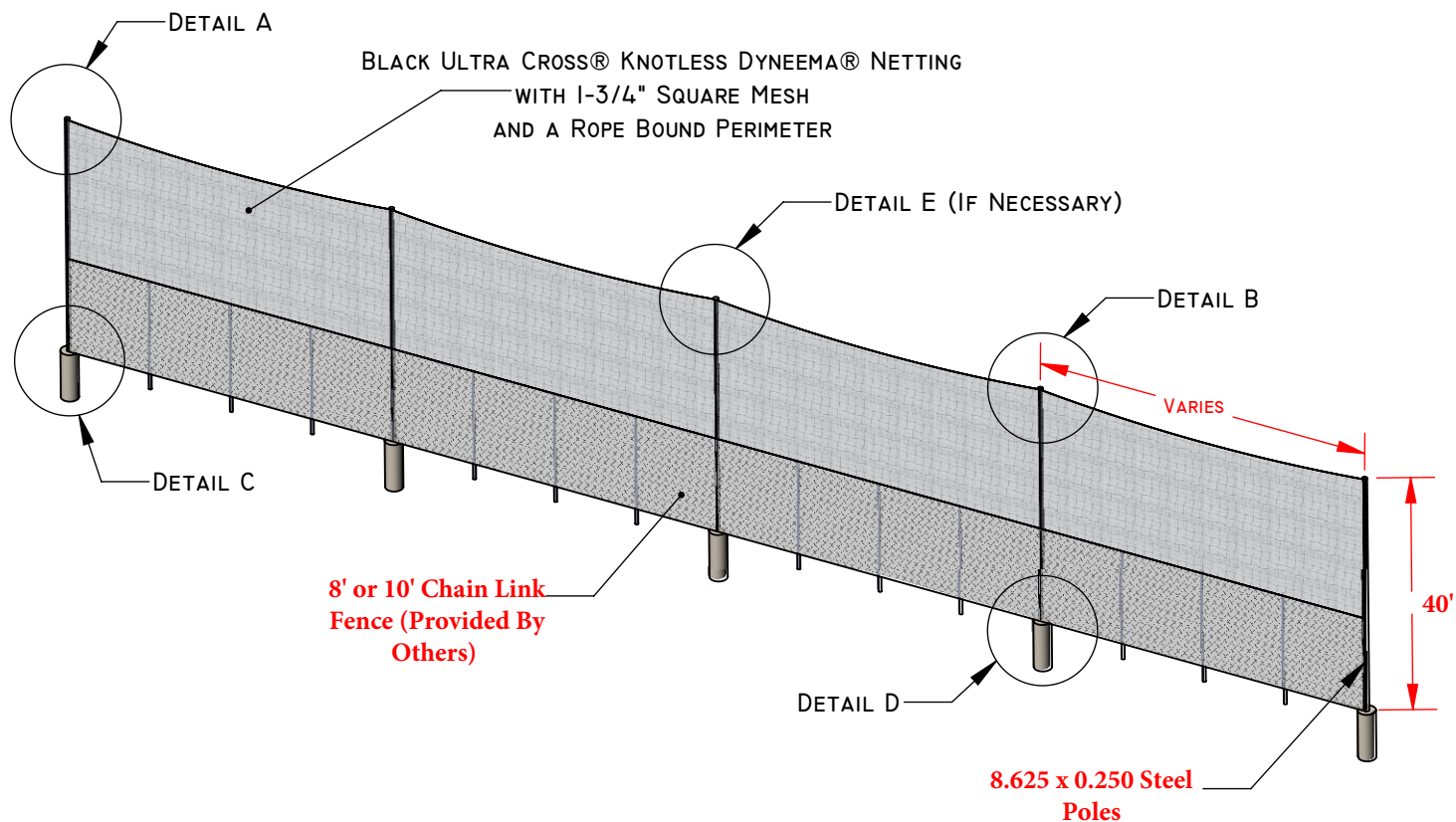
PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SPORTSFIELD SPECIALTIES INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SPORTSFIELD SPECIALTIES INC. IS PROHIBITED.

**ROCKWALL HIGHSCHOOL PERIMETER NETTING
NETTING LAYOUT SUBMITTAL**

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC 2/11/2019

STANDARD BLACK POWDER COATED FINISH



FOUNDATION REQUIREMENTS BASED ON LOCAL CODES AND SOIL CONDITIONS

ALL CUSTOM TENSION NETTING SYSTEM SIZES AND LAYOUTS REQUIRE DESIGN AND PROFESSIONAL ENGINEERING

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION. AS A RESULT SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL. DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.

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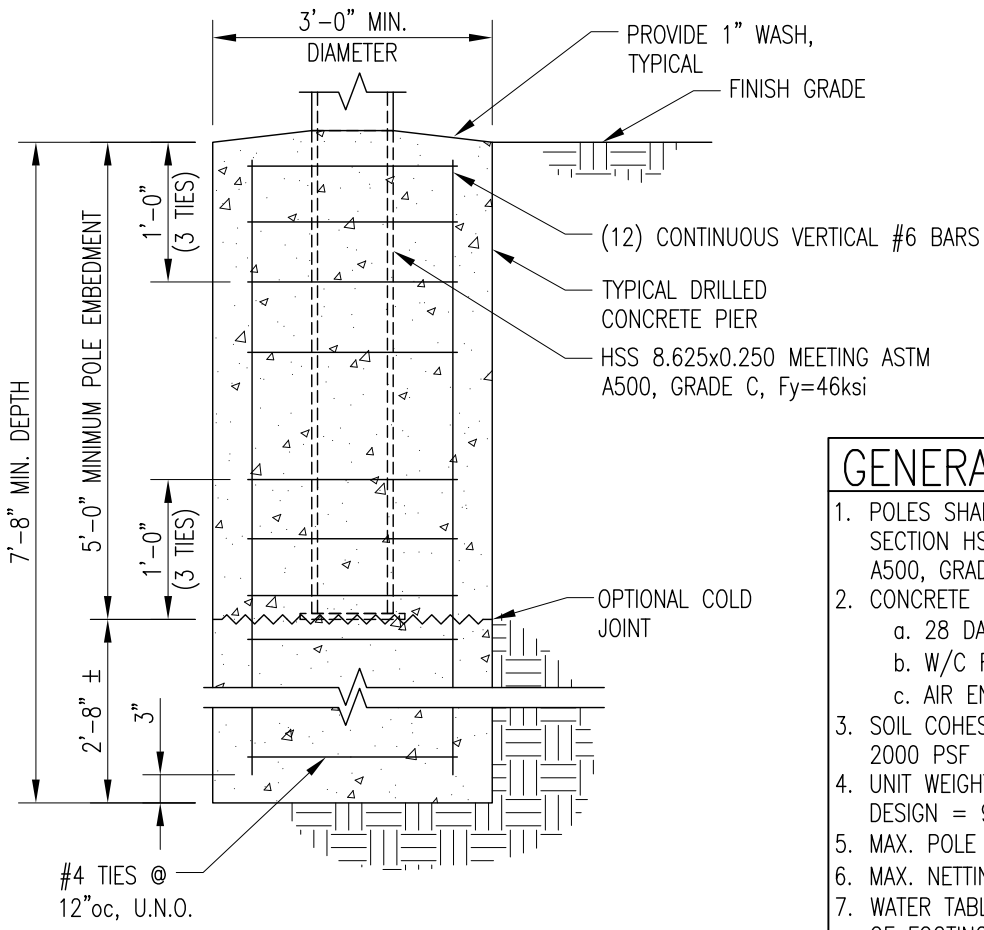
Rockwall HS UltraCross Tension Netting

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC III32018



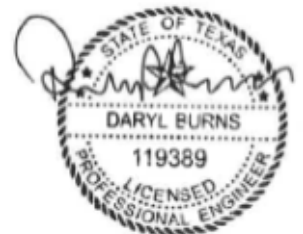
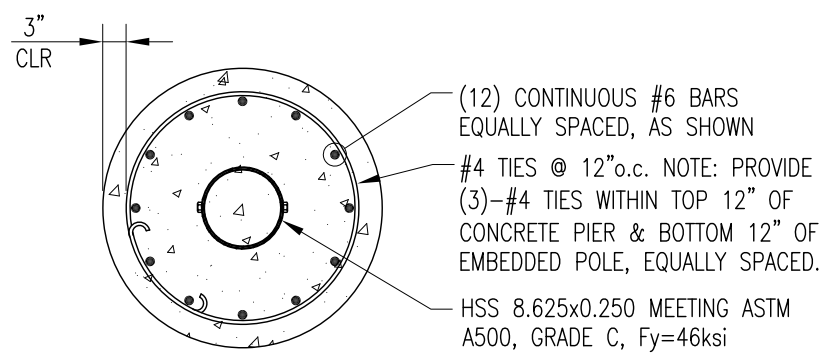
- Length, Height and Configuration as Required
- Ultra Cross **Knotless** Dyneema® Netting
- Dyneema® Ultra-High Molecular Weight Polyethylene (UHMWPE)
SK-75 Black Fiber Construction
- **4 Ply, 1.2 mm (0.0472") Diameter Twine**
- 95% Open Mesh Area (See-Through Visibility)
- **58,445 psi Minimum Breaking Strength**
- 30% Maximum Elongation at Break
- 1-3/4" (44 mm) Square Mesh Size, 0.009 lbs. per Square Foot
- 4 Strand, Braided, Continuous Monofilament Dyneema® Fiber
- Sewn Perimeter Black Multi-Filament Polypropylene Solid Braid Rope
Bound Border - 1/4" Diameter, 530 lb. Minimum Breaking Strength
- Urethane Black Bonded Finish (Other Color Choices Available)
- Strong Resistance to Ultraviolet (UV) Light Degradation
- Excellent Resistance to Chemicals and Water Absorption



FOUNDATION DESIGN IS APPLICABLE FOR BOTH DIRECT EMBEDMENT AND SLEEVED POLES

- SYSTEM NOTES:**
- FOOTING FOR USE WITH ULTRACROSS 1 3/4" NETTING & #9 x 1 3/4" CHAIN LINK FENCE
 - MINIMUM CABLE SAGS 40'-0" SPAN = 12" MIN.
 - DESIGN WIND SPEED FOR BARE POLE = 105mph
 - EXPOSURE CATEGORY B

- GENERAL NOTES:**
- POLES SHALL BE HOLLOW STRUCTURAL SECTION HSS 8.625x0.250 AND MEET ASTM A500, GRADE C, Fy=46ksi
 - CONCRETE SHALL MEET THE FOLLOWING:
 - 28 DAY STRENGTH = 4,000psi (MIN.)
 - W/C RATIO = 0.46
 - AIR ENTRAINMENT = 5.5 +/- 1%
 - SOIL COHESION VALUE USED FOR DESIGN = 2000 PSF
 - UNIT WEIGHT OF SOIL FOR FOUNDATION DESIGN = 93 PCF
 - MAX. POLE HEIGHT = 40'-0"
 - MAX. NETTING HEIGHT = 32'-0" (8' FENCE)
 - WATER TABLE ASSUMED TO BE BELOW BOTTOM OF FOOTING FOR DESIGN.
 - IF FOOTING IS NOT AUGURED, COMPACT SOIL SURROUNDING FOOTING TO 95% MODIFIED PROCTOR.



2/6/19

1 40' NETTING FOOTING DETAILS
 SK-01 SCALE: NONE

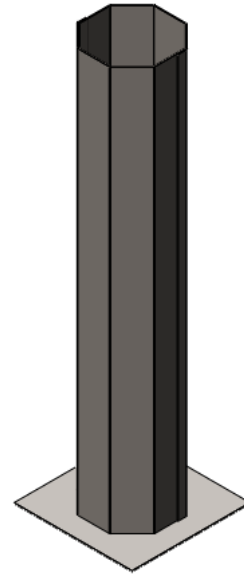
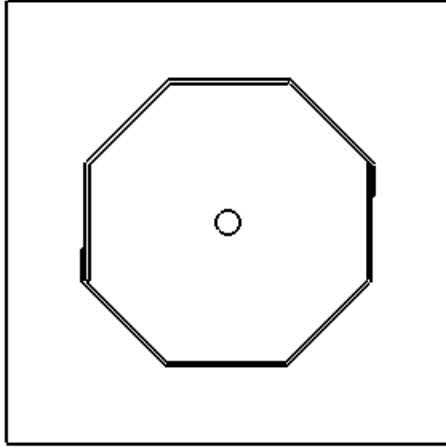
DELTA
 ENGINEERS, ARCHITECTS, & LAND SURVEYORS

860 Hooper Road
 Endwell, New York 13760
 Tel: 607.231.6600
 Fax: 607.231.6651
 Email: mail@deltaengineers.com
 Web: www.deltaengineers.com

Project Name		ROCKWALL HS POLE-TO-POLE TENSION NETTING SYSTEM
Scale		AS SHOWN
Project No.		2019.202.010
Date		FEBRUARY 5, 2019
<small>WARNING: THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER, LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT OR LICENSED SURVEYOR FOR A LICENSED SURVEYOR, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.</small>		

Drawing Title	40' NETTING FOOTING DETAILS
Drawing No.	SK-01

Ground Sleeve Install



1. Mark the locations of the ground sleeves on the field. Being sure to match the center distance to the desired system.
2. Excavate holes for foundations and set the concrete forms.
3. Center the ground sleeve in the form and secure it in a plumb and level position. The top of the ground sleeve should be set according to the site plans (Generally level with Finish Grade).
4. Pour concrete foundation to the top of the sleeve. Allow concrete to adequately cure.
5. Caulk all around the top of the ground sleeve, using backer rod where needed to prevent the caulk from falling into the ground sleeve.

2. Assembling Hardware

- a) Start by laying out the cables to ensure the proper lengths are present for each run. Cut the cable as necessary based on each run, adding a 6" turn back at each end of the cable.
- b) Start the horizontal tensioned cables (5/16" DIA) by assembling a 5/8" x 12" turnbuckle to an eye bolt at one end (Figure 1). The wire will pass through the poles at which the cable run does not terminate (Figure 2). At the poles where the cable run terminates, attach the cable with turn back and rope clips directly to the eye bolt at opposite end (Figure 3).

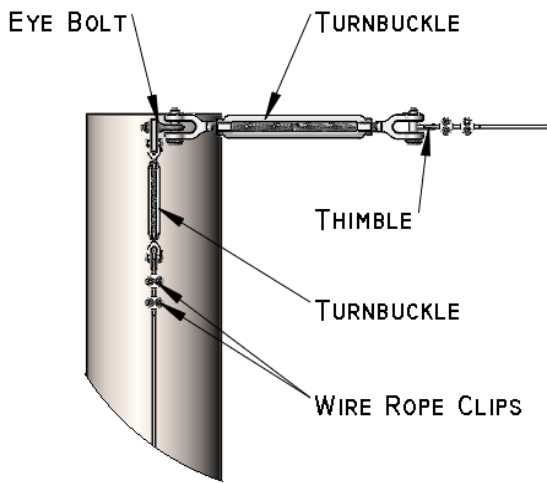


Figure 1

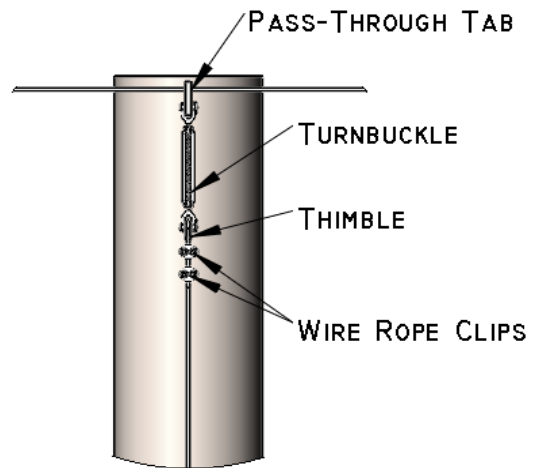


Figure 2

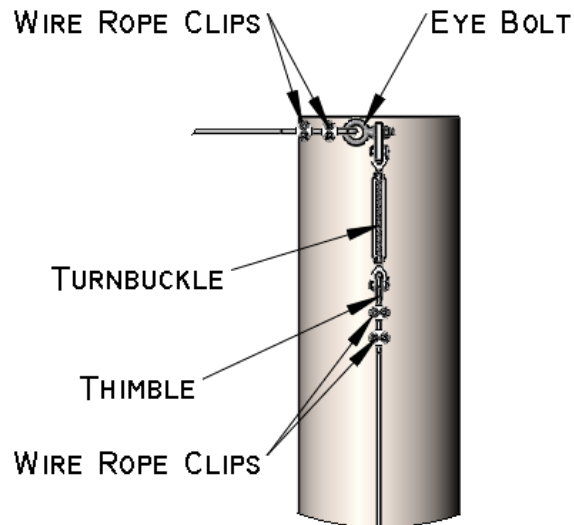


Figure 3

- c) The horizontal cables can be finished with the bottom (1/4" DIA) cable. This cable is assembled the same way as the tensioned cables. Start the cable by attaching to an eye bolt at one end (Figure 4). The cable will pass through a series of eye bolts (recommended 5' spacing) or equivalent guides, then through the poles at which the cable run does not terminate (Figure 5). At the end pole where the cable run terminates, attach the cable (with turn back and rope clips) directly to the eye bolt (Figure 6).

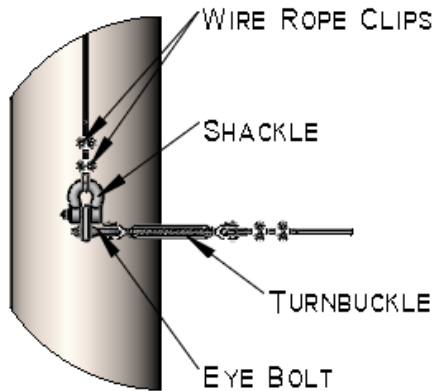


Figure 4

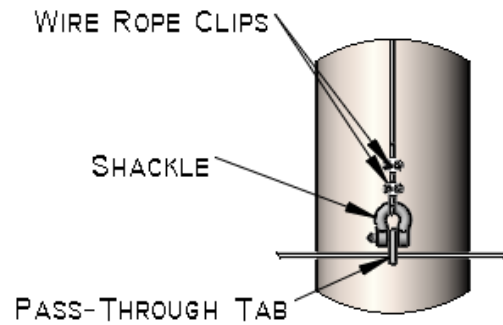


Figure 5

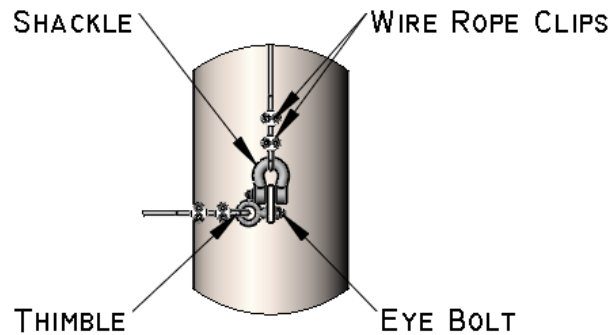


Figure 6

- d) Vertical cables (1/4" DIA) can be done the same way as the tensioned cables, with a 1/2" x 9" turnbuckle at the top of the pole (Figure 7) and a heavy-duty shackle at the bottom of the pole (Figure 9). Make sure to thread the vertical cables through the guide tube (Figure 8).

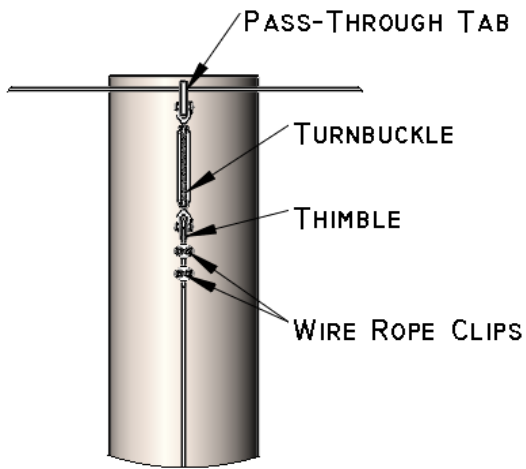


Figure 7

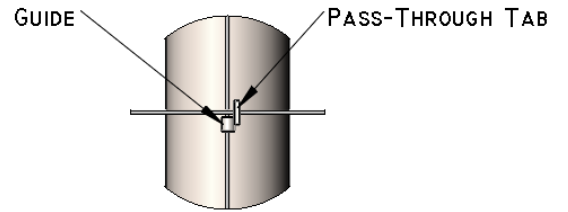


Figure 8

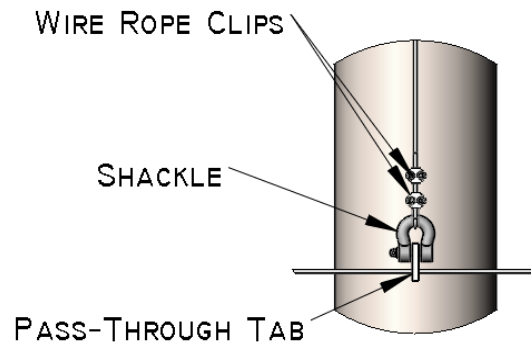


Figure 9

- e) Once all of the cables have been mounted on the poles, tension the horizontal and vertical cables with the turnbuckles. Do not tighten turnbuckles so much that the poles themselves deflect.

- f) Now the nets can be hung from the assembled cables. Using the zip-ties, pull the net to the top, each side cable, the remaining horizontal cables and then the bottom cable. Finally, the net can be secured to the cables using the supplied braided rope, looping through each square of the net binding and around the cable (Figure 10). For Ultra Cross netting systems, it's important to leave excess material along the net perimeter (i.e. no short tag ends and a minimum of one extra square) so that the net intersection doesn't fail prematurely.



Figure 10

SSI tension netting system poles are designed to strength, not deflection. As a result, some deflection will occur during installation and should be considered normal. Deflection may also be evident in calm conditions, particularly on the outer most poles of a given tension netting system.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: March 18, 2019
APPLICANT: Jeff Bresee; *SET Engineers*
CASE NUMBER: Z2019-003; *SUP for RISD Practice Field*

SUMMARY

Hold a public hearing to discuss and consider a request by Jeff Bresee of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) for a Private Sports Arena, Stadium or Track on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

BACKGROUND

The subject property is located at the southeast corner of the intersection of Yellow Jacket Lane and Greencrest Boulevard and is addressed as 901 W, Yellow Jacket Lane. The property was annexed in 1960, is situated within the IH-30 Overlay (IH-30 OV) District, and is zoned Commercial (C) District. On February 18, 1991, the City Council approved a request [Case No. P&Z 91-03-Z/SP/PP] for a change in zoning from a Multi-Family 15 (MF-15) District to a Commercial (C) District. Included with that request was the approval of a site plan and a preliminary plat for a school (*i.e. Rockwall High School*). In June, 1991, the City Council approved a request [Case No. P&Z 91-21-CUP] for a Conditional Use Permit (CUP) [Ordinance No. 91-28] to allow less than 90% masonry materials on the façade of the building, and later amended the Conditional Use Permit (CUP) [Ordinance No. 91-51] to include an additional structure. In August 1998, the City Council approved a site plan [Case No. PZ-1998-39-2] for an additional parking lot for the existing school (*i.e. Rockwall High School*).

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for a *Private Sports Arena, Stadium, or Track* on the subject property. Currently, the Rockwall Independent School District (RISD) utilizes this area as an existing multi-purpose field that serves as a practice facility for various sports (*e.g. softball, baseball, football, soccer, discus, etc.*). According to the applicant, in order to protect vehicles and/or patrons of the commercial businesses (*e.g. Rooms-To-Go, Heritage Buick-GMC, and the future Texas Roadhouse Restaurant and Marriott Towneplace Suites hotel*) adjacent to the field, the school is requesting to construct a 40-foot fence/netting combination around the perimeter of the field.

ADJACENT LAND USES AND ACCESS

The subject property is located 901 W. Yellow Jacket Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Yellow Jacket Lane, which is identified as a M4D (*major collector, four [4]-lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a sports complex (*i.e. Spring Sports Complex*) followed by a single-family residential subdivision (*i.e. Waterstone Estates*). These areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are several commercial businesses (e.g. *Rooms-To-Go and the future Texas Roadhouse and Marriott Towneplace Suites hotel*). Beyond this is IH-30, which is identified as a *TxDOT Roadway* on the City's Master Thoroughfare Plan. Following this are several commercial businesses (e.g. *Sleep Experts, FedEx, and Chipotle*) that are zoned Commercial (C) District.

East: Directly east of the subject property is a car dealership (i.e. *Heritage Buick-GMC*) followed by Kyle Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this is a Rockwall Independent School District (RISD) athletics field for track and field events, and a multi-family residential development (i.e. *Missions Rockwall Apartments*). These areas are zoned Commercial (C) and Multi-Family 14 (MF-14) Districts. Beyond this are two (2) car dealerships (i.e. *Rockwall Chrysler and Rockwall Ford*) that are zoned Commercial (C) District.

West: Directly west of the subject property is a tract of land that is being developed for a hotel (i.e. *Marriott Towneplace Suites*). Beyond this is a vacant tract of land followed by Greencrest Boulevard, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Following, are several commercial businesses (e.g. *Dominos, Fireside Chicken and Tacos, Wal-Mart*) that are zoned Commercial (C) District.

CHARACTERISTICS OF THE REQUEST

The applicant is proposing to replace the existing natural grass field with artificial turf, to utilize a ten (10) foot tall black vinyl coated chain link fence installed one (1) foot inside the boundaries of the practice field. The fence will be topped with 30-foot tall black netting and lights, which will be installed at the top of the poles adjacent to the north and south boundaries of the field. The proposed field will be serve as a practice field for the school's sports teams, intramural sports, physical education classes, and some other uses not identified by the applicant. According to the applicant, the field will be utilized mostly during the day; however, the applicant intends on the field being utilized (on a limited basis) at night. According to the applicant, this project is a part of the Rockwall Independent School District's (RISD's) bond program that includes a provision for a practice facility for the softball and baseball team. Granting this request will enable the field to be more functional and meet that purpose.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 3.3, *Minimum Requirements*, of Section 3, *Outdoor Lighting for Non-Residential Properties*, of Article VII, *Environmental Performance*, of the Unified Development Code (UDC), "...the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one [1] footcandle (FC)..." It goes on to state "...for planned shopping centers or other commercial developments that contain more than one (1) lot, the Planning and Zoning Commission may consider lighting plans that result in light spillover across common lots within the same development...however; in no case shall light levels exceed 0.2 of one [1] footcandle (FC) at the property lines adjacent to the street and/or along the perimeter of the development..." In this case, the photometric plan submitted by the applicant shows that the light intensity along the east and west boundaries range from 0.1 FC to 0.3 FC. Along the north and south boundaries (i.e. *where the lights will be installed*), the light intensity range from 0.1 FC to 0.9 FC. Staff should note, this practice field is located toward the rear of the school (i.e. *away from the property lines adjacent to the street*) and this request does not appear to affect the light intensity levels adjacent to the street (i.e. *adjacent to Yellow Jacket Lane*). With that being said, since the proposed lighting exceeds the maximum light intensity of 0.2 FC at the southeast property line approving this request will effectively waive the lighting requirements with regard to lighting spillover. Additionally, the Unified Development Code (UDC) requires that light sources be oriented down and toward the center of the site or shielded so as not to be visible from the property line. The proposed light fixtures will be oriented toward the center of the site and partially shielded; however, due to the proposed use (i.e. *to light a practice field*) combined the height of the light poles (i.e. *40-feet in height*), there is a possibility that the lights will be visible from the property line. Since this does not meet the requirements of the Unified Development Code (UDC),

approving this request will effectively waive the lighting requirements with regard to the shielding and orientation of the lights. Subsection 6.01G, *Lighting Standards*, of Subsection 6.01, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), "...any light fixture, light pole, pole base, or a combination thereof shall not exceed a height of 30-feet..." within the IH-30 Corridor Overlay (IH-30 OV) District. In this case, the proposed light fixtures will be mounted on the top of 40-foot tall light poles and oriented toward the field. Since this exceeds the maximum allowable height of 30-feet, approval of this request will effectively waive the lighting requirements with regard to the maximum allowable height of light poles within the IH-30 Overlay (IH-30 OV) District.

Article XI, *Fences*, of Chapter 10, *Buildings and Building Regulations* of the Municipal Code of Ordinances requires all chain link fences to be setback a minimum of 10-feet from the property line unless "...completely screened from the adjacent public areas by a structure or a solid landscape screening..." In this case, the proposed fence appears to be partially screened from Yellow Jacket Lane by the main building and partially screened from IH-30 by the adjacent commercial business (*i.e. Rooms-To-Go and Heritage Buick-GMC*) and will seemingly have limited visibility from Yellow Jacket Lane and IH-30. With that being said, the City Council is tasked with determining if the existing buildings provide sufficient screening of the adjacent public areas, if additional screening/landscaping is required, and/or if approval of this request is warranted.

STAFF ANALYSIS

When analyzing the applicant's request (*i.e. to install fencing, netting, and lighting on the practice field*), it appears that the proposal generally conforms to the Unified Development Code (UDC) with the exception of the items listed above. Given the proposed use (*i.e. a practice field*), one could reasonably expect this type of development to vary from the lighting standard. Typical fields of this type appear to utilize similar light fixtures. According to the applicant, the proposed lighting is designed to provide the *minimum level* of light needed for a practice field (*i.e. the design is lower intensity than typical stadiums and other competition facilities*). The applicant has stated that since the surrounding properties are commercial land uses and utilizes similar lighting, the proposed lighting will not adversely affect the neighboring properties. Staff should note, although the neighboring commercial businesses utilize lighting that is similar in *height*, the light fixtures are shielded and oriented downward. The Unified Development Code (UDC) allows the Planning and Zoning Commission to consider lighting plans that result in spillover for planned shopping centers or other commercial developments with common lot lines. Although Rockwall High School and the adjacent commercial developments are not considered to be a planned shopping center, the adjacent commercial businesses and the main building on campus seem to serve as a buffer from the residential properties to the north. When looking at the proposed chain link fence and netting, the fence appears to have limited visibility from IH-30. Specifically, the Rooms-To-Go, which is located adjacent to the practice field, ranges from 28-feet to 43-feet in height. Additionally, the Room-To-Go appears to rest at a slightly higher elevation than the practice field (*i.e. ~572-feet v. s. 570-feet above sea level*); however, this does not negate the possibility of the netting and lights being visible from IH-30. Given the location of the proposed field combined with the height of the proposed netting and lights, the Planning and Zoning Commission is tasked with considering if this request will adversely affect the neighboring properties and providing a recommendation to the City Council. Should this request be approved, staff has recommended to the applicant to provide a thick vegetative screening along the adjacent property lines (outside of the fence), which consists of a combination of mature trees, bushes, and tall grasses. This will require the applicants to provide staff with an updated concept plan reflecting the proposed screening. Additionally, this may require that the proposed fence is shifted inward to accommodate the additional landscaping. At the Planning and Zoning Commission meeting on March 12, 2019, the applicant stated that he did not wish to provide additional landscaping citing disfavor of maintaining the landscaping.

NOTIFICATIONS

On February 22, 2019, staff mailed notifications to 39 property owners/residents within 500-feet of the subject property. Additionally, staff notified the Turtle Cove and Waterstone Homeowner's Associations

(HOA's), which are the only Homeowner's Associations/Neighborhood Organizations that are within 1,500-feet of the subject property and participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

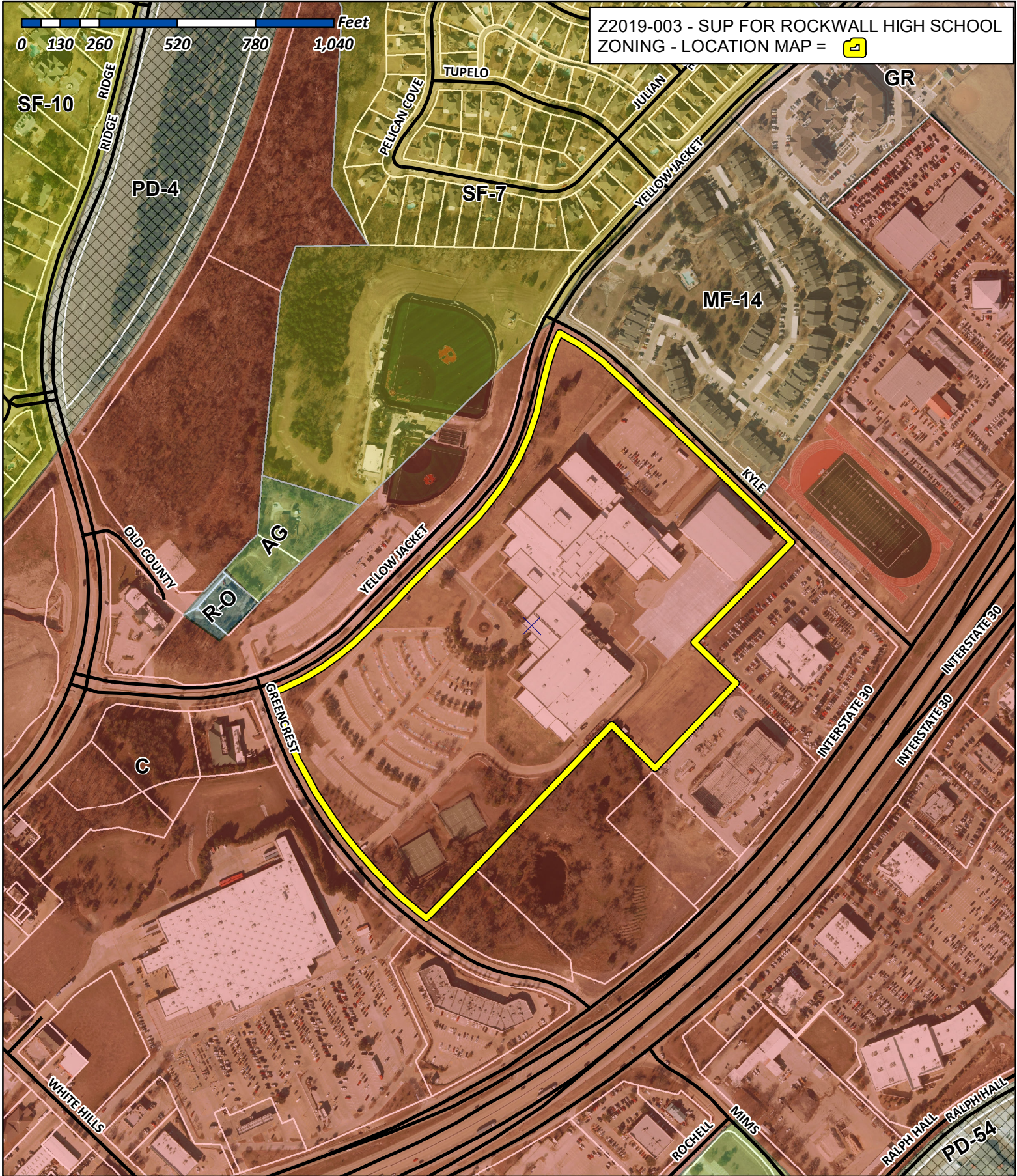
CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request, staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and summarized as follows:
 - a) The private arena, stadium, or track shall generally conform to concept and photometric plans and elevations depicted in Exhibits 'B', 'C', and 'D' of the attached ordinance;
 - b) The applicant shall provide a thick vegetative screening utilizing a combination of mature trees, bushes, and/or grasses adjacent to the property line;
 - c) The applicant shall submit a revised concept plan showing the location of the proposed landscaping; and
 - d) The light fixtures shall not be mounted above 40-feet in height.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 12, 2019, the Planning and Zoning Commission's motion to recommend approval of the Specific Use Permit (SUP) with staff's *Conditions of Approval* passed by a vote of 4-0 with Chairman Lyons and Commissioners Logan and Moeller absent.



Z2019-003 - SUP FOR ROCKWALL HIGH SCHOOL ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

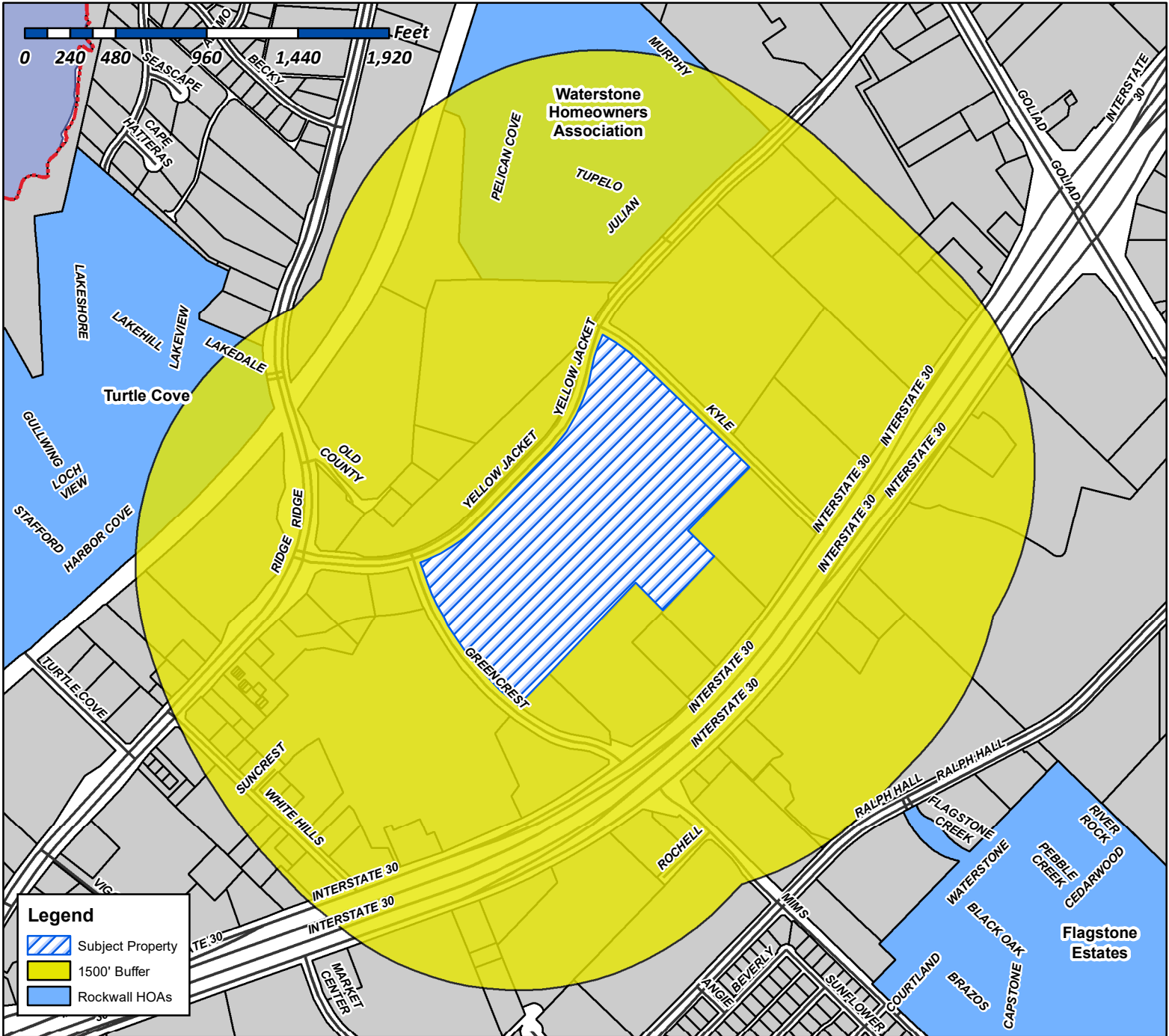




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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/19/2019
For Questions on this Case Call (972) 771-7745



Brooks, Korey

From: Morales, Laura
Sent: Friday, February 22, 2019 1:35 PM
To: [REDACTED]
Cc: Miller, Ryan; Gonzales, David; Brooks, Korey
Subject: Neighborhood Notification Program: Notice of zoning request
Attachments: HOA Map.pdf; PUBLIC NOTICE.PDF

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **February 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 3/12/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Tuesday, 3/18/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

Z2019-003 Hold a public hearing to discuss and consider a request by Jeff Bresee of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) for a Private Sports Arena, Stadium or Track on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

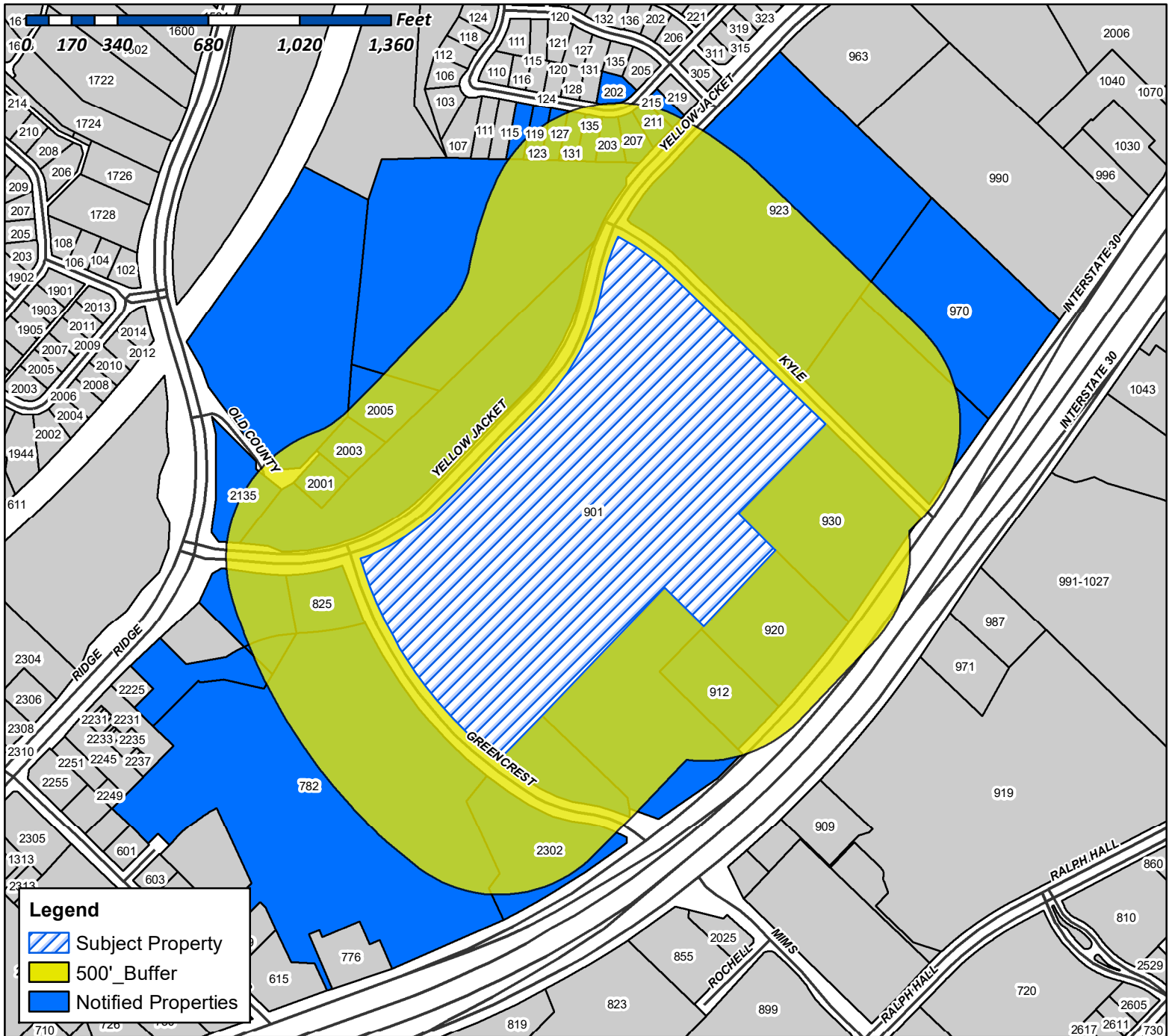
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com/planning/>



City of Rockwall

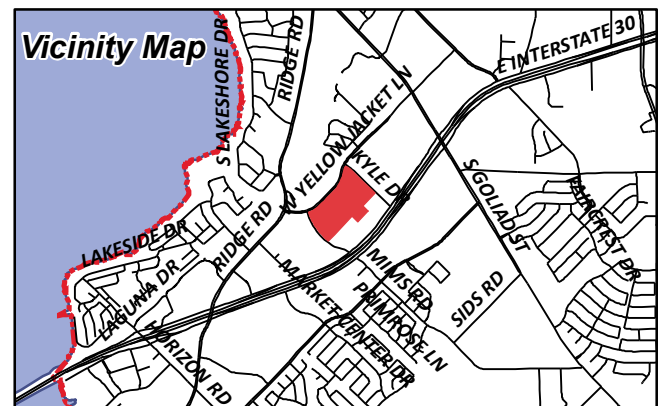
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Case Number: Z2019-003
Case Name: SUP for Rockwall High School
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 901 W. Yellowjacket Lane

Date Created: 2/15/2019
For Questions on this Case Call (972) 771-7745



MIKULSKI ANTONY AND MICHELLE
119 JULIAN DR
ROCKWALL, TX 75087

WOODWARD LAURA
123 JULIAN DR
ROCKWALL, TX 75087

RYAN BRIAN
127 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
131 JULIAN DR
ROCKWALL, TX 75032

GIPSON CAMERON
135 JULIAN DRIVE
ROCKWALL, TX 75087

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

JLIU ASSET MANAGEMENT LTD
1711 E BELTLINE RD
COPPELL, TX 75019

CURRENT RESIDENT
2001 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2003 RIDGE RD
ROCKWALL, TX 75032

FAHERTY FRANK
2005 RIDGE RD
ROCKWALL, TX 75087

SHIPP DONALD W & MAUREEN
202 JULIAN DR
ROCKWALL, TX 75087

ANDREWS GRACE L
203 JULIAN DR
ROCKWALL, TX 75087

SINGH RITU W AND
207 JULIAN DRIVE
ROCKWALL, TX 75087

PROCK CHARLES
209 RUSSELL DR
ROCKWALL, TX 75032

WHITTAKER SANDRA
211 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75032

HARPER EMILY ERIN
215 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2302 GREENCREST BLVD
ROCKWALL, TX 75032

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

ROCKWALL-PINE PROPERTIES LLC
400 PERIMETER CENTER TERRACE 0
ATLANTA, GA 30346

IN YUNG H &
512 SUNSTONE DR
IRVING, TX 75060

SYVRUD JAMES P & MARY JEAN
519 E INTERSTATE 30
ROCKWALL, TX 75087

IX MC 923 YELLOW JACKET LANE LP
591 W PUTNAM AVE
GREENWICH, CT 06830

GAMEZ SUSAN AND
602 LAURENCE
HEATH, TX 75032

ROADHOUSE ENTERPRISES INC
6040 DUTCHMANS LANE
LOUISVILLE, KY 40205

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75032

ROCKWALL DIRT CO LTD
800 GESSNER RD 0
HOUSTON, TX 77024

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
825 YELLOW JACKET LN
ROCKWALL, TX 75032

CURRENT RESIDENT
901 YELLOWJACKET RD
ROCKWALL, TX 75032

CURRENT RESIDENT
912 E I30
ROCKWALL, TX 75032

CURRENT RESIDENT
920 I-30
ROCKWALL, TX 75032

CURRENT RESIDENT
923 YELLOW JACKET LN
ROCKWALL, TX 75032

TARBELL AUTOMOTIVE INC
930 E I-30
ROCKWALL, TX 75087

CURRENT RESIDENT
970 E I30
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 0
AGOURA HILLS, CA 91301

ROCKWALL ASC REAL ESTATE LLC
PO BOX 1208
ROCKWALL, TX 75087

WAL-MART REAL ESTATE
PO BOX 8050
BENTONVILLE, AR 72712

ROCKWALL RENTAL PROPERTIES LP
PO BOX B
TERRELL, TX 75160



February 13, 2019

David Gonzales, AICP
City of Rockwall Texas
385 S. Goliad Street

Re: Rockwall High School Multipurpose Synthetic Turf Field – Field Netting & Lights

Dear Mr. Gonzales:

Rockwall ISD desires to convert their existing natural grass multipurpose field at Rockwall High School (field that lies immediately North of Rooms-To-Go) into a synthetic turf field. As this field is surrounded by commercial properties on three sides, in order to protect vehicles and/or patrons at these businesses, the school desires to construct a 40-foot tall fence/netting combination (10-foot black coated vinyl chain link fence topped with 30-foot black netting) around the perimeter of the field. This will also enable the fields to be more functional for their intended purpose (project is part of RISD's bond program to provide a practice facility for the softball and baseball teams (although the field will be used for football, soccer, discus and lacrosse practice as well) and it will prevent balls from leaving the field area.

In addition to the netting system, the District desires to install lights atop each of the netting poles that align the North and South sides of the field. As the field will be used by many of the school's sports teams for practice as well intermural teams, PE and other uses, it is desired that the field be made useable during night hours (limited of course by city ordinance).

In adding the lights, the District is seeking variance to the ordinance limiting light spillage to 0.2 lumens or less beyond the line 1-foot outside of the District's property lines. The design of the proposed lights (for which we have included a photometric plan) is to provide the minimum level of light needed for the practice of school sports (design is not to the level typical for stadiums and other competition facilities). As the surrounding properties are commercial entities that also light their grounds, the District feels that the proposed lighting design will not adversely affect the neighboring properties.

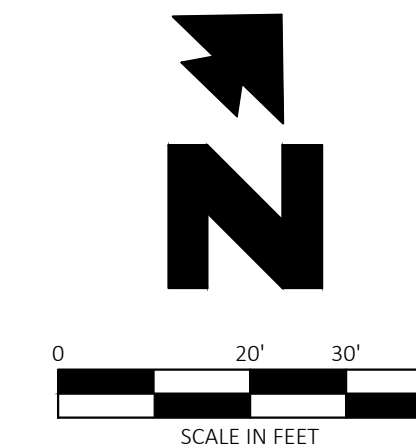
I have included cut sheet information for the netting system and the lights. Please let me know if you need anything further or have any questions.

Sincerely,

SET Engineer, Inc.

A handwritten signature in blue ink that reads "Jeff Bresee". The signature is written in a cursive, flowing style.

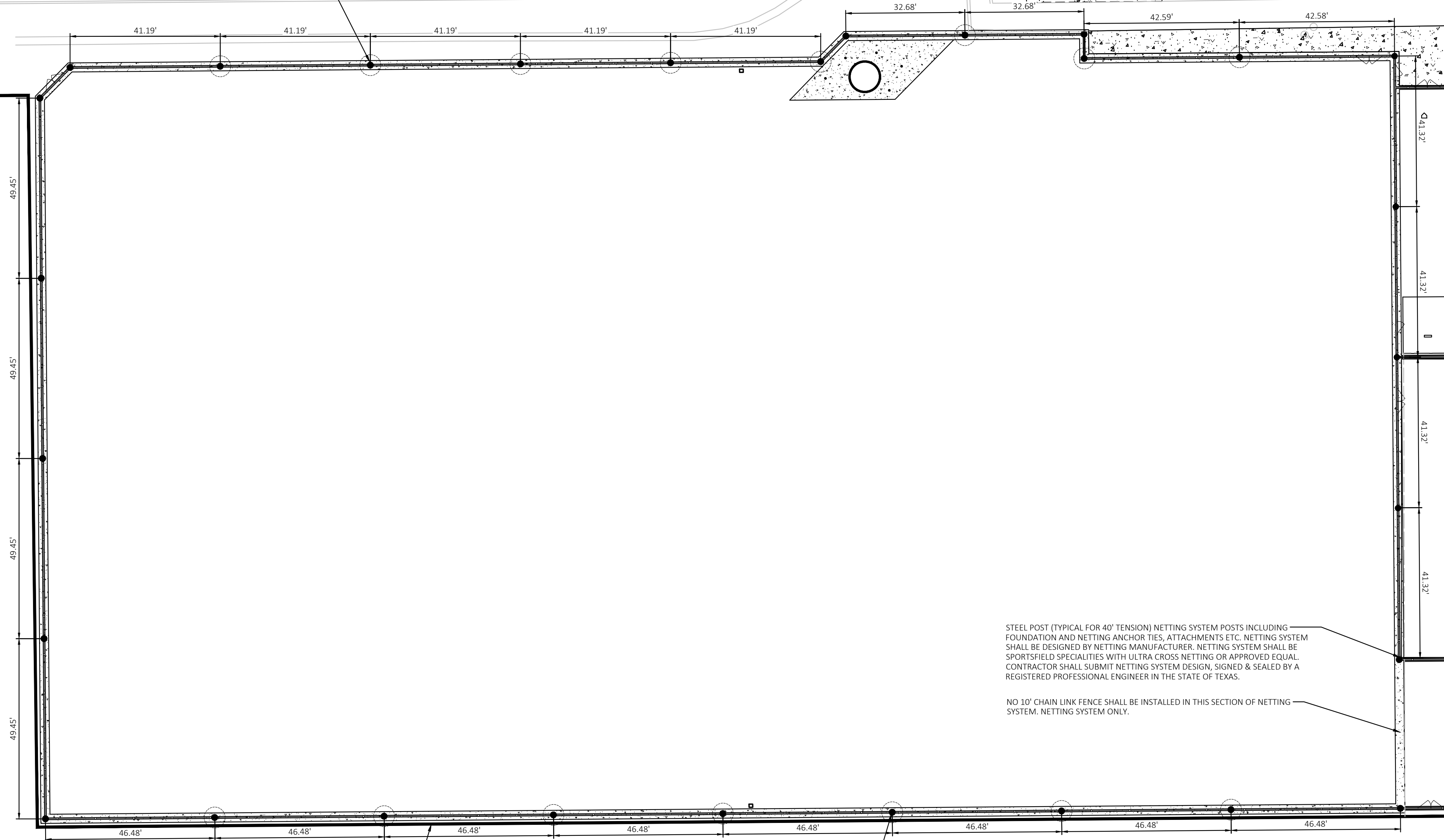
Jeff Bresee, P.E.



LEGEND

EXISTING		
	EAST OR ELECTRIC	
	NORTH	
	OVERHEAD	
	SOUTH OR SEWER	
	TELEPHONE	
	UNDERGROUND	
	WEST OR WATER	
	PROPERTY LINE	
	RIGHT OF WAY LINE	
	STORM DRAIN	
	X\"G	
	OHE	
	OHE&T	
	OHT	
	OHTV	
	X\"SS	
	UGE	
	UGE&T	
	UGT	
	UGTV	
	X\"W	
	.5-10-11 50.5	
		TREE INFO
		.5 = DIAMETER OF TRUNK IN FEET
		10 = HEIGHT OF TREE IN FEET
		11 = CANOPY DIAMETER IN FEET
		50.5 = ELEVATION AT BASE OF TREE

POLES ON SOUTH SIDE SHALL HAVE FIELD LIGHTS ATTACHED AT TOP OF POLE



STEEL POST (TYPICAL FOR 40' TENSION) NETTING SYSTEM POSTS INCLUDING FOUNDATION AND NETTING ANCHOR TIES, ATTACHMENTS ETC. NETTING SYSTEM SHALL BE DESIGNED BY NETTING MANUFACTURER. NETTING SYSTEM SHALL BE SPORTSFIELD SPECIALITIES WITH ULTRA CROSS NETTING OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT NETTING SYSTEM DESIGN, SIGNED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS.

NO 10' CHAIN LINK FENCE SHALL BE INSTALLED IN THIS SECTION OF NETTING SYSTEM. NETTING SYSTEM ONLY.

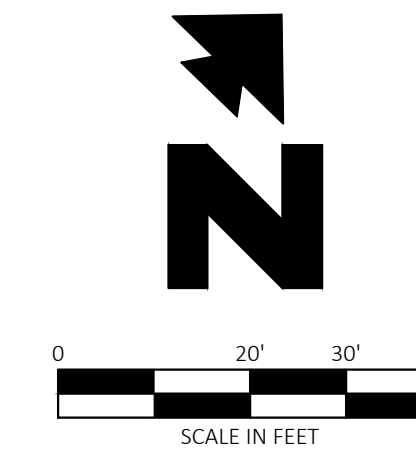
POLES ON SOUTH SIDE SHALL HAVE FIELD LIGHTS ATTACHED AT TOP OF POLE

NETTING POLE (TYPICAL)

JOB # 31023 DRAWING: 31023-GR.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023.0\Drawings\Design\Rev-1\31023-GR.dwg

F-7524

SET Engineers, Inc. Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712			(479)273-9472 FAX (479)273-0844		
ROCKWALL HIGH SCHOOL 901 W YELLOWJACKET LANE ROCKWALL, TEXAS					
40- FOOT NETTING POST LOCATIONS				REV DATE 2/14/19 REV-0	SHEET NO. 2 OF 3

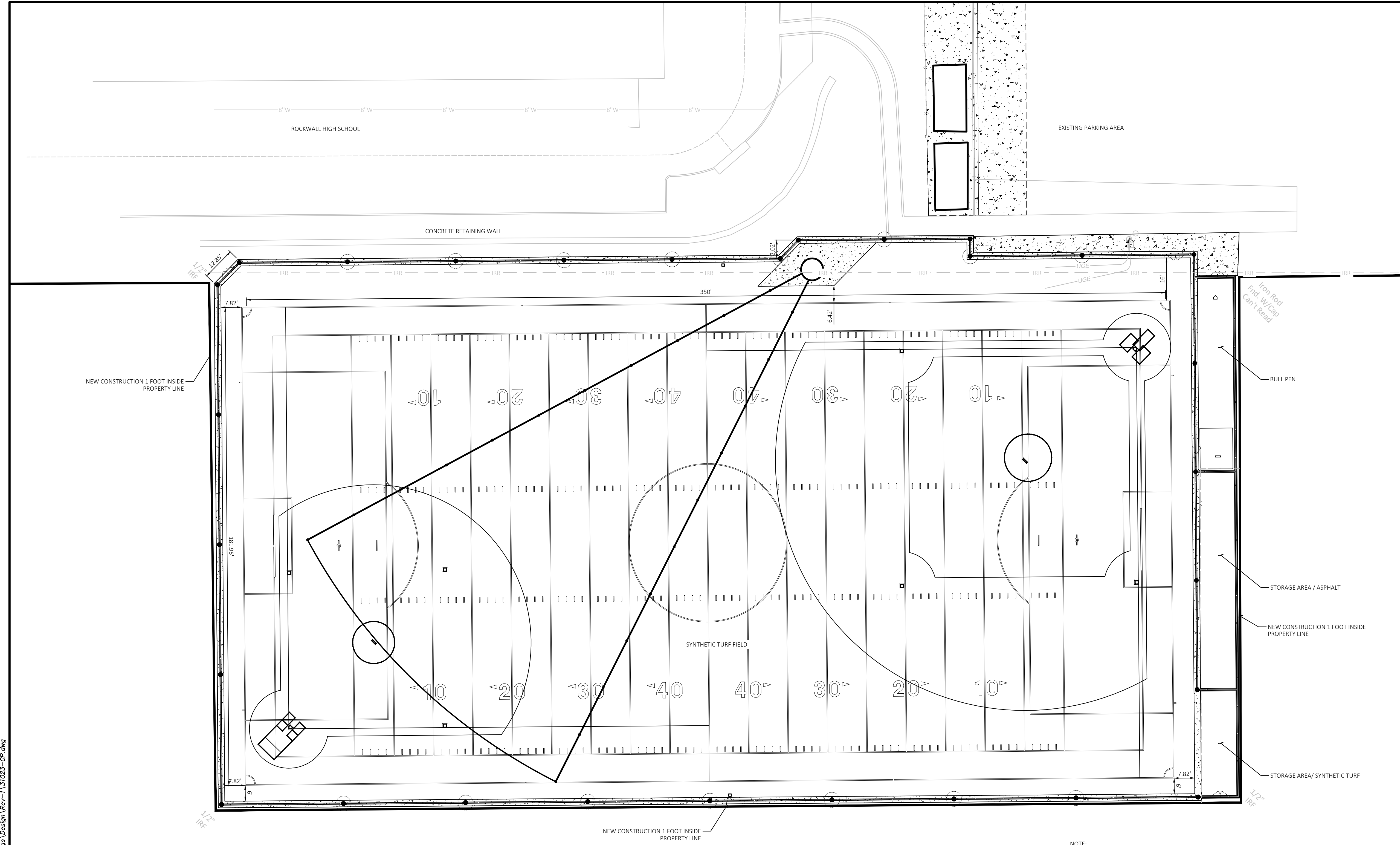


LEGEND

EXISTING			
—E—	EAST OR ELECTRIC	—OHT—	OVERHEAD TELEPHONE
—N—	NORTH	—OHTV—	OVERHEAD TV
—OS—	SOUTH OR SEWER	—X"SS—	SANITARY SEWER
—T—	TELEPHONE	—UGE—	UNDERGROUND ELECTRIC
—UB—	UNDERGROUND	—UGE&T—	UNDERGROUND ELECTRIC AND TELEPHONE
—W—	WEST OR WATER	—UGT—	UNDERGROUND TELEPHONE
---	PROPERTY LINE	—UGTV—	UNDERGROUND TV
---	RIGHT OF WAY LINE	—X"W—	WATER
---	STORM DRAIN	—X"G—	GAS
---	X"G	—OHE—	OVERHEAD ELECTRIC
---	OHE	—OHE&T—	OVERHEAD ELECTRIC AND TELEPHONE
---	5-10-11 50.5		TREE INFO: .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE

FIELD EQUIPMENTS TO BE PROVIDED BY CONTRACTOR

- SYNTHETIC TURF BASE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 6 BASES TOTAL.
- SYNTHETIC TURF HOME PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- SYNTHETIC TURF PITCHERS PLATE, SPORTS FIELD SPECIALTIES TURF BASE OR EQUAL 2 PLATES TOTAL.
- PORTABLE FOOTBALL GOAL POST, AAE SPORTS, ROLLAWAY H GOAL POST (HS), OR EQUAL, TWO GOAL POSTS TOTAL.
- PORTABLE SOCCER GOAL POST KWIK GOAL EVO II, SOCCER GOAL WITH WHEELS OR EQUAL 2 GOALS TOTAL.



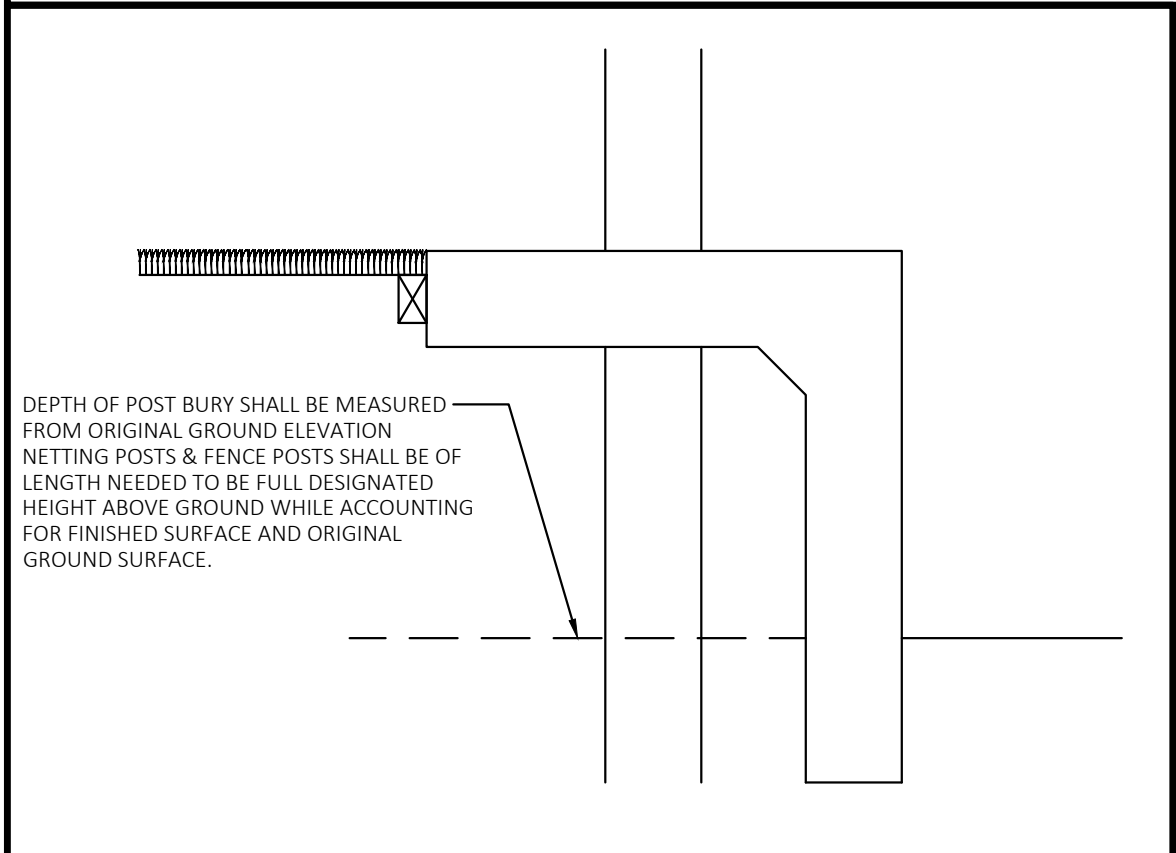
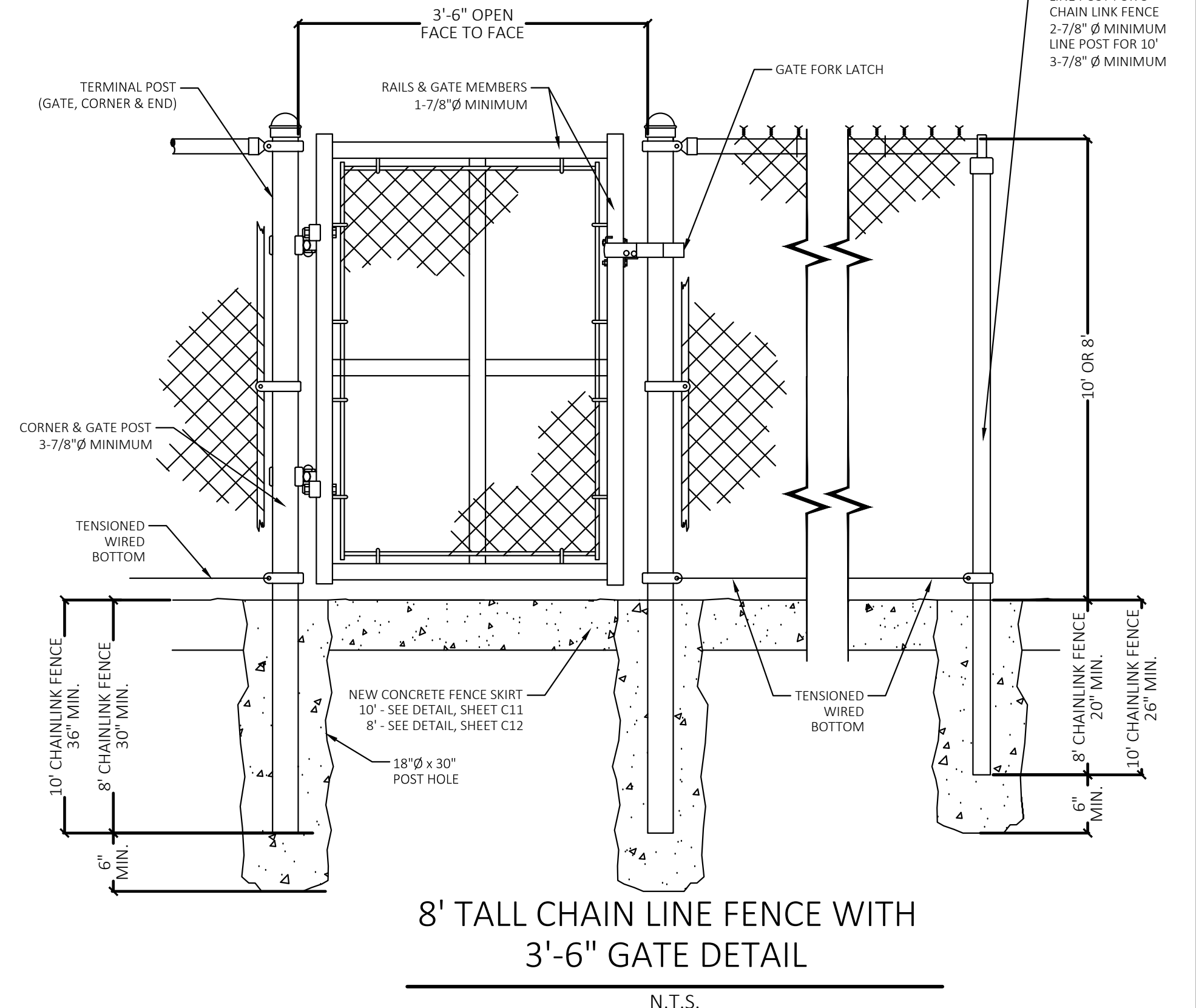
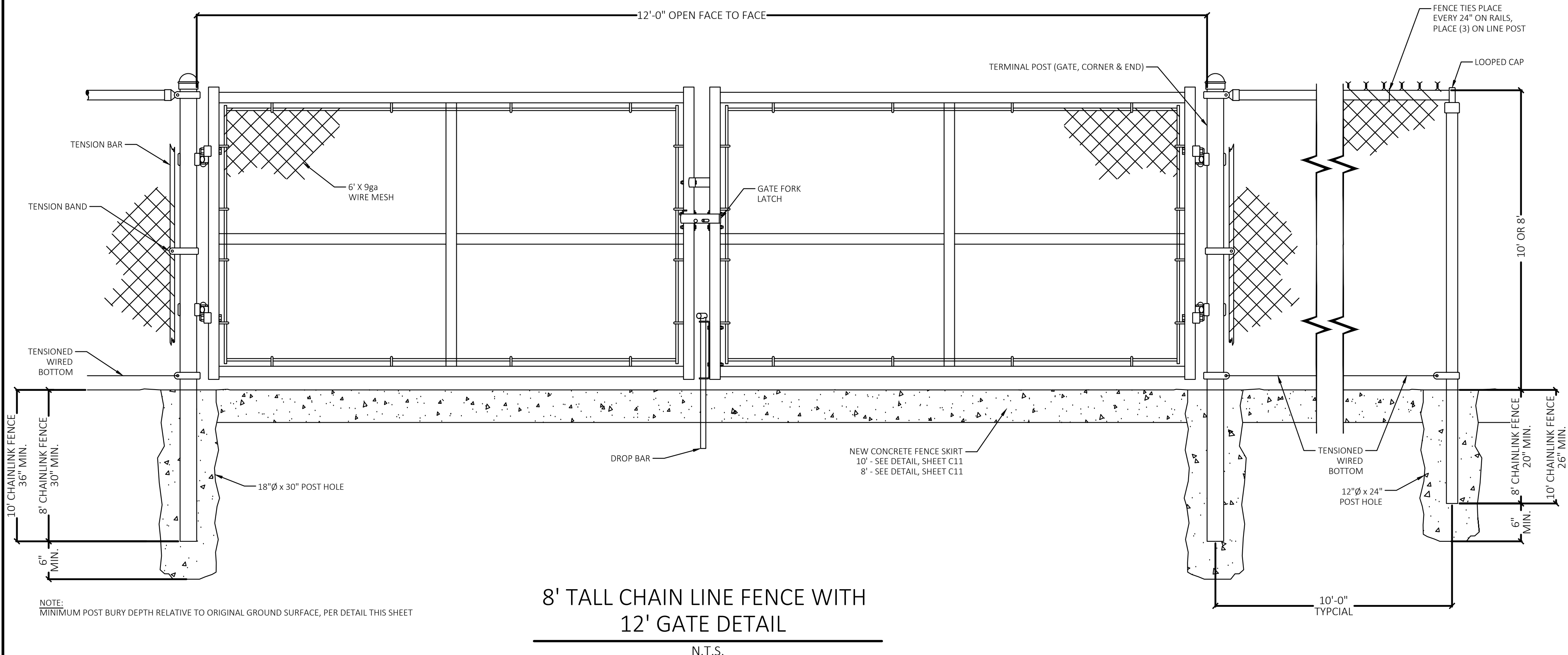
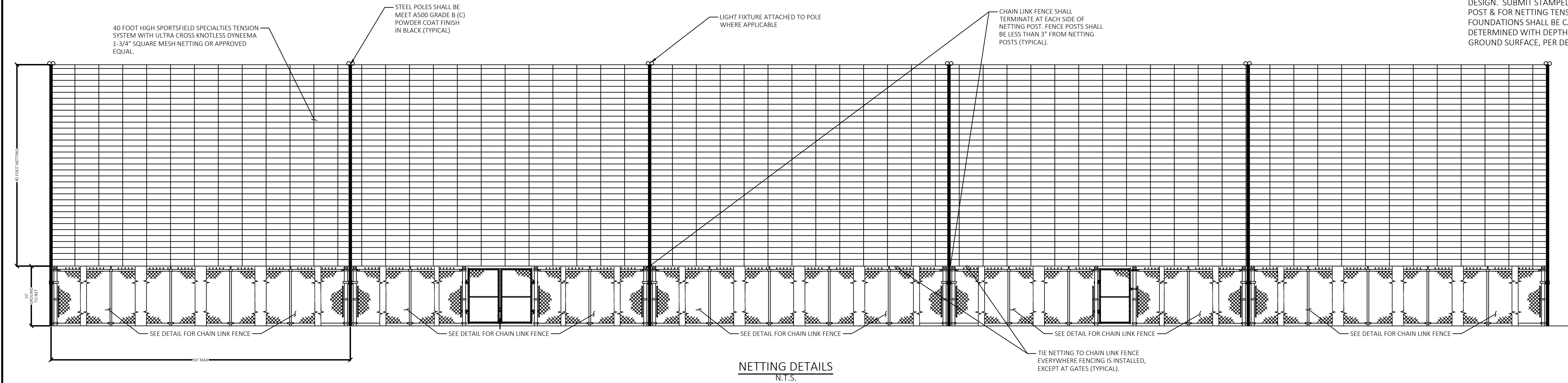
NOTE:
TOTAL DEVELOPED
AREA= 1.870 ACRES

JOB # 31023 DRAWING: 31023-CP.dwg LAST SAVED BY: SALAM LOCATION: P:\310203\31023\Drawings\Design\Rev-1\31023-CP.dwg

F-7524

<p>SET Engineers, Inc. Experts in Outdoor Sports Design & Construction Management Licensed Civil Engineers • Planners • Designers 817-507-8303 Phone 682-518-9825 FAX</p>					
31023	2/14/19	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
<p>CEI Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS</p>					
<p>3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712</p>			<p>(479)273-9472 FAX (479)273-0844</p>		
<p>ROCKWALL HIGH SCHOOL 901 W YELLOWJACKET LANE ROCKWALL, TEXAS</p>					
<p>SITE PLAN</p>				<p>REV DATE 2/14/19 REV-0</p>	<p>SHEET NO. 1 OF 3</p>

NOTE:
TENSION NETTING SYSTEM SHALL INCLUDE MANUFACTURER'S ENGINEERING DESIGN. SUBMIT STAMPED ENGINEERING DETAIL DRAWINGS FOR ALL TENSION POST & FOR NETTING TENSION CABLES & TIE DOWNS. DEPTH OF POLE FOUNDATIONS SHALL BE CALCULATED AND OVERALL LENGTH OF POLES SHALL BE DETERMINED WITH DEPTH OF BURIAL BEING FROM ORIGINAL/PRECONSTRUCTION GROUND SURFACE, PER DETAIL THIS SHEET



JOB # 31023 DRAWING: 31023-CS.dwg LAST: SALAM LOCATION: P:\310001\31023\01\Drawings\Design\Rev=0\31023-CS.dwg

SET Engineers, Inc.
Experts in Outdoor Sports Design & Construction Management
Licensed Civil Engineers • Planners • Designers
817-507-8303 Phone | 682-518-9825 FAX

31023	12/18/18	JIB	TKM	SAW	SAW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

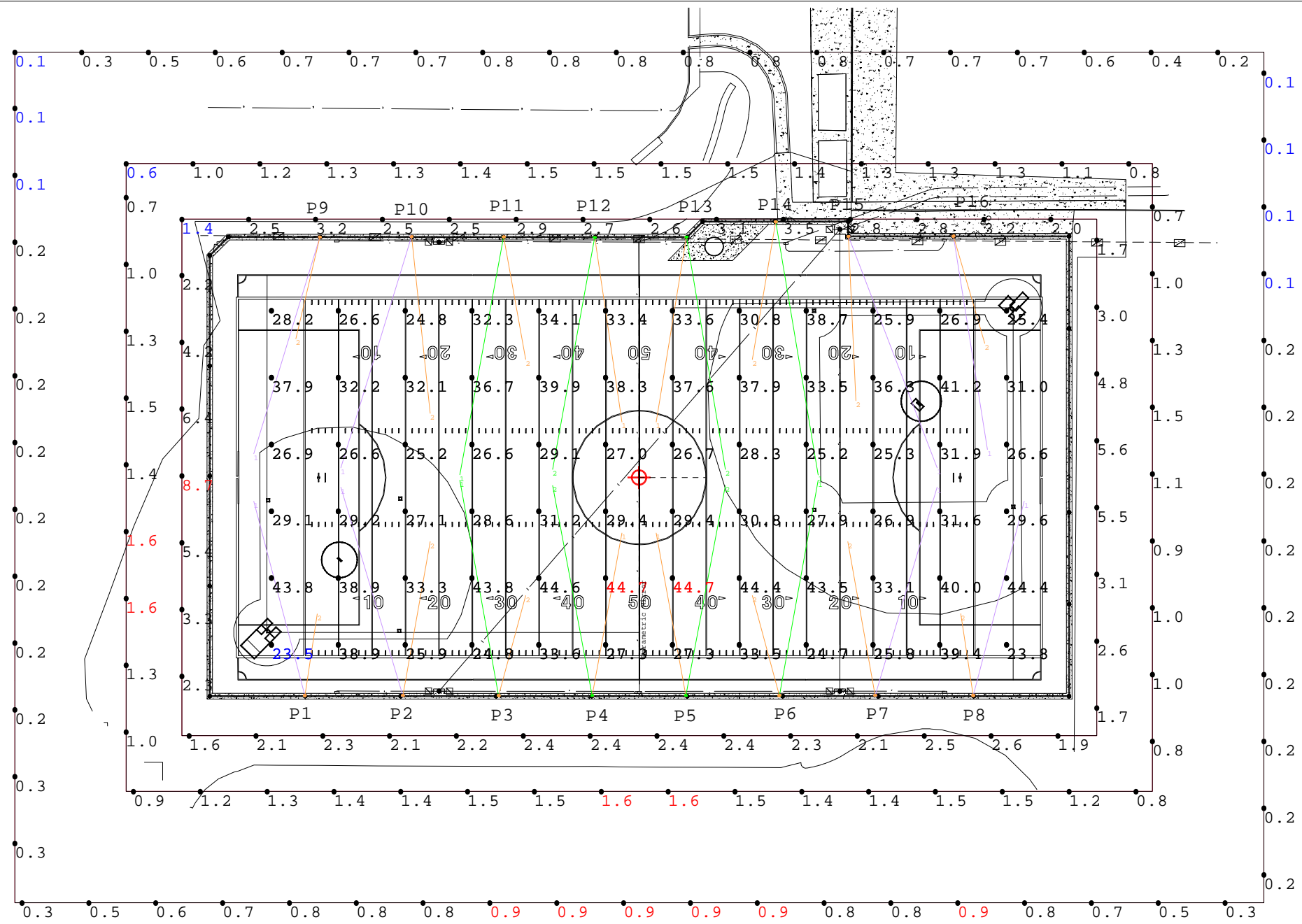
3108 S.W. REGENCY PARKWAY, SUITE 2 (479) 273-9472
Bentonville, AR 72712 FAX (479) 273-0844

ROCKWALL HIGH SCHOOL
901 W YELLOWJACKET LANE
ROCKWALL, TEXAS

REV DATE	SHEET NO.
2/14/19	3 OF 3
REV-0	

DETAILS SHEET 3

© 2019 CEI ENGINEERING ASSOCIATES, INC.



Pole Summary		
Scene: GAME		
Poles	# Lums	MH
P01	2	40
P02	2	40
P03	2	40
P04	2	40
P05	2	40
P06	2	40
P07	2	40
P08	2	40
P09	2	40
P10	2	40
P11	2	40
P12	2	40
P13	2	40
P14	2	40
P15	2	40
P16	2	40

Pole Wattage Summary	
Scene: GAME	
Label	Total Watts
P01	1538
P02	1538
P03	1538
P04	1538
P05	1538
P06	1538
P07	1538
P08	1538
P09	1538
P10	1538
P11	1538
P12	1538
P13	1538
P14	1538
P15	1538
P16	1538
TOTAL	24608

Luminaire Schedule						
Scene: GAME						
Symbol	Qty	Label	LLF	Lum. Watts	Arrangement	
⊙	8	AF-750-3-57	0.950	769	SINGLE	
⊙	8	AF-750-4-57	0.950	769	SINGLE	
⊙	16	AF-750-5-57	0.950	769	SINGLE	

Calculation Summary											
Scene: GAME											
Label	Area Size	Units	Avg	Max	Min	Max/Min	# Pts	PtSpcLr	PtSpcTb	CV	UG
FOOTBALL	360'x160'	Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SOCCER		Fc	32.21	44.7	23.5	1.90	72	30	30	0.19	1.87
SPILL @100'		Fc	0.48	0.9	0.1	9.00	63	30	N.A.	0.60	N.A.
SPILL @25'		Fc	3.01	8.7	1.4	6.21	43	30	N.A.	0.47	N.A.
SPILL @50'		Fc	1.25	1.6	0.6	2.67	50	30	N.A.	0.22	N.A.



ROCKWALL HIGH SCHOOL
ROCKWALL, TEXAS
FOOTBALL/SOCCER/MULTI
19-8660.AGI

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, HOISTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. COMPLIANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

DRAWN BY: JC
 Date: 2/12/2019
 SCALE: NTS
 Page 1 of 1
 19-8660.AGI



Introducing the latest in LED sports lighting innovation



The All-Field 750 is the most versatile LED fixture available for your sporting venue.

Versatile mounting bracket is designed for ease of installation in new or retrofit applications

Weather-tight design ensures durability even in harsh environments

Solid-state design (no moving parts) provides maintenance free operation

Ability to monitor health and status of each light

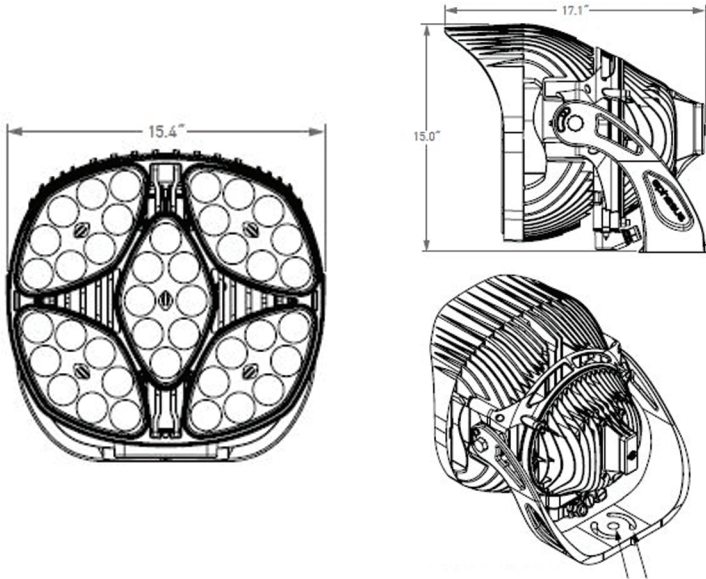
Low electromagnetic interference (EMI) noise generation eliminates interference with surrounding electrical systems

Wireless control options provide flexibility for operational usage and fan experience enhancements

Custom engineered optics direct light precisely where needed while minimizing glare.

Easy **RETROFIT** to your existing sports lighting system

Techline Sports Lighting introduces the All-Field 750 Sport LED fixture, the ideal solution for any setting including little league, municipal parks, high school, college and semi-professional outdoor sports venues. The All-Field 750 is the leading choice for all outdoor applications including football, soccer, tennis, baseball, softball, lacrosse, and field hockey. Maintenance free operation and precisely delivered HDTV quality light make the All-Field 750 the perfect choice for any application and provide an excellent return on investment.



PERFORMANCE SPECIFICATIONS

	All Field 750
Lumen Output ¹	>83,000 Lumens
System Watts	750 watts
Input Voltage (High)	277VAC - 480VAC
Input Voltage (Low)	120VAC - 240VAC
CCT	5700K
L70 Hours	>160,000 hours at 25° C
Operating Temp Range	-40°C to 55°C
Surge	6kV
IP Rating	IP66
NEMA Rating	NEMA 4X
Effective Projected Area	1.4 ft ²
Approximate Weight ²	45 lbs. (20.45 kgs)

The All-Field 750 Sport LED is available with wireless or wired control to provide operational, monitoring and entertainment capabilities. Entertainment options include individual LED cluster control and 0-10V dimming. Fixture connectivity options are available from standard wired DMX to wireless Air-Mesh technology. Cellular, WiFi, or Bluetooth link enables telemetry to monitor health and status of each sport LED fixture.

ORDERING OPTIONS

MODEL	WATTAGE	OPTICS	VOLTAGE	CONTROLS
AF	750	NEMA 2	VH - HIGH VOLTAGE	NC - NO CONTROLS
	550	NEMA 3	VL - LOW VOLTAGE	AM - AIR MESH
	400	NEMA 4		
		NEMA 5		
			SPILL CONTROL OPTION - EYELID	

1. The specifications listed were obtained under optimal testing conditions. Changes in options, features and conditions may result in slightly different performance specifications among fixtures.

2. Weight may vary depending on mounting bracket selection.

Clean power is required to ensure proper function and lifetime of LED fixtures. Prior to installation, an analysis should be performed to verify site power meets these requirements:

- High frequency voltage should be below -40dB or .01V between 3KH and 100KH
- High frequency current should be below -50dB or .019A between 3KH and 100KH

Surge protection alone is not adequate. Techline Sports Lighting will not be liable for damage to fixtures due to poor power quality. Contact Techline Sports Lighting for more information.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A PRIVATE SPORTS ARENA, STADIUM, OR TRACK IN A COMMERCIAL (C) DISTRICT, SITUATED ON A 35.295-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, ROCKWALL HIGH SCHOOL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jeff Breese of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) to allow for a *private sports arena, stadium, or track* in a Commercial (C) District on a 35.295-acre parcel of land being described as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *private sports arena, stadium, or track* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 4.4, *Commercial (C) District*, of Section 4, *Commercial Districts*, and Subsection 6.06, *IH-30 Overlay (IH-30 OV) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended and as may be amended in the future, and shall be subject to the following:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *private sports arena, stadium, or track* on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) The *private arena, stadium, or track* shall generally conform to the concept and photometric plans and elevations depicted in *Exhibits 'B', 'C' and 'D'* of this ordinance;
- 2) The light poles shall not exceed 40-feet in height;

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF APRIL, 2019.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: March 18, 2019

2nd Reading: April 1, 2019

Exhibit 'A'
Zoning Exhibit

Address: 901 Yellow Jacket Lane

Legal Description: Lot 1, Block A, Rockwall High School Addition

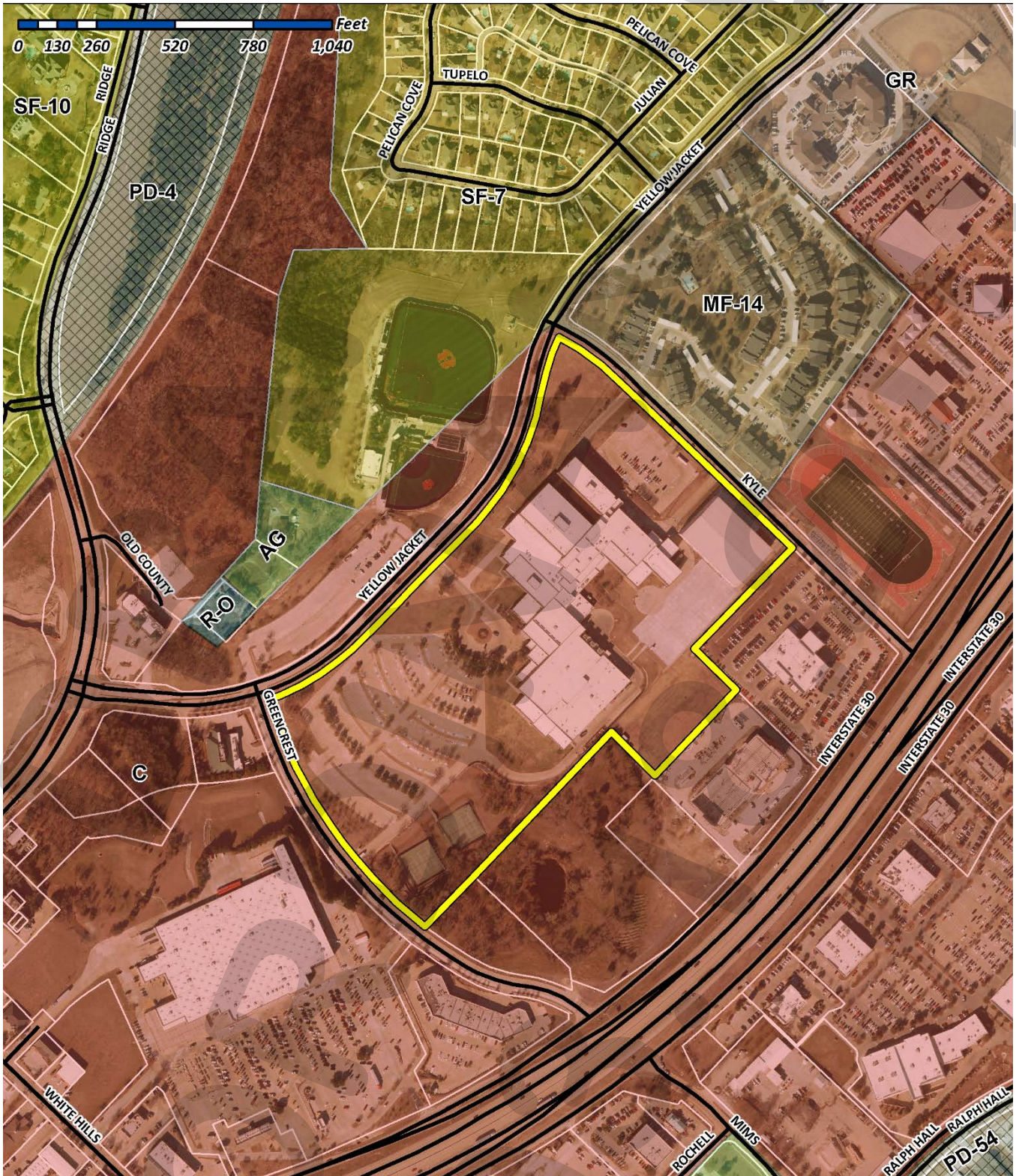
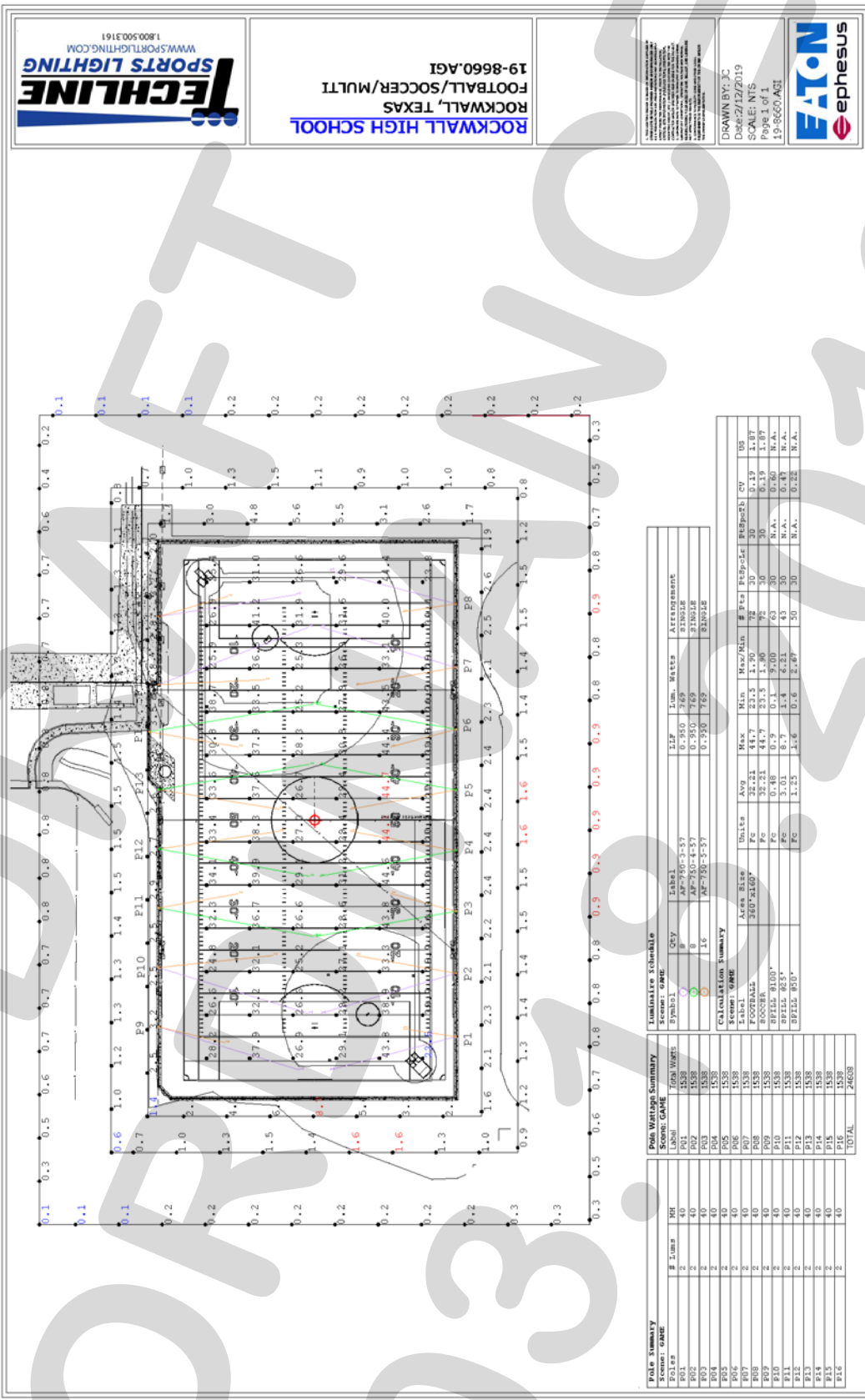


Exhibit 'C': Photometric Plan



TECHLINE
SPORTS LIGHTING
WWW.SPORTSLIGHTING.COM
1.800.503.161

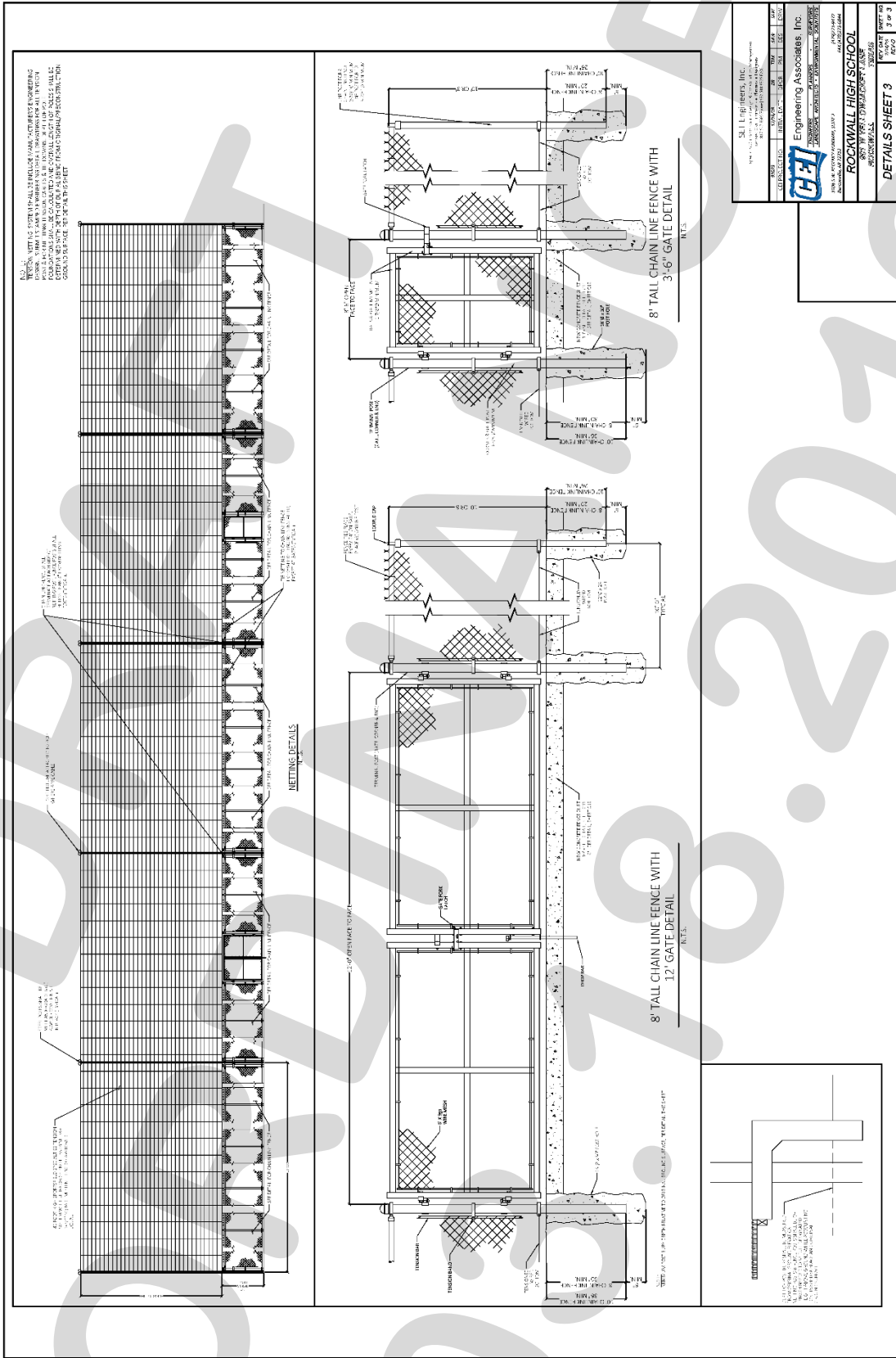
ROCKWALL HIGH SCHOOL
ROCKWALL, TEXAS
FOOTBALL/SOCCER/MULTI
19-8660.AGI

DRAWN BY: JC
DATE: 2/12/2019
SCALE: NTS
PAGE 1 OF 1
19-8660.AGI



Foot Candle Summary		Foot Warts Summary		Luminance Schedule	
Label	Qty	Label	Qty	Symbol	Value
P01	2	AF-750-3-57	8	0	0-950
P02	2	AF-750-4-57	8	1	0-950
P03	2	AF-750-3-57	8	2	0-750
P04	2	AF-750-3-57	8	3	0-750
P05	2	AF-750-3-57	8	4	0-750
P06	2	AF-750-3-57	8	5	0-750
P07	2	AF-750-3-57	8	6	0-750
P08	2	AF-750-3-57	8	7	0-750
P09	2	AF-750-3-57	8	8	0-750
P10	2	AF-750-3-57	8	9	0-750
P11	2	AF-750-3-57	8	10	0-750
P12	2	AF-750-3-57	8	11	0-750
P13	2	AF-750-3-57	8	12	0-750
P14	2	AF-750-3-57	8	13	0-750
P15	2	AF-750-3-57	8	14	0-750
P16	2	AF-750-3-57	8	15	0-750
TOTAL	24000				

Exhibit 'D':
Concept Elevations



Rockwall High School 40' UltraCross® Dyneema Pole-to-Pole Tension Netting

Prepared for: **Paragon Sports Constructors, LLC**

Prepared by: **Sportsfield Specialties, Inc.**

Submitted by: **JJ Darling**
Southwest Regional Sales
Manager

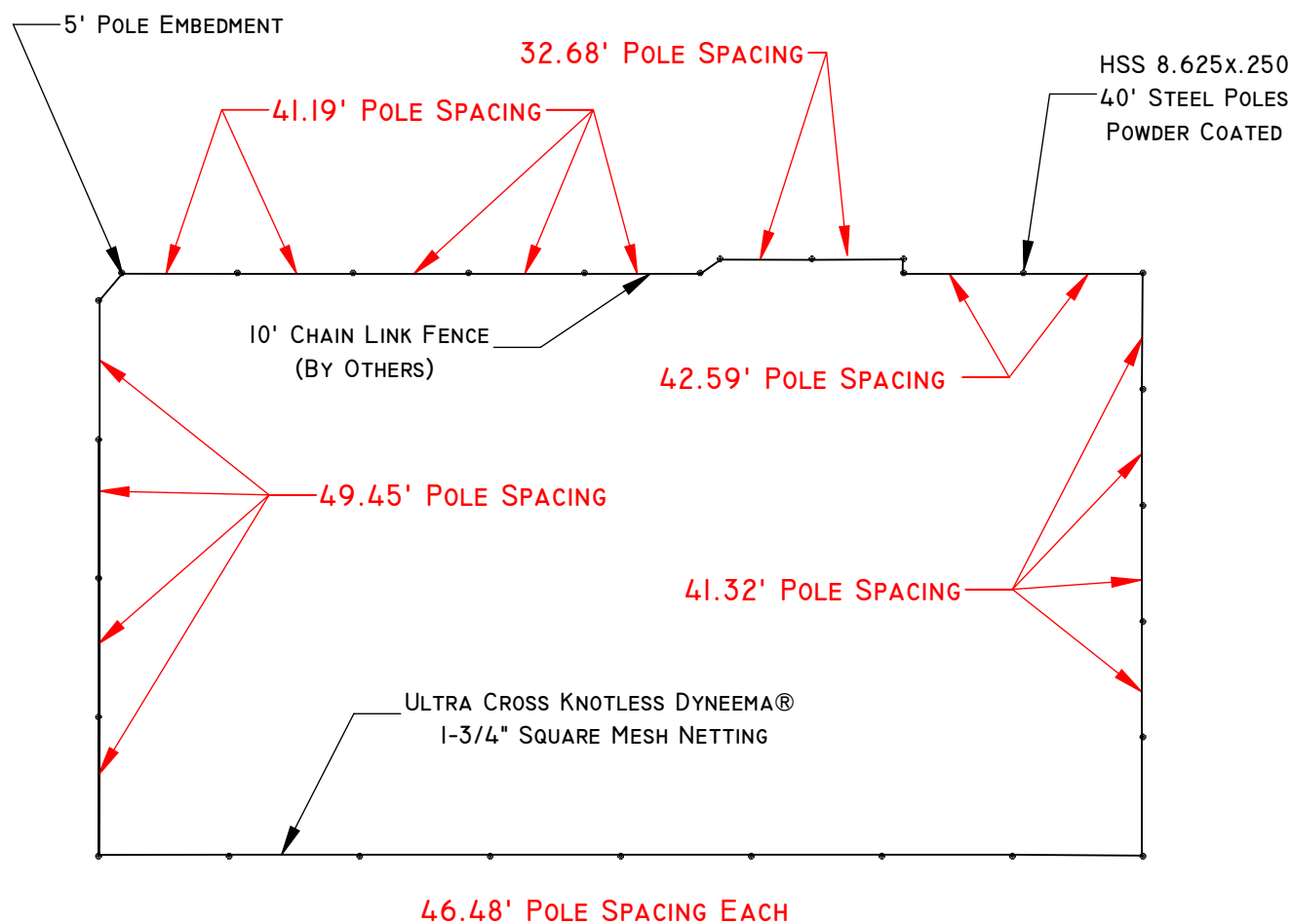


January 31, 2019

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION.

AS A RESULT, SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL.

DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.



Ball Safety Tension Netting System Product Layout Submittal Disclaimer:

This ball safety tension netting system layout document is intended for the sole use of illustrative product submittal review purposes and should not be construed as a product installation document. All final ball safety tension netting system layouts, field dimensions and/or measurements should be both confirmed on the project plans and/or specifications and approved by the project designer of record prior to the start of the product installation.

Sportsfield Specialties, Inc. dba Promats Athletics cannot be held liable for any use of this ball safety tension netting system layout document that deviates and/or differs from the above stated illustrative product submittal review process and furthermore, Sportsfield Specialties, Inc. dba Promats Athletics cannot be held accountable for these actions.

Sportsfield Specialties, Inc. dba Promats Athletics protective netting systems are designed and intended as a complete netting system. In the event your facility purchases an extension to an existing protective netting system, Sportsfield Specialties, Inc. dba Promats Athletics does not make any representations or warranty relating to the overall design of the combined facility and/or the connection points to and the cables that are part of the existing netting system. Owner's decision to proceed with an extension in lieu of a complete new netting system will be at Owner's sole risk and without liability to Sportsfield Specialties, Inc. dba Promats Athletics and Owner shall indemnify and hold harmless Sportsfield Specialties, Inc. dba Promats Athletics from all claims, damages, losses and expenses arising out of or resulting therefrom.

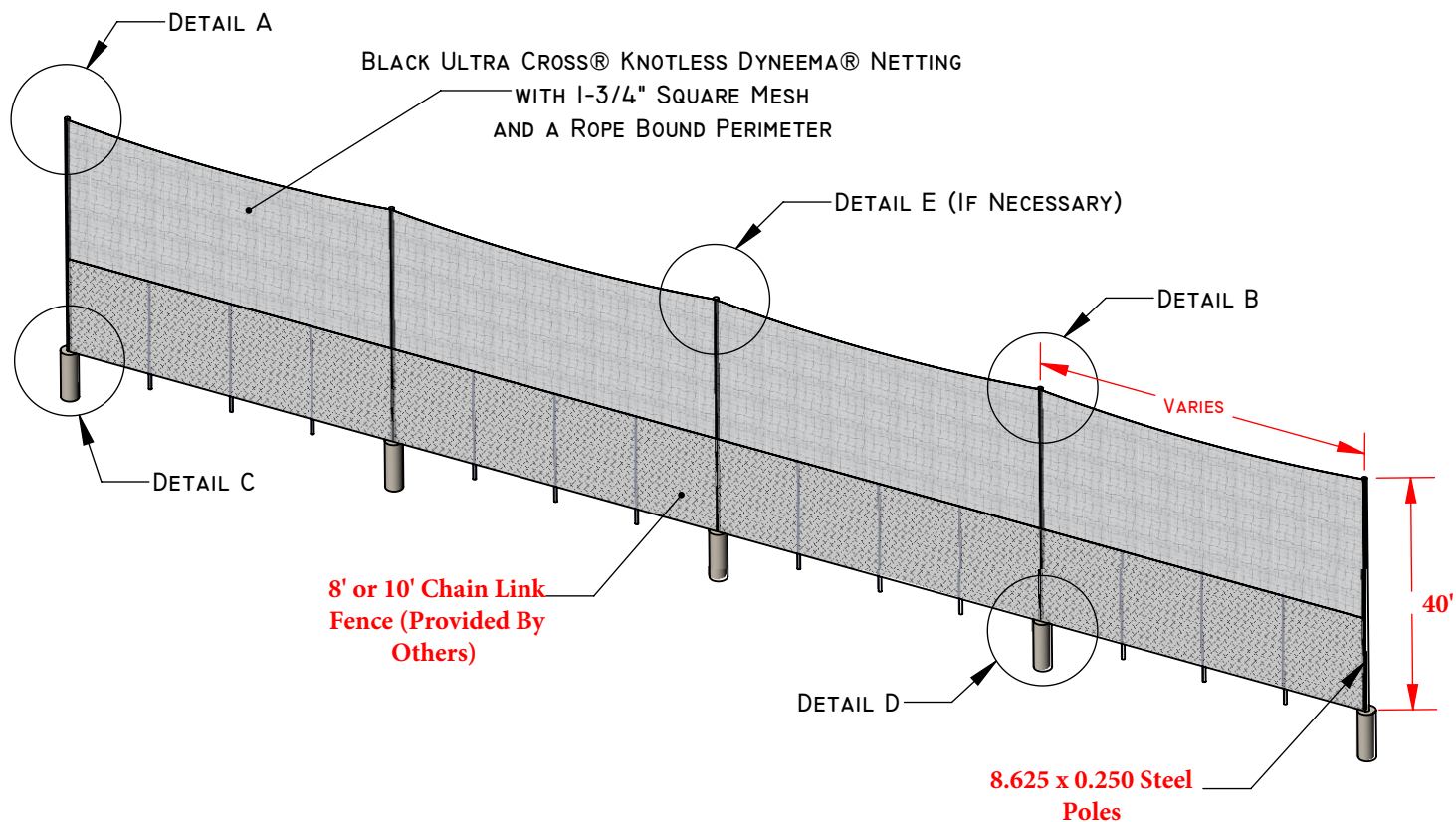
PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SPORTSFIELD SPECIALTIES INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SPORTSFIELD SPECIALTIES INC. IS PROHIBITED.

**ROCKWALL HIGHSCHOOL PERIMETER NETTING
NETTING LAYOUT SUBMITTAL**

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC 2/11/2019

STANDARD BLACK POWDER COATED FINISH



FOUNDATION REQUIREMENTS BASED ON LOCAL CODES AND SOIL CONDITIONS

ALL CUSTOM TENSION NETTING SYSTEM SIZES AND LAYOUTS REQUIRE DESIGN AND PROFESSIONAL ENGINEERING

SSI TENSION NETTING SYSTEM POLES ARE DESIGNED TO STRENGTH, NOT DEFLECTION. AS A RESULT SOME DEFLECTION WILL OCCUR DURING INSTALLATION AND SHOULD BE CONSIDERED NORMAL. DEFLECTION MAY ALSO BE EVIDENT IN CALM CONDITIONS, PARTICULARLY ON THE OUTER MOST POLES OF A GIVEN TENSION NETTING SYSTEM.

PROPRIETARY AND CONFIDENTIAL

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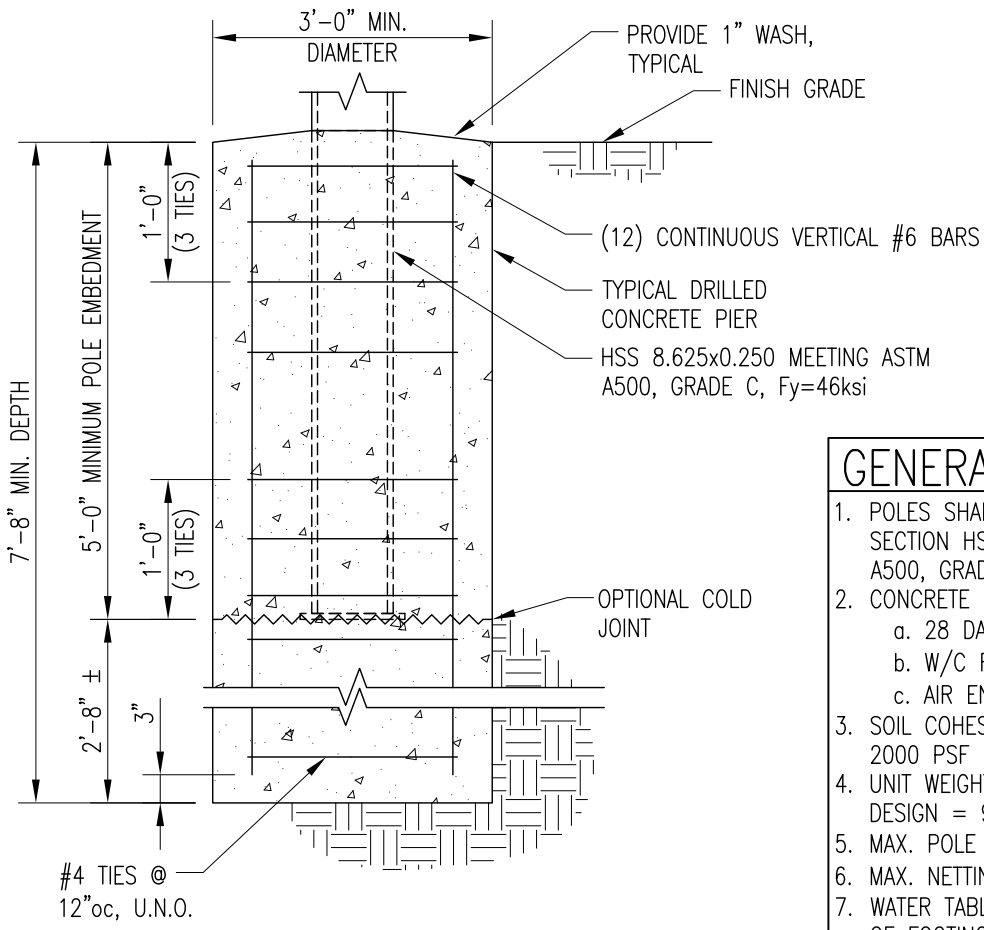
Rockwall HS UltraCross Tension Netting

NOT TO SCALE

SPORTSFIELD SPECIALTIES INC III32018



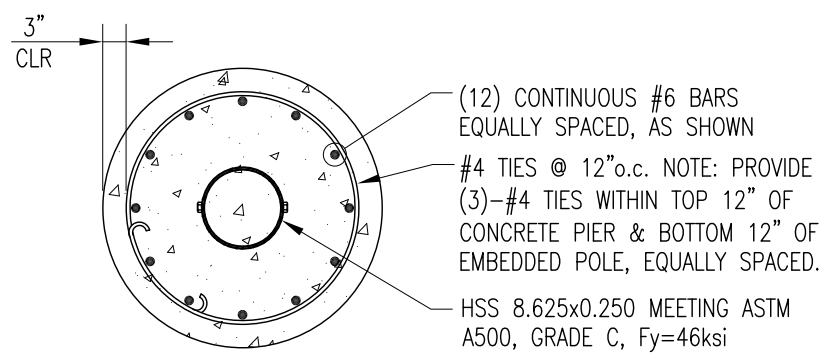
- Length, Height and Configuration as Required
- Ultra Cross **Knotless** Dyneema® Netting
- Dyneema® Ultra-High Molecular Weight Polyethylene (UHMWPE)
SK-75 Black Fiber Construction
- **4 Ply, 1.2 mm (0.0472") Diameter Twine**
- 95% Open Mesh Area (See-Through Visibility)
- **58,445 psi Minimum Breaking Strength**
- 30% Maximum Elongation at Break
- 1-3/4" (44 mm) Square Mesh Size, 0.009 lbs. per Square Foot
- 4 Strand, Braided, Continuous Monofilament Dyneema® Fiber
- Sewn Perimeter Black Multi-Filament Polypropylene Solid Braid Rope
Bound Border - 1/4" Diameter, 530 lb. Minimum Breaking Strength
- Urethane Black Bonded Finish (Other Color Choices Available)
- Strong Resistance to Ultraviolet (UV) Light Degradation
- Excellent Resistance to Chemicals and Water Absorption



FOUNDATION DESIGN IS APPLICABLE FOR BOTH DIRECT EMBEDMENT AND SLEEVED POLES

- SYSTEM NOTES:**
- FOOTING FOR USE WITH ULTRACROSS 1 3/4" NETTING & #9 x 1 3/4" CHAIN LINK FENCE
 - MINIMUM CABLE SAGS 40'-0" SPAN = 12" MIN.
 - DESIGN WIND SPEED FOR BARE POLE = 105mph
 - EXPOSURE CATEGORY B

- GENERAL NOTES:**
- POLES SHALL BE HOLLOW STRUCTURAL SECTION HSS 8.625x0.250 AND MEET ASTM A500, GRADE C, Fy=46ksi
 - CONCRETE SHALL MEET THE FOLLOWING:
 - 28 DAY STRENGTH = 4,000psi (MIN.)
 - W/C RATIO = 0.46
 - AIR ENTRAINMENT = 5.5 +/- 1%
 - SOIL COHESION VALUE USED FOR DESIGN = 2000 PSF
 - UNIT WEIGHT OF SOIL FOR FOUNDATION DESIGN = 93 PCF
 - MAX. POLE HEIGHT = 40'-0"
 - MAX. NETTING HEIGHT = 32'-0" (8' FENCE)
 - WATER TABLE ASSUMED TO BE BELOW BOTTOM OF FOOTING FOR DESIGN.
 - IF FOOTING IS NOT AUGURED, COMPACT SOIL SURROUNDING FOOTING TO 95% MODIFIED PROCTOR.



2/6/19

1 40' NETTING FOOTING DETAILS
 SK-01 SCALE: NONE

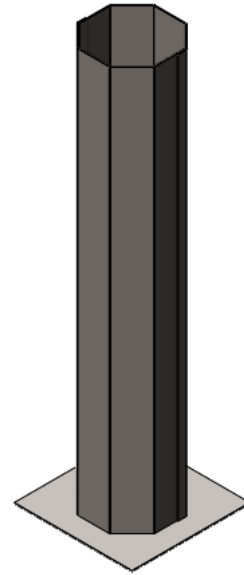
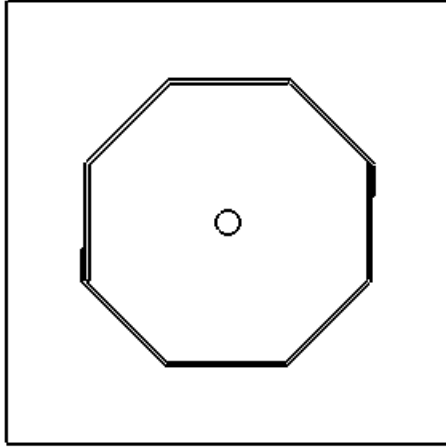
DELTA
 ENGINEERS, ARCHITECTS, & LAND SURVEYORS

860 Hooper Road
 Endwell, New York 13760
 Tel: 607.231.6600
 Fax: 607.231.6651
 Email: mail@deltaengineers.com
 Web: www.deltaengineers.com

Project Name		ROCKWALL HS POLE-TO-POLE TENSION NETTING SYSTEM TEXAS
Scale	AS SHOWN	WARNING: THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER, LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT OR LICENSED SURVEYOR FOR A LICENSED SURVEYOR, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.
Project No.	2019.202.010	
Date	FEBRUARY 5, 2019	

Drawing Title	40' NETTING FOOTING DETAILS
Drawing No.	SK-01

Ground Sleeve Install



1. Mark the locations of the ground sleeves on the field. Being sure to match the center distance to the desired system.
2. Excavate holes for foundations and set the concrete forms.
3. Center the ground sleeve in the form and secure it in a plumb and level position. The top of the ground sleeve should be set according to the site plans (Generally level with Finish Grade).
4. Pour concrete foundation to the top of the sleeve. Allow concrete to adequately cure.
5. Caulk all around the top of the ground sleeve, using backer rod where needed to prevent the caulk from falling into the ground sleeve.

2. Assembling Hardware

- a) Start by laying out the cables to ensure the proper lengths are present for each run. Cut the cable as necessary based on each run, adding a 6" turn back at each end of the cable.
- b) Start the horizontal tensioned cables (5/16" DIA) by assembling a 5/8" x 12" turnbuckle to an eye bolt at one end (Figure 1). The wire will pass through the poles at which the cable run does not terminate (Figure 2). At the poles where the cable run terminates, attach the cable with turn back and rope clips directly to the eye bolt at opposite end (Figure 3).

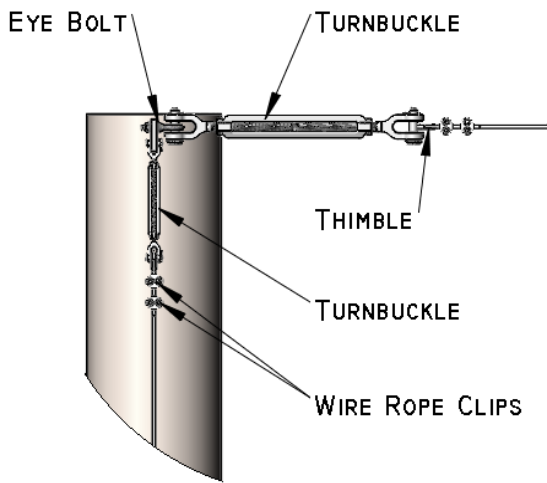


Figure 1

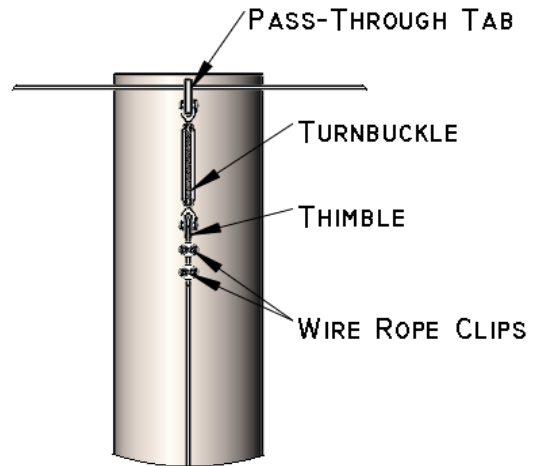


Figure 2

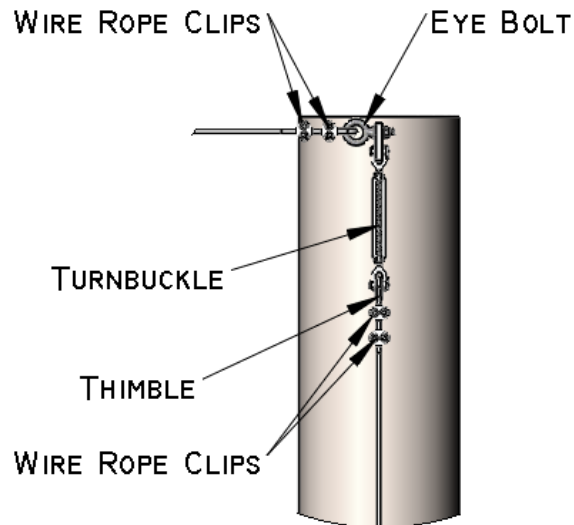


Figure 3

- c) The horizontal cables can be finished with the bottom (1/4" DIA) cable. This cable is assembled the same way as the tensioned cables. Start the cable by attaching to an eye bolt at one end (Figure 4). The cable will pass through a series of eye bolts (recommended 5' spacing) or equivalent guides, then through the poles at which the cable run does not terminate (Figure 5). At the end pole where the cable run terminates, attach the cable (with turn back and rope clips) directly to the eye bolt (Figure 6).

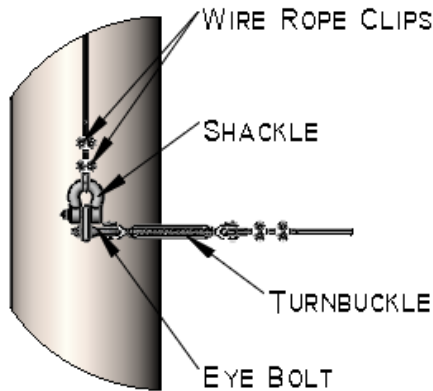


Figure 4

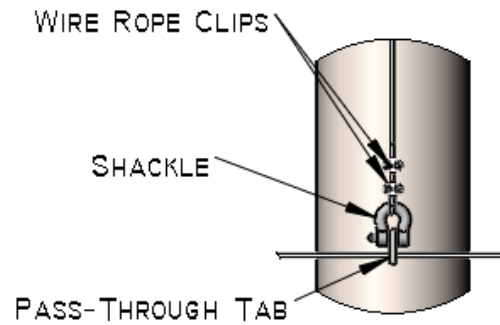


Figure 5

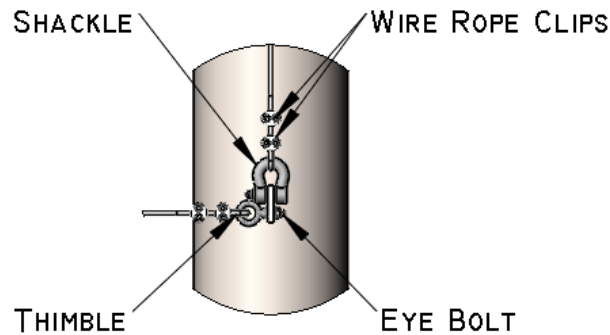


Figure 6

- d) Vertical cables (1/4" DIA) can be done the same way as the tensioned cables, with a 1/2" x 9" turnbuckle at the top of the pole (Figure 7) and a heavy-duty shackle at the bottom of the pole (Figure 9). Make sure to thread the vertical cables through the guide tube (Figure 8).

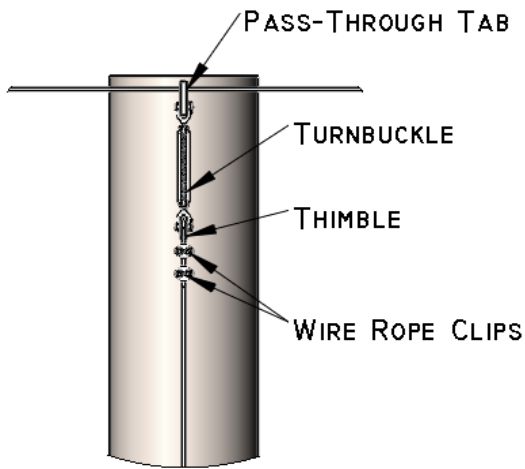


Figure 7

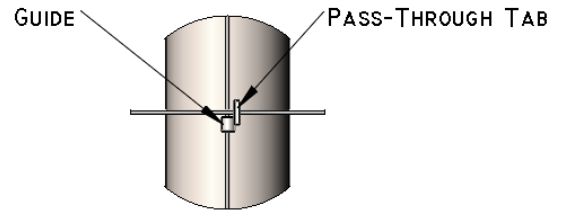


Figure 8

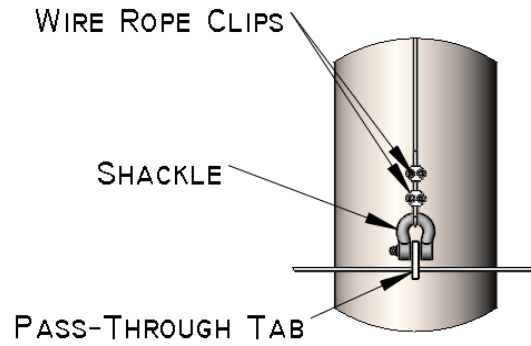


Figure 9

- e) Once all of the cables have been mounted on the poles, tension the horizontal and vertical cables with the turnbuckles. Do not tighten turnbuckles so much that the poles themselves deflect.

- f) Now the nets can be hung from the assembled cables. Using the zip-ties, pull the net to the top, each side cable, the remaining horizontal cables and then the bottom cable. Finally, the net can be secured to the cables using the supplied braided rope, looping through each square of the net binding and around the cable (Figure 10). For Ultra Cross netting systems, it's important to leave excess material along the net perimeter (i.e. no short tag ends and a minimum of one extra square) so that the net intersection doesn't fail prematurely.



Figure 10

SSI tension netting system poles are designed to strength, not deflection. As a result, some deflection will occur during installation and should be considered normal. Deflection may also be evident in calm conditions, particularly on the outer most poles of a given tension netting system.

CITY OF ROCKWALL

ORDINANCE NO. 19-16

SPECIFIC USE PERMIT NO. S-206

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *PRIVATE SPORTS ARENA, STADIUM, OR TRACK* IN A COMMERCIAL (C) DISTRICT, SITUATED ON A 35.295-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, ROCKWALL HIGH SCHOOL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jeff Breese of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) to allow a *private sports arena, stadium, or track* in a Commercial (C) District on a 35.295-acre parcel of land being described as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *private sports arena, stadium, or track* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 4.4, *Commercial (C) District*, of Section 4, *Commercial Districts*, and Subsection 6.06, *IH-30 Overlay (IH-30 OV) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended and as may be amended in the future, and shall be subject to the following:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *private sports arena, stadium, or track* on the *Subject Property* and conformance to these stipulations is required for continued operations:

- 1) The *private sports arena, stadium, or track* shall generally conform to the concept plan, photometric plan, and building elevations depicted in *Exhibits 'B', 'C' and 'D'* of this ordinance;
- 2) The light poles shall not exceed 40-feet in height.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

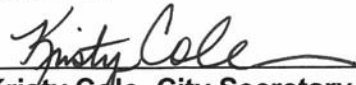
SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1st DAY OF APRIL, 2019.



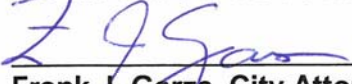
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: 03/18/2019

2nd Reading: 04/01/2019



Exhibit 'A'
Zoning Exhibit

Address: 901 Yellow Jacket Lane

Legal Description: Lot 1, Block A, Rockwall High School Addition

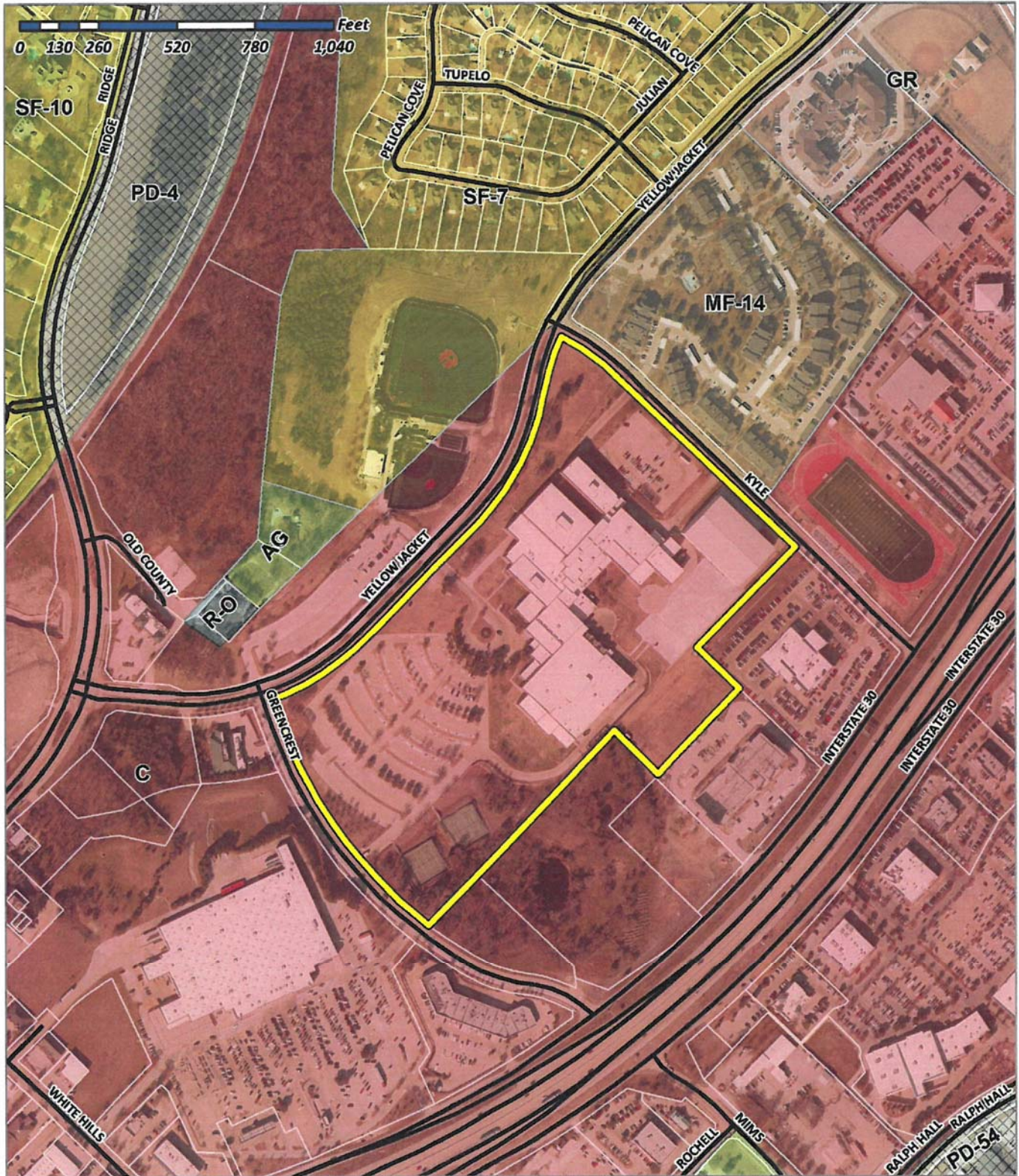


Exhibit 'B': Concept Plan

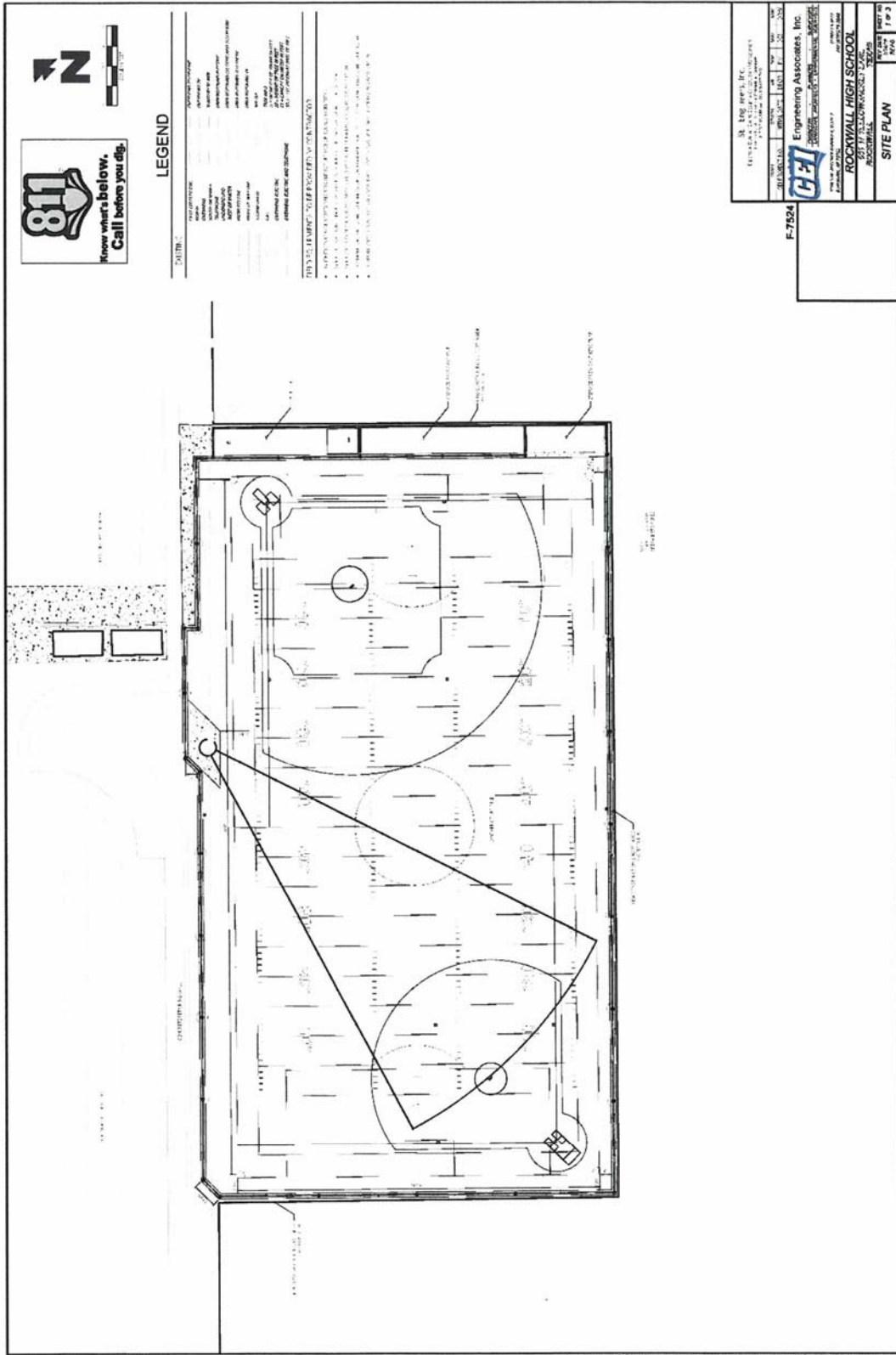
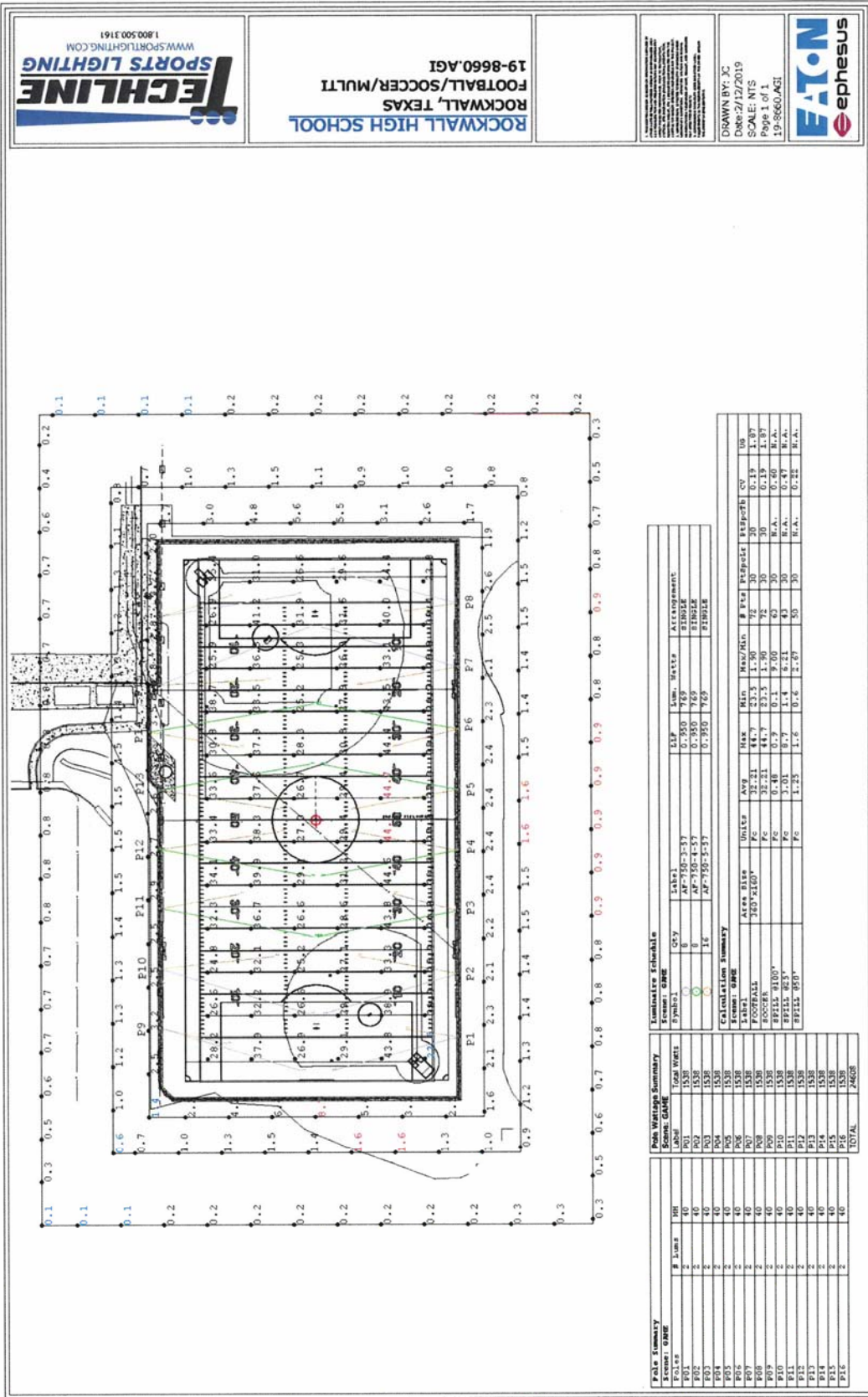


Exhibit 'C': Photometric Plan



TECHLINE
SPORTS LIGHTING
WWW.SPORTSLIGHTING.COM
1.800.500.1161

ROCKWALL HIGH SCHOOL
ROCKWALL, TEXAS
FOOTBALL/SOCCER/MULTI
19-8660-AGI

DRAWN BY: JC
DATE: 2/12/2019
SCALE: NTS
PAGE 1 OF 1
19-8660-AGI



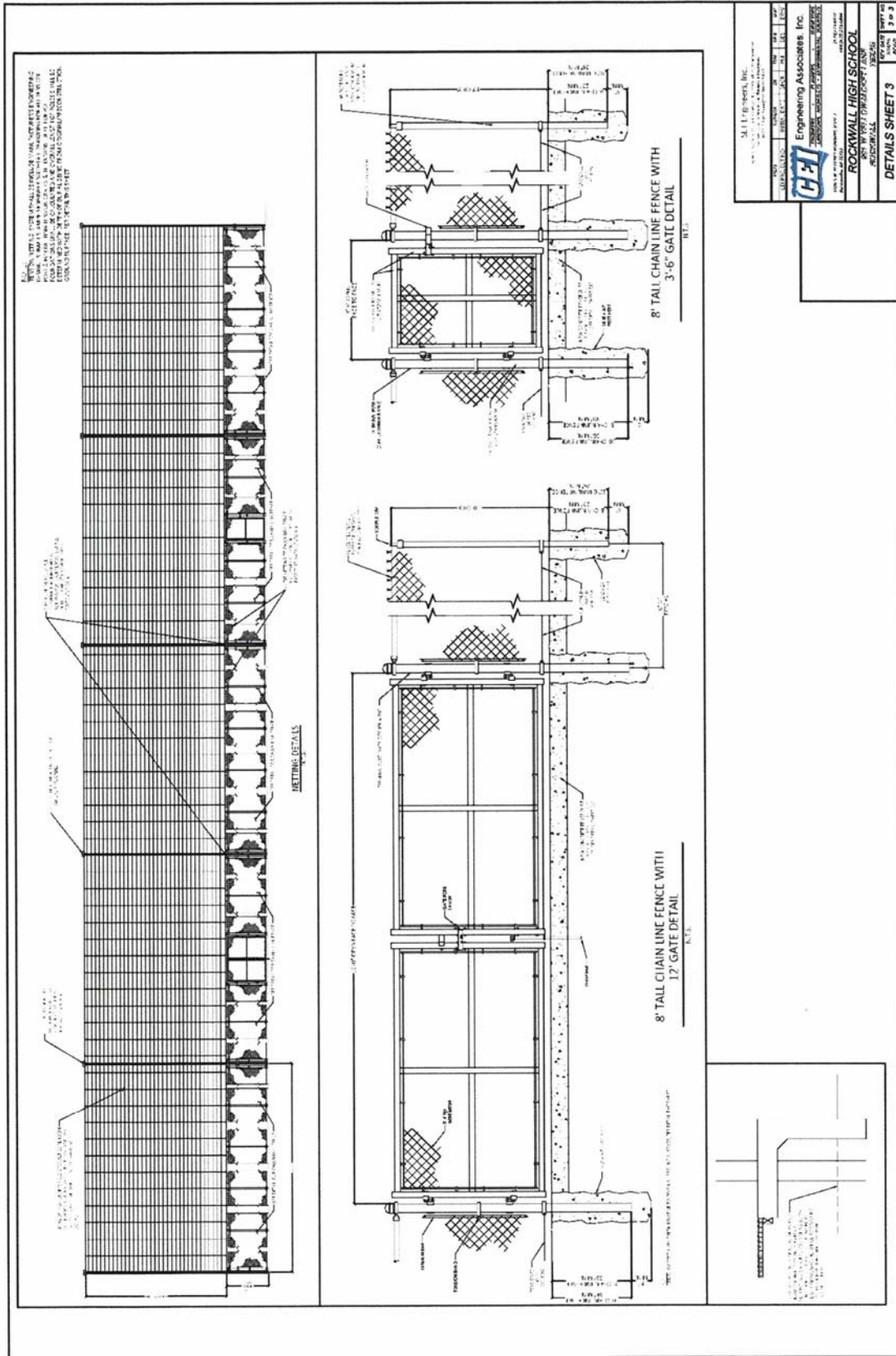
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P01	2	AP-750-3-37	0.350	750		SINGLE
P02	2	AP-750-4-37	0.350	750		SINGLE
P03	2	AP-750-5-37	0.350	750		SINGLE
P04	2	AP-750-6-37	0.350	750		SINGLE
P05	2	AP-750-7-37	0.350	750		SINGLE

Label	Qty	Label	LF	Beam	Water	Altitude
P06	2	AP-750-8-37	0.350	750		SINGLE
P07	2	AP-750-9-37	0.350	750		SINGLE
P08	2	AP-750-10-37	0.350	750		SINGLE
P09	2	AP-750-11-37	0.350	750		SINGLE
P10	2	AP-750-12-37	0.350	750		SINGLE
P11	2	AP-750-13-37	0.350	750		SINGLE
P12	2	AP-750-14-37	0.350	750		SINGLE
P13	2	AP-750-15-37	0.350	750		SINGLE
P14	2	AP-750-16-37	0.350	750		SINGLE
P15	2	AP-750-17-37	0.350	750		SINGLE
P16	2	AP-750-18-37	0.350	750		SINGLE
TOTAL	24					

Label	Qty	Label	LF	Beam	Water	Altitude
P01	2	AP-750-3-37	0.350	750		SINGLE
P02	2	AP-750-4-37	0.350	750		SINGLE
P03	2	AP-750-5-37	0.350	750		SINGLE
P04	2	AP-750-6-37	0.350	750		SINGLE
P05	2	AP-750-7-37	0.350	750		SINGLE
P06	2	AP-750-8-37	0.350	750		SINGLE
P07	2	AP-750-9-37	0.350	750		SINGLE
P08	2	AP-750-10-37	0.350	750		SINGLE
P09	2	AP-750-11-37	0.350	750		SINGLE
P10	2	AP-750-12-37	0.350	750		SINGLE
P11	2	AP-750-13-37	0.350	750		SINGLE
P12	2	AP-750-14-37	0.350	750		SINGLE
P13	2	AP-750-15-37	0.350	750		SINGLE
P14	2	AP-750-16-37	0.350	750		SINGLE
P15	2	AP-750-17-37	0.350	750		SINGLE
P16	2	AP-750-18-37	0.350	750		SINGLE
TOTAL	24					

Label	Qty	Label	LF	Beam	Water	Altitude
P01	2	AP-750-3-37	0.350	750		SINGLE
P02	2	AP-750-4-37	0.350	750		SINGLE
P03	2	AP-750-5-37	0.350	750		SINGLE
P04	2	AP-750-6-37	0.350	750		SINGLE
P05	2	AP-750-7-37	0.350	750		SINGLE
P06	2	AP-750-8-37	0.350	750		SINGLE
P07	2	AP-750-9-37	0.350	750		SINGLE
P08	2	AP-750-10-37	0.350	750		SINGLE
P09	2	AP-750-11-37	0.350	750		SINGLE
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P11	2	AP-750-13-37	0.350	750		SINGLE
P12	2	AP-750-14-37	0.350	750		SINGLE
P13	2	AP-750-15-37	0.350	750		SINGLE
P14	2	AP-750-16-37	0.350	750		SINGLE
P15	2	AP-750-17-37	0.350	750		SINGLE
P16	2	AP-750-18-37	0.350	750		SINGLE
TOTAL	24					

Exhibit 'D': Concept Elevations





May 9, 2019

ATTN:

SET ENGINEERS
207 MOSS COURT,
Mansfield, TX 76063

RE: SUP ZONING (Z2019-003), 901 W. Yellowjacket Ln.

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by City Council on 04/01/2019 via Ordinance No. 19-16. The following is a record of all recommendations, voting records and conditions of approval:

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request, staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and summarized as follows:

a) The private arena, stadium, or track shall generally conform to concept and photometric plans and elevations depicted in Exhibits 'B', 'C', and 'D' of the attached ordinance;

b) The applicant shall provide a thick vegetative screening utilizing a combination of mature trees, bushes, and/or grasses adjacent to the property line;

*c) The applicant shall submit a revised concept plan showing the location of the proposed landscaping;
and*

d) The light fixtures shall not be mounted above 40-feet in height.

(2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 12, 2019, the Planning and Zoning Commission's motion to recommend approval of the Specific Use Permit (SUP) with staff's Conditions of Approval passed by a vote of 4-0 with Chairman Lyons and Commissioners Logan and Moeller absent.



CITY COUNCIL:

On March 18, 2019, the City Council's motion to approve the applicant's request for an Specific Use Permit (SUP) to allow for a Private Sports Arena, Track, or Stadium with staff conditions passed by a vote of 6 to 0 with Mayor Pruitt absent [1st Reading].

On April 1, 2019, the City Council's motion to approve the applicant's request for an Specific Use Permit (SUP) to allow for a Private Sports Arena, Track, or Stadium with staff conditions passed by a vote of 6 to 0 with Councilmember Hohenshelt absent [2nd Reading].

Please contact the City of Rockwall Planning staff at (972) 771-7745 with any questions or concerns regarding this matter.

Sincerely,

A handwritten signature in red ink that reads "Korey Brooks". The signature is written in a cursive style.

Korey Brooks, AICP

Senior Planner

Planning & Zoning Department

City of Rockwall, TX