



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-046 P&Z DATE 12/30/19 <sup>P2</sup> CC DATE 01/14/20 APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP 2019-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 810 N. GOLIAD ST.

Subdivision BARN'S Addition / Baydston Survey

Lot

Block

General Location SEC GOLIAD & HEATH ST.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-50

Current Use N/A

Proposed Zoning PD-50

Proposed Use OFFICE BLDG.

Acreage 0.40 AC.

Lots [Current] (1) ONE

Lots [Proposed]

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner FRANK FITE II

Applicant CARROLL ARCHITECTS, INC.

Contact Person FRANK FITE II

Contact Person JEFF CARROLL

Address 2701 SUNSET RIDGE # 104

Address 750 E. INTERSTATE 30 # 110

City, State & Zip ROCKWALL, TX 75082

City, State & Zip ROCKWALL, TX 75087

Phone

Phone 214.632.1762

E-Mail

E-Mail JCC@CARROLLARCH.COM

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jeff Carroll [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

My Commission Expires



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

**External Review:** Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

**Internal Review:** Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

**From:** Planning & Zoning Department

**Date:** 12/13/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 12/19/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 12/19/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 12/30/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2019-046  
**Project Name:** 810 N. Goliad  
**Project Type:** SITE PLAN  
**Applicant Name:** JEFF CARROLL  
**Owner Name:** FRANK FITE II  
**Project Description:**



# RECEIPT

Project Number: SP2019-046

Job Address: 810 N GOLIAD

ROCKWALL, TX 75087

Receipt Number: B87692

Printed: 12/18/2019 9:20 am

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$250.00

---

**Total Fees Paid:**

**\$250.00**

Date Paid: 12/18/2019 12:00:00AM

Paid By: JEFF CARROLL

Pay Method: CHECK 32030

Received By: AG



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Planning and Zoning Department  
385 S. Goliad Street  
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Notary Public in and for the State of Texas

My Commission Expires

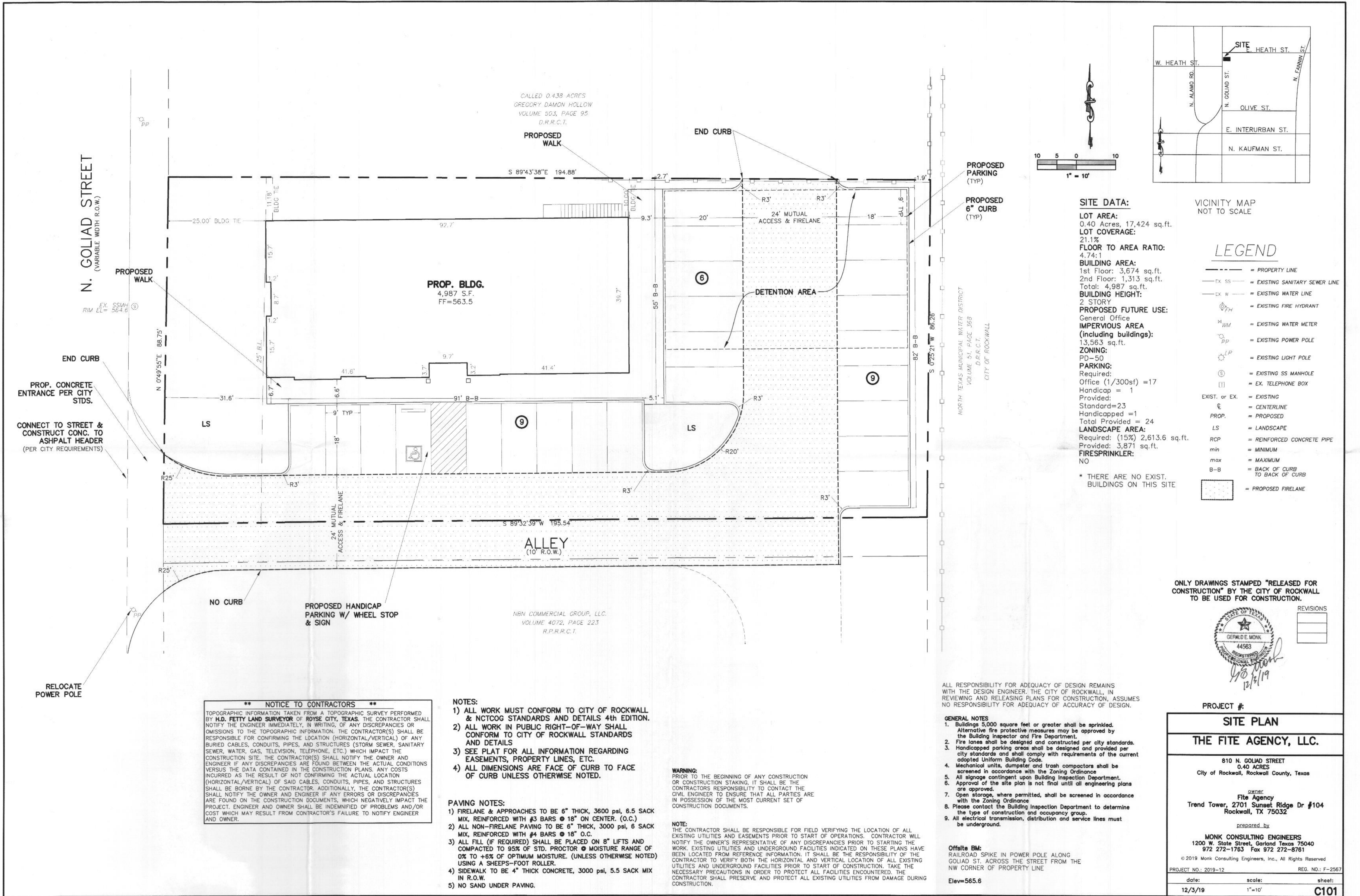


# City of Rockwall

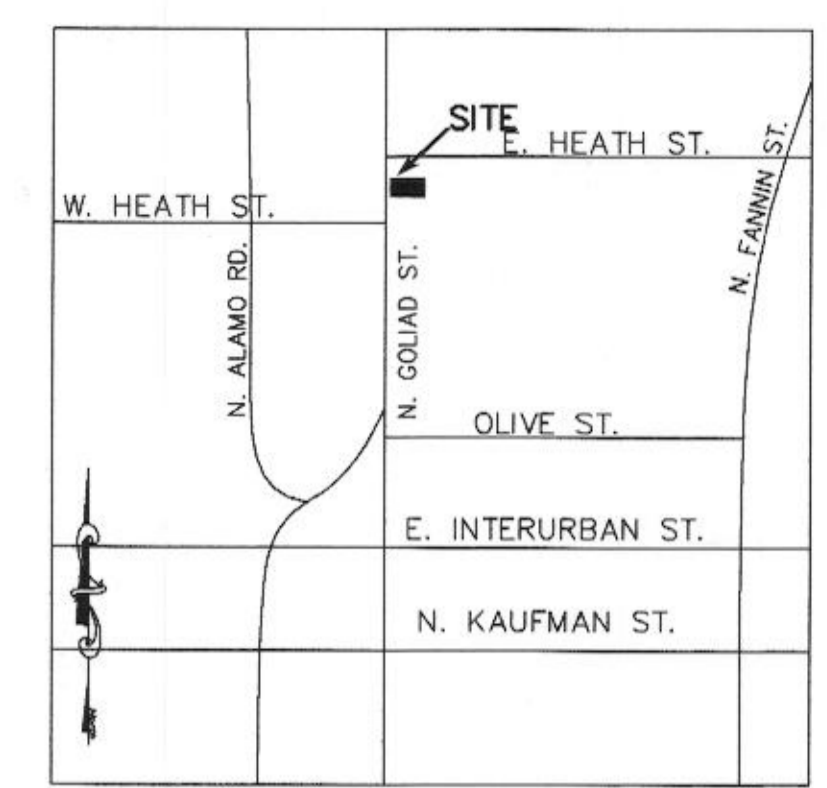
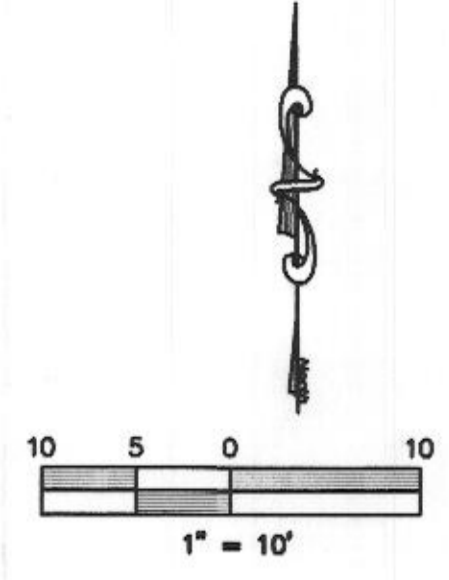
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CALLED 0.438 ACRES  
GREGORY DAMON HOLLOW  
VOLUME 503, PAGE 95  
D.P.R.R.C.T.

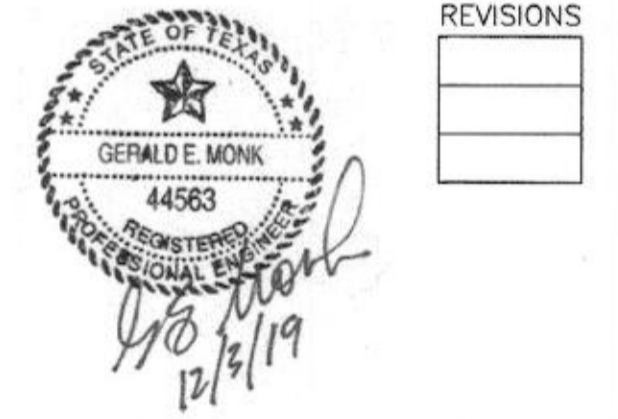


**SITE DATA:**  
**LOT AREA:**  
 0.40 Acres, 17,424 sq.ft.  
**LOT COVERAGE:**  
 21.1%  
**FLOOR TO AREA RATIO:**  
 4.74:1  
**BUILDING AREA:**  
 1st Floor: 3,674 sq.ft.  
 2nd Floor: 1,313 sq.ft.  
 Total: 4,987 sq.ft.  
**BUILDING HEIGHT:**  
 2 STORY  
**PROPOSED FUTURE USE:**  
 General Office  
**IMPERVIOUS AREA (including buildings):**  
 13,563 sq.ft.  
**ZONING:**  
 PD-50  
**PARKING:**  
 Required: Office (1/300sf) = 17  
 Handicap = 1  
 Provided: Standard = 23  
 Handicapped = 1  
 Total Provided = 24  
**LANDSCAPE AREA:**  
 Required: (15%) 2,613.6 sq.ft.  
 Provided: 3,871 sq.ft.  
**FIRESPRINKLER:**  
 NO  
 \* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

**LEGEND**

---	PROPERTY LINE
EX SS	EXISTING SANITARY SEWER LINE
EX W	EXISTING WATER LINE
⊙ FH	EXISTING FIRE HYDRANT
⊙ WM	EXISTING WATER METER
⊙ PP	EXISTING POWER POLE
⊙ LP	EXISTING LIGHT POLE
⊙	EXISTING SS MANHOLE
⊙	EX. TELEPHONE BOX
EXIST. or EX.	EXISTING
⊕	CENTERLINE
PROP.	PROPOSED
LS	LANDSCAPE
RCP	REINFORCED CONCRETE PIPE
min	MINIMUM
max	MAXIMUM
B-B	BACK OF CURB TO BACK OF CURB
⊕	PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**\*\* NOTICE TO CONTRACTORS \*\***  
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
 RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE  
 Elev=565.6

**PROJECT #:**

**SITE PLAN**

**THE FITE AGENCY, LLC.**

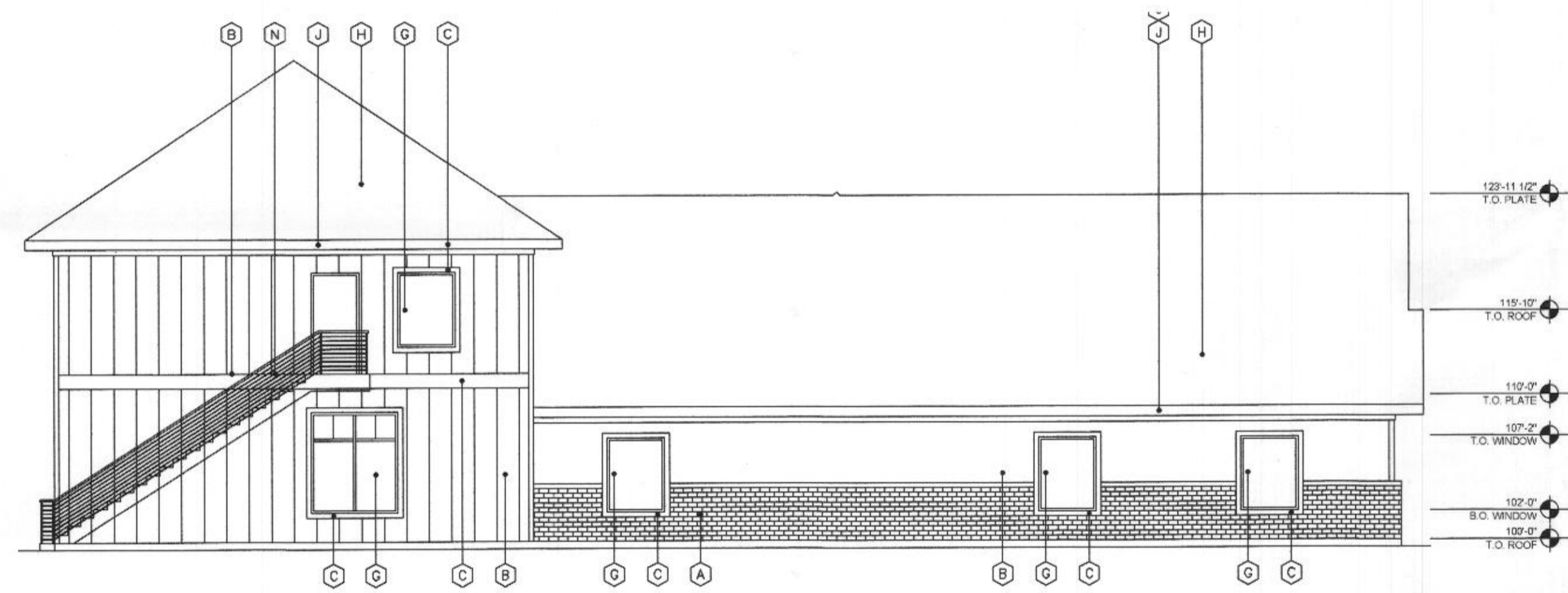
810 N. GOLIAD STREET  
 0.40 ACRES  
 City of Rockwall, Rockwall County, Texas

OWNER:  
**Fite Agency**  
 Trend Tower, 2701 Sunset Ridge Dr #104  
 Rockwall, TX 75032

prepared by  
**MONK CONSULTING ENGINEERS**  
 1200 W. State Street, Garland Texas 75040  
 972 272-1763 Fax 972 272-8761

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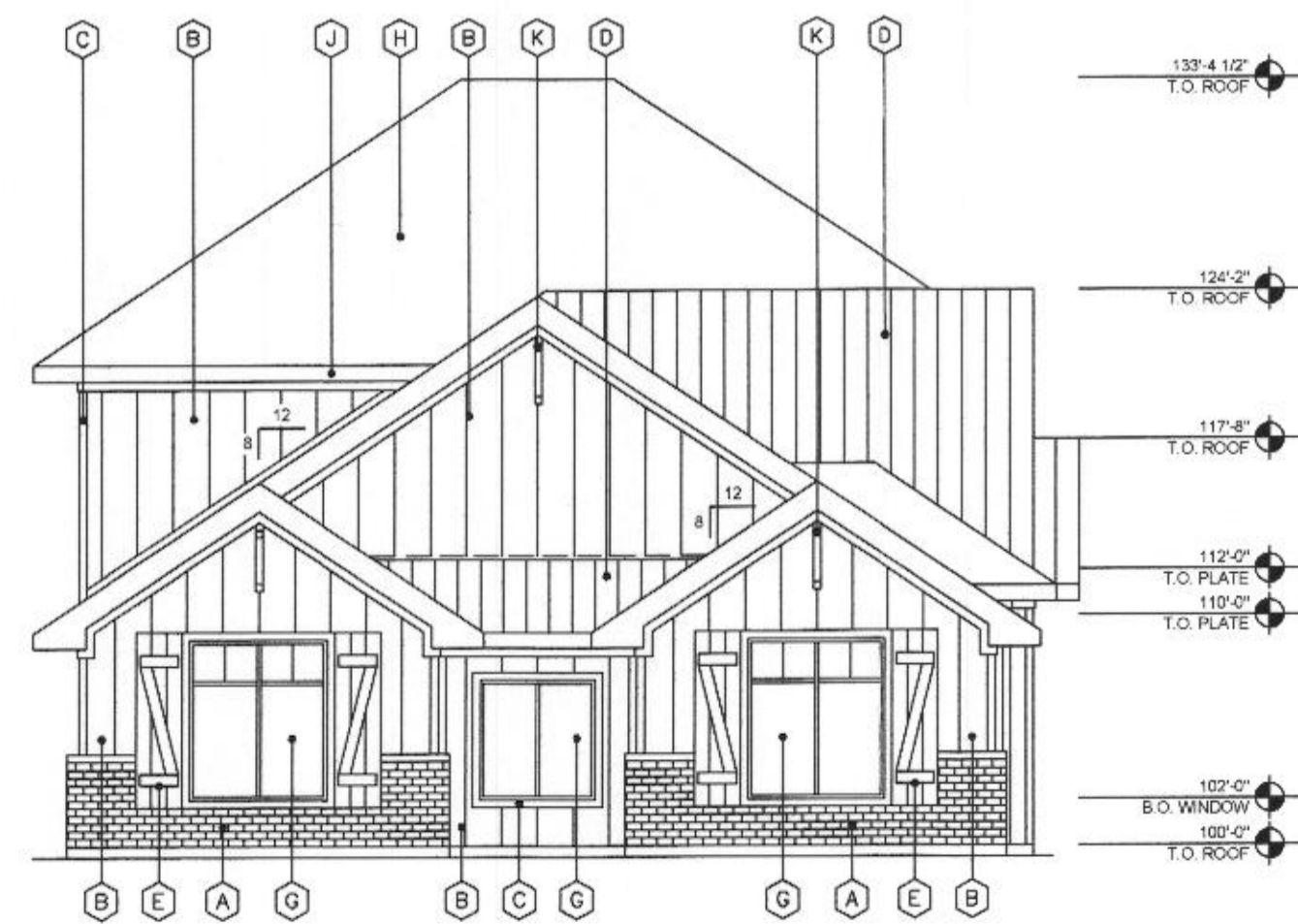
PROJECT NO.: 2019-12 REG. NO.: F-2567  
 date: 12/3/19 scale: 1"=10' sheet: C101



**4** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**3** EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**2** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
(A)	BRICK, MFG-ACME, MODULAR SIZE, COLOR - OXFORD PLACE
(B)	HARDIE BOARD SIDING, COLOR: ARCTIC WHITE
(C)	HARDIE BOARD, FASCIA & TRIM COLOR - KHAKI BROWN
(D)	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR - CHARCOAL GRAY
(E)	WOOD SHUTTERS, COLOR - STAIN WALNUT
(F)	ENTRY DOORS AS SELECTED BY OWNER
(G)	WINDOW, 1" INSULATED, LOW 'E' 30% TINTED GRAY, FRAME COLOR - BLACK
(H)	COMPOSITION ASPHALT ROOF, TYP., (270lbs), COLOR - BLACK
(J)	PREFINISHED ALUMINUM GUTTER & DOWNSPOUT, COLOR - MATCH TRIM COLOR
(K)	GABLE END, 8" DECOR. WOOD TRIM COLOR: KHAKI
(L)	12X12 WOOD POST, COLOR - STAIN WALNUT
(M)	2X WOOD TRIM @ DECOR. COLUMNS
(N)	STEEL TUBE RAILING SYSTEM, COLOR - BLACK

THE FITE AGENCY	
LEGAL DESCRIPTION AND/OR ADDRESS:	
THE FITE AGENCY, LLC. DOCUMENT #2018000022302 O.P.R.R.C.T.	
OWNER	
The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT	
Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: j@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	

PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
810 Goliad St.  
Rockwall, Texas 75087

THE FITE  
AGENCY  
2701 Sunset Ridge,  
Ste. 104  
Rockwall, TX, 75087



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
T: 972-732-6085  
F: 972-732-8058

**EXTERIOR  
ELEVATIONS**

DATE: JUL 2019 SHEET NO:  
PROJECT NO: 2018055  
DRAWN BY: A501  
CHECKED BY:

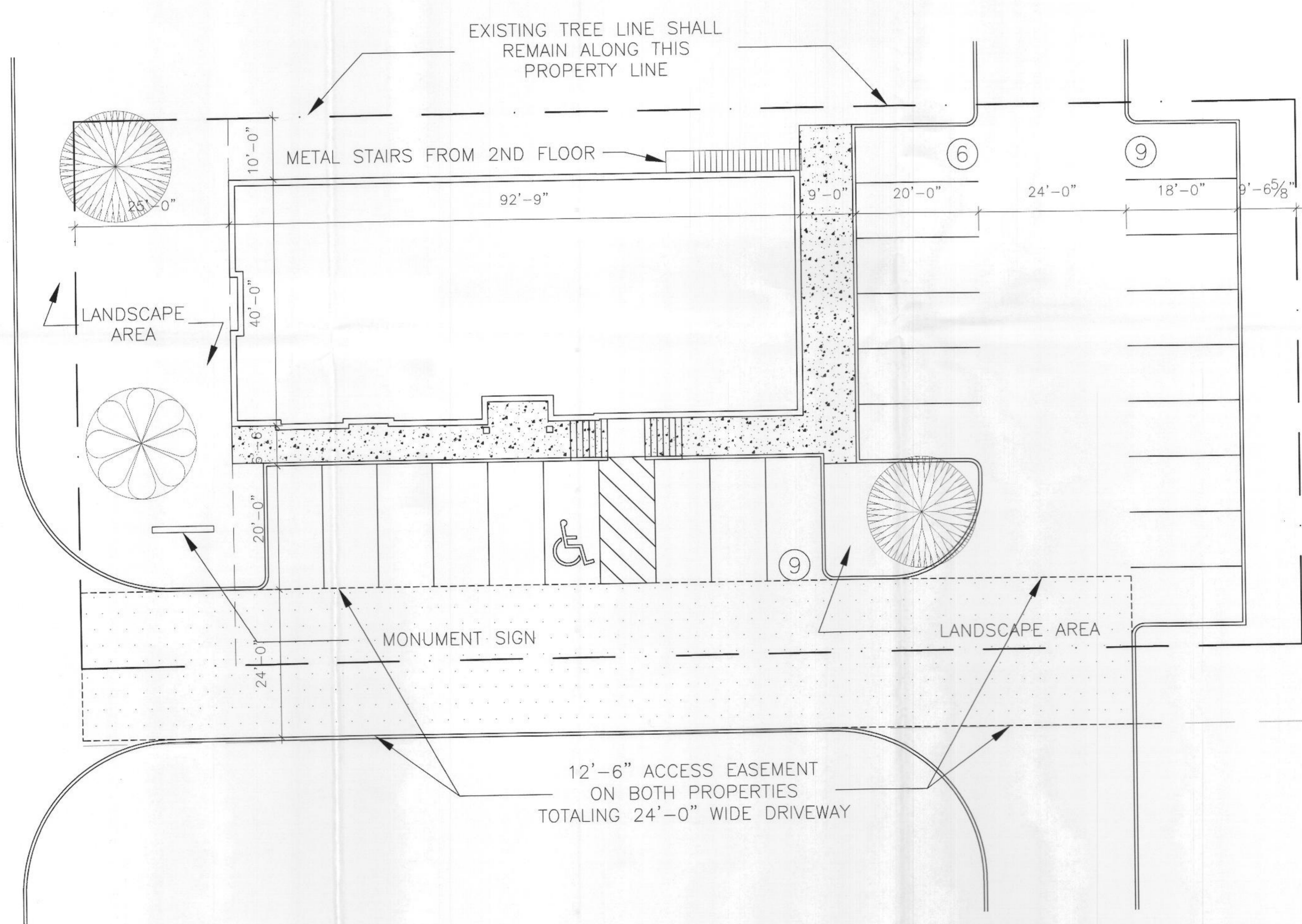
ISSUE: OWNER REVIEW: 11-22-2019

COPYRIGHT NOTICE:  
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GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER (Ø)	
	RED BUD (2) 4' HIGH ● INSTALLATION
	BURR OAK (1) 4" MIN. CALIPER

- GENERAL NOTES:
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
  - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM 1/2" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
  - EA SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
  - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
  - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
  - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
  - REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  - OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.

NORTH  
**1** LANDSCAPE PLAN  
 SCALE: 1:10

THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS: THE FITE AGENCY, LLC, DOCUMENT #2018000022302 Q.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	

ISSUE	OWNER REVIEW:
	11-22-2019

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PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
 810 Goliad St.  
 Rockwall, Texas 75087

THE FITE AGENCY  
 2701 Sunset Ridge,  
 Ste. 104  
 Rockwall, TX. 75087

**CARROLL** architects  
 750 E. Interstate 30  
 Suite 110, TX 75087  
 Rockwall, TX 75087  
 P: 972-732-6085  
 F: 972-732-8058

**LANDSCAPE PLAN**

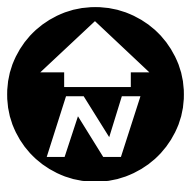
DATE:	JUL 2019	SHEET NO.:	
PROJECT NO.:	2018055		
DRAWN BY:			<b>L1</b>
CHECKED BY:			



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP 2019-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 810 N. GOLIAD ST.

Subdivision BARN'S Addition / Baydston Survey

Lot

Block

General Location SEC GOLIAD & HEATH ST.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-50

Current Use N/A

Proposed Zoning PD-50

Proposed Use OFFICE BLDG.

Acreage 0.40 AC.

Lots [Current] (1) ONE

Lots [Proposed]

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner FRANK FITE II

Applicant CARROLL ARCHITECTS, INC.

Contact Person FRANK FITE II

Contact Person JEFF CARROLL

Address 2701 SUNSET RIDGE # 104

Address 750 E. INTERSTATE 30 # 110

City, State & Zip ROCKWALL, TX 75082

City, State & Zip ROCKWALL, TX 75087

Phone

Phone 214.632.1762

E-Mail

E-Mail JCC@CARROLLARCH.COM

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jeff Carroll [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

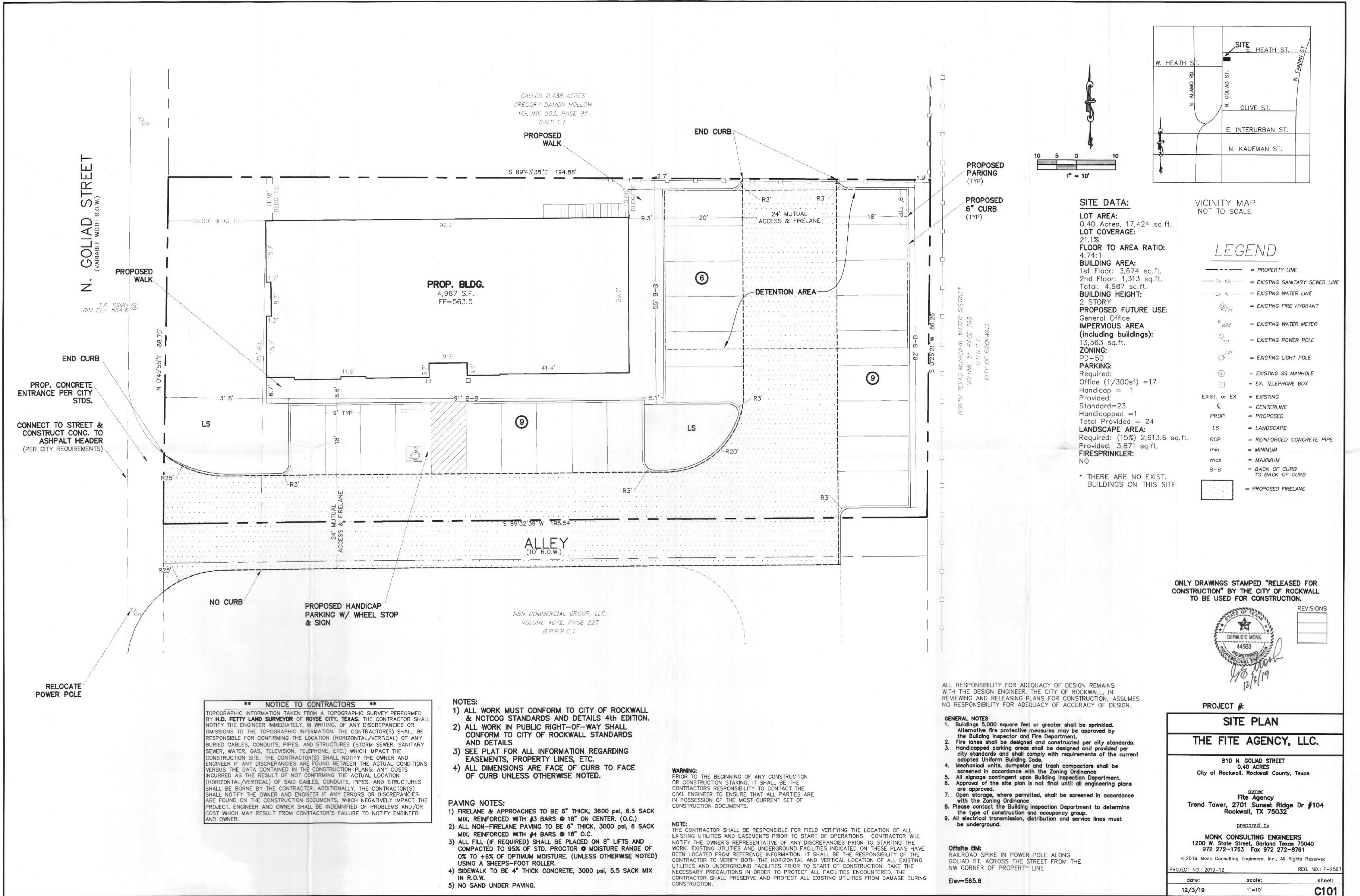
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

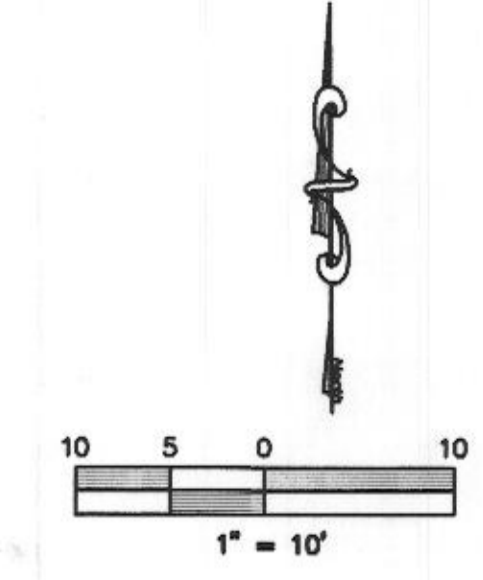
Owner's/Applicant's Signature

Notary Public in and for the State of Texas

My Commission Expires



CALLED 0.438 ACRES  
GREGORY DAMON HOLLOW  
VOLUME 503, PAGE 95  
D.P.R.R.C.T.

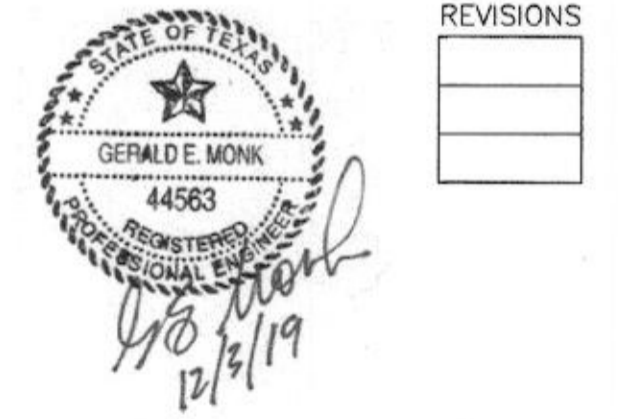


**SITE DATA:**  
**LOT AREA:**  
 0.40 Acres, 17,424 sq.ft.  
**LOT COVERAGE:**  
 21.1%  
**FLOOR TO AREA RATIO:**  
 4.74:1  
**BUILDING AREA:**  
 1st Floor: 3,674 sq.ft.  
 2nd Floor: 1,313 sq.ft.  
 Total: 4,987 sq.ft.  
**BUILDING HEIGHT:**  
 2 STORY  
**PROPOSED FUTURE USE:**  
 General Office  
**IMPERVIOUS AREA (including buildings):**  
 13,563 sq.ft.  
**ZONING:**  
 PD-50  
**PARKING:**  
 Required: Office (1/300sf) = 17  
 Handicap = 1  
 Provided:  
 Standard = 23  
 Handicapped = 1  
 Total Provided = 24  
**LANDSCAPE AREA:**  
 Required: (15%) 2,613.6 sq.ft.  
 Provided: 3,871 sq.ft.  
**FIRESPRINKLER:**  
 NO  
 \* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

**LEGEND**

---	PROPERTY LINE
EX SS	EXISTING SANITARY SEWER LINE
EX W	EXISTING WATER LINE
⊕	EXISTING FIRE HYDRANT
WM	EXISTING WATER METER
PP	EXISTING POWER POLE
LP	EXISTING LIGHT POLE
⊙	EXISTING SS MANHOLE
⊠	EX. TELEPHONE BOX
EXIST. or EX.	EXISTING
⊕	CENTERLINE
PROP.	PROPOSED
LS	LANDSCAPE
RCP	REINFORCED CONCRETE PIPE
min	MINIMUM
max	MAXIMUM
B-B	BACK OF CURB TO BACK OF CURB
[Pattern]	PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**\*\* NOTICE TO CONTRACTORS \*\***  
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
 RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE  
 Elev=565.6

**PROJECT #:**

**SITE PLAN**

**THE FITE AGENCY, LLC.**

810 N. GOLIAD STREET  
 0.40 ACRES  
 City of Rockwall, Rockwall County, Texas

OWNER:  
**Fite Agency**  
 Trend Tower, 2701 Sunset Ridge Dr #104  
 Rockwall, TX 75032

prepared by  
**MONK CONSULTING ENGINEERS**  
 1200 W. State Street, Garland Texas 75040  
 972 272-1763 Fax 972 272-8761

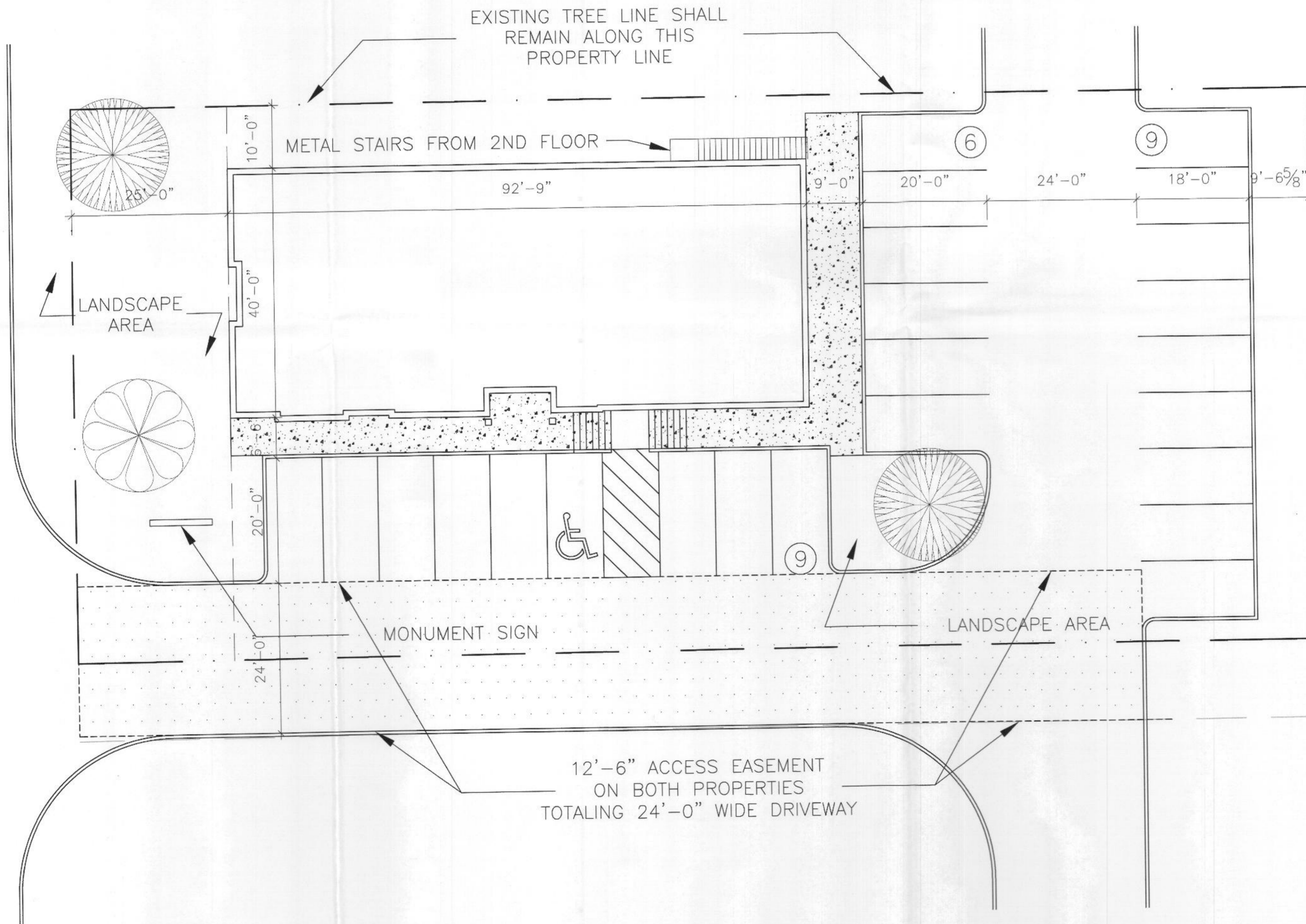
© 2019 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2019-12 REG. NO.: F-2567  
 date: 12/3/19 scale: 1"=10' sheet: C101





GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER (Ø)	
	RED BUD (2) 4' HIGH ● INSTALLATION
	BURR OAK (1) 4" MIN. CALIPER

GENERAL NOTES:

- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
- FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM 1/2" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
- EA SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
- ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
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- LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
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- OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
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THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS: THE FITE AGENCY, LLC, DOCUMENT #2018000022302 Q.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	



1 LANDSCAPE PLAN  
SCALE: 1:10

ISSUE: OWNER REVIEW: 11-22-2019

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PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
 810 Goliad St.  
 Rockwall, Texas 75087

THE FITE AGENCY  
 2701 Sunset Ridge, Ste. 104  
 Rockwall, TX 75087

**CARROLL architects**  
 750 E. Interstate 30  
 Suite 110, TX 75087  
 Rockwall, TX 75087  
 P: 972-732-6085  
 F: 972-732-8058

LANDSCAPE PLAN

DATE: JUL 2019 SHEET NO:  
 PROJECT NO: 2018055  
 DRAWN BY: L1  
 CHECKED BY:





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** January 14, 2020  
**APPLICANT:** Jeff Carroll; *Carroll Architects, Inc.*  
**CASE NUMBER:** SP2019-046; *Site Plan for 810 N. Goliad Street*

---

### **SUMMARY**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a site plan for an office building on a 0.4590-acre parcel of land identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property is located within the B. F. Boydston Addition and was incorporated into the City of Rockwall in the early 1900's. According to the City's Historic zoning maps, the subject property was zoned Single Family 3 (SF-3) District from at least January 3, 1972 to November 5, 2001 when Planned Development District 50 (PD-50) was established by the City Council [*Case No. PZ2001-080; Ordinance No. 01-53*]. Planned Development District 50 (PD-50) allows all land uses permitted within a Residential-Office (RO) District with special provisions. On May 8, 2009, a demolition permit was issued [*DEM2009-0005*] to allow the demolition of a single-family home on the subject property and the property has remained vacant since that time. On December 6, 2019, the applicant submitted a request [*Case No. H2019-019*] for the approval of a Certificate of Appropriateness (COA) to allow the construction of an office building on the subject property. On December 19, 2019, the Historical Preservation Advisory Board (HPAB) approved the request [*Case No. H2019-0019*] for a Certificate of Appropriateness (COA) with the condition that the applicant incorporate additional architectural elements (*i.e. pyramidal columns*) that are characteristic of the Craftsman architectural style. The proposed office building is oriented so that the side of the building faces the street (*i.e. faces the front/western property line*) and the front of the building faces the side property line (*i.e. faces southern property line*). As a result, the Historic Preservation Advisory Board (HPAB) requested that the applicant incorporate a porch on the west façade. On December 6, 2019, the applicant provided staff with a revised site plan, landscape plan and building elevation that appeared to conform to the conditions of approval provided by staff and the Historic Preservation Advisory Board (HPAB).

### **PURPOSE**

The applicant is requesting approval of a site plan for a 4,998 SF office building on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 810 N. Goliad Street. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is a 0.4380-acre vacant tract of land addressed as 812 N. Goliad Street. North of this property is Heath Street, which is identified as a R2 (*residential*,

two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is one (1) *Medium Contributing Property* (i.e. *ServiceFirst Mortgage*) and two (2) *Non-Contributing Properties* (i.e. *My Sister's Closet* and *TCB Construction Offices*). Beyond these properties are two (2) *Landmarked Properties* (i.e. *the Austin-Stacey Home* and *the Reese Home*). All of the property in this area is zoned Planned Development District 50 (PD-50).

South: Directly south of the subject property are two (2) single-family homes (i.e. *Lot 9 of the Barnes Addition* and *Lot B, Block 124 B. F. Boydston Addition*). South of this is a vacant tract of land (i.e. *Lot 8 of the Barnes Addition*) followed by a Hair Salon (i.e. *Mirror-Mirror Hair Studio*). All of these properties are zoned Planned Development District 50 (PD-50).

East: Directly east of the subject property is an ~6.50-acre tract of land (i.e. *Lots C & E, Block 124, B. F. Boydston Addition*) that is currently occupied with above ground water storage tanks owned by the City of Rockwall. East of this is a 3.46-acre vacant parcel of land followed by N. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. All of these properties are zoned Single Family 7 (SF-7) District.

West: Directly west of the subject property is N. Goliad Street (i.e. *SH-205*), which is identified as a M4U-M (*modified major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is a residential property (i.e. *Lot 2, Block A, Amick Addition*) zoned Planned Development District 50 (PD-50) and the continuation of Heath Street. West of this area is another residential property (i.e. *Lot 1, Block A, Amick Addition*) followed by N. Alamo Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. This property is zoned Single Family 7 (SF-7) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

The proposed office building will be two (2) stories in height, will be 4,987 SF, and will be constructed utilizing a Craftsman architectural style. The applicant is proposing to incorporate a combination of brick and cementitious lap siding (i.e. *Hardie Board* or *similar cementitious material*) on the building facades. The proposed office building will be situated perpendicular to N. Goliad Street [SH-205] (i.e. *the side of the building will face N. Goliad Street [SH-205]*); however, the applicant is incorporating a porch to give the appearance that the front of the building is facing the street. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 50 (PD-50) and situated within the North Goliad Corridor Overlay (NGC OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000-SF</i>	<i>X=17,424-SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X~89-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=195-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>X=25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>30-Feet</i>	<i>X=30=Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X=34-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>X=21.1%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>10-Spaces</i>	<i>X=17; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>30%</i>	<i>X=30%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>75-80%</i>	<i>X=78%; In Conformance</i>

## **TREESCAPE PLAN**

The applicant has indicated that there are no protected trees requiring mitigation on the subject property.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Section 6, *Certificates of Appropriateness (COA)*, of Article IX, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) is responsible for reviewing all building permits for exterior alteration, restoration, reconstruction, *new construction*, moving or demolition of a property within a historic district. In this case, since the Historic Preservation Advisory Board (HPAB) approved a request for a Certificate of Appropriateness (COA) on December 19, 2019, the applicant is in conformance with this requirement.

According to Section 6.04, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all development within the NGC OV is required to resemble one (1) of the following styles: [1] Bungalow, [2] Cottage, [3] Craftsman, [4] Folk Victorian, or [5] Queen Anne. In this case, the building elevations submitted by the applicant are drawn to conform to the Craftsman style, which is described as being, "an extension of the early bungalow [style], the craftsman design included a low-pitched gabled roof with a wide, unenclosed eave overhang ... Roof rafters are usually exposed and decorative beams or braces are commonly added under gables ... Porches are either full or partial-width, with a roof often supported by tapered square columns ... The most distinctive features of this are the junctions where the roof joins the wall, where the most ornamentation occurs."

According Subsection 5.02B, *Screening from Residential*, of Section 5, *Landscape Standards*, of Article VIII, *Landscape and Fence Standards*, of the Unified Development Code (UDC), any *non-residential* or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6)-feet in height and canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that includes a wrought-iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees* or [2] *evergreen trees and canopy trees*) along the entire length of the adjacency. In this case, adjacent to the eastern property line there is a City-owned tract of land that is zoned Single-Family 7 (SF-7) District. The applicant is proposing to provide a combination of shade trees and shrubs adjacent to the eastern property line; however, the applicant is not providing a wrought-iron fence. The applicant has stated that there is an existing chain-link fence on the adjacent property and providing an additional fence is not necessary. With the exception of the wrought-iron fence, the applicant's request generally conforms to the non-residential screening requirements stipulated in the Unified Development Code (UDC). With that being said, approval of this request is a discretionary decision for the Planning and Zoning Commission.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, indicates that the subject property is located within the Downtown District and is designated for *Live/Work* land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. The North Goliad Corridor lies within the Downtown District and is a unique live/work corridor that offers residential units, offices, event venues, and boutiques. The intent of the North Goliad Corridor is to protect and preserve the historic architecture and significance within the district while also ensuring that infill development does not negatively impact the surrounding properties or the district as a whole. In this case, the applicant is proposing to construct an office building, which is permitted in the Downtown District. This land use combined with the incorporation of a Craftsman architectural style are both representative of the North Goliad Corridor and the applicant's request appears to be in conformance with the goals and policies stipulated in the OurHometown Vision 2040 Comprehensive Plan.

### **HISTORIC PRESERVATION ADVISORY BOARD (HPAB):**

On December 19, 2019, the Historic Preservation Advisory Board (HPAB) approved a request [Case No. H2019-018] for a Certificate of Appropriateness (COA) to allow an office building within Planned Development District 50 (PD-50). This approval included a condition that the applicant provide additional Craftsman architectural elements (*i.e. pyramidal columns*) and to provide a porch at the western building façade to give the appearance that the building fronts onto N. Goliad Street. The applicant has provided staff with revised building elevations that appear to reflect the requested changes. The Architectural Review Board (ARB) will review these changes to confirm conformance to the Historic Preservation Advisory Board's (HPAB's) conditions of approval at the meeting on January 14, 2020.

### **ARCHITECTURAL REVIEW BOARD (ARB):**

On December 30, 2019, the Architectural Review Board (ARB) was unable to make a quorum and, as a result, the proposed building elevations have not been reviewed. The Architectural Review Board (ARB) will review the proposed building elevations and forward a recommendation to the Planning and Zoning Commission at the meeting on January 14, 2020.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses approve the applicant's request, then staff would propose the following conditions of approval:

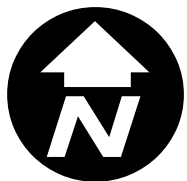
- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

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# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP 2019-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 810 N. GOLIAD ST.

Subdivision BARN'S Addition / Baydston Survey

General Location SEC GOLIAD & HEATH ST.

Lot

Block

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-50

Current Use N/A

Proposed Zoning PD-50

Proposed Use OFFICE BLDG.

Acreage 0.40 AC.

Lots [Current] (1) ONE

Lots [Proposed]

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner FRANK FITE II

Applicant CARROLL ARCHITECTS, INC.

Contact Person FRANK FITE II

Contact Person JEFF CARROLL

Address 2701 SUNSET RIDGE # 104

Address 750 E. INTERSTATE 30 # 110

City, State & Zip ROCKWALL, TX 75082

City, State & Zip ROCKWALL, TX 75087

Phone

Phone 214.632.1762

E-Mail

E-Mail JCC@CARROLLARCH.COM

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jeff Carroll [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.

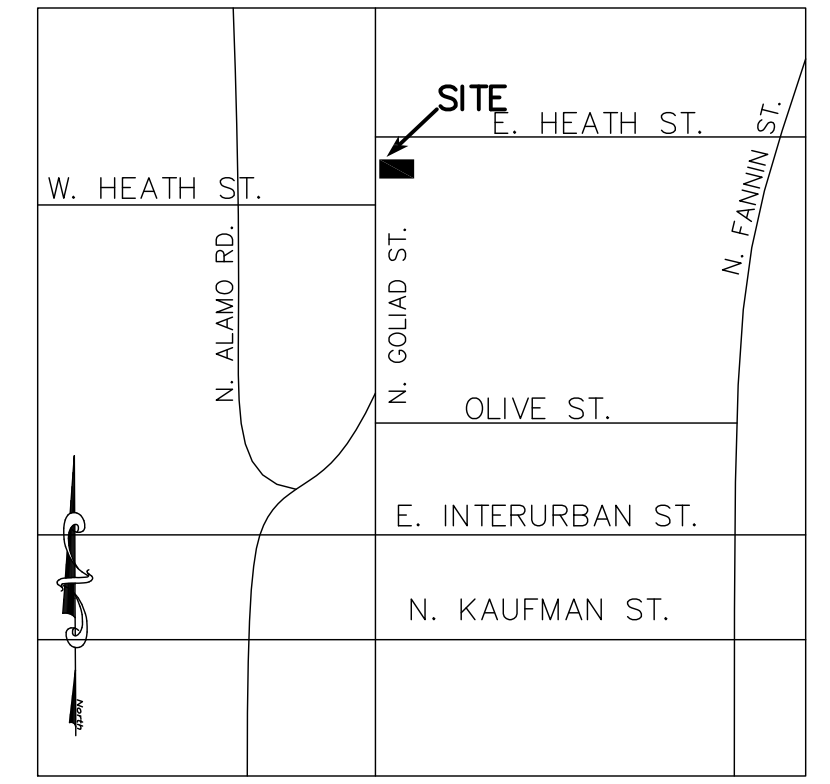
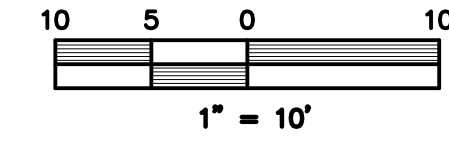
Owner's/Applicant's Signature

Notary Public in and for the State of Texas

My Commission Expires

N. GOLIAD STREET  
(VARIABLE WIDTH R.O.W.)

CALLED 0.438 ACRES  
GREGORY DAMON HOLLOW  
VOLUME 503, PAGE 95  
D.R.R.C.T.

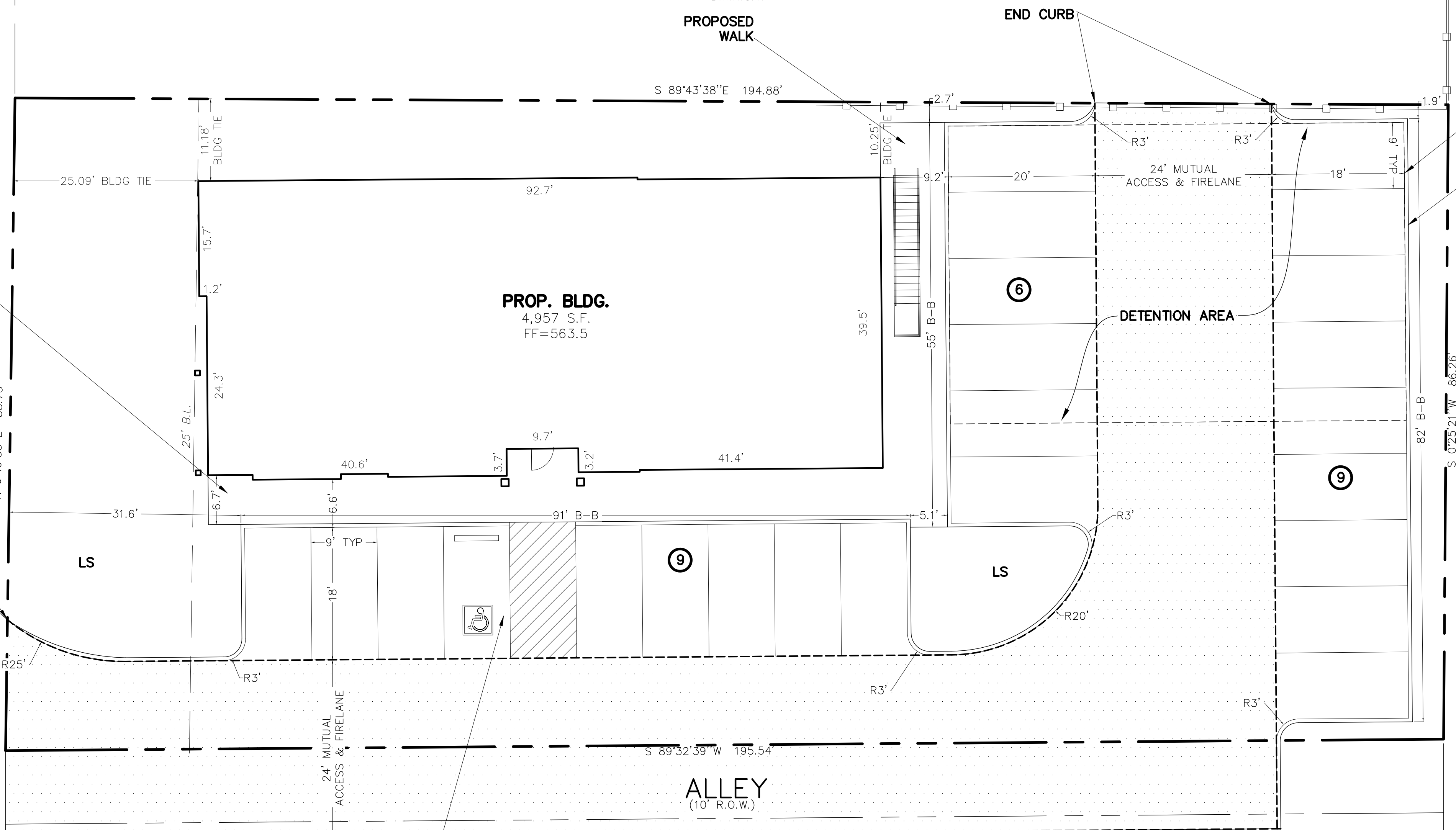


**SITE DATA:**  
**LOT AREA:** 0.40 Acres, 17,424 sq.ft.  
**LOT COVERAGE:** 21.1%  
**FLOOR TO AREA RATIO:** 4.72:1  
**BUILDING AREA:**  
 1st Floor: 3,652 sq.ft.  
 2nd Floor: 1,305 sq.ft.  
 Total: 4,957 sq.ft.  
**BUILDING HEIGHT:** 2 STORY  
**PROPOSED FUTURE USE:** General Office  
**IMPERVIOUS AREA (including buildings):** 13,563 sq.ft.  
**ZONING:** PD-50  
**PARKING:**  
 Required: Office (1/300sf) = 17  
 Handicap = 1  
 Provided: Standard=23  
 Handicapped = 1  
 Total Provided = 24  
**LANDSCAPE AREA:**  
 Required: (15%) 2,613.6 sq.ft.  
 Provided: 3,871 sq.ft.  
**FIRESPRINKLER:** NO  
 \* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP  
NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FFH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- SS = EXISTING SS MANHOLE
- TEB = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- CL = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Hatched Box] = PROPOSED FIRELANE



END CURB  
 PROP. CONCRETE ENTRANCE PER CITY STDS.  
 CONNECT TO STREET & CONSTRUCT CONC. TO ASPHALT HEADER (PER CITY REQUIREMENTS)

RELOCATE POWER POLE

NO CURB  
 PROPOSED HANDICAP PARKING W/ WHEEL STOP & SIGN

NBN COMMERCIAL GROUP, LLC.  
 VOLUME 4072, PAGE 223  
 R.P.R.R.C.T.

**\*\* NOTICE TO CONTRACTORS \*\***  
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  9. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
 RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE  
 Elev=565.6

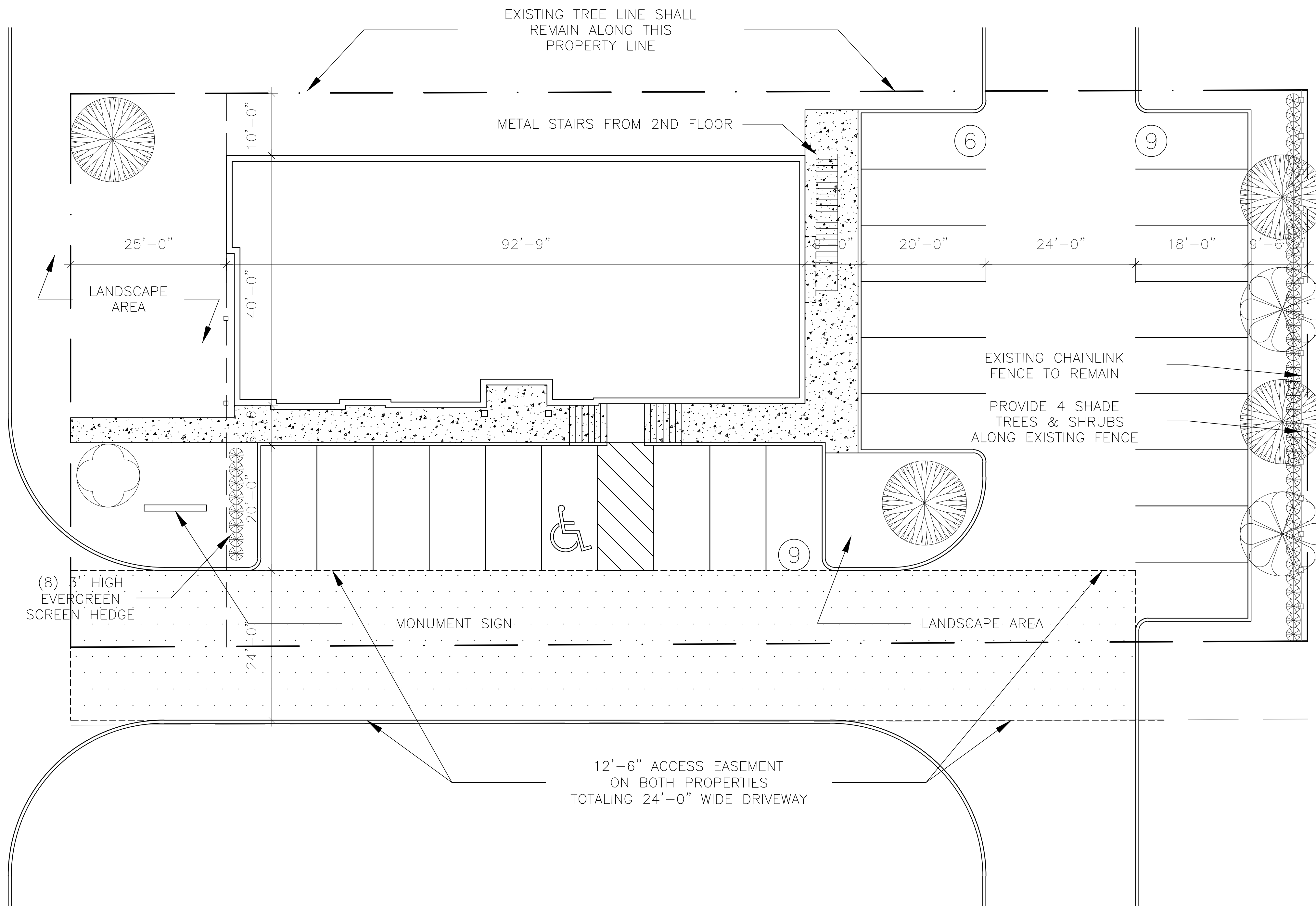
ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



PROJECT #:

<b>SITE PLAN</b>		
<b>THE FITE AGENCY, LLC.</b>		
810 N. GOLIAD STREET 0.40 ACRES City of Rockwall, Rockwall County, Texas		
owner <b>Fite Agency</b> Trend Tower, 2701 Sunset Ridge Dr #104 Rockwall, TX 75032		
prepared by <b>MONK CONSULTING ENGINEERS</b> 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761		
© 2020 Monk Consulting Engineers, Inc., All Rights Reserved		
PROJECT NO.: 2019-12	REG. NO.: F-2567	
date: 1/3/20	scale: 1"=10'	sheet: C101

GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA-- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE-- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER	
BURR OAK 4' HIGH @ INSTALLATION	WINTER BOXWOOD (SHRUB) 3' HIGH @ INSTALLATION
EASTERN RED CEDAR 4" MIN. CALIPER	ACCENT TREE CRAPE MYRTLE 4" MIN. CALIPER

- GENERAL NOTES:
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
  - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM IF 24" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
  - EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
  - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
  - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
  - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
  - REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.

THE FITE AGENCY	
LEGAL DESCRIPTION AND/OR ADDRESS: THE FITE AGENCY, LLC. DOCUMENT #2018000022302 O.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF ROCKWALL CASE NUMBER: SP-2019-046	

ISSUE:	OWNER REVIEW:	CITY COMMENTS:	CITY REVISIONS:
	12-27-2019		01-07-2020

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PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
 810 Goliad St.  
 Rockwall, Texas 75087

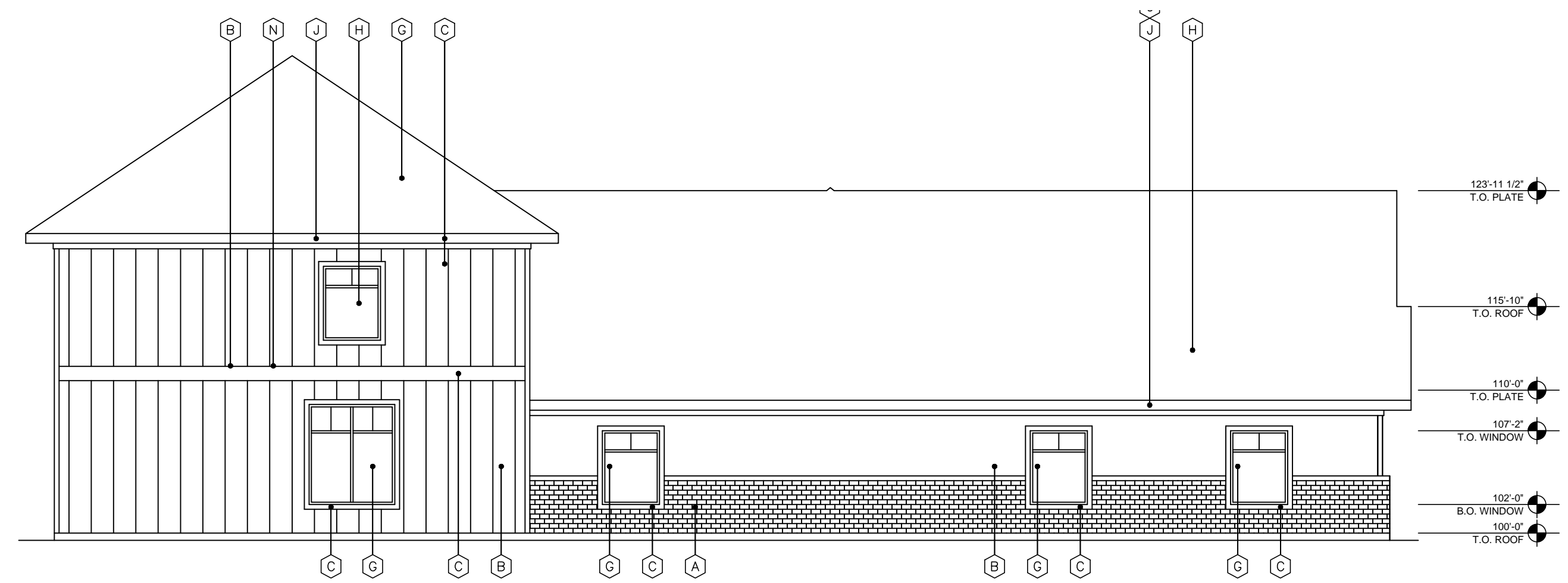
THE FITE AGENCY  
 2701 Sunset Ridge, Ste. 104  
 Rockwall, TX. 75087

**CARROLL architects**  
 750 E. Interstate 30 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058

**LANDSCAPE PLAN**

DATE:	JUL 2019	SHEET NO.:	L1
PROJECT NO.:	2018055		
DRAWN BY:			
CHECKED BY:			

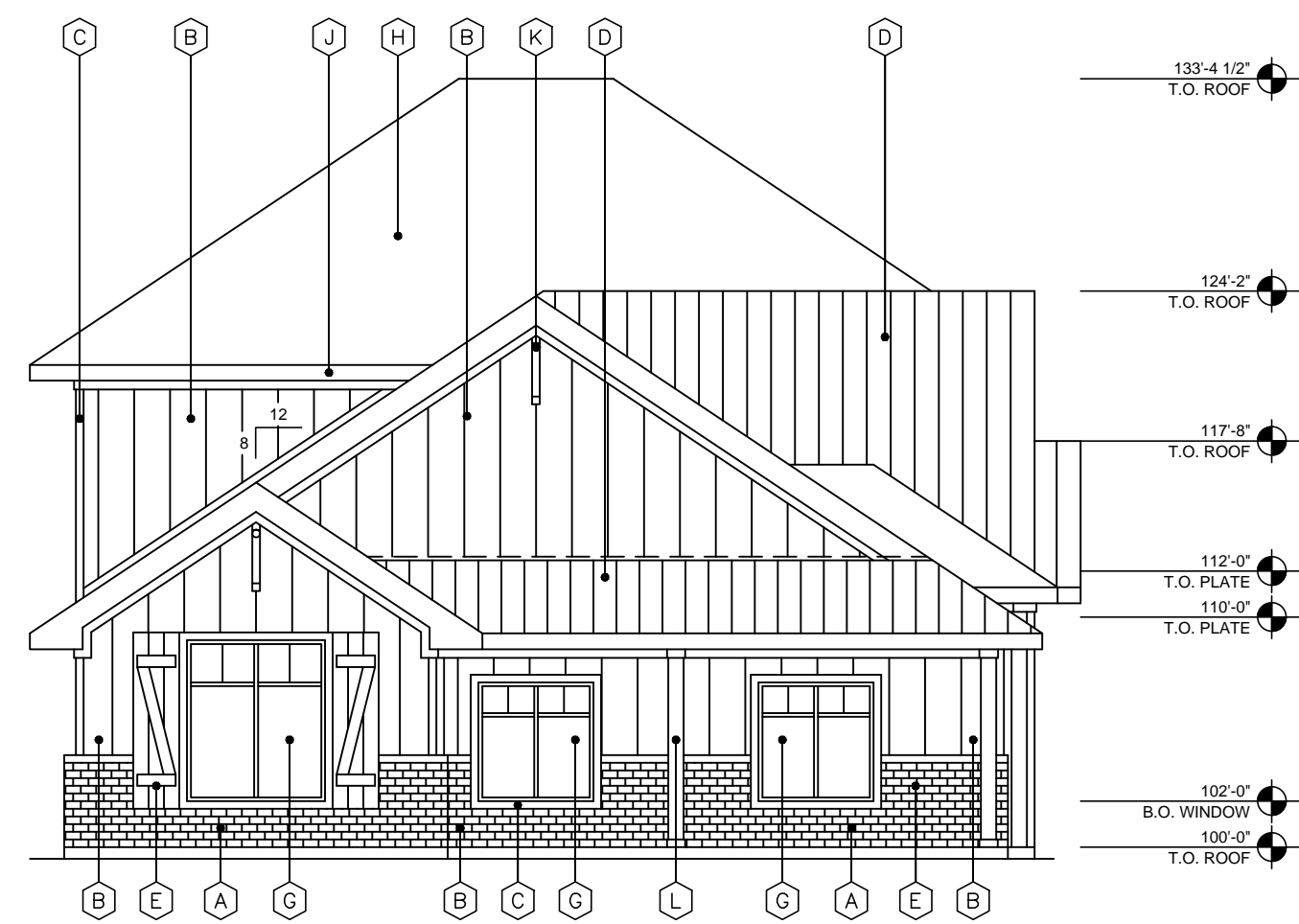




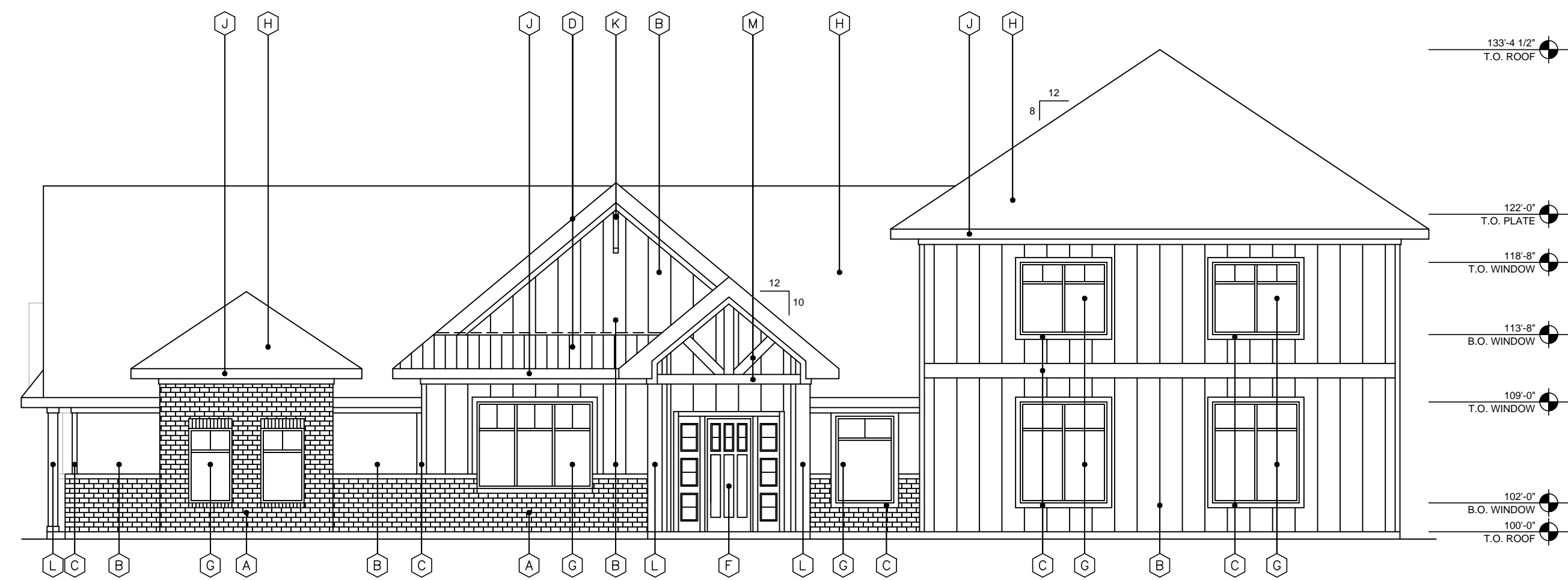
4 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
A	BRICK, MFG--ACME, MODULAR SIZE, COLOR -- OXFORD PLACE
B	HARDIE BOARD SIDING, COLOR: ARCTIC WHITE
C	HARDIE BOARD, FASCIA & TRIM, COLOR -- KHAKI BROWN
D	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.O., COLOR -- CHARCOAL GRAY
E	WOOD SHUTTERS, COLOR -- STAIN WALNUT
F	ENTRY DOORS AS SELECTED BY OWNER
G	WINDOW, 1" INSULATED, LOW 'E' 30% TINTED GRAY, FRAME COLOR -- BLACK
H	COMPOSITION ASPHALT ROOF, TYP., (270lbs), COLOR -- BLACK
J	PREFINISHED ALUMINUM GUTTER & DOWNSPOUT, COLOR -- MATCH TRIM COLOR
K	CABLE END, 8" DECOR. WOOD TRIM, COLOR: KHAKI
L	12X12 OR 8X8 WOOD POST, COLOR -- STAIN WALNUT
M	2X WOOD TRIM @ DECOR. COLUMNS
N	STEEL TUBE RAILING SYSTEM, COLOR -- BLACK

THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS:	
THE FITE AGENCY, LLC, DOCUMENT #2018000022302 O.P.R.R.C.T.	
OWNER	
The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT	
Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcc@carrollarch.com ATTN: Jeff Carroll	
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ISSUE:	OWNER REVIEW:
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CITY REVISIONS:	01-05-2020

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PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
810 Goliad St.  
Rockwall, Texas 75087

THE FITE  
AGENCY  
2701 Sunset Ridge,  
ste. 104  
Rockwall, TX. 75087

**CARROLL**  
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750 E. Interstate 30  
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**EXTERIOR  
ELEVATIONS**

DATE: JUL 2019 SHEET NO:  
PROJECT NO: 2018055  
DRAWN BY: A501  
CHECKED BY:

**Lee, Henry**

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**From:** Jeff Carroll <jc@carrollarch.com>  
**Sent:** Monday, December 16, 2019 11:58 AM  
**To:** Miller, Ryan  
**Subject:** Fite Site Plan Package  
**Attachments:** A501 Exterior Elevations.pdf; Fite Rendering 12-4-19.jpg; fiteC101.pdf; L1 Landscape Plan.pdf

Ryan,  
Attached is the site plan documents for your use.  
I've called them about the front elevation issue and trying to meet with them this week.  
Also the adjacent land owner has agreed to share the cross access drive for both properties. I'm having Mr. Fite submit to you the letter agreement between them.

Thx,  
JC



Jeffrey Carroll, Architect  
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