



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-047 P&Z DATE 12/30/19 ^{PZ} CC DATE 01/14/2020 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

| ZONING APPLICATION |
|--|
| <input type="checkbox"/> SPECIFIC USE PERMIT |
| <input type="checkbox"/> ZONING CHANGE |
| <input type="checkbox"/> PD CONCEPT PLAN |
| <input type="checkbox"/> PD DEVELOPMENT PLAN |

| SITE PLAN APPLICATION |
|---|
| <input checked="" type="checkbox"/> SITE PLAN |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |
| <input type="checkbox"/> PHOTOMETRIC PLAN |
| <input type="checkbox"/> BUILDING ELEVATIONS |
| <input type="checkbox"/> MATERIAL SAMPLES |
| <input type="checkbox"/> COLOR RENDERING |

| PLATTING APPLICATION |
|--|
| <input type="checkbox"/> MASTER PLAT |
| <input type="checkbox"/> PRELIMINARY PLAT |
| <input type="checkbox"/> FINAL PLAT |
| <input type="checkbox"/> REPLAT |
| <input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT |
| <input type="checkbox"/> VACATION PLAT |
| <input type="checkbox"/> LANDSCAPE PLAN |
| <input type="checkbox"/> TREESCAPE PLAN |

| |
|--|
| <input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____) |
| <input checked="" type="checkbox"/> APPLICATIONS |
| <input checked="" type="checkbox"/> RECEIPT |
| <input checked="" type="checkbox"/> LOCATION MAP |
| <input type="checkbox"/> HOA MAP |
| <input type="checkbox"/> PON MAP |
| <input type="checkbox"/> FLU MAP |
| <input type="checkbox"/> NEWSPAPER PUBLIC NOTICE |
| <input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE |
| <input type="checkbox"/> PROJECT REVIEW |
| <input type="checkbox"/> STAFF REPORT |
| <input type="checkbox"/> CORRESPONDENCE |
| <input type="checkbox"/> COPY-ALL PLANS REQUIRED |
| <input type="checkbox"/> COPY-MARK-UPS |
| <input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE |
| <input type="checkbox"/> MINUTES-LASERFICHE |
| <input type="checkbox"/> PLAT FILED DATE _____ |
| <input type="checkbox"/> CABINET # _____ |
| <input type="checkbox"/> SLIDE # _____ |
| NOTES: _____ |
| _____ |
| _____ |
| _____ |
| _____ |
| ZONING MAP UPDATED _____ |



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-047

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
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Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2055 KRISTY LN.

Subdivision BODIN INDUSTRIAL TRACT

Lot

1

Block

General Location I-30 & KRISTY LN.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI

Current Use N/A

Proposed Zoning SAME

Proposed Use OFFICE / WAREHOUSE

Acreage 3.57 AC.

Lots [Current]

ONE

Lots [Proposed]

ONE

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BACON PROPERTY, LLC.

Applicant CARROLL ARCHITECTS, INC.

Contact Person BRAD BACON

Contact Person JEFF CARROLL

Address 295 RANCH TRAIL

Address 750. E. INTERSTATE 30

Suite: 110

City, State & Zip ROCKWALL TX 75032

City, State & Zip ROCKWALL, TX. 75087

Phone 214.280.2296

Phone 972.732.6085

E-Mail BRAD@EVERYONELOVESBACON.COM

E-Mail JCARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JEFF CARROLL [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20____.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

My Commission Expires



**DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 12/13/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 12/19/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 12/19/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 12/30/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-047
Project Name: 2055 KRISTY LANE
Project Type: SITE PLAN
Applicant Name: JEFF CARROLL
Owner Name: BRAD BACON
Project Description:



RECEIPT

Project Number: SP2019-047

Job Address: KRISTY LN

ROCKWALL, TX 75032

Receipt Number: B87699

Printed: 12/18/2019 11:56 am

| Fee Description | Account Number | Fee Amount |
|-----------------|----------------|------------|
| SITE PLANNING | 01-4280 | \$321.40 |

Total Fees Paid:

\$321.40

Date Paid: 12/18/2019 12:00:00AM

Paid By: JEFF CARROLL

Pay Method: CHECK 32031

Received By: AG



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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City, State & Zip _____ City, State & Zip STE: 110

City, State & Zip ROCKWALL TX 75032 City, State & Zip ROCKWALL, TX. 75087

Phone 214.280.2296 Phone 972.732.6085

E-Mail BRAD@EVERYONELOVESBACON.COM E-Mail JCARROLLARCH.COM

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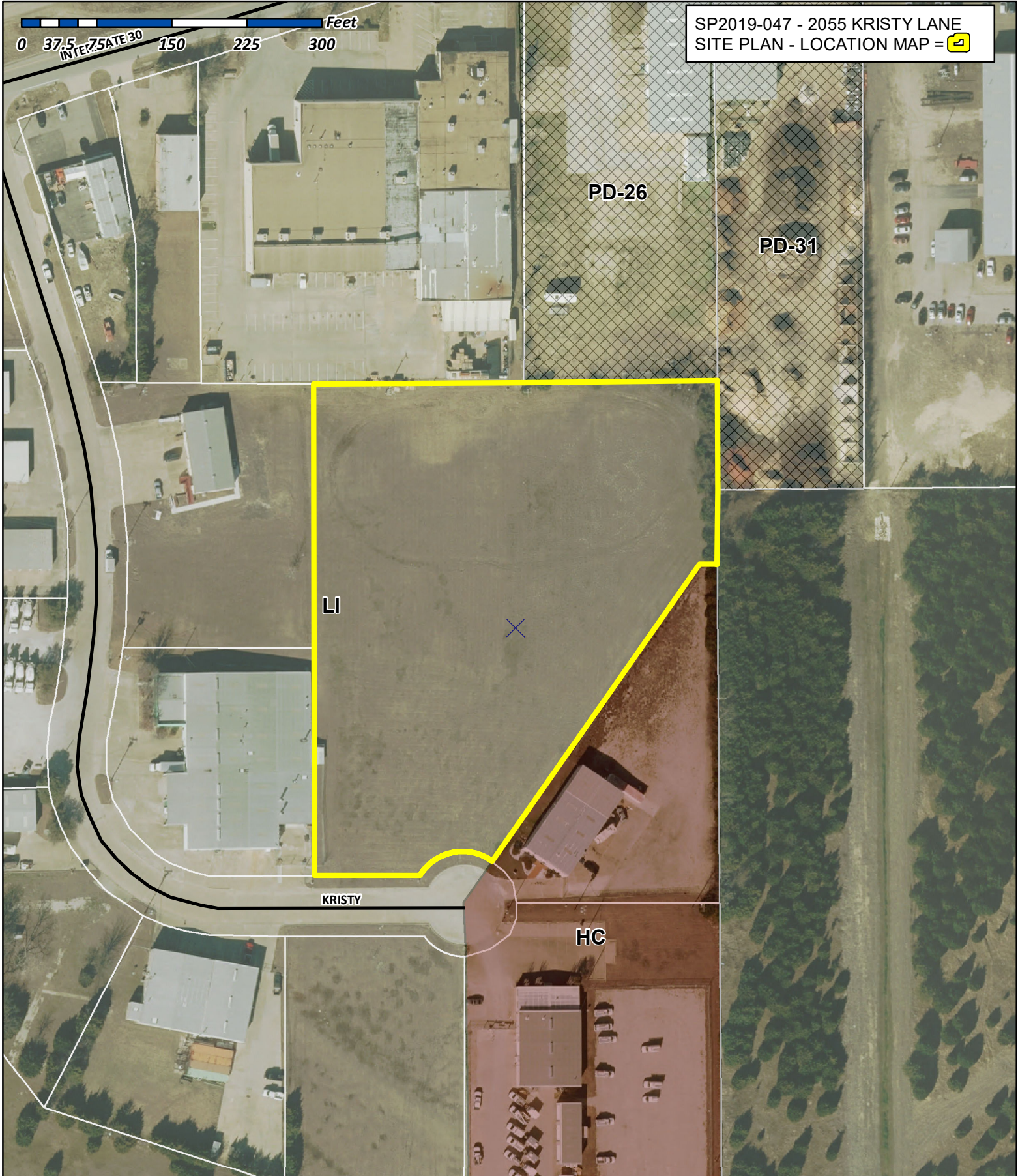
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Owner's/Applicant's Signature _____

Notary Public in and for the State of Texas _____

My Commission Expires _____

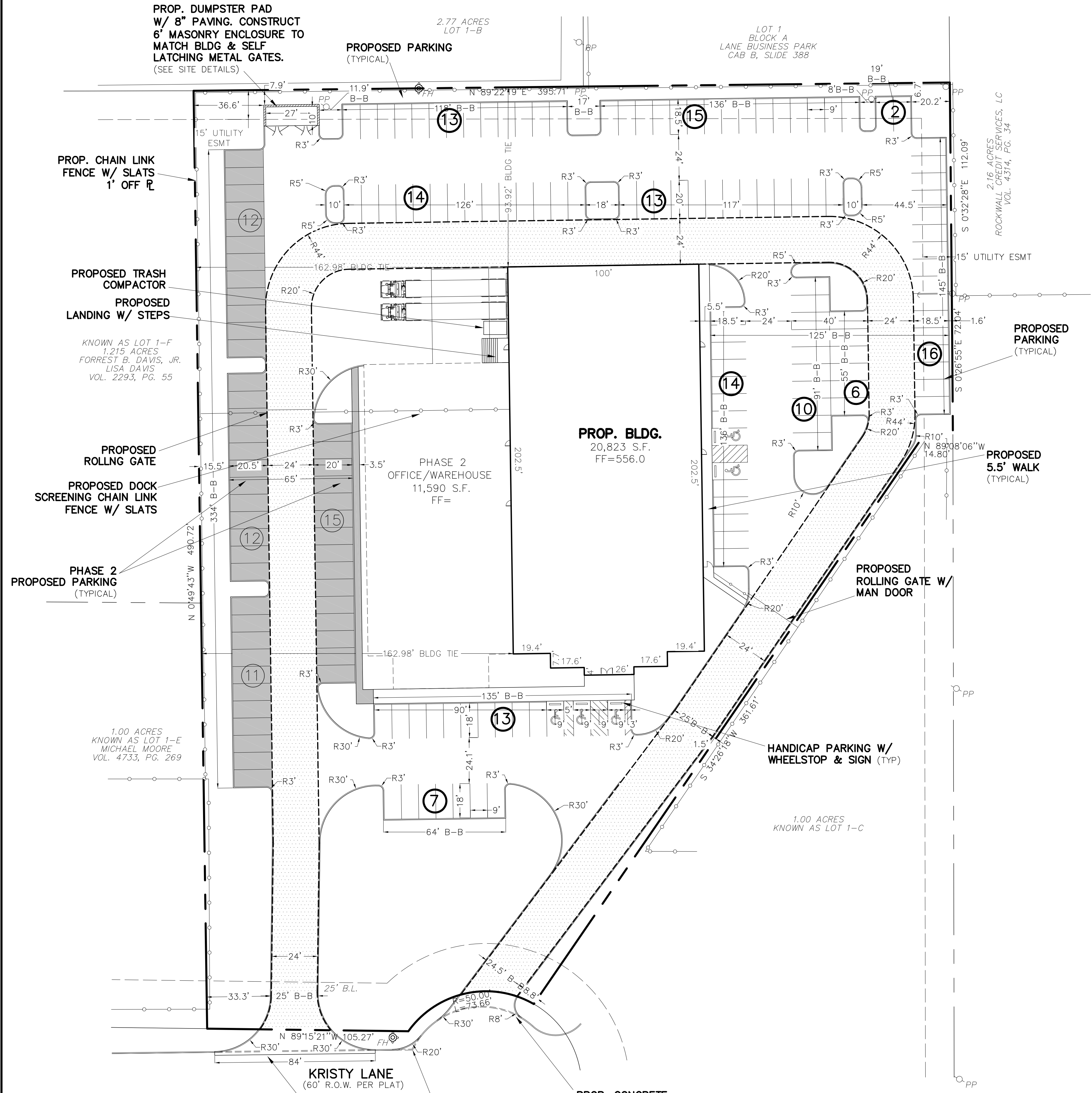


City of Rockwall

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 385 S. Goliad Street
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 (P): (972) 771-7745
 (W): www.rockwall.com

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PROP. DUMPSTER PAD
W/ 8" PAVING. CONSTRUCT
6" MASONRY ENCLOSURE TO
MATCH BLDG & SELF
LATCHING METAL GATES.
(SEE SITE DETAILS)

PROPOSED PARKING
(TYPICAL)

PROPOSED CHAIN LINK FENCE
W/ SLATS
1' OFF R.L.

PROPOSED TRASH COMPACTOR

PROPOSED LANDING W/ STEPS

KNOWN AS LOT 1-F
1.215 ACRES
FORREST B. DAVIS, JR.
USA DAVIS
VOL. 2293, PG. 55

PROPOSED ROLLING GATE

PROPOSED DOCK SCREENING CHAIN LINK FENCE W/ SLATS

PHASE 2 PROPOSED PARKING
(TYPICAL)

1.00 ACRES
KNOWN AS LOT 1-E
MICHAEL MOORE
VOL. 4733, PG. 269

PROP. BLDG.
20,823 S.F.
FF=556.0

PHASE 2 OFFICE/WAREHOUSE
11,590 S.F.
FF=

PROPOSED ROLLING GATE W/ MAN DOOR

HANDICAP PARKING W/ WHEELSTOP & SIGN (TYP)

1.00 ACRES
KNOWN AS LOT 1-C

PROPOSED 5.5' WALK
(TYPICAL)

PROP. CONCRETE ENTRANCE. SAWCUT & REMOVE EX. CURB CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

REMOVE EX. CURB AND INSTALL APPROACH PER CITY DETAIL

PROP. CONCRETE ENTRANCE. SAWCUT & REMOVE EX. CURB CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
13.4%

FLOOR TO AREA RATIO:
7.46:1

BUILDING AREA:
Warehouse: 8,478 sq.ft.
General Office: 12,345 sq.ft.
Phase 1 TOTAL: 20,823 sq.ft.
Phase 2: 11,590 sq.ft.

BUILDING HEIGHT:
1 STORY (7')

PROPOSED FUTURE USE:
Office/Warehouse

IMPERVIOUS AREA (including buildings):
107,943 sq.ft.

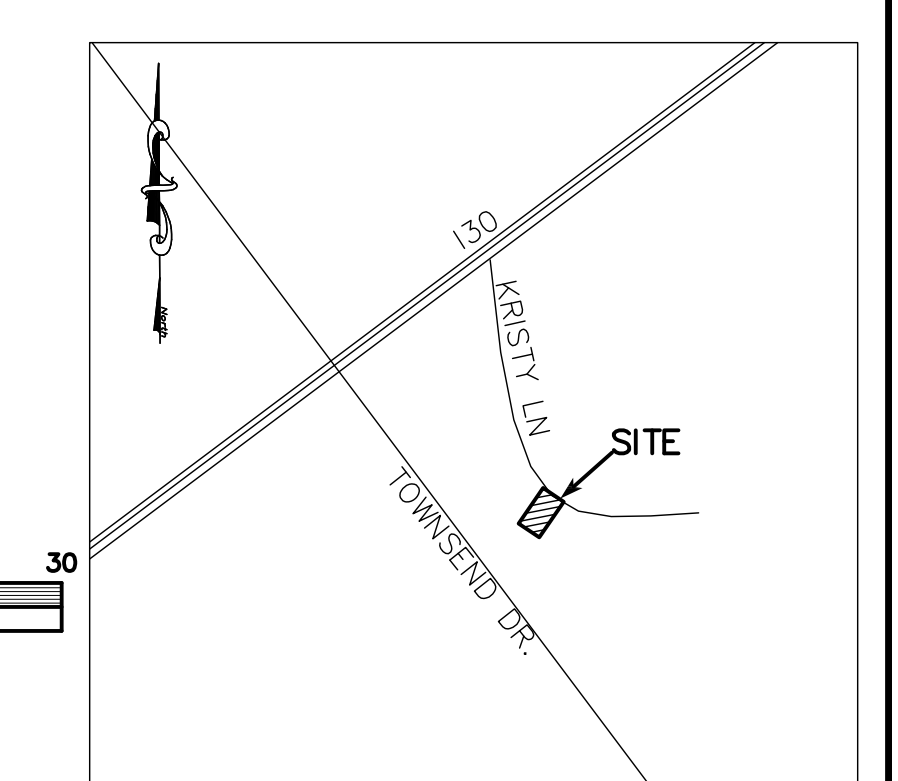
ZONING:
LI

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 9
TOTAL = 51
Handicap = 3
Provided:
Standard = 118
Handicap = 5
Total Provided = 123

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Provided: 47,351

FIRESPRINKLER:
YES

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE



LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- SMH = EXISTING STORM MANHOLE
- GM = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- [Dashed Box] = PROPOSED FIRELANE
- [Shaded Box] = PHASE 2

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #

SITE PLAN

BACON PLUMBING OFFICE

LOT 1-M, BODIN INDUSTRIAL TRACT
2055 KRISTY LANE
City of Rockwall, Rockwall County, Texas

OWNER
BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032
CONTACT: BRAD BACON (972)236-5794

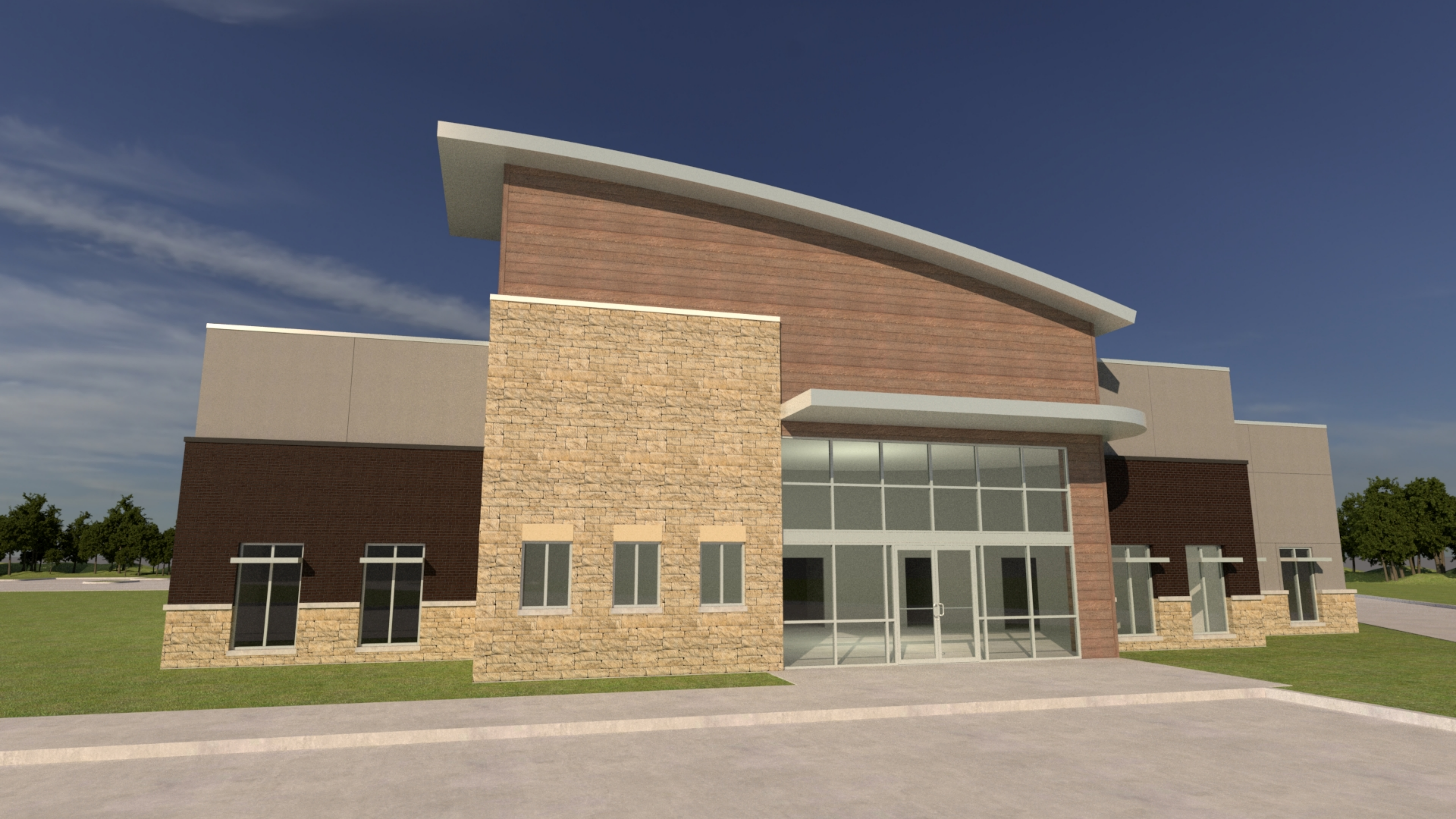
prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

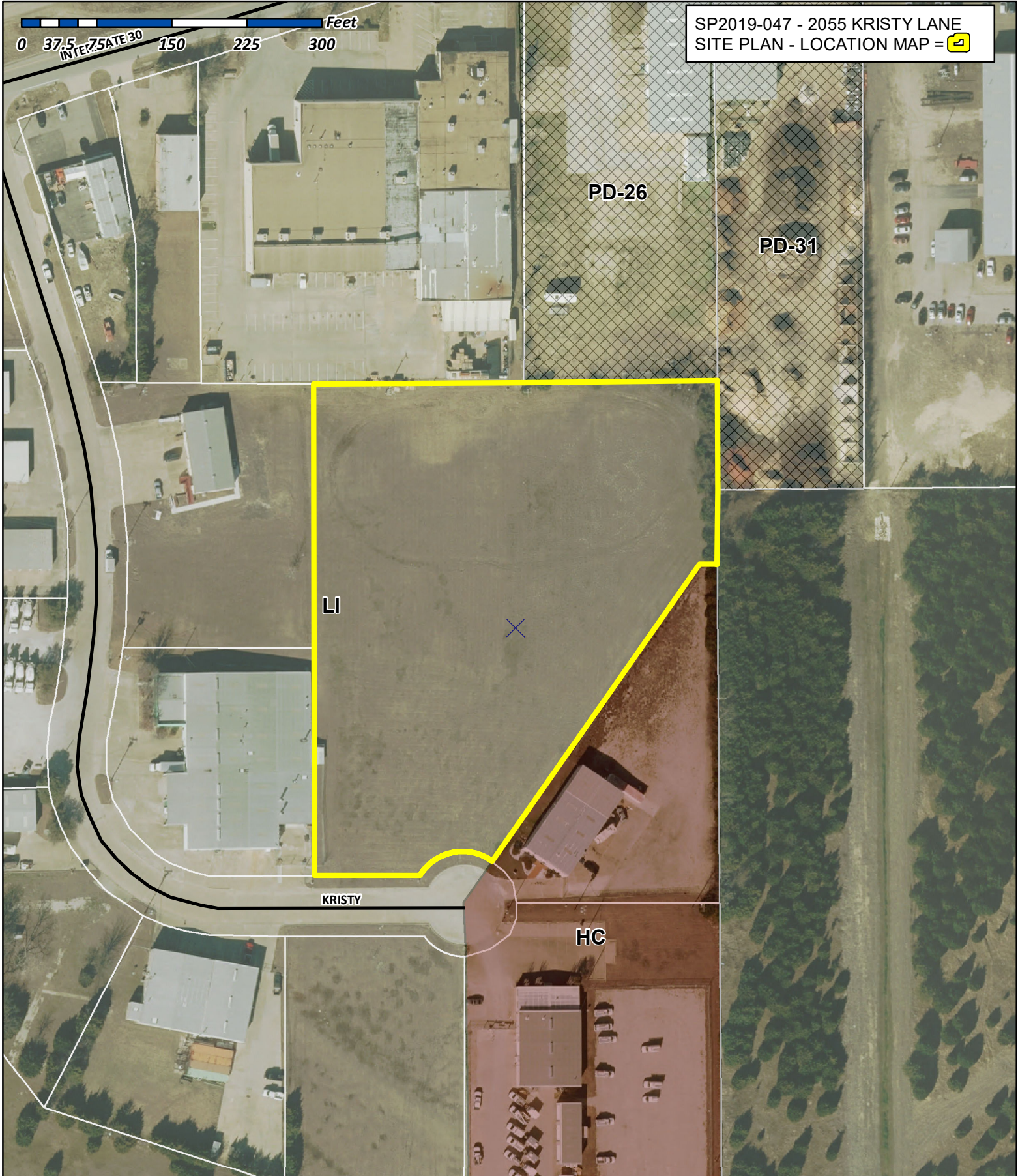
REG NO.: F-2567
©2019 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 11/12/19 scale: 1" = 30' sheet: C101

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.





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| | | | |
|--------------------------------|------------------------------------|---|--|
| <input type="checkbox"/> Owner | <u>BACON PROPERTY, LLC.</u> | <input checked="" type="checkbox"/> Applicant | <u>CARROLL ARCHITECTS, INC.</u> |
| Contact Person | <u>BRAD BACON</u> | Contact Person | <u>JEFF CARROLL</u> |
| Address | <u>295 RANCH TRAIL</u> | Address | <u>750. E. INTERSTATE 30</u> <u>SITE: 110</u> |
| City, State & Zip | <u>ROCKWALL TX 75032</u> | City, State & Zip | <u>ROCKWALL, TX. 75087</u> |
| Phone | <u>214.280.2296</u> | Phone | <u>972.732.6085</u> |
| E-Mail | <u>BRAD@EVERYONELOVESBACON.COM</u> | E-Mail | <u>JCARROLLARCH.COM</u> |

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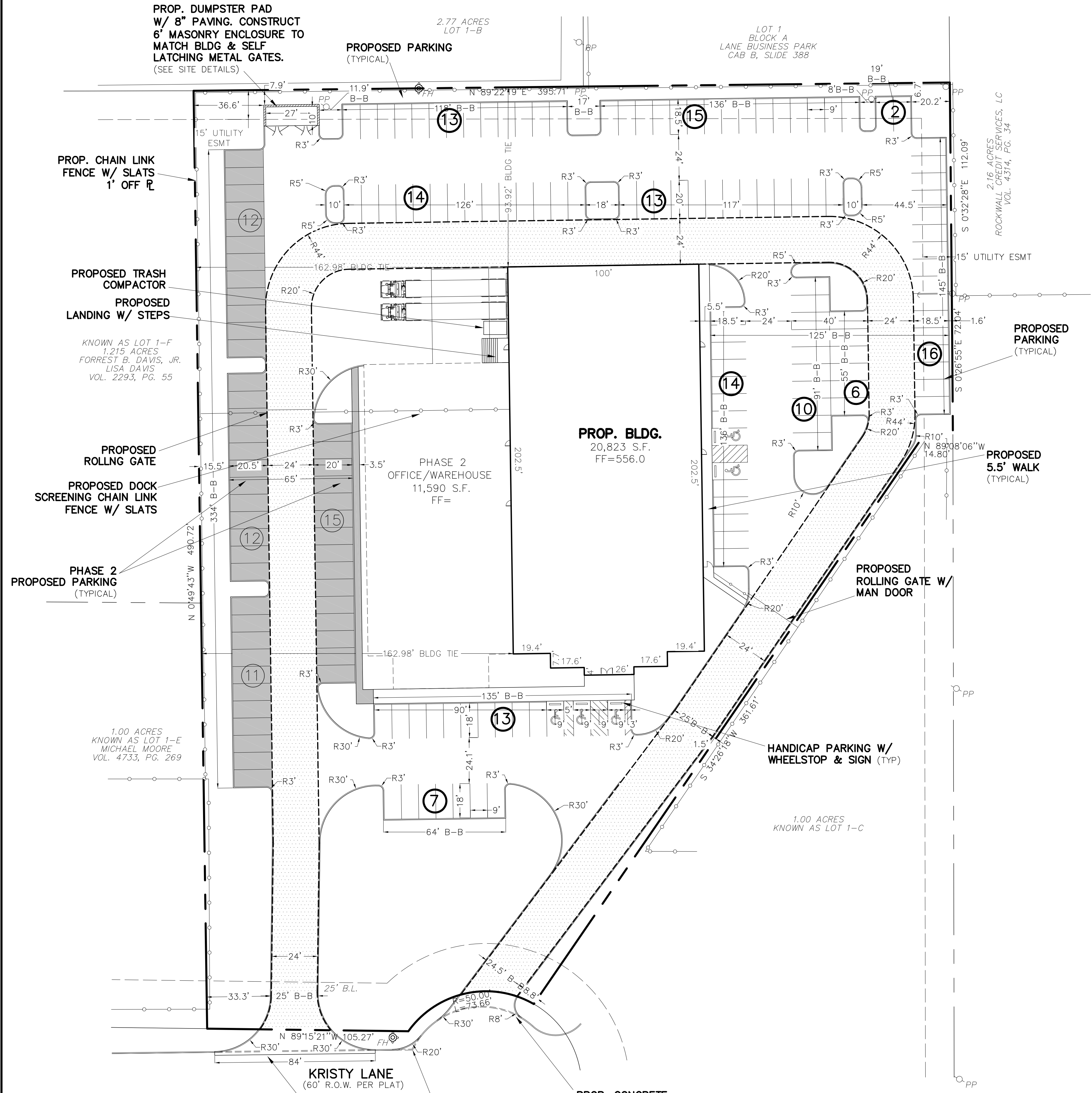
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USA DAVIS
VOL. 2293, PG. 55

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11,590 S.F.
FF=

PHASE 2 PROPOSED PARKING (TYPICAL)

1.00 ACRES
KNOWN AS LOT 1-E
MICHAEL MOORE
VOL. 4733, PG. 269

PROP. BLDG.
20,823 S.F.
FF=556.0

PROPOSED PARKING (TYPICAL)

PROPOSED 5.5' WALK (TYPICAL)

PROPOSED ROLLING GATE W/ MAN DOOR

HANDICAP PARKING W/ WHEELSTOP & SIGN (TYP)

1.00 ACRES
KNOWN AS LOT 1-C

PROP. CONCRETE ENTRANCE. SAWCUT & REMOVE EX. CURB CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

REMOVE EX. CURB AND INSTALL APPROACH PER CITY DETAIL

PROP. CONCRETE ENTRANCE. SAWCUT & REMOVE EX. CURB CONST. LONGITUDINAL BUTT JOINT PER CITY STDS.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4TH EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) APPROACHES TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 PSI, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 PSI, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
13.4%

FLOOR TO AREA RATIO:
7.46:1

BUILDING AREA:
Warehouse: 8,478 sq.ft.
General Office: 12,345 sq.ft.
Phase 1 TOTAL: 20,823 sq.ft.
Phase 2: 11,590 sq.ft.

BUILDING HEIGHT:
1 STORY (7')

PROPOSED FUTURE USE:
Office/Warehouse

IMPERVIOUS AREA (including buildings):
107,943 sq.ft.

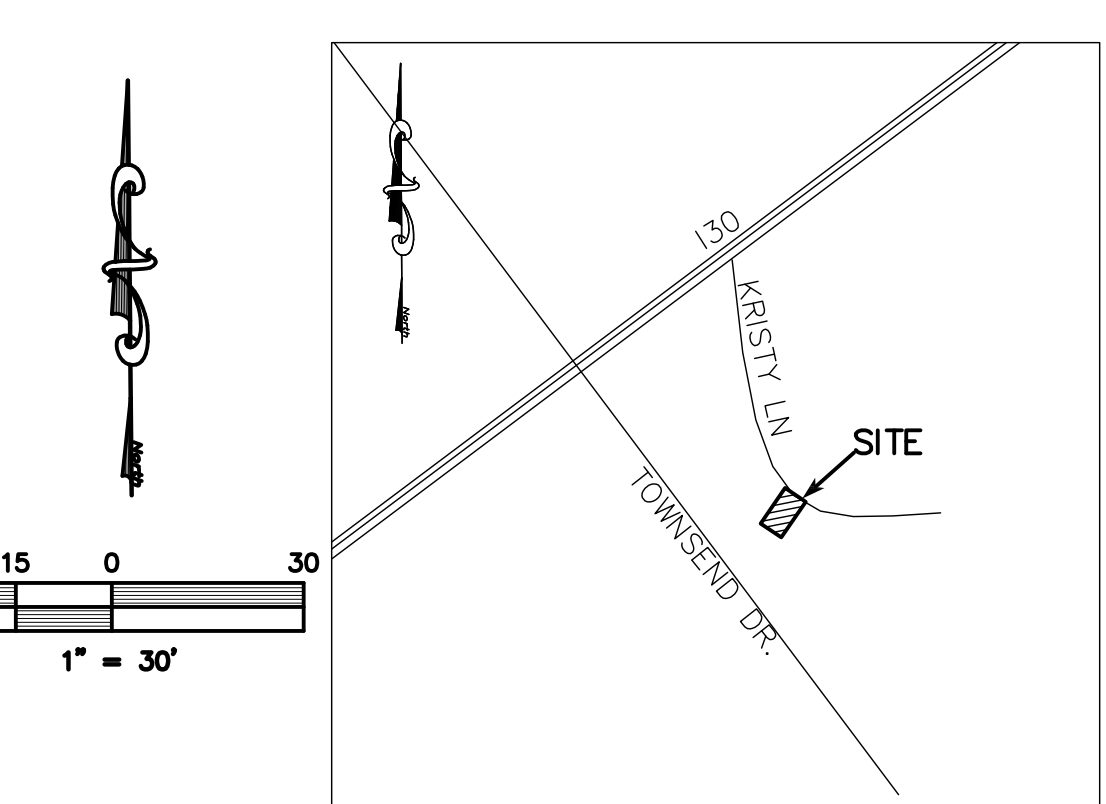
ZONING:
LI

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 9
TOTAL = 51
Handicap = 3
Provided:
Standard = 118
Handicap = 5
Total Provided = 123

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Provided: 47,351

FIRESPRINKLER:
YES

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE



LEGEND

| | |
|---------------|---|
| --- | = PROPERTY LINE |
| 460 | = EXISTING CONTOURS |
| 460 | = PROPOSED CONTOURS |
| x 463.00 TC | = PROPOSED SPOT GRADES |
| or | tc = TOP OF CURB |
| x 462.50 | ep = EDGE OF PAVEMENT |
| | tw = TOP OF WALL |
| | bw = BOTTOM OF WALL |
| | (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED) |
| EX. SS | = EXISTING SANITARY SEWER LINE |
| EX. W | = EXISTING WATER LINE |
| FH | = EXISTING FIRE HYDRANT |
| WM | = EXISTING WATER METER |
| PP | = EXISTING POWER POLE |
| LP | = EXISTING LIGHT POLE |
| T | = EX. WATER VALVE |
| SM | = EXISTING STORM MANHOLE |
| GM | = EXISTING GAS METER |
| EXIST. or EX. | = EXISTING |
| PROP. | = PROPOSED |
| LS | = LANDSCAPE |
| RCP | = REINFORCED CONCRETE PIPE |
| min | = MINIMUM |
| max | = MAXIMUM |
| --- | = PROPOSED FIRELANE |
| --- | = PHASE 2 |

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #

SITE PLAN

BACON PLUMBING OFFICE

LOT 1-M, BODIN INDUSTRIAL TRACT
2055 KRISTY LANE
City of Rockwall, Rockwall County, Texas

OWNER
BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032
CONTACT: BRAD BACON (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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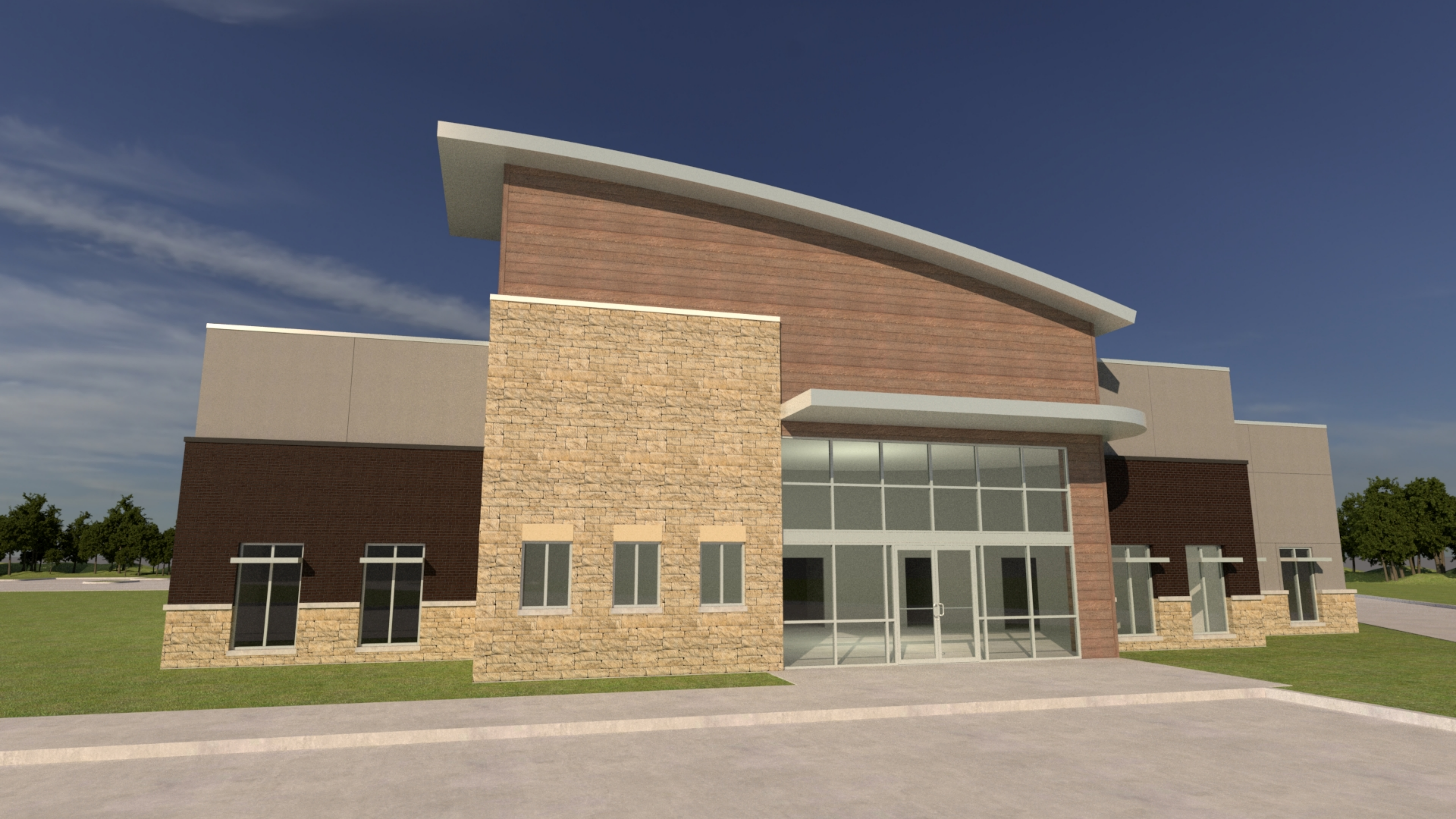
date: 11/12/19 scale: 1" = 30' sheet: C101

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: January 14, 2020
APPLICANT: Jeff Carroll; *Carroll Architects, Inc.*
CASE NUMBER: SP2019-047; *Site Plan for Lot 1-M, Bodin Industrial Tract*

SUMMARY

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Brad Bacon of Bacon Property, LLC for the approval of a site plan for an office/warehouse building on a 3.57-acre parcel of land identified as Lot 1-M of the Bodin Industrial Tract, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

BACKGROUND

The subject property was annexed on May 5, 1980 by *Ordinance No. 80-09*. Additionally, the subject property was zoned from an Agricultural (AG) District to a Light Industrial (LI) District on August 4, 1980 by *Ordinance No. 80-18 (PZ1980-008-01)*.

PURPOSE

On December 13, 2019, the applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- submitted an application requesting approval of a site plan for the purpose of constructing a ~20,823 SF, single-story office/warehouse facility. The proposed site plan also indicates a ~11,590 SF facility as a future expansion on the site. The expansion will require submittal and approval of an amended site plan.

ADJACENT LAND USES AND ACCESS

The subject property is located within the cul-de-sac of Kristy Lane and is addressed as 2055 Kristy Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) businesses (*i.e. Rockwall Credit Services & Multi-Metal & MFG Co., Inc.*) on a 4.738-acre tract of land that fronts IH-30. Both of these properties are zoned Light Industrial (LI) District. Beyond these properties is IH-30.

South: Directly south of the subject property are two (2) separate properties each with businesses (*i.e. Hawn Holdings LC*) addressed as 2040 & 2050 Kristy Lane, and zoned Light Industrial (LI) District. Beyond these properties is a four (4) acre vacant tract of land located within the Bodin Industrial Tract.

East: Directly east of the subject property are three (3) properties: Cooper Canyon Homes, LLC and Collin G Properties (vacant tract) zoned Light Industrial (LI) District, and Rockwall Credit Services zoned Planned Development District 31 (PD-31).

West: Directly west of the subject property are two (2) businesses (*i.e. Hemisphere Brewing & Xcel Metal Finishing*) on 3.215-acres of land. Both of these properties are zoned Light Industrial (LI) District and located within the Bodin Industrial Tract.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), office/warehouse facilities are permitted *by-right* land uses in a Light Industrial (LI) District. The subject property proposes two (2) points of ingress and egress at the cul-de-sac of Kristy Lane. Other than the variances and exceptions being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within the IH-30 Overlay (IH-30 OV) District and a Light Industrial (LI) District. A summary of the density and dimensional requirements for the subject property are as follows:

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|---|----------------------------------|--|
| <i>Minimum Lot Area</i> | 12,500 SF | x>3.57-acres; <i>In Conformance</i> |
| <i>Minimum Lot frontage</i> | 100-Feet | x> 178-feet; <i>In Conformance</i> |
| <i>Minimum Lot Depth</i> | 125-Feet | x>490-feet; <i>In Conformance</i> |
| <i>Minimum Front Yard Setback</i> | 25-Feet | x>25-feet; <i>In Conformance</i> |
| <i>Minimum Rear Yard Setback</i> | 0-Feet + ½ H | x>93-feet; <i>In Conformance</i> |
| <i>Minimum Side Yard Setback</i> | 0-Feet + ½ H | x>65-feet; <i>In Conformance</i> |
| <i>Maximum Building Height</i> | 60-Feet | x=33.0-feet; <i>In Conformance</i> |
| <i>Max Building/Lot Coverage</i> | 60% | x=13.4%; <i>In Conformance</i> |
| <i>Minimum Masonry Requirement</i> | 90% | x>90%; <i>Variance Required for Metal Construction</i> |
| <i>Minimum Number of Parking Spaces</i> | 1:300 = 42 & 1:1000=9 | x=123; <i>In Conformance</i> |
| <i>Minimum Stone Requirement</i> | 20% Each Facade | x=0%; <i>Three (3) Sides - Variance Required</i> |
| <i>Minimum Landscaping Percentage</i> | 15% | x=30.49%; <i>In Conformance</i> |
| <i>Maximum Impervious Coverage</i> | 90-95% | x<70%; <i>In Conformance</i> |

CONFORMANCE WITH THE CITY’S CODES

Subsection 5.02, *Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the “*Light Industrial (LI) District* is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses.” The proposed office/warehouse facility is a permitted land use in the Light Industrial (LI) District. Additionally, all operations will be indoors with no outside storage of materials unless properly screened or buffered. The code goes on to say that “locations for these types of industrial land uses are typically a minimum of two (2) acres and average of five (5) to ten (10) acres.” The subject property generally meets this guideline with 3.57-acres; however, this type of development should also incorporate open space and significant amounts of land dedicated to landscaping. With this being said, the applicant has indicated to staff that the operation will have approximately 50 vehicles used for business purposes that will be parked overnight at the rear of the property. The UDC defines service vehicles being stored on a lot overnight or for more than 24 hours as outside storage.

Subsection 5.02, *Landscape Screening*, of Article VIII, *Landscape and Fence Standards*, of the Unified Development Code (UDC), states that “...outside storage areas shall be screened from all public streets, open space, adjacent properties ...in accordance with the requirements of Subsection 1.05, *Screening Standards*, of Article V, *District Development Standards*.” As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates one (1) of the following options:

- (1) *Alternative #1*. A wrought iron fence and three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers.
- (2) *Alternative #2*. A wrought iron fence with a mix of two (2) rows of staggered mature evergreen trees and one (1) row of deciduous canopy trees (a minimum six [6] caliper inches) along the entire length of the adjacency. All trees will be planted on 20-foot centers.

In this case, the applicant is requesting *Alternative #1* that incorporates the three (3) tiered screening system along the entire northern property boundary (i.e. rear); however, the applicant is providing a chain-link fence with vinyl coating for the subject property and is requesting the use of a chain-link fence rather than a wrought-iron fence along the rear property boundary. Staff should note that while the proposed chain-link fence is not permitted in conjunction with the screening request, vinyl coated chain-link fences are permitted within the Light Industrial (LI) District. The applicant has provided a letter requesting an exception for the use of a chain-link fence rather than a wrought iron fence. With this being said, the proposed landscape screening is a discretionary approval for the Planning and Zoning Commission upon a determination that the provided screening will achieve the intent of the screening ordinance. This has been included as a condition of approval in this case memo.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions and variances to the requirements of the IH-30 Overlay (SOV) District and the Unified Development Code (UDC):

(1) *Building Materials.*

- (a) *Primary Materials.* According to Section 6.02.C.1.a, *General Overlay District Standards*, of Article V, *District Development Standards*, of the UDC, requires each exterior wall of a building's façade shall consist of a minimum of 90% *Primary Materials* and/or a maximum of 10% *Secondary Materials* -- *excluding doors and windows*. In this case, the applicant is constructing a metal building and does not meet this standard on three (3) sides of the structure (i.e. north, east, & west façades). Staff should note that this is not an uncommon request with larger industrial buildings; however, the building is located within the IH-30 OV.
- (b) *Stone.* According to Section 6.02.C.1.a.1, *General Overlay District Standards*, of Article V, *District Development Standards*, of the UDC, a minimum of 20% natural or quarried stone is required on all building façades. In this case, the applicant is providing stone on the front façade (i.e. south elevation), but does not meet this standard on three (3) sides of the structure (i.e. north, east, & west façades). With this being a metal building, this is not an uncommon request for this type of construction.
- (c) *Secondary Materials.* According to Section 6.02.C.1.b, *General Overlay District Standards*, of Article V, *District Development Standards*, of the UDC, are any material that is not a *Primary Material* and that does not exceed more than ten (10) percent of the building's façade. *Secondary Materials* are further identified as aluminum composite materials (i.e. ACM panels), metal panels, acrylic products (i.e. EIFS products) cast stone, cultured stone or other materials identified by the Director of Planning and Zoning or his/her designee. In this case, the applicant is providing a 23.5% exterior wood panel system at the primary entrance to the facility (i.e. south facing façade).

(2) *Building Articulation.*

(a) *Secondary Building Façades*. According to Section 5.01.C.2, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, secondary facades require projections associated with entryways and architectural elements. Specifically, the secondary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does not incorporate vertical projections nor does the building design meet the horizontal projection standards of the secondary façades (*i.e. north, east, & west*).

(b) *Four (4) Sided Architecture*. According to Section 6.02.C.1.a, *General Overlay District Standards*, of Article V, *District Development Standards*, of the UDC, the code states that all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case, the applicant is constructing a metal building and does not meet this standard on three (3) sides of the structure (*i.e. north, east, & west facades*).

(3) *Landscape Screening Fence*.

(a) *Screening Fence*. According to Subsection 5.02, *Landscape Screening*, of Article VIII, of the Unified Development Code (UDC), states that "...outside storage areas shall be screened from all public streets, open space, and adjacent properties...or outside storage area in accordance with the requirements of Subsection 1.05, *Screening Standards*, of Article V, *District Development Standards*. As an alternative, the Planning and Zoning Commission may approve an alternative screening method as noted in staff's report.

According to Section 9, *Exceptions and Variances*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC)" or "a variance to any provision contained in Section 6.02, General Overlay District Standards, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship." In cases where variances or exceptions are being requested, the applicant shall provide compensatory measures that directly offset the requested exception or variance. In this case, the applicant has provided letters explaining the exceptions and variances being requested and the proposed compensatory measures for the requested exceptions and variances; however, staff should note that some of the compensatory measures listed by the applicant are already required by the Unified Development Code (UDC), and therefore could not be considered compensatory measures. The compensatory measures listed by the applicant that are not already required by the Unified Development Code (UDC) are summarized as follows:

- (a) 15% more landscaping in the front area. This represents a 100% increase over the requirement.
- (b) The incorporation of a raised berm, shrubs, and five (5) additional trees in the front of the subject property.

Staff should also note the number of compensatory measures listed by the applicant does not meet the exact requirements of the ordinance; however, the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variances. This is a discretionary decision for the Planning and Zoning Commission that require approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan (*Comp Plan*) indicates that the subject property is located within the *IH-30 Corridor District* which is "... the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial." Additionally, the *Special Commercial Corridor (SC)* designation "...is intended to provide an area for commercial/retail...activity centers that are intended to support and serve the entire region." (*Ch. 1; Land Use Plan*) In this case, the applicant's request does not conform to the development referred to in the Comprehensive Plan; however, the development is going into an existing industrial park that is already zoned for the proposed land use. According to the Comprehensive Plan, "(t)he Commercial/Industrial land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways." While the adjacent properties are zoned Light Industrial (LI) District, they were annexed at the same time as the *subject property* and these properties were developed prior to the adoption of the IH-30 Overlay (IH-30 OV) District, and may have outside storage that does not meet today's standards. With this being said, the applicant is proposing to install a three (3) tiered landscape screening system at the rear of the property for the purpose of screening the outside storage of the service vehicles to accomplish the screening required by the Comprehensive Plan and Unified Development Code (UDC).

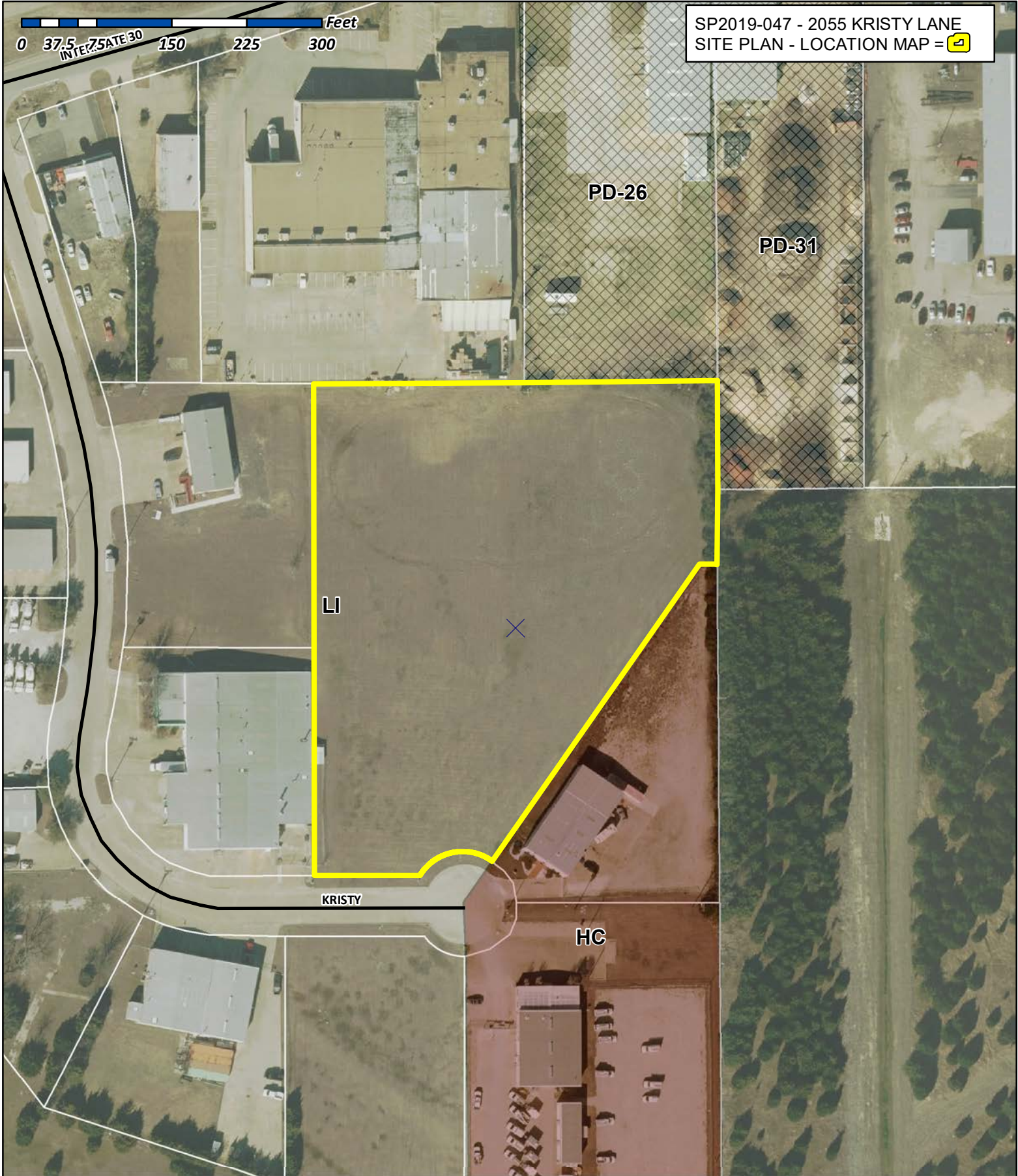
ARCHITECTURAL REVIEW BOARD (ARB)

On December 30, 2019, the Architectural Review Board (ARB) did not meet due to lack of a quorum; therefore, the ARB will provide the Planning and Zoning Commission with recommendations at the January 14, 2020 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Approval by the Planning and Zoning Commission of all exceptions and variances requested as outlined in staff's report;
- (3) Approval by staff of a revised landscape plan meeting the requirements for screening of the outside storage and the truck dock areas; and,
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



SP2019-047 - 2055 KRISTY LANE
 SITE PLAN - LOCATION MAP = [icon]

0 37.5 75 150 225 300 Feet
 INTERSTATE 30

PD-26

PD-31

LI

HC

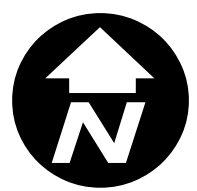
KRISTY



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2019-047

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2055 KRISTY LN.

Subdivision BODIN INDUSTRIAL TRACT Lot 1 Block _____

General Location I-30 & KRISTY LN.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI Current Use N/A

Proposed Zoning SAME Proposed Use OFFICE / WAREHOUSE

Acreage 3.57 AC. Lots [Current] ONE Lots [Proposed] ONE

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|--------------------------------|------------------------------------|---|--|
| <input type="checkbox"/> Owner | <u>BACON PROPERTY, LLC.</u> | <input checked="" type="checkbox"/> Applicant | <u>CARROLL ARCHITECTS, INC.</u> |
| Contact Person | <u>BRAD BACON</u> | Contact Person | <u>JEFF CARROLL</u> |
| Address | <u>295 RANCH TRAIL</u> | Address | <u>750. E. INTERSTATE 30</u> <u>SITE: 110</u> |
| City, State & Zip | <u>ROCKWALL TX 75032</u> | City, State & Zip | <u>ROCKWALL, TX. 75087</u> |
| Phone | <u>214.280.2296</u> | Phone | <u>972.732.6085</u> |
| E-Mail | <u>BRAD@EVERYONELOVESBACON.COM</u> | E-Mail | <u>JCARROLLARCH.COM</u> |

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JEFF CARROLL [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

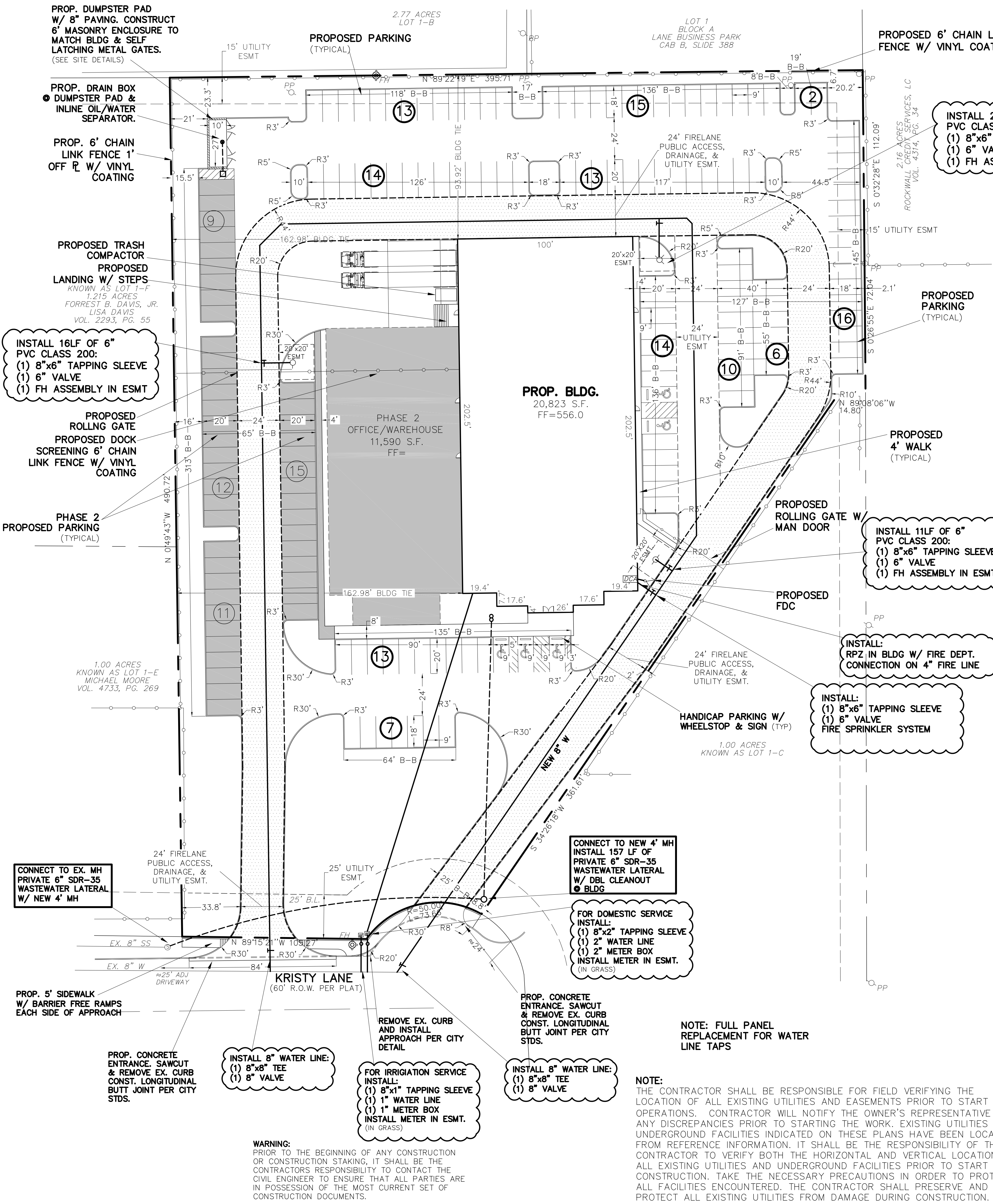
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20____.

Owner's/Applicant's Signature _____

Notary Public in and for the State of Texas _____

My Commission Expires _____



- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) APPROACHES TO BE 6" THICK, 4200 PSI, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) FIRELANE TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 PSI, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 PSI, 5.5 SACK MIX IN R.O.W.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
13.4%

FLOOR TO AREA RATIO:
7.46:1

BUILDING AREA:
Warehouse: 8,478 sq.ft.
General Office: 12,345 sq.ft.
Phase 1 TOTAL: 20,823 sq.ft.
Phase 2: 11,590 sq.ft.

BUILDING HEIGHT:
1 STORY (/)

PROPOSED FUTURE USE:
Office/Warehouse

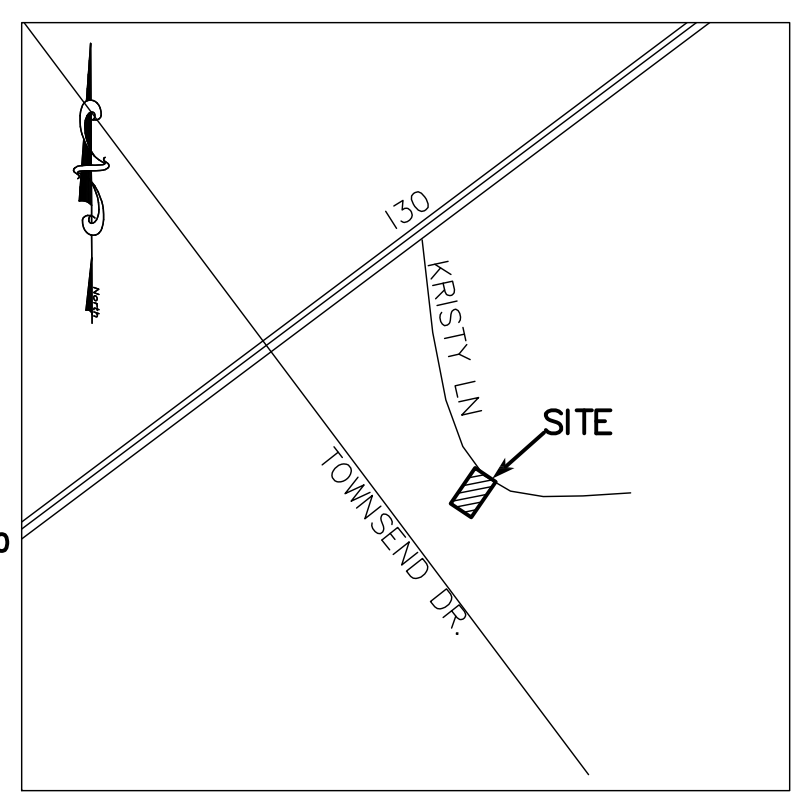
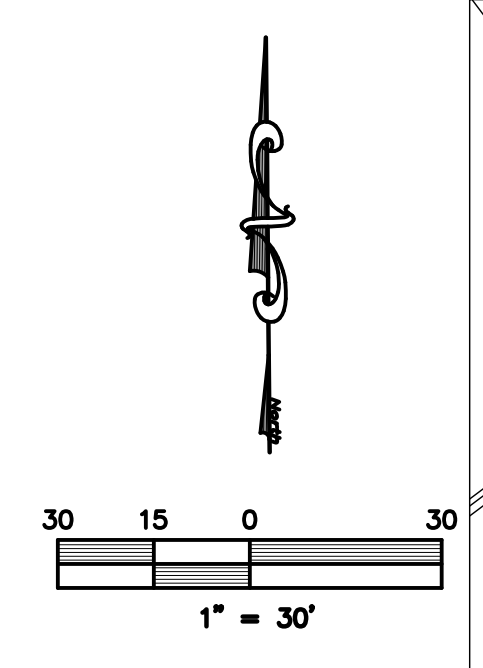
**IMPERVIOUS AREA
(including buildings):**
107,943 sq.ft.

ZONING:
LJ

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 9
TOTAL = 51
Handicap = 3
Provided:
Standard = 118
Handicap = 5
Total Provided = 123

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Provided: 47,351

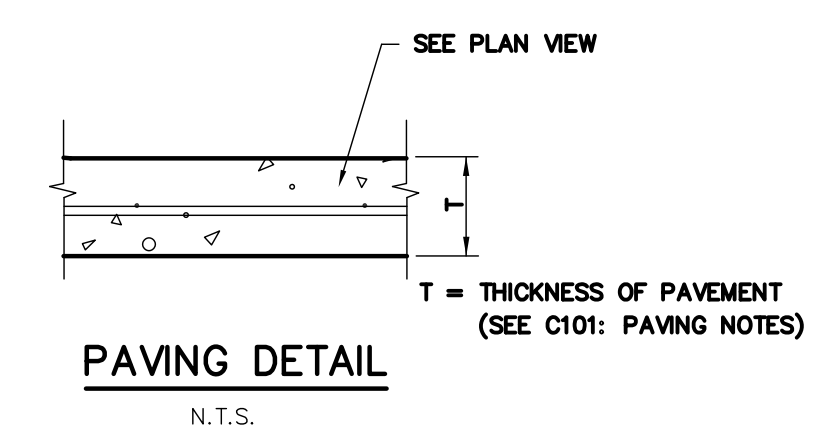
FIRESPRINKLER:
YES
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE
* NO TREES ON THIS SITE



LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- tc = PROPOSED SPOT GRADES
- tp = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- S = EXISTING SEWER MANHOLE
- G = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT
- = PROPOSED FIRELANE
- = PHASE 2



SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE # SP2019-047

SITE PLAN

BACON PLUMBING OFFICE

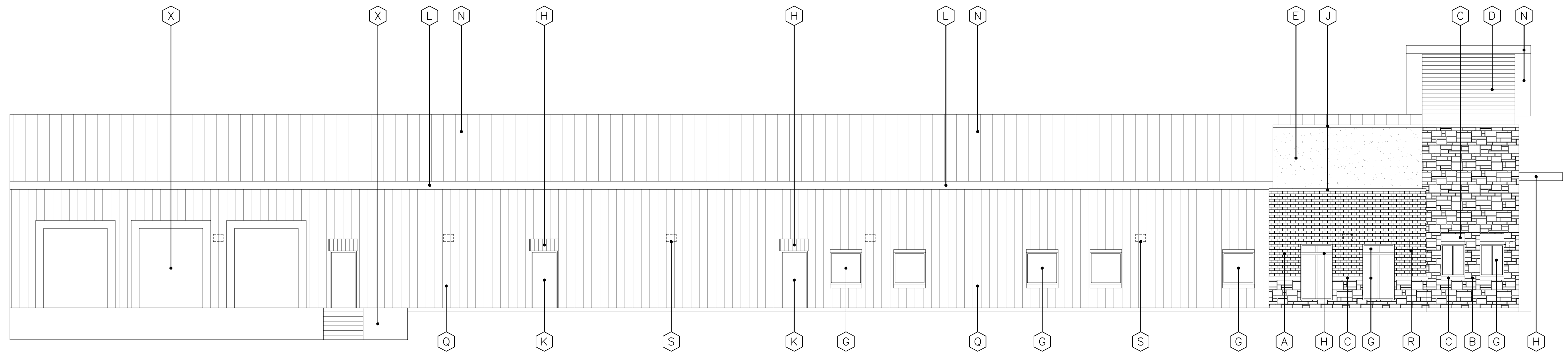
2055 KRISTY LANE
LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032
CONTACT: BRAD BACON (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

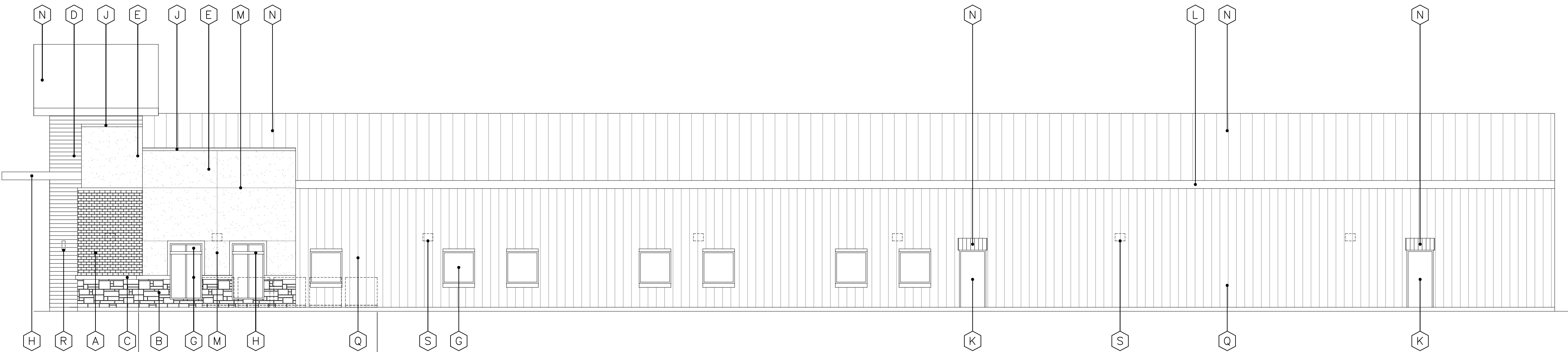
REG NO.: F-2567
©2020 by Monk Consulting Engineers, Inc. All Rights Reserved.

date: 1/3/20 scale: 1" = 30' sheet: C101

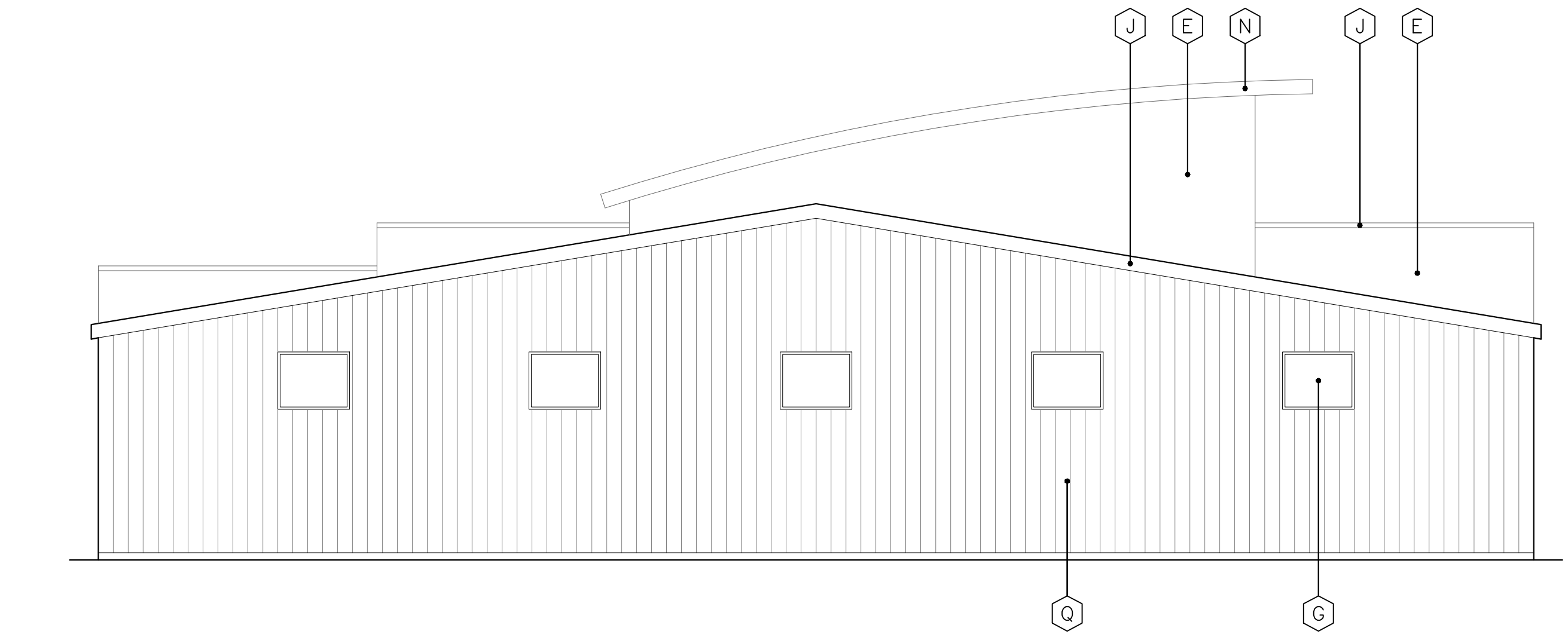


4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

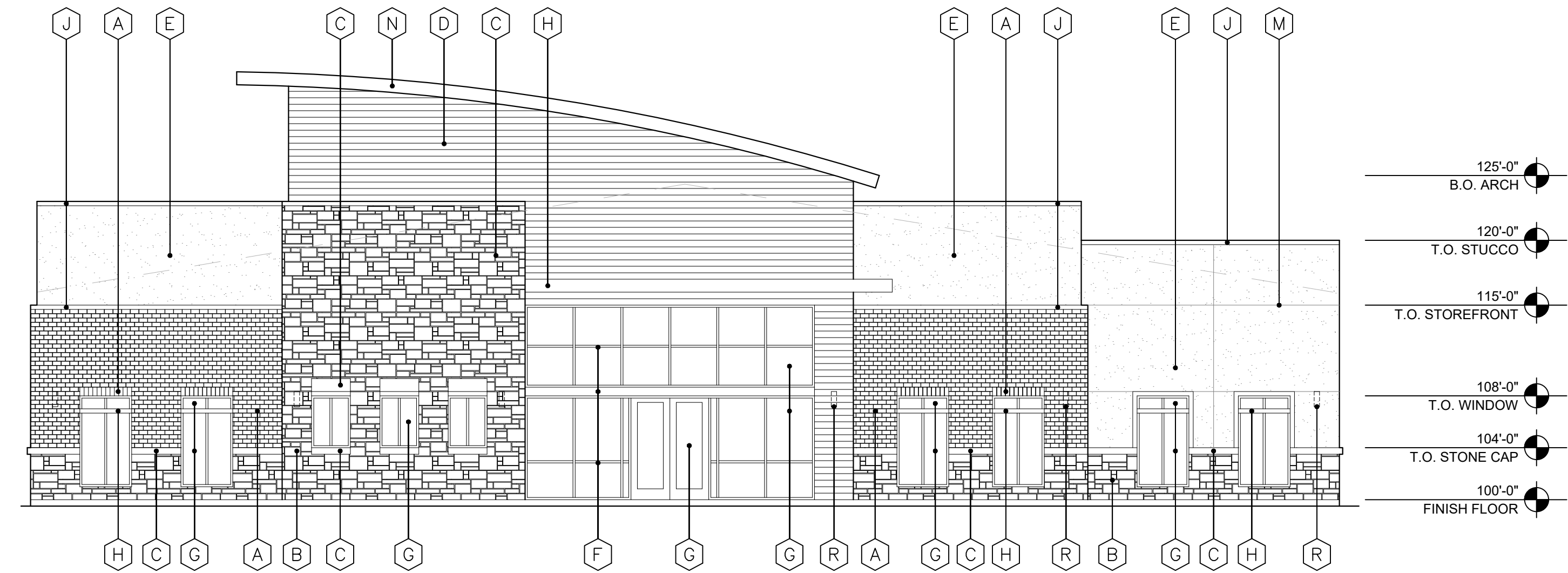
| EXTERIOR FINISH SCHEDULE: | |
|---------------------------|--|
| (A) | BRICK, MFG-ACME, MODULAR SIZE AMARETTO |
| (B) | STONE, ROUGH FACE, COLOR - LIMESTONE PATTERN - ASHLER |
| (C) | STONE TRIM, SMOOTH ON ALL SIDES, COLOR - LIMESTONE |
| (D) | WOOD, EXTERIOR WOOD PANEL SYSTEM |
| (E) | STUCCO W/ EIFS FINISH TEXTURE - FINE, COLOR - SW 7072 ONLINE |
| (F) | STOREFRONT & DOORS, COLOR - ANODIZED ALUMINUM |
| (G) | EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR - 30% TINTED, GRAY |
| (H) | STEEL AWNING, PAINT - SW 6247 KRYPTON |
| (J) | PREFINISHED METAL COPING, COLOR - SW 7661 REFLECTION |
| (K) | EXTERIOR HOLLOW METAL DOOR, PAINTED - TO MATCH MTL. SIDING |
| (L) | PREFINISHED ROOF GUTTER, COLOR - TO MATCH MTL. SIDING |
| (M) | STUCCO CONTROL JOINT/SCORE PATTERN |
| (N) | STANDING SEAM METAL, MFG - BERRIDGE, CEE - LOCK, COLOR - CHARCOAL GREY |
| (P) | ROOF LINE, SHOWING SLOPE FROM FRONT TO BACK |
| (Q) | PRE-ENGINEERED MTL. SIDING - GREY |
| (R) | DECORATIVE LIGHT FIXTURE |
| (S) | LED WALL PACK W/ SHIELD |



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

| | | |
|-----------------------------------|--------|----------|
| PRIMARY MATERIALS: 90% MASONRY | STONE | - 30.2% |
| | BRICK | - 21.3% |
| | STUCCO | - 25.0% |
| SECONDARY MATERIALS: 10% OTHER | WOOD | - 23.5% |
| | TOTAL | - 100.0% |

| | |
|--|--|
| BACON PLUMBING OFFICE | |
| LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1-M BODIN INDUSTRIAL TRACT 2055 KRISTY LANE City of Rockwall, Rockwall County, Texas | |
| OWNER Bacon Property LLC. 295 Ranch Trail Rockwall, TX 75087 P: 972-236-5794 | |
| APPLICANT Carrall Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrallarch.com | |
| CITY OF ROCKWALL CASE NUMBER SP-2019-047 | |

| | |
|--------|--------------------------|
| ISSUE: | OWNER REVIEW: 08-19-2019 |
| | RESUBMISSION: 01-07-2020 |

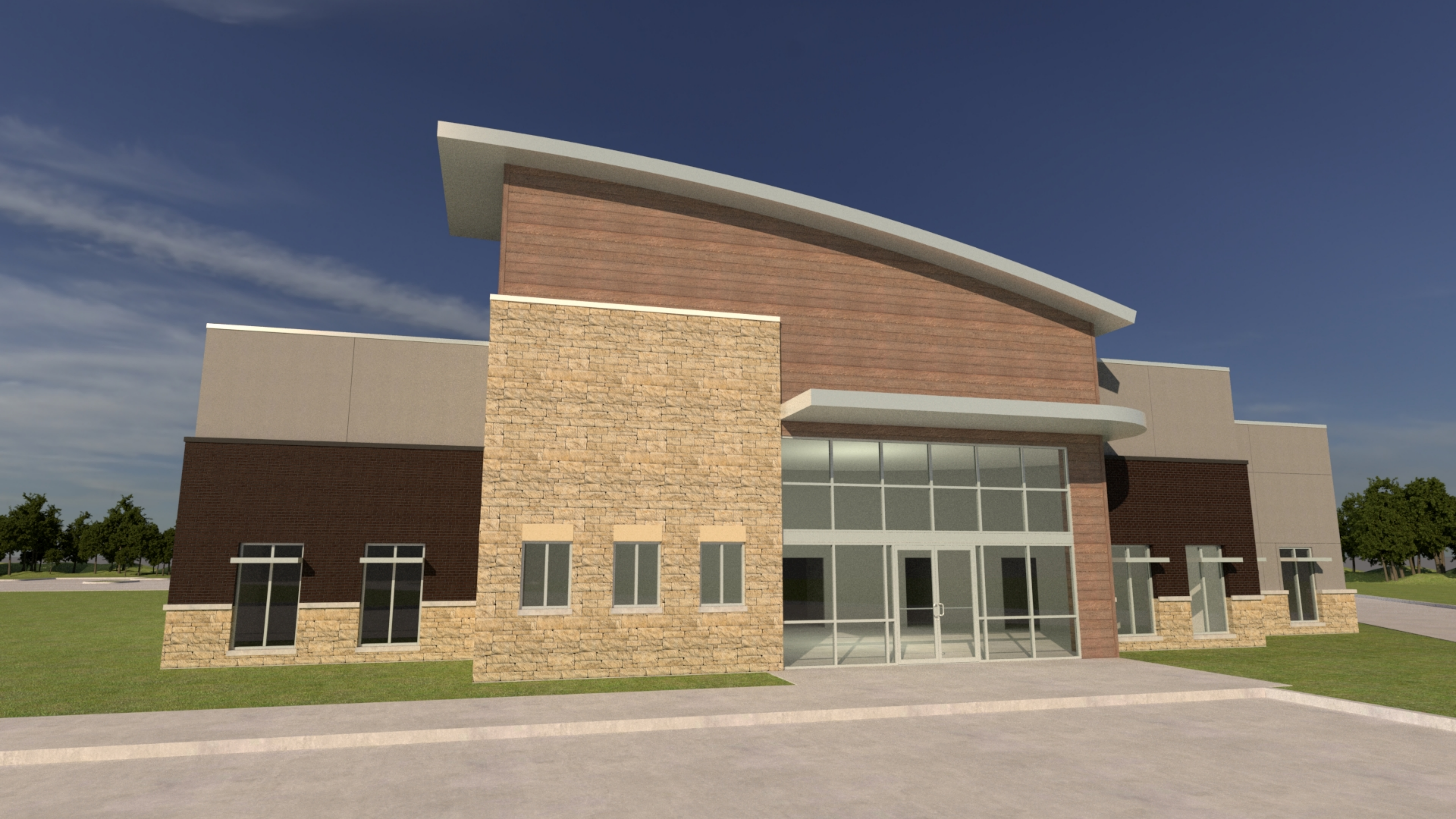
COPYRIGHT NOTICE
The user hereby certifies that the information provided on this "non-disclosure" form is true and correct. The user understands that any false or misleading information provided on this form may result in the user's information being used for purposes other than those intended. The user agrees to indemnify and hold the provider harmless from any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be incurred by the provider as a result of the user's use of this information.

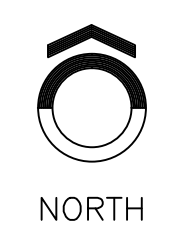
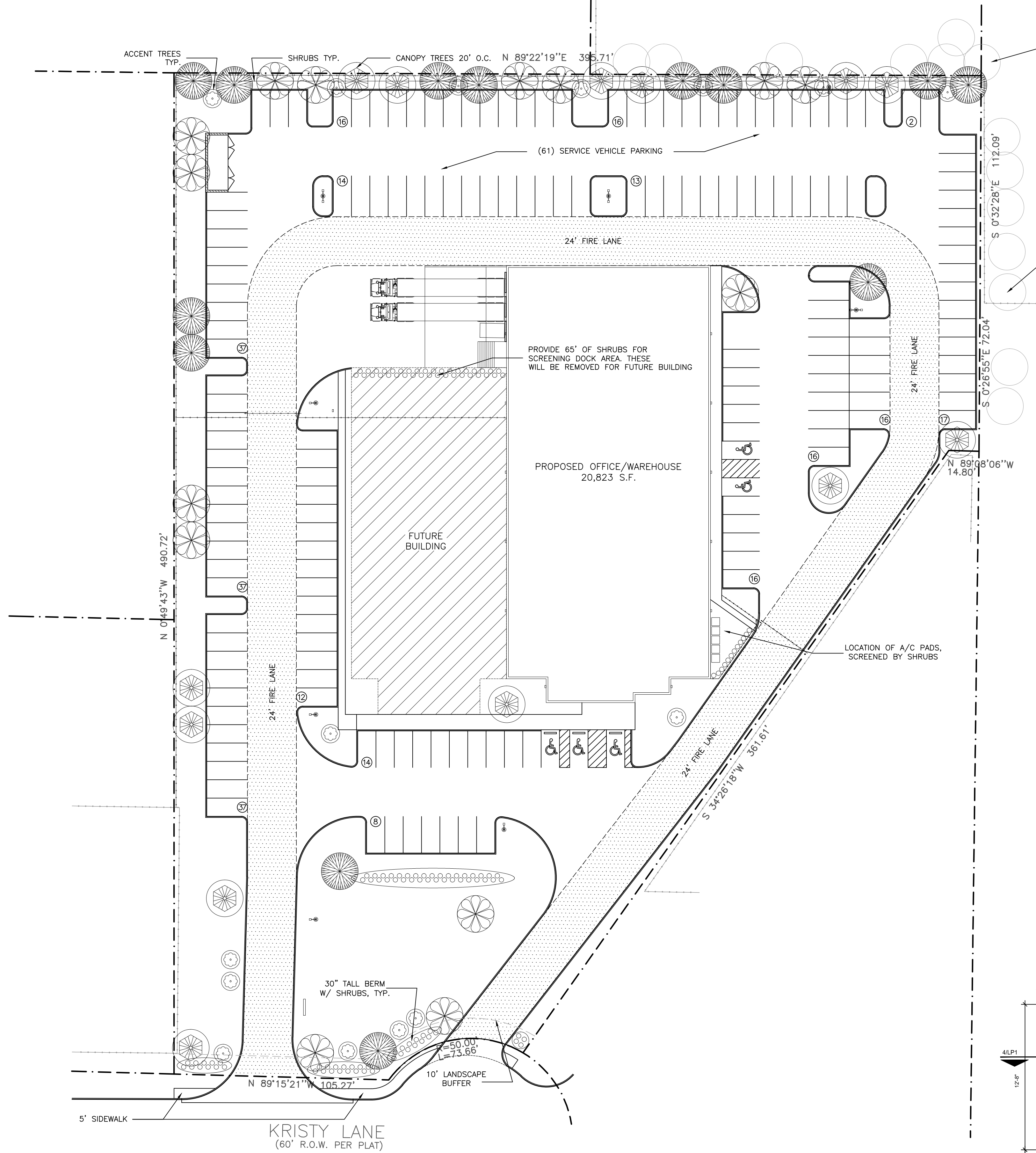
**BACON PLUMBING
CORPORATE OFFICES**
Kristy Lane
Rockwall, Texas

**CARRALL
architects**
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**EXTERIOR
ELEVATIONS**

| | | | |
|-------------|----------|-----------|------|
| DATE: | JUN 2019 | SHEET NO: | A501 |
| PROJECT NO: | 2019037 | | |
| DRAWN BY: | | | |
| CHECKED BY: | | | |

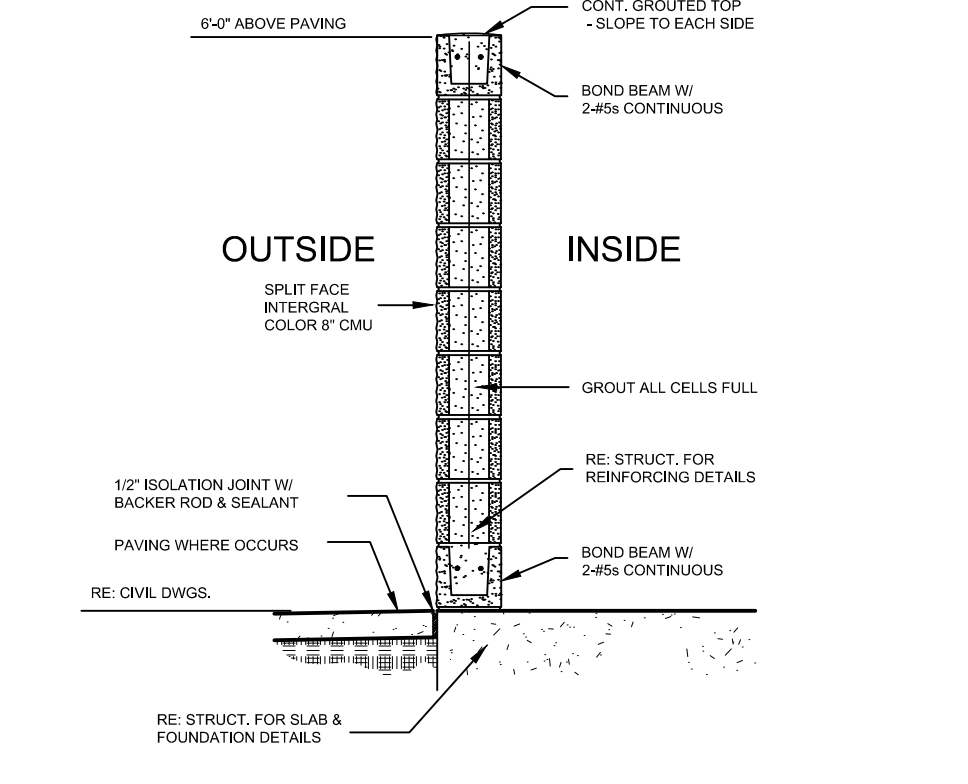




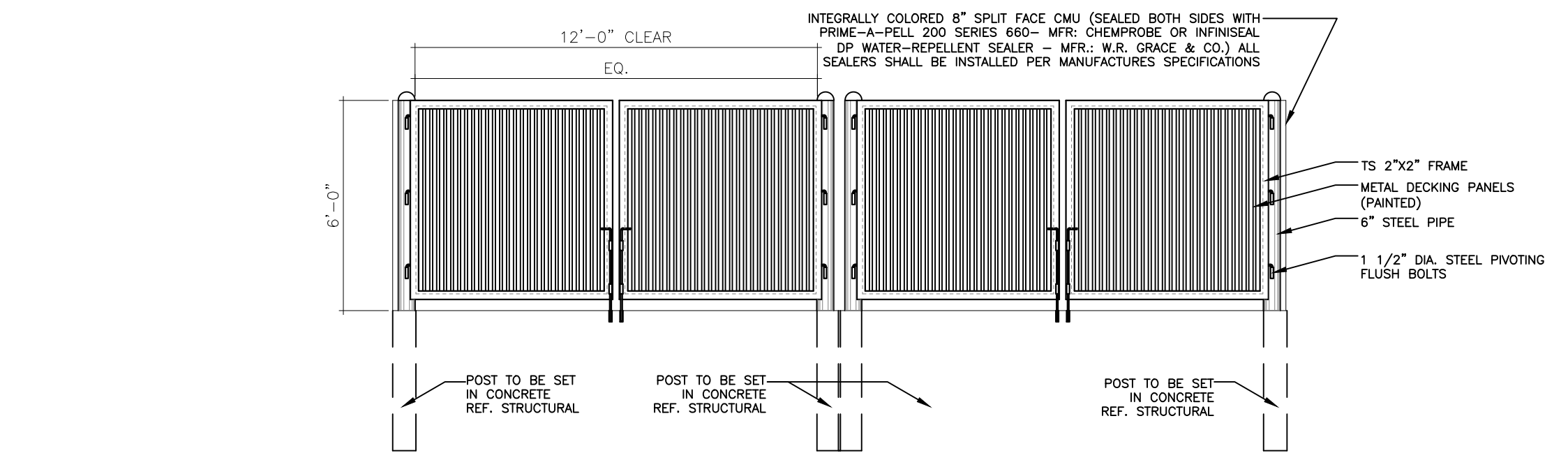
1 LANDSCAPE PLAN
SCALE: 1:30

| TREE/SHRUB LEGEND | |
|---|--------------------|
| TREES, INSTALLED W/ MINIMUM 2" CALIPER () | |
| | BUR OAK |
| | LIVE OAK |
| | BALD CYPRESS |
| | CRAPE MYRTLE |
| SHRUBS, SHALL BE A MINIMUM OF 3-GALLONS W/ A MINIMUM HEIGHT @ PLANTING OF 24" AND SHALL CREATE A 3' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C. (230) | |
| 1. | DWARF YAWPON HOLLY |

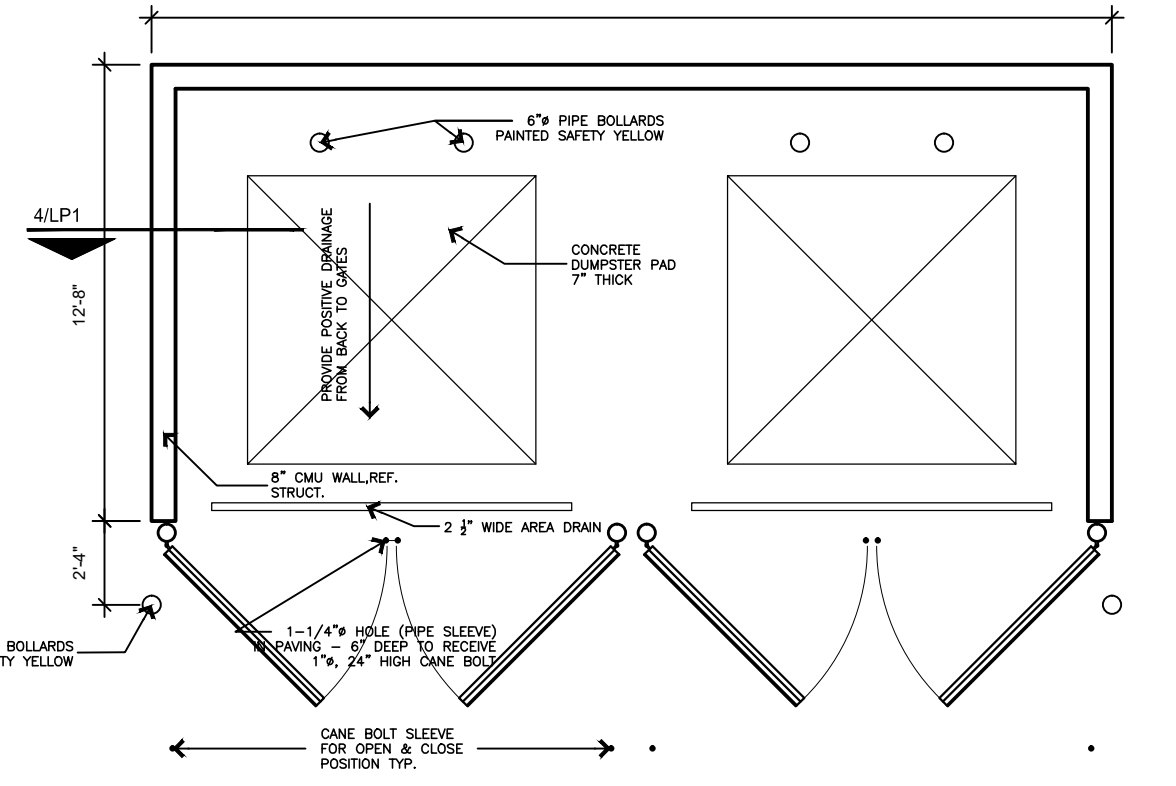
| LANDSCAPE TABULATION | |
|---|---|
| TREE MITIGATION - | THERE ARE NO TREES ON THIS SITE |
| STREET BUFFER - | 178.93 LF. @ 1/50 = (4) REQUIRED SHADE CANOPY TREES (4) PROVIDED SHADE CANOPY TREES (4) REQUIRED ACCENT TREES (5) EXTRA TREES |
| PARKING LOT TREES - | 123 SPACES @ 1/10 SPACES = (13) REQUIRED SHADE CANOPY TREES (13) PROVIDED SHADE CANOPY TREES (6) EXTRA TREES |
| IRRIGATION - | IRRIGATION SHALL BE PROVIDED TO ALL LANDSCAPE AREAS. |
| NOTES: - Screening along north property line w/ chain link fence. (Landscape screening alternative #1) | |



4 DUMPSTER ENCLOSURE WALL SECTION
SCALE: 1/2" = 1'-0"



3 DUMPSTER ENCLOSURE ELEVATION
SCALE: 3/16" = 1'-0"



2 DUMPSTER ENCLOSURE PLAN
SCALE: 3/16" = 1'-0"

| SITE DATA TABLE | |
|------------------------|---------------------------|
| SITE AREA | 3.57 ACRES (155,294 S.F.) |
| ZONING | L1-INDUSTRIAL |
| PROPOSED USE | OFFICE/WAREHOUSE |
| PROPOSED BUILDING AREA | 20,823 S.F. |
| LOT COVERAGE | 13.4% |
| FLOOR TO AREA RATIO | 0.134 : 1 |
| BUILDING HEIGHT MAX. | 60'-0" |

| PARKING TABLE | |
|-------------------|--------------------|
| OFFICE PARKING | 1/300 SF = 42 |
| WAREHOUSE PARKING | 1/1000 SF = 9 |
| PARKING REQUIRED | 51 SPACES (3 ADA) |
| PARKING PROVIDED | 123 SPACES (5 ADA) |

| LANDSCAPE TABULATION | |
|--|---------------------------|
| GROSS AREA | 3.57 ACRES (155,294 S.F.) |
| REQUIRED LANDSCAPE AREA-- 15% OF 155,294 S.F. | 23,294 S.F. |
| PROVIDED LANDSCAPE AREA-- 30.5% OF 155,294 S.F. | 47,351 S.F. |
| IMPERVIOUS COVERAGE-- 69.5% OF 155,294 S.F. | 107,943 S.F. |
| NOTES: - Irrigation shall be provided to all landscaped areas. - There is no tree mitigation for this project as there are no existing trees on this property. - All perimeter parking are within 50'-0" of a shade tree. | |

- GENERAL NOTES:**
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM IF 24" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
 - E.A. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
 - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS. SEE T&S NOTES & DETAILS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
 - REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - NO OUTSIDE EQUIPMENT STORAGE, THE OWNER IS PARKING SERVICE VEHICLES. NO VEHICLE IS STATIONARY FOR MORE THAN 24 HOURS.

| | |
|--|--|
| BACON PLUMBING OFFICE | |
| LEGAL DESCRIPTION AND OR ADDRESS: LOT 1-M BODIN INDUSTRIAL TRACT 2055 KRISTY LANE City of Rockwall, Rockwall County, Texas | |
| OWNER Bacon Property LLC. 295 Ranch Trail Rockwall, TX 75087 P: 972-236-5794 | |
| APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com | |
| CITY OF ROCKWALL CASE NUMBER SP-2019-047 | |

| | |
|---------------|------------|
| ISSUE: | |
| OWNER REVIEW: | 08-19-2019 |
| RESUBMISSION: | 01-07-2020 |

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**BACON PLUMBING
CORPORATE OFFICES**
Kristy Lane
Rockwall, Texas

**CARROLL
architects**
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

**LANDSCAPE
PLAN**

| | | | |
|--------------|----------|------------|------------|
| DATE: | JUN 2019 | SHEET NO.: | |
| PROJECT NO.: | 2019037 | | |
| DRAWN BY: | | | LP1 |
| CHECKED BY: | | | |



750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

January 7, 2020

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2019-047 Variance Requested – **Building, 4-Sided Architecture**
Bacon Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a Request for Variance to the Subsection 6. 02(C)(b), Art. V of the UDC, for **Building, 4-Sided Architecture**.

I believe our project is one of the last undeveloped light industrial lots in this commercial industrial park. There are existing buildings, fences and trees surrounding our lot which considerably block visibility into this site. The only noticeable visibility is directly from Kristy Street. These surrounding existing buildings are constructed with various types of metal building standards.

There is a portion of our property in the back that overlaps in the city's IH-30 Overlay District. As shown on the aerial, there are existing lots with existing buildings that sit on the IH-30 frontage road and are in front of our property, between us and the freeway (again blocking the view), and we do not have any direct access to the IH-30 frontage road.

Building, 4-Sided Architecture Variance. We are requesting a variance to provide architectural design on the front (South Elevation) of our new proposed building only. The sides and rear of our building will have metal siding panel walls for the warehousing portion. The Building design would not be visible by the public on these three sides.

For this variance request we are also proposing to provide more landscaping, shrubs and trees than required for this property and screening the building more.

- 1) We are showing future building expansion on the west side of the new building where articulation and building materials are not conducive to this expansion.
- 2) The east and north side of the proposed building will never be seen by the public view.

- 3) There will be a 6'-0" tall vinyl coated chain link fence surrounding the property for security and securing the overnight vehicles in the parking areas.
- 4) We have provided 15% more landscaping totaling 30% on our property which is 100% more than required by zoning code. This extra 15% is in the front area.
- 5) We are proposing to add a raised berm, shrubs and 5 additional trees in this front landscape area.
- 6) We are proposing to add additional canopy trees along the north and west property line to provide additional screening of the loading dock area and overnight vehicles per landscape screening Alternative #1.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

January 7, 2020

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2019-047 Variance Requested - **Building Articulation.**
Bacon Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a Request for Variance to the Subsection 5. 01(C), Art. V of the UDC, and IH-30 Overlay District, for **Building Articulation.**

I believe our project is one of the last undeveloped light industrial lots in this commercial industrial park. There are existing buildings, fences and trees surrounding our lot which considerably block visibility into this site. The only noticeable visibility is directly from Kristy Street. These surrounding existing buildings are constructed with various types of metal building standards.

There is a portion of our property in the back that overlaps in the city's IH-30 Overlay District. As shown on the aerial, there are existing lots with existing buildings that sit on the IH-30 frontage road and are in front of our property, between us and the freeway (again blocking the view), and we do not have any direct access to the IH-30 frontage road.

Building Articulation Variance. We are requesting a variance to only provide Building Articulation to the front (South Elevation) of our new proposed building which everyone can see from the street. The sides and rear of our building will have no undulating walls for the warehousing portion. We are also proposing to bring the building materials from the front onto the sides 20'.

For this variance request we are also proposing to provide more landscaping, shrubs and trees than required for this property and screening the building more.

- 1) We are showing future building expansion on the west side of the new building where articulation and building materials are not conducive to this expansion.
- 2) The east and north side of the proposed building will never be seen by the public view.

- 3) There will be a 6'-0" tall vinyl coated chain link fence surrounding the property for security and securing the overnight vehicles in the parking areas.
- 4) We have provided 15% more landscaping totaling 30% on our property which is 100% more than required by zoning code. This extra 15% is in the front area.
- 5) We are proposing to add a raised berm, shrubs and 5 additional trees in this front landscape area.
- 6) We are proposing to add additional canopy trees along the north and west property line to provide additional screening of the loading dock area and overnight vehicles.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

January 7, 2020

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2019-047 Variance Requested - **Building Primary Materials.**
Bacon Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a Request for Variance to the Subsection 6. 02(C)(1)(a), Art. V of the UDC, for **Building Primary Materials.**

I believe our project is one of the last undeveloped light industrial lots in this commercial industrial park. There are existing buildings, fences and trees surrounding our lot which considerably block visibility into this site. The only noticeable visibility is directly from Kristy Street. These surrounding existing buildings are constructed with various types of metal building standards.

There is a portion of our property in the back that overlaps in the city's IH-30 Overlay District. As shown on the aerial, there are existing lots with existing buildings that sit on the IH-30 frontage road and are in front of our property, between us and the freeway (again blocking the view), and we do not have any direct access to the IH-30 frontage road.

Building Primary Materials Variance. We are requesting a variance to reduce the Building Primary Materials from the required 90% masonry, to 76.5% masonry and adding a wood product of 23.5% on the main tower element at the front (South Elevation) of our new proposed building. Everyone can see this side from Kristy street. The variance shall also include deleting the sides and rear of this masonry requirement. The sides and rear of our building will have metal siding panel walls for the warehousing portion. We are also bringing the building materials from the front onto the sides 20'.

For this variance request we are also proposing to provide more landscaping, shrubs and trees than required for this property and screening the building more.

- 1) We are showing future building expansion on the west side of the new building where articulation and building materials are not conducive to this expansion.
- 2) The east and north side of the proposed building will never be seen by the public view.
- 3) There will be a 6'-0" tall vinyl coated chain link fence surrounding the property for security and securing the overnight vehicles in the parking areas.
- 4) We have provided 15% more landscaping totaling 30% on our property which is 100% more than required by zoning code. This extra 15% is in the front area.
- 5) We are proposing to add a raised berm, shrubs and 5 additional trees in this front landscape area.
- 6) We are proposing to add additional canopy trees along the north and west property line to provide additional screening of the loading dock area and overnight vehicles per landscape screening Alternative #1.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

January 7, 2020

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2019-047 Variance Requested - **Building Primary Materials - Stone.**
Bacon Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a Request for Variance to the Subsection 6. 02(C)(1)(a)(1), Art. V of the UDC, for **Building Primary Materials - Stone.**

I believe our project is one of the last undeveloped light industrial lots in this commercial industrial park. There are existing buildings, fences and trees surrounding our lot which considerably block visibility into this site. The only noticeable visibility is directly from Kristy Street. These surrounding existing buildings are constructed with various types of metal building standards.

There is a portion of our property in the back that overlaps in the city's IH-30 Overlay District. As shown on the aerial, there are existing lots with existing buildings that sit on the IH-30 frontage road and are in front of our property, between us and the freeway (again blocking the view), and we do not have any direct access to the IH-30 frontage road.

Building Primary Materials – Stone Variance. We are requesting a variance to reduce the Building Primary Material - Stone masonry on the three sides not viewed by the public. We are providing 30.2% Stone masonry at the front (South Elevation) of our new proposed building. Everyone can see this side from Kristy street. The variance shall also include deleting the sides and rear of this Stone masonry requirement. The sides and rear of our building will have metal siding panel walls for the warehousing portion. We are also bringing the building materials from the front onto the sides 20'.

For this variance request we are also proposing to provide more landscaping, shrubs and trees than required for this property and screening the building more.

- 1) We are showing future building expansion on the west side of the new building where articulation and building materials are not conducive to this expansion.
- 2) The east and north side of the proposed building will never be seen by the public view.
- 3) There will be a 6'-0" tall vinyl coated chain link fence surrounding the property for security and securing the overnight vehicles in the parking areas.
- 4) We have provided 15% more landscaping totaling 30% on our property which is 100% more than required by zoning code. This extra 15% is in the front area.
- 5) We are proposing to add a raised berm, shrubs and 5 additional trees in this front landscape area.
- 6) We are proposing to add additional canopy trees along the north and west property line to provide additional screening of the loading dock area and overnight vehicles per landscape screening Alternative #1.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

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January 7, 2020

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2019-047 Variance Requested - **Building Secondary Materials**
Bacon Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a Request for Variance to the Subsection 6. 02(C)(b), Art. V of the UDC, for **Building Secondary Materials**.

I believe our project is one of the last undeveloped light industrial lots in this commercial industrial park. There are existing buildings, fences and trees surrounding our lot which considerably block visibility into this site. The only noticeable visibility is directly from Kristy Street. These surrounding existing buildings are constructed with various types of metal building standards.

There is a portion of our property in the back that overlaps in the city's IH-30 Overlay District. As shown on the aerial, there are existing lots with existing buildings that sit on the IH-30 frontage road and are in front of our property, between us and the freeway (again blocking the view), and we do not have any direct access to the IH-30 frontage road.

Building Secondary Materials Variance. We are requesting a variance to increase the Building Secondary Material. We are providing 23.5% accent wood product at the front (South Elevation) of our new proposed building. This product is on the main entry tower that everyone can see from Kristy street. The variance shall also include deleting the sides and rear of this Secondary material requirement. The sides and rear of our building will have metal siding panel walls for the warehousing portion. We are also bringing the building materials from the front onto the sides 20'.

For this variance request we are also proposing to provide more landscaping, shrubs and trees than required for this property and screening the building more.

- 1) We are showing future building expansion on the west side of the new building where articulation and building materials are not conducive to this expansion.
- 2) The east and north side of the proposed building will never be seen by the public view.
- 3) There will be a 6'-0" tall vinyl coated chain link fence surrounding the property for security and securing the overnight vehicles in the parking areas.
- 4) We have provided 15% more landscaping totaling 30% on our property which is 100% more than required by zoning code. This extra 15% is in the front area.
- 5) We are proposing to add a raised berm, shrubs and 5 additional trees in this front landscape area.
- 6) We are proposing to add additional canopy trees along the north and west property line to provide additional screening of the loading dock area and overnight vehicles per landscape screening Alternative #1.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



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January 7, 2020

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2019-047 Variance Requested – **Landscape Screening - Fence**
Bacon Office/ Warehouse Development
Rockwall, TX.

Mr. Miller,

This letter serves as a Request for Variance to the Section 5, Art. VIII of the UDC, for **Landscape Screening- Fence**.

I believe our project is one of the last undeveloped light industrial lots in this commercial industrial park. There are existing buildings, fences and trees surrounding our lot which considerably block visibility into this site. The only noticeable visibility is directly from Kristy Street. These surrounding existing buildings are constructed with various types of metal building standards.

There is a portion of our property in the back that overlaps in the city's IH-30 Overlay District. As shown on the aerial, there are existing lots with existing buildings that sit on the IH-30 frontage road and are in front of our property, between us and the freeway (again blocking the view), and we do not have any direct access to the IH-30 frontage road.

Landscape Screening – Fence Variance. We are requesting a variance to provide a 6'-0" tall Chain-link with vinyl coating fence along the north property line for the Landscape Screening Alternative #1 in lieu of the wrought Iron Fence. We are using this Chain-link fence everywhere else on the property for security purposes.

For this variance request we are also proposing to provide more landscaping, shrubs and trees than required for this property and screening the building more.

- 1) The east and north side of the proposed building will never be seen by the public view.
- 2) There will be a 6'-0" tall vinyl coated chain link fence surrounding the property for security and securing the overnight vehicles in the parking areas.

- 3) We have provided 15% more landscaping totaling 30% on our property which is 100% more than required by zoning code. This extra 15% is in the front area.
- 4) We are proposing to add a raised berm, shrubs and 5 additional trees in this front landscape area.
- 5) We are proposing to add additional canopy trees along the north and west property line to provide additional screening of the loading dock area and overnight vehicles per landscape screening Alternative #1.

Thank you for your consideration and reviewing our request. We can adjust the actual location of these trees per your recommendations.

Sincerely,

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



January 21, 2020

TO: Jeff Carroll
Carroll Architects, Inc.
750 E. Interstate 30, Suite 110
Rockwall, TX 75087

CC: Brad Bacon
Bacon Property, LLC
295 Ranch Trail
Rockwall, TX 75032

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2019-047; *Site Plan for Lt 1-M, Bodin Industrial Tract*

Jeff Carroll:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was denied by the Planning and Zoning Commission on January 14, 2020. The following is a record of all recommendations and voting records:

Architectural Review Board

On January 14, 2020, the Architectural Review Board (ARB) made a motion to recommend denial of the building elevations without prejudice, and requested the applicant meet the four sided articulation and material standards of the IH-30 Overlay (IH-30 OV) District standards. Additionally, the ARB requested the applicant use less materials on the front elevation and have the rear (i.e. north) elevation match the front elevation. The motion to deny passed by a vote of 5-0, with Board members Miller and Mitchell absent.

Planning and Zoning Commission

On January 14, 2020, the Planning and Zoning Commission's motion to deny the site plan without prejudice passed by a vote of 6-0, with Commissioner Logan absent. Additionally, the motion included a recommendation from the Architectural Review Board (ARB) of denial of the building elevations.

Please note that the reason this site plan case was denied is due to the site plan not meeting the following specific conditions:

Planning Staff Comments

- 1) Building Articulation. The proposed building does not meet the articulation standards established by the UDC and requires approval of an exception. *Exception Required. (Subsection 5.01(C), Art. V, UDC)*
- 2) Dumpster Enclosure. The proposed location of the dumpster enclosure faces a public street. *Exception Required. (Sec. 1.05.3, Art. V, UDC)*.
- 3) Primary Materials. The proposed building is required to be constructed of 90% stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU). The applicant is proposing a building comprised primarily of metal. *Variance Required. (Subsection 6.02(C)(1)(a), Art. V, UDC)*
- 4) Primary Materials. The proposed building is required to have a minimum of 20% natural or quarried stone on all building façades. In this case, the applicant is proposing to use a limestone product only on the front façade. *Variance Required. ((Subsection 6.02(C)(1)(a)(1), Art. V, UDC)*

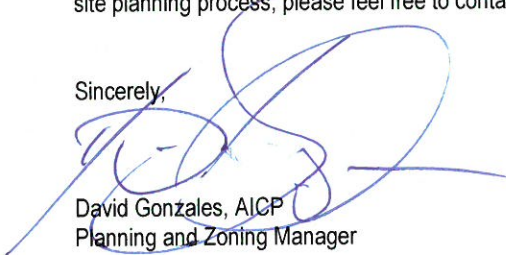
- 5) Secondary Materials. These are any material that is not deemed to be a *Primary Material* and includes materials like aluminum composite materials (ACM panels), metal panels, acrylic products (*i.e. EIFS products*) cast stone, cultured stone or other materials identified by the Director of Planning and Zoning or his/her designee. In this case the applicant is proposing to use a wood product that exceeds 10% of the materials on the front façade. *Variance Required. (Subsection 6.02(C)(b), Art. V, UDC)*
- 6) Four (4) Sided Architecture. The UDC indicates that all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case the applicant is providing architectural features, materials, and detailing only on the front façade. *Variance Required. (Subsection 6.02(C)(5), Art. V, UDC)*
- 7) Landscape Plan. Please make the following changes to the landscape plan;
 - a. Provide visibility triangles for all driveway intersections and public streets. (Subsection 1.08(B), Art. V, UDC).
 - b. Provide screening of loading dock area and outside storage areas. (Subsection. 5.02(A), Art. VIII, UDC) Refer to mark-up provided on 01.10.2020.

Engineering Staff Comments

- 1) Must have detention. Size of pond is not needed for the Site Plan but you must show where the detention is going to be.
- 2) Driveway radius to be 20' minimum. May need a letter from the neighboring property to extend the driveway onto their frontage.
- 3) All utilities to have 10' of easement on both sides of the line minimum.
- 4) Full panel replacement for water line taps.
- 5) Must get a variance for driveway spacing. The proper spacing is not an option.
- 6) The following is for your information for engineering design.
 - a) 4% Engineering fees
 - b) Impact fees
 - c) Must get a variance for driveway spacing. The proper spacing is not an option.
 - d) Retaining walls 3' and over must be engineered.
 - e) All retaining walls to be rock or stone face. No smooth concrete walls.
 - f) No walls in easements, including detention.
 - g) No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater.
 - h) Must replat this property with new and existing easements.
 - i) Must meet all City Standards of Design and Construction.

Based on Section 212.0093 of the Texas Local Government Code (TLGC), you have the ability to provide a written response and corrected site plan package (*i.e. site plan, building elevations, landscape plan, photometric plan, treescape plan, and material sample board*) that remedies each reason for the disapproval provided. While no timeline may be established for the applicant to submit the response, please note that since the case was denied a new development application and application fee will be required to be submitted along with the written response and corrected site plan package. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning and Zoning Manager