



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP 2019-040 P&Z DATE 10/29/2019 <sup>P&Z</sup> QC DATE 11/12/2019 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION	
<input type="checkbox"/>	SPECIFIC USE PERMIT
<input type="checkbox"/>	ZONING CHANGE
<input type="checkbox"/>	PD CONCEPT PLAN
<input type="checkbox"/>	PD DEVELOPMENT PLAN

SITE PLAN APPLICATION	
<input checked="" type="checkbox"/>	SITE PLAN
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN
<input type="checkbox"/>	PHOTOMETRIC PLAN
<input type="checkbox"/>	BUILDING ELEVATIONS
<input type="checkbox"/>	MATERIAL SAMPLES
<input type="checkbox"/>	COLOR RENDERING

PLATTING APPLICATION	
<input type="checkbox"/>	MASTER PLAT
<input type="checkbox"/>	PRELIMINARY PLAT
<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	REPLAT
<input type="checkbox"/>	ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/>	VACATION PLAT
<input type="checkbox"/>	LANDSCAPE PLAN
<input type="checkbox"/>	TREESCAPE PLAN

<input type="checkbox"/>	COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/>	APPLICATIONS
<input checked="" type="checkbox"/>	RECEIPT
<input checked="" type="checkbox"/>	LOCATION MAP
<input type="checkbox"/>	HOA MAP
<input type="checkbox"/>	PON MAP
<input type="checkbox"/>	FLU MAP
<input type="checkbox"/>	NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/>	500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/>	PROJECT REVIEW
<input type="checkbox"/>	STAFF REPORT
<input type="checkbox"/>	CORRESPONDENCE
<input type="checkbox"/>	COPY-ALL PLANS REQUIRED
<input type="checkbox"/>	COPY-MARK-UPS
<input type="checkbox"/>	CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/>	MINUTES-LASERFICHE
<input type="checkbox"/>	PLAT FILED DATE _____
<input type="checkbox"/>	CABINET # _____
<input type="checkbox"/>	SLIDE # _____
<b>NOTES:</b> _____	
_____	
_____	
_____	
_____	
_____	
<b>ZONING MAP UPDATED</b> _____	



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
**PLANNING & ZONING CASE NO.** 82019-040  
**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.  
**DIRECTOR OF PLANNING:** *[Signature]*  
**CITY ENGINEER:** *[Signature]*

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

**Platting Application Fees:**  
 Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>  
 Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>  
 Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
 Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
 Amending or Minor Plat (\$150.00)  
 Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**  
 Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>  
 Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**  
 Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>  
 Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>  
 PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**  
 Tree Removal (\$75.00)  
 Variance Request (\$100.00)

**Notes:**  
<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address \_\_\_\_\_  
 Subdivision Ellis Centre, Phase Two Lot 1 Block D  
 General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LF Current Use Vacant  
 Proposed Zoning LI Proposed Use LI  
 Acreage 7.02 Lots [Current] 1 Lots [Proposed] 2

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Rockwall Urban Industrial, LP</u>	<input type="checkbox"/> Applicant	<u>Half Associates</u>
Contact Person	<u>Reid Caldwell</u>	Contact Person	<u>Matthew Gardner</u>
Address	<u>13150 Coit Rd Suite 205</u>	Address	<u>1201 North Bowser</u>
City, State & Zip	<u>Dallas, TX 75240</u>	City, State & Zip	<u>Richardson, TX 75081</u>
Phone	<u>214-457-8198</u>	Phone	<u>214-346-6308</u>
E-Mail	<u>rcid@longbowinterests.com</u>	E-Mail	<u>mgardner@half.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Reid Caldwell [Owner] the undersigned, who stated the information on this application to be true and certified the following:

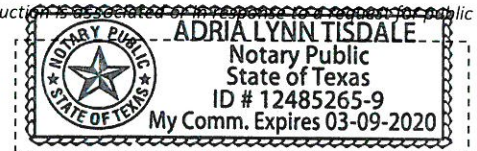
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 490.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 18 day of October, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 18 day of Oct., 20 19.

Owner's Signature

*[Signature: Reid Caldwell]*  
*[Signature: Adria Lynn Tisdale]*

Notary Public in and for the State of Texas



My Commission Expires 3-9-2020



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 10/21/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 10/24/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 10/29/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 10/29/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number: SP2019-040**  
**Project Name: Ellis Centre Phase 2 Addition**  
**Project Type: SITE PLAN**  
**Applicant Name: HALFF ASSOCIATES**  
**Owner Name: ROCKWALL URBAN INDUSTRIAL, LP**  
**Project Description:**



1201 North Bowser Road  
Richardson, Texas 75081  
(214) 346-6200  
Fax (214) 739-0095

## LETTER OF TRANSMITTAL

**TO:** City of Rockwall  
385 S Goliad  
Rockwall, Texas 75807  
**Attn:** Korey Brooks

**DATE:** October 18, 2019

**AVO:** 35989

**FROM:** Matthew Gardner, PE  
*Email: [mgardner@half.com](mailto:mgardner@half.com)*

**PROJECT:** Rockwall Urban + Industrial Center

**WE ARE SENDING YOU**  ATTACHED

- Shop Drawings     Prints                     Plans                     Drawings                     Specifications
- Copy of letter     Change order     Other:

**THESE ARE TRANSMITTED as checked below:**

- As requested                     Approval as submitted                     Resubmit \_\_\_\_\_ copies for approval
- For your use                     Approved as noted                     Submit \_\_\_\_\_ copies for distribution
- For signature                     Returned for corrections                     Return \_\_\_\_\_ corrected prints
- For review/comment**                     Other: \_\_\_\_\_

**ITEMS SENT:**

- 1 – Application and Application Fee
- 1 – Site Plan Checklist
- 1 – Variance Letter
- 4 – Site Plan Packages
- 1– Material Sample Board
- 1 – CD w/ files

**COMMENTS:**

Attached are the above referenced items for the Site Plan Submittal. If there are any questions, please call me at 214-346-6308. Thank you.

SIGNED: Matthew Gardner, PE

Recipient Signature: \_\_\_\_\_

COPIES:  FILE



# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

OVERLAY DISTRICT: \_\_\_\_\_

REVIEW DATE: \_\_\_\_\_

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 5.04
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	Art. VI 5.03.C
Adequate Loading Area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	Art. VI 6.04
Adequate Loading Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.02

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE: All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.</b>				
Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the <b>proposed signage</b> .	-

## 2.4 SITE PLAN: SCREENING

Requirements	✓ = OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	Art. VIII 8
Utility Equipment Screening (Pad or Ground Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.3
Utility Equipment Screening (Roof Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.05.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.05.4
Dumpster Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. V 1.05.2
Outside Storage	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.05.1
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference <i>Art. VIII 5.2</i> ).	Art. V 1.06

## 3.1 LANDSCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	-

Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	-
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.01
Acceptable Landscape Materials:				Art. VIII 4
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix F
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix F
Protected Trees (To Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said tress shall be protected prior to and during all construction, including dirt work.	Art. IX 5.5
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.03.E
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	Art. V 1.08
Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. V 5.01
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	Art. VIII 5.03.E
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.04

#### 4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-



Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Non-residential properties shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VII 3.4.A
Indicate all Exterior Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 6.02.C
Indicate Amount and Location of the 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 6.02.C
Indicate the Surface Area of Each Facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each facade and the percentage and square footage of each material used on that facade.	-

Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
Indicate Parapet Wall Height (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	-
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	-
Indicate Any Additional Design Elements Proposed (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	-
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.01.B
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 25% x L</li> <li>4. Wall Projection = 25% x H</li> <li>5. Primary Entry/Arch. Element Width = 2 x (25% x L)</li> <li>6. Projection Height = 25% x H</li> <li>7. Primary Entry/Arch. Element Length = 2 x (25% x L)</li> </ol>	Art. V 4.01.C
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 15% x L</li> <li>4. Secondary Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 4.01.C

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE: Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.</b>				
90% Masonry Requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 5.01.A
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 5.01.A
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 4 x H</li> <li>3. Wall Projection = 25% x H</li> <li>4. Entry/Arch. Element Length = 33% x L</li> <li>5. Projection Height = 25% x H</li> <li>6. Entry/Arch. Element Width = 2 x (25% x H)</li> </ol>	Art. V 5.01.C
Secondary Facades	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Entry/Arch. Element Length = 15% x L</li> <li>4. Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 5.01.C

Pre-Development Meeting:

Date: 7/25/19

Administrative Site Plan/Public Hearing Site Plan

1) Is the property located within an Overlay District or a Planned Development District?  YES  NO

2) If yes which Overlay District or Planned Development District? \_\_\_\_\_

3) Is the applicant requesting appeals?  YES  NO

4) If yes note the appeals:

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**Planning & Zoning Work Session (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

**ARB Meeting**

Date: \_\_\_/\_\_\_/\_\_\_

**Planning and Zoning Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

**City Council Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

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**GENERAL NOTES:**

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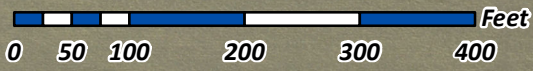
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SP2019-040 - SITE PLAN FOR ELLIS CENTRE PHASE 2 ADDITION  
SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





October 18, 2019  
AVO 35989

Korey Brooks, AICP  
Senior Planner  
Planning and Zoning  
City of Rockwall  
385 S. Goliad St  
Rockwall, Texas 75087

RE: Detention Pond Slope Variance for Rockwall Urban + Industrial Center

Dear Mr. Brooks:

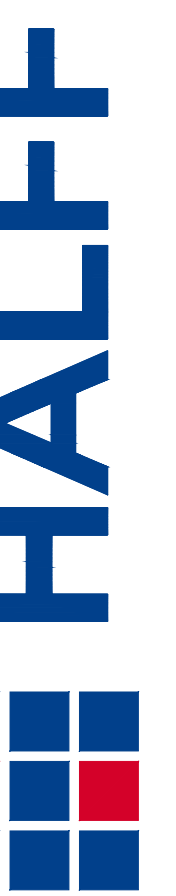
On behalf of Reid Caldwell and Rockwall Urban Industrial, LP we request a variance to section 3.3.4A of the City of Rockwall Standards of Design and Construction that states "Detention ponds shall have a side slope 4:1 or flatter." Based on maximizing the value of this property and the proposed site layout the detention pond will need to have retaining walls in order to meet the City of Rockwall drainage design.

We believe this variance request is reasonable because it is consistent with the developments directly around our site. The site located directly to our south at the NE Corner of Alpha Dr. and Sigma Ct. has retaining walls built as part of its detention system. If there are any questions or concerns please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Matthew Gardner".

Matthew Gardner, P.E.  
Civil Engineer  
[mgardner@halff.com](mailto:mgardner@halff.com)  
214-346-6308  
HALFF ASSOCIATES, INC.

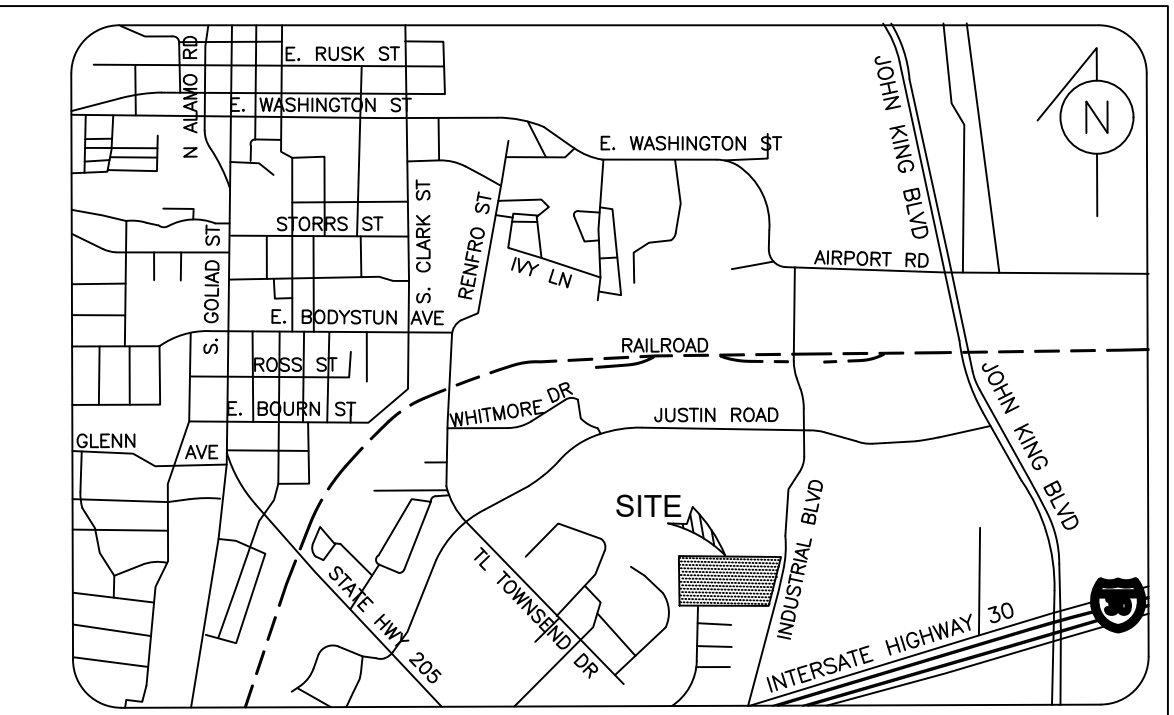


Revision No.	Date	Description

**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY  
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:  
 DYLAN B. HEDRICK 102108  
 NAME P.E. NO.  
 DATE 10/18/2019  
 TBPE FIRM # F-312

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL , LP  
 13150 COIT ROAD  
 DALLAS, TX. 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198  
**ENGINEER**  
 HALFF ASSOCIATES, INC.  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX. 75081  
 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

Project No.: 35989  
 Issued: OCTOBER 2019  
 Drawn By: REP  
 Checked By: DBH  
 Scale: AS SHOWN  
 Sheet Title  
**DETAILED SITE PLAN**  
**1 OF 1**  
 Sheet Number



**SHEET DATA:**

<b>CURRENT ZONING</b>	LIGHT INDUSTRIAL
<b>PROPOSED LAND USE:</b>	LIGHT INDUSTRIAL
<b>TOTAL SITE AREA:</b>	7.02 ACRES

<b>BUILDING:</b>		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

<b>PARKING:</b>		
REQUIRED: 1 SPACE/1,000 SF		
TOTAL REQUIRED:	88	SPACES
PROVIDED:	161	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

\*SPACES ARE INCLUDED IN TOTAL ABOVE

**PAVING LEGEND**

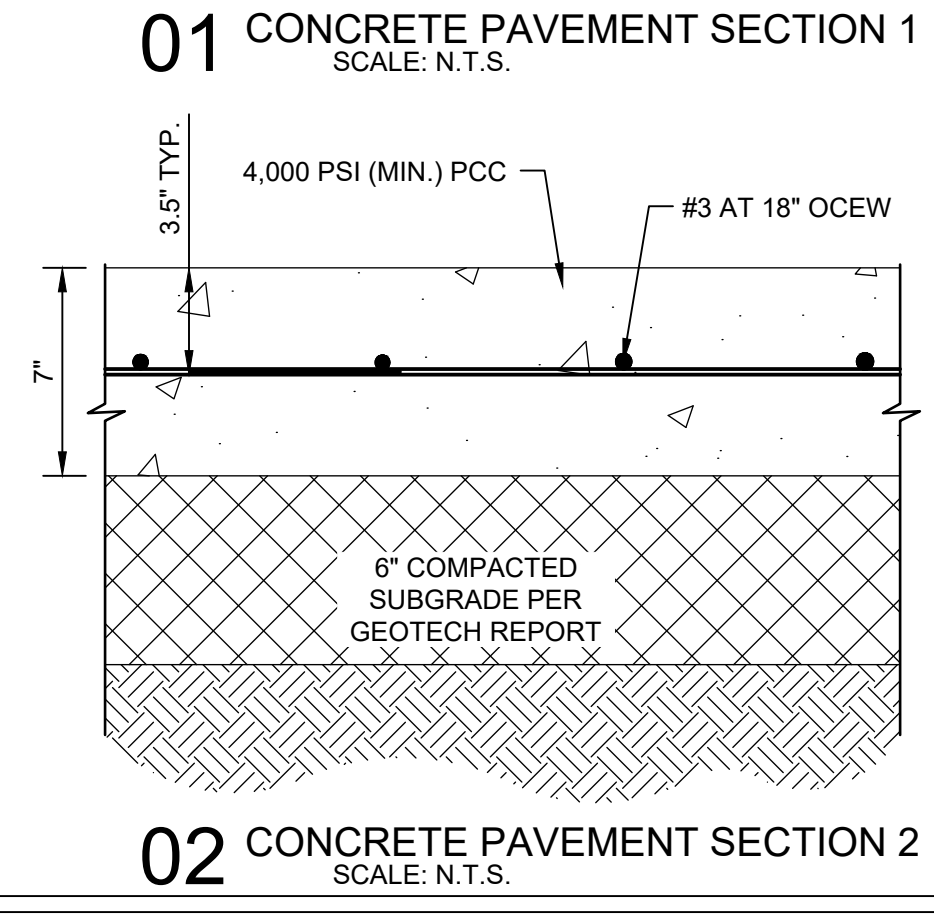
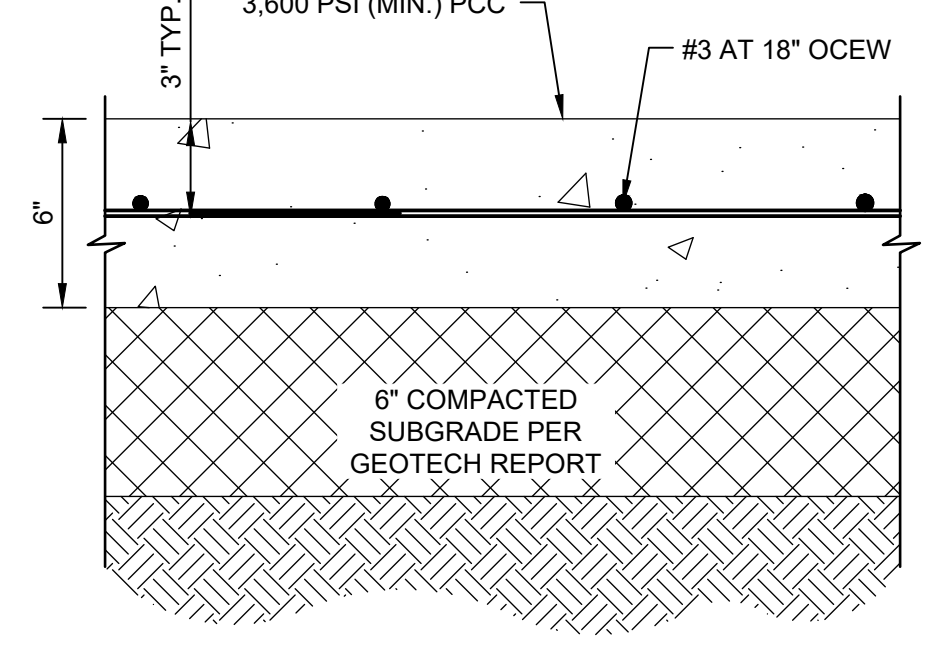
- 6" 3,600 PSI CONCRETE PAVEMENT.
- 7" 4,000 PSI CONCRETE PAVEMENT.
- 4" SIDEWALK
- 6" CURB
- FIRE LANE
- PROPERTY LINE

**EXISTING FEATURES LEGEND**

- F.H. FIRE HYDRANT
- PP OVERHEAD POWERPOLE
- SSMH SANITARY SEWER MANHOLE
- WV WATER VALVE
- EXISTING CONTOURS

**PROPOSED FEATURES LEGEND**

- POWER POLE
- FIRE HYDRANT
- GRATE INLET
- CURB INLET
- STORM HEADWALL
- TRANSFORMER PAD
- PROPOSED CONTOURS
- LIGHT POLE



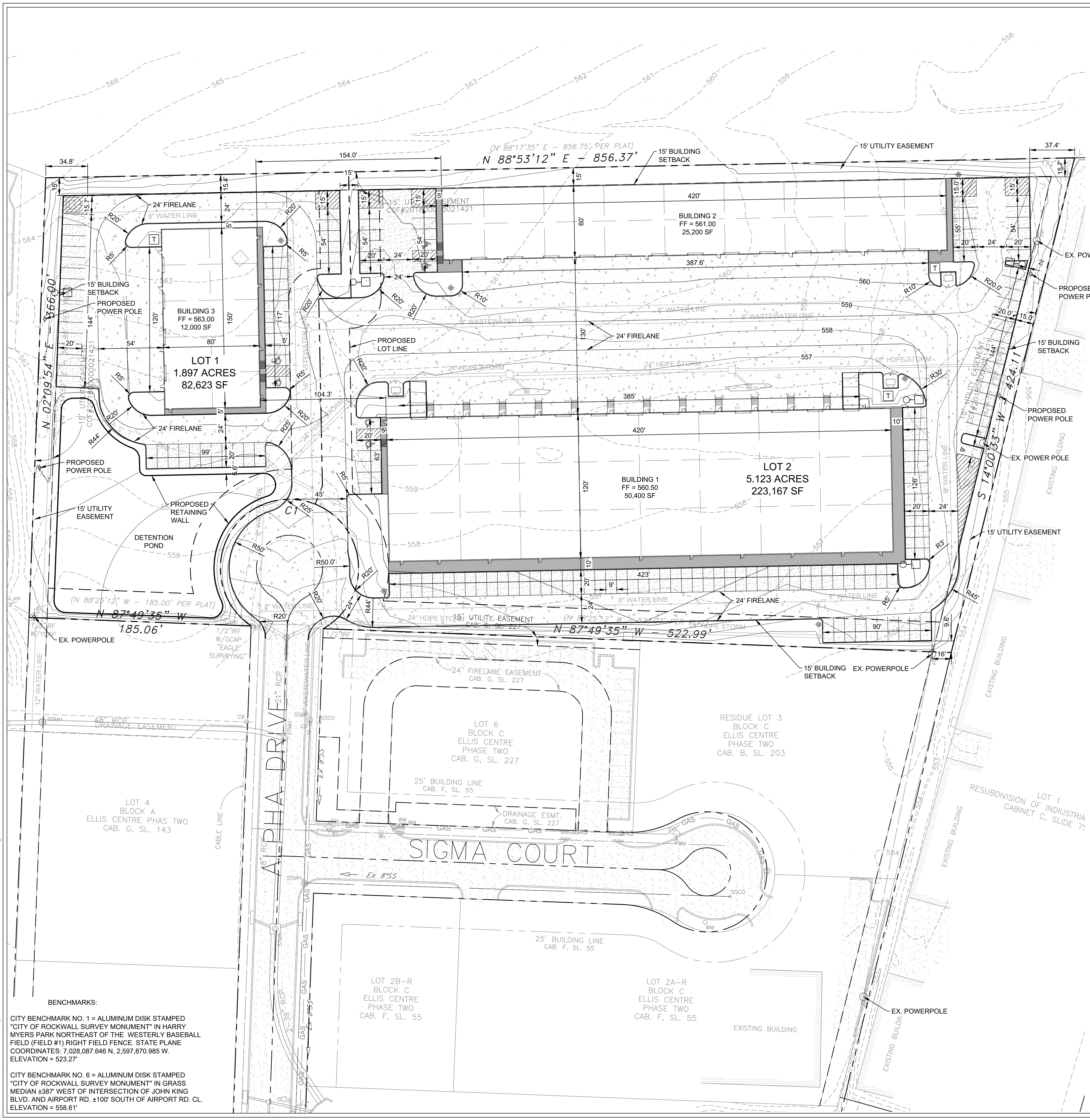
**NOTES:**  
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL , LP  
 13150 COIT ROAD  
 DALLAS, TX. 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198

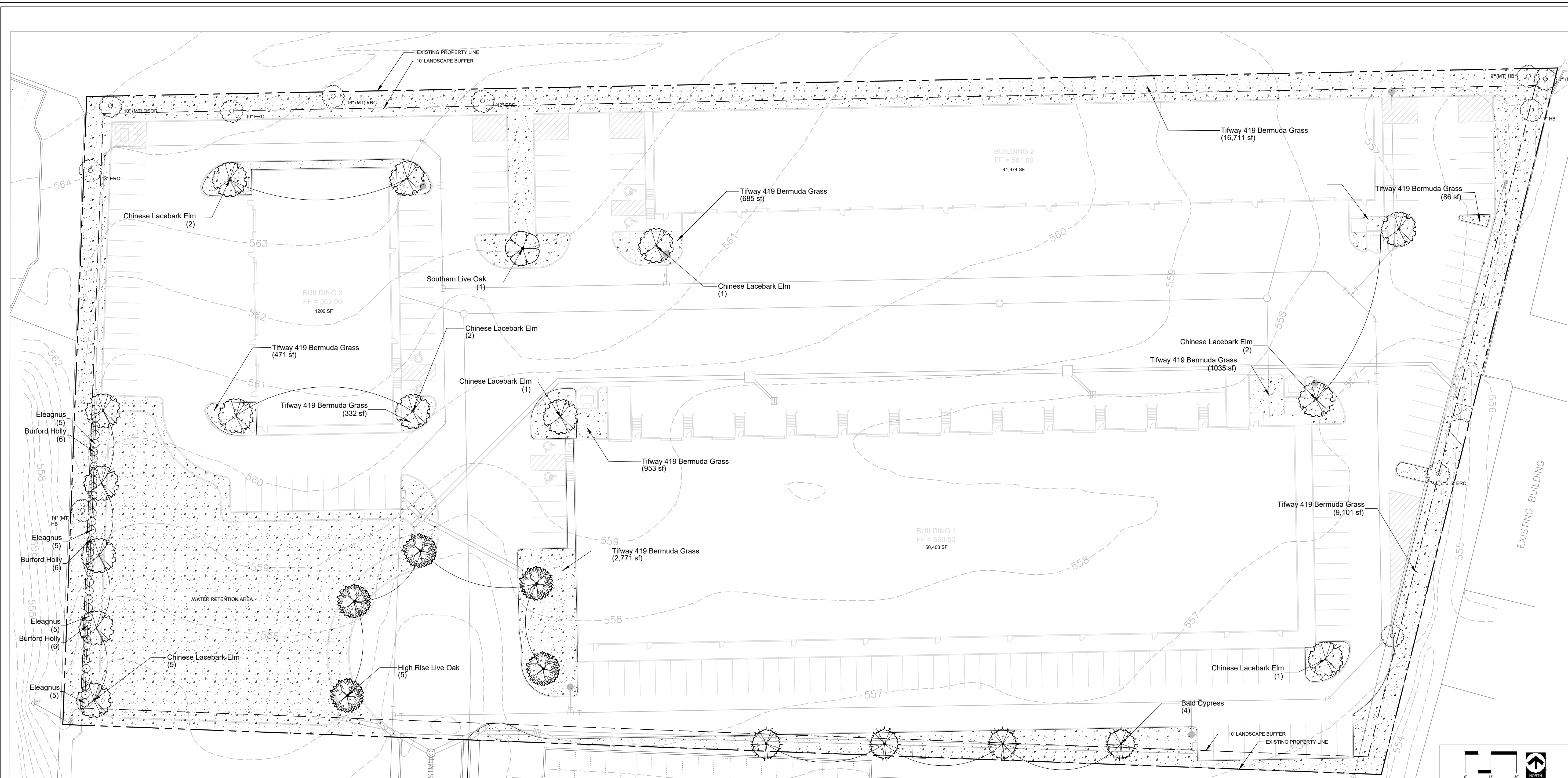
**ENGINEER**  
 HALFF ASSOCIATES, INC.  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX. 75081  
 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAIN WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.

SHEET SIZE: 24" x 36"



**BENCHMARKS:**  
 CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE. STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W. ELEVATION = 523.27'  
 CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN ±387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. ±100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'



Revision No.	Date	Description

**PLANTING PLAN**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	45 gal	3" Cal	8'-10' Ht.	4'-6" Spd	1
	Quercus virginiana 'High Rise' / High Rise Live Oak	45 gal	3" Cal	8'-10' Ht.	6'-7" Spd.	5
	Taxodium distichum / Bald Cypress	45 gal	3" Cal	10'-12' Ht.	4'-6" Spd	4
	Ulmus parvifolia / Chinese Lacebark Elm	45 gal	3" Cal	8'-10' Ht.	4'-6" Spd	14
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CAL	HT	SPD	QTY
	Eleagnus x ebbingei / Eleagnus	5 gal		18"-24" Ht.	18"-24" Spd	20
	Ilex cornuta 'Burfordii' / Burford Holly	5 gal		18"-24" Ht.	18"-24" Spd	18
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		66,576 sf		

**LANDSCAPE REQUIREMENTS**

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	10% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	31,598 SF	66,576 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (Inches)	REQUIRED	PROVIDED
* See Sheet L.1.01 for calculations	59" CALIPER*	60" CALIPER
PARKING LOT LANDSCAPING		
200 SF MIN / 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	✓
PERMIABLE LANDSCAPE PROVIDED		3,756 SF
SCREENING REQUIREMENTS		
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
1 TREE / 50' FRONTAGE	REQUIRED	PROVIDED
	1	1

**PLANTING NOTES**

**PREPARATION**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

**PLANT LOCATIONS**  
 REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

**COORDINATION**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

**MAINTENANCE**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

**VERIFICATION**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

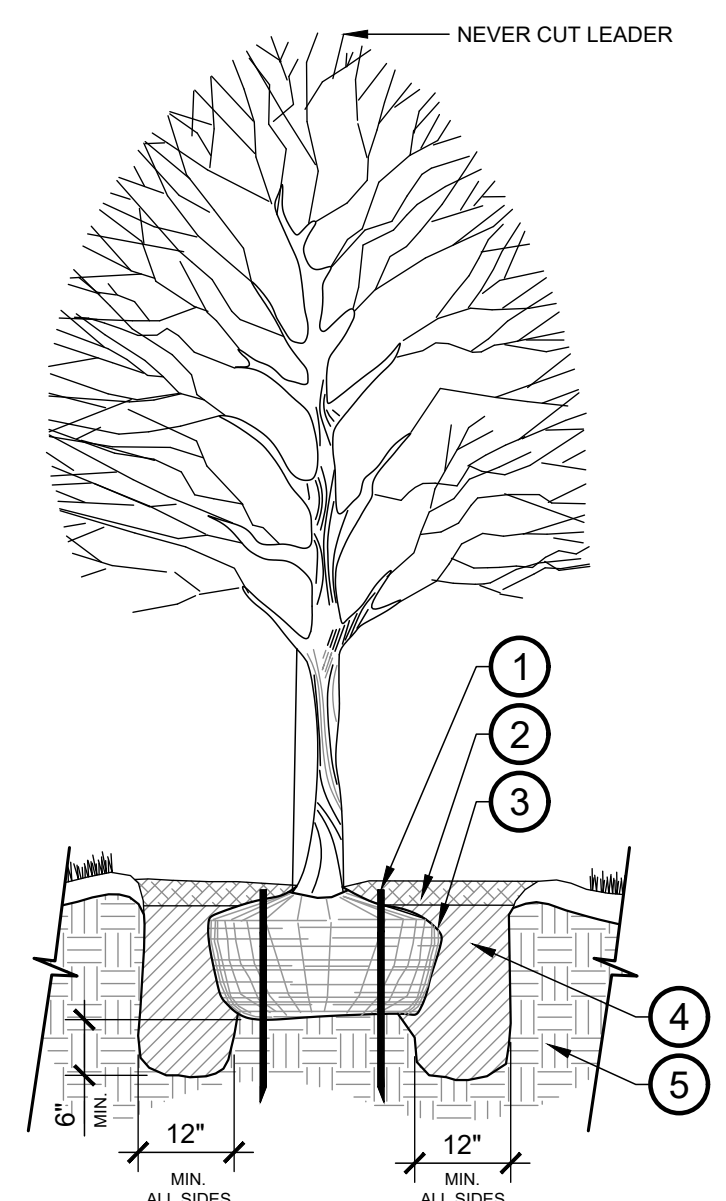
**PLANTING BEDS**  
 ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

**MULCH**  
 AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

**STANDARDS**  
 ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

**PROTECTED TREES**  
 PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

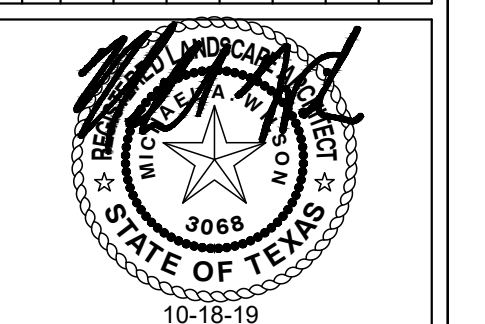
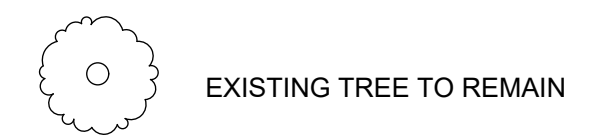
**IRRIGATION**  
 IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.



- KEY:**
- (1) ARBOR STAKES, INSTALL PER MANUFACTURE'S SPECIFICATIONS
  - (2) SPECIFIED MULCH - 3" MIN. DEPTH ENTIRE TREE BASIN
  - (3) SET TOP OF ROOT BALL 3" ABOVE FINISH GRADE; BUILD 3" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL
  - (4) LIVING EARTH PLANTING MIX OR APPROVED EQUAL BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
  - (5) UNCOMPACTED NATIVE SOIL UNDISTURBED SUBGRADE
- NOTE:**  
 FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP. FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.

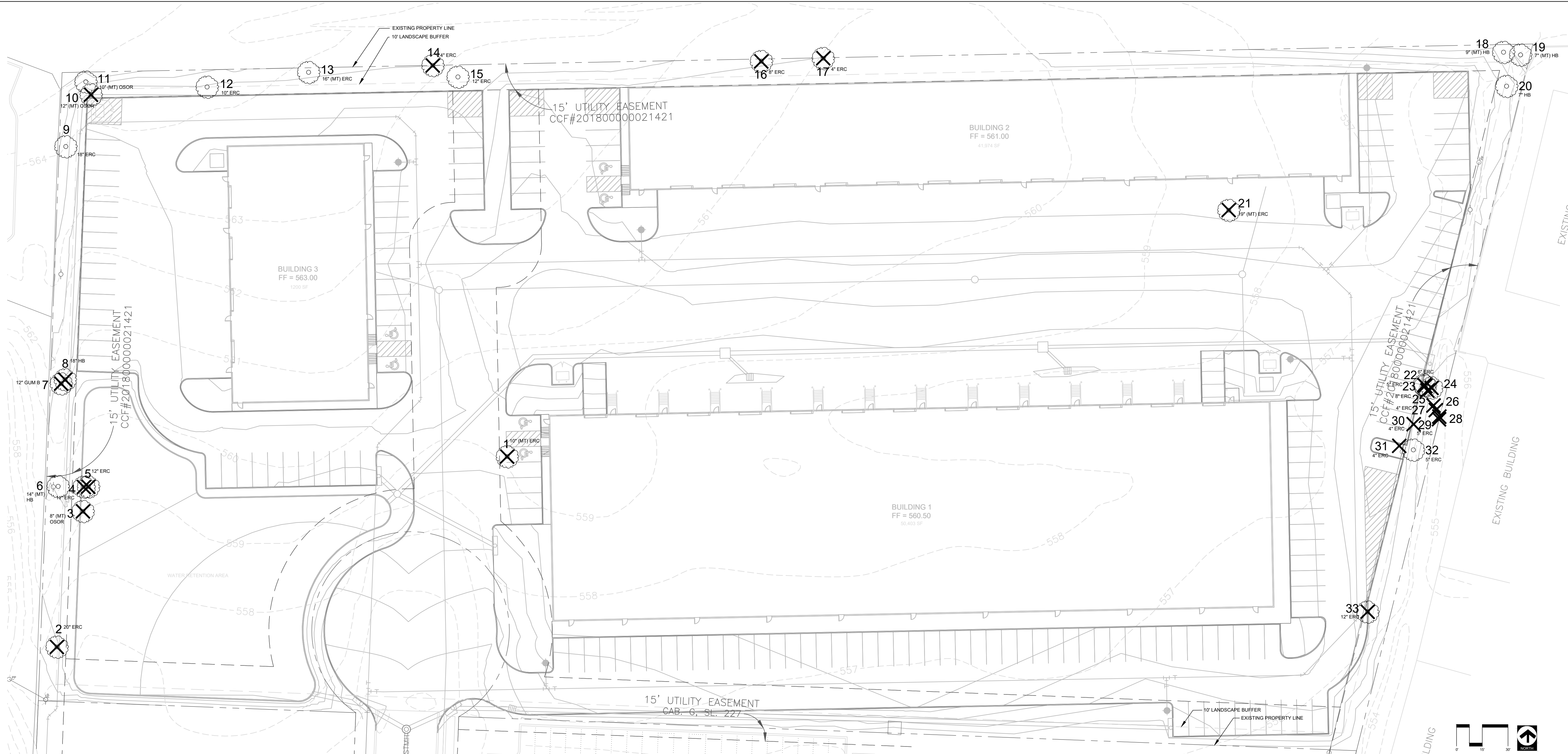
**1 NEW TREE PLANTING**  
 N.T.S.

**EXISTING TREES**



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL A. WINTERS, LICENSE NO. 2068, AS A TESTATION OF A SEALED DOCUMENT WITHOUT FURTHER NOTIFICATION TO THE RESPONSIBLE LANDSCAPE ARCHITECT IS AN OFFENSE UNDER TITLE 22, TEXAS ADMINISTRATIVE CODE, CHAPTER 101, SUBCHAPTER 101.001, THE RECORD COPY OF THIS DRAWING IS ON FILE IN THE OFFICE OF THE REGISTERED PROFESSIONAL ENGINEER, CIVIL ENGINEER, FORT WORTH, TEXAS 76102-0200.

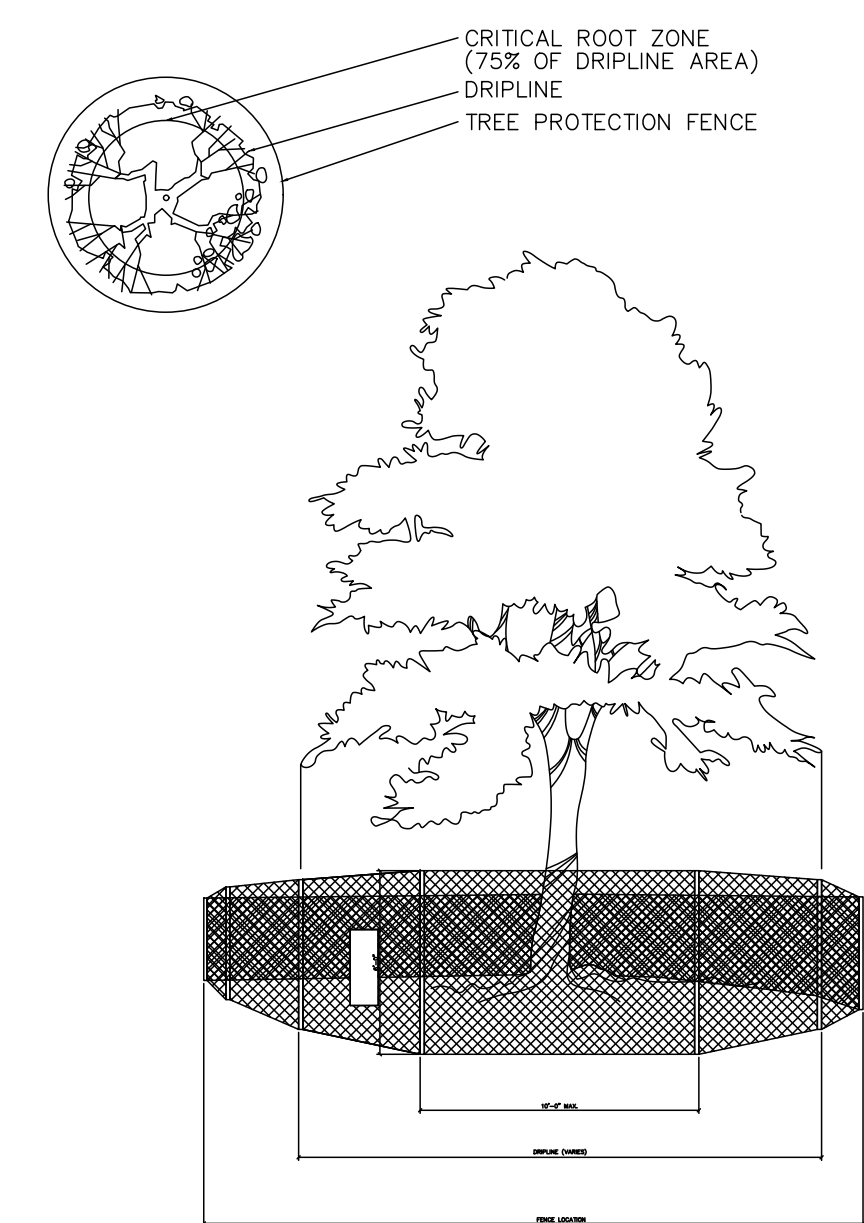
Project No.:	35989
Issued:	
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	LANDSCAPE PLAN
Sheet Number	L 2.01



**TREE INVENTORY / MITIGATION**

TREE #	SPECIES	SIZE (Inches)	CLASSIFICATION	STATUS	REQ. MITIGATION (Inches)
1	EASTERN RED CEDAR	10 MULTI-TK	NON-PROTECTED	REMOVE	
2	EASTERN RED CEDAR	20	SECONDARY	REMOVE	10
3	OSAGE ORANGE	8 MULTI-TK	NON-PROTECTED	REMOVE	
4	EASTERN RED CEDAR	11	SECONDARY	REMOVE	6
5	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
6	HACKBERRY	14 MULTI-TK	SECONDARY	PRESERVE	
7	GUM BUMILIA	12	PROTECTED	REMOVE	12
8	HACKBERRY	18	SECONDARY	REMOVE	9
9	EASTERN RED CEDAR	18	SECONDARY	PRESERVE	
10	OSAGE ORANGE	12 MULTI-TK	NON-PROTECTED	REMOVE	
11	OSAGE ORANGE	10 MULTI-TK	NON-PROTECTED	PRESERVE	
12	EASTERN RED CEDAR	10	SECONDARY	PRESERVE	
13	EASTERN RED CEDAR	16 MULTI-TK	SECONDARY	PRESERVE	
14	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
15	EASTERN RED CEDAR	12	SECONDARY	PRESERVE	
16	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
17	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
18	HACKBERRY	9 MULTI-TK	NON-PROTECTED	PRESERVE	
19	HACKBERRY	7 MULTI-TK	NON-PROTECTED	PRESERVE	
20	HACKBERRY	7	NON-PROTECTED	PRESERVE	
21	EASTERN RED CEDAR	19 MULTI-TK	SECONDARY	REMOVE	10
22	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
23	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
24	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
25	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
26	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
27	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
28	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
29	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
30	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
31	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
32	EASTERN RED CEDAR	5	NON-PROTECTED	PRESERVE	
33	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
<b>TOTAL</b>					<b>59</b>

**PLAN VIEW**



**EXISTING TREES**

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

**LANDSCAPE REQUIREMENTS**

TREE MITIGATION	
REQUIRED TREES (Inches)	59" CALIPER*
PROVIDED TREES (Inches)	60" CALIPER

\* See Sheet L 2.01 for Planting Locations

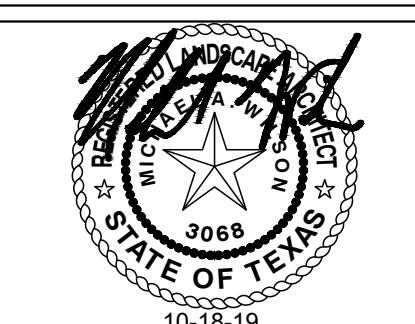
**01 TREE PROTECTION DETAIL**  
 SCALE: N.T.S.

**STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION**

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
  - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
  - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
  - Wounds to exposed roots, trunk or limbs by mechanical equipment;
  - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
  - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
  - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
  - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
  - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs. All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

Revision No.	Date	Description



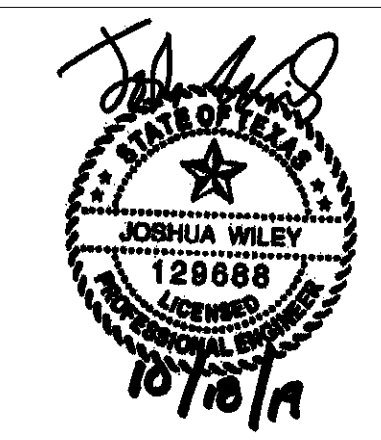
Project No.:	35989
Issued:	10-18-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title:	TREESCAPE PLAN
Sheet Number:	L 1.01



Revision No.	Date	Description

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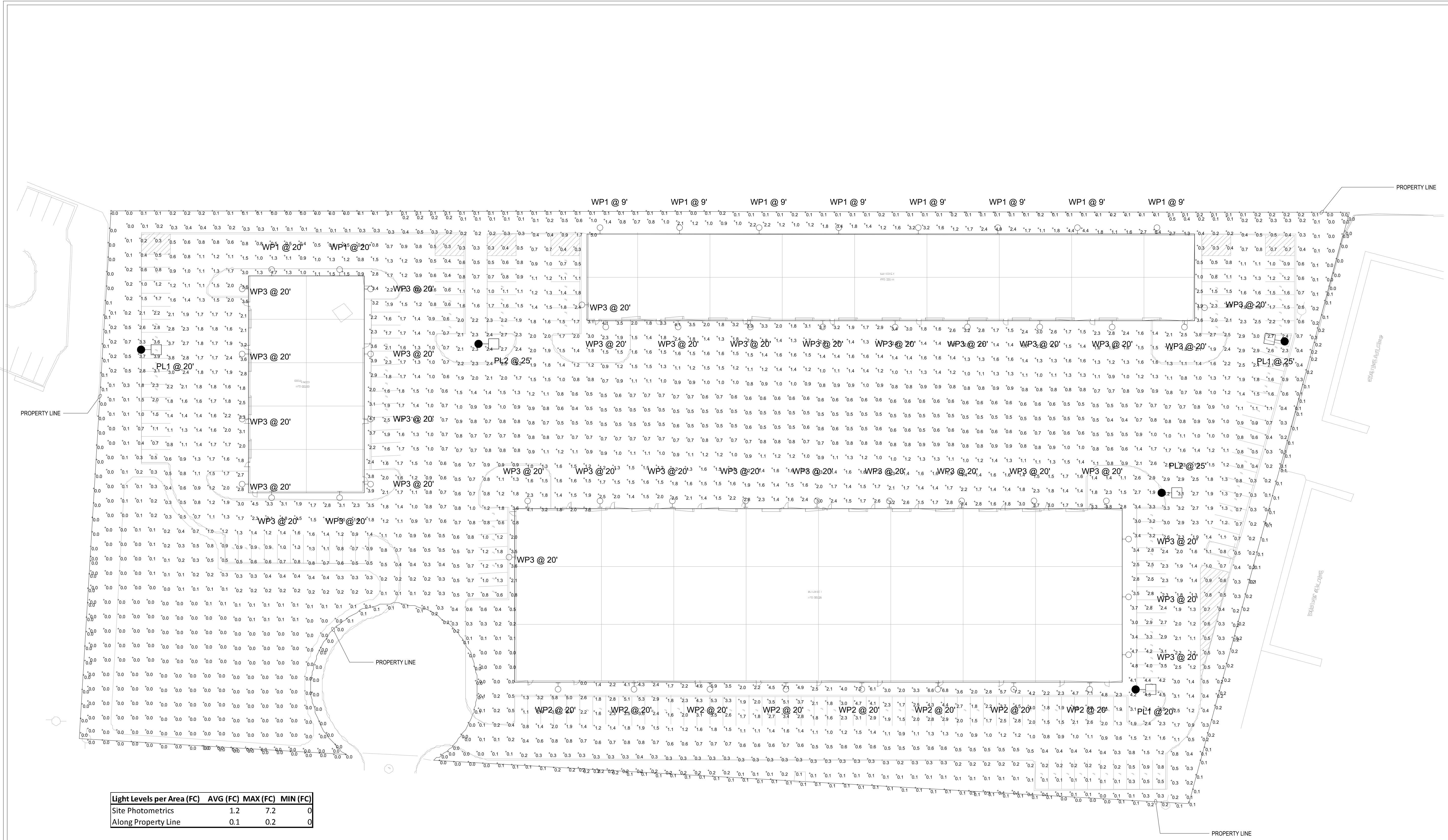


Project No.: 19068  
 Issued: OCTOBER 2019  
 Drawn By:  
 Checked By:  
 Scale: AS SHOWN  
 Sheet Title: SITE

PHOTOMETRICS

**E-102**  
 Sheet Number

Case Number:



Light Levels per Area (FC)	AVG (FC)	MAX (FC)	MIN (FC)
Site Photometrics	1.2	7.2	0
Along Property Line	0.1	0.2	0

Label	Catalog Number	Description	Lamp	Lamp Lumens	Watts
WP1	WSR LED P1 SR2 40K MVOLT	WSR LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR2 OPTIC TYPE	LED	2251	20
WP2	WST LED P3 40K VF MVOLT	WST LED Performance package 3 4000 K, visual comfort forward throw, MVOLT	LED	6609	50
WP3	WSR LED P4 SR4 40K MVOLT	WSR LED WITH P4-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	6388	61
PL1	DSXO LED P5 40K T2M MVOLT HS	DSXO LED P5 40K T2M MVOLT with houseside shield	LED	9550	89
PL2	DSXO LED P6 40K T5M MVOLT HS	DSXO LED P6 40K T5M MVOLT with houseside shield	LED	11955	134

**1 SITE PHOTOMETRICS**  
 SCALE: 1/32" = 1'-0"

**JSE**  
 Jordan & Skala  
 Engineers  
 17855 North Dallas Parkway • Suite 320  
 Dallas, TX, 75287  
 p. 469.385.1616 • f. 469.385.1615  
 Texas Registered Engineering Firm F-4990  
 Project Number: 1930681 Drawn By: DNH Checked By: JW

# WP2



## WST LED Architectural Wall Sconce



Catalog Number, Notes, Type

### Specifications Luminaire

Height: 8-1/2" (21.59 cm)
Width: 17" (43.18 cm)
Depth: 10-3/16" (26.5 cm)
Weight: 20 lbs (9.1 kg)

### Optional Back Box (PBW)

Height: 8.49" (21.56 cm)
Width: 17.01" (43.21 cm)
Depth: 1.70" (4.32 cm)

### Optional Back Box (BBW)

Height: 4" (102 mm)
Width: 5-1/2" (140 mm)
Depth: 1-1/2" (38 mm)

### A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background...

To learn more about A+, visit www.acuitybrands.com/aplus
See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Roam: Link to DTL DLU

## Ordering Information EXAMPLE: WST LED P1 40K VF MOLT DDBTXD

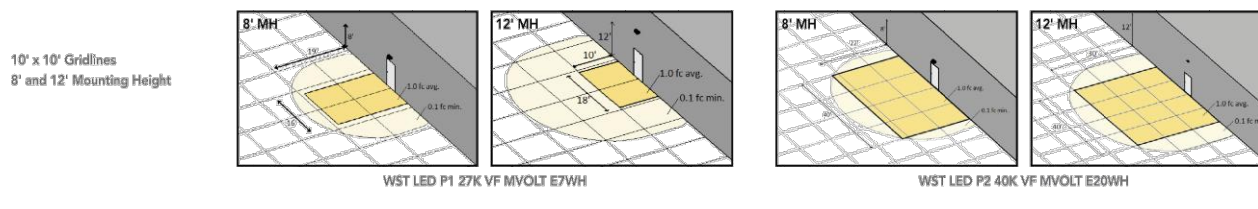
Table with columns: WST LED, Performance Package, Color Temperature, Distribution, Voltage, Mounting, Shipped Included

Table with columns: System, Finish (Pre-painted)

Table with columns: Accessories

### Emergency Battery Operation

The emergency battery backup is integral to the luminaire... All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss...



## Performance Data

Lumen Ambient Temperature (LAT) Multipliers
Electrical Load table

Projected LED Lumen Maintenance

Minimum System (Default) Settings

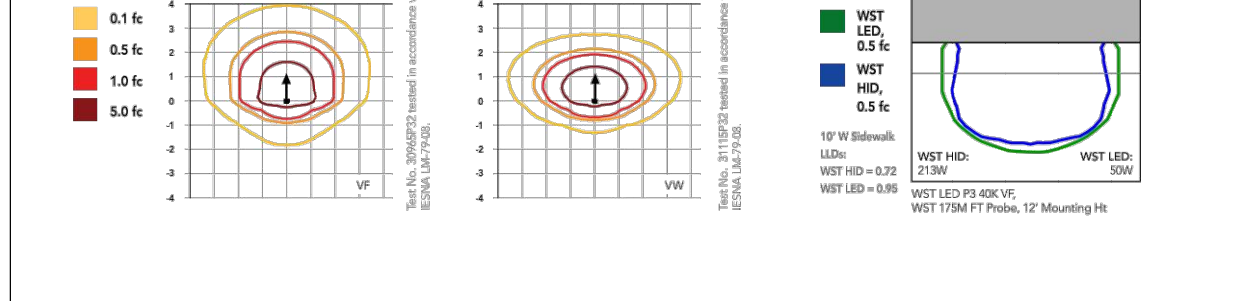
PER Table

Table with columns: Control, YES, NO, WST (1-wire), WST (2-wire), WST (3-wire)

Lumen Output

Table with columns: Performance Package, System Voltage, Color Temp, Distribution, Voltage, Mounting, Finish

## Photometric Diagrams



### FEATURES & SPECIFICATIONS

INTENDED USE: The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings... CONSTRUCTION: The application die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer...

WARRANTY: 3-year limited warranty. Complete warranty terms located at: www.lithonia.com/Commercial-Product-Warranty

Rockwall Urban + Industrial Center
OWNER: ROCKWALL URBAN INDUSTRIAL, LP.
END OF ALPHA DRIVE
ROCKWALL, TX 75087



5310 HARVEST HILL ROAD
DALLAS, TX 75230
(972) 788-1010

# WP1,WP3



## WSR LED Architectural Wall Sconce



Catalog Number, Notes, Type

Specifications Luminaire
Height: 7-1/4" (18.8 cm)
Width: 18" (45.7 cm)
Depth: 9" (22.9 cm)
Weight: 17 lbs (7.7 kg)

### Optional Back Box (BBW)

Height: 4" (102 mm)
Width: 5-1/2" (140 mm)
Depth: 1-1/2" (38 mm)

## Ordering Information EXAMPLE: WSR LED P2 40K SR3 MVOILT DDBTXD

Table with columns: WSR LED, Performance Package, Color Temperature, Distribution, Voltage, Mounting, Shipped Included

Table with columns: System, Finish (Pre-painted)

Table with columns: Accessories

### Emergency Battery Operation

The emergency battery backup is integral to the luminaire... All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss...



## Performance Data

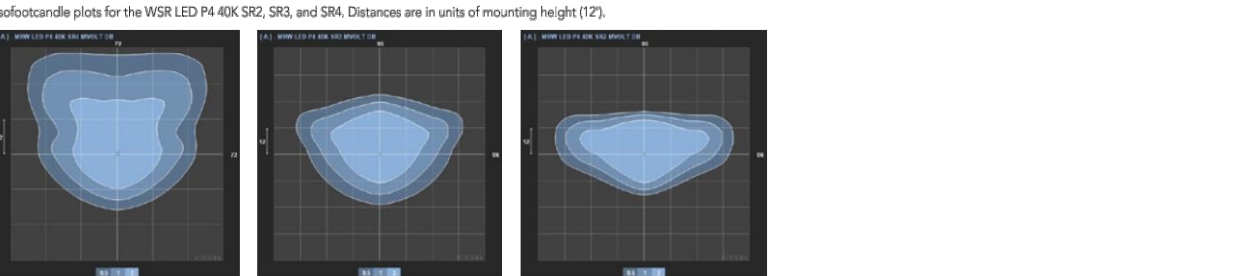
Lumen Output
Lumen Ambient Temperature (LAT) Multipliers

Projected LED Lumen Maintenance

Electrical Load

Minimum System (Default) Settings

## Photometric Diagrams



### FEATURES & SPECIFICATIONS

INTENDED USE: The classic architectural shape of the WSR LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings... CONSTRUCTION: The application die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer...

WARRANTY: 3-year limited warranty. Complete warranty terms located at: www.lithonia.com/Commercial-Product-Warranty

## Performance Data

Lumen Output
Lumen Ambient Temperature (LAT) Multipliers

Projected LED Lumen Maintenance

Electrical Load

Minimum System (Default) Settings

## Photometric Diagrams



### FEATURES & SPECIFICATIONS

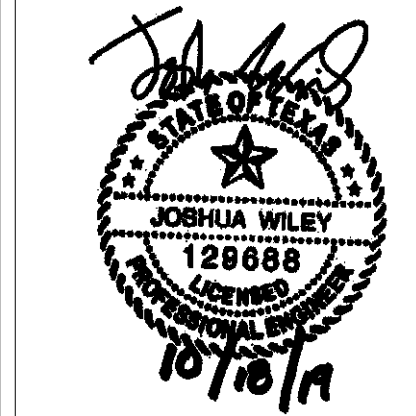
INTENDED USE: The classic architectural shape of the WSR LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings... CONSTRUCTION: The application die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer...

WARRANTY: 3-year limited warranty. Complete warranty terms located at: www.lithonia.com/Commercial-Product-Warranty

Table with columns: Revision No., Date, Description

## PRELIMINARY FOR INTERIM REVIEW ONLY

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# JSE

Jordan & Skala Engineers

17855 North Dallas Parkway • Suite 320
Dallas, TX 75287
p. 469.385.1614 • f. 469.385.1615
Texas Registered Engineering Firm F-4990
Project Number: 1930681 Drawn By: DNH Checked By: JW

Table with columns: Project No., Issued, Drawn By, Checked By, Scale, Sheet Title, Sheet Number, Case Number

# PL1, PL2



**D-Series Size 0**  
LED Area Luminaire

- Specifications**
- CEC: 0.15 hp (0.11 kW)
  - Length: 26" (660mm)
  - Width: 13" (330mm)
  - Height: 3" (76mm)
  - Height: 7" (178mm)
  - Weight: 15 lbs (6.8kg)
  - Weight (max): 27 lbs (12.2kg)

**Introduction**

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Capable options indicated by white background.

### Ordering Information

EXAMPLE: DSXO LED P6 40K 3TM MVOLT SPA NLTAIRZ PIRHN DDBXD

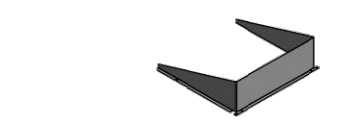
Option	Code	Description	Option	Description	Option	Description
DSXO LED		DSXO LED		DSXO LED		DSXO LED
Forward optics	F1	Typical	F2	Typical	F3	Typical
Heat sink options	H1	Typical	H2	Typical	H3	Typical
Mounting options	M1	Typical	M2	Typical	M3	Typical
Control options	C1	Typical	C2	Typical	C3	Typical

Option	Description	Option	Description
DSXO LED	DSXO LED	DSXO LED	DSXO LED
Forward optics	F1: Typical	F2: Typical	F3: Typical
Heat sink options	H1: Typical	H2: Typical	H3: Typical
Mounting options	M1: Typical	M2: Typical	M3: Typical
Control options	C1: Typical	C2: Typical	C3: Typical

### Accessories

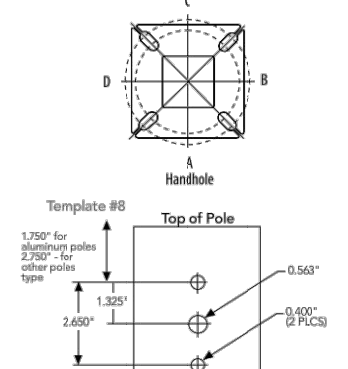
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire
- DSXO LED: DSXO LED luminaire

### EGS - External Glare Shield



### Drilling

#### HANDHOLE ORIENTATION

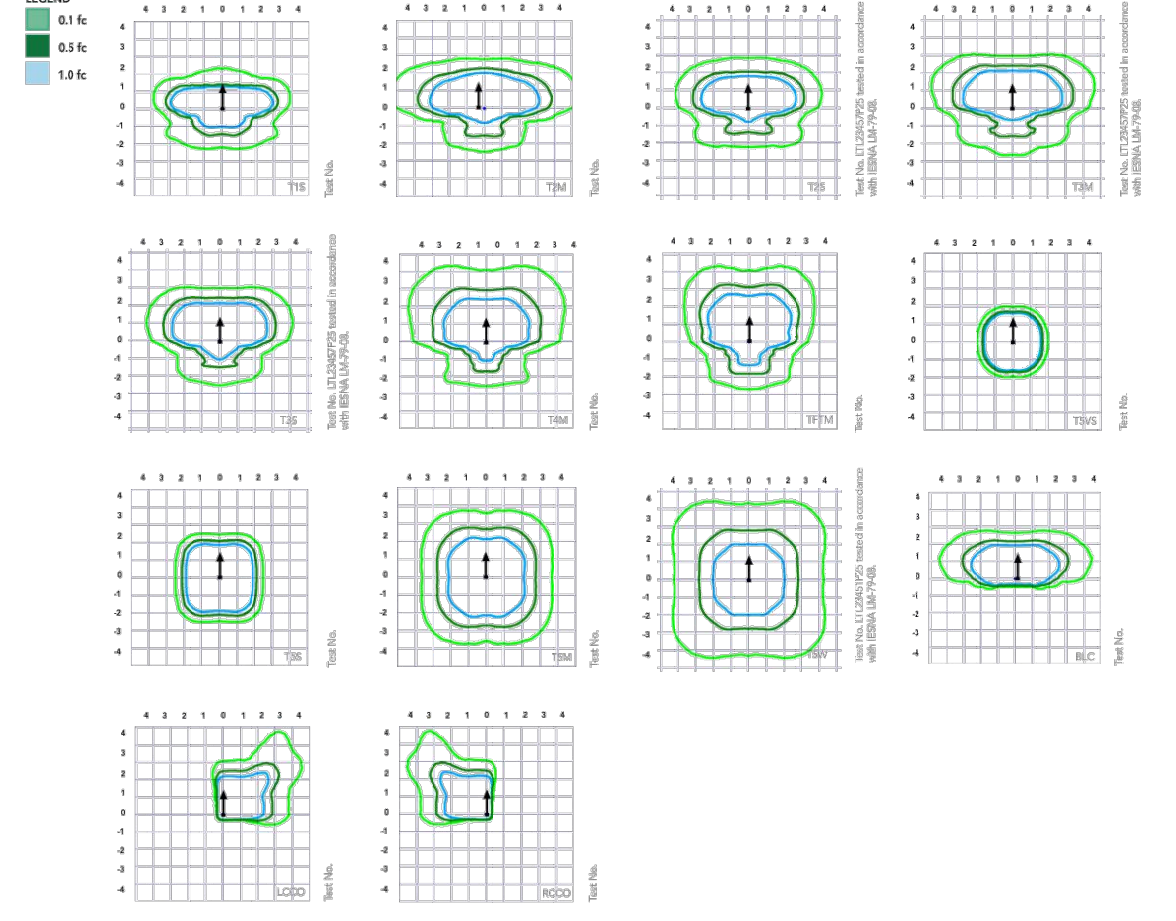


### Tenon Mounting Slipfitter

Material	Part No.	Part No.	Part No.	Part No.	Part No.	Part No.	Part No.
Aluminum	AS15-190	AS15-200	AS15-200	AS15-200	AS15-200	AS15-200	AS15-400
Steel	AS15-190	AS15-200	AS15-200	AS15-200	AS15-200	AS15-200	AS15-400

### Photometric Diagrams

To see complete photometric reports or download raw files for this product, visit Lighthouse Lighting's D-Series Area Size 0 homepage.



### Performance Data

**Lumen Ambient Temperature (LAT) Multiplier**

LAT (°C)	Multiplier
25°C	1.00
35°C	0.97
45°C	0.93
55°C	0.89
65°C	0.85
75°C	0.81
85°C	0.77
95°C	0.73
105°C	0.69
115°C	0.65
125°C	0.61
135°C	0.57
145°C	0.53
155°C	0.49
165°C	0.45
175°C	0.41
185°C	0.37
195°C	0.33
205°C	0.29

### Projected LED Lumen Maintenance

Operating Hours	Lumen Maintenance Factor
10,000	0.99
20,000	0.98
100,000	0.95

### Controls Options

Option	Description	Availability	Minimum Order Qty	Notes
DSXO LED	DSXO LED luminaire	Available	1	
DSXO LED	DSXO LED luminaire	Available	1	
DSXO LED	DSXO LED luminaire	Available	1	
DSXO LED	DSXO LED luminaire	Available	1	

### Performance Data

**Lumen Output**

Lumen output is based on photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configuration not shown here.

Beam Type	Beam Angle	Beam Type	Beam Angle	Beam Type	Beam Angle
P1	20	F1	20	P2	20
P1	20	F2	20	P2	40
P1	20	F3	20	P2	70
P1	20	F4	20	P2	100

### Performance Data

**Lumen Output**

Lumen output is based on photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configuration not shown here.

Beam Type	Beam Angle	Beam Type	Beam Angle	Beam Type	Beam Angle
P5	40	F5	40	P6	40
P5	40	F6	40	P6	80
P5	40	F7	40	P6	100
P5	40	F8	40	P6	130

### Performance Data

**Lumen Output**

Lumen output is based on photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configuration not shown here.

Beam Type	Beam Angle	Beam Type	Beam Angle	Beam Type	Beam Angle
P9	80	F9	80	P10	80
P9	80	F10	80	P10	130
P9	80	F11	80	P10	180
P9	80	F12	80	P10	240

### Capable Luminaire

This luminaire is an A+ Capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency and system-level interoperability.
- This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background.
- DTL equipped luminaires meet the A+ specification for luminaires to photocolor interoperability.
- This luminaire is part of an A+ Certified solution for ROAM or Point-to-Point Wireless control networks.
- DTL equipped luminaires meet the A+ specification for luminaires to photocolor interoperability.

To learn more about A+, visit [www.acuitybrands.com/a+plus](http://www.acuitybrands.com/a+plus).

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire.

Sold Separately. Link to ROAM Link to DTL. DTL.

**FEATURES & SPECIFICATIONS**

**INDUSTRIAL USE**

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

**CONSTRUCTION**

Single-point die-cast aluminum housing has integral heat sink fins to optimize thermal management through conduction and convection cooling. Modular design allows for ease of maintenance and faster light engine upgrades. The LED driver is mounted in direct contact with the casing to provide low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP68). Low Emissivity (LE) for optimized pole wind loading.

**FINISH**

Exterior parts are protected by a zinc-fluoride Super Durable TiO2 ceramic powder coat finish that provides superior resistance to corrosion and weathering. A highly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate change without cracking or peeling. Available in both textured and non-textured finishes.

**OPTICS**

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K or 5000 K (95 CRI) configurations. The D-Series Size 0 has zero glare and qualifies as a brighter-friendly product, meeting IES compliant with the LEED® and Green Globes® criteria for minimizing wasteful lighting.

**ELECTRICAL**

Light engine configurations consist of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life up to 100,000 hours at 25°C. Class 1 electronic drivers are designed to have a power factor >0.97, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily accessible TMV stage protection device meets a minimum Category C line operation per ANSI/IEEE C82-A1.2.

**STANDARD CONTROLS**

The DSXO LED area luminaire has a number of control options. Ducks to down controls can be utilized for optional NEMA lock pinwheel accessories. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

**HIGH AIR CONTROLS**

The DSXO LED area luminaire is also available with rLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocolor functionality and is available for mounting heights up to 40 feet. Once commissioned, a smartphone and the easy-to-use rLight® app, all in one, allows you to control your luminaire can be grouped, reacting to motion sensor and photocolor group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the rLight® Eddies. Additional information about rLight® AIR can be found [here](http://www.rlight.com).

**INSTALLATION**

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts secure the mounting block to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 lb vibration load per pole ANSI C136.31. The D-Series Size 0 Series 4800™ series pole drilling pattern template #8. Optional terminal block and NEMA photocolor receptacle are also available.

**LISTINGS**

UL Listed for wet locations. Light engine is IP68 rated. Luminaires are IP68 rated. Based on 40°C maximum ambient, U.S. Patent No. 8,242,492.5. International patent pending.

Designated Candelabra E12, Phosor-qualified product and DULC qualified product. Not all versions of this product may be DULC Premium qualified or DULC Qualified. Please check the DULC Qualified Product List at [www.dulc.com/dulc-qualified](http://www.dulc.com/dulc-qualified) to confirm which versions are qualified.

**INTERNATIONAL DARKSKY ASSOCIATION (IDA) Full Seal of Approval (FSA)** is available for all products on this page offering 300K color temperature only.

**WARRANTY**

3-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/resources/terms-and-conditions](http://www.acuitybrands.com/resources/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user installation and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



One Lighthouse Way • Corning, Georgia 30012 • Phone: 800.765.7238 • [www.lighthouse.com](http://www.lighthouse.com)  
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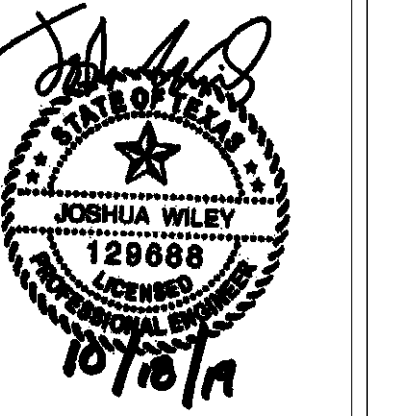
**Rockwall Urban + Industrial Center**  
OWNER: ROCKWALL URBAN INDUSTRIAL, LP.  
END OF ALPHA DRIVE  
ROCKWALL, TX 75087

**OBRIEN**  
5310 HARVEST HILL ROAD  
DALLAS, TX 75230  
(972) 788-1010

Revision No.	Date	Description

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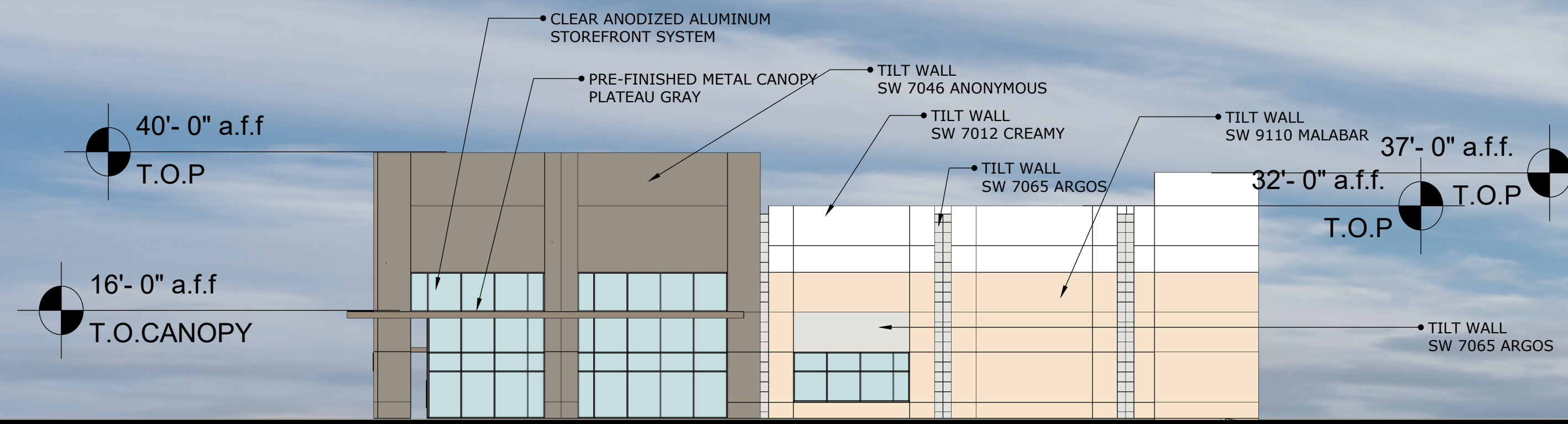


**JSE**  
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Engineers  
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Texas Registered Engineering Firm F-4990

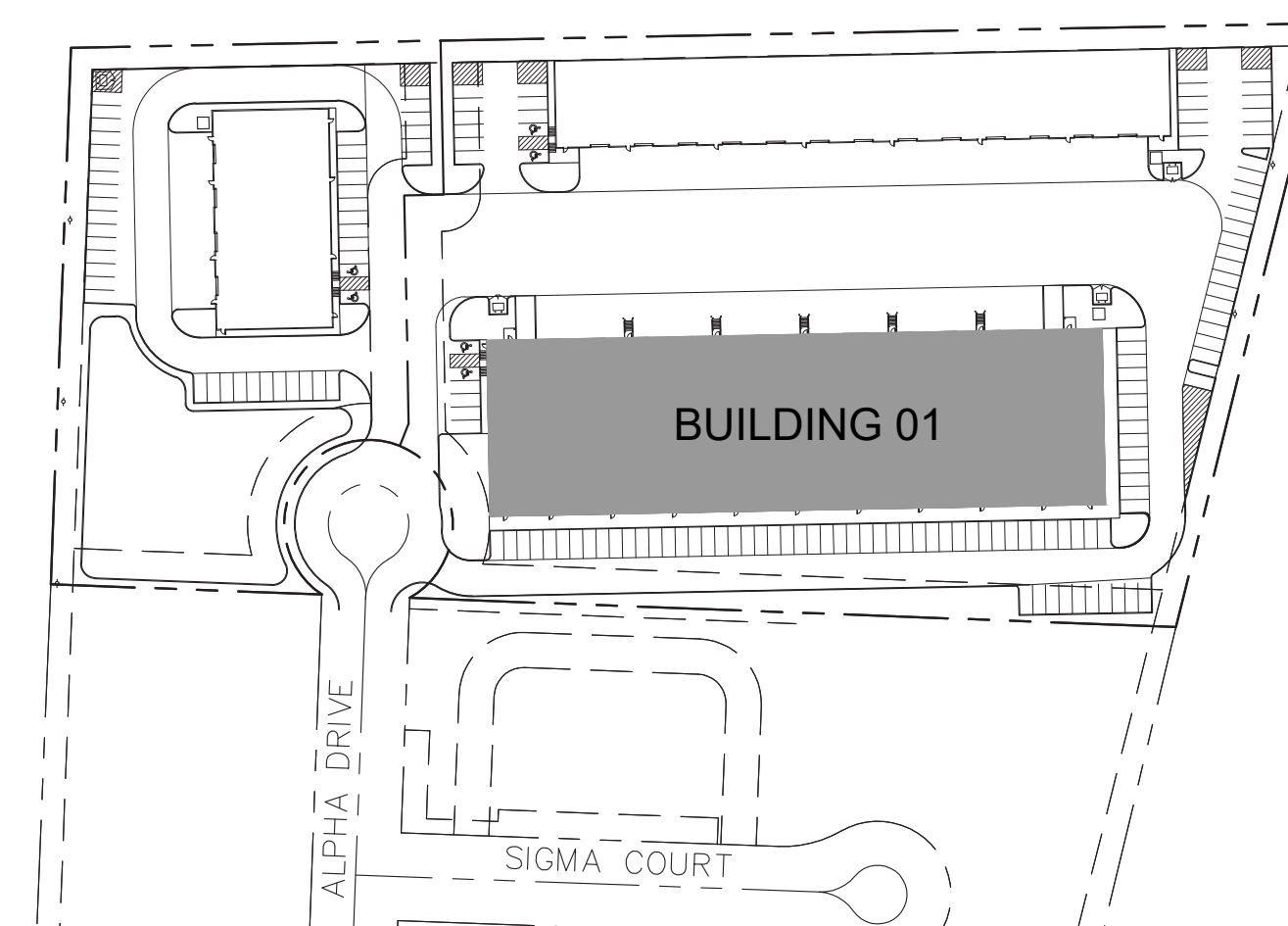
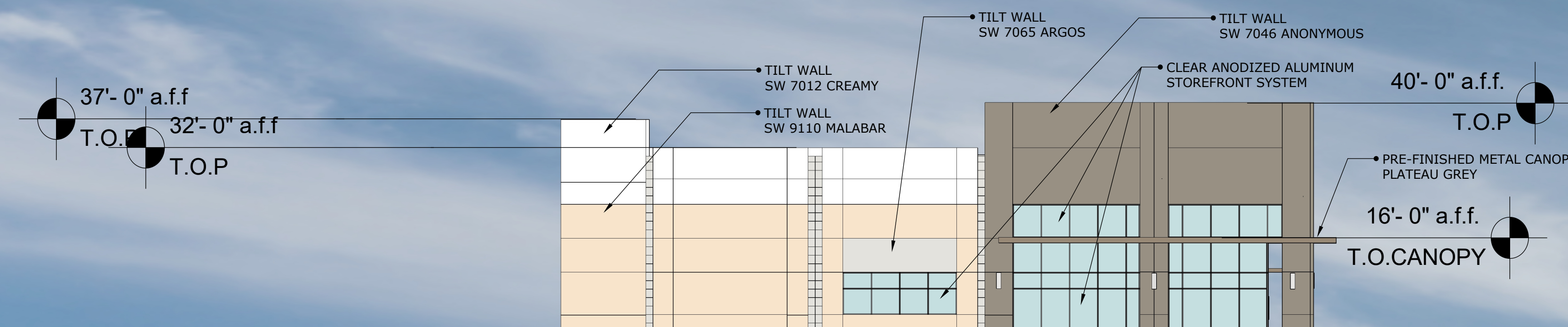
Project No.: 19068  
Issued: OCTOBER 2019  
Drawn By: [Name]  
Checked By: [Name]  
Scale: AS SHOWN  
Sheet Title: PL1, PL2  
Sheet Number: E-102B  
Sheet Number: [Blank]  
Case Number: [Blank]

Project Number: 190681 Drawn By: DNH Checked By: JW SHEET SIZE: 24" x 36"

EAST



WEST

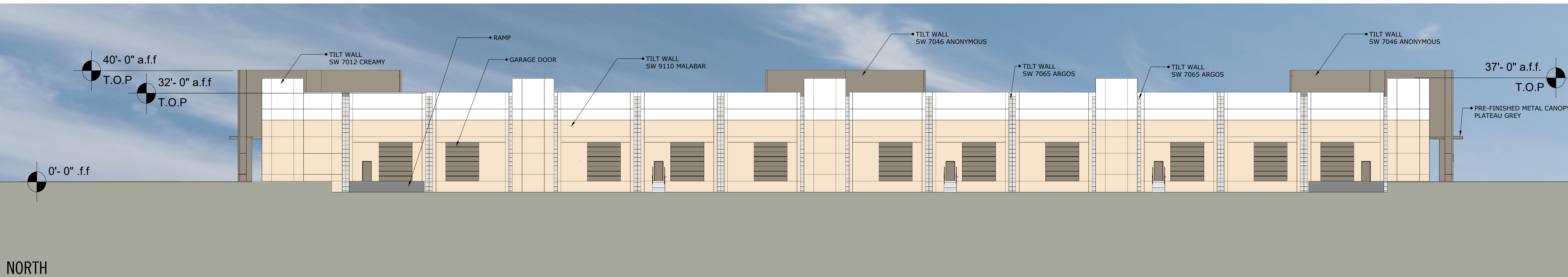


FAÇADE	BLDG 1		FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	14,140	14,140
SOUTH	235	11,220	11,455
EAST	59	3,734	3,793
WEST	59	3,734	3,793
<b>SF of Materials</b>	<b>353</b>	<b>32,828</b>	<b>33,181</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>99%</b>	<b>100%</b>

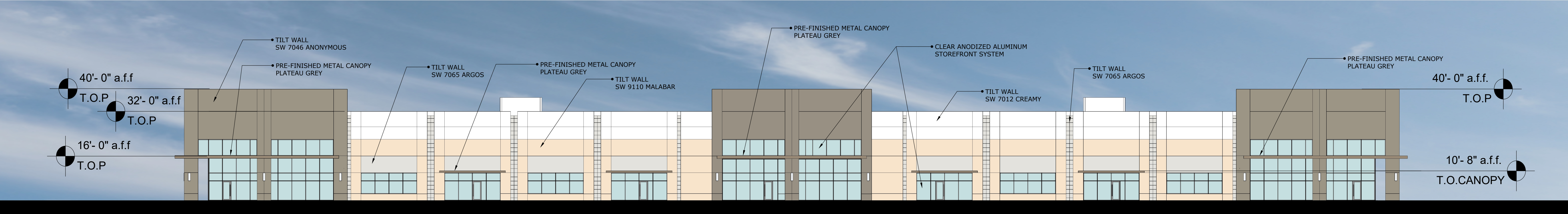
BUILDING ELEVATIONS

Scale: 1" = 20'-0"



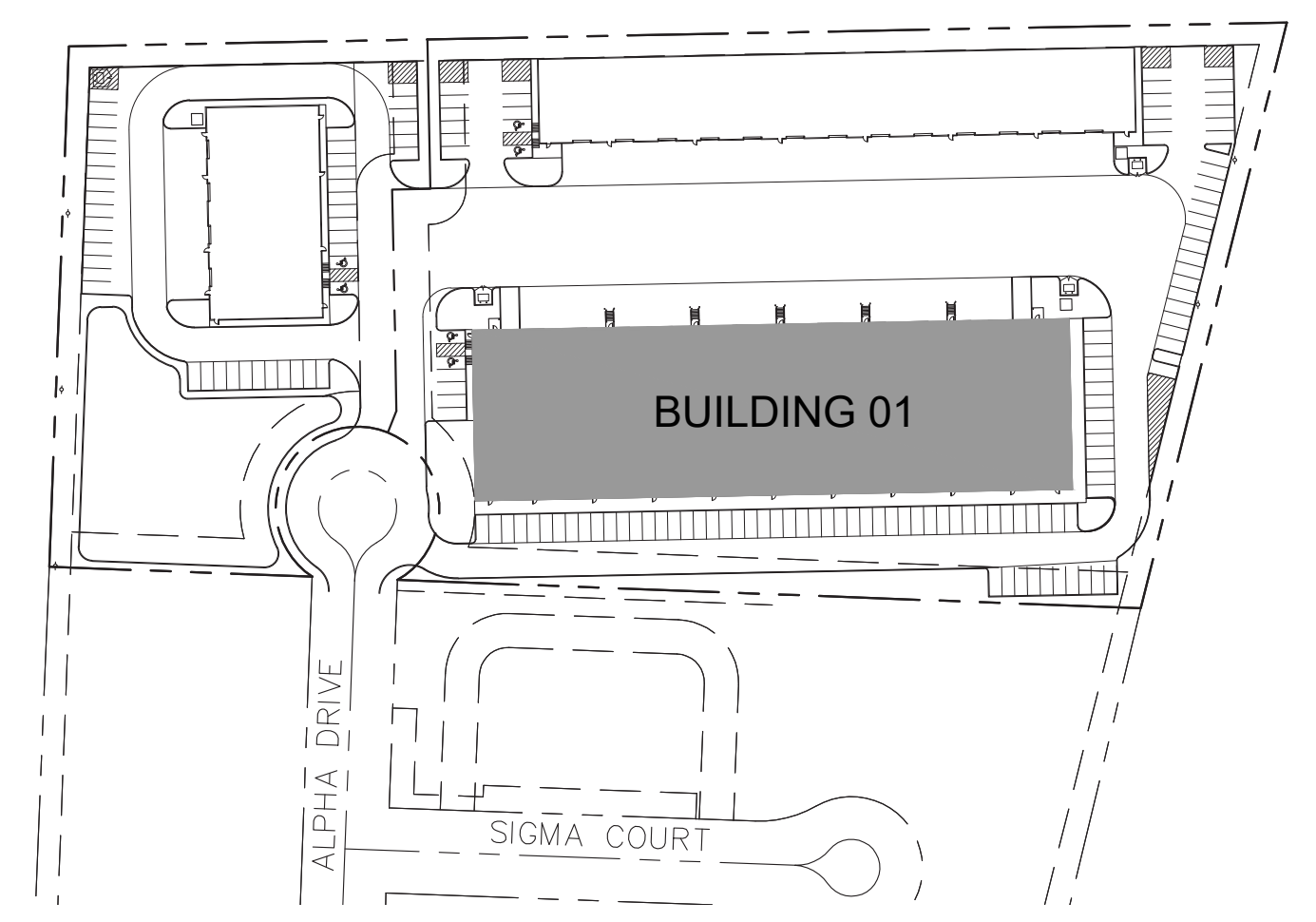
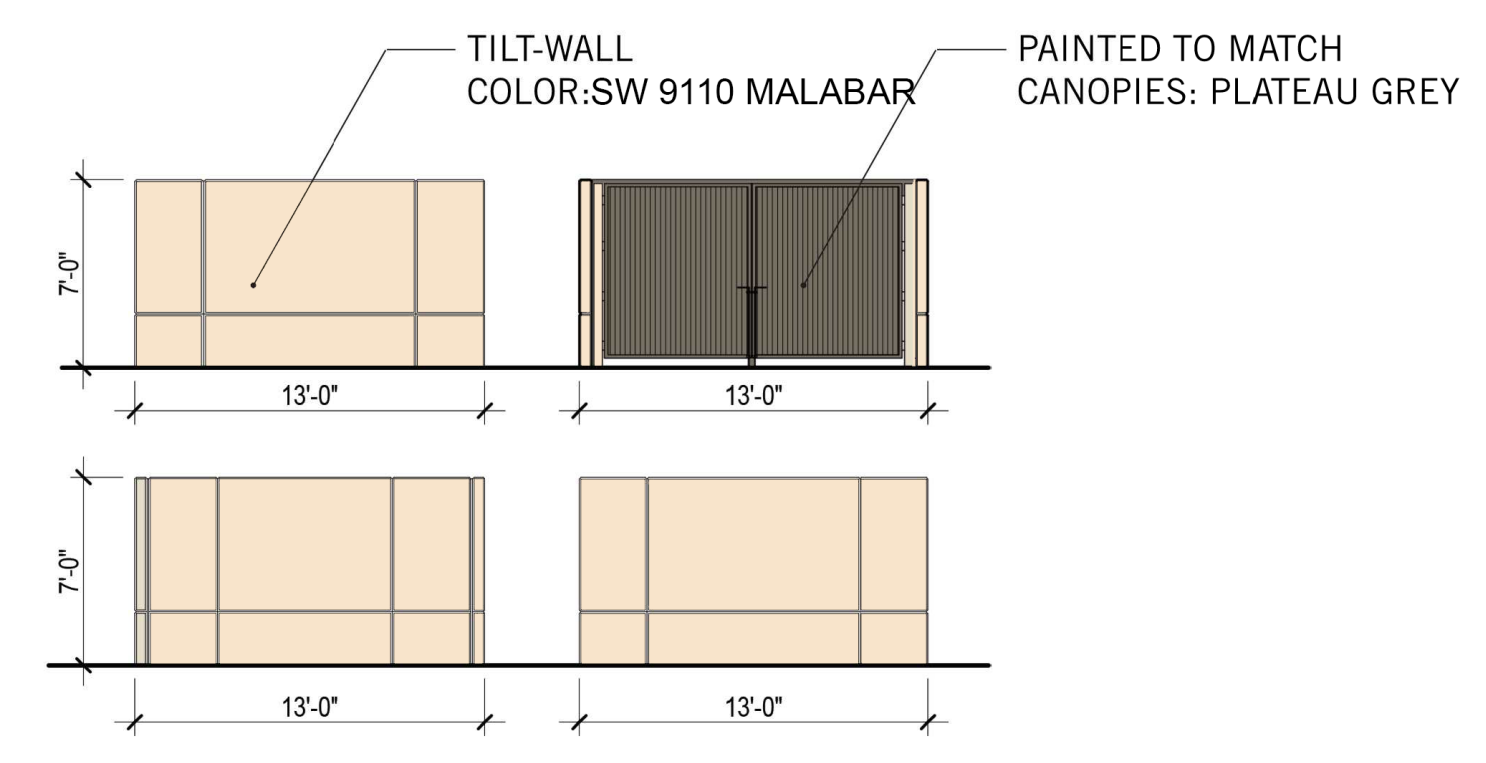


NORTH



SOUTH

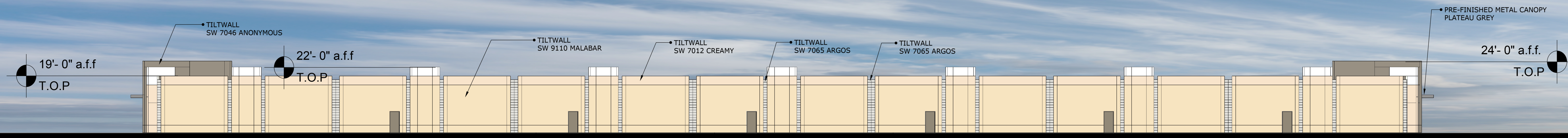
TYPICAL DUMPSTER ENCLOSURE ELEVATIONS



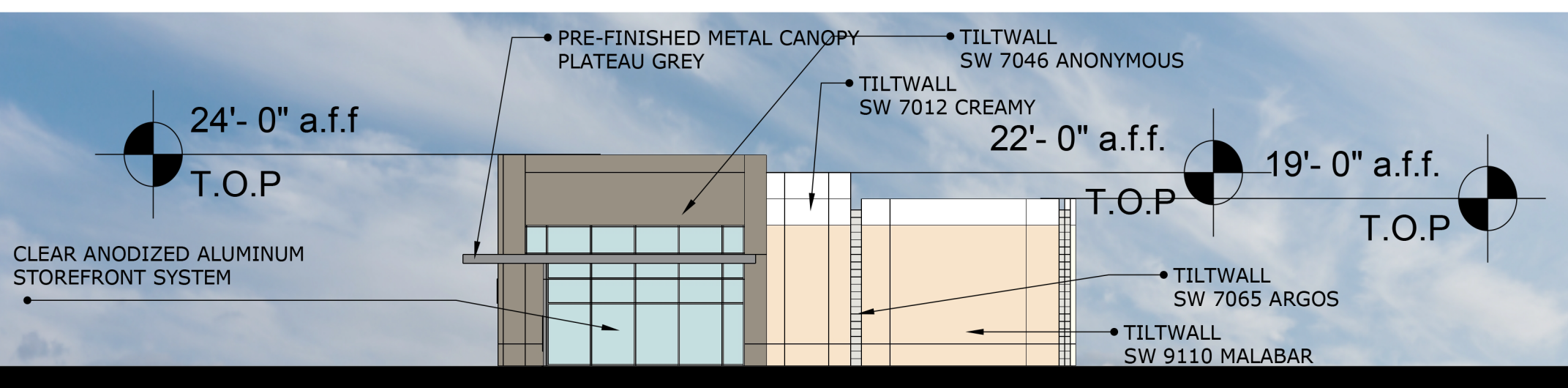
FAÇADE			
BLDG 1			
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
NORTH	0	14,140	14,140
SOUTH	235	11,220	11,455
EAST	59	3,734	3,793
WEST	59	3,734	3,793
<b>SF of Materials</b>			<b>TOTAL</b>
<b>Percentage of Material</b>			<b>33,181</b>
	353	32,828	100%
	1%	99%	



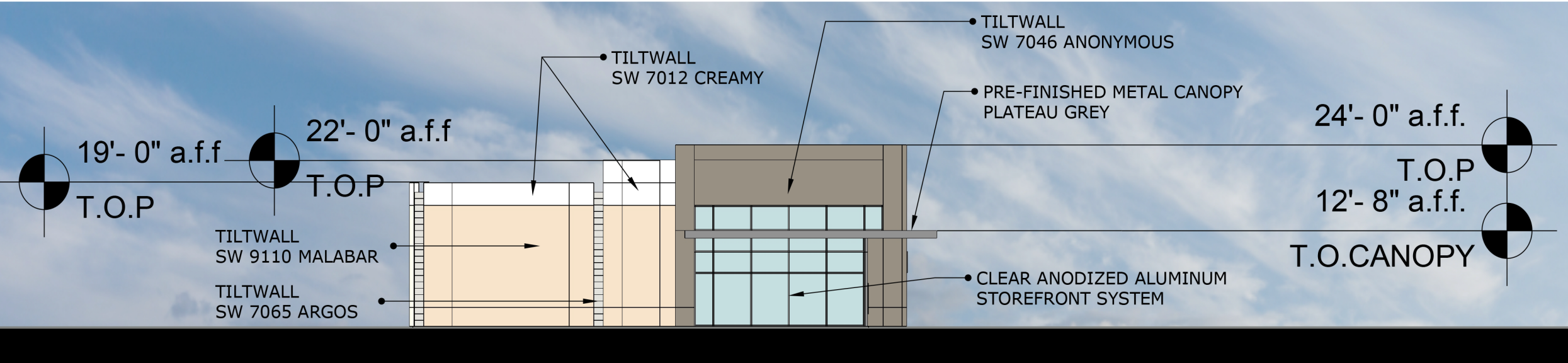
SOUTH



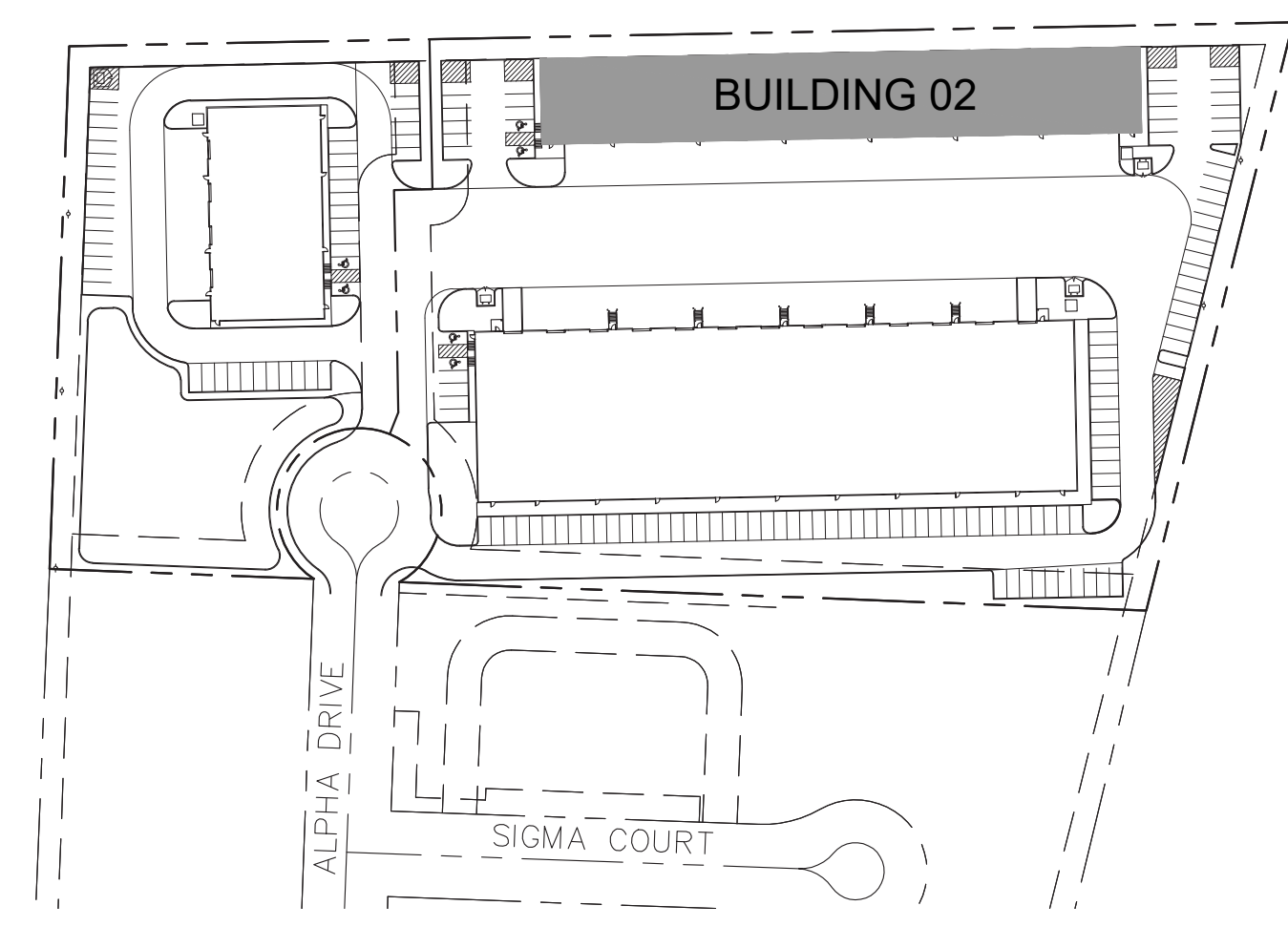
NORTH



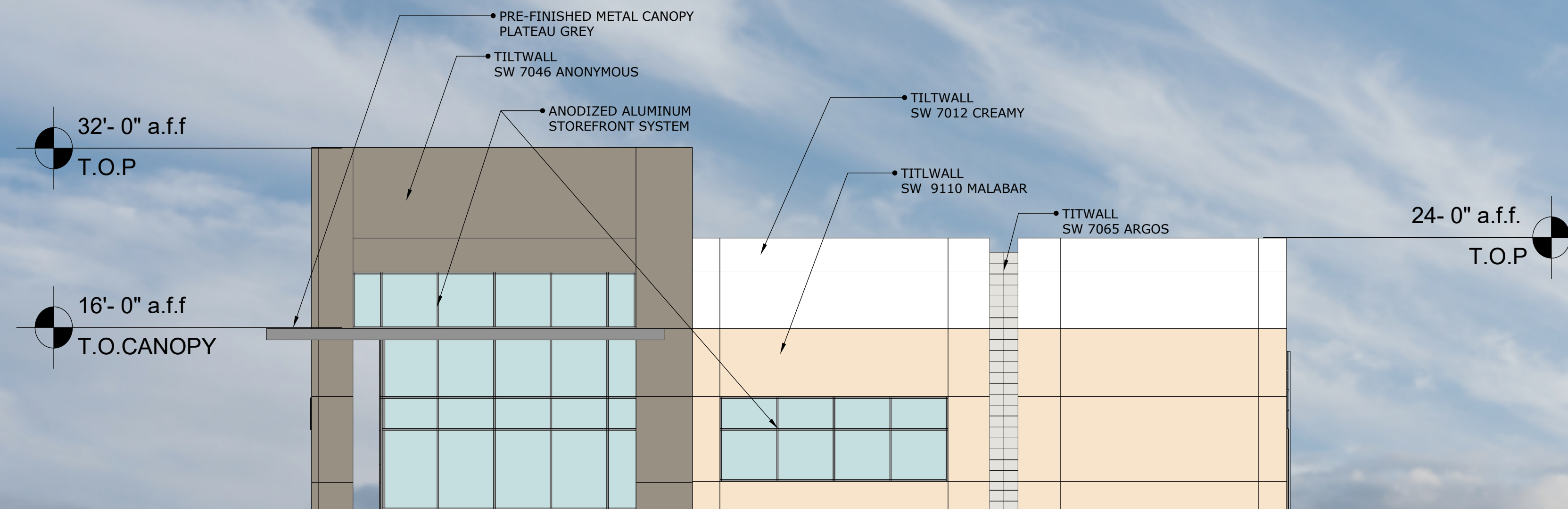
EAST



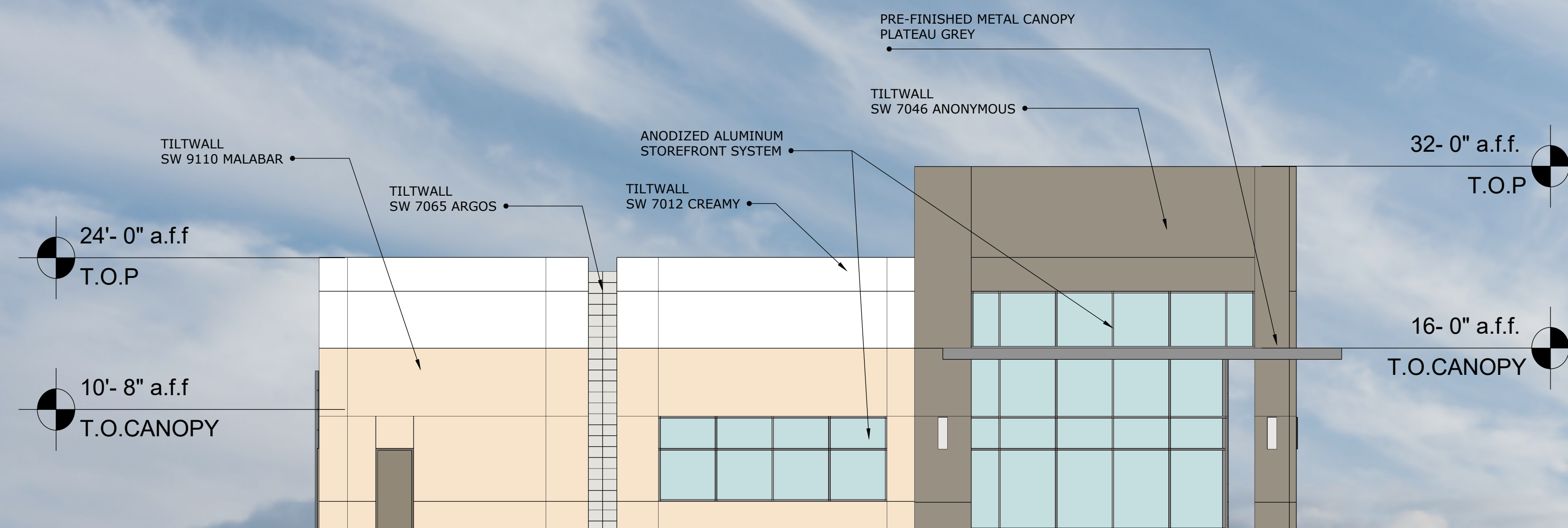
WEST



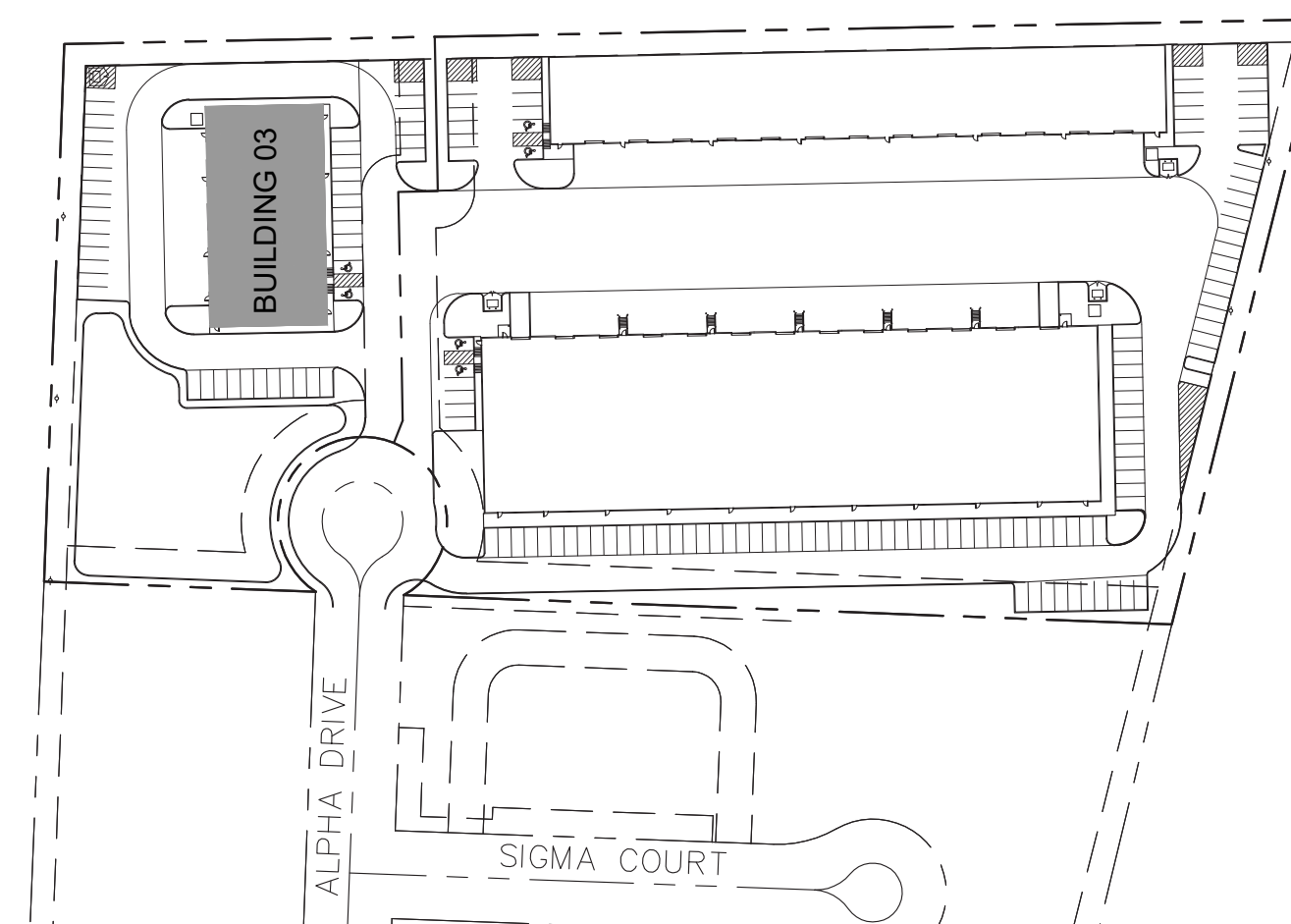
FAÇADE				
BLDG 2				
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)	
NORTH	0	9,178	9,178	
SOUTH	66	5,714	5,780	
EAST	33	1,086	1,119	
WEST	33	1,086	1,119	
SF of Materials		132	17,065	17,196
Percentage of Material		1%	99%	100%



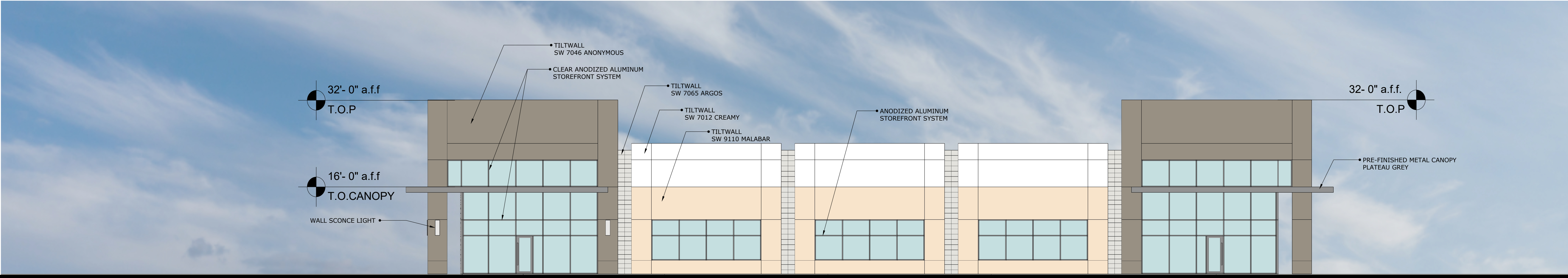
NORTH



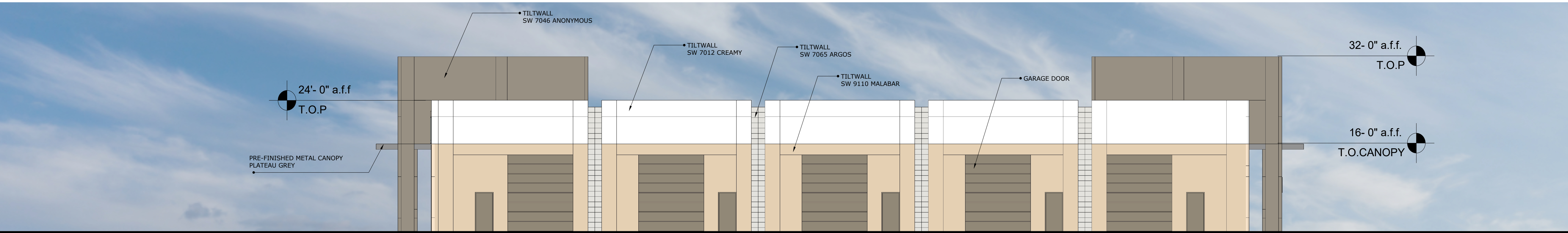
SOUTH



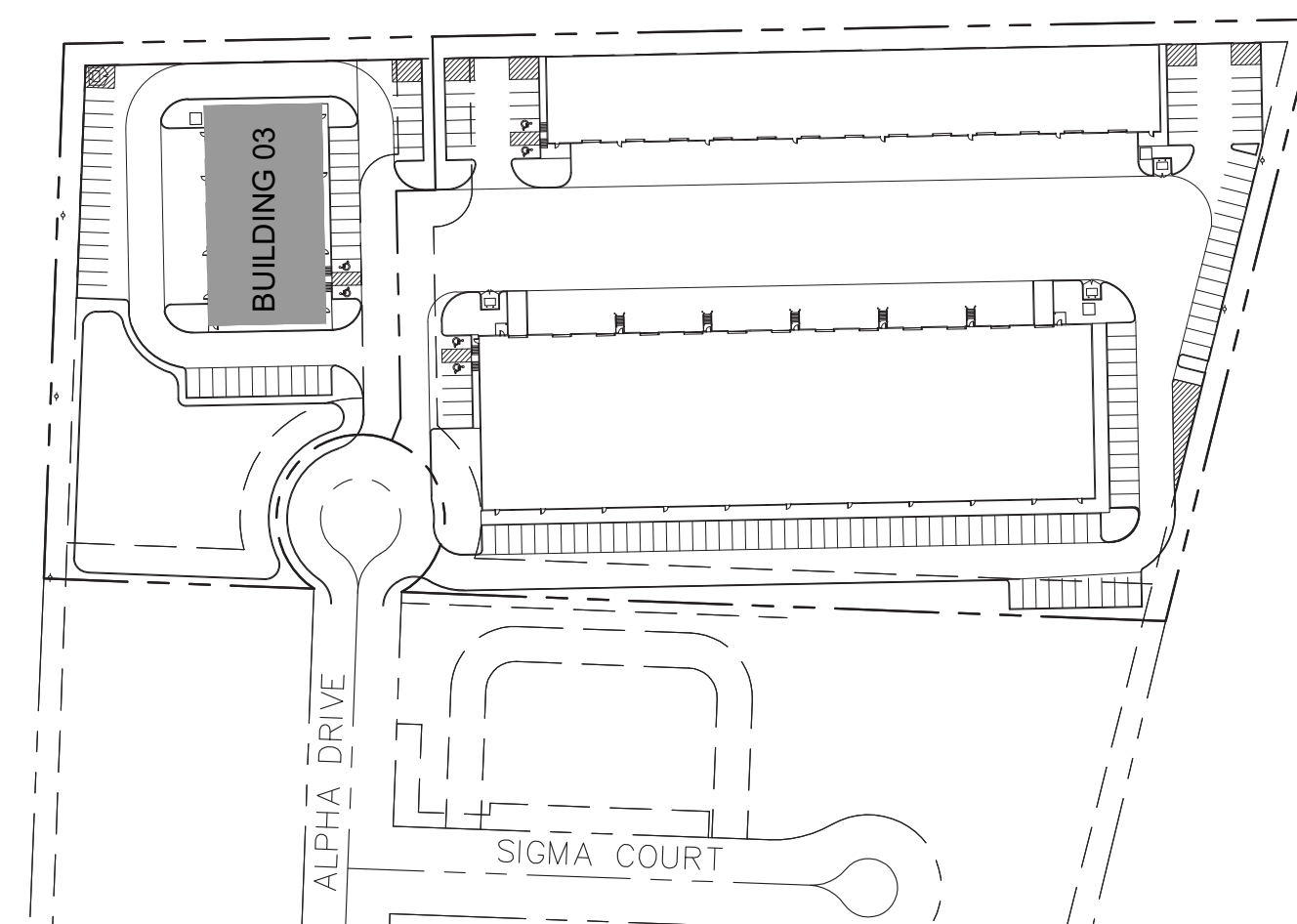
FAÇADE			
BLDG 3			
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
NORTH	35	1,634	1,669
SOUTH	35	1,634	1,669
EAST	74	2,824	2,898
WEST	0	3,096	3,096
<b>SF of Materials</b>	<b>144</b>	<b>9,188</b>	<b>9,332</b>
<b>Percentage of Material</b>	<b>2%</b>	<b>98%</b>	<b>100%</b>



EAST



WEST



FAÇADE			
BLDG 3			
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
NORTH	35	1,634	1,669
SOUTH	35	1,634	1,669
EAST	74	2,824	2,898
WEST	0	3,096	3,096
<b>SF of Materials</b>	<b>144</b>	<b>9,188</b>	<b>9,332</b>
<b>Percentage of Material</b>	<b>2%</b>	<b>98%</b>	<b>100%</b>



## City of Rockwall Project Plan Review History



<b>Project Number</b>	SP2019-040	<b>Owner</b>	ROCKWALL URBAN INDUSTRIAL, LP			<b>Applied</b>	10/21/2019	LM
<b>Project Name</b>	Ellis Centre Phase 2 Addition	<b>Applicant</b>	HALFF ASSOCIATES			<b>Approved</b>		
<b>Type</b>	SITE PLAN					<b>Closed</b>		
<b>Subtype</b>						<b>Expired</b>		
<b>Status</b>	Staff Review					<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>						
ALPHA DR		ROCKWALL, TX 75087			<b>Zoning</b>			
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>		
ELLIS CENTRE 2		1	D	1	3586-000D-0001-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	
ENGINEERING	Sarah Johnston	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(10/24/2019 4:26 PM SJ)</p> <p>M - Add note, "No trees within 5' of utilities" to the landscape plan.</p> <p>M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19</p> <p>M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.19</p> <p>M - Driveway radii to be 30' min. Standards of Design 2.19</p> <p>M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 6.4.1</p> <p>M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.3.1</p> <p>M - Must show existing utilities and your planned service connections.</p> <p>M - Minimum easement width is 20' for proposed easements. Standards of Design 5.3.1 and 6.4</p> <p>M - Retaining walls in detention require a variance Standards of Design 3.3.2</p> <p>M - Must stub out the 8" water and 8" sewer to the northern property for future expansion</p> <p>M - Must meet all standards of design and construction.</p> <p>I - 4% Engineering Fees</p> <p>I - Impact Fees</p> <p>I - Must have detention on-site Manning's C-valve is per zoning</p> <p>I - Water and sewer lines must have 10' of easement on both sides</p> <p>I - No utilities in detention easements</p> <p>I - No grate utilities allowed</p> <p>I - Cul-de-sac paving to be 8" 3600 psi (6.5 sack mix)</p> <p>I - No sand is allowed under paving.</p> <p>I - Walls 3' and over must be engineered</p> <p>I - All retaining walls to be rock or stone face No smooth concrete walls</p> <p>I - If storm is picking up offsite drainage the pipe maintained must be</p> <p>I - Where you show the 15'x64' turnaround, you must stripe the entire area as no parking.</p>						
FIRE	Ariana Hargrove	10/21/2019	10/28/2019	10/24/2019	3 COMMENTS	see notes
<p>(10/24/2019 3:16 PM AA)</p> <p>FDC shall be:</p> <ul style="list-style-type: none"> <li>-facing and visible from the fire lane</li> <li>- within 100-feet of a fire hydrant</li> <li>- clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access</li> <li>- installed 18-48 inches above grade.</li> </ul> <p>(Ord 16-31)</p>						
GIS	Lance Singleton	10/21/2019	10/28/2019	10/22/2019	1 APPROVED	See comments
<p>(10/22/2019 3:01 PM LS)</p> <p>Addressing will be:</p> <p>BLDG 1 = 1915 Alpha Dr, Rockwall, TX 75087</p> <p>BLDG 2 = 1905 Alpha Dr, Rockwall, TX 75087</p> <p>BLDG 3 = 1910 Alpha Dr, Rockwall, TX 75087</p>						
PLANNING	David Gonzales	10/21/2019	10/28/2019	10/24/2019	3 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/24/2019 8:50 PM DG)						
SP2019-040; Site Plan for Rockwall Urban & Industrial Center (Ellis Centre, Phase 2)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-040) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the District Development Standards, of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide a label for the parking count for each row of spaces in order to determine total parking count						
2) The cross sections of concrete pavement thickness is to be determined by the engineering department during the civil submittal process and is not considered to be approved during this site plan process.						
3) Parking for an office use requires a minimum of one(1) parking space per 300-SF (i.e. 1:300 SF) of gross floor area. Will there be offices uses within this complex? If so, please update parking legend. (Article VI, Table 3).						
4) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.						
5) Is there a front building set back? If so, this is required to be 25-ft. Please adjust accordingly.						
6) Provide a label for all drive aisle widths.						
7) Indicate and label all sidewalk widths proposed for this site.						
8) Delineate and label all loading dock parking spaces. Minimum 12-ft wide & 65-ft in length. (Art. VI, Section 6.04)						
9) Ground mounted utility equipment and RTUs shall be screened from adjacent public rights-of-way and adjacent property. Provide screening detail for these units. (Art. V, Sec. 1.05.3)						
10) Provide screening along the western property boundary from the school district property. (Art. VIII, Sec. 5.02.B Landscape Screening)						
11) Will there be any outside storage of materials, products, etc.?						
M.8 Building Elevations. According to Subsection 5.01.A1, of the General Industrial District Standards, of Article V, District Development Standards, of the UDC, requires a minimum of 20% stone (i.e. natural or synthetic/cultured) on all building façades. In this case, the construction of the addition does not include stone on any façade. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						
M.9 Building Elevations. According to Subsection 5.01A.1, General Industrial District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 90% primary materials and ten (10) percent secondary materials. In this case, the construction consists of concrete tilt-up wall. The use of concrete tilt-up walls may be permitted on a case-by-case basis in accordance with the exception requirements outlined in this section of the UDC This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.10						Building Elevations. Please review the articulation formulas contained in Section 5.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
M.11						Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> <li>1) Indicate all HVAC units (i.e. dash-in RTU's) on the building elevations so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC).</li> <li>2) Provide calculation of building materials as a percentage</li> </ol>
M.12						Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> <li>1) Provide screening along the western property boundary from the school district property. Art. VIII, Sec. 5.02.B Landscape Screening, states (a) any non-residential...land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 &amp; 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. As a note, the Agricultural (AG) District is considered residential.</li> <li>2) Correct table to indicate a minimum 15% landscaping required (currently indicates 10%).</li> <li>3) All new tree plantings are to be a minimum of 4-inch caliper trees. Correct plan. (Art. VIII, Sec. 4.A.2)</li> <li>4) Parking lots greater than 20,000 SF are required to provide a minimum of one (1) tree for each 10 parking spaces. 161 parking spaces = 16 trees within the parking lot area. (Art. VIII, Sec. 5.03.E.2)</li> </ol>
M.13						Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.
M.14						Photometric Plan. According to Section 3.3, Minimum Requirements, of Article VII, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC. <ol style="list-style-type: none"> <li>1) No light pole, base or combination thereof shall exceed an overall height of 30-ft. Provide pole detail. (Art. VII, Sec. 3.3.D)</li> </ol>
M.15						Based on the submittal staff has identified the following exceptions: <ol style="list-style-type: none"> <li>1) Building Materials. The proposed addition is requesting the use of tilt-up wall construction and does not include a minimum of 20% stone.</li> <li>2) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC.</li> </ol>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.</p> <p>I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning &amp; Zoning Meeting. Please note that the Planning &amp; Zoning Work Session meeting will be held on October 29, 2019.</p> <p>I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission.</p> <p>I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						
Police Department	David Gonzales	10/25/2019	11/1/2019	10/25/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/25/2019 12:12 PM DG)						
The following CPTED comments are from Captain Ed Fowler of the Rockwall Police Department						
SP2019-040 Ellis Center Phase 2						
Considerations						
<ul style="list-style-type: none"> <li>• Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing</li> <li>• Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area.</li> <li>• Consider lighting spaced at intervals around the overhead doors(sides) and rear that fully illuminate the area.</li> <li>• Evaluate transitional lighting for employees entering the parking lot from an area that has bright lighting to dim lighting and may pose a visual problem</li> <li>• There does not appear to be shrubs or trees that will obstruct views around the business</li> <li>• Consider additional locking mechanisms for overhead doors in the form of a bar system and case hardened locking system</li> <li>• Consider the addition of removable bollards for overhead doors to prevent vehicles from being used to breach the doors</li> <li>• Consider auxiliary locking system on main entrance door(s) with limited key access, key pad or electronic badges for afterhours employees</li> <li>• Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors</li> <li>• Consider motion sensor alarms inside the business and motion activated lighting for the interior.</li> <li>• Consider installation of locking mechanisms on all sliding windows up to the use of security rods.</li> <li>• Roof access points should be locked from the inside</li> <li>• Consider installation of solid core doors for offices inside the business including the room that houses the safe Single cylinder locks for all offices and a double cylinder lock for the safe room</li> <li>• Consider an additional alarm inside the safe room, either attached to the entrance door or safe</li> <li>• Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage.</li> <li>• Consider the addition of security cameras for the interior the business.</li> <li>• Interior considerations are not being added without speaking with the business owners/ reps first.</li> </ul>						
<p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p>						



## STANDARD SITE PLAN WORDING

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE**

### SITE PLAN SIGNATURE BLOCK

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

\_\_\_\_\_  
*Planning & Zoning Commission, Chairman*

\_\_\_\_\_  
*Director of Planning and Zoning*



Revision No.	Date	Description

**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY  
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

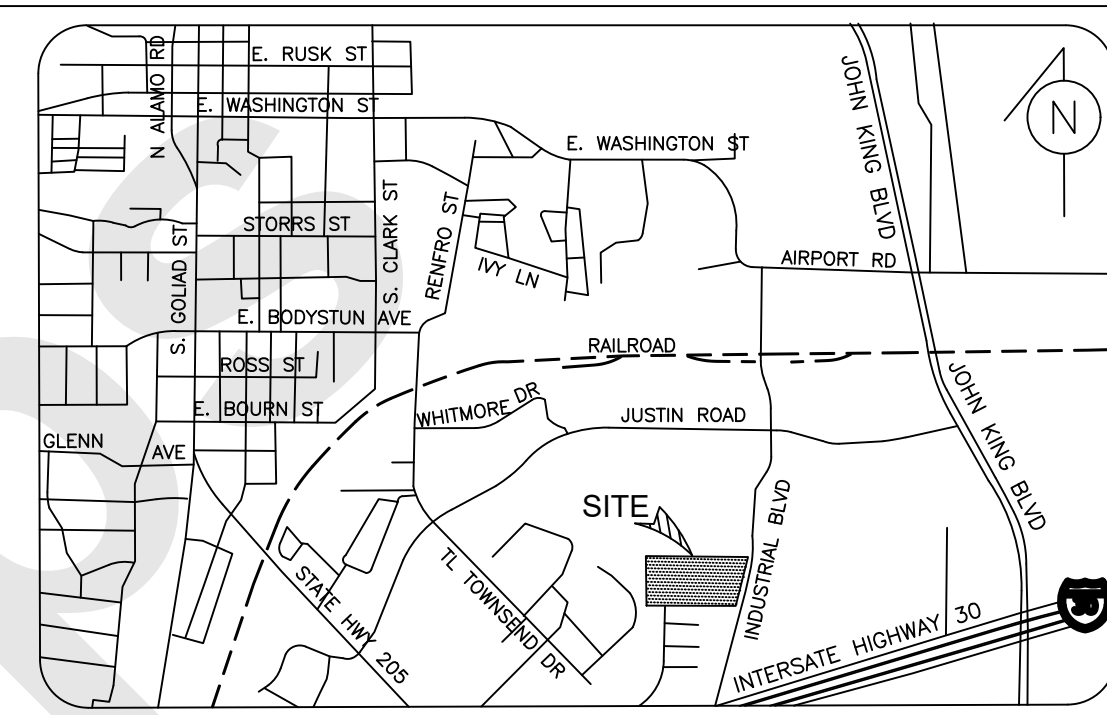
DYLAN B. HEDRICK 10/21/19  
 NAME P.E. NO.  
 DATE 10/18/2019  
 TBPE FIRM # F-312

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL, LP  
 13150 COIT ROAD  
 DALLAS, TX. 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198

**ENGINEER**  
 HALFF ASSOCIATES, INC.  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX. 75081  
 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAIN WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.

Project No.: 35989  
 Issued: OCTOBER 2019  
 Drawn By: REP  
 Checked By: DBH  
 Scale: AS SHOWN  
 Sheet Title  
**DETAILED SITE PLAN**  
**1 OF 1**  
 Sheet Number  
 Case Number:



**SHEET DATA:**

<b>CURRENT ZONING</b>	LIGHT INDUSTRIAL
<b>PROPOSED LAND USE:</b>	LIGHT INDUSTRIAL
<b>TOTAL SITE AREA:</b>	7.02 ACRES

<b>BUILDING:</b>	
BUILDING 1	50,400 SF
BUILDING 2	25,200 SF
BUILDING 3	12,000 SF

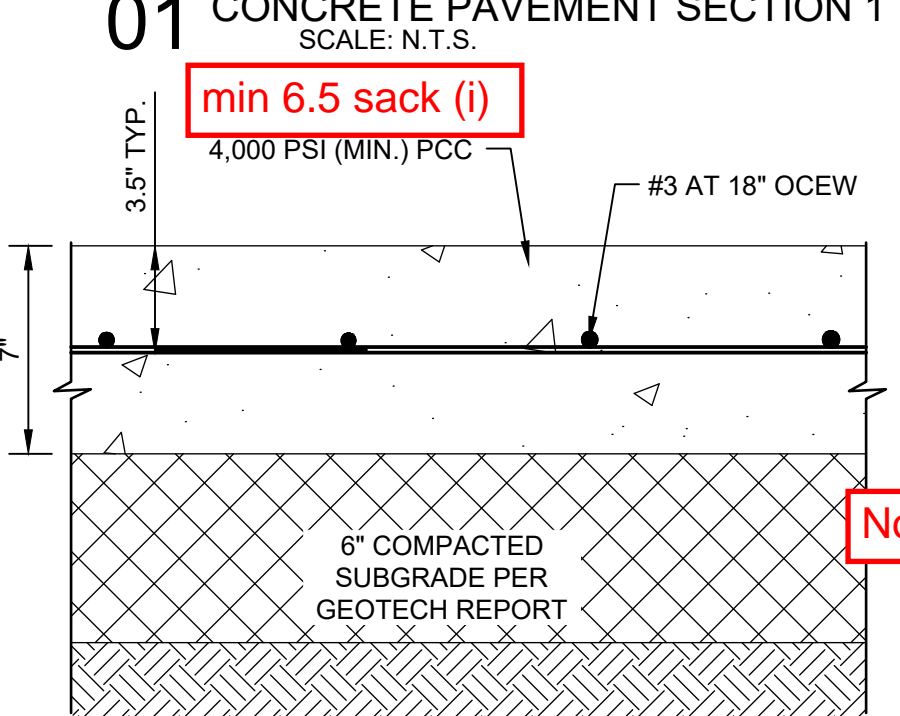
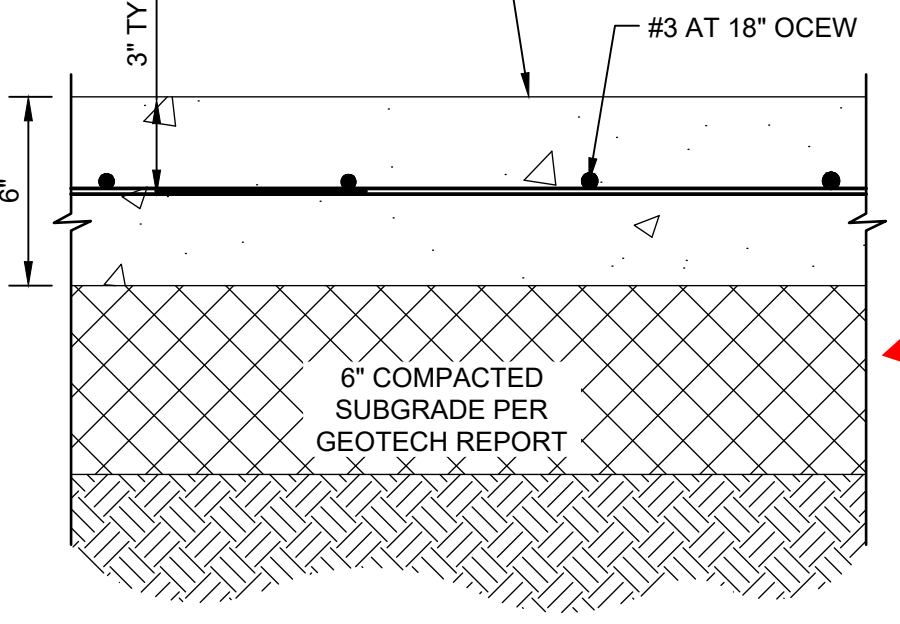
<b>PARKING:</b>	
REQUIRED: 1 SPACE/1,000 SF	
TOTAL REQUIRED:	88 SPACES
PROVIDED:	161 SPACES
ACCESSIBLE SPACES PROVIDED:	6 SPACES

\*SPACES ARE INCLUDED IN TOTAL ABOVE

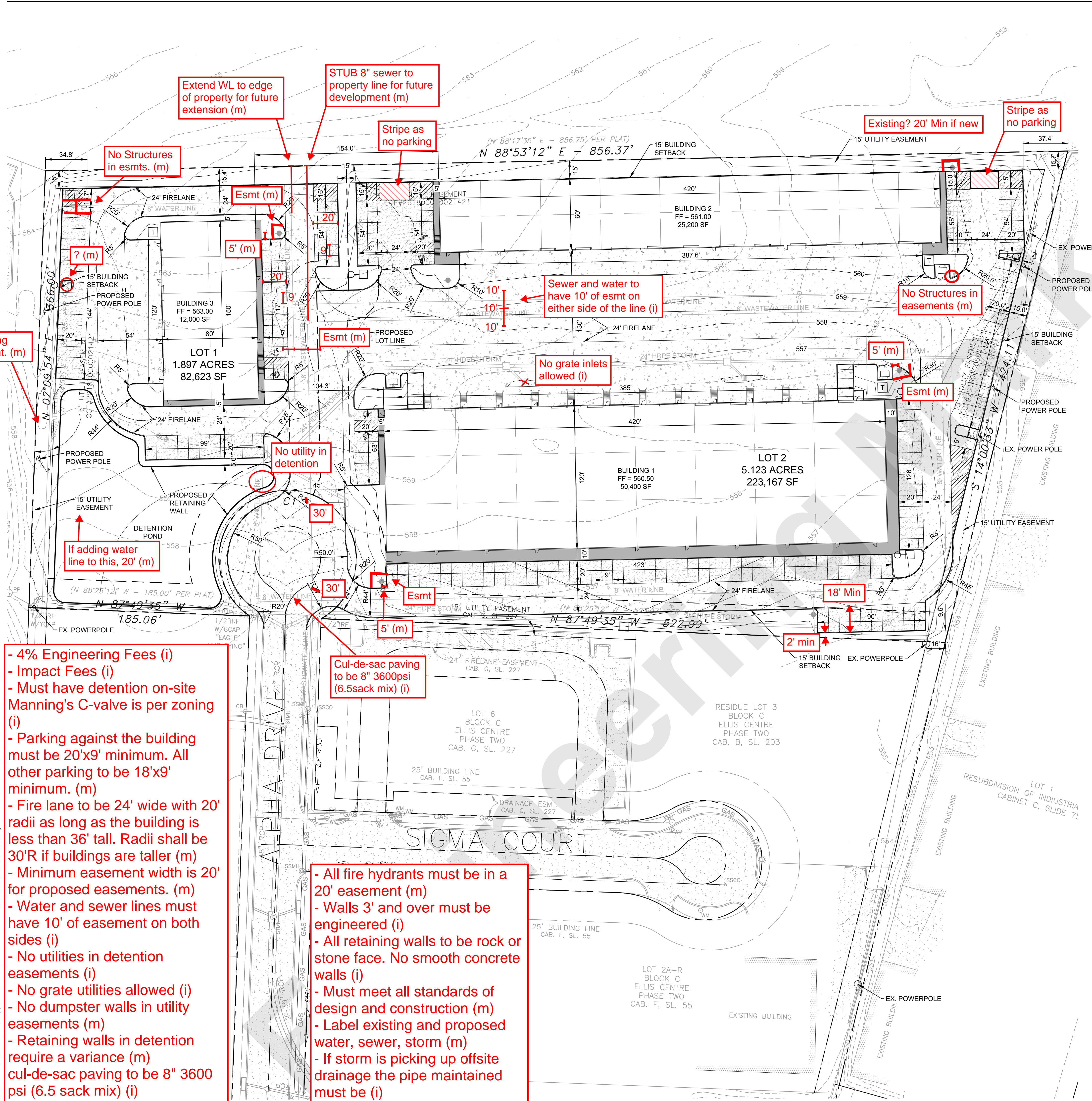
**PAVING LEGEND**

- 6" 3,600 PSI CONCRETE PAVEMENT.
- 7" 4,000 PSI CONCRETE PAVEMENT.
- 4" SIDEWALK
- 6" CURB
- FIRE LANE
- PROPERTY LINE

EXISTING FEATURES LEGEND		PROPOSED FEATURES LEGEND	
F.H.	FIRE HYDRANT	○	POWER POLE
PP	OVERHEAD POWERPOLE	●	FIRE HYDRANT
SSMH	SANITARY SEWER MANHOLE	□	GRATE INLET
WV	WATER VALVE	□	CURB INLET
---	EXISTING CONTOURS	□	STORM HEADWALL
		□	TRANSFORMER PAD
		---	PROPOSED CONTOURS
		○	LIGHT POLE



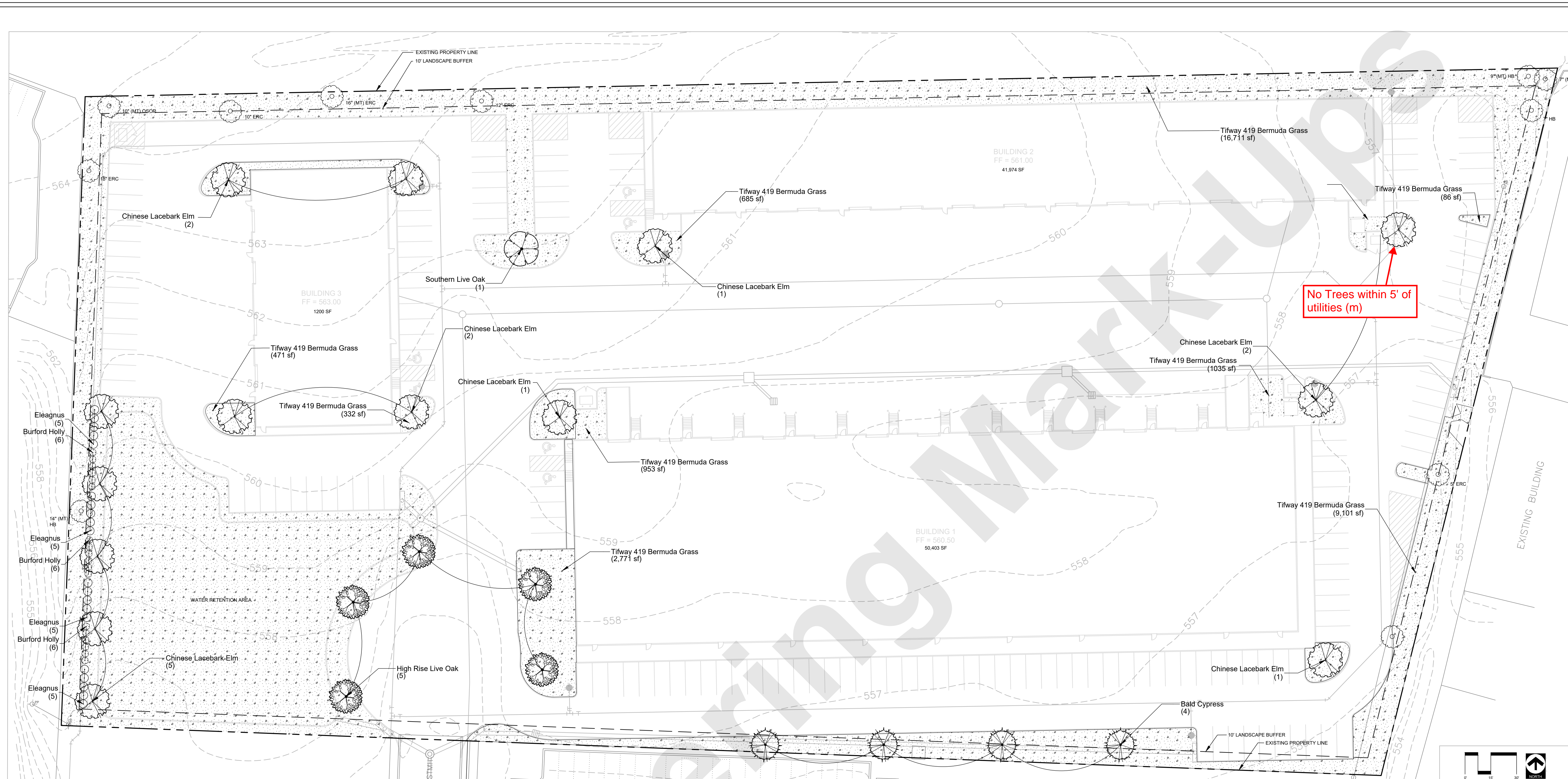
NOTES:  
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



- 4% Engineering Fees (i)
- Impact Fees (i)
- Must have detention on-site Manning's C-value is per zoning (i)
- Parking against the building must be 20'x9' minimum. All other parking to be 18'x9' minimum. (m)
- Fire lane to be 24' wide with 20' radii as long as the building is less than 36' tall. Radii shall be 30'R if buildings are taller (m)
- Minimum easement width is 20' for proposed easements. (m)
- Water and sewer lines must have 10' of easement on both sides (i)
- No utilities in detention easements (i)
- No grate utilities allowed (i)
- No dumpster walls in utility easements (m)
- Retaining walls in detention require a variance (m)
- cul-de-sac paving to be 8" 3600 psi (6.5 sack mix) (i)

- All fire hydrants must be in a 20' easement (m)
- Walls 3' and over must be engineered (i)
- All retaining walls to be rock or stone face. No smooth concrete walls (i)
- Must meet all standards of design and construction (m)
- Label existing and proposed water, sewer, storm (m)
- If storm is picking up offsite drainage the pipe maintained must be (i)





**PLANTING PLAN**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	45 gal	3" Cal	8'-10" Ht.	4'-6" Spd	1
	Quercus virginiana 'High Rise' / High Rise Live Oak	45 gal	3" Cal	8'-10" Ht.	6'-7" Spd.	5
	Taxodium distichum / Bald Cypress	45 gal	3" Cal	10'-12" Ht.	4'-6" Spd	4
	Ulmus parvifolia / Chinese Lacebark Elm	45 gal	3" Cal	8'-10" Ht.	4'-6" Spd	14
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CAL	HT	SPD	QTY
	Eleagnus x ebbingei / Eleagnus	5 gal		18"-24" Ht.	18"-24" Spd	20
	Ilex cornuta 'Burfordii' / Burford Holly	5 gal		18"-24" Ht.	18"-24" Spd	18
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		66,576 sf		

**LANDSCAPE REQUIREMENTS**

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	10% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	31,598 SF	66,576 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (Inches)	REQUIRED	PROVIDED
	59" CALIPER*	60" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING		
200 SF MIN/ 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	
PERMIABLE LANDSCAPE PROVIDED		3,756 SF
SCREENING REQUIREMENTS		
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
1 TREE / 50' FRONTAGE	REQUIRED	PROVIDED
	1	1

**PLANTING NOTES**

**PREPARATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

**PLANT LOCATIONS**  
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

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**MAINTENANCE**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

**VERIFICATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

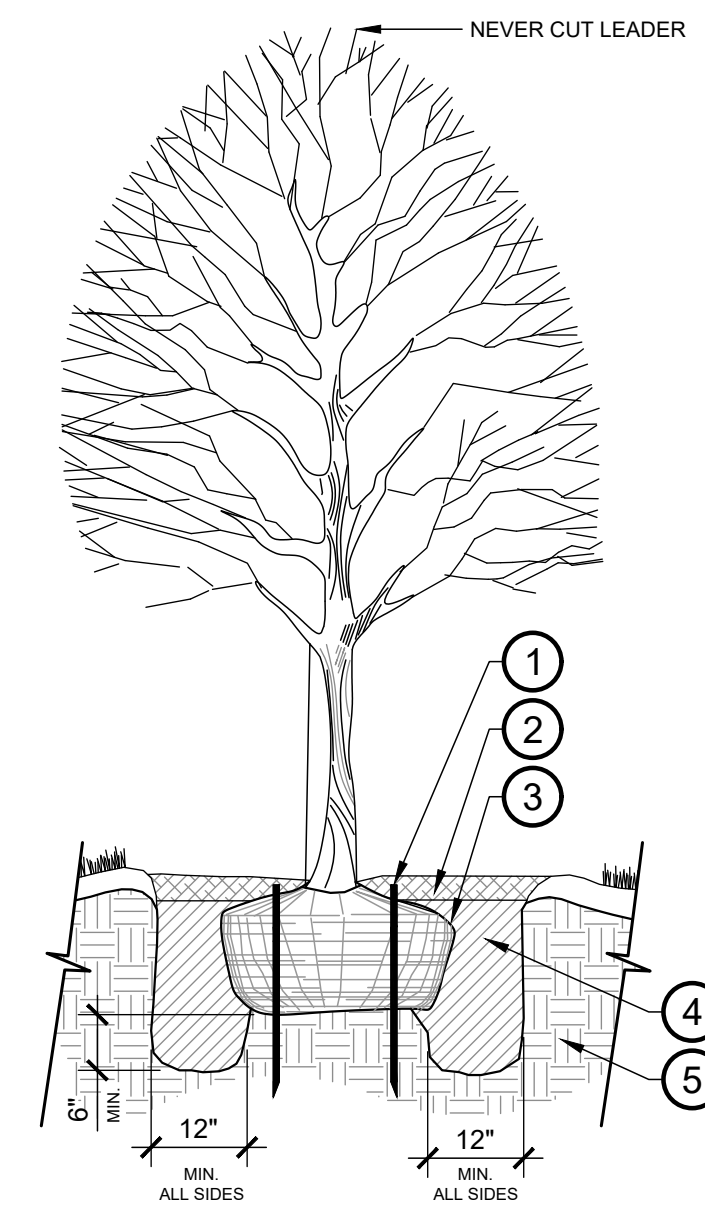
**PLANTING BEDS**  
ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

**MULCH**  
AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

**STANDARDS**  
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

**PROTECTED TREES**  
PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

**IRRIGATION**  
IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.



- KEY:**
- (1) ARBOR STAKES, INSTALL PER MANUFACTURE'S SPECIFICATIONS
  - (2) SPECIFIED MULCH - 3" MIN. DEPTH ENTIRE TREE BASIN
  - (3) SET TOP OF ROOT BALL 3" ABOVE FINISH GRADE; BUILD 3" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL
  - (4) LIVING EARTH PLANTING MIX OR APPROVED EQUAL, BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
  - (5) UNCOMPACTED NATIVE SOIL/UNDISTURBED SUBGRADE
- NOTE:**  
FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP, FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.

**1 NEW TREE PLANTING**  
N.T.S.

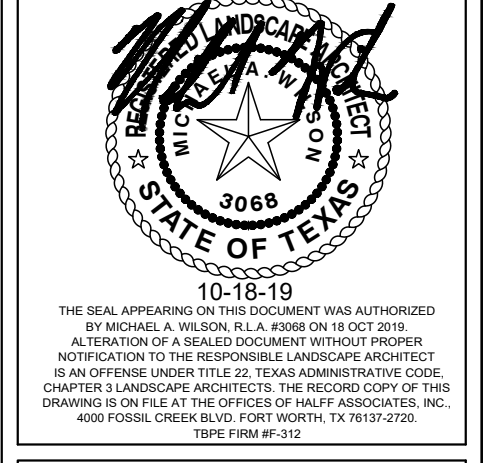
**EXISTING TREES**



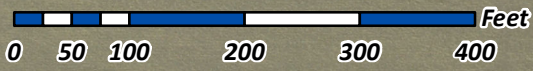
**Rockwall Urban + Industrial Center**  
END OF ALPHA DRIVE  
ROCKWALL, TX 75087

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6200

Revision No.	Date	Description



Project No.:	35989
Issued:	
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	LANDSCAPE PLAN
Sheet Number	L 2.01



SP2019-040 - SITE PLAN FOR ELLIS CENTRE PHASE 2 ADDITION  
SITE PLAN - LOCATION MAP =



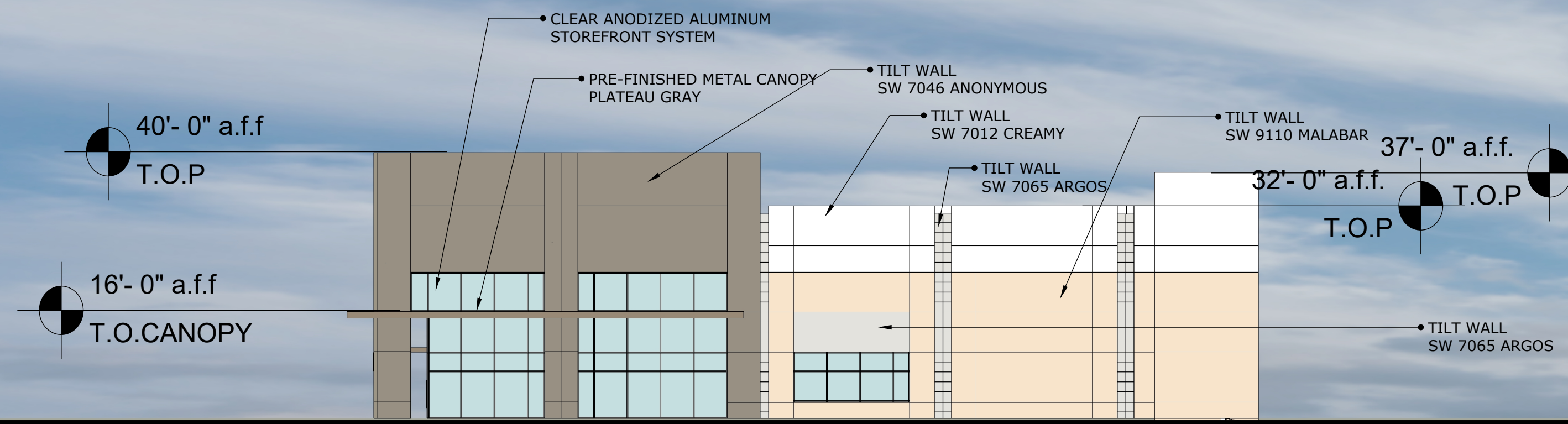
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

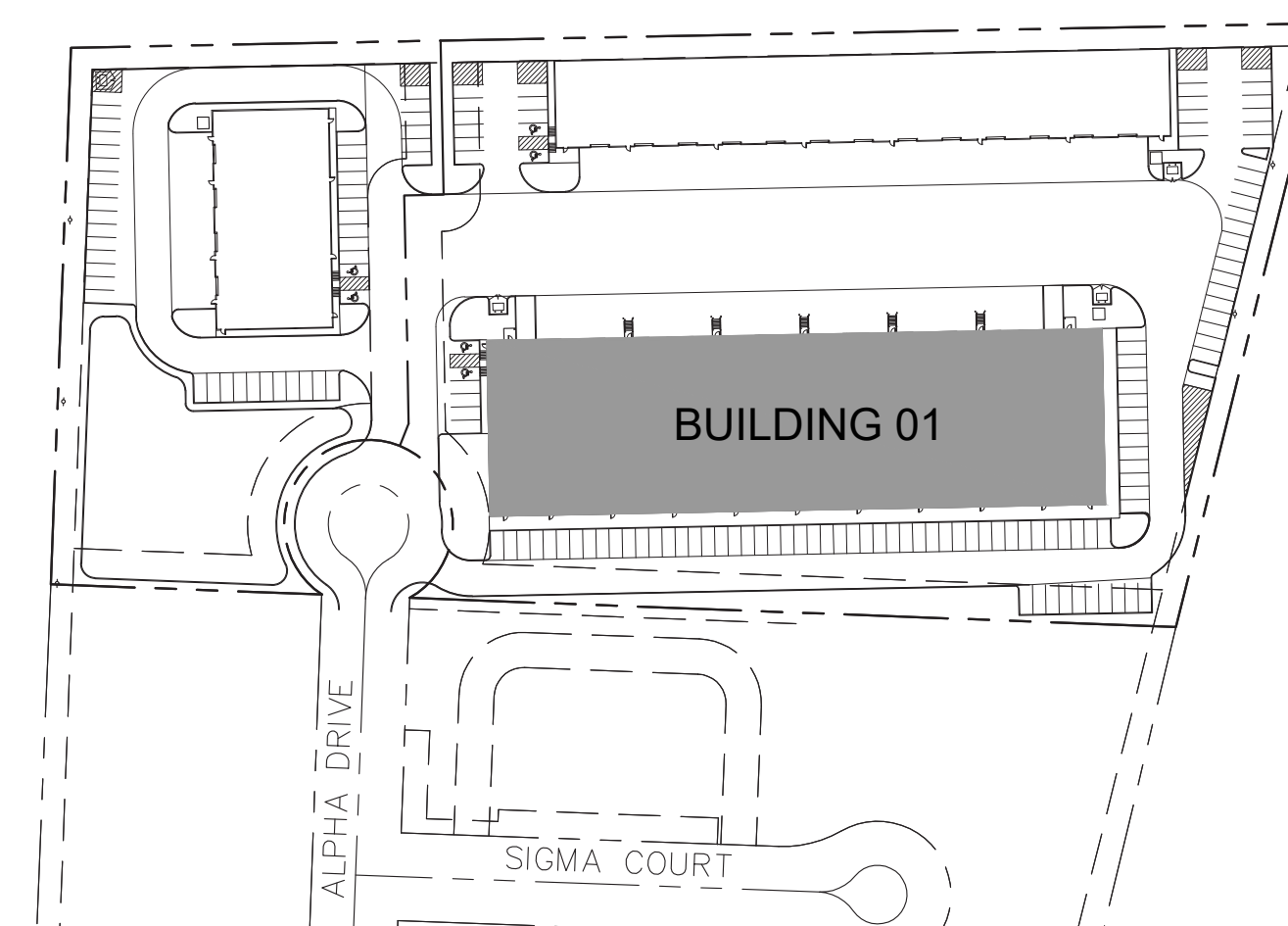
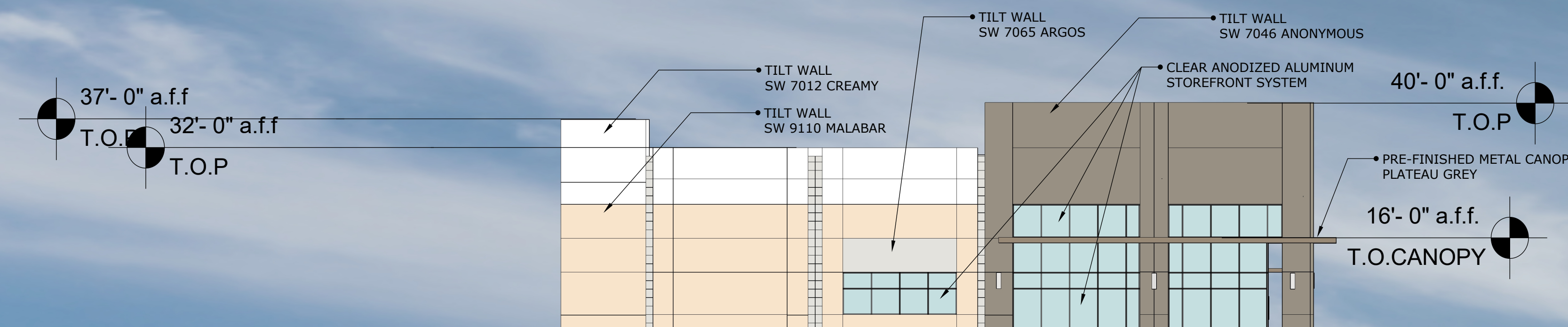
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



EAST



WEST

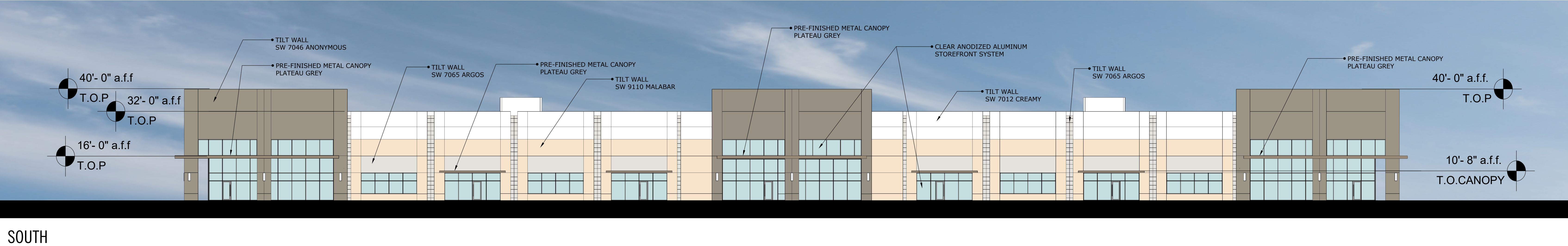
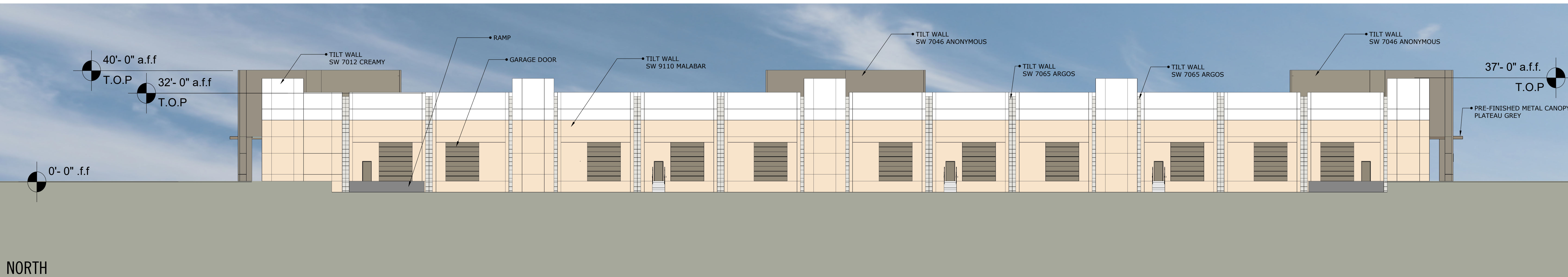


FAÇADE				
BLDG 1				
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)	
NORTH	0	14,140	14,140	
SOUTH	235	11,220	11,455	
EAST	59	3,734	3,793	
WEST	59	3,734	3,793	
SF of Materials		353	32,828	33,181
Percentage of Material		1%	99%	100%
		<b>TOTAL</b>		<b>33,181</b>

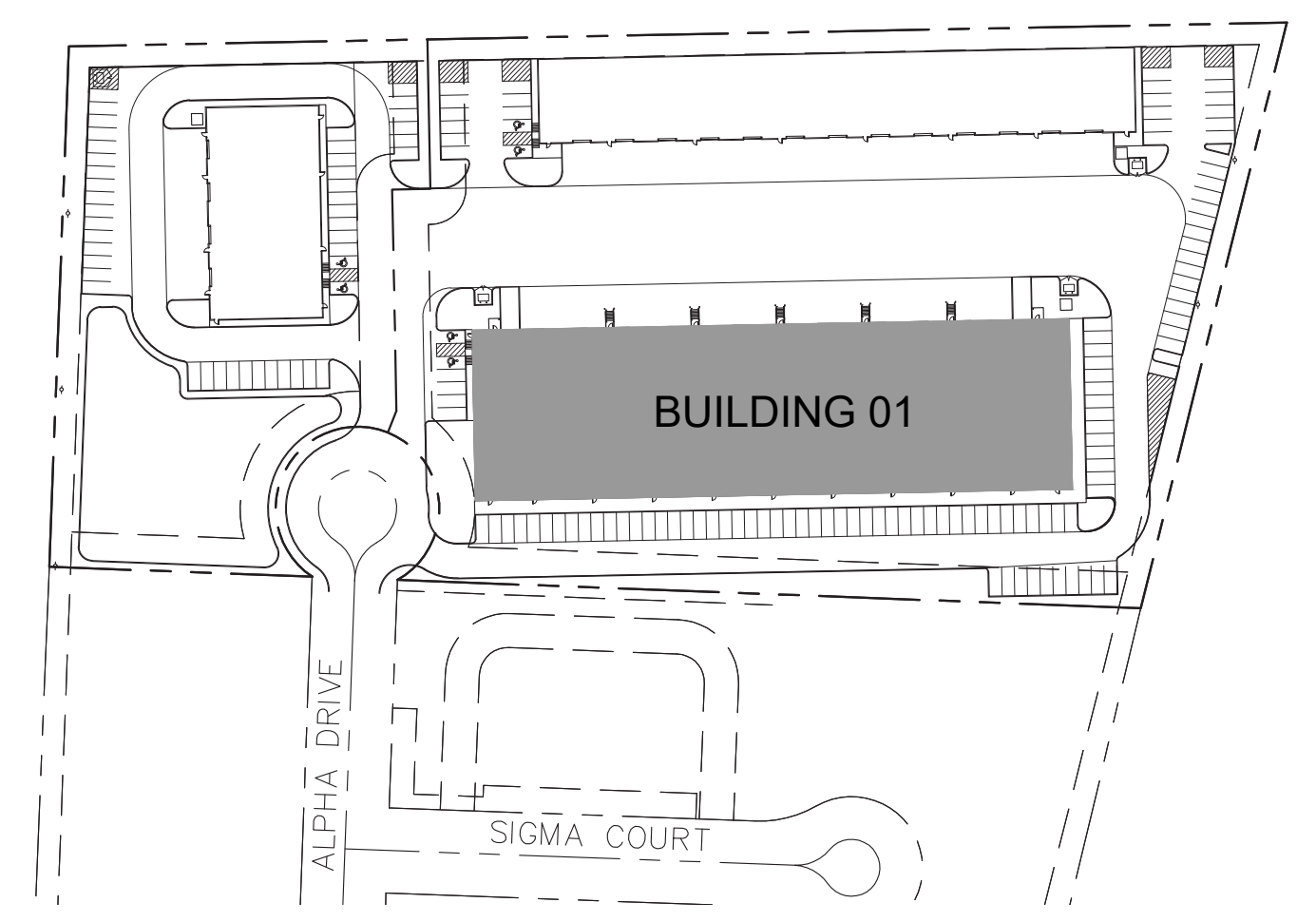
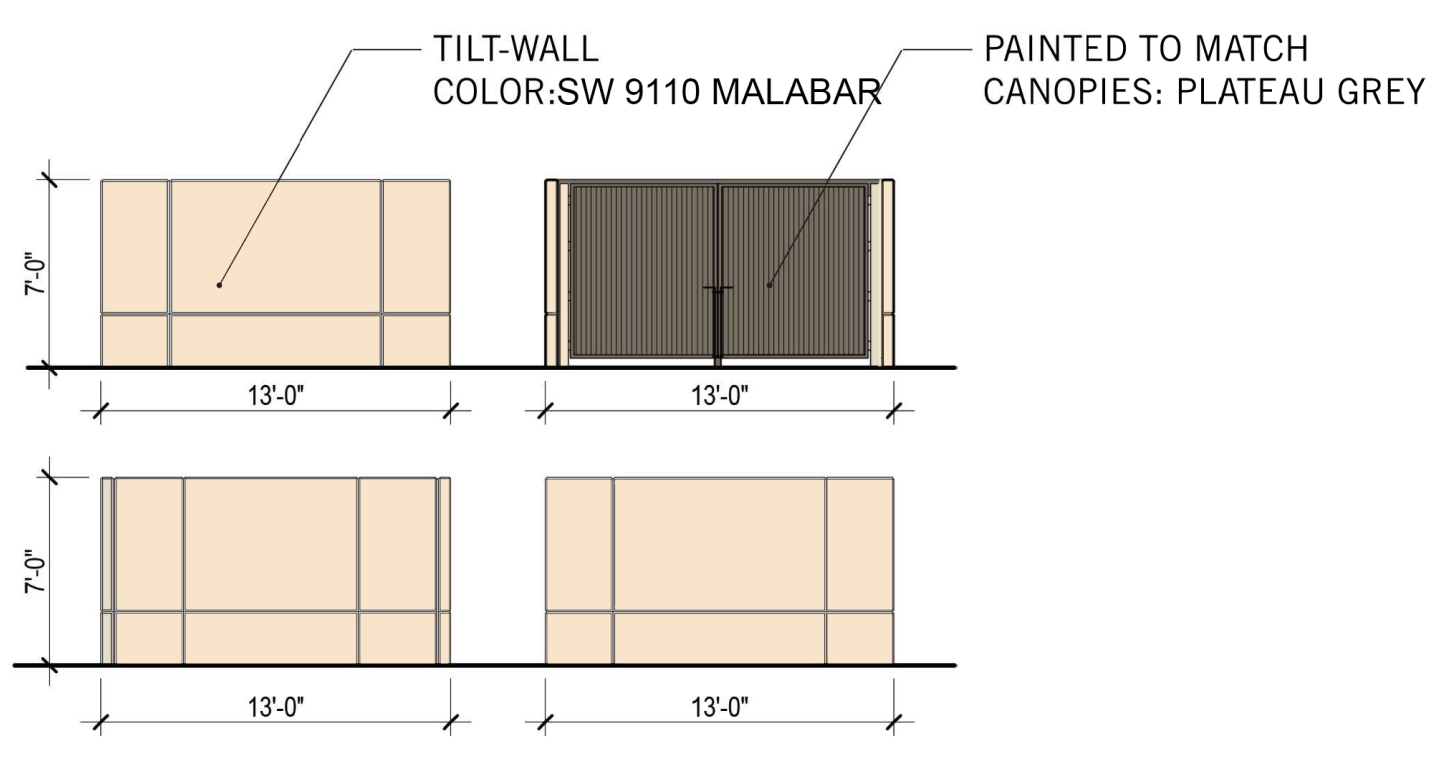
BUILDING ELEVATIONS

Scale: 1" = 20'-0"





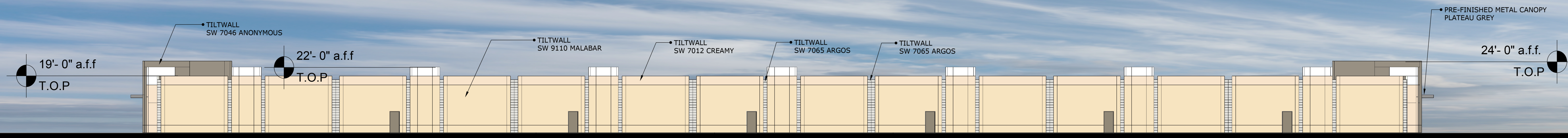
TYPICAL DUMPSTER ENCLOSURE ELEVATIONS



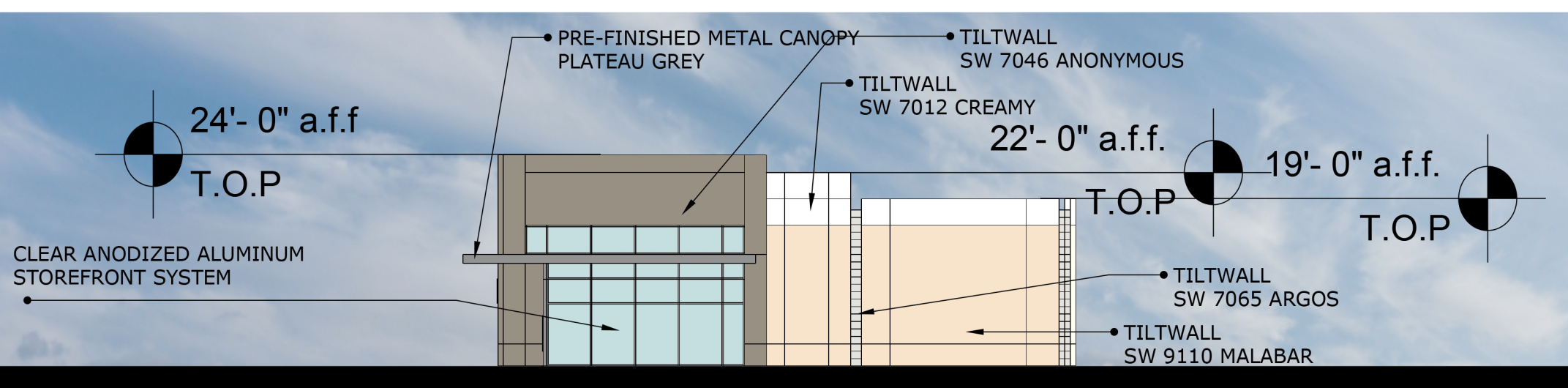
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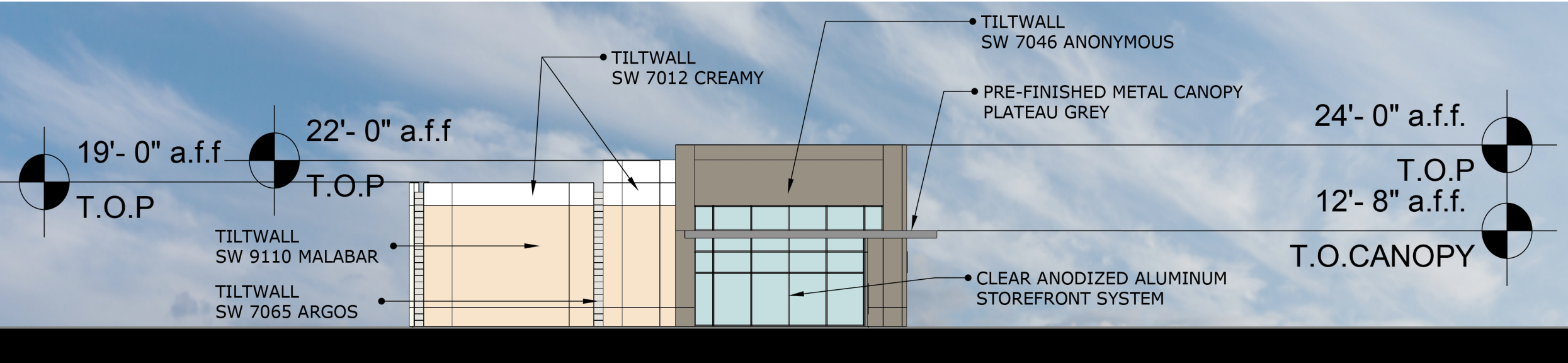
SOUTH



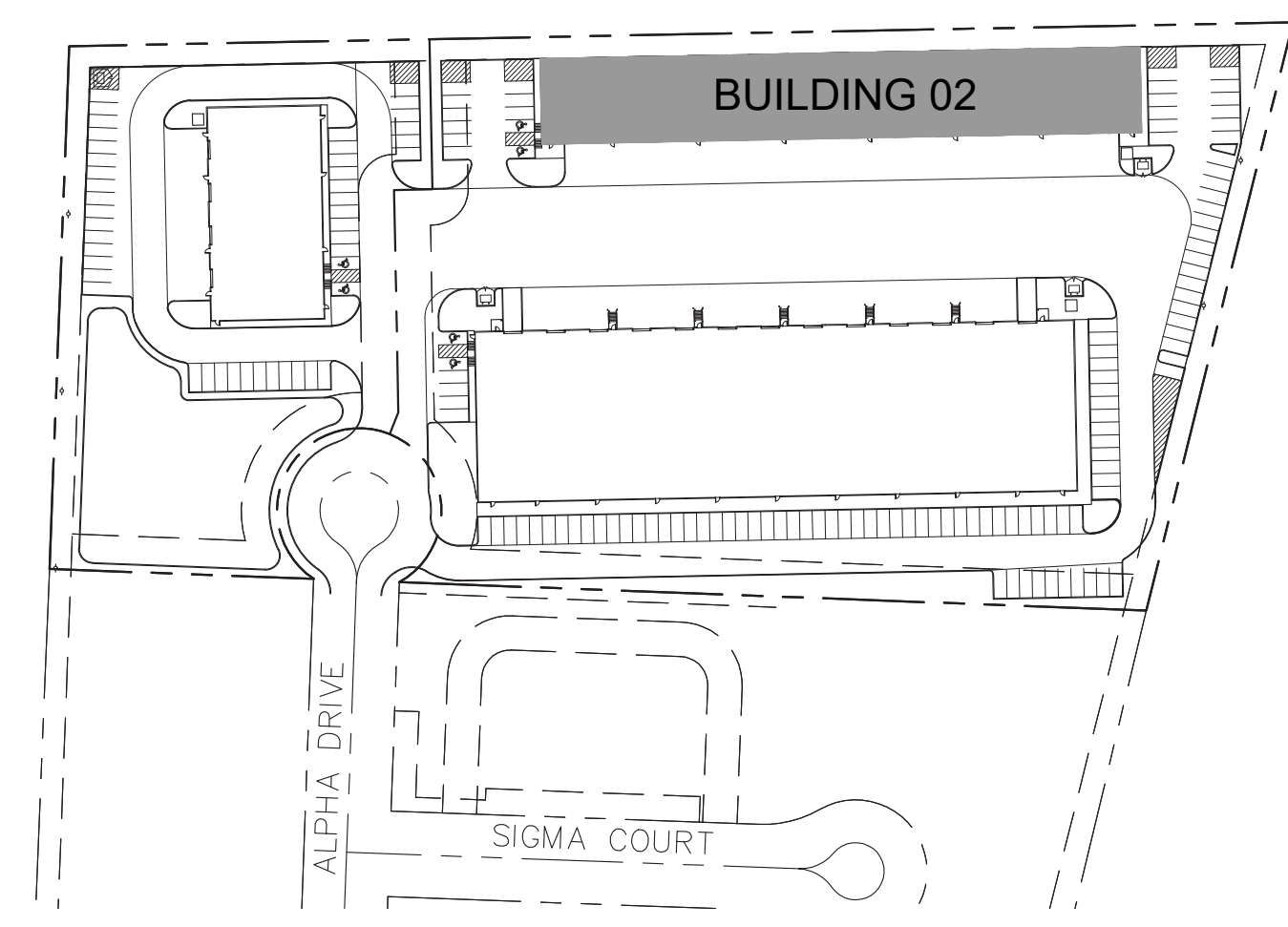
NORTH



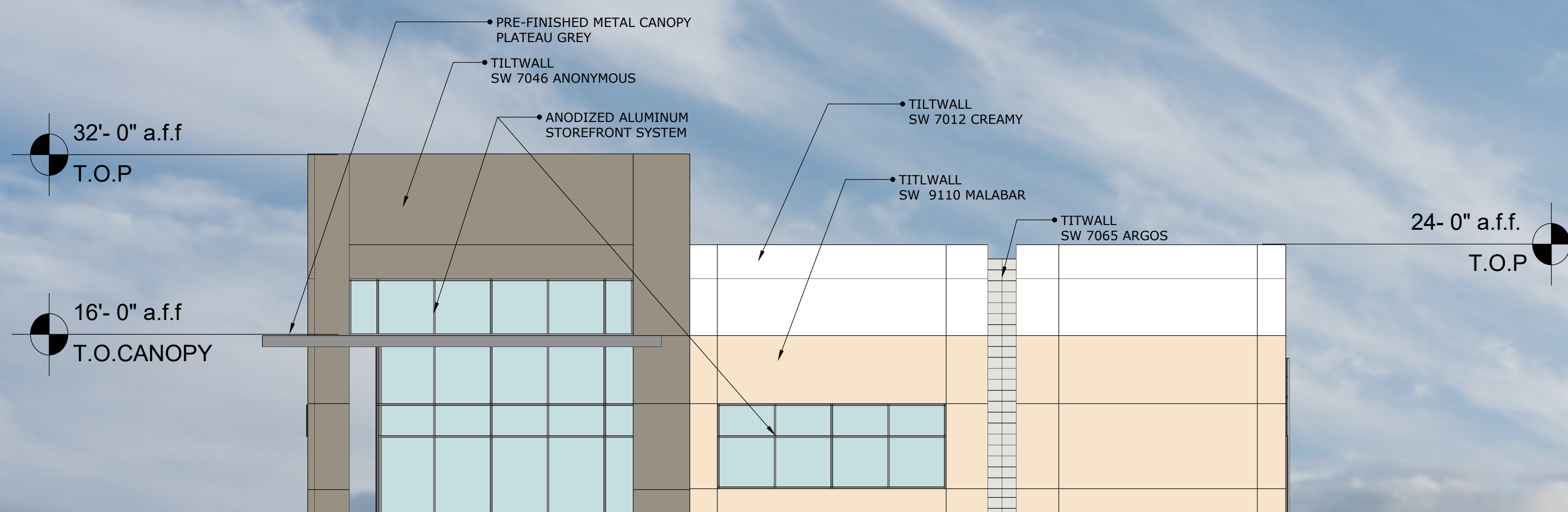
EAST



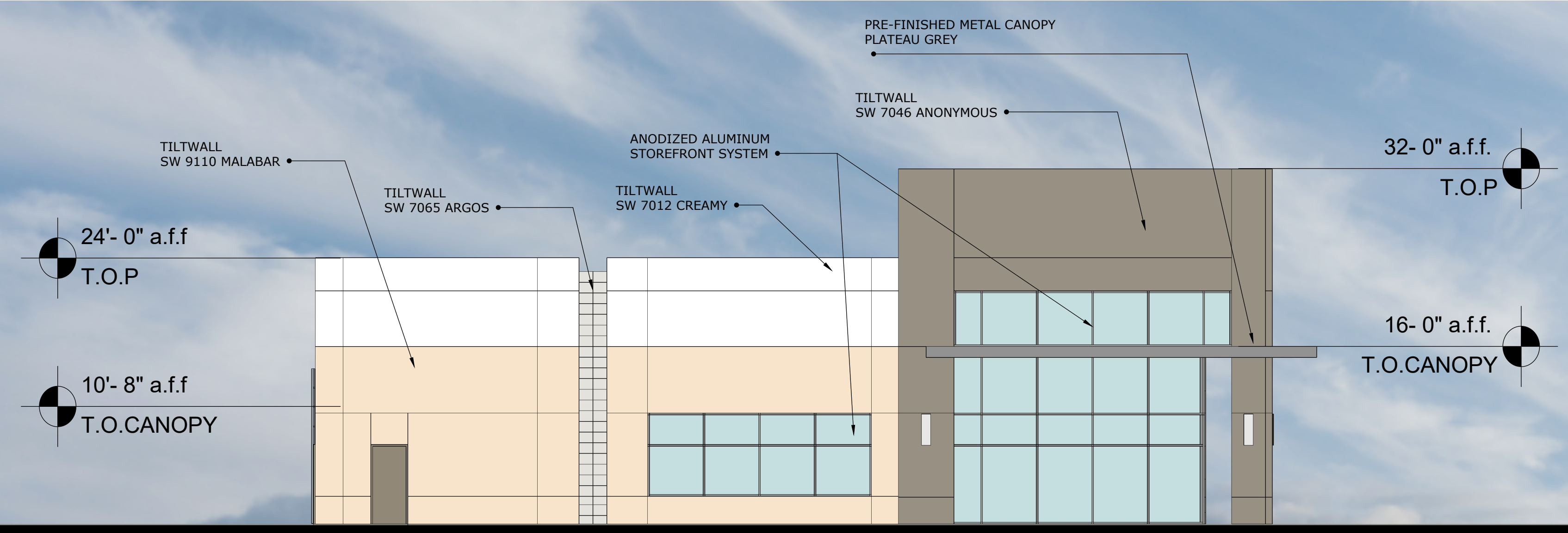
WEST



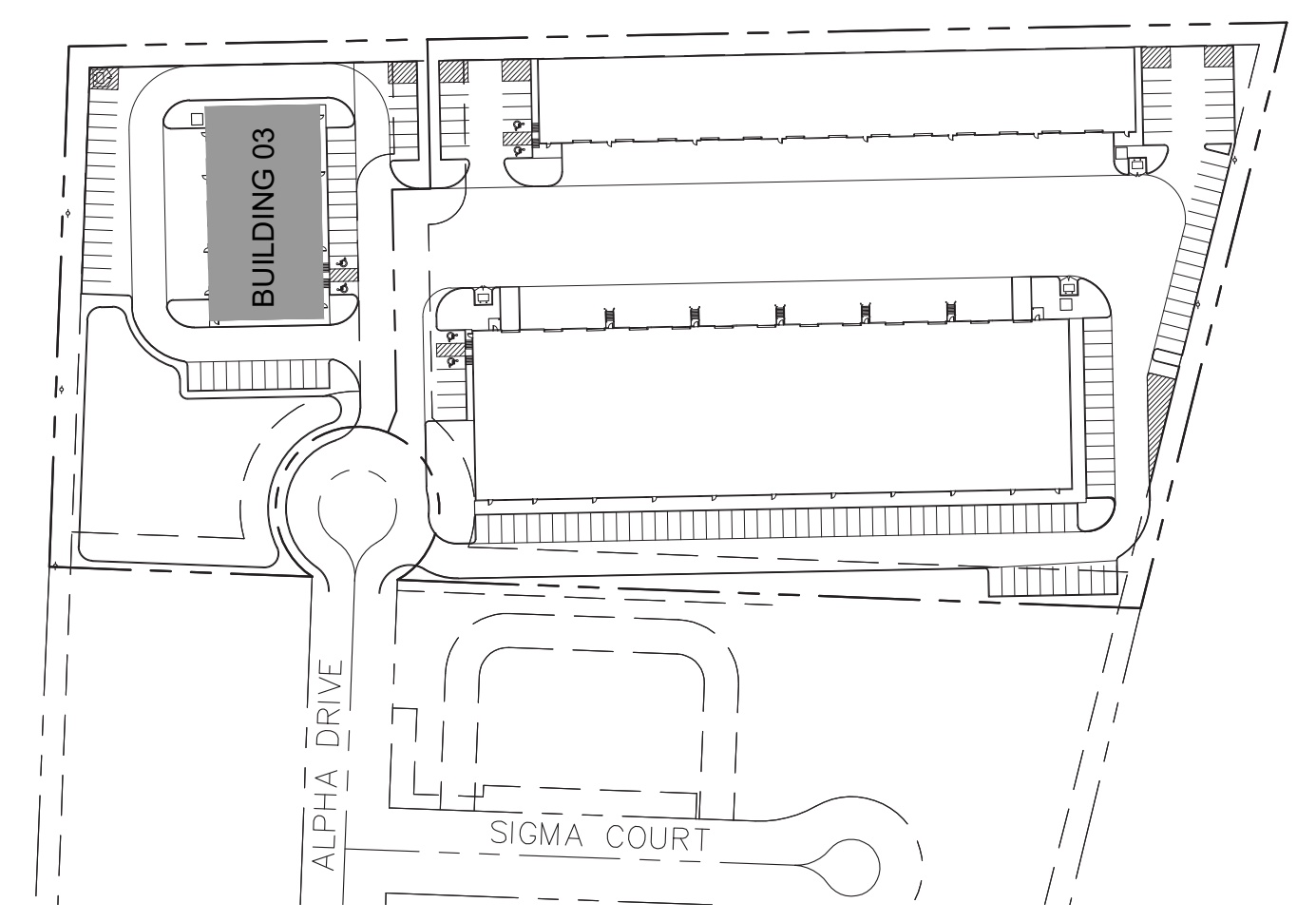
FAÇADE			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
BLDG 2	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	9,178	9,178
SOUTH	66	5,714	5,780
EAST	33	1,086	1,119
WEST	33	1,086	1,119
<b>SF of Materials</b>	<b>132</b>	<b>17,065</b>	<b>17,196</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>99%</b>	<b>100%</b>



NORTH

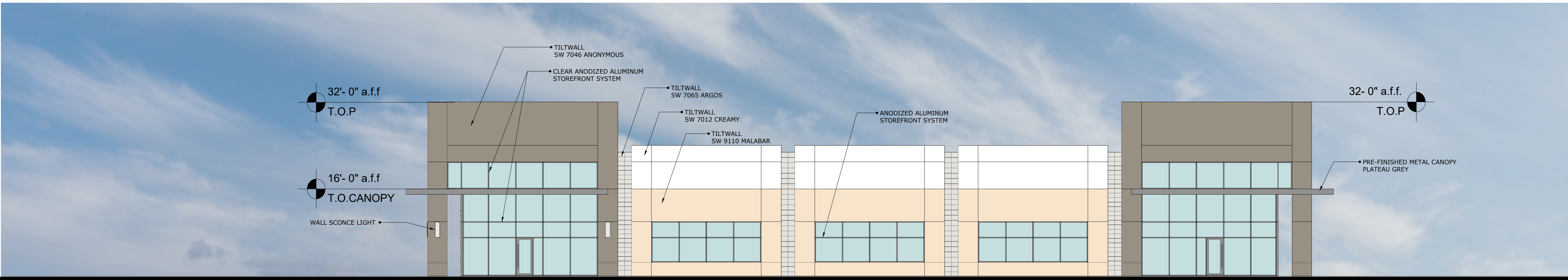


SOUTH

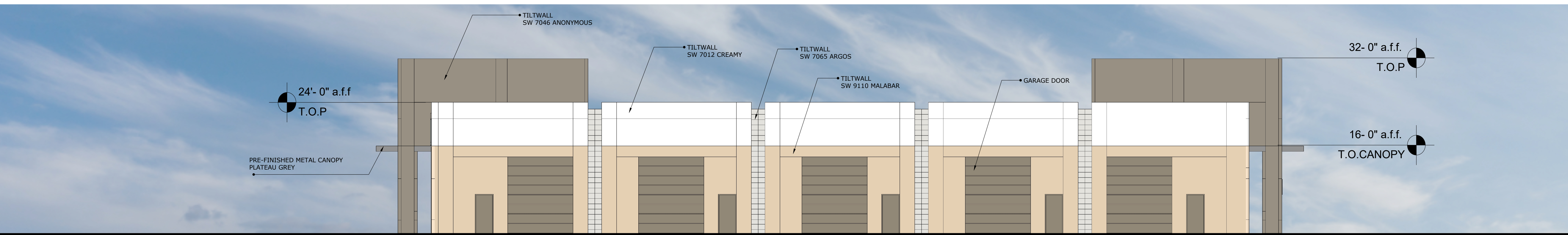


FAÇADE			
BLDG 3			
	METAL CANOPY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
NORTH	35	1,634	1,669
SOUTH	35	1,634	1,669
EAST	74	2,824	2,898
WEST	0	3,096	3,096
<b>SF of Materials</b>	<b>144</b>	<b>9,188</b>	<b>9,332</b>
<b>Percentage of Material</b>	<b>2%</b>	<b>98%</b>	<b>100%</b>

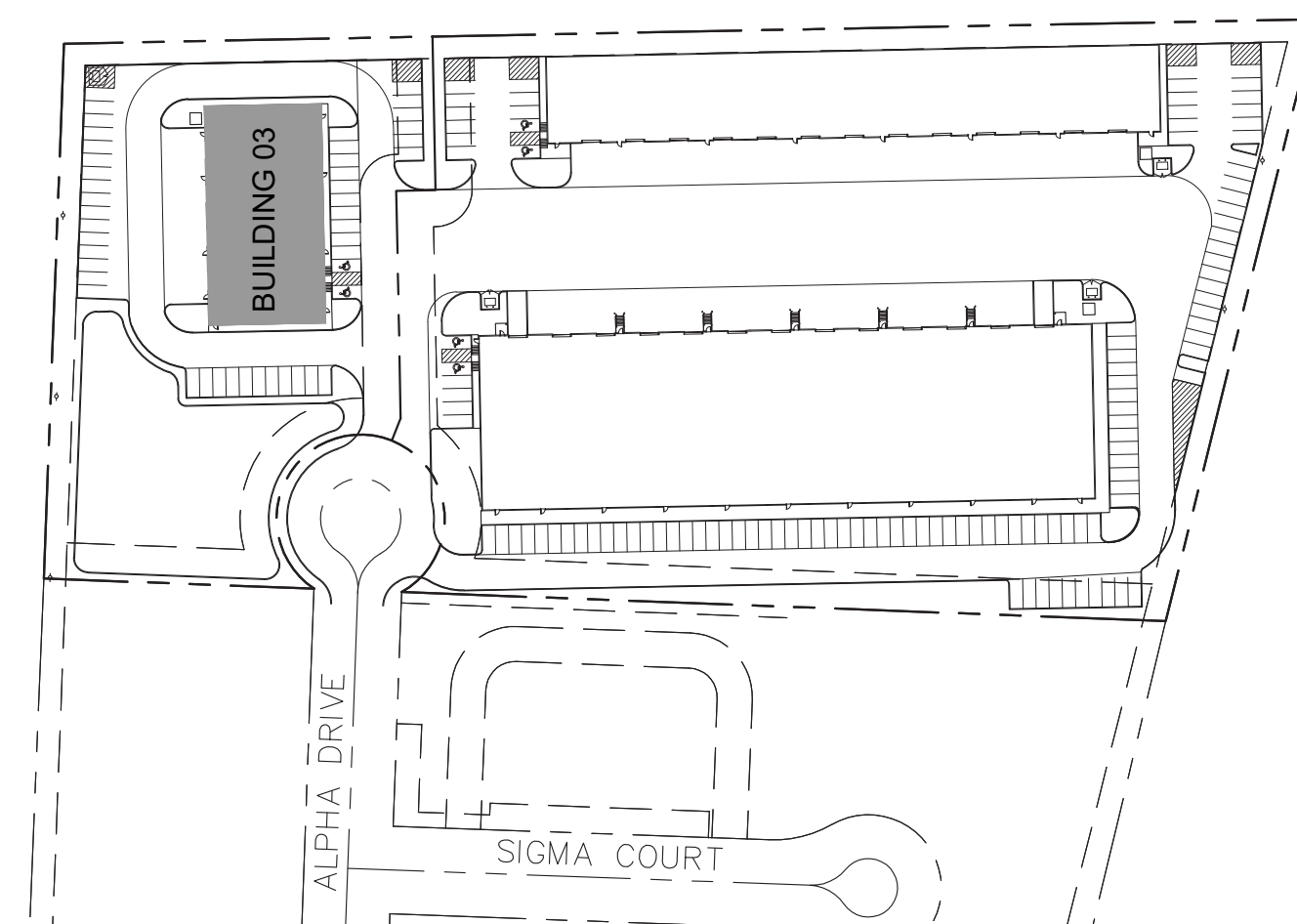




EAST



WEST



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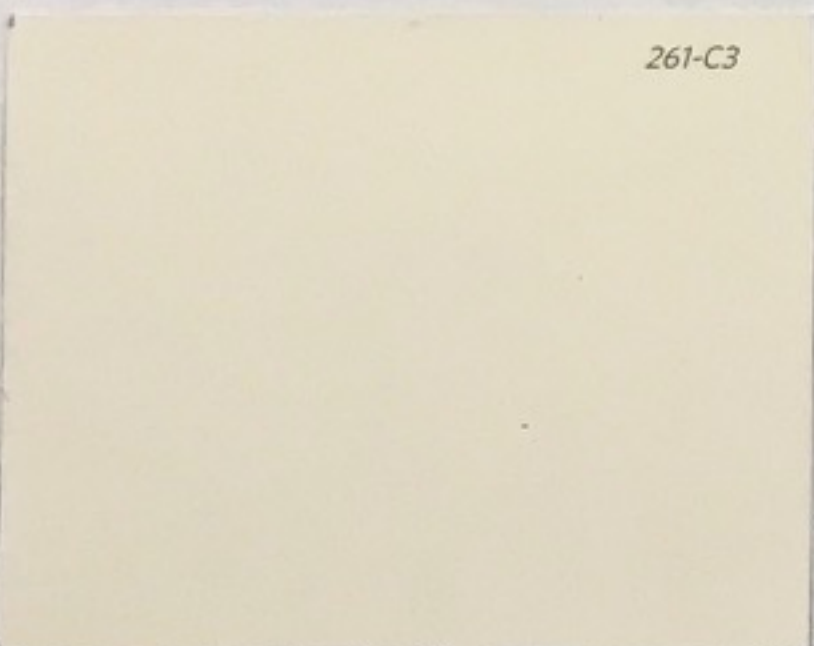
1. SW 7046 ANONYMOUS



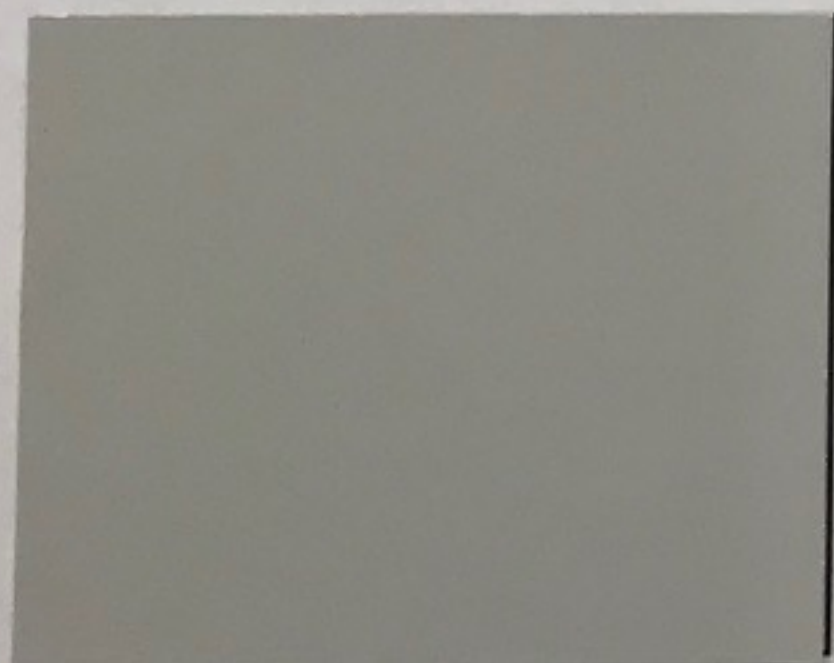
5. PRE-FINISHED METAL CANOPY  
PLATEAU GRAY



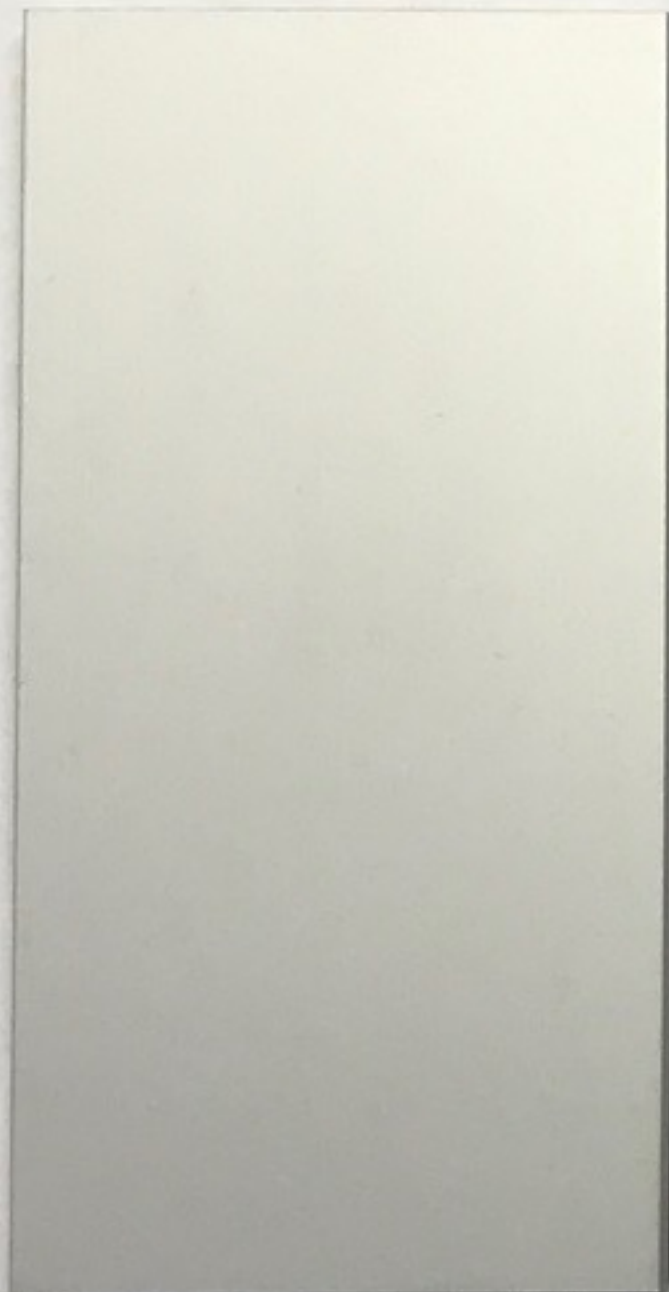
2. SW 9110 MALABAR



3. SW 7012 CREAMY



4. SW 7065 ARGOS



6. WINDOW MULLION - CLEAR ANODIZED



**APPLICANT INFORMATION**

O'BRIEN  
Joshua Atkins, AIA  
5310 HARVEST HILL ROAD  
DALLAS, TX 75230  
972.788.1010  
josh.atkins@obrienarch.com

**OWNER INFORMATION**

ROCKWALL URBAN INDUSTRIAL, LP.  
13150 COIT RD, SUITE 205  
DALLAS, TX 75240  
214.457.8198  
reid@longbowinterests.com

**PROJECT NAME**

Rockwall Urban + Industrial Center  
CASE NUMBER: \_\_\_\_\_





Revision No.	Date	Description

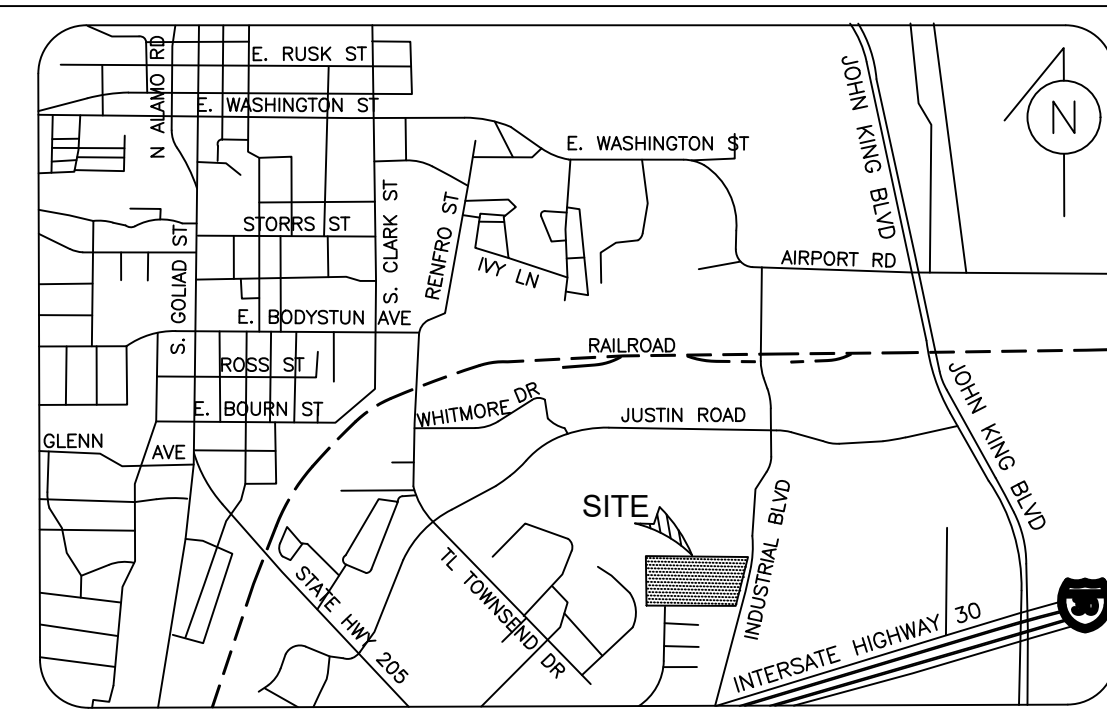
**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY  
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:  
 DYLAN B. HEDRICK 102108  
 NAME P.E. NO.  
 DATE 10/18/2019  
 TBPE FIRM # F-312

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL , LP  
 13150 COIT ROAD  
 DALLAS, TX. 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198

**ENGINEER**  
 HALFF ASSOCIATES, INC.  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX. 75081  
 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAIN WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.

Project No.: 35989  
 Issued: OCTOBER 2019  
 Drawn By: REP  
 Checked By: DBH  
 Scale: AS SHOWN  
 Sheet Title  
**DETAILED SITE PLAN**  
 1 OF 1  
 Sheet Number  
 Case Number:



**SHEET DATA:**

<b>CURRENT ZONING</b>	LIGHT INDUSTRIAL
<b>PROPOSED LAND USE:</b>	LIGHT INDUSTRIAL
<b>TOTAL SITE AREA:</b>	7.02 ACRES

<b>BUILDING:</b>		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

<b>PARKING:</b>		
REQUIRED: 1 SPACE/1,000 SF		
TOTAL REQUIRED:	88	SPACES
PROVIDED:	161	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

\*SPACES ARE INCLUDED IN TOTAL ABOVE

**PAVING LEGEND**

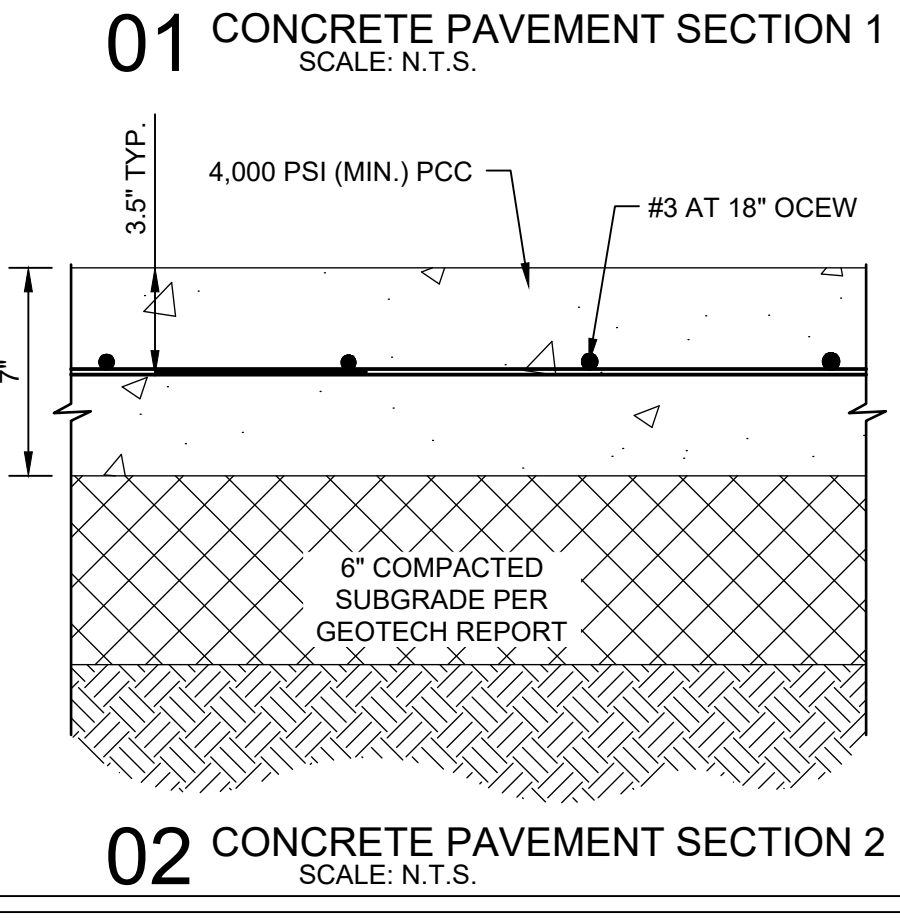
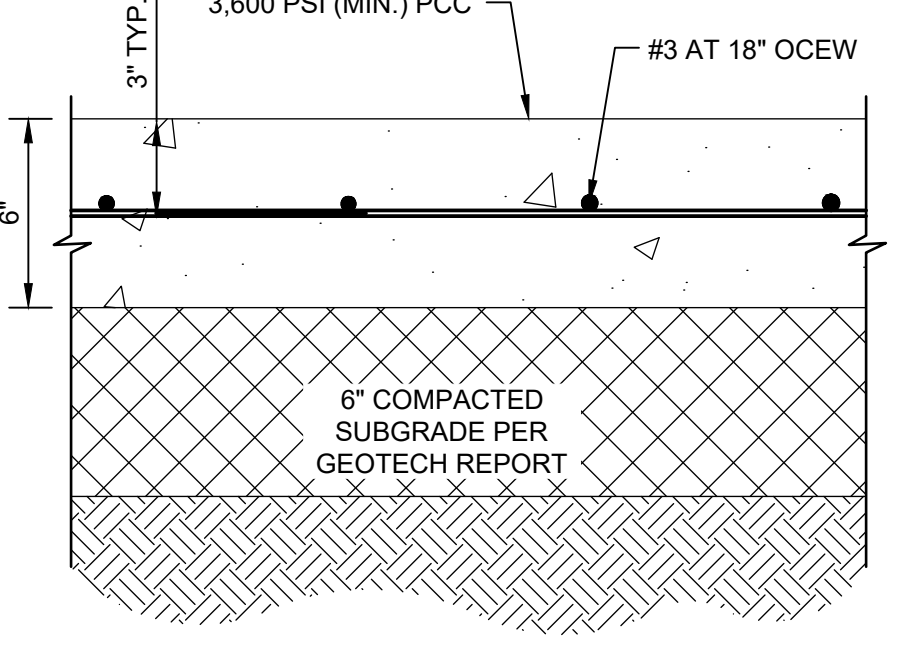
- 6" 3,600 PSI CONCRETE PAVEMENT.
- 7" 4,000 PSI CONCRETE PAVEMENT.
- 4" SIDEWALK
- 6" CURB
- FIRE LANE
- PROPERTY LINE

**EXISTING FEATURES LEGEND**

- F.H. FIRE HYDRANT
- PP OVERHEAD POWERPOLE
- SSMH SANITARY SEWER MANHOLE
- WV WATER VALVE
- EXISTING CONTOURS

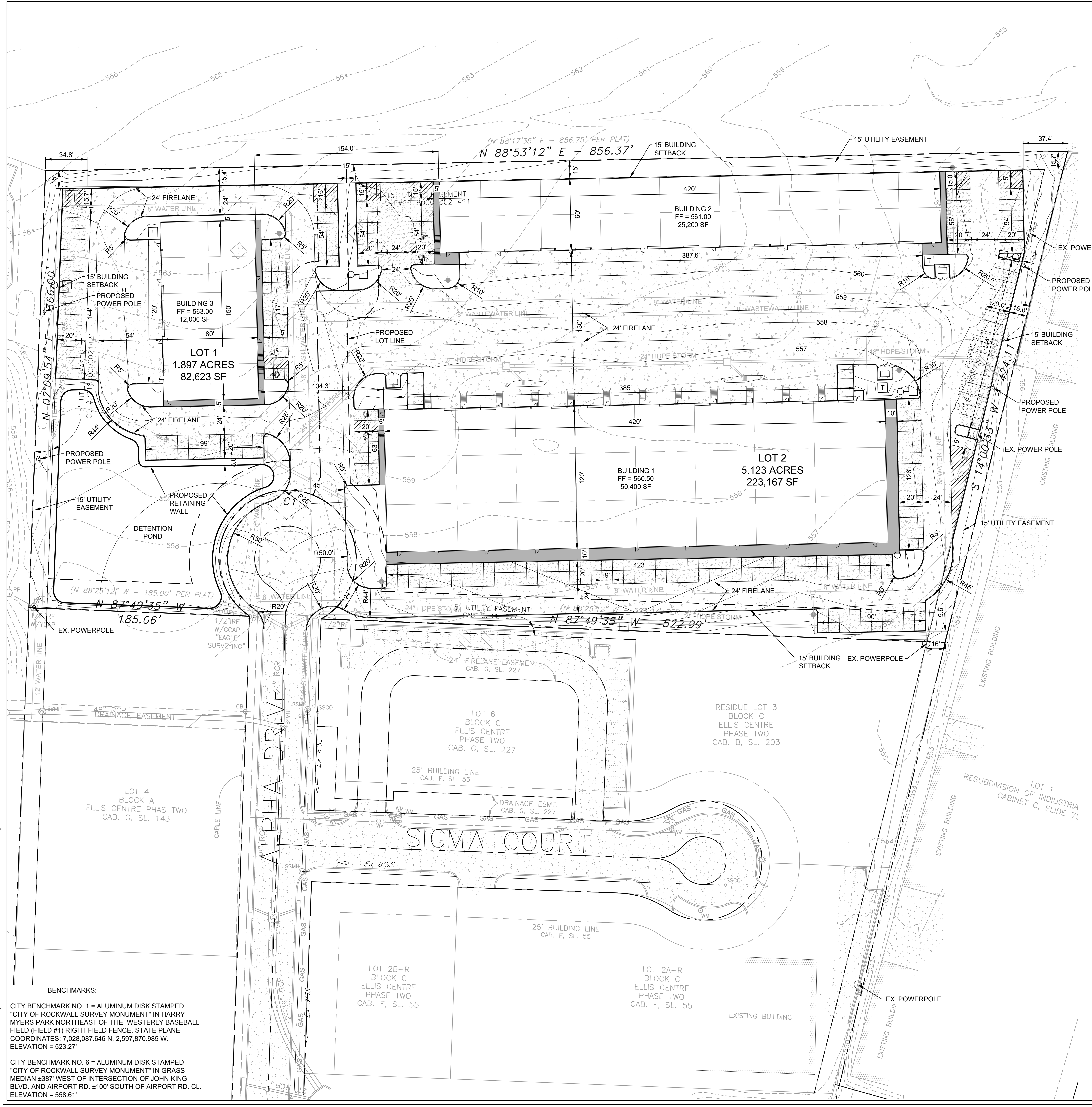
**PROPOSED FEATURES LEGEND**

- POWER POLE
- FIRE HYDRANT
- GRATE INLET
- CURB INLET
- STORM HEADWALL
- TRANSFORMER PAD
- PROPOSED CONTOURS
- LIGHT POLE



**NOTES:**

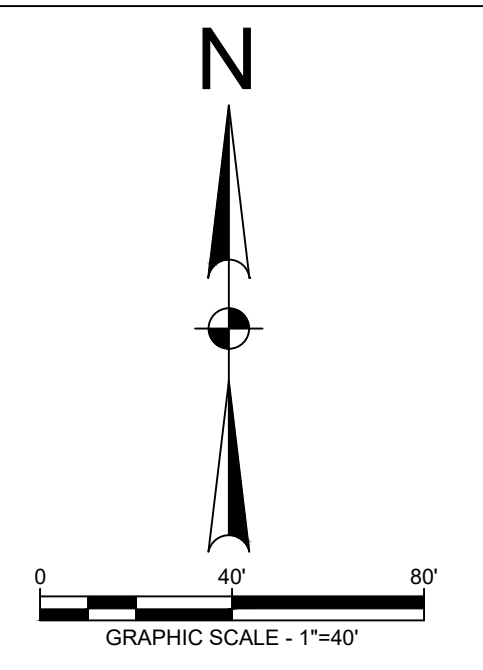
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

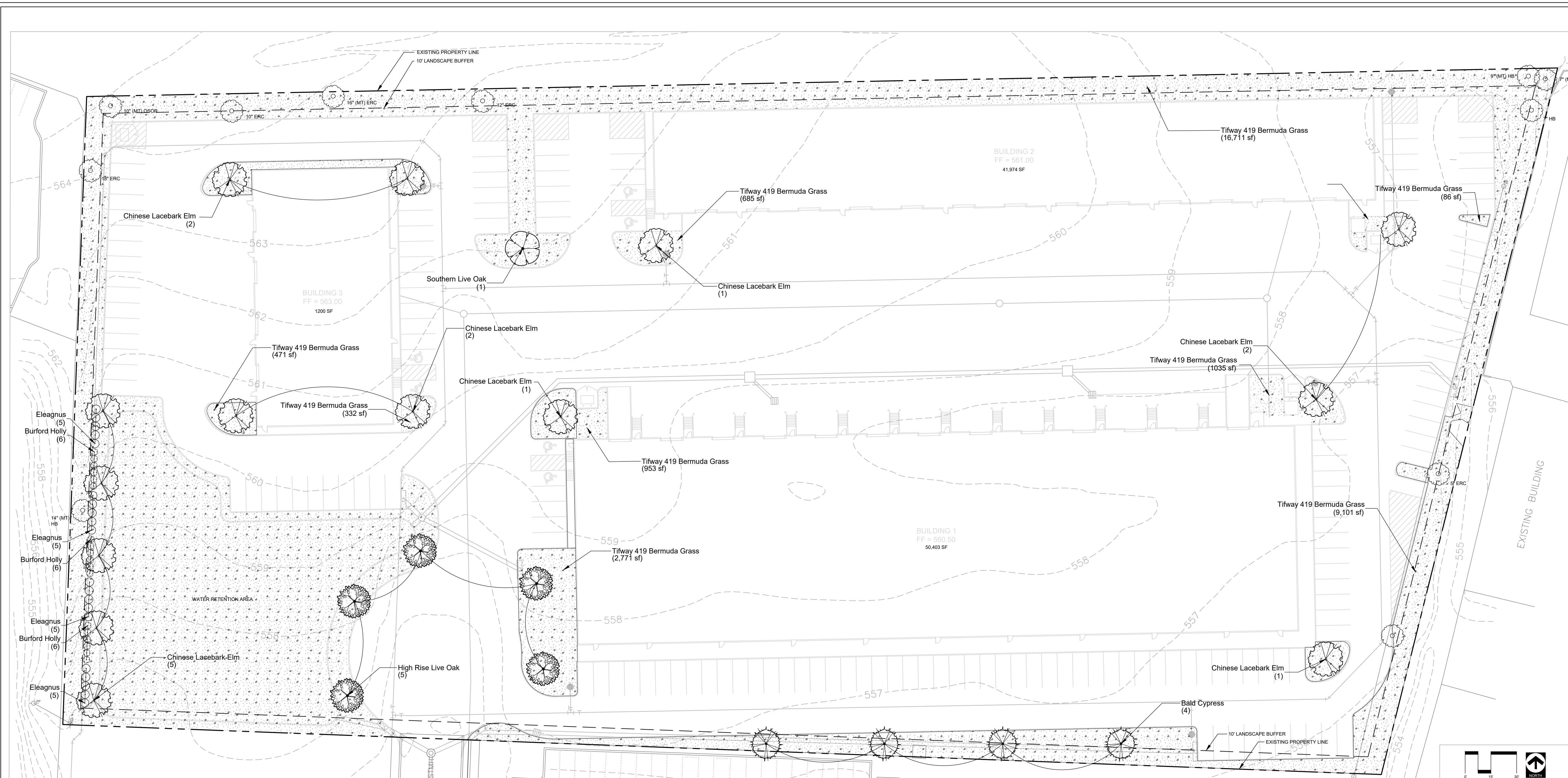


**BENCHMARKS:**

CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE. STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W. ELEVATION = 523.27'

CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN ±387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. ±100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'





**PLANTING PLAN**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	45 gal	3" Cal	8'-10' Ht.	4'-6" Spd	1
	Quercus virginiana 'High Rise' / High Rise Live Oak	45 gal	3" Cal	8'-10' Ht.	6'-7" Spd.	5
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SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
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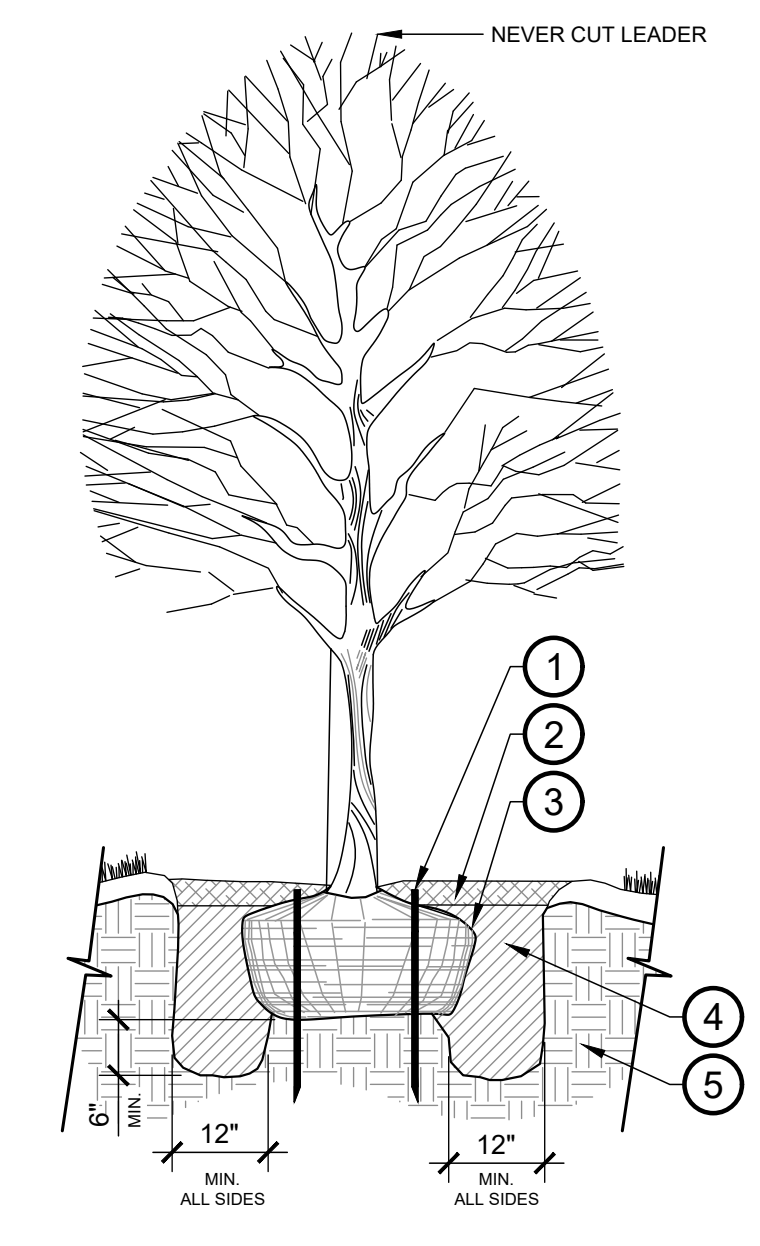
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**MULCH**  
AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

**STANDARDS**  
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

**PROTECTED TREES**  
PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

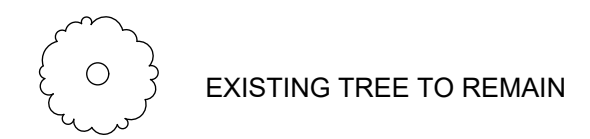
**IRRIGATION**  
IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.



- KEY:**
- (1) ARBOR STAKES, INSTALL PER MANUFACTURE'S SPECIFICATIONS
  - (2) SPECIFIED MULCH - 3" MIN. DEPTH ENTIRE TREE BASIN
  - (3) SET TOP OF ROOT BALL 3" ABOVE FINISH GRADE; BUILD 3" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL
  - (4) LIVING EARTH PLANTING MIX OR APPROVED EQUAL, BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
  - (5) UNCOMPACTED NATIVE SOIL UNDISTURBED SUBGRADE
- NOTE:**  
FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP, FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.

**1 NEW TREE PLANTING**  
N.T.S.

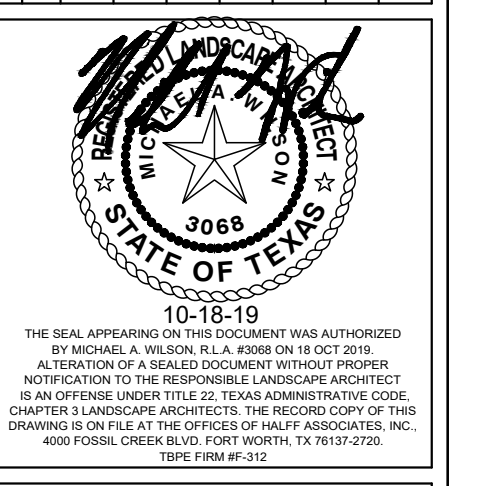
**EXISTING TREES**



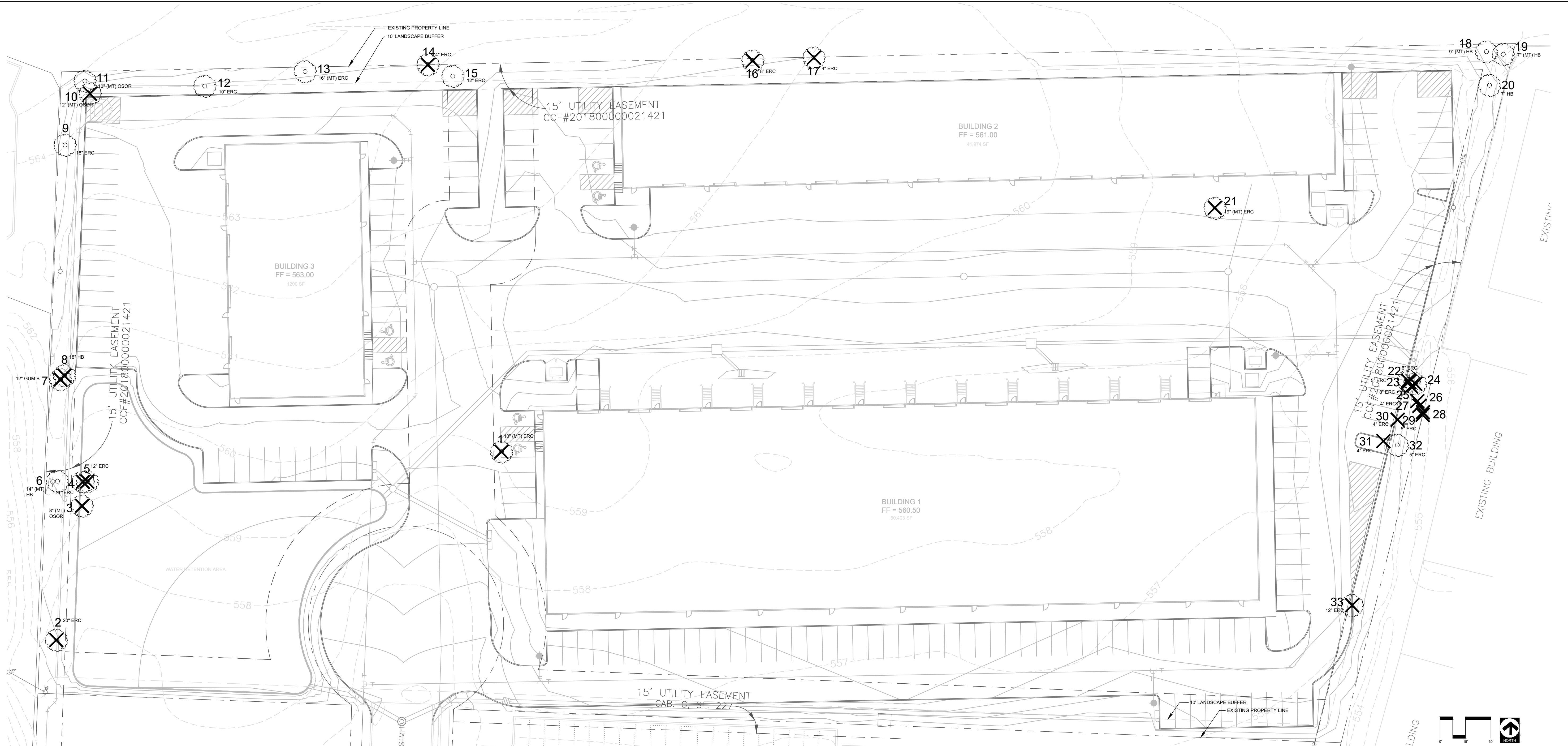
**Rockwall Urban + Industrial Center**  
END OF ALPHA DRIVE  
ROCKWALL, TX 75087

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6200

Revision No.	Date	Description



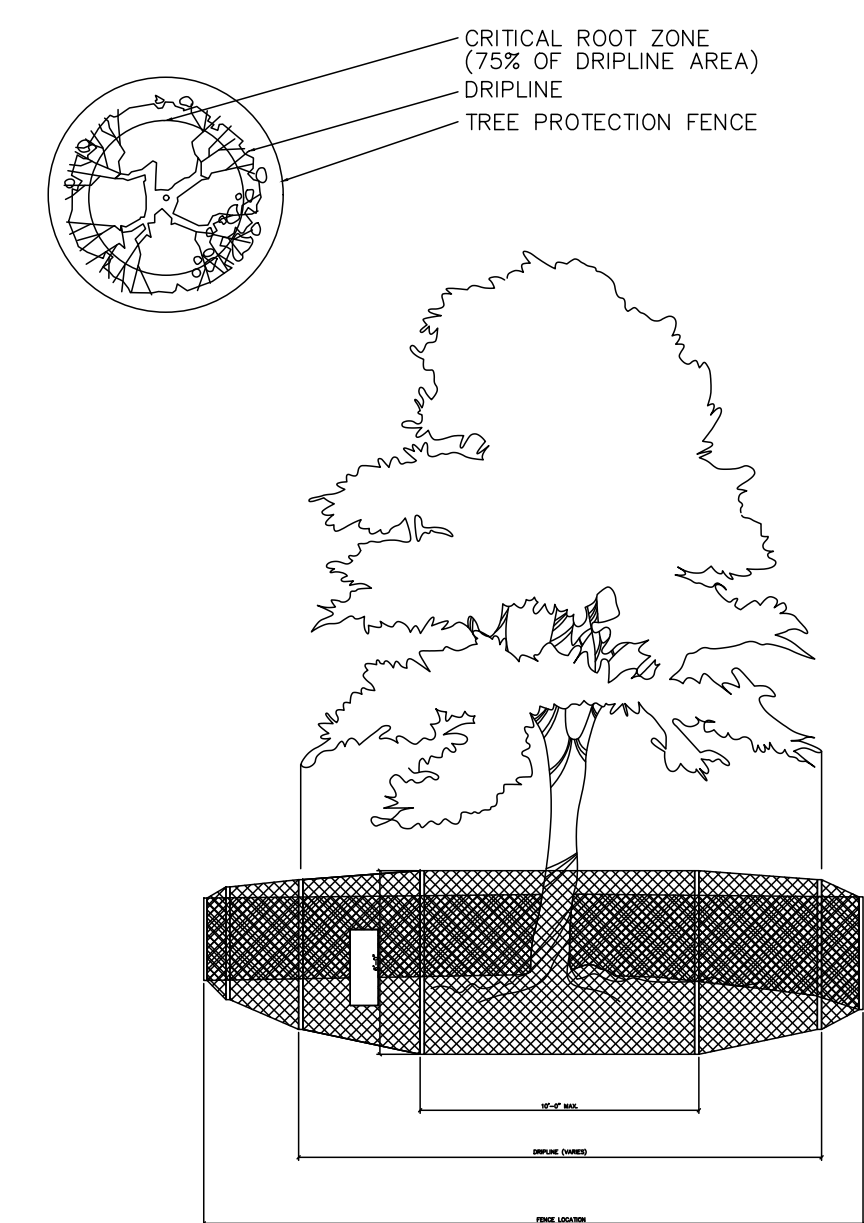
Project No.:	35989
Issued:	
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	LANDSCAPE PLAN
Sheet Number	L 2.01



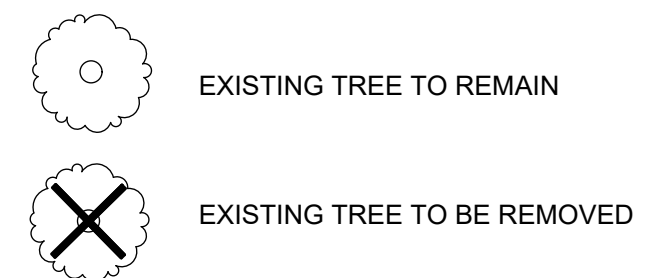
**TREE INVENTORY / MITIGATION**

TREE #	SPECIES	SIZE (Inches)	CLASSIFICATION	STATUS	REQ. MITIGATION (Inches)
1	EASTERN RED CEDAR	10 MULTI-TK	NON-PROTECTED	REMOVE	
2	EASTERN RED CEDAR	20	SECONDARY	REMOVE	10
3	OSAGE ORANGE	8 MULTI-TK	NON-PROTECTED	REMOVE	
4	EASTERN RED CEDAR	11	SECONDARY	REMOVE	6
5	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
6	HACKBERRY	14 MULTI-TK	SECONDARY	PRESERVE	
7	GUM BUMILIA	12	PROTECTED	REMOVE	12
8	HACKBERRY	18	SECONDARY	REMOVE	9
9	EASTERN RED CEDAR	18	SECONDARY	PRESERVE	
10	OSAGE ORANGE	12 MULTI-TK	NON-PROTECTED	REMOVE	
11	OSAGE ORANGE	10 MULTI-TK	NON-PROTECTED	PRESERVE	
12	EASTERN RED CEDAR	10	SECONDARY	PRESERVE	
13	EASTERN RED CEDAR	16 MULTI-TK	SECONDARY	PRESERVE	
14	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
15	EASTERN RED CEDAR	12	SECONDARY	PRESERVE	
16	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
17	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
18	HACKBERRY	9 MULTI-TK	NON-PROTECTED	PRESERVE	
19	HACKBERRY	7 MULTI-TK	NON-PROTECTED	PRESERVE	
20	HACKBERRY	7	NON-PROTECTED	PRESERVE	
21	EASTERN RED CEDAR	19 MULTI-TK	SECONDARY	REMOVE	10
22	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
23	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
24	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
25	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
26	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
27	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
28	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
29	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
30	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
31	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
32	EASTERN RED CEDAR	5	NON-PROTECTED	PRESERVE	
33	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
<b>TOTAL</b>					<b>59</b>

**PLAN VIEW**



**EXISTING TREES**



**LANDSCAPE REQUIREMENTS**

TREE MITIGATION	
REQUIRED TREES (Inches)	59" CALIPER*
PROVIDED TREES (Inches)	60" CALIPER

\* See Sheet L 2.01 for Planting Locations

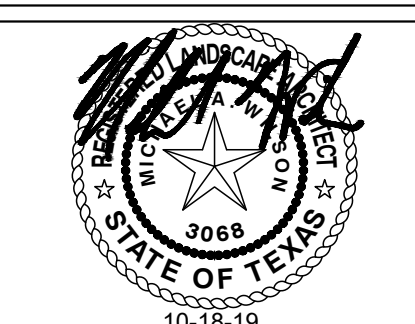
**STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION**

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
  - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
  - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
  - Wounds to exposed roots, trunk or limbs by mechanical equipment;
  - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
  - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
  - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
  - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
  - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs. All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

**01 TREE PROTECTION DETAIL**  
 SCALE: N.T.S.

Revision No.	Date	Description

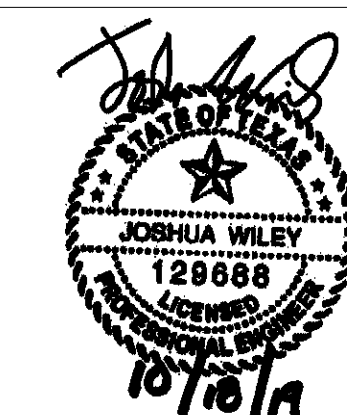


Project No.:	35989
Issued:	10-18-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	<b>TREESCAPE PLAN</b>
Sheet Number	<b>L 1.01</b>

Revision No.	Date	Description

**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY

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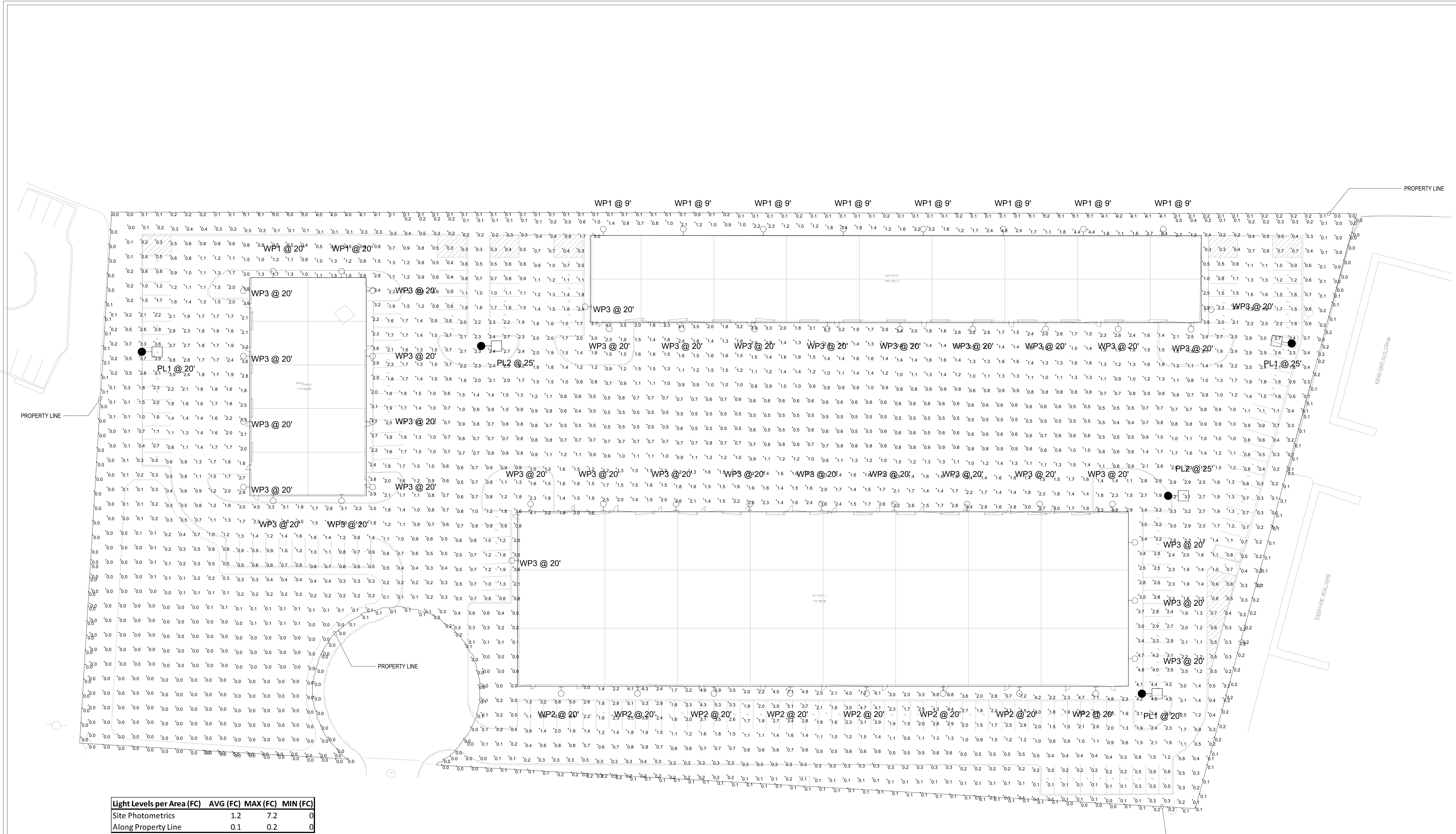
Project No.: 19068  
 Issued: OCTOBER 2019  
 Drawn By:  
 Checked By:  
 Scale: AS SHOWN  
 Sheet Title: SITE

PHOTOMETRICS

**E-102**

Sheet Number

Case Number:



Light Levels per Area (FC)	AVG (FC)	MAX (FC)	MIN (FC)
Site Photometrics	1.2	7.2	0
Along Property Line	0.1	0.2	0

Label	Catalog Number	Description	Lamp	Lamp Lumens	Watts
WP1	WSR LED P1 SR2 40K MVOLT	WSR LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR2 OPTIC TYPE	LED	2251	20
WP2	WST LED P3 40K VF MVOLT	WST LED Performance package 3 4000 K, visual comfort forward throw, MVOLT	LED	6609	50
WP3	WSR LED P4 SR4 40K MVOLT	WSR LED WITH P4-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	6388	61
PL1	DSXO LED P5 40K T2M MVOLT HS	DSXO LED P5 40K T2M MVOLT with houseside shield	LED	9550	89
PL2	DSXO LED P6 40K T5M MVOLT HS	DSXO LED P6 40K T5M MVOLT with houseside shield	LED	11955	134

**1 SITE PHOTOMETRICS**  
 SCALE: 1/32" = 1'-0"

**JSE**  
 Jordan & Skala  
 Engineers  
 17855 North Dallas Parkway • Suite 320  
 Dallas, TX, 75287  
 p. 469.385.1616 • f. 469.385.1615  
 Texas Registered Engineering Firm F-4990  
 Project Number: 1930681 Drawn By: DNH Checked By: JW

SHEET SIZE: 24" x 36"

WP2



WST LED Architectural Wall Sconce

Table with Catalog Number, Notes, and Type fields.

Specifications Luminaire

Height: 8-1/2" (21.59 cm)
Width: 17" (43.18 cm)
Depth: 10-3/16" (25.1 cm)
Weight: 20 lbs (9.1 kg)

Optional Back Box (PBW)

Height: 8.49" (21.56 cm)
Width: 17.01" (43.2 cm)
Depth: 1.70" (4.3 cm)

Optional Back Box (BBW)

Height: 4" (102 mm)
Width: 5-1/2" (140 mm)
Depth: 1-1/2" (38 mm)

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

- This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocell interoperability

- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/plus. See ordering tree for details.

A+ Certified Solutions for ROAM® and XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

Ordering Information

Table with columns: WST LED, Performance Package, Color Temperature, Distribution, Voltage, Mounting, Shipping, and Finish.

Table with columns: System, Components, and Finish (Pre-painted).

Table with columns: Accessories and Notes.

Emergency Battery Operation

The emergency battery backup is integral to the luminaire... provides reliable emergency operation while maintaining the aesthetics of the product.

Diagram showing mounting height options: 10" (254mm), 12" (305mm), and 17" (432mm).

Performance Data

Table: Lumen Ambient Temperature (LAT) Multipliers. Columns: Temperature (°C), Multiplier.

Table: Projected LED Lumen Maintenance. Columns: Operating Hours, Lumen Maintenance (%) at 25000, 50000, 100000.

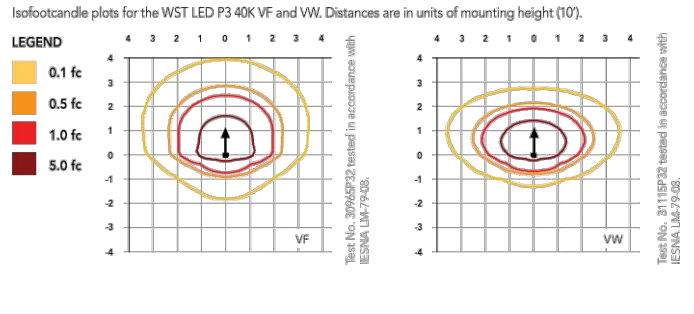
Table: Motion Sensor (Default Settings). Columns: Sensor, Feature, High Level, Photo Cell, Response Time, Sleep Time, Range.

Table: PER Table. Columns: Control, WET (Wet), Dry, W/No Wind, W/No Wind, W/No Wind.

Lumen Output

Table: Lumen Output. Columns: Package, System, Watt, Lumens, etc.

Photometric Diagrams



FEATURES & SPECIFICATIONS

INTENDED USE: The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings.

CONSTRUCTION: The high-pressure die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life.

FINISH: Exterior parts are protected by a structural Super Durable TDC thermoplastic powder coat finish that provides superior resistance to corrosion and weathering.

OPTICS: Well-crafted reflectors allow the light beams to be received within the luminaires, providing visual comfort, superior distribution, uniformity, and spacing in wall-mounted applications.

ELECTRICAL: Light engine consists of 98 high-efficiency LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life.

INSTALLATION: A universal mounting plate with integral mounting support arms allows the fixture to be hung down for easy access while making wiring connections.

LISTINGS: CSA certified to U.S. and Canadian standards. Luminaires IP66 rated. PM and back box options are used for wet location. Rated for 30°C to 40°C ambient.

WARRANTY: 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/commercial/products.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

WP1,WP3



WSR LED Architectural Wall Sconce

Table with Catalog Number, Notes, and Type fields.

Specifications Luminaire

Height: 7-1/4" (184 mm)
Width: 18" (457 mm)
Depth: 9" (229 mm)
Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4"
Width: 5-1/2"
Depth: 1-1/2"

Ordering Information

Table with columns: WSR LED, Performance Package, Color Temperature, Distribution, Voltage, Mounting, Shipping, and Finish.

Emergency Battery Operation

The emergency battery backup (EBC) luminaire... provides reliable emergency operation while maintaining the aesthetics of the product.

Diagram showing mounting height options: 8" (203mm), 12" (305mm), and 17" (432mm).

Performance Data

Table: Lumen Output. Columns: Package, System, Watt, Lumens, etc.

Table: Lumen Ambient Temperature (LAT) Multipliers.

Table: Projected LED Lumen Maintenance.

Table: Motion Sensor (Default Settings).

Table: PER Table.

Lumen Output

Table: Lumen Output. Columns: Package, System, Watt, Lumens, etc.

Performance Data

Table: Lumen Ambient Temperature (LAT) Multipliers.

Table: Projected LED Lumen Maintenance.

Table: Motion Sensor (Default Settings).

Table: PER Table.

Photometric Diagrams



FEATURES & SPECIFICATIONS

INTENDED USE: The classic architectural shape of the WSR LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings.

CONSTRUCTION: The high-pressure die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life.

FINISH: Exterior parts are protected by a structural Super Durable TDC thermoplastic powder coat finish that provides superior resistance to corrosion and weathering.

OPTICS: Well-crafted reflectors allow the light beams to be received within the luminaires, providing visual comfort, superior distribution, uniformity, and spacing in wall-mounted applications.

ELECTRICAL: Light engine consists of 98 high-efficiency LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life.

INSTALLATION: A universal mounting plate with integral mounting support arms allows the fixture to be hung down for easy access while making wiring connections.

LISTINGS: CSA certified to U.S. and Canadian standards. Light engine IP66 rated. Luminaires IP65 rated. PM and back box options are used for wet location. Rated for 30°C to 40°C ambient.

WARRANTY: 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/commercial/products.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

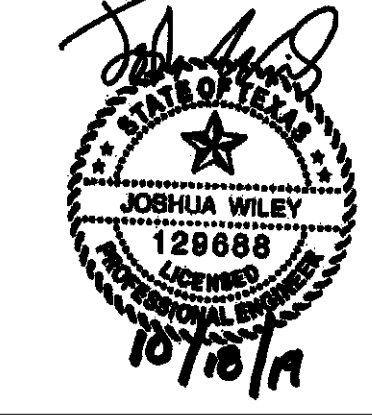
Rockwall Urban + Industrial Center
OWNER: ROCKWALL URBAN INDUSTRIAL, LP.
END OF ALPHA DRIVE
ROCKWALL, TX 75087

OBRIEN
5510 HARVEST HILL ROAD
DALLAS, TX 75230
(972) 788-1010

Table with columns: Revision, No., Date, Description.

PRELIMINARY FOR INTERIM REVIEW ONLY

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Project No.: 19068
Issued: OCTOBER 2019
Drawn By:
Checked By:
Scale: AS SHOWN
Sheet Title: WP1,WP2,WP3 CUTSHEETS
E-102A
Sheet Number:
Case Number:

JSE Jordan & Skala Engineers

17855 North Dallas Parkway • Suite 320
Dallas, TX 75287
p. 469.385.1614 • f. 469.385.1615
Texas Registered Engineering Firm F-4990
Project Number:193068 Drawn By:DNH Checked By:JW
SHEET SIZE: 24" x 36"





October 18, 2019  
AVO 35989

Korey Brooks, AICP  
Senior Planner  
Planning and Zoning  
City of Rockwall  
385 S. Goliad St  
Rockwall, Texas 75087

RE: Detention Pond Slope Variance for Rockwall Urban + Industrial Center

Dear Mr. Brooks:

On behalf of Reid Caldwell and Rockwall Urban Industrial, LP we request a variance to section 3.3.4A of the City of Rockwall Standards of Design and Construction that states "Detention ponds shall have a side slope 4:1 or flatter." Based on maximizing the value of this property and the proposed site layout the detention pond will need to have retaining walls in order to meet the City of Rockwall drainage design.

We believe this variance request is reasonable because it is consistent with the developments directly around our site. The site located directly to our south at the NE Corner of Alpha Dr. and Sigma Ct. has retaining walls built as part of its detention system. If there are any questions or concerns please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Matthew Gardner".

Matthew Gardner, P.E.  
Civil Engineer  
[mgardner@halff.com](mailto:mgardner@halff.com)  
214-346-6308  
HALFF ASSOCIATES, INC.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** November 12, 2019  
**APPLICANT:** Matthew Gardner; *Halff Associates*  
**CASE NUMBER:** SP2019-040; *Site Plan for Ellis Center, Phase 2 Addition*

---

### **SUMMARY**

Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any action necessary.

### **BACKGROUND**

The subject property was annexed on November 30, 1959 by *Ordinance No. 60-01*. The subject property was zoned -- *along with the remainder of the 23.888-acre tract of land that made up Phases 1 & 2 of the Ellis Center Addition* -- from an Agricultural (AG) District and Commercial (C) District to a Light Industrial (LI) District on December 5, 1983 by *Ordinance No. 83-61 (PZ1983-035-01)*. The subject property was then platted as part of Lot 2 and all of Lots 4 & 5 of the Ellis Center, Phase 2 Addition on February 15, 1985 as part of *Case No. PZ1984-014-01*. The subject property was later assembled into its current configuration (*i.e. Lot 1, Block D, Ellis Center, Phase 2 Addition*) by *Case No. P2018-015*.

### **PURPOSE**

On October 18, 2019, the applicant -- *Matthew Gardner of Halff Associates* -- submitted an application requesting approval of a site plan for the purpose of developing a multi-tenant industrial site consisting of three (3) separate buildings that will be approximately 87,600 SF (*i.e. 50,400 SF, 25,200 SF, & 12,000 SF*). The proposed development is subject to the land use, density and dimensional requirements of the Light Industrial (LI) District as stipulated by the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located north of the intersection of Alpha Drive and Sigma Court. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the property is an un-platted 71.022-acre tract of land that is vacant (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*), which is zoned Light Industrial (LI) District. Beyond this property is Justin Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

**South:** Directly south of the subject property is the continuation of Phases 1 & 2 of the Ellis Centre Addition, which are occupied with light industrial land uses. All of these properties are zoned Light Industrial (LI) District. Beyond this is an urgent care/medical office facility (*i.e. Baylor Scott & White Emergency Hospital*) that is zoned Light Industrial (LI) District. South of this land use is the westbound frontage road for E. IH-30.



East: Directly east of the subject property are two (2) large tracts of land (i.e. Lots 1 & 2 of the Rockwall Industrial) which are bisected by Industrial Boulevard. Industrial Boulevard is identified as a M4U (i.e. minor collector, four [4] lane, roadway) on the City's Master Thoroughfare Plan. The majority of these properties were developed during the 1970's and 1980's. All of these properties are zoned Light Industrial (LI) District.

West: Directly west of the subject property is a 41.649-acre tract of land (i.e. Lot 1, Block 1, Herman Utley Middle School Addition) zoned Agricultural (AG) District. Adjacent to the subject property is Wilkerson-Sanders Memorial Stadium. Beyond this property is N. TL Townsend Drive, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), light manufacturing/multi-tenant warehouse facilities are permitted *by-right* land uses in a Light Industrial (LI) District. The subject property proposes one (1) point of ingress and egress at the terminus of Alpha Drive. Other than the exceptions being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Light Industrial (LI) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	x>7.02-acres; In Conformance
<i>Minimum Lot frontage</i>	100-Feet	x> 750-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	x>366-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	x>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	0-Feet + ½ H	x>15-feet; In Conformance
<i>Minimum Side Yard Setback</i>	0-Feet + ½ H	x>44-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	x>40-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	x<29%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	x>90%; <b>Exception Required for Tilt-Up Wall Construction</b>
<i>Minimum Number of Parking Spaces</i>	1:1000=88	x=161; In Conformance
<i>Minimum Stone Requirement</i>	20% Each Facade	x≤5%; <b>Exception Required</b>
<i>Minimum Landscaping Percentage</i>	15%	x=21%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	x<95%; In Conformance

**TREESCAPE PLAN**

The treescape plan provided by the applicant indicates a total of 59-caliper inches to be removed from the site, which are primarily cedar trees. The applicant is providing 144-caliper inches on site, which satisfies the mitigation requirements.

**CONFORMANCE WITH THE CITY'S CODES**

Subsection 5.02, *Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), states that the "*Light Industrial (LI) District* is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses." The proposed multi-tenant light industrial complex are a permitted land uses in the Light Industrial (LI) District. Additionally, all operations will be indoors with no outside storage of materials unless properly screened or buffered.

According to Subsection 5.02.B, *Screening from Residential Uses*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), non-residential developments that have a "...side or rear contiguous to any residential zoned or used property...shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency...(t)he canopy trees shall be placed on 20-foot centers."

In this case, the applicant is providing a three (3) tiered screening system along the entire western property boundary that is adjacent to the Herman Utley Middle School; however, RISD has an existing wrought-iron fence along this western property boundary. Based on the existing fence on the RISD's property the applicant is not proposing to incorporate an additional wrought iron fence. Staff made this suggestion to the applicant to prevent the possibility of creating a strip of land in between the two (2) fences that would be hard for either property owner to maintain. With all this being said, the proposed landscape screening is a discretionary approval for the Planning and Zoning Commission upon a determination that the provided screening will achieve the intent of the screening ordinance. This has been included as a condition of approval in this case memo.

### **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

#### (1) *Building Materials.*

- (a) *Stone.* According to Section 5.01.A.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, a minimum of 20% stone is required on all building façades. In this case, the applicant is providing stone on the columns at the entry ways of the buildings; however, the stone falls short of the 20% requirement. Staff should note that this is not an uncommon request with larger industrial buildings.
- (b) *Tilt Wall.* According to Section 5.01.A.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, the use of concrete tilt-up walls may be permitted on a case-by-case basis by the Planning and Zoning Commission. The proposed building is 100% tilt-wall construction.

#### (2) *Articulation.*

- (a) *Primary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of four (4) time the walls height without an architectural/entryway element. In this case, the proposed building does incorporate vertical projections, but does not meet the horizontal projection standards on the primary façades.
- (b) *Secondary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, secondary facades require projections associated with entryways and architectural elements. Specifically, the secondary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does

incorporate vertical projections, but does not meet the horizontal projection standards on the secondary façades.

(3) *Residential Screening Fence.*

*Screening.* According to Subsection 5.6, *Screening from Residential Uses*, of Section 5, *Mandatory Provisions*, of Article VIII, *Landscape Standards*, of the Unified Development Code (UDC), “any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers ... (a) as an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e.* [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or* [2] *evergreen trees and canopy trees*)

(4) *Detention Pond.*

(a) *Maximum of 4:1 Slope.* According to the Engineering Department’s Standards of Design and Construction Manual, “(d)etention ponds shall have a side slope 4:1 or flatter. No retaining walls are allowed in detention ponds.” In this case the applicant is requesting vertical retaining walls within the detention system. According to Section 3, *Storm Drainage Facilities*, of the Standards of Design and Construction Manual, “(a) variance to allow retaining walls in a detention easement will require approval by the Planning and Zoning Commission with appeals being heard by the City Council.” To off-set the variance, staff has included a condition of approval that the applicant be required to screen the detention system with a combination of trees and shrubs. This will require the applicant to revise the landscape plan prior to submitting civil plans.

According to Section 9, *Exceptions and Variances*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, “(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the...(UDC) would create an undue hardship. In cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.” In this case, the applicant has provided a letter explaining the variances and offering compensatory measures for the requested variances. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variance. This is a discretionary decision for the Planning and Zoning Commission that require approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission’s decision to the City Council by filing a written request with the Planning and Zoning Department.

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan (*Comp Plan*) indicates that the subject property is located within the *IH-30 Corridor District* which is “... the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial.” Additionally, the *Special Commercial Corridor (SC)* designation “...is intended to provide an area for commercial/retail...activity centers that are intended to support and serve the entire region.” (*Ch. 1; Land Use Plan*) In this case, the applicant’s request does not conform to the development referred to in the Comprehensive Plan; however, the development is going into an existing industrial park that is already zoned for the proposed land use.

According to the Comprehensive Plan, industrial developments should be adequately buffered and/or screened from residential land uses. In addition, the Comprehensive Plan states that “(b)uffers utilizing a combination of berms, landscaping and trees should be used for industrial properties that are adjacent to non-industrial land uses or agricultural land.” While the adjacent property (*i.e. Herman Utley Middle School*) is zoned Agricultural (AG) District -- *which is considered to be residential* -- the property is developed with a non-residential land use (*i.e. a football stadium*). Regardless of the adjacency, the applicant is proposing to install a three (3) tiered landscape screening system in conjunction with an existing wrought-iron fence (*located on the adjacent property*) to accomplish the screening required by the Comprehensive Plan and Unified Development Code (UDC).

### **ARCHITECTURAL REVIEW BOARD (ARB)**

On October 29, 2019, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. Based on the submittal the Architectural Review Board (ARB) requested that the applicant incorporate stone around the primary and secondary entryways for the building. The applicant has revised the building elevations to incorporate the stone. The Architectural Review Board (ARB) will review the applicant's changes at the November 12, 2019 meeting and provide a recommendation to the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Approval by the Planning and Zoning Commission of all exceptions requested as outlined in staff's report;
- (3) The applicant will be required to revise the landscape plan to incorporate a mixture of trees and shrubs to screen the detention pond adjacent to the entryway off of Alpha Drive prior to submitting civil plans;
- (4) All Roof Top Units (RTU's) will need to be screened and not visible from adjacent properties or public rights-of-way; and
- (5) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**City of Rockwall**  
**Project Plan Review History**



**Staff Comments Highlighted**

**Project Number** SP2019-040  
**Project Name** Ellis Centre Phase 2 Addition  
**Type** SITE PLAN  
**Subtype**  
**Status** Staff Review

**Owner** ROCKWALL URBAN INDUSTRIAL, LP  
**Applicant** HALFF ASSOCIATES

**Applied** 10/21/2019 LM  
**Approved**  
**Closed**  
**Expired**  
**Status**

**Site Address** ALPHA DR  
**City, State Zip** ROCKWALL, TX 75087

**Zoning**

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
ELLIS CENTRE 2	1	D	1	3586-000D-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	
ENGINEERING	Sarah Johnston	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(10/24/2019 4:26 PM SJ) M - Add note, "No trees within 5' of utilities" to the landscape plan. M - Parking near the building to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.19 M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.19 M - Driveway radii to be 30' min. Standards of Design 2.19 M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 6.4.1 M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.3.1 M - Must show existing utilities and your planned service connections. M - Minimum easement width is 20' for proposed easements. Standards of Design 5.3.1 and 6.4 M - Retaining walls in detention require a variance Standards of Design 3.3.2 M - Must stub out the 8" water and 8" sewer to the northern property for future expansion M - Must meet all standards of design and construction  I - 4% Engineering Fees I - Impact Fees I - Must have detention on-site Manning's C-valve is per zoning I - Water and sewer lines must have 10' of easement on both sides I - No utilities in detention easements I - No grate utilities allowed I - Cul-de-sac paving to be 8" 3600 psi (6.5 sack mix) I - No sand is allowed under paving. I - Walls 3' and over must be engineered I - All retaining walls to be rock or stone face No smooth concrete walls I - If storm is picking up offsite drainage the pipe maintained must be I - Where you show the 15'x64' turnaround, you must stripe the entire area as no parking.							
FIRE	Ariana Hargrove	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	see notes
(10/24/2019 3:16 PM AA) FDC shall be: -facing and visible from the fire lane - within 100-feet of a fire hydrant - clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access - installed 18-48 inches above grade. (Ord 16-31)							
FIRE	Ariana Hargrove	11/6/2019	11/13/2019	11/6/2019		COMMENTS	see notes
(11/6/2019 10:11 AM AA) Fire hydrant shall be located within 6-ft for the fire lane. Add fire lane as shown on markups or relocate fire hydrant and FDC.  Fire hydrant shall be within 6-ft for fire lane (IFC 507.5.1.2) FDC shall be within 100-ft of a fire hydrant. (IFC 912.2.3)							
GIS	Lance Singleton	10/21/2019	10/28/2019	10/22/2019	1	APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(10/22/2019 3:01 PM LS) Addressing will be: BLDG 1 = 1915 Alpha Dr, Rockwall, TX 75087 BLDG 2 = 1905 Alpha Dr, Rockwall, TX 75087 BLDG 3 = 1910 Alpha Dr, Rockwall, TX 75087							
PLANNING	David Gonzales	10/21/2019	10/28/2019	10/24/2019	3	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/24/2019 8:50 PM DG)						
SP2019-040; Site Plan for Rockwall Urban & Industrial Center (Ellis Centre, Phase 2)						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-040) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the District Development Standards, of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit.						
M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Please provide a label for the parking count for each row of spaces in order to determine total parking count						
2) The cross sections of concrete pavement thickness is to be determined by the engineering department during the civil submittal process and is not considered to be approved during this site plan process.						
3) Parking for an office use requires a minimum of one(1) parking space per 300-SF (i.e. 1:300 SF) of gross floor area. Will there be offices uses within this complex? If so, please update parking legend. (Article VI, Table 3).						
4) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director.						
5) Is there a front building set back? If so, this is required to be 25-ft. Please adjust accordingly.						
6) Provide a label for all drive aisle widths.						
7) Indicate and label all sidewalk widths proposed for this site.						
8) Delineate and label all loading dock parking spaces. Minimum 12-ft wide & 65-ft in length. (Art. VI, Section 6.04)						
9) Ground mounted utility equipment and RTUs shall be screened from adjacent public rights-of-way and adjacent property. Provide screening detail for these units. (Art. V, Sec. 1.05.3)						
10) Provide screening along the western property boundary from the school district property. (Art. VIII, Sec. 5.02.B Landscape Screening)						
11) Will there be any outside storage of materials, products, etc.?						
M.8 Building Elevations. According to Subsection 5.01.A1, of the General Industrial District Standards, of Article V, District Development Standards, of the UDC, requires a minimum of 20% stone (i.e. natural or synthetic/cultured) on all building façades. In this case, the construction of the addition does not include stone on any façade. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						
M.9 Building Elevations. According to Subsection 5.01A.1, General Industrial District Standards, of Article V, District Development Standards, of the UDC, each exterior wall of a building's façade shall consist of a minimum of 90% primary materials and ten (10) percent secondary materials. In this case, the construction consists of concrete tilt-up wall. The use of concrete tilt-up walls may be permitted on a case-by-case basis in accordance with the exception requirements outlined in this section of the UDC This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board(ARB).						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.10						Building Elevations. Please review the articulation formulas contained in Section 5.01.C of Article V, District Development Standards, of the UDC. The submitted building elevations do not appear to meet all the formulas required for building articulation. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
M.11						Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> <li>1) Indicate all HVAC units (i.e. dash-in RTU's) on the building elevations so that staff can ensure that they meet the screening requirements dictated by the UDC (Subsection. 1.05.C.3; Art. V; UDC).</li> <li>2) Provide calculation of building materials as a percentage</li> </ol>
M.12						Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions: <ol style="list-style-type: none"> <li>1) Provide screening along the western property boundary from the school district property. Art. VIII, Sec. 5.02.B Landscape Screening, states (a) any non-residential...land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers (as depicted in Figures 6 &amp; 7 below). As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. As a note, the Agricultural (AG) District is considered residential.</li> <li>2) Correct table to indicate a minimum 15% landscaping required (currently indicates 10%).</li> <li>3) All new tree plantings are to be a minimum of 4-inch caliper trees. Correct plan. (Art. VIII, Sec. 4.A.2)</li> <li>4) Parking lots greater than 20,000 SF are required to provide a minimum of one (1) tree for each 10 parking spaces. 161 parking spaces = 16 trees within the parking lot area. (Art. VIII, Sec. 5.03.E.2)</li> </ol>
M.13						Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article IX, of the UDC, the director of planning and zoning, or his/her designee, shall review the treescape plan and approve the plan per the requirements of this article, or forward any recommendations to the planning and zoning commission. As part of the treescape plan review process, the city has the right to request changes or adjustments in the layout and design of a development to save trees. The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.
M.14						Photometric Plan. According to Section 3.3, Minimum Requirements, of Article VII, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC. <ol style="list-style-type: none"> <li>1) No light pole, base or combination thereof shall exceed an overall height of 30-ft. Provide pole detail. (Art. VII, Sec. 3.3.D)</li> </ol>
M.15						Based on the submittal staff has identified the following exceptions: <ol style="list-style-type: none"> <li>1) Building Materials. The proposed addition is requesting the use of tilt-up wall construction and does not include a minimum of 20% stone.</li> <li>2) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC.</li> </ol>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.</p> <p>I.14 Please note that failure to address all comments provided by staff by 8:00 AM on November 5, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 5, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 12, 2019 Planning &amp; Zoning Meeting. Please note that the Planning &amp; Zoning Work Session meeting will be held on October 29, 2019.</p> <p>I.16 The Architectural Review Board (ARB) meeting will be held on October 29, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission.</p> <p>I.17 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						
PLANNING	David Gonzales	11/6/2019	11/13/2019	11/6/2019	COMMENTS	Revision 1 Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(11/6/2019 11:54 AM DG)</p> <p>SP2019-040; REVISION 1 -- Site Plan for Rockwall Urban &amp; Industrial Center (Ellis Centre, Phase 2)</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request for the approval of a site plan for a multi-tenant industrial building on a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.</p> <p>I.3 This project is subject to all requirements stipulated by the Unified Development Code(UDC); including the District Development Standards, of Article V, that are applicable to the subject property.</p> <p>I.4 Please note that the property will require a replat prior to the issuance of a building permit.</p> <p>M.5 Based on the submittal staff has identified the following exceptions</p> <p>1) Building Materials. The proposed addition is requesting the use of tilt-up wall construction and does not include a minimum of 20% stone. ADDITION OF STONE NOT EQUAL TO 20%.</p> <p>2) Building Articulation. The proposed addition does not meet the articulation standards established by the UDC</p> <p>LETTER PROVIDED: To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures.</p> <p>I.6 Please note that the Planning and Zoning Commission meeting will be held on November 12, 2019.</p> <p>I.7 The Architectural Review Board (ARB) meeting will be held on November 12, 2019 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will forward a recommendation to the Planning and Zoning Commission</p> <p>I.8 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						
Police Department	David Gonzales	10/25/2019	11/1/2019	10/25/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(10/25/2019 12:12 PM DG)						
The following CPTED comments are from Captain Ed Fowler of the Rockwall Police Department						
SP2019-040 Ellis Center Phase 2						
Considerations						
<ul style="list-style-type: none"> <li>• Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing</li> <li>• Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area.</li> <li>• Consider lighting spaced at intervals around the overhead doors(sides) and rear that fully illuminate the area.</li> <li>• Evaluate transitional lighting for employees entering the parking lot from an area that has bright lighting to dim lighting and may pose a visual problem</li> <li>• There does not appear to be shrubs or trees that will obstruct views around the business</li> <li>• Consider additional locking mechanisms for overhead doors in the form of a bar system and case hardened locking system</li> <li>• Consider the addition of removable bollards for overhead doors to prevent vehicles from being used to breach the doors</li> <li>• Consider auxiliary locking system on main entrance door(s) with limited key access, key pad or electronic badges for afterhours employees</li> <li>• Consider all exterior doors being equipped with alarm contact sensors and windows with glass break sensors</li> <li>• Consider motion sensor alarms inside the business and motion activated lighting for the interior.</li> <li>• Consider installation of locking mechanisms on all sliding windows up to the use of security rods.</li> <li>• Roof access points should be locked from the inside</li> <li>• Consider installation of solid core doors for offices inside the business including the room that houses the safe Single cylinder locks for all offices and a double cylinder lock for the safe room</li> <li>• Consider an additional alarm inside the safe room, either attached to the entrance door or safe</li> <li>• Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage.</li> <li>• Consider the addition of security cameras for the interior the business.</li> <li>• Interior considerations are not being added without speaking with the business owners/ reps first.</li> </ul>						
<p>The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crimeproof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.</p>						



## STANDARD SITE PLAN WORDING

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE**

### SITE PLAN SIGNATURE BLOCK

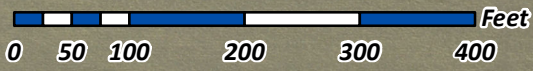
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the **[DAY]** day of **[MONTH], [YEAR]**.

WITNESS OUR HANDS, this **[DAY]** day of **[MONTH], [YEAR]**.

\_\_\_\_\_  
*Planning & Zoning Commission, Chairman*

\_\_\_\_\_  
*Director of Planning and Zoning*



SP2019-040 - SITE PLAN FOR ELLIS CENTRE PHASE 2 ADDITION  
SITE PLAN - LOCATION MAP =

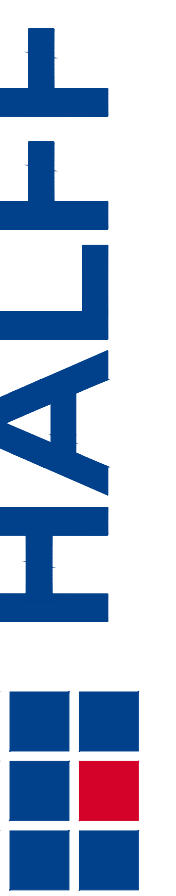


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





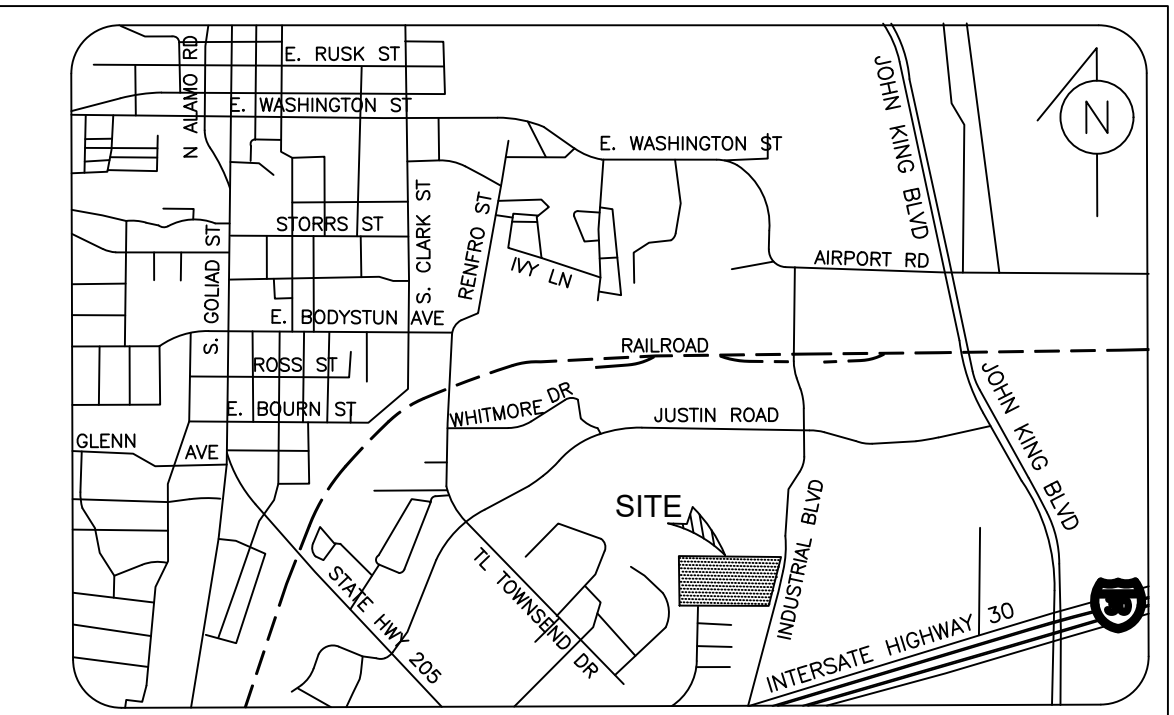
Revision No.	Date	Description

**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY  
 THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:  
 DYLAN B. HEDRICK 102108  
 NAME PE NO.  
 DATE 11/5/2019  
 TBPE FIRM # F-312

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL , LP  
 13150 COIT ROAD  
 DALLAS, TX. 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198

**ENGINEER**  
 HALFF ASSOCIATES, INC.  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX. 75081  
 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

Project No.: 35989  
 Issued: NOVEMBER 2019  
 Drawn By: REP  
 Checked By: DBH  
 Scale: AS SHOWN  
 Sheet Title  
**DETAILED SITE PLAN**  
 1 OF 1  
 Sheet Number



**SHEET DATA:**

<b>CURRENT ZONING</b>	LIGHT INDUSTRIAL
<b>PROPOSED LAND USE:</b>	LIGHT INDUSTRIAL
<b>TOTAL SITE AREA:</b>	7.02 ACRES

<b>BUILDING:</b>		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

<b>PARKING:</b>		
REQUIRED: 1 SPACE/1,000 SF (75%)	1 SPACE/300 SF (25%)	
TOTAL REQUIRED:	139	SPACES
PROVIDED:	155	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

\*SPACES ARE INCLUDED IN TOTAL ABOVE

**PAVING LEGEND**

- 6" 3,600 PSI CONCRETE PAVEMENT.
- 7" 4,000 PSI CONCRETE PAVEMENT.
- 8" 3,600 PSI CONCRETE PAVEMENT.
- 4" SIDEWALK
- 6" CURB
- FIRE LANE
- PROPERTY LINE

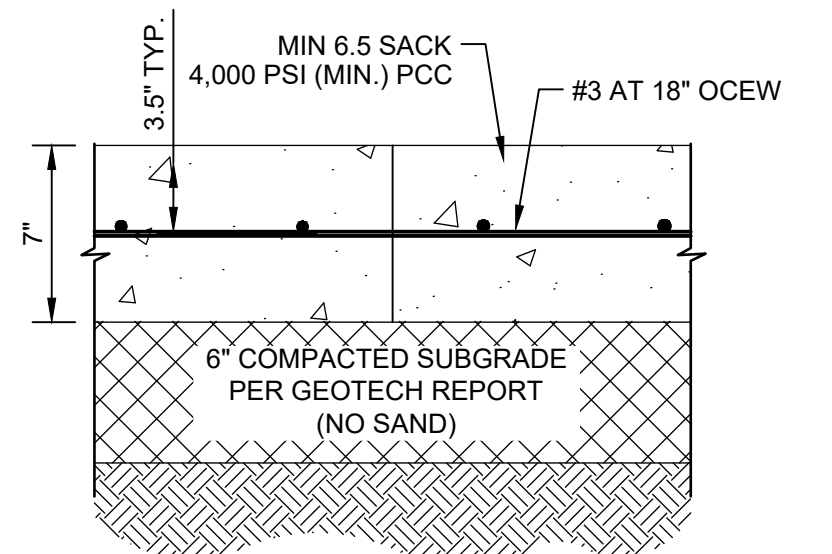
**EXISTING FEATURES LEGEND**

- F.H. FIRE HYDRANT
- PP OVERHEAD POWERPOLE
- SSMH SANITARY SEWER MANHOLE
- WV WATER VALVE
- 558 EXISTING CONTOURS
- FDC

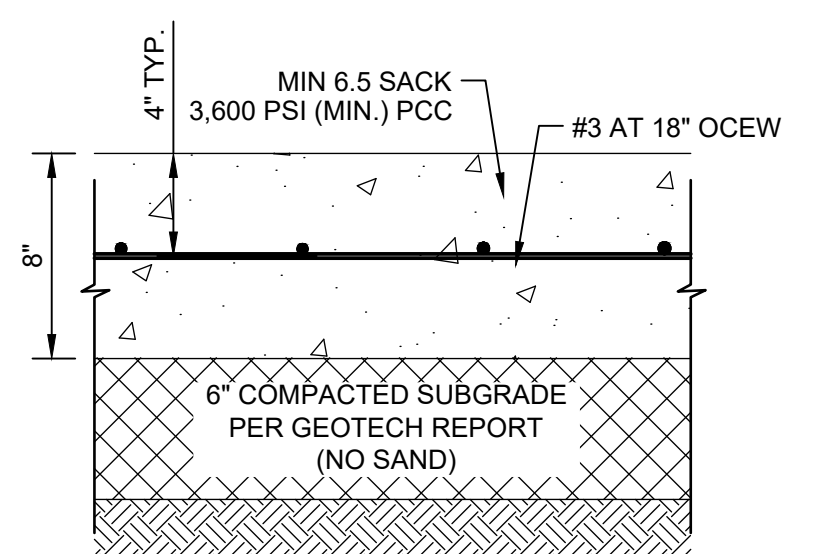
**PROPOSED FEATURES LEGEND**

- POWER POLE
- FIRE HYDRANT
- GRATE INLET
- CURB INLET
- STORM HEADWALL
- TRANSFORMER PAD
- PROPOSED CONTOURS
- LIGHT POLE
- # NO. OF PARKING SPACES

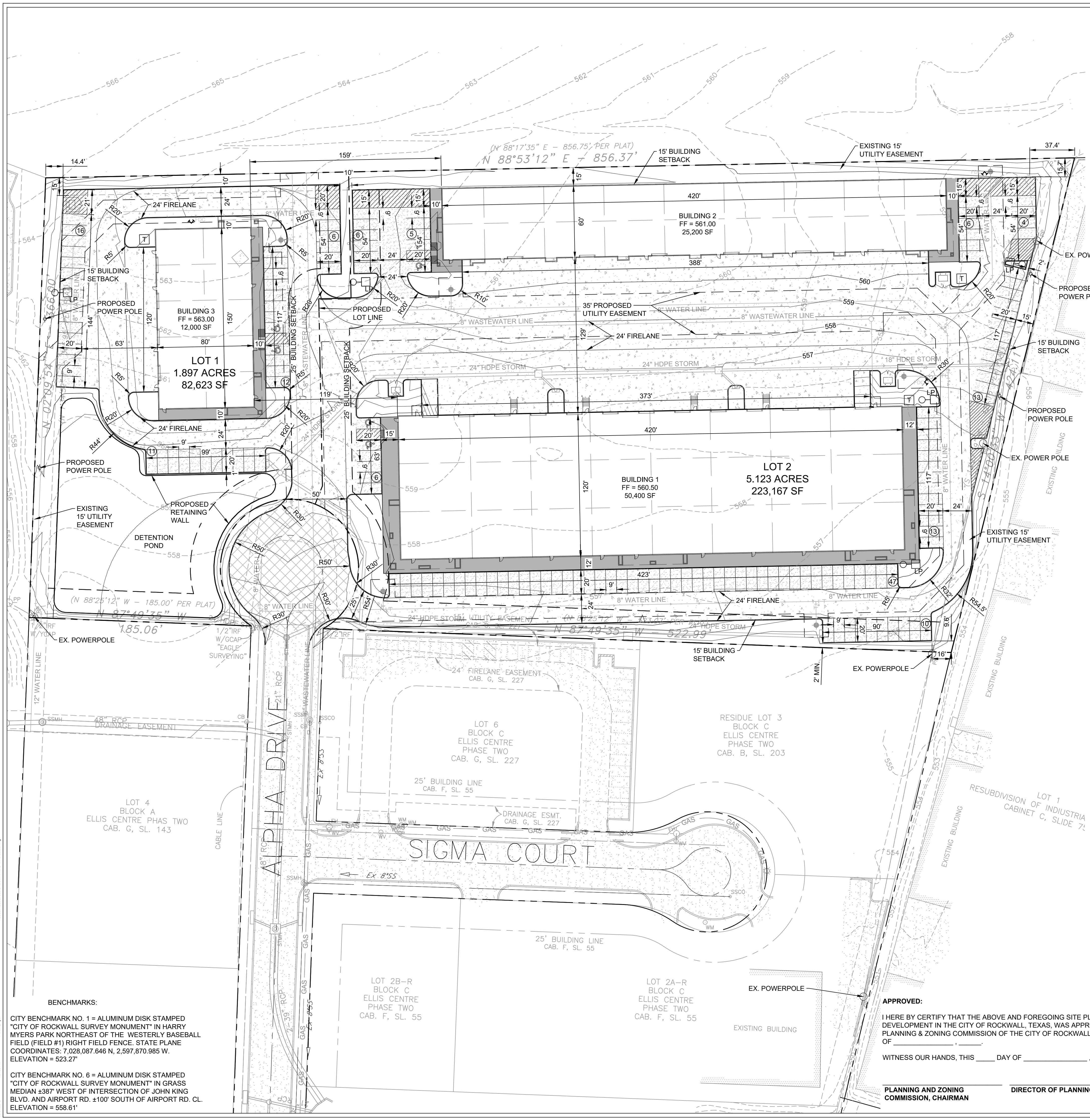
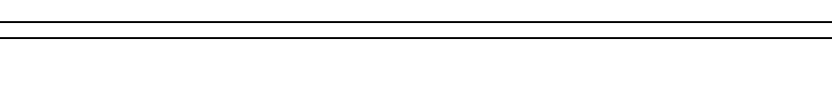
**01 6" CONCRETE PAVEMENT SECTION**  
 SCALE: N.T.S.



**02 7" CONCRETE PAVEMENT SECTION**  
 SCALE: N.T.S.



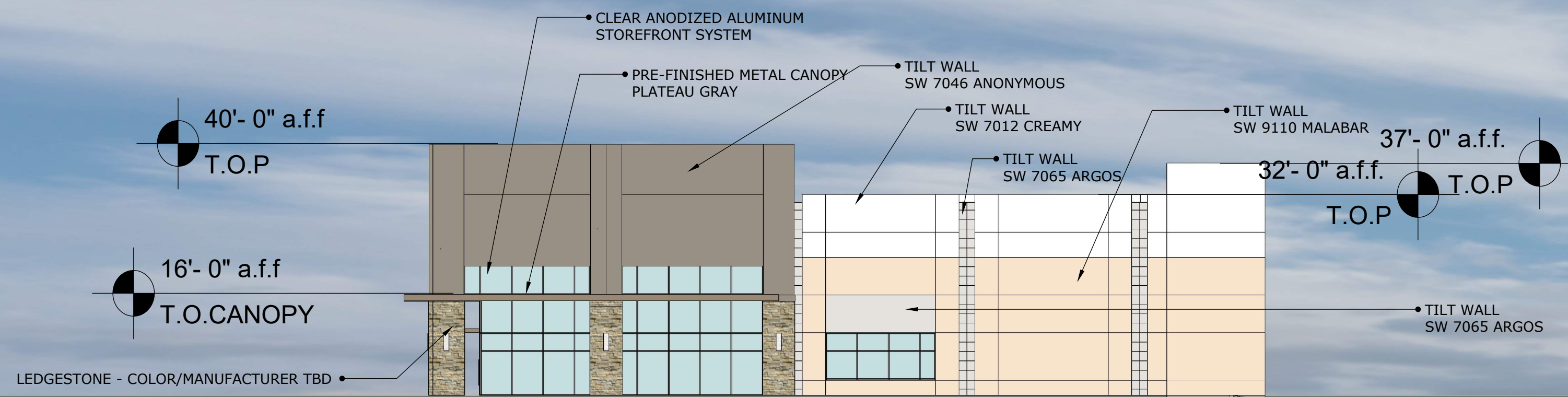
**03 8" CONCRETE PAVEMENT SECTION**  
 SCALE: N.T.S.



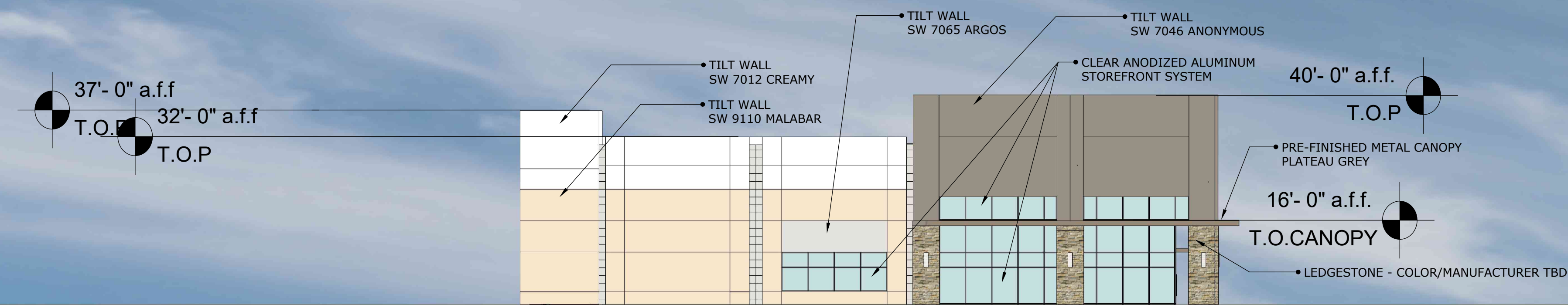
**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_  
 WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

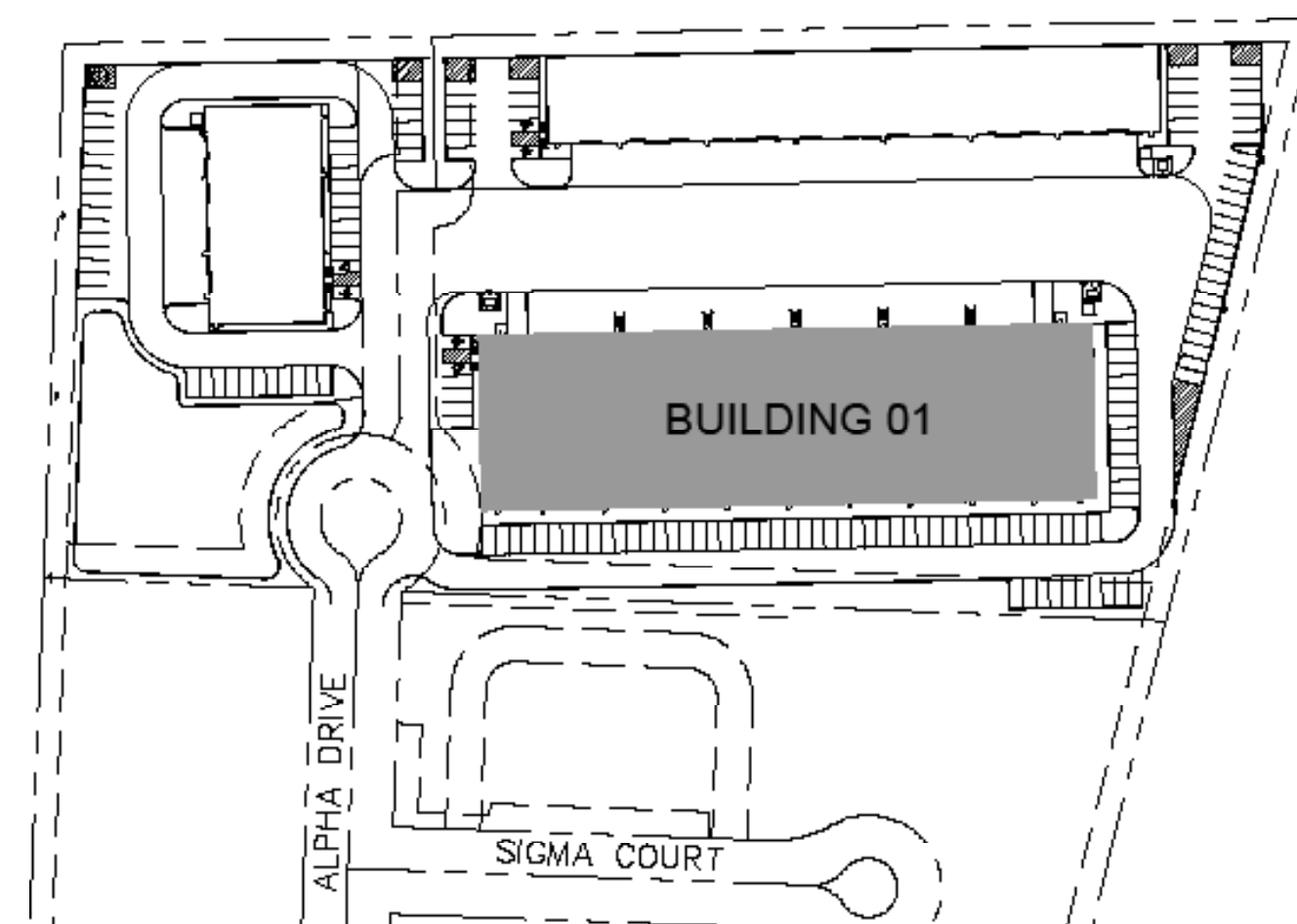
**BENCHMARKS:**  
 CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE. STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W. ELEVATION = 523.27'  
 CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN ±387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. ±100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'



EAST

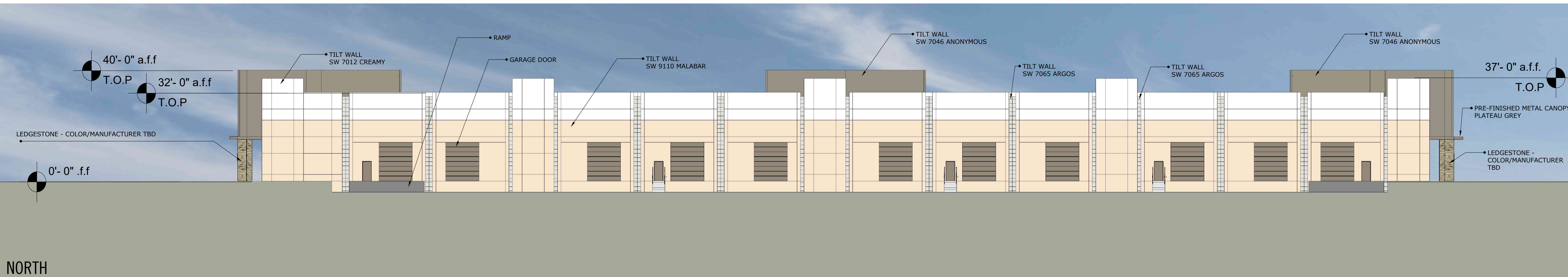


WEST

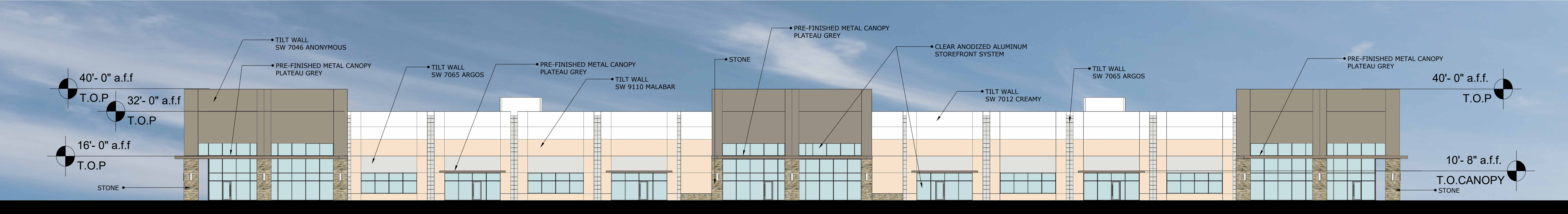


FAÇADE	BLDG 1			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	0	14,051	14,051
SOUTH	235	580	10,586	11,401
EAST	59	241	3,533	3,833
WEST	59	241	3,533	3,833
<b>SF of Materials</b>	<b>353</b>	<b>1,062</b>	<b>31,702</b>	<b>33,117</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>3%</b>	<b>96%</b>	<b>100%</b>



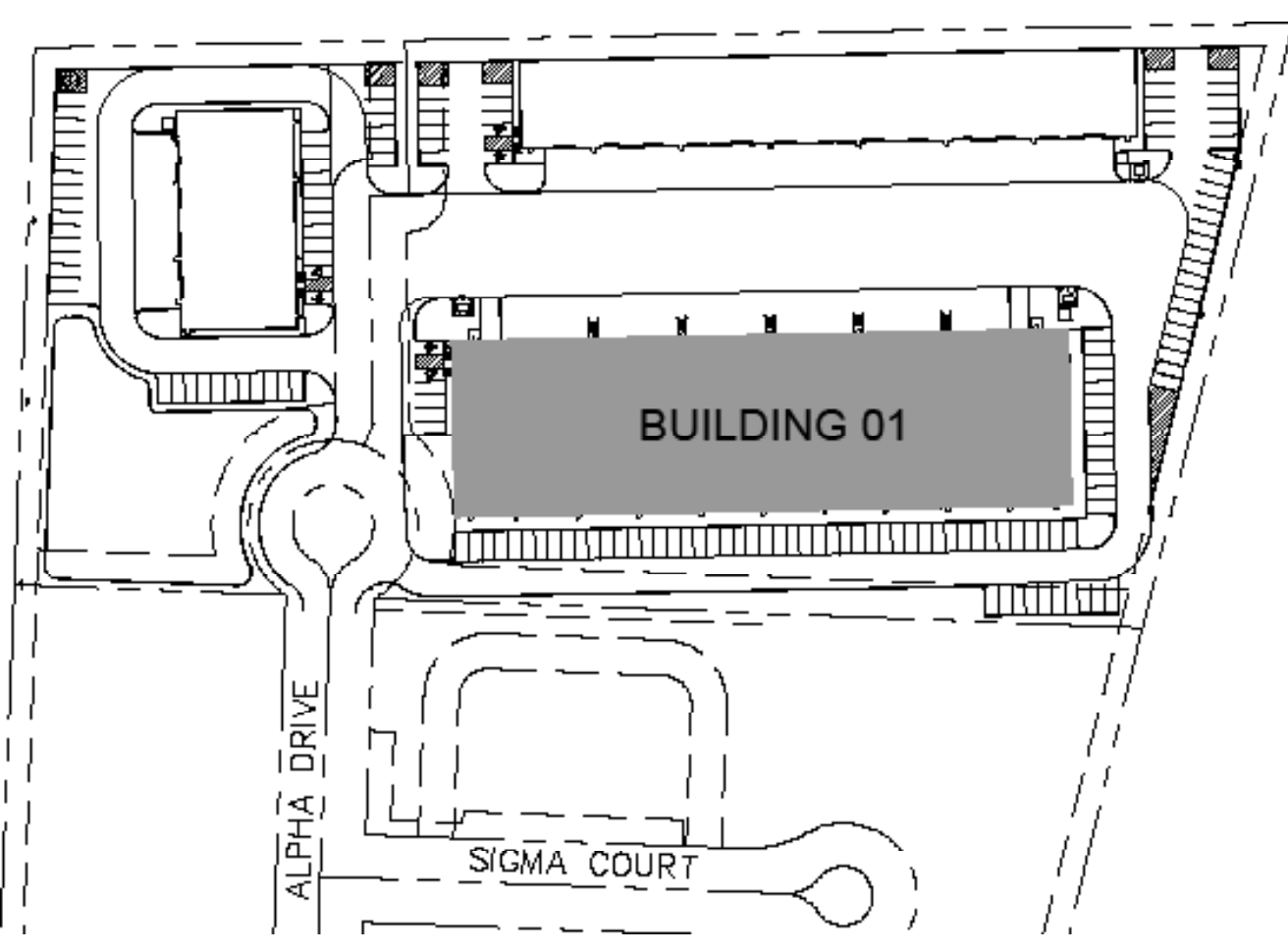
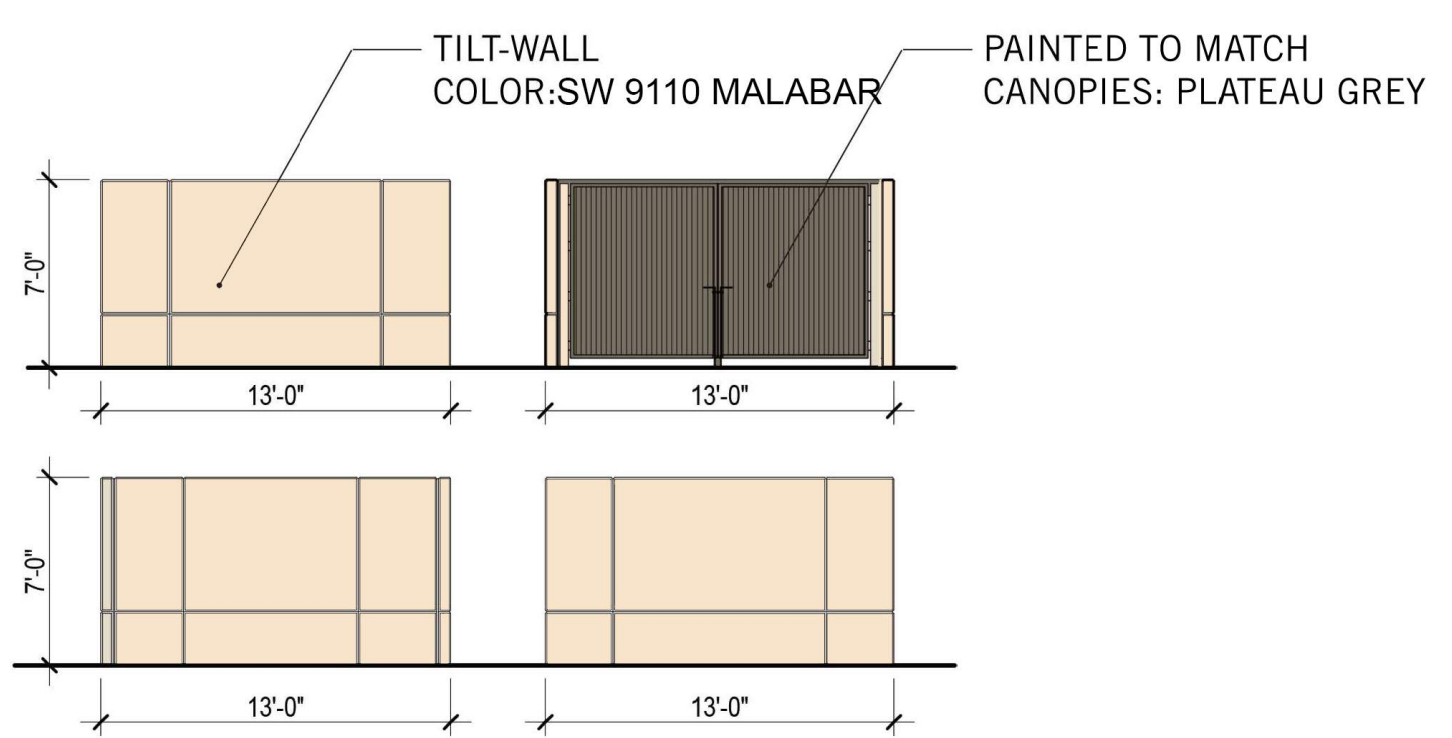


NORTH



SOUTH

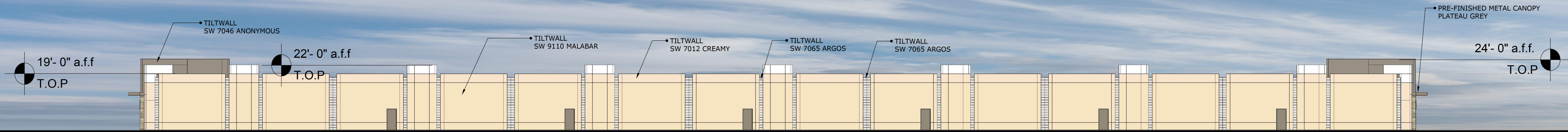
TYPICAL DUMPSTER ENCLOSURE ELEVATIONS



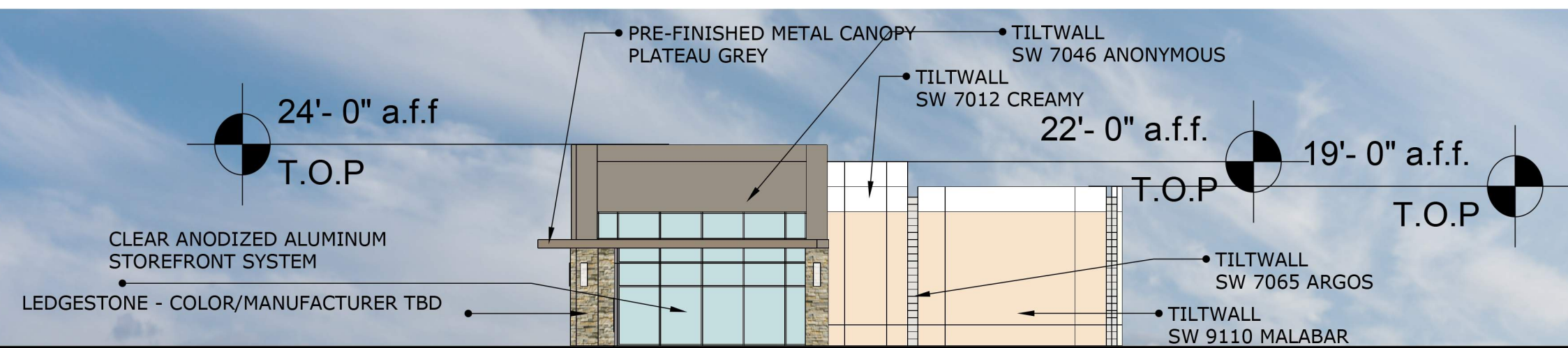
FAÇADE		BLDG 1			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL		
NORTH	0	0	14,051	14,051	
SOUTH	235	580	10,586	11,401	
EAST	59	241	3,533	3,833	
WEST	59	241	3,533	3,833	
<b>SF of Materials</b>	<b>353</b>	<b>1,062</b>	<b>31,702</b>	<b>33,117</b>	
<b>Percentage of Material</b>	<b>1%</b>	<b>3%</b>	<b>96%</b>	<b>100%</b>	



SOUTH



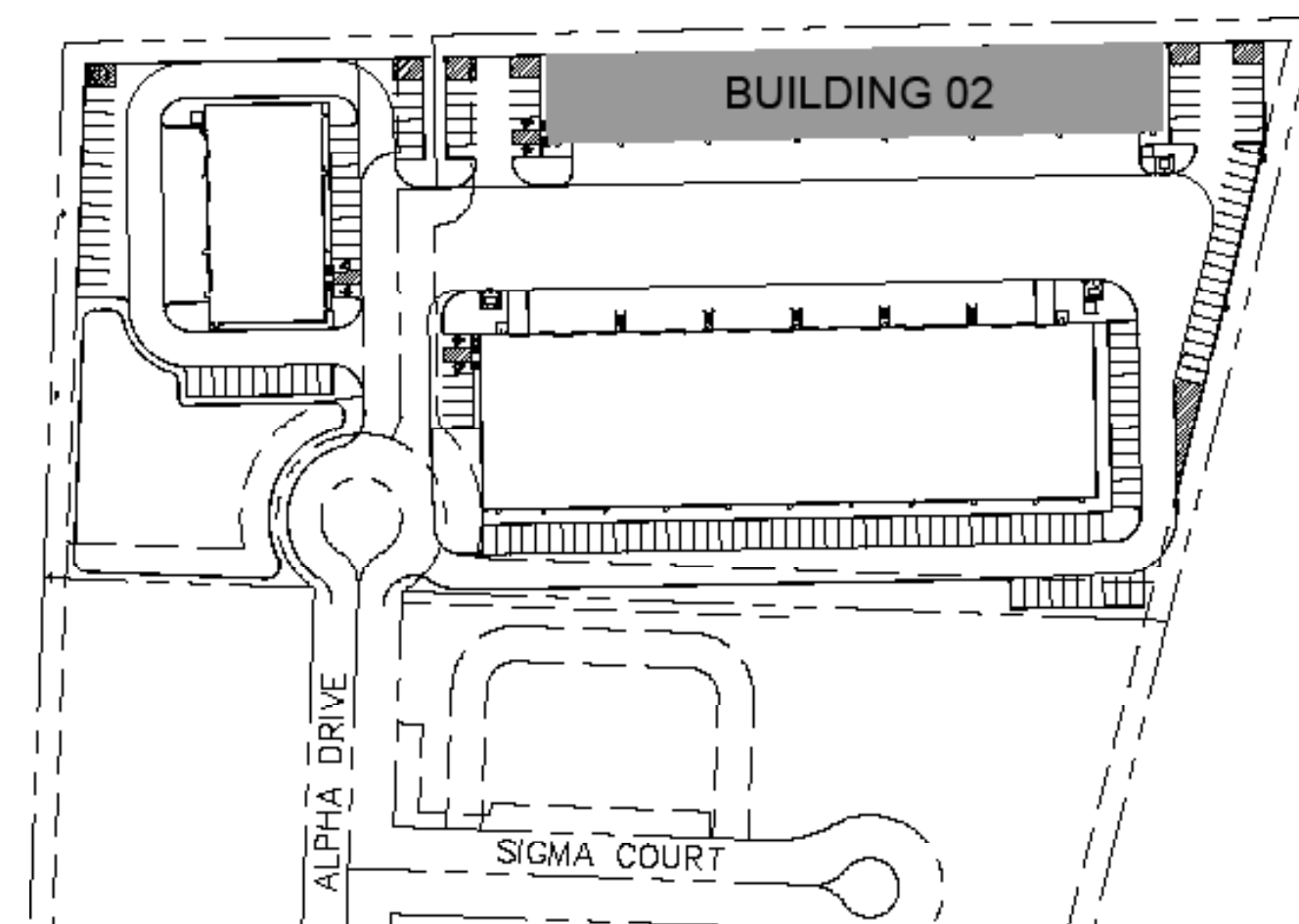
NORTH



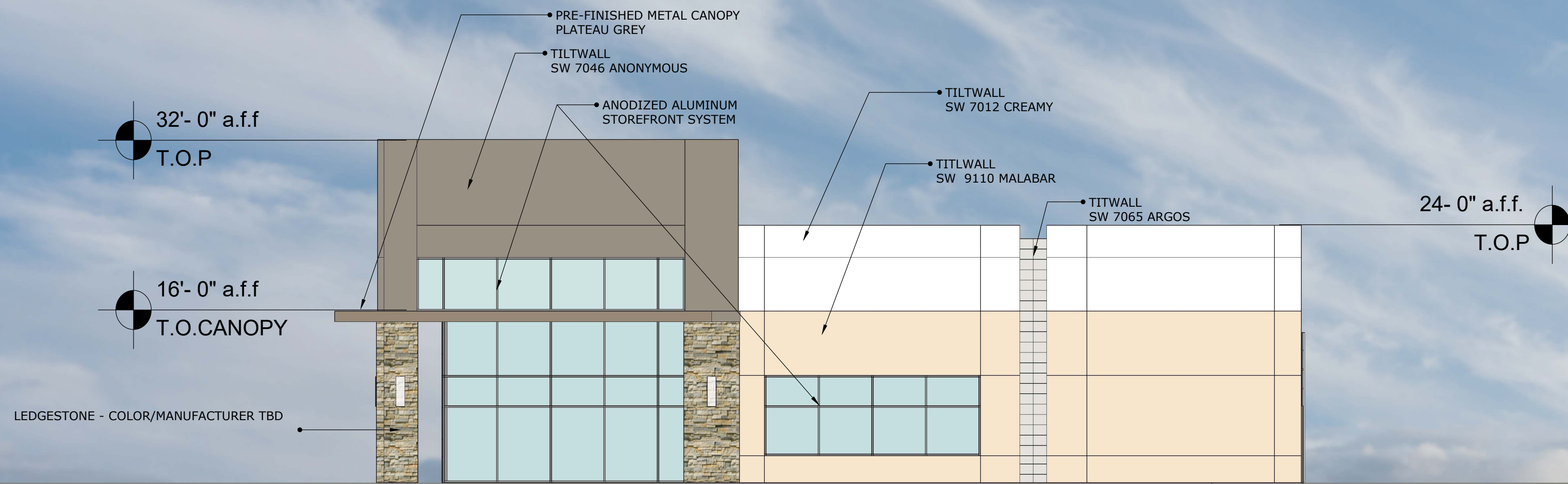
EAST



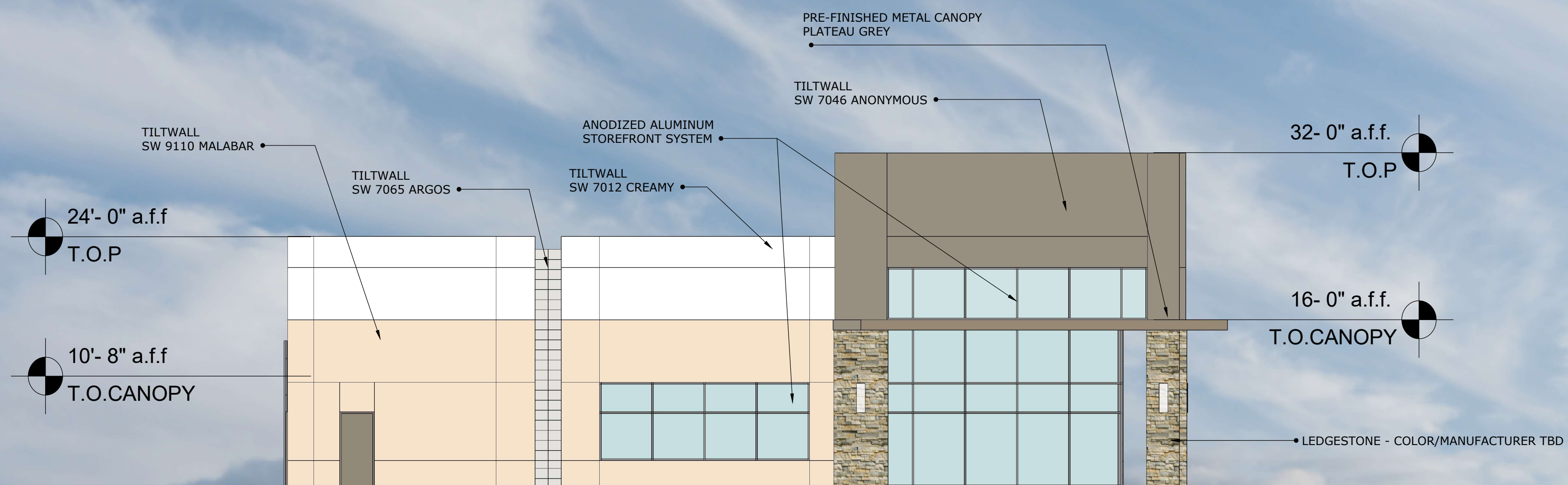
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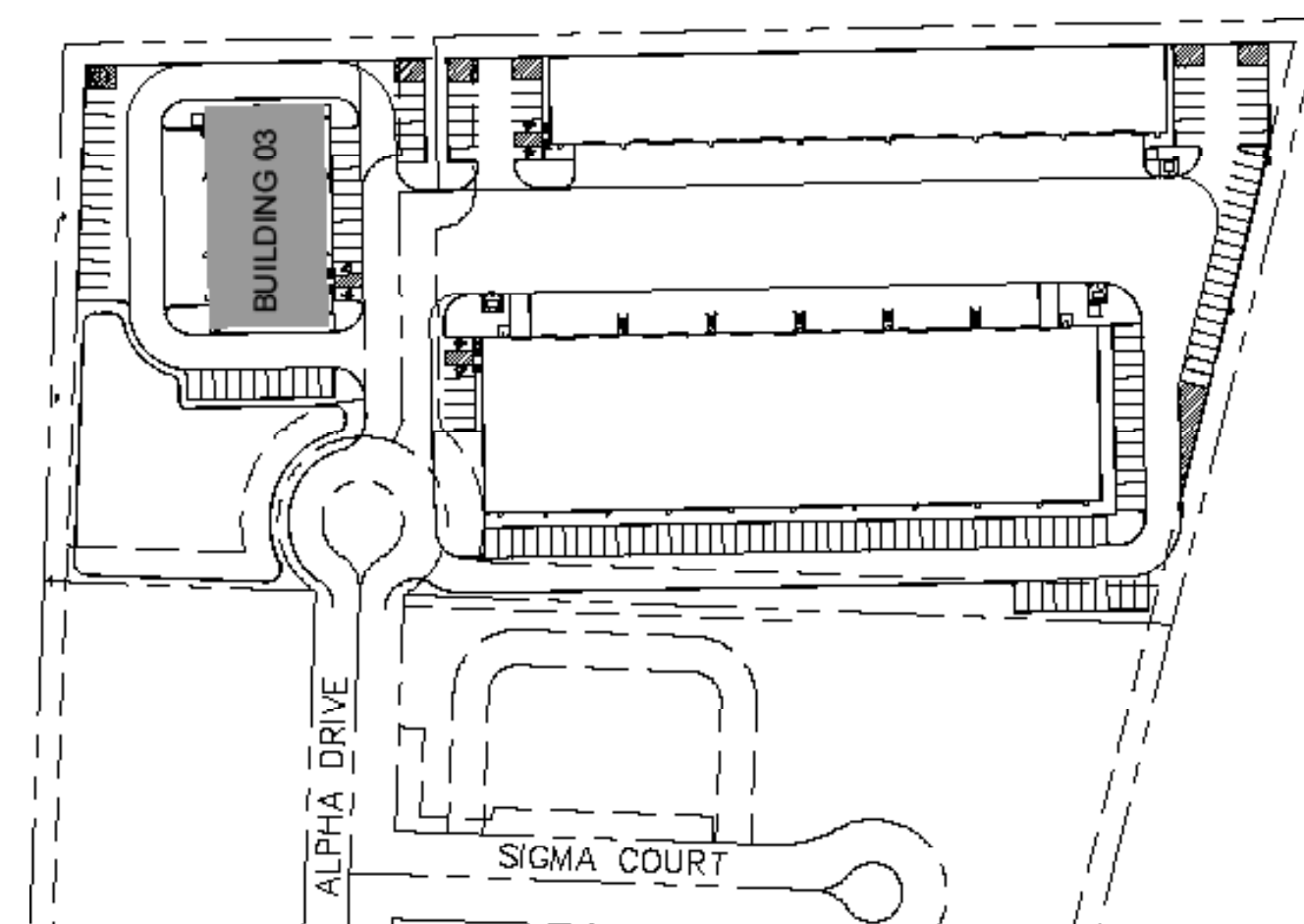
BLDG 2	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	0	9,178	9,178
SOUTH	66	190	3,592	3,848
EAST	33	73	946	1,052
WEST	33	73	946	1,052
<b>SF of Materials</b>	<b>132</b>	<b>336</b>	<b>14,662</b>	<b>TOTAL</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>2%</b>	<b>97%</b>	<b>15,129</b>
				<b>100%</b>



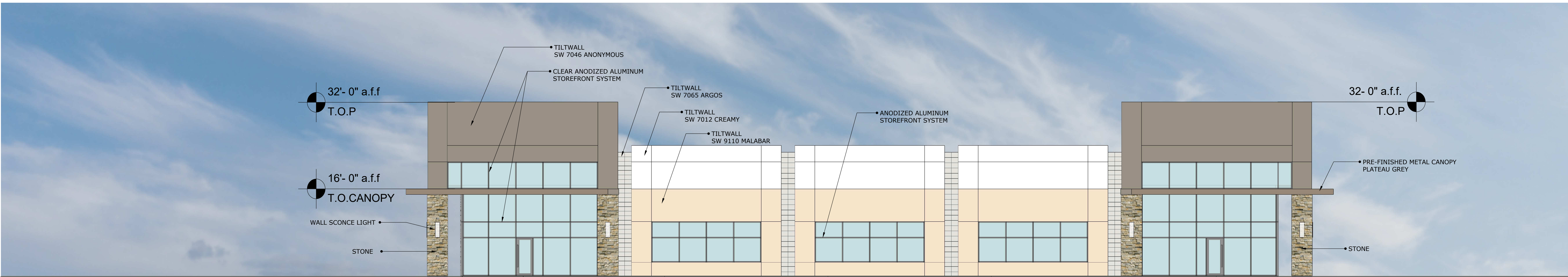
NORTH



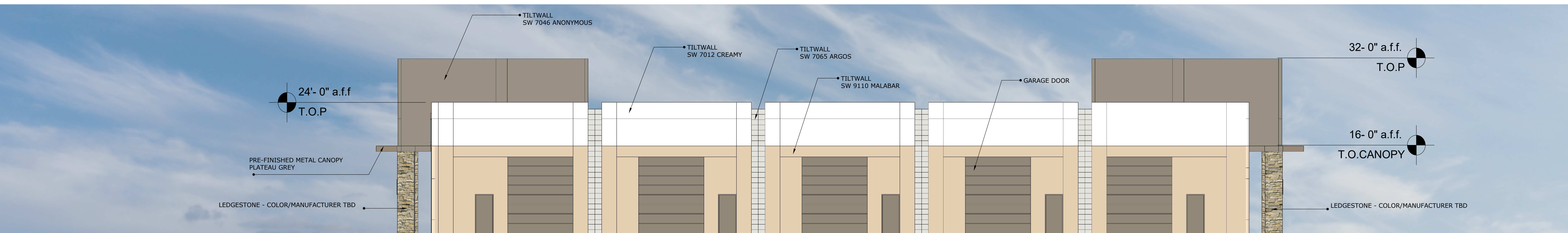
SOUTH



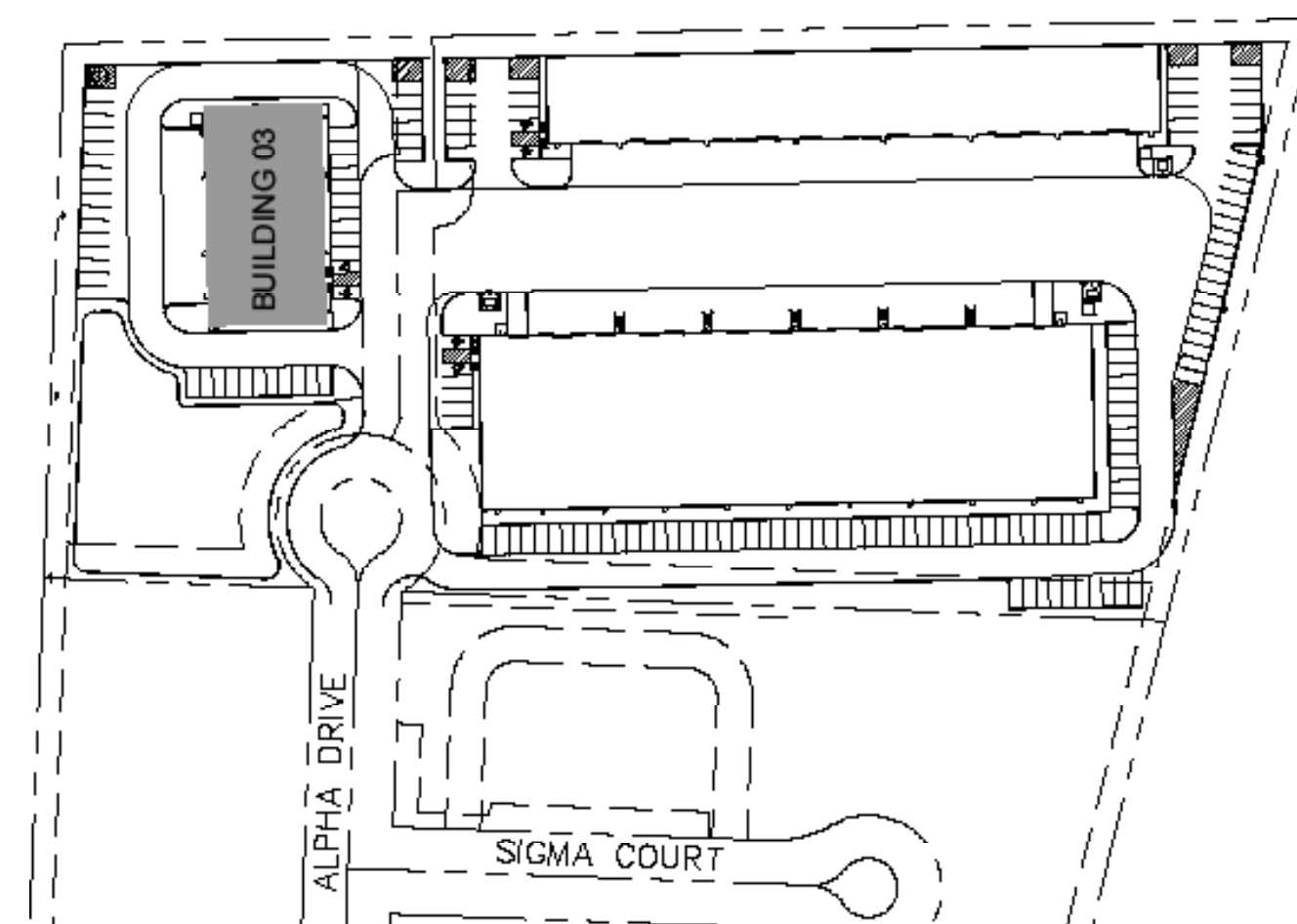
BLDG 3	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	35	136	1,495	1,666
SOUTH	35	136	1,495	1,666
EAST	74	230	2,592	2,896
WEST	0	0	3,000	3,000
<b>SF of Materials</b>	<b>144</b>	<b>502</b>	<b>8,582</b>	<b>9,228</b>
<b>Percentage of Material</b>	<b>2%</b>	<b>5%</b>	<b>93%</b>	<b>100%</b>



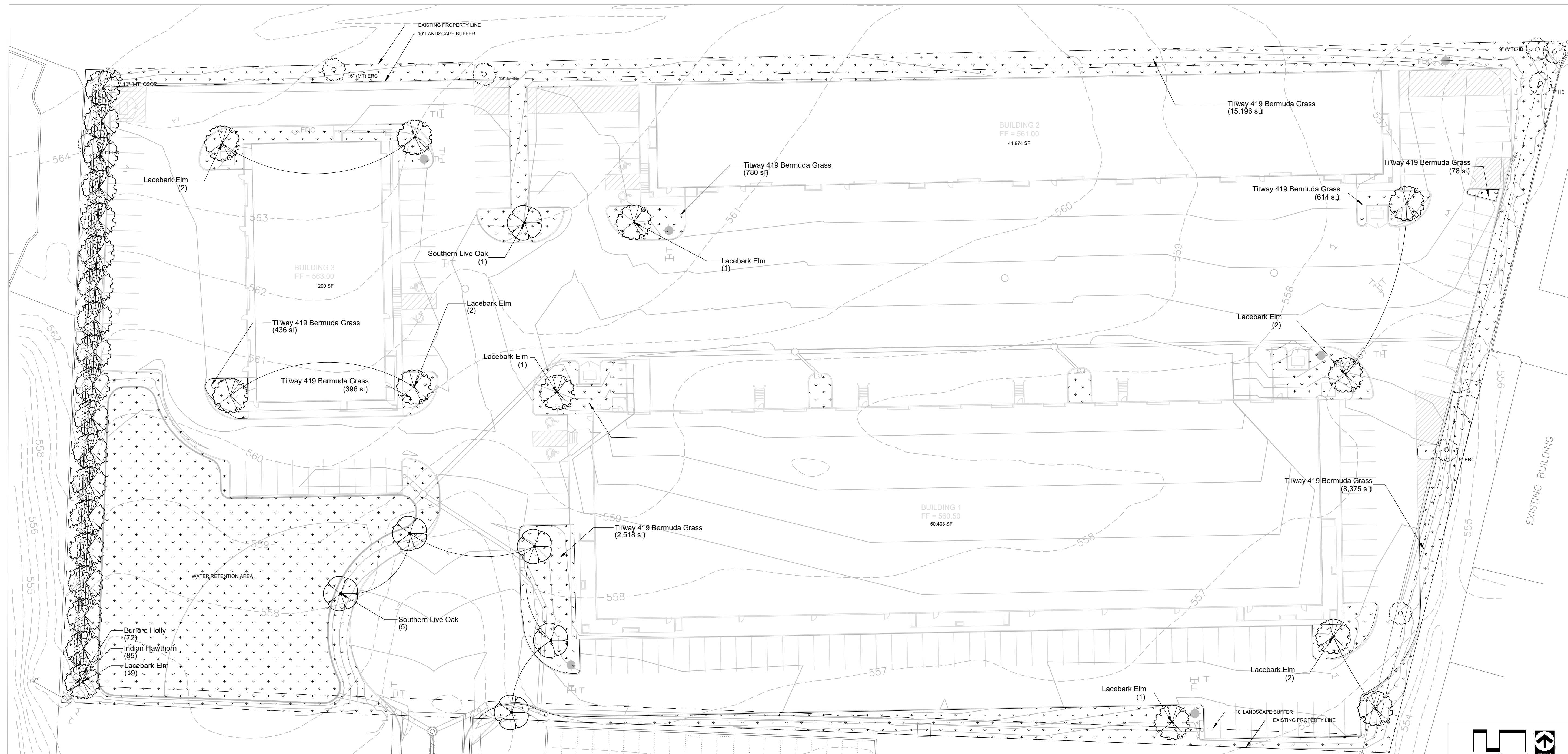
EAST



WEST



BLDG 3	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
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<b>Percentage of Material</b>	<b>2%</b>	<b>5%</b>	<b>93%</b>	<b>100%</b>



**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	B □ B	4" Cal	10'-12" Ht.	6-8	6
	Ulmus parvifolia / Lacebark Elm	B □ B	4" Cal	10'-12" Ht.	6-8	30
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HT	SPD	QTY	
	Ilex comuta 'Burfordii' / Burford Holly	5 gal	18"-24"	12"-18"	72	
	Rhaphiolepis indica / Indian Hawthorn	5 gal	18"-24"	12"-18"	85	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon / Tiway 419 / Tiway 419 Bermuda Grass	SOLID SOD		61,952 sq		

**LANDSCAPE REQUIREMENTS**

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	15% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	45,869 SF	66,576 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (inches)	REQUIRED 59" CALIPER*	PROVIDED 144" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING		
200 SF MIN / 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	✓
PERMIABLE LANDSCAPE PROVIDED	3,756 SF	✓
1 TREE / 10 PARKING SPACES	16	16
SCREENING REQUIREMENTS		
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
1 TREE / 50' FRONTAGE	REQUIRED 1	PROVIDED 1

**PLANTING NOTES**

**PREPARATION**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

**PLANT LOCATIONS**  
 REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

**COORDINATION**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

**MAINTENANCE**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

**VERIFICATION**  
 LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

**PLANTING BEDS**  
 ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

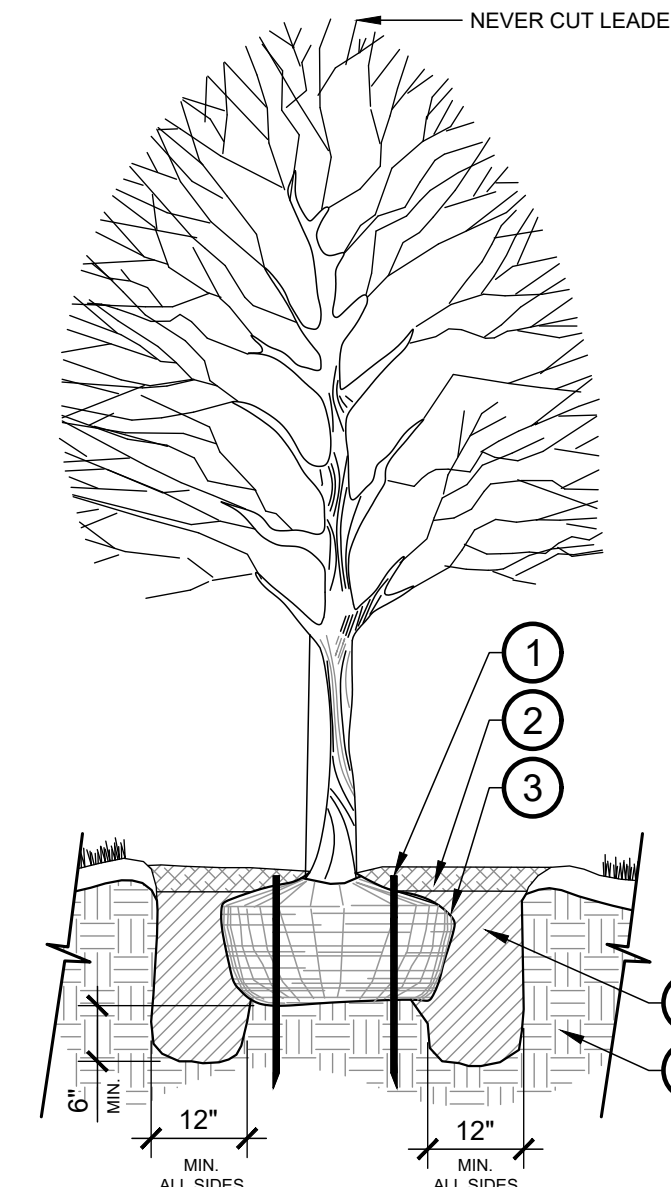
**MULCH**  
 AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

**STANDARDS**  
 ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

**PROTECTED TREES**  
 PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

**IRRIGATION**  
 IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.

□ NO TREES SHALL BE PLANTED WITHIN 5' OF UTILITIES □

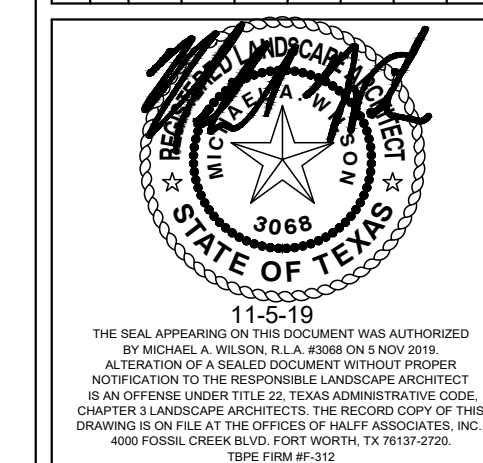


**1 NEW TREE PLANTING**  
 N.T.S.

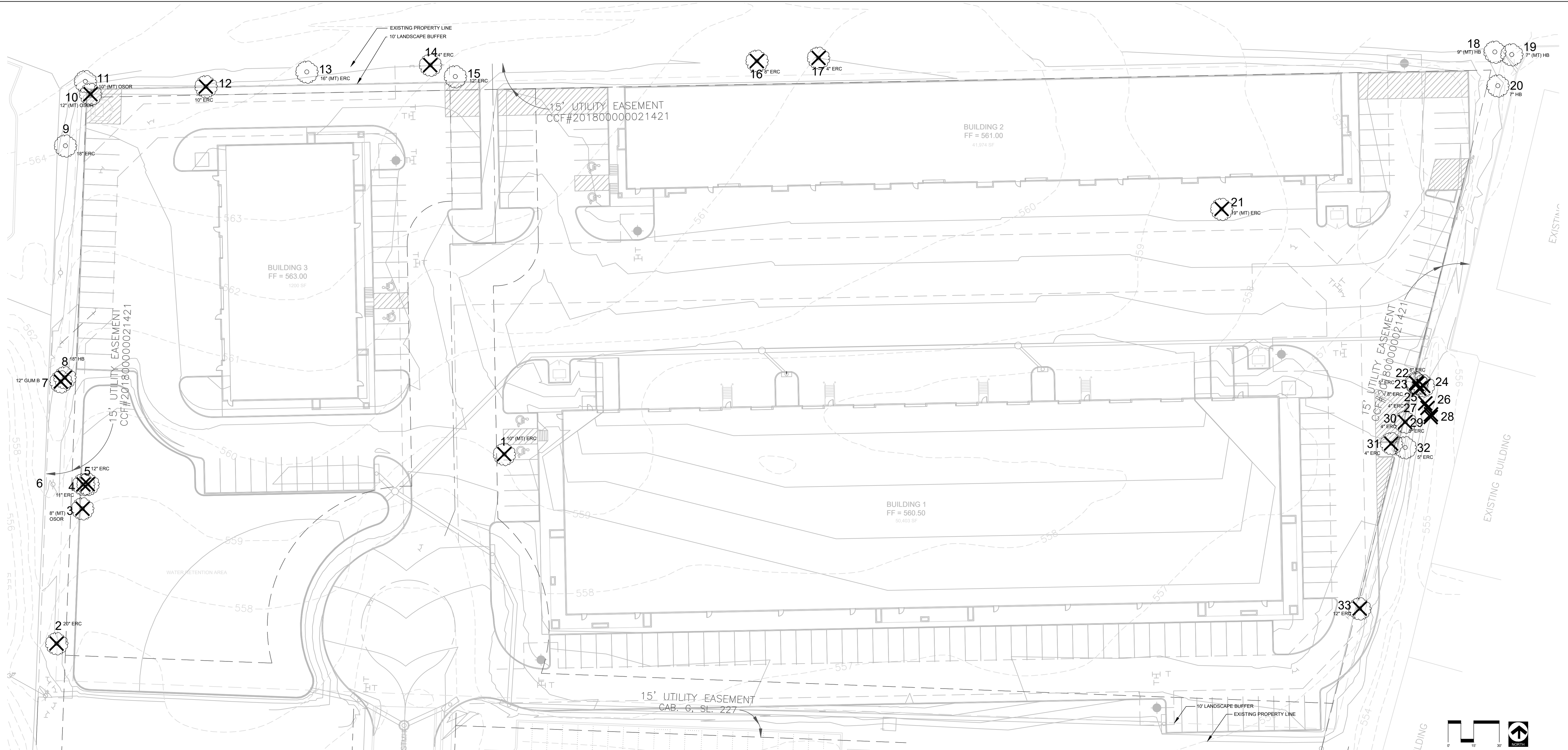
- KEY:**
- (3) ARBOR STAKES, INSTALL PER MANUFACTURE'S SPECIFICATIONS
  - SPECIFIED MULCH - 3" MIN. DEPTH ENTIRE TREE BASIN
  - SET TOP OF ROOT BALL 3" ABOVE FINISH GRADE, BUILD 3" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL
  - LIVING EARTH PLANTING MIX OR APPROVED EQUAL, BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE SIDE AND BOTTOM AIR POCKETS 6" MIN.
  - UNCOMPACTED NATIVE SOIL UNDISTURBED SUBGRADE
- NOTE:**  
 FOR BALL □ BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP, FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.



Revision No.	Date	Description



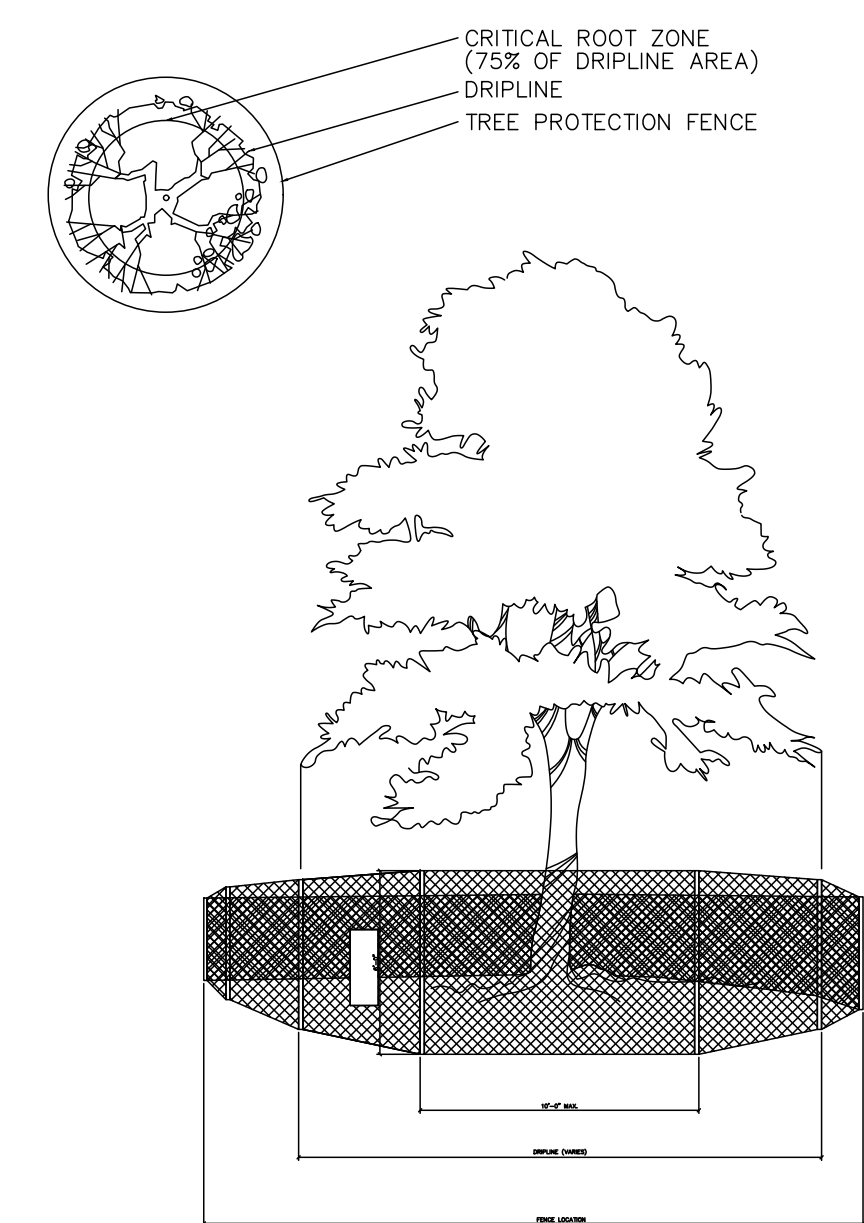
Project No.: 35989  
 Issued: 11-5-19  
 Drawn By: CAP  
 Checked By: MAW  
 Scale: AS SHOWN  
 Sheet Title: LANDSCAPE PLAN  
 SHEET NUMBER: L 2.01



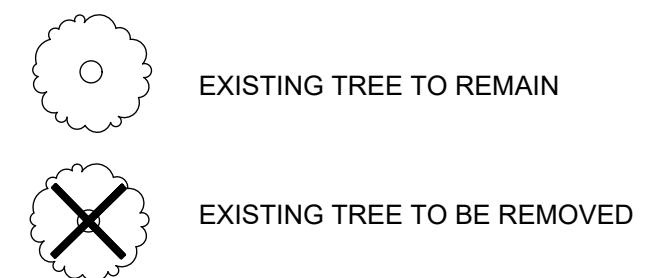
**TREE INVENTORY / MITIGATION**

TREE #	SPECIES	SIZE (Inches)	CLASSIFICATION	STATUS	REQ. MITIGATION (Inches)
1	EASTERN RED CEDAR	10 MULTI-TK	NON-PROTECTED	REMOVE	
2	EASTERN RED CEDAR	20	SECONDARY	REMOVE	10
3	OSAGE ORANGE	8 MULTI-TK	NON-PROTECTED	REMOVE	
4	EASTERN RED CEDAR	11	SECONDARY	REMOVE	6
5	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
6	HACKBERRY	14 MULTI-TK	SECONDARY	PRESERVE	
7	GUM BUMILIA	12	PROTECTED	REMOVE	12
8	HACKBERRY	18	SECONDARY	REMOVE	9
9	EASTERN RED CEDAR	18	SECONDARY	PRESERVE	
10	OSAGE ORANGE	12 MULTI-TK	NON-PROTECTED	REMOVE	
11	OSAGE ORANGE	10 MULTI-TK	NON-PROTECTED	PRESERVE	
12	EASTERN RED CEDAR	10	SECONDARY	REMOVE	
13	EASTERN RED CEDAR	16 MULTI-TK	SECONDARY	PRESERVE	
14	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
15	EASTERN RED CEDAR	12	SECONDARY	PRESERVE	
16	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
17	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
18	HACKBERRY	9 MULTI-TK	NON-PROTECTED	PRESERVE	
19	HACKBERRY	7 MULTI-TK	NON-PROTECTED	PRESERVE	
20	HACKBERRY	7	NON-PROTECTED	PRESERVE	
21	EASTERN RED CEDAR	19 MULTI-TK	SECONDARY	REMOVE	10
22	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
23	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
24	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
25	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
26	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
27	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
28	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
29	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
30	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
31	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
32	EASTERN RED CEDAR	5	NON-PROTECTED	PRESERVE	
33	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
<b>TOTAL</b>					<b>59</b>

**PLAN VIEW**



**EXISTING TREES**



**LANDSCAPE REQUIREMENTS**

TREE MITIGATION	
REQUIRED TREES (Inches)	59" CALIPER*
PROVIDED TREES (Inches)	144" CALIPER

\* See Sheet L 2.01 for Planting Locations

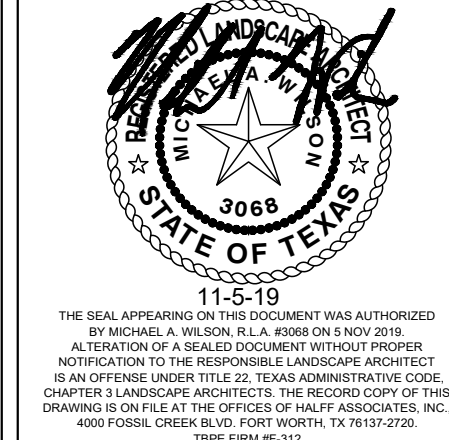
**STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION**

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
  - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
  - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
  - Wounds to exposed roots, trunk or limbs by mechanical equipment;
  - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
  - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
  - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
  - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
  - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs.
- All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

**01 TREE PROTECTION DETAIL**  
 SCALE: N.T.S.

Revision No.	Date	Description

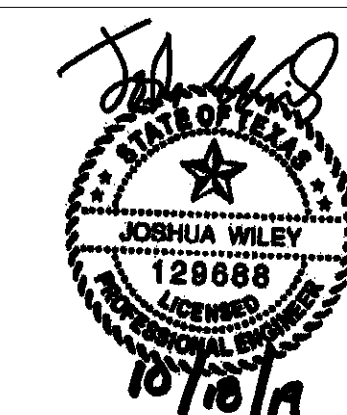


Project No.:	35989
Issued:	11-5-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	TREESCAPE PLAN
Sheet Number	L 1.01

Revision No.	Date	Description

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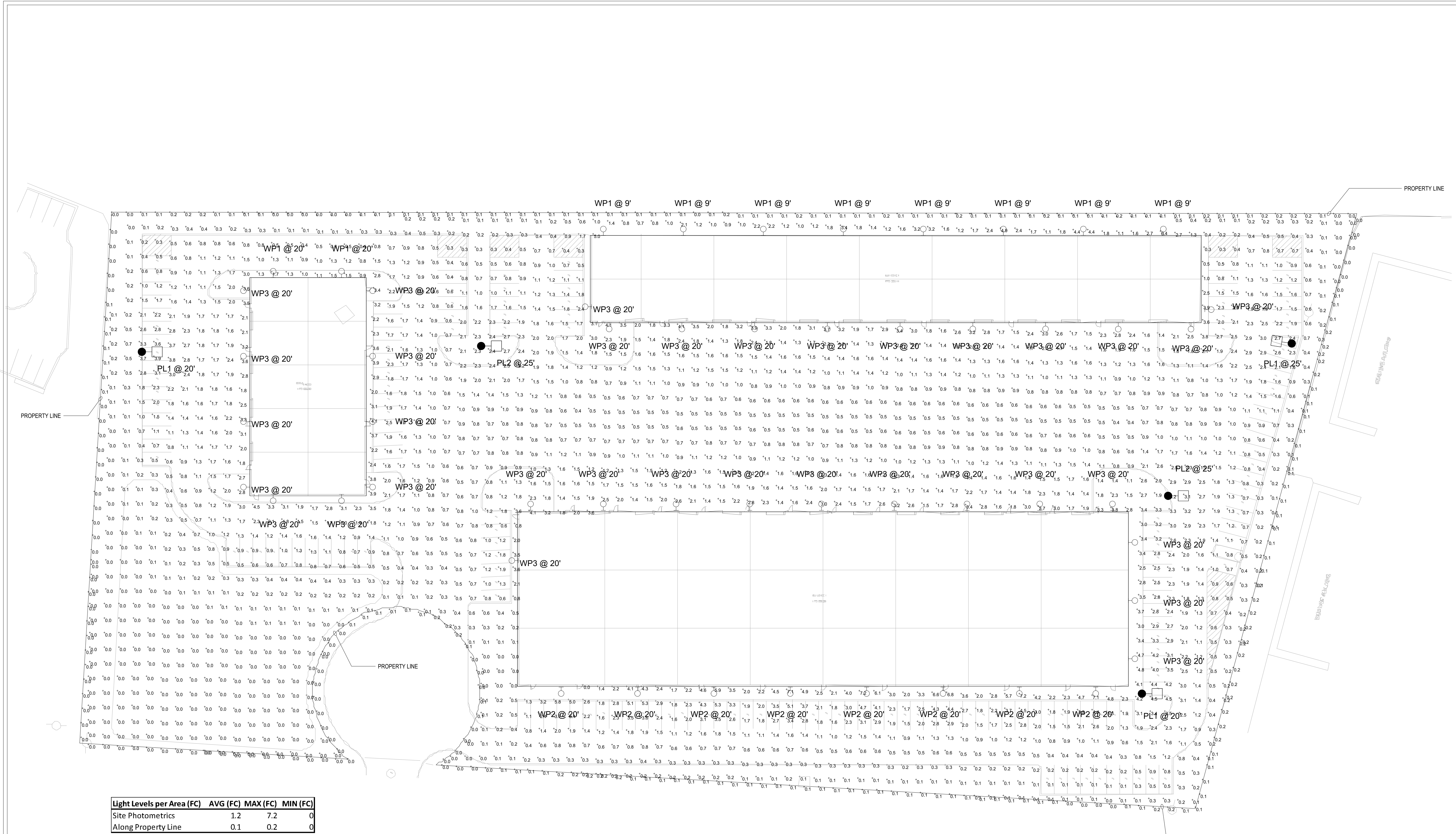


Project No.: 19068  
 Issued: OCTOBER 2019  
 Drawn By:  
 Checked By:  
 Scale: AS SHOWN  
 Sheet Title

**SITE**  
**PHOTOMETRICS**

**E-102**  
 Sheet Number

Case Number:



Light Levels per Area (FC)	AVG (FC)	MAX (FC)	MIN (FC)
Site Photometrics	1.2	7.2	0
Along Property Line	0.1	0.2	0

Label	Catalog Number	Description	Lamp	Lamp Lumens	Watts
WP1	WSR LED P1 SR2 40K MVOLT	WSR LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR2 OPTIC TYPE	LED	2251	20
WP2	WST LED P3 40K VF MVOLT	WST LED Performance package 3 4000 K, visual comfort forward throw, MVOLT	LED	6609	50
WP3	WSR LED P4 SR4 40K MVOLT	WSR LED WITH P4-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	6388	61
PL1	DSXO LED P5 40K T2M MVOLT HS	DSXO LED P5 40K T2M MVOLT with houseside shield	LED	9550	89
PL2	DSXO LED P6 40K T5M MVOLT HS	DSXO LED P6 40K T5M MVOLT with houseside shield	LED	11955	134

**1 SITE PHOTOMETRICS**  
 SCALE: 1/32" = 1'-0"



**Jordan & Skala**  
**Engineers**

17855 North Dallas Parkway • Suite 320  
 Dallas, TX, 75287  
 p. 469.385.1616 • f. 469.385.1615  
 Texas Registered Engineering Firm F-4990

Project Number: 1930681 Drawn By: DNH Checked By: JW

SHEET SIZE: 24" x 36"





# PL1, PL2

## D-Series Size 0 LED Area Luminaire

**Specifications**

- Length: 26" (660mm)
- Width: 13" (330mm)
- Height: 3" (76mm)
- Weight: 15 lbs (6.8kg)

**Ordering Information**

EXAMPLE: DSXO LED P6 40K 3TM MVLDT SPA NLTAIR2 PR1RH DDBXD

DSXO LED	Color Temperature	Beam Spread	Mounting	Material
DSXO LED	30K 3000K	T5 Spot 180°	T5 Spot 180°	MSD14
P1 P4 P7	40K 4000K	T5 Spot 180°	T5 Spot 180°	20P
P2 P3 P6	50K 5000K	T5 Spot 180°	T5 Spot 180°	20P

**Control Options**

DSXO LED Rev. 09/2019 Page 1 of 1

## Ordering Information

### Accessories

**Notes:**

- DSXO LED P1, P4, P7 and P10 are not available in 30K or 50K color temperatures.
- DSXO LED P1, P4, P7 and P10 are not available in 30K or 50K color temperatures.
- DSXO LED P1, P4, P7 and P10 are not available in 30K or 50K color temperatures.

**EGS - External Glare Shield**

**Drilling**

**Handhole Orientation**

**Tenon Mounting Slipfitter**

Slipfitter	Part No.	Part No.	Part No.	Part No.	Part No.	Part No.	Part No.
1/2"	AS15-100	AS15-200	AS15-300	AS15-400	AS15-500	AS15-600	AS15-700
3/4"	AS15-100	AS15-200	AS15-300	AS15-400	AS15-500	AS15-600	AS15-700

DSXO LED Rev. 09/2019 Page 2 of 1

## Photometric Diagrams

To see complete photometric reports or download Java files for this product, visit [Lithonia Lighting's D-Series Area Size 0 homepage](#).

Photometric diagrams showing beam spread and light distribution for various configurations.

DSXO LED Rev. 09/2019 Page 3 of 1

## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Temperature	Multiplier
25°C	1.00
30°C	0.95
35°C	0.90
40°C	0.85
45°C	0.80
50°C	0.75

### Projected LED Lumen Maintenance

DSXO LED Rev. 09/2019 Page 4 of 1

## Performance Data

### Lumen Output

DSXO LED Rev. 09/2019 Page 5 of 1

## Performance Data

### Lumen Output

DSXO LED Rev. 09/2019 Page 6 of 1

## Performance Data

### Lumen Output

DSXO LED Rev. 09/2019 Page 7 of 1

## Performance Data

### Lumen Output

DSXO LED Rev. 09/2019 Page 8 of 1

Lithonia Lighting logo and contact information.

DSXO LED Rev. 09/2019 Page 9 of 1

Lithonia Lighting logo and contact information.

DSXO LED Rev. 09/2019 Page 10 of 1

Lithonia Lighting logo and contact information.

DSXO LED Rev. 09/2019 Page 11 of 1

Lithonia Lighting logo and contact information.

DSXO LED Rev. 09/2019 Page 12 of 1

# OBRIEN

Rockwall Urban + Industrial Center  
OWNER: ROCKWALL URBAN INDUSTRIAL, LP.  
END OF ALPHA DRIVE  
ROCKWALL, TX 75087

5310 HARVEST HILL ROAD  
DALLAS, TX 75230  
(972) 788-1010

PRELIMINARY FOR INTERIM REVIEW ONLY

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Project No.: 19068  
Issued: OCTOBER 2019  
Drawn By:  
Checked By:  
Scale: AS SHOWN  
Sheet Title: PL1, PL2  
Sheet Number: E-102B

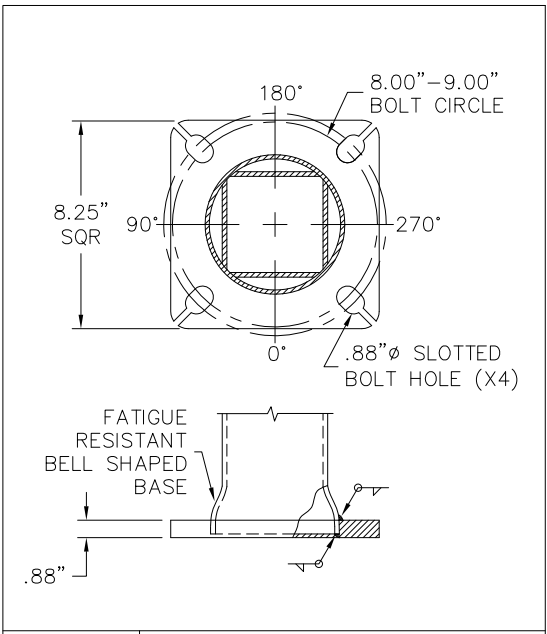
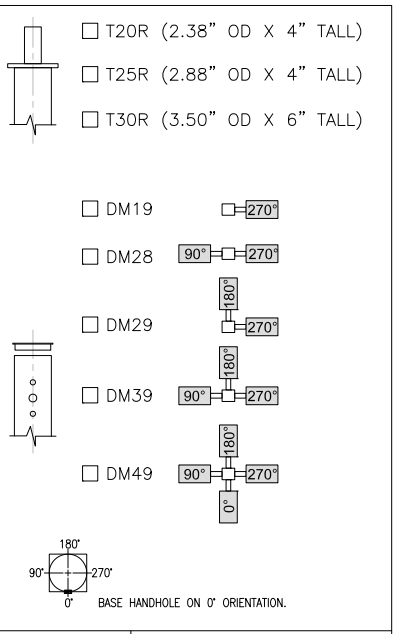
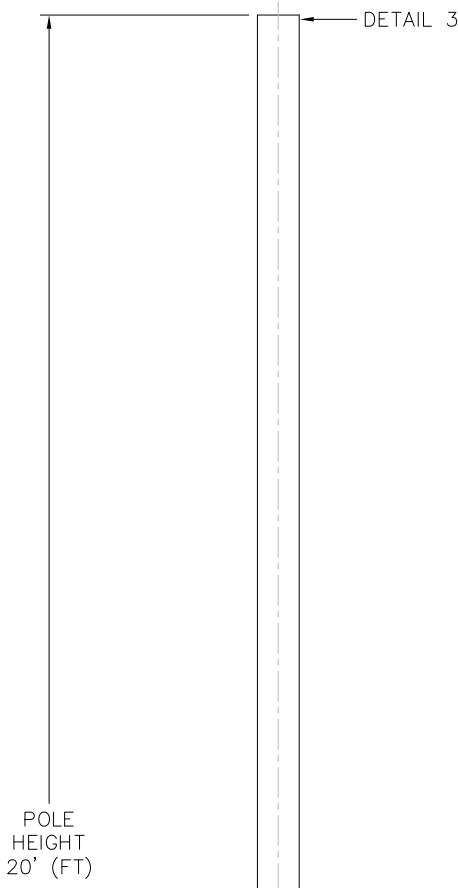
Project Number: 1930681 Drawn By: DNH Checked By: JW SHEET SIZE: 24" x 36"

# JSE

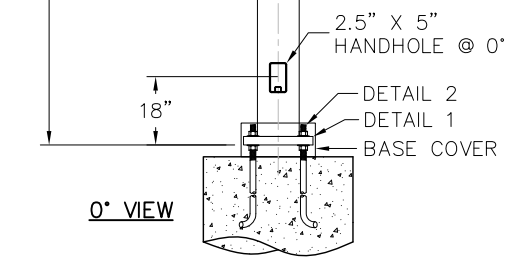
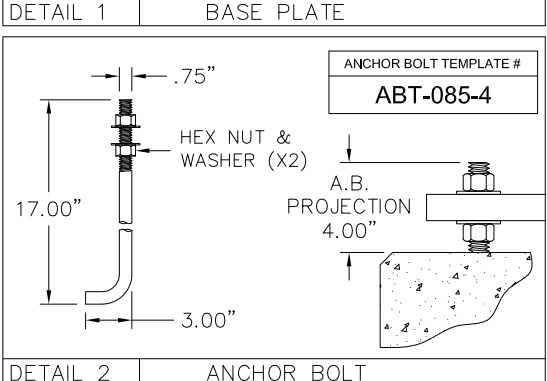
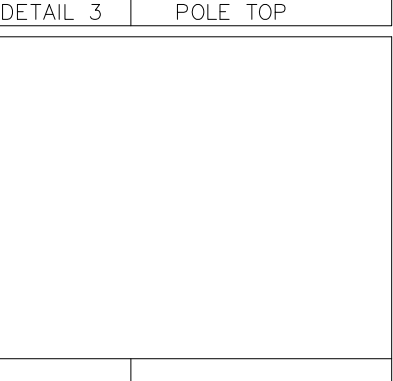
Jordan & Skala Engineers

18755 North Dallas Parkway • Suite 320  
Dallas, TX 75287  
p. 469.285.1616 • f. 469.285.1615  
Texas Registered Engineering Firm F-4990

Project Number: 1930681 Drawn By: DNH Checked By: JW SHEET SIZE: 24" x 36"



POLE HEIGHT  
20' (FT)



- 1) HARDWARE TO BE GALVANIZED TO: ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153.
- 3) ALL WELDING TO CONFORM TO: AWS D1.1 MOST RECENT EDITION.
- 4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION.
- 5) PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE.
- 6) VIBRATION DISCLAIMER: ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES. BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES, VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USERS MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL DAMAGE. ALL WARRANTY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND THE POLE.

LOADING DATA								
DESIGN CRITERIA:	COMMERCIAL STANDARD							
WIND SPEED (mph) 1.3 GUST	80	90	100	110	120	130	140	150
EPA FT <sup>2</sup>	15.0	11.0	9.0	7.6	5.8	4.5	3.4	2.5
WEIGHT (lbs)	375	275	225	190	145	113	85	63
FINISH								
TBD								

MATERIAL DATA	
COMPONENT	ASTM
POLE SHAFT	A500 GR. B
BASE PLATE	A36
ANCHOR BOLTS	F1554 GR.55
MISC. STEEL	A36

POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-20-40-7-AB	20	4.00	4.00	7-GA (.1793")	240

DETAIL GENERAL NOTES



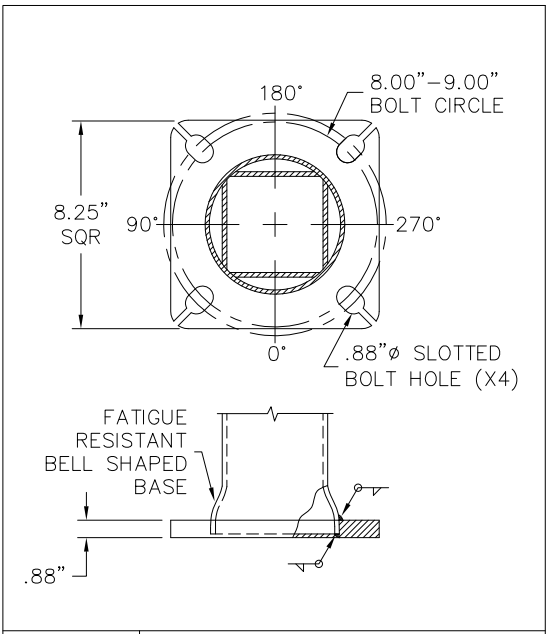
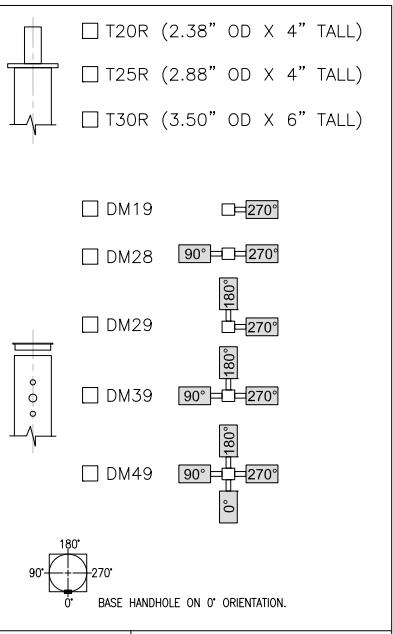
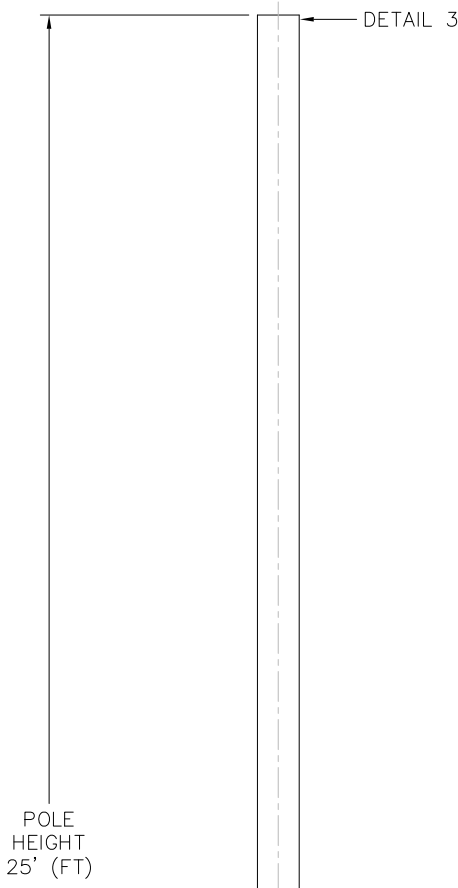
AMERICAN LITE POLE  
2800 S. HULEN, SUITE 200  
FORT WORTH, TX 76109  
817-924-3682 PH.  
817-924-7049 FAX

**\*\* CONFIDENTIAL \*\***  
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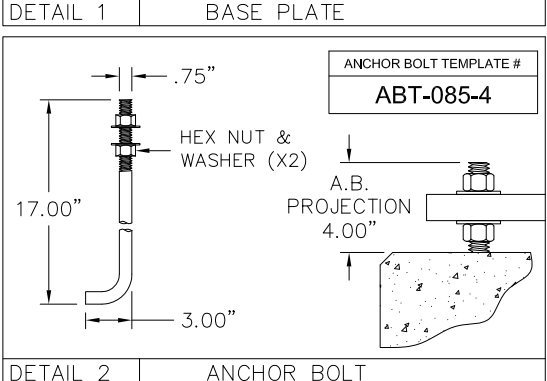
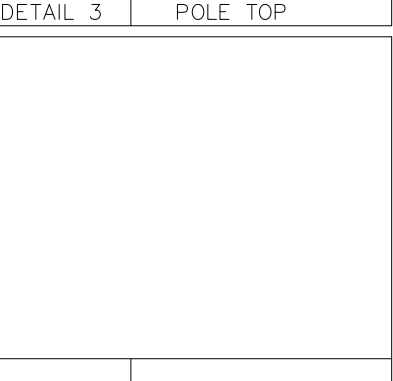
REV. DATE BY REVISION DESCRIPTION  
PROJECT NAME:  
DESCRIPTION:  
**SQUARE STRAIGHT STEEL ANCHOR BASE**  
**20' x 4.0" x 7 GA**

PO NUMBER:	DATE:	DWG BY:
QUOTE NUMBER:	SCALE:	CHKD BY:
DRAWING NUMBER:	QTY:	REV:

061014  
BM  
NTS  
CKR  
SNS-20-40-7-AB



POLE HEIGHT  
25' (FT)

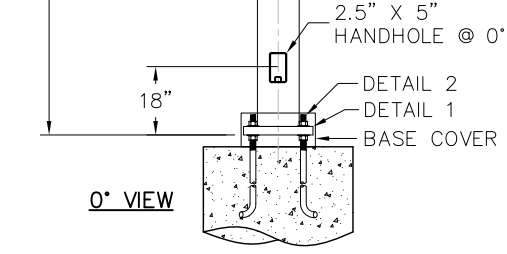


- 1) HARDWARE TO BE GALVANIZED TO: ASTM A153
- 2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153.
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LOADING DATA								MATERIAL DATA			
DESIGN CRITERIA:	COMMERCIAL STANDARD							COMPONENT	ASTM		
WIND SPEED (mph) 1.3 GUST	80	90	100	110	120	130	140	150	POLE SHAFT	A500 GR. B	
EPA FT <sup>2</sup>	10.8	7.7	5.4	3.9	2.6	1.6	0.8	0.2			
WEIGHT (lbs)	270	188	135	100	65	40	20	5	BASE PLATE	A36	
FINISH											
TBD								ANCHOR BOLTS	F1554 GR.55	MISC. STEEL	A36

POLE DIMENSION DATA						
TYPE	DESIGN	POLE LENGTH (FT)	BASE DIA. (IN)	TOP DIA. (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS-25-40-7-AB	25	4.00	4.00	7-GA (.1793")	245

DETAIL GENERAL NOTES



AMERICAN LITE POLE  
2800 S. HULEN, SUITE 200  
FORT WORTH, TX 76109  
817-924-3682 PH.  
817-924-7049 FAX

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REV. DATE BY REVISION DESCRIPTION  
PROJECT NAME:

DESCRIPTION:  
**SQUARE STRAIGHT STEEL ANCHOR BASE**  
**25' x 4.0" x 7 GA**

PO NUMBER:	DATE:	DWG BY:
QUOTE NUMBER:	SCALE:	CHKD BY:
DRAWING NUMBER:	QTY:	REV:

061014  
BM  
NTS  
CKR  
SNS-25-40-7-AB



November 7, 2019  
AVO 35989

Ryan Miller, AICP  
Director of Planning  
Planning & Zoning  
City of Rockwall  
385 S. Goliad St.  
Rockwall, TX 75087

RE: Requested Variance for Rockwall Urban + Industrial Center (SP2019-040)

Dear Mr. Miller:

On behalf of Reid Caldwell and Rockwall Urban Industrial, LP we request a variance to the following ordinances:

1. Article V, District Development Standards, UDC - Industrial Districts Section 5.01.A.1.a.1 – Stone. (A minimum 20% stone)
  - a. We added stone at the request of the ARB (10-29-19) with the caveat that the 20% requirement would not be enforced.
  
2. Article V, District Development Standards, UDC - Industrial Districts Section 5.01.C.2 – Building Articulation for Secondary Facades.
  - a. This is a worth request, because having a flat façade provides flexibility to the property owner and future tenants with the intended utilitarian use of these loading/dock sides of the buildings for future utility and door locations. These facades will still maintain the vertical articulation prescribed for secondary facades. The specific variance being requested is for the North façade of Building 1, a loading dock with overhead coiling doors and West façade of Building 3 with on grade loading overhead coiling doors, neither face a street. Also, for the North façade of Building 2 that faces a property line that is currently screened by trees on the adjacent property, and any likely future development on that property would likely require screening based on differing uses. This façade also does not face a street or is easily seen from any adjacent property.

3. 3.4A of the City of Rockwall Standards of Design and Construction – “Detention ponds shall have a side slope 4:1 or flatter.”
  - a. Based on maximizing the value of this property and the proposed site layout the detention pond will need to have retaining walls in order to meet the City of Rockwall drainage design. We believe this variance request is reasonable because it is consistent with the developments directly around our site. The site located directly to our south at the NE Corner of Alpha Dr. and Sigma Ct. has retaining walls built as part of its detention system.

Our compensatory measures for the variance requests are as follows:

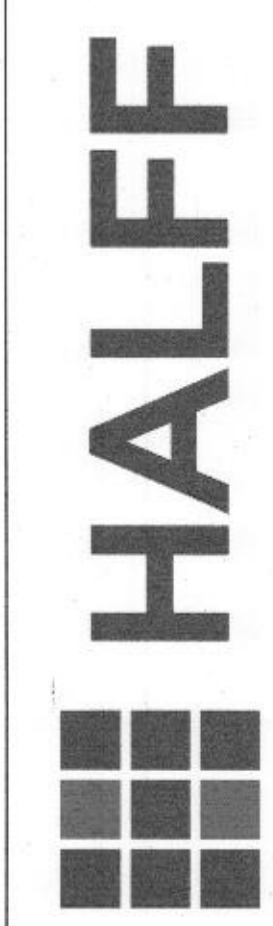
1. Stone was added to the façade after not originally being included and based on ARB comments on (10-29-19) the 20% requirement would not be enforced.
2. The landscape plan as shown is at 21% coverage, which is over the minimum of 15%.
3. Landscape screening will be added to the detention pond to screen along Alpha Drive.

If there are any questions, please don't hesitate to contact me.

Sincerely,



Matthew Gardner, P.E.  
Civil Engineer  
[mgardner@halff.com](mailto:mgardner@halff.com)  
214-346-6308  
HALFF ASSOCIATES, INC.



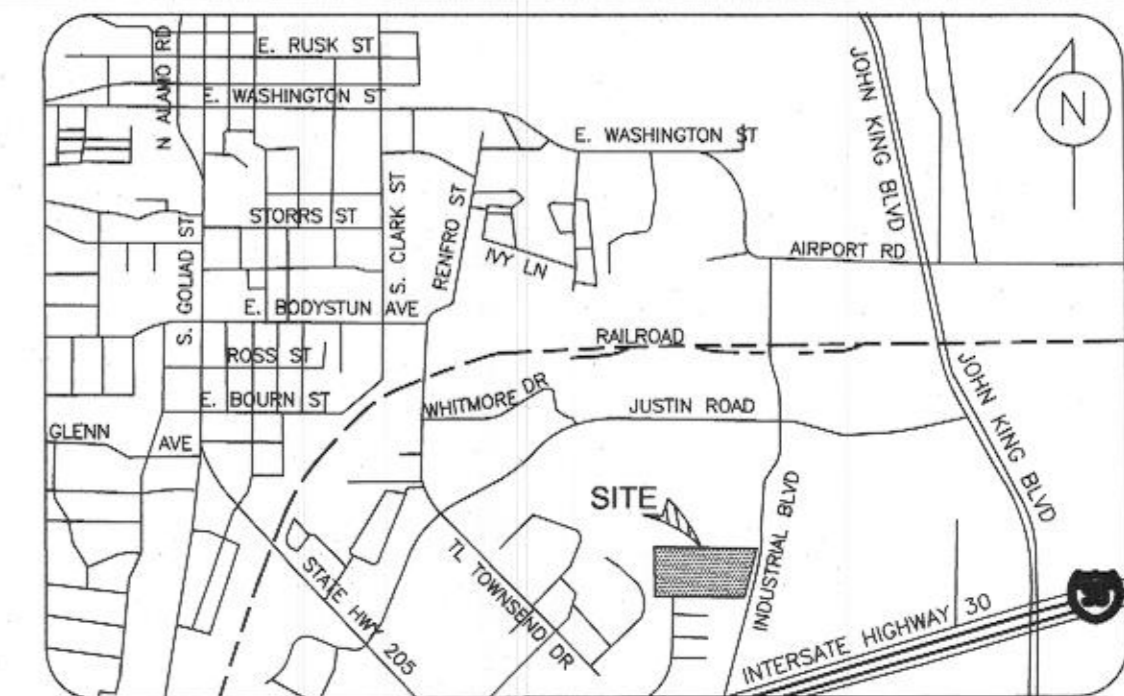
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 DYLAN B. HEDRICK 102108  
 NAME P.E. NO.  
 DATE 11/15/2019  
 TBPE FIRM # F-312

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL, LP  
 13150 COIT ROAD  
 DALLAS, TX 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198

**ENGINEER**  
 HALFF ASSOCIATES, INC.  
 1201 NORTH BOWSER ROAD  
 RICHARDSON, TX 75081  
 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

Project No.: 35989  
 Issued: NOVEMBER 2019  
 Drawn By: REP  
 Checked By: DBH  
 Scale: AS SHOWN  
 Sheet Title  
**DETAILED SITE PLAN**  
 1 OF 1  
 Sheet Number



**SHEET DATA:**

CURRENT ZONING	LIGHT INDUSTRIAL
PROPOSED LAND USE:	LIGHT INDUSTRIAL
TOTAL SITE AREA:	7.02 ACRES

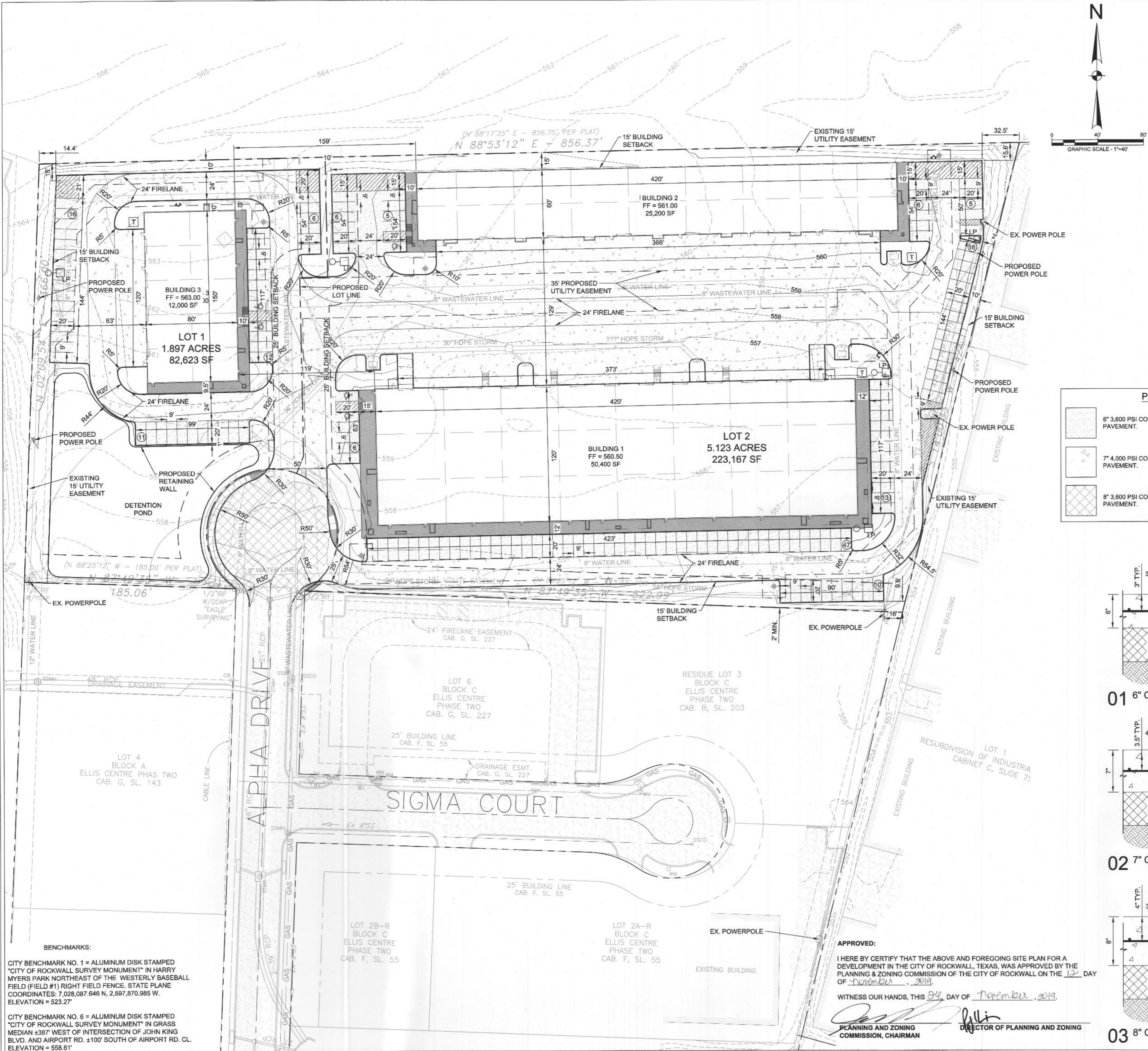
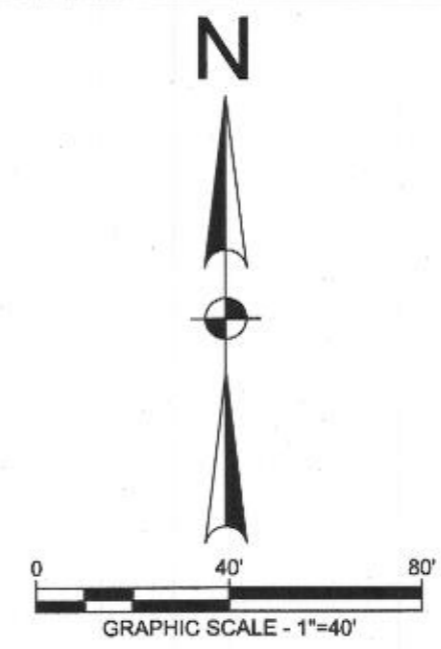
  

<b>BUILDING:</b>		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

<b>PARKING:</b>		
REQUIRED: 1 SPACE/1,000 SF (75%)	1 SPACE/300 SF (25%)	
TOTAL REQUIRED:	139	SPACES
PROVIDED:	159	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

\*SPACES ARE INCLUDED IN TOTAL ABOVE



**PAVING LEGEND**

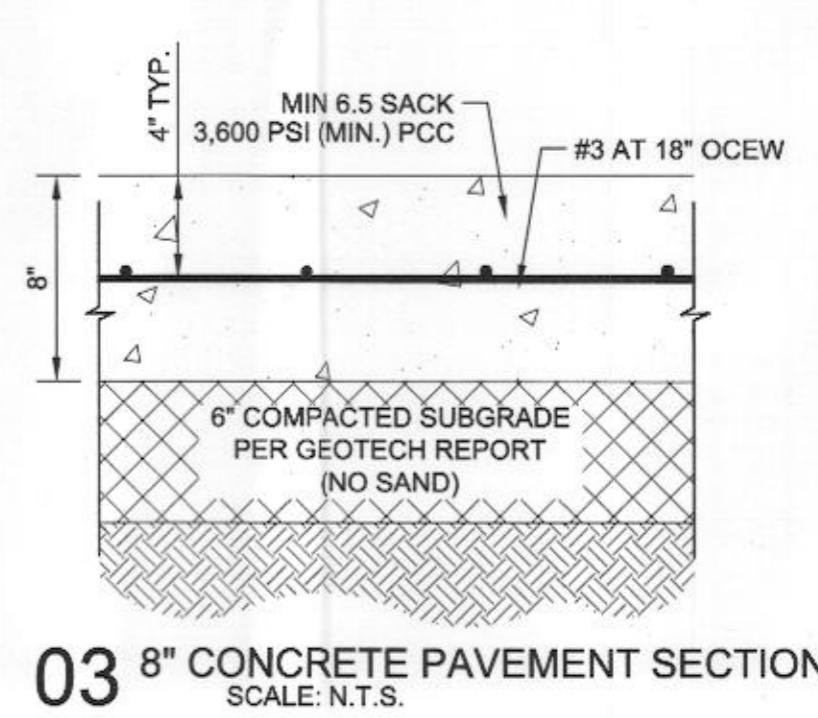
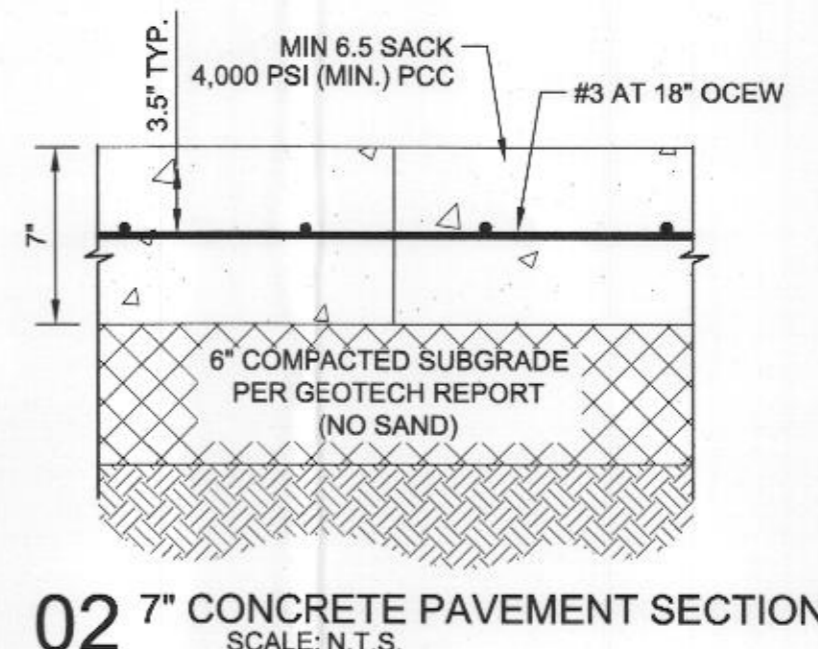
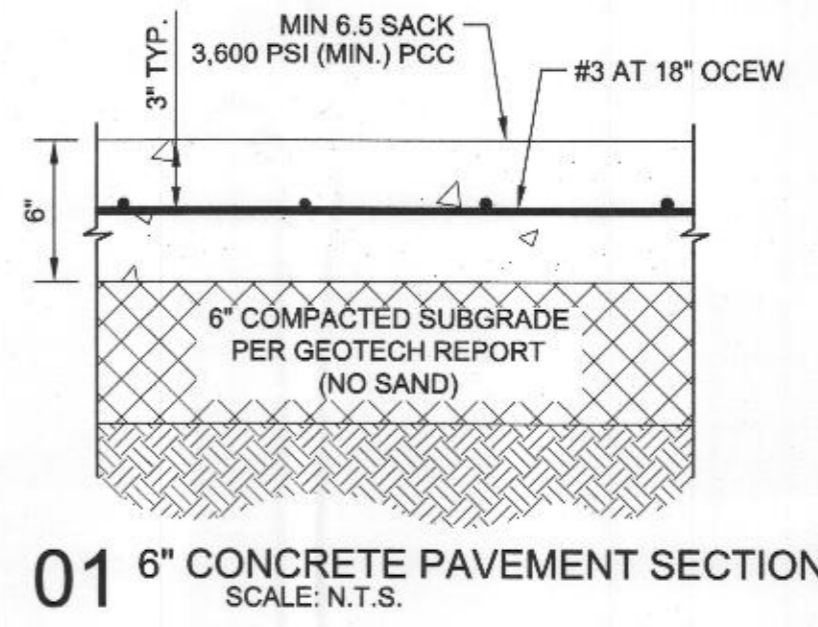
6" 3,600 PSI CONCRETE PAVEMENT.	4" SIDEWALK
7" 4,000 PSI CONCRETE PAVEMENT.	6" CURB
8" 3,600 PSI CONCRETE PAVEMENT.	FIRE LANE
	PROPERTY LINE

**EXISTING FEATURES LEGEND**

F.H.	FIRE HYDRANT
PP	OVERHEAD POWERPOLE
SSMH	SANITARY SEWER MANHOLE
WV	WATER VALVE
558	EXISTING CONTOURS
FDC	FDC

**PROPOSED FEATURES LEGEND**

PP	POWER POLE
F.H.	FIRE HYDRANT
GI	GRATE INLET
CI	CURB INLET
SH	STORM HEADWALL
TP	TRANSFORMER PAD
558	PROPOSED CONTOURS
LP	LIGHT POLE
#	NO. OF PARKING SPACES



**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 12 DAY OF November, 2019.  
 WITNESS OUR HANDS, THIS 12 DAY OF November, 2019.  
 [Signature] DIRECTOR OF PLANNING AND ZONING  
 [Signature] CHAIRMAN

**BENCHMARKS:**  
 CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE, STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W, ELEVATION = 523.27'  
 CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN ±387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. ±100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'



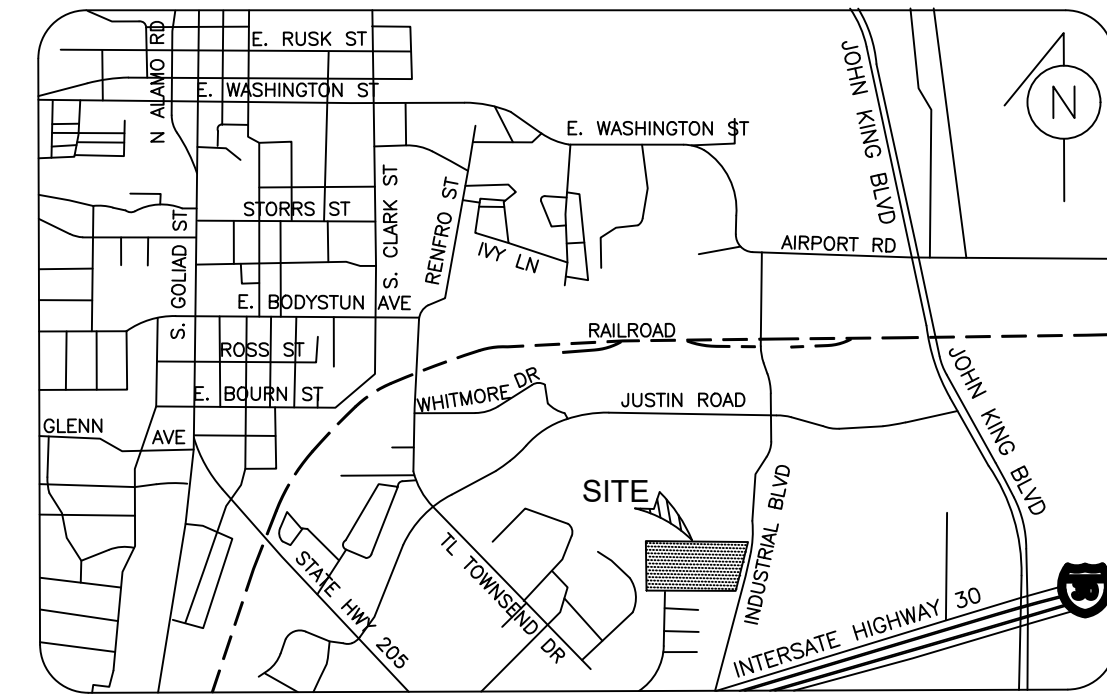
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 DYLAN B. HEDRICK 102108  
 NAME P.E. NO.  
 DATE 11/15/2019  
 TBPE FIRM # F-312

**OWNER/ DEVELOPER**  
 ROCKWALL URBAN INDUSTRIAL , LP  
 13150 COIT ROAD  
 DALLAS, TX. 75240  
 CONTACT: REID CALDWELL  
 EMAIL: reid@longbowinterests.com  
 TEL: (214) 457-8198

**ENGINEER**  
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 CONTACT: DYLAN HEDRICK  
 EMAIL: dhedrick@halff.com  
 TEL: (214) 217-6426  
 TBPE FIRM# F-312

Project No.: 35989  
 Issued: NOVEMBER 2019  
 Drawn By: REP  
 Checked By: DBH  
 Scale: AS SHOWN  
 Sheet Title  
**DETAILED SITE PLAN**  
 1 OF 1  
 Sheet Number



**SHEET DATA:**

<b>CURRENT ZONING</b>	LIGHT INDUSTRIAL
<b>PROPOSED LAND USE:</b>	LIGHT INDUSTRIAL
<b>TOTAL SITE AREA:</b>	7.02 ACRES

<b>BUILDING:</b>		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

<b>PARKING:</b>		
REQUIRED: 1 SPACE/1,000 SF (75%)	1 SPACE/300 SF (25%)	
TOTAL REQUIRED:	139	SPACES
PROVIDED:	159	SPACES
ACCESSIBLE SPACES PROVIDED:	6*	SPACES

\*SPACES ARE INCLUDED IN TOTAL ABOVE

**PAVING LEGEND**

- 6" 3,600 PSI CONCRETE PAVEMENT.
- 7" 4,000 PSI CONCRETE PAVEMENT.
- 8" 3,600 PSI CONCRETE PAVEMENT.
- 4" SIDEWALK
- 6" CURB
- FIRE LANE
- PROPERTY LINE

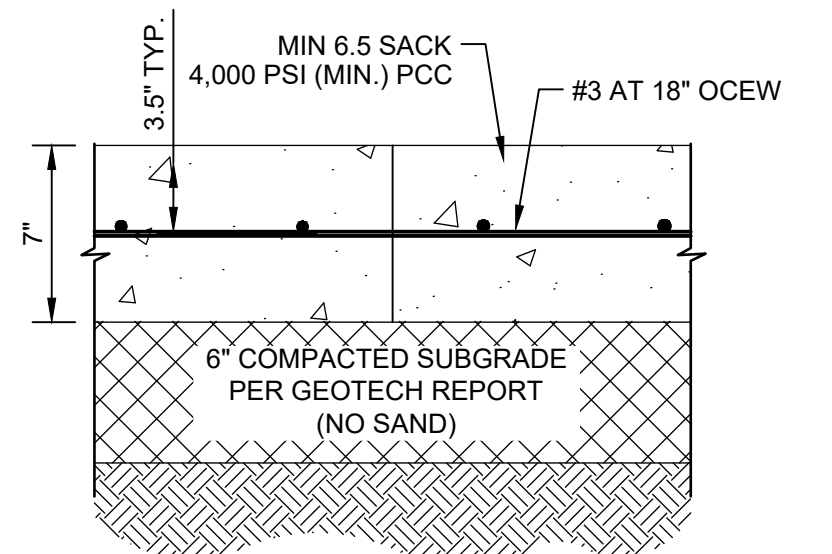
**EXISTING FEATURES LEGEND**

- F.H. FIRE HYDRANT
- PP OVERHEAD POWERPOLE
- SSMH SANITARY SEWER MANHOLE
- WV WATER VALVE
- 558 EXISTING CONTOURS
- FDC

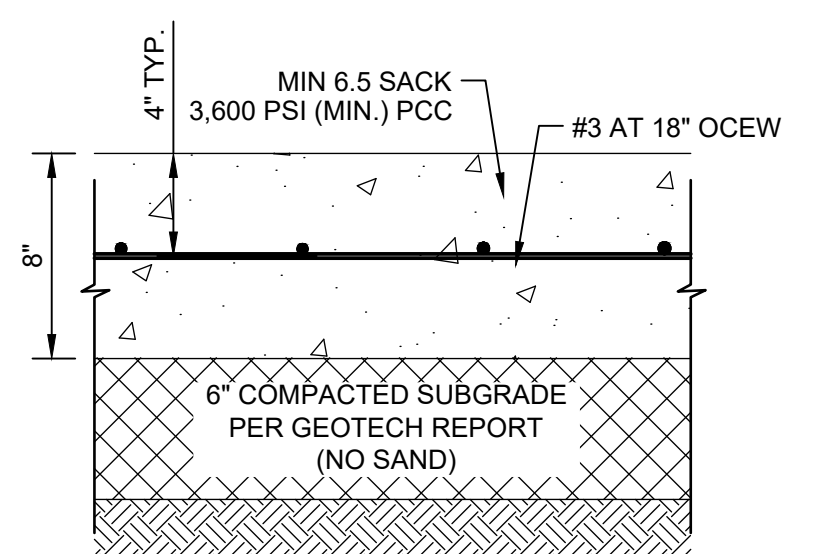
**PROPOSED FEATURES LEGEND**

- POWER POLE
- FIRE HYDRANT
- GRATE INLET
- CURB INLET
- STORM HEADWALL
- TRANSFORMER PAD
- PROPOSED CONTOURS
- LIGHT POLE
- NO. OF PARKING SPACES

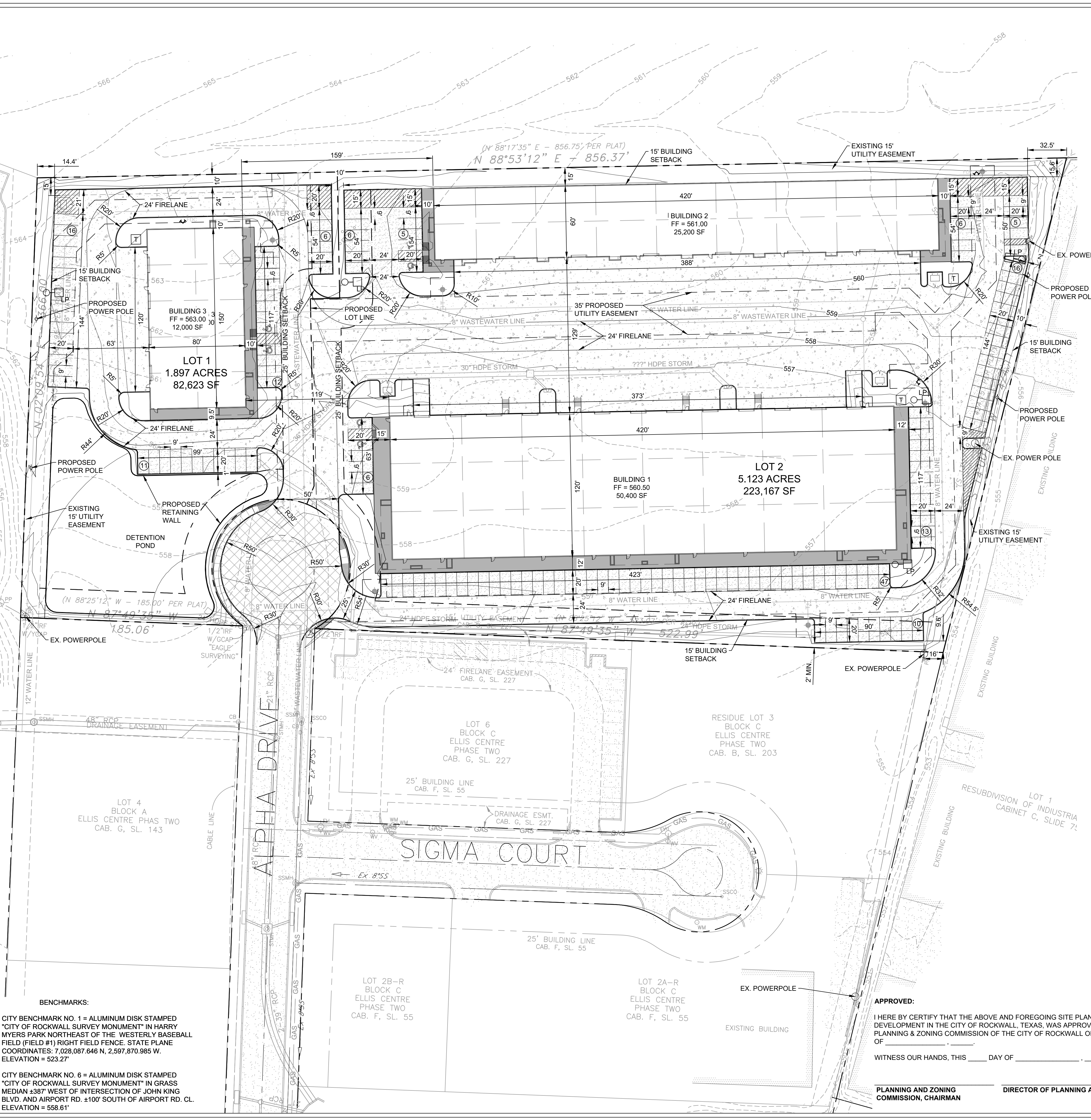
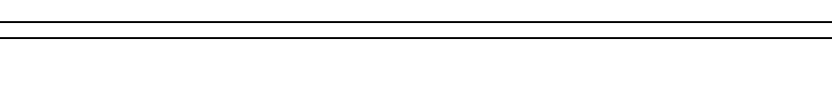
**01 6" CONCRETE PAVEMENT SECTION**  
 SCALE: N.T.S.



**02 7" CONCRETE PAVEMENT SECTION**  
 SCALE: N.T.S.



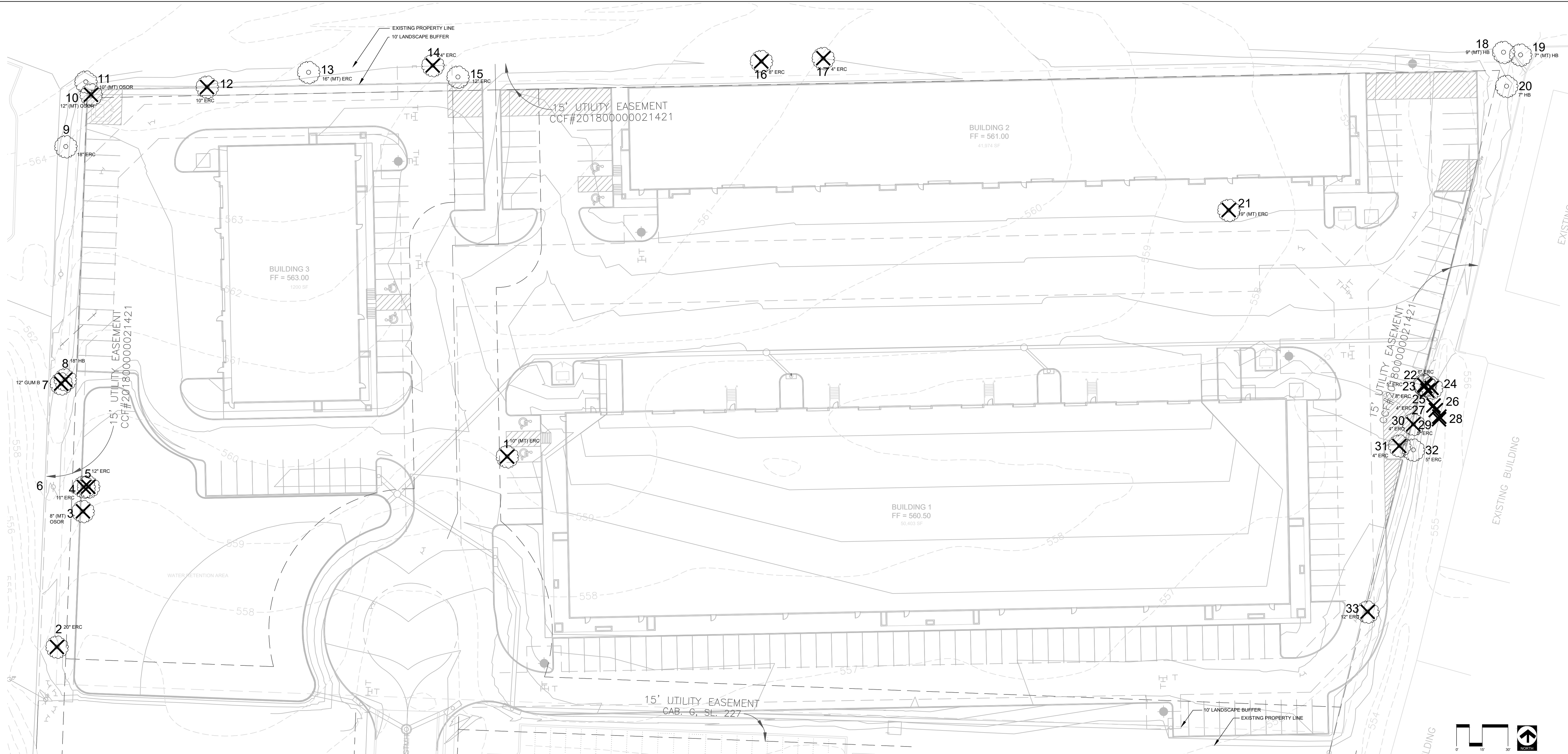
**03 8" CONCRETE PAVEMENT SECTION**  
 SCALE: N.T.S.



**APPROVED:**  
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_  
 WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

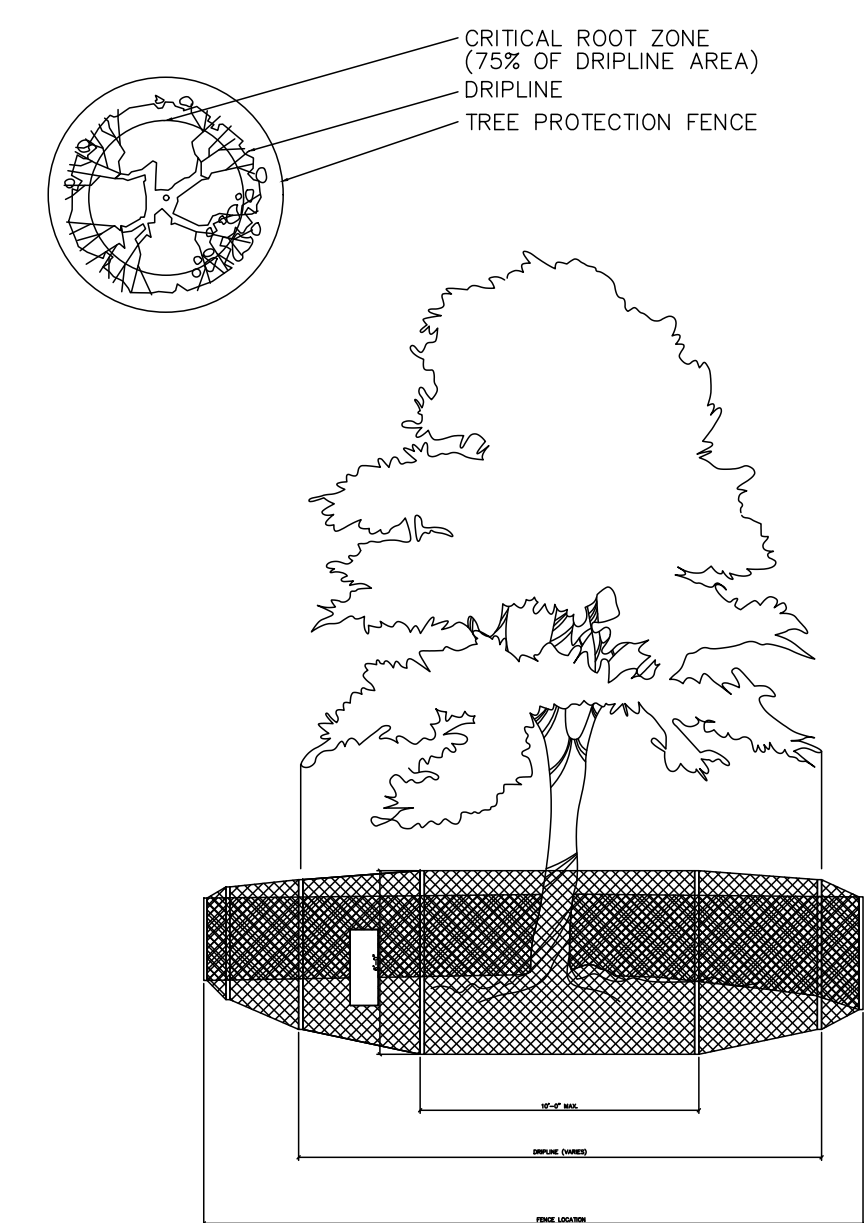
**BENCHMARKS:**  
 CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE. STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W. ELEVATION = 523.27'  
 CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN +387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. +100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'



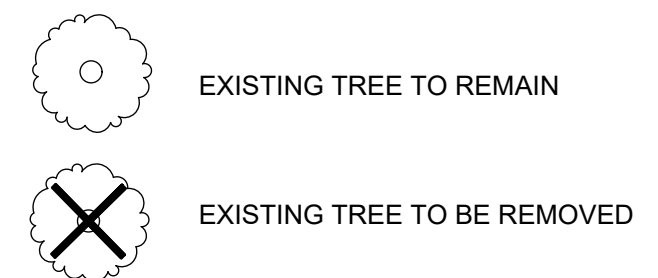
**TREE INVENTORY / MITIGATION**

TREE #	SPECIES	SIZE (Inches)	CLASSIFICATION	STATUS	REQ. MITIGATION (Inches)
1	EASTERN RED CEDAR	10 MULTI-TK	NON-PROTECTED	REMOVE	
2	EASTERN RED CEDAR	20	SECONDARY	REMOVE	10
3	OSAGE ORANGE	8 MULTI-TK	NON-PROTECTED	REMOVE	
4	EASTERN RED CEDAR	11	SECONDARY	REMOVE	6
5	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
6	HACKBERRY	14 MULTI-TK	SECONDARY	PRESERVE	
7	GUM BUMILIA	12	PROTECTED	REMOVE	12
8	HACKBERRY	18	SECONDARY	REMOVE	9
9	EASTERN RED CEDAR	18	SECONDARY	PRESERVE	
10	OSAGE ORANGE	12 MULTI-TK	NON-PROTECTED	REMOVE	
11	OSAGE ORANGE	10 MULTI-TK	NON-PROTECTED	PRESERVE	
12	EASTERN RED CEDAR	10	SECONDARY	REMOVE	
13	EASTERN RED CEDAR	16 MULTI-TK	SECONDARY	PRESERVE	
14	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
15	EASTERN RED CEDAR	12	SECONDARY	PRESERVE	
16	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
17	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
18	HACKBERRY	9 MULTI-TK	NON-PROTECTED	PRESERVE	
19	HACKBERRY	7 MULTI-TK	NON-PROTECTED	PRESERVE	
20	HACKBERRY	7	NON-PROTECTED	PRESERVE	
21	EASTERN RED CEDAR	19 MULTI-TK	SECONDARY	REMOVE	10
22	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
23	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
24	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
25	EASTERN RED CEDAR	8	NON-PROTECTED	REMOVE	
26	EASTERN RED CEDAR	6	NON-PROTECTED	REMOVE	
27	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
28	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
29	EASTERN RED CEDAR	5	NON-PROTECTED	REMOVE	
30	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
31	EASTERN RED CEDAR	4	NON-PROTECTED	REMOVE	
32	EASTERN RED CEDAR	5	NON-PROTECTED	PRESERVE	
33	EASTERN RED CEDAR	12	SECONDARY	REMOVE	6
<b>TOTAL</b>					<b>59</b>

**PLAN VIEW**



**EXISTING TREES**



**LANDSCAPE REQUIREMENTS**

TREE MITIGATION	
REQUIRED TREES (Inches)	59" CALIPER*
PROVIDED TREES (Inches)	144" CALIPER

\* See Sheet L 2.01 for Planting Locations

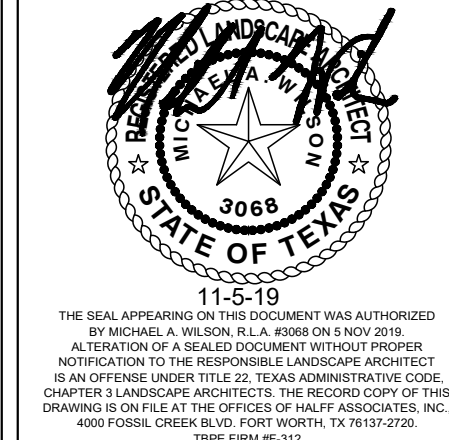
**STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION**

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
  - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
  - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
  - Wounds to exposed roots, trunk or limbs by mechanical equipment;
  - Other activities detrimental to trees such as chemical storage, cement truck cleaning, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
  - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
  - Where permeable paving is to be installed within a tree's dripline, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimized root damage);
  - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
  - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs.
- All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

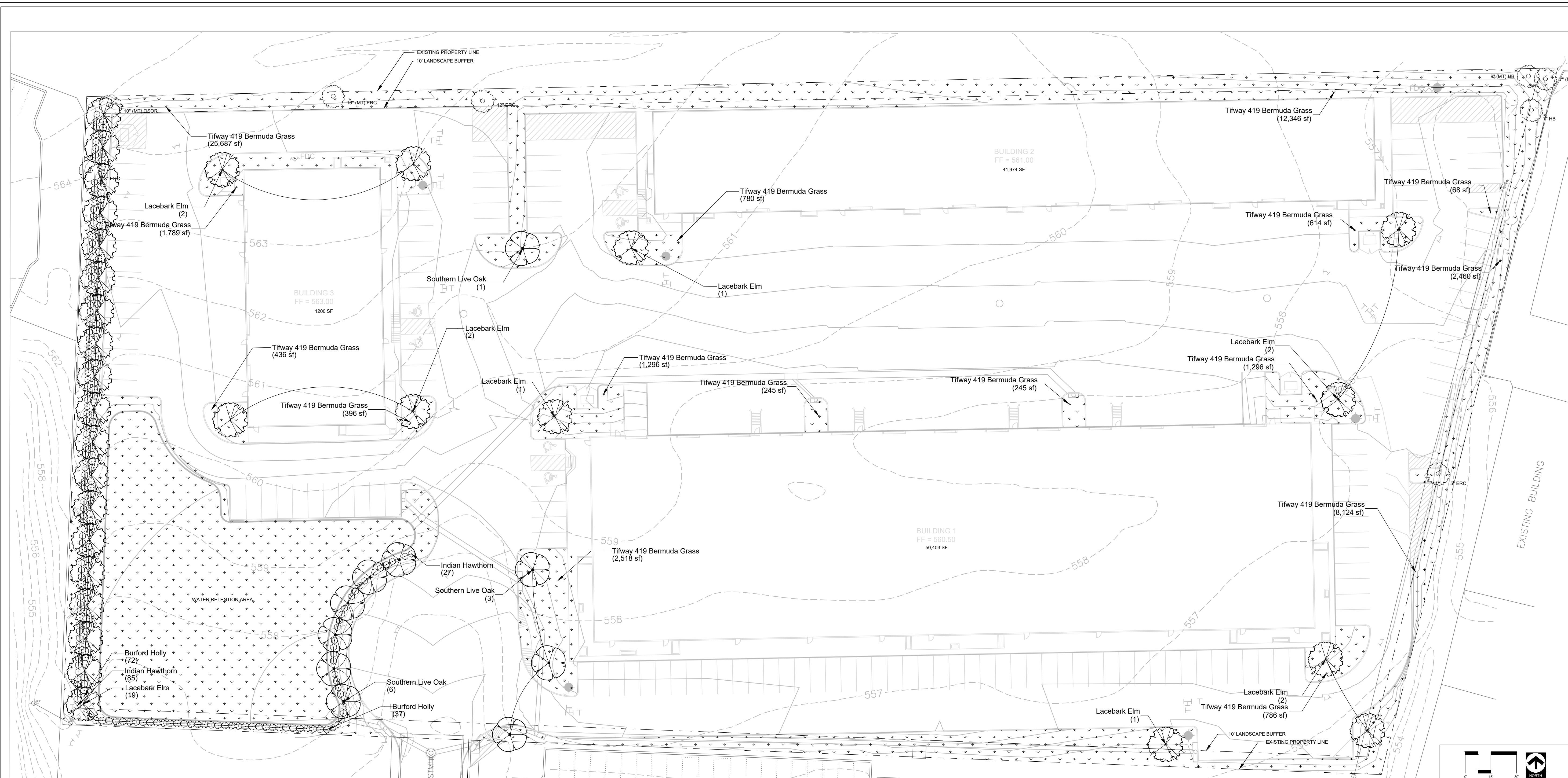
**01 TREE PROTECTION DETAIL**  
 SCALE: N.T.S.

Revision No.	Date	Description



Project No.:	35989
Issued:	11-5-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title:	<b>TREESCAPE PLAN</b>
Sheet Number:	<b>L 1.01</b>





**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	B & B	4" Cal	10'-12" Ht.	6'-8'	10
	Ulmus parvifolia / Lacebark Elm	B & B	4" Cal	10'-12" Ht.	6'-8'	30
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HT	SPD	QTY	
	Ilex comuta 'Burfordii' / Burford Holly	5 gal	18"-24"	12"-18"	109	
	Rhaphiolepis indica / Indian Hawthorn	5 gal	18"-24"	12"-18"	112	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		59,764 sf		

**LANDSCAPE REQUIREMENTS**

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	15% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	45,869 SF	63,914 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (inches)	REQUIRED	PROVIDED
	59" CALIPER*	160" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING		
200 SF MIN / 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	✓
PERMIABLE LANDSCAPE PROVIDED	3,756 SF	✓
1 TREE / 10 PARKING SPACES	16	16
SCREENING REQUIREMENTS		
	REQUIRED	PROVIDED
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
	REQUIRED	PROVIDED
1 TREE / 50' FRONTAGE	1	1

**PLANTING NOTES**

**PREPARATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

**PLANT LOCATIONS**  
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

**COORDINATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

**MAINTENANCE**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

**VERIFICATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

**PLANTING BEDS**  
ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

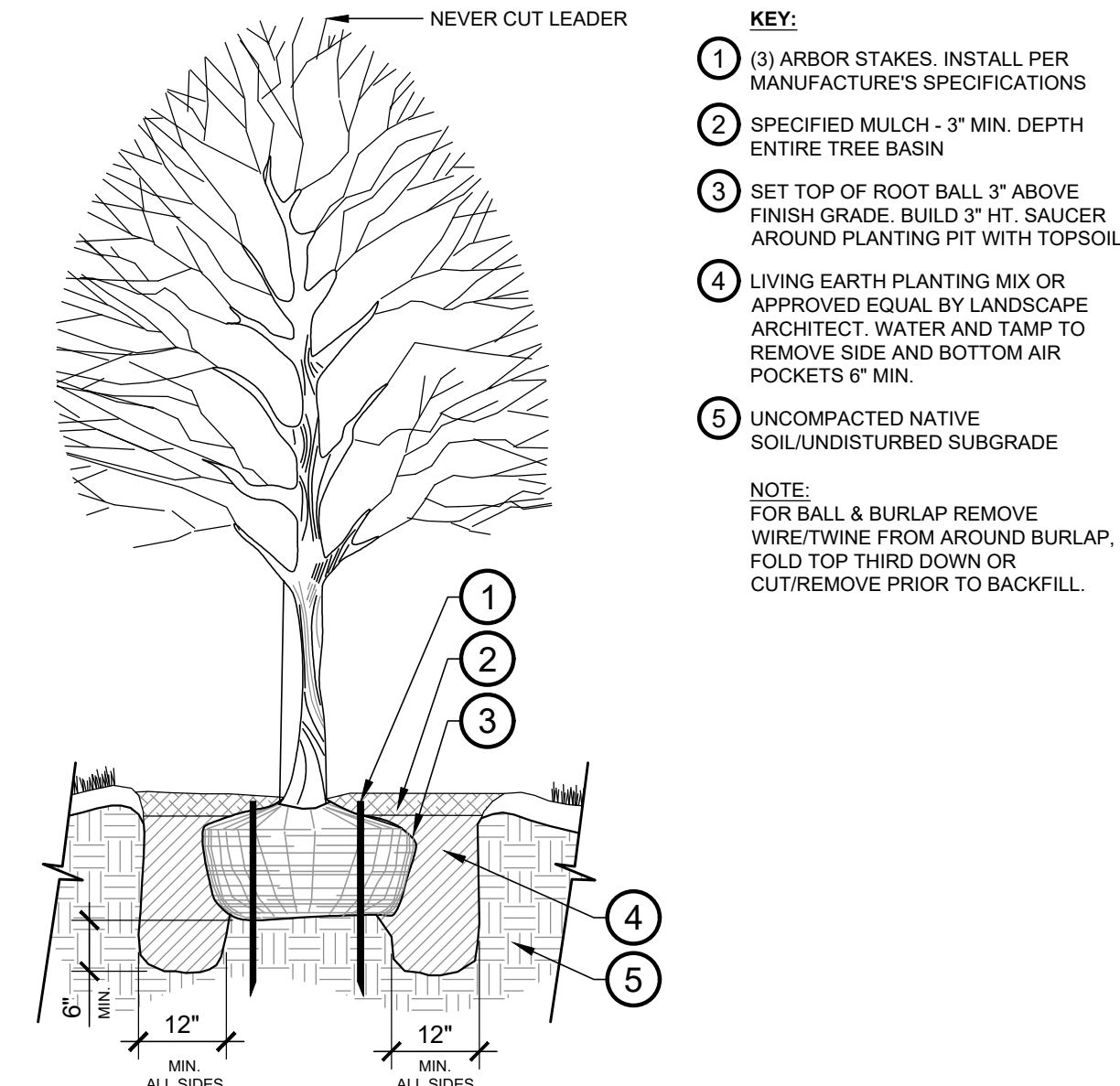
**MULCH**  
AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

**STANDARDS**  
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

**PROTECTED TREES**  
PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

**IRRIGATION**  
IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.

**\*\*NO TREES SHALL BE PLANTED WITHIN 5' OF UTILITIES\*\***



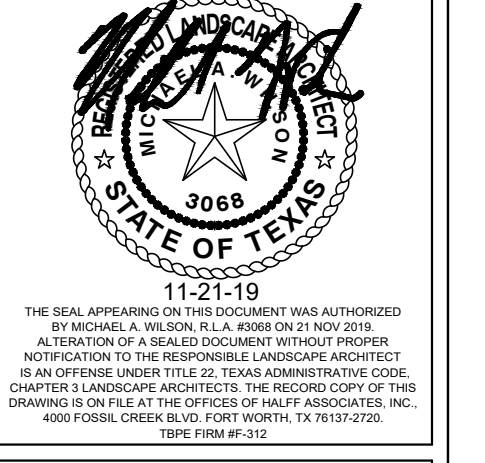
**1 NEW TREE PLANTING**  
N.T.S.



**Rockwall Urban + Industrial Center**  
END OF ALPHA DRIVE  
ROCKWALL, TX 75087

**HALFF**  
1201 NORTH BOWSER ROAD  
RICHARDSON, TX 75081-2275  
(214) 346-6200

Revision No.	Date	Description

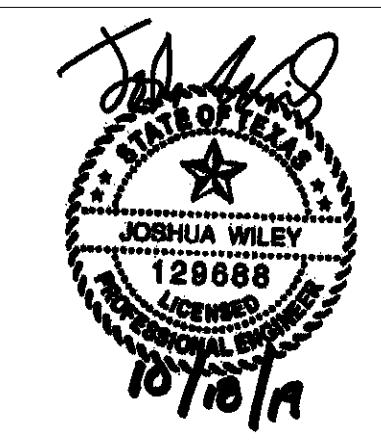


Project No.:	35989
Issued:	11-21-19
Drawn By:	CAP
Checked By:	MAW
Scale:	AS SHOWN
Sheet Title	LANDSCAPE PLAN
Sheet Number	L 2.01

Revision No.	Date	Description

**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY

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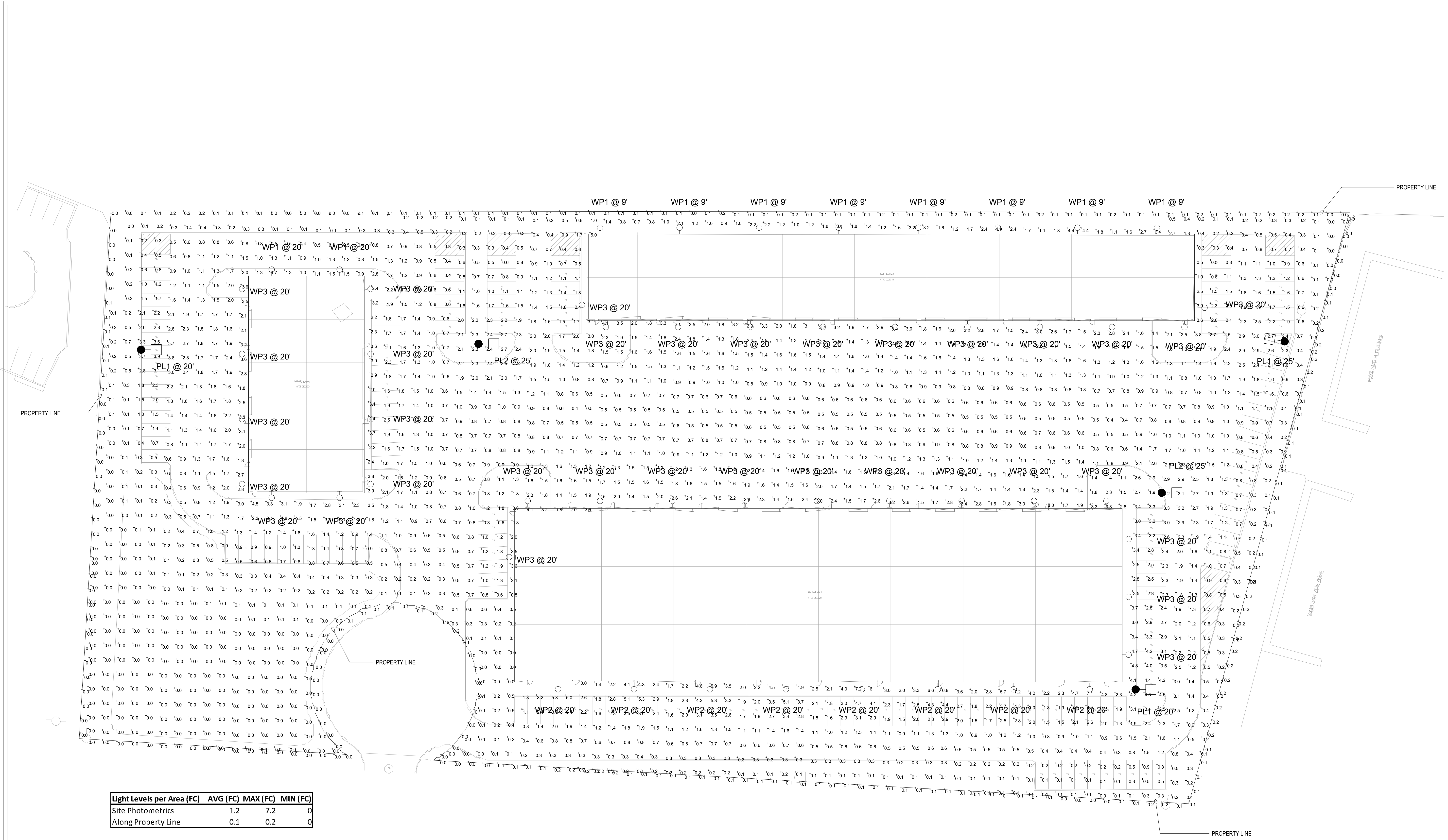


Project No.: 19068  
 Issued: OCTOBER 2019  
 Drawn By:  
 Checked By:  
 Scale: AS SHOWN  
 Sheet Title: SITE

PHOTOMETRICS

**E-102**  
 Sheet Number

Case Number:



Light Levels per Area (FC)	AVG (FC)	MAX (FC)	MIN (FC)
Site Photometrics	1.2	7.2	0
Along Property Line	0.1	0.2	0

Label	Catalog Number	Description	Lamp	Lamp Lumens	Watts
WP1	WSR LED P1 SR2 40K MVOLT	WSR LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR2 OPTIC TYPE	LED	2251	20
WP2	WST LED P3 40K VF MVOLT	WST LED Performance package 3 4000 K, visual comfort forward throw, MVOLT	LED	6609	50
WP3	WSR LED P4 SR4 40K MVOLT	WSR LED WITH P4-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	LED	6388	61
PL1	DSXO LED P5 40K T2M MVOLT HS	DSXO LED P5 40K T2M MVOLT with houseside shield	LED	9550	89
PL2	DSXO LED P6 40K T5M MVOLT HS	DSXO LED P6 40K T5M MVOLT with houseside shield	LED	11955	134

**1 SITE PHOTOMETRICS**  
 SCALE: 1/32" = 1'-0"



**Jordan & Skala  
 Engineers**

17855 North Dallas Parkway • Suite 320  
 Dallas, TX, 75287  
 p. 469.385.1616 • f. 469.385.1615  
 Texas Registered Engineering Firm F-4990

Project Number: 1930681 Drawn By: DNH Checked By: JW

SHEET SIZE: 24" x 36"



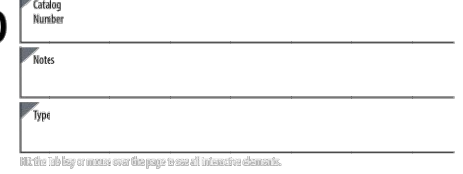
# PL1, PL2

## D-Series Size 0 LED Area Luminaire



**Specifications**

EPA:	0.15 fH
Length:	26" (660mm)
Width:	13" (330mm)
Height:	3" (76mm)
Height <sub>2</sub> :	7" (178mm)
Weight:	15 lbs (6.8kg)
Weight (max):	27 lbs (12.2kg)



**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

### Ordering Information

**EXAMPLE: DSXO LED P6 40K 3TM MVOLT SPA NLTAIRZ PIRHN DDBXD**

Order ID	SKU	Color Temperature	Mounting	Warranty	Material
DSXO LED	P6	40K	3TM	MVOLT	SPA
DSXO LED	P6	40K	3TM	MVOLT	SPA
DSXO LED	P6	40K	3TM	MVOLT	SPA

**Control Options**

Control Option	Description	Availability	Notes
DSXO LED	Standard control	Available	Standard control
DSXO LED	Remote control	Available	Remote control
DSXO LED	Motion sensor	Available	Motion sensor
DSXO LED	Light sensor	Available	Light sensor

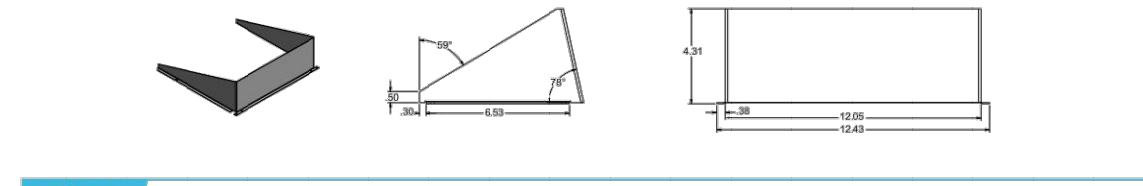
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### Ordering Information

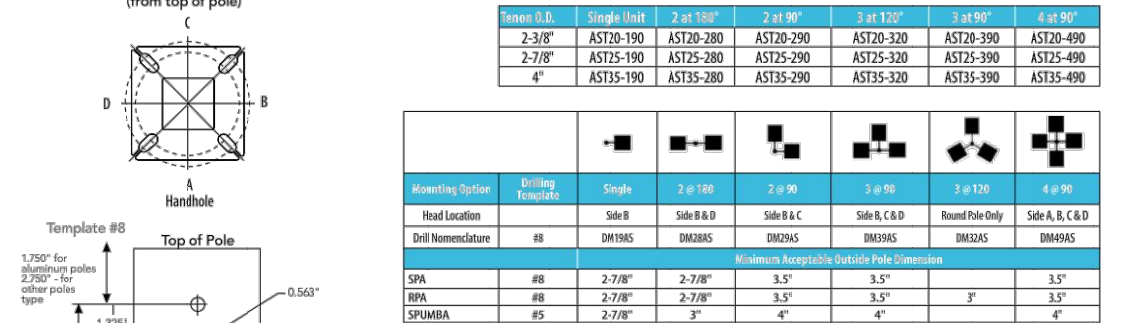
**Accessories**

DSXO LED	DSXO LED	DSXO LED	DSXO LED
DSXO LED	DSXO LED	DSXO LED	DSXO LED
DSXO LED	DSXO LED	DSXO LED	DSXO LED

### EGS - External Glare Shield



### Drilling

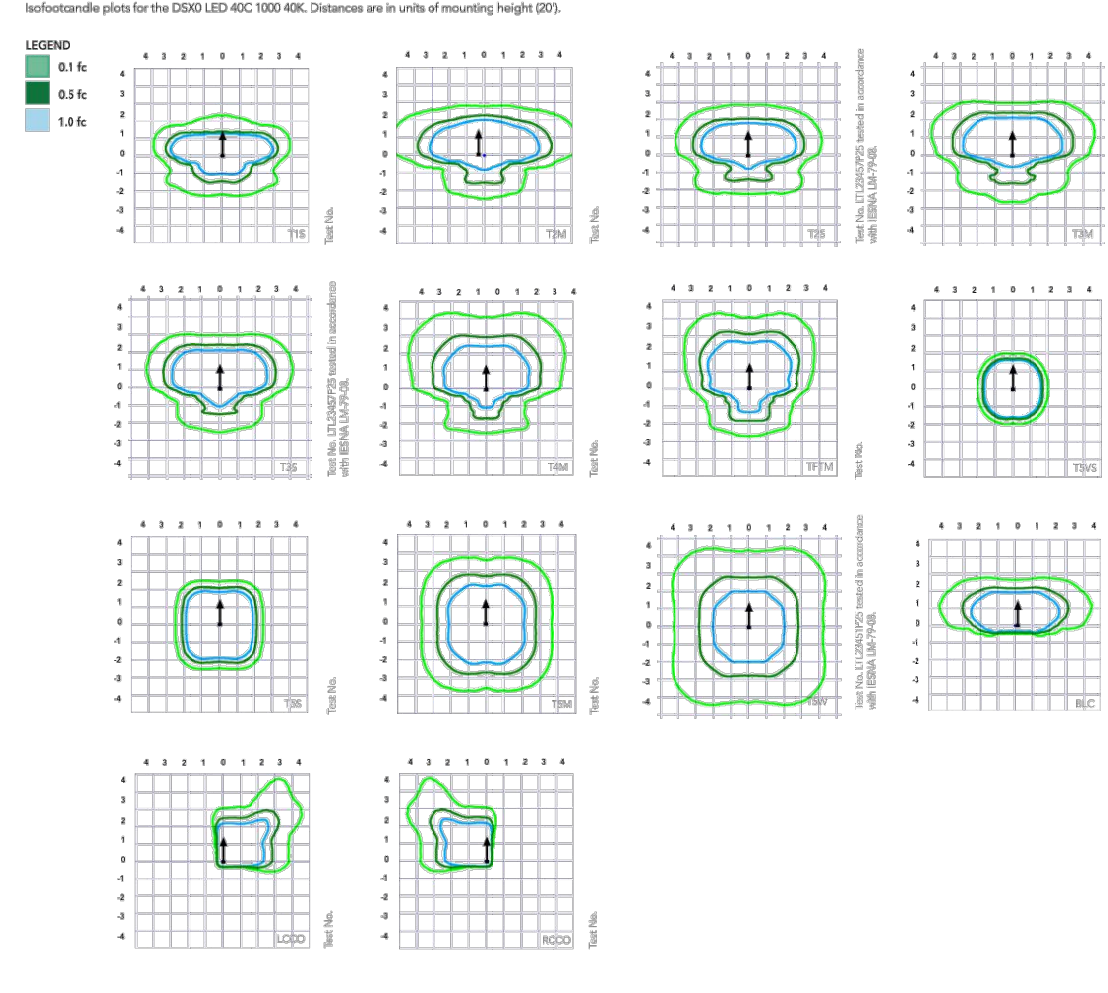


**Tenon Mounting Slipfitter**

Material	Part No.	Part No.	Part No.	Part No.	Part No.
Aluminum	1000	1001	1002	1003	1004
Stainless Steel	1005	1006	1007	1008	1009

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### Photometric Diagrams



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### Performance Data

**Lumen Ambient Temperature (LAT) Multipliers**

Temperature	Multiplier
25°C	1.00
30°C	0.95
35°C	0.90

### Projected LED Lumen Maintenance

Operating Hours	Lumen Maintenance Factor
10,000	0.95
20,000	0.90
30,000	0.85

**Control Options**

Control Option	Description	Availability	Notes
DSXO LED	Standard control	Available	Standard control
DSXO LED	Remote control	Available	Remote control

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### Performance Data

**Lumen Output**

Mounting	Beam Type	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume	Beam Power	Beam Flux	Beam Density
P1	30°	50'	13"	13"	13"	13"	13"	13"	13"
P2	30°	70'	13"	13"	13"	13"	13"	13"	13"
P3	30°	100'	13"	13"	13"	13"	13"	13"	13"

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### Performance Data

**Lumen Output**

Mounting	Beam Type	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume	Beam Power	Beam Flux	Beam Density
P5	40°	70'	13"	13"	13"	13"	13"	13"	13"
P6	40°	100'	13"	13"	13"	13"	13"	13"	13"
P7	40°	130'	13"	13"	13"	13"	13"	13"	13"

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### Performance Data

**Lumen Output**

Mounting	Beam Type	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume	Beam Power	Beam Flux	Beam Density
P8	50°	50'	13"	13"	13"	13"	13"	13"	13"
P9	50°	70'	13"	13"	13"	13"	13"	13"	13"
P10	50°	100'	13"	13"	13"	13"	13"	13"	13"

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### Capable Luminaire

This luminaire is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

**Capable Luminaire**  
This luminaire is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

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**Rockwall Urban + Industrial Center**  
OWNER: ROCKWALL URBAN INDUSTRIAL, LP.  
END OF ALPHA DRIVE  
ROCKWALL, TX 75087

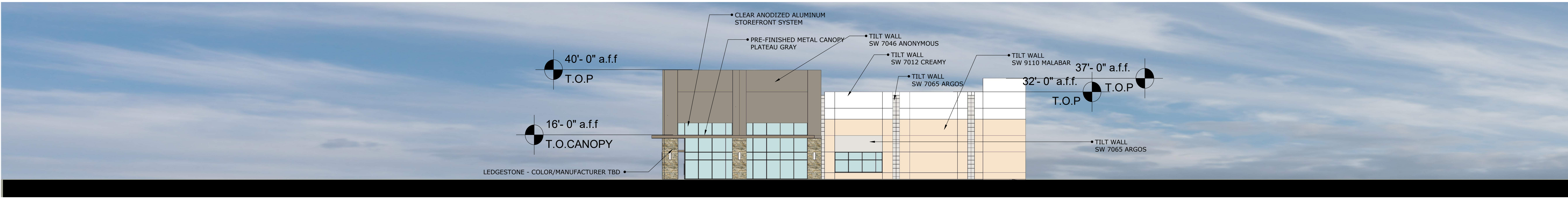
**OBRIEN**  
5310 HARVEST HILL ROAD  
DALLAS, TX 75230  
(972) 788-1010

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

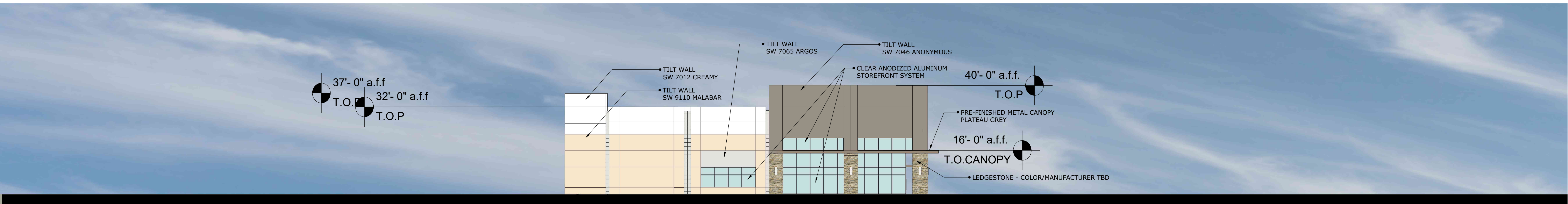
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**JSE**  
Jordan & Skala Engineers  
1855 North Dallas Parkway • Suite 320  
Dallas, TX 75287  
p. 469.285.1616 • f. 469.285.1615  
Texas Registered Engineering Firm F-4990  
Project Number: 190681 Drawn By:DNH Checked By:JW  
SHEET SIZE: 24" x 36"

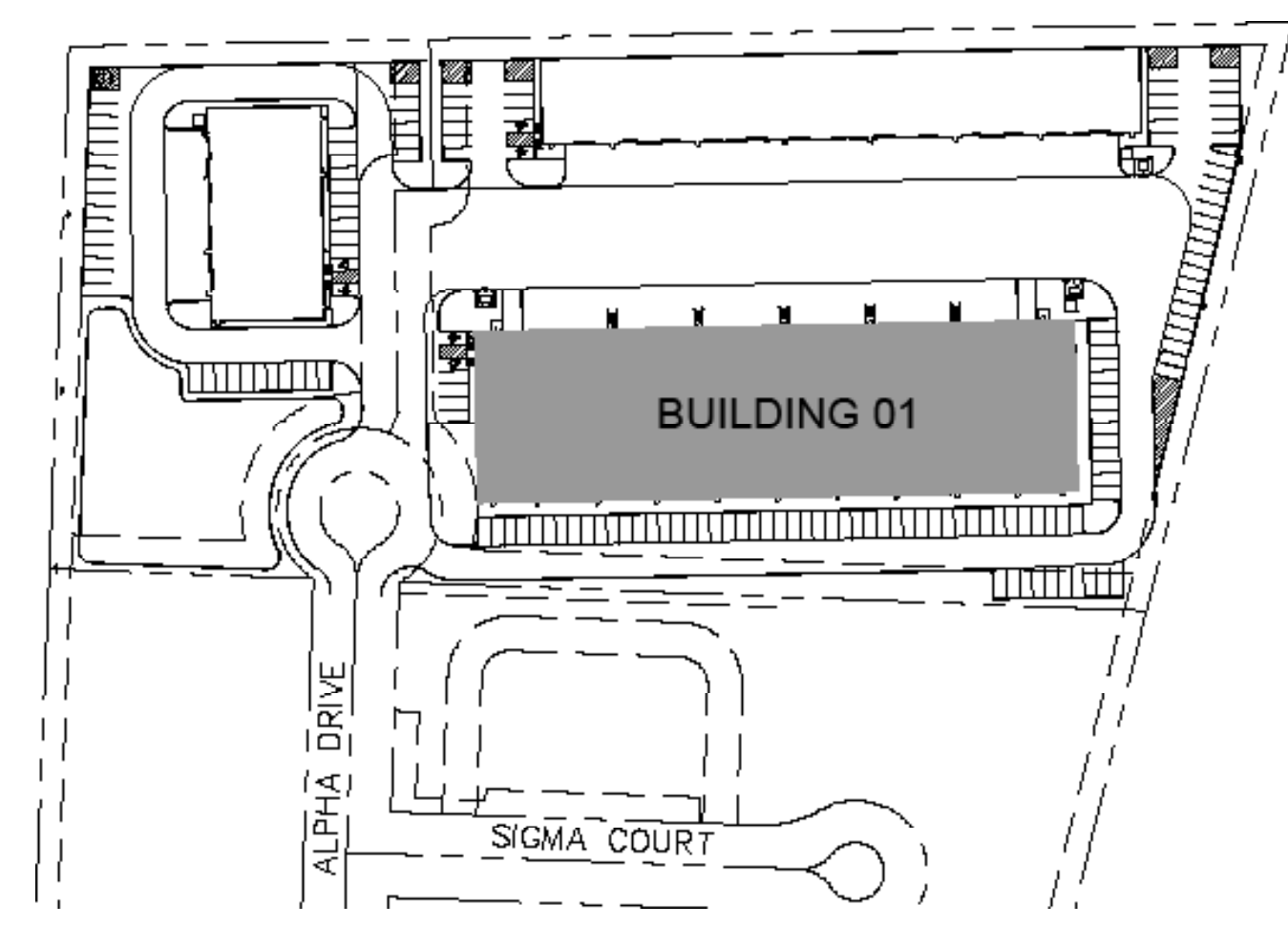
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Issued: OCTOBER 2019  
Drawn By:  
Scale: AS SHOWN  
Sheet Title: PL1, PL2  
Sheet Number: E-102B  
Case Number:



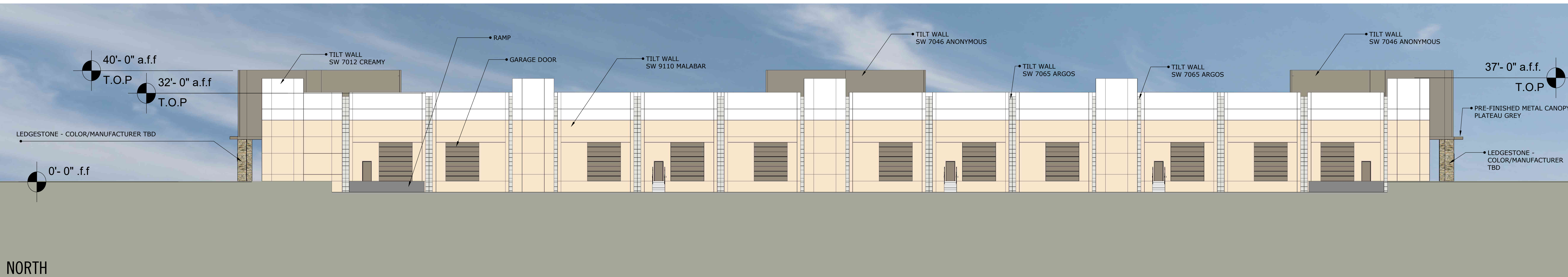
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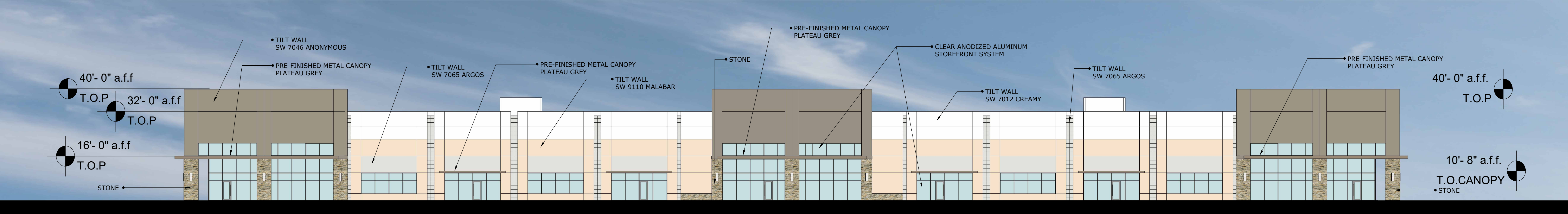
WEST



FAÇADE	BLDG 1			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	0	14,051	14,051
SOUTH	235	580	10,586	11,401
EAST	59	241	3,533	3,833
WEST	59	241	3,533	3,833
<b>SF of Materials</b>	<b>353</b>	<b>1,062</b>	<b>31,702</b>	<b>33,117</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>3%</b>	<b>96%</b>	<b>100%</b>

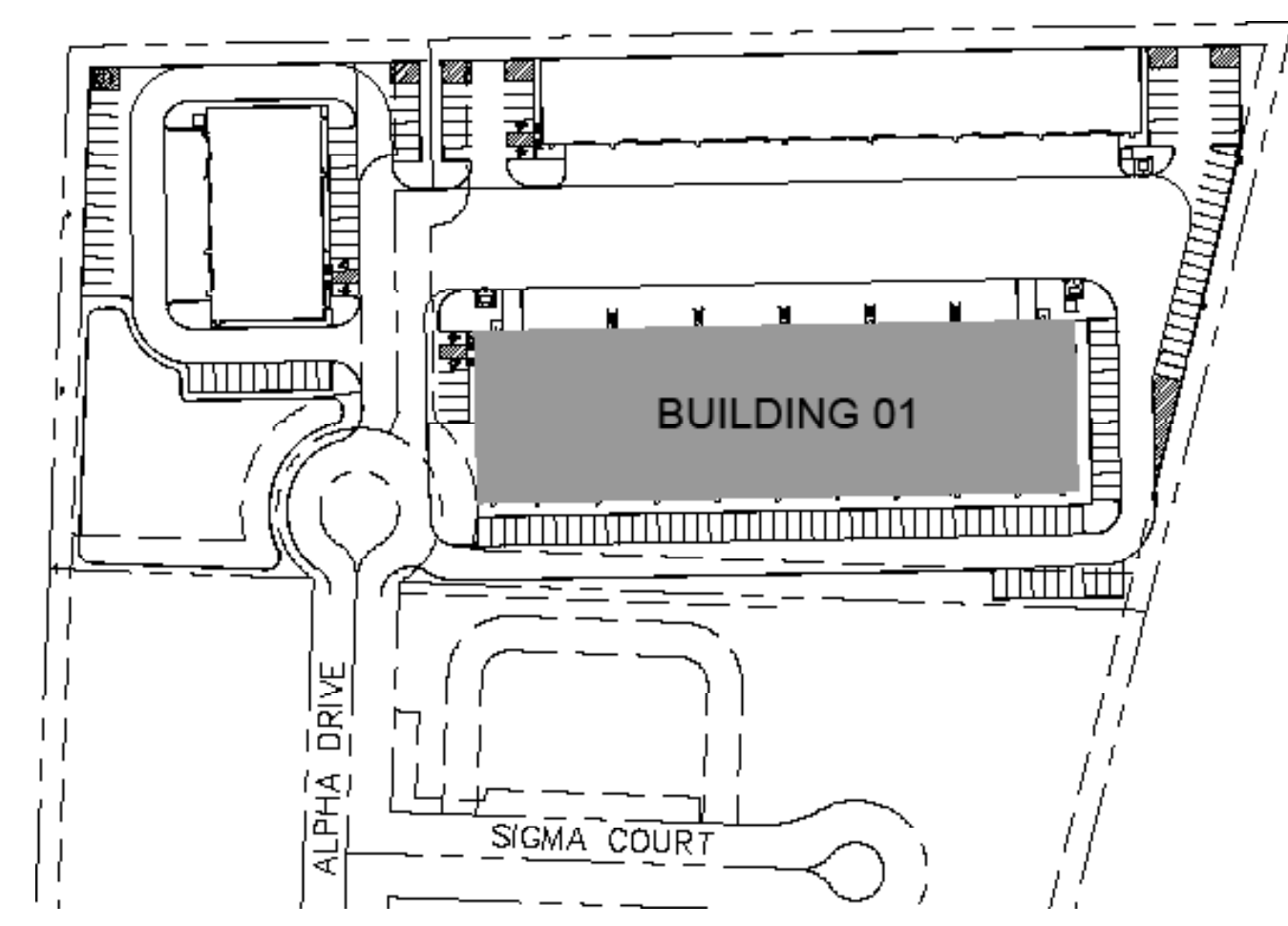
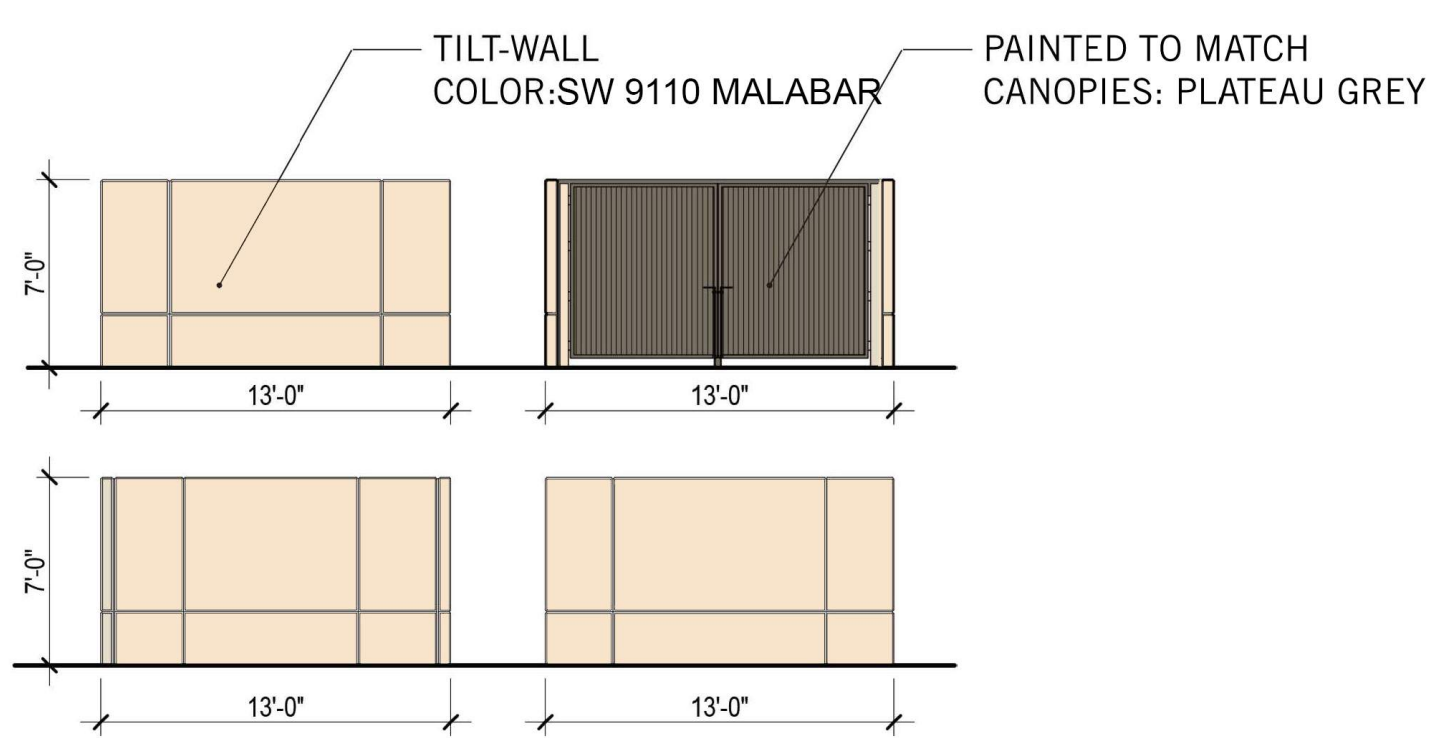


NORTH



SOUTH

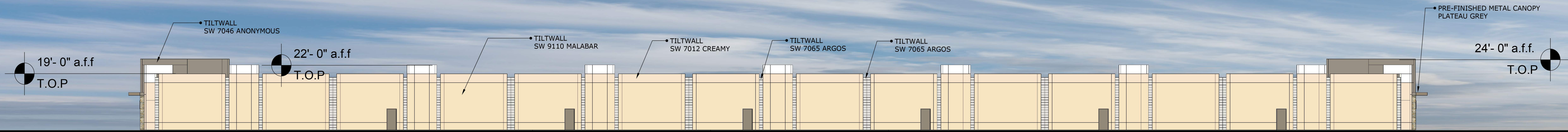
TYPICAL DUMPSTER ENCLOSURE ELEVATIONS



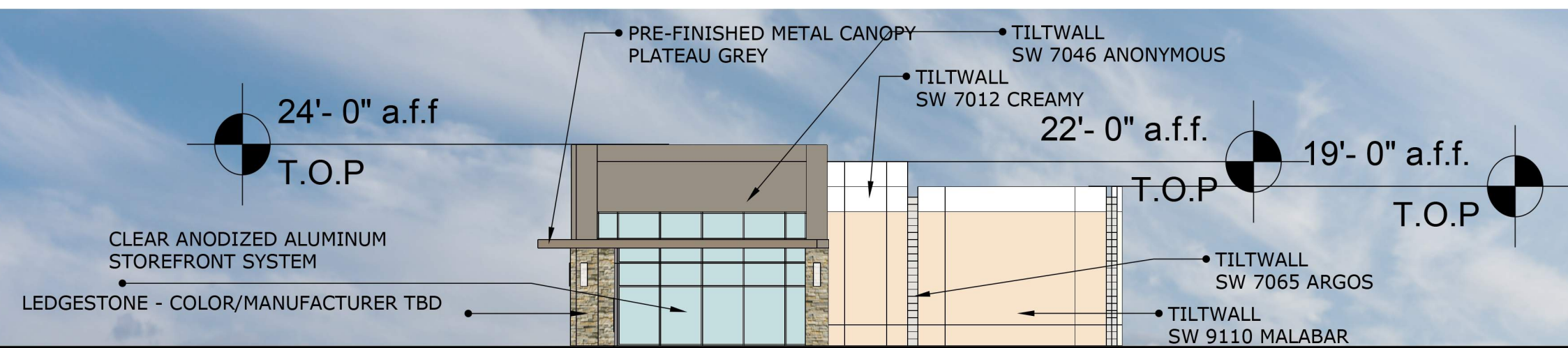
FAÇADE		BLDG 1		
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
NORTH	0	0	14,051	14,051
SOUTH	235	580	10,586	11,401
EAST	59	241	3,533	3,833
WEST	59	241	3,533	3,833
<b>SF of Materials</b>	<b>353</b>	<b>1,062</b>	<b>31,702</b>	<b>33,117</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>3%</b>	<b>96%</b>	<b>100%</b>



SOUTH



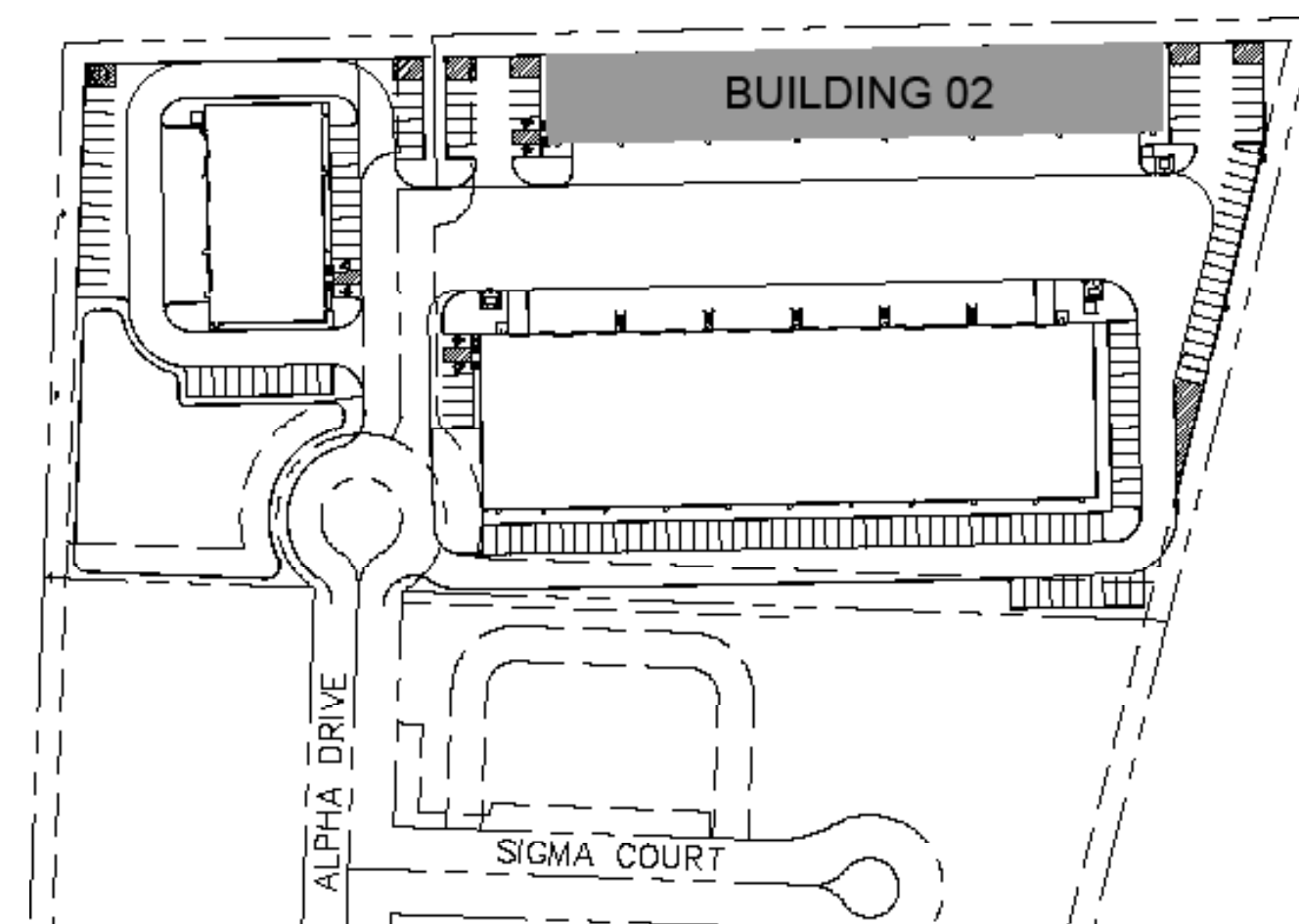
NORTH



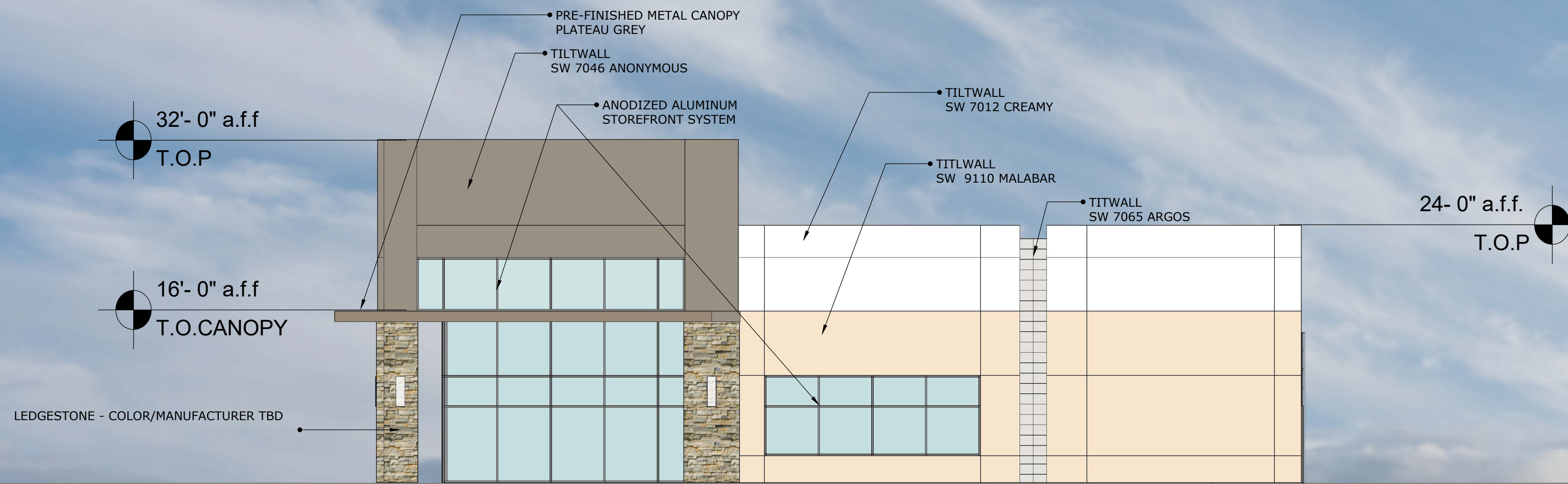
EAST



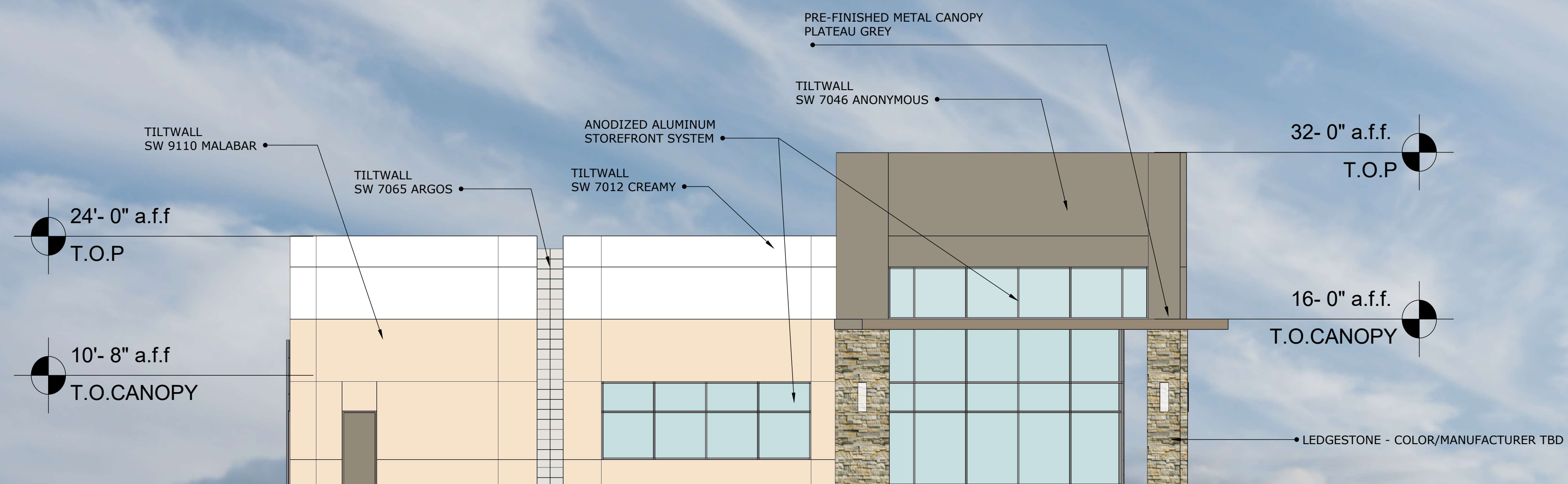
WEST



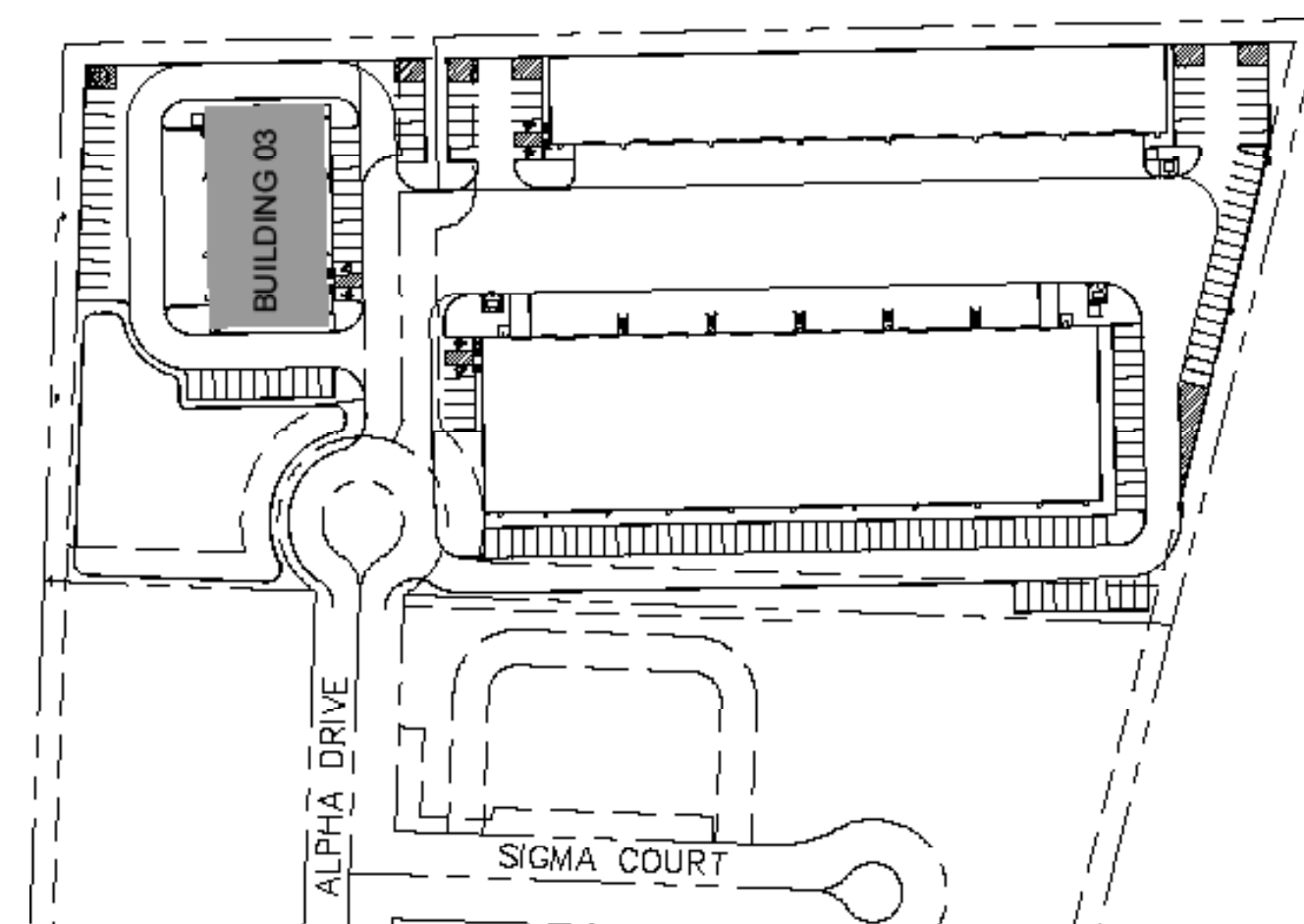
BLDG 2	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	0	0	9,178	9,178
SOUTH	66	190	3,592	3,848
EAST	33	73	946	1,052
WEST	33	73	946	1,052
<b>SF of Materials</b>	<b>132</b>	<b>336</b>	<b>14,662</b>	<b>TOTAL</b>
<b>Percentage of Material</b>	<b>1%</b>	<b>2%</b>	<b>97%</b>	<b>15,129</b>
				<b>100%</b>



NORTH

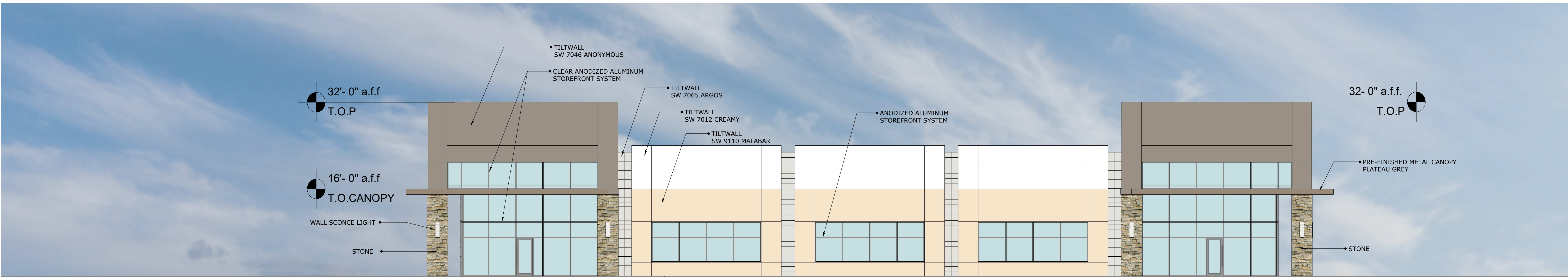


SOUTH

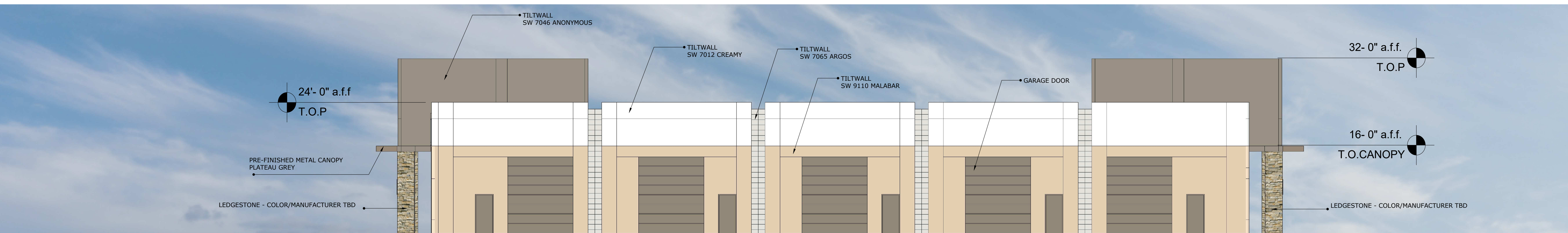


BLDG 3	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	35	136	1,495	1,666
SOUTH	35	136	1,495	1,666
EAST	74	230	2,592	2,896
WEST	0	0	3,000	3,000
<b>SF of Materials</b>	<b>144</b>	<b>502</b>	<b>8,582</b>	<b>9,228</b>
<b>Percentage of Material</b>	<b>2%</b>	<b>5%</b>	<b>93%</b>	<b>100%</b>

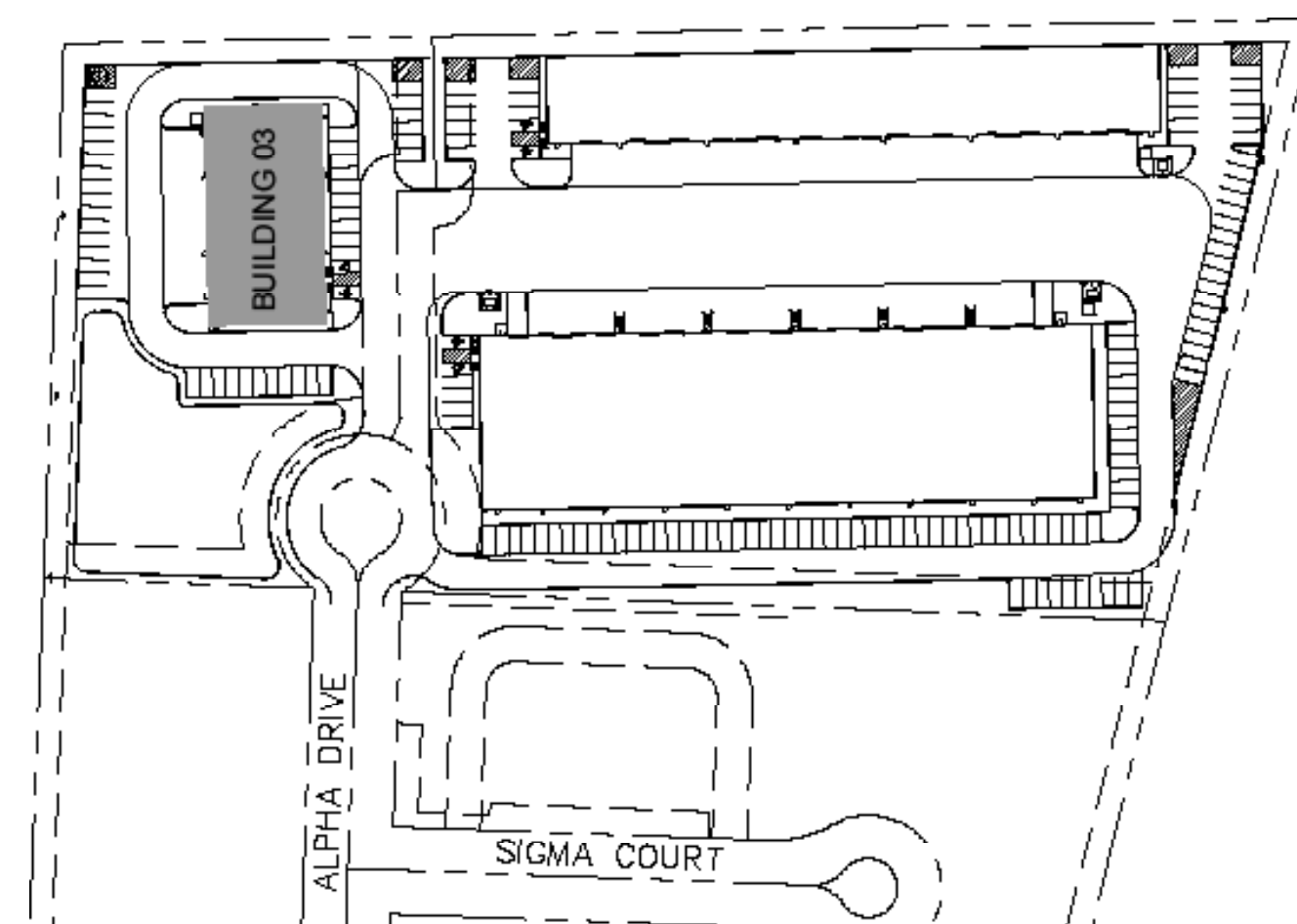




EAST



WEST



BLDG 3	MATERIALS			FAÇADE TOTAL SF (EXCLUSIVE OF DOORS & WINDOWS)
	METAL CANOPY	MASONRY	PRIMARY MASONRY: PAINTED CONCRETE TILT WALL	
NORTH	35	136	1,495	1,666
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EAST	74	230	2,592	2,896
WEST	0	0	3,000	3,000
<b>SF of Materials</b>	<b>144</b>	<b>502</b>	<b>8,582</b>	<b>9,228</b>
<b>Percentage of Material</b>	<b>2%</b>	<b>5%</b>	<b>93%</b>	<b>100%</b>



November 26, 2019

TO: Halff Associates  
C/O Matthew Gardner  
1201 North Bouser  
Richardson, TX 75081

CC: Rockwall Urban Institute, LP  
C/O Reid Caldwell  
13150 Coit Road, Suite 205  
Dallas, TX 75240

FROM: David Gonzales, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2019-040; *Site Plan for Ellis Center, Phase 2 Addition*

Mr. Gardner:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on November 12, 2019. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Approval by the Planning and Zoning Commission of all exceptions requested as outlined in staff's report;
- (3) The applicant will be required to revise the landscape plan to incorporate a mixture of trees and shrubs to screen the detention pond adjacent to the entryway off of Alpha Drive prior to submitting civil plans;
- (4) All Roof Top Units (RTU's) will need to be screened and not visible from adjacent properties or public rights-of-way; and
- (5) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government

Planning and Zoning Commission

On November 12, 2019, the Planning and Zoning Commission's motion to approve the site plan with ARB recommendations and staff conditions passed by a vote of 5-0, with Commissioners Welch and Fishman absent. Additionally, the motion included approval of the exceptions requested for 1) building materials, 2) articulation, 3) residential screening fence, and 4) vertical walls within the detention pond as outlined in staff's report.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Specifically, the following outstanding departmental comments will need to be addressed:

Outstanding Departmental Comments

*Planning and Zoning*

- (1) The subject property will require submittal and approval of a replat prior to the issuance of a building permit (*Chapter 38, Subdivision, Unified Development Code*).

Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request a least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP  
Planning and Zoning Manager