



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-048 P&Z DATE _____ CC DATE _____ APPROVED/DENIED _____

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2885 Market Center Dr., Rockwall, TX 75032

Subdivision R W MARKETCENTER ADDITION

Lot 1A Block B

General Location NWC W Ralph Hall Parkway and Market Center Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District

Current Use RETAIL

Proposed Zoning Commercial (C) District

Proposed Use RETAIL

Acreage 21.440

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Dunhill Partners, Inc.

Applicant Winkelmann & Associates, Inc.

Contact Person Jill Fisher

Contact Person Maria Bonilla

Address 3100 Monticello Avenue, Suite 300

Address 6750 Hillcrest Plaza Drive
Suite 215

City, State & Zip Dallas, TX 75205

City, State & Zip Dallas, TX 75230

Phone +1 (214) 261-9588

Phone +1 (972) 490-7090

E-Mail jfisher@dunhillpartners.com

E-Mail mbonilla@winkelmann.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Steve Hagen [Owner] the undersigned, who stated the information on this application to be true and certified the following:

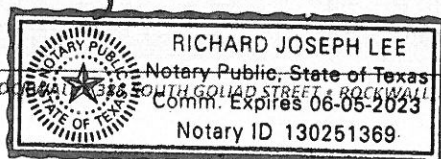
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of December, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of December, 20 19

Owner's Signature Steve Hagen

[Signature]
My Commission Expires 6-5-2023

Notary Public in and for the State of Texas





DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. Each set of plans should be folded into a *Tri-Fold* with the project title or identifier facing out.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ONE (1) PDF COPY OF THE PLAT
 - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
 - SITE PLAN.
 - LANDSCAPE PLAN. N/A
 - TREESCAPE PLAN. N/A
 - PHOTOMETRIC PLAN. N/A
 - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet. **Match existing building.**
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. WITHOUT A COMPLETE APPLICATION SUBMITTAL, THE CASE MAY NOT BE PROCESSED AND MAY NOT BE PLACED ON A PUBLIC HEARING AGENDA.



CHECKLIST FOR SITE PLAN SUBMITTAL

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Per Application</i> -
✓ Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Photometric Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and/or Color Rendering of Building Elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") folded copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1"=20', 1"=40', etc ... with a maximum of 1"=100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:				
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures. Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 5.4
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (<i>Check w/ the Engineering Department</i>).	Art. VI 5.3.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (<i>Art. VI 6.5 Loading Requirements</i>).	Art. VI 6.4
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.2

2.3 SITE PLAN: SIGNAGE

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				
Proposed or Existing Signage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

2.4 SITE PLAN: SCREENING

Requirements	✓ = OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing. All fencing shall conform to Chapter 10, Article XI of the Code of Ordinances.	Art. V 1.7
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.5.3
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.5.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.5.4
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.5.2
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.5.1
Residential Adjacency Standards	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.6

3.1 LANDSCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	Art. VIII 4.3
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	Art. VIII 5.12
Landscape Table	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	Art. VIII 4.3

Indicate all Landscaping	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	Art. VIII 4.3
Indicate all Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.1
Acceptable Landscape Materials:				Art. VIII 5.3
✓ Trees allowed in Street Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Art. VIII 5.3.E
✓ Trees not allowed in Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Art. VIII 5.3.F
Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Parking Lot Landscaping	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.9
Location of all Site Amenities	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	Art. VIII 4.3
Identify Visibility Triangles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	
Street Trees	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. VIII 5.7
Tree Locations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trees must be planted at least five feet from water, sewer and storm sewer lines.	Art. VIII 4.3
Irrigation Requirements Note	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.5

4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3

Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 0.35 of one foot candle (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking areas are not to exceed a maintained average of 1.5 foot candles at ground level, and shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VI 3.4.A
Indicate all Exterior Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Proposed Light Fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: Specific Zoning and Overlay Districts may have additional design and material requirements.				
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For Buildings less than 25,000 Sq. Ft.: Exterior walls should consist of 90% masonry materials excluding doors and windows. For Buildings greater than 25,000 Sq. Ft.: 90% of exterior walls shall consist of brick, stone, split faced CMU, plaster, stucco or a combination of.	Art. 4.1.A.1 Art.4.1.D.2
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Applies to façades that are visible from a public right-of-way and/or open space.	Art. 4.1.A.1
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	-
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-

Indicate Parapet Wall Height (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s) [H]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.1.B.1
Minimum Standards for Articulation:				
Horizontal Articulation of Façades: Projecting Offset = 25% x (H) [Min. 5 Ft.] Length of Offset = 25% x (L) [Min. 15 Ft.] Distance Between* (L) = 3 x (H) [Max. 60 Ft.]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ x 25% = _____. The length of the offset is = (L) _____ x 25% = _____. (* Minimum distance between projections is 60')	Art. V 4.1.C.1.a
Vertical Articulation of Façades: Height Extension = 25% x (H) [Min. 5 Ft.] Length of Extension = 25% x (L) [Min. 15 Ft.] Distance Between* (L) = 3 x (H) [Max. 60 Ft.]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ x 25% = _____. The length of the height extension is = (L) _____ x 25% = _____. (* Minimum distance between extensions is 60')	Art. V 4.1.C.1.b

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
Minimum Standards for Articulation:				
Horizontal Articulation of Façades: Projecting Offset = 25% x (H) [Min. 5 Ft.] Length of Offset = 25% x (L) [Min. 20 Ft.] Distance Between* (L) = 4 x (H) [Max. 80 Ft.]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ x 25% = _____. The length of the offset is = (L) _____ x 25% = _____. (* Minimum distance between projections is 80')	Art. V 5.C.1.a
Vertical Articulation of Façades: Height Extension = 25% x (H) [Min. 5 Ft.] Length of Extension = 25% x (L) [Min. 20 Ft.] Distance Between* (L) = 4 x (H) [Max. 80 Ft.]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ x 25% = _____. The length of the height extension is = (L) _____ x 25% = _____. (* Minimum distance between extensions is 80')	Art. V 5.C.1.b

Pre-Development Meeting:

Date: ___ / ___ / ___

Administrative Site Plan/Public Hearing Site Plan

1) Is the property located within an Overlay District or a Planned Development District? YES NO

2) If yes which Overlay District or Planned Development District? _____

3) Is the applicant requesting appeals? YES NO

4) If yes note the appeals:

Planning & Zoning Work Session (Packet Due ___/___/___):

Date: ___/___/___

DRC Meeting

Date: ___/___/___

ARB Meeting

Date: ___/___/___

Planning and Zoning Meeting (Packet Due ___/___/___):

Date: ___/___/___

1st _____

2nd _____

Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

City Council Meeting (Packet Due ___/___/___):

Date: ___/___/___

1st _____

2nd _____

Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

GENERAL NOTES:



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 12/13/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 12/13/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on 12/19/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-048
Project Name: 2885 MARKET CENTER DRIVE
Project Type: SITE PLAN
Applicant Name: MARIA BONILLA
Owner Name: JILL FISHER
Project Description:



RECEIPT

Project Number: SP2019-048

Job Address: I30

ROCKWALL, TX 75032

Receipt Number: B87700

Printed: 12/18/2019 11:58 am

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$100.00

Total Fees Paid:

\$100.00

Date Paid: 12/18/2019 12:00:00AM

Paid By: MARIA BONILLA

Pay Method: CHECK 5309

Received By: AG



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2885 Market Center Dr., Rockwall, TX 75032

Subdivision R W MARKETCENTER ADDITION

Lot 1A Block B

General Location NWC W Ralph Hall Parkway and Market Center Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District

Current Use RETAIL

Proposed Zoning Commercial (C) District

Proposed Use RETAIL

Acreage 21.440

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Dunhill Partners, Inc.

Applicant Winkelmann & Associates, Inc.

Contact Person Jill Fisher

Contact Person Maria Bonilla

Address 3100 Monticello Avenue, Suite 300

Address 6750 Hillcrest Plaza Drive
Suite 215

City, State & Zip Dallas, TX 75205

City, State & Zip Dallas, TX 75230

Phone +1 (214) 261-9588

Phone +1 (972) 490-7090

E-Mail jfisher@dunhillpartners.com

E-Mail mbonilla@winkelmann.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Steve Hagen [Owner] the undersigned, who stated the information on this application to be true and certified the following:

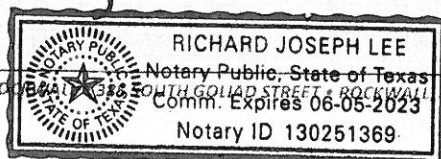
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 11 day of December, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of December, 20 19

Owner's Signature Steve Hagen

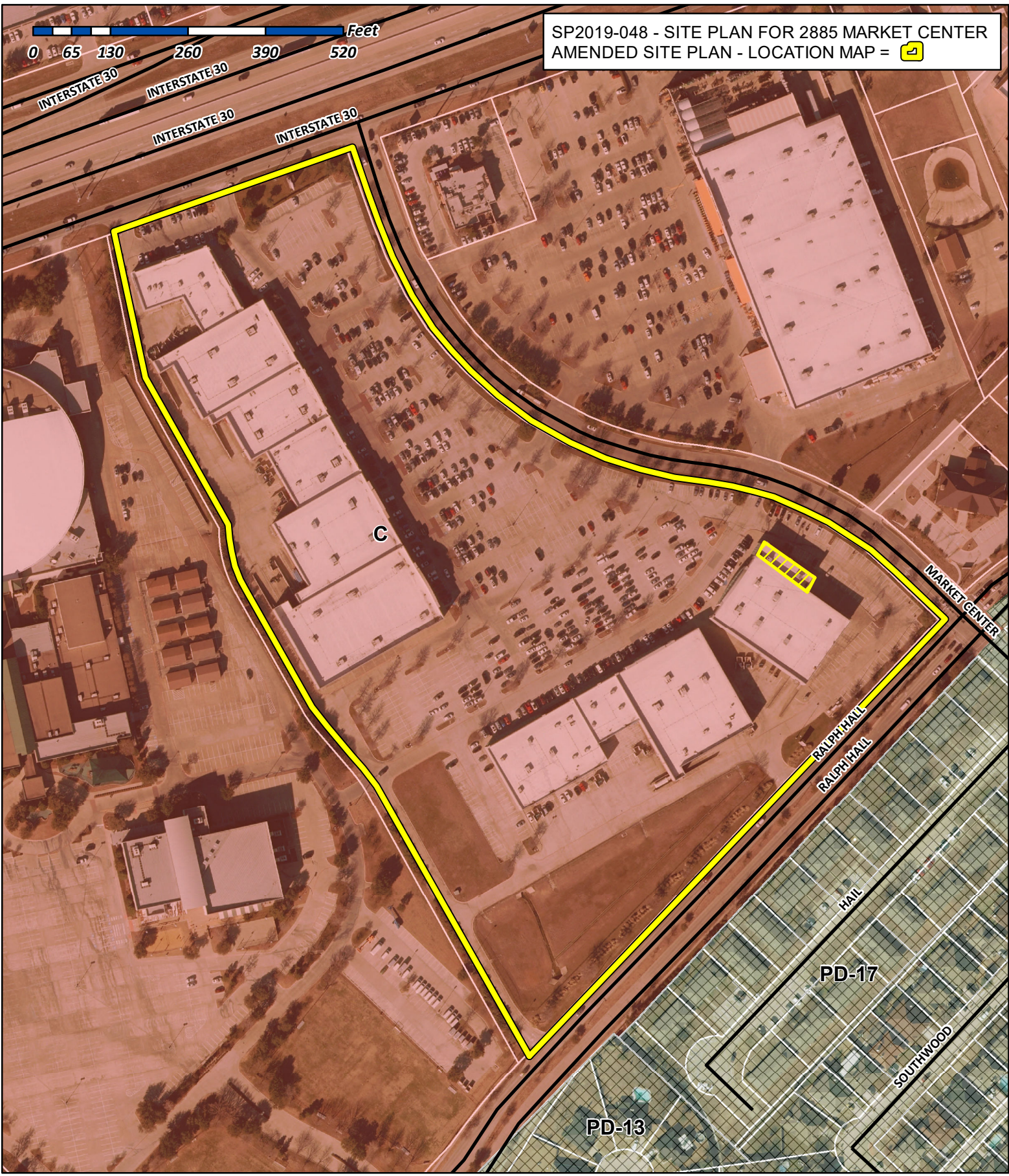
My Commission Expires 6-5-2023

Notary Public in and for the State of Texas



0 65 130 260 390 520 Feet

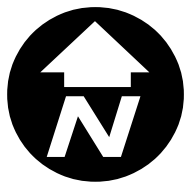
SP2019-048 - SITE PLAN FOR 2885 MARKET CENTER
AMENDED SITE PLAN - LOCATION MAP = 

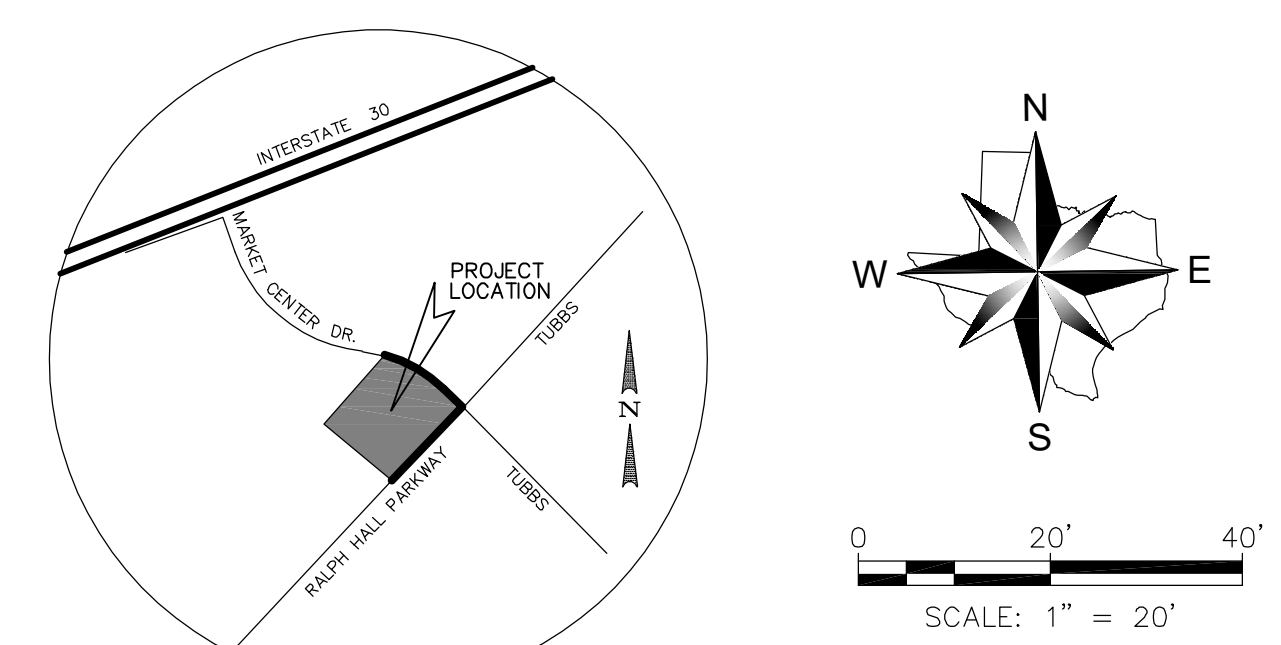
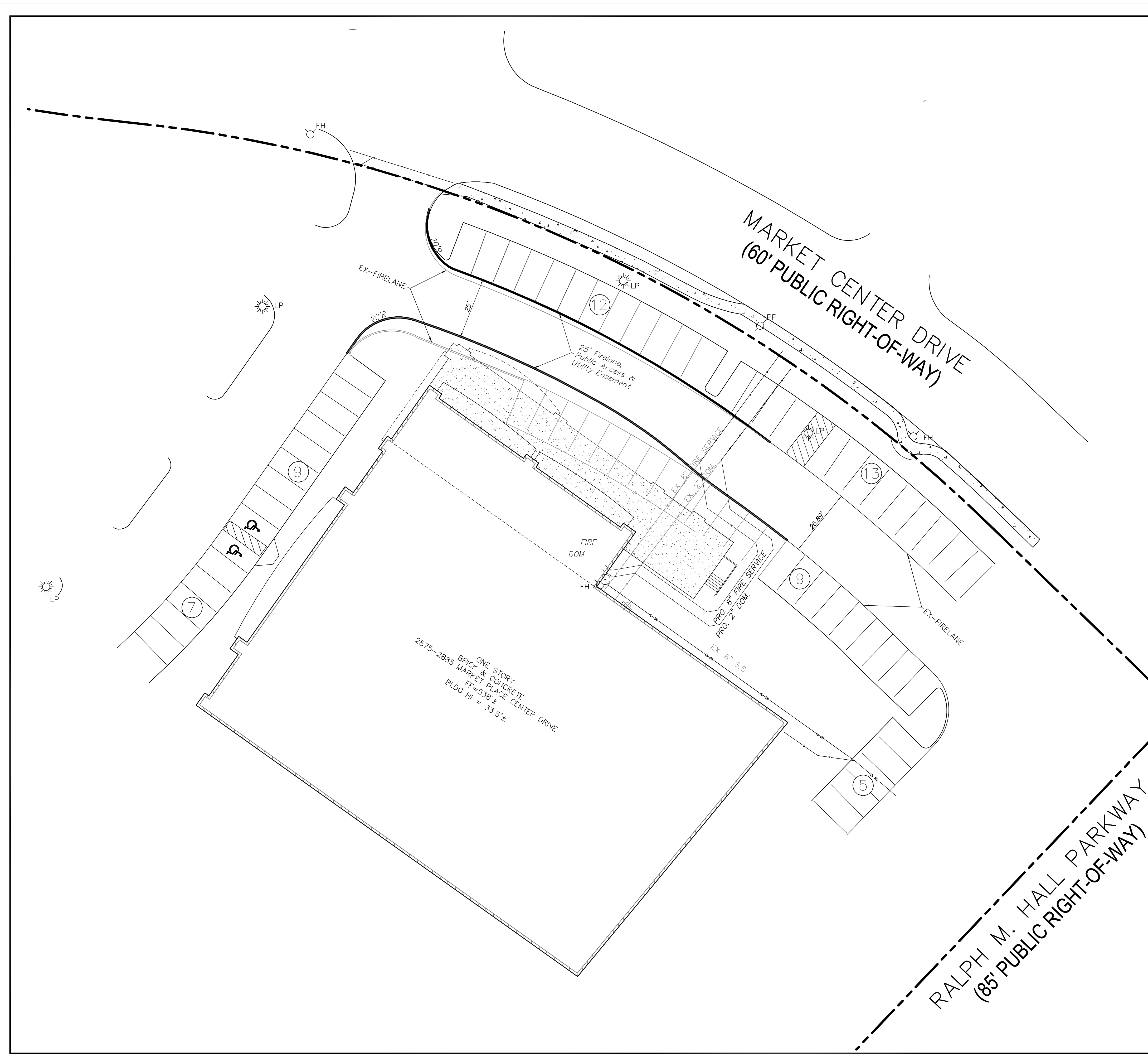


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



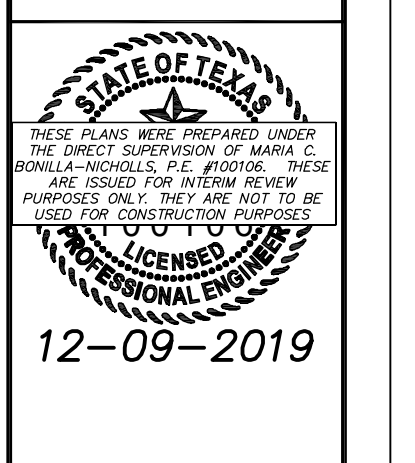


SITE DATA TABLE				
	Existing		Proposed	
AREA	934,236 S.F.	21.44 ACRES	934,236 S.F.	21.44 ACRES
ZONING	C (COMMERCIAL)		C (COMMERCIAL)	
BUILDINGS AREA (S.F.)	2,547		3,014	
PARKING REQUIRED (1/200 S.F.)	13		15	
PARKING PROVIDED:				
REGULAR (9'x18')	1015		1001	
HANDICAP (1 VAN)	26		26	
TOTAL	1041		1027	

LEGEND	
	PROPOSED BUILDING EXPANSION
PP	POWER POLE
LP	LIGHT POLE
FH	FIRE HYDRANT

6.				
5.				
4.				
3.				
2.	12-09-2019	SITEPLAN RESUBMITTAL	M.B.	
1.	03/27/2019	ISSUE FOR CONSTRUCTION	M.B.	
		REVISION		APPROV

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS • SURVEYORS
 6700 HILLCREST PLAZA DRIVE, SUITE 215
 TEXAS ENGINEERS' REGISTRATION NO. 89 866-00
 SURVEYORS' REGISTRATION NO. 122 866-00
 COPYRIGHT © 2018, Winkelmann & Associates, Inc.



SITE PLAN
 BATH & BODY WORKS EXPANSION
 2885 MARKET CENTER DRIVE
 ROCKWALL, TX 75032

SP2018-034

C-03.00

KEY NOTES:

NEW CONSTRUCTION

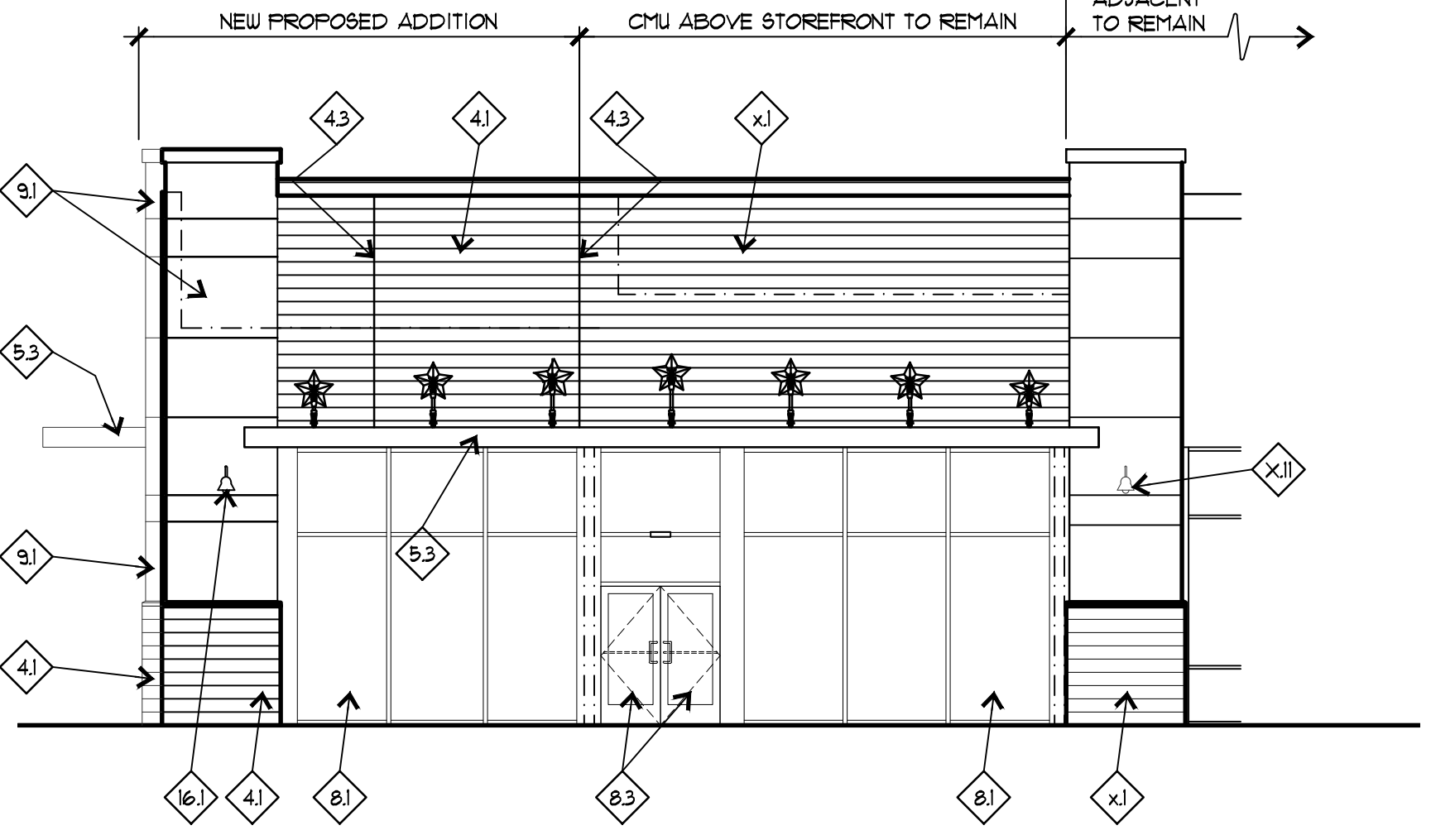
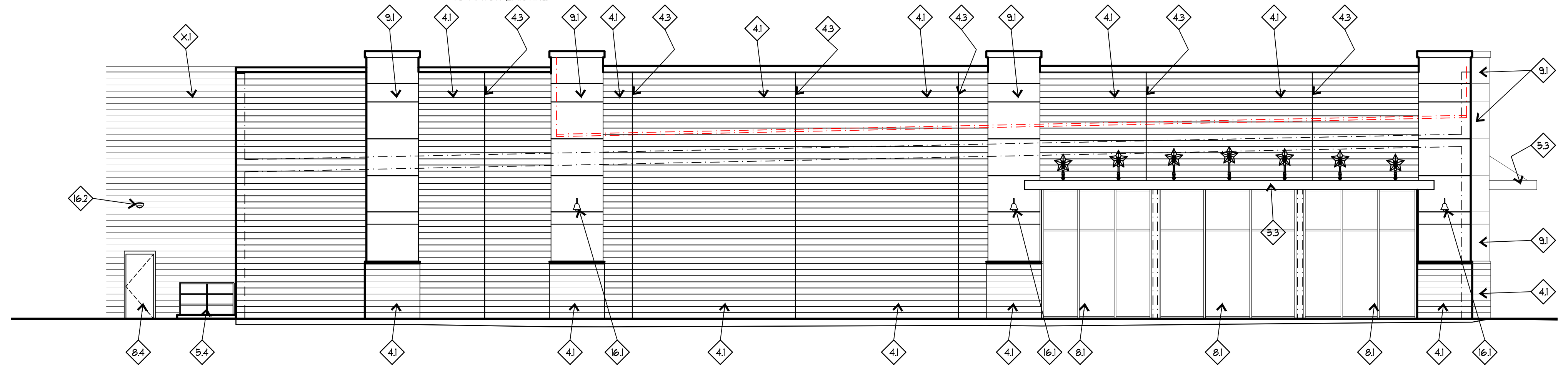
- 31 CONCRETE FLOOR SLAB OVER NEW 15 MIL VAPOR BARRIER
- 32 CONCRETE SIDEWALK
- 41 12" SPLIT FACE CMU, PAINTED
- 42 12" SMOOTH FACE CMU
- 43 CMU CONTROL JOINT
- 51 PRE-FINISHED METAL COPING, COLOR TO MATCH EXISTING, (CMU COLOR AT CMU)
- 52 NEW 6"x4" PREFINISHED METAL DOWNSPOUT AND COLLECTION BOX
- 53 NEW FLAT DESIGN / BUILD CANOPY TO MATCH EXISTING - G.C. TO SUBMIT ENGINEERED DRAWINGS TO THE CITY FOR REVIEW AND PERMIT
- 54 HOT DIPPED GALVANIZED AND PAINTED GUARDRAIL / HANDRAIL
- 55 HOT DIPPED GALVANIZED ROOF LADDER
- 61 FIRE RETARDANT WOOD BLOCKING
- 62 3/4" FIRE RETARDANT FLYWOOD
- 11 CONTINUOUS SEALANT AND BACKER ROD
- 12 CONTINUOUS SELF ADHESIVE MEMBRANE FLASHING, REF. SPECS.
- 13 ROOFING SYSTEM, R-25 MIN. INSULATION
- 14 TAPERED ROOF INSULATION
- 15 EPS CORNICE
- 16 CONTINUOUS SEALANT AND FILLER
- 17 R-20 MIN. PERIMETER BATT INSULATION (FLOOR TO DECK) BETWEEN 6" X 20 GA. GALV. METAL STUDS @ 16" O.C. - GYP. BD. BY TENANT, N.J.C.
- 18 TPO SINGLE-PLY ROOFING MEMBRANE ADHERED TO 3/4" FIRE RETARDANT FLYWOOD OVER 3/4" FURRING CHANNELS @ 16" O.C.
- 81 CLEAR ANODIZED ALUMINUM CURTAINWALL WITH 1" LOW-E TEMPERED GLASS.
- 82 1/2" NON-CORROSIVE SHIM
- 83 CLEAR ANODIZED ALUMINUM CURTAIN WALL DOOR
- 84 HOLLOW METAL DOOR (INSULATED) - PAINTED BOTH SIDES
- 91 3/4" STUCCO OVER GALV. MTL. LATH OVER AIR-WEATHER RESISTIVE BARRIER OVER 1/2" DENSE GLASS GOLD SHEATHING OVER 6"x18 GA. GALV. MTL. STUDS @ 16" O.C. MAX. REF. SPECS.
- 92 STUCCO CONTROL JOINT
- 93 3/4" DENSE GLASS GOLD SHEATHING
- 161 DECORATIVE WALL SCENCE (REF. ELECTRICAL DUGS.)
- 162 EMERGENCY LIGHT (REF. ELECTRICAL DUGS.)
- 163 ELECTRICAL SERVICE AREA - REFER ELECTRICAL DUGS.
- 164 RELOCATED SCENCE (IF POSSIBLE - G.C. VERIFY CONDITION) OR NEW TO MATCH EXISTING

EXISTING / DEMOLITION

- X1 EXISTING CMU WALL TO REMAIN
- X2 EXISTING STEEL COLUMN TO REMAIN
- X3 EXISTING WALL TO REMAIN
- X4 EXISTING DOOR TO REMAIN
- X5 EXISTING SIDEWALK TO REMAIN
- X6 EXISTING CONCRETE SLAB TO REMAIN
- X7 EXISTING METAL PANEL TO REMAIN
- X8 EXISTING METAL COPING TO REMAIN
- X9 EXISTING ROOF STRUCTURE / ROOFING TO REMAIN
- X10 EXISTING ROOF TO REMAIN
- X11 EXISTING SCENCE TO REMAIN
- X12 EXISTING SCENCE, RELOCATE
- X13 EXISTING STUCCO / MTL. STUD WALL TO REMAIN
- D1 REMOVE EXISTING PILASTER (CMU / STUDS / FINISHES)
- D2 REMOVE EXISTING FLAT CANOPY / SOFFIT LIGHTS, RODS, ETC.)
- D3 REMOVE EXISTING COLLECTION BOX AND DOWNSPOUT - REPLACE TO ADJUST TO NEW CONSTRUCTION (DRAIN TO NEW ROOF)
- D4 EXISTING UTILITIES TO BE RELOCATED
- D5 REMOVE EXISTING STOREFRONT DOOR
- D6 REMOVE EXISTING STOREFRONT DOOR
- D7 REMOVE EXISTING CMU WALL - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED
- D8 REMOVE / REPLACE EXISTING STEEL BEAM AND CHANNELS - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED

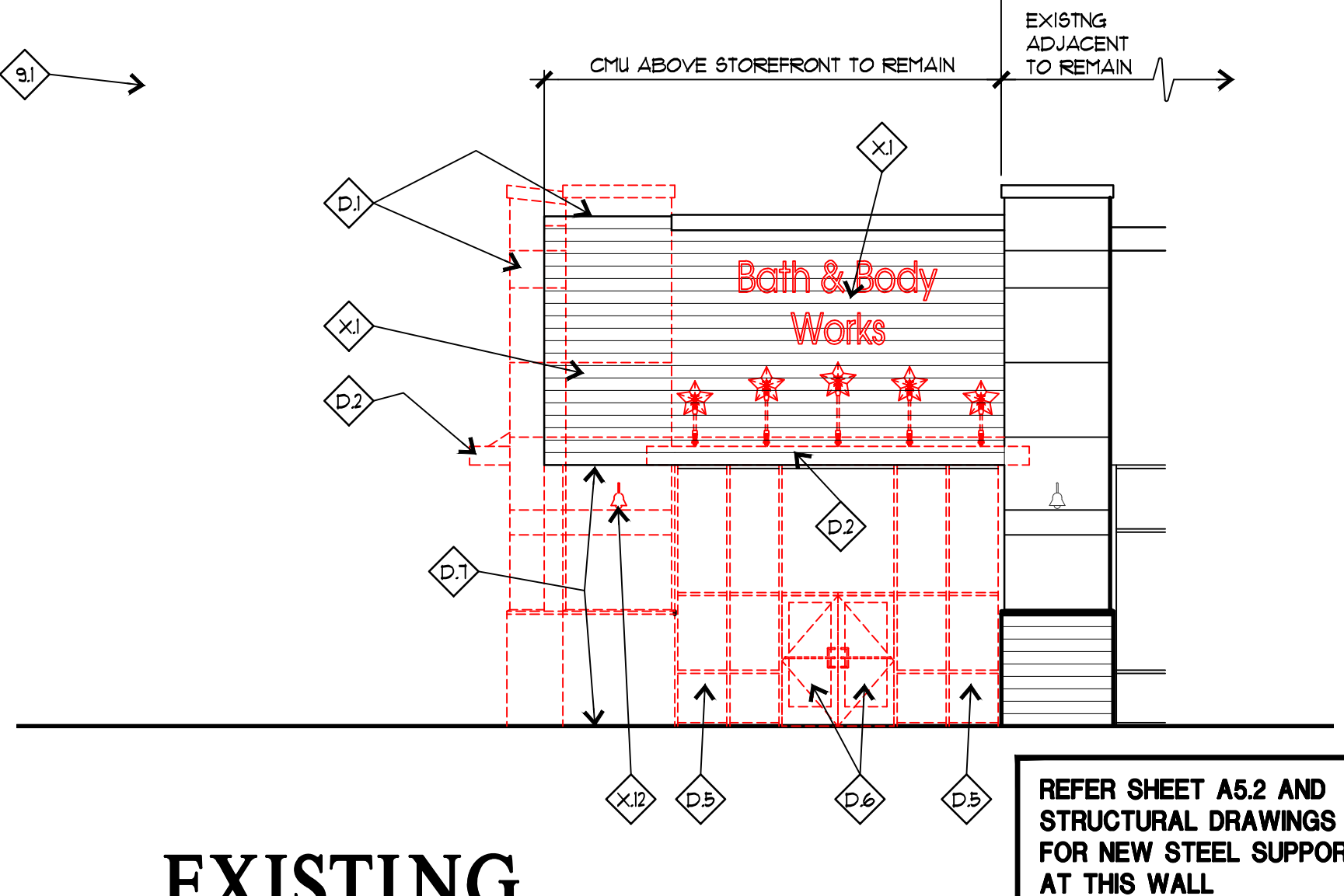
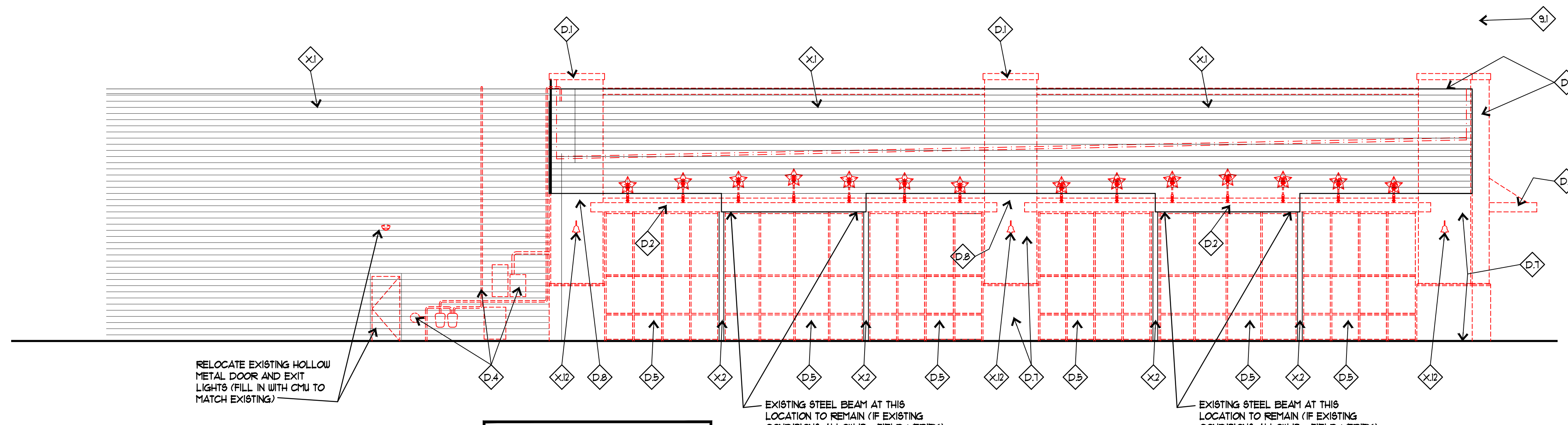
PROPOSED 06 REAR (SOUTH) ELEVATION
1/8" = 1'-0"

EXISTING 05 REAR (SOUTH) ELEVATION
1/8" = 1'-0"



04 PROPOSED SIDE (EAST ELEVATION)
1/8" = 1'-0"

PROPOSED 02 FRONT (NORTH) ELEVATION
1/8" = 1'-0"



03 EXISTING SIDE (EAST ELEVATION)
1/8" = 1'-0"

EXISTING 01 FRONT (NORTH) ELEVATION
1/8" = 1'-0"

GSO ARCHITECTS
5310 HARVEST HILL RD., SUITE 226, LB 156
DALLAS, TX 75230 972.385.9651
www.GSOarchitects.com

BATH AND BODY WORKS EXPANSION
ROCKWALL, TEXAS
ROCKWALL DUNHILL, LLC.

ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASI NO. 2 (RE-ISSUE FOR BID & PERMIT)	11/5/19

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REGISTERED ARCHITECT
LUIS H. GOMEZ
STATE OF TEXAS
1989
LUIS H. GOMEZ
ARCHITECT
REGISTRATION NO. 14694
DATE: 11/5/19 SIGNED

JOB NO.: 18-058
DATE: 3/5/19
SCALE: AS NOTED

SHEET NO. A5.1
ELEVATIONS

KEY NOTES:

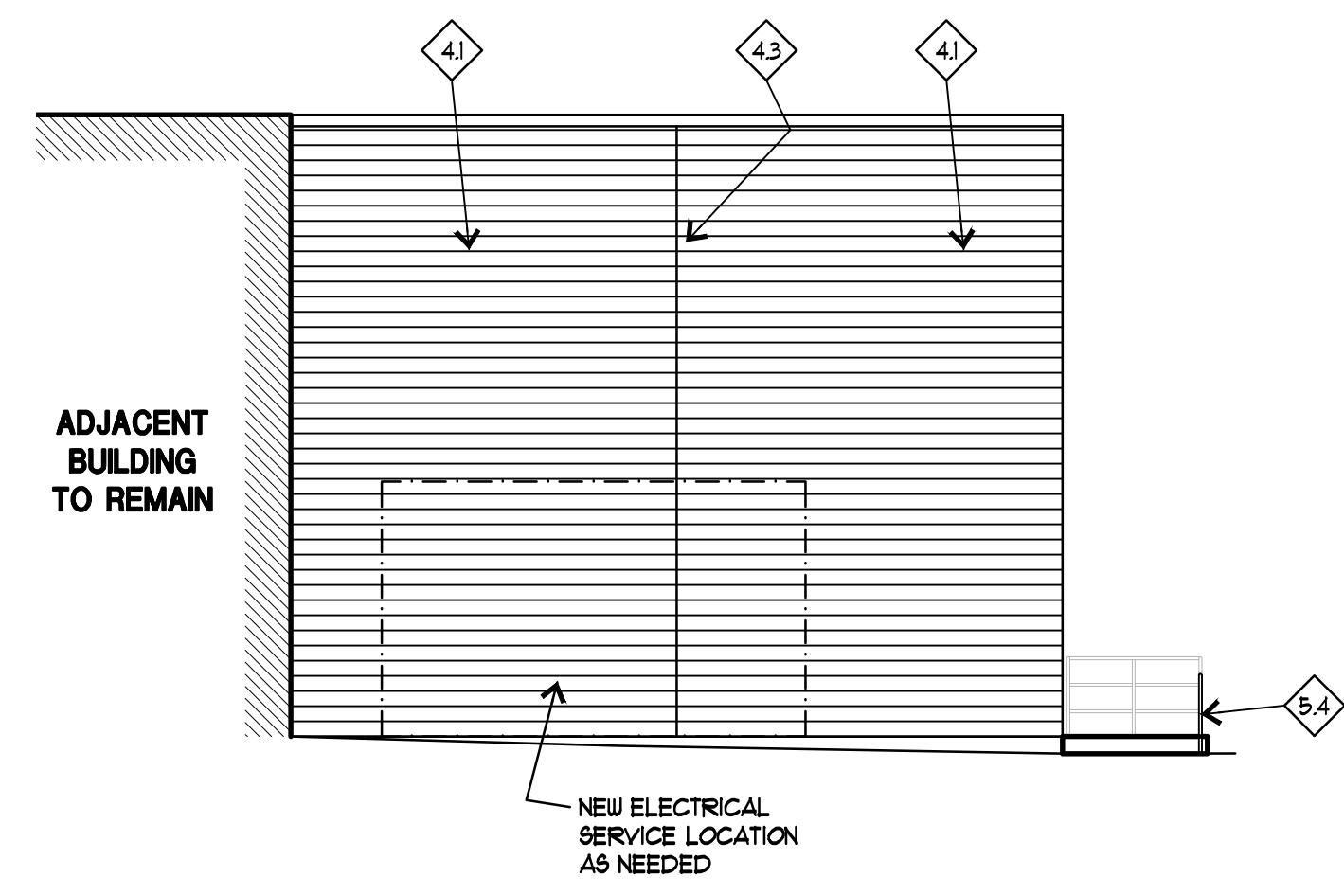
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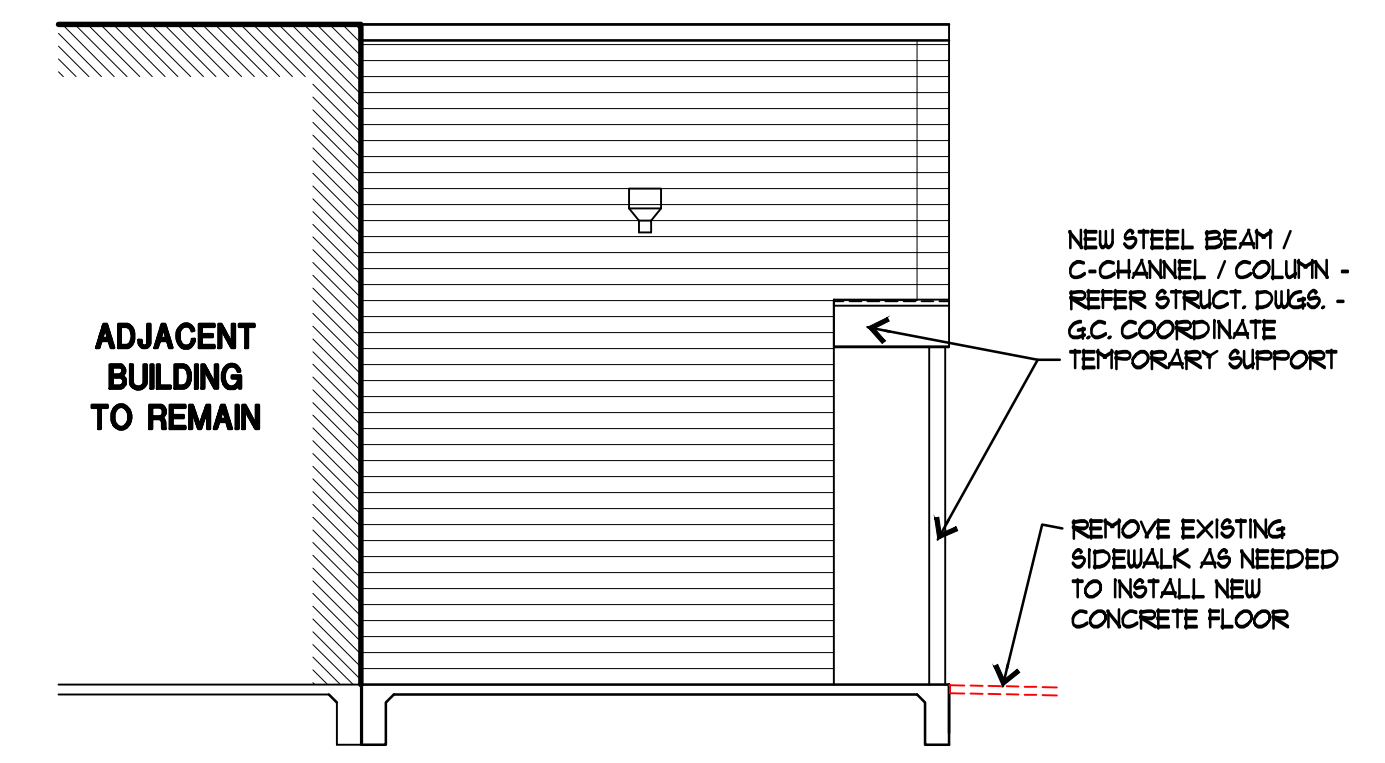
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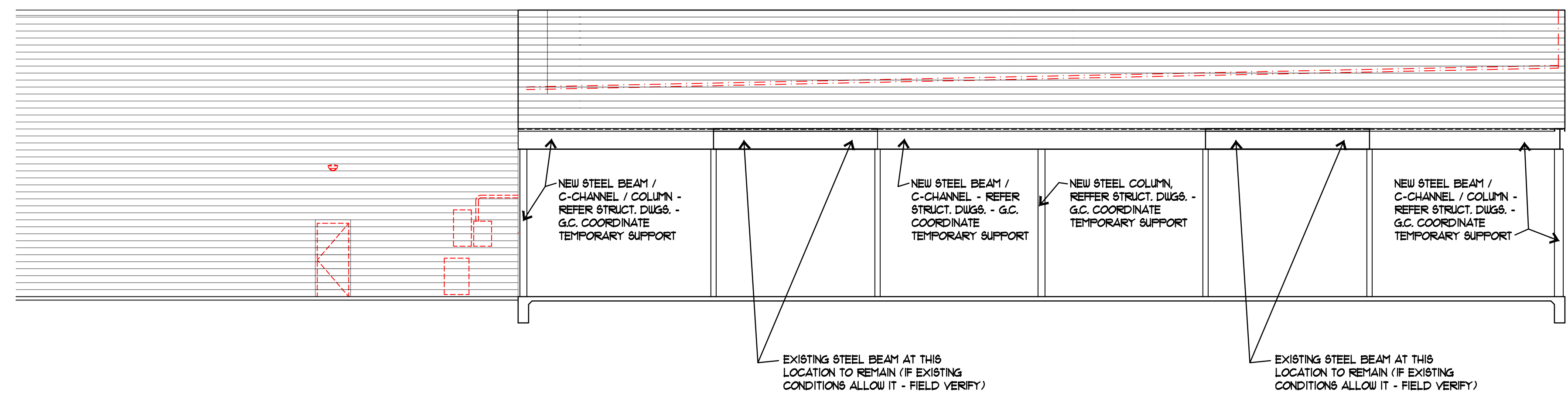
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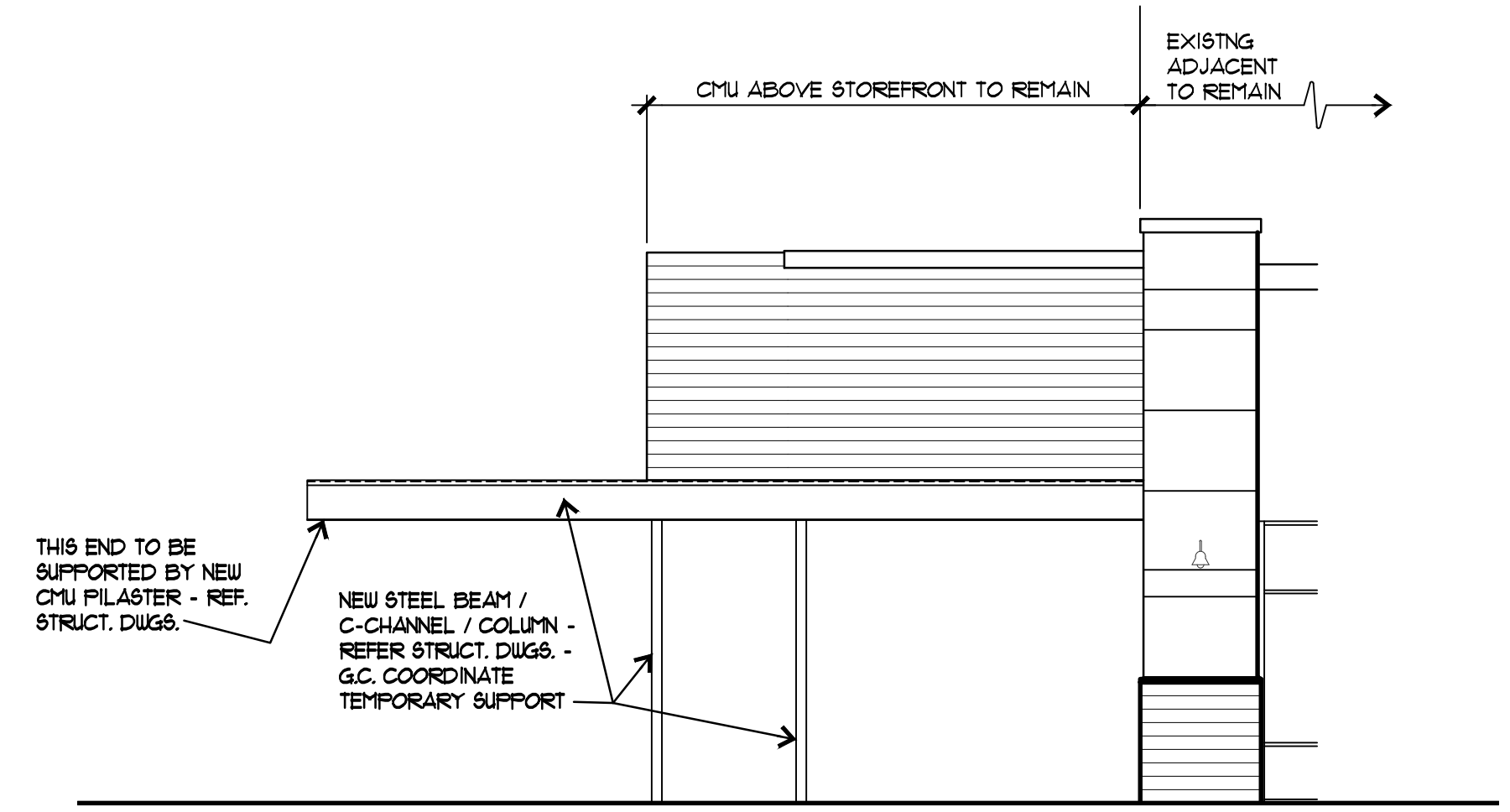
04 PROPOSED SIDE (WEST ELEVATION)
 1/8" = 1'-0"



03 REAR (SOUTH) ELEVATION
 1/8" = 1'-0"



02 EXISTING WITH NEW STEEL SIDE (EAST ELEVATION)
 1/8" = 1'-0"



01 EXISTING (WITH NEW STEEL) FRONT (NORTH) ELEVATION
 1/8" = 1'-0"

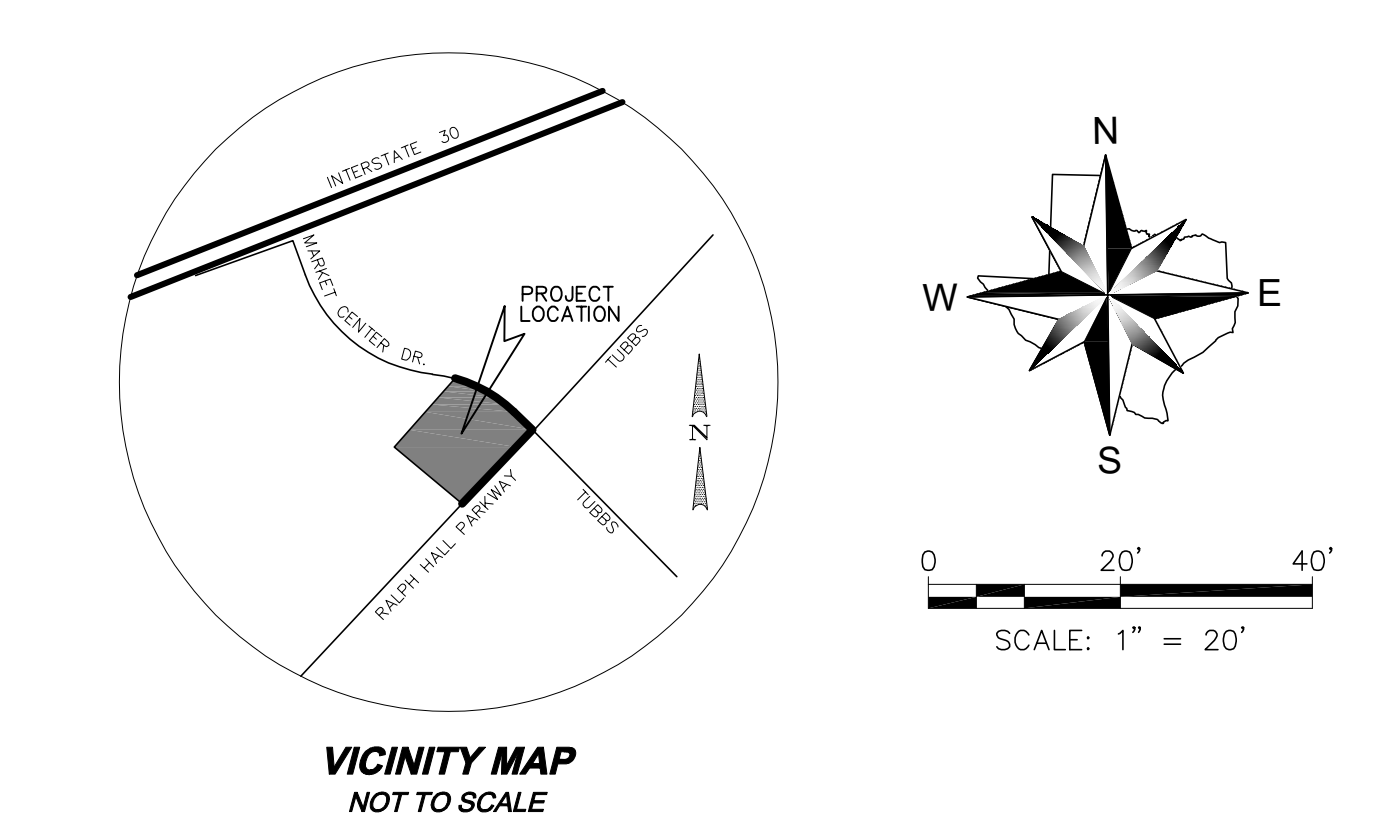
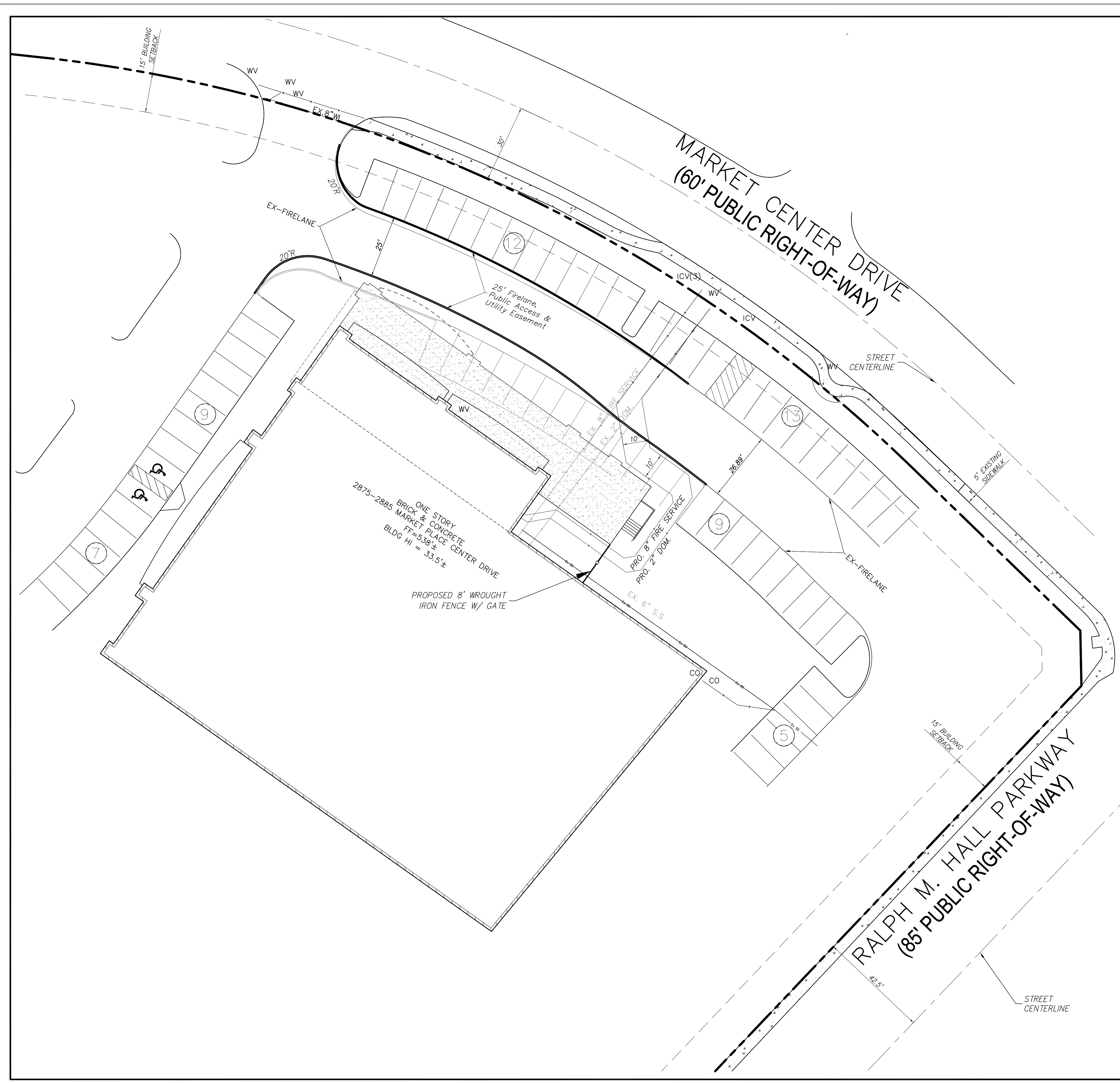
ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASI NO. 2 (RE-ISSUE FOR BID & PERMIT)	11/5/19

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REGISTERED ARCHITECT
 LUIS H. GOMEZ
 ARCHITECT
 REGISTRATION NO. 14694
 DATE: 11/5/19 SIGNED

JOB NO. : 18-058
 DATE: 3/5/19
 SCALE: AS NOTED



SITE DATA TABLE				
	Existing		Proposed	
AREA	934,236 S.F.	21.44 ACRES	934,236 S.F.	21.44 ACRES
ZONING	C (COMMERCIAL)		C (COMMERCIAL)	
BUILDINGS AREA (S.F.)	2,547		3,014	
PARKING REQUIRED (1/200 S.F.)	13		15	
PARKING PROVIDED:				
REGULAR (9'x18')	1015		1001	
HANDICAP (1 VAN)	26		26	
TOTAL	1041		1027	

LEGEND	
	PROPOSED BUILDING EXPANSION
	POWER POLE
	LIGHT POLE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of JANUARY, 2020.

WITNESS OUR HANDS, this ____ day of JANUARY, 2020.

Planning and Zoning Commission, Chairman: _____

Director of Planning and Zoning: _____

Date: _____

SP2019-048

6.		01/13/2020	M.B.	SITE PLAN COMMENTS	M.B.
5.		01/02/2020	M.B.	SITE PLAN COMMENTS	M.B.
4.		12/09/2019	M.B.	SITE PLAN RESUBMITTAL	M.B.
3.		03/27/2019	M.B.	ISSUE FOR CONSTRUCTION	M.B.
2.			M.B.	REVISION	M.B.
1.			M.B.	APPROVAL	M.B.

LAST SAVED BY: PPEVA January 13, 2020

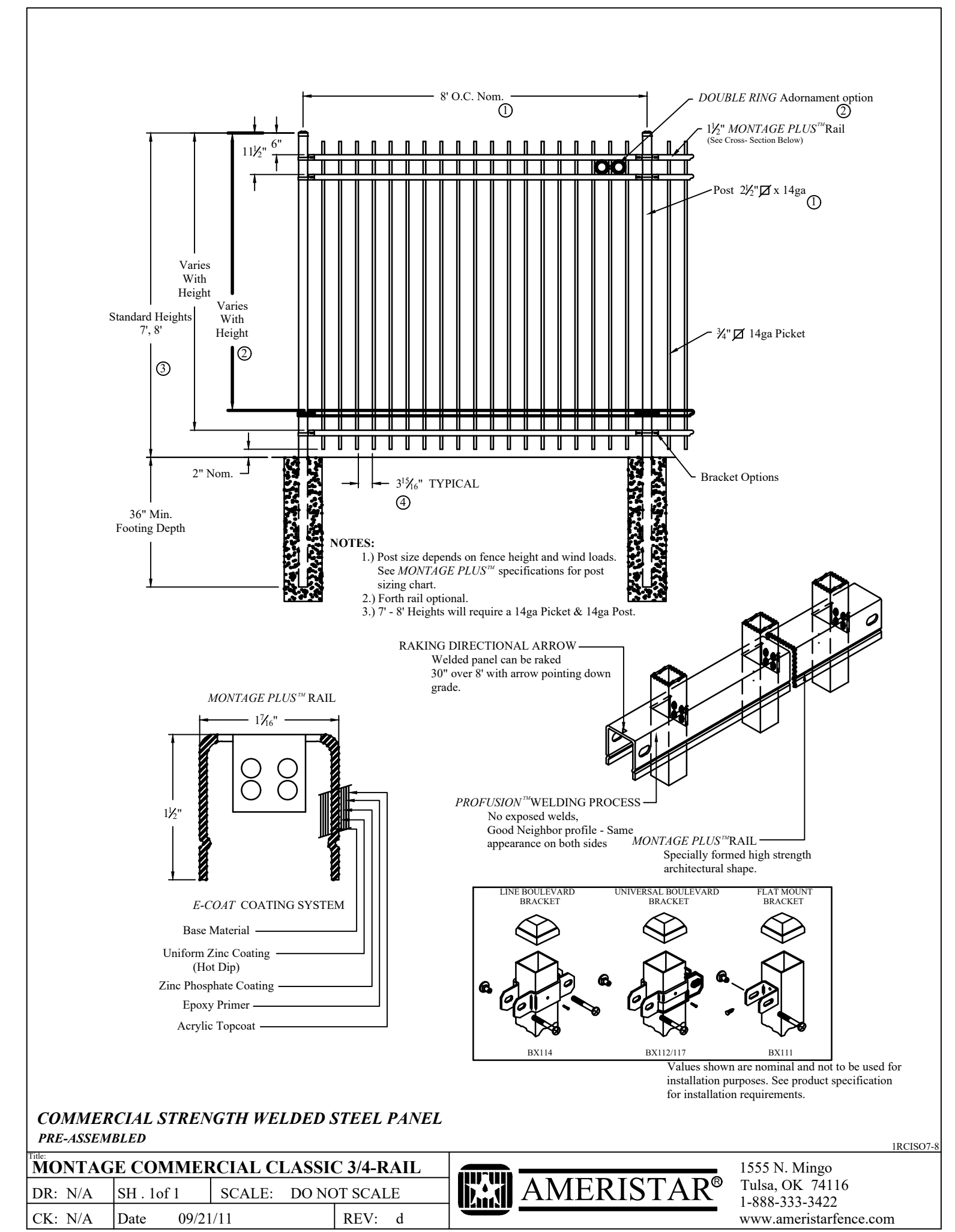
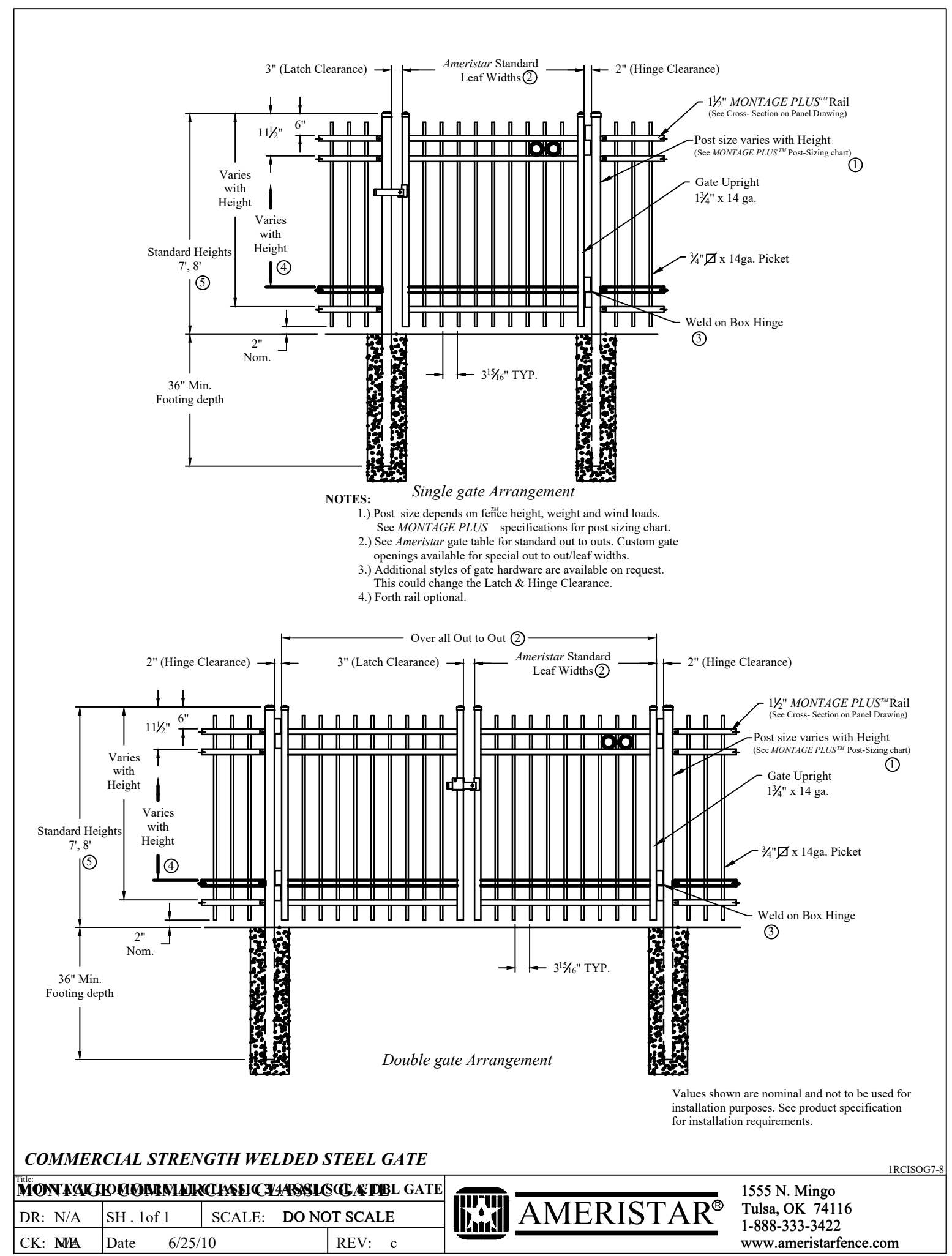
Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS • SURVEYORS
6300 HILLCREST PLAZA DRIVE, SUITE 215
ROCKWALL, TEXAS 75087
Texas Engineers Registration No. 89-89866-00
Texas Surveyors Registration No. 10000-00000-00000
COPYRIGHT © 2020, Winkelmann & Associates, Inc.

01-13-2020

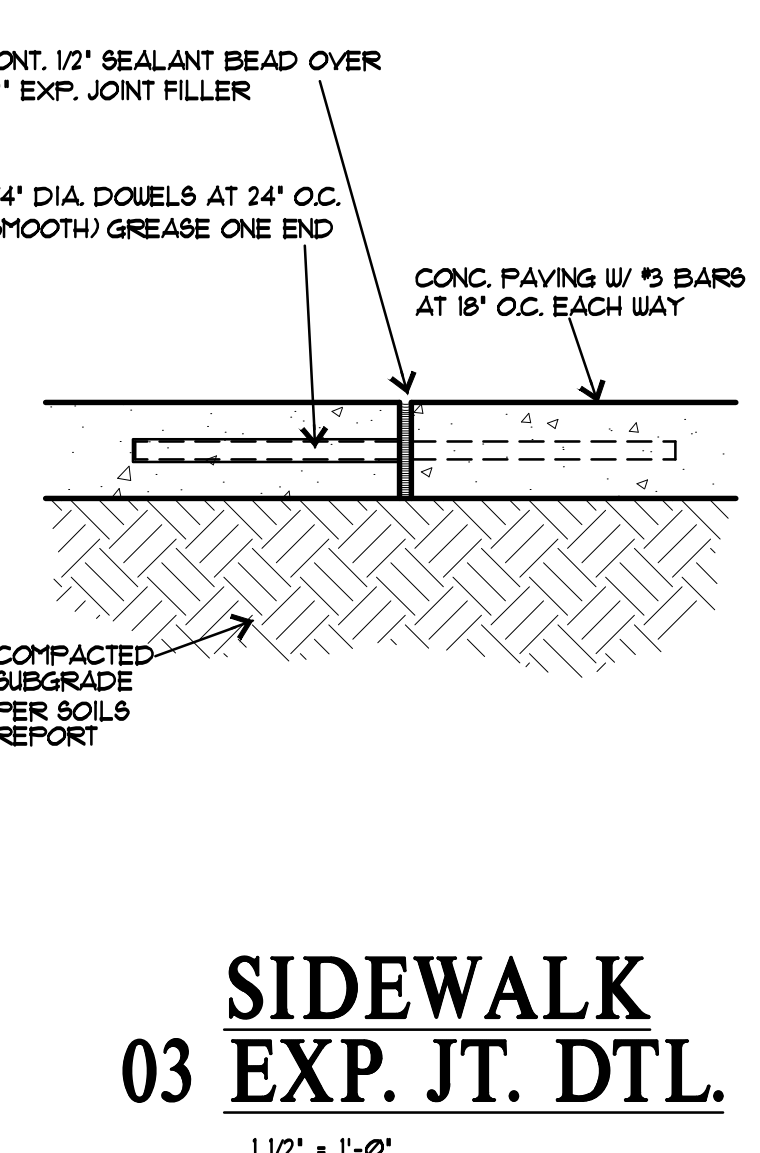
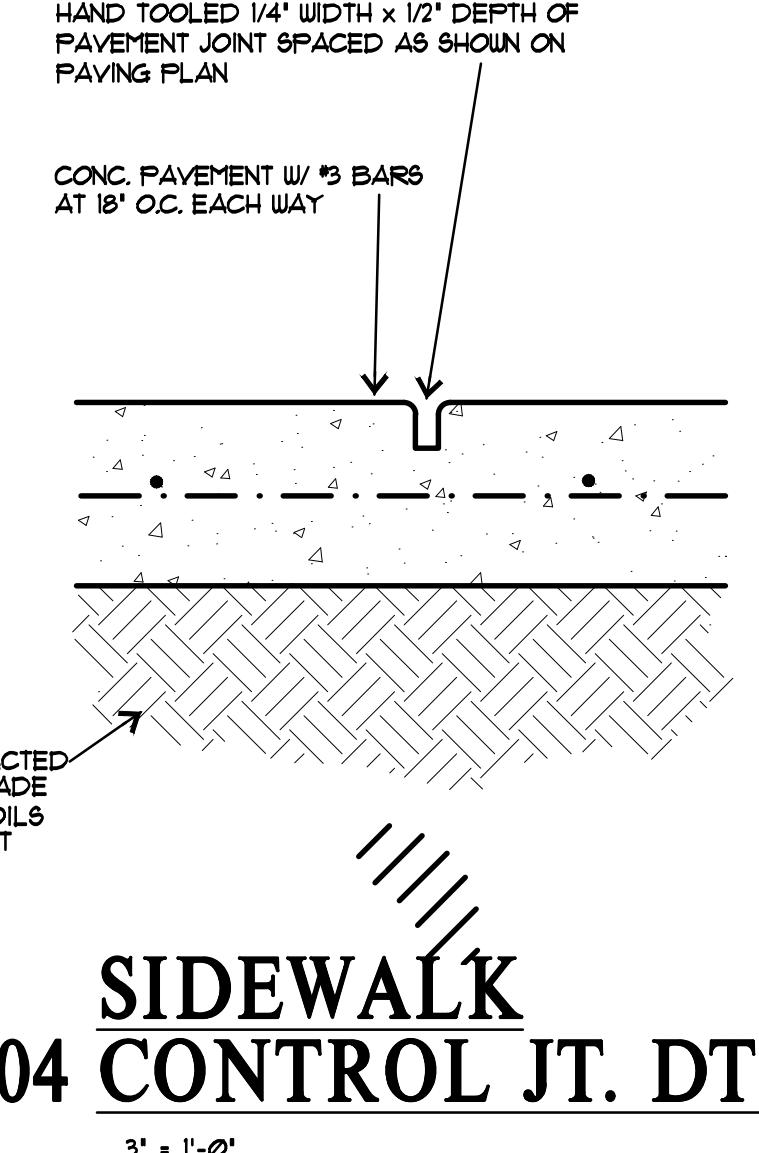
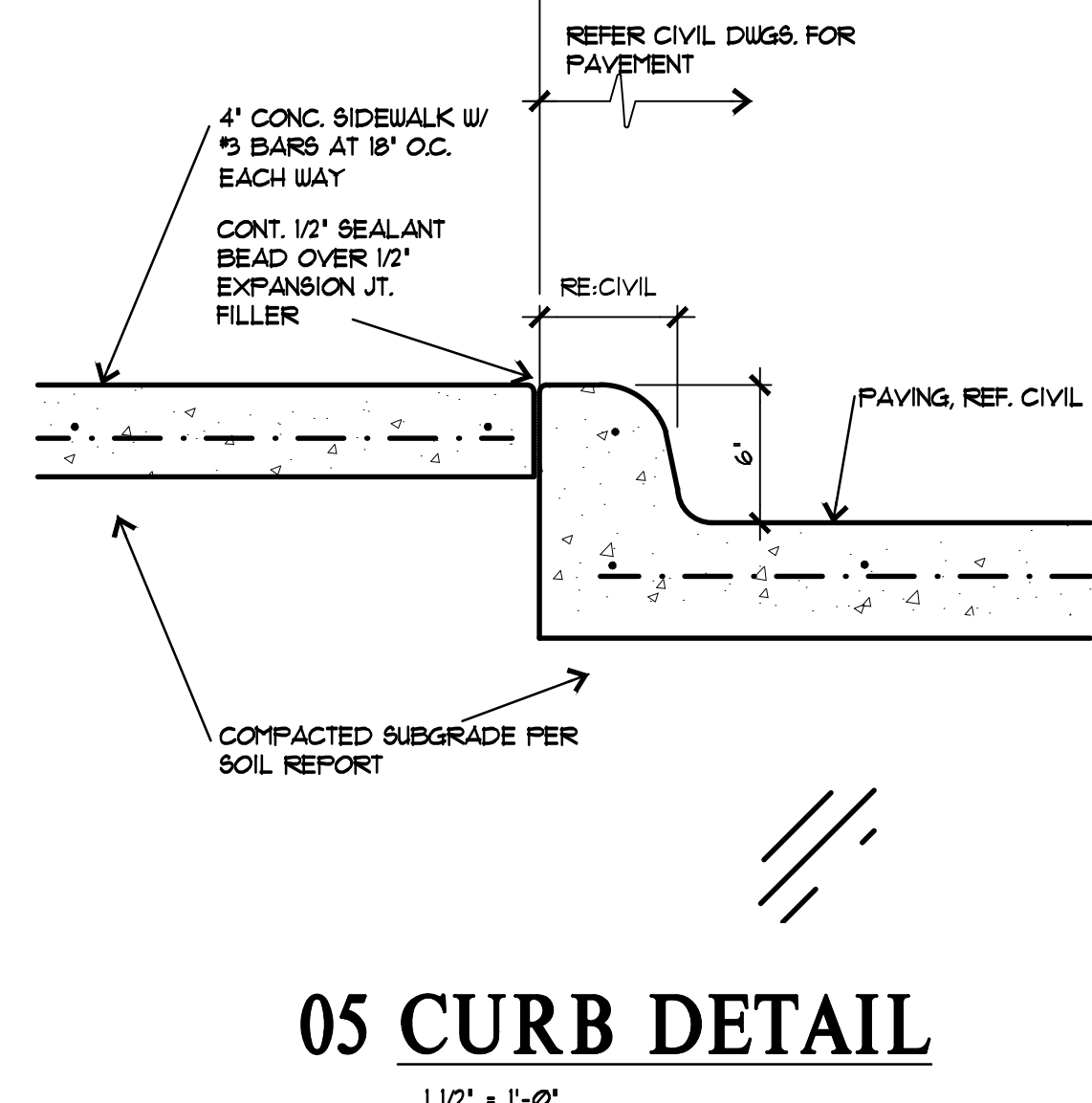
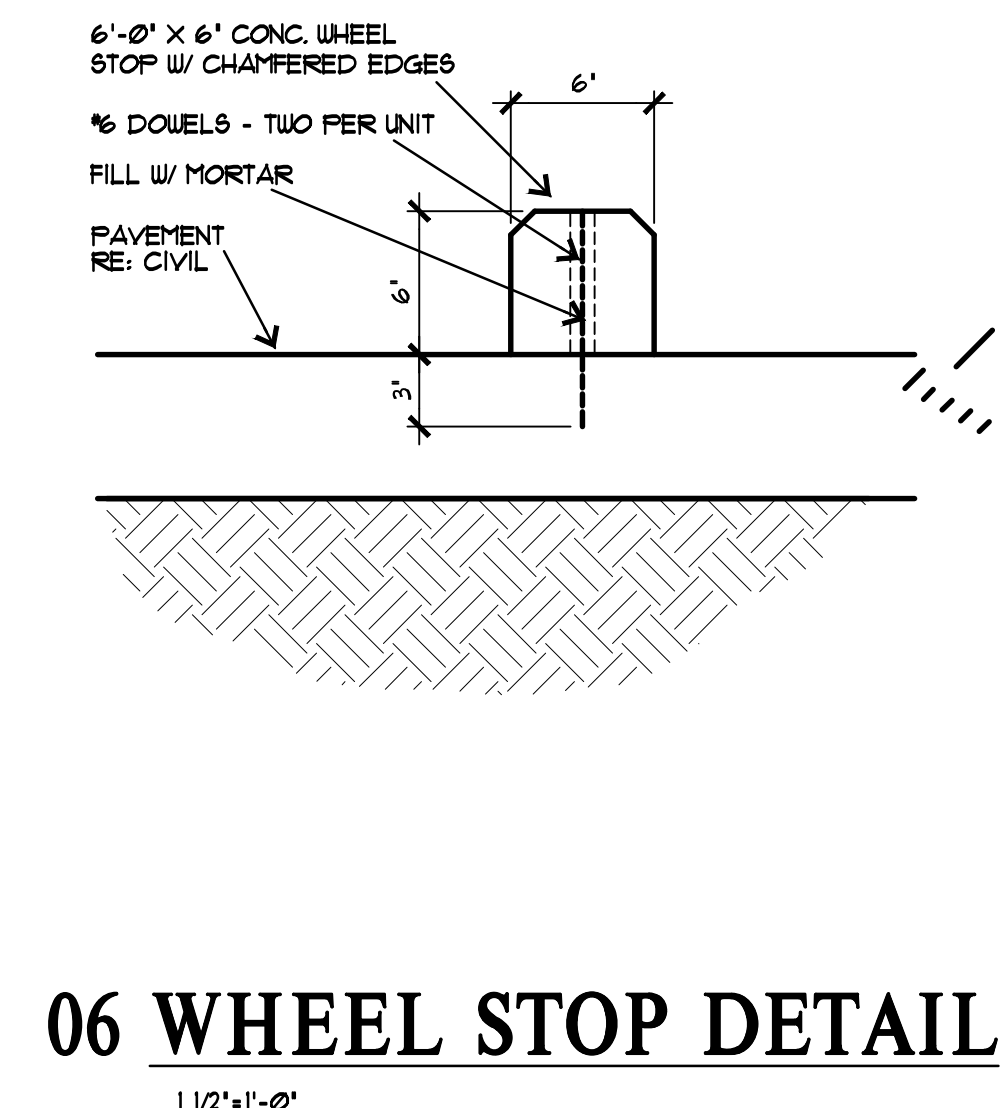
SITE PLAN
BATH & BODY WORKS EXPANSION
2885 MARKET CENTER DRIVE
ROCKWALL, TX 75032

C-03.00

NOTE:
 DESIGN BUILT BY GENERAL CONTRACTOR, G.C. SHALL ENLIST FENCE PROVIDER AND INSTALL FENCING AS REQUIRED BY THE CITY AND ANY APPLICABLE CODES



07 METAL FENCE DETAIL



ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASI NO. 2 (RE-ISSUE FOR BID 4 PERMIT)	1/15/19
2	ASI NO. 3 (RESPONSE TO CITY COMMENTS)	1/14/20

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REGISTERED ARCHITECT
 LUIS H. GOMEZ
 STATE OF TEXAS
 1969

LUIS H. GOMEZ
 ARCHITECT
 REGISTRATION NO. 14694

DATE: 3/5/19 SIGNED

JOB NO. : 18-058
 DATE: 3/5/19
 SCALE: AS NOTED

SHEET NO.
A2.0
 PAVING DETAILS

ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASH NO. 3 (RE-ISSUE FOR BID 4 PERMIT)	11/5/19
2	ASH NO. 3 (RESPONSE TO CITY COMMENTS)	1/14/20

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REGISTERED ARCHITECT
 LUIS H. GOMEZ
 STATE OF TEXAS
 LUIS H. GOMEZ
 ARCHITECT
 REGISTRATION NO. 14694
 DATE: 11/5/19 SIGNED

JOB NO.: 18-058
 DATE: 3/5/19
 SCALE: AS NOTED

SHEET NO. A5.1
 ELEVATIONS

KEY NOTES:

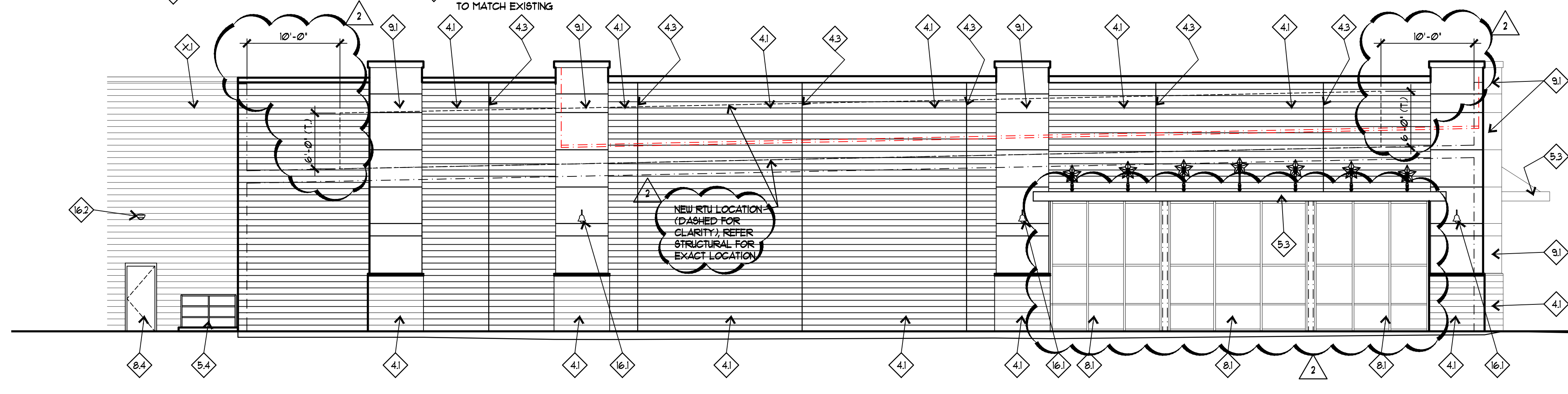
NEW CONSTRUCTION

- 3.1 CONCRETE FLOOR SLAB OVER NEW 15 MIL VAPOR BARRIER
- 3.2 CONCRETE SIDEWALK
- 4.1 12" SPLIT FACE CMU TO MATCH EXISTING, PAINTED
- 4.2 12" SMOOTH FACE CMU
- 4.3 CMU CONTROL JOINT
- 5.1 PRE-FINISHED METAL COPING, COLOR TO MATCH EXISTING, (CMU COLOR AT CMU)
- 5.2 NEW 6"x4" PREFINISHED METAL DOWNSPOUT AND COLLECTION BOX
- 5.3 NEW FLAT DESIGN / BUILD CANOPY TO MATCH EXISTING - G.C. TO SUBMIT ENGINEERED DRAWINGS TO THE CITY FOR REVIEW AND PERMIT
- 5.4 HOT DIPPED GALVANIZED AND PAINTED GUARDRAIL / HANDRAIL
- 5.5 HOT DIPPED GALVANIZED ROOF LADDER
- 6.1 FIRE RETARDANT WOOD BLOCKING
- 6.2 3/4" FIRE RETARDANT FLYWOOD
- 1.1 CONTINUOUS SEALANT AND BACKER ROD
- 1.2 CONTINUOUS SELF ADHESIVE MEMBRANE FLASHING, REF. SPECS.
- 1.3 ROOFING SYSTEM, R-25 MIN. INSULATION
- 1.4 TAPERED ROOF INSULATION
- 1.5 EPS CORNICE
- 1.6 CONTINUOUS SEALANT AND FILLER
- 1.7 R-20 MIN. PERIMETER BATT INSULATION (FLOOR TO DECK) BETWEEN 6" X 20 GA. GALV. METAL STUDS @ 16" O.C. - GYP. BD. BY TENANT, N.J.C.
- 1.8 TPO SINGLE-PLY ROOFING MEMBRANE ADHERED TO 3/4" FIRE RETARDANT FLYWOOD OVER 3/4" FLASHING CHANNELS @ 16" O.C.
- 8.1 CLEAR ANODIZED ALUMINUM CURTAIN WALL WITH 1" LOUVE TINTED GLASS, MATCH EXISTING CENTER
- 8.2 1/2" NON-CORROSIVE SHIM
- 8.3 CLEAR ANODIZED ALUMINUM CURTAIN WALL DOOR
- 8.4 HOLLOW METAL DOOR (INSULATED) - PAINTED BOTH SIDES
- 9.1 3/4" STUCCO OVER GALV. MTL. LATH OVER AIR-WEATHER RESISTIVE BARRIER OVER 1/2" DENSE GLASS GOLD SHEATHING OVER 6"x18 GA. GALV. MTL. STUDS @ 16" O.C. MAX. REF. SPECS.
- 9.2 STUCCO CONTROL JOINT
- 9.3 3/4" DENSE GLASS GOLD SHEATHING
- 16.1 DECORATIVE WALL SCENCE (REF. ELECTRICAL DUGS.)
- 16.2 EMERGENCY LIGHT (REF. ELECTRICAL DUGS.)
- 16.3 ELECTRICAL SERVICE AREA - REFER ELECTRICAL DUGS.
- 16.4 RELOCATED SCENCE (IF POSSIBLE - G.C. VERIFY CONDITION) OR NEW TO MATCH EXISTING

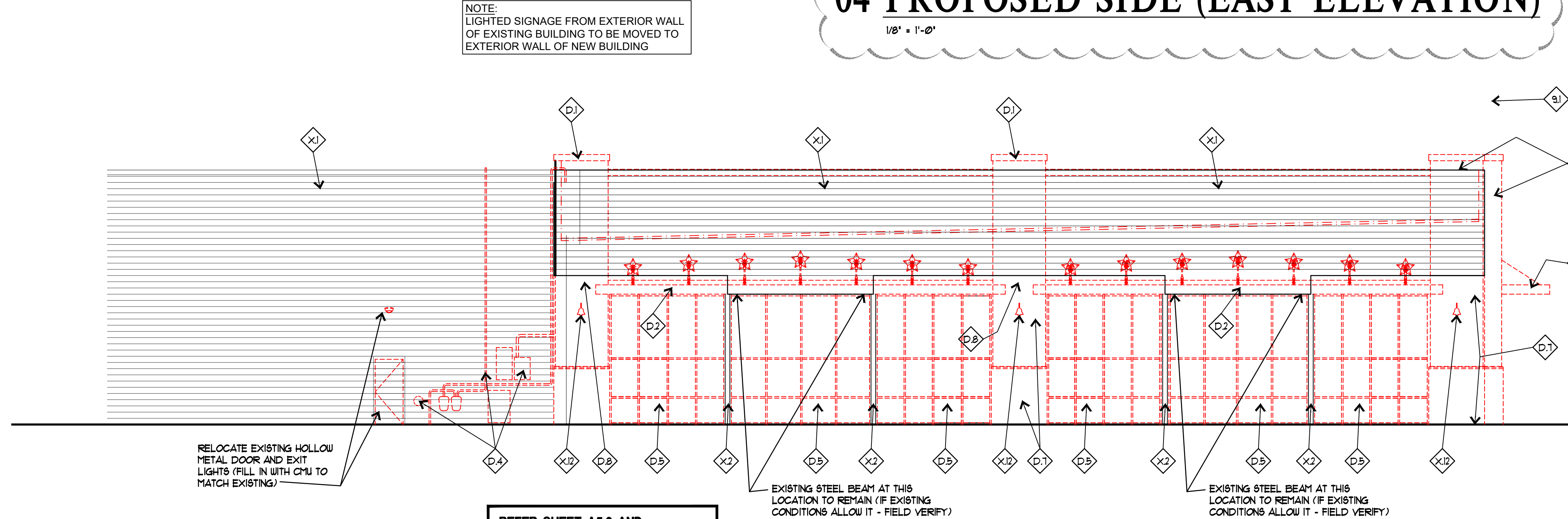
EXISTING / DEMOLITION

- X.1 EXISTING CMU WALL TO REMAIN
- X.2 EXISTING STEEL COLUMN TO REMAIN
- X.3 EXISTING WALL TO REMAIN
- X.4 EXISTING DOOR TO REMAIN
- X.5 EXISTING SIDEWALK TO REMAIN
- X.6 EXISTING CONCRETE SLAB TO REMAIN
- X.7 EXISTING METAL PANEL TO REMAIN
- X.8 EXISTING METAL COPING TO REMAIN
- X.9 EXISTING ROOF STRUCTURE / ROOFING TO REMAIN
- X.10 EXISTING ROOF TO REMAIN
- X.11 EXISTING SCENCE TO REMAIN
- X.12 EXISTING SCENCE, RELOCATE
- X.13 EXISTING STUCCO / MTL. STUD WALL TO REMAIN
- D.1 REMOVE EXISTING PILASTER (CMU / STUDS / FINISHES)
- D.2 REMOVE EXISTING FLAT CANOPY / SOFFIT LIGHTS, RODS, ETC.)
- D.3 REMOVE EXISTING COLLECTION BOX AND DOWNSPOUT - REPLACE TO ADJUST TO NEW CONSTRUCTION (DRAIN TO NEW ROOF)
- D.4 EXISTING UTILITIES TO BE RELOCATED
- D.5 REMOVE EXISTING STOREFRONT
- D.6 REMOVE EXISTING STOREFRONT DOOR
- D.7 REMOVE EXISTING CMU WALL - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED
- D.8 REMOVE / REPLACE EXISTING STEEL BEAM AND CHANNELS - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED

PROPOSED 06 REAR (SOUTH) ELEVATION
 1/8" = 1'-0"



04 PROPOSED SIDE (EAST ELEVATION)
 1/8" = 1'-0"

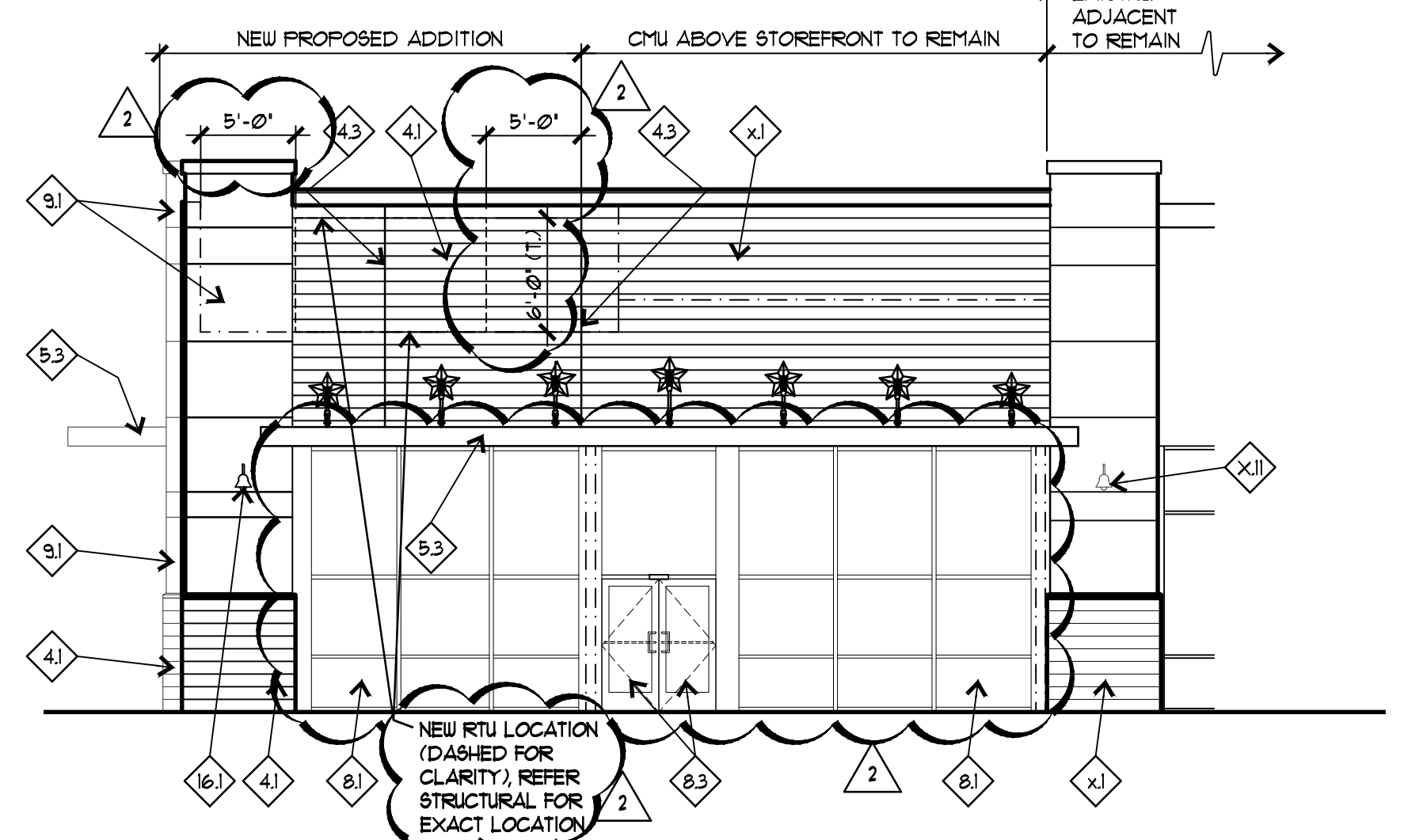


REFER SHEET A5.2 AND STRUCTURAL DRAWINGS FOR NEW STEEL SUPPORTS AT THIS WALL

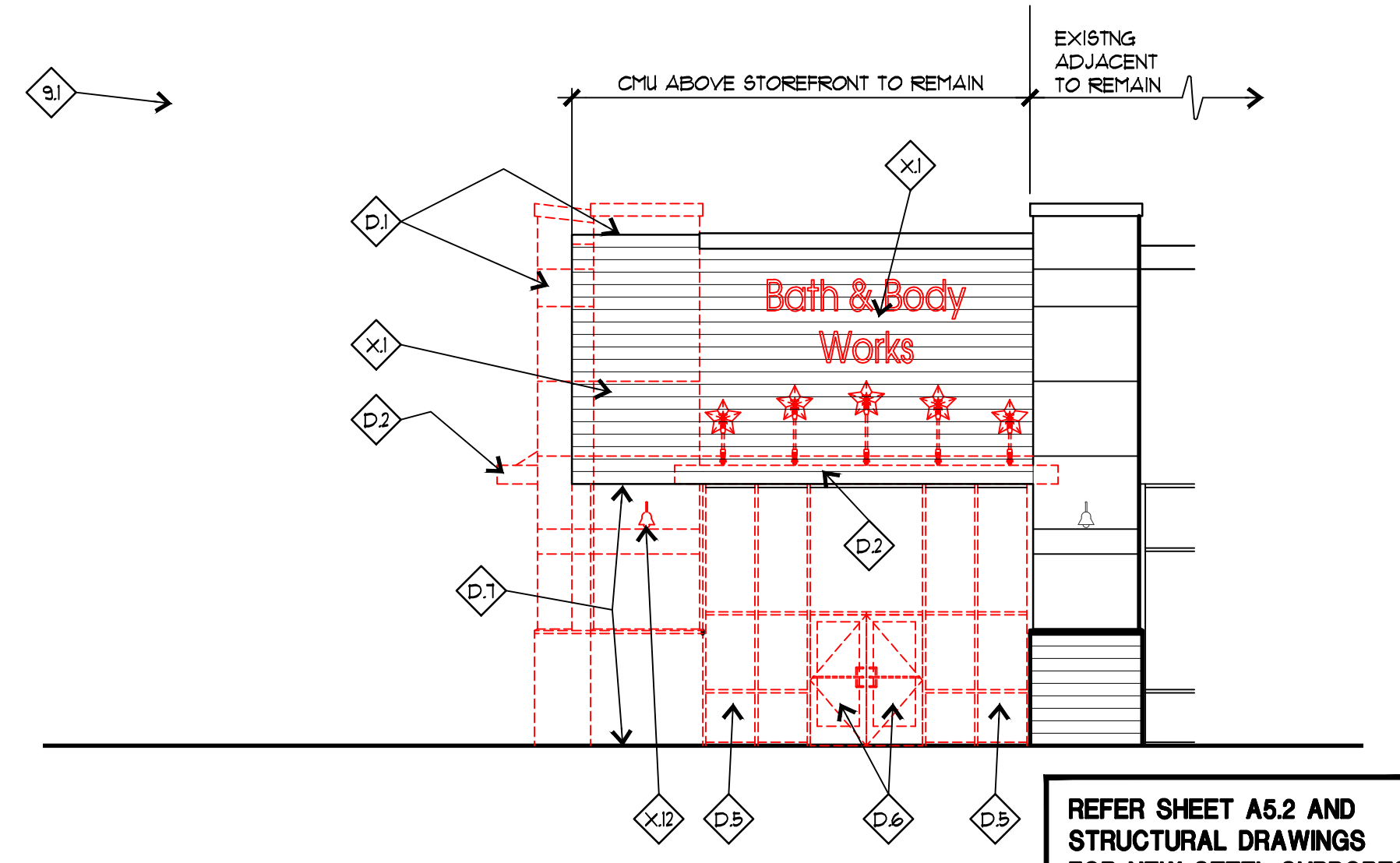
03 EXISTING SIDE (EAST ELEVATION)
 1/8" = 1'-0"

REFER SHEET A5.2 AND STRUCTURAL DRAWINGS FOR NEW STEEL SUPPORTS AT THIS WALL

EXISTING 05 REAR (SOUTH) ELEVATION
 1/8" = 1'-0"

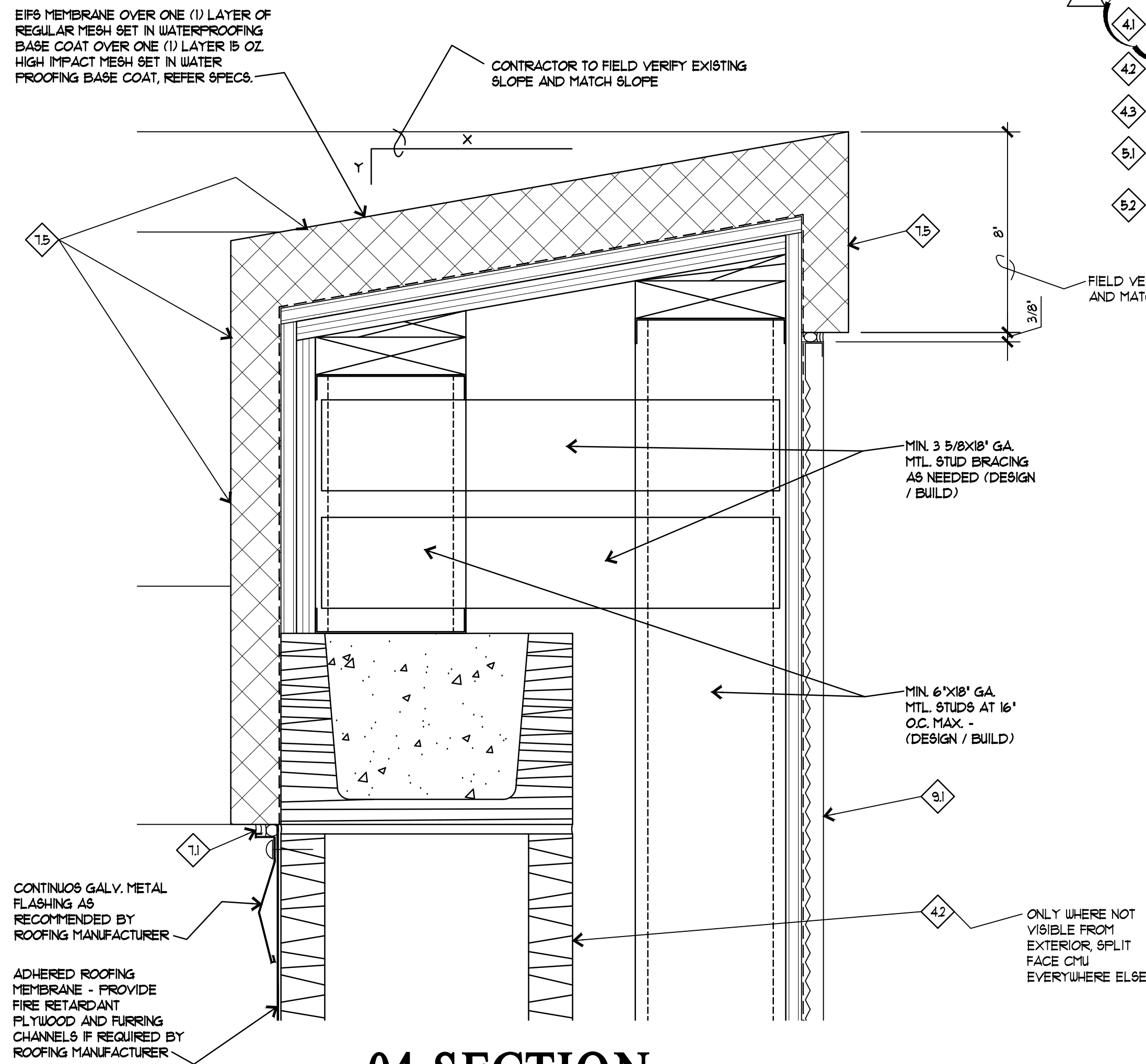


PROPOSED 02 FRONT (NORTH) ELEVATION
 1/8" = 1'-0"

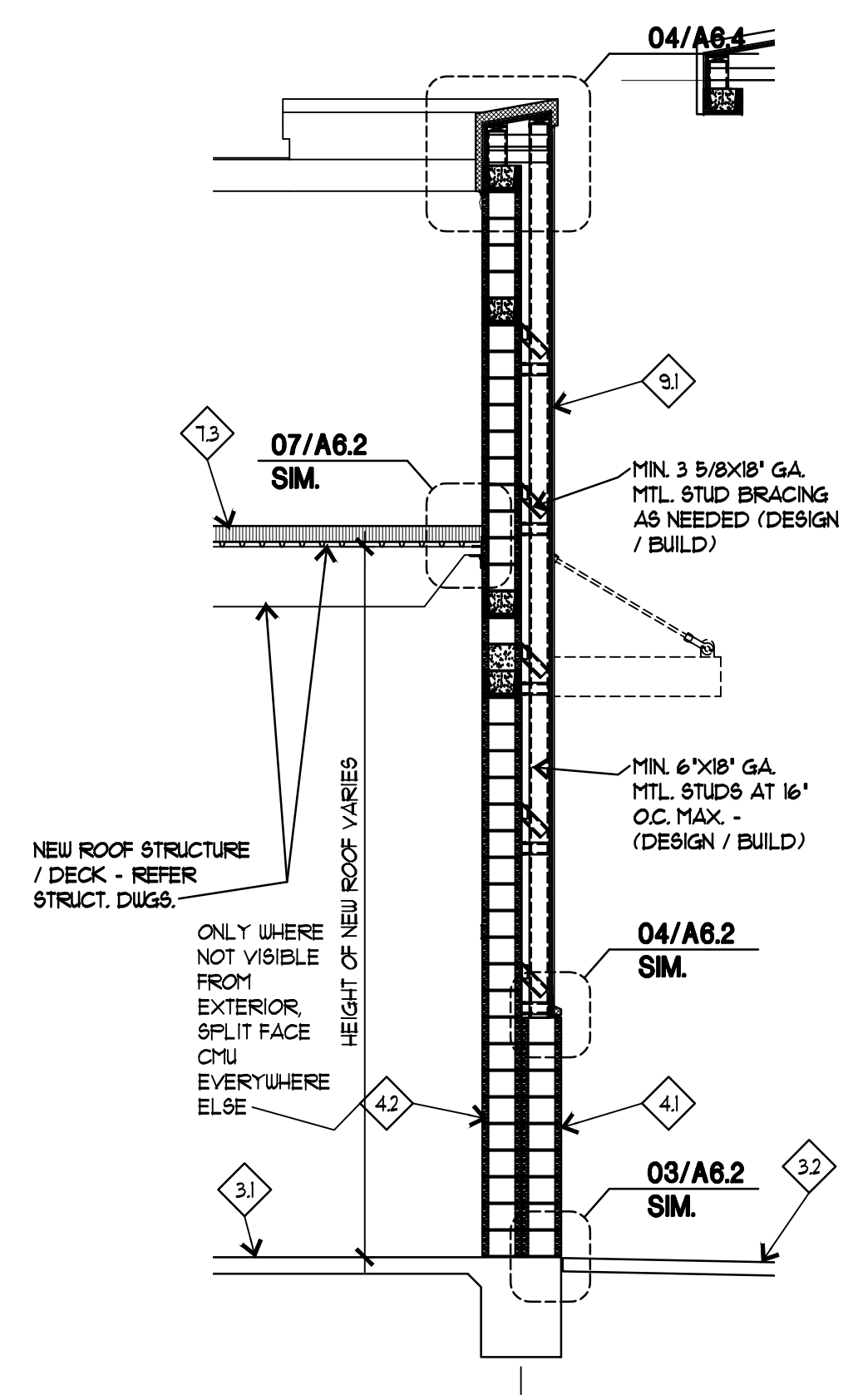


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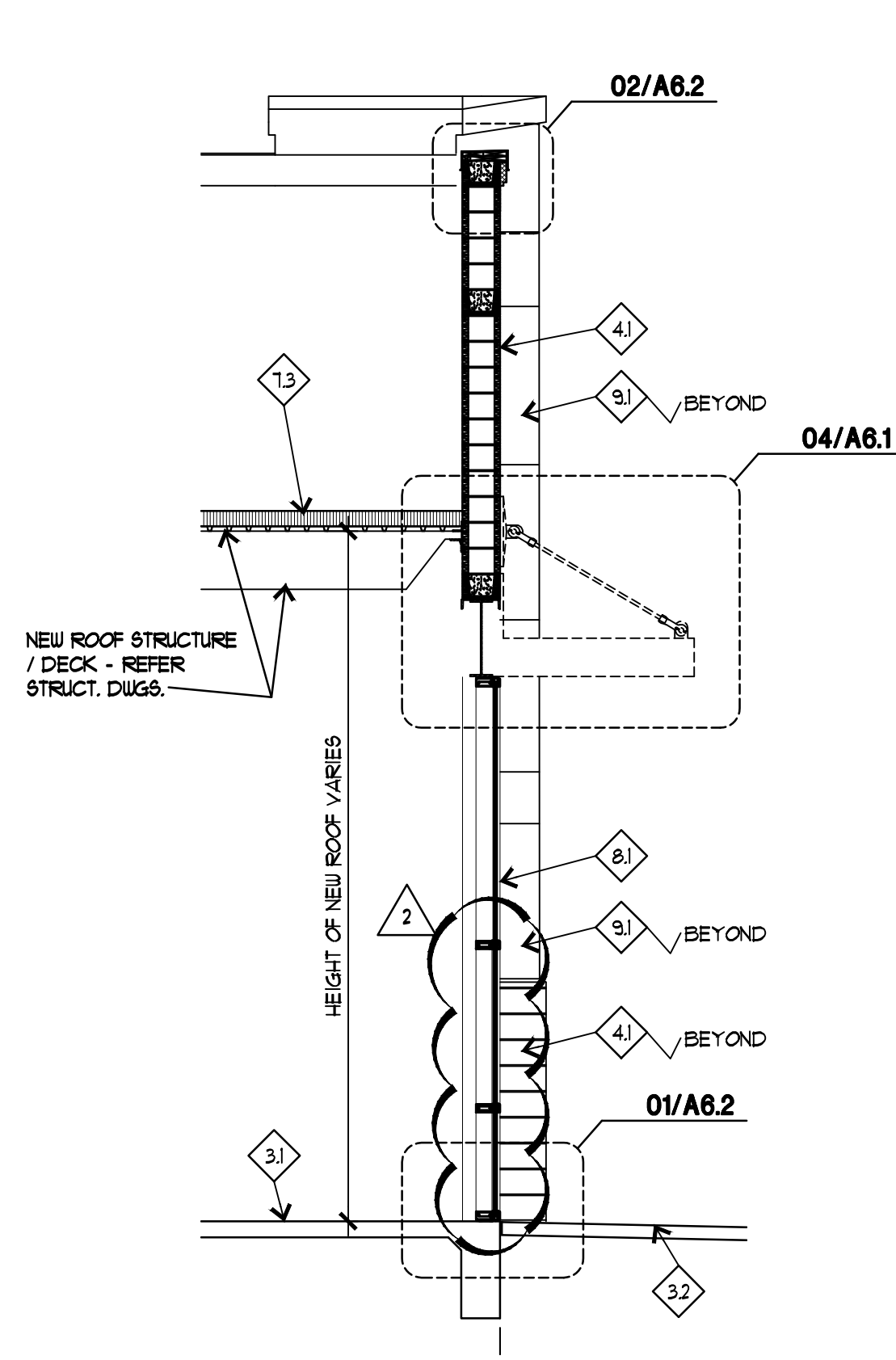
EXISTING 01 FRONT (NORTH) ELEVATION
 1/8" = 1'-0"



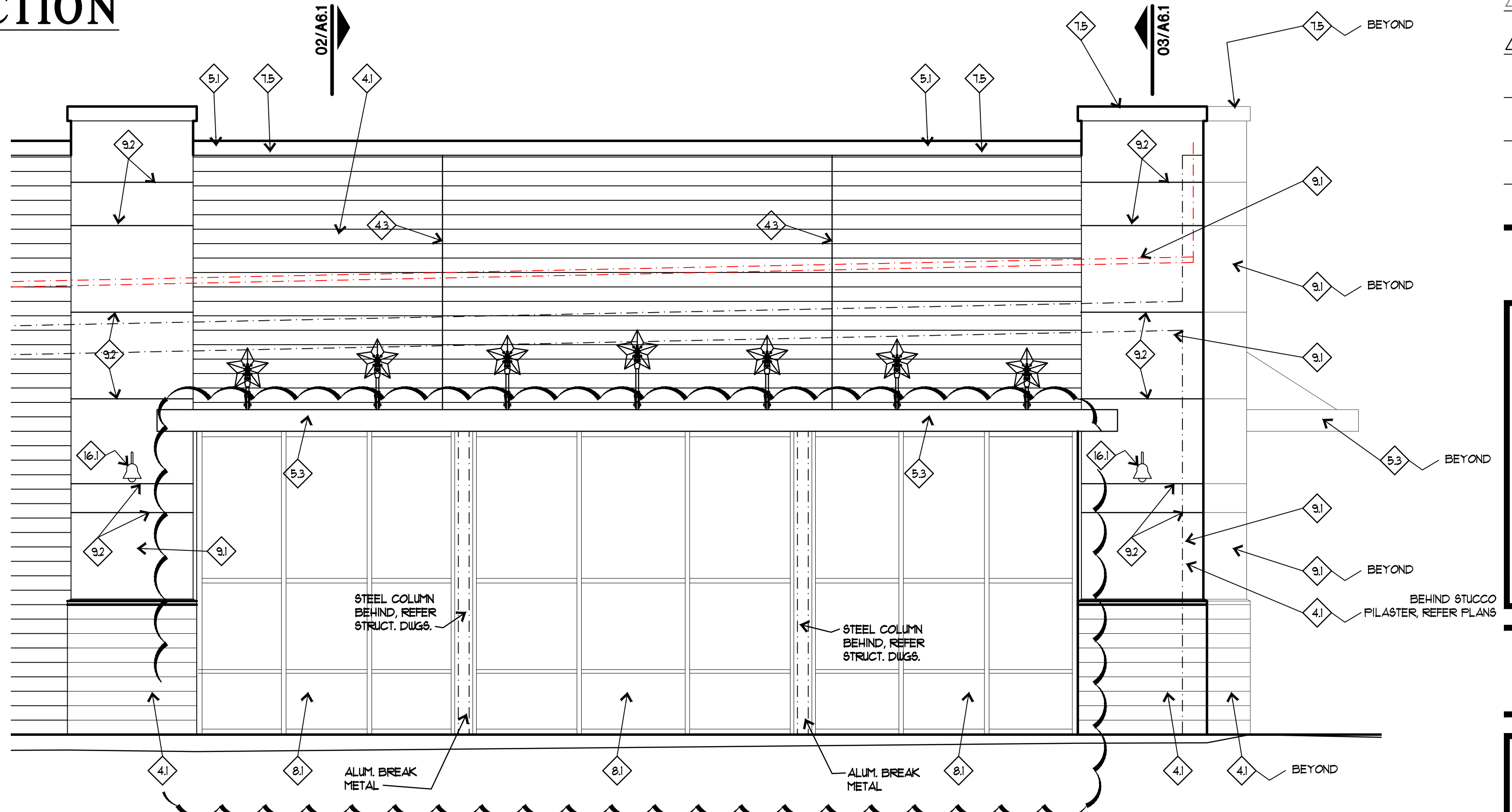
04 SECTION
3' = 1'-0"



03 SECTION
1/4" = 1'-0"



02 SECTION
1/4" = 1'-0"



01 SIDE (EAST) ELEVATION
1/4" = 1'-0"

KEY NOTES:

NEW CONSTRUCTION

- 31 CONCRETE FLOOR SLAB OVER NEW 15 MIL VAPOR BARRIER
- 32 CONCRETE SIDEWALK
- 41 12" SPLIT FACE CMU TO MATCH EXISTING, PAINTED
- 42 12" SMOOTH FACE CMU
- 43 CMU CONTROL JOINT
- 51 PRE-FINISHED METAL COPING, COLOR TO MATCH EIFS, (CMU COLOR AT CMU)
- 52 NEW 6"x4" PREFINISHED METAL DOWNSPOUT AND COLLECTION BOX

- 53 NEW FLAT DESIGN / BUILD CANOPY TO MATCH EXISTING - G.C. TO SUBMIT ENGINEERED DRAWINGS TO THE CITY FOR REVIEW AND PERMIT
- 54 HOT DIPPED GALVANIZED AND PAINTED GUARDRAIL / HANDRAIL
- 55 HOT DIPPED GALVANIZED ROOF LADDER
- 61 FIRE RETARDANT WOOD BLOCKING
- 62 3/4" FIRE RETARDANT PLYWOOD
- 71 CONTINUOUS SEALANT AND BACKER ROD
- 72 CONTINUOUS SELF ADHESIVE MEMBRANE FLASHING, REF. SPECS.
- 73 ROOFING SYSTEM, R-25 MIN. INSULATION
- 74 TAPERED ROOF INSULATION
- 75 EIFS CORNICE
- 76 CONTINUOUS SEALANT AND FILLER
- 77 R-20 MIN. PERIMETER BATT INSULATION (FLOOR TO DECK) BETWEEN 6" X 20 GA. GALV. METAL STUDS @ 16" O.C. - GYP. BD. BY TENANT, N.J.C.
- 78 TPO SINGLE-PLY ROOFING MEMBRANE ADHERED TO 3/4" FIRE RETARDANT FLYWOOD OVER 3/4" FURRING CHANNELS @ 16" O.C.
- 81 CLEAR ANODIZED ALUMINUM CURTAIN WALL WITH 1" LOW-E TEMPERED GLASS, MATCH EXISTING CENTER
- 82 1/2" NON-CORROSIVE SHIM
- 83 CLEAR ANODIZED ALUMINUM CURTAIN WALL DOOR
- 84 HOLLOW METAL DOOR (INSULATED) - PAINTED BOTH SIDES
- 91 3/8" STUCCO OVER GALV. MTL. LATH OVER AIR-WEATHER RESISTIVE BARRIER OVER 1" DENSE GLASS GOLD SHEATHING OVER 6"x18 GA. GALV. MTL. STUDS @ 16" O.C. MAX. REF. SPECS.
- 92 STUCCO CONTROL JOINT
- 93 3/8" DENSE GLASS GOLD SHEATHING
- 161 DECORATIVE WALL SCOSCE (REF. ELECTRICAL DUGS.)
- 162 EMERGENCY LIGHT (REF. ELECTRICAL DUGS.)

- REFER ELECTRICAL DUGS.
- EXISTING / DEMOLITION**
- X1 EXISTING CMU WALL TO REMAIN
 - X2 EXISTING STEEL COLUMN TO REMAIN
 - X3 EXISTING WALL TO REMAIN
 - X4 EXISTING DOOR TO REMAIN
 - X5 EXISTING SIDEWALK TO REMAIN
 - X6 EXISTING CONCRETE SLAB TO REMAIN
 - X7 EXISTING METAL PANEL TO REMAIN
 - X8 EXISTING METAL COPING TO REMAIN
 - X9 EXISTING ROOF STRUCTURE / ROOFING TO REMAIN
 - X10 EXISTING ROOF TO REMAIN
 - X11 EXISTING SCOSCE TO REMAIN
 - X12 EXISTING SCOSCE, RELOCATE
 - X13 EXISTING STUCCO / MTL. STUD WALL TO REMAIN
 - D1 REMOVE EXISTING PILASTER (CMU / STUDS / FINISHES)
 - D2 REMOVE EXISTING FLAT CANOPY / SOFFIT LIGHTS, RODS, ETC.)
 - D3 REMOVE EXISTING COLLECTION BOX AND DOWNSPOUT - REPLACE TO ADJUST TO NEW CONSTRUCTION (DRAIN TO NEW ROOF)
 - D4 EXISTING UTILITIES TO BE RELOCATED
 - D5 REMOVE EXISTING STOREFRONT
 - D6 REMOVE EXISTING STOREFRONT DOOR
 - D7 REMOVE EXISTING CMU WALL - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED
 - D8 REMOVE / REPLACE EXISTING STEEL PFAM AND CHANNELS -

GSO ARCHITECTS
5310 HARVEST HILL RD., SUITE 226, LB 156
DALLAS, TX 75230 972.385.9651
www.GSOarchitects.com

BATH AND BODY WORKS EXPANSION
ROCKWALL, TEXAS
ROCKWALL DUNHILL, LLC.

ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASI NO. 3 (RE-ISSUE FOR BID 4 PERMIT)	11/5/19
2	ASI NO. 3 (RESPONSE TO CITY COMMENTS)	1/14/20

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REGISTERED ARCHITECT
LUIS H. GOMEZ
STATE OF TEXAS
1989
LUIS H. GOMEZ
ARCHITECT
REGISTRATION NO. 14694
DATE: 11/5/19 SIGNED

JOB NO.: 18-058
DATE: 3/5/19
SCALE: AS NOTED

SHEET NO.
A6.4
ENLARGED ELEVATION SECTIONS / DETAILS

ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASH NO. 2 (RE-ISSUE FOR BID 4 PERMIT)	11/5/19
2	ASH NO. 3 (RESPONSE TO CITY COMMENTS)	1/2/20

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REGISTERED ARCHITECT
 LUIS H. GOMEZ
 ARCHITECT
 REGISTRATION NO. 14694
 DATE: 11/5/19 SIGNED

JOB NO.: 18-058
 DATE: 3/5/19
 SCALE: AS NOTED

SHEET NO. A5.1
 ELEVATIONS

KEY NOTES:

NEW CONSTRUCTION

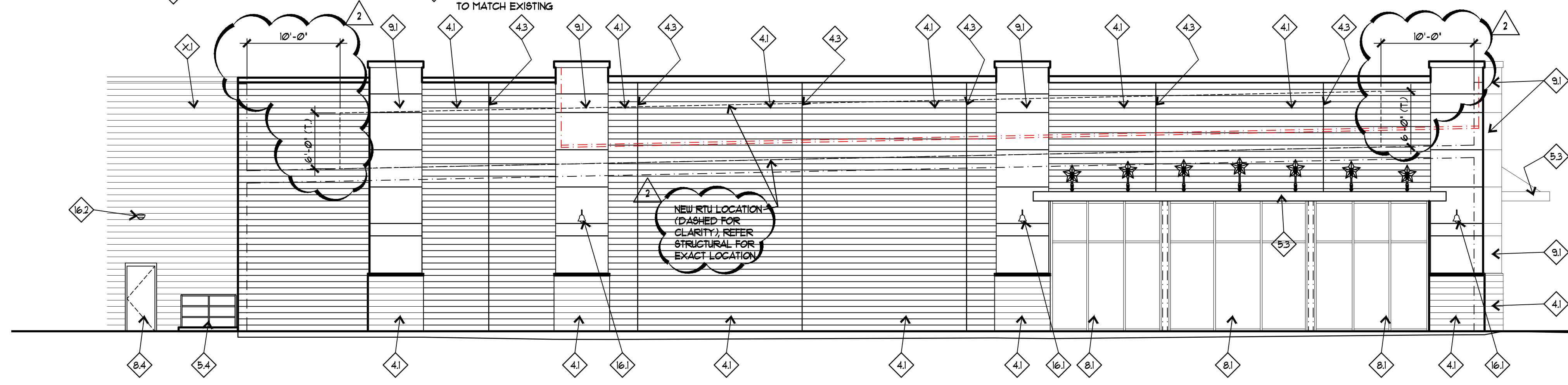
- 31 CONCRETE FLOOR SLAB OVER NEW 15 MIL VAPOR BARRIER
- 32 CONCRETE SIDEWALK
- 41 12" SPLIT FACE CMU TO MATCH EXISTING, PAINTED
- 42 12" SMOOTH FACE CMU
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- 54 HOT DIPPED GALVANIZED AND PAINTED GUARDRAIL / HANDRAIL
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- 61 FIRE RETARDANT WOOD BLOCKING
- 62 3/4" FIRE RETARDANT PLYWOOD
- 11 CONTINUOUS SEALANT AND BACKER ROD
- 12 CONTINUOUS SELF ADHESIVE MEMBRANE FLASHING, REF. SPECS.
- 13 ROOFING SYSTEM, R-25 MIN. INSULATION
- 14 TAPERED ROOF INSULATION

- 15 EPS CORNICE
- 16 CONTINUOUS SEALANT AND FILLER
- 17 R-20 MIN. PERIMETER BATT INSULATION (FLOOR TO DECK) BETWEEN 6" X 20 GA. GALV. METAL STUDS @ 16" O.C. - GYP. BD. BY TENANT, N.J.C.
- 18 TPO SINGLE-PLY ROOFING MEMBRANE ADHERED TO 3/4" FIRE RETARDANT PLYWOOD OVER 3/4" FLUOROPOLYMER CHANNELS @ 16" O.C.
- 81 CLEAR ANODIZED ALUMINUM CURTAIN WALL WITH 1" LOUVE THERMOPANE GLASS, MATCH EXISTING CENTER
- 82 1/2" NON-CORROSIVE SHIM
- 83 CLEAR ANODIZED ALUMINUM CURTAIN WALL DOOR
- 84 HOLLOW METAL DOOR (INSULATED) - PAINTED BOTH SIDES
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- 92 STUCCO CONTROL JOINT
- 93 3/8" DENSE GLASS GOLD SHEATHING
- 161 DECORATIVE WALL SCENCE (REF. ELECTRICAL DUGS.)
- 162 EMERGENCY LIGHT (REF. ELECTRICAL DUGS.)
- 163 ELECTRICAL SERVICE AREA - REFER ELECTRICAL DUGS.
- 164 RELOCATED SCENCE (IF POSSIBLE - G.C. VERIFY CONDITION) OR NEW TO MATCH EXISTING

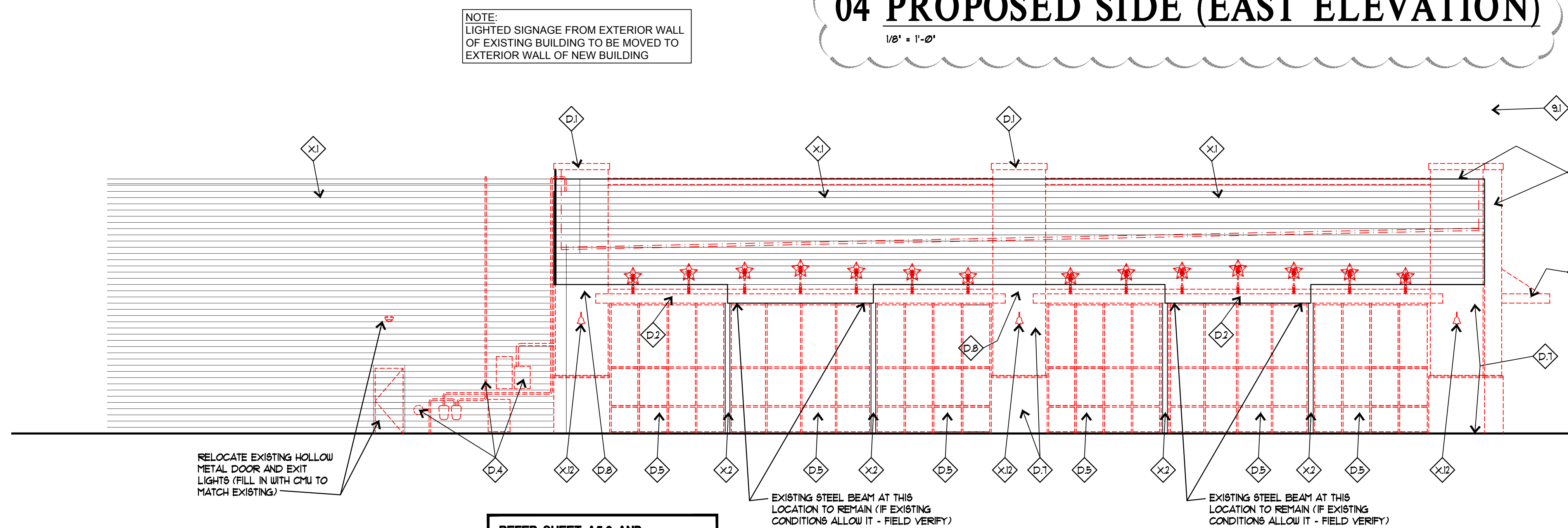
EXISTING / DEMOLITION

- X1 EXISTING CMU WALL TO REMAIN
- X2 EXISTING STEEL COLUMN TO REMAIN
- X3 EXISTING WALL TO REMAIN
- X4 EXISTING DOOR TO REMAIN
- X5 EXISTING SIDEWALK TO REMAIN
- X6 EXISTING CONCRETE SLAB TO REMAIN
- X7 EXISTING METAL PANEL TO REMAIN
- X8 EXISTING METAL COPING TO REMAIN
- X9 EXISTING ROOF STRUCTURE / ROOFING TO REMAIN
- X10 EXISTING ROOF TO REMAIN
- X11 EXISTING SCENCE TO REMAIN
- X12 EXISTING SCENCE, RELOCATE
- X13 EXISTING STUCCO / MTL. STUD WALL TO REMAIN
- D1 REMOVE EXISTING PILASTER (CMU / STUDS / FINISHES)
- D2 REMOVE EXISTING FLAT CANOPY / SOFFIT LIGHTS, RODS, ETC.)
- D3 REMOVE EXISTING COLLECTION BOX AND DOWNSPOUT - REPLACE TO ADJUST TO NEW CONSTRUCTION (DRAIN TO NEW ROOF)
- D4 EXISTING UTILITIES TO BE RELOCATED
- D5 REMOVE EXISTING STOREFRONT
- D6 REMOVE EXISTING STOREFRONT DOOR
- D7 REMOVE EXISTING CMU WALL - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED
- D8 REMOVE / REPLACE EXISTING STEEL BEAM AND CHANNELS - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED

PROPOSED 06 REAR (SOUTH) ELEVATION
 1/8" = 1'-0"



04 PROPOSED SIDE (EAST ELEVATION)
 1/8" = 1'-0"

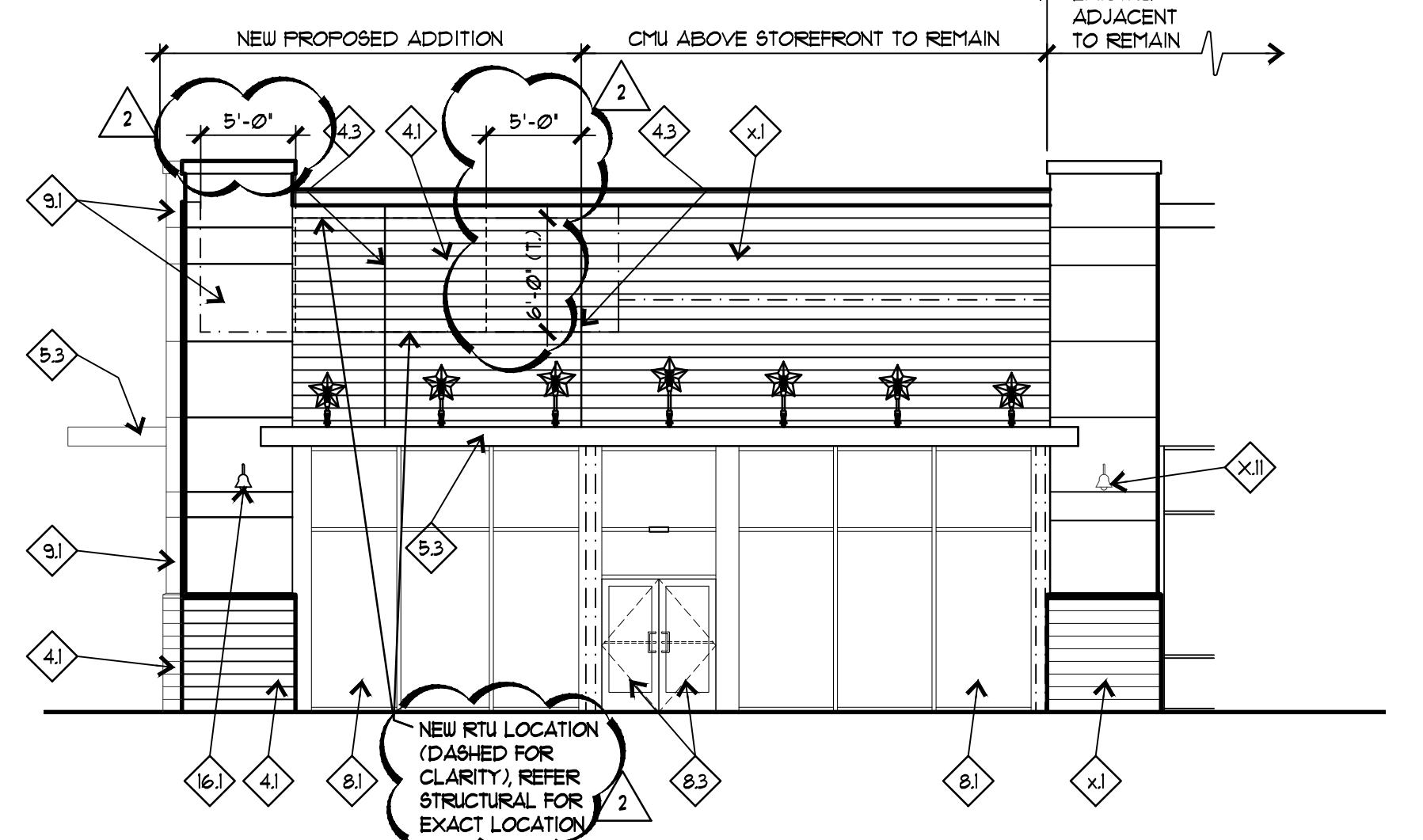


REFER SHEET A5.2 AND STRUCTURAL DRAWINGS FOR NEW STEEL SUPPORTS AT THIS WALL

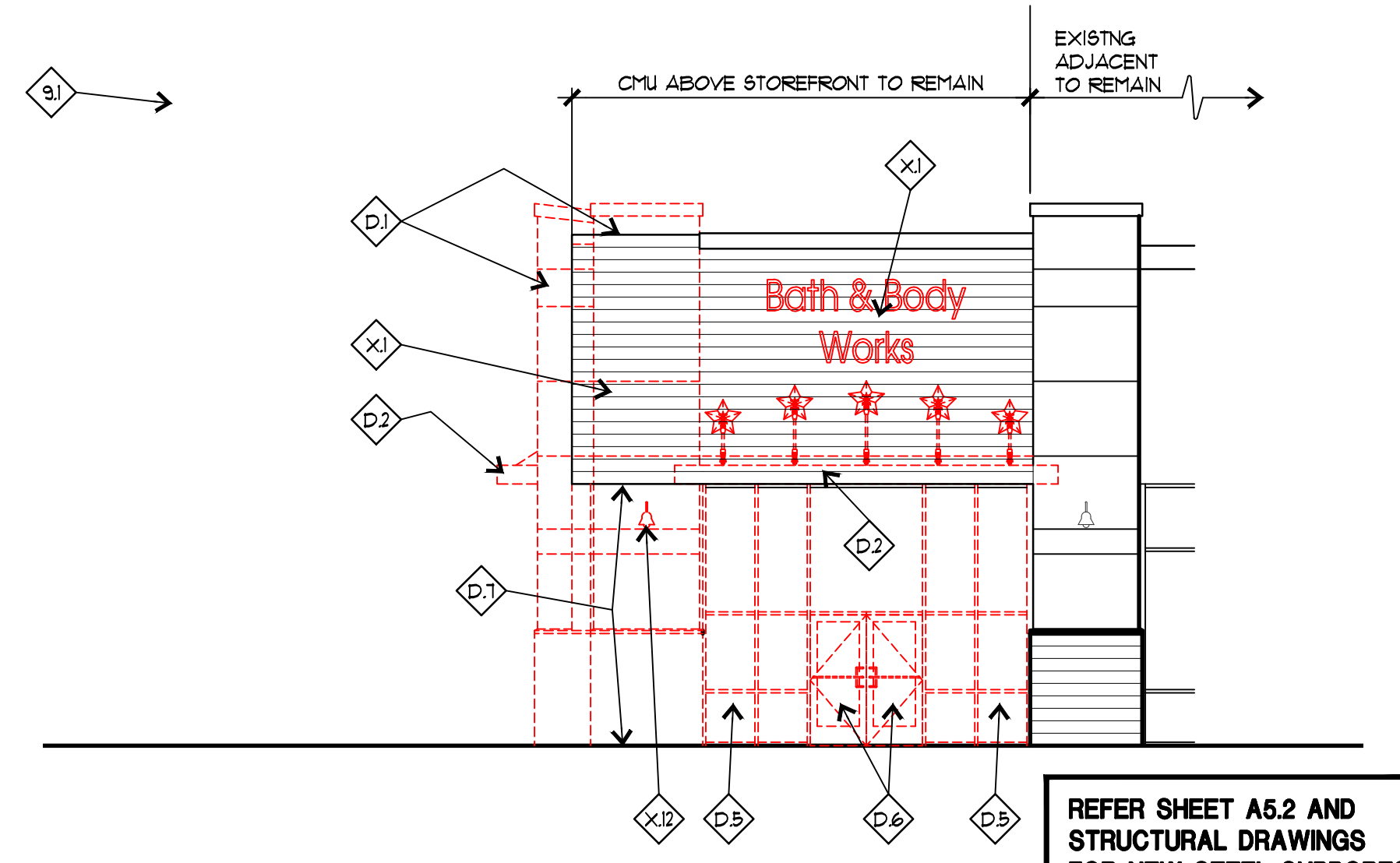
03 EXISTING SIDE (EAST ELEVATION)
 1/8" = 1'-0"

REFER SHEET A5.2 AND STRUCTURAL DRAWINGS FOR NEW STEEL SUPPORTS AT THIS WALL

EXISTING 05 REAR (SOUTH) ELEVATION
 1/8" = 1'-0"

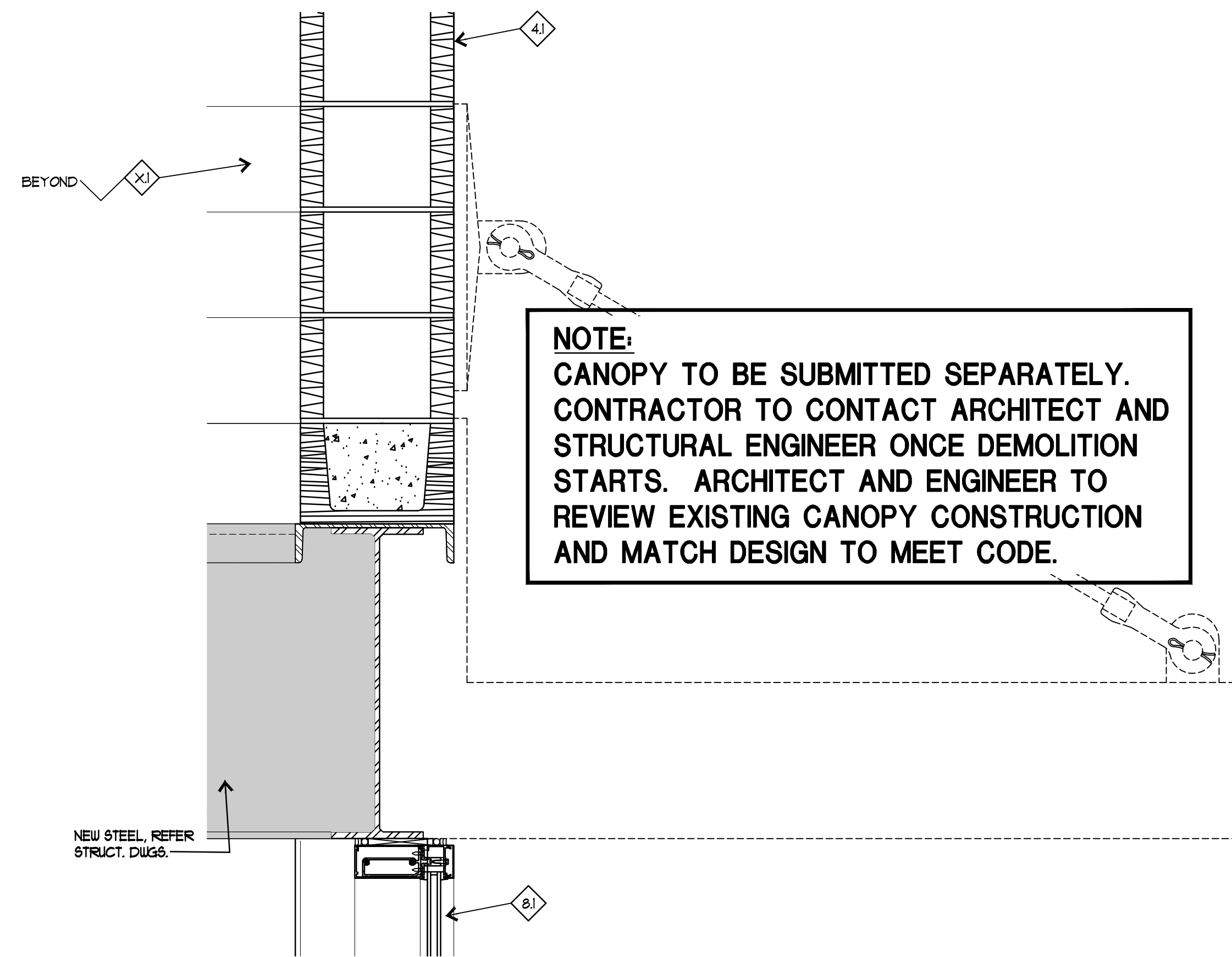


PROPOSED 02 FRONT (NORTH) ELEVATION
 1/8" = 1'-0"



REFER SHEET A5.2 AND STRUCTURAL DRAWINGS FOR NEW STEEL SUPPORTS AT THIS WALL

EXISTING 01 FRONT (NORTH) ELEVATION
 1/8" = 1'-0"



NOTE:
CANOPY TO BE SUBMITTED SEPARATELY. CONTRACTOR TO CONTACT ARCHITECT AND STRUCTURAL ENGINEER ONCE DEMOLITION STARTS. ARCHITECT AND ENGINEER TO REVIEW EXISTING CANOPY CONSTRUCTION AND MATCH DESIGN TO MEET CODE.

KEY NOTES:

NEW CONSTRUCTION

- 31 CONCRETE FLOOR SLAB OVER NEW 15 MIL VAPOR BARRIER
- 32 CONCRETE SIDEWALK
- 41 12" SPLIT FACE CMU TO MATCH EXISTING, PAINTED
- 42 12" SMOOTH FACE CMU
- 43 CMU CONTROL JOINT
- 51 PRE-FINISHED METAL COPING, COLOR TO MATCH EIFS, (CMU COLOR AT CMU)
- 52 NEW 6"x4" PREFINISHED METAL DOWNSPOUT AND COLLECTION BOX
- 53 NEW FLAT DESIGN / BUILD CANOPY TO MATCH EXISTING - G.C. TO SUBMIT ENGINEERED DRAWINGS TO THE CITY FOR REVIEW AND PERMIT
- 54 HOT DIPPED GALVANIZED AND PAINTED GUARDRAIL / HANDRAIL
- 55 HOT DIPPED GALVANIZED ROOF LADDER
- 61 FIRE RETARDANT WOOD BLOCKING

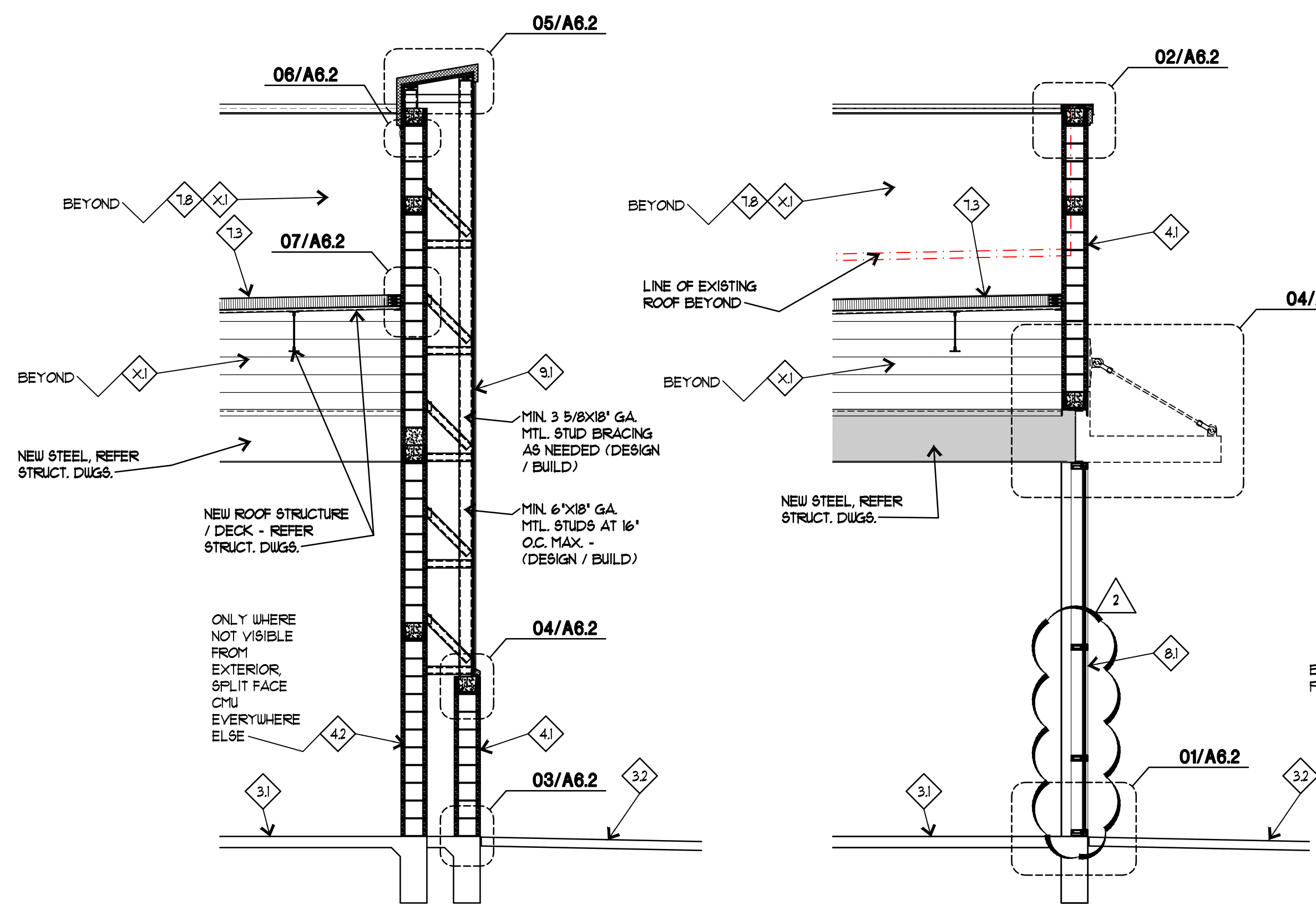
- 62 3/4" FIRE RETARDANT PLYWOOD
- 71 CONTINUOUS SEALANT AND BACKER ROD
- 72 CONTINUOUS SELF ADHESIVE MEMBRANE FLASHING, REF. SPECS.
- 73 ROOFING SYSTEM, R-25 MIN. INSULATION
- 74 TAPERED ROOF INSULATION
- 75 EPS CORNICE
- 76 CONTINUOUS SEALANT AND FILLER
- 77 R-20 MIN. PERIMETER BATT INSULATION (FLOOR TO DECK) BETWEEN 6" X 20" GA. GALV. METAL STUDS @ 16" O.C. - GYP. BD. BY TENANT, N.I.C.
- 78 TPO SINGLE-PLY ROOFING MEMBRANE ADHERED TO 3/4" FIRE RETARDANT PLYWOOD OVER 3/4" FURRING CHANNELS @ 16" O.C.
- 81 CLEAR ANODIZED ALUMINUM CURTAIN WALL WITH 1" LOW-E TEMPERED GLASS, MATCH EXISTING CENTER
- 82 1/4" NON-CORROSIVE SHIM
- 83 CLEAR ANODIZED ALUMINUM CURTAIN WALL DOOR
- 84 HOLLOW METAL DOOR (INSULATED) - PAINTED BOTH SIDES
- 91 3" STUCCO OVER GALV. MTL. LATH OVER AIR-WEATHER RESISTIVE BARRIER OVER 1" DENSE GLASS GOLD SHEATHING OVER 6"x18" GA. GALV. MTL. STUDS @ 16" O.C. MAX. REF. SPECS.
- 92 STUCCO CONTROL JOINT
- 93 3/8" DENSE GLASS GOLD SHEATHING
- 161 DECORATIVE WALL SCENCE (REF. ELECTRICAL DUGS.)
- 162 EMERGENCY LIGHT (REF. ELECTRICAL DUGS.)
- 163 ELECTRICAL SERVICE AREA - REFER ELECTRICAL DUGS.
- 164 RELOCATED SCENCE (IF POSSIBLE - G.C. VERIFY CONDITION) OR NEW TO MATCH EXISTING

EXISTING / DEMOLITION

- X1 EXISTING CMU WALL TO REMAIN
- X2 EXISTING STEEL COLUMN TO REMAIN
- X3 EXISTING WALL TO REMAIN
- X4 EXISTING DOOR TO REMAIN
- X5 EXISTING SIDEWALK TO REMAIN
- X6 EXISTING CONCRETE SLAB TO REMAIN
- X7 EXISTING METAL PANEL TO REMAIN
- X8 EXISTING METAL COPING TO REMAIN
- X9 EXISTING ROOF STRUCTURE / ROOFING TO REMAIN
- X10 EXISTING ROOF TO REMAIN
- X11 EXISTING SCENCE TO REMAIN
- X12 EXISTING SCENCE, RELOCATE
- D1 REMOVE EXISTING PILASTER (CMU / STUDS / FINISHES)
- D2 REMOVE EXISTING FLAT CANOPY / SOFFIT LIGHTS, RODS, ETC.)
- D3 REMOVE EXISTING COLLECTION BOX AND DOWNSPOUT - REPLACE TO ADJUST TO NEW CONSTRUCTION (DRAIN TO NEW ROOF)
- D4 EXISTING UTILITIES TO BE RELOCATED
- D5 REMOVE EXISTING STOREFRONT
- D6 REMOVE EXISTING STOREFRONT DOOR
- D7 REMOVE EXISTING CMU WALL - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED
- D8 REMOVE / REPLACE EXISTING STEEL BEAM AND CHANNELS - COORDINATE / G.C. PROVIDE TEMPORARY BRACING AS REQUIRED

04 CANOPY

1/2" = 1'-0"

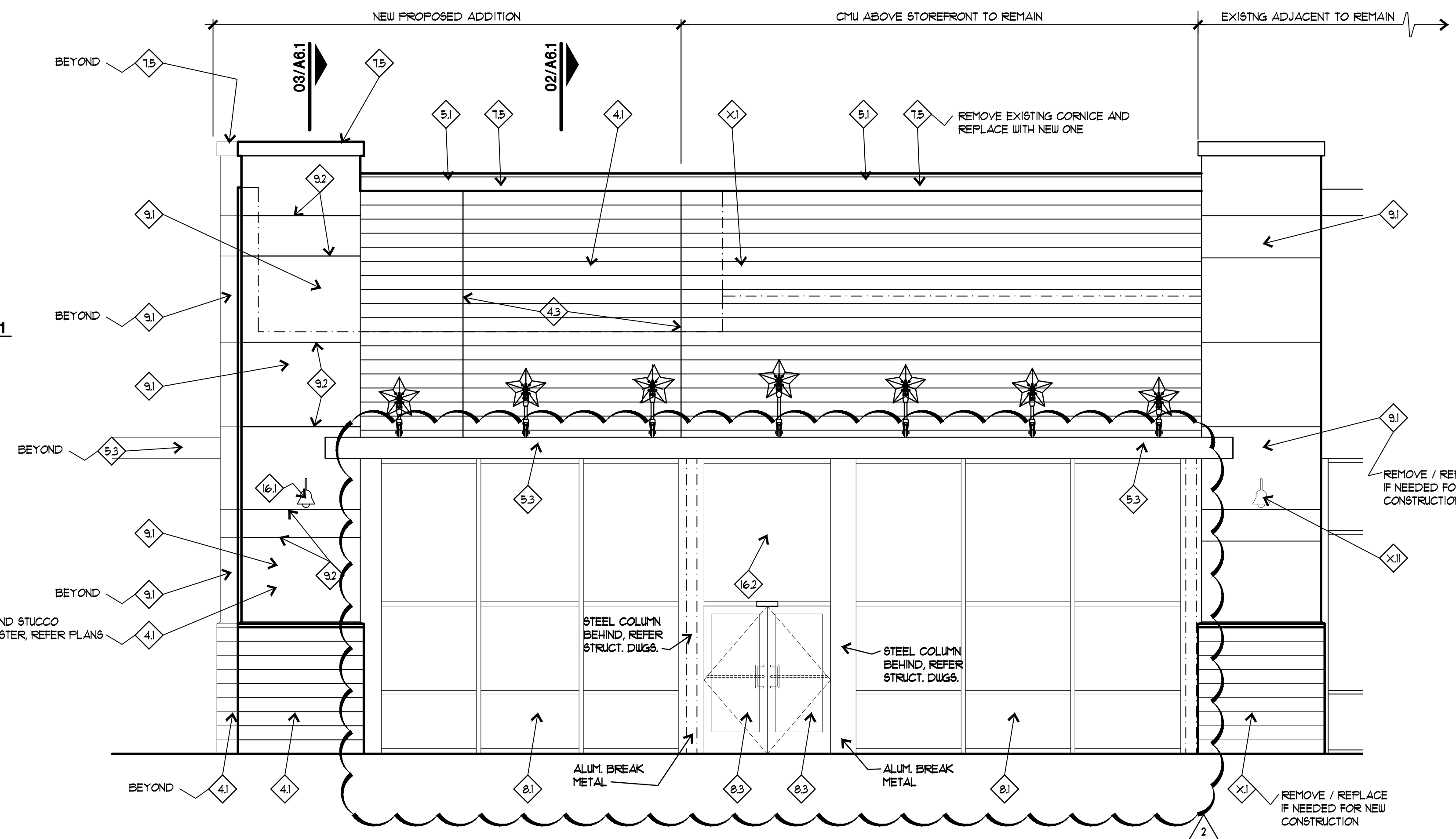


03 SECTION

1/4" = 1'-0"

02 SECTION

1/4" = 1'-0"



01 FRONT (NORTH) ELEVATION

1/4" = 1'-0"

GSO ARCHITECTS
5310 HARVEST HILL RD., SUITE 226, LB 156
DALLAS, TX 75230 972.385.9651
www.GSOarchitects.com

BATH AND BODY WORKS EXPANSION
ROCKWALL, TEXAS
ROCKWALL DUNHILL, LLC.

ISSUE LOG

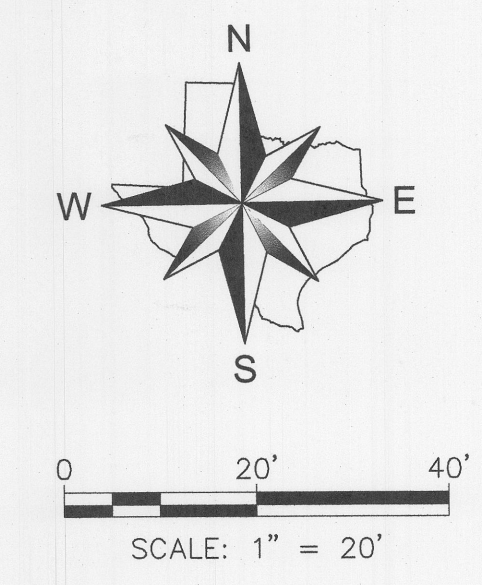
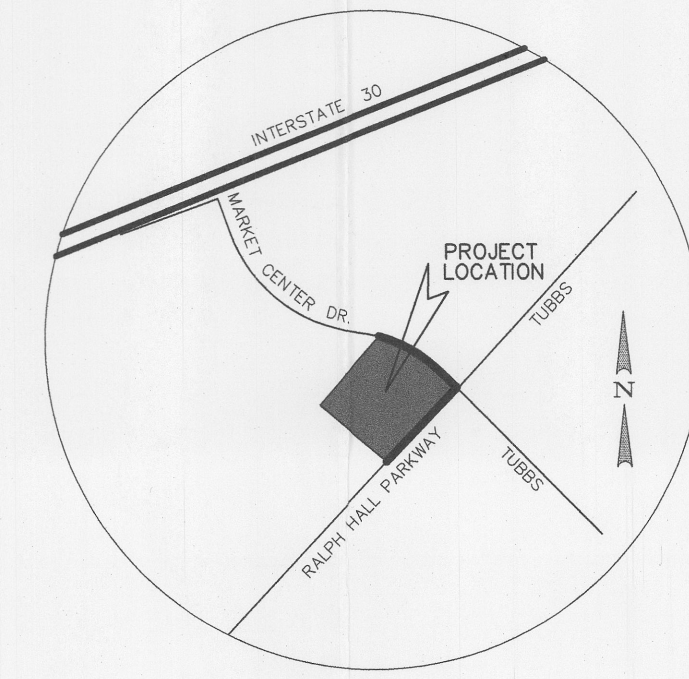
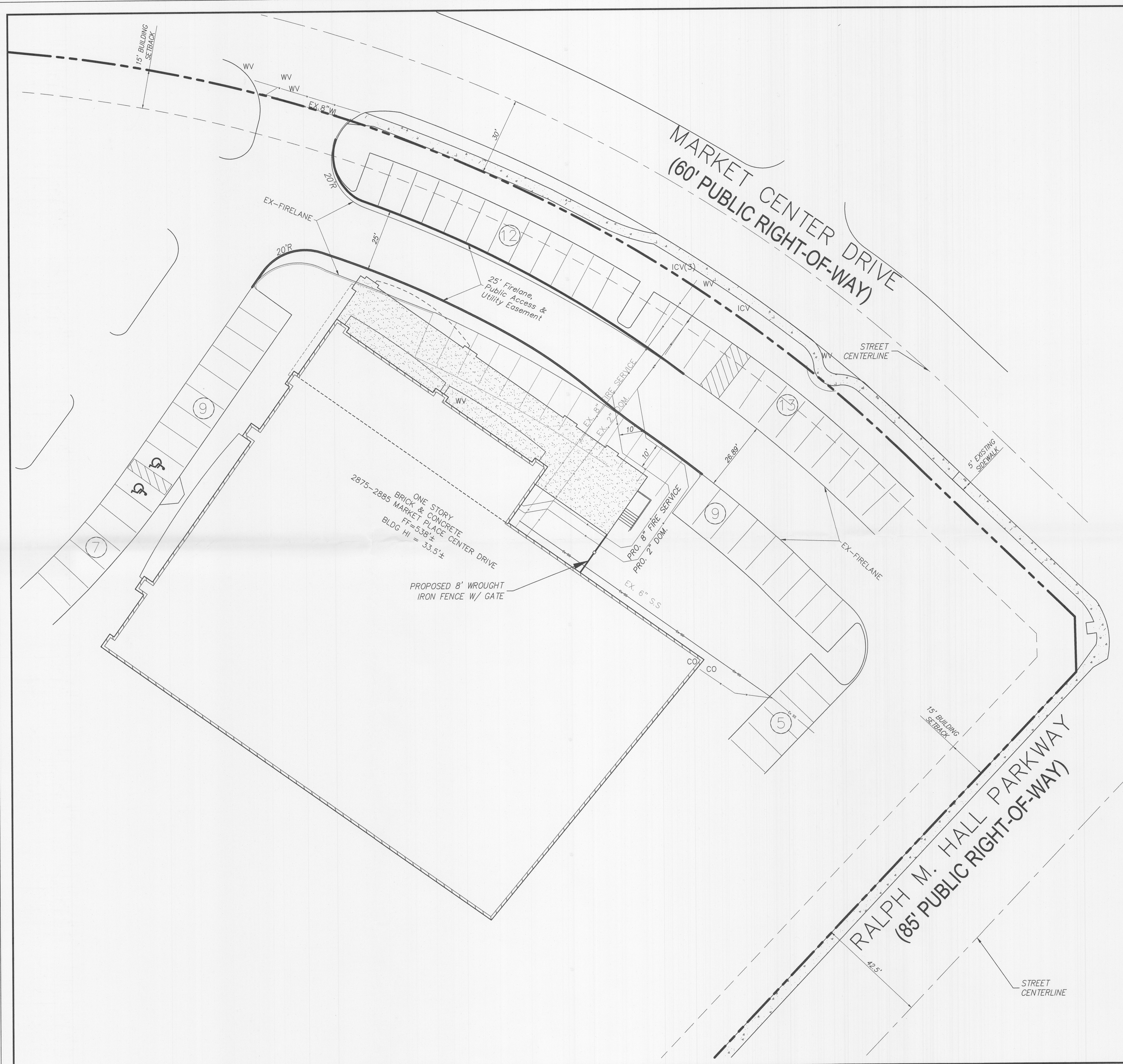
NO.	DESCRIPTION	DATE
	ISSUED FOR BID AND PERMIT	3/5/19
1	ASI NO. 3 (RE-ISSUE FOR BID 4 PERMIT)	11/5/19
2	ASI NO. 3 (RESPONSES TO CITY COMMENTS)	1/4/20

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REGISTERED ARCHITECT
LUIS H. GOMEZ
STATE OF TEXAS
1989
LUIS H. GOMEZ
ARCHITECT
REGISTRATION NO. 14694
DATE: 11/5/19 SIGNED

JOB NO.: 18-058
DATE: 3/5/19
SCALE: AS NOTED

SHEET NO. A6.1
ENLARGED ELEVATION SECTIONS / DETAILS



SITE DATA TABLE				
	Existing		Proposed	
AREA	934,236 S.F.	21.44 ACRES	934,236 S.F.	21.44 ACRES
ZONING	C (COMMERCIAL)		C (COMMERCIAL)	
BUILDINGS AREA (S.F.)	2,547		3,014	
PARKING REQUIRED (1/200 S.F.)	13		15	
PARKING PROVIDED:				
REGULAR (9'x18')	1015		1001	
HANDICAP (1 VAN)	26		26	
TOTAL	1041		1027	

LEGEND

- PROPOSED BUILDING EXPANSION
- POWER POLE
- LIGHT POLE

No.	REVISION	DATE	BY	APPROV.
1.	ISSUE FOR CONSTRUCTION	03/27/2019		
2.	SITE PLAN RESUBMITTAL	12/09/2019		
3.	SITE PLAN COMMENTS	01/02/2020		
4.	SITE PLAN COMMENTS	01/13/2020		

Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS & ARCHITECTS
 6750 HILLCREST PLAZA, SUITE 215
 DALLAS, TEXAS 75230
 (972) 482-7990
 (972) 482-7998 FAX
 Texas Statewide Registration No. 100866-00
 CAP#10101 © 2020, Winkelmann & Associates, Inc.

STATE OF TEXAS
 THESE PLANS WERE PREPARED UNDER THE DIRECT SUPERVISION OF AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS FOR THE PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.
 DONALD A. MICHELLS, P.E. #00000
 LICENSED PROFESSIONAL ENGINEER
 01-13-2020

RECEIVED
 JAN 14 2020

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of JANUARY, 2020.

WITNESS OUR HANDS, this 14th day of JANUARY, 2020.

Planning and Zoning Commission, Chairman: *[Signature]*

Director of Planning and Zoning: *[Signature]*

Date: 01.15.2020

SITE PLAN
 BATH & BODY WORKS EXPANSION
 2885 MARKET CENTER DRIVE
 ROCKWALL, TX 75032

SP2019-048

C-03.00



January 21, 2020

TO: Maria Bonilla
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza, Drive, Suite 215
Dallas, TX 75230

CC: Jill Fisher
Dunhill Partners, Inc.
3100 Monticello Avenue, Suite 300
Dallas, TX 75205

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2019-048; *Administrative Site Plan for 2885 Market Center – Bath & Body Works Expansion*

Maria Bonilla:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved administratively on January 14, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Conditions

Please note that the property will require a replat prior to the issuance of a building permit. The replat will account for any portion of the firelane, public access, or utility easements requiring abandonment that is not consistent with the previous replats (*i.e. Case No. P2019-003*) alignment and/or abandonment.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning and Zoning Manager