



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-044 P&Z DATE 12/30/19 CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

ST USE ONLY

PLANNING & Z

FILE NO. SP2019-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

*[Handwritten signatures]*

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 409 W. Washington

Subdivision Lowe & Allen

Lot west half Block 14

General Location

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Downtown

Current Use Vacant

Proposed Zoning Downtown

Proposed Use Office

Acreage 1.27

Lots [Current] |

Lots [Proposed] |

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Washington Place

Applicant Ramsay & Reyes LLC

Contact Person Jimmy McClintock

Contact Person Ross Ramsay

Address 3021 Ridge Road #144

Address 2235 Ridge Road #201

City, State & Zip Rockwall Texas 75032

City, State & Zip Rockwall Texas 75087

Phone 972.983.2222

Phone 469.974.8889

E-Mail LMGC.rw@gmail.com

E-Mail RTramsay@yahoo.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Ross Ramsay [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 270.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of December, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

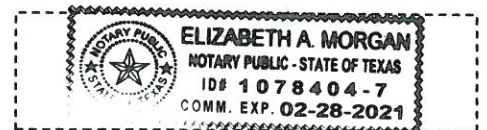
Given under my hand and seal of office on this the 13th day of December, 20 19.

Owner's Signature

*[Handwritten signature: Ross Ramsay]*

Notary Public in and for the State of Texas

*[Handwritten signature: Elizabeth A Morgan]*



My Commission Expires 02-28-21



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745  
Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 12/17/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 12/19/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 12/19/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 12/30/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number: SP2019-044**  
**Project Name: Office Complex**  
**Project Type: SITE PLAN**  
**Applicant Name: ROSS RAMSAY**  
**Owner Name: JIMMY MCCLINTOCK**

**Project Description: Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary**



# RECEIPT

Project Number: SP2019-044  
Job Address: 409 W WASHINGTON ST  
ROCKWALL, TX 75087

Receipt Number: B87434

Printed: 3/5/2020 2:23 pm

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$270.00

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**Total Fees Paid:**

**\$270.00**

Date Paid: 11/18/2019 12:00:00AM

Paid By: Ramsay & Reyes, LLC

Pay Method: CHECK 1008

Received By: DG

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b>	SP2019-044	<b>Owner</b>	JIMMY MCCLINTOCK	<b>Applied</b>	11/18/2019	DG	
<b>Project Name</b>	Office Complex	<b>Applicant</b>	ROSS RAMSAY	<b>Approved</b>			
<b>Type</b>	SITE PLAN			<b>Closed</b>			
<b>Subtype</b>				<b>Expired</b>			
<b>Status</b>	Staff Review			<b>Status</b>			
<b>Site Address</b>	409 W WASHINGTON ST	<b>City, State Zip</b>	ROCKWALL, TX 75087	<b>Zoning</b>			
<b>Subdivision</b>	WASHINGTON PLACE	<b>Tract</b>		<b>Block</b>	W/2 OF 14	<b>Parcel No</b>	4180-0014-0000-B0-OR
				<b>Lot No</b>		<b>General Plan</b>	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/18/2019	11/25/2019	11/18/2019		APPROVED	
ENGINEERING	Sarah Johnston	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(11/22/2019 9:26 AM SJ)						
M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4						
M - Must dimension the distance from the driveways to the nearest driveway on either side. Standards of Design 2.6						
M - Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.20						
M - No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3						
M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.20						
M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3						
M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11						
M - Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3						
M - Retaining walls in detention require a variance Standards of Design 3.4.4						
M - Must stub out the 8" water and 8" sewer to the northern property for future expansion. Standards of Design 5.1.2						
M - All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20						
M - Must install a 6' sidewalk along the street frontage. Standards of Design 2.14.						
M - Proposed & existing water and sewer to be shown on site plan (Not separate sheet)						
M - 10' U.E required along ROW						
M - Water line must be looped on-site place water line in fire lane instead of TXDOT ROW. Standards of Design 5.2.2						
M - Must meet all standards of design and construction.						
I - Landscape plan shows walls in detention. Not allowed without variance approval. from P&Z Commission						
I - Was the ROW for Second St. purchased?						
I - 4% Engineering Fees						
I - Impact Fees						
I - Must have detention on-site. Manning's C-value is per zoning						
I - Water and sewer lines must have 10' of easement on both sides						
I - No utilities in detention easements						
I - No grate utilities allowed						
I - Fire Lane paving to be 8" 3600 psi (6.5 sack mix)						
I - No sand allowed under paving.						
I - Walls 3' and over must be engineered						
I - All retaining walls to be rock or stone face. No smooth concrete walls.						
I - If using the pond for detention, it must be over the existing level.						
I - Detention outfall must reach sheet flow conditions prior to crossing the property line.						
I - Will need TxDOT driveway and utility permits.						
I - TIA required w/ fees.						
I - Engineering review fees apply						
ENGINEERING	Sarah Johnston	12/19/2019	12/26/2019	12/19/2019	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(12/19/2019 4:30 PM SJ) M - 6' sidewalk with BFR across the driveways. M - 5' tree spacing is required for utility lines less than 10" . Utility lines 10" of greater must have 10' of spacing. Standards of Design Section 4. M - Must show the existing neighbor's driveway connection onto your property. M - Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.20 M - Dumpster to drain to an oil/water separator and then to the storm lines. M - Must check visibility of drivers due to landscaping near the ROW. M - No walls in utility or detention/drainage easements. M - TXDOT Traffic Impact Analysis is required. Review fees apply.						
The following are for your information for engineering design. - 4% Engineering inspection fees (i) - Impact fees. (i) - Min 20' utility easements. (i) - No structures in easements. (m) - Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m) - Parking to be 20'x9' (m) - Dumpster area to drain to oil/water separator or grease trap, depending on use. (m) - No trees within 5' of public utilities. (m) - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i) - Must have detention. Manning's "c-value" is per zoning for the entire property. (i) - Detention outfall must reach sheet flow conditions prior to crossing the property line. (i) - Engineering review fees apply (i) - No walls in utility esmts (m) - 10' U.E Required along ROW (m) - Will need TxDOT driveway and utility permits. (i) - TIA required w/ fees (i) - Sidewalk pro-rata of \$28/LF of frontage on SH 66. (i) - Must meet all city engineering standards. (m)						
FIRE	Ariana Hargrove	12/19/2019	12/26/2019			
FIRE	Ariana Hargrove	11/18/2019	11/25/2019	11/20/2019	2 COMMENTS	See notes
(11/20/2019 6:55 PM AA) Additional fire hydrant may be required based on needed fire flow.  A turning radius of 30-feet for buildings 30-feet or above in height and/or 3 or more stories in height.  Fire lane cannot exceed 10% in grade change, with cross slope not exceeding 5%. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.						
GIS	Lance Singleton	11/18/2019	11/25/2019	11/20/2019	2 APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(11/20/2019 4:48 PM LS) Address assignment will be: 409 W. Washington St, Rockwall, TX 75087							
PLANNING	Korey Brooks	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-044; 409 W Washington Street						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres] , City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-044) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
(1) Please do not provide a separate page for utilities. Please show on site plan and landscape plan.						
(2) Please show topo on site plan and landscape plan.						
(3) Please remove labels for Lots 1R and 2R and provide existing lot and block information on site plan.						
(4) Please correct address on plans. Some plans indicate 409 W Washington and some indicate 411 W. Washington.						
(5) Please provide site data table on site plan.						
(6) Please show centerlines of adjacent roadways.						
(7) Please note that all plans need to match (i.e. currently the utility plan does not match site plan.						
(8) Please note that the water line will need to be looped through the site.						
(9) Please check the orientation of the stairs on the site plan.						
(10) Please remove the concrete planter from the parking space						
(11) Please remove signage from the site plan.						
(12) Please utilize a variety of line types and line weights. It is difficult to determine what the lines are (i.e. there are several lines running N/S adjacent to the concrete planter)						
(13) Please note that the dumpster enclosure cannot face the street. Also, a detail has been provided.						
(14) Please dimension a typical parking space.						
(15) Please check radii at drive aisles to ensure conformance to the engineering standards of design.						
(16) Please show and label the property line.						
(17) Please show FL with a hatch pattern, stipple, shade of gray, etc.						
(18) Please provide pavement type and depth.						
(19) Please show proposed sidewalks as a hatch pattern.						
(20) Please dimension distance of building from property lines.						
(21) Please note, the site plan, building elevations, rendering do not seem to match. (i.e. the site plan shows projections/recesses adjacent to Washington Street that do not appear in the rendering and building elevations.						
(22) Please provide all engineering information on site plan.						
(23) Please provide treescape plan						
(24) Please note that walls in the detention area will require a variance.						
(25) Please label detention pond and show on all plans.						
(26) Please show and label property line on LS Plan.						
LANDSCAPE PLAN						
(27) Please remove the cross slope % and show topo on landscape plan.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(28) Please check tree mitigation requirements. The ratio is not correct.						
(29) Please show utilities and engineering information on LS Plan.						
(30) Please note, the LS adjacent to Washington appears to be in the ROW and does not match the rendering.						
(31) Please label and greyscale existing drives/curb cuts that will be modified (i.e. show existing vs proposed).						
(32) Please show centerline of ROW.						
(33) Please note, that the dumpster enclosure cannot face public ROW. Detail has been provided.						
PHOTOMETRIC PLAN						
(34) Please show and label property line.						
(35) Please note, it is difficult to see location of fixtures. Please greyscale FC and bold the fixtures						
BUILDING ELEVATIONS						
(36) Please note, that the one-story building is required to be two-stories min						
(37) What is the material below the stairs? Retaining wall? Please show and label.						
I.6 Please note that failure to address all comments provided by staff by 5:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested.						
o Revisions for this case will be due on December 3, 2019;						
o The Planning & Zoning Worksession is November 26, 2019.						
o The Planning and Zoning Commission Meeting for this case is December 10, 2019						
o The City Council Meeting for this case is December 16, 2019.						
PLANNING	Korey Brooks	12/19/2019	12/26/2019	12/20/2019	1 COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-044; Site Plan for 409 W. Washington Street Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMG, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres] , City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-044) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements: [1] a site plan, [2] landscape plan, [3] building elevations and this submittal is complete.						
M.6 Site Plan. Please make the following clarifications on the Site Plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
<ol style="list-style-type: none"> <li>(1) Please check building elevations. The windows from the second floor of Building 1 do not align with the windows from Building 2.</li> <li>(2) Please note, the amount of cast stone seems heavy for a building of this size.</li> <li>(3) Please take a look at the south elevation and provide some relief on the portion of the building that has no windows.</li> <li>(4) Please note, the rendering does not appear to match the building elevations.</li> <li>(5) Please schedule a meeting with staff to discuss revisions.</li> </ol>						
(6) Trash/Recycling Enclosures. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The opaque, self-latching gate shall not be constructed utilizing wood fencing materials. If the primary building does not use masonry materials, a masonry material that is complimentary in color and scale shall be utilized. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Every effort shall be made to reduce the visibility of these structures utilizing landscaping and/or the building. All trash/recycling enclosures shall be constructed in conformance to the diagram below, unless otherwise approved/required by the City and/or its contractor for trash services. Please provide elevation for dumpster enclosure.						
(1) Utility Equipment and Air Condition Units. Pad or roof mounted utility equipment and air conditioning units shall be screened from the view from of any adjacent public streets or properties. Roof mounted utility equipment and air conditioning units shall be screened using a parapet wall that completely impairs the visibility of the equipment, and is constructed on all sides of the building. Ground mounted Utility equipment and air conditioning units shall be screened utilizing plantings, berms, walls matching the main structure, or an architectural feature that is integral to the building's design. Please show how all equipment will be screened.						
<b>SUBSECTION 1.08: PUBLIC RIGHT-OF-WAY VISIBILITY</b>						
(A) Street/drive intersection visibility obstruction triangles. A landscape plan showing the plan of the street on both sides of each proposed drive/street to the proposed development with the grades, curb elevations, proposed street/drive locations, and all items (both natural and manmade) within the visibility triangles as prescribed below shall be provided with all site plans, if they are not on engineering plans that are submitted at the same time. this plan shall show no horizontal or vertical restrictions (either existing or future) within the areas defined below.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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(B) Obstruction/interference triangles defined. No fence, wall screen, billboard, sign face, tree or shrub foliage, berm, or any other item, either manmade or natural, shall be erected, planted, or maintained in such a position or place so as to obstruct or interfere within the following minimum standards; however, on non-residentially zoned lots, a single pole for mounting a sign may be placed within this area provided the pole does not exceed 12-inches in diameter, and provided every portion of the sign has a minimum height clearance of nine (9) feet: Please provide where applicable

(1) Visibility Triangles. Vision at all intersections which intersect at or near right angles shall be clear at elevations between 24-inches and nine (9) feet above the top of the curb elevation, within a triangular area formed by extending the two (2) curblines from their point of intersection, for the following minimum distances for the applicable intersection, and connecting these points with an imaginary line, thereby making a triangle. If there are no curbs existing, the triangular area shall be formed by extending the property lines from their point of intersection for a distance as prescribed below, and connecting these points with an imaginary line, thereby making a triangle as shown below.

(2) Intersection of two (2) public streets. The minimum required distance from the curb shall be 30-feet and the minimum distance from the property line on streets without a curb shall be 20-feet.

(3) Intersection of a public street and an alley. The minimum required distance measured from the property line shall be 15-feet, or 25-feet from street curb.

(4) Intersection of private drive and public street. The minimum required distance from the curb shall be 15-feet and the minimum distance from the property line on streets without a curb shall be ten (10) feet.

(C) Sight distance requirements. The city hereby adopts the standards for both vertical and horizontal sight distance requirements set forth in the latest edition of AASHTO green book “a policy on geometric design of highways and streets” for the construction of both public street intersections and private drive intersections, unless otherwise approved by the city engineer. If, in the opinion of the city engineer, a proposed street or drive intersection does not meet these standards, additional engineering information exhibiting how the standards have been addressed may be required for submission and approval by the city's engineer.

I.7 Please note that failure to address all comments provided by staff by 5:00 PM on January 7, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 7, 2020.

M.9 Below are the meeting dates for your request. A representative is required to attend all meetings:

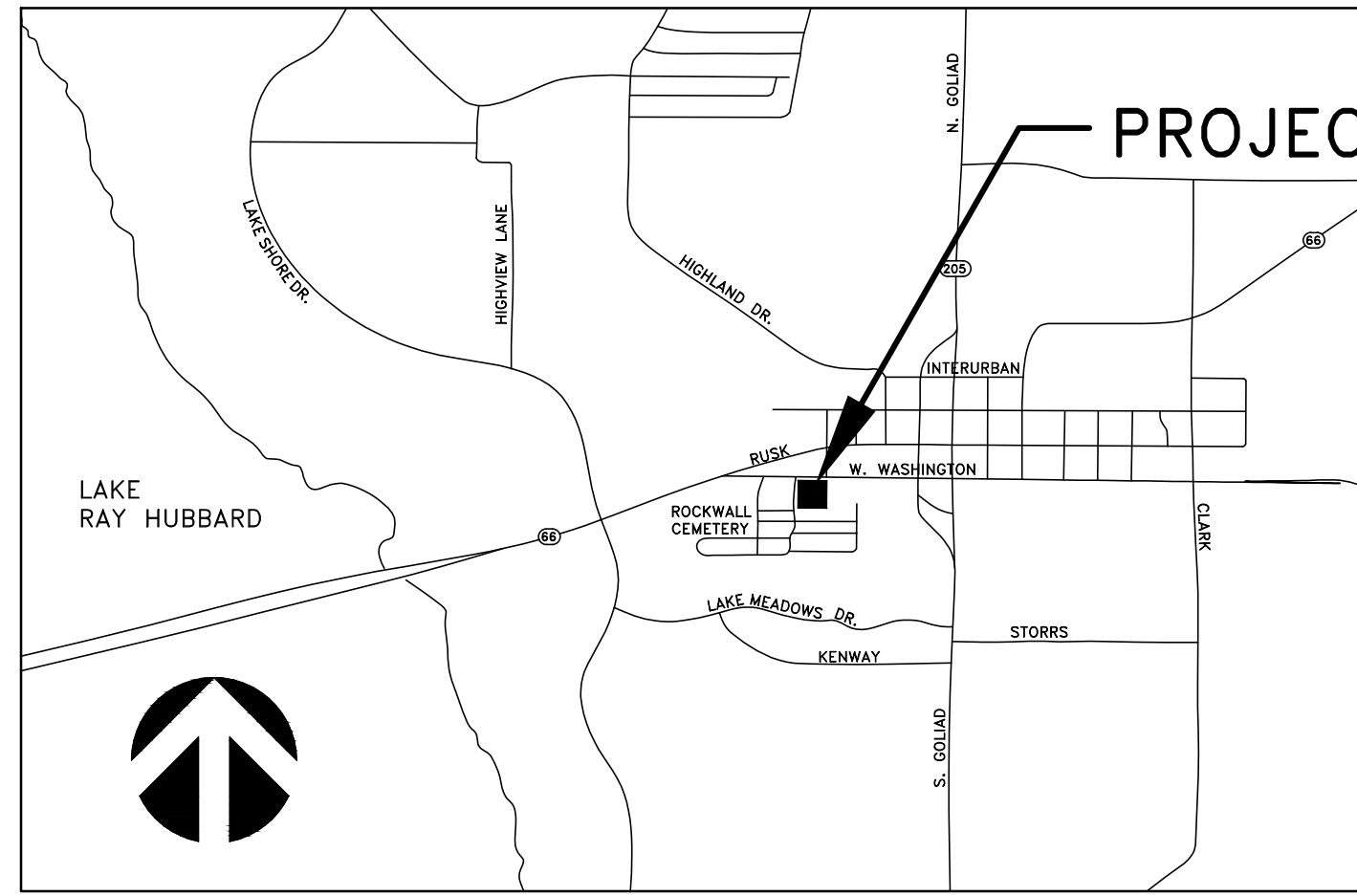
- December 30, 2019 - Architectural Review Board (ARB) Meeting - 5:00 p.m.—immediately before the Planning and Zoning Worksession.
- December 30, 2019 – Planning and Zoning Worksession – 6:00 p.m. – immediately following the ARB Meeting.
- January 14, 2020 – 2nd Architectural Review Board (ARB) Meeting (at the discretion of the ARB) – 5:00 p.m. - immediately before the Planning and Zoning Meeting.
- January 14, 2020 – Planning and Zoning Meeting – 6:00 p.m. – immediately following the ARB Meeting.

M.10 Please see standard site plan wording below.

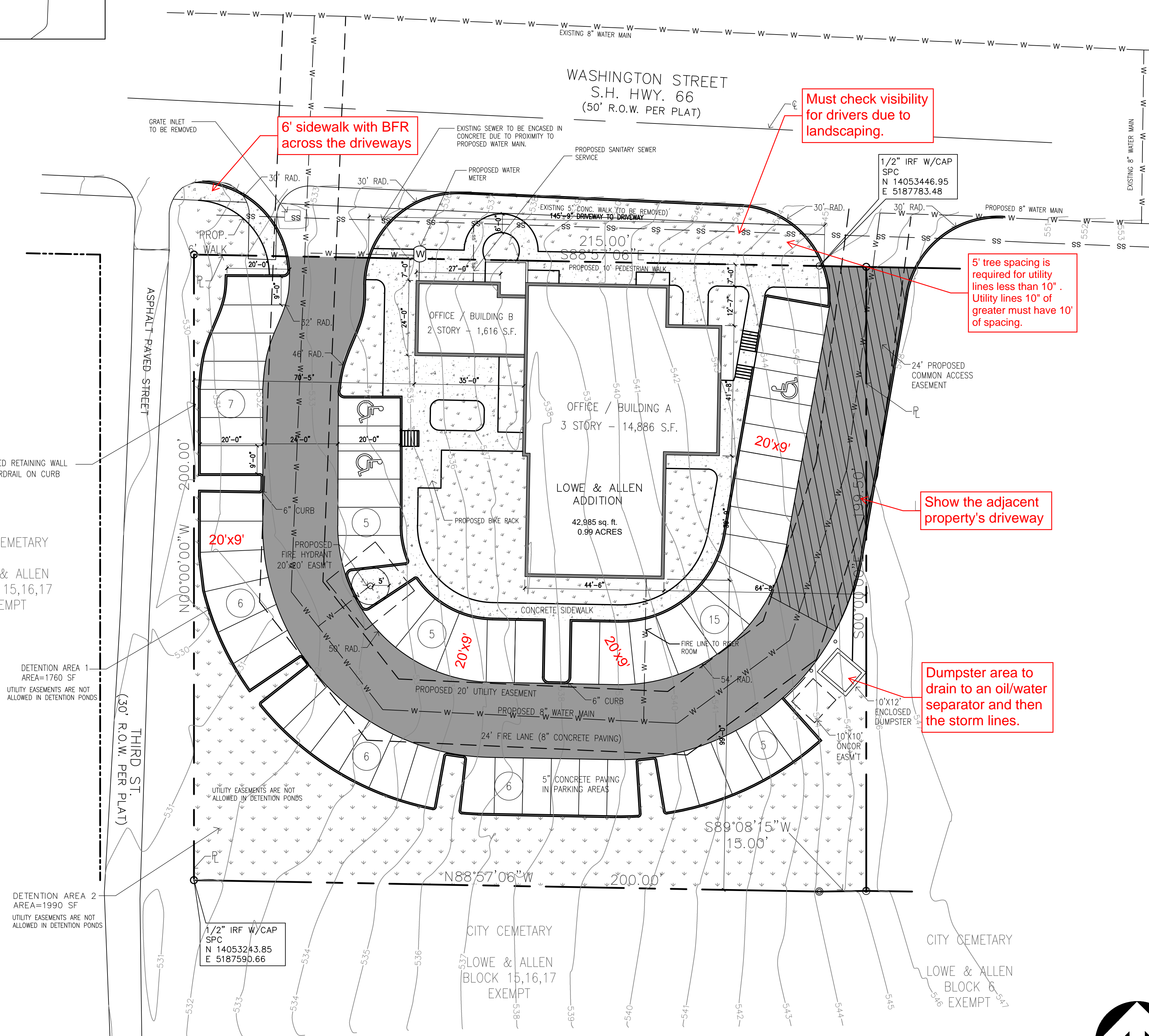
SITE PLAN SIGNATURE BLOCK

APPROVED:

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning &amp; Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].</p>						
<p>WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].</p>						
<p>_____            Planning &amp; Zoning Commission, Chairman    Director of Planning and Zoning</p>						



VICINITY MAP



- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (m)
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)
- Parking to be 20'x9' (m)
- Dumpster area to drain to oil/water separator or grease trap, depending on use. (m)
- No trees within 5' of public utilities. (m)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Must have detention. Manning's "c-value" is per zoning for the entire property. (i)
- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Engineering review fees apply (i)
- No walls in utility esmts (m)
- 10' U.E Required along ROW (m)
- Will need TxDOT driveway and utility permits. (i)
- TIA required w/ fees (i)
- Sidewalk pro-rata of \$28/LF of frontage on SH 66. (i)
- Must meet all city engineering standards. (m)

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	AREA	LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,708 S.F.	73.8%
BLDG. A / 3 STORY SURFACE AREA	4,962 S.F.	11.5%
BLDG. B / 1 STORY SURFACE AREA	808 S.F.	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,277 S.F.	26.2 %
SIDEWALK AREA	4,889 S.F.	11.4 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,502 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	

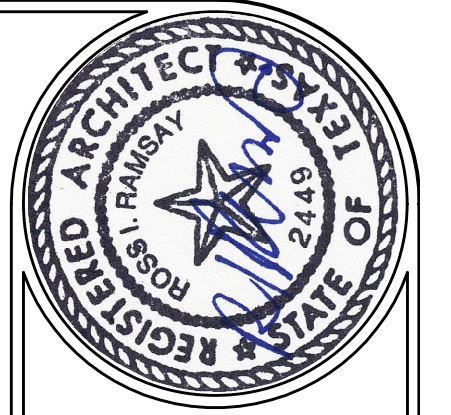
6' sidewalk with BFR across the driveways

Must check visibility for drivers due to landscaping.

5' tree spacing is required for utility lines less than 10". Utility lines 10" or greater must have 10' of spacing.

Show the adjacent property's driveway

Dumpster area to drain to an oil/water separator and then the storm lines.



**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS

NO.	DATE	DESCRIPTION/ISSUE

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

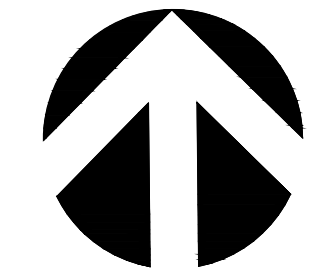
PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	12/13/2019
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:  
**SITE PLAN**

**S1.0**

OWNER/DEVELOPER:  
LMGC, LLC  
JIMMY McCLINTOCK  
(972)983-2222  
3021 RIDGE RD.  
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:  
RAMSAY & REYES, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



**SITE PLAN**  
SCALE: 1"=20'  
0 20' 40'



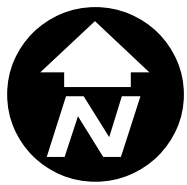
SP2019-044 - 409 W. WASHINGTON STREET  
SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

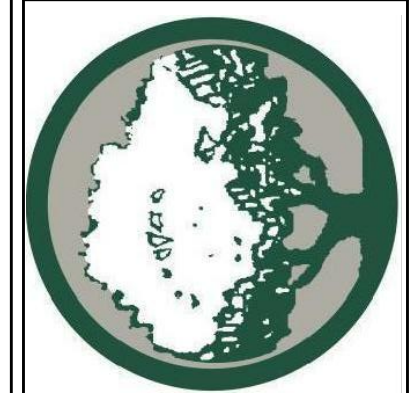
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



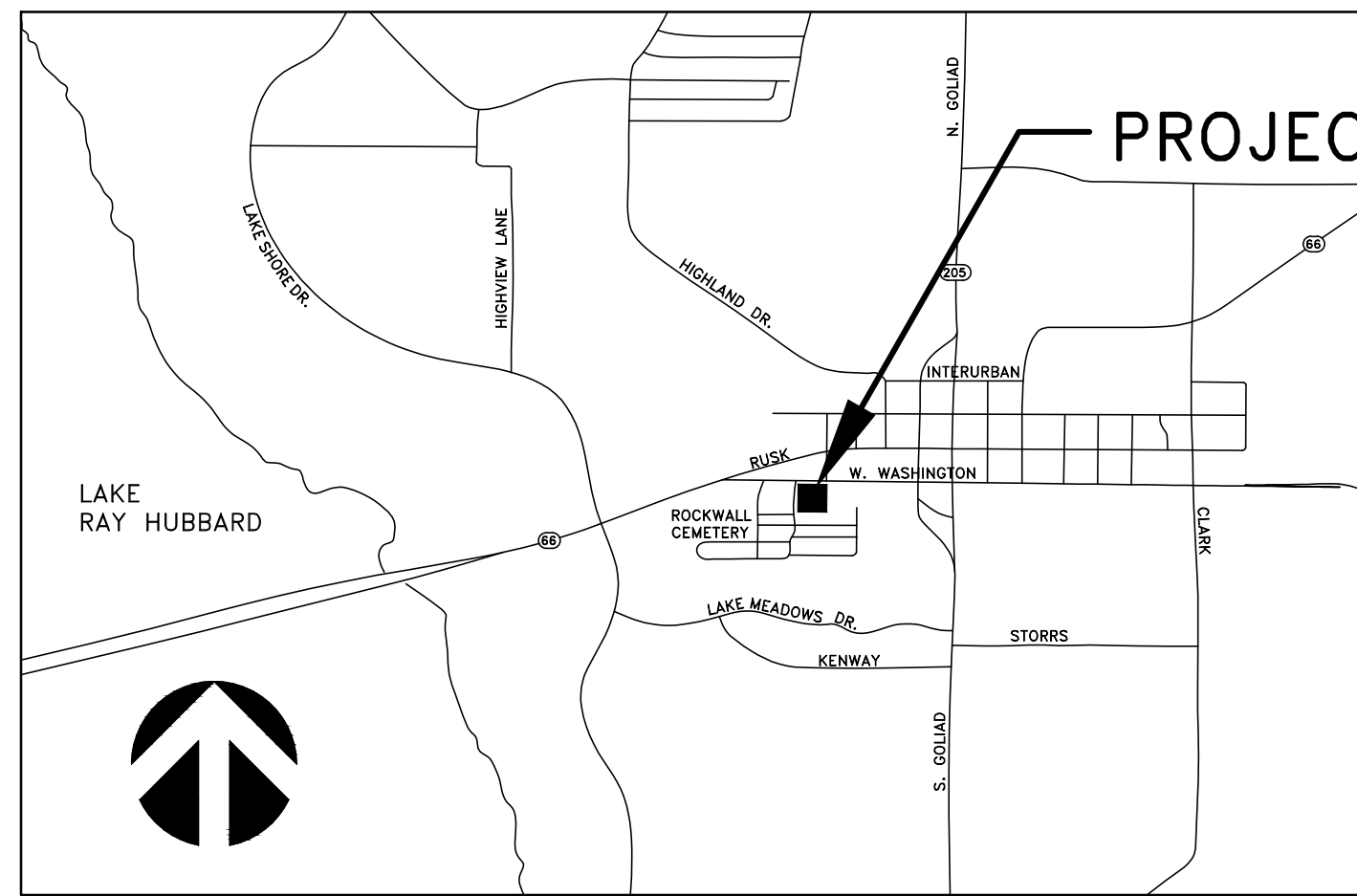
REVISIONS	DATE
DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

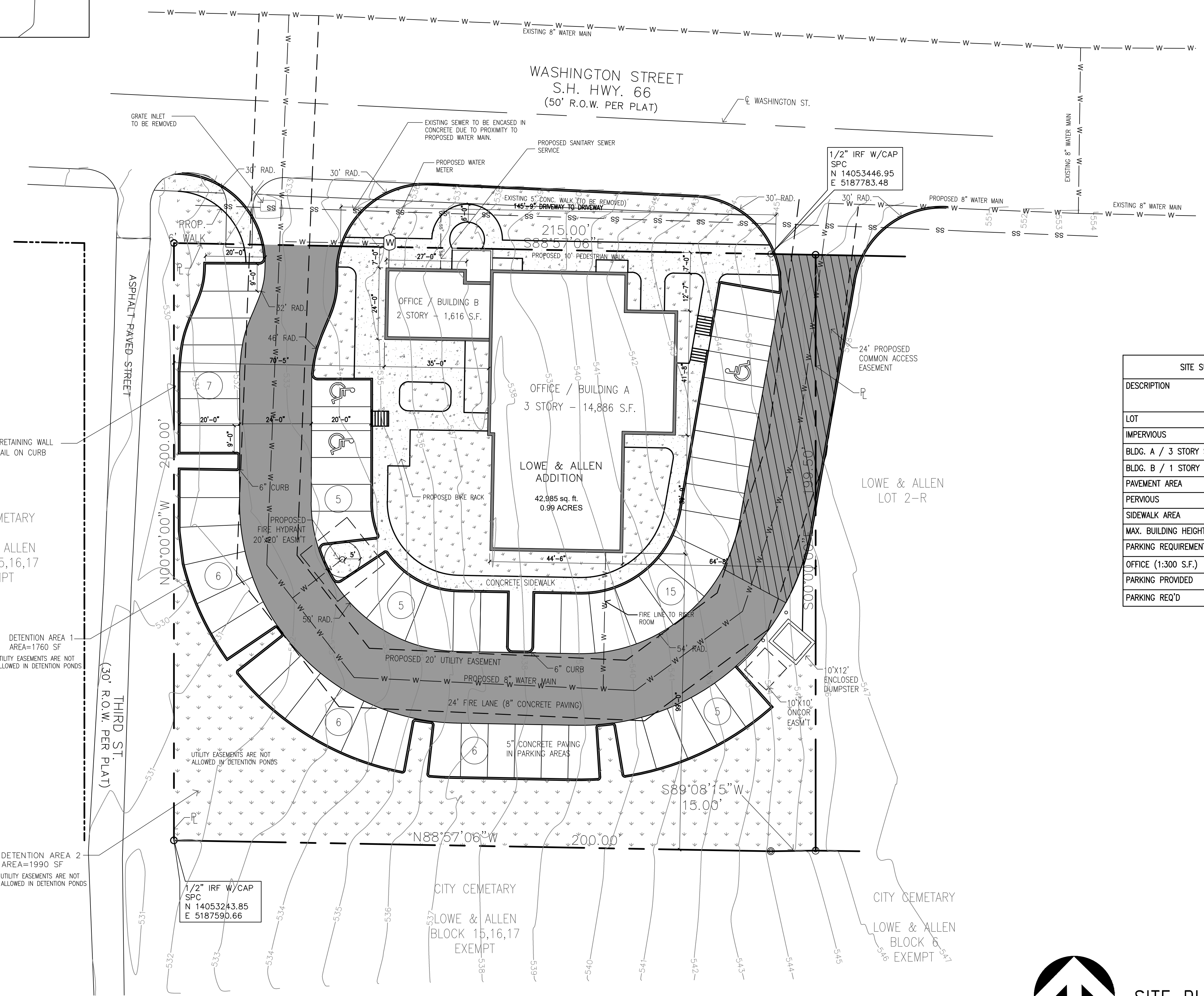
PROJECT No.	
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SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:  
**SITE PLAN**

**S1.0**



VICINITY MAP

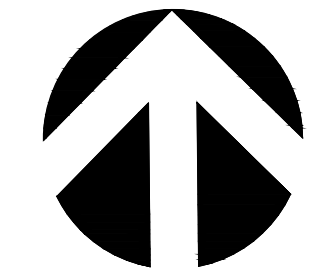


SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION		LOT PERCENTAGE
LOT	42,985 S.F.	100 %
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SIDEWALK AREA	4,889 S.F.	11.4 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,502 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	

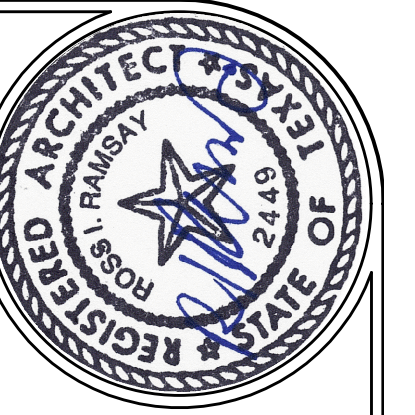
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(214)536-5306  
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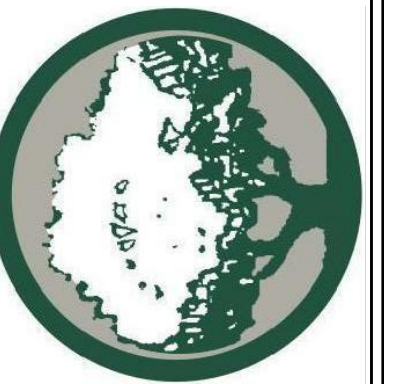
**SITE PLAN**  
SCALE: 1"=20'  
0 20' 40'





**RAMSAY & REYES, LLC**  
 ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
 ROCKWALL, TEXAS 75087



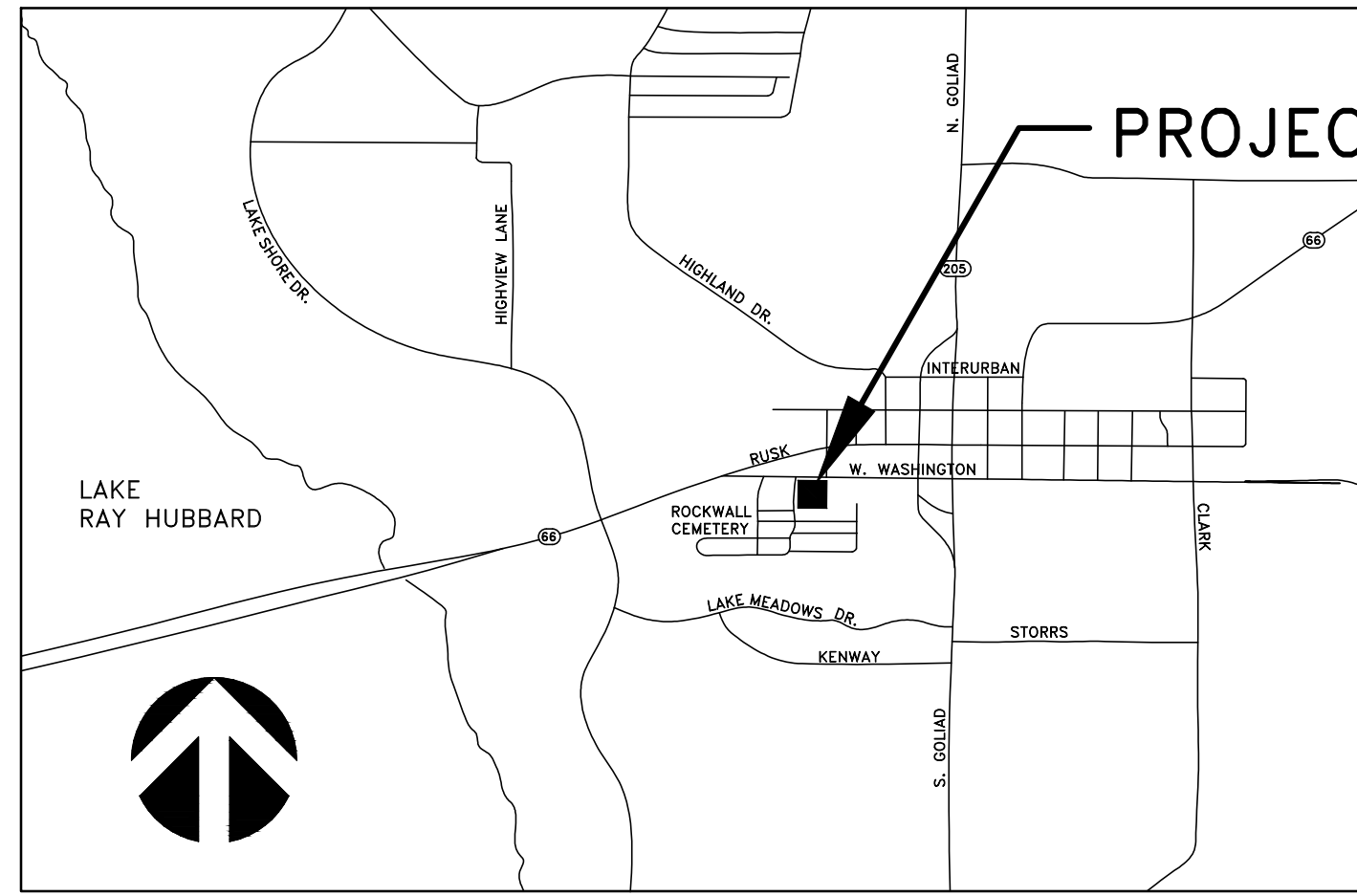
DATE	REVISIONS
	DESCRIPTIONS/ISSUE

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
 409 W. WASHINGTON  
 ROCKWALL, TEXAS 75087

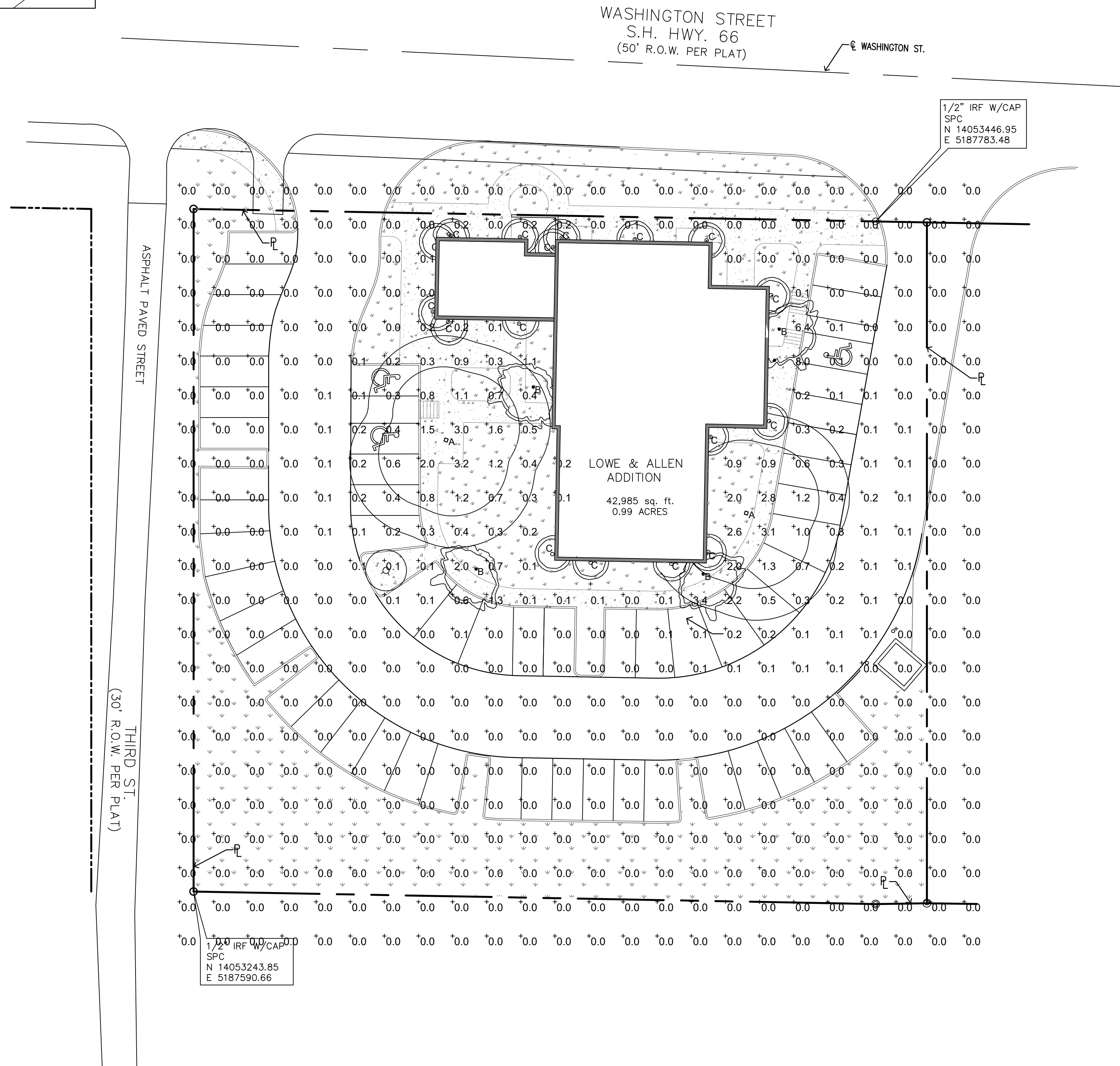
PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	12/13/2019
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:  
**PHOTOMETRIC SITE PLAN**

**E 1**



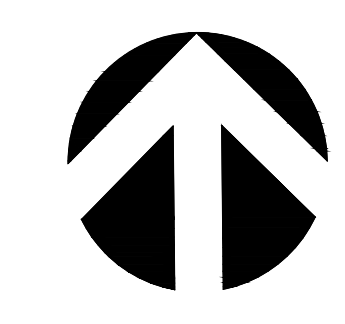
VICINITY MAP



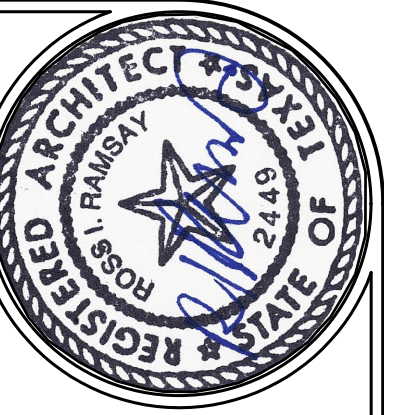
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 3021 RIDGE RD.  
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:  
 RAMSAY & REYES, LLC  
 ROSS RAMSAY  
 (214)536-5306  
 2235 RIDGE RD. STE 201  
 ROCKWALL, TEXAS 75087

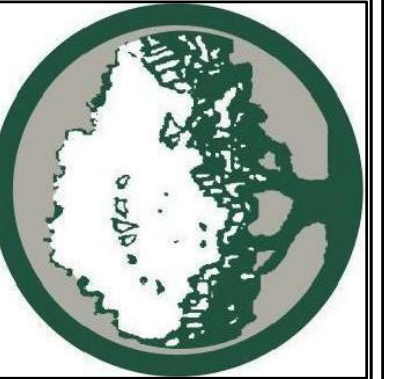


**PHOTOMETRIC SITE PLAN**  
 SCALE: 1" = 20'  
  
 SCALE: 1" = 20'



**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



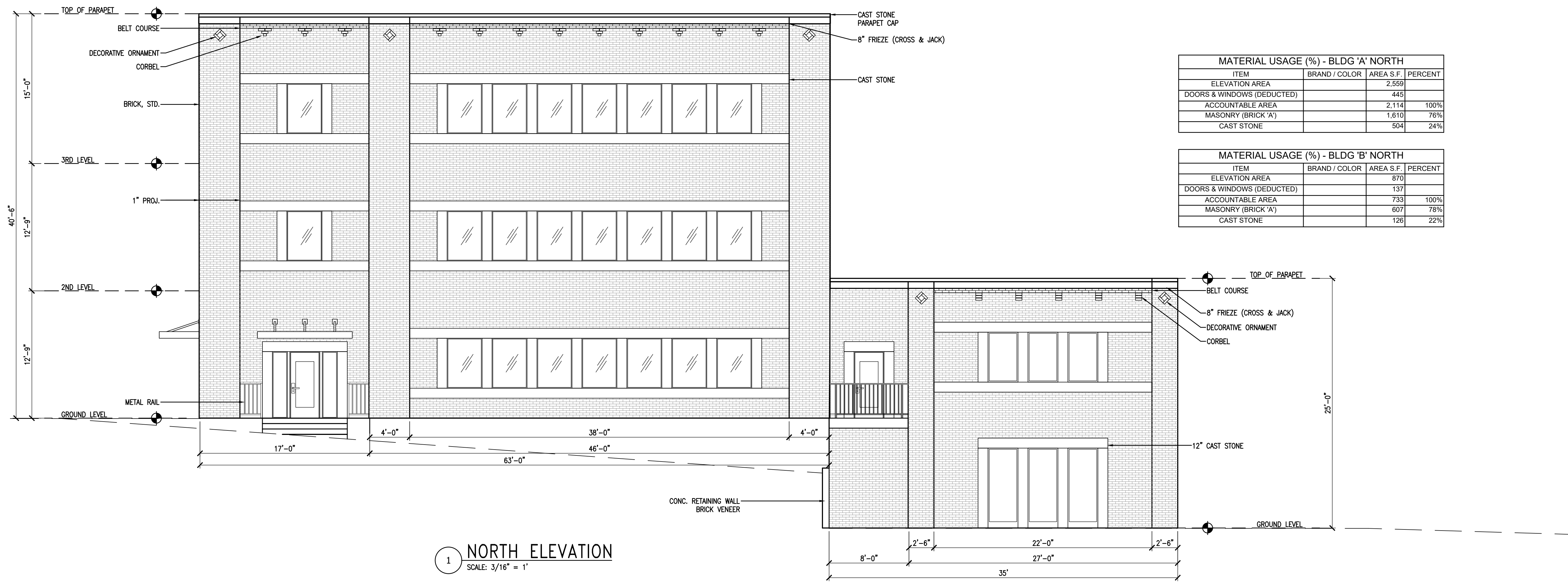
NO.	DATE	REVISIONS / DESCRIPTIONS / ISSUE

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

PROJECT No.	---
DRAWN BY	SR
CHECKED BY	RR
DATE	12/13/2019
SCALE	3/16" = 1'
SHEET NO.	#### / ####

DRAWING NAME:  
**ELEVATION NORTH & SOUTH**

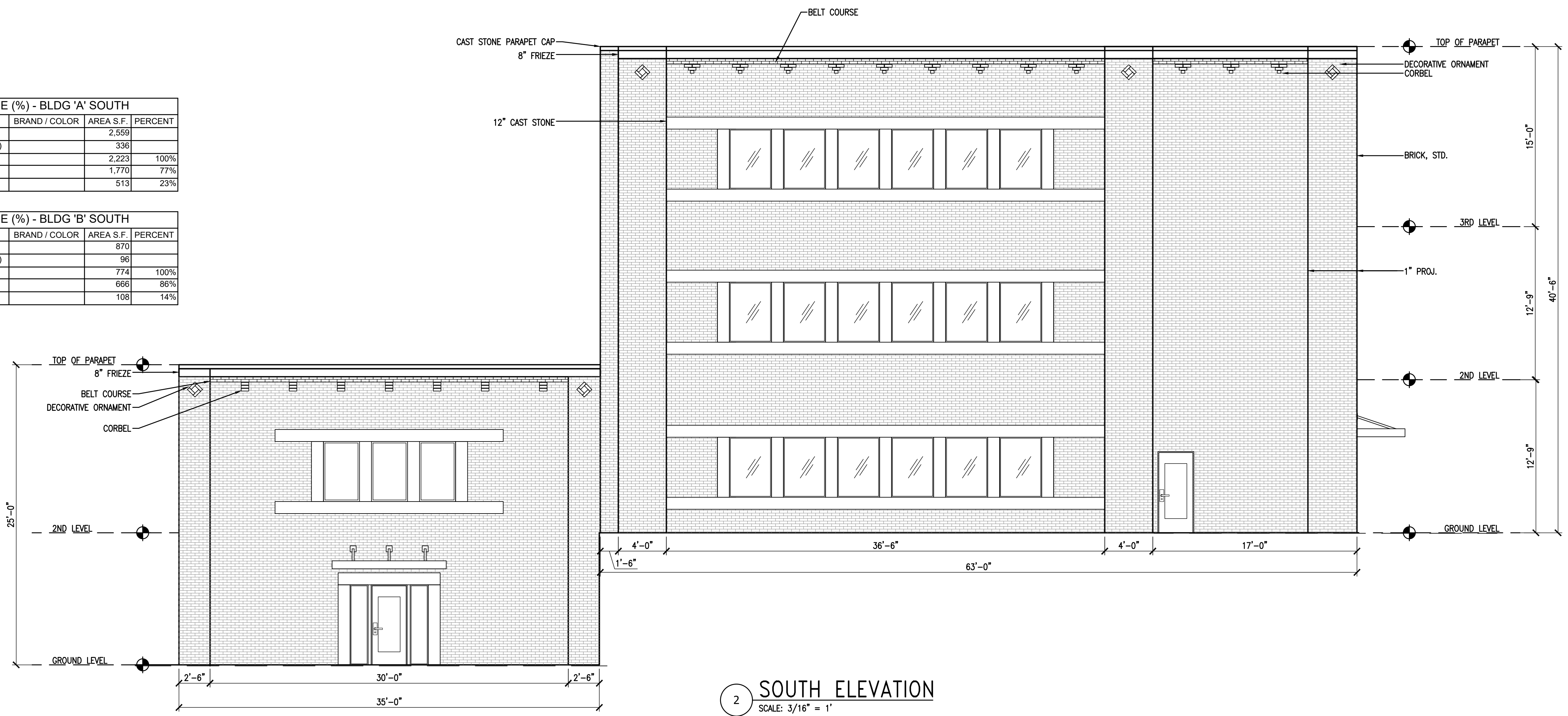
**A-201**



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,559	
DOORS & WINDOWS (DEDUCTED)		336	
ACCOUNTABLE AREA		2,223	100%
MASONRY (BRICK 'A')		1,770	77%
CAST STONE		513	23%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		870	
DOORS & WINDOWS (DEDUCTED)		96	
ACCOUNTABLE AREA		774	100%
MASONRY (BRICK 'A')		666	86%
CAST STONE		108	14%

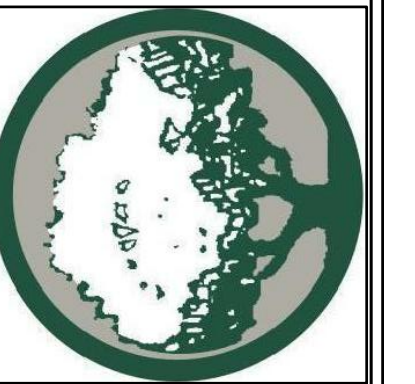


**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'



**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



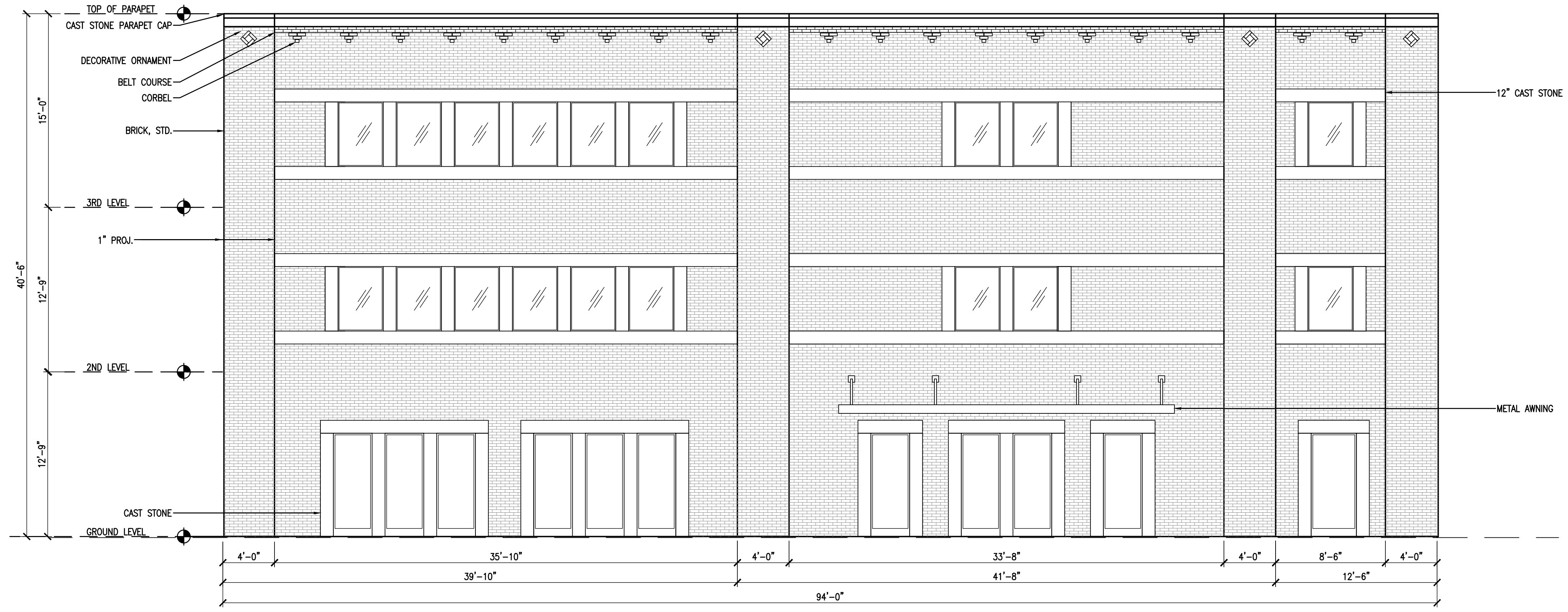
NO.	DATE	REVISIONS / DESCRIPTIONS / ISSUE

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
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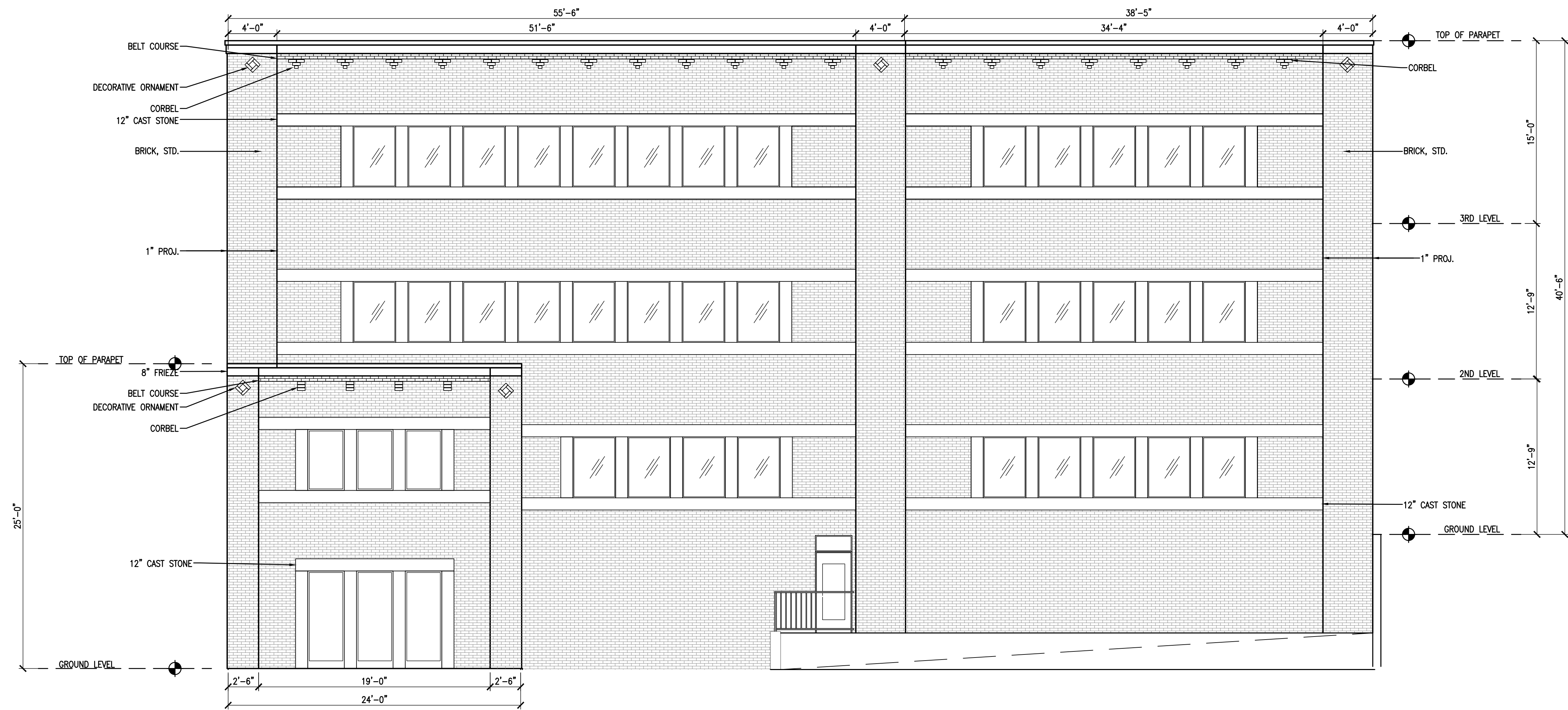
PROJECT No.	---
DRAWN BY	SR
CHECKED BY	RR
DATE	12/13/2019
SCALE	3/16" = 1'
SHEET NO.	####

DRAWING NAME:  
**ELEVATION  
EAST & WEST**

#####



**1 EAST ELEVATION**  
SCALE: 3/16" = 1'



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'

**MATERIAL USAGE (%) - BLDG 'A' EAST**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		3,807	
DOORS & WINDOWS (DEDUCTED)		579	
ACCOUNTABLE AREA		3,228	100%
MASONRY (BRICK 'A')		2,521	78%
CAST STONE		707	12%

**MATERIAL USAGE (%) - BLDG 'A' WEST**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,088	
DOORS & WINDOWS (DEDUCTED)		633	
ACCOUNTABLE AREA		3,455	100%
MASONRY (BRICK 'A')		2,697	78%
CAST STONE		758	12%

**MATERIAL USAGE (%) - BLDG 'B' NORTH**

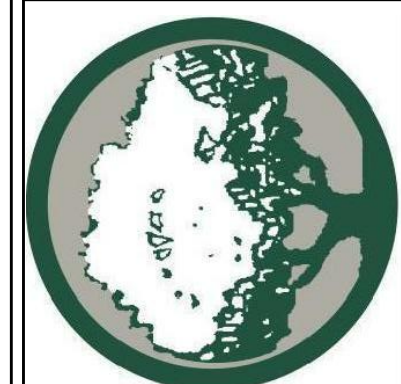
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		606	
DOORS & WINDOWS (DEDUCTED)		117	
ACCOUNTABLE AREA		489	100%
MASONRY (BRICK 'A')		362	74%
CAST STONE		127	26%



**RAMSAY & REYES, LLC**

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	12/13/2019
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:  
**OUTDOOR LIGHT SPECS.**

**E2**



Consistent with LEED® goals & Green Globes® criteria for light pollution reduction

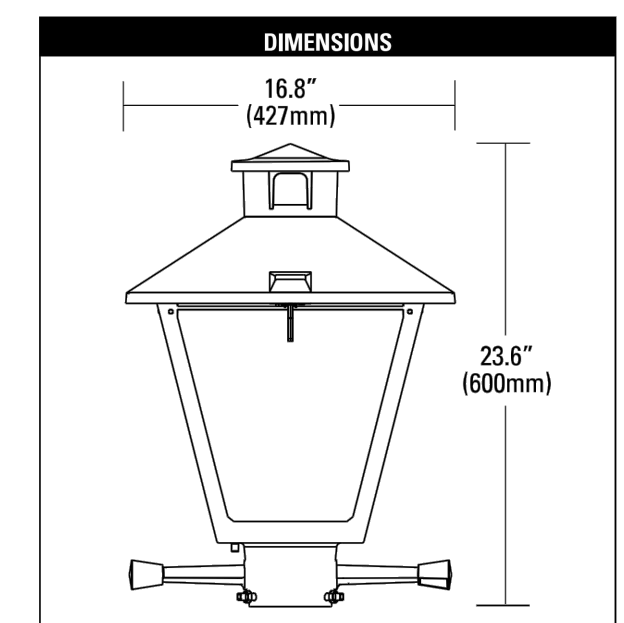
**American Revolution**  
Series 247 and 247 Cutoff  
50-150W HPS, 100-175W MH

**PRODUCT OVERVIEW**



**Features:**  
Die-cast aluminum housing and hood for long-life performance  
Die-cast trigger latch (TL) option available for easy access to internal components  
Optical assembly designed for maximum performance  
Hinged hood and captive screw provision afford quick, easy access to electrical and optical area for relamping or servicing  
Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.  
E39 mogul base socket standard  
All electrical components warranted by American Electric Lighting's 6-year guarantee  
Complies with ANSI: C136.2, C136.10, C136.15, C136.31 (regular only), C136.16 (FC only)  
Suitable for -30°C MH & / -40°C HPS

**Applications:**  
Streetscapes  
Walkways  
Pathways  
Parks



**PREFERRED SELECTION CATALOG NUMBERS**  
**Series 247**  
247 10S RN 120 R3 AY  
247 15S RN 120 R3 AY  
247 10S RN 120 R5 AY  
247 15S RN 120 R5 AY  
**Series 247 Cutoff**  
247 10S RN 120 R2 FC TL  
247 10M XN MT1 R2 FC TL

Decorative

DL-247-A



**ANTIQUE STREET LAMPS**  
**RESONANCE BOLLARD 1.0 HID**  
TLRCB10



**Construction:**  
The luminaire is die cast and permanent mold aluminum. The roof has an internal hinge, hidden from view. Roof and ballast lids are sealed with silicone gaskets. All exposed hardware is weather resistant. FINISH The luminaire has a powder coat finish utilizing a premium FGC polyester powder. The finish is a three-stage process that consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.  
**Optics:**  
The horizontal lens is tempered flt glass with a continuous seal. The luminaire utilizes an internal anodized and segmented reflector with sockets for horizontal lamp. Reflectors are available in Type II, III, IV, and V, full cutoff distributions, are interchangeable and rotatable.  
**Electrical:**  
Luminaire is furnished with an HID ballast assembly. Sockets are porcelain, medium base, with a copper alloy nickel-plated screw shell and center contact. Ballasts are core and coil, high-power factor, regulating type. Lamp is not included.  
**Installation:**  
The Resonance Bollard offers a patented impact resistant mounting and leveling design ensuring lifelong performance. Three leveling pads within the base mounting plate are easily accessible through the access panel. The leveling pads provide full contact with the concrete pad, providing a high degree of stability. The base mounting plate is fully welded to the bollard post, providing complete structural support from all directions, giving the bollard superior vandal resistance.  
**Listings:**  
The luminaire is tested to and meets all NRTL's outdoor requirement standards, wet location use, through the fully accredited and approved CSA laboratory.

Max EPA: 1.8 sq feet  
Max Height: 3' 8" (111.8 cm)  
Max Width: 1' 1" (33 cm)  
Max Weight: 35 lbs (15.8 kg)

Sample Catalog number:

TLRCB10	100M MED	GCF	R3	240	SF	DWH
Series	Lamp Type	Lens	Distribution	Voltage	Options	Finish

Ordering Guide:

Series	Lamp Type	Lens	Distribution	Voltage	Options
TLRCB10	50M MED 70M MED 100M MED 39MHC G12 70MHC G12 26TRT 32TRT 42TRT	GCF	R2 TYPE 2 R3 TYPE 3 R4? TYPE 4 R5 TYPE 5	120 208 240 277 MVOLTS	SF SINGLE FUSE DF DOUBLE FUSE HF HOUSE SIDE SHIELD (TYPE 2 & 3 ONLY)

**Finish**  
DBL BLACK  
DDB DARK BRONZE  
DNA NATURAL ALUMINUM  
DWH WHITE  
CM CUSTOM MATCH  
CS CUSTOM SELECT  
RAL COLORS

Antique Street Lamps™ | 3825 Columbia Road | Greenville, OH 45023 | Phone: 1-800-410-8899 | www.antiquestreetlamps.com  
©2012 Acuity Brands Lighting, Inc. All Rights Reserved. **TLRCB10 HID** Rev. 4/14

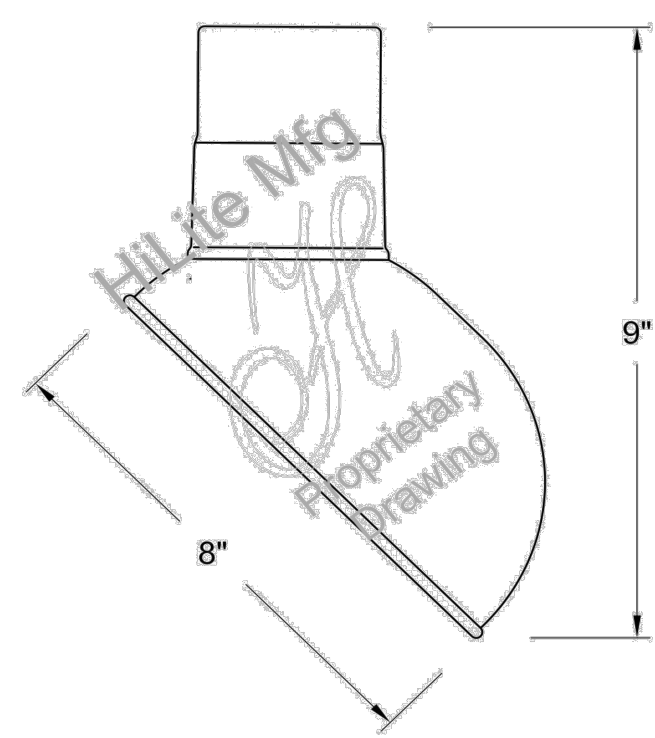


**HI-LITE MFG. CO., INC**

13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
web: www.hilitemfg.com  
e-mail: sales@hilitemfg.com

**H-EM-08 Emblem Shade Collection**

Job Name: \_\_\_\_\_  
Type: \_\_\_\_\_  
Quantity: \_\_\_\_\_



**FINISH** - Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.  
Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).  
Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.

**REFLECTOR** - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

**SOCKETS/LAMPS** - Available in:  
Incandescent  
- rated 200 watt max/120 volt, medium base.  
Compact Fluorescent(CFL)  
- rated 13/18/26/32 watt max/120/277 volt, GX24Q base.  
Metal Halide(MH)  
- rated 35/50/70/100 watt max/120/208/240/277 volt, medium base, 4KV socket.

For interior finish of fixture refer to color chart on pages 344-348.

**MOUNTING** - Stem, Arm, and Flush mounting available.

**ACCESSORIES** - WGR(Wire Guard) and SK(Swivel Knuckle) available.

High Pressure Sodium(HPS)  
- rated 50/70/100 watt max/120/277 volt, medium base.

MADE IN THE U.S.A.

Suitable for wet location. (Except when cord mounted)





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** January 14, 2020  
**APPLICANT:** Steven Reyes; *Ramsay and Reyes Architecture, LLC*  
**CASE NUMBER:** SP2019-044; *Site Plan for 409 W. Washington Street*

---

### SUMMARY

Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1959, is zoned Downtown (DT) District, is situated within the SH-66 Overlay (SH-66 OV) District, and is considered to be a part of one of the original areas of the City of Rockwall. On May 26, 2017, a building permit was issued [BLD2017-1600] for to allow the demolition of a single-family home on the subject property. Subsequently, in 2018, a building permit was issued [BLD2018-0900] to allow the demolition of a carport, a garage, and a barn on the subject property. Since that time, the property has remained vacant.

### PURPOSE

The applicant has submitted a request for approval of a site plan for an office building on the subject property. The proposed office building will be approximately 16,502 SF, will be clad with brick, and will utilize a flat roof system, which is typical of the existing buildings within the Downtown (DT) District. The proposed building is designed to give the appearance of two (2) attached buildings with one (1) building being two (2) stories in height and the other building being three (3) stories in height.

### ADJACENT LAND USES AND ACCESS

The subject property is located at 409 W. Washington Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is W. Washington Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Following this, there is a vacant tract of land and W. Rusk Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes. These areas are zoned Downtown (DT) and Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there is a cemetery that is owned by the City of Rockwall. Following this, there are two (2) single-family residential subdivisions (*i.e. Stonebridge Meadows, Phases 4, 3, & 2; and Ridgeview Subdivisions*) and a condominium complex (*i.e.*

*Bent Tree Condominiums*). These areas are zoned Cemetery (CEM), Single-Family 7 (SF-7) and Multi-Family 14 (MF-14) Districts.

**East:** Directly east of the subject property, there is a vacant tract of land, a real estate office (*i.e. Gold Key Realty*), and a daycare facility (*i.e. Marigold Learning Academy*). Following this, there several vacant tracts of land, a city-owned parking lot, and N. Goliad Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan.

**West:** Directly west of the subject property, there is a single-family home and a City-owned cemetery. Following this, there is a daycare facility (*i.e. Children's Park Day Care*), a vacant tract of land, an office building, and a veterinary hospital (*i.e. Avery Veterinary Clinic*). Beyond this, there is a retail store with gasoline sales (*i.e. Shell*), a single-family residential subdivision (*i.e. Stonebridge Meadows, Phases 4 & 5*) and S. Lakeshore Drive, which is identified as a minor collector on the City's Master Thoroughfare Plan. These areas are zoned Downtown (DT), Cemetery (CEM), General Retail (GR), Single-Family 7 (SF-7), and Single-Family 10 (SF-10) Districts.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) the proposed office building is permitted by-right in the Downtown (DT) District. With the exception of the minor waivers being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within the Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Building Height</i>	<i>Min. 2 Stories Max. 4 Stories</i>	<i>X=2 Stories and 3 Stories; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>24-Feet</i>	<i>X=24-Feet; In Conformance</i>
<i>Pedestrian Walkway Width</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>100%</i>	<i>X=100%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>55 Spaces</i>	<i>X=55 Spaces; In Conformance</i>

**TREESCAPE PLAN**

The applicant has indicated that there are no protected trees requiring mitigation on the subject property.

**CONFORMANCE WITH THE CITY'S CODES**

The proposed office building conforms to the requirements stipulated in Subsection 4.07, *Downtown (DT) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) as follows:

- (1) **Function/Land Use.** Retail, personal service, residential, and office uses shall be allowed throughout the district. In this case, the proposed use is an office building and conforms to this requirement.
- (2) **Block Face.** Building walls should be continuous along block faces to create a strong edge to the street an contribute to creating and attractive and active pedestrian environment. In this case, the building utilizes a design that gives the appearance of two (2) buildings with a continuous block face. The building will also utilize contrasting brick patterns/colors to give the appearance of two (2) attached buildings.

- (3) *Building Form*. Buildings shall be designed and constructed in a tri-partite architecture to that they have a distinct base, middle, and top. The proposed building elevations appear to conform to this requirement.
- (4) *External Façade Materials*. Ground floor exterior walls, excluding windows and doors, shall be constructed of 100% brick, natural or cast stone. The applicant is proposing to utilize 100% brick.
- (5) *Color*. The dominant color of all buildings shall be muted shades of warm grey, red, green, beige, or brown. Black, gold, and stark white shall not be used except as an accent color. The submitted building elevations indicate that the brick will be brown.
- (6) *Non-residential at Grade*. The ground floor entry must be located at the approximate elevation of the adjacent sidewalk. All of the proposed entryways conform to this requirement.

## **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following exception to the requirements of the Unified Development Code (UDC):

### **(1) *Building Standards***

- (a) *Architectural Features*. According to Subsection 4.07, *Downtown (DT) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), each building and separate lease space at grade along the street edge shall have a functioning primary entry from the sidewalk. Such entries must be inset from the front building plane by at least five (5)-feet. Secondary entries may be set back as little as three (3)-feet. Functioning entries must be located no greater than 30-feet apart. The applicant is providing two (2) primary entries adjacent to W. Washington street; however, the entryways are not recessed five (5) feet behind the building plane. Alternatively, the applicant has provided a stoop with a canopy at the entryway located closest to the eastern property line and a canopy at the entryway closest to the western property line. Additionally, the distance between the two (2) entries is greater than 30-feet (*i.e. approximately 60-feet*). Since this does not meet the requirements stipulated in the Unified Development Code (UDC), approval of a minor waiver is required. The Unified Development Code gives staff the ability to approve minor waivers administratively; however, staff felt it necessary to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission to review the request and determine if approval of a minor waiver is necessitated.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, indicates that the subject property is located within the Downtown District and is designated for *Downtown (DT)* land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. It is expected that the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City to ensure that the district retains its small-town character. The *Downtown (DT)* land use designation should include a combination of land uses that are complementary to the existing development pattern and are intended to add the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. Primary land uses include office, retail restaurant, and residential land uses while secondary land uses include institutional and civic land uses. In this case, the proposed office building is considered to be a primary use within the Downtown District and appears to be in conformance with the policies and goals contained in the Comprehensive Plan.

## **ARCHITECTURAL REVIEW BOARD (ARB):**

On November 26, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant provide additional windows for balance, to provide primary entryways adjacent to W. Washington Street, to increase the smaller building to two (2) stories, to raise the parapet on the rear of the building, and to provide an updated rendering. The applicant has provided revised plans that appear to generally conform to these requests.

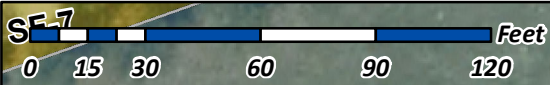
On December 30, the Architectural Review Board (ARB) was unable to make a quorum, and as a result, the proposed building elevations have not been reviewed. The Architectural Review Board (ARB) will review the proposed building elevations and forward a recommendation to the Planning and Zoning Commission at the meeting on January 14, 2020.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission choose to approve the applicant's request to, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





SP2019-044 - 409 W. WASHINGTON STREET  
SITE PLAN - LOCATION MAP =

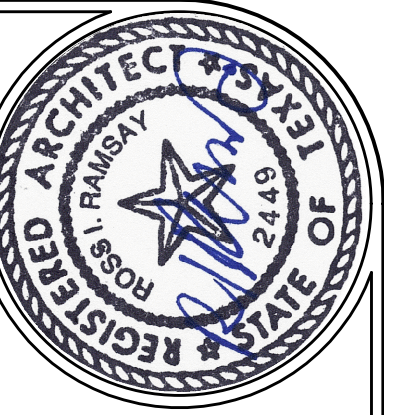


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

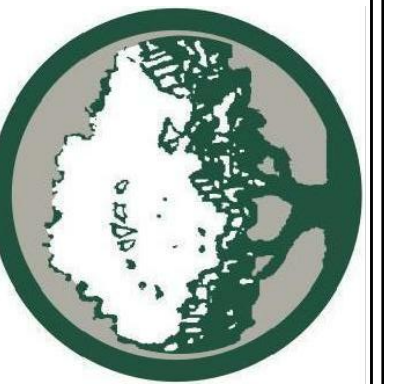
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



NO.	REVISIONS / DESCRIPTIONS/ISSUE	DATE

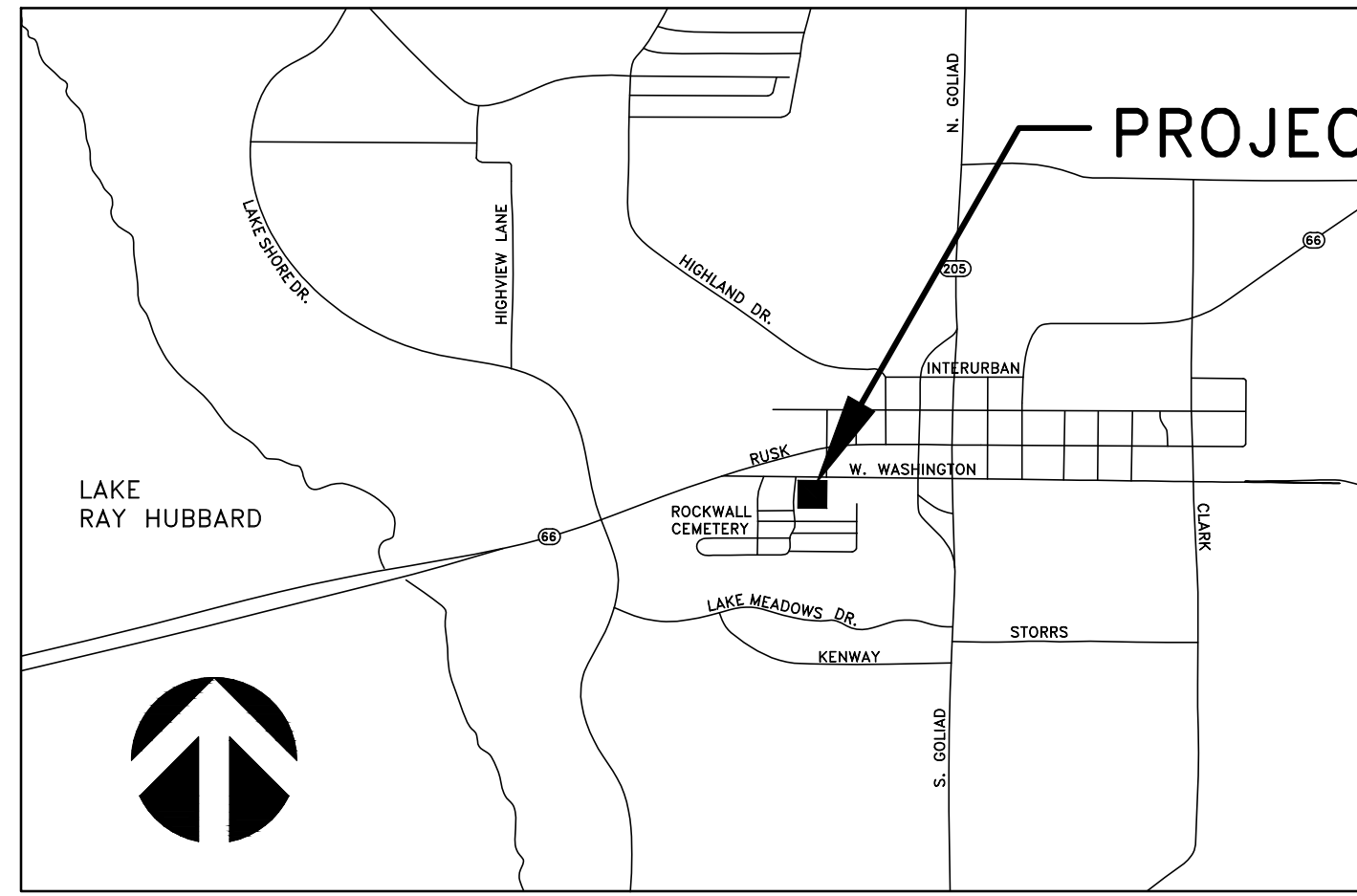
PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	1" = 20'
SHEET NO.	of

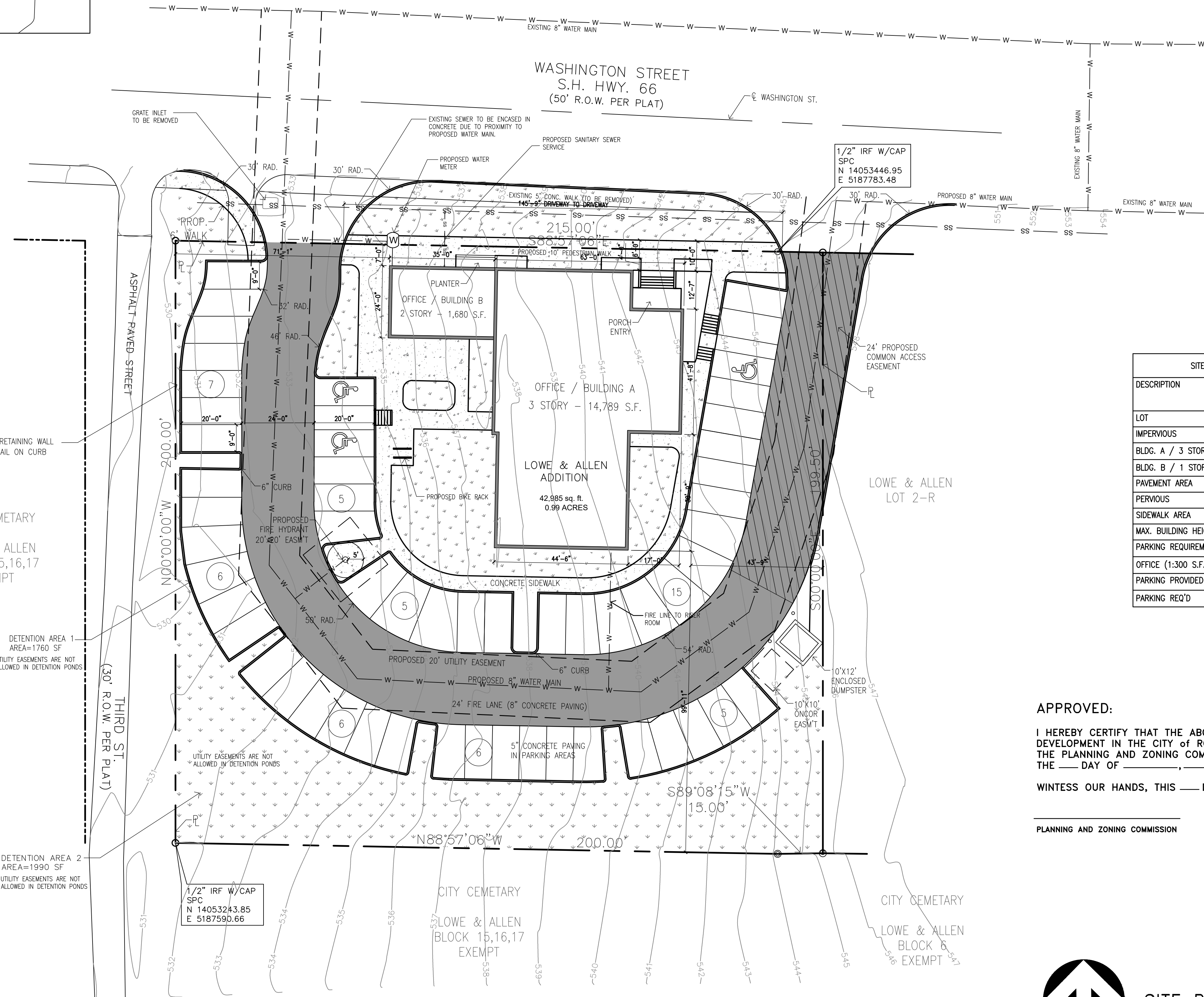
DRAWING NAME:  
**SITE PLAN**

**S1.0**

SP2019-044



VICINITY MAP



SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,453 S.F.	73.1%
BLDG. A / 3 STORY SURFACE AREA	4,929 S.F.	11.4%
BLDG. B / 1 STORY SURFACE AREA	840	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,532 S.F.	26.8 %
SIDEWALK AREA	4,635 S.F.	10.7 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,469 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_,

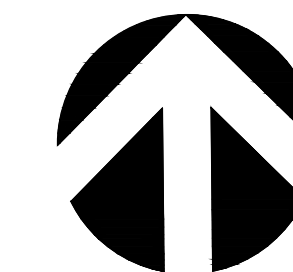
WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_,

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:  
LMGC, LLC  
JIMMY MCCLINTOCK  
(972)983-2222  
3021 RIDGE RD.  
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:  
RAMSAY & REYES, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



**SITE PLAN**

SCALE: 1"=20'  
0 20' 40'

PLANT SCHEDULE SITE SCREENING

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ao	Acer rubrum 'October Glory' / October Glory Red Maple 4" cal.	B & B	4 16"
	Cl	Chilopsis linearis 'Lucretia Hamilton' / Desert Willow 3" cal.	B & B	5 15"
	Cp	Cornus florida 'Cherokee Princess' / White Dogwood 3" cal.	B & B	2 6"
	Mdd	Magnolia grandiflora 'D.D. Blanchard' / Dwarf Magnolia 3" cal.	45 gal	2 6"
	Pe	Pinus ularica / Afghan Pine 6" cal.	B & B	2 12"
	Om	Quercus macrocarpa / Burr Oak 6" cal.	B & B	2 12"
	Qv	Quercus virginiana / Southern Live Oak 6" cal.	B & B	2 12"
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	3 6"
	Ul	Ulmus parviflora / Chinese Lacebark Elm 3" cal.	B & B	4 12"
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	10 127"
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Hp	Hesperaloe parviflora / Red Yucca	3 gal	8
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	3 gal	3
	Lg	Leucophyllum frutescens 'Green Cloud' TM / Texas Ranger	5 gal	12
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	5 gal	30
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower	3 gal	21
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	7
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass	3 gal	6
	Ptv	Pittosporum tobira 'Variegata' / Variegated Mock Orange	5 gal	15
	Ptw	Pittosporum tobira 'Wheeler's Dwarf' / Dwarf Pittosporum	3 gal	5
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary	3 gal	7
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	6
	Yp	Yucca pendula / Soft Leaf Yucca	5 gal	2
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	3
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass	sod	2,245 sf

REQUIRED PLANTINGS

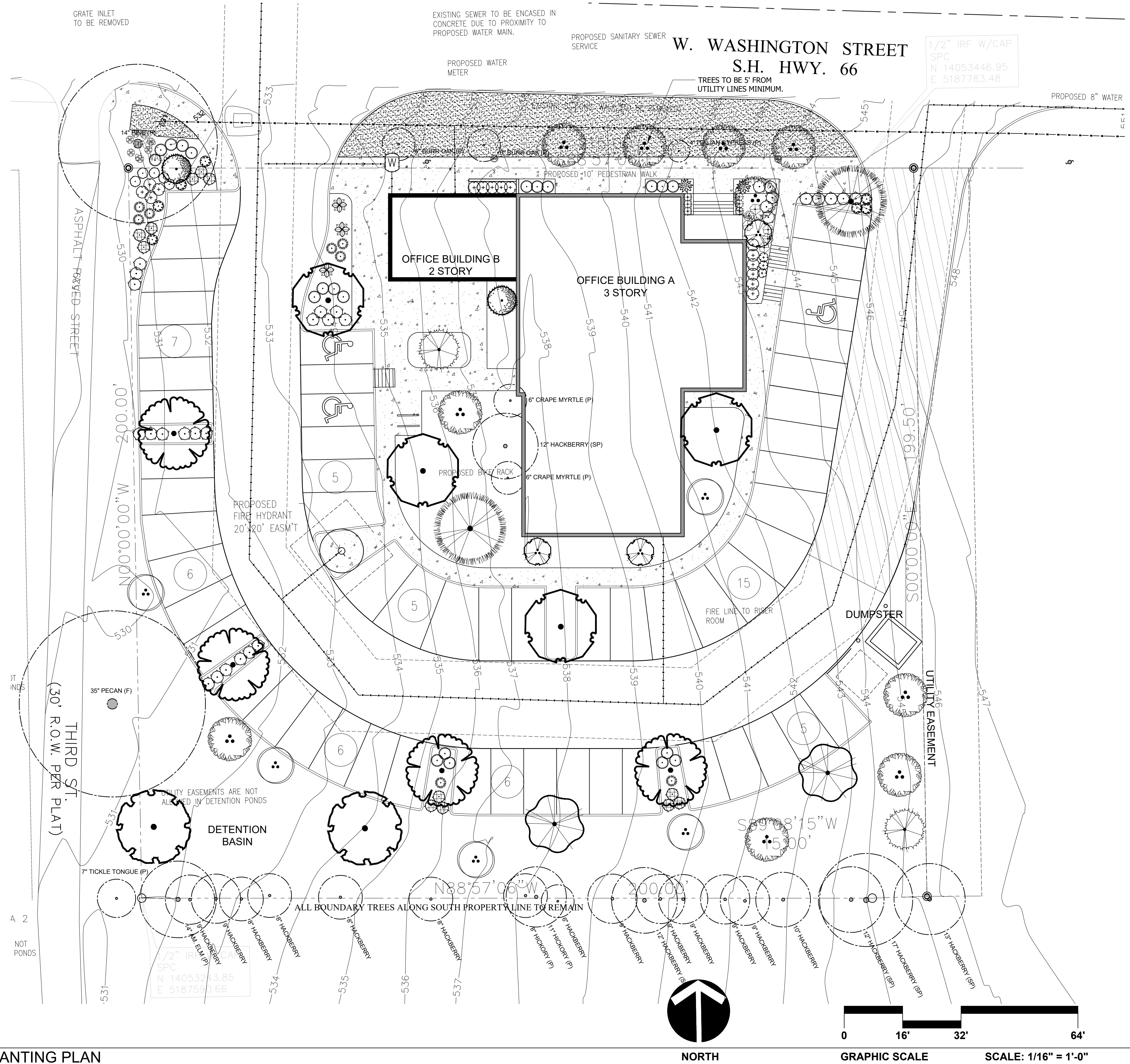
**A. STREET TREES:**  
**1 TREE FOR EVERY 50 L.F. OF FRONTAGE** W Washington Street - 215 / 50 = 4.3  
**4 TREES REQUIRED**  
**(6) 3" TREES PROVIDED**  
**(1) 6" TREE PROVIDED**

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 12 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF HOUSTON STANDARD IRRIGATION REQUIREMENTS.

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : .5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)

SITE SUMMARY		
DESCRIPTION	AMOUNT	LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,708 S.F.	73.8%
BLDG. A / 3 STORY SURFACE AREA	4,962 S.F.	11.5%
BLDG. B / 1 STORY SURFACE AREA	808 S.F.	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,277 S.F.	26.2 %
SIDEWALK AREA	4,889 S.F.	11.4 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,502 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	



Landscape Architecture  
 TX #5629 NV #583  
**MAYER**  
 Design Studio  
 2617 Jasmine Lane  
 Plano, TX 75074  
 Phone (702) 339-0825  
 voice (702) 339-0825  
 mike@mayerdesignstudio.com

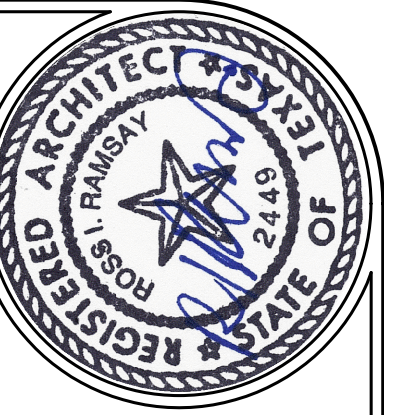


REVISIONS	DATE	BY

PLANTING PLAN

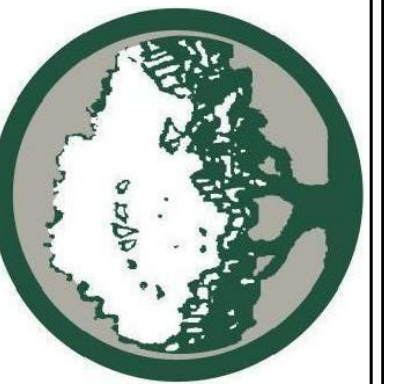
JOB:  
**BUSINESS PARK**  
 409 W WASHINGTON ST  
 ROCKWALL, TX 75087

19-20-03  
 DATE  
 JANUARY 7, 2020



**RAMSAY & REYES, LLC**  
 ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
 ROCKWALL, TEXAS 75087



DATE	REVISIONS	DESCRIPTIONS/ISSUE

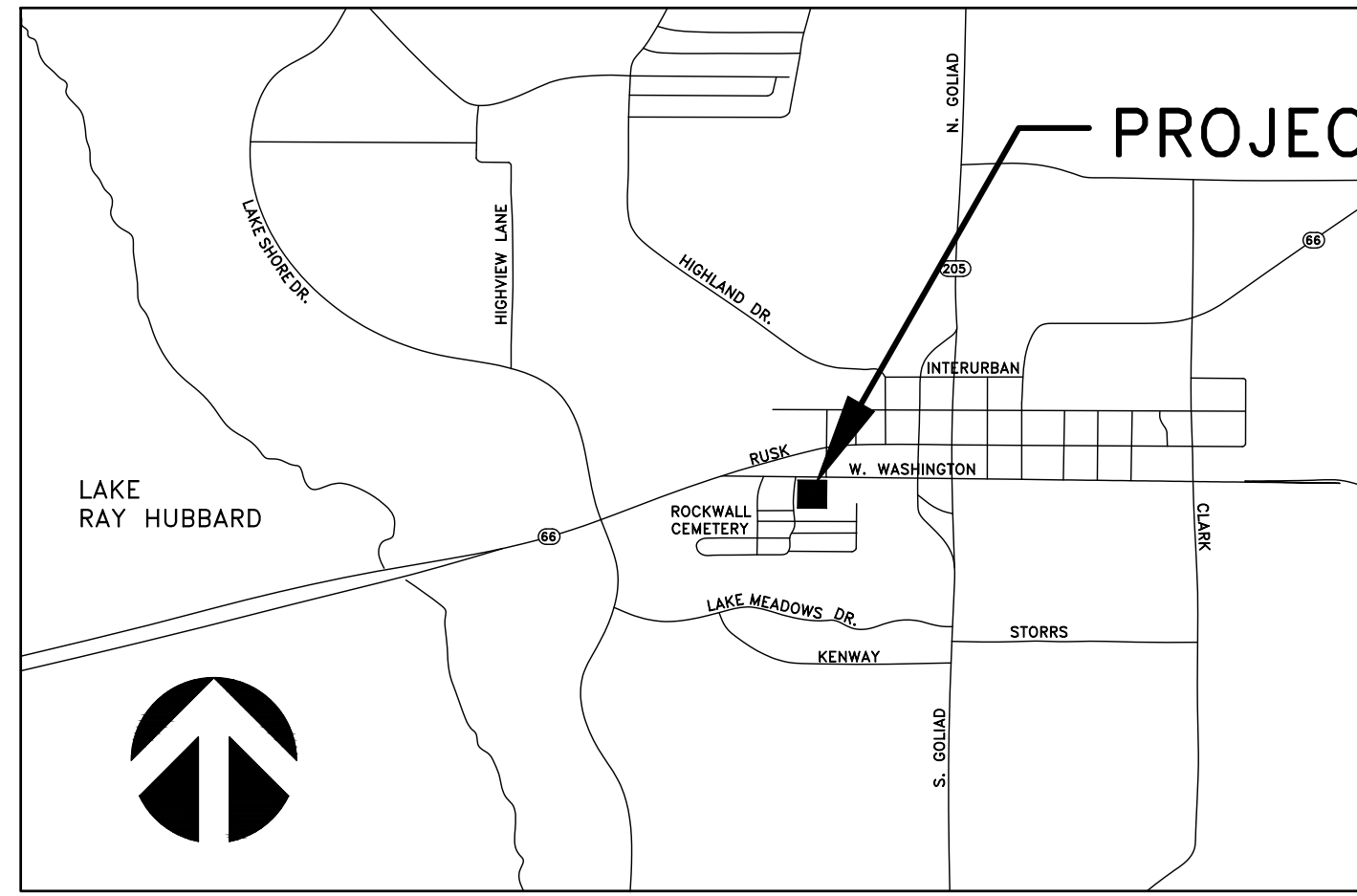
PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
 409 W. WASHINGTON  
 ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	1" = 20'
SHEET NO.	of

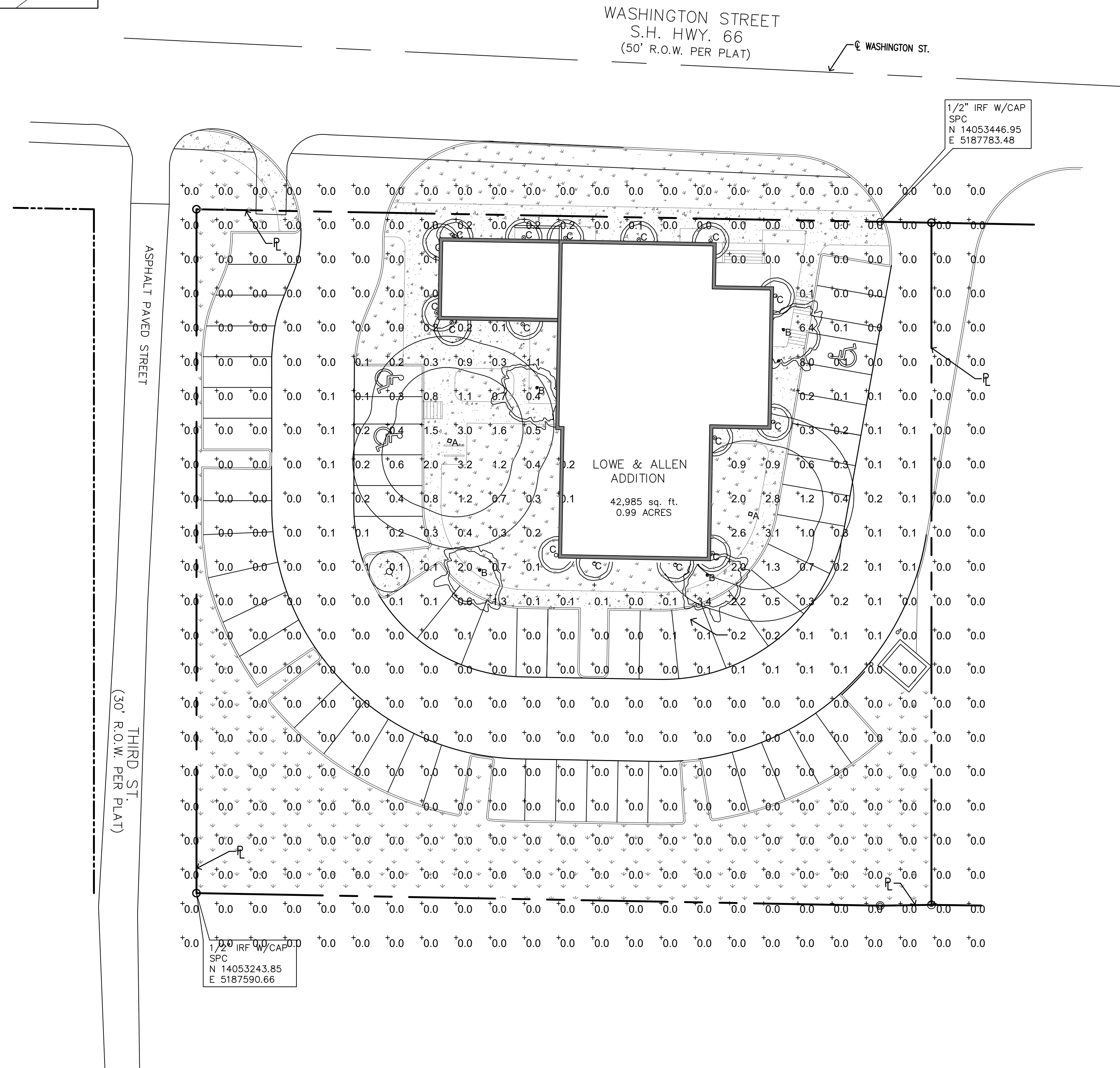
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**PHOTOMETRIC SITE PLAN**

**E1**

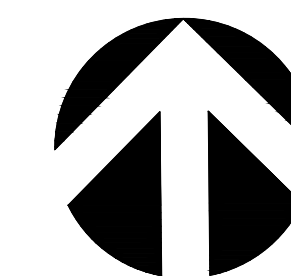
SP2019-044



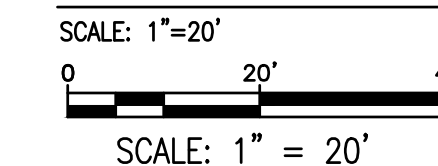
VICINITY MAP



DESCRIPTION		LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,453 S.F.	73.1%
BLDG. A / 3 STORY SURFACE AREA	4,929 S.F.	11.4%
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MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,469 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	

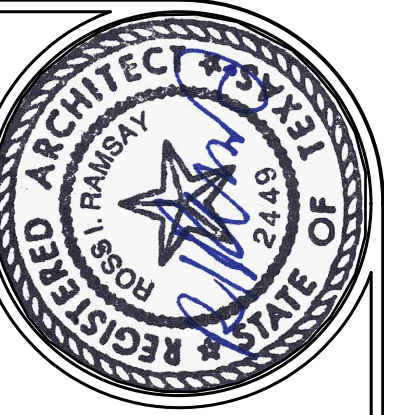


**PHOTOMETRIC SITE PLAN**



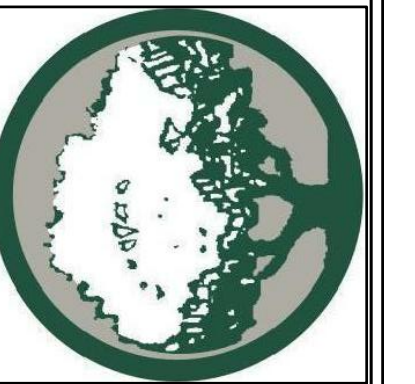
OWNER/DEVELOPER:  
 LMGC, LLC  
 JIMMY McCLINTOCK  
 (972)983-2222  
 3021 RIDGE RD.  
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:  
 RAMSAY & REYES, LLC  
 ROSS RAMSAY  
 (214)536-5306  
 2235 RIDGE RD. STE 201  
 ROCKWALL, TEXAS 75087



**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



NO.	DATE	REVISIONS	DESCRIPTIONS/ISSUE

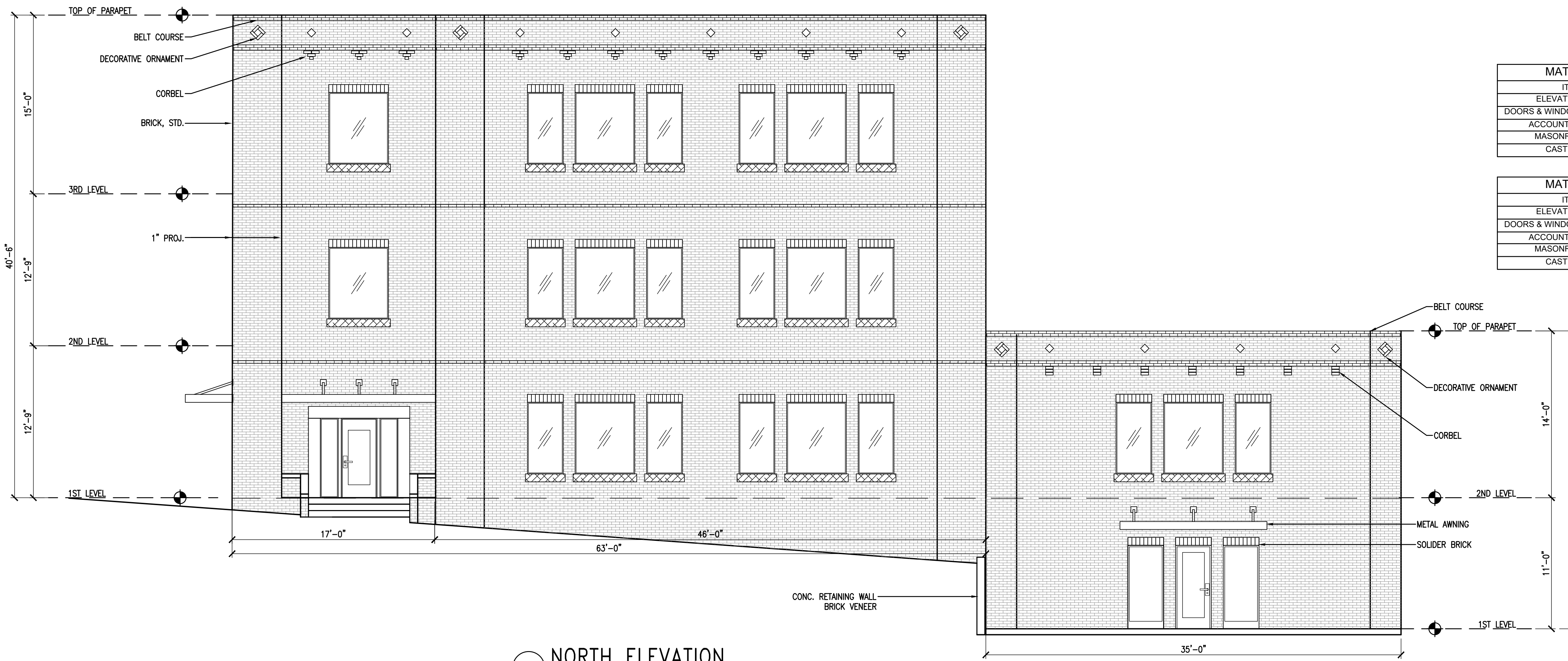
PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	3/16" = 1'
SHEET NO.	of

DRAWING NAME:  
**ELEVATION  
NORTH & SOUTH**

**A-201**

SP2019-044



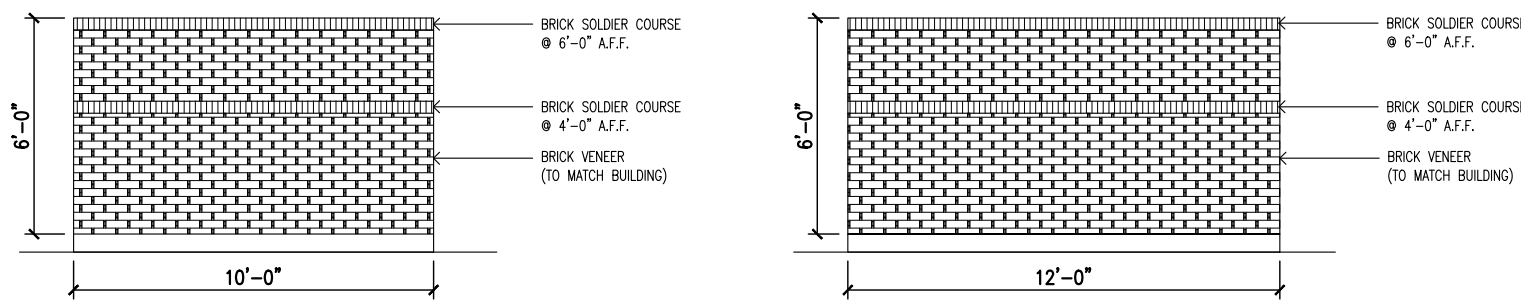
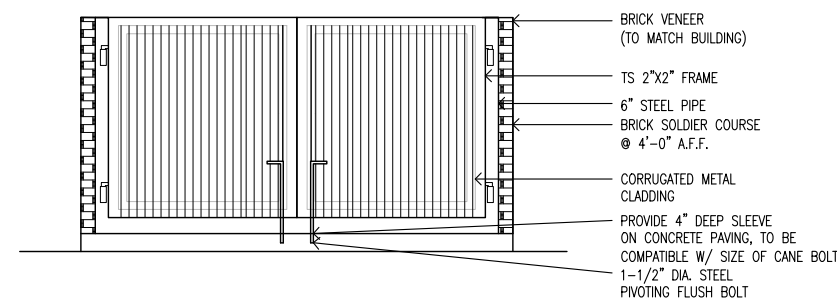
**MATERIAL USAGE (%) - BLDG 'A' NORTH**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,743	
DOORS & WINDOWS (DEDUCTED)		488	
ACCOUNTABLE AREA		2,255	100%
MASONRY - BRICK		2,178	96%
CAST STONE		77	4%

**MATERIAL USAGE (%) - BLDG 'B' NORTH**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		893	
DOORS & WINDOWS (DEDUCTED)		127	
ACCOUNTABLE AREA		766	100%
MASONRY - BRICK		740	96%
CAST STONE		26	4%

**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'



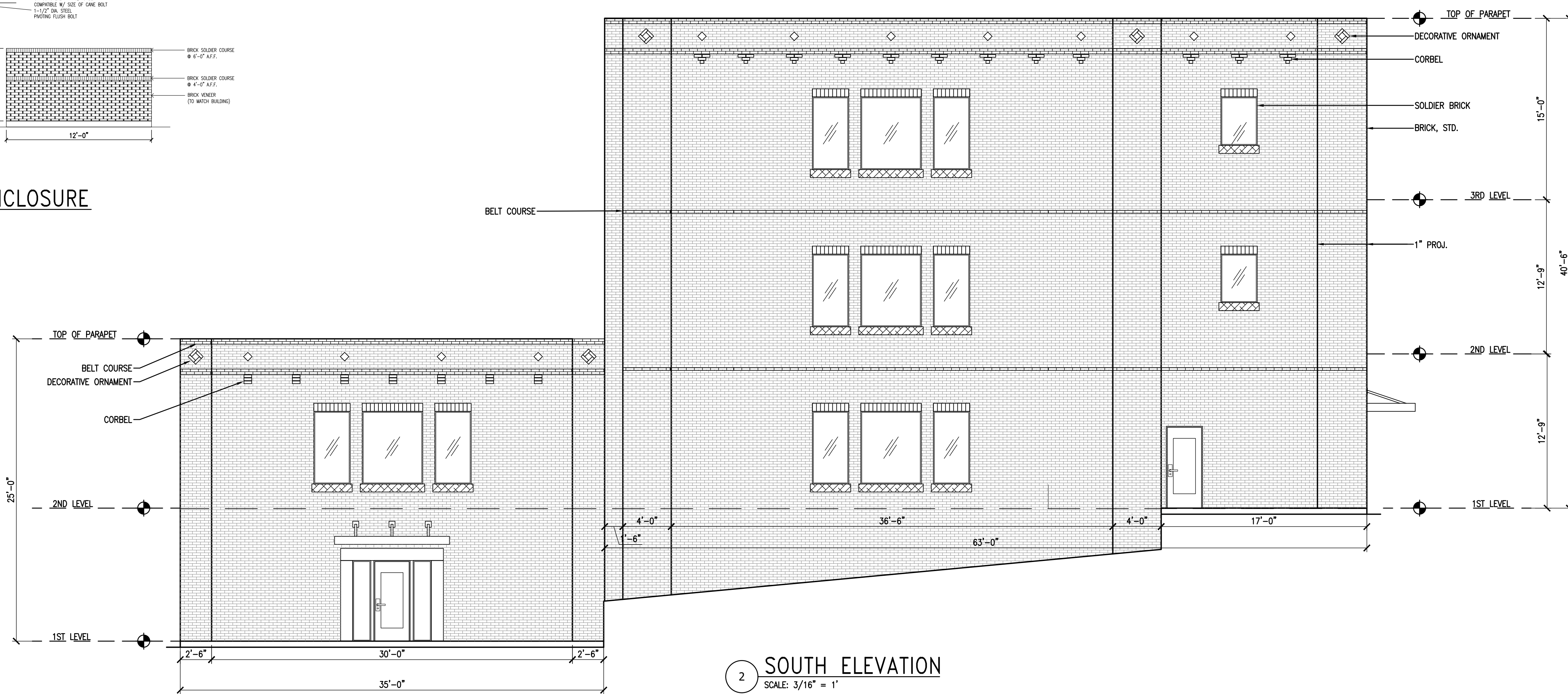
**1 DUMPSTER ENCLOSURE**  
SCALE: 3/16" = 1'

**MATERIAL USAGE (%) - BLDG 'A' SOUTH**

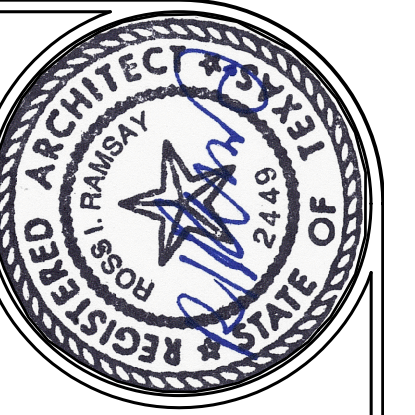
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,804	
DOORS & WINDOWS (DEDUCTED)		237	
ACCOUNTABLE AREA		2,567	100%
MASONRY - BRICK		1,770	97%
CAST STONE		77	3%

**MATERIAL USAGE (%) - BLDG 'B' SOUTH**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		893	
DOORS & WINDOWS (DEDUCTED)		107	
ACCOUNTABLE AREA		786	100%
MASONRY - BRICK		756	96%
CAST STONE		30	4%

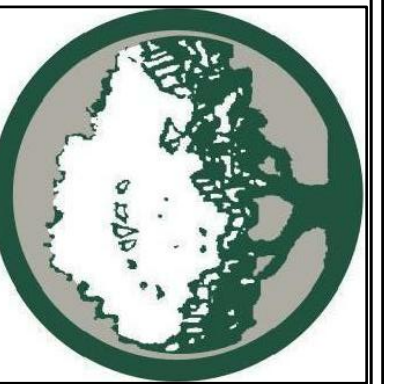


**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'



**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



DATE	REVISIONS / DESCRIPTIONS / ISSUE

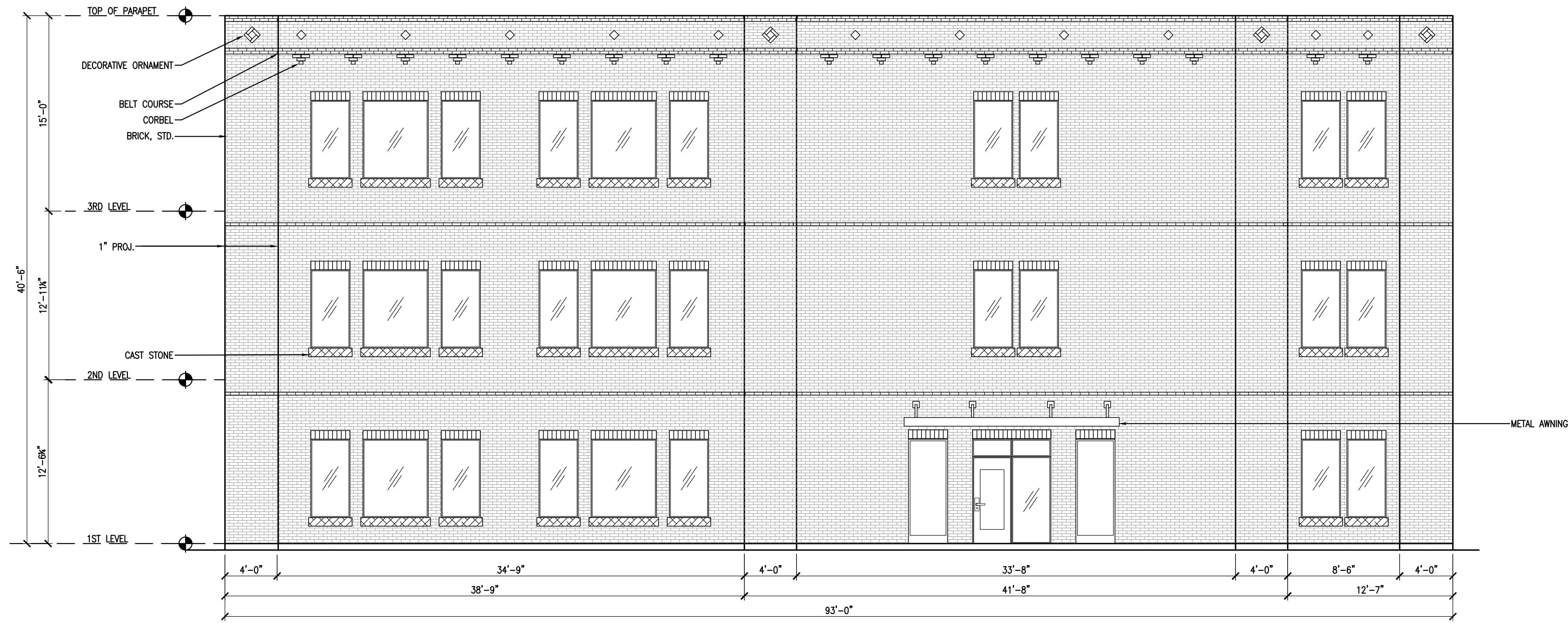
PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	3/16" = 1'
SHEET NO.	of

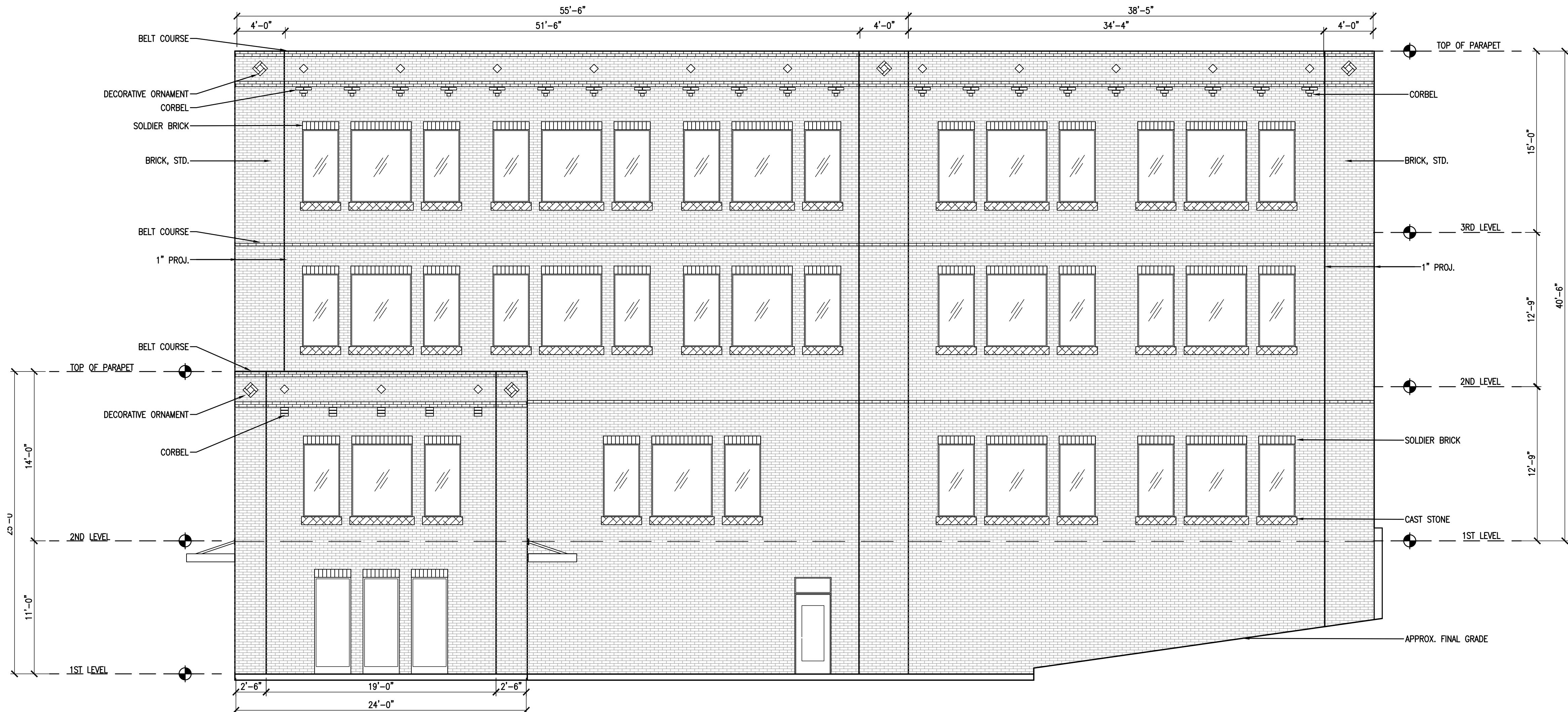
DRAWING NAME:  
**ELEVATION  
EAST & WEST**

**A-202**

SP2019-044



**1 EAST ELEVATION**  
SCALE: 3/16" = 1'



**2 WEST ELEVATION**  
SCALE: 3/16" = 1'

**MATERIAL USAGE (%) - BLDG 'A' EAST**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		3,810	
DOORS & WINDOWS (DEDUCTED)		660	
ACCOUNTABLE AREA		3,150	100%
MASONRY		3,080	97%
CAST STONE		70	3%

**MATERIAL USAGE (%) - BLDG 'A' WEST**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,176	
DOORS & WINDOWS (DEDUCTED)		853	
ACCOUNTABLE AREA		3,323	100%
MASONRY		3,219	97%
CAST STONE		104	3%

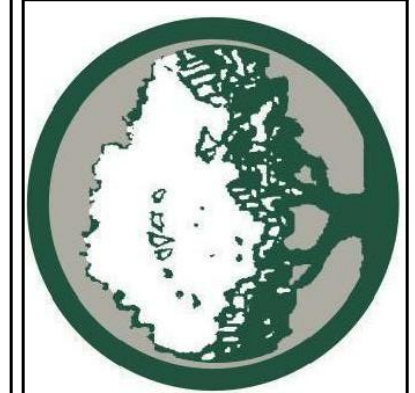
**MATERIAL USAGE (%) - BLDG 'B' WEST**

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		604	
DOORS & WINDOWS (DEDUCTED)		136	
ACCOUNTABLE AREA		468	100%
MASONRY		460	99%
CAST STONE		8	1%



**RAMSAY & REYES, LLC**  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200  
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:  
**BUSINESS PARK**  
409 W. WASHINGTON  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:  
**OUTDOOR LIGHT SPECS.**

**E2**  
SP2019-044



Consistent with LEED® goals & Green Globes® criteria for light pollution reduction

**American Revolution**  
Series 247 and 247 Cutoff  
50-150W HPS, 100-175W MH

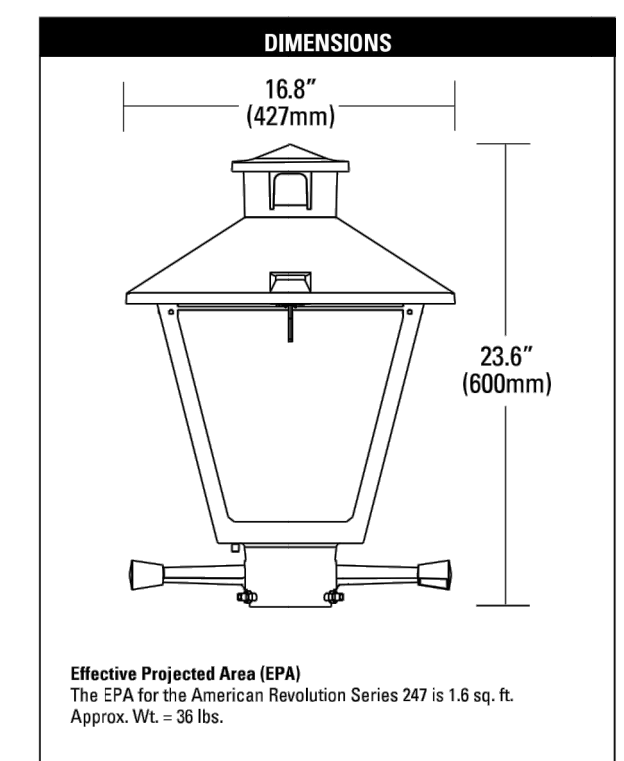
**PRODUCT OVERVIEW**



**Features:**  
Die-cast aluminum housing and hood for long-life performance  
Die-cast trigger latch (TL) option available for easy access to internal components  
Optical assembly designed for maximum performance  
Hinged hood and captive screw provision afford quick, easy access to electrical and optical area for relamping or servicing  
Sigflitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.  
E39 mogul base socket standard  
All electrical components warranted by American Electric Lighting's 6-year guarantee  
Complies with ANSI: C136.2, C136.10, C136.15, C136.31 (regular only), C136.16 (FC only)  
Suitable for -30°C MH & / -40°C HPS



**Applications:**  
Streetscapes  
Walkways  
Pathways  
Parks



**PREFERRED SELECTION CATALOG NUMBERS**

**Series 247**  
247 10S RN 120 R3 AY  
247 15S RN 120 R3 AY  
247 10S RN 120 R5 AY  
247 15S RN 120 R5 AY

**Series 247 Cutoff**  
247 10S XN 120 R2 FC TL  
247 10M XN MT1 R2 FC TL

Decorative

DL-247-A



**ANTIQUE STREET LAMPS**  
**RESONANCE BOLLARD 1.0 HID**  
TLRCB10

CATALOG # \_\_\_\_\_  
PROJECT \_\_\_\_\_  
TYPE \_\_\_\_\_



**Construction:**  
The luminaire is die cast and permanent mold aluminum. The roof has an internal hinge, hidden from view. Roof and ballast lids are sealed with silicone gaskets. All exposed hardware is weather resistant. FINISH: The luminaire has a powder coat finish utilizing a premium IGC polyester powder. The finish is a three-stage process that consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.

**Optics:**  
The horizontal lens is tempered flt glass with a continuous seal. The luminaire utilizes an internal anodized and segmented reflector with sockets for horizontal lamp. Reflectors are available in Type II, III, IV, and V, full cutoff distributions, are interchangeable and rotatable.

**Electrical:**  
Luminaire is furnished with an HID ballast assembly. Sockets are porcelain, medium base, with a copper alloy nickel plated screw shell and center contact. Ballasts are core and coil, high-power factor, regulating type. Lamp is not included.

**Installations:**  
The Resonance Bollard offers a patented impact resistant mounting and leveling design ensuring lifelong performance. Three leveling pads within the base mounting plate are easily accessible through the access panel. The leveling pads provide full contact with the concrete pad, providing a high degree of stability. The base mounting plate is fully welded to the bollard post, providing complete structural support from all directions, giving the bollard superior vandal resistance.

**Listings:**  
The luminaire is tested to and meets all NRTL's outdoor requirement standards, wet location use, through the fully accredited and approved CSA laboratory.

Sample Catalog number:

Series	Lamp Type	GCF	R3	240	SF	DWH
TLRCB10	100M MED					

Ordering Guide:

Series	Lamp Type	Lens	Distribution	Voltage	Options
TLRCB10	50M MED 70M MED 100M MED 39MHC G12 70MHC G12 26TRT 32TRT 42TRT	GCF	R2 TYPE 2 R3 TYPE 3 R4 TYPE 4 R5 TYPE 5	120 208 240 277 MVOLTS	SF SINGLE FUSE DF DOUBLE FUSE HF HOUSE SIDE SHIELD (TYPE 2 & 3 ONLY)

**Finish**

DBL	BLACK
DDB	DARK BRONZE
DNA	NATURAL ALUMINUM
DWH	WHITE
CM	CUSTOM MATCH
CS	CUSTOM SELECT
	RAL COLORS

**Notes:**  
1. 120V and 277V only  
2. Not available with CFL  
3. Consult factory for 208 volt available in Canada  
4. Multi-cap ballast (120, 208, 240, 277V), only available CFL

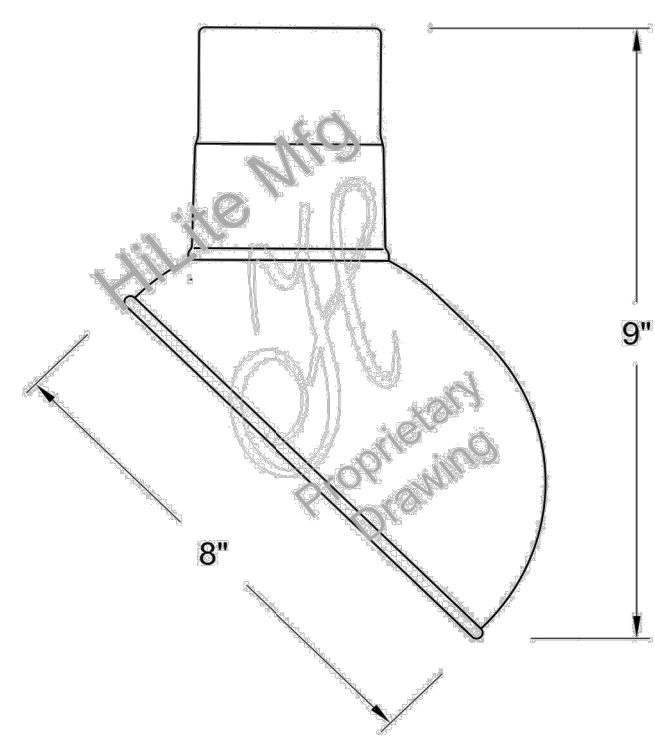
Antique Street Lamps™ | 3825 Columbus Road | Grinnville, OH 43023 | Phone: 1-800-410-8899 | www.antiquestreetlamps.com  
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**HILITE MFG. CO., INC**  
13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
web: www.hilitemfg.com  
e-mail: sales@hilitemfg.com

**H-EM-08 Emblem Shade Collection**

Job Name: \_\_\_\_\_  
Type: \_\_\_\_\_  
Quantity: \_\_\_\_\_



**FINISH** - Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.  
Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).  
Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.  
For interior finish of fixture refer to color chart on pages 344-348.

**REFLECTOR** - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

**SOCKETS/LAMPS** - Available in:  
Incandescent  
- rated 200 watt max/120 volt, medium base.  
Compact Fluorescent(CFL)  
- rated 13/18/26/32 watt max/120/277 volt, GX24Q base.  
Metal Halide(MH)  
- rated 35/50/70/100 watt max/120/208/240/277 volt, medium base, 4KV socket.  
High Pressure Sodium(HPS)  
- rated 50/70/100 watt max/120/277 volt, medium base.

**MOUNTING** - Stem, Arm, and Flush mounting available.

**ACCESSORIES** - WGR(Wire Guard) and SK(Swivel Knuckle) available.

MADE IN THE U.S.A.

Suitable for wet location.  
(Except when cord mounted)



**Lee, Henry**

---

**From:** Steven Reyes <steven.reyes85@yahoo.com>  
**Sent:** Monday, November 18, 2019 8:36 AM  
**To:** Gonzales, David  
**Subject:** 409 W Washington  
**Attachments:** 11\_15\_19-BUILDINGRENDER.png

The render should've been included in the flash drive. See attached

Steven Reyes (972)345-1684 Ramsay & Reyes

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## Lee, Henry

---

**From:** Miller, Ryan  
**Sent:** Tuesday, July 28, 2020 1:49 PM  
**To:** Gonzales, David  
**Cc:** Henry Lee  
**Subject:** FW: 409 W. Washington

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

FYI ... this is concerning Ross's project over there on Washington Street. He will need to add this to his mitigation costs. Thanks.



**RYAN C. MILLER, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
RMILLER@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

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NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

---

**From:** Sales, Travis  
**Sent:** Tuesday, July 28, 2020 1:48 PM  
**To:** Miller, Ryan  
**Subject:** 409 Rusk Tree Evaluation

30" caliper Pecan  
Carla illinoensis

This tree is showing some signs of limb die back sporadically and is not uncommon in the summer for a pecan of this age

There are many improper pruning cuts that might be playing a part in the limb die back.

For the most part I would say the tree is an average to above average health.

I saw no sign of disease or insect and feel that this tree is a candidate for tree mitigation.

ISA Certified Arborist  
ISA Municipal Specialist  
TX0973

Travis E. Sales, MCPTM  
City of Rockwall  
Director Parks, Recreation and Animal Services  
108 E. Washington

Rockwall, Texas, 75087

Office: 972-772-6467

Mobile: 972-880-4234

---

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## Lee, Henry

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**From:** Steven Reyes <steven.reyes85@yahoo.com>  
**Sent:** Wednesday, August 5, 2020 3:45 PM  
**To:** Gonzales, David  
**Subject:** Fwd: 409 pecan tree # 2157 (29" pecan)  
**Attachments:** 409 Wash - L1.1 TREESCAPE.pdf; 409 Wash - L2.1 PLANTING.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dave:  
Here is the latest on the landscape plans

---

**From:** Ross Ramsay [<mailto:r7ramsay@yahoo.com>]  
**Sent:** Tuesday, July 28, 2020 1:48 PM  
**To:** Michael Mayer <[mike@mayerdesignstudio.com](mailto:mike@mayerdesignstudio.com)>  
**Subject:** 409 pecan tree # 2157 (29" pecan)  
The city arborist said it is healthy , so we need to mitigate it.  
Regards,  
Ross Ramsay

---

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## Lee, Henry

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**From:** Gonzales, David  
**Sent:** Wednesday, August 5, 2020 5:10 PM  
**To:** 'Steven Reyes'  
**Subject:** RE: 409 pecan tree # 2157 (29" pecan)  
**Attachments:** TREESCAPE PLAN [Staff Mark-Up -- Revised Plan] (08.05.2020).pdf

Steven,

Please see the attached mark-up for the treescape plan. I spoke with Ryan and he is OK with 100% of the balance towards the City's Tree Fund. This would be due at the time of platting. If this is OK, then simply make the changes to the plan. However, if your client would rather plant the trees to satisfy the mitigation, then they will need to work out an arrangement with the Parks Department.

Let me know what you would like to do.

Thank you,



**DAVID GONZALES, AICP**  
PLANNING & ZONING MANAGER  
PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6488 OFFICE  
[DGONZALES@ROCKWALL.COM](mailto:DGONZALES@ROCKWALL.COM)

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

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**From:** Steven Reyes [<mailto:steven.reyes85@yahoo.com>]  
**Sent:** Wednesday, August 5, 2020 3:45 PM  
**To:** Gonzales, David  
**Subject:** Fwd: 409 pecan tree # 2157 (29" pecan)

Dave:  
Here is the latest on the landscape plans

---

**From:** Ross Ramsay [<mailto:r7ramsay@yahoo.com>]  
**Sent:** Tuesday, July 28, 2020 1:48 PM  
**To:** Michael Mayer <[mike@mayerdesignstudio.com](mailto:mike@mayerdesignstudio.com)>  
**Subject:** 409 pecan tree # 2157 (29" pecan)

The city arborist said it is healthy , so we need to mitigate it.  
Regards,

Ross Ramsay

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